



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis HEARING DATE: OCTOBER 3, 2019

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: September 26, 2019
Case No.: 2018-009175DRP
Project Address: 3610 Washington Street
Permit Application: 2019.0110.0038
Zoning: RH-1 (Residential House, One-Family)
40-X Height and Bulk District
Block/Lot: 6685 / 049
Project Sponsor: Matthew Shanks
353 Folsom Street
San Francisco, CA 94105
Staff Contact: David Winslow – (415) 575-9159
David.Winslow@sfgov.org
Recommendation: **Do not take DR and Approve**

PROJECT DESCRIPTION

The project proposes to construct a rear horizontal and vertical addition, excavation at the basement to add habitable space to an existing 2-story single-family dwelling.

SITE DESCRIPTION AND PRESENT USE

The site is a 46'-6" wide by 127'-8" deep downsloping lot that has an existing 2-story, single-family dwelling built in 1959 and designed by Wurster, Bernardi and Emmons. The building is classified as a category A' known historic resource. The main bulk of this building is built in the rear portion of the lot and is massed lower than its neighboring buildings.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

This block of Washington Street consists predominantly of large detached 3-story single-family homes with sideyards that allow windows on all four sides. With the exception of the subject property the alignment of buildings retain a consistent mid-block open space.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	May 14, 2019- June 13, 2019	June 13, 2019	October 3, 2019	112 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	20 days	September 14, 2019	September 14, 2019	20 days
Mailed Notice	20 days	September 14, 2019	September 14, 2019	20 days
Online Notice	20 days	September 14, 2019	September 14, 2019	20 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	0	0	0
Other neighbors on the block or directly across the street	0	0	0
Neighborhood groups	0	0	0

DR REQUESTOR

Patrick Buscovich on behalf of Elizabeth Spokes, an adjacent neighbor.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

1. This project may constitute demolition of an architecturally significant home and garden.
2. This home and garden were built with specific respect for the adjacent homes which have been disregarded in the proposed addition.

Proposed alternative:

1. Demonstrate that this will not be a demolition and will preserve the architecturally significant home and garden.

See attached *Discretionary Review Application*, dated June 13, 2019.

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

The proposed project has responded to Planning Staff review and requests for a design that is compatible with the resource. Planning Staff review has also determined this is not a demolition.

No evidence that this project was built with specific respect to the adjacent homes has been provided. The criteria for exceptional or extraordinary circumstances has not been established by the DR requestor.

See attached *Response to Discretionary Review*, dated July 31, 2019.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

Preservation staff review of the project found that the proposed project is not a demolition and retains the character defining features of the resource and that the addition meets the criteria for adding to a resource. In doing so, the proposed addition also retains the building scale that respects the scale of buildings at the street and the scale at the mid-block open space. Since the project complies with the Residential Design Guidelines and Preservation criteria, staff does not see any exceptional or extraordinary circumstances.

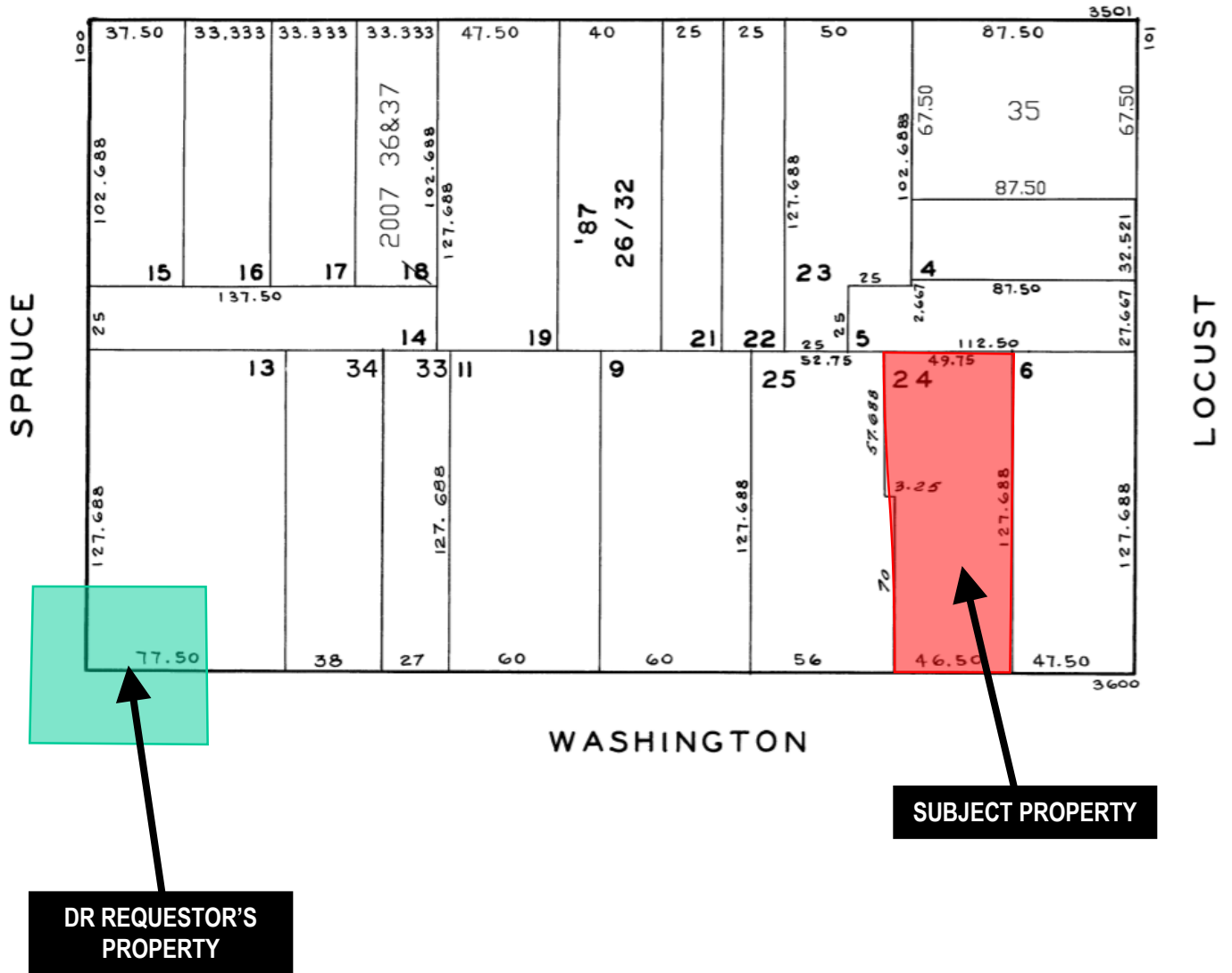
RECOMMENDATION:	Do not take DR and Approve
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Attachments:

Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Context Photographs
CEQA Determination
DR Application
Response to DR Application dated July 31, 2019
Reduced Plans

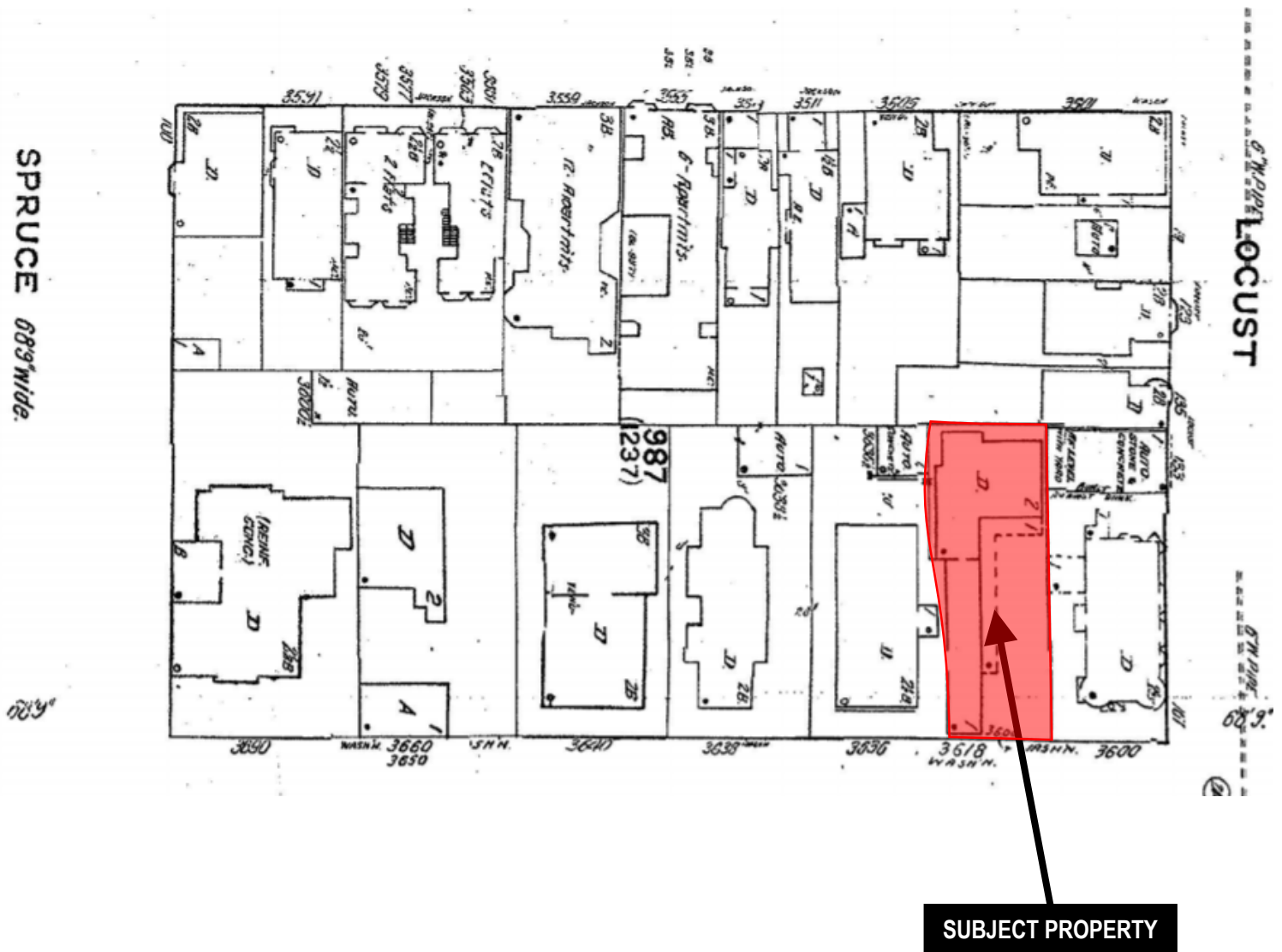
Exhibits

Parcel Map



Discretionary Review Hearing
Case Number 2018-009175DRP
 3610 Washington Street

Sanborn Map*

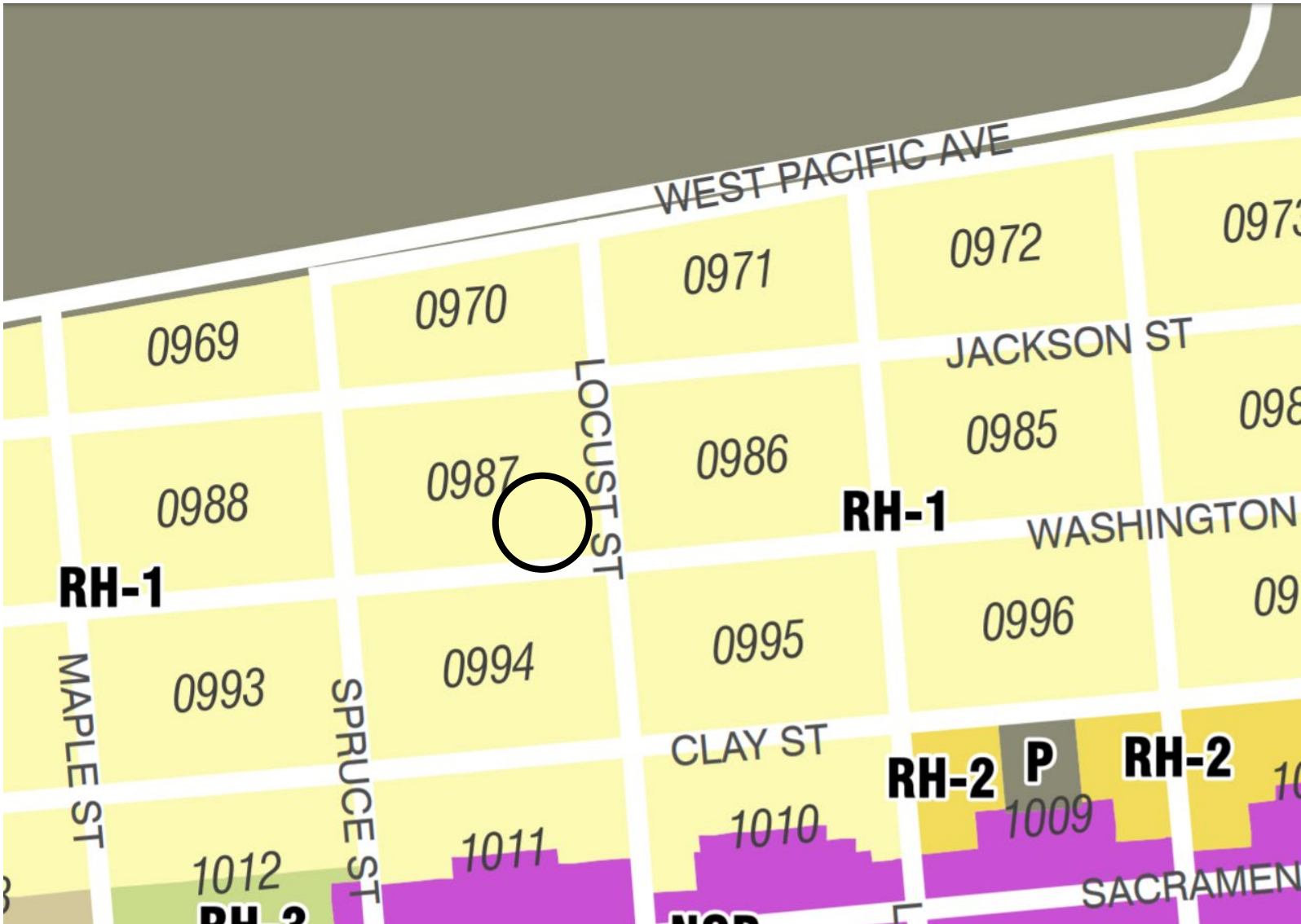


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing
Case Number 2018-009175DRP
3610 Washington Street

Zoning Map



Discretionary Review Hearing
Case Number 2018-009175DRP
3610 Washington Street

Aerial Photo



SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-009175DRP
3610 Washington Street

Aerial Photo

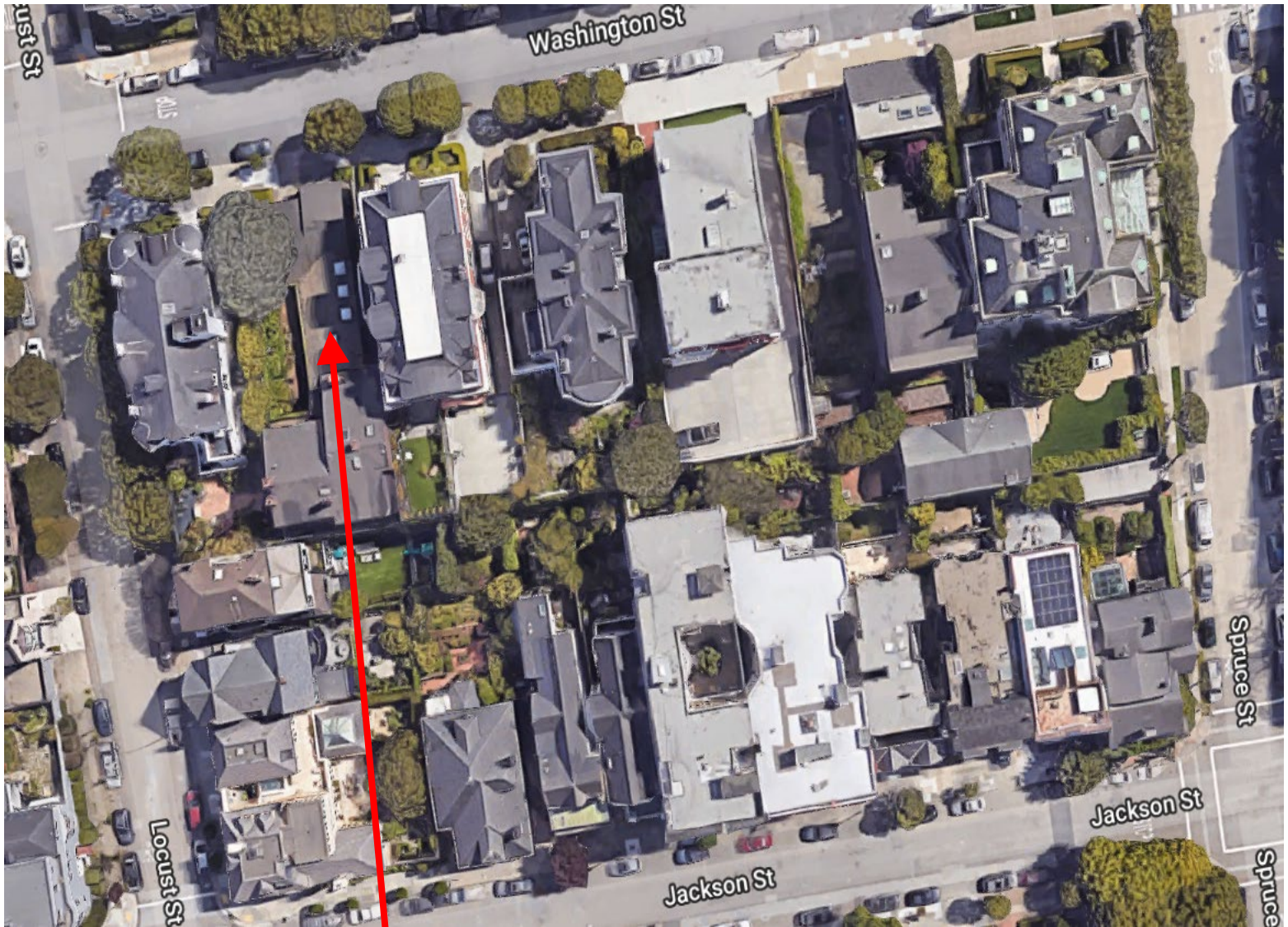


SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-009175DRP
3610 Washington Street

Aerial Photo

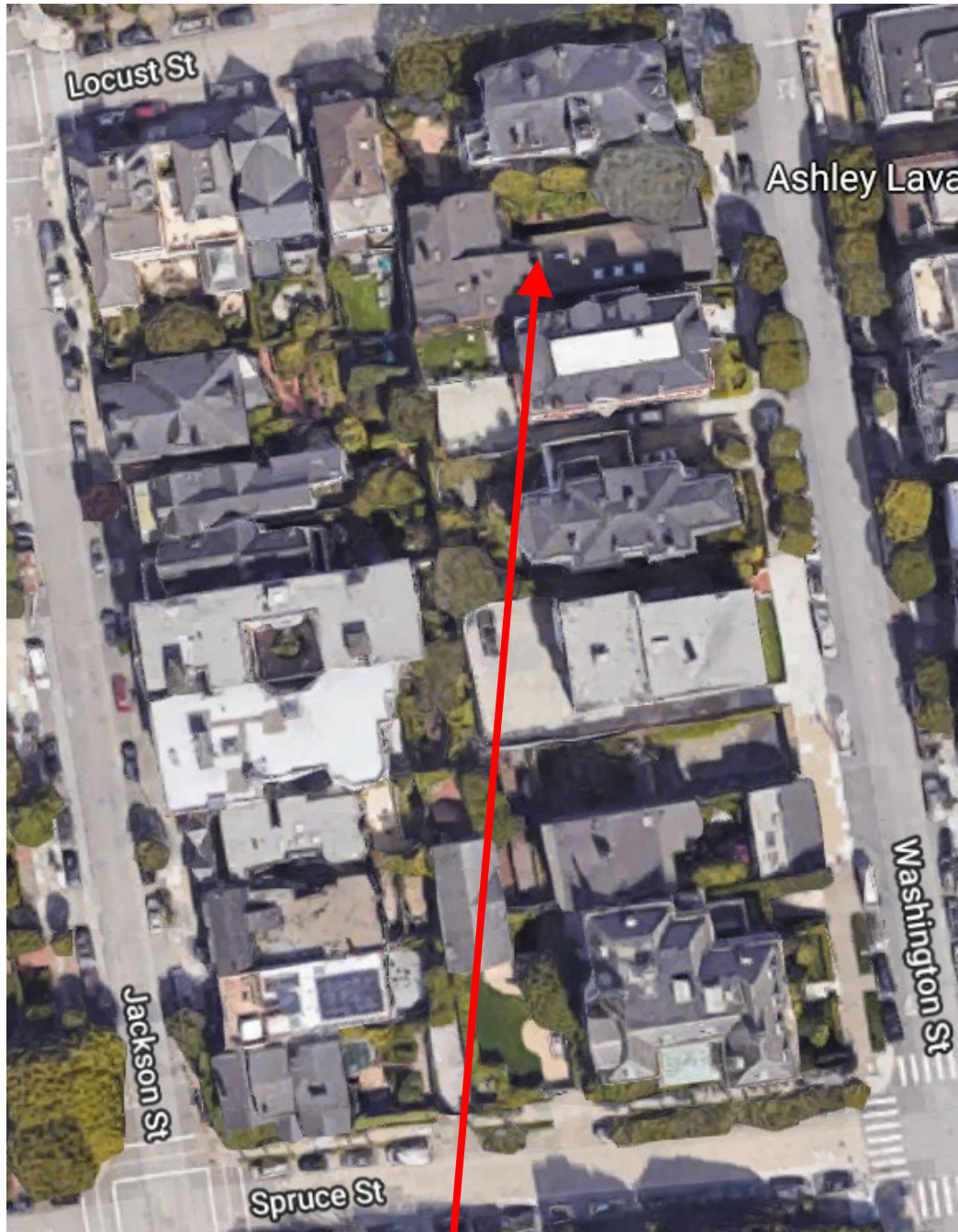


SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-009175DRP
3610 Washington Street

Aerial Photo



SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-009175DRP
3610 Washington Street

Site Photo



SUBJECT PROPERTY



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **January 10, 2019**, Building Permit Application No. **201901100038** was filed for work at the Project Address below.

Notice Date: 5/14/2019

Expiration Date: 6/13/2019

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	3610 Washington Street	Applicant:	Matthew Shanks
Cross Street(s):	Locust Street and Spruce Street	Address:	353 Folsom Street
Block/Lot No.:	0987 / 024	City, State:	San Francisco, CA
Zoning District(s):	RH-1 /40-X	Telephone:	(415) 318-8909
Record Number:	2018-009175PRJ	Email:	mshanks@walkerwarner.com

You are receiving this notice as an owner or occupant of property within 150 feet of the proposed project. **You are not required to take any action.** For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request that the Planning Commission review this application at a public hearing for Discretionary Review. Requests for a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown above, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input checked="" type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	No change
Front Setback	±2'-10" to existing garage	No change
Side Setbacks	0	No change
Building Depth	±121'-0"	No change
Rear Yard	±4'-4 1/2" to building	No change
Building Height	±29'-6"	±29'-10"
Number of Stories	2 with finished attic above	3
Number of Dwelling Units	1	No change
Number of Parking Spaces	3	No change
PROJECT DESCRIPTION		
<p>The project proposes to construct a vertical expansion, horizontal expansion, excavation at the basement to add habitable space, and other interior renovations to the existing two-story single family residence. The proposal requires a Variance from rear yard requirements. A public hearing on the Variance has been tentatively scheduled for May 22, 2019.</p> <p>The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code</p>		

To view plans or related documents, visit sf-planning.org/notices and search the Project Address listed above. Once the property is located, click on the dot(s) to view details of the record number above, its related documents and/or plans.

For more information, please contact Planning Department staff:

Sylvia Jimenez, 415-575-9187, Sylvia.Jimenez@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, contact the Planning Information Center (PIC) at 1660 Mission Street, 1st Floor (415) 558-6377 or pic@sfgov.org. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the propo

sed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. **You must submit the application in person** at the Planning Information Center (PIC), with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.** **Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184. Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
3610 WASHINGTON ST		0987024
Case No.		Permit No.
2018-009175ENV		201901100038
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
Project description for Planning Department approval. Renovation/addition to the existing 2 stories and basement single family residence at 3610 Washington. Partial vertical addition to the third floor over the existing building mass and an expansion of the facade, a partial horizontal addition at the second floor over the existing building mass and an expansion of the existing basement. The existing structure will also require seismic updates to the structure to meet the current code forces.		

STEP 1: EXEMPTION CLASS

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. FOR ENVIRONMENTAL PLANNING USE ONLY
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an *Environmental Evaluation Application* is required.

<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i>
<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input checked="" type="checkbox"/>	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	Slope = or > 20%: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required.

If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an *Environmental Evaluation Application* is required, unless reviewed by an Environmental Planner.

Comments and Planner Signature (optional): Laura Lynch

Archeo review complete, no effects.

The project would use typical construction equipment regulated by Article 29 of the Police Code. No pile driving is required and construction vibration would not affect adjacent buildings. The geotechnical report (Rollo & Ridley; May, 2018) states that the project would be supported on a mat-slab foundation, and the shoring would be constructed with hand-dug piers. The sponsor has confirmed that a mat-slab foundation would be used, and stated that hand-dug piers would be used for shoring in proximity to adjacent structures and drilled piers for shoring would be used in locations

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: <i>(refer to Parcel Information Map)</i>	
<input checked="" type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input checked="" type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): See HRER Part 2 signed 6/13/2019 for a description of how the project will not cause substantial adverse change in the significance of the resource. <i>(Requires approval by Senior Preservation Planner/Preservation Coordinator)</i>
<input checked="" type="checkbox"/>	10. Reclassification of property status. <i>(Requires approval by Senior Preservation Planner/Preservation)</i> <div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <input checked="" type="checkbox"/> Reclassify to Category A a. Per HRER dated 12/20/2018 b. Other (specify): See HRER Part 1 signed 12/20/2018 that describes why subject property is an individual resource and not a district contributor. </div> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category C <i>(attach HRER)</i> </div> </div>
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional): <div style="height: 40px; border: 1px solid black;"></div>	
Preservation Planner Signature: Justin Greving	

STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 - CEQA Impacts <input type="checkbox"/> Step 5 - Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.	
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Building Permit If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	Signature: Justin Greving 06/18/2019
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.	

CEQA Impacts Continued

Archeo review complete, no effects.

The project would use typical construction equipment regulated by Article 29 of the Police Code. No pile driving is required and construction vibration would not affect adjacent buildings. The geotechnical report (Rollo & Ridley; May, 2018) states that the project would be supported on a mat-slab foundation, and the shoring would be constructed with hand-dug piers. The sponsor has confirmed that a mat-slab foundation would be used, and stated that hand-dug piers would be used for shoring in proximity to adjacent structures and drilled piers for shoring would be used in locations that are not directly adjacent to neighboring structures along the property lines.

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
3610 WASHINGTON ST		0987/024
Case No.	Previous Building Permit No.	New Building Permit No.
2018-009175PRJ	201901100038	
Plans Dated	Previous Approval Action	New Approval Action
	Building Permit	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Date:



SAN FRANCISCO PLANNING DEPARTMENT

Historic Resource Evaluation Response

Date November 16, 2018
Case No.: 2018-009175ENV
Project Address: 3610 Washington Street
Zoning: RH-1 (Residential – One Family)
40-X
Block/Lot: 0987/024
Staff Contact: Alexandra Kirby, Preservation Planner
(415) 575-9133 | alexandra.kirby@sfgov.org
Date of Review: October 30, 2018

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PART I: HISTORIC RESOURCE EVALUATION

Building and Property Description

The parcel is located on the north side of Washington Street between Locust and Spruce Streets in the Presidio Heights neighborhoods. The subject lot is located in an RH-1 (Residential – Housing, One Family) Zoning District. The surrounding neighborhood consists predominantly of single-family homes constructed between the 1890s and the 1920s, although there are a number of post-World War II residences in the immediate vicinity, including the subject property.

3610 Washington Street was designed in 1959 by the office of Wurster, Bernardi & Emmons in the Second Bay Tradition style. The subject building features a one-story garage with a side gable at the street front clad in clapboard siding. Adjacent to the garage is an open carport with a gabled roof with translucent glazing in vertical bands at the rear and east walls. A small green house sits to the immediate east of the carport, enclosed in translucent glazing with a gable. Collectively these structures close off an open air interior courtyard that was originally designed by Thomas Church from the street.

The residence is composed of a one-story structure with a shallow gable roof that extends from the garage to the rear with glazing that opens to the interior landscaped courtyard. To the rear of the property, a two-story structure with a rectangular plan that spans the width of the property, creating a connected L-shaped residential plan. The larger residential mass is capped with two offset gable roofs with five rectangular box chimneys. The second wall of the south façade, facing the interior courtyard, features a wrap-around balcony with a wood balustrade. The building fenestration is primarily wood-sash casement, fixed and pivot windows. The ground story features full-height glazing and operable glazed doors allowing access to the interior courtyard. The courtyard features brick pavers and lush vegetation in a serpentine design, providing a meandering path to the main residence.

Pre-Existing Historic Rating / Survey

The subject property is not listed on any local, state or national registries, although it was surveyed in the 1976 Architectural Quality Survey, with a rating of "2". This suggests that the subject building is within the top ten percent of San Francisco's building stock for architectural significance. The building is additionally located within the identified boundaries of the Register-eligible Presidio Heights historic district. The building is considered a "Category A" property (Properties Requiring Further Consultation and Review) for the purposes of the Department's California Environmental Quality Act (CEQA) review procedures.

Neighborhood Context and Description

3610 Washington Street is located within the residential Presidio Heights neighborhood, a large area roughly bounded by Pacific Avenue and the Presidio parklands on the north, Geary Boulevard on the south, Presidio Avenue on the east, and Arguello Boulevard to the west. The area surrounding the subject property is primarily residential with a commercial corridor to the south on Sacramento Street. Construction dates for buildings located on the subject block range from circa 1898 to 1965, although the vast majority was constructed prior to 1925. This is reflected in the architecture of the building stock, which includes examples of buildings designed with Queen Anne, Shingle, Classical Revival, Colonial Revival, Craftsman, Tudor Revival and French Provincial influences. The broader neighborhood contains many houses designed by prominent architects of the early 20th century, including Ernest Coxhead, Albert Farr, Julia Morgan, Bernard Maybeck, and Willis Polk. The level of architectural integrity in the area is generally high.

While there are no locally designated Article 10 Landmarks located within the subject block, there is a high concentration of properties that are listed on the 1976 DCP architectural survey and the 1968 Junior League survey, published as *Here Today*.

CEQA Historical Resource(s) Evaluation

Step A: Significance

Under CEQA section 21084.1, a property qualifies as a historic resource if it is "listed in, or determined to be eligible for listing in, the California Register of Historical Resources." The fact that a resource is not listed in, or determined to be eligible for listing in, the California Register of Historical Resources or not included in a local register of historical resources, shall not preclude a lead agency from determining whether the resource may qualify as a historical resource under CEQA.

Individual	Historic District/Context
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:	Property is eligible for inclusion in a California Register Historic District/Context under one or more of the following Criteria:
Criterion 1 - Event: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 1 - Event: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Criterion 2 - Persons: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 2 - Persons: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Criterion 3 - Architecture: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Criterion 3 - Architecture: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Criterion 4 - Info. Potential: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 4 - Info. Potential: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Period of Significance: 1959	Period of Significance: 1890 - 1930 <input type="checkbox"/> Contributor <input checked="" type="checkbox"/> Non-Contributor

Based on the Historic Resource Evaluation prepared by Architectural Resources Group (dated March 29, 2018), information found in Planning Department files, and research conducted in the Presidio Heights neighborhood, Preservation staff finds that the subject building is individually eligible for listing on the California Register of Historical Resources, but does not appear to contribute to the previously identified California Register-eligible Presidio Heights historic district.

Criterion 1: Property is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.

For several decades following the Gold Rush, the area that today comprises Presidio Heights remained far removed from the more populous areas of the city. The most prominent early features of the area were several large cemeteries opened during the 1850s and 1860s. These included the Laurel Hill Cemetery, located south of California Street between Presidio and Parker avenues. By the early 1870s the cemeteries were served by two horse-drawn streetcar lines running out California and Post streets, both of which terminated at what is today Presidio Avenue. To the west, the primary transportation route in the area was the Point Lobos Road, today known as Geary Boulevard, which ran out to the Cliff House restaurant and hotel.

The primary catalyst for sustained development of Presidio Heights was the installation of new transportation lines, which reduced travel times between the western portion of the city and downtown. In 1879, the California Street Cable Railroad extended its operations west from Fillmore Street to Presidio Avenue, largely to access the cemeteries. Other important early lines included the Geary Street, Park and Ocean Railroad, first developed in 1880. This cable car line followed Geary Boulevard to Presidio Avenue, where connection was made to a steam-powered streetcar line that continued west on Geary Street before turning south on 1st Avenue (today Arguello Boulevard) to access Golden Gate Park.

One of the Richmond district's largest landowners, Adolph Sutro, also financed construction of the Ferries & Cliff House Railroad, completed in 1888. This was another combination cable car and steam-powered operation that ran out California Street to Point Lobos. Within Presidio Heights, the turntable for the Ferries & Cliff House Railroad's cable cars was located on the north side of California Street between Locust and Laurel streets. During the early 1890s, the Market Street Railroad developed an additional cable car line running out Sacramento Street to 6th Avenue, with a car house located at the northwest corner of Sacramento Street and Presidio Avenue.

The installation of new streetcar lines was soon followed by street grading and other infrastructure improvements—as well as sustained residential development. By 1895, area residents had formed the Presidio Heights Club to lobby for improvements that included street paving and sidewalks. Sanborn maps published in 1899 indicate that the blocks north of California Street in Presidio Heights were typically five- to twenty-five percent built out, almost exclusively with one- or two-story single-family dwellings. Construction was much sparser adjacent to the Presidio, where some blocks remained almost wholly undeveloped.

Sanborn maps produced in 1905 indicate steady building activity, with the blocks between Sacramento and Washington streets ranging from approximately thirty- to ninety-percent built out. North of Washington Street, however, development remained sparse. During this period, wood frame construction was dominant, although a few scattered homes featured brick construction, or brick/stone veneers.

Stylistically, many of these early buildings featured late-Queen Anne, Shingle (or First Bay Tradition), Craftsman/Arts and Crafts, and Colonial Revival style influences. Commercial development was rare, and almost wholly confined to the street frontages along California and Sacramento streets. A few institutional properties were also developed, including Hahnemann Hospital and Children's Hospital, both located near the intersection of Maple and California streets.

The neighborhood escaped severe damage during the 1906 Earthquake and Fire and soon attracted many new residents relocating from burned areas of the city. Numerous parcels were quickly subdivided, and the pace of development in Presidio Heights greatly intensified. Due in part to its proximity to public transportation, as well as its adjacency to the already upscale Pacific Heights neighborhood, Presidio Heights quickly earned a reputation as a decidedly fashionable neighborhood. This was enhanced by the creation of the nearby Presidio Terrace subdivision in 1906, which was designed as an exclusive enclave for some of the city's wealthiest residents.

A substantial number of the homes in Presidio Heights were architect-designed and constructed with a superior level of craftsmanship. Master architects known to have worked in both Presidio and Pacific Heights include Bakewell and Brown, Walter Bliss, Ernest Coxhead, Albert Farr, Hyman & Appleton, Edgar Mathews, Bernard Maybeck, Julia Morgan, and Willis Polk, among others. Finer residences typically included front and side setbacks, frequently with associated site/garden walls. In terms of massing and siting, post-earthquake residences continued many of the patterns established prior to 1906, although stylistic shifts are evident in the growing popularity of Classical Revival and Period Revival style ornamentation. Construction materials also shifted, with stucco cladding becoming much more prevalent from the 1910s onward.

Residential construction slowed somewhat during World War I, but resumed during the 1920s as San Francisco and the rest of the United States participated in a sustained building boom. A major force for this growth was the advent of the private automobile, which facilitated the development of areas further away from streetcar lines. The popularity of the private automobile also led to changes in residential design, with most new homes featuring driveways and integral garages. One of the most frequent alterations for older homes in Presidio Heights is the addition of a "snout" garage within the front setback, or an integral garage at the raised basement level. Many buildings of the 1920s also feature Spanish or Italian stylistic influences, frequently grouped under the Mediterranean Revival sobriquet.

Another result of the 1920s construction boom in Presidio Heights was the redevelopment of some of the area's oldest residences—frequently smaller dwellings constructed early in the neighborhood's development. By 1930, the neighborhood had been essentially built out—although a few larger parcels would subsequently be subdivided during the late 1930s, including clusters of late-1930s properties at the northwest corner of Spruce and Jackson Street, as well as the southwest corners of Presidio Avenue at Jackson Street and Washington Street. Intermittent redevelopment of individual parcels also continued through the middle of the century. During this period, prominent architects continued to design residences in Presidio Heights, including examples of high-style Modernism by Campbell & Wong, Gardner Dailey, Joseph Esherick, Erich Mendelsohn and William Wurster, as seen in the subject building.

Considered as a whole, 3610 Washington Street does not appear to be associated with significant events such that it would be individually significant under Criterion 1. Its construction is associated with broader construction trends in Presidio Heights during the second half of the 20th century, but it does not

appear significant or noteworthy within this context. Likewise, it does not appear to be part of a potential historic district significant for historic events. The development of the subject block was largely concentrated between circa 1900 and 1925, although it does not singularly demonstrate any specific or important association with development of the Presidio Heights neighborhood; furthermore the subject building was constructed outside of the primary period of development.

It is therefore determined that 3610 Washington is not eligible for listing in the California Register individually or as a contributor to a potential historic district under Criterion 1. However, this finding does not preclude the identification of other individual buildings or potential historic districts in the Presidio Heights neighborhood as significant under this Criterion. Staff finds that the subject building is not individually eligible for inclusion on the California Register individually or as a contributor to a potential historic district under Criterion 1 (Events).

Criterion 2: Property is associated with the lives of persons important in our local, regional or national past.

3610 Washington Street was originally owned by Robert and Dorothy Del Valle. Robert Del Valle was the treasurer of an exporting firm called Del Valle, Kahman & Co. and the property remained in their family until 1971 when it was sold to Paul Scott Foster, Jr., and his wife Barbara. Mr. Foster was a decorated Army officer who worked for Dow Chemical as the Pacific Coast division manager until his retirement in 1975. Barbara, who had studied painting at the San Francisco Institute of Arts, remained at the residence after Paul's death in 1995, until her death in 2015.

None of the owners or occupants of 3610 Washington Street appear to be of local regional or national significance. Therefore, the property does not appear to be eligible for individual listing on the California Register under Criterion 2 (Persons).

Criterion 3: Property embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values.

3610 Washington Street was designed by the firm of Wurster, Bernardi & Emmons in 1959. Their office was established in 1945 by prominent master architect William Wurster, Theodore Bernardi, and Donn Emmons. The firm designed hundreds of projects including residences, schools and public buildings throughout the Bay Area. Aside from his prolific career as a practicing modern era architect, Wurster served as the dean of the architecture schools at the Massachusetts Institute of Technology (MIT) and the University of California, Berkeley. The firm and associated architects are considered masters and the subject property is exemplary of their work. Additionally, the interior courtyard was originally designed by master landscape architect Thomas Church, one of California's most notable landscape architects of the 20th century.

The building is additionally exemplary of the Second bay Tradition, which, according to the *San Francisco Modern Architecture and Landscape Design Historic Context Statement*, was:

"A unique regional Modern vernacular style developed in the San Francisco Bay Area in the late-1930s. Now called the Second Bay Tradition, the emerging style fused the rustic, hand-crafted, woodsy-aesthetic of First Bay Tradition architects, with the sleek functional design and cubic, rectilinear forms associated with European Modernism. This union of the Arts and Crafts' and International Style's philosophies, materials, and volumes resulted in a simple, yet elegant regional Modern architectural style endemic to the Bay

Area. The resultant buildings are characterized by wood cladding, large expanses of glass, overhanging eaves, and flat or low-pitched roof forms. They are generally more open and light-filled than buildings of the First Bay Tradition.”¹

Therefore 3610 Washington appears to be individually significant under Criterion 3 both as an intact and representative example of the Second Bay Tradition as well as for its association with the firm of Wurster, Bernardi & Emmons; however, the building does not contribute to the surrounding Presidio Heights eligible historic district as it was constructed outside of the period of significance and is not representative of the high-style architecture of the early 20th century seen in the area.

Criterion 4: Property yields, or may be likely to yield, information important in prehistory or history.

Based upon a review of information in the Department's records, the subject property is not significant under Criterion 4, which is typically associated with archaeological resources. Furthermore, the subject property is not likely significant under Criterion 4 since this significance criterion typically applies to rare construction types when involving the built environment. The subject building is not an example of a rare construction type. Assessment of archeological sensitivity is undertaken through the Department's Preliminary Archeological Review process and is outside the scope of this review.

Step B: Integrity

To be a resource for the purposes of CEQA, a property must not only be shown to be significant under the California Register of Historical Resources criteria, but it also must have integrity. Integrity is defined as “the authenticity of a property’s historic identity, evidenced by the survival of physical characteristics that existed during the property’s period of significance.” Historic integrity enables a property to illustrate significant aspects of its past. All seven qualities do not need to be present as long the overall sense of past time and place is evident.

Location: ☒ Retains ☐ Lacks
Association: ☒ Retains ☐ Lacks
Design: ☒ Retains ☐ Lacks
Workmanship: ☒ Retains ☐ Lacks

Setting: ☒ Retains ☐ Lacks
Feeling: ☒ Retains ☐ Lacks
Materials: ☒ Retains ☐ Lacks

The subject property retains integrity of location and association, as it has never been moved and remains a single-family dwelling. It additionally retains sufficient integrity of design, workmanship and materials to convey association with its 1959 construction. The interior courtyard, originally designed by Thomas Church, does not retain integrity as the layout of the plantings has clearly been redesigned based on the original plans. The remaining intact features include the mature cedar tree that was present prior to the construction of the residence, and the use of brick pavers and plantings to create a wandering path to the main entrance.

Step C: Character Defining Features

If the subject property has been determined to have significance and retains integrity, please list the character-defining features of the building(s) and/or property. A property must retain the essential physical features that enable it to convey its historic identity in order to avoid significant adverse impacts to the resource. These essential

¹ Brown, Mary. *San Francisco Modern Architecture and Landscape Design 1935-1970*. San Francisco Planning Department, 2010.

features are those that define both why a property is significant and when it was significant, and without which a property can no longer be identified as being associated with its significance.

The character defining features of 3610 Washington Street include the following:

- Design emphasis on massing and volume rather than adornment
- Clapboard siding
- Horizontal orientation
- Open floor plan
- Blending of indoor and outdoor spaces

At the street façade:

- Low-pitched, side gable roofs
- Central carport with:
 - Full height frosted glazing on the north and east walls
 - Wood door with a transom at the rear
 - Exposed rafters
 - Brick pavers with stone aggregate
 - Brick planters
- Wood panel garage door with metal grillwork vents
- Gate composed of vertical wood boards

West wing:

- One-story height
- Deep eave overhang with exposed rafter tails
- Full-height glazing with wood mullions
- Wood-framed sliding doors

North wing (residence):

- Two-story height
- Projecting balcony with open rail at north and south walls
- Full-height glazing with wood mullions and wood-framed sliding doors at the north and south walls
- Second-story pivot windows
- Side-gable roof forms
- Two-panel glass door at southwest corner
- Five chimneys with tongue-and-groove vertical wood siding

CEQA Historic Resource Determination

- ☒ Historical Resource Present
- ☒ Individually-eligible Resource
 - ☐ Contributor to an eligible Historic District
 - ☒ Non-contributor to an eligible Historic District

☐ No Historical Resource Present

PART I: SENIOR PRESERVATION PLANNER REVIEW

Signature: Allison Vanderslice
Allison Vanderslice, Principal Preservation Planner

Date: 12/20/2018



SAN FRANCISCO PLANNING DEPARTMENT

Historic Resource Evaluation Response

Date June 7, 2019
Case No.: 2018-009175ENV
Project Address: 3610 Washington Street
Zoning: RH-1 (Residential – One Family)
40-X Height and Bulk District
Block/Lot: 0987/024
Date of Review: November 16, 2018 (Part I HRER)
June 5, 2019 (Part II HRER)
Staff Contact: Justin Greving (Senior Preservation Planner)
(415) 575-9169
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PART II: PROJECT EVALUATION

Pre-Existing Historic Rating / Survey

The subject property, located at 3610 Washington Street, is located on the north side of Washington Street between Locust and Spruce Streets in the Presidio Heights neighborhood. 3610 Washington Street was designed in 1959 by the office of Wurster, Bernardi & Emmons in the Second Bay Tradition style. The subject building features a one-story garage with a side gable at the street front clad in clapboard siding. Adjacent to the garage is an open carport with a gabled roof with translucent glazing in vertical bands at the rear and east walls. A small green house sits to the immediate east of the carport, enclosed in translucent glazing with a gable. Collectively these structures close off an open air interior courtyard that was originally designed by Thomas Church from the street.

The residence is composed of a one-story structure with a shallow gable roof that extends from the garage to the rear with glazing that opens to the interior landscaped courtyard. To the rear of the property stands a two-story structure with a rectangular plan that spans the width of the property, creating a connected L-shaped residential plan. The larger residential mass is capped with two offset gable roofs with five rectangular box chimneys. The second wall of the south façade, facing the interior courtyard, features a wrap-around balcony with a wood balustrade. The building fenestration is primarily wood-sash casement, fixed and pivot windows. The ground story features full-height glazing and operable glazed doors allowing access to the interior courtyard. The courtyard features brick pavers and lush vegetation in a serpentine design, providing a meandering path to the main residence.

Based on the findings of the HRE prepared by ARG dated March, 2018 and confirmed in the HRER dated November 16, 2018, Planning Department staff conclude that 3610 Washington Street is individually eligible for listing on the California Register of Historical Resources under Criterion 3 both as an intact and representative example of the Second Bay Tradition as well as for its association with the firm of Wurster, Bernardi & Emmons. The period of significance is 1959, which corresponds with the date of construction. However, the building does not contribute to the surrounding Presidio Heights eligible historic district as

it was constructed outside of the period of significance and is not representative of the high-style architecture of the early 20th century seen in the area.

The following is a list of character-defining features of 3610 Washington Street:

- Design emphasis on massing and volume rather than adornment
- Clapboard siding
- Horizontal orientation
- Open floor plan
- Blending of indoor and outdoor spaces

At the street façade:

- Low-pitched, side gable roofs
- Central carport with:
 - Full height frosted glazing on the north and east walls
 - Wood door with a transom at the rear
 - Exposed rafters
 - Brick pavers with stone aggregate
 - Brick planters
- Wood panel garage door with metal grillwork vents
- Gate composed of vertical wood boards

West wing:

- One-story height
- Deep eave overhang with exposed rafter tails
- Full-height glazing with wood mullions
- Wood-framed sliding doors

North wing (residence):

- Two-story height
- Projecting balcony with open rail at north and south walls
- Full-height glazing with wood mullions and wood-framed sliding doors at the north and south walls
- Second-story pivot windows
- Side-gable roof forms
- Two-panel glass door at southwest corner
- Five chimneys with tongue-and-groove vertical wood siding

Proposed Project

☐ **Demolition**

☒ **Alteration**

Per Drawings Dated: 5/17/2019

Project Description

The proposed project includes a vertical and horizontal expansion, and excavation at the basement to add habitable space, and other interior renovations to the existing single-family residence.

Project Evaluation

If the property has been determined to be a historical resource in Part I, please check whether the proposed project would materially impair the resource and identify any modifications to the proposed project that may reduce or avoid impacts.

Subject Property/Historic Resource:

- ☒ The project will not cause a significant adverse impact to the historic resource as proposed.
- ☐ The project will cause a significant adverse impact to the historic resource as proposed.

California Register-eligible Historic District or Context:

- ☒ The project will not cause a significant adverse impact to a California Register-eligible historic district or context as proposed.
- ☐ The project will cause a significant adverse impact to a California Register-eligible historic district or context as proposed.

Project Impacts

The proposed project includes a vertical and horizontal addition to the north wing. The south elevation of the north wing will be modified to incorporate a 3rd story which will push the massing of the north wing slightly south and east. The massing of this addition has been modified to resemble the simple form of the existing south elevation of the north wing which features a prominent side gable roof form interrupted by a square chimney, and a simple pattern of vertically oriented wood casement windows. The new south elevation will incorporate the existing chimney within a new side gable roof so as to give a similar appearance from the street, and windows will be vertically oriented fixed and casement windows. The proposed roof peak of the addition will be 3'11" taller than the peak of the existing roof but will match its existing angle. The remaining portion of the existing north wing that is set back further from the street will not be modified (aside from a door to the second-floor balcony that will be removed to accommodate the expansion), and the existing wood-frame casement windows will be repaired.

Modifications along the north elevation include the replacement of the existing ground and second floor windows and doors.

Modifications to the west elevation are relatively minor and include the repair of a single vertically oriented window towards the street and the installation of a package door and removal of two utility access doors. Further north along the west elevation, three windows will be replaced with two vertically oriented windows and a double door.

Alterations to the elevations facing the courtyard include select window repair and replacement along with the excavation to include a basement level atrium along with the installation of new pavers and other exterior landscape features. The existing cedar tree which was not identified as a character-defining feature will be removed to accommodate the new basement.

Alterations to the south elevation that faces the street, including the garage, carport, and greenhouse, are relatively minor and include repair of existing features. The existing garage door will be repaired rather

than replaced. The existing door and windows that lead to the courtyard will also be repaired rather than replaced. The existing glass windows and roof of the greenhouse will also be repaired rather than replaced. The surface of the carport will not be modified aside from the installation of a 4" high curb separation the pedestrian walkway from the carport.

Preservation staff find that the proposed project will not materially alter in an adverse manner the physical characteristics (or character-defining features), of the identified historic resource that justify its eligibility or listing in the California Register. As explained in more detail below is a Secretary of the Interior's Standards analysis for the project:

Standard 1

A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.

The proposed project will continue its use as a single-family home. Although the spatial relationship of the interior-facing courtyard will be slightly affected by the installation of a basement level atrium, the size of this atrium space is relatively small, and the majority of the courtyard will continue to provide outdoor space to the house and the spatial relationship of the courtyard to the surrounding house will remain mostly intact. Overall, the character-defining features including a design emphasis on massing, horizontal orientation, open floor plan, and a blending of indoor and outdoor space will remain unaltered. Therefore, the proposed project is in conformance with Standard 1.

Standard 2

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

The removal and replacement of windows and doors, especially on the courtyard-facing elevations, and along the north elevation is not in conformance with Standard 2, as these windows are large expanses of glass with relatively thin wood muntins and mullions that cannot be replaced in-kind once removed. However, these alterations will not be visible from the public right of way. Other distinctive features that are visible from the street and were identified as character-defining features will not be altered. These features include the low-pitched side gable roofs, a central carport with full height frosted glazing on the north and east walls, a wood door and transom at the rear (of the carport), the garage door, and the existing brick pavers and planters within the carport. In general, the spaces and relationships characterizing the property that are visible from the street will be retained. Therefore, the proposed project is not entirely in conformance with Standard 2.

Standard 3

Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The proposed vertical and horizontal addition will resemble the existing two-story addition so as to be less visually intrusive from the street. It is not the intention of the addition to create a false sense of history by replicating the general shape and form of the building, but rather to seamlessly integrate it within the building while still allowing for some modest expansion of the second and third floor. Therefore, the proposed project is in conformance with Standard 3.

Standard 4

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

There are no changes on the property that have taken on significance since the subject property was constructed in 1959. Although the greenhouse located at the front of the property was added at a later date and was not considered a character-defining feature, it will be retained. Therefore, Standard 4 does not apply.

Standard 5

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Houses constructed in the Second Bay Tradition feature simple elements, such as wood clapboard siding and simple square windows. The materials featured on this property will be retained for the most part when they are visible from the public right of way. Existing windows and doors, when visible from the street, will be retained and repaired rather than replaced, and locations where the wood clapboard siding needs to be repaired or replaced, will be done in kind to match the existing size and shape of the clapboard. However, in portions of the house that are not visible from the street, the distinctive finishes such as windows and doors will be replaced not exactly in kind and will not be preserved. Therefore, the project is not entirely in conformance with Standard 5.

Standard 6

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

As mentioned previously, the features of the street-facing south elevation will not be replaced, rather they will be repaired. Therefore, the project is in conformance with Standard 6.

Standard 7

Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

There are no proposed chemical or physical treatments proposed as part of the project. Therefore, Standard 7 does not apply.

Standard 8

Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Assessment of archeological sensitivity is undertaken through the Department's Preliminary Archeological Review process and is outside the scope of this review.

Standard 9

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The proposed vertical and horizontal addition has been modified such that it will appear a minor alteration as seen from the street. The size and shape of the addition has been sculpted such that it resembles the existing two-story element of the resource and will not introduce any new elements that will be visible from the street. The deeply sloped roof form of the addition will mimic the existing addition, and the existing chimney will be incorporated. The proposed fenestration pattern and materials palette of the addition will be compatible with the existing fenestration pattern and material palette so as to create an addition that is visually subordinate to the historic resource. The new fenestration will be similar, but not

exactly a replica of the existing windows, and will thus be visually differentiated with its rhythm of vertically oriented casement windows paired with panes of glass that meet at the corner with a butt joint. While the new basement addition requires modifications to the courtyard, such as removal of the existing cedar tree and the incorporation of a sunken atrium, the materials and landscape elements of the courtyard were not determined to be character-defining, and the courtyard as a space will be largely retained. Therefore, the proposed addition is in conformance with Standard 9.

Standard 10


New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

There are elements of the new construction, including the vertical addition and construction of the basement, that if removed in the future, would retain the essential form and integrity of the property. While there are other elements of the proposed project, such as the removal of windows and doors along the interior courtyard and along the rear elevation, that are irreversible in nature and would be difficult in nature to replace exactly in kind once removed. Therefore, the project is not entirely in conformance with Standard 10.

Conclusion

In conclusion, while there are elements of the proposed project that are not in conformance with the Secretary of the Interior's Standards for Rehabilitation, the proposed project will not cause a substantial adverse change in the significance of the resource. The subject property will continue to convey its significance as a Second Bay Tradition property designed by master architects Wurster, Bernardi & Emmons.

PART II: PRINCIPAL PRESERVATION PLANNER REVIEW

Signature: 
Allison Vanderslice, Principal Preservation Planner

Date: 6/13/2019

cc: Sylvia Jimenez, Current Planner



DISCRETIONARY REVIEW PUBLIC (DRP) APPLICATION

Discretionary Review Requestor's Information

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Address:	235 Montgomery Street # 823	Email Address:	patrick@buscovich.com
		Telephone:	415-760-0636

Information on the Owner of the Property Being Developed

Name:	Matthew Shanks		
Company/Organization:	Walker Warner Architects		
Address:	353 Folsom Street	Email Address:	mshanks@walkerwarner.com
		Telephone:	415-318-8909

Property Information and Related Applications

Project Address:	3610 Washington Street
Block/Lot(s):	09877024
Building Permit Application No(s):	201901100038

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case? (including Community Boards)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Changes Made to the Project as a Result of Mediation. If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes that were made to the proposed project.		
The third floor was revised.		

DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

This project may constitute the demolition of an architecturally significant historical home and garden.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

This William Wurster house and Thomas Church garden were built with specific respect for the adjacent homes that has been disregarded in the current plan.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

Demonstrate that this will not be a demolition of an architecturally significant historical home through means and methods necessary to preserve the home and garden.

DISCRETIONARY REVIEW REQUESTOR'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

a) The undersigned is the DR requestor or their authorized representation.

ms
Signature

consultant
Relationship to Requestor
(i.e. Attorney, Architect, etc.)

415.760.0636
Phone

Elizabeth Spokes
Name (Printed)
patrick@buscovich.com
Email

For Department Use Only

Application received by Planning Department:

By: Ej White

Date: June 13, 2019



RESPONSE TO DISCRETIONARY REVIEW (DRP)



**San Francisco
Planning**

SAN FRANCISCO PLANNING DEPARTMENT
1650 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94103-2479
MAIN: (415) 558-6378 SFPLANNING.ORG

Project Information

Property Address: **3610 Washington**

Zip Code: **94118**

Building Permit Application(s): **#2019.0110.0038**

Record Number: **2018-009175**

Assigned Planner: **Sylvia Jimenez**

Project Sponsor

Name: **Matthew Shanks**

Phone: **(415) 318-8909**

Email: **mshanks@walkerwarner.com**

Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

See attachment

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

See attachment

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

See attachment

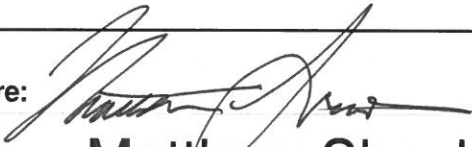
Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)	1	1
Occupied Stories (all levels with habitable rooms)	2	3
Basement Levels (may include garage or windowless storage rooms)	1	1
Parking Spaces (Off-Street)	3	3
Bedrooms	5	7
Height	29.5'	32.4'
Building Depth	60'-0"	60'-0"
Rental Value (monthly)	n/a	n/a
Property Value	11,300,001	14,300,250

I attest that the above information is true to the best of my knowledge.

Signature:



Printed Name:

Matthew Shanks

Date:

7/31/19

- ☐ Property Owner
☒ Authorized Agent

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

July 31, 2019

Alan Murphy
AMurphy@perkinscoie.com
D. +1.415.344.7126

President Myrna Melgar and Planning Commissioners
San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

**Re: 3610 Washington Street:
Response to Discretionary Review Request**

President Melgar and Hon. Commissioners:

On October 3, 2019, the Planning Commission will consider whether to accept Discretionary Review (DR) for a proposed project at 3610 Washington Street, Block 0987, Lot 024 (the "Property"). One single-family home currently is located on the Property. Proposed plans call for expanding and renovating the home to accommodate the project sponsor's large and growing family and to enable all family members to have bedrooms on the same floor (the "Project"). Over more than a year's time, the Project sponsor has made key modifications to the Project to accommodate concerns raised by the DR Requestor and to ensure that character-defining features of the Property are preserved. Project plans comply with the Planning Code and the Residential Design Guidelines.

Nevertheless, on behalf of next-door neighbor Elizabeth Spokes, Patrick Buscovich filed a DR request. The DR Application fails to meet the requesting party's burden of showing why the Project should be denied or modified, and, in fact, no exceptional or extraordinary circumstances exist that would warrant DR. The Project does not constitute a demolition, and the Planning Department carefully has reviewed the proposed plans to ensure there will be no substantial adverse impact on a historic resource. Similarly, the DR Requestor's desire to preserve unprotected views does not constitute exceptional or extraordinary circumstances.

I. Project Description

The Property currently contains a two-story and basement, single-family home and an interior courtyard located on the eastern side of the parcel. The City has classified the Property as a historic resource; the residence is a representative example of the Second Bay Tradition style and was designed by the firm of Wurster, Bernardi & Emmons, which was founded by master architect William Wurster and colleagues.

The proposed Project features: (1) expansion of an existing basement; (2) a partial addition at the north façade at the first and second floors; (3) a partial horizontal addition at the second floor over the existing building mass; (4) a partial vertical addition to the third floor over the existing building mass; and (5) renovations and seismic upgrades to the existing home. The Project is proposed to enable the residence to comfortably accommodate the sponsor's family of six.

II. Project Modifications to Address the DR Requestor's Concerns and to Ensure Preservation of Historic Character

The Project sponsor has modified the Project in several ways to address concerns expressed by the DR Requestor (the Spokes family) and comments from City staff. Responsive modifications include:

- The proposed second-story addition was retreated to the rear, which reduced its length by 14 feet. As described in greater detail in the enclosed Exhibit A, this modification expressly was made in response to the DR Requestor's stated concerns about views from their kitchen, as the second-floor reduction preserves views from two additional kitchen windows. Exhibit B, page 9 depicts the extent to which these views from the DR Requestor's residence will be preserved.
- The proposed third floor was reduced in height by approximately 4 feet by removing a proposed third gable modification at the home's rear. The modification helped ensure preservation of the Property's historic character by maintaining consistency with the existing roof lines and massing, which are character-defining features. The changes also reduced Project effects on views and the amount of light available to the DR Requestor's third-floor master bathroom. Exhibit B, page 13 shows the resulting benefit to the DR Requestor.
- The Project was modified to include repairing, instead of replacing, windows, doors, and other historic elements of the Property that will be visible from the public right-of-way.

Throughout the Project application process, the Project sponsor repeatedly has made themselves available to the DR Requestor to discuss their concerns. Exhibit A details the lengthy chronology of these interactions. Communications include an informal meeting to review initial Project schematic designs, the required pre-application neighborhood outreach meeting, and numerous in-person meetings between the Project sponsor and the DR Requestor.

III. Discretionary Review Not Warranted

In their application, the DR Requestor has not attempted, beyond making short assertions, to demonstrate that Discretionary Review is warranted here and plainly has not met their burden for doing so. DR, of course, is available only where “exceptional and extraordinary circumstances exist.”¹ Such circumstances do not exist here, and the DR Requestor has not offered any reason to find otherwise.

A. The DR Requestor Has Not Met Their Burden

The DR Requestor has the burden of showing that a project should be subject to Discretionary Review. Planning Department rules clearly explain: “The burden of showing why a project that meets the minimum standards should be denied or modified rests with the DR Applicant.” This burden requires the party requesting DR to provide in its application “specific reasons” for its request, to be “as specific as possible, especially in describing issues of concern,” and “to suggest reasonable alternatives.”² The authorized representative who filed the DR Application here will be familiar with these requirements.

Even a brief look at the DR Application makes plain that the DR Requestor has not come close to meeting their burden in the submissions to date. The application contains only conclusory statements of a single sentence in response to each question. No attempt is made to present any arguments based on factual or legal analysis. In response to the third substantive question on the application, the DR Requestor even asks for someone else (presumably the City or the Project sponsor) to “[d]emonstrate that this will not be a demolition” of a historic residence.

This misunderstands what a request for Discretionary Review must show before the Planning Commission can consider granting DR. The burden is on the *DR Requestor* to demonstrate to the Commission why “exceptional and extraordinary circumstances” exist. In the comprehensive review that Planning Department staff already completed, staff determined that the Project complies with both the Planning Code and the Residential Design Guidelines. Staff also concluded that the Project will not have a significant adverse impact on a historic resource.

¹ San Francisco Planning Department, *Discretionary Review Public (DRP) Informational Packet* (Jan. 2019), p. 3, available at https://sfplanning.org/sites/default/files/forms/DRP_InfoPacket.pdf.

² *Id.*, pp. 2-3.

Unless the DR Requestor can meet their burden of showing why these determinations are incorrect or why the project otherwise should be denied or modified, Discretionary Review must be denied.

B. The Project Addresses the Concerns Identified in the DR Application

1. The Project Will Not Demolish a Historic Resource

The DR Requestor suggests that the Project “may constitute the demolition of an architecturally significant historical home and garden.” The Planning Department correctly has concluded that the Project will not constitute a demolition and will not cause a substantial adverse change in the significance of a historic resource.

To reach these conclusions, Preservation Planning staff conducted a comprehensive historic resources review. Staff and the Project sponsor communicated regularly throughout this lengthy review process to ensure that staff understand the sponsor’s plans. This dialogue dates to a project review meeting with a preservation planner on June 5, 2018 and has continued ever since an application was submitted later that month. To address concerns raised by preservation planners, the Project sponsor submitted multiple revised plans.

Furthermore, preservation planning staff’s review of the Project was informed not only by a Historic Resource Evaluation prepared by the Project sponsor’s consultant, Architectural Resources Group, but also by a Project Impact Letter of Opinion prepared by Page & Turnbull. For most projects, only one consultant evaluation typically is available to the Planning Department. As such, the Department had ample information available to assess whether the Project will have a significant adverse impact on a historic resource.

It appears the DR Requestor may seek to argue that the Project constitutes a demolition, rather than an alteration. Yet the Planning Department has reviewed the proposal and correctly has determined that it will not constitute a demolition, but rather an alteration. (See Planning Department, *Historic Resource Evaluation Response* (HRER), part II, p. 2 (June 7, 2019).) Moreover, the Project sponsor took a conservative approach to performing the calculations that determine which areas of the existing structure are identified as subject to demolition. For instance, when calculating the extent of interior walls removed, the Project sponsor included the walls’ surface area. This represents a more restrictive approach relative to that taken by many project sponsors who calculate only how many linear feet of walls will be removed. Even using these conservative calculations, the Project does not constitute a demolition of a historic resource under Article 10 of the City’s Planning Code.

The DR Requestor also may contend that construction activity could cause unintended damage to the historic residence, which, in turn, could cause the removal and replacement of damaged items currently identified as preserved. To help ensure that this outcome is avoided and that the highest care is taken, the Project sponsor has retained Thompson Suskind as general contractors.

Since its inception in 2004, Thompson Suskind has performed no less than 20 shoring and excavation projects in San Francisco of similar scale to the Project and with similar vertical cuts along adjoining property lines. The firm itself performs the excavation, shoring, and concrete work on its most complex projects. The firm's principals have worked closely with the Planning Department and the Department of Building Inspection on past projects and are intimately familiar with the City's demolition thresholds and the need to present precise calculations that will be taken literally. Thompson Suskind will retain a shoring engineer to design all shoring systems. The general contractors also will retain a monitoring firm to provide initial surveying and to catalogue existing conditions, for reference throughout construction.

Thompson Suskind has identified the following construction process to minimize the risk of damage to the Property:

- The rear glazing in the Property's carport will be temporarily removed to enable site access for construction equipment and to ensure work can proceed safely. The glazed units will be protected offsite during construction, will be repaired, and will be reinstalled once the access point no longer is needed for construction.
- Following removal of the carport glazed units, Thompson Suskind will begin excavation in the courtyard and will use the carport area to "ramp down" to the excavated pit for the new basement areas.
- Thompson Suskind will install shoring along the perimeter of the proposed basement. For shoring that is offset more than three feet from the property line, soldier beams will be inserted into drilled holes, and lagging span will be installed between the beams. For any shoring that occurs less than three feet from the property line, hand-dug piers will be installed to minimize disturbance to adjacent buildings.
- As shoring is put in place, diagonal braces will be installed that will attach to concrete footings. This installation will brace the shoring assemblies and ensure the soil is stabilized during subsequent excavation work.

- In a parallel sequence, building shoring for the Property's existing wood structure will be assembled to temporarily transfer the structure's load to new cribbing towers. This will require removal of the first story's floor framing assembly, which later will be replaced with a new structural pan deck system. That new system also will brace the building laterally and enhance its lateral stability.

In sum, best construction practices as described here will be followed to ensure the Property's historic character is not undermined. The Project does not constitute a demolition of a historic resource.

2. The Residence Was Not Built in Reference to Adjacent Homes and, in Any Event, the Project Respects Historic Character

The DR Requestor alleges that the existing residence and garden "were built with specific respect for the adjacent homes" and that the Project disregards this aspect of the Property's existing improvements. No support is provided in the DR Application for this assertion, and none is available. The Property was designed to create privacy and an intimate space for its residents, rather than to have any prescribed relationship to the adjacent properties.

Historic resource evaluations completed by the Planning Department and expert consultants confirm this point. (See HRER, part I (Nov. 16, 2018), part II (June 7, 2019); Architectural Resources Group, *Historic Resource Evaluation* (HRE) (Mar. 2018).) The two-story portion of the residence was placed toward the rear of the Property to serve as a barrier against cold northwestern winds. (HRE, p. 17.) The original positioning of the home also maximizes views of the Presidio and the San Francisco Bay from the Property while even obstructing some views of the same features from the DR Requestor's residence.

The existing home on the Property forms an L-shaped residential plan. The structure has a narrow and horizontal orientation with low-pitched side gable roofs, two-story massing that spans the Property's width in the rear, and an interior courtyard in the Property's center toward its eastern side. (HRER, part II, p. 1; HRE, pp. 1-3.) This low and enclosed configuration surrounding the courtyard was designed to create a blending of indoor and outdoor space that is insulated from both the street and adjacent properties. The residence's horizontal orientation, low-pitched side gable roofs, and merger of indoor and outdoor spaces are character-defining features of the Property. (HRER, part II, p.2; HRE, p. 18.) Collectively, these features of the Property were included to create a unique living space for its residents, not to respect adjacent residences.

The interior courtyard, similarly, was not built in reference to neighboring properties. The courtyard is not visible from the public right-of-way. Its purpose is not to provide views from adjacent homes or for the public, but instead to be enjoyed as an outdoor living room for residents. In addition, while the courtyard originally was designed by notable landscape architect Thomas Church, the Planning Department correctly has concluded that it “does not retain integrity as the layout of the plantings has clearly been redesigned based on the original plans.” (HRER, part I, p. 6.) The interior courtyard is not a character-defining feature of the property (HRER, part I, p. 7) and, in any event, was not designed for the benefit of neighboring homes. The Planning Department has concluded that the character-defining features of the Property will remain unaltered by Project improvements that affect the courtyard. (HRER, part II, p. 4.)

Even though the existing residence was not built with reference to the adjacent homes, the Project has been designed and modified to be consistent with the existing massing and appearance. The Project will preserve the Property’s character-defining features, including the home’s horizontal orientation, low-sloped side-gable roofs, simple appearance, single-story massing at the front and along the west wing, and two-story double side-gable in the rear. (HRER, part II, pp. 2, 4.) The proposed massing maintains this double gable with the higher gable on the west side of the building, and then simply extends this roof line to allow for a second-floor addition.

The third-floor addition, on its own, does not require adding any massing to the existing building. The existing envelope already includes potential habitable “third-floor” space in the attic of the second-floor gable. The proposed third floor is composed of this volume and a minor extension of the gable designed to accommodate the second-floor addition. The Planning Department has stated that the massing of this addition “resemble[s] the simple form of the existing south elevation of the north wing.” (HRER, part II, p. 3.)

In the Historic Resource Evaluation Response, the Planning Department ably has summarized how the Project will protect the historic character of the Property. The “intention of the addition” is “to seamlessly integrate it within the building while still allowing for some modest expansion of the second and third floor.” (HRER, part II, p. 4.) The addition will be “visually subordinate to the historic resource.” (HRER, part II, p. 5.) Finally, the proposed vertical and horizontal addition “will resemble the existing two-story addition” and “has been modified such that it will appear a minor alteration as seen from the street.” (HRER, part II, pp. 4-5.)

In sum, the record indicates clearly that the existing residence was not built in reference to other homes. Nonetheless, the Project will respect adjacent residences by maintaining similar massing and a similar appearance to the existing structure.

C. The DR Requestor's Longstanding Concerns About Preserving Views Do Not Justify Taking DR

As mentioned above and as described further in Exhibit A, the DR Requestor repeatedly has raised to the Project sponsor concerns about the Project's effects on views from their kitchen and master bathroom. While not identified in the DR Application as a rationale for Commission action, the DR Requestor consistently has focused on this issue.

To begin, the Project does not restrict light and air to the DR Requestor's home under widely-accepted standards, given the significant distance—8 feet—between the neighboring structure and the proposed addition. While the DR Requestor might prefer that even more light be made available to certain windows, the City does not restrict development on this basis.

As for views, the City long has recognized that existing views are not protected where proposed improvements otherwise comply with all restrictions established by the Planning Code. This is the situation presented here.

Even so, the Project has been designed and expressly was modified to minimize effects on the DR Requestor's views and to maximize available light to their residence. As shown in Exhibit B, page 8, the Project will not eliminate views from the larger of the east-facing windows in the second-floor kitchen that currently allow views across the Property. In direct response to the DR Requestor's concerns, Project massing was modified to preserve this view. Page 18 of Exhibit B shows that ample sunlight will continue to enter the kitchen in this area. Subsequent Project modifications also reduced effects on a window in the third-floor master bathroom so that it only will be partially obscured. (Exhibit B, page 14 shows that the DR Requestor's kitchen and master bathroom also enjoy large north-facing windows with views that will be unaffected by the Project.)

IV. Further Modifications Would Not Address DR Requestor Concerns

As described in Section II, above, the Project sponsor already has made meaningful modifications to the Project specifically to address issues raised by the DR Requestor during the application process. Any further modifications to the Project would not address the concerns stated in the DR Application regarding demolition and historic preservation. The Planning Department properly has concluded that these concerns adequately are addressed by the Project, as currently proposed.

Similarly, any further modifications intended to address the Project's impact on views from the DR Requestor's residence would not be warranted, nor would they be feasible. As noted, the proposed third floor already has been reduced to a small office area that does not require the addition of further massing beyond that necessary for the second floor. The size of the proposed second floor has been reduced to the greatest extent possible in light of core Project objectives and code requirements. The Project is designed so that the second story contains enough bedrooms that the sponsor's family of six all can sleep on the same floor, and the proposed bedrooms are small relative to the neighborhood.

V. Conclusion

In summary, the DR Requestor has identified no exceptional or extraordinary circumstances that would justify the Planning Commission's exercise of Discretionary Review. The Project preserves the character-defining features of the Property and maintains the Property's existing massing and presence in the neighborhood. Through a modest expansion respectful of neighboring properties, the Project will allow a (growing) San Francisco family all to sleep on the same floor of their home. For these reasons, we urge the Planning Commission to deny Discretionary Review and approve the Project.

Very truly yours,



Alan Murphy

Enclosures

145007411.4

EXHIBIT A – MEETINGS & MEDIATION HISTORY WITH DR REQUESTER

PROJECT ADDRESS: 3610 WASHINGTON STREET
SAN FRANCISCO, CA. 94118

ASSESSOR'S BLOCK/LOT: 0987/024

BUILDING PERMIT NUMBER: 201901100038

PLANNING RECORD NUMBER: 2018-009175PRJ

Meetings and mediating actions taken before request for Discretionary Review was filed

- **3/21/18** - First meeting between the Project Sponsor, the Project Architect – (Walker Warner Architects WWA) and the adjacent neighbor at 3636 Washington Street (the DR Requester). Meeting conducted at DR Requester's home to briefly walk through the proposed project for 3610 Washington Street.
 - The DR Requester expressed concerns that the proposed project was disrupting views from all the East facing windows of the neighbor's Second Floor Kitchen.
 - **Response:** The project sponsor recognized that this was not ideal and revised the second-floor addition to allow for an unobstructed view from the larger East facing window in the neighbor's kitchen. Because the neighbor's building is offset from the property line there is no impact on light and air from the proposed project. The neighbor's kitchen also enjoys several unobstructed North facing windows that would not be impacted by the proposed project.
- **5/7/18** - Meeting w/ WWA, Elizabeth Spokes (DR Requester) and the Project Sponsor at the Project Sponsors home to review revised plans
 - Plans were reviewed of the modified massing to accommodate the DR Requestor's Kitchen window concerns- now instead of impacting views from all of the kitchen windows, the mass of the proposed addition stayed clear of the primary east facing kitchen window.
- **5/29/18** - Pre-Application Neighborhood Meeting at Project Sponsor's home
 - Attended by:
 - Jane Evans – 123 Locust
 - Elizabeth Spokes – 3636 Washington Street (DR Requestor)
 - Andrew Spokes – 3636 Washington Street (DR Requestor)
 - Jim Kelly – 135 Locust Street
 - Followed by 123 Locust Neighbor, 135 Locust Neighbor and the Project Sponsor were invited to DR Requestor's Kitchen to see window view impacts.
- **5/30/18** - Meeting w/ Project Sponsor, WWA, Elizabeth (DR Requestor) at DR Requestor's home to review view impact from Kitchen, Master Bathroom and Office windows.
 - The DR Requestor stated the plans were "catastrophic" since 80% of the DR Requestor's time was spent in Kitchen, Master bath and office.
- **8/17/18 - 8/29/18** - Various emails exchanged- Project Sponsor let the DR Requestor know that the project has been submitted and was awaiting feedback from Planning and Preservation. Kevin Marchetti, the Project Sponsor, reached out to Andrew, the DR Requestor, via email to further discuss the project. The response from the DR Requestor was to "wait" to discuss project when we receive "comments" back from Planning and Preservation. Main concern from Elizabeth, the DR Requestor was that the proposed project was a "disaster" because the plans affect her kitchen "light and atmosphere".
- **11/28/18** - Page and Turnbull file a Project Impact Letter of Opinion on behalf of Spokes, the DR Requestor
 - The report points out the potential impacts to a historical resource. It specifically highlights the "slight change with addition of third story" as impacting the horizontal resource.

- **2/2/2019** - Kevin and Andrew meet (at Project Sponsor's home) to review P&T report.
 - Kevin asks for a copy and offers to pay for expenses for architect to reevaluate design (via email). Andrew's response is report has already been submitted. Elizabeth to follow up on 3rd party architect to re-evaluate the design.
- **4/12/2019** – Preservation and Planning combined Plan Check Comments Received
 - Preservation Comments requested changes to massing
 - **Response:** In response to concerns raised in the Project Impact Letter of Opinion and from comments revised from the Preservation Planner the design was revised. The result was that the revised proposed massing maintained the roof line that captures the reduced 2nd floor addition that was included in the previous massing but adjusted the design to eliminate the bump-up for the 3rd Floor Addition. This change made it so that the proposed reduced massing opened up the view from the neighbor's Third Floor Master Bathroom window so that it was only slightly obscured by the proposed massing.
- **4/22/2019** – Plan Check Response Letter Submitted to Planning Department with revised design
- **4/25/2019** - Kevin & Alex Marchetti (Project Sponsor), Brooks Walker (Architect), Andrew & Elizabeth Spokes (DR Requestor) meet at Project Sponsor's home to once again review the project
 - Elizabeth, the DR Requestor, requests bedroom massing moves to other side of the house, as to not impact kitchen window views. Since the previous meetings the DR Requestor had not engaged a third-party architect as originally suggested by the DR Requestor. Project Sponsor/WWA explain new historical constraints brought on by Page and Turnbull report. WWA does some conceptual studies of changing the floor plan and was unable to find a solution that would not result in significant alteration of the building that would result in a defacto demolition and would also not have issues with egress.
- **5/2/2019** - Elizabeth (DR Requestor) and Alex Marchetti (Project Sponsor) meet at DR Requestor's home to review window view impact once again.
 - DR Requestor expressed concerns over a change in the amount of light available to the DR Requestor's Kitchen as a result of the proposed design
 - Response: A light study to show impact from kitchen window light and views accompanied with the proposed plans was presented to the DR Requestor. DR Requestor requests WWA to redraw designs.
- **6/14/2019** - Neighbor files request for Discretionary Review
- **6/18/2019** - Project Sponsor request to have Planning Department set up meeting with DR Requestor to help resolve the situation

WALKER
WARNER
ARCHITECTS



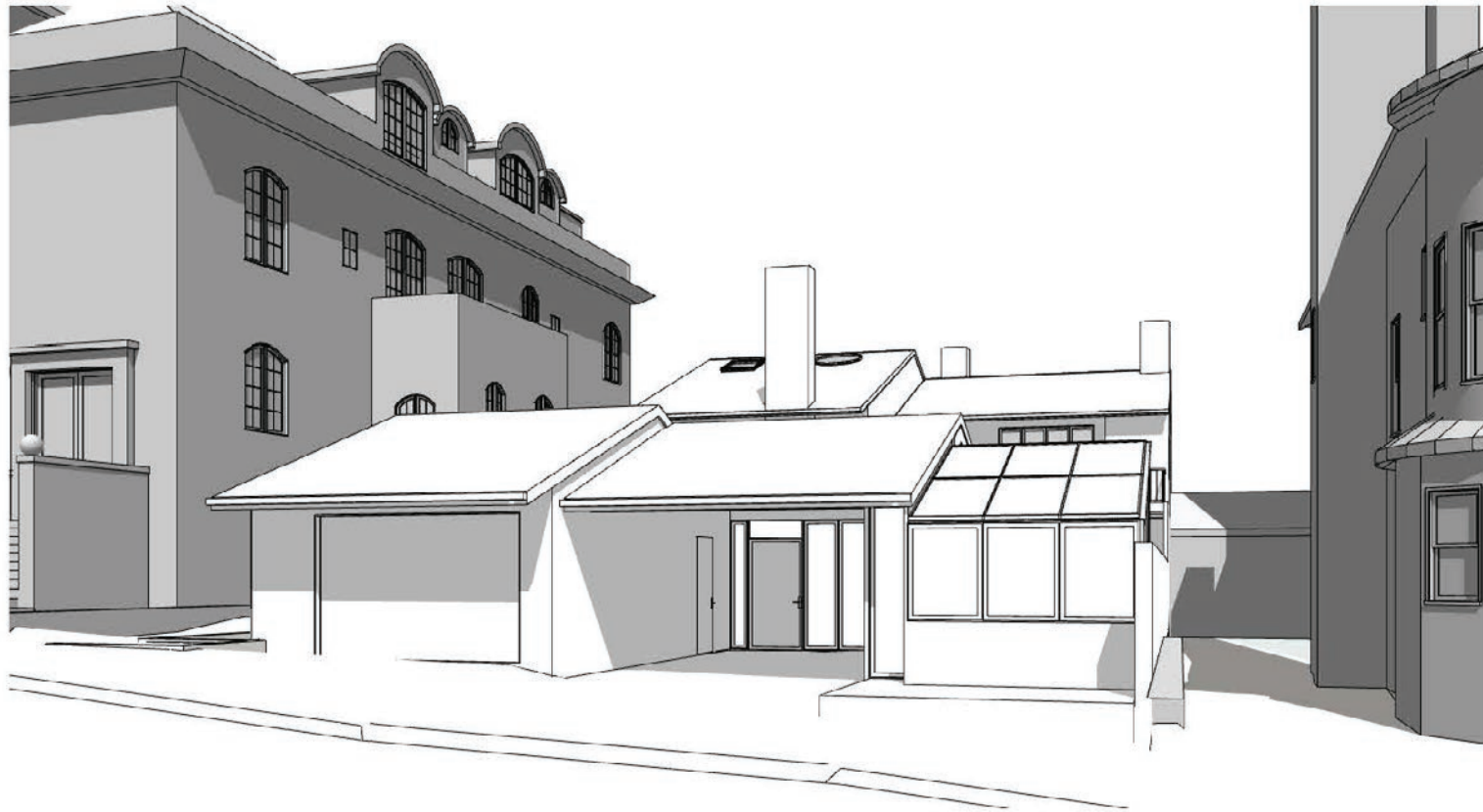
EXHIBIT B - DR RESPONSE GRAPHIC SUPPLEMENT

3610 WASHINGTON STREET

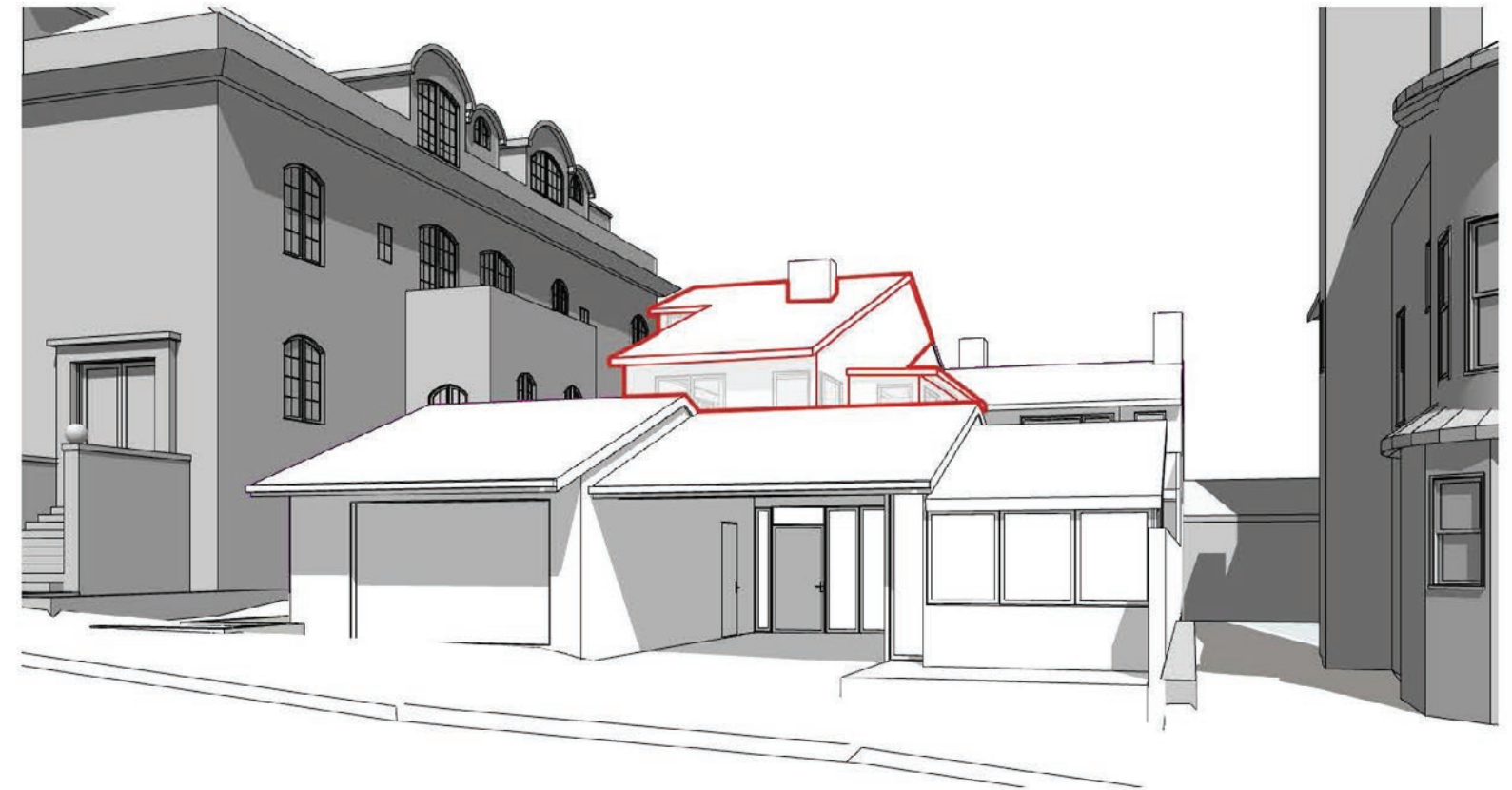
NEIGHBOR MEETING

3/21/2018

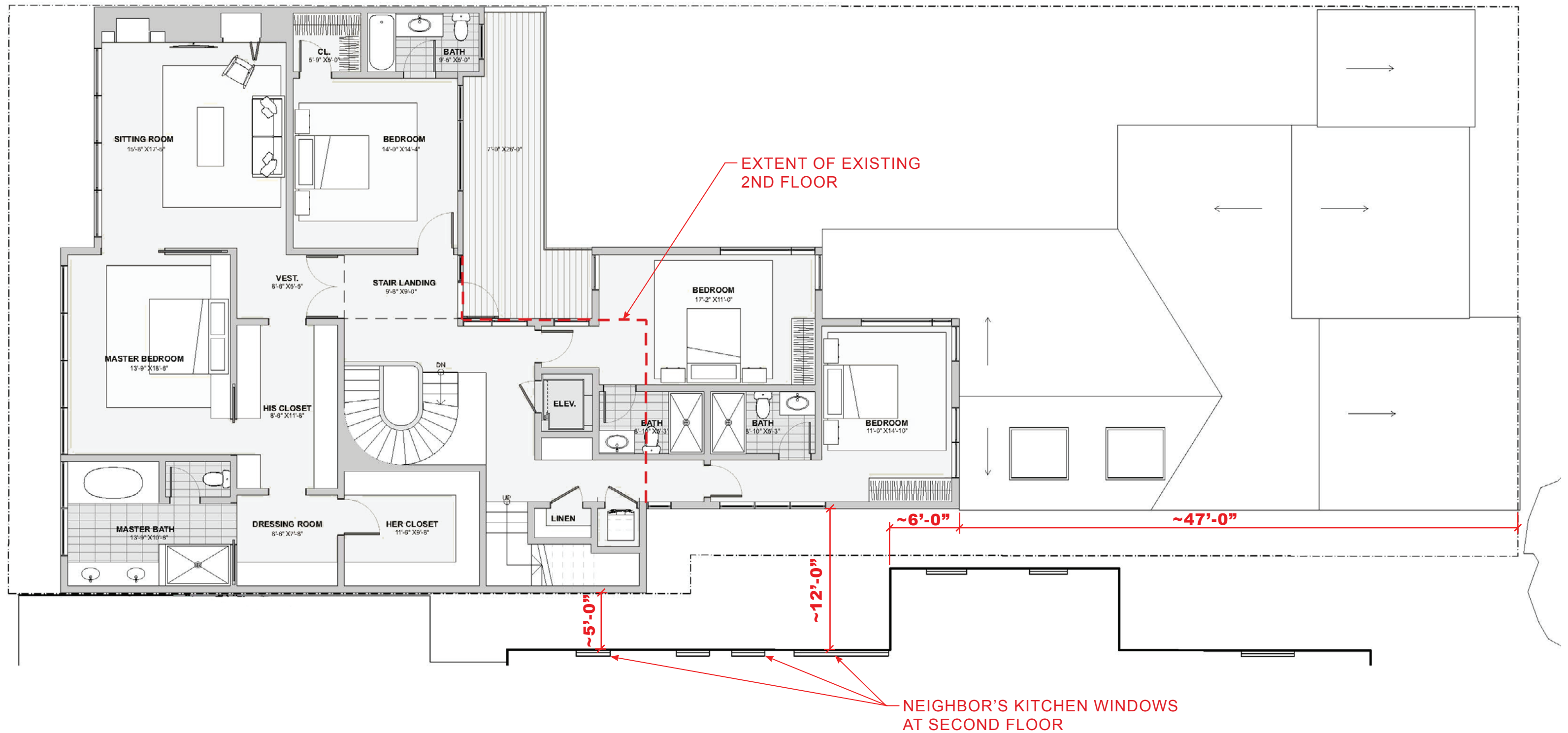
WALKER
WARNER
ARCHITECTS

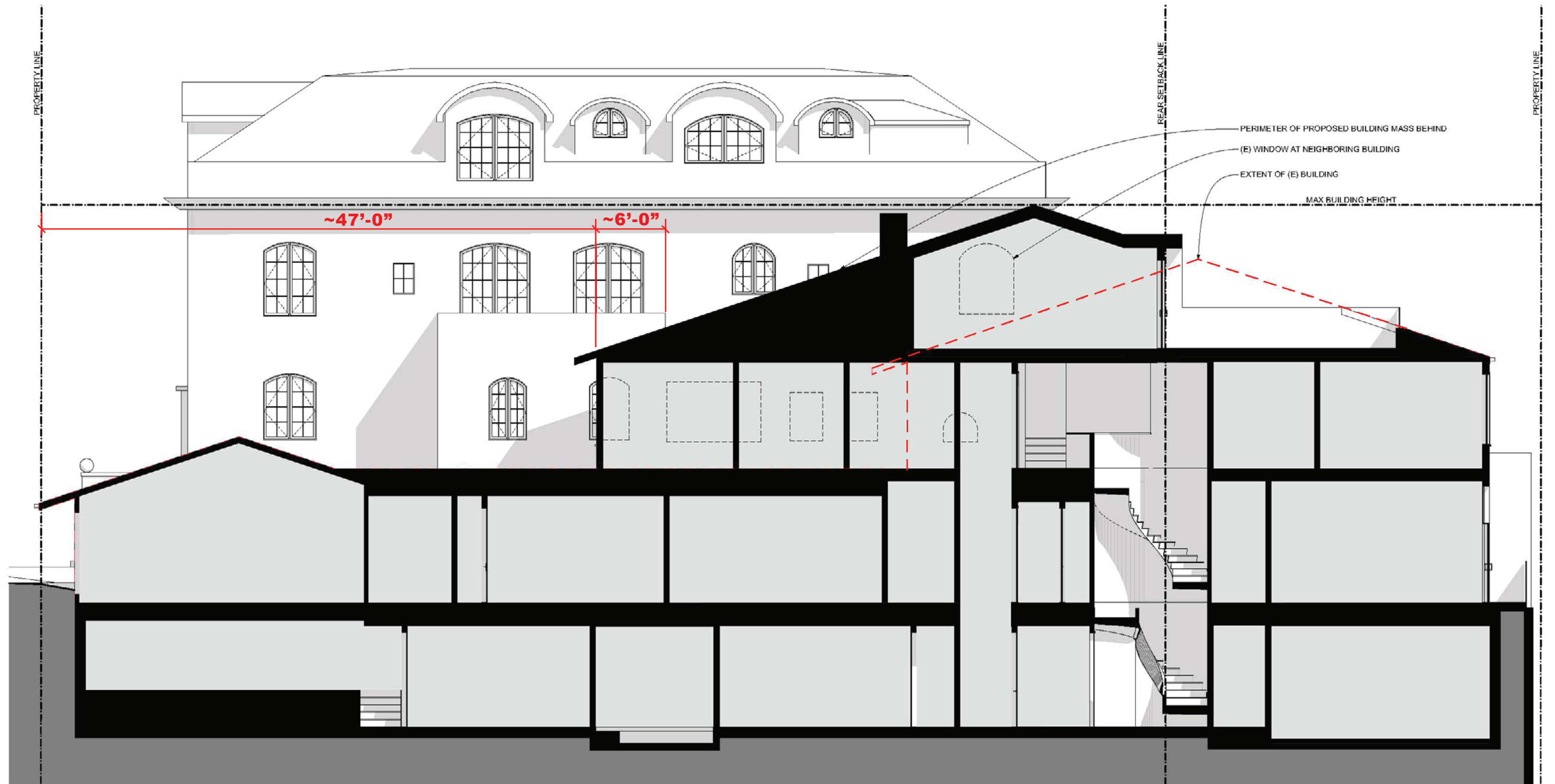


EXISTING BUILDING



PROPOSED MASSING

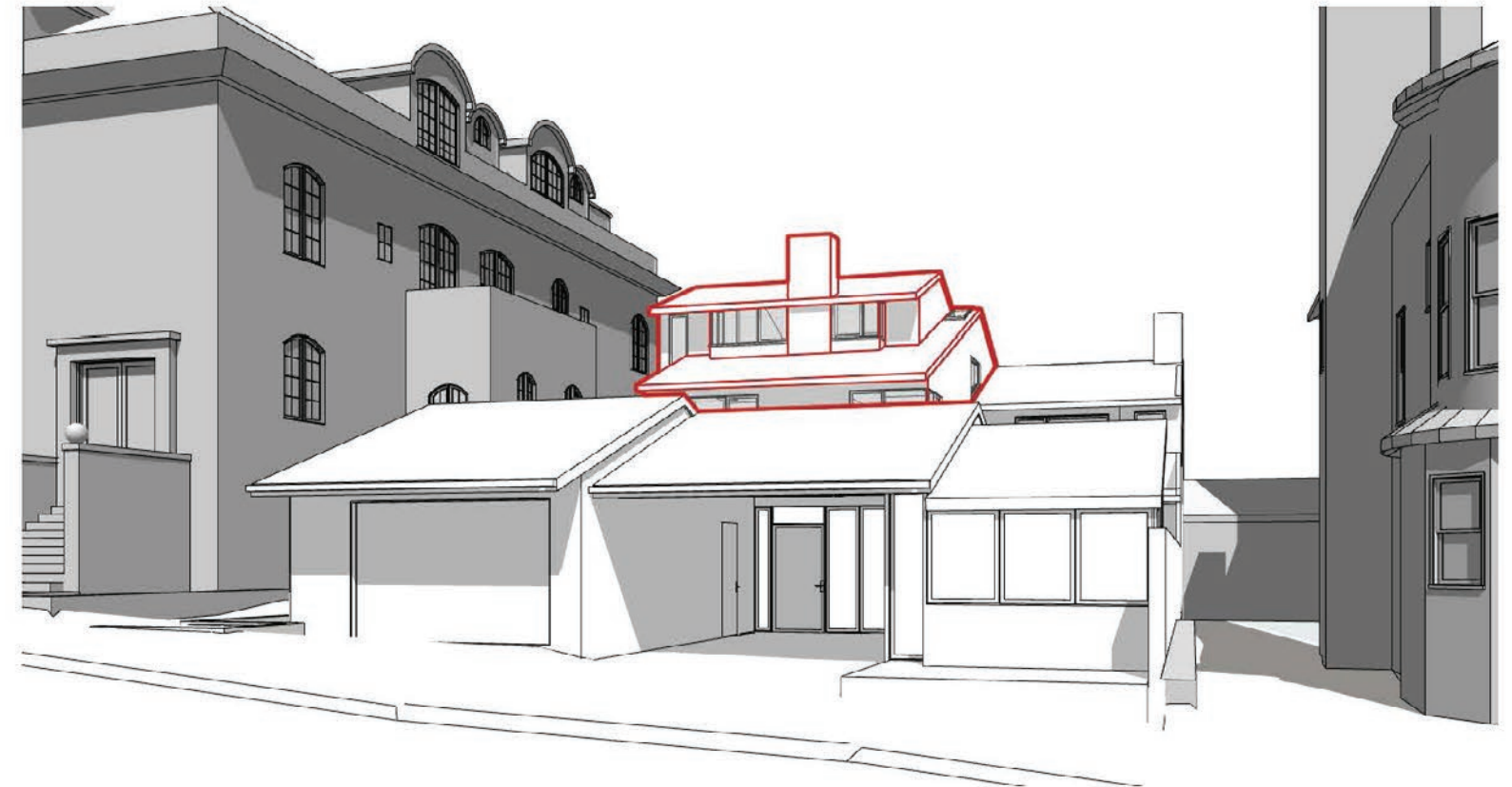
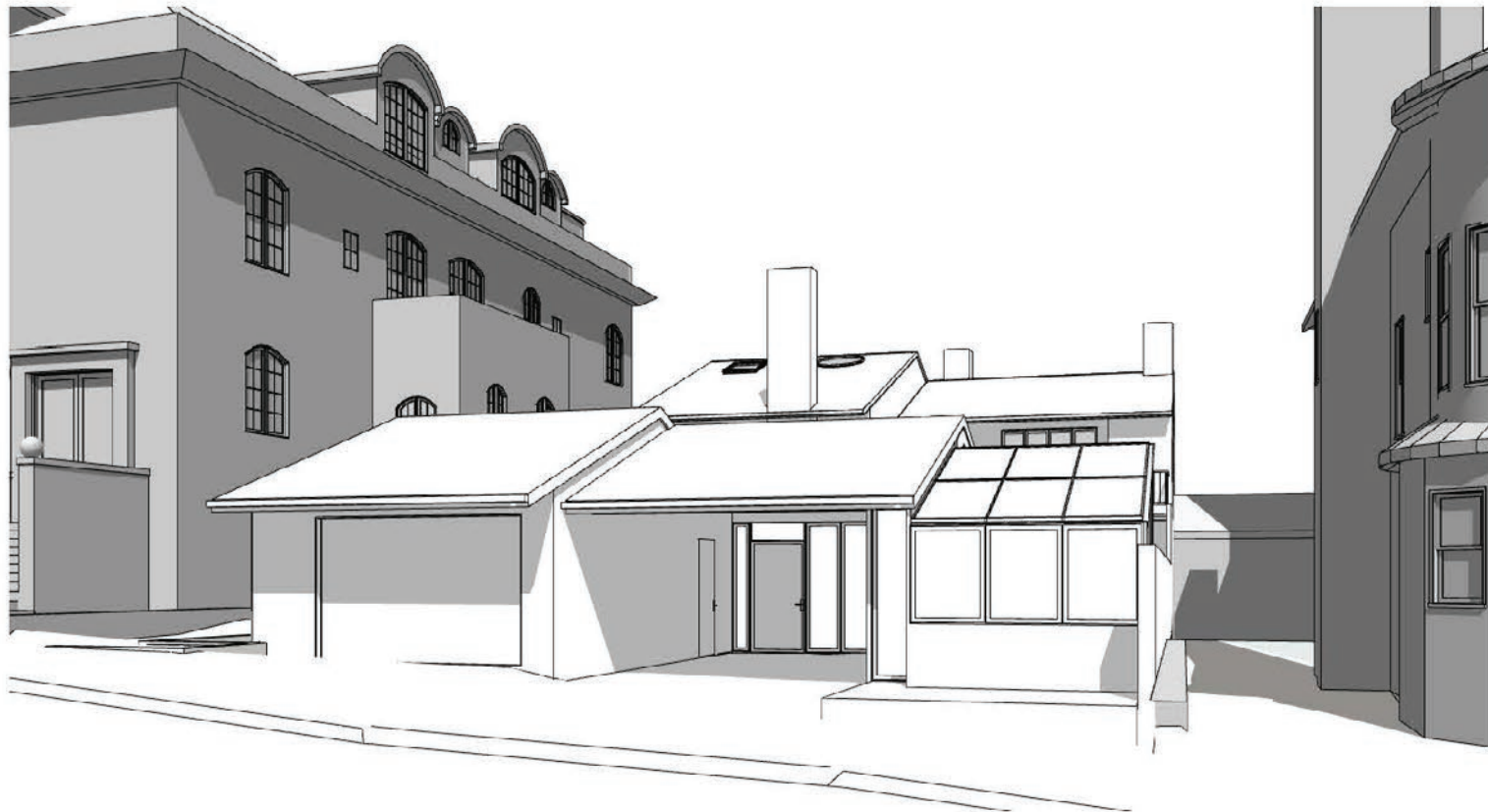




NEIGHBOR MEETING

5/7/2018

WALKER
WARNER
ARCHITECTS



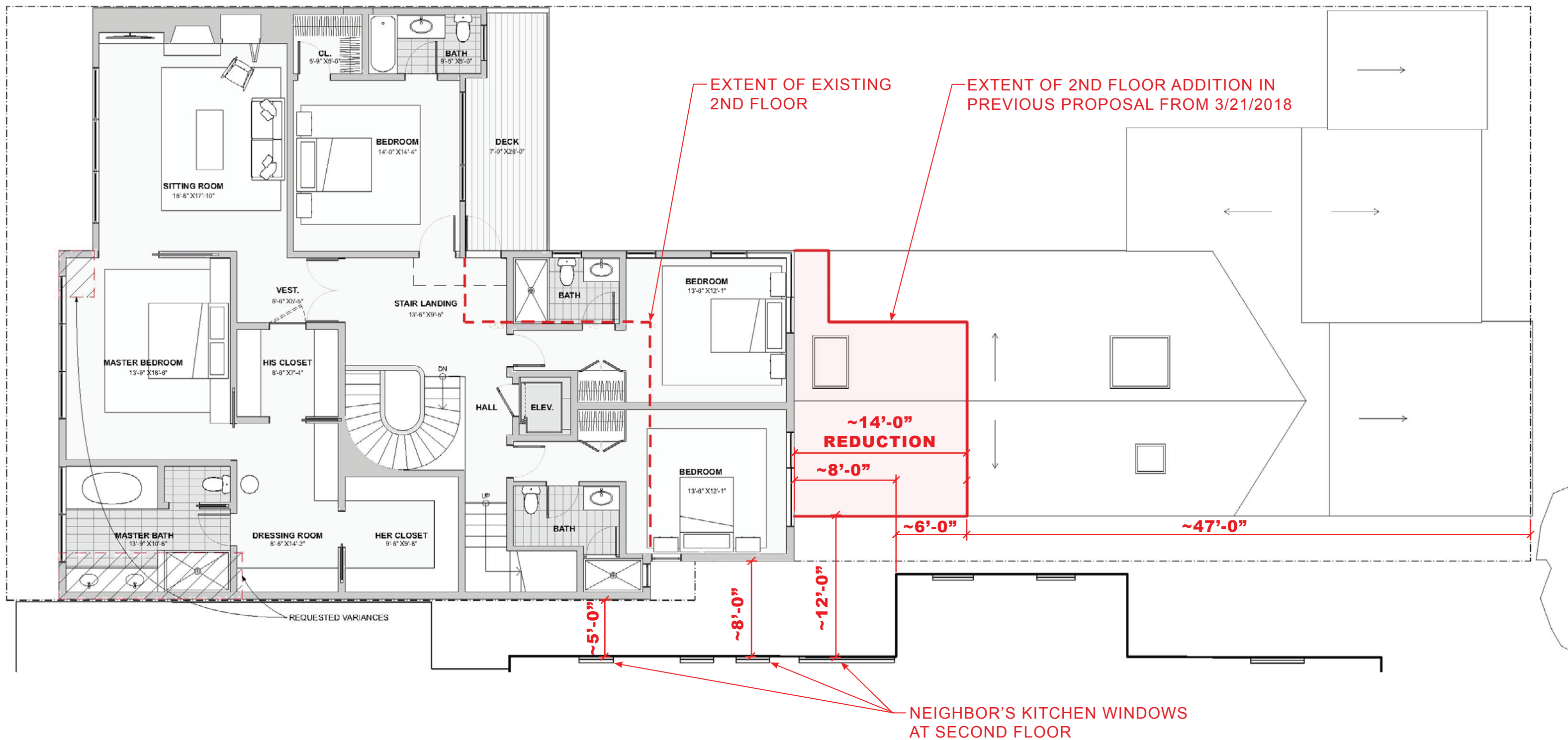
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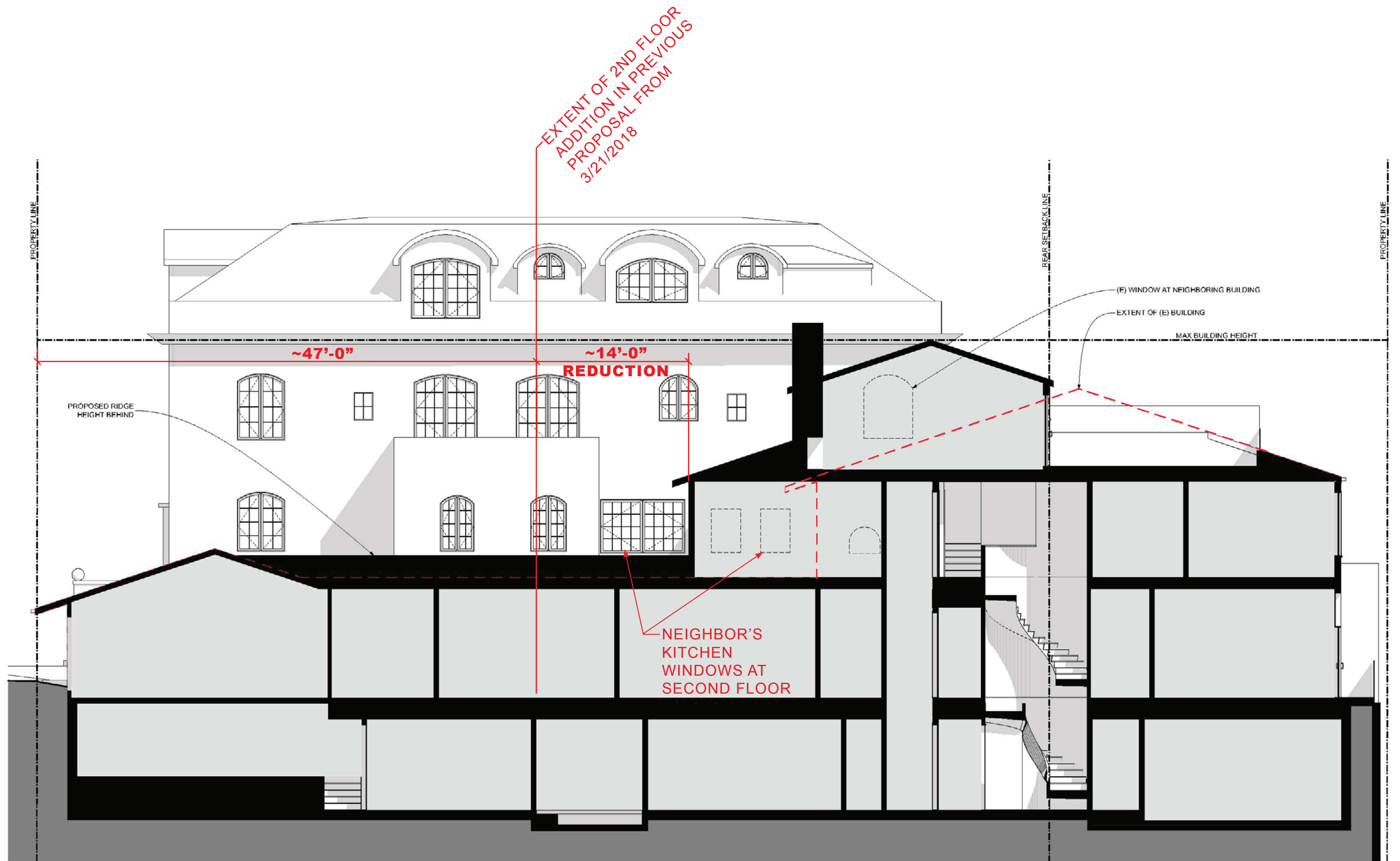
PROPOSED MASSING



EXISTING STREET ELEVATION

RENDERED PROPOSED STREET ELEVATION

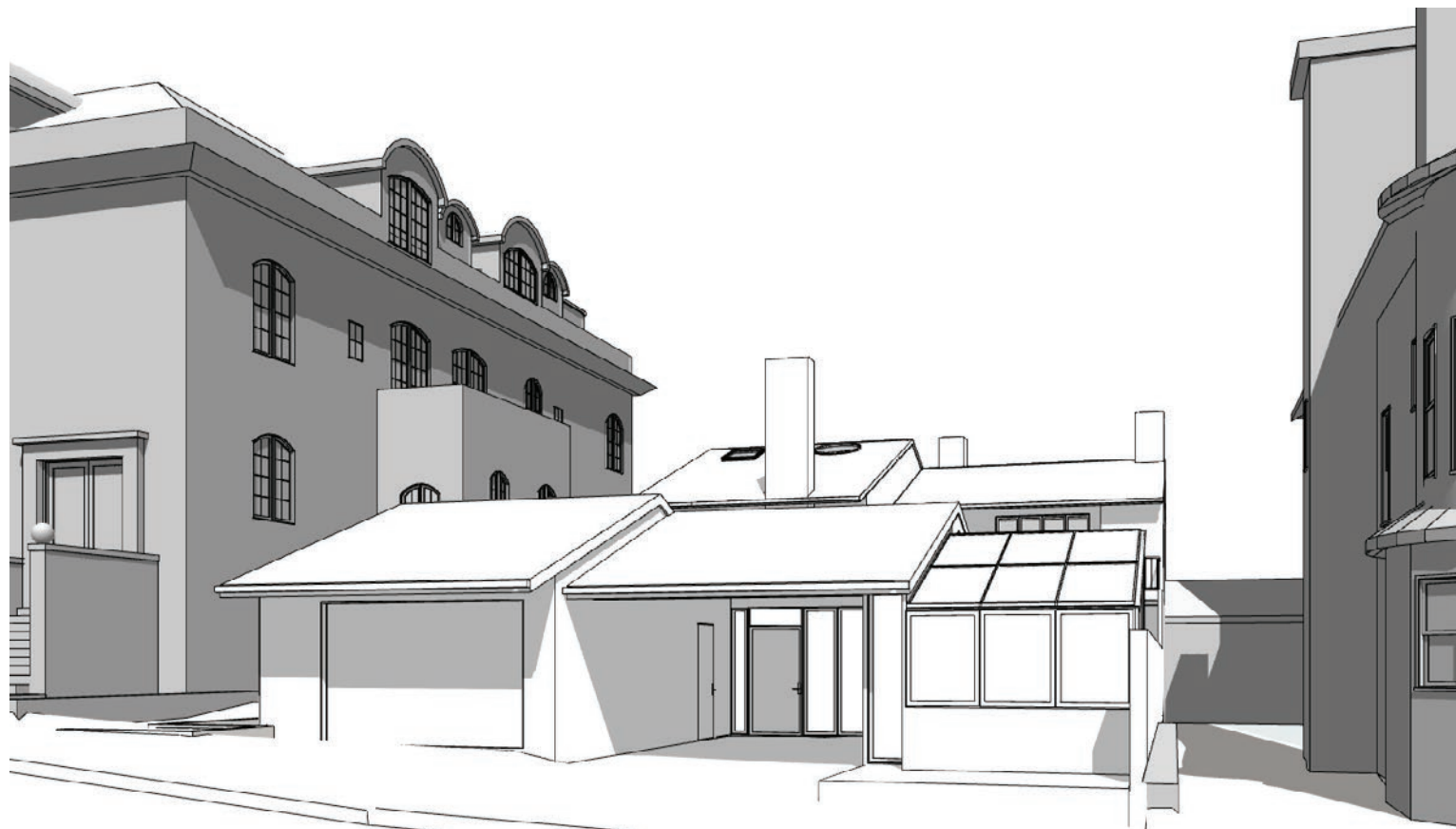




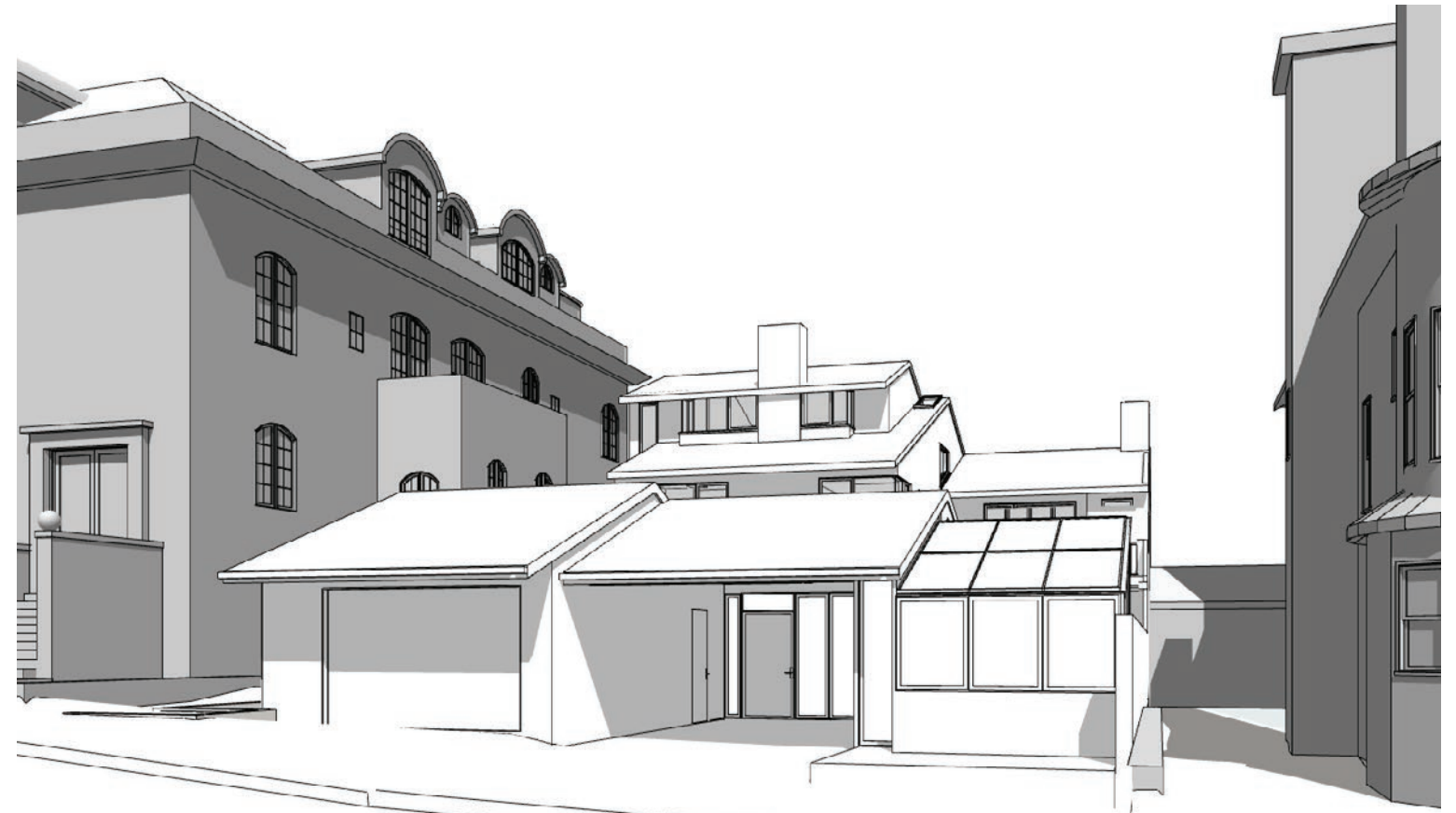
PLANNING RESPONSE

4/22/2019

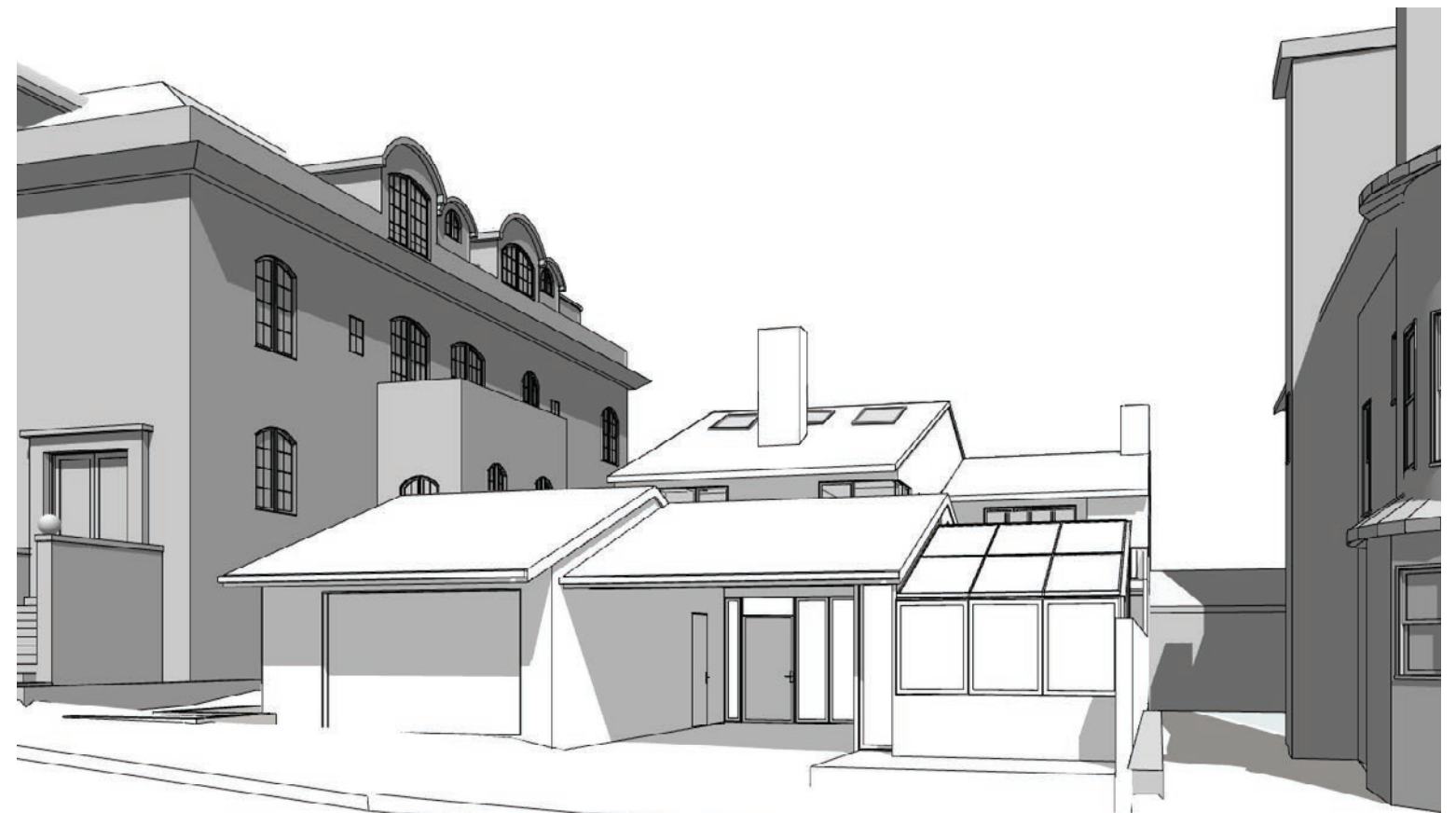
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EXISTING MASSING



NEIGHBOR OUTREACH PACKAGE (05/29/2018) - PROPOSED MASSING



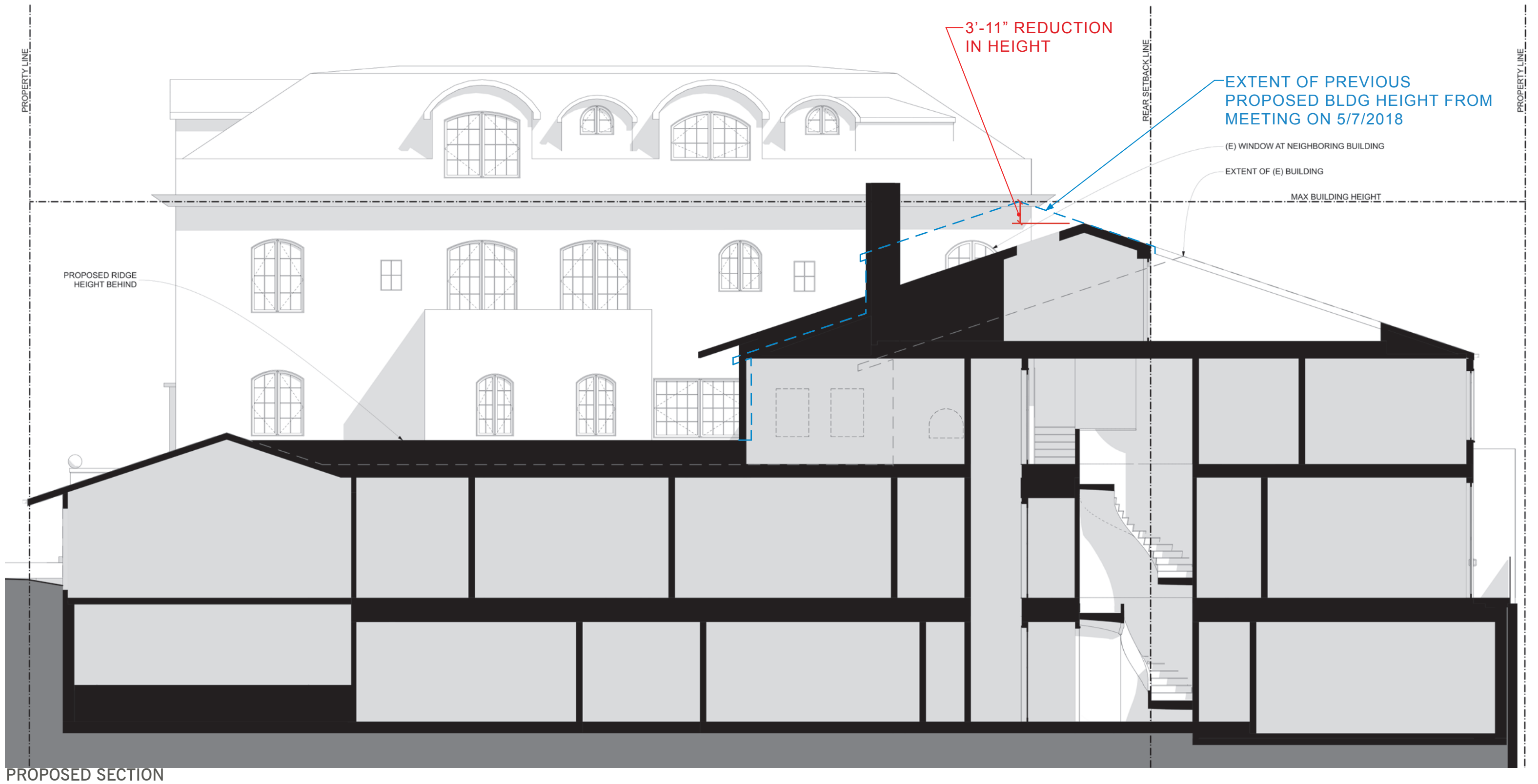
CURRENT PLANNING - REDUCED MASSING

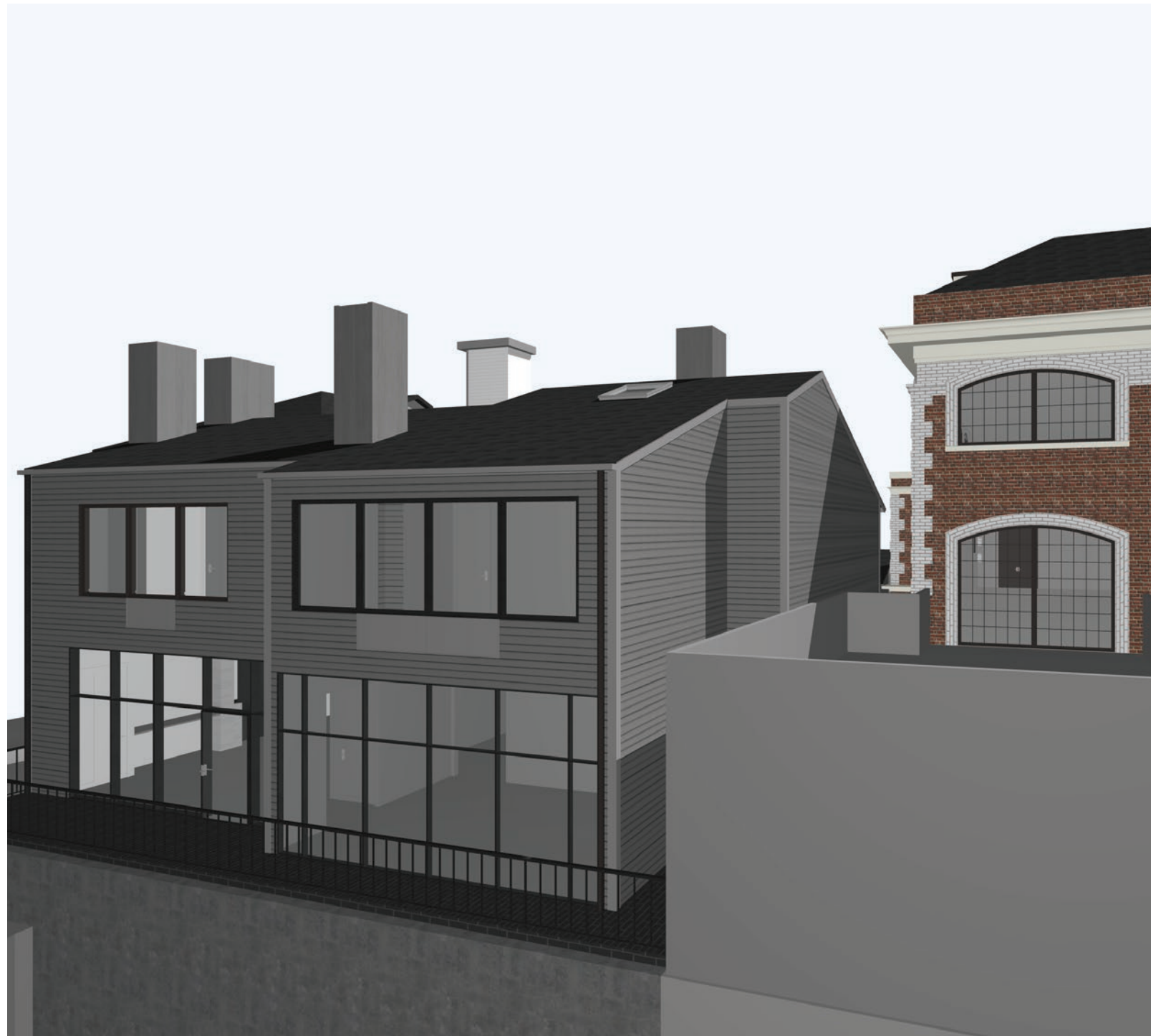


EXISTING MASSING



CURRENT PLANNING - REDUCED MASSING

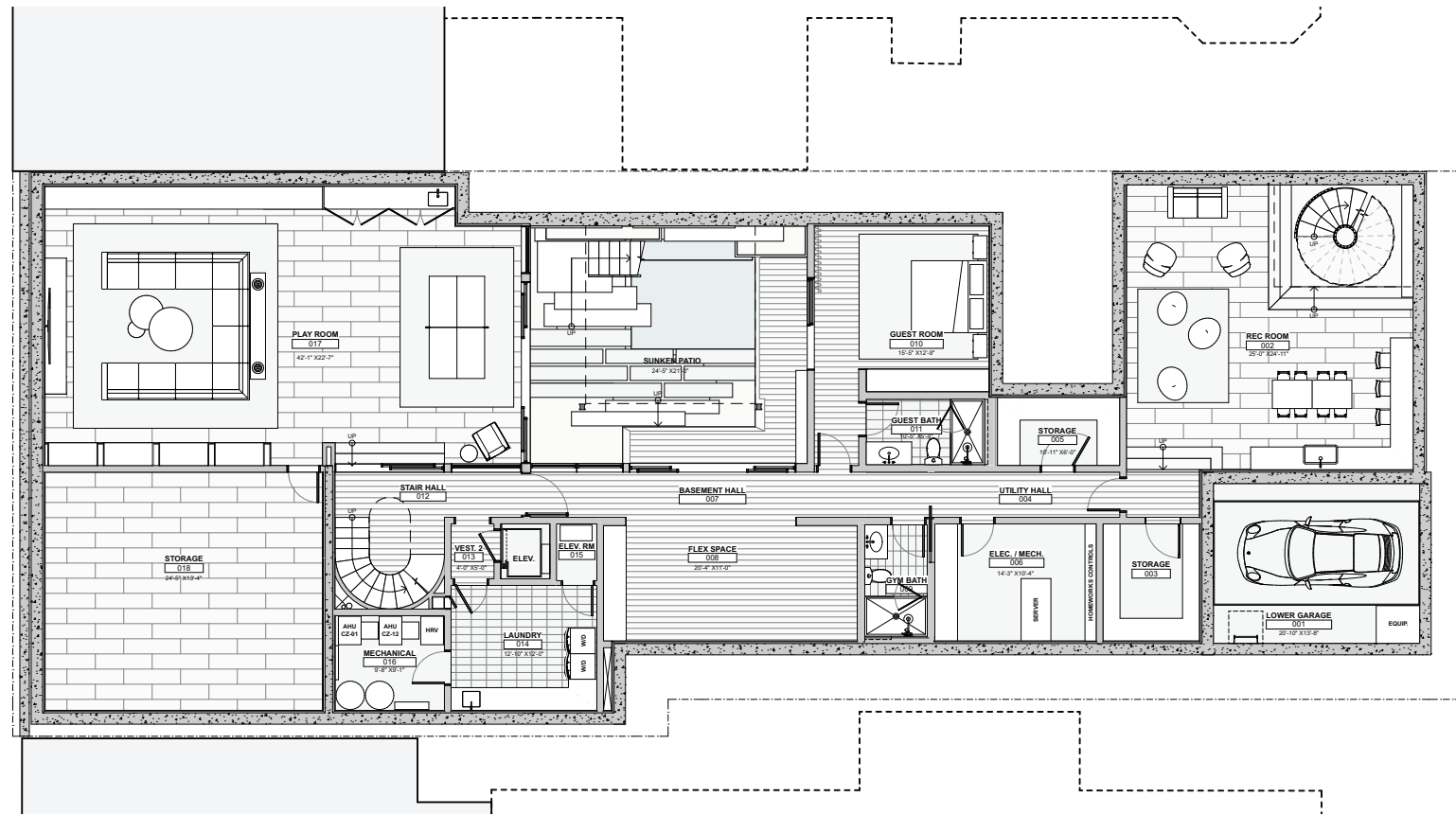




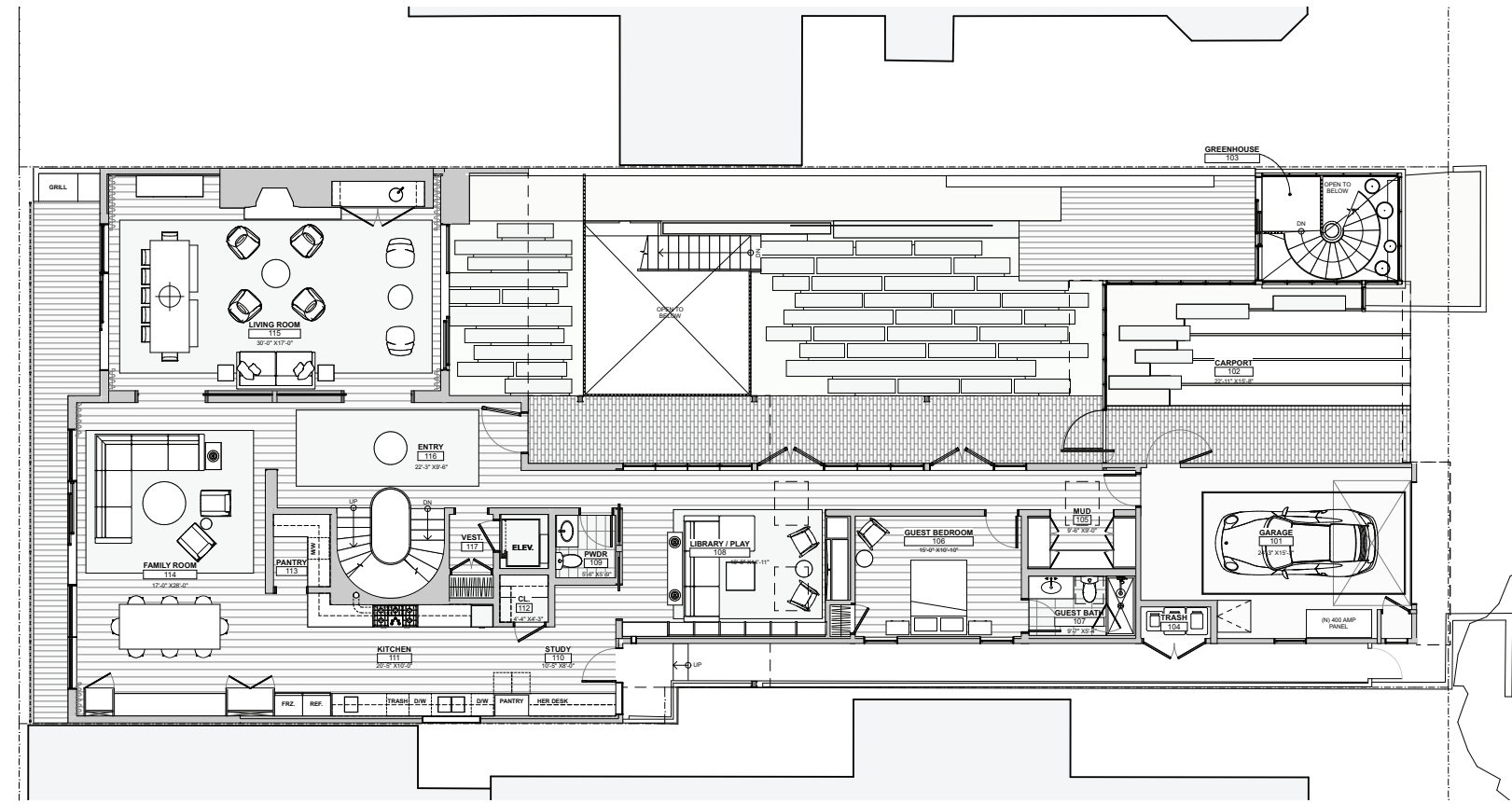
EXISTING NORTHWEST CORNER



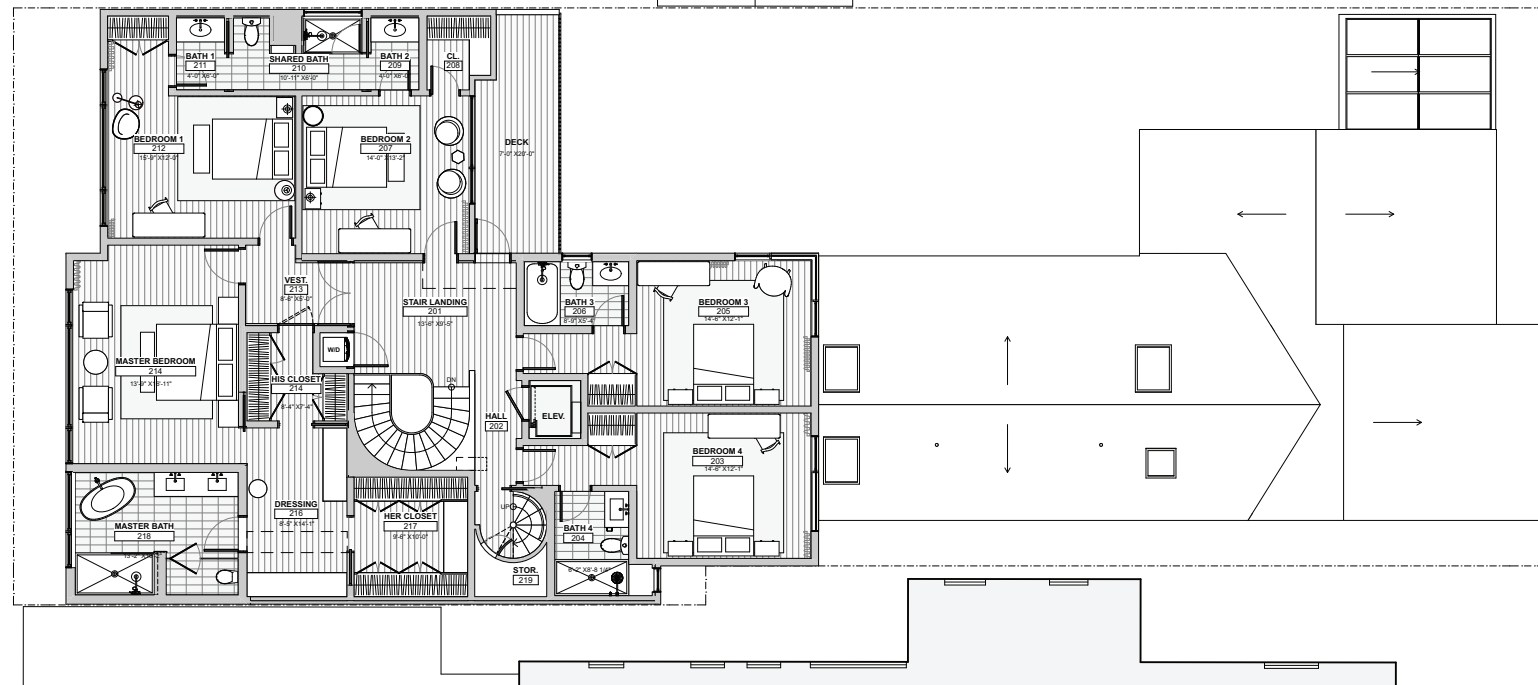
PROPOSED NORTHWEST CORNER



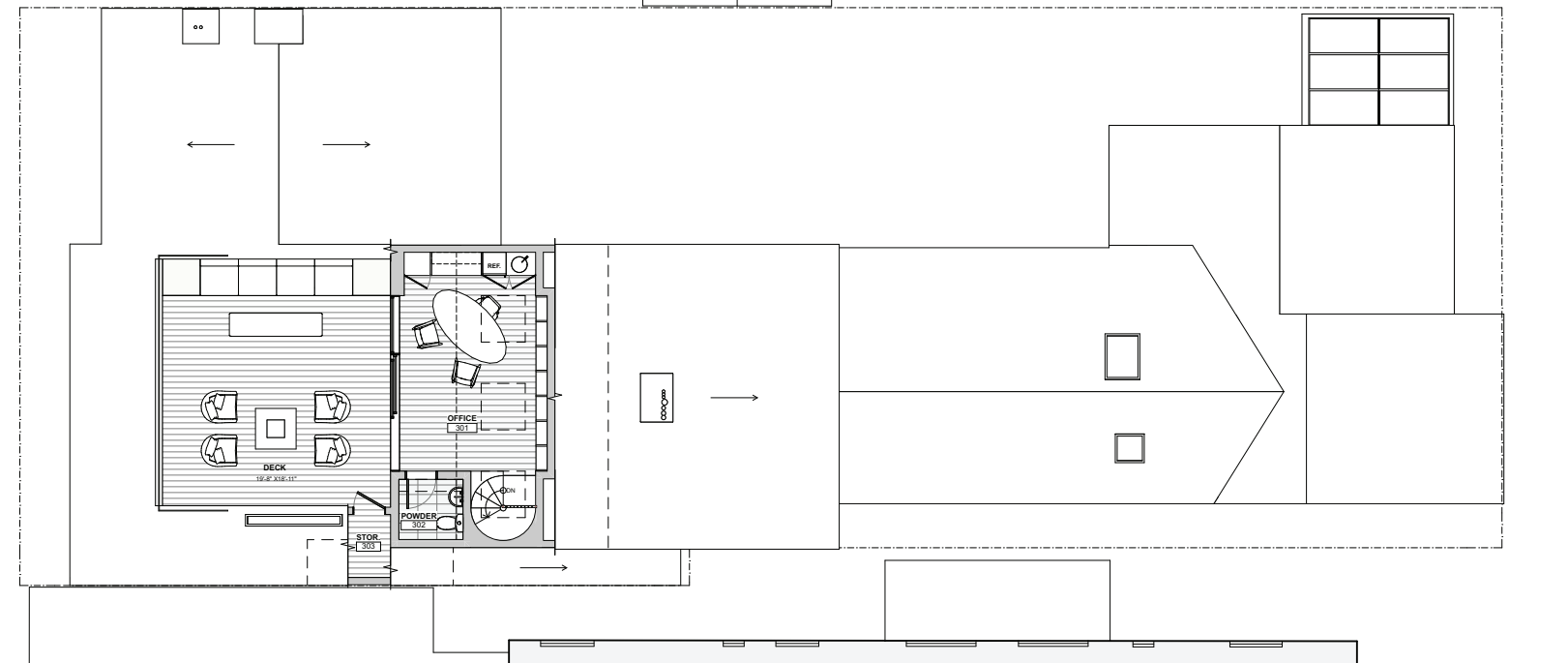
BASEMENT FLOOR PLAN



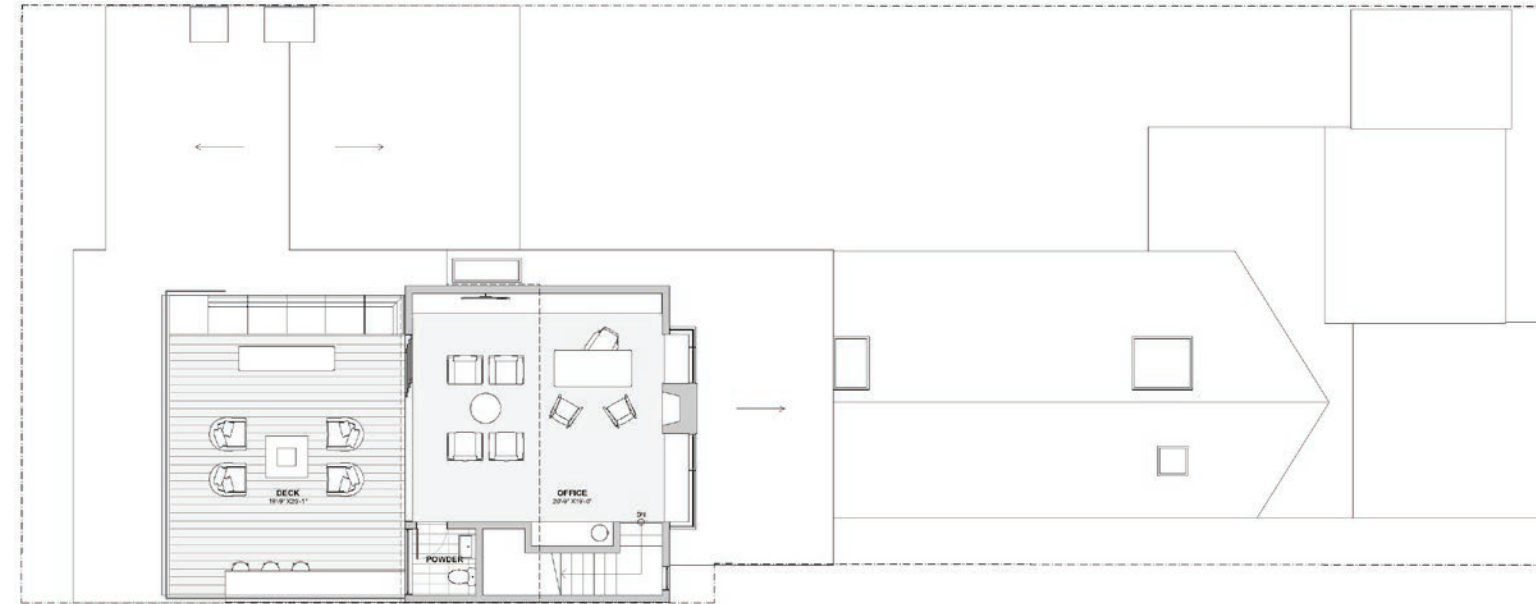
FIRST FLOOR PLAN



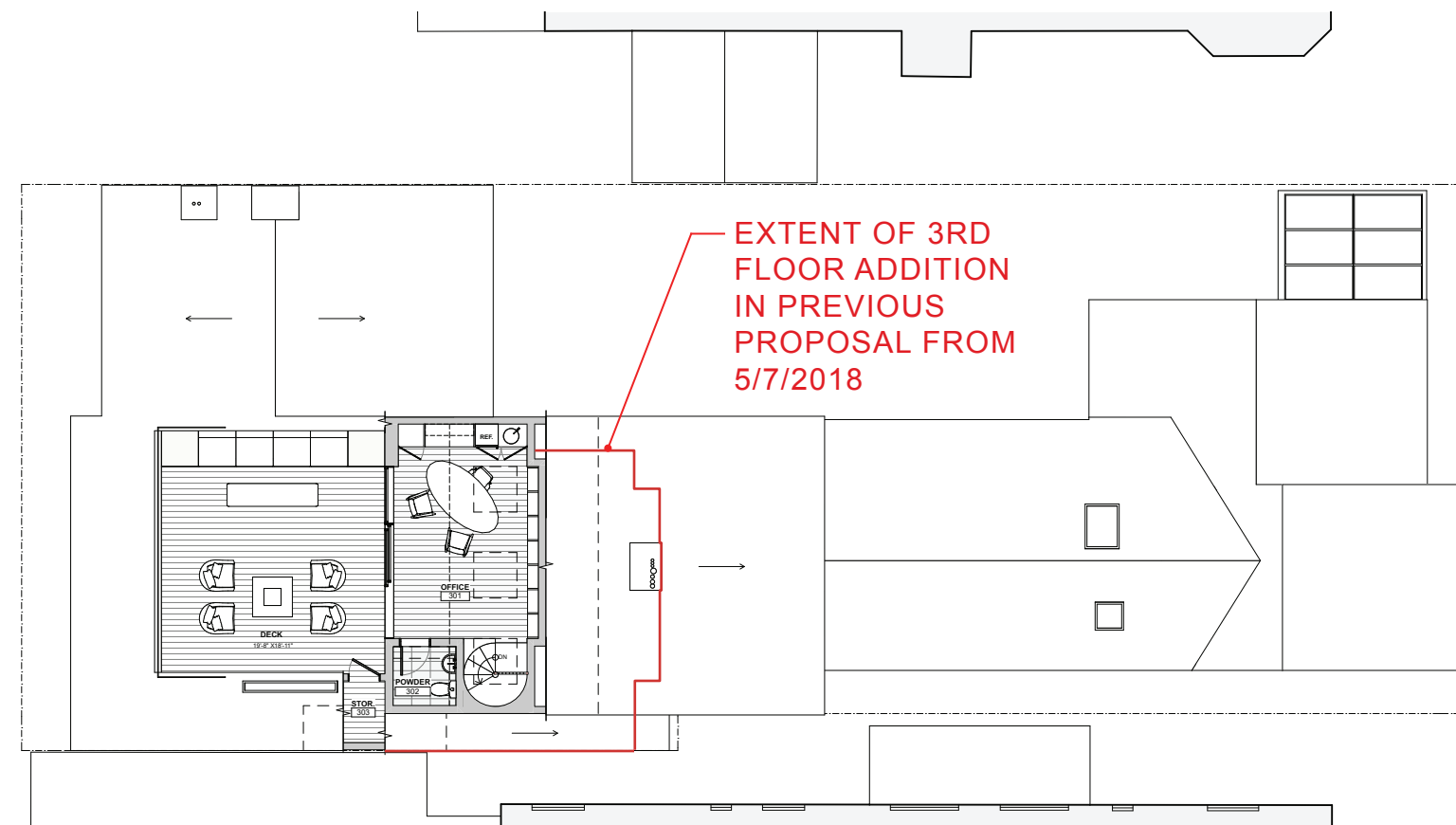
SECOND FLOOR PLAN



THIRD FLOOR PLAN



PREVIOUS PROPOSED THIRD FLOOR PLAN (FROM NEIGHBOR MEETING ON 5/7/2018)



CURRENT PROPOSED THIRD FLOOR PLAN

NEIGHBOR CORRESPONDENCE

5/2/2019

WALKER
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ARCHITECTS



JUNE 21ST
7:00AM



JUNE 21ST
8:00AM



JUNE 21ST
9:00AM



JUNE 21ST
10:00AM



JUNE 21ST
12:00PM



JUNE 21ST
1:00PM



JUNE 21ST
2:00PM



JUNE 21ST
3:00PM



JUNE 21ST
5:00PM



JUNE 21ST
6:00PM



JUNE 21ST
7:00PM

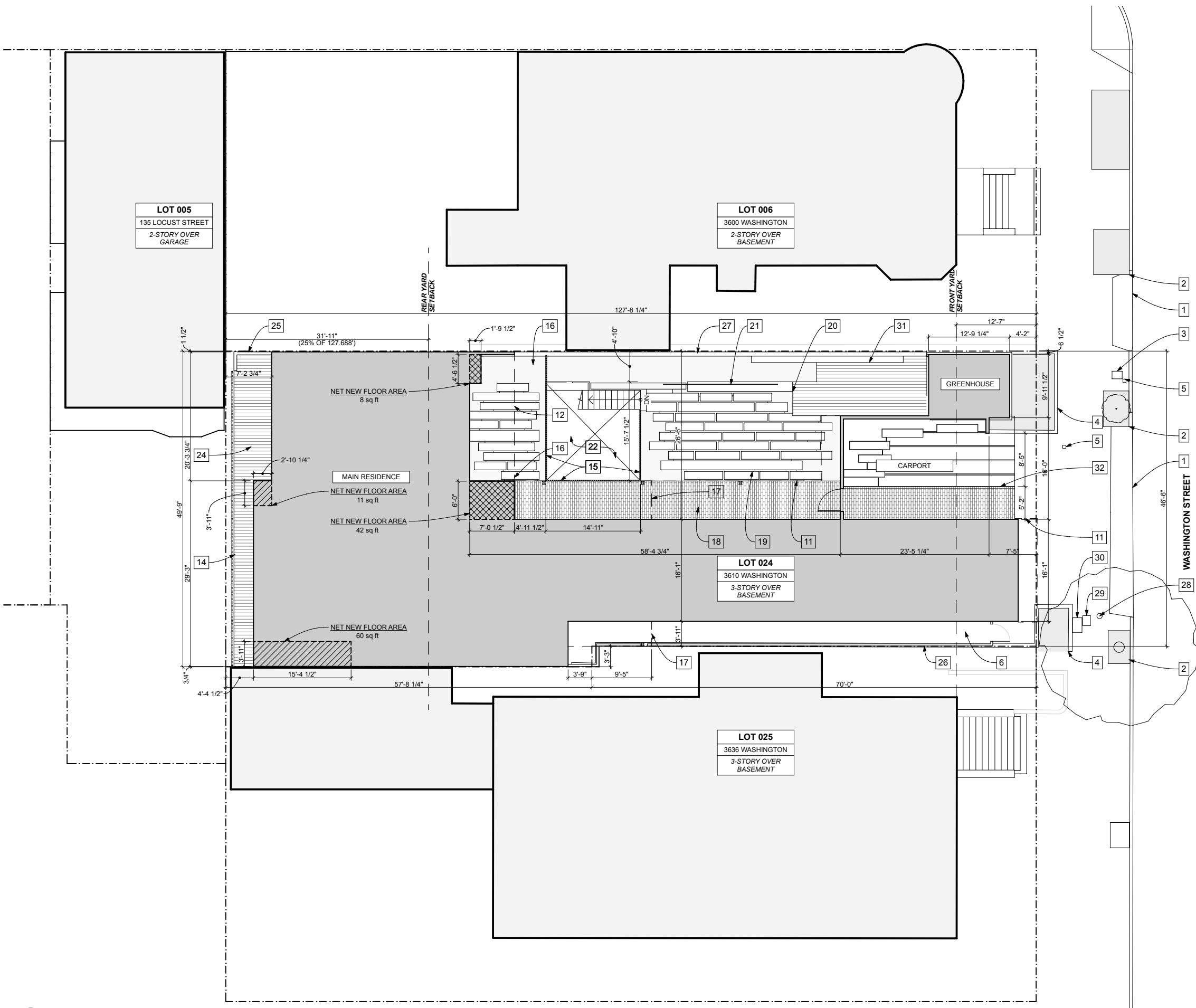


JUNE 21ST
9:00PM

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1
A0.05

PROPOSED PLOT PLAN



SCALE: 1/16" = 1'-0"



LEGEND - PLOT PLAN:

- AREA OF PROPOSED HORIZONTAL ADDITION REQUESTED UNDER VARIANCE
- AREA OF PROPOSED HORIZONTAL ADDITION

KEYNOTES - PLOT PLAN:

- (E) CURB CUT TO REMAIN
- (E) PLANTING AREA & STREET TREE W.O. TO BE REPLACED W/ (N) TREE / PLANTING FROM SFPW RECOMMENDED STREET TREE SPECIES LIST
- (E) WATER METER
- (E) WOODEN PLANTER BOX TO REMAIN
- (E) SEWAR VENT
- (E) CONCRETE WALKWAY
- (E) CEDAR TREE TO BE REMOVED
- (E) BRICK PAVERS TO BE REMOVED
- (E) PLANTING BEDS TO BE REMOVED
- METAL GRATE OVER MECHANICAL VAULT BELOW
- ROOF OVERHANG ABOVE
- (E) 2ND FLOOR DECK ABOVE
- (E) TERRACE W/ BRICK PAVERS
- (E) WD. GUARDRAIL TO BE REPLACED WITH (N) METAL GUARDRAIL
- (N) METAL GUARDRAIL
- (N) PLANTING AREA
- LINE OF NEW CONSTRUCTION ABOVE
- (N) BRICK PAVERS ALONG ENTRY WALK
- (N) STONE PAVERS
- (N) WD. BD. DECK
- (N) GAS FIRE PIT
- (N) LIGHTWELL OPEN TO BASEMENT BELOW
- (E) WD. BD. DECK TO BE REMOVED
- (N) WD. BD. DECK AT (E) TERRACE
- (E) WD. GUARDRAIL REPLACED WITH (N) 42" HIGH WALL AT CORNER CLAD IN WD. SIDING TO MATCH EXT. BLDG. SIDING
- (E) WD. FENCE ON TOP OF CONC. WALL TO BE REPAIRED / REPLACED IN KIND
- (E) WD. FENCE TO BE REPLACED W/ (N) BOARD-FORMED CONCRETE WALL. HEIGHT TO MATCH (E) HEIGHT
- (E) GAS VALVE
- (E) TELEPHONE PULLBOX
- (E) ELECTRIC PULLBOX
- PLANTED WALL, S.L.D.
- (N) 4" HIGH CURB SEPARATING PARKING AREA FROM PATH OF EGRESS
- SAND TRAP VAULT

BLOCK # 0987 - LOT # 024

3610 WASHINGTON

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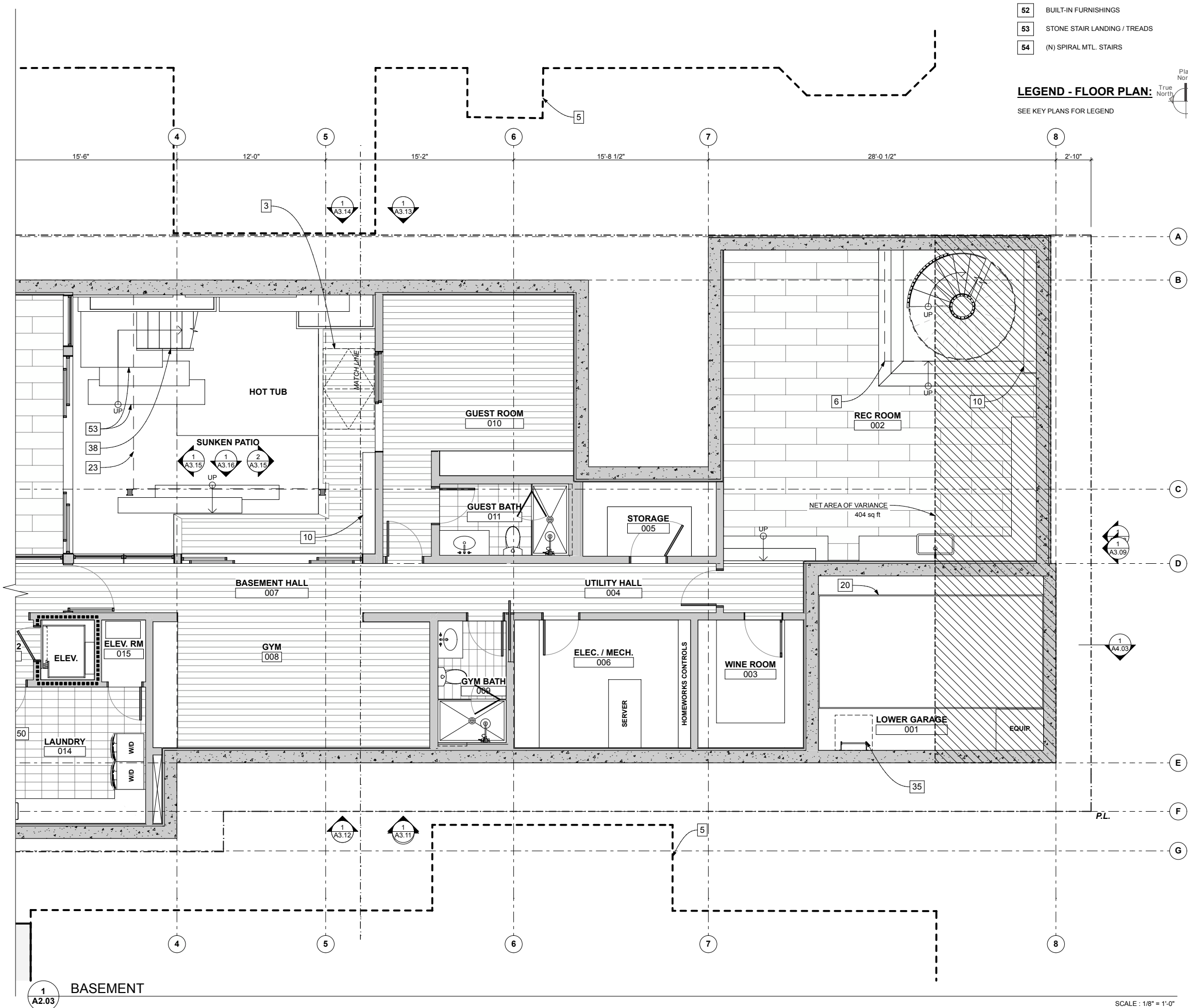
PLOT PLAN - PROPOSED

SCALE: AS NOTED

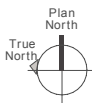
JOB NUMBER: 201714

SHEET: A0.05

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- LEGEND - FLOOR PLAN:**
SEE KEY PLANS FOR LEGEND
- 52 BUILT-IN FURNISHINGS
 - 53 STONE STAIR LANDING / TREADS
 - 54 (N) SPIRAL MTL. STAIRS



- KEYNOTES - FLOOR PLAN:**
- 1 (E) RETAINING WALL TO REMAIN
 - 2 MECHANICAL VAULT OPEN TO ABOVE
 - 3 ACCESS HATCH TO MECHANICAL VAULT W/ SPA FILTER & SUMP PUMP BELOW
 - 4 (E) WOOD-BURNING FIREPLACE TO BE CONVERTED TO (N) GAS FIREPLACE
 - 5 OUTLINE OF NEIGHBORING BUILDING
 - 6 EXTENT OF DECK / SOFFIT ABOVE
 - 7 EXTENT OF ROOF ABOVE
 - 8 (E) CURVED STAIR BETWEEN FIRST AND SECOND FLOOR TO BE RE-BUILT TO ADJUST TO THE (N) SECOND FL. ELEVATION
 - 9 FLOOR HATCH TO SEWAGE EJECTOR PUMP
 - 10 PLANTED WALL
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 - 12 (E) GUTTER
 - 13 (E) DOWNSPOUT
 - 14 (N) GUTTER
 - 15 (N) DOWNSPOUT
 - 16 (E) NEIGHBOR WINDOWS
 - 17 (N) CONCRETE RETAINING WALL BUILT ALONG EXISTING WALL
 - 18 (N) CONCRETE RETAINING WALLS
 - 19 (N) WOOD DECK
 - 20 RAISED FLOOR FOR CAR LIFT EQUIPMENT
 - 21 (N) CAR LIFT PLATFORM
 - 22 RADIANT AND DOMESTIC HOT WATER TANKS
 - 23 EXTENT OF LIGHTWELL OPENING ABOVE
 - 24 EXTENT OF BUILDING ABOVE
 - 25 (N) STL. COLUMN
 - 26 (N) OPENING TO SUNKEN PATIO AT BASEMENT
 - 27 (N) SKYLIGHT ABOVE
 - 28 EXTENT OF (E) BUILDING
 - 29 (N) FIREPLACE SURROUND
 - 30 (N) PARTIAL HEIGHT WALLS SURROUNDING BUILT-IN GRILL AND COUNTER
 - 31 (N) WD. FIRE-RATED WINDOW
 - 32 (N) GAS FIREPLACE AT (E) CHIMNEY LOCATION
 - 33 RIDGE ABOVE
 - 34 (E) FLUE FROM GROUND FL WOOD-BURNING FIREPLACE
 - 35 (N) VERTICAL LADDER TO ACCESS HATCH ABOVE FIXED TO WALL
 - 36 EXTENT OF (E) BELOW-GRADE GARAGE AT NEIGHBORING PROPERTY
 - 37 PACKAGE DROP-BOX
 - 38 (N) CANTILEVERED MTL. STAIR, S.S.D.
 - 39 (N) WD. FRAMED STAIR. CLAD W/ WD. TREAD AND RISER
 - 40 (N) TRENCH DRAIN CONCEALED IN DECK
 - 41 (E) GLASS ROOF TO BE REPLACED IN KIND W/ (N) GLAZED ROOF
 - 42 (E) GRAVEL BALLAST ROOF TO BE REMOVED AND REPLACED W/ (N) SHINGLE CLAD ROOF W/ RAISED PLATE HEIGHT. SEE EXTERIOR ELEVATIONS
 - 43 (N) 4" HIGH CURB SEPARATING PARKING AREA FROM PATH OF EGRESS
 - 44 (N) AREA DRAIN BELOW DECK
 - 45 (N) SKYLIGHT
 - 46 (N) MECH. VENT / INTAKE
 - 47 VERTICAL MECHANICAL CHASE
 - 48 MECHANICAL ROOF PENETRATION
 - 49 EXTENT OF HABITABLE ATTIC AREA W/ HEAD HEIGHT GREATER THAN 5'-0"
 - 50 LAUNDRY CHUTE
 - 51 FLOOR HATCH FOR ACCESS TO MECHANICAL SPACE BELOW

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BLOCK # 0987 - LOT # 024

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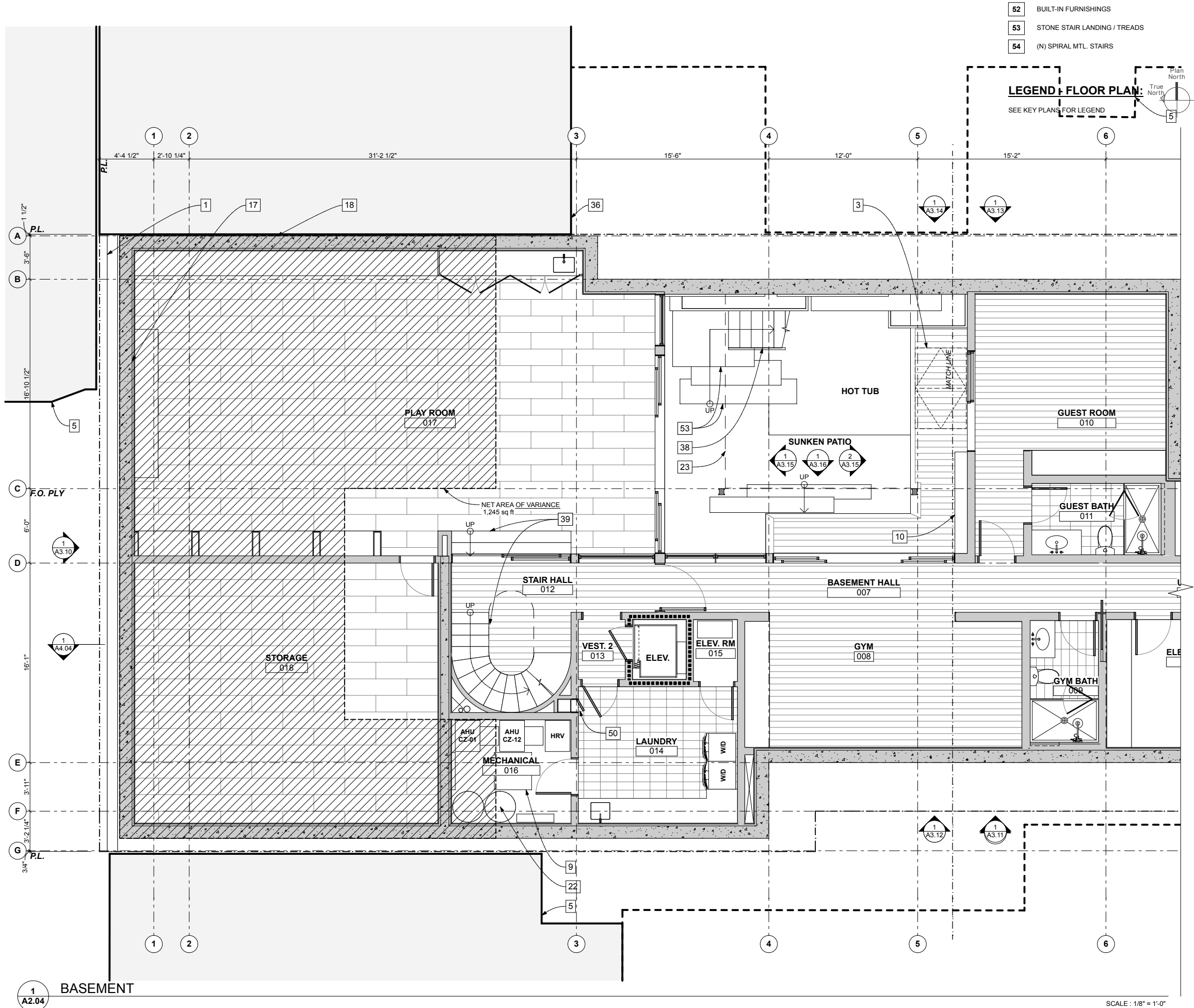
PROPOSED PLAN - BASEMENT A

SCALE: AS NOTED

JOB NUMBER: 201714

SHEET: **A2.03**

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KEYNOTES - FLOOR PLAN:

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- 48 MECHANICAL ROOF PENETRATION
- 49 EXTENT OF HABITABLE ATTIC AREA W/ HEAD HEIGHT GREATER THAN 5'-0"
- 50 LAUNDRY CHUTE
- 51 FLOOR HATCH FOR ACCESS TO MECHANICAL SPACE BELOW

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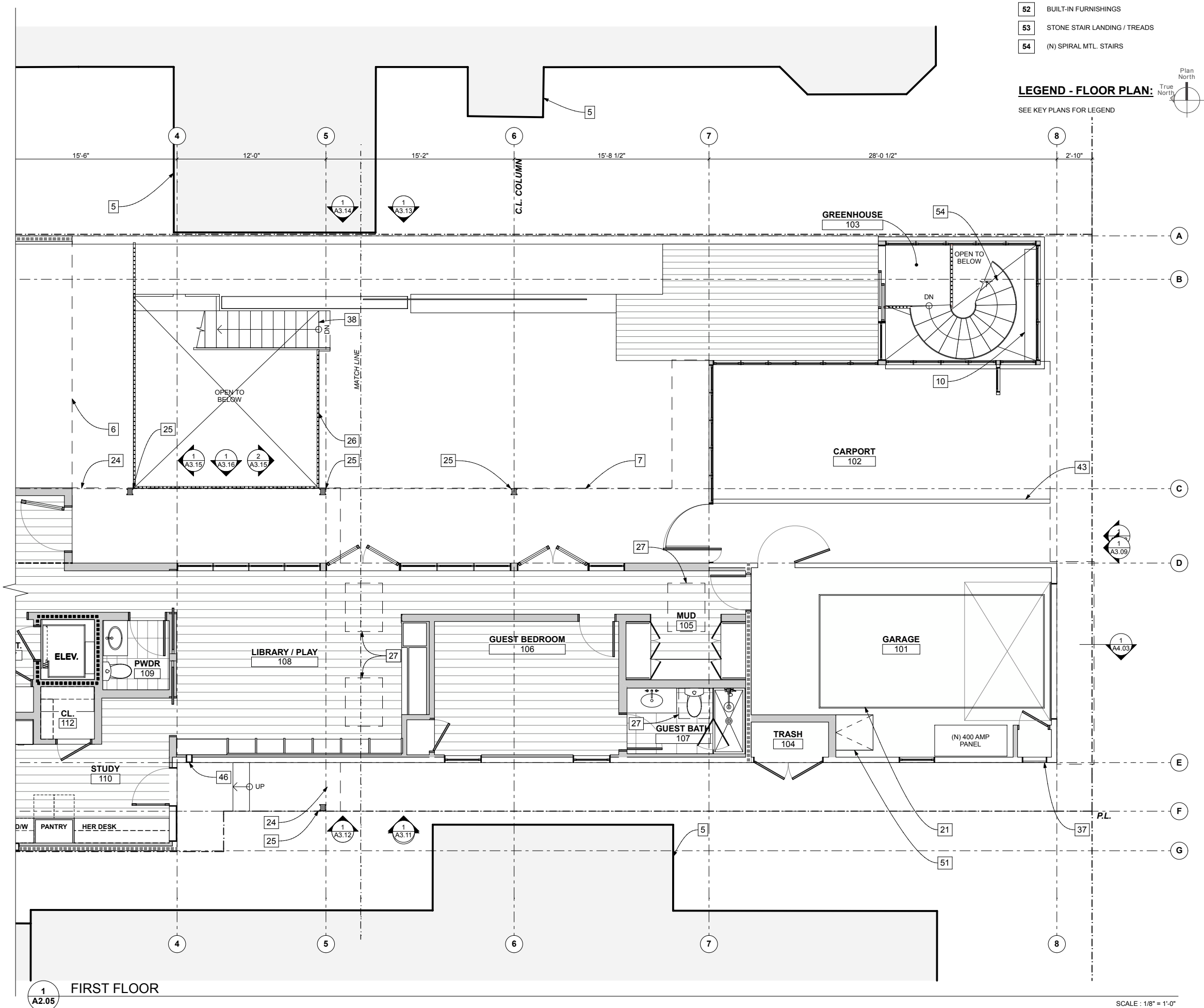
PROPOSED PLAN - BASEMENT B

SCALE: AS NOTED

JOB NUMBER: 201714

SHEET: **A2.04**

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- 52 BUILT-IN FURNISHINGS
53 STONE STAIR LANDING / TREADS
54 (N) SPIRAL MTL. STAIRS

LEGEND - FLOOR PLAN:
SEE KEY PLANS FOR LEGEND



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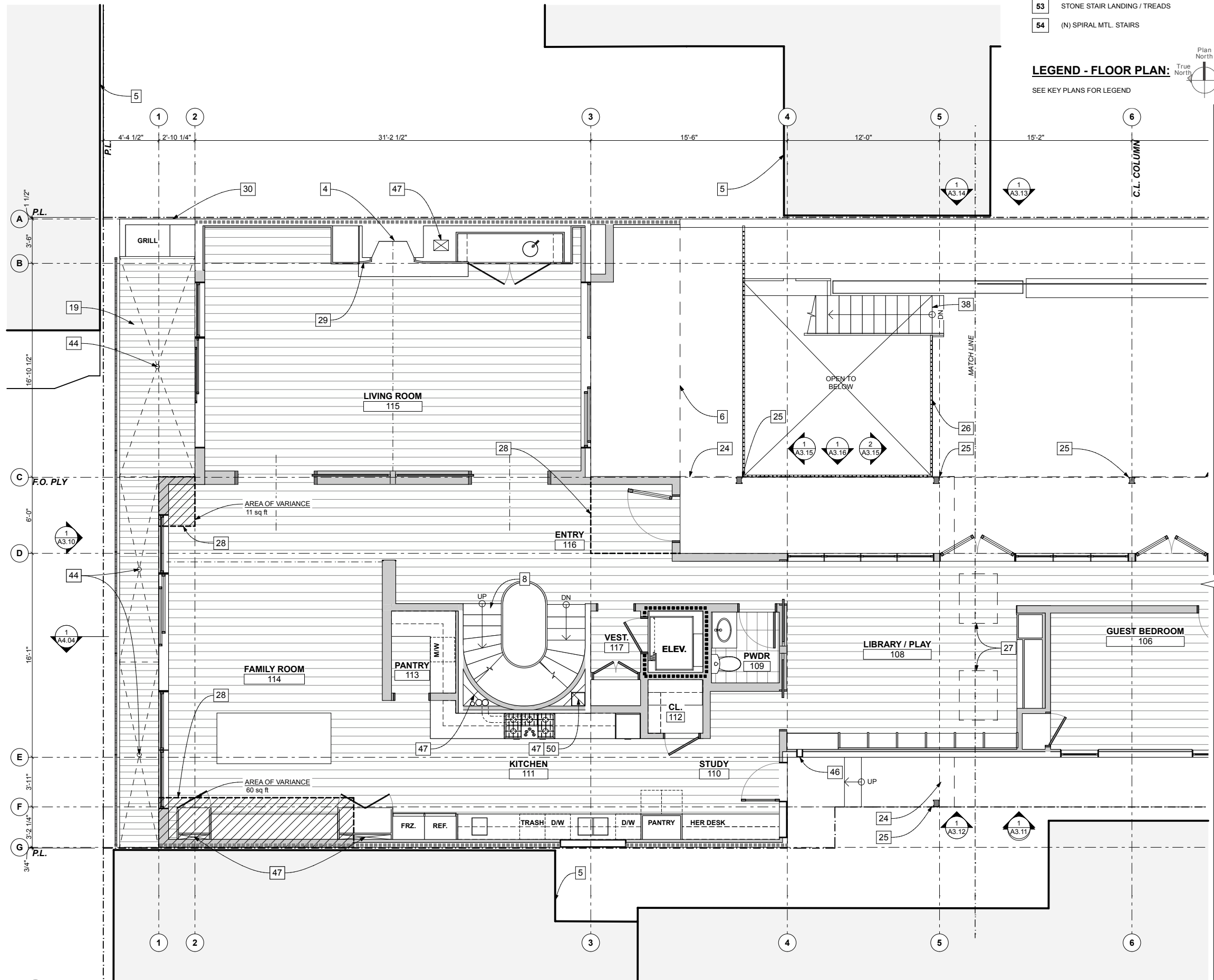
PROPOSED PLAN -
GROUND FLOOR A

SCALE: AS NOTED

JOB NUMBER: 201714

SHEET: **A2.05**

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- 52 BUILT-IN FURNISHINGS
53 STONE STAIR LANDING / TREADS
54 (N) SPIRAL MTL. STAIRS

LEGEND - FLOOR PLAN:

SEE KEY PLANS FOR LEGEND



KEYNOTES - FLOOR PLAN:

- 1 (E) RETAINING WALL TO REMAIN
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PROPOSED PLAN - GROUND FLOOR B

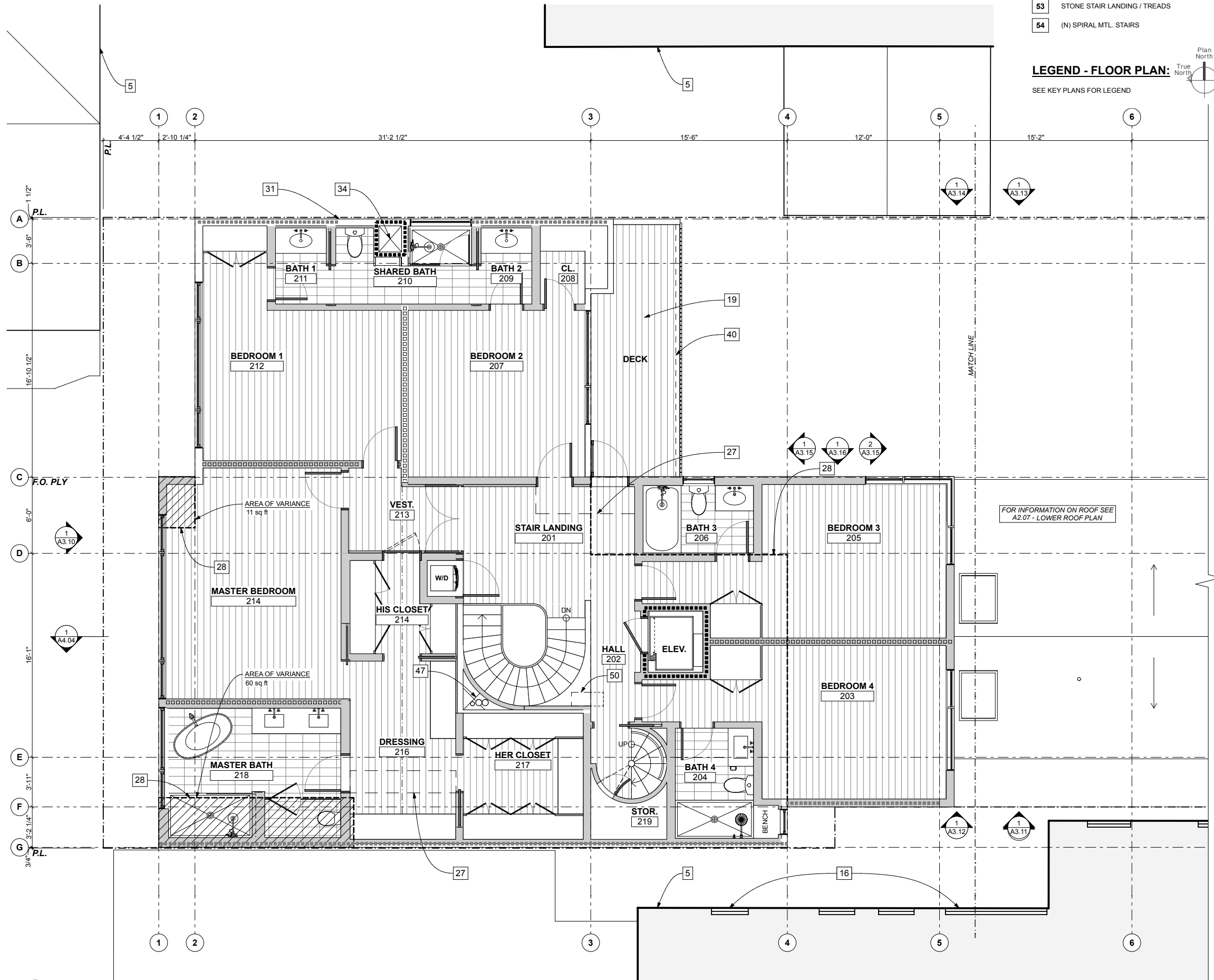
SCALE: AS NOTED

JOB NUMBER: 201714

SHEET: **A2.06**

SCALE: 1/8" = 1'-0"

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1 SECOND FLOOR

SCALE : 1/8" = 1'-0"

- 52 BUILT-IN FURNISHINGS
53 STONE STAIR LANDING / TREADS
54 (N) SPIRAL MTL. STAIRS

LEGEND - FLOOR PLAN:
SEE KEY PLANS FOR LEGEND



- KEYNOTES - FLOOR PLAN:
- (E) RETAINING WALL TO REMAIN
 - MECHANICAL VAULT OPEN TO ABOVE
 - ACCESS HATCH TO MECHANICAL VAULT W/ SPA FILTER & SUMP PUMP BELOW
 - (E) WOOD-BURNING FIREPLACE TO BE CONVERTED TO (N) GAS FIREPLACE
 - OUTLINE OF NEIGHBORING BUILDING
 - EXTENT OF DECK / SOFFIT ABOVE
 - EXTENT OF ROOF ABOVE
 - (E) CURVED STAIR BETWEEN FIRST AND SECOND FLOOR TO BE RE-BUILT TO ADJUST TO THE (N) SECOND FL. ELEVATION
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 - PLANTED WALL
 - (E) CHIMNEY
 - (E) GUTTER
 - (E) DOWNSPOUT
 - (N) GUTTER
 - (N) DOWNSPOUT
 - (E) NEIGHBOR WINDOWS
 - (N) CONCRETE RETAINING WALL BUILT ALONG EXISTING WALL
 - (N) CONCRETE RETAINING WALLS
 - (N) WOOD DECK
 - RAISED FLOOR FOR CAR LIFT EQUIPMENT
 - (N) CAR LIFT PLATFORM
 - RADIANT AND DOMESTIC HOT WATER TANKS
 - EXTENT OF LIGHTWELL OPENING ABOVE
 - EXTENT OF BUILDING ABOVE
 - (N) STL. COLUMN
 - (N) OPENING TO SUNKEN PATIO AT BASEMENT
 - (N) SKYLIGHT ABOVE
 - EXTENT OF (E) BUILDING
 - (N) FIREPLACE SURROUND
 - (N) PARTIAL HEIGHT WALLS SURROUNDING BUILT-IN GRILL AND COUNTER
 - (N) WD. FIRE-RATED WINDOW
 - (N) GAS FIREPLACE AT (E) CHIMNEY LOCATION
 - RIDGE ABOVE
 - (E) FLUE FROM GROUND FL WOOD-BURNING FIREPLACE
 - (N) VERTICAL LADDER TO ACCESS HATCH ABOVE FIXED TO WALL
 - EXTENT OF (E) BELOW-GRADE GARAGE AT NEIGHBORING PROPERTY
 - PACKAGE DROP-BOX
 - (N) CANTILEVERED MTL. STAIR, S.S.D.
 - (N) WD. FRAMED STAIR. CLAD W/ WD. TREAD AND RISER
 - (N) TRENCH DRAIN CONCEALED IN DECK
 - (E) GLASS ROOF TO BE REPLACED IN KIND W/ (N) GLAZED ROOF
 - (E) GRAVEL BALLAST ROOF TO BE REMOVED AND REPLACED W/ (N) SHINGLE CLAD ROOF W/ RAISED PLATE HEIGHT. SEE EXTERIOR ELEVATIONS
 - (N) 4" HIGH CURB SEPARATING PARKING AREA FROM PATH OF EGRESS
 - (N) AREA DRAIN BELOW DECK
 - (N) SKYLIGHT
 - (N) MECH. VENT / INTAKE
 - VERTICAL MECHANICAL CHASE
 - MECHANICAL ROOF PENETRATION
 - EXTENT OF HABITABLE ATTIC AREA W/ HEAD HEIGHT GREATER THAN 5'-0"
 - LAUNDRY CHUTE
 - FLOOR HATCH FOR ACCESS TO MECHANICAL SPACE BELOW

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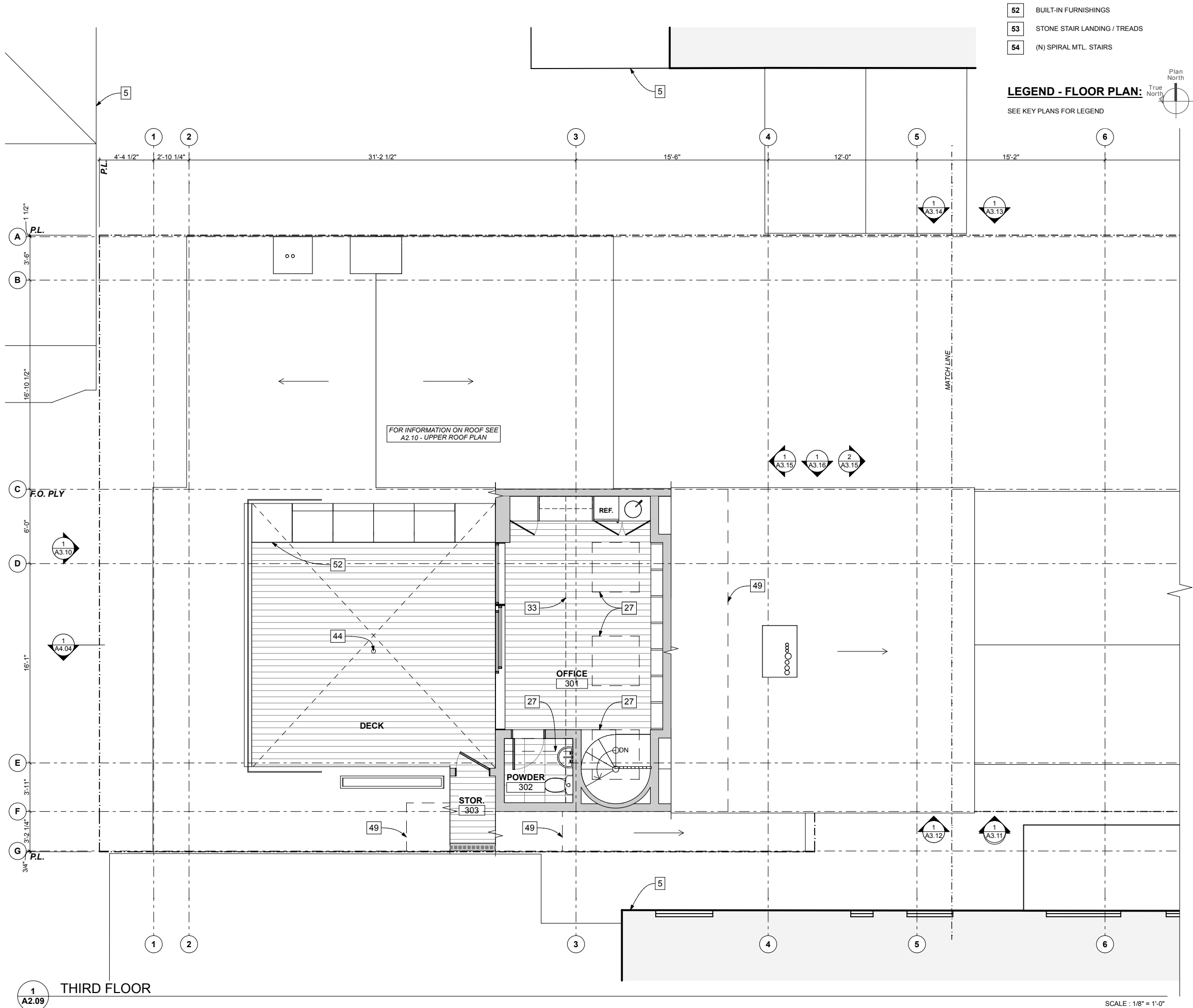
ISSUED:
PLANNING APPLICATION 06/20/2018
REV. PLANNING APPLICATION 01/10/2018
PLAN CHECK RESPONSE 03/22/2019

PROPOSED PLAN -
SECOND FLOOR

SCALE : AS NOTED

JOB NUMBER : 201714

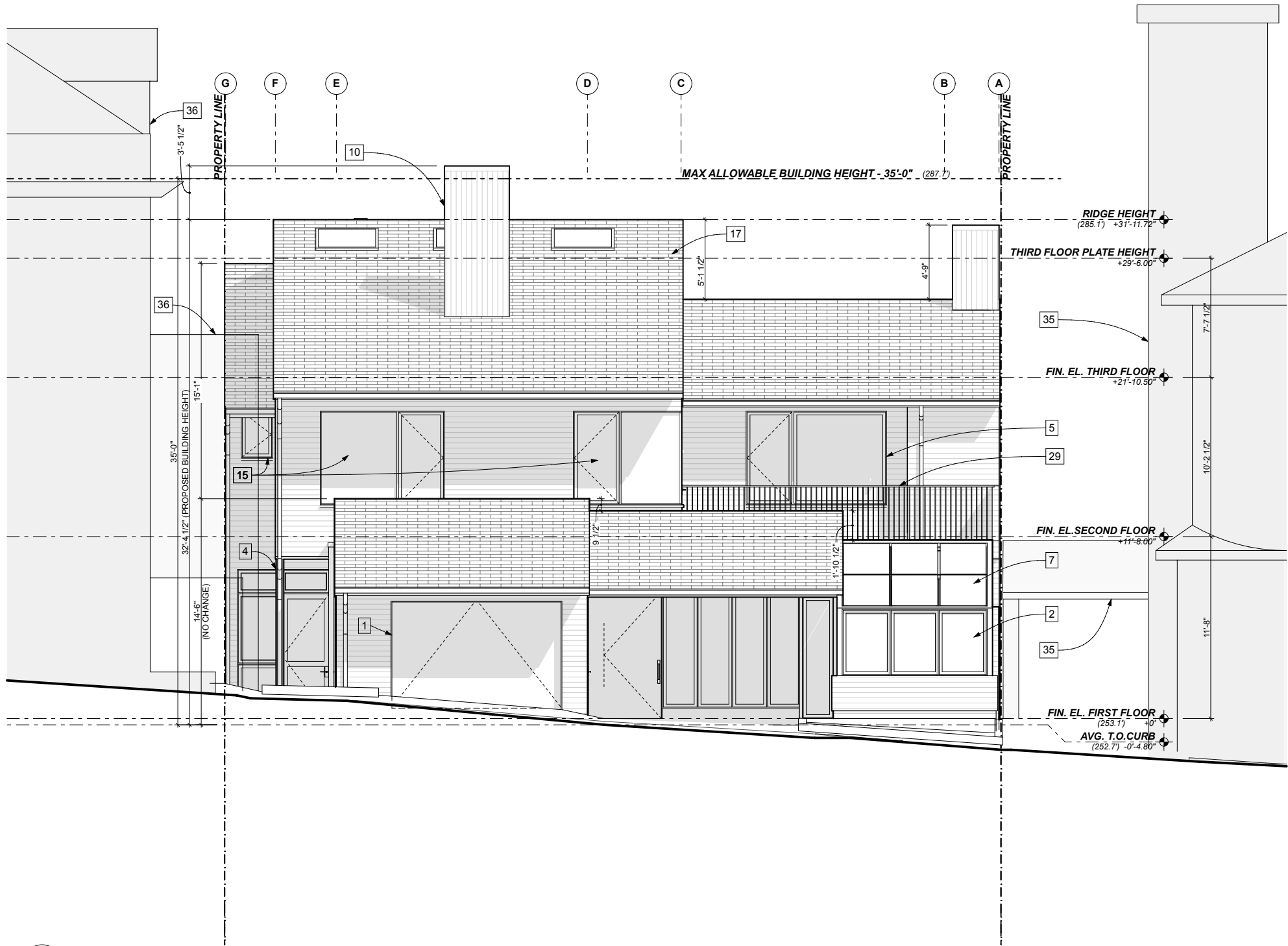
SHEET : A2.08



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1 SOUTH ELEVATION
A3.09

SCALE: 1/8" = 1'-0"

NOTES - ELEVATION:

- (E) ELEMENTS TO REMAIN U.O.N.
- MAINTAIN (E) SIDING AS MUCH AS POSSIBLE. PATCH AND REPAIR AS NEEDED
- SIDING FOR THE ADDITION SHALL MATCH THE EXISTING
- (E) SHINGLE ROOF SHALL BE REMOVED. ALL REMAINING (E) ROOF SURFACES AND (N) ROOF SURFACES TO RECEIVE (N) SHINGLE ROOF THROUGHOUT.

KEYNOTES - ELEVATION:

- | | |
|----|--|
| 1 | (E) WD. GARAGE DOOR TO BE REPLACED IN KIND |
| 2 | (E) WINDOW TO BE REPLACED IN KIND WITH (N) MTL. WINDOW |
| 3 | (E) WINDOW AND DOOR TO BE REPLACED WITH (N) METAL WINDOW AND DOOR IN MODIFIED OPENING |
| 4 | (E) WINDOW TO BE REPLACED IN KIND WITH (N) WD. WINDOW |
| 5 | (E) WINDOW TO BE REPLACED WITH (N) WD. WINDOW IN MODIFIED OPENING |
| 6 | (E) FIRE-RATED WINDOW TO BE REPLACED IN KIND WITH WD. WINDOW |
| 7 | (E) GLASS ROOF TO BE REPLACED IN KIND |
| 8 | (E) RAILING TO BE REPLACED |
| 9 | (E) CHIMNEY TO BE REMOVED |
| 10 | (E) CHIMNEY TO BE EXTENDED |
| 11 | (E) ROOF TO BE REMOVED |
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| 20 | (E) STAIR TO BE REMOVED |
| 21 | (E) WD. FENCE TO BE REPLACED W/ (N) BOARD-FORMED CONCRETE WALL. HEIGHT TO MATCH (E) HEIGHT |
| 22 | (E) WD. COLUMN TO BE REMOVED |
| 23 | (N) PTD. STL. COLUMN |
| 24 | (N) GLASS RAILING OVER PARAPET WALL |
| 25 | (E) LOUVRE TO BE REMOVED. PATCH AND REPAIR SIDING AS NEEDED |
| 26 | (N) EXTERIOR STAIR TO BASEMENT |
| 27 | (E) ENTRY DOOR TO BE REMOVED |
| 28 | PTD. MTL. TRIM |
| 29 | (N) MTL. RAILING |
| 30 | (N) PACKAGE DELIVERY DOOR |
| 31 | (E) WD. DOOR TO BE REPLACED W/ (N) WD. DOOR IN MODIFIED OPENING |
| 32 | MECH. VENT |
| 33 | (N) RAIN CHAIN |
| 34 | EXTENT OF NEIGHBORING BUILDING AT PROPERTY LINE |
| 35 | 3600 WASHINGTON STREET |
| 36 | 3636 WASHINGTON STREET |

LEGEND - ELEVATION:

- | | |
|--|---|
| | AREA OF PROPOSED ADDITION REQUESTED UNDER VARIANCE |
| | OUTLINE OF PROPOSED ADDITION |
| | OUTLINE OF NEIGHBORING BUILDING AT PROPERTY LINE |
| | OUTLINE OF NEIGHBORING BUILDING AND WINDOWS SET BACK FROM PROPERTY LINE |
| | ELEVATION ABOVE SEA LEVEL |

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ISSUED:

PLANNING APPLICATION 06/20/2018
REV. PLANNING APPLICATION 01/10/2018
PLAN CHECK RESPONSE 03/22/2019

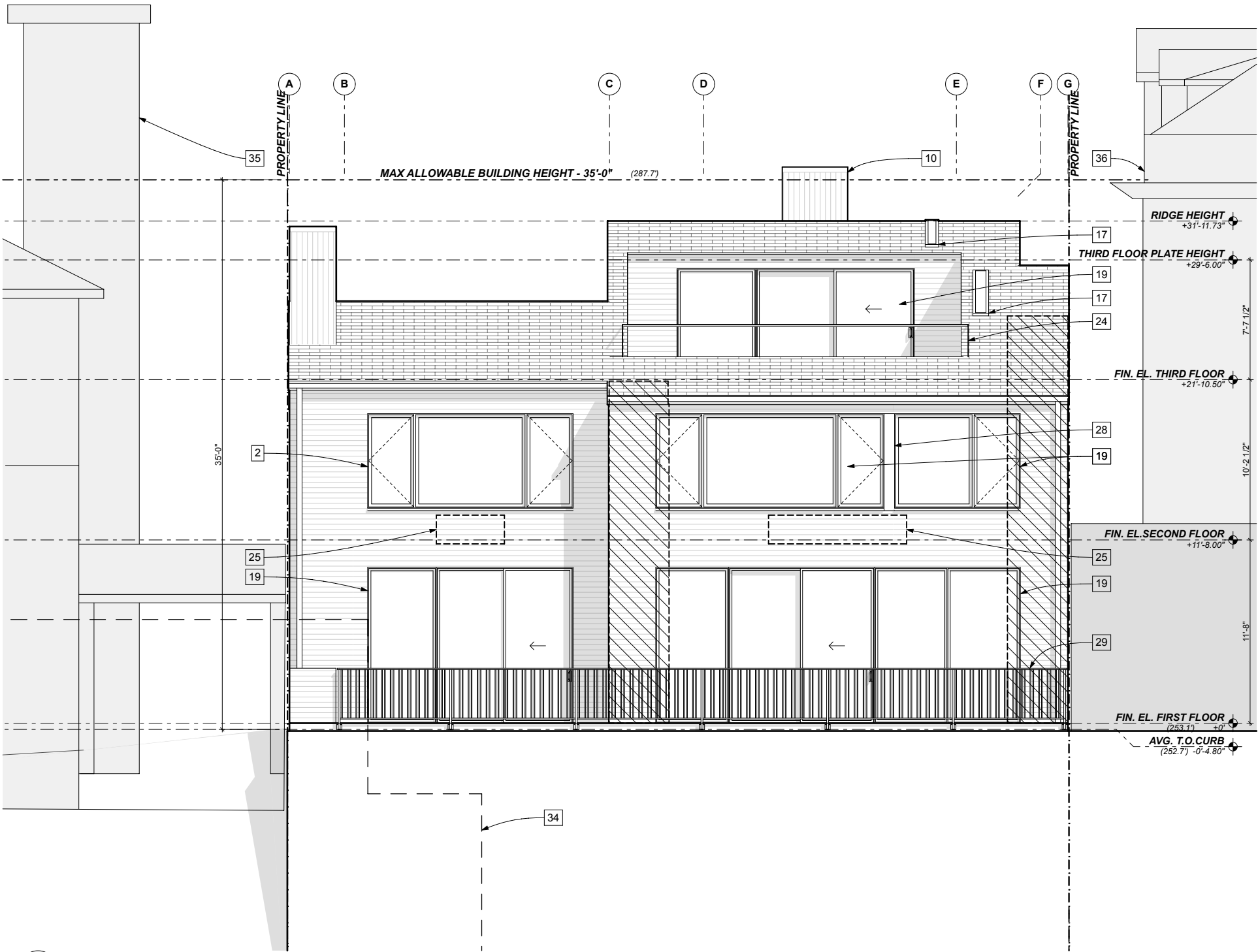
PROPOSED ELEVATIONS - SOUTH

SCALE: AS NOTED

JOB NUMBER: 201714

SHEET: A3.09

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NOTES - ELEVATION:

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KEYNOTES - ELEVATION:

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| 11 | (E) ROOF TO BE REMOVED |
| 12 | (E) GRAVEL BALLAST ROOF TO BE REMOVED AND REPLACED WITH (N) SHINGLE-CLAD ROOF AT RAISED PLATE HEIGHT |
| 13 | (E) WINDOW / DOOR TO BE REMOVED |
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| 15 | (N) WD. WINDOW / DOOR |
| 16 | (E) SKYLIGHT TO BE REMOVED |
| 17 | (N) SKYLIGHT |
| 18 | (E) WD. FIRE-RATED WINDOW REPLACED W/ SAME IN MODIFIED OPENING |
| 19 | (N) MTL. WINDOW / DOOR |
| 20 | (E) STAIR TO BE REMOVED |
| 21 | (E) WD. FENCE TO BE REPLACED W/ (N) BOARD-FORMED CONCRETE WALL. HEIGHT TO MATCH (E) HEIGHT |
| 22 | (E) WD. COLUMN TO BE REMOVED |
| 23 | (N) PTD. STL. COLUMN |
| 24 | (N) GLASS RAILING OVER PARAPET WALL |
| 25 | (E) LOUVRE TO BE REMOVED. PATCH AND REPAIR SIDING AS NEEDED |
| 26 | (N) EXTERIOR STAIR TO BASEMENT |
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| 28 | PTD. MTL. TRIM |
| 29 | (N) MTL. RAILING |
| 30 | (N) PACKAGE DELIVERY DOOR |
| 31 | (E) WD. DOOR TO BE REPLACED W/ (N) WD. DOOR IN MODIFIED OPENING |
| 32 | MECH. VENT |
| 33 | (N) RAIN CHAIN |
| 34 | EXTENT OF NEIGHBORING BUILDING AT PROPERTY LINE |
| 35 | 3600 WASHINGTON STREET |
| 36 | 3636 WASHINGTON STREET |

LEGEND - ELEVATION:

- | | |
|---------|---|
| | AREA OF PROPOSED ADDITION REQUESTED UNDER VARIANCE |
| | OUTLINE OF PROPOSED ADDITION |
| | OUTLINE OF NEIGHBORING BUILDING AT PROPERTY LINE |
| | OUTLINE OF NEIGHBORING BUILDING AND WINDOWS SET BACK FROM PROPERTY LINE |
| (###.#) | ELEVATION ABOVE SEA LEVEL |

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ISSUED:
PLANNING APPLICATION 06/20/2018
REV. PLANNING APPLICATION 01/10/2018
PLAN CHECK RESPONSE 03/22/2019

PROPOSED ELEVATION - NORTH

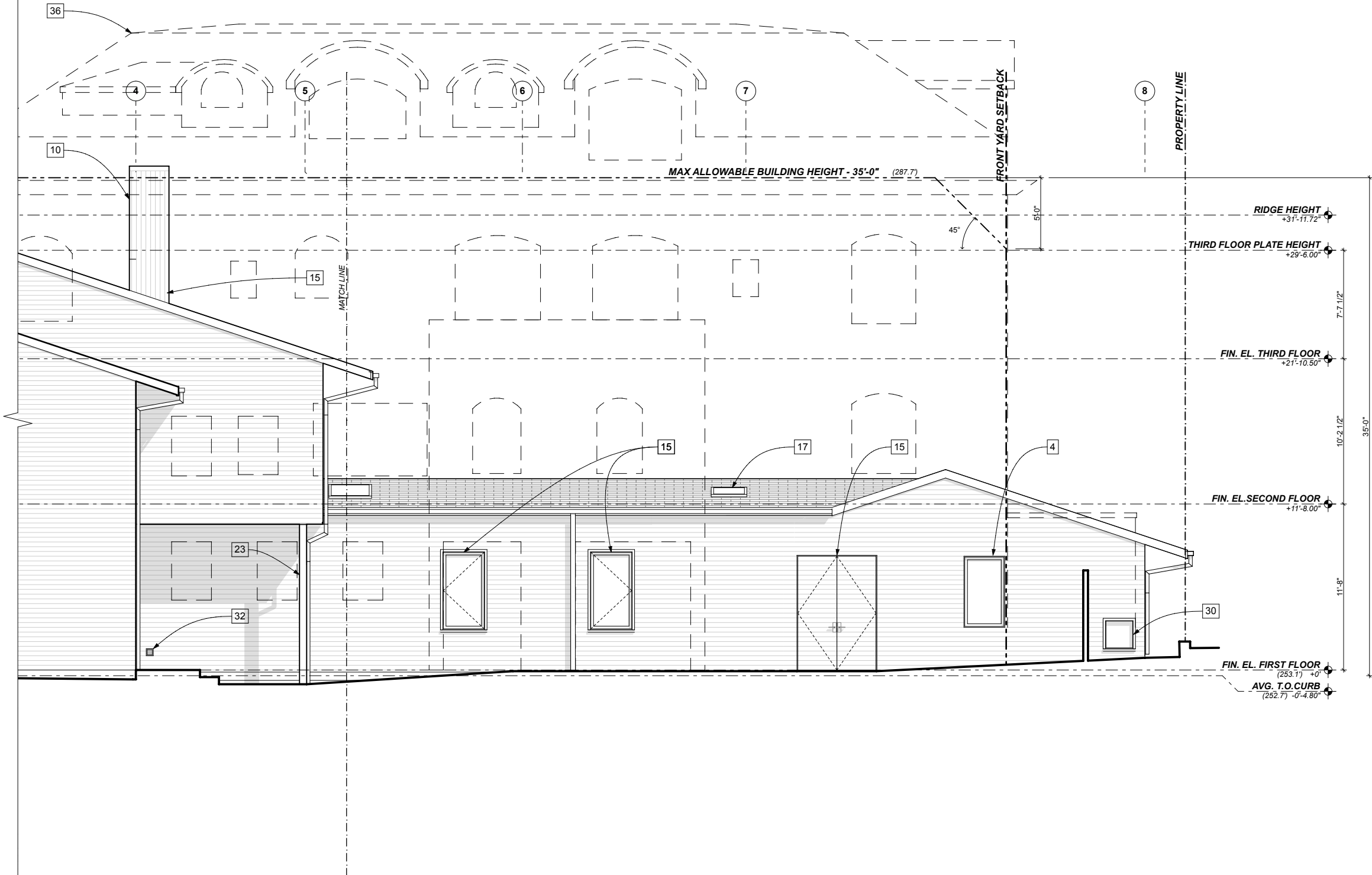
SCALE: AS NOTED

JOB NUMBER: 201714

SHEET: **A3.10**

SCALE: 1/8" = 1'-0"

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1
A3.11

WEST ELEVATION

SCALE: 1/8" = 1'-0"

NOTES - ELEVATION:

- (E) ELEMENTS TO REMAIN U.O.N.
- MAINTAIN (E) SIDING AS MUCH AS POSSIBLE. PATCH AND REPAIR AS NEEDED
- SIDING FOR THE ADDITION SHALL MATCH THE EXISTING
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KEYNOTES - ELEVATION:

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| 1 | (E) WD. GARAGE DOOR TO BE REPLACED IN KIND |
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| 5 | (E) WINDOW TO BE REPLACED WITH (N) WD. WINDOW IN MODIFIED OPENING |
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| 28 | PTD. MTL. TRIM |
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| 30 | (N) PACKAGE DELIVERY DOOR |
| 31 | (E) WD. DOOR TO BE REPLACED W/ (N) WD. DOOR IN MODIFIED OPENING |
| 32 | MECH. VENT |
| 33 | (N) RAIN CHAIN |
| 34 | EXTENT OF NEIGHBORING BUILDING AT PROPERTY LINE |
| 35 | 3600 WASHINGTON STREET |
| 36 | 3636 WASHINGTON STREET |

LEGEND - ELEVATION:

- | | |
|---------|---|
| | AREA OF PROPOSED ADDITION REQUESTED UNDER VARIANCE |
| | OUTLINE OF PROPOSED ADDITION |
| | OUTLINE OF NEIGHBORING BUILDING AT PROPERTY LINE |
| | OUTLINE OF NEIGHBORING BUILDING AND WINDOWS SET BACK FROM PROPERTY LINE |
| (###.#) | ELEVATION ABOVE SEA LEVEL |

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3610 WASHINGTON STREET,
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PLAN CHECK RESPONSE 03/22/2019

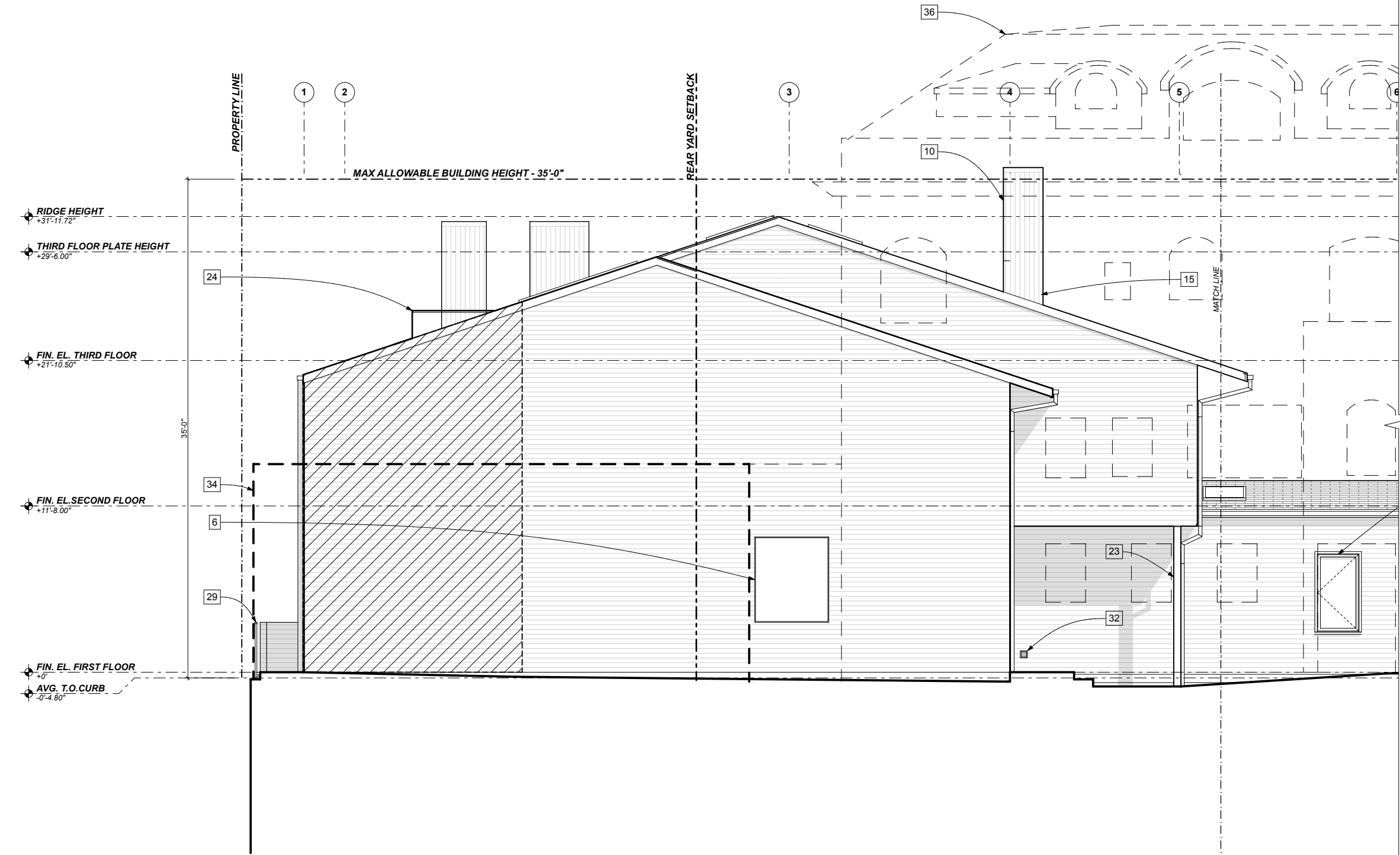
PROPOSED ELEVATION - WEST A

SCALE: AS NOTED

JOB NUMBER: 201714

SHEET: **A3.11**

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1 WEST ELEVATION
A3.12

NOTES - ELEVATION:

- (E) ELEMENTS TO REMAIN U.O.N.
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KEYNOTES - ELEVATION:

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| 32 | MECH. VENT |
| 33 | (N) RAIN CHAIN |
| 34 | EXTENT OF NEIGHBORING BUILDING AT PROPERTY LINE |
| 35 | 3600 WASHINGTON STREET |
| 36 | 3636 WASHINGTON STREET |

LEGEND - ELEVATION:

- | | |
|---------|---|
| | AREA OF PROPOSED ADDITION REQUESTED UNDER VARIANCE |
| | OUTLINE OF PROPOSED ADDITION |
| | OUTLINE OF NEIGHBORING BUILDING AT PROPERTY LINE |
| | OUTLINE OF NEIGHBORING BUILDING AND WINDOWS SET BACK FROM PROPERTY LINE |
| (###.#) | ELEVATION ABOVE SEA LEVEL |

SCALE: 1/8" = 1'-0"

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ISSUED:
PLANNING APPLICATION 06/20/2018
REV. PLANNING APPLICATION 01/10/2018
PLAN CHECK RESPONSE 03/22/2019

PROPOSED ELEVATION - WEST B

SCALE: AS NOTED

JOB NUMBER: 201714

SHEET: **A3.12**

1. (E) ELEMENTS TO REMAIN U.O.N.
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32	MECH. VENT
33	(N) RAIN CHAIN
34	EXTENT OF NEIGHBORING BUILDING AT PROPERTY LINE

AREA OF PROPOSED ADDITION REQUESTED UNDER VARIANCE

OUTLINE OF PROPOSED ADDITION

OUTLINE OF NEIGHBORING BUILDING AT PROPERTY LINE

OUTLINE OF NEIGHBORING BUILDING AND WINDOWS SET BACK FROM PROPERTY LINE

ELEVATION ABOVE SEA LEVEL

B L O C K # 0 9 8 7 - L O T # 0 2 4

3610 WASHINGTON

3610 WASHINGTON STREET,
SAN FRANCISCO, CA, 94118,

ISSUED:

PLANNING APPLICATION 06/20/2018

REV. PLANNING APPLICATION 01/10/2018

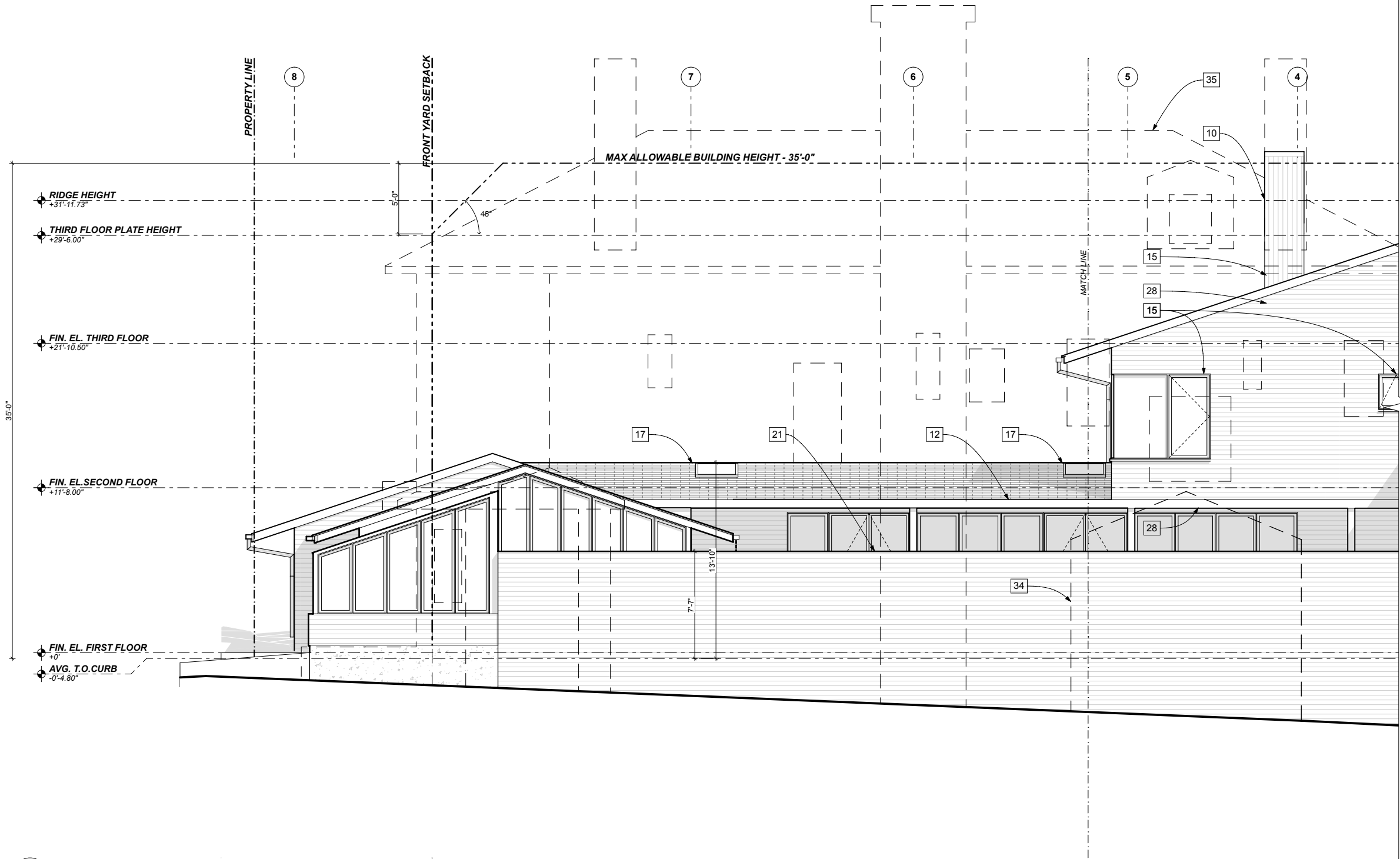
PLAN CHECK RESPONSE 03/22/2019

PROPOSED ELEVATION -
EAST A

SCALE : AS NOTED

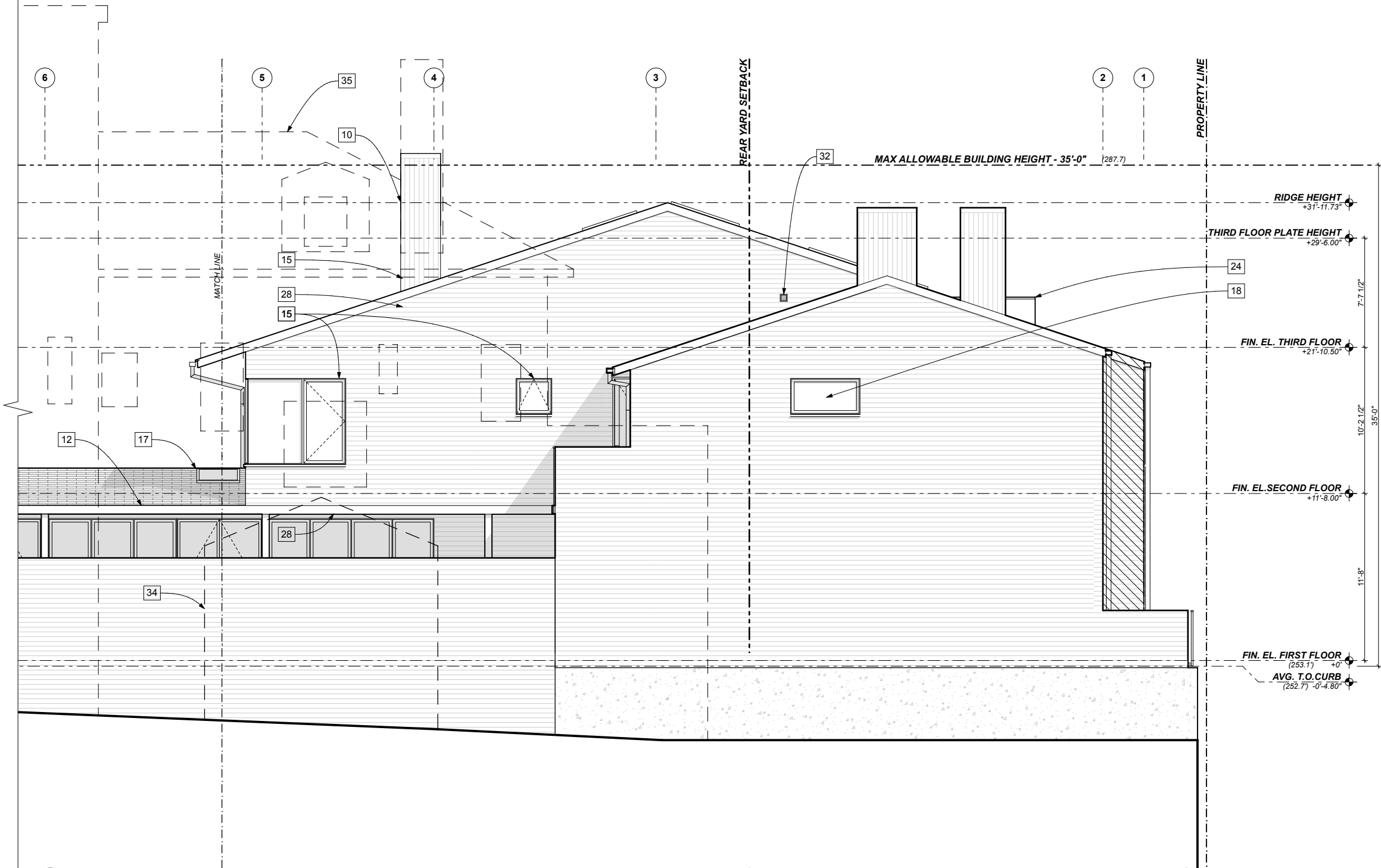
JOB NUMBER : 201714

SHEET : **A3.13**



SCALE: 1/8" = 1'-0"

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1 EAST ELEVATION
A3.14

SCALE: 1/8" = 1'-0"

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KEYNOTES - ELEVATION:

- | | |
|----|--|
| 1 | (E) WD. GARAGE DOOR TO BE REPLACED IN KIND |
| 2 | (E) WINDOW TO BE REPLACED IN KIND WITH (N) MTL. WINDOW |
| 3 | (E) WINDOW AND DOOR TO BE REPLACED WITH (N) METAL WINDOW AND DOOR IN MODIFIED OPENING |
| 4 | (E) WINDOW TO BE REPLACED IN KIND WITH (N) WD. WINDOW |
| 5 | (E) WINDOW TO BE REPLACED WITH (N) WD. WINDOW IN MODIFIED OPENING |
| 6 | (E) FIRE-RATED WINDOW TO BE REPLACED IN KIND WITH WD. WINDOW |
| 7 | (E) GLASS ROOF TO BE REPLACED IN KIND |
| 8 | (E) RAILING TO BE REPLACED |
| 9 | (E) CHIMNEY TO BE REMOVED |
| 10 | (E) CHIMNEY TO BE EXTENDED |
| 11 | (E) ROOF TO BE REMOVED |
| 12 | (E) GRAVEL BALLAST ROOF TO BE REMOVED AND REPLACED WITH (N) SHINGLE-CLAD ROOF AT RAISED PLATE HEIGHT |
| 13 | (E) WINDOW / DOOR TO BE REMOVED |
| 14 | (E) UTILITY ACCESS DOORS TO BE REMOVED. PATCH AND REPAIR SIDING |
| 15 | (N) WD. WINDOW / DOOR |
| 16 | (E) SKYLIGHT TO BE REMOVED |
| 17 | (N) SKYLIGHT |
| 18 | (E) WD. FIRE-RATED WINDOW REPLACED W/ SAME IN MODIFIED OPENING |
| 19 | (N) MTL. WINDOW / DOOR |
| 20 | (E) STAIR TO BE REMOVED |
| 21 | (E) WD. FENCE TO BE REPLACED W/ (N) BOARD-FORMED CONCRETE WALL. HEIGHT TO MATCH (E) HEIGHT |
| 22 | (E) WD. COLUMN TO BE REMOVED |
| 23 | (N) PTD. STL. COLUMN |
| 24 | (N) GLASS RAILING OVER PARAPET WALL |
| 25 | (E) LOUVRE TO BE REMOVED. PATCH AND REPAIR SIDING AS NEEDED |
| 26 | (N) EXTERIOR STAIR TO BASEMENT |
| 27 | (E) ENTRY DOOR TO BE REMOVED |
| 28 | PTD. MTL. TRIM |
| 29 | (N) MTL. RAILING |
| 30 | (N) PACKAGE DELIVERY DOOR |
| 31 | (E) WD. DOOR TO BE REPLACED W/ (N) WD. DOOR IN MODIFIED OPENING |
| 32 | MECH. VENT |
| 33 | (N) RAIN CHAIN |
| 34 | EXTENT OF NEIGHBORING BUILDING AT PROPERTY LINE |
| 35 | 3600 WASHINGTON STREET |
| 36 | 3636 WASHINGTON STREET |

LEGEND - ELEVATION:

- | | |
|---------|---|
| | AREA OF PROPOSED ADDITION REQUESTED UNDER VARIANCE |
| | OUTLINE OF PROPOSED ADDITION |
| | OUTLINE OF NEIGHBORING BUILDING AT PROPERTY LINE |
| | OUTLINE OF NEIGHBORING BUILDING AND WINDOWS SET BACK FROM PROPERTY LINE |
| (###.#) | ELEVATION ABOVE SEA LEVEL |

WALKER
WARNER
ARCHITECTS

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415.318.8900
www.walkerwarner.com

BLOCK # 0987 - LOT # 024

3610 WASHINGTON

3610 WASHINGTON STREET,
SAN FRANCISCO, CA. 94118

ISSUED:

PLANNING APPLICATION 06/20/2018
REV. PLANNING APPLICATION 01/10/2018
PLAN CHECK RESPONSE 03/22/2019

PROPOSED ELEVATION - EAST B

SCALE: AS NOTED

JOB NUMBER: 201714

SHEET: A3.14