

SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use Authorization

HEARING DATE: NOVEMBER 21, 2019

Record No.:	2018-009157CUA
Project Address:	2175 HAYES STREET
Zoning:	RH-3 - Residential-House, Three Family Zoning District
	40-X Height and Bulk District
Block/Lot:	1212/022
Project Sponsor:	Earle Weiss
	EE Weiss Architects
	21 Corte Madera Avenue, #4
	Mill Valley, CA 94941
Property Owner:	Tom McGrath
	1700 Diamond Street
	San Francisco, CA 94131
Staff Contact:	Sylvia Jimenez – (415) 575-9187
	<u>sylvia.jimenez@sfgov.org</u>
Recommendation:	Approval with Conditions

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Reception: 415.558.6378

Fax: 415.558.6409

Planning Information: **415.558.6377**

PROJECT DESCRIPTION

The Project proposes the demolition of an existing one-story dental office building and construction of a four-story residential building (approximately 10,793 gross square feet) with four 4-bedroom units and one 3-bedroom Accessory Dwelling Unit, three below-grade off-street parking spaces, and five Class 1 bicycle parking spaces. The Project will provide approximately 1,440 square feet of common useable open space in the form of a newly created rear yard.

REQUIRED COMMISSION ACTION

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization, pursuant to Planning Code Sections 209.1 and 303 to allow a dwelling unit density at a ratio of one dwelling unit per 1,000 square feet within the RH-3 Zoning District.

ISSUES AND OTHER CONSIDERATIONS

- Public Comment & Outreach.
 - **Support/Opposition.** The Department has not received correspondence regarding the proposed project.
 - **Outreach.** The Sponsor has hosted one meeting within the community, on June 20, 2018.

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

BASIS FOR RECOMMENDATION

The Department finds that the Project is, on balance, consistent with the Objectives and Policies of the General Plan. Although the Project results in a loss of formerly commercial space, the subject property will be brought into conformance with the residential uses permitted by the Planning Code. The Project will provide four family sized 4-bedroom units and one 3-bedroom Accessory Dwelling Unit, adding to the City's housing stock. As such, the Department finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

ATTACHMENTS:

Draft Motion – Conditional Use Authorization with Conditions of Approval Exhibit B – Plans and Renderings Exhibit C – Environmental Determination Exhibit D – Land Use Data Exhibit E – Maps and Context Photos



SAN FRANCISCO PLANNING DEPARTMENT

Planning Commission Draft Motion HEARING DATE: NOVEMBER 21, 2019

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ADOPTING FINDINGS RELATING TO A CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTION 209.1 AND 303, TO ALLOW THE DEMOLITION OF AN EXISTING ONE-STORY DENTAL OFFICE BUILDING AND CONSTRUCTION OF A NEW FOUR-STORY RESIDENTIAL BUILDING CONTAINING FOUR DWELLING UNITS, WITH AN ACCESSORY DWELLING UNIT AT THE GROUND AND BASEMENT FLOOR, WITHIN THE RH-3 (RESIDENTIAL-HOUSE, THREE FAMILY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PREAMBLE

On June 29, 2018, Earle Weiss of Earl Weiss Architects (hereinafter "Project Sponsor") filed Application No. 2018-009157CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization to demolish a one-story dental medical office and construct a new four-story residential building containing four dwelling units, with an Accessory Dwelling Unit (ADU) at the ground floor and basement (hereinafter "Project") at 2175 Hayes Street, Block 1212 Lot 022 (hereinafter "Project Site").

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

On November 21, 2019, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2018-009157CUA.

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2018-009157CUA is located at 1650 Mission Street, Suite 400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2018-009157CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

- 1. The above recitals are accurate and constitute findings of this Commission.
- 2. **Project Description.** The Project includes demolition of an existing single-story dental office building and construction of a four-story residential building (approximately 10,793 gross square feet) with four 4-bedroom units and one 3-bedroom Accessory Dwelling Unit, three below-grade off-street parking spaces, and five Class 1 bicycle parking spaces. The Project will provide approximately 1,440 square feet of common useable open space in the form of a newly created rear yard.
- 3. **Site Description and Present Use.** The Project Site is located on the south side of Hayes Street between Cole and Shrader Streets in the Haight/Ashbury neighborhood. The property is regularly shaped, measuring approximately 28 feet in width and 137.5 feet in depth and approximately 3,868 square-feet in area. The subject property is developed with a one-story, dental office building, which is a legal non-conforming use in the RH-3 Zoning District, containing three suites and was constructed circa 1956. The building has full lot coverage with a walkway along the west side property line and is currently vacant.
- 4. **Surrounding Properties and Neighborhood.** The subject property is within the RH-3 Zoning District and is located in the North Panhandle neighborhood of the greater Haight/Ashbury. The immediate context is primarily residential in character with three- and four-story, multi-family, Victorian and Edwardian era dwellings. There are several mixed-use buildings with ground floor commercial space at the intersection of Hayes and Cole Streets. The rear side of the larger Saint Mary's Hospital medical complex is located west of the intersection of Hayes and Shrader Streets.
- 5. **Public Outreach and Comments.** As of the date of this report, the Department has not received any public correspondence concerning the Project.

- 6. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Use.** Planning Code Section 209.1 states that in the RH-3 Zoning District, up to three dwelling units per lot are principally permitted and up to one unit per 1,000 square feet of lot area is permitted with a Conditional Use Authorization.

The subject building on the property is currently vacant and was most recently occupied by a medical dental office which is a non-conforming use in the RH-3 Zoning District. The Project proposes to eliminate the nonconformity by establishing a Residential use.

B. **Dwelling Unit Density.** Planning Code Section 209.1 permits a maximum residential density of one dwelling unit per 1,000 square feet of lot area in the RH-3 Zoning District, as a Conditional Use.

The Project Site measures 3,868 square feet, and a maximum of four dwelling units are permitted with Conditional Use Authorization from the Planning Commission. The Project also proposes an Accessory Dwelling Unit at the ground and basement floors under Planning Code Section 207(c)(4).

C. **Open Space**. Planning Code Section 135 states that in the RH-3 Zoning District, at least 100 square feet of usable open space is required per unit if the open space is private, and 133 square feet of usable open space is required if the open space is common.

Four dwelling units in the RH-3 Zoning District require 532 square feet of common usable open space. The Project proposes 1,440 of common usable open space in the rear yard. Thus, all four dwelling units comply with usable open space requirements, including the Accessory Dwelling Unit.

D. **Permitted Obstructions.** Planning Code Section 136 permits bay windows over streets and in required setbacks to each have a maximum length of 15-ft. at the line establishing the required setback that is reduced in proportion by 45 degree angles drawn inward from the ends reaching a maximum of 9-ft. along a line parallel to and at a distance of 3-ft. from the setback line.

Along Hayes Street, the Project proposes bays measuring approximately 10-ft. 4-in. in length at a 1-ft. 10-in. distance from the property line. These bays comply with the allowed dimensions of the permitted obstructions requirement.

E. **Dwelling Unit Exposure.** Planning Code Section 140 requires that at least one room of all dwelling units face onto a public street or public alley at least 30 feet in width, a side yard at least 25 feet in width, a rear yard meeting the requirements of the Code or other open area that meets minimum requirements for area and horizontal dimensions.

All four dwelling units front onto Hayes Street and comply with the dwelling unit exposure requirement. The Accessory Dwelling Unit proposed at the rear of the building faces a Code-compliant rear yard.

F. **Off-Street Parking**. Planning Code Section 151 does not require any off-street parking spaces and permits a maximum of 1.5 off-street parking spaces for each dwelling unit.

The Project proposes three residential parking spaces in a garage accessed from Hayes Street using mechanical stackers and complies with Planning Code Section 151.

G. **Bicycle Parking.** Planning Code Section 155.2 requires one Class 1 bicycle parking space per dwelling unit.

The Project proposes five Class 1 spaces in a lobby area adjacent to the garage and complies with the bicycle parking requirements.

H. **Height.** Planning Code Section 260 requires that all structures be no taller than the height prescribed in the subject height and bulk district.

The subject property is located within a 40*-foot height district. The existing building does not exceed the prescribed height limit.*

I. **Child Care Requirements for Residential Projects.** Planning Code Section 414A requires that any residential development project that results in at least one net new residential unit shall comply with the imposition of the Residential Child Care Impact Fee requirement.

The Project proposes new construction of five new residential units. As such, the Project is subject to the Residential Child Care Impact Fee, which will be collected prior to the issuance of the first construction document.

J. **Street Frontage.** Section 144 of the Planning Code requires that no more than one-third of the width of the ground story of a dwelling along the front lot line, or along a street side lot line, or along a building wall that is setback from any such lot line, shall be devoted to entrances to off-street parking, except that in no event shall a lot be limited by this requirement to a single such entrance of less than ten feet in width.

The project proposes to install a garage door less than 10 feet in width on the ground floor of the building.

7. **Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The size of the proposed building is compatible with the surrounding neighborhood and its proposed replacement of a commercial use to residential use is desirable as the existing neighborhood consists of residential uses at various scales, from single-family dwellings to multi-unit apartment buildings.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:
 - (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The height and bulk of the existing building will be in context with the existing appearance or character of the project vicinity.

(2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

As the proposed project is residential in nature, unlike commercial or industrial uses, the proposed residential use is not expected to produce noxious or offensive emissions. Safeguards will be used during construction to mitigate any impact to the neighborhood.

(3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

No significant emissions of noise, glare, dust or odor would be produced by the proposed residential use.

(4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

Usable open space, in the form of a rear yard, will be provided and appropriately landscaped for the use of the building's future residents. A new street tree will be planted on the Hayes Street sidewalk and off-street parking for residential use will be located within the existing building on and below-grade.

C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Residential District.

The proposed project is consistent with the stated purposed of RH-3 Zoning District in that it proposes the removal of a commercial building to a residential use, which is a more compatible use given its location in a predominately residential neighborhood.

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 1:

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.1

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

Policy 1.10

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

OBJECTIVE 4:

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.1

Develop new housing, and encourage the remodeling of existing housing, for families with children.

OBJECTIVE 11:

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.2

Ensure implementation of accepted design standards in project approvals.

Policy 11.3

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

Policy 11.4:

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan.

Policy 11.6

Foster a sense of community through architectural design, using features that promote community interaction.

OBJECTIVE 12:

BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION.

Policy 12.2

Consider the proximity of quality of life elements such as open space, child care, and neighborhood services, when developing new housing units.

URBAN DESIGN ELEMENT

Objectives and Policies

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

Policy 1.7

Recognize the natural boundaries of districts, and promote connections between districts.

TRANSPORTATION ELEMENT Objectives and Policies

OBJECTIVE 2:

USE THE TRANSPORTATION SYSTEM AS A MEANS FOR GUIDING DEVELOPMENT AND IMPROVING THE ENVIRONMENT.

Policy 2.1: Use rapid transit and other transportation improvements in the city and region as the catalyst for desirable development and coordinate new facilities with public and private development.

OBJECTIVE 11:

ESTABLISH PUBLIC TRANSIT AS THE PRIMARY MODE OF TRANSPORTATION IN SAN FRANCISCO AND AS A MEANS THROUGH WHICH TO GUIDE FUTURE DEVELOPMENT AND IMPROVE REGIONAL MOBILITY AND AIR QUALITY.

Policy 11.3: Encourage development that efficiently coordinates land use with transit service, requiring that developers address transit concerns as well as mitigate traffic problems.

OBJECTIVE 28:

PROVIDE SECURE AND CONVENIENT PARKING FACILITIES FOR BICYCLES.

Policy 28.1: Provide secure bicycle parking in new governmental, commercial, and residential developments.

Policy 28.3: Provide parking facilities which are safe, secure, and convenient.

OBJECTIVE 34:

RELATE THE AMOUNT OF PARKING IN RESIDENTIAL AREAS AND NEIGHBORHOOD COMMERCIAL DISTRICTS TO THE CAPACITY OF THE CITY'S STREET SYSTEM AND LAND USE PATTERNS.

Policy 34.1: Regulate off-street parking in new housing so as to guarantee needed spaces without requiring excesses and to encourage low auto ownership in neighborhoods that are well served by transit and are convenient to neighborhood shopping.

Policy 34.3: Permit minimal or reduced off-street parking supply for new buildings in residential and commercial areas adjacent to transit centers and along transit preferential streets.

Policy 34.5: Minimize the construction of new curb cuts in areas where on-street parking is in short supply and locate them in a manner such that they retain or minimally diminish the number of existing on-street parking spaces.

The Project will revitalize a vacant building, most recently occupied by a nonconforming dental office use, by demolishing it and constructing a new multi-unit residential building. The Project will provide four 4-bedroom units and one 3-bedroom Accessory Dwelling Unit which would be suitable for families with children, each with access to usable open space. The proposed building is designed to be architecturally cohesive with the surrounding neighborhood and will be of a height and density appropriate to the scale of the nearby properties on Hayes Street. The proposed residential building would provide five weather-protected bicycle parking spaces for its residents to encourage bicycling and is located across from or within walking distance to several public transit lines, including the 21 – Hayes St, 33 –Stanyan, 5/5R – Fulton, among other SF MUNI bus routes. On balance, the Project is consistent with the Objectives and Policies of the General Plan.

- 9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:
 - A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

While the subject property has previously been used as a neighborhood-serving dental office, it was a nonconforming use that is no longer in operation. The Project does not propose any neighborhood-serving retail uses.

B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The Project will provide five new dwelling units, thus resulting in an overall increase in the neighborhood housing stock. The Project is expressive in design and relates well to the scale and form of the surrounding neighborhood. For these reasons, the Project would protect and preserve the cultural and economic diversity of the neighborhood.

C. That the City's supply of affordable housing be preserved and enhanced,

The Project does not propose affordable housing.

D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project site is well served by nearby public transportation options. The Project is across the street or within walking distance of the 21 - Hayes St, 33 - Stanyan, 5/5R - Fulton, among other SF MUNI bus routes. The Project also provides off-street parking and sufficient bicycle parking for residents and their guests.

E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project does not include commercial office development. Although the Project proposes the conversion of a commercial use to residential use, the Project will bring the property into conformity with the uses permitted by the Planning Code.

F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will be designed and will be constructed to conform to the structural and seismic safety requirements of the Building Code. This proposal will not impact the property's ability to withstand an earthquake.

G. That landmarks and historic buildings be preserved.

Currently, the Project Site does not contain any City Landmarks or historic buildings.

H. That our parks and open space and their access to sunlight and vistas be protected from development.

Since the Project is not more than 40-ft tall, additional study of the shadow impacts was not required per Planning Code Section 295. Further, the Project does not cast shadow onto any parks or open space.

- 10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
- 11. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2018-009157CUA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated November 6, 2019, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on November 21, 2019.

Jonas P. Ionin Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: November 21, 2019

SAN FRANCISCO PLANNING DEPARTMENT

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to allow the construction of a four-story, five unit residential building located at 2175 Hayes Street, Block 1212, and Lot 022, pursuant to Planning Code Sections 209.1 and 303 within the RH-3 Zoning District and a 40-X Height and Bulk District; in general conformance with plans, dated November 6, 2019, and stamped "EXHIBIT B" included in the docket for Record No. 20198-009157CUA and subject to conditions of approval reviewed and approved by the Commission on November 21, 2019 under Motion No **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on November 21, 2019 under Motion No **XXXXXX**.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, <u>www.sf-planning.org</u>

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, <u>www.sf-planning.org</u>

- 3. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved. *For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org*
- 4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, <u>www.sf-planning.org</u>

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, <u>www.sf-planning.org</u>

DESIGN – COMPLIANCE AT PLAN STAGE

6. Final Materials. The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.
For information about compliance, contact the Case Planner, Planning Department at 415 558 6278.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, <u>www.sf-planning.org</u>

7. **Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, <u>www.sf-planning.org</u>

PARKING AND TRAFFIC

8. **Bicycle Parking.** The Project shall provide no fewer than five (5) Class 1 bicycle parking spaces as required by Planning Code Sections 155.1 and 155.2.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, <u>www.sf-planning.org</u>

 Parking Maximum. Pursuant to Planning Code Section 151 or 151.1, the Project shall provide no more than eight (8) off-street parking spaces. For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863,

PROVISIONS

10. **Residential Child Care Impact Fee.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, <u>www.sf-planning.org</u>

MONITORING - AFTER ENTITLEMENT

www.sf-planning.org

11. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, <u>www.sf-planning.org</u>

12. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, <u>www.sf-planning.org</u>

OPERATION

13. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards. *For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works,*

415-695-2017, http://sfdpw.org

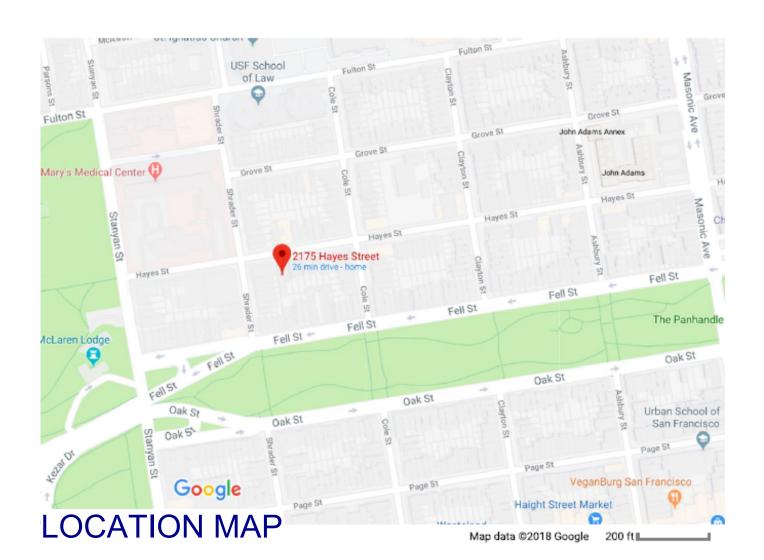
EXHIBIT B

Project Plans for 2175 Hayes

SAN FRANCISCO PLANNING DEPARTMENT 2175 Hayes Street Record No. 2018-009157CUA

PLANNING NOTES

- 1 NEW CONSTRUCTION PENDING DEMO
- 28.175' x 137.5' (3,874 st) LOT (**APN 1212/022**) 2 RH-3 ZONING DISTRICT
- 3 40x HEIGHT DISTRICT
- 4 EXISTING DENTAL OFFICE TO BE REPLACE WITH
- 5 UNIT RESIDENTIAL BUILDING: OVER PARKING:
- 3 UNITS PER ZONING, 1 UNIT PER LOT AREA (CU REQ), AND 1 UNIT PER CITY ADU REGULATIONS
- 100% 2 BEDROOM OR LARGER UNITS
- SEE BUILDING PROGRAM FOR MORE INFO
- **5 3 PARKING** SPACES PROPOSED (1 ADA VAN SPACE)
- 6 5 CLASS | BIKE SPACES
- REQUIRED IF COMMON. TOTAL COMMON AREA TO BE





2175 HAYES STREET

SAN FRANCISCO, CALIFORNIA, 94117

PROJECT TEAM

PARTICIPANT

OWNER

Tom McGrath 1700 Diamond St San Francisco, CA 94131 [415] 290-5284

EE WEISS ARCHITECTS 21 CORTE MADERA AVE MILL VALLEY, CA 94941 [415] 381-8788 FAX [415] 381-8700 TEL

GEOTECHNICAL Earth Mechanics Consulting 360 Grand Ave, Suite 262

SURVEYOR

1390 Market St., #201

SCOPE OF WORK

1 NEW TYPE III-A, SPRINKLERED, FOUR STORY BUILDING WITH LOWER LEVEL

- 2 R-2 OCCUPANCY: FIVE RESIDENTIAL APARTMENTS OVER COMMON PARKING
- 3 NO STAIR TO ROOF FOR FIRE DEPARTMENT ACCESS; 4:12 PITCHEDROOF
- 4 TWO EGRESS STAIRS: TOWNHOUSE UNITS WITH LOWEST LEVEL ON THE SECOND TO HAVE (TWO) STAIRS CONNECTED BY TWO-HOUR CORRIDOR.
- 5 ADA REQUIREMENT: GROUND FLOOR TO BE ACCESSIBLE. NON-ELEVATOR BUILDING

General Notes

- 1. Codes: The design and construction of all site alterations shall comply with the 2016 California **CODE, including** Building Code, Plumbing Code, Electrical Code, Mechanical Code, Fire Code, and Title 24 Energy Efficiency Standards, **including Local Amendments** 2. Two-Hour separation assemblies between all Units, Units and Garage, and Elevator Shafts. 90

4. All pe	netration	s in fire a	assemblie	s to comp		perty lines he Fire Ra				Fire caulk
			eal compl red for: Si		Fire Co	ntrols, Tru	sses Side	ewalk & F)riveway	· Utility
	s, Tree, E			Junicio,	1 110 00		5505, 0100		nveway	, ounty
			er NFPA	13 and C	BC 903.	1.1				
					20 000.					
loor	Occup.	Rating	Unit/Area	Area		SFSD	Occup.	Sprinkler	Deck	
	Group	(Hr's)		Sq Ft		Sq Ft	Load	•	Sq Ft	Notes
							200		-	
ower	U	2	Storage	650			3.3			
	R-2	1	Unit 1	683						
			Total Lwr	1333				YES		
irst	R-2	1	Unit 1	816						Occupancy per use
	U	2	Garage	730						
	R-2	2	Common	798						
			Total FL 1	2344				YES		
Second	R-2	2	Common	232						2-hour FR between units
		1	Unit 2	576		345.6	2.9			
		1	Unit 3	541		324.6	2.7			
		1	Unit 4	552		331.2	2.8			
		1	Unit 5	515		309	2.6			
			Total FL 2	2416			11	YES		
Third	R-2	1	Unit 2	597		358	3.0			2-hour FR between units
		1	Unit 3	597		358	3.0			
		1	Unit 4	578		347	2.9			
		1	Unit 5	578		347	2.9			
			Total FL 3	2350			12	YES		
ourth	R-2	1	Unit 2	597		358	3.0			
		1	Unit 3	597		358	3.0			
		1	Unit 4	578		347	2.9			
		1	Unit 5	578		347	2.9			
			Total FL 4	2350			12	YES		
			Garage	730						
			Common	1030						
		Tot	al R-2 Sq Ft	8,615		4,130	Total SFSD			
		Building	Total Sq Ft	10,793						
Unit Data						Open Spac				
Unit	Size SF	Bed + Bth	Bike Prk	Parking	Stories	Required		Deck	Total	
1	1,499	4 + 3.0	1	1	2	133	1440	0	1440	
2	1,770	4 + 3.5	1	1	3	133	1440	0	1440	
3	1,735	4 + 3.5	1	1	3	133	1440	0	1440	
4	1,708	4 + 3.5	1	0	3	133	1440	0	1440	
5	1,671	4 + 3.5	1	0	3				5	
-	-,-,-		-	-	~	_				

7 OPEN SPACE : 100 sf REQUIRED PER UNIT IF PRIVATE, 133

DIVIDED EQUALLY BETWEEN THE NUMBER OF UNITS SHARING THE AREA. SEE BUILDING PROGRAM FOLLOWING

ARCHITECT

GENERAL CONTRACTOR

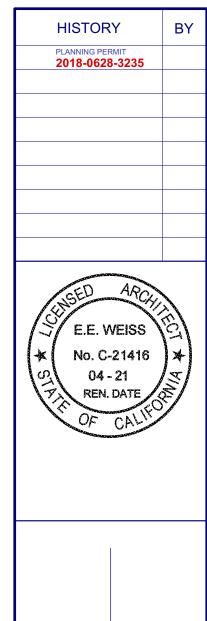
STRUCTURAL

Oakland, CA 94610 510-839-0765 earthmech1@aol.com

> Transamerican Engineers San Francisco, CA 94102 415.553.4092 bpierce@transamericanengineers.com

DEMOLITION OF EXISTING COMMERCIAL BUILDING UNDER PERMIT # 2018.0411.6049

E.E. WEISS Architects, Inc. 21 Corte Madera Ave. Mill Valley, CA 94941 admin@eeweiss.com Tel 415.381.8700



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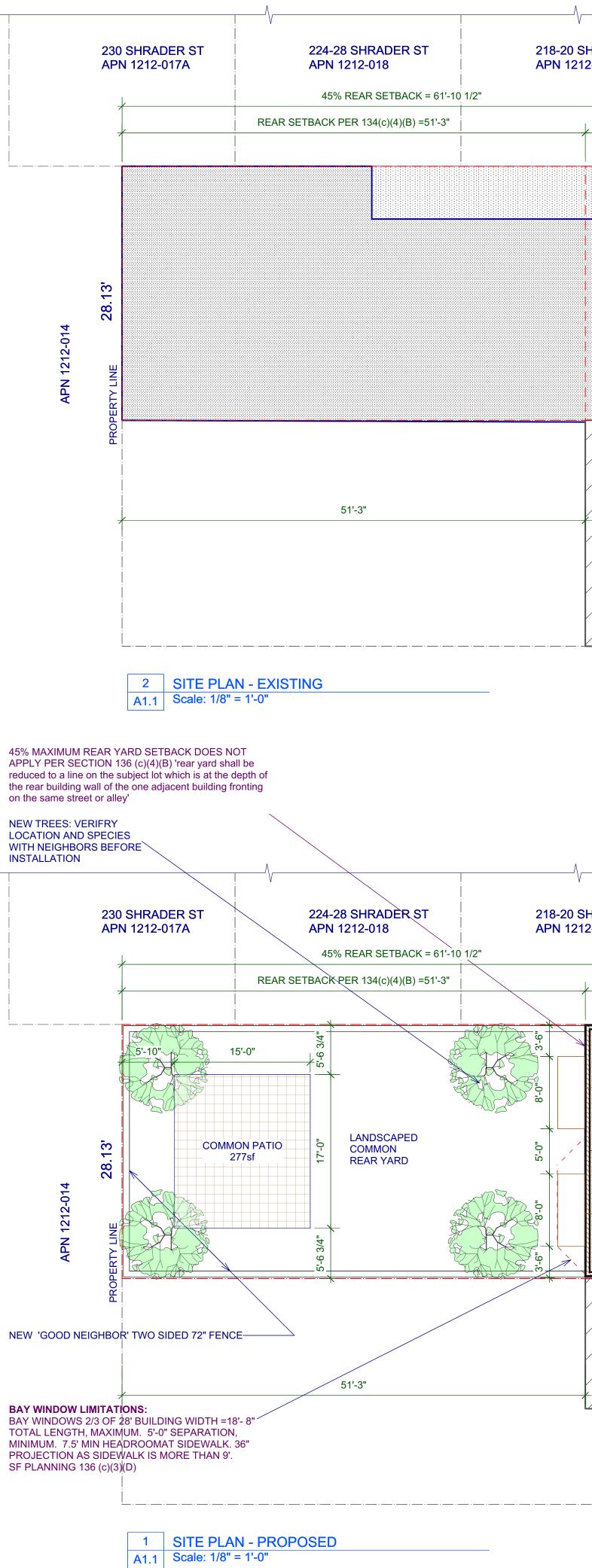
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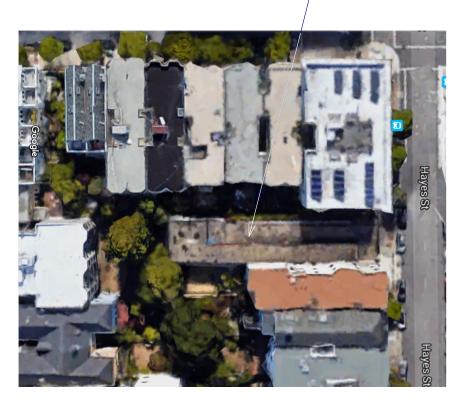
INDEX

A0.0	TITLE
A1.1	PLAN: SITE, EXISTING & PROPOSED
A2.0	PLAN: LOWER & FIRST FLOOR - EXISTING
A2.1	PLAN: LOWER & FIRST FLOOR - PROPOSED
A2.2	PLAN: SECOND & THIRD FLOOR - PROPOSED
A2.3	PLAN: FLOURTH FLOOR & ROOF - PROPOSED
A3.0	ELEVATIONS: EXISTING
A3.1	ELEVATIONS: FRONT & REAR - PROPOSED
A3.2	ELEVATIONS: SIDE - PROPOSED
A4.1	SECTION - PROPOSED
A5.0	DETAILS: GENERIC ADA DETAIL
A6.0	FIRE FLOW, GREEN, AB FORMS

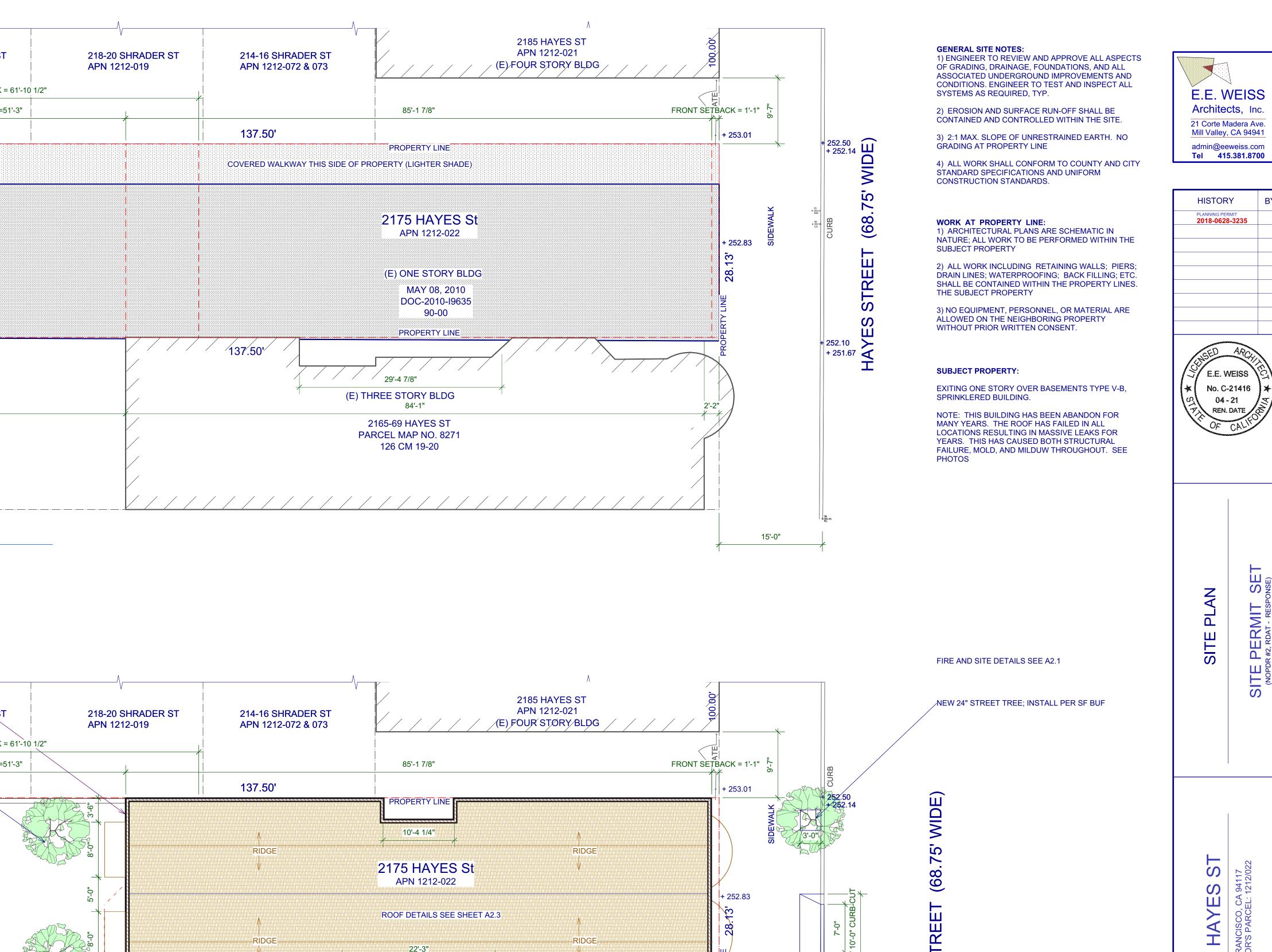
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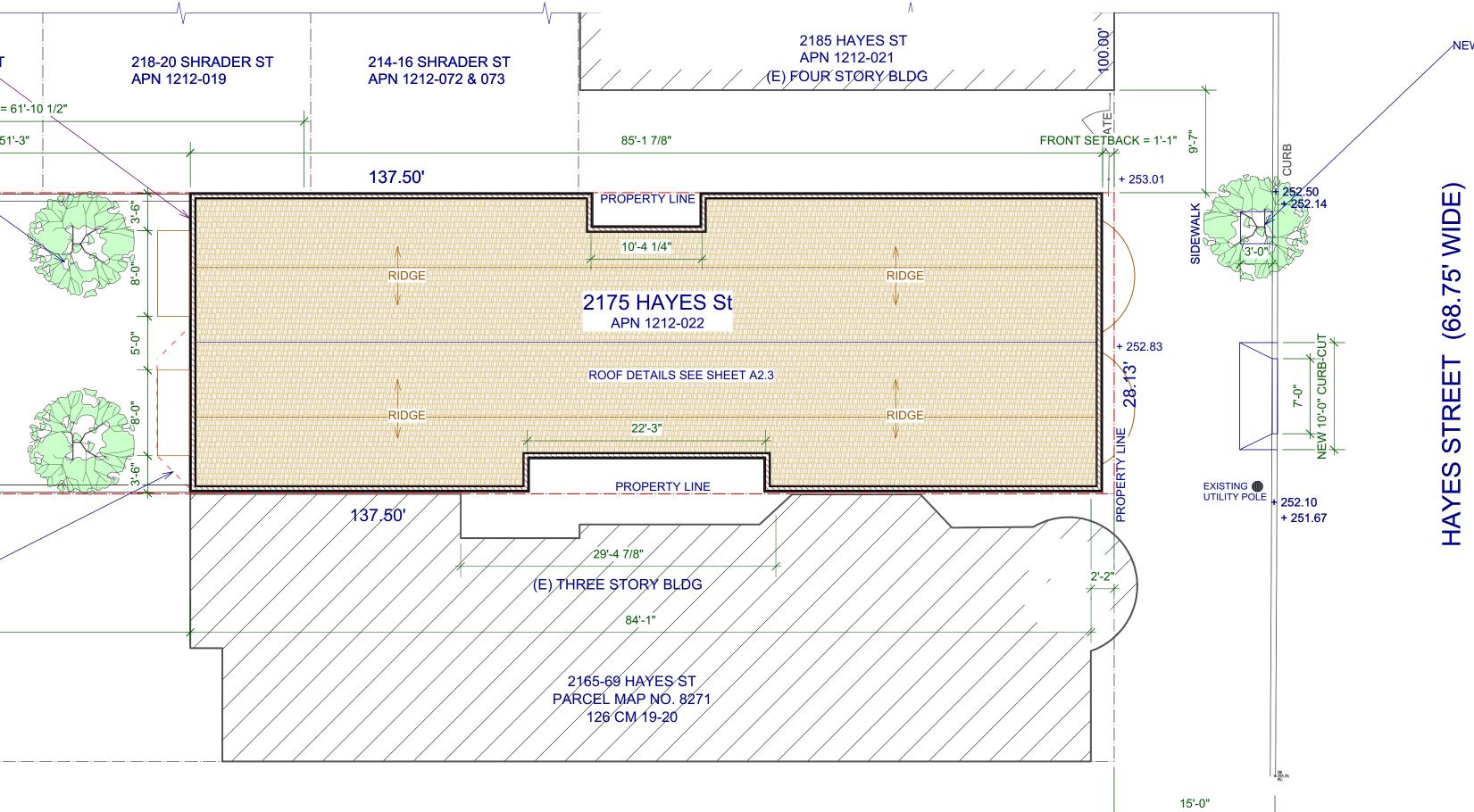


SUBJECT PROPERTY



3GOOGLE EARTH PHOTOA1.1Scale: 1/8" = 1'-0"





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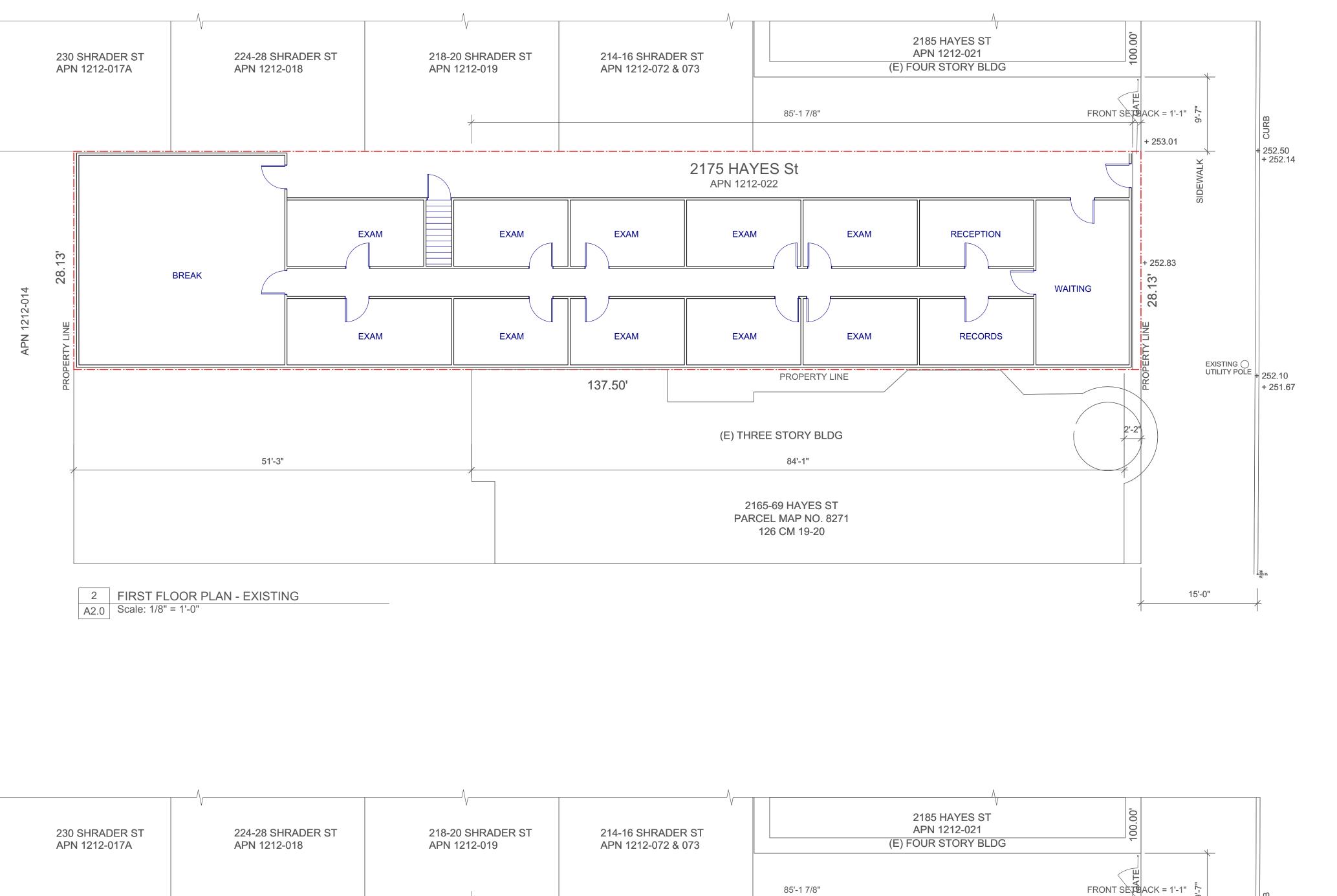
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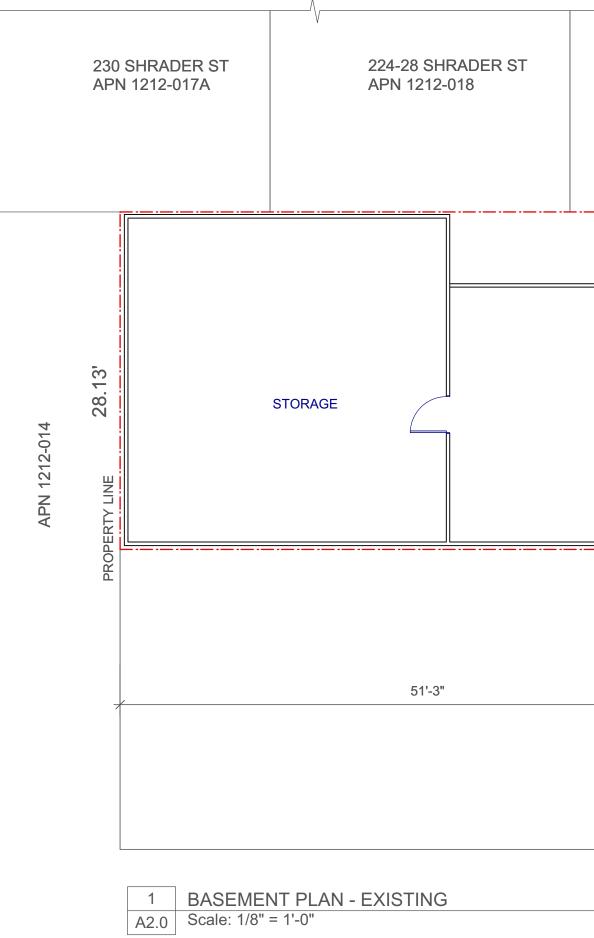
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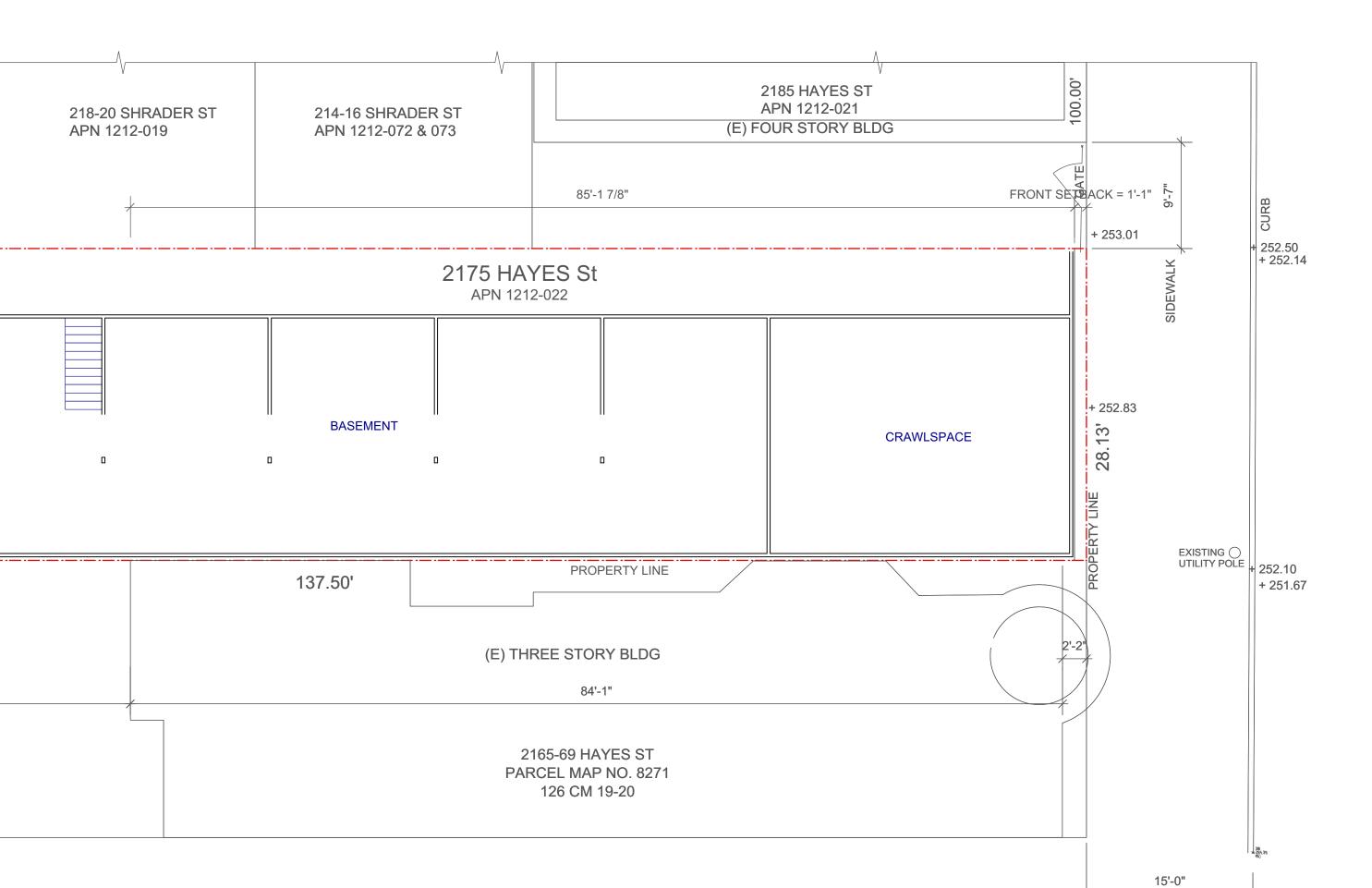
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BY









WIDE) (68.75' STREET HAYES

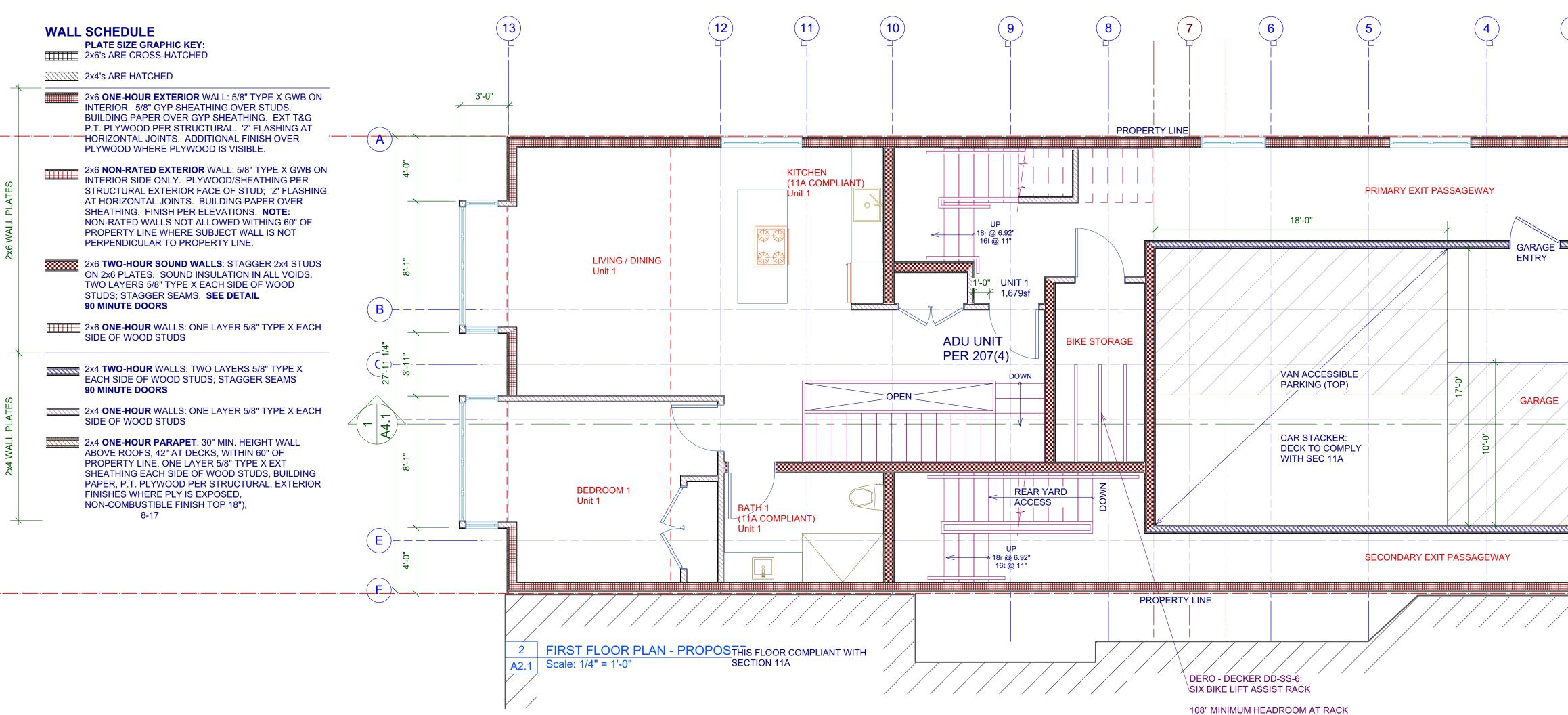
WIDE)

(68.75'

STREET

HAYES





A3.1

STAIR NOTES

IF STAIR LAYOUT DOES NOT CONFORM TO THE FOLLOWING, OR VARIES SIGNIFICANTLY FROM DRAWINGS, CONTACT THE ARCHITECT BEFORE INSTALLATION.

- 7" RISER AND 11" TREAD (7.75" MAXIMUM RISER AND 10" MINIMAL TREAD AT PRIVATE STAIRS) MAXIMUM.

- NOSING TO BE NOT LESS THAN 3/4" BUT NO MORE THAN 1 1/2" WHERE TREAD DEPTH IS LESS THAN 11" - RISER TO PREVENT PASSAGE OF A 4" SPHERE - THE HIGHEST RISER SHALL NOT BE MORE THAT 3/8"

MORE THAN THE LOWEST RISER. THE GREATEST TREAD DEPTH SHALL NOT BE GREATER THAN 3/8" THAN THE SHALLOWEST TREAD - 5/8" TYPE 'X' GWB AT WALLS AND SOFFITS OF

ENCLOSED USABLE SPACE UNDER STAIRS. DRAFT STOP BLOCKS AT STUDS BEHIND STRINGER WHERE GWB IS NOT CONTINUOUS.

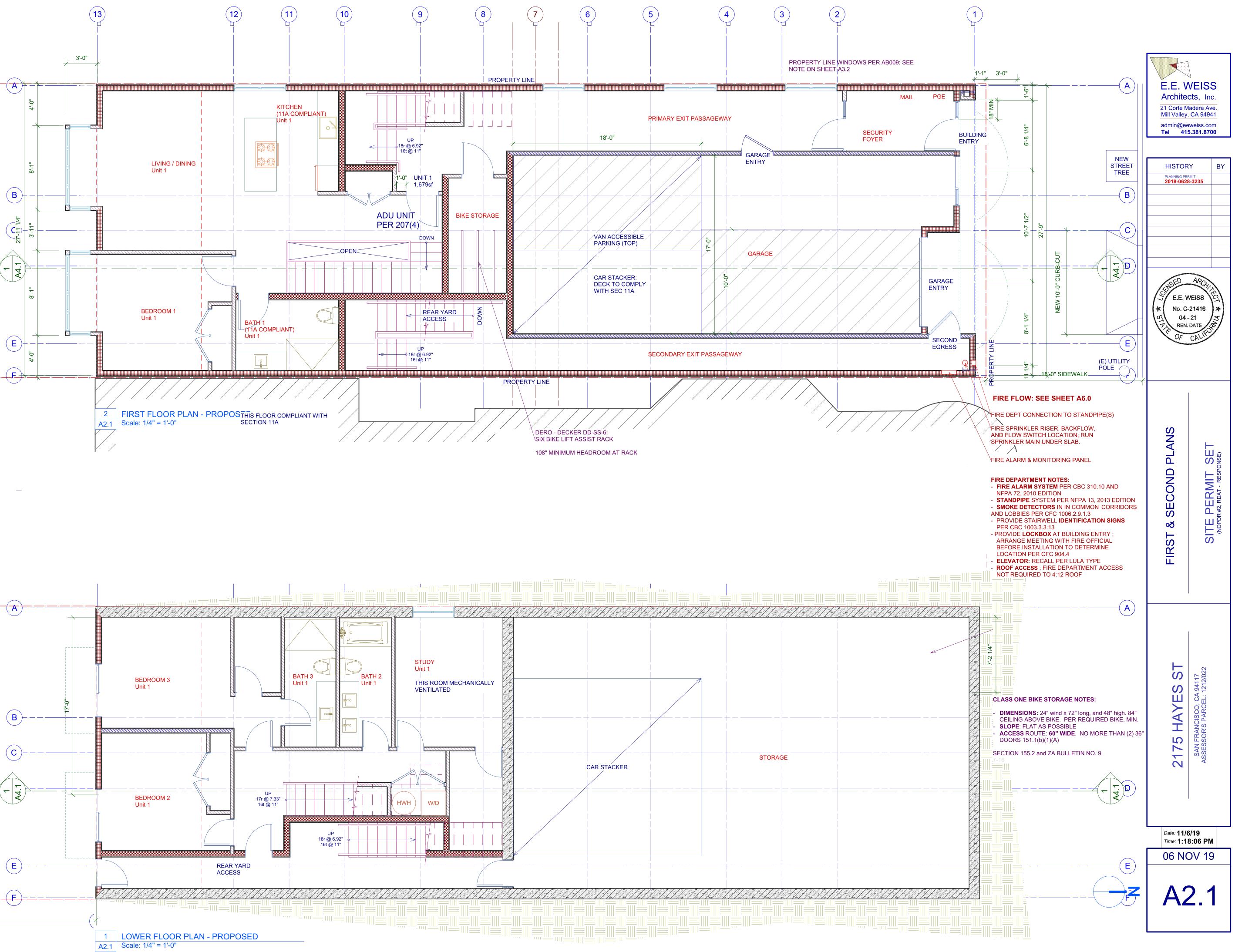
- WOOD STAIRS TO BE 1 1/8" PLYWOOD SCREWED 3" ON CENTER AND GLUED AT ALL JOINTS WITH UNDERLAYMENT ADHESIVE AT INTERIOR; SEE EXTERIOR STAIR NOTES FOR ADDITIONAL NOTES

GUARD AND HAND RAIL NOTES:

HANDRAILS TO BE 36" ABOVE NOSING, BRACKETS INTO FRAMING OR BLOCKING; EXTEND 6" TOP & BOTTOM. 1 1/2" DIAMETER CROSS-SECTION. RAIL TO WITHSTAND 200 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ON RAIL, TYPICAL

GUARDS TO BE 42" ABOVE FINISH AND SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP, AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING

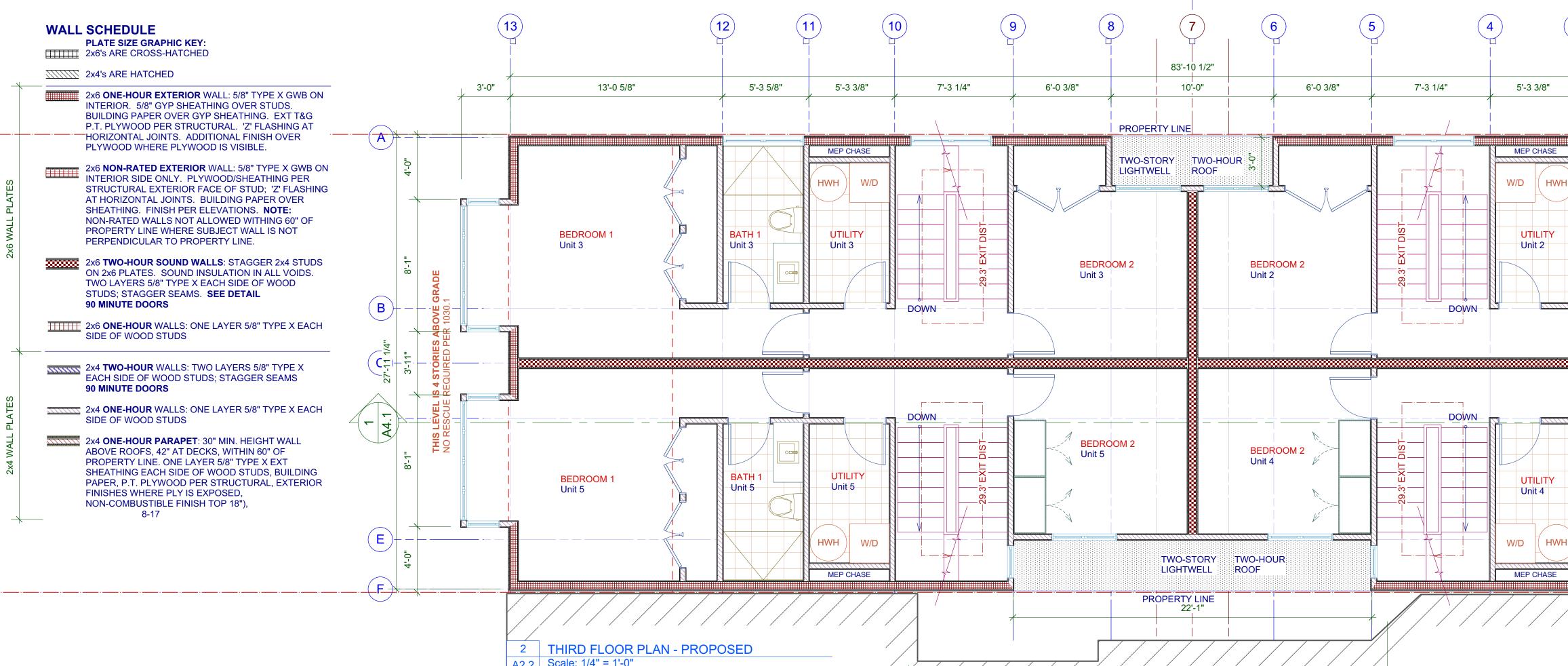
INTERMEDIATE RAILS (ALL THOSE EXCEPT THE HANDRAIL), BALUSTERS AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FOOT, INCLUDING OPENINGS AND SPACE BETWEEN RAILS 6-



52'-4" REAR YARD

TRASH & RECYCLING

MECHANICAL



A3.1

STAIR NOTES

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THAN THE SHALLOWEST TREAD - 5/8" TYPE 'X' GWB AT WALLS AND SOFFITS OF ENCLOSED USABLE SPACE UNDER STAIRS. DRAFT STOP BLOCKS AT STUDS BEHIND STRINGER WHERE GWB IS NOT CONTINUOUS.

- WOOD STAIRS TO BE 1 1/8" PLYWOOD SCREWED 3" ON CENTER AND GLUED AT ALL JOINTS WITH UNDERLAYMENT ADHESIVE AT INTERIOR; SEE EXTERIOR STAIR NOTES FOR ADDITIONAL NOTES

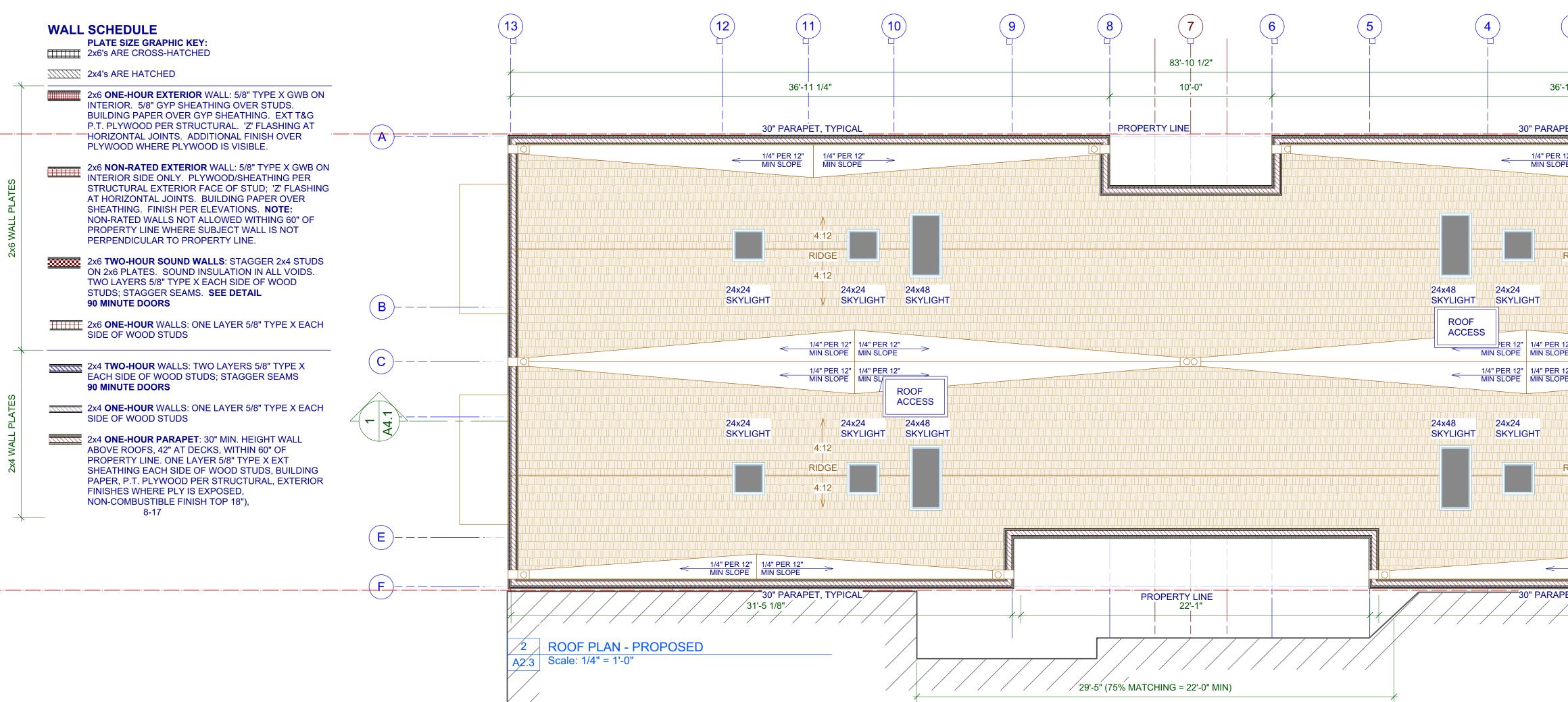
GUARD AND HAND RAIL NOTES:

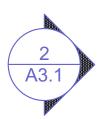
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INTERMEDIATE RAILS (ALL THOSE EXCEPT THE HANDRAIL), BALUSTERS AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FOOT, **INCLUDING OPENINGS AND SPACE BETWEEN RAILS 6-1**







STAIR NOTES

IF STAIR LAYOUT DOES NOT CONFORM TO THE FOLLOWING, OR VARIES SIGNIFICANTLY FROM DRAWINGS, CONTACT THE ARCHITECT BEFORE INSTALLATION.

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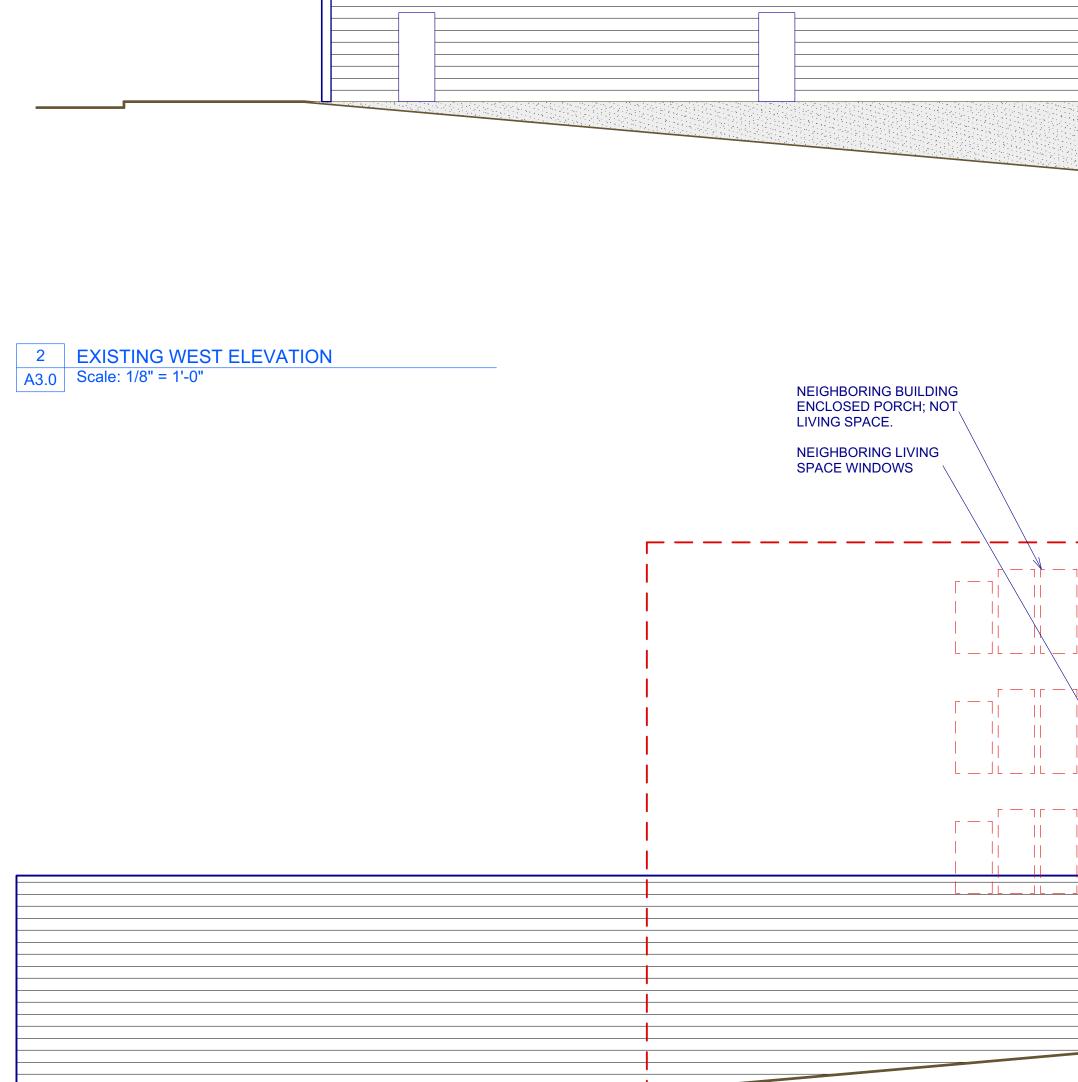
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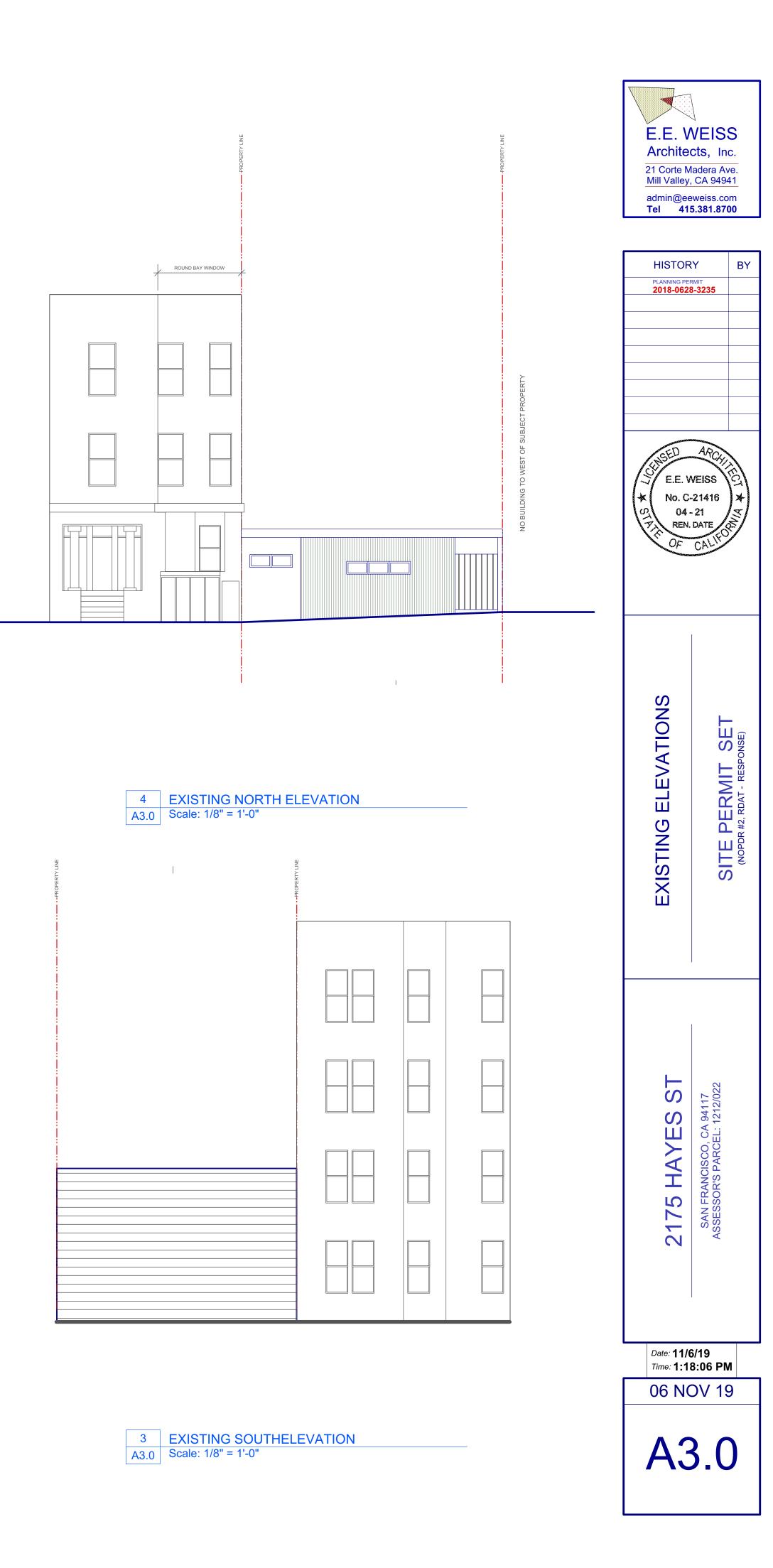
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2PROPOSED SOUTH (REAR) ELEVATIONA3.1Scale: 1/4" = 1'-0"



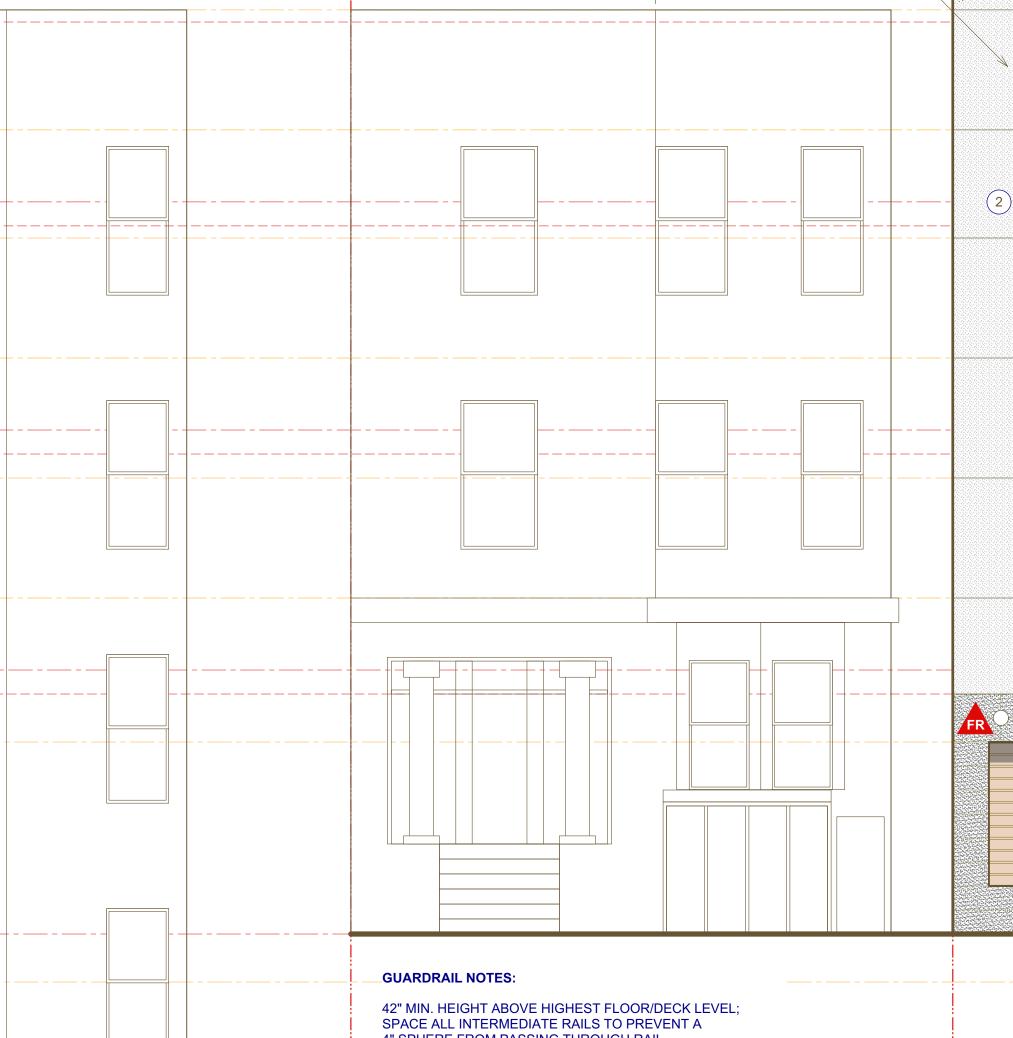


- (1) WALLS: 12" WIDE PLANK SIDING, PAINTED
- 2 WALLS: STUCCO
- (3) 6" T&G NATURAL WOOD
- (4) GLAVANIZED FLASHING; PAINTED
- (5) WINDOWS AND DOORS; BRONZE ALUMINUM
- (6) AWNING
- (7) NOT USED
- (8) SOLID OVERHANG
- (9) THIN SET STONE TILE
- (10) PT PLYWOOD BLIND WALL

HIGH PROFILE WINDOW SECTION SEE 3/A3.2

EXTERIOR FENESTRATION AND FINISHES TO MEET U-FACTOR IN TITLE -24 ENERGY REPORT, TYPICAL





4" SPHERE FROM PASSING THROUGH RAIL.

GUARDRAIL TO BE REDWOOD OR CEDAR REFER TO STRUCT DWGS/CALCS. 2x2 HORIZONTAL RAILS WITH 4x4 POSTS

SEE ADDITIONAL NOTES SHEET A0.1

CONCRETE PLASTER (STUCCO) NOTES:

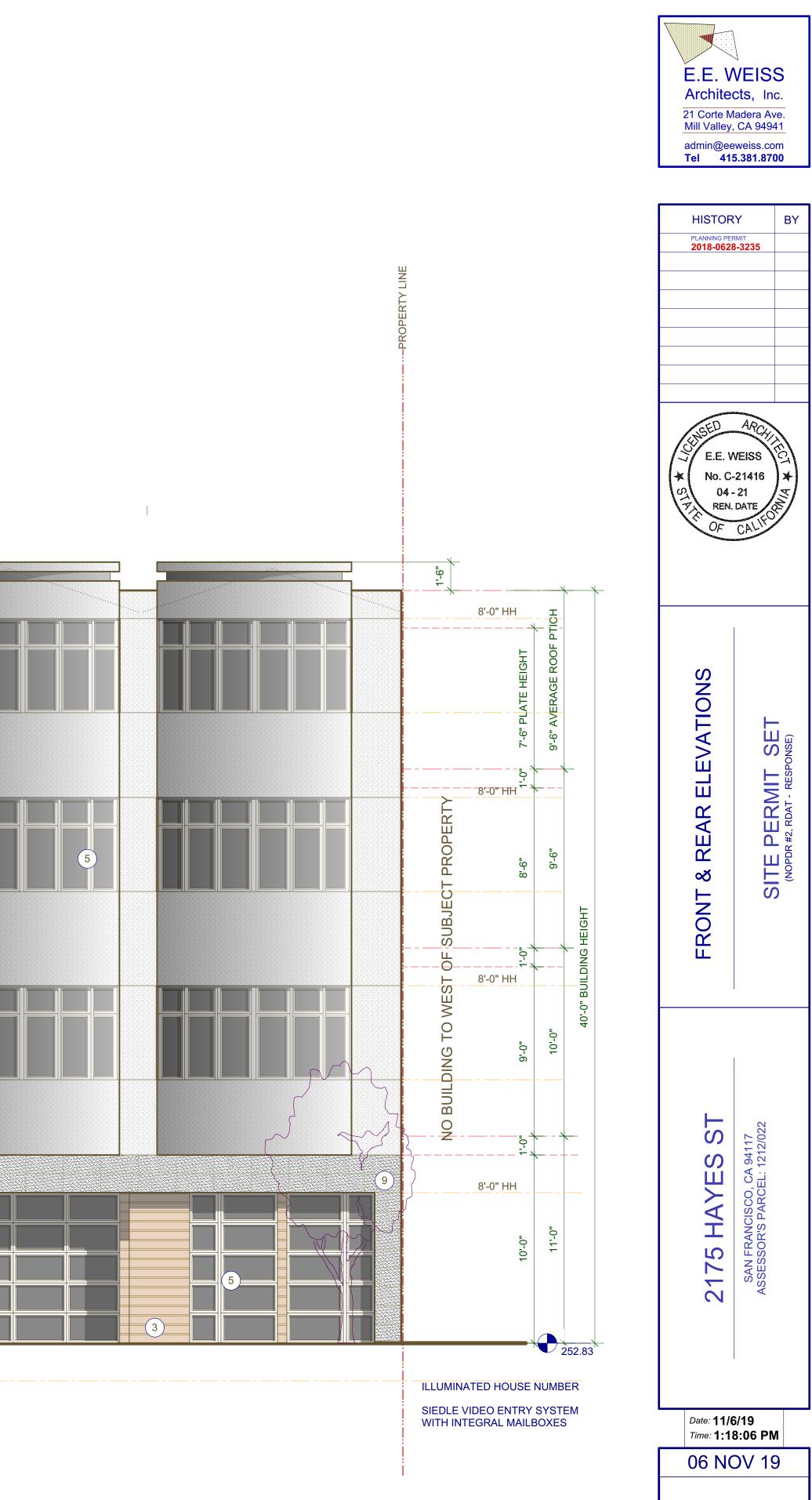
1 SCRATCH, BROWN, AND TOP COAT ON WIRE FABRIC LATH OVER TWO LAYERS CLASS 'D' (MIN.) BUILDING PAPER.

2 PROVIDE 26ga MIN. WEEP SCREED AT ALL EDGES TERMINATING AT THE FOUNDATION' 'J' MOULDINGS AT ALL EDGES

3 FLASH ALL WINDOW AND DOOR OPENINGS WITH 'ICE & WATER SHIELD' BY WR GRACE Co.

OR APPROVED EQUAL. 4 WEEP SCREED AT BOTTOM, HORIZONTAL EDGES 5 DEEP SCORE IN SCRATCH COAT WHERE INDICATED



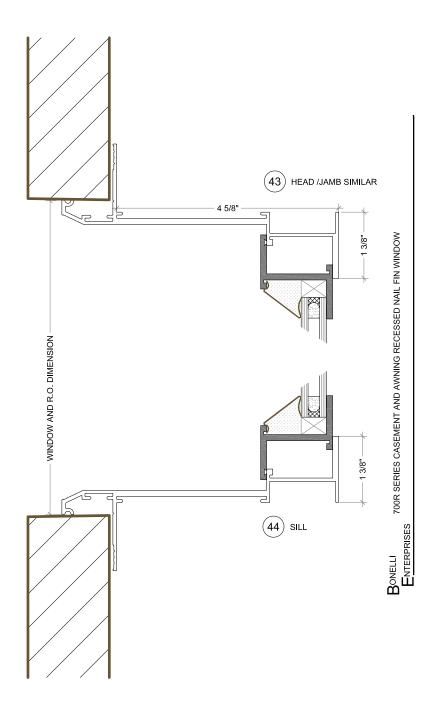


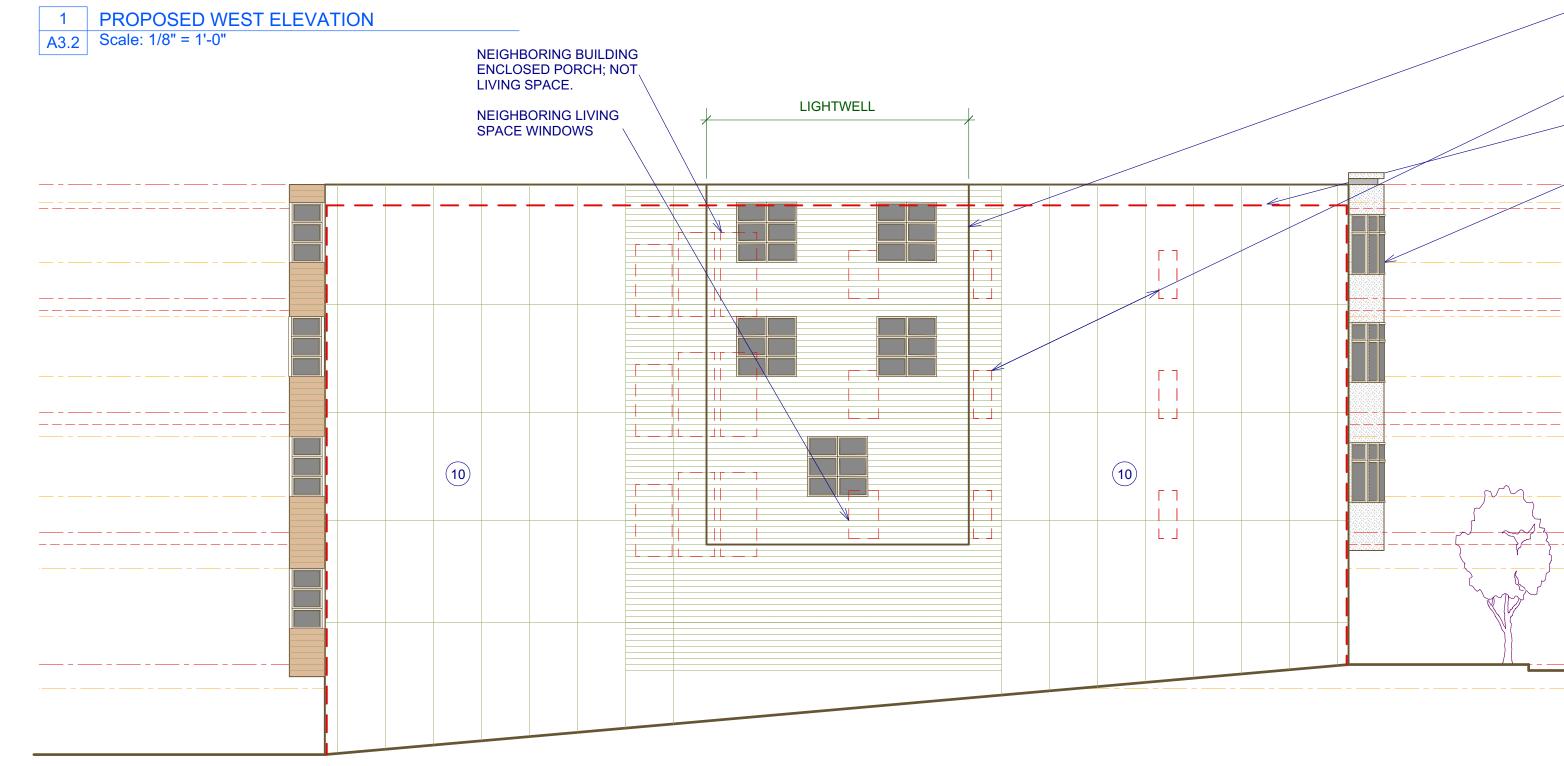
RED 10" TRIANGLE WITH 3" WHITE 'FR' FIRE BELL WITH FD REQUIRED SIGN

A3.1

1 PROPOSED NORTH (STREET) ELEVATION







3HIGH PROFILE WINDOW SECTIONA3.2NO SCALE

1PROPOSED EAST ELEVATIONA3.2Scale: 1/8" = 1'-0"

FINISH SCHEDULE:

- (1) WALLS: 12" WIDE PLANK SIDING, PAINTED
- (2) WALLS: STUCCO
- (3) 6" T&G NATURAL WOOD
- (4) GLAVANIZED FLASHING; PAINTED
- (5) WINDOWS AND DOORS; BRONZE ALUMINUM
- (6) METAL SUNSHADE
- (7) NOT USED
- (8) SOLID OVERHANG
- (9) THIN SET STONE TILE
- (10) PT PLYWOOD BLIND WALL

EXTERIOR FENESTRATION AND FINISHES TO MEET U-FACTOR IN TITLE -24 ENERGY REPORT, TYPICAL

1 HR. CONSTRUCTION WITHIN 60" OF PROPERTY LINE AND UNDER ALL BAY WINDOWS.

PROPERTY LINE WALL NOTES 1 ALL WALLS WITHIN 60" OF PROPERTY LINE TO BE ONE-HOUR; CONTINUOUS 5/8" GWB BOTH SIDE OF WALLS. FIRE TAPE WHERE TONGUE AND GROVE NOT USED. 2 DECAY RESISTANT FINISHES; REDWOOD, CEDAR PRESSURE TREATED PLYWOOD, TYP. ACCESSIBLE SIDES MAY HAVE AN ADDITIONAL LAYER OF SIDING. 3 'Z' BAR FLASHING AT ALL HORIZONTAL NON-LAPPED SEAMS.

4 EXPOSED WALLS TO BE FINISHED; METAL OR CEMENTIOUS SIDING OR STUCCO WITH MAINTENANCE FREE FINISH

SUBJECT PROPERTY WINDOWS TO HAVE OBSCURE GLAZING FOR PRIVACY

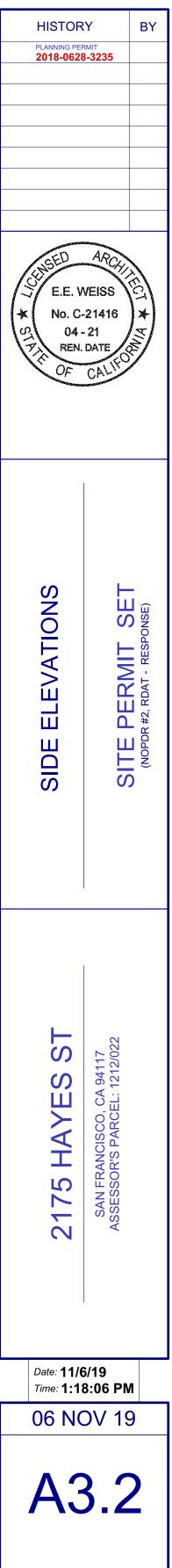
THESE WINDOWS SET ON 45 DEGREE ANGLE TO PROPERTY LINE

NEIGHBORING BUILDING SHOWN DASHED -BAY WINDOW

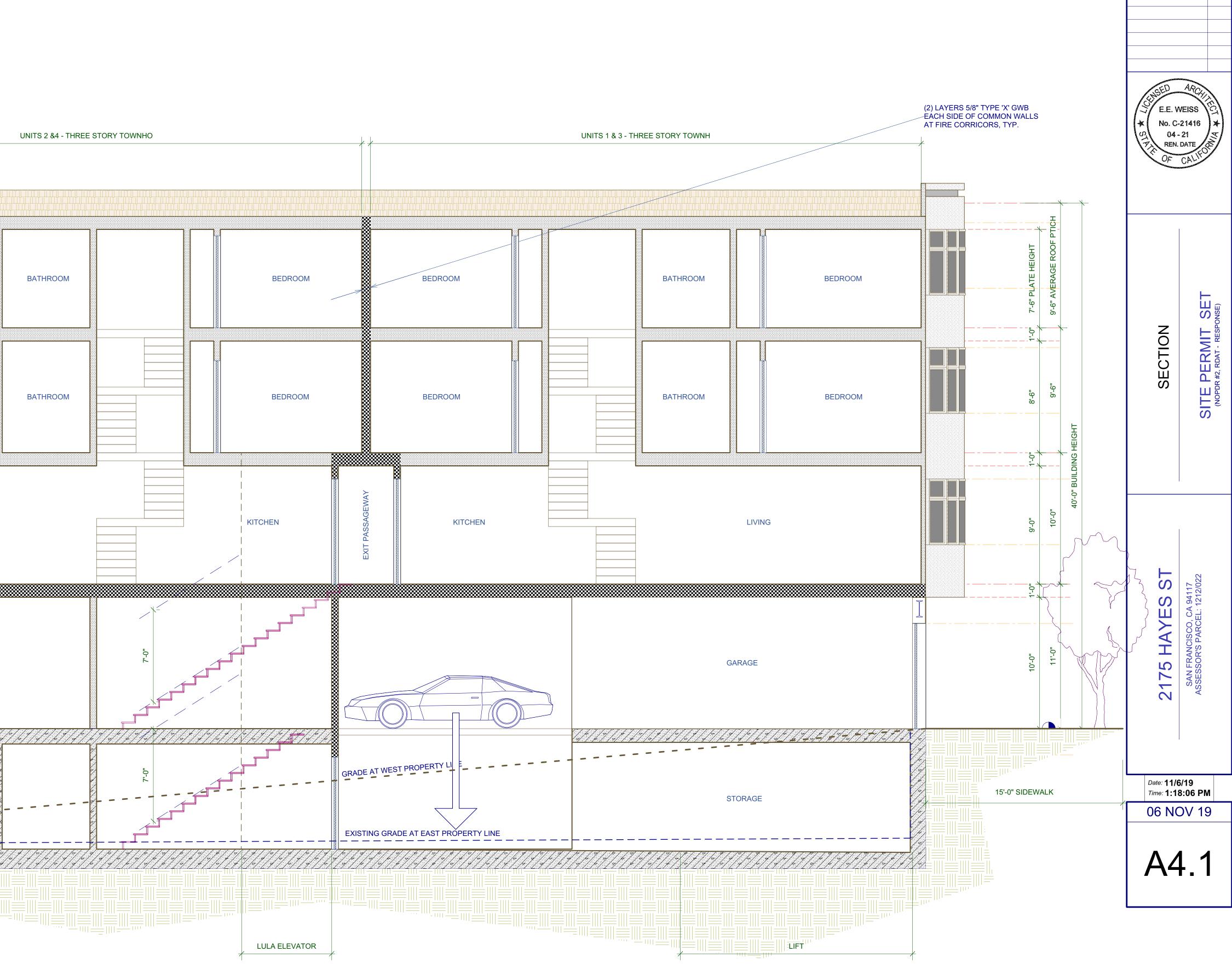
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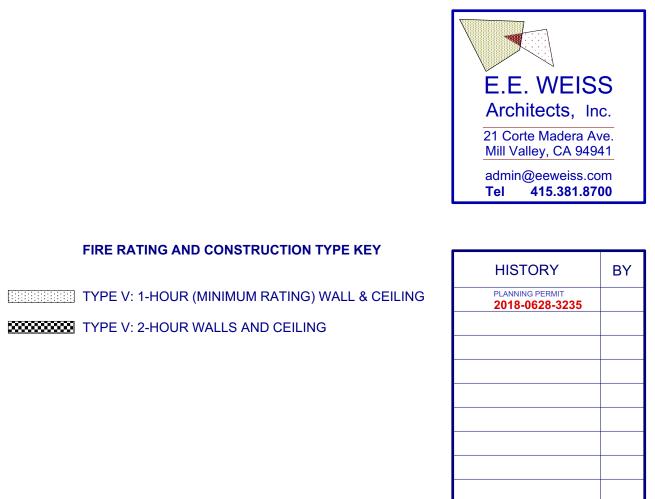


Ţ E.E. WEISS Architects, Inc. 21 Corte Madera Ave. Mill Valley, CA 94941 admin@eeweiss.com Tel 415.381.8700



BEDROOM
BEDROOM
LIVING
LIVING
BEDROOM





TYPE V: 2-HOUR WALLS AND CEILING



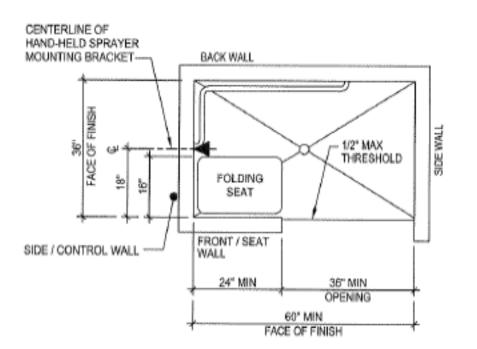
COUNTERTOPS: 34" ABOVE FINISHED FLOOR. MINIMUM 30" FOR BOTH SINK AND WORK SURFACE OR COMBINED FOR MINIMUM OF 60" SEC 1133A.4

REMOVABLE SINK BASE: SINK CABINET AND BASE SHALL BE REMOVABLE WITHOUT SPECIAL TOOLS OR KNOWLEDGE. FINISH FLOOR TO WALL UNDER CABINET SO WHEN REMOVED ALL SURFACES ARE FINISHED. SEC 1133A.3

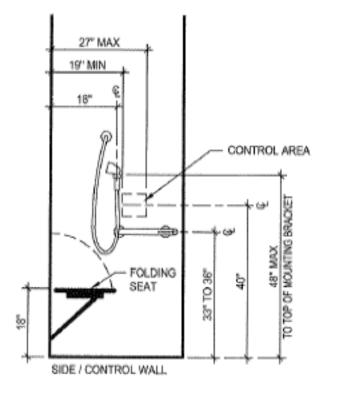
KNEE & TOE SPACE: UNDER REMOVABLE CABINET, 30" WIDE, 27" HIGH (AFF), CENTERED ON SINK, MIN. 11" DEEP AT 9" ABOVE FINISH FLOOR, AND 8" DEEP AT 27" AFF. KEEP AREA BELOW CABINET CLEAR OF PROJECTIONS AND SHARP OBJECTS. WRAP EXPOSED PIPE, TYPICAL SEC1133A.7

KITCHEN SINK CONTROLS: ONE-HANDED OPERATION OF ALL CONTROLS WITH A FORCE LESS THAN 5 lbs; OPERATIONS FREE OF TIGHT GRASPING, PINCHING, TWISTING, ETC. SEC 1133A.6

5 KITCHEN DIMENSIONS A5.2



(a) 60° MININUM X 36" ALTERNATE ROLL-IN SHOWER

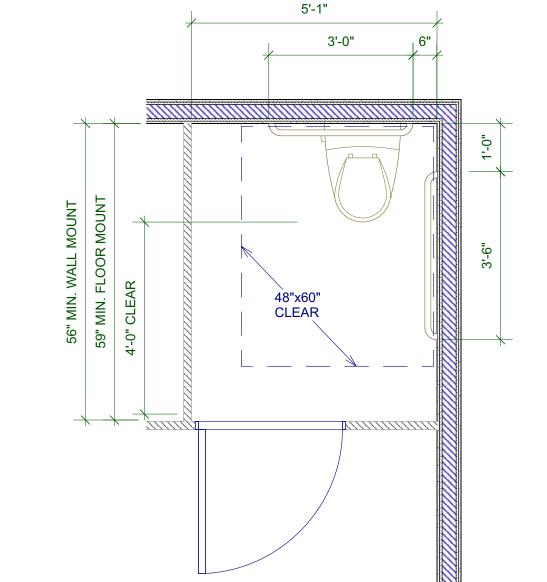


(b) ELEVATION - 60" MINIMUM X 36" ALTERNATE ROLL-IN SHOWER

FIGURE 11B-2B—SHOWER STALLS—continued

3

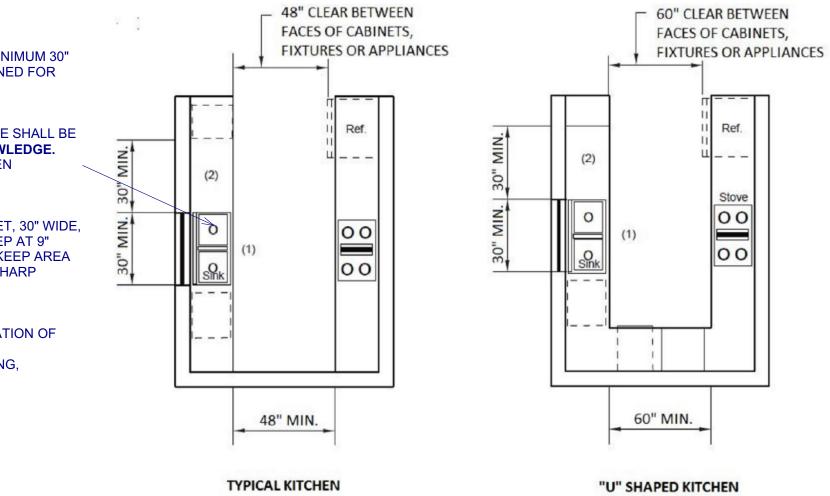
A5.2



PLAN VIEW

ADA SHOWER MINIMUM DIMENSIONS

2 ADA RESTROOM MINIMUM DIMENSIONS A5.2 Scale: 1/2" = 1'-0"



ACCESSIBLE BATHROOM NOTES:

BATHROOM CONTROLS: ALL FAUCET CONTROLS AND OPERATION MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LB FORCE. LEVER OPERATED, PUSH TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS.

BATHTUB REINFORCED WALLS FOR GRAB BARS. GRAB BAR REINFORCEMENT SHALL BE INSTALLED ON THE BACK WALL OF THE BATHTUB A MAXIMUM OF 6 INCHES ABOVE THE BATHTUB RIM EXTENDING UPWARD TO AT LEAST 38 INCHES ABOVE THE FLOOR. GRAB BAR BACKING SHALL BE INSTALLED HORIZONTALLY TO PERMIT THE INSTALLATION OF A 48-INCH GRAB BAR WITH EACH END A MAXIMUM OF 6 INCHES FROM THE END WALLS OF THE BATHTUB. THE GRAB BAR REINFORCEMENT SHALL BE A MINIMUM OF 6 INCHES NOMINAL IN HEIGHT.

SHOWERS STALLS: THE SHOWER STALL SHALL MEASURE AT LEAST 42" WIDE BY 48" DEEP WITH AN ENTRANCE OPENING OF AT LEAST 36" WIDE

SLOPE: THE MAXIMUM SLOPE OF THE SHOWER FLOOR SHALL BE 1/2 INCH PER FOOT IN ANY DIRECTION AND SHALL SLOPE TO A DRAIN. THE FLOOR SURFACES SHALL BE OF GRIT-FACED TILE OR OF MATERIAL PROVIDING

EQUIVALENT SLIP RESISTANCE. FLOOR SPACE: A CLEAR MANEUVERING SPACE AT LEAST 30" WIDTH BY 48" LENGTH SHALL BE LOCATED OUTSIDE THE SHOWER, FLUSH AND PARALLEL TO THE CONTROL WALL.

REINFORCED WALLS: GRAB BAR REINFORCEMENT SHALL BE INSTALLED CONTINUOUS IN THE WALLS OF SHOWERS

32" TO 38" ABOVE THE FLOOR. THE REINFORCEMENT SHALL BE A MINIMUM OF 6 INCHES NOMINAL IN HEIGHT. GLASS-WALLED SHOWER STALLS SHALL PROVIDE REINFORCEMENT FOR INSTALLATION OF

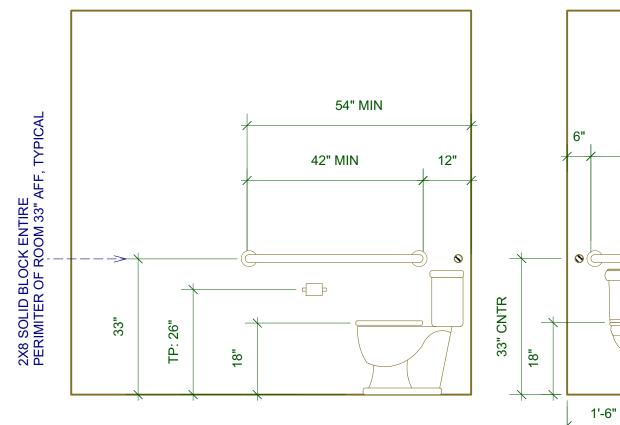
FLOOR-MOUNTED OR CEILING-MOUNTED GRAB BARS. THRESHOLDS: WHEN A THRESHOLD IS USED, IT SHALL BE A MAXIMUM OF 2" IN HEIGHT AND HAVE A BEVELED OR SLOPED ANGLE NOT EXCEEDING 1 UNIT VERTICAL IN 2 UNITS HORIZONTAL (26.6 DEGREES FROM THE HORIZONTAL).

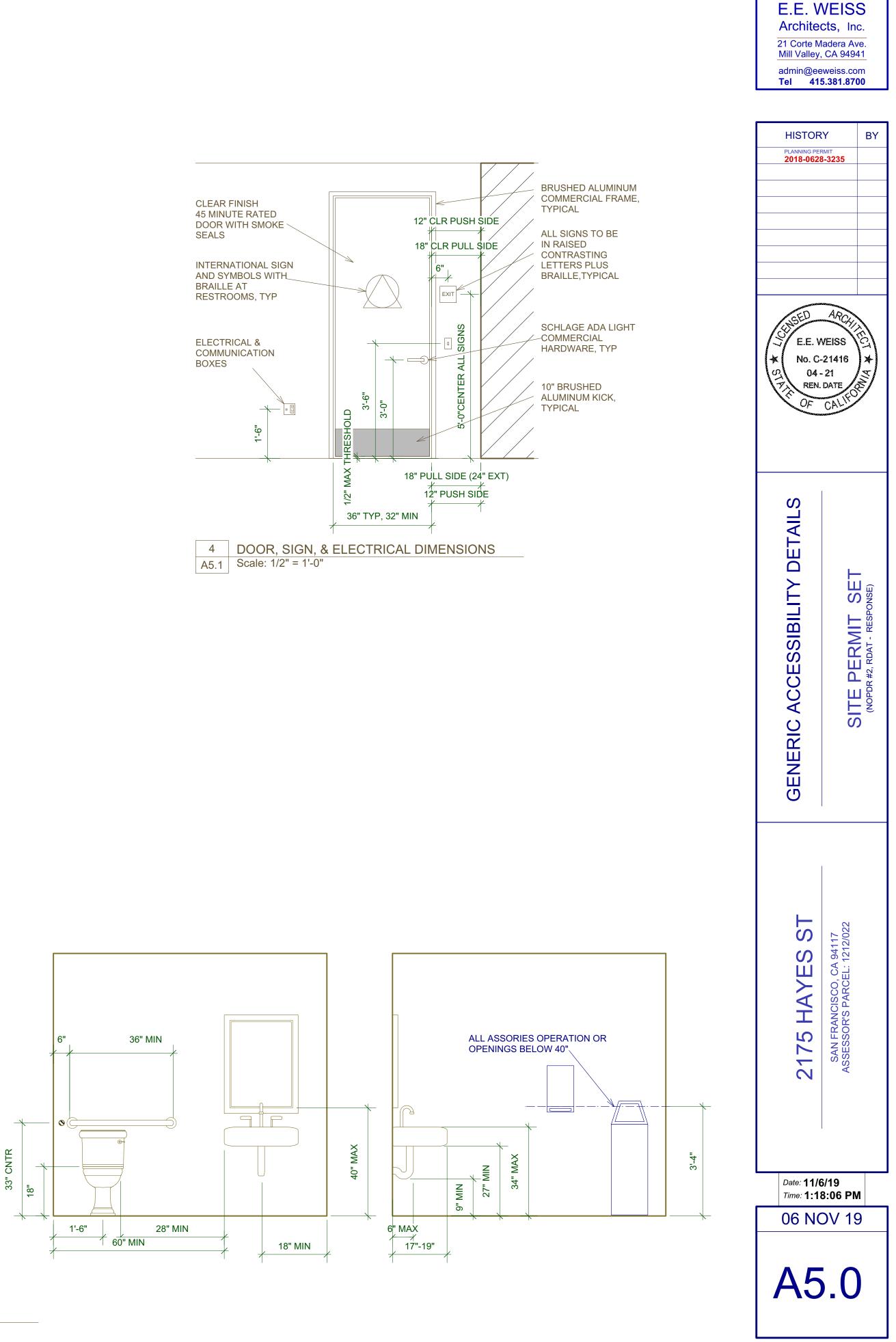
THRESHOLDS 1/2 INCH OR LESS IN HEIGHT MAY HAVE A BEVELED OR SLOPED ANGLE NOT EXCEEDING 1 UNIT

VERTICAL IN 1 UNIT HORIZONTAL (45 DEGREES FROM THE HORIZONTAL).

SEC 1134A

ELEVATION ADA REQUIRED DIMENSIONS: CHECK FIXTURE LAYOUT ON PLANS





ELEVATION VIEW



1 ADA RESTROOM MINIMUM DIMENSIONS A5.2 Scale: 1/2" = 1'-0"

	BUREAU OF FIRE PREVENTION PLAN CHECK DIVISION/WATER FLOW		BASIC INFORMATION: These facts, plus the primary occupancy, o		which			A Table 1.	
	1660 MISSION STREET, 4TH FLOOR SAN FRANCISCO, CA. 94103		2175 HAYES		12/0)22	ddress 2175 HAYES		
	FAX # 415-575-6933 Email: WaterflowSFFD@sfgov.org		7815	mary Occupancy R2		NDO	esign Professional/Applicant: Sign & Date EE WEISS umber of occupied floors		
REQUEST F	OR WATER FLOW INFORMATION		4	40'			5		
ATE: <u>1 / 10 / 18</u>	REQUEST IS FOR: X FIRE FLOW		ALL PROJECTS, AS APPLIC	CABLE	┨┝			LEED PR	
	SPRINKLER DESIGN		Construction activity stormwater pollution prevention and site runoff controls - Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management	•		Type of Project Propose	(Indicate at right)	Commercial	Res Mic
ACT PERSON:Earle We E NO. (531/_52			Practices. Stormwater Control Plan: Projects disturbing ≥ 5,000 square feet must implement a Stormwater			Overall Requirements:			
L:earle@eeweiss.com			Control Plan meeting SFPUC Stormwater Design Guidelines	•		LEED certification level (i Base number of required per Adjustment for retention / d	points:	GOLD 60	SI
ER'S NAME:Tom McGrath	PHONE # (415) _ 290 / _ 5284		Water Efficient Irrigation - Projects that include ≥1,000 square feet of new or modified landscape must comply with the SFPUC Water Efficient Irriga Ordinance	ation	·│┣	features / building: Final number of required po (base number +/- adjustme	oints		
DDRESS FOR WATER FLOW IN	FORMATION: PROVIDE SKETCH HERE:		Construction Waste Management - Comply with the San Francisco Construction & Demolition Debris Ordinance	•	╷│┣	· · ·	(n/r indicates a measure is not required)	-	
2175 Hayes St	Schrader Cole		Recycling by Occupants - Provide adequate spa				agement - 75% Diversion AND comply tion & Demolition Debris Ordinance	•	
ROSS STREETS (BOTH ARE REG			and equal access for storage, collection and loadin compostable, recyclable and landfill materials. See Administrative Bulletin 088 for details.			15% Energy Reduction Compared to Title-24 2008 (o LEED EA 1, 3 points	or ASHRAE 90.1-2007)	•	
Schrader / Cole			GREENPOINT RATED PRO			Effective 1/1/2012:	hanced Energy Efficiency on-site ≥1% of total annual energy		
PECIFY STREET FOR POINT O			Proposing a GreenPoint Rated Project (Indicate at right by checking the box.)			cost (LEED EAc2), OR Demonstrate an additional 10 compared to Title 24 Part 6 20 Purchase Green-E certified re	0% energy use reduction (total of 25% 2008), OR enewable energy credits for 35% of	•	
	R2 JIVE/WORK COMMERCIAL OTHER		(Indicate at right by checking the box.) Base number of required Greenpoints:	75		total electricity use (LEED EA	Ac6).		
AZARD CLASSIFICATION: LI	GHT ORD 1 ORD 2 EXT 1 EXT 2 OTHER Field Flow Test required.		Adjustment for retention / demolition of historic features / building:		┥┝	LEED EA 3 Water Use - 30% Reduction		•	-
	Payment by check only, mada HEIGHT OF BLDG.: <u>40'</u> FT. payable to SFFD for		Final number of required points (base number +/- adjustment)		┛┝	Enhanced Refrigerant Ma		•	
 SUBMIT FORM WITH A \$120.1 	S 250.00		GreenPoint Rated (i.e. meets all prerequisites)	•	• -	Indoor Air Quality Manage	ement Plan LEED IEQ 3.1 .EED IEQ 4.1.4.2, 4.3, and 4.4	•	
REQUESTS REQUIRING A FIE ADDITIONAL FEE OF \$240.00	LD FLOW TEST WILL BE NOTIFIED BY FAX OR EMAIL, AND AN		Energy Efficiency: Demonstrate a 15% energy us reduction compared to 2008 California Energy Con Title 24, Part 6.		' I I	parking for 5% of total motoriz	short-term and long-term bicycle ized parking capacity each, or meet e Sec 155, whichever is greater, or	•	
 WATER FLOW INFORMATIO INCOMPLETE FORMS WILL PLEASE ALLOW 7-14 WORKI 	NOT BE PROCESSED.		Meet all California Green Building Standards Code requirements (CalGreen measures for residential projects have	heen	┨┠	meet LEED credit SSc4.2. (13 Designated parking: Mark	3C.5.106.4)		Se
	Official use only*********************************		(CalGreen measures for residential projects have integrated into the GreenPoint Rated system.)		┛┞	(13C.5.106.5) Water Meters: Provide subr	meters for spaces projected	•	
low data provided by:			Notes 1) New residential projects of 75' or greater must use the " dential High-Rise" column. New residential projects with >3		H	building over 50,000 sq ft. (13 Air Filtration: Provide at le	east MERV-8 filters in regularly	•	
ow data: FIELD FLOW TES			dential High-Rise" column. New residential projects with >3 floors and less than 7t feet to the highest occupied floor ma to apply the LEED for Homes Mid-Rise rating system; if so, use the "new Residential Mid-Rise" column.	y choose		credit IEQ 5). (13C.5.504.5 Air Filtration: Provide at lea	ast MERV-13 filters in residential	•	
RECORDS ANALY	SIS RESIDUALPSI FLOWGPM		2) LEED for Homes Mid-Rise projects must meet the "Silve including all prerequisites. The number of points required to Silver depends on unit size. See LEED for Homes Mid-Rise System to confirm the base number of points required.	achieve	;	buildings in air-quality hot-spo Code Article 38 and SF Buildi Acoustical Control: Wall an	ots (or LEED credit IEQ 5). (SF Health ling Code 1203.5)	n/r	
e Page 29/39	" MAIN on		 Requirements for additions or alterations apply to applicate received on or after July 1, 2012. 	ations		windows STC 30, party walls and flo		•	
TACHMENT A									
A CONTRACTOR OF A CONTRACTOR O	<u>DEPARTMENT OF BUILDING INSPECTION</u> City & County of San Francisco Mission Street, San Francisco, California 94103-2414	Proposed Modification	n or Alternate WINDOWS OPEN C METAL WINDOWS						
REQUEST FOR APPROV	City & County of San Francisco	Case-by-Case Basis of	WINDOWS OPEN C METAL WINDOWS	WITH DE	Dreser	Ented in meeting th	ER		
1660 REQUEST FOR APPROV OR ALTERNATE MATE DATE SUBMITTED <u>6-18-18</u>	City & County of San Francisco Mission Street, San Francisco, California 94103-2414 AL OF LOCAL EQUIVALENCY FOR MODIFICATION RIALS, DESIGN OR METHODS OF CONSTRUCTION [Note: This form shall be recorded as part of the permanent construction records of the property]	Case-by-Case Basis of the code and how the p filled for each request reference, test reports, approved consultant be	WINDOWS OPEN C METAL WINDOWS	iculties preets the i copies or rt this red	oreser inten of an eques	ented in meeting th nt of the code. A s ny Administrative st. The Departme	ER the specific conditions of separate form should be Bulletin, Code Ruling, ent may require that an		
1660 REQUEST FOR APPROV. OR ALTERNATE MATE DATE SUBMITTED <u>6-18-18</u> o permit application has been filed, ivalency or modification, per SFBC T y review agencies.	City & County of San Francisco Mission Street, San Francisco, California 94103-2414 AL OF LOCAL EQUIVALENCY FOR MODIFICATION RIALS, DESIGN OR METHODS OF CONSTRUCTION	Case-by-Case Basis of the code and how the p filled for each request reference, test reports	WINDOWS OPEN C METAL WINDOWS METAL WINDOWS Proposed modification or alternate m ed modification or alternate. Attach e, expert opinions, etc., which suppose e hired by the applicant to perform test eration. LOT CONFIGURAT AS THE WEST SIDE IS COMMON WITH	iculties p eets the i copies o rt this rea sts or ana ION ALLO E OF THE THE NEI	Dresen oresen of an eques ilysis <u>OWS</u> <u>E SU</u> IGHE	ented in meeting th nt of the code. A s ny Administrative st. The Departme s and to submit an S FOR WINDOWS JBJECT PROPER BOR'S REAR YAF	TY R R R R R R R R R R R R R R R R R R R		
1660 REQUEST FOR APPROVATION OR ALTERNATE MATE DATE SUBMITTED 6-18-18 Depermit application has been filed, twalency or modification, per SFBC To review agencies. permit application has been filed, not permit	City & County of San Francisco Mission Street, San Francisco, California 94103-2414 AL OF LOCAL EQUIVALENCY FOR MODIFICATION RIALS, DESIGN OR METHODS OF CONSTRUCTION [Note: This form shall be recorded as part of the permanent construction records of the property] a Preapplication Review Fee is required for review of a request for local able 1-B, #8. Additional fees may be required by Fire Department and other o additional fees are required for this review.	Case-by-Case Basis of the code and how the p filled for each request reference, test reports, approved consultant be	WINDOWS OPEN C METAL WINDOWS FRequest - Describe the practical diff proposed modification or alternate m ed modification or alternate. Attach , expert opinions, etc., which suppo e hired by the applicant to perform test eration. LOT CONFIGURAT AS THE WEST SIDE	iculties presented by the second seco	Dreser inten of an eques lysis <u>OWS</u> <u>E SU</u> IGHE	ented in meeting th not of the code. A s ny Administrative st. The Departme s and to submit an S FOR WINDOWS JBJECT PROPER BOR'S REAR YAF ON, BUT GIVEN L	TY R R R R R R R R R R R R R R R R R R R		
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1660 REQUEST FOR APPROVATE OR ALTERNATE MATE DATE SUBMITTED 6-18-18 O permit application has been filed, valency or modification, per SFBC T review agencies. permit application has been filed, not review agencies. permit Address: 2175 HAYES	City & County of San Francisco Mission Street, San Francisco, California 94103-2414 AL OF LOCAL EQUIVALENCY FOR MODIFICATION RIALS, DESIGN OR METHODS OF CONSTRUCTION [Note: This form shall be recorded as part of the permanent construction records of the property] a Preapplication Review Fee is required for review of a request for local able 1-B, #8. Additional fees may be required by Fire Department and other additional fees are required for this review.	Case-by-Case Basis of the code and how the p filled for each request reference, test reports, approved consultant be Department for consid	WINDOWS OPEN C METAL WINDOWS FRequest - Describe the practical diff proposed modification or alternate m ed modification or alternate. Attach , expert opinions, etc., which support e hired by the applicant to perform test eration. LOT CONFIGURAT AS THE WEST SIDE IS COMMON WITH CODE IS FOR FIRE CONFIGURATION,	iculties p eets the i copies o rt this rec sts or ana ON ALLO OF THE THE NEI THE NEI FIRE RIS	oreser inten of an ques dysis <u>E SU</u> IGHE CTIC	ented in meeting th at of the code. A s by Administrative st. The Departme s and to submit an S FOR WINDOWS JBJECT PROPER BOR'S REAR YAF ON, BUT GIVEN L S VERY LOW	TY RD; LOT		
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Instructions: As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Building Code Chapter 13C, California Title 24 Part 11, and related local codes. Attachment C3, C4, or C5 will be due with the applicable addendum. To use the form: (a) Provide basic information about the project in the box at left. This info determines which green building requirements apply.

(a) Provide basic information about the project in the box at left. This into determines which green building requirements apply.
 AND
 (b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but such tools are strongly recommended to be used.
 Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. This form is a summary; see San Francisco Building Code Chapter 13C for details.

ECTS							
					OTHER APPLICABLE NON-RESIDENTIA		CTS
New sidential d-Rise ¹	New Residential High-Rise ¹	Commercial Interior	Commercial Alteration	Residential Alteration	Requirements below only apply when the measure is applicable to the project. Code references below are applicable to New Non-Residential buildings. Corresponding requirements for additions and alterations can be found in Title 24 Part 11. Division 5.7. Requirements for additions or alterations apply to applications received July 1, 2012 or after ³	Other New Non- Residential	Addition >2,000 sq OR Alteration >500,000
					Type of Project Proposed (Check box if applicable)		
					Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008	•	n/r
ILVER 2	SILVER	GOLD	GOLD	GOLD	California Energy Code, Title 24, Part 6 (13C.5.201.1.1) Bicycle Parking: Provide short-term and long term bicycle parking for 5% of total	•	
	50	60	60	60	motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater (or LEED credit SSc4.2). (13C.5.106.4)	•	•
		n/a 50			Fuel efficient vehicle and carpool parking: Provide stall marking for low-emitting, fuel efficient, and carpool/van pool vehicles; approximately 8% of total spaces. (13C, 5, 106, 5)	•	•
		50			Water Meters: Provide submeters for spaces projected to consume >1,000 gal/day, or >100 gal/day if in buildings over 50,000 sq ft	٠	•
•	•	•	Meet C&D ordinance only	•	Indoor Water Efficiency: Reduce overall use of potable water within the building by 20% for showerheads, lavatories, kitchen faucets, wash fountains, water closets, and urinals. (13C.5.504.3)		
•	•	•	LE prerequi		Commissioning: For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements. (13C.5.410.2) OR for buildings less than 10,000 sq ft, testing and adjusting of systems is required.	•	● (Testing & Balancing
					Protect duct openings and mechanical equipment during construction (13C.5.504.3)	•	•
					Adhesives, sealants and caulks: Comply with VOC limits in SCAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives. (J3C 5 504 4 1)	•	•
n/r	n/r	n/r	n/r	n/r	Paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. (13C.5.504.4.3)	•	•
n/r	Me	et LEED prerequisi	ites et LEED prerequisi	tes	Carpet: All carpet must meet one of the following: 1. Carpet and Rug Institute Green Label Plus Program 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350) 3. NSF/ANSI 140 at the Gold level 4. Scientific Certifications Systems Sustainable Choice AND Carpet cushion must meet CRI Green Label,	•	•
n/r	n/r	n/r	n/r	n/r	AND Carpet adhesive must not exceed 50 g/L VOC content. (13C.5.504.4.4)		
n/r	n/r	n/r	n/r	n/r	Composite wood: Meet CARB Air Toxics Control Measure for Composite Wood (13C.5.504.4.5)	•	•
n/r	•	•	•	•	Resilient flooring systems: For 50% of floor area receiving resilient flooring, install resilient flooring complying with the VOC-emission limits defined in the 2009 Collaborative for High Performance Schools (CHPS) criteria or certified under the Resilient Floor Covering Institute (RFCI) FloorScore program. (13C.5.504.4.6)	•	•
		•	n/r	n/r	Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows. (13C.5.504.7)	•	•
		•	n/r	n/r	Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings. (13C.5.504.5.3)	•	Limited except See CA T24 Pa Section 5.71
n/r	n/r	n/r	n/r	n/r	Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceiling STC 40. (13C.5.507.4)	•	• See CA T2 11 Section 5.7
2/5	- 1-		/-	1	CFCs and Halons: Do not install equipment that contains CFCs or Halons. (13C.5.508.1)	•	•
n/r	n/r	•	n/r	n/r		,000 - 25,000 Sq	uare Feet
•	•	n/r	n/r	n/r	Construction Waste Management: Divert 75% of construction and demolition debris (i.e. 10% more than required by the San Francisco Construction & Demolition Debris Ordinance)	•	Meet C&E ordinance o
See CB	3C 1207	•	n/r	n/r	Renewable Energy or Enhanced Energy Efficiency Effective January 1, 2012: Generate renewable energy on-site equal to ≥1% of total annual energy cost (LEED EAc2), OR demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24	•	n/r
e	n/r n/r e San Fran Code n/r n/r	n/r n/r n/r n/r n/r o/r e San Francisco Planning Code 155 n/r n/r n/r n/r	n/r n/r n/r n/r n/r n/r n/r n/r n/r n/r n/r n/r e San Francisco Planning Code 155 • • n/r n/r n/r n/r n/r n/r n/r n/r n/r	n/r n/r n/r n/r n/r n/r n/r n/r n/r n/r n/r n/r n/r • • • e San Francisco Planning Code 155 • n/r n/r n/r n/r	n/rn/rn/rn/rn/rn/rn/rn/rn/rn/rn/rn/rn/rn/rn/rn/r••••e San Francisco Planning Code 155•n/r•n/rn/rn/rn/r•n/rn/r	Index Data procession AND Carpet cushion must meet CRI Green Label, n/r n/r n/r n/r n/r n/r • • • • n/r • n/r n/r n/r n/r n/r n/r n/r n/r	Image: construction procession AND Carpet cushion musime to CRI Green Label. AND Carpet cushion Carpet Carpet Label. Carpet cushion Carpet Carpet Label. Carpet cushion Carpet Carpet Label. Carpet cushion Carpet Carpet Label. Carpet cushion Carpet Label. Carpet Cushion Carpet Label. Carpet Cushion Carpet Carpet Label. Carpet Cushion Carpet Label. Carpet Cushion Carpet Carpet Label. Carpet Cushion Carpet Carpet Label. Carpet Cushion C

Ţ E.E. WEISS Architects, Inc. 21 Corte Madera Ave. Mill Valley, CA 94941 admin@eeweiss.com Tel 415.381.8700 HISTORY BY PLANNING PERMIT
2018-0628-3235 AD. E.E. WEISS No. C-21416 04 - 21 REN. DATE ЫN -GRE \vdash PRE PERMIT R#2, RDAT - RESPO ОV, SITE FIRE ST 175 HAYES 121 SAN FRANCISCO, CA SSESSOR'S PARCEL: Ň



9/01/2005

AB-009

2001 SAN FRANCISCO BUILDING CODE

Disapprove

PLAN REVIEWER COMMENTS:

RECOMMENDATIONS: [signed off/dated by:]

Plan Reviewer:

Division Manager:

for Director of Bldg. Inspection

for Fire Marshal:

CONDITIONS OF APPROVAL or OTHER COMMENTS

Approve

Approve with conditions

Page 6



PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)		
2175 HAYES ST		1212022		
Case No.		Permit No.		
2018-009157PRJ		201806283235		
Addition/ Alteration	Demolition (requires HRE for Category B Building)	New Construction		
Project description for	Planning Department approval.			

Demolition of an existing one-story dental office and construction of a new four story, four unit residential building with an Accessory Dwelling Unit at the ground floor.

STEP 1: EXEMPTION CLASS

 project has been determined to be categorically exempt under the California Environmental Quality CEQA).
Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
 Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. FOR ENVIRONMENTAL PLANNING USE ONLY
Class

EXHIBIT C

STEP 2: CEQA IMPACTS TO BE COMPLETED BY PROJECT PLANNER

	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (<i>refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone</i>)		
	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential?		
	if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).		
	Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?		
	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? If yes, archeo review is required (<i>refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area</i>)		
	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (<i>refer to EP_ArcMap > CEQA Catex Determination Layers > Topography</i>). If yes, Environmental Planning must issue the exemption.		
	Slope = or > 25%: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (<i>refer to EP_ArcMap > CEQA Catex Determination Layers > Topography</i>) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.		
	Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.		
	Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required and Environmental Planning must issue the exemption.		
Com	ments and Planner Signature (optional): Laura Lynch		
Mahe	er enrollment 5/14/2019		

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE

TO BE COMPLETED BY PROJECT PLANNER

PROP	PROPERTY IS ONE OF THE FOLLOWING: (refer to Property Information Map)		
	Category A: Known Historical Resource. GO TO STEP 5.		
	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.		
	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.		

STEP 4: PROPOSED WORK CHECKLIST

TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.			
	1. Change of use and new construction. Tenant improvements not included.		
	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.		
	3. Window replacement that meets the Department's Window Replacement Standards. Does not include storefront window alterations.		
	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.		
	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.		
	 Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way. 		
	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .		
	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.		
Note:	Note: Project Planner must check box below before proceeding.		
	Project is not listed. GO TO STEP 5.		
	Project does not conform to the scopes of work. GO TO STEP 5.		
	Project involves four or more work descriptions. GO TO STEP 5.		
	Project involves less than four work descriptions. GO TO STEP 6.		

STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW

TO BE COMPLETED BY PROJECT PLANNER

Chec	k all that apply to the project.
	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
	2. Interior alterations to publicly accessible spaces.
	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

	7. Addition(s), including mechanical equipment that are minimally visible from a public right-of-way and meet the Secretary of the Interior's Standards for Rehabilitation.		
	8. Other work consistent with the Secretary of the Interior Standards for the Treatment of Historic <i>Properties</i> (specify or add comments):		
	9. Other work that would not materially impair a historic district (specify or add comments):		
	(Requires approval by Senior Preservation Planner/Preservation Coordinator)		
	10. Reclassification of property status . (<i>Requires approval by Senior Preservation Planner/Preservation</i>		
	Reclassify to Category A Reclassify to Category C		
	a. Per HRER or PTR dated (attach HRER or PTR)		
	b. Other (<i>specify</i>): Reclassification of property status to Category C under Case No. 2012.0001E on 9/5/12 by Michael Smith.		
	Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.		
	Project can proceed with categorical exemption review . The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.		
Comments (optional):			
Preser	Preservation Planner Signature:		
	STEP 6: CATEGORICAL EXEMPTION DETERMINATION TO BE COMPLETED BY PROJECT PLANNER		

No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.		
Project Approval Action:	Signature:	
Building Permit	Sylvia Jimenez	
If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	11/04/2019	
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.		

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than fror	Block/Lot(s) (If different than front page)	
2175 HAYES ST		1212/022
Case No.	Previous Building Permit No.	New Building Permit No.
2018-009157PRJ	201806283235	
Plans Dated	revious Approval Action New Approval Action	
	Building Permit	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Result in expansion of the building envelope, as defined in the Pl	
	anning Code;
Result in the change of use that would require public notice under Sections 311 or 312;	r Planning Code
Result in demolition as defined under Planning Code Section 317	7 or 19005(f)?
Is any information being presented that was not known and could at the time of the original determination, that shows the originally no longer qualify for the exemption?	

If at least one of the above boxes is checked, further environmental review is required.

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

	The proposed modification would not result in any of the above changes.		
approva website with Ch	this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project pproval and no additional environmental review is required. This determination shall be posted on the Planning Department rebsite and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance rith Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 ays of posting of this determination.		
Planner Name:		Date:	



SAN FRANCISCO PLANNING DEPARTMENT

Land Use Information

PROJECT ADDRESS: 2175 HAYES STREET RECORD NO.: 2018-009157CUA 1650 Mission St. Suite 400 San Francisco, CA 94103-2479

EXHIBIT D

Reception: 415.558.6378

Fax: 415.558.6409

Planning Information: **415.558.6377**

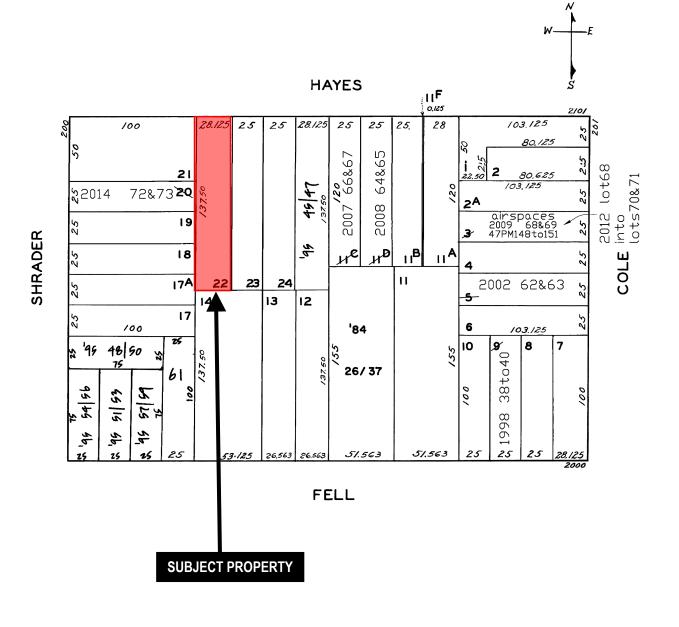
	EXISTING	PROPOSED	NET NEW
	GROSS SQUARE FO	DOTAGE (GSF)	
Parking GSF	0	730	730
Residential GSF	-	10,063	10,063
Retail/Commercial GSF	3,260	0	0
Office GSF	-	-	-
Industrial/PDR GSF Production, Distribution, & Repair	-	-	-
Medical GSF	-	-	-
Visitor GSF	-	-	-
CIE GSF	-	-	-
Usable Open Space	-	-	-
Public Open Space	-	-	-
TOTAL GSF	3,260	10,793	10,793
	EXISTING	NET NEW	TOTALS
	PROJECT FEATURES (Units or Amounts)	
Dwelling Units - Affordable	0		
Dwelling Units - Market Rate	0	5	5
Dwelling Units - Total	0	5	5
Hotel Rooms	-	-	-
Number of Buildings	1	0	1
Number of Stories	1	3	4
Parking Spaces	0	4	4
Loading Spaces	0	0	0
Bicycle Spaces	0	5	5
Car Share Spaces	-	-	-

EXHIBIT E

Maps and Context Photos for 2175 Hayes

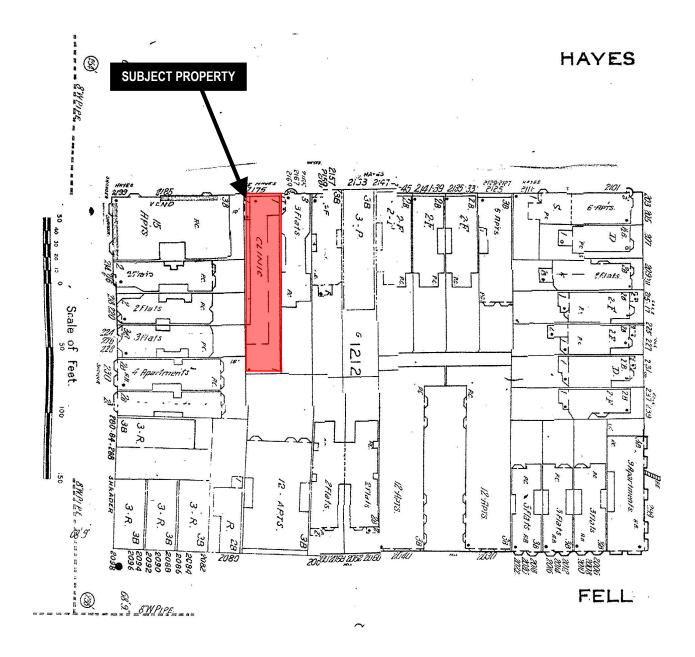
SAN FRANCISCO PLANNING DEPARTMENT 2175 Hayes Street Record No. 2018-009157CUA

Block Book Map



R

Sanborn Map*



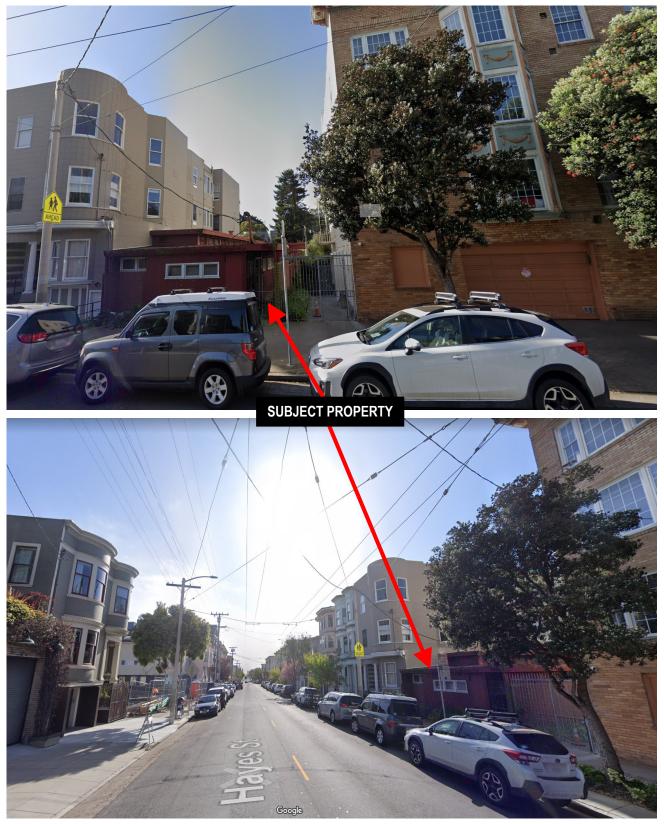
*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

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Site Photo

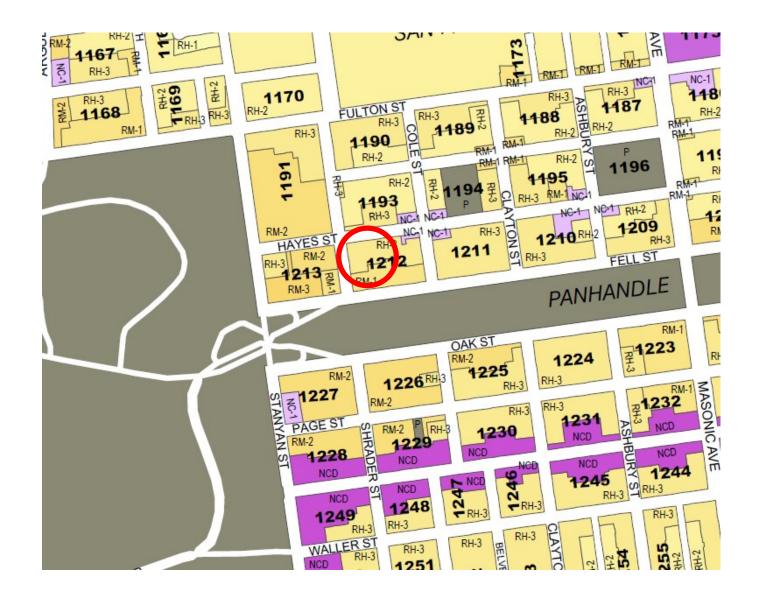


Context Photos





Zoning Map



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