



# SAN FRANCISCO PLANNING DEPARTMENT

---

## Executive Summary Conditional Use Authorization

HEARING DATE: NOVEMBER 21, 2019

*Record No.:* 2018-009157CUA  
*Project Address:* 2175 HAYES STREET  
*Zoning:* RH-3 - Residential-House, Three Family Zoning District  
40-X Height and Bulk District  
*Block/Lot:* 1212/022  
*Project Sponsor:* Earle Weiss  
EE Weiss Architects  
21 Corte Madera Avenue, #4  
Mill Valley, CA 94941  
*Property Owner:* Tom McGrath  
1700 Diamond Street  
San Francisco, CA 94131  
*Staff Contact:* Sylvia Jimenez – (415) 575-9187  
[sylvia.jimenez@sfgov.org](mailto:sylvia.jimenez@sfgov.org)  
*Recommendation:* **Approval with Conditions**

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

### PROJECT DESCRIPTION

The Project proposes the demolition of an existing one-story dental office building and construction of a four-story residential building (approximately 10,793 gross square feet) with four 4-bedroom units and one 3-bedroom Accessory Dwelling Unit, three below-grade off-street parking spaces, and five Class 1 bicycle parking spaces. The Project will provide approximately 1,440 square feet of common useable open space in the form of a newly created rear yard.

### REQUIRED COMMISSION ACTION

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization, pursuant to Planning Code Sections 209.1 and 303 to allow a dwelling unit density at a ratio of one dwelling unit per 1,000 square feet within the RH-3 Zoning District.

### ISSUES AND OTHER CONSIDERATIONS

- **Public Comment & Outreach.**
  - **Support/Opposition.** The Department has not received correspondence regarding the proposed project.
  - **Outreach.** The Sponsor has hosted one meeting within the community, on June 20, 2018.

## **ENVIRONMENTAL REVIEW**

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

## **BASIS FOR RECOMMENDATION**

The Department finds that the Project is, on balance, consistent with the Objectives and Policies of the General Plan. Although the Project results in a loss of formerly commercial space, the subject property will be brought into conformance with the residential uses permitted by the Planning Code. The Project will provide four family sized 4-bedroom units and one 3-bedroom Accessory Dwelling Unit, adding to the City's housing stock. As such, the Department finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

## **ATTACHMENTS:**

Draft Motion – Conditional Use Authorization with Conditions of Approval  
Exhibit B – Plans and Renderings  
Exhibit C – Environmental Determination  
Exhibit D – Land Use Data  
Exhibit E – Maps and Context Photos



# SAN FRANCISCO PLANNING DEPARTMENT

---

## Planning Commission Draft Motion

HEARING DATE: NOVEMBER 21, 2019

*Record No.:* 2018-009157CUA  
*Project Address:* 2175 HAYES STREET  
*Zoning:* RH-3 - Residential-House, Three Family Zoning District  
40-X Height and Bulk District  
*Block/Lot:* 1212/022  
*Project Sponsor:* Earle Weiss  
EE Weiss Architects  
21 Corte Madera Avenue, #4  
Mill Valley, CA 94941  
*Property Owner:* Tom McGrath  
1700 Diamond Street  
San Francisco, CA 94131  
*Staff Contact:* Sylvia Jimenez – (415) 575-9187  
[sylvia.jimenez@sfgov.org](mailto:sylvia.jimenez@sfgov.org)

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

**ADOPTING FINDINGS RELATING TO A CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTION 209.1 AND 303, TO ALLOW THE DEMOLITION OF AN EXISTING ONE-STORY DENTAL OFFICE BUILDING AND CONSTRUCTION OF A NEW FOUR-STORY RESIDENTIAL BUILDING CONTAINING FOUR DWELLING UNITS, WITH AN ACCESSORY DWELLING UNIT AT THE GROUND AND BASEMENT FLOOR, WITHIN THE RH-3 (RESIDENTIAL-HOUSE, THREE FAMILY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.**

### **PREAMBLE**

On June 29, 2018, Earle Weiss of Earl Weiss Architects (hereinafter "Project Sponsor") filed Application No. 2018-009157CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization to demolish a one-story dental medical office and construct a new four-story residential building containing four dwelling units, with an Accessory Dwelling Unit (ADU) at the ground floor and basement (hereinafter "Project") at 2175 Hayes Street, Block 1212 Lot 022 (hereinafter "Project Site").

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

On November 21, 2019, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2018-009157CUA.

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2018-009157CUA is located at 1650 Mission Street, Suite 400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2018-009157CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

## FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Project Description.** The Project includes demolition of an existing single-story dental office building and construction of a four-story residential building (approximately 10,793 gross square feet) with four 4-bedroom units and one 3-bedroom Accessory Dwelling Unit, three below-grade off-street parking spaces, and five Class 1 bicycle parking spaces. The Project will provide approximately 1,440 square feet of common useable open space in the form of a newly created rear yard.
3. **Site Description and Present Use.** The Project Site is located on the south side of Hayes Street between Cole and Shrader Streets in the Haight/Ashbury neighborhood. The property is regularly shaped, measuring approximately 28 feet in width and 137.5 feet in depth and approximately 3,868 square-feet in area. The subject property is developed with a one-story, dental office building, which is a legal non-conforming use in the RH-3 Zoning District, containing three suites and was constructed circa 1956. The building has full lot coverage with a walkway along the west side property line and is currently vacant.
4. **Surrounding Properties and Neighborhood.** The subject property is within the RH-3 Zoning District and is located in the North Panhandle neighborhood of the greater Haight/Ashbury. The immediate context is primarily residential in character with three- and four-story, multi-family, Victorian and Edwardian era dwellings. There are several mixed-use buildings with ground floor commercial space at the intersection of Hayes and Cole Streets. The rear side of the larger Saint Mary's Hospital medical complex is located west of the intersection of Hayes and Shrader Streets.
5. **Public Outreach and Comments.** As of the date of this report, the Department has not received any public correspondence concerning the Project.

6. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Use.** Planning Code Section 209.1 states that in the RH-3 Zoning District, up to three dwelling units per lot are principally permitted and up to one unit per 1,000 square feet of lot area is permitted with a Conditional Use Authorization.

*The subject building on the property is currently vacant and was most recently occupied by a medical dental office which is a non-conforming use in the RH-3 Zoning District. The Project proposes to eliminate the nonconformity by establishing a Residential use.*

- B. **Dwelling Unit Density.** Planning Code Section 209.1 permits a maximum residential density of one dwelling unit per 1,000 square feet of lot area in the RH-3 Zoning District, as a Conditional Use.

*The Project Site measures 3,868 square feet, and a maximum of four dwelling units are permitted with Conditional Use Authorization from the Planning Commission. The Project also proposes an Accessory Dwelling Unit at the ground and basement floors under Planning Code Section 207(c)(4).*

- C. **Open Space.** Planning Code Section 135 states that in the RH-3 Zoning District, at least 100 square feet of usable open space is required per unit if the open space is private, and 133 square feet of usable open space is required if the open space is common.

*Four dwelling units in the RH-3 Zoning District require 532 square feet of common usable open space. The Project proposes 1,440 of common usable open space in the rear yard. Thus, all four dwelling units comply with usable open space requirements, including the Accessory Dwelling Unit.*

- D. **Permitted Obstructions.** Planning Code Section 136 permits bay windows over streets and in required setbacks to each have a maximum length of 15-ft. at the line establishing the required setback that is reduced in proportion by 45 degree angles drawn inward from the ends reaching a maximum of 9-ft. along a line parallel to and at a distance of 3-ft. from the setback line.

*Along Hayes Street, the Project proposes bays measuring approximately 10-ft. 4-in. in length at a 1-ft. 10-in. distance from the property line. These bays comply with the allowed dimensions of the permitted obstructions requirement.*

- E. **Dwelling Unit Exposure.** Planning Code Section 140 requires that at least one room of all dwelling units face onto a public street or public alley at least 30 feet in width, a side yard at least 25 feet in width, a rear yard meeting the requirements of the Code or other open area that meets minimum requirements for area and horizontal dimensions.

*All four dwelling units front onto Hayes Street and comply with the dwelling unit exposure requirement. The Accessory Dwelling Unit proposed at the rear of the building faces a Code-compliant rear yard.*

- F. **Off-Street Parking.** Planning Code Section 151 does not require any off-street parking spaces and permits a maximum of 1.5 off-street parking spaces for each dwelling unit.

*The Project proposes three residential parking spaces in a garage accessed from Hayes Street using mechanical stackers and complies with Planning Code Section 151.*

- G. **Bicycle Parking.** Planning Code Section 155.2 requires one Class 1 bicycle parking space per dwelling unit.

*The Project proposes five Class 1 spaces in a lobby area adjacent to the garage and complies with the bicycle parking requirements.*

- H. **Height.** Planning Code Section 260 requires that all structures be no taller than the height prescribed in the subject height and bulk district.

*The subject property is located within a 40-foot height district. The existing building does not exceed the prescribed height limit.*

- I. **Child Care Requirements for Residential Projects.** Planning Code Section 414A requires that any residential development project that results in at least one net new residential unit shall comply with the imposition of the Residential Child Care Impact Fee requirement.

*The Project proposes new construction of five new residential units. As such, the Project is subject to the Residential Child Care Impact Fee, which will be collected prior to the issuance of the first construction document.*

- J. **Street Frontage.** Section 144 of the Planning Code requires that no more than one-third of the width of the ground story of a dwelling along the front lot line, or along a street side lot line, or along a building wall that is setback from any such lot line, shall be devoted to entrances to off-street parking, except that in no event shall a lot be limited by this requirement to a single such entrance of less than ten feet in width.

*The project proposes to install a garage door less than 10 feet in width on the ground floor of the building.*

7. **Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

*The size of the proposed building is compatible with the surrounding neighborhood and its proposed replacement of a commercial use to residential use is desirable as the existing neighborhood consists of residential uses at various scales, from single-family dwellings to multi-unit apartment buildings.*

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

*The height and bulk of the existing building will be in context with the existing appearance or character of the project vicinity.*

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*As the proposed project is residential in nature, unlike commercial or industrial uses, the proposed residential use is not expected to produce noxious or offensive emissions. Safeguards will be used during construction to mitigate any impact to the neighborhood.*

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*No significant emissions of noise, glare, dust or odor would be produced by the proposed residential use.*

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

*Usable open space, in the form of a rear yard, will be provided and appropriately landscaped for the use of the building's future residents. A new street tree will be planted on the Hayes Street sidewalk and off-street parking for residential use will be located within the existing building on and below-grade.*

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.*

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Residential District.

*The proposed project is consistent with the stated purposes of RH-3 Zoning District in that it proposes the removal of a commercial building to a residential use, which is a more compatible use given its location in a predominately residential neighborhood.*

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

## **HOUSING ELEMENT**

### **Objectives and Policies**

#### **OBJECTIVE 1:**

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

#### **Policy 1.1**

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

#### **Policy 1.10**

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

#### **OBJECTIVE 4:**

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

#### **Policy 4.1**

Develop new housing, and encourage the remodeling of existing housing, for families with children.

#### **OBJECTIVE 11:**

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.



**Policy 11.1**

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

**Policy 11.2**

Ensure implementation of accepted design standards in project approvals.

**Policy 11.3**

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

**Policy 11.4:**

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan.

**Policy 11.6**

Foster a sense of community through architectural design, using features that promote community interaction.

**OBJECTIVE 12:**

BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION.

**Policy 12.2**

Consider the proximity of quality of life elements such as open space, child care, and neighborhood services, when developing new housing units.

**URBAN DESIGN ELEMENT**

**Objectives and Policies**

**OBJECTIVE 1:**

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

**Policy 1.3**

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

**Policy 1.7**

Recognize the natural boundaries of districts, and promote connections between districts.

## **TRANSPORTATION ELEMENT**

### **Objectives and Policies**

#### **OBJECTIVE 2:**

USE THE TRANSPORTATION SYSTEM AS A MEANS FOR GUIDING DEVELOPMENT AND IMPROVING THE ENVIRONMENT.

Policy 2.1: Use rapid transit and other transportation improvements in the city and region as the catalyst for desirable development and coordinate new facilities with public and private development.

#### **OBJECTIVE 11:**

ESTABLISH PUBLIC TRANSIT AS THE PRIMARY MODE OF TRANSPORTATION IN SAN FRANCISCO AND AS A MEANS THROUGH WHICH TO GUIDE FUTURE DEVELOPMENT AND IMPROVE REGIONAL MOBILITY AND AIR QUALITY.

Policy 11.3: Encourage development that efficiently coordinates land use with transit service, requiring that developers address transit concerns as well as mitigate traffic problems.

#### **OBJECTIVE 28:**

PROVIDE SECURE AND CONVENIENT PARKING FACILITIES FOR BICYCLES.

Policy 28.1: Provide secure bicycle parking in new governmental, commercial, and residential developments.

Policy 28.3: Provide parking facilities which are safe, secure, and convenient.

#### **OBJECTIVE 34:**

RELATE THE AMOUNT OF PARKING IN RESIDENTIAL AREAS AND NEIGHBORHOOD COMMERCIAL DISTRICTS TO THE CAPACITY OF THE CITY'S STREET SYSTEM AND LAND USE PATTERNS.

Policy 34.1: Regulate off-street parking in new housing so as to guarantee needed spaces without requiring excesses and to encourage low auto ownership in neighborhoods that are well served by transit and are convenient to neighborhood shopping.

Policy 34.3: Permit minimal or reduced off-street parking supply for new buildings in residential and commercial areas adjacent to transit centers and along transit preferential streets.

Policy 34.5: Minimize the construction of new curb cuts in areas where on-street parking is in short supply and locate them in a manner such that they retain or minimally diminish the number of existing on-street parking spaces.

*The Project will revitalize a vacant building, most recently occupied by a nonconforming dental office use, by demolishing it and constructing a new multi-unit residential building. The Project will provide four 4-bedroom units and one 3-bedroom Accessory Dwelling Unit which would be suitable for families with children, each with access to usable open space. The proposed building is designed to be architecturally cohesive with the surrounding neighborhood and will be of a height and density appropriate to the scale of the nearby properties on Hayes Street. The proposed residential building would provide five weather-protected bicycle parking spaces for its residents to encourage bicycling and is located across from or within walking distance to several public transit lines, including the 21 – Hayes St, 33 –Stanyan, 5/5R – Fulton, among other SF MUNI bus routes. On balance, the Project is consistent with the Objectives and Policies of the General Plan.*

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*While the subject property has previously been used as a neighborhood-serving dental office, it was a nonconforming use that is no longer in operation. The Project does not propose any neighborhood-serving retail uses.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*The Project will provide five new dwelling units, thus resulting in an overall increase in the neighborhood housing stock. The Project is expressive in design and relates well to the scale and form of the surrounding neighborhood. For these reasons, the Project would protect and preserve the cultural and economic diversity of the neighborhood.*

- C. That the City's supply of affordable housing be preserved and enhanced,

*The Project does not propose affordable housing.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*The Project site is well served by nearby public transportation options. The Project is across the street or within walking distance of the 21 – Hayes St, 33 –Stanyan, 5/5R – Fulton, among other SF MUNI bus routes. The Project also provides off-street parking and sufficient bicycle parking for residents and their guests.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*The Project does not include commercial office development. Although the Project proposes the conversion of a commercial use to residential use, the Project will bring the property into conformity with the uses permitted by the Planning Code.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The Project will be designed and will be constructed to conform to the structural and seismic safety requirements of the Building Code. This proposal will not impact the property's ability to withstand an earthquake.*

- G. That landmarks and historic buildings be preserved.

*Currently, the Project Site does not contain any City Landmarks or historic buildings.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*Since the Project is not more than 40-ft tall, additional study of the shadow impacts was not required per Planning Code Section 295. Further, the Project does not cast shadow onto any parks or open space.*

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

## DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2018-009157CUA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated November 6, 2019, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

**Protest of Fee or Exaction:** You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on November 21, 2019.

Jonas P. Ionin  
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: November 21, 2019

## EXHIBIT A

### AUTHORIZATION

This authorization is for a conditional use to allow the construction of a four-story, five unit residential building located at 2175 Hayes Street, Block 1212, and Lot 022, pursuant to Planning Code Sections 209.1 and 303 within the RH-3 Zoning District and a 40-X Height and Bulk District; in general conformance with plans, dated November 6, 2019, and stamped "EXHIBIT B" included in the docket for Record No. 20198-009157CUA and subject to conditions of approval reviewed and approved by the Commission on November 21, 2019 under Motion No XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

### RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on November 21, 2019 under Motion No XXXXXX.

### PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

### SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

### CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

## Conditions of Approval, Compliance, Monitoring, and Reporting

### PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

3. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## DESIGN – COMPLIANCE AT PLAN STAGE

6. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

7. **Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

## PARKING AND TRAFFIC

8. **Bicycle Parking.** The Project shall provide no fewer than five (5) Class 1 bicycle parking spaces as required by Planning Code Sections 155.1 and 155.2.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

9. **Parking Maximum.** Pursuant to Planning Code Section 151 or 151.1, the Project shall provide no more than eight (8) off-street parking spaces.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## PROVISIONS

10. **Residential Child Care Impact Fee.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

## MONITORING - AFTER ENTITLEMENT

11. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.



*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

12. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

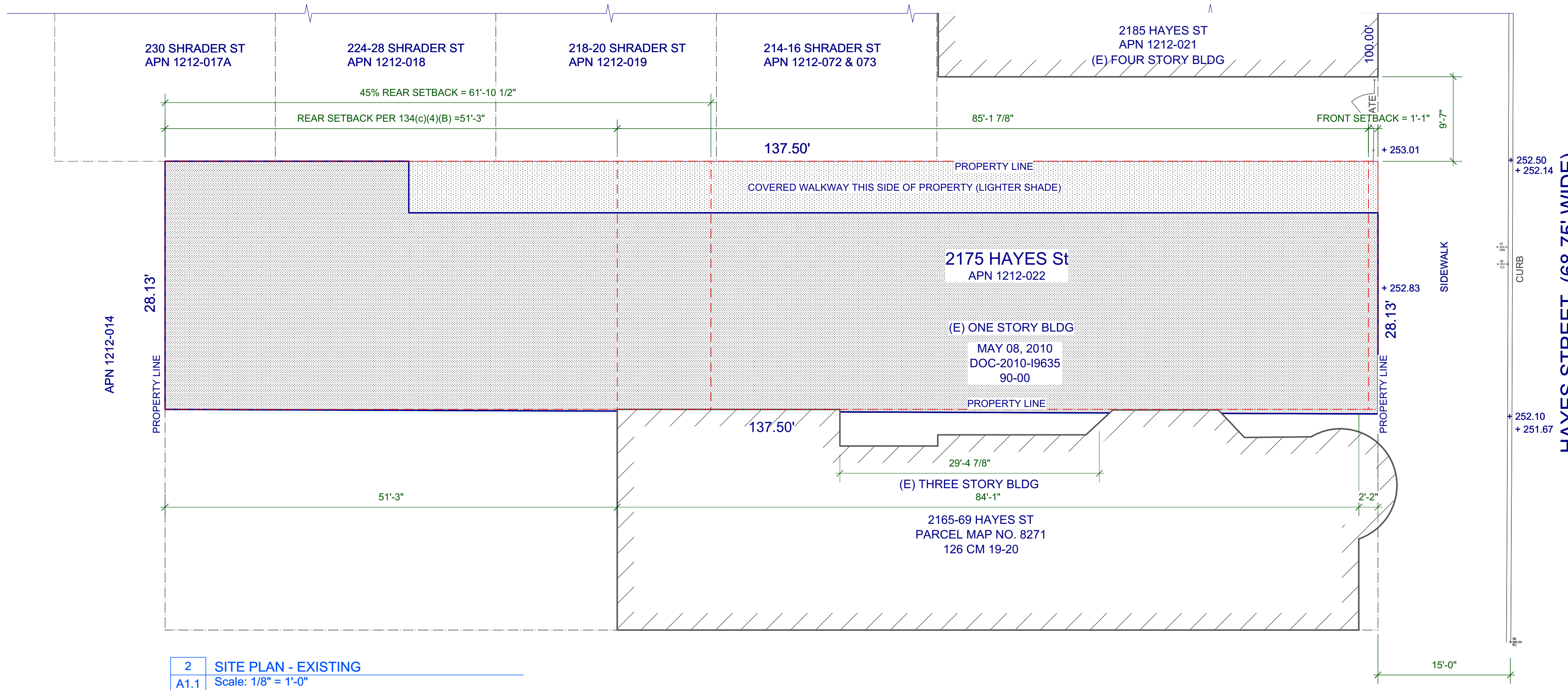
## OPERATION

13. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>*

**EXHIBIT B**  
**Project Plans for 2175 Hayes**

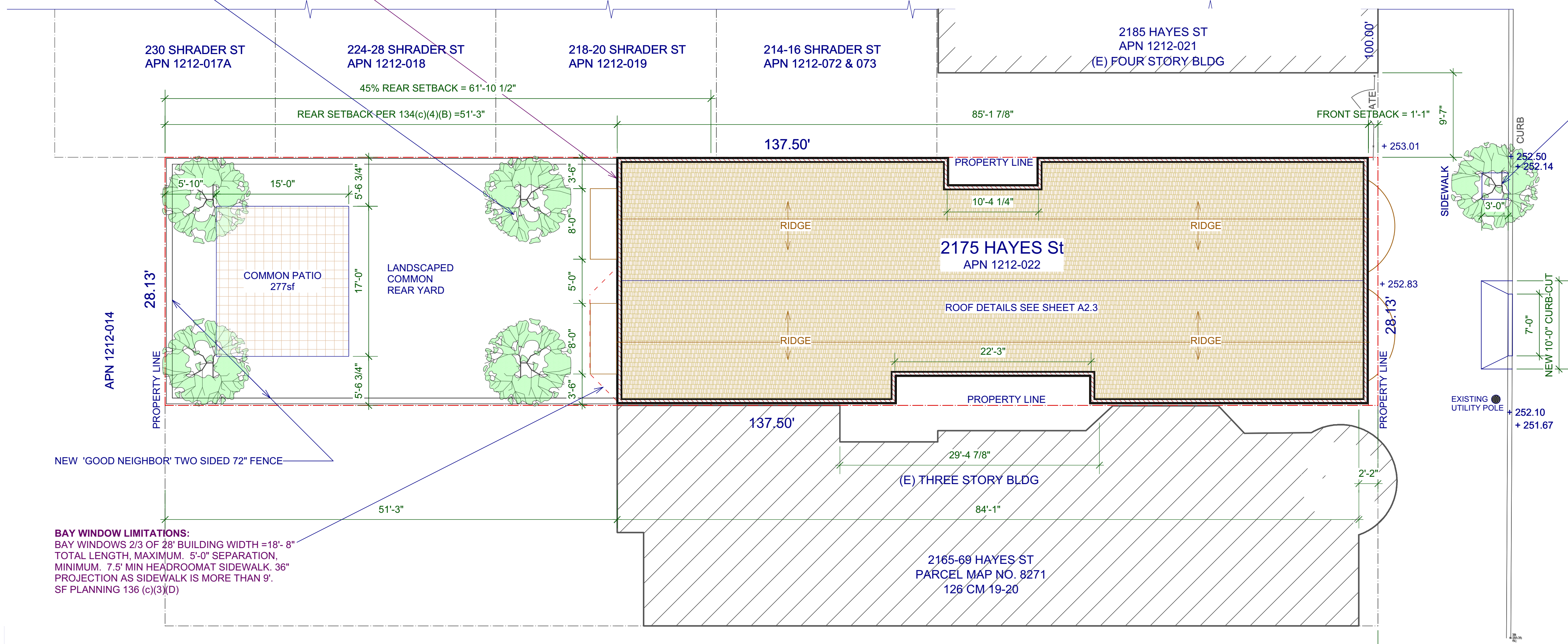




2 SITE PLAN - EXISTING  
A1.1 Scale: 1/8" = 1'-0"

45% MAXIMUM REAR YARD SETBACK DOES NOT APPLY PER SECTION 136 (c)(4)(B) rear yard shall be reduced to a line on the subject lot which is at the depth of the rear building wall of the one adjacent building fronting on the same street or alley'

NEW TREES: VERIFY LOCATION AND SPECIES WITH NEIGHBORS BEFORE INSTALLATION



1 SITE PLAN - PROPOSED  
A1.1 Scale: 1/8" = 1'-0"

**BAY WINDOW LIMITATIONS:**  
BAY WINDOWS 2/3 OF 28' BUILDING WIDTH = 18'-8"  
TOTAL LENGTH, MAXIMUM. 5'-0" SEPARATION,  
MINIMUM. 7.5' MIN HEADROOM AT SIDEWALK. 36"  
PROJECTION AS SIDEWALK IS MORE THAN 9'.  
SF PLANNING 136 (c)(3)(D)

- GENERAL SITE NOTES:**
- ENGINEER TO REVIEW AND APPROVE ALL ASPECTS OF GRADING, DRAINAGE, FOUNDATIONS, AND ALL ASSOCIATED UNDERGROUND IMPROVEMENTS AND CONDITIONS. ENGINEER TO TEST AND INSPECT ALL SYSTEMS AS REQUIRED, TYP.
  - EROSION AND SURFACE RUN-OFF SHALL BE CONTAINED AND CONTROLLED WITHIN THE SITE.
  - 2:1 MAX. SLOPE OF UNRESTRAINED EARTH. NO GRADING AT PROPERTY LINE
  - ALL WORK SHALL CONFORM TO COUNTY AND CITY STANDARD SPECIFICATIONS AND UNIFORM CONSTRUCTION STANDARDS.

**WORK AT PROPERTY LINE:**

- ARCHITECTURAL PLANS ARE SCHEMATIC IN NATURE; ALL WORK TO BE PERFORMED WITHIN THE SUBJECT PROPERTY

- ALL WORK INCLUDING RETAINING WALLS; PIERS; DRAIN LINES; WATERPROOFING; BACK FILLING, ETC. SHALL BE CONTAINED WITHIN THE PROPERTY LINES. THE SUBJECT PROPERTY

- NO EQUIPMENT, PERSONNEL, OR MATERIAL ARE ALLOWED ON THE NEIGHBORING PROPERTY WITHOUT PRIOR WRITTEN CONSENT.

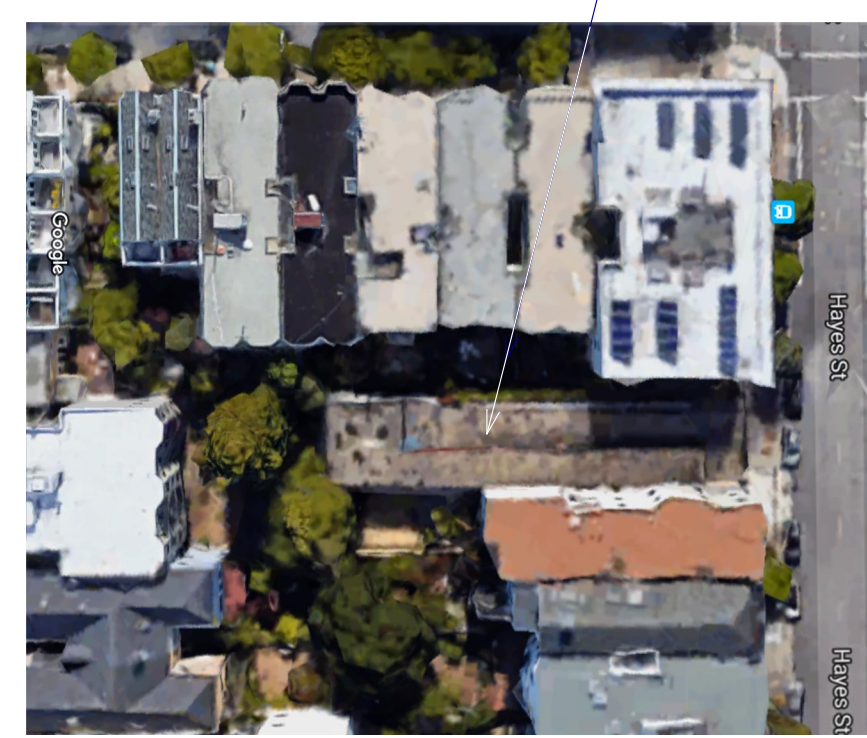
**SUBJECT PROPERTY:**

EXITING ONE STORY OVER BASEMENTS TYPE V-B, SPRINKLERED BUILDING.

NOTE: THIS BUILDING HAS BEEN ABANDON FOR MANY YEARS. THE ROOF HAS FAILED IN ALL LOCATIONS RESULTING IN MASSIVE LEAKS FOR YEARS. THIS HAS CAUSED BOTH STRUCTURAL FAILURE, MOLD, AND MILDUW THROUGHOUT. SEE PHOTOS

FIRE AND SITE DETAILS SEE A2.1

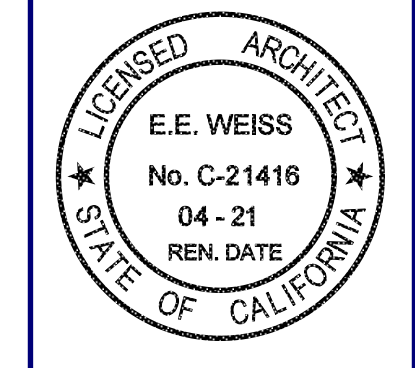
NEW 24" STREET TREE; INSTALL PER SF BUF



3 GOOGLE EARTH PHOTO  
A1.1 Scale: 1/8" = 1'-0"

**E.E. WEISS**  
Architects, Inc.  
21 Corte Madera Ave.  
Mill Valley, CA 94941  
admin@eeveiss.com  
Tel 415.381.8700

HISTORY	BY
PLANNING PERMIT 2018-0628-3235	



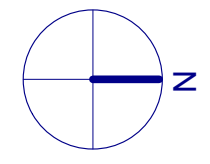
**SITE PLAN**  
**SITE PERMIT SET**  
(NOIPDR #2, R.DAT - RESPONSE)

**2175 HAYES ST**  
SAN FRANCISCO, CA 94117  
ASSESSOR'S PARCEL: 1212022

Date: 11/6/19  
Time: 1:18:06 PM

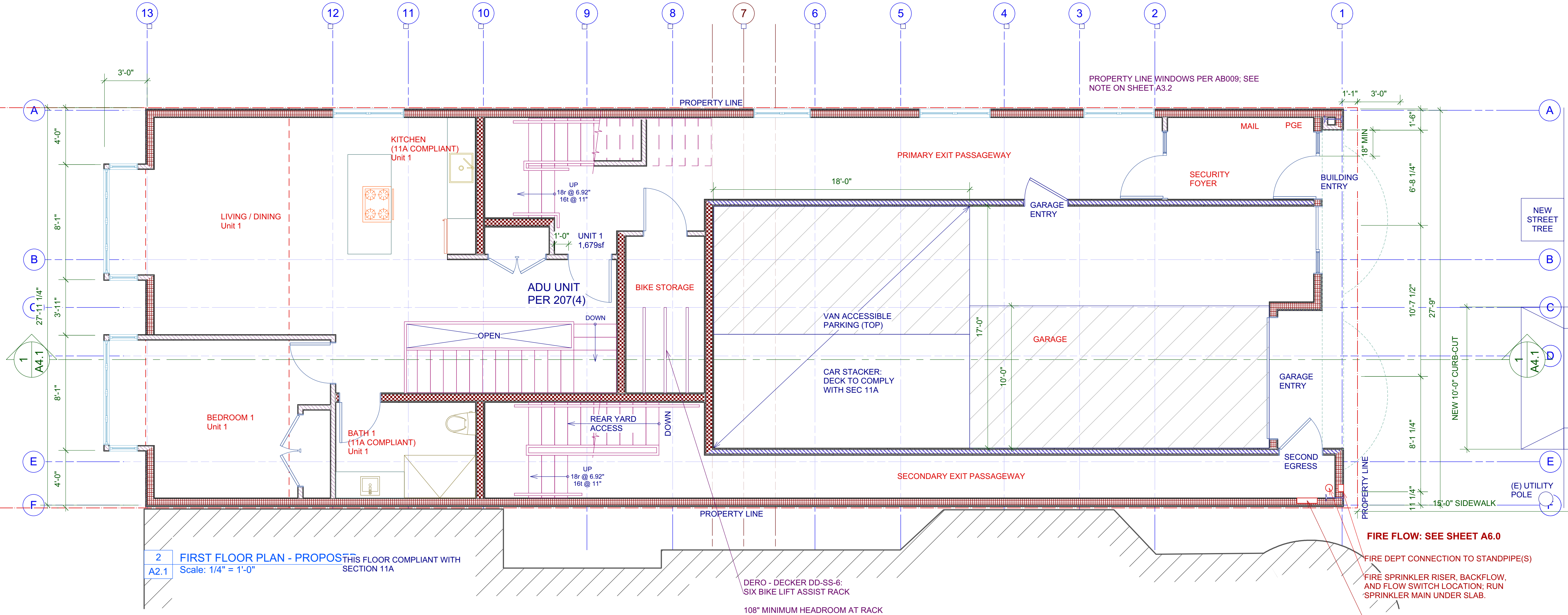
06 NOV 19

**A1.1**





- WALL SCHEDULE**
- PLATE SIZE GRAPHIC KEY:**  
2x6's ARE CROSS-HATCHED
- 2x4's ARE HATCHED
- 2x6 **ONE-HOUR EXTERIOR WALL:** 5/8" TYPE X GWB ON INTERIOR. 5/8" GYP SHEATHING OVER STUDS. BUILDING PAPER OVER GYP SHEATHING. EXT T&G P.T. PLYWOOD PER STRUCTURAL. "Z" FLASHING AT HORIZONTAL JOINTS. ADDITIONAL FINISH OVER PLYWOOD WHERE PLYWOOD IS VISIBLE.
- 2x6 **NON-RATED EXTERIOR WALL:** 5/8" TYPE X GWB ON INTERIOR SIDE ONLY. PLYWOOD/SHEATHING PER STRUCTURAL EXTERIOR FACE OF STUD. "Z" FLASHING AT HORIZONTAL JOINTS. BUILDING PAPER OVER SHEATHING. FINISH PER ELEVATIONS. **NOTE:** NON-RATED WALLS NOT ALLOWED WITHIN 60" OF PROPERTY LINE WHERE SUBJECT WALL IS NOT PERPENDICULAR TO PROPERTY LINE.
- 2x6 **TWO-HOUR SOUND WALLS:** STAGGER 2x4 STUDS ON 2x6 PLATES. SOUND INSULATION IN ALL VOIDS. TWO LAYERS 5/8" TYPE X EACH SIDE OF WOOD STUDS. STAGGER SEAMS. **SEE DETAIL 90 MINUTE DOORS**
- 2x6 **ONE-HOUR WALLS:** ONE LAYER 5/8" TYPE X EACH SIDE OF WOOD STUDS
- 2x4 **TWO-HOUR WALLS:** TWO LAYERS 5/8" TYPE X EACH SIDE OF WOOD STUDS; STAGGER SEAMS **90 MINUTE DOORS**
- 2x4 **ONE-HOUR WALLS:** ONE LAYER 5/8" TYPE X EACH SIDE OF WOOD STUDS
- 2x4 **ONE-HOUR PARAPET:** 30" MIN. HEIGHT WALL ABOVE ROOFS. 42" AT DECKS, WITHIN 60" OF PROPERTY LINE. ONE LAYER 5/8" TYPE X EXT SHEATHING EACH SIDE OF WOOD STUDS, BUILDING PAPER, P.T. PLYWOOD PER STRUCTURAL, EXTERIOR FINISHES WHERE PLY IS EXPOSED. NON-COMBUSTIBLE FINISH TOP 18"). 8-17



**2 FIRST FLOOR PLAN - PROPOSED**  
A2.1 Scale: 1/4" = 1'-0"  
THIS FLOOR COMPLIANT WITH SECTION 11A



**STAIR NOTES**

IF STAIR LAYOUT DOES NOT CONFORM TO THE FOLLOWING, OR VARIES SIGNIFICANTLY FROM DRAWINGS, CONTACT THE ARCHITECT BEFORE INSTALLATION.

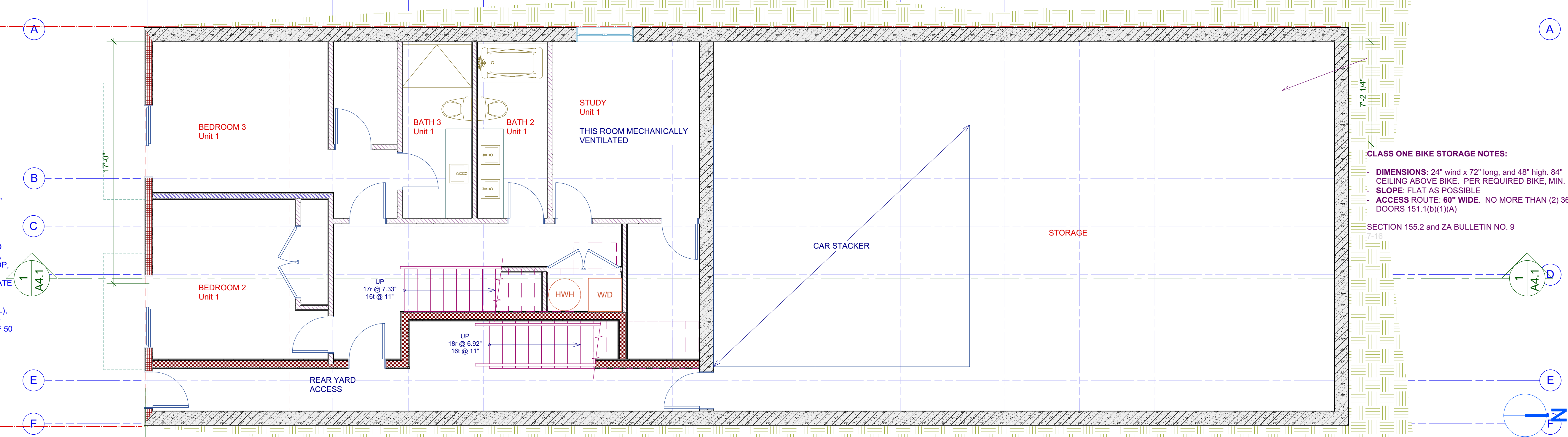
- 7" RISER AND 11" TREAD (7.75" MAXIMUM RISER AND 10" MINIMAL TREAD AT PRIVATE STAIRS) MAXIMUM
- NOSING TO BE NOT LESS THAN 3/4" BUT NO MORE THAN 1 1/2" WHERE TREAD DEPTH IS LESS THAN 11"
- RISER TO PREVENT PASSAGE OF A 4" SPHERE
- THE HIGHEST RISER SHALL NOT BE MORE THAN 3/8" MORE THAN THE LOWEST RISER. THE GREATEST TREAD DEPTH SHALL NOT BE GREATER THAN 3/8" THAN THE SHALLOWEST TREAD
- 5/8" TYPE X GWB AT WALLS AND SOFFITS OF ENCLOSED USABLE SPACE UNDER STAIRS. DRAFT STOP BLOCKS AT STUDS BEHIND STRINGER WHERE GWB IS NOT CONTINUOUS.
- WOOD STAIRS TO BE 1 1/8" PLYWOOD SCREWED 3" ON CENTER AND GLUED AT ALL JOINTS WITH UNDERLAYMENT ADHESIVE AT INTERIOR; SEE EXTERIOR STAIR NOTES FOR ADDITIONAL NOTES 6-17

**GUARD AND HAND RAIL NOTES:**

**HANDRAILS** TO BE 36" ABOVE NOSING, BRACKETS INTO FRAMING OR BLOCKING; EXTEND 6" TOP & BOTTOM. 1 1/2" DIAMETER CROSS-SECTION. RAIL TO WITHSTAND 200 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ON RAIL, TYPICAL

**GUARDS** TO BE 42" ABOVE FINISH AND SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP, AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING

**INTERMEDIATE RAILS** (ALL THOSE EXCEPT THE HANDRAIL), BALUSTERS AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FOOT, INCLUDING OPENINGS AND SPACE BETWEEN RAILS 6-18



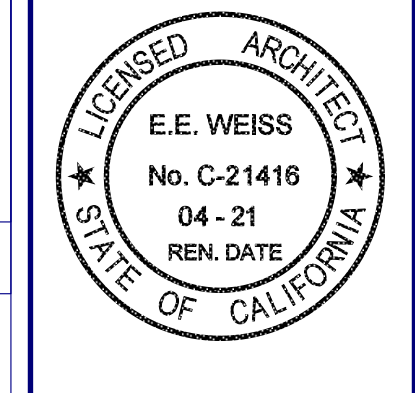
**1 LOWER FLOOR PLAN - PROPOSED**  
A2.1 Scale: 1/4" = 1'-0"

52'-4" REAR YARD

TRASH & RECYCLING MECHANICAL

**E.E. WEISS Architects, Inc.**  
21 Corte Madera Ave.  
Mill Valley, CA 94941  
admin@eeveiss.com  
Tel 415.381.8700

HISTORY	BY
PLANNING PERMIT 2018-0628-3235	



**FIRST & SECOND PLANS**

**SITE PERMIT SET**  
(NOIPDR #2, RDAY - RESPONSE)

**2175 HAYES ST**  
SAN FRANCISCO, CA 94117  
ASSESSOR'S PARCEL: 12121022

Date: 11/6/19  
Time: 1:18:06 PM

06 NOV 19

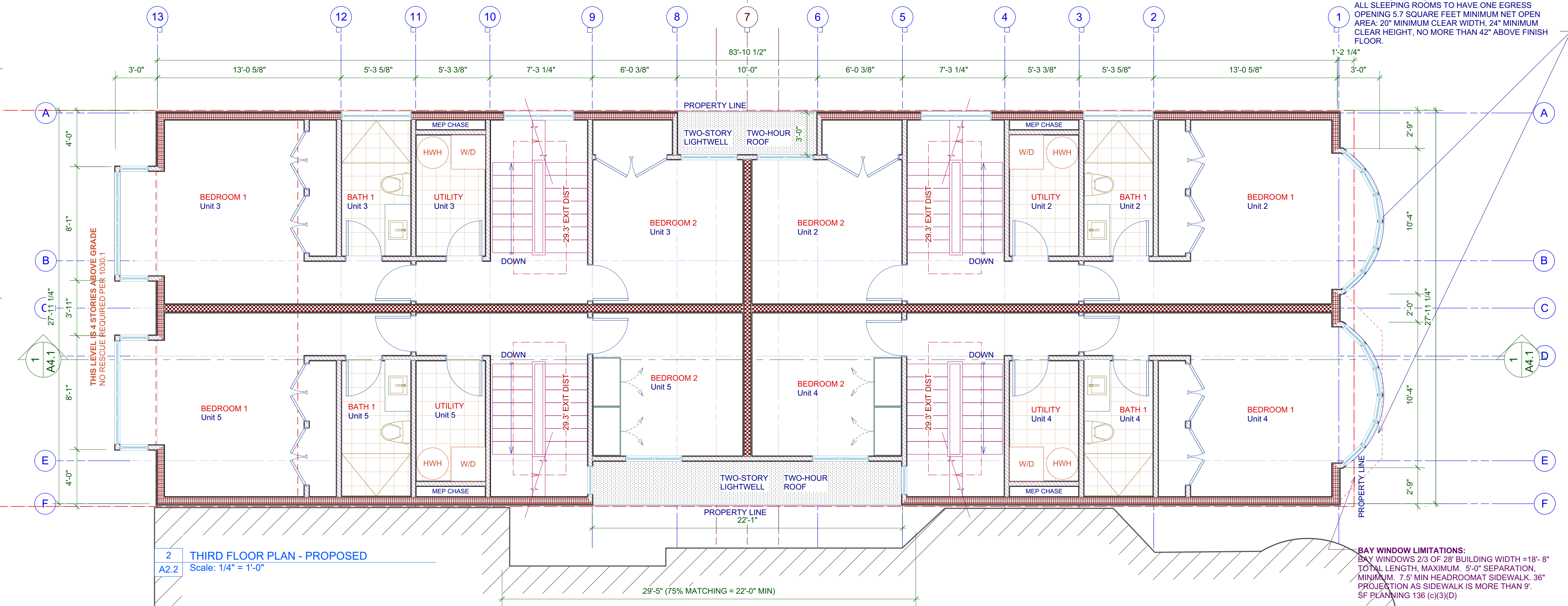
**A2.1**

- FIRE FLOW: SEE SHEET A6.0**
- FIRE DEPT CONNECTION TO STANDPIPE(S)
  - FIRE SPRINKLER RISER, BACKFLOW AND FLOW SWITCH LOCATION; RUN SPRINKLER MAIN UNDER SLAB.
  - FIRE ALARM & MONITORING PANEL
- FIRE DEPARTMENT NOTES:**
- FIRE ALARM SYSTEM PER CBC 310.10 AND NFPA 72, 2010 EDITION
  - STANDPIPE SYSTEM PER NFPA 13, 2013 EDITION
  - SMOKE DETECTORS IN IN COMMON CORRIDORS AND LOBBIES PER CFC 1006.2.9.1.3
  - PROVIDE STAIRWELL IDENTIFICATION SIGNS PER CBC 1003.3.3.13
  - PROVIDE LOCKBOX AT BUILDING ENTRY; ARRANGE MEETING WITH FIRE OFFICIAL BEFORE INSTALLATION TO DETERMINE LOCATION PER CFC 904.4
  - ELEVATOR: RECALL PER LULA TYPE
  - ROOF ACCESS - FIRE DEPARTMENT ACCESS NOT REQUIRED TO 4:12 ROOF

- CLASS ONE BIKE STORAGE NOTES:**
- DIMENSIONS: 24" wide x 72" long, and 48" high. 84" CEILING ABOVE BIKE. PER REQUIRED BIKE, MIN. SLOPE: FLAT AS POSSIBLE
  - ACCESS ROUTE: 60" WIDE. NO MORE THAN (2) 36" DOORS 151.1(b)(1)(A)
  - SECTION 155.2 and ZA BULLETIN NO. 9

**WALL SCHEDULE**

- PLATE SIZE GRAPHIC KEY:**  
2x6's ARE CROSS-HATCHED  
2x4's ARE HATCHED
- 2x6 **ONE-HOUR EXTERIOR WALL:** 5/8" TYPE X GWB ON INTERIOR. 5/8" GYP SHEATHING OVER STUDS. BUILDING PAPER OVER GYP SHEATHING. EXT T&G P.T. PLYWOOD PER STRUCTURAL. 2" FLASHING AT HORIZONTAL JOINTS. ADDITIONAL FINISH OVER PLYWOOD WHERE PLYWOOD IS VISIBLE.
  - 2x6 **NON-RATED EXTERIOR WALL:** 5/8" TYPE X GWB ON INTERIOR SIDE ONLY. PLYWOOD/SHEATHING PER STRUCTURAL EXTERIOR FACE OF STUD. 2" FLASHING AT HORIZONTAL JOINTS. BUILDING PAPER OVER SHEATHING. FINISH PER ELEVATIONS. **NOTE:** NON-RATED WALLS NOT ALLOWED WITHIN 60" OF PROPERTY LINE WHERE SUBJECT WALL IS NOT PERPENDICULAR TO PROPERTY LINE.
  - 2x6 **TWO-HOUR SOUND WALLS:** STAGGER 2x4 STUDS ON 2x6 PLATES. SOUND INSULATION IN ALL VOIDS. TWO LAYERS 5/8" TYPE X EACH SIDE OF WOOD STUDS. STAGGER SEAMS. **SEE DETAIL 90 MINUTE DOORS**
  - 2x6 **ONE-HOUR WALLS:** ONE LAYER 5/8" TYPE X EACH SIDE OF WOOD STUDS
  - 2x4 **TWO-HOUR WALLS:** TWO LAYERS 5/8" TYPE X EACH SIDE OF WOOD STUDS; STAGGER SEAMS **90 MINUTE DOORS**
  - 2x4 **ONE-HOUR WALLS:** ONE LAYER 5/8" TYPE X EACH SIDE OF WOOD STUDS
  - 2x4 **ONE-HOUR PARAPET:** 30" MIN. HEIGHT WALL ABOVE ROOFS. 42" AT DECKS, WITHIN 60" OF PROPERTY LINE. ONE LAYER 5/8" TYPE X EXT SHEATHING EACH SIDE OF WOOD STUDS, BUILDING PAPER, P.T. PLYWOOD PER STRUCTURAL, EXTERIOR FINISHES WHERE PLY IS EXPOSED. NON-COMBUSTIBLE FINISH TOP 18"). 8-17



**2 THIRD FLOOR PLAN - PROPOSED**  
Scale: 1/4" = 1'-0"

**BAY WINDOW LIMITATIONS:**  
BAY WINDOWS 2/3 OF 28' BUILDING WIDTH = 18'-8" TOTAL LENGTH, MAXIMUM. 5'-0" SEPARATION, MINIMUM. 7.5' MIN HEADROOM AT SIDEWALK. 36" PROJECTION AS SIDEWALK IS MORE THAN 9'. SF PLANNING 136 (c)(9)(D)

**BASIC:** UNITS ARE THREE-STORY TOWNHOUSES WITH NO ROOF DECK.

**TABLE 1006.3.2(1) - BUILDING HAS 4 UNITS, ALL ENTRY DOORS ARE ON THE SECOND FLOOR.**

**Sec 1011.12 STAIR TO ROOF:** NOT RERQUIRED; NO ROOF DECKS, ROOF IS 4:12 PITCH

**101.0' EGRESS DISTANCE FROM ALL UNITS TO EGRESS PASSAGEWAY**

**2 A3.1**

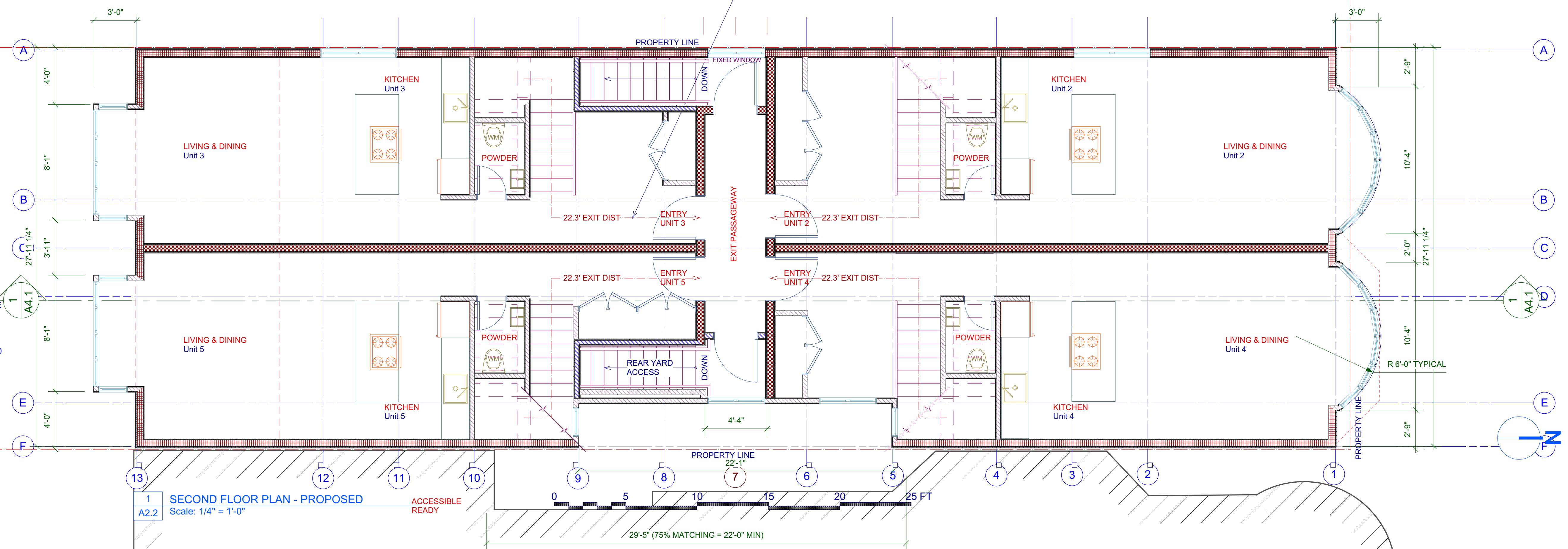
**STAIR NOTES**

- IF STAIR LAYOUT DOES NOT CONFORM TO THE FOLLOWING, OR VARIES SIGNIFICANTLY FROM DRAWINGS, CONTACT THE ARCHITECT BEFORE INSTALLATION.**
- 7" RISER AND 11" TREAD (7.75" MAXIMUM RISER AND 10" MINIMAL TREAD AT PRIVATE STAIRS) MAXIMUM
  - NOSING TO BE NOT LESS THAN 3/4" BUT NO MORE THAN 1 1/2" WHERE TREAD DEPTH IS LESS THAN 11"
  - RISER TO PREVENT PASSAGE OF A 4" SPHERE
  - THE HIGHEST RISER SHALL NOT BE MORE THAN 3/8" MORE THAN THE LOWEST RISER. THE GREATEST TREAD DEPTH SHALL NOT BE GREATER THAN 3/8" THAN THE SHALLOWEST TREAD
  - 5/8" TYPE 'X' GWB AT WALLS AND SOFFITS OF ENCLOSED USABLE SPACE UNDER STAIRS. DRAFT STOP BLOCKS AT STUDS BEHIND STRINGER WHERE GWB IS NOT CONTINUOUS.
  - WOOD STAIRS TO BE 1 1/8" PLYWOOD SCREWED 3" ON. CENTER AND GLUED AT ALL JOINTS WITH UNDERLAYMENT ADHESIVE AT INTERIOR; SEE EXTERIOR STAIR NOTES FOR ADDITIONAL NOTES 6-17

**GUARD AND HAND RAIL NOTES:**

- HANDRAILS** TO BE 36" ABOVE NOSING, BRACKETS INTO FRAMING OR BLOCKING, EXTEND 6" TOP & BOTTOM. 1 1/2" DIAMETER CROSS-SECTION. RAIL TO WITHSTAND 200 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ON RAIL, TYPICAL
- GUARDS** TO BE 42" ABOVE FINISH AND SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP, AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING

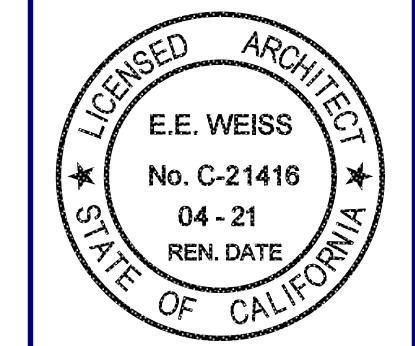
- INTERMEDIATE RAILS** (ALL THOSE EXCEPT THE HANDRAIL), BALUSTERS AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FOOT, INCLUDING OPENINGS AND SPACE BETWEEN RAILS 6-18



**1 SECOND FLOOR PLAN - PROPOSED**  
Scale: 1/4" = 1'-0"

**E.E. WEISS Architects, Inc.**  
21 Corte Madera Ave.  
Mill Valley, CA 94941  
admin@eeveiss.com  
Tel 415.381.8700

HISTORY	BY
PLANNING PERMIT 2018-0628-3235	



**SECOND - THIRD FLOOR PLANS**

**SITE PERMIT SET**  
(NOFDR #2, R04T - RESPONSE)

**2175 HAYES ST**

SAN FRANCISCO, CA 94117  
ASSESSOR'S PARCEL: 12121022

Date: 11/6/19  
Time: 1:18:06 PM

**06 NOV 19**

**A2.2**

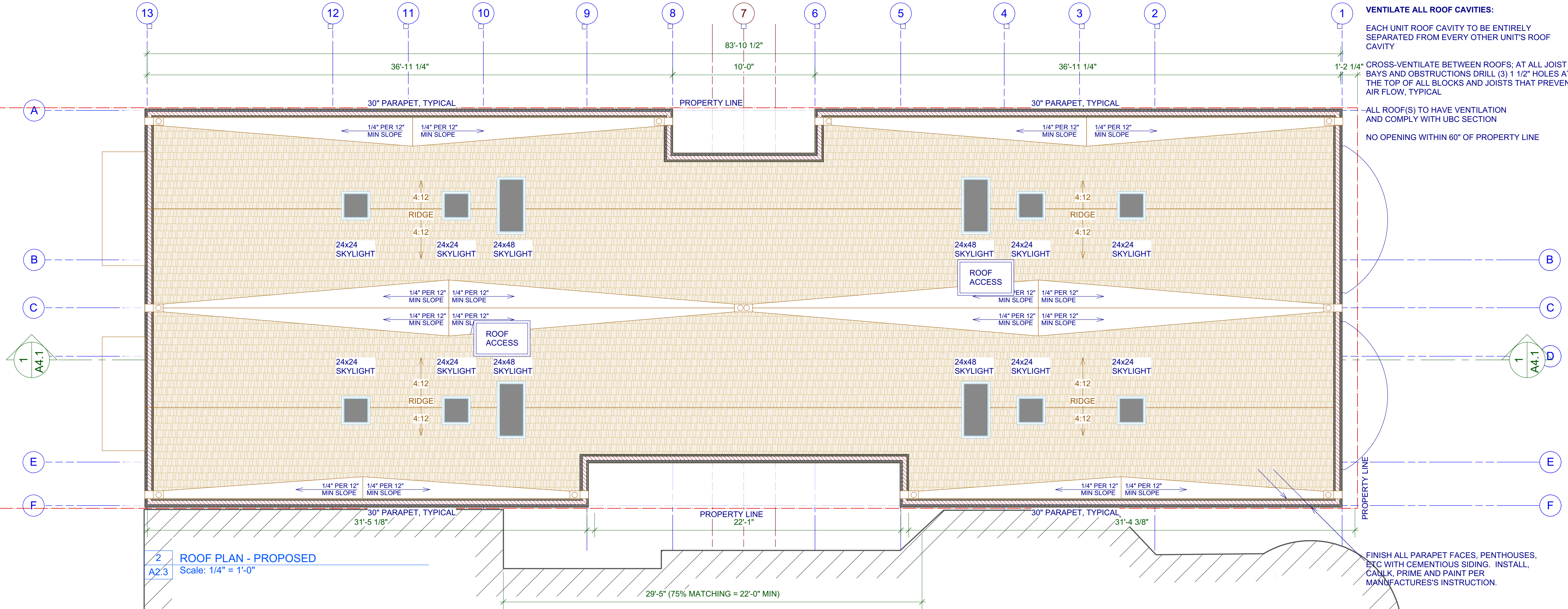
**WALL SCHEDULE**

- PLATE SIZE GRAPHIC KEY:**  
 2x6's ARE CROSS-HATCHED  
 2x4's ARE HATCHED
- 2x6 **ONE-HOUR EXTERIOR WALL:** 5/8" TYPE X GWB ON INTERIOR. 5/8" GYP SHEATHING OVER STUDS. BUILDING PAPER OVER GYP SHEATHING. EXT T&G P.T. PLYWOOD PER STRUCTURAL. 2" FLASHING AT HORIZONTAL JOINTS. ADDITIONAL FINISH OVER PLYWOOD WHERE PLYWOOD IS VISIBLE.
- 2x6 **NON-RATED EXTERIOR WALL:** 5/8" TYPE X GWB ON INTERIOR SIDE ONLY. PLYWOOD/SHEATHING PER STRUCTURAL EXTERIOR FACE OF STUD. 2" FLASHING AT HORIZONTAL JOINTS. BUILDING PAPER OVER SHEATHING. FINISH PER ELEVATIONS. **NOTE:** NON-RATED WALLS NOT ALLOWED WITHIN 60" OF PROPERTY LINE WHERE SUBJECT WALL IS NOT PERPENDICULAR TO PROPERTY LINE.
- 2x6 **TWO-HOUR SOUND WALLS:** STAGGER 2x4 STUDS ON 2x6 PLATES. SOUND INSULATION IN ALL VOIDS. TWO LAYERS 5/8" TYPE X EACH SIDE OF WOOD STUDS. STAGGER SEAMS. **SEE DETAIL 90 MINUTE DOORS**
- 2x6 **ONE-HOUR WALLS:** ONE LAYER 5/8" TYPE X EACH SIDE OF WOOD STUDS
- 2x4 **TWO-HOUR WALLS:** TWO LAYERS 5/8" TYPE X EACH SIDE OF WOOD STUDS. STAGGER SEAMS **90 MINUTE DOORS**
- 2x4 **ONE-HOUR WALLS:** ONE LAYER 5/8" TYPE X EACH SIDE OF WOOD STUDS
- 2x4 **ONE-HOUR PARAPET:** 30" MIN. HEIGHT WALL ABOVE ROOFS. 42" AT DECKS, WITHIN 60" OF PROPERTY LINE. ONE LAYER 5/8" TYPE X EXT SHEATHING EACH SIDE OF WOOD STUDS. BUILDING PAPER, P.T. PLYWOOD PER STRUCTURAL. EXTERIOR FINISHES WHERE PLY IS EXPOSED. NON-COMBUSTIBLE FINISH TOP 18").

2x6 WALL PLATES

2x4 WALL PLATES

8-17



**VENTILATE ALL ROOF CAVITIES:**  
 EACH UNIT ROOF CAVITY TO BE ENTIRELY SEPARATED FROM EVERY OTHER UNIT'S ROOF CAVITY

**CROSS-VENTILATE BETWEEN ROOFS:** AT ALL JOIST BAYS AND OBSTRUCTIONS DRILL (3) 1 1/2" HOLES AT THE TOP OF ALL BLOCKS AND JOISTS THAT PREVENT AIR FLOW, TYPICAL

**ALL ROOF(S) TO HAVE VENTILATION AND COMPLY WITH UBC SECTION**

**NO OPENING WITHIN 60" OF PROPERTY LINE**

**FINISH ALL PARAPET FACES, PENTHOUSES, ETC WITH CEMENTITIOUS SIDING. INSTALL, CAULK, PRIME AND PAINT PER MANUFACTURE'S INSTRUCTION.**

**2**  
 A3.1

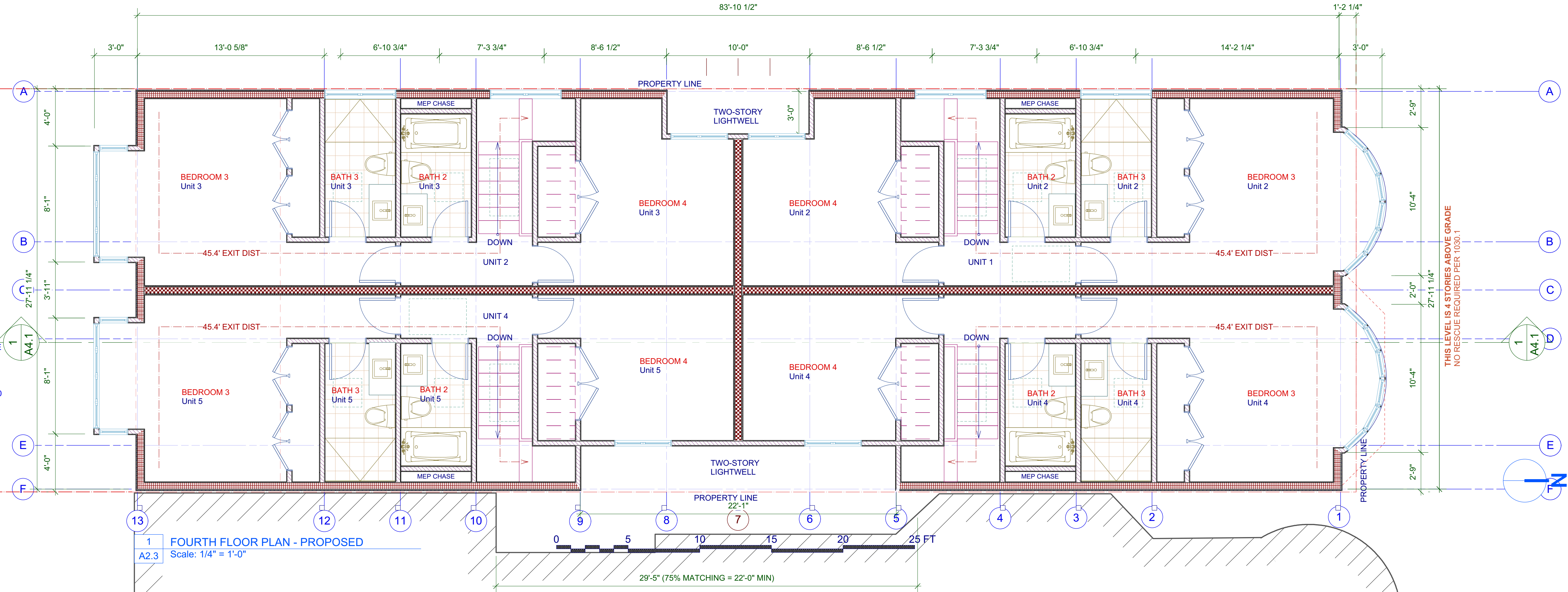
**STAIR NOTES**

- IF STAIR LAYOUT DOES NOT CONFORM TO THE FOLLOWING, OR VARIES SIGNIFICANTLY FROM DRAWINGS, CONTACT THE ARCHITECT BEFORE INSTALLATION.**
- 7" RISER AND 11" TREAD (7.75" MAXIMUM RISER AND 10" MINIMAL TREAD AT PRIVATE STAIRS) MAXIMUM
  - NOSING TO BE NOT LESS THAN 3/4" BUT NO MORE THAN 1 1/2" WHERE TREAD DEPTH IS LESS THAN 11"
  - RISER TO PREVENT PASSAGE OF A 4" SPHERE
  - THE HIGHEST RISER SHALL NOT BE MORE THAN 3/8" MORE THAN THE LOWEST RISER. THE GREATEST TREAD DEPTH SHALL NOT BE GREATER THAN 3/8" THAN THE SHALLOWEST TREAD
  - 5/8" TYPE X GWB AT WALLS AND SOFFITS OF ENCLOSED USABLE SPACE UNDER STAIRS. DRAFT STOP BLOCKS AT STUDS BEHIND STRINGER WHERE GWB IS NOT CONTINUOUS.
  - WOOD STAIRS TO BE 1 1/8" PLYWOOD SCREWED 3" ON CENTER AND GLUED AT ALL JOINTS WITH UNDERLAYMENT ADHESIVE AT INTERIOR. SEE EXTERIOR STAIR NOTES FOR ADDITIONAL NOTES

**GUARD AND HAND RAIL NOTES:**

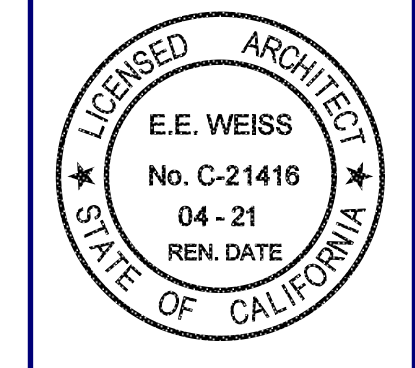
- HANDRAILS** TO BE 36" ABOVE NOSING, BRACKETS INTO FRAMING OR BLOCKING, EXTEND 6" TOP & BOTTOM. 1 1/2" DIAMETER CROSS-SECTION. RAIL TO WITHSTAND 200 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ON RAIL, TYPICAL
- GUARDS** TO BE 42" ABOVE FINISH AND SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP, AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING

- INTERMEDIATE RAILS** (ALL THOSE EXCEPT THE HANDRAIL), BALUSTERS AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FOOT, INCLUDING OPENINGS AND SPACE BETWEEN RAILS



**E.E. WEISS Architects, Inc.**  
 21 Corte Madera Ave.  
 Mill Valley, CA 94941  
 admin@eeveiss.com  
 Tel 415.381.8700

HISTORY	BY
PLANNING PERMIT 2018-0628-3235	



**FOURTH - ROOF PLANS**  
**SITE PERMIT SET**  
 (NOIPDR #2, R04T - RESPONSE)

**2175 HAYES ST**  
 SAN FRANCISCO, CA 94117  
 ASSESSOR'S PARCEL: 12121022

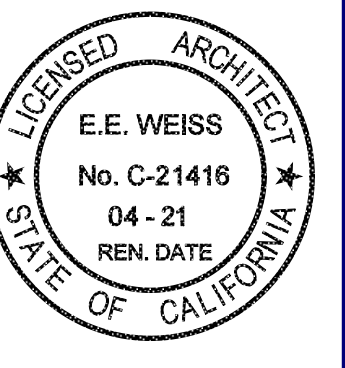
Date: 11/6/19  
 Time: 1:18:06 PM

06 NOV 19

**A2.3**



HISTORY	BY
PLANNING PERMIT 2018-0628-3235	



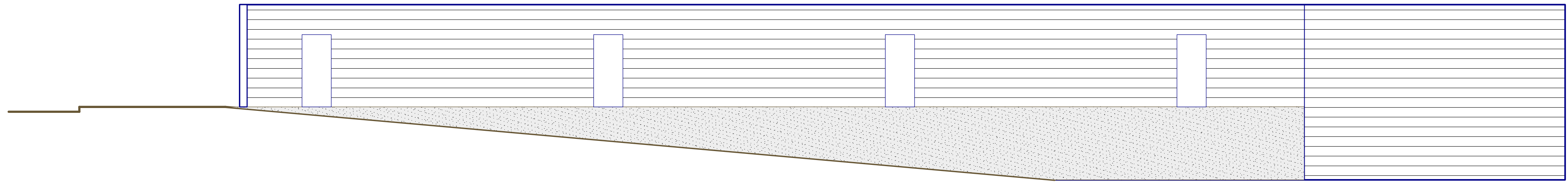
EXISTING ELEVATIONS  
 SITE PERMIT SET  
(NOFDR #2, R.DAT - RESPONSE)

2175 HAYES ST  
SAN FRANCISCO, CA 94117  
 ASSESSOR'S PARCEL: 1212022

Date: 11/6/19  
 Time: 1:18:06 PM

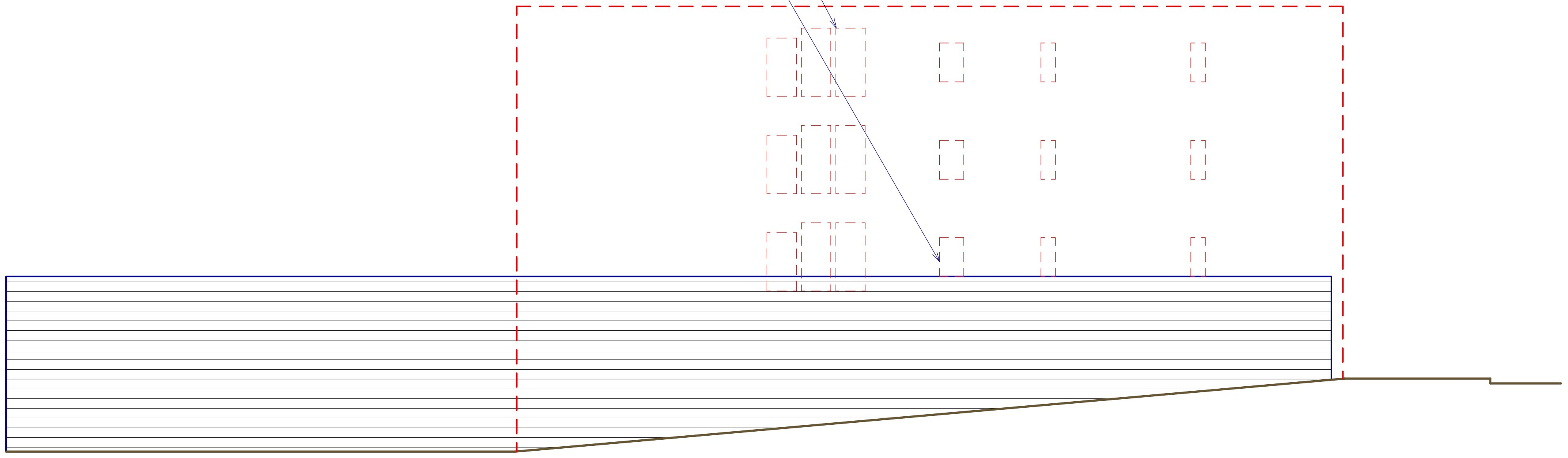
06 NOV 19

**A3.0**



**2** EXISTING WEST ELEVATION  
 A3.0 Scale: 1/8" = 1'-0"

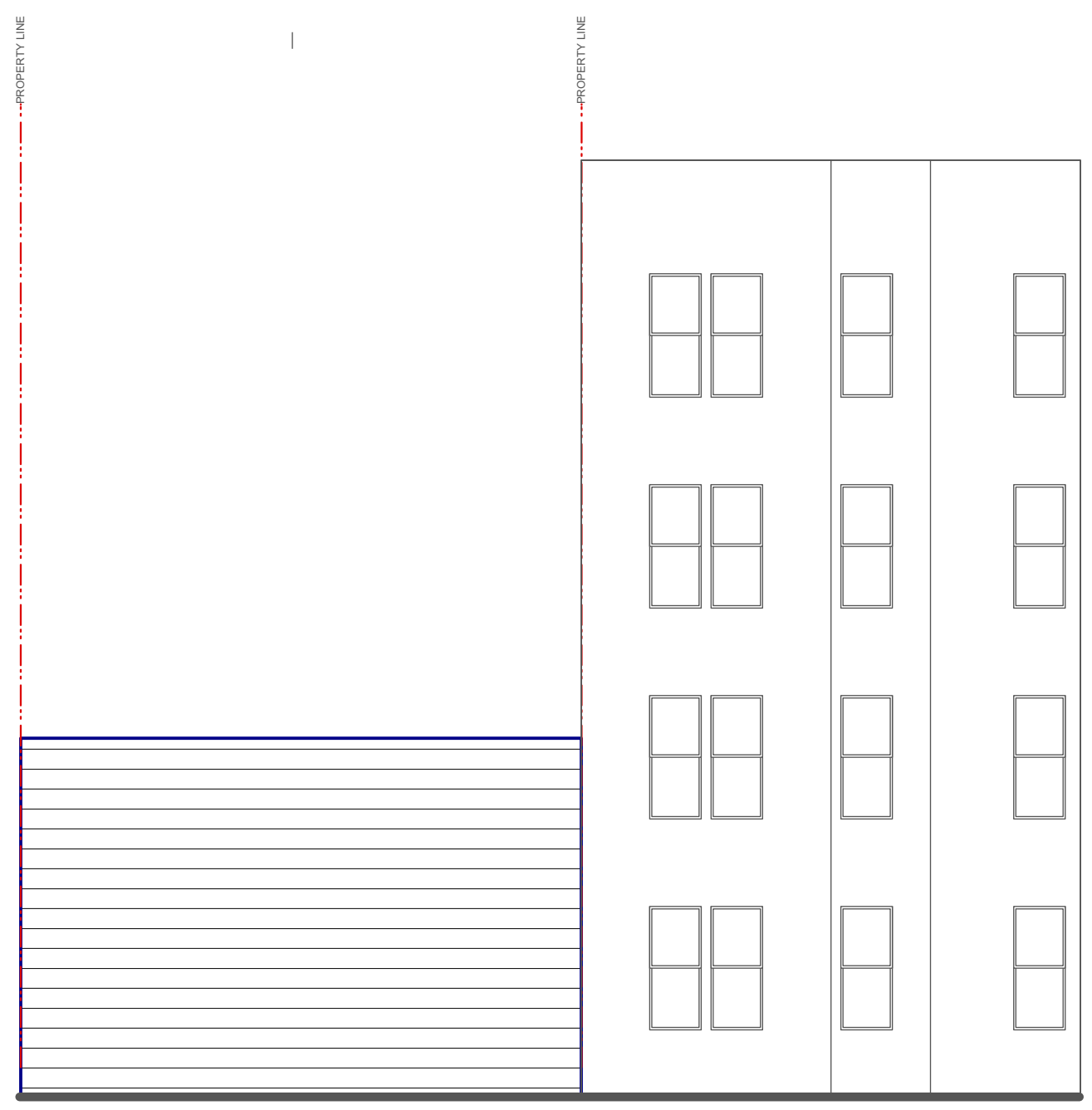
NEIGHBORING BUILDING  
 ENCLOSED PORCH; NOT  
 LIVING SPACE.  
 NEIGHBORING LIVING  
 SPACE WINDOWS



**1** EXISTING EAST ELEVATION  
 A3.0 Scale: 1/8" = 1'-0"

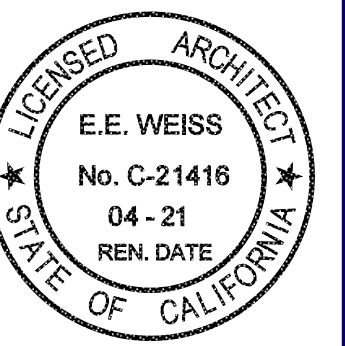


**4** EXISTING NORTH ELEVATION  
 A3.0 Scale: 1/8" = 1'-0"



**3** EXISTING SOUTHELEVATION  
 A3.0 Scale: 1/8" = 1'-0"

HISTORY	BY
PLANNING PERMIT 2018-0628-3235	



**FRONT & REAR ELEVATIONS**  
**SITE PERMIT SET**  
(NOFDR #2, RDAT - RESPONSE)

**2175 HAYES ST**  
SAN FRANCISCO, CA 94117  
ASSESSOR'S PARCEL: 12121022

Date: 11/6/19  
Time: 1:18:06 PM

06 NOV 19

**A3.1**

**FINISH SCHEDULE:**

- 1 WALLS: 12" WIDE PLANK SIDING, PAINTED
- 2 WALLS: STUCCO
- 3 6" T&G NATURAL WOOD
- 4 GLAVANIZED FLASHING; PAINTED
- 5 WINDOWS AND DOORS; BRONZE ALUMINUM
- 6 AWNING
- 7 NOT USED
- 8 SOLID OVERHANG
- 9 THIN SET STONE TILE
- 10 PT PLYWOOD BLIND WALL

**HIGH PROFILE WINDOW SECTION**  
SEE 3/A3.2  
EXTERIOR FENESTRATION AND FINISHES TO MEET U-FACTOR IN TITLE -24 ENERGY REPORT, TYPICAL

ROUND BAY WINDOW



**GUARDRAIL NOTES:**  
42" MIN. HEIGHT ABOVE HIGHEST FLOOR/DECK LEVEL;  
SPACE ALL INTERMEDIATE RAILS TO PREVENT A  
4" SPHERE FROM PASSING THROUGH RAIL.  
GUARDRAIL TO BE REDWOOD OR CEDAR  
REFER TO STRUCT DWGS/CALCS. 2x2 HORIZONTAL RAILS  
WITH 4x4 POSTS  
SEE ADDITIONAL NOTES SHEET A0.1

**CONCRETE PLASTER (STUCCO) NOTES:**  
1 SCRATCH, BROWN, AND TOP COAT ON WIRE  
FABRIC LATH OVER TWO LAYERS CLASS 'D' (MIN.)  
BUILDING PAPER.  
2 PROVIDE 26ga MIN. WEEP SCREED AT ALL EDGES  
TERMINATING AT THE FOUNDATION  
'J' MOULDINGS AT ALL EDGES  
3 FLASH ALL WINDOW AND DOOR OPENINGS WITH  
'ICE & WATER SHIELD' BY WR GRACE Co.  
OR APPROVED EQUAL  
4 WEEP SCREED AT BOTTOM, HORIZONTAL EDGES  
5 DEEP SCORE IN SCRATCH COAT WHERE  
INDICATED

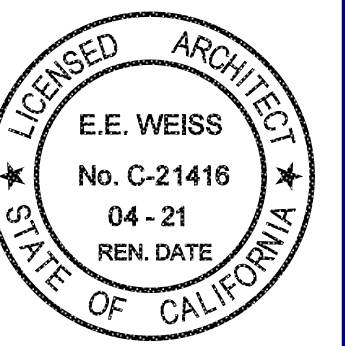
1 PROPOSED NORTH (STREET) ELEVATION  
A3.1 Scale: 1/4" = 1'-0"

2 PROPOSED SOUTH (REAR) ELEVATION  
A3.1 Scale: 1/4" = 1'-0"

**ILLUMINATED HOUSE NUMBER**  
SIEDLE VIDEO ENTRY SYSTEM  
WITH INTEGRAL MAILBOXES

RED 10" TRIANGLE WITH 3" WHITE 'FR'  
FIRE BELL WITH FD REQUIRED SIGN

HISTORY	BY
PLANNING PERMIT 2018-0628-3235	



**SIDE ELEVATIONS**  
**SITE PERMIT SET**  
(NOT FOR #2, R.DAT - RESPONSE)

**2175 HAYES ST**  
SAN FRANCISCO, CA 94117  
ASSESSOR'S PARCEL: 12121022

Date: 11/6/19  
Time: 1:18:06 PM

06 NOV 19

**A3.2**

- FINISH SCHEDULE:**
- 1 WALLS: 12" WIDE PLANK SIDING, PAINTED
  - 2 WALLS: STUCCO
  - 3 6" T&G NATURAL WOOD
  - 4 GALVANIZED FLASHING; PAINTED
  - 5 WINDOWS AND DOORS; BRONZE ALUMINUM
  - 6 METAL SUNSHADE
  - 7 NOT USED
  - 8 SOLID OVERHANG
  - 9 THIN SET STONE TILE
  - 10 PT PLYWOOD BLIND WALL

EXTERIOR FENESTRATION AND FINISHES TO MEET U-FACTOR IN TITLE -24 ENERGY REPORT, TYPICAL

1 HR. CONSTRUCTION WITHIN 60" OF PROPERTY LINE AND UNDER ALL BAY WINDOWS.

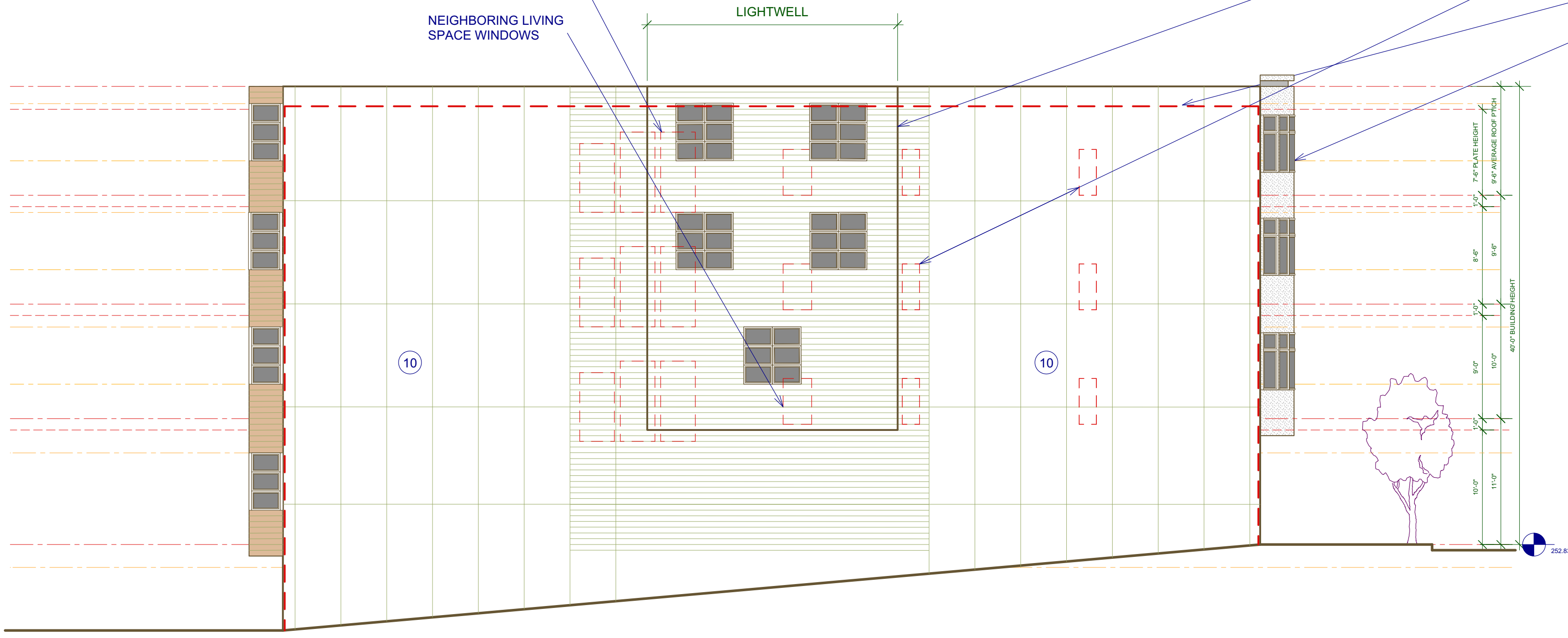
- PROPERTY LINE WALL NOTES**
- 1 ALL WALLS WITHIN 60" OF PROPERTY LINE TO BE ONE-HOUR; CONTINUOUS 5/8" GWB BOTH SIDE OF WALLS. FIRE TAPE WHERE TONGUE AND GROVE NOT USED.
  - 2 DECAY RESISTANT FINISHES; REDWOOD, CEDAR PRESSURE TREATED PLYWOOD, TYP. ACCESSIBLE SIDES MAY HAVE AN ADDITIONAL LAYER OF SIDING.
  - 3 2" BAR FLASHING AT ALL HORIZONTAL NON-LAPPED SEAMS.
  - 4 EXPOSED WALLS TO BE FINISHED; METAL OR CEMENTIOUS SIDING OR STUCCO WITH MAINTENANCE FREE FINISH



OBSCURE GLAZING AT WINDOWS IN COMMON AREAS

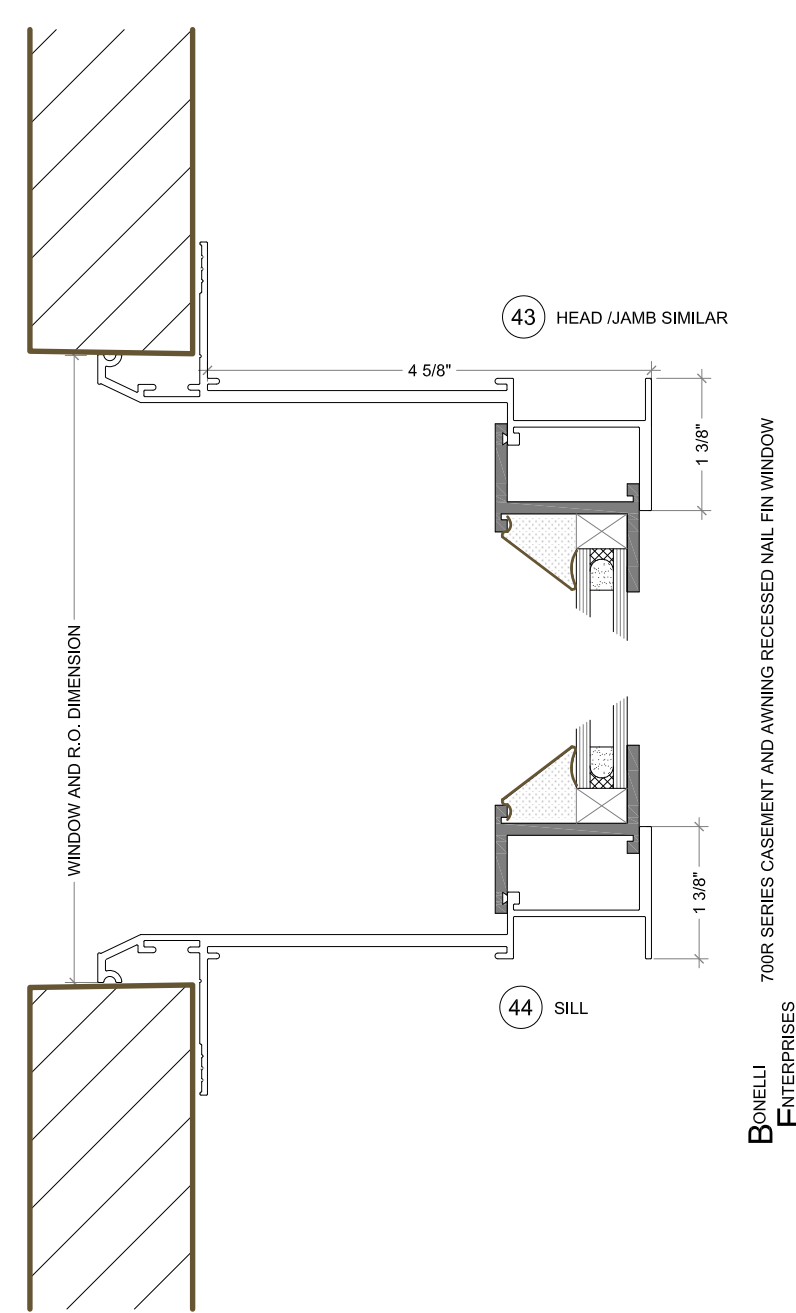
**1 PROPOSED WEST ELEVATION**  
A3.2 Scale: 1/8" = 1'-0"

- SUBJECT PROPERTY WINDOWS TO HAVE OBSCURE GLAZING FOR PRIVACY
- THESE WINDOWS SET ON 45 DEGREE ANGLE TO PROPERTY LINE
- NEIGHBORING BUILDING SHOWN DASHED
- BAY WINDOW



- NEIGHBORING BUILDING ENCLOSED PORCH; NOT LIVING SPACE.
- NEIGHBORING LIVING SPACE WINDOWS

**1 PROPOSED EAST ELEVATION**  
A3.2 Scale: 1/8" = 1'-0"

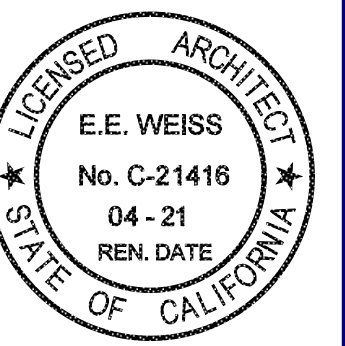


**3 HIGH PROFILE WINDOW SECTION**  
A3.2 NO SCALE

**FIRE RATING AND CONSTRUCTION TYPE KEY**

- TYPE V: 1-HOUR (MINIMUM RATING) WALL & CEILING
- TYPE V: 2-HOUR WALLS AND CEILING

HISTORY	BY
PLANNING PERMIT 2018-0628-3235	



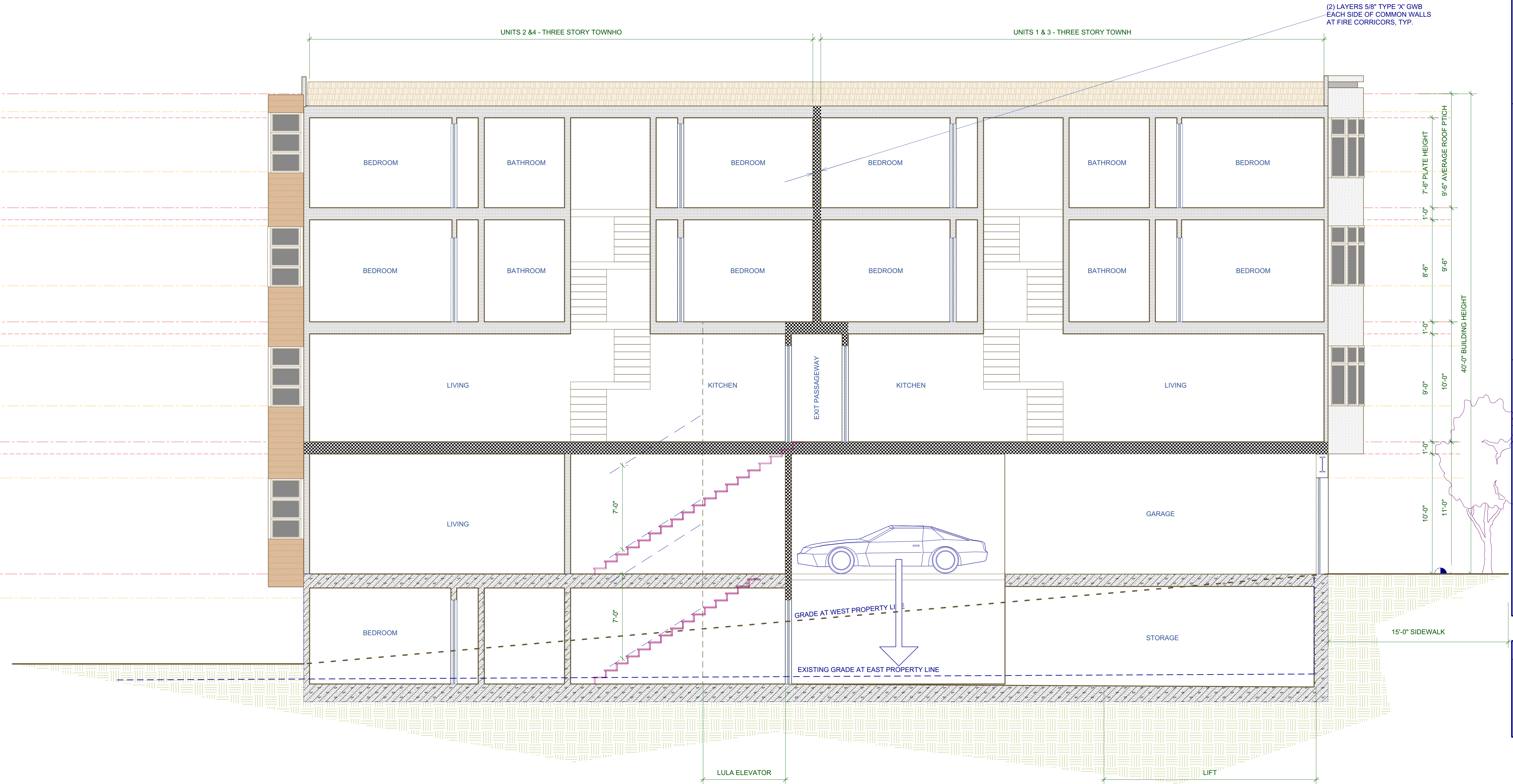
**SECTION**  
**SITE PERMIT SET**  
(NOIPDR #2, R.DAT - RESPONSE)

**2175 HAYES ST**  
 SAN FRANCISCO, CA 94117  
 ASSESSOR'S PARCEL: 12121022

Date: 11/6/19  
 Time: 1:18:06 PM

06 NOV 19

**A4.1**



252.83







# SAN FRANCISCO PLANNING DEPARTMENT

EXHIBIT C

## CEQA Categorical Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

<b>Project Address</b>		<b>Block/Lot(s)</b>
2175 HAYES ST		1212022
<b>Case No.</b>		<b>Permit No.</b>
2018-009157PRJ		201806283235
<input checked="" type="checkbox"/> <b>Addition/ Alteration</b>	<input type="checkbox"/> <b>Demolition (requires HRE for Category B Building)</b>	<input checked="" type="checkbox"/> <b>New Construction</b>
<p><b>Project description for Planning Department approval.</b>          Demolition of an existing one-story dental office and construction of a new four story, four unit residential building with an Accessory Dwelling Unit at the ground floor.</p>		

### STEP 1: EXEMPTION CLASS

<b>The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).</b>	
<input checked="" type="checkbox"/>	<b>Class 1 - Existing Facilities.</b> Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	<b>Class 3 - New Construction.</b> Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p><b>Class 32 - In-Fill Development.</b> New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p><b>FOR ENVIRONMENTAL PLANNING USE ONLY</b></p>
<input type="checkbox"/>	<b>Class ____</b>

## STEP 2: CEQA IMPACTS

### TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	<p><b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Air Pollution Exposure Zone)</p>
<input checked="" type="checkbox"/>	<p><b>Hazardous Materials:</b> If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential?</p> <p><i>if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap &gt; Maher layer).</i></p>
<input type="checkbox"/>	<p><b>Transportation:</b> Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input type="checkbox"/>	<p><b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? If yes, archeo review is required (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Archeological Sensitive Area)</p>
<input type="checkbox"/>	<p><b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Topography). If yes, Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p><b>Slope = or &gt; 25%:</b> Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Topography) <b>If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</b></p>
<input type="checkbox"/>	<p><b>Seismic: Landslide Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Seismic Hazard Zones) <b>If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</b></p>
<input type="checkbox"/>	<p><b>Seismic: Liquefaction Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Seismic Hazard Zones) <b>If box is checked, a geotechnical report will likely be required and Environmental Planning must issue the exemption.</b></p>
<p><b>Comments and Planner Signature (optional):</b> Laura Lynch Maher enrollment 5/14/2019</p>	



**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE  
TO BE COMPLETED BY PROJECT PLANNER**

<b>PROPERTY IS ONE OF THE FOLLOWING:</b> (refer to Property Information Map)	
<input type="checkbox"/>	<b>Category A:</b> Known Historical Resource. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	<b>Category B:</b> Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>
<input checked="" type="checkbox"/>	<b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b>

**STEP 4: PROPOSED WORK CHECKLIST  
TO BE COMPLETED BY PROJECT PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. <b>Change of use and new construction.</b> Tenant improvements not included.
<input type="checkbox"/>	2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
<b>Note: Project Planner must check box below before proceeding.</b>	
<input type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project <b>does not conform</b> to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW  
TO BE COMPLETED BY PROJECT PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. <b>Interior alterations to publicly accessible spaces.</b>
<input type="checkbox"/>	3. <b>Window replacement</b> of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. <b>Addition(s)</b> , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. <b>Other work consistent</b> with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. <b>Other work</b> that would not materially impair a historic district (specify or add comments):  (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. <b>Reclassification of property status.</b> (Requires approval by Senior Preservation Planner/Preservation <input type="checkbox"/> Reclassify to Category A <input type="checkbox"/> Reclassify to Category C a. Per HRER or PTR dated (attach HRER or PTR) b. Other (specify): Reclassification of property status to Category C under Case No. 2012.0001E on 9/5/12 by Michael Smith.
<b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.</b>	
<input type="checkbox"/>	<b>Project can proceed with categorical exemption review.</b> The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. <b>GO TO STEP 6.</b>
<b>Comments (optional):</b>	
<b>Preservation Planner Signature:</b>	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION  
TO BE COMPLETED BY PROJECT PLANNER**

<input checked="" type="checkbox"/>	<b>No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.</b>	
	<b>Project Approval Action:</b> Building Permit	<b>Signature:</b> Sylvia Jimenez
	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	11/04/2019
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.		

## STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

### TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

### PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
2175 HAYES ST		1212/022
Case No.	Previous Building Permit No.	New Building Permit No.
2018-009157PRJ	201806283235	
Plans Dated	Previous Approval Action	New Approval Action
	Building Permit	
Modified Project Description:		

### DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
<b>If at least one of the above boxes is checked, further environmental review is required.</b>	

### DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination.	
Planner Name:	Date:



# SAN FRANCISCO PLANNING DEPARTMENT

EXHIBIT D

## Land Use Information

PROJECT ADDRESS: 2175 HAYES STREET  
RECORD NO.: 2018-009157CUA

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

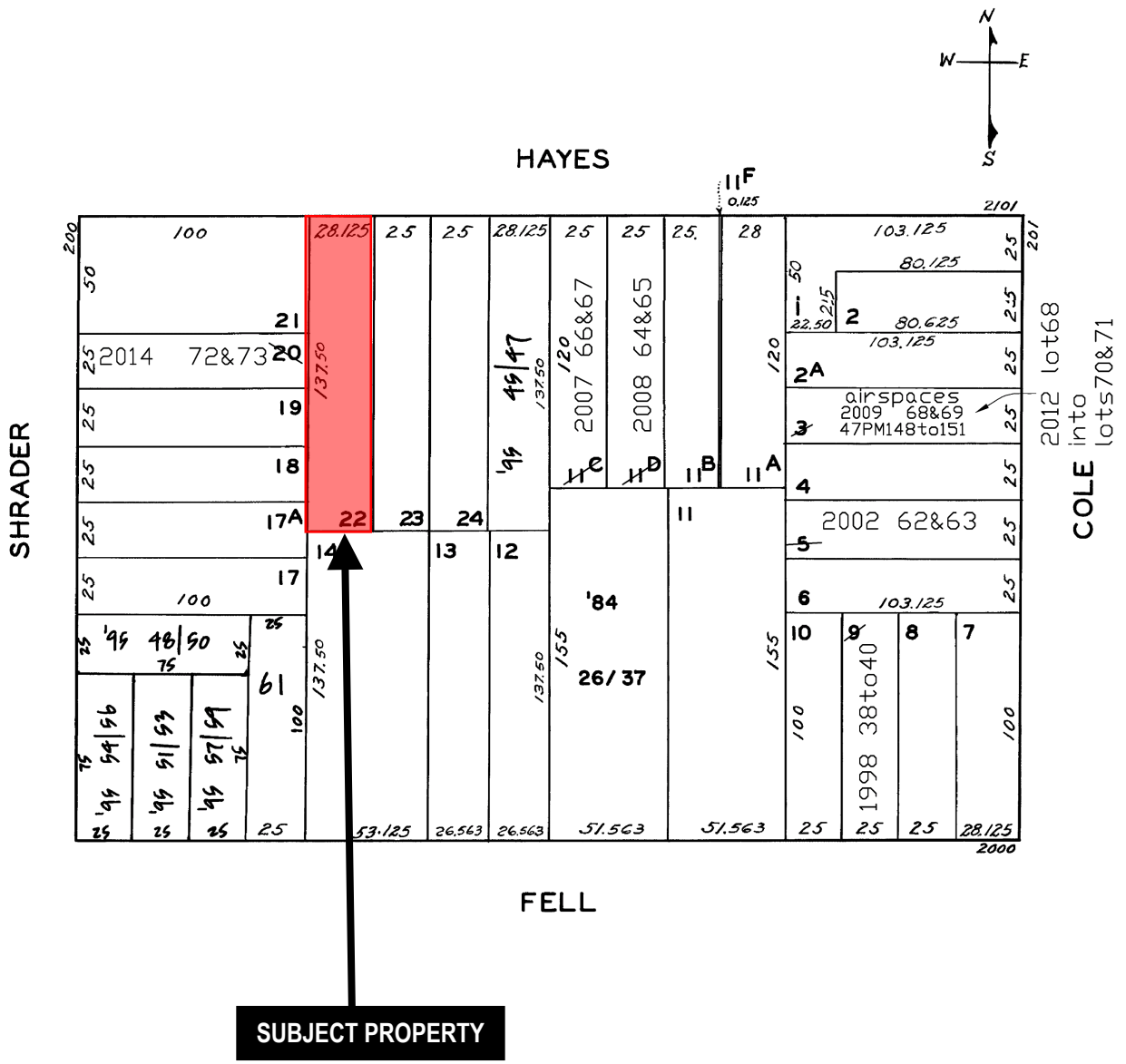
Planning  
Information:  
**415.558.6377**

	EXISTING	PROPOSED	NET NEW
<b>GROSS SQUARE FOOTAGE (GSF)</b>			
Parking GSF	0	730	730
Residential GSF	-	10,063	10,063
Retail/Commercial GSF	3,260	0	0
Office GSF	-	-	-
Industrial/PDR GSF <i>Production, Distribution, &amp; Repair</i>	-	-	-
Medical GSF	-	-	-
Visitor GSF	-	-	-
CIE GSF	-	-	-
Usable Open Space	-	-	-
Public Open Space	-	-	-
<b>TOTAL GSF</b>	<b>3,260</b>	<b>10,793</b>	<b>10,793</b>
	<b>EXISTING</b>	<b>NET NEW</b>	<b>TOTALS</b>
<b>PROJECT FEATURES (Units or Amounts)</b>			
Dwelling Units - Affordable	0		
Dwelling Units - Market Rate	0	5	5
Dwelling Units - Total	0	5	5
Hotel Rooms	-	-	-
Number of Buildings	1	0	1
Number of Stories	1	3	4
Parking Spaces	0	4	4
Loading Spaces	0	0	0
Bicycle Spaces	0	5	5
Car Share Spaces	-	-	-

**EXHIBIT E**

**Maps and Context Photos for 2175 Hayes**

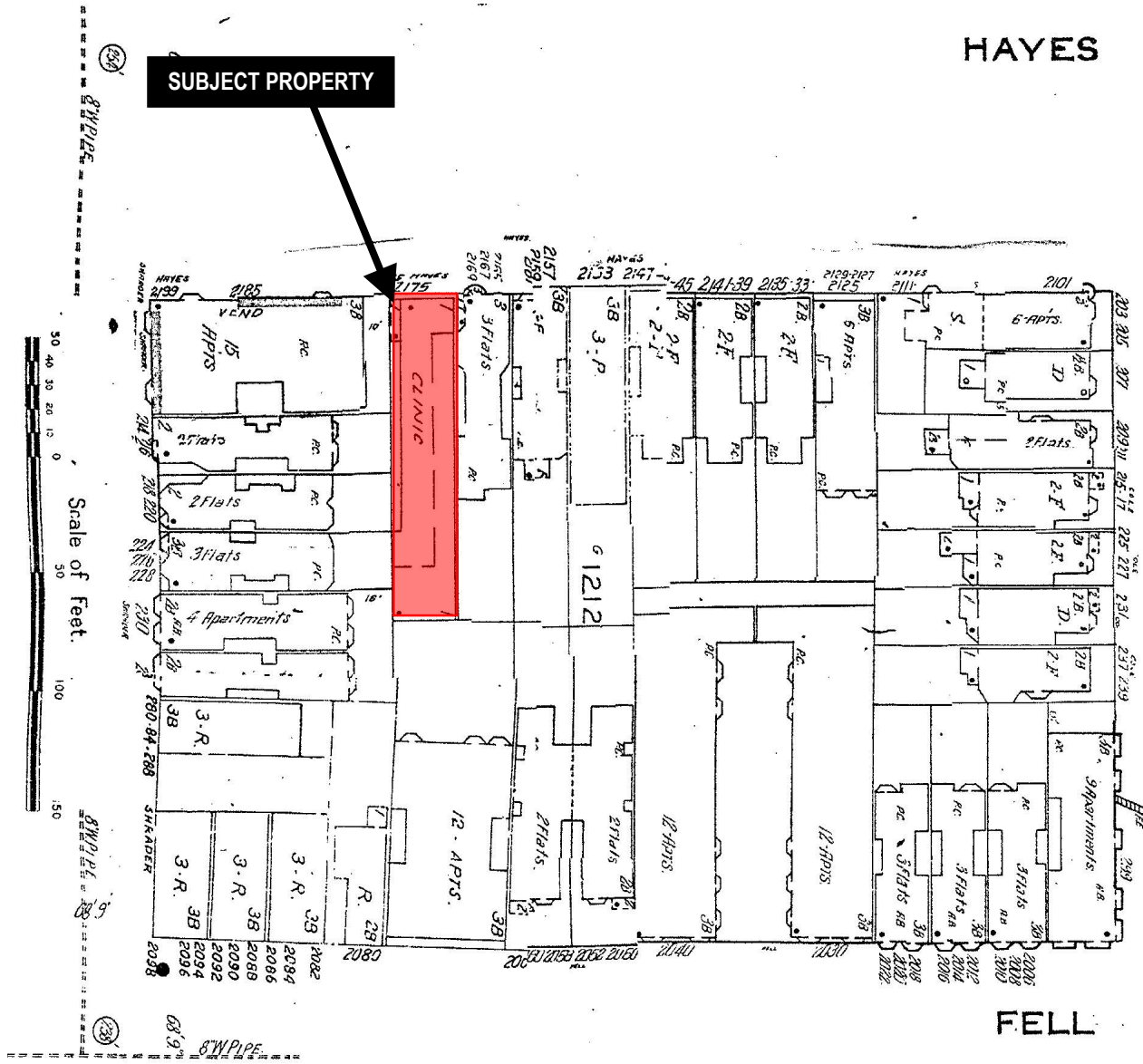
# Block Book Map



Conditional Use Authorization Hearing  
 Case Number 2018-009157CUA  
 2175 Hayes Street



# Sanborn Map\*

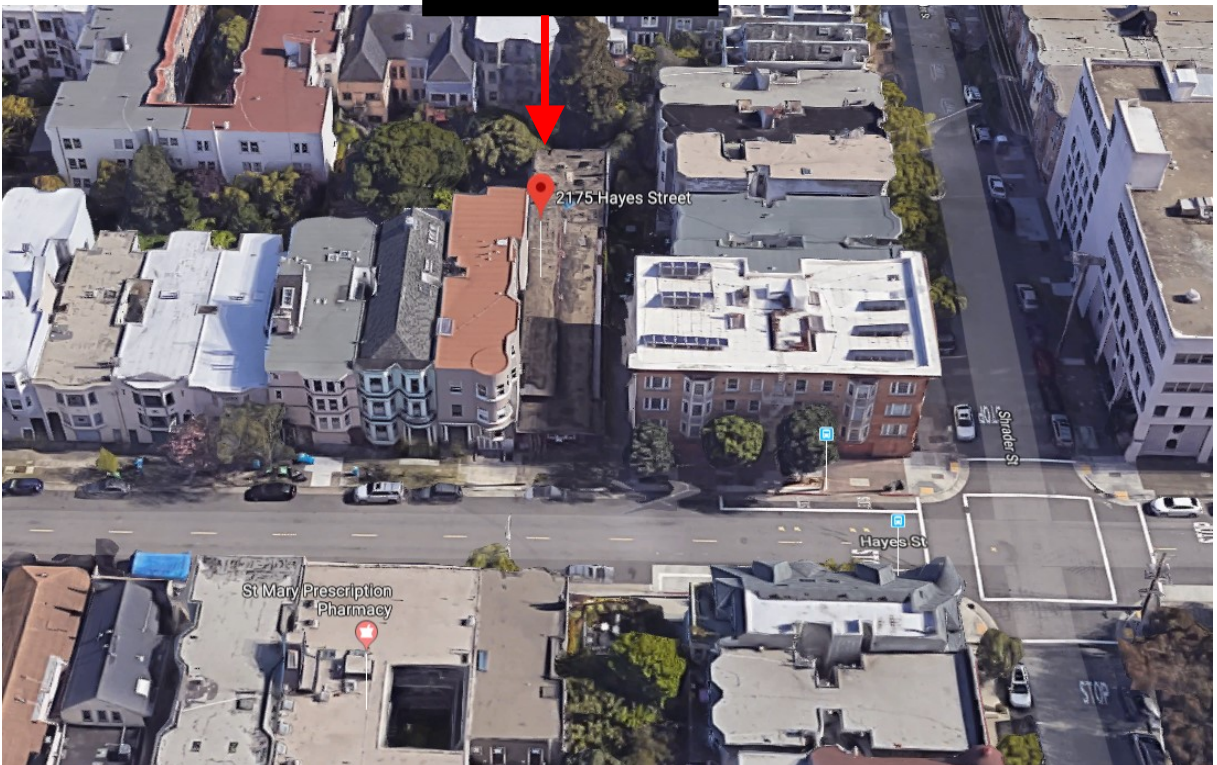
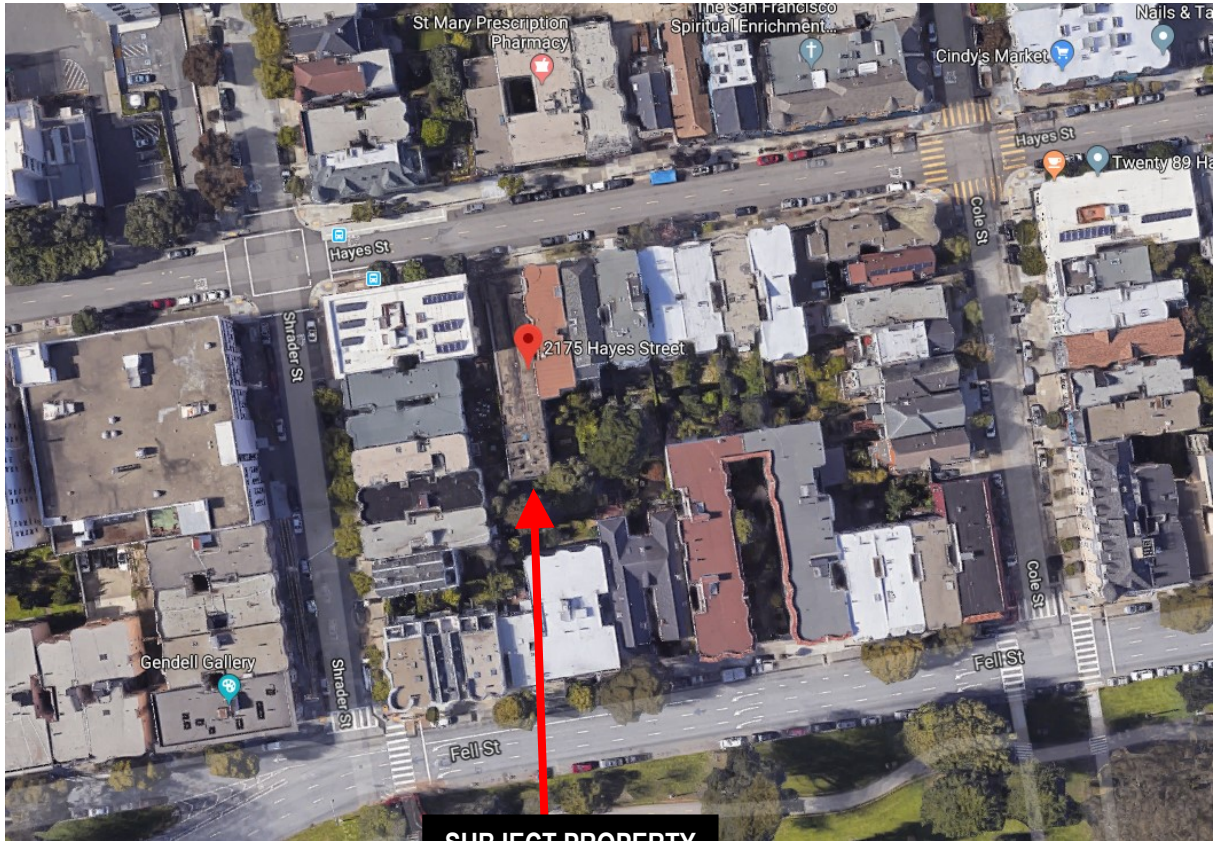


\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Conditional Use Authorization Hearing  
Case Number 2018-009157CUA  
2175 Hayes Street

# Site Photo



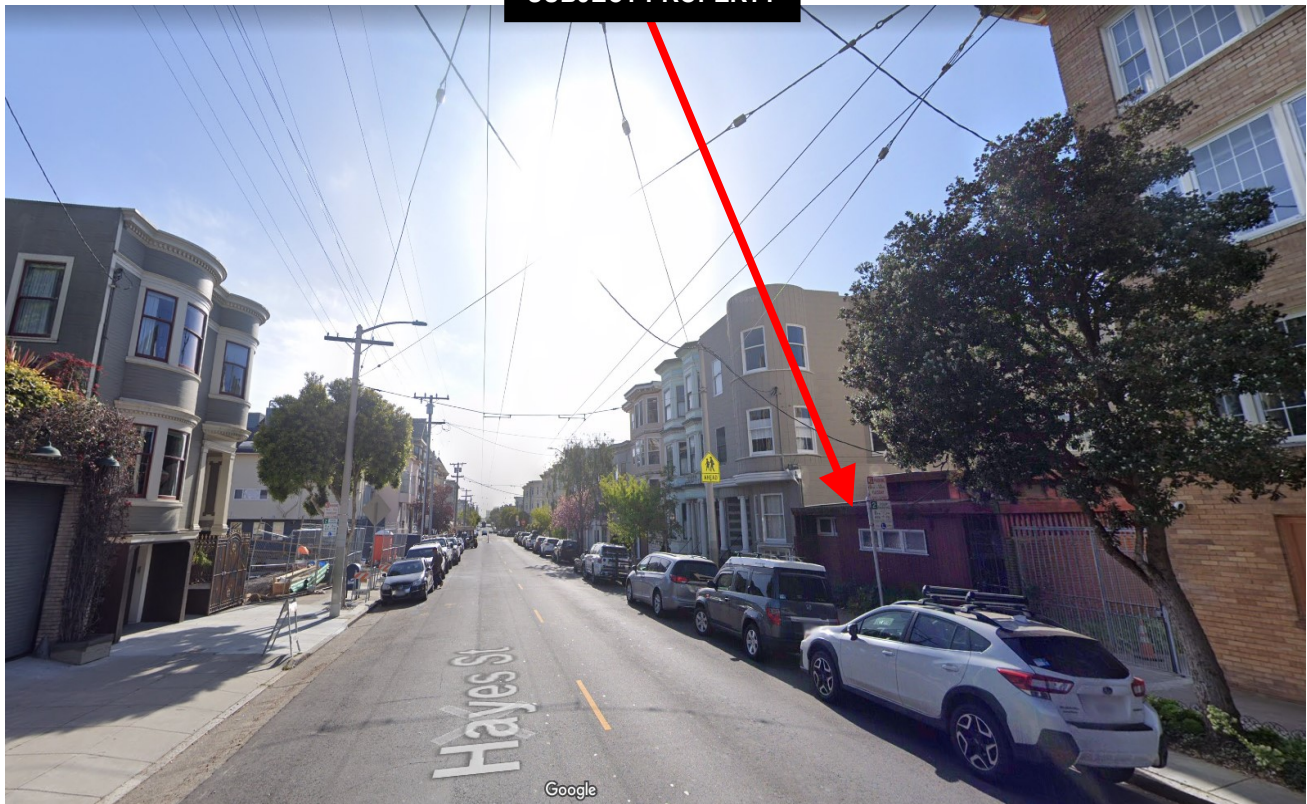
Conditional Use Authorization Hearing  
Case Number 2018-009157CUA  
2175 Hayes Street



# Context Photos

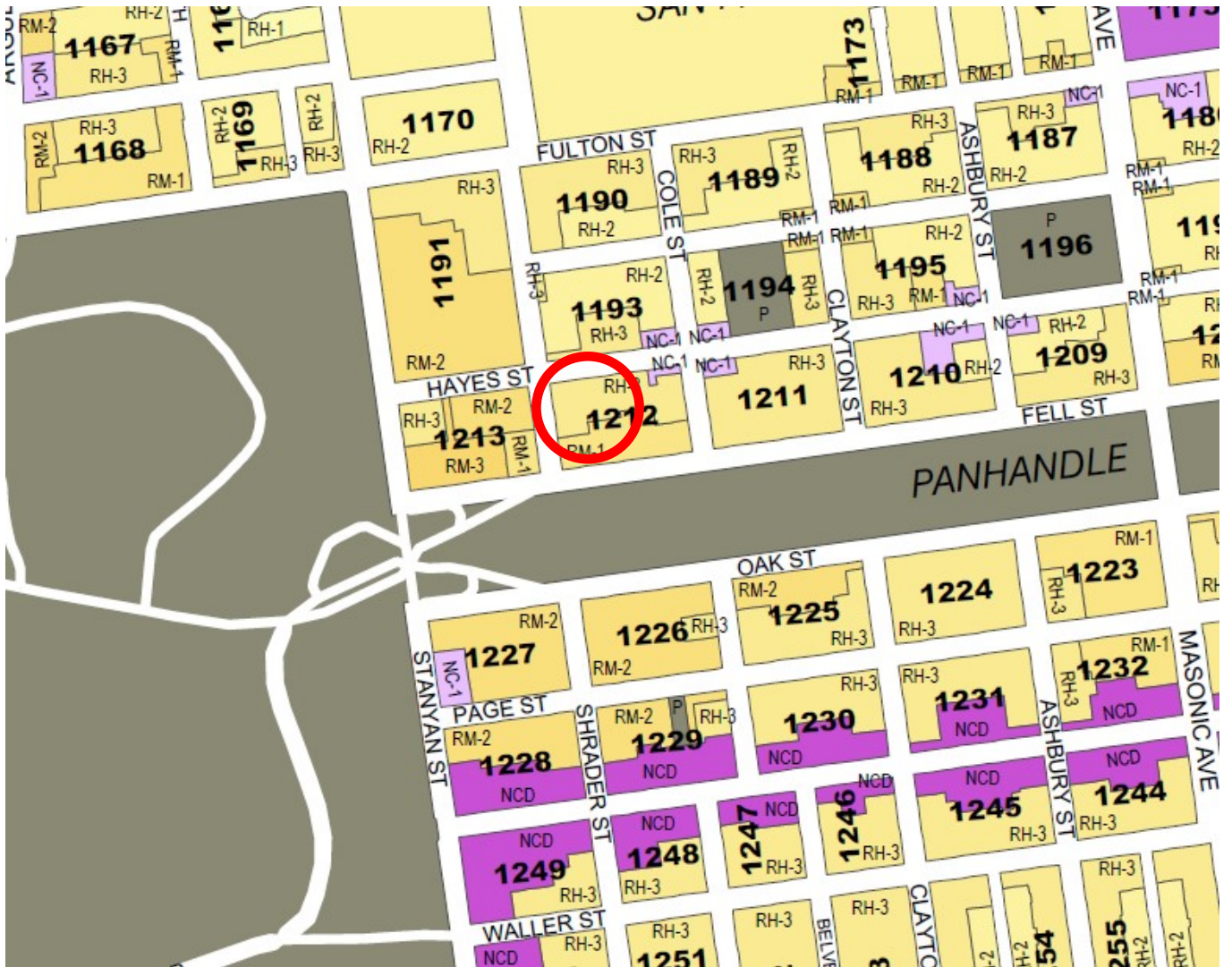


**SUBJECT PROPERTY**



Conditional Use Authorization Hearing  
Case Number 2018-009157CUA  
2175 Hayes Street

# Zoning Map



Conditional Use Authorization Hearing  
Case Number 2018-009157CUA  
2175 Hayes Street