



DISCRETIONARY REVIEW ABBREVIATED ANALYSIS

HEARING DATE: November 4, 2021

Record No.: 2018-003779DRP-02
Project Address: 619 22nd Avenue
Permit Applications: 2018.0315.3729
Zoning: RH-2 [Residential House-Two Family]
40-X Height and Bulk District
Block/Lot: 1622/ 002
Project Sponsor: Roberta Wahl
Plum Architects
936 Clement Street
San Francisco, CA 94118
Staff Contact: David Winslow – (628) 652-7335
david.winslow@sfgov.org

Recommendation: Do Not Take DR and Approve

Project Description

The project proposes to construct a rear horizontal addition at the first and second stories (totaling 266 square feet), and a two-story vertical addition (totaling 1,974 square feet) to create a new second unit to the existing single-family dwelling. The new 3rd floor level will align with the existing building while the new 4th floor will be set back approximately 16 feet from the front property line and 55 feet from the rear property line. Roof decks are also proposed at the rear of the two-story addition.

Site Description and Present Use

The site is a 25' wide x 120' deep slightly lateral sloping key lot containing an existing 2-story, single family home. The existing building is a Category 'C' - No historic resource built in 1922.

Surrounding Properties and Neighborhood

The buildings on this block of 22nd Avenue are predominantly 3-stories with a handful of 2- and 4 story buildings. Due to the depth of existing lots and the configuration of existing surrounding buildings the rear yards combine

to provide generous mid-block open space. The adjacent 3-story corner building to the north occupies almost the entirety of its lot. The adjacent building to the south is 3-stories at the rear.

Building Permit Notification

Type	Required Period	Notification Dates	DR File Date	DR Hearing Date	Filing to Hearing Date
311 Notice	30 days	July 22, 2021– August 23, 2021	August 19, 2021	November 4, 2021	77 days

Hearing Notification

Type	Required Period	Required Notice Date	Actual Notice Date	Actual Period
Posted Notice	20 days	October 16, 2021	October 16, 2021	20 days
Mailed Notice	20 days	October 16, 2021	October 16, 2021	20 days
Online Notice	20 days	October 16, 2021	October 16, 2021	20 days

Public Comment

	Support	Opposed	No Position
Adjacent neighbor(s)	0	0	0
Other neighbors on the block or directly across the street	0	0	0
Neighborhood groups	0	0	0

Environmental Review

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

DR Requestors

1. Adam Schnal, resident of the adjacent property.
2. James Yu of 623 22nd Avenue, resident of the adjacent property to the south of the proposed project.

DR Requestor’s Concerns and Proposed Alternatives

DR requestor #1 is concerned that:

1. The project does not meet the standards of the Planning Code or the Residential Design Guidelines
2. Plum Architects is not licensed in the State of California.
3. The height of the proposed project will make it the tallest building and impact the aesthetics of the neighborhood.
4. An environmental review should have been required.
5. A potential previous construction accident was not considered in the Planning Department’s review of this project.
6. The proposal fails to address parking requirements of increased occupancy.
7. Because of the deficiencies cited above this violates substantive and procedural due process.

Proposed alternatives:

1. Reduce the proposed addition from 2 additional stories plus observation deck to a single additional story.

See attached *Discretionary Review Application*, dated August 19, 2021.

DR requestor #2 is concerned that the proposed project has severe side effects on his physical and mental health because it will block all light and air into his kitchen bedroom and living room:

Proposed alternatives:

1. Modify the design to provide more light air flow and visibility to home.

See attached *Discretionary Review Application*, dated August 19, 2021.

Project Sponsor’s Response to DR Application

The proposed addition meets the Planning Code and Residential Design Guidelines. This is not an exceptional interpretation of the City’s development standards as five of the 12 lots in the immediate area are already 4-stories. The project Sponsor conducted a Pre-Application meeting with residents, along with the 311 notification. The project made several setbacks and matched the neighbor’s lightwell in consideration of the issues raised by neighbors related to light and air. As shadow study indicated modest impacts in the winter months to the 2nd and 3rd floors of 609 22nd Avenue.

See attached Responses to Discretionary Reviews, dated September 30, 2021

Department Review

The Planning Department's review of this proposal confirms support for this project as it conforms to the Code and the Residential Design Guidelines.

Roberta Wahl is a licensed principal architect for Plum Architects. Firms are not required to be licensed, only individuals are.

There are other 4-story buildings on this block with setbacks similar to this one.

An environmental review was conducted and deemed to be a Categorical Exemption - Included in case report packet.

There are no records of previous construction. Whether previous construction was warranted by issuance of permits or not, no complaints until now have been made either for the construction or the demolition of this structure.

Parking is not required by the Planning Code in acknowledgment of the various transportation options people have and the transit-first priority established by the City. However, the garage of this project could accommodate four cars.

The information on the drawings that were sent out for neighborhood notification were complete per the Department's standards.

The Department carefully reviews, considers, and recommends measures to protect light and air to adjacent properties – especially in sensitive situations such as key lot conditions. The articulation and setbacks of the proposed building were prescribed to respond to the adjacent conditions. The 4th Floor is set back 16'-2" from the front building wall, 5'-1" from the north side property line and 4'-1" from the south side. The third-story reciprocates the southern neighbors' light well. The rear wall extends no further than the current existing building, but side spaces are filled in to align with the south neighbor's rear building wall.

The Residential Design Guidelines consider the prevailing height of surrounding buildings as they define a scale at the street and rear yard. In this case because the adjacent corner building is three stories at the street face a three-story building at the street face is acceptable. The fourth story is set back to render it minimally visible.

Therefore, staff deems there are no exceptional or extraordinary circumstances.

Recommendation: Do Not Take DR and Approve

Attachments:

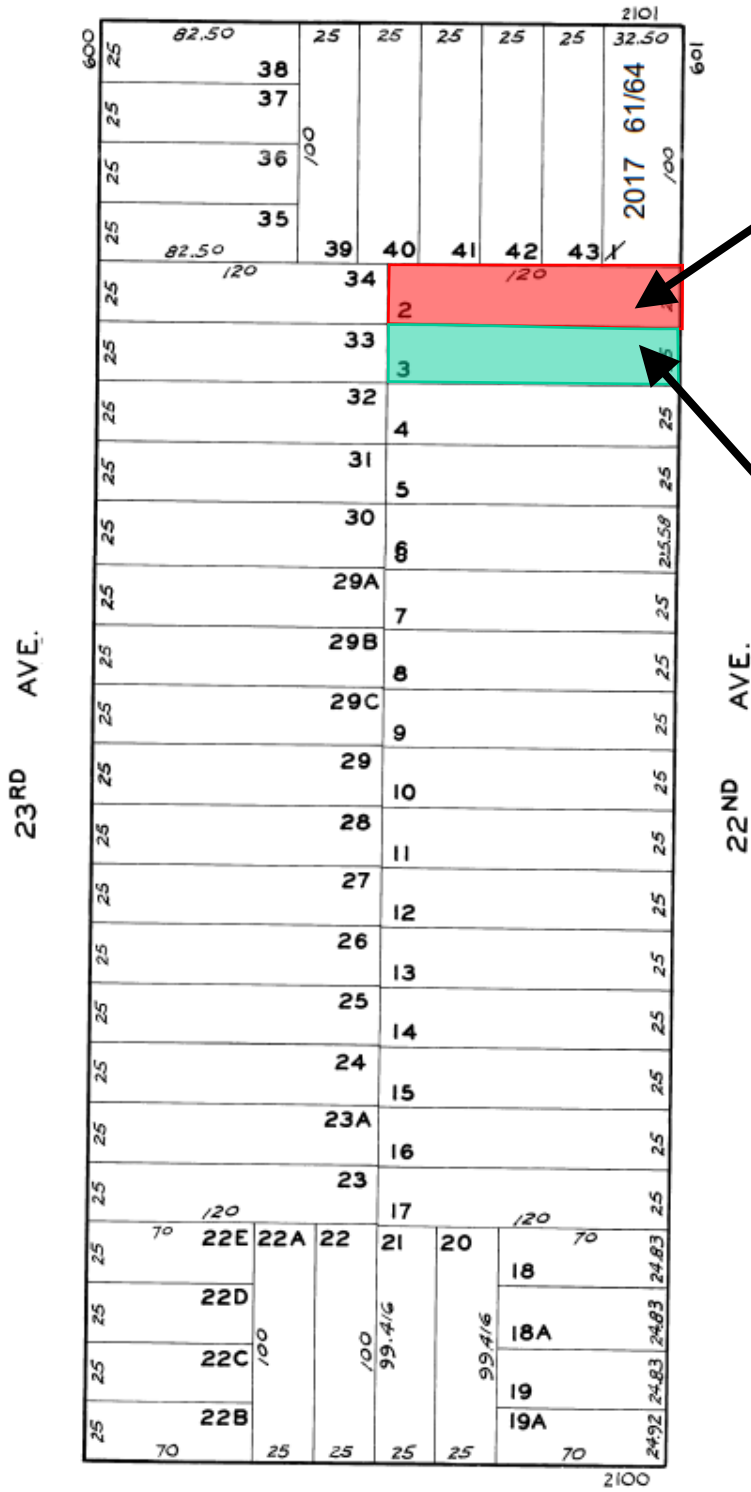
Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Context Photographs
Section 311 Notice
CEQA Determination
DR Applications
Responses to DR Applications, dated September 30, 2021
311 plans

Exhibits

Discretionary Review Hearing
Case Number 2018-003779DRP-02
619 22nd Avenue

Parcel Map

BALBOA



SUBJECT PROPERTY

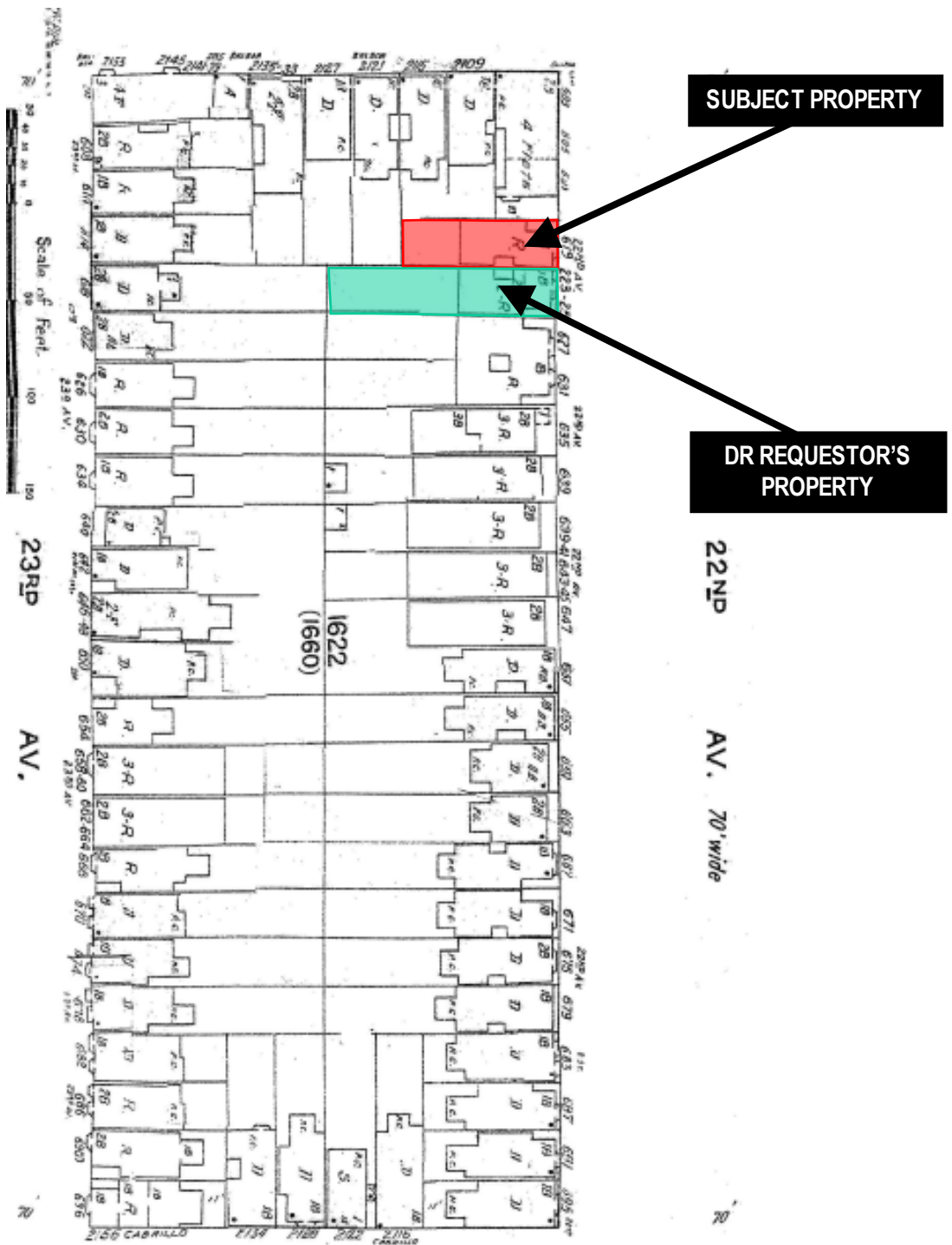
DR REQUESTOR'S PROPERTY

CABRILLO

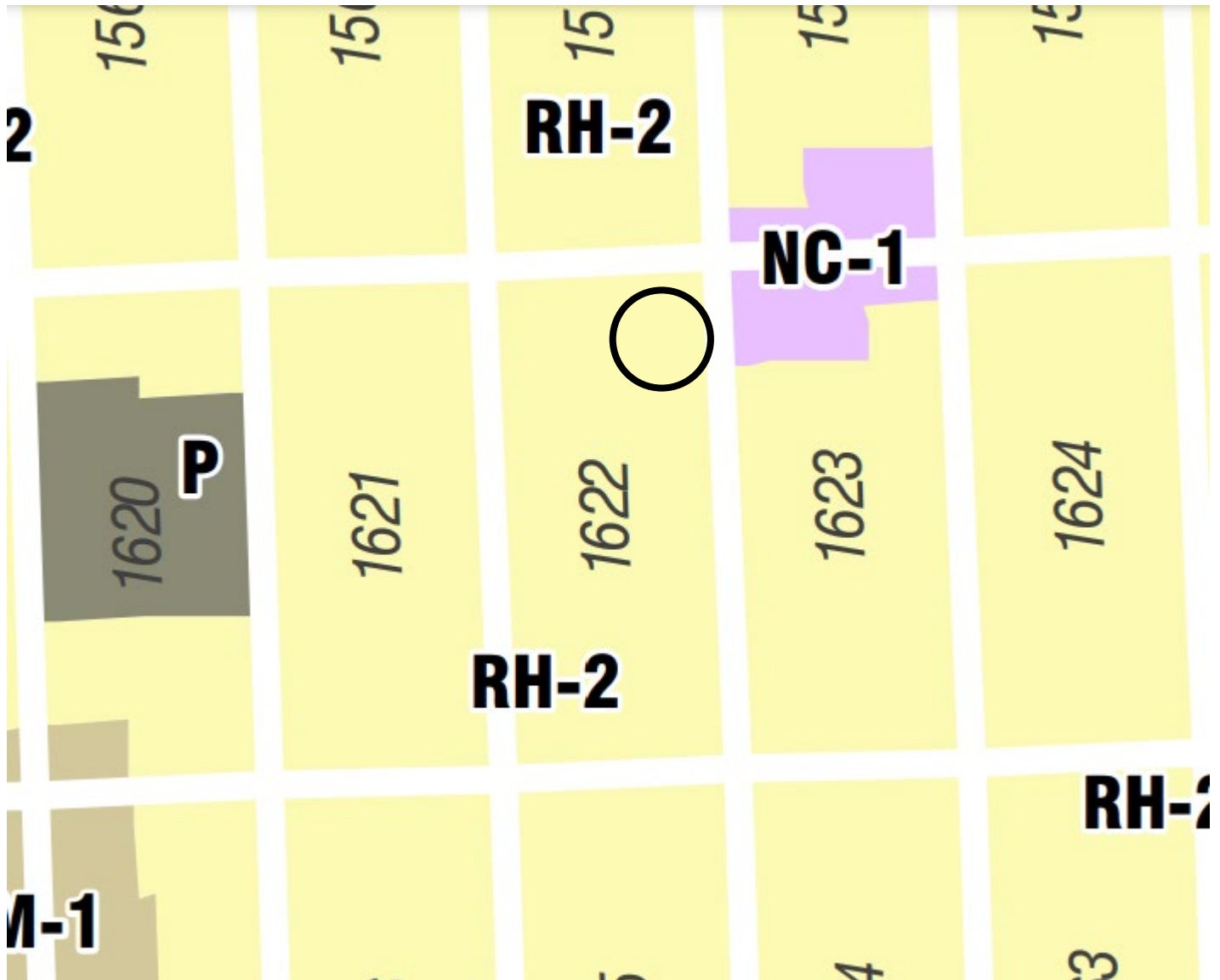


Discretionary Review Hearing
Case Number 2018-003779DRP-02
619 22nd Avenue

Sanborn Map*



Zoning Map



Discretionary Review Hearing
Case Number 2018-003779DRP-02
619 22nd Avenue

Aerial Photo



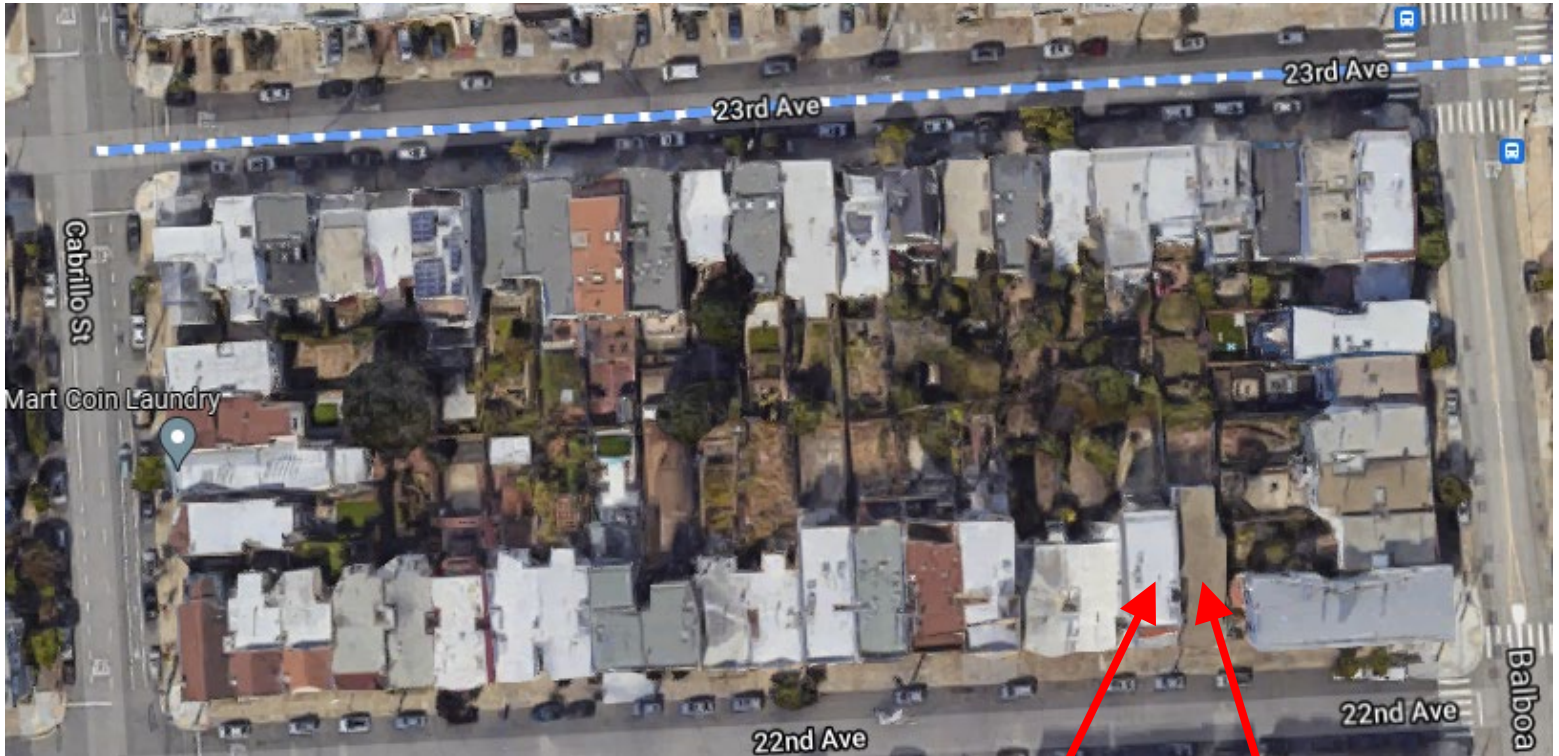
SUBJECT PROPERTY

DR REQUESTOR'S PROPERTY



Discretionary Review Hearing
Case Number 2018-003779DRP-02
619 22nd Avenue

Aerial Photo



DR REQUESTOR'S
PROPERTY

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-003779DRP-02
619 22nd Avenue

Aerial Photo



DR REQUESTOR'S
PROPERTY

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-003779DRP-02
619 22nd Avenue

Aerial Photo

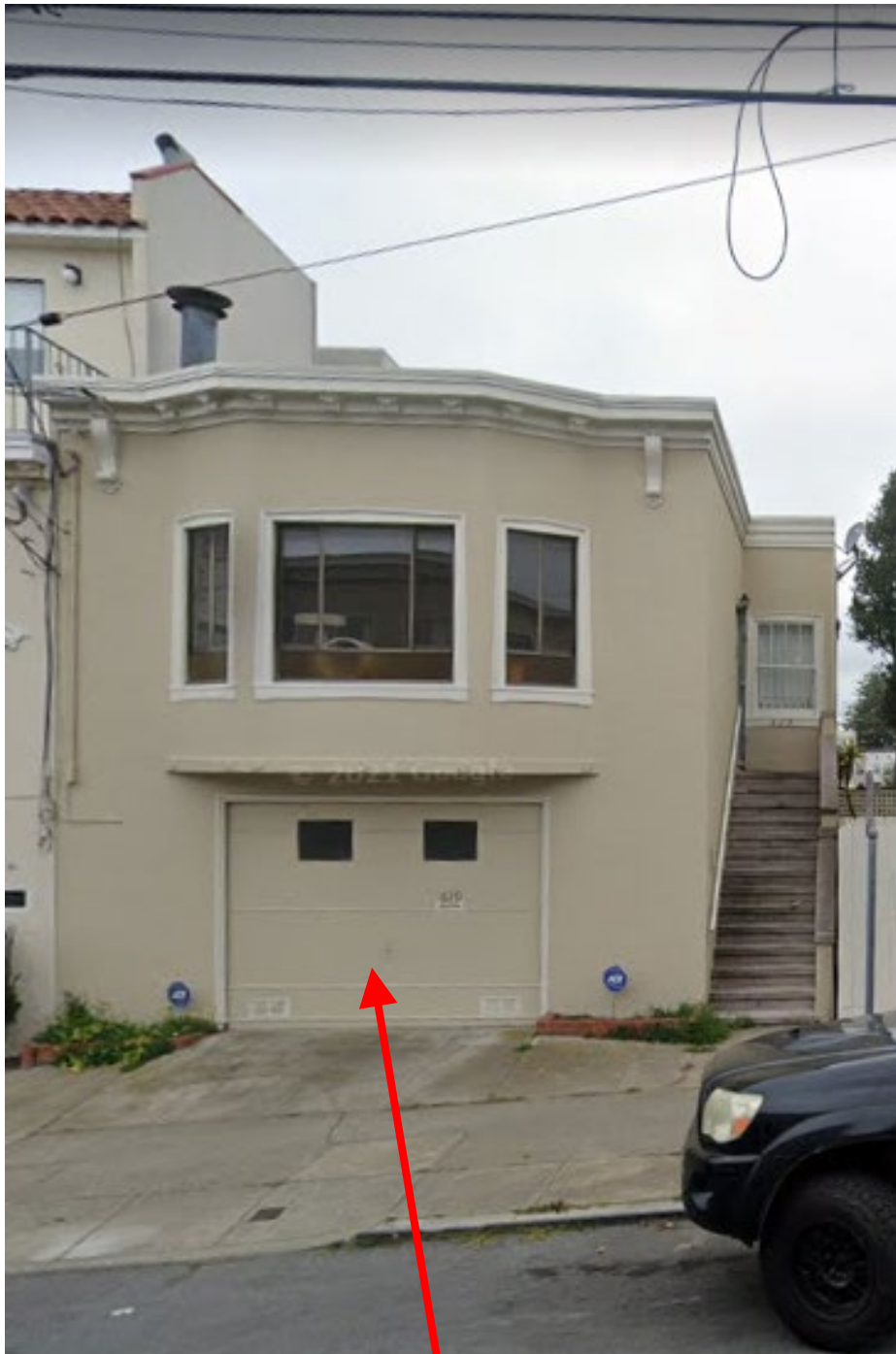


SUBJECT PROPERTY

**DR REQUESTOR'S
PROPERTY**



Site Photo



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2018-003779DRP-02
619 22nd Avenue



NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On 3/15/2018, Building Permit Application No. 201803153729S was filed for work at the Project Address below.

Notice Date: 7/22/21 Expiration Date: 8/23/21

PROJECT INFORMATION

Project Address: **619 22ND AVE**
Cross Streets: **Balboa Ave and Cabrillo St**
Block / Lot No.: 1622 / 002
Zoning District(s): RH-2 / 40-X
Record No.: **2018-003779PRJ**

APPLICANT INFORMATION

Applicant: Keiming Yen c/o Roberta Wahl, Architect
Address: 936 Clement Street
City, State: San Francisco, CA 94118
Telephone: **(415) 837-0900**
Email: roberta@plumarchitects.com

You are receiving this notice as an owner or occupant of property within 150 feet of the proposed project. **You are not required to take any action.** For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request that the Planning Commission review this application at a public hearing for Discretionary Review. Requests for a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown above, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE	PROJECT FEATURES	Existing	Proposed
<input type="checkbox"/> Demolition	Building Use:	Residential	No change
<input type="checkbox"/> Change of Use	Front Setback:	None	No change
<input checked="" type="checkbox"/> Rear Addition	Side Setbacks:	None	No Change
<input type="checkbox"/> New Construction	Building Depth:	74 feet	No change
<input checked="" type="checkbox"/> Façade Alteration(s)	Rear Yard:	46 feet	No change
<input type="checkbox"/> Side Addition	Building Height:	20 feet	40 feet
<input checked="" type="checkbox"/> Alteration	Number of Stories:	2	4
<input type="checkbox"/> Front Addition	Number of Dwelling Units	1	2
<input checked="" type="checkbox"/> Vertical Addition	Number of Parking Spaces	2 tandem	No change

PROJECT DESCRIPTION

The project includes: (1) rear horizontal additions at the first and second stories (totaling 266 square feet), and (2) a two-story vertical addition (totaling 1,974 square feet) to create a new second unit to the existing single family dwelling. The new 3rd floor level will align with the existing building while the new 4th floor will be set back approximately 16 feet from the front property line and 55 feet from the rear property line. Roof decks are also proposed at the rear of the two-story addition.

The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.

To view plans or related documents, visit sfplanning.org/notices and search the Project Address listed above.

For more information, please contact Planning Department staff:

Planner: **Mary Woods** Telephone: **628.652.7350** Email: mary.woods@sfgov.org

General Information About Procedures During COVID-19 Shelter-In-Place Order

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice. If you have general questions about the Planning Department's review process, contact the Planning counter at the Permit Center via email at pic@sfgov.org.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Contact the project Applicant to get more information and to discuss the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects that conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review ("DR"). If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a DR Application prior to the Expiration Date shown on the front of this notice.**

To file a DR Application, you must:

1. Create an account or be an existing registered user through our Public Portal (<https://aca-ccsf.accela.com/ccsf/Default.aspx>).
2. Complete the Discretionary Review PDF application (<https://sfplanning.org/resource/dr-application>) and email the completed PDF application to

CPC.Intake@sfgov.org. You will receive follow-up instructions via email on how to post payment for the DR Application through our Public Portal.

To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you. Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

Board of Appeals

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. The Board of Appeals is accepting appeals via e-mail. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (628) 652-1150.

Environmental Review

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Board of Supervisors at bos.legislation@sfgov.org, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
619 22ND AVE		1622/002
Case No.		Permit No.
2018-003779ENV		201803153729
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
<p>Project description for Planning Department approval.</p> <p>The project is a first and second story rear yard horizontal addition with a third and fourth story vertical unit addition to an existing two story, single family home. The scope will include the addition of a second dwelling unit at the vertical addition including rear yard roof decks for the new unit. The proposed building will be approximately 40 feet tall, 5, 863 square feet and consist of 2 units.</p>		

STEP 1: EXEMPTION CLASS

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Class _____

STEP 2: CEQA IMPACTS
TO BE COMPLETED BY PROJECT PLANNER

<p>If any box is checked below, an <i>Environmental Evaluation Application</i> is required.</p>	
<input type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)</p>
<input type="checkbox"/>	<p>Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i></p>
<input type="checkbox"/>	<p>Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)</p>
<input type="checkbox"/>	<p>Slope = or > 20%: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required.</p>
<input type="checkbox"/>	<p>Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required.</p>
<input type="checkbox"/>	<p>Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required.</p>
<p>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <i>Environmental Evaluation Application</i> is required, unless reviewed by an Environmental Planner.</p>	
<p>Comments and Planner Signature (optional): Laura Lynch</p>	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties (specify or add comments)</i> :
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): <i>(Requires approval by Senior Preservation Planner/Preservation Coordinator)</i>
<input type="checkbox"/>	10. Reclassification of property status. <i>(Requires approval by Senior Preservation Planner/Preservation)</i> <input type="checkbox"/> Reclassify to Category A <input checked="" type="checkbox"/> Reclassify to Category C a. Per HRER dated <i>(attach HRER)</i> b. Other (specify): Reclassify to Category C as per PTR form signed on 4/24/18
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Michelle A Taylor	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either <i>(check all that apply)</i> : <input type="checkbox"/> Step 2 - CEQA Impacts <input type="checkbox"/> Step 5 - Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.	
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Building Permit If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	Signature: Michelle A Taylor 04/24/2018
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.	

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
619 22ND AVE		1622/002
Case No.	Previous Building Permit No.	New Building Permit No.
2018-003779PRJ	201803153729	
Plans Dated	Previous Approval Action	New Approval Action
	Building Permit	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:



SAN FRANCISCO PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW FORM

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Preservation Team Meeting Date:		Date of Form Completion	4/12/2018
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PROJECT INFORMATION:		
Planner:	Address:	
Michelle Taylor	619 22nd Avenue	
Block/Lot:	Cross Streets:	
1622/002	Balboa and Cabrillo Streets	
CEQA Category:	Art. 10/11:	BPA/Case No.:
B	N/A	2018-003779ENV

PURPOSE OF REVIEW:			PROJECT DESCRIPTION:	
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input checked="" type="radio"/> Alteration	<input type="radio"/> Demo/New Construction

DATE OF PLANS UNDER REVIEW:	3/12/2018
------------------------------------	-----------

PROJECT ISSUES:	
<input checked="" type="checkbox"/>	Is the subject Property an eligible historic resource?
<input type="checkbox"/>	If so, are the proposed changes a significant impact?
Additional Notes:	
Supplemental Information Form prepared by Roberta Wahl, PLUM Architects (dated 2/26/2018). Proposed project: First and second story rear yard horizontal addition with a third and fourth story vertical unit addition of Type V-B construction to an existing two story single family home. The scope will include the addition of a second dwelling unit at the vertical addition including rear yard roof decks for the new unit.	

PRESERVATION TEAM REVIEW:				
Category:		<input type="radio"/> A	<input type="radio"/> B	<input checked="" type="radio"/> C
Individual		Historic District/Context		
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:		Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:		
Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 2 -Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 2 -Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Period of Significance:	<input type="text"/>	Period of Significance:	<input type="text"/>	
		<input type="radio"/> Contributor <input type="radio"/> Non-Contributor		

Complies with the Secretary's Standards/Art 10/Art 11:	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
CEQA Material Impairment to the individual historic resource:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
CEQA Material Impairment to the historic district:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Requires Design Revisions:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Defer to Residential Design Team:	<input checked="" type="radio"/> Yes	<input type="radio"/> No	

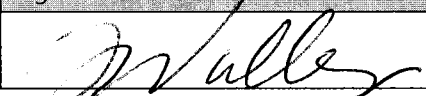
PRESERVATION TEAM COMMENTS:

According to Planning Department records and the Supplemental Information prepared by Roberta Wahl, 619 22nd Avenue is a single family residence constructed in 1922 and located in the Outer Richmond neighborhood. Developer E.A. Janssen constructed the subject building along with the three neighboring buildings to the south of similar style and design. Research suggests that E.A. Janssen can be credited with a few small clusters of modest housing in the Richmond District in the 1910's and 1920's.

619 22nd Avenue is a one-story over garage building clad in smooth stucco and features a flat roof with a projecting cornice supported by decorative brackets. A wide three sided angled bay dominates the upper level of the primary (east) elevation. The bay features a large tripartite metal-frame window over fixed yellow tinted glazing at center and single openings with two-light, metal-frame sliders over fixed yellow tinted glazing on each side. The garage is located at center of the ground floor and includes a non-original garage door with two small viewing windows. A set of terrazzo stairs on the north side of the building provide access to the primary entrance and a small landing adjacent to a wood-frame four-over-one double hung window. According to the permit history, the subject building has undergone some exterior alterations including a rear sunporch addition (1929), enlargement of rear sunporch (1964), installation of railing at front stairs (1966), construction of rear addition (1969), replacement of original garage door (date unknown), and replacement of original windows with metal frame windows (date unknown).

The subject building is not eligible for individual listing in the California Register of Historical Resources under Criterion 1 (events), 2 (persons), 3 (architecture), or 4 (information potential). According to the information provided, the subject property is not associated with events found to be sufficiently important to be significant under Criterion 1. No person associated with the building is significant to history and therefore the property does not appear significant under Criterion 2. Architecturally, the building features a simple design that has undergone several alterations since construction. Additionally, the subject building is not associated with a master architect or builder and therefore it is not eligible for listing under criterion 3. The subject building is not significant under Criterion 4, since the significance criteria typically applies to rare construction types when involving the built environment. The subject building is not an example of a rare construction type.

(continued)

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
	4/24/18

**619 22nd Avenue, San Francisco
Preservation Team Review Form, Comments**

(continued)

The subject building is not located adjacent to any known historic resources (Category A properties) and does not appear to be located in a potential historic district. The building stock on this portion of 22nd Avenue includes a range of residential building styles built from c.1915 to c.1989. 619 22nd Avenue and the neighboring building stock do not possess sufficient architectural, historical significance or cohesion to identify as a historic district.



619 22nd Avenue (Image: Google Maps)



DISCRETIONARY REVIEW PUBLIC (DRP) APPLICATION

Discretionary Review Requestor's Information

Name: ADAM SCHNAL

Email Address: ADAMSCHNALG@YAHOO.COM

Address: _____ Telephone: _____

Please Select Billing Contact: Applicant Other (see below for details)

Name: ADAM SCHNAL Email: ADAMSCHNALG@YAHOO.COM Phone: _____

Information on the Owner of the Property Being Developed

Name: KEIMING YEN

Company/Organization: _____

619 22ND AVE Email Address: ROBERTA@PLUMARCHITECTS.COM

Address: SAN FRANCISCO, CA 94121 Telephone: _____

Property Information and Related Applications

Project Address: 619 22ND AVE SAN FRANCISCO CA 94121

Block/Lot(s): 1622/002

Building Permit Application No(s): 201803153729 / 2018-003779PRJ

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?	X	
Did you discuss the project with the Planning Department permit review planner?		X
Did you participate in outside mediation on this case? (including Community Boards)		X

Changes Made to the Project as a Result of Mediation.

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes that were made to the proposed project.

NONE

DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

THE PROJECT DOES NOT MEET THE STANDARD OF THE PLANNING CODE AND RESIDENTIAL DESIGN GUIDELINES, OR OTHER REQUIREMENTS, AND HAS A SIGNIFICANT ENVIRONMENTAL IMPACT - SEE ATTACHED

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

SEE ATTACHED

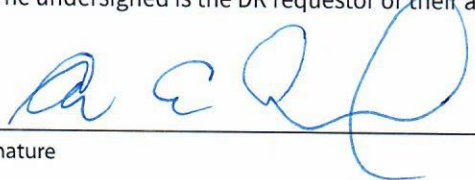
3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

REDUCE PROJECT FROM TWO ADDITIONAL STORIES PLUS AN OBSERVATION DECK TO A SINGLE ADDITIONAL STORY OF STANDARD HEIGHT.

DISCRETIONARY REVIEW REQUESTOR'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

a) The undersigned is the DR requestor or their authorized representation.



Signature

ADAM SCHNAL

Name (Printed)

REQUESTOR

Relationship to Requestor
(i.e. Attorney, Architect, etc.)

Phone

ADAMSCHNALG@YAHOO.COM

Email

For Department Use Only
Application received by Planning Department:

By: _____

Date: _____

DR Applicant is a neighbor within 150 feet of the proposed project. DR Applicant is immediately adjacent to the project. DR Applicant contests the project application and additionally requests a DR on the following basis.

These concerns can be partially mitigated by limiting the permit approval to a single additional story of standard height (total building height of 3 stories). DR Applicant wants the building owners to be able to enjoy their property, but not at the expense of everyone else in the Richmond District.

Residents already held discussions with the building owners representative to express their concerns (approx. summer of 2018), but none of those concerns appear to have been addressed.

DR Applicant hereby incorporates all prior filings and records related to the application and subject property into this document, as well as similar prior projects within a 3 block radius.

1. The California Board of Architects indicates that Plum Architects are not licensed in the State of California.

The building owner submitted architectural plans from PLUM Architects (project team), with a stamp from Roberta Ann Wahl. A records search of the California Architect's Board, through DCA <https://search.dca.ca.gov/>, indicates that PLUM Architects are not licensed with the California Board of Architects, although Robert A Wahl (license C 28322) is a licensed architect. DR Applicant assumes this could be a clerical error (eg, "Plum Architects" needing to be added to the licensing information at the Board), but should be clarified.

2. The height of the resulting property would be one of the tallest 2 unit residential buildings in the Richmond District. Since the property is located near the top of one of the tallest hills in the Central Richmond District, the total elevation must be considered. Correct total elevation information appears to be missing from the application.

A visual survey of the neighborhood immediately surrounding the project indicates that the resulting structure would be one of the tallest residential or commercial structures in the immediate neighborhood, and one of the tallest 2 unit residential structures (if not the tallest). Since the structure also is situated near the top of one of the tallest hills in the Central Richmond District, the resulting structure would dwarf almost every other structure. Correct total elevation information (building height plus land elevation) does not appear in the submitted plans and may not have been considered.

Additionally, the total elevation of the building and observation tower will have significant impact on the aesthetics of the neighborhood and visual skyline, regardless of permitted building heights due to disparate building heights. SF Planning would be treating similarly situated building owners in a disparate manner without material cause.

- 3. An environmental review should have been required. SF Planning is not only approving the current 4 story observation tower in the middle of a residential district but SF Planning will be legally required to approve all similar future applications that follow.**

If the permit is finally approved, SF Planning will be required to treat all other building owners similarly and approve the new height and elevation standards for the Richmond District. This will have significant environmental impact for the entire neighborhood. SF Planning should not review such permit applications on the basis of a single permit application, but rather the impact of the resulting building growth, as owners in the entire neighborhood realize they can build observations decks with views that rival the de Young Museum's Hamon Observation Tower. The resulting cumulative building growth also will impact the overall density of this 100 year old+ neighborhood and should be *thoughtfully planned*, not haphazardly patched together.

- 4. Did the property sustain a previous construction accident resulting from the same project in approximately 2018? If so, how does that affect the current project?**

In approximately 2017 or 2018, did the subject property experience a construction accident related to the same project? Over a period of many hours, significant amounts of water and apparent construction debris, including sand and apparent liquid concrete, flowed unabated from the home. The flows were heavy enough to deposit debris at the corner of 22nd Avenue and Cabrillo, which is completely down the street.

During this same approximate period, DR Applicant felt vibration of the walls and windows of their own residence (which is not attached to the subject property) and noise from the subject property, consistent with heavy construction equipment, and the neighbors immediately adjacent to the subject property also reported similar noise and vibration. However, construction equipment was not observed at that time.

If so, how does that event affect the current project? Was this considered by SF Planning?

- 5. The plans submitted fail to address additional parking requirements of increased occupancy in a highly congested neighborhood.**

The building owners seek to double the occupancy of their building without adding a single parking space. The neighborhood is already 100% saturated in terms of parked vehicles, and the City & County further reduced parking on the street in approximately 2018 to facilitate pedestrian safety improvements. How will additional parking spaces be addressed to facilitate the added occupancy?

- 6. The permit application process violates substantive and procedural due process of the neighbors within 150 feet, as well as all San Francisco residents impacted by the project, because of the missing information regarding prior construction (if any) and total elevation, and missing information regarding environmental impact. Additionally, DR Applicant never received prior notice to provide input on the application prior to receiving the present notice (which DR Applicant is informed by the SF Planning Dept requires a DR Application).**

The permit application process violates substantive and procedural due process of the neighbors within 150 feet as well as all San Francisco residents or groups impacted by the project because of the missing information regarding prior construction (if any) and total elevation, as well as missing information regarding environmental impact. Concerned parties cannot meaningfully respond to the permitting process when relevant material information is missing from an application.

Additionally, DR Applicant never received prior notice to provide input on the application prior to receiving the present notice (which DR Applicant is informed by the SF Planning Dept requires a DR Application). Input should have been solicited from the impacted residents by SF Planning prior to imposition of discretionary review, which would have afforded residents a lower standard of review.



DISCRETIONARY REVIEW PUBLIC (DRP)

APPLICATION PACKET

Pursuant to Planning Code Section 311, the Planning Commission may exercise its power of Discretionary Review over a building permit application.

For questions, you can call the Planning counter at 628.652.7300 or email pic@sfgov.org where planners are able to assist you.

Please read the Discretionary Review Informational Packet carefully before the application form is completed.

WHAT TO SUBMIT:

- Two (2) complete applications signed.
- A Letter of Authorization from the DR requestor giving you permission to communicate with the Planning Department on their behalf, if applicable.
- Photographs or plans that illustrate your concerns.
- Related covenants or deed restrictions (if any).
- A digital copy (CD or USB drive) of the above materials (optional).
- Payment via check, money order or debit/credit for the total fee amount for this application. (See Fee Schedule).

HOW TO SUBMIT:

To file your Discretionary Review Public application, please email the completed application to cpc.intake@sfgov.org.

Español: Si desea ayuda sobre cómo llenar esta solicitud en español, por favor llame al 628.652.7550. Tenga en cuenta que el Departamento de Planificación requerirá al menos un día hábil para responder.

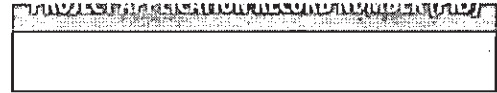
中文: 如果您希望獲得使用中文填寫這份申請表的幫助, 請致電628.652.7550。請注意, 規劃部門需要至少一個工作日來回應。

Filipino: Kung gusto mo ng tulong sa pagkumpleto ng application na ito sa Filipino, paki tawagan ang 628.652.7550. Paki tandaan na mangangailangan ang Planning Department ng hindi kukulangin sa isang araw na pantrabaho para makasagot.

RECEIVED

AUG 19 2021

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
PIC



DISCRETIONARY REVIEW PUBLIC (DRP) APPLICATION

Discretionary Review Requestor's Information

Name: James Yu

Address: 623 22nd Ave S.F. Ca 94121

Email Address: jimbo16894121@gmail.com

Telephone: 415-627-7788

Please Select Billing Contact: Applicant Other (see below for details)

Name: Same as above

Email:

Phone:

Information on the Owner of the Property Being Developed

Name: Keiming Yen c/o Roberta Wahl, Architect

Company/Organization: Keiming Yen c/o Roberta Wahl, Architect

Address: 936 Clement St S.F. Ca 94118

Email Address: roberta@plumarchitects.com

Telephone: 415-837-0900

Property Information and Related Applications

Project Address: 619 22nd Ave S.F. Ca 94121

Block/Lot(s): 1622 / 002

Building Permit Application No(s): 201803153729S

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Changes Made to the Project as a Result of Mediation.

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes that were made to the proposed project.

We neighbors had 1 discussing with their architect (Ms. Roberta Wahl) without any result nor the architect ever get back to us per request (2 years without any reply)!

Ms. Woods (S.F. City Planning) tried to help by reaching out thru email; however only reply with 1 email without any further discussion!

No changes or what so ever!

DISCRETIONARY REVIEW REQUEST

In the space below and on seperate paper, if necessary, please present facts sufficient to answer each question.

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Modification from its original design to meet reasonable accommodations!
Its design had severe side effects on my health, mental issues!

-
2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

Based on the original design. It will cut off all lighting , air flow into my home (Bed room, kitchen, living room, 4th story tall building); in that it will cause health issues of my vision (No lights), breathing space (Air flow), mental health (Almost like prison environment)!

-
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Under penalty of perjury the following declarations are made:

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Signature

James Yu

Aug 19, 2021

Name (Printed)

jimbo16894121@gmail.com

Email

Relationship to Requestor
(i.e. Attorney, Architect, etc.)

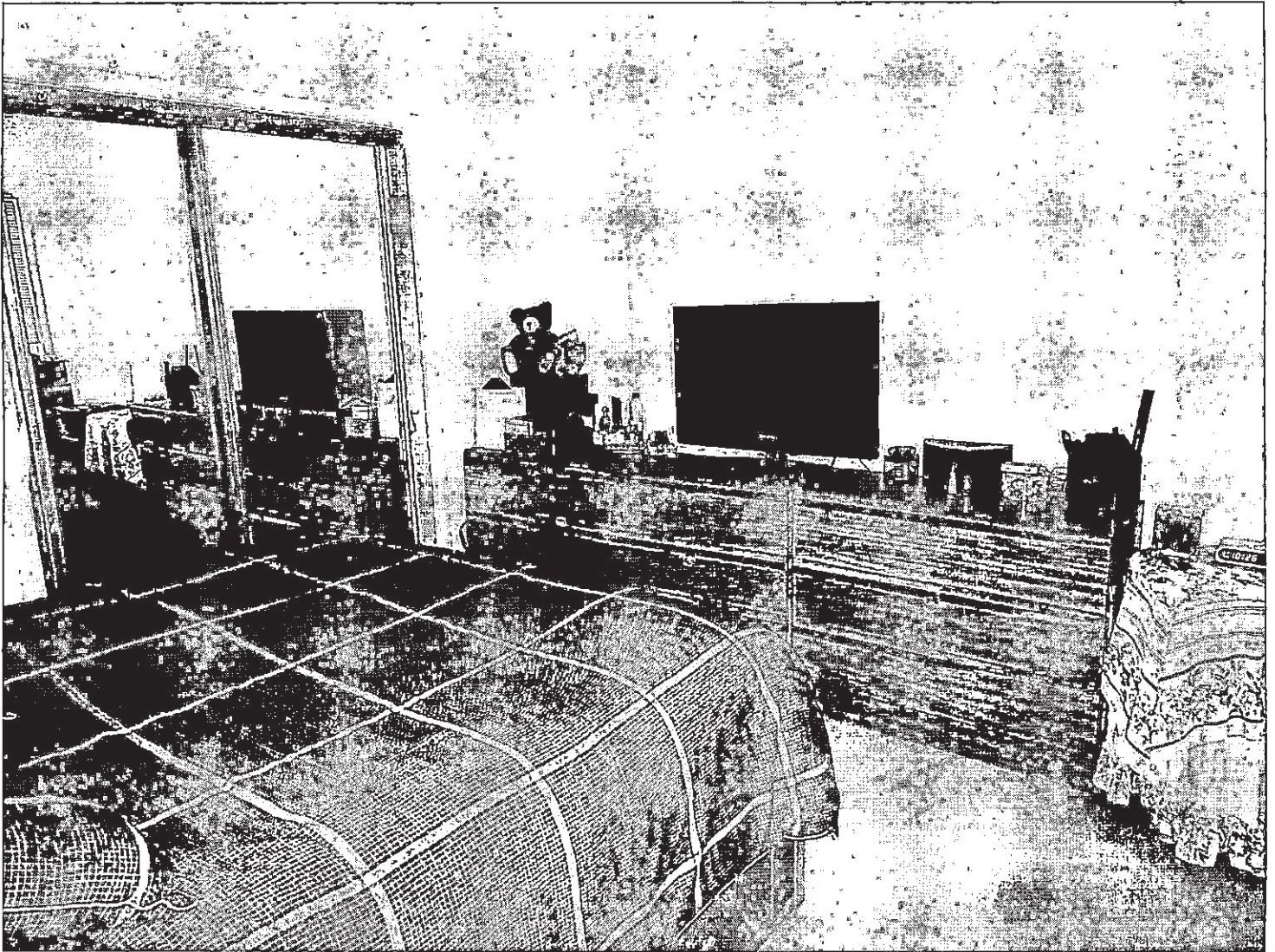
Phone

For Department Use Only

Application received by Planning Department:

By: _____

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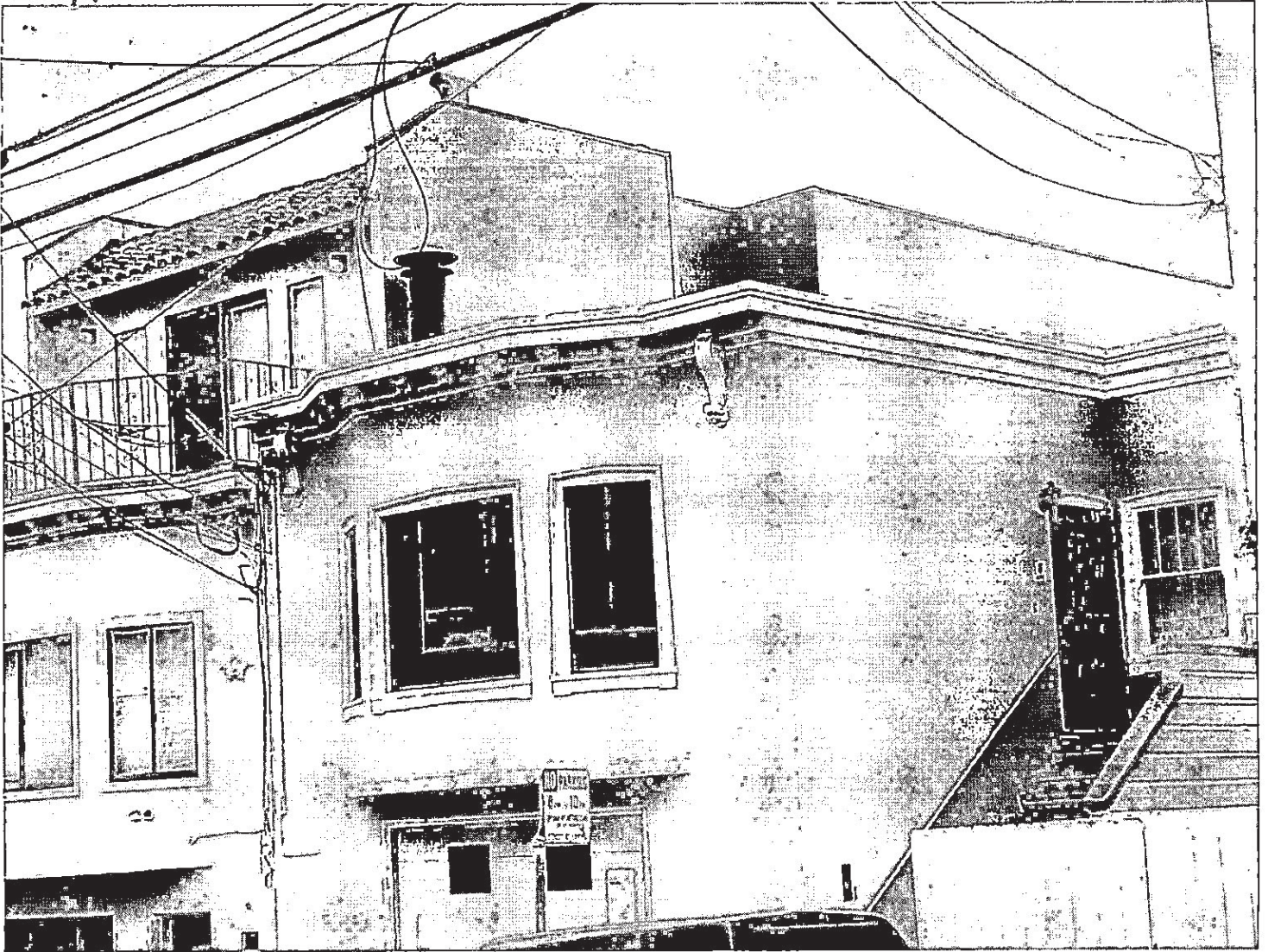














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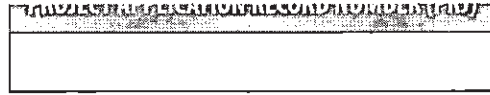
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San Francisco Planning



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Aug 19, 2021

Name (Printed)

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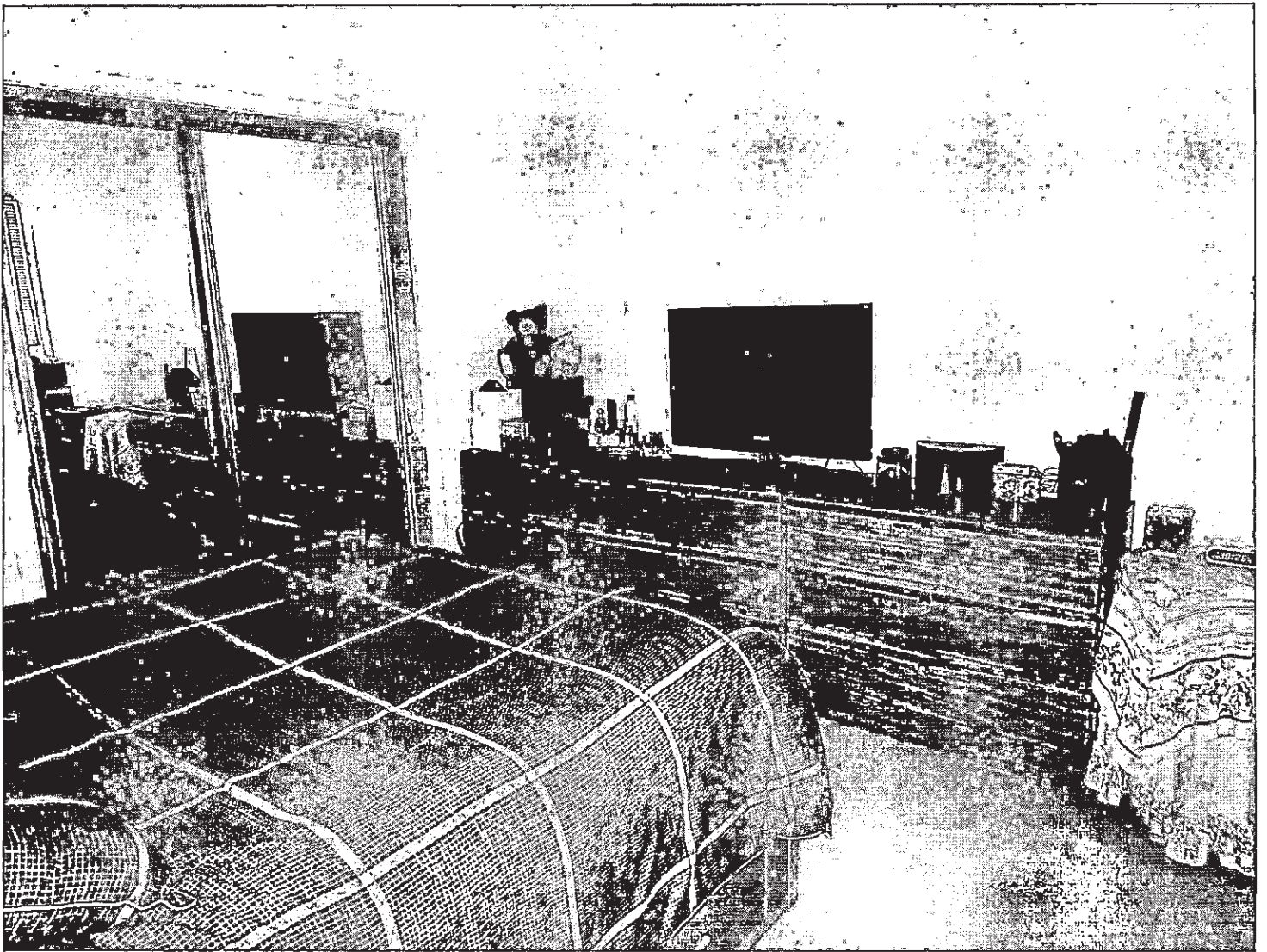
Phone

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____
















September 30, 2021

David Winslow
Principal Architect
Design Review | Citywide and Current Planning
San Francisco Planning Department
49 South Van Ness, Suite 1400 | San Francisco, California, 94103

RE: Discretionary Review #1252588 - Project Sponsor Response for 619 22nd Avenue -
Building Permit Application # 2020.0810.1497
Discretionary Review Applicant: Mr. Schnal (no address listed)

Dear, Mr. Winslow,

Attached to the end of this Discretionary Review Project Sponsor Response letter is the pre-app package with mailing info. Mr. Schnal is not on the list however, here pasted below is what we found on the assessors record for Adam Schnal. Brunner Stanton was at our pre-app and his address is 605 22nd, so the corner unit directly adjacent to the north. Mr. Stanton was copied on all pre-app meeting discussion including the light study. Mr. Schnal identified that he had contacted the project applicant prior on his DR application however, we do not have correspondence from Mr. Schnal.

Document Number	Document Date	Title(s)	Names		
2017545850	12/6/2017	LIFETIME LEASE	(R) BRUNNER STANTON (E) DAVIS ROBIN		
2015174314	12/18/2015	OFFER LIFETIME LEASE	(R) BRUNNER STANTON P (E) SCHNAL ADAM		

DR Applicant contests the project application and additionally requests a DR on the following basis here described item by item on the DR application with the project sponsor (Plum Architects Inc.) response.

- 1) What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that Justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

DR APPLICANT REASON: The project does not meet the standard of the Planning Code and Residential Design Guidelines or other requirements, and has a significant environmental impact – see attached. (here pasted and incorporated into this document in bold)

These concerns can be partially mitigated by limiting the permit approval to a single additional story of standard height (total building height of 3 stories). DR Applicant wants the building owners to be able to enjoy their property, but not at the expense of everyone else in the Richmond District.

Residents already held discussions with the building owners representative to express their concerns (approx. summer of 2018), but none of those concerns appear to have been addressed.

DR Applicant hereby incorporates all prior filings and records related to the application and subject property into this document, as well as similar prior projects within a 3 block radius.

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Response: Roberta Wahl is the Principal and Owner of PLUM Architects, Inc, and has maintained good standing as a fully licensed practitioner with the California Architects Board since 2000 per the Board's [online records](#).

2. The height of the resulting property would be one of the tallest 2 unit residential buildings in the Richmond District. Since the property is located near the top of one of the tallest hills in the Central Richmond District, the total elevation must be considered. Correct total elevation information appears to be missing from the application.

A visual survey of the neighborhood immediately surrounding the project indicates that the resulting structure would be one of the tallest residential or commercial structures in the immediate neighborhood, and one of the tallest 2 unit residential structures (if not the tallest). Since the structure also is situated near the top of one of the tallest hills in the Central Richmond District, the resulting structure would dwarf almost every other structure. Correct total elevation information (building height plus land elevation) does not appear in the submitted plans and may not have been considered.

Additionally, the total elevation of the building and observation tower will have significant impact on the aesthetics of the neighborhood and visual skyline, regardless of permitted building heights due to disparate building heights. SF Planning would be treating similarly situated building owners in a disparate manner without material cause.

Response: The Planning Department does not require applicants to demonstrate total elevation, only relative elevation to local grade at the curb. Per SF Planning Code Section 260(a)(1)(B), this is measured at the centerline of the building from the top of the curb at the street to the highest point of a finished flat roof. This particular property is subject to 40-X height restrictions, and the project proposal complies with this 40' maximum limit, as well as incorporates SF Planning's Residential Design Guidelines on reducing building scale by providing setbacks at the fourth story. This proposal does not represent an exceptional interpretation of the City's developmental standards for this area, as approximately five of the twelve lots within the same block are of

similar height with four stories already. (631 22nd, 641 22nd, 2155 Balboa, 662-664 23rd and 676 23rd)

3. An environmental review should have been required. SF Planning is not only approving the current 4 story observation tower in the middle of a residential district but SF Planning will be legally required to approve all similar future applications that follow.

If the permit is finally approved, SF Planning will be required to treat all other building owners similarly and approve the new height and elevation standards for the Richmond District. This will have significant environmental impact for the entire neighborhood. SF Planning should not review such permit applications on the basis of a single permit application, but rather the impact of the resulting building growth, as owners in the entire neighborhood realize they can build observations decks with views that rival the de Young Museum's Hamon Observation Tower. The resulting cumulative building growth also will impact the overall density of this 100 year old+ neighborhood and should be thoughtfully planned, not haphazardly patched together.

Response: The DR Applicant's grievance here appears directed not at the project sponsor but rather at the Planning Department's long-established developmental guidelines for properties in RH-2 Districts. The project sponsor has made use of these developmental guidelines to not only increase the housing stock in a desirable area of the City's residential neighborhoods, but has also proposed improvements that explicitly avoid maximizing the buildable areas at the third and fourth stories. These guidelines encourage moderate development that allow the City to accommodate the growing housing needs of the area while mitigating impact on lower density neighborhoods.

PLUM Architects provided Environmental and Historic Resource assessments, supplemental documentation, sun studies and 3D renderings of the project in the fully Planning Submittal to demonstrate the potential impact of the proposed project on adjacent properties and its visual character from the street. The City does not require applicants make these documents available to the general public and found the proposal in keeping with the City's guidelines and requirements.

4. Did the property sustain a previous construction accident resulting from the same project in approximately 2018? If so, how does that affect the current project?

In approximately 2017 or 2018, did the subject property experience a construction accident related to the same project? Over a period of many hours, significant amounts of water and apparent construction debris, including sand and apparent liquid concrete, flowed unabated from the home. The flows were heavy enough to deposit debris at the corner of 22nd Avenue and Cabrillo, which is completely down the street.

During this same approximate period, DR Applicant felt vibration of the walls and windows of their own residence (which is not attached to the subject property) and noise from the subject property, consistent with heavy construction equipment, and the neighbors immediately adjacent to the subject property also reported similar noise and vibration. However, construction equipment was not observed at that time.

If so, how does that event affect the current project? Was this considered by SF Planning?

Response: PLUM Architects has no knowledge of any code enforcement issues or violations related to this property and provided a full permit history to the Planning Department with the initial submittal.

5. The plans submitted fail to address additional parking requirements of increased occupancy in a highly congested neighborhood.

The building owners seek to double the occupancy of their building without adding a single parking space. The neighborhood is already 100% saturated in terms of parked vehicles, and the City & County further reduced parking on the street in approximately 2018 to facilitate pedestrian safety improvements. How will additional parking spaces be addressed to facilitate the added occupancy?

Response: The Planning Department does not require applicants to provide off-street parking spaces for dwelling units in RH Districts, but permits up to 1.5 spaces per dwelling unit per San Francisco Planning Code Section 151. This project provides at least (2) tandem parking spaces at the ground story, as well as (2) bicycle parking spaces per the City's requirements (Sec. 155.2(a)(2)) and initiatives to reduce car traffic and vehicle pollution in transit-accessible neighborhoods.

6. The permit application process violates substantive and procedural due process of the neighbors within 150 feet, as well as all San Francisco residents impacted by the project, because of the missing information regarding prior construction (if any) and total elevation, and missing information regarding environmental impact. Additionally, DR Applicant never received prior notice to provide input on the application prior to receiving the present notice (which DR Applicant is informed by the SF Planning Dept requires a DR Application).

The permit application process violates substantive and procedural due process of the neighbors within 150 feet as well as all San Francisco residents or groups impacted by the project because of the missing information regarding prior construction (if any) and total elevation, as well as missing information regarding environmental impact. Concerned parties cannot meaningfully respond to the permitting process when relevant material information is missing from an application.

Additionally, DR Applicant never received prior notice to provide input on the application prior to receiving the present notice (which DR Applicant is informed by the SF Planning Dept requires a DR Application). Input should have been solicited from the impacted residents by SF Planning prior to imposition of discretionary review, which would have afforded residents a lower standard of review.

Response: The project sponsor conducted a Pre-Application Meeting to meet and discuss the project proposal with neighbors in January 2018. Applicable residents and neighborhood organizations were notified of the meeting per the City's Pre-Application protocols by letter via

Radius Services. During the meeting, some residents express concerns that were addressed either in the meeting directly or incorporated into the design proposal prior to submittal. The complete list of notified neighbors and organizations, meeting minutes, and architect's response were provided to the Planning Department with the initial submittal. See attached at the end of this document.

- 2) The Residential Design Guidelines assume some Impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

DR APPLICANT REASON: See attached.


Response: See above responses to all issues addressed in Mr. Schnals attachment under DR Item #1.

- 3) What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

DR APPLICANT REQUESTS: Reduce project from two additional stories plus an observation deck to a single additional story of standard height.

Response: See responses 2 & 3 to Mr. Schnal's attachment inserted above.

Sincerely,



Roberta Wahl, Architect
Plum Architects Inc.



SAN FRANCISCO
PLANNING
DEPARTMENT

INSTRUCTION PACKET AND AFFIDAVIT FOR Pre-Application Meeting

This packet consists of instructions and templates for conducting the Pre-Application Meeting. Planning Department staff are available to advise you in the preparation of these materials. Call the Planning Information Center at (415) 558-6377 for further information.

Planning Department
1650 Mission Street
Suite 400
San Francisco, CA
94103-9425

T: 415.558.6378
F: 415.558.6409

Note: A Pre-Application Meeting is required even if the horizontal addition referenced above does not increase the overall depth of the building. Similarly, a Pre-Application Meeting is required even if the vertical addition referenced above does not change the overall building height.

WHAT IS A PRE-APPLICATION MEETING?

The Pre-Application Meeting is a mandatory form of community outreach conducted by the project sponsor to receive initial feedback regarding certain project types prior to submittal to the Planning Department or the Department of Building Inspection. Adjacent neighbors and relevant neighborhood organizations are invited to attend this meeting which must take place during certain hours of the day and within a certain distance from the project site. The meeting's intention is to initiate neighbor communication and identify issues and concerns early on; provide the project sponsor the opportunity to address neighbor concerns about the potential impacts of the project prior to submitting an application; and, reduce the number of Discretionary Reviews (DRs) that are filed.

WHEN IS A PRE-APPLICATION MEETING REQUIRED?

- New Construction; or
- Any vertical addition of 7 feet or more; or
- Any horizontal addition of 10 feet or more; or
- Decks over 10 feet above grade or within the required rear yard (excludes roof decks); or
- All Formula Retail uses subject to a Conditional Use Authorization; or
- Section 313, PDR-I-B; or
- Community Business Priority Processing Program (CB3P); or
- Department Staff may request a Pre-Application meeting be conducted for any project.

WHY IS A PRE-APPLICATION MEETING REQUIRED?

The Pre-Application process is required for certain projects subject to Planning Code Section 311 or 312 Notification, or as required by other activities listed above. It serves as the first step in the process prior to building permit application or entitlement (Conditional Use Authorization, Variance, etc.) submittal. Those contacted as a result of the Pre-Application process will also receive a formal entitlement notice or 311 or 312 notification when the project is submitted and reviewed by Planning Department staff.

The benefits to project sponsors include: early identification of neighbor concerns; ability to mitigate neighbor concerns before project submittal; a more streamlined, predictable review from the Planning Department; and, elimination of delays associated with Discretionary Reviews.

The benefits to the neighbors include: the opportunity to express concerns about a project before it is submitted and eliminating the need to file a Discretionary Review.

INSTRUCTIONS

Prior to filing any entitlement (this includes but is not limited to Building Permits, Variances, and Conditional Use Authorizations) the Project Sponsor must conduct a minimum of one Pre-Application meeting if the proposed scope of work triggers such a meeting, as referenced on the previous page.

This meeting must be held in accordance with the following rules.

These groups and individuals must be invited to the meeting:

- Invite all Neighborhood Organizations for the relevant neighborhood(s). Note that the number of organizations extends beyond just your neighborhood association. The full list for your area can be found by first typing "neighborhood groups" in the search bar at www.sfplanning.org. Then, click on the relevant neighborhood on the map to find the neighborhood organization list in spreadsheet format. If the property is located on the border of two or more neighborhoods, you must invite all bordering neighborhood organizations.
- Invite all abutting property owners and occupants and property owners and occupants directly across the street from the project site. Please be sure to include all occupants of the subject building. (Note: Sec. 313 PDR-I-B projects require mailing to owners and occupants within a 300 foot radius). Refer to the Neighborhood Notification handout, available at www.sfplanning.org, for clarification.
- One copy of the invitation letter must be mailed to the project sponsor as proof of mailing. Invitations shall be sent at least 14 calendar days before the meeting. The postal date stamp will serve as record of timely mailing.

Note: When the subject lot is a corner lot, the notification area shall further include all properties on both block faces across from the subject lot, and the corner property diagonally across the street.

The meeting must be conducted at one of these places:

- The project site;
- An alternate location within a one-mile radius of the project site (i.e. community center, coffee shop, etc.); or,
- The project sponsor may opt to have a Pre-Application Meeting held at the Planning Department instead of the project site, for a fee. A planner will be available for questions.

The meeting must be held within specific timeframes and meet certain requirements:

- Meetings are to be conducted within 6:00 p.m. -9:00 p.m., Mon.-Fri.; or within 10:00 a.m. -9:00 p.m., Sat-Sun. If the Project Sponsor has selected a Pre-Application Meeting held at the Planning Department, this meeting will be conducted during regular business hours.
- A sign-in sheet must be used in order to verify attendance. Note if no one attended.
- Preliminary plans must be available at the meeting that include the height and depth of the subject building and its adjacent properties, and dimensions must be provided to help facilitate discussion. Neighbors may request reduced copies of the plans from the Project Sponsor by checking the "please send me plans" box on the sign-in sheet, and the Project Sponsor shall provide reduced copies upon such request.
- Questions and concerns by attendees, and responses by Project Sponsor, if any, must be noted.

Note: Please see the Department Facilitated Pre-Application Meeting form at www.sfplanning.org for more information. Refer to the Planning Department Fee Schedule, which may be obtained from the Planning Department's website at www.sfplanning.org/planning or in person at the Public Information Counter (PIC) located at 1660 Mission Street, San Francisco, CA 94103. For questions related to the Fee Schedule, please call the PIC at 415.558.6377.

For accountability purposes, please submit the following with your Application:

- A copy of the letter mailed to neighbors and neighborhood organizations (use attached invitation) AND a letter with postmark as proof of mailing;
- A list of those persons and neighborhood organizations invited to the meeting;
- A copy of the sign-in sheet (use attached template);
- A summary of the meeting and a list of any changes made to the project as a result of the neighborhood comments (use attached template);
- The affidavit, signed and dated (use attached template);
- One reduced copy of the plans presented to the neighbors at pre-application meeting.

Notice of Pre-Application Meeting

January 16 2018
Date

Dear Neighbor:

You are invited to a neighborhood Pre-Application meeting to review and discuss the development proposal at 819 22nd AVENUE, cross street(s) BALBOA STREET (Block/Lot#: 1822/002); Zoning: RH-2), in accordance with the San Francisco Planning Department's Pre-Application procedures. The Pre-Application meeting is intended as a way for the Project Sponsor(s) to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the City. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is submitted for the Planning Department's review. Once a Building Permit has been submitted to the City, you may track its status at www.sfgov.org/dbi.

The Pre-Application process serves as the first step in the process prior to building permit application or entitlement submittal. Those contacted as a result of the Pre-Application process will also receive a formal entitlement notice or 311 or 312 notification after the project is submitted and reviewed by Planning Department staff.

A Pre-Application meeting is required because this project includes (check all that apply):

- New Construction;
- Any vertical addition of 7 feet or more;
- Any horizontal addition of 10 feet or more;
- Decks over 10 feet above grade or within the required rear yard;
- All Formula Retail uses subject to a Conditional Use Authorization;
- PDR-I-B, Section 313;
- Community Business Priority Processing Program (CB3P).

The development proposal is to: add rear yard horizontal additions at existing 1st and 2nd stories, add 3rd + 4th stories to the existing building for a new two-story unit including rear yard roof decks.

Existing # of dwelling units: <u>1</u>	Proposed: <u>2</u>	Permitted: <u>2</u>
Existing bldg square footage: <u>1,495 sq ft</u>	Proposed: <u>4,584 sq. ft</u>	Permitted: <u>5,400 q. ft</u>
Existing # of stories: <u>2</u>	Proposed: <u>4</u>	Permitted: <u>4</u>
Existing bldg height: <u>20'-0"</u>	Proposed: <u>40'-0"</u>	Permitted: <u>40'-0"</u>
Existing bldg depth: <u>74'-2"</u>	Proposed: <u>NO CHANGE</u>	Permitted: <u>66'-3" + 12'-0" POP-OUT</u>

MEETING INFORMATION:

Property Owner(s) name(s): KEIMING YEN

Project Sponsor(s): PLUM ARCHITECTS, INC.

Contact information (email/phone): ROBERTA WAHL, ROBERTA@PLUMARCHITECTS.COM / (415) 837-0900

Meeting Address*: CAFE ENCHANTE, 6157 GEARY BLVD (@ 26TH STREET)

Date of meeting: January 31 2018

Time of meeting**: 6:00PM

*The meeting should be conducted at the project site or within a one-mile radius, unless the Project Sponsor has requested a Department Facilitated Pre-Application Meeting, in which case the meeting will be held at the Planning Department offices, at 1650 Mission Street, Suite 400.

**Weeknight meetings shall occur between 6:00 p.m. - 9:00 p.m. Weekend meetings shall be between 10:00 a.m. - 9:00 p.m, unless the Project Sponsor has selected a Department Facilitated Pre-Application Meeting.

If you have questions about the San Francisco Planning Code, Residential Design Guidelines, or general development process in the City, please call the Public Information Center at 415-558-6378, or contact the Planning Department via email at pic@sfgov.org. You may also find information about the San Francisco Planning Department and on-going planning efforts at www.sfplanning.org.

Pre-Application Meeting Sign-in Sheet

Meeting Date: JANUARY 31, 2018
 Meeting Time: 6:00PM
 Meeting Address: CAFE ENCHANTE, 6157 GEARY BLVD, SAN FRANCISCO, CA 94121
 Project Address: 619 22nd AVENUE SAN FRANCISCO, CA 94121
 Property Owner Name: KEIMING YEN
 Project Sponsor/Representative: PLUM ARCHITECTS, INC.

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

NAME/ORGANIZATION	ADDRESS	PHONE #	EMAIL	SEND PLANS
1. <u>Roberta Wahl</u>	<u>PLUM 3298 Pierce</u>	<u>94123</u>		<input checked="" type="checkbox"/>
2.	<u>415-837-0900</u>	<u>roberta@plumarchitects.com</u>		<input type="checkbox"/>
3.				<input type="checkbox"/>
4. <u>STANTON BRUNNER</u>	<u>605-22nd AVE, SF</u>	<u>94121</u>		<input checked="" type="checkbox"/>
5.	<u>415-635-6566</u>	<u>tdogues@stcglobal.net</u>		<input checked="" type="checkbox"/>
6. <u>Stephanie Tang</u>	<u>609 22nd Ave</u>	<u>SF 94121</u>		<input checked="" type="checkbox"/>
7.	<u>650.814.1137</u>	<u>stephtang.sf@gmail.com</u>		<input checked="" type="checkbox"/>
8. <u>EUGENE CHI.</u>	<u>2115 Balboa st.</u>	<u>(415)-379-8667</u>		<input checked="" type="checkbox"/>
9. <u>Simon Yu</u>	<u>625 22nd Ave</u>	<u>SF 94121</u>		<input checked="" type="checkbox"/>
10. <u>James Yu</u>	<u>623 22nd Ave</u>	<u>94121</u>		<input checked="" type="checkbox"/>
11. <u>Samantha Yu</u>	<u>625 22nd Ave</u>	<u>94121</u>	<u>415-6088337, sammyyu@gmail.com</u>	<input checked="" type="checkbox"/>
12.				<input type="checkbox"/>
13.				<input type="checkbox"/>
14.				<input type="checkbox"/>
15.				<input type="checkbox"/>
16.				<input type="checkbox"/>
17.				<input type="checkbox"/>
18.				<input type="checkbox"/>

Summary of discussion from the Pre-Application Meeting

Meeting Date: JANUARY 31, 2018
 Meeting Time: 8:00PM
 Meeting Address: CAFE ENCHANTE, 6157 GEARY BLVD., SAN FRANCISCO, CA 94121
 Project Address: 819 22nd AVENUE SAN FRANCISCO, CA 94121
 Property Owner Name: MING YEN
 Project Sponsor/Representative: PLUM ARCHITECTS, INC.

Please summarize the questions/comments and your response from the Pre-Application meeting in the space below. Please state if/how the project has been modified in response to any concerns.

Question/Concern #1 by (name of concerned neighbor/neighborhood group): Stephanie Tang, Stan Brynner & Eugene Chi were concerned that the addition would block sunlight.

Project Sponsor Response: The project is zoned 40X. The 4th story is quite small. I will review with the owner.

Question/Concern #2: Simon, James & Samantha Yu are concerned that their big bridge view from their 3rd floor lightwell will be blocked. They are concerned about air flow in the lightwell and would like the north side of their building painted.

Project Sponsor Response: The owner would be agreeable to painting the north wall where the new building would not allow access. They built a new 3rd story addition themselves.

Question/Concern #3: _____

Project Sponsor Response: _____

Question/Concern #4: _____

Project Sponsor Response: _____

Affidavit of Conducting a Pre-Application Meeting, Sign-in Sheet and Issues/Responses submittal

I, Roberta Wahl, do hereby declare as follows:

1. I have conducted a Pre-Application Meeting for the proposed new construction, alteration or other activity prior to submitting any entitlement (Building Permit, Variance, Conditional Use, etc.) in accordance with Planning Commission Pre-Application Policy.
2. The meeting was conducted at Cafe Enchant, 6157 Geary Blvd. 94118 (location/address) on 1/31/18 (date) from 6:30pm - 7:00pm (time).
3. I have included the mailing list, meeting invitation and postmarked letter, sign-in sheet, issue/response summary, and reduced plans with the entitlement Application. I understand that I am responsible for the accuracy of this information and that erroneous information may lead to suspension or revocation of the permit.
4. I have prepared these materials in good faith and to the best of my ability.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

EXECUTED ON THIS DAY, March 2, 2018 IN SAN FRANCISCO.



Signature

Roberta Wahl

Name (type or print)

Architect

Plum Architects, 3298 Pierce St. 94121

Relationship to Project (e.g. Owner, Agent)

(If Agent, give business name & profession)

619 22nd Avenue

Project Address



1221 HARRISON STREET #18
SAN FRANCISCO, CA 94103

P: 415-391-4775
F: 415-391-4777
radiusservices@sfradius.com

INVOICE FOR SERVICES

REQUESTED FOR PLUM ARCHITECTS
3298 PIERCE ST
SAN FRANCISCO, CA 94123

REQUESTED BY MELISA

1/5/2018
DATE
DUE
PHONE
EMAIL
PHONE
EMAIL

JOB #		<u>1622002T</u>		PROPERTY ADDRESS		<u>619 22ND AVE</u>							
BLOCK	<u>1622</u>	LOT/S	<u>2</u>										
BLOCK		LOT/S											
PURPOSE	VAR	CUP	MERGE SUBD	CONDO	EE	DEMO	311 312	<u>PRE APP</u>	3 WIRELESS 5	MIN ENCR MAJ	ABC16 ABCS ABC156	LABELS R/P	OTHER
DELIVERABLES													
MAPS		24" x 36" PLOT			17" x 22" PLOT				11" x 17" PRINT		<u>1</u>	8.5" x 11" PRINT	
LISTS		OWNERS ONLY			OWNERS & TENANTS		<u>1</u>		OWNERS & ADJ TENANTS			RESIDENTIAL TENANTS ONLY	
LABELS		OWNERS ONLY			OWNERS & TENANTS		<u>1</u>		OWNERS & ADJ TENANTS			RESIDENTIAL TENANTS ONLY	
		AFFIDAVIT		<u>1</u>	NEIGHBORHOOD GROUPS				DISK			OTHER	
DELIVERY													
	MAIL		MSNGR		FEDEX			CALL READY	<u>2</u>		OTHER		
SHIP TO:													
SHIP DATE ▷													
PAYMENT													
	PAID		COD		BILL	<u>2</u>		CREDIT CARD			OTHER		
BILL TO:													
REF / PO#													
TOTAL AMOUNT DUE ▷												<u>\$100</u>	

INVOICES ARE PAYABLE UPON RECEIPT
MAKE CHECKS PAYABLE TO RADIUS SERVICES AND REFERENCE JOB #
ELECTRONIC INVOICE AVAILABLE UPON REQUEST

THANK YOU FOR YOUR BUSINESS!

29

BLOCK LOT	OWNER	OADDR	CITY	STATE	ZIP
0001 001	RADIUS SERVICES NO. 1622002T	619 22ND AVE	PLUM	18	0105
0001 002	.....	.....	.....	.....	.....
0001 003	RADIUS SERVICES	1221 HARRISON ST #18	SAN FRANCISCO	CA	94103
0001 004	PLUM ARCHITECTS	3298 PIERCE ST	SAN FRANCISCO	CA	94123
0001 005	.....	.....	.....	.....	.....
1622 002	KEIMING YEN	619 22ND AV	SAN FRANCISCO	CA	94121-3702
1622 003	S & S YU	623 22ND AV	SAN FRANCISCO	CA	94121-3702
1622 003	OCCUPANT	625 22ND AV	SAN FRANCISCO	CA	94121-3702
1622 033	OW TRS	1600 MASON ST #11	SAN FRANCISCO	CA	94133-3752
1622 033	OCCUPANT	622 23RD AV	SAN FRANCISCO	CA	94121-3709
1622 033	OCCUPANT	622A 23RD AV	SAN FRANCISCO	CA	94121-3709
1622 034	LEE WING	130 STANYAN ST	SAN FRANCISCO	CA	94118-4220
1622 034	OCCUPANT	618 23RD AV	SAN FRANCISCO	CA	94121-3709
1622 040	DOUGLAS PARSONS	2127 BALBOA ST	SAN FRANCISCO	CA	94121-3007
1622 041	MARGARET LOVELL	2121 BALBOA ST	SAN FRANCISCO	CA	94121-3007
1622 042	E & CHUN	2115 BALBOA ST	SAN FRANCISCO	CA	94121-3007
1622 043	HELEN MOSK	5824 CALIFORNIA ST	SAN FRANCISCO	CA	94121-2213
1622 043	OCCUPANT	2109 BALBOA ST	SAN FRANCISCO	CA	94121-3007
1622 061	LAURIE ZOLLO	603 22ND AV	SAN FRANCISCO	CA	94121-3702
1622 062	STANTON BRUNNER	605 22ND AV	SAN FRANCISCO	CA	94121-3702
1622 063	STANTON BRUNNER	605 22ND AV	SAN FRANCISCO	CA	94121-3702
1622 063	OCCUPANT	607 22ND AV	SAN FRANCISCO	CA	94121-3702
1622 064	STEPHANIE TANG	609 22ND AV	SAN FRANCISCO	CA	94121-3702
1623 038	MAY YUK TAM	249 2ND AV	SAN FRANCISCO	CA	94118-2411
1623 038	OCCUPANT	622 22ND AV	SAN FRANCISCO	CA	94121-3703
1623 038	OCCUPANT	624 22ND AV	SAN FRANCISCO	CA	94121-3703
1623 038	OCCUPANT	624A 22ND AV	SAN FRANCISCO	CA	94121-3703
1623 039	H & T CHIN FMLY	70 SOTELO AV	SAN FRANCISCO	CA	94116-1423
1623 039	OCCUPANT	618 22ND AV	SAN FRANCISCO	CA	94121-3703
1623 039	OCCUPANT	620 22ND AV	SAN FRANCISCO	CA	94121-3703
1623 040	WAI KING HO	610 22ND AV	SAN FRANCISCO	CA	94121-3703
1623 040	OCCUPANT	608 22ND AV	SAN FRANCISCO	CA	94121-3703
1623 040	OCCUPANT	612 22ND AV	SAN FRANCISCO	CA	94121-3703
1623 040	OCCUPANT	2051 BALBOA ST	SAN FRANCISCO	CA	94121-3703
9999 999	.....	.....	.....	.....	.....

OUTER RICHMOND

Anni Chung
Self-Help for the Elderly
407 Sansome Street
San Francisco, CA 94111

Dan Baroni
Planning Association for the Richmond (PAR)
2828 Fulton Street
San Francisco, CA 94118-3300

Sandra Fewer
Board of Supervisors
1 Dr. Carlton B Goodlett Place, Room #244
San Francisco, CA 94102-4689

Jesse Fink
Clement Street Merchants Association
401 Clement Street
San Francisco, CA 94118

Megan Sullivan
Mid-Richmond Coalition
376 17th Avenue
San Francisco, CA 94121

Norman Kondy
Lincoln Park Homeowners Association
271 32nd Avenue
San Francisco, CA 94121

Peter Winkelstein
Planning Association for the Richmond (Par)
129 24th Avenue
San Francisco, CA 94121

Dyan Ruiz
People Power Media
366 10th Ave
San Francisco, CA 94118

Joseph Smooke
Housing Rights Committee of San Francisco
4301 Geary Boulevard
San Francisco, CA 94118

Yuka Ioroi
Balboa Village Merchants Association
3519 Balboa Street
San Francisco, CA 94121

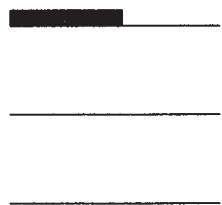
Peter Tempel
Sea Cliff Cares
230 El Camino Del Mar
San Francisco, CA 94121



1221 Harrison Street Suite 18
San Francisco CA 94103-4449
(415) 391-4775

BLOCK 1622
LOT 2

San Francisco, CA



JOB NO:	DATE: 180105
1622002T	DRAWN: DC
	CHECKED: DC

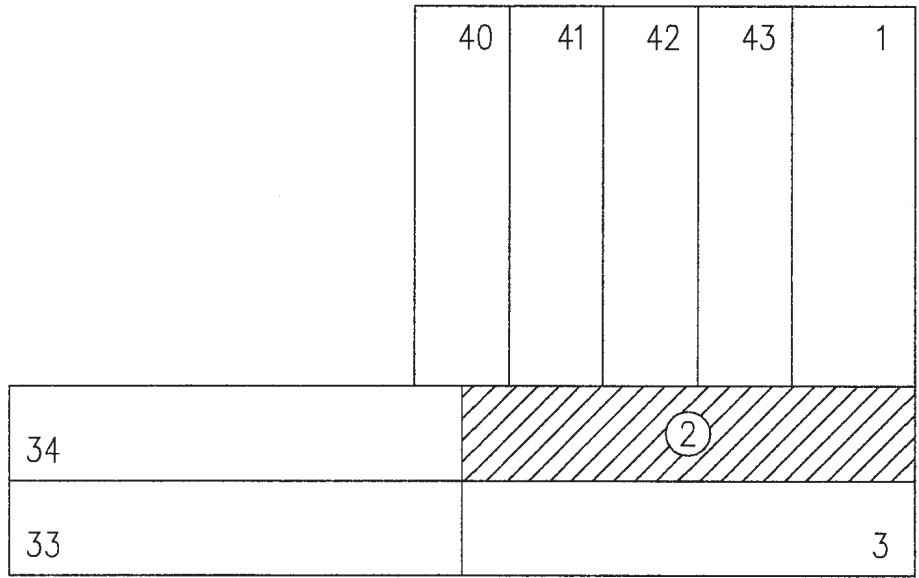
PRE--
APPLICATION
AREA MAP



BALBOA STREET

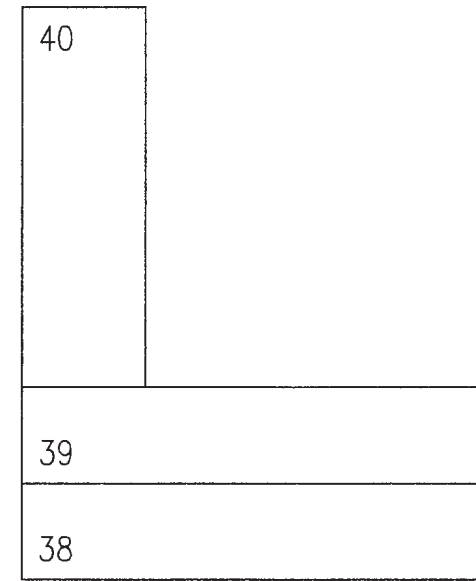
BLOCK 1622

23RD AVENUE



BLOCK 1623

22ND AVENUE



The information contained herein has been obtained from sources that we deemed reliable and current at the time of preparation. We have no reason to doubt its accuracy but we do not guarantee it.

September 30, 2021

David Winslow
Principal Architect
Design Review | Citywide and Current Planning
San Francisco Planning Department
49 South Van Ness, Suite 1400 | San Francisco, California, 94103

RE: Discretionary Review #1255588 - Project Sponsor Response for 619 22nd Avenue -
Building Permit Application # 2020.0810.1497
Discretionary Review Applicant: Mr. James Yu @ 623-625 22nd Avenue

Dear, Mr. Winslow,

DR Applicant is a neighbor within 150 feet of the proposed project. DR Applicant is immediately adjacent to the south of said 619 22nd Ave. (the project). DR Applicant contests the project application and additionally requests a DR on the following basis here described item by item on the DR application with the project sponsor (Plum Architects Inc.) response.

- 1) What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that Justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

DR APPLICANT REASON: Modification from its original design to meet reasonable accommodations! Its design had severe side effects on my health, mental issues.

Response: Plum Architects Inc. has discussed this project with Mr. Yu in the pre-application meeting as well as in email with Mr. Yu and the neighbors who attended the Pre-Application meeting (here attached at the back of this DR Response) and from this revised the project as follows to accommodate their concerns;

- a. *We set the 4th floor back 4'-4" on the south side and 5'-1" on the north side for additional light.*
 - b. *We did a sun study to know how the sun passes across the south elevation of 605/609 22nd currently with the building at 2 stories and what the difference would be with four stories. We took the sun angles at June 21st and December 21st at noon, 2:00pm, 4:00pm and 6:00pm respectively. During the summer months, there is no difference with a four story building than what is currently projected on the façade. There is an affect in the winter months on 609 22nd at the 2nd and 3rd floor.*
 - c. *The owner has been sensitive to the neighbors concerns and has not built out as allowable. 635-637 22nd extends the 4th story which to the rear allowable and includes a 5th story penthouse. The allowable occupied FAR (floor area ratio to site) is 5400 for 619 22nd and the project is well under this allowable at 3630sf. The actual square footage excluding decks and garage is 4,290.*
- 2) The Residential Design Guidelines assume some Impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you

believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

DR APPLICANT REASON: Based on the original design. It will cut off all lighting, air flow into my home (Bed room, kitchen, living room, 4th story tall building); in that it will cause health issues of my vision (No lights), breathing space (Air flow), mental health (Almost like prison environment)

Response: Please see response in item 1, a & b. Additionally, we have created a lightwell with the same dimensions as Mr. Yu's lightwell. This lightwell is not covered by a roof and is open for light and air to pass through.


- 3) What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

DR APPLICANT REQUESTS: Please modify from the original design to give me more lighting, air flow, visibility into my home!

Response: The project sponsor has made use of the long-established developmental guidelines for properties in RH-2 Districts to not only increase the housing stock in a desirable area of the City's residential neighborhoods, but has also proposed improvements that explicitly avoid maximizing the buildable areas at the third and fourth stories. These guidelines encourage moderate development that allow the City to accommodate the growing housing needs of the area while mitigating impact on lower density neighborhoods.

PLUM Architects provided Environmental and Historic Resource assessments, supplemental documentation, sun studies and 3D renderings of the project in the fully Planning Submittal to demonstrate the potential impact of the proposed project on adjacent properties and its visual character from the street. The City does not require applicants make these documents available to the general public and found the proposal in keeping with the City's guidelines and requirements.

Sincerely,



Roberta Wahl, Architect
Plum Architects Inc.

Pre-Application Meeting Sign-in Sheet

Meeting Date: JANUARY 31, 2018
 Meeting Time: 6:00PM
 Meeting Address: CAFE ENCHANTE, 6157 GEARY BLVD, SAN FRANCISCO, CA 94121
 Project Address: 619 22nd AVENUE SAN FRANCISCO, CA 94121
 Property Owner Name: KEIMING YEN
 Project Sponsor/Representative: PLUM ARCHITECTS, INC.

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

	NAME/ORGANIZATION	ADDRESS	PHONE #	EMAIL	SEND PLANS
1.	Roberta Wahl	PLUM	3298 Pierce	94123	<input checked="" type="checkbox"/>
2.		415.837.0900	roberta	plumarchitects.com	<input type="checkbox"/>
3.					<input type="checkbox"/>
4.	STANTON BRUNNER	605-23rd AVE	SF	94121	<input checked="" type="checkbox"/>
5.		415-635-6566	t.dogues	stcglobal.net	<input checked="" type="checkbox"/>
6.	Stephanie Tang	609 22nd Ave	SF	94121	<input checked="" type="checkbox"/>
7.		650.814.1137	stephtang	sf@gmail.com	<input checked="" type="checkbox"/>
8.	EUGENE CHI.	2115 Balboa st.	(415)-379-8667		<input checked="" type="checkbox"/>
9.	James Yu	625 22nd Ave	SF	94121	<input checked="" type="checkbox"/>
10.	James Yu	625 22nd Ave	SF	94121	<input checked="" type="checkbox"/>
11.	Samantha Yu	625 22nd Ave	415-6088337	sammyyu@gmail.com	<input checked="" type="checkbox"/>
12.					<input type="checkbox"/>
13.					<input type="checkbox"/>
14.					<input type="checkbox"/>
15.					<input type="checkbox"/>
16.					<input type="checkbox"/>
17.					<input type="checkbox"/>
18.					<input type="checkbox"/>



SAN FRANCISCO
PLANNING
DEPARTMENT

INSTRUCTION PACKET AND AFFIDAVIT FOR Pre-Application Meeting

This packet consists of instructions and templates for conducting the Pre-Application Meeting. Planning Department staff are available to advise you in the preparation of these materials. Call the Planning Information Center at (415) 558-6377 for further information.

Planning Department
1650 Mission Street
Suite 400
San Francisco, CA
94103-9425

T: 415.558.6378
F: 415.558.6409

Note: A Pre-Application Meeting is required even if the horizontal addition referenced above does not increase the overall depth of the building. Similarly, a Pre-Application Meeting is required even if the vertical addition referenced above does not change the overall building height.

WHAT IS A PRE-APPLICATION MEETING?

The Pre-Application Meeting is a mandatory form of community outreach conducted by the project sponsor to receive initial feedback regarding certain project types prior to submittal to the Planning Department or the Department of Building Inspection. Adjacent neighbors and relevant neighborhood organizations are invited to attend this meeting which must take place during certain hours of the day and within a certain distance from the project site. The meeting's intention is to initiate neighbor communication and identify issues and concerns early on; provide the project sponsor the opportunity to address neighbor concerns about the potential impacts of the project prior to submitting an application; and, reduce the number of Discretionary Reviews (DRs) that are filed.

WHEN IS A PRE-APPLICATION MEETING REQUIRED?

- New Construction; or
- Any vertical addition of 7 feet or more; or
- Any horizontal addition of 10 feet or more; or
- Decks over 10 feet above grade or within the required rear yard (excludes roof decks); or
- All Formula Retail uses subject to a Conditional Use Authorization; or
- Section 313, PDR-I-B; or
- Community Business Priority Processing Program (CB3P); or
- Department Staff may request a Pre-Application meeting be conducted for any project.

WHY IS A PRE-APPLICATION MEETING REQUIRED?

The Pre-Application process is required for certain projects subject to Planning Code Section 311 or 312 Notification, or as required by other activities listed above. It serves as the first step in the process prior to building permit application or entitlement (Conditional Use Authorization, Variance, etc.) submittal. Those contacted as a result of the Pre-Application process will also receive a formal entitlement notice or 311 or 312 notification when the project is submitted and reviewed by Planning Department staff.

The benefits to project sponsors include: early identification of neighbor concerns; ability to mitigate neighbor concerns before project submittal; a more streamlined, predictable review from the Planning Department; and, elimination of delays associated with Discretionary Reviews.

The benefits to the neighbors include: the opportunity to express concerns about a project before it is submitted and eliminating the need to file a Discretionary Review.

INSTRUCTIONS

Prior to filing any entitlement (this includes but is not limited to Building Permits, Variances, and Conditional Use Authorizations) the Project Sponsor must conduct a minimum of one Pre-Application meeting if the proposed scope of work triggers such a meeting, as referenced on the previous page.

This meeting must be held in accordance with the following rules.

These groups and individuals must be invited to the meeting:

- Invite all Neighborhood Organizations for the relevant neighborhood(s). Note that the number of organizations extends beyond just your neighborhood association. The full list for your area can be found by first typing "neighborhood groups" in the search bar at www.sfplanning.org. Then, click on the relevant neighborhood on the map to find the neighborhood organization list in spreadsheet format. If the property is located on the border of two or more neighborhoods, you must invite all bordering neighborhood organizations.
- Invite all abutting property owners and occupants and property owners and occupants directly across the street from the project site. Please be sure to include all occupants of the subject building. (Note: Sec. 313 PDR-I-B projects require mailing to owners and occupants within a 300 foot radius). Refer to the Neighborhood Notification handout, available at www.sfplanning.org, for clarification.
- One copy of the invitation letter must be mailed to the project sponsor as proof of mailing. Invitations shall be sent at least 14 calendar days before the meeting. The postal date stamp will serve as record of timely mailing.

Note: When the subject lot is a corner lot, the notification area shall further include all properties on both block faces across from the subject lot, and the corner property diagonally across the street.

The meeting must be conducted at one of these places:

- The project site;
- An alternate location within a one-mile radius of the project site (i.e. community center, coffee shop, etc.); or,
- The project sponsor may opt to have a Pre-Application Meeting held at the Planning Department instead of the project site, for a fee. A planner will be available for questions.

The meeting must be held within specific timeframes and meet certain requirements:

- Meetings are to be conducted within 6:00 p.m. -9:00 p.m., Mon.-Fri.; or within 10:00 a.m. -9:00 p.m., Sat-Sun. If the Project Sponsor has selected a Pre-Application Meeting held at the Planning Department, this meeting will be conducted during regular business hours.
- A sign-in sheet must be used in order to verify attendance. Note if no one attended.
- Preliminary plans must be available at the meeting that include the height and depth of the subject building and its adjacent properties, and dimensions must be provided to help facilitate discussion. Neighbors may request reduced copies of the plans from the Project Sponsor by checking the "please send me plans" box on the sign-in sheet, and the Project Sponsor shall provide reduced copies upon such request.
- Questions and concerns by attendees, and responses by Project Sponsor, if any, must be noted.

Note: Please see the Department Facilitated Pre-Application Meeting form at www.sfplanning.org for more information. Refer to the Planning Department Fee Schedule, which may be obtained from the Planning Department's website at www.sfplanning.org/planning or in person at the Public Information Counter (PIC) located at 1660 Mission Street, San Francisco, CA 94103. For questions related to the Fee Schedule, please call the PIC at 415.558.6377.

For accountability purposes, please submit the following with your Application:

- A copy of the letter mailed to neighbors and neighborhood organizations (use attached invitation) AND a letter with postmark as proof of mailing;
- A list of those persons and neighborhood organizations invited to the meeting;
- A copy of the sign-in sheet (use attached template);
- A summary of the meeting and a list of any changes made to the project as a result of the neighborhood comments (use attached template);
- The affidavit, signed and dated (use attached template);
- One reduced copy of the plans presented to the neighbors at pre-application meeting.

Notice of Pre-Application Meeting

January 16 2018
Date

Dear Neighbor:

You are invited to a neighborhood Pre-Application meeting to review and discuss the development proposal at 819 22nd AVENUE, cross street(s) BALBOA STREET (Block/Lot#: 1822/002); Zoning: RH-2), in accordance with the San Francisco Planning Department's Pre-Application procedures. The Pre-Application meeting is intended as a way for the Project Sponsor(s) to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the City. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is submitted for the Planning Department's review. Once a Building Permit has been submitted to the City, you may track its status at www.sfgov.org/dbi.

The Pre-Application process serves as the first step in the process prior to building permit application or entitlement submittal. Those contacted as a result of the Pre-Application process will also receive a formal entitlement notice or 311 or 312 notification after the project is submitted and reviewed by Planning Department staff.

A Pre-Application meeting is required because this project includes (check all that apply):

- New Construction;
- Any vertical addition of 7 feet or more;
- Any horizontal addition of 10 feet or more;
- Decks over 10 feet above grade or within the required rear yard;
- All Formula Retail uses subject to a Conditional Use Authorization;
- PDR-I-B, Section 313;
- Community Business Priority Processing Program (CB3P).

The development proposal is to: add rear yard horizontal additions at existing 1st and 2nd stories, add 3rd + 4th stories to the existing building for a new two-story unit including rear yard roof decks.

Existing # of dwelling units: <u>1</u>	Proposed: <u>2</u>	Permitted: <u>2</u>
Existing bldg square footage: <u>1,495 sq ft</u>	Proposed: <u>4,584 sq. ft</u>	Permitted: <u>5,400 q. ft</u>
Existing # of stories: <u>2</u>	Proposed: <u>4</u>	Permitted: <u>4</u>
Existing bldg height: <u>20'-0"</u>	Proposed: <u>40'-0"</u>	Permitted: <u>40'-0"</u>
Existing bldg depth: <u>74'-2"</u>	Proposed: <u>NO CHANGE</u>	Permitted: <u>66'-3" + 12'-0" POP-OUT</u>

MEETING INFORMATION:

Property Owner(s) name(s): KEIMING YEN

Project Sponsor(s): PLUM ARCHITECTS, INC.

Contact information (email/phone): ROBERTA WAHL, ROBERTA@PLUMARCHITECTS.COM / (415) 837-0900

Meeting Address*: CAFE ENCHANTE, 6157 GEARY BLVD (@ 26TH STREET)

Date of meeting: January 31 2018

Time of meeting**: 6:00PM

*The meeting should be conducted at the project site or within a one-mile radius, unless the Project Sponsor has requested a Department Facilitated Pre-Application Meeting, in which case the meeting will be held at the Planning Department offices, at 1650 Mission Street, Suite 400.

**Weeknight meetings shall occur between 6:00 p.m. - 9:00 p.m. Weekend meetings shall be between 10:00 a.m. - 9:00 p.m, unless the Project Sponsor has selected a Department Facilitated Pre-Application Meeting.

If you have questions about the San Francisco Planning Code, Residential Design Guidelines, or general development process in the City, please call the Public Information Center at 415-558-6378, or contact the Planning Department via email at pic@sfgov.org. You may also find information about the San Francisco Planning Department and on-going planning efforts at www.sfplanning.org.

Pre-Application Meeting Sign-in Sheet

Meeting Date: JANUARY 31, 2018
 Meeting Time: 6:00PM
 Meeting Address: CAFE ENCHANTE, 6157 GEARY BLVD, SAN FRANCISCO, CA 94121
 Project Address: 619 22nd AVENUE SAN FRANCISCO, CA 94121
 Property Owner Name: KEIMING YEN
 Project Sponsor/Representative: PLUM ARCHITECTS, INC.

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

NAME/ORGANIZATION	ADDRESS	PHONE #	EMAIL	SEND PLANS
1. <u>Roberta Wahl</u>	<u>PLUM 3298 Pierce</u>	<u>94123</u>		<input checked="" type="checkbox"/>
2.	<u>415-837-0900</u>	<u>roberta@plumarchitects.com</u>		<input type="checkbox"/>
3.				<input type="checkbox"/>
4. <u>STANTON BRUNNER</u>	<u>605-22ND AVE, SF</u>	<u>94121</u>		<input checked="" type="checkbox"/>
5.	<u>415-635-6566</u>	<u>tdogues@stcglobal.net</u>		<input checked="" type="checkbox"/>
6. <u>Stephanie Tang</u>	<u>609 22nd Ave</u>	<u>SF 94121</u>		<input checked="" type="checkbox"/>
7.	<u>650.814.1137</u>	<u>stephtang.sf@gmail.com</u>		<input checked="" type="checkbox"/>
8. <u>EUGENE CHI.</u>	<u>2115 Balboa st.</u>	<u>(415)-379-8667</u>		<input checked="" type="checkbox"/>
9. <u>Simon Yu</u>	<u>625 22nd Ave</u>	<u>SF 94121</u>		<input checked="" type="checkbox"/>
10. <u>James Yu</u>	<u>623 22nd Ave</u>	<u>94121</u>		<input checked="" type="checkbox"/>
11. <u>Samantha Yu</u>	<u>625 22nd Ave</u>	<u>94121</u>	<u>415-6088337, sammyyu@gmail.com</u>	<input checked="" type="checkbox"/>
12.				<input type="checkbox"/>
13.				<input type="checkbox"/>
14.				<input type="checkbox"/>
15.				<input type="checkbox"/>
16.				<input type="checkbox"/>
17.				<input type="checkbox"/>
18.				<input type="checkbox"/>

Summary of discussion from the Pre-Application Meeting

Meeting Date: JANUARY 31, 2018
 Meeting Time: 8:00PM
 Meeting Address: CAFE ENCHANTE, 6157 GEARY BLVD., SAN FRANCISCO, CA 94121
 Project Address: 819 22nd AVENUE SAN FRANCISCO, CA 94121
 Property Owner Name: MING YEN
 Project Sponsor/Representative: PLUM ARCHITECTS, INC.

Please summarize the questions/comments and your response from the Pre-Application meeting in the space below. Please state if/how the project has been modified in response to any concerns.

Question/Concern #1 by (name of concerned neighbor/neighborhood group): Stephanie Tang, Stan Brynner & Eugene Chi were concerned that the addition would block sunlight.

Project Sponsor Response: The project is zoned 40X. The 4th story is quite small. I will review with the owner.

Question/Concern #2: Simon, James & Samantha Yu are concerned that their bay bridge view from their 3rd floor lightwell will be blocked. They are concerned about air flow in the lightwell and would like the north side of their building painted.

Project Sponsor Response: The owner would be agreeable to painting the north wall where the new building would not allow access. They built a new 3rd story addition themselves.

Question/Concern #3: _____

Project Sponsor Response: _____

Question/Concern #4: _____

Project Sponsor Response: _____

Affidavit of Conducting a Pre-Application Meeting, Sign-in Sheet and Issues/Responses submittal

I, Roberta Wahl, do hereby declare as follows:

1. I have conducted a Pre-Application Meeting for the proposed new construction, alteration or other activity prior to submitting any entitlement (Building Permit, Variance, Conditional Use, etc.) in accordance with Planning Commission Pre-Application Policy.
2. The meeting was conducted at Cafe Enchant, 6157 Geary Blvd. 94118 (location/address) on 1/31/18 (date) from 6:30pm - 7:00pm (time).
3. I have included the mailing list, meeting invitation and postmarked letter, sign-in sheet, issue/response summary, and reduced plans with the entitlement Application. I understand that I am responsible for the accuracy of this information and that erroneous information may lead to suspension or revocation of the permit.
4. I have prepared these materials in good faith and to the best of my ability.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

EXECUTED ON THIS DAY, March 2, 2018 IN SAN FRANCISCO.



Signature

Roberta Wahl

Name (type or print)

Architect
Plum Architects, 3298 Pierce St. 94121

Relationship to Project (e.g. Owner, Agent)

(If Agent, give business name & profession)

619 22nd Avenue

Project Address

29

BLOCK LOT	OWNER	OADDR	CITY	STATE	ZIP
0001 001	RADIUS SERVICES NO. 1622002T	619 22ND AVE	PLUM	18	0105
0001 002	.....	.....	.....	..	..
0001 003	RADIUS SERVICES	1221 HARRISON ST #18	SAN FRANCISCO	CA	94103
0001 004	PLUM ARCHITECTS	3298 PIERCE ST	SAN FRANCISCO	CA	94123
0001 005	.....	.....	.....	..	..
1622 002	KEIMING YEN	619 22ND AV	SAN FRANCISCO	CA	94121-3702
1622 003	S & S YU	623 22ND AV	SAN FRANCISCO	CA	94121-3702
1622 003	OCCUPANT	625 22ND AV	SAN FRANCISCO	CA	94121-3702
1622 033	OW TRS	1600 MASON ST #11	SAN FRANCISCO	CA	94133-3752
1622 033	OCCUPANT	622 23RD AV	SAN FRANCISCO	CA	94121-3709
1622 033	OCCUPANT	622A 23RD AV	SAN FRANCISCO	CA	94121-3709
1622 034	LEE WING	130 STANYAN ST	SAN FRANCISCO	CA	94118-4220
1622 034	OCCUPANT	618 23RD AV	SAN FRANCISCO	CA	94121-3709
1622 040	DOUGLAS PARSONS	2127 BALBOA ST	SAN FRANCISCO	CA	94121-3007
1622 041	MARGARET LOVELL	2121 BALBOA ST	SAN FRANCISCO	CA	94121-3007
1622 042	E & CHUN	2115 BALBOA ST	SAN FRANCISCO	CA	94121-3007
1622 043	HELEN MOSK	5824 CALIFORNIA ST	SAN FRANCISCO	CA	94121-2213
1622 043	OCCUPANT	2109 BALBOA ST	SAN FRANCISCO	CA	94121-3007
1622 061	LAURIE ZOLLO	603 22ND AV	SAN FRANCISCO	CA	94121-3702
1622 062	STANTON BRUNNER	605 22ND AV	SAN FRANCISCO	CA	94121-3702
1622 063	STANTON BRUNNER	605 22ND AV	SAN FRANCISCO	CA	94121-3702
1622 063	OCCUPANT	607 22ND AV	SAN FRANCISCO	CA	94121-3702
1622 064	STEPHANIE TANG	609 22ND AV	SAN FRANCISCO	CA	94121-3702
1623 038	MAY YUK TAM	249 2ND AV	SAN FRANCISCO	CA	94118-2411
1623 038	OCCUPANT	622 22ND AV	SAN FRANCISCO	CA	94121-3703
1623 038	OCCUPANT	624 22ND AV	SAN FRANCISCO	CA	94121-3703
1623 038	OCCUPANT	624A 22ND AV	SAN FRANCISCO	CA	94121-3703
1623 039	H & T CHIN FMLY	70 SOTELO AV	SAN FRANCISCO	CA	94116-1423
1623 039	OCCUPANT	618 22ND AV	SAN FRANCISCO	CA	94121-3703
1623 039	OCCUPANT	620 22ND AV	SAN FRANCISCO	CA	94121-3703
1623 040	WAI KING HO	610 22ND AV	SAN FRANCISCO	CA	94121-3703
1623 040	OCCUPANT	608 22ND AV	SAN FRANCISCO	CA	94121-3703
1623 040	OCCUPANT	612 22ND AV	SAN FRANCISCO	CA	94121-3703
1623 040	OCCUPANT	2051 BALBOA ST	SAN FRANCISCO	CA	94121-3703
9999 999	.....	.....	.....	..	..

OUTER RICHMOND

Anni Chung
Self-Help for the Elderly
407 Sansome Street
San Francisco, CA 94111

Dan Baroni
Planning Association for the Richmond (PAR)
2828 Fulton Street
San Francisco, CA 94118-3300

Sandra Fewer
Board of Supervisors
1 Dr. Carlton B Goodlett Place, Room #244
San Francisco, CA 94102-4689

Jesse Fink
Clement Street Merchants Association
401 Clement Street
San Francisco, CA 94118

Megan Sullivan
Mid-Richmond Coalition
376 17th Avenue
San Francisco, CA 94121

Norman Kondy
Lincoln Park Homeowners Association
271 32nd Avenue
San Francisco, CA 94121

Peter Winkelstein
Planning Association for the Richmond (Par)
129 24th Avenue
San Francisco, CA 94121

Dyan Ruiz
People Power Media
366 10th Ave
San Francisco, CA 94118

Joseph Smooke
Housing Rights Committee of San Francisco
4301 Geary Boulevard
San Francisco, CA 94118

Yuka Ioroi
Balboa Village Merchants Association
3519 Balboa Street
San Francisco, CA 94121

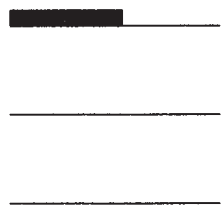
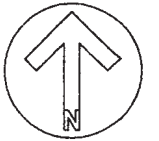
Peter Tempel
Sea Cliff Cares
230 El Camino Del Mar
San Francisco, CA 94121



1221 Harrison Street Suite 18
San Francisco CA 94103-4449
(415) 391-4775

BLOCK 1622
LOT 2

San Francisco, CA



JOB NO:	DATE: 180105
1622002T	DRAWN: DC
	CHECKED: DC

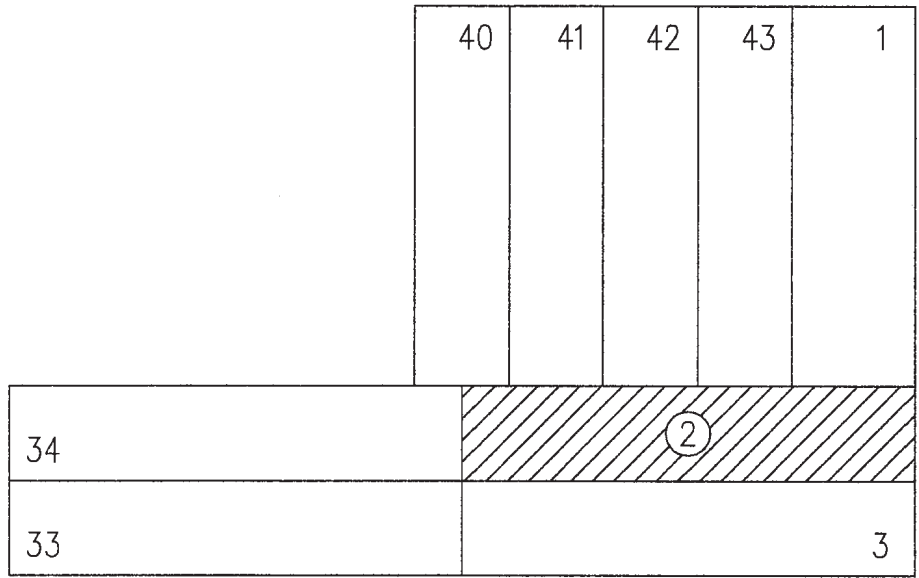
PRE--
APPLICATION
AREA MAP



BALBOA STREET

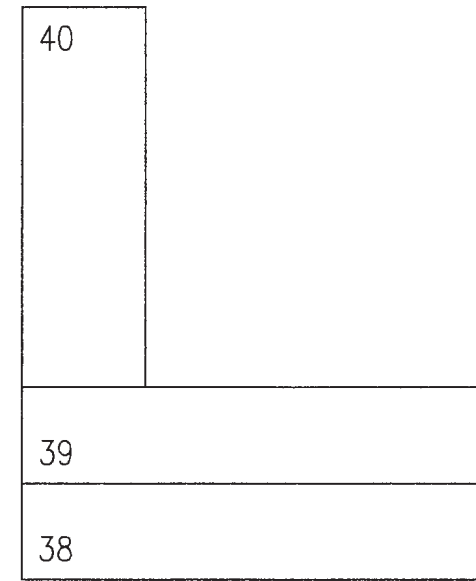
BLOCK 1622

23RD AVENUE



22ND AVENUE

BLOCK 1623



The information contained herein has been obtained from sources that we deemed reliable and current at the time of preparation. We have no reason to doubt its accuracy but we do not guarantee it.

From: [roberta.plumarchitects.com](mailto:roberta@plumarchitects.com)
To: [roberta.plumarchitects.com](mailto:roberta@plumarchitects.com)
Subject: FW: 619 22nd Ave - Neighbor hood Pre-App follow-up with Sun Study Rendering
Date: Tuesday, September 28, 2021 1:29:14 PM
Attachments: [619 22ND SUN STUDY.pdf](#)
[1-31-2018 Pre-App Drawing Binder1.pdf](#)
[3-7-2018 Drawing Binder1.pdf](#)

From: Roberta Wahl <roberta@plumarchitects.com>
Sent: Tuesday, May 1, 2018 1:20 PM
To: 'Simon Yu' <simonyu415@gmail.com>
Subject: FW: 619 22nd Ave - Neighbor hood Pre-App follow-up with Sun Study Rendering

Hello, Simon.

I received your email yesterday where you asked for a 3D rendering. I've attached what I previously sent out to all of you (I guess that you changed emails). It contains a 3D image.

Roberta Wahl, Principal

PLUM Architects

www.plumarchitects.com

3298 Pierce St. San Francisco, CA 94123

t 415 837 0900

From: Roberta Wahl <roberta@plumarchitects.com>
Sent: Thursday, March 8, 2018 9:49 AM
To: 'stephanie tang' <stephtang.sf@gmail.com>; 'Stanton Brunner' <todoquees@sbcglobal.net>; 'Jimeo16894121@gmail.com' <Jimeo16894121@gmail.com>; 'Saammyuu@gmail.com' <Saammyuu@gmail.com>
Subject: 619 22nd Ave - Neighbor hood Pre-App follow-up with Sun Study Rendering

Hello, Stephanie, Stanton, Eugene, Simon, James and Samantha.

For those of you with emails, please forward to Eugene, Simon and James who did not list an email.

Attached are the original 1-31-2018 Pre Application Drawings that I presented to you at our meeting.

We've revised the 4th floor to pull it back along both sides to allow for a bit more light. The revised package dated 3-7-2018 is also attached.

We also did a sun study which is here attached. We were curious to know how the sun passes across the south elevation of 605/609 22nd currently with the building at 2 stories and what the difference would be with four stories. We took the sun angles at June 21st and December 21st at noon, 2:00pm, 4:00pm and 6:00pm respectively. During the summer months, there is no difference with the four story building than what is currently projected on the façade. There is an affect in the winter months which affects Stephanie's sunlight significantly and Stanton's partially.

I believe that the owner has been sensitive to your concerns and has not built out as allowable – take a look at 635-637 22nd where the 4th story extends to the rear allowable and a 5th story penthouse was constructed. The allowable occupied FAR (floor area ratio to site) is 5400 for 619 22nd and the project is well under this allowable at 3630sf. The actual square footage excluding decks and garage is 4,290.

We will submit the project as revised to the Planning Department. I expect that the 311 will go out in 9-10 months.

Roberta Wahl, Principal

PLUM Architects

www.plumarchitects.com

3298 Pierce St. San Francisco, CA 94123

t 415 837 0900

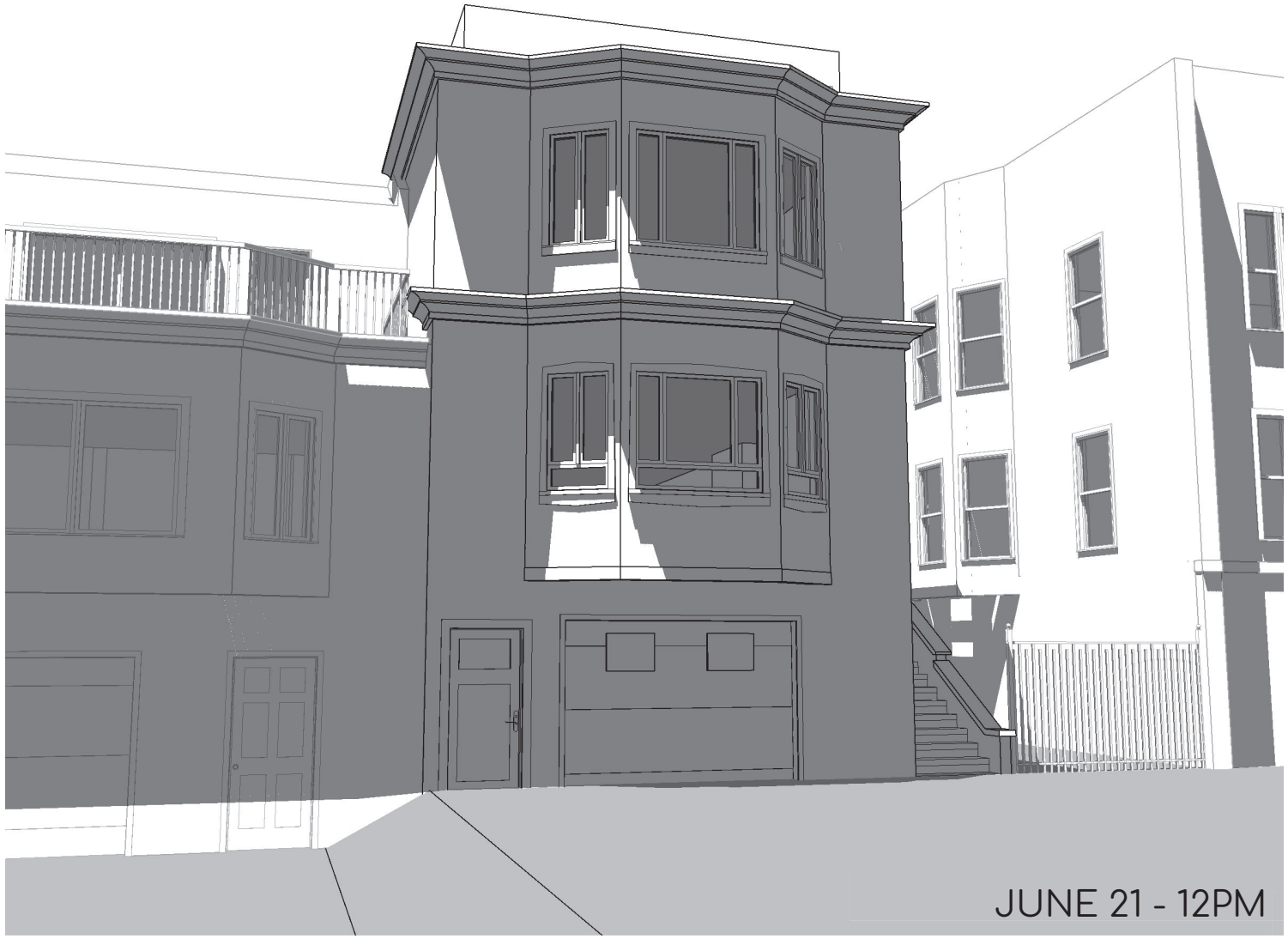
SUN STUDY

619 22ND AVE. SAN FRANCISCO, CA

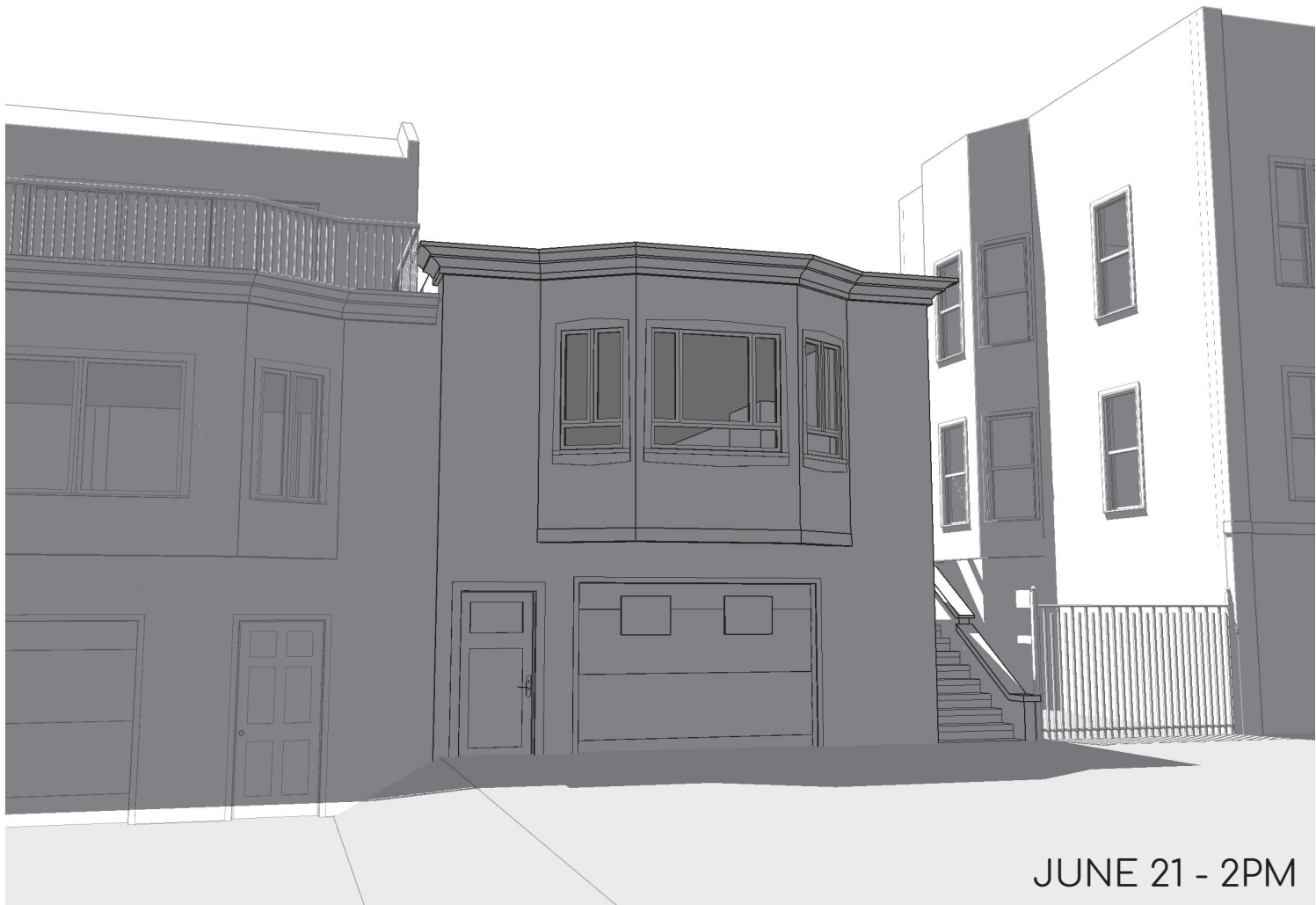
PLUM ARCHITECTS



JUNE 21 - 12PM EXISTING



JUNE 21 - 12PM PROPOSED

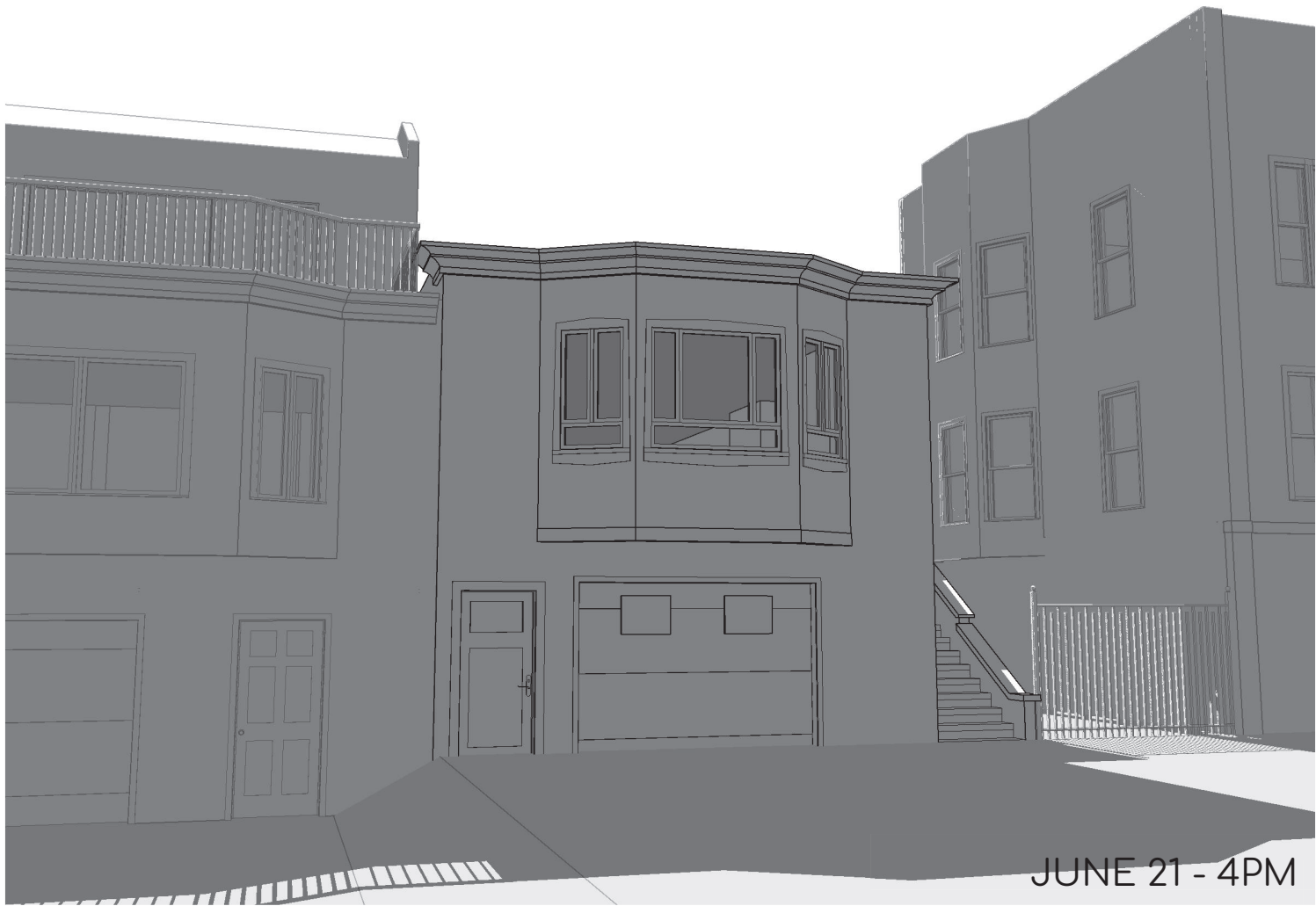


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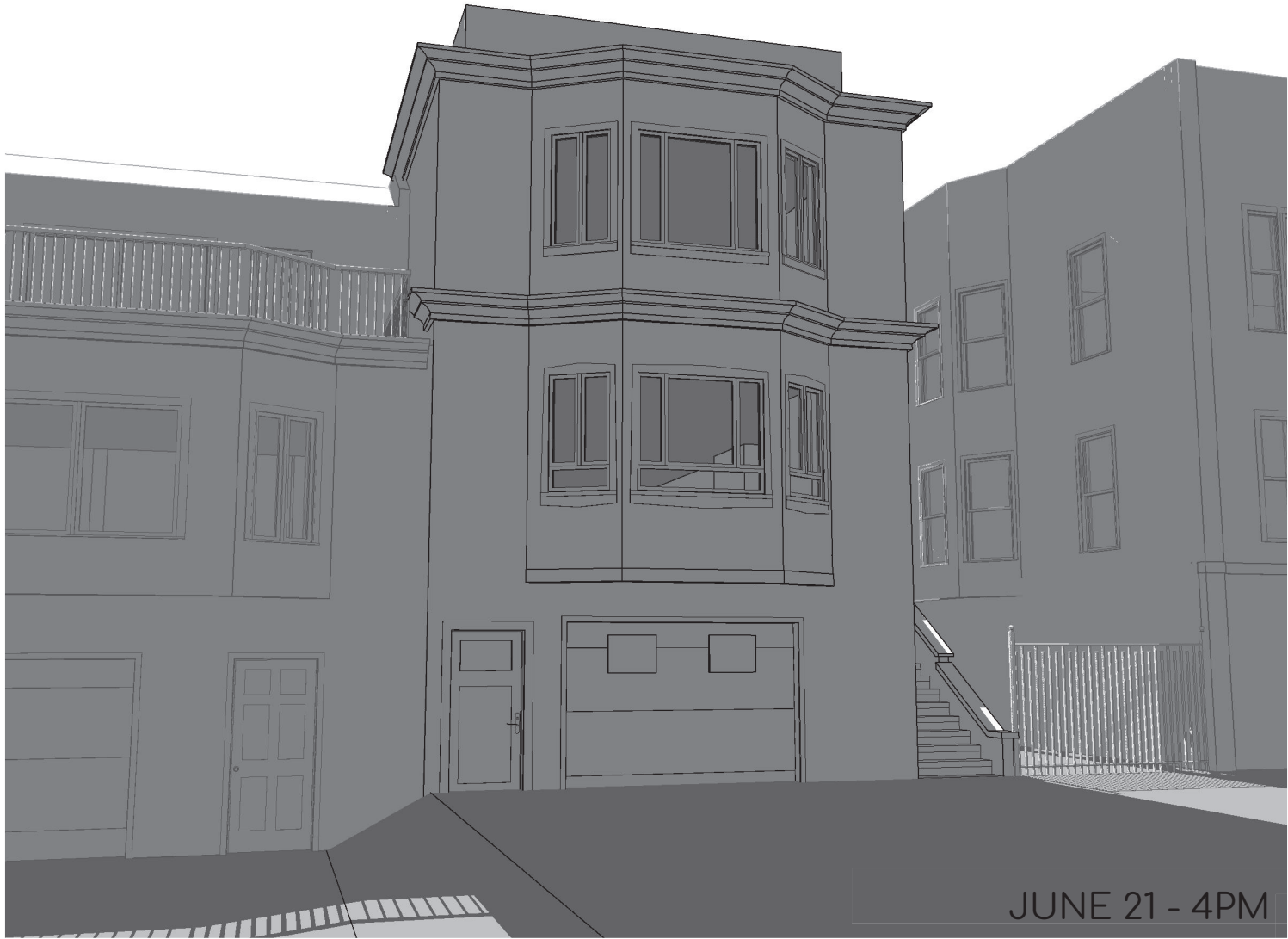
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PROPOSED



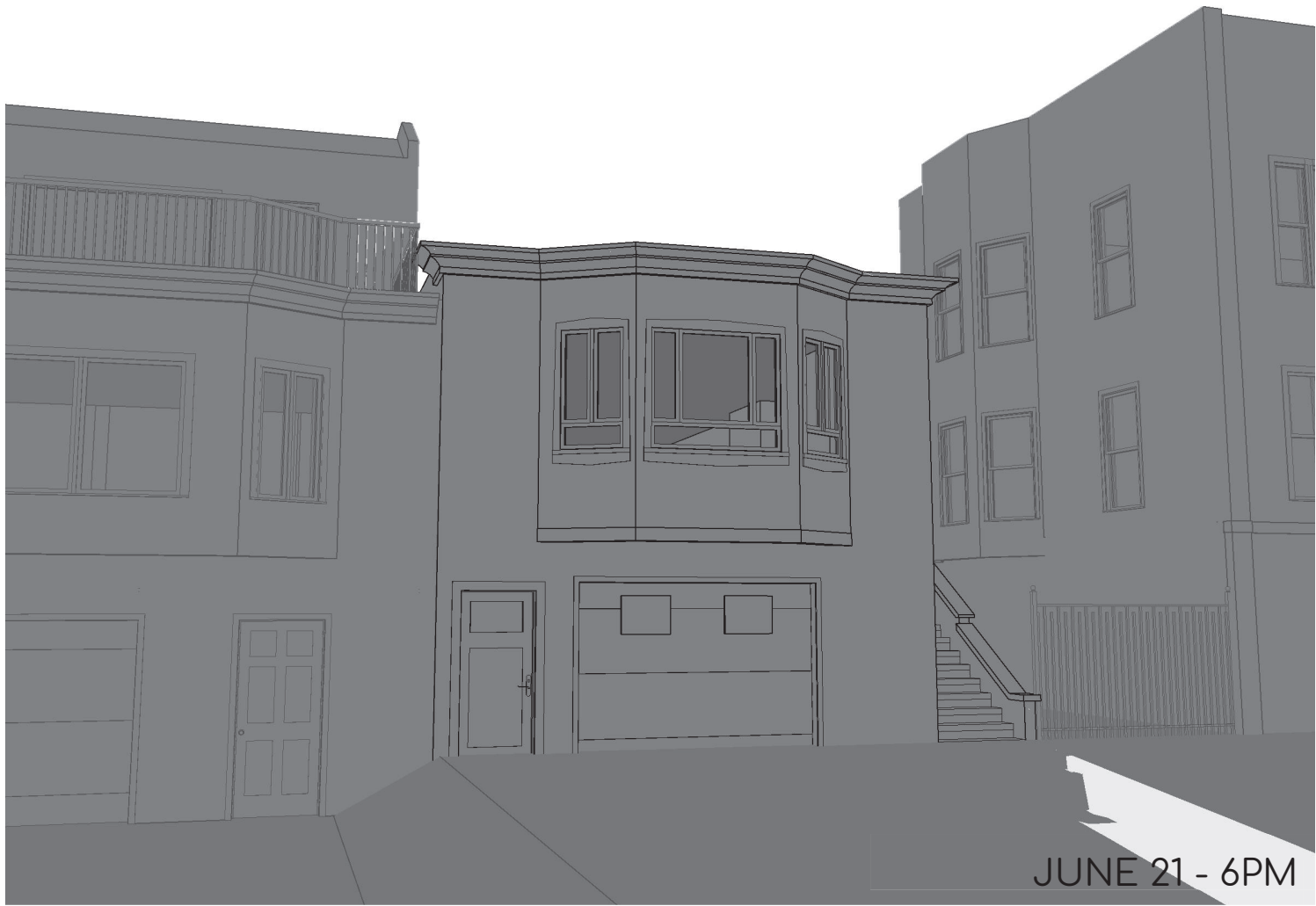
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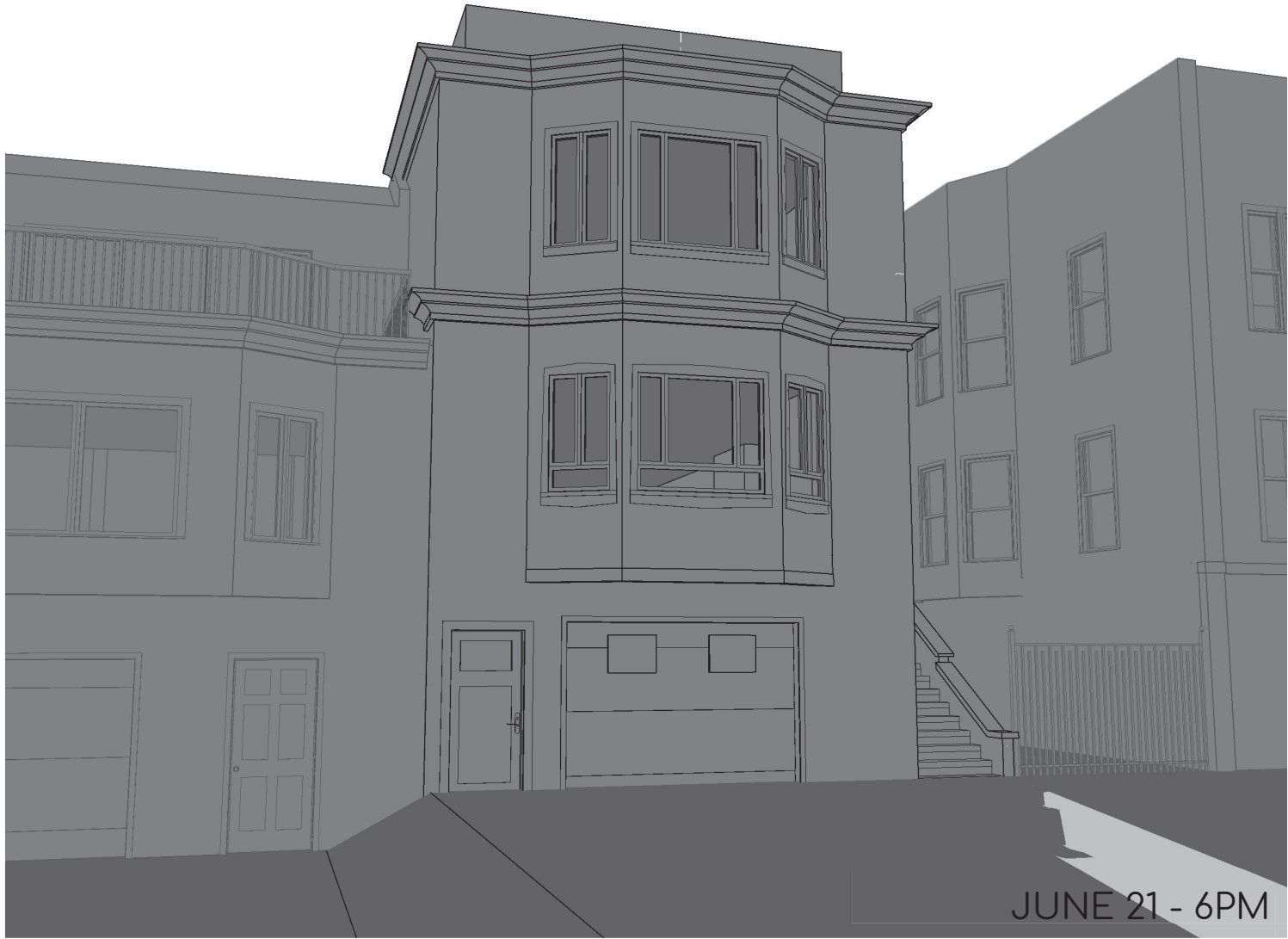
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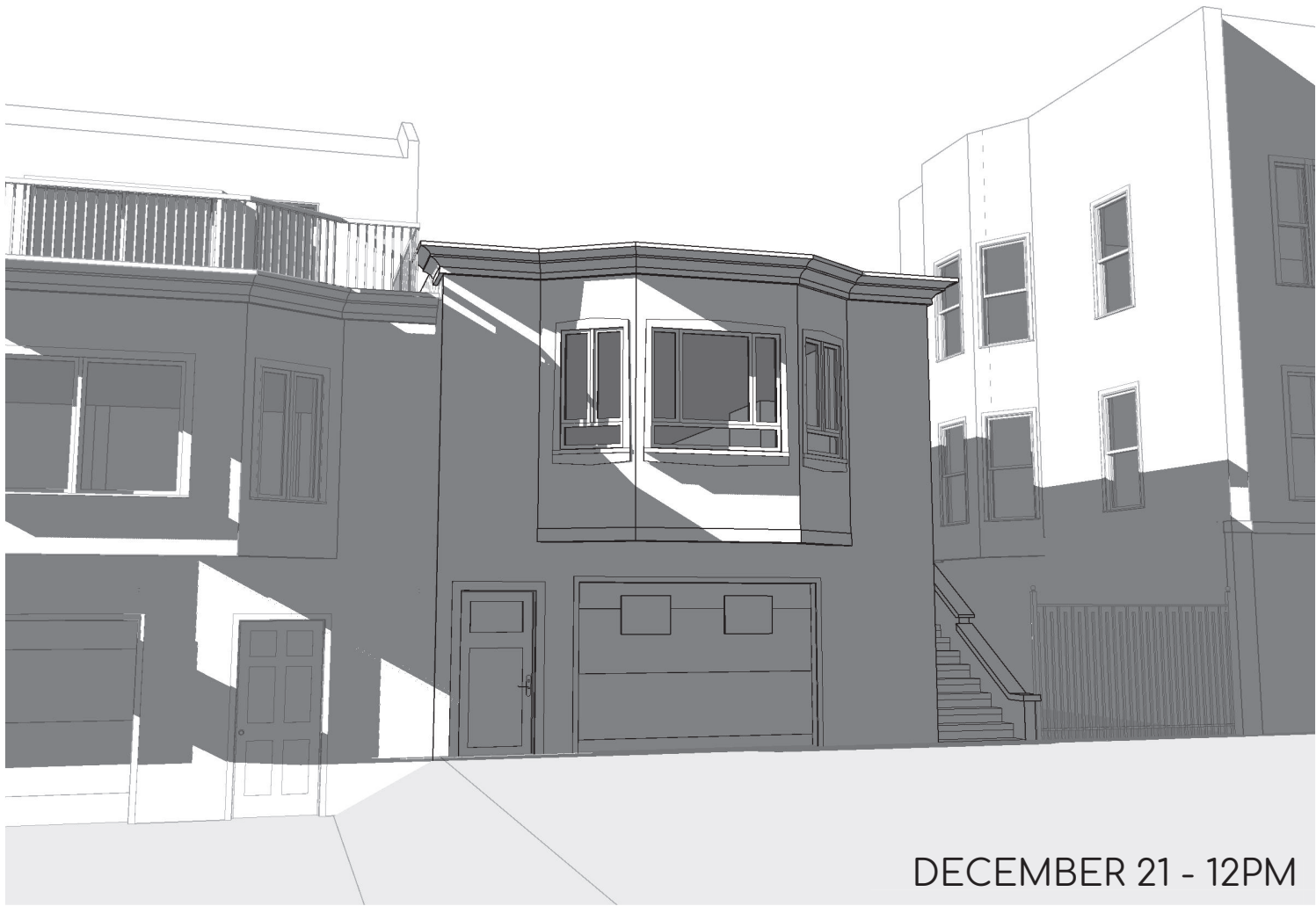
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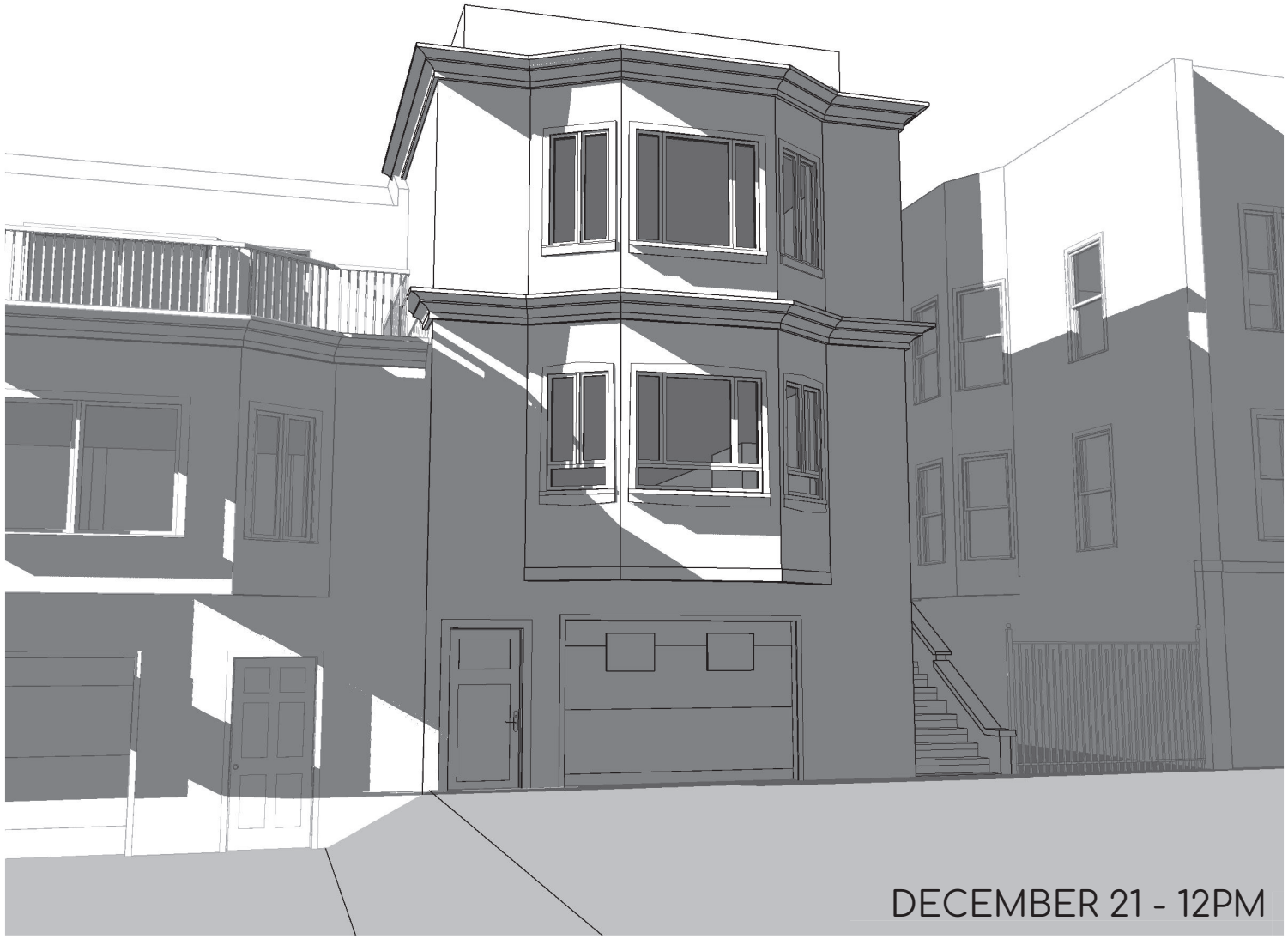


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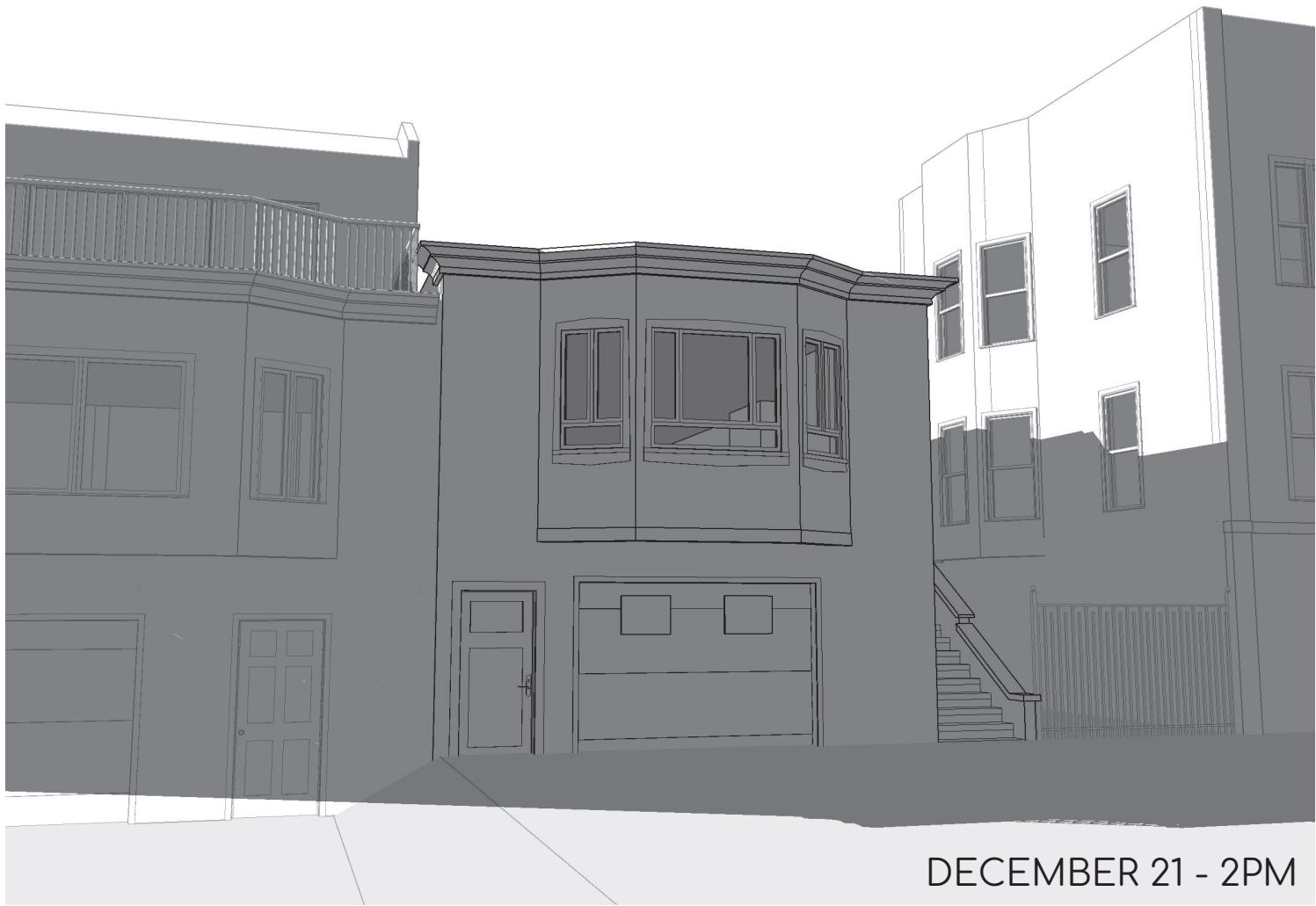
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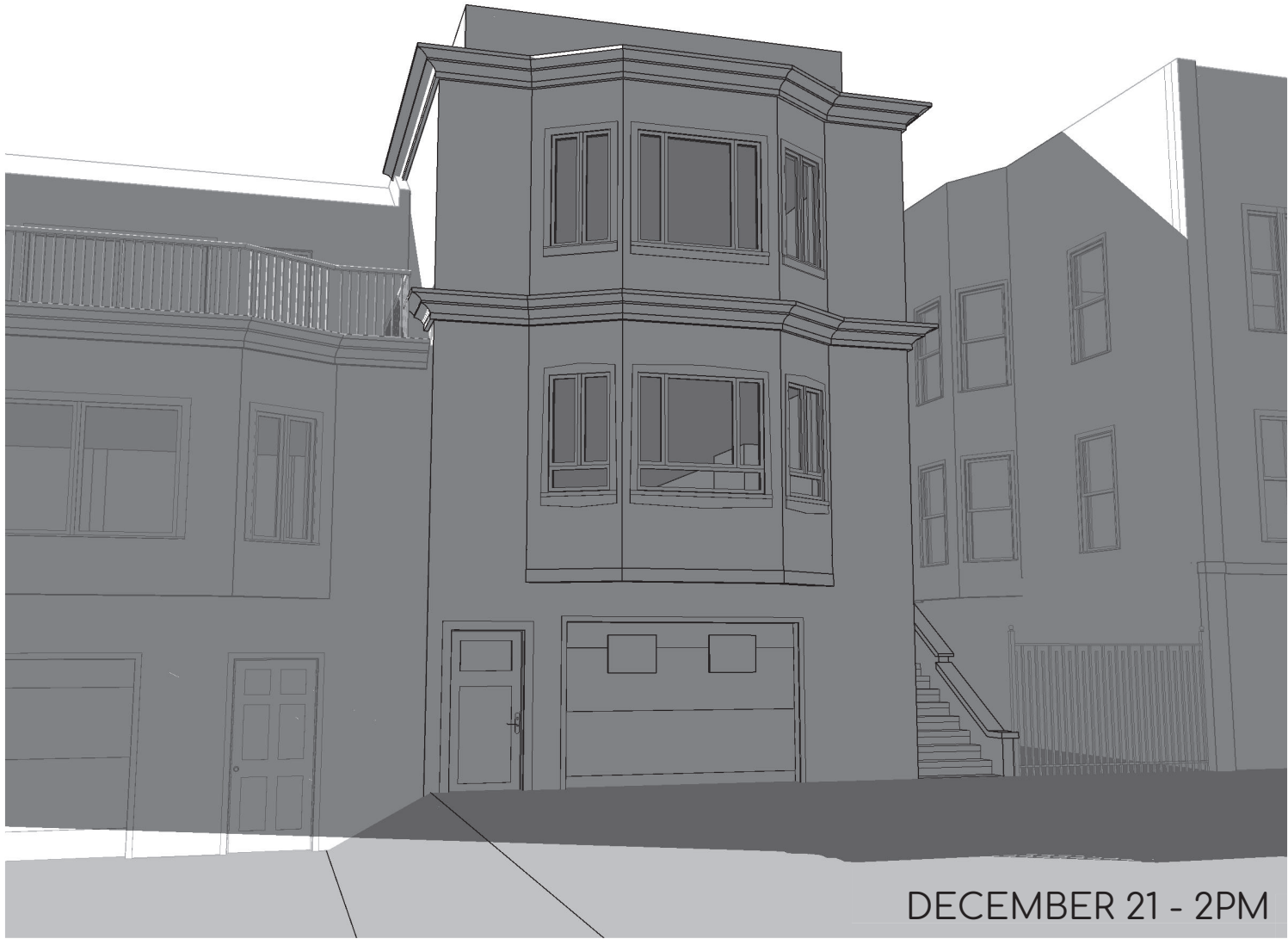
DECEMBER 21 - 12PM EXISTING



DECEMBER 21 - 12PM PROPOSED

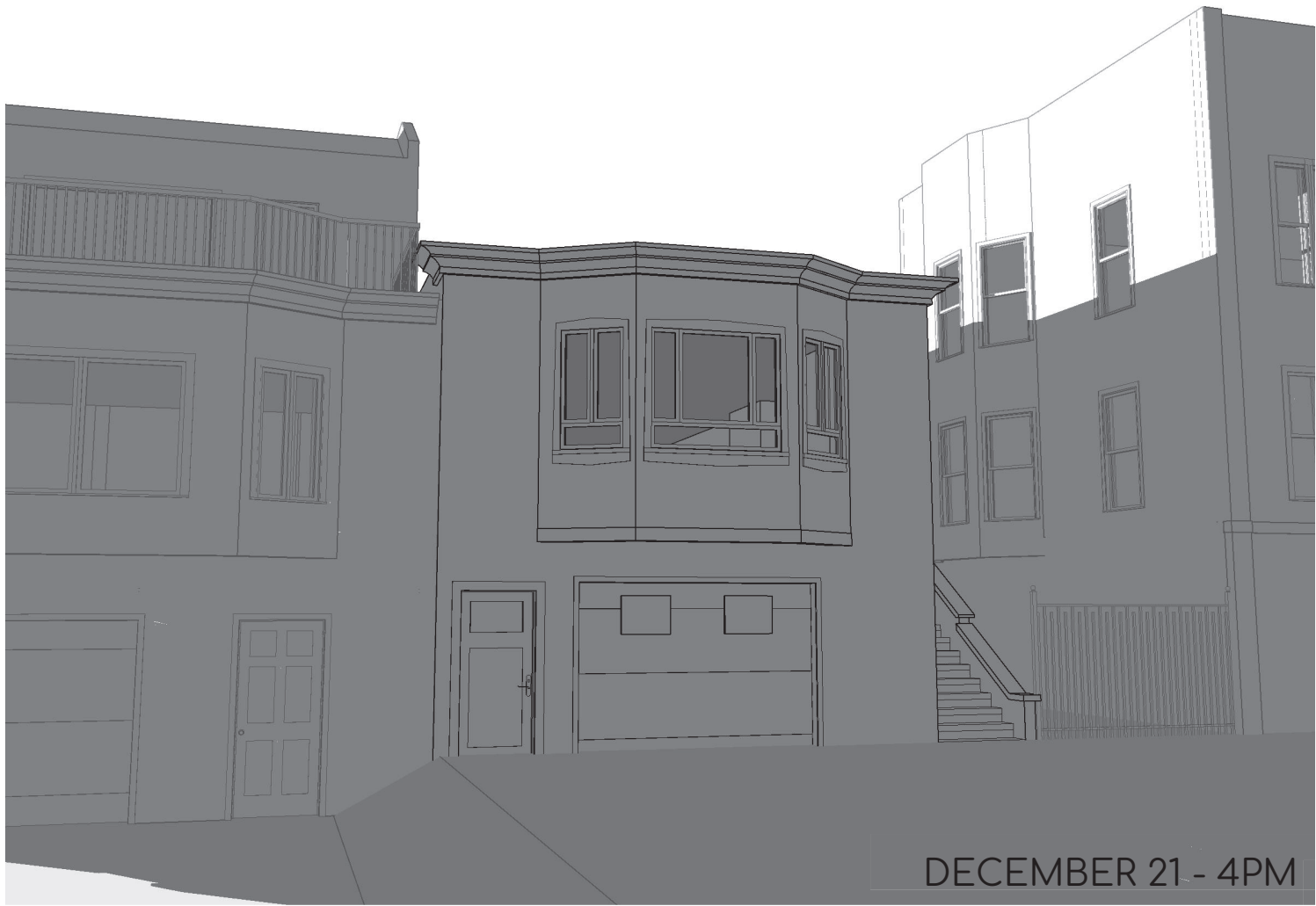


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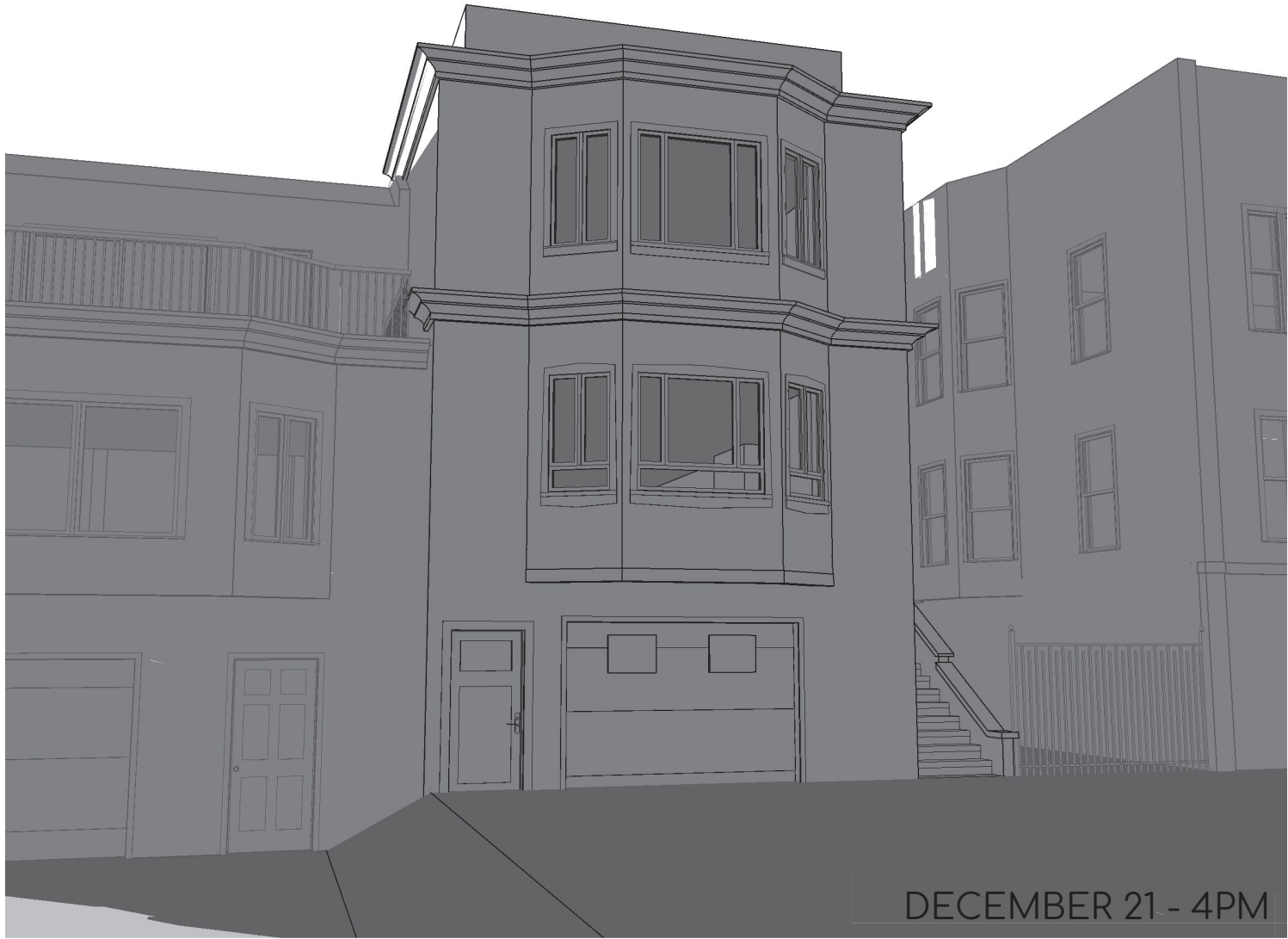
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PROPOSED



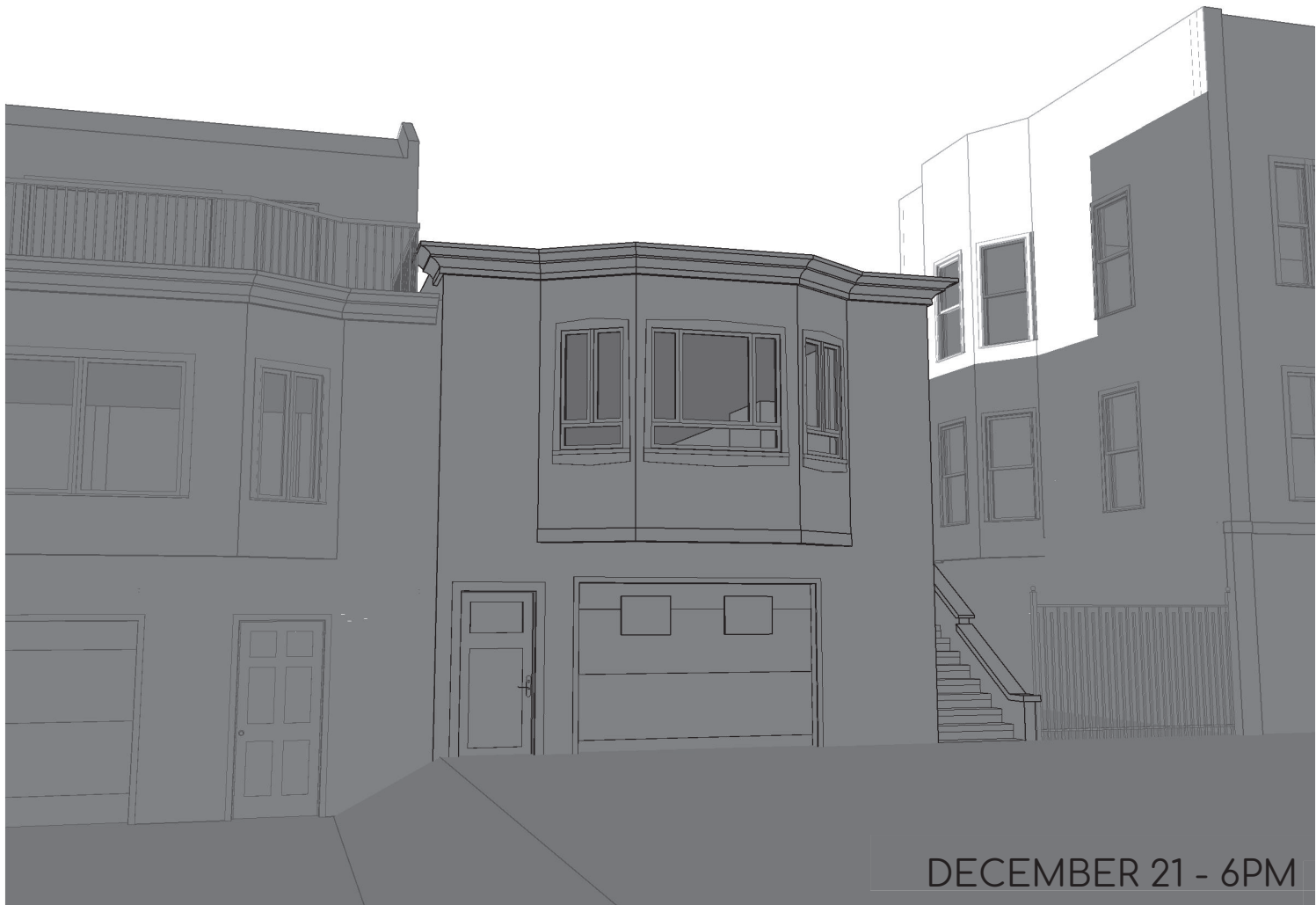
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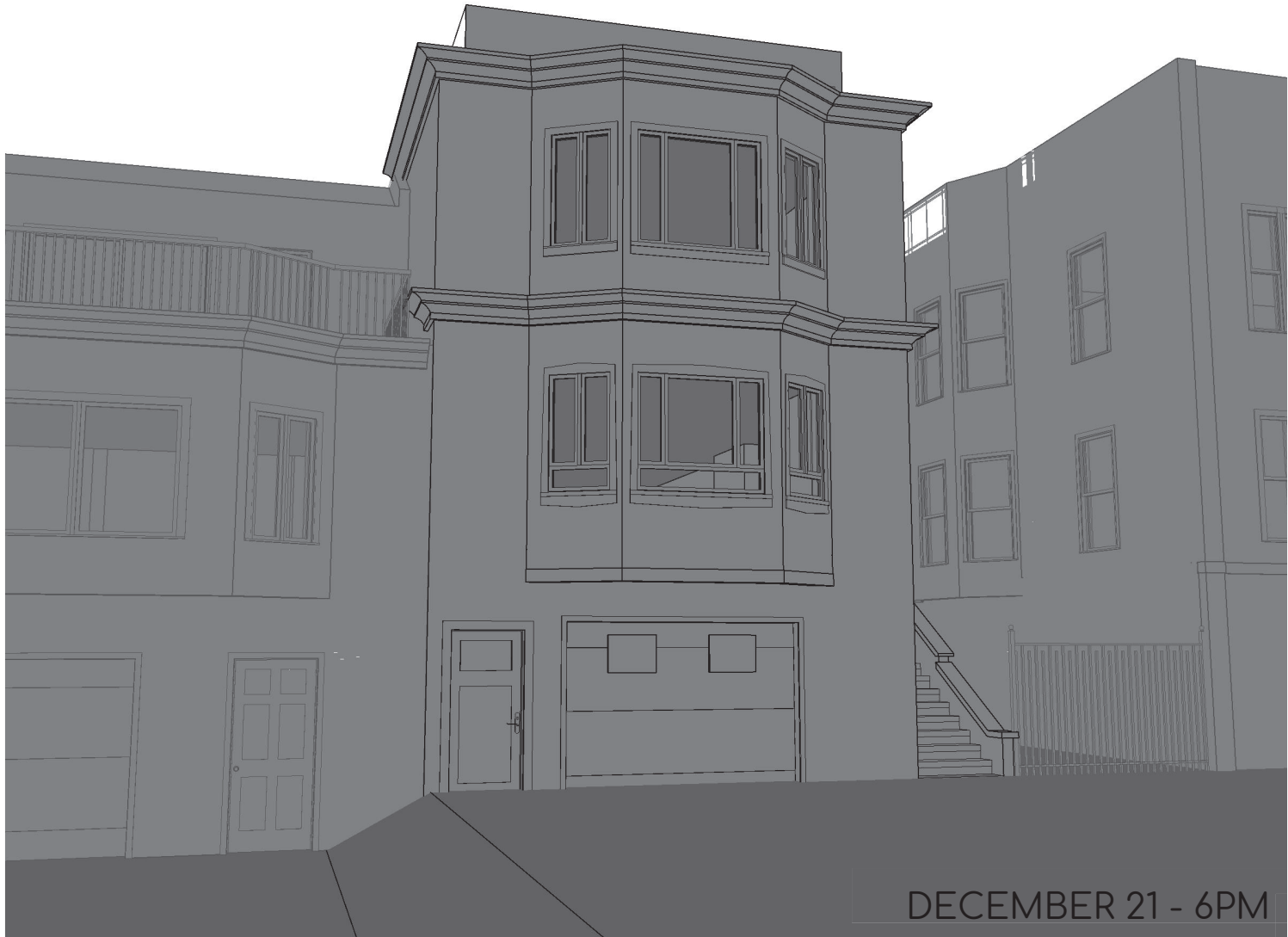
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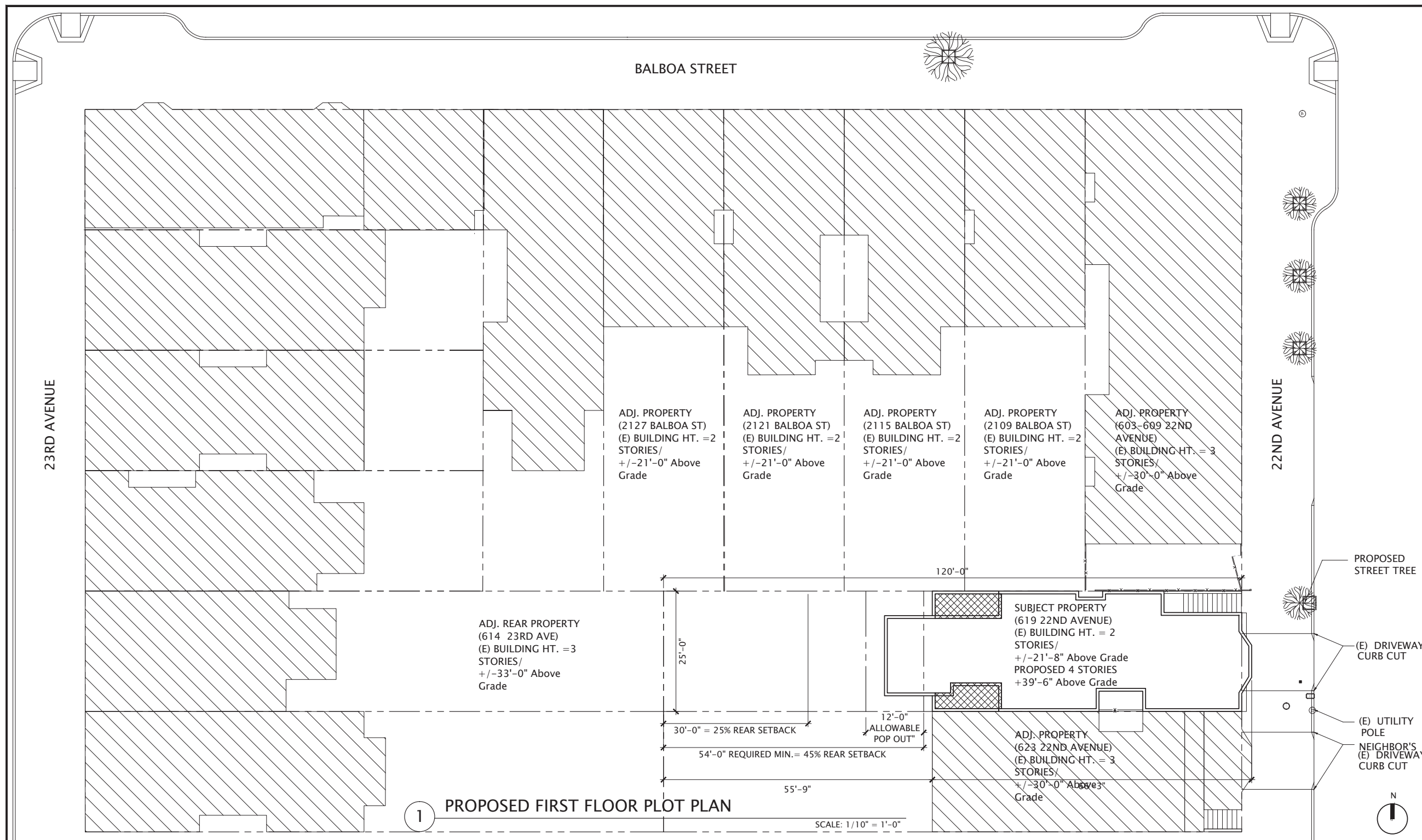
DECEMBER 21 - 6PM

EXISTING



DECEMBER 21 - 6PM

PROPOSED



1 PROPOSED FIRST FLOOR PLOT PLAN

Stamp



	Date
PROGRAMMING	12/22/2017
FINAL SCHEMATIC DESIGN	01/19/2018
NEIGHBORHOOD PRE-APP MTG.	01/31/2018
SF PLANNING DRAFT SUBMITTAL	02/26/2018
SF PLANNING DRAFT Client Revisions	03/07/2018

Project No. 1723

HORIZONTAL ADDITIONS WITH VERTICAL DWELLING UNIT ADDITION

619 22nd Avenue
San Francisco, CA 94121
BLOCK/LOT: 1622/002

Sheet
SITE PLAN

SHEET NOTES

- A. THE PROJECT SCOPE TO AN (E) TWO STORY RESIDENTIAL STRUCTURE IS AS FOLLOWS:
 - REAR YARD HORIZONTAL ADDITIONS AT THE EXISTING 1ST+ 2ND STORIES,
 - A 3RD + 4TH STORY VERTICAL ADDITION FOR A NEW TWO STORY UNIT
 - REAR YARD ROOF DECKS.
 - B. THE SUBJECT LOT IS 25'-0" WIDE AT THE FRONT X 120'-0" AT THE 0 LENGTH.
 - C. THE VERTICAL ADDITION MAINTAINS THE (E) SET BACK OF 6'-10" FROM THE FRONT PROPERTY LINE. THIS SETBACK MAINTAINS THE INTEGRITY OF THE (E) FACADE & ROOFLINE, AND MATCHES THE SETBACK OF THE ADJACENT PROPERTY.
 - D. THE VERTICAL ADDITION IS WITHIN THE ALLOWABLE SETBACK ESTABLISHED BY THE NEIGHBORING PROPERTY.
- BUILDING HEIGHTS**
- SUBJECT PROPERTY (619 22ND AVENUE):
(E) BUILDING HT. = 2 STORY / 20'-0" Above Grade
(N) BUILDING HT. = 4 STORIES/ 40'-0" Above Grade
 - ADJ. PROPERTY (623 22ND AVENUE)
(E) BUILDING HT. = 3 STORIES/+/-30'-0" Above Grade
 - ADJ. PROPERTY (2127 BALBOA ST)
(E) BUILDING HT. = 2 STORIES/
+/-21'-0" Above Grade
 - ADJ. PROPERTY (2121 BALBOA ST)
(E) BUILDING HT. = 2 STORIES/
+/-21'-0" Above Grade
 - ADJ. PROPERTY (2115 BALBOA ST)
(E) BUILDING HT. = 2 STORIES/
+/-21'-0" Above Grade
 - ADJ. PROPERTY (2109 BALBOA ST)
(E) BUILDING HT. = 2 STORIES/
+/-21'-0" Above Grade
 - ADJ. PROPERTY (603-609 22ND AVENUE)
(E) BUILDING HT. = 3 STORIES/
+/-30'-0" Above Grade
 - ADJ. REAR PROPERTY (614 23RD AVE)
(E) BUILDING HT. = 3 STORIES/
+/-33'-0" Above Grade
 - ADJ. PROPERTY (623 22ND AVENUE)
(E) BUILDING HT. = 3 STORIES/
+/-30'-0" Above Grade
- SETBACKS**
- NO ENCROACHMENTS UPON REQ. SETBACKS ARE PROPOSED FOR THIS PROJECT.
 - (E) FRONT SETBACK = 0'-0"
 - (E) SIDE SETBACK = 0'-0"
 - (E) REAR SETBACK = 43'-10"
 - (N) REAR SETBACK = 41'-9"

GREENING

PROJECT INFORMATION	REQUIRED	PROPOSED
STREET TREES Planning Code Sec. 138.1: Provide one 24-inch box or larger trees for every 20 feet of street frontage. **Only one tree is feasible due to existing driveway curb cuts and an existing utility pole on the 22nd Avenue frontage.	2 TREES FOR 25 FT FRONTAGE	1 TREE ** FOR 25 FT FRONTAGE

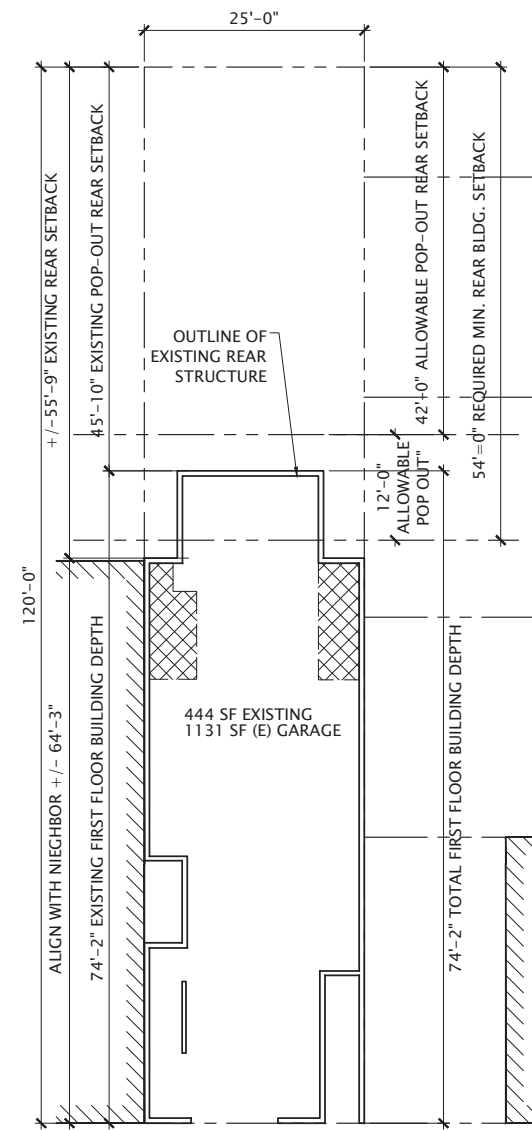
LEGEND

- PROPOSED ADDITION
- EXISTING WALLS
- KEY NOTE

EXIST. SITE PHOTOGRAPH

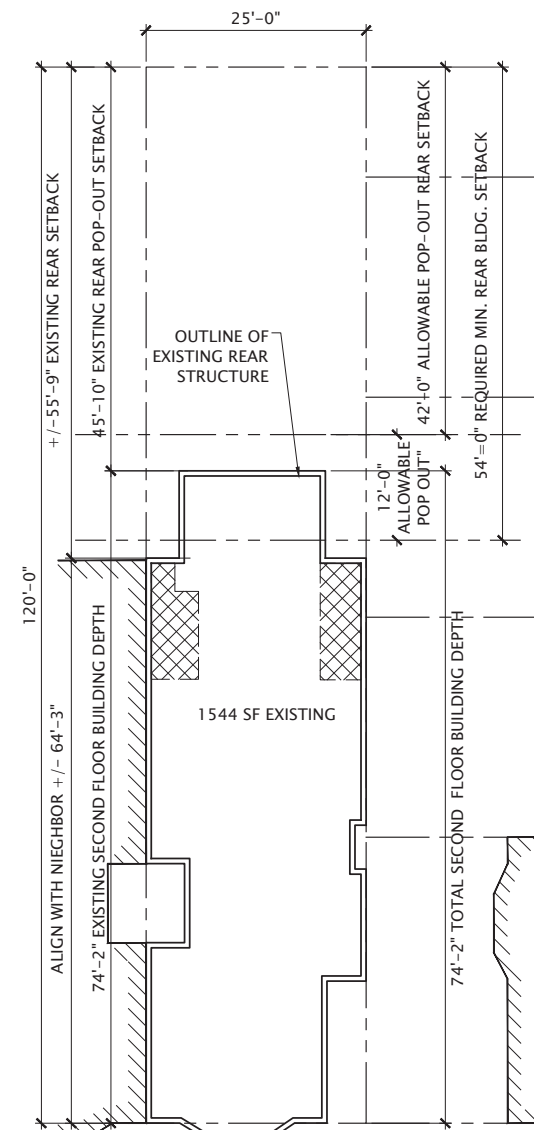


A0.01



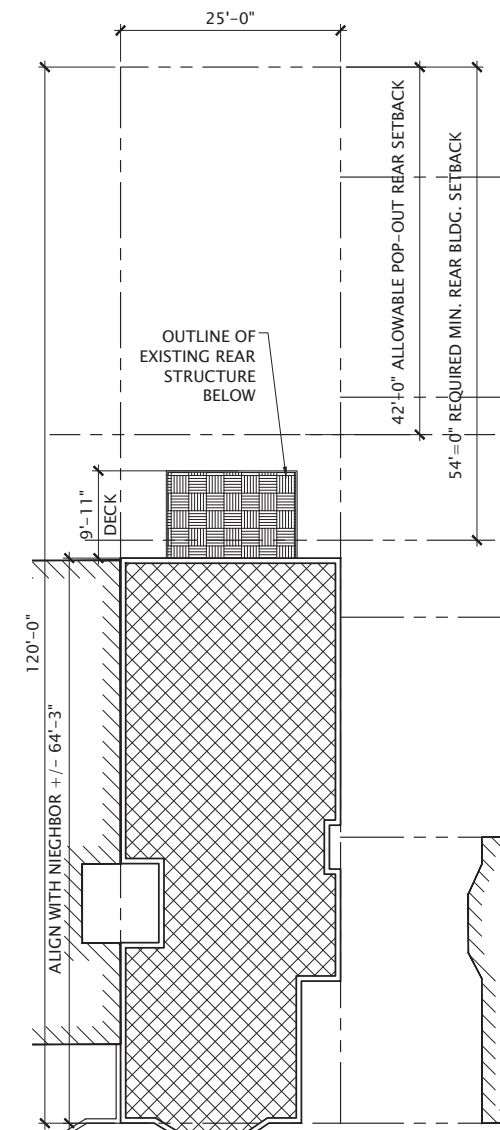
+ 133 SF ADDED

FIRST FLOOR PLAN



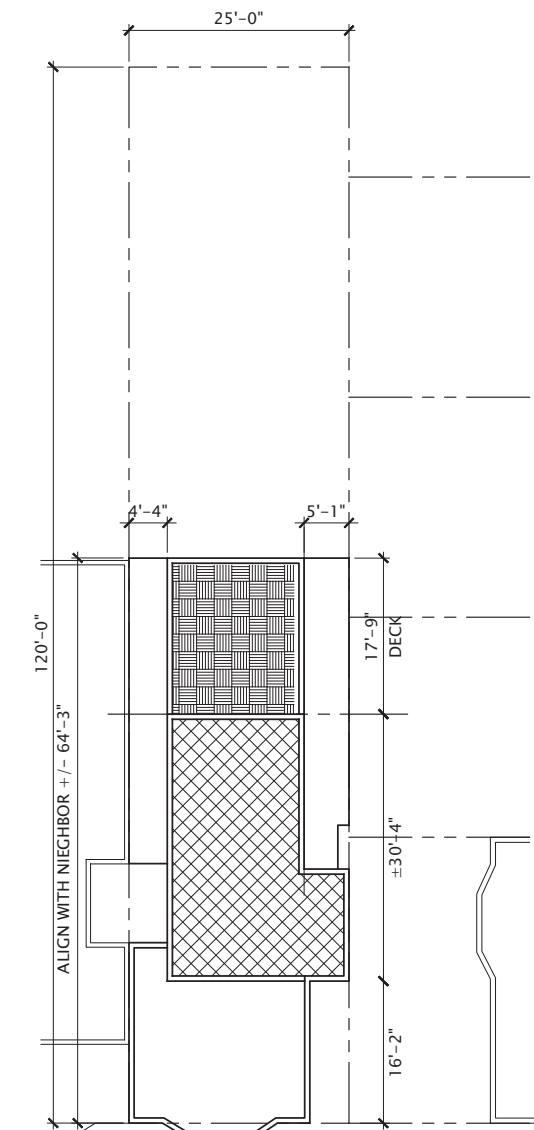
+ 133 SF ADDED

2ND FLOOR PLAN



+ 1504 SF ADDED
+ 170 SF DECK

THIRD FLOOR PLAN



+532 SF ADDED
+272 SF DECK

4TH FLOOR PLAN



1 SETBACK MASSING PLANS

SCALE: 1/10" = 1'-0"

LEGEND	
	PROPOSED ADDITION
	PROPOSED REAR YARD ROOD DECK

Stamp



	Date
PROGRAMMING	12/22/2017
FINAL SCHEMATIC DESIGN	01/19/2018
NEIGHBORHOOD PRE-APP MTG.	01/31/2018
SF PLANNING DRAFT SUBMITTAL	02/26/2018
SF PLANNING DRAFT Client Revisions	03/07/2018

Project No. 1723

**HORIZONTAL
ADDITIONS WITH
VERTICAL DWELLING
UNIT ADDITION**

619 22ND Avenue
San Francisco, CA 94121
BLOCK/LOT: 1622/002

Sheet
**SETBACK MASSING
PLANS**

A0.02

SHEET NOTES

- A. ANY ITEM SHOWN GRAPHICALLY, BUT NOT SPECIFICALLY NOTED SHALL BE CONSIDERED PART OF THE SCOPE OF WORK AS IF NOTED
- B. PROVIDE TYPICAL BLOCKING AT ALL WALL HUNG/ATTACHED ITEMS, SEE DETAIL 2/A5.03
- C. SEE DOOR & WINDOW SCHEDULES, SHEET A5.01 + A5.02 FOR DOOR & WINDOW INFORMATION & DETAILS
- D. RAINWATER LEADERS TO BE SCHEDULE 40, COLOR TO MATCH WALL
- E. PAINTING TO MATCH (E) AND HIDE ALL PATCHES & ALTERATIONS.

Stamp



KEYNOTES

- 01 NOT USED
- 02 PAINTED EXTERIOR CEMENT STUCCO
- 03 PAINTED WOOD DECORATIVE CORNICE
- 04 PAINTED WOOD INSULATED WINDOW. SEE WINDOW SCHEDULE ON A5.02
- 05 PAINTED WOOD DOOR. SEE DOOR SCHEDULE ON A5.01

	Date
PROGRAMMING	12/22/2017
FINAL SCHEMATIC DESIGN	01/19/2018
NEIGHBORHOOD PRE-APP MTG.	01/31/2018
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Project No. 1723

**HORIZONTAL
ADDITIONS WITH
VERTICAL DWELLING
UNIT ADDITION**

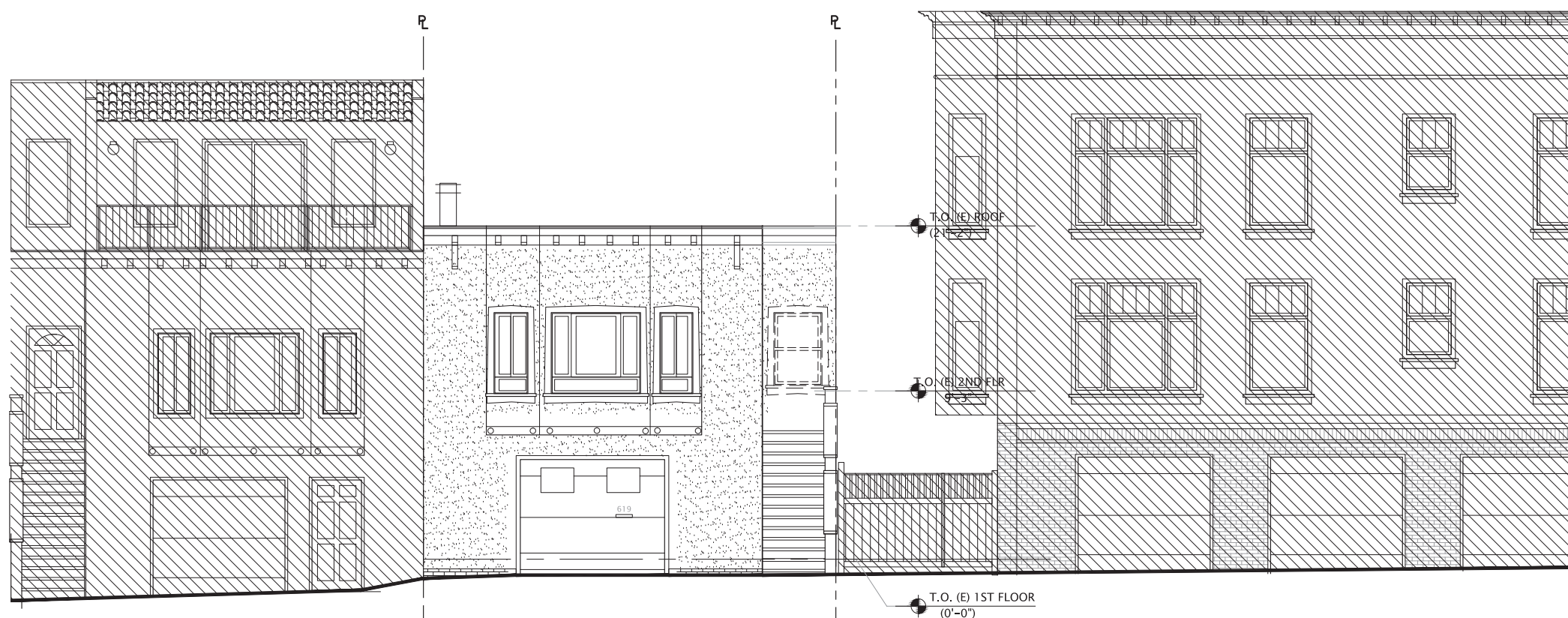
619 22ND Avenue
San Francisco, CA 94121
BLOCK/LOT: 1622/002

Sheet

**EXTERIOR BUILDING
ELEVATIONS**

LEGEND

- ← 02 KEY NOTE, SEE ABOVE
- (E) EXTERIOR ASBESTOS WALL SHINGLES TO BE REMOVED
- PAINTED EXTERIOR CEMENT STUCCO
- PAINTED EXTERIOR CEMENT BOARD SIDING



1 EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"



2 PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"

A3.01

SHEET NOTES

REFER TO DRAWING A3.01 FOR SHEET NOTES

Stamp



KEYNOTES

- 01 CEMENT BOARD LAP SIDING 6" WIDTHS.
- 02 PAINTED EXTERIOR CEMENT STUCCO
- 03 PAINTED WOOD DECORATIVE CORNICE
- 04 PAINTED WOOD INSULATED WINDOW. SEE WINDOW SCHEDULE ON A5.02
- 05 NOT USED
- 06 NOT USED
- 07 PROVIDE 1-HOUR FIRE RESISTANCE RATED ASSEMBLY AT ALL PROPERTY LINE BUILDING WALLS (PER CBC SEC 705).
- 08 PROVIDE SAFETY GLASS AT WINDOW NEXT TO BATHTUB (PER CBC 2406.4.5.)
- 09 PROVIDE TEMPERED GLASS RAILING ASSEMBLY AT ALL ROOF DECKS.
- 10 FIRE RESISTANT CLASS B COMPOSITE DECKING OVER SBS ROOFING SYSTEM. SEE DETAIL -/A2.03 FOR TYPICAL BALCONY / DECK ASSEMBLY
- 11 CLASS 'A' SBS MODIFIED BITUMEN ROOF ASSEMBLY, TYP. SEE 2/A2.03

	Date
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FINAL SCHEMATIC DESIGN	01/19/2018
NEIGHBORHOOD PRE-APP MTG.	01/31/2018
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SF PLANNING DRAFT Client Revisions	03/07/2018

Project No. 1723

HORIZONTAL ADDITIONS WITH VERTICAL DWELLING UNIT ADDITION

619 22ND Avenue
San Francisco, CA 94121
BLOCK/LOT: 1622/002

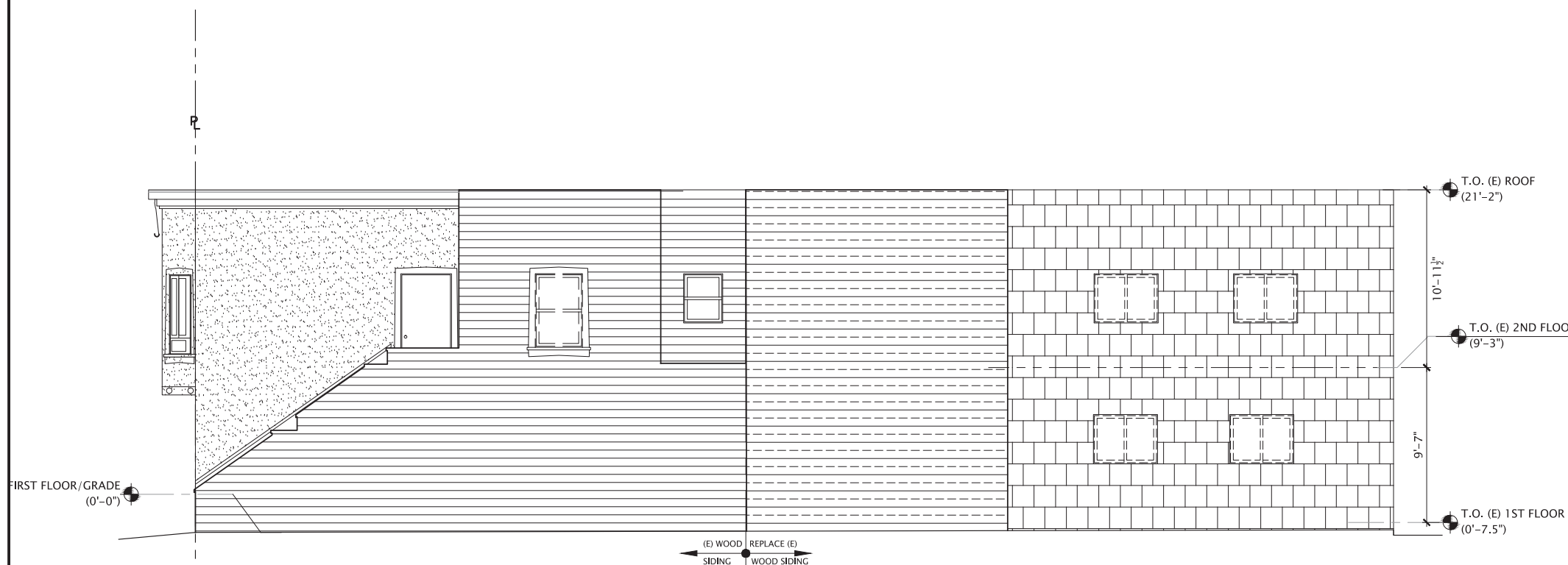
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EXTERIOR BUILDING ELEVATIONS

A3.02

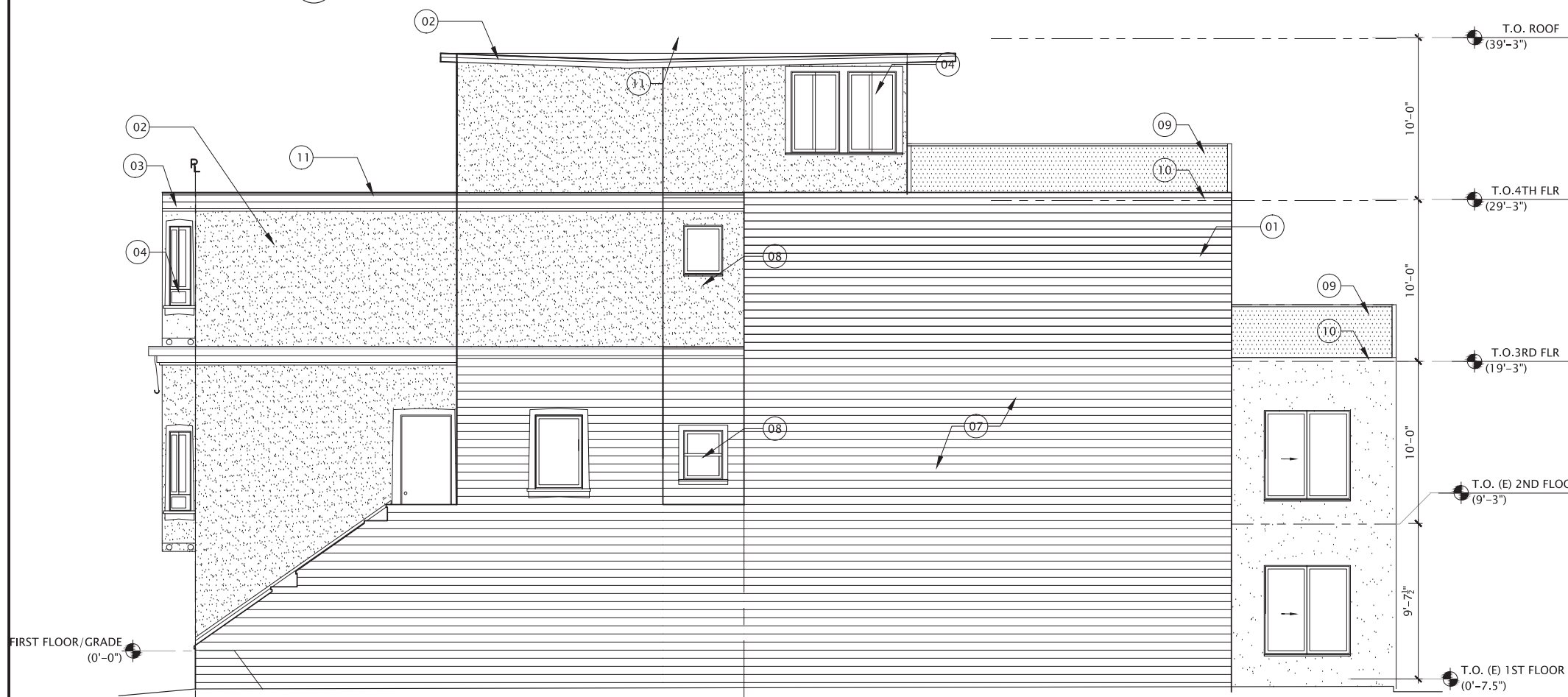
LEGEND

- ← 02 KEY NOTE, SEE ABOVE
- (E) EXTERIOR ASBESTOS WALL SHINGLES TO BE REMOVED
- PAINTED EXTERIOR CEMENT STUCCO
- PAINTED EXTERIOR CEMENT BOARD SIDING



1 EXISTING SIDE ELEVATION - VIEWED BY NORTH NEIGHBOR (603-609 22ND AVE)

SCALE: 1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION - VIEWED BY NORTH NEIGHBOR (603-609 22ND AVE)

SCALE: 1/4" = 1'-0"

SHEET NOTES

REFER TO DRAWING A3.01 FOR SHEET NOTES

Stamp



KEYNOTES

- 01 CEMENT BOARD LAP SIDING 6" WIDTHS.
- 02 PAINTED EXTERIOR CEMENT STUCCO
- 03 NOT USED
- 04 NOT USED
- 05 NOT USED
- 06 EMERGENCY ESCAPE AND RESCUE WINDOW WITH REQUIRED 5 SF CLEAR OPENING (PER CBC 1029). REFER TO WINDOW SCHEDULE ON A5.02
- 07 PROVIDE 1-HOUR FIRE RESISTANCE RATED ASSEMBLY AT ALL PROPERTY LINE BUILDING WALLS (PER CBC SEC 705).
- 08 NOT USED
- 09 PROVIDE TEMPERED GLASS RAILING ASSEMBLY AT ALL ROOF DECKS.
- 10 FIRE RESISTANT CLASS B COMPOSITE DECKING OVER SBS ROOFING SYSTEM. SEE DETAIL -/A2.03 FOR TYPICAL BALCONY /DECK ASSEMBLY
- 11 CLASS 'A' SBS MODIFIED BITUMEN ROOF ASSEMBLY, TYP. SEE 2/A2.03

LEGEND

- ← 02 KEY NOTE, SEE ABOVE
- (E) EXTERIOR ASBESTOS WALL SHINGLES TO BE REMOVED
- PAINTED EXTERIOR CEMENT STUCCO
- PAINTED EXTERIOR CEMENT BOARD SIDING

	Date
PROGRAMMING	12/22/2017
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SF PLANNING DRAFT Client Revisions	03/07/2018

Project No. 1723

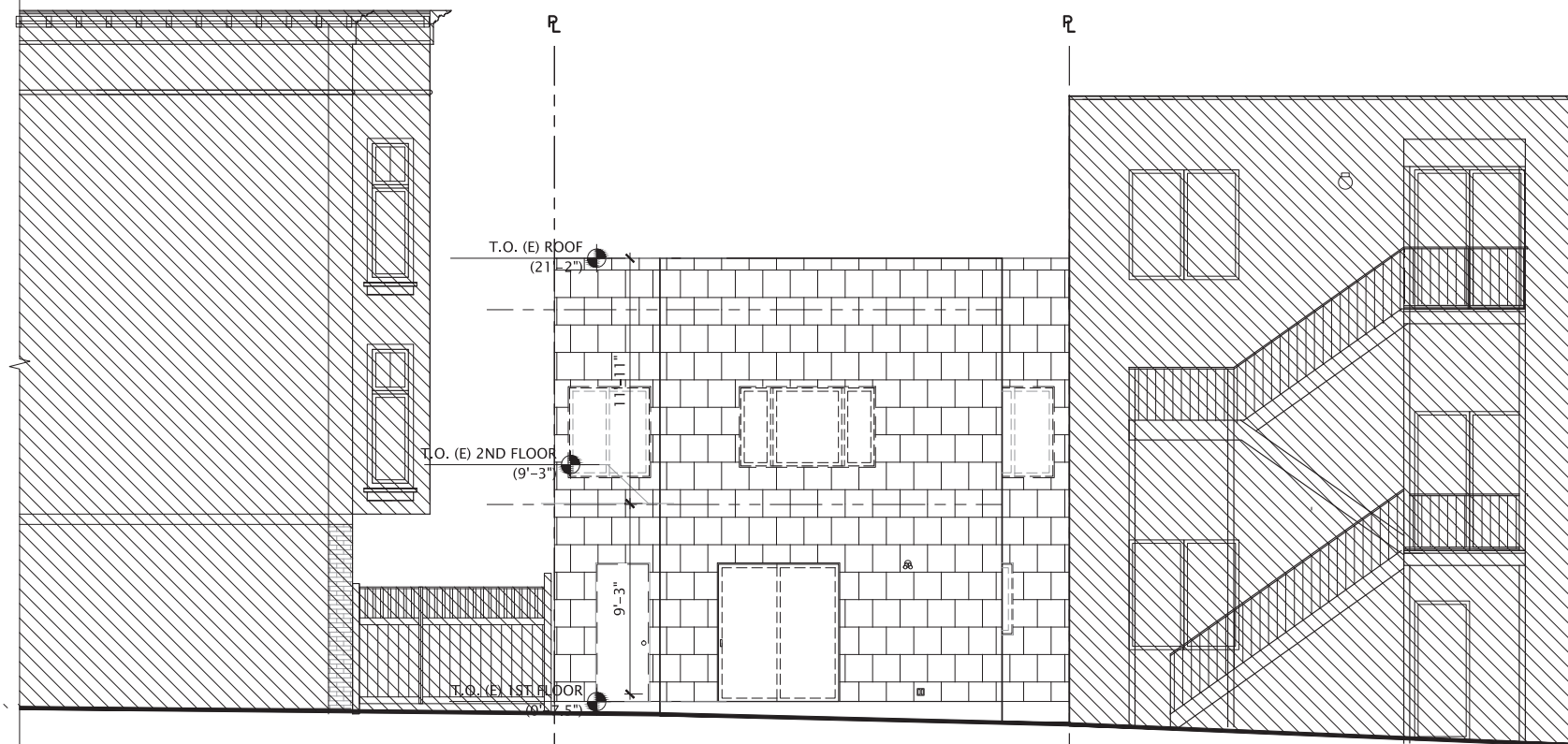
**HORIZONTAL
ADDITIONS WITH
VERTICAL DWELLING
UNIT ADDITION**

619 22ND Avenue
San Francisco, CA 94121
BLOCK/LOT: 1622/002

Sheet

**EXTERIOR BUILDING
ELEVATIONS**

A3.03



1 EXISTING REAR ELEVATION

1/4" = 1'-0"



2 PROPOSED REAR ELEVATION

1/4" = 1'-0"

SHEET NOTES

REFER TO DRAWING A3.01 FOR SHEET NOTES

Stamp



KEYNOTES

- 01 CEMENT BOARD LAP SIDING 6" WIDTHS.
- 02 PAINTED EXTERIOR CEMENT STUCCO
- 03 PAINTED WOOD DECORATIVE CORNICE
- 04 PAINTED WOOD INSULATED WINDOW. SEE WINDOW SCHEDULE ON A5.02
- 05 NOT USED
- 06 NOT USED
- 07 PROVIDE 1-HOUR FIRE RESISTANCE RATED ASSEMBLY AT ALL PROPERTY LINE BUILDING WALLS (PER CBC SEC 705).
- 08 NOT USED
- 09 PROVIDE TEMPERED GLASS RAILING ASSEMBLY AT ALL ROOF DECKS.
- 10 FIRE RESISTANT CLASS B COMPOSITE DECKING OVER SBS ROOFING SYSTEM. SEE DETAIL -/A2.03 FOR TYPICAL BALCONY/DECK ASSEMBLY
- 11 CLASS 'A' SBS MODIFIED BITUMEN ROOF ASSEMBLY, TYP. SEE 2/A2.03
- 12 SPRINKLER UNPROTECTED WINDOW OPENING TO COMPLY WITH 2016 CBC TABLE 705.8 FOR MAX. 25% RESIDENTIAL EXTERIOR WALL OPENING.

	Date
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SF PLANNING DRAFT Client Revisions	03/07/2018

Project No. 1723

**HORIZONTAL
ADDITIONS WITH
VERTICAL DWELLING
UNIT ADDITION**

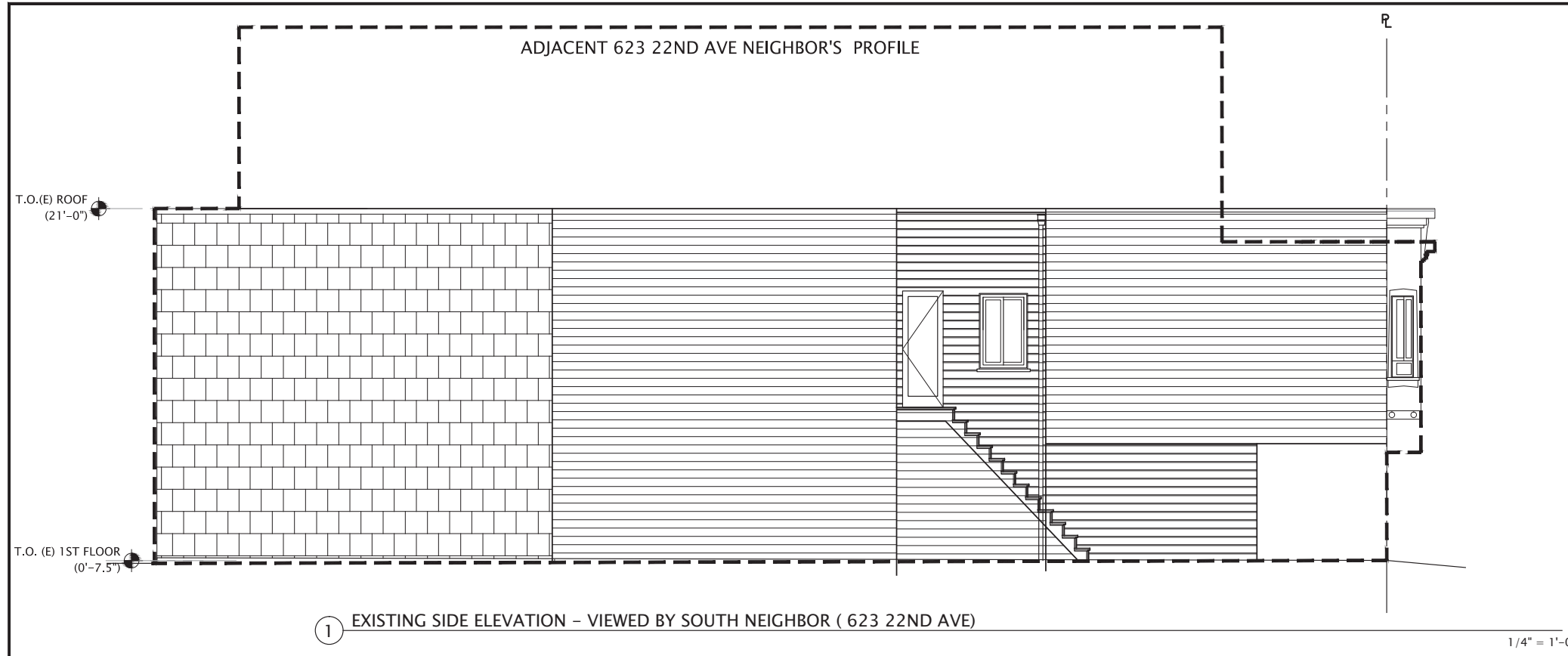
619 22ND Avenue
San Francisco, CA 94121
BLOCK/LOT: 1622/002

Sheet

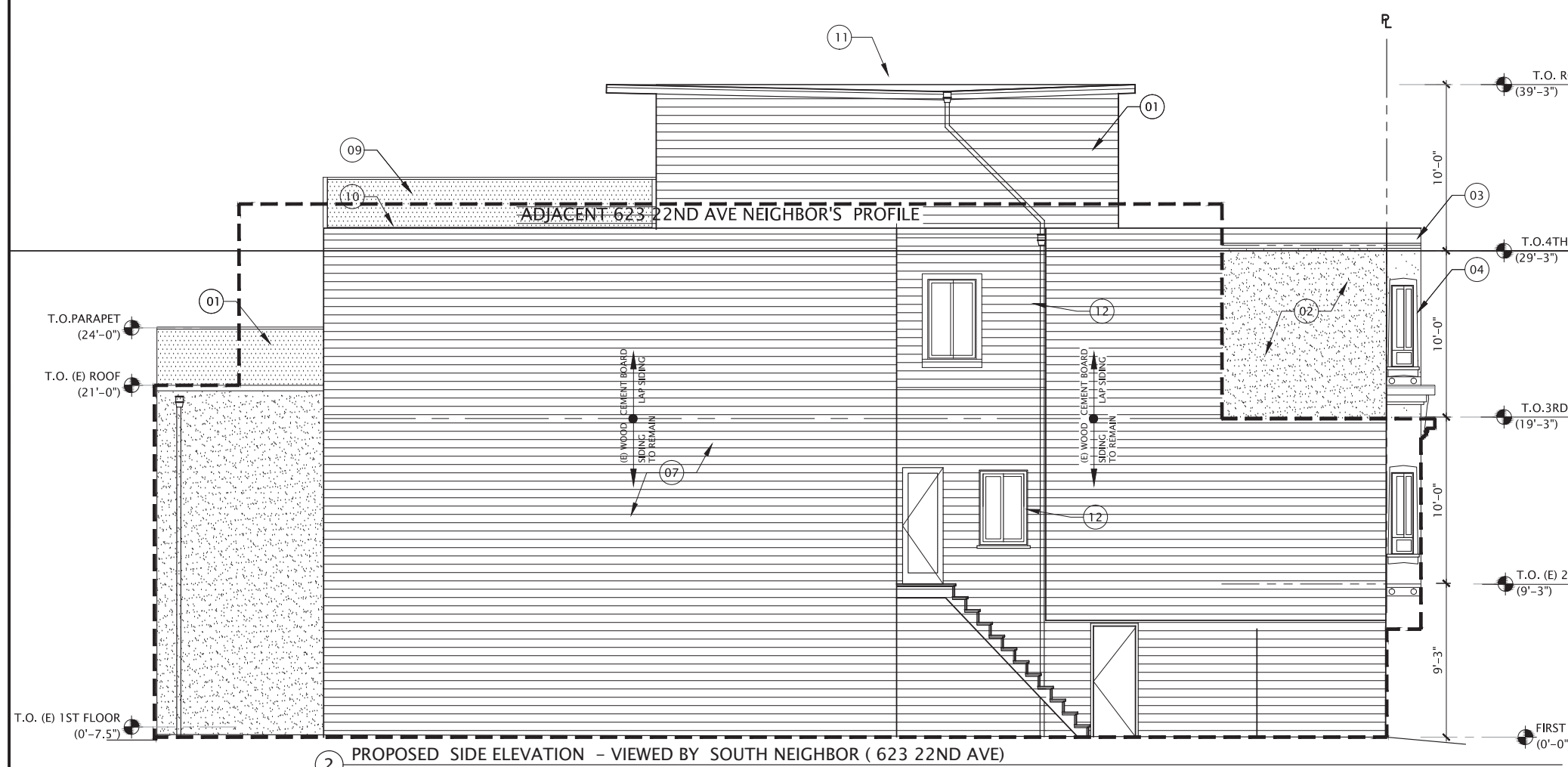
**EXTERIOR BUILDING
ELEVATIONS**

LEGEND

- ← 02 KEY NOTE, SEE ABOVE
- (E) EXTERIOR ASBESTOS WALL SHINGLES TO BE REMOVED
- PAINTED EXTERIOR CEMENT STUCCO
- PAINTED EXTERIOR CEMENT BOARD SIDING



1 EXISTING SIDE ELEVATION - VIEWED BY SOUTH NEIGHBOR (623 22ND AVE)



2 PROPOSED SIDE ELEVATION - VIEWED BY SOUTH NEIGHBOR (623 22ND AVE)

SHEET NOTES

- A. THE PROJECT SCOPE TO AN (E) TWO STORY RESIDENTIAL STRUCTURE IS AS FOLLOWS:
 - REAR YARD HORIZONTAL ADDITIONS AT THE EXISTING 1ST+ 2ND STORIES,
 - A 3RD + 4TH STORY VERTICAL ADDITION FOR A TWO STORY UNIT
 - REAR YARD ROOF DECKS.
- B. THE SUBJECT LOT IS 25'-0" WIDE AT THE FRONT X 120'-0" AT THE 0 LENGTH.
- C. THE VERTICAL ADDITION MAINTAINS THE (E) SET BACK OF 6'-10" FROM THE FRONT PROPERTY LINE. THIS SETBACK MAINTAINS THE INTEGRITY OF THE (E) FACADE & ROOFLINE, AND MATCHES THE SETBACK OF THE ADJACENT PROPERTY.
- D. THE VERTICAL ADDITION IS WITHIN THE ALLOWABLE SETBACK ESTABLISHED BY THE NEIGHBORING PROPERTY.

BUILDING HEIGHTS

SUBJECT PROPERTY (619 22ND AVENUE):
(E) BUILDING HT. = 2 STORY / 20'-0" Above Grade
(N) BUILDING HT. = 4 STORIES/ 40'-0" Above Grade

ADJ. PROPERTY (623 22ND AVENUE)
(E) BUILDING HT. = 3 STORIES/ +/-30'-0" Above Grade

ADJ. PROPERTY (603-609 22ND AVENUE)
(E) BUILDING HT. = 3 STORIES/ +/-30'-0" Above Grade

SETBACKS

NO ENCROACHMENTS UPON REQ. SETBACKS ARE PROPOSED FOR THIS PROJECT.

- (E) FRONT SETBACK = 2'-0"
- (E) SIDE SETBACK = 0'-0"
- (E) REAR SETBACK = 43'-10"
- (N) REAR SETBACK = 41'-9"

Stamp



	Date
PROGRAMMING	12/22/2017
FINAL SCHEMATIC DESIGN	01/19/2018
NEIGHBORHOOD PRE-APP MTG.	01/31/2018

GREENING

PROJECT INFORMATION	REQUIRED	PROPOSED
STREET TREES Planning Code Sec. 138.1: Provide one 24-inch box or larger trees for every 20 feet of street frontage. **Only one tree is feasible due to existing driveway curb cuts and an existing utility pole on the 22nd Avenue frontage .	2 TREES FOR 25 FT FRONTAGE	1 TREE ** FOR 25 FT FRONTAGE

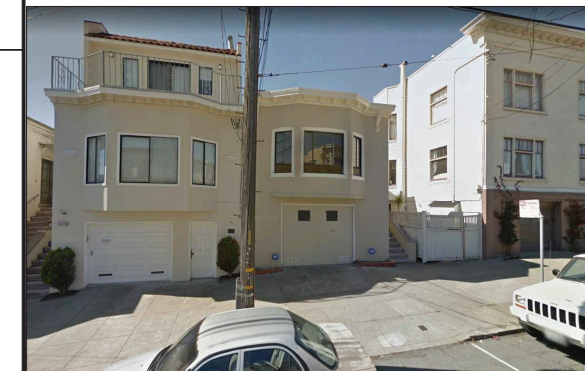
Project No. 1723

HORIZONTAL + VERTICAL ADDITIONS

LEGEND

- PROPOSED ADDITION
- WALLS BELOW
- KEY NOTE, SEE ABOVE

EXIST. SITE PHOTOGRAPH

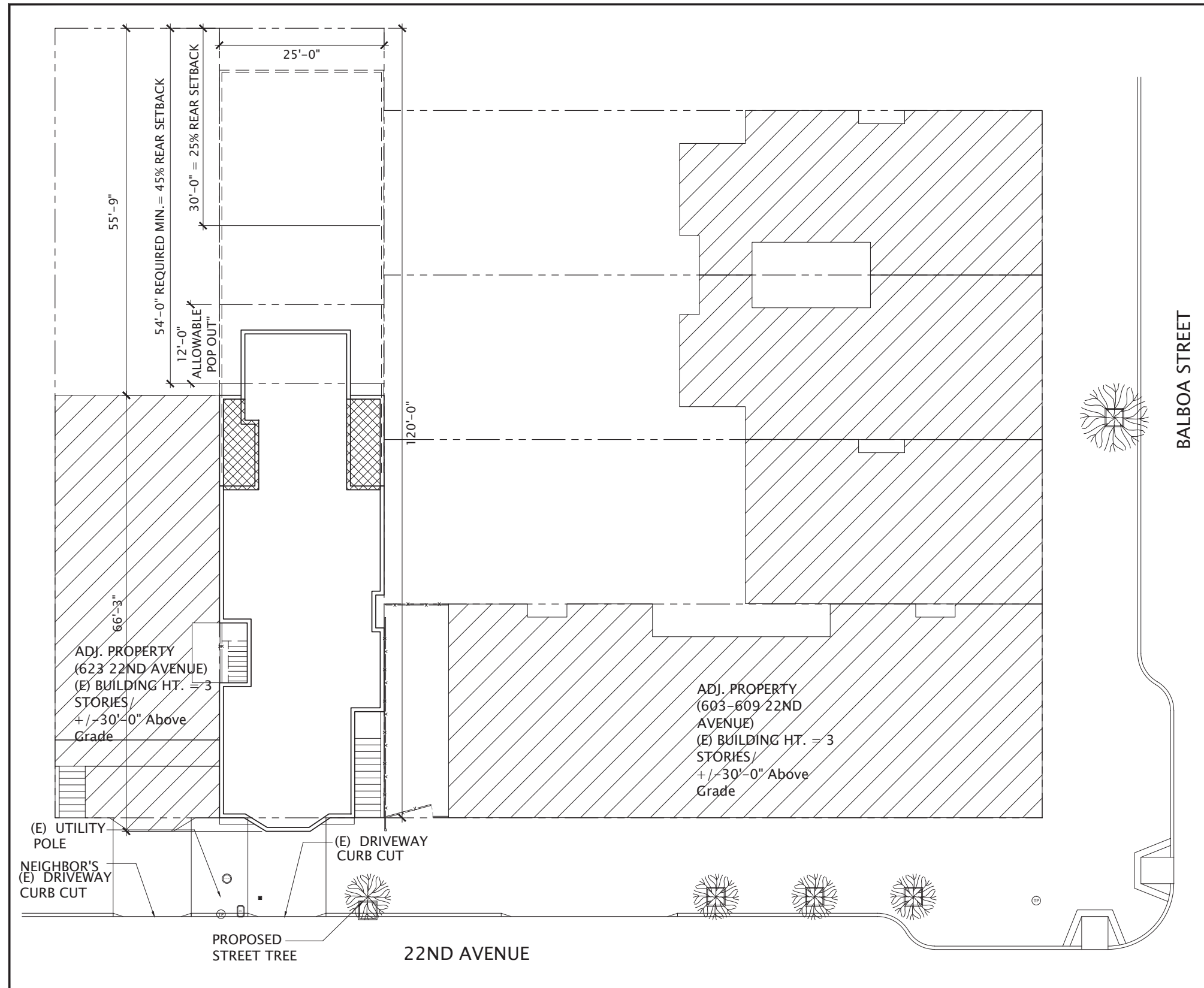


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BLOCK/LOT: 1622/002

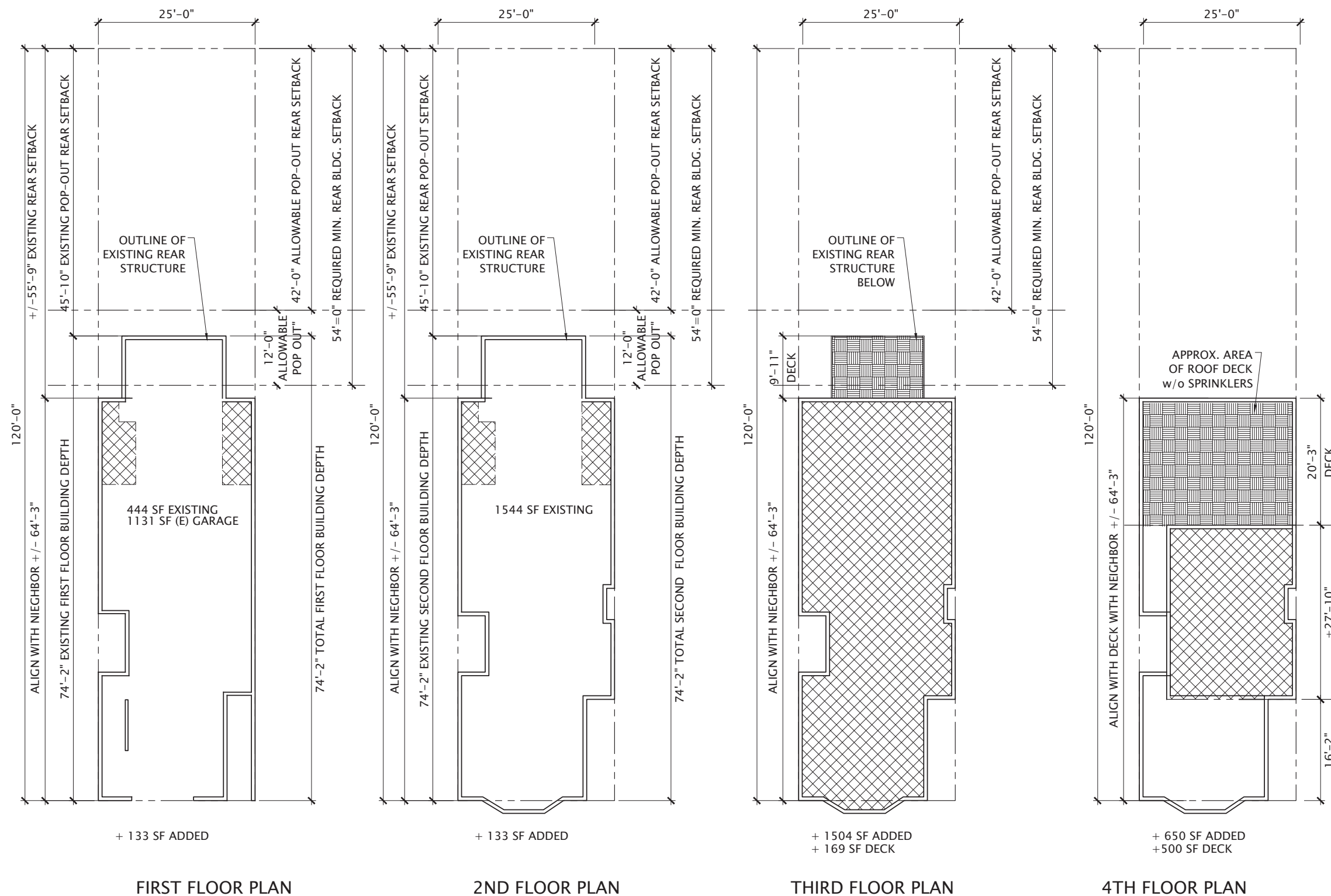
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SITE PLAN

A1.01



1 PROPOSED FIRST FLOOR PLOT PLAN SCALE: 1/8" = 1'-0"



1 SETBACK MASSING PLANS

SCALE: 1/8" = 1'-0"

LEGEND	
	PROPOSED ADDITION
	PROPOSED REAR YARD ROOD DECK

Stamp



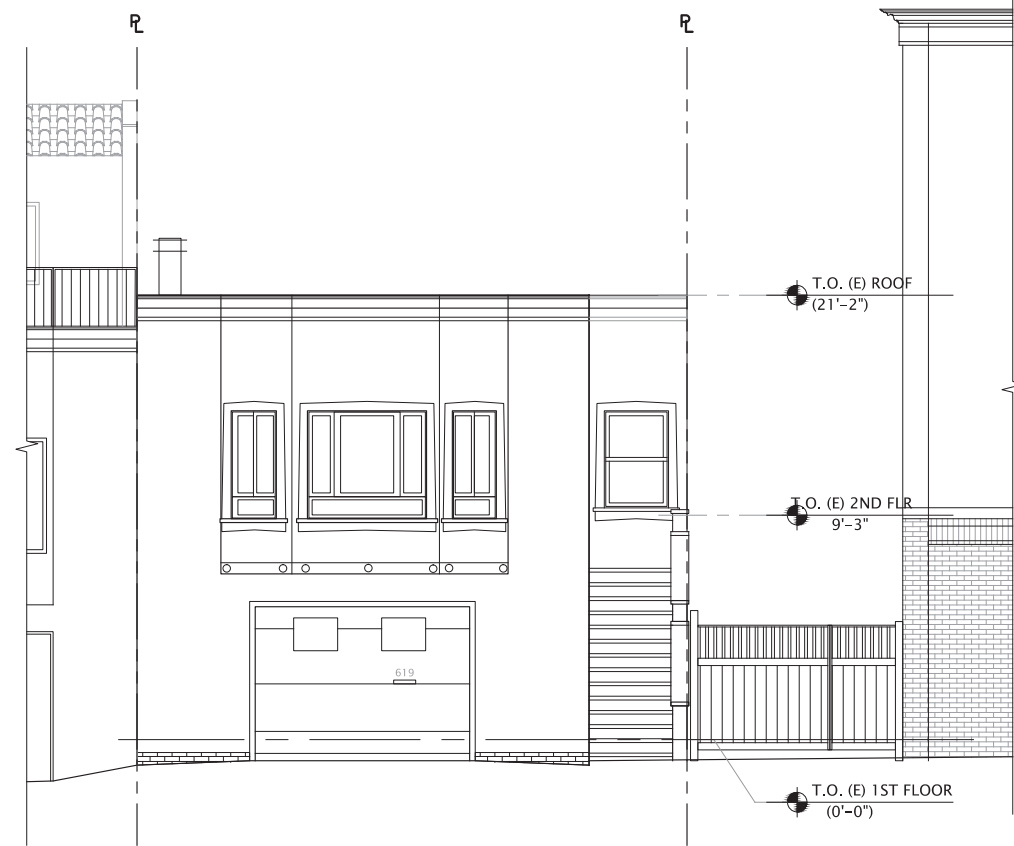
	Date
PROGRAMMING	12/22/2017
FINAL SCHEMATIC DESIGN	01/19/2018
NEIGHBORHOOD PRE-APP MTG.	01/31/2018

Project No. 1723

**HORIZONTAL
+ VERTICAL
ADDITIONS**

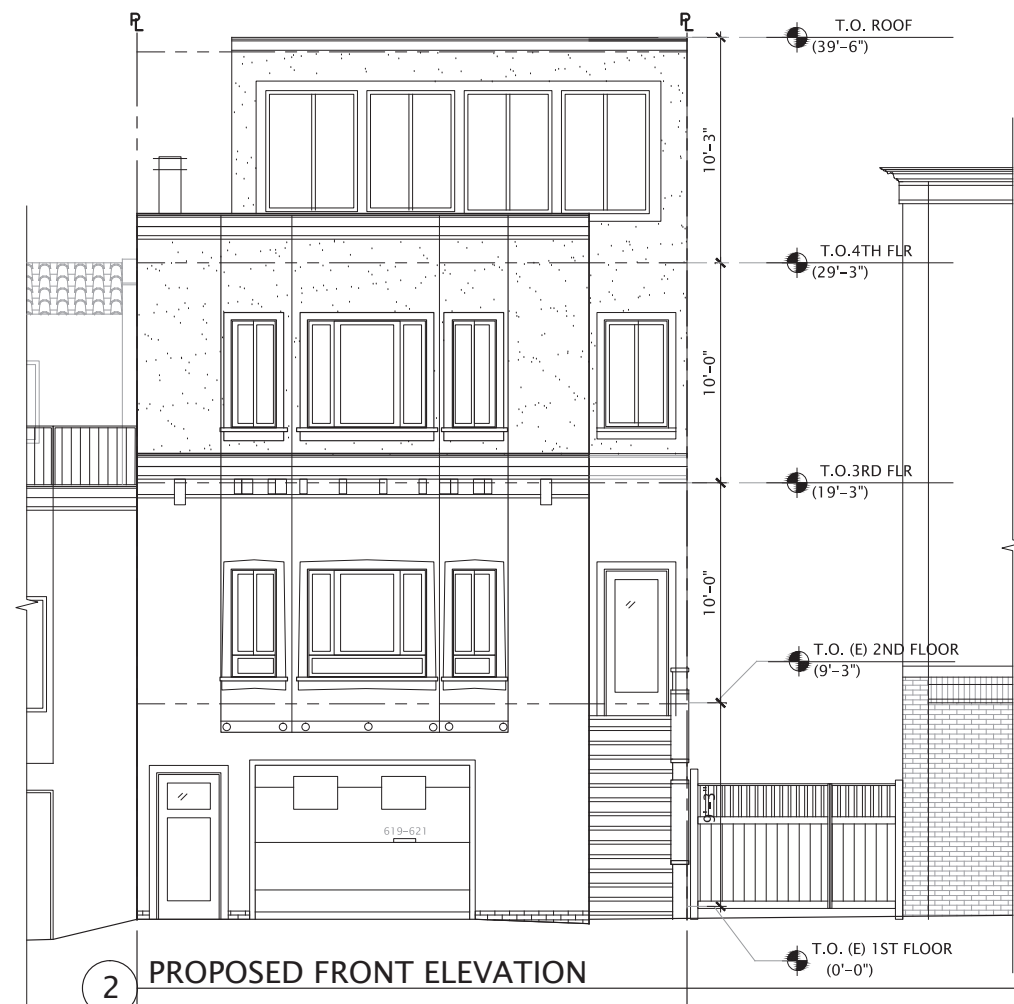
619 22ND Avenue
San Francisco, CA 94121
BLOCK/LOT: 1622/002

Sheet
**SETBACK MASSING
PLANS**



1 EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"



2 PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"

Stamp



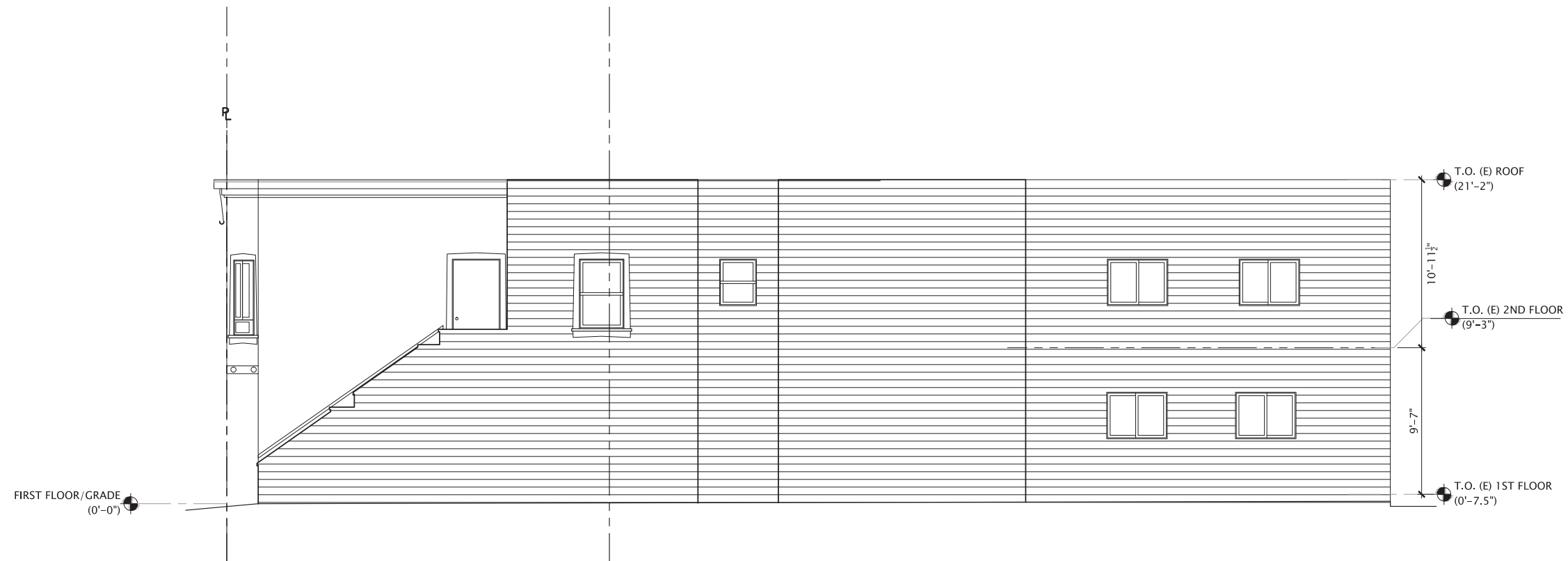
	Date
PROGRAMMING	12/22/2017
FINAL SCHEMATIC DESIGN	01/19/2018
NEIGHBORHOOD PRE-APP MTG.	01/31/2018

Project No. 1723
**HORIZONTAL
 + VERTICAL
 ADDITIONS**

619 22ND Avenue
 San Francisco, CA 94121
 BLOCK/LOT: 1622/002

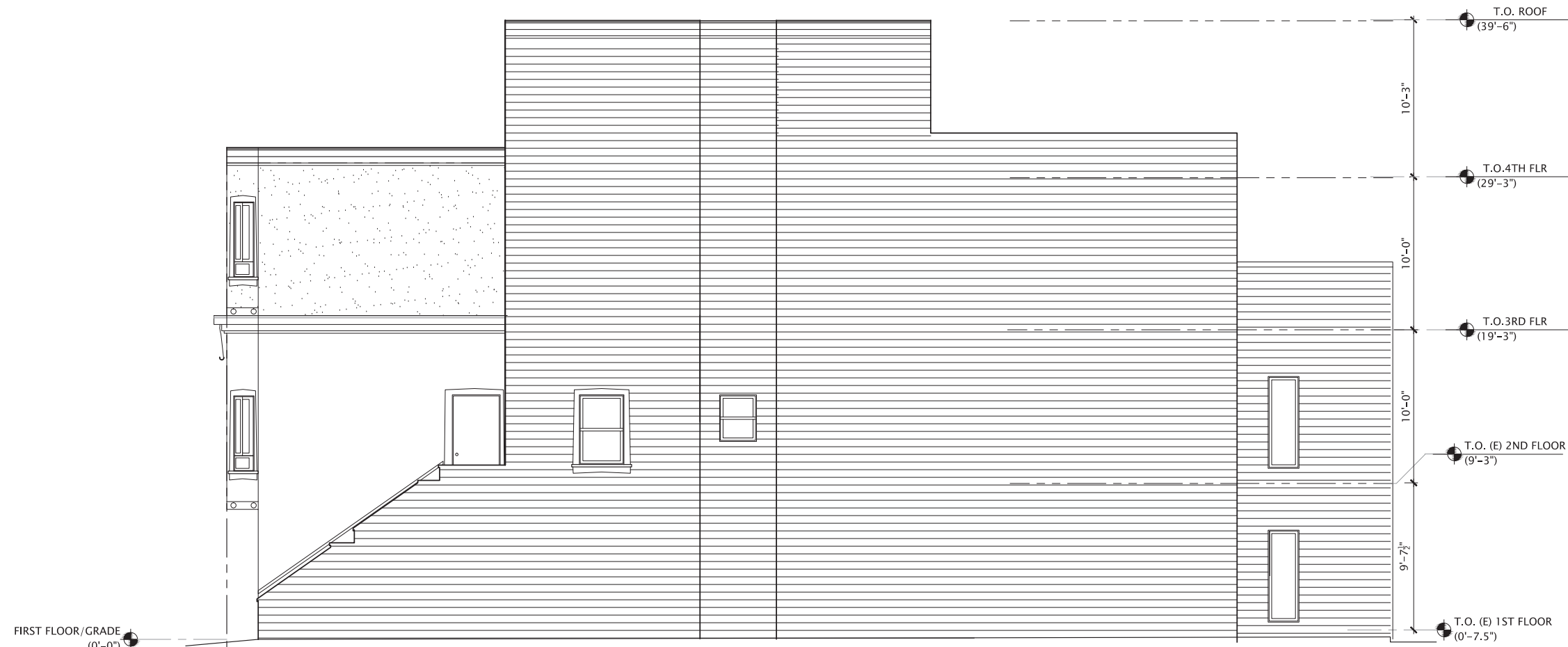
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**EXTERIOR BUILDING
 ELEVATIONS**

A3.01



1 EXISTING SIDE ELEVATION - VIEWED BY SOUTH NEIGHBOR

SCALE: 1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION - VIEWED BY SOUTH NEIGHBOR

SCALE: 1/4" = 1'-0"

Stamp



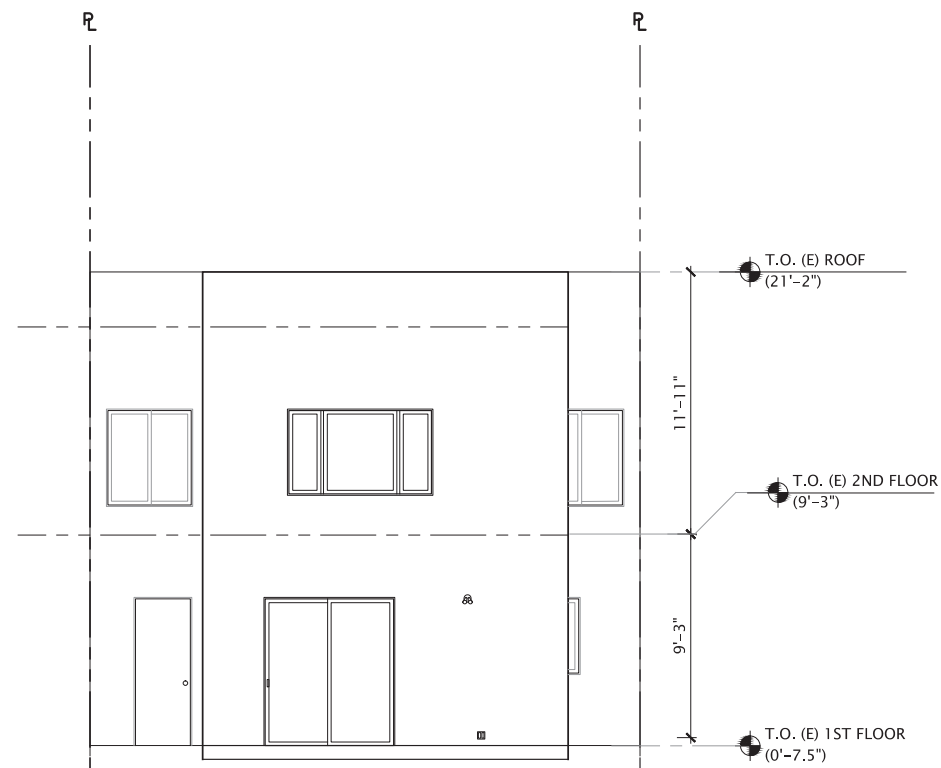
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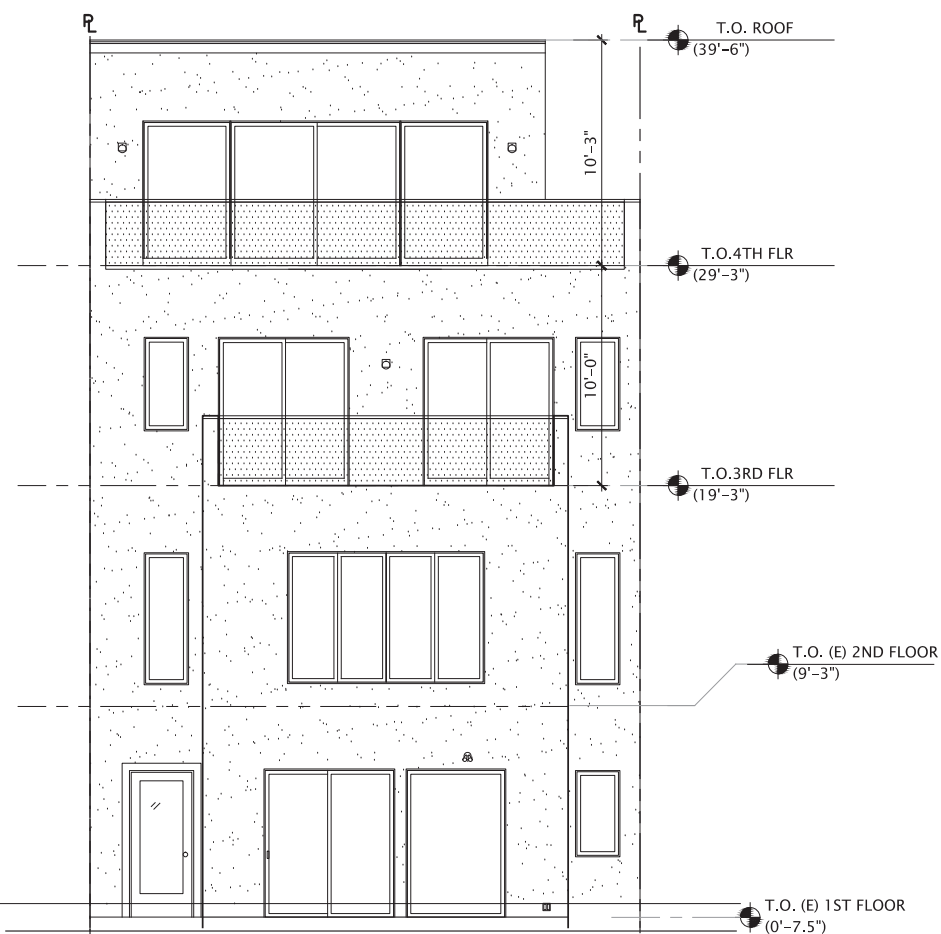
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**EXTERIOR BUILDING
 ELEVATIONS**

A3.02



1 EXISTING REAR ELEVATION

1/4" = 1'-0"



2 PROPOSED REAR ELEVATION

1/4" = 1'-0"

Stamp



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**HORIZONTAL
+ VERTICAL
ADDITIONS**

619 22ND Avenue
San Francisco, CA 94121
BLOCK/LOT: 1622/002

Sheet

**EXTERIOR BUILDING
ELEVATIONS**

A3.03

T.O. (E) ROOF
(21'-0")

T.O. (E) 1ST FLOOR
(0'-7.5")

ADJACENT 623 22ND AVE NEIGHBOR'S PROFILE

① EXISTING SIDE ELEVATION - VIEWED BY NORTH NEIGHBOR

1/4" = 1'-0"

T.O. PARAPET
(24'-0")

T.O. (E) ROOF
(21'-0")

T.O. (E) 1ST FLOOR
(0'-7.5")

ADJACENT 623 22ND AVE NEIGHBOR'S PROFILE

② PROPOSED SIDE ELEVATION - VIEWED BY NRTH NEIGHBOR

1/4" = 1'-0"

T.O. ROOF
(39'-6")

T.O. 4TH FLR
(29'-3")

T.O. 3RD FLR
(19'-3")

T.O. (E) 2ND FLOOR
(9'-3")

FIRST FLOOR/GRADE
(0'-0")

10'-3"

10'-0"

10'-0"

9'-3"

Stamp



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**HORIZONTAL
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ADDITIONS**

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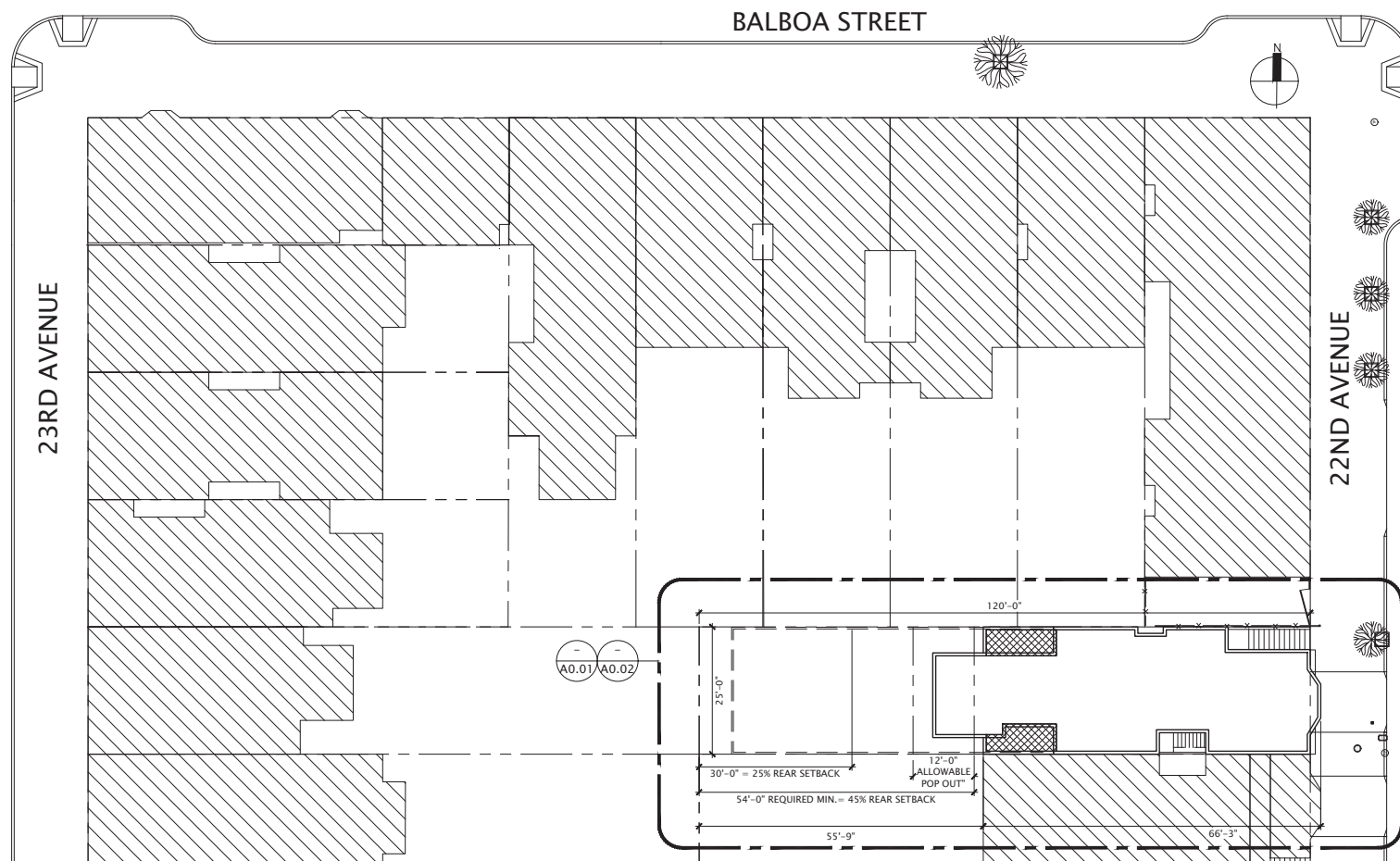
**EXTERIOR BUILDING
ELEVATIONS**

A3.04

HORIZONTAL ADDITIONS WITH VERTICAL UNIT ADDITION

619 22nd AVENUE, SAN FRANCISCO, CALIFORNIA 94121

SITE PLAN



DRAWING INDEX

- T1 GENERAL INFORMATION AND SITE MAP
- T2 GENERAL NOTES & ABBREVIATIONS
- T3 PHOTOS OF EXIST. SITE AND NEIGHBORING BUILDINGS
- A0.01 FIRST FLOOR SITE PLANS
- A0.02 SITE MASSING PLAN
- A1.01 FIRST & SECOND DEMOLITION FLOOR PLANS
- A1.02 ROOF DEMOLITION FLOOR PLAN
- A2.01 FIRST AND SECOND FLOOR PLANS
- A2.02 THIRD AND FOURTH FLOOR PLANS
- A2.03 ROOF PLAN
- A2.04 REFLECTED CEILING PLANS
- A2.05 REFLECTED CEILING PLANS
- A3.01 EXTERIOR ELEVATIONS
- A3.02 EXTERIOR ELEVATIONS
- A3.03 EXTERIOR ELEVATIONS
- A3.04 EXTERIOR ELEVATIONS
- A4.01 BUILDING SECTIONS
- A4.02 EXTERIOR BUILDING DETAILS
- A5.01 DOOR SCHEDULES
- A5.02 WINDOW SCHEDULES
- A5.03 FINISH AND WALL SCHEDULES
- A6.01 STAIR DETAILS

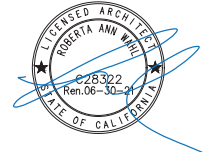
PROJECT DATA SUMMARY

PROJECT INFORMATION	EXISTING	PROPOSED
BLOCK/LOT	1622/002	NO CHANGE
CONSTRUCTION TYPE	TYPE V-B	NO CHANGE
STORIES	2	4
NUMBER OF UNITS	1	2
SPRINKLERS	NOT REQUIRED	YES @ UNIT B
OCCUPANCY	R-3	NO CHANGE
ZONING	RH-2	NO CHANGE
LOT DEPTH & WIDTH	120'-0" X 25'-0"	NO CHANGE
LOT AREA SQ. FT.	3,000 S.F.	NO CHANGE
UNIT B: TOTAL GROSS AREA		
4th FLOOR GROSS AREA	N/A	2,004 S.F.
3rd FLOOR GROSS AREA	N/A	500 S.F.
UNIT A: TOTAL GROSS AREA		
2nd FLOOR GROSS AREA	1,988 S.F.	2,254 S.F.
1st FLOOR GROSS AREA	1,544 S.F.	1,677 S.F.
TOTAL UNIT A+B GROSS AREA	444 S.F.	577 S.F.
TOTAL UNIT A+B GROSS AREA	1,988 S.F.	4,248 S.F.
GARAGE AREA	1,131 S.F.	1,131 S.F.
OVERHANGS & DECKS	N/A	398 S.F.
TOTAL GROSS AREA SQ. FT.	3,119 S.F.	5,777 S.F.
FLOOR AREA, OCCUPIED*	1,988 S.F.	4,047 S.F.

*RH-2 F.A.R. RATIO 1.8 TO 1 = 5400 S.F. OCCUPIED ALLOWABLE

PROJECT SCOPE OF WORK

- THE SCOPE OF WORK CONSISTS OF BUT IS NOT LIMITED TO:
- REAR YARD HORIZONTAL ADDITIONS AT EXISTING 1ST AND 2ND STORIES
 - 3RD + 4TH STORIES VERTICAL UNIT ADDITION TO THE EXISTING BUILDING FOR A NEW TWO-STORY UNIT 'B'
 - 3RD + 4TH FLOOR REAR YARD ROOF DECKS.
 - FIRE SPRINKLER SYSTEM AT (UNIT B) VERTICAL ADDITION (E) UNIT 'A' NOT REQUIRED. TWO MEANS OF EXIT PROVIDED.
 - FULL ELECTRICAL UPGRADE THROUGHOUT EXISTING PER 2016 CEC WITH SELECTIVE DEMOLITION TO PERFORM THE WORK.



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SF PLANNING DRAFT SUBMITTAL	02/26/2018
SF PLANNING DRAFT Client Revisions	03/07/2018
SF PLANNING SUBMITTAL	03/12/2018
SF PLANNING SUBMITTAL	02/28/2020

PROJECT TEAM

OWNER KEIMING YEN
619 22ND AVENUE
SAN FRANCISCO, CA 94121

ARCHITECT PLUM ARCHITECTS
936 CLEMENT STREET
SAN FRANCISCO, CA 94118
415-837-0900
CONTACT: ROBERTA WAHL

STRUCTURAL DOUBLE-D ENGINEERING
72 OTIS STREET
SAN FRANCISCO, CA 94103
415-551-5150 x105
KEVIN O'SULLIVAN

Project No. 1723

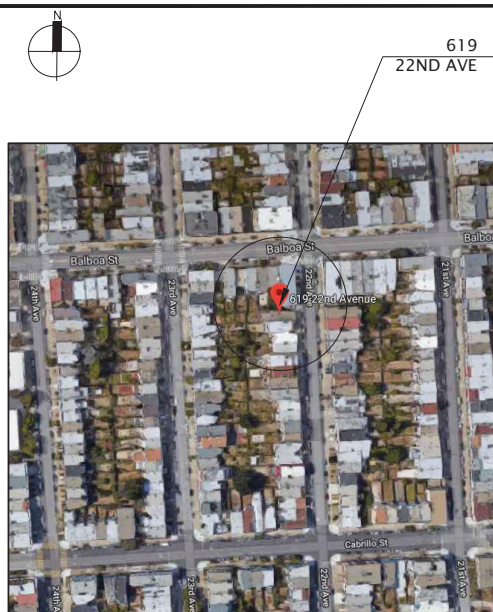
HORIZONTAL ADDITIONS WITH VERTICAL DWELLING UNIT ADDITION

619 22ND Avenue
San Francisco, CA 94121
BLOCK/LOT: 1622/002

Sheet

GENERAL INFORMATION SITE, VICINITY & MAPS

VICINITY MAP



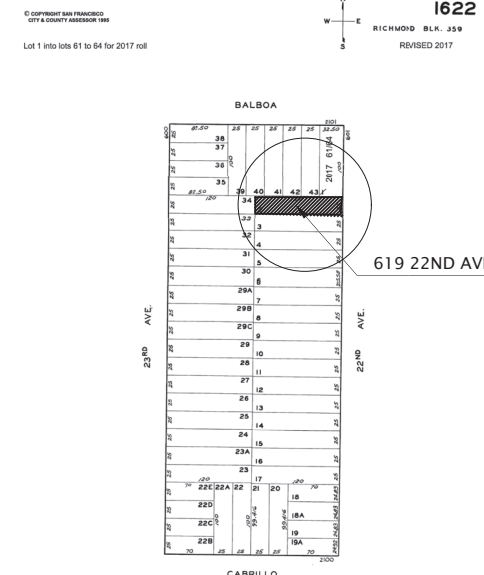
BIRD'S EYE VIEW RENDERING



STREET VIEW RENDERING



PLOT PLAN



APPLICABLE CODES

- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 GREEN BUILDING CODE
- 2016 CALIFORNIA ENERGY CODE
- 2016 SAN FRANCISCO CODE AMENDMENTS
- 2016 SAN FRANCISCO BUILDING CODE AMENDMENTS
- 2016 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS
- 2016 SAN FRANCISCO MECHANICAL CODE AMENDMENTS
- 2016 SAN FRANCISCO PLUMBING CODE AMENDMENTS
- 2016 SAN FRANCISCO GREEN BUILDING CODE AMENDMENTS
- 2016 SAN FRANCISCO HOUSING CODE



Stamp

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Project No. 1723

HORIZONTAL ADDITIONS WITH VERTICAL DWELLING UNIT ADDITION

619 22ND Avenue
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GENERAL NOTES & ABBREVIATIONS

GENERAL NOTES

- COORDINATE LAYOUT DIMENSIONS INDICATED ON THE STRUCTURAL, ELECTRICAL, PLUMBING, AND MECHANICAL DRAWINGS WITH THOSE INDICATED ON THE ARCHITECTURAL DRAWINGS. REPORT ALL DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL WORK IS SHOWN, DESCRIBED, OR SPECIFIED IN THE DRAWINGS INDEXED ON THE TITLE PAGE (T1) OR IN THE SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS ON THE PROJECT SITE BEFORE THE WORK BEGINS. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING DEMOLITION REQUIREMENTS IN RELATION TO THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES TO THE CONDITIONS SHOWN IN THE CONTRACT DOCUMENTS BEFORE CONSTRUCTIONS BEGINS.
- EXISTING CONDITIONS SHOWN ON THE DRAWINGS WERE OBTAINED FROM OWNER-PROVIDED ARCHIVE DRAWINGS. VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ALL DEVIATIONS BEFORE PROCEEDING WITH THE WORK.
- PLUM ARCHITECTS HAS PREPARED THESE CONSTRUCTION DOCUMENTS ONLY FOR THE IMPROVEMENTS SPECIFIED, DETAILED, INDICATED, OR SHOWN AS NEW WORK AND ASSUMES NO RESPONSIBILITY FOR OTHER CONSTRUCTION, MATERIAL, OR EQUIPMENT NOTED, INDICATED, OR SHOWN AS "EXISTING" OR AS "PROVIDED BY OTHERS," UNLESS OTHERWISE INDICATED OR NOTED. PLUM ARCHITECTS HAS NEITHER CHECKED NOR VERIFIED THE STRUCTURAL INTEGRITY, QUALITY OF CONSTRUCTION, ACCESSIBILITY TO, EGRESS FROM, OR DESIGN OF THE EXISTING CONSTRUCTION AND ANY OTHER WORK NOT INCLUDED AS PART OF THE IMPROVEMENTS SPECIFIED, DETAILED, OR SHOWN ON THESE DOCUMENTS.
- ITEMS INDICATED TO BE VERIFIED OR FIELD VERIFIED ARE REQUIRED TO BE VERIFIED PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH THE WORK. ITEMS ARE ALWAYS TO BE VERIFIED FOR DESIGN INTENT AND COMPATIBILITY WITH APPROPRIATE BUILDING CODES.
- NOT USED
- ADEQUATE ENGINEERING OBSERVATION AND TESTING SHALL BE PROVIDED DURING CONSTRUCTION BY INSPECTOR OF RECORD PER TITLE 24.
- DO NOT SCALE DIMENSIONS FROM DRAWINGS. USE WRITTEN DIMENSIONS. WHERE NO DIMENSION IS PROVIDED, CONSULT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSIONS.
- DRAWINGS AND SPECIFICATIONS REPRESENT FINISHED CONSTRUCTION, UNLESS OTHERWISE NOTED THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION.
- ONLY WORK SO NOTED IS NOT IN CONTRACT.
- ALL ITEMS ARE NEW UNLESS OTHERWISE NOTED.
- THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE CONTRACT DOCUMENTS IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODES OF REGULATIONS. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED THAT IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CHANGE ORDER, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE ARCHITECT AND BY THE GOVERNING REGULATORY AGENCIES BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES, STRUCTURES, AND EQUIPMENT. EXISTING UTILITIES AND IMPROVEMENTS DAMAGED DURING THE COURSE OF THE WORK SHALL BE PROMPTLY REPAIRED. EXISTING UTILITIES AND IMPROVEMENTS DAMAGED FOR WHICH LOCATIONS WERE UNKNOWN, SHALL BE IMMEDIATELY BROUGHT TO THE OWNERS AND ARCHITECTS ATTENTION AND PROMPTLY REPAIRED AT HIS/HER DIRECTION. THE WORK REQUIRED TO REPAIR DAMAGED EXISTING UTILITIES AND IMPROVEMENTS FOR WHICH LOCATIONS WERE UNKNOWN WILL BE REVIEWED AND TAKEN UNDER CONSIDERATION AS EXTRA WORK.
- THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS TO INCLUDE ALL LABOR, MATERIAL, EQUIPMENT, AND IMPROVEMENTS NECESSARY FOR ALL WORK SHOWN, PRESCRIBED, OR REASONABLY IMPLIED, BUT NOT LIMITED TO THAT EXPLICITLY INDICATED IN THE CONTRACT DOCUMENTS. WHERE WORK OR EQUIPMENT IS INDICATED N.I.C. (NOT IN CONTRACT). SUCH WORK AND/OR EQUIPMENT SHALL BE PROVIDED BY OTHERS. CONTRACTOR SHALL COORDINATE AND COOPERATE TO EFFECT SUCH INSTALLATIONS. ALL REQUESTS FOR CLARIFICATIONS OF THESE DRAWINGS SHALL BE DIRECTED TO PLUM ARCHITECTS. ALL REQUIRED WORK SHALL BE PERFORMED BY THE CONTRACTOR. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF OTHER TRADES ON THE PROJECT. ANY CHANGES OR DELAYS ARISING FROM CONFLICTS BETWEEN TRADES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASSURING THAT ALL TRADES COORDINATE INTERFACE BETWEEN THEMSELVES.
- WORK BY OTHERS, OWNER MAINTENANCE PROJECTS, AND OTHER WORK ON THE SITE MAY OCCUR CONCURRENT WITH THE WORK OF THE CONTRACTOR. CONTRACTOR SHALL COORDINATE HIS WORK WITH THE CONCURRENT WORK ON THE SITE. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS THAT ARISE BETWEEN THE CONTRACT WORK AND THE CONCURRENT WORK ON THE SITE.
- USE OF MATERIALS CONTAINING ASBESTOS OR OTHER HAZARDOUS MATERIALS IS PROHIBITED.
- THE TERM "TYPICAL" (TYP) SHALL BE CONSTRUED TO MEAN APPLYING TO ALL LIKE OR SIMILAR CONDITIONS IN THE AREAS WITHIN THE BOUNDARIES OF THIS PROJECT.
- THE CONTRACTOR SHALL MAINTAIN THE PUBLIC RIGHT OF WAYS, SIDEWALKS, CORRIDORS, ETC., AFFECTED BY THE CONSTRUCTION, AND KEEP THESE AREAS FREE OF ALL SOIL, DEBRIS, TRASH, ETC. ON A DAILY BASIS. CLEAR EGRESS SHALL BE MAINTAINED AT ALL TIMES FOR ALL ADJACENT BUILDING TENANTS. THEIR EMPLOYEES AND GUESTS. CONSTRUCTION DEBRIS AND WASTE SHALL BE REMOVED FROM THE APPROPRIATE SITE. THE CONTRACTOR SHALL AT ALL TIMES KEEP PREMISES FREE FROM ACCUMULATION OF DEBRIS CAUSED BY IT'S OPERATIONS. AT THE COMPLETION OF THE WORK, CONTRACTOR SHALL CLEAN BUILDING AND LEAVE THE WORK "READY FOR MOPPING AND WAXING."
- THE CONTRACTOR SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM DUST AND NUISANCE. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR POLLUTION CONTROL STANDARDS AND REGULATIONS, ORDINANCES, AND STATUTES SPECIFIED IN SECTION 11017 OF THE GOVERNMENT CODE.
- NO EXTRA WORK, CHANGES OR DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS SHALL BE MADE UNLESS WRITTEN AND COUNTERSIGNED BY THE ARCHITECT AND OWNER OR WRITTEN ORDER FROM THE ARCHITECT IS OBTAINED. THIS ORDER SHALL STATE THAT THE OWNER HAS AUTHORIZED THE EXTRA WORK OR CHANGE AND NO CLAIM FOR AN ADDITIONAL SUM SHALL BE VALID UNLESS SO PRESENTED AS DESCRIBED ABOVE. THE WRITTEN ORDER IS SUBJECT TO APPROVAL BY THE GOVERNING REGULATORY AGENCIES.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SUPPLY AND DISTRIBUTE ADEQUATE COPIES OF ALL DRAWINGS TO ALL TRADES FALLING UNDER THEIR RESPONSIBILITY AT ALL TIMES DURING THE PROGRESS OF THE JOB (I.E. REVISIONS.)
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND APPROVALS OF SUBSTITUTED MATERIALS AS REQUIRED BY THE GOVERNING CODES AND AGENCIES.
- THE CONTRACTOR SHALL SUBMIT ALL PERTINENT SHOP DRAWINGS AND COLOR SAMPLES FOR THE ARCHITECT'S REVIEW. ALLOWING ADEQUATE TIME FOR REVIEW AND CORRECTIVE ACTION, SHOULD IT BE REQUIRED. BY SUBMITTING SHOP DRAWINGS, THE CONTRACTOR THEREBY REPRESENTS THAT HE HAS VERIFIED ALL FIELD MEASUREMENTS, METHODS OF ACCESS TO THE POINT OF INSTALLATION AND SIMILAR FILED CRITERIA FOR ALL PREFABRICATED ASSEMBLIES OTHER THAN BUILDING STANDARDS WORK. THE ARCHITECTS APPROVAL OF THE SHOP DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR DEVIATIONS FROM THE CONTRACT DOCUMENTS UNLESS HE HAS WRITING CALLED THE ARCHITECTS ATTENTION TO SUCH DEVIATIONS AS THE TIME OF THE SUBMISSION, NOR SHALL IT RELIEVE HIM OF THE RESPONSIBILITY FOR ERRORS OF ANY SORT IN THE SHOP DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK MATERIALS IN CONFORMANCE WITH CONTRACT DOCUMENTS AND ANY CODES OF FEDERAL, STATE, COUNTY, OR MUNICIPALITY HAVING JURISDICTION OVER SUCH WORK. ALL APPLICABLE REQUIREMENTS IN THESE REGULATIONS SHALL BE FOLLOWED THE SAME AS IF NOTED ON THE DRAWINGS. CONFLICTS BETWEEN WORK SET FORTH ON THE DRAWINGS AND BUILDING CODES, LAWS, OR REGULATIONS NOTED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK.
- UPON COMPLETION OF THE WORK THE CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSPECTION OF SATISFACTORY COMPLETION, AND OPERATIONS AND MAINTENANCE INSTRUCTIONS OF ALL EQUIPMENT TO THE OWNER AND TENANT.
- NOT USED
- STRUCTURAL DRAWINGS GOVERN FOR SPACING AND SIZING FOR ALL STRUCTURAL MEMBERS, REINFORCING AND INSTALLING DETAILS.

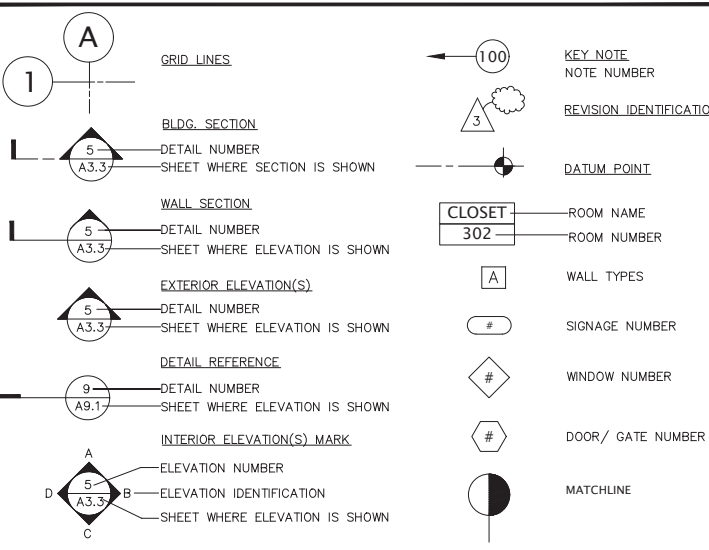
GENERAL NOTES CON'T.

- NOT USED
- CONTRACTOR TO REPAIR AND PATCH ALL AREAS DISTURBED DUE TO THIS PROJECT'S SCOPE OF WORK.
- ACCESSIBLE ROUTE OF TRAVEL AS INDICATED ON PLAN IS A BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAX SLOPE. OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM, AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%, UNLESS OTHERWISE INDICATED. ACCESSIBLE ROUTE OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE ROUTE OF TRAVEL.
- COMPLIANCE WITH CFC CHAPTER 14, "FIRE LIFE SAFETY DURING CONSTRUCTION AND DEMOLITION" AND CBC CHAPTER 33 WILL BE ENFORCED.
- GENERAL CONTRACTOR TO PROVIDE LIST OF ALL SUBCONTRACTOR TO LANDLORD FOR APPROVAL
- THE CONTRACT DOCUMENTS, INCLUDING THE SPECIFICATIONS, PLANS, AND DRAWINGS, ARE COMPLEMENTARY AND WHAT IS CALL FOR BY ANY ONE SHALL BE AS BINDING AS IF CALLED FOR BY ALL. IN CASE OF CONFLICT, LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALL-SCALE DRAWINGS, THE SPECIFICATIONS SHALL GOVERN OVER BOTH THE CONSTRUCTION PROCEDURES MANUAL AND THE CONTRACT DRAWINGS EXCEPT AS NOTED HEREIN BELOW. SPECIAL PROVISIONS SHALL GOVERN OVER BOTH THE CONTRACT DRAWINGS AND THE GENERAL CONDITIONS, AND SUBSEQUENT ADDENDA. INTERPRETATIONS, OR CHANGE ORDERS SHALL GOVERN OVER THE ORIGINAL DOCUMENTS, UNLESS A DIFFERENT ORDER OF PRECEDENCE IS NOTED ELSEWHERE IN CONJUNCTION WITH A SPECIFIC PORTION OF THE DOCUMENTS.
 - IN CASE OF CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS, THE DOCUMENT CONTAINING ADDITIONAL QUANTITIES SHALL GOVERN IN MATTERS OF QUANTITY, THE DOCUMENT REQUIRING A HIGHER DEGREE OF QUALITY SHALL GOVERN IN MATTERS OF QUALITY. IN CASE OF CONFLICT WITHIN THE DRAWINGS INVOLVING QUANTITIES OR WITHIN THE SPECIFICATIONS INVOLVING QUALITY, THE GREATER QUANTITY AND THE HIGHER QUALITY SHALL BE FURNISHED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL SUCH QUANTITY AND QUALITY CONFLICTS AND SHALL AGREE UPON RESOLUTION, IN WRITING, PRIOR TO PROCEEDING.
 - WHERE ON ANY DRAWING A PORTION OF THE WORK IS DRAWN OUT THE REMAINDER IS INDICATED IN OUTLINE. THE DRAWN-OUT PARTS SHALL APPLY TO ALL OTHER LIKE PORTIONS OF THE WORK. WHERE ORNAMENT OR OTHER DETAIL IS INDICATED AS STARTING, SUCH DETAIL SHALL BE CONTINUED THROUGHOUT THE COURSES OR PARTS IN WHICH IT OCCURS AND SHALL ALSO APPLY TO OTHER SIMILAR PARTS IN THE WORK, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL AT ALL TIMES KEEP PREMISES FREE FROM ACCUMULATION OF DEBRIS CAUSED BY IT'S OPERATIONS. THE CONTRACTOR SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM DUST NUISANCE. CONSTRUCTION DEBRIS AND WASTE SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE AND DISPOSE OF AT AN APPROPRIATE SITE. AT THE COMPLETION OF THE WORK, CONTRACTOR SHALL CLEAN THE BUILDING.

SAN FRANCISCO LOCAL GREEN BUILDING CODE REQUIREMENTS

- CONSTRUCTION AND DEMOLITION DEBRIS DIVERSION – 100% OF MIXED DEBRIS MUST BE TRANSPORTED BY A REGISTERED HAULER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLING. (SF CONSTRUCTION & DEMOLITION DEBRIS DIVERSION ORDINANCE, ORD. NO 27-06)
- RECYCLING BY OCCUPANTS – PROVIDE ADEQUATE SPACE AND EQUAL ACCESS FOR STORAGE, COLLECTION AND LOADING OF COMPOSTABLE, RECYCLABLE AND LANDFILL MATERIALS. (SFBC 106A 3.3 & OTHER LOCAL REGULATIONS)
- CONSTRUCTION SITE RUNOFF POLLUTION PREVENTION – IMPLEMENT SFPUC BEST MANAGEMENT PRACTICES AS APPLICABLE. (CALGREEN 4.106.2)
- STORMWATER CONTROL PLAN – PROJECTS DISTURBING ≥5,000 SQUARE FEET OF GROUND SURFACE MUST IMPLEMENT A STORMWATER CONTROL PLAN MEETING SFPUC STORMWATER DESIGN GUIDELINES. (SF PUBLIC WORKS CODE ARTICLE 4.2, SEC. 147)
- WATER EFFICIENT IRRIGATION – PROJECTS THAT INCLUDE 1000 SQUARE FEET OR MORE OF NEW OR MODIFIED LANDSCAPE MUST COMPLY WITH THE SAN FRANCISCO WATER EFFICIENT IRRIGATION ORDINANCE. (SF ADMIN CODE 63)
- ADDITIONAL CALGREEN REQUIREMENTS AS LISTED ON SHEET 75, "SF GREEN BUILDING SUBMITTAL" ARE TO BE INCORPORATED INTO THESE GENERAL NOTES AND REQUIREMENTS GOVERNING THIS PROJECT.

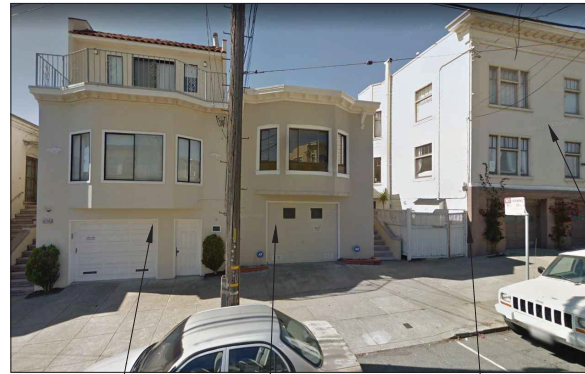
LEGEND



ABBREVIATIONS

&	AND ANGLE	FLASH.	FLASHING	Q.T.	QUARRY TILE
@	AT	FLEX.	FLEXIBLE	QTR.	QUARTER
C	CENTERLINE	FLR.	FLOOR	R.	RISER
O	DIAMETER OR ROUND	FLUOR.	FLUORESCENT	R.A.D.	RADIUS
#	POUND OR NUMBER	F.O.C.	FACE OF CONCRETE	R.B.	RUBBER BASE
d	PENNY	F.O.F.	FACE OF FINISH	R.C.P.	REFLECTED CEILING PLAN
A.A.C.	ADHESIVE-APPLIED ACOUSTIC TILE	F.O.W.	FACE OF WALL	R.D.	ROOF DRAIN
A.B.	ANCHOR BOLT	F.O.I.C.	FURNISHED BY OWNER INSTALLED BY CONTRACTOR	REF.	REFERENCE
ABV.	ABOVE	F.O.S.	FACE OF STUD	REFR.	REFRIGERATION
AC	ASPHALT CONCRETE	FP.	FIREPROOF	REINF.	REINFORCED
ACCS.	ACCESS OR ACCESSIBLE	F.S.	FULL SIZE	REQD.	REQUIRED
ACOUS.	ACOUSTIC	FT.	FEET, FOOT	RES.	RESILIENT
ACT	ACOUSTICAL TILE	FTG.	FOOTING	RETUR.	RETURN
A.D.	AREA DRAIN	FURR.	FURRING	REV.	REVISED; REVISION
A.D.A.	AMERICANS DISABILITIES ACT	FUT.	FUTURE	RFG.	ROOFING
ADDN.	ADDITION	GA.	GAUGE	RGTR.	REGISTER
ADH.	ADHESIVE	GAL.	GALLON	RHS.	ROUND HEAD SCREW
ADJ.	ADJUST, ADJUSTABLE	GALV.	GALVANIZED	R.I.	RIGID INSULATION
A.F.F.	ABOVE FINISH FLOOR	G.B.V.	GRAB BAR	R.L.	RAIN LEADER (INTERIOR)
AGGR.	AGGREGATE	GEN.	GENERAL	RM.	ROOM
AL	ALUMINUM	GL.	GLASS	RND.	ROUND
ALT.	ALTERNATE	GND.	GROUND	R.O.	ROUGH OPENING
A.P.	APPROVED	GOVT.	GOVERNMENT	RSP	RESOURCE SPECIALIST CLASSROOM
APPROX.	APPROXIMATE	GR.	GRADE	RUB.	RUBBER
ARCH.	ARCHITECTURAL	G.S.M.	GALVANIZED SHEET METAL	RWD.	REDWOOD
ASPH.	ASPHALT	G.S.U.	GLAZED STRUCTURAL UNIT	RDWD.	REDWOOD
BALAN.	BALANCING	G.W.B.	GYPSTUM WALL BOARD	S.	SOUTH
BARR.	BARRIER	GYM.	GYMNASIUM	S.&V.	STAIN & VARNISH
BD.	BOARD	GYP.	GYPSTUM	S.C.	SEAL COVER DISPENSER
BITUM.	BITUMINUS	H.	HIGH (DIM)	S.C.D.	SEAT COVER DISPENSER
BLDG.	BUILDING	H.B.	HOSE BIB	S.E.D.	SEE ELECTRICAL DWGS.
BLK.	BLOCK, BLOCKING	H.C.	HOLLOW CORE	SCHED.	SCHEDULE; SCHEDULED
B.M.	BENCH MARK	HDWD.	HARDWOOD	S.D.	SOAP DISPENSER/STORM DRAIN
BOT.	BOTTOM	HDWE.	HARDWARE	S.D.S.	SELF DRILLING SCREW
B.O.	BOTTOM OF	HGT.	HIGHT	SECT.	SECTION
BSMT.	BASEMENT	H.M.	HOLLOW METAL	SH.	SHOWER
B.U.R.	BUILT UP ROOFING	HOL.	HOLLOW	SHT.	SHEET
C.	CENTER	HOR.	HORIZONTAL	SHTG.	SHEATHING
C.C.	CENTER TO CENTER	H.P.	HIGH POINT	SH.	SIMILAR
CAB.	CABINET	HR.	HOUR	S.L.	SLOPE
CAP.	CAPACITY	HT.	HEIGHT	S.L.D.	SEE LANDSCAPE DWGS.
C.B.	CATCH BASIN	H.W.H.	HOT WATER HEATER	S.M.D.	SEE MECHANICAL DWGS.
CEM.	CEMENT	I.D.	INSIDE DIAMETER	SMS	SHEET METAL SCREW
CER.	CERAMIC	IN.	INCH	S.N.D.	SANITARY NAPKIN DISPENSER
C.G.	CORNER GUARD	INCR.	INCREASE	S.N.R.	SANITARY NAPKIN RECEPTACLE
CH	CHANNEL	INFO.	INFORMATION	S.O.	SLAB ON GRADE
CH.B.	CHALK BOARD	INS.	INSULATION	S.P.D.	SEE PLUMBING DWGS.
C.I.	CAST IRON	INT.	INTERIOR	SPEC.	SPECIFICATIONS
CITY	CITY OF SAN FRANCISCO	INV.	INVERT	SQ.	SQUARE
C.J.	CONTROL JOINT	I.S.A.	INTERNATIONAL SYMBOL OF ACCESSIBILITY	S.S.D.S.	SEE STRUCTURAL DWGS.
C.L.	CHAIN LINK	JAN.	JANITOR	S.	SERVICE
CLG.	CEILING	JST.	JOIST	SNK	SINK
CLKG.	CAULKING	JT.	JOINT	S.STL., S.S.	STAINLESS STEEL
CLOS.	CLOSET	K.O.	KNOCK OUT	STA.	STATION
C.M.S.	CLEAR	K.P.	KICK PLATE	STD.	STANDARD
C.M.U.	CONCRETE MASONRY UNIT	L.	LONG (DIM)	STER.	STERILIZER
C.O.	CASED OPENING	LAB.	LABORATORY	STL.	STEEL
COL.	COLUMN	LAM.	LAMINATE, LAMINATED	STOR.	STORAGE
CONC.	CONCRETE	LAV.	LAVATORY	STRUCT.	STRUCTURAL
CONH.	CONCRETE	LIN.	LINEAR	STS	SELF-TAPPING SCREW
CONT.	CONTINUOUS	LKR.	LOOKER	SUB.	SUBSTITUTE
CONST.	CONSTRUCTION	LT.	LIGHT	SUP.	SUPERINTENDENT
CONTR.	CONTRACTOR	LTG.	LIGHTING	SUSP.	SUSPENDED
CORR.	CORRIDOR	MARB.	MARBLE	SYM.	SYMMETRICAL
CTR.	CENTER TILE	MAS.	MASONRY	SYS.	SYSTEM
CTS.K.	COUNTERSINK, COUNTERSUNK	MAT.	MATERIAL	T.	TREAD
DP.	DEEP	MAX.	MAXIMUM	T&G	TONGUE AND GROOVE
D.A.	DOUBLE ACTING	M.B.	MACHINE BOLT	TESTING AND INSPECTION	
DBL.	DOUBLE	M.C.	MEDICINE CHEST	THERM.	THERMIST
DEPART.	DEPARTMENT	MECH.	MECHANICAL	TB.	TACKBOARD
DET.	DETAIL	MEMB.	MEMBRANE	TC.	TERRACOTTA
D.F.	DRINKING FOUNTAIN	MFR.	MANUFACTURER	TEL.	TELEPHONE
Ø	DIAMETER	MH.	MANHOLE	TEMP.	TEMPORARY; TEMPERATURE
DIAM.	DIAMETER	MIN.	MINIMUM	TERR.	TERRAZZO
DIAG.	DIAGONAL	MIR.	MIRROR	TEMPER HARD BOARD	
DIM.	DIMENSION	MISC.	MISCELLANEOUS	THK.	THICK
DISP.	DISPENSER	MLDG.	MULDING	THRESH.	THRESHOLD
DIV.	DIVISION	M.L.P.	METAL LATH AND PLASTER	THRU.	THROUGH
DG	DECOMPOSED GRANITE	M.O.	MASONRY OPENING	T.L.T.	TOILET
DN.	DOWN	M.S.	MACHINE SCREW	T.O.	TOP OF
DO.	DOOR OPENING	MTD.	MOUNTED	TOP.	TOPPING
DOM.	DOMESTIC	MTL.	METAL	T.O.C.	TOP OF CONCRETE
DP.	DAMPPOOFING	MUL.	MULLION	T.O.S.	TOP OF STEEL
DR.	DOOR	(N)	NEW	T.M.E.	TO MATCH EXISTING
DS.	DOWNSPOUT	N.	NORTH	T.P.	TOP OF PAVEMENT
D.S.P.	DRY STANDPIPE	NEG.	NEGATIVE	T.P.D.	TOILET PAPER DISPENSER
D.S.A.	DRAWING OF STATE ARCHITECT	N.I.C.	NOT IN CONTRACT	T.S.	TUBE STEEL
DWG.	DRAWING	NO.	NUMBER	T.V.	TELEVISION
DWR.	DRAWER	N.T.S.	NOT TO SCALE	T.W.	TOP OF WALL
(E)	EXISTING	O/	OVER	TYP.	TYPICAL
E.	EAST	O.A.	OVERALL	U.H.	UNIT HEATER
E.A.	EACH	OBS.	OBSCURE	UNFIN.	UNFINISHED
E.B.	EXPANSION BOLT	O.C.	ON CENTER	U.O.N.	UNLESS OTHERWISE NOTED
E.J.	EXPANSION JOINT	O.D.	OUTSIDE DIAMETER	U.O.S.	UNDERSIDE OF STEEL
EL.	ELEVATION	O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED	UR.	URINAL
ELEC.	ELECTRICAL	O.F.D.	OVERFLOW DRAIN	U.	UNIT
ELEV.	ELEVATION	OFF.	OFFICE	V.	VENTILATOR
EMER.	EMERGENCY	O.F.C.	OVERFLOW SCUPPER	VAR.	VARIABLE
EN.	ENAMEL	O.H.S.	OVAL HEAD SCREW	V.B.	VINYL BASE
ENCL.	ENCLOSURE	O.PNG.	OPENING	V.C.T.	VINYL COMPOSITION TILE
E.P.	ELECTRICAL PANELBOARD	OPP.	OPPOSITE	VERT.	VERTICAL
EQ.	EQUAL	O.R.S.	OFFICE OF REG. SERVICES, D.S.A.	VEST.	VESTIBULE
EQ.	EARTHQUAKE JOINT	O.H.	OVERHEAD	V.G.	VERTICAL GRAIN
EQUIP.	EQUIPMENT	O.Z.	OUNCE	VOL.	VOLUME
EST.	ESTIMATE	PARA.	PARALLEL	V.S.	VINYL SHEET
E.W.	EACH WAY	PART.	PARTITION	W.	WIDE (DIM)
E.W.C.	ELECTRIC WATER COOLER	PART.BD.	PARTICLE BOARD	W/O	WITHOUT
EXC.	EXCAVATE (ED)	P.B.	PANIC BAR	WAIN.	WAINSCOT
EXH.	EXHAUST	P.C.	PIECE, POINT OF CURVATURE	W.C.	WATER CLOSET
EXP.	EXPOSED	PERF.	PERFORATED	W.C.A.	WHEEL CHAIR ACCESSIBLE
EXPAN.	EXPANSION	PERP.	PERPENDICULAR	WD.	WOOD
EXT.	EXTERIOR	PL.	PLATE	W.F.	WIDE FLANGE (STEEL)
EXTR.	EXTRUDED	P.L.	PROPERTY LINE	WGL.	WIRE GLASS
F.A.	FIRE ALARM	P-LAM.	PLASTIC LAMINATE	WH.B.	WHERE INDICATED
FAB.	FABRICATE	PLAS.	PLASTER	W.I.	WHERE OCCURS
F.B.	FLAT BAR	PLY.	PLYWOOD	WIND.	WINDOW
F.A.U.	FORCED AIR UNIT	PNL.	PANEL	W.O.	WHERE OCCURS
F.B.O.	FURNISHED BY OTHERS	POL.	POLISH; POLISHED	W.P.F.	WATERPROOF
F.C.	FURRED CEILING	P.O.T.	PATH OF TRAVEL	WSTR.	WEATHERSTRIP
F.D.	FLOOR DRAIN	P.P.L.	POLISHED PLATE	WT.	WEIGHT
F.D.	FOUNDATION	PR.	PAIR	W.W.M.	WELED WIRE MESH
F.E.	FIRE EXTINGUISHER	PRCST.	PRECAST	Y.D.	YARD DRAIN
F.E.C.	FIRE EXTINGUISHER CABINET	PREFAB.	PREFABRICATE(D)		
FEDSPEC	FEDERAL SPECIFICATION	PRELIM.	PRELIMINARY		
F.F.	FACTORY FINISH	PROJ.	PROJECT; PROJECTION		
F.H.	FIRE HYDRANT	PROP.	PROPERTY		
F.H.C.	FIRE HOSE CABINET	P.S.	PIPE STEEL		
F.H.S.	FLAT HEAD SCREW	P.S.I.	POUNDS PER SQUARE INCH		
FIN.	FINISH (ED)	P.S.F.	POUNDS PER SQUARE FOOT		
F.I.O.	FURNISHED AND INSTALLED BY OWNER	PT.	POINT		

PHOTOGRAPHS OF EXISTING SITE



623 22ND AVE NEIGHBOR 1 619 22ND AVE 603-609 22ND AVE NEIGHBOR

FRONT FACADE WITH ADJACENT NEIGHBORS



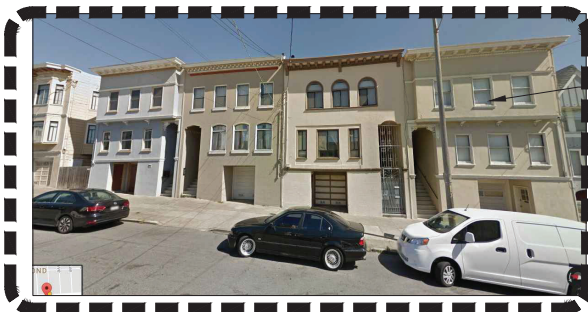
623 22ND AVE NEIGHBOR 2

SAME SIDE OF STREET ADJACENT NEIGHBORS



619 22ND AVE 3 603-609 22ND AVE NEIGHBOR

FRONT VIEW WITH ADJACENT BUILDINGS SAME SIDE OF STREET



3 STORY BUILD-OUT PRECEDENT - ACROSS STREET

4

OPP. SIDE OF STREET



603-609 22ND AVE NEIGHBOR 5

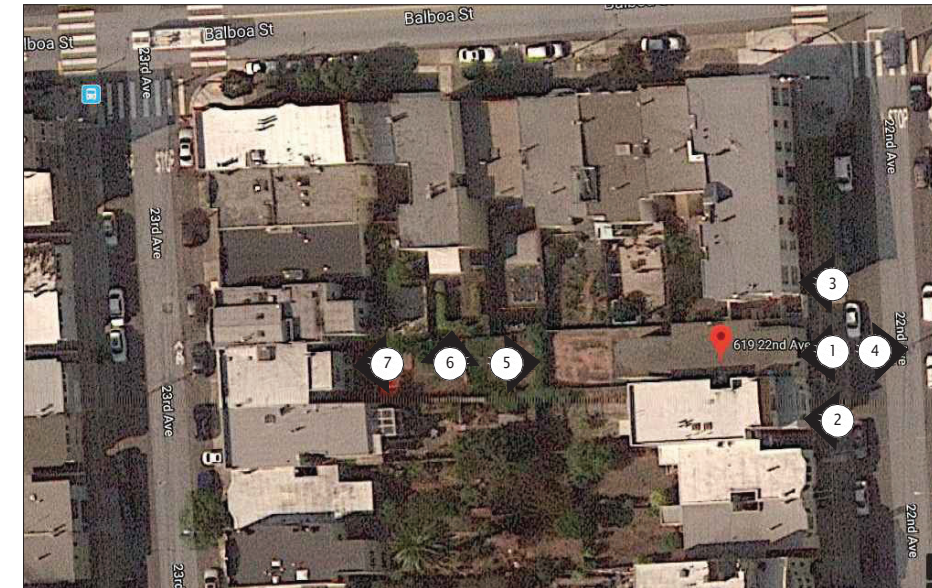


619 22ND AVE



623 22ND AVE NEIGHBOR

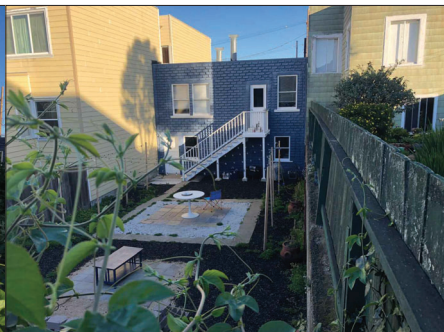
REAR FACADE WITH ADJACENT NEIGHBORS



KEYPLAN



2133 BALBOA STREET REAR SIDE YARD NEIGHBOR



2127 BALBOA STREET REAR SIDE YARD NEIGHBOR

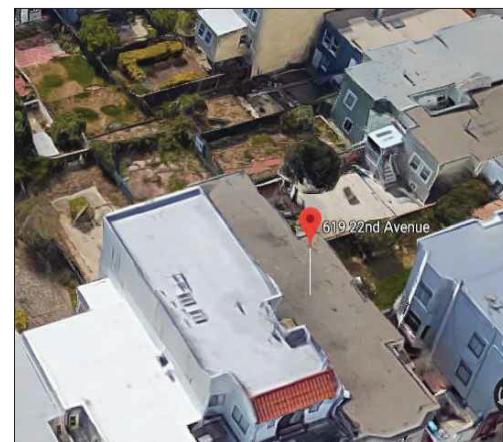


2121 BALBOA STREET REAR SIDE YARD NEIGHBOR



2115 BALBOA STREET REAR SIDE YARD NEIGHBOR

603-609 22ND AVE NEIGHBOR



6

ADJACENT BUILDINGS AT REAR SIDE YARD



7

NEIGHBORING BUILDINGS AT REAR PROPERTY LINE



614 23RD AVE REAR YARD NEIGHBOR

Stamp



	Date
PROGRAMMING	12/22/2017
FINAL SCHEMATIC DESIGN	01/19/2018
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SF PLANNING SUBMITTAL	03/12/2018
SF PLANNING SUBMITTAL	02/28/2020

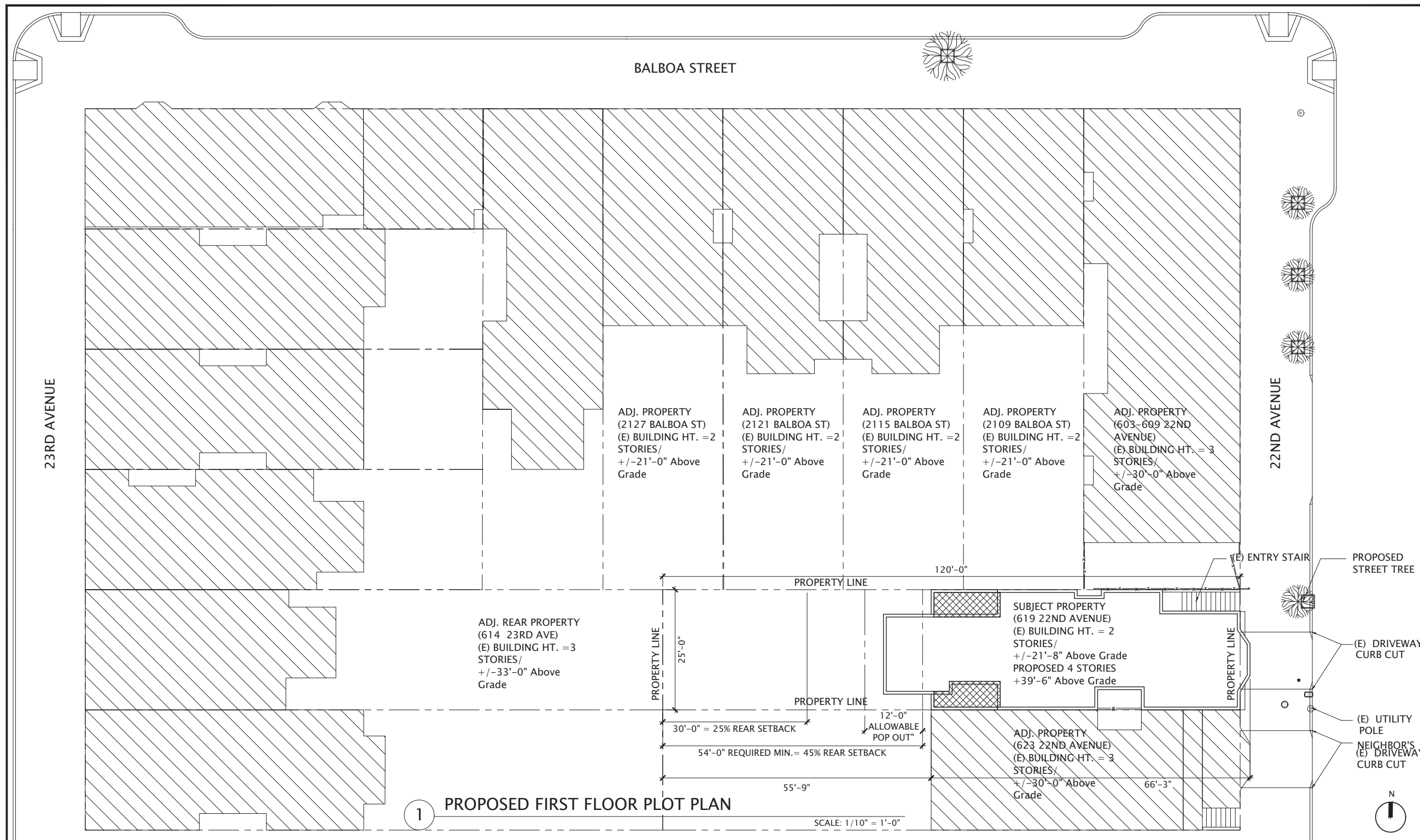
Project No. 1723

HORIZONTAL ADDITIONS WITH VERTICAL DWELLING UNIT ADDITION

619 22ND Avenue
San Francisco, CA 94121
BLOCK/LOT: 1622/002

Sheet

PHOTOS OF EXISTING SITE AND NEIGHBORING BUILDINGS



1 PROPOSED FIRST FLOOR PLOT PLAN
SCALE: 1/10" = 1'-0"

Stamp

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HORIZONTAL ADDITIONS WITH VERTICAL DWELLING UNIT ADDITION

619 22ND Avenue
San Francisco, CA 94121
BLOCK/LOT: 1622/002

Sheet
SITE PLAN

SHEET NOTES

- A. THE PROJECT SCOPE TO AN (E) TWO STORY RESIDENTIAL STRUCTURE IS AS FOLLOWS:
 - REAR YARD HORIZONTAL ADDITIONS AT THE EXISTING 1ST+ 2ND STORIES,
 - A 3RD + 4TH STORY VERTICAL ADDITION FOR A NEW TWO STORY UNIT
 - REAR YARD ROOF DECKS.
 - B. THE SUBJECT LOT IS 25'-0" WIDE AT THE FRONT X 120'-0" AT THE 0 LENGTH.
 - C. THE VERTICAL ADDITION MAINTAINS THE (E) SET BACK AT THE THIRD FLOOR, AND PROPOSED A SETBACK OF 16'-2" FROM THE FRONT PROPERTY LINE. THIS SETBACK MAINTAINS THE INTEGRITY OF THE (E) FACADE & ROOFLINE, AND MATCHES THE SETBACK OF THE ADJACENT PROPERTY.
 - D. THE VERTICAL ADDITION IS WITHIN THE ALLOWABLE SETBACK ESTABLISHED BY THE NEIGHBORING PROPERTY.
- BUILDING HEIGHTS**
- SUBJECT PROPERTY (619 22ND AVENUE):
(E) BUILDING HT. = 2 STORY / 20'-0" Above Grade
(N) BUILDING HT. = 4 STORIES/ 40'-0" Above Grade
 - ADJ. PROPERTY (623 22ND AVENUE)
(E) BUILDING HT. = 3 STORIES/+/-30'-0" Above Grade
- ADJ. PROPERTY (603-609 22ND AVENUE)**
(E) BUILDING HT. = 3 STORIES/+/-30'-0" Above Grade
- SETBACKS**
- NO ENCROACHMENTS UPON REQ. SETBACKS ARE PROPOSED FOR THIS PROJECT.
- (E) FRONT SETBACK = 0'-0"
 - (E) SIDE SETBACK = 0'-0"
 - (E) REAR SETBACK = 45'-10"
 - (N) REAR SETBACK = 45'-10" @ 1ST & 2ND FLOOR
55'-10" @ 3RD FLOOR
69'-4" @ 4TH FLOOR

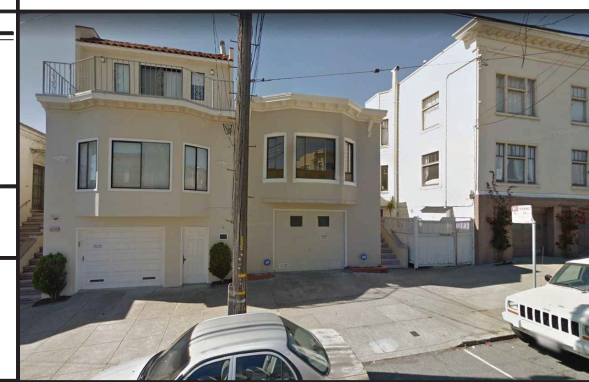
GREENING

PROJECT INFORMATION	REQUIRED	PROPOSED
STREET TREES Planning Code Sec. 138.1: Provide one 24-inch box or larger trees for every 20 feet of street frontage. **Only one tree is feasible due to existing driveway curb cuts and an existing utility pole on the 22nd Avenue frontage.	2 TREES FOR 25 FT FRONTAGE	1 TREE ** FOR 25 FT FRONTAGE

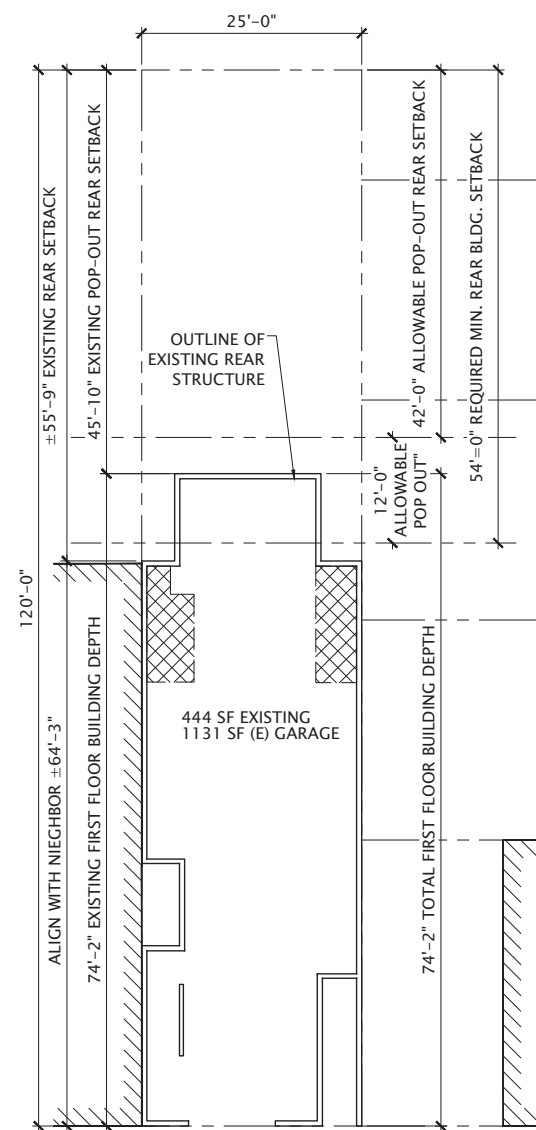
LEGEND

- PROPOSED ADDITION
- EXISTING WALLS
- KEY NOTE

EXIST. SITE PHOTOGRAPH

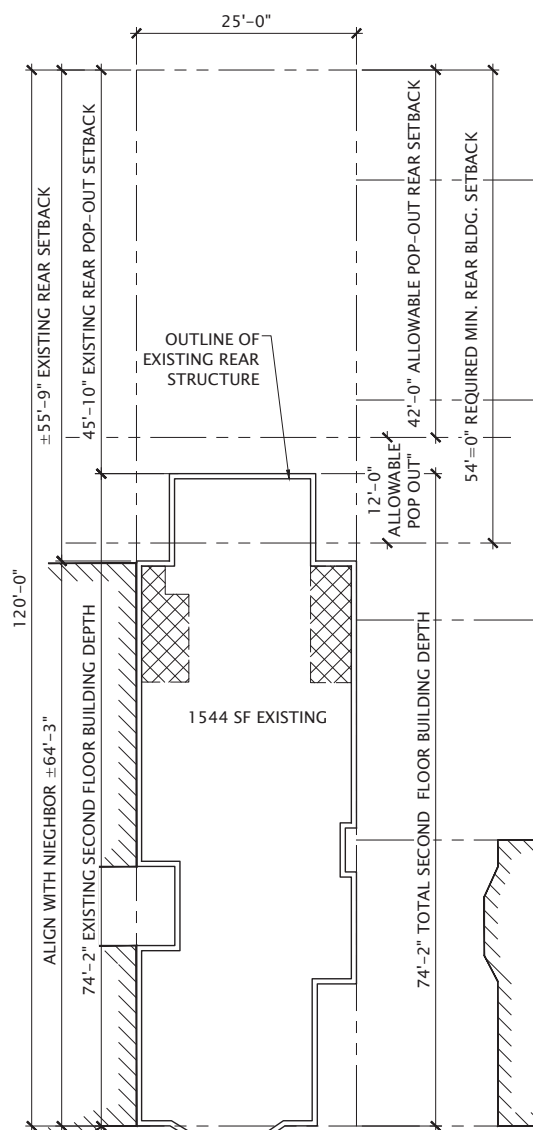


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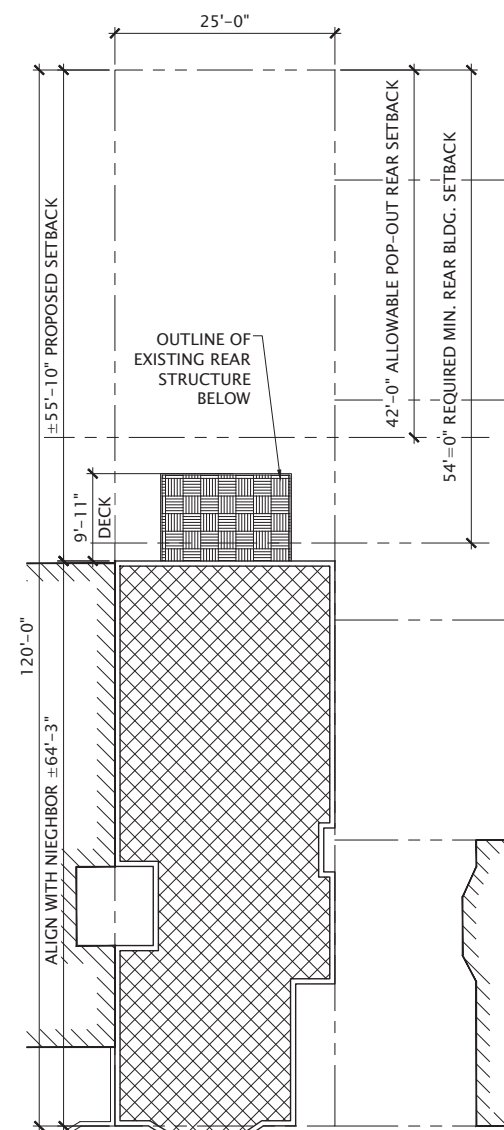
+ 133 SF ADDED

FIRST FLOOR PLAN



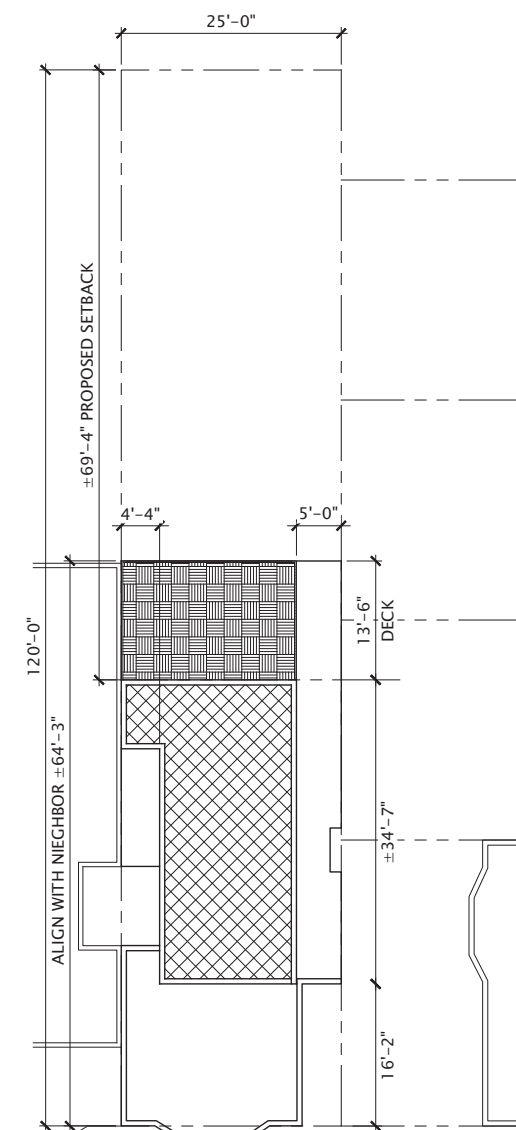
+ 133 SF ADDED

2ND FLOOR PLAN



+ 1504 SF ADDED
+ 170 SF DECK

THIRD FLOOR PLAN



+ 470 SF ADDED
+ 272 SF DECK

4TH FLOOR PLAN



LEGEND	
	PROPOSED ADDITION
	PROPOSED REAR YARD ROOF DECK

Stamp



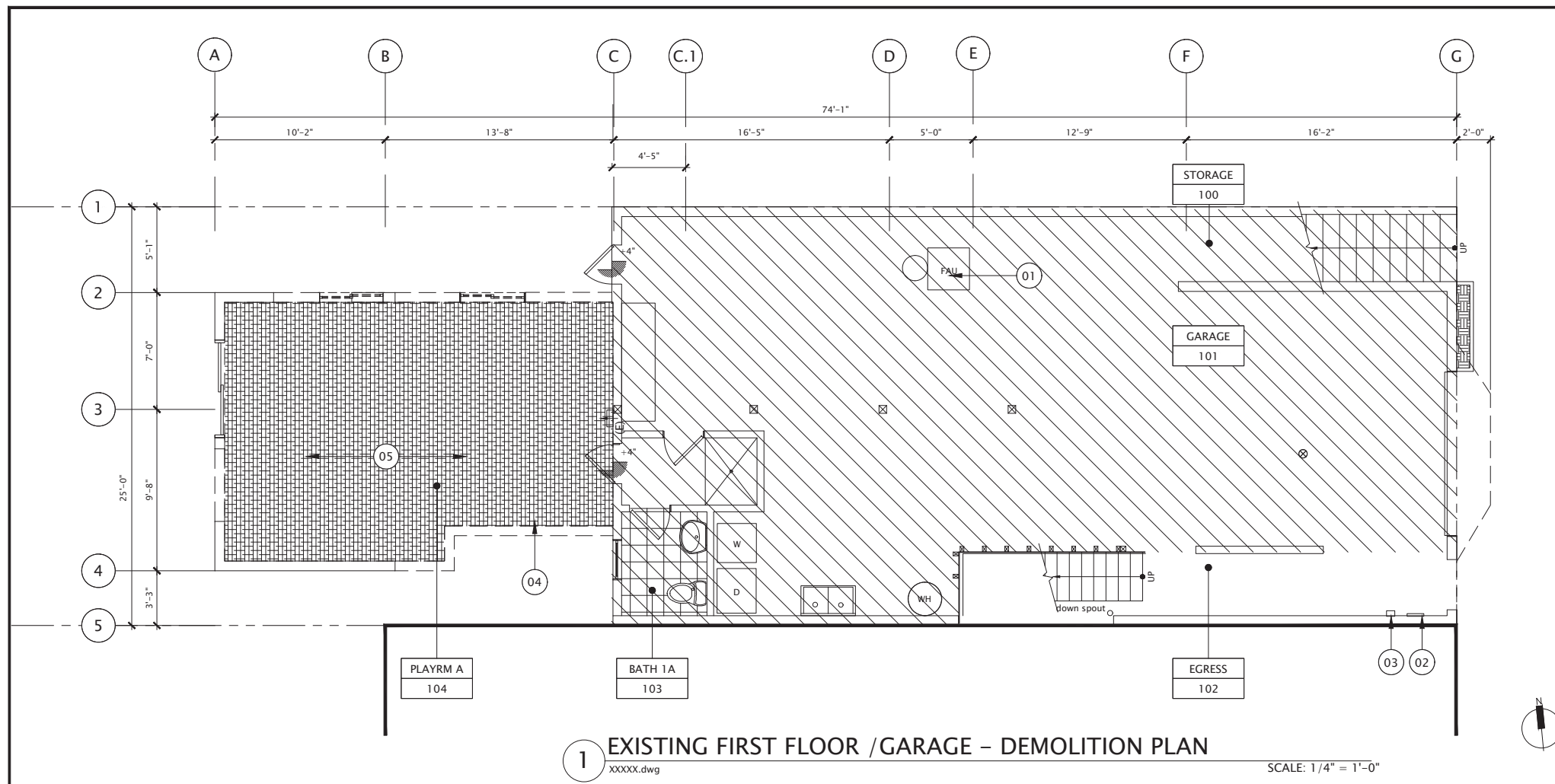
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Project No. 1723

**HORIZONTAL
ADDITIONS WITH
VERTICAL DWELLING
UNIT ADDITION**

619 22ND Avenue
San Francisco, CA 94121
BLOCK/LOT: 1622/002

Sheet
**SETBACK MASSING
PLANS**



1 EXISTING FIRST FLOOR /GARAGE - DEMOLITION PLAN
xxxxx.dwg

SCALE: 1/4" = 1'-0"

DEMOLITION NOTES

1. NOTED ITEMS ARE INTENDED TO SHOW THE GENERAL EXTENT OF DEMOLITION. HOWEVER, SOME ITEMS MAY BE COVERED OR OTHERWISE NOT INDICATED. REMOVE ALL ITEMS WHETHER SHOWN OR NOT, AS NECESSARY TO ACCOMMODATE INSTALLATION OF NEW CONSTRUCTION. THESE ITEMS MAY INCLUDE FRAMING MEMBERS, BLOCKING, ELECTRICAL, MECHANICAL AND PLUMBING FIXTURES, CONDUITS AND PIPING, MISCELLANEOUS CONNECTORS, FINISHES, EQUIPMENT, ETC. THE CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING, PATCHING, AND DEMOLITION REQUIRED TO FACILITATE THE PROPER INSTALLATION OF ALL NEW CONSTRUCTION.
2. CONTRACTOR TO PROTECT ALL EXISTING AREAS TO REMAIN FROM DAMAGE, DUST, DEBRIS, ETC. DURING CONSTRUCTION.
3. WHERE ACCESSORIES, FIXTURES, WALLS ETC. HAVE BEEN REMOVED OR MOVED, PATCH NEWLY EXPOSED AREA TO MATCH (E) ADJACENT UNLESS OTHERWISE NOTED
4. FOR DEMOLITION, RELOCATION AND/OR INSTALLATION OF NEW PLUMBING FIXTURES THE SCOPE OF WORK INCLUDES BUT IS NOT LIMITED TO: REMOVE FIXTURE, DISCONNECT PIPING, REMOVE FINISHES, INSTALL BLOCKING, INSTALL NEW CARRIERS, EXTEND PLUMBING LINES, PATCH & REPAIR, INSTALL NEW FIXTURES, CONNECT TO PIPING, SEAL AND PATCH AREA PER SHEET NOTE #1. EXISTING RESTROOM FLOOR IS CONCRETE SLAB
5. AT AREAS OF DEMOLITION OR REMOVAL OF FIXTURES, PATCH AND PAINT ALL AREAS LEFT EXPOSED TO MATCH ADJACENT
6. ALL EXISTING ITEMS ARE TO REMAIN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR REPLACING AT THE CONTRACTOR'S EXPENSE ANY EXISTING ITEMS DAMAGED OR DESTROYED BY CONSTRUCTION OPERATIONS.
7. WHEN DEMOLITION OCCURS WHICH AFFECTS LOCATION OF EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS NOT INDICATED TO BE REMOVED (PIPING, DUCTS, OUTLETS, SWITCHES, ETC.) CONTRACTOR TO REMOVE AND/OR RE-ROUTE OR RELOCATE AS NECESSARY TO ACCOMMODATE INSTALLATION OF NEW CONSTRUCTION.
8. CAP ALL ABANDONED PLUMBING IN WALL OR BELOW SLAB.
9. CONTRACTOR SHALL REMOVE ALL ABANDONED CONDUITS, RACEWAYS, DUCTS, PIPES, FANS, ETC. AND PATCH WALL TO MATCH EXISTING FINISH SURFACE

Stamp



KEYNOTES

- (01) REPLACE IN-KIND EXISTING FORCED AIR UNIT
- (02) EXISTING GAS METER. PROTECT IN PLACE
- (03) EXISTING ELECTRICAL PANEL. PROTECT IN PLACE
- (04) RELOCATED EXISTING WALL FURNACE WITH ASSOCIATED GAS/ ELECTRICAL RUN
- (05) REMOVE AND REPLACE (E) VINYL FLOORING

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Project No. 1723

HORIZONTAL ADDITIONS WITH VERTICAL DWELLING UNIT ADDITION

619 22ND Avenue
San Francisco, CA 94121
BLOCK/LOT: 1622/002

Sheet

EXISTING FIRST FLOOR DEMOLITION PLAN

DEMOLITION CALCULATIONS

SEC. 317 DEMOLITION CALCULATIONS

TOTAL LINEAL FT. @ FRONT & REAR	=	109.5 LF
TOTAL LINEAL FT. DEMO	=	39.0 LF
% REMOVED	=	35.0% <50%
TOTAL LINEAL FT. @ EXTERIOR	=	202.5 LF
TOTAL LINEAL FT. DEMO	=	39.0 LF
% REMOVED	=	19.25% <65%
TOTAL AREA OF VERT. ENVELOPE	=	4,252.50 S.F.
TOTAL AREA OF DEMO	=	735.00 S.F.
% REMOVED	=	17.28% <50%
TOTAL AREA OF HORIZONTAL ELEMENTS	=	3,076 S.F. (2ND FLR +ROOF)
TOTAL AREA OF DEMO	=	1,414 S.F.
% REMOVED	=	46% >50%

DEMOLITION LEGEND

- (E) FRAMED WALL TO REMAIN
- (E) FRAMED WALL TO BE DEMOLISHED
- (E) AREA TO REMAIN
- (E) ITEM TO BE DEMOLISHED
- AREA OF (E) ROOFING TO BE DEMOLISHED,
- AREA OF (E) VINYL FLOORING TO BE REMOVED, SEE FINISH SCHEDULE
- (E) DOOR TO BE DEMOLISHED
- (E) DOOR TO BE REMAIN

A1.01

DEMOLITION NOTES

1. NOTED ITEMS ARE INTENDED TO SHOW THE GENERAL EXTENT OF DEMOLITION. HOWEVER, SOME ITEMS MAY BE COVERED OR OTHERWISE NOT INDICATED. REMOVE ALL ITEMS WHETHER SHOWN OR NOT, AS NECESSARY TO ACCOMMODATE INSTALLATION OF NEW CONSTRUCTION. THESE ITEMS MAY INCLUDE FRAMING MEMBERS, BLOCKING, ELECTRICAL, MECHANICAL AND PLUMBING FIXTURES, CONDUITS AND PIPING, MISCELLANEOUS CONNECTORS, FINISHES, EQUIPMENT, ETC. THE CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING, PATCHING, AND DEMOLITION REQUIRED TO FACILITATE THE PROPER INSTALLATION OF ALL NEW CONSTRUCTION.
2. CONTRACTOR TO PROTECT ALL EXISTING AREAS TO REMAIN FROM DAMAGE, DUST, DEBRIS, ETC. DURING CONSTRUCTION.
3. WHERE ACCESSORIES, FIXTURES, WALLS ETC. HAVE BEEN REMOVED OR MOVED, PATCH NEWLY EXPOSED AREA TO MATCH (E) ADJACENT UNLESS OTHERWISE NOTED
4. FOR DEMOLITION, RELOCATION AND/OR INSTALLATION OF NEW PLUMBING FIXTURES THE SCOPE OF WORK INCLUDES BUT IS NOT LIMITED TO: REMOVE FIXTURE, DISCONNECT PIPING, REMOVE FINISHES, INSTALL BLOCKING, INSTALL NEW CARRIERS, EXTEND PLUMBING LINES, PATCH & REPAIR, INSTALL NEW FIXTURES, CONNECT TO PIPING, SEAL AND PATCH AREA PER SHEET NOTE #1. EXISTING RESTROOM FLOOR IS CONCRETE SLAB
5. AT AREAS OF DEMOLITION OR REMOVAL OF FIXTURES, PATCH AND PAINT ALL AREAS LEFT EXPOSED TO MATCH ADJACENT
6. ALL EXISTING ITEMS ARE TO REMAIN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR REPLACING AT THE CONTRACTOR'S EXPENSE ANY EXISTING ITEMS DAMAGED OR DESTROYED BY CONSTRUCTION OPERATIONS.
7. WHEN DEMOLITION OCCURS WHICH AFFECTS LOCATION OF EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS NOT INDICATED TO BE REMOVED (PIPING, DUCTS, OUTLETS, SWITCHES, ETC.) CONTRACTOR TO REMOVE AND/OR RE-ROUTE OR RELOCATE AS NECESSARY TO ACCOMMODATE INSTALLATION OF NEW CONSTRUCTION.
8. CAP ALL ABANDONED PLUMBING IN WALL OR BELOW SLAB.
9. CONTRACTOR SHALL REMOVE ALL ABANDONED CONDUITS, RACEWAYS, DUCTS, PIPES, FANS, ETC. AND PATCH WALL TO MATCH EXISTING FINISH SURFACE

Stamp



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KEYNOTES

- 04 RELOCATED EXISTING WALL FURNACE WITH ASSOCIATED GAS/ ELECTRICAL RUN
- 05 REMOVE AND REPLACE EXISTING VINYL FLOORING
- 06 REMOVE AND REPLACE EXISTING PLUMBING FIXTURES AND FINISHES
- 07 REMOVE EXISTING PLUMBING FIXTURES AND CAP PLUMBING LINES
- 08 REMOVE AND REPLACE EXISTING WINDOW WITH 1-HR FIRE RATING WINDOW ASSEMBLY. SEE A2.01 PLAN

DEMOLITION LEGEND

- (E) FRAMED WALL TO REMAIN
- (E) FRAMED WALL TO BE DEMOLISHED
- (E) AREA TO REMAIN
- (E) ITEM TO BE DEMOLISHED
- AREA OF (E) ROOFING TO BE DEMOLISHED,
- AREA OF (E) VINYL FLOORING TO BE REMOVED, SEE FINISH SCHEDULE
- (E) DOOR TO BE DEMOLISHED
- (E) DOOR TO BE REMAIN

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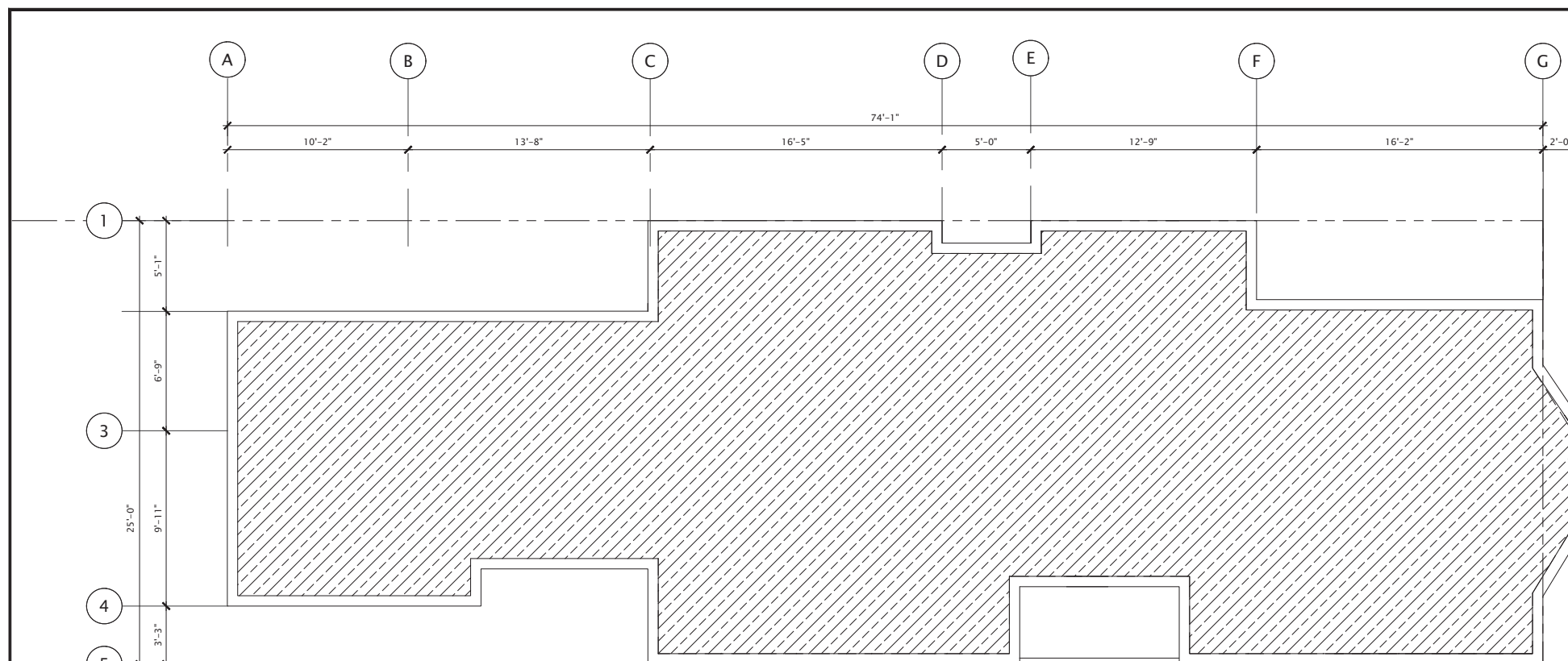
HORIZONTAL ADDITIONS WITH VERTICAL DWELLING UNIT ADDITION

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Sheet

EXISTING SECOND FLOOR + ROOF DEMOLITION PLANS

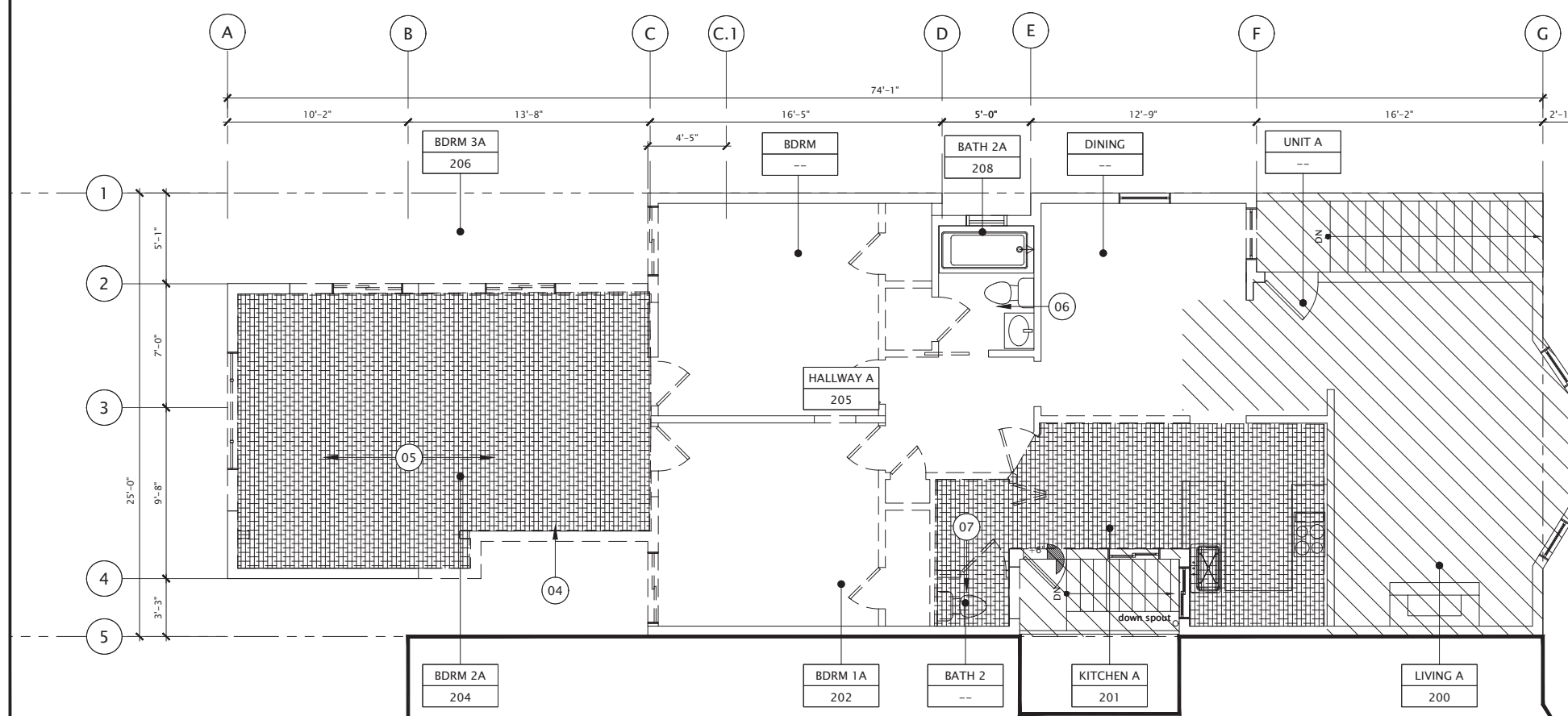
A1.02



2 EXISTING ROOF - DEMOLITION PLAN

XXXX.dwg

SCALE: 1/4" = 1'-0"



1 EXISTING SECOND FLOOR - DEMOLITION PLAN

XXXX.dwg

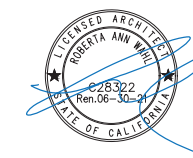
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SHEET NOTES

- A. ALL ITEMS SHOWN, NOTED, SPECIFIED, AND/OR SCHEDULED ARE TO BE PURCHASED, PROCURED AND INSTALLED BY CONTRACTOR TO BE COMPLETE AND FULLY FUNCTIONING AND FINISHED UNLESS SPECIFIED TO BE OWNER PURCHASED CONTRACTOR INSTALLED (OPCI).
- B. ANY ITEM SHOWN GRAPHICALLY, BUT NOT SPECIFICALLY NOTED SHALL BE CONSIDERED PART OF THE SCOPE OF WORK AS IF NOTE
- C. RUN SEPARATE PLUMBING DRAIN PIPES FOR UNIT A + UNIT B. MERGE SYSTEMS AT GARAGE. ALL DRAIN PIPE LOCATED OUTDOORS SHALL BE SDR35 OR STRANGER. FLEX PIPE IS NOT PERMITTED; CPC 701, CPC TABLE 7-1 (NOTE: SDR 35 IS NOT PERMITTED AS DRAIN PIPE ON THE INTERIOR OF THE BUILDING)
- D. CONTRACTOR TO PROVIDE BONDING FOR WATER AND GAS PIPING.
- E. SPECIFICATIONS & UL LISTINGS FOR THE FOLLOWING TO BE SUBMITTED TO THE BUILDING DEPARTMENT: WATER HEATER.
- F. PROVIDE THE BUILDING INSPECTOR WITH ALL REQUIRED CF-6R FORMS (INSTALLATION CERTIFICATES, SIGNED AND DATED) AT OR BEFORE FINAL INSPECTION.
- G. G.C. TO PROVIDE BUILDING OFFICIAL WITH GAS SHUT-OFF LOCATIONS PRIOR TO CLOSE-IN WHICH MUST BE LOCATED WITHIN 6' OF ALL GAS APPLIANCES AND MUST BE ACCESSIBLE AND SHALL NOT BE LOCATED BEHIND APPLIANCE PER CPC 1212.5.
- H. G.C. TO VERIFY THAT INSTALLATION OF ALL SINK PLUMBING VENTS WILL MEET NOTCHING & BORING REQUIREMENTS OF CBC 2308.9.10 & 11; PROVIDE INFORMATION TO BUILDING OFFICIAL FOR APPROVAL PRIOR TO CLOSE-IN.
- I. SEE WINDOW AND DOORS SCHEDULE FOR TEMPERED/SAFETY GLAZING NOTES
- J. (E) FURNACE, WATER HEATER AND BOILER AT FIRST STORY TO REMAIN. RELOCATE WALL HEATER AT BACK ROOM.
- K. FIRE SPRINKLER SYSTEM AT (UNIT B) VERTICAL ADDITION. NOT REQUIRED AT (E) UNIT 'A'. TWO MEANS OF EXIT PROVIDED.
- L. PROVIDE AND INSTALL ELECTRICAL RADIANT HEAT MATS WITH REQUIRED POWER AT BATHROOMS IN SCOPE
- M. ALL WINDOWS PROVIDE >4% MIN. VENTILATION AND >8% NATURAL LIGHT OF FLOOR AREA IN HABITABLE AREAS PER CBC 1203 & 1205
- N. MAINTAIN SEPARATE KITCHEN HOOD EXHAUST BETWEEN UNITS A + B.

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KEYNOTES

- 01 EXISTING 9000 BTU GAS FURNACE + KENMORE MISER 9 WATER HEATER TO REMAIN. PROTECT IN PLACE.
- 02 EXISTING GAS METER. PROTECT IN PLACE
- 03 UPGRADE (E) ELECTRICAL PANEL TO MEET CEC + UNIT B ELECTRICAL LOADS BAND
- 04 RELOCATE (E) GRAVITY VENTED WILLIAMS B35SD WALL FURNACE WITH ASSOCIATED GAS/ ELECTRICAL RUN
- 05 REMOVE (E) VINYL FLOORING AND REPLACE WITH WOOD
- 06 EMERGENCY ESCAPE AND RESCUE WINDOW WITH REQUIRED 5 SF CLEAR OPENING (PER CBC 1029). REFER TO WINDOW SCHEDULE FOR GLAZING NOTES.
- 07 PROVIDE 1-HOUR FIRE RESISTANCE RATED ASSEMBLY AT ALL PROPERTY LINE BUILDING WALLS (PER CBC SEC 705).
- 08 PROVIDE SAFETY GLASS AT WINDOW NEXT TO BATHTUB (PER CBC 2406.4.5.)
- 09 PROVIDE 1-HOUR FIRE RESISTANCE RATED ASSEMBLY AT ALL PROPERTY LINE BUILDING GUARDRAILS (PER CBC SEC 705.11).
- 10 FIRE RESISTANT CLASS B "BISON" DECK TILE & PEDESTAL SYSTEM OVER SBS ROOFING SYSTEM. SEE DETAIL - /A2.03 FOR TYPICAL DECK ASSEMBLY
- 11 RE-ROUTE (E) KITCHEN RANGE HOOD THROUGH UPPER CABINETS TO EXHAUST AT (E) LIGHT WELL.

LEGEND

- (E) FRAMED WALL TO REMAIN
- FRAMED WALL, FULL HT.
- (E) AREA TO REMAIN
- AREA OF FLOORING TO BE PATCHED TO MATCH ADJACENT
- WINDOW/ LOUVER TAG
- KEY NOTE, SEE ABOVE
- NEW DOOR + DOOR TAG
- EXISTING DOOR TO REMAIN U.O.N. AS CABINETRY

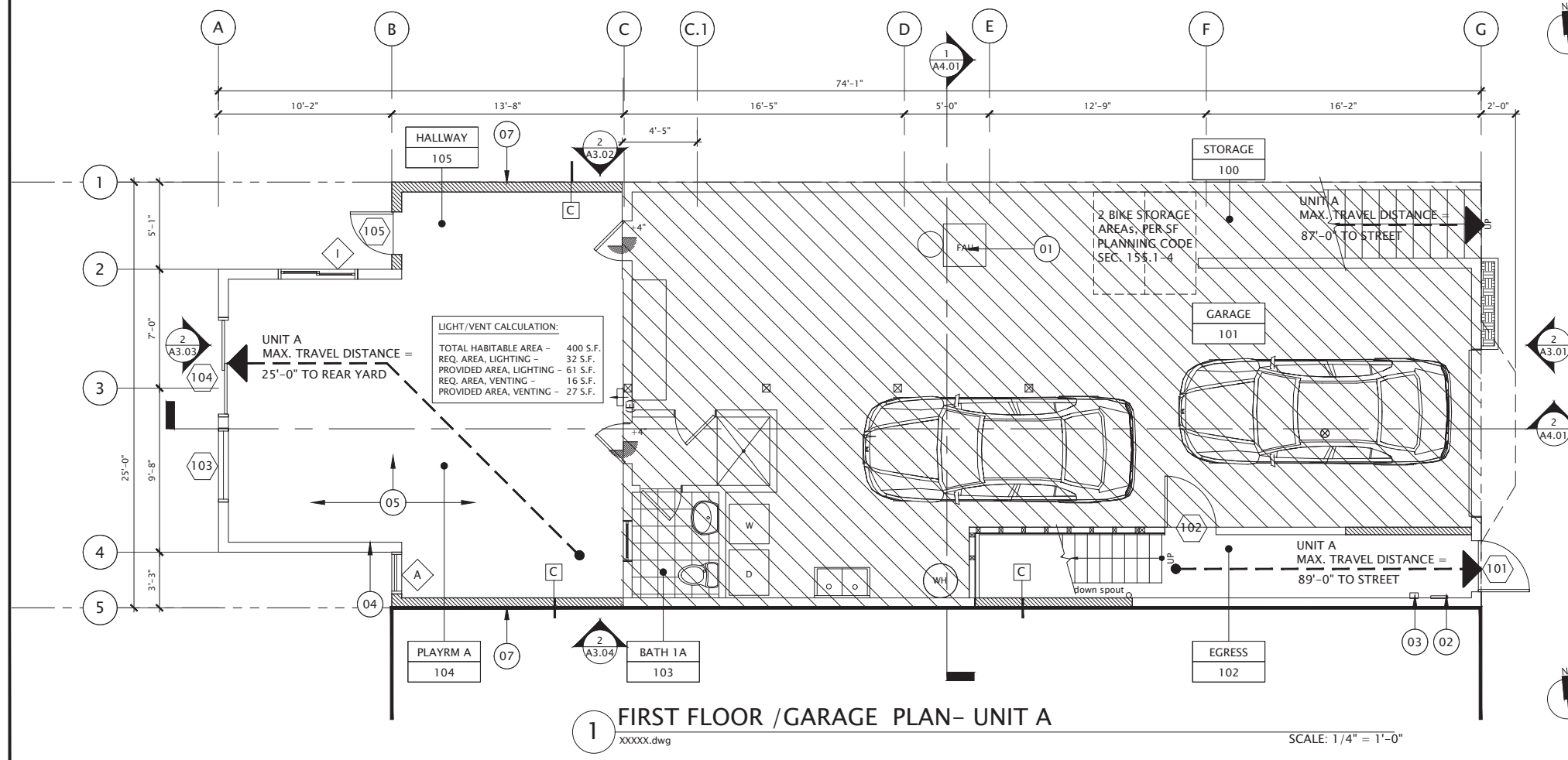
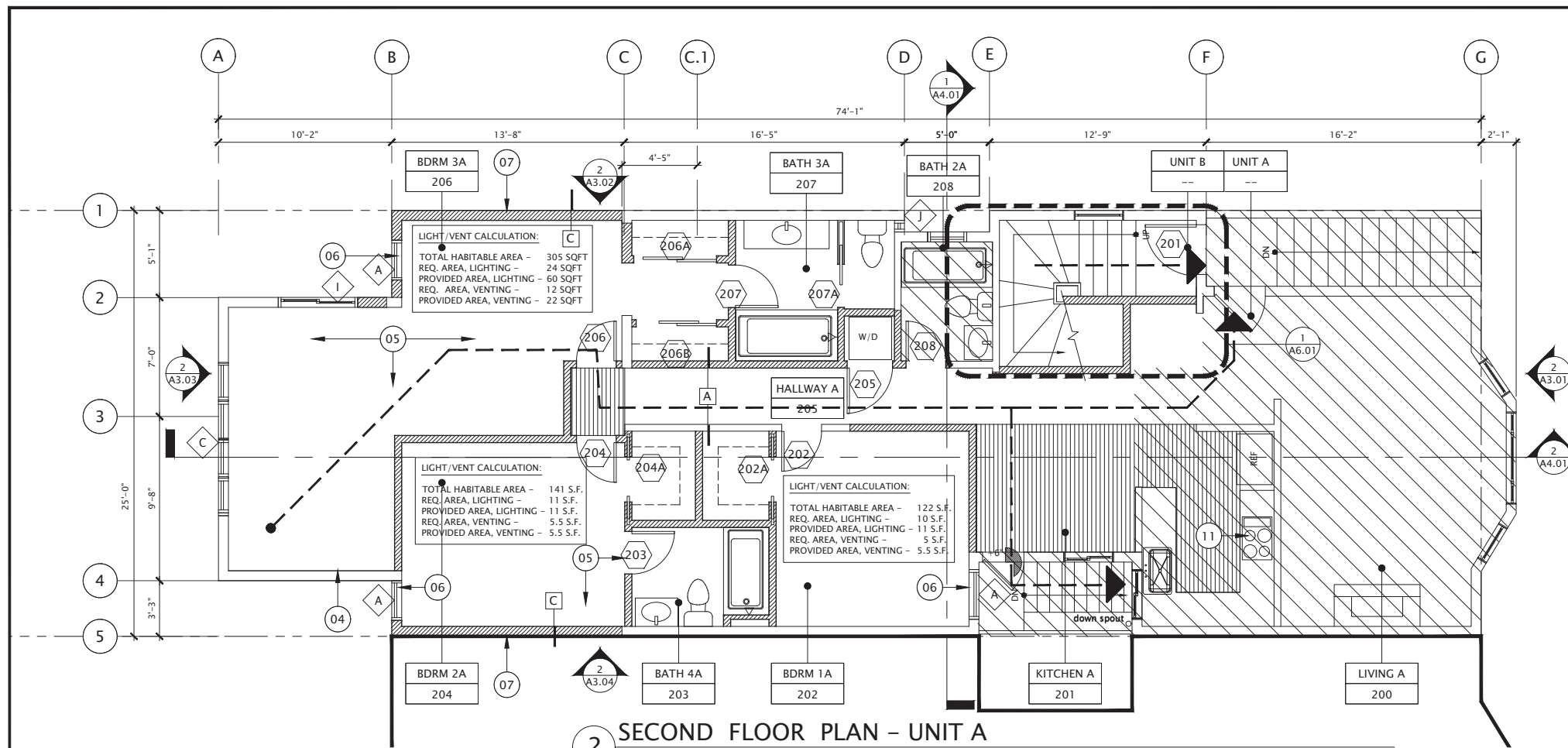
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HORIZONTAL ADDITIONS WITH VERTICAL DWELLING UNIT ADDITION

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Sheet
FIRST AND SECOND FLOOR PLANS UNIT A

A2.01



SHEET NOTES

REFER TO SHEET NOTES ON A2.01

KEYNOTES

- 06 EMERGENCY ESCAPE AND RESCUE WINDOW WITH REQUIRED 5 SF CLEAR OPENING (PER CBC 1029). REFER TO WINDOW SCHEDULE FOR GLAZING NOTES.
- 07 PROVIDE 1-HOUR FIRE RESISTANCE RATED ASSEMBLY AT ALL PROPERTY LINE BUILDING WALLS (PER CBC SEC 705).
- 08 PROVIDE SAFETY GLASS AT WINDOW NEXT TO BATHTUB (PER CBC 2406.4.5.)
- 09 TEMPERED GLASS RAILING ASSEMBLY AT ALL ROOF DECKS. SEE DETAIL 5/A4.01
- 10 FIRE RESISTANT CLASS B "BISON" DECK TILE & PEDESTAL SYSTEM OVER SBS ROOFING SYSTEM. SEE DETAIL -/A2.03 FOR TYPICAL DECK ASSEMBLY
- 12 GAS FIREPLACE EQUAL TO SL-3X SLIMLINE
- 13 RINNAI RUR98IN TANKLESS WATER HEATER WITH GAS FURNACE EQUAL TO EXISTING AT UNIT A GARAGE
- 14 SCUPPER TO RAINWATER LEADER, TYP. SEE DETAIL X/AXX
- 15 ROOF EXHAUST FAN.
- 16 CLASS 'A' SBS MODIFIED BITUMEN ROOF ASSEMBLY, TYP. SEE 2/A2.03
- 17 EXTEND (E) ROOF CHIMNEY EXHAUST FLUE.
- 19 1-HR RATED GLASS PARAPET AT ALL ROOF DECK WALLS WITHIN 5'-0" OF PROPERTY LINES PER 3/A2.02.

LEGEND

- (E) FRAMED WALL TO REMAIN
- NEW WALL, FULL HT.
- WINDOW/ LOUVER TAG
- KEY NOTE, SEE ABOVE
- NEW DOOR + DOOR TAG
- EXISTING DOOR TO REMAIN U.O.N. AS CABINETRY

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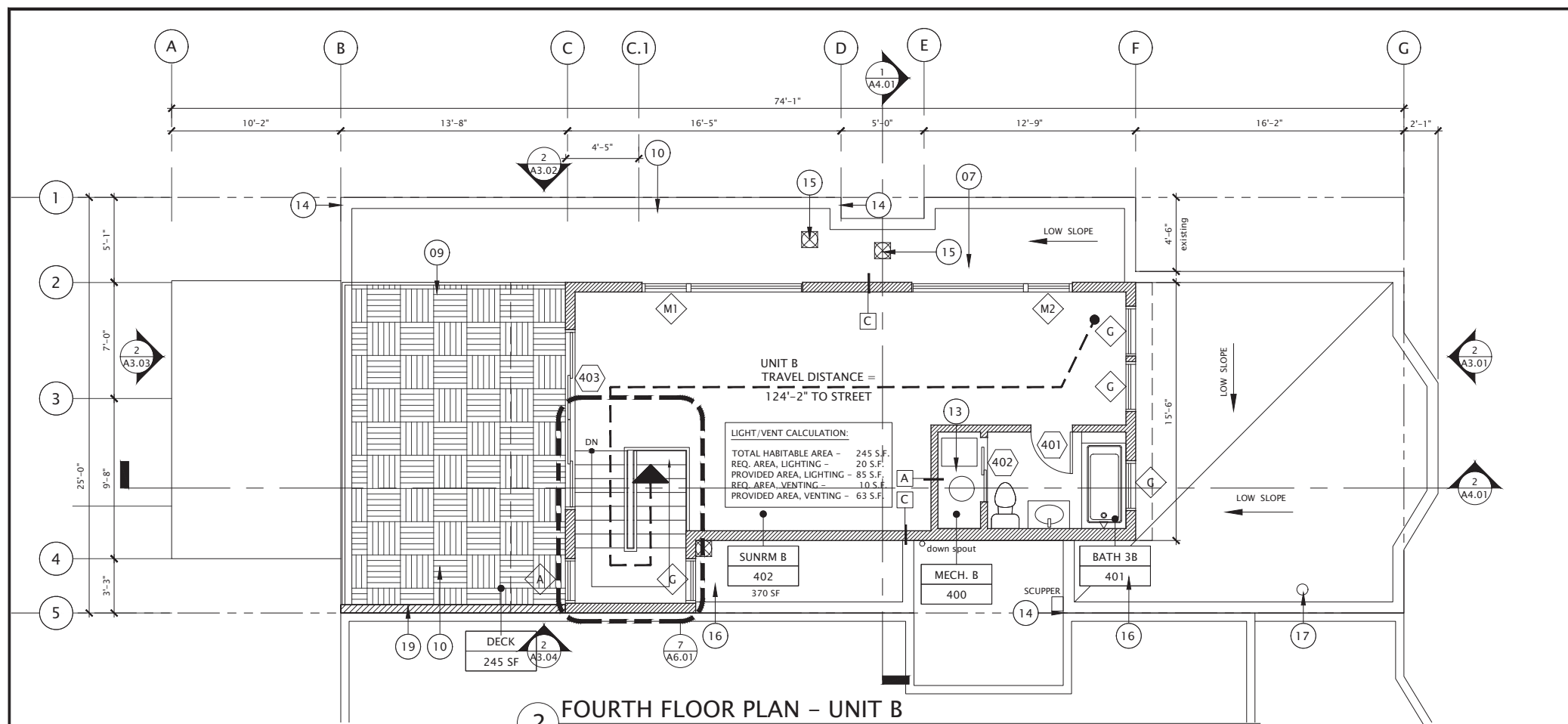
Project No. 1723

HORIZONTAL ADDITIONS WITH VERTICAL DWELLING UNIT ADDITION

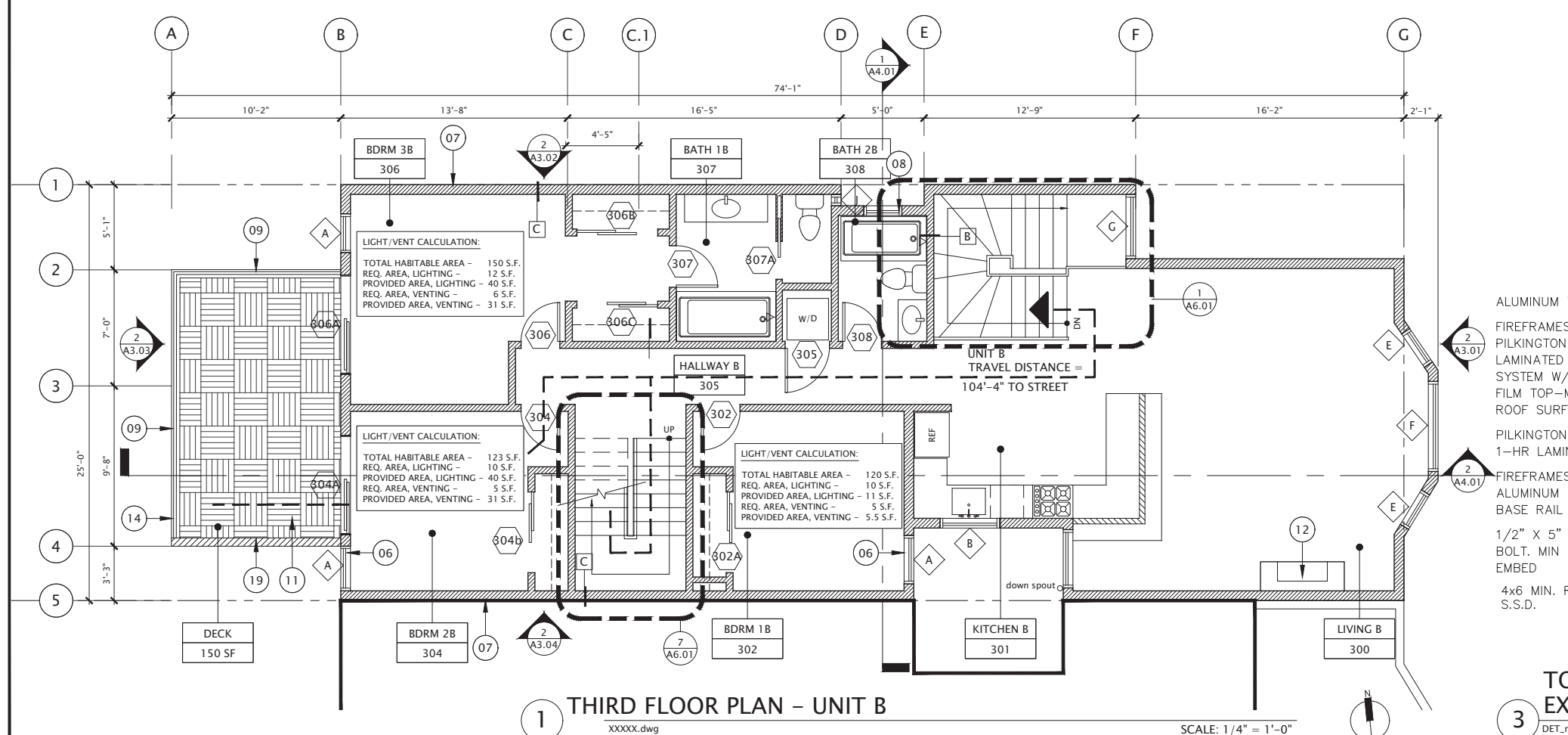
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Sheet
THIRD + FOURTH FLOOR PLANS UNIT B

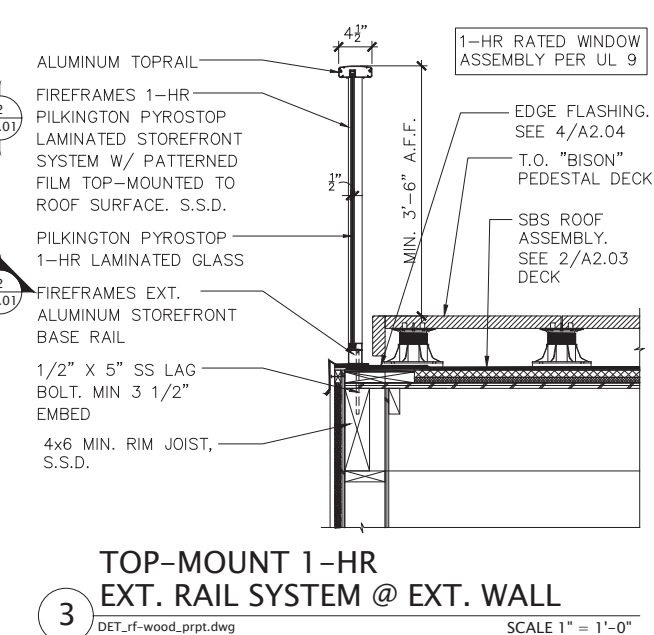
A2.02



2 FOURTH FLOOR PLAN - UNIT B
XXXXX.dwg SCALE: 1/4" = 1'-0"

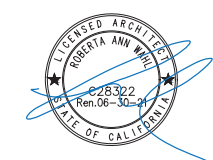


1 THIRD FLOOR PLAN - UNIT B
XXXXX.dwg SCALE: 1/4" = 1'-0"



3 TOP-MOUNT 1-HR EXT. RAIL SYSTEM @ EXT. WALL
DET_rf-wood_prpt.dwg SCALE 1" = 1'-0"

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SHEET NOTES

REFER TO SHEET NOTES ON A2.01

ROOFING NOTES

- A. ALL ITEMS ARE NEW, U.O.N.
- B. WHERE ROOFING CONDITIONS OCCUR THAT ARE NOT SHOWN OR DETAILED THE CONTRACTOR SHALL INSTALL THE ROOFING PER MANUFACTURER'S RECOMMENDED DETAIL FOR THE SPECIFIED ROOF SYSTEM, WITH PRIOR APPROVAL FROM THE ARCHITECT & DSA FIELD ENGINEER
- C. CONTRACTOR SHALL VERIFY SHAPE AND SIZE OF PRESSURE TREATED WOOD BLOCKING OR NAILERS IN ORDER TO PROVIDE A FLUSH TRANSITION FOR ROOFING SYSTEM MEMBRANES
- D. AFTER ALL ROOFING WORK IS COMPLETE, ROUTE ALL DOWNSPOUTS TO INSURE FREE FLOW. A WATER TEST SHALL BE PERFORMED ON EACH DOWNSPOUT WITH THE ARCHITECT OR INSPECTOR PRESENT, ALL JOINTS SHALL BE MADE WATERTIGHT
- E. ANY PONDING AT SLOPED ROOF AREAS SHALL NOT BE ACCEPTED AND IS CAUSE FOR REJECTION OF THE ROOF. CORRECTIVE WORK SHALL BE AS INDICATED BY THE ARCHITECT & THE MANUFACTURER'S REPRESENTATIVE
- D. CARPENTRY, MECHANICAL & ELECTRICAL WORK SHALL BE PERFORMED BY SKILLED TRADESMEN LICENSED IN THEIR TRADE.
- E. ALL ROOFING SHALL BE CLASS A THROUGHOUT
- F. PRIME AND PAINT ALL SHEET METAL AS SPECIFIED IN SECTION 09900 PAINTING
- G. ROOF PLAN DIMENSIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD MEASURE ALL ROOF AREAS AND BID ACCORDINGLY.
- H. ALL CARPENTRY, MECHANICAL & ELECTRICAL WORK SHALL BE PERFORMED BY SKILLED TRADESMEN LICENSED IN THEIR TRADE.
- I. ALL WOOD BLOCKING AND PLYWOOD INDICATED ON ROOFING DETAILS SHALL BE PRESERVATIVE TREATED. DISPOSE OF PRESSURE TREATED SPOILS PER REGULATORY REQUIREMENTS. ALL FASTENERS AT THE P.T. WOOD SHALL BE HOT DIPPED GALVANIZED.
- J. CONTRACTOR SHALL VERIFY SHAPE AND SIZE OF PRESSURE TREATED WOOD BLOCKING OR NAILERS IN ORDER TO PROVIDE A FLUSH TRANSITION FOR ROOFING SYSTEM MEMBRANES.

KEYNOTES

- 14 SCUPPER TO RAINWATER LEADER, TYP.
- 15 ROOF EXHAUST FAN.
- 16 CLASS 'A' SBS MODIFIED BITUMEN ROOF ASSEMBLY, TYP. SEE 2/-
- 19 1-HR RATED GLASS PARAPET AT ALL ROOF DECK WALLS WITHIN 5'-0" OF PROPERTY LINES

LEGEND

- 02 KEY NOTE, SEE ABOVE
- [Hatched Box] AREA OF SBS ROOFING

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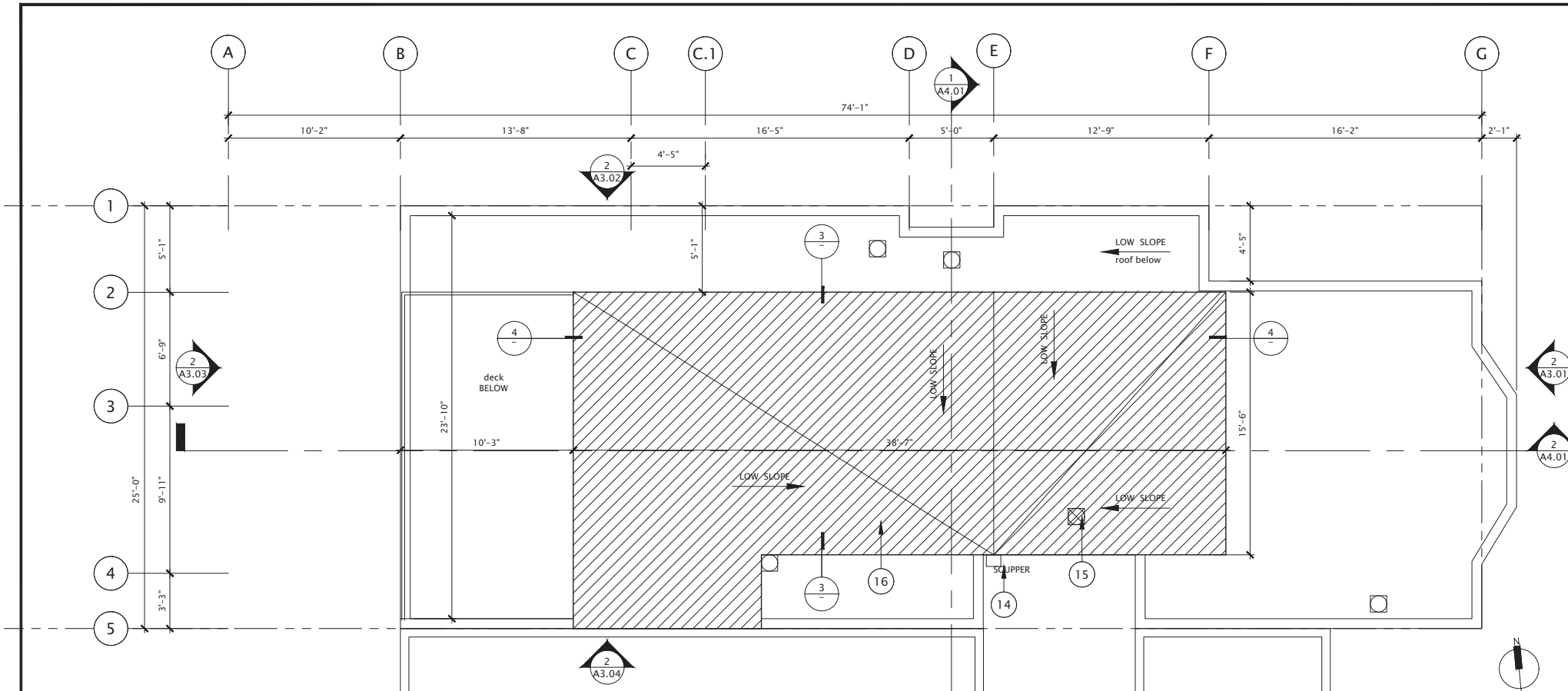
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HORIZONTAL ADDITIONS WITH VERTICAL DWELLING UNIT ADDITION

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Sheet
ROOF PLAN

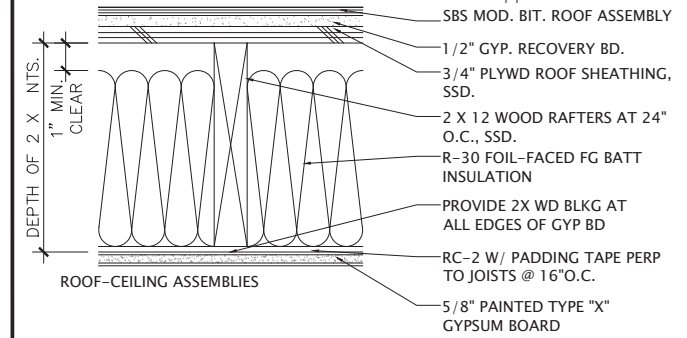
A2.03



1 UPPER ROOF PLAN

xxxxx.dwg

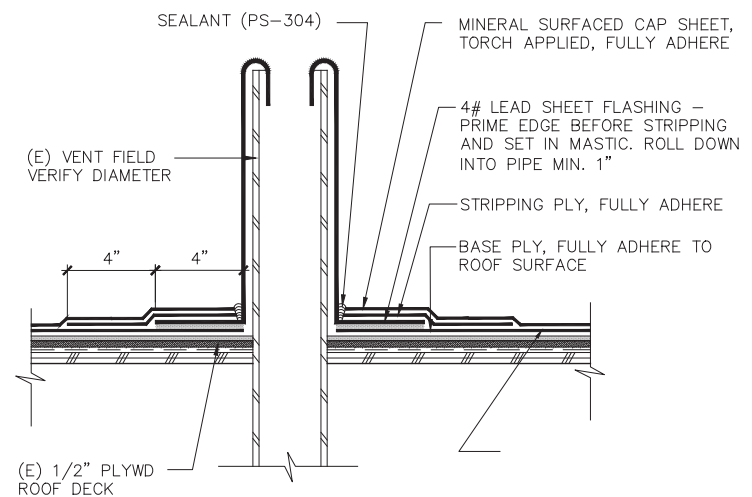
SCALE: 1/4" = 1'-0"



2 SECTION: TYPICAL ROOF ASSEMBLIES

DET_roof_sbs_assembly.dwg

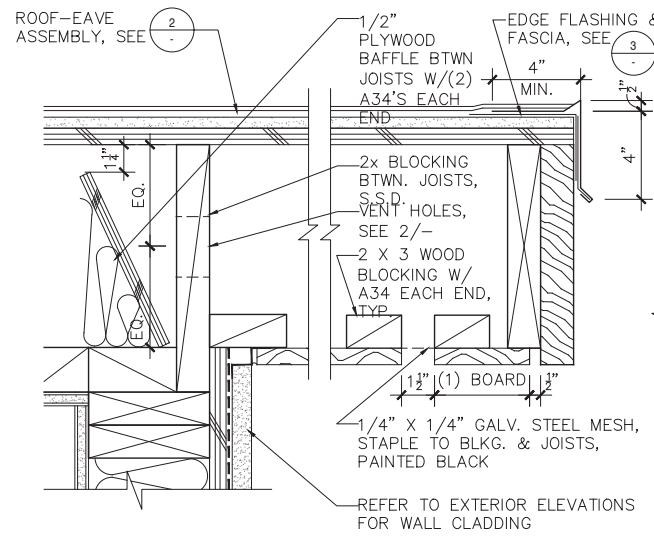
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5 VENT THROUGH ROOF

DET_roof_vent.dwg

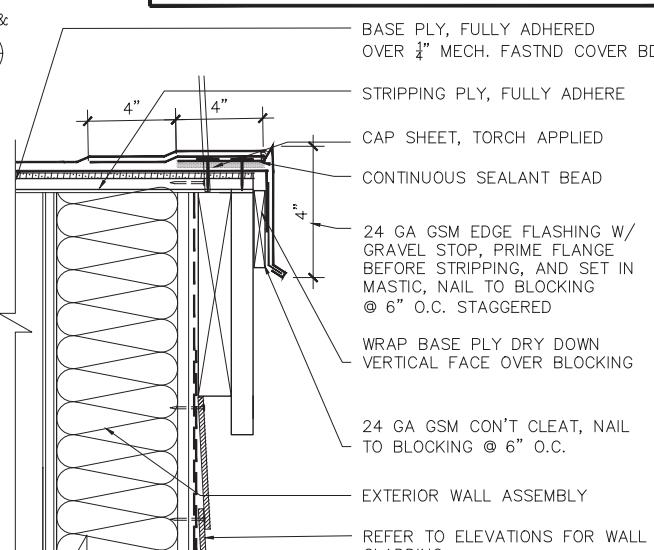
SCALE: 3" = 1'-0"



4 SECTION @ EAVE VENTING

DET_Roof_Eave_Venting.dwg

SCALE: 3" = 1'-0"



3 ROOF EDGE FLASHING DETAIL

DET_Roof_Edge_Flashing.dwg

SCALE: 3" = 1'-0"

REFLECTED CLNG. PLAN NOTES

- A. LIGHT FIXTURES ARE OWNER PROVIDED CONTRACTOR INSTALLED.
- B. ANY ITEM SHOWN GRAPHICALLY, BUT NOT SPECIFICALLY NOTED SHALL BE CONSIDERED PART OF THE SCOPE OF WORK AS IF NOTED.
- C. COORDINATE THE WORK OF ALL TRADES INVOLVED TO ENSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, ETC. NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHT INDICATED.
- D. FINISHED CEILING HT. TO BE LEVEL WITHIN THE TOLERANCE OF 1/8" IN 12'-0".
- E. ALL SWITCHES TO BE MOUNTED 48" A.F.F. UNLESS OTHERWISE NOTED. ALL HEIGHTS ARE GIVEN FROM FINISHED FLOOR TO 4" OF COVER PLATE, MOUNTED VERTICALLY. WHEN MORE THAN ONE SWITCH IS SHOWN AT THE SAME LOCATION, THEY SHALL BE GANGED & FINISHED W/ A SINGLE COVER PLATE.
- F. ALL DIMENSIONS ARE TO FACE OF FINISH, OR CENTERLINE, UNLESS OTHERWISE NOTED.
- G. ALL NEW ELECTRICAL OUTLETS AND LIGHTING FIXTURES TO BE CONFIRMED BY CLIENT.
- H. ALL ELECTRICAL OUTLETS INSTALLED IN WET LOCATIONS, INCLUDING BATHROOMS, KITCHENS, GARAGES, AND OUTDOOR LOCATIONS, TO BE GFCI PROTECTED. ALL OTHER LOCATIONS SHALL BE PROVIDED WITH AFCI OUTLETS.
- I. FOR ANY LENGTH OF COUNTERTOP GREATER THAN 12", OUTLETS SHALL BE PROVIDED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM AN OUTLET.
- J. AT LEAST ONE RECEPTACLE SHALL BE PROVIDED IN BATHROOMS WITHIN 3'-0" OF THE OUTSIDE EDGE OF EACH SINK BASIN.
- K. PROVIDE THE MINIMUM REQUIRED NUMBER OF OUTLETS IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, BEDROOM OR SIMILAR AREA OF DWELLING UNIT. OUTLETS SHALL BE SPACED SO THAT NO ONE POINT ALONG THE WALL IS MORE THAN 6'-0" FROM AN OUTLET.
- L. PROVIDE APPROVED 1-HR RATED FIRE-HATS AT ALL RECESSED LIGHT FIXTURES IN FIRE RATED ASSEMBLIES.
- M. ALL ELECTRICAL OUTLETS TO BE INSTALLED 12" ON CENTER, A.F.F. UNLESS OTHERWISE NOTED. SEE INTERIOR ELEVATIONS.
- N. ALL LIGHTING TO BE INSTALLED SHALL BE HIGH EFFICACY OR SHALL BE CONTROLLED BY EITHER DIMMERS OR VACANCY SENSORS.
- O. SMOKE ALARMS SHALL BE PROVIDED IN EACH SLEEPING ROOM AND HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AS PER CRC §314.3 & §314.3.3.
- P. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL ALARMS WITHIN THE DWELLING UNIT, PER CRC §314.5.
- Q. ALL NON-HIGH EFFICACY LIGHTING AT BATHROOMS TO BE CONTROLLED BY VACANCY SENSORS, PER CEC §150(k)(5)(B).
- R. EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS, UNLESS THE LUMINARY IS INTEGRATED INTO THE EXHAUST FAN UNIT.
- S. PROVIDE THE BUILDING INSPECTOR WITH ALL REQUIRED CF-6R FORMS (INSTALLATION CERTIFICATES, SIGNED AND DATED) AT OR BEFORE FINAL INSPECTION.
- T. PROVIDE BUILDING OFFICIAL WITH GAS SHUT-OFF LOCATIONS PRIOR TO CLOSE-IN WHICH MUST BE LOCATED WITHIN 6'-0" OF ALL GAS APPLIANCES AND MUST BE ACCESSIBLE AND SHALL NOT BE LOCATED BEHIND APPLIANCE PER CPC §1212.5.
- U. FIRE SPRINKLER SYSTEM AT (UNIT B) VERTICAL ADDITION. NOT REQUIRED AT (E) UNIT 'A'. TWO MEANS OF EXIT PROVIDED.

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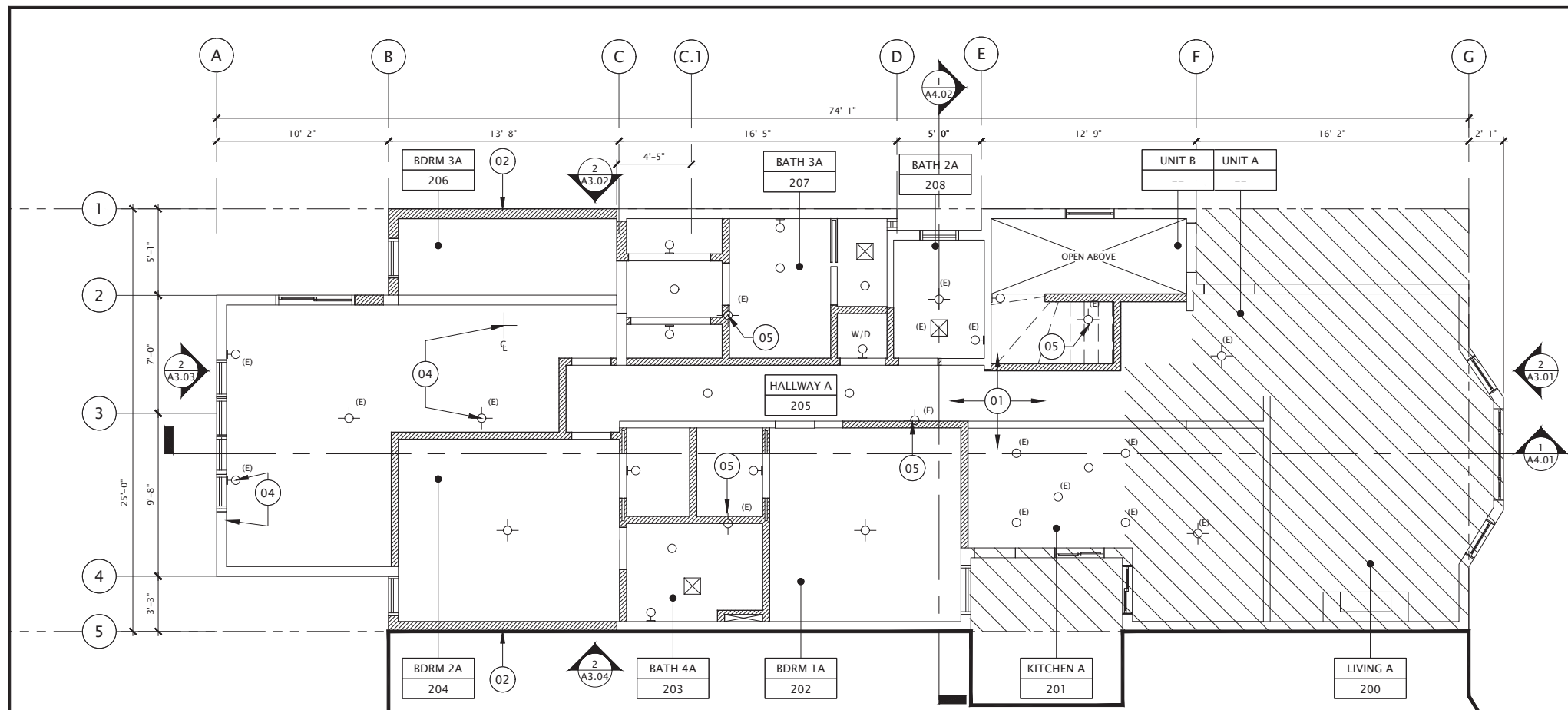
**HORIZONTAL
ADDITIONS WITH
VERTICAL DWELLING
UNIT ADDITION**

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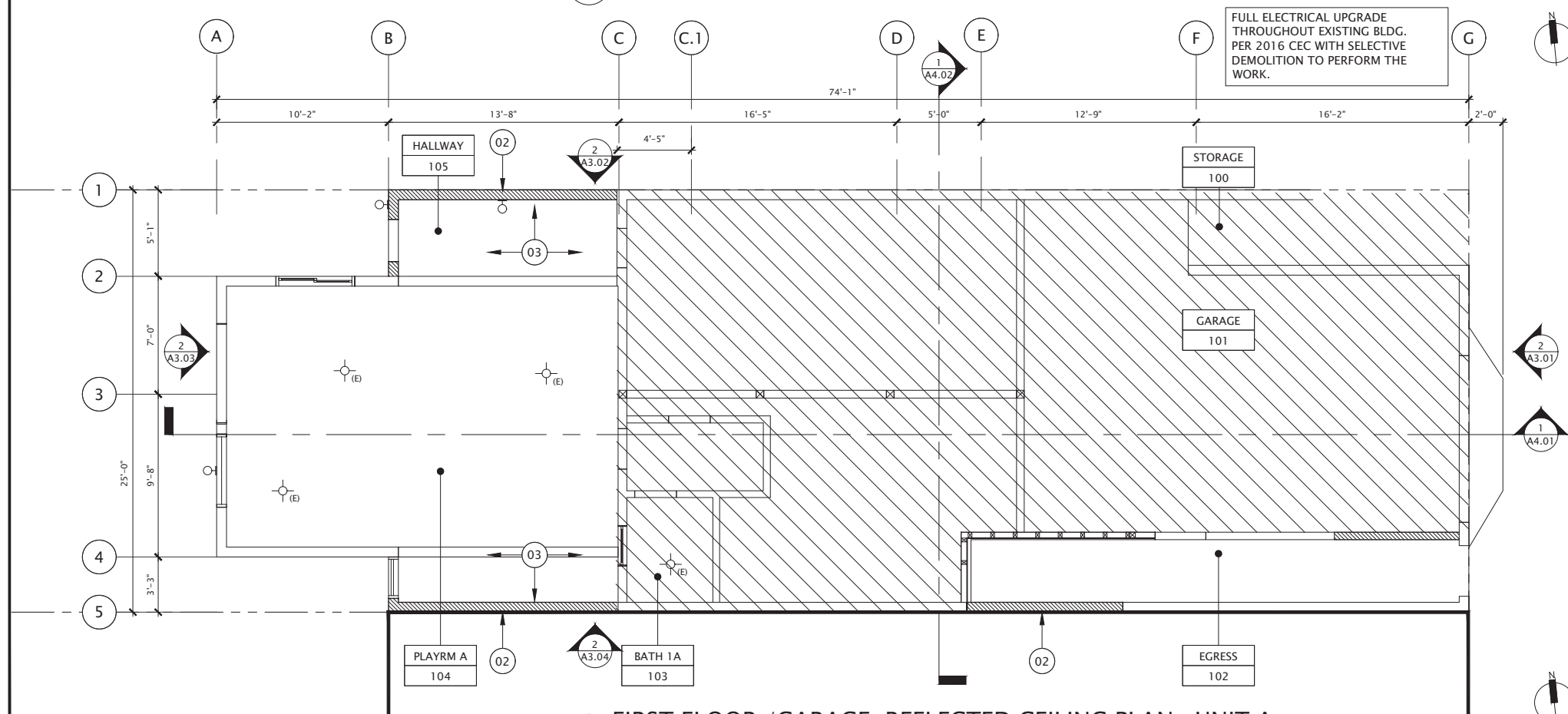
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**FIRST AND SECOND
REFLECTED CEILING
PLANS
UNIT A**

A2.04



2 SECOND FLOOR REFLECTED CEILING PLAN - UNIT A
XXXXX.dwg SCALE: 1/4" = 1'-0"



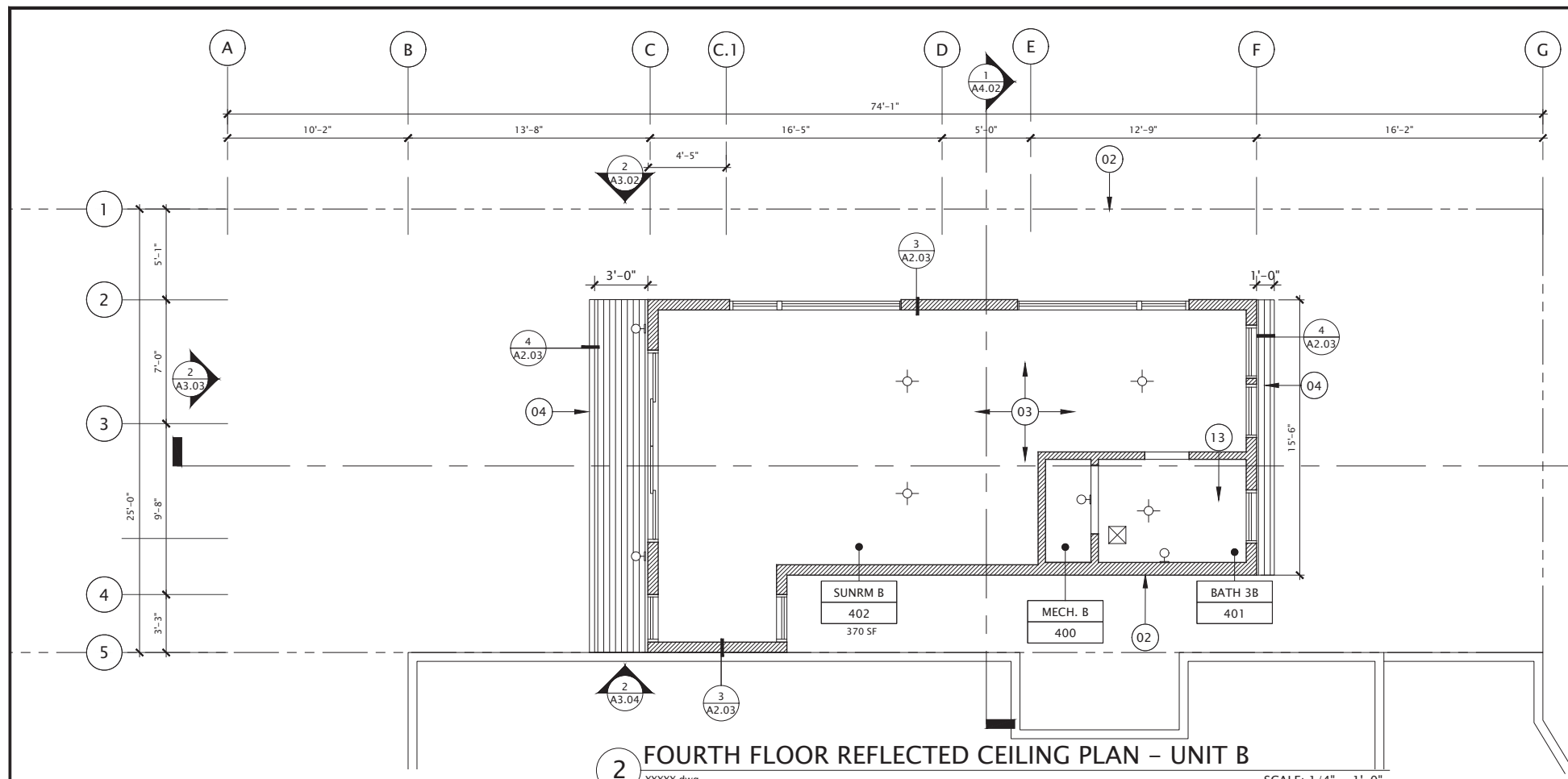
1 FIRST FLOOR / GARAGE REFLECTED CEILING PLAN- UNIT A
XXXXX.dwg SCALE: 1/4" = 1'-0"

KEYNOTES

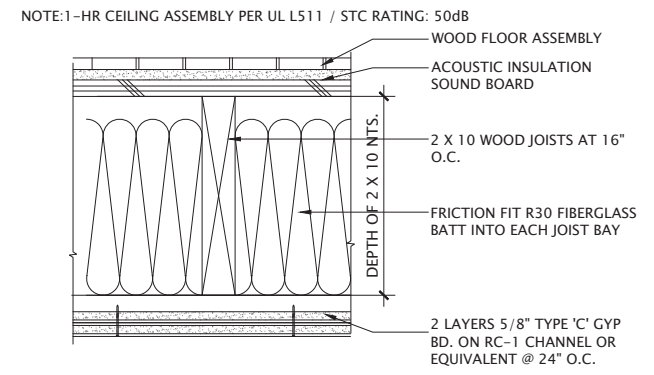
- 01 INSTALL 1-HR RATED FLOOR-CEILING ASSEMBLY BETWEEN SECOND FLOOR AND THIRD FLOOR WITH PER DETAIL 3/A2.05.
- 02 PROVIDE 1-HOUR FIRE RESISTANCE RATED ASSEMBLY AT ALL PROPERTY LINE BUILDING WALLS (PER CBC SEC 705).
- 03 PAINTED TYPE 'C' GYPSUM BOARD CEILING. TYP
- 04 RELOCATE (E) LIGHT FIXTURE
- 05 REMOVE (E) LIGHT FIXTURE. SEE CEILING PLAN FOR NEW LIGHT FIXTURE LAYOUT.

LEGEND

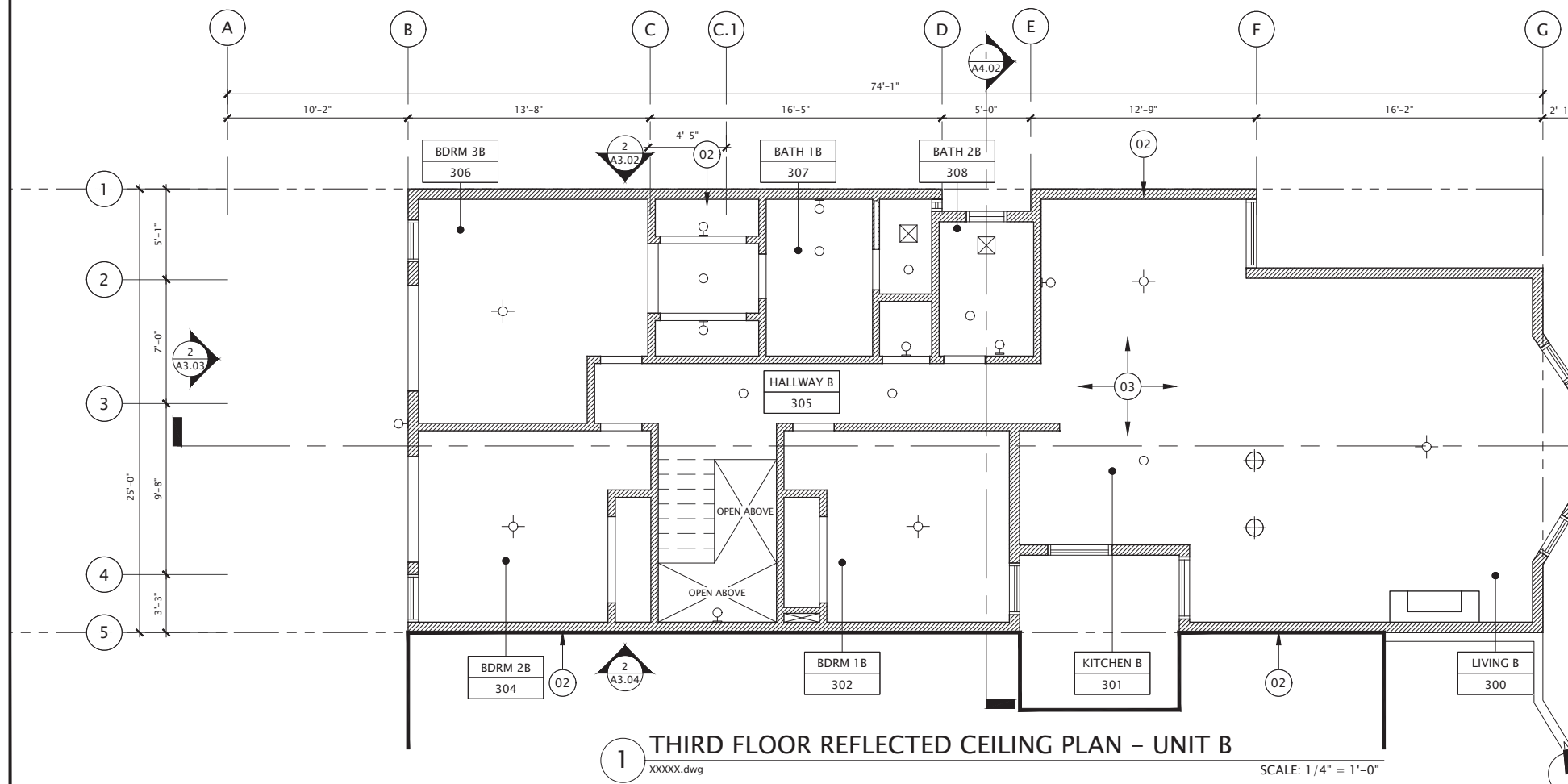
GRAPHIC	TYPE
	(E) FRAMED WALL TO REMAIN
	NEW WALL, FULL HT.
	KEY NOTE, SEE ABOVE
	80 CFM PANASONIC FAN MODEL "#FV-05-11VKS1" SWITCHED TO RUN 24HRS/DAY - W/ 4" Ø DUCT VENTED TO OUTSIDE. SONE RATING @ 110CFM IS <0.3
	EXIST. LIGHT FIXTURE TO REMAIN IN PLACE UNLESS OTHERWISE NOTED
	59 WATT 1X4 FLUORESCENT SURFACE MOUNT FIXTURE
	LED WALL SCOSCE
	RECESSED LED DOWN LIGHT - 10 WATT
	PENDANT LED LIGHT FIXTURE
	SURFACE MOUNT LED LIGHT FIXTURE
	UNDER CABINET RIGID 12V LINEAR LIGHT STRIP T.B.D.



2 FOURTH FLOOR REFLECTED CEILING PLAN - UNIT B
XXXXX.dwg SCALE: 1/4" = 1'-0"



3 1-HR CEILING ASSEMBLY
DET_ceiling assembly.dwg SCALE: 1-1/2" = 1'-0"



1 THIRD FLOOR REFLECTED CEILING PLAN - UNIT B
XXXXX.dwg SCALE: 1/4" = 1'-0"

REFLECTED CLNG. PLAN NOTES

REFER TO SHEET NOTES ON A2.04

KEYNOTES

- 02 PROVIDE 1-HOUR FIRE RESISTANCE RATED ASSEMBLY AT ALL PROPERTY LINE BUILDING WALLS (PER CBC SEC 705).
- 03 PAINTED TYPE 'C' GYPSUM BOARD CEILING. TYP
- 04 CLEAR STAINED CEDAR T&G EXTERIOR SOFFIT. TYP

LEGEND

GRAPHIC	TYPE
	(E) FRAMED WALL TO REMAIN
	NEW WALL, FULL HT.
	KEY NOTE, SEE ABOVE
	80 CFM PANASONIC FAN MODEL "#FV-05-11VKS1" SWITCHED TO RUN 24HRS/DAY - W/ 4" Ø DUCT VENTED TO OUTSIDE. SONE RATING @ 110CFM IS <0.3
	(E) EXIST. LIGHT FIXTURE TO REMAIN IN PLACE
	59 WATT 1X4 FLUORESCENT SURFACE MOUNT FIXTURE
	LED WALL SCONCE
	RECESSED LED DOWN LIGHT - 10 WATT
	PENDANT LED LIGHT FIXTURE
	SURFACE MOUNT LED LIGHT FIXTURE
	UNDER CABINET RIGID 12V LINEAR LIGHT STRIP T.B.D.

	Date
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SF PLANNING SUBMITTAL	02/28/2020

Project No. 1723
HORIZONTAL ADDITIONS WITH VERTICAL DWELLING UNIT ADDITION

619 22ND Avenue
San Francisco, CA 94121
BLOCK/LOT: 1622/002

Sheet
THIRD + FOURTH FLOOR REFLECTED CEILING PLANS UNIT B

A2.05

Stamp



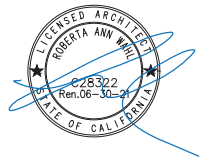
SHEET NOTES

- A. ANY ITEM SHOWN GRAPHICALLY, BUT NOT SPECIFICALLY NOTED SHALL BE CONSIDERED PART OF THE SCOPE OF WORK AS IF NOTED
- B. PROVIDE TYPICAL BLOCKING AT ALL WALL HUNG/ATTACHED ITEMS, SEE DETAIL 2/A5.03
- C. SEE DOOR & WINDOW SCHEDULES, SHEET A5.01 + A5.02 FOR DOOR & WINDOW INFORMATION & DETAILS
- D. RAINWATER LEADERS TO BE SCHEDULE 40, COLOR TO MATCH WALL
- E. PAINTING TO MATCH (E) AND HIDE ALL PATCHES & ALTERATIONS.

KEYNOTES

- (01) NOT USED
- (02) PAINTED EXTERIOR CEMENT STUCCO. MATCH (E) STUCCO TEXTURE.
- (03) PAINTED WOOD DECORATIVE CORNICE. SEE DETAIL 4/A4.01
- (04) PAINTED WOOD INSULATED WINDOW. SEE WINDOW SCHEDULE ON A5.02
- (05) PAINTED WOOD DOOR. SEE DOOR SCHEDULE ON A5.01

Stamp



	Date
PROGRAMMING	12/22/2017
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SF PLANNING SUBMITTAL	02/28/2020

Project No. 1723

**HORIZONTAL
ADDITIONS WITH
VERTICAL DWELLING
UNIT ADDITION**

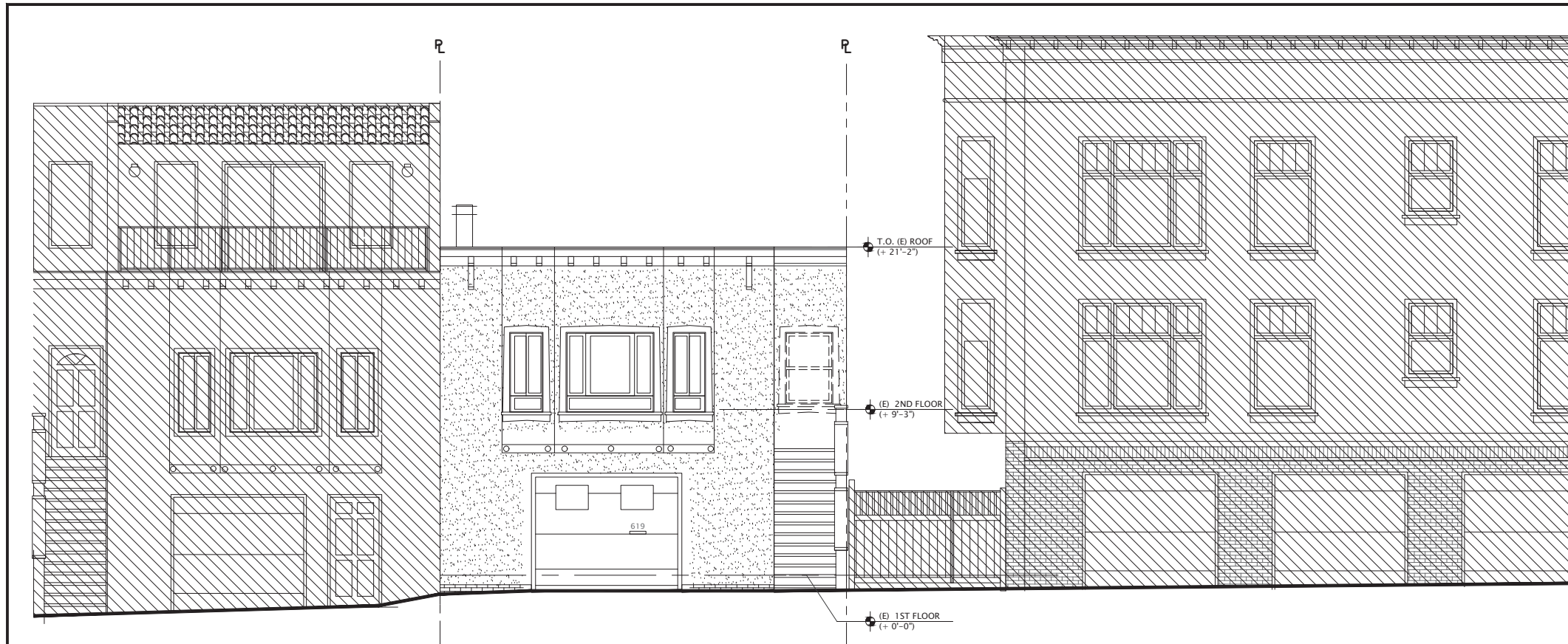
619 22ND Avenue
San Francisco, CA 94121
BLOCK/LOT: 1622/002

Sheet

**EXTERIOR BUILDING
ELEVATIONS**

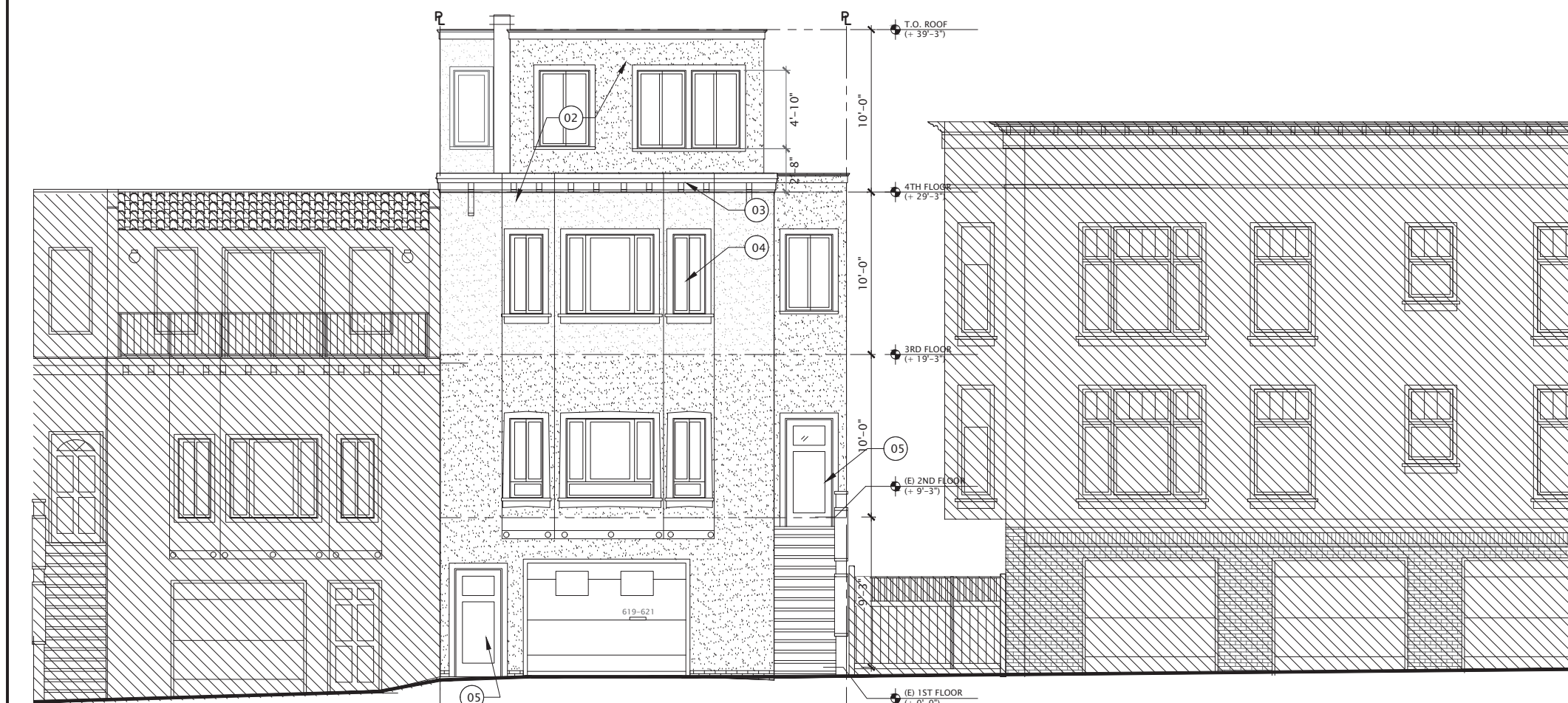
LEGEND

- ← (02) KEY NOTE, SEE ABOVE
- (E) EXTERIOR ASBESTOS WALL SHINGLES TO BE REMOVED
- PAINTED EXTERIOR CEMENT STUCCO
- PAINTED EXTERIOR CEMENT BOARD SIDING



1 EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"



2 PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"

A3.01

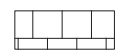
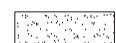
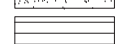
SHEET NOTES

REFER TO DRAWING A3.01 FOR SHEET NOTES

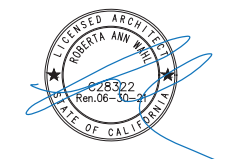
KEYNOTES

- 01 PAINTED CEMENT BOARD LAP SIDING +/-6" WIDTH. FIELD VERIFY AND MATCH EXISTING WIDTH.
- 02 PAINTED EXTERIOR CEMENT STUCCO
- 03 PAINTED WOOD DECORATIVE CORNICE. SEE DETAIL 4/A4.01
- 04 PAINTED WOOD INSULATED WINDOW. SEE WINDOW SCHEDULE ON A5.02
- 05 NOT USED
- 06 NOT USED
- 07 PROVIDE 1-HOUR FIRE RESISTANCE RATED ASSEMBLY AT ALL PROPERTY LINE BUILDING WALLS (PER CBC SEC 705).
- 08 PROVIDE SAFETY GLASS AT WINDOW NEXT TO BATHTUB (PER CBC 2406.4.5.)
- 09 TEMPERED GLASS GUARDRAILS WITH BIRD SAFE GLAZING TREATMENT FACING REAR YARD. BIRD-SAFE GLAZING TREATMENT MAY BE FRITTING, NETTING, PERMANENT STENCILS OR FROSTED GLASS. VERTICAL ELEMENTS OF THE GLAZING PATTERNS SHOULD BE AT LEAST 1/4 INCH WIDE AT A MINIMUM SPACING OF 4 INCHES, OR HAVE HORIZONTAL ELEMENTS AT LEAST 1/8 INCH WIDE AT A MAXIMUM SPACING OF 2 INCHES. SUBMIT SAMPLES TO OWNER FOR FINAL SELECTION. SEE DETAIL 5/A4.01
- 10 FIRE RESISTANT CLASS B COMPOSITE DECKING OVER SBS ROOFING SYSTEM. SEE DETAIL 5/A4.01 FOR TYPICAL ROOF DECK ASSEMBLY
- 11 CLASS 'A' SBS MODIFIED BITUMEN ROOF ASSEMBLY, TYP. SEE 2/A2.03

LEGEND

- ← 02 KEY NOTE, SEE ABOVE
-  (E) EXTERIOR ASBESTOS WALL SHINGLES TO BE REMOVED
-  PAINTED EXTERIOR CEMENT STUCCO
-  PAINTED EXTERIOR CEMENT BOARD SIDING

Stamp



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Project No. 1723

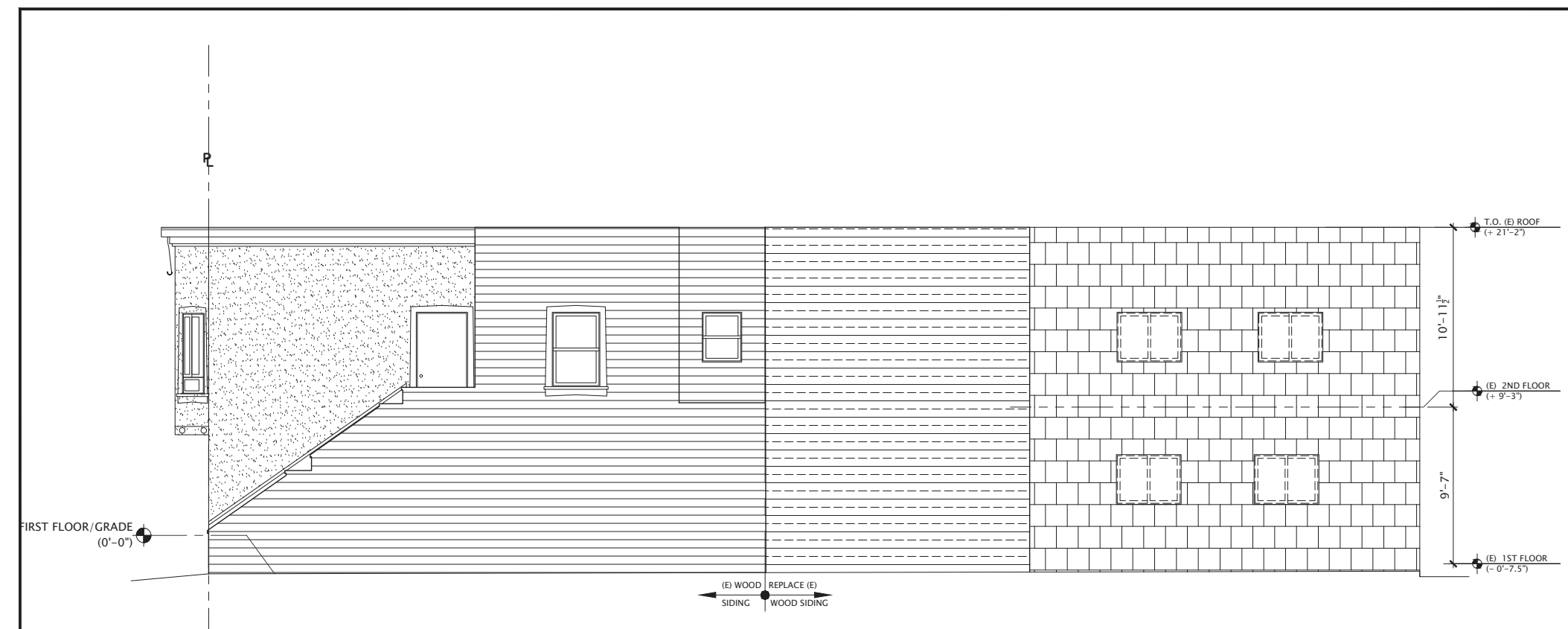
HORIZONTAL ADDITIONS WITH VERTICAL DWELLING UNIT ADDITION

619 22ND Avenue
San Francisco, CA 94121
BLOCK/LOT: 1622/002

Sheet

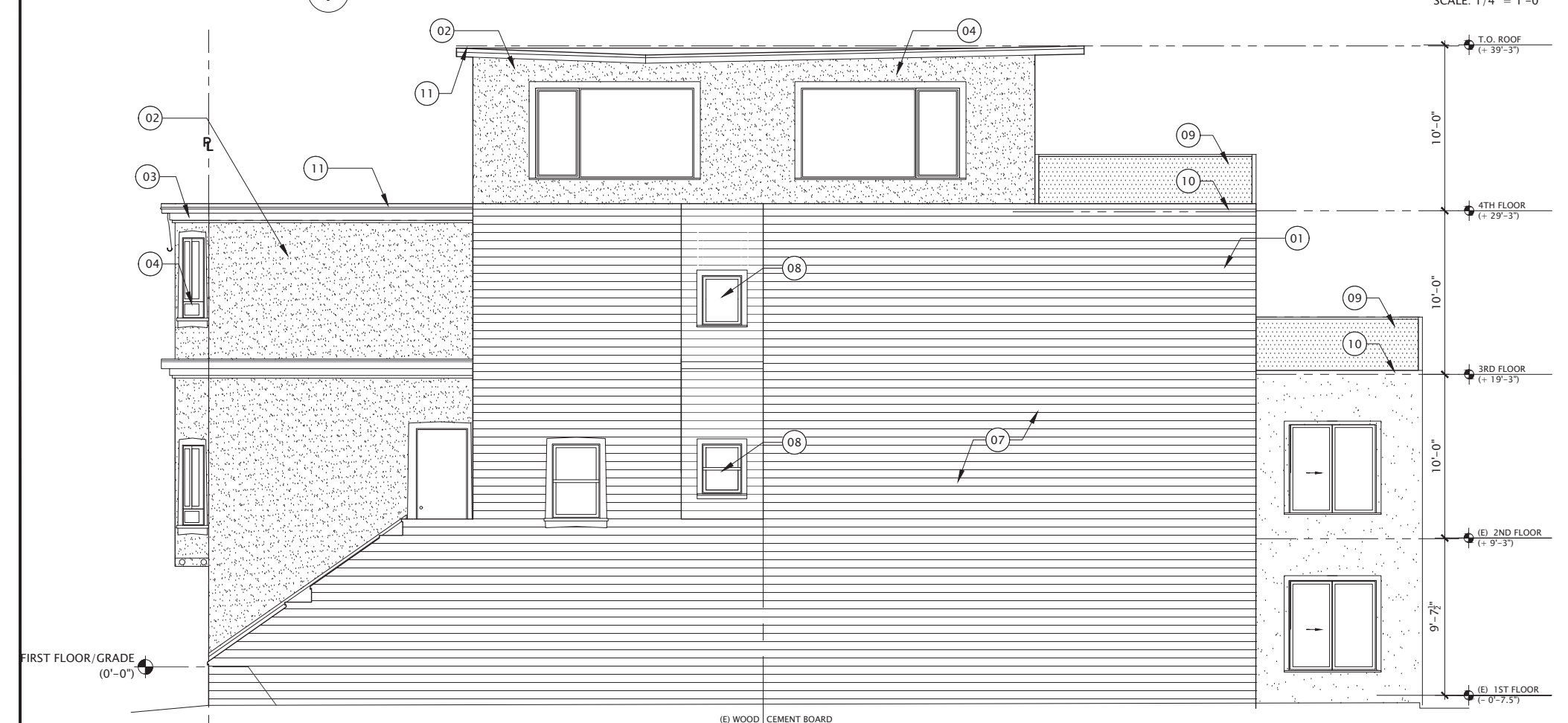
EXTERIOR BUILDING ELEVATIONS

A3.02



1 EXISTING SIDE ELEVATION - VIEWED BY NORTH NEIGHBOR (603-609 22ND AVE)

SCALE: 1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION - VIEWED BY NORTH NEIGHBOR (603-609 22ND AVE)

SCALE: 1/4" = 1'-0"




SHEET NOTES

REFER TO DRAWING A3.01 FOR SHEET NOTES

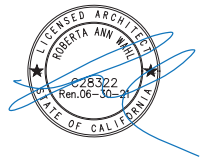
KEYNOTES

- 01 PAINTED CEMENT BOARD LAP SIDING +/-6" WIDTH. FIELD VERIFY AND MATCH EXISTING WIDTH.
- 02 PAINTED EXTERIOR CEMENT STUCCO
- 03 NOT USED
- 04 NOT USED
- 05 NOT USED
- 06 EMERGENCY ESCAPE AND RESCUE WINDOW WITH REQUIRED 5 SF CLEAR OPENING (PER CBC 1029). REFER TO WINDOW SCHEDULE ON A5.02
- 07 PROVIDE 1-HOUR FIRE RESISTANCE RATED ASSEMBLY AT ALL PROPERTY LINE BUILDING WALLS (PER CBC SEC 705).
- 08 NOT USED
- 09 TEMPERED GLASS GUARDRAILS WITH BIRD SAFE GLAZING TREATMENT FACING REAR YARD. BIRD-SAFE GLAZING TREATMENT MAY BE FRITTING, NETTING, PERMANENT STENCILS OR FROSTED GLASS. VERTICAL ELEMENTS OF THE GLAZING PATTERNS SHOULD BE AT LEAST 1/4 INCH WIDE AT A MINIMUM SPACING OF 4 INCHES, OR HAVE HORIZONTAL ELEMENTS AT LEAST 1/8 INCH WIDE AT A MAXIMUM SPACING OF 2 INCHES. SUBMIT SAMPLES TO OWNER FOR FINAL SELECTION. SEE DETAIL 5/A4.01
- 10 FIRE RESISTANT CLASS B COMPOSITE DECKING OVER SBS ROOFING SYSTEM. SEE DETAIL 5/A4.01 FOR TYPICAL ROOF DECK ASSEMBLY
- 11 CLASS 'A' SBS MODIFIED BITUMEN ROOF ASSEMBLY, TYP. SEE 2/A2.03

LEGEND

- ← 02 KEY NOTE, SEE ABOVE
-  (E) EXTERIOR ASBESTOS WALL SHINGLES TO BE REMOVED
-  PAINTED EXTERIOR CEMENT STUCCO
-  PAINTED EXTERIOR CEMENT BOARD SIDING

Stamp



	Date
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Project No. 1723

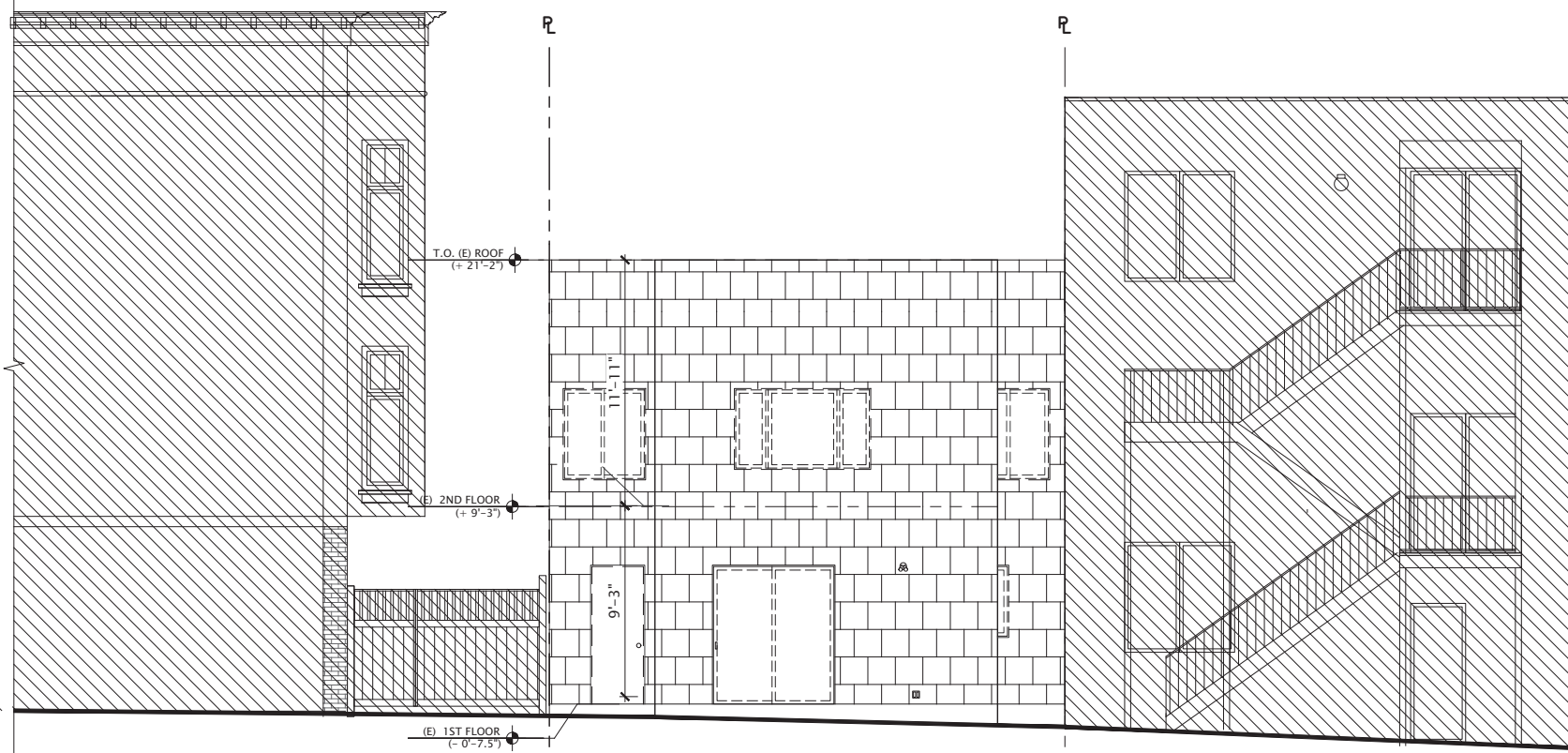
HORIZONTAL ADDITIONS WITH VERTICAL DWELLING UNIT ADDITION

619 22ND Avenue
San Francisco, CA 94121
BLOCK/LOT: 1622/002

Sheet

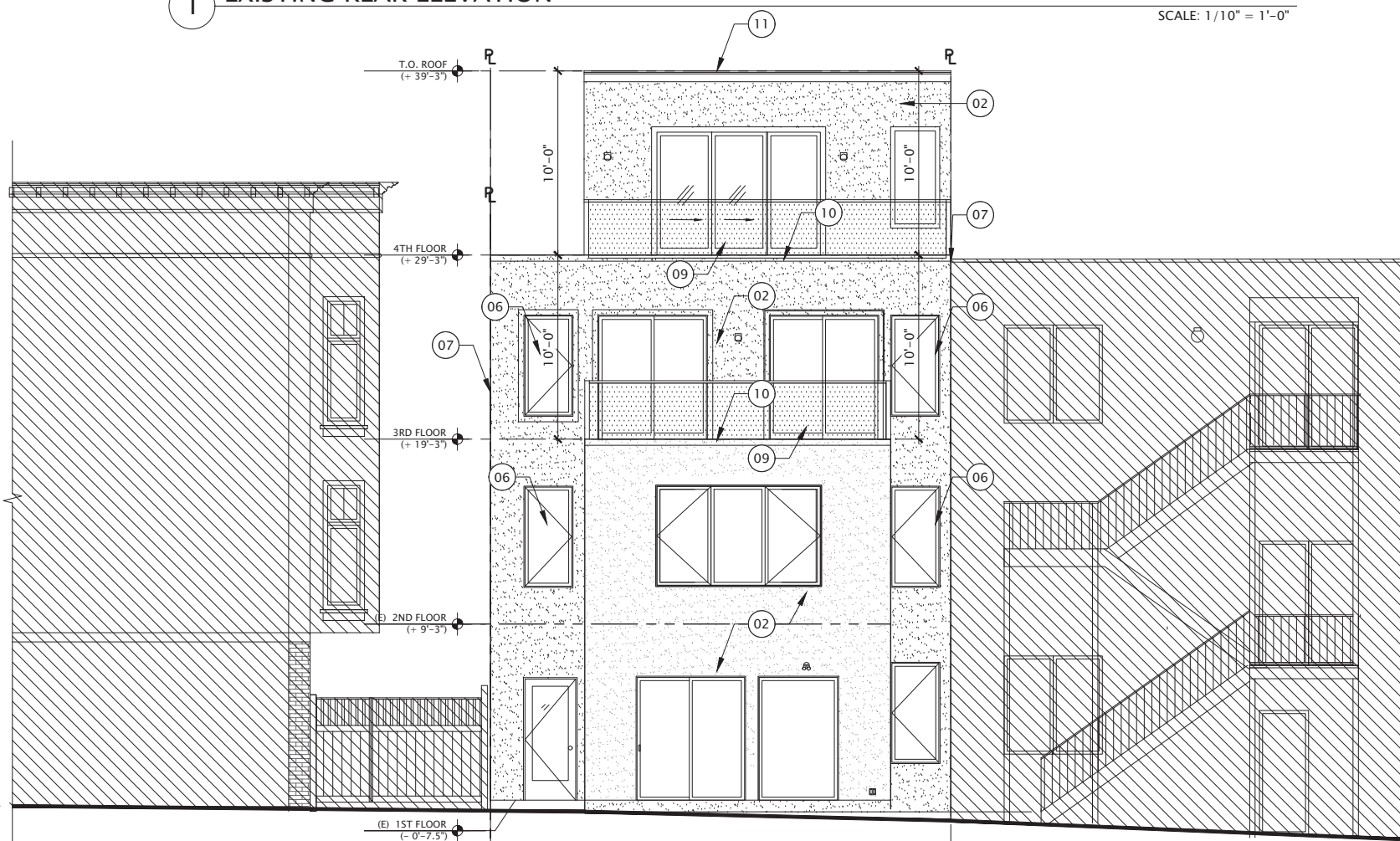
EXTERIOR BUILDING ELEVATIONS

A3.03



1 EXISTING REAR ELEVATION

SCALE: 1/10" = 1'-0"



2 PROPOSED REAR ELEVATION

SCALE: 1/10" = 1'-0"

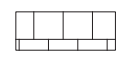
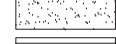
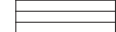
SHEET NOTES

REFER TO DRAWING A3.01 FOR SHEET NOTES

KEYNOTES

- 01 PAINTED CEMENT BOARD LAP SIDING +/-6" WIDTH. FIELD VERIFY AND MATCH EXISTING WIDTH.
- 02 PAINTED EXTERIOR CEMENT STUCCO
- 03 PAINTED WOOD DECORATIVE CORNICE. SEE DETAIL 4/A4.01
- 04 PAINTED WOOD INSULATED WINDOW. SEE WINDOW SCHEDULE ON A5.02
- 05 NOT USED
- 06 NOT USED
- 07 PROVIDE 1-HOUR FIRE RESISTANCE RATED ASSEMBLY AT ALL PROPERTY LINE BUILDING WALLS (PER CBC SEC 705).
- 08 NOT USED
- 09 PROVIDE TEMPERED GLASS RAILING ASSEMBLY AT ALL ROOF DECKS. SEE DETAIL 5/A4.01
- 10 FIRE RESISTANT CLASS B COMPOSITE DECKING OVER SBS ROOFING SYSTEM. SEE DETAIL 5/A4.01 FOR TYPICAL ROOF DECK ASSEMBLY
- 11 CLASS 'A' SBS MODIFIED BITUMEN ROOF ASSEMBLY, TYP. SEE 2/A2.03
- 12 SPRINKLER UNPROTECTED WINDOW OPENING TO COMPLY WITH 2016 CBC TABLE 705.8 FOR MAX. 25% RESIDENTIAL EXTERIOR WALL OPENING.

LEGEND

- ← 02 KEY NOTE, SEE ABOVE
-  (E) EXTERIOR ASBESTOS WALL SHINGLES TO BE REMOVED
-  PAINTED EXTERIOR CEMENT STUCCO
-  PAINTED EXTERIOR CEMENT BOARD SIDING

Stamp



	Date
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SF PLANNING SUBMITTAL	02/28/2020

Project No. 1723

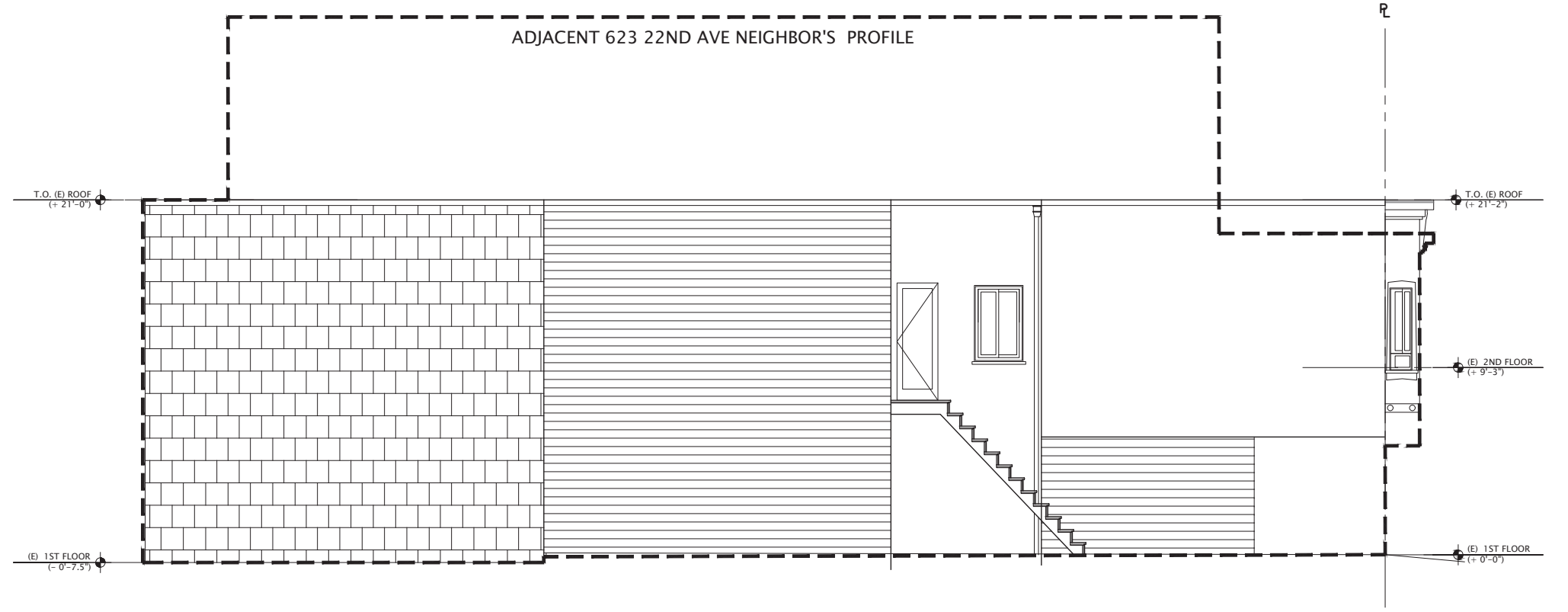
HORIZONTAL ADDITIONS WITH VERTICAL DWELLING UNIT ADDITION

619 22ND Avenue
San Francisco, CA 94121
BLOCK/LOT: 1622/002

Sheet

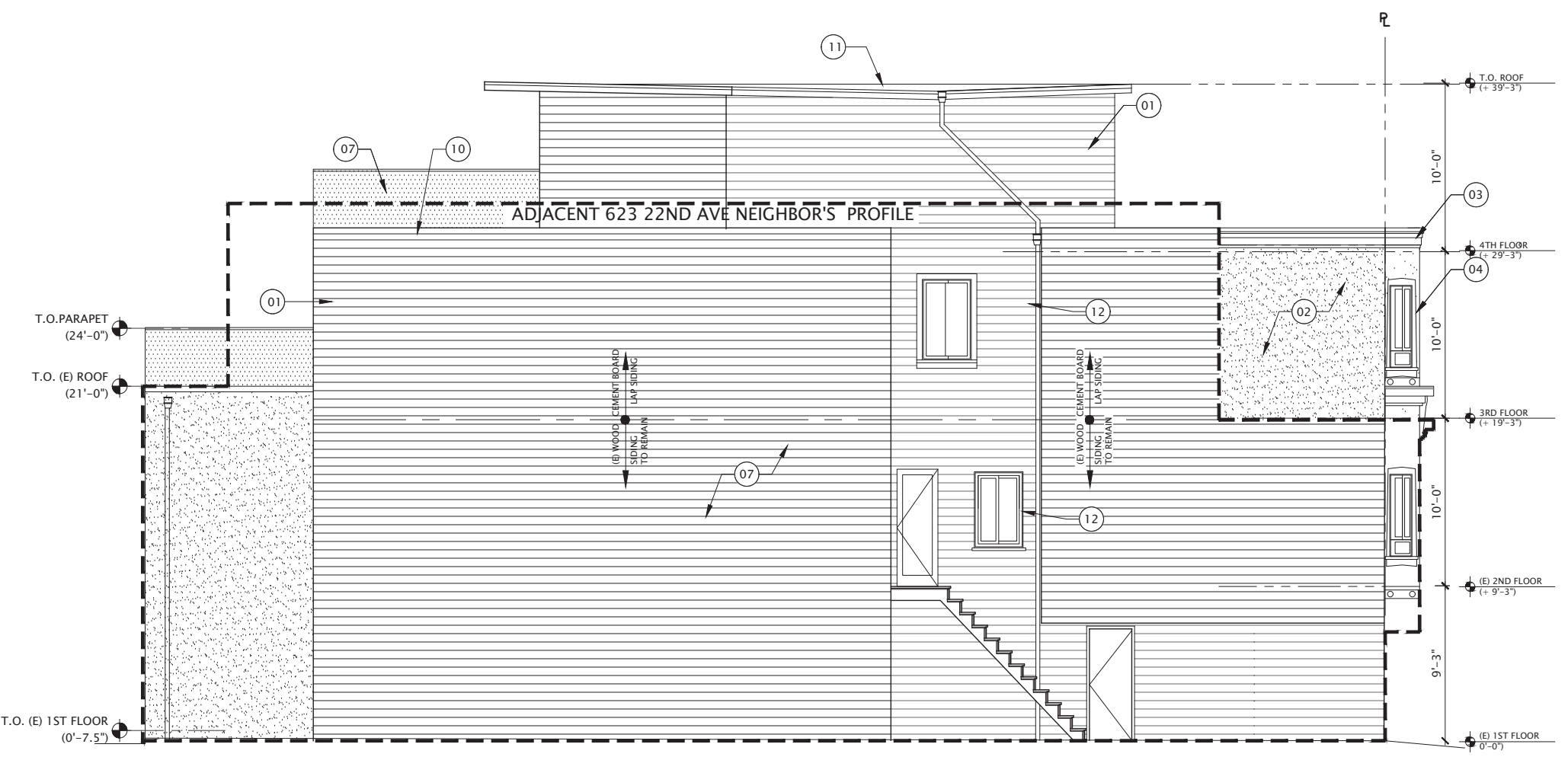
EXTERIOR BUILDING ELEVATIONS

A3.04



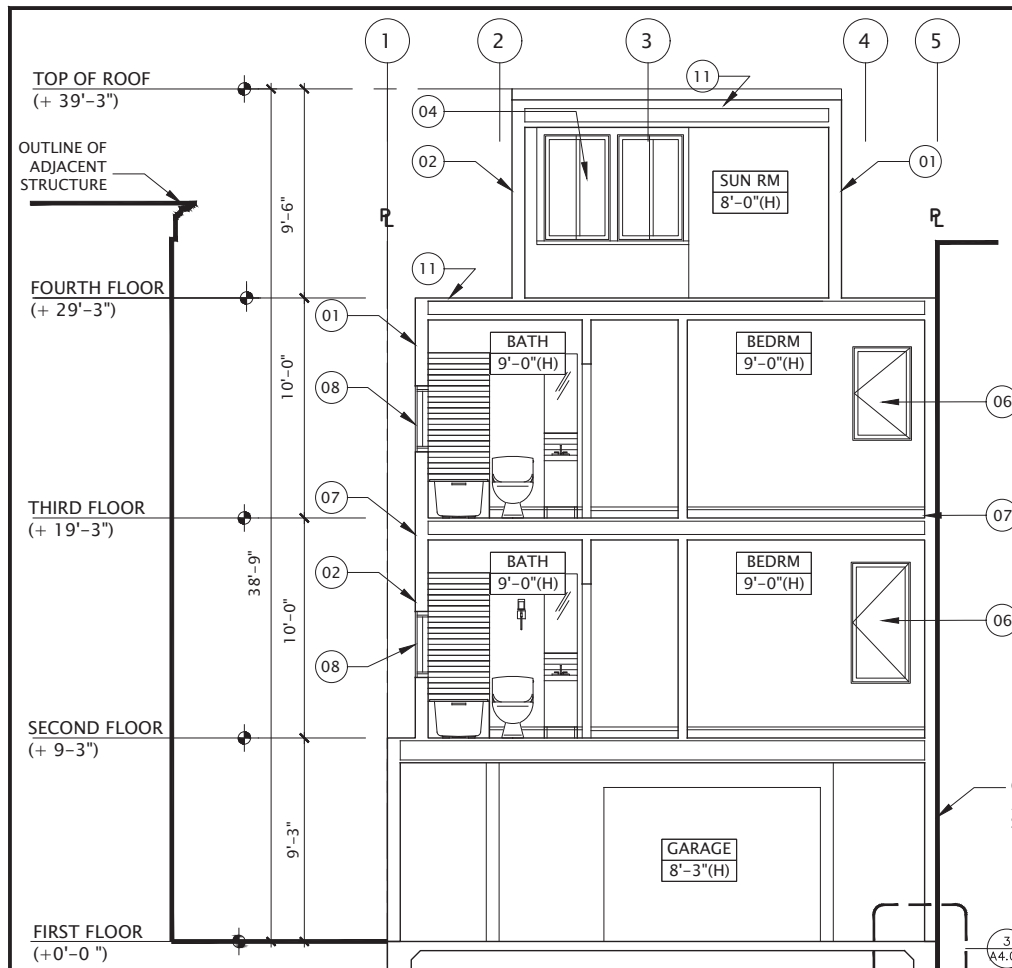
1 EXISTING SIDE ELEVATION - VIEWED BY SOUTH NEIGHBOR (623 22ND AVE)

SCALE: 1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION - VIEWED BY SOUTH NEIGHBOR (623 22ND AVE)

SCALE: 1/4" = 1'-0"

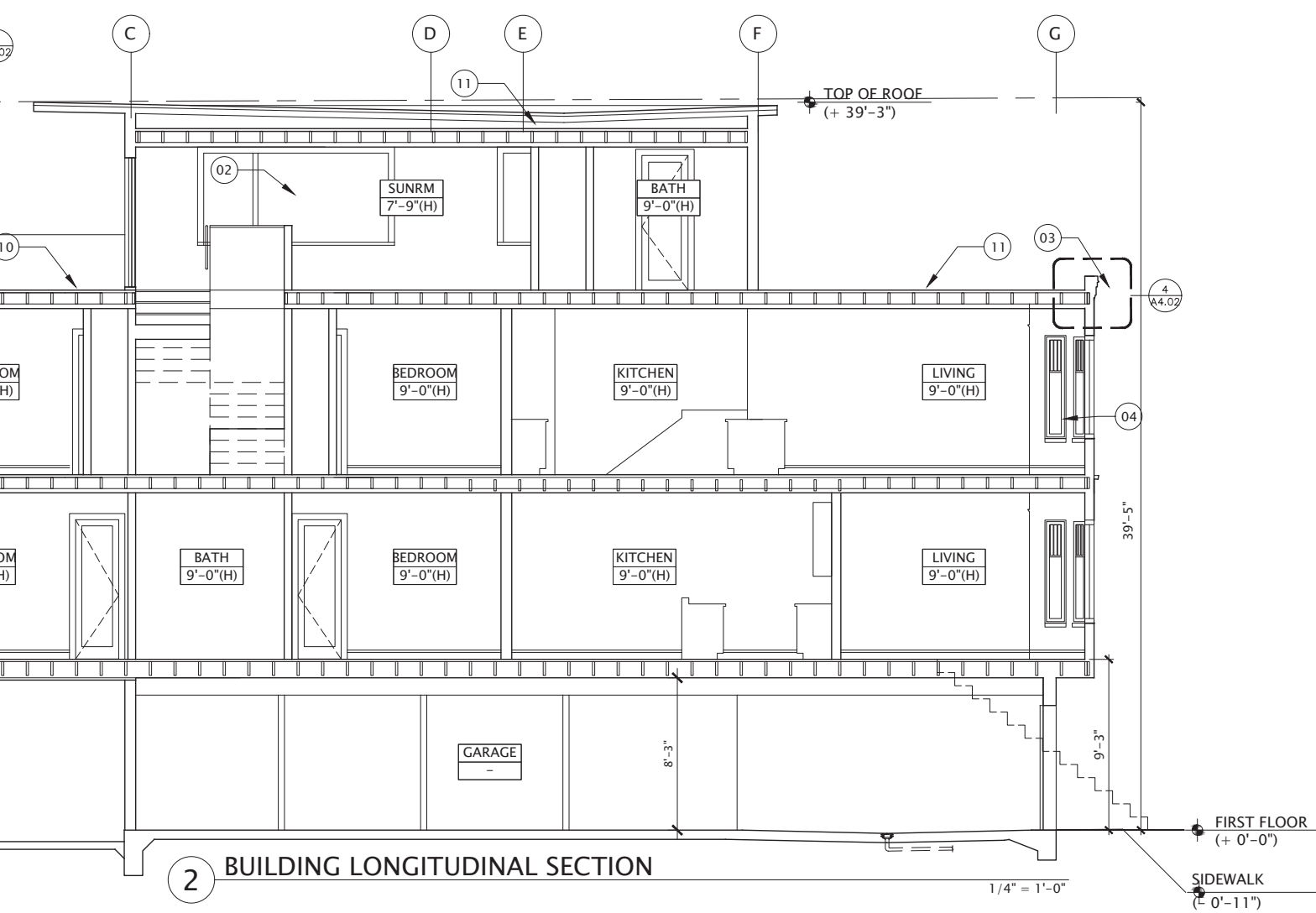


1 BUILDING CROSS SECTION

KEYNOTES	
01	PAINTED CEMENT BOARD LAP SIDING +/-6" WIDTH. FIELD VERIFY AND MATCH EXISTING WIDTH.
02	PAINTED EXTERIOR CEMENT STUCCO
03	PAINTED WOOD DECORATIVE CORNICE. SEE DETAIL 4/-
04	PAINTED WOOD INSULATED WINDOW. SEE WINDOW SCHEDULE ON A5.02
05	PAINTED WOOD DOOR. SEE DOOR SCHEDULE ON A5.01
06	EMERGENCY ESCAPE AND RESCUE WINDOW WITH REQUIRED 5 SF CLEAR OPENING (PER CBC 1029). REFER TO WINDOW SCHEDULE ON A5.02
07	PROVIDE 1-HOUR FIRE RESISTANCE RATED ASSEMBLY AT ALL PROPERTY LINE BUILDING WALLS (PER CBC SEC 705).
08	PROVIDE SAFETY GLASS AT WINDOW NEXT TO BATHUB (PER CBC 2406.4.5.)
09	PROVIDE TEMPERED GLASS RAILING ASSEMBLY AT ALL ROOF DECKS. SEE DETAIL 5/-
10	FIRE RESISTANT CLASS B COMPOSITE DECKING OVER SBS ROOFING SYSTEM. SEE DETAIL 5/- FOR TYPICAL ROOF DECK ASSEMBLY
11	CLASS 'A' SBS MODIFIED BITUMEN ROOF ASSEMBLY, TYP. SEE 2/A2.03

SHEET NOTES	
A.	ANY ITEM SHOWN GRAPHICALLY, BUT NOT SPECIFICALLY NOTED SHALL BE CONSIDERED PART OF THE SCOPE OF WORK AS IF NOTED
B.	PROVIDE TYPICAL BLOCKING AT ALL WALL HUNG/ATTACHED ITEMS, SEE DETAIL 2/A5.03
C.	SEE DOOR & WINDOW SCHEDULES, SHEET A5.01 FOR DOOR & WINDOW INFORMATION & DETAILS
D.	RAINWATER LEADERS TO BE SCHEDULE 40, COLOR TO MATCH WALL
E.	PAINTING TO MATCH (E) AND HIDE ALL PATCHES & ALTERATIONS.
F.	BUILDING TO BE FULLY SPRINKLERED

LEGEND	
← 02	KEY NOTE, SEE ABOVE



2 BUILDING LONGITUDINAL SECTION

Stamp



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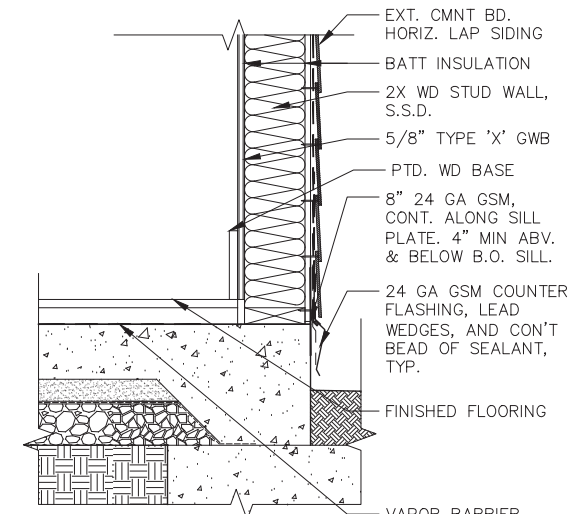
Project No. 1723

HORIZONTAL ADDITIONS WITH VERTICAL DWELLING UNIT ADDITION

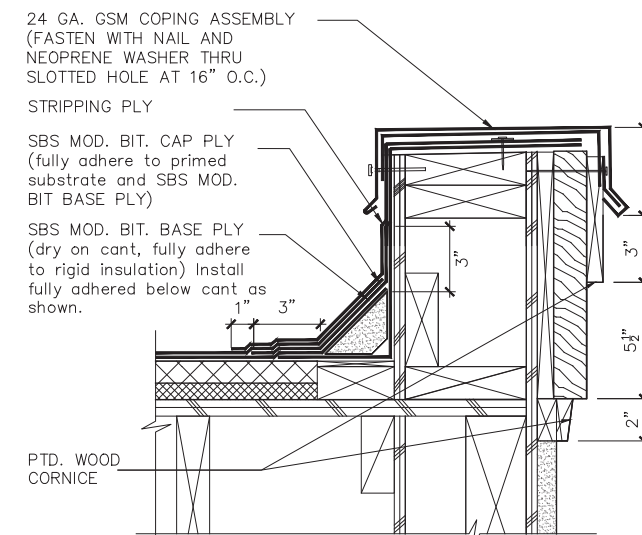
619 22ND Avenue
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Sheet
EXTERIOR BUILDING SECTIONS

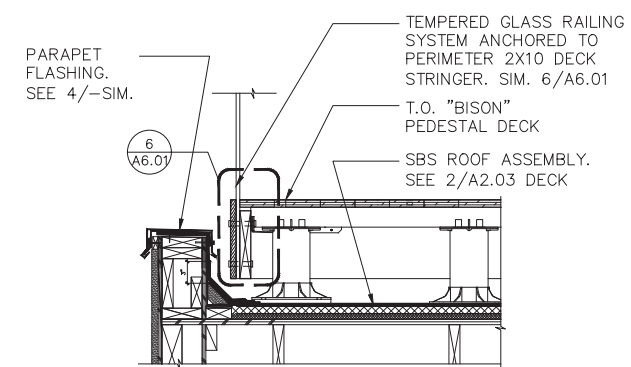
A4.01



3 CONCR. SLAB/WALL FLASHING DETAIL
DET_Wall_Furred Base.dwg SCALE: 1-1/2" = 1'-0"

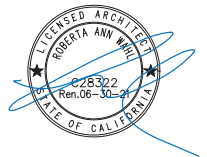


4 ROOF PARAPET CORNICE DETAIL
DET_rf-wood_prpt.dwg SCALE: 3" = 1'-0"



5 ROOF DECK RAILING DETAIL
DET_rf-wood_prpt.dwg SCALE 1" = 1'-0"

Stamp



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**HORIZONTAL
ADDITIONS WITH
VERTICAL DWELLING
UNIT ADDITION**

619 22ND Avenue
San Francisco, CA 94121
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Sheet

**EXTERIOR BUILDING
DETAILS**

DOOR #	ROOM #	ROOM NAME	FRAME DETAILS						DOOR				HARDWARE SET NO.	NOTES
			TYPE	MAT'L	FINISH	HEAD	JAMB	THRESH.	TYPE	MAT'L	FINISH	SIZE (WxH)		
101	102	EGRESS		WD	PT	-	-	ALUM.	A	FGL	-	36"x84"		20 MINUTE RATED DOOR
102	101	GARAGE		WD	PT	-	-	-	A	FGL	-	36"x84"		20 MINUTE RATED DOOR
103	104	PLAY ROOM - UNIT A		ALUM.	-	-	-	ALUM.	B	ALUM/GLASS	-	72"x84"		
104	104	PLAY ROOM - UNIT A		ALUM.	-	-	-	ALUM.	C	ALUM/GLASS	-	54"x84"		
105	105	HALLWAY		ALUM.	-	-	-	ALUM.	D	ALUM/GLASS	-	36"x84"		
200	-	NOT USED												
201	201	UNIT B STAIRWAY		WD	PT	-	-	ALUM.	E	WD	PT	36"x84"		
202	202	BEDROOM 1A		WD	PT	-	-	-	F	WD	PT	30"x84"		
202A	202	BEDROOM 1A CLOSET		WD	PT	-	-	-	J	WD	PT	PR. 16"x84"		POCKET DOORS
203	203	BATHROOM 4A		WD	PT	-	-	MARBLE	F	WD	PT	30"x84"		
204	202	BEDROOM 4A		WD	PT	-	-	-	F	WD	PT	30"x84"		
204A	202	BEDROOM 4A CLOSET		WD	PT	-	-	-	J	WD	PT	PR. 16"x84"		POCKET DOORS
205	205	HALLWAY		WD	PT	-	-	-	F	WD	PT	32"x84"		
206	202	BEDROOM 3A		WD	PT	-	-	-	F	WD	PT	30"x84"		
206A	202	BEDROOM 3A CLOSET		WD	PT	-	-	-	G	WD	PT	PR. 28"x84"		
206B	202	BEDROOM 3A CLOSET		WD	PT	-	-	-	G	WD	PT	PR. 28"x84"		
207	207	BATHROOM 3A		WD	PT	-	-	MARBLE	F	WD	PT	30"x84"		
207A	207A	BATHROOM 3A		WD	PT	-	-	MARBLE	H	WD	PT	28"x84"		POCKET DOOR
208	208	BATHROOM 2A		WD	PT	-	-	MARBLE	F	WD	PT	28"x84"		
300	-	NOT USED												
301	-	NOT USED												
302	302	BEDROOM 1B		WD	PT	-	-	-	F	WD	PT	30"x84"		
302A	302	BEDROOM 1A CLOSET		WD	PT	-	-	-	G	WD	PT	PR. 28"x84"		
303	-	NOT USED												
304	304	BEDROOM 2B		WD	PT	-	-	-	F	WD	PT	28"x84"		
304A	304	BEDROOM 2B		ALUM.	-	-	-	ALUM.	B	ALUM/GLASS	-	72"x84"		
304B	304	BEDROOM 2B CLOSET		WD	PT	-	-	-	G	WD	PT	PR. 28"x84"		
305	305	HALLWAY		WD	PT	-	-	-	F	WD	PT	32"x84"		
306	306	BEDROOM 3B		WD	PT	-	-	-	F	WD	PT	30"x84"		
306A	306	BEDROOM 3B		ALUM.	-	-	-	ALUM.	B	ALUM/GLASS	-	72"x84"		
306B	306	BEDROOM 3B CLOSET		WD	PT	-	-	-	G	WD	PT	PR. 28"x84"		
306C	306	BEDROOM 3B CLOSET		WD	PT	-	-	-	G	WD	PT	PR. 28"x84"		
307	307	BATHROOM 1B		WD	PT	-	-	MARBLE	F	WD	PT	30"x84"		POCKET DOOR
307A	307A	BATHROOM 1B		WD	PT	-	-	MARBLE	H	WD	PT	28"x84"		
308	208	BATHROOM 2B		WD	PT	-	-	MARBLE	F	WD	PT	28"x84"		
401	401	BATHROOM 3B		WD	PT	-	-	MARBLE	F	WD	PT	30"x84"		
402	402	MECHANICAL ROOM		WD	PT	-	-	MARBLE	I	WD	PT	PR. 23"x84"		
403	402	SUN ROOM		ALUM.	-	-	-	ALUM.	K	WD	PT	132"x84"		4 EQUAL PANELS

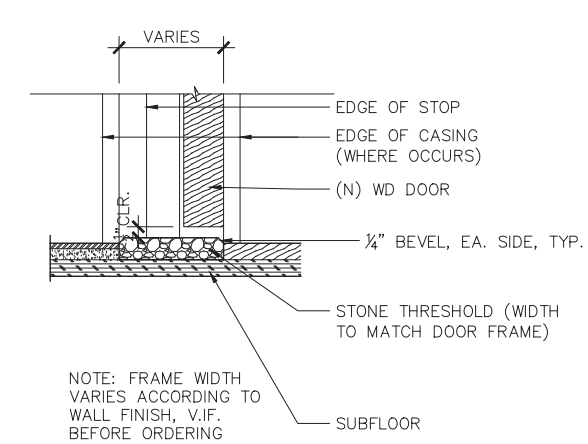
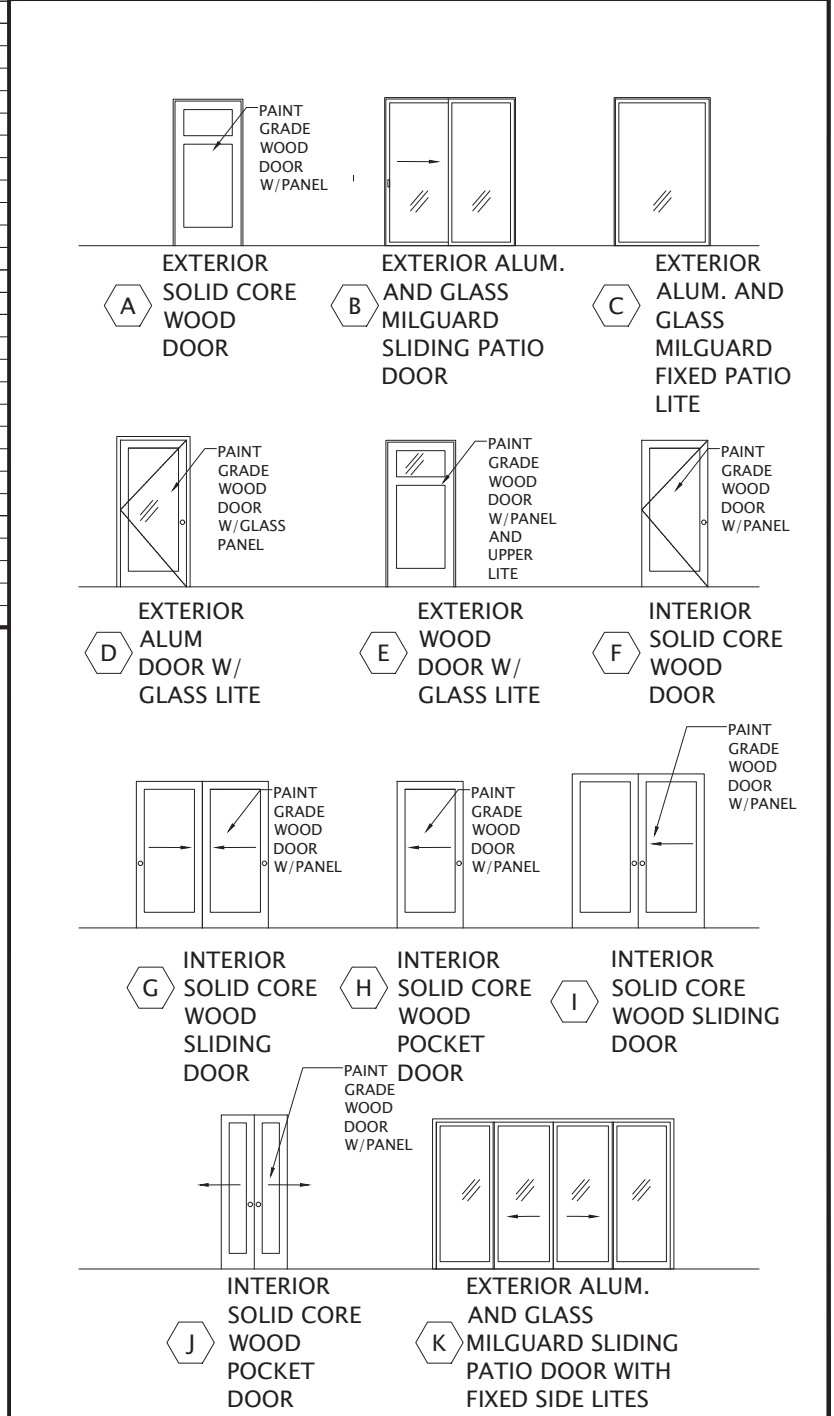
DOOR SCHEDULE NOTES

- ALL DOORS ARE NEW.
- TYPICAL DOOR THICKNESS IS 1-3/4", U.O.N.
- ALL EXTERIOR DOORS SHALL HAVE THRESHOLDS AND DRIP CAPS.
- ALL FULL LITE DOORS TO HAVE TEMPERED GLASS. REFER TO TEMPERED SAFETY GLAZING NOTES ON A5.02.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DOOR OPENINGS AND ROUGH OPENING DIMENSIONS. FIELD VERIFY AND COORDINATE ACTUAL OPENING DIMENSIONS PRIOR TO FABRICATING NEW DOORS AND FRAMES. COORDINATE FRAME DIMENSION WITH DOOR SIZE.
- BOTTOM OF NEW DOORS TO BE NO MORE THAN 1/4" ABOVE T.O. THRESHOLD. COORDINATE WITH THRESHOLD MANUFACTURER WHERE THRESHOLDS ARE SCHEDULED.
- PAINT ALL NEW FRAMES AND DOORS, SEE SPECIFICATION SECTION 09900 PAINTING.

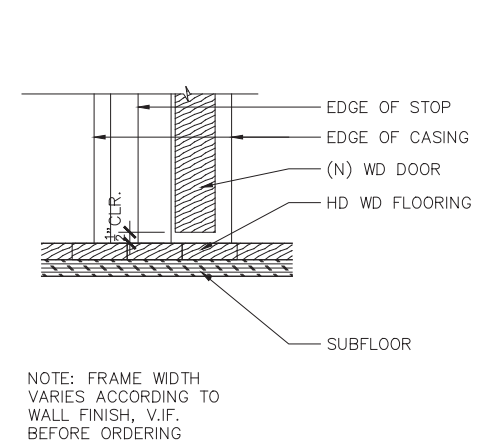
ABBREVIATIONS

FGL	FIBERGLASS
PT	PAINT
STL	STEEL
WD	WOOD

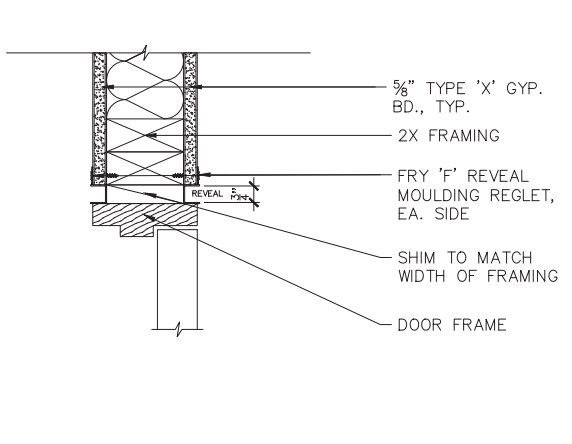
DOOR TYPES



1 WD. FRAME DOOR THRESHOLD SCALE: 3"=1'-0"

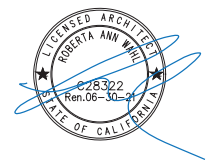


2 WD. FRAME DOOR (NO THRESHOLD) SCALE: 3"=1'-0"



3 JAMB @ CASELESS DOOR (HEAD SIM.) SCALE: 3"=1'-0"

Stamp



	Date
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SF PLANNING SUBMITTAL	02/28/2020

Project No. 1723

HORIZONTAL ADDITIONS WITH VERTICAL DWELLING UNIT ADDITION

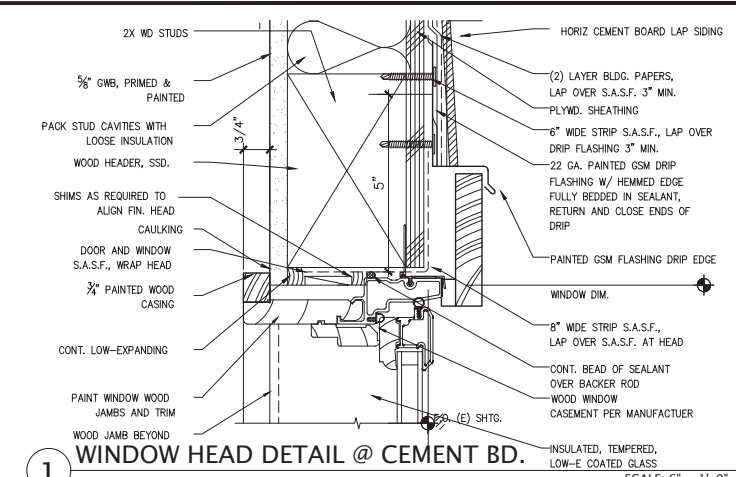
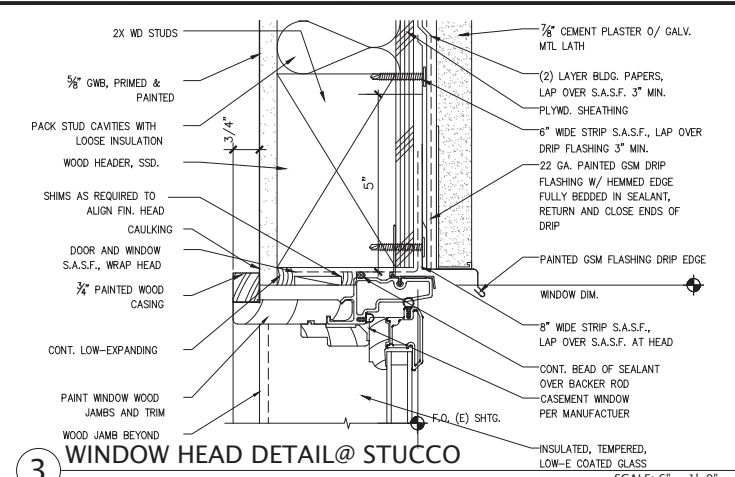
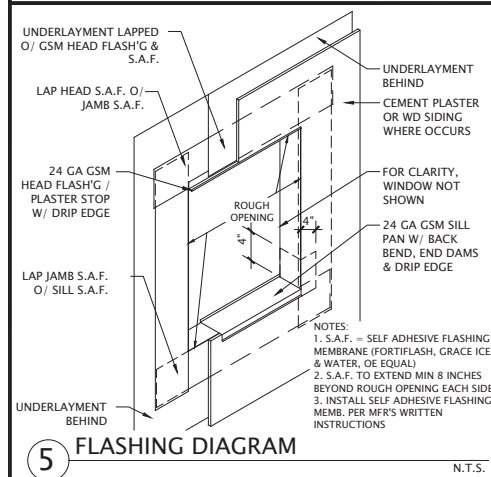
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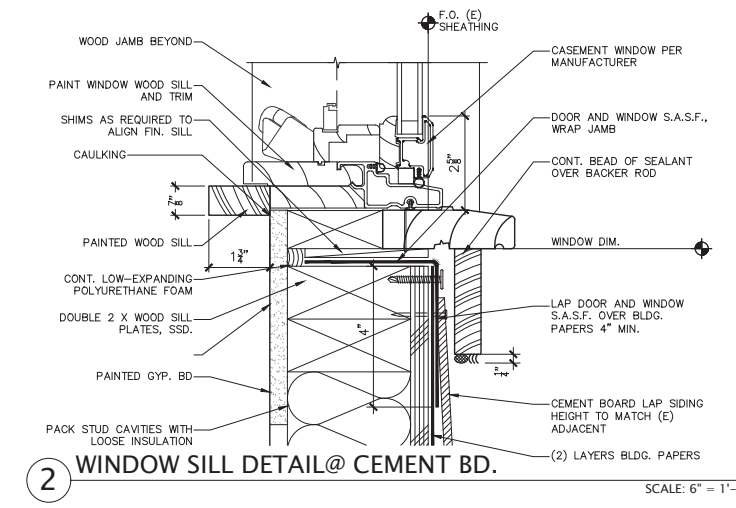
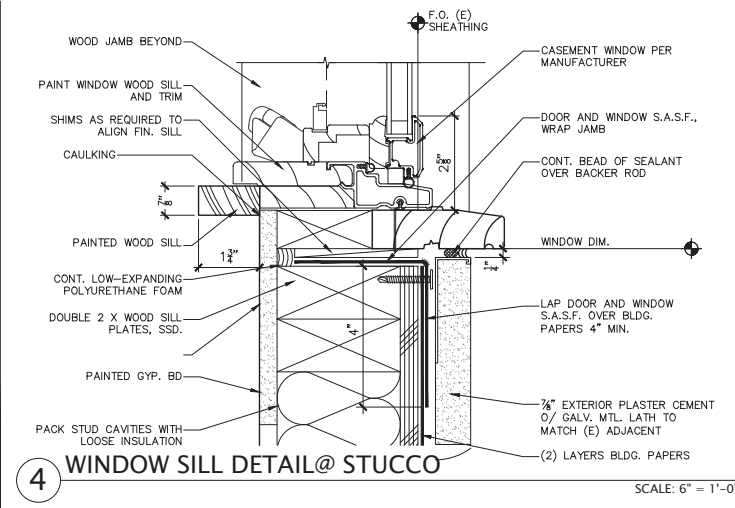
DOOR, & FRAME SCHEDULE & TYPES

A5.01

WINDOW DETAILS



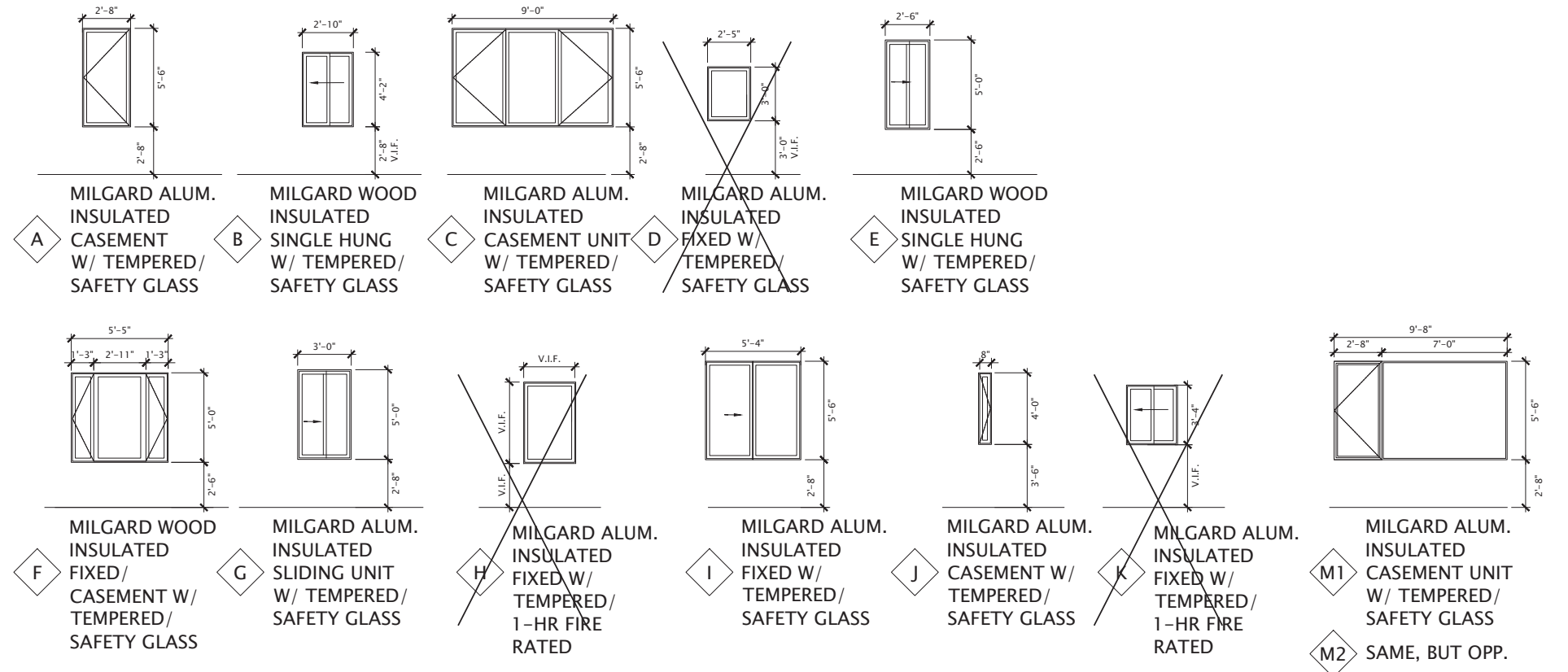
- WINDOW SCHEDULE NOTES**
1. WINDOW SCHEDULE SCALE IS 1/4" = 1'-0" U.O.N.
 2. WINDOW FRAMES ARE PAINTED, U.O.N.
 3. SEE FLOOR PLAN A2.01-A2.03 FOR LOCATIONS OF WINDOWS.
 4. SEE 5/- FOR EXTERIOR FLASHING AT WINDOWS AND DOORS.
 5. ALL GLAZING: 7/32" THICK DOUBLE PANE TEMPERED GLASS. REFER TO WINDOW TYPE FOR SAFETY GLAZING



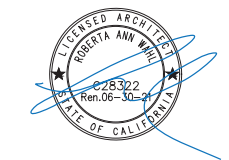
TEMPERED/SAFETY GLAZING NOTES

- PER CBC §2406.4, WINDOW & DOOR GLAZING IN THE FOLLOWING SITUATIONS SHALL BE TEMPERED/SAFETYGLASS:
1. GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BIFOLD DOORS.
 2. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
 3. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL MEETING ALL OF THE FOLLOWING REQUIREMENTS:
 - 3.1. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQ. FT.
 - 3.2. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18" ABOVE THE FLOOR.
 - 3.3. THE TOP EDGE OF THE GLAZING IS GREATER THAN 36" ABOVE THE FLOOR; AND,
 - 3.4. ONE OR MORE WALKING SURFACES ARE WITHIN 36", MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.
 4. GLAZING IN GUARDS & RAILINGS, INCLUDING STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS.
 5. GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
 6. GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE PLACE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS, AND RAMPS, AND IS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE.
 7. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD.

WINDOW SCHEDULE



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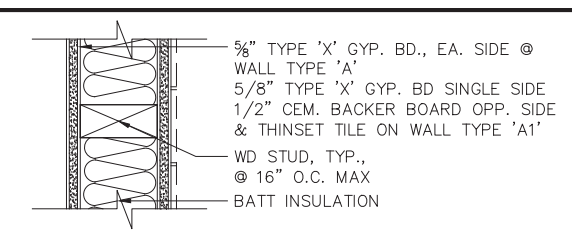
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WINDOW SCHEDULE, DETAILS & TYPES
A5.02

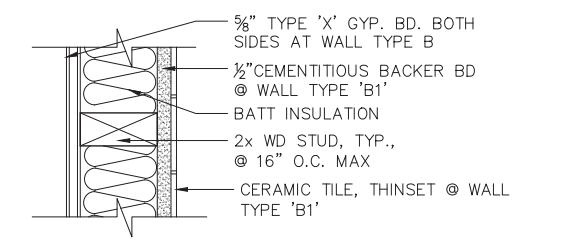
ROOM #	ROOM NAME	FLOOR		WALL BASE MAT'L	WALLS								CEILING			REMARKS/KEYNOTES
		MAT'L	FINISH		NORTH		SOUTH		EAST		WEST		MAT'L	FINISH	HT.	
				MAT'L	FINISH	MAT'L	FINISH	MAT'L	FINISH	MAT'L	FINISH					
100	STORAGE	(E) CONC	-	-	-	-	-	-	-	-	-	-	-	-	-	NO SCOPE
101	GARAGE	(E) CONC	-	-	-	-	-	-	-	-	-	-	-	-	-	-
102	EGRESS PASSAGEWAY	(E)	-	-	-	-	-	-	-	-	-	-	-	-	-	NO SCOPE
103	BATHROOM 1A- NO SCOPE	WD	-	PT WD	(E) GWB	PT	(E) GWB	PT	(E) GWB	PT	(E) GWB	PT	GWB	PT	8'-6"	MATCH (E) WALL FINISHES AT ADDITION
104	PLAY ROOM - UNIT A	WD	-	PT WD	(E) GWB	PT	(E) GWB	PT	(E) GWB	PT	(E) GWB	PT	GWB	PT	8'-6"	MATCH (E) WALL FINISHES AT ADDITION
105	HALLWAY- UNIT A	WD	-	PT WD	GWB	PT	(E) GWB	PT	(E) GWB	PT	(E) GWB	PT	(E) GWB	PT	9'-0"	-
200	LIVING ROOM - UNIT A	(E) WD	-	(E) WD	(E) GWB	PT	(E) GWB	PT	(E) GWB	PT	(E) GWB	PT	(E) GWB	PT	9'-0"	-
201	KITCHEN - UNIT A	WD	-	PT WD	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	9'-0"	-
202	BEDROOM 1A	WD	-	PT WD	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	PT	9'-0"	-
202A	BEDROOM 1A CLOSET	WD	-	PT WD	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	PT	9'-0"	-
203	BATHROOM 4A	WD	-	PT WD	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	PT	9'-0"	-
204	BEDROOM 4A	CT	-	PT WD	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	9'-0"	-
204A	BEDROOM 4A CLOSET	CT	-	PT WD	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	9'-0"	-
205	HALLWAY	WD	-	PT WD	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	PT	9'-0"	PATCH TO MATCH (E) HARDWOOD FLOOR
206	BEDROOM 3A	WD	-	PT WD	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	PT	9'-0"	-
206A	BEDROOM 3A CLOSETS	WD	-	PT WD	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	PT	9'-0"	-
207	BATHROOM 3A	CT	-	PT WD	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	9'-0"	-
208	BATHROOM 2A	CT	-	PT WD	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	9'-0"	-
-	UNIT B STAIRWAY															
300	LIVING ROOM - UNIT B	(E) WD	-	PT WD	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	PT	9'-0"	-
301	KITCHEN - UNIT B	WD	-	PT WD	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	9'-0"	-
302	BEDROOM 1B	WD	-	PT WD	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	PT	9'-0"	-
302A	BEDROOM 1B CLOSET	WD	-	PT WD	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	PT	9'-0"	-
303	NOT USED															
304	BEDROOM 4B	CT	-	PT WD	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	9'-0"	-
304A	BEDROOM 4B CLOSET	CT	-	PT WD	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	9'-0"	-
305	HALLWAY	WD	-	PT WD	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	PT	9'-0"	-
306	BEDROOM 3B	WD	-	PT WD	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	PT	9'-0"	-
306A	BEDROOM 3B CLOSETS	WD	-	PT WD	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	PT	9'-0"	-
307	BATHROOM 3B	CT	-	PT WD	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	9'-0"	-
308	BATHROOM 2B	CT	-	PT WD	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	9'-0"	-
401	MECHANICAL ROOM - UNIT B	WD	-	PT WD	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	PT	8'-0"	-
402	BATHROOM 4B	CT	-	PT WD	CT	-	GWB/ CT	PT	GWB/ CT	PT	GWB/ CT	PT	GWB	PT	8'-0"	-
402	SUN ROOM	WD	-	PT WD	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	PT	8'-0"	-

ABBREVIATIONS

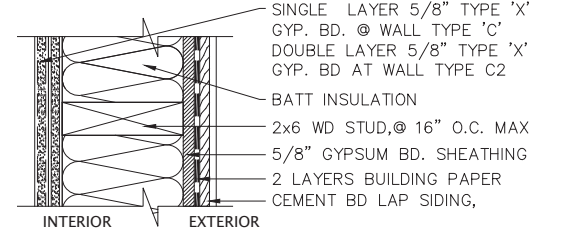
CONC.	CONCRETE
WD	WOOD
(E)	EXISTING FINISH TO REMAIN. REFINISH
GWB	GYPSUM WALL BOARD
CT	CERAMIC TILE
PT	PAINTED



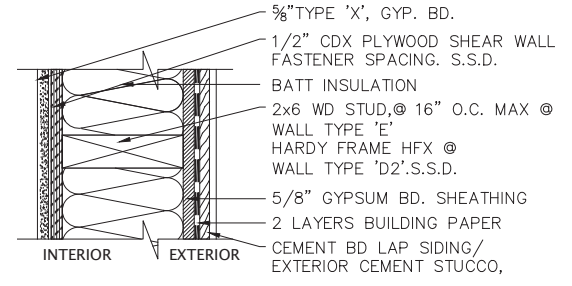
WALL TYPE A 2X WD STUD, NON-RATED INTERIOR WALL



WALL TYPE B 1-HR RATED INTERIOR WALL UL #U305

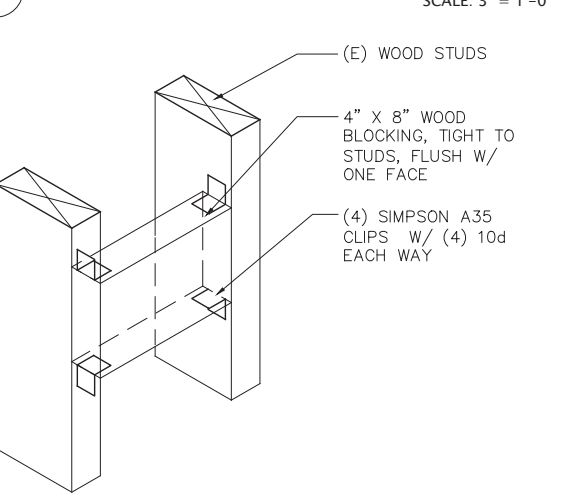


WALL TYPE C 1-HR RATED EXTERIOR NON-SHEAR WALL
WALL TYPE C2 UL#U379



WALL TYPE D 1-HR RATED EXTERIOR SHEAR WALL,
WALL TYPE D2 UL#U379

1 WALL TYPES SCHEDULE SCALE: 3" = 1'-0"



2 BLOCKING @ WOOD FRAMED WALL N.T.S.

FINISH NOTES

- A. PLUMBING FIXTURES AND KITCHEN/ LAUNDRY EQUIPMENT ARE OWNER PROVIDED CONTRACTOR INSTALLED. CONTRACTOR TO SUPPLY VALVES, FITTINGS, DRAINS, TRIMS AND CONNECTIONS FOR A COMPLETE AND FUNCTIONING INSTALLATION
- B. COORDINATE FINISH REPAIR AT ALL STRUCTURAL INTERVENTIONS IN EXISTING WALLS, FLOORS AND CEILINGS. SEE STRUCTURAL DRAWINGS. MATCH ADJACENT FINISHES.
- C. VERIFY ALL EXISTING FINISHES AS INDICATED IN THE FINISH SCHEDULE. ALL DISCREPANCIES BETWEEN LISTED EXISTING FINISHES & MATERIALS AND ACTUAL EXISTING FINISHES & MATERIALS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR OR INSTALLING OR APPLYING NEW FINISH MATERIALS.
- D. REPAIR ALL CRACKS, HOLES, & OTHER DAMAGE TO SUBSTRATE AND PREPARE SUBSTRATE FOR PROPER INSTALLATION OR ADHERENCE OF NEW FINISH MATERIALS PRIOR TO INSTALLING OR APPLYING NEW FINISH MATERIALS.
- E. REPLACE OR PATCH & REPAIR TO MATCH EXISTING ADJACENT FINISHES ANY EXISTING FINISHES THAT ARE REMOVED OR DAMAGED AS A RESULT OF NEW WORK.
- F. TRANSITION BETWEEN DISSIMILAR FLOORING MATERIALS SHALL OCCUR UNDER INTERVENING DOORS.
- G. THE FINISH SCHEDULE CALLS OUT MAJOR MATERIALS ONLY. CABINETS, ACCESSORIES, EQUIPMENT, ETC. ARE NOT INDICATED IN THE FINISH SCHEDULE. SEE INTERIOR ELEVATIONS & FLOOR PLANS FOR THESE AND OTHER ITEMS NOT CALLED OUT IN THE FINISH SCHEDULE.
- H. ALL PAINTED SURFACES TO RECEIVE PAINT AS SCHEDULED IN SPECIFICATION SECTION 09900 PAINTING.
- I. SEE EXTERIOR ELEVATIONS FOR EXTERIOR PAINT COLORS.
- J. SEE INTERIOR ELEVATIONS FOR HEIGHT OF CERAMIC TILE WAINSCOT.
- K. PRIME AND PAINT ALL (E) PREVIOUSLY PAINTED SURFACES IN ROOMS LISTED ON THE FINISH SCHEDULE TO INCLUDE BUT NOT BE LIMITED TO: WALLS, CEILING STRUCTURE, AND TRIM. REPAIR ANY EXISTING DEFECTS IN THE (E) SURFACES INCLUDING CRACKS, HOLES AND BLEMISHES. DO NOT PAINT (E) CEILING TILE.
- L. SEE PLANS FOR SPECIFIC SCOPE OF DEMO, NEW AND FINISH WORK.
- M. INSTALL NEW R13 INSULATION AT ALL NEW PARTITIONS. SEE WALL TYPE SCHEDULE ON THIS SHEET
- N. ALL RESTROOM WALLS ARE NEW CERAMIC TILE FLOORING & WALLS AT (E) WOOD STUD FRAMED RESTROOM PARTITIONS. CEMENT BOARD TO MATCH ADJ. (E) SUBSTRATE AT THE CERAMIC TILE. PAINT ALL BATH ROOM CEILINGS. INSTALL CEMENT BACKERBOARD AT ALL CERAMIC TILE WALL INSTALLATIONS.

PLUMBING FIXTURE SCHEDULE

ROOM NO.	ROOM NAME	FIXTURE	MFR./SUPPLIER	MODEL NO.	DIMENSIONS	FINISH/COLOR	NOTES	
207+ 307	BATHROOM	SHOWER/TUB FIXT. SET	GROHE - EUROSTAR	35012002		CHROME	PRESSURE BALANCE VALVE BATHTUB/SHOWER COMBO FAUCET	
		TUB	AMERICAN STANDARD- STUDIO 72	2940002	72"D x 36"W x 22.5"H	WHITE		
		MEDICINE CABINET	SIGNATURE HARDWARE	HORIZON II		4 1/2"D x 16"W x 60"H	MIRROR	RECESSED W/GLASS SHELVES
		VANITY	SIGNATURE HARDWARE - COTTEE	-		49"W x 19"D x 19"H	WHITE	WALL HUNG - BLOCK WALL
		FAUCET	GROHE - EUROSTAR	33170002		11 1/8"H x 2 1/2"W x 6 1/2"L	CHROME	SINGLE-HOLE
		TOILET	AMERICAN STANDARD	2988.101.020		23 1/2"H x 16 1/2"W x 28"L	#01-COTTON	ONE-PIECE TOILET, 1.28GPF, ELONGATED
		TOWEL RING	IKEA KALKGRUND	702.914.68			CHROME	
		TOILET PAPER HOLDER	IKEA GRUNDTAL	200.478			CHROME	
		TOWEL BAR	IKEA KALKGRUND	902.914.72			CHROME	
		203, 308 +401	BATHROOM	SHOWER/TUB FIXT. SET	GROHE - EUROSTAR	35012002		CHROME	PRESSURE BALANCE VALVE BATHTUB/SHOWER COMBO FAUCET
TUB	AMERICAN STANDARD- SAVER			2940002		60"D x 34"W x 17"H	WHITE	
MEDICINE CABINET	SIGNATURE HARDWARE			HORIZON II		4 1/2"D x 16"W x 60"H	MIRROR	RECESSED W/GLASS SHELVES
VANITY	SIGNATURE HARDWARE - COTTEE			-		30"W x 19"D x 19"H	WHITE	WALL HUNG - BLOCK WALL
FAUCET	GROHE - EUROSTAR			33170002		11 1/8"H x 2 1/2"W x 6 1/2"L	CHROME	SINGLE-HOLE
TOILET	AMERICAN STANDARD			2988.101.020		23 1/2"H x 16 1/2"W x 28"L	#01-COTTON	ONE-PIECE TOILET, 1.28GPF, ELONGATED
TOWEL RING	IKEA KALKGRUND			702.914.68			CHROME	
TOILET PAPER HOLDER	IKEA GRUNDTAL			200.478			CHROME	
TOWEL BAR	IKEA KALKGRUND			902.914.72			CHROME	

ALL ITEMS TO BE PURCHASED AND INSTALLED BY CONTRACTOR. ONLY MAIN FIXTURES ITEMS ARE HERE SPECIFIED, CONTRACTOR TO SUPPLY VALVES, FITTINGS, DRAINS, TRIMS AND CONNECTIONS FOR A COMPLETE AND FUNCTIONING INSTALLATION

Stamp



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San Francisco, CA 94121
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FINISH SCHEDULE & WALL TYPES

A5.03

Sheet

SHEET NOTES

- A. ALL ITEMS SHOWN, NOTED, SPECIFIED, AND OR SCHEDULED ARE TO BE PURCHASED, PROCURED AND INSTALLED BY THE CONTRACTOR TO BE COMPLETE AND FULLY FUNCTIONING UNLESS SPECIFIED TO BE OWNER PURCHASED CONTRACTOR INSTALLED (OPCI).
- B. PROVIDE TYPICAL BLOCKING AT ALL WALL HUNG/ATTACHED ITEMS, SEE DETAIL 3/A1.02
- C. PROVIDE FULLY TEMPERED 1/2" THICK STRUCTURAL GLASS PANELS AS STAIR GUARDRAIL WITH REQUIRED ATTACHED HANDRAIL. NOTE ON SHOP DRAWINGS AN SUBMIT FOR ARCHITECT REVIEW PRIOR TO INSTALLATION
- D. THE MAXIMUM RISER HEIGHT IN ANY STAIR MAY NOT EXCEED 7 3/4 INCHES MEASURED FROM THE TOP OF ONE TREAD TO THE TOP OF ANY ADJACENT TREAD.
- E. MAINTAIN A MINIMUM OF 6 FEET, 8 INCHES OF HEADROOM AT STAIRWAY MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. 6 FEET, 8 INCHES OF HEADROOM IS REQUIRED AT ALL LANDINGS.
- F. PER CRC 2016 SECTION R311.7.5.2.1 WINDER TREADS SHALL HAVE A TREAD DEPTH OF NOT LESS THAN 10 INCHES (254 MM) MEASURED BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AT THE INTERSECTIONS WITH THE WALKLINE.
- G. WINDER TREADS SHALL HAVE A TREAD DEPTH OF NOT LESS THAN 6 INCHES (152 MM) AT ANY POINT WITHIN THE CLEAR WIDTH OF THE STAIR. WITHIN ANY FLIGHT OF STAIRS, THE LARGEST WINDER TREAD DEPTH AT THE WALKLINE SHALL NOT EXCEED THE SMALLEST WINDER TREAD BY MORE THAN 3/8 INCH (9.5 MM), CONSISTENTLY SHAPED WINDERS AT THE WALKLINE SHALL BE ALLOWED WITHIN THE SAME FLIGHT OF STAIRS AS RECTANGULAR TREADS AND DO NOT HAVE TO BE WITHIN 3/8 INCH (9.5 MM) OF THE RECTANGULAR TREAD DEPTH.

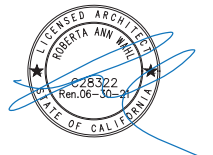
KEYNOTES

- 01 3'-0" HIGH 2" O.D. STAINLESS STEEL HANDRAIL MOUNTED TO 1/2" TEMPERED GLASS PANEL, EQUAL TO OPTIK BOSS BY HDI RAILINGS
- 02 10" MIN DEPTH WOOD TREADS TO, TYP.
- 03 2 LAYERS 5/8" TYPE 'X' GYP. BD. AT UNDERSIDE OF STAIR
- 04 2X WOOD STRINGER, TYP.

LEGEND

- DEMO
- ▨ NEW WALL, FULL HT.
- 02 KEY NOTE, SEE ABOVE

Stamp



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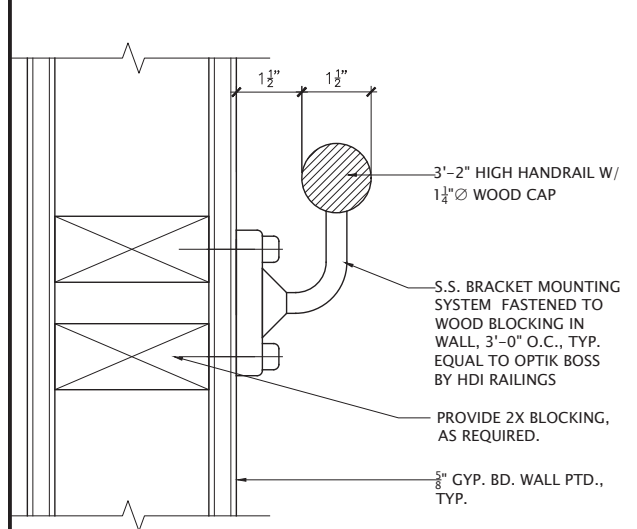
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BLOCK/LOT: 1622/002

Sheet

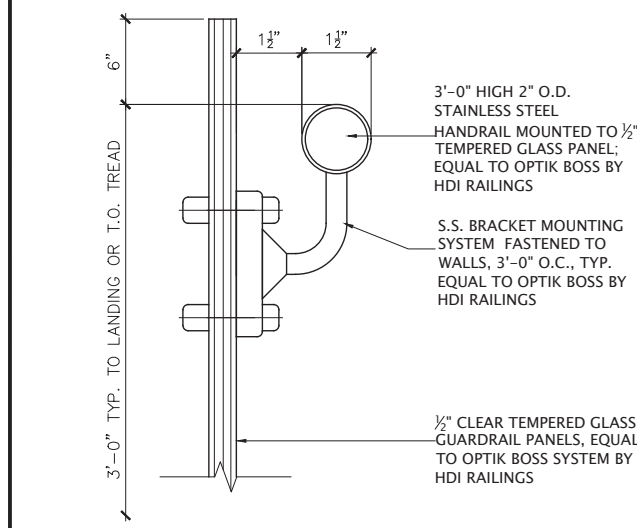
STAIR DETAILS

A6.01



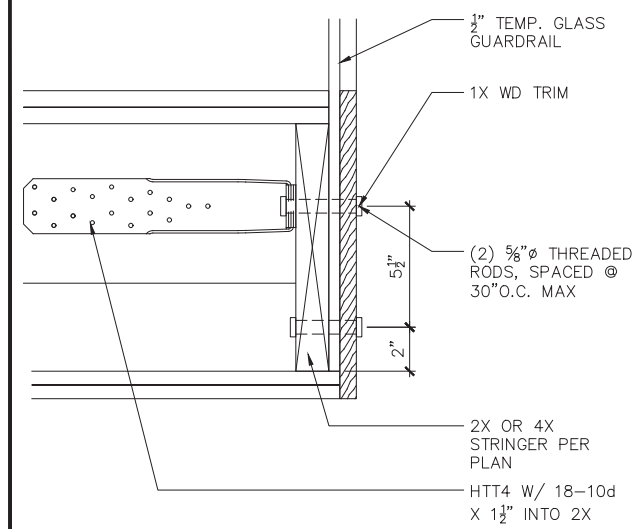
4 HANDRAIL SECTION AT WALL

handrail section.dwg SCALE: 6" = 1'-0"



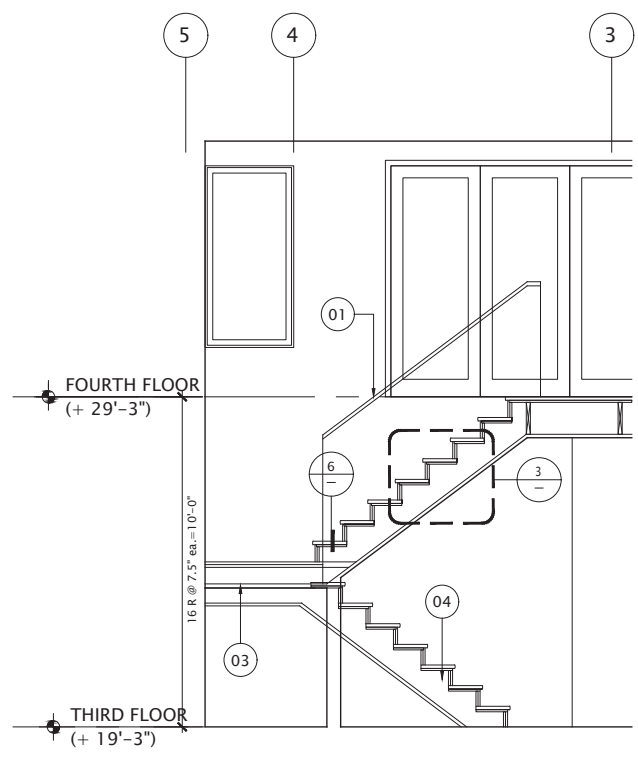
5 HANDRAIL SECTION AT GLASS

handrail section.dwg SCALE: 6" = 1'-0"



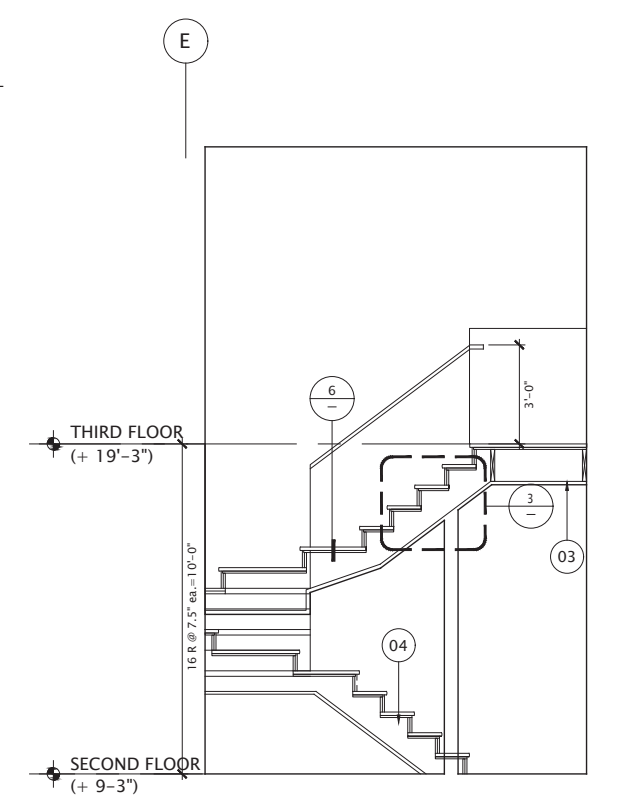
6 RAILING CONNECTION @ STRINGER

DET_Railing Connection.dwg SCALE: 3" = 1'-0"



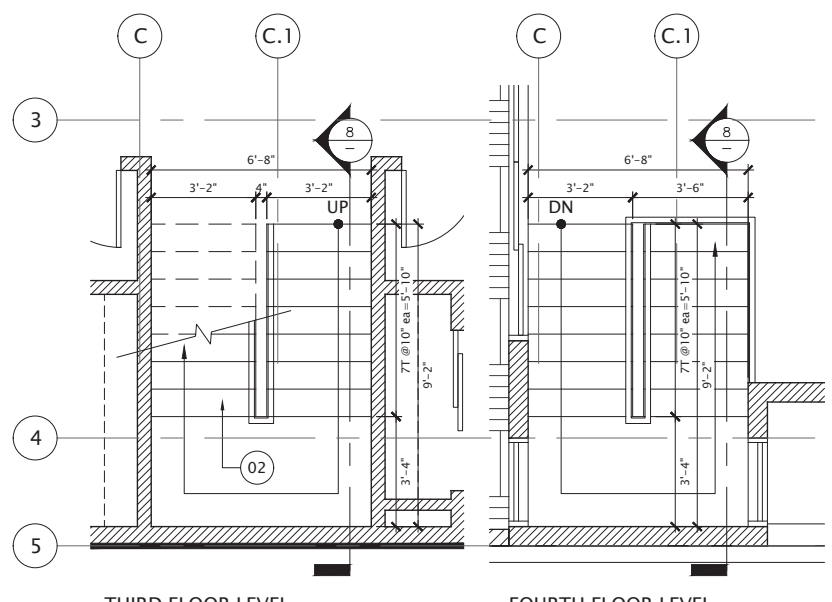
8 ENLARGED STAIR SECTION

SCALE: 3/8" = 1'-0"



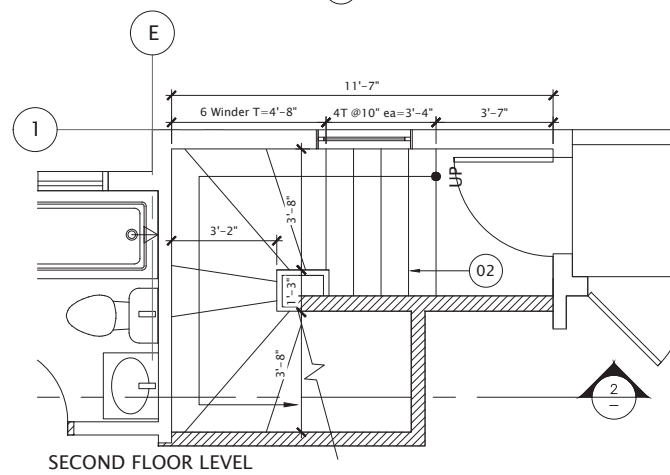
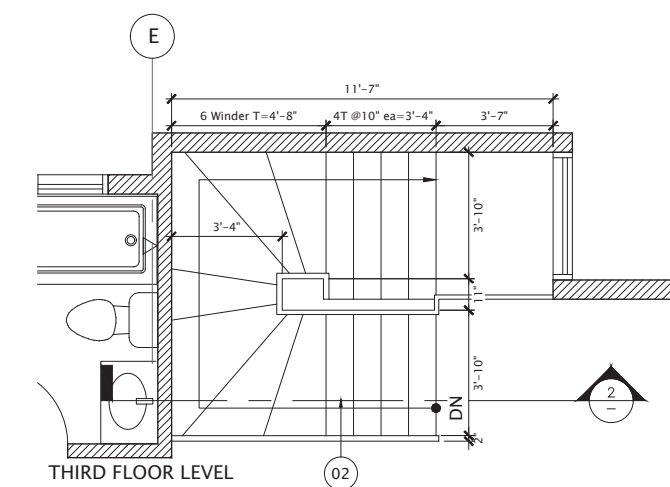
2 ENLARGED STAIR SECTION

SCALE: 3/8" = 1'-0"



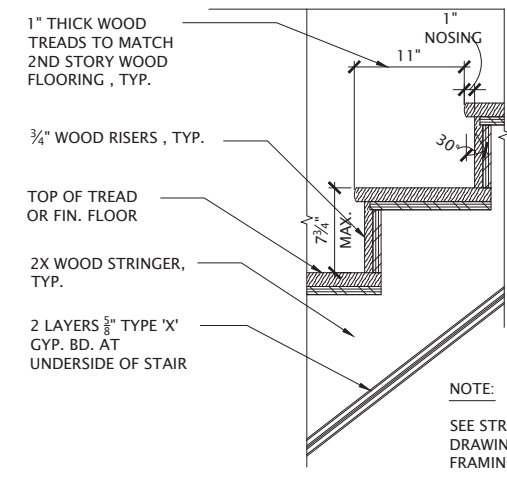
7 ENLARGED STAIR PLANS - UNIT B

SCALE: 3/8" = 1'-0"



1 ENLARGED STAIR PLANS - UNIT B

SCALE: 3/8" = 1'-0"



3 STAIR TREAD SECTION

stair tread section.dwg

SCALE: 1-1/2" = 1'-0"