



EXECUTIVE SUMMARY CONDITIONAL USE AUTHORIZATION

HEARING DATE: OCTOBER 14, 2021

Record No.: 2018-004686CUA/ENV
Project Address: **2350 GREEN STREET**
Zoning: RH-3 (Residential-House, Three-Family) Zoning District
40-X Height and Bulk District
Block/Lots: 0538/007 and 013
Project Sponsor: Saint Vincent de Paul School
c/o Patricia Alarcon
RATCLIFF Architects
5856 Doyle Street
Emeryville, CA 94608
Property Owner: Archdiocese of San Francisco
John P. Christian
Executive Director
Archdiocese of San Francisco Real Property Support Corp.
1301 Post Street, Suite 102
San Francisco, CA 94109
Staff Contact: Mary Woods – (628) 652-7350
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Recommendation: Approval with Conditions

Project Description

The Project includes the construction of a three-story horizontal addition linking the Lower School and the Middle School buildings, removal of a seven-car carport for infill/enclosure of the ground level in the Middle School building, and the construction of an elevated play area above the existing surface parking lot.

Required Commission Action

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization to allow a Planned Unit Development (PUD), pursuant to Planning Code Sections 134, 209.1, 303 and 304 to allow a 5-year, four-phase renovation and expansion of the Saint Vincent de Paul School. The Commission must also grant a PUD modification to provisions related to the rear yard requirement (Section 134).

Issues and Other Considerations

- **Public Comment & Outreach.**

- **Support/Opposition:** The Department has received 57 letters in support and 1 letter in opposition to the Project.
 - The opposition to the Project is related to noise from play and loss of views due to the proposed additions.
- **Outreach:** The Project Sponsor has been meeting and conducting outreach with its neighbors and neighborhood organizations. The Project Sponsor recently held a virtual community meeting on September 14, 2021 to update neighbors and interested parties about the proposed Project.

Environmental Review

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 categorical exemption.

Basis for Recommendation

The Department finds that the Project is, on balance, consistent with the Objectives and Policies of the General Plan. The Project has been designed to assure the proposed renovations preserve the architectural value of the Saint Vincent de Paul Parish Complex and complements the richness and character of the original buildings. The existing School was established nearly a century ago. The Project would improve the quality of the existing School facilities and programs, which serve a broad range of families throughout San Francisco and the Bay Area. The Department also finds the Project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

Attachments:

Draft Motion – Conditional Use Authorization with Conditions of Approval/EXHIBIT A
EXHIBIT B – Plans and Renderings
EXHIBIT C – Environmental Determination
EXHIBIT D – Land Use Data
EXHIBIT E – Maps and Context Photos
EXHIBIT F – First Source Hiring Affidavit



PLANNING COMMISSION DRAFT MOTION

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ADOPTING FINDINGS RELATING TO A CONDITIONAL USE (CU) AUTHORIZATION FOR A PLANNED UNIT DEVELOPMENT (PUD) PURSUANT TO PLANNING CODE SECTIONS 134, 209.1, 303 AND 304 TO ALLOW A FOUR-PHASE DEVELOPMENT OF THE SAINT VINCENT DE PAUL SCHOOL WITH AN ENROLLMENT UP TO 360 STUDENTS, AND RENOVATION, EXPANSION, AND CONSTRUCTION OF A NEW ELEVATED PLAY AREA ABOVE THE EXISTING SURFACE PARKING LOT. THE PROPOSAL INCLUDES A PUD MODIFICATION TO PLANNING CODE PROVISIONS RELATED TO REAR YARD (SECTION 134), AND CU TO EXPAND THE EXISTING SCHOOL (SECTION 209.1), LOCATED AT 2350 GREEN STREET, LOTS 007 AND 013 IN ASSESSOR'S BLOCK 0538, WITHIN A RH-3 (RESIDENTIAL-HOUSE, THREE-FAMILY) ZONING DISTRICTS AND 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On March 26, 2019, Saint Vincent de Paul School (hereinafter "Project Sponsor") filed Application No. 2018-004686CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization for a Planned Unit Development to allow a four-phase renovation and expansion of the Saint Vincent de Paul School (totaling approximately 4,400 square feet of net new area), and construction of an elevated play area (approximately 7,700 square feet) above the existing surface parking lot that would include PUD modifications to the rear yard requirements (hereinafter "Project") at 2350 Green Street, Block 0538, Lots 007 and 013 (hereinafter "Project Site").

On June 30, 2021, the Project was determined to be exempt from the California Environmental Quality Act ("CEQA") as Class 1 Categorical Exemption under CEQA as described in the determination contained in the Planning Department files for this Project (Record No. 2018-004686ENV).

On October 14, 2021, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2018-004686CUA.

The Planning Department Commission Secretary is the Custodian of Records; the File for Record No. 2018-004686CUA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2018-004686CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.

Project Description. The Project Site is part of the St. Vincent de Paul California Parish Complex, which includes a church, a rectory, and four school buildings operated by the Saint Vincent de Paul School. The four school buildings are used as follows: the main school building (currently used as the “Lower School” for Grades K through 4) constructed in 1924; the one-story Science building constructed in 1944; the Gymnasium and the Classroom buildings (currently used as the “Middle School” for Grades 5 through 8) constructed in 1948. The proposed renovations would address seismic upgrades of the buildings, improve ADA access to the Lower and Middle Schools, provide a pedestrian connection from the Lower School to the Middle School, relocate the main office reception/lobby from the interior of the Lower School (approximately 92 feet from the sidewalk) to the front of the Middle School building (abutting the sidewalk), and increase the amount of play area throughout the Site, including the addition of a new elevated play area above the existing surface parking lot. Specifically, the proposed Project would (1) infill the basement and ground floor of the Middle School (currently a carport for seven cars); (2) construct a new three-story plus basement multi-purpose addition to the north of the existing Middle School, which will include a new stairway and elevator internally connecting the Middle School and the Lower School as well as restrooms and administrative offices; and (3) complete site work since the Project would affect existing landscape features through the regrading of the main courtyard. The existing retaining wall at the east end of the courtyard adjacent to the rectory would be heightened to meet new grades. The Project would also remove one curb cut along Green Street in order to provide a new pedestrian ramp to access the new main office reception/lobby in the Middle School building.

The existing building heights on the Project Site range from approximately 34 to 40 feet and would remain unchanged with the proposed Project. The Saint Vincent de Paul Church and Rectory buildings would remain as is; no alteration work is proposed.

With the ground floor infill of the carport in the Middle School, the parking count at the main courtyard would be reduced from 17 to 10 parking spaces. The existing surface parking lot capacity of 25 on Pierce Street would remain unchanged.

The proposed Project would be implemented in four phases: the renovation of the Middle School, the construction of the Middle School addition, and the site work associated with the main courtyard and the north court in Phase 1; the Gymnasium renovations in Phase 2; followed by the Lower School renovation and the below-ground play area in Phase 3; and the construction of the new elevated play area over the existing surface parking lot in Phase 4. As such, the Project Sponsor is seeking a five-year authorization timeline for sequential construction and additional fundraising related to the proposed Project.

2. Site Description and Present Use.

The Project is located on two lots: Lots 007 and 013. The Project Site has a combined lot area of 37,648 square feet or .86 acre. It has approximately 302 feet of frontage along Green Street and 83 feet of frontage along Pierce Street. The lot depths of the Site range from approximately 83 to 138 feet at the Green Street frontage to 103 feet at the Pierce Street frontage.

The existing Saint Vincent de Paul School, a Kindergarten through 8 Grade school, is located on Lot 007 at 2350 Green Street. It is part of the Saint Vincent de Paul California Parish Complex. The Parish Complex includes: (i) the Saint Vincent de Paul Church, completed in 1913, on Lot 005; (ii) the Rectory built in 1902, on Lot 006; (iii) the Main School building, currently used as the Lower School for Grades K through 4, completed in 1924, on Lot 007; and (iv) the Gymnasium and Classroom building, currently used as the Middle School for Grades 5 through 8, completed in 1948, also on Lot 007. Neither the Church nor the Rectory is part of the proposed Project.

The main courtyard, on Lot 007, surrounded by the Middle School, the Lower School, and the Rectory, is used primarily for school gatherings, student play and sports activities. There are seven parking spaces in a carport at grade in the Middle School building, and approximately 10 non-striped spaces in the main courtyard. The existing surface parking lot, on Lot 013, has capacity for 25 parking spaces. The Project Site currently has a total of 42 off-street parking spaces.

3. **Surrounding Properties and Neighborhood.** The Project Site is located in the Cow Hollow neighborhood, five blocks east of the Presidio and four blocks north of Alta Plaza Park. Land uses in the immediate vicinity are a mix of residential, as well as commercial (on Union Street one block north of the Project Site) and educational institutions such as the Schools of the Sacred Heart, a few blocks southeast of the Project Site. The residential buildings, across the street from the Project Site, on the south side of Green Street have no or minimal front yard setbacks; thereby creating a continuous street wall. Similar patterns can be found on buildings fronting on Pierce Street. Transit lines are nearby and are within walking distance of the Project Site.
4. **Public Outreach and Comments.** The Department has received one letter in opposition to the Project, expressing concerns related to noise from play and loss of views due to the proposed additions. The Department has received 57 letters in support. According to the Project Sponsor, meetings and outreach have been conducted with neighbors and neighborhood organizations. The Project Sponsor recently held a virtual community meeting on September 14, 2021 to update neighbors and interested parties about the proposed Project.
5. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Use: School.** Planning Code Section 209 sets forth the permitted uses in “R” Districts. Section 209.1 establishes that schools are conditionally permitted uses in all residential districts. Section 209.1 also permits a Planned Unit Development (Section 304) as a Conditional Use (CU) in all residential districts. Section 304 permits the Commission to authorize, as a Conditional Use, a Planned Unit Development (PUD). The applicant is requesting modification from Planning Code standards under Section 304, the PUD process, for the rear yard requirement (Section 134).

The Project would maintain the existing school use, and would not increase the level of activity associated with that use, such that the existing classroom count of 15 would remain the same as well as the student enrollment would not exceed 360 students. The Project would renovate and expand existing buildings. As such, the Project would constitute a physical expansion of the existing school use, requiring a CU authorization from the Commission. Findings under Section 303(c) are set forth below.

- B. Height and Bulk.** Planning Code Section 250 establishes height and bulk districts, and the Project Site is within the 40-X Height and Bulk District.

The Project Site is located within a 40-X Height and Bulk District. This district allows a maximum building height of 40 feet, and has no bulk limit per Section 250. The proposed additions (the elevated play area at 20 feet tall and the three-story horizontal addition at 39 feet tall) are within the 40-foot height limit.

- C. Floor Area Ratio.** Planning Code Sections 124 and 209.1 limit the basic Floor Area Ratio (FAR) for non-residential uses in the RH-3 Zoning District to 1.8 to 1 square feet of building area for every 1 square foot of lot area, or 67,766 square feet of building area for the Project Site.

Lot 007 has a lot area of 31,493 square feet while Lot 013 has a lot area of 6,155 square feet, for a combined lot area totaling 37,648 square feet. The maximum permitted non-residential floor area is 67,766 square feet. Existing buildings at the Site has a total of approximately 48,200 square feet of non-residential uses. With the proposed demolition and additions, the Project would result in a net gain of approximately 4,400 square feet. Upon completion, the non-residential floor area would increase from 48,200 square feet to approximately 52,600 square feet, for an FAR of 1.4 to 1.

- D. Front Setback.** Planning Code Section 132 requires that in RH-3 Districts a 25% front setback be provided but no greater than 15 feet.

The Project Site occupies nearly $\frac{3}{4}$ of the block on Green Street. The existing School buildings and the adjacent Rectory building on Lot 006 are built to the front property line on Green Street without any front setbacks. Therefore, no front setback is required for the Project. Nevertheless, the proposed three-story horizontal addition is set back approximately 78 feet from Green Street while the infill at the carport aligns with the building wall of the existing Middle School building.

- E. Rear Yard.** Planning Code Section 134 requires that in RH-3 Districts a 45% rear yard be provided or average of adjacent buildings; if averaged, no less than 25% or 15 feet, whichever is greater. An approximately 35-foot deep rear yard from the rear lot line (fronting on Green Street for Lot 007) would need to be provided for the Project. An approximately 26-foot deep rear yard from the rear lot line (fronting on Pierce Street for Lot 13) would need to be provided for the Project. The Project is seeking a PUD modification from the rear yard requirements pursuant to Section 304; findings for which are set forth below.

The rear yard requirements apply to every building, including schools, in Residential Districts. These requirements are intended to assure the protection and continuation of established mid-block, landscaped open spaces, and maintenance of a scale of development appropriate to each district, consistent with the location of adjacent buildings.

The Project is seeking an exception to the rear yard requirement because the existing Lower School building (approximately 35 feet in depth) is already completely within the required rear yard setback and a portion of the existing Gymnasium building (approximately 35 feet in depth) is within the required rear yard setback. The proposed demolitions, renovations and additions to the existing buildings would occur within the required rear yard. The new three-story horizontal addition connecting the Lower and

Middle Schools would extend into the required rear yard by approximately nine feet on Lot 007 while the proposed elevated play area on Lot 013 would extend fully into the required rear yard. The Project is seeking a PUD exception/modification to the rear yard requirement pursuant to Section 304, findings for which are set forth below.

- F. **Better Streets Plan.** Planning Code Section 138.1 establishes requirement for the improvement of the public right-of-way associated with development projects if the project includes new construction or addition of 20% or more of gross floor area to an existing building, such that the public right-of-way may be safe, accessible, convenient and attractive to pedestrian use and travel by all modes of transportation.

During the initial Preliminary Project Assessment process in 2018, the proposed Project, at that time, was seeking to add more than 20% new floor area to the existing buildings. The Project has since been revised to include an increase of 9% in net new floor area. The Project is currently proposing approximately 4,400 gross square feet (gsf) of net new area, which is less than a 20% (approximately 9,600 gsf) increase to the existing buildings' gross floor area of approximately 48,200 gsf; therefore, no new street trees or streetscape improvements are required. However, the Project would eliminate one mid-block curb-cut on Green Street and replace with a new pedestrian ramp for access to the new main office reception/lobby area. The Project would maintain the existing 13 street trees along Green and Pierce Streets.

- G. **Off-Street Parking.** Planning Code Section 151 permits up to a maximum of 1.5 off-street vehicle parking spaces for each six classrooms proposed for a school, but does not require any spaces to be provided.

No off-street parking is required for the Project since no additional classrooms are being added to the existing 15 classrooms. The Project does not propose any additional off-street vehicle parking spaces. Construction of the Project would result in a net reduction of seven off-street vehicle parking spaces from the existing carport in the Middle School building. The Project would maintain the remaining 35 parking spaces located at the surface parking lot and the main courtyard.

- H. **Bicycle Parking - Class 1.** Planning Code Section 155.2 establishes requirement for the provision of Class 1 bicycle parking spaces at four Class 1 spaces for every classroom if the project includes new construction or addition of 20% or more of gross floor area to an existing building or lot.

The Project is proposing approximately 4,400 gross square feet (gsf) of net new area, which is less than a 20% (approximately 9,600 gsf) increase to the existing buildings' gross floor area of approximately 48,200 gsf; therefore, no Class 1 bicycle parking spaces are required and none are proposed. The Project would maintain the existing four bicycle parking spaces.

- I. **Bicycle Parking - Class 2.** Planning Code Section 155.2 establishes requirement for the provision of Class 2 bicycle parking spaces at one Class 2 space for every classroom if the project includes new construction or addition of 20% or more of gross floor area to an existing building or lot.

The Project is proposing approximately 4,400 gross square feet (gsf) of net new area, which is less than a 20% (approximately 9,600 gsf) increase to the existing buildings' gross floor area of approximately 48,200 gsf; therefore, no Class 2 bicycle parking spaces are required and none are proposed.

- J. **Transportation Sustainability Impact Fees.** Planning Code Section 411A authorizes the imposition of certain development impact fees on new development projects to offset impacts on the transit system. Land use categories for all impact fees are defined in Section 401.

The Project Sponsor will comply with the requirements of this section prior to the issuance of the first construction document.

- K. **Signage.** Any proposed signage will be subject to the review and approval of the Planning Department pursuant to Article 6 of the Planning Code.

6. **Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The Project is necessary and desirable because it will modernize and continue a long established K through 8 Grade school. According to the Project Sponsor, Saint Vincent de Paul School has been located in the Cow Hollow neighborhood since 1924. While enrollment is currently at 232 students, the School's enrollment has fluctuated over the years from single classes of 25 students for each Grade (225 students total) to two classes of 36 students for each Grade (over 600 students total in the 1950's). With this Project, the School is seeking to accommodate up to 40 students per grade or up to 360 students. The School employs 30 to 35 full- and part-time staff as well as coaches, substitute instructors, and contracted maintenance and facilities staff.

The School's student body is reflective of the population of San Francisco and comes from diverse racial, economic, cultural and social backgrounds. Approximately 98% of students reside in San Francisco. According to the Project Sponsor, a diverse mix in the student population is maintained through a strong financial aid program with approximately 10% of families receiving financial assistance.

The School has been an active member of the community since its inception in various capacities; such as: (i) providing community service to local shelters, nursing homes, and military families; (ii) serving the local neighborhood through the dePaul Youth Club, providing neighborhood youth a space for recreation and opportunities to play on CYO sports teams; and (iii) hosting cultural and community events, such as the Parish Picnic, neighborhood dances and other events sponsored by Parish organizations.

The main physical expansion of the Projects comes from the infill of the existing carport for multi-purpose functions in the Middle School building, and the demolition of the stair towers in the Lower and Middle

Schools to accommodate a new stair and elevator tower, which would link the Middle School with the Lower School to form a unified School building versus separate buildings. This addition is set back approximately 78 feet from Green Street and would blend in with the existing Lower and Middle School buildings. The Project would enhance the School's accessibility, security, and safety.

The proposed Project would be implemented in four phases: the renovation of the Middle School, the construction of the Middle School addition, and the site work associated with the main courtyard and the north court in Phase 1; the Gymnasium renovations in Phase 2; followed by the Lower School renovation and the below-ground play area in Phase 3; and the construction of the new elevated play area over the existing surface parking lot in Phase 4. As such, the Project Sponsor is seeking a five-year authorization timeline for sequential construction and additional fundraising related to the proposed Project.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

According to the Project Sponsor, the School has not undergone any significant development or improvements since the Gymnasium and the Middle School buildings were built in 1948. The Project will maintain the height and bulk of the existing School buildings and will not alter the existing appearance or character of the Project vicinity. The proposed infill of the seven-car carport on the ground/street level in the Middle School building would not alter the height or bulk of the existing building. The space will allow the relocation of the main office reception and lobby from the Lower School building to the front of the Middle School building. The proposed three-story horizontal addition is set back approximately 78 feet from the Green Street frontage. There will be a new small court north of the three-story addition, which will be used as an extension of the multi-purpose room for group activities/lessons or as outdoor area for faculty in the adjacent faculty workroom. The main courtyard in front of the Lower School building will be regraded to create a more level play area for the students, and would continue to be used for parking during non-school hours. The one-story Science building containing a single classroom (approximately five feet below the basement level of the Lower School) will be demolished and converted to a play area for use by the after-school program or by Lower School students.

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Project has street frontages on Green and Pierce Streets. According to the Project Sponsor, Green Street will continue to be the primary location for drop off and pick up of students. There is currently a designated white zone in front of the School with parking restriction signs posted for "No parking during school hours - 7:00 a.m. - 4:30 p.m." The white zone is used for both drop off and pick up. A lane is created on the north side of the street with orange cones, which is

typically used for parking after 4:30 p.m. There is still room for two lanes of traffic - east and west. Students exit the car on the northside of Green Street for safety reasons. Drop off runs approximately 15 minutes in the morning. Pick up is the same format and because it is a staggered dismissal runs approximately 2:45 p.m. to 3:00 p.m. On early dismissal days, pick up is from 12:30 p.m. - 12:45 p.m. This process is managed by the School's Facilities Director and five to eight other staff members daily.

The Planning Code does not require any additional parking spaces since there is no increase in classroom count. The main courtyard will continue to be used as parking during non-school hours and the parking spaces in the surface parking lot at Green and Pierce Streets will remain unchanged. The Project will maintain a total of 35 off-street parking spaces upon completion of the Project.

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The proposed Project will not produce any noxious or offensive emissions, dust or odor. During construction, the General Contractor will incorporate necessary measures to ensure compliance with all necessary regulations. The proposed work will not use reflective or glare-producing materials, and will use insulated glass and materials to reduce sound transmission.

The main courtyard will remain unchanged from its current use. It is currently used for play and sports during school and after school hours (8 a.m. to 6 p.m.); and intermittently on weekday evenings (6 p.m. to 10 p.m.), and weekends (9 a.m. to 10 p.m.) for School, parish or community events. Microphone and speakers are used on occasions. No noise baffling or noise reduction features are provided.

The use of the new elevated play area would mirror that of the main courtyard: its primary use will be during School hours from 8 a.m. to 6 p.m. for play, sports and gatherings; and intermittently on weekday evenings or weekends for School related events.

Since 1924, Saint Vincent de Paul School has closed off Green Street between Pierce and Steiner Streets for play during recess hours from 10:45 a.m. to 11 a.m., and noon to 1 p.m., Monday to Friday. While the elevated play area is intended to provide additional play space for the students, it would not replace the current use of Green Street for play.

With regard to construction noise, the Project Sponsor will adhere to the City's Noise Control Ordinance, which limits construction hours to between 7 a.m. and 8 p.m., seven days a week. A community liaison will also be appointed by the Project Sponsor to address any related concerns.

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The modified fence on Green Street will be more transparent compared to the existing solid fence, with vertical steel fencing that is open to the street. Within the main courtyard, there will

be four new trees, a long planter bench, and landscape lighting that will soften the hardscape in the play area. Similarly, the new elevated play area will include perimeter landscaping, and fence-mounted downlighting that will further enhance the corner of Green and Pierce Streets. The Project will not require any additional off-street parking since there is no increase in classroom count. The Project will maintain its parking spaces in the main courtyard and the surface parking lot, totaling 35 parking spaces.

All proposed lighting and signage would comply with the requirements of the Planning Code.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That use or feature as proposed will provide development that is in conformity with the stated purpose of the applicable Use District.

The proposed Project is consistent with the stated purpose of the RH-3 zoning district, which acknowledges that institutional uses, such as schools, may be found in such districts. The School at the Project Site has been in existence since 1924.

7. Planned Code Section 304(a)/Planned Unit Developments (PUD) Objectives. Planning Code Section 304(a) requires that a CU application for a PUD include such pertinent information as may be necessary to a determination that the objectives of Section 304 are met, and that the proposed development warrants the modification of provisions otherwise applicable under the Code. The proposed Project will meet the following PUD objectives under Section 304(a):

- A. The procedures for PUDs are intended for projects on sites of considerable size, developed as integrated units and designed to produce an environment of stable and desirable character which will benefit the occupants, the neighborhood and the City as a whole.

The proposed Project is of a size and scale anticipated by the provisions of Section 304, with an overall lot size of approximately 37,600 square feet. The Project is seeking a PUD modification for rear yard requirements, described in more detail below.

- B. In cases of outstanding overall design, complementary to the design and values of the surrounding area, such a project may merit a well-reasoned modification of certain provisions contained elsewhere in the Planning Code.

The Project has been designed to be compatible with the character and scale of the neighborhood, including the existing School buildings. The Project will be developed in a manner that is appropriately scaled to surrounding residential buildings. The proposed height for the three-story horizontal addition aligns with the roofline of the existing School buildings. This addition is located on the interior of the lot with a substantial setback of 78 feet from Green Street, within a district permitting a height of 40 feet. The infill of the Middle School's carport area has been detailed to avoid

affecting character-defining features: the infill is largely glass, which preserves a sense of openness, and has been recessed slightly to indicate the historic condition. The new elevated play area above the surface parking lot will be simple in construction and design, consisting of a minimal concrete deck supported by piers behind the retained existing Site fence, and will also feature a new metal fence enclosing the elevated play area. With its one-story height and functional construction, this new feature will not overpower or distract from the adjacent historic Gymnasium building. In sum, preservation staff finds that the proposed Project will not result in a significant impact to a historic resource as the Project will not result in material impairment and the property will still express its significance as an architecturally significant Church-and-School complex. Preservation staff has also determined that the proposed Project will not directly or indirectly impact adjacent and nearby potential and identified historic resources, such as the potential historic resource at 2822-2826 Pierce Street.

Through this PUD authorization, the Commission approves the following modification to otherwise applicable provisions of the Planning Code:

- a. Rear Yard Setback – relief from the provisions of rear yard requirements for the Project as required in the RH-3 District under Section 134(c)(3).

As the Project's two additions are placed within two lots with existing buildings and uses, they do not meet the 45% rear yard setback requirement, nor can it technically meet the requirements for a reduced 25% rear yard available in the RH-3 District. The elevated play area (up to 12 feet tall to the top of the play area fence) would be built above the existing surface parking lot on Lot 013 and a small portion of Lot 007. The three-story horizontal addition would be located to the interior of Lot 007 surrounded by existing School buildings.

The total depth of Lot 007 is approximately 138 feet. The proposed horizontal addition would extend approximately nine feet into the required 25% rear yard setback of 55 feet. The total depth of Lot 013 is approximately 104 feet. The proposed elevated play area would extend fully into the required 25% rear yard setback of 26 feet. Hence, the Project seeks to modify the provisions in Section 134 related to the elevated play area and the horizontal addition.

8. **Planning Code Section (304)(d) Findings Relating to Planned Unit Developments.** Planning Code Section 304(d) sets forth criteria, which must be met before the Commission may authorize a Conditional Use for a Planned Unit Development. On balance, the Project generally complies with all applicable criteria:

- (1) Affirmatively promote applicable objectives and policies of the General Plan;

Findings for General Plan Compliance are set forth below.

- (2) Provide off-street parking appropriate to the occupancy proposed and not exceeding principally-permitted maximum amounts;

Under Planning Code Section 151, no off-street parking is required for the School since no new classrooms are being added. A minor reduction in existing off-street parking in the carport in the Middle School would occur, resulting in a reduction from 42 to 35 total parking spaces on-site.

- (3) Provide open space usable by the occupants and, where appropriate, by the general public, at least equal to the open space required by this Code;

No open space is required for the Project.

- (4) Be limited in dwelling unit density to less than the density that would be allowed by Article 2 of this Code for a district permitting a greater density, so that the PUD will not be substantially equivalent to a reclassification of property;

No residential uses are proposed as part of the Project.

- (5) In R Districts, include commercial uses only to the extent that such uses are necessary to serve residents of the immediate vicinity, subject to the limitations for NC-1 Districts under this Code, and in RTO Districts include Commercial Uses only according to the provisions of Section 231 of this Code;

No commercial uses are proposed as part of the Project.

- (6) Under no circumstances be excepted from any height limit established by Article 2.5 of this Code, unless such exception is explicitly authorized by the terms of this Code. In the absence of such an explicit authorization, exceptions from the provisions of this Code with respect to height shall be confined to minor deviations from the provisions for measurement of height in Sections 260 and 261 of this Code, and no such deviation shall depart from the purposes or intent of those sections;

The Project would comply with the applicable 40-foot height limit in the 40-X Height and Bulk District applicable to the Project Site.

- (7) In NC Districts, be limited in gross floor area to that allowed under the floor area ratio limit permitted for the district in Section 124 and Article 7 of this Code.

Not applicable, the Project is not located in an NC District.

- (8) In NC Districts, not violate the use limitations by story set forth in Article 7 of this Code;

Not applicable, the Project is not located in an NC District.

- (9) In RTO and NCT Districts, include the extension of adjacent alleys or streets onto or through the site, and/or the creation of new publicly-accessible streets or alleys through the site as appropriate, in order to break down the scale of the site, continue the surrounding existing pattern of block size, streets and alleys, and foster beneficial pedestrian and vehicular circulation;

Not applicable, the Project is not located in an RTO nor an NCT District.

- (10) Provide street trees as per the requirements of Section 138.1 of the Code; and

Not applicable, the Project is proposing less than a 20% addition to the existing gross floor area. However, the Project would maintain the existing 13 street trees.

- (11) Provide landscaping and permeable surfaces in any required setbacks in accordance with Section 132 (g) and (h).

The existing School buildings and the adjacent Rectory building on Lot 006 are built to the front property line on Green Street without any front setbacks. The proposed three-story horizontal addition is set back approximately 78 feet from Green Street, internal to Lot 007. Therefore, landscaping and permeable surface requirements are not triggered. However, the Project will provide, within the main courtyard, four new trees, a long planter bench, and landscape lighting that will soften the hardscape in the play area.

- 9. General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

COMMERCE AND INDUSTRY ELEMENT

Objectives and Policies

OBJECTIVE 1

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development which has substantial undesirable consequences that cannot be mitigated.

OBJECTIVE 7

ENHANCE SAN FRANCISCO'S POSITION AS A NATIONAL AND REGIONAL CENTER FOR GOVERNMENTAL, HEALTH, AND EDUCATIONAL SERVICES.

Policy 7.2

Encourage the extension of needed health and educational services, but manage expansion to avoid or minimize disruption of adjacent residential areas.

Policy 7.3

Promote the provision of adequate health and educational services to all geographic districts and cultural groups in the city.

COMMUNITY SAFETY ELEMENT

Objectives and Policies

OBJECTIVE 1

REDUCE STRUCTURAL AND NON-STRUCTURAL HAZARDS TO LIFE SAFETY AND MINIMIZE PROPERTY DAMAGE RESULTING FROM FUTURE DISASTERS.

Policy 1.3

Assure that new construction meets current structural and life safety standards.

URBAN DESIGN ELEMENT

Objectives and Policies

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

Policy 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

Policy 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

OBJECTIVE 3

MODERATION OF MAJOR NEW DEVELOPMENT TO COMPLEMENT THE CITY PATTERN, THE RESOURCES TO BE CONSERVED, AND THE NEIGHBORHOOD ENVIRONMENT.

Policy 3.1

Promote harmony in the visual relationships and transitions between new and older buildings.

OBJECTIVE 4

IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY.

Policy 4.12

Install, promote and maintain landscaping in public and private areas.

Policy 4.13

Improve pedestrian areas by providing human scale and interest.

The Project would promote the provision of adequate educational services in the City. The Project has been designed to reflect and complement the scale and design of the existing School buildings as well as buildings

surrounding the Project. The Project has been designed to assure the proposed renovations preserve the architectural value of the Saint Vincent de Paul Parish Complex and complements the richness and character of the original buildings. The Project would improve the quality of the existing School facilities and programs, which serve a broad range of families throughout San Francisco and the Bay Area.

10. Planning Code Section 101.1(b) establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The Project Site does not possess any neighborhood-serving retail uses. The Project represents the expansion of a school use in a Residential District. The Project will not displace any existing neighborhood-serving retail businesses and would not prevent future resident employment in and ownership opportunities of such businesses.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The Project Site does not possess any existing housing. The Project will be designed to be compatible with the character and scale of the neighborhood. It will not affect the cultural or economic diversity of the surrounding neighborhood.

- C. That the City's supply of affordable housing be preserved and enhanced,

The Project represents the expansion of a school use. As such, the Project will not displace any existing residential uses nor affect the City's supply of affordable housing.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project Site is served by nearby public transportation options. The Project will not impede MUNI services or affect City streets or neighborhood parking. Staff members will continue to monitor and manage the drop off and pick up process in order to ensure no traffic disruptions and promote the orderly flow of traffic.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project Site is a school use, which will not change as a result of the Project. The Project proposes no commercial office development and will not displace or otherwise affect any industrial or service sector uses.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will be designed and constructed to conform to the structural and seismic safety requirements of the Building Code. As such, this Project will improve the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

The Project Site does not contain any City Landmarks; however, the existing Saint Vincent de Paul Church at 2300 Green Street is listed as a historic resource as well as the Gymnasium and Middle School buildings. As such, the proposed renovations have been reviewed by Department's preservation staff to ensure that the proposed work preserves the architectural value of the Saint Vincent de Paul Parish Complex and complements the richness and character of the original buildings. Specifically, the Project has implemented the following elements:

- a) The new three-story horizontal addition aligns in height with the existing 1924 Lower School building and is compatible (not competing) in scale with the original structure;*
- b) The south elevation of the new addition, between the existing Middle School (1948) and Lower School (1924) is purposefully simple in its design, materiality and articulation, complimenting (not competing) with the original buildings; and*
- c) The new main office reception/lobby in the south façade of the Middle School maintains the brick base, incorporates the detail of the decorative glass inserts, and maintains the character defining materials and features of the existing 1948 Middle School building.*

Preservation staff has determined that the proposed Project meets the Secretary of the Interior's Standards for Rehabilitation and will not result in a significant impact to historic resources.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project will not affect public parks or open spaces or their sunlight access since the proposed additions are not more than 40 feet tall.

- 11.** The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
- 12.** The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2018-004686CUA** subject to the following conditions attached hereto as “EXHIBIT A” in general conformance with plans on file, dated August 17, 2021, and labeled “EXHIBIT B”, which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission’s adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator’s Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on October 14, 2021.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

RECUSE:

ADOPTED: October 14, 2021

EXHIBIT A

Authorization

This authorization is for a Conditional Use (CU) to allow a Planned Unit Development (PUD) with PUD modification to provisions related to rear yard; and CU for renovations and expansion of the Saint Vincent de Paul School located at 2350 Green Street, Block 0538, and Lots 007 and 013 pursuant to Planning Code Sections 134, 209.1, 303 and 304 with a RH-3 (Residential-House, Three-Family) Zoning District and 40-X Height and Bulk District; in general conformance with plans, dated August 17, 2021, and labeled “EXHIBIT B” included in the docket for Record No. 2018-004686CUA and subject to conditions of approval reviewed and approved by the Commission on October 14, 2021 under Motion No. XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

Recordation of Conditions Of Approval

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on October 14, 2021 under Motion No. XXXXXX.

Printing of Conditions of Approval on Plans

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

Severability

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. “Project Sponsor” shall include any subsequent responsible party.

Changes and Modifications

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

CONDITIONS OF APPROVAL, COMPLIANCE, MONITORING, AND REPORTING

Performance

1. **Validity.** The authorization and right vested by virtue of this action is valid for five (5) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

3. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463,

www.sfplanning.org

Design – Compliance at Plan Stage

- 6. Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7350, www.sfplanning.org

- 7. Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7350, www.sfplanning.org

- 8. Rooftop Mechanical Equipment.** Pursuant to Planning Code 141, the Project Sponsor shall submit a roof plan to the Planning Department prior to Planning approval of the building permit application. Rooftop mechanical equipment, if any is proposed as part of the Project, is required to be screened so as not to be visible from any point at or below the roof level of the subject building.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sfplanning.org

- 9. Lighting Plan.** The Project Sponsor shall submit an exterior lighting plan to the Planning Department prior to Planning Department approval of the building / site permit application.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7350, www.sfplanning.org

- 10. Landscaping, Screening of Parking and Vehicular Use Areas.** Pursuant to Planning Code Section 142, the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating the screening of parking and vehicle use areas not within a building. The design and location of the screening and design of any fencing shall be as approved by the Planning Department. The size and species of plant materials shall be as approved by the Department of Public Works. Landscaping shall be maintained and replaced as necessary.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7350, www.sfplanning.org

- 11. Bicycle Parking.** The Project shall provide no fewer than four (4) Class 1 bicycle parking spaces as required by Planning Code Sections 155.1 and 155.2.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 12. Parking Maximum.** Pursuant to Planning Code Section 151.1, the Project shall provide no more than thirty-five (35) off-street parking spaces.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 13. Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

Provisions

- 14. Transportation Sustainability Fee.** The Project is subject to the Transportation Sustainability Fee (TSF), as applicable, pursuant to Planning Code Section 411A.

For information about compliance, contact the Case Planner, Planning Department at 628.652.7350, www.sfplanning.org

Monitoring - After Entitlement

- 15. Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 16. Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as

set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

Operation

- 17. Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 628.271.2000, www.sfpublishworks.org

- 18. Lighting.** All Project lighting shall be directed onto the Project site and immediately surrounding sidewalk area only, and designed and managed so as not to be a nuisance to adjacent residents. Nighttime lighting shall be the minimum necessary to ensure safety, but shall in no case be directed so as to constitute a nuisance to any surrounding property.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

- 19. Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, www.sfplanning.org

ST. VINCENT DE PAUL SCHOOL RENOVATION AND ADDITION

2350 GREEN ST. SAN FRANCISCO, CA 94123

PLANNING RECORD NUMBER: 2018-004686 CUA



ST. VINCENT DE PAUL SCHOOL
RENOVATION AND ADDITION
2350 Green St.
San Francisco, CA 94123



ENTRY VIEW FROM GREEN STREET

DESCRIPTION
C.U. COMMISSION HEARING

DATE
08/17/21

COVER SHEET

A000

PROJECT INFORMATION

PROJECT ADDRESS:

2350 GREEN ST.
SAN FRANCISCO, CA 94123

ARCHITECT:

RATCLIFF

5856 DOYLE ST.
EMERYVILLE, CA 94608

PHONE: 510-899-6400
EMAIL: PALARCON@RATCLIFFARCH.COM
CONTACT: PATRICIA ALARCON

PROJECT DATA:

ZONING DISTRICT: RH-3
HEIGHT AND BULK: 40-X
FAR: MAX ALLOWABLE: 1.8 TO 1
EXISTING: 1.26 TO 1
PROPOSED: 1.4 TO 1
FAR PREMIUM @ CORNER LOT: (INCREASE 25%, NOT USED)

PARCEL SIZES:

0538007: 31,493 SF .72 ACRES
0538013: 6,155 SF .14 ACRES

TOTAL: 37,648 SF .86 ACRES

EARTHWORK QUANTITIES:

CUT: 215 CY
FILL: 583 CY
TOTAL IMPORT: 368 CY IMPORT

SCHOOL ENROLLMENT SUMMARY

	Grade	2021-2021	Maximum Capacity per Grade
LOWER SCHOOL	K	28	40
	1	30	40
	2	25	40
	3	24	40
	4	23	40
	TOTAL LS	130	200
MIDDLE SCHOOL	5	18	40
	6	28	40
	7	22	40
	8	34	40
	TOTAL MS	102	160
TOTAL ALL SCHOOL		232*	360

* THE SCHOOL HAS RECENTLY EXPERIENCED A REDUCTION IN STUDENT ENROLLMENT RELATED TO COVID-19 AND TO FAMILIES MOVING OUT OF SAN FRANCISCO

PROJECT DESCRIPTION

ST. VINCENT DE PAUL IS A PRIVATE CATHOLIC K-8 SCHOOL LOCATED ON GREEN STREET IN THE COW HOLLOW AREA OF SAN FRANCISCO. IT HAS BEEN IN OPERATION SINCE 1924. THE SCHOOL CURRENTLY OCCUPIES THREE BUILDINGS. THE LOWER SCHOOL IS HOUSED IN A THREE-STORY STRUCTURE WITH NO BASEMENT. THE MIDDLE SCHOOL, WEST OF THE LOWER SCHOOL, IS HOUSED IN A THREE-STORY STRUCTURE OF CLASSROOMS OVER AN OPEN AIR CARPORT. THERE IS AN ATTACHED GYMNASIUM WITH A BASEMENT WEST OF THE MIDDLE SCHOOL.

PROJECT SCOPE

THE RENOVATIONS WILL ADDRESS SEISMIC ISSUES IDENTIFIED IN THE SCHOOL'S TIER 1 ANALYSIS OF THE BUILDINGS, IMPROVE ADA ACCESS TO THE LOWER AND MIDDLE SCHOOLS, CREATE A SINGLE POINT OF ENTRY AND CONNECT THE LOWER SCHOOL TO THE MIDDLE SCHOOL THROUGH CONTINUOUS VERTICAL AND HORIZONTAL CIRCULATION, RELOCATE THE RECEPTION TO THE FRONT OF THE SCHOOL FOR BETTER SECURITY, AND PROVIDE IMPROVEMENTS TO THE PLAY SPACE.

THE SPECIFIC PROPOSED WORK WILL BE DONE IN THE FOLLOWING PHASES:

1. THE NEW MIDDLE SCHOOL ADDITION CONTAINS NEW STAIRS, ELEVATOR, LOBBY AND INFILL OF THE CARPORT. PHASE I ALSO INCLUDES RENOVATION OF THE MAIN COURTYARD/PLAY AREA AND THE NORTH COURT
2. TENANT IMPROVEMENTS IN THE EXISTING BASEMENT BELOW THE GYMNASIUM.
3. TENANT IMPROVEMENTS TO THE LOWER SCHOOL BUILDING.
4. ELEVATED PLAY AREA ON TOP OF THE EXISTING PARKING LOT, AT THE CORNER OF GREEN & PIERCE STREET. THE ELEVATED PLAY AREA MAY BE USED FOR RECESS, LUNCH HOURS, DURING AND AFTER SCHOOL.

OUTDOOR AREA:

MAIN COURTYARD / PLAY AREA 6,678 SF
LOWER PLAY AREA 2,020 SF
NORTH COURT 853 SF
ELEVATED PLAY AREA 7,820 SF

PARKING LOT AREA:

EXISTING: 8,253 SF

NEW PARKING TOTAL AREA: 0 SF

PARKING SUMMARY:

EXISTING:	PROPOSED:
STANDARD PARKING	STANDARD PARKING
LOT 13 25	25
LOT 7 17	10
TOTAL 42	35
	NET CHANGE : -7

BIKE PARKING: PER SFMTA BICYCLE PARKING STANDARDS, CLASS I, LONG-TERM SCHOOL BICYCLE PARKING, RACKS INSIDE FENCED AREA.

EXISTING: 4 PROPOSED: 4

ACCORDING TO CODE SECTION 155.2.A.3 - SINCE THE GROSS FLOOR AREA INCREASE IS LESS THAN 20%, THE BICYCLE REQUIREMENT IS NOT APPLICABLE

BUILDING AREA SUMMARY IN GROSS AND OCCUPIED SQUARE FEET					
BUILDING	EXISTING (GSF)	DEMO (GSF)	NEW AREA ADDED (GSF)	PROPOSED GROSS AREA (GSF)	PROPOSED OCCUPIED AREA (SF)

GYM

BASEMENT	8,556	237	-237	8,319	5,185
FIRST	9,981	477	-477	9,504	7,375
SECOND	4,042	0	45	4,087	905
	22,579 GSF	714 GSF	-669 GSF	21,910 GSF	13,465 SF

LOWER SCHOOL - GRADES 1-4

BASEMENT	7,314	1,214	-1,214	6,100	5,241
FIRST	5,771	307	-307	5,464	3,562
SECOND	5,771	307	-307	5,464	3,562
	18,856 GSF	1,828 GSF	-1,828 GSF	17,028 GSF	12,365 SF

MIDDLE SCHOOL - GRADES 5-8

BASEMENT	0	0	1,484	1,484	894
FIRST	0	0	3,988	3,988	1,008
SECOND	2,986	583	1,103	4,089	1,986
THIRD	2,986	583	1,103	4,089	1,986
	5,972 GSF	1,166 GSF	7,678 GSF	13,650 GSF	5,874 SF

SCIENCE

BASEMENT	827	827	-827	0 * NEW LOWER PLAY AREA	0 * NEW LOWER PLAY AREA
	827 GSF	827 GSF	-827 GSF		

GRAND TOTAL	48,234 GSF	4,535 GSF	4,354 GSF	52,588 GSF	31,704 SF
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SHEET INDEX - PLANNING APP	
SHEET #	SHEET NAME
A000	COVER SHEET
A001	SHEET INDEX, PROJECT INFORMATION
A002	SF PLANNING CODE ANALYSIS TABLE
A003	SITE AERIAL VIEWS
A004	EXISTING SITE PLAN
A005	PROPOSED SITE PLAN
A006	PHASING PLAN
A007	SITE PHOTOS
A008	SITE PHOTOS
A009	PROPOSED GROSS FLOOR AREA PLANS BASEMENT & FIRST
A010	PROPOSED GROSS FLOOR AREA PLANS SECOND & THIRD
A011	SITE SECTIONS
C1.0	EXISTING CONDITIONS
C1.1	EXISTING CONDITIONS
C2.0	PRELIMINARY IMPROVEMENT AND GRADING PLAN
C2.1	PRELIMINARY IMPROVEMENT AND GRADING PLAN
C3.0	PRELIMINARY UTILITY PLAN
L1.0	LANDSCAPE SITE PLAN
L2.0	MAIN COURTYARD PLAN
L3.0	KINDERGARTEN PLAY AREA AND OUTDOOR TEACHER'S PATIO
L4.0	ELEVATED PLAYGROUND
A200E	EXISTING PLAN - BASEMENT
A200D	DEMO PLAN - BASEMENT
A200N	PROPOSED PLAN - BASEMENT
A201E	EXISTING PLAN - FIRST FLOOR
A201D	DEMO PLAN - FIRST FLOOR
A201N	PROPOSED PLAN - FIRST FLOOR
A202E	EXISTING PLAN - SECOND FLOOR
A202D	DEMO PLAN - SECOND FLOOR
A202N	PROPOSED PLAN - SECOND FLOOR
A203E	EXISTING PLAN - THIRD FLOOR
A203D	DEMO PLAN - THIRD FLOOR
A203N	PROPOSED PLAN - THIRD FLOOR
A204E	EXISTING PLAN - ROOF
A204D	DEMO PLAN - ROOF
A204N	PROPOSED PLAN - ROOF
A205	EXISTING & PROPOSED WEST PARKING
A206	PROPOSED ELEVATED PLAY AREA
A301	EXISTING SOUTH ELEVATION
A301B	SOUTH ELEVATION - PROPOSED WITH FENCE
A302	EXISTING & PROPOSED SOUTH ELEVATION - PARKING
A303	EXISTING & PROPOSED EAST & NORTH ELEVATION AT MIDDLE SCHOOL
A304	EXISTING & PROPOSED EAST-WEST BUILDING SECTION
A305	EXISTING & PROPOSED NORTH-SOUTH BUILDING SECTION
A306	STREET VIEWS

RATCLIFF



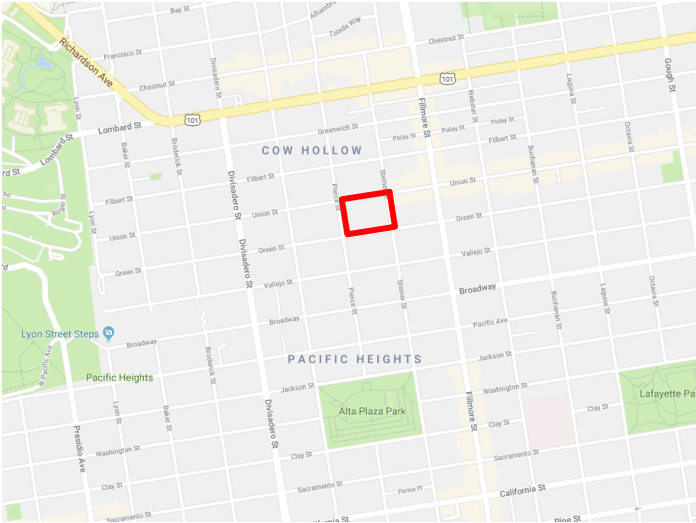
ST. VINCENT DE PAUL SCHOOL
RENOVATION AND ADDITION
2350 Green St.
San Francisco, CA 94123

DESCRIPTION
C.U. COMMISSION HEARING

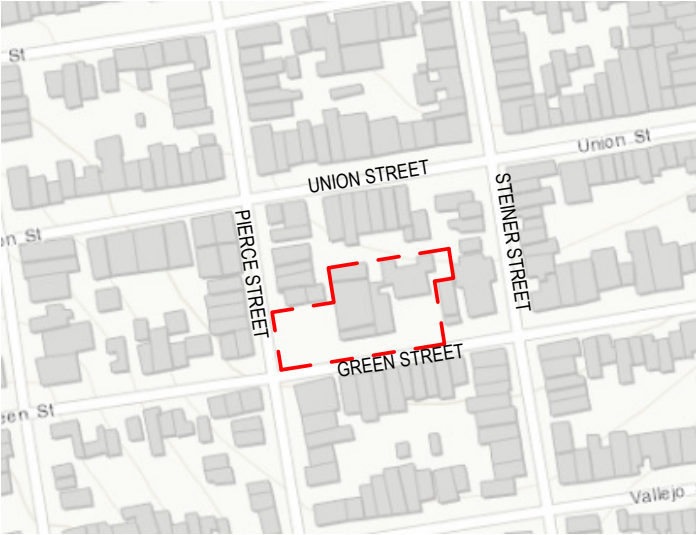
DATE
08/17/21

SHEET INDEX, PROJECT INFORMATION

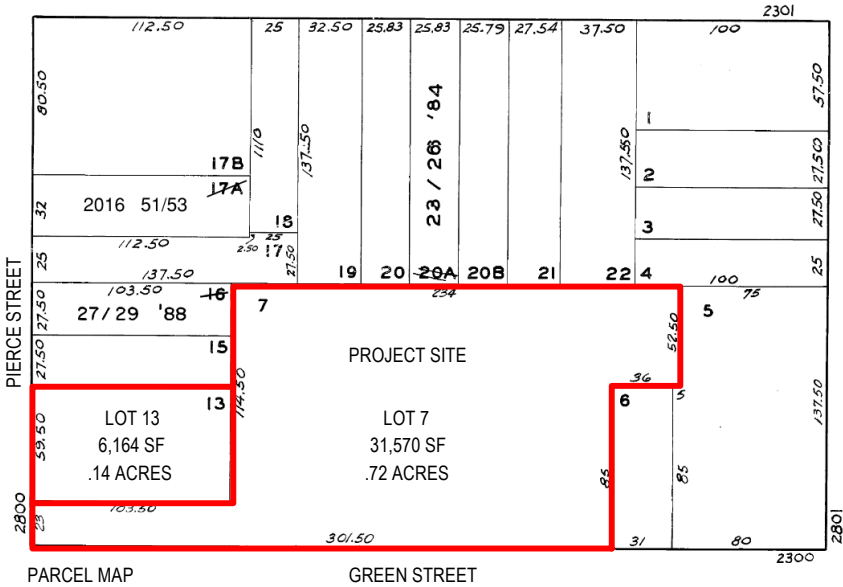
A001



LOCATION MAP



VICINITY MAP



PLANNING CODE COMPLIANCE			
PLANNING CODE SECTION	EXISTING CONDITIONS/ REQUIRED BY CODE	PROPOSED	COMPLIANT?
209.1 PRIVATE K-8 SCHOOL	NONRESIDENTIAL USES ARE PERMITTED WITH CU PERMIT.	EXISTING 47,407 GSF; NET ADDITION 4,354 GSF	CU REQUIRED
121 LOT AREA/WIDTH	WIDTH: 25 FT; AREA: 2500 SF	LOT 7 SIZE: 31,493 SF LOT 13 SIZE: 6,155 SF TOTAL LOT SIZE: 37,648 SF	COMPLIANT
124 FLOOR AREA RATIO	MAX - 1.8 TIMES LOT AREA	52,588 SF / 37,734 SF = 1.4	COMPLIANT
132 FRONT SETBACK	BASED UPON AVERAGE OF ADJACENT BUILDINGS; UP TO 15 FT, OR 15% OF LOT DEPTH	EXISTING CONDITION TO REMAIN. GYM AND MIDDLE SCHOOL ARE ZERO SETBACK.	COMPLIANT
134 REAR YARD SETBACK	AVERAGE OF ADJACENT OR 25% OF LOT DEPTH, WHICHEVER IS GREATER.	CHURCH AND RECTORY ARE ZERO SETBACK. 25% OF LOT DEPTH FOR LOT 7 = 34'-5". 25% OF LOT DEPTH FOR LOT 13 = 25'-11". PUD MODIFICATION REQUIRED FOR LOT 7 BECAUSE PROPOSED ADDITION EXTENDS APPROX. 8' INTO REQUIRED REAR YARD. ADDITIONALLY, THE ELEVATED PLAY AREA IS WITHIN THE REAR YARD SETBACK OF LOT 13. PUD MODIFICATION REQUIRED.	PUD MODIFICATION REQUIRED
138.1 STREETScape PLAN	1 STREET TREE PER 20' OF FRONTAGE; SIDEWALK IMPROVEMENTS	11 STREET TREES ON GREEN STREET AND 2 TREES ON PIERCE STREET TO REMAIN.	COMPLIANT
139 BIRD SAFETY	PROJECT INCLUDES FEATURE RELATED HAZARD OF GLAZING SEGMENTS EXCEEDING 24 SF.	GLAZING TREATMENT WILL BE PROVIDED FOR SEGMENTS EXCEEDING 24 SF.	COMPLIANT
142 PARKING SCREENING & GREENING	PERIMETER SCREENING/ FENCING 4' HIGH	EXISTING 6' FENCE ON PIERCE/GREEN CORNER TO REMAIN AND MODIFIED 6' FENCE ON LOT 7, WHICH SERVES AS PLAY AREA AND PARKING DURING NON-SCHOOL HOURS.	COMPLIANT
151 PARKING IN RH-3	42 PARKING SPACES EXISTING. 15 CLASSROOMS EXISTING. NO CLASSROOMS ARE ADDED, NO NEW PARKING REQUIRED.	35 SPACES TO REMAIN. NET CHANGE -7 SPACES.	COMPLIANT
152 REQUIRED OFF-STREET LOADING	EXISTING OCCUPIED FLOOR AREA = 28,165 SF < 100,00 SF. NONE REQUIRED.	PROPOSED OCCUPIED FLOOR AREA = 31,704 SF < 100,000 SF. NONE REQUIRED.	COMPLIANT
155.2 BICYCLE PARKING	PER SFMTA, CLASS I SCHOOL BICYCLE PARKING, RACKS WITHIN FENCED AREA. ACCORDING TO 155.2.A3- ADDITIONAL BIKE PARKING IS REQUIRED IF THE BUILDING ADDITION IS MORE THAN 20%	AREA EXISTING: 48,234 GSF AREA PROPOSED: 52,588 GSF ADDITION: 4,354 GSF 4,354/48,234 = 9% < 20% NO ADDITIONAL BICYCLE PARKING REQUIRED, 4 EXISTING TO REMAIN.	COMPLIANT

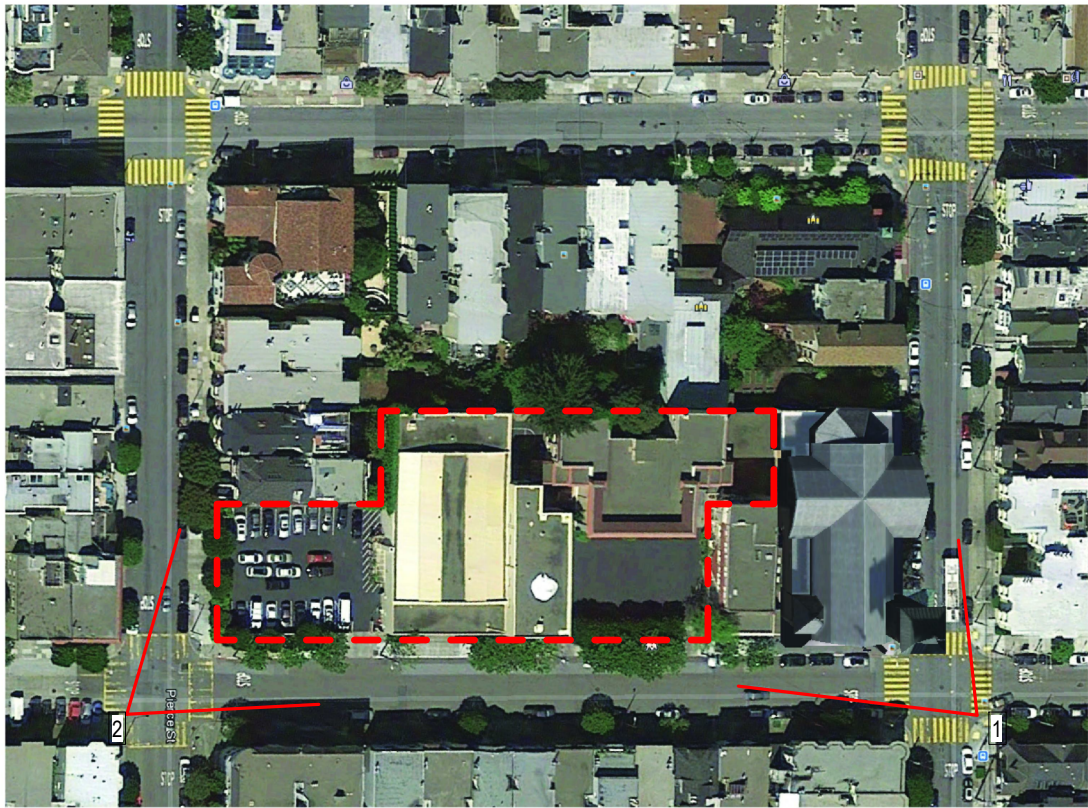


ST. VINCENT DE PAUL SCHOOL
RENOVATION AND ADDITION
2350 Green St.
San Francisco, CA 94123

DESCRIPTION
C.U. COMMISSION HEARING

DATE
08/17/21

SF PLANNING CODE
ANALYSIS TABLE



AERIAL VIEW OF PROJECT SITE



1. VIEW OF PROJECT SITE LOOKING NORTH-WEST FROM GREEN & STEINER



2. VIEW OF PROJECT SITE LOOKING NORTH-EAST FROM GREEN & PIERCE



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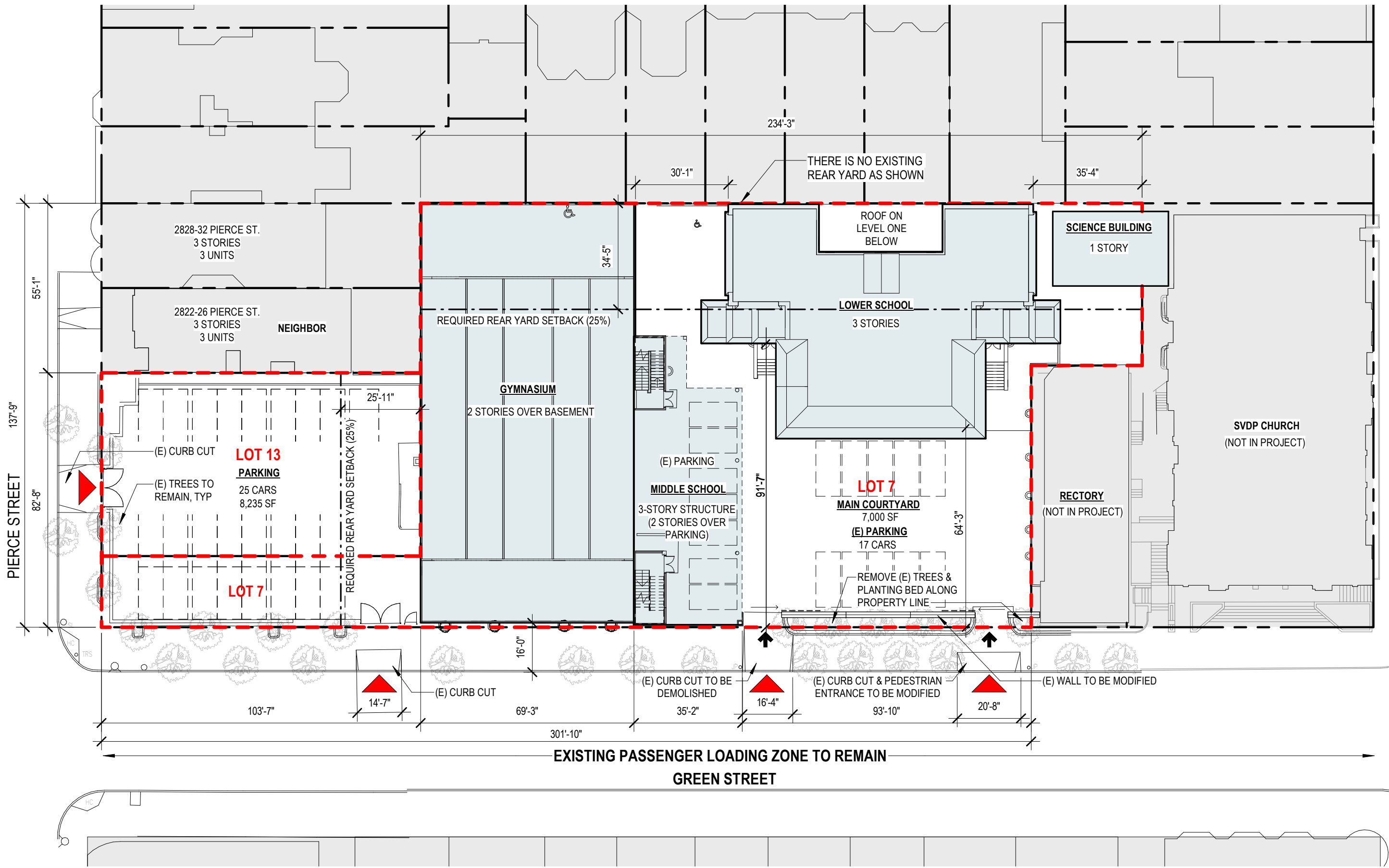
SITE AERIAL VIEWS		DATE	DESCRIPTION
A003		08/17/21	C.U. COMMISSION HEARING



**ST. VINCENT DE PAUL SCHOOL
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2350 Green St.
San Francisco, CA 94123

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EXISTING SITE PLAN



ACCESS KEY NOTES

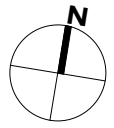
- PEDESTRIAN ENTRANCE
- VEHICLE ENTRANCE
- (E) TREE TO REMAIN

PARKING SUMMARY:

PLAY AREA: 17 (E); 7 TO BE REMOVED
WEST PARKING: 25 (E) TO REMAIN
PROPOSED TOTAL: 35

TREE SUMMARY:

GREEN STREET : 11 (E)
PIERCE STREET : 2 (E)
TOTAL : 13 (E) TO REMAIN

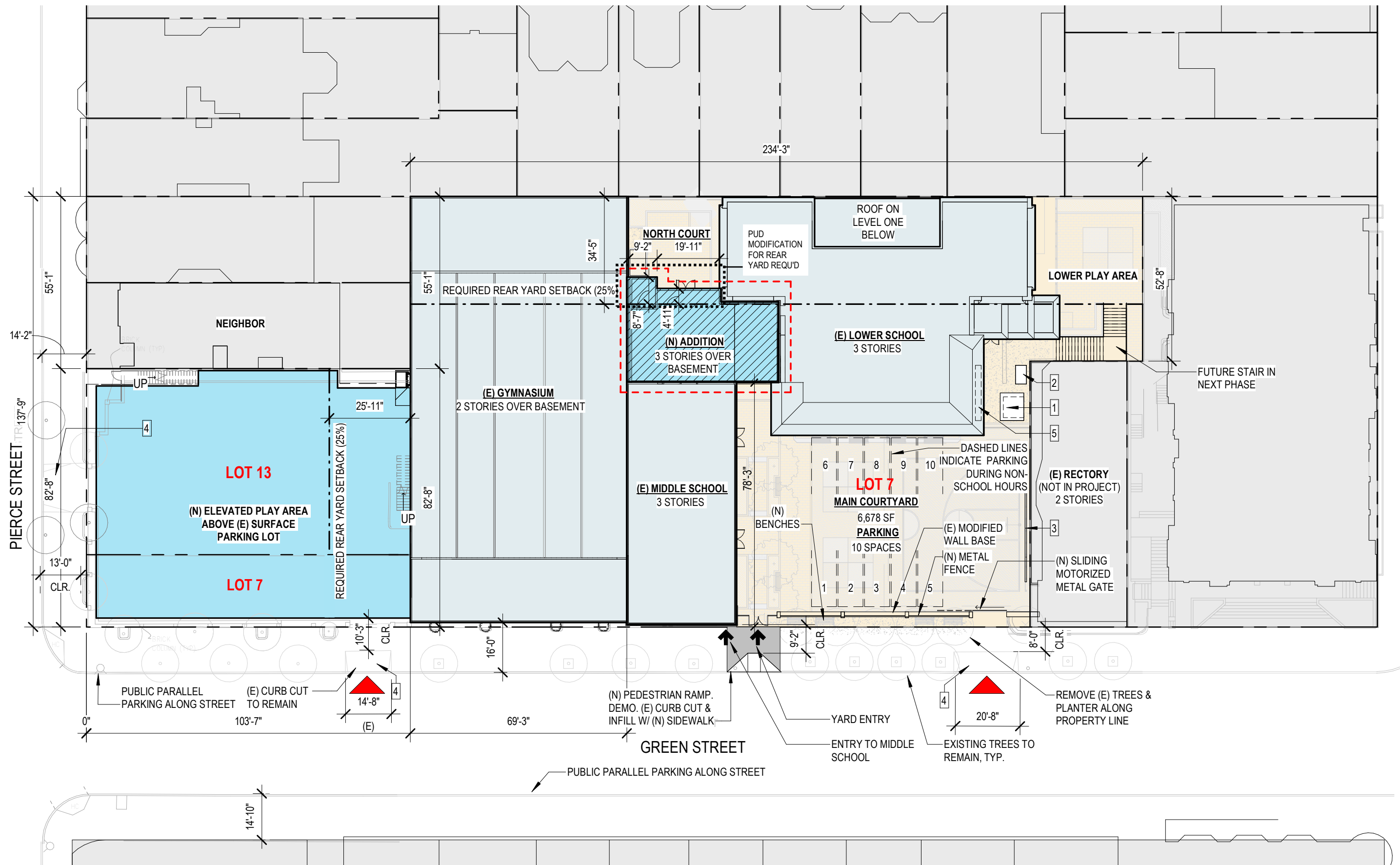


2330 Green St.
San Francisco, CA 94123

DATE	DESCRIPTION
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PROPOSED SITE PLAN

A005



- ## ACCESS KEY NOTES

-  PEDESTRIAN ENTRANCE
 VEHICLE ENTRANCE
 (E) TREE TO REMAIN
 (E) TREE TO BE REMOVED

- SHEET NOTES

1. TRANSFORMER PAD AND BOLLARDS
2. ELECTRICAL SWITCH GEAR ENCLOSURE

- ### 3. BALL WALL

4. (E) CURB CUT TO REMAIN
5. ZONE FOR TRASH/RECYCLING & COMPOST BINS



0

30 ft

ST. VINCENT DE PAUL SCHOOL RENOVATION AND ADDITION

2330 Green St.
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PHASING PLAN

A006





1. SOUTHWEST PARKING



2. SOUTHWEST PARKING ENTRANCE



3. GYM ENTRANCE



4. MIDDLE SCHOOL FRONT FACADE



5. MIDDLE SCHOOL FRONT ENTRY



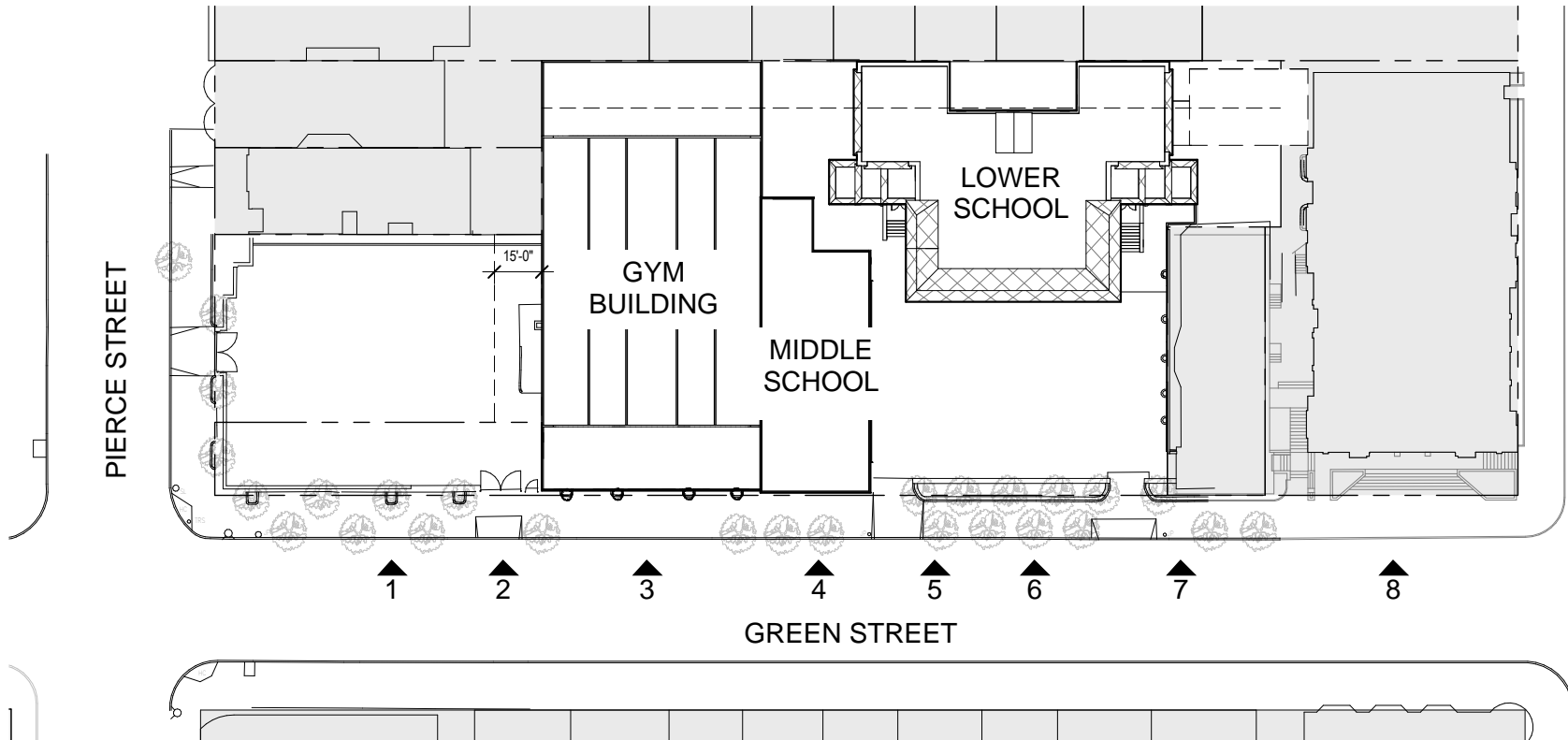
6. FRONT FENCE



7. FRONT EAST ENTRANCE / RECTORY



8. SVDP CHURCH



ST. VINCENT DE PAUL SCHOOL
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SITE PHOTOS



1. APARTMENT ACROSS FROM PARKING



2. APARTMENT ACROSS FROM PARKING



3. APARTMENT ACROSS FROM GYM



4. APARTMENT ACROSS FROM MIDDLE SCHOOL



5. APARTMENT ACROSS FROM FENCE



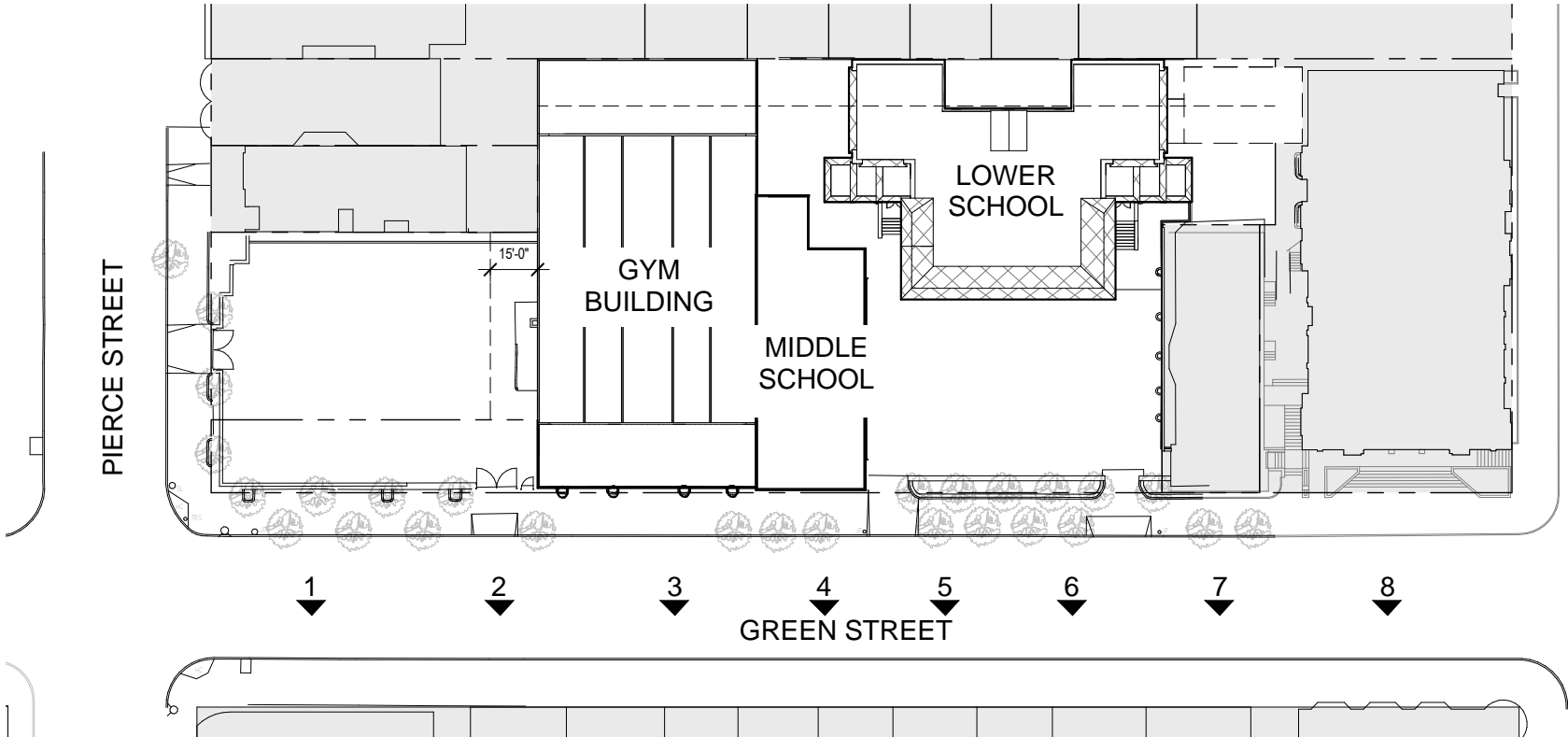
6. APARTMENT ACROSS FROM FENCE



7. APARTMENT ACROSS FROM RECTORY



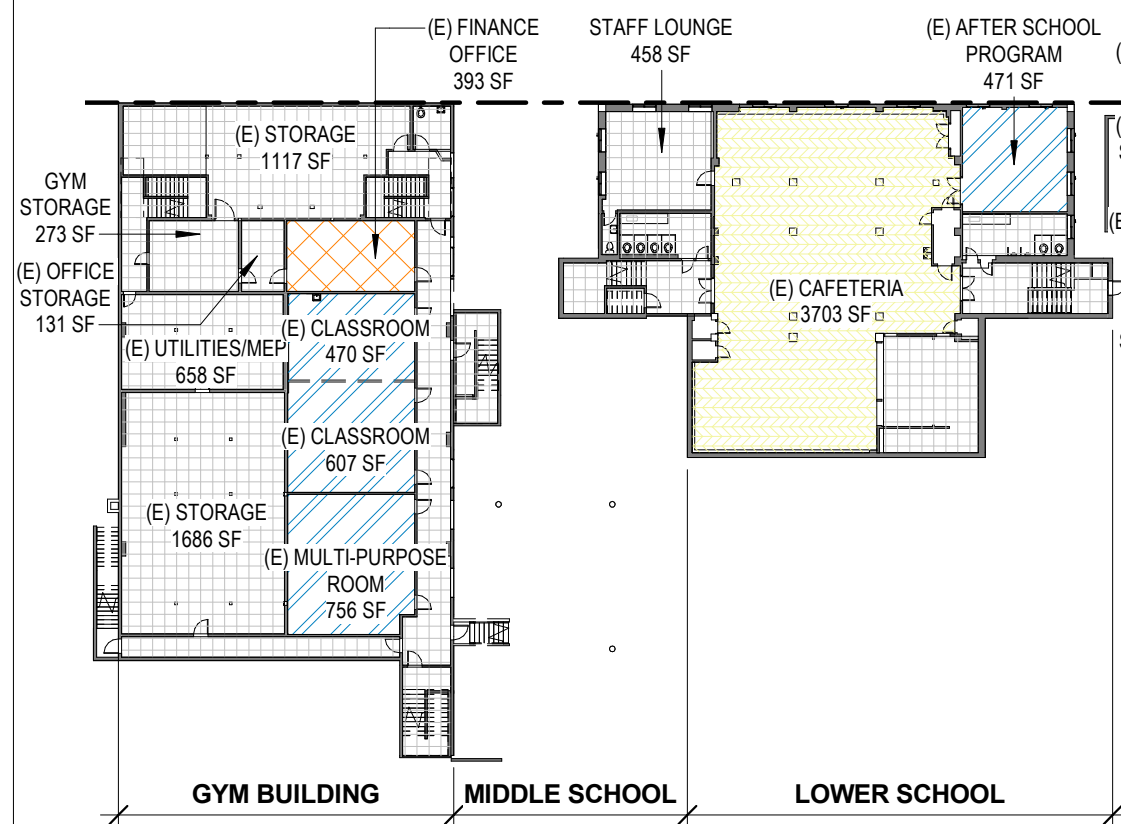
8. APARTMENT ACROSS FROM CHURCH



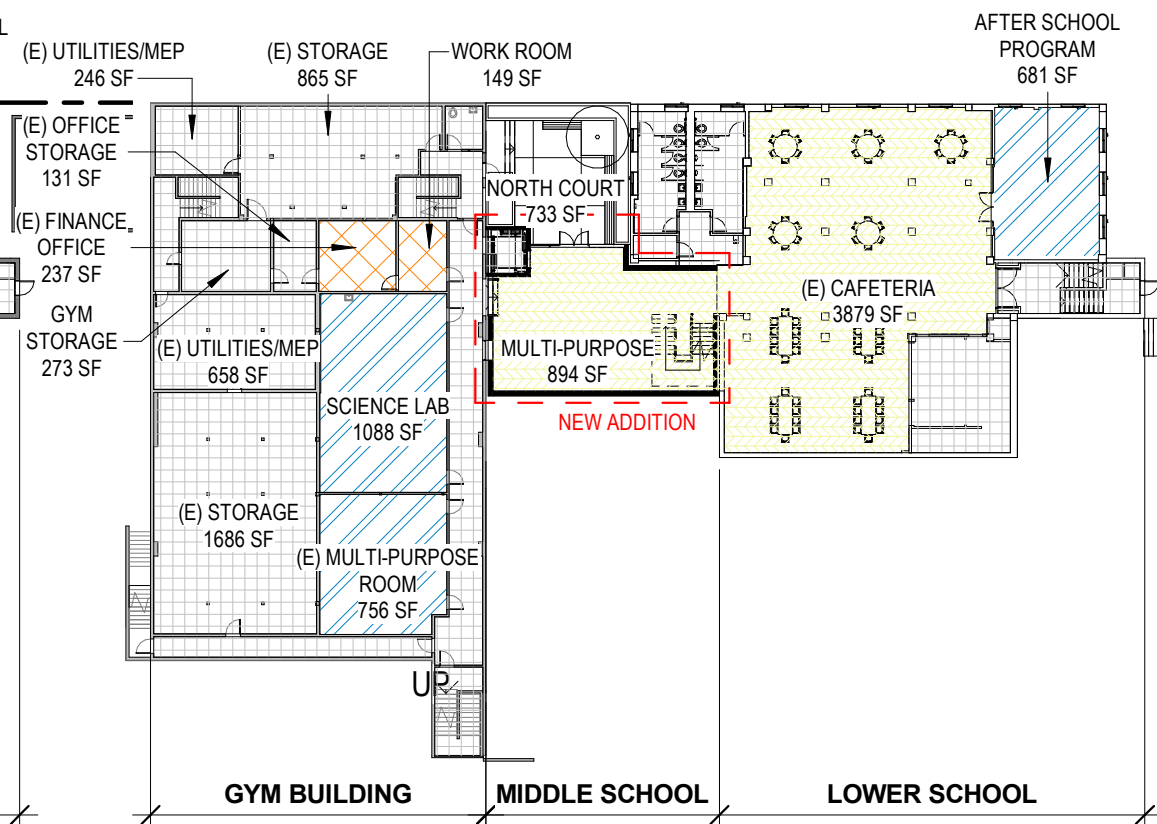
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DATE	DESCRIPTION
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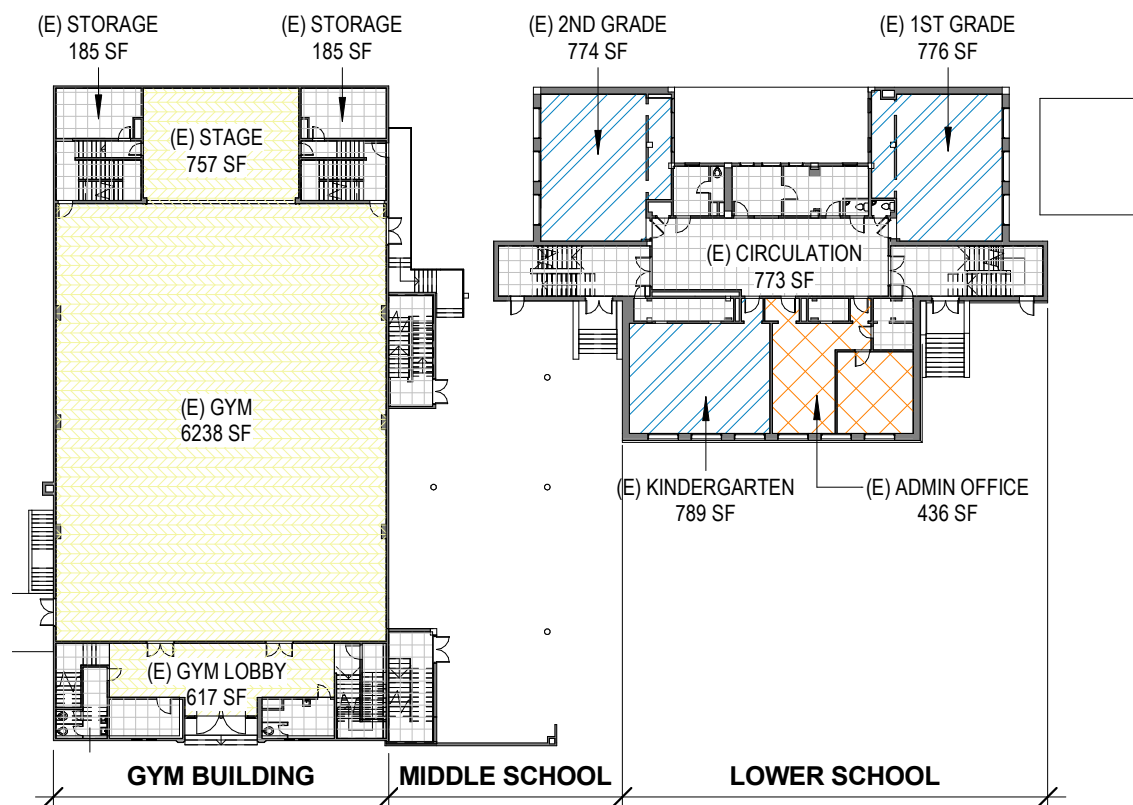
SITE PHOTOS



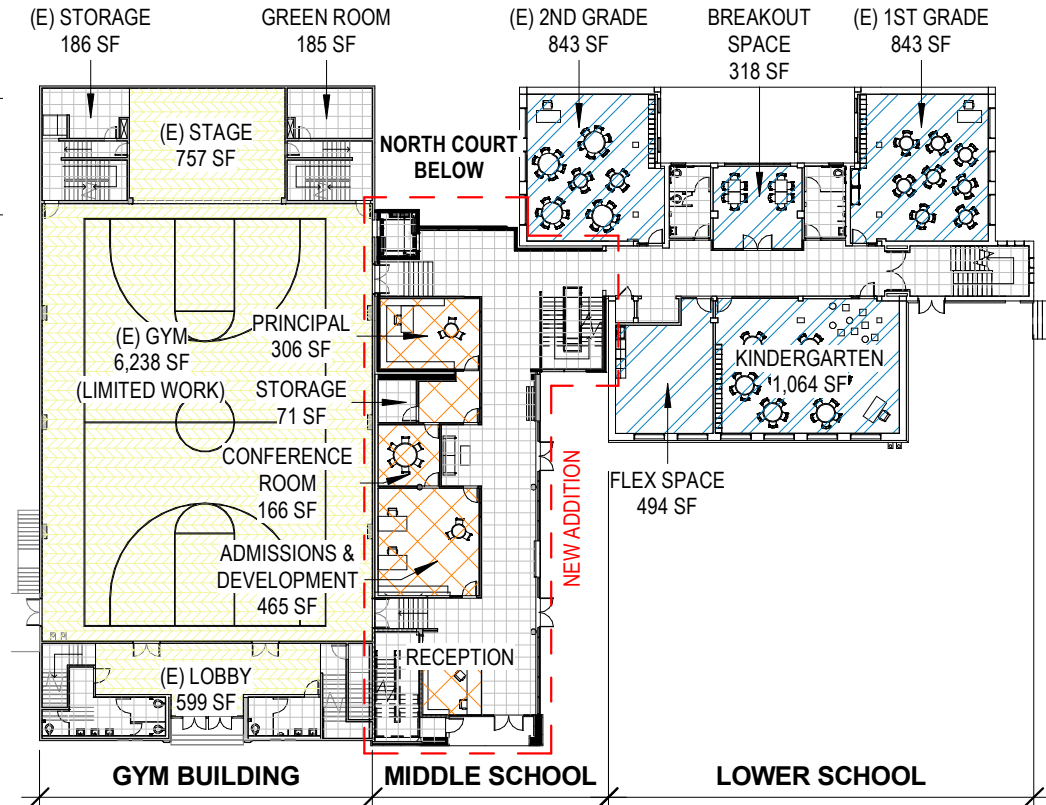
EXISTING GROSS AREA FLOOR PLAN - BASEMENT



PROPOSED GROSS AREA FLOOR PLAN - BASEMENT

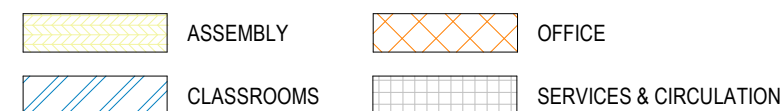


EXISTING GROSS AREA FLOOR PLAN - FIRST FLOOR



PROPOSED GROSS AREA FLOOR PLAN - FIRST FLOOR

USE TYPE LEGEND



EXISTING FLOOR AREA (GROSS) BY BUILDING	
BUILDING	AREA

GYM	
BASEMENT	8,556 SF
FIRST	9,981 SF
SECOND	4,042 SF
	22,579 SF

LOWER	
BASEMENT	7,314 SF
FIRST	5,771 SF
SECOND	5,771 SF
18,856 SF	

MIDDLE	
BASEMENT	0 SF
FIRST	0 SF
SECOND	2,986 SF
THIRD	2,986 SF
	5,972 SF
	47,407 SF

EXISTING FLOOR AREAS (GROSS) BY USE	
OCCUPANCY GROUP	AREA

BASEMENT	
ASSEMBLY	3,929 SF
CLASSROOM	3,355 SF
OFFICE	411 SF
SERVICES & CIRCULATION	8,172 SF
15,867 SF	

FIRST	
ASSEMBLY	7,873 SF
CLASSROOM	2,308 SF
OFFICE	705 SF
SERVICES & CIRCULATION	4,867 SF
	15,753 SF

SECOND	
ASSEMBLY	0 SF
CLASSROOM	5,691 SF
OFFICE	0 SF
SERVICES & CIRCULATION	7,107 SF
	12,798 SF

THIRD	
ASSEMBLY	0 SF
CLASSROOM	1,636 SF
OFFICE	0 SF
SERVICES & CIRCULATION	1,350 SF
	2,986 SF
	47,407 SF

PROPOSED FLOOR AREAS (GROSS) BY BUILDING	
BUILDING	AREA

BASEMENT	8,319 SF
FIRST	9,504 SF
SECOND	4,087 SF
	21,910 SF (-669 SF)

LOWER	
BASEMENT	6,100 SF
FIRST	5,464 SF
SECOND	5,464 SF

17,028 SF (-1,828 SF)

MIDDLE	
BASEMENT	1,484 SF
FIRST	3,988 SF
SECOND	4,089 SF
THIRD	4,089 SF

GRAND TOTAL 52,588 SF
(52,588 - 47,407) = 5,181 ADDED SF

PROPOSED FLOOR AREAS (GROSS) BY USE	
OCCUPANCY GROUP	AREA

BASEMENT	
ASSEMBLY	5,296 SF
CLASSROOM	2,696 SF
OFFICE	411 SF
SERVICES & CIRCULATION	7,500 SF
	15,903 SF

FIRST	
ASSEMBLY	7,835 SF
CLASSROOM	4,046 SF
OFFICE	1,180 SF
SERVICES & CIRCULATION	5,896 SF
	18,957 SF

SECOND	
ASSEMBLY	0 SF
CLASSROOM	6,966 SF
OFFICE	0 SF
SERVICES & CIRCULATION	6,674 SF
	13,640 SF

THIRD	
ASSEMBLY	0 SF
CLASSROOM	1,931 SF
OFFICE	0 SF
SERVICES & CIRCULATION	2,157 SF
	4,088 SF
	52,588 SF



**ST. VINCENT DE PAUL SCHOOL
RENOVATION AND ADDITION**

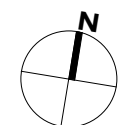
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C.U. COMMISSION HEARING

DATE	08/17/21
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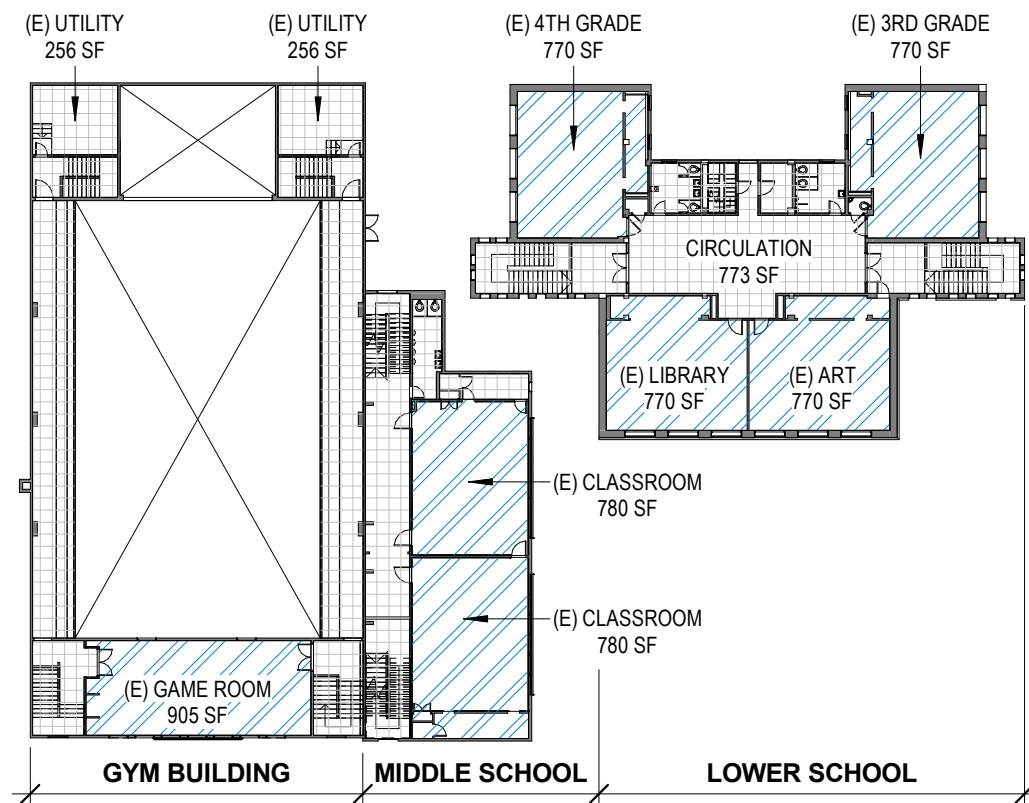
**PROPOSED GROSS
FLOOR AREA PLANS
BASEMENT & FIRST**

A009

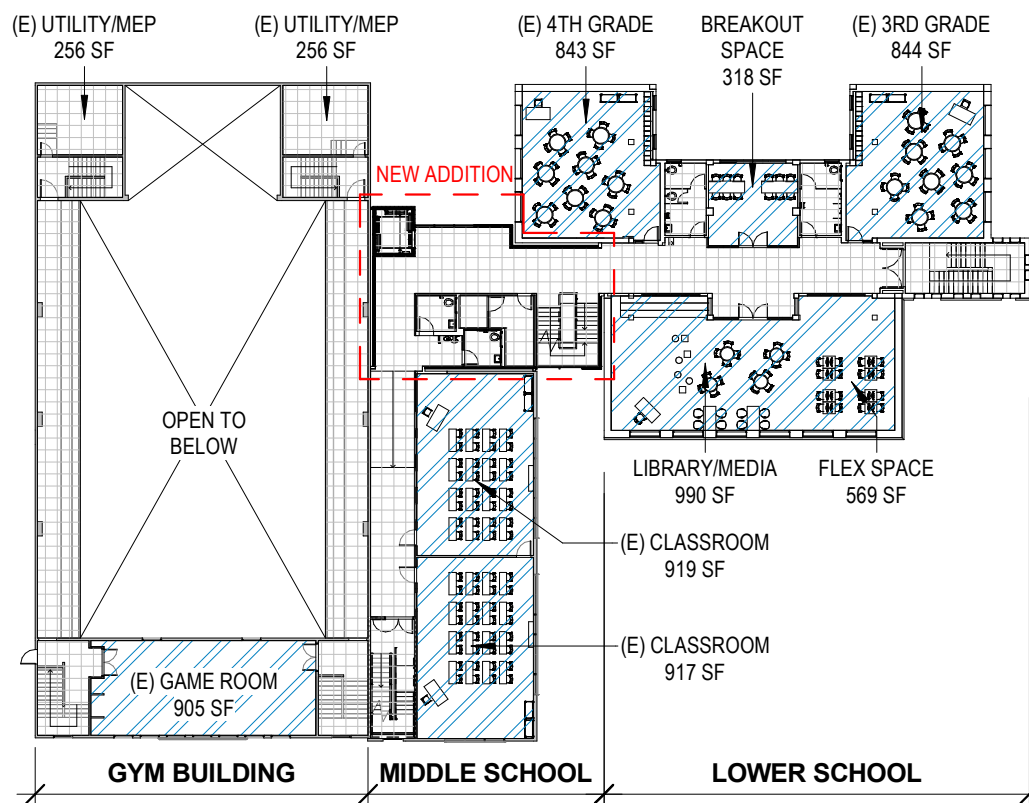


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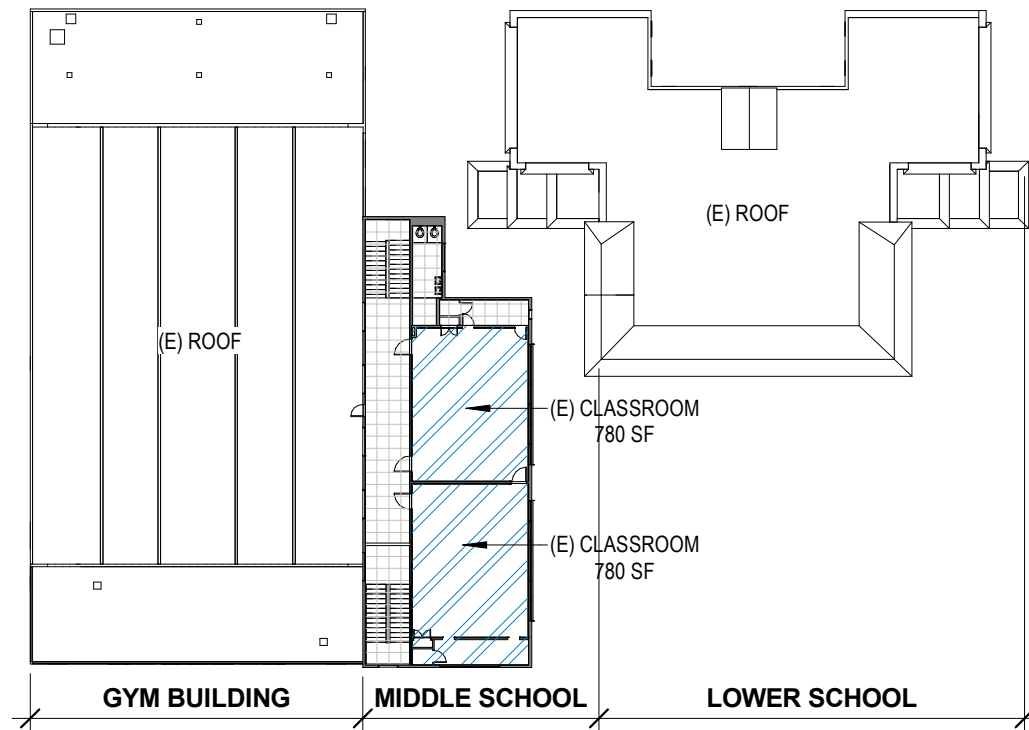
40 ft



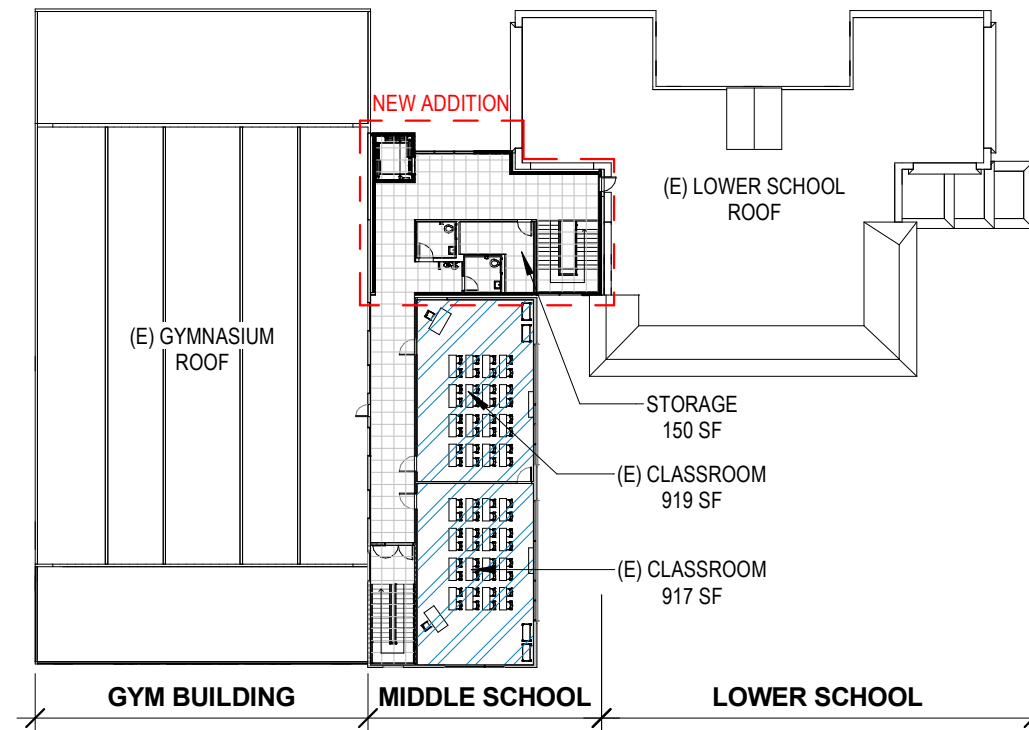
EXISTING GROSS AREA FLOOR PLAN - 2ND FLOOR



PROPOSED GROSS AREA FLOOR PLAN - 2ND FLOOR



EXISTING GROSS AREA FLOOR PLAN - 3RD FLOOR



PROPOSED GROSS AREA FLOOR PLAN - 3RD FLOOR

USE TYPE LEGEND

	ASSEMBLY		OFFICE
	CLASSROOMS		SERVICES & CIRCULATION

EXISTING FLOOR AREA (GROSS) BY BUILDING	
BUILDING	AREA

GYM	
BASEMENT	8,556 SF
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SECOND	4,042 SF
	22,579 SF
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MIDDLE	
BASEMENT	0 SF
FIRST	0 SF
SECOND	2,986 SF
THIRD	2,986 SF
	5,972 SF
	47,407 SF

EXISTING FLOOR AREAS (GROSS) BY USE	
OCCUPANCY GROUP	AREA

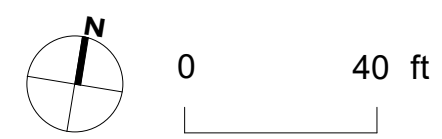
BASEMENT	
ASSEMBLY	3,929 SF
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OFFICE	0 SF
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ASSEMBLY	0 SF
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OFFICE	0 SF
SERVICES & CIRCULATION	1,350 SF
	2,986 SF
	47,407 SF

PROPOSED FLOOR AREAS (GROSS) BY BUILDING	
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SECOND	4,087 SF
	21,910 SF (-669 SF)
LOWER	
BASEMENT	6,100 SF
FIRST	5,464 SF
SECOND	5,464 SF
	17,028 SF (-1,214 SF)
MIDDLE	
BASEMENT	1,484 SF
FIRST	3,988 SF
SECOND	4,089 SF
THIRD	4,089 SF
	13,650 SF (+7,678 SF)
GRAND TOTAL	52,588 SF
	(52,588 - 47,407) = 5,181 ADDED SF

PROPOSED FLOOR AREAS (GROSS) BY USE	
OCCUPANCY GROUP	AREA

BASEMENT	
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CLASSROOM	2,696 SF
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SERVICES & CIRCULATION	7,500 SF
	15,903 SF
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ASSEMBLY	7,835 SF
CLASSROOM	4,046 SF
OFFICE	1,180 SF
SERVICES & CIRCULATION	5,896 SF
	18,957 SF
SECOND	
ASSEMBLY	0 SF
CLASSROOM	6,966 SF
OFFICE	0 SF
SERVICES & CIRCULATION	6,674 SF
	13,640 SF
THIRD	
ASSEMBLY	0 SF
CLASSROOM	1,931 SF
OFFICE	0 SF
SERVICES & CIRCULATION	2,157 SF
	4,088 SF
	52,588 SF

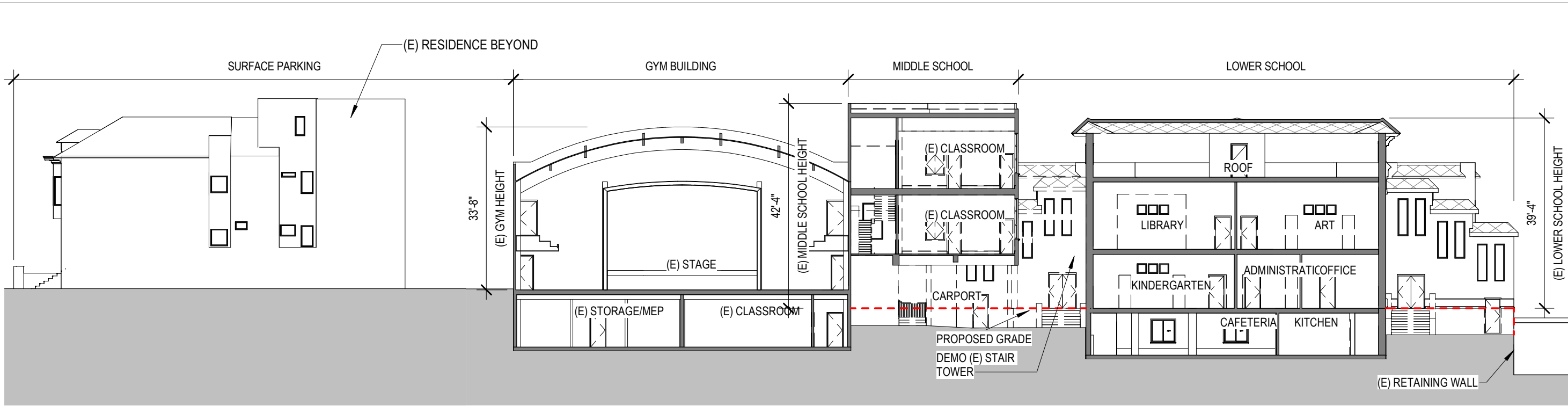


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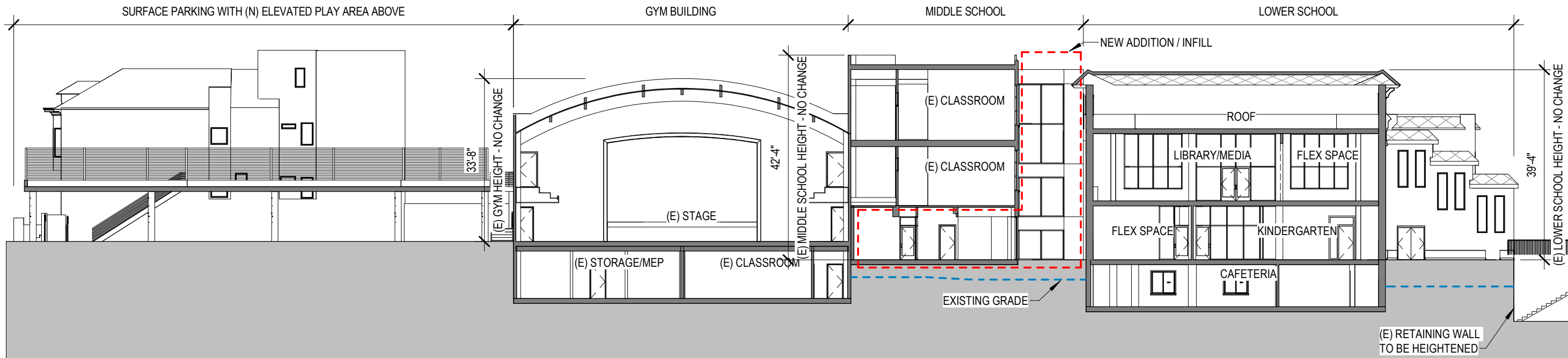
DESCRIPTION	C.U. COMMISSION HEARING
DATE	08/17/21

PROPOSED GROSS FLOOR AREA PLANS SECOND & THIRD

A010



1 EXISTING SITE SECTION
3/64" = 1'-0"



2 PROPOSED SITE SECTION
3/64" = 1'-0"



ST. VINCENT DE PAUL SCHOOL
RENOVATION AND ADDITION

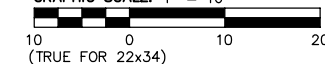
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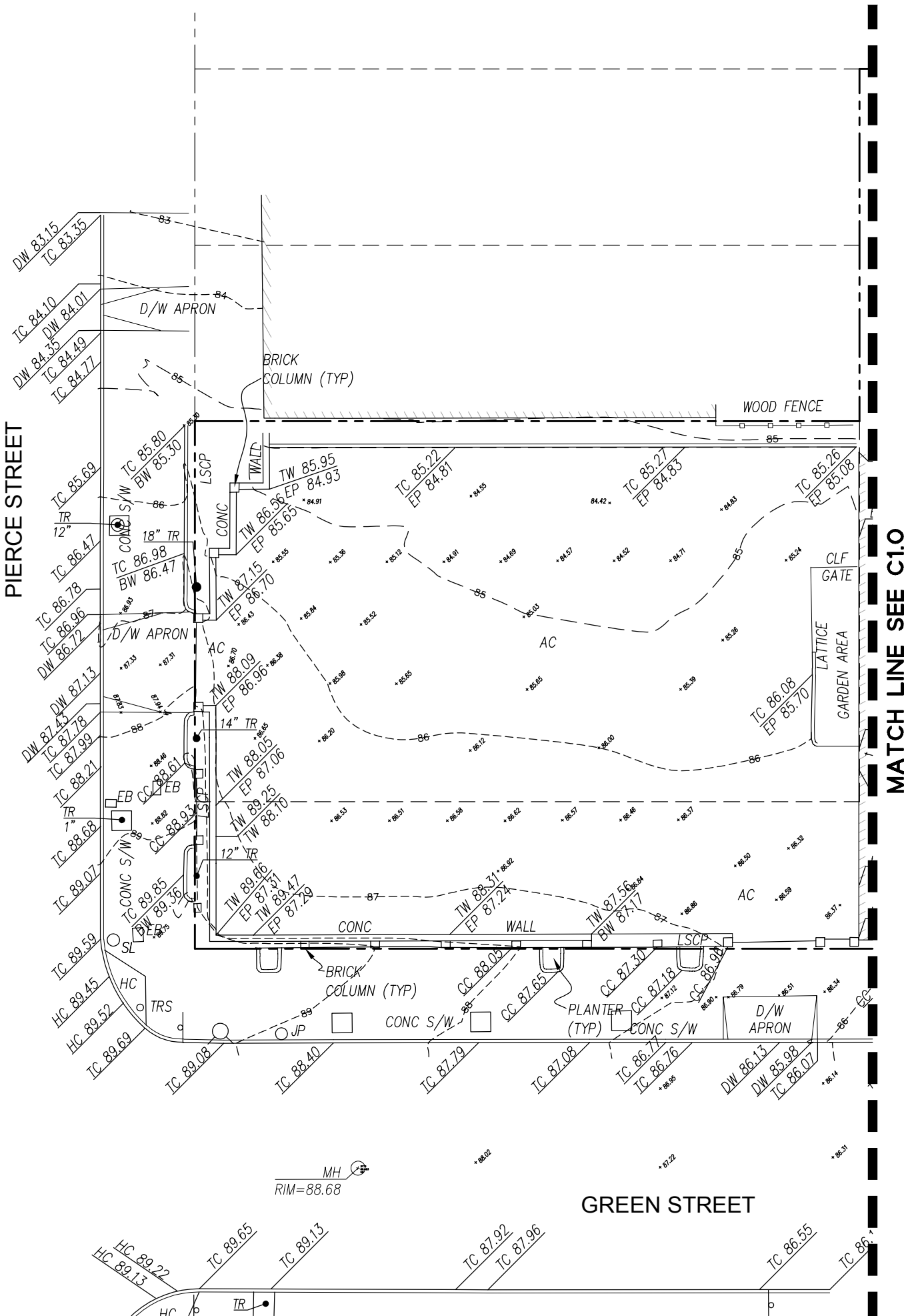
SITE SECTIONS	
DATE	DESCRIPTION
08/17/21	C.U. COMMISSION HEARING

A011

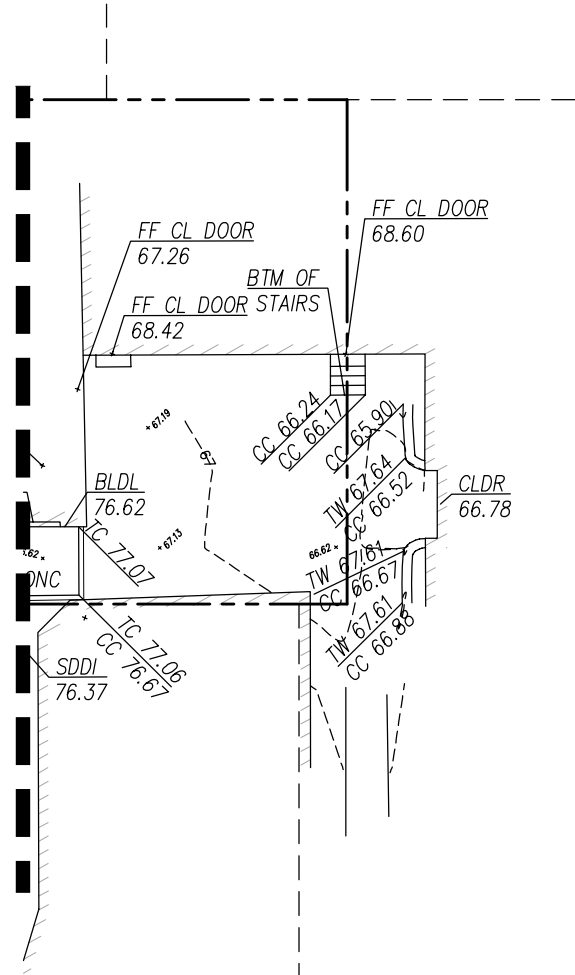


MATCH LINE SEE C1.1





MATCH LINE SEE C1.0



MATCH LINE SEE C1.0

NOTES

- EXISTING TOPOGRAPHIC SURVEY PERFORMED BKF ENGINEERS DATED SEPTEMBER 05, 2018. CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE AND HAVE INCLUDED COSTS TO CONDUCT SUCH INVESTIGATIONS ACCORDINGLY.
- THE LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS PLAN WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). CONTRACTOR SHALL VERIFY LOCATION AND DEPTH PRIOR TO ANY EXCAVATION OR IMPROVEMENT.
- ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITY CROSSINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF ANY CONSTRUCTION AFFECTING SAID LINES. THE UTILITIES SHOWN ON THE PLANS ARE BASED UPON RECORD INFORMATION. HOWEVER, THE CIVIL DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY OR ACTUAL LOCATIONS.

ABBREVIATIONS

AC	ASPHALT CONCRETE
BLDC	BUILDING CORNER
BLDL	BUILDING LINE
BW	BOTTOM OF WALL
CC	CONCRETE EDGE
CLDR	CENTERLINE OF DOOR
CLF	CHAIN LINK FENCE
COL	BUILDING COLUMN
CONC	CONCRETE
DW	DRIVEWAY
JP	JOINT POLE
LSCP	LANDSCAPED AREA
S/W	SIDEWALK
SL	STREET LIGHT
ST	TOP EDGE OF STAIRS
T	TREE WELL
TC	TOP CURB AT FACE
TR	TREE
TRS	TRAFFIC SIGNAL BUTTON
TW	TOP OF WELL
TYP	TYPICAL

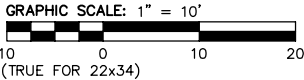
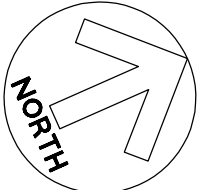
BASIS OF BEARINGS

ASSUMED BEARING NORTH BETWEEN CITY OF SAN FRANCISCO BENCHMARK AND RANDOM CONTROL POINT #2 SHOWN HEREON

BENCHMARK

FOUND CHISELED CROW'S FOOT ON OUTER RIM STORM WATER INLET, SOUTHWESTERLY INTERSECTION OF GREEN AND PIERCE STREETS

ELEVATION=88.919' CITY OF SAN FRANCISCO DATUM



ST. VINCENT DE PAUL SCHOOL
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EXISTING CONDITIONS



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PRELIMINARY
IMPROVEMENT AND
GRADING PLAN

C2.0

LEGEND

- PROJECT PROPERTY LINE
- PROPERTY LINE
- GRADE BREAK
- 5.0%
DIRECTION OF DOWNWARD SLOPE AND GRADIENT
- (4.0%)
EXISTING DIRECTION OF DOWNWARD SLOPE AND GRADIENT
- C247.06
SPOT ELEVATION
- C(247.06)
EXISTING SPOT ELEVATION

ABBREVIATIONS

- AC ASPHALT CONCRETE
- AD AREA DRAIN
- BS BOTTOM OF STEP
- BTM BOTTOM OF PLANTER WALL
- BW BACK OF WALK
- CC CONCRETE CURB
- CO CLEANOUT
- CONC,C CONCRETE
- CY CUBIC YARDS
- (E) EXISTING
- EP EDGE OF PAVEMENT
- FF FINISHED FLOOR
- FL FLOW LINE
- FS FINISHED SURFACE
- GB GRADE BREAK
- LIP LIP OF GUTTER
- LP LOW POINT
- PP PERVIOUS PAVERS
- PV PAVEMENT
- SLD SEE LANDSCAPE DRAWINGS
- SDDI STORM DRAIN DRAINAGE INLET
- TC TOP OF CURB
- TD TRENCH DRAIN
- TS TOP OF STEP
- WV WATER VALVE

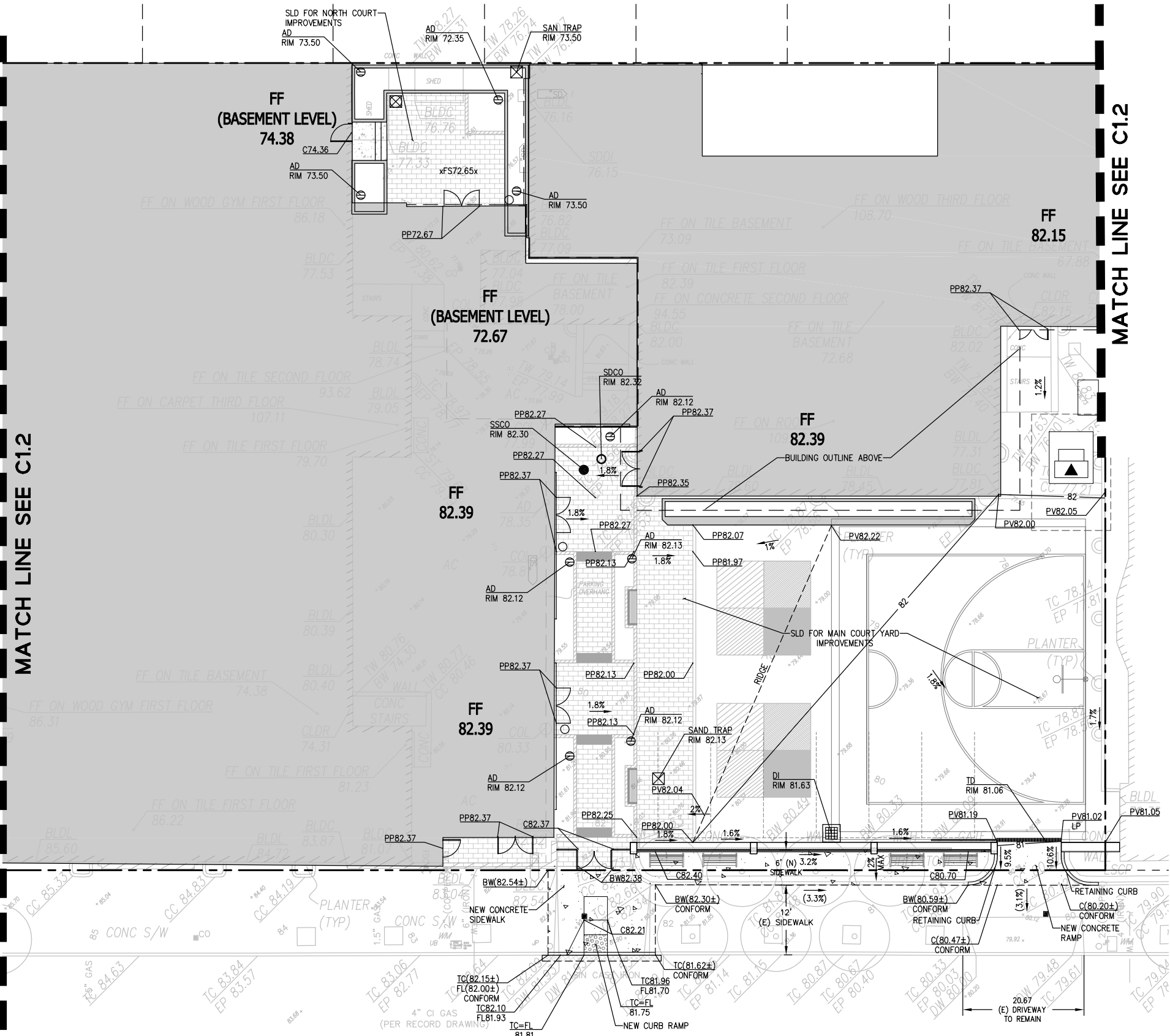
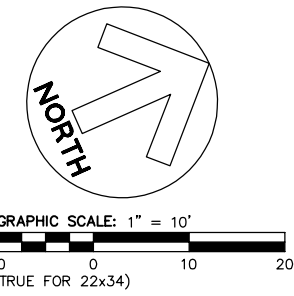
GRADING NOTES

- PAVEMENT EXCAVATION SHALL INCLUDE REMOVAL AND DISPOSAL OF EXISTING A.C. PAVEMENT AND PCC CURB REQUIRED FOR THE CONSTRUCTION OF NEW SURFACE IMPROVEMENTS. THE CONTRACTOR SHALL SAW-CUT EXISTING PAVEMENT AT LOCATIONS AS SHOWN ON THE PLANS PRIOR TO REMOVAL OF EXISTING PAVEMENT. ALL EXCAVATED MATERIALS SHALL BE REMOVED FROM THE PROJECT SITE AND PROPERLY DISPOSED OF IN AN AREA PROVIDED BY THE CONTRACTOR.
- CONTRACTOR SHALL ADJUST ALL NEW INLETS, VALVE BOXES, AND OTHER UTILITY STRUCTURES, AND ALL EXISTING UTILITY STRUCTURES WHICH ARE TO REMAIN, TO THE NEW FINISH GRADE.
- IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE GEOTECHNICAL REPORT AND SPECIFICATIONS.
- DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER/ARCHITECT.
- CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT. WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCE, THE CONTRACTOR SHALL BE REQUIRED TO PERFORM CORRECTIVE GRADING AT NO EXTRA COST TO THE OWNER.
- IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER/ARCHITECT IN WRITING PRIOR TO THE START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
- TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES OR PLACE STEEL PLATING WITH ADEQUATE CUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT-MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.

EARTHWORK QUANTITIES (ESTIMATED)

CUT	215 C.Y.
FILL	583 C.Y.
TOTAL	368 C.Y. IMPORT

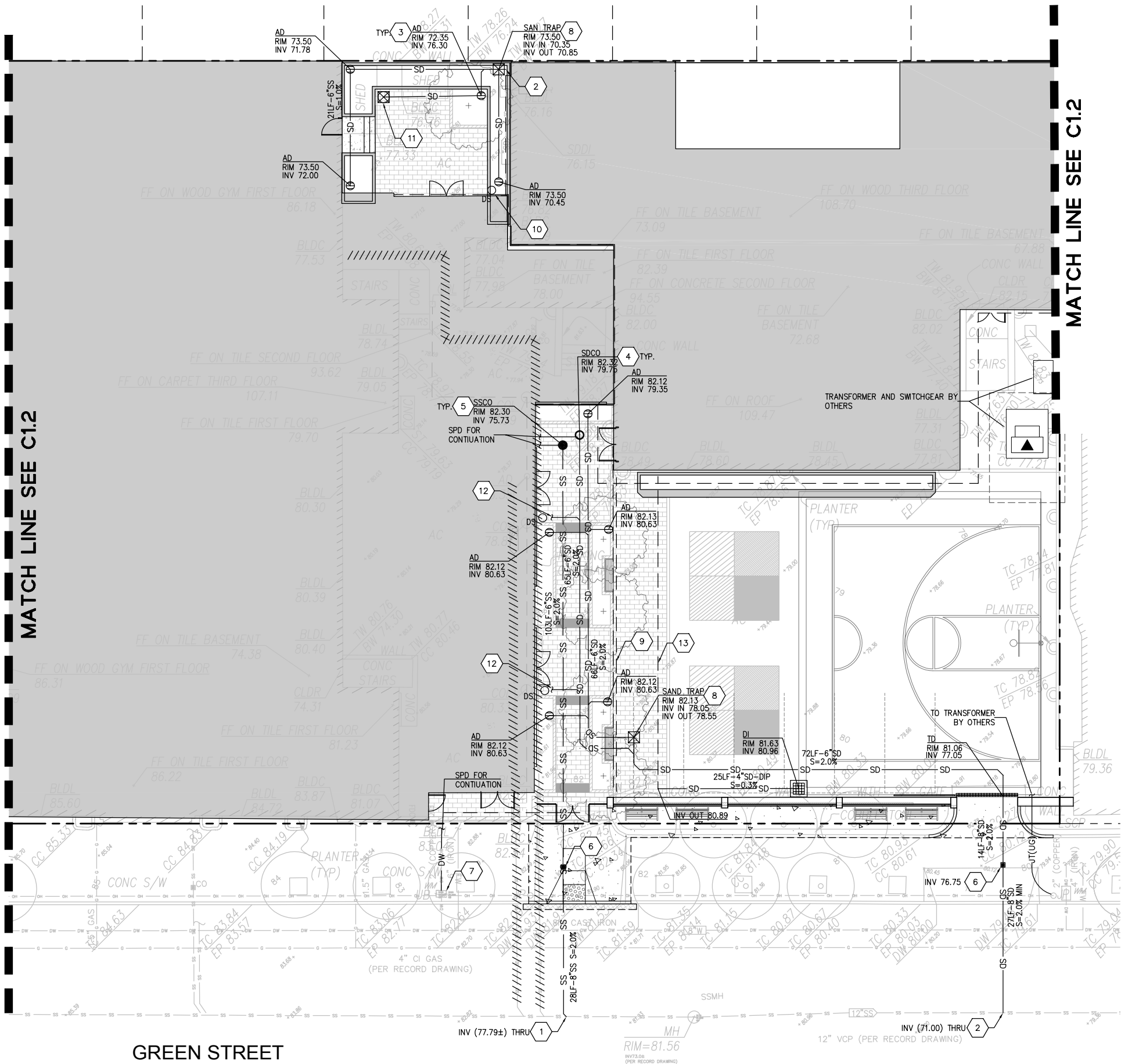
- EARTHWORK NUMBERS ARE BASED ON NEAT LINE QUANTITIES AND DOES NOT FACTOR IN ANY SHRINKAGE ADJUSTMENTS.CONTRACTOR'S BID SHALL INCORPORATE SHRINKAGE BASED ON ACTUAL FIELD CONDITIONS AND GEOTECHNICAL RECOMMENDATIONS.
- EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY.CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITYCALCULATION.



MATCH LINE SEE C1.2

MATCH LINE SEE C1.2

GREEN STREET



MATCH LINE SEE C1.2

MATCH LINE SEE C1.2

UTILITY PLAN KEY NOTES

- 1 CONNECT SEWER LATERAL TO EXISTING COMBINED SEWER (CONTRACTOR TO VERIFY)
- 2 CONNECT STORM LATERAL TO EXISTING COMBINED SEWER (CONTRACTOR TO VERIFY)
- 3 PROPOSED AREA DRAIN
- 4 PROPOSED SDCO
- 5 PROPOSED SSCO
- 6 PROPOSED AIR INLET
- 7 CONTRACTOR TO CONFIRM AND VERIFY EXISTING WATER METER SIZE
- 8 SAND TRAP
- 9 PROPOSED PERFORATED PIPE OVERFLOW
- 10 DOWN SPOUT TO FLOW THROUGH PLANTER
- 11 PROPOSED OVERFLOW JUNCTION BOX
- 12 CONTRACTOR TO RECONNECT EXISTING DOWNSPOUT. CONNECTION POINT SHOWN IN PLANS ARE APPROXIMATE
- 13 DISSIPATER STORM DRAIN LINE

ABBREVIATIONS

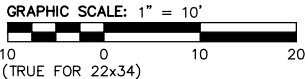
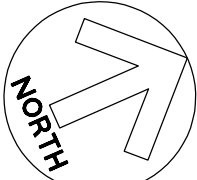
AD	AREA DRAIN
BFP	BACK FLOW PREVENTER
CS	COMBINED SEWER
DI	DROP INLET
DIP	DUCTILE IRON PIPE
DW	DOMESTIC WATER
FDC	FIRE DEPARTMENT CONNECTION
FW	FIRE WATER
INV	INVERT
IRR	IRRIGATION
CO	CLEANOUT
EX, EX.	EXISTING
GV	GAS VALVE
JP	JOINT POLE
JT	JOINT TRENCH
LF	LINEAR FEET
SD	STORM DRAIN
SDCO	STORM DRAIN CLEAN OUT
SFUC	SAN FRANCISCO PUBLIC UTILITIES COMMISSION
SPD	SEE PLUMBING DRAWINGS
SLD	SEE LANDSCAPE DRAWINGS
SSAD	SANITARY SEWER AREA DRAIN
SSCO	SANITARY SEWER CLEAN OUT
TYP.	TYPICAL
W	WATER
WM	WATER METER
WV	WATER VALVE

LEGEND

- PROJECT BOUNDARY LINE
- ADJACENT PROPERTY LINE
- SS PROPOSED SANITARY SEWER
- DW PROPOSED DOMESTIC WATER
- SD PROPOSED STORM DRAIN
- JT(UG) PROPOSED JOINT TRENCH
- PROPOSED PERFORATED PIPE
- PROPOSED PERFORATED PIPE OVERFLOW
- G EXISTING GAS
- REMOVE EXISTING UTILITY
- DS DOWNSPOUT
- PROPOSED AIR INLET
- PROPOSED SDCO
- PROPOSED AD
- PROPOSED DI
- SAND TRAP
- OVERFLOW JUNCTION BOX

UTILITY NOTES

- PRIOR DEMOLITION OF SITE, CONTRACTOR SHALL PERFORM EXPLORATORY INVESTIGATION OF EXISTING STORM AND SEWER FACILITIES ON SITE AND PROVIDE RESULTS TO ENGINEER. CONTRACTOR TO LOCATE AND DETERMINE CONDITION AND FLOW DIRECTION OF EXISTING SAID FACILITIES. CONTRACTOR SHALL FLUSH EXISTING SYSTEM AND ENSURE THERE ARE NO BLOCKAGES. IF BROKEN PIPES OR DAMAGED PIPES ARE FOUND, CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY.
- SANITARY SEWER SEWER SYSTEMS AND LATERALS ARE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER AS WELL AS WATER LINES AND APPURTENANCES DOWNSTREAM OF DOMESTIC AND IRRIGATION METERS AND FIRE BACKFLOWS.
- TELEPHONE/COMMUNICATION, GAS, ELECTRICAL, AND STREET LIGHT LINES & STRUCTURES ARE SHOWN FOR COORDINATION PURPOSES ONLY. SEE MECHANICAL, ELECTRICAL, PLUMBING, AND JOINT TRENCH PLANS FOR MORE INFORMATION.
- CONTRACTOR SHALL MAINTAIN 12" VERTICAL CLEARANCE ABOVE OR BELOW EXISTING AND NEW UTILITIES CROSSING.
- HORIZONTAL DIMENSION ARE TAKEN FROM CENTER OF PIPE TO CENTER OF PIPE, UNLESS OTHERWISE NOTED. RIM ELEVATIONS ARE SPECIFIED AT THE CENTER OF THE FRAME.
- PIPE MATERIAL:
A) PRIVATE SD: PVC, SDR 26
B) PRIVATE SS: PVC, SDR 26
D) WATER: PVC C900 CLASS 200
- REQUIRED HORIZONTAL CLEARANCE BETWEEN TREES AND SS SERVICES SHALL BE 10' AND BETWEEN WATER AND SD SERVICES SHALL BE 5'.
- ALL PUBLIC WATER AND SANITARY SEWER CONSTRUCTION SHALL BE PER SFPUC STANDARDS.
- ALL EXISTING UTILITY BOXES SHALL BE ADJUSTED TO NEW FINISHED GRADE UNLESS NOTED OTHERWISE ON PLANS.

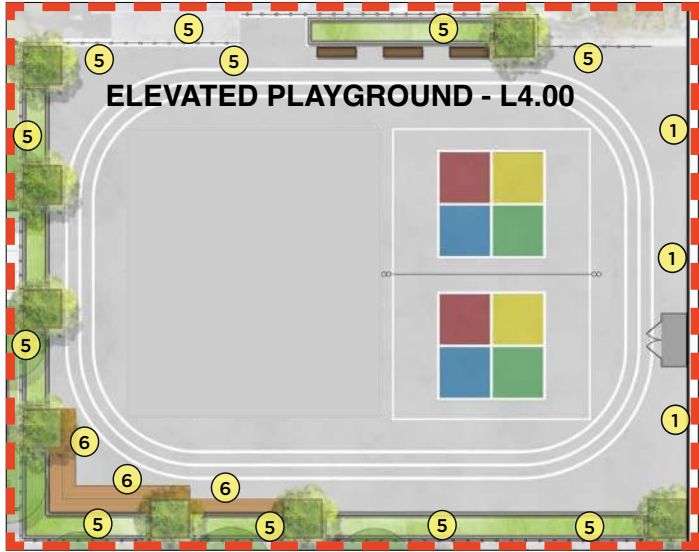


ST. VINCENT DE PAUL SCHOOL
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PRELIMINARY UTILITY
PLAN





LANDSCAPE LIGHTING - PRELIMINARY SELECTION


- 

1 WALL-MOUNTED LINEAR LIGHT
- 

2 RECESSED WALL LIGHT
- 

3 BOLLARD LIGHT
- 

4 CEILING-MOUNTED GARAGE LIGHT
- 

5 FENCE POST-MOUNTED DOWNLIGHT
- 

6 LINEAR LIGHT UNDERNEATH BENCHES



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LANDSCAPE SITE PLAN



MAIN COURTYARD



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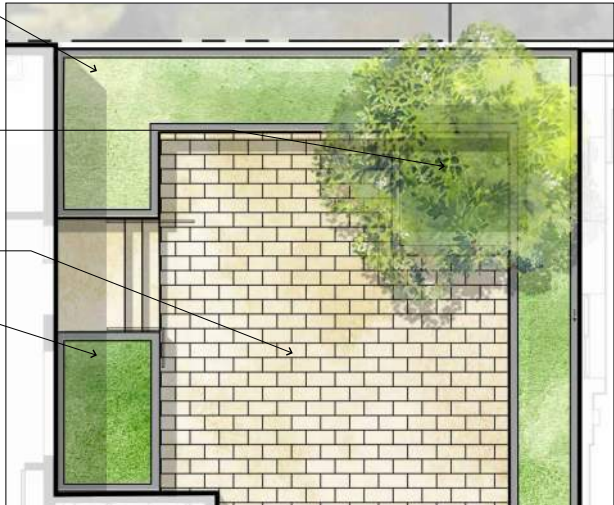
MAIN COURTYARD PLAN

RAISED PLANTER WITH SHRUBS AND PERENNIALS

JAPANESE MAPLE TREE

ENHANCED PERMEABLE UNIT PAVING

RAISED PLANTER WITH SHRUBS AND PERENNIALS



NORTH COURT



RAISED PLANTER WITH SHRUBS AND PERENNIALS

BALL WALL AND UTILITIES SCREEN

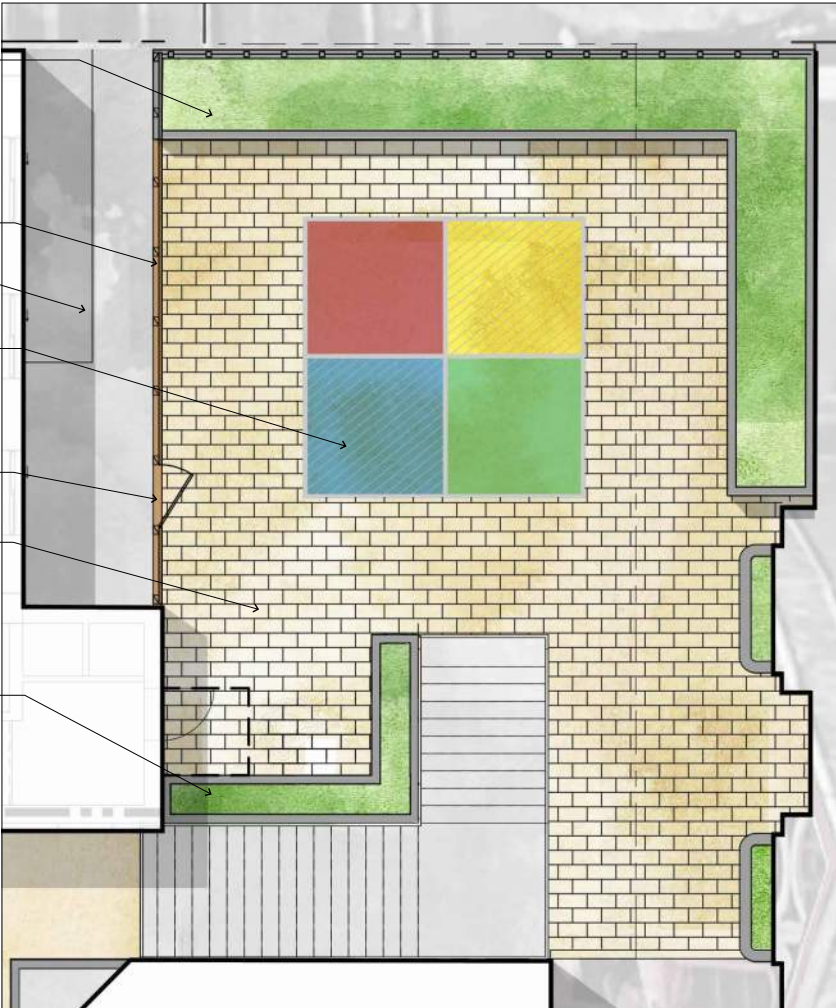
EXISTING UTILITIES

PAINTED FOUR SQUARE GAME

ACCESS GATE

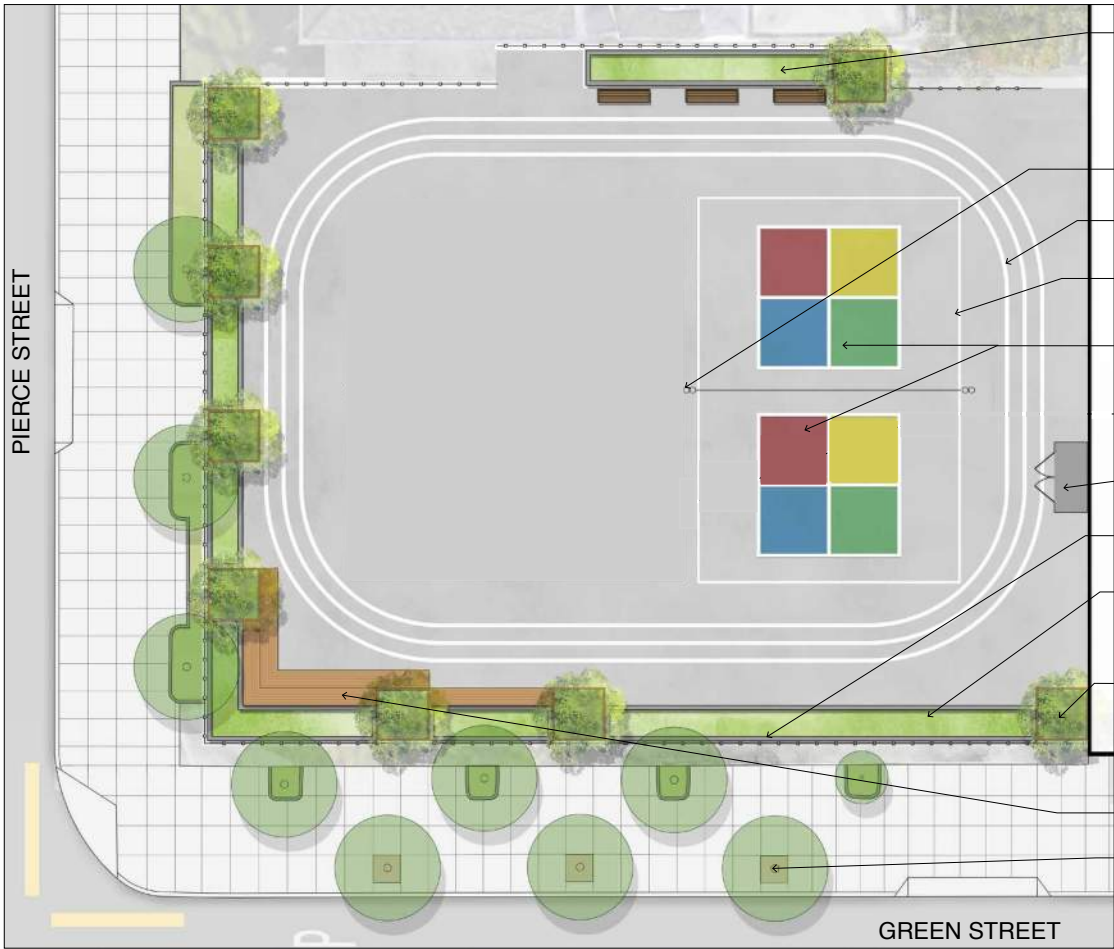
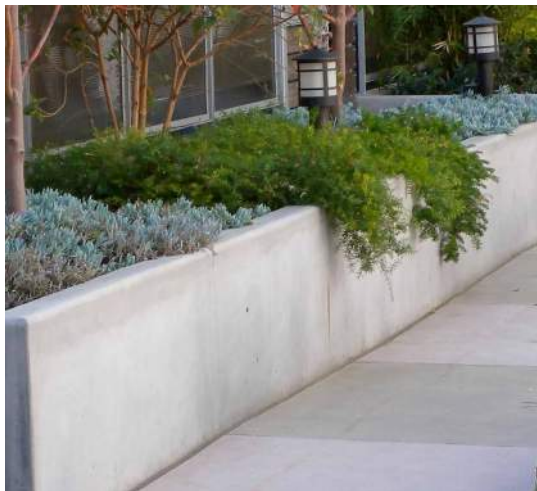
ENHANCED PERMEABLE UNIT PAVING

RAISED PLANTER WITH SHRUBS AND PERENNIALS



LOWER PLAY AREA





ELEVATED PLAYGROUND



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**ELEVATED
PLAYGROUND**



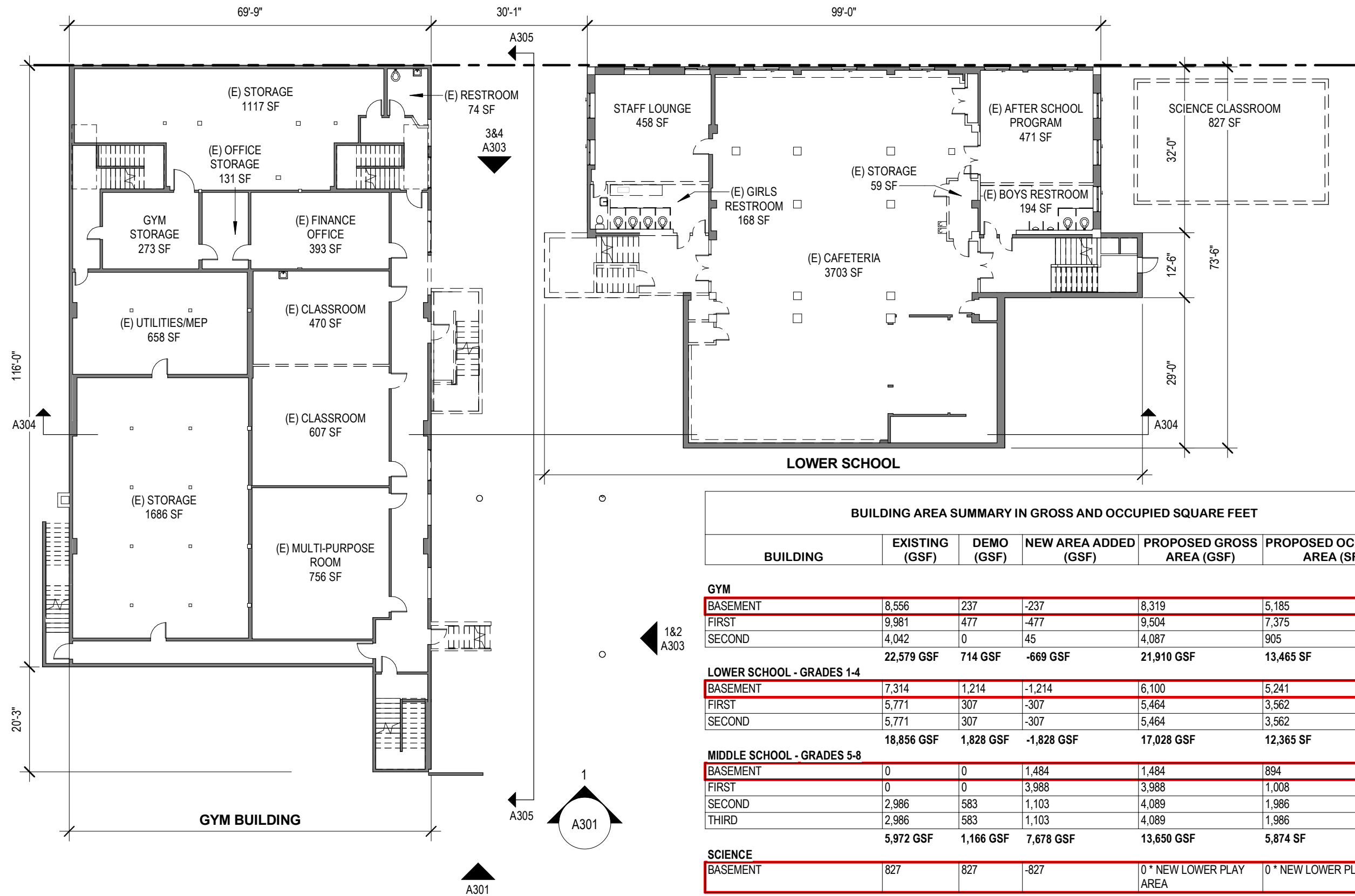
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DEMO PLAN - BASEMENT

A200D



BUILDING AREA SUMMARY IN GROSS AND OCCUPIED SQUARE FEET					
BUILDING	EXISTING (GSF)	DEMO (GSF)	NEW AREA ADDED (GSF)	PROPOSED GROSS AREA (GSF)	PROPOSED OCCUPIED AREA (SF)
GYM					
BASEMENT	8,556	237	-237	8,319	5,185
FIRST	9,981	477	-477	9,504	7,375
SECOND	4,042	0	45	4,087	905
	22,579 GSF	714 GSF	-669 GSF	21,910 GSF	13,465 SF
LOWER SCHOOL - GRADES 1-4					
BASEMENT	7,314	1,214	-1,214	6,100	5,241
FIRST	5,771	307	-307	5,464	3,562
SECOND	5,771	307	-307	5,464	3,562
	18,856 GSF	1,828 GSF	-1,828 GSF	17,028 GSF	12,365 SF
MIDDLE SCHOOL - GRADES 5-8					
BASEMENT	0	0	1,484	1,484	894
FIRST	0	0	3,988	3,988	1,008
SECOND	2,986	583	1,103	4,089	1,986
THIRD	2,986	583	1,103	4,089	1,986
	5,972 GSF	1,166 GSF	7,678 GSF	13,650 GSF	5,874 SF
SCIENCE					
BASEMENT	827	827	-827	0 * NEW LOWER PLAY AREA	0 * NEW LOWER PLAY AREA
	827 GSF	827 GSF	-827 GSF		
GRAND TOTAL	48,234 GSF	4,535 GSF	4,354 GSF	52,588 GSF	31,704 SF



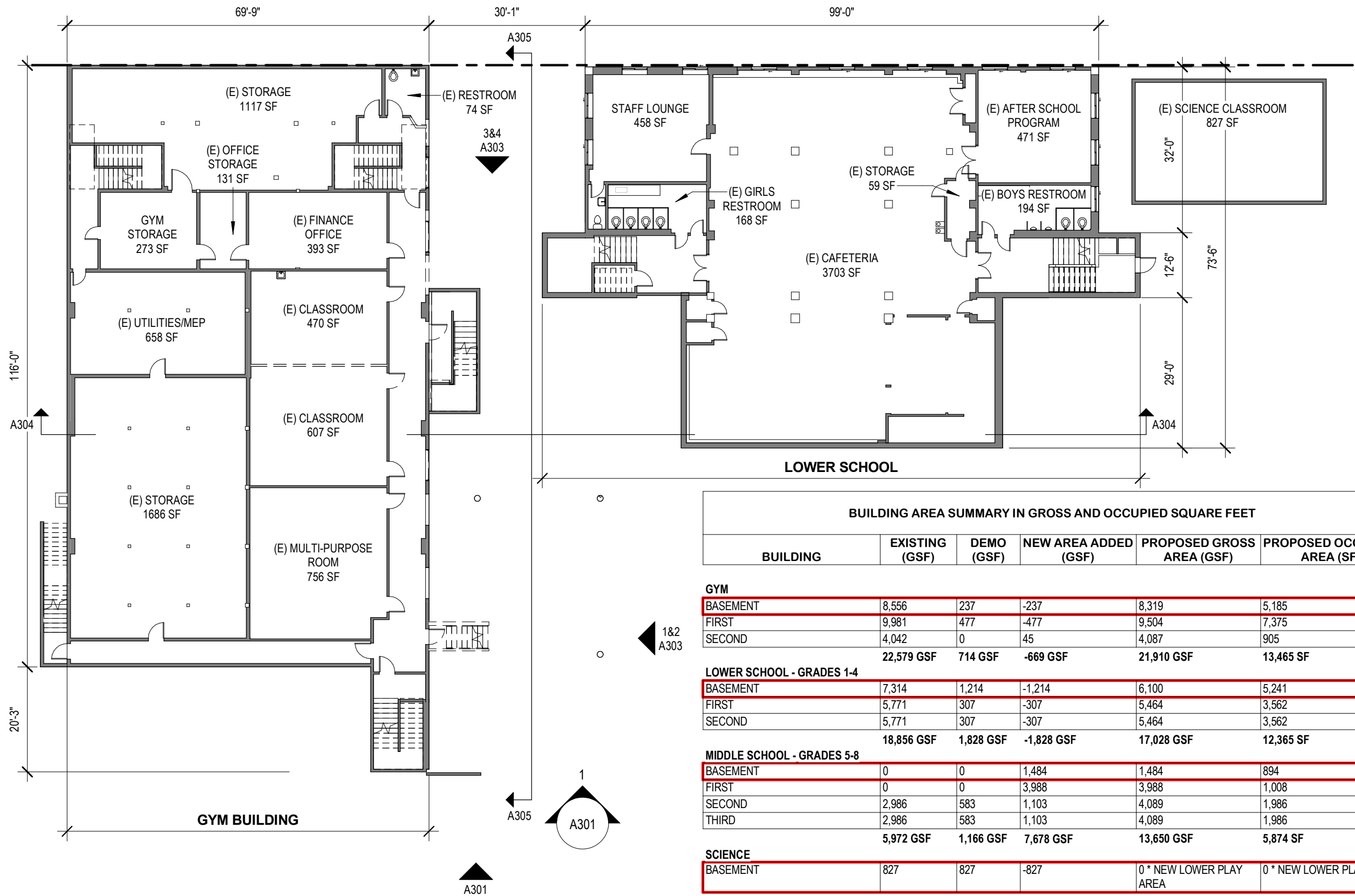
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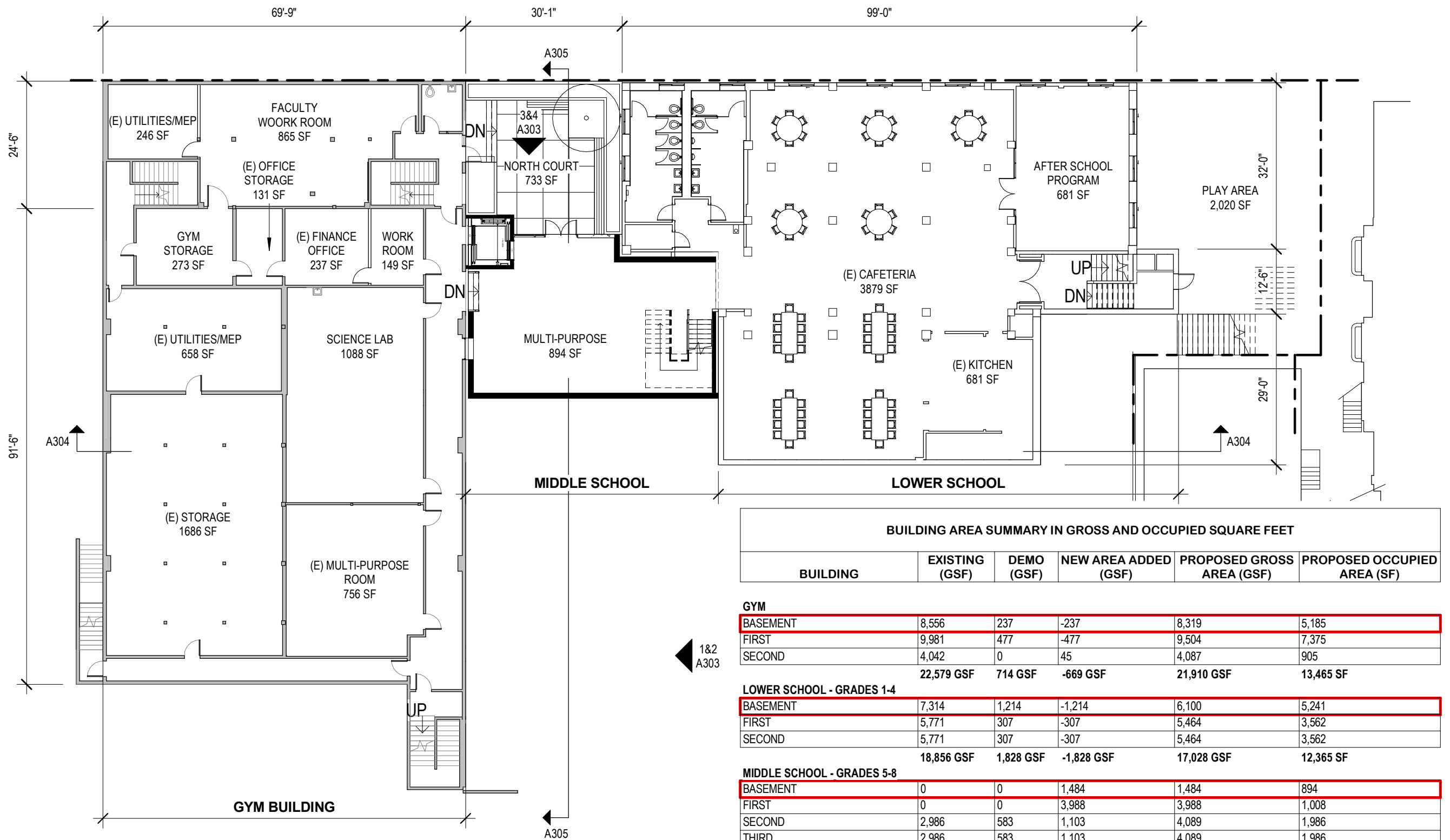
EXISTING PLAN -
BASEMENT

A200E



BUILDING AREA SUMMARY IN GROSS AND OCCUPIED SQUARE FEET

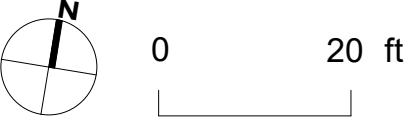
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GRAND TOTAL	48,234 GSF	4,535 GSF	4,354 GSF	52,588 GSF	31,704 SF



PROPOSED FLOOR PLAN - BASEMENT

- PLAN LEGEND
- EXISTING WALL
 - NEW WALL
 - NEW SHEER WALL

BUILDING AREA SUMMARY IN GROSS AND OCCUPIED SQUARE FEET					
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BASEMENT	827	827	-827	0 * NEW LOWER PLAY AREA	0 * NEW LOWER PLAY AREA
	827 GSF	827 GSF	-827 GSF		
GRAND TOTAL	48,234 GSF	4,535 GSF	4,354 GSF	52,588 GSF	31,704 SF





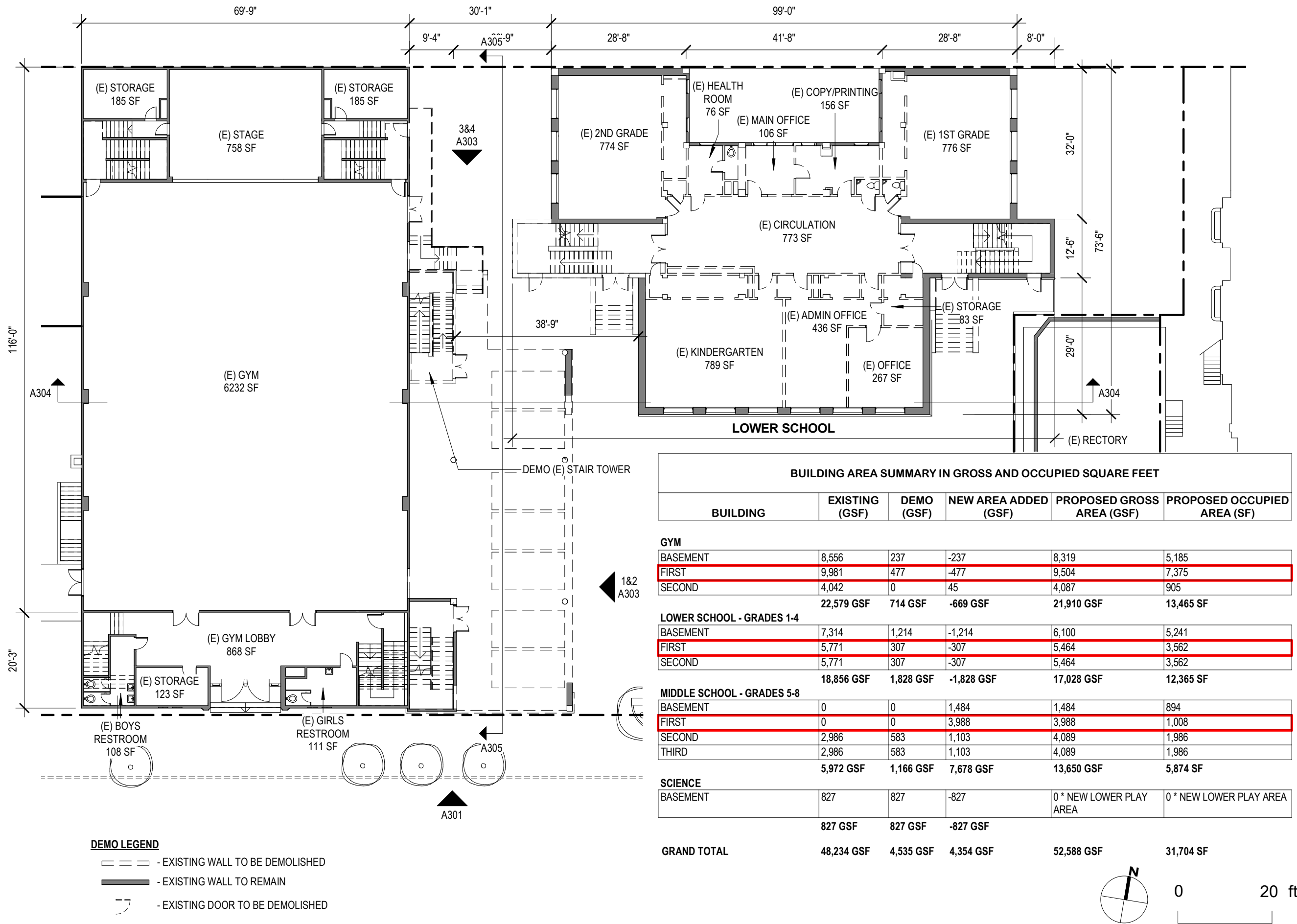
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DEMO PLAN - FIRST
FLOOR

A201D





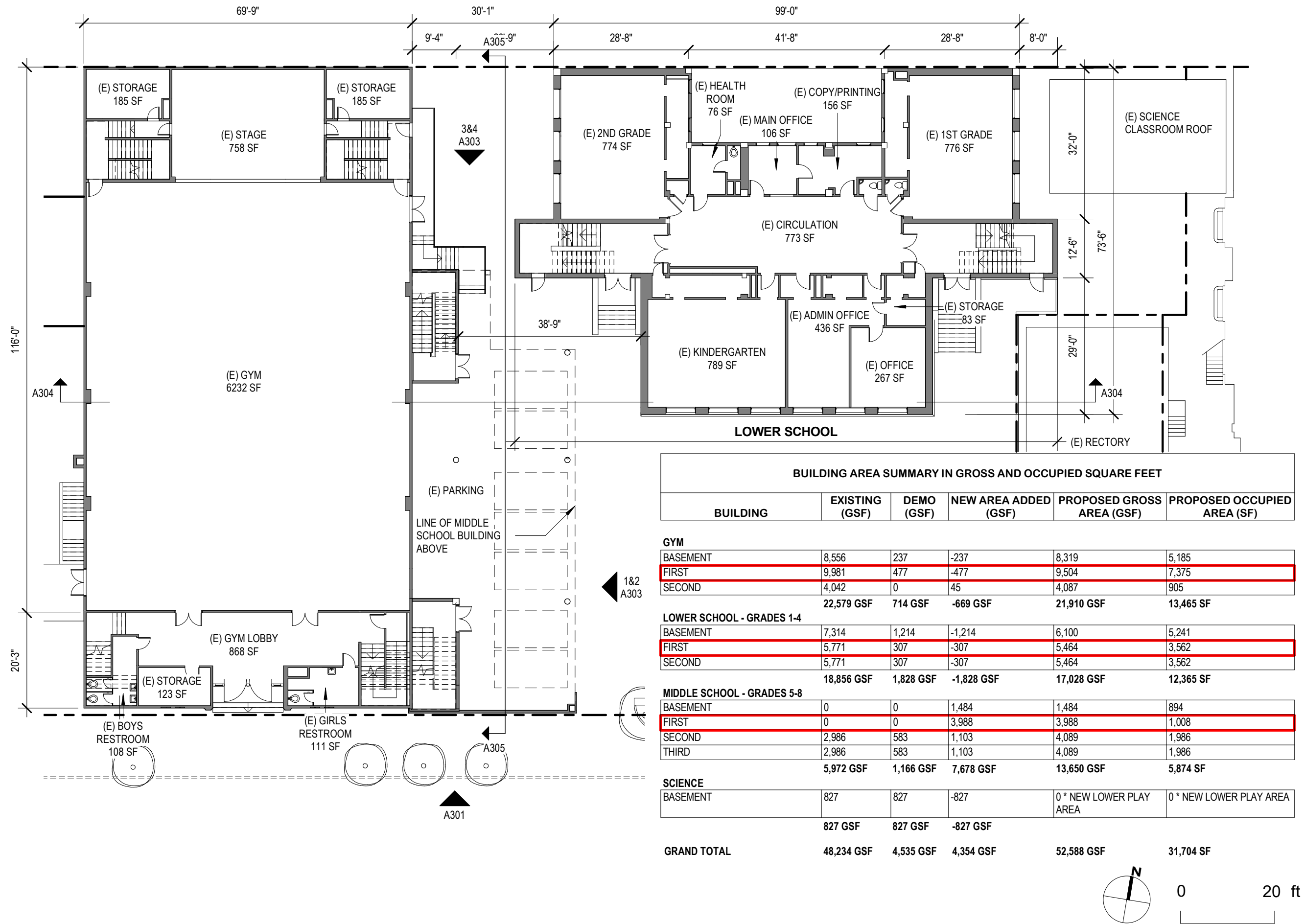
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EXISTING PLAN - FIRST
FLOOR

A201E





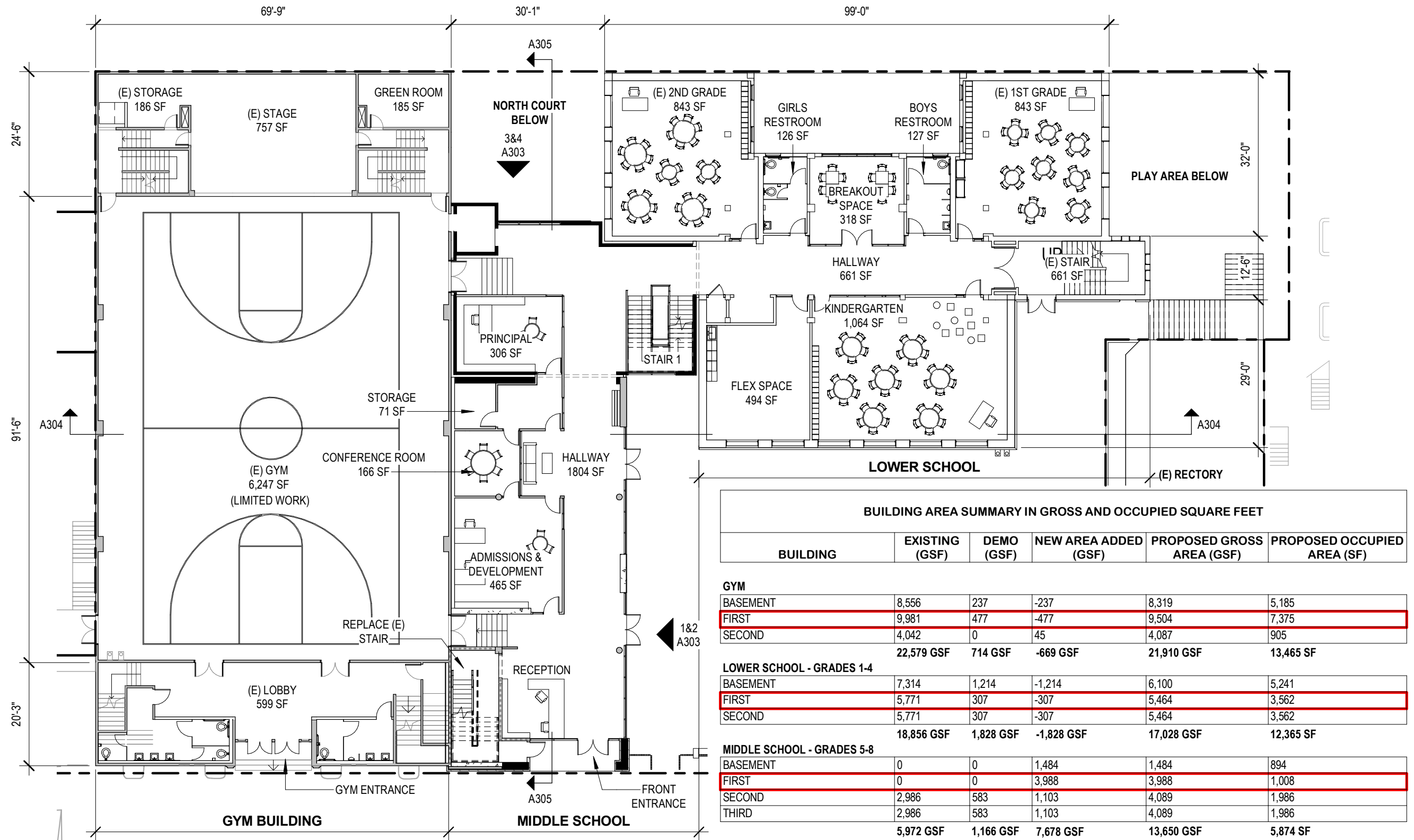
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PROPOSED PLAN - FIRST
FLOOR

A201N

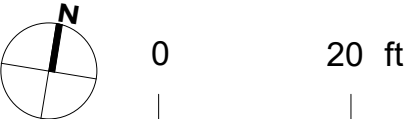


PROPOSED FLOOR PLAN - FIRST FLOOR

- PLAN LEGEND
- EXISTING WALL
 - NEW WALL
 - NEW SHEER WALL

BUILDING AREA SUMMARY IN GROSS AND OCCUPIED SQUARE FEET

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SCIENCE					
BASEMENT	827	827	-827	0 * NEW LOWER PLAY AREA	0 * NEW LOWER PLAY AREA
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GRAND TOTAL	48,234 GSF	4,535 GSF	4,354 GSF	52,588 GSF	31,704 SF





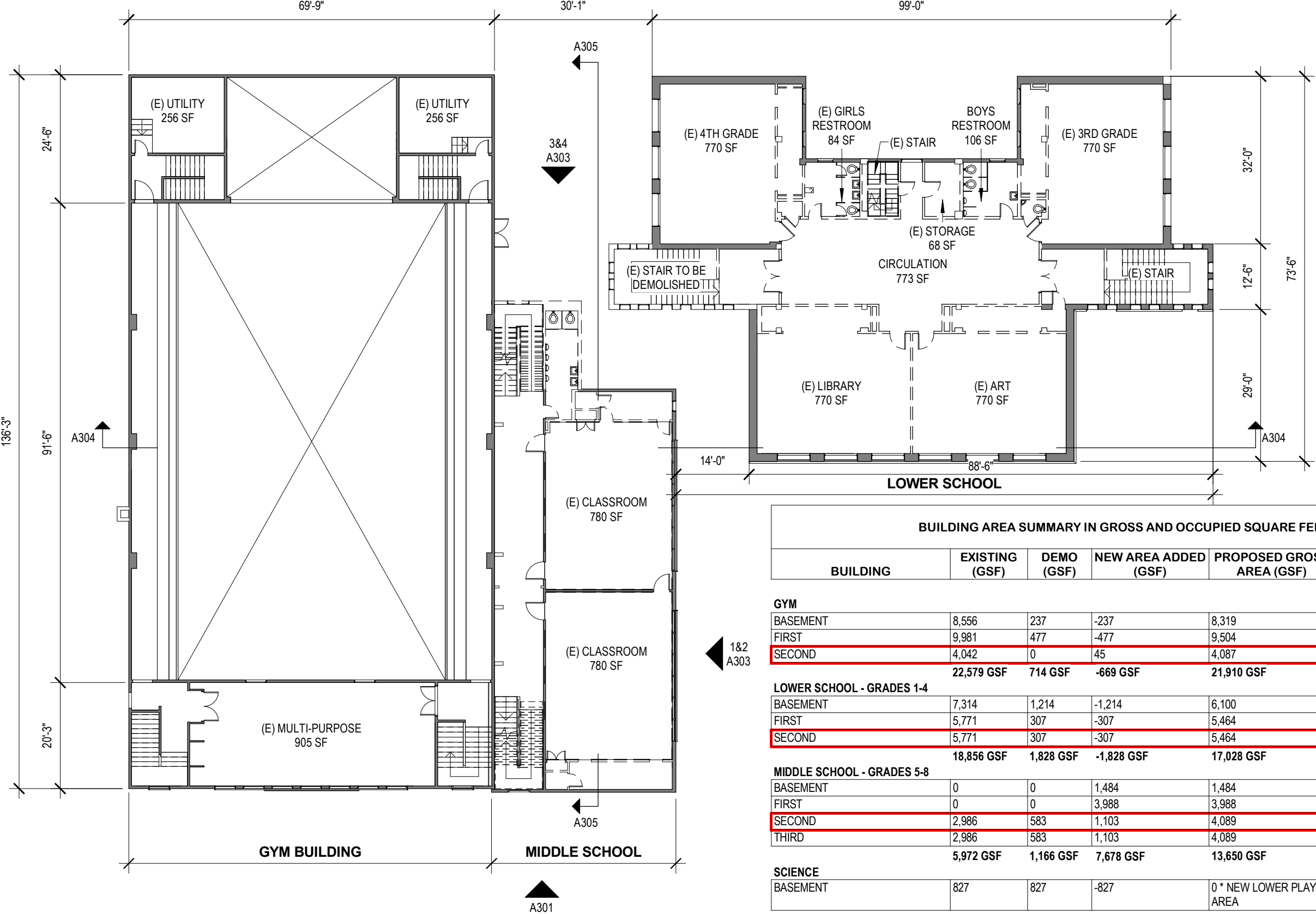
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DEMO PLAN - SECOND
FLOOR

A202D



- DEMO LEGEND**
- EXISTING WALL TO BE DEMOLISHED
 - EXISTING WALL TO REMAIN
 - EXISTING DOOR TO BE DEMOLISHED

BUILDING AREA SUMMARY IN GROSS AND OCCUPIED SQUARE FEET					
BUILDING	EXISTING (GSF)	DEMO (GSF)	NEW AREA ADDED (GSF)	PROPOSED GROSS AREA (GSF)	PROPOSED OCCUPIED AREA (SF)
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BASEMENT	827	827	-827	0 * NEW LOWER PLAY AREA	0 * NEW LOWER PLAY AREA
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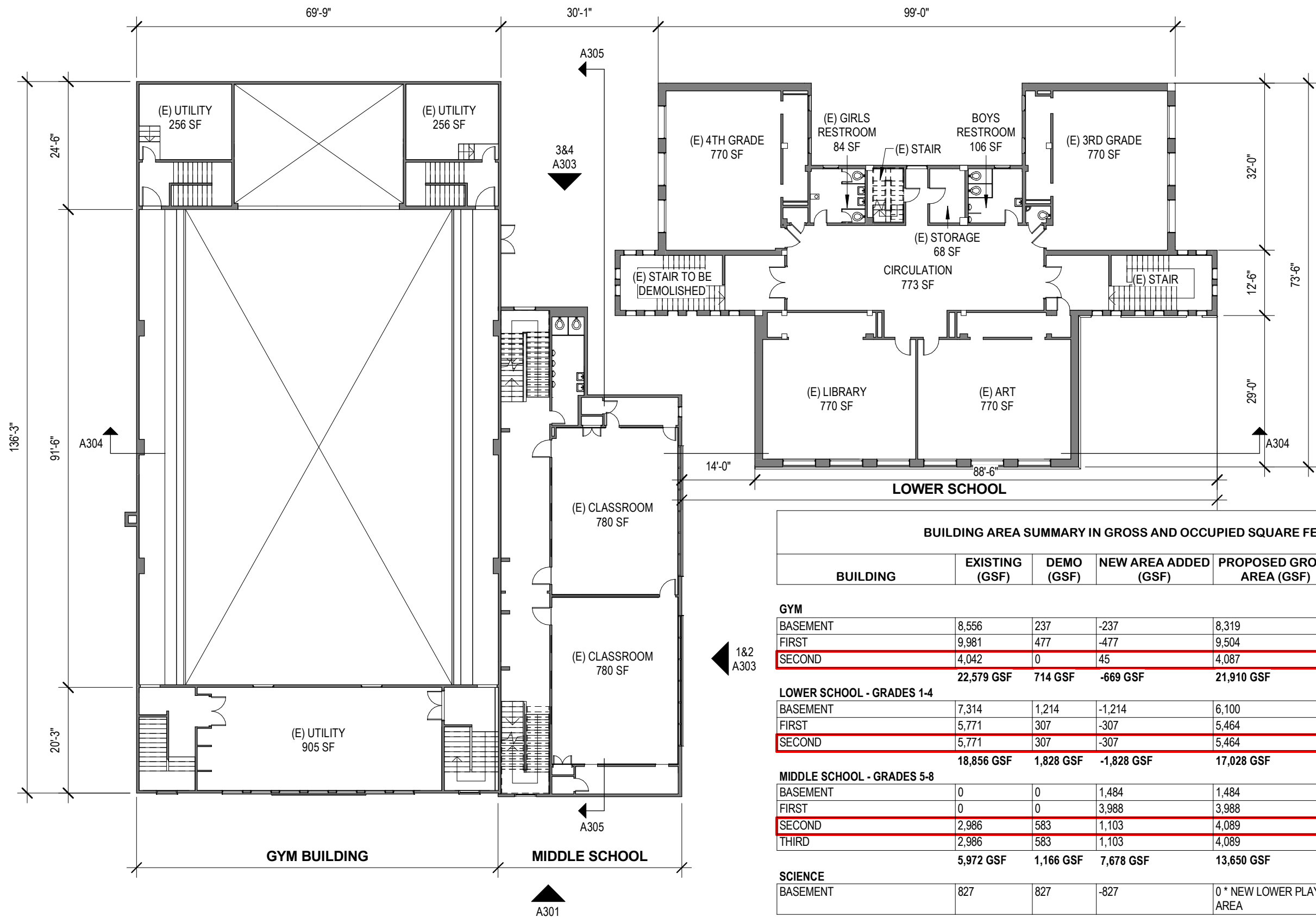
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EXISTING PLAN -
SECOND FLOOR

A202E



BUILDING AREA SUMMARY IN GROSS AND OCCUPIED SQUARE FEET

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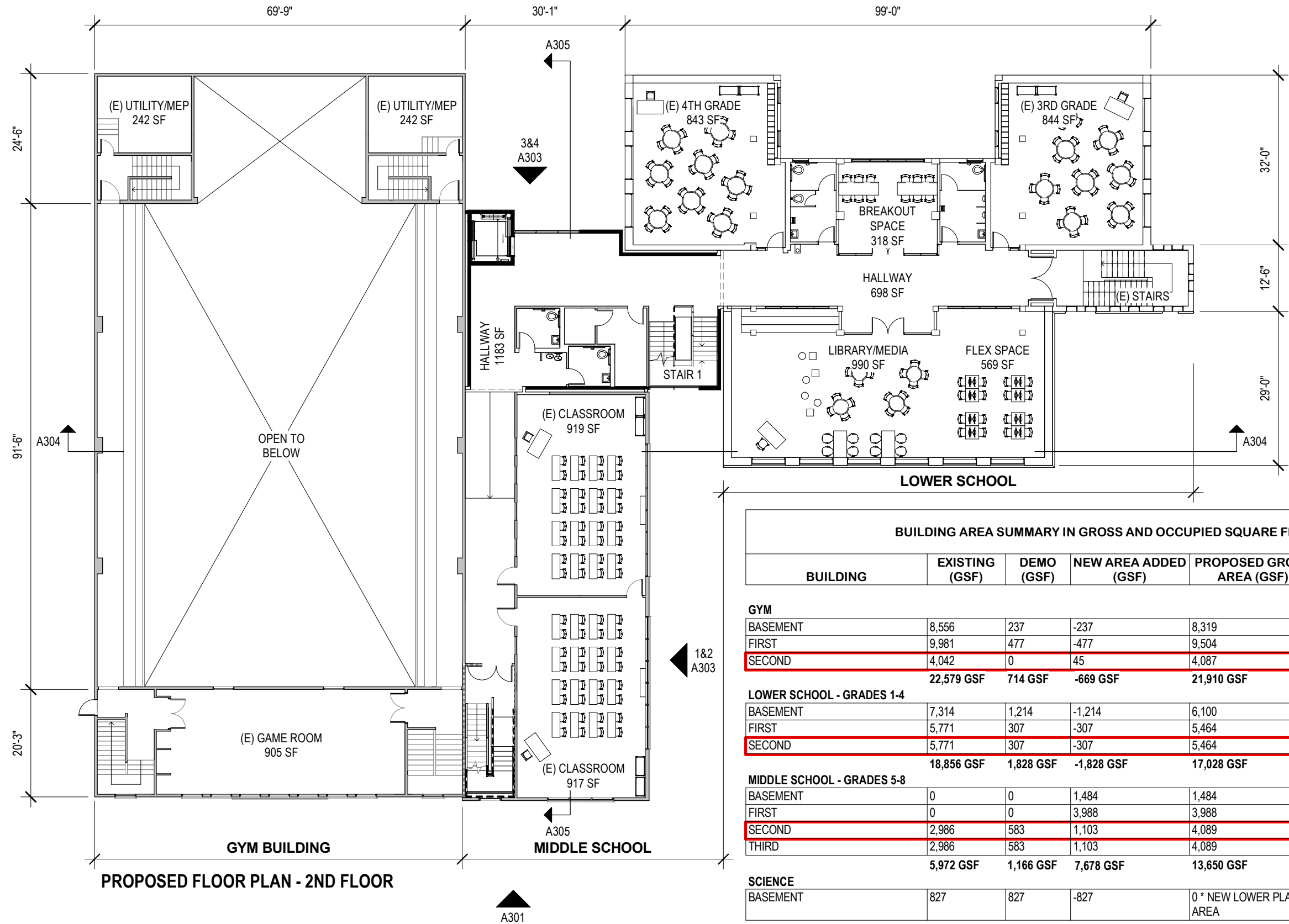
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PROPOSED PLAN -
SECOND FLOOR

A202N



PROPOSED FLOOR PLAN - 2ND FLOOR

- PLAN LEGEND
- EXISTING WALL
 - NEW WALL
 - NEW SHEER WALL

BUILDING AREA SUMMARY IN GROSS AND OCCUPIED SQUARE FEET					
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BASEMENT	0	0	1,484	1,484	894
FIRST	0	0	3,988	3,988	1,008
SECOND	2,986	583	1,103	4,089	1,986
THIRD	2,986	583	1,103	4,089	1,986
	5,972 GSF	1,166 GSF	7,678 GSF	13,650 GSF	5,874 SF
SCIENCE					
BASEMENT	827	827	-827	0 * NEW LOWER PLAY AREA	0 * NEW LOWER PLAY AREA
	827 GSF	827 GSF	-827 GSF		
GRAND TOTAL	48,234 GSF	4,535 GSF	4,354 GSF	52,588 GSF	31,704 SF



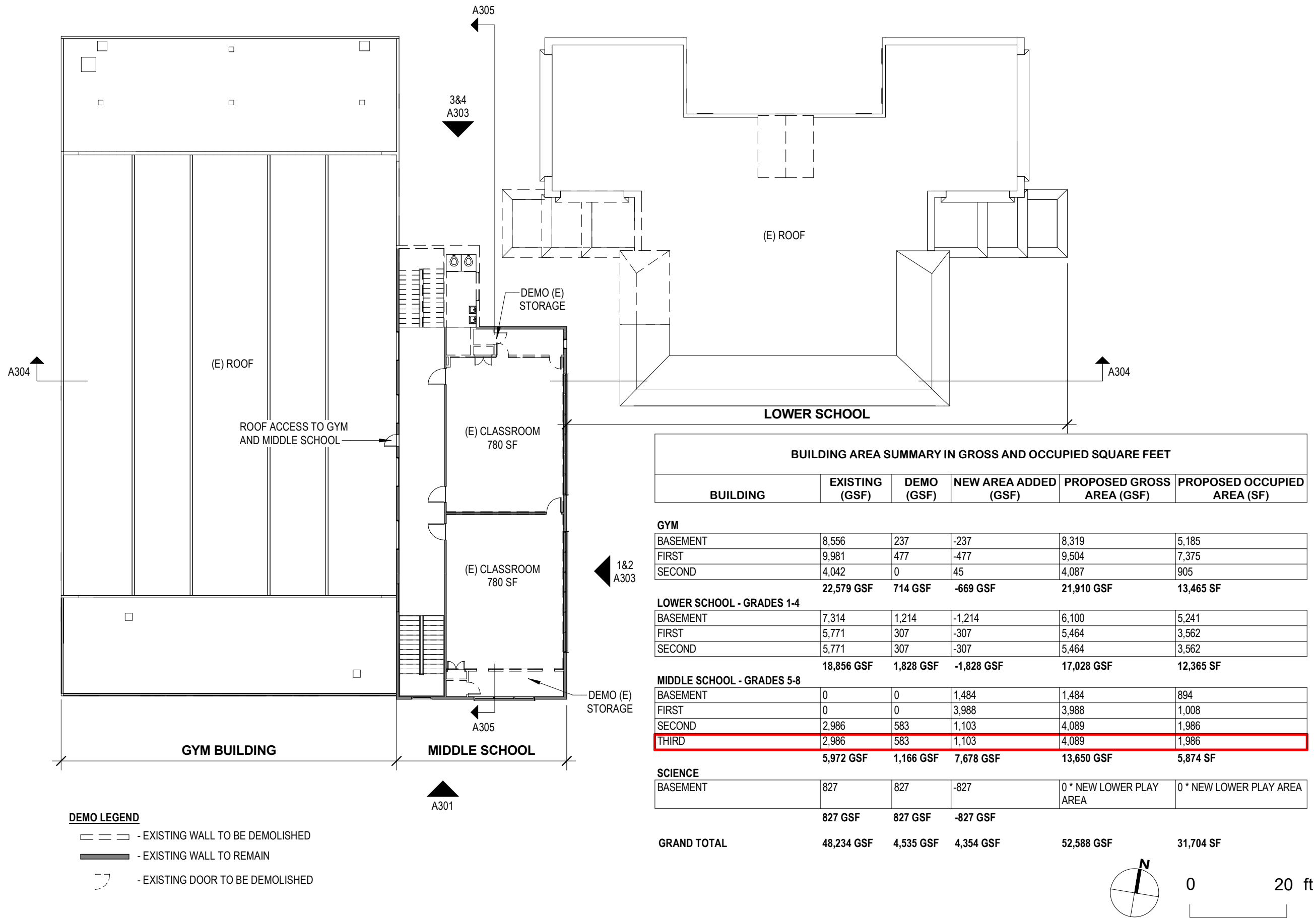
ST. VINCENT DE PAUL SCHOOL
RENOVATION AND ADDITION
2350 Green St.
San Francisco, CA 94123

DESCRIPTION
C.U. COMMISSION HEARING

DATE
08/17/21

DEMO PLAN - THIRD
FLOOR

A203D





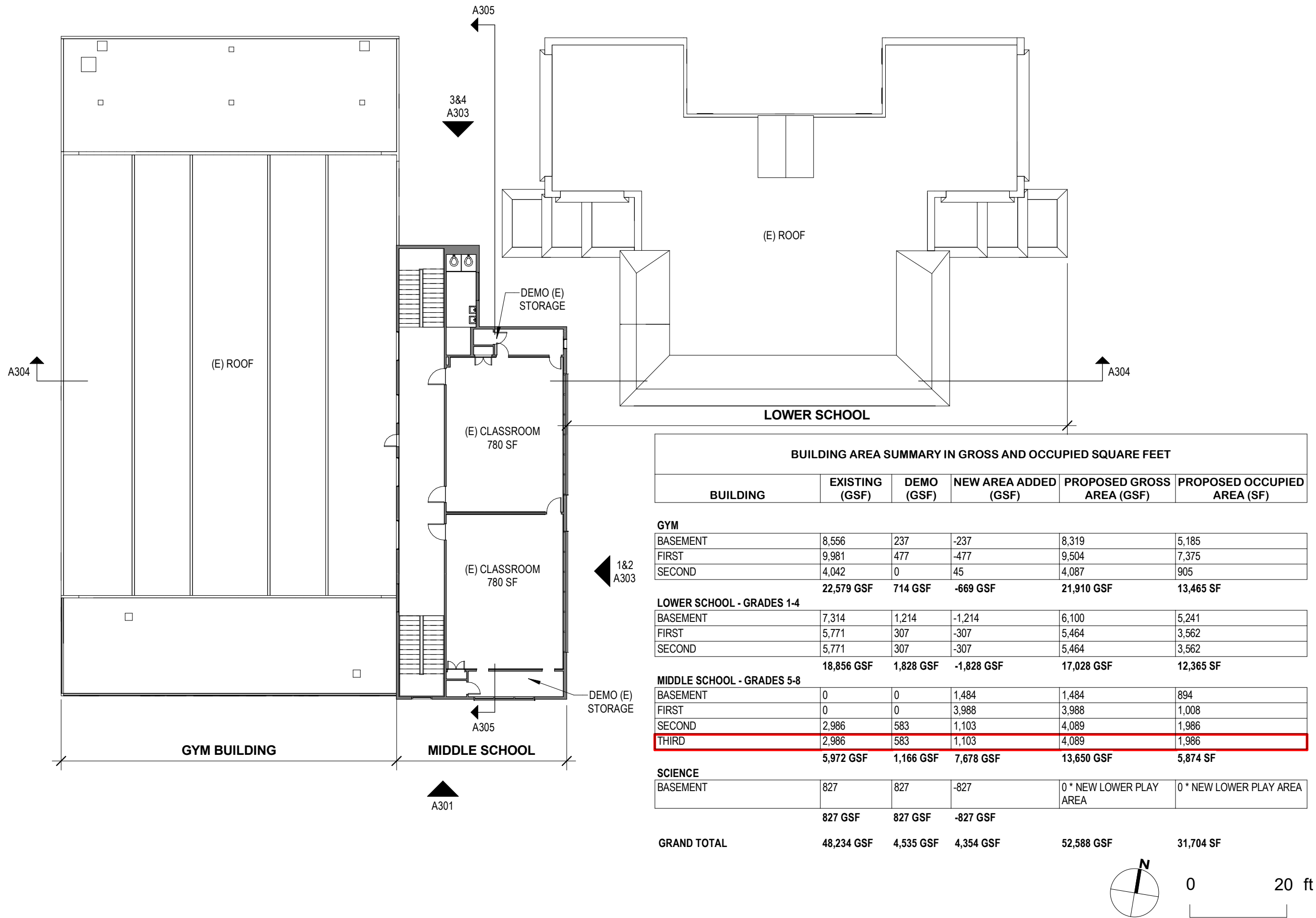
ST. VINCENT DE PAUL SCHOOL
RENOVATION AND ADDITION
2350 Green St.
San Francisco, CA 94123

DESCRIPTION
C.U. COMMISSION HEARING

DATE
08/17/21

EXISTING PLAN - THIRD
FLOOR

A203E





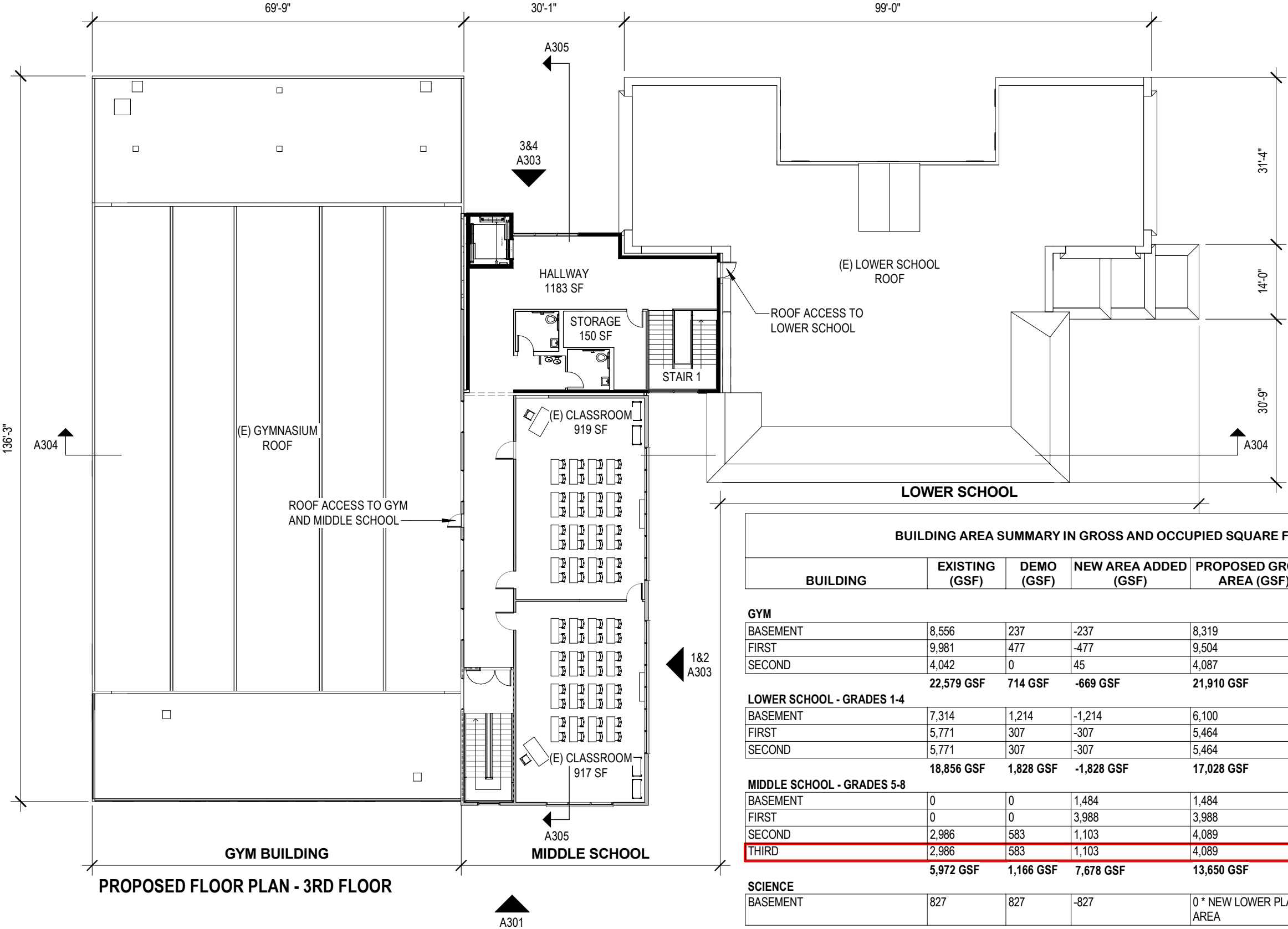
ST. VINCENT DE PAUL SCHOOL
RENOVATION AND ADDITION
2350 Green St.
San Francisco, CA 94123

DESCRIPTION
C.U. COMMISSION HEARING

DATE
08/17/21

PROPOSED PLAN -
THIRD FLOOR

A203N

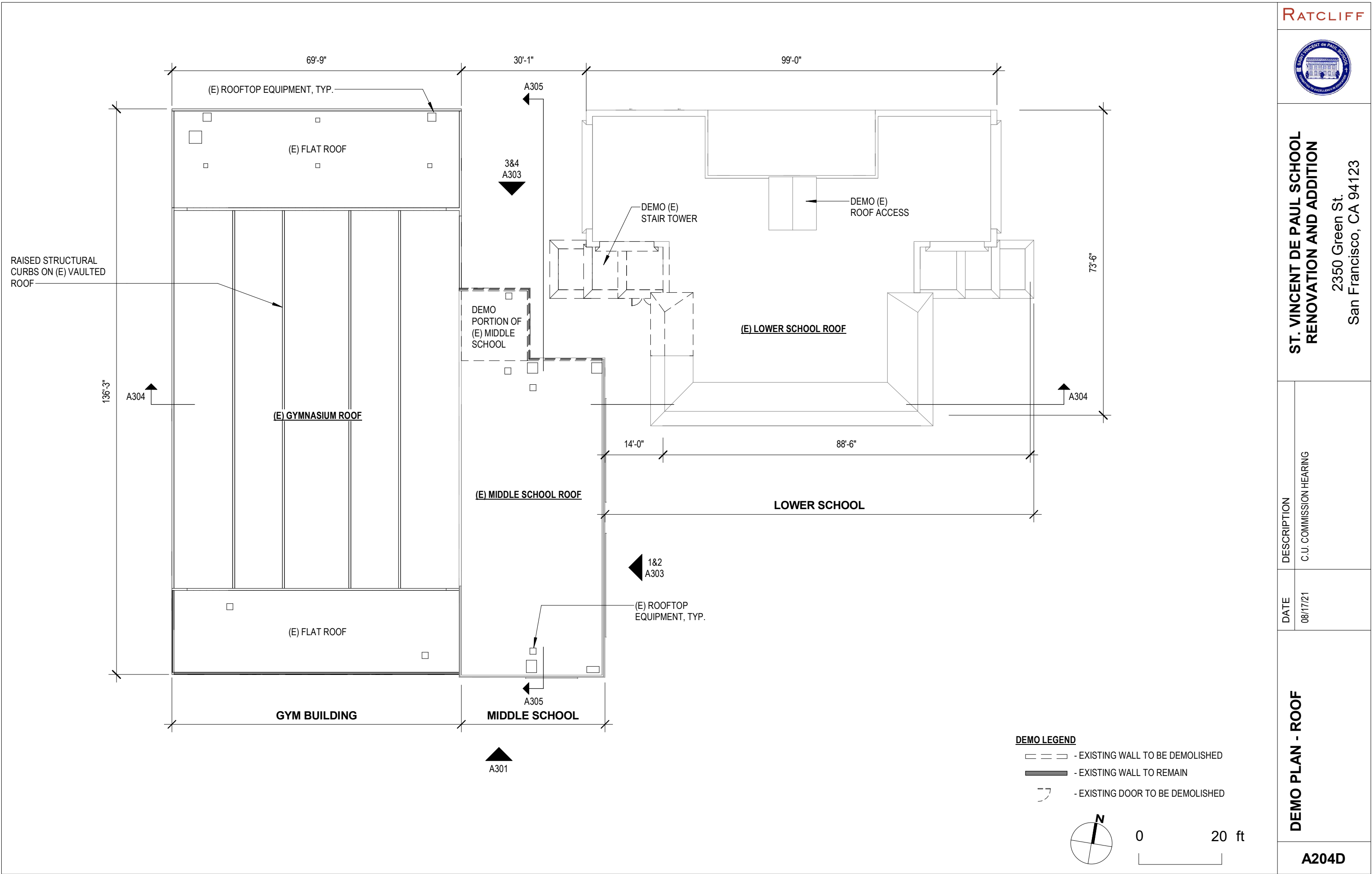


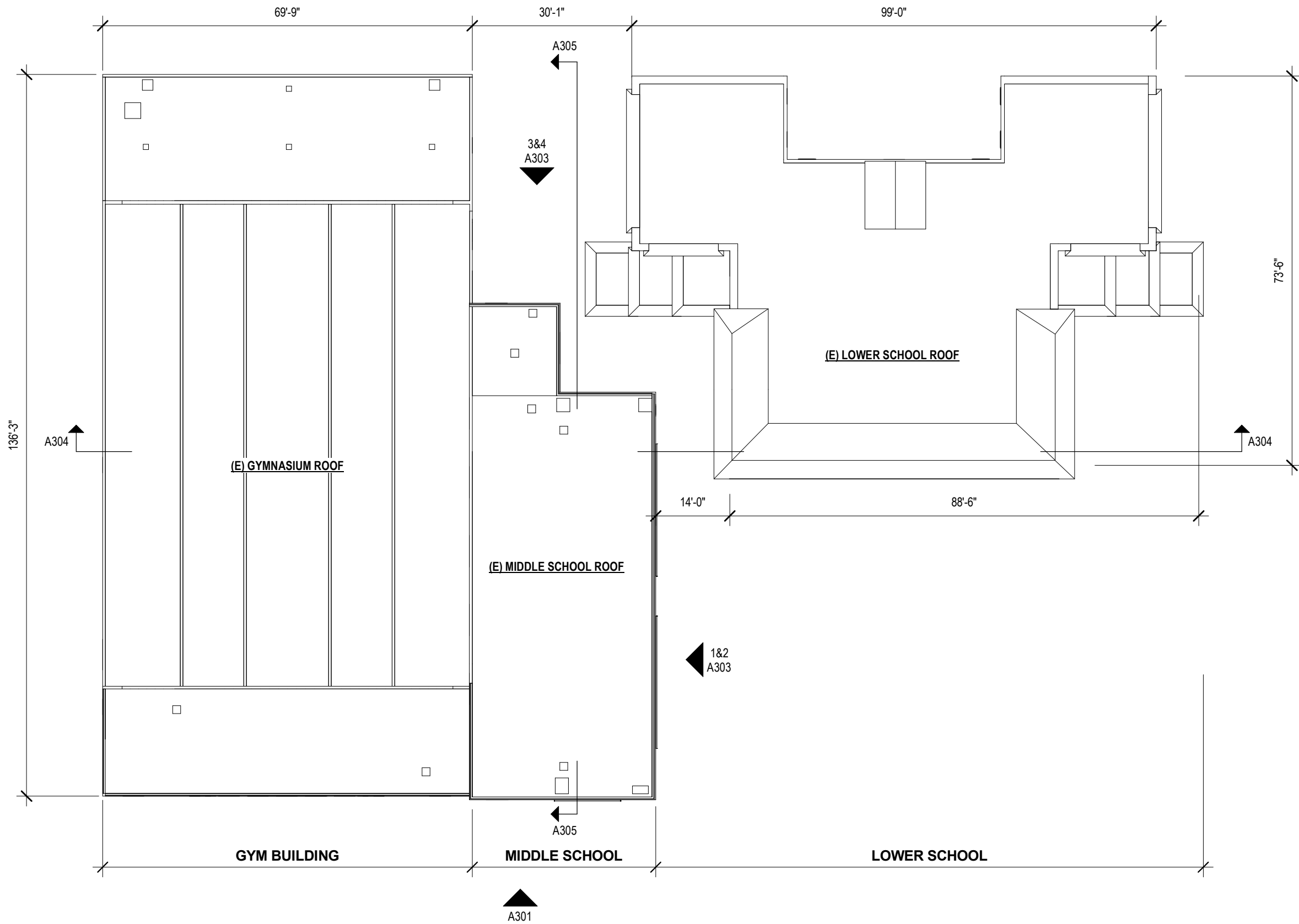
- PLAN LEGEND
- EXISTING WALL
 - NEW WALL
 - NEW SHEER WALL

PROPOSED FLOOR PLAN - 3RD FLOOR

BUILDING AREA SUMMARY IN GROSS AND OCCUPIED SQUARE FEET					
BUILDING	EXISTING (GSF)	DEMO (GSF)	NEW AREA ADDED (GSF)	PROPOSED GROSS AREA (GSF)	PROPOSED OCCUPIED AREA (SF)
GYM					
BASEMENT	8,556	237	-237	8,319	5,185
FIRST	9,981	477	-477	9,504	7,375
SECOND	4,042	0	45	4,087	905
	22,579 GSF	714 GSF	-669 GSF	21,910 GSF	13,465 SF
LOWER SCHOOL - GRADES 1-4					
BASEMENT	7,314	1,214	-1,214	6,100	5,241
FIRST	5,771	307	-307	5,464	3,562
SECOND	5,771	307	-307	5,464	3,562
	18,856 GSF	1,828 GSF	-1,828 GSF	17,028 GSF	12,365 SF
MIDDLE SCHOOL - GRADES 5-8					
BASEMENT	0	0	1,484	1,484	894
FIRST	0	0	3,988	3,988	1,008
SECOND	2,986	583	1,103	4,089	1,986
THIRD	2,986	583	1,103	4,089	1,986
	5,972 GSF	1,166 GSF	7,678 GSF	13,650 GSF	5,874 SF
SCIENCE					
BASEMENT	827	827	-827	0 * NEW LOWER PLAY AREA	0 * NEW LOWER PLAY AREA
	827 GSF	827 GSF	-827 GSF		
GRAND TOTAL	48,234 GSF	4,535 GSF	4,354 GSF	52,588 GSF	31,704 SF







ST. VINCENT DE PAUL SCHOOL
RENOVATION AND ADDITION
2350 Green St.
San Francisco, CA 94123

EXISTING PLAN - ROOF	
DATE	DESCRIPTION
08/17/21	C.U. COMMISSION HEARING
A204E	



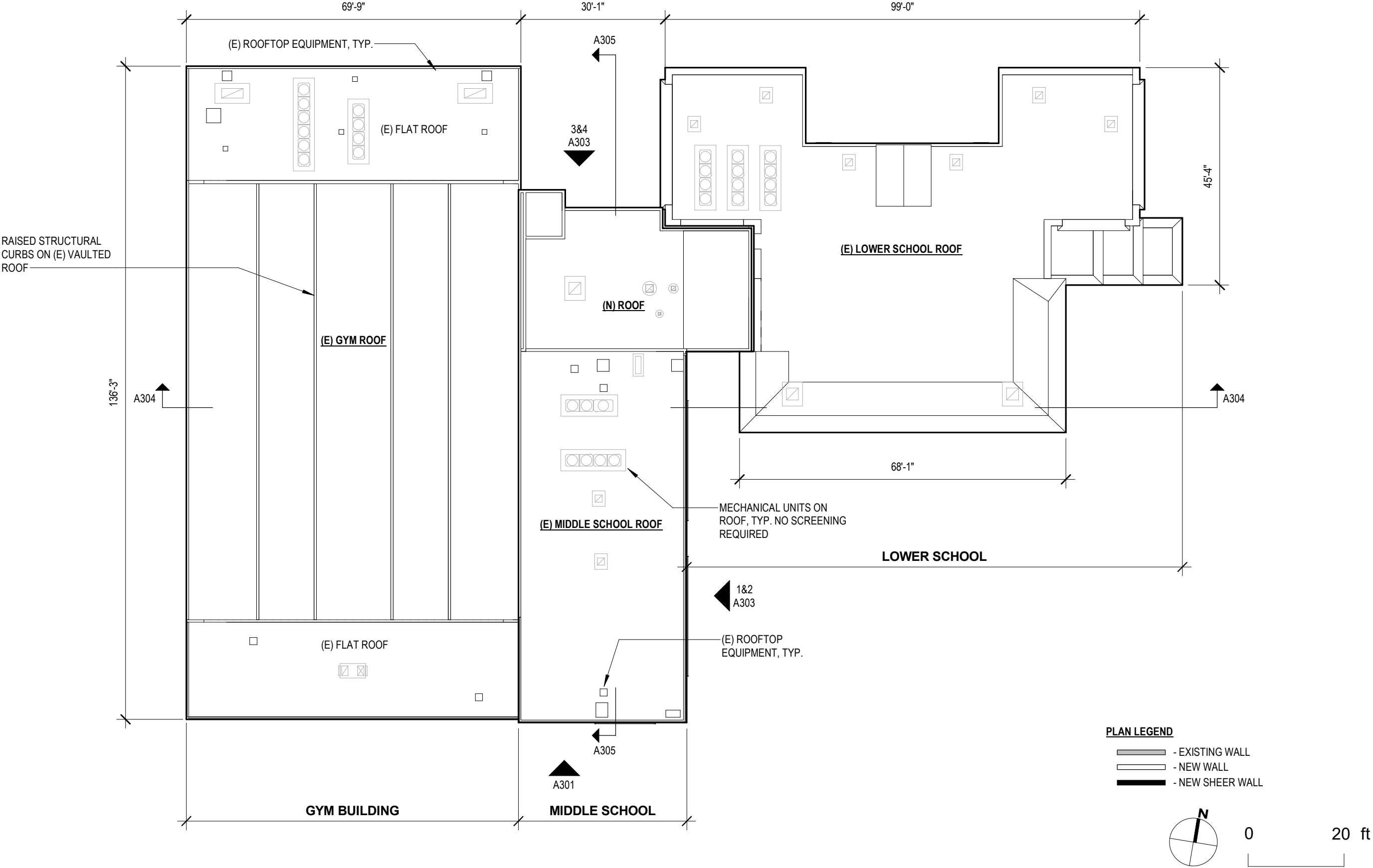
**ST. VINCENT DE PAUL SCHOOL
RENOVATION AND ADDITION**
2350 Green St.
San Francisco, CA 94123

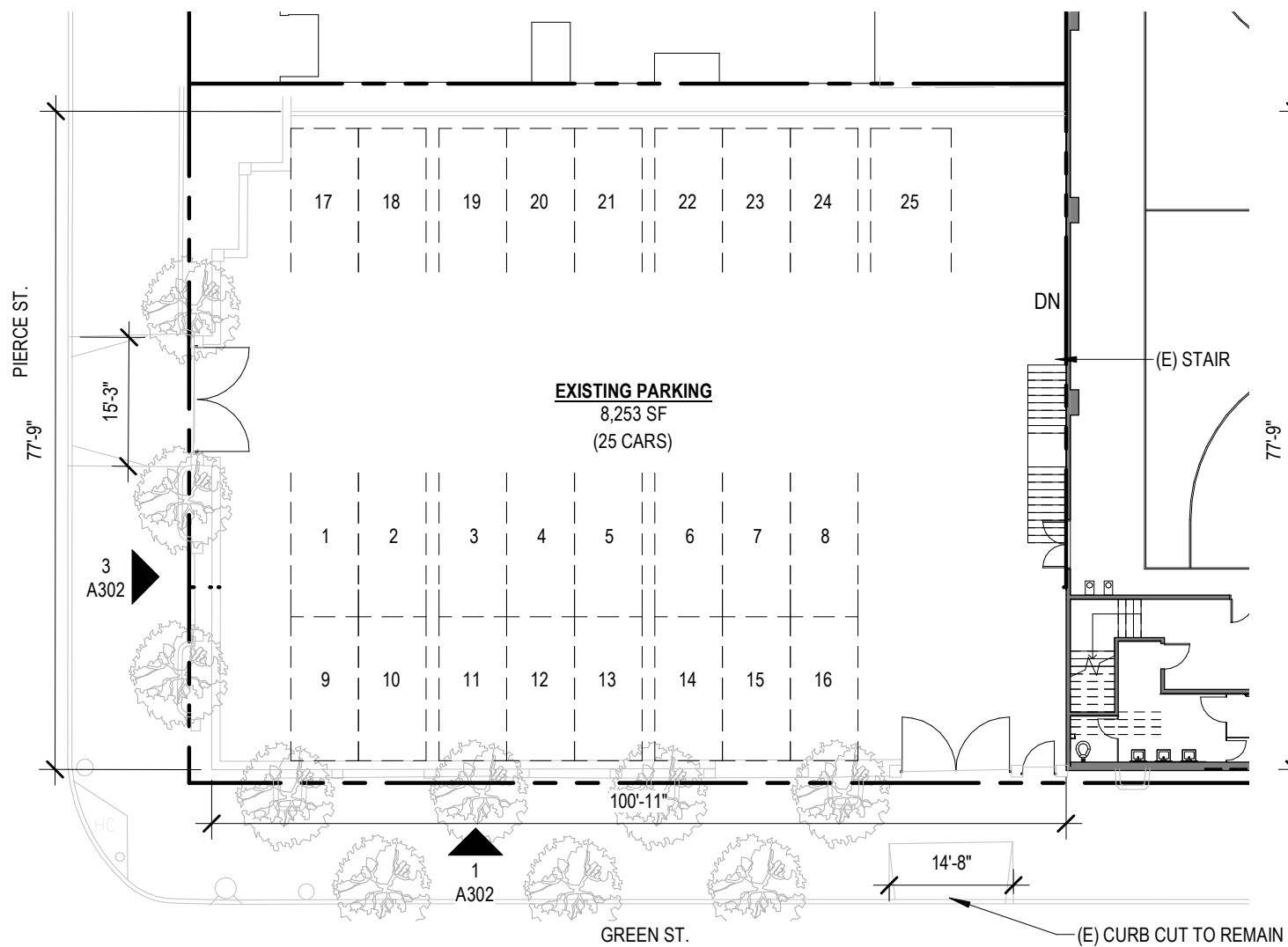
DESCRIPTION
C.U. COMMISSION HEARING

DATE
08/17/21

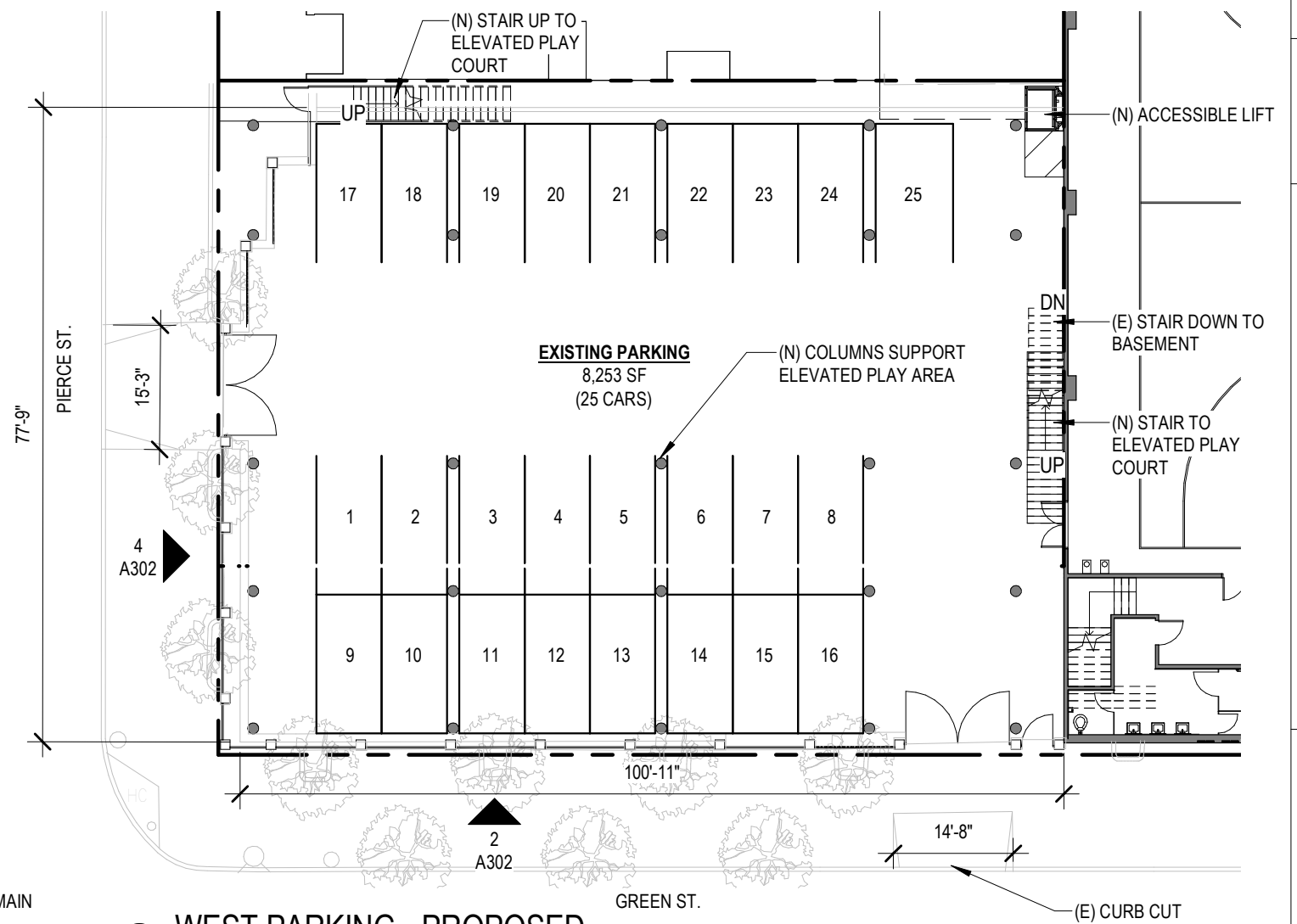
PROPOSED PLAN - ROOF

A204N





1 WEST PARKING - EXISTING
1" = 20'-0"



2 WEST PARKING - PROPOSED
1" = 20'-0"



0

20 ft

RATCLIFF



**ST. VINCENT DE PAUL SCHOOL
RENOVATION AND ADDITION**

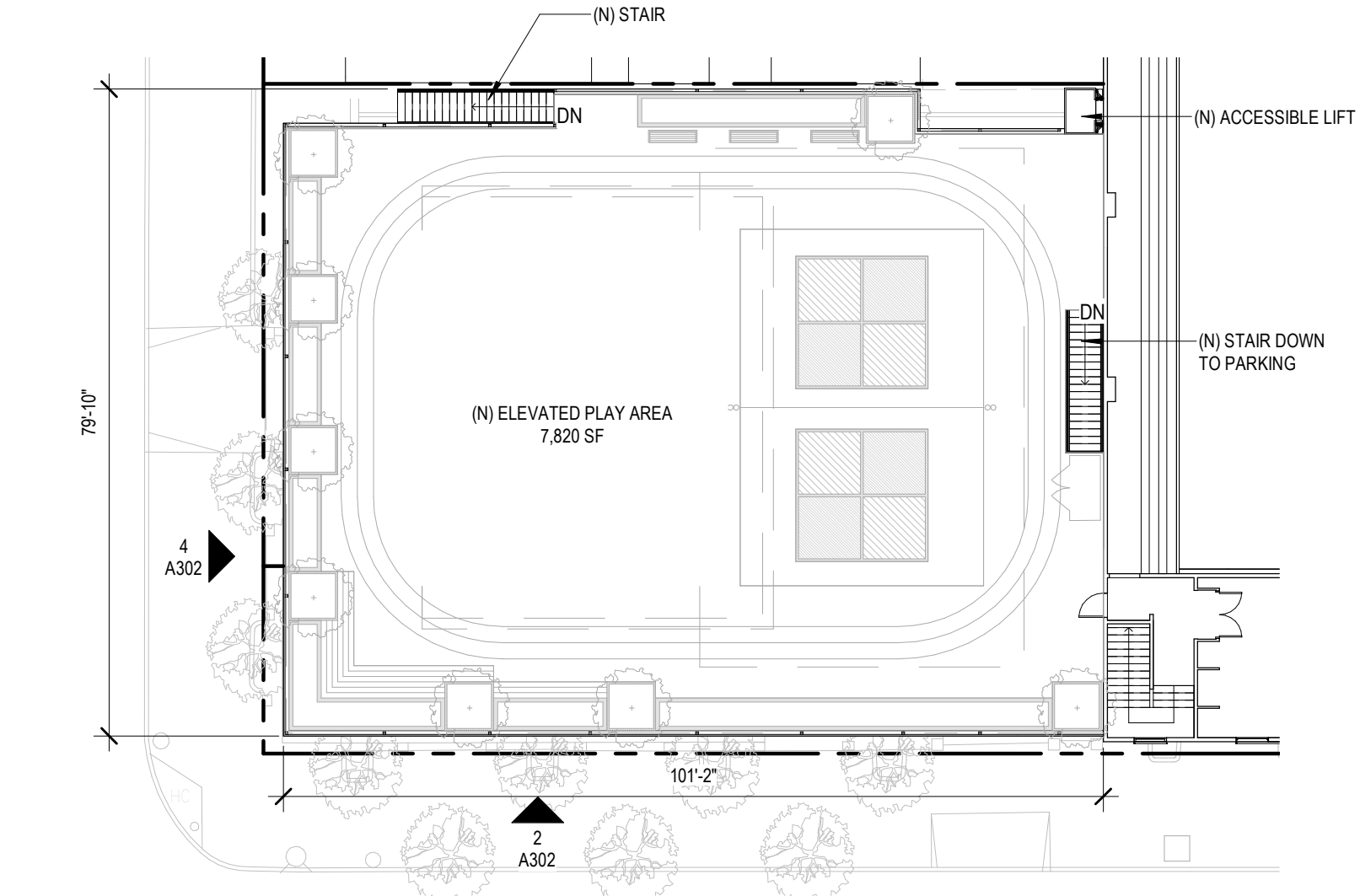
2350 Green St.
San Francisco, CA 94123

DESCRIPTION	C.U. COMMISSION

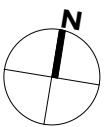
DATE	08/17/21
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EXISTING & PROPOSED WEST PARKING

A205



1 WEST PARKING - PROPOSED ELEVATED
PLAY COURT
1" = 20'-0"



0 20 ft



ST. VINCENT DE PAUL SCHOOL
RENOVATION AND ADDITION
2350 Green St.
San Francisco, CA 94123

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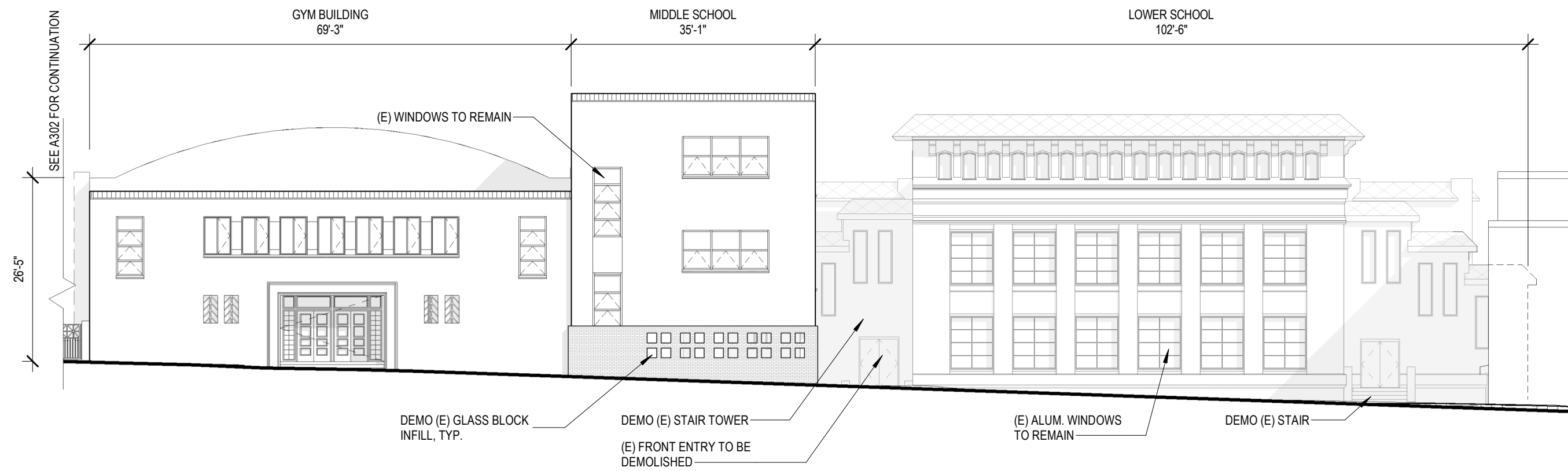
DATE
08/17/21

PROPOSED ELEVATED
PLAY AREA

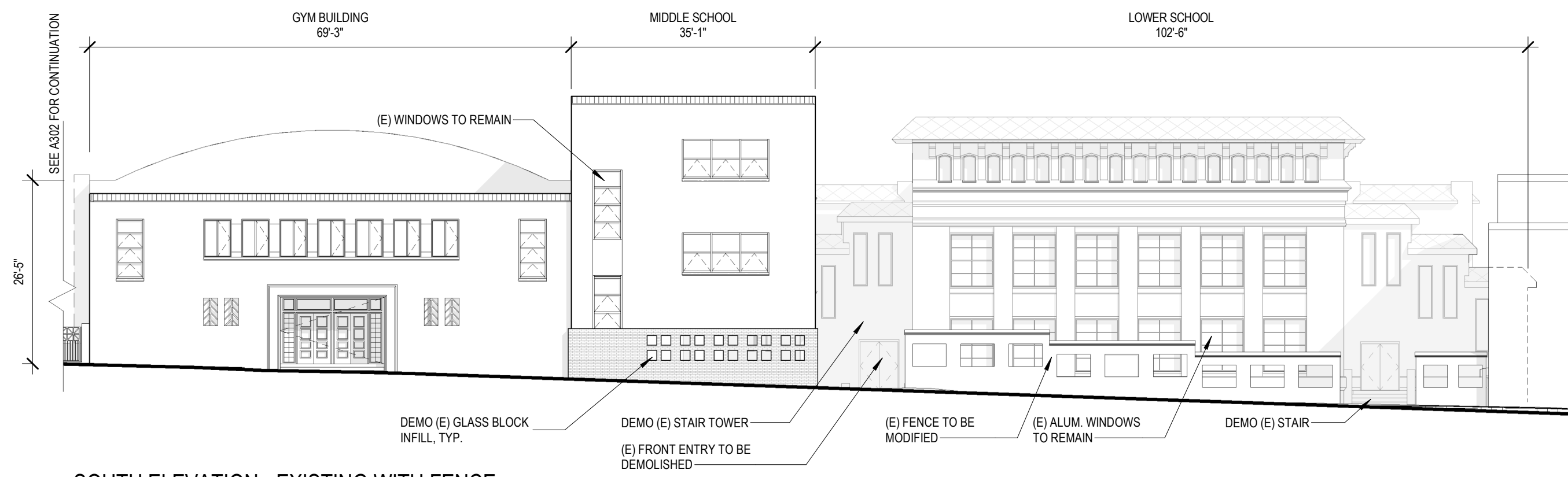


ST. VINCENT DE PAUL SCHOOL
RENOVATION AND ADDITION
2350 Green St.
San Francisco, CA 94123

DATE	DESCRIPTION	EXISTING SOUTH ELEVATION
08/17/21	C.U. COMMISSION HEARING	A301



2 SOUTH ELEVATION - EXISTING
1/16" = 1'-0"



1 SOUTH ELEVATION - EXISTING WITH FENCE
1/16" = 1'-0"





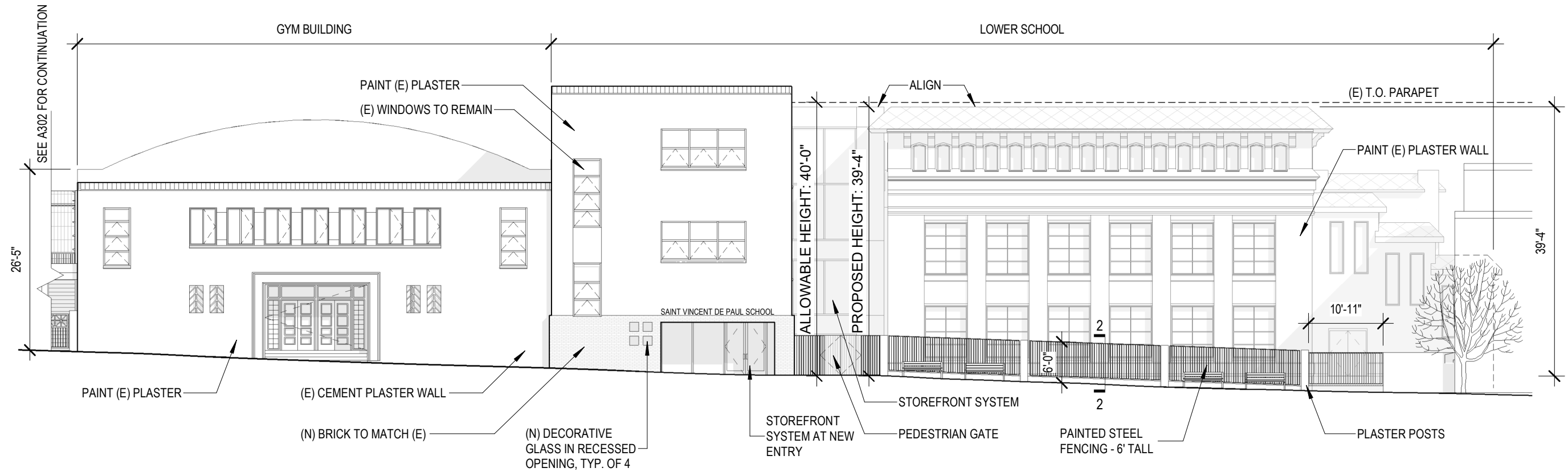
**ST. VINCENT DE PAUL SCHOOL
RENOVATION AND ADDITION**
2350 Green St.
San Francisco, CA 94123

DESCRIPTION
C.U. COMMISSION HEARING

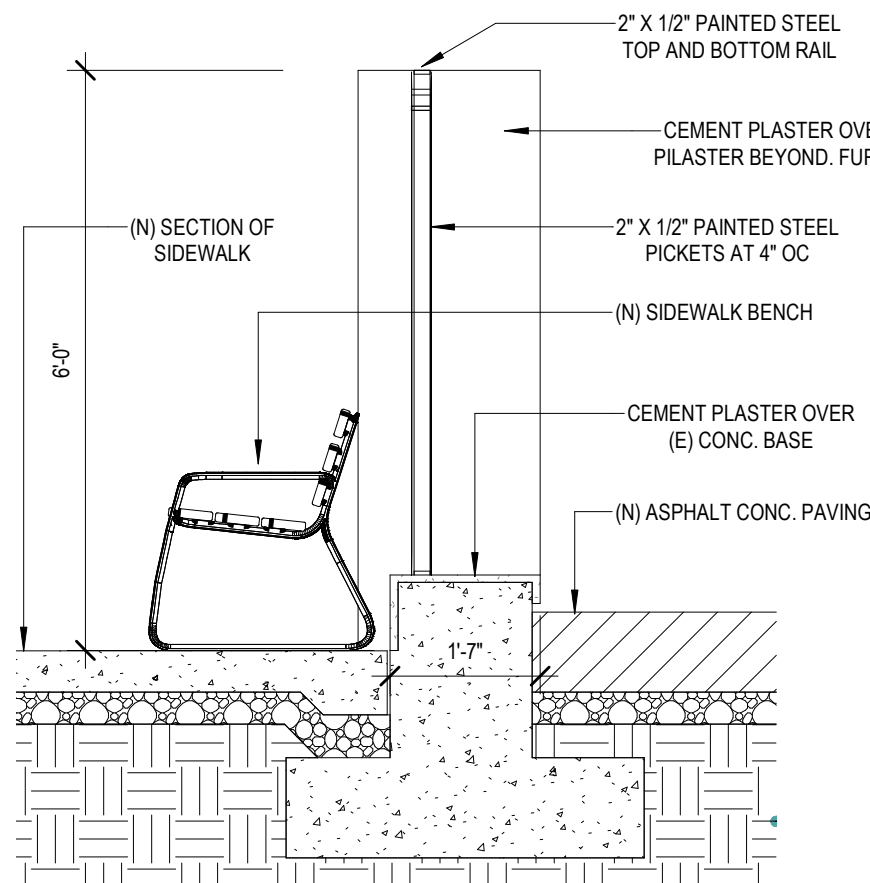
DATE
08/17/21

**SOUTH ELEVATION -
PROPOSED WITH FENCE**

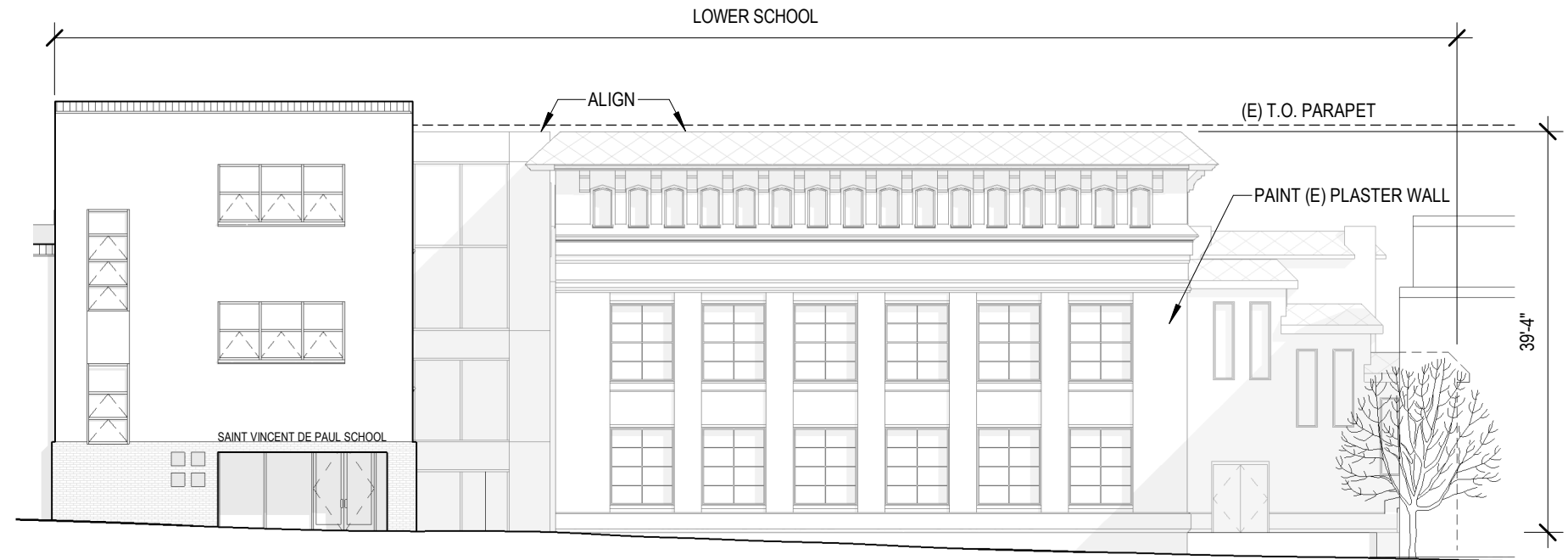
A301B



1 SOUTH ELEVATION - PROPOSED WITH FENCE
1/16" = 1'-0"



2 SECTION AT FENCE
1/2" = 1'-0"



3 SOUTH ELEVATION - PROPOSED
1/16" = 1'-0"

0 16 ft



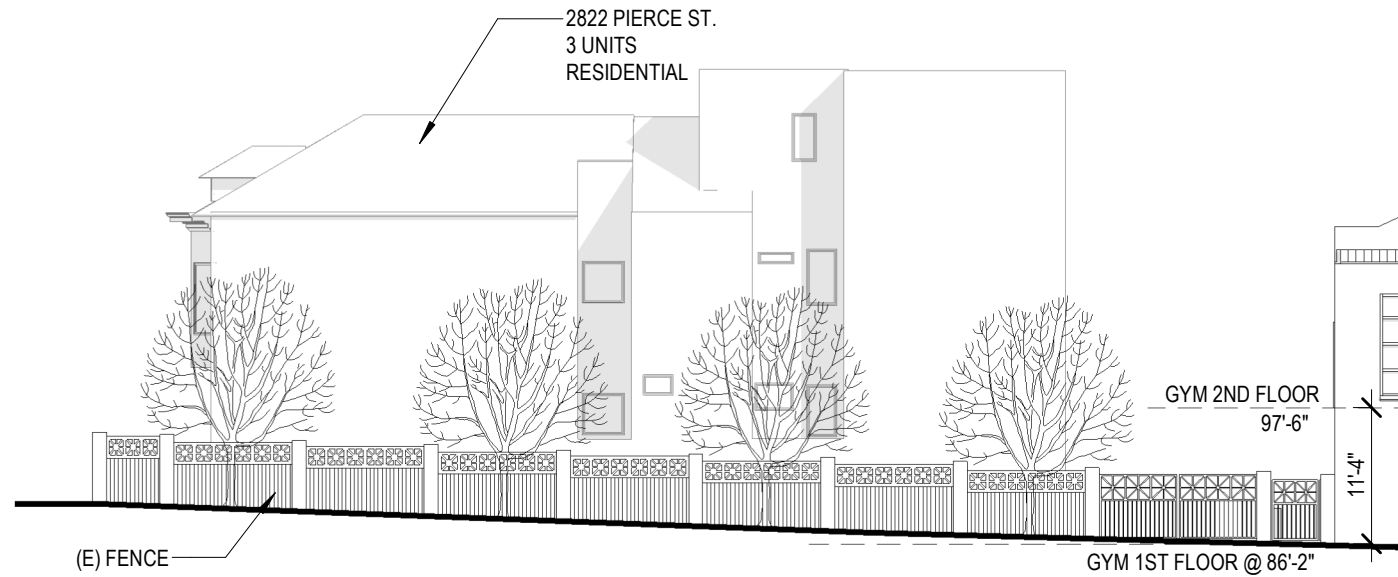
ST. VINCENT DE PAUL SCHOOL
RENOVATION AND ADDITION
2350 Green St.
San Francisco, CA 94123

DESCRIPTION
C.U. COMMISSION HEARING

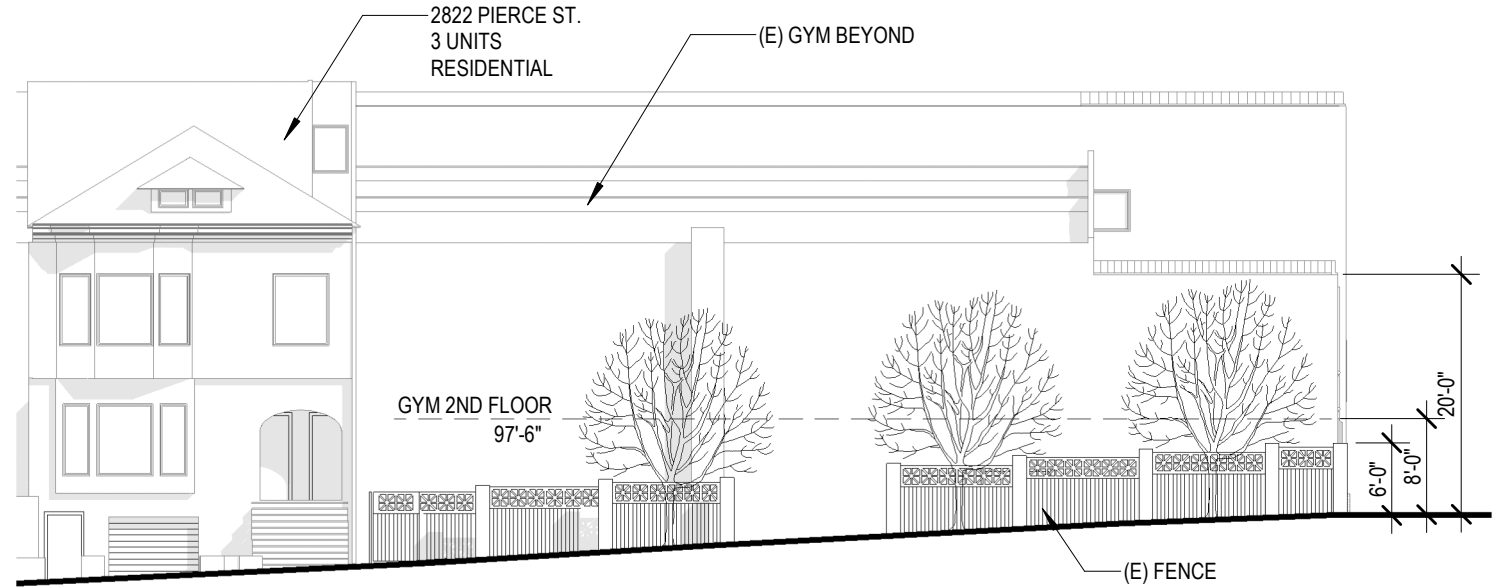
DATE
08/17/21

EXISTING & PROPOSED
SOUTH ELEVATION -
PARKING

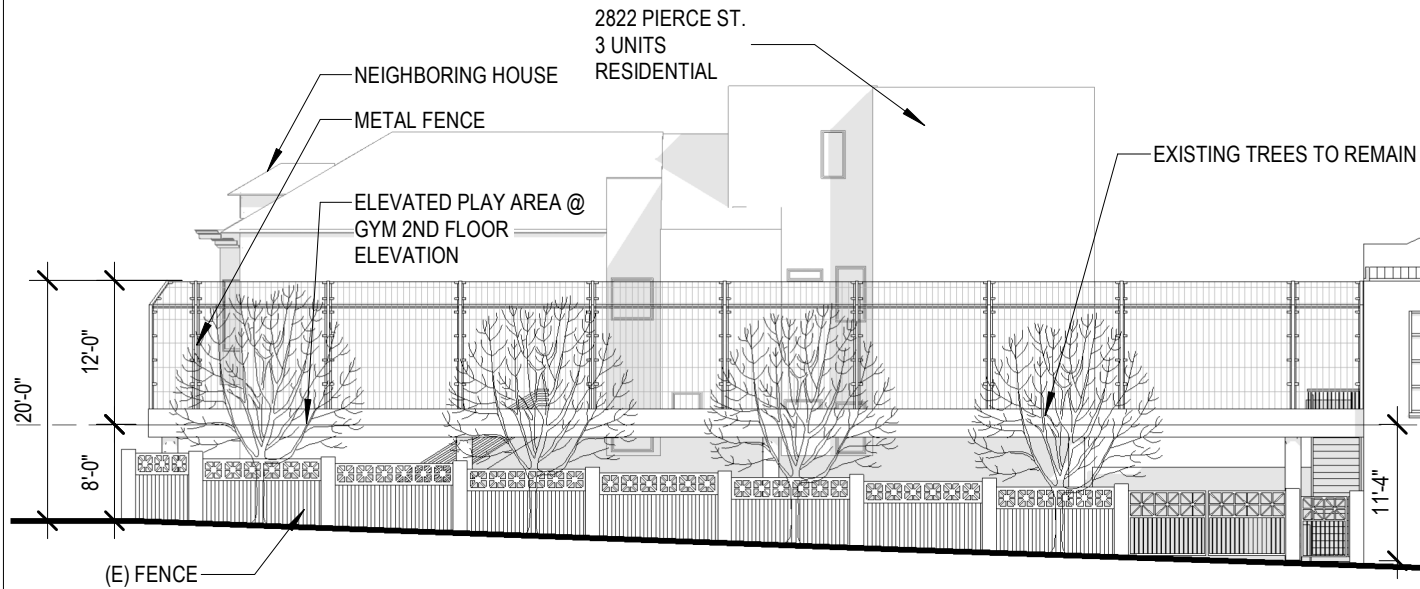
A302



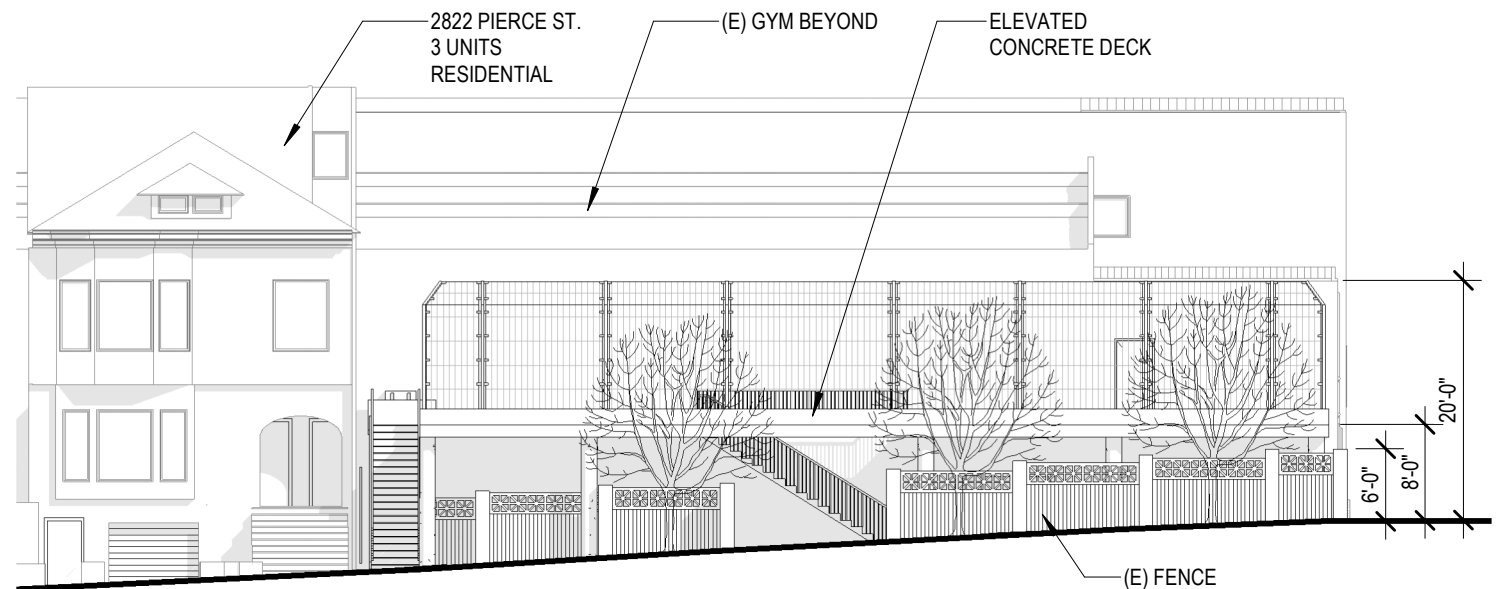
1 SOUTH ELEVATION AT GREEN STREET) - EXISTING
1/16" = 1'-0"



3 WEST ELEVATION AT PIERCE STREET (ELEVATED PLAYGROUND) - EXISTING
1/16" = 1'-0"



2 SOUTH ELEVATION AT GREEN STREET) - PROPOSED
1/16" = 1'-0"

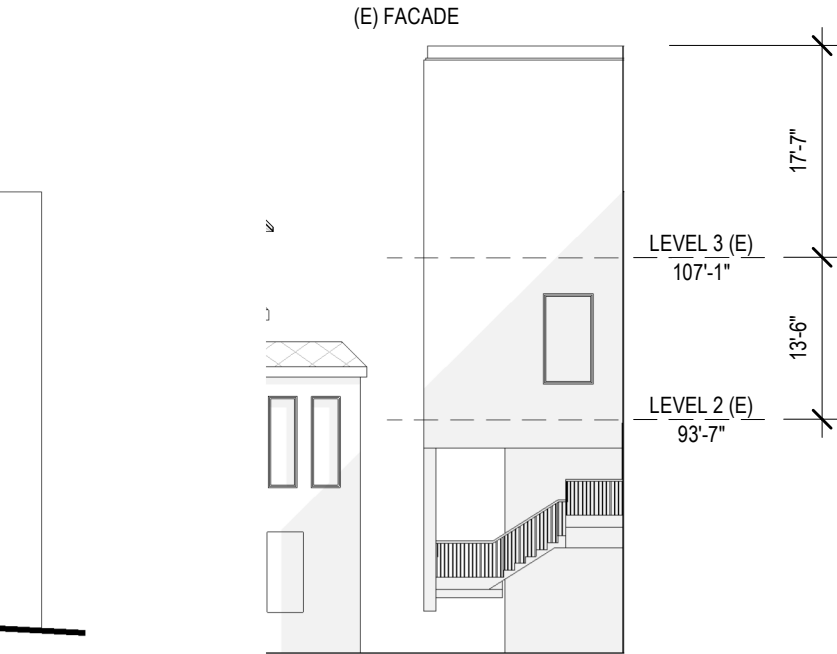
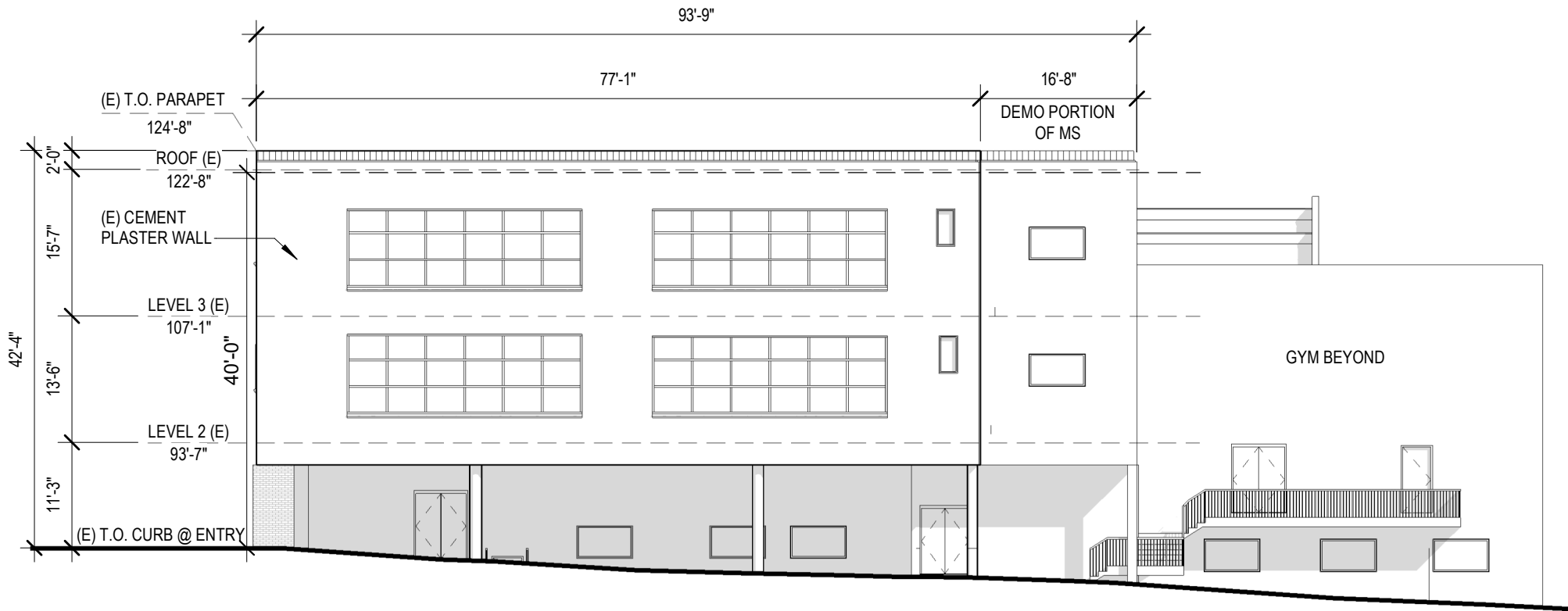


4 WEST ELEVATION AT PIERCE STREET (ELEVATED PLAYGROUND) - PROPOSED
1/16" = 1'-0"

0 16 ft

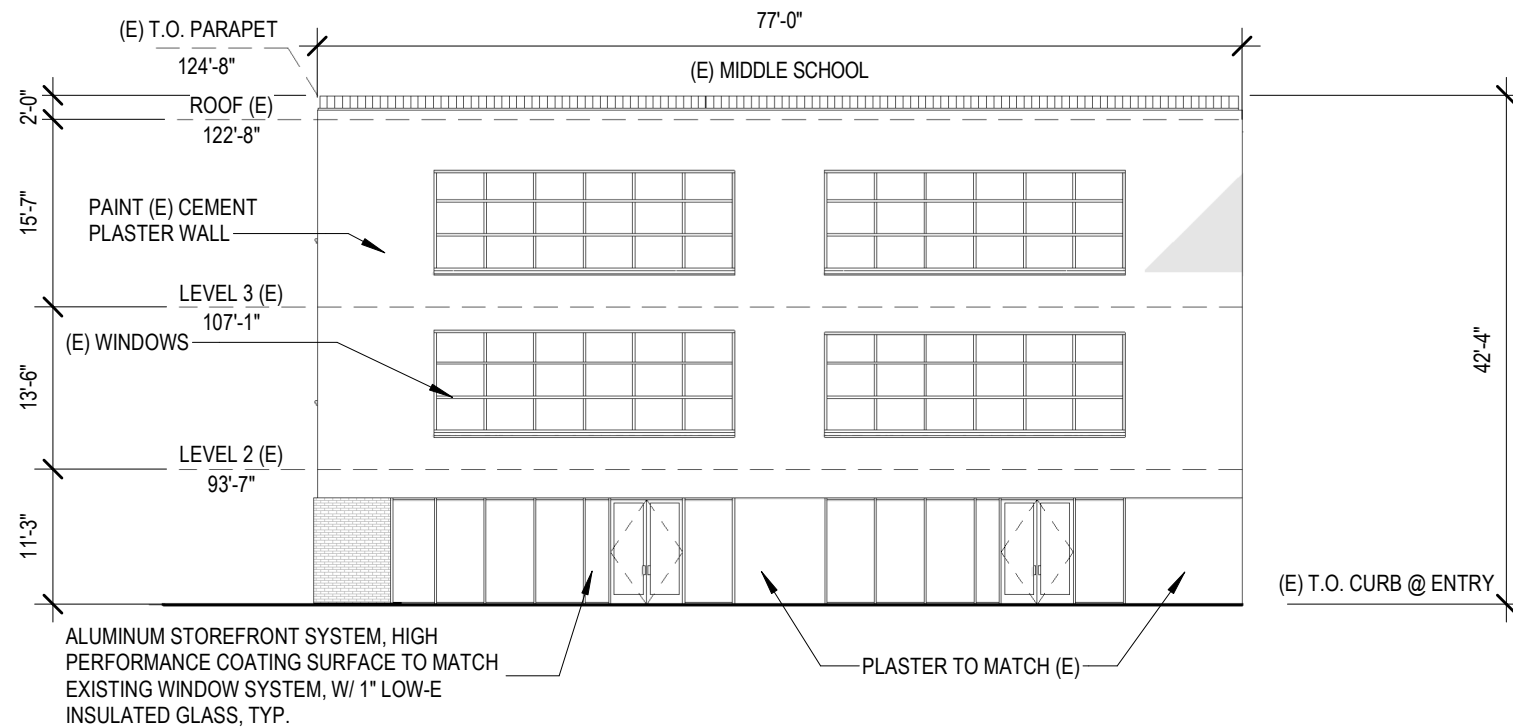


**ST. VINCENT DE PAUL SCHOOL
RENOVATION AND ADDITION**
2350 Green St.
San Francisco, CA 94123

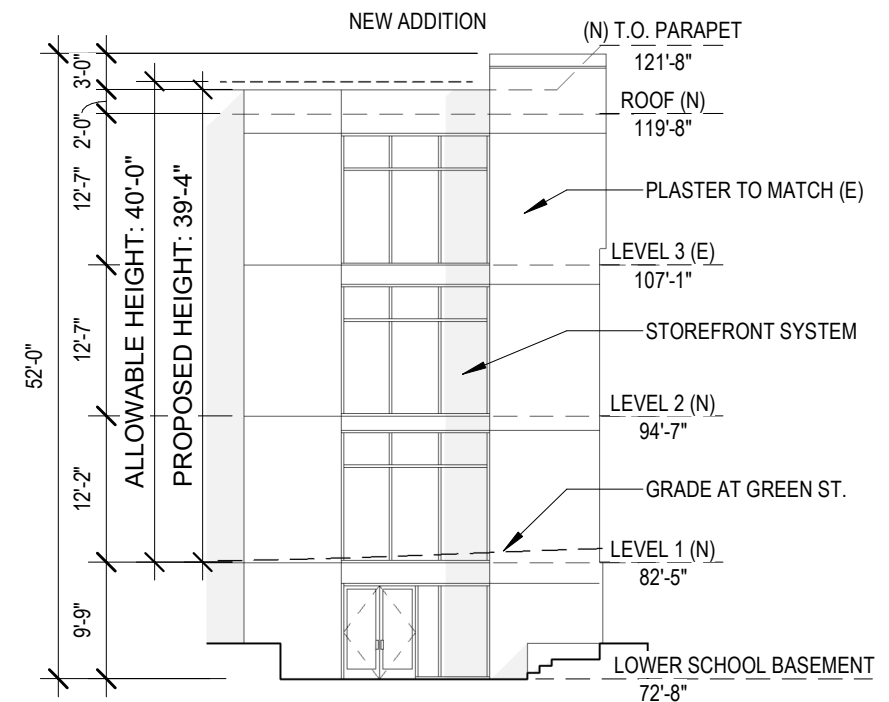


① EAST ELEVATION AT MIDDLE SCHOOL - EXISTING
1/16" = 1'-0"

③ NORTH ELEVATION AT MIDDLE SCHOOL - EXISTING
1/16" = 1'-0"



② EAST ELEVATION AT MIDDLE SCHOOL - PROPOSED
1/16" = 1'-0"



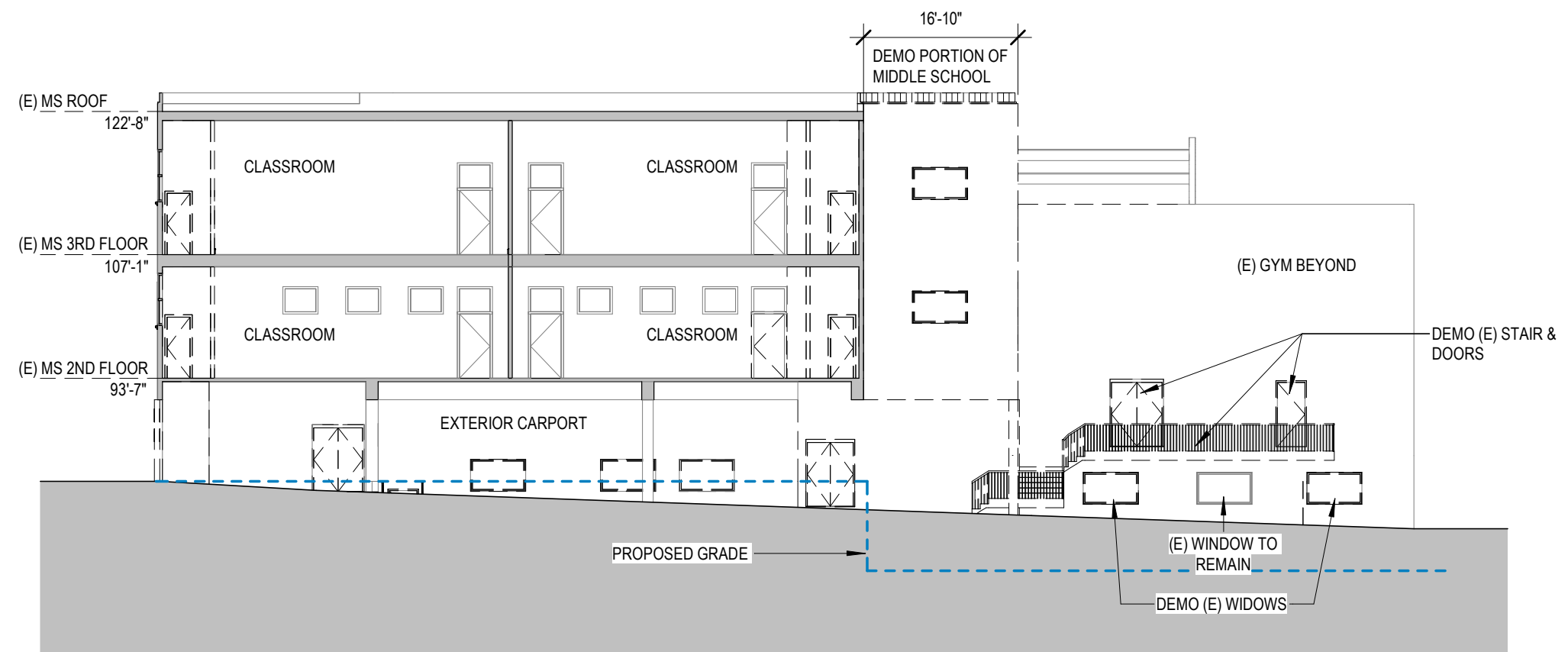
④ NORTH ELEVATION AT MIDDLE SCHOOL - PROPOSED
1/16" = 1'-0"



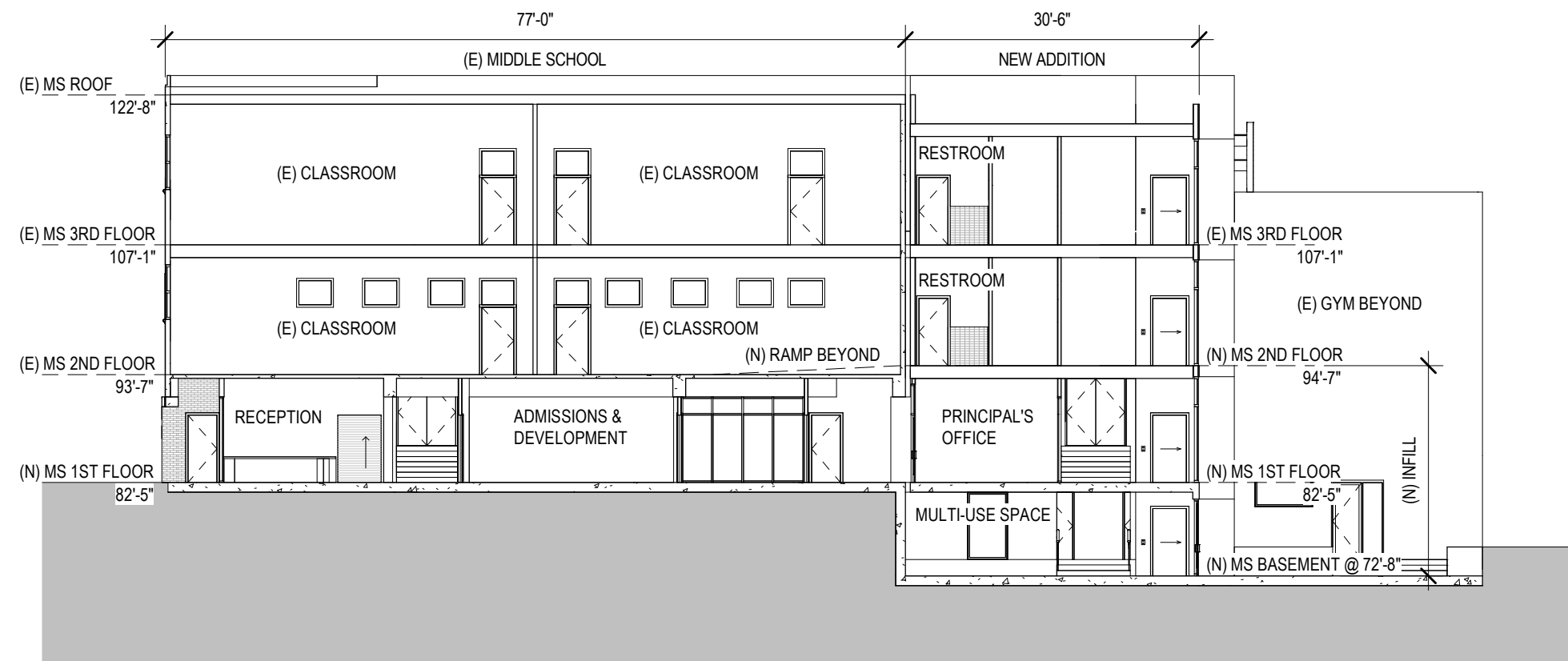
DESCRIPTION
C.U. COMMISSION HEARING

DATE
08/17/21

**EXISTING & PROPOSED
EAST & NORTH
ELEVATION AT MIDDLE
SCHOOL**



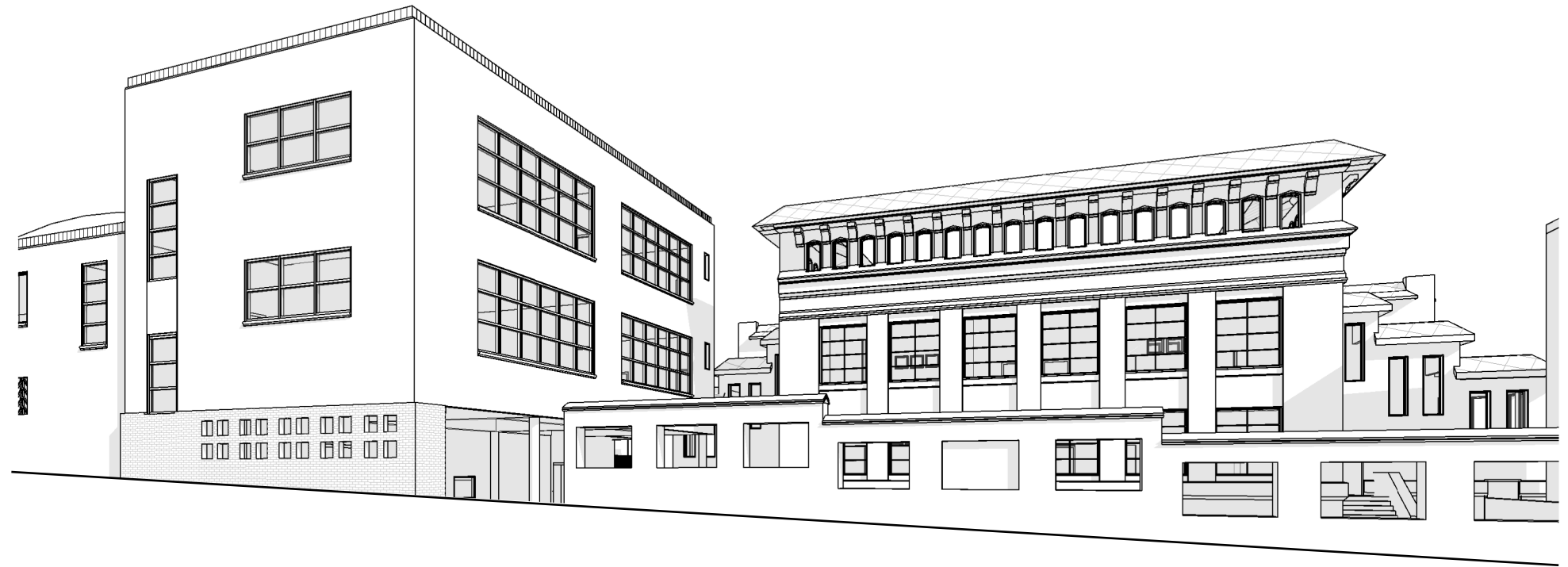
1 NORTH-SOUTH MIDDLE SCHOOL SECTION - EXISTING
1/16" = 1'-0"



2 NORTH-SOUTH MIDDLE SCHOOL SECTION - PROPOSED
1/16" = 1'-0"

0 16 ft





① EXISTING STREET VIEW



② PROPOSED STREET VIEW



ST. VINCENT DE PAUL SCHOOL
RENOVATION AND ADDITION
2350 Green St.
San Francisco, CA 94123

DESCRIPTION
C.U. COMMISSION HEARING

DATE
08/17/21

STREET VIEWS



CEQA Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
2350 GREEN ST		0538007
Case No.		Permit No.
2018-004686ENV		202007069619
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
<p>Project description for Planning Department approval.</p> <p>The 37,734-square-foot (sf) project site contains an existing K-8 school (St Vincent De Paul School), which is located on a block bounded by Green, Pierce, Steiner and Union streets. The project site is part of the St. Vincent de Paul California Parish Complex, which includes three buildings; the main school building (currently used as the lower school) constructed in 1924; and the Gymnasium and classroom buildings (currently used as the middle school) constructed in 1948. The lower school building is 39'-4" tall and 18,856 sf and the middle school building is 42'-4" tall and 5,972 sf. The corner of the site is now a surface parking lot with 25 off-street spaces. The courtyard is also used for parking, with 7 spaces in a carport at grade under the middle school and approximately 10 additional non-striped spaces in the courtyard. The Parish Complex is considered an individual historic resource. The proposed project includes infill of the first floor of the middle school, and a new addition, including a new stairway connecting the middle school and the lower school. These additions would expand the existing building footprint. The middle school would increase in size from 5,972 sf to 13,650 sf for an increase of 7,678 sf. The building renovation would involve seismic upgrades to the middle school building, and the new addition to</p> <p>FULL PROJECT DESCRIPTION ATTACHED</p>		

STEP 1: EXEMPTION TYPE

The project has been determined to be exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Other ____
<input type="checkbox"/>	Common Sense Exemption (CEQA Guidelines section 15061(b)(3)). It can be seen with certainty that there is no possibility of a significant effect on the environment.

STEP 2: ENVIRONMENTAL SCREENING ASSESSMENT

TO BE COMPLETED BY PROJECT PLANNER

<input checked="" type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g. use of diesel construction equipment, backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to the <i>Environmental Information</i> tab on https://sfplanninggis.org/PIM/)</p>
<input checked="" type="checkbox"/>	<p>Hazardous Materials: <input type="checkbox"/> Maher or <input type="checkbox"/> Cortese</p> <p>Is the project site located within the Maher area or on a site containing potential subsurface soil or groundwater contamination and would it involve ground disturbance of at least 50 cubic yards or a change of use from an industrial use to a residential or institutional use? Is the project site located on a Cortese site or would the project involve work on a site with an existing or former gas station, parking lot, auto repair, dry cleaners, or heavy manufacturing use, or a site with current or former underground storage tanks?</p> <p><i>if Maher box is checked, note below whether the applicant has enrolled in or received a waiver from the San Francisco Department of Public Health (DPH) Maher program, or if Environmental Planning staff has determined that hazardous material effects would be less than significant.</i></p>
<input type="checkbox"/>	<p>Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities? Would the project involve the intensification of or a substantial increase in vehicle trips at the project site or elsewhere in the region due to autonomous vehicle or for-hire vehicle fleet maintenance, operations or charging?</p>
<input checked="" type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? If yes, archeology review is required.</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to the <i>Environmental Information</i> tab on https://sfplanninggis.org/PIM/) If box is checked, Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Average Slope of Parcel = or > 25%, or site is in Edgehill Slope Protection Area or Northwest Mt. Sutro Slope Protection Area: Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, or (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area? (refer to the <i>Environmental Information</i> tab on https://sfplanninggis.org/PIM/) If box is checked, a geotechnical report is likely required and Environmental Planning must issue the exemption.</p>
<input checked="" type="checkbox"/>	<p>Seismic Hazard: <input type="checkbox"/> Landslide or <input checked="" type="checkbox"/> Liquefaction Hazard Zone:</p> <p>Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area, or (4) grading performed at a site in the landslide hazard zone? (refer to the <i>Environmental Information</i> tab on https://sfplanninggis.org/PIM/) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<p>Comments and Planner Signature (optional): Benjamin Lamb</p> <p>PLEASE SEE ATTACHED</p>	

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: <i>(refer to Property Information Map)</i>	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input checked="" type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER

Check all that apply to the project.	
<input checked="" type="checkbox"/>	1. Reclassification of property status. <i>(Attach HRER Part I)</i> <div style="display: flex; justify-content: space-between; align-items: flex-start; margin-top: 10px;"> <div style="width: 60%;"> <input checked="" type="checkbox"/> Reclassify to Category A <div style="margin-left: 20px;"> a. Per HRER 02/06/2020 b. Other <i>(specify)</i>: </div> </div> <div style="width: 35%;"> <input type="checkbox"/> Reclassify to Category C <i>(No further historic review)</i> </div> </div>
<input type="checkbox"/>	2. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	3. Interior alterations to publicly accessible spaces that do not remove, alter, or obscure character defining features.
<input type="checkbox"/>	4. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	5. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.

<input type="checkbox"/>	6. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	7. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input checked="" type="checkbox"/>	8. Work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (Analysis required): See attached HRER Part II signed 11/10/2020
<input type="checkbox"/>	9. Work compatible with a historic district (Analysis required):
<input type="checkbox"/>	10. Work that would not materially impair a historic resource (Attach HRER Part II).
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input checked="" type="checkbox"/>	Project can proceed with exemption review. The project has been reviewed by the Preservation Planner and can proceed with exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Allison Vanderslice	

STEP 6: EXEMPTION DETERMINATION

TO BE COMPLETED BY PROJECT PLANNER

<input checked="" type="checkbox"/>	No further environmental review is required. The project is exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Planning Commission Hearing	Signature: Benjamin Lamb
		06/30/2021
	<p>Supporting documents are available for review on the San Francisco Property Information Map, which can be accessed at https://sfplanninggis.org/PIM/. Individual files can be viewed by clicking on the Planning Applications link, clicking the "More Details" link under the project's environmental record number (ENV) and then clicking on the "Related Documents" link. Once signed or stamped and dated, this document constitutes an exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination to the Board of Supervisors can only be filed within 30 days of the project receiving the approval action.</p> <p>Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.</p>	

Full Project Description

The 37,734-square-foot (sf) project site contains an existing K-8 school (St Vincent De Paul School), which is located on a block bounded by Green, Pierce, Steiner and Union streets. The project site is part of the St. Vincent de Paul California Parish Complex, which includes three buildings; the main school building (currently used as the lower school) constructed in 1924; and the Gymnasium and classroom buildings (currently used as the middle school) constructed in 1948. The lower school building is 39'-4" tall and 18,856 sf and the middle school building is 42'-4" tall and 5,972 sf. The corner of the site is now a surface parking lot with 25 off-street spaces. The courtyard is also used for parking, with 7 spaces in a carport at grade under the middle school and approximately 10 additional non-striped spaces in the courtyard. The Parish Complex is considered an individual historic resource.

The proposed project includes infill of the first floor of the middle school, and a new addition, including a new stairway connecting the middle school and the lower school. These additions would expand the existing building footprint. The middle school would increase in size from 5,972 sf to 13,650 sf for an increase of 7,678 sf. The building renovation would involve seismic upgrades to the middle school building, and the new addition to the middle school building to connect to the lower school. With the ground floor infill of the middle school, the parking area at the main courtyard would be reduced from 17 to 7 parking spaces. The project would also rehabilitate the existing lower school building. Demolition would include infill of an existing carport, and demolition of the existing west stair tower at the lower school, which would reduce the size of the lower school building from 18,856 sf to 17,028 sf for a net reduction of 1,828 sf. The gym would be reduced in size from 22,579 sf to 21,910 sf for a net reduction of 669 sf. The total net change for the buildings would be an additional 5,181 sf, and the heights of the buildings would remain unchanged.

The existing parking lot at the corner of Green and Pierce streets would remain, however, the project also includes the construction of a 7,820 sf elevated play area above the existing surface parking. The elevated play area would range in height from 8' to 11'-4". The project would also involve the removal of one curb cut along Green Street in order to provide a new pedestrian ramp to access the proposed new entry. Together, the existing school buildings are currently 47,407 sf and would be expanded by 5,181 sf for a new total area of 52,588 sf. The project involves building demolition of 3,088 sf, and new building infill and an expanded building footprint of 8,269 sf. The basement area is located under the gym and middle school buildings and is currently 15,867 sf and would be expanded by 36 sf to a new area of 15,903 sf. Current enrollment at the school would remain unchanged at 360 students.

The proposed project excavation would require 215 cubic yards (cy) cut, 583 cy fill, for a total import of 368 cy. Approximately 5 feet of fill would be added to the main courtyard bringing the finished grade to approximately 82 feet. Excavation of 5 to 10 feet of soil is anticipated for rehabilitation related to the expansion of the basement area. The new building addition would be supported on a drilled pier foundation. These piers would be cast-in-place straight shaft friction piers, with a minimum diameter of 18 inches and extend a minimum of 30 feet below grade, into dense sand or stiff clay. Construction of the proposed project would last approximately twelve months.

Step 2: Environmental Screening Comments

Air Quality: The proposed project's construction would be subject to the Dust Control Ordinance (Article 22B of the Health Code). The proposed land uses are below the Bay Area Air Quality Management District's construction and operational screening levels for requiring further quantitative criteria air pollutant analysis. The project site is located within an air pollutant exposure zone but would not add new stationary sources of toxic air contaminants. Thus, no significant construction or operational air quality impacts would occur.

Hazardous Materials: The project is subject to the Maher Ordinance (Article 22A of the Health Code), which is administered by the Department of Public Health. The project sponsor enrolled in the Maher Program on 3/15/2019.

Geology and Soils: A preliminary geotechnical report was prepared by Cornerstone Earth Group, confirming that the proposed project is on a site subject to liquefaction. The project's structural drawings would be reviewed by the building department, where it would be determined if further geotechnical review and technical reports are required.

Archeological Resources: The department's staff archeologist conducted preliminary archeological review on June 14, 2021 and determined that no CEQA-significant archeological resources are expected within project-affected soils.

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

MODIFIED PROJECT DESCRIPTION

Modified Project Description:

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

- | | |
|--------------------------|--|
| <input type="checkbox"/> | Result in expansion of the building envelope, as defined in the Planning Code; |
| <input type="checkbox"/> | Result in the change of use that would require public notice under Planning Code Sections 311 or 312; |
| <input type="checkbox"/> | Result in demolition as defined under Planning Code Section 317 or 19005(f)? |
| <input type="checkbox"/> | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |

If at least one of the above boxes is checked, further environmental review is required.

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

- | | |
|--------------------------|---|
| <input type="checkbox"/> | The proposed modification would not result in any of the above changes. |
|--------------------------|---|

If this box is checked, the proposed modifications are exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed to the Environmental Review Officer within 10 days of posting of this determination.

Planner Name:

Date:



PART II Historic Resource Evaluation Response

Record No.: 2018-004686ENV
Project Address: 2350 Green Street
Zoning: RH-3 Residential, House, Three Family Zoning District
40-X Height and Bulk District
Block/Lot: 0538/007
Staff Contact: Jørgen G. Cleemann – 628-652-7552
jcleemann@gmail.com

PART I: Historic Resource Summary

According to a 2/6/2020 Preservation Team Review form, the properties located at 2300, 2320, and 2350 Green Street and 2810-14 Pierce Street constitute a unified church-and-school complex that is eligible for individual listing in the California Register under Criterion 3 (architecture). The period of significance extends from 1902 to 1957. The complex possesses the following character-defining features:

- 2300 Green Street (0538/005), St. Vincent de Paul Church, constructed in phases between 1902 and 1913, Shea & Lofquist, architects; seismically upgraded in 1957.
 - Prominent corner location with two street-facing facades
 - Cross plan with sloped roof form consisting of intersecting gambrel-style gables
 - Brick base that changes from one- to two-stories in height with the downslope of Steiner Street
 - Wood construction above the brick base
 - Primary south façade on Green Street consisting of triple-arched entry, and a gambrel-form gable-end with large stained-glass windows
 - A prominent corner tower with a pyramidal roof with flared eaves clad in standing-seam metal sheets
 - Secondary east façade with a recessed section between the corner tower and the cross-gable, a secondary shed roof with standing-seam metal cladding, a prominent gambrel-form gable end at the transept, and large stained-glass windows
 - A secondary entrance on Steiner Street with a hooded surround
 - A polygonal apse at the visible north façade
 - A profusion of architectural ornament and detailing on all facades including, but not limited to, raised and recessed panels; thick banding and ribbing, particularly on the corner tower, creating highly textured surfaces; overhanging eaves supported by ornate brackets; pilasters; and a variety of window shapes and sizes
 - Brick landscape walls near the north and east entries
- 2320 Green Street (0538/006), St. Vincent de Paul Church Rectory, constructed in 1902, Shea & Lofquist, architects; altered and expanded in 1948
 - 2- to 3-story height

- A complex building form reflecting the building's phases of construction: the original (1902) two-story stucco-clad building with later alterations that include the third-story flat-roof vertical addition and a two-story horizontal addition with brick cladding at the first story at the front façade
- Arched window openings on the first story of the primary façade
- A pent roof separating the first and second stories
- A bracketed pent roof on the second story of the front addition
- Bracketed eaves separating the second and third floors
- Ornamental window surrounds on the side elevations of the original building volume
- 2350 Green Street (0538/007), the St. Vincent de Paul School Complex
 - Main School Building, constructed in 1924, Shea & Shea, architects
 - Reinforced concrete construction and smooth exterior finish
 - Placement on the site, set back from the street creating an outdoor yard area
 - Entry stairs and doors
 - Large, punched window openings
 - Eight-light windows with some awning style operable sash
 - Pilasters framing the windows
 - Panels with simple diamond motif between the first and second story
 - Inscription reading: "Where Love of God and Country is Taught; Faith and Morals Imbibed, the High Standard of American Education Upheld."
 - Heavy cornice with arched openings below
 - East and west stair towers
 - Site wall along Green Street enclosing the school yard
 - Gymnasium and Classroom Building, constructed in 1948, Minton & Smith, architects
 - Exterior expression of building's dual function as gymnasium and classroom space
 - Smooth stucco cladding
 - Barrel roof of gymnasium and flat roof at classroom wing
 - Exterior decorative brick at entry and at east end of Green Street elevation of classroom wing
 - Large expansive windows at south and east facades of classroom wing
 - Recessed gymnasium entry featuring a profiled surround, brick steps, and glass-block sidelights
 - Patterned grilles over small windows flanking gymnasium main entry
 - Row of windows at upper portion of gymnasium south façade at Green Street with continuous projecting sill
 - Simple scalloped roof parapets

Features within the boundaries of the complex that were not identified as character-defining include: the Kindergarten Classroom Building within the school complex, the surface parking lot at 2810-14 Pierce Street, and the interiors of the school and gymnasium buildings. The interiors of the rectory and church buildings were not evaluated for potential significance. The reader is referred to the 2/6/2020 PTR form for more information.

PART II: Project Determination:

Based on the Historic Resource Evaluation in Part I and the assessment below, the project's scope of work:

- ☐ Will cause a significant impact to the individual historic resource as proposed.
- ☐ Will cause a significant impact to a historic district / context as proposed.
- ☒ Will not cause a significant impact to the individual historic resource as proposed.
- ☐ Will not cause a significant impact to a historic district / context as proposed.

PART II: Project Evaluation

Proposed Project:	Per Drawings Dated:
<input type="checkbox"/> Demolition / New Construction <input checked="" type="checkbox"/> Alteration	09-21-2020; and memo dated 5/14/2020

PROJECT DESCRIPTION

- Replace Lower School east stair with new stair and connector space;
- Replace Middle School's first-story brick wall with a new brick wall featuring a building entry;
- Enclose and create new office space in Middle School first-story parking area;
- Regrade and create a new play area in the Main Courtyard;
- Install a new fence in front of the Main Courtyard;
- Demolish the kindergarten building and create a new play area in the northeast corner of the campus;
- Construct a new elevated playground in the location of the surface parking lot located to the west of the Gymnasium Building.

PROJECT EVALUATION

The proposed project's conformance with the Secretary of the Interior's Standards:					
Standard 1 – Minimal Change:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A	Standard 6 – Repairment:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Standard 2 – Maintain Character:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A	Standard 7 – Treatments:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Standard 3 – Avoid Conjecture:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A	Standard 8 – Archeology:	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
Standard 4 – Acquired Significance:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A	Standard 9 – Compatibility:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Standard 5 – Building Techniques:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A	Standard 10 – Reversibility:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

PROJECT STANDARDS ANALYSIS

Preservation staff has determined that the proposed project at 2350 Green Street meets the Secretary of the Interior's Standards for Rehabilitation (the Standards) and will not result in a significant impact to historic resources. In making this determination, staff notes that the proposal retains the vast majority of the property's character-defining features. Significantly, the project proposes no alterations to the church building, the figurative centerpiece of the complex, or the rectory. All proposed changes will occur on the school campus and at the non-character-defining surface parking lot at the corner of Green and Pierce Streets. In most cases, the proposed changes do not affect the school building's character-defining features. The kindergarten building proposed for removal is not character-defining. The new pavement in the main open play area will hit the main school building below the level of the watercourse in order to preserve the building's architectural base. The infill proposed for the currently open parking area at the first story of the classroom building will be recessed slightly in order to convey the sense that this area was historically open. Elsewhere, character-defining features such as windows, cornices, brackets, and decorative brick elements will be retained. The proposed removal of

the west stair tower of the main school building, the original brick wall on the south elevation of the 1948 classroom building, and the site wall along Green Street do not fully comply with some of the Standards. However, in all cases the proposed replacement features have been determined compatible and appropriate. The replacement stair tower on the main school building will be contemporary in character, but will borrow the window proportions and plaster cladding from the historic school buildings. The stair tower will also match the height of the main school building and will be recessed from the front façade, which will subordinate the new construction to the historic resource. Significantly, the east stair tower is to remain. The proposed replacement wall on the south elevation of the classroom building will feature matching brick and will include an example of the existing wall's distinctive recessed square pattern; the wall will be altered to include a pedestrian entry. Regarding the site wall, staff finds that the existing site wall has deteriorated to the point that it does not contribute significantly to the site's architectural character except insofar as it functions as a wall that encloses the playground and demarcates the border between the sidewalk and the playground. Because the proposed new wall will continue to do that, and because the masonry-and-metal construction and spacing of support posts of the new wall refer to the architectural character of the existing wall, staff finds that its replacement will not affect the resource's historic integrity. The infill of the classroom building's parking area has been detailed to avoid affecting character-defining features: the infill is largely glass, which preserves a sense of openness, and has been recessed slightly to indicate the historic condition. The new elevated playground at the location of the surface parking lot will be simple in construction and design, consisting of a minimal concrete deck supported by piers behind the retained existing site fence, and will also feature a new metal fence enclosing the elevated area. With its one-story height and functional construction, this new feature will not overpower or distract from the adjacent historic gymnasium building. In sum, preservation staff finds that the proposed project will not result in a significant impact to a historic resource as the project will not result in material impairment and the property will still express its significance as an architecturally significant San Francisco church-and-school complex. Preservation staff has also determined that the proposed project will not directly or indirectly impact adjacent and nearby potential and identified historic resources, such as the potential historic resource at 2822 Pierce Street.

PART II: Approval

Signature: Allison Vanderslice

Date: 11/10/20

Allison Vanderslice, *Principal Preservation Planner*
CEQA Cultural Resources Team Manager, Environmental Planning Division

CC: Alana Callagy, Senior Planner
Environmental Planning Division

Mary Woods, Senior Planner
Northwest Team, Current Planning Division



Land Use Information

PROJECT ADDRESS: 2350 GREEN ST
 RECORD NO.: 2018-004686CUA

	EXISTING	PROPOSED	NET NEW
GROSS SQUARE FOOTAGE (GSF)			
Parking GSF	Surface 17,595*	15,235	-2,360
Residential GSF	NA		
Retail/Commercial GSF	NA		
Office GSF	NA		
Industrial/PDR GSF <i>Production, Distribution, & Repair</i>	NA		
Medical GSF	NA		
Visitor GSF	NA		
CIE GSF	NA		
Usable Open Space			
Public Open Space	Main Courtyard – 7,000** North Court – 0 Lower Play Area – 0 Elevated Play Area – 0	Main Courtyard – 6,678 North Court – 818 Lower Play Area – 1,508 Elevated Play Area – 7,665	Main Courtyard – (-322) North Court – 818 Lower Play Area – 1,508 Elevated Play Area – 7,665
Other (Educational)	48,234	52,588	4,354
TOTAL GSF	72,829	84,492	11,663
	EXISTING	NET NEW	TOTALS
PROJECT FEATURES (Units or Amounts)			
Dwelling Units - Affordable	NA		
Dwelling Units - Market Rate	NA		
Dwelling Units - Total	NA		
Hotel Rooms	NA		
Number of Buildings	3 (Lower and Middle School and Science Building)	1***	
Number of Stories	Middle School: 3 Lower School: 2 + Basement	Middle School -3, Lower School – 2+Basement & New Addition - 3	
Parking Spaces	42	35	-7
Loading Spaces	0	0	0
Bicycle Spaces	4 Class 1	4 Class 1	0
Car Share Spaces	0	0	0
Other ()			

	EXISTING	PROPOSED	NET NEW
LAND USE - RESIDENTIAL			
Studio Units	NA		
One Bedroom Units	NA		
Two Bedroom Units	NA		
Three Bedroom (or +) Units	NA		
Group Housing - Rooms	NA		
Group Housing - Beds	NA		
SRO Units	NA		
Micro Units	NA		
Accessory Dwelling Units	NA		

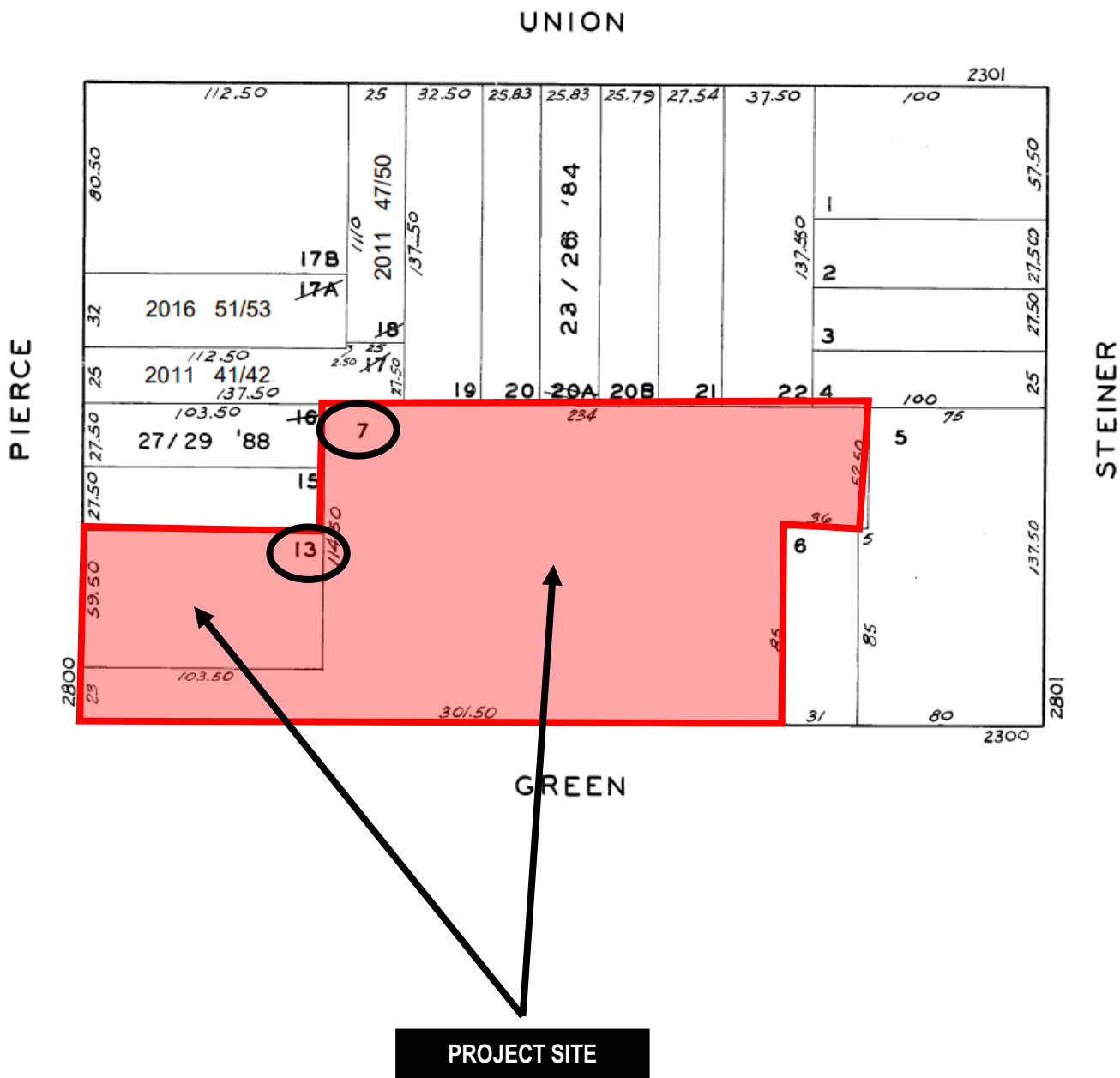
Notes:

** Includes surface parking at corner lot, carport parking under the middle school and the main courtyard*

*** The main courtyard is a play area but doubles as parking during non-school hours*

**** With new addition, this becomes one interconnected building. The Science building will be demolished.*

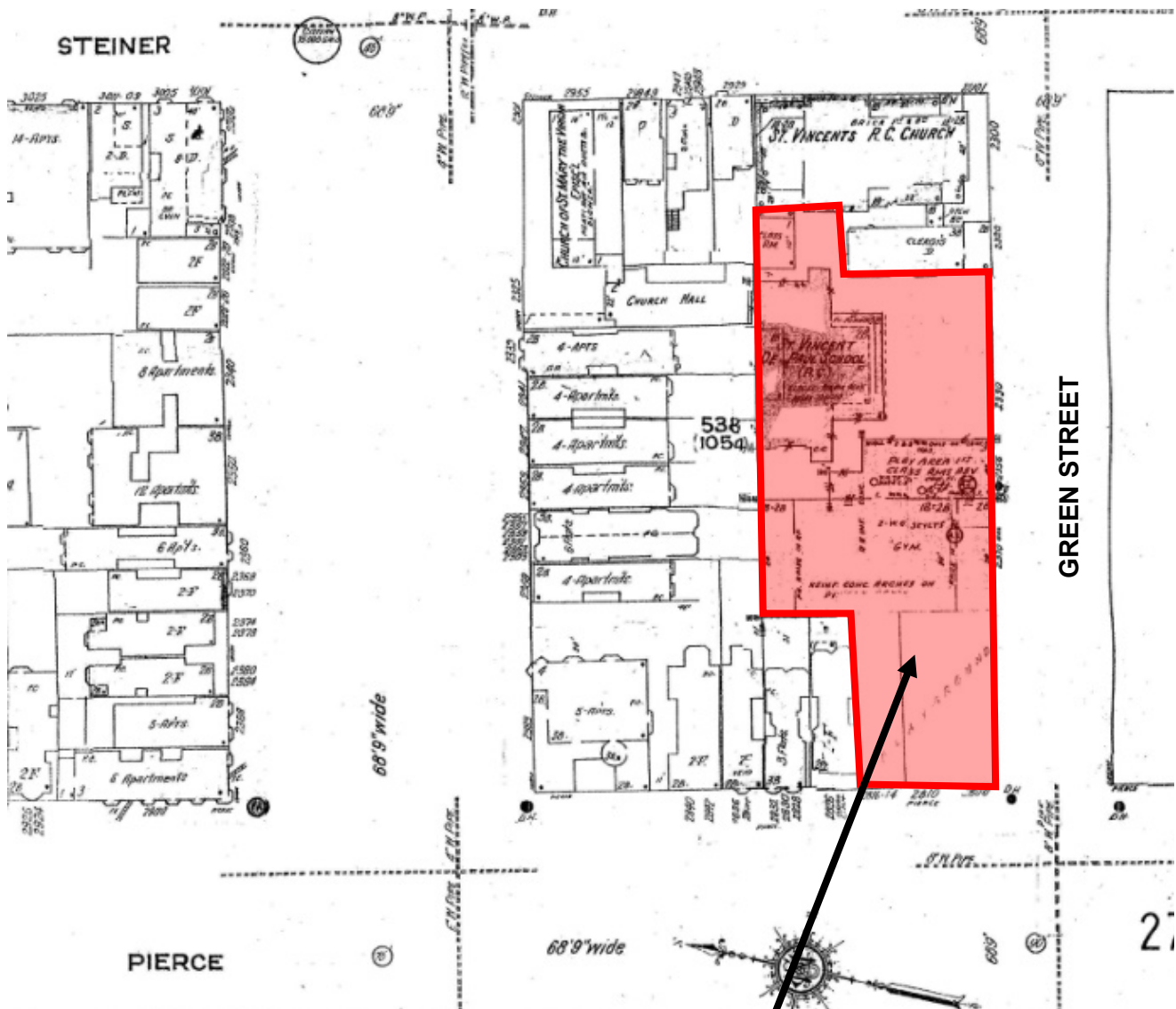
Parcel Map



Conditional Use Hearing
Record Number 2018-004686CUA
Saint Vincent de Paul School
2350 Green Street; Lots 7 & 13

Sanborn Map*

*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



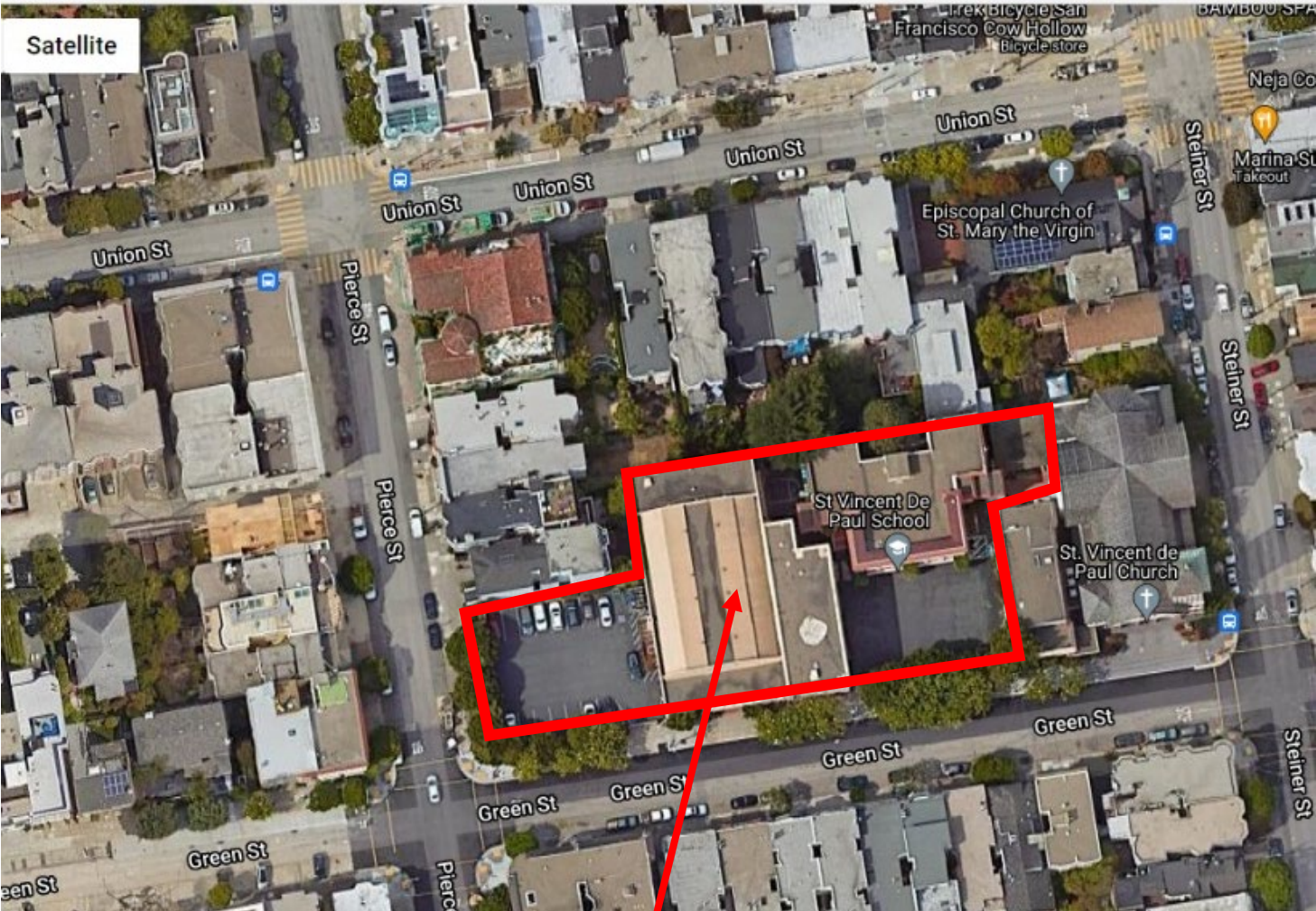
PROJECT SITE



SAN FRANCISCO
PLANNING DEPARTMENT

Conditional Use Hearing
Record Number 2018-004686CUA
Saint Vincent de Paul School
2350 Green Street

Aerial Photo – View 1



PROJECT SITE



Aerial Photo – View 2



Surface Parking Lot

Gymnasium

Middle School
Grades 5-8

Lower School
Grades K-4

Main Courtyard

SVDP Rectory
No Changes Proposed

SVDP Church
No Changes Proposed



Aerial Photo – View 3



New Main Office
Reception/Lobby
Proposed at Front of
Middle School Building

Existing Main Office
Reception/Lobby
92 Feet from Sidewalk
in Lower School Building

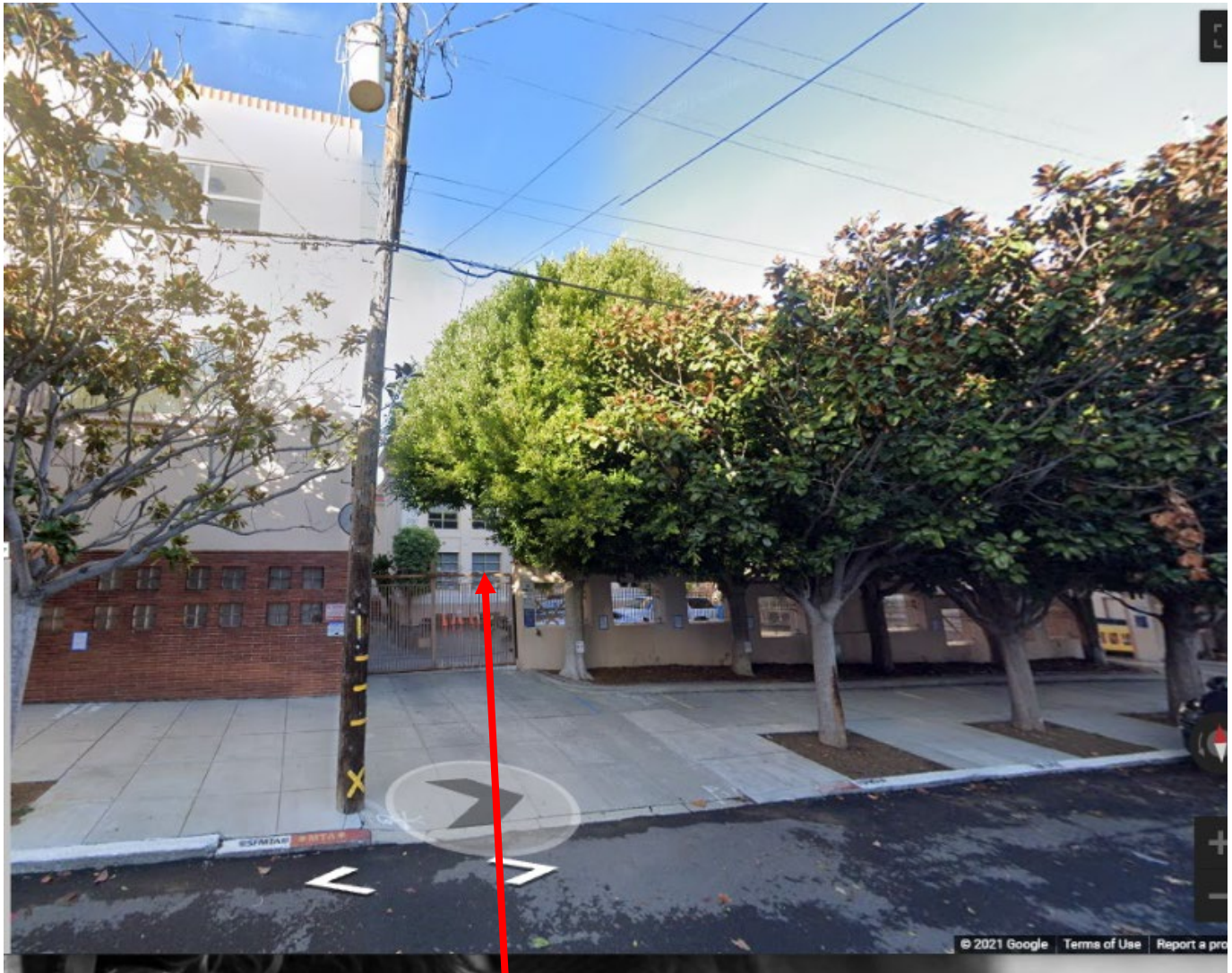
New Elevated Play Area
above the Surface Parking Lot

7-car Carport to be Removed and
Enclosed on Ground Level of the
Middle School Building
for New Main Office Space

Conditional Use Hearing
Record Number 2018-004686CUA
Saint Vincent de Paul School
2350 Green Street

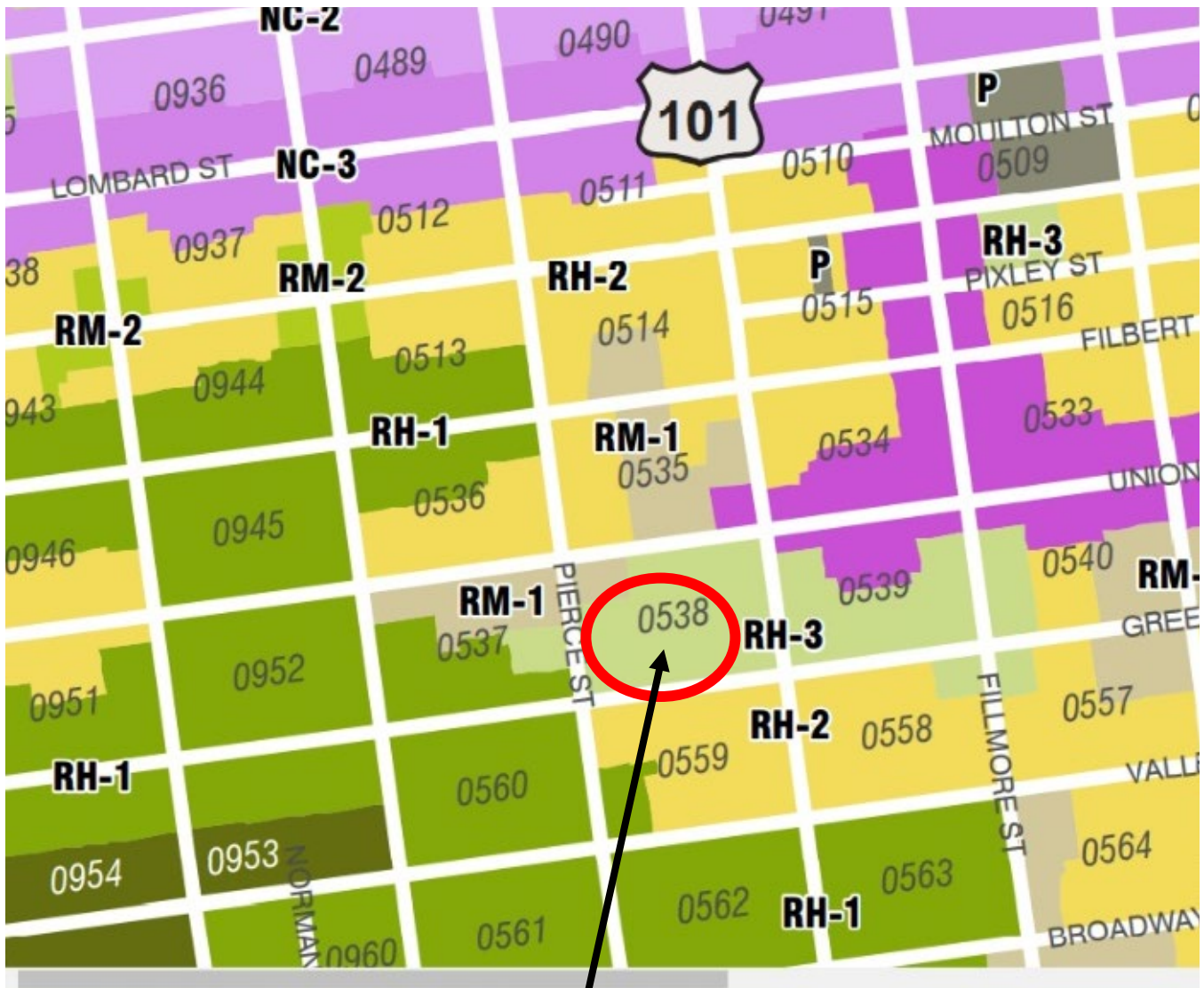


Site Photo



View of School
from Green Street

Zoning Map



PROJECT SITE



Conditional Use Hearing
Record Number 2018-004686CUA
Saint Vincent de Paul School
2350 Green Street, Assessor's Block 0538



AFFIDAVIT FOR FIRST SOURCE HIRING PROGRAM - ADMINISTRATIVE CODE CHAPTER 83

APPLICATION

Project Sponsor's Information

Name:

Email Address:

Address:

Telephone:

Property Information and Related Applications

Project Address:

Block/Lot(s):

Building Permit Application No(s):

Estimated Residential Units:

Estimated SQ FT Commercial Space:

Estimated Height/Floors:

Estimated Construction Cost:

Anticipated Start Date:

FIRST SOURCE HIRING PROGRAM VERIFICATION

CHECK ALL BOXES APPLICABLE TO THIS PROJECT	YES
Project is wholly residential	
Project is wholly commercial	
Project is mixed use	
A: The project consists of ten (10) or more residential units.	
B: The project consists of 25,000 square feet or more of gross commercial floor area/	
C: Neither A nor B apply	

Notes:

- If you checked C, this project is NOT subject to the First Source Hiring Program. Sign Section 4: Declaration of Sponsor of Project and submit to the Planning Department.
- If you checked A or B, your project IS subject to the First Source Hiring Program. Please complete the reverse of this document, sign, and submit to the Planning Department prior to any Planning Commission hearing. If principally permitted, Planning Department approval of the Site Permit is required for all projects subject to Administrative Code Chapter 83.
- For questions, please contact OEWD's CityBuild program at CityBuild@sfgov.org or 415.701.4848. For more information about the First Source Hiring Program visit www.workforcedevelopmentsf.org
- If the project is subject to the First Source Hiring Program, you are required to execute a Memorandum of Understanding (MOU) with OEWD's CityBuild program prior to receiving construction permits from Department of Building Inspection.

FIRST SOURCE HIRING PROGRAM - WORKFORCE PROJECTION

Per Section 83.11 of Administrative Code Chapter 83, it is the developer's responsibility to complete the following information to the best of their knowledge.


Provide the estimated number of employees from each construction trade to be used on the project, indicating how many are entry and/or apprentice level as well as the anticipated wage for these positions.

Check the anticipated trade(s) and provide accompanying information (Select all that apply):

TRADE/CRAFT	ANTICIPATED JOURNEYMAN WAGE	# APPRENTICE POSITIONS	# TOTAL POSITIONS	TRADE/CRAFT	ANTICIPATED JOURNEYMAN WAGE	# APPRENTICE POSITIONS	# TOTAL POSITIONS
Abatement Laborer				Laborer			
Boilermaker				Operating Engineer			
Bricklayer				Painter			
Carpenter				Pile Driver			
Cement Mason				Plasterer			
Drywall/Latherer				Plumber and Pipefitter			
Electrician				Roofer/Water proofer			
Elevator Constructor				Sheet Metal Worker			
Floor Coverer				Sprinkler Fitter			
Glazier				Taper			
Heat & Frost Insulator				Tile Layer/ Finisher			
Ironworker				Other:			
		TOTAL:				TOTAL:	

- | | | |
|--|--------------------------|--------------------------|
| | YES | NO |
| 1. Will the anticipated employee compensation by trade be consistent with area Prevailing Wage? | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Will the awarded contractor(s) participate in an apprenticeship program approved by the State of California's Department of Industrial Relations? | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. Will hiring and retention goals for apprentices be established? | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. What is the estimated number of local residents to be hired? | <hr/> | |

DECLARATION OF SPONSOR OF PRINCIPAL PROJECT

PRINT NAME AND TITLE OF AUTHORIZED REPRESENTATIVE	EMAIL	PHONE NUMBER
<p>I HEREBY DECLARE THAT THE INFORMATION PROVIDED HEREIN IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND THAT I COORDINATED WITH OEWD'S CITYBUILD PROGRAM TO SATISFY THE REQUIREMENTS OF ADMINISTRATIVE CODE CHAPTER 83.</p>		
		
(SIGNATURE OF AUTHORIZED REPRESENTATIVE)		(DATE)
<p>FOR PLANNING DEPARTMENT STAFF ONLY: PLEASE EMAIL AN ELECTRONIC COPY OF THE COMPLETED AFFIDAVIT FOR FIRST SOURCE HIRING PROGRAM TO OEWD'S CITYBUILD PROGRAM AT CITYBUILD@SFGOV.ORG</p>		
<p>Cc: Office of Economic and Workforce Development, CityBuild Address: 1 South Van Ness 5th Floor San Francisco, CA 94103 Phone: 415.701.4848 Website: www.workforcedevelopmentsf.org Email: CityBuild@sfgov.org</p>		