



# SAN FRANCISCO PLANNING DEPARTMENT

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## Executive Summary Conditional Use

HEARING DATE: 01/24/2019

*Record No.:* 2018-008877CUA  
*Project Address:* 1519 POLK ST  
*Zoning:* NCD (Polk Street Neighborhood Commercial District)  
65-A Height and Bulk District  
Fringe Financial Service Restricted Use District  
*Block/Lot:* 0643/004  
*Applicant:* Sabrina Thillard  
1400 43rd Avenue, San Francisco, Ca 94122  
*Staff Contact:* Dori Ganetsos – (415) 575-9172  
[dori.ganetsos@sfgov.org](mailto:dori.ganetsos@sfgov.org)  
*Recommendation:* **Approval with Conditions**

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### PROJECT DESCRIPTION

The Project seeks to establish a bar use (wine and cheese bar DBA ORA) in an existing and vacant retail storefront (approximately 805 square feet in area at the first floor level of the building with a 575 square foot basement storage area) in an existing four story, mixed use residential and commercial building. There are four other occupied first floor commercial storefront spaces in the building. Interior tenant improvements, a new business sign, and window replacement at the front façade of the building are associated with this proposal.

### REQUIRED COMMISSION ACTION

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization to allow a bar use at the first floor of a building in the Polk Street Neighborhood Commercial District.

### ISSUES AND OTHER CONSIDERATIONS

- **Public Comment & Outreach.** The Department has not received any public comment or outreach regarding this proposal to date.
- **Eating and Drinking Uses in the Polk Street NCD.** Planning Code Section 303(o) establishes a threshold of 35% when evaluating the concentration of eating and drinking uses within the Polk Street NCD.

## **BASIS FOR RECOMMENDATION**

The Department finds that the Project is, on balance, consistent with the Objectives and Policies of the Planning Code and General Plan.

- This project would activate a commercial storefront that has been vacant since approximately June 2017, thus increasing employment opportunities for local residents and contributing to the viability of the overall Polk Street NCD, without displacing any existing retail tenants in this neighborhood.
- The proposed bar use would be locally-owned, would serve the immediate neighborhood, and would not establish a Formula Retail use.
- A recent field study estimated that approximately 19.65% of commercial frontage zoned Polk Street NCD and within 300 linear feet of the subject property is currently devoted to eating and drinking uses, well below the 35% threshold for this zoning district. The Project would slightly increase this concentration to 20.08%, still below the 35% threshold.
- The Department finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

## **ATTACHMENTS:**

Draft Motion – Conditional Use Authorization  
Exhibit A – Conditions of Approval  
Exhibit B – Plans and Renderings  
Exhibit C – Environmental Determination  
Exhibit D – Project Application and Land Use Data  
Exhibit E – Maps and Context Photos  
Exhibit F - Project Sponsor Brief



# SAN FRANCISCO PLANNING DEPARTMENT

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## Planning Commission Draft Motion

HEARING DATE: JANUARY 24, 2019

*Record No.:* **2018-008877CUA**  
*Project Address:* **1519 POLK STREET**  
*Zoning:* Polk Street NCD (Neighborhood Commercial) Zoning District  
65-A Height and Bulk District  
Fringe Financial Service Restricted Use District  
*Block/Lot:* 0643/004  
*Project Sponsor:* Sabrina Thillard  
1400 43<sup>rd</sup> Avenue  
San Francisco, CA 94122  
*Property Owner:* John Jenkel  
3325 Gravenstein Highway North  
Sebastopol, CA 95472  
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**ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 303 AND 723 FOR THE ESTABLISHMENT OF A BAR USE (DBA ORA) AT THE FIRST FLOOR WITHIN THE POLK STREET NCD (NEIGHBORHOOD COMMERCIAL) ZONING DISTRICT AND 65-A HEIGHT AND BULK DISTRICT.**

### PREAMBLE

On July 19, 2018, Sabrina Thillard of Nonovi, LLC (hereinafter "Project Sponsor") filed Application No. 2018-008877CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization to establish a bar use at the first floor of an existing, four-story, mixed-use building (hereinafter "Project") at 1519 Polk Street, Block 0643 Lot 004 (hereinafter "Project Site").

On January 24, 2019, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noted public hearing at a regularly scheduled meeting on Conditional Use Application No. 2018-008877CUA.

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2018-008877CUA is located at 1650 Mission Street, Suite 400, San Francisco, California.

On January 14, 2019 the Project was determined to be exempt from the California Environmental Quality Act ("CEQA") as a Class 3 Categorical Exemption under CEQA as described in the determination contained in the Planning Department files for this Project.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use as requested in Application No. 2018-008877CUA, subject to the conditions contained in “EXHIBIT A” of this motion, based on the following findings:

## FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.

**Project Description.** The proposal is for the establishment of a bar use (wine and cheese bar DBA ORA) in an existing and vacant retail storefront (approximately 805 square feet in area at the first floor level of the building with a 575 square foot basement storage area) in an existing four story, mixed use building. Interior tenant improvements, a new business sign, and window replacement at the front façade of the building are associated with this proposal. The establishment proposes to maintain the following business hours: Sunday, Tuesday, Wednesday and Thursday from 4:30 pm – 11:30 pm and from 4:30 pm – 1:00 am on Friday and Saturday. The business will not be open on Mondays.

The proposed use is an independent use and locally owned, which is encouraged throughout San Francisco. The proposed use is not a Formula Retail use. The proposal requires a change of use, and Section 311-neighborhood notification was conducted in conjunction with the Conditional Use Authorization process.

2. **Site Description and Present Use.** The approximately 6,952 square foot subject property is located on the West side of Polk Street at the corner of California Street; Lot 004 of Assessor’s Block 0643 (District 3). The property is developed with a four story, mixed use residential and commercial building with a total of five commercial tenant spaces at the first floor, one of which is the vacant subject tenant space. There are 29 existing dwelling units located on the second through fourth stories of the building which will not be impacted by this proposal. The building, constructed in 1914, is considered an “A” Historic Resource. The subject space, last utilized as a retail establishment, has been vacant since approximately June 2017.

The subject tenant space is approximately 1,380 square feet, with 805 square feet on the first floor and 575 square feet at the basement level, to be used as tenant storage. The tenant space has frontage on Polk Street.

3. **Surrounding Properties and Neighborhood.** The Project Site is located within the Polk Street Neighborhood Commercial (NCD) Zoning District, the 65-A Height and Bulk District, and the Nob



Hill neighborhood, adjacent to the Pacific Heights and Western Addition neighborhoods. The Residential-Commercial, High Density (RC-4) Zoning District is located to the West and South of the subject property and the Residential-Mixed, Medium Density (RM-3) Zoning District is located to the East of the subject property.

The immediate neighborhood includes mixed-use developments, with commercial tenant spaces located at the first floor and residential units located at the remaining floors. The neighborhood includes a mix of land uses including restaurants, financial services, institutional community uses, retail stores, and personal services.

4. **Public Outreach and Comments.** The Department has not received any public outreach or comments to date.
5. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Use Size.** Planning Code Section 723 principally permits non-residential uses to occupy 1,999 square feet of area. Non-residential uses occupying equal to or more than 2,000 square feet of area require the issuance of a Conditional Use Authorization.

*The subject tenant space is approximately 1,380 square feet in area and does not require the issuance of Conditional Use Authorization for use size.*

- B. **Hours of Operation.** Planning Code Section 723 principally permits business hours between 6 a.m. and 2 a.m. Operation outside of the listed business hours requires the issuance of a Conditional Use Authorization.

*The proposed hours of operation for this business are Sunday, Tuesday, Wednesday and Thursday from 4:30 pm – 11:30 pm and from 4:30 pm – 1:00 am on Friday and Saturday. The business will be closed on Mondays.*

- C. **Street Frontage in Neighborhood Commercial Districts.** Section 145.1 of the Planning Code requires that within NC Districts space for active uses shall be provided within the first 25 feet of building depth on the ground floor and 15 feet on floors above from any facade facing a street at least 30 feet in width. In addition, the floors of street-fronting interior spaces housing non-residential active uses and lobbies shall be as close as possible to the level of the adjacent sidewalk at the principal entrance to these spaces. Frontages with active uses that must be fenestrated with transparent windows and doorways for no less than 60 percent of the street frontage at the ground level and allow visibility to the inside of the building. The use of dark or mirrored glass shall not count towards the required transparent area. Any decorative railings or grillwork, other than wire mesh, which is placed in front of or behind ground floor windows, shall be at least 75 percent open to perpendicular view. Rolling or sliding security gates shall consist of open grillwork rather than solid material, so as to provide visual interest

to pedestrians when the gates are closed, and to permit light to pass through mostly unobstructed. Gates, when both open and folded or rolled as well as the gate mechanism, shall be recessed within, or laid flush with, the building facade.

*The Project would bring the subject property in to compliance with section 145.1 of the Planning Code by establishing an active use in this currently vacant tenant space at the first floor level. The remainder of the subject property's four first floor tenant spaces are currently devoted to active uses.*

6. **Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

*The Project is necessary and desirable for the neighborhood and community as it will activate an existing first floor tenant space that has been vacant for at least a year and a half. The Project is compatible with the active, pedestrian-oriented, and continuous commercial frontage character of the surrounding neighborhood. The Project would preserve and maintain the small-scale storefront pattern of this neighborhood. The neighborhood is currently active in to the evening with existing bar and restaurant uses, continuing a pattern of diverse uses.*

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

*The height and bulk of the existing building will remain the same and will not alter the existing appearance or character of the project vicinity. The proposed work will not affect the building envelope.*

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*The Planning Code does not require parking or loading for a 1,380 square foot bar use in this zoning district. The proposed use is designed to meet the needs of the immediate neighborhood and should not generate significant amounts of vehicular trips from the immediate neighborhood or citywide.*

*On-street parking is available adjacent to the subject site, and Code-compliant bicycle parking will be provided. It is anticipated that many visitors will visit the small, neighborhood-serving business on foot.*

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*The proposed use is subject to the standard conditions of approval for a bar use and outlined in Exhibit A. Condition 17 specifically obligates the project sponsor to mitigate odor and noise generated by the bar use.*

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

*The project does not require any additional landscaping or screening, and no new off-street parking spaces, loading spaces, open space, or service areas are proposed. Any proposed signage will be consistent with the controls of the Planning Code.*

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.*

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

*The Project is consistent with the stated purpose of the NCD District in that the intended gathering space for the neighboring community. It will preserve the small-scale and fine grain storefronts common in this Zoning District. Further, this proposal will establish an active use.*

7. **Planning Code Section 303(o)** establishes criteria for the Planning Commission to consider when reviewing applications for Eating and Drinking Uses Such concentration should not exceed 35 percent of the total commercial frontage as measured in linear feet within the immediate area of the subject site in the Polk Street NCD. For the purposes of this Section of the Code, the immediate area shall be defined as all properties located within 300' of the subject property and also located within the same zoning district. On balance, the project does comply with said criteria in that:

*There is approximately 2,580 linear feet of commercial frontage within 300 feet of the project site and in the same zoning district (Polk Street NCD). Approximately 507 linear feet or 19.65% of this commercial frontage is comprised of eating and drinking establishments. The change of use to a bar will add approximately 11.5*

*linear feet, increasing the eating and drinking establishment percentage to 20.08% within 300 feet of the project site. This is far below the threshold allowable of 35% for eating and drinking uses within the Polk Street NCD.*

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

## NEIGHBORHOOD COMMERCE

### Objectives and Policies

#### OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

##### Policy 1.1:

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development that has substantial undesirable consequences that cannot be mitigated.

##### Policy 1.2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

##### Policy 1.3:

Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

*The proposed development will provide desirable goods and services to the neighborhood and will provide resident employment opportunities to those in the community. The Project Site is located within a Neighborhood Commercial District with established diverse uses, including commercial retail, eating and drinking, professional retail services and mixed uses residential buildings, and is thus consistent with activities in the commercial land use plan. The Project would not result in undesirable consequence for the surrounding neighborhood.*

#### OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

##### Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

*The Project will not result in the loss of any existing commercial or industrial activity and will enhance the diverse economic base of the City. The existing storefront space is vacant, and this use would establish an active use.*

**OBJECTIVE 6:**

MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

**Policy 6.1:**

Ensure and encourage the retention and provision of neighborhood-serving goods and services in the city's neighborhood commercial districts, while recognizing and encouraging diversity among the districts.

*No commercial tenant would be displaced because the storefront space is currently vacant, and the project would not prevent the district from achieving optimal diversity in the types of goods and services available in the neighborhood.*

The following guidelines, in addition to others in this objective for neighborhood commercial districts, should be employed in the development of overall district zoning controls as well as in the review of individual permit applications, which require case-by-case review and City Planning Commission approval. Pertinent guidelines may be applied as conditions of approval of individual permit applications. In general, uses should be encouraged which meet the guidelines; conversely, uses should be discouraged which do not.

**Eating and Drinking Establishments**

Eating and drinking establishments include bars, sit-down restaurants, fast food restaurants, self-service restaurants, and take-out food. Associated uses, which can serve similar functions and create similar land use impacts, include ice cream stores, bakeries and cookie stores. Guidelines for eating and drinking establishments are needed to achieve the following purposes:

- Regulate the distribution and proliferation of eating and drinking establishments, especially in districts experiencing increased commercial activity;
- Control nuisances associated with their proliferation;
- Preserve storefronts for other types of local-serving businesses; and
- Maintain a balanced mix of commercial goods and services.
- The regulation of eating and drinking establishments should consider the following:
  - Balance of retail sales and services;
  - Current inventory and composition of eating and drinking establishments;
  - Total occupied commercial linear frontage, relative to the total district frontage;
  - Uses on surrounding properties;
  - Available parking facilities, both existing and proposed;
  - Existing traffic and parking congestion; and
  - Potential impacts on the surrounding community.

*There may be concern with the potential over-concentration of eating and drinking establishments in this Zoning District. The Commerce and Industry Element of the General Plan contains Guidelines for Specific Uses. For eating and drinking establishments, the Guidelines state, "the balance of commercial uses may be threatened when eating and drinking establishments occupy more than 20% of the total occupied commercial frontage." Planning staff verified the Project Sponsor's site survey of the Polk Street NCD which contains the proposed building. With the proposed bar use, approximately 20.08% of the frontage of this Zoning District within 300 linear feet of the subject property is attributed to eating and drinking establishments.*

**Policy 6.2:**

Promote economically vital neighborhood commercial districts which foster small business enterprises and entrepreneurship and which are responsive to the economic and technological innovation in the marketplace and society.

*An independent entrepreneur is sponsoring this proposal. The proposed use is proposed within an active space approximately 800 square feet in size for operations and is a neighborhood serving use. This is not a Formula Retail use.*

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*The proposal would enhance the district by providing a bar in an area that is not over concentrated by eating and drinking establishments. The business is locally owned, and the Project Sponsor currently owns and operates another small business in the City. Allowing them to open a second establishment would enable them to grow their business and would create employment opportunities for the community in the future.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*The Project will be consistent with the existing character of the District and will not remove or add any housing. The existing units in the surrounding neighborhood would not be adversely affected by the opening and operation of this bar use, proposed within approximately 800 square feet of operational area.*

- C. That the City's supply of affordable housing be preserved and enhanced,

*The Project does not involve the removal or addition of housing.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*The project site is located in an area well served by transit and should not generate significant vehicular trips from the immediate neighborhood or citywide. The subject property is along MUNI route 19 and the California Cable Car route. Various other MUNI routes, including routes 1, 47, and 49, are within a short walking distance from the subject property.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*The Project does not include commercial office development. The subject commercial storefront space is currently vacant. Activation of this vacant tenant space will increase opportunities for future resident employment.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The Project would not impact the subject property's ability to withstand an earthquake. However, the project will be required to meet at Building Code seismic requirements.*

- G. That landmarks and historic buildings be preserved.

*The Project would not damage or remove any character-defining features of this historic resource.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*The Project would not impact any existing parks or open spaces.*

- 10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
- 11. The Commission hereby finds that approval of the Conditional Use would promote the health, safety and welfare of the City.

## DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2018-008877CUA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated July 11, 2018, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

**Protest of Fee or Exaction:** You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on January 24, 2019.

Jonas P. Ionin  
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: January 24, 2019  
SAN FRANCISCO  
PLANNING DEPARTMENT



## EXHIBIT A

### AUTHORIZATION

This authorization is for a conditional use to allow a bar use (d.b.a. **ORA**) located at 1519 Polk Street, Block 0643, and Lot 004, pursuant to Planning Code Section(s) **303** and **723** within the **Polk Street Neighborhood Commercial District** and a **65-A** Height and Bulk District; in general conformance with plans, dated **July 11, 2018**, and stamped "EXHIBIT B" included in the docket for Record No. **2018-008877CUA** and subject to conditions of approval reviewed and approved by the Commission on **January 24, 2019** under Motion No **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

### RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **January 24, 2019** under Motion No **XXXXXX**.

### PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

### SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

### CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

## Conditions of Approval, Compliance, Monitoring, and Reporting PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

3. **Diligent pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

6. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

7. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since the date that the Planning Code text amendment(s) and/or Zoning Map amendment(s) became effective.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

8. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

9. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## DESIGN – COMPLIANCE AT PLAN STAGE

10. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

11. **Garbage, composting and recycling storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

12. **Rooftop Mechanical Equipment.** Pursuant to Planning Code 141, the Project Sponsor shall submit a roof plan to the Planning Department prior to Planning approval of the building permit application. Rooftop mechanical equipment, if any is proposed as part of the Project, is required to be screened so as not to be visible from any point at or below the roof level of the subject building.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

13. **Odor Control Unit.** In order to ensure any significant noxious or offensive odors are prevented from escaping the premises once the project is operational, the building permit application to implement the project shall include air cleaning or odor control equipment details and manufacturer specifications on the plans if applicable as determined by the project planner. Odor control ducting shall not be applied to the primary façade of the building.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

## PARKING AND TRAFFIC

14. **Bicycle Parking** Pursuant to Planning Code Sections 155.1 and 155.4, the Project shall provide no fewer than 2 Class 2 bicycle parking spaces. SFMTA has final authority on the type, placement and number of Class 2 bicycle racks within the public ROW. Prior to issuance of first architectural addenda, the project sponsor shall contact the SFMTA Bike Parking Program at [bikeparking@sfmta.com](mailto:bikeparking@sfmta.com) to coordinate the installation of on-street bicycle racks and ensure that the proposed bicycle racks meet the SFMTA's bicycle parking guidelines. Depending on local site conditions and anticipated demand, SFMTA may request the project sponsor pay an in-lieu fee for Class II bike racks required by the Planning Code.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## MONITORING - AFTER ENTITLEMENT

15. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

16. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## OPERATION

17. **Eating and Drinking Uses.** As defined in Planning Code Section 202.2, Eating and Drinking Uses, as defined in Section [102](#), shall be subject to the following conditions:

- A. The business operator shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Street and Sidewalk Maintenance Standards. In addition, the operator shall be responsible for daily monitoring of the sidewalk within a one-block radius of the subject business to maintain the sidewalk free of paper or other litter associated with the business during business hours, in accordance with Article 1, Section [34](#) of the San Francisco Police Code.

*For information about compliance, contact the Bureau of Street Use and Mapping, Department of Public Works at 415-554-.5810, <http://sfdpw.org>.*

- B. When located within an enclosed space, the premises shall be adequately soundproofed or insulated for noise and operated so that incidental noise shall not be audible beyond the premises or in other sections of the building, and fixed-source equipment noise shall not exceed the decibel levels specified in the San Francisco Noise Control Ordinance.

*For information about compliance of fixed mechanical objects such as rooftop air conditioning, restaurant ventilation systems, and motors and compressors with acceptable noise levels, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, [www.sfdph.org](http://www.sfdph.org).*

*For information about compliance with construction noise requirements, contact the Department of Building Inspection at 415-558-6570, [www.sfdbi.org](http://www.sfdbi.org).*

*For information about compliance with the requirements for amplified sound, including music and television, contact the Police Department at 415-553-0123, [www.sf-police.org](http://www.sf-police.org).*

- C. While it is inevitable that some low level of odor may be detectable to nearby residents and passersby, appropriate odor control equipment shall be installed in conformance with the

approved plans and maintained to prevent any significant noxious or offensive odors from escaping the premises.

*For information about compliance with odor or other chemical air pollutants standards, contact the Bay Area Air Quality Management District, (BAAQMD), 1-800-334-ODOR (6367), [www.baaqmd.gov](http://www.baaqmd.gov) and Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

- D. Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

*For information about compliance, contact the Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>.*

18. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>*

19. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

20. **Notices Posted at Bars and Entertainment Venues.** Notices urging patrons to leave the establishment and neighborhood in a quiet, peaceful, and orderly fashion and to not litter or block driveways in the neighborhood, shall be well-lit and prominently displayed at all entrances to and exits from the establishment.

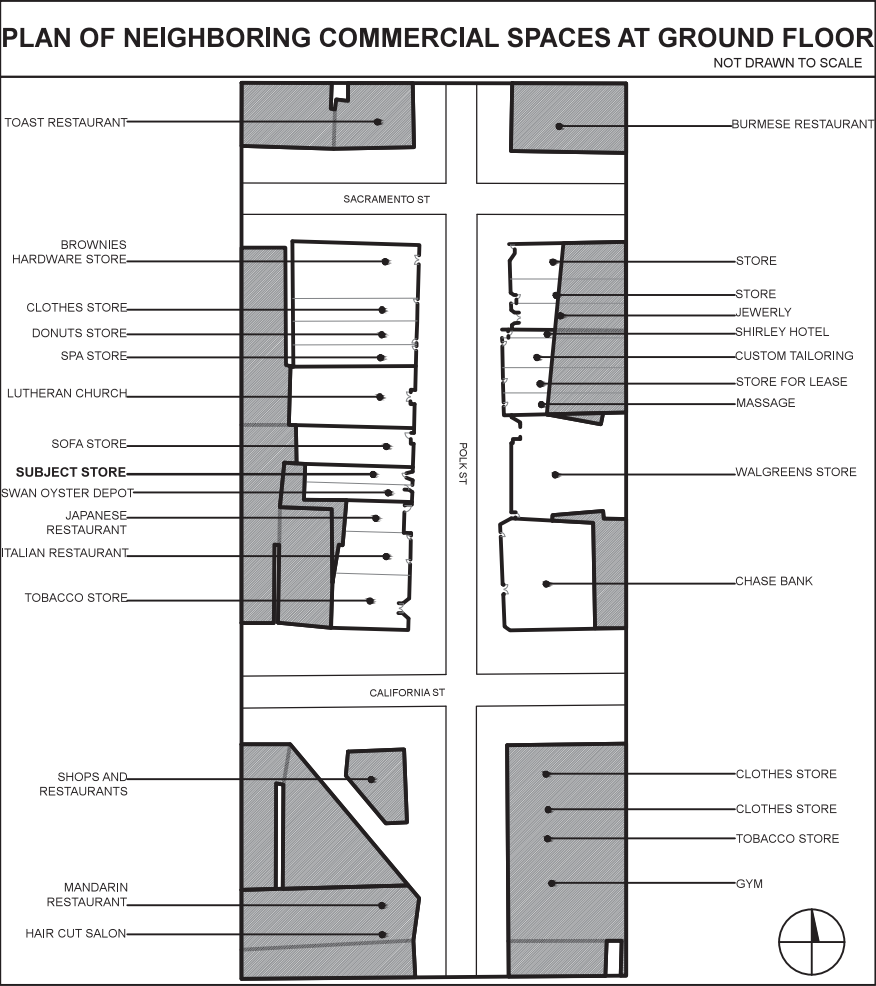
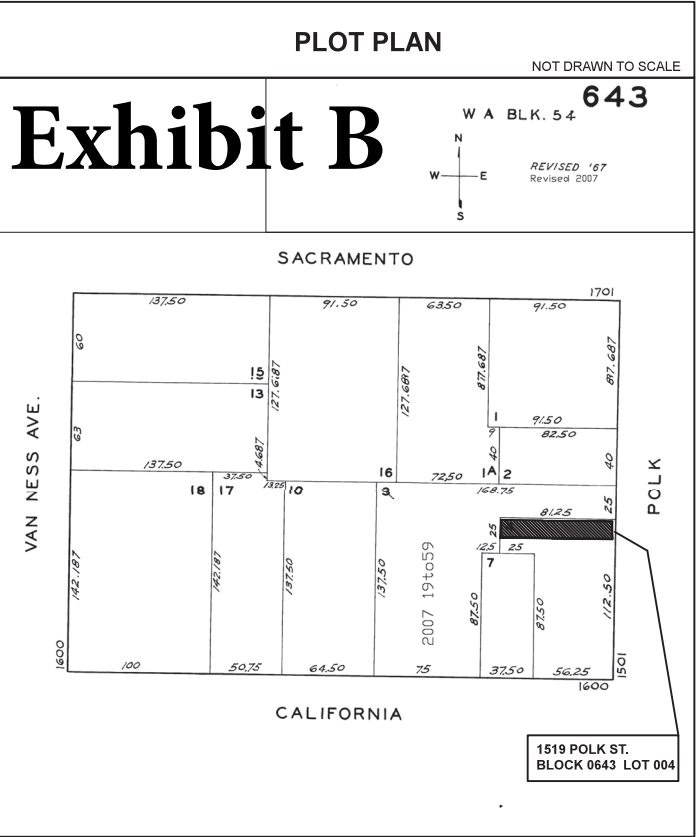
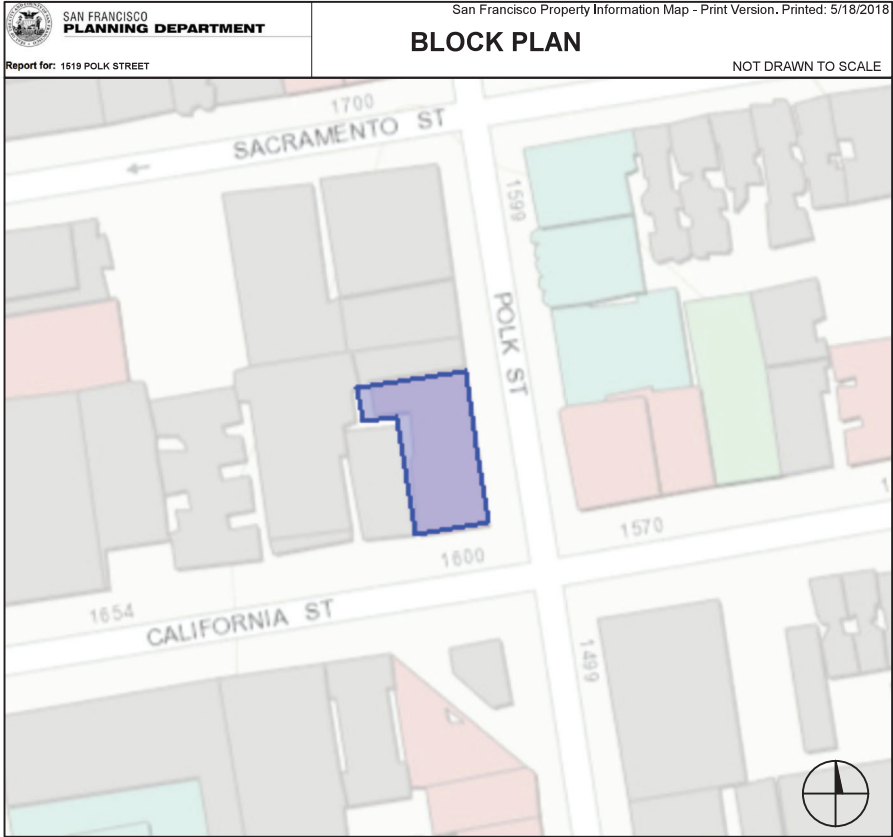
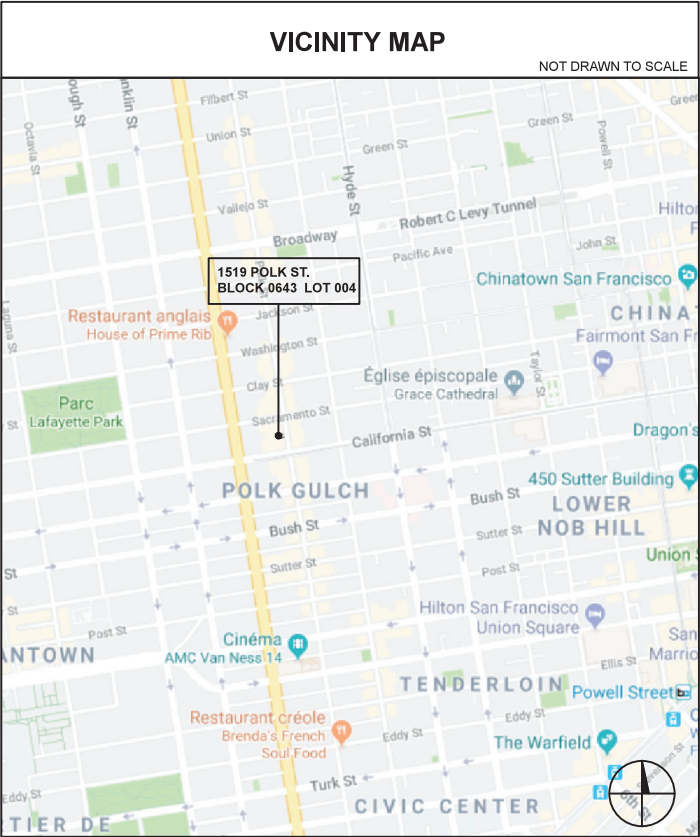
*For information about compliance, contact the Entertainment Commission, at 415 554-6678, [www.sfgov.org/entertainment](http://www.sfgov.org/entertainment)*

21. **Lighting.** All Project lighting shall be directed onto the Project site and immediately surrounding sidewalk area only, and designed and managed so as not to be a nuisance to adjacent residents. Nighttime lighting shall be the minimum necessary to ensure safety, but shall in no case be directed so as to constitute a nuisance to any surrounding property.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863,  
[www.sf-planning.org](http://www.sf-planning.org)*



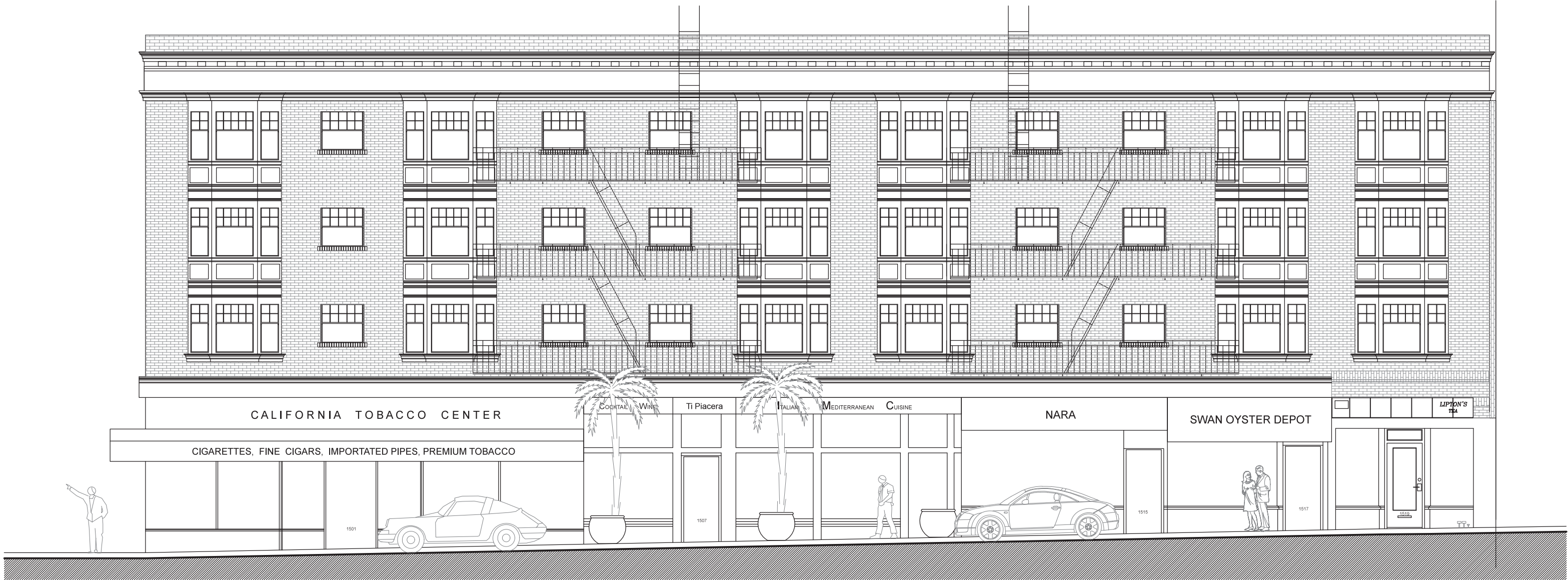
PROJECT DIRECTORY	
<b>PROJECT ADDRESS :</b> 1519 Polk Street San Francisco, CA 94109	<b>ENGINEER OF RECORD :</b> OPTIMAL DESIGN GROUP M. Val A. RABICHEV, PE 1700 Bush Street, Suite 1A San Francisco CA 94109 Office : 415.441.0809 val@optimaldesigngroup.com www.OptimalDesignGroup.com
<b>TENANT :</b> ORA, Bar "Sabrina & Patrick THILLARD" 1519 Polk Street San Francisco, CA 94109	
PROJECT INFO	
<b>SCOPE OF WORK :</b> New bar within existing outline of existing vacant retail store.	<b>ASSESSOR'S BLOCK / LOT :</b> 0643 / 004 4 Story above basement.
<b>GOVERNING CODE :</b> SFBC - 2016	<b>ZONING :</b> Polk Street NCD
SHEET INDEX	
A0	PROJECT INFO
A1	EXISTING ELEVATION
A2	NEW ELEVATION
A3	EXISTING AND NEW ELEVATION DETAIL
A4	EXISTING AND NEW BASEMENT FLOOR PLAN
A5	EXISTING AND NEW FIRST FLOOR PLAN
A6	SECTION A
A7	SECTION B
A8	SECTIONS C, D, E, F & G



GENERAL NOTES	
GENERAL, DIVISION 1	
1.1 WORKMANSHIP OF NEW ELEMENTS INSTALLATION SHALL CONFORM TO CURRENT SAN FRANCISCO BUILDING CODE (SFBC), ALL OTHER APPLICABLE CODES/REGULATIONS, AND APPROVED PROJECT DRAWINGS LEVEL OF STRUCTURAL UPGRADE SHALL BE AS OUTLINED IN PROJECT SCOPE AND ON PROJECT DRAWINGS	1.8 DETAILS AND NOTES ON DRAWINGS SHALL APPLY TO SIMILAR CONDITIONS, U.O.N.
1.2 CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SELECTION OF CONSTRUCTION METHODS & PROCEDURES AND FOR SAFETY OF WORK. CONTRACTOR SHALL BE LICENSED & SHALL CARRY INSURANCE COVERAGE COMMENSURATE WITH PROJECT REQ'MENTS, HE SHALL REPAIR ANY DAMAGE CAUSED BY HIS WORK	1.9 ALL WORK SHALL HAVE PROVISIONS FOR EXPANSION, CONTRACTION, SHRINKAGE & REASONABLE DEFLECTION. BEFORE END OF WORK, ALL DOOR/WINDOW OPENING AND FINISHES ARE TO BE ADJUSTED AFTER SETTLING OF STRUCTURE
1.3 CONTRACTOR SHALL PROVIDE FOR AND BE SOLELY RESPONSIBLE FOR POSITIVE DRAINAGE & WATERPROOFING OF ROOFS, DECKS, WALLS, WINDOWS, & OTHER ELEMENTS. ER WILL TAKES NO RESPONSIBILITY FOR THESE ITEMS	1.10 OPENING AND PENETRATIONS NOT SPECIFIED ON DRAWINGS SHALL BE DETAILED, SUBMITTED BY CONTRACTOR AND APPROVED PRIOR TO INSTALLATION
1.4 CONTRACTOR SHALL COORDINATE VARIOUS TRADES INVOLVED INCLUDING LOCATIONS OF MECHANICAL, PLUMBING, ELECTRICAL ELEMENTS, CONTACT ENGINEER IF INTERFERE WITH STRUCTURAL ELEMENTS - NOTE: WHENEVER A REQUIREMENT IS CALLED IN THESE DRAWINGS FOR CONTRACTOR TO CONTACT ER OR OTHER PROFESSIONALS TO RESOLVE ISSUE OR POTENTIAL CONFLICT, IT IS MEANT THAT SUCH CALL SHALL BE MADE BEFORE PROCEEDING W/ AFFECTED WORK - CONTRACTOR SHALL MAINTAIN ON SITE AND STRICTLY ADHERE TO DRAWINGS SET REPRESENTING LATEST APPROVED PROJECT VERSION/REVISION AS APPLIES	1.11 ENSURE ADEQUACY OF (E) FRAMING AND OTHER ELEMENTS TO BE LEFT IN PLACE REPAIR/REPLACE AS REQ'D IF (E) ELEMENTS ARE IMPAIRED BY TERMITE, ROT, DISCONTINUITY, EXCESSIVE PRIOR CUTS, OR OTHER DEFECTS
1.5 DO NOT SCALE DRAWINGS, DO NOT USE STRUCTURAL DRAWINGS FOR LAYOUT, USE DIMENSIONS IN ARCHITECTURAL DRAWINGS, CONTACT DESIGNER OR ENGINEER IF QUESTIONS	1.12 ELEMENTS W/ SIGNIFICANT DEAD LOADS, SUCH AS STONE, TILE, APPLIANCES, CABINETS SHALL BE INSTALLED BEFORE ADJACENT DOORS, WINDOWS, FINISHES; ALTERNATIVELY - PROVIDE FOR SPECIAL MEASURES OF DEFLECTION CONTROL AS APPLICABLE FOR THE PARTICULAR SITUATION, SUCH AS CAMBERING OR DOUBLING SUPPORTING JOISTS/BEAMS, PROVIDING CROSS BLOCKING, AND/OR OTHER MEASURES, CONTACT ENGINEER FOR VERIFICATION
1.6 CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND DRAWINGS PRIOR TO START. IF ANY CONDITION AT THE SITE OR IN CONSTRUCTION DOCUMENTS APPEARS UNCLEAR, NOT COVERED, OR CONTRADICTORY, SUCH AS CONFLICT BET. ARCHITECTURAL, STRUCTURAL MECHANICAL (OR OTHER PLANS AS APPLIES) DRAWINGS, CONTRACTOR SHALL CONTACT ENGINEER FOR CLARIFICATION PRIOR TO PROCEEDING. WORK DONE WITHOUT VERIFICATION/CLARIFICATION SHALL BE ENTIRELY CONTRACTOR'S RESPONSIBILITY	1.13 THIS DRAWING IS ONLY VALID WHEN WET SIGNED BY ER AND WHEN BEARS APPROVAL STAMP BY BUILDING OFFICIAL HAVING JURISDICTION. DRAWINGS SHALL REMAIN PROPERTY OF ER. USE OF DRAWING ONLY AUTHORIZED FOR PRESENT CLIENT W/IN PRESENT SIGNED AGREEMENT. NO USE OF THE DRAWING OR BENEFITS THEREOF BY A THIRD PARTY IS ALLOWED WITHOUT SEPARATE WRITTEN AGREEMENT WITH ER. UNAUTHORIZED USE IS UNLAWFUL
1.7 ALL WORK SHALL CONFORM TO STANDARDS OF LOCAL CONSTRUCTION PRACTICE. ALL ELEMENTS SHALL BE PLUMB & LEVEL (U.O.N.), BE TIED TOGETHER, SECURELY SUPPORTED, PROTECTED FROM EXPOSURE, SEPARATED FROM ADJACENT STRUCTURES TO ER'S SATISFACTION. SHORING AND OTHER MEASURES SHALL BE TAKEN TO PROTECT ADJACENT ELEMENTS. QUESTIONABLE FIELD CONDITIONS SHALL BE RESOLVED TO ER's SATISFACTION PRIOR TO WORK INTENT OF THESE DRAWINGS IS TO COMPLETE PROJECT DESCRIBED IN THIS SET IN HIGH QUALITY. ALL MATERIALS/WORK NEEDED FOR THIS PURPOSE SHALL BE PROVIDED BY CONTRACTOR WHETHER SPECIFICALLY CALLED ON PLANS OR NOT	1.14 CONTRACTUALLY, ER DISCLAIMS RESPONSIBILITY FOR FOLLOWING ITEMS: EXISTING CONDITIONS VERIFICATION, WATERPROOFING, DRAINAGE, UTILITIES, SUBSURFACE/SOILS CONDITIONS, CONSTRUCTION METHOD, PROCEDURES, JOB SAFETY, CONSTRUCTION OVERSIGHT, INSPECTIONS IT SHALL BE OWNERS' OR CONTRACTOR'S RESPONSIBILITY TO ADDRESS THESE ITEMS BY QUALIFIED PROFESSIONALS AS CALLED BY PROJECT REQUIREMENTS REFERENCING OR PARTIALLY ADDRESSING SOME OF THESE ITEMS ON DRAWINGS OR NOTES,, SUCH AS BUT NOT LIMITED TO, SUGGESTED SEQUENCE OF WORK, CALLING SELECTED WATERPROOFING/DRAINAGE, EXISTING ELEMENTS, SHALL NOT BE INTERPRETED AS AFFECTING/REDUCING AFOREMENTIONED DISCLAIMER

DESIGNER	 79 Beaver Street San Francisco, CA 94114 Phone : 203-600-9418 e-mail : contact@didierfoulon.com	PROJECT	"ORA" 1519 Polk Street San Francisco, CA 94109	ENGINEER	OPTIMAL DESIGN GROUP 1700 Bush Street, Suite 1A San Francisco, CA 94109 e-mail: val@optimaldesigngroup.com Office : 415-441-0809 Fax : 415-723-7185 www.OptimalDesignGroup.com	CLIENTS	Mr & Mrs THILLARD 1519 Polk Street San Francisco, CA 94109	PROJECT INFO	ADDRESS 1519 Polk Street San Francisco, CA 94109 ASSESSOR'S BLOCK / LOT 0643 / 004 ZONING: N.C.D. (Neighborhood Commercial District)	DISTRICT: 3 SCOPE OF WORK Wine bar interior remodeling. No additional floor area, No additional square-footage, No height change.	NAME OF SHEET	- PROJECT DIRECTORY - PROJECT INFO - SHEET INDEX - VICINITY MAP - BLOCK PLAN - PLOT PLAN - PLAN OF NEIGHBORING COMMERCIAL SPACES AT GROUND FLOOR - GENERAL NOTES	CATEGORY & #	A0
Date JULY 11, 2018												Scale		



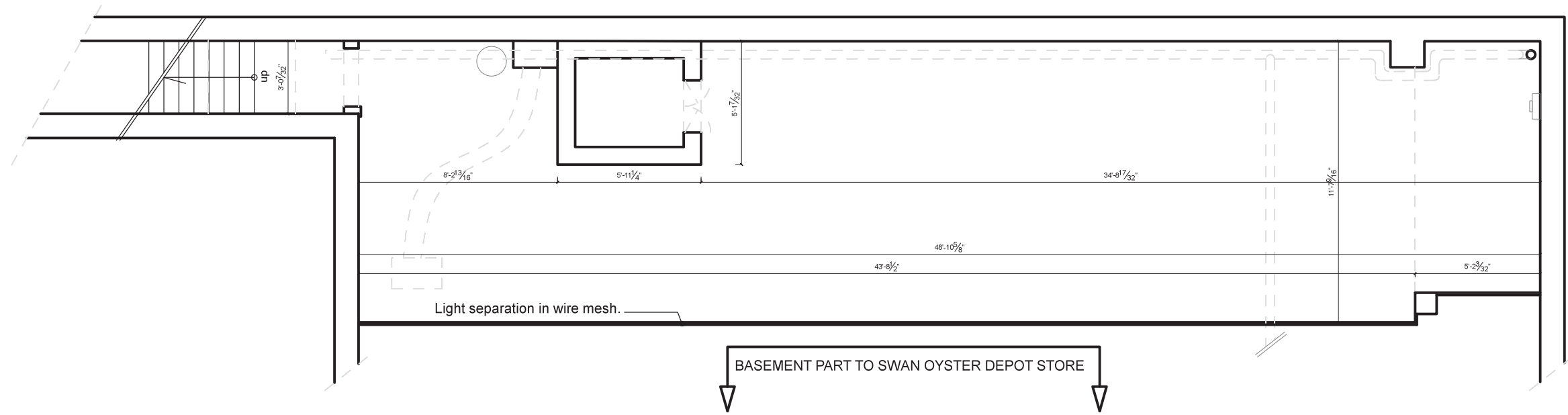


CALIFORNIA TOBACCO CENTER	"TI PIACERA" RESTAURANT - ITALIAN & MEDITERRANEAN CUISINE	"NARA" JAPANESE RESTAURANT	SWAN OYSTER DEPOT	VACANT RETAIL STORE
1501 POLK STREET	1507 POLK STREET	1515 POLK STREET	1517 POLK STREET	1519 POLK STREET

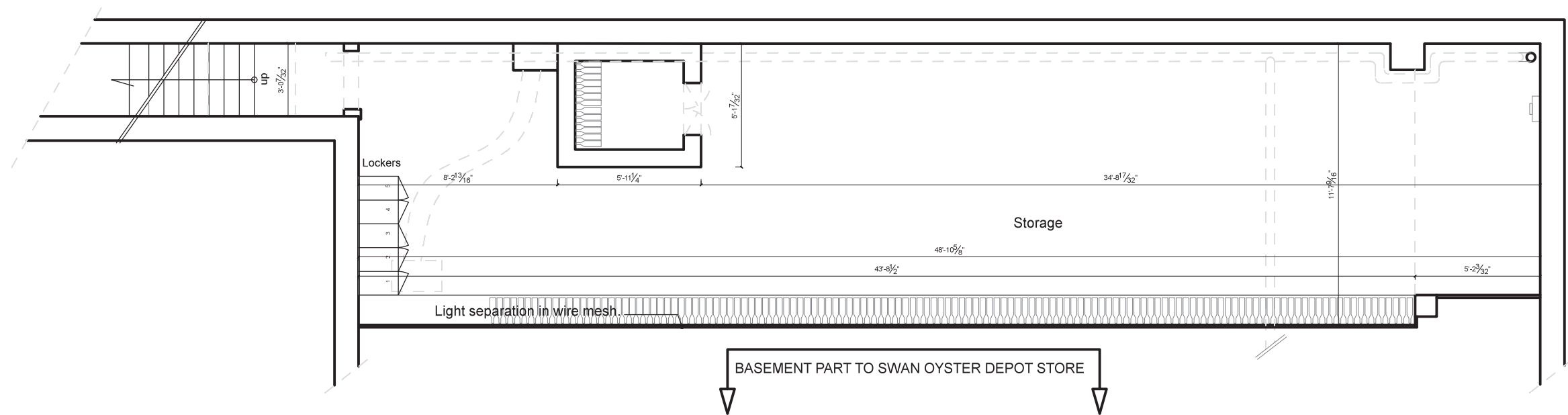
DESIGNER didier FOULON INTERIOR DESIGNER 79 Beaver Street San Francisco, CA 94114 Phone : 203-600-9418 e-mail : contact@didierfoulon.com	PROJECT "ORA" 1519 Polk Street San Francisco, CA 94109	ENGINEER OPTIMAL DESIGN GROUP 1700 Bush Street, Suite 1A San Francisco, CA 94109 e-mail: val@optimaldesigngroup.com Office : 415-441-0809 Fax : 415-723-7185 www.OptimalDesignGroup.com	CLIENTS Mr & Mrs THILLARD 1519 Polk Street San Francisco, CA 94109	PROJECT INFO ADDRESS 1519 Polk Street San Francisco, CA 94109 ASSESSOR'S BLOCK / LOT 0643 / 004 ZONING: N.C.D. (Neighborhood Commercial District)	DISTRICT: 3 SCOPE OF WORK Wine bar interior remodeling. No additional floor area, No additional square-footage, No height change.	NAME OF SHEET EXISTING ELEVATION	Date JULY11, 2018 Scale 1/8" = 1' - 0"	CATEGORY & # A1
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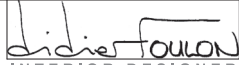
DESIGNER	<div>didier FOULON INTERIOR DESIGNER 79 Beaver Street San Francisco, CA 94114 Phone : 203-600-9418 e-mail : contact@didierfoulon.com</div>	PROJECT	<div>"ORA" 1519 Polk Street San Francisco, CA 94109</div>	ENGINEER	<div>OPTIMAL DESIGN GROUP 1700 Bush Street, Suite 1A San Francisco, CA 94109 e-mail : val@optimaldesigngroup.com Office : 415-441-0809 Fax : 415-723-7185 www.OptimalDesignGroup.com</div>	CLIENTS	<div>Mr &amp; Mrs THILLARD 1519 Polk Street San Francisco, CA 94109</div>	PROJECT INFO	<div>ADDRESS 1519 Polk Street San Francisco, CA 94109 ASSESSOR'S BLOCK / LOT 0643 / 004 ZONING: N.C.D. (Neighborhood Commercial District)</div>	DISTRICT: 3 SCOPE OF WORK Wine bar interior remodeling. No additional floor area, No additional square-footage, No height change.	NAME OF SHEET	NEW ELEVATION	Date JULY11, 2018 Scale 1/8" = 1' - 0"	CATEGORY & #	A2
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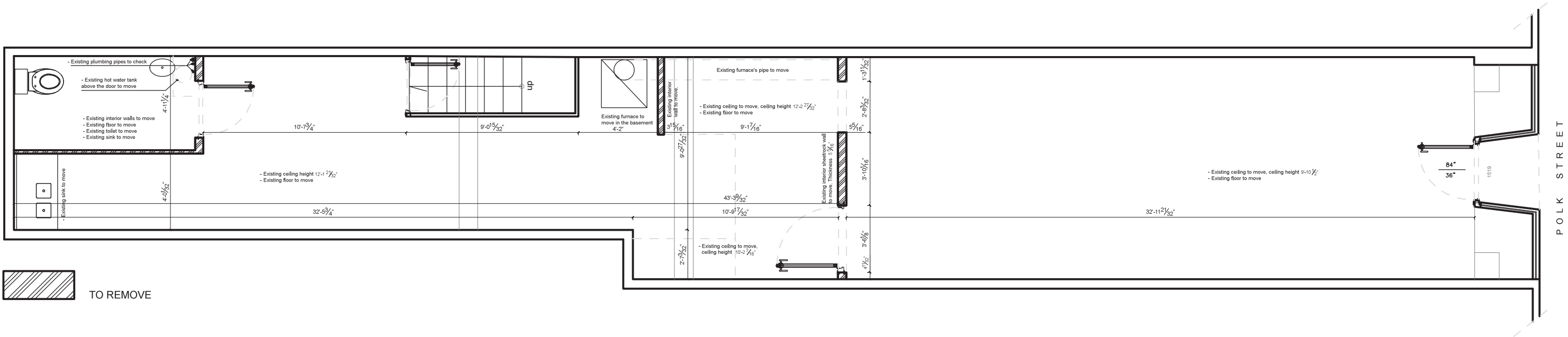


EXISTING FLOOR PLAN - BASEMENT FLOOR

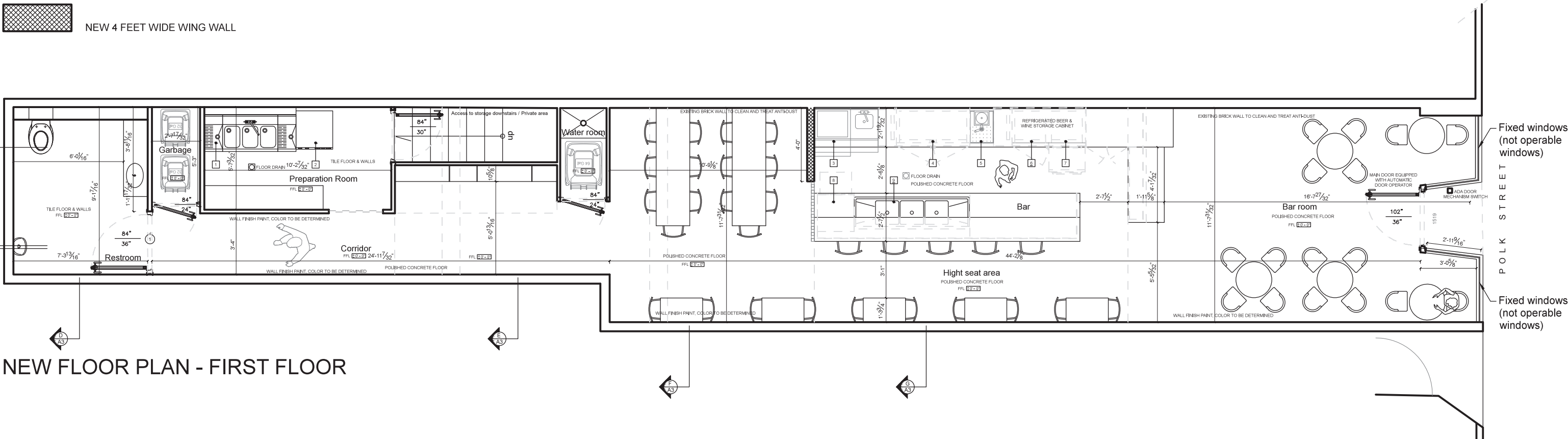


NEW FLOOR PLAN - BASEMENT FLOOR

DESIGNER	 79 Beaver Street San Francisco, CA 94114 Phone : 203-600-9418 e-mail : contact@didierfoulon.com	PROJECT	"ORA" 1519 Polk Street San Francisco, CA 94109	ENGINEER	OPTIMAL DESIGN GROUP 1700 Bush Street, Suite 1A San Francisco, CA 94109 e-mail: val@optimaldesigngroup.com Office : 415-441-0809 Fax : 415-723-7185 www.OptimalDesignGroup.com	CLIENTS	Mr & Mrs THILLARD 1519 Polk Street San Francisco, CA 94109	PROJECT INFO	ADDRESS 1519 Polk Street San Francisco, CA 94109 ASSESSOR'S BLOCK / LOT 0643 / 004 ZONING: N.C.D. (Neighborhood Commercial District)	DISTRICT: 3 SCOPE OF WORK Wine bar interior remodeling. No additional floor area, No additional square-footage, No height change.	NAME OF SHEET	BASEMENT FLOOR - EXISTING FLOOR PLAN - NEW FLOOR PLAN	Date JULY11, 2018 Scale 3/16" = 1' - 0"	CATEGORY & #	A4
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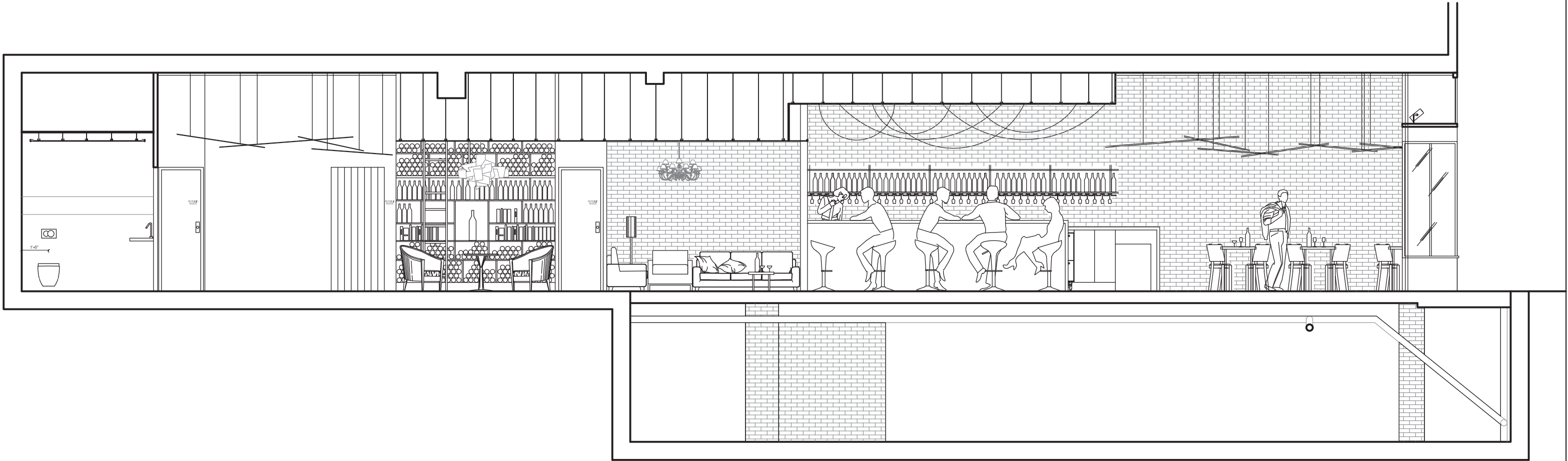


EXISTING FLOOR PLAN - FIRST FLOOR



NEW FLOOR PLAN - FIRST FLOOR

ARCHITECTURE	 ARCHITECTURE INTERIOR EXTERIOR 79 Beaver Street San Francisco, CA 94114 Phone 203-600-9418 E-mail contact@didierfoulon.com	PROJECT	"ORA" Wine bar 1519 Polk Street San Francisco, CA 94109	ENGINEER	OPTIMAL DESIGN GROUP 1700 Bush Street, Suite 1A San Francisco, CA 94109 e-mail: val@optimaldesigngroup.com Office : 415-441-0809 www.OptimalDesignGroup.com	CLIENTS	Mr & Mrs THILLARD  1519 Polk Street San Francisco, CA 94109	PROJECT INFO	ADDRESS 1519 Polk Street San Francisco, CA 94109  ASSESSOR'S BLOCK / LOT 0643 / 004  ZONING: N.C.D. (Neighborhood Commercial District)	DISTRICT: 3  SCOPE OF WORK Wine bar interior remodeling. No additional floor area, No additional square-footage, No height change.	NAME OF SHEET	FIRST FLOOR  - EXISTING FLOOR PLAN - NEW FLOOR PLAN	Date JAN. 14, 2019 Scale 3/16" = 1' - 0"	CATEGORY & #	A5
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Restroom  
Ceiling height 8'-4"

Corridor  
Ceiling height 12'

Reading area  
Ceiling height 8'-4"

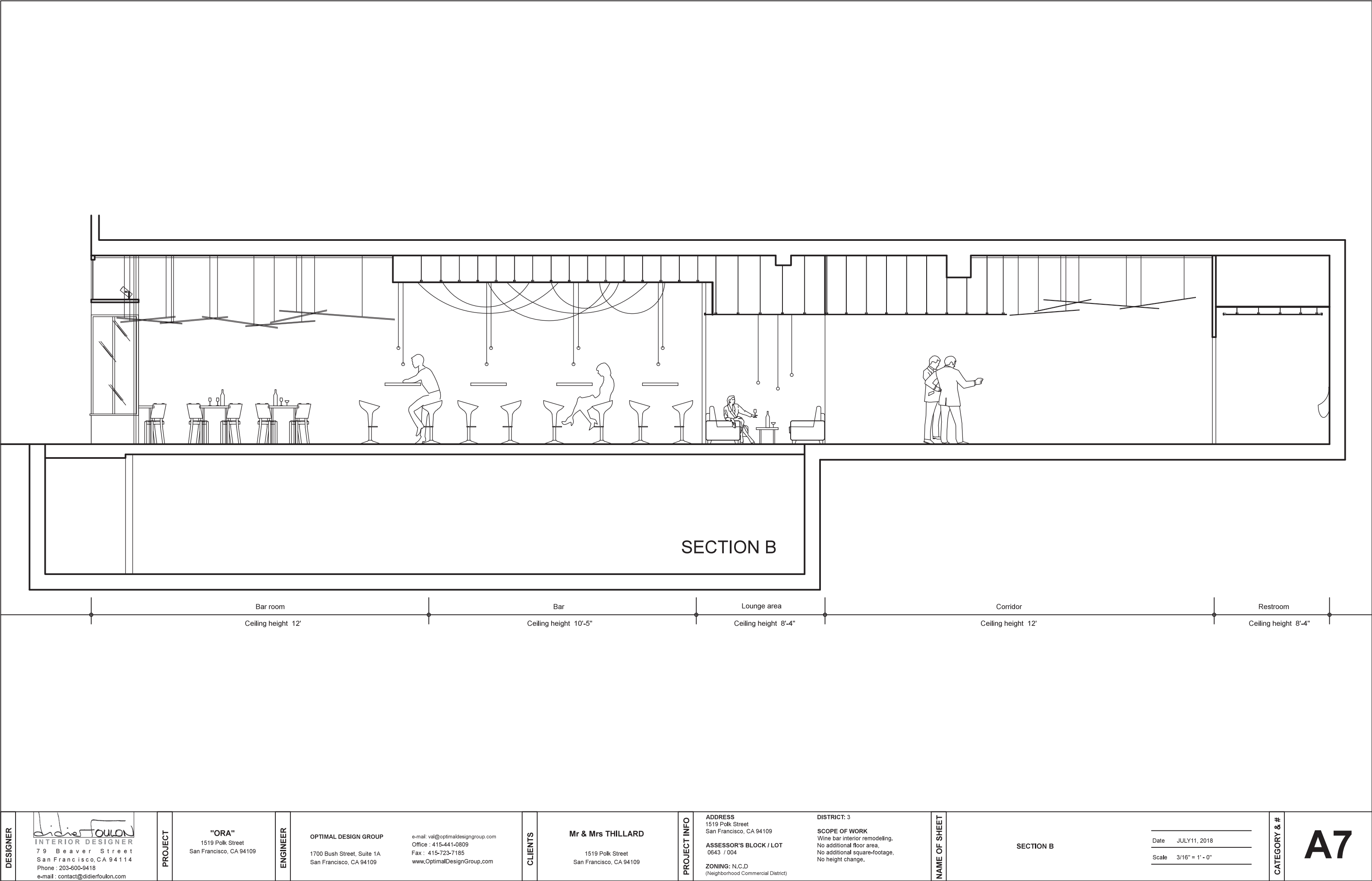
Lounge area  
Ceiling height 8'-4"

Bar  
Ceiling height 10'-5"

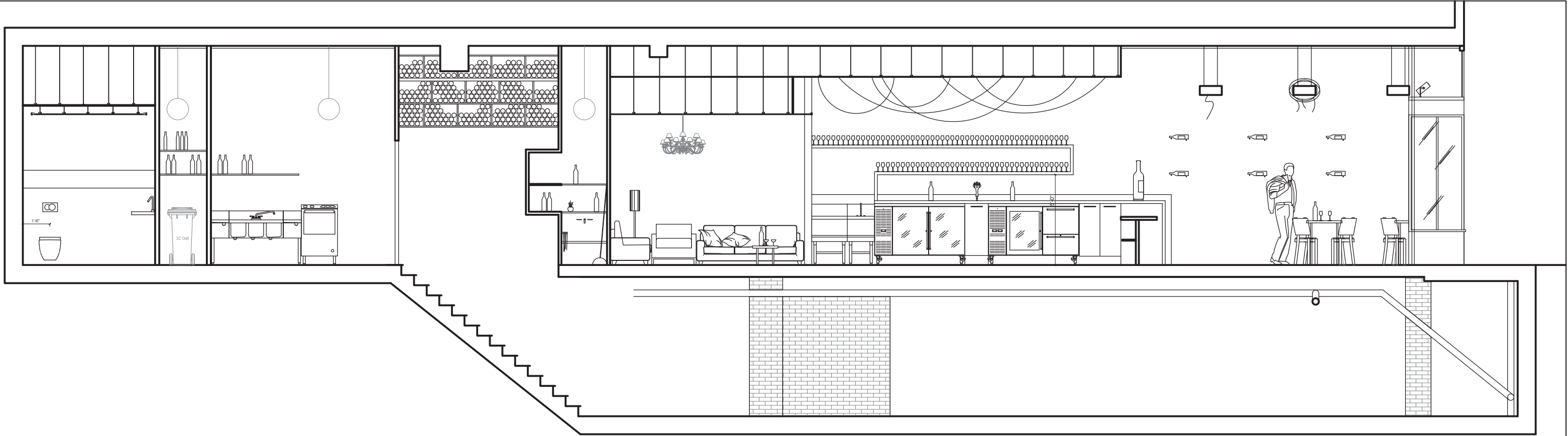
Bar room  
Ceiling height 12'

## SECTION A

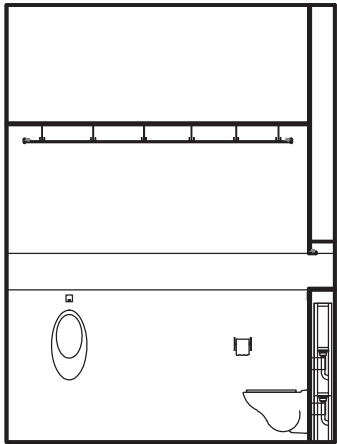
DESIGNER	 79 Beaver Street San Francisco, CA 94114 Phone : 203-600-9418 e-mail : contact@didierfoulon.com	PROJECT	"ORA" 1519 Polk Street San Francisco, CA 94109	ENGINEER	OPTIMAL DESIGN GROUP 1700 Bush Street, Suite 1A San Francisco, CA 94109 e-mail: val@optimaldesigngroup.com Office : 415-441-0809 Fax : 415-723-7185 www.OptimalDesignGroup.com	CLIENTS	Mr & Mrs THILLARD 1519 Polk Street San Francisco, CA 94109	PROJECT INFO	ADDRESS 1519 Polk Street San Francisco, CA 94109 ASSESSOR'S BLOCK / LOT 0643 / 004 ZONING: N.C.D. (Neighborhood Commercial District)	DISTRICT: 3 SCOPE OF WORK Wine bar interior remodeling. No additional floor area, No additional square-footage, No height change.	NAME OF SHEET	SECTION A	Date JULY11, 2018 Scale 3/16" = 1' - 0"	CATEGORY & #	A6
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DESIGNER	<div>didier FOULON INTERIOR DESIGNER 79 Beaver Street San Francisco, CA 94114 Phone : 203-600-9418 e-mail : contact@didierfoulon.com</div>	PROJECT	<div>"ORA" 1519 Polk Street San Francisco, CA 94109</div>	ENGINEER	<div>OPTIMAL DESIGN GROUP 1700 Bush Street, Suite 1A San Francisco, CA 94109 e-mail: val@optimaldesigngroup.com Office : 415-441-0809 Fax : 415-723-7185 www.OptimalDesignGroup.com</div>	CLIENTS	<div>Mr &amp; Mrs THILLARD 1519 Polk Street San Francisco, CA 94109</div>	PROJECT INFO	<div>ADDRESS 1519 Polk Street San Francisco, CA 94109 ASSESSOR'S BLOCK / LOT 0643 / 004 ZONING: N.C.D. (Neighborhood Commercial District)</div>	<div>DISTRICT: 3 SCOPE OF WORK Wine bar interior remodeling. No additional floor area, No additional square-footage, No height change.</div>	NAME OF SHEET	<div>SECTION B</div>	<div>Date JULY11, 2018 Scale 3/16" = 1' - 0"</div>	CATEGORY & #	<div>A7</div>
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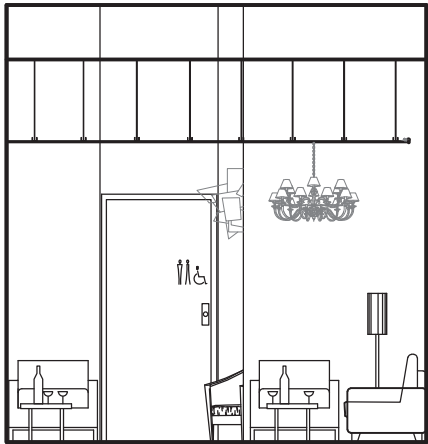
SECTION C



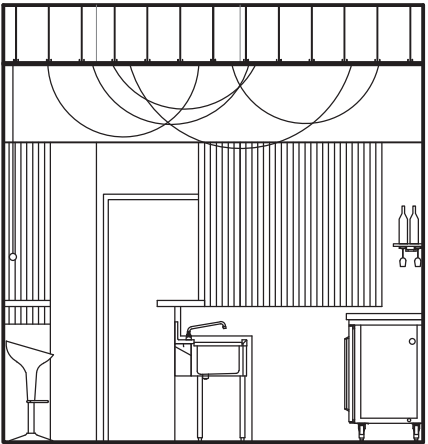
SECTION D



SECTION E



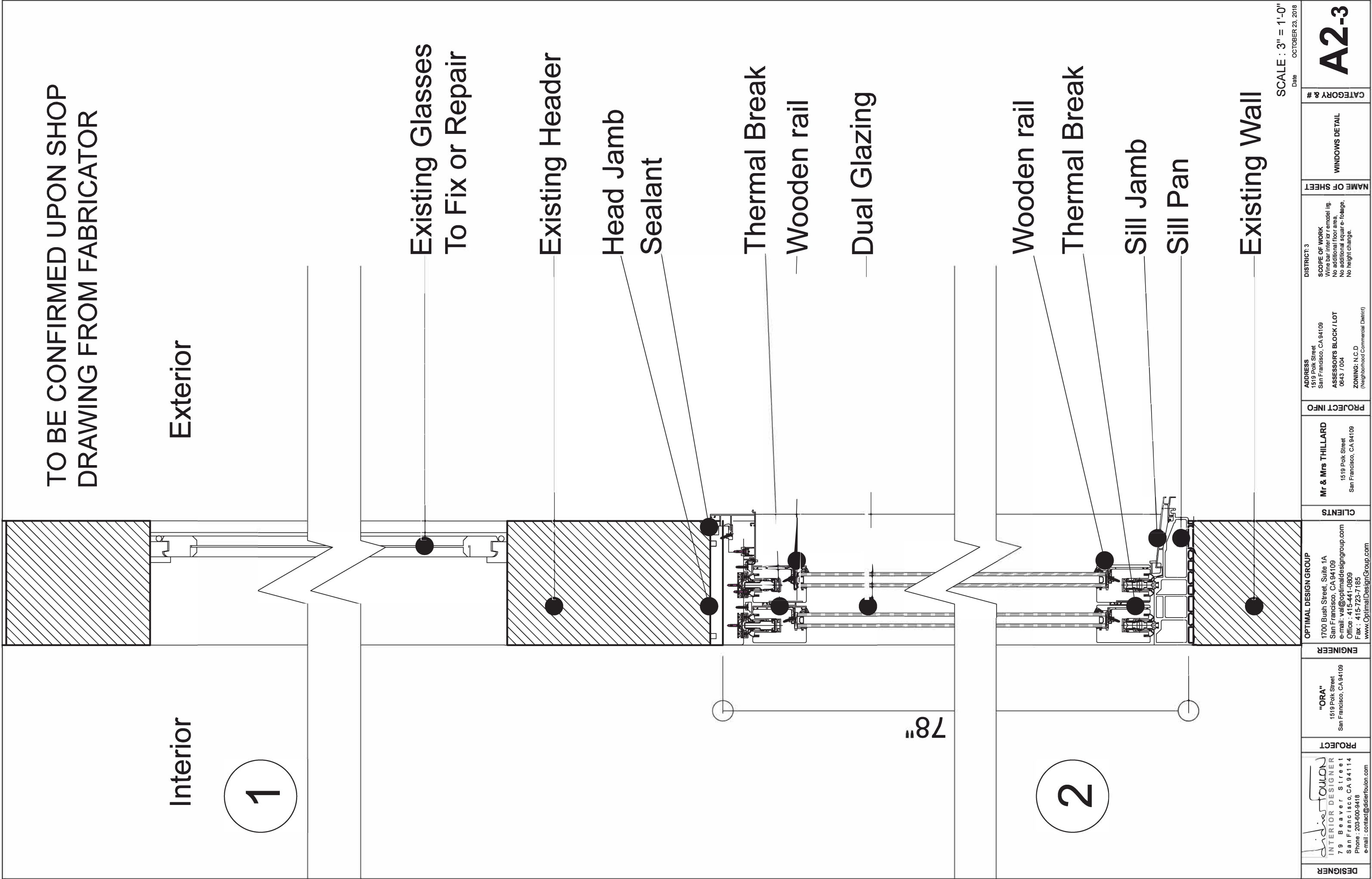
SECTION F



SECTION G

DESIGNER	 7 9 Beaver Street San Francisco, CA 9 4 1 1 4 Phone : 203-600-9418 e-mail : contact@didierfoulon.com	PROJECT	"ORA" 1519 Polk Street San Francisco, CA 94109	ENGINEER	OPTIMAL DESIGN GROUP 1700 Bush Street, Suite 1A San Francisco, CA 94109 e-mail: val@optimaldesigngroup.com Office : 415-441-0809 Fax : 415-723-7185 www.OptimalDesignGroup.com	CLIENTS	Mr & Mrs THILLARD 1519 Polk Street San Francisco, CA 94109	PROJECT INFO	ADDRESS 1519 Polk Street San Francisco, CA 94109 ASSESSOR'S BLOCK / LOT 0643 / 004 ZONING: N.C.D. (Neighborhood Commercial District)	DISTRICT: 3 SCOPE OF WORK Wine bar interior remodeling. No additional floor area, No additional square-footage, No height change.	NAME OF SHEET	SECTIONS - C - D - E - F - G	Date JULY11, 2018 Scale 3/16" = 1' - 0"	CATEGORY & #	A8
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SCALE : 3" = 1'-0"

Date OCTOBER 23, 2018

A2-3





# SAN FRANCISCO PLANNING DEPARTMENT

# Exhibit C

## CEQA Categorical Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

<b>Project Address</b>		<b>Block/Lot(s)</b>
1519 POLK ST		0643004
<b>Case No.</b>		<b>Permit No.</b>
2018-008877PRJ		201806061121
<input checked="" type="checkbox"/> <b>Addition/ Alteration</b>	<input type="checkbox"/> <b>Demolition (requires HRE for Category B Building)</b>	<input type="checkbox"/> <b>New Construction</b>
<b>Project description for Planning Department approval.</b> The project seeks to establish a bar use (wine and cheese bar DBA ORA) in an existing and vacant retail storefront (approximately 805 square feet in area at the ground floor level of the building with a 575 square foot basement storage area) in an existing four story, mixed use building. Interior tenant improvements, a new business sign, and window replacement at the front façade of the building are associated with this proposal.		

### STEP 1: EXEMPTION CLASS

<b>*Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.*</b>	
<input type="checkbox"/>	<b>Class 1 - Existing Facilities.</b> Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	<b>Class 3 - New Construction.</b> Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<b>Class 32 - In-Fill Development.</b> New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services.  <b>FOR ENVIRONMENTAL PLANNING USE ONLY</b>
<input type="checkbox"/>	<b>Class ____</b>

## STEP 2: CEQA IMPACTS

### TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an *Environmental Evaluation Application* is required.

<input type="checkbox"/>	<b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)
<input type="checkbox"/>	<b>Hazardous Materials:</b> If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap &gt; Maher layer).</i>
<input type="checkbox"/>	<b>Transportation:</b> Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	<b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	<b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	<b>Slope = or &gt; 20%:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Landslide Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Liquefaction Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) <b>If box is checked, a geotechnical report will likely be required.</b>

If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an *Environmental Evaluation Application* is required, unless reviewed by an Environmental Planner.

Comments and Planner Signature (optional): Dori Ganetsos

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE**  
TO BE COMPLETED BY PROJECT PLANNER

<b>PROPERTY IS ONE OF THE FOLLOWING:</b> (refer to Parcel Information Map)	
<input checked="" type="checkbox"/>	<b>Category A:</b> Known Historical Resource. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	<b>Category B:</b> Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>
<input type="checkbox"/>	<b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b>

**STEP 4: PROPOSED WORK CHECKLIST**  
TO BE COMPLETED BY PROJECT PLANNER

<b>Check all that apply to the project.</b>	
<input checked="" type="checkbox"/>	1. <b>Change of use and new construction.</b> Tenant improvements not included.
<input type="checkbox"/>	2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.
<input checked="" type="checkbox"/>	3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
<b>Note: Project Planner must check box below before proceeding.</b>	
<input type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project <b>does not conform</b> to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>
<input checked="" type="checkbox"/>	Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW**  
TO BE COMPLETED BY PROJECT PLANNER

<b>Check all that apply to the project.</b>	
<input checked="" type="checkbox"/>	1. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. <b>Interior alterations to publicly accessible spaces.</b>
<input type="checkbox"/>	3. <b>Window replacement</b> of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. <b>Addition(s)</b> , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. <b>Other work consistent</b> with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. <b>Other work</b> that would not materially impair a historic district (specify or add comments):  (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input type="checkbox"/>	10. <b>Reclassification of property status.</b> (Requires approval by Senior Preservation Planner/Preservation <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category A            a. Per HRER dated            b. Other (specify):         </div> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category C            (attach HRER)         </div> </div>
<b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.</b>	
<input type="checkbox"/>	<b>Further environmental review required.</b> Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. <b>GO TO STEP 6.</b>
<input checked="" type="checkbox"/>	<b>Project can proceed with categorical exemption review.</b> The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. <b>GO TO STEP 6.</b>
<b>Comments (optional):</b>	
<b>Preservation Planner Signature:</b> Marcelle Boudreaux	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION**  
**TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	<b>Further environmental review required.</b> Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 - CEQA Impacts <input type="checkbox"/> Step 5 - Advanced Historical Review <b>STOP! Must file an <i>Environmental Evaluation Application</i>.</b>	
<input checked="" type="checkbox"/>	<b>No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.</b>	
	<b>Project Approval Action:</b> Commission Hearing If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	<b>Signature:</b> Dori Ganetsos 01/14/2019
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.	

## STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

### TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

### PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
1519 POLK ST		0643/004
Case No.	Previous Building Permit No.	New Building Permit No.
2018-008877PRJ	201806061121	
Plans Dated	Previous Approval Action	New Approval Action
	Commission Hearing	
Modified Project Description:		

### DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

### DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Date:



San Francisco

# Exhibit D

## PROJECT APPLICATION (PRJ)

GENERAL INFORMATION

### Property Information

Project Address: 1519 Polk St. SF, CA 94109

Block/Lot(s): 0643/004

### Property Owner's Information

Name: John Jenkel → ERIC Davis, property manager Hanford Freund Co

Address: 3325 Gravenstein HwyN  
Sebastapol, CA 95442

Email Address: EDavis@hanfordfreund.com

Telephone: 415 981-5780 Ext 1100

### Applicant Information

☐ Same as above

Name: NUNOVI LLC, Sabrina & Patrick Thillard

Company/Organization:

Address: 1400 43RD AVE  
SF, CA 94122

Email Address: Sabrina.thillard5@gmail.com

Telephone: 415 271-6602

Please Select Billing Contact:

☐ Owner

☒ Applicant

☐ Other (see below for details)

Name: Sabrina Thillard

Email: Sabrina.thillard5@gmail.com

Phone: 415 271-6602

Please Select Primary Project Contact:

☐ Owner

☒ Applicant

☐ Billing

### RELATED APPLICATIONS

#### Related Building Permit Applications

☒ N/A

Building Permit Applications No(s):

#### Related Preliminary Project Assessments (PPA)

☒ N/A

PPA Application No(s):

PPA Letter Date:



## PROJECT INFORMATION

### Project Description:

Please provide a narrative project description that summarizes the project and its purpose. Please list any special authorizations or changes to the Planning Code or Zoning Maps if applicable.

Applying for change of usage from retail to wine and cheese bar (303)

We want to bring a positive addition to the Polk neighborhood, and have had positive feedback from associations, supervisor, and neighboring shops/businesses.

To provide a welcoming place for friends, families, locals to relax and enjoy good food and good wine.

### Project Details:

- ☒ Change of Use    ☐ New Construction    ☐ Demolition    ☐ Facade Alterations    ☐ ROW Improvements  
☐ Additions    ☐ Legislative/Zoning Changes    ☐ Lot Line Adjustment-Subdivision    ☐ Other \_\_\_\_\_

- Residential:**    ☐ Senior Housing    ☐ 100% Affordable    ☐ Student Housing    ☐ Dwelling Unit Legalization  
☐ Inclusionary Housing Required    ☐ State Density Bonus    ☐ Accessory Dwelling Unit

Indicate whether the project proposes rental or ownership units:    ☐ Rental Units    ☐ Ownership Units    ☐ Don't Know

- Non-Residential:**    ☐ Formula Retail    ☐ Medical Cannabis Dispensary    ☐ Tobacco Paraphernalia Establishment  
☐ Financial Service    ☐ Massage Establishment    ☐ Other: \_\_\_\_\_


Estimated Construction Cost: \$ 95,000 -

# ENVIRONMENTAL EVALUATION SCREENING FORM

This form will determine if further environmental review is required.





If you are submitting a Building Permit Application only, please respond to the below questions to the best of your knowledge. You do not need to submit any additional materials at this time, and an environmental planner will contact you with further instructions.

If you are submitting an application for entitlement, please submit the required supplemental applications, technical studies, or other information indicated below along with this Project Application.

Environmental Topic	Information	Applicable to Proposed Project?	Notes/Requirements
<b>1a. General</b>	Estimated construction duration (months):	N/A	
<b>1b. General</b>	Does the project involve replacement or repair of a building foundation? If yes, please provide the foundation design type (e.g., mat foundation, spread footings, drilled piers, etc)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<b>2. Transportation</b>	Does the project involve a child care facility or school with 30 or more students, or a location 1,500 square feet or greater?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, submit an Environmental Supplemental- <u>School and Child Care Drop-Off &amp; Pick-Up Management Plan.</u>
<b>3. Shadow</b>	Would the project result in any construction over 40 feet in height?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, an initial review by a shadow expert, including a recommendation as to whether a shadow analysis is needed, may be required, as determined by Planning staff. (If the project already underwent Preliminary Project Assessment, refer to the shadow discussion in the PPA letter.)  An additional fee for a shadow review may be required.
<b>4. Biological Resources</b>	Does the project include the removal or addition of trees on, over, or adjacent to the project site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes:  Number of existing trees on, over, or adjacent to the project site:  Number of existing trees on, over, or adjacent to the project site that would be removed by the project:  Number of trees on, over, or adjacent to the project site that would be added by the project:
<b>5a. Historic Preservation</b> 	Would the project involve changes to the front façade or an addition visible from the public right-of-way of a structure built 45 or more years ago or located in a historic district?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, submit a complete <u>Historic Resource Determination Supplemental Application</u> . Include all materials required in the application, including a complete record (with copies) of all building permits.
<b>5b. Historic Preservation</b>	Would the project involve demolition of a structure constructed 45 or more years ago, or a structure located within a historic district?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, a historic resource evaluation (HRE) report will be required. The scope of the HRE will be determined in consultation with <a href="mailto:CPC-HRE@sfgov.org">CPC-HRE@sfgov.org</a> .

 Please see the Property Information Map or speak with Planning Information Center (PIC) staff to determine if this applies.



Environmental Topic	Information	Applicable to Proposed Project?	Notes/Requirements
6. Archeology 	Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeologically sensitive area or eight (8) feet below grade in a non-archeologically sensitive area?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If Yes, provide depth of excavation/disturbance below grade (in feet*):  <i>*Note this includes foundation work</i>
7. Geology and Soils 	Is the project located within a Landslide Hazard Zone, Liquefaction Zone or on a lot with an average slope of 20% or greater?  ----- Area of excavation/disturbance (in square feet): _____ Amount of excavation (in cubic yards): _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	A geotechnical report prepared by a qualified professional must be submitted if one of the following thresholds apply to the project: ● The project involves: <ul style="list-style-type: none"><li>○ excavation of 50 or more cubic yards of soil, or</li><li>○ building expansion greater than 1,000 square feet outside of the existing building footprint.</li></ul> ● The project involves a lot split located on a slope equal to or greater than 20 percent.  <i>A geotechnical report may also be required for other circumstances as determined by Environmental Planning staff.</i>
8. Air Quality 	Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollutant Exposure Zone?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, the property owner must submit copy of initial filed application with department of public health. More information is found <a href="#">here</a> .
9a. Hazardous Materials	Would the project involve work on a site with an existing or former gas station, parking lot, auto repair, dry cleaners, or heavy manufacturing use, or a site with underground storage tanks?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, submit a Phase I Environmental Site Assessment prepared by a qualified consultant.
9b. Hazardous Materials 	Is the project site located within the Maher area and would it involve ground disturbance of at least 50 cubic yards or a change of use from an industrial use to a residential or institutional use?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, submit a copy of the <a href="#">Maher Application Form</a> to the Department of Public Health. Also submit a receipt of Maher enrollment with the Project Application.  For more information about the Maher program and enrollment, refer to the Department of Public Health's <a href="#">Environmental Health Division</a> .  <i>Maher enrollment may also be required for other circumstances as determined by Environmental Planning staff.</i>

Please state how the project is consistent or inconsistent with each policy, or state that the policy is not applicable:

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

Yes. We will do just this. A local hot spot that belongs on Polk St. Bringing opportunities for employment while supporting local small businesses.

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

Yes. It's important to preserve the neighborhood while enhancing our SF diversity. Ora will bring this with our simple and exciting, welcoming to all environment. Fast and Tasty food with wines to compliment.

3. That the City's supply of affordable housing be preserved and enhanced;

N/A

4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

N/A

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

Yes, our cheese bar/tapas bar will provide just this, to allow opportunities for employment.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

Yes. In a city like SF preventative measures will be taken in our place to protect against such issues. Safety is a huge factor/concern.

7. That landmarks and historic buildings be preserved; and

Yes. Absolutely. We have no plans to alter landmarks or the historical building. That's what gives our neighborhood its character and charm.

8. That our parks and open space and their access to sunlight and vistas be protected from development.


Yes. Completely agree but doesn't apply to us.



# APPLICANT'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

- a) The undersigned is the owner or authorized agent of the owner of this property.
- b) The information presented is true and correct to the best of my knowledge.
- c) Other information or applications may be required.

  
Signature

Sabrina Thillard  
Name (Printed)


owner/applicant  
Relationship to Project  
(i.e. Owner, Architect, etc.)

415 271-6602  
Phone

Sabrina.thillard5@gmail.com  
Email

# APPLICANT'S SITE VISIT CONSENT FORM

I herby authorize City and County of San Francisco Planning staff to conduct a site visit of this property, making all portions of the interior and exterior accessible.

  
Signature

Sabrina Thillard  
Name (Printed)

10.10.18  
Date

For Department Use Only

Application received by Planning Department:

By: \_\_\_\_\_

Date: \_\_\_\_\_



# SAN FRANCISCO PLANNING DEPARTMENT

## Land Use Information

PROJECT ADDRESS: 1519 POLK ST  
RECORD NO.: 2018-008877CUA

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

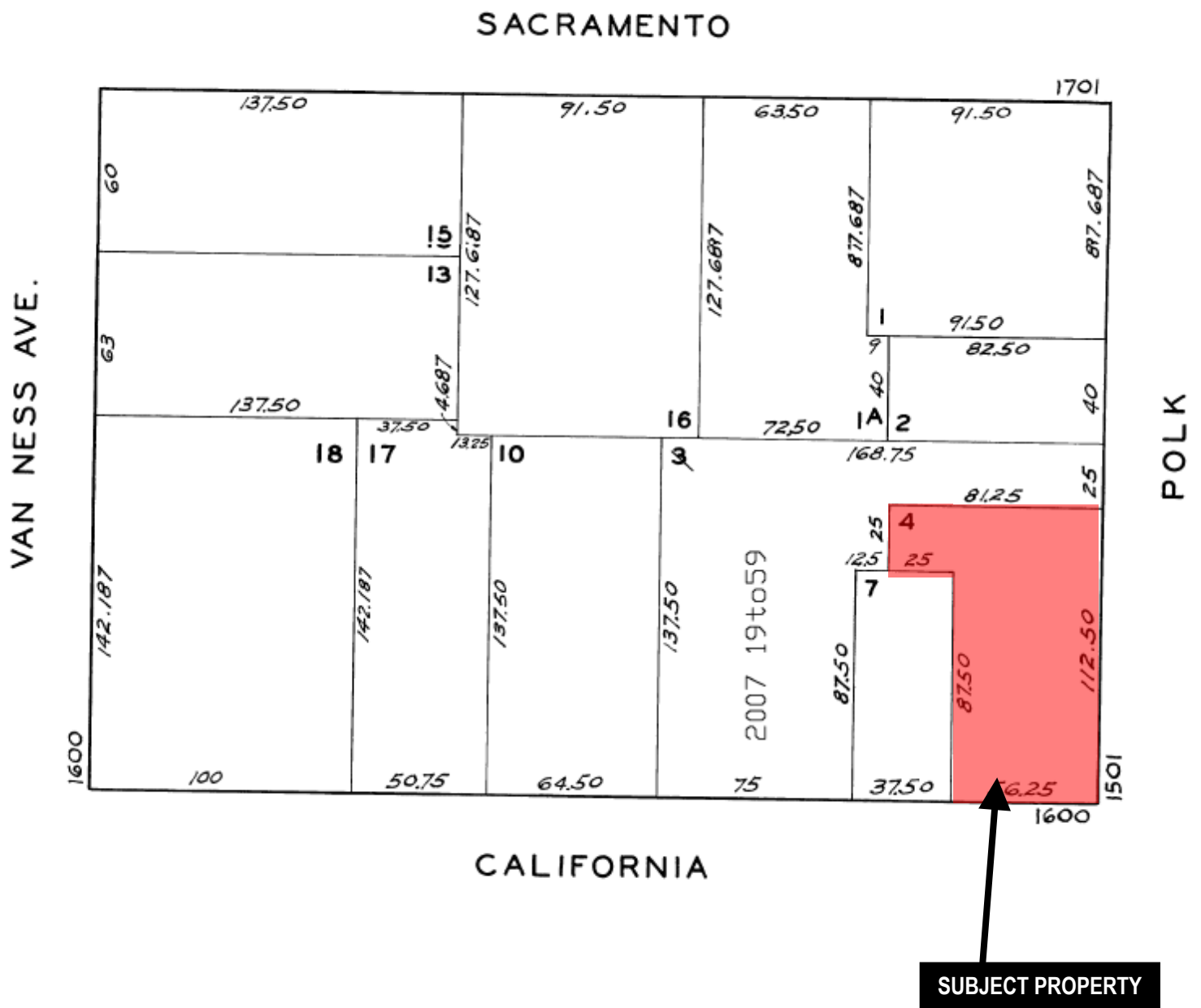
Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

	EXISTING	PROPOSED	NET NEW
<b>GROSS SQUARE FOOTAGE (GSF)</b>			
Parking GSF	0	0	0
Residential GSF	20,860	20,860	0
Retail/Commercial GSF	6,953	6,953	0
Office GSF	0	0	0
Industrial/PDR GSF <i>Production, Distribution, &amp; Repair</i>	0	0	0
Medical GSF	0	0	0
Visitor GSF	0	0	0
CIE GSF	0	0	0
Usable Open Space	0	0	0
Public Open Space	0	0	0
TOTAL GSF	27,813	27,813	0
	EXISTING	NET NEW	TOTALS
<b>PROJECT FEATURES (Units or Amounts)</b>			
Dwelling Units - Affordable	0	0	0
Dwelling Units - Market Rate	29	0	29
Dwelling Units - Total	29	0	29
Hotel Rooms	0	0	0
Number of Buildings	1	0	1
Number of Stories	4	0	4
Parking Spaces	0	0	0
Loading Spaces	0	0	0
Bicycle Spaces	0	2	2
Car Share Spaces	0	0	0

# Exhibit E Parcel Map



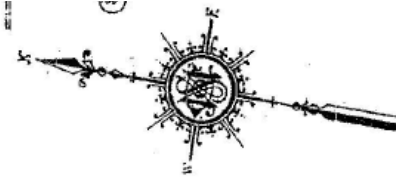
Conditional Use Authorization  
Case Number 2018-008877CUA  
Ora – Wine and Tapas Bar  
1519 Polk Street

# Sanborn Map\*

SUBJECT PROPERTY

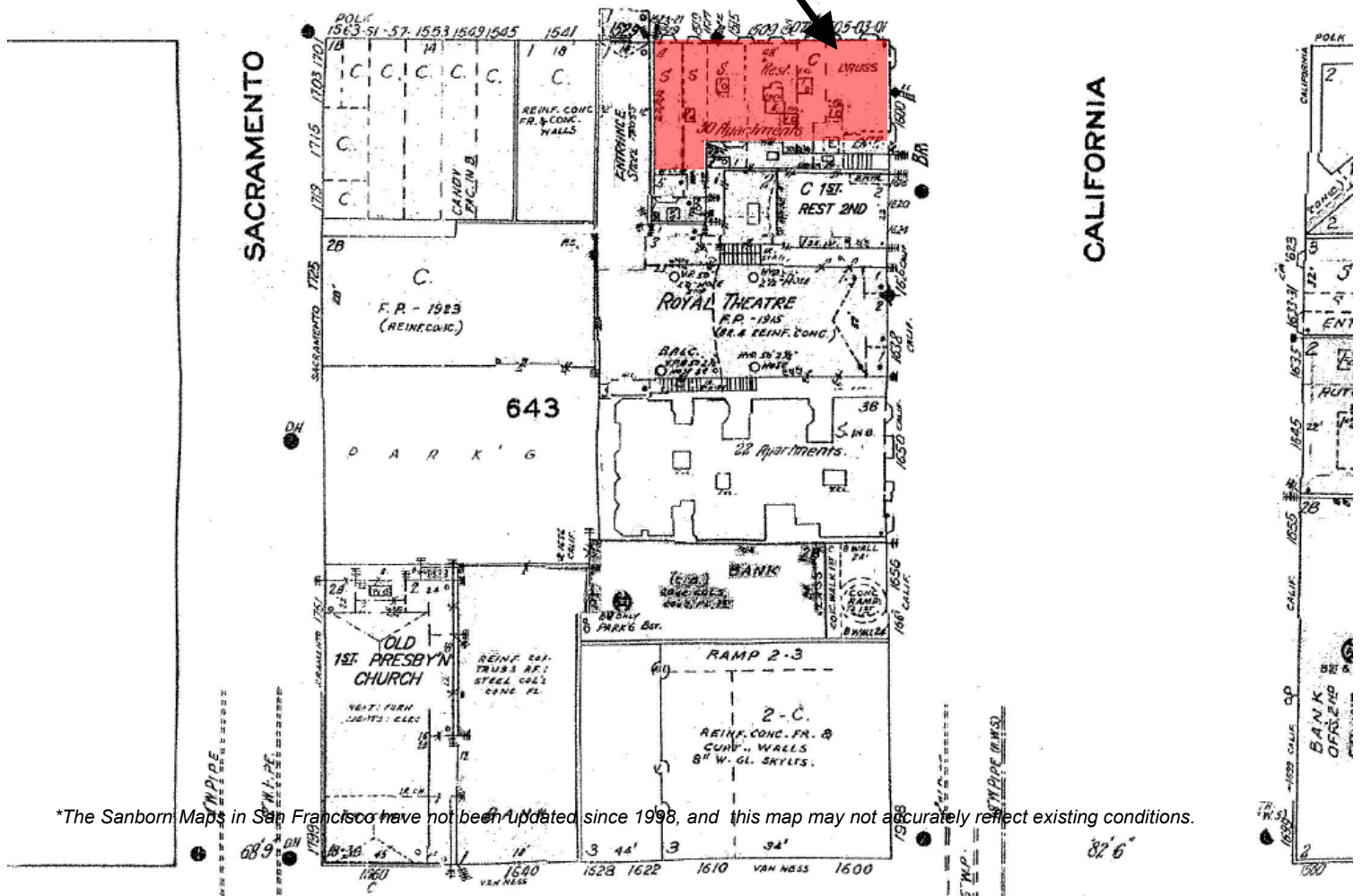
103

POLK



SACRAMENTO

CALIFORNIA



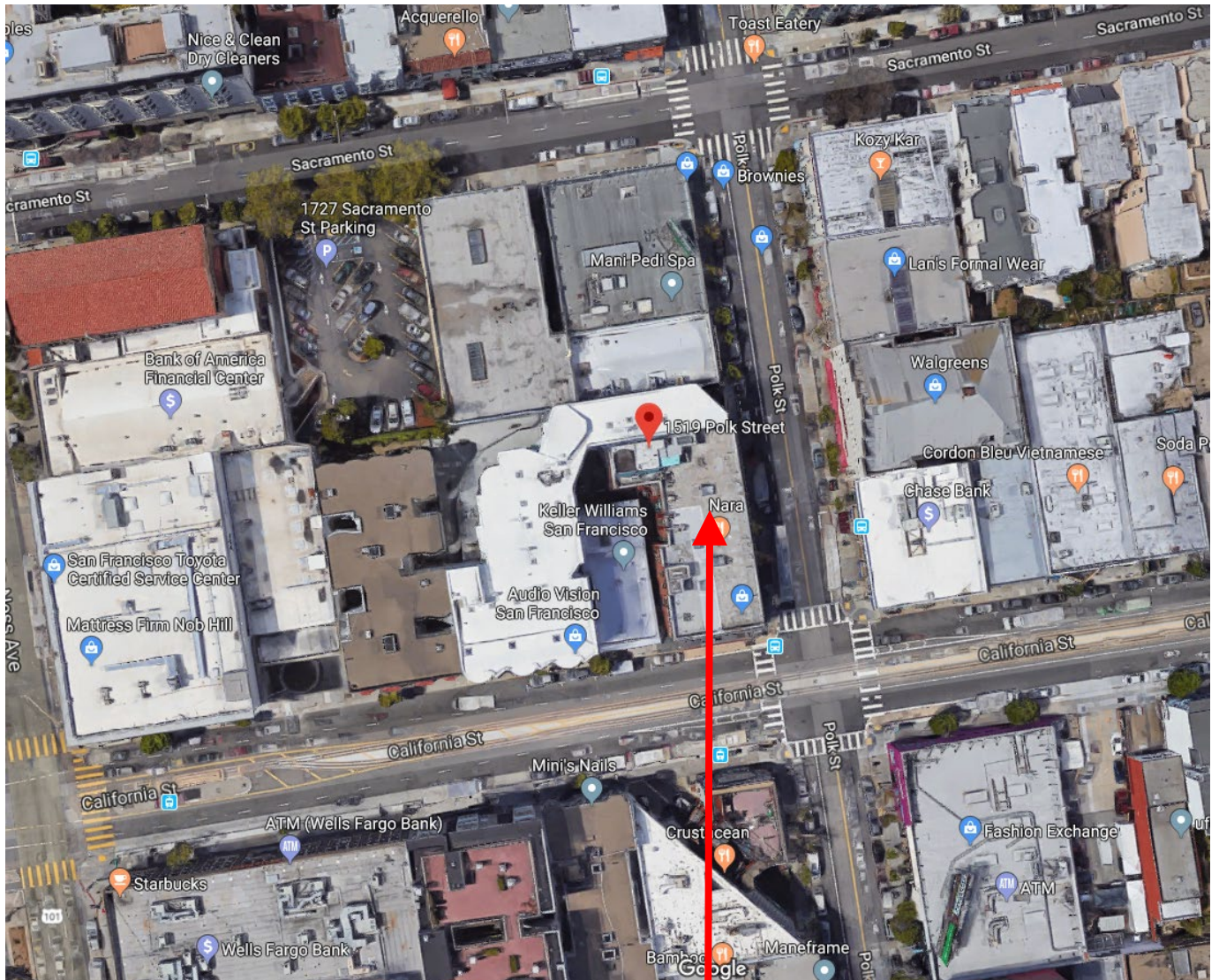
\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Conditional Use Authorization  
Case Number 2018-008877CUA  
Ora – Wine and Tapas Bar  
1519 Polk Street



# Aerial Photo

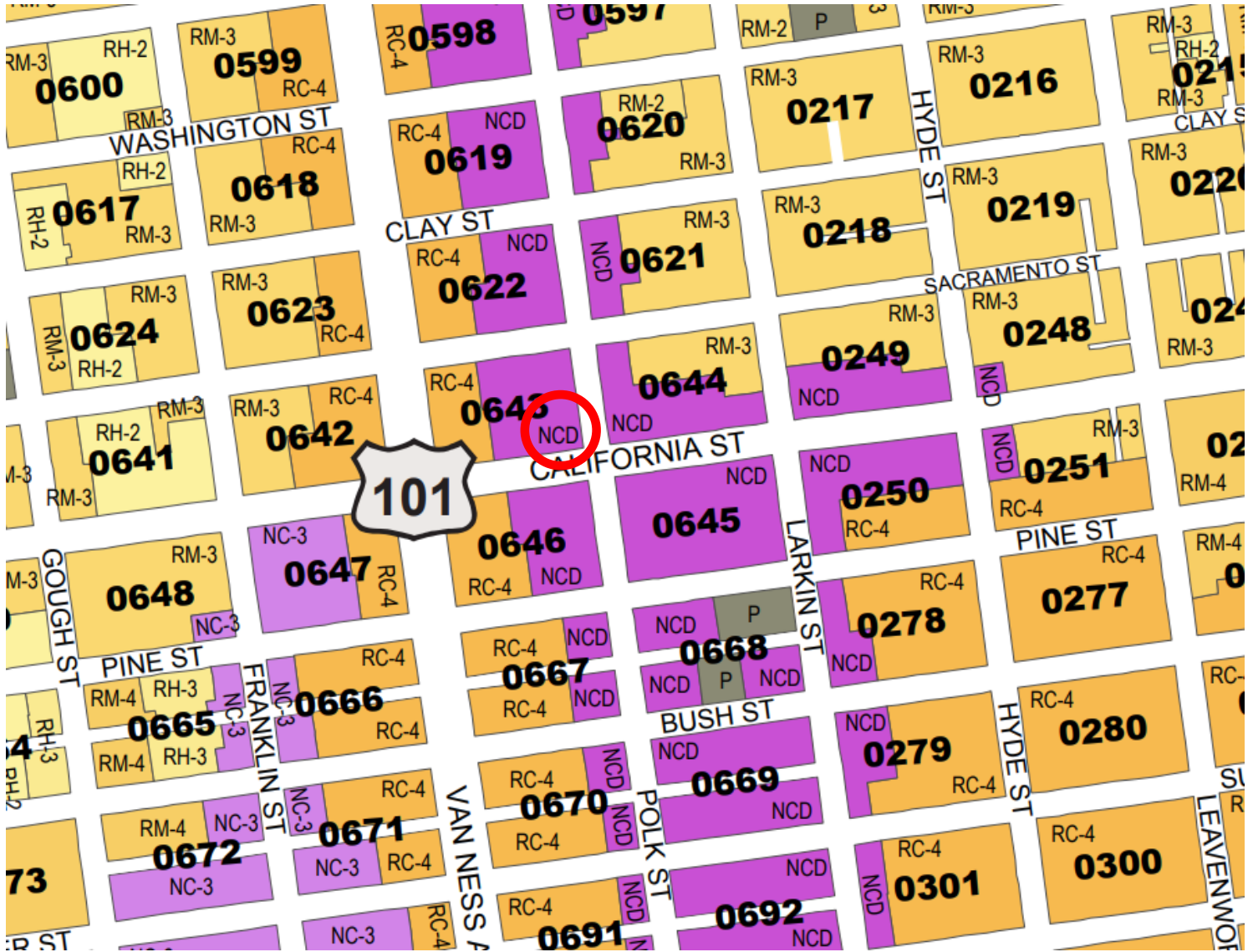


SUBJECT PROPERTY



Conditional Use Authorization  
Case Number 2018-008877CUA  
Ora – Wine and Tapas Bar  
1519 Polk Street

# Zoning Map



Conditional Use Authorization  
Case Number 2018-008877CUA  
Ora – Wine and Tapas Bar  
1519 Polk Street



# Site Photo



Conditional Use Authorization  
Case Number 2018-008877CUA  
Ora – Wine and Tapas Bar  
1519 Polk Street

# Exhibit F

January 5, 2019

To whom it may concern.

My husband, Patrick and I truly believe our wine and cheese bar on Polk St would be an asset to the neighborhood.

We currently own Bask restaurant in SF. We very much enjoy the service industry and have new inspiration in the making for the past 2 yrs. I am a native San Franciscan, and have enjoyed the Polk St neighborhood my entire adult life.

The Polk Gulch neighborhood is is going through some exciting changes, and we think the addition of a neighborhood wine and cheese spot would be fabulous.

With our connections and work backgrounds, we are wanting to bring some international flavor for everyone. A place you can stop in after work, hang with friends, host a birthday party. A casual, yet chic and cozy place, everyone can feel comfortable and welcomed in.

Our wines will be a selection from all over the world. From the complex to the traditional. Our cheese and charcuterie boards will feed the hunger, or the soul, along side your wine. Delicious tapas, and chocolate boards are on our menu for a romantic date dinner, or a casual outing with a coworker, neighbor, friend, or family.

We are overjoyed at the possibility of our wine bar, ORA, to become reality and can't wait to share our endeavor with everyone.

Sabrina and Patrick Thillard

# ORA

## WINES

**GL    BTL**

### WHITE

TXACOLINA   ZURI HOBDARRIBIA   BASQUE   2014	13	52
ALBARINO   LICIA   RIAS BAIXAS   SPAIN   2014	12	48
GRENACHE BLANC   LAFOU   TERRA ALTA   SPAIN   2014		56
CHARDONNAY   STARMONT   CARNEROS   2012	12	48
CHARDONNAY   SEABISCUIT RANCH   MENDOCINO   2013		59
PINOT GRIS   KING ESTATE   OREGON   2013	11	44
SAUVIGNON BLANC   KENWOOD RESERVE   SONOMA   2014	13	52
SANCERRE   SAINT LOUIS   FRANCE   2014	14	56

### ROSE

GRENACHE/ SYRAH   CHATEAU LA SAUVAGEONNE   FRANCE   2014	11	44
COTES DU PROVENCE   SABLES D'AZUR   FRANCE   2014	10	40

### RED

TEMPRANILLO   VINA REAL   CRIANZA   RIOJA BASQUE   2010	10	40
TEMPRANILLO   CAMPO VIEJO   RESERVA   RIOJA BASQUE   2009	13	52
TEMPRANILLO/ CAB   LEGARIS   RIBERA DEL DUERO   SPAIN   2011	15	59
TEMPRANILLO/ MERLOT   CONVENTO SAN FRANCISCO   SPAIN   2006		89
GRENACHE   SCALA DEI GARNATXA   PRIORAT   SPAIN   2014	11	44
GRENACHE / SYRAH   LAFOU   TERRA ALTA   SPAIN   2013		56
PETIT VERDOT   MARQUES DE GRIÑON   VALDEPUSA   SPAIN   2006		95
BARBERA   ST AMAND OLD WINE   LODI   2014	12	48
CABERNET SAUVIGNON   TWENTY ROWS   NAPA   2013	13	52
CAB/ MERLOT/ CAB-FRANC   SEABISCUIT RANCH   MENDOCINO   2011		68
MERLOT   GAINEY VINEYARD   SANTA BARBARA   2012	12	48
MERLOT / P. VERDOT   FORWARD KIDD   NAPA   2012		68
PINOT NOIR   CAMBRIA WINERY   SANTA MARIA   2014	14	56
ZINFANDEL   ST AMAND OLD WINE   LODI   2012	11	44
GIGONDAS   ORATORIO   FRANCE   2012		68
GSM   CHATEAU L'HOSPITALET LA RESERVE   FRANCE   2013	13	52
MALBEC   CHATEAU CROZE DE PYS   FRANCE   2011	11	44

### CAVA

BRUT   CAMPO VIERO BRUT RESERVA   SPAIN	9	36
ROSE   ANNA DE CODORNIU   SPAIN	9	36

### CHAMPAGNE

BRUT   BEAUMONT DES CRAYERES GRANDE RESERVE   FRANCE	16	70
ROSE   BEAUMONT DES CRAYERES GRAND ROSE   FRANCE	18	75



### DRAFT BEER

LAGER   Estrella Damn   Spain	6.5	26
PALE LAGER   Stella Artois   Belgium	6.5	26
CZECH PILSNER   Staropramen   Prague	6.5	26
WHEAT BEER   Fort Point Park   San Francisco	6.5	26
IPA   Pine Street Brewery   San Francisco	6.5	26
RED ALE   Fort Point Westfaria   San Francisco	6.5	26

### BOTTLES BEER

LAGER   1664 Kronenbourg   France	6.5	
WHEAT   1664 Kronenbourg Blanc   France	6.5	
GLUTEN FREE LAGER   Daura Damn   Spain	6.5	
MALT & WHEAT BEER   Inedit Created by Ferran Adria   Spain	7	
PALE LAGER   1906 Reserva Especial   Spain	6.5	
GOLDEN ALE   Alhambra 1925 Reserva   Spain	6.5	
DARK LAGER   Alhambra   Spain	6.5	
NON ALCOHOLIC   Beck's   Germany	6.5	

### SPARKLING WATER

PERRIER 33cl	3	
SAN PELEGRINO 75cl	7	

### SODA

COKE   DIET COKE   SPRITE	3	
ORANGINA	4	
APPLE JUICE   ORANGE JUICE	4	

### HOT DRINKS

COFFEE	2.5	
ESPRESSO	2.5	
LATTE   CAPPUCINO	4	
HOT TEA	3	

# ORA

## To Nibble:

Marinated Olives

The nut mix

The classic bruschetta with manchego

Sardines/anchovies

House Vegetables with avocado/hummus dip

Goat cheese pops

Prosciutto bread sticks

## To Share:

Mini Pizza trio:

\* choice of mushroom/chevre, onion/bacon, or tomato/garlic

Salmon Tartare

\* soy sauce, black sesame, chives

Ham skewers

\* slices of ham, figs, melons, and mint

Trout skewers

\* smoked trout, zucchini, and fresh ginger

Harissa Burrata

\* burrata, heirloom tomatoes, spinach with a harissa olive oil dressing, topped with espelette pepper and sea salt, and bread, GF too

## Cheese Boards:

### The classic Idols

An Italian parmigiano, A Spanish Manchego, and a French Brie

\* accompanied with zucchini butter, crushed tomatoes, and cranberry jam.

### The Ewwwwe-phoric ones

Brebirousse D'argental- soft, pasteurized, sheep, France

Ossau Iraty Vielle- hard, raw, sheep, France

Ewes Blue - pasteurized, sheep, New York

### Mangia, Mi Amor

Quadrello Di Bufala- pasteurized, buffalo, Italy

Gorgonzola Cemificato- pasteurized, cow, Italy

Robiola Di Capra Incavolata- pasteurized, goat, Italy

\* accompanied with bison jerky, apples and honey, and artichoke hearts

### The smoothest moves

La Tur- pasteurized, cow, sheep, and goat, Italy

Langres- pasteurized, cow, France

Meadow Creek Dairy Grayson- raw, cow, Virginia

\* accompanied with cantaloupe prosciutto, apple jelly, and lemon curd

## Charcuterie Boards:

### Zee 'charcuterie'

Jambon Sec, Saucisson Sec, Pate-chicken liver

\* accompanied with olive tapenade, cornichons, sliced baguette

\* A glass of Champagne or chilled Pinot Noir works well with this board

### The flirty Italian

Salami, Bresaola, Coppa

\* accompanied with bruschetta, puttanesca relish, olives, crostini

\* Go light and fruity, A Prosecco, Pinot Grigio, or a chilled red, such as Valpolicella

### Ole-le-le

Chorizo, Jamon Iberico, Manchego Cheese

\* accompanied with olives, almonds, and bread with a tomato rub

\* A glass red from Spain, such as a Tempranillo or Garnacha. Or a fabulous dry Rose.

For the sweet tooth:

The dark chocolate board (single order, or to share)

Beet mousse with apples

Sweet Taboule

Praline cherry pops with white chocolate