



# SAN FRANCISCO PLANNING DEPARTMENT

## Discretionary Review Abbreviated Analysis HEARING DATE: APRIL 11, 2019

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

*Date:* March 21, 2019  
*Case No.:* **2018-007006DRP**  
*Project Address:* **2000 Grove Street**  
*Permit Application:* 2018.0509.8704  
*Zoning:* RM-1 [Residential Mixed, Low-Density]  
40-X Height and Bulk District  
*Block/Lot:* 1189/002D  
*Project Sponsor:* Seth Pare-Meyer  
1349 Spruce St.  
Napa, CA 94559  
*Staff Contact:* David Winslow – (415) 575-9159  
[David.Winslow@sfgov.org](mailto:David.Winslow@sfgov.org)  
*Recommendation:* **Do not take DR and approve as proposed**

### PROJECT DESCRIPTION

The project consists of mandatory seismic retrofit, the removal of three off-street parking spaces, and construction of an accessory dwelling unit in the ground level garage of an existing 4-story apartment house. No expansion outside the existing building envelope is proposed.

### SITE DESCRIPTION AND PRESENT USE

The site is a 25'-0" x 106'-3" corner 4-story, 6-unit apartment building with ground level garages. The building was constructed in 1925 and is listed as a category 'B' historic resource.

### SURROUNDING PROPERTIES AND NEIGHBORHOOD

This block of Grove consists of 3-4-story multi-family houses fronting the street.

### BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
None	NA	NA	8.10. 2018	4.11.2019	244 days

## HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	20 days	March 22, 2019	March 22, 2019	20 days
Mailed Notice	20 days	March 22, 2019	March 22, 2019	20 days
Newspaper Notice	20 days	March 22, 2019	March 22, 2019	20 days

## PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	0	0	0
Other neighbors on the block or directly across the street	0	0	0
Neighborhood groups	0	0	0

## DR REQUESTOR

Jennifer Fieber of the San Francisco Tenants Union, on behalf of the building tenants.

## DR REQUESTORS' CONCERNS AND PROPOSED ALTERNATIVES

1. The garage spaces are part of tenant services that are included as a part of the tenants' lease which the tenants have not agreed to give up.

See attached *Discretionary Review Applications*, dated August 10, 2018.

## PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

The sponsor has complied with the Planning Code and the Department's procedures of notification for adding accessory dwelling units and has reduced the scope to add a single ADU.

See attached *plans*, dated March 11, 2019.

## ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

## DEPARTMENT REVIEW

The proposed accessory dwelling unit (ADU) complies with the Planning Code and the Department's applicable design guidelines and policy goals. The Planning Code does not require parking and allows for the removal of off-street parking for a variety of uses. Tenants are required to be notified per DBI screening procedures for ADUs, which require an owner affidavit regarding housing services.

The removal and re-allocation of tenant housing services is not an issue regulated by the Planning Department, but rather by the Rent Board. The project sponsor revised the scope of work to add only a single ADU and maintain 3 garage spaces as a part of retention of tenant housing services.

<b>RECOMMENDATION:</b> <b>Do not take DR and approve project</b>
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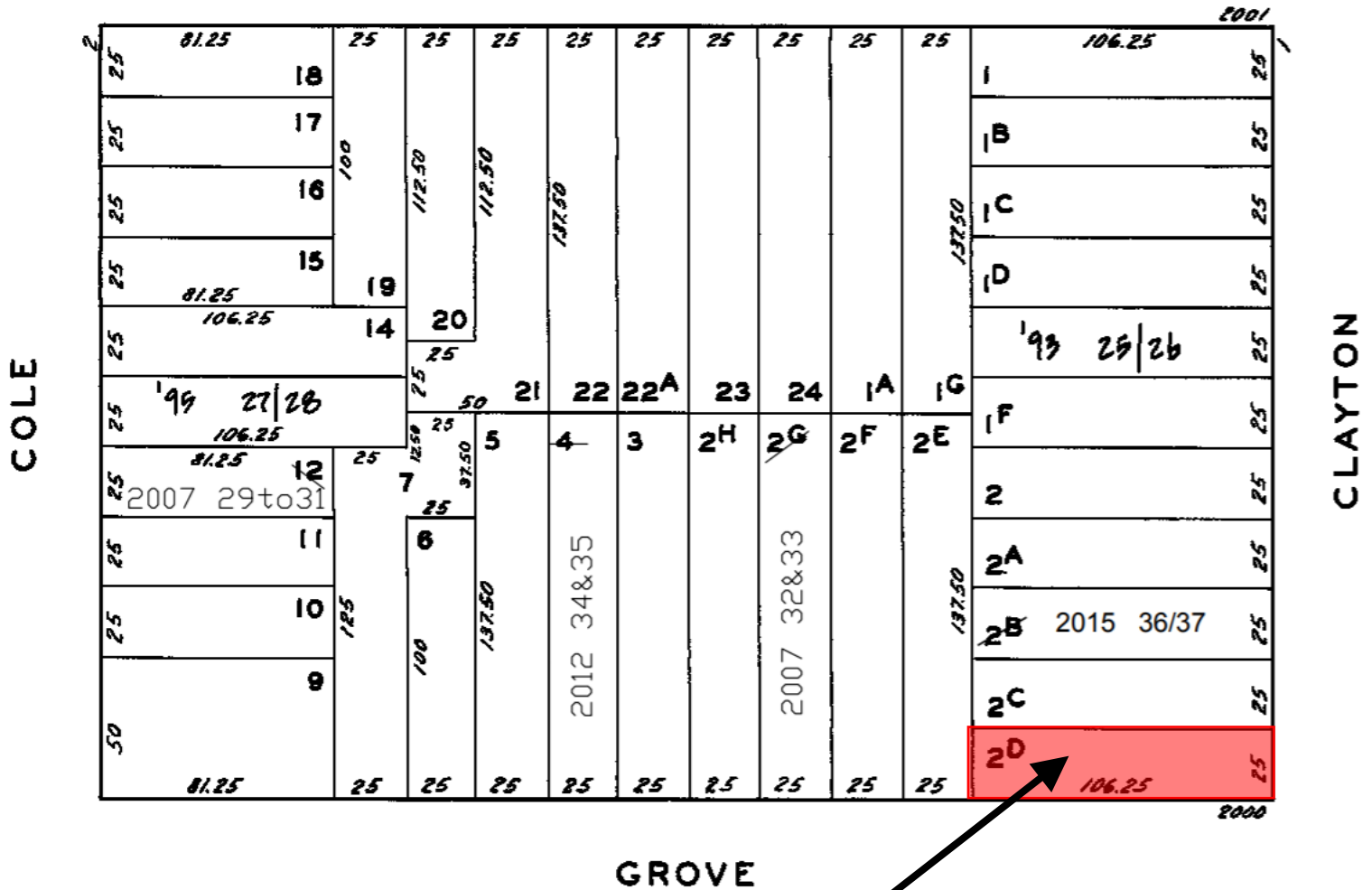
### Attachments:

Block Book Map  
Sanborn Map  
Zoning Map  
Aerial Photographs  
Context Photographs  
Section 311 Notice  
CEQA Determination  
DR Application  
ADU screening form and Affidavit  
Tenant notification  
Reduced revised Plans dated March 11, 2019

# Exhibits

# Parcel Map

FULTON

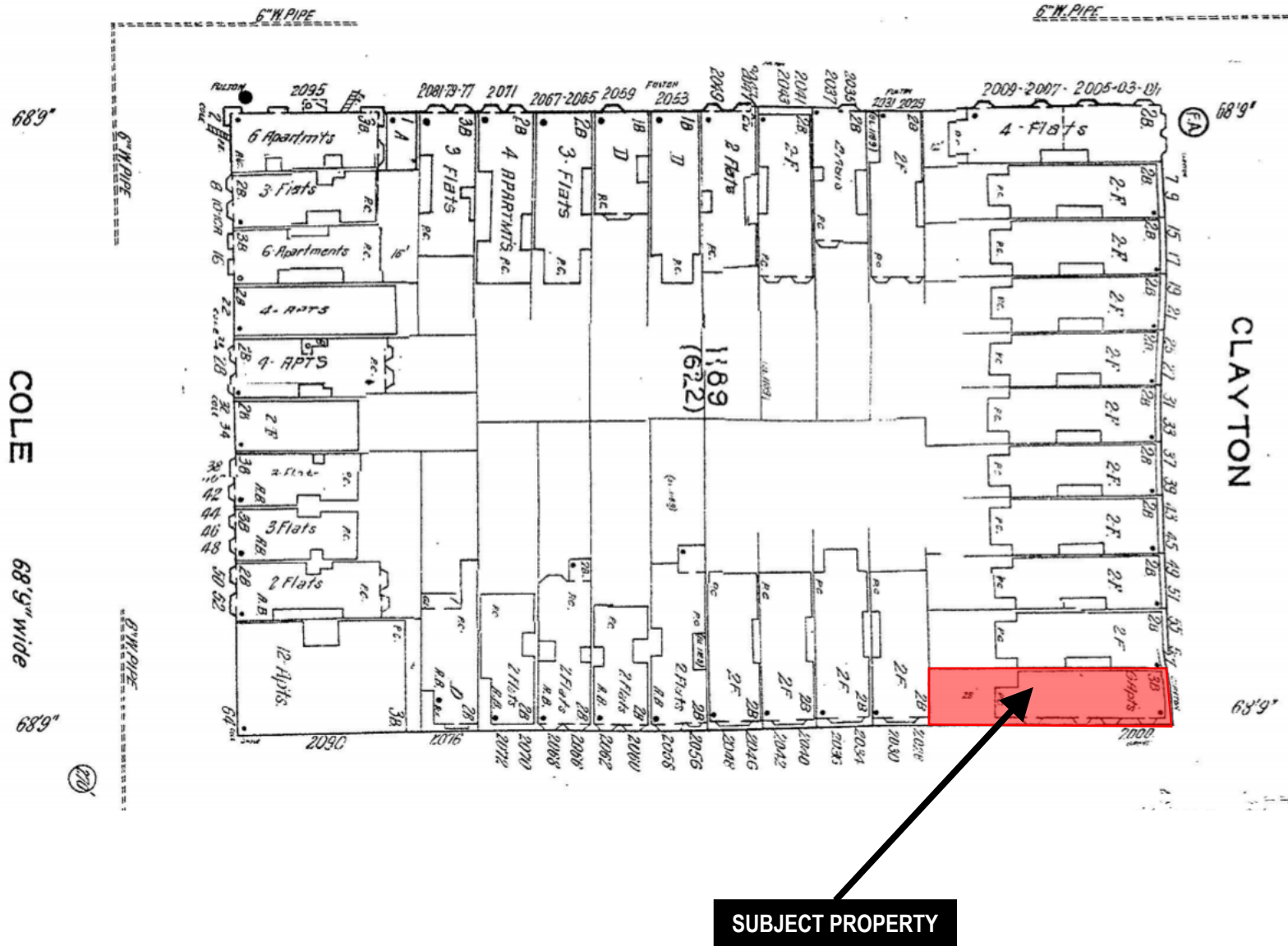


## SUBJECT PROPERTY



Discretionary Review Hearing  
**Case Number 2018-007006DRP**  
 2000 Grove Street

# Sanborn Map\*

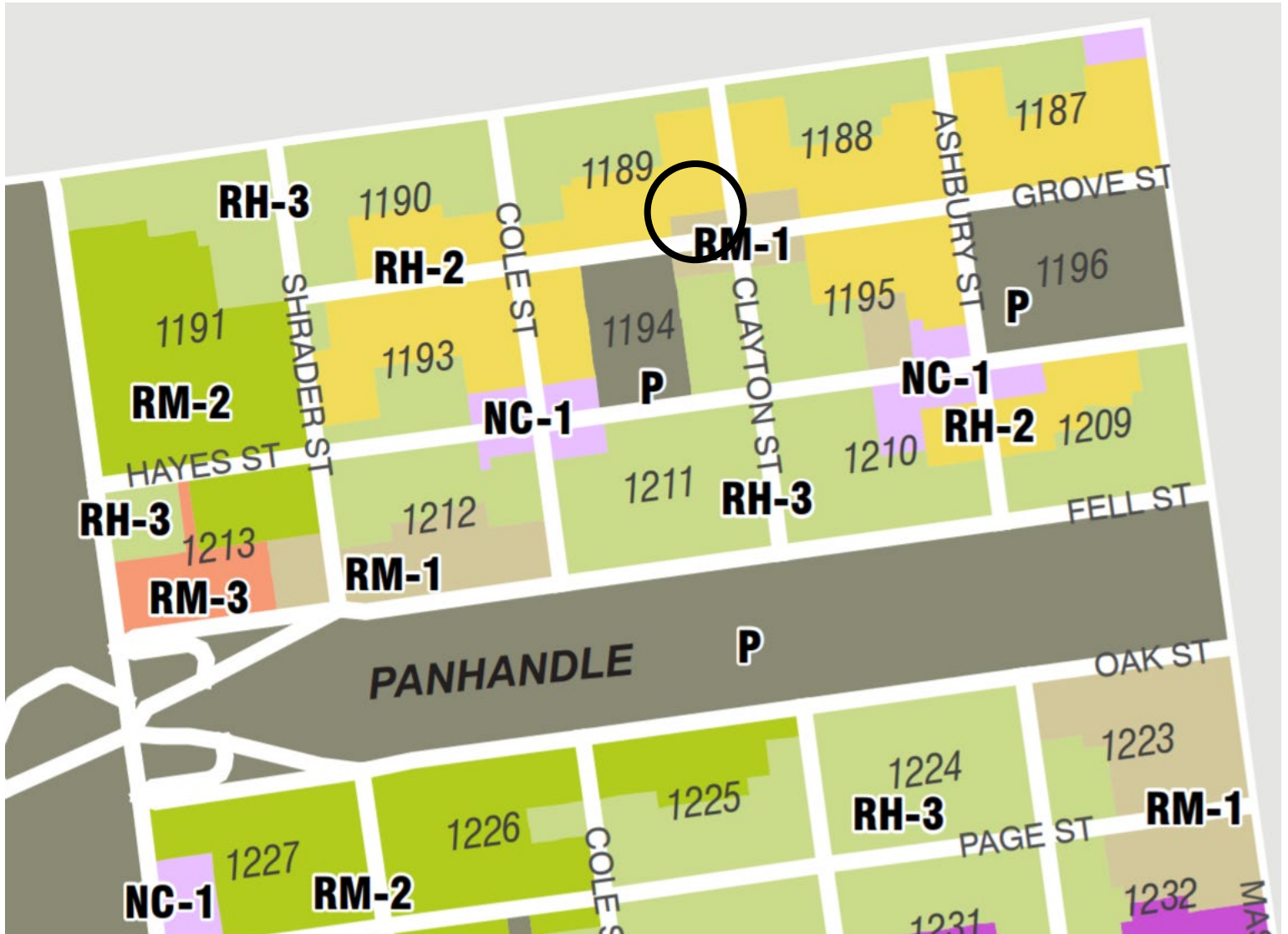


\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing  
Case Number 2018-007006DRP  
2000 Grove Street

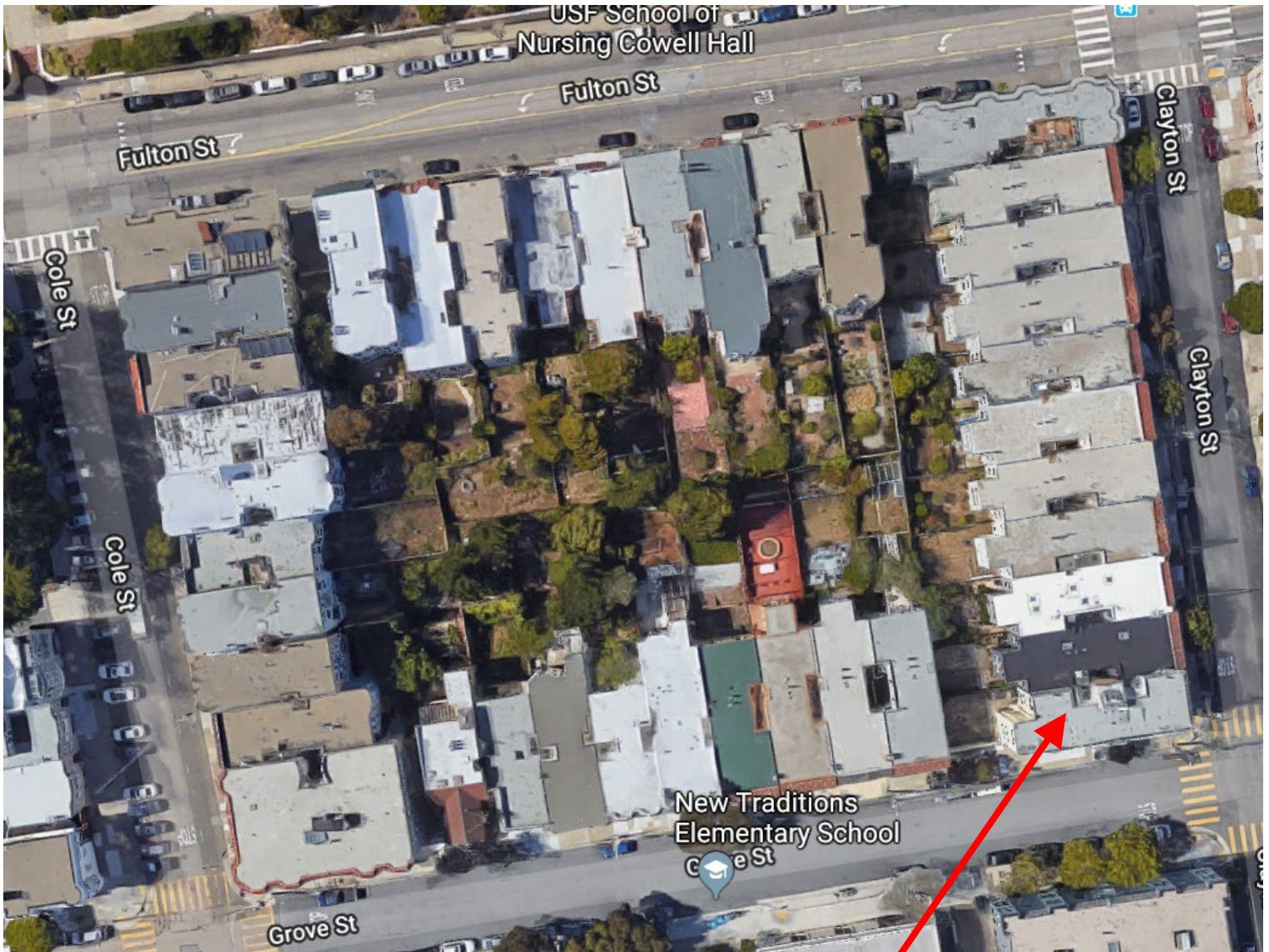
# Zoning Map



Discretionary Review Hearing  
Case Number 2018-007006DRP  
2000 Grove Street



# Aerial Photo



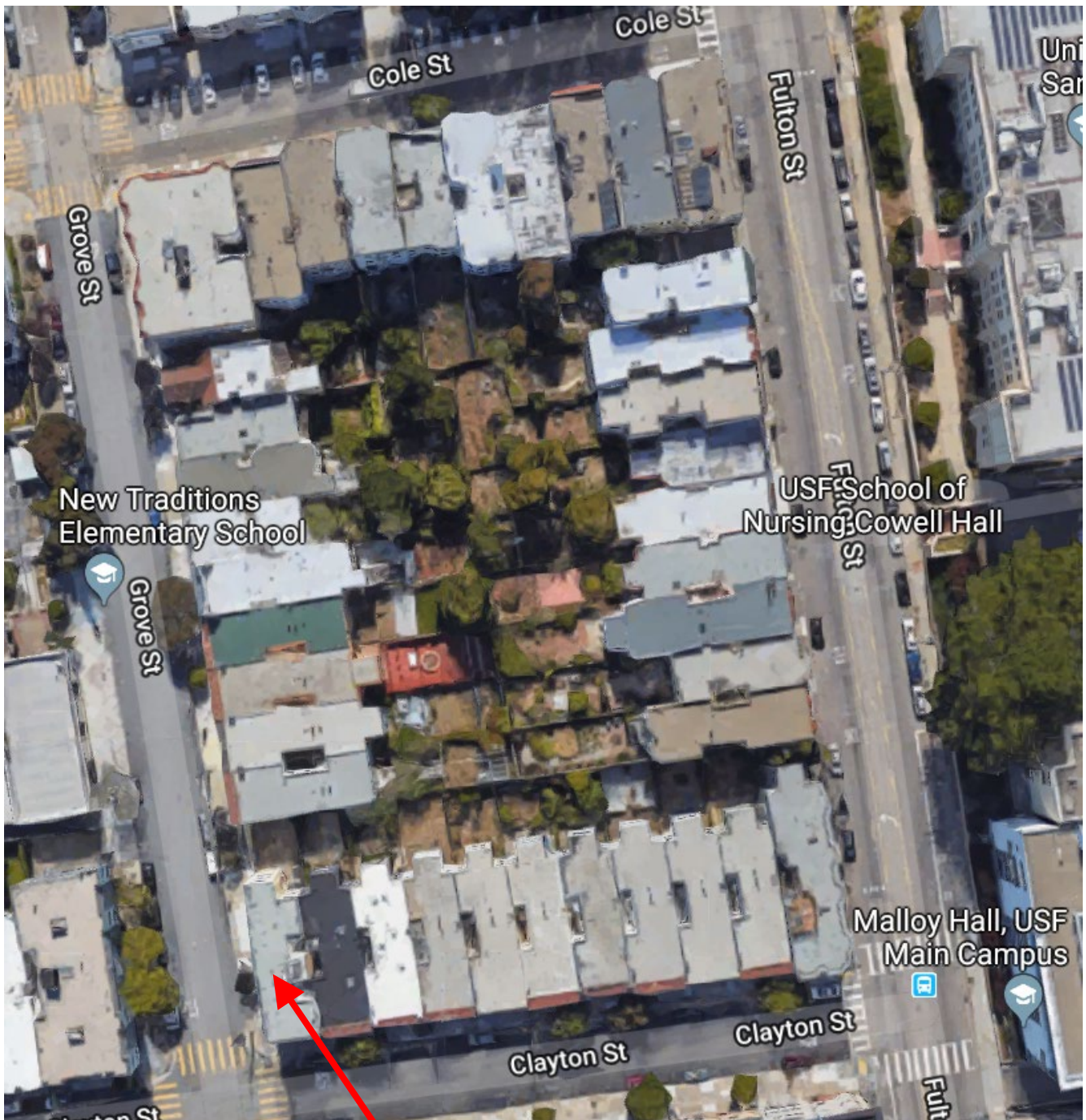
SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2018-007006DRP  
2000 Grove Street



# Aerial Photo



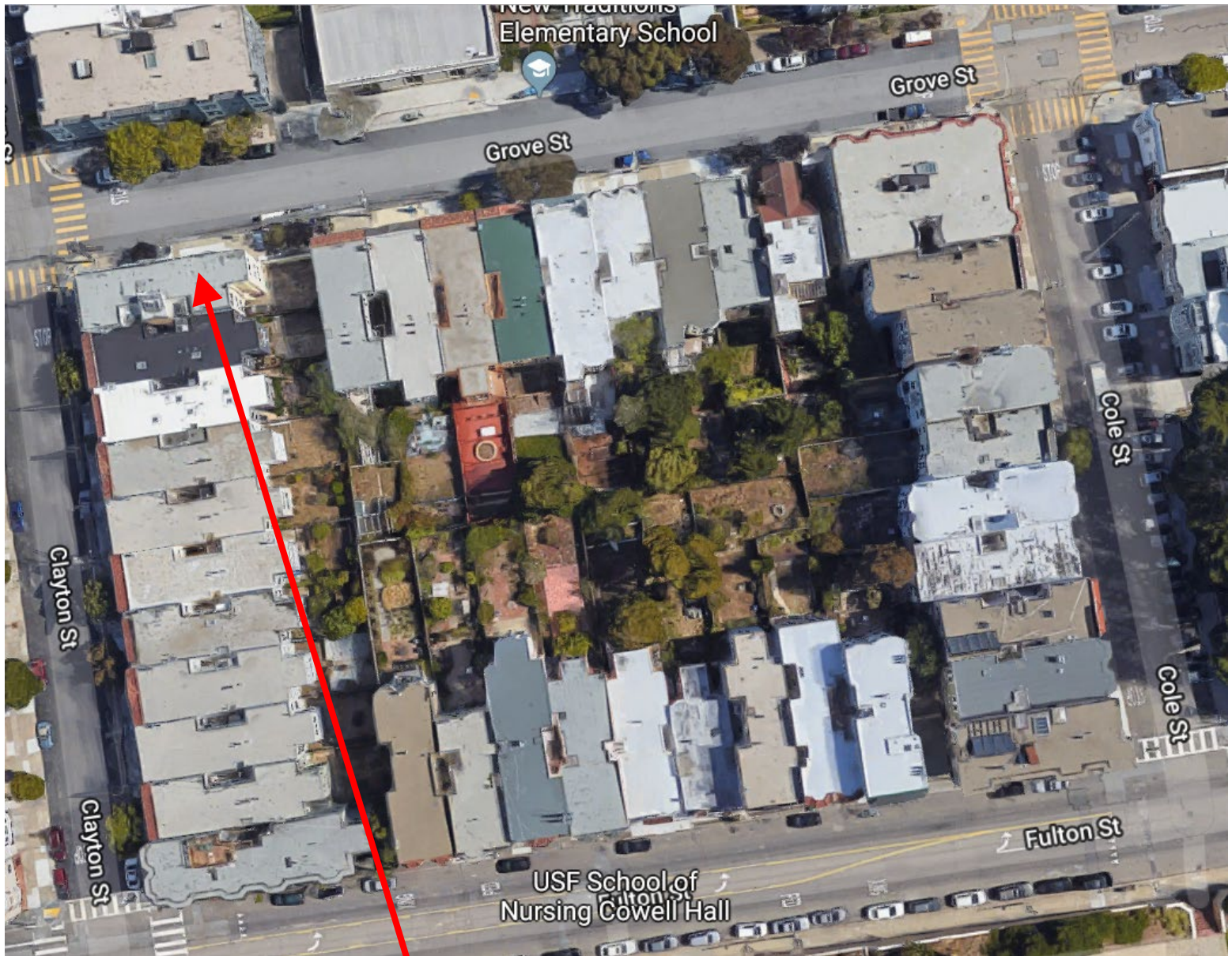
SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2018-007006DRP  
2000 Grove Street



# Aerial Photo



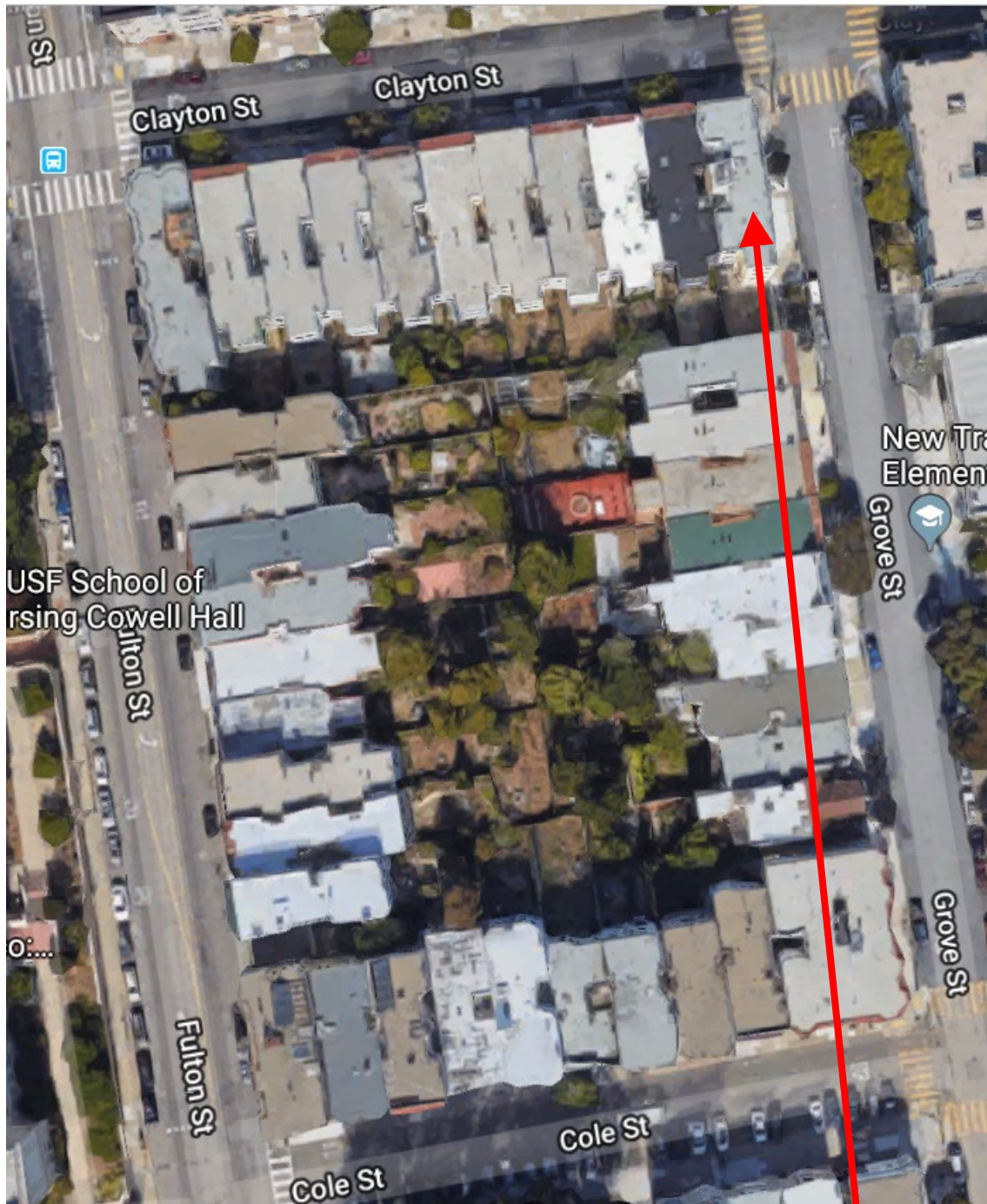
**SUBJECT PROPERTY**



Discretionary Review Hearing  
Case Number 2018-007006DRP  
2000 Grove Street



# Aerial Photo



SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2018-007006DRP  
2000 Grove Street

# Site Photo



**SUBJECT PROPERTY**

Discretionary Review Hearing  
Case Number 2018-007006DRP  
2000 Grove Street



San Francisco  
Planning

PLANNING APPLICATION RECORD NUMBER

2018-007006 DRP

## DISCRETIONARY REVIEW APPLICATION

RECEIVED

AUG 10 2018

### Property Owner's Information

Name:

Address:

Email Address:

Telephone:

CITY & COUNTY OF S.F.  
PLANNING DEPARTMENT  
PIC

### Applicant Information (if applicable)

Name: Jennifer Fieber

Same as above ☐

Company/Organization: San Francisco Tenants Union

Address: 558 Capp St San Francisco CA 94110

Email Address: jennifer@sftu.org

Telephone: 415-282-6543

#### Please Select Billing Contact:

☐ Owner

☒ Applicant

☐ Other (see below for details)

Name: \_\_\_\_\_ Email: \_\_\_\_\_ Phone: \_\_\_\_\_

#### Please Select Primary Project Contact:

☐ Owner

☒ Applicant

☐ Billing

### Property Information

Project Address: 2000 Grove St

Block/Lot(s): 1189/002D

Plan Area: 2656 sq ft

### Project Description:

Please provide a narrative project description that summarizes the project and its purpose.

Conversion of ground level garage space to 2 ADU units within envelop of this 6 unit building.

The garage spaces are currently parking spaces which were included as part of the tenants lease. All tenants have not agreed to give up these spaces which would be required before plans can proceed.





# DISCRETIONARY REVIEW APPLICATION

## APPLICATION SUBMITTAL REQUIREMENTS

Pursuant to Planning Code Section 311 (d) and 312 (e), the Planning Commission may exercise its power of Discretionary Review over a building permit application.

Please read the Discretionary Review Informational Packet carefully before the application form is completed.

### WHAT TO SUBMIT:

- ☐ Two (2) complete applications signed by owner or agent.
- ☐ A Letter of Authorization for Agent from the owner giving you permission to communicate with the Planning Department on their behalf.
- ☐ Photographs or plans that illustrate your concerns.
- ☐ Related covenants or deed restrictions (if any).
- ☐ A digital copy (CD or USB drive) of the above materials (optional)
- ☐ Payment via Check, Money Order or debit/credit for the required intake fee amount. (See Fee Schedule and/or Calculator)

### HOW TO SUBMIT:

To file your Mandatory or Staff Initiated Discretionary Review application, please send an email request along with the intake appointment request form to: [CPC.Intake@sfgov.org](mailto:CPC.Intake@sfgov.org). Intake request forms are available here: <http://sf-planning.org/permit-forms-applications-and-fees>.

To file your Public Initiated Discretionary Review (Public) application, please submit in person at the Planning Information Center, 1660 Mission Street, first floor, with all required materials including a check payable to the Planning Department.

**Español:** Si desea ayuda sobre cómo llenar esta solicitud en español, por favor llame al 415.575.9010. Tenga en cuenta que el Departamento de Planificación requerirá al menos un día hábil para responder

**中文:** 如果您希望獲得使用中文填寫這份申請表的幫助, 請致電415.575.9010。請注意, 規劃部門需要至少一個工作日來回應。

**Tagalog:** Kung gusto mo ng tulong sa pagkumpleto ng application na ito sa Filipino, paki tawagan ang 415.575.9121. Paki tandaan na mangangailangan ang Planning Department ng hindi kukulangin sa isang araw na pantrabaho para makasagot.

## ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

In reviewing applications for Certificate of Appropriateness the Historic Preservation Commission, Department staff, Board of Appeals and/or Board of Supervisors, and the Planning Commission shall be governed by *The Secretary of the Interior's Standards for the Treatment of Historic Properties* pursuant to Section 1006.6 of the Planning Code. Please respond to each statement completely (Note: Attach continuation sheets, if necessary). Give reasons as to *how* and *why* the project meets the ten Standards rather than merely concluding that it does so. IF A GIVEN REQUIREMENT DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?		✓
Did you discuss the project with the Planning Department permit review planner?	✓	
Did you participate in outside mediation on this case? (including Community Boards)		✓

## CHANGES MADE TO THE PROJECT AS A RESULT OF MEDIATION

If you have discussed the project with the applicant, planning staff or gone through mediation, please attach a summary of the result, including any changes that were made to the proposed project.

Tenant has filed their own objection with assigned planner. Planner recommended additional step of Discretionary Review be filed if unsatisfied.

**Project Details:**

- ☒ Change of Use    ☐ New Construction    ☐ Demolition    ☐ Facade Alterations    ☐ ROW Improvements  
☒ Additions    ☐ Legislative/Zoning Changes    ☐ Lot Line Adjustment-Subdivision    ☒ Other Seismic work

**Estimated Construction Cost:** 150000

- Residential:**    ☐ Special Needs    ☐ Senior Housing    ☐ 100% Affordable    ☐ Student Housing    ☐ Dwelling Unit Legalization  
☐ Inclusionary Housing Required    ☐ State Density Bonus    ☒ Accessory Dwelling Unit

- Non-Residential:**    ☐ Formula Retail    ☐ Medical Cannabis Dispensary    ☐ Tobacco Paraphernalia Establishment  
☐ Financial Service    ☐ Massage Establishment    ☐ Other: \_\_\_\_\_

**Related Building Permits Applications**

Building Permit Applications No(s):    201805098704

*1. What are the reasons for requesting Discretionary Review? What are the exceptional and extraordinary circumstances that justify Discretionary Review? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines?*

The owner seeks to introduce ADU units into ground floor garage spaces that are currently occupied by existing tenants current leases. San Francisco Rent Ordinance Section 37.2 (r) defines a rental unit as:

*(r) Rental Units. All residential dwelling units in the City and County of San Francisco together with the land and appurtenant buildings thereto, and all housing services, privileges, furnishings and facilities supplied in connection with the use or occupancy thereof, including garage and parking facilities.*

And that

*Garage facilities, parking facilities, driveways, storage spaces, laundry rooms, decks, patios, or gardens on the same lot, or kitchen facilities or lobbies in single room occupancy (SRO) hotels, supplied in connection with the use or occupancy of a unit, may not be severed from the tenancy by the landlord without just cause as required by Section 37.9(a).*

The planning department acknowledges on their ADU permit applications that issuance of a permit does not constitute a Just Cause. The tenants have not agreed a buyout nor willingly given up these spaces, which is their right, so the owners have no Just Cause to remove the housing services.

These permits need to be rejected because the space in which the ADUs intend to be placed is currently occupied by existing tenants and is not "unused space." Approval of permits which grant permission to take away services from existing tenants would indeed be an example of the extraordinary disregard of San Francisco's Rent Ordinance and a slippery slope to allowing cutting tenants units in half to create more housing. Do not require the tenants to hire private attorneys to defend their rights.

*2. Explain how this project would cause unreasonable impacts...to your property and/or the properties of others.*

- Parking was offered to each tenant upon moving in and for those who opted in, it became part of the lease agreement and therefore their property. To remove it would be in violation of the lease.
- Removal of parking spaces will severely impact numerous tenants, especially in terms of personal safety when returning home at night and vehicular safety, as well as the expectation that parking would be available when signing the lease.

*3. What alternatives or changes would respond to the exceptional and extraordinary circumstances?*

- Refuse permission for ADU plans until and if garage space have been naturally given up by tenants as they move out or agree to buyouts.
- If the owners can get the existing tenants to agree to occupy different parking spots in a one-to-one exchange, plans could be drawn up for less ADUs in the available spaces.

## DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

See next page

- 
2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

See next page

- 
3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

See next page





Attachment B

## Addition of Dwelling Units per Ordinance

☒ No. 162-16 or ☐ No. 95-17 or ☐ No. 162-17 (check one box only)

SCREENING FORM – No fee to file

Section 1 and 3 of the screening form shall be completed by the owner or agent to determine the eligibility for adding dwelling units per Ordinance No. 162-16 based on permits for Mandatory Seismic Retrofitting under SFEBC Chapter 4D, or voluntary seismic retrofitting per AB-094, or existing residential building complies with the requirements of Ordinance No. 162-16, No. 95-17 or No. 162-17. Section 2 shall only be completed by the owner.

Submit the completed Screening Form (with the supporting documents) as a hardcopy in person or by U.S. mail to Department of Building Inspection, 1660 Mission Street, San Francisco, CA 94103

BLOCK / LOT NUMBER: 1189/002D

ADDRESS: 2000 GROVE ST

CONTACT (OWNER OR AGENT) : SETH PARE-MAYER (AGENT)

### SECTION 1 – ADMINISTRATIVE INFORMATION

SETH PARE-MAYER	415-624-4334	SETH@ATELIER-KS.COM
Contact Name	Contact Telephone	Contact Email
101 S. COOMBS ST, SUITE Y-7, NAPA, CA 94559		
Contact Mailing Address		

### SECTION 2 - OWNER AFFIDAVIT - HOUSING SERVICES

(Completed by Owner only)

- A. Owner(s) acknowledges that pursuant to Rent Ordinance 37.2(r) severance of garage facilities, parking facilities, driveways, storage space, laundry rooms, decks, patios, and gardens on the same lot, or kitchen facilities and lobbies within an SRO from an existing tenancy requires a "just cause". The issuance of a permit does not constitute a just cause. A signature below asserts that the Owner(s) is aware of these legal requirements and is proceeding with filing a permit to convert existing space within their building into an Accessory Dwelling Unit(s), or owner signature asserts that property is not subject to these controls in Rent Ordinance or project does not propose removal of housing services, therefore B & C as described below, not required as part of Screening Form process.

AMICHI AMAR

Printed Name of Owner

A handwritten signature in black ink, appearing to be "Amichi Amar", written over a horizontal line.

Signature

02-04-19

Date

- B. AND Owner must notify affected tenants of the Owner(s) intention to convert aforementioned space(s) to Accessory Dwelling Unit(s):
- i) Notice to be posted for 15-days in a common area of the building; and
  - ii) Notice to be mailed to all tenants and to property owner.
- C. AND Submit copy of posted/mailed notice, postmarked letter to owner, photograph of posted notice, and copy of mailing list with this Screening Form.

### SECTION 3 – DETERMINATION OF ELIGIBILITY TO ADD DWELLING UNITS

- |   |                          |                          |
|---|--------------------------|--------------------------|
|   | <u>Yes</u>               | <u>No</u>                |
| 1. Has mandatory seismic retrofitting been filed under SFEBC Chapter 4D, Mandatory Earthquake Retrofit of Wood Frame Buildings? | <input type="checkbox"/> | <input type="checkbox"/> |

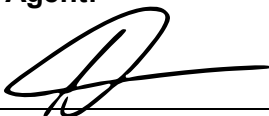
If yes, Permit Application Number: \_\_\_\_\_

- |  |                          |                          |
|--|--------------------------|--------------------------|
|  | <u>Yes</u>               | <u>No</u>                |
| 2. Has voluntary seismic strengthening been filed under Administrative Bulletin AB-094, Definition and Design Criteria for Voluntary Seismic Upgrade of Soft Story, Type-V (wood frame) Buildings? | <input type="checkbox"/> | <input type="checkbox"/> |

If yes, Permit Application Number: \_\_\_\_\_

- |  |                          |                          |
|--|--------------------------|--------------------------|
|  | <u>Yes</u>               | <u>No</u>                |
| 3. Does existing residential building comply with Ordinance No. 162-16, No. 95-17 or 162-17 for addition of dwelling units? (Subject to Planning review) | <input type="checkbox"/> | <input type="checkbox"/> |

Owner / Agent:



☐ Owner

☐ Agent

Signature

Date

---

### FOR DBI USE ONLY

DBI has received the materials submitted and filed under "Addition of dwelling units per Ordinance No. 162-16, No. 95-17 or No. 162-17". ☐

Further discussions on code issues and equivalencies on compliance will be via pre-application meetings or Administrative Bulletin AB-005.

\_\_\_\_\_  
Date received by DBI

atelier



101 S. Coombs St.  
Suite Y-7  
Napa, CA 94559  
415.644.5203  
www.atelier-ks.com  
info@atelier-ks.com

2000 Grove Street  
San Francisco, CA 94117

Re: Tenant Notification List

Notification Letter was posted in common lobby next to front door in addition to individual notifications (see below).

Building Tenants (all notified via USPS)

Unit #1 - Amichi Amar (owner)  
Unit #2 - Diego Bauducco  
Unit #3 - Kimberly Sterling  
Unit #4 - Larson / FlorCruz  
Unit #5 - Elyse Jacobs  
Unit #6 - Melissa Stein

Garage Tenants (notified via email & letter slipped under garage door)

Garage A - garage tenant has since left  
Garage B - Scott Ellington  
Garage C - Empty  
Garage D - Amichi Amar (building owner)  
Garage E - Greg Fong  
Garage F - Melissa Stein (building tenant in Unit #6)



1349 Spruce Street  
Napa, CA 94559  
415.644.5203  
www.atelier-ks.com  
info@atelier-ks.com

2000 Grove Street  
San Francisco, CA 94117

Re: Tenant Notification

Dear Tenants,

We are writing to notify you of the property owner's intention to convert the existing six garage parking spaces at 2000 Grove Street into two additional dwelling units (ADUs) (permit application #201805098704). This work will be performed concurrently with the mandatory soft story retrofit that is currently under review by the building department (permit application #201706219914).

Please feel free to reach out with any questions or comments you may have.

Thank you.

atelier KS  
attn. Seth Pare-Mayer  
415-644-5203  
seth@atelier-ks.com









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Napa, CA 94559  
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Thank you.

atelier KS  
attn. Seth Pare-Mayer  
415-644-5203  
seth@atelier-ks.com



DESIGNER,  
OWNER'S AGENT  
atelier  
**KS**

01 S. COOMBS  
STREET  
SUITE Y7  
NAPA, CA  
94559  
415.644.5203

ENGINEER OF  
RECORD

STEPHEN WEISSBERG, P.E.  
155 BOHEMIAN HWY  
OCCIDENTAL, CA 95465  
415.497.8597

GROVE STREET RESIDENCES  
2000 GROVE STREET  
SAN FRANCISCO, CA 94117

DRAWING

COVER SHEET,  
LOCATION MAP

ISQUE

<u>NO.</u>	<u>DATE</u>
ESIGN 1	09.29.17
ESIGN 2	10.04.17
ESIGN 3	10.23.17
ESIGN 4	10.26.17
STRUCTURAL COORD.	12.01.17
STRUCTURAL COORD. 2	12.20.17
ERMIT	05.08.18
OPDR #1	07.13.18
ERMIT REVS.	01.29.19

DATE \_\_\_\_\_

01.29.19

SCALE



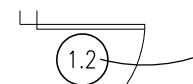
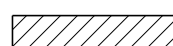
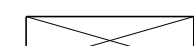
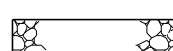
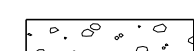
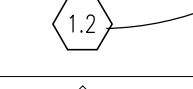
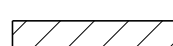
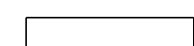
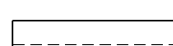
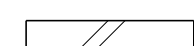

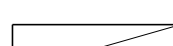

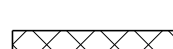


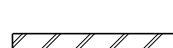
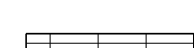

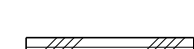
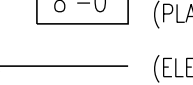


AS NOTED

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## INDEX OF DRAWINGS

	EARTH		WOOD FINISHED	
	BRICK		WOOD BLOCKING CONTINUOUS	
	GRAVEL OR CRUSHED ROCK		CONCRETE	
	CONCRETE BLOCK		GYPSUM BOARD	ELEVATION
	WATER PROOFING		GYPSUM SHEATHING	
	WOOD BLOCKING		INSULATION - BLANKET OR BATT	
	CERAMIC TILE		INSULATION - RIGID	
	METAL		MDF	
	FIRE RATED CONSTRUCTION		PLYWOOD	
	PROPERTY LINE		CEMENT BOARD	

SITE LOCATION 2000 GROVE STREET  
SAN FRANCISCO, CA 94117

ASSESSOR'S PARCEL # 1189-002D

YEAR BUILT 1925

OCCUPANCY TYPE R-2

ZONING RM-1

LOT AREA 2,656.25 SF

FLOOR AREA  
EXISTING:      CONDITIONED - 5,031 SF  
                    UNCONDITIONED - 1,461 SF  
                    TOTAL - 6,492 SF

PROPOSED:    CONDITIONED - 5,478 SF  
                    UNCONDITIONED - 1,033 SF  
                    TOTAL - 6,511 SF

CONSTRUCTION TYPE V-B (WOOD FRAME)

PROPOSED PROJECT ADDITION OF 1 ADDITIONAL DWELLING UNIT (ADU) IN EASTERN BANK OF EXISTING GARAGES. REPLACEMENT OF EXISTING EASTERN GARAGE DOORS WITH WINDOWS, AND REPLACEMENT OF EXISTING WESTERN GARAGE DOORS WITH NEW GARAGE DOORS. 3 REMOVED CAR PARKING SPACES TO BE REPLACED WITH 3 BICYCLE PARKING SPACES (RACKS).

FIRE SPRINKLERS, AS REQUIRED, TO BE UNDER SEPARATE PERMIT.

SEE PA # 201706219914 FOR SOFT STORY SEISMIC RETROFIT.

CODE USED PROJECT SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING CODE & ALL APPLICABLE SAN FRANCISCO AMENDMENTS. PROJECT SHALL COMPLY WITH THE 2016 ENERGY CODE.

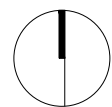
<u>ARCHITECTURAL</u>	
A0.1	COVER SHEET, LOCATION MAP
A0.2	(E) PLOT PLAN
A0.3	(N) PLOT PLAN
A2.1	1ST FLOOR PLANS – EXISTING & PROPOSED
A2.2	2ND FLOOR PLANS – EXISTING & PROPOSED
A2.3	3RD & 4TH FLOOR PLANS – EXISTING (NO CHANGES)
A2.4	ROOF PLAN – EXISTING & PROPOSED
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S-102	(N) FOUNDATION PLAN
S-104	(N) 1ST FLOOR FRAMING PLAN
S-301	FRONT WALL ELEV. VIEW
S-502	DETAILS

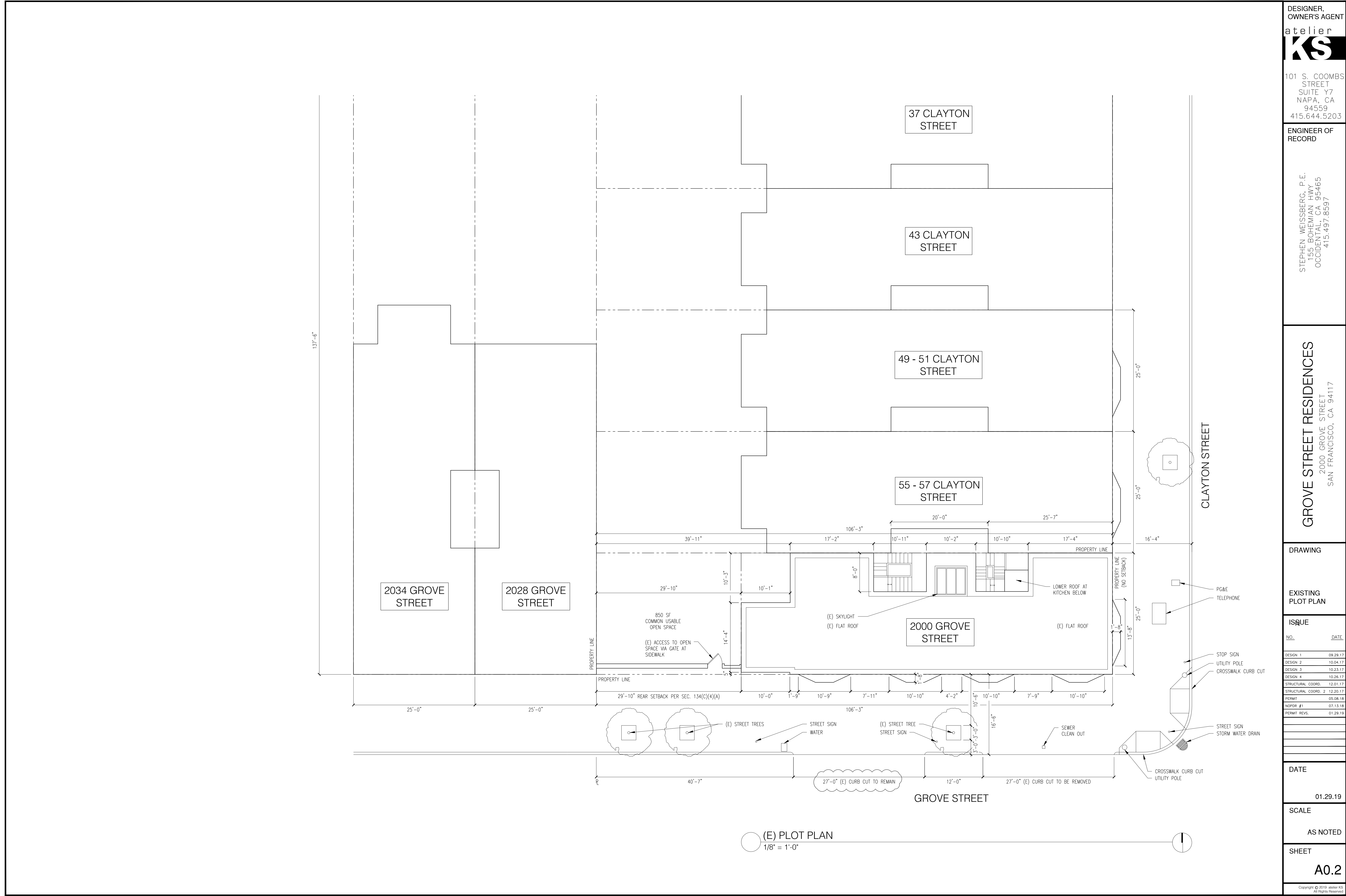
## ABBREVIATIONS



Q CENTERLINE	GWB GYPSPUM WALL BOARD	S.C. SOLID CORE
Ø DIAMETER OR ROUND	GYP. GYPSPUM	S.E.D. SEE ELECTRICAL DRAWING
(E) EXISTING	H.B. HOSE BIB	S.M.D. SEE MECHANICAL DRAWING
(N) NEW	HDWD. HARDWOOD	S.S.D. SEE STRUCTURAL DRAWING
A.B. ANCHOR BOLT	HGT. HEIGHT	SCHED. SCHEDULE
AB. ABOVE	HORIZ. HORIZONTAL	SECT. SECTION
ACOUS. ACOUSTICAL	HR. HOUR	SHWR. SHOWER
ADJ. ADJUSTABLE	IN INCH	SHT. SHEET
A.F.F. ABOVE FINISH FLOOR	INSUL. INSULATION	SIM. SIMILAR
APP. APPROXIMATE	INT. INTERIOR	SPEC. SPECIFICATION
ARCH. ARCHITECTURAL	JT. JOINT	SPKR. SPEAKER
BD. BOARD	KIT. KITCHEN	SQ. SQUARE
BLDG. BUILDING	LAV. LAVATORY	STAG. STAGGERED
B.O. BY OTHERS/ BY OWNER	MAT. MATERIAL	STD. STANDARD
C.M.U. CONCRETE MASONRY UNIT	MAX. MAXIMUM	ST. STL. STAINLESS STEEL
CAB'T. CABINET	MECH. MECHANICAL	STL. STEEL
CLG. CEILING	MEMB. MEMBRANE	STND. STAINED
CL. CLOSET	MTL. METAL	STOR. STORAGE
CLR. CLEAR	MFR. MANUFACTURER	STRUL. STRUCTURAL
CONC. CONCRETE	MIN. MINIMUM	SYM. SYMMETRICAL
CONT. CONTINUOUS	MISC. MISCELLANEOUS	T.&G. TONGUE AND GROOVE
CTR. CENTER	N.I.C. NOT IN CONTRACT	T.O.W. TOP OF WALL
DBL. DOUBLE	N.T.S. NOT TO SCALE	T.V. TELEVISION
DIA. DIAMETER	N/A. NOMINAL	TEL. TELEPHONE
DIM. DIMENSION	N/A NOT APPLICABLE	TEMP. TEMPERED
DN. DOWN	O.D. OUTSIDE DIAMETER	THK. THICK
DTL. DETAIL	O.H. OPPOSITE HAND	THRES. THRESHOLD
DWG. DRAWING	OPP. OPPOSITE	TYP. TYPICAL
EA. EACH	PL. PLATE	U.O.N. UNLESS OTHERWISE NOTED
ELEC. ELECTRICAL	PLYWD. PLYWOOD	V.I.F. VERIFY IN FIELD
ELEV. ELEVATION	PT. POINT	VENT. VENTILATION
EQ. EQUAL	PTD. PAINTED	VERT. VERTICAL
EXT. EXTERIOR	QTY. QUANTITY	W.C. WATER CLOSET
FIN. FINISH	RAD. RADIUS	W.P. WATER PROOFING
FIXT. FIXTURE	R.O. ROUGH OPENING	W.S. WEATHER STRIPPING
FL. FLOOR	REC. RECESSED	W/ WITH
FT. FOOT OR FEET	RECT. RECTANGULAR	WO. WOOD
FTG. FOOTING	REF. REFERENCE/ REFRIGERATOR	WP. WATERPROOF
GA. GAUGE	REINF. REINFORCED	WT. WEIGHT
GL. GLASS	REQ'D. REQUIRED	X TIMES OR BY (2 X 4)
GND. GROUND	RM. ROOM	YD. YARD
GR. GRADE	S.A.D. SEE ARCH DRAWING	

PROJECT SITE \_\_\_\_\_  
2000 GROVE STREET  
SAN FRANCISCO, CA 94116





(E) PLOT PLAN  
1/8" = 1'-0"

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94559  
415.644.5203

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RECORD

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155 BOHEMIAN HWY  
OCCIDENTAL, CA 95465  
415.497.8597

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SAN FRANCISCO, CA 94117

DRAWING

EXISTING  
PLOT PLAN

ISSUE

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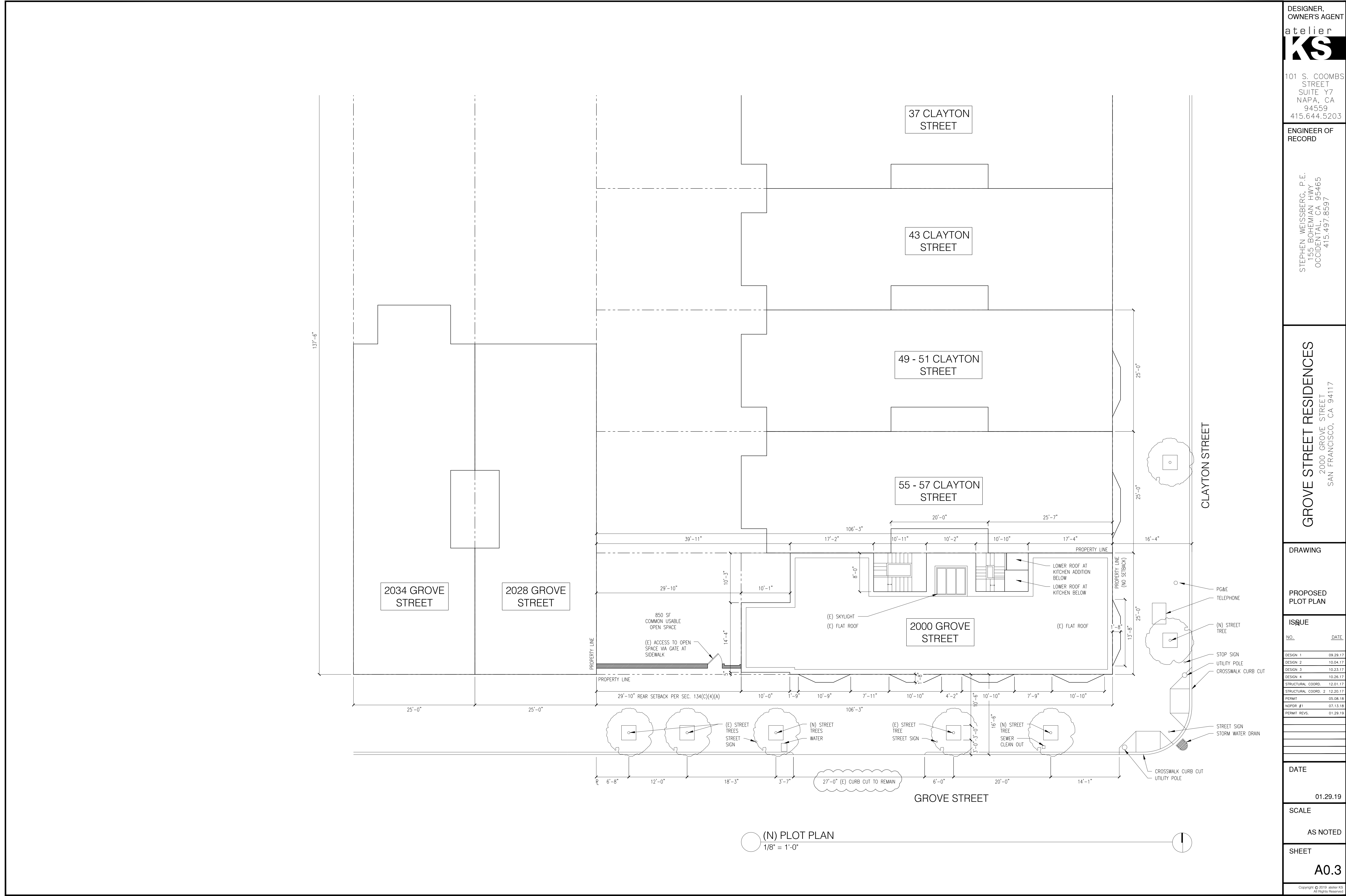
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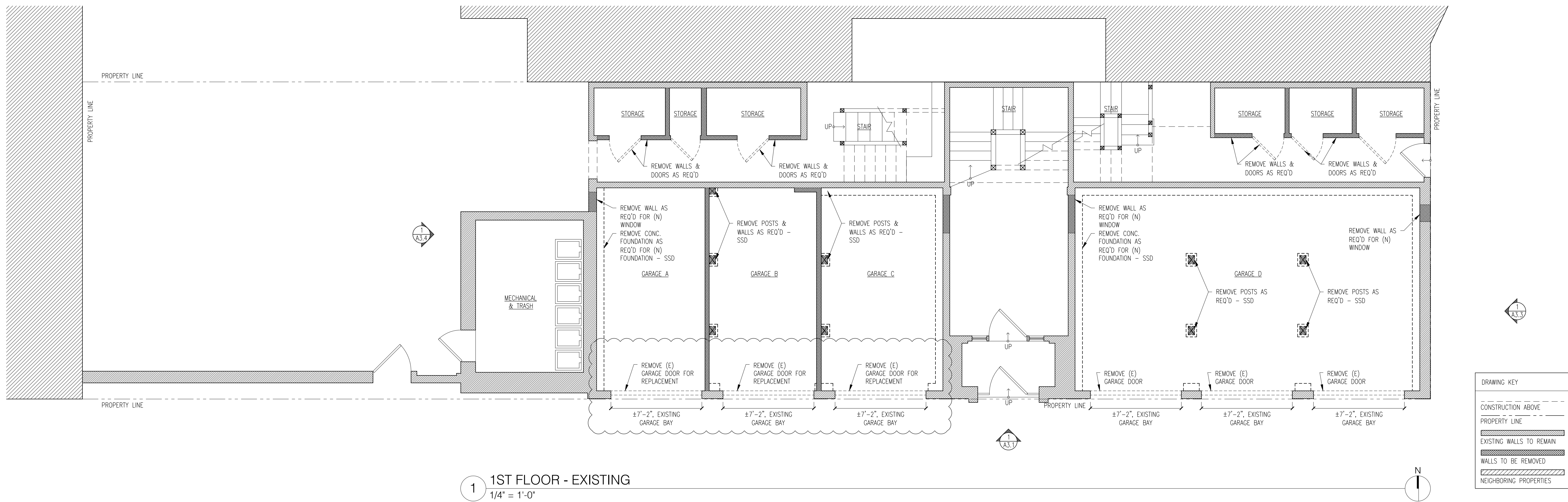
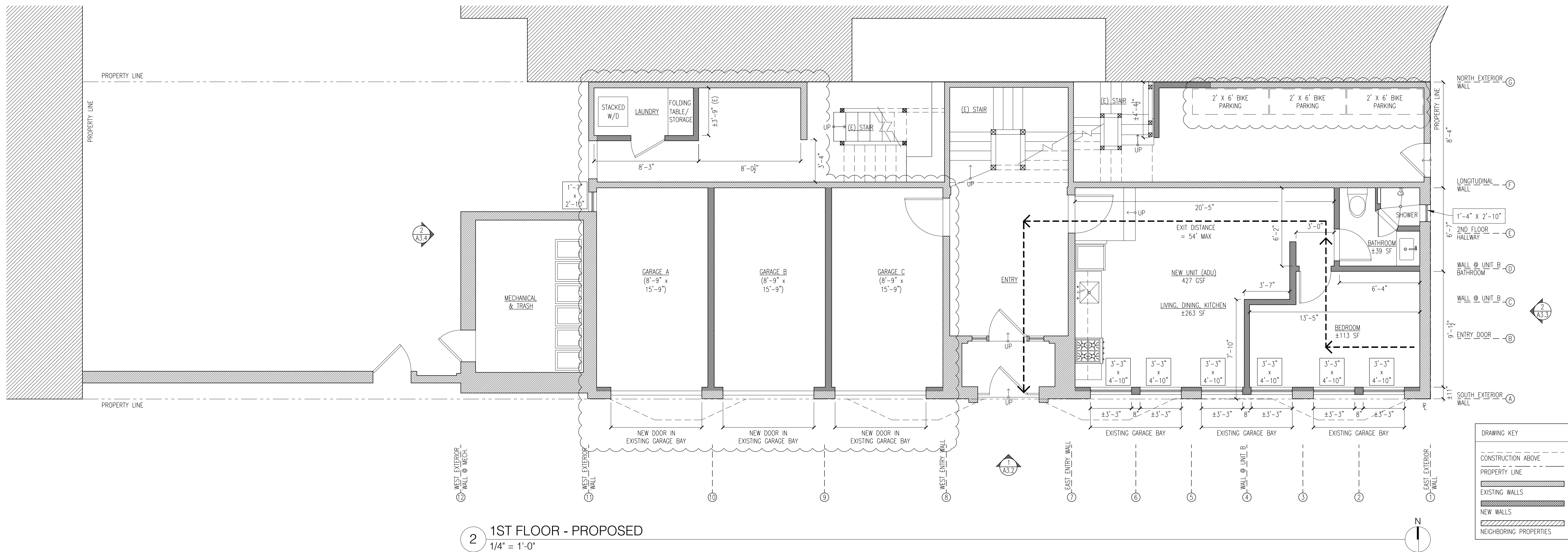
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1ST FLOOR -  
EXISTING &  
PROPOSED

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01.29.19

SCALE

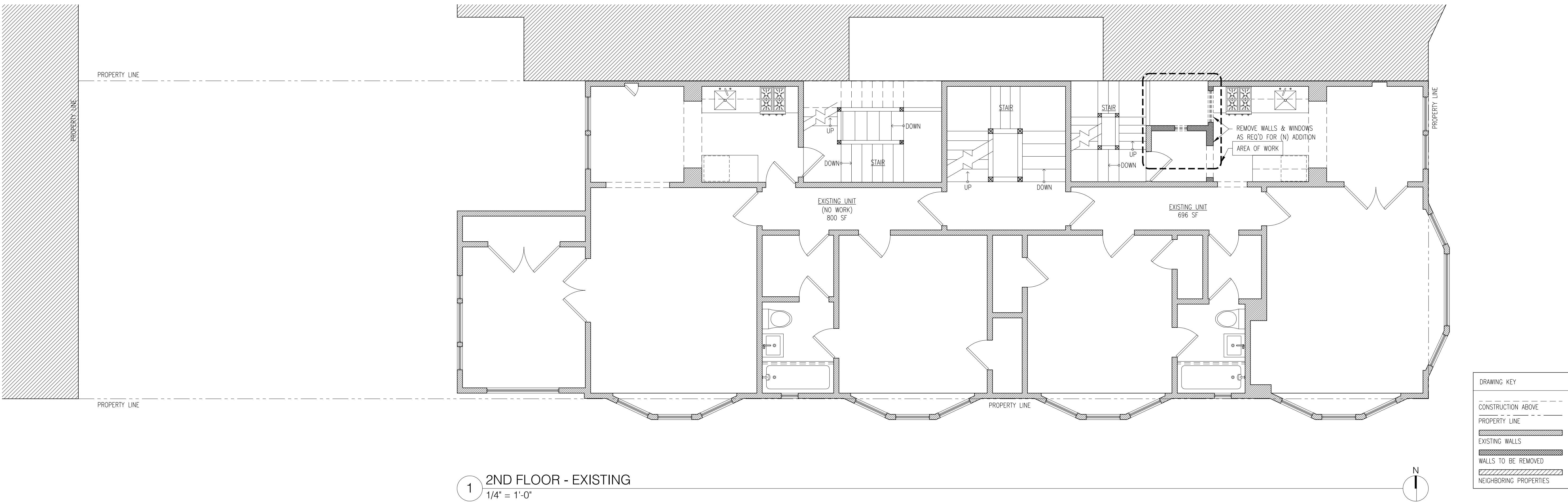
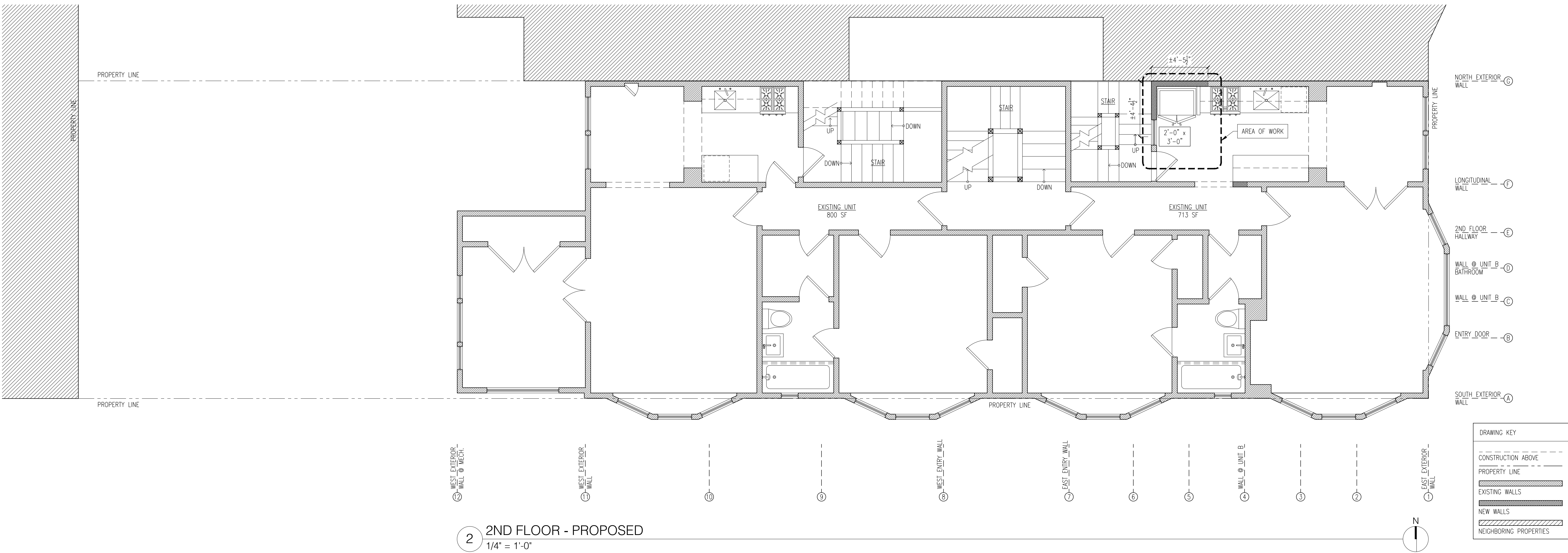
1/4" = 1'-0"

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DRAWING

2ND FLOOR -  
EXISTING &  
PROPOSED

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01.29.19

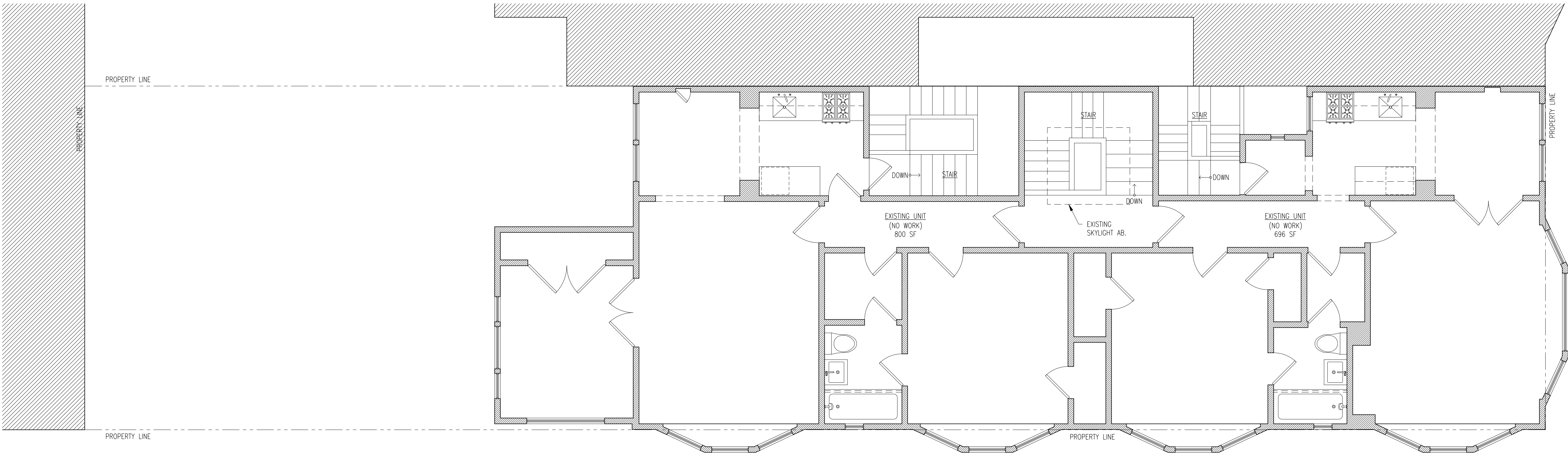
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1/4" = 1'-0"

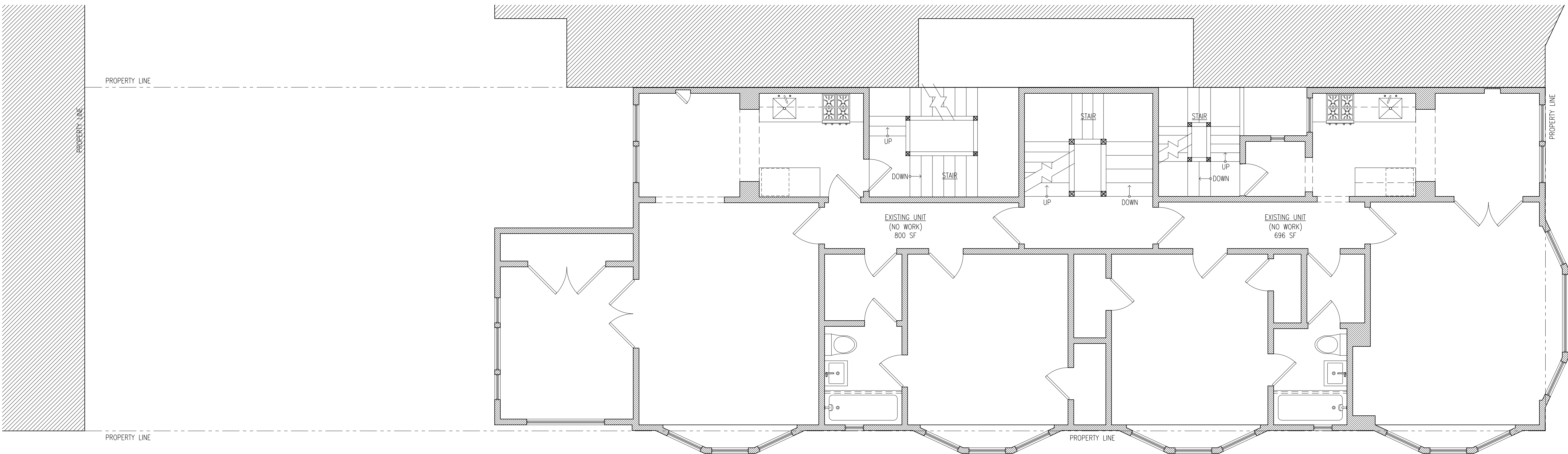
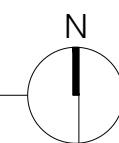
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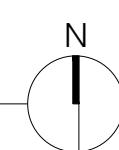
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2 4TH FLOOR - EXISTING & PROPOSED (NO CHANGES)  
1/4" = 1'-0"



1 3RD FLOOR - EXISTING & PROPOSED (NO CHANGES)  
1/4" = 1'-0"



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DRAWING

3RD & 4TH  
FLOORS -  
EXISTING

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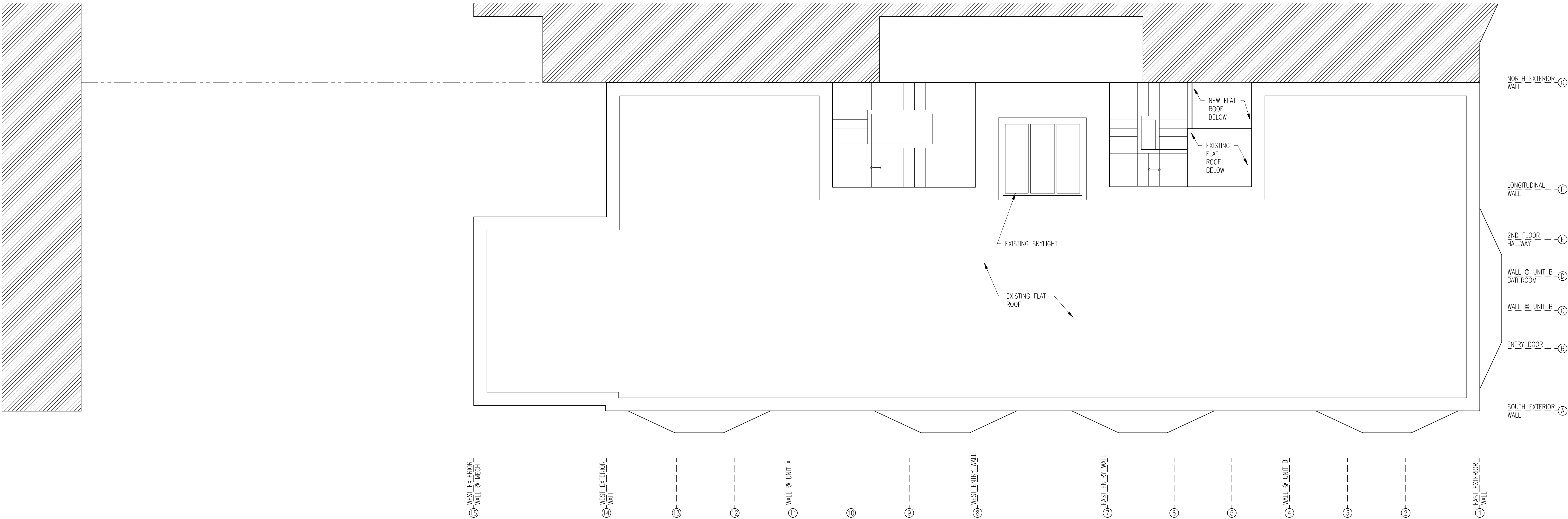
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1/4" = 1'-0"

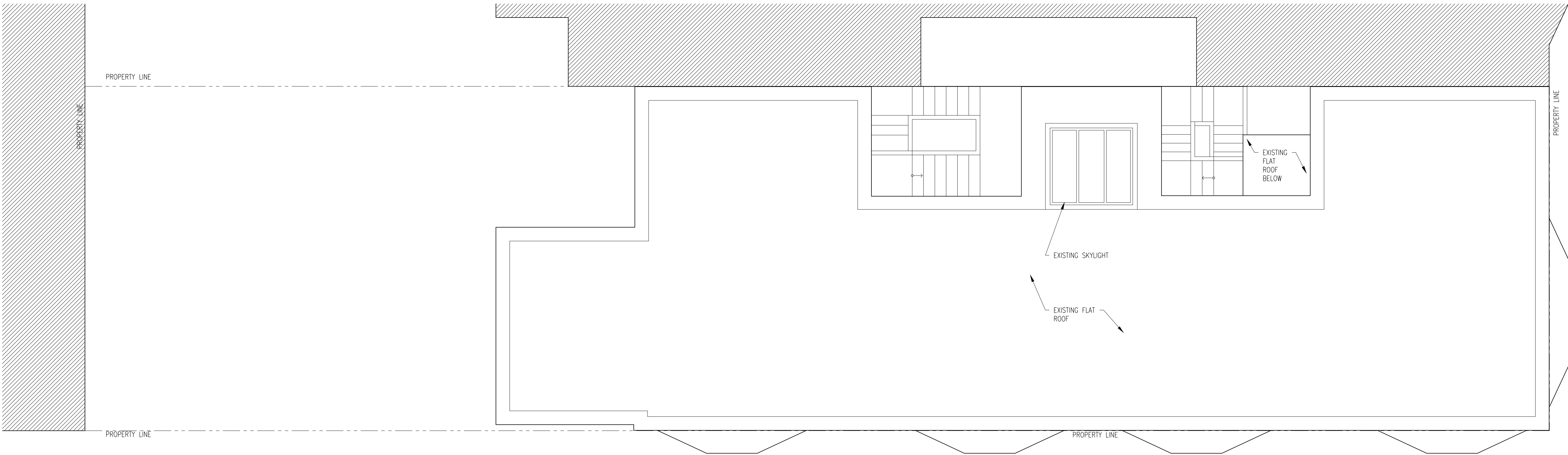
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2 ROOF PLAN - PROPOSED  
1/4" = 1'-0"



1 ROOF PLAN - EXISTING  
1/4" = 1'-0"

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DRAWING

ROOF PLAN -  
EXISTING &  
PROPOSED

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SCALE

1/4" = 1'-0"

SHEET

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DRAWING

SOUTH  
ELEVATION -  
EXISTING

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SCALE

$\frac{1}{4}" = 1'-0"$

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A3.1

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SOUTH  
ELEVATION -  
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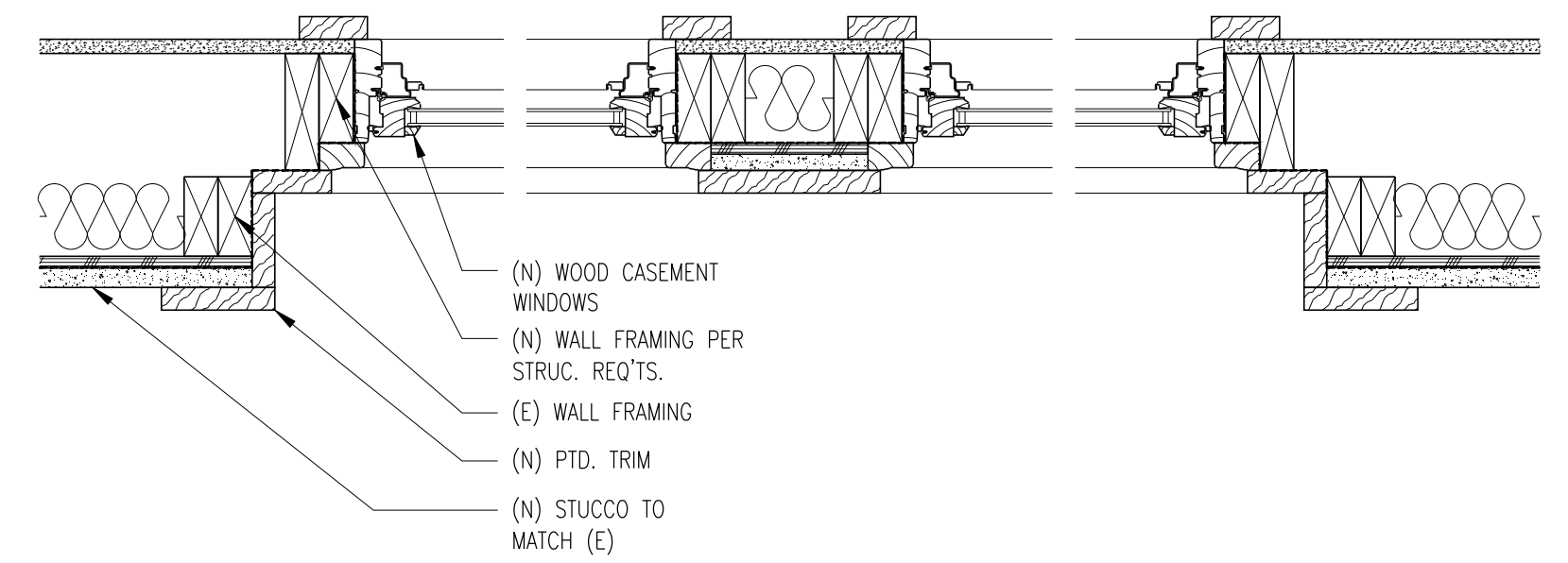
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$\frac{1}{4}" = 1'-0"$

SHEET

A3.2

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2 (N) TYPICAL WINDOW DETAIL  
1-1/2" = 1'-0"



1 SOUTH ELEVATION - PROPOSED  
1/4" = 1'-0"

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DRAWING

EAST ELEVATION  
- EXISTING &  
PROPOSED

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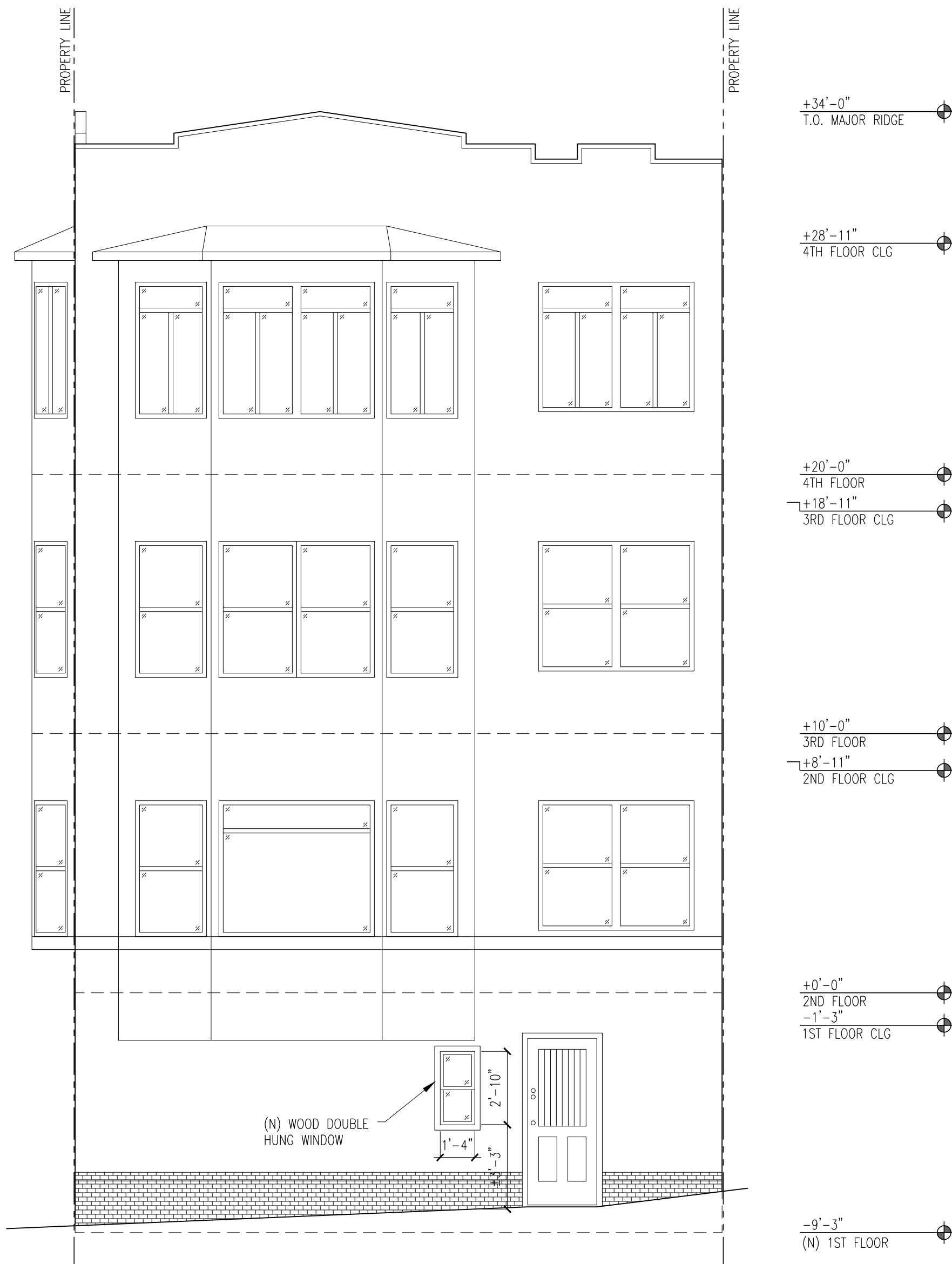
SCALE

$\frac{1}{4}" = 1'-0"$

SHEET

A3.3

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2 EAST ELEVATION - PROPOSED  
1/4" = 1'-0"



1 EAST ELEVATION - EXISTING  
1/4" = 1'-0"

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DRAWING

WEST  
ELEVATION -  
EXISTING &  
PROPOSED

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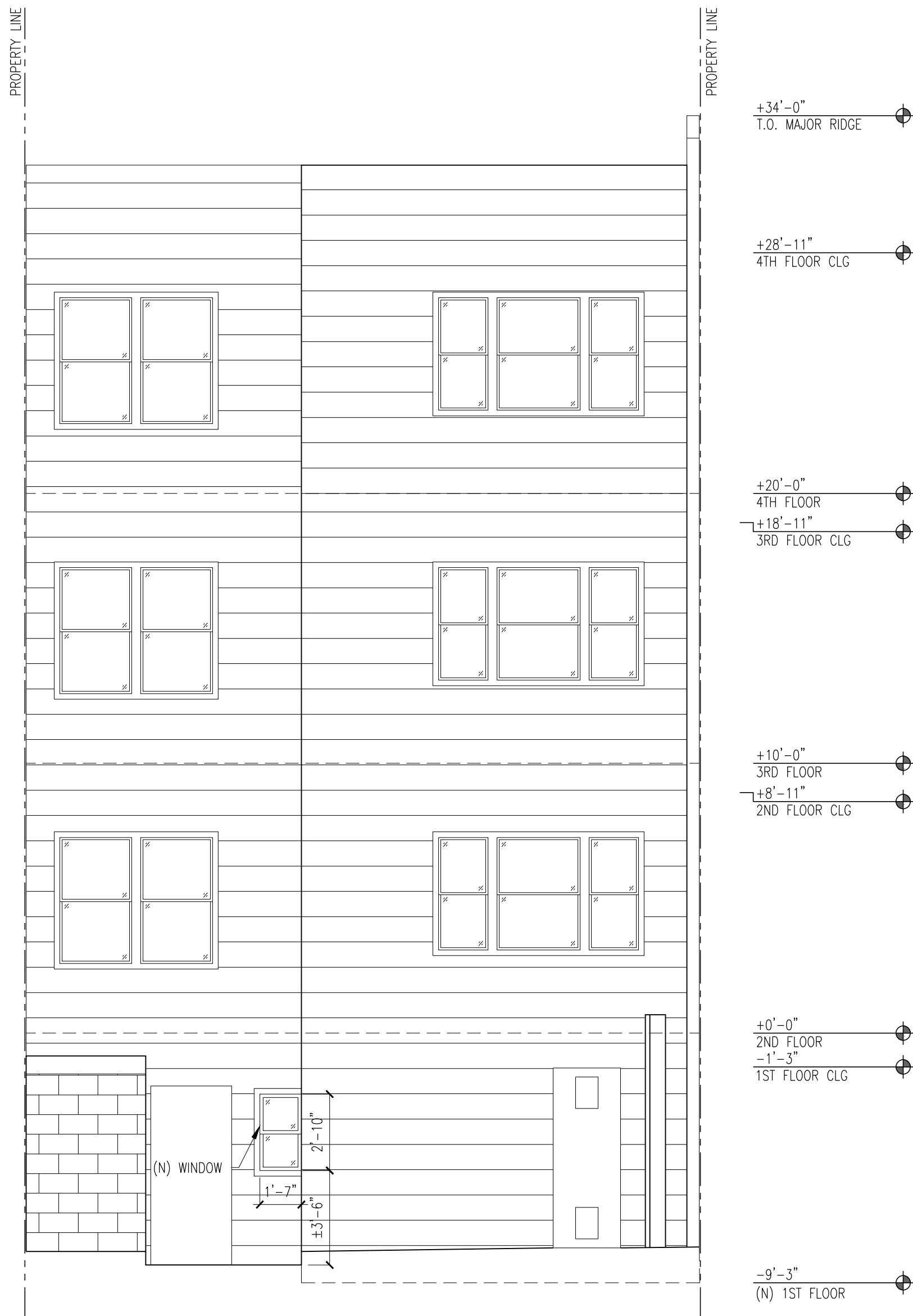
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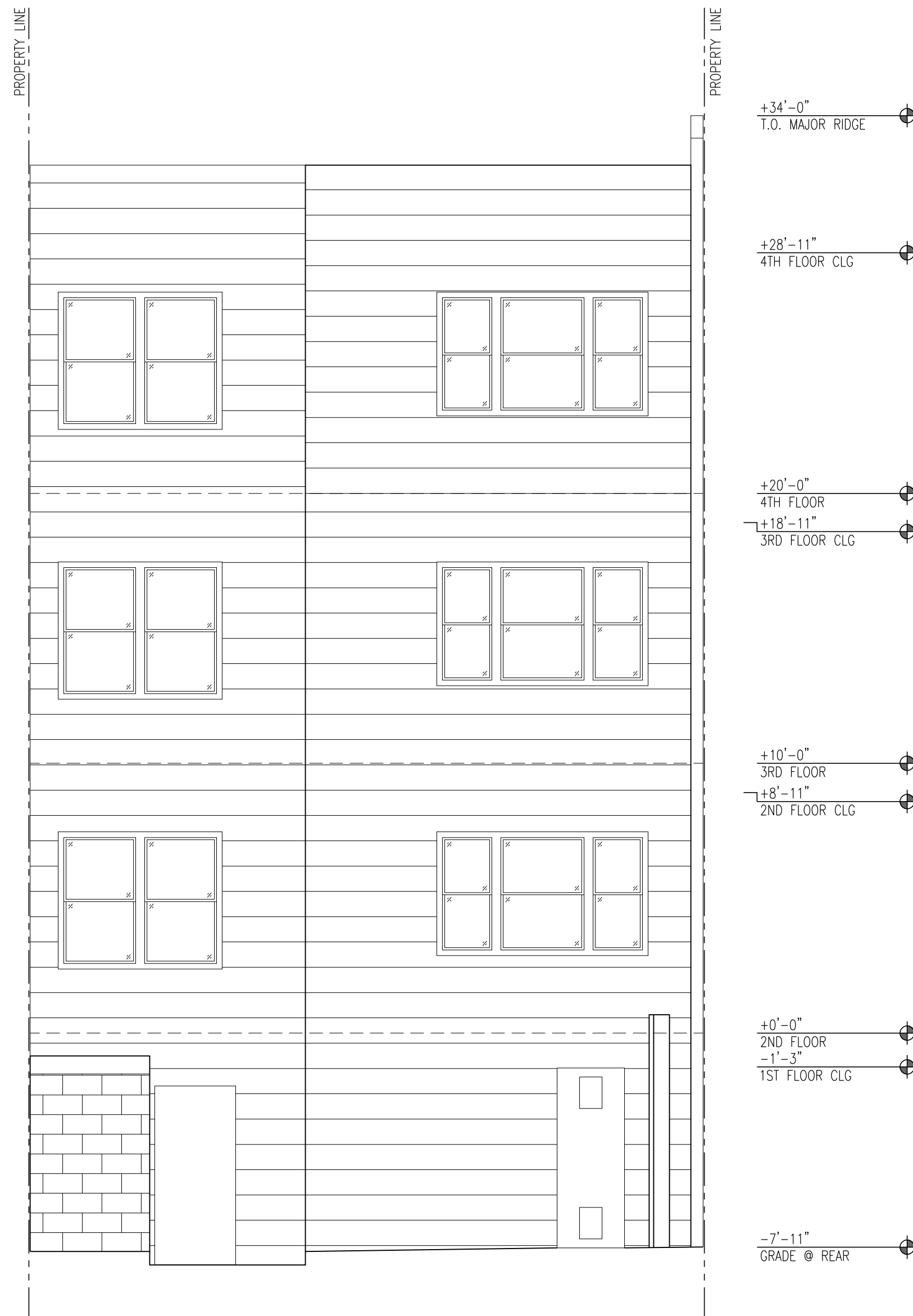
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1 WEST ELEVATION - PROPOSED  
1/4" = 1'-0"



2 WEST ELEVATION - EXISTING  
1/4" = 1'-0"

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DRAWING

1ST FLOOR  
ELECTRICAL  
PLAN

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SCALE

$\frac{1}{4}" = 1'-0"$

SHEET

E1.1

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