



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis HEARING DATE: MAY 14, 2020

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

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Planning
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Date: May 7, 2020
Case No.: **2018-005918DRP-02**
Project Address: **254 Roosevelt Way**
Permit Application: 2019.0212.2711
Zoning: RH-2 [Residential House, Two-Family]
40-X Height and Bulk District
Block/Lot: 2607 / 029
Project Sponsor: Linda Kahn
720 York Street #107
San Francisco, CA 94123
Staff Contact: David Winslow – (415) 575-9159
david.winslow@sfgov.org
Recommendation: **Take DR and Approve with Modifications**

PROJECT DESCRIPTION

The project proposes to construct a three-story, horizontal addition at the front of an existing three-story over basement building (four stories at street). The existing building is 2,438 square feet with three dwelling units. The addition will enlarge the three existing units and create a one car garage at the basement level, resulting in a total of 5,361 square feet. The project will also include a new roof deck at the front of the building on the third floor, which will be accessed from the unit on third floor.

SITE DESCRIPTION AND PRESENT USE

The subject property contains an existing three-story over basement, three-family house built in 1904 on a 25' wide x 125' deep upsloping lot and is designated as a category 'C' – No Historic resource present.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The buildings on this block of Roosevelt are three- to four-story residential buildings many with upper floors setback from the front with a wide range of architectural styles.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	November 27, 2019 – December 27, 2019	December 26, 2020	May 14, 2020	140 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	20 days	April 24, 2020	April 24, 2020	20 days
Mailed Notice	20 days	April 24, 2020	April 24, 2020	20 days
Online Notice	20 days	April 24, 2020	April 24, 2020	20 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	0	0	0
Other neighbors on the block or directly across the street	5	9	0
Neighborhood groups	0	0	0

DR REQUESTORS

1. Phyllis Dilkian-Shimmon, of 258-260 Roosevelt Way, adjacent neighbor to the West.
2. Andrew Pellman and Mark Kerr 250 Roosevelt Way #3, adjacent neighbors to the East.

DR REQUESTORS’ CONCERNS AND PROPOSED ALTERNATIVES

DR Requestor 1: Is concerned that the proposed design:

1. Blocks light and air to side windows and;
2. Impacts privacy due to the proposed third-story roof deck

Proposed alternatives:

1. Larger light well or setback against property line and;
2. Juliette balcony or greater setback at the third level deck.

See attached *Discretionary Review Application*, dated December 26, 2019.

DR Requestor 2: Is concerned that the proposed design:

1. Is a demolition per Code section 317;
2. The side setback of the building to the west is not matched;
3. Does not conform to the scale and character of the neighboring buildings
4. The third-floor roof deck impacts privacy;
5. The second-floor patio deck will create unreasonable impacts to privacy and;
6. The door adjacent to light well will impact privacy

Proposed alternatives:

1. Reduce the height at the front by removing the parapet;
2. Provide a 4’ setback or light well from the west property line to match adjacent neighbor.
3. Reduce the size of the third-floor deck.
4. Screen the second-floor balcony from views back into windows.

5. Relocate the side door adjacent to light well.

See attached *Discretionary Review Applications*, dated December 23, 2019.

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

The project has been designed and revised to respond to neighbors' concerns. It has also been reviewed extensively and complies with the Planning Code and the Residential Design Guidelines.

See attached *Response to Discretionary Review*, dated January 13, 2020.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Advisory Team re-reviewed the project in consideration of the DR Application determined that the existing adjacent buildings conditions in relation to the proposed addition with respect to privacy are extraordinary or exceptional and that the project requires modifications to meet the Residential Design Guidelines.

RDAT confirmed that:

1. This is not a demolition per Section 317;
2. The proposed horizontal front addition maintains the scale of building at the street;
3. The impacts to light and air to the side windows at 258-260 Roosevelt Way are not exceptional or extraordinary as: 1) the property provides for these with its own side setback and; 2) the rooms are served by windows that face the street.

However, it was deemed that the deck at the 3rd-story did present impacts to privacy to adjacent properties due to its size and location.

The project has been modified from the design sent in the 311 notification in the following ways:

1. 1'-0" side setback at West;
2. Reduced roof parapet at front;
3. Relocated door from side yard adjacent to lightwell of neighbor to the East;
4. Reduced deck at third floor.

RECOMMENDATION: Take DR and Approve with Modifications as proposed
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Attachments:

Block Book Map

Sanborn Map

Zoning Map

Aerial Photographs

Context Photographs

Section 311 Notice

CEQA Determination

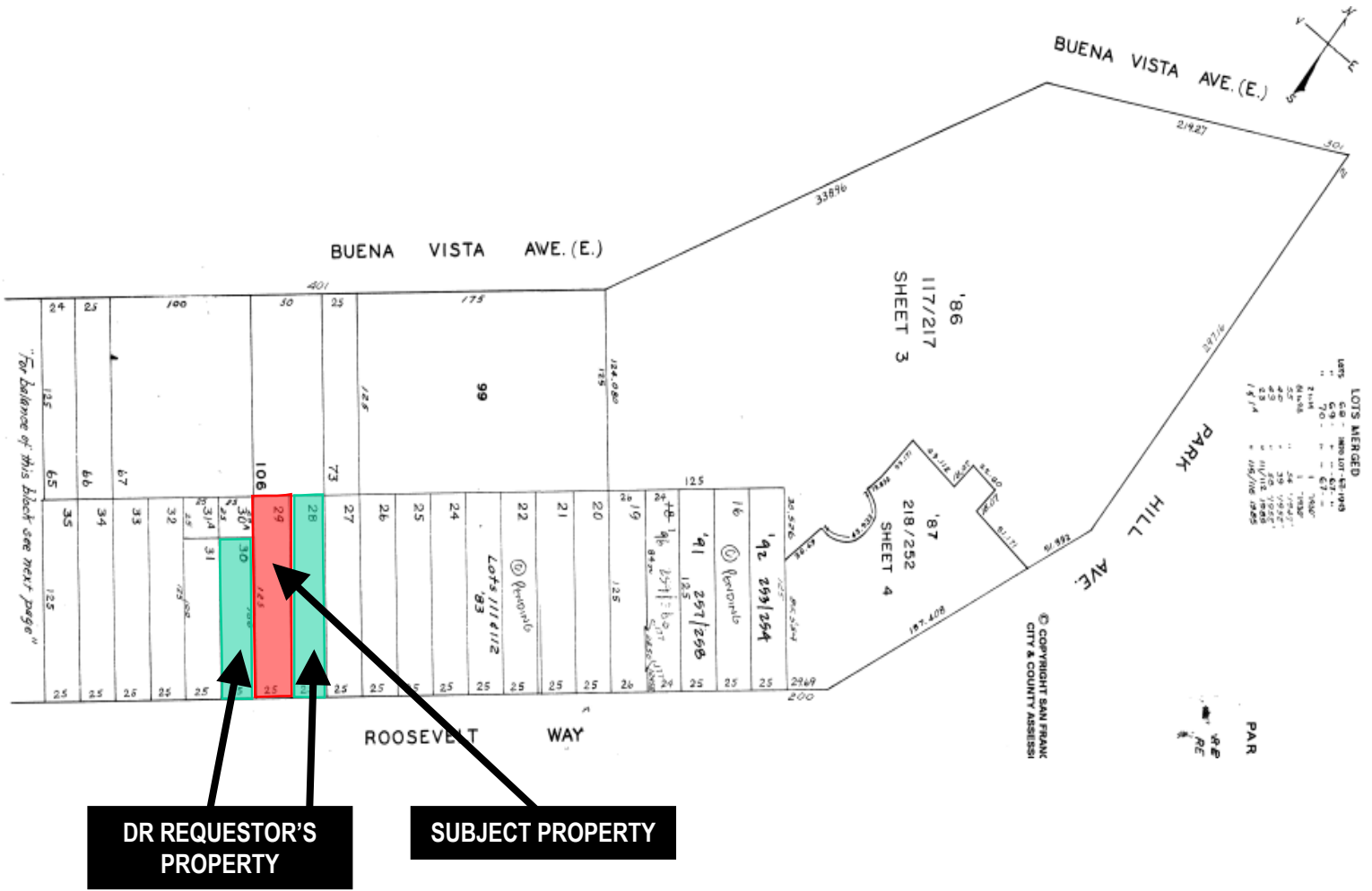
DR Applications dated December 23 and 26, 2019

Project Sponsor Submittal dated January 13, 2020

Reduced 311 Plans

Exhibits

Parcel Map



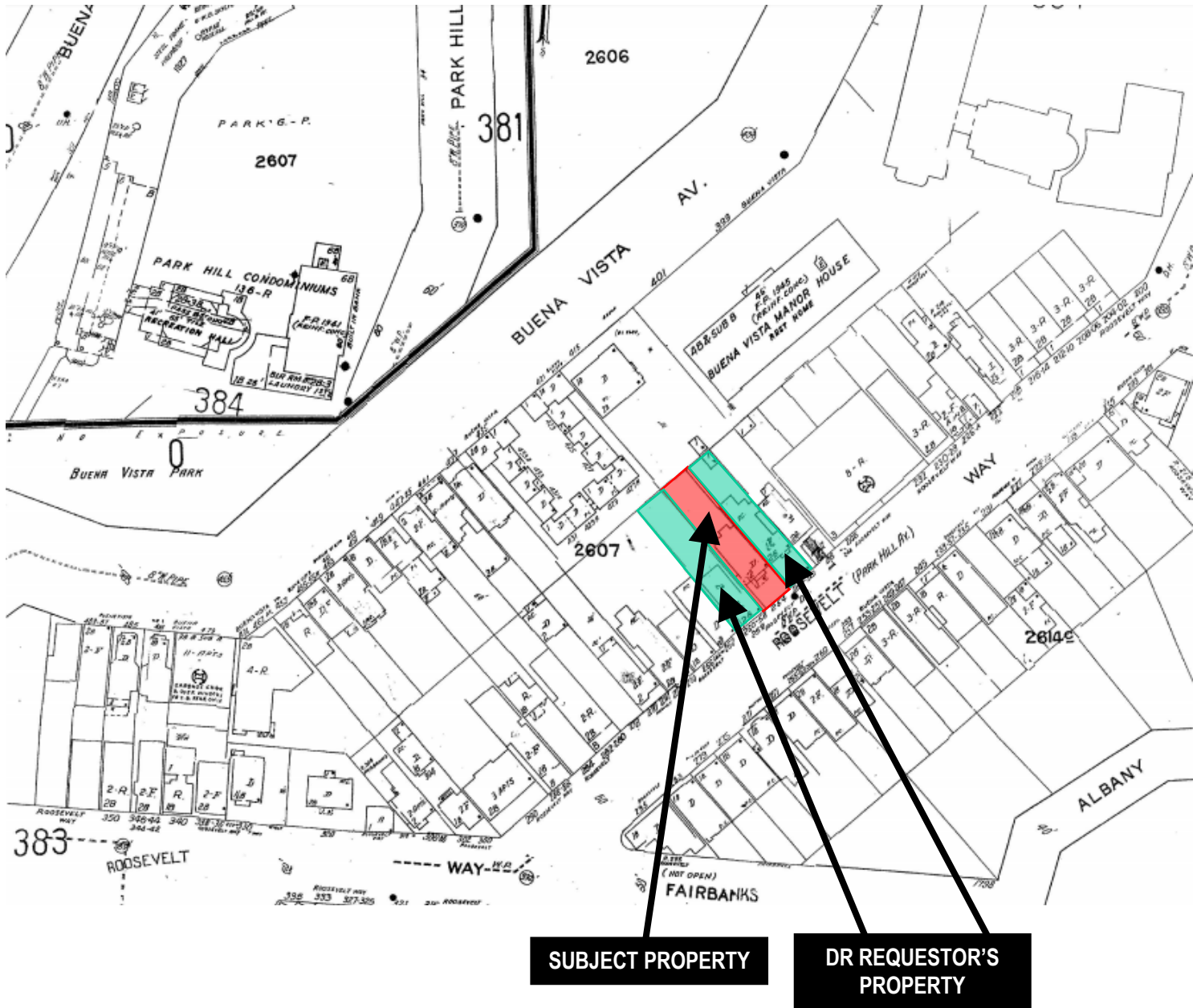
DR REQUESTOR'S PROPERTY

SUBJECT PROPERTY



Discretionary Review Hearing
 Case Number 2018-005918DRP-02
 254 Roosevelt Way

Sanborn Map*

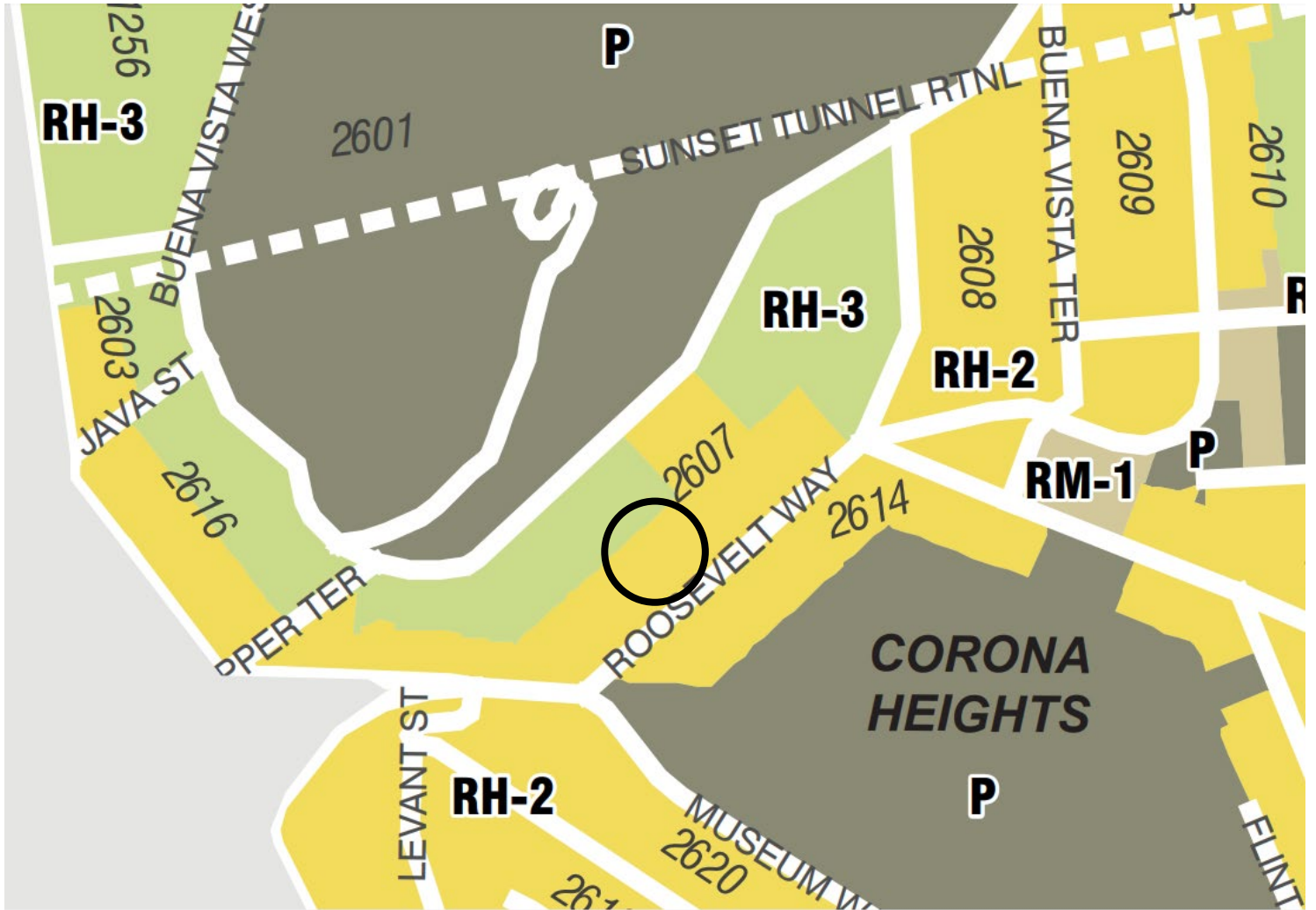


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



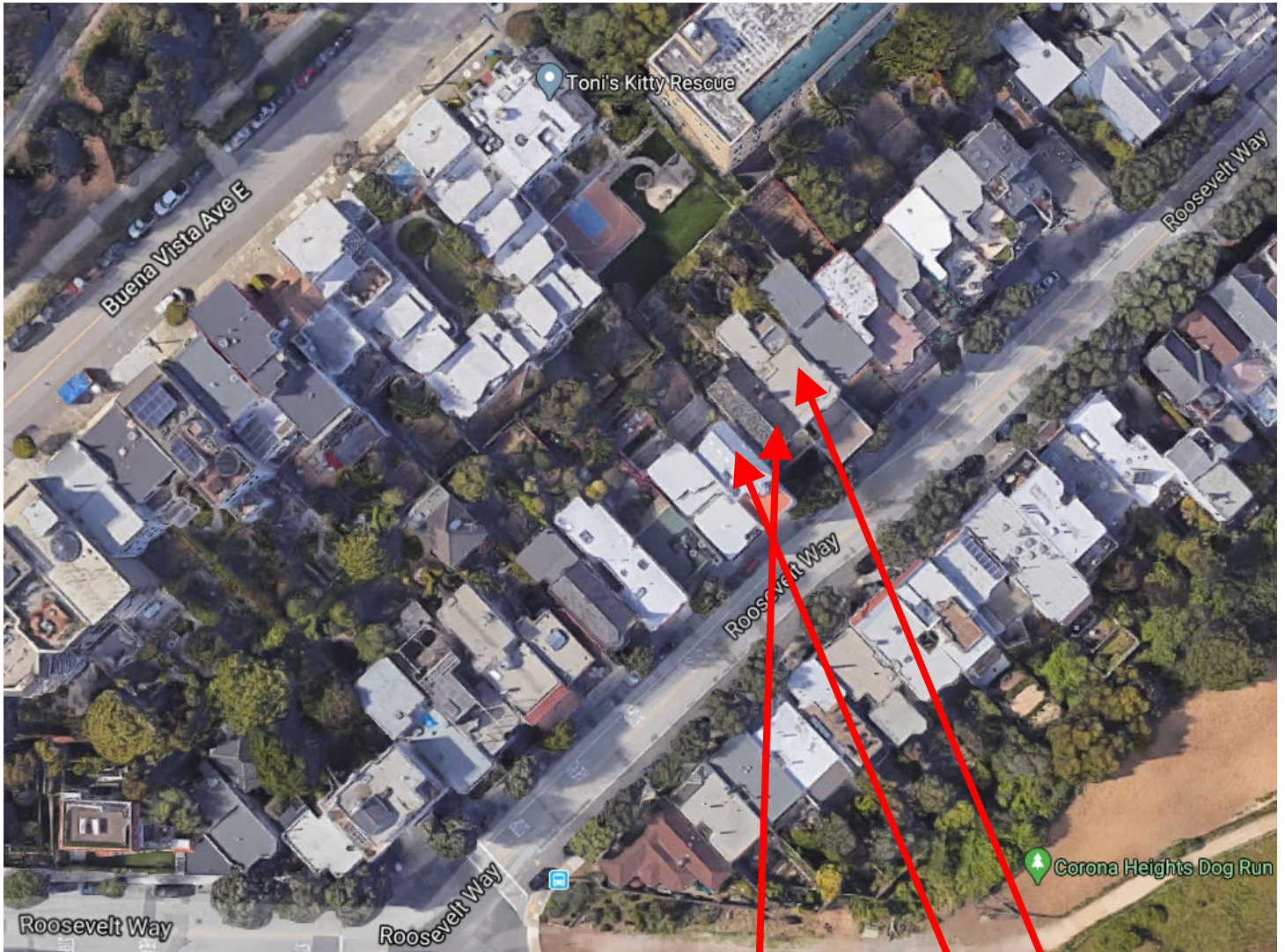
Discretionary Review Hearing
Case Number 2018-005918DRP-02
254 Roosevelt Way

Zoning Map



Discretionary Review Hearing
Case Number 2018-005918DRP-02
254 Roosevelt Way

Aerial Photo



SUBJECT PROPERTY

**DR REQUESTOR'S
PROPERTY**



Discretionary Review Hearing
Case Number 2018-005918DRP-02
254 Roosevelt Way

Aerial Photo



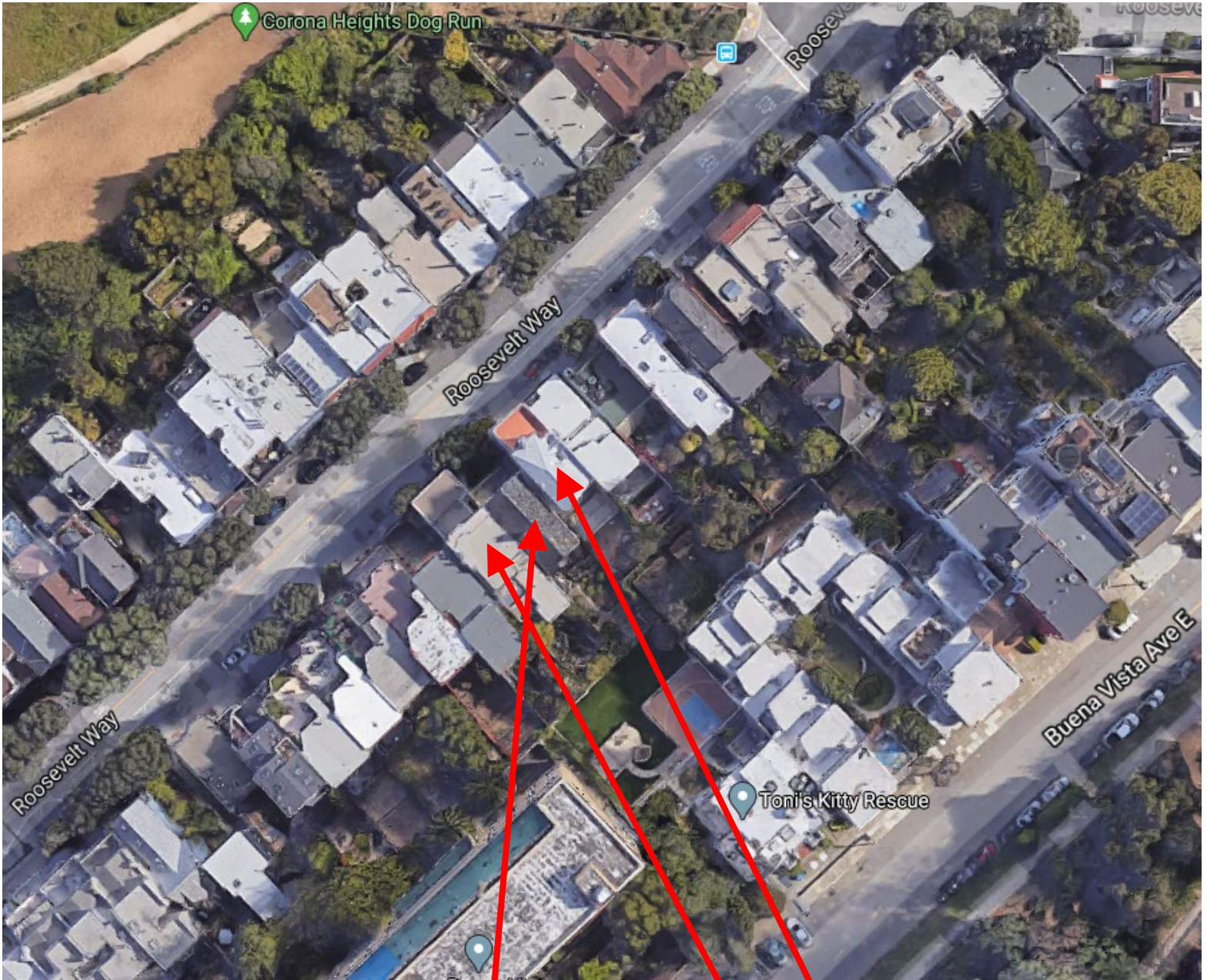
**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-005918DRP-02
254 Roosevelt Way

Aerial Photo



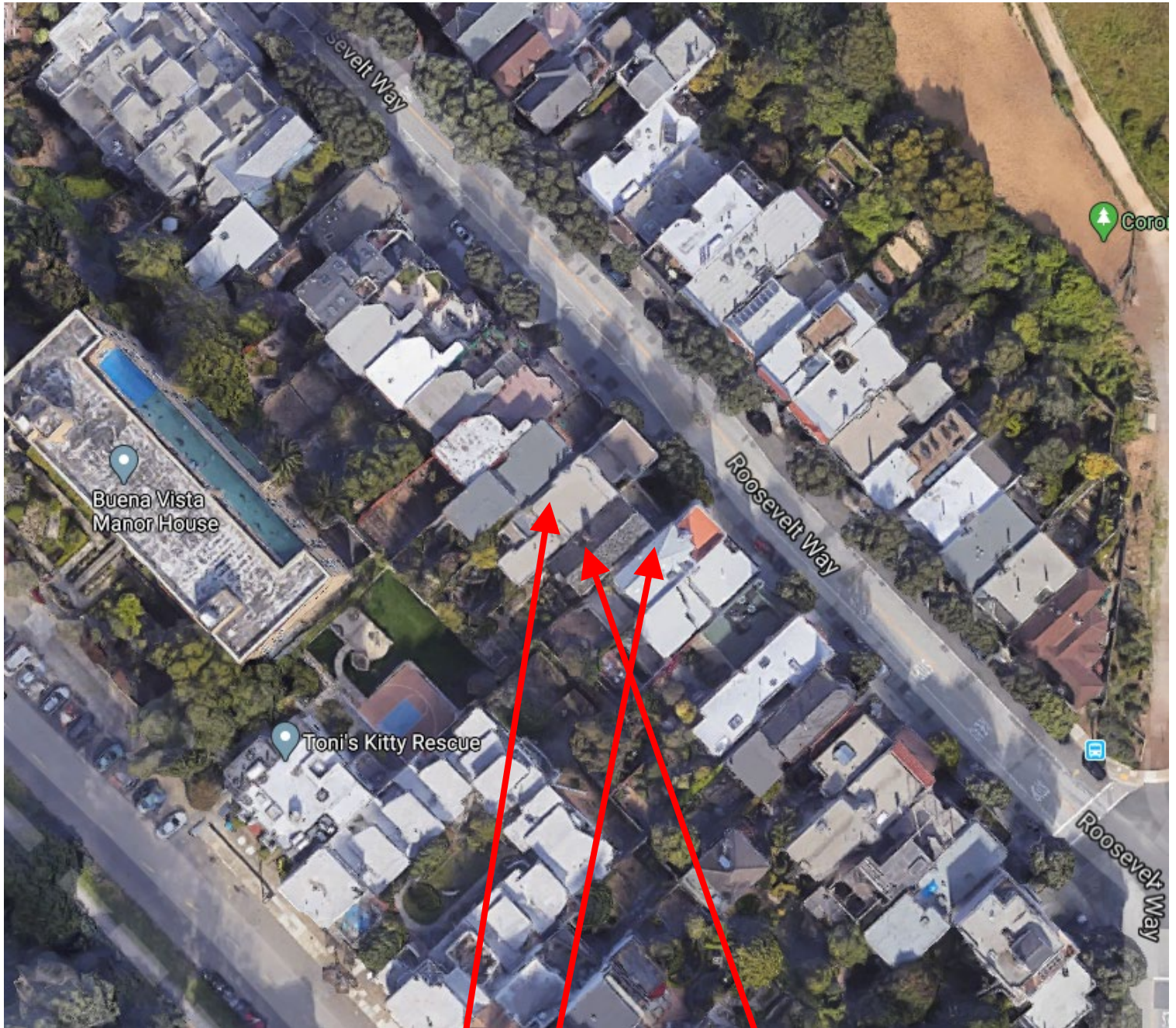
SUBJECT PROPERTY

**DR REQUESTOR'S
PROPERTY**



Discretionary Review Hearing
Case Number 2018-005918DRP-02
254 Roosevelt Way

Aerial Photo



**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-005918DRP-02
254 Roosevelt Way

Site Photo



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2018-005918DRP-02
254 Roosevelt Way



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **February 12, 2019**, Building Permit Application No. 201902122711 was filed for work at the Project Address below.

Notice Date: November 27th, 2019

Expiration Date: December 27th, 2019

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	254 ROOSEVELT WAY	Applicant:	Linda Kahn
Cross Street(s):	Park Hill Ave/15th St & Upper Terrace	Address:	720 York Street, Suite 107
Block/Lot No.:	2607 / 029	City, State:	San Francisco, CA
Zoning District(s):	RH-2 /40-X	Telephone:	(415) 935-3641
Record Number:	2018-005918PRJ	Email:	spikekahn@gmail.com

You are receiving this notice as an owner or occupant of property within 150 feet of the proposed project. **You are not required to take any action.** For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request that the Planning Commission review this application at a public hearing for Discretionary Review. Requests for a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown above, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input checked="" type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	No Change
Front Setback	25 feet, 6½ inches	None
Side Setbacks	0 to 3 feet	0 to 3 feet
Building Depth	44 feet, 5¼ inches	72 feet, 0¼ inches
Rear Yard	52 feet, 10 inches	No Change
Building Height	~30 feet, 9½ inched to top of ridge	38 feet
Number of Stories	3	3 stories over garage
Number of Dwelling Units	3	No Change
Number of Parking Spaces	0	1

PROJECT DESCRIPTION
The project includes a three-story, horizontal addition at the front of an existing three-story building. The existing building is 2,438 square feet with three dwelling units. The addition will enlarge the three existing units and create a one car garage at the basement level, resulting in a total of 5,361 square feet. The project will also include a new roof deck at the front of the building on the third floor, which will be accessed from the unit on third floor.
The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.

To view plans or related documents, visit sf-planning.org/notices and search the Project Address listed above. Once the property is located, click on the dot(s) to view details of the record number above, its related documents and/or plans.

For more information, please contact Planning Department staff:
Linda Ajello Hoagland, 415-575-6823, Linda.AjelloHoagland@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, contact the Planning Information Center (PIC) at 1660 Mission Street, 1st Floor (415) 558-6377 or pic@sfgov.org. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. **You must submit the application in person** at the Planning Information Center (PIC), with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you. Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
254 ROOSEVELT WAY		2607029
Case No.		Permit No.
2018-005918ENV		
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
<p>Project description for Planning Department approval.</p> <p>The project is a three story horizontal addition, including adding a basement and garage. It extends the footprint of the existing house to the street to align with the neighbors. The top story is set back from the street edge to reduce shadows on adjacent properties. The house retains three dwelling units and ensures a high quality of light and outdoor space for each unit. The house's massing in keeping with the surrounding context.</p>		

STEP 1: EXEMPTION CLASS

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Class _____

STEP 2: CEQA IMPACTS
TO BE COMPLETED BY PROJECT PLANNER

<p>If any box is checked below, an <i>Environmental Evaluation Application</i> is required.</p>	
<input type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)</p>
<input type="checkbox"/>	<p>Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i></p>
<input type="checkbox"/>	<p>Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input checked="" type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)</p>
<input checked="" type="checkbox"/>	<p>Slope = or > 20%: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required.</p>
<input type="checkbox"/>	<p>Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required.</p>
<input type="checkbox"/>	<p>Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required.</p>
<p>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <i>Environmental Evaluation Application</i> is required, unless reviewed by an Environmental Planner.</p>	
<p>Comments and Planner Signature (optional): Laura Lynch</p> <p>Archeo review complete 5/15/2018, no effects</p> <p>Project will implement structural and design recommendations per Geotechnical Investigation, H. Allen Gruen, 2-27-2018</p>	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
254 ROOSEVELT WAY		2607/029
Case No.	Previous Building Permit No.	New Building Permit No.
2018-005918PRJ		
Plans Dated	Previous Approval Action	New Approval Action
	Building Permit	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

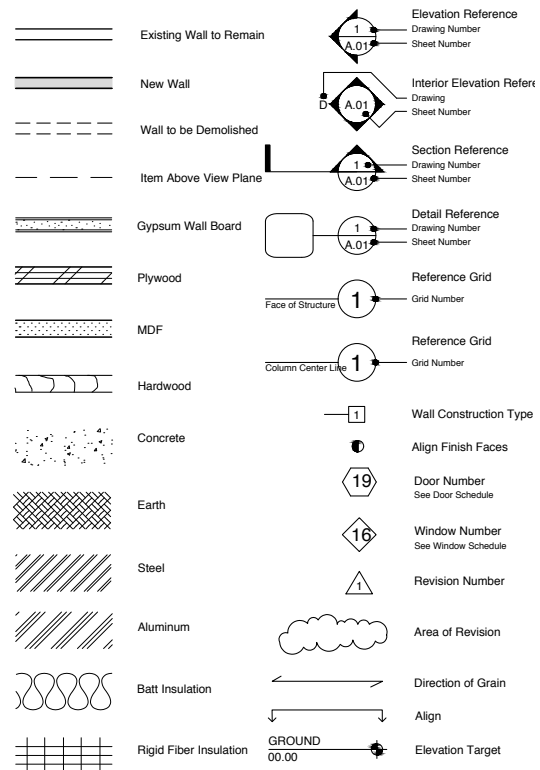
DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:

GENERAL NOTES

- CONTRACTOR SHALL PROVIDE ALL MATERIALS AND WORKMANSHIP FOR ALL CONSTRUCTION REQUIRED HEREIN AND SHALL BE IN ACCORDANCE WITH THE:
 2016 CALIFORNIA BUILDING CODE (CBC)
 2016 CALIFORNIA PLUMBING CODE (CPC)
 2016 CALIFORNIA MECHANICAL CODE (CMC)
 2016 CALIFORNIA ELECTRICAL CODE (CEC)
 2016 CALIFORNIA RESIDENTIAL CODE (CRC)
 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBC)
 2016 CALIFORNIA FIRE CODE (CFC)
 2016 CALIFORNIA ENERGY CODE (BASED ON THE 2009 CA ENERGY STANDARDS CEC PART 6)
 + ALL OTHER APPLICABLE STATE AND LOCAL CODES AND ORDINANCES, INCLUDING THE CITY OF SAN FRANCISCO BUILDING CODE (SFB), THE SAN FRANCISCO MUNICIPAL CODE (SFM) CHAPTER 19, AND THE REQUIREMENTS OF ALL OTHER AGENCIES HAVING JURISDICTION OVER THIS PROJECT.
- IN THE EVENT OF CONFLICTS IN CODE REGULATIONS, THE MOST STRINGENT REQUIREMENTS APPLY. CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER, IN WRITING, OF ANY DISCREPANCY BETWEEN THE APPLICABLE CODES AND THESE DOCUMENTS.
- IN THE EVENT THE CONTRACTOR ENCOUNTERS ON THE SITE MATERIAL, REASONABLY BELIEVED TO BE ASBESTOS, POLYCHLORINATED BIPHENYL (PCB), LEAD PAINT, OR ANY OTHER HAZARDOUS MATERIAL WHICH HAS NOT BEEN RENDERED HARMLESS OR PREVIOUSLY IDENTIFIED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE AND THE ARCHITECT IN WRITING AND COMPLY WITH ALL SF & EPA REGULATIONS.
- MANUFACTURER'S DESIGNATIONS ARE NOTES TO INDICATE PATTERN, COLOR, AND PERFORMANCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD AND, IN THE EVENT OF DISCREPANCY, REPORTING SUCH DISCREPANCY TO THE ARCHITECT, BEFORE COMMENCING WORK.
- CONTRACTOR SHALL NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL ALWAYS GOVERN. CONTRACTOR REQUIRING DIMENSIONS NOT NOTED, SHALL CONTACT THE ARCHITECT FOR SUCH INFORMATION PRIOR TO PROCEEDING WITH THE WORK RELATED TO THOSE DIMENSIONS.
- ALL PLAN DIMENSIONS INDICATED ARE TO COLUMN CENTERLINE, TO FACE OF CONCRETE, TO FINISH FACE OF GYP. BD., OR TO FACE OF MASONRY U.O.N.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS, AND/OR OTHER SUPPORTS FOR ALL FIXTURES, EQUIPMENT CASEWORK, FURNISHINGS AND ALL OTHER ITEMS REQUIRING SAME.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL AND EQUIPMENT.
- CONTRACTOR SHALL TAKE SUITABLE MEASURES TO PREVENT INTERACTION BETWEEN DISSIMILAR MATERIALS.
- "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- "TYPICAL" OR "TYP." MEANS FOR ALL SIMILAR CONDITIONS, U.O.N.
- DETAILS ARE USUALLY KEYS ONLY ONE PLACE (ON PLANS OR ELEVATIONS WHEN THEY FIRST OCCUR) AND ARE TYPICAL FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.
- CONSTRUCTION AREA MUST BE BROOM CLEANED DAILY AND ALL MATERIALS SHALL BE STACKED OR PILED IN AN ORDERLY FASHION OUT OF TRAFFIC PATTERNS.
- AT COMPLETION OF THE WORK CONTRACTOR SHALL REMOVE ALL MARKS, STAINS, FINGERPRINTS, DUST, DIRT, SPLATTERED PAINT, AND BLEMISHES RESULTING FROM THE VARIOUS OPERATIONS THROUGHOUT THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGED AREAS THAT OCCUR DURING CONSTRUCTION THAT ARE WITHIN THE SCOPE OF WORK OR OUTSIDE SCOPE OF WORK THAT ARE CAUSED BY HIM/HER OR SUB-CONTRACTORS.
- WHERE ADJOINING DOORS HAVE DISSIMILAR FLOORING, MAKE CHANGE UNDER CENTERLINE OF DOOR, U.O.N.
- ALL PIPE, CONDUIT, AND DUCT PENETRATIONS THROUGH FLOORS AND FIRE-RATED WALL AND CEILING SHALL BE SEALED WITH FIREPROOFING PLASTER OR FIRESTOPPING TO FULL DEPTH OF SLAB OR THICKNESS OF WALL/CEILING.
- ENTERING INTO AN AGREEMENT WITH THE OWNER INDICATED THAT THE CONTRACTOR(S) HAS VISITED THE SITE, FAMILIARIZED HIM/HERSELF WITH THE EXISTING CONDITIONS, AND REVIEWED SAME WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL SUB-CONTRACTORS, INCLUDING THOSE UNDER SEPARATE CONTRACT WITH THE OWNERS.
- CONTRACTOR SHALL SUBMIT CONFIRMATION WITH DELIVERY DATES ON ORDERS OF MATERIALS AND EQUIPMENT OF ANY LONG LEAD TIME ORDER ITEMS.
- A 6'-8" MINIMUM HEADROOM SHALL BE PROVIDED AT ALL STAIRS.
- CONTRACTOR SHALL PROTECT ALL EXCAVATION AND CONSTRUCTION FROM RAIN OR WATER DAMAGE.
- COMMON ABBREVIATIONS:
 (E) = EXISTING
 (N) = NEW/PROPOSED
 (P.A.) = PREVIOUSLY APPROVED
 GWB = GYP. BD. = GYPSUM WALLBOARD
 MTL = METAL, S.S. = STAINLESS STEEL
 GSM = GALVANIZED SHEET METAL
 GM = GALVANIZED METAL
 SSD = SEE STRUCTURAL DRAWINGS
 AFF = ABOVE FINISHED FLOOR
 BUR = BUILT-UP ROOFING

SYMBOLS



CODE NOTES

- PER SFBC 907.2.10.1.2, PROVIDE SMOKE DETECTORS ON EVERY FLOOR AND IN EVERY SLEEPING ROOM AND HALLWAY OUTSIDE OF SLEEPING ROOMS.
- PER SFBC TABLE 602, PROVIDE ONE HOUR RATED STRUCTURE EVERYWHERE WITHIN 5 FEET OF AND PARALLEL TO THE PROPERTY LINE.
- PER SFBC 408.1.4, PROVIDE GWB ASSEMBLIES BETWEEN PRIVATE GARAGE AND HABITABLE ROOMS (MIN. 1/2" GWB BETWEEN THE DWELLING & ITS ATTIC AREA. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE "X" GWB OR EQ).
- PROVIDE MIN. 1 EMERGENCY ESCAPE & RESCUE WINDOW PER SFBC 1026 AT ALL SLEEPING ROOMS.

AERIAL PHOTOS



1. AERIAL PHOTO FRONT OF PROPERTY LOOKING WEST



2. AERIAL PHOTO REAR OF PROPERTY LOOKING EAST

VICINITY MAP



N.T.S.

PROJECT DATA

ADDRESS	254 ROOSEVELT WAY SAN FRANCISCO, CA 94114	SETBACKS	EXISTING	PROPOSED
BLOCK	2607	REAR	52'-10"	NO CHANGE
LOT	029	FRONT	27'-7"	0'-0"
ZONING	RM-2	EAST	0'-0"	NO CHANGE
CONSTRUCTION TYPE	V	WEST	0'-0"	NO CHANGE
OCCUPANCY	R-2			
LOT SIZE	3125 SF	BUILDING HEIGHT	EXISTING	PROPOSED
		T.O. ROOF	*46'-9 1/2"	*44'-0"
		NO. OF STOREYS	3	(+2 BASEMENT)
			*BUILDING HEIGHT TAKEN @ MIDPOINT T.O. CURB	

BUILDING AREA

(E) UNIT 1 (LEVEL 1)	612 SF	
(E) UNIT 2 (LEVEL 2)	890 SF	
(E) UNIT 3 (LEVEL 3)	936 SF	
TOTAL (E) AREA	2438 SF	
		DELTA
PROPOSED GARAGE (BASEMENT 2)	882 SF	+882 SF
PROPOSED UNIT 1 (BASEMENT 1)	901 SF	+901 SF
PROPOSED UNIT 1 (LEVEL 1)	1128 SF	+517 SF
PROPOSED UNIT 2 (LEVEL 2)	1509 SF	+619 SF
PROPOSED UNIT 3 (LEVEL 3)	940 SF	+4 SF
TOTAL (E) AND (N) AREA	5361 SF	+2923 SF

PROJECT DESCRIPTION

DEMOLITION OF FRONT FACADE AND VARIOUS INTERNAL WALLS OF (E) 2438 SF 3-UNIT HOME W/ 3 LEVELS (NO GARAGE)
 EXCAVATION OF (E) SITE @ FRONT OF PROPERTY
 HORIZONTAL ADDITION, INTERNAL RECONFIGURATION, + CONSTRUCTION OF (2) BASEMENT LEVELS BENEATH (E) HOME (N) 5361 SF 3-UNIT HOME W/ 3 LEVELS AND 2 (N) BASEMENT LEVELS. (N) LOWEST LEVEL TO INCLUDE GARAGE AND CURB CUTS AT SIDEWALK.

DRAWING INDEX

ARCHITECTURAL

A0.0	COVER SHEET
	SITE SURVEY
A1.0	EXISTING + PROPOSED SITE PLANS
A2.0	DEMOLITION + PROPOSED FLOOR PLANS - GARAGE BASEMENT 2
A2.1	DEMOLITION + PROPOSED FLOOR PLANS - UNIT 1 BASEMENT 1
A2.2	DEMOLITION + PROPOSED FLOOR PLANS - UNIT 1 TOP LEVEL 1
A2.3	DEMOLITION + PROPOSED FLOOR PLANS - UNIT 2 LEVEL 2
A2.4	DEMOLITION + PROPOSED FLOOR PLANS - UNIT 3 LEVEL 3
A2.5	DEMOLITION + PROPOSED ROOF PLANS
A3.0	EXISTING + PROPOSED FRONT ELEVATIONS
A3.1	EXISTING + PROPOSED SIDE ELEVATIONS
A3.2	EXISTING + PROPOSED REAR ELEVATIONS
A3.3	EXISTING + PROPOSED SIDE ELEVATIONS
A3.4	EXISTING + PROPOSED SECTIONS
A3.5	EXISTING + PROPOSED SECTIONS
A4.0	PROJECT PHOTOS
A4.1	CONTEXT PHOTOS
A4.2	PROPOSED STREET PERSPECTIVES

contact THE OPEN WORKSHOP
 address 2830 20TH ST #208
 SAN FRANCISCO CA 94110
 phone 917.657.1290
 email neeraj.bhatia@theopenworkshop.ca

254
 ROOSEVELT
 WAY

contacts SPIKE KAHN
 address 254 ROOSEVELT WAY
 SAN FRANCISCO, CA
 phone 415.724.2055
 email spikekahn@gmail.com

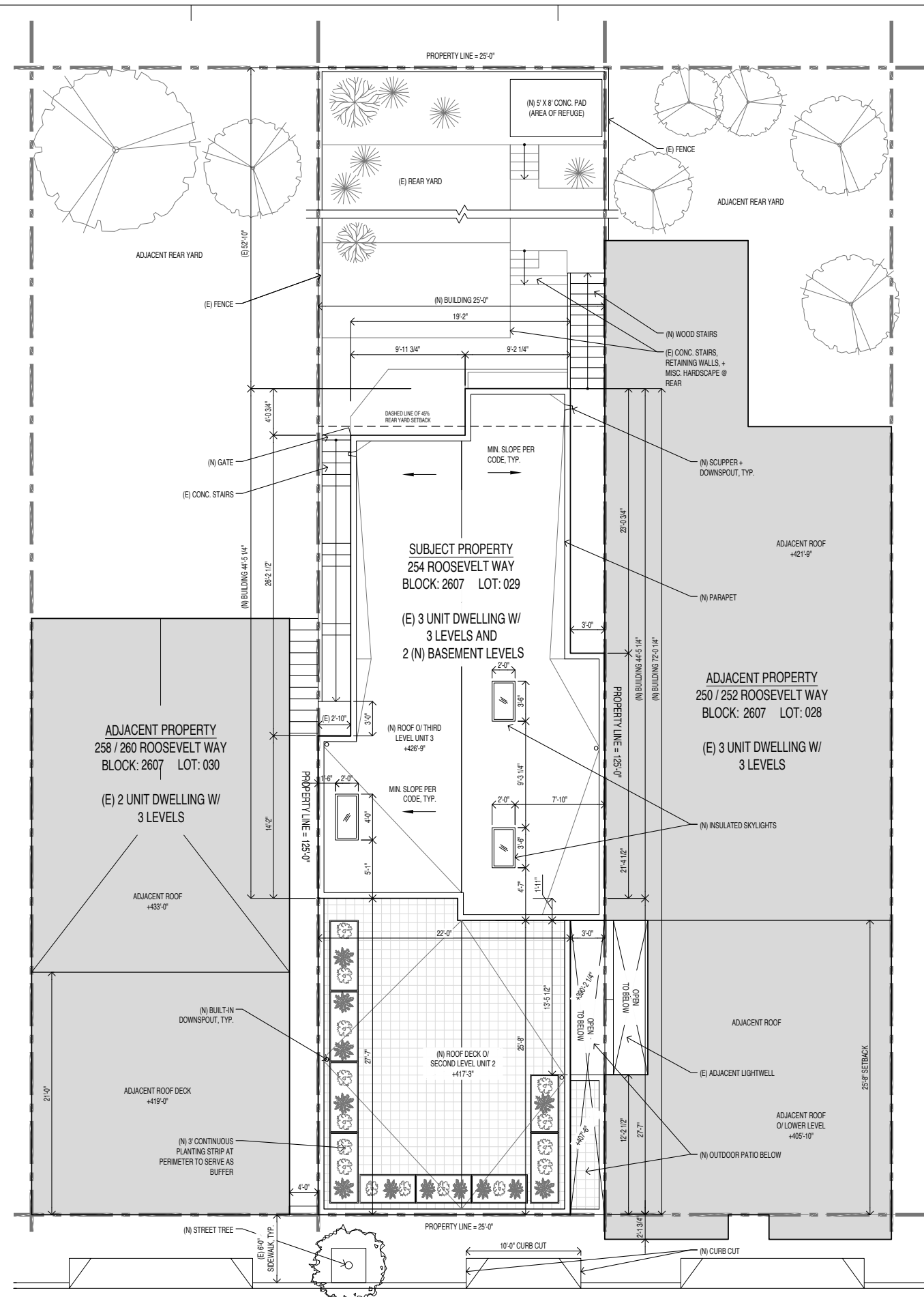
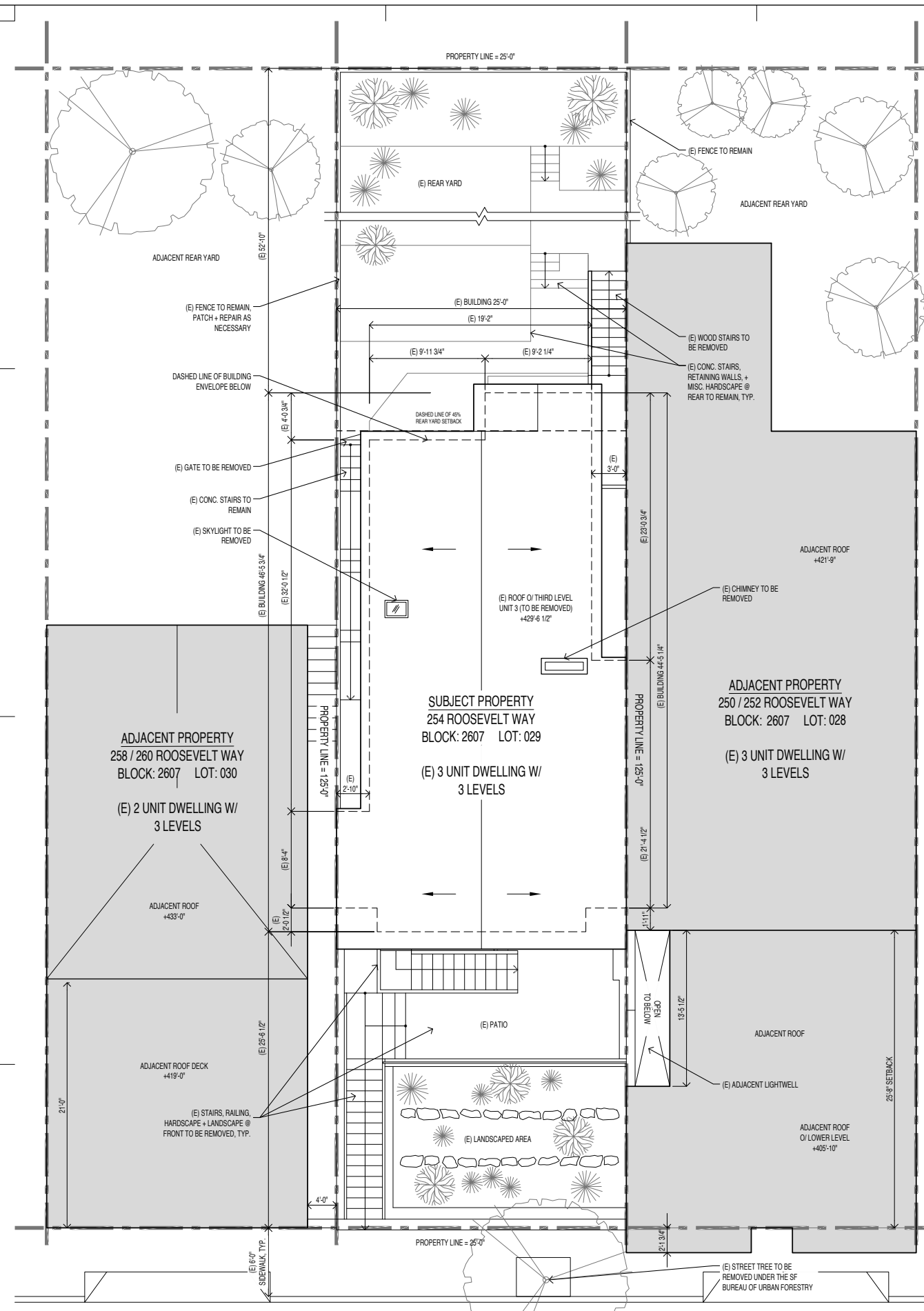
REV-2	10.21.2019
REV-1	09.03.2019
PLANNING	02.08.2019

NO SCALE

09.03.2019

COVER SHEET

A0.0



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REV-1	09.03.2019
PLANNING	02.08.2019

3/16"=1'-0"

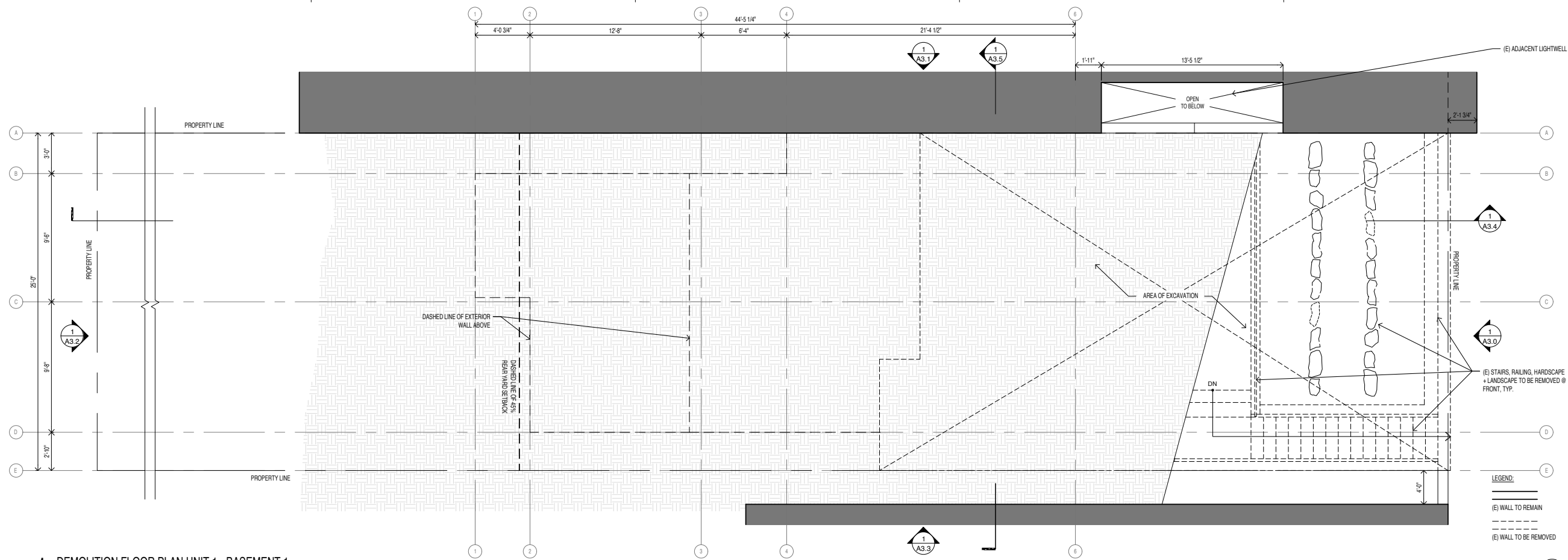
09.03.2019

EXISTING + PROPOSED
 SITE PLANS

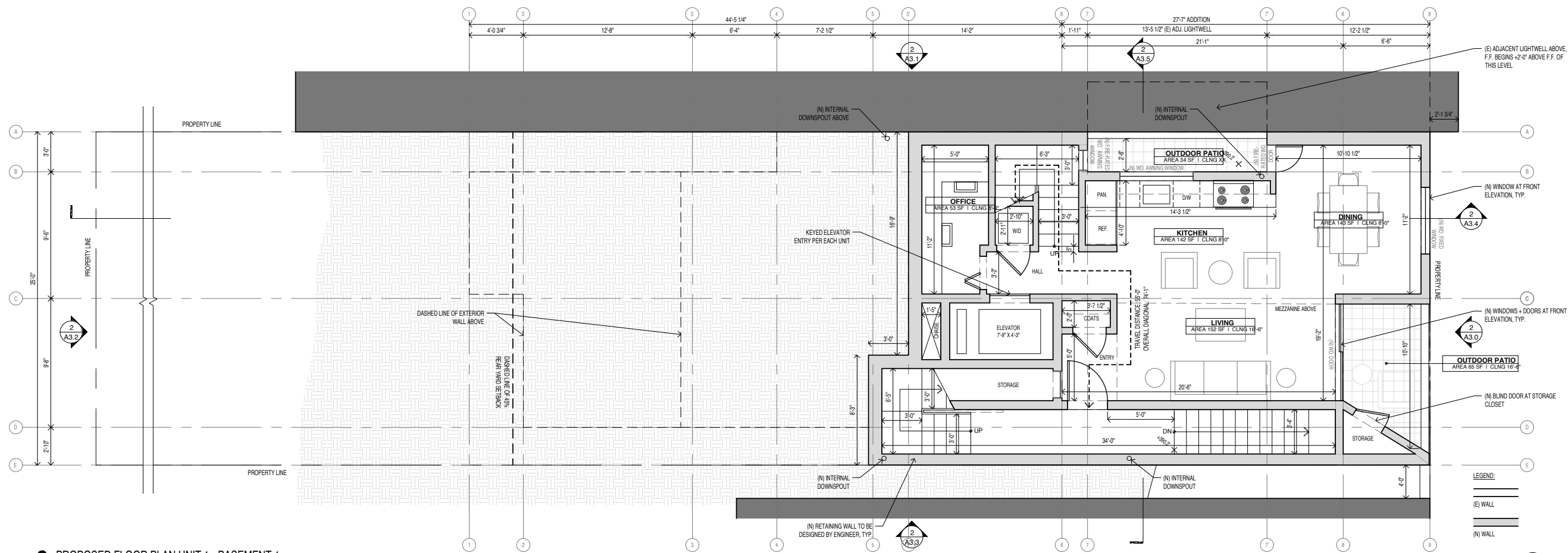
1 EXISTING SITE PLAN

2 PROPOSED SITE PLAN

A1.0



1 DEMOLITION FLOOR PLAN UNIT 1 - BASEMENT 1
 GROSS FLOOR AREA: NA
 NET FLOOR AREA: NA



2 PROPOSED FLOOR PLAN UNIT 1 - BASEMENT 1
 GROSS FLOOR AREA: 901 SF
 NET FLOOR AREA: 542 SF (1270 SF TOTAL)

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**254
 ROOSEVELT
 WAY**

contacts SPIKE KAHN
 address 254 ROOSEVELT WAY
 SAN FRANCISCO, CA
 phone 415.724.2055
 email spikekahn@gmail.com

REV-2	10.21.2019
REV-1	09.03.2019
PLANNING	02.08.2019

1/4"=1'-0"

09.03.2019

DEMOLITION + PROPOSED
 FLOOR PLANS -
 UNIT 1 BASEMENT 1

contact THE OPEN WORKSHOP
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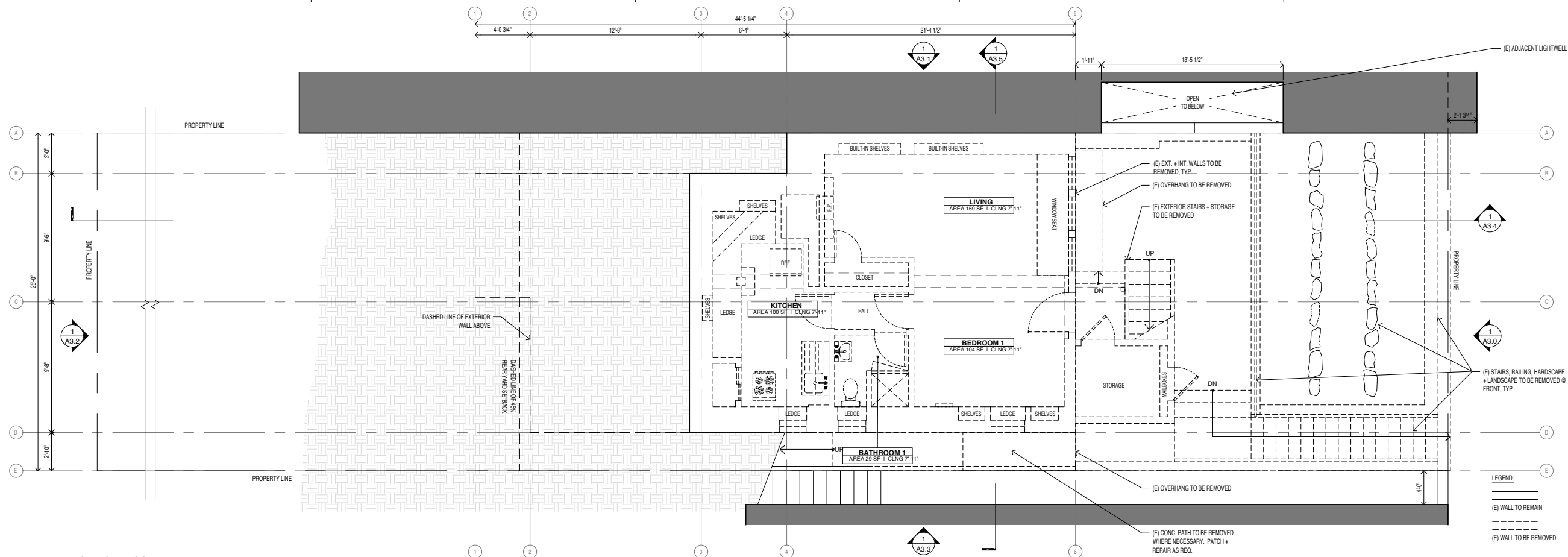
REV-2 10.21.2019
 REV-1 09.03.2019
 PLANNING 02.08.2019

1/4"=1'-0"

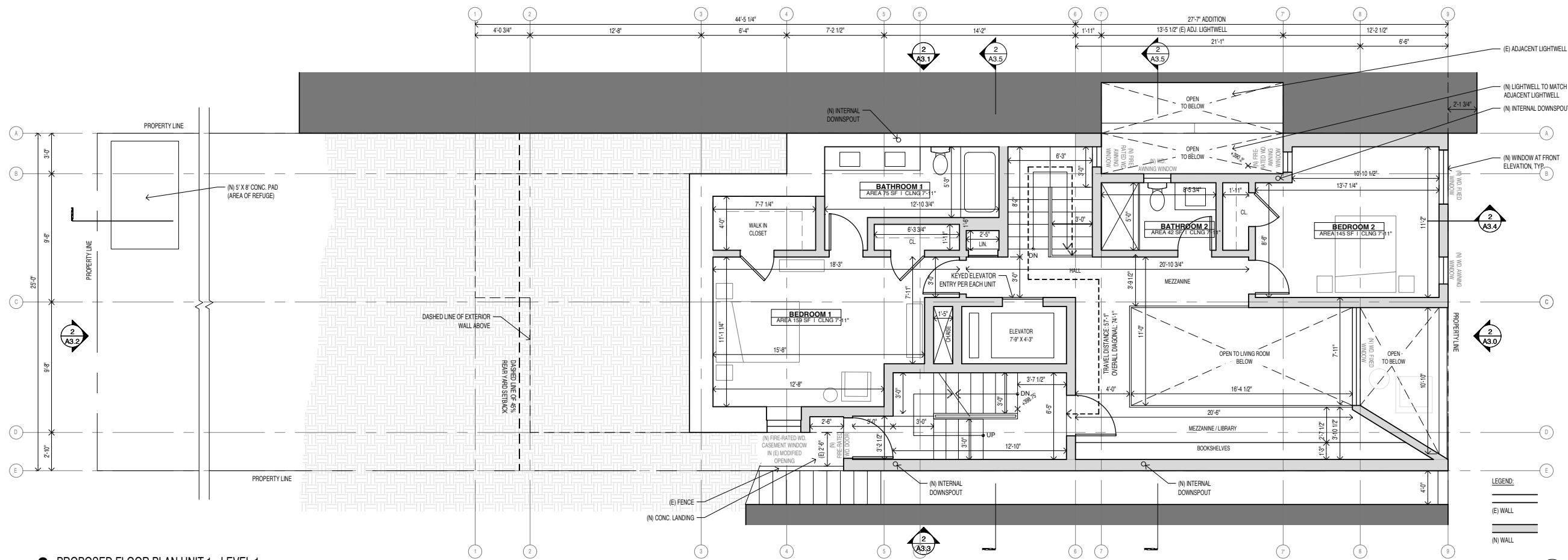
09.03.2019

DEMOLITION + PROPOSED
 FLOOR PLANS -
 UNIT 1 LEVEL 1

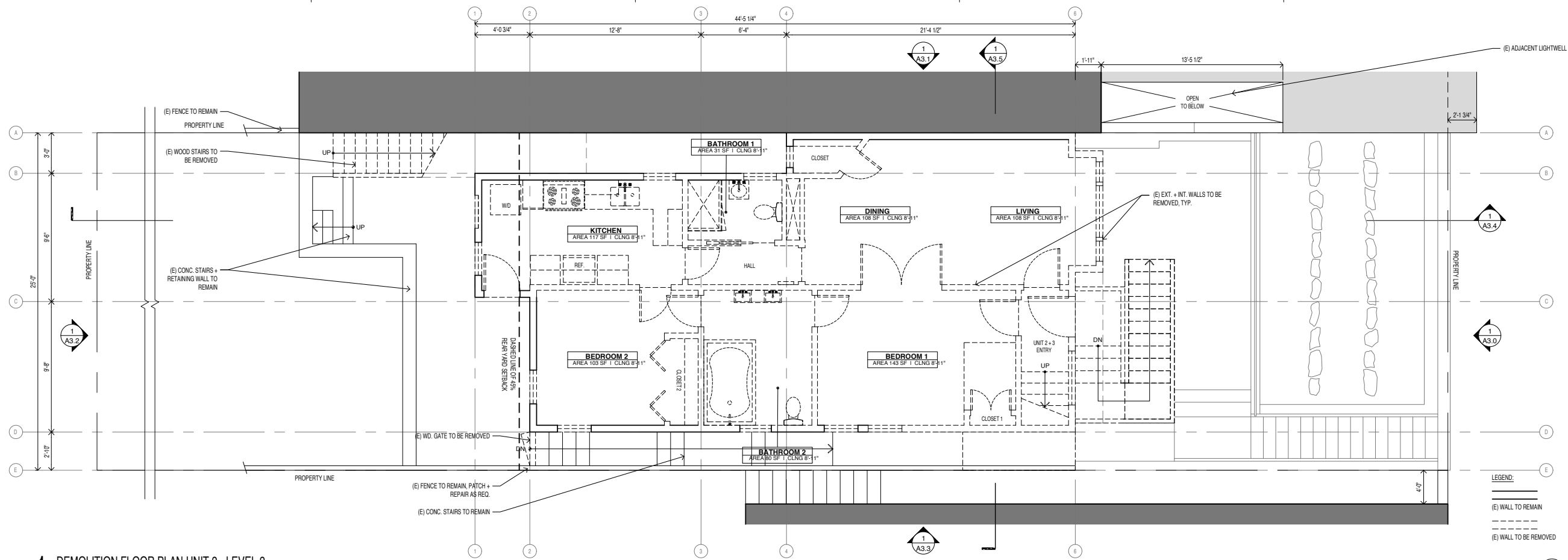
A2.2



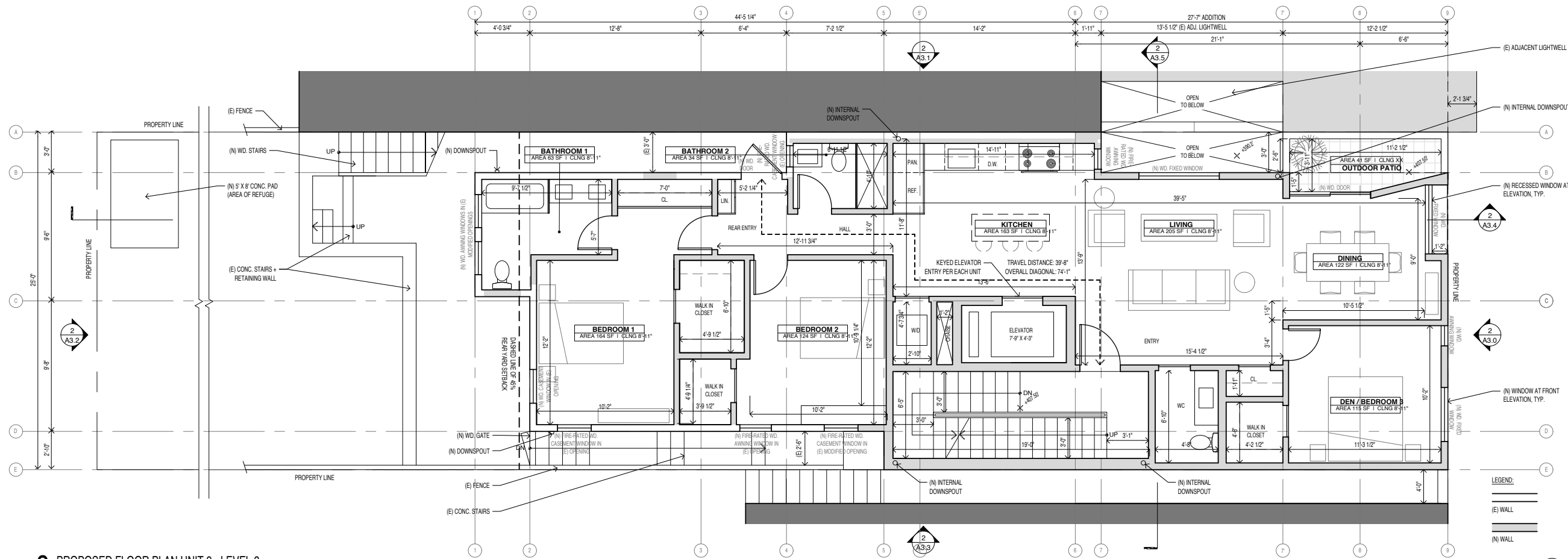
1 DEMOLITION FLOOR PLAN UNIT 1 - LEVEL 1
 GROSS FLOOR AREA: 612 SF
 NET FLOOR AREA: 459 SF



2 PROPOSED FLOOR PLAN UNIT 1 - LEVEL 1
 GROSS FLOOR AREA: 1129 SF
 NET FLOOR AREA: 728 SF (1270 SF TOTAL)



1 DEMOLITION FLOOR PLAN UNIT 2 - LEVEL 2
 GROSS FLOOR AREA: 890 SF
 NET FLOOR AREA: 785 SF



2 PROPOSED FLOOR PLAN UNIT 2 - LEVEL 2
 GROSS FLOOR AREA: 1509 SF
 NET FLOOR AREA: 1207 SF

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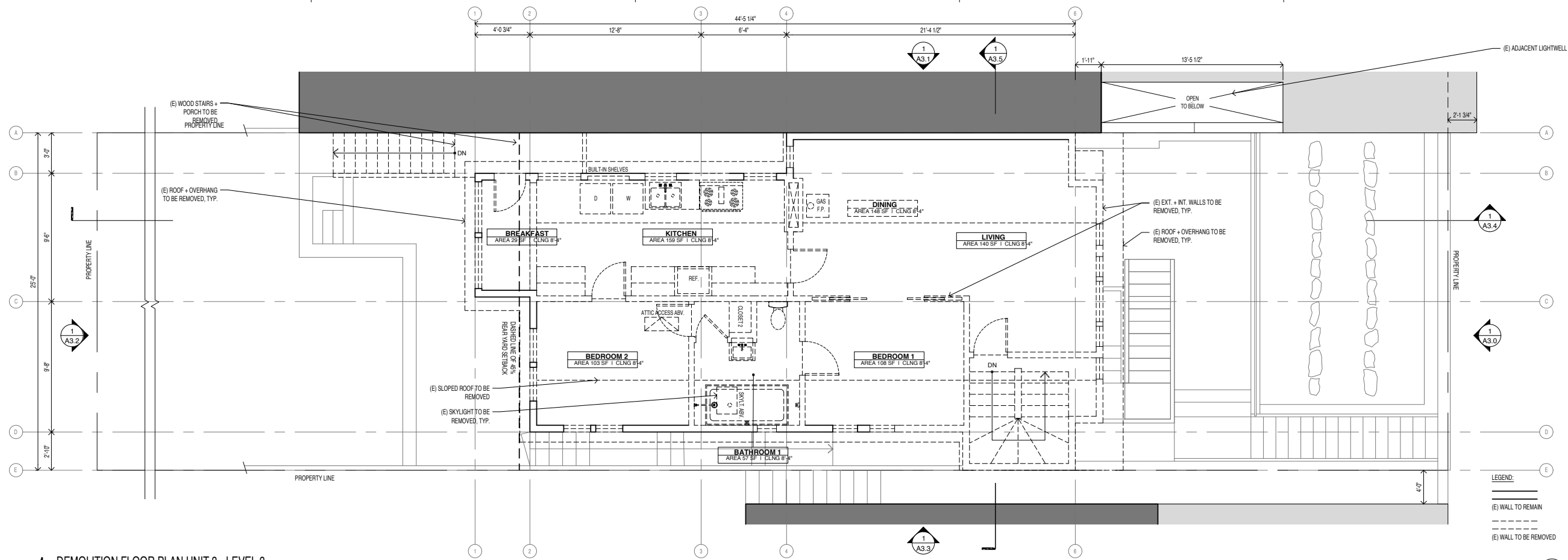
REV-2	10.21.2019
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PLANNING	02.08.2019

1/4"=1'-0"

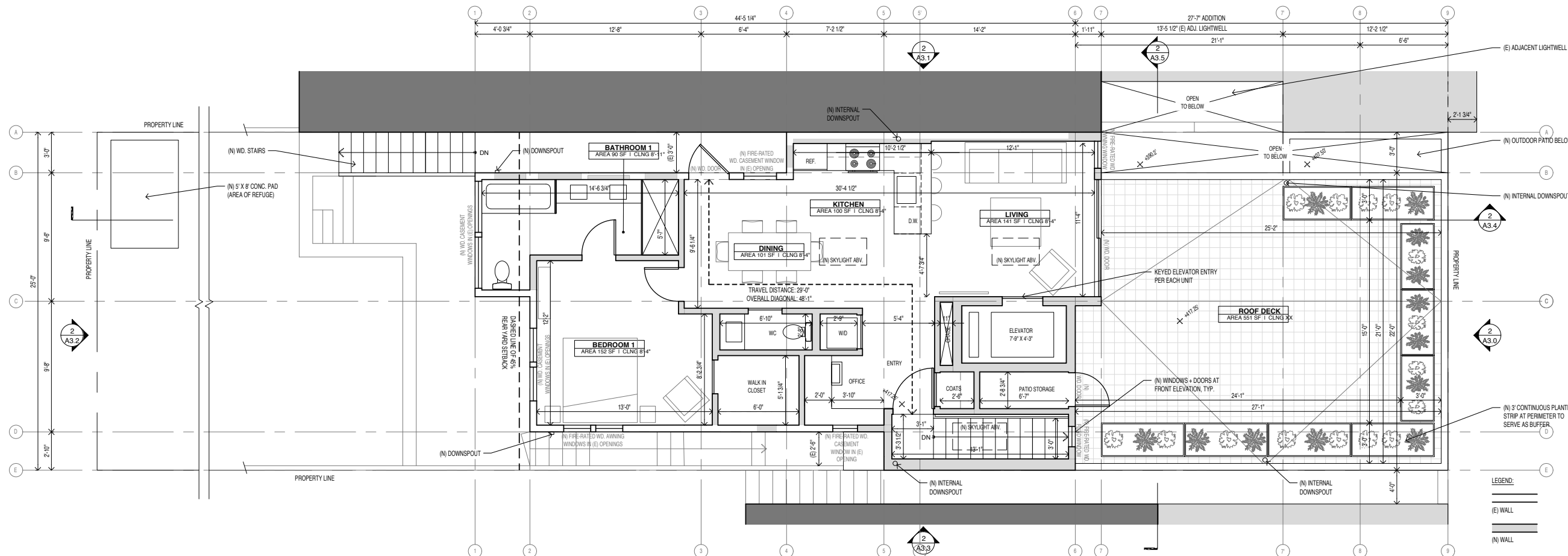
09.03.2019

DEMOLITION + PROPOSED
 FLOOR PLANS -
 UNIT 2 LEVEL 2

A2.3



1 DEMOLITION FLOOR PLAN UNIT 3 - LEVEL 3
 GROSS FLOOR AREA: 936 SF
 NET FLOOR AREA: 792 SF



2 PROPOSED FLOOR PLAN UNIT 3 - LEVEL 3
 GROSS FLOOR AREA: 940 SF
 NET FLOOR AREA: 728 SF

contact THE OPEN WORKSHOP
 address 2830 20TH ST #208
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 WAY**

contacts SPIKE KAHN
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 SAN FRANCISCO, CA
 phone 415.724.2055
 email spikekahn@gmail.com

REV-2	10.21.2019
REV-1	09.03.2019
PLANNING	02.08.2019

1/4"=1'-0"

09.03.2019

DEMOLITION + PROPOSED
 FLOOR PLANS -
 UNIT 3 LEVEL 3

contact THE OPEN WORKSHOP
address 2830 20TH ST #208
SAN FRANCISCO CA 94110
phone 917.657.1290
email nee@theworkshop.com

254 ROOSEVELT WAY

contacts SPIKE KIRN
address 254 ROOSEVELT WAY
SAN FRANCISCO, CA
phone 415.724.2955
email spikekirn@gmail.com

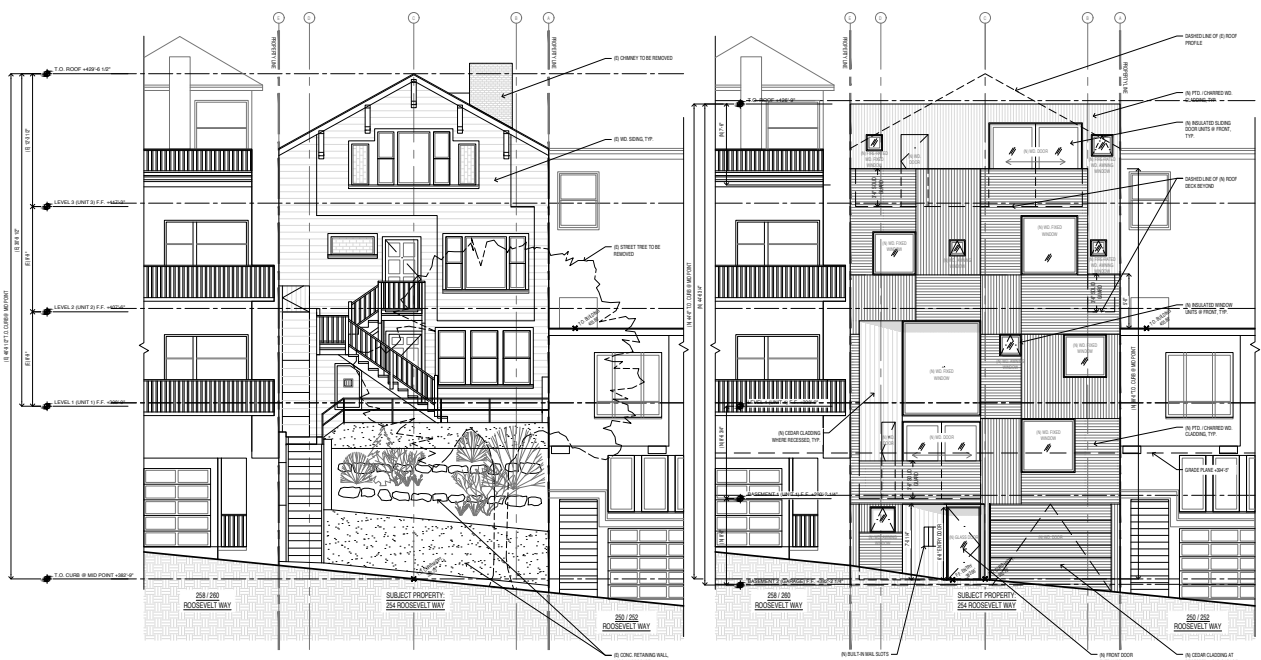
REV-2 10.21.2019
REV-1 09.03.2019
PLANNING 02.08.2019

1/4" = 1'-0"

09.03.2019

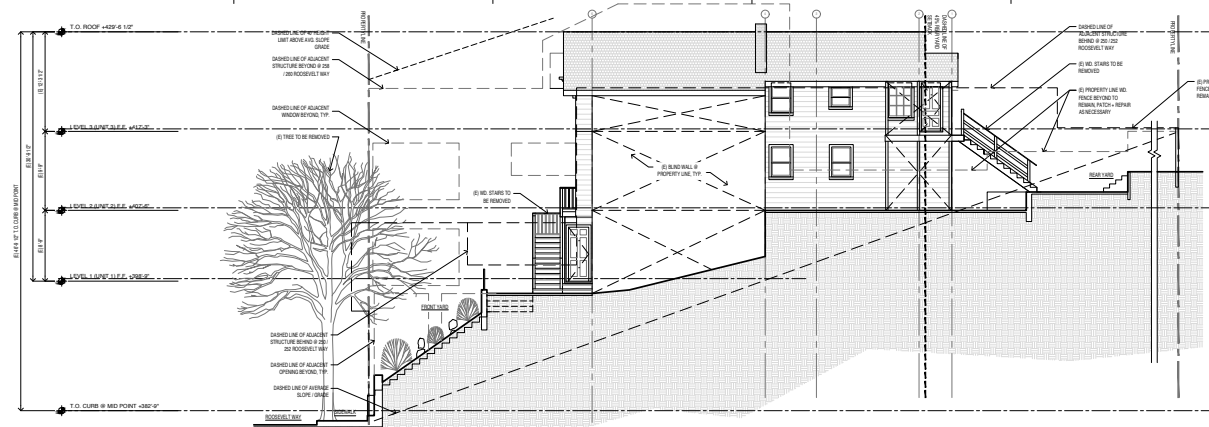
EXISTING + PROPOSED FRONT ELEVATIONS

A3.0



1 EXISTING FRONT (SOUTH-WEST) ELEVATION

2 PROPOSED FRONT (SOUTH-EAST) ELEVATION



1 EXISTING SIDE (NORTH-EAST) ELEVATION

2 PROPOSED SIDE (NORTH-EAST) ELEVATION

contact THE OPEN WORKSHOP
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SAN FRANCISCO CA 94110
phone 917.657.1290
email nee@theworkshop.com

254 ROOSEVELT WAY

contacts SPIKE KIRN
address 254 ROOSEVELT WAY
SAN FRANCISCO, CA
phone 415.724.2955
email spikekirn@gmail.com

REV-2 10.21.2019
REV-1 09.03.2019
PLANNING 02.08.2019

3/16" = 1'-0"

09.03.2019

EXISTING + PROPOSED SIDE ELEVATIONS

A3.1



1 EXISTING REAR (NORTH-WEST) ELEVATION

2 PROPOSED REAR (NORTH-WEST) ELEVATION

contact THE OPEN WORKSHOP
address 2830 20TH ST #208
SAN FRANCISCO CA 94110
phone 917.657.1290
email nee@theworkshop.com

254 ROOSEVELT WAY

contacts SPIKE KIRN
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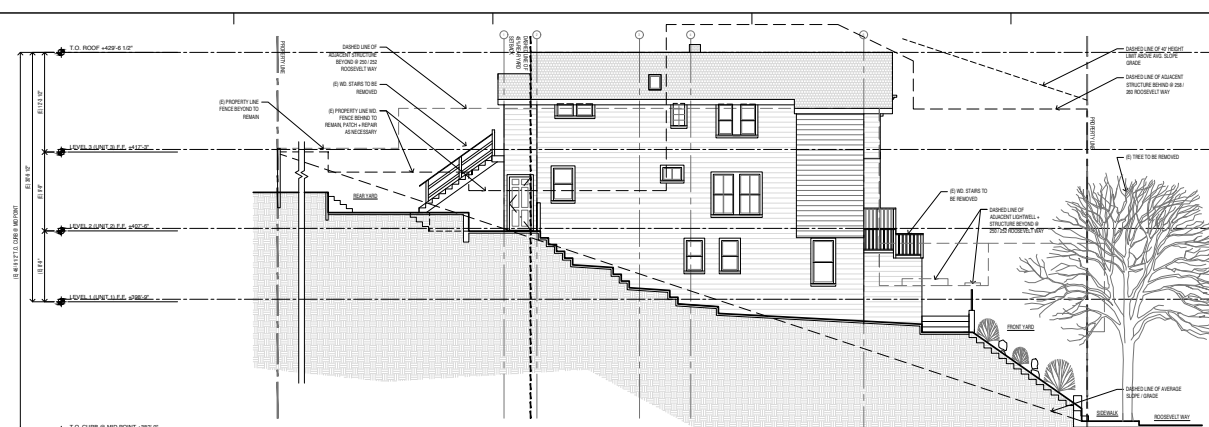
REV-2 10.21.2019
REV-1 09.03.2019
PLANNING 02.08.2019

1/4" = 1'-0"

09.03.2019

EXISTING + PROPOSED REAR ELEVATIONS

A3.2



1 EXISTING SIDE (SOUTH-WEST) ELEVATION

2 PROPOSED SIDE (SOUTH-WEST) ELEVATION

contact THE OPEN WORKSHOP
address 2830 20TH ST #208
SAN FRANCISCO CA 94110
phone 917.657.1290
email nee@theworkshop.com

254 ROOSEVELT WAY

contacts SPIKE KIRN
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email spikekirn@gmail.com

REV-2 10.21.2019
REV-1 09.03.2019
PLANNING 02.08.2019

3/16" = 1'-0"

09.03.2019

EXISTING + PROPOSED SIDE ELEVATIONS

A3.3



DISCRETIONARY REVIEW PUBLIC (DRP)

APPLICATION

Discretionary Review Requestor's Information

Name: Phyllis DilKian-Shimmon

Address: 258-260 Roosevelt way Email Address: Sfnoshe@Aa.net
SF Ca Telephone: 415-999-1334

Information on the Owner of the Property Being Developed

Name: Linda Kahn

Company/Organization: _____

Address: 720 York St Suite 107 Email Address: SpikeKahn@gmail.com
SF Ca Telephone: 415-935 3641

Property Information and Related Applications

Project Address: 254 Roosevelt way

Block/Lot(s): 2607-029

Building Permit Application No(s): 2018-005918 PRJ / 201902122711

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?		X
Did you discuss the project with the Planning Department permit review planner?		X
Did you participate in outside mediation on this case? (including Community Boards)		X

Changes Made to the Project as a Result of Mediation.

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes that were made to the proposed project.

DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

I Am located @ 258-260 Roosevelt THE project will Block all my light + AIR FOR Existing ROOMS

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

I would Be effected By Blocking all my light & AIR to existing rooms & make my walk way dark.

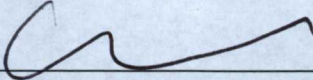
3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

Light Wells & Larger Set Back on my side
review Deck make it a Juliet or Set Back

DISCRETIONARY REVIEW REQUESTOR'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

a) The undersigned is the DR requestor or their authorized representation.



Signature

Phyllis Dilkian-Shimno
Name (Printed)

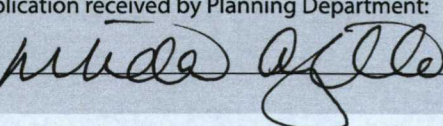
Owner
Relationship to Requestor
(i.e. Attorney, Architect, etc.)

415-999-1334
Phone

stnoosheatt.net
Email

For Department Use Only

Application received by Planning Department:

By:  Hoagland

Date: 12.26.19



254 Roosevelt Front of subject property



254 Roosevelt Front of Subject Property



254 Roosevelt Front of Property



254 Roosevelt Front of Property



Sidewalk (Public Right of Way) in front of 254 Roosevelt



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On February 12, 2019, Building Permit Application No. 201902122711 was filed for work at the Project Address below.

Notice Date: 11/27/19

Expiration Date: 12/28/19

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	254 ROOSEVELT WAY	Applicant:	Linda Kahn
Cross Street(s):	Park Hill Ave/15 th St & Upper Terrace	Address:	720 York Street, Suite 107
Block/Lot No.:	2607 / 029	City, State:	San Francisco, CA
Zoning District(s):	RH-2 /40-X	Telephone:	(415) 935-3641
Record Number:	2018-005918PRJ	Email:	spikekahn@gmail.com

You are receiving this notice as an owner or occupant of property within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request that the Planning Commission review this application at a public hearing for Discretionary Review. Requests for a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown above, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input checked="" type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	No Change
Front Setback	25 feet, 6½ inches	None
Side Setbacks	0 to 3 feet	0 to 3 feet
Building Depth	44 feet, 5¼ inches	72 feet, 0¼ inches
Rear Yard	52 feet, 10 inches	No Change
Building Height	~30 feet, 9½ inched to top of ridge	38 feet
Number of Stories	3	3 stories over garage
Number of Dwelling Units	3	No Change
Number of Parking Spaces	0	1

PROJECT DESCRIPTION

The project includes a three-story, horizontal addition at the front of an existing three-story building. The existing building is 2,438 square feet with three dwelling units. The addition will enlarge the three existing units and create a one car garage at the basement level, resulting in a total of 5,361 square feet. The project will also include a new roof deck at the front of the building on the third floor, which will be accessed from the unit on third floor.

The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.

To view plans or related documents, visit sf-planning.org/notices and search the Project Address listed above. Once the property is located, click on the dot(s) to view details of the record number above, its related documents and/or plans.

For more information, please contact Planning Department staff:
Linda Ajello Hoagland, 415-575-6823, Linda.AjelloHoagland@sfgov.org

中文詢問請電 | PARA INFORMACION EN ESPAÑOL LLAMAR AL | PARA SA IMPORMASYON SA TAGALOG TUMAWAG SA | 415.575.9010

Sign Posted 254 Roosevelt



San Francisco Planning

DISCRETIONARY REVIEW PUBLIC (DRP) APPLICATION

Discretionary Review Requestor's Information

Name: Andrew Pellman & Mark Kerr

Address: 250 Roosevelt Way #3, San Francisco, CA 94114

Email Address: AP94114@gmail.com, markdavidkerr@gmail.com, 250roosevelt@gmail.com

Telephone: 415-810-4208

Information on the Owner of the Property Being Developed

Name: Linda Kahn

Company/Organization:

Address: 720 York St, Suite 107, San Francisco, CA

Email Address: spikekahn@gmail.com

Telephone: 415-935-3641

Property Information and Related Applications

Project Address: 254 Roosevelt Way

Block/Lot(s): 2607/029

Building Permit Application No(s): 201902122711

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case? (including Community Boards)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Changes Made to the Project as a Result of Mediation. If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes that were made to the proposed project.		

DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

Please see attached.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

Please see attached.

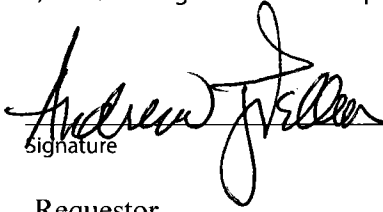
3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

Please see attached.

DISCRETIONARY REVIEW REQUESTOR'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

a) The undersigned is the DR requestor or their authorized representation.


signature

Andrew Pellman / 
Name (Printed)

Requestor

415-810-4208

ap94114@gmail.com

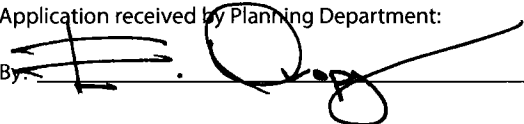
Relationship to Requestor
(i.e. Attorney, Architect, etc.)

Phone

Email

For Department Use Only

Application received by Planning Department:

By: 

Date: 12 / 23 / 19

We request that the Planning Commission take DR and not approve the plans for 254 Roosevelt (the "Project") as submitted.

First, the proposed development does not conform to the Residential Design Guidelines in the following areas: (i) the Project design does not respect the neighborhood character and that of the two adjacent properties, (ii) the proposed development encroaches on the light and air of the adjacent properties in two ways by not matching 250's light well and/or by encroaching on existing lightwells with a door and deck/catwalk, and (iii) the Project does not conform to Planning's roof deck guidelines.

Second, the Project plans include substantial demolition of the exterior walls/foundation, demolition of nearly 100% of the interior layout, and replacement of the entire exterior façade. Despite the extent of the demolition, no demo calculations have been submitted. In the absence of substantiated calculations to the contrary, the proposed project should be considered "Tantamount To Demolition", and the Project Sponsor should be required to apply for a demolition permit.

Although we support the overall proposed development of the Project and recognize that any project would have a direct effect on 250 Roosevelt Way ("250") and the character/compatibility with the neighborhood and neighboring properties, we request the Planning Commission take DR and incorporate the following changes to the Project:

1. Unit 2/Level 2 -Outdoor Patio (Sheet A2.3): Provide Architectural/Vision Screen at the north railing. As currently designed, this patio area provides direct vision into 3 units of 250: (i) the living room of 250 -2, (ii) the living room and bedroom of 250-3, and (iii) the bedroom of 250 -1. Requiring construction of a vision screen at the northern end of the deck would prevent direct visibility into the living spaces of 3 units in 250. This change would not address the fact that this outdoor patio deck is not in conformance with the design guidelines, but at least it would preserve privacy for residents of 3 rent-controlled units at 250 Roosevelt. See #1 on attached Project Plans
2. Unit 3/Level 3 – Kitchen Exit To Rear Yard and Light Well at 250 and 254(Sheet A2.4): There is an adjacent and smaller matching lightwell at 250 that is **not** depicted on the project plans. This non-depicted lightwell at 250, is the only means of light and air for two units at 250: (i) the bedroom and dining room of 250-2, and (ii) the dining room and bathroom of 250-3. The current plans propose construction in this area and will impede light and air. Further, building a deck/catwalk in this area will provide direct visibility into the rooms enumerated above, degrading the privacy of these rent controlled units. In order to maintain light, air, and privacy for 250, we request that 254 match 250's existing lightwell and refrain from any development in the lightwell, leaving it free and open. This includes removing both the door and the deck/catwalk from 254-3 the matching light well. Additionally, the plans call for replacing the current pitched roof with a flat roof thereby increasing the height of the exterior walls and potentially decreasing shadow in 250 matching light well. We request that the interior

ceiling height in this portion of 254 be kept to a maximum of 8'-0" and the exterior wall be reduced to correspond with such ceiling height. See #2 on Attached Project Plans.

3. Unit 3/Level 3 – Roof Deck (sheet A2.4): On the south and west, we note that the proposed roof deck does not conform to the recommended setback of 5'0" from the property line. At a minimum, we request that these setbacks be enforced, and that the parapet/rails be set inboard of any planting area to ensure that setbacks are maintained long-term and to minimize the impact of the roof deck on 250. That said, we challenge the need for this deck in the first place, because the proposed Unit 3 at 254 already has access to the rear yard, and as such there is no need to provide additional outdoor space. We believe the roof deck is a merely a marketing amenity for the Sponsor. Therefore, we propose that the roof deck be significantly reduced in size to a viewing deck 4'-0" deep and set back a minimum of 6'-0" from each side property line. Doing so will allow the developer to keep an aspect of their marketing amenity while protecting the privacy of the immediate neighbors and conforming to the Planning Department's guidelines. See #3 on attached Project Plans
4. Compatibility With Neighborhood Character: The Residential Design Guidelines identify matching setbacks, lightwells, and stepdown of facades as defining neighborhood characteristics. As proposed, 254 neither replicates defining neighborhood characteristics nor that of the directly neighboring properties in the following ways:
 - a. Front Elevation: The height of the front elevation is the same height as 258 Roosevelt ("258"). This is contrary to the step-downs along Roosevelt Way that follow the topography of the hill. Therefore, 254 should be reduced in height in order to match similar step downs found in the neighborhood, providing transition between 258 and 250. This could be easily resolved by removing the roof deck as indicated above and eliminating the need for a 3.5" parapet. The removal of the deck, and therefore the parapet, will result in a desirable repetition of the step downs found on the street.
 - b. West Elevation at 258/254 Roosevelt: The proposed development does not match the setback and/or lightwell at 258. The proposed 254 development should be set back a minimum of 4'-0" off the shared property line with 258 in order to provide a matching lightwell and keyway between 254 and 258. This is particularly important at the street. This matching 4'0" set back would provide light and air to the rent-controlled units at 258, and would minimize the scale of these combined projects at street level.

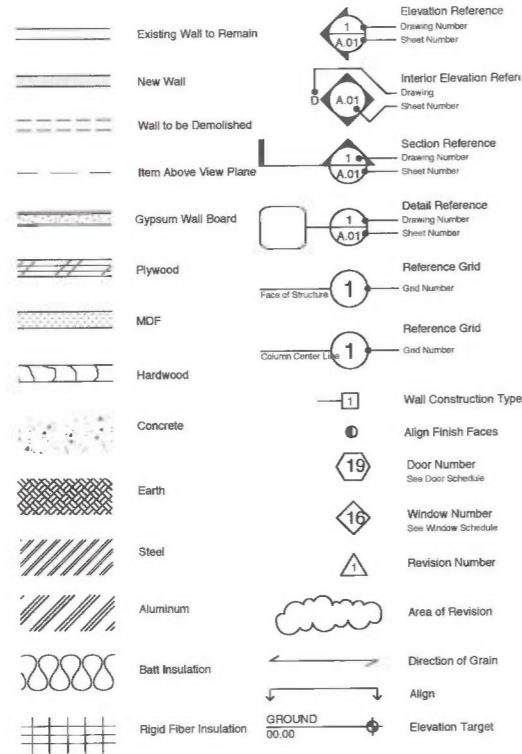
See #4 on attached Project Plans

Implementing the above requested changes would bring the proposed project at 254 into conformance with the Residential Design Guidelines and protect access to light and air of the adjacent properties, thereby protecting the 5-high quality rent-controlled units at 250 and 258 Roosevelt. Since the proposed project is essentially new construction, the Project could easily be reprogrammed and modified to accommodate these changes without impacting the quality of the proposed project or preventing the delivery of quality units to San Francisco's housing stock.

GENERAL NOTES

- CONTRACTOR SHALL PROVIDE ALL MATERIALS AND WORKMANSHIP FOR ALL CONSTRUCTION REQUIRED HEREIN AND SHALL BE IN ACCORDANCE WITH THE:
 - 2018 CALIFORNIA BUILDING CODE (CBC)
 - 2018 CALIFORNIA PLUMBING CODE (CPC)
 - 2018 CALIFORNIA MECHANICAL CODE (CMC)
 - 2018 CALIFORNIA ELECTRICAL CODE (CEC)
 - 2018 CALIFORNIA RESIDENTIAL CODE (CRC)
 - 2018 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBC)
 - 2018 CALIFORNIA FIRE CODE (CFC)
 - 2018 CALIFORNIA ENERGY CODE (BASED ON THE 2008 CA ENERGY STANDARDS (CES) PART 6)
 - ALL OTHER APPLICABLE STATE AND LOCAL CODES AND ORDINANCES, INCLUDING THE CITY OF SAN FRANCISCO BUILDING CODE (SBC), THE SAN FRANCISCO MUNICIPAL CODE (SFMUC) CHAPTER 18, AND THE REQUIREMENTS OF ALL OTHER AGENCIES HAVING JURISDICTION OVER THIS PROJECT.
- IN THE EVENT OF CONFLICTS IN CODE REGULATIONS, THE MOST STRINGENT REQUIREMENTS APPLY. CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER, IN WRITING, OF ANY DISCREPANCY BETWEEN THE APPLICABLE CODES AND THESE DOCUMENTS.
- IN THE EVENT THE CONTRACTOR ENCOUNTERS ON THE SITE MATERIAL REASONABLY BELIEVED TO BE ASBESTOS, POLYCHLORINATED BIPHENYL (PCB), LEAD PAINT, OR ANY OTHER HAZARDOUS MATERIAL WHICH HAS NOT BEEN RENDERED HARMLESS OR PREVIOUSLY IDENTIFIED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE AND THE ARCHITECT IN WRITING AND COMPLY WITH ALL SF & EPA REGULATIONS.
- MANUFACTURER'S DESIGNATIONS ARE NOTES TO INDICATE PATTERN, COLOR, AND PERFORMANCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD AND, IN THE EVENT OF DISCREPANCY, REPORTING SUCH DISCREPANCY TO THE ARCHITECT, BEFORE COMMENCING WORK.
- CONTRACTOR SHALL NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL ALWAYS GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD AND, IN THE EVENT OF DISCREPANCY, REPORTING SUCH DISCREPANCY TO THE ARCHITECT, BEFORE COMMENCING WORK.
- ALL PLAN DIMENSIONS INDICATED ARE TO COLUMN CENTERLINE, TO FACE OF CONCRETE, TO FINISH FACE OF GYP. BD., OR TO FACE OF MASONRY U.O.N.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, FRAMING, HANGERS, AND/OR OTHER SUPPORTS FOR ALL FIXTURES, EQUIPMENT CASEWORK, FURNISHINGS AND ALL OTHER ITEMS REQUIRING SAME.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL AND EQUIPMENT.
- CONTRACTOR SHALL TAKE SUITABLE MEASURES TO PREVENT INTERACTION BETWEEN DISSIMILAR MATERIALS.
- "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- "TYPICAL" OR "TYP." MEANS FOR ALL SIMILAR CONDITIONS, U.O.N.
- DETAILS ARE USUALLY KEYED ONLY ONE PLACE, (ON PLANS OR ELEVATIONS WHEN THEY FIRST OCCUR) AND ARE TYPICAL FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.
- CONSTRUCTION AREA MUST BE BROOM CLEANED DAILY AND ALL MATERIALS SHALL BE STACKED OR PILED IN AN ORDERLY FASHION OUT OF TRAFFIC PATTERNS.
- AT COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL MARKS, STAINS, FINGERPRINTS, DUST, DIRT, SPLATTERED PAINT, AND BLEMISHES RESULTING FROM THE VARIOUS OPERATIONS THROUGHOUT THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGED AREAS THAT OCCUR DURING CONSTRUCTION THAT ARE WITHIN THE SCOPE OF WORK OR OUTSIDE SCOPE OF WORK THAT ARE CAUSED BY HIMSELF OR SUB-CONTRACTORS.
- WHERE ADJOINING DOORS HAVE DISSIMILAR FLOORING, MAKE CHANGE UNDER CENTERLINE OF DOOR, U.O.N.
- ALL PIPE, CONDUIT, AND DUCT PENETRATIONS THROUGH FLOORS AND FIRE-RATED WALL AND CEILING SHALL BE SEALED WITH FIRE-RESISTING PLASTER OR FIRESTOPPING TO FULL DEPTH OF SLAB OR THICKNESS OF WALL/CILING.
- ENTERING INTO AN AGREEMENT WITH THE OWNER INDICATED THAT THE CONTRACTOR(S) HAS VISITED THE SITE, FAMILIARIZED HIM/HERSELF WITH THE EXISTING CONDITIONS, AND REVIEWED SAME WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL SUB-CONTRACTORS, INCLUDING THOSE UNDER SEPARATE CONTRACT WITH THE OWNERS.
- CONTRACTOR SHALL SUBMIT CONFIRMATION WITH DELIVERY DATES ON ORDERS OF MATERIALS AND EQUIPMENT OF ANY LONG LEAD TIME ORDER ITEMS.
- A 6'-8" MINIMUM HEADROOM SHALL BE PROVIDED AT ALL STAIRS.
- CONTRACTOR SHALL PROTECT ALL EXCAVATION AND CONSTRUCTION FROM RAIN OR WATER DAMAGE.
- COMMON ABBREVIATIONS:
 - (E) = EXISTING
 - (N) = NEW/PROPOSED
 - (P.A.) = PREVIOUSLY APPROVED
 - GWB = GYP. BD. = GYPSUM WALLBOARD
 - MTL. = METAL, S.S. = STAINLESS STEEL
 - GSM = GALVANIZED SHEET METAL
 - GM = GALVANIZED METAL
 - SSD = SEE STRUCTURAL DRAWINGS
 - AFB = ABOVE FINISHED FLOOR
 - BUR = BUILT-UP ROOFING

SYMBOLS



CODE NOTES

- PER SFBC 907.2.10.1.2, PROVIDE SMOKE DETECTORS ON EVERY FLOOR AND IN EVERY SLEEPING ROOM AND HALLWAY OUTSIDE OF SLEEPING ROOMS.
- PER SFBC TABLE 602, PROVIDE ONE HOUR RATED STRUCTURE EVERYWHERE WITHIN 5 FEET OF AND PARALLEL TO THE PROPERTY LINE.
- PER SFBC 408.1.4, PROVIDE GWB ASSEMBLIES BETWEEN PRIVATE GARAGE AND HABITABLE ROOMS (MIN. 1/2" GWB BETWEEN THE DWELLING & ITS ATTIC AREA. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE "X" GWB OR EQ).
- PROVIDE MIN. 1 EMERGENCY ESCAPE & RESCUE WINDOW PER SFBC 1026 AT ALL SLEEPING ROOMS.

AERIAL PHOTOS



1. AERIAL PHOTO FRONT OF PROPERTY LOOKING WEST



2. AERIAL PHOTO REAR OF PROPERTY LOOKING EAST

VICINITY MAP



N.T.S.

PROJECT DATA

ADDRESS	254 ROOSEVELT WAY SAN FRANCISCO, CA 94114	SETBACKS	EXISTING	PROPOSED
BLOCK	2607	REAR	52'-10"	NO CHANGE
LOT	029	FRONT	27'-7"	0'-0"
ZONING	RH2	EAST	0'-0"	NO CHANGE
CONSTRUCTION TYPE	V	WEST	0'-0"	NO CHANGE
OCCUPANCY	R-2			
LOT SIZE	3125 SF	BUILDING HEIGHT T.O. ROOF	EXISTING 46'-6 1/2"	PROPOSED 44'-0"
		NO. OF STORIES	3	1+2 (BASEMENT)

*BUILDING HEIGHT TAKEN @ MIDPOINT T.O. CURB

BUILDING AREA

(E) UNIT 1 (LEVEL 1)	812 SF		
(E) UNIT 2 (LEVEL 2)	860 SF		
(E) UNIT 3 (LEVEL 3)	936 SF		
TOTAL (E) AREA	2438 SF		
PROPOSED GARAGE (BASEMENT 2)	822 SF	DELTA	+822 SF
PROPOSED UNIT 1 (BASEMENT 1)	301 SF		-301 SF
PROPOSED UNIT 1 (LEVEL 1)	1129 SF		+517 SF
PROPOSED UNIT 2 (LEVEL 2)	1299 SF		+419 SF
PROPOSED UNIT 3 (LEVEL 3)	940 SF		+4 SF
TOTAL (E) AND (N) AREA	5361 SF		+2923 SF

PROJECT DESCRIPTION

DEMOLITION OF FRONT FACADE AND VARIOUS INTERNAL WALLS OF (E) 2438 SF 3-UNIT HOME W/ 3 LEVELS (NO GARAGE)
 EXCAVATION OF (E) SITE @ FRONT OF PROPERTY
 HORIZONTAL ADDITION, INTERNAL RECONFIGURATION, + CONSTRUCTION OF (2) BASEMENT LEVELS BENEATH (E) HOME; (N) 5361 SF 3-UNIT HOME W/ 3 LEVELS AND 2 (N) BASEMENT LEVELS; (N) LOWEST LEVEL TO INCLUDE GARAGE AND CURB CUTS AT SIDEWALK.

DRAWING INDEX

ARCHITECTURAL	
A0.0	COVER SHEET
	SITE SURVEY
A1.0	EXISTING + PROPOSED SITE PLANS
A2.0	DEMOLITION + PROPOSED FLOOR PLANS - GARAGE BASEMENT 2
A2.1	DEMOLITION + PROPOSED FLOOR PLANS - UNIT 1 BASEMENT 1
A2.2	DEMOLITION + PROPOSED FLOOR PLANS - UNIT 1 TOP LEVEL 1
A2.3	DEMOLITION + PROPOSED FLOOR PLANS - UNIT 2 LEVEL 2
A2.4	DEMOLITION + PROPOSED FLOOR PLANS - UNIT 3 LEVEL 3
A2.5	DEMOLITION + PROPOSED ROOF PLANS
A3.0	EXISTING + PROPOSED FRONT ELEVATIONS
A3.1	EXISTING + PROPOSED SIDE ELEVATIONS
A3.2	EXISTING + PROPOSED REAR ELEVATIONS
A3.3	EXISTING + PROPOSED SIDE ELEVATIONS
A3.4	EXISTING + PROPOSED SECTIONS
A3.5	EXISTING + PROPOSED SECTIONS
A4.0	PROJECT PHOTOS
A4.1	CONTEXT PHOTOS
A4.2	PROPOSED STREET PERSPECTIVES

contact THE OPEN WORKSHOP
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 email neeraj.bhalia@theopenworkshop.ca

254
 ROOSEVELT
 WAY

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 phone 415.724.2055
 email spikekahn@gmail.com

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 REV-1 09.03.2019
 PLANNING 02.08.2019

NO SCALE

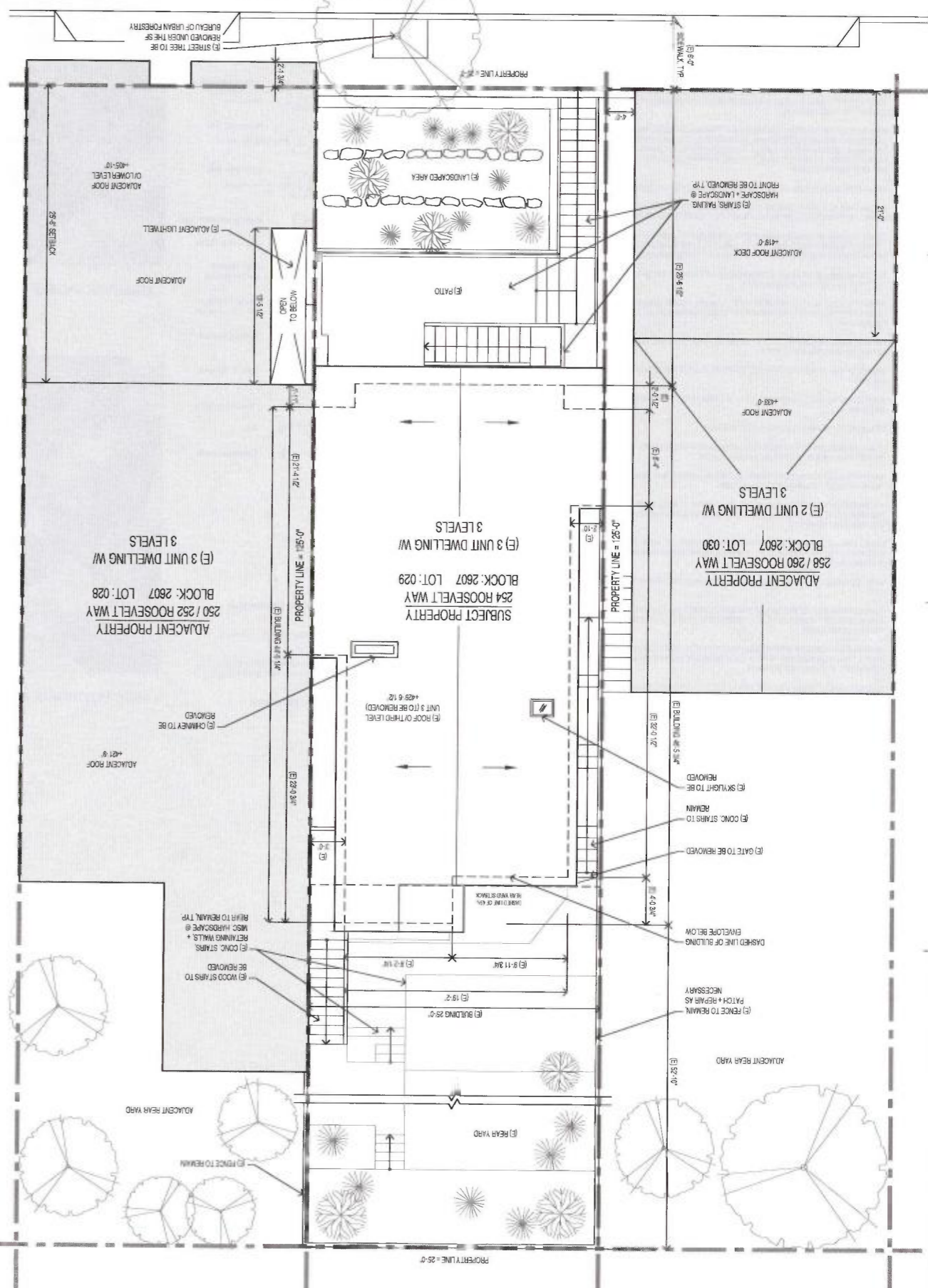
09.03.2019

COVER SHEET

A0.0

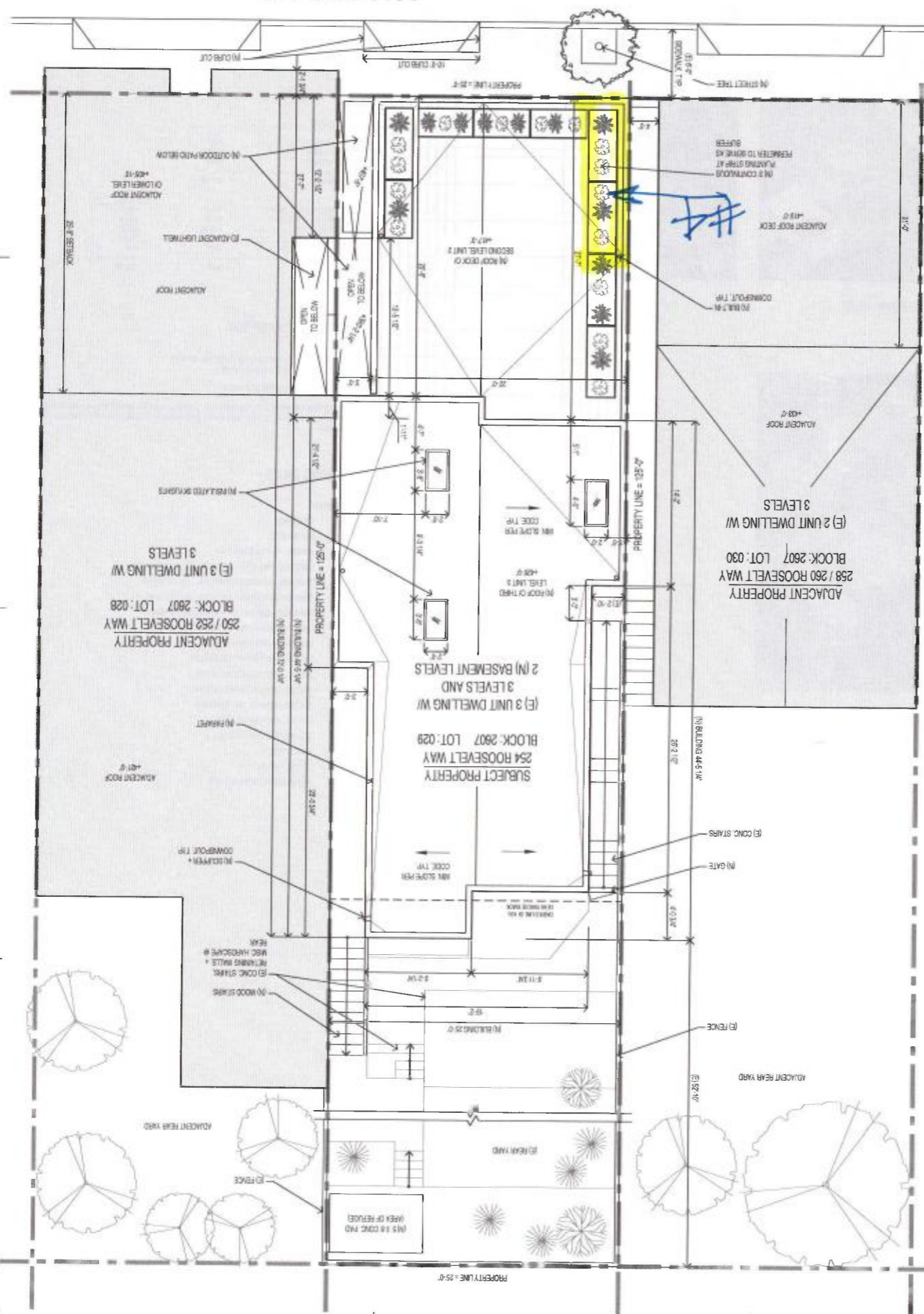
1 EXISTING SITE PLAN

ROOSEVELT WAY



2 PROPOSED SITE PLAN

ROOSEVELT WAY



A1.0

EXISTING + PROPOSED
SITE PLANS

09.03.2019

3/16=1'-0"

PLANNING 02.08.2019

REV-1 09.03.2019

REV-2 10.21.2019

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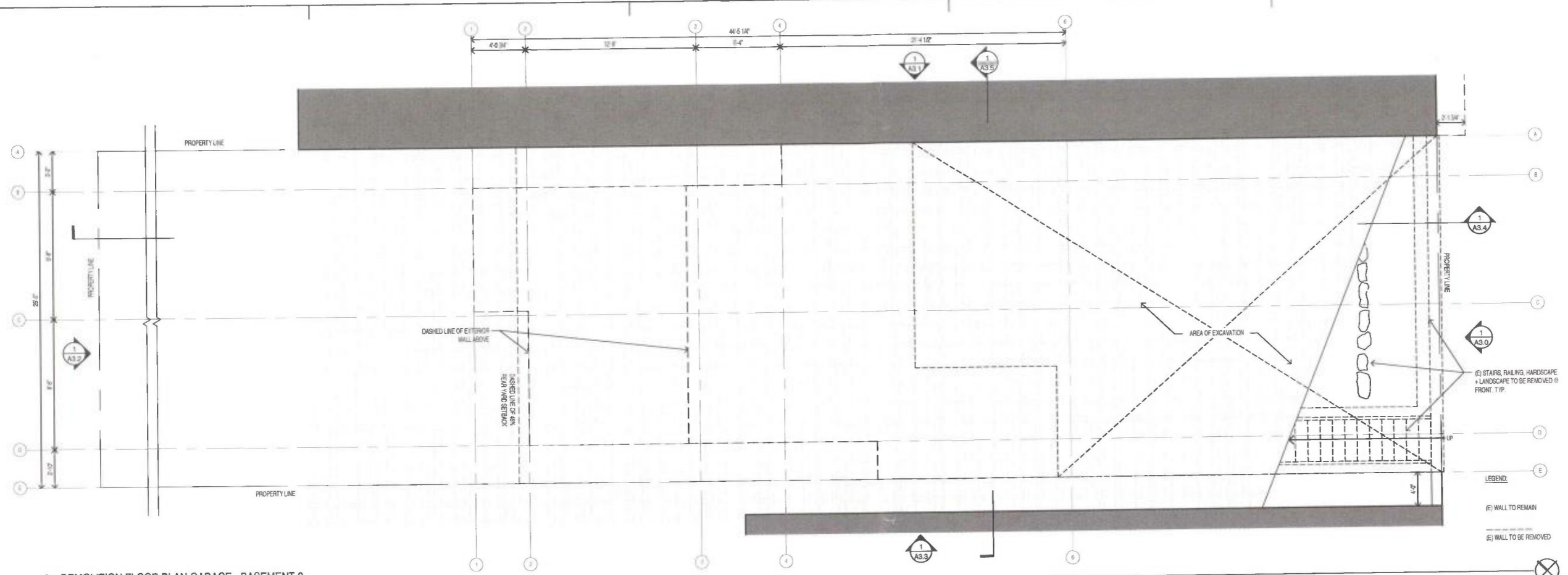
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1/4"=1'-0"

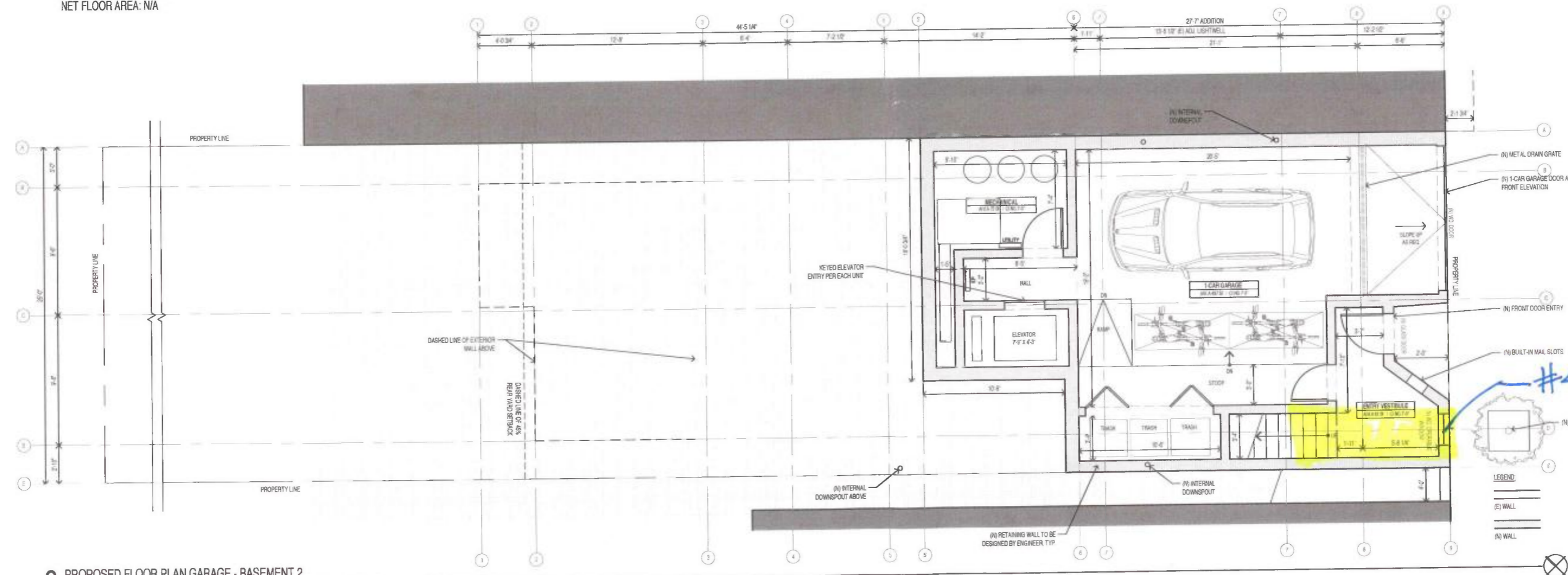
09.03.2019

DEMOLITION + PROPOSED
 FLOOR PLANS -
 GARAGE BASEMENT 2

A2.0



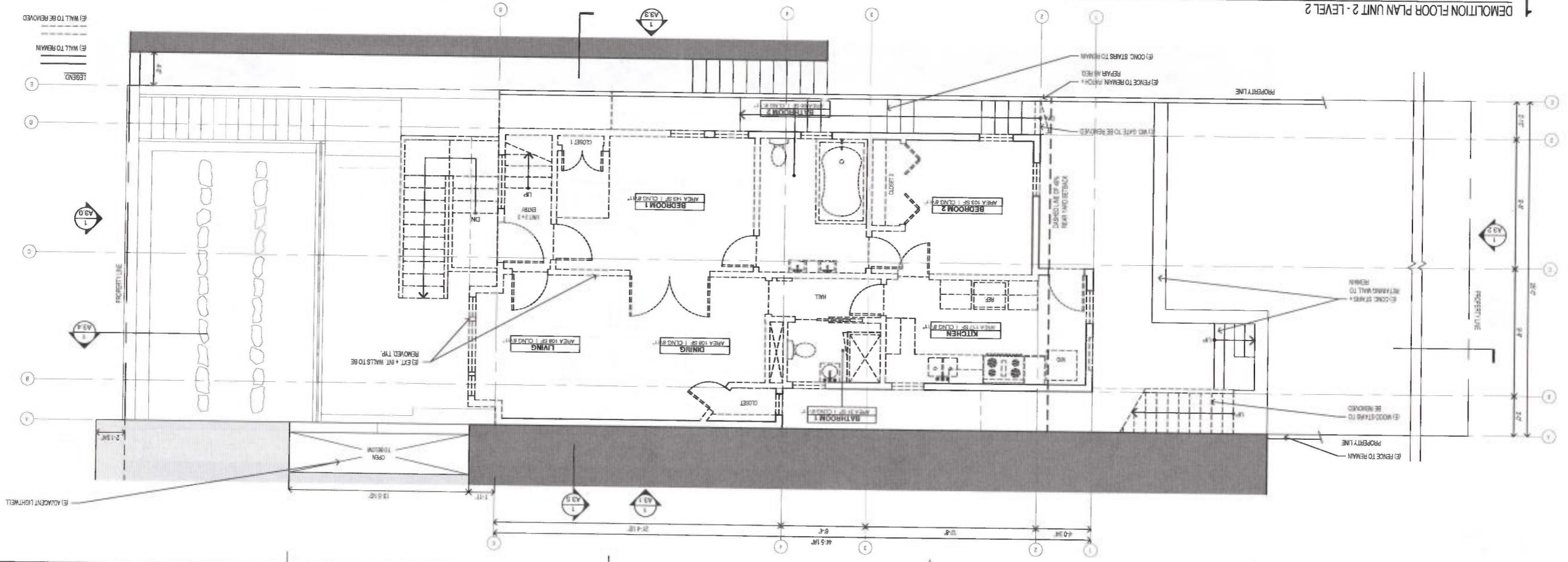
1 DEMOLITION FLOOR PLAN GARAGE - BASEMENT 2
 GROSS FLOOR AREA: N/A
 NET FLOOR AREA: N/A



2 PROPOSED FLOOR PLAN GARAGE - BASEMENT 2
 GROSS FLOOR AREA: 814 SF

1 DEMOLITION FLOOR PLAN UNIT 2 - LEVEL 2

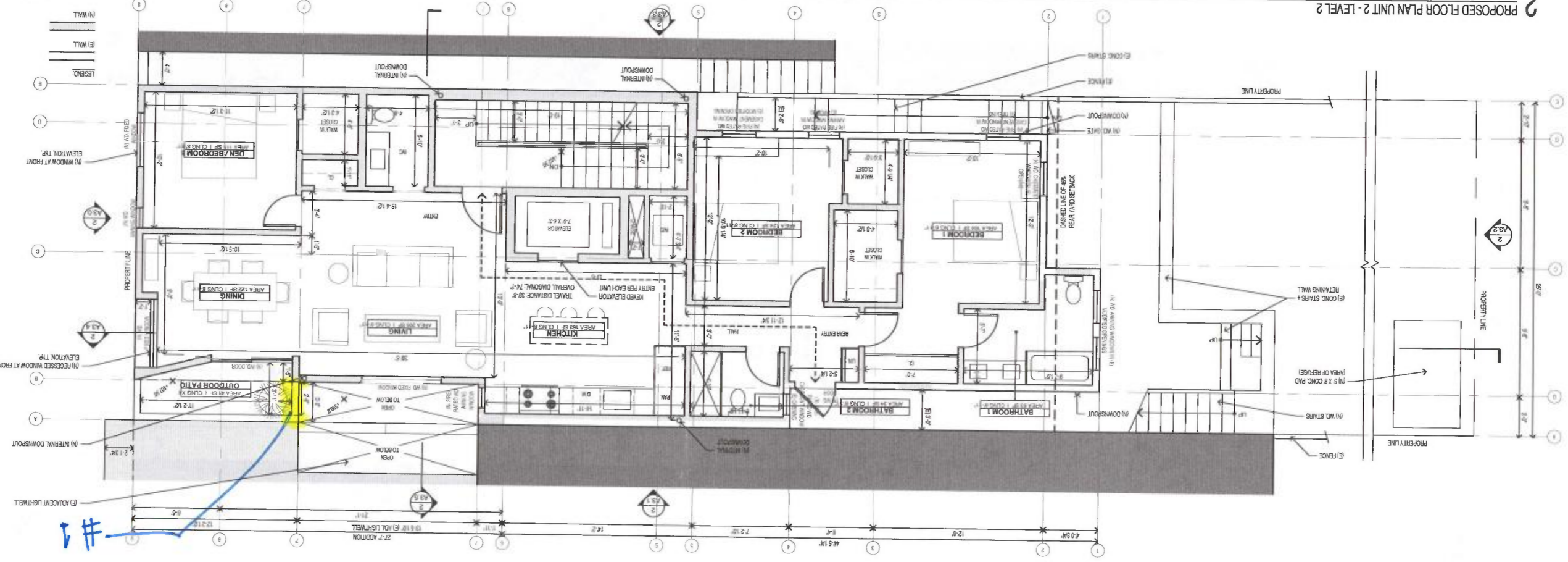
GROSS FLOOR AREA: 890 SF
NET FLOOR AREA: 785 SF



LEGEND:
 (E) WALL TO REMAIN
 (E) WALL TO BE REMOVED

2 PROPOSED FLOOR PLAN UNIT 2 - LEVEL 2

GROSS FLOOR AREA: 1609 SF
NET FLOOR AREA: 1207 SF



LEGEND:
 (E) WALL
 (N) WALL

A2.3

DEMOLITION + PROPOSED FLOOR PLANS - UNIT 2 LEVEL 2

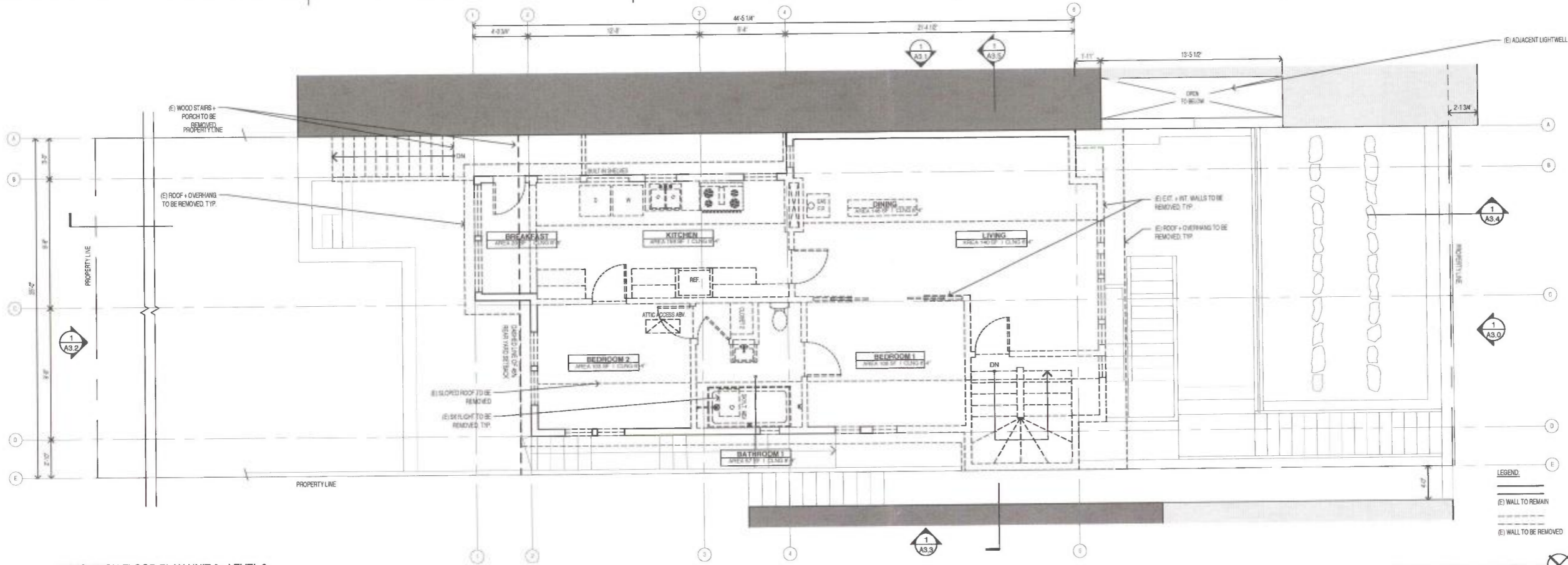
09.03.2019
 1/4"=1'-0"

REV-2 10.21.2019
 REV-1 09.03.2019
 PLANNING 02.08.2019

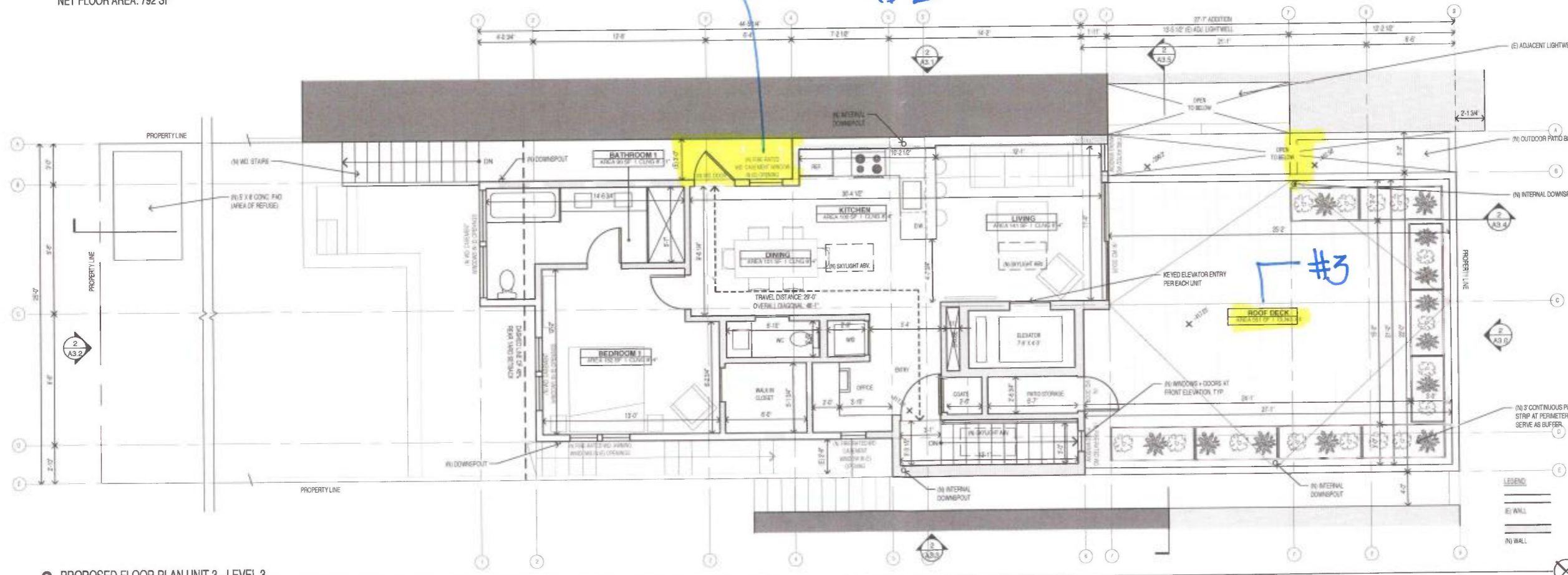
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1 DEMOLITION FLOOR PLAN UNIT 3 - LEVEL 3
 GROSS FLOOR AREA: 936 SF
 NET FLOOR AREA: 792 SF



2 PROPOSED FLOOR PLAN UNIT 3 - LEVEL 3
 GROSS FLOOR AREA: 940 SF
 NET FLOOR AREA: 728 SF

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 REV-1 09.03.2019
 PLANNING 02.08.2019

1/4"=1'-0"

09.03.2019

DEMOLITION + PROPOSED
 FLOOR PLANS -
 UNIT 3 LEVEL 3

A2.4

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REV 2 10.21.2019
 REV 1 09.03.2019
 PLANNING 02.08.2019

1' = 1" / 1" = 1'

09.03.2019

EXISTING + PROPOSED FRONT ELEVATIONS

A3.0

1 EXISTING FRONT (SOUTH-WEST) ELEVATION
 2 PROPOSED FRONT (SOUTH-EAST) ELEVATION

1 EXISTING SIDE (NORTH-EAST) ELEVATION
 2 PROPOSED SIDE (NORTH-EAST) ELEVATION

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REV 2 10.21.2019
 REV 1 09.03.2019
 PLANNING 02.08.2019

1' = 1" / 1" = 1'

09.03.2019

EXISTING + PROPOSED REAR ELEVATIONS

A3.2

1 EXISTING REAR (NORTH-WEST) ELEVATION
 2 PROPOSED REAR (NORTH-WEST) ELEVATION

1 EXISTING SIDE (SOUTH-WEST) ELEVATION
 2 PROPOSED SIDE (SOUTH-WEST) ELEVATION

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REV 2 10.21.2019
 REV 1 09.03.2019
 PLANNING 02.08.2019

1' = 1" / 1" = 1'

09.03.2019

EXISTING + PROPOSED FRONT ELEVATIONS

A3.0

1 EXISTING FRONT (SOUTH-WEST) ELEVATION
 2 PROPOSED FRONT (SOUTH-EAST) ELEVATION

1 EXISTING SIDE (NORTH-EAST) ELEVATION
 2 PROPOSED SIDE (NORTH-EAST) ELEVATION

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1' = 1" / 1" = 1'

09.03.2019

EXISTING + PROPOSED REAR ELEVATIONS

A3.2

1 EXISTING REAR (NORTH-WEST) ELEVATION
 2 PROPOSED REAR (NORTH-WEST) ELEVATION

1 EXISTING SIDE (SOUTH-WEST) ELEVATION
 2 PROPOSED SIDE (SOUTH-WEST) ELEVATION

Case Number: 2018.005918DRP

254 Roosevelt Way

Blk/Lot: 2607/029

BPA No.: 2019.02.12.2711

Discretionary Review Request

- 1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Policies or Residential Design Guidelines? Please be specific and site-specific sections of the Residential Design Guidelines.**

The reasons for requesting the Discretionary Review are two-fold:

1. Neighbor concerns were identified but left unaddressed and has resulted in the need for a heightened project evaluation; and,
2. The proposal does not meet the standards in the Residential Design Guidelines.

1. Neighbor Concerns analyzed, identified, and left unaddressed

The Pre-Application Meeting

On September 18, 2018 a pre-application meeting was held during which neighbors raised concerns regarding:

- The size and privacy intrusion of the roof deck
- Design of the front façade
- Exterior access
- Light impact in rear lightwell
- Light impact to neighbor to the west
- The building extending to the front property line

In response to the above referenced concerns the project architect made one change to the plans: he provided a 3' planter along the perimeter of the proposed roof deck (deck located on the 3rd story). All other concerns were noted but left unaddressed. Please note: The square footage of the Project increased in size 423 square feet between the time of the pre-application meeting and the 311 notice.

Refer to Exhibit 1: Pre-App summary of comments and 311 notice with square feet differential

DR Applications Filed

On December 24th and December 30th, the adjacent neighbors each filed a request for Discretionary Review. The DR applications reiterated the concerns that were raised and not addressed at the pre-application meeting.

Meeting with the Project Sponsor and Planning Department

On January 29th the DR requestors met with the Project Sponsor and David Winslow at the Planning Department. Revisions were requested at that meeting that would address the concerns regarding exterior access, and to some extent, the 3rd floor deck (“roof deck”). A view cone analysis was requested of the Project Sponsor to identify what (if any) privacy concerns were generated from the proposed decks located at the 3rd and 2nd floors.

The plans were subsequently revised to incorporate a 1’ side setback (4’ was initially requested), external stairs, and the 3’ planter was expanded in width to 5’. In addition, a view cone analysis was performed for the two decks, the result of which suggested a clear intrusion of privacy for the neighbors located at 260 Roosevelt Way, 258 Roosevelt Way and 252 Roosevelt Way

Refer to Exhibit 2: Rendering – impact of roof deck on bedroom window of 260 Roosevelt Way.

In addition, the DR requestor asked the Project Sponsor to insert the existing windows for the property at 258-260 Roosevelt in order to get a better understanding of the Project’s impact with regard to light and air.

Refer to Exhibit 3: Photos of existing side windows not shown in plans.

Because the result of the analysis clearly demonstrated the proposal had an impact on the neighbors with regard to privacy, a number of suggestions were made to the Project Sponsor to mitigate this impact by the DR requestors. These included eliminating or reducing the size of the 3rd story deck, providing a screen on the second story deck, and to mitigate the impact of light and air created from the SW wall, to provide a notch, or spaces at the 1st level to allow for light into the lower unit at 258 Roosevelt Way. The Project Sponsor would not address these issues.

Refer to Exhibit 4: Marked up SW wall with suggested revisions - notch back (dotted vertical line) and peek-a-boo spaces (dotted squares)

In preparation for the DR hearing, the Project Sponsor then removed previous revisions including the 1’ side setback, a 5’ planter on the 3rd floor deck, and the external stairs.

The current plans do not address any of the concerns raised by neighbors at the pre-application meeting in 2018. In fact, many neighbors are opposed to the Project as currently proposed.

Refer to Exhibit 5: Letters in opposition

Refer to Exhibit 6: Lot map with dots representing neighbors in opposition

2. Residential Design Guidelines

The Residential Design Guidelines articulate expectations regarding the character of the building environment and are intended to promote design that will protect neighborhood character and enhance unique settings. The Project disrupts the cohesive neighborhood identity and disturbs the unique setting of this curving up-sloping segment of Roosevelt Way.

What follows is a list of the guidelines that are not adhered to. Generally, there is support and a request for:

1. An overall reduction in the number of decks to address privacy concerns, and
2. A redesign of the front façade to address light concerns and incorporate entry patterns.

Site Design

Design Principle: Place the building on its site so it responds to the topography of the site, its position on the block, and to the placement of surrounding buildings.

Guideline: Design the building's form to be compatible with that of surrounding buildings.

The plans as proposed do not seek to unify the existing visual context nor is it compatible with its surrounding (adjacent) buildings.

Refer to Exhibit 7: RDG-The Project should be compatible with its surroundings, the topography and existing built environment.

The Project does not respond to the topography of the street because it does not have any of the stepping or articulation found in surrounding buildings. It also disregards the architectural detail of the adjacent buildings – the setback provided at 250-252 Roosevelt Way and the external entryway and side setback provided at 258-260 Roosevelt Way. Providing a matching side setback, external stairs, and notching out the proposed SW wall, and setting the third story back on the eastern side will be more compatible with the existing neighborhood character and respond to the topography and visual character of this block.

Front Setback

Guideline: In areas with varied front setbacks, design building setbacks to act as a transition between adjacent buildings and to unify the overall streetscape.

Buildings can be decidedly and unabashedly modern while acknowledging adjacent character, detail and material; this building makes no effort acknowledge the adjacent buildings.

The Projects seeks to demolish the front façade and proposes a horizontal extension that brings the building to the front property line. In doing so, it disrespects the

architectural character of the adjacent building whose windows wrap around the building corner and the other adjacent building which is set back from the street. The design therefore detracts from the character of the block.

Refer to Exhibit 8: RDG – The Project does not respond to the topography by not ‘stepping up’ the hill.

Light

The following design modification can minimize impacts on light:

- Provide setbacks on the upper floors of the building.
- Include a sloped roof form in the design.
- Provide shared light wells to provide more light to both properties.
- Incorporate open railings on decks and stairs.
- Eliminate the need for parapet walls by using a fire-rated roof.

The Project does not include design modifications in response to concerns regarding loss of light.

The Project will result in loss of light to two rent-controlled units, 258 Roosevelt Way and 252 Roosevelt Way. The proposed SW wall blocks living room and kitchen windows for 260 and 258 Roosevelt Way. The Project’s kitchen exit, catwalk, and flat roof proposes to minimize light into the lightwell of 250 Roosevelt Way.

Privacy

There may be special situations where a proposed project will have an unusual impact on privacy to neighboring interior living spaces. In these situations, design modifications can minimize impacts on privacy.

The proposal to create 4 new decks raises privacy concerns, specifically for the decks proposed on the 2nd and 3rd floors and should be removed or reduced in size.

Through a view cone analysis, it has been proven that the Project will have a very direct impact on privacy for the adjacent neighbors. However, no modification has been made to resolve this issue. The proposal to construct two decks in particular, one on the third floor and one on the second floor will result in the ability for occupants on the deck to look into the master bedroom and living room of the adjacent properties. Despite an analysis that identifies this issue in detail, the Project Sponsor is not willing to remove or reduce the size of the decks in response to neighbor concerns.

Architectural Features

Guideline: Design building entrances to enhance the connection between the public realm of the street and sidewalk and the private realm of the building.

Guideline: Respect the existing pattern of building entrances.

The Project should be amended to include external stairs and a matching 4' side setback to respect the existing pattern.

The Project must respect the existing pattern of building entrances. In this case, the neighboring building located at 258-260 Roosevelt has an external entryway with a 4' side setback. The Project proposes an internal staircase and no side setback.

Refer to Exhibit 9: RDG-The Project should provide a side setback and external stairs to respect the adjacent building pattern.

- 2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others of the neighborhood would be unreasonably affected, please state who would be affected, and how.**

The Project as proposed and described above will create unreasonable impacts associated with building mass and privacy. The Project negatively impacts the owner occupied and rent-controlled units located adjacent to the subject property on either side at 250-252 and 258-260 Roosevelt by reducing light, air, privacy, and generating potential noise issues from the proposed decks and kitchen exit.

At the pre-application meeting on September 18, 2018, neighbors expressed concerns regarding building design, light, and privacy. Those concerns have been left unaddressed and are as follows:

The SW Wall: As currently proposed, there is 2-story deck with a solid wall that would block light and air to the lower unit at 258 Roosevelt Way. This SW wall proposes to house bookshelves. The horizontal extension on the SW side blocks all side windows of 258-260 Roosevelt Way.

The Internal Staircase: The proposal to provide an internal entry staircase built to the side property line will darken the exposed entryway located at 258-260 Roosevelt Way, raising concerns for the property owner about loss of light and safety concerns regarding the creation of a dark corridor.

3rd Floor Deck: The proposed 3rd story, 551 square foot deck creates privacy and noise concerns. After an analysis was performed to explore the impacts associated with the proposed deck, view studies showed a significant loss of privacy to the units at 252 Roosevelt Way and 260 Roosevelt Way, contrary to the Project Architect's representations at the DR meeting at the Planning Department on January 29th. Changes need to be made that mitigate the direct sight lines into these units, occupants of the proposed deck would be able to look directly into the master bedroom located at

260 Roosevelt Way and the living space located at 252 Roosevelt Way (adjacent windows not shown on plans).

2nd Floor Deck: As currently designed, this patio area provides direct vision into 3 rooms at the unit located at 250 Roosevelt Way.

Lightwell Intrusion: There is an adjacent and smaller matching lightwell at 250 that is not depicted on the project plans. This non-depicted lightwell at 250 Roosevelt Way is the only means of light and air for the bedroom and dining room and the proposal to provide an exit door and catwalk in this lightwell will impact light and air for this unit as well as generate possible noise issues.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

In response to the adverse effects noted in number 1 above, and to mitigate the adverse impacts identified in number 2 above, we propose the following changes be made:

1. Remove the excessive mezzanine and bookcase that surrounds the two-story open space on the southwest side of building. If it were removed there can be a significant notch back on the southwest façade to allow light and air to 258-260 Roosevelt Way, Sheet A2.2 Unit 1 Level 1.

Redesign the SW corner of the building and the side facade with setbacks and an open structural system to provide light and air to the adjacent units at 258-260 Roosevelt Way. As currently designed Sheet A2.2, Unit 1 Basement Level, there is a 2-story open deck with a two-story open space behind it. There is no reason the SW corner of the deck needs to be solid and enclosed. It could be replaced by an open, braced structural system to support the floor above, Sheet A2.3, Unit 1 Level 1. The DR requestor questions the design of the Level 1 Unit on this floor. A narrow, 3'10" wide x 20'6" long mezzanine with a bookcase runs the length of the SW property line with the only function of enclosing the adjacent 2-story open space. The SW property line facade could be redesigned, and notch backed on this level to provide light and air to the adjacent property at 258-260 Roosevelt Way without adversely affecting the design of a functional dwelling unit at Level 1, albeit one without a mezzanine and grandiose 2-story open space.

Additional notchbacks could be created along the SW property line if the project sponsor considers replacing interior with exterior stairs to access all the dwelling units. The DR Requestor acknowledges that the suggested changes to Sheet A2.2, Unit 1 Level 1 with appropriate notchbacks will affect the layout of Sheet A2.3, Unit 2 Level 2. The bedroom at the SW corner will need to be dramatically redesigned or eliminated to provide a notchback at

Level 2, but the loss of the bedroom could be compensated by picking up additional floor area in the living and dining rooms. A notchback at Level 2 will provide light, air, and maintain privacy to the adjacent units at 258-260 Roosevelt Way. Please note: adjacent windows are not shown on the plans.

2. **Provide a side setback and external stairs.** The Project does not match the side setback at 258-260 Roosevelt Way. The Project should be set back a minimum of 4' off the shared southwestern property line to provide a matching side setback. This is particularly important at the street. This matching 4' setback would provide light and air to the rent-controlled unit at 258 Roosevelt and would minimize the scale of the Project at street level. In addition, we request that the entry stairs should be external to match the adjacent external stairs, and well-lit for safety. This request was made, and the plans were revised to reflect external stairs, but subsequently removed in later versions.
3. **Eliminate, reduce or move the 3rd floor deck.** Occupants of the proposed deck would be able to look directly into the master bedroom located at 260 Roosevelt Way and the living space located at 252 Roosevelt Way (adjacent windows not shown on plans). The proposed roof deck does not conform to the recommended setback of 5' from the property line. We challenge the need for this deck because the proposed Unit 3 has access to the rear yard, and as such there is no need to provide additional outdoor space. We request that the deck be removed from the proposal altogether, relocated to the roof of the structure where deck occupants could not see into livable space, or reduced substantially in size to be no wider than the living room that it serves and no deeper than 6'.

The DR requestor for the property located at 252 Roosevelt Way has the following requests, which are further detailed in their DR report: screen the outdoor patio proposed at Unit 2/Level 2 (Sheet A2.3), incorporate a setback on the eastern side of the 3rd story, remove the exit door and catwalk in the matching lightwell (Sheet A2.4).

Lastly, there are three occupied rental units at the subject property. DR requestor asks that a condition of approval be placed on the Project so as to ensure that the City's tenant protection laws are adhered to and that the tenants have first right of refusal to return to their units upon completion of the Project and at their current rental rate and remain subject to rent control.

Exhibits

Exhibit 1: Exhibit 1: Pre-App summary of comments and 311 notice with square feet differential

Exhibit 2: Rendering – impact of roof deck on bedroom window of 260 Roosevelt Way.

Exhibit 3: Photos of existing side windows not shown in plans.

Exhibit 4: Marked up SW wall with suggested revisions - notch back (dotted vertical line) and peek-a-boo spaces (dotted squares).

Exhibit 5: Letters in opposition

Exhibit 6: Lot map with dots representing neighbors in opposition

Exhibit 7: RDG-The Project should be compatible with its surroundings, the topography and existing built environment.

Exhibit 8: RDG –The Project does not respond to the topography by not ‘stepping up’ the hill.

Exhibit 9: RDG-The Project should provide a side setback and external stairs to respect the adjacent building pattern.

Exhibit 1: Pre-App Summary of Comments

pre-app square feet: 5,139 vs. 311 square feet: 5,361 = +423 square feet since pre-app

Notice of Pre-Application Meeting

August 19, 2018

Date

Dear Neighbor:

You are invited to a neighborhood Pre-Application meeting to review and discuss the development proposal at 254 Roosevelt Way, cross street(s) 15th St., Museum Way (Block/Lot#: 2607 / 029; Zoning: RH-2), in accordance with the San Francisco Planning Department's Pre-Application procedures. The Pre-Application meeting is intended as a way for the Project Sponsor(s) to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the City. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is submitted for the Planning Department's review. Once a Building Permit has been submitted to the City, you may track its status at www.sfgov.org/dbi.

The Pre-Application process serves as the first step in the process prior to building permit application or entitlement submittal. Those contacted as a result of the Pre-Application process will also receive a formal entitlement notice or 311 or 312 notification after the project is submitted and reviewed by Planning Department staff.

A Pre-Application meeting is required because this project includes (check all that apply):

- New Construction;
- Any vertical addition of 7 feet or more;
- Any horizontal addition of 10 feet or more;
- Decks over 10 feet above grade or within the required rear yard;
- All Formula Retail uses subject to a Conditional Use Authorization;
- PDR-I-B, Section 313;
- Community Business Priority Processing Program (CB3P).

The development proposal is to:

Proposed front horizontal addition to (e) 3-story 3-unit home to create (n) 3-story 3-unit home w/ 2 (n) basement levels below grade (total 5 levels)

Existing # of dwelling units:	<u>3</u>	Proposed:	<u>3</u>	Permitted:	<u>3</u>
Existing bldg square footage:	<u>2438 sf</u>	Proposed:	<u>5139 sf</u>	Permitted:	<u>2500 sf</u>
Existing # of stories:	<u>3</u>	Proposed:	<u>3*</u>	Permitted:	<u>2</u>
Existing bldg height:	<u>46'-9 1/2" **</u>	Proposed:	<u>44'-0" **</u>	Permitted:	<u>40x</u>
Existing bldg depth:	<u>46'-6"</u>	Proposed:	<u>72'-0"</u>	Permitted:	<u>n/a</u>

*Two basement levels below

**Overall building height taken at midpoint t.o. curb

MEETING INFORMATION:

Property Owner(s) name(s): Linda Kahn

Project Sponsor(s): _____

Contact information (email/phone): spikekahn@gmail.com (415) 935-3641

Meeting Address*: 254 Roosevelt Way, San Francisco CA 94114

Date of meeting: Friday September 14, 2018

Time of meeting**: 6:00 pm

*The meeting should be conducted at the project site or within a one-mile radius, unless the Project Sponsor has requested a Department Facilitated Pre-Application Meeting, in which case the meeting will be held at the Planning Department offices, at 1650 Mission Street, Suite 400.

**Weeknight meetings shall occur between 6:00 p.m. - 9:00 p.m. Weekend meetings shall be between 10:00 a.m. - 9:00 p.m., unless the Project Sponsor has selected a Department Facilitated Pre-Application Meeting.

If you have questions about the San Francisco Planning Code, Residential Design Guidelines, or general development process in the City, please call the Public Information Center at 415-558-6378, or contact the Planning Department via email at pic@sfgov.org. You may also find information about the San Francisco Planning Department and on-going planning efforts at www.sfplanning.org.

Summary of discussion from the Pre-Application Meeting

Meeting Date: _____
 Meeting Time: _____
 Meeting Address: _____
 Project Address: _____
 Property Owner Name: _____
 Project Sponsor/Representative: _____

Please summarize the questions/comments and your response from the Pre-Application meeting in the space below. Please state if/how the project has been modified in response to any concerns.

Question/Concern #1 by (name of concerned neighbor/neighborhood group): _____
Request (Andrew Pellman) for Exterior Access along the 254/258 Property Line

Project Sponsor Response: _____
Current exterior access is aggressively sloped and only 2'-6" in width. Proposal has a safer egress route. Further, adjustments to current proposal's egress would severely impact plans, including the density of the building and the ability to accommodate family units.

Question/Concern #2: _____
Roof Deck is too large and impacts privacy for surrounding neighbors (Andrew Pellman)

Project Sponsor Response: _____
Currently 254 Roosevelt has little privacy on roof deck due to 260 Roosevelt's height. Design has been adjusted to accommodate a continuous 3' planter behind, and in addition to the parapet width to ensure privacy.

Question/Concern #3: Front facade could use more glass (Neil Hart)

Project Sponsor Response: _____
Currently proposal and proportion of solid/ glass wall is in keeping with existing building. Size of glass windows is large in comparison to rooms behind the facade. Further, for energy efficiency and privacy, larger glass windows will not work.

Question/Concern #4: _____

Project Sponsor Response: _____

Summary of discussion from the Pre-Application Meeting

Meeting Date: _____
 Meeting Time: _____
 Meeting Address: _____
 Project Address: _____
 Property Owner Name: _____
 Project Sponsor/Representative: _____

Please summarize the questions/comments and your response from the Pre-Application meeting in the space below. Please state if/how the project has been modified in response to any concerns.

Question/Concern #1 by (name of concerned neighbor/neighborhood group): _____
Concern about light impact on lightwell at 260 Roosevelt Way (Mark Kerr/ Andrew Pellman)

Project Sponsor Response: _____
 Given the current configuration of window openings in the existing lightwell, which are set in behind a canopy (on 260 Roosevelt's property), there is not as significant impact to this light well as one would expect, which is confirmed by shadow studies we have undertaken. Adjustments to massing to increase light to lightwell (i.e. reciprocating lightwell) were also studied, and did not result in significant increases to light. These adjustments, however would impact the density and unit configuration and limit family sized units. Lastly, light is not protected by code.

Question/Concern #2: _____
Concern about light/ view impact on 260 Roosevelt (Phyllis)

Project Sponsor Response: _____
 Current scheme is aligned with neighbors and shorter than 260 Roosevelt in height. As light/ views are not protected by code, 254 Roosevelt's proposal is in keeping with the surrounding neighbors and street. Adjustments to protect light/ view for 260 Roosevelt would severely impact plans, resulting in lower density, no family-sized units, and threaten the feasibility of the project.

Question/Concern #3: Concern about building coming to the front property line, too 'aggressive'. (Andrew, Mark, Phyllis, Neil)

Project Sponsor Response: _____
 Proposal is aligned with neighbors and in keeping with neighborhood/ street massing.

Question/Concern #4: Concern about garbage bin location (Phyllis)

Project Sponsor Response: Dedicated garbage bin storage has been accommodated into the garage.



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Thursday, May 14, 2020**
 Time: **Not before 1:00 PM**
 Location: **Visit www.sfplanning.org for details**
 Case Type: **Discretionary Review**
 Hearing Body: **Planning Commission**

PROJECT INFORMATION	APPLICANT INFORMATION
Project Address: 254 Roosevelt Way	Applicant: Linda Kahn
Cross Street(s): 15th St & Upper Terrace	Company:
Block /Lot No.: 2607 / 029	Applicant Address: 720 York St, Suite 107
Zoning District(s): RH-2 / 40-X	City, State: San Francisco, CA 94117
Area Plan: N/A	Telephone: (415) 935-3641
Record Number: 2018-005918DRP-02	E-Mail: spikekahn@gmail.com

PROJECT DESCRIPTION

The Request is for Discretionary Review of Building Permit Application No. 2019.0212.2711.

The proposal is to construct a three-story, horizontal addition at the front of an existing three-story building. The existing building is 2,438 square feet with three dwelling units. The addition will enlarge the three existing units and create a one car garage at the basement level, resulting in a total of 5,361 square feet. The project will also include a new roof deck at the front of the building on the third floor, which will be accessed from the unit on third floor.

A Planning Commission approval at the public hearing would constitute the Approval Action for the project for the purposes of CEQA, pursuant to San Francisco Administrative Code Section 31.04(h).

+ 2,923 ϕ vs. +2,500 ϕ in pre-app. notice
 Δ +423 ϕ

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: To view plans and related documents for the project, visit sf-planning.org/notices and search the Project Address listed above. The plans and Department recommendation of the proposed project will be available one week prior to the hearing through the Planning Commission agenda at: <http://www.sfplanning.org/hearings> or by request at the Planning Department office located at 1650 Mission Street, 4th Floor.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:
 Planner: David Winslow Telephone: (415) 575-9159 E-Mail: david.winslow@sfgov.org

Exhibit 2: Impact of Roof Deck on Bedroom Window of 260 Roosevelt Way



Proposed Wall

Master Bedroom Window

Master Bedroom Window

Proposed Roof Deck

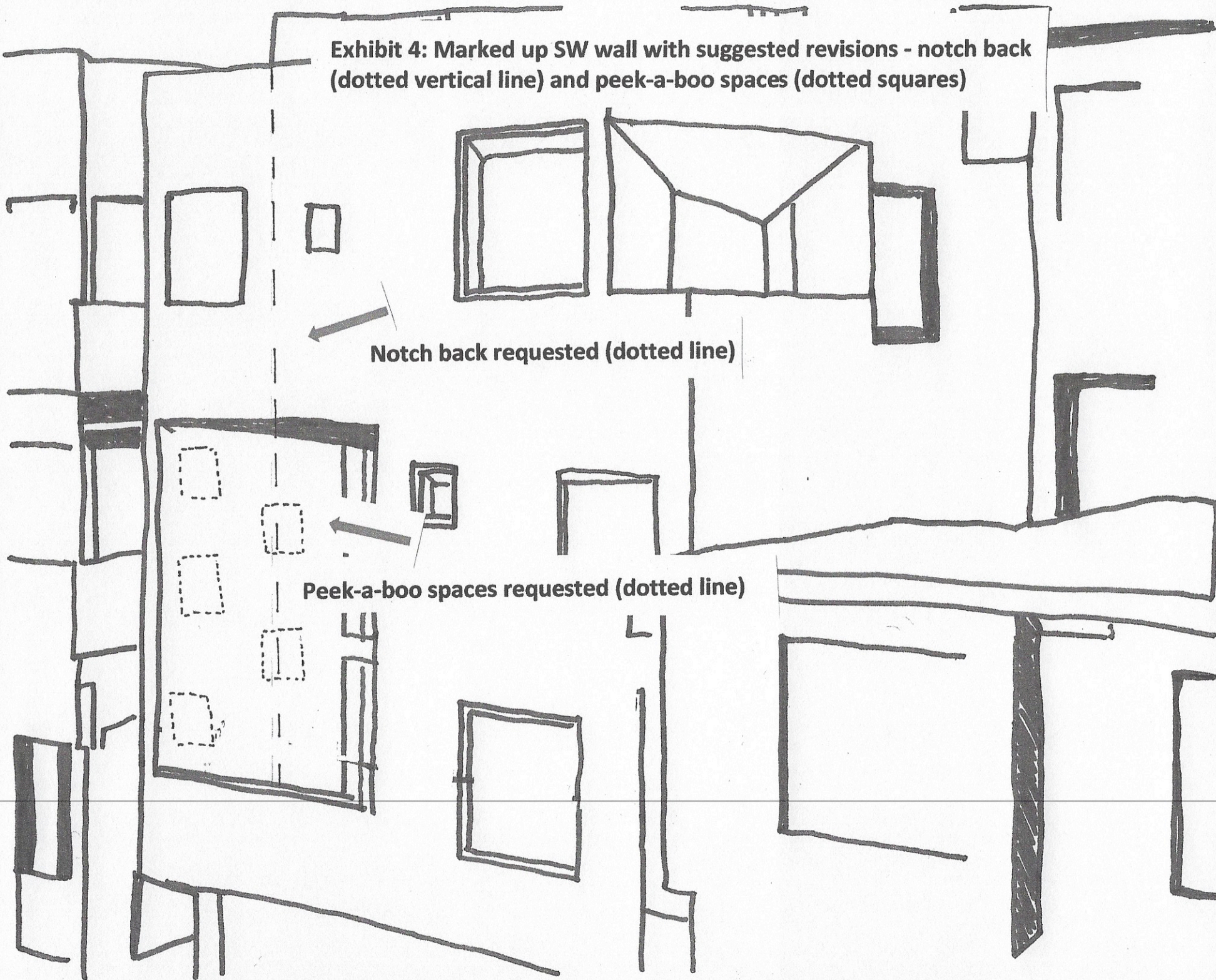
Exhibit 3: Photos of existing side windows not shown in plans





Photo from side window at 260 Roosevelt Way

Exhibit 4: Marked up SW wall with suggested revisions - notch back (dotted vertical line) and peek-a-boo spaces (dotted squares)



Notch back requested (dotted line)

Peek-a-boo spaces requested (dotted line)

Exhibit 5: Letters in opposition

May 4, 2020

David Winslow, Principal Architect
San Francisco Planning Department
1650 Mission Street
San Francisco, CA 94103

Re: Building Permit Application Number 2019.0212.2711

Dear Mr. Winslow,

We the undersigned neighbors have reviewed the proposed plans (“Project”) provided in the Section 311 notice for the above referenced project located at 254 Roosevelt Way and object to the Project as currently proposed.

We find the expansion of nearly 3,000 square feet to be out of character with the neighborhood in both size and design. By demolishing the front façade and excavating the site at the front of the property, the Project seeks to convert 3 units of occupied affordable housing stock to luxury units while adding only 1 bedroom. The Project proposes 6 bedrooms (there are currently 5 provided), while it proposes 4 additional bathrooms (for a total of 7 bathrooms), 3 walk-in closets, a parking garage, an elevator, and 4 decks. In addition, the Project negatively impacts the owner occupied and rent-controlled units located adjacent to the subject property on either side at 250-252 and 258-260 Roosevelt by reducing light, air, privacy, and generating potential noise issues from the proposed decks.

As proposed, the Project does not comply with the Department’s Residential Design Guidelines: **Design Guideline: Design the scale of the building to be compatible with the height and depth of surrounding buildings.** The Project does not respond to the topography of the street because it does not have any of the stepping or articulation found in surrounding buildings. It also disregards the architectural detail of the adjacent buildings – the setback provided at 250-252 Roosevelt Way and the external entryway and side setback provided at 258-260 Roosevelt Way.

Guideline: In areas with varied front setbacks, design building setbacks to act as a transition between adjacent buildings and to unify the overall streetscape.

The Projects seeks to demolish the front façade and proposes a horizontal extension that brings the building to the front property line. In doing so, it disrespects the architectural character of the adjacent building whose windows wrap around the building corner and the other adjacent building which is set back from the street.

Articulate the building to minimize impacts to light and privacy to adjacent properties. The proposal to provide 7 bathrooms, 4 decks, and a parking garage with an elevator is at the expense of the adjacent neighbors who will experience loss of light and privacy and noise impacts from activity on the decks.

Guideline: Design building entrances to enhance the connection between the public realm of the street and sidewalk and the private realm of the building.

Guideline: Respect the existing pattern of building entrances.

The Project must respect the existing pattern of building entrances. In this case, the neighboring building located at 258-260 Roosevelt has an external entryway with a 4' side setback. The Project proposes an internal staircase and no side setback.

At the pre-application meeting on September 18, 2018, neighbors expressed concerns regarding the Project's design and resulting impacts to light and privacy. Those concerns have been left unaddressed. We therefore request that the Planning Commission take Discretionary Review and incorporate the following changes to bring the Project into conformance with the Residential Design Guidelines and to protect access of light and air and privacy to the adjacent properties.

Redesign of the Front Façade and the SW Property Line:

Redesign the SW corner of the building and the side facade with setbacks and an open structural system to provide light and air to the adjacent units at 258-260 Roosevelt Way. As currently designed Sheet A2.2, Unit 1 Basement Level, there is a 2-story open deck with a two-story open space behind it. There is no reason the SW corner of the deck needs to be solid and enclosed. It could be replaced by an open, braced structural system to support the floor above, Sheet A2.3, Unit 1 Level 1. We question the design of the Level 1 Unit on this floor. A narrow, 3'10" wide x 20'6" long mezzanine with a bookcase runs the length of the SW property line with the only function of enclosing the adjacent 2-story open space. The SW property line facade could be re-designed and notch backed on this level to provide light and air to the adjacent property at 258-260 Roosevelt Way without adversely affecting the design of a functional dwelling unit at Level 1, albeit one without a mezzanine and grandiose 2-story open space. Additional notchbacks could be created along the SW property line if the project sponsor considers replacing interior with exterior stairs to access all the dwelling units.

Provide a side setback and external stairs. The Project does not match the side setback at 258-260 Roosevelt Way. The Project should be set back a minimum of 4' off the shared western property line to provide a matching side setback. This is particularly important at the street. This matching 4' setback would provide light and air to the rent-controlled unit at 258 Roosevelt and would minimize the scale of the Project at the street level. In addition, we request that the entry stairs be external to match the adjacent external stairs, and well-lit for safety.

Incorporate a setback on the eastern side of the 3rd story. The height of the front elevation is the same height as 258 Roosevelt. This is contrary to the step-downs along Roosevelt Way that follow the topography of the hill. Therefore, the Project should be reduced in height in order to match similar step downs found in the neighborhood, providing the transition between 258-260 Roosevelt Way and 250-252 Roosevelt Way.

Patios and Decks

Eliminate, reduce or move the 3rd floor deck. The proposed 3rd story, 551 square foot deck creates privacy and noise concerns. Occupants of the proposed deck would be able

to look directly into the master bedroom located at 260 Roosevelt Way and the living space located at 252 Roosevelt Way. The proposed roof deck does not conform to the recommended setback of 5' from the property line. We challenge the need for this deck because the proposed Unit 3 has access to the rear yard, and as such there is no need to provide additional outdoor space. We request that the deck be removed from the proposal altogether, relocated to the roof of the structure where deck occupants could not see into livable space, or reduced substantially in size to be no wider than the living room that it serves and no deeper than 6'.

Screen the outdoor patio proposed at Unit 2/Level 2 (Sheet A2.3). As currently designed, this patio area provides direct vision into 3 rooms at the unit located at 250 Roosevelt Way. Requiring construction of a vision screen at the northern end of the deck would prevent direct visibility into the living spaces preserving privacy for residents of the rent-controlled unit at 250 Roosevelt.

Respecting Lightwells

Remove the exit door and catwalk in the matching lightwell (Sheet A2.4). There is an adjacent and smaller matching lightwell at 250 that is not depicted on the project plans. This non-depicted lightwell at 250 Roosevelt Way is the only means of light and air for the bedroom and dining room. In order to maintain light, air, and privacy for 250 Roosevelt Way, we request that 254 Roosevelt Way match 250 Roosevelt Way's existing lightwell and refrain from any development in the lightwell, leaving it free and open. Additionally, the plans call for replacing the current pitched roof with a flat roof thereby increasing the height of the exterior walls and potentially decreasing light into the light well. We request that the interior ceiling height in this portion of 254 Roosevelt be kept to a maximum of 8' and the exterior wall be reduced to correspond with such ceiling height.

Thank you for your consideration of our concerns.

Sincerely,

The neighbors of 254 Roosevelt Way (Refer to following pages for copy of signatures)

<u>Name</u>	<u>Address</u>
Jason Akaka	265 Roosevelt Way
Mitchell Marks	265 Roosevelt Way
Neil Hart	278 Roosevelt Way
Jake Lipp	258 Roosevelt Way
Alma Lipp	258 Roosevelt Way
Kevin Morrissey	267 Roosevelt Way
Phyllis Dilkian-Shimmon	260 Roosevelt Way (DR requestor)
Andrew Pellman	252 Roosevelt Way (DR requestor)
Mark Kerr	252 Roosevelt Way (DR requestor)
Lauren Fogel	270 States Street
Matt DeMarco	250 Roosevelt Way #2
Josh Chadwick	250 Roosevelt Way #2

Neighbor Signatures

The neighbors of 254 Roosevelt Way

Vivian Edward Hart
278 ROOSEVELT WAY, SF 94114

Jake Lipp 258 Roosevelt Way, SF 94114

Alma Lipp 258 Roosevelt Way, SF 94114

Kevin Morrissey, 267 Roosevelt Way, SF 94114

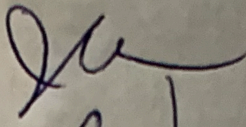
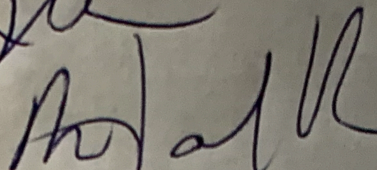
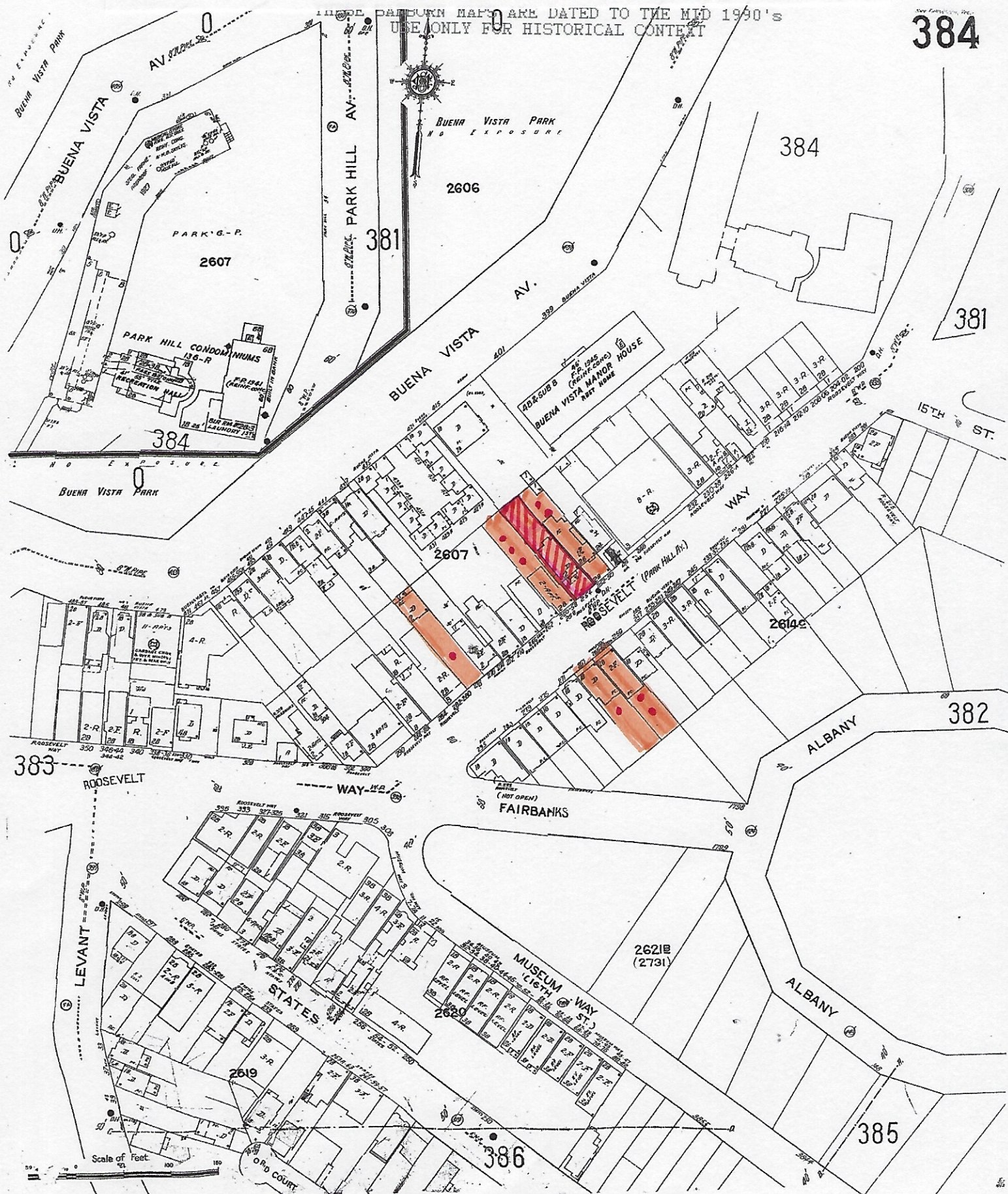
<u>Name</u>	<u>Address</u>	<u>Signature</u>
Jason Akaka	265 Roosevelt Way	
Mitchell Marks	265 Roosevelt Way	

Exhibit 6: Lot map with dots representing neighbors in opposition

THESE PARCELS MAPS ARE DATED TO THE MID 1990'S
 USE ONLY FOR HISTORICAL CONTEXT





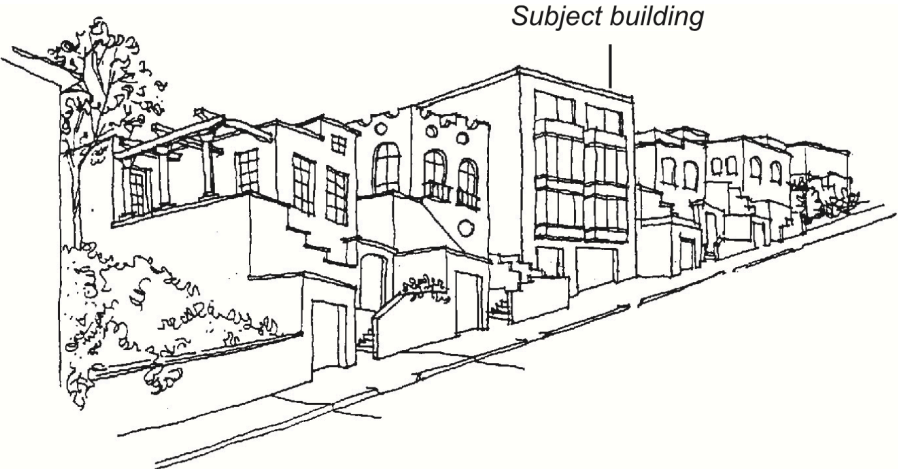
-  SUBJECT PROPERTY
-  OPPOSED

Exhibit 7: The Project does not respond to the topography by not ‘stepping up’ the hill

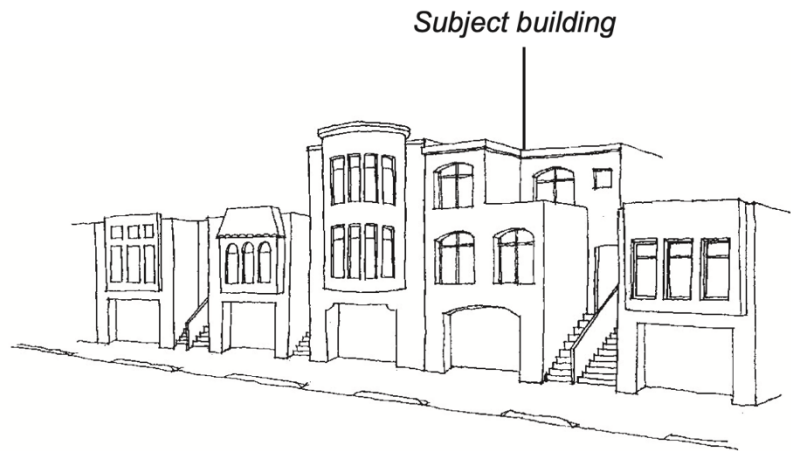
The proposed building does not respond to the topography and front setback patterns because it does not have any of the stepping or articulation found in surrounding buildings.



Source: Residential Design Guideline: Respect the topography of the site, page 12.

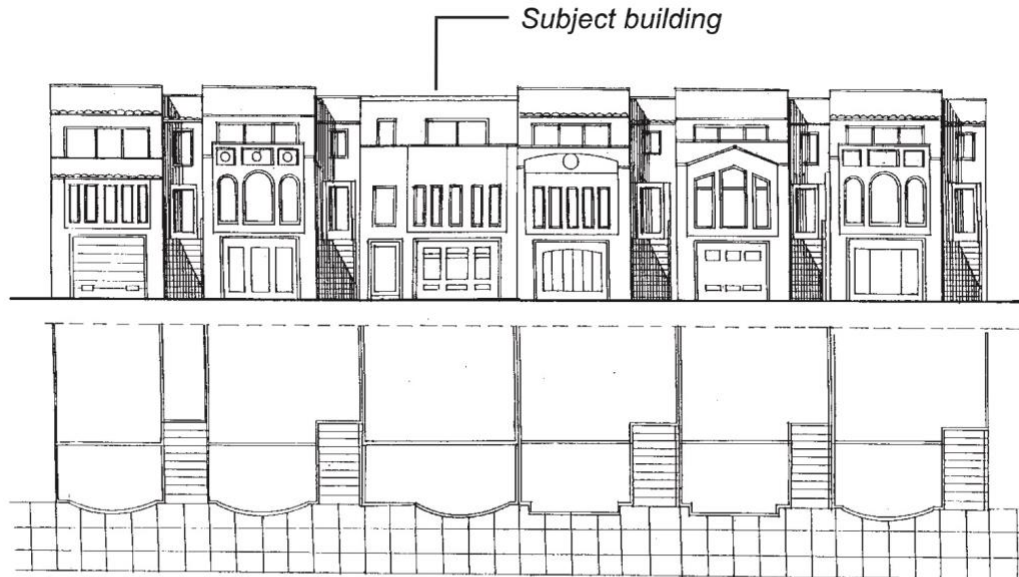
Exhibit 8: The Project does not respond to the topography by not ‘stepping up’ the hill

A partial third-story setback provides a transitional height to the adjacent two-story building and maintains the scale of the buildings at the street level.



Source: Residential Design Guideline: Design the height and depth of the building to be compatible with the existing building scale at the street, page 24.


Exhibit 9: The Project should provide a side setback and external stairs to respect the adjacent building pattern.



This building entrance is not compatible with other building entrances because its location on the left side of the building breaks the pattern of right side entrances found on the block face. Additionally, the entrance is not elevated and recessed, as are other entrances on the block face.

Source: Residential Design Guideline: Respect the existing pattern of building entrances, page 32.

PROJECT APPLICATION RECORD NUMBER (PRJ)



San Francisco Planning

DISCRETIONARY REVIEW PUBLIC (DRP) APPLICATION

Discretionary Review Requestor's Information

Name: Andrew Pellman & Mark Kerr

Address: 250 Roosevelt Way #3, San Francisco, CA 94114

Email Address: AP94114@gmail.com; marklavdkerr@gmail.com; 250roosevelt@gmail.com

Telephone: 415-810-4208

Information on the Owner of the Property Being Developed

Name: Linda Kahn

Company/Organization:

Address: 720 York St, Suite 107, San Francisco, CA

Email Address: spikekahn@gmail.com

Telephone: 415-935-3641

Property Information and Related Applications

Project Address: 254 Roosevelt Way

Block/Lot(s): 2607/029

Building Permit Application No(s): 201902122711

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case? (including Community Boards)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes that were made to the proposed project

We are residents and the Owners of 250 Roosevelt Way (“250”) and are the 250 Discretionary Review Requestors. In addition to our DR Request, our neighbor, the resident and Owner of 258 Roosevelt Way (“258”), also filed a Discretionary Review Request (the “258 DR”).

We have had numerous communications with the Developer to articulate our concerns with the Project, and have tried our best to reach a mutually acceptable resolution with Linda Kahn (“Sponsor” or “Developer”), the Developer of 254 Roosevelt Way (the “Project”), to avoid filing a Discretionary Review (DR). We first met with the Sponsor commencing with the Pre-Application meeting on September 18, 2018, and since that time have made many subsequent attempts to meet and/or speak with the Developer to avoid a DR filing and hearing. The Developer ignored or refused all of our requests to meet, and continued to refuse to meet with us after we filed a DR. The Developer ultimately agreed to a meeting with us after we filed the DR, at the insistence of David Winslow, Planning Department. Like us, he also wished to avoid a DR filing and hearing.

OUR CONCERNS AND TIMELINE OF OUR REQUESTS TO DEVELOPER

Pre-Application Meeting Held, September 18, 2018

We and several neighbors articulated our concerns at the Pre-Application meeting in September 2018 and provided written follow-up to the Developer. After that, we received no communication as to modifications (if any) to the Pre-Application Plans the Sponsor was willing incorporate into the Project in order to compromise with the neighbors. (See Exhibit-1 Correspondence)

Below is a summary of the issues raised by us and our neighbors at the Pre-Application Meeting that are still not addresses by the Developer:

1. **The intrusion of privacy on immediate neighbors from the Project’s three roof decks, located on the first, second, and third levels of the Project.**

Below we summarize the issues of the roof decks located on the Project’s second and third levels, while the deck on the Project’s first level is addressed in the 258 DR:

- a. **Unit 2/Level 2 Roof Deck:** This roof deck is on the property line of the Project’s second story, and provides direct and very close sightlines into the bedroom and living room of 250 Roosevelt #3, and living room of 250 Roosevelt #2 (See 311-Notification Sheet A2.3)
- b. **Unit 3/Level 3 Roof Deck:** The large roof of deck on the Project’s third story is within 3 feet of 250’s windows and within 4-feet of 258’s window, and this close proximity provides direct and close views into the property-line homes of 250 and 258 as enumerated below (See 311-Notification Sheet A2.4):
 - Master Bedroom of the of the top story of the home at 258 Roosevelt
 - Bedroom and living room of 250 Roosevelt #3
 - Living room of 250 Roosevelt #2

The size of the Project's third-story roof deck, which at 551sf is as large as a typical one-bedroom apartment, represents 60% of the living area of the unit that it serves, and abuts the property-line homes of both 250 and 258. The exceptionally large deck is, *by design*, capable of holding as many as 30 or more people at a time, and even a smaller number of people would generate unreasonable levels of noise due to the proximity of the roof deck to bedrooms and living rooms of both 250 and 258. (See 311-Notification Sheet A2.4)

2. **Unit 3/Level 3 Rear Exit at Matching Light Well** - Light and air impact in the existing rear light well of two homes at 250 Roosevelt, apartments #2 and #3, due to the proposed construction of an exterior access door and catwalk structure in the matching light well of the project. Please note the Developer does not show the matching light well of 250 in her Project drawings despite multiple requests to do so. (See 311-Notification Sheet A2.4 and Exhibit-2 Unit 3/Level 3 Rear Exit at Matching Light Well)
3. **Lack of Street Set Backs:** The Developer extends the Project to the front property line at the street instead of stepping back from the street, as the majority of home on do. (See Developer's 311-Notification drawings in their totality.)
4. **Light, Air and Noise Impacts on Homes at 250 and 258 Roosevelt:** The Project's impacts on light, air, and noise to the homes of the property line neighbor at 258 Roosevelt. (See Developer's 311-Notification drawings in their totality.)

Developer's 311 Notification Received November 27, 2019

On November 27, 2019, more than a year after the Pre-Application meeting in September 2018, we received the Project Plans with the 311 Notice. We were very surprised to see that the Developer had ignored the neighborhood feedback from the September 2018 Pre-Application Meeting, and more importantly had deliberately chose not to address the concerns of the abutting properties (250 and 258 Roosevelt Way) which are the most negatively impacted by the Project. The Developer incorporated no architectural or design responses to the neighborhood feedback other than adding 3-foot planters around the perimeter of the large third-story entertainment deck, reorienting the Unit 2/Level 2 Roof Deck and making other minor code required changes that would have been required regardless of neighborhood feedback.

We made numerous additional requests to meet with the Sponsor during the 30-day notice period following receipt of the 311 Notice. We wanted to determine if the Sponsor was willing to address any of our questions/issues – these were (and are today) the same issues we and our neighbors raised at the 2018 Pre-Application Meeting. We were hopeful that there might be the opportunity to compromise in order to avoid a DR filing. Unfortunately, the Developer refused to meet with us and/or work with us to see if we could reach mutually acceptable resolutions or compromises to our concerns about the unreasonable impacts on the homes in our building at 250 Roosevelt Way.

DR Application Filed by 250 Roosevelt Way

Given the lack of response from the Developer to have any conversation, we realized we had no choice but to file a DR, which we did on December 23, 2019. Our neighbor at 258 also filed her own DR, having experienced a similar lack of response from the Developer. After seeing the DR filed by our neighbor, who is the Owner of 258, we realized that we had many of the same, overlapping issues in our DR that she has in her DR.

It is worth noting that the concerns in our DR and in our neighbor's DR repeat and reiterate the very same concerns that had already been provided to the Developer in response to the September 2018 Pre-Application Meeting. We are forced to conclude that the Developer never intended to modify the Project based on this lack of respect and responsiveness to the neighbors, and especially to the concerns of the two abutting properties at 250 and 258 Roosevelt Way that are most impacted.

Meeting with Developer and Planning Department

Even after we filed our DR, the Developer continued to refuse to meet with us regarding the DR, until finally the Developer conceded to a meeting following a request by David Winslow at the Planning Department, held January 29, 2020 at the department. Several revisions were requested and are summarized below. (See Exhibit-1 Correspondence for full meeting minutes of January 29, 2020)

- **Unit 2/Level 2 Roof Deck (Patio)** – Privacy issues and sight lines into 250's units. Sponsor to provide view studies to determine if privacy issues can be mitigated, otherwise remove roof deck.
- **Unit 3/Level 3 Rear Exit at Light-Well** – Requirement to show matching light well of 250, and to revise drawing such that no development occur in the matching light well of 254. Sponsor to provide revised plans.
- **Unit 3/Level 3 Roof Deck** – Need to reach agreement on size of deck and setback. Sponsor to provide view studies to determine if privacy issues can be substantively mitigated and resolved.
- **Compatibility With Neighborhood Character** - In conjunction with reducing the size of the third-story roof deck, the Developer agreed to consider modifications to the Front Elevation, which included: lowering the parapet in an effort to reduce the overall height of the project at the front property line, and reinforce the step-downs along Roosevelt Way that follow the topography of the hill. The Sponsor also agreed to study various options to ameliorate 258 DR requestor's concerns which included, among other items, matching or providing a setback of 258 on the west property line of 254.

Following the meeting, the Project architect provided the view cone analyses, which clearly indicated privacy intrusions for the homes at 250 Roosevelt and 258 Roosevelt. The Sponsor and 250 DR requestor were able to reach resolution regarding the Unit 2/Level 2 Roof Deck and Unit 3/Level 3 Rear Exit at Matching Light Well. The Sponsor also proposed reducing the size of the Level 3/Unit 3 Roof Deck to 11-feet x 22-feet. Unfortunately, since the Level 3/Unit 3 Roof Deck was still of such significant size and

capacity, and the view studies revealed that a Roof Deck of any size greater than 3-feet in depth from the front façade of 254 would present **significant loss of privacy** and potential for noise for the 250 units, we were unable to accept the Developer's proposal. That being said, 250 DR requestors offered a compromise, and proposed a Roof Deck size 6-feet deep x 11-feet wide, which was rejected by the Developer. Various other deck sizes were discussed, but ultimately an agreement could not be reached since the Developer was not willing to yield on the overall size/square footage of the Level 3/Unit 3 Roof Deck. We note that none of our suggested compromises would have ameliorated the issues raised by the 258 DR requestor.

When the Developer rejected all of our Level 3/Unit 3 compromises, she also withdrew the previous two Project modifications, (a) the Unit 2/Level Roof Deck, and (b) Unit 3/Level 3 Rear Exit at Light well. Unfortunately, with this decision by the Developer, we were suddenly back to square zero, with the very same concerns from the September 2018 Pre-Application Meeting.

Due to the Sponsor's refusal to compromise in any meaningful way, we have no choice but to respectfully request that the Planning Commission to take DR and require the Sponsor to modify the plans as outlined below. As it currently stands, the Developer's plans do not address any of the concerns raised by neighbors at the Pre-Application Meeting back in 2018. There is a very clear through-line in our articulated concerns, issue by issue, from 2018 to the plans now submitted in 2020, with a very clear refusal of the Developer to respond the neighbors. And therefore, even more neighbors than were at the Pre-Application Meeting now oppose the project and support our DR and that of our neighbor at 258 Roosevelt. (See Summary and History of Requested Modifications Table and other relevant correspondence in [Exhibit-1 Correspondence](#))

DISCRETIONARY REVIEW REQUEST

1. *What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's priority Policies or Residential Design Guidelines?*

We are filing this DR for two reasons. First, we and our neighbors have consistently communicated our concerns about this project, beginning with the 2018 Pre-Application Meeting up until now, especially related to our reasonable expectations for privacy, quiet, light, and air. We have consistently and clearly identified these concerns, and the Developer has consistently refused to address them, and at the end of the negotiation and compromise period even going so far as to withdraw agreements previously made. We have summarized our efforts to reach a resolution with the Sponsor in the prior section, above. Because our concerns and those of our neighbors have been ignored by the Developer, and the current plans offer not a single compromise, we respectfully ask the Planning Commission to re-evaluate the Project, take DR, and approve the plans with modifications as requested in the 250 DR and 258 DR.

Secondly, we are filing this DR because the Project does not meet the standards of the Residential Design Guidelines (RDG) in several areas. Deficiencies with the Project are enumerated them below.

Unit 3/Level 3 - Rear Exit at Matching Light-Well: The rear exit from the kitchen and associated cat-walk of Unit 3/Level3 is constructed in the area of the matching light-well serving 250 and the Project. This exit has direct visibility into two of the units at 250 Roosevelt Way. (See 311-Notification Sheet A2.4 and Exhibit-2 Unit 3/Level 3 Rear Exit at Matching Light Well)

Unit 2/Level 2 Roof Deck: - The roof deck serving this unit is on the property line and has no set-back. There are clear sightlines into the bedroom and living room of 250 Roosevelt #3, and living room of 250 Roosevelt #2. (See 311-Notification Sheet A2.3 and Exhibit-3 Unit 2/Level 2 Roof Deck)

Unit 3/Level 3 Roof Deck: The roof deck serving Unit 3/Level3 does not meet the minimum set back requirements and does not take into account surrounding conditions of 250 or 258. This roof deck is located directly outside of the bedrooms and living spaces of both 250 and 258, presenting privacy and noise concerns. (See 311-Notification Sheet A2.4 and Exhibit-4 Unit 3/Level 3 Roof Deck)

Compatibility with Neighborhood Character: In conjunction with reducing the size of the roof deck, we request modifications to the project to include; (i) lower the parapet at the Front Elevation, (ii) reinforce step-downs along Roosevelt Way

to better match the topography of hill, (iii) provide a setback to the west property line of 254 and 258 Roosevelt. Since the changes related to this issue more directly affect 258 DR requestor, we defer resolution of this item to the Owner of 258 Roosevelt Way. (See Exhibit-5 Compatibility with Neighborhood Character)

These issues present exceptional extraordinary circumstances that in combination significantly encroach on the privacy of the living spaces of the rent-controlled homes of both 250 and 258 Roosevelt.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

We support the overall proposed development of the Project and recognize that any project would have a direct effect on 250 Roosevelt Way and the character/compatibility with the neighborhood and neighboring properties. However, the Project will have unreasonable and negative impacts on the owner-occupied and rent-controlled units located on the adjacent properties of 250 and 258 by reducing light and air, creating privacy issues, and creating noise disturbances due to the location of roof decks and catwalks adjacent to the living spaces and proximate windows of 250 and 258.

Below, we provide specific examples of how 250 and 258 will be negatively affected by the Project as currently proposed, and our DR outlines reasonable requests that will bring the Developer's Project in line with neighborhood guidelines, cause fewer harmful effects to the existing homes adjacent to the Project, and still deliver a highly marketable and profitable product for the Developer.

Unit 3/Level 3 Rear Exit at Matching Light Well (see Exhibit-2 Unit 3/Level 3 Rear Exit at Matching Light Well)

There is a property-line matching light well at 250 Roosevelt that is **not** depicted on the Developer's Project plans, despite numerous requests to depict the existing conditions. This light well is the only means of light and air for portions of two units at 250 Roosevelt: (a) the bedroom and dining room of 250 #2, and (b) the dining room and bathroom of 250 #3. The Developer's current plans propose the construction of an exit door and catwalk in this area, which will impede light and air for two homes at 250 Roosevelt. Further, building a deck/catwalk in this area, which is two-feet from 250 windows, will provide direct visibility into the rooms enumerated above, present noise issues, and degrade the privacy of these two rent controlled units.

Unit 2/Level 2 Roof Deck (see Exhibit-3 Unit 2/Level 2 Roof Deck)

This roof deck is on the property line of 250 Roosevelt and the Developer's property at 254 Roosevelt, and is not set back as required by the Residential

Design Guidelines. As currently designed, this roof deck/patio area provides direct vision into 2 units of 250: (i) the living room of 250 #2, (ii) the living room and bedroom of 250 #3.

Unit 3/Level 3 Roof Deck (see Exhibit-4 Unit 3/Level 3 Roof Deck)

On the south and west, we note that the proposed Unit 3/Level 3 roof deck does not conform to the recommended setback of 5'0". This Roof Deck contains 551sf, an unreasonably large entertainment area: (a) it is 60% of the total living area of unit 3/Level 3, and (b) it is 4 times the size of the immediately adjacent living room that it serves. Neighbors have remarked that the Developer's proposed roof deck is the size of many one-bedroom apartments in San Francisco. And most importantly to us, the Unit 3/Level 3 roof deck does not take into consideration the existing conditions of either 250 or 258 Roosevelt (the property line neighbors on each side of 254 Roosevelt), as required by the Residential Design Guidelines. Finally, this roof deck's size and nature of use presents noise issues to both 250 and 258 Roosevelt.

The Unit 3/Level 3 Roof Deck is directly outside our neighbor's bedroom window at 258 Roosevelt, and is within 3-feet of our living areas at 250 Roosevelt, with direct sight lines into the living room and bedroom of 250 #3 and the living room of 250 #2. The Developer's view studies corroborate a significant loss of privacy both to the units at 250 Roosevelt Way and to 258 Roosevelt Way, contrary to the Project architect's representations at the DR meeting with David Winslow at the Planning Department on January 29, 2020. We respectfully request Project changes to mitigate the direct sight lines into these units, where occupants of the proposed roof deck would be able to look directly into the master bedroom (**4-feet away from the 254 Roof Deck**) located at 258 Roosevelt Way, and 250 Roosevelt Way's the living spaces (**as close as 3-feet away from the 254 Roof Deck**). We note here that the Developer's plans do not show the adjacent windows of either 250 or 258 Roosevelt Way.

Lastly, we challenge the need for this deck in the first place, especially given its size, for two reasons. First, the proposed Unit 3 at 254 already has access to the rear yard, and as such there is no code requirement to provide additional outdoor space to that unit. Secondly, the proposed Unit 3/Level 3 roof deck is a marketing amenity for the Sponsor, unnecessary for code compliance and undesirable for several homes on the shared property lines with 254 Roosevelt at 250 and 258. Therefore, we respectfully ask that this roof deck be significantly reduced in size to a viewing deck with a maximum size no greater than 4'-0" deep, and set back a minimum of 6'-0" from each side property line, thus making this deck approximately 6 feet away from the nearest windows of 250. Doing so will still allow the developer to keep an aspect of their marketing amenity while also protecting the privacy of the immediate neighbors and conforming to the Planning Department's guidelines.

Compatibility with Neighborhood Character

For this item, please refer to the DR Request by our neighbor at 258 Roosevelt Way for a full explanation of compatibility with neighborhood character.

Implementing the above requested changes would bring the proposed project at 254 into conformance with the Residential Design Guidelines, protecting access to light and air and preserving privacy of the adjacent properties, thereby protecting the existing five high-quality, rent-controlled units at 250 and 258 Roosevelt Way.

Lastly, we also note that the Project plans include substantial demolition (**Tantamount to Demolition**) of the exterior walls/foundation, demolition of nearly 100% of the interior layout, replacement of the entire exterior façade, and as such, the proposed project is essentially new construction. Given that the proposed Project is essentially new construction, it would be easy for the Developer to reprogram and modify the Project in order to accommodate our requests without impacting the quality of the proposed project or preventing the Developer from delivering profitable, quality units to market.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

In response to the adverse effects noted in number 1 above, and to mitigate the adverse impacts identified in number 2 above, we respectfully propose four Project modifications:

Unit 3/Level 3 - Rear Exit at Matching Light Well: We request that 254 match 250's existing light well and refrain from any development in the matching light well, leaving it free and open. This includes removing both the door and the deck/catwalk from the area of 254 Unit 3's matching light well. (At one point after DR filing, the Developer previously agreed to this compromise, and then later withdrew it.)

Additionally, the Project plans propose replacing the current pitched roof with a flat roof, thereby increasing the height of the exterior walls at the matching light well with 250 #2 and 250 #3, potentially decreasing light into the light well. We request that the interior ceiling height in this portion of 254 Roosevelt be kept to a maximum of 8'-0" and the exterior wall be reduced to correspond with the reduced ceiling height.

Unit 2/Level 2 Roof Deck: We request that this deck be removed from the Project.

Unit 3/Level 3 Roof Deck: We request that the roof deck be significantly reduced in size to a viewing deck no greater than 4'-0" deep and set back a minimum of 6'-0" from each side property line.

Compatibility with Neighborhood Character: Please refer to our neighbor's 258 DR Request.

Exhibits

Exhibit-1 Correspondence

Exhibit-2 Unit 3/Level 3 Rear Exit at Matching Light Well

Exhibit-3 Unit 2/Level 2 Roof Deck

Exhibit-4 Unit 3/Level 3 Roof Deck

Exhibit-5 Compatibility with Neighborhood Character

LIST OF EXHIBITS

Exhibit-1 Correspondence

Exhibit 1.1 - 250 DR Requestors' Pre-Application Meeting Comments, Submitted September 9, 2018

Exhibit 1.2 - Design Review Meeting Minutes held by David Winslow at the Planning Department, Meeting date: January 26, 2020, Minutes submitted: February 3, 2020

Exhibit 1.3 - Table: Summary and History of 250's Requested Modifications

Exhibit 1.4 - 250 DR Requester Response to 254 Roosevelt Developer's 311 Notification Packet, Submitted: December 21, 2019

Exhibit 1.5 - 250 DR Requesters' Response to View Studies Provided by Developer, Submitted: February 29, 2020

Exhibit 1.6 - 250 DR Requesters' List of Project Modifications Necessary to Drop DR, Submitted: February 29, 2020

Exhibit 1.7 - 250 DR Requesters Attempting Again to Compromise with Developer Submitted: April 12, 2020

Exhibit-2 Unit 3/Level 3 Rear Exit at Matching Light Well

Exhibit 2.1 - 311 Notification Plans, Location of Unit 3/Level 3 Rear Exit at Matching Light Well

Exhibit 2.2 - Photo, 250 Roosevelt #2 Bedroom, Where the Only Light Comes from Matching Light Well, Where Developer Proposes an Exit on a Deck-like Catwalk Structure from 254 Unit 3/Level 3

Exhibit 2.3 - Photo, 250 Roosevelt #2 Dining Room, View of Matching Light Well, Looking up at 254 Roosevelt Existing Conditions Where Developer Proposes an Exit on a Deck-like Catwalk Structure from 254 Unit 3/Level 3

Exhibit 2.4 - Photo, 250 Roosevelt #3 Dining Room View of Matching Light Well Servicing Bathroom, Dining Room, and Stairwell, Looking at 254 Roosevelt Existing Conditions Where Developer Proposes an Exit on a Deck-like Catwalk Structure from 254 Unit 3/Level 3

Exhibit-3 Unit 2/Level 2 Roof Deck

Exhibit 3.1 - 311 Notification Plans, Location of Unit 2/Level 2 Roof Deck

Exhibit 3.2 - 311 Notification Plans, Developer Rendering of Unit 2/Level 2 Roof Deck

Exhibit 3.3 - View Study – View Cone for Unit 2/Level 2 Roof Deck

Exhibit 3.4 - View Study – Sketch of View into 250 Roosevelt Way #2 & #3 from Location of 254 Developer's Proposed Unit 2/Level 2 Roof Deck

Exhibit 3.5 - View Study – Photo View into 250 Roosevelt Way #2 & #3 from Location of 254 Developer's Proposed Unit 2/Level 2 Roof Deck

Exhibit-4 Unit 3/Level 3 Roof Deck

Exhibit 4.1 - View Study – View Cone for Unit 3/Level 3 Roof Deck as Proposed by Developer **at 21 Feet from 254 Façade**

Exhibit 4.2 - View Study – Sketch of View into 250 Roosevelt Way #2 & #3 from 254 Developer’s Proposed Unit 3/Level 3 Roof Deck **at 21 Feet from 254 Façade**

Exhibit 4.3 - View Study – Photo View into 250 Roosevelt Way #2 & #3 from 254 Developer’s Proposed Unit 3/Level 3 Roof Deck **at 21 Feet from 254 Façade**

Exhibit 4.4 - View Study – View Cones of View for Unit 3/Level 3 Roof Deck into 250 #2 & #3 and 258 Master Bedroom as Requested by DR Applicant, at **3 Feet from 254 Façade**

Exhibit 4.5 - View Study – Sketch of View for Unit 3/Level 3 Roof Deck into 250 #2 & #3 As Requested by DR Applicant, **at 3 Feet from 254 Façade**

Exhibit 4.6 - View Study – Sketch of View for Unit 3/Level 3 Roof Deck into Neighbor’s Master Bedroom at 258 Roosevelt

Exhibit-5 Compatibility with Neighborhood Character

Exhibit 5.1 - Streetscape of Project and the Two Neighboring Property Line Homes, from left to right 258, 254, and 250 Roosevelt Way

Exhibit 5.2 - Streetscape of nearby Homes, from left to right 270, 266, and 262 Roosevelt Way, Same Side of Street as Proposed Project

Exhibit 5.4 - Streetscape of Nearby Homes, Positive Example of Construction on Roosevelt Way

Exhibit 5.3 - Streetscape of Nearby Homes, Positive Example of Contemporary Construction on Roosevelt Way

EXHIBIT-1

CORRESPONDENCE

Exhibit 1.1 - 250 DR Requestors' Pre-Application Meeting Comments, Submitted September 9, 2018

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Exhibit 1.7 - 250 DR Requesters Attempting Again to Compromise with Developer Submitted: April 12, 2020

Exhibit 1.1
250 DR Requestors' Pre-Application Meeting Comments
Submitted September 9, 2018

Mark Kerr

From: Andrew Pellman <ap94114@gmail.com>
Sent: Saturday, September 22, 2018 9:21 PM
To: neeraj.bhatia@theopenworkshop.ca
Cc: Neil Hart; Spike Kahn; Catherine Fourmond; jakelipp@gmail.com; Mark David Kerr
Subject: Re: 254 Roosevelt Drawings

Greetings:

Thank you for forwarding a copy of the drawings. We are excited about the plans to rehabilitate 254 Roosevelt Way and improve the neighborhood. We'd like to reiterate the concerns we expressed at the on site meeting, and echo the concerns raised by our neighbors, and once these are addressed we will be delighted to fully support this exciting project.

In addition to the issues raised by our neighbors, we request the plans for 254 Roosevelt be modified to be sensitive to the existing conditions of neighboring properties and the street front, respect the neighborhood character, and provide a harmonious design that also achieves our shared goals of increasing 254 Roosevelt's square footage of habitable space:

1. **250 Roosevelt Way Light-Well:** We would like to see a matching light well incorporated in to the design to preserve the light and air that currently exists at 250 Roosevelt Way. It's a standard design approach in San Francisco to match neighboring light and air wells to preserve the habitability of existing housing stock. It also demonstrates respect for and accommodation of the existing built environment, and allows developers to improve their properties but not at the expense of existing neighbors by depriving them of light and air.
2. **Building Height and Setback at Street:** We would like the height at the street not to exceed the same elevation as (measured at the midpoint) as 250 Roosevelt at the street. There should be a setback before/between this story of the proposed addition, and the next story. This will help ameliorate the mass at street level, and massing in front of the 258 Roosevelt windows providing more light and air, as well as better separation between 254 and 258 Roosevelt. Examples of similar setbacks to reduce street-front massing and respect neighboring properties and existing built environment can be seen at the developments along 250,248,246,244,242,240,238,236,234, Roosevelt Way.
3. **Exterior Access along the 254/258 Property Line:** Providing for an exterior stairway (keeping the exterior elevation of 254 Roosevelt three to four-feet off the property line), could minimize the impacts of light and air losses on 258 Roosevelt, and would present a more pedestrian friendly experience at the street. Ultimately we largely defer to Phyllis Shimmon, the owner of 258 Roosevelt, and Jake Tapp and his family, residing at 258 Roosevelt Way lower unit, as they are most impacted by this condition.
4. **Roof Deck:** The roof deck should be significantly scaled back, including setback from the street and neighboring property lines. As currently proposed the square footage of the roof deck is nearly the size of the unit which it serves, and the users of the roof deck would have a clear view into the the living room of Unit #2 and unit #3 of our building at 250 Roosevelt Way, as well as potential sight lines into the bedroom of Unit #1. This unit already has access to sizable outdoor space in the back garden of 254 Roosevelt Way (mid-block open space), and does not need a super-sized roof deck nearly equal the size of the entire proposed unit at the expense of the neighbors' privacy. We are also concerned about this super-sized deck causing a general nuisance to the surrounding units at 250 and 258 Roosevelt, due to the proximity to the living spaces of these properties. The

roof deck should be scaled back as a viewing balcony-style deck, pulled back from the street and the property lines of the adjacent properties

5. Building Materials, Massing and Overall Appearance: It seems premature to comment on building materials and the street-front facade design elements, as they are not fully presented on the plans. We look forward to seeing them in the future. Overall, we think the proposed massing is highly aggressive in comparison to other examples on the street that have incorporated front and side setbacks.

Finally, in all future drawings please show existing conditions of 250 Roosevelt Way in the plans, elevations, and sections, along with 258 Roosevelt Way. We look forward to seeing the improved next iteration of the proposed addition as we are eager to support the project.

Andrew Pellman and Mark Kerr

Exhibit 1.2

Design Review Meeting Minutes held by David Winslow at the Planning Department

Meeting date: January 26, 2020

Minutes submitted: February 3, 2020

Mark Kerr

From: Andrew Pellman <ap94114@gmail.com>
Sent: Monday, February 3, 2020 9:52 AM
To: Spike Kahn; neeraj; david.winslow@sfgov.org; Mark David Kerr; sfoosh@att.net
Subject: 254 Roosevelt Design Review Meeting January 26th 2020

Thank you for your time in discussing the issues raised by the DR requestors of 250 Roosevelt and 258 Roosevelt, Sponsor, and the Planning Department. The below summarizes our discussion and we look forward to seeing revised drawings or solutions from the project sponsor consistent with discussions and that accommodate the DR requestor (s) issues. We appreciate everyone's efforts in working towards a solution and look forward to seeing revisions and options in mid February.

1. Unit 2/Level 2 -Outdoor Patio (Sheet A2.3): Provide Architectural/Vision Screen at the north railing. The Sponsor has agreed to provide options for screening this area with some sort of architectural screening, such that there are not direct sight lines into the 250 Roosevelt Property. Planning indicated that since roof decks are not permitted on property lines, if a compromise can not be reached the alternative would be to remove the deck/patio in its entirety. The Sponsor will provide updated drawings for 250 DR requestor to review.
2. Unit 3/Level 3 – Kitchen Exit To Rear Yard and Light Well at 250 and 254(Sheet A2.4): The Sponsor has agreed that it will revise the plans to relocate the kitchen exit, such that there is no new construction in the area of the 250 Roosevelt light well, essentially matching and respecting the 250 Roosevelt light well. This includes relocating both the door and the deck/catwalk from 254-3, , relocating them outside of the area that matches the 250 Roosevelt light well.
3. Unit 3/Level 3 – Roof Deck (sheet A2.4): The Sponsor has agreed to provide a 3-D rendering of the roof deck that shows the views looking back into the 250 Roosevelt property. The parties discussed that the current deck is oversized, and provides direct sight lines into the 250 Roosevelt property. The parties discussed reducing the size of the deck, and the project Sponsor indicated that it would be willing to do so. In an effort to reach a compromise with the Sponsor, the 250 Roosevelt DR requestor agreed to defer its previous position (that the roof deck should be reduced to a Juliette Balcony) until the project Sponsor provides the 3-D rendering that shows the sight ones into the 250 Roosevelt property. The parties agreed to discuss the appropriate sizing of the deck after the Sponsor provides the 3-D rendering for review.
4. Compatibility With Neighborhood Character: The 250 and 258 DR requestors and the Sponsor discussed various options for addressing Neighborhood Compatibility and the direct impacts on the 258 Roosevelt property, as follows:

The Residential Design Guidelines identify matching setbacks, matching light wells, and stepping down of facades as defining neighborhood characteristics. As proposed, 254 neither replicates defining neighborhood characteristics nor that of the directly neighboring properties in the following ways:

a. Front Elevation: In conjunction with reducing the size of the roof deck, the Sponsor agreed to consider lowering the parapet in an effort to reduce the over all height of the project at the front property line, and reinforce the step-downs along Roosevelt Way that follow the topography of the hill.

b. West Elevation at 258/254 Roosevelt: The proposed development does not match the setback or light well at 258 Roosevelt. There were various discussions regarding this issue and the Sponsor agreed to study various options to ameliorate the 258 DR requestor's concerns, and then to provide revised drawings to both of the DR requestors for review. Some of the proposed solutions included but were not limited to:

- Redesign the street-level entry stairs, such that they are exterior stairs rather than interior stairs. This would move the exterior wall of 254 approximately 4-feet off the property line at the lower levels. This would necessitate a partial redesign of the facade, which could mitigate many of the issues raised regarding neighborhood character.
- Among other items discussed, the sponsor agreed to look at recessing the garage door to provide a set-back at the front property line, in an effort to improve the pedestrian experience and break up the monolithic bulk of the proposed structure.
- At the upper levels, the Sponsor agreed to move the exterior wall 1-foot off the property line next at the front section of the building where the 258 DR requestor's property has windows.

Exhibit 1.3

Table: Summary and History of 250’s Requested Modifications

Pre-Application Comments September 22, 2019	DR Request May 1, 2020	311 Notification Plans Addressed Requests: Y/N
<p><u>“250 Roosevelt Way Light-Well:</u> We would like to see a matching light well incorporated in to the design to preserve the light and air that currently exists at 250 Roosevelt Way. It's a standard design approach in San Francisco to match neighboring light and air wells to preserve the habitability of existing housing stock. It also demonstrates respect for and accommodation of the existing built environment, and allows developers to improve their properties but not at the expense of existing neighbors by depriving them of light and air.”</p>	<p><u>“Unit 3/Level 3 -Rear Exit At Matching Light-Well:</u> The rear exit from the kitchen and associated cat-walk of Unit 3/Level3 is constructed in the area of the matching light-well serving 250 and the Project. This exit has direct visibility into two of the units at 250. (See- 311-Notification, drawing Sheet A2.4 - Unit3/Level 3 and <u>Exhibit-2)</u>”</p>	<p>Not Addressed</p>
<p><u>“Roof Deck:</u> The roof deck should be significantly scaled back, including setback from the street and neighboring property lines. As currently proposed the square footage of the roof deck is nearly the size of the unit which it serves, and the users of the roof deck would have a clear view into the living room of Unit #2 and unit #3 of our building at 250 Roosevelt Way, as well as potential sight lines into the bedroom of Unit #1. This unit already has access to sizable outdoor space in the back garden of 254 Roosevelt Way (mid-block open space), and does not need a super-sized roof deck nearly equal the size of the entire proposed unit at the expense of the neighbors' privacy. We are also concerned about this super-sized deck causing a general nuisance to the surrounding units at 250 and 258 Roosevelt, due to the</p>	<p><u>“Unit 3/Level 3 Roof Deck:</u> The roof deck serving Unit 3/Level3 – does not meet the minimum set back requirements and does not take into account surrounding conditions of 250 or 260. The roof deck is located directly outside of the bedrooms and living spaces of both 250 and 260, presenting privacy and noise concerns. (See- 311-Notification, Sheet A2.4– Unit 2/Level 2 and <u>Exhibit -4)</u>”</p>	<p>Not Addressed</p>

<p>proximity to the living spaces of these properties. The roof deck should be scaled back as a viewing balcony-style deck, pulled back from the street and the property lines of the adjacent properties”</p>		
<p><u>“Building Height and Setback at Street:</u> We would like the height at the street not to exceed the same elevation as (measured at the midpoint) as 250 Roosevelt at the street. There should be a setback before/between this story of the proposed addition, and the next story. This will help ameliorate the mass at street level, and massing in front of the 258 Roosevelt windows providing more light and air, as well as better separation between 254 and 258 Roosevelt. Examples of similar setbacks to reduce street-front massing and respect neighboring properties and existing built environment can be seen at the developments along 250,248,246,244,242,240,238,236,234, Roosevelt Way.”</p>	<p><u>“Compatibility With Neighborhood Character:</u> In conjunction with reducing the size of the roof deck, we request modifications to the project to include; (i) the lowering the parapet at the Front Elevation, (ii) reinforce step-downs along Roosevelt Way to better match the topography of hill, (iii) provide a setback the west property line of 254 and 258 Roosevelt. Since the changes related to this issue more directly affect 258 DR requestor, we defer resolution of this item to the Owner of 258 Roosevelt Way.”</p>	<p>Not Addressed</p>
<p><u>“Exterior Access along the 254/258 Property Line:</u> Providing for an exterior stairway (keeping the exterior elevation of 254 Roosevelt three to four-feet off the property line), could minimize the impacts of light and air losses on 258 Roosevelt, and would present a more pedestrian friendly experience at the street. Ultimately we largely defer to Phyllis Shimmon, the owner of 258 Roosevelt, and Jake Tapp and his family, residing at 258 Roosevelt Way lower unit, as they are most impacted by this condition.”</p>	<p><u>“Compatibility With Neighborhood Character:</u> In conjunction with reducing the size of the roof deck, we request modifications to the project to include; (i) the lowering the parapet at the Front Elevation, (ii) reinforce step-downs along Roosevelt Way to better match the topography of hill, (iii)</p>	<p>Not Addressed</p>

	<p>provide a setback the west property line of 254 and 258 Roosevelt. Since the changes related to this issue more directly affect 258 DR requestor, we defer resolution of this item to the Owner of 258 Roosevelt Way.”</p>	
<p><u>“Building Materials, Massing and Overall Appearance:</u> It seems premature to comment on building materials and the street-front facade design elements, as they are not fully presented on the plans. We look forward to seeing them in the future. Overall, we think the proposed massing is highly aggressive in comparison to other examples on the street that have incorporated front and side setbacks.”</p>	<p><u>“Compatibility With Neighborhood Character:</u> In conjunction with reducing the size of the roof deck, we request modifications to the project to include; (i) the lowering the parapet at the Front Elevation, (ii) reinforce step-downs along Roosevelt Way to better match the topography of hill, (iii) provide a setback the west property line of 254 and 258 Roosevelt. Since the changes related to this issue more directly affect 258 DR requestor, we defer resolution of this item to the Owner of 258 Roosevelt Way. “</p>	Not Addressed
<p><u>“Finally, in all future drawings please show existing conditions of 250 Roosevelt Way in the plans, elevations, and sections, along with 258 Roosevelt Way.</u> We look forward to seeing the improved next iteration of the proposed addition as we are eager to support the project.”</p>		Not Addressed

Exhibit 1.4

250 DR Requester Response to 254 Roosevelt Developer's 311 Notification Packet Submitted: December 21, 2019

from: Andrew Pellman <ap94114@gmail.com>
to: Spike Kahn <spikekahn@gmail.com>, Linda.AjelloHoagland@sfgove.org
cc: Mark David Kerr <markdavidkerr@gmail.com>
date: Dec 3, 2019, 8:10 PM
subject: 254 Roosevelt Way Planning Application - Record # 2018-005918PRJ
mailed-by: gmail.com
signed-by: gmail.com
security: Standard encryption (TLS) [Learn more](#)
Important according to Google magic.

Dear Ms. Kahn and Ms. Ajello:

We are in receipt of your planning application dated November 27th. Attached for your reference please see below our prior correspondence to you in response to the Pre-Application meeting.

We appreciate the minimal code compliant changes that you made with regard to matching the southerly light well at 250 Roosevelt Way. However, the remainder of our issues remain unaddressed, and the revised plans raise new issues which were not part of the original plans.

First, in order to understand fully the impact of the proposed development at 254 Roosevelt, please create a revised version of the plans to show all adjacent light wells between 250-252 Roosevelt and 254 Roosevelt. For example, your current plans do not show the northerly light well at our dining room in 250 Roosevelt Apt 3 and the bedroom for 250 Roosevelt Apartment 2, making it difficult to understand the impact of your proposed development on our light and air. Despite the lack of information on the drawings, it appears that you intend to fill in portions of your adjoining light well, and not match the light-well at 250 Roosevelt Way.

Secondly in a revised version of the drawings, please show the full front facade of 250 Roosevelt, so that the impact of roof decks can be fully assessed. .

Thirdly, your development of 254 Roosevelt, appears to involve significant demolition and as such is likely "Tantamount to Demolition". Please provide the demo calculations so that all stakeholders can be fully informed. While we do not oppose demolition of 254 Roosevelt, compliance with the City's regulations regarding demolition must be fully complied with, and this should occur during the application rather than being revealed during demolition/construction. Failure to accurately depict the extent of demolition will only result in course of construction delays and expose the neighboring properties to unnecessary extended construction and potential structural risk.

Fourthly, additional specific concerns are enumerated below and are much the same as our prior correspondence from September 22, 2018, and so we are providing them again here as unaddressed concerns:

1. 250 Roosevelt Light-Well and Adjacent Patio's: Please remove the Outdoor Patio Area shown on A2.1 and A2.2. Development of these roof areas as roof decks would provide direct sight access into the living areas of 250 Roosevelt as follows: (i) Unit #1 BEDROOM and the entry area (ii) Unit #2 living room.
2. Building Height and Setback at Street: This issue remains unaddressed. It appears that there are multiple opportunities to modify the design given the extensive nature of construction. Among other options, top most level could be pulled back to provide some relief at the street front.
3. Exterior Access Along the 254/258 Property Line: While the project provides a four-foot setback along the property line, it does nothing to ameliorate the four-story blank wall that the units of this building stare into. As the occupants of 258 Roosevelt are more directly effected, I will rely on their response for now. However, this element of your project shows no consideration for the built environment or the preservation of quality housing located at #254.
4. Roof Deck (Sheet A2.4): Please see our previous concerns which remain unaddressed. This deck should scaled back significantly to be a viewing deck, a minimum of six- feet off the property line (including planter) of 250 Roosevelt and no more than four-feet deep. This would provide occupants the opportunity to enjoy the views without direct visibility into the units of 250 Roosevelt. This change would not compromise the quality of your unit, as it has access to significant outdoor space.
5. Rear Exterior Access (A2.3 and A2.4) and Relationship to 250 Roosevelt Way Light-Well - Please show the relation of the proposed access and construction as it relates to the existing light-well at 250 and 254. The plans are not complete, and do not appear to indicate the full extent of construction. Are you planning on filling in the light well at 254 with new stairs and other structure that reduces the extent of matching light-well at 254?

As you know, we are supportive of this project and think that over all it is a good addition to the neighborhood. However, we consider the concerns which we have raised as significant, and these concerns will need to be addressed to our satisfaction during the notification period, or we will have no other alternative, than to file for a Discretionary Review.

We look forward to hearing from you,
Andrew Pellman and Mark Kerr
250 Roosevelt Way, Apartment 3
415-810-4208 phone

Exhibit 1.5

250 DR Requesters' Response to View Studies Provided by Developer Submitted: February 29, 2020

Andrew Pellman <ap94114@gmail.com>

to Spike, neeraj, david.winslow@sfgov.org, me, sfnoosh

Mon, Feb 3, 9:52 AM ☆ ↶ ⋮

Thank you for your time in discussing the issues raised by the DR requestors of 250 Roosevelt and 258 Roosevelt, Sponsor, and the Planning Department. The below summarizes our discussion and we look forward to seeing revised drawings or solutions from the project sponsor consistent with discussions and that accommodate the DR requestor (s) issues. We appreciate everyone's efforts in working towards a solution and look forward to seeing revisions and options in mid February.

1. Unit 2/Level 2 –Outdoor Patio (Sheet A2.3): Provide Architectural/Vision Screen at the north railing. The Sponsor has agreed to provide options for screening this area with some sort of architectural screening, such that there are not direct sight lines into the 250 Roosevelt Property. Planning indicated that since roof decks are not permitted on property lines, if a compromise can not be reached the alternative would be to remove the deck/patio in its entirety. The Sponsor will provide updated drawings for 250 DR requestor to review.
2. Unit 3/Level 3 – Kitchen Exit To Rear Yard and Light Well at 250 and 254(Sheet A2.4): The Sponsor has agreed that it will revise the plans to relocate the kitchen exit, such that there is no new construction in the area of the 250 Roosevelt light well, essentially matching and respecting the 250 Roosevelt light well. This includes relocating both the door and the deck/catwalk from 254-3, , relocating them outside of the area that matches the 250 Roosevelt light well.
3. Unit 3/Level 3 – Roof Deck (sheet A2.4): The Sponsor has agreed to provide a 3-D rendering of the roof deck that shows the views looking back into the 250 Roosevelt property. The parties discussed that the current deck is oversized, and provides direct sight lines into the 250 Roosevelt property. The parties discussed reducing the size of the deck, and the project Sponsor indicated that it would be willing to do so. In an effort to reach a compromise with the Sponsor, the 250 Roosevelt DR requestor agreed to defer its previous position (that the roof deck should be reduced to a Juliette Balcony) until the project Sponsor provides the 3-D rendering that shows the sight ones into the 250 Roosevelt property. The parties agreed to discuss the appropriate sizing of the deck after the Sponsor provides the 3-D rendering for review.
4. Compatibility With Neighborhood Character: The 250 and 258 DR requestors and the Sponsor discussed various options for addressing Neighborhood Compatibility and the direct impacts on the 258 Roosevelt property, as follows:

The Residential Design Guidelines identify matching setbacks, matching light wells, and stepping down of facades as defining neighborhood characteristics. As proposed, 254 neither replicates defining neighborhood characteristics nor that of the directly neighboring properties in the following ways:

- a. Front Elevation: In conjunction with reducing the size of the roof deck, the Sponsor agreed to consider lowering the parapet in an effort to reduce the over all height of the project at the front property line, and reinforce the step-downs along Roosevelt Way that follow the topography of the hill.
- b. West Elevation at 258/254 Roosevelt: The proposed development does not match the setback or light well at 258 Roosevelt. There were various discussions regarding this issue and the Sponsor agreed to study various options to ameliorate the 258 DR requestor's concerns, and then to provide revised drawings to both of the DR requestors for review. Some of the proposed solutions included but were not limited to:
 - Redesign the street-level entry stairs, such that they are exterior stairs rather than interior stairs. This would move the exterior wall of 254 approximately 4-feet off the property line at the lower levels. This would necessitate a partial redesign of the facade, which could mitigate many of the issues raised regarding neighborhood character.
 - Among other items discussed, the sponsor agreed to look at recessing the garage door to provide a set-back at the front property line, in an effort to improve the pedestrian experience and break up the monolithic bulk of the proposed structure.
 - At the upper levels, the Sponsor agreed to move the exterior wall 1-foot off the property line next at the front section of the building where the 258 DR requestor's property has windows.

Exhibit 1.6

250 DR Requesters' List of Project Modifications Necessary to Drop DR Submitted: February 29, 2020

February 29th Email from Mark Kerr and Andrew Pellman

Spike:

Thank you for preparing the view studies, and additional design solutions for review by the DR requestors. This information is helpful, and many good ideas have come forth. However, not all of our concerns were addressed by the recent revisions that have been offered, namely the loss of privacy in two of the 250 Roosevelt units. The loss of privacy for two units at 250 Roosevelt are the result of voluntary amenity enhancements of the Project, specifically two rooftop decks, and these project enhancements come at great expense to 250 Roosevelt and its residents. The loss of privacy must be adequately addressed in order for us to withdraw our DR, and because we are eager to withdraw our DR, we propose some reasonable compromises below.

For your reference, we reiterate below the four main points from the meeting notes of January 29th 2020 at the Planning Department, with our response to the most recent version of the plans and view studies (2020_02_12_Roosevelt_Revisions, Roosevelt_ViewStudies_LR) provided by the project architect.

Provided that the Project incorporates the below revisions into the plans, along with standard conditions of approval, and the plans are re-submitted and approved by the Planning Department, we the 250 DR requestors are willing to withdraw our DR application:

1. Unit 2/Level 2 -Outdoor Patio (Sheet A2.3):

250 DR Response: Please remove outdoor (rooftop) patio.

Reason for our response: The additional studies confirm that there are direct sightlines into the units of 250 Roosevelt, and that the addition of a vision screen does not mitigate this issue. Furthermore, as discussed at the DR meeting, this outdoor patio (roof deck) does not comply with residential guidelines in that it is in the setback area. Its removal not only protects 250 Roosevelt privacy, but also complies with setback requirements.

2. Unit 3/Level 3 – Kitchen Exit To Rear Yard and Light Well at 250 and 254(Sheet A2.4):

250 DR Response: Proposed modifications accepted. Please incorporate the revised location of the kitchen exit into the drawings.

Reason for our response: The changes have addressed our light, air, and privacy concerns in the rear light well of the two units at 250 Roosevelt.

3. Unit 3/Level 3 – Roof Deck (sheet A2.4):

250 DR Response: Please reduce Roof Deck to a depth of 6-feet from the façade of the building. Although we would prefer that the Roof Deck not exceed a depth of 3-feet from the street-facing façade of the building, we are willing to accept a compromise depth of 6-feet, along with the other changes included on the revised drawings (e.g. deeper planters, etc).

Reason for our response: The view studies provided show a significant loss of privacy to the 250 Roosevelt units, contrary to the Project Architect's representations at the DR meeting. While the project has made a number of other changes to the roof deck, those changes do not mitigate the direct sight lines into the 250 units, and as such we propose a reasonable compromise above, that allows the project to retain the roof deck as a voluntary enhancement while somewhat protecting the privacy of the 250 Roosevelt units.

4. Compatibility With Neighborhood Character:

250 DR Response: Thank you for incorporating the façade changes, the exterior stair at the 254/258 property line, and the other changes included in the revised drawings. We appreciate your willingness to work with 258 DR requestor.

Reason for our response: We largely defer to the 258 DR requestor as to any other specifics.

Provided the above changes are incorporated into the plans for our review, then resubmitted to the Planning Department, and finally approved by the Planning Department with standard conditions of approval, we will withdraw our DR request. In your revised set of drawings, please show the 250 rear light well on all plans.

We hope this amenable to you and look forward to your response – Andrew & Mark

Exhibit 1.7

250 DR Requesters Attempting Again to Compromise with Developer

Submitted: April 12, 2020

Andrew Pellman

Apr 12, 2020, 1:18 AM (3 days ago)



to Spike, me, neeraj ▾

Spike:

Thanks for getting back to us so quickly. We look forward to reaching a compromise and avoiding the hearing.

Our issue with the roof deck is two fold: (a) the sight lines from the deck into the living spaces of our units, and (b) the size and nature of such a large deck in proximity to our living areas. Our proposed compromise of a deck that is roughly 6' x 11' allows your project to access the views from an outdoor location in a more intimate format, rather than the large outdoor entertaining area in proximity to our living areas, that you have planned at 11'X22'.

With regard to the patio deck, we rejected the screening because when the additional view studies were performed, it was apparent that the "vision screening" did nothing to ameliorate the sight lines into 250. Further the patio is not in conformance with the Residential Design Guidelines, as it is on the property line. We do not think that filming the windows of our building will address either of these issues (the roof deck or the patio deck), and would require us to keep our windows closed to maintain privacy.

We appreciate the additional studies you have done for the DR requestors, and some of the solutions you have agreed too. When we first filed the DR request, we requested that the roof deck be removed altogether, or be reduced to a balcony with a depth of 3-feet. When revised 254 drawings were presented, we indicated that we would withdraw the DR request, if among other items, the depth of the roof deck were reduced to 6-feet as a compromise to our preferred 3-feet.

We would like to reach a compromise as much as you and avoid the DR hearing. At this point, I would suggest that you let us know what the minimum depth you would accept as a compromise for the roof deck, if any. If it is acceptable to us, we would accept this change along with the other revisions which have been under discussion, and we would withdraw our DR request.

We would be happy to discuss this with you over the phone if it would help facilitate a resolution.

Thanks - Mark and Andrew

EXHIBIT-2

UNIT 3/LEVEL 3 REAR EXIT AT MATCHING LIGHT WELL

Exhibit 2.1 - 311 Notification Plans, Location of Unit 3/Level 3 Rear Exit at Matching Light Well

Exhibit 2.2 - Photo, 250 Roosevelt #2 Bedroom, Where the Only Light Comes from Matching Light Well, Where Developer Proposes an Exit on a Deck-like Catwalk Structure from 254 Unit 3/Level 3

Exhibit 2.3 - Photo, 250 Roosevelt #2 Dining Room, View of Matching Light Well, Looking up at 254 Roosevelt Existing Conditions Where Developer Proposes an Exit on a Catwalk from 254 Unit 3/Level 3

Exhibit 2.4 - Photo, 250 Roosevelt #3 Dining Room View of Matching Light Well Servicing Bathroom, Dining Room, and Stairwell, Looking at 254 Roosevelt Existing Conditions Where Developer Proposes an Exit on a Catwalk from 254 Unit 3/Level 3

Exhibit 2.1

311 Notification Plans, Location of Unit 3/Level 3 Rear Exit at Matching Light Well

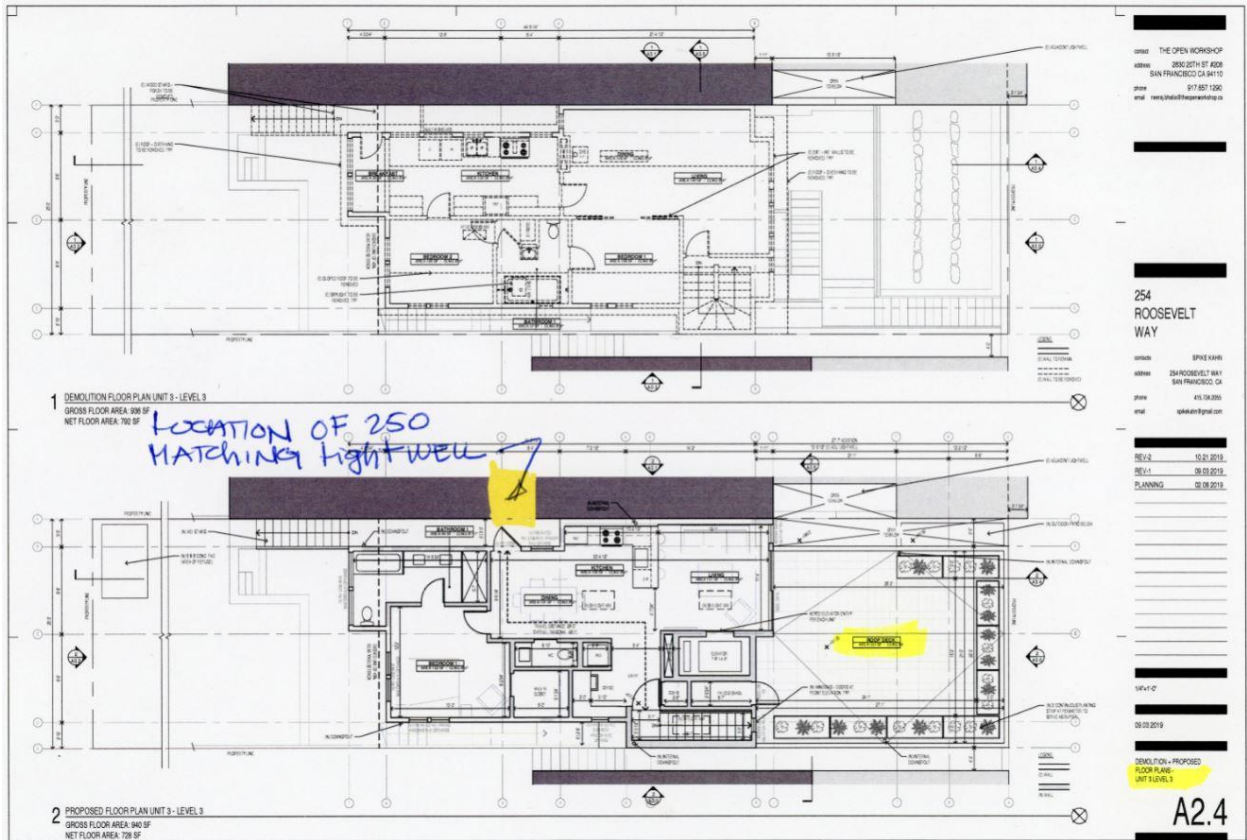


Exhibit 2.2

Photo, 250 Roosevelt #2 Bedroom, the Only Light Comes from Matching Light Well, Where Developer Proposes an Exit on a Deck-like Catwalk from 254 Unit 3/Level 3

Note: 254 Residents will be able to look down directly over the light well wall into the bedroom and dining room when they are outside walking to their rear yard. Current residents at 254 have no view of 250 Roosevelt #2 through their kitchen window because of the angle of view, and there is little to no noise because neighbors' activities are inside their current kitchen, rather than outside on an exterior deck-like catwalk structure as proposed.



Exhibit 2.3

Photo, 250 Roosevelt #2 Dining Room, View of Matching Light Well, Looking up at 254 Roosevelt Existing Conditions Where Developer Proposes an Exit on a Deck-like Catwalk Structure from 254 Unit 3/Level 3

Note: With the Developer's deck-like catwalk structure directly on the property line with 250's light well, 254 Residents will be able to look down directly over the light well wall into the bedroom and dining room when they are outside walking to their rear yard. Current residents at 254 have no view of 250 Roosevelt #2 through their kitchen window because of the angle of view, and there is little to no noise because neighbors' activities are inside their current kitchen. The deck-like catwalk structure will provide ample ease for looking into 250's light well as residents and their guests walk to and from the rear open space, or utilize the deck-like catwalk structure for other activities.



Exhibit 2.4

Photo, 250 Roosevelt #3 Dining Room View of Matching Light Well Servicing Bathroom, Dining Room, and Stairwell, Looking at 254 Roosevelt Existing Conditions Where Developer Proposes an Exit on a Deck-like Catwalk Structure from 250 Unit 3/Level 3

Note: With the Developer’s deck-like catwalk structure only 2 feet away from 250 #3’s bathroom window, 254 residents and their guests will be able to look down directly over the light well wall into our bathroom and dining room when they are outside walking to 254’s rear yard, or utilizing the deck-like catwalk structure for other activities. Current residents at 254 have a “masked” view from inside 254 through their kitchen window, as we do of their kitchen, and that is to be expected on zero lot lines. Currently, there is little to no noise because neighbors’ activities are inside their current kitchen, rather than on a deck-like catwalk structure outside of 250’s living space.

But in the proposed development, residents and their guests will be outside, next to 250’s living space and 2 feet from 250 #3’s bathroom. Residents and guests of 254 will walk right next to our property line light well and utilize the deck-like catwalk structure for other activities, with no barrier for privacy or noise, which is an entirely different effect for privacy and noise than current conditions where 254 residents and their guests are inside their kitchen.



EXHIBIT-3

UNIT 2/LEVEL 2 ROOF DECK

Exhibit 3.1 - 311 Notification Plans, Location of Unit 2/Level 2 Roof Deck

Exhibit 3.2 - 311 Notification Plans, Developer Rendering of Unit 2/Level 2 Roof Deck

Exhibit 3.3 - View Study – View Cone for Unit 2/Level 2 Roof Deck

Exhibit 3.4 - View Study – Sketch of View into 250 Roosevelt Way #2 & #3 from Location of 254 Developer's Proposed Unit 2/Level 2 Roof Deck

Exhibit 3.5 - View Study – Photo View into 250 Roosevelt Way #2 & #3 from Location of 254 Developer's Proposed Unit 2/Level 2 Roof Deck

Exhibit 3.2
311 Notification Plans, Developer Rendering of Unit 2/Level 2 Roof Deck

PROPOSED RENDERINGS



PROPOSED FRONT PERSPECTIVE - OBLIQUE LOOKING NORTH



PROPOSED FRONT PERSPECTIVE - OBLIQUE LOOKING WEST

Exhibit 3.3

View Study – View Cone for Unit 2/Level 2 Roof Deck

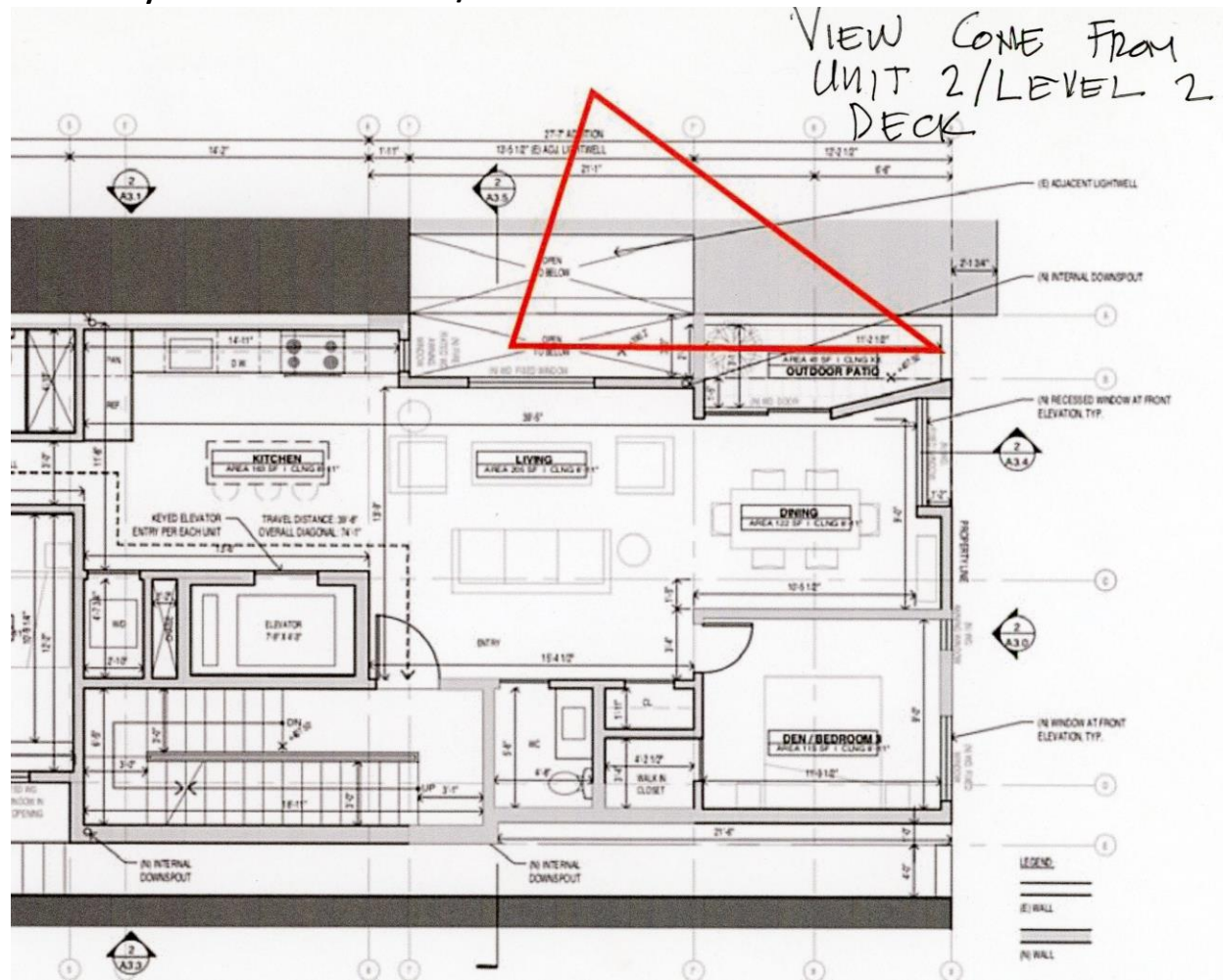


Exhibit 3.4

View Study – Sketch of View into 250 Roosevelt Way #2 & #3 from Location of 254 Developer's Proposed Unit 2/Level 2 Roof Deck

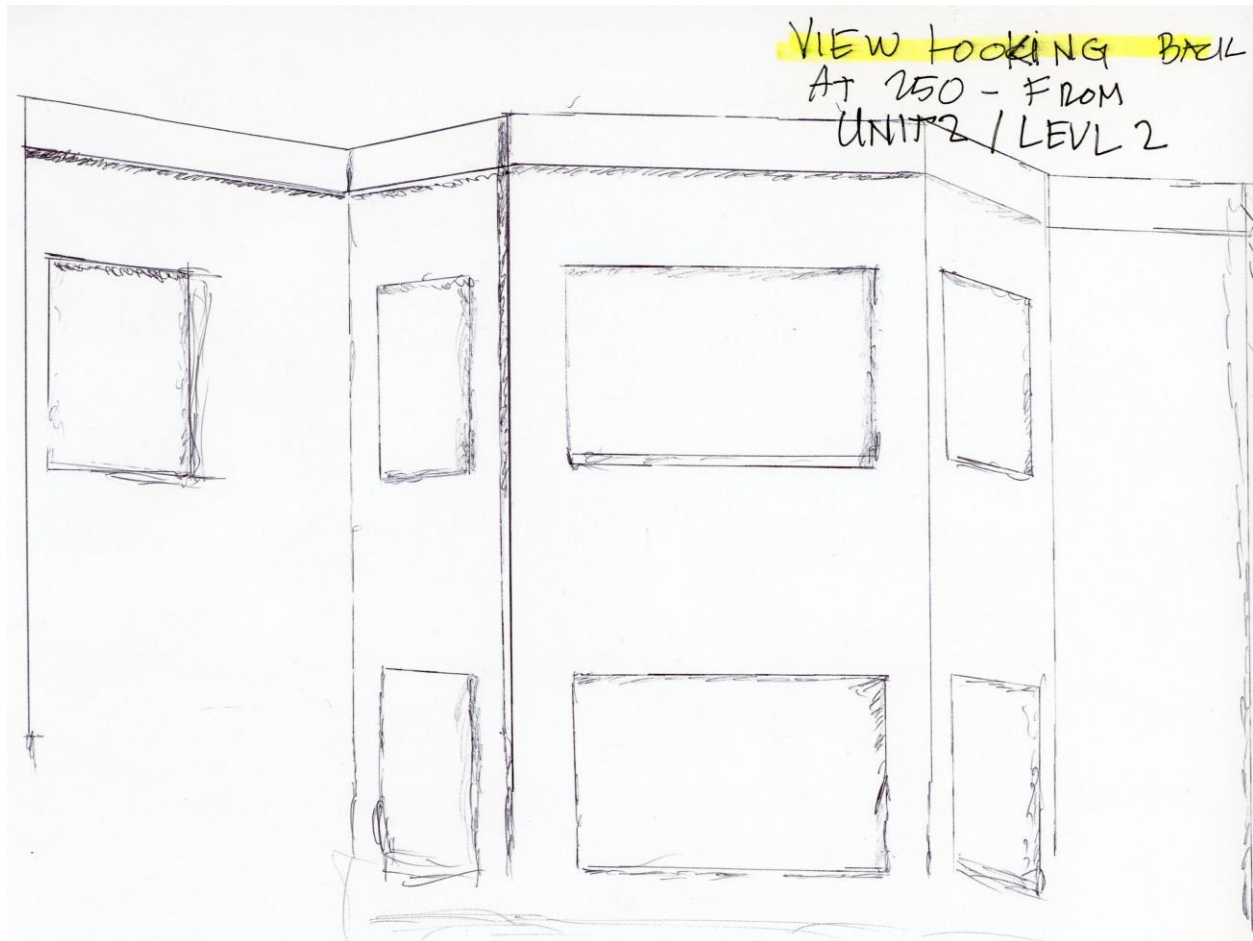


Exhibit 3.5

View Study – Photo View into 250 Roosevelt Way #2 & #3 from Location of 254 Developer’s Proposed Unit 2/Level 2 Roof Deck



EXHIBIT-4

UNIT 3/LEVEL 3 ROOF DECK

Exhibit 4.1 - View Study – View Cone for Unit 3/Level 3 Roof Deck as Proposed by Developer **at 21 Feet** from 254 Façade

Exhibit 4.2 - View Study – Sketch of View into 250 Roosevelt Way #2 & #3 from 254 Developer's Proposed Unit 3/Level 3 Roof Deck **at 21 Feet** from 254 Façade

Exhibit 4.3 - View Study – Photo View into 250 Roosevelt Way #2 & #3 from 254 Developer's Proposed Unit 3/Level 3 Roof Deck **at 21 Feet** from 254 Façade

Exhibit 4.4

View Study – View Cones of View for Unit 3/Level 3 Roof Deck into 250 #2 & #3 and 258 Master Bedroom as Requested by DR Applicant, at 3 Feet from 254 Façade

Exhibit 4.5 - View Study – Sketch of View for Unit 3/Level 3 Roof Deck into 250 #2 & #3 As Requested by DR Applicant, **at 3 Feet** from 254 Façade

Exhibit 4.6 - View Study – Sketch of View for Unit 3/Level 3 Roof Deck into Neighbor's Master Bedroom at 258 Roosevelt

Exhibit 4.1

View Study – View Cone for Unit 3/Level 3 Roof Deck as Proposed by Developer at 21 Feet from 254 Façade

Note: Developer proposes a negligible low three-foot barrier from street by using planters, and the same negligible low barrier on the sides of the deck that are next to the property-line homes at 250 and 258 Roosevelt. The Developer declined to specify if the low planters will be permanent or removable, and declined to explain if or how plants would be maintained. This maximized roof deck is within 3 feet of 250's windows.

The deck's square footage as proposed is 551 square feet. A deck of this size is, *by design*, intended for large-scale entertaining. This will generate exceptional loss of privacy for the homes 250 Roosevelt with as many as 30 people outside on the deck being able to look into our homes. With gatherings of any size on this outside deck, we are also anticipating high noise levels from music being played outside and people's outside voices carrying into our homes. We all currently have ambient city noise, traffic noise from the street, and the typical noise expected in city living – this is noise to which we have no objection as it is to be expected. The type of noise from people outside next door and the ease of viewing into our homes from outside – within 3 feet of our homes – is not reasonable.

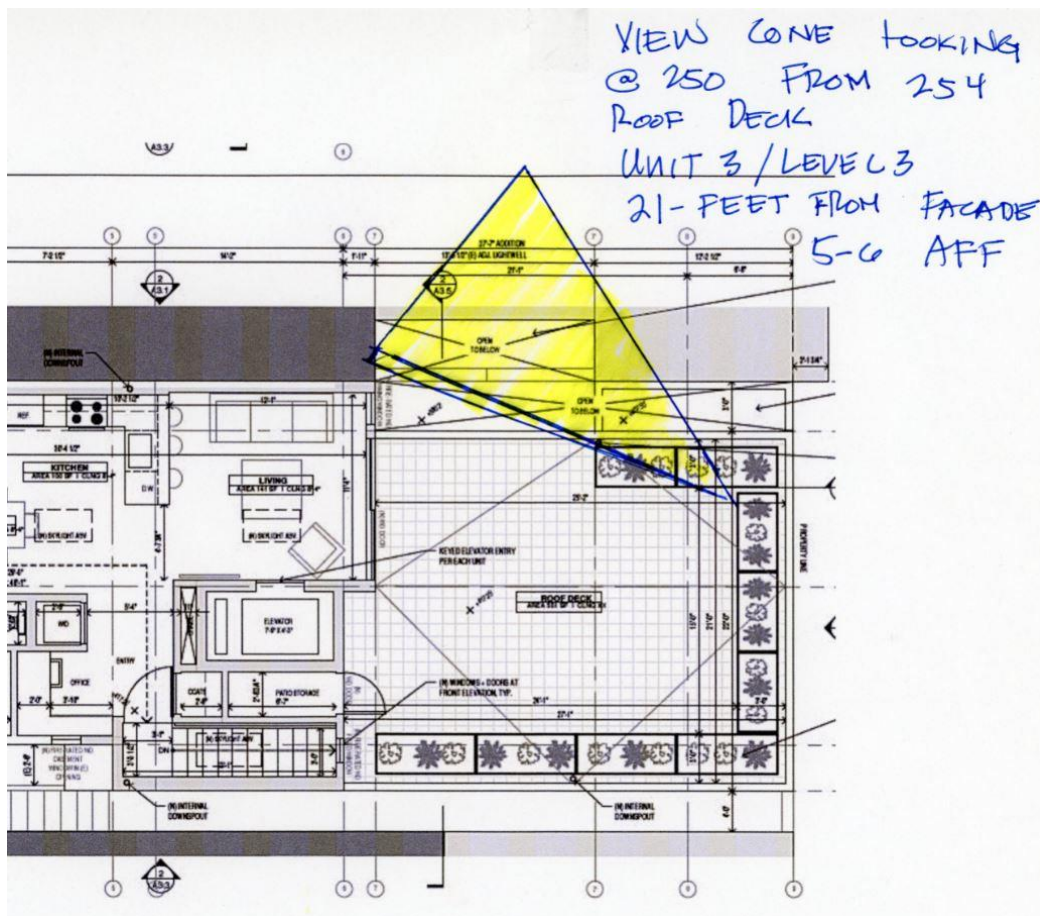


Exhibit 4.2

View Study – Sketch of View into 250 Roosevelt Way #2 & #3 from 254 Developer's Proposed Unit 3/Level 3 Roof Deck at 21 Feet from 254 Façade

Note: The negligible setbacks with low planters combined with maximizing the square footage of the Developer's proposed roof deck unfortunately maximizes the loss of privacy and the noise for two existing homes at 250 Roosevelt Way. People on the deck have direct sight lines into 250 Roosevelt #2's living room windows and into #3's bedroom and living room windows. We live in a city, and it is true that residents can frequently and inadvertently see from inside their house through their windows to a neighbor inside their house through their windows. For example, we can inadvertently see into our neighbor's windows across the street, as they can ours, but this is at a distance of 80 feet.

The Developer of 254 proposes that people will be outside on a deck, actively socializing and entertaining, walking right up to within one foot of the edges of the deck next to neighbors on the lot line, with no barrier for privacy or noise, which is an entirely different effect than neighbors being able to inadvertently see each other through barriers of windows and walls.

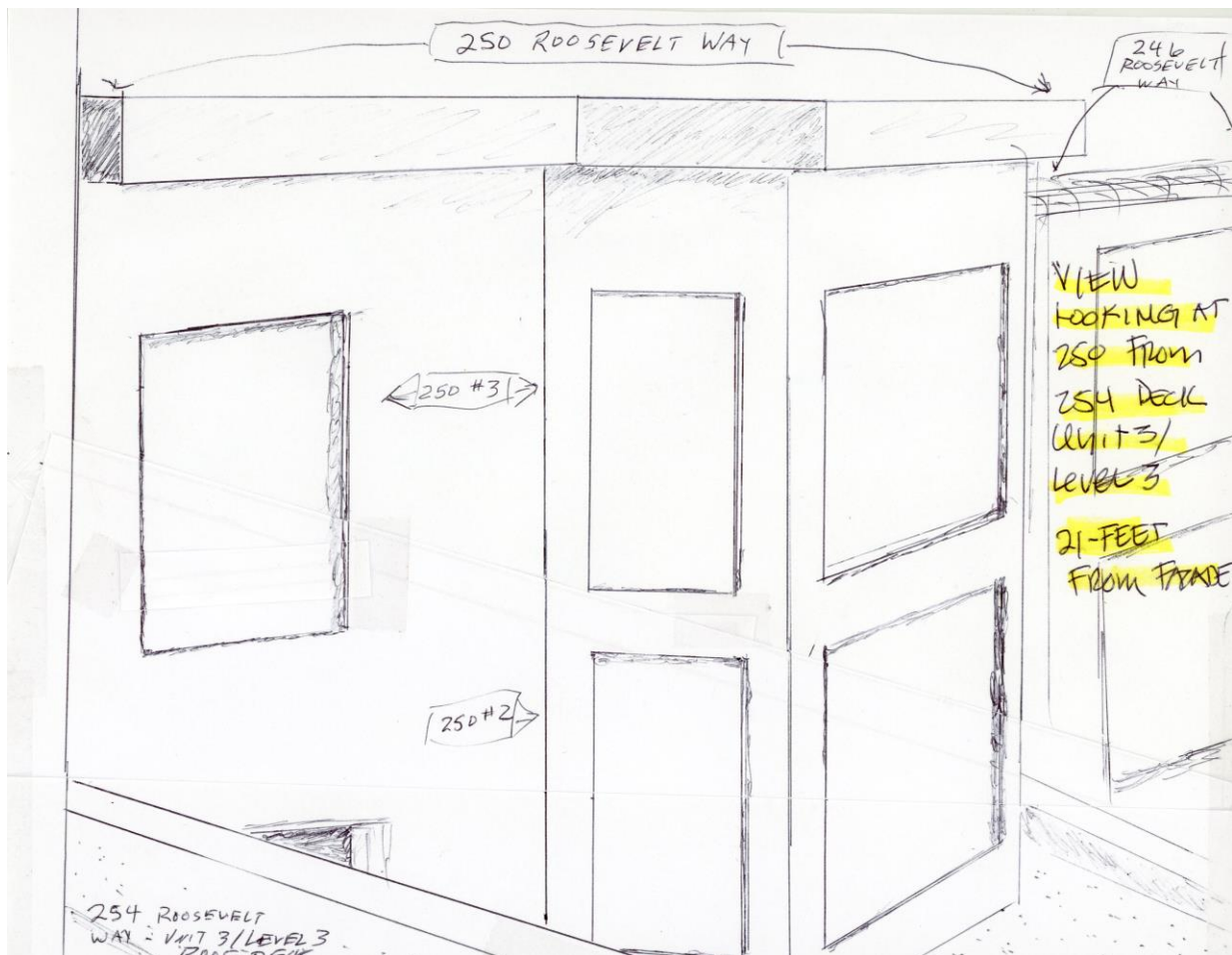


Exhibit 4.3

View Study – Photo View into 250 Roosevelt Way #2 & #3 from 254 Developer’s Proposed Unit 3/Level 3 Roof Deck at 21 Feet from 254 Façade

Note: The negligible setbacks with low planters combined with maximizing the square footage of the Developer’s proposed roof deck unfortunately maximizes the loss of privacy and the noise for two existing homes at 250 Roosevelt Way. People on the deck have direct sight lines into 250 Roosevelt #2’s living room windows and into #3’s bedroom and living room windows. We live in a city, and it is true that residents can frequently and inadvertently see from inside their house through their windows to a neighbor inside their house through their windows. For example, we can inadvertently see into our neighbor’s windows across the street, as they can ours, but this is at a distance of 80 feet.

The Developer of 254 proposes that her residents will be outside on a deck, actively socializing and entertaining, walking right up to within one foot of the edges of the deck next to neighbors on the lot line, with no barrier for privacy or noise, which is an entirely different effect than neighbors being able to inadvertently see each other through barriers of windows and walls.



Exhibit 4.4

View Study – View Cones of View for Unit 3/Level 3 Roof Deck into 250 #2 & #3 and 258 Master Bedroom as Requested by DR Applicant, at 3 Feet from 254 Façade

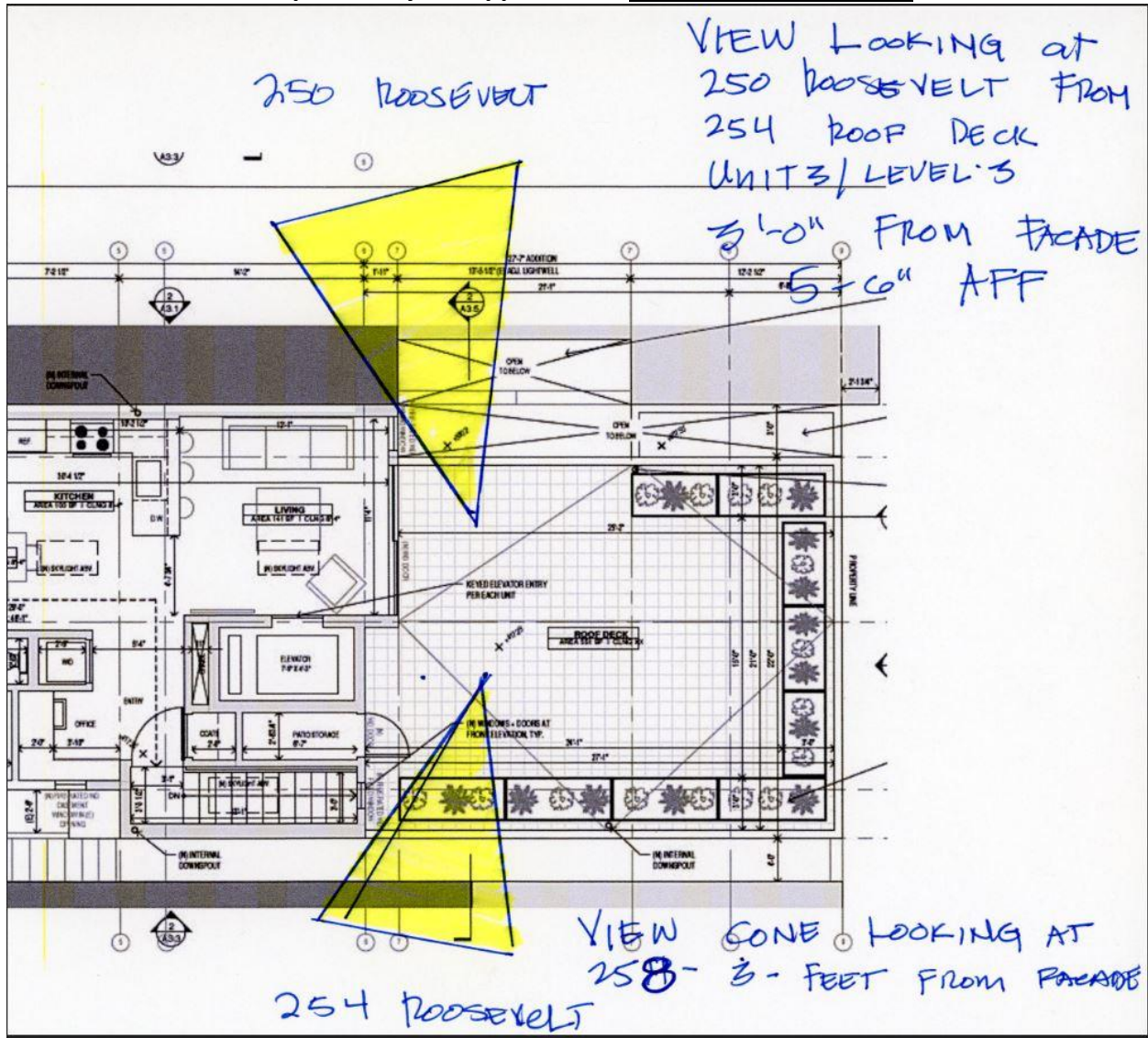


Exhibit 4.5

View Study – Sketch of View for Unit 3/Level 3 Roof Deck into 250 #2 & #3 As Requested by DR Applicant, at 3 Feet from 254 Façade

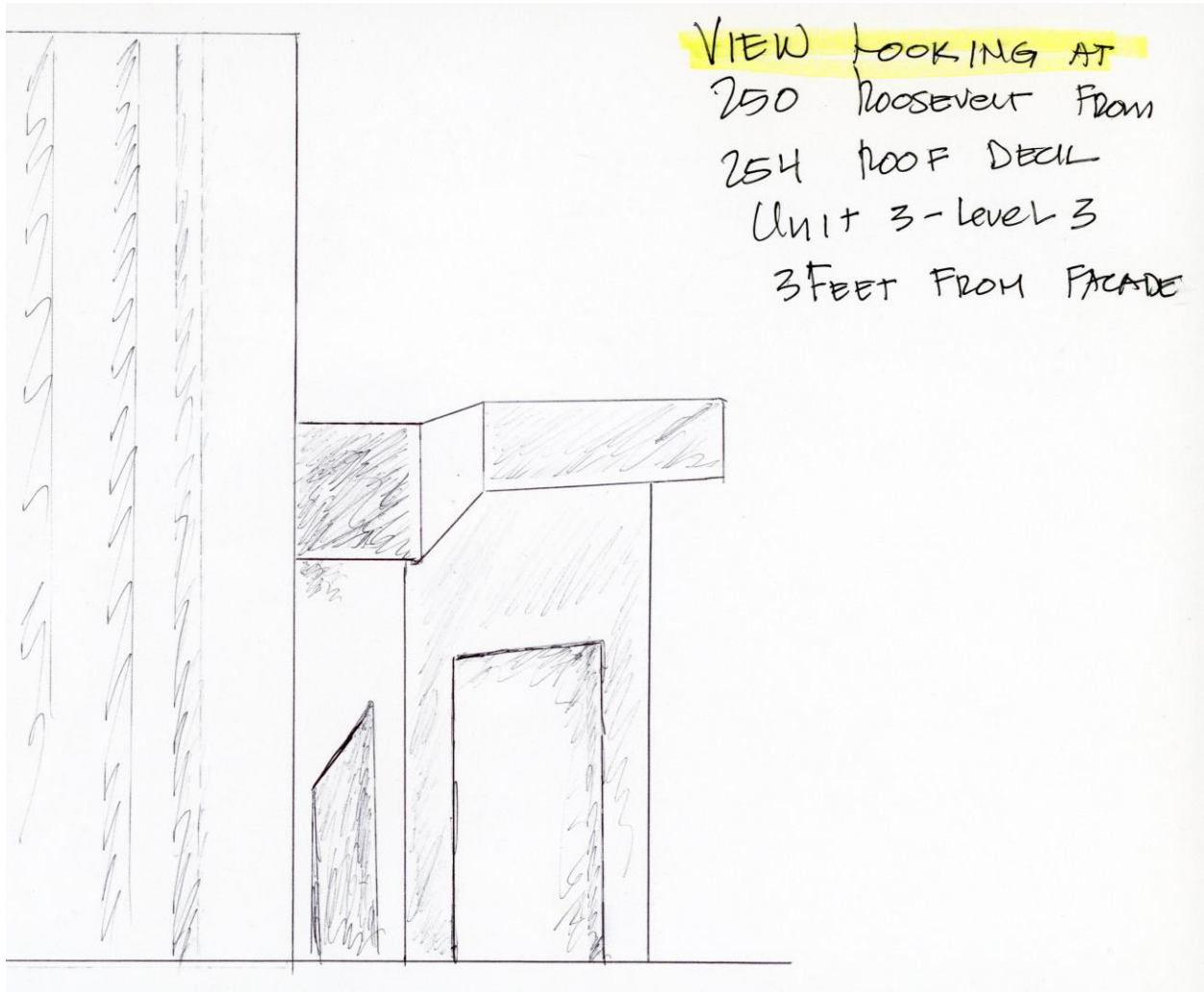


Exhibit 4.6

View Study – Sketch of View for Unit 3/Level 3 Roof Deck into Neighbor’s Master Bedroom at 258 Roosevelt

Note: We note that regardless of the depth of 254’s Unit 3/Level 3 deck, our neighbor at 258 will always be subjected to loss of privacy. Her master bedroom window is set back from the property line by a few feet, but people on 254’s deck will always have a head-on and very close view into her master bedroom window.

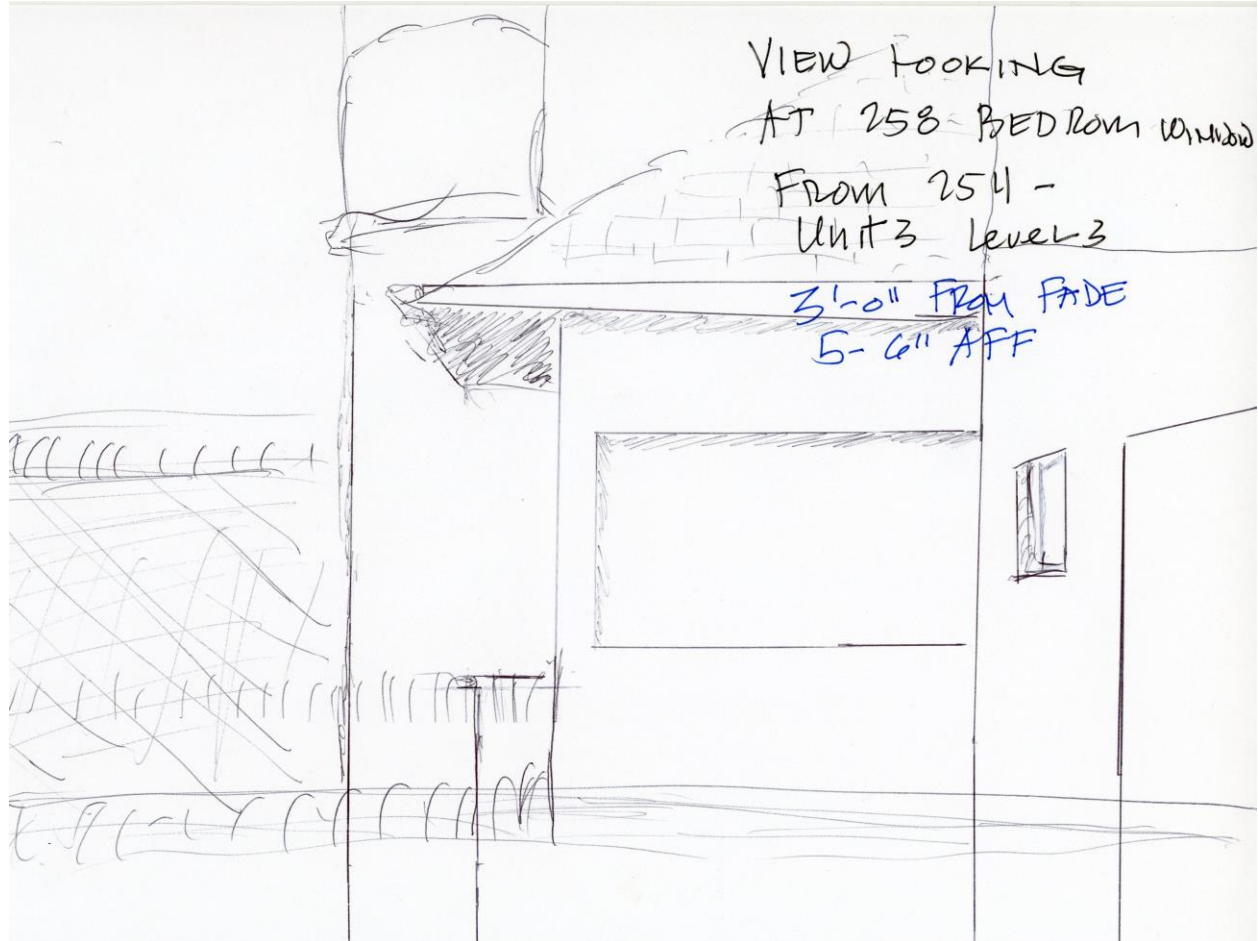


EXHIBIT-5

COMPATABILITY WITH NEIGHBORHOOD CHARACTER

Exhibit 5.1 - Streetscape of Project and the Two Neighboring Property Line Homes, from left to right 258, 254, and 250 Roosevelt Way

Exhibit 5.2 - Streetscape of nearby Homes, from left to right 270, 266, and 262 Roosevelt Way, Same Side of Street as Proposed Project

Exhibit 5.4 - Streetscape of Nearby Homes, Positive Example of Construction on Roosevelt Way

Exhibit 5.3 - Streetscape of Nearby Homes, Positive Example of Contemporary Construction on Roosevelt Way

Exhibit 5.1

Streetscape of Project and the Two Neighboring Property Line Homes, from left to right 258, 254, and 250 Roosevelt Way

Note: The photo shows that Roosevelt Way has a variety of street conditions, and many properties step back from the street lot line following the topography of the hill.

The current location of 254's proposed Level 2 and Level 3 set back from the street now, and proposed Level 2 and Level 3 should remain stepped back from the street after the (while putting the garage and Level 1 at the street).

The existing conditions of 250 Garage and #1 are at the street, but 250 #2 and #3 are both stepped back from the street. The Developer should follow this pattern.

Not depicted: the existing conditions of 246 Roosevelt Way (next to 250, shared property line) are with a garage at the street, and Unit #1 and Unit #2 stepped back from the street. The 254 Developer should follow the pattern of stepping back her Level 2 and Level 3, while leaving her garage and Level 1 at the street.



Exhibit 5.2

Streetscape of Nearby Homes, from left to right 270, 266, and 262 Roosevelt Way, Same Side of Street as Proposed Project

Note: The photo shows that Roosevelt Way has a variety of street conditions, and many properties are not monolithically built to the street property line.



Exhibit 5.3

Streetscape of Nearby Homes, Positive Example of Contemporary Construction on Roosevelt Way

Note: This is a positive example for contemporary construction on Roosevelt Way that we offer to the Developer and to the Planning Commission. This home is not monolithic from the street, steps back as it gains height, provides architectural variation and interest, shows respect to property line neighbors while including multiple and limited-size decks, and employs the common 'keyway' approach to exterior stairs leading from the street to the living quarters. This is a desirable development with a respectful and architecturally interesting approach that does not repeat the mistakes of the past (e.g. monolithic street fronts, lack of step backs following topography, disregard for neighbors).



Exhibit 5.4

Streetscape of Nearby Homes, Positive Example of Construction on Roosevelt Way

Note: This is an example for stepping back project levels to follow the topography. This presents a friendlier visual experience from the street and demonstrates respect for neighbors. These are desirable development with a respectful approach that does not repeat the mistakes of the past (e.g. monolithic street fronts, lack of step backs following topography, disregard for neighbors).



###

RESPONSE TO
DISCRETIONARY
REVIEW (DRP)



San Francisco
Planning

SAN FRANCISCO PLANNING DEPARTMENT
1650 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94103-2479
MAIN: (415) 558-6378 SFPLANNING.ORG

Project Information

Property Address:

Zip Code:

Building Permit Application(s):

Record Number:

Assigned Planner:

Project Sponsor

Name:

Phone:

Email:

Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)		
Occupied Stories (all levels with habitable rooms)		
Basement Levels (may include garage or windowless storage rooms)		
Parking Spaces (Off-Street)		
Bedrooms		
Height		
Building Depth		
Rental Value (monthly)		
Property Value		

I attest that the above information is true to the best of my knowledge.

Signature: 	Date:
Printed Name:	<input type="checkbox"/> Property Owner <input type="checkbox"/> Authorized Agent

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

DR filed by Andrew Pellman & Mark Kerr

Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved?

The DR Requester has noted a series of concerns that are worthy of being addressed individually:

- (i) *The Project does not respect the neighborhood character and that of the two adjacent properties.*

The current design is a reflection of a series of changes made after the pre-app meeting, and through two rounds of plan check comments with the RDAT. Through extensive analysis of neighborhood character, the current scheme is in keeping with the eclectic mix of houses on Roosevelt Way.

- (ii) *The proposed development encroaches on light and air of the adjacent properties by not matching 250 Roosevelt Way's lightwell and/or by encroaching on existing lightwells with a door and deck/catwalk.*

As understood by the code, light and views are not protected. Still, the large lightwell along the front of 250 has been reciprocated in the horizontal addition of 254 Roosevelt Way. The existing building footprint of 254 Roosevelt does not reciprocate the rear light well of 250 Roosevelt Way. In the proposed plan, there are no changes to the footprint at the rear, and the height of the building is reduced by 2'-9.5" total. The catwalk can be made of perforated metal to ensure light penetration to the existing lightwell on 250 Roosevelt Way.

- (iii) *The Project does not conform to Planning's roofdeck guidelines*

The guideline suggest a five foot planted setback. We currently are proposing a three foot setback. We are prepared to increase this to five feet if required.

- (iv) *Project plans include substantial demolition of the exterior walls/foundation, demolition of nearly 100% of the interior layout, and replacement of the entire exterior facade. Despite the extent of the demolition, no demo calculations have been submitted. In the absence of substantiated calculations to the contrary, the proposed project should be considered "Tantamount To Demolition", and the Project Sponsor should be required to apply for a demolition permit*

We received this request from Andrew Pellman via Linda Ajello Hoagland by email on December 5, 2019, and on December 19, 2019 provided the calculations to Andrew Pellman, Mark Kerr and Linda Ajello Hoagland. The project is not close to any of the triggers to be considered “Tantamount To Demolition”. Refer to sheet A5.0 for more details (see attached Fig 1)

The DR Requester has asked for the following:

- (i) *Architectural Vision Screen for patio on Level 2 to provide privacy for adjacent light well*

The requester’s description of privacy issues is inaccurate in the DR. There are two solid doors and one recessed window below a set-back (see Fig 2). From the angle of view from the proposed patio, there is no loss of privacy to the single window on 250 Roosevelt. Lastly, solid handrails are provided on this patio to ensure extra privacy for both parties.

- (ii) In order to maintain light, air, and privacy for 250, we request that 254 match 250's [rear] existing lightwell and refrain from any development in the lightwell, leaving it free and open.

As mentioned above and understood by the code, light and views are not protected. The current rear light well is walled in by a wall (on 250’s property). The existing building footprint of 254 Roosevelt does not reciprocate the rear light well of 250 Roosevelt Way. In the proposed plan, there are no changes to the footprint at the rear, and the height of the building is reduced by 2’-9.5” total. While the sloped roof is flattened in the proposal, the increase in height is balanced by elimination of the existing overhang, which would have minimal impact on light.

- (iii) *Reduce the size of the roof deck*

The proposed roof deck is in keeping with the adjacent roof deck at 258 Roosevelt Way. The proposed roof deck contains a 3 foot planted perimeter for privacy (which 258 does not provide). The roof deck will be property of the top unit, while the rear yard will belong to the middle unit.

- (iv) *Height of front elevation should be reduced to follow topography of the hill.*

The current height of the building is within the allowable height by planning and zoning. The stepping down as mentioned between 258 and 250 is not a consistent rule to the street. In fact if you examine the relationship between 262 and 258 (just one property further up the hill), we have a large two storey increase in height by 258 Roosevelt Way (see Fig 3). The proposed development steps down along the front façade as it approaches 250 Roosevelt Way.

(v) *Match the 4'-0" setback from 258 Roosevelt Way.*

The current setback of 258 is one of three set backs (including the property in question 254 Roosevelt) when examining the street elevation (this includes 25 houses). The majority of houses on the street extend to the entirety of their property line. Our proposed design would retain the current set back on the existing part of the house, and continue this to the front of the property. Lastly, the majority of the adjacent façade to 254 Roosevelt (along the property lines) is without windows.

In summary, the majority of the above requests pertain to questions of impacted light/ view, which are not covered in any design guidelines or planning codes. The current design is the result of adjustments made after the PreApp meeting, and two rounds of plan check comments/ RDAT review to ensure compliance with all codes and residential design buildings and neighborhood character.

What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

During the PreApp meeting, the DR Requester expressed concern over privacy from roof deck, light penetration to existing (front) light well at 250 Roosevelt Way, and height of front façade/ transition. In response, a three foot perimeter privacy planter was provided on the roof deck, front light well was reciprocated in the plan, and the building was stepped down along the front façade as it approaches 250 Roosevelt Way. Currently, we are willing to increase the size of the planters to 5ft to ensure extra privacy.

If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements

that prevent you from making the changes requested by the DR requester.

While all expansions—horizontally or vertically—will have effects on surrounding properties, we do not feel that the effects caused by the design are significant. Stepping the property down, maintaining existing side setbacks, reciprocating lightwells, a careful study of window placement, and reducing the overall height of the house are just a few of the design features to ensure minimal effects on the adjacent properties and neighborhood. Working with the City Planners and Architects, we have complied with residential and planning codes while ensuring as much privacy and light access as possible.

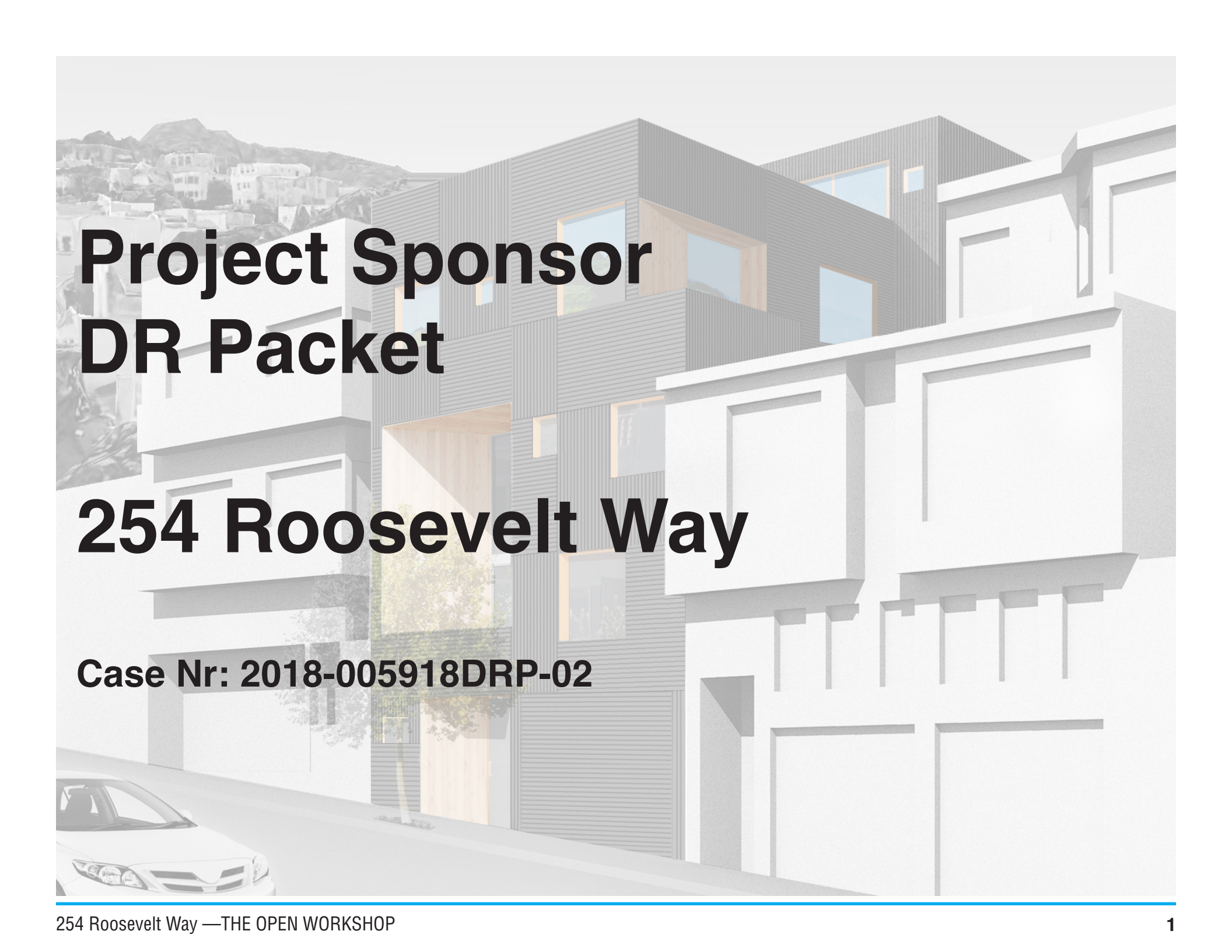
254 ROOSEVELT WAY DEMOLITION CALCULATIONS			
INTERPRETING MEASUREMENT			
SOFTWOOD PERMIT FLOOR	45-15000	23	100
SOFTWOOD PERMIT ROOF	45-15000	23	100
TOTAL PERMIT FLOOR		46	200
TOTAL PERMIT ROOF		46	200
SOFTWOOD PERMIT TOTAL		92	400
CONCRETE PERMIT FLOOR	45-15000	143.7	25.4
CONCRETE PERMIT ROOF	45-15000	143.7	25.4
TOTAL CONCRETE PERMIT FLOOR		143.7	25.4
TOTAL CONCRETE PERMIT ROOF		143.7	25.4
TOTAL CONCRETE PERMIT TOTAL		287.4	50.8
TOTAL PERMIT TOTAL		380.0	100.0
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TOTAL PERMIT ROOF		716615298236.2	161920274208.4
TOTAL PERMIT TOTAL		1433230596472.4	323840548416.8
TOTAL CONCRETE PERMIT TOTAL		287.4	50.8
TOTAL PERMIT TOTAL		1433230596759.8	323840548467.6
TOTAL PERMIT FLOOR		1433230596759.8	323840548467.6
TOTAL PERMIT ROOF		1433230596759.8	323840548467.6
TOTAL PERMIT TOTAL		2866461193519.6	647681096935.2
TOTAL CONCRETE PERMIT TOTAL		287.4	50.8
TOTAL PERMIT TOTAL		2866461193807.0	647681096986.0
TOTAL PERMIT FLOOR		2866461193807.0	647681096986.0
TOTAL PERMIT ROOF		2866461193807.0	647681096986.0
TOTAL PERMIT TOTAL		5732922387614.0	1295362193972.0
TOTAL CONCRETE PERMIT TOTAL		287.4	50.8
TOTAL PERMIT TOTAL		5732922387901.4	1295362193982.8
TOTAL PERMIT FLOOR		5732922387901.4	1295362193982.8
TOTAL PERMIT ROOF		5732922387901.4	1295362193982.8
TOTAL PERMIT TOTAL		11465844775802.8	2590724387965.6
TOTAL CONCRETE PERMIT TOTAL		287.4	50.8
TOTAL PERMIT TOTAL		11465844776090.2	2590724387986.4
TOTAL PERMIT FLOOR		11465844776090.2	2590724387986.4
TOTAL PERMIT ROOF		11465844776090.2	2590724387986.4
TOTAL PERMIT TOTAL		22931689552180.4	5181448775972.8
TOTAL CONCRETE PERMIT TOTAL		287.4	50.8
TOTAL PERMIT TOTAL		22931689552467.8	5181448776023.6
TOTAL PERMIT FLOOR		22931689552467.8	5181448776023.6
TOTAL PERMIT ROOF		22931689552467.8	5181448776023.6
TOTAL PERMIT TOTAL		45863379104935.6	10362897552047.2
TOTAL CONCRETE PERMIT TOTAL		287.4	50.8
TOTAL PERMIT TOTAL		45863379105223.0	10362897552098.0
TOTAL PERMIT FLOOR		45863379105223.0	10362897552098.0
TOTAL PERMIT ROOF		45863379105223.0	10362897552098.0
TOTAL PERMIT TOTAL		91726758210446.0	20725795104196.0
TOTAL CONCRETE PERMIT TOTAL		287.4	50.8
TOTAL PERMIT TOTAL		91726758210733.4	20725795104246.8
TOTAL PERMIT FLOOR		91726758210733.4	20725795104246.8
TOTAL PERMIT ROOF		91726758210733.4	20725795104246.8
TOTAL PERMIT TOTAL		183453516421466.8	41451590208493.6
TOTAL CONCRETE PERMIT TOTAL		287.4	50.8
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TOTAL PERMIT FLOOR		183453516421754.2	41451590208544.4
TOTAL PERMIT ROOF		183453516421754.2	41451590208544.4
TOTAL PERMIT TOTAL		366907032843508.4	82903180417088.8
TOTAL CONCRETE PERMIT TOTAL		287.4	50.8
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TOTAL PERMIT FLOOR		366907032843795.8	82903180417139.6
TOTAL PERMIT ROOF		366907032843795.8	82903180417139.6
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TOTAL CONCRETE PERMIT TOTAL		287.4	50.8
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TOTAL PERMIT FLOOR		733814065687879.0	165806360834330.0
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TOTAL PERMIT FLOOR		1467628131376045.4	331612721668710.8
TOTAL PERMIT ROOF		1467628131376045.4	331612721668710.8
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TOTAL CONCRETE PERMIT TOTAL		287.4	50.8
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TOTAL PERMIT FLOOR		2935256262752378.2	663225443337472.4
TOTAL PERMIT ROOF		2935256262752378.2	663225443337472.4
TOTAL PERMIT TOTAL		5870512525504756.4	1326450886674944.8
TOTAL CONCRETE PERMIT TOTAL		2	



Fig 2: "Lightwell" to the right of the photo in question. One window with vision glass, and two solid doors (Second door to the right not shown in this view)



Fig 3: Transition between 262 and 258 Roosevelt does not step with topography



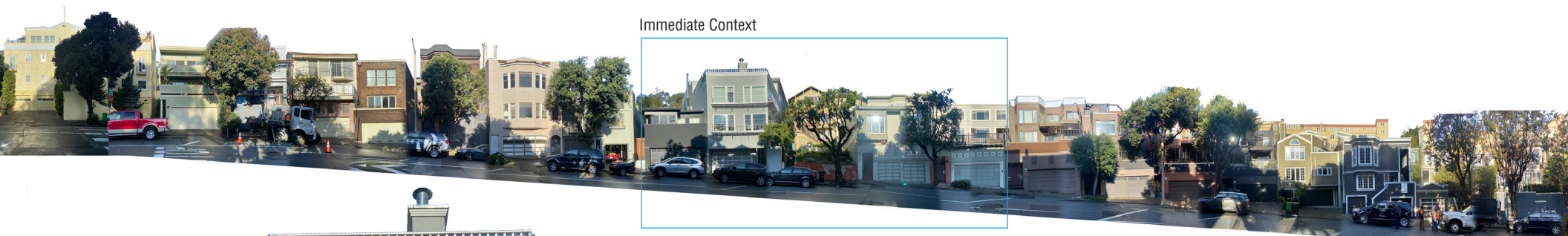
Project Sponsor DR Packet

254 Roosevelt Way

Case Nr: 2018-005918DRP-02

Context

Roosevelt Way is an eclectic mix of residential fabric. The majority of houses extend to the street (254 Roosevelt Way is one of only two remaining properties that currently is set back), and the majority of properties extend to their edge property lines to create a continuous street wall. Architecturally, there are a variety of styles, materials, and massing configurations. There is a predominance of square window fenestrations, which served as an influence for our proposal. Further, there are a series of more contemporary houses. Our proposal seeks a balance between the existing massing and fenestration on the street, while creating a contemporary project.



Project Goals



The Goals of 254 Roosevelt Way are to provide:

- Livable and affordable family units
- Maintain the existing three units at an affordable price
- Create units to Age-in-Place
- Create a unit for the Project Sponsor to retire and age-in-place
- Create healthy individual outdoor spaces for each unit
- Continue the street wall
- Work with the existing context—including massing and fenestration—yet create something contemporary

Letter by Project Sponsor

Date: April 29, 2020
To: SF Planning Commissioners
From: Linda "Spike" Kahn, property owner
Re: 254 Roosevelt Way, SF 94114

Dear Commissioners:

I own the property located at 254 Roosevelt Way, which I bought 36 years ago, and lived in until 2010, when the hill became too much for me to climb up and down. I am a senior, and now live in the Mission, where everything is flat. I would love to return to my home up the hill, and retire in place once the project is complete. That is why there is an elevator planned for the project.

My intention in writing this letter is to give a larger background to me and the project. When I bought the property in 1994, there was an elderly tenant there, Craig, who had lived there since 1965! Craig was paying ~\$600 rent then. I never raised the rent, even with the banked increases allowed by the SF Rent Board, as he was surviving only on his social security income, and would not have been able to afford a higher rent. Here's a letter in support of legislation for Tenant Protections 2.0 that mentions him (and me): <https://48hills.org/2015/09/its-not-hard-to-be-an-ethical-landlord/>.

I did not want to disturb this elderly gentleman, so I did not start this project until he passed away earlier this year. I did not want to displace him from his home during construction. My other tenants are relatively new, and all work in the tech fields, are financially well off, and have options. They were all told before moving in that I would be doing this construction project once Craig was gone, and they moved in knowing fully well that this project would happen. One tenant told me they might be interested in buying the larger unit once the construction was done, and move their parents in with them. The other current tenant told me he was interested in renting out the middle, 2 bedroom unit, once it was built. I plan on living in the top unit, with the deck. After 36 years, it would be nice to finally get the view from the top floor!

I support the Planning Commission's goals to create more livable units and family units in the City, and have often testified at SF Board of Supervisors and Planning Commission hearings from a position of being an ethical landlord. This project will create a large 3 bedroom unit in place of a tiny 450 sf studio apartment. The second floor unit will be larger with more light and air. The upstairs unit will add a modest roof deck, to provide additional light and air to my smaller owner's unit. An elevator will allow me to age in place in my home.

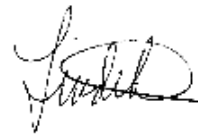
I have also received a Good Samaritan commendation from the Board of Supervisors for housing a family displaced by one of the fires in the Mission.

Additionally, I sought out a school teacher who had become homeless, and rented her a flat at below market rates: https://sfist.com/2017/06/28/previosly_homeless_sf_math_teacher/

This has been my home for decades, and I have been working with my neighbors to take into account their concerns. Although our original project was approved by Planning Dept staff, I have reduced the roof deck by 2/3rds of its originally-approved size. We were asked at a meeting with the neighbors, held at the Planning Dept, to change the stairs from inside the building, to outside/exterior, to allow for more light and air between the building uphill from me, which we did. We also have decreased the entire western wall by 1 foot in, to further give more room between the buildings, even though most of the buildings along the street all are side by side along the property line, without any space between the buildings. The downhill neighbors asked us to move the second egress stairway back, which we accommodated, even though it reduced the size of our master bathroom. We also lowered the overall height of the building, pulled in and lowered the parapets, and changed the entrance to make it more welcoming, at their request. They also asked us to put a privacy screen at our little wine balcony on the middle floor, but then they said not to, so we left it alone.

Please approve this project. It conforms to the eclectic street, where all but me and one other building have already built out their own buildings to the street. This is completing the street wall, and I feel the architect did an outstanding job of conforming to the existing neighborhood aesthetic. Please let me build my retirement house that will be nicer and more accessible than this old building is currently. I will be available on the portal to answer any questions during the hearing.

Sincerely,



Linda "Spike" Kahn

Letters of Support by Neighbors

274 Roosevelt Way — John M. Sinclair

JOHN M. SINCLAIR

Attorney at Law

May 3, 2020

Via email to spikekhanh@gmail.com

c/o Spike Khanh
San Francisco Planning Commission
City and County of San Francisco
1650 Mission Street
San Francisco CA 94103-2414

**Re: 254 Roosevelt Way
Case no. 2018-005918DRP-02**

Dear Commissioners,

I am writing to express my enthusiastic support for the project at 254 Roosevelt Way.

I have been a tenant at the address shown in the margin for nearly sixteen years. In that time Ms. Kahn has always been a good neighbor, and her plans to upgrade her property will improve the entire street.

I have been inside the existing building at 254 Roosevelt Way. It is old and the units are small. The current studio apartment on the lower level is only large enough for one person. With this new project, Spike will enlarge that studio apartment and turn it into a 3-bedroom flat suitable for a family.

The middle unit will also increase from a very small 2-bedroom unit so small that appliances have to be carried in through the window, to a normal sized 2-bedroom apartment.

The proposed roof deck, at 16' x 11', is large enough to help give some open space to the upper unit but has been scaled back to one third of the total roof area, so it will not be not too large or likely to become a "party roof."

274 ROOSEVELT WAY, SAN FRANCISCO, CALIFORNIA 94114 (RESIDENCE)

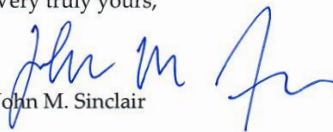
EMAIL: JOHNMARSHALLSINCLAIR@YAHOO.COM

TO: SAN FRANCISCO PLANNING COMMISSION
FROM: JOHN M. SINCLAIR
DATE: MAY 3, 2020

The improvements are in keeping with the scale of the existing construction in the neighborhood and will be a welcome addition to the block.

I hope you can support this project as currently planned.

Very truly yours,


John M. Sinclair

Letters of Support by Neighbors

266 Roosevelt Way — Nick Vucurovich & Vicki Giannini

266 Roosevelt Way
San Francisco, CA 94114

May 3, 2020

San Francisco Planning Commission
City and County of San Francisco
1650 Mission Street
San Francisco CA 94103-2414

Re: 254 Roosevelt Way
Case no. 2018-005918DRP-02

Dear Commissioners,

I would like to express my support for the project at 254 Roosevelt Way. I have known Spike for the past 36 years. She has always been a good neighbor.

I like the new plans for the project. Her property has been in need of repair, but she waited so as not to disturb Craig, the older man who has lived there since the 1960s, with construction noise, etc. Craig has recently passed away, and now Spike can finally fix up her property.

Please support the project as is, without changing too much. I like it how it is proposed.

Thank you,

Nick Vucurovich 5/3/2020

Nick

Victoria Giannini
266 Roosevelt Way
San Francisco, CA 94114

May 3, 2020

San Francisco Planning Commission
City and County of San Francisco
1650 Mission Street
San Francisco CA 94103-2414

Re: 254 Roosevelt Way
Case no. 2018-005918DRP-02

Dear Commissioners,

I would like to express my support for the project at 254 Roosevelt Way.

I grew up on this street, and am a retired school teacher. There are not that many of us old timers left. Spike has been a good neighbor for the past 36 years. She has been wanted to upgrade her property for years, but waited until her original tenant, Craig, who was in his 90s, passed away this year, before beginning the construction process. He lived there since 1964, and she did not want to disturb him with construction noise or displacement. She kept his original rent, even though she could have legally given him legal rent increases. She is a good neighbor.

I like the new plans for the project. All of the buildings on the street filled in their front yards decades ago. Spike's property is one of the last 2 houses on the entire street who has yet to build out. She should not be stopped from doing what we all have already done: increase the building size to allow for larger families to live on the street.

Thank you,

Victoria Giannini 5/3/2020

Vicki Giannini

Letters of Support by Neighbors & Former Tenant

270 Henry Street / 254 Roosevelt Way

Dear Planning Commissioners,

I would like to express my support for the project at 254 Roosevelt Way.

Her property has a retaining wall that needs repair, and in so doing that, she will also expand the square footage of the units, so she can rent to families, not just to singles in her studios and small 2 bedroom units. The place has a nice backyard that would be nice for children, but the present configurations are too small for families.

Spike was waiting until her longest tenant, Craig, passed, so as not to disturb him with construction noise and debris. Craig had lived there since the mid-1960s and lived off of his sole social security check, so could not afford to move. He was like a grandpa to us all on the street. Spike never raised his rent in all the years she owned the building, and would shop for Craig and drive him to doctor's appointments. Spike is not a typical landlord, but rather cares for her tenants.

Please count me in as a neighbor in support of this project.

Thank you.

Cindy Shih

Cindy Shih
270 Henry St.
SF, CA 94114

To: SF Planning Commissioners

From: Rodney Ewing, past tenant at 254 Roosevelt Way, SF 94114

I would like to express my support for the project at 254 Roosevelt Way. I lived at 254 Roosevelt Way from 2004-2010.

Living in the tiny 2-bedroom apartment was a challenge. Even though the units were nice inside and recently remodeled, a 6'x9' kitchen is still tight. You had to step back and away to use the oven, or open the refrigerator door. I know Spike had wanted to enlarge the apartment, but didn't want to disturb the original tenant, Craig. He passed away recently, so now she is finally able to fix up her home and make it possible for her to age-in-place, by adding an elevator. The 89 steps from the street up to the top unit were tiring after a long day.

The neighborhood is convenient to both the Castro and the Haight, and a dog park across the street makes the home a nice family space. I fully support her plans to make a clean, modern building that still fits in with the other buildings on the street. There has been a lot of upgrading on that stretch of Roosevelt Way over the years, and after the house across the street turned a small cottage into a huge, 2 unit building with 2 huge roof decks last year, Spike's house is now the last building on the street to upgrade to the quality of the other houses. I fully support this project.

Thank you.

Rodney Ewing

ledette@gmail.com

www.rodneyewing.com

DR Concerns

The following DR Concerns have been addressed individually. In what follows, we unpack each issue, through text and graphics to provide an understanding of the situation, its impact, and our modifications. Negotiations with the two neighbors over the past 4 months has proved fairly successful, with the largest outstanding concerns to note being Issues 2 & 4.

250 Roosevelt
DR Requester
Concern

1

2

3

4

5

6

258 Roosevelt
DR Requester
Concern

4

6

7

Tantamount Demolition

Page 9

Privacy for 250 Roosevelt Way from Balcony

Page 10-12

Privacy for 250 Roosevelt Way from Rear Exit

Page 13

Roof Deck

Page 14-17

Street Wall following Topography

Page 18-19

Light / Air for 258 Roosevelt Way front rooms

Page 20-22

Entry Area dark along 258 Roosevelt Way

Page 23-24

Appendix

Page 25

1

DR Concern:

“Project plans include substantial demolition of the exterior walls/foundation, demolition of nearly 100% of the interior layout, and replacement of the entire exterior facade. Despite the extent of the demolition, no demo calculations have been submitted. In the absence of substantiated calculations to the contrary, the proposed project should be considered “Tantamount To Demolition”, and the Project Sponsor should be required to apply for a demolition permit”

Response:

After receiving this request, we provided the calculations to Andrew Pellman, Mark Kerr and AICP Senior Planner, Linda Ajello Hoagland on December 19, 2019. The project is not close to any of the triggers to be considered “Tantamount To Demolition”. The project as approved is a horizontal addition, not a demolition. See Fig 1A and 1B.

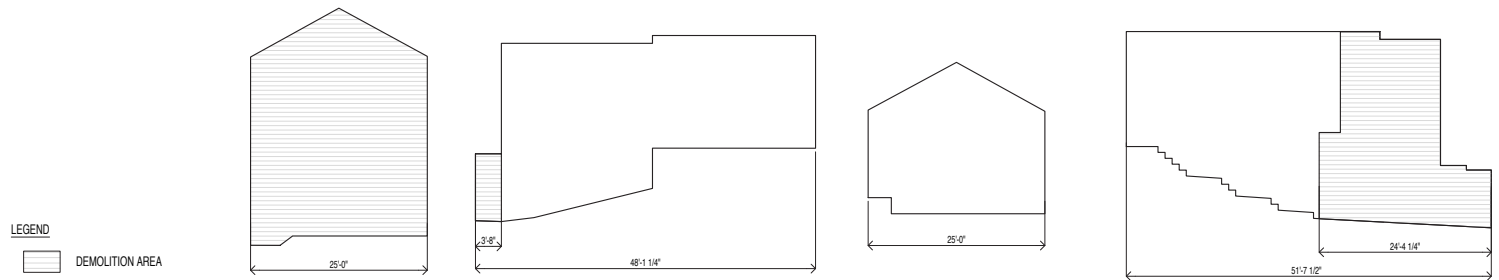
LINEAR FOOTAGE MEASUREMENT				
ELEMENT	<E> LENGTH	REMOVED	%REMOVED	
SOUTH-EAST (FRONT) FAÇADE		25	25	100
NORTH-WEST (REAR) FAÇADE		25	0	0
TOTALS		50	25	50
NORTH-EAST (SIDE) FAÇADE		51.6	24.35	47.2
SOUTH-WEST (SIDE) FAÇADE		48.1	3.66	7.6
TOTAL		149.7	53.01	35.4

AREA MEASUREMENT				
VERTICAL ELEMENTS	<E> AREA (SF)	REMOVED (SF)	% REMOVED	
SOUTH-EAST (FRONT) FAÇADE		726.7	726.7	100
NORTH-WEST (REAR) FAÇADE		442.3	0	0
NORTH-EAST (SIDE) FAÇADE		896.3	34.9	3.9
SOUTH-WEST (SIDE) FAÇADE		1095.5	469.6	42
TOTAL		3160.8	1231.2	38.9
HORIZONTAL ELEMENTS	<E> AREA (SF)	REMOVED (SF)	% REMOVED	
LEVEL 2 FLOOR		896	0	0
LEVEL 3 FLOOR		935.57	0	0
LEVEL 3 ROOF		1052.46	1052.46	100
TOTAL		2884.03	1052.46	36.5



Fig. 1A
Demolition Calculations (Right, Above)

Fig 1B
Demolition extents by facade (right)



2

DR Concern:

Provide Architectural/ Vision Screen at the north railing. As currently designed, this patio area provides direct vision into 3 units of 250: (i) **the living room of 250-2**, (ii) **the living room and bedroom of 250-3**, and (iii) the bedroom of 250-1. Requiring construction of a vision screen at the northern end of the deck would prevent direct visibility into the living spaces of 3 units in 250.

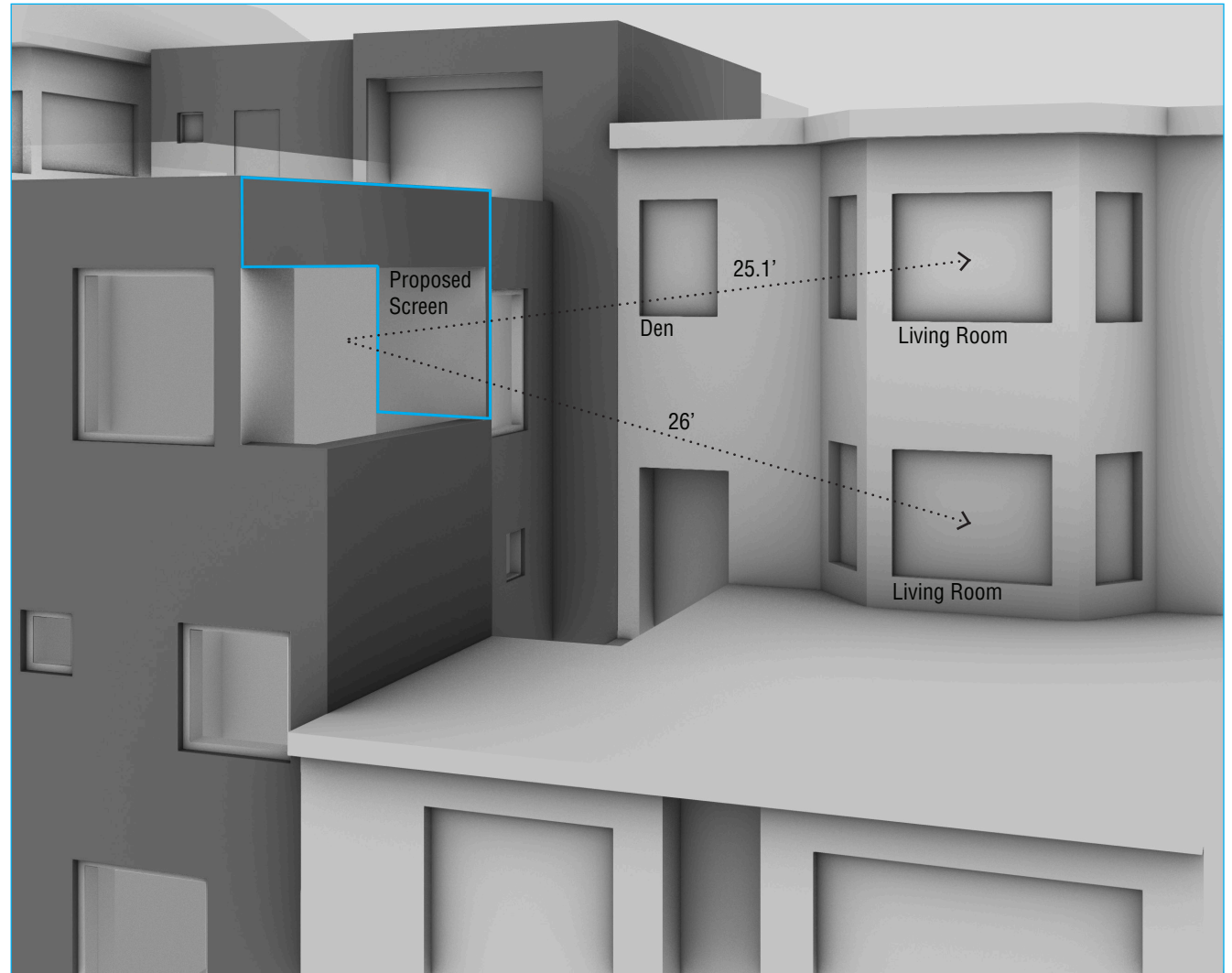


Fig. 2A

Context: Location of Balcony, Proposed screen and rooms of 250 Roosevelt in Question.

2

Response

As recommended by the DR requester, we offered a screen at the north edge of the balcony to provide screening. We found this effective at creating privacy to the Den at 250-3. The view into the living rooms is over 25 feet away. While we feel the screen is unnecessary due to the distance from the house, we offered this option (DR requester rejected the proposal despite it being their idea). (See Fig. 2B/ 2C)



Fig. 2B
View without Screen

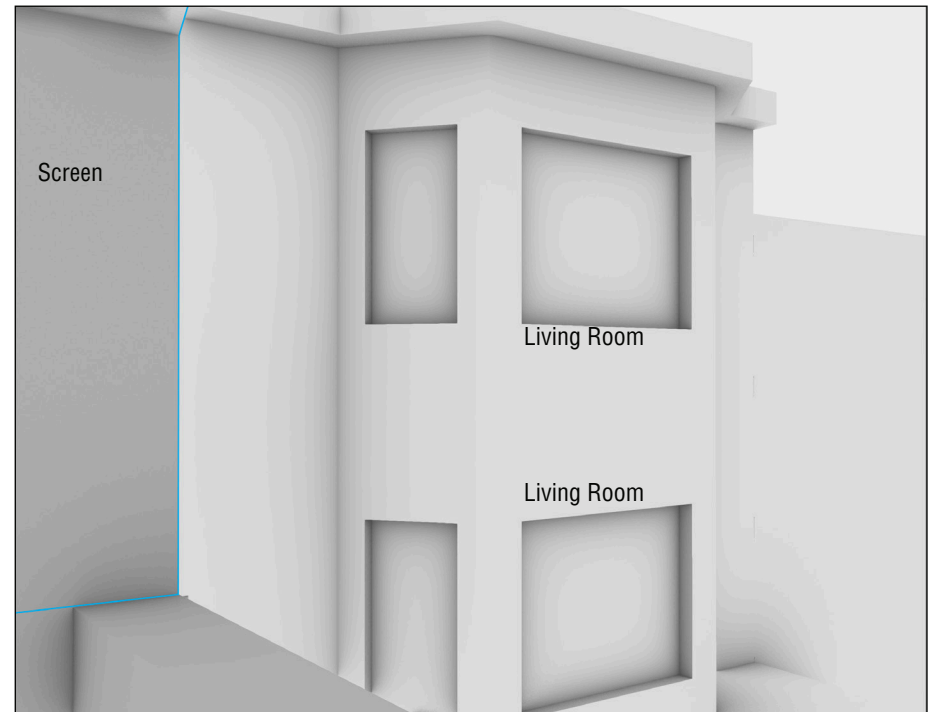


Fig. 2C
View with Screen

2

DR Concern:

Provide Architectural/ Vision Screen at the north railing. As currently designed, this patio area provides direct vision into 3 units of 250: (i) the living room of 250-2, (ii) the living room and bedroom of 250-3, and (iii) **the bedroom of 250-1**. Requiring construction of a vision screen at the northern end of the deck would prevent direct visibility into the living spaces of 3 units in 250.

Response:

The requester's description of privacy issues for bedroom in 250-1 is inaccurate in the DR. There are two solid doors and one recessed window below a set-back (see Fig 2E). From the angle of view from the proposed patio, there is no loss of privacy to the lower level windows on 250 Roosevelt (Fig 2D).

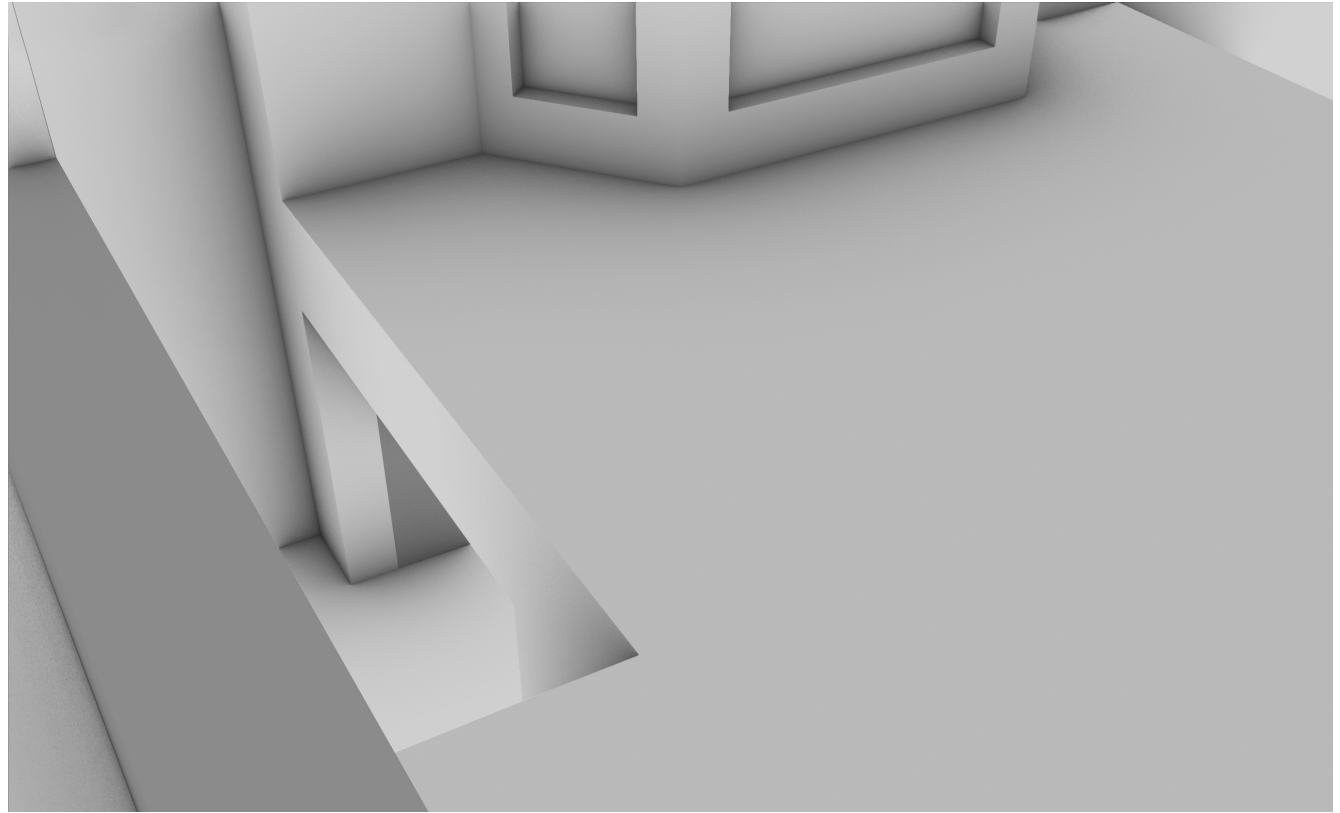


Fig. 2D
View looking over and down towards lightwell



Fig. 2E
Photo of recessed doors and windows in question

3

DR Concern:

In order to maintain light, air, and privacy for 250, we request that 254 match 250's [rear] existing lightwell and refrain from any development in the lightwell, leaving it free and open.

Response:

The project sponsor has adjusted the plans to directly address this concern. This included moving the stairway and egress door.

Fig. 3A
Partial Level 2 Plan
Originally submitted for 311

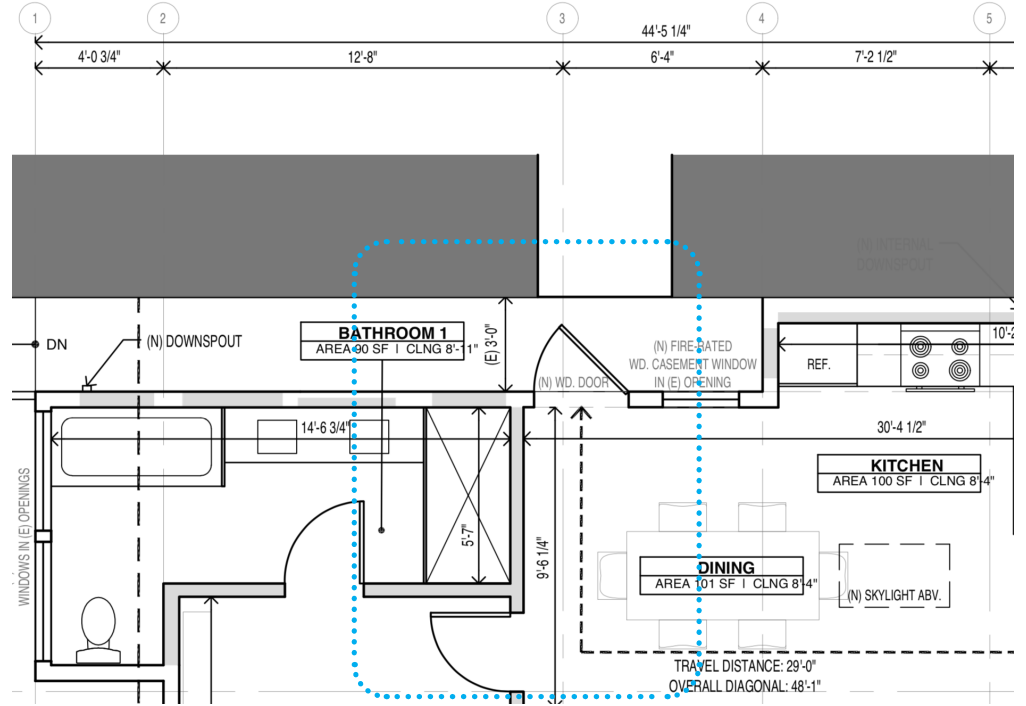
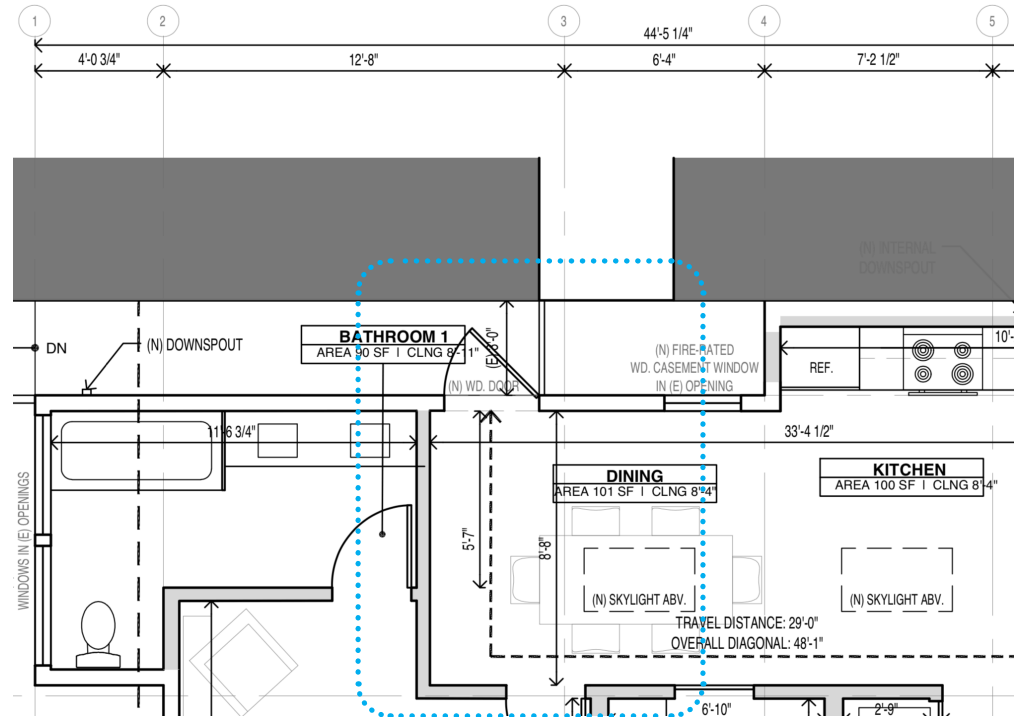


Fig. 3B
Partial Level 2 Plan
Revised Exit to maintain privacy



4

DR Concern:

On the south and west, we note that the proposed roof deck does not conform to the recommended setback of 5'0" from the property line. At a minimum, we request that these setbacks be enforced, and that the parapet/rails be set inboard of any planting area to ensure that setbacks are maintained long-term and to minimize the impact of the roof deck on 250.

Response:

The proposed roof deck is in keeping with the adjacent roof deck at 258 Roosevelt Way (See Fig 4A). The proposed roof deck contains a 3 foot planted perimeter for privacy (which 258 does not provide). The roof deck will be property of the top unit, while the rear yard will belong to the middle unit.

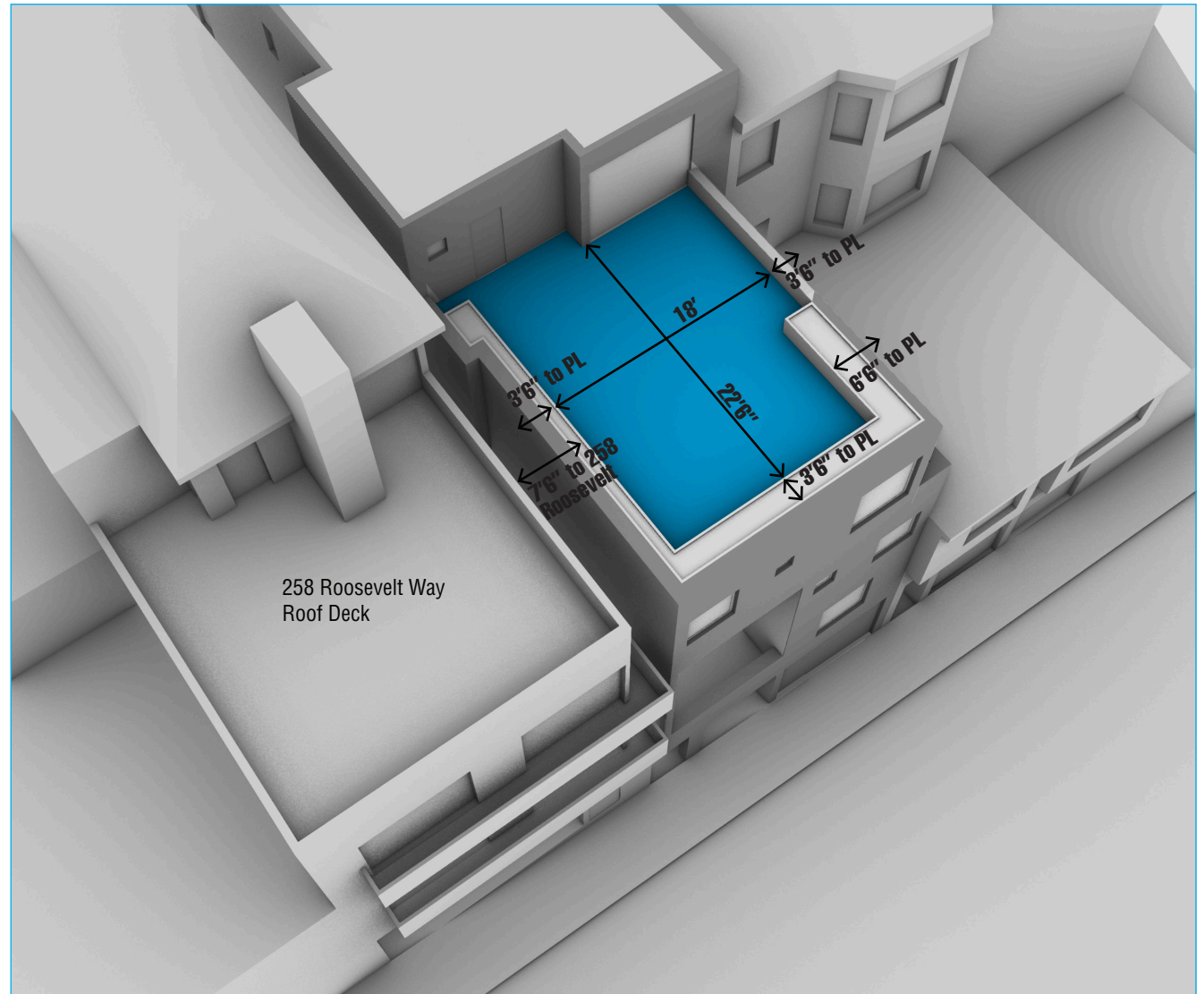
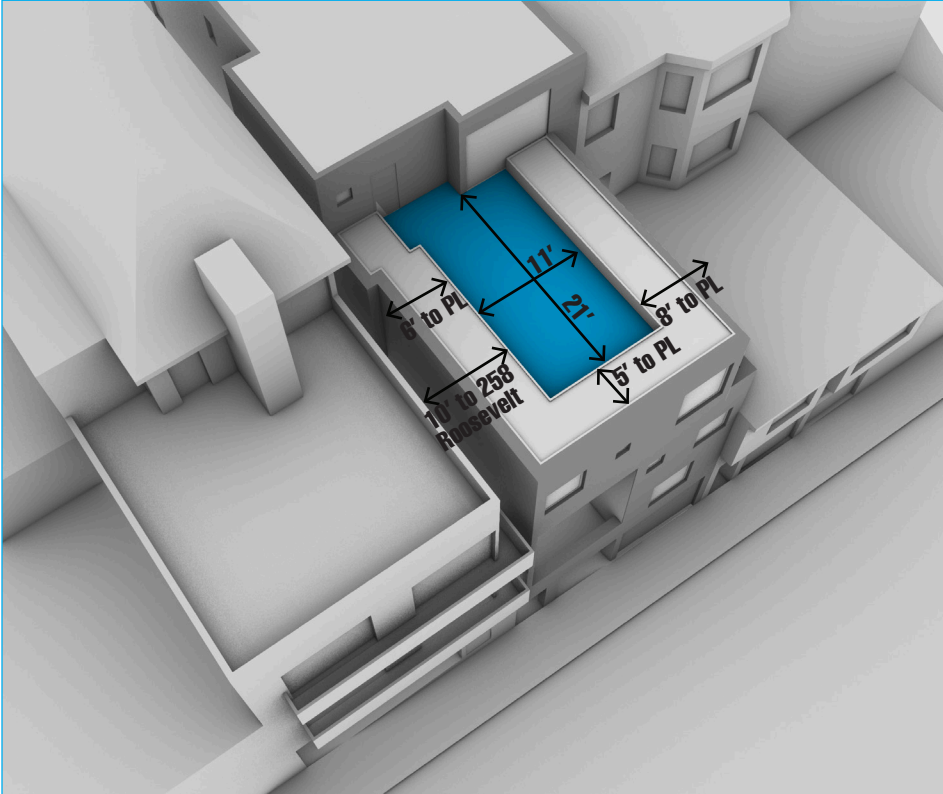


Fig. 4A
Roof Deck
Originally submitted for
311

Roof size: 550 SF
Deck Size: 18'x22'6"
Usable Area: 395 SF

4

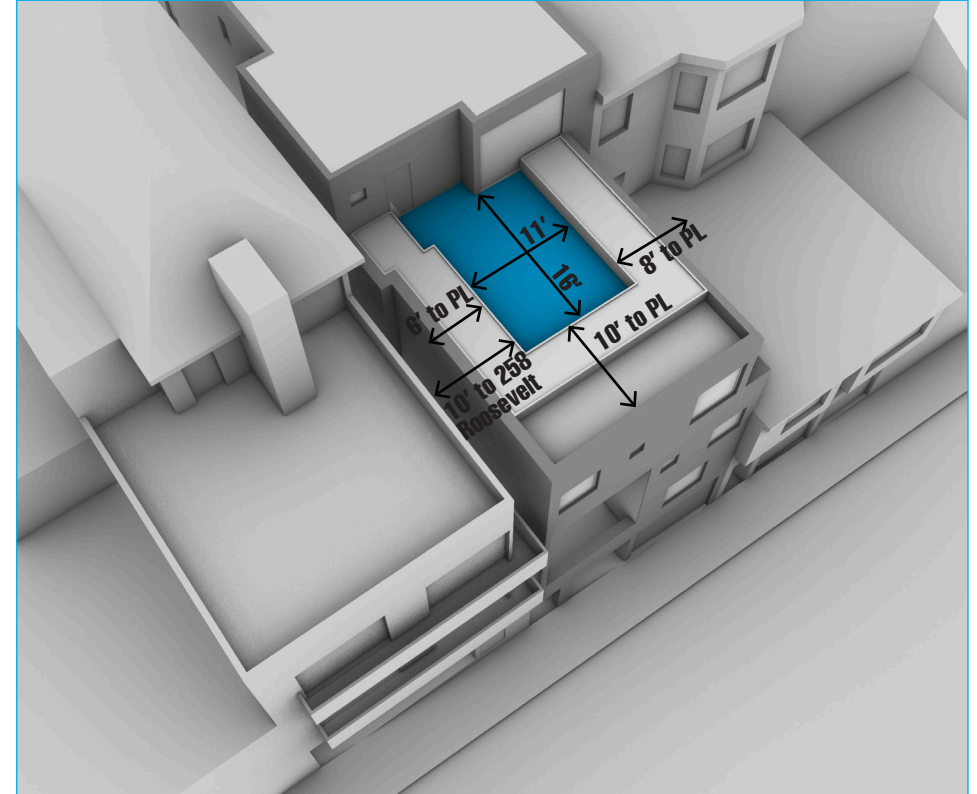
Fig. 4B
Roof Deck with 5' continuous planter
Deck Size: 21' x 11'
Usable Area: 244 SF



Response:

Since the DR was filed, the project sponsor has done a series of studies to negotiate with the neighbors. The first negotiation of a 5' planter is presented on the left.

Fig. 4C
Roof Deck with 5' continuous planter, pulled in 10' from street
Deck Size: 16'x11'
Usable Area: 183 SF



Subsequent negotiations included further reducing the area of the roof deck, bringing it 10' from the front property line, 6' away from the property line adjoining 258 Roosevelt and 8' from the property line to 250 Roosevelt. **What is shown above is in complete conformance with the (not ratified) roof deck guidelines.**

4

Response:

In further conversation with Principal Architect — Design Review, David Winslow, the roof deck was adjusted by rotating its geometry to reduce the view angle back to the adjacent properties. This final proposal leaves 14'-8" setback from the front of the property, 5'-6" setback to the property line of 250 Roosevelt Way, and 3'-6" to the property line of 258 Roosevelt Way (7'-6" set back from the building face). The reason for this rotation, was to reduce the visibility of the roof deck from the two adjacent properties (See Fig. 4E and 4F).

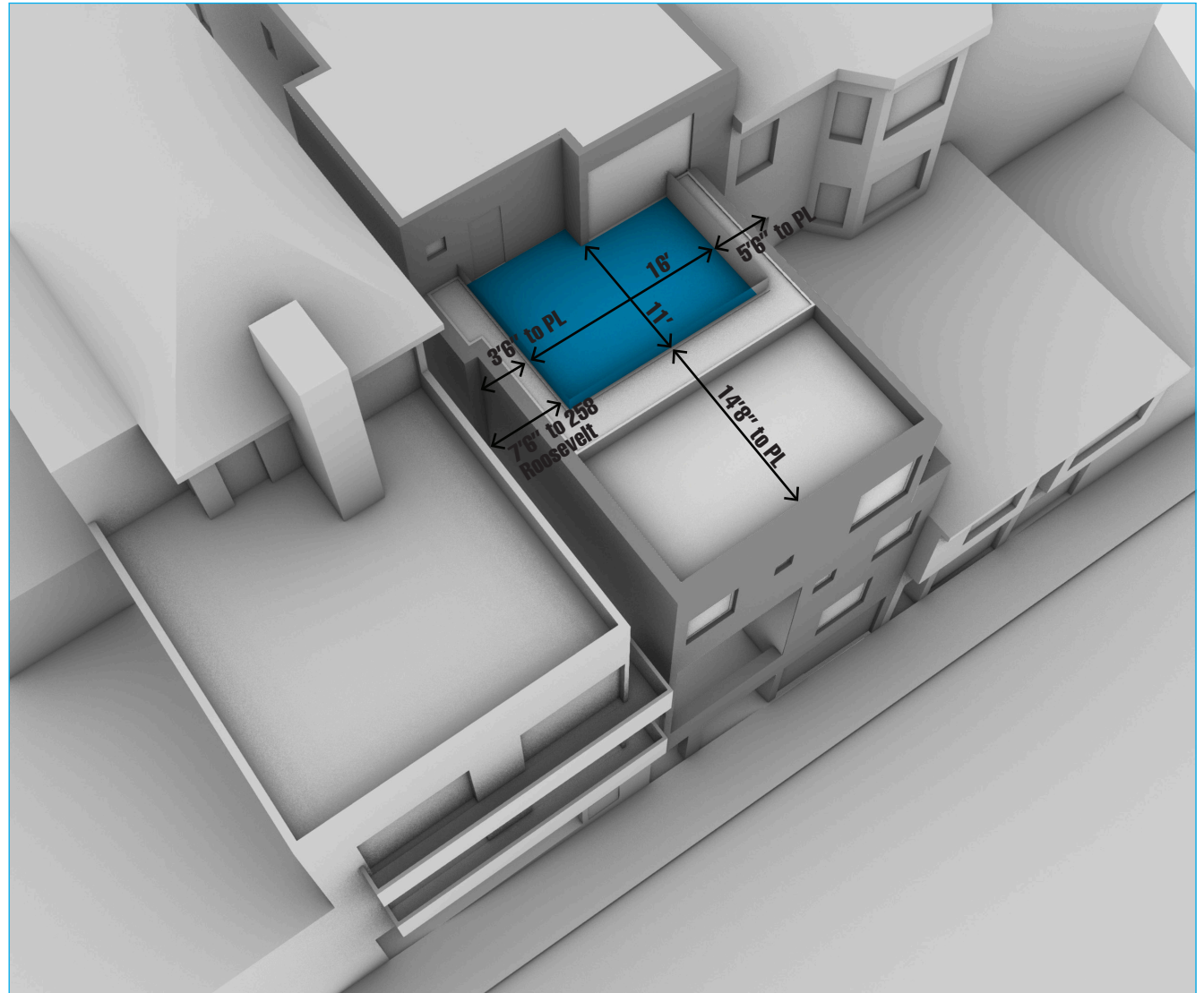


Fig. 4D
Roof Deck — Final Proposal in consultation w/ David Winslow

Deck Size: 11'x16'
Usable Area: 183 SF

4

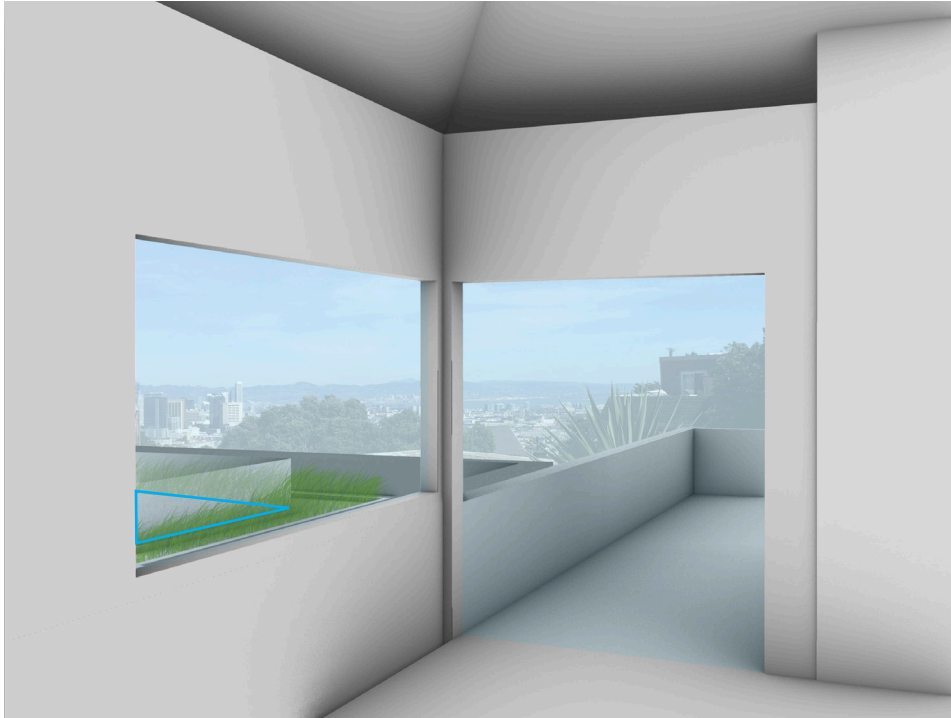


Fig. 4E
View of Roof Deck from 258 Roosevelt
(Extent of occupiable space highlighted with blue outline)

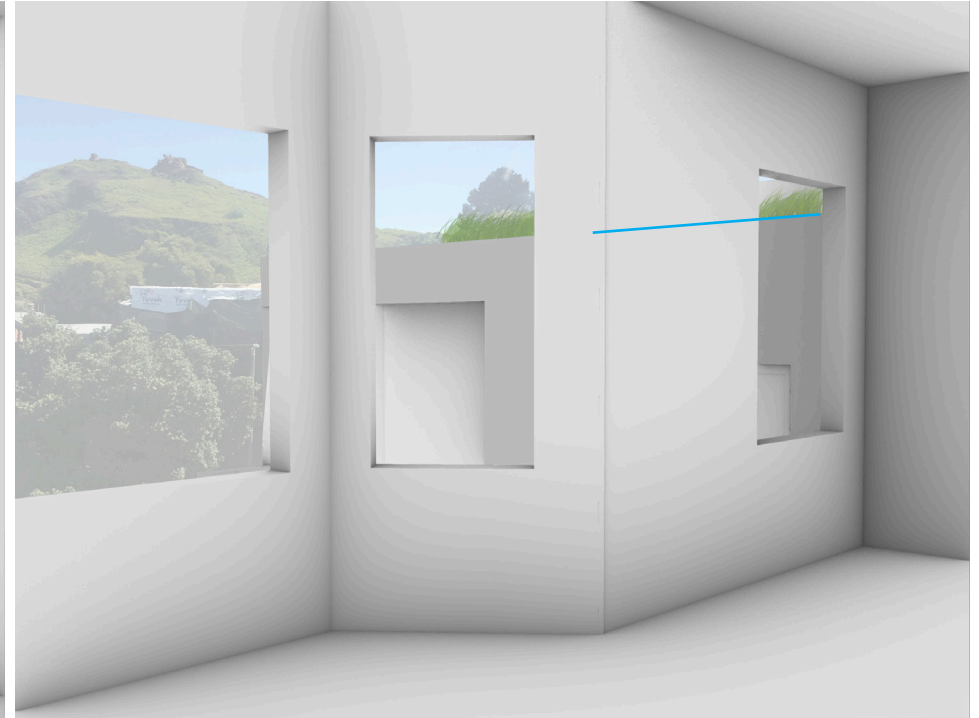


Fig. 4F
View of Roof Deck from 250 Roosevelt
(Extent of occupiable space highlighted with blue outline)

Response:

This final proposal leaves little visible view of the occupiable deck from the interior of 258 and 250 Roosevelt.

5

DR Concern

Height of front elevation should be reduced to follow topography of the hill.

Response:

The current height of the building is within the allowable height by planning and zoning. The stepping down as mentioned between 258 and 250 is not a consistent rule to the street (See Fig. 5A). In fact if you examine the relationship between 262 and 258 (just one property further up the hill), we have a large two storey increase in height by 258 Roosevelt Way. The proposed development steps down along the front façade as it approaches 250 Roosevelt Way. *(Response continues on following page)*



Fig. 5A
Street elevation of Roosevelt Way, highlighting in blue the many instances of the street wall not obeying the topography.

5

Response:

We have addressed this issue by reducing the height of the parapet to allow for the stepping of the street edge to follow the topography.

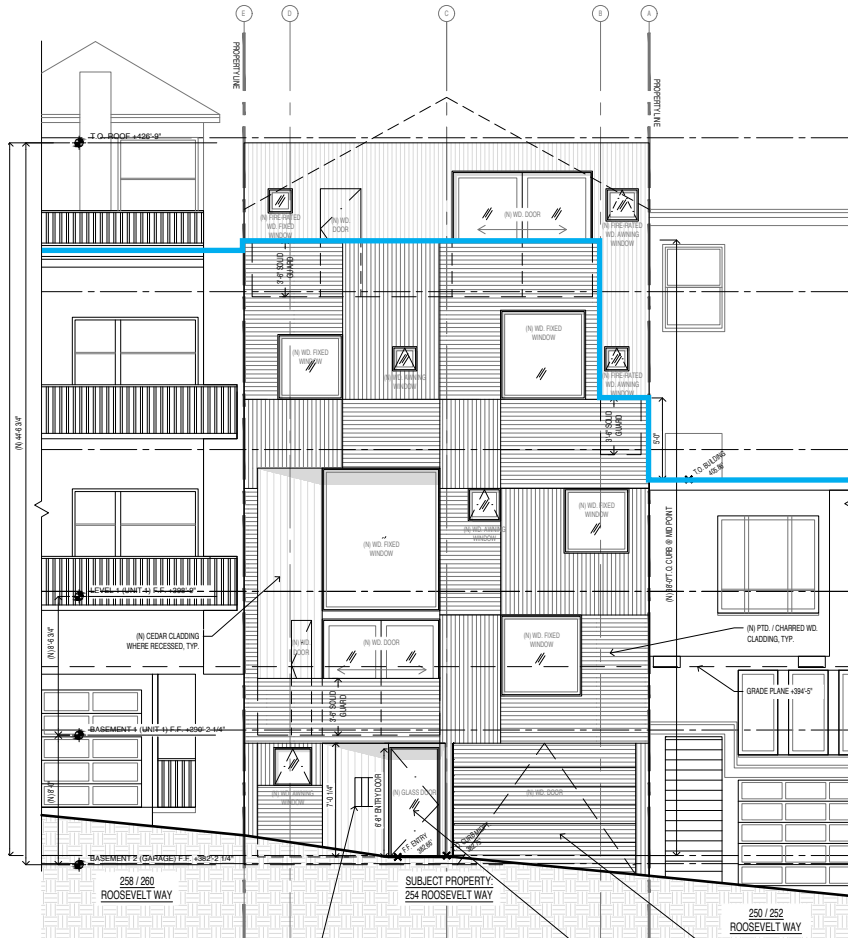


Fig. 5B
Original 311 elevation, with street edge profile highlighted in blue.

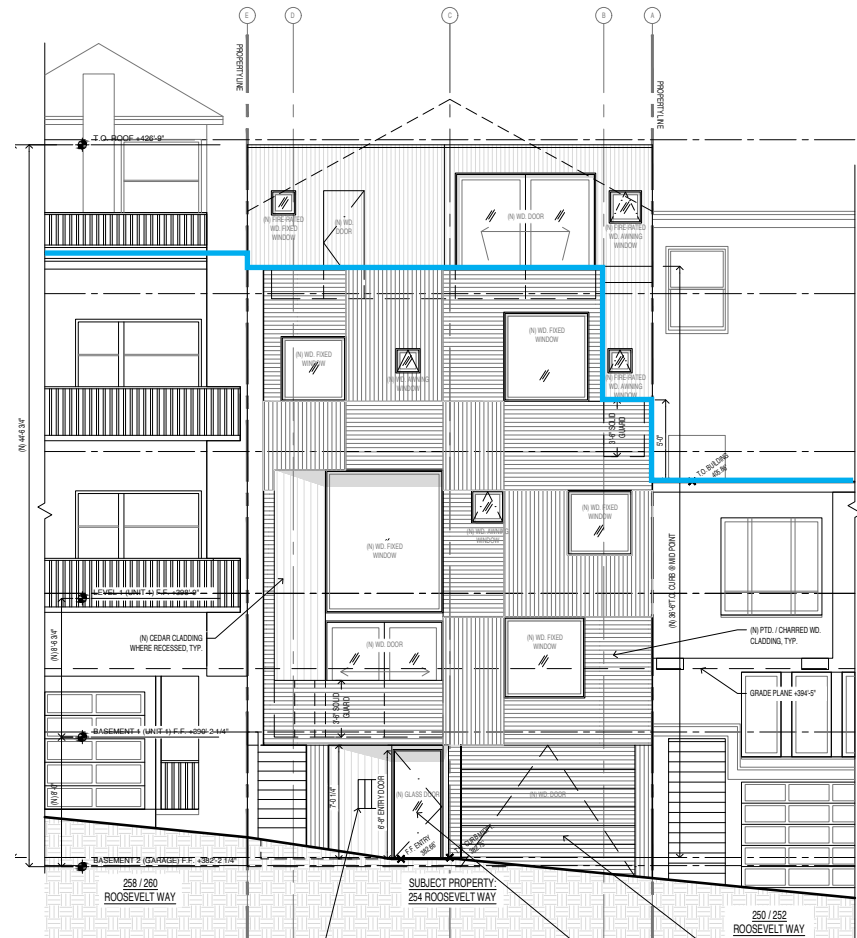


Fig. 5C
Modified elevation, with street edge profile highlighted in blue and stepping with topography.

6

DR Concern:

Setback the building from 258 Roosevelt Way.

Response:

The current side setback of 258 is one of three set backs (including the property in question 254 Roosevelt) when examining the street elevation (See Fig 6A). The majority of houses on the street extend to the entirety of their property line. Our proposed design submitted at 311 would retain the current set back on the existing part of the house, and continue this to the front of the property. Lastly, the majority of the adjacent façade to 254 Roosevelt Way is without windows. The most impacted windows occur closer to the front of the property, where there is ample light provided from the front facade (See Fig 6B).



Fig. 6A

Setbacks along Roosevelt way are an anomaly. There are only three instances in the 23 houses shown above.

254 Roosevelt Way



Fig. 6A
Windows/ Rooms in question of 258 Roosevelt Way.
Views show interior connection of room and ample natural light and air being received from the south-facing, ceiling to floor, front windows. In addition, the side windows would still receive light/ air from the setback between the houses.

6

Response:

Although 258 Roosevelt Way's rooms receive ample light from the large, ceiling-to-floor, southern exposure windows, we still have introduced a 1'-0" setback from the property line, for a distance of 21'-6" from the front facade. This provides 5'-0" of separation between the two buildings. We have carried this setback throughout the entire facade, and in addition opened up the lower levels (see issue 7)

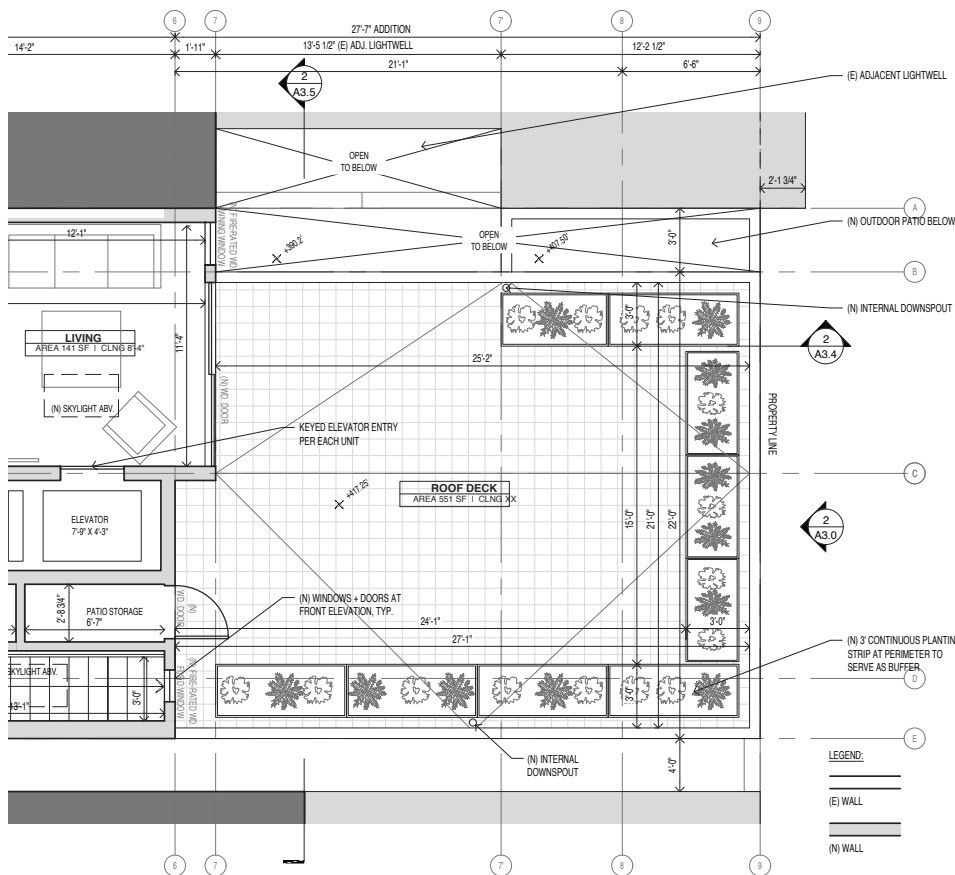


Fig. 6C
Original 311 Plans with no setback.

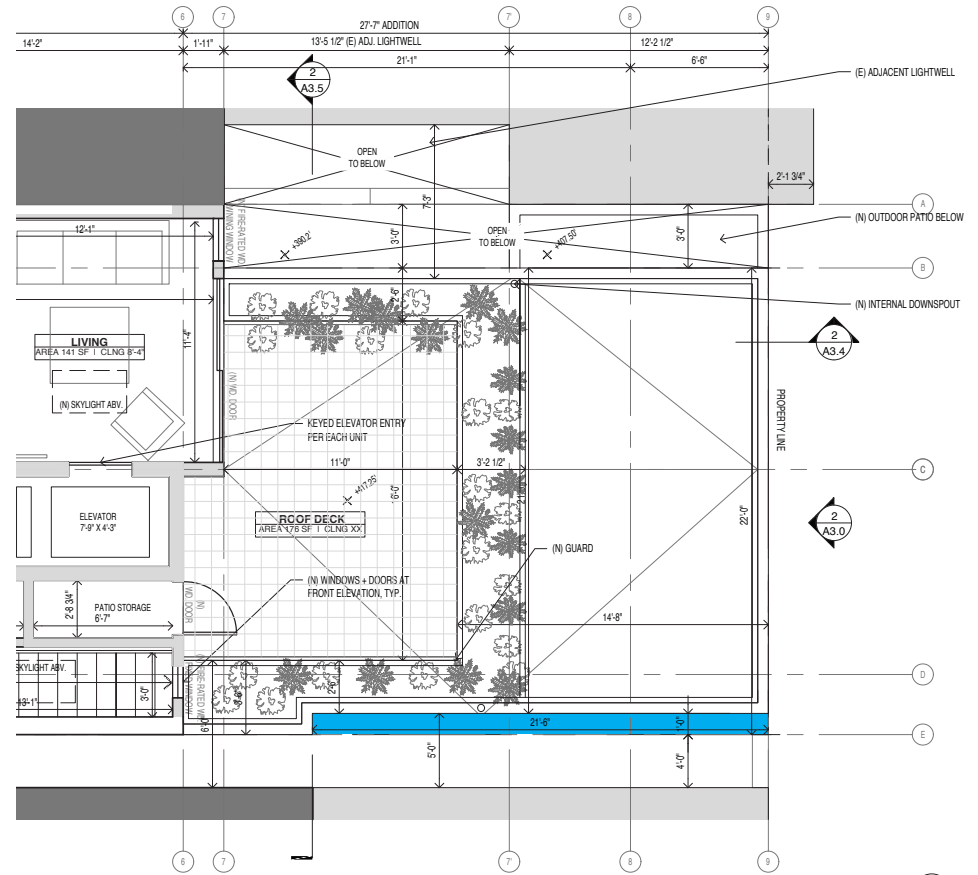


Fig. 6D
Modified plans with a 1-0" setback for 21.5' (noted in blue)

7

DR Concern:

Entry way area will be dark for 258 Roosevelt Way

Response:

We have directly addressed this by changing the configuration of our entry vestibule and stairs to make them exterior, opening up an additional 4'-0" of separation between buildings. In addition we have provided artificial lighting to address any security concerns. With the current proposal there is **11'-6"** between the two building faces in the entry level area.

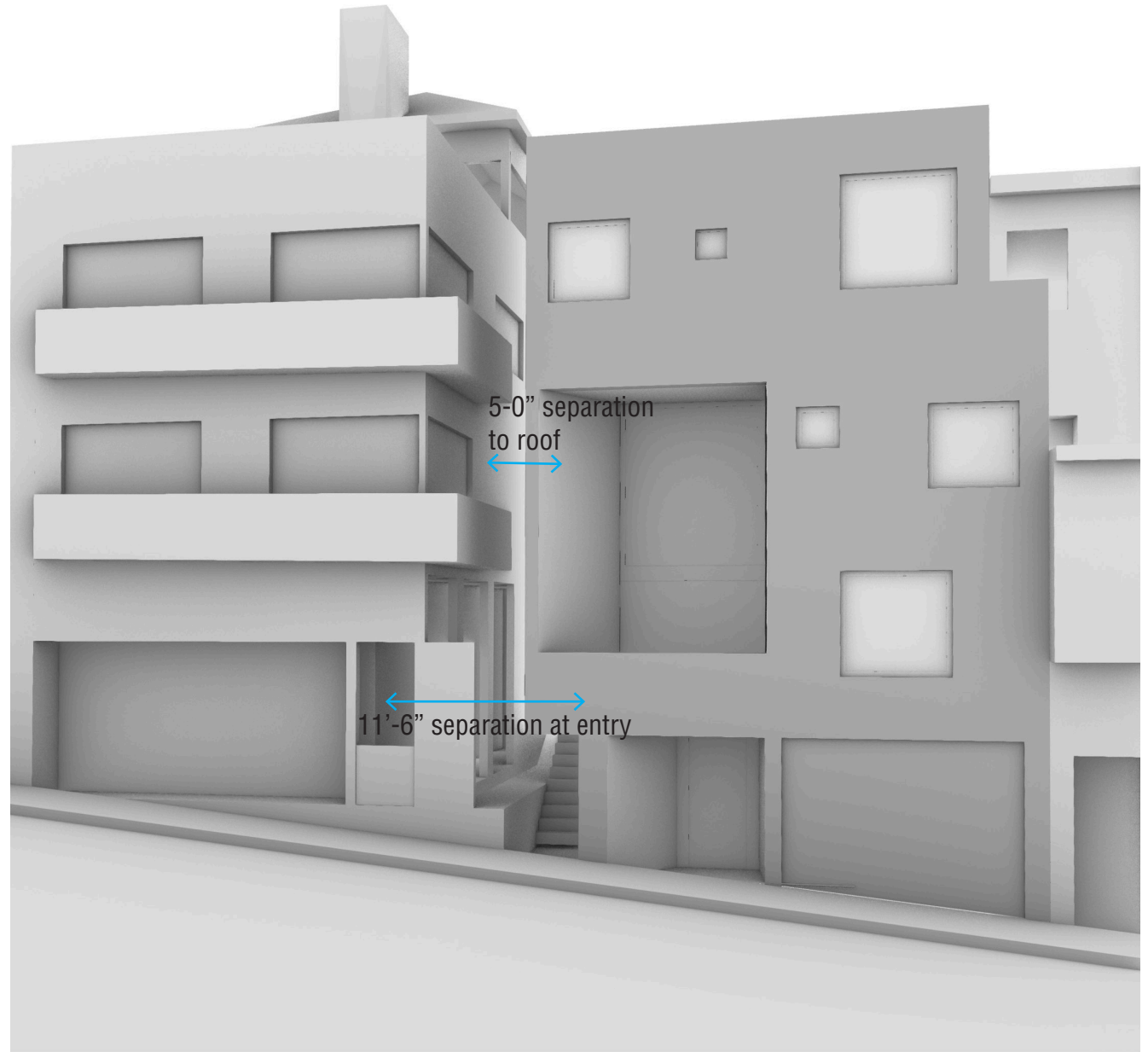


Fig. 7A

View of entry area/ elevation with distances between building faces noted.

7



Fig. 7B
Street View with 258 Roosevelt for context

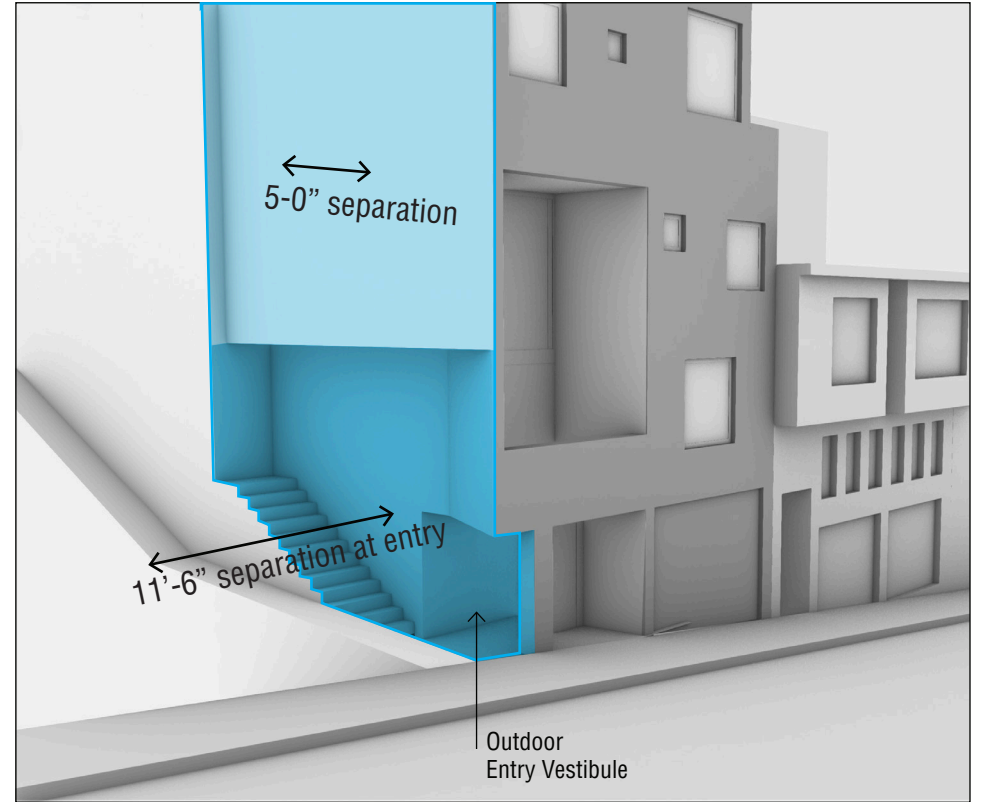
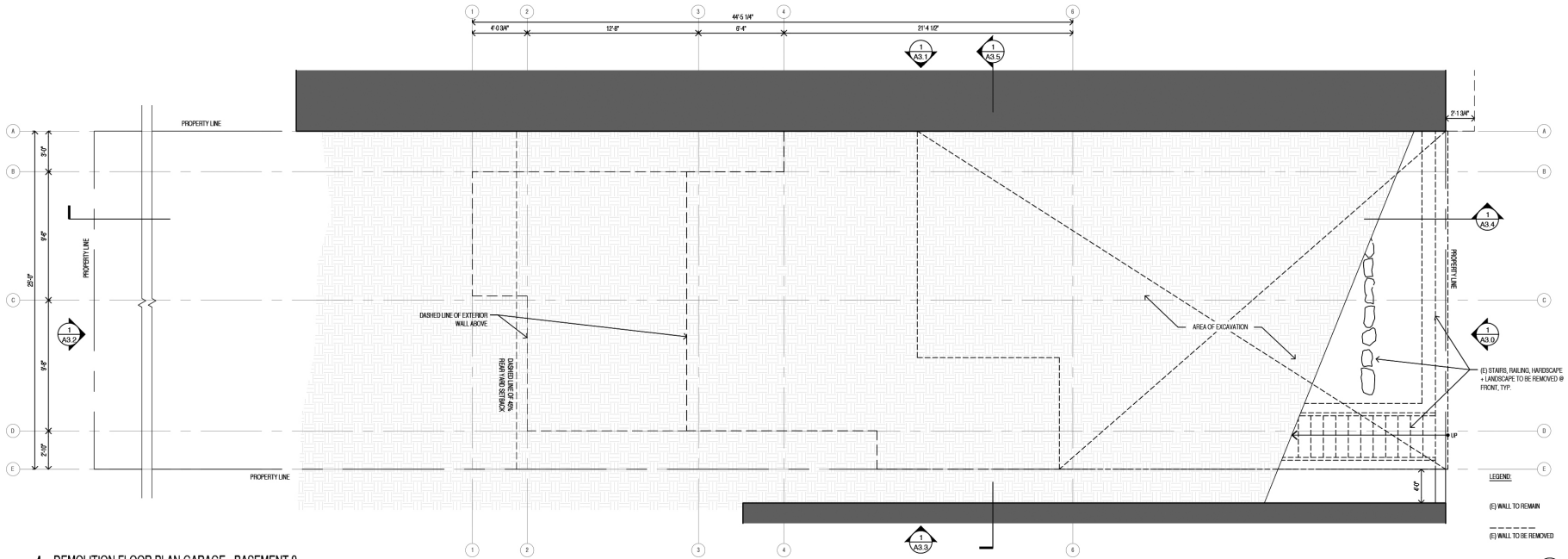


Fig. 7C
View of areas carved away from original proposal.
1'-0" setback in light blue above.
Exterior stair and entry noted in blue below.

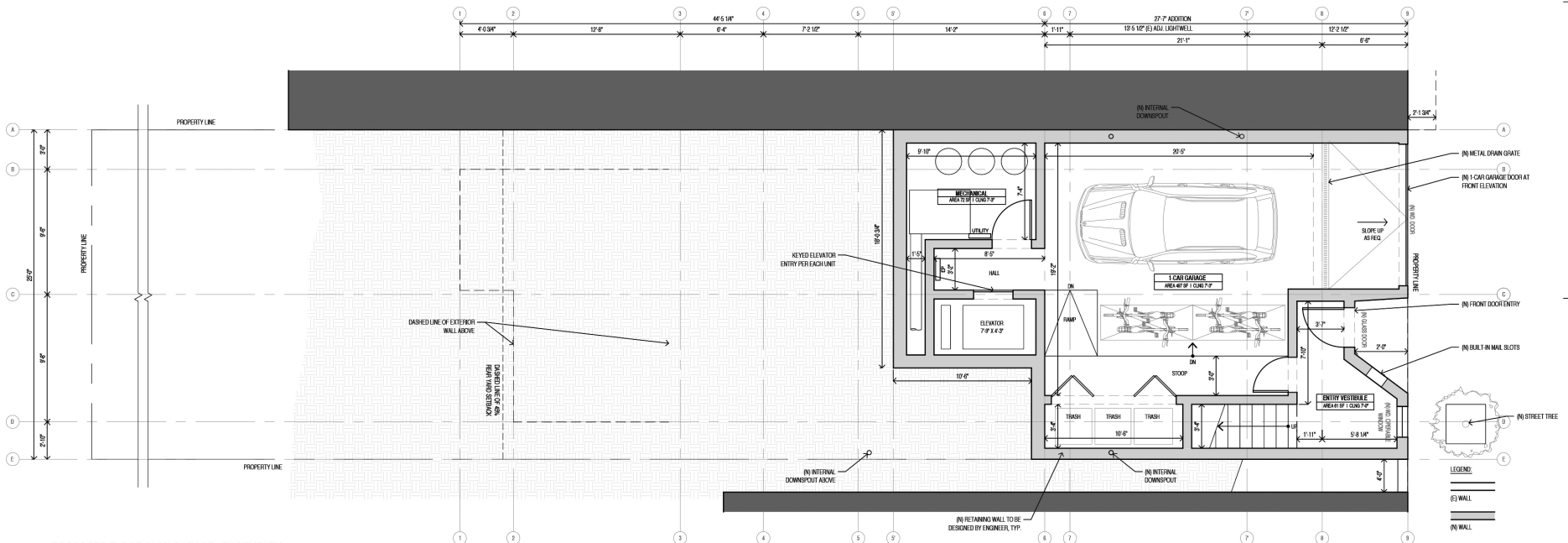
APPENDIX

The original 311 Project proposal is attached for convenience.

Existing and 311 Plans — Basement 2

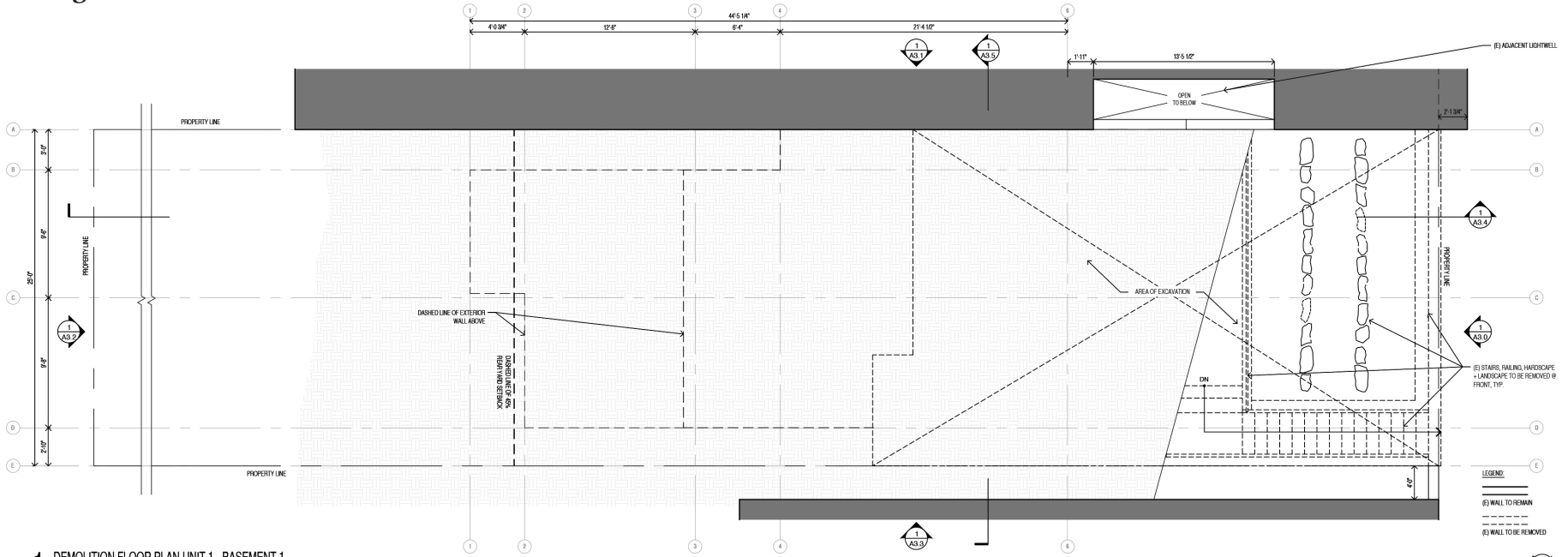


1 DEMOLITION FLOOR PLAN GARAGE - BASEMENT 2
 GROSS FLOOR AREA: N/A
 NET FLOOR AREA: N/A



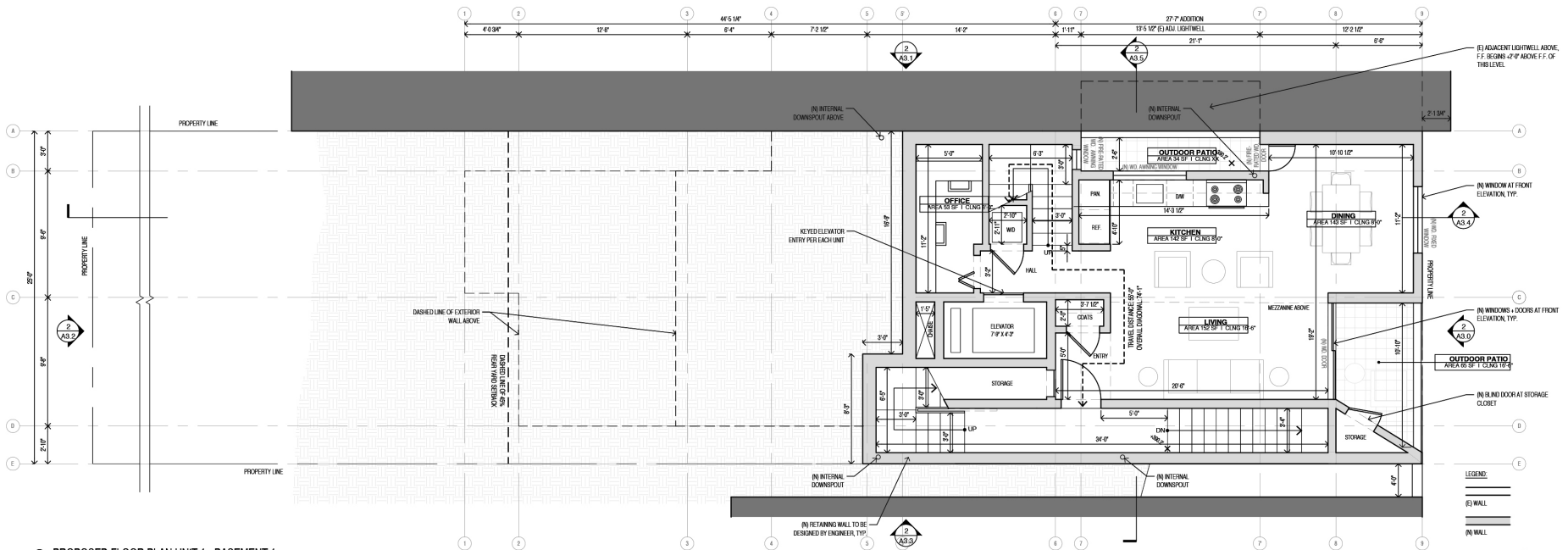
2 PROPOSED FLOOR PLAN GARAGE - BASEMENT 2
 GROSS FLOOR AREA: 814 SF

Existing and 311 Plans — Basement 1



1 DEMOLITION FLOOR PLAN UNIT 1 - BASEMENT 1

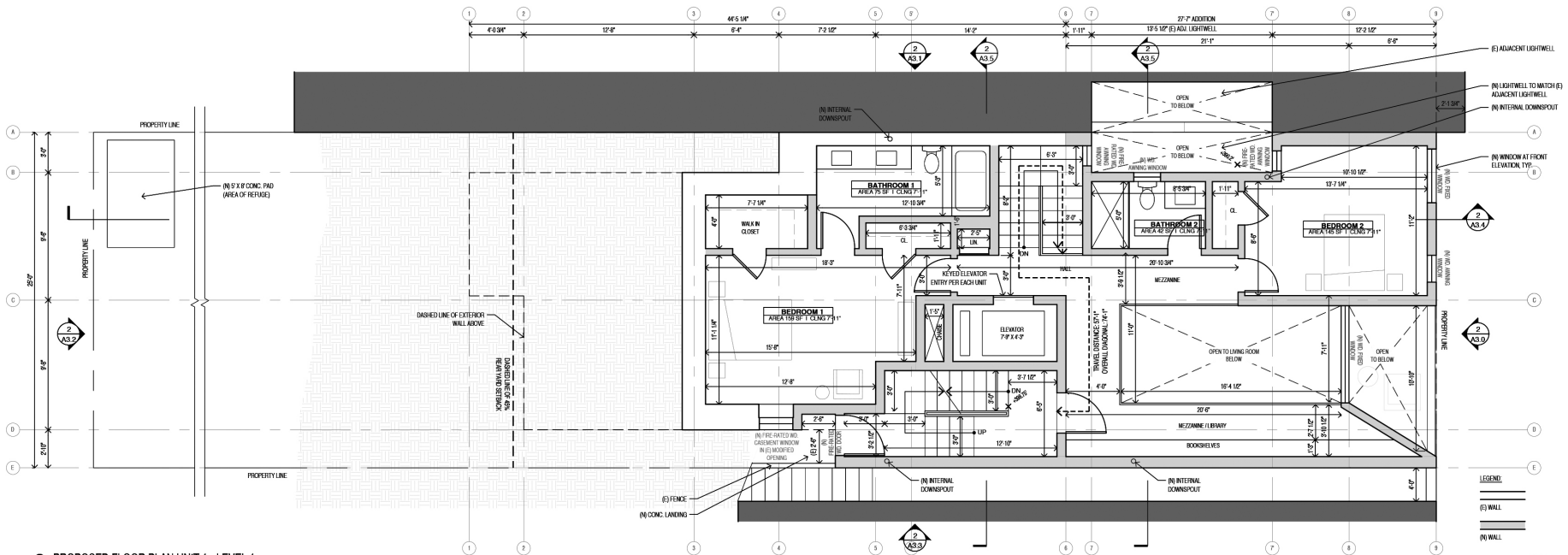
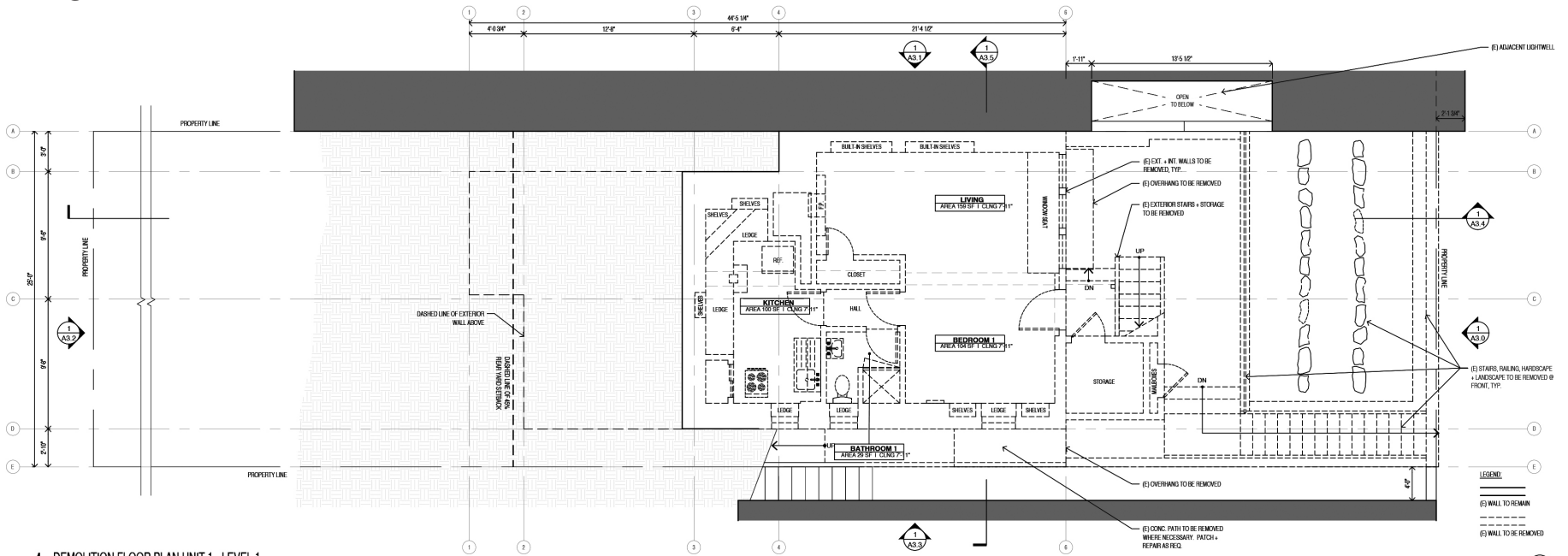
GROSS FLOOR AREA: NA
NET FLOOR AREA: NA



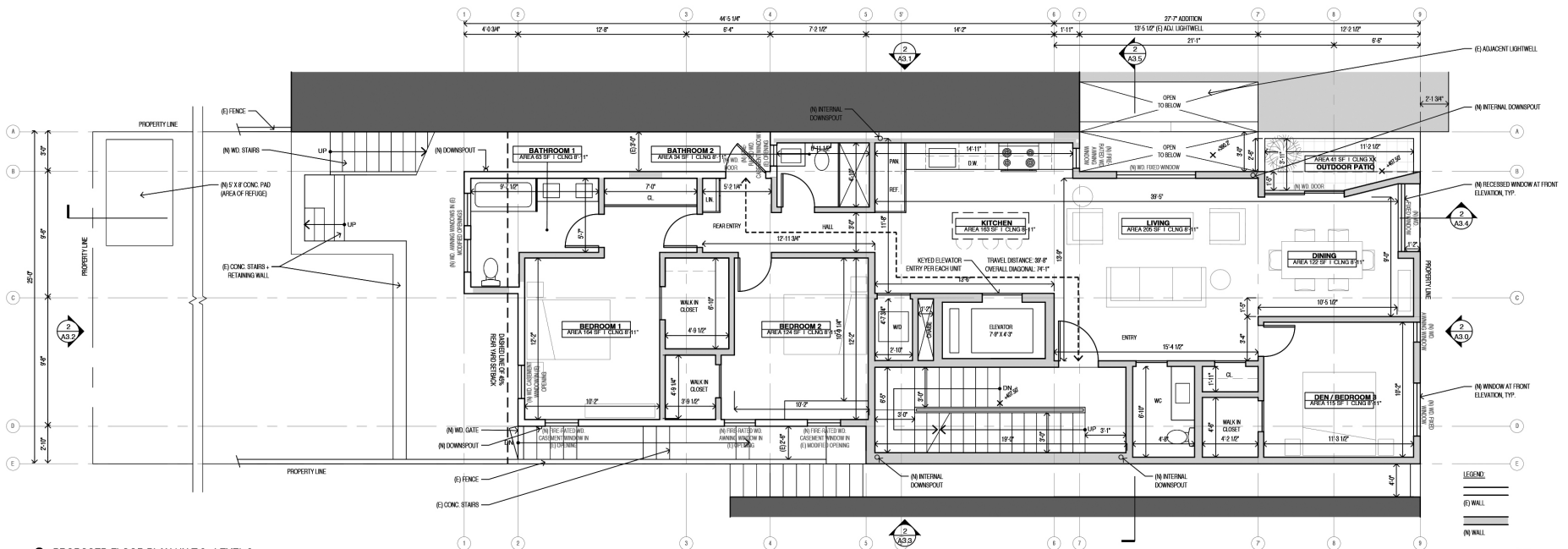
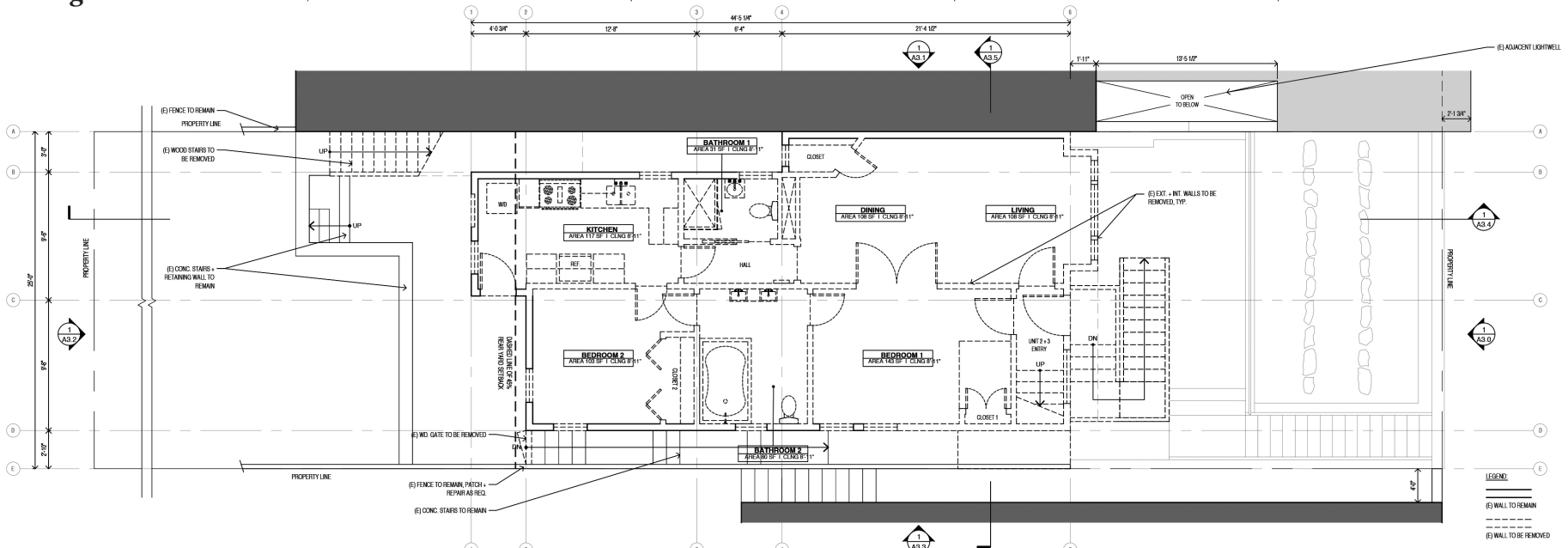
2 PROPOSED FLOOR PLAN UNIT 1 - BASEMENT 1

GROSS FLOOR AREA: 901 SF
NET FLOOR AREA: 542 SF (1270 SF TOTAL)

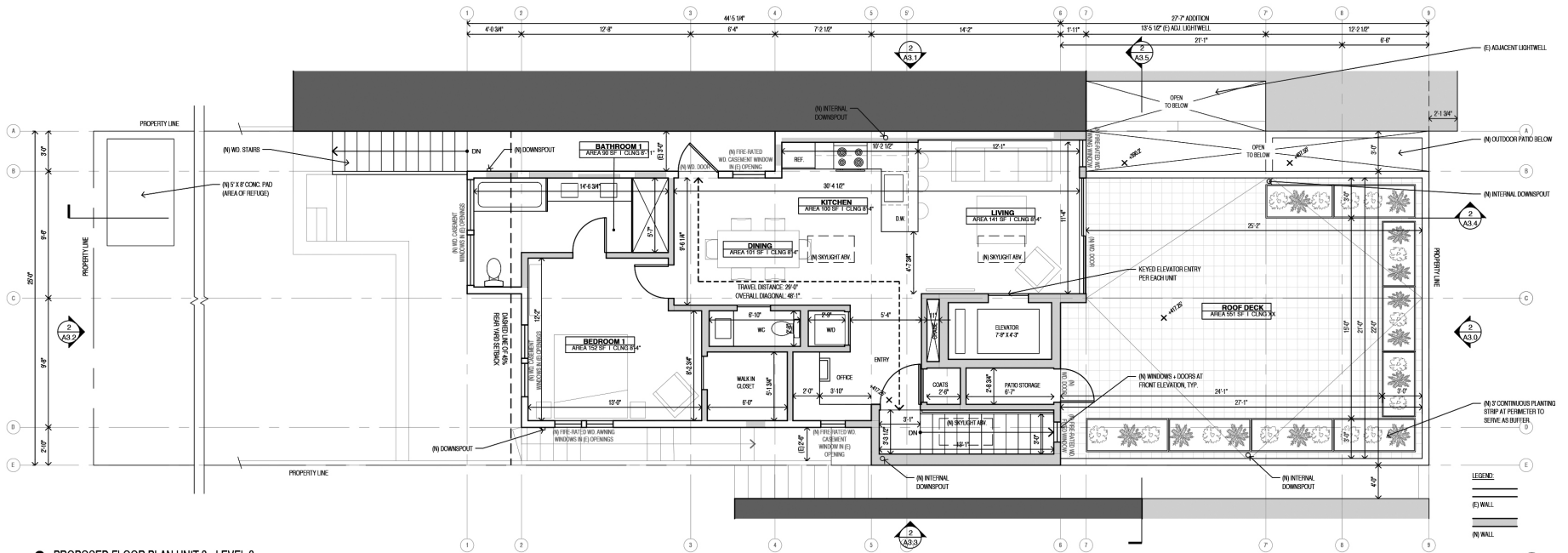
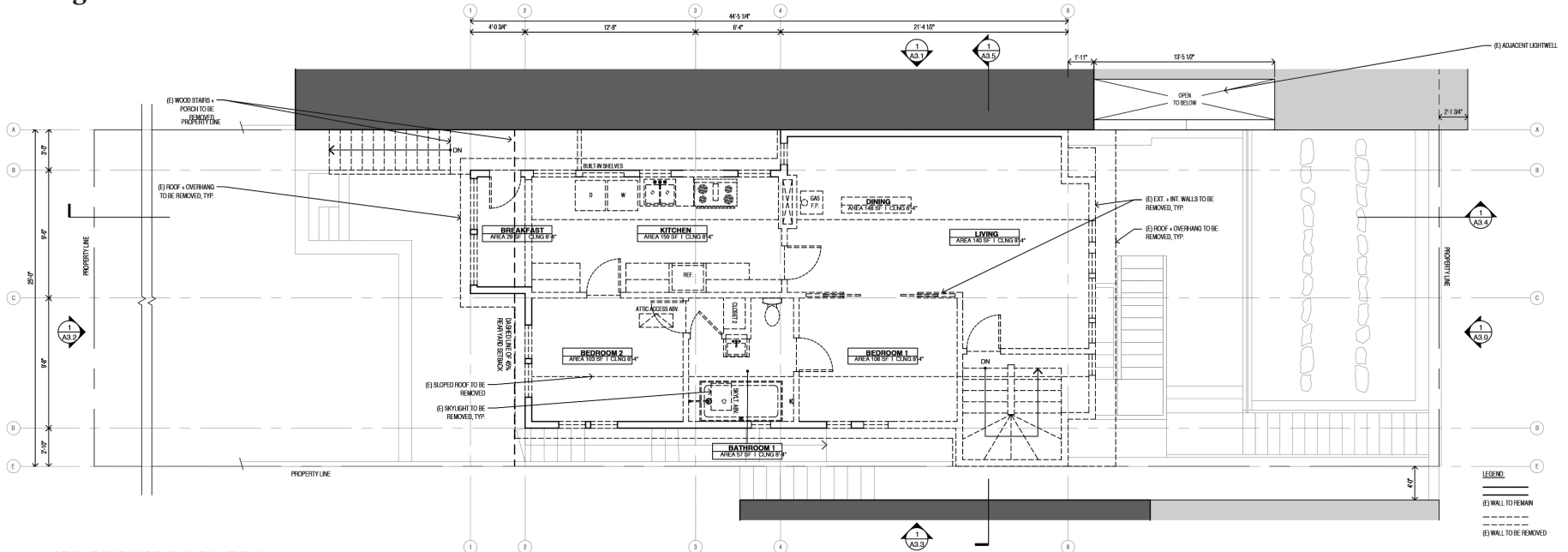
Existing and 311 Plans — Level 1



Existing and 311 Plans — Level 2



Existing and 311 Plans — Level 3



Date: April 29, 2020

To: SF Planning Commissioners

From: Linda "Spike" Kahn, property owner

Re: 254 Roosevelt Way, SF 94114

Dear Commissioners:

I own the property located at 254 Roosevelt Way, which I bought 36 years ago, and lived in until 2010, when the hill became too much for me to climb up and down. I am a senior, and now live in the Mission, where everything is flat. I would love to return to my home up the hill, and retire in place once the project is complete. That is why there is an elevator planned for the project.

My intention in writing this letter is to give a larger background to me and the project. When I bought the property in 1994, there was a elderly tenant there, Craig, who had lived there since 1965! Craig was paying ~\$600 rent then. I never raised the rent, even with the banked increases allowed by the SF Rent Board, as he was surviving only on his social security income, and would not have been able to afford a higher rent. Here's a letter in support of legislation for Tenant Protections 2.0 that mentions him (and me):

<https://48hills.org/2015/09/its-not-hard-to-be-an-ethical-landlord/>.

I did not want to disturb this elderly gentleman, so did not start this project until he passed away earlier this year. I did not want to displace him from his home during construction. My other tenants are relatively new, and all work in the tech fields, are financially well off, and have options. They were all told before moving in that I would be doing this construction project once Craig was gone, and they moved in knowing fully well that this project would happen. One tenant told me they might be interested in buying the larger unit once the construction was done, and move their parents in with them. The other current tenant told me he was interested in renting out the middle, 2 bedroom unit, once it was built. I plan on living in the top unit, with the deck. After 36 years, it would be nice to finally get the view from the top floor!

I support the Planning Commission's goals to create more livable units and family units in the City, and have often testified at SF Board of Supervisors and Planning Commission hearings from a position of being an ethical landlord. This project will create a large 3 bedroom unit in place of a tiny 450 sf studio apartment. The second floor unit will be larger with more light and air. The upstairs unit will add a modest roof deck, to provide additional light and air to my smaller owner's unit. An elevator will allow me to age in place in my home.

I have also received a Good Samaritan commendation from the Board of Supervisors for housing a family displaced by one of the fires in the Mission.

Additionally, I sought out a school teacher who had become homeless, and rented her a flat at below market rates: https://sfist.com/2017/06/28/previoursly_homeless_sf_math_teacher/

This has been my home for decades, and I have been working with my neighbors to take into account their concerns. Although our original project was approved by Planning Dept staff, I have reduced the roof deck by 2/3rds of it's originally-approved size. We were asked at a meeting with the neighbors, held at the Planning Dept, to change the stairs from inside the building, to outside/exterior, to allow for more light and air between the building uphill from me, which we did. We also have decreased the entire western wall by 1 foot in, to further give more room between the buildings, even though most of the buildings along the street all are side by side along the property line, without any space between the buildings. The downhill neighbors asked us to move the second egress stairway back, which we accommodated, even though it reduced the size of our master bathroom. We also lowered the overall height of the building, pulled in and lowered the parapets, and changed the entrance to make it more welcoming, at their request. They also asked us to put a privacy screen at our little wine balcony on the middle floor, but then they said not to, so we left it alone.

Please approve this project. It conforms to the eclectic street, where all but me and one other building have already built out their own buildings to the street. This is completing the street wall, and I feel the architect did an outstanding job of conforming to the existing neighborhood aesthetic. Please let me build my retirement house that will be nicer and more accessible than this old building is currently. I will be available on the portal to answer any questions during the hearing.

Sincerely,

A handwritten signature in black ink, appearing to read "Linda Kahn". The signature is fluid and cursive, with a large initial "L" and "K".

Linda "Spike" Kahn