



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis HEARING DATE: SEPTEMBER 12, 2019

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: September 5, 2019
Case No.: 2018-001940DRP-02
Project Addresses: 33 Capra Way
Permit Applications: 2018.0601.0822
Zoning: RH-3[Residential House, Three-Family]
40-X Height and Bulk District
Block/Lot: 0463A / 032
Project Sponsor: Michael Morrison
John Lum Architecture
3246 17th Street
San Francisco, CA 94110
Staff Contact: David Winslow – (415) 575-9159
David.Winslow@sfgov.org
Recommendation: Do Not Take DR and Approve

PROJECT DESCRIPTION

The project consists of construction of a horizontal rear addition and a 2-story vertical addition for a total of 3,430 s.f. to an existing 2-story, single-family dwelling to add 2 new dwelling units.

SITE DESCRIPTION AND PRESENT USE

The site is a 25' wide x 133' deep lot with an existing 2-story 2,132 s.f. single family-house built in 1926. The building is classified as a category 'A' historical resource. (see Environmental Review below).

SURROUNDING PROPERTIES AND NEIGHBORHOOD

This building is in the mid-portion of a block that has larger 4-story apartment buildings at the ends and 3-story buildings that have 4th stories with front setbacks. The adjacent 4-story building to the east extends into what would otherwise be a relatively consistent mid-block open space pattern.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	April 23, 2019 – May 23, 2019	5.20. 2019	9.12.2019	115 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	20 days	August 24, 2019	August 24, 2019	20 days
Mailed Notice	20 days	August 24, 2019	August 24, 2019	20 days
Online notice	20 days	August 24, 2019	August 24, 2019	20 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbors	0	0	0
Other neighbors	2	2	0
Neighborhood groups	1	0	0

DR REQUESTORS

DR requestor 1: Joshua Callahan of 49 Capra Way, a neighbor 3 lots to the West.

DR requestor 2: Mauricio Franco of 221/ 219 Mallorca Way, a neighbor to the West

DR REQUESTORS' CONCERNS AND PROPOSED ALTERNATIVES

DR requestor 1:

1. The building is out of character and scale with the surrounding buildings for the following reasons:
 - a. the building is not compatible with the scale at the street;
 - b. the rear massing is not compatible with the buildings at the rear and does not respect the mid-block open space and;
 - c. The front façade is incompatible with the scale and character of block face.
2. The roof deck will create privacy and noise impacts

Alternatives:

1. Eliminate the roof deck and replace the stair penthouse with a hatch as allowed by Building Code for non-occupied roofs
2. Set back the 4th floor along the entire face of Capra, similar to the 12' setback pattern of 45 and 55 Capra Way.
3. Reduce the mass of the rear of the building to conform to established pattern of mid-block open space.

See attached *Discretionary Review Application*, dated May 20, 2019

DR requestor 2:

1. The project ignores the building's historic relevance as a contributor to the Marina Corporation Residential Historic District.
2. The height and bulk is out of scale with the block and impacts mid-block open space.
3. Inaccurate measurements for the determination of rear yard averaging.
4. Light and air impacts
5. Privacy and noise impacts from roof deck.

Alternatives:

1. Preserve the facade
2. Setback additional floors 12'
3. Correct western landmark used for rear yard averaging
4. Reduce building height to 3-stories
5. Maintain shared lightwell between 33 and 39 Capra
6. Eliminate 4th floor roof deck

See attached *Discretionary Review Application*, dated May 20, 2019

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

The project sponsor has complied with the Code and the Residential Design Guidelines.

See attached *Response to Discretionary Review*, dated July 3, 2019.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

The Department's Residential Design Advisory Team (RDAT) re-reviewed this project per the Residential Design Guidelines and found that the design complies with the guidelines related to building massing and scale at the front and rear, access to mid-block open space, and compatibility with neighborhood character. Specifically:

1. The property is listed as a Category 'A' due to its location within an identified CEQA district (the Eligible Marina Corporation Residential Historic District). It was determined to be not an individually eligible historic resource but rather just a contributor to the district. Although the alterations were major, the project did not appear to have an impact on the district. Therefore, the preservation of the façade was not recommended or required.
2. The adjacent 4-story building and other three-story buildings enable the massing of this addition to respond in a way that meets the 4-story height at the street and transition down to the 2-story building to the west. The shape and proportion of the bay projection also presents an appropriate scale at the street.

3. The rear massing also transitions from the deeper 4-story building to the East to the shallower lower building to the West. The side setbacks provide adequate relief to enable access to the mid-block open space from adjacent properties. The main rear wall of the building has been reduced by 1'-3" to respond to the correct measurement of required rear yard.
4. The light well at 39 Capra appears to have been filled in with a skylight. The Department does not typically require matching condition that have been altered in such a manner.
5. RDAT did not see any exceptional nor extraordinary impacts to light and air
6. The roof deck is served by one stair penthouse and sized, located, and designed to ameliorate potential privacy and noise impacts to a reasonable extent.

RDAT did not see any exceptional or extraordinary circumstances and deemed the proposal meets the Planning Code and the Residential Design Guidelines, and therefore recommends not taking Discretionary Review.

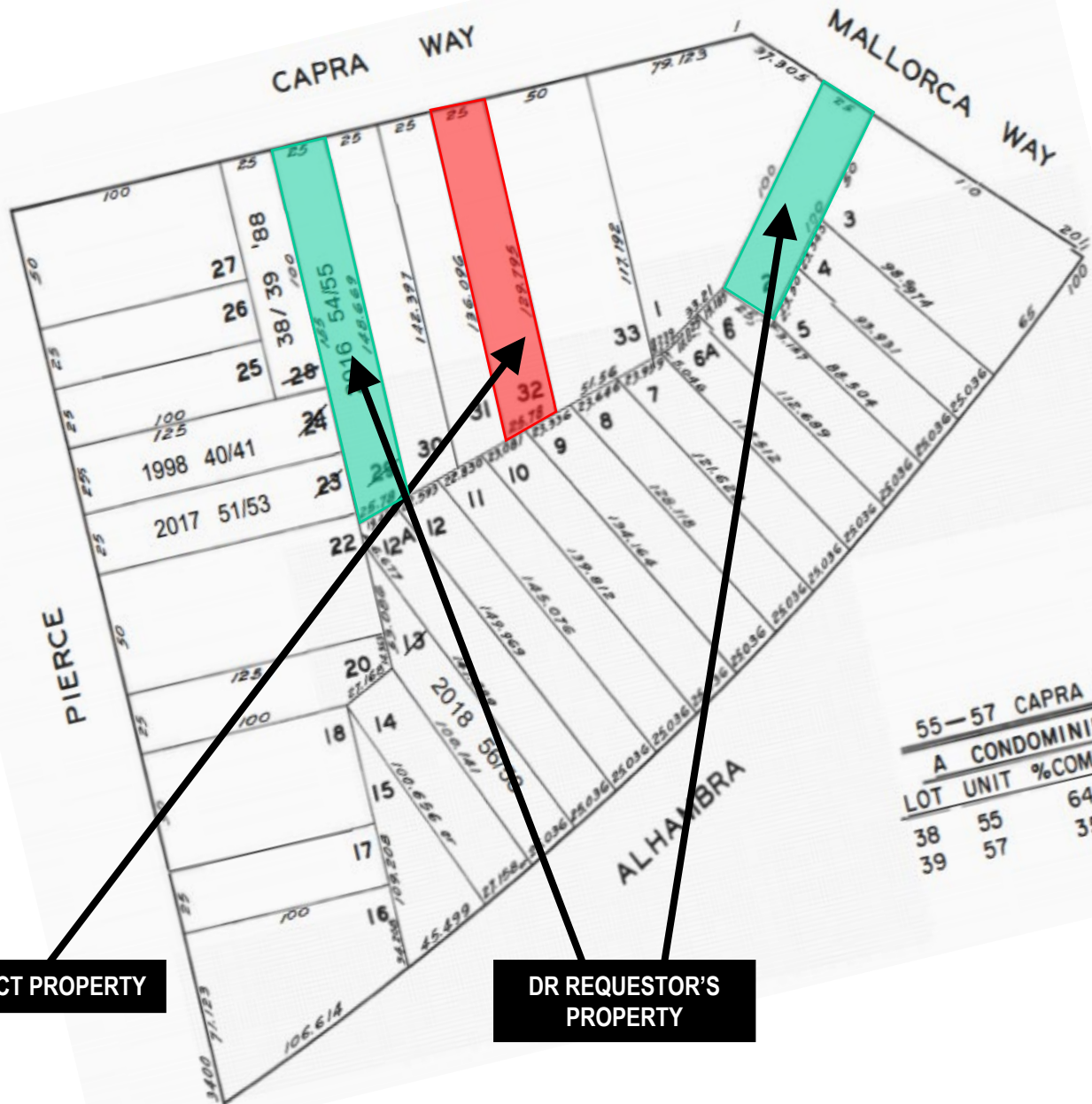
RECOMMENDATION: Do Not Take DR and Approve
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Attachments:

Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Context Photographs
Slope map
Section 311 Notice
CEQA Determination
DR Applications
Response to DR Application dated July 3, 2019
Reduced Plans, dated 2.13.19
3- dimensional analysis

Exhibits

Parcel Map



SUBJECT PROPERTY

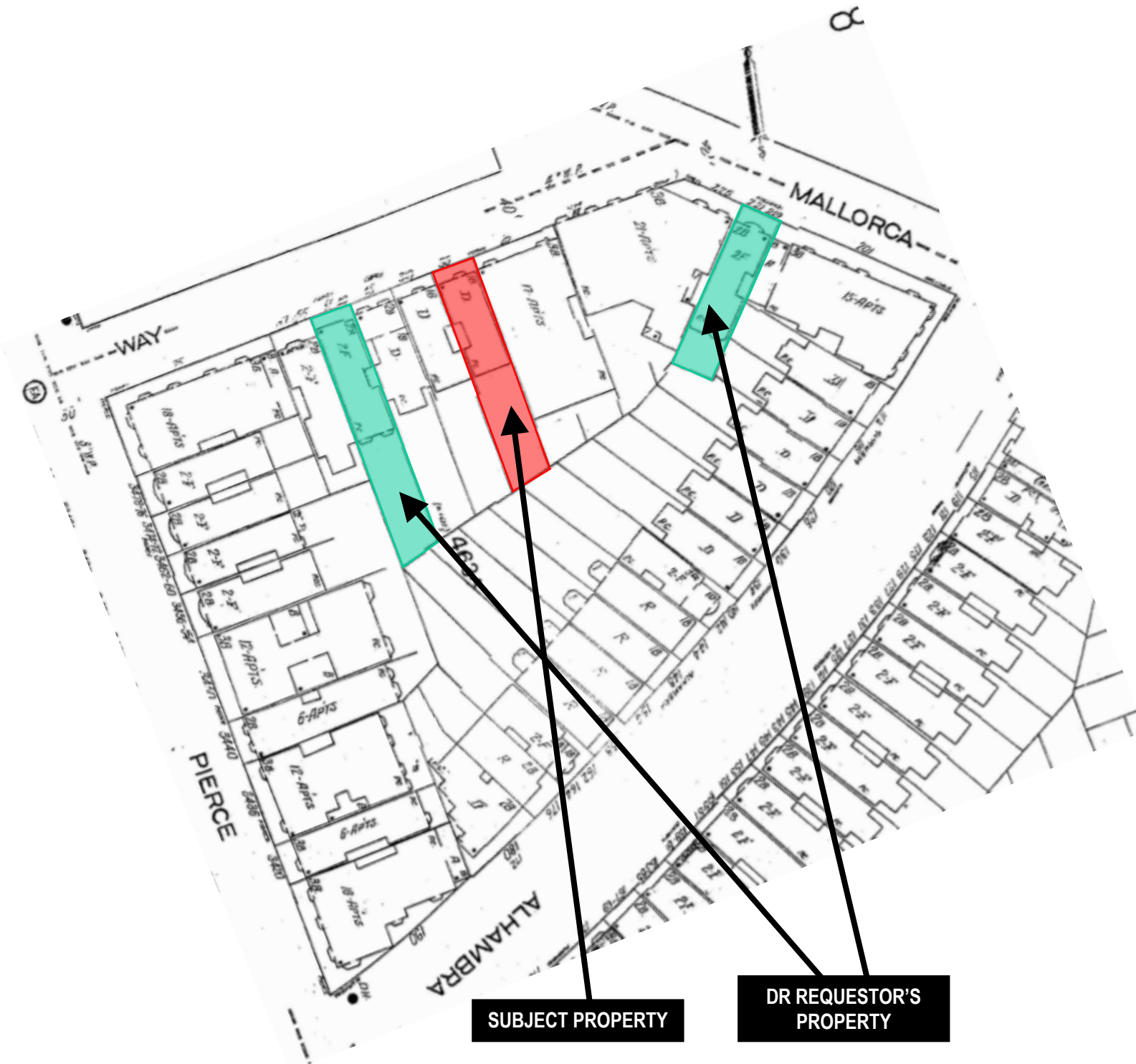
DR REQUESTOR'S
PROPERTY

55—57 CAPRA WAY		
A CONDOMINIUM		
LOT	UNIT	% COMM. AREA
38	55	64.05
39	57	35.95



Discretionary Review Hearing
Case Number 2018-001940DRP-02
33 Capra Way

Sanborn Map*



**The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.*



Discretionary Review Hearing
Case Number 2018-001940DRP-02
33 Capra Way

Zoning Map



Discretionary Review Hearing
Case Number 2018-001940DRP-02
33 Capra Way

Aerial Photo



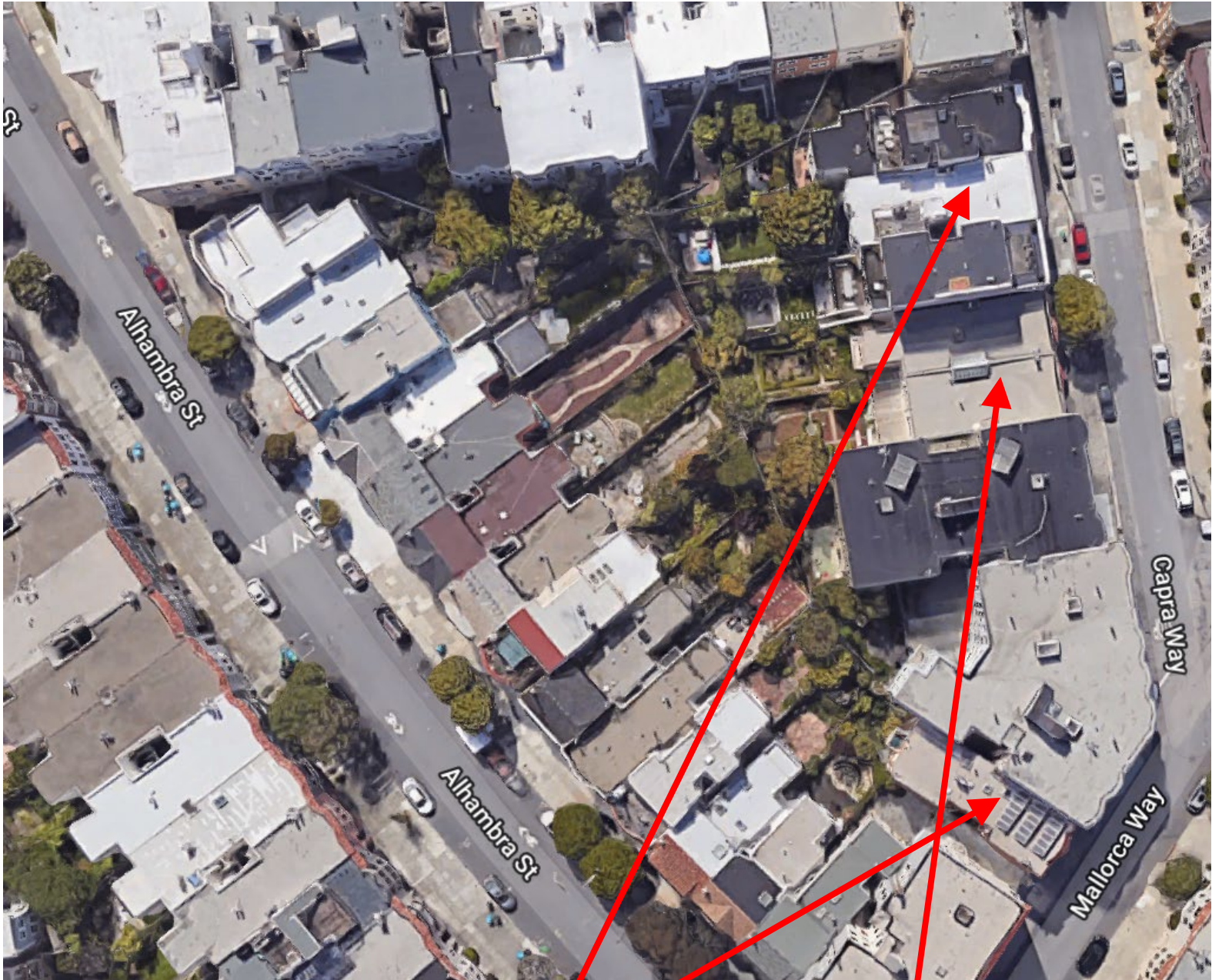
SUBJECT PROPERTY

DR REQUESTOR'S
PROPERTY



Discretionary Review Hearing
Case Number 2018-001940DRP-02
33 Capra Way

Aerial Photo



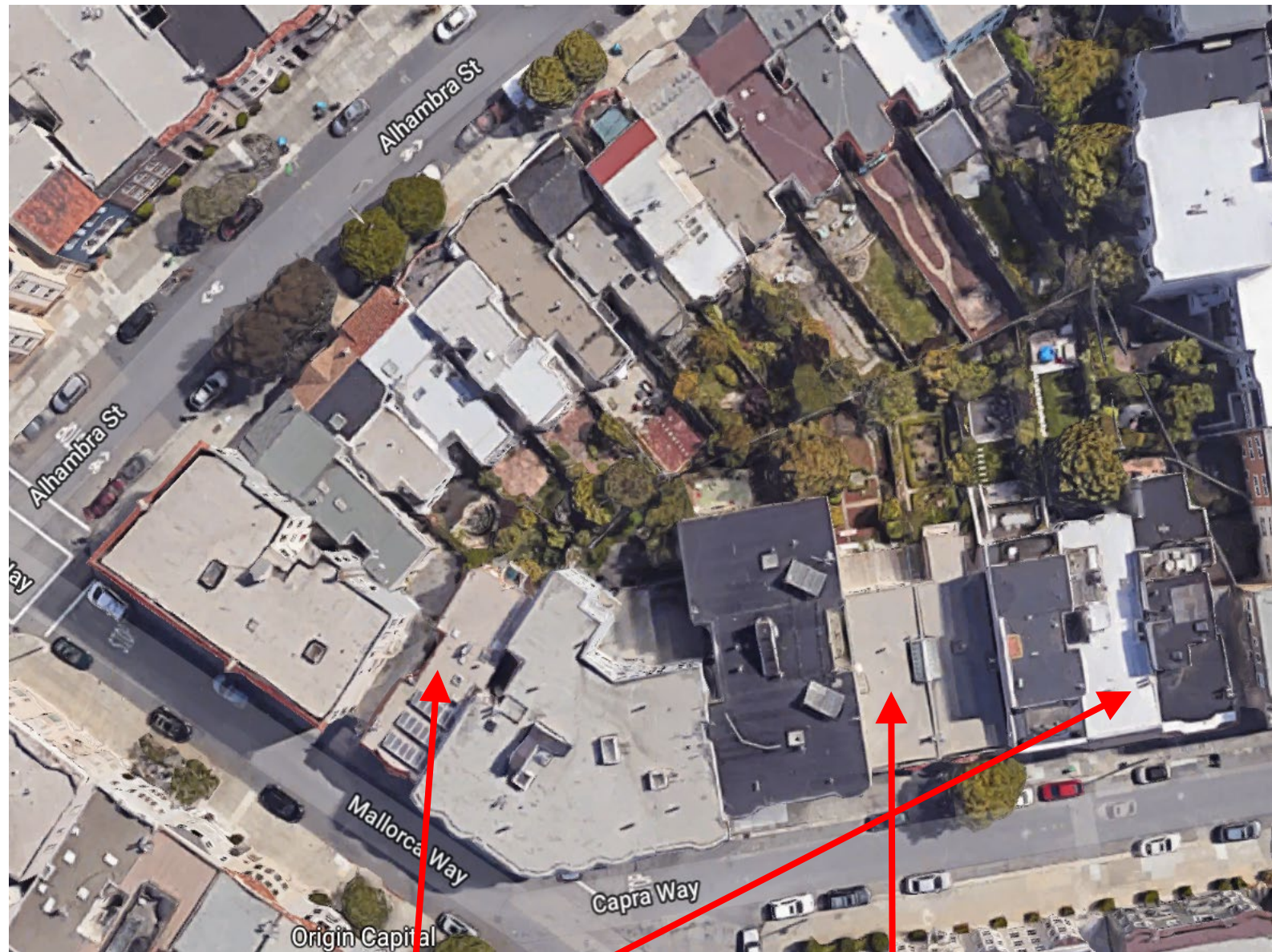
DR REQUESTOR'S
PROPERTY

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-001940DRP-02
33 Capra Way

Aerial Photo



**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-001940DRP-02
33 Capra Way

Aerial Photo



Site Photo



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2018-001940DRP-02
33 Capra Way



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On June 1st, 2018, Building Permit Application No. **2018.0601.0822** was filed for work at the Project Address below.

Notice Date: 4/23/2019

Expiration Date: 5/23/2019

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	33 Capra Way	Applicant:	Michael Morrison
Cross Street(s):	Mallorca Way and Pierce Street	Address:	3246 17th Street
Block/Lot No.:	0463A / 032	City, State:	San Francisco, CA 94110
Zoning District(s):	RH-3 / 40-X	Telephone:	(415) 558-9550 x 0024
Record Number:	2018-001940PRJ	Email:	michael@johnlumarchitecture.com

You are receiving this notice as an owner or occupant of property within 150 feet of the proposed project. **You are not required to take any action.** For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request that the Planning Commission review this application at a public hearing for Discretionary Review. Requests for a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown above, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input checked="" type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	No Change
Number of Dwelling Units	1	3
Front Setback	12 feet 2 inches	No Change
Side Setbacks	None	No Change
Building Depth	69 feet 6 inches	86 feet 2 inches
Rear Yard	51 feet 4 inches	34 feet 8 inches
Building Height	22 feet 3 inches	40 feet
Number of Stories	2	4
Off-Street Parking Spaces	1	3
PROJECT DESCRIPTION		
<p>The project proposes a two-story, 18-foot vertical addition and an approximately 17-foot horizontal addition at the rear to an existing two-story, single-family dwelling. The resulting building would be a four-story, three family dwelling that includes a roof penthouse and deck. The final 18 feet of building depth contains an approximately 8-foot setback to the east. The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code</p>		

To view plans or related documents, visit sf-planning.org/notices and search the Project Address listed above. Once the property is located, click on the dot(s) to view details of the record number above, its related documents and/or plans.

For more information, please contact Planning Department staff:
Matthew Dito, 415-575-9164, Matthew.Dito@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, contact the Planning Information Center (PIC) at 1660 Mission Street, 1st Floor (415) 558-6377 or pic@sfgov.org. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. **You must submit the application in person** at the Planning Information Center (PIC), with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.** **Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
33 CAPRA WAY		0463A032
Case No.		Permit No.
2018-001940ENV		201806010822
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
Project description for Planning Department approval. REMODEL & ADDITION TO CONVERT (E) SFD TO (N) 3 UNIT RESIDENCE. HORIZONTAL ADDITION @ REAR YARD. VERTICAL ADDITION OF (N) 3RD & 4TH FLRS THE PROPOSED 3 UNIT STRUCTURE WILL BE APPROX. 40 FT IN HEIGHT AND APPROX. 4,488 SQ. FT. .NEW INTERIOR STAIRS. NEW NFPA 13-R FIRE SPRINKLERS THROUGHOUT, UNDER SEPARATE PERMIT. **MAHER N/A**		

STEP 1: EXEMPTION CLASS

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. FOR ENVIRONMENTAL PLANNING USE ONLY
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an *Environmental Evaluation Application* is required.

<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i>
<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input checked="" type="checkbox"/>	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	Slope = or > 20%: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required.
<input checked="" type="checkbox"/>	Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required.
<input checked="" type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required.

If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an *Environmental Evaluation Application* is required, unless reviewed by an Environmental Planner.

Comments and Planner Signature (optional): Laura Lynch

Arceho review complete 2/6/2018- no effects.

Project will comply with recommendations outlined in Geotechnical Investigation Report, Divis Consulting Inc. 1/15/2018

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input checked="" type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input checked="" type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): Per PTR Part II signed on 3/21/2019, project will not cause material impairment to historic district and is compatible with district. (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input checked="" type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <div style="display: flex; justify-content: space-between;"> <div> <input checked="" type="checkbox"/> Reclassify to Category A a. Per HRER dated b. Other (specify): Per PTR Part I signed on 10/16/18. </div> <div> <input type="checkbox"/> Reclassify to Category C (attach HRER) </div> </div>
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Stephanie Cisneros	

STEP 6: CATEGORICAL EXEMPTION DETERMINATION

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 - CEQA Impacts <input type="checkbox"/> Step 5 - Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.	
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Building Permit If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	Signature: Stephanie Cisneros 03/21/2019
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.	

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
33 CAPRA WAY		0463A/032
Case No.	Previous Building Permit No.	New Building Permit No.
2018-001940PRJ	201806010822	
Plans Dated	Previous Approval Action	New Approval Action
	Building Permit	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Date:



SAN FRANCISCO PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW FORM

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Preservation Team Meeting Date:		Date of Form Completion	10/5/2018
--	--	--------------------------------	-----------

PROJECT INFORMATION:		
Planner:	Address:	
Stephanie Cisneros	33 Capra Way	
Block/Lot:	Cross Streets:	
0463A/032	Mallorca Way & Pierce Street	
CEQA Category:	Art. 10/11:	BPA/Case No.:
A	N/A	2018-001940ENV

PURPOSE OF REVIEW:			PROJECT DESCRIPTION:	
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input checked="" type="radio"/> Alteration	<input type="radio"/> Demo/New Construction

DATE OF PLANS UNDER REVIEW:	01/25/2018
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PROJECT ISSUES:	
<input checked="" type="checkbox"/>	Is the subject Property an eligible historic resource?
<input type="checkbox"/>	If so, are the proposed changes a significant impact?
Additional Notes:	
Submitted: Historic Resource Evaluation prepared by Tim Kelley Consulting (dated December 2017, updated September 2018) Proposed Project: Remodel & addition to convert (E) single-family dwelling to (N) 3-unit residence; Horizontal addition @ rear yard & vertical addition of 3rd & 4th floors. The proposed 3 unit structure will be approximately 40 feet in height and approximately 4,488 square feet.	

PRESERVATION TEAM REVIEW:	
Category:	<input checked="" type="radio"/> A <input type="radio"/> B <input type="radio"/> C
Individual	Historic District/Context
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:	Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:
Criterion 1 - Event: <input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 1 - Event: <input checked="" type="radio"/> Yes <input type="radio"/> No
Criterion 2 - Persons: <input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 2 - Persons: <input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 3 - Architecture: <input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 3 - Architecture: <input checked="" type="radio"/> Yes <input type="radio"/> No
Criterion 4 - Info. Potential: <input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 4 - Info. Potential: <input type="radio"/> Yes <input checked="" type="radio"/> No
Period of Significance: <input type="text"/>	Period of Significance: <input type="text" value="1922-1939"/>
	<input checked="" type="radio"/> Contributor <input type="radio"/> Non-Contributor

Complies with the Secretary's Standards/Art 10/Art 11:	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
CEQA Material Impairment to the individual historic resource:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
CEQA Material Impairment to the historic district:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Requires Design Revisions:	<input checked="" type="radio"/> Yes	<input type="radio"/> No	
Defer to Residential Design Team:	<input checked="" type="radio"/> Yes	<input type="radio"/> No	

PRESERVATION TEAM COMMENTS:
<p>According to the consultant-prepared Historic Resource Evaluation and information found in the Planning Department files, the subject property at 33 Capra Way contains a one-story-over-garage, wood-frame, single-family dwelling. Constructed in 1926 by local builder G.L. Nelson and designed by prolific architect H.C. Baumann (source: original building permit), the residence is best described as a vernacular style single-family residence with Mediterranean revival features such as red clay tile roof applied above the existing bay and arched windows. The residence has only undergone one alteration since construction: addition at the rear with one living room with all sanitary conditions (1933). The original owner of the site was the Marina Corporation, who oversaw the subdivision and development of the area after the conclusion of the 1915 PPIE. The lot was subdivided around 1925 and changed ownership hands a number of times. It was sold to G.L. Nelson, a contractor, in 1926, who oversaw the construction of the residence. The built residence has changed ownership hands many time since construction.</p> <p>No known historic events occurred at the subject property (Criterion 1). None of the owners or occupants have been identified as important to history (Criterion 2). H.C. Baumann was a prolific architect in San Francisco who completed a number of large-scale development designs. Though he is a prominent name in the design community, the subject property is not an outstanding example of his work and is not architecturally distinct such that it would qualify individually for listing in the California Register under Criterion 3. The subject building is not significant under Criterion 4 since this significance criteria typically applies to rare construction types when involving the built environment. The subject building is not an example of a rare construction type. Assessment of archeological sensitivity is undertaken through the Department's Preliminary Archeological Review process and is outside the scope of this review.</p> <p>The subject property is not located adjacent to any known historic resources (Category A properties) but is located within the identified-eligible Marina Corporation Residential Historic District. Identified through Case Number 2016-013786ENV, the Marina Corporation Residential Historic District is eligible for listing in the California Register under Criterion 1 (Events) for its association with the first wave of residential development in the Marina following the Panama-Pacific International Exhibition (PPIE) and under Criterion 3 (Architecture) as a cohesive collection of outstanding examples of Mediterranean Revival, Spanish Eclectic, and other Period Revival Style residential buildings.</p> <p>(continued)</p>

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
Allison K. Vanderslice <small>Digitally signed by Allison K. Vanderslice DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Environmental Planning, cn=Allison K. Vanderslice, email=Allison.Vanderslice@sfgov.org Date: 2018.10.16 13:12:40 -07'00'</small>	

2018-001940ENV

33 Capra Way

Staff agrees with the findings of the HRE that the subject property is a contributor to the Marina Corporation Residential Historic District. Although its rather simple architectural expression is not unique and is widely found throughout the district, the property generally exhibits the identified character-defining features of the district and thus would be considered a contributor.





SAN FRANCISCO PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW FORM

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Preservation Team Meeting Date:		Date of Form Completion	3/14/2019
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PROJECT INFORMATION:		
Planner:	Address:	
Stephanie Cisneros	33 Capra Way	
Block/Lot:	Cross Streets:	
0463A/032	Mallorca Way & Pierce Street	
CEQA Category:	Art. 10/11:	BPA/Case No.:
A	N/A	2018-001940ENV

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<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input type="radio"/> Alteration	<input checked="" type="radio"/> Demo/New Construction

DATE OF PLANS UNDER REVIEW:	2/13/2019
------------------------------------	-----------

PROJECT ISSUES:	
<input type="checkbox"/>	Is the subject Property an eligible historic resource?
<input checked="" type="checkbox"/>	If so, are the proposed changes a significant impact?
Additional Notes:	
Proposed Project: Remodel & addition to convert (E) single-family dwelling to (N) 3-unit residence; Horizontal addition @ rear yard & vertical addition of 3rd & 4th floors;. The proposed 3 unit structure will be approximately 40 feet in height and approximately 4,488 square feet.	

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Criterion 4 - Info. Potential: <input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 4 - Info. Potential: <input type="radio"/> Yes <input checked="" type="radio"/> No
Period of Significance: <input type="text"/>	Period of Significance: <input type="text" value="1922-1939"/>
	<input checked="" type="radio"/> Contributor <input type="radio"/> Non-Contributor

Complies with the Secretary's Standards/Art 10/Art 11:	<input type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> N/A
CEQA Material Impairment to the individual historic resource:	<input type="radio"/> Yes	<input type="radio"/> No	
CEQA Material Impairment to the historic district:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Requires Design Revisions:	<input type="radio"/> Yes	<input type="radio"/> No	
Defer to Residential Design Team:	<input type="radio"/> Yes	<input type="radio"/> No	

PRESERVATION TEAM COMMENTS:

Based on review of the drawings prepared by John Lum Architecture (dated 2/13/2019), for 33 Capra Way, the proposed project includes a remodel and additions to convert an existing one-story-over-garage single-family residence to a new three-story-over-garage, 3-unit residence. Horizontal and vertical additions to accommodate the addition of two new units will occur as well as façade alterations. The subject property consists of a one-story-over-garage residential building constructed in a vernacular style with Mediterranean Revival influences.

The most important aspects of the project with relationship to the historic district will include the following:

Massing: The proposed project will result in a three-story-over-garage, three-unit residential building, which is consistent with the mix of density found throughout the district. The proposed project also includes a setback at the northwest portion of the third story to provide a stepping down transition between the three-story-over-garage apartment building to the left and the one-story-over-garage residence to the right.

Materials: The proposed materials include smooth stucco, horizontal wood siding and brick veneer, which are consistent with materials found throughout the district.

Fenestration: The proposed project includes multi-lite windows in punched rectangular openings, which are consistent with fenestration patterns found throughout the district.

Staff finds that the proposed project is compatible with the Marina Corporation Residential Historic District and will not cause a material impairment to the district.

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
Allison K. Vanderslice <small>Digitally signed by Allison K. Vanderslice Date: 2019.03.21 16:18:24 -07'00'</small>	

33 CAPRA WAY REMODEL & ADDITION

33 CAPRA WAY. SAN FRANCISCO, CA 94123
0463A - 032

ABBREVIATIONS:

& ^ @	AND ANGLE AT NUMBER
CL P (E) (N) (R)	CENTER LINE PROPERTY LINE EXISTING NEW REPLACE
ABV. ADJ. ALUM. ARCH. ASPH. BD. BASE BD. BLDG. BLK. BLKG. BOT. BM. B.U. CLG. CNTL CONT. CTR. CLR. C.L. DBL. D.F. DIM. DN. D.P. D.S. DWG. E EA EL. OR ELEV. ELEC. EQ. EXP. EXT. F.A.U. F.DN. F.F. F.F.E. FIN. F.O.C. F.O.S. F.O.P. F.P. FURN. GA. GALV. GND. GYPSUM BD. H.C. HDR. HDWD. H.V.A.C. I.D. INSUL. INT. JST. MAX. M.C. MECH. MEMB. MANUF. MIN. MTL. N.I.C. NO. O O.C. OFCI OPNG. O.D. P.C. PLYWD. P.T. PT. PTD. R RET. AIR RM RDWD R.W.L. S S.S.D. SQ. FT. SHT. SHTG. SIM. S.P. SQ. S.S.T. ST. STD. SUP. AIR T&G TBD THK. T.O.P. T.O.S. T.O.F.F. T.O.W. T.P. T.R. TYP. U.O.N. VAR. V.D.C. VERT. V.I.F. W W/ W.C. WOOD WP W.H.	ABOVE ADJACENT ALUMINUM ARCHITECTURE ASPHALT BOARD BASE BOARD BUILDING BLOCK BLOCKING BOTTOM BEAM BUILT-UP CEILING CONTROL CONTINUOUS CENTER CLEAR CENTER LINE DOUBLE DOUGLAS FIR DIMENSION DOWN DOUBLE POLE DOWN SPOUT DRAWING EAST EACH ELEVATION ELECTRICAL EQUAL EXPOSED EXTERIOR FORCED-AIR-UNIT FOUNDATION FINISHED FLOOR FINISHED FLOOR ELEVATION FINISH FACE OF CONCRETE FACE OF STUD FACE OF PLYWOOD FIRE PLACE FURNACE GAUGE GALVANIZED GROUND GYPSUM BOARD HOLLOW CORE HEADER HARD WOOD HEATING, VENTILATION, AIR CONDITIONING INSIDE DIMENSION INSULATION INTERIOR JOIST MAXIMUM MEDICINE CABINET MECHANICAL MEMBRANE MANUFACTURER MINIMUM METAL NORTH NOT IN CONTRACT NUMBER OVER ON CENTER OWNER FURNISHED, CONTRACTOR INSTALLED OPENING OUTSIDE DIMENSION PLUMBING CHASE PLATE PLYWOOD PRESSURE TREATED POINT PAINTED RADIUS RETURN AIR ROOM REDWOOD RAIN WATER LEADER SOUTH SEE STRUCTURAL DRAWINGS SQUARE FOOT SHEET SHEATHING SIMILAR SINGLE POLE SQUARE STAINLESS STEEL STEEL STANDARD SUPPLY AIR TONGUE AND GROOVE TO BE DETERMINED THICK TOP OF PLATE TOP OF SLAB TOP OF FINISHED FLOOR TOP OF WALL TOILET PAPER HOLDER TOWEL RACK TYPICAL UNLESS OTHERWISE NOTED VARIES VERIFY DURING CONSTRUCTION VERTICAL VERIFY IN FIELD WEST WITH WATER CLOSET WOOD WATER PROOF WATER HEATER

SYMBOLS:

WALL TYPES

NEW WALL (NON-RATED)	
NEW 1-HOUR FIRE-RATED WALL	
NEW 2-HOUR FIRE-RATED WALL	
NEW LOW WALL	
EXISTING WALL	
DEMO WALL	

LINE TYPES

OVERHEAD LINE	
HIDDEN LINE	
PROPERTY LINE	
SETBACK LINE	
CENTER LINE	
BREAK LINE	
ELEVATION LINE	

DIMENSIONS

FACE OF FINISH	
CL OF STUD	

MARKERS

DETAIL MARKER	
PLAN DETAIL MARKER	
ELEVATION MARKER	
SECTION MARKER	
INTERIOR ELEVATION MARKER	
REVISION MARKER	
DOOR TAG	
WINDOW TAG	
STEP SYMBOL	

GENERAL NOTES:

- AIA DOCUMENT 201, "GENERAL CONDITIONS FOR THE PERFORMANCE OF A CONTRACT," ARE HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF WORK. SUPPLEMENTARY CONDITIONS TO THE CONTRACT ALSO APPLY.
- ALL CONSTRUCTION SHALL CONFORM TO CURRENT SAN FRANCISCO CODES AND ANY OTHER GOVERNING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY APPLICABLE PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
 - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THE WORK CAN BE BUILT OR DEMOLISHED AS SHOWN BEFORE PROCEEDING WITH THE WORK. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
 - ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK.
 - CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT SHOWN ON THE DRAWINGS.
 - CONTRACTOR TO MAINTAIN ALL PROPER WORKMAN'S COMPENSATION AND LIABILITY INSURANCE THROUGHOUT THE DURATION OF PROJECT.
 - SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE PRIOR APPROVAL OF THE ARCHITECT.
 - DURING THE BIDDING AND NEGOTIATION PERIOD THE GENERAL CONTRACTOR AND SUBCONTRACTOR(S) SHALL CONFIRM IN WRITING APPROX. ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF THE SPECIFIED PRODUCT.
 - ALL WORK SHALL BE PERFORMED SUCH THAT DAMAGE TO EXISTING LANDSCAPE AND/OR PERSONAL PROPERTY IS PREVENTED OR MINIMIZED.
 - CONTRACTOR SHALL TAKE MEASURES TO PROTECT ADJACENT PROPERTIES. USE VISQUEEN, PLYWOOD, ETC. TO MINIMIZE NOISE, DUST, ETC.
 - IN THE EVENT THAT FOUNDATION EXCAVATION MIGHT AFFECT ADJACENT PROPERTIES, CONTRACTOR SHALL TAKE ALL APPROPRIATE STEPS TO NOTIFY THE PROPERTY OWNER OF THE CONDITION, AND TO ADEQUATELY PROTECT THE ADJACENT STRUCTURE.
 - WRITTEN DIMENSIONS REFER TO: FACE OF FINISH OR CENTER-LINE UNLESS OTHERWISE NOTED. EXTERIOR WALLS ARE DIMENSIONED TO FACE OF SHEATHING, U.O.N.
 - DIMENSIONS ARE TO TOP OF FIN. FLOOR, SLAB OR DECK IN SECTION OR ELEVATION, UNLESS OTHERWISE NOTED.
 - "SIM." OR "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE ITEM NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN.
 - "TYP." OR TYPICAL MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
 - DIMENSIONS NOTED "CLR" OR "CLEAR" ARE MINIMUM REQUIRED DIMENSIONS AND CLEARANCES MUST BE ACCURATELY MAINTAINED.
 - CONTRACTOR TO VERIFY DIMENSIONS AND CONDITIONS IN FIELD. IF CONDITIONS ARE SIGNIFICANTLY DIFFERENT THAN REPRESENTED IN DRAWINGS, VERIFY CONDITIONS WITH ARCHITECT.
 - ALL MATERIALS AND EQUIPMENT TO BE NEW UNLESS OTHERWISE NOTED.
 - ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
 - WINDOW AND DOOR SIZES ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER'S SPECIFICATIONS FOR ACTUAL ROUGH OPENINGS.
 - WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED THEY SHALL BE CENTERED IN THE WALL OR PLACED TWO STUD WIDTHS FROM ADJACENT WALL AS INDICATED ON DRAWINGS, UNLESS OTHERWISE NOTED.
 - ALL CHANGES IN FLOOR MATERIAL SHALL OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
 - SEALANT, CAULKING, FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.
 - ALL ATTICS, RAFTER SPACES, SOFFITS, CRAWL SPACES, ETC. TO BE FULLY VENTILATED PER APPLICABLE CODE.
 - PROVIDE WOOD BLOCKING FOR ALL TOWEL BARS, ACCESSORIES, ETC.
 - MEET ALL CALIFORNIA ENERGY CONSERVATION REQUIREMENTS INCLUDING BUT NOT LIMITED TO:
A. MINIMUM ROOF/CEILING INSULATION R-19
B. MINIMUM WALL INSULATION IN FRAMED EXTERIOR WALLS R-13
C. MINIMUM FLOOR INSULATION OVER CRAWL OR UNOCCUPIED SPACES R-13
D. ALL INSULATION TO MEET CEC QUALITY STANDARDS.
E. INFILTRATION CONTROL:
1. DOORS AND WINDOWS WEATHER-STRIPPED.
2. EXHAUST SYSTEMS DAMPENED.
3. DOORS AND WINDOWS CEC CERTIFIED AND LABELED.
4. ALL JOINTS AND PENETRATIONS CAULKED AND SEALED.
F. DUCTS CONSTRUCTED AND INSTALLED PER UMC.
G. ELECTRICAL OUTLET PLATE/GASKETS SHALL BE INSTALLED ON ALL RECEPTACLES, SWITCHES AND ELECTRICAL BASES ON EXTERIOR WALLS.
 - SMOKE ALARMS ARE TO BE INSTALLED IN ALL SLEEPING ROOMS. SMOKE ALARMS SHALL BE HARDWIRED TO 110V HOUSE WIRING AND WIRED TOGETHER IN SERIES. MINIMUM ONE ALARM PER STORY. REF. PLANS FOR LOCATIONS.
 - GENERAL CONTRACTOR IS TO COORDINATE INSTALLATION OF N.I.C. ITEMS WITH OTHER TRADES
 - LOCATION/SPECIFICATION OF SAFETY GLAZING (TEMPERED GLASS) ARE SOLE RESPONSIBILITY OF CONTRACTOR. ALL DOORS W/ GLAZING AND ALL GLAZING OF WINDOWS WITHIN 24" OF EDGE OF ANY DOOR SHALL BE WITH TEMPERED GLASS (UBC SECTION 2406)

PROJECT DATA:

CODES

2018 CALIFORNIA BUILDING CODE
2018 CALIFORNIA MECHANICAL CODE
2018 CALIFORNIA ELECTRICAL CODE
2018 CALIFORNIA PLUMBING CODE
2018 CALIFORNIA FIRE CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
APPLICABLE SAN FRANCISCO MUNICIPAL CODES

PROJECT ADDRESS

33 CAPRA WAY
SAN FRANCISCO, CA 94123

PROJECT DESCRIPTION

- REMODEL & ADDITION TO CONVERT (E) SINGLE-FAMILY DWELLING TO (N) 3-UNIT RESIDENCE
- HORIZONTAL ADDITION @ REAR YARD & VERTICAL ADDITION OF (N) 3RD & 4TH FLOORS
- ADD 2 (N) UNITS @ (N) 3RD & 4TH FLOORS
- (N) INTERIOR STAIRS
- (N) NFPA 13R FIRE SPRINKLERS THROUGHOUT, UNDER SEPARATE PERMIT

PLANNING INFORMATION

BLOCK - LOT	0463A - 032
ZONING DISTRICT	RH-3
BUILDING HEIGHT	EXISTING - 23'-5" PROPOSED - 40'-0" (40'-0" MAX)
NUMBER OF STORIES	EXISTING - 2 PROPOSED - 4
SETBACKS	FRONT - 10'-0" LEGISLATED SETBACK REAR - AVG. OF ADJ. (25% MIN)
LOT SIZE	3,324 SQ. FT.

GROSS FLOOR AREA:

1ST FLOOR EXISTING	751 SQ. FT.	(CONDITIONED)
2ND FLOOR EXISTING	977 SQ. FT.	(UNCONDITIONED)
2ND FLOOR EXISTING	1,360 SQ. FT.	(CONDITIONED)
TOTAL EXISTING	2,132 SQ. FT.	(CONDITIONED)
	977 SQ. FT.	(UNCONDITIONED)
1ST FLOOR PROPOSED	445 SQ. FT.	(CONDITIONED)
2ND FLOOR PROPOSED	1,526 SQ. FT.	(UNCONDITIONED)
3RD FLOOR PROPOSED	1,620 SQ. FT.	(CONDITIONED)
4TH FLOOR PROPOSED	1,575 SQ. FT.	(CONDITIONED)
	1,374 SQ. FT.	(CONDITIONED)
TOTAL PROPOSED	5,014 SQ. FT.	(CONDITIONED)
	1,526 SQ. FT.	(UNCONDITIONED)
NET CHANGE	2,882 SQ. FT.	(CONDITIONED)
	548 SQ. FT.	(UNCONDITIONED)

(N) GFA PER UNIT:

UNIT 1-	2,131 SQ. FT.
UNIT 2-	1,573 SQ. FT.
UNIT 3-	1,359 SQ. FT.

USABLE OPEN SPACE:

COMMON OPEN SPACE-	1,048 SQ. FT. (1ST FLOOR) 388 SQ. FT. (ROOF)
UNIT 1-	COMMON ONLY
UNIT 2-	88 SQ. FT. (PRIVATE)
UNIT 3-	150 SQ. FT. (PRIVATE)

BUILDING INFORMATION

CONSTRUCTION TYPE	TYPE - 5B
OCCUPANCY	(E) R-3; (N) R-2
MINIMUM ROOF CLASS	CLASS B ROOF

PROJECT PARTICIPANTS:

ARCHITECT:

JOHN LUM ARCHITECTURE
3246 17TH STREET
SAN FRANCISCO, CA 94110

PROJECT MANAGER:
MICHAEL MORRISON
T. 415.558.9550 x0024
F. 415.558.0554

OWNER:

BOTTLENOSEDOLPHIN LLC
33 CAPRA WAY
SAN FRANCISCO, CA 94123

GENERAL CONTRACTOR:

T.B.D.

STRUCTURAL ENGINEER:

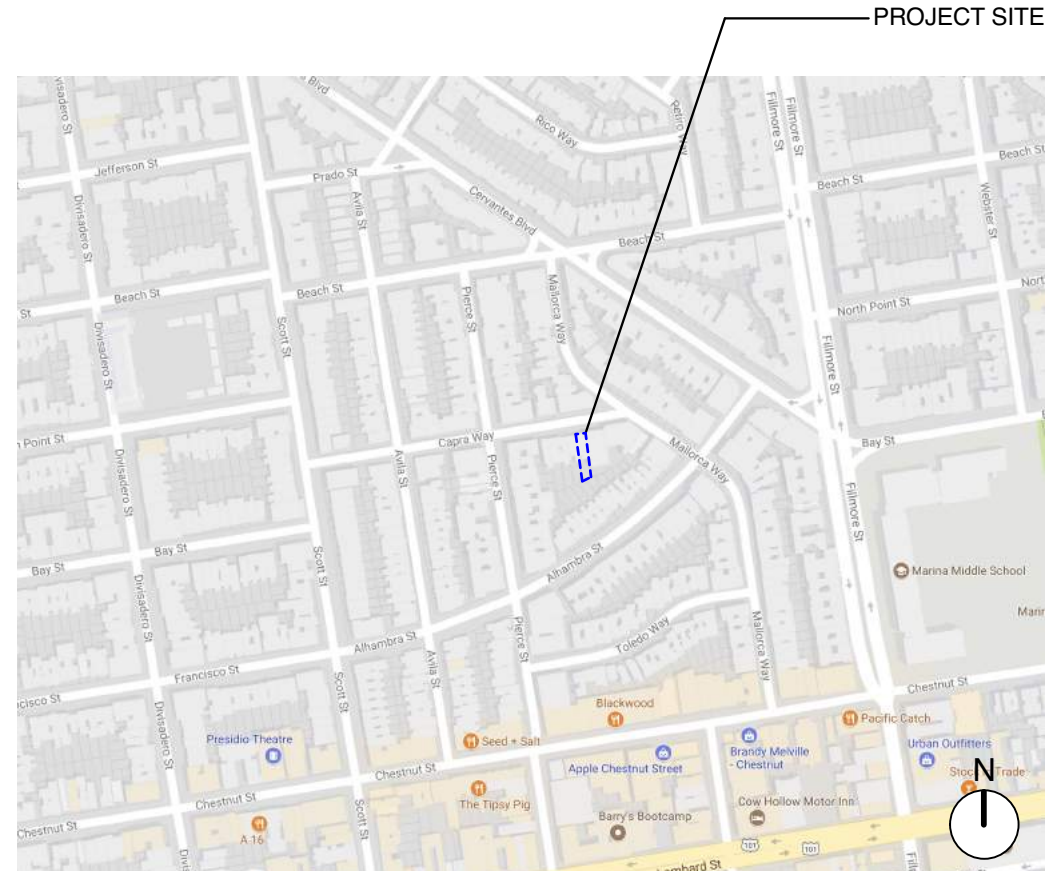
T.B.D.

DRAWING INDEX

ARCHITECTURAL

1.	A0.00	TITLE SHEET
2.	A0.01	SITE PLAN
3.	A0.02	SITE PLAN
4.	A0.03	SITE PHOTOS
5.	A0.04	PERSPECTIVE
6.	A0.05	STREET CONTEXT
7.	A0.06	DEMO CALCS
8.	A0.07	DEMO CALCS
9.	A0.08	DEMO CALCS
10.	A0.09	AB-09 FORM
11.	A1.00	EGRESS, LEGEND, ADD'L NOTES
12.	A1.01	FLOOR PLANS
13.	A1.02	FLOOR PLANS
14.	A1.03	FLOOR PLANS
15.	A1.04	ROOF PLAN
16.	A3.01	EXTERIOR ELEVATIONS
17.	A3.02	EXTERIOR ELEVATIONS
18.	A3.03	EXTERIOR ELEVATIONS
19.	A3.04	EXTERIOR ELEVATIONS
20.	A3.05	EXTERIOR ELEVATIONS
21.	A3.06	EXTERIOR ELEVATIONS
22.	A3.07	EXTERIOR ELEVATIONS
23.	A3.08	EXTERIOR ELEVATIONS
24.	A3.09	BUILDING SECTION
25.	A3.10	BUILDING SECTION
26.	A9.01	SF GREEN BUILDING

VICINITY MAP:



33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94123
0463A - 032

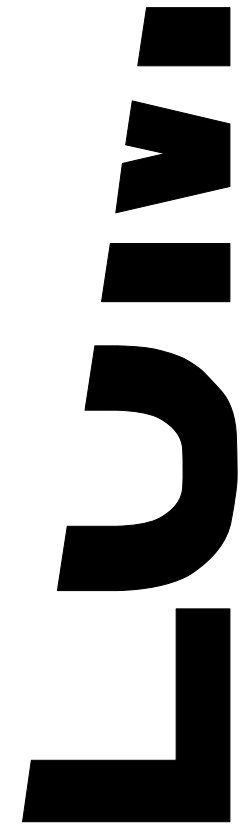
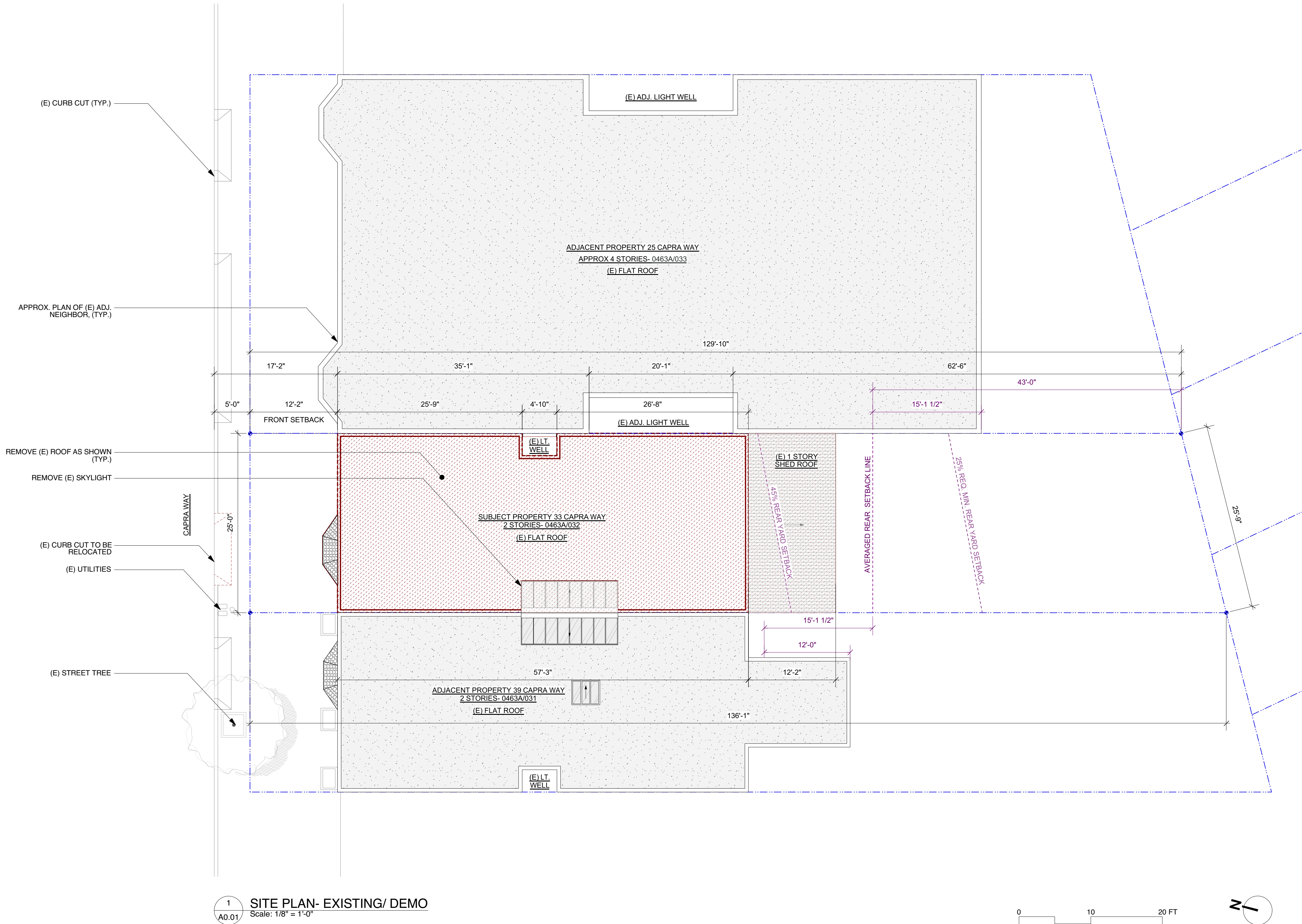
client:

BottleNosedolphin LLC
33 Capra Way
San Francisco, CA 94123

TITLE SHEET

A0.00

10.31.19



JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.9554

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94103
0463A-1032

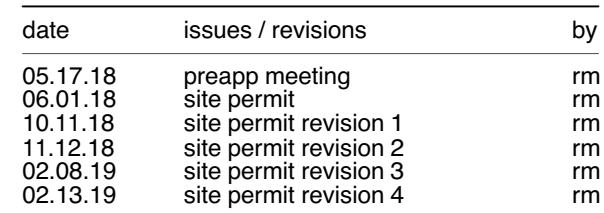
Bortoliosedolphin LLC
33 Capra Way
San Francisco, CA 94123

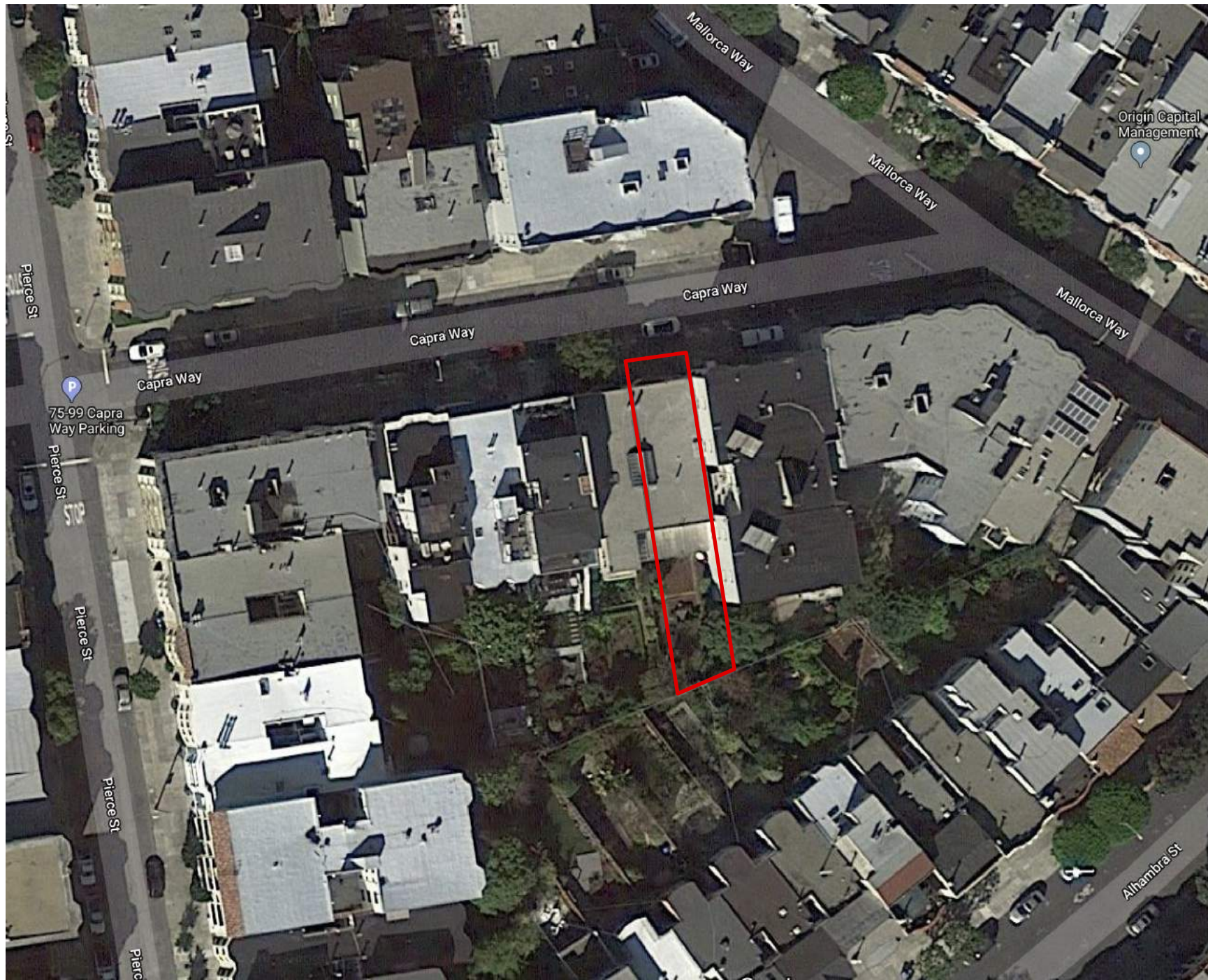
client:

date	issues / revisions	by
05.17.18	preapp meeting	rm
06.01.18	site permit	rm
10.11.18	site permit revision 1	rm
11.12.18	site permit revision 2	rm
02.08.19	site permit revision 3	rm
02.13.19	site permit revision 4	rm

SITE PLAN

A0.01

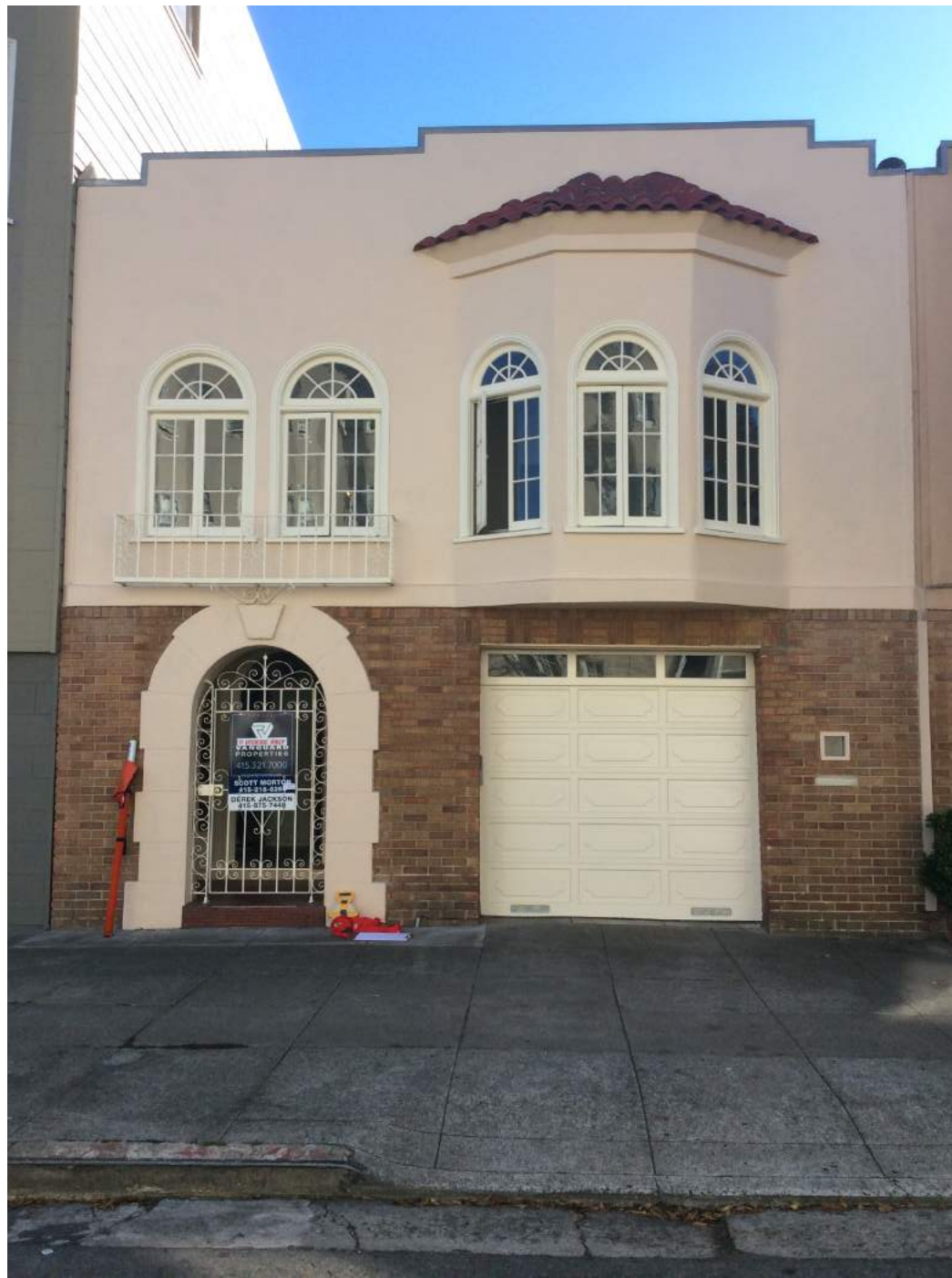




SUBJECT PROPERTY 33 CAPRA WAY



ADJACENT BUILDING 25 CAPRA WAY



SUBJECT PROPERTY (NORTH) FACADE



ADJACENT BUILDING 39 CAPRA WAY



NEIGHBORING BUILDING ACROSS STREET



REAR OF ADJACENT BUILDING 39 CAPRA WAY



SUBJECT PROPERTY REAR (SOUTH) FACADE



REAR OF ADJACENT BUILDING 25 CAPRA WAY

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94133
0463A-1032

client:

Bortlenosodolpin LLC
33 Capra Way
San Francisco, CA 94133

date	issues / revisions	by
05.17.18	preapp meeting	rm
06.01.18	site permit	rm
10.11.18	site permit revision 1	m
11.12.18	site permit revision 2	rm
02.08.19	site permit revision 3	rm
02.13.19	site permit revision 4	rm

SITE PHOTOS

A0.03

JOHN LUM ARCHITECTURE

3246 SEVENTEEN STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.9554



1 VIEW ACROSS THE STREET



2 VIEW AT REAR OF PROPERTY



3 VIEW DOWN THE STREET

PROPOSED VIEWS N.T.S.

John Lum

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94103

client:

Bottlenosedolphin LLC
33 Capra Way
San Francisco, CA 94103

JOHN LUM ARCHITECTURE
3246 SEVENTEEN STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.9554

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02.13.19	site permit revision 4	rm

PERSPECTIVE

A0.04



@ MALLORCA WAY LOOKING WEST



@ PIERCE ST LOOKING EAST



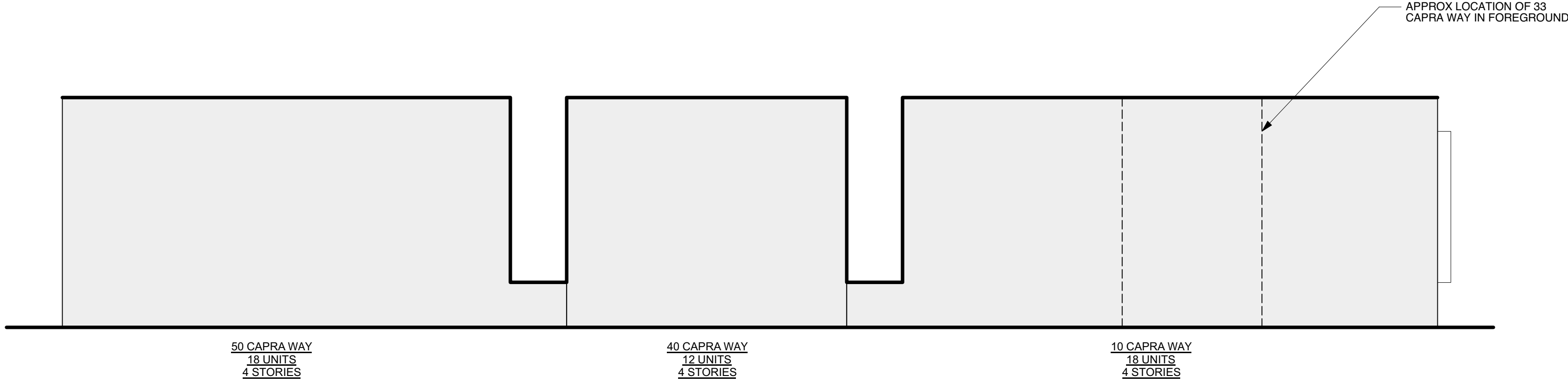
@ PIERCE ST LOOKING NORTH TOWARDS CAPRA WAY



@ MALLORCA WAY LOOKING NORTHWEST

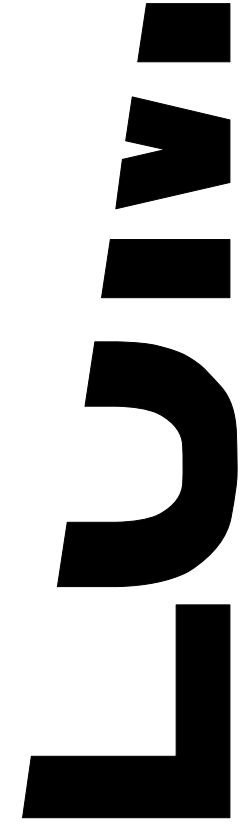


1 STREET CONTEXT CAPRA WAY- FACING SOUTH
Scale: 1/16" = 1'-0"



2 STREET CONTEXT CAPRA WAY- FACING NORTH
Scale: 1/16" = 1'-0"

date	issues / revisions	by
05.17.18	preapp meeting	rm
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02.13.19	site permit revision 4	rm



33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94123
0463A-1032

Bottlenosedolphin LLC
33 Capra Way
San Francisco, CA 94123

client:

date	issues / revisions	by
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02.13.19	site permit revision 4	rm

DEMO CALCS

A0.06

DEMOLITION CALCULATIONS PER SECTION 317 (b) (2)

1.	1/A0.05 BEYOND THRESHOLD	EXTERIOR WALL AT FRONT AND REAR FACADES	TOTAL LINEAR FEET: 50'-0"		
			TOTAL TO BE REMOVED: 50'-0"	100%	
			TOTAL TO BE RETAINED: 0'-0"	0%	
2.	2/A0.05 PASSED	ALL EXTERIOR WALLS	TOTAL LINEAR FEET: 164'-6"		
			TOTAL TO BE REMOVED: 50'-0"	30.4%	
			TOTAL TO BE RETAINED: 114'-6"	69.6%	
3.	1,2,3&4/A0.06 PASSED	VERTICAL ELEMENTS	TOTAL VERTICAL ELEMENTS: 3836 SF		
			TOTAL VERT. ELEMENTS REMOVED: 1459 SF	38.6%	
			TOTAL VERT. ELEMENTS RETAINED: 2377 SF	61.4%	
2.	1&2/A0.07 BEYOND THRESHOLD	HORIZONTAL ELEMENTS	TOTAL HORIZONTAL ELEMENTS: 2912 SF		
			TOTAL HORIZ. ELEMENTS REMOVED: 2912 SF	100%	
			TOTAL HORIZ. ELEMENTS RETAINED: 0 SF	0%	

PASSED PLANNING CODE §317(2)(b):
A MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT FACADE AND REAR FACADE AND ALSO PROPOSES TEH REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS, MEASURED IN LINEAR FEET AT FOUNDATION LEVEL, OR

PASSED PLANNING CODE §317(2)(c):
A MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS AND MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

SYMBOLS:

TO BE RETAINED —
TO BE REMOVED —

SEC. 317 (2) (B) - PART 1

REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT AND REAR FACADE MEASURED IN LINEAR FEET AT THE FOUNDATION LEVEL

SUM OF FRONT FACADE AND REAR FACADE

ELEMENT	(E) LENGTH (ft.)	TO BE REMOVED (ft.)	% TO BE REMOVED	TO BE RETAINED (ft.)	% TO BE RETAINED
A: FRONT(NORTH) FACADE	25'-0"	25'-0"		0'-0"	
C: REAR(SOUTH) FACADE	25'-0"	25'-0"		0'-0"	
TOTALS:	50'-0"	50'-0"	100%	0'-0"	0%

SYMBOLS:

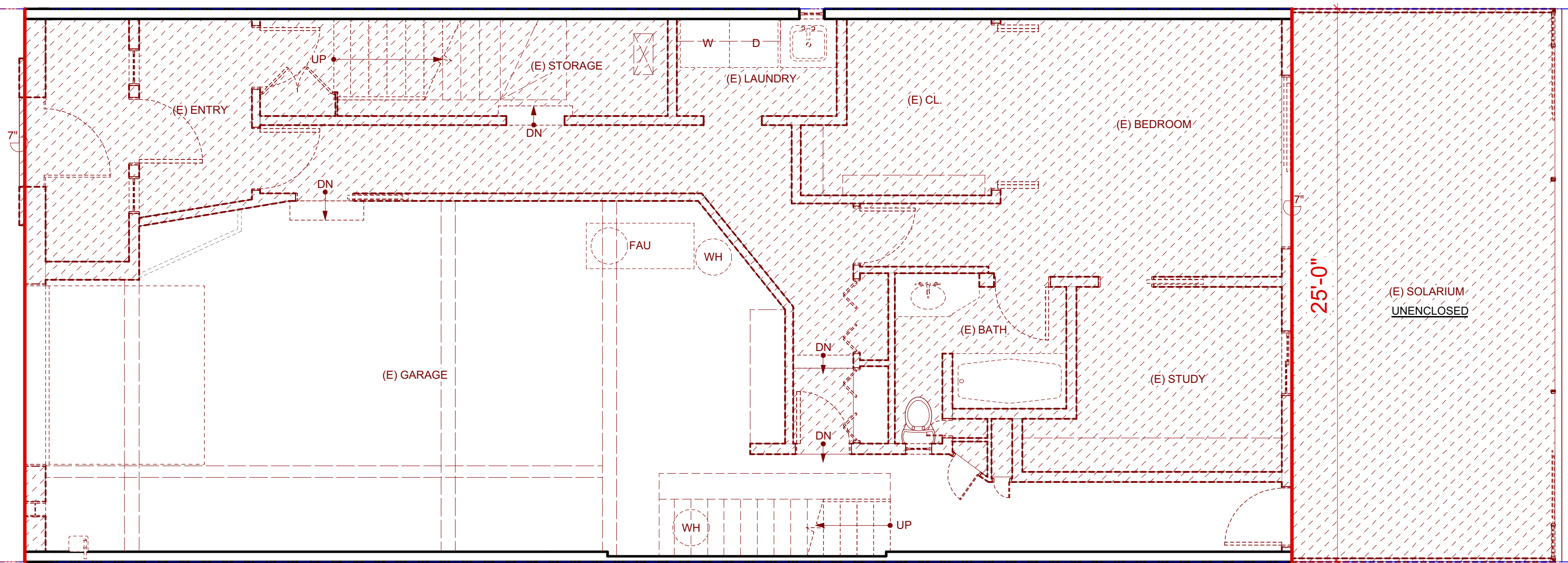
TO BE RETAINED —
TO BE REMOVED —

SEC. 317 (2) (B) - PART 2

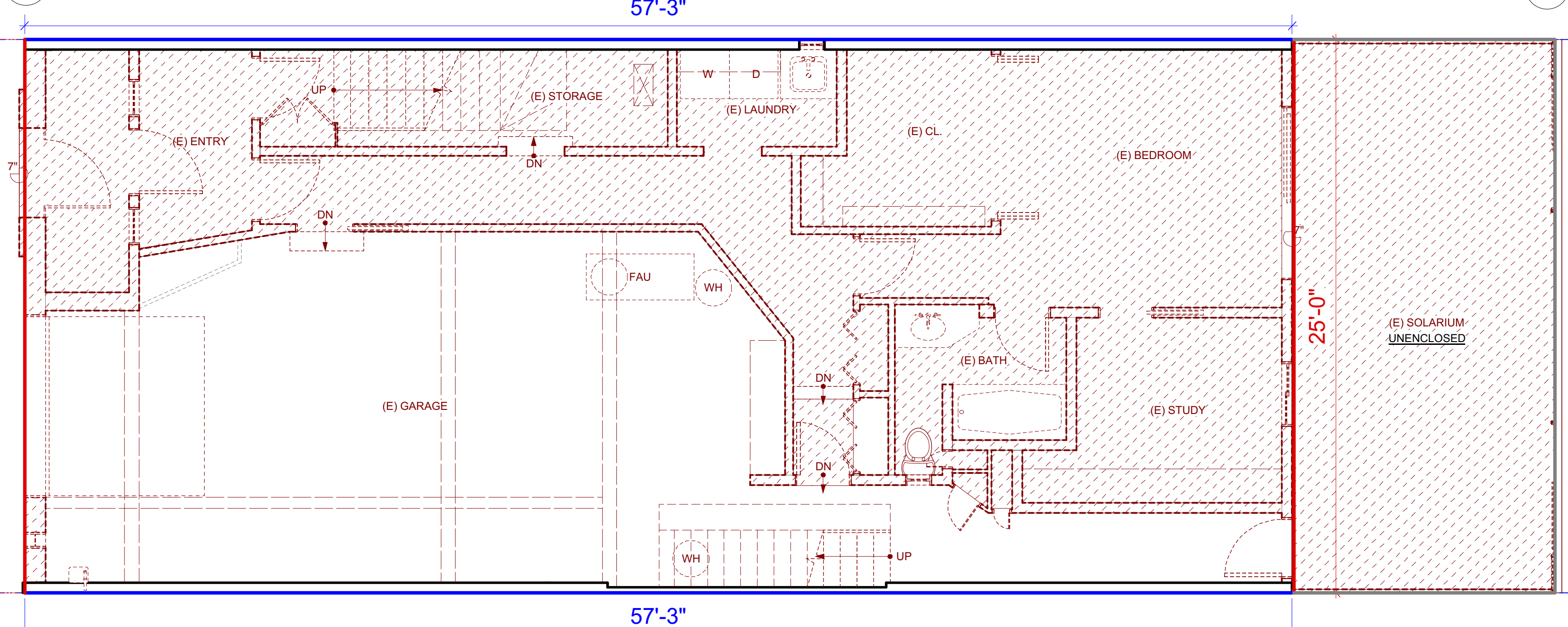
REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS MEASURED IN LINEAR FEET AT THE FOUNDATION LEVEL

LINEAR FOOTAGE MEASUREMENT

ELEMENT	(E) LENGTH (ft.)	TO BE REMOVED (ft.)	% TO BE REMOVED	TO BE RETAINED (ft.)	% TO BE RETAINED
A: FRONT(NORTH) FACADE	25'-0"	25'-0"		0'-0"	
C: REAR(SOUTH) FACADE	25'-0"	25'-0"		0'-0"	
B: SIDE 1(EAST) FACADE	57'-3"	0'-0"		57'-3"	
D: SIDE 2(WEST) FACADE	57'-3"	0'-0"		57'-3"	
TOTALS:	164'-6"	50'-0"	30.4%	114'-6"	69.6%

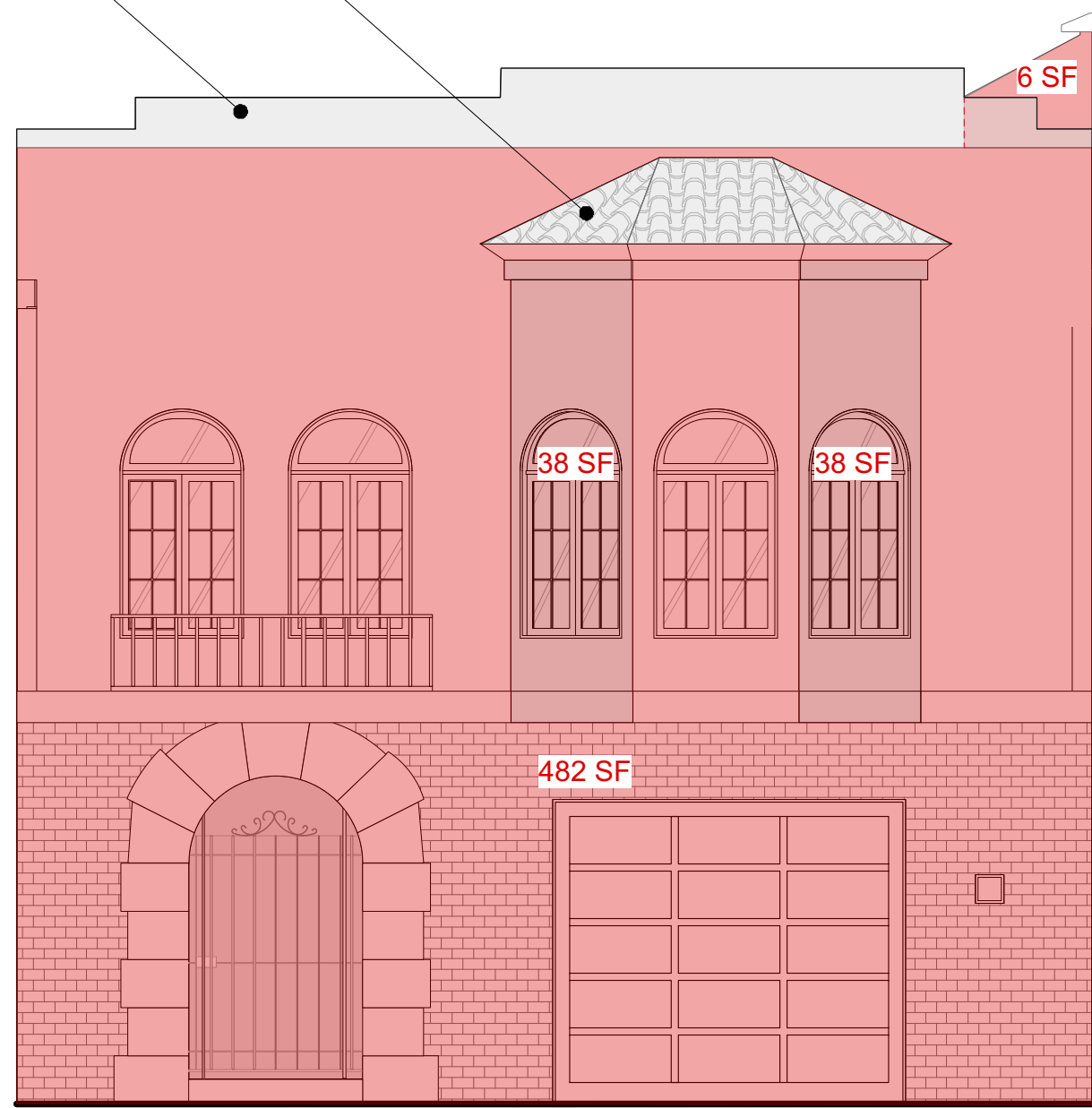


1 FIRST FLOOR PLAN- EXISTING/DEMO
Scale: 1/4" = 1'-0"



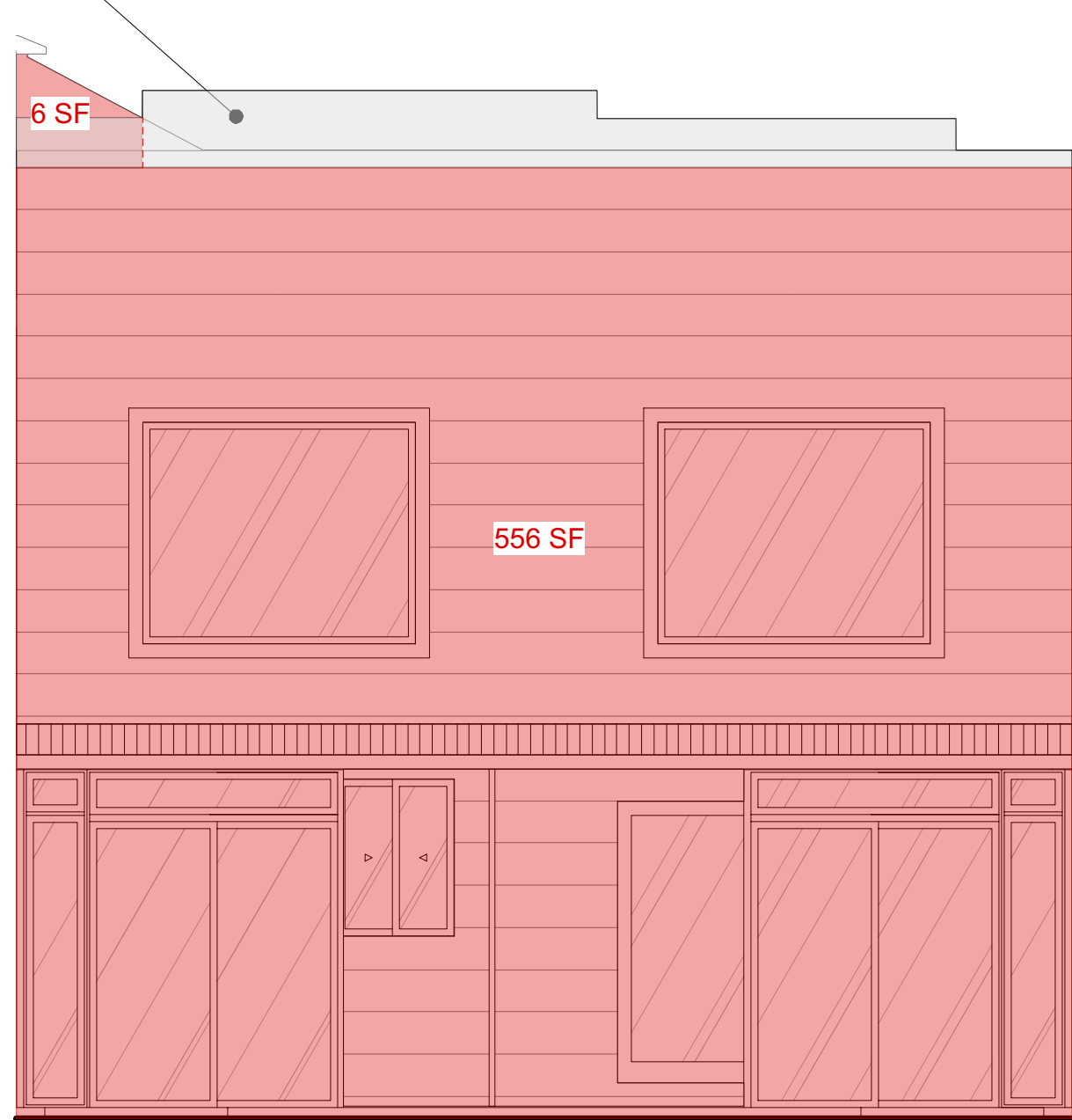
2 FIRST FLOOR PLAN- EXISTING/DEMO
Scale: 1/4" = 1'-0"

ROOF IS INCLUDED IN
HORIZONTAL ELEMENT CALC
PARAPET IS EXCLUDED FROM
CALC

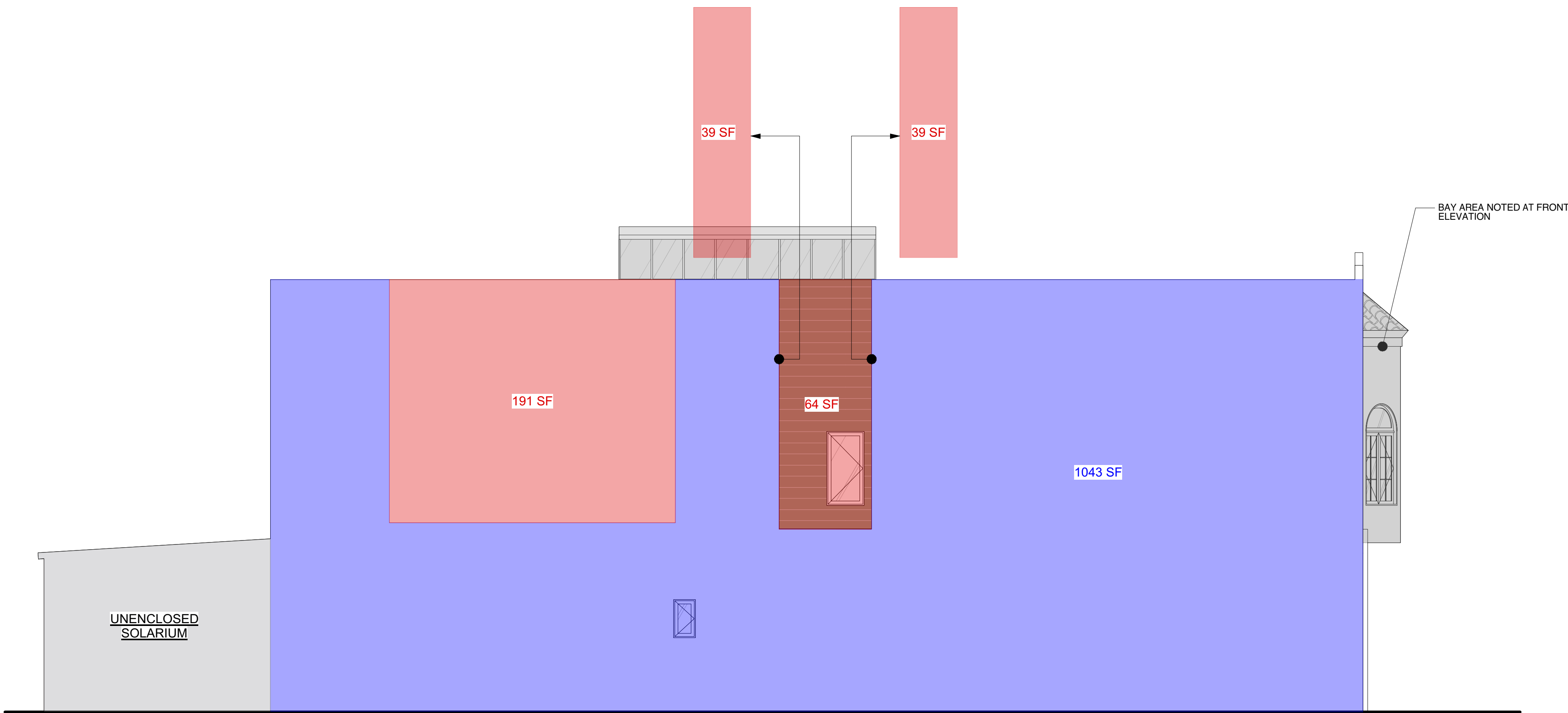


1 EXTERIOR ELEVATION- NORTH/FRONT- VERTICAL ELEMENTS
Scale: 1/4" = 1'-0"

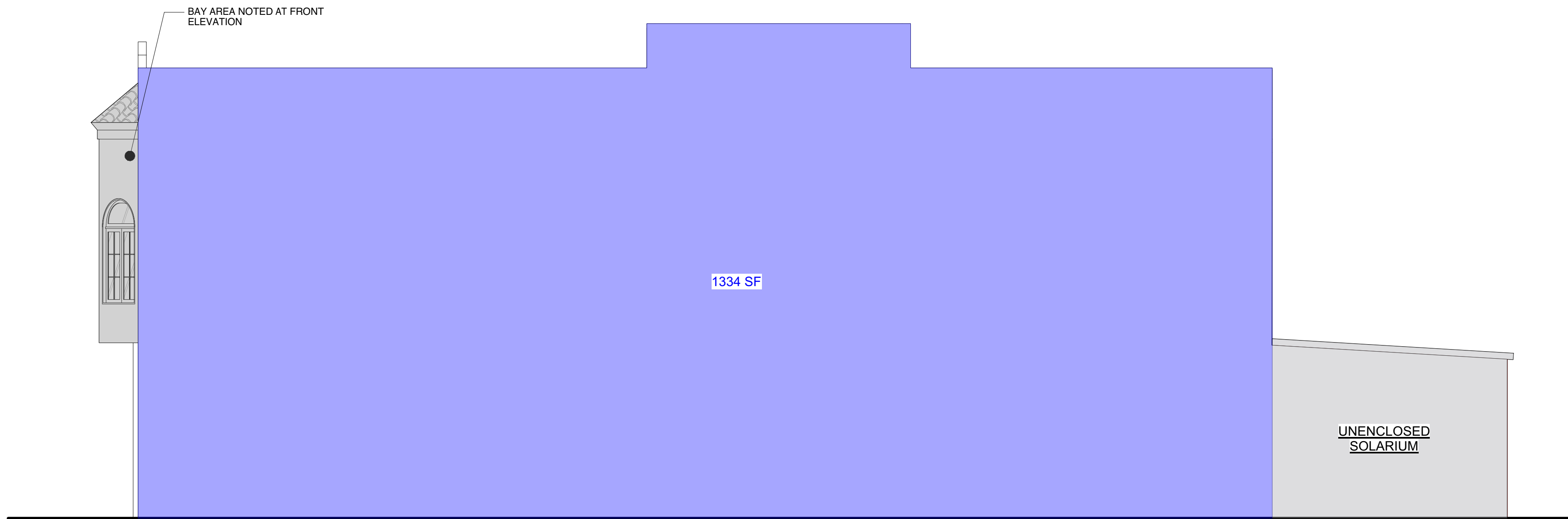
PARAPET IS EXCLUDED FROM
CALC



3 EXTERIOR ELEVATION- SOUTH/REAR- VERTICAL ELEMENTS
Scale: 1/4" = 1'-0"



2 EXTERIOR ELEVATION- SIDE/EAST- VERTICAL ELEMENTS
Scale: 1/4" = 1'-0"



4 EXTERIOR ELEVATION- WEST/SIDE- VERTICAL ELEMENTS
Scale: 1/4" = 1'-0"

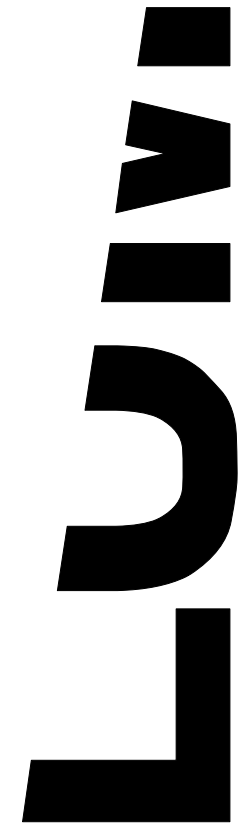
SYMBOLS:

TO BE RETAINED
TO BE REMOVED

SEC. 317 (2) (C) - PART 1

REMOVAL OF MORE THAN 50% OF THE VERTICAL
ENVELOPE ELEMENTS OF THE EXISTING BUILDING, AS
MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA

VERTICAL ELEMENTS	(E) AREA (sq. ft.)	TO BE REMOVED (sq. ft.)	% TO BE REMOVED	TO BE RETAINED (sq. ft.)	% TO BE RETAINED
A: FRONT(NORTH) FACADE	564	564		0	
B: SIDE 1(EAST) FACADE	1,376	333		1,043	
C: REAR(SOUTH) FACADE	562	562		0	
D: SIDE 2(WEST) FACADE	1,334	0		1,334	
TOTALS:	3,836	1,459	38.3%	2,377	61.7%



JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.9554

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94132
0463A-1032

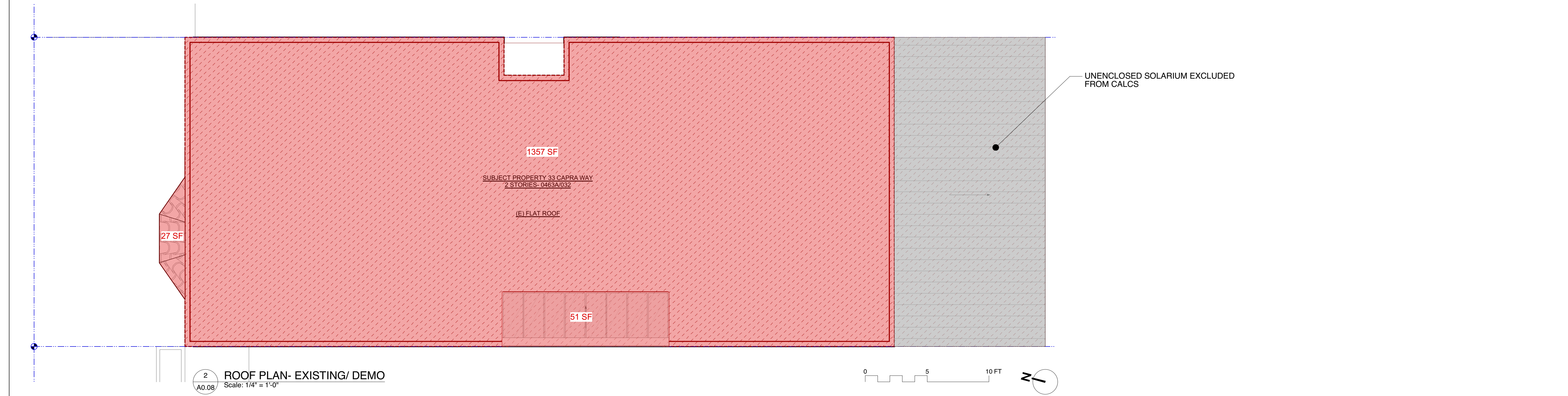
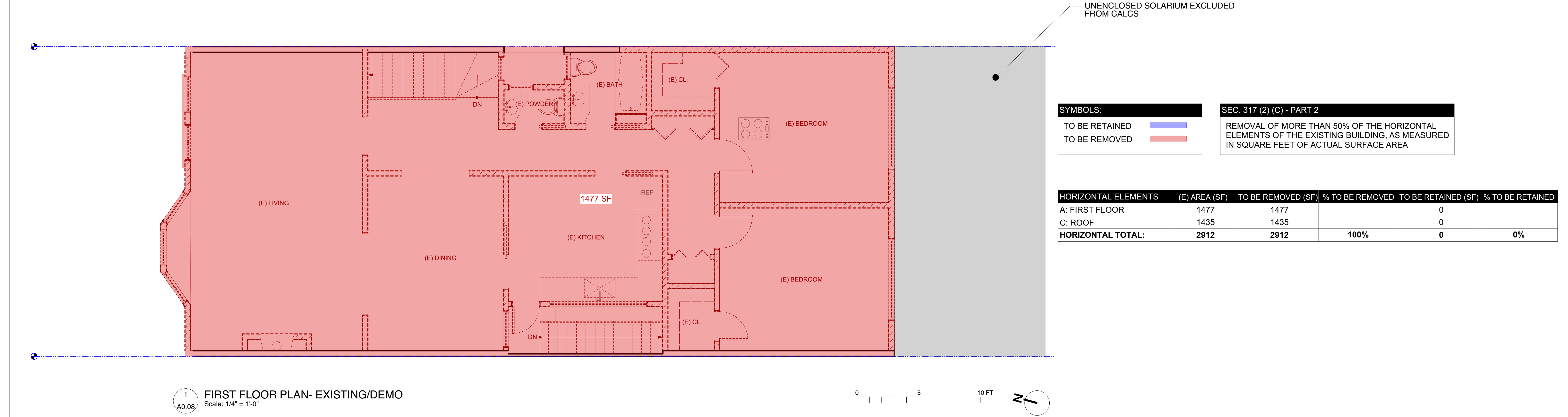
Bottlenosedolphin LLC
33 Capra Way
San Francisco, CA 94132

client:

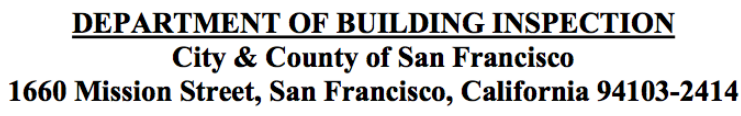
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DEMO CALCS

A0.07



date	issues / revisions	by
05.17.18	preapp meeting	rm
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10.11.18	site permit revision 1	m
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02.13.19	site permit revision 4	rm



DATE SUBMITTED _____ [Note: This form shall be recorded as part of the permanent construction records of the property]

If a permit application has been filed, no additional fees are required for this review.

Permit Application # _____

Property Address: 33 CAPRA WAY 94123

Block and Lot: 0463A / 032 Occupancy Group: R-2 Type of Construction: VB No. of Stories: 4

Under the authority of the 2016 San Francisco Building Code, Sections 104A.2.7 and 104A.2.8; the 2016 San Francisco Mechanical Code, Section 302.2; the 2016 San Francisco Electrical Code, Section 89.117; and the 2016 San Francisco Plumbing Code, Section 301.3; the undersigned requests modifications of the provisions of these codes and/or approval of alternate materials, designs or methods of construction. Two copies of supporting documents, including plans showing the proposed modifications or alternate materials, design or methods of construction, are attached.

[illegible]

ATTACHMENT A

Proposed Modification or Alternate

- OPENING SHALL NOT BE USED TO PROVIDE REQUIRED ACCESS TO LIGHT & AIR, EGRESS OR ESCAPE
- OPENING SHALL HAVE FIXED (NON-OPERABLE) GLAZING
- OPENING SHALL BE PROTECTED WITH A MINIMUM FIRE-RATED ASSEMBLY OF 45-MIN.
- OPENING SHALL BE LOCATED NO CLOSER THAN SIX FEET (6'-0") MEASURED IN ANY DIRECTION, TO ANY EXISTING OPENING ON ADJOINING BUILDING.
- THE OPENING SHALL BE PROTECTED BY A FIRE SPRINKLER SYSTEM HAVING ORDINARY TEMPERATURE, QUICK RESPONSE TYPE HEADS INSTALLED WITHIN 18" OF OPENINGS AND SPACED AT 6 FEET ON CENTER OR AT THE MANUFACTURER'S RECOMMENDED MINIMUM SPACING, WHICHEVER PROVIDES THE CLOSER SPACING

THE LOT WIDTH DOES NOT ALLOW FOR PROPER FIRE SEPARATION.
THE PROPOSAL MEETS THE INTENT OF THE CODE BY ADHERING TO THE SFBC 2016 AB-009 &
ENSURING ALL OPENINGS MAINTAIN A MINIMUM 3/4 FIRE-RATING (45 MIN.)

Requested by:	PROJECT SPONSOR	ARCHITECT/ENGINEER	
Print Name:	MICHAEL MORRISON	JOHN LUM	[PROFESSIONAL STAMP HERE]
Signature:			
Telephone:	415.558.9550 ext. 0024	415.558.9550 ext. 0016	

PLAN REVIEWER COMMENTS:

Plan Reviewer: _____

Division Manager: _____

for Director of
Bldg. Inspection _____

for Fire Marshal: _____

CONDITIONS OF APPROVAL or OTHER COMMENTS

DECLARATION OF LIMITED USE PENDING PLANNING APPROVAL OF PROPOSED WINDOW LOCATION

A0.09

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94123
0463A - 032

Bottlenosedolphin LLC
33 Capra Way
San Francisco, CA 94123

client:

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02.13.19	site permit revision 4	rm

EXIT ACCESS TRAVEL DISTANCES

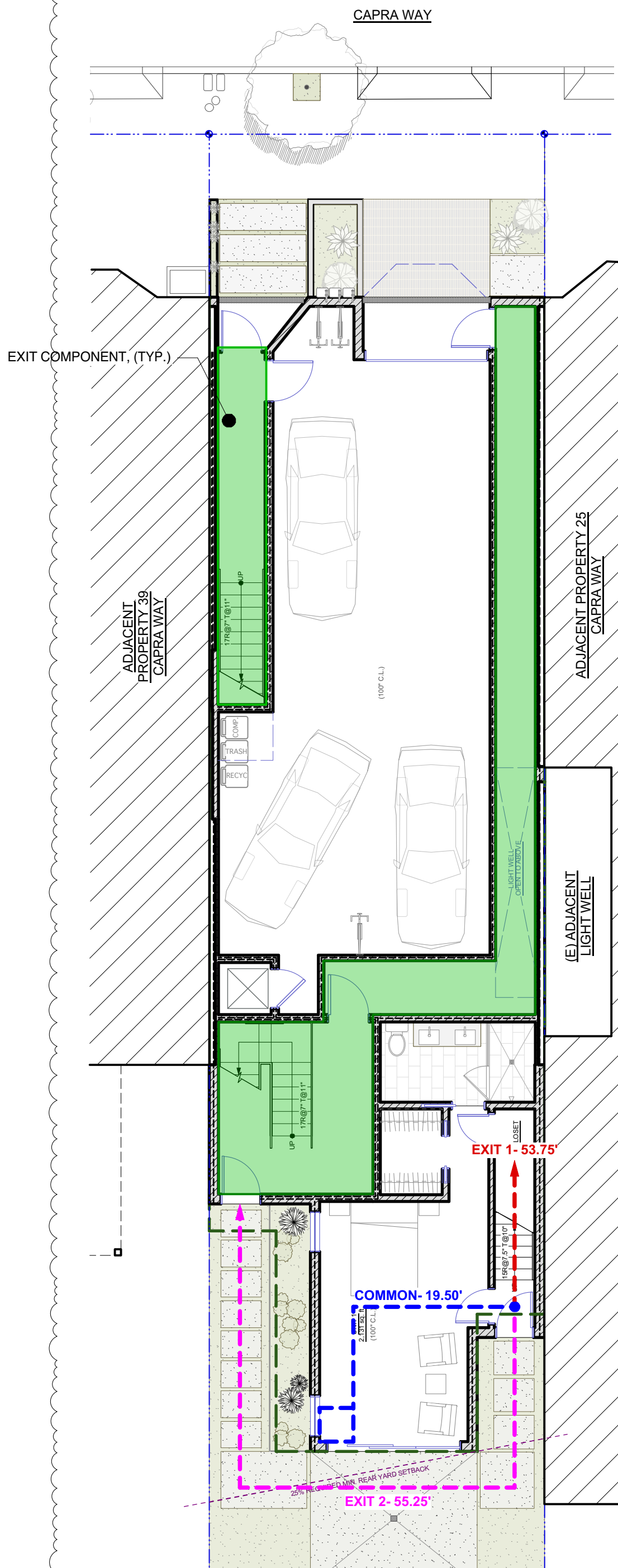
UNIT #	COMMON (MAX 125')	EXIT 1	EXIT 2	TOTAL OF LONGEST ROUTE (MAX 250')	DIAGONAL DIM. OF OCCUPIED AREA	1/3RD OF DIAGONAL	EXIT SEPARATION
UNIT 1	19.50'	53.75'	55.25'	75.91'	86.83'	26.50'	NOT REQUIRED
	49.41'	6.00'	26.50'				
UNIT 2	49.41'	6.00'	26.50'	79.91'	86.83'	28.94'	NOT REQUIRED
UNIT 3 (2 EXITS REQ'D ABOVE 3RD FLR.)	45.41'	2.00'	30.50'	75.91'	80.08'	26.50'	28.50' (>1/3RD REQ'D)
ROOF (2 EXITS REQ'D ABOVE 3RD FLR.)	11.83'	30.83'	2.25'	42.66'	36.25'	12.08'	26.83' (>1/3RD REQ'D)

FLOOR PLAN LEGENDS & ADD'L NOTES

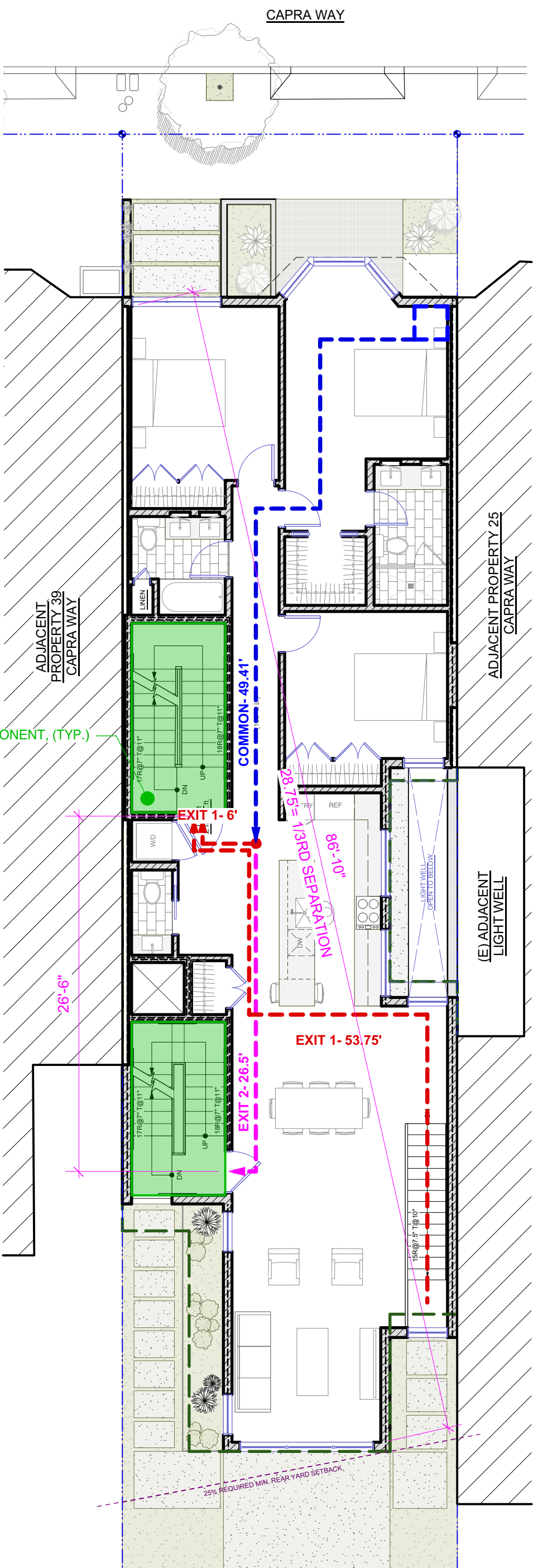
- EXISTING WALL**
- DEMO WALL**
- NEW EXTERIOR WALL (NON-RATED):**
(N) FINISH MATERIAL (REFER TO EXTERIOR ELEVS.
O/ 2 LAYERS WEATHER BARRIER,
O/ EXTERIOR GRADE PLYWOOD, WHERE OCCURS,
(S.S.D.)
O/ WD. STUDS, (S.S.D.) W/ THERMAL INSULATION,
O/ 5/8" GYPSUM BOARD (INTERIOR FACE)
- NEW INTERIOR WALL (NON-RATED):**
5/8" GYPSUM BOARD,
O/ 2X4 WD. STUDS, (S.S.D.)
O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
O/ 5/8" GYPSUM BOARD
- NEW 1-HOUR FIRE-RATED EXT. WALL:**
(N) FINISH MATERIAL (REFER TO EXTERIOR ELEVS.),
O/ 2 LAYERS WEATHER BARRIER,
O/ 5/8" TYPE 'X' GYPSUM SHEATHING,
O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
O/ WD. STUDS, (S.S.D.)
O/ 5/8" TYPE 'X' GYPSUM BOARD
- NEW 1-HOUR FIRE-RATED INT. WALL:**
5/8" TYPE 'X' GYPSUM SHEATHING,
O/ 2X4 WD. STUDS, (S.S.D.)
O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
O/ 5/8" TYPE 'X' GYPSUM BOARD
- NEW 1-HOUR FIRE-RATED INT. WALL:**
(N) 2 LAYERS 5/8" TYPE 'X' GYPSUM SHEATHING,
O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
O/ WD. STUDS, (S.S.D.) W/ THERMAL INSULATION
O/ 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD

CONSTRUCTION NOTES

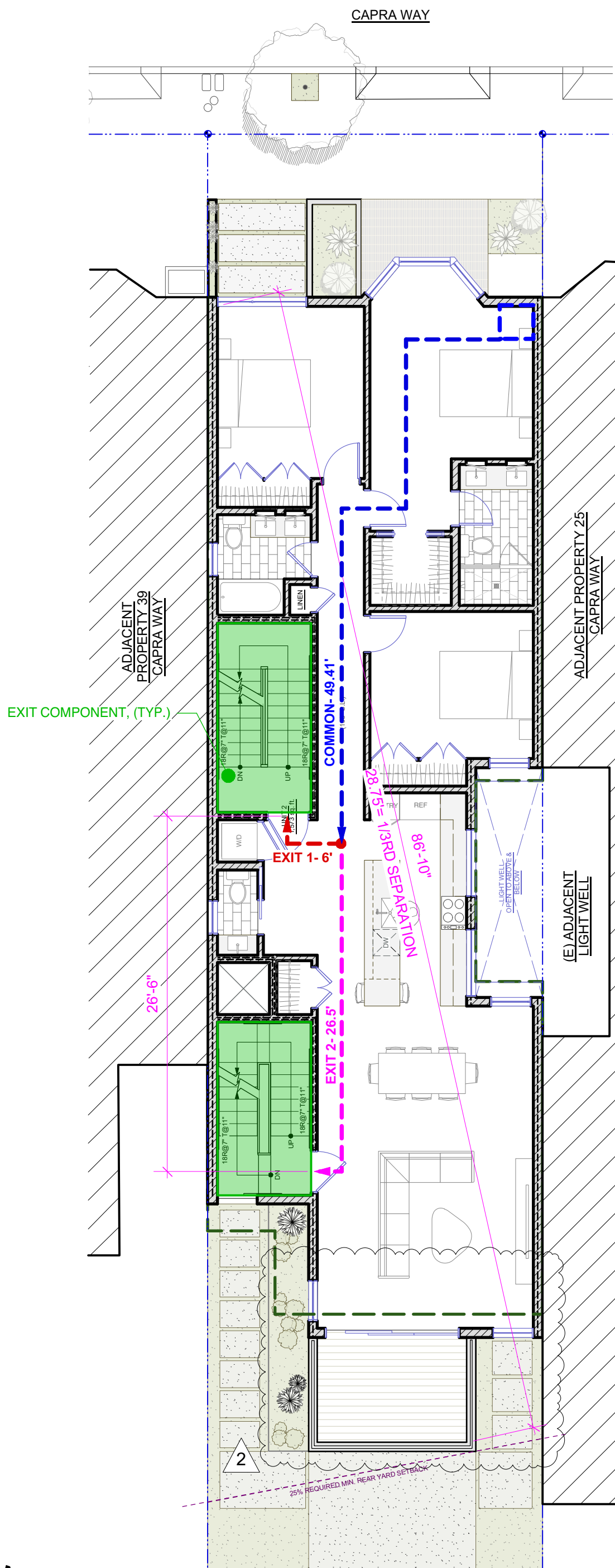
- CONTRACTOR IS TO VERIFY ALL (E) DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION
- CARE SHALL BE TAKEN TO ELIMINATE DAMAGE TO (E) MATERIALS AND SURFACES DURING CONSTRUCTION. ANY DAMAGES TO EXISTING CONSTRUCTION SHALL BE REPLACED OR REPAIRED AT NO ADDITIONAL COST.
- CONTRACTOR SHALL REPAIR ANY DAMAGE TO (E) WALLS AND FLOORS CAUSED BY DEMOLITION OF (E) PARTITIONS & CEILINGS.
- ALL DIMENSIONS ARE TO FACE OF FINISH OR CENTERLINE, U.N.O.
- ALL BLOCKING AND FURRING SHALL BE FIRE TREATED AS REQ. BY BLDG. CODE
- ALL PARTITIONS ABUTTING EXISTING BLDG. CONSTRUCTION SHALL ALIGN FINISH FACE TO FINISH FACE, U.O.N.
- ALL PARTITIONS SHALL BE BRACED PER THE REQUIREMENTS OF CURRENT LOCAL SEISMIC CODE
- ALL NON-RATED INTERIOR DOORS TO BE UNDERCUT AS REQ. TO CLEAR FINISH FLOOR BY 1/4"
- ALL WORK TO BE INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE AND IN PROPER ALIGNMENT
- CONTRACTOR TO PROTECT FINISHES IN PATH OF TRAVEL TO AREA OF WORK



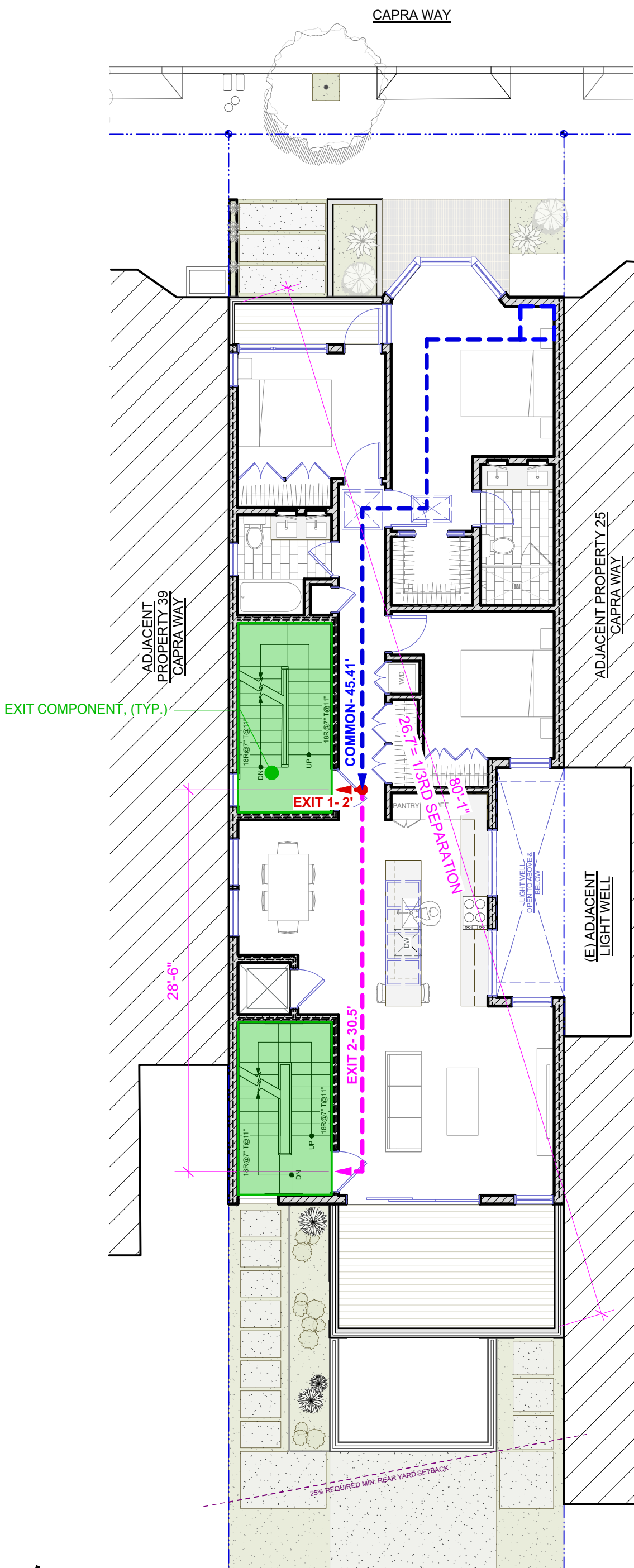
1 FIRST FLOOR PLAN-EGRESS DIAGRAM
A1.00 Scale: 1/8" = 1'-0"



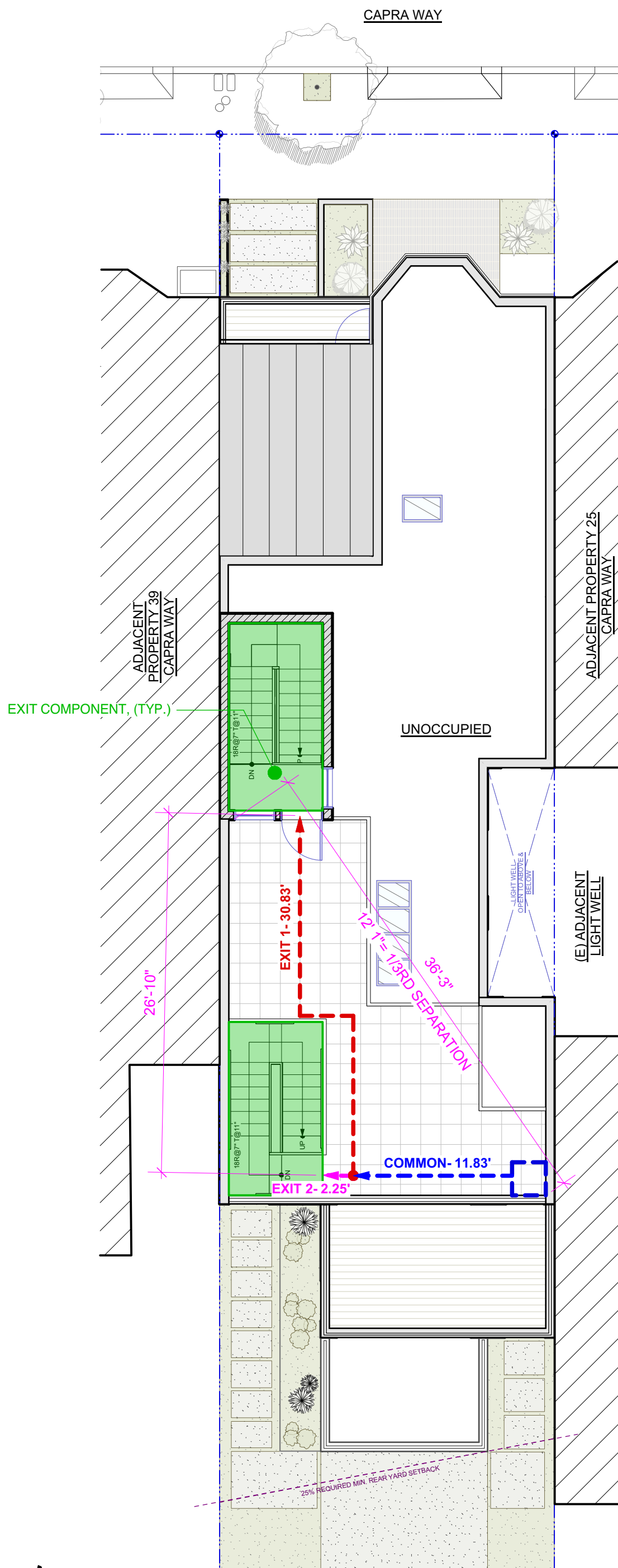
2 SECOND FLOOR PLAN-EGRESS DIAGRAM
A1.00 Scale: 1/8" = 1'-0"



3 THIRD FLOOR PLAN-EGRESS DIAGRAM
A1.00 Scale: 1/8" = 1'-0"



4 FOURTH FLOOR PLAN-EGRESS DIAGRAM
A1.00 Scale: 1/8" = 1'-0"



5 ROOF PLAN-EGRESS DIAGRAM
A1.00 Scale: 1/8" = 1'-0"

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94110
0463A-1-032

date	issues / revisions	by
05.17.18	preapp meeting	rm
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client:

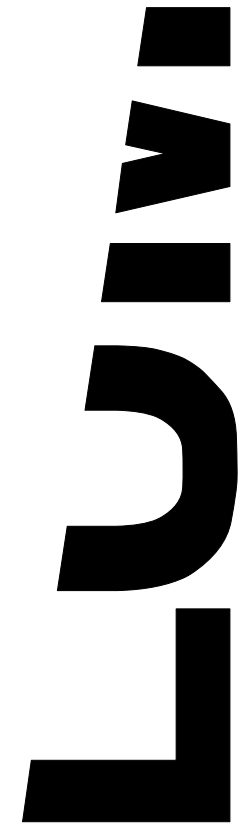
Bortolozzodolphin LLC
33 Capra Way
San Francisco, CA 94110
0463A-1-032

JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.0554

10.31.19

EGRESS, LEGEND, ADD'L NOTES

A1.00

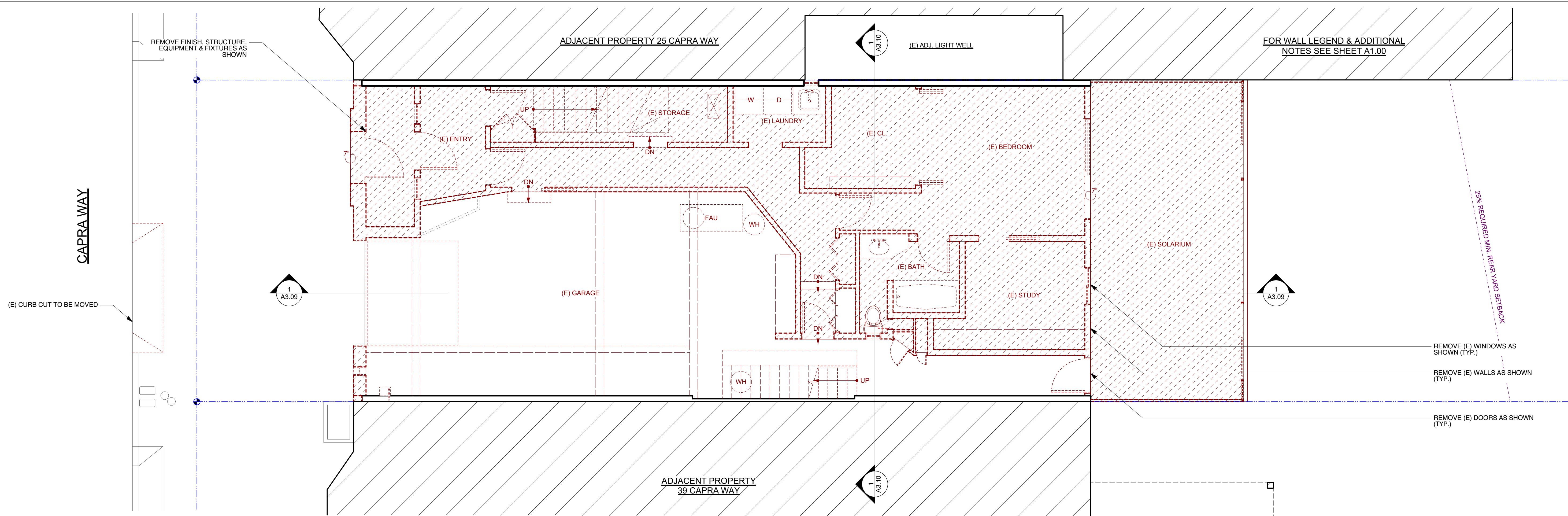


33 CAPRA WAY REMODEL

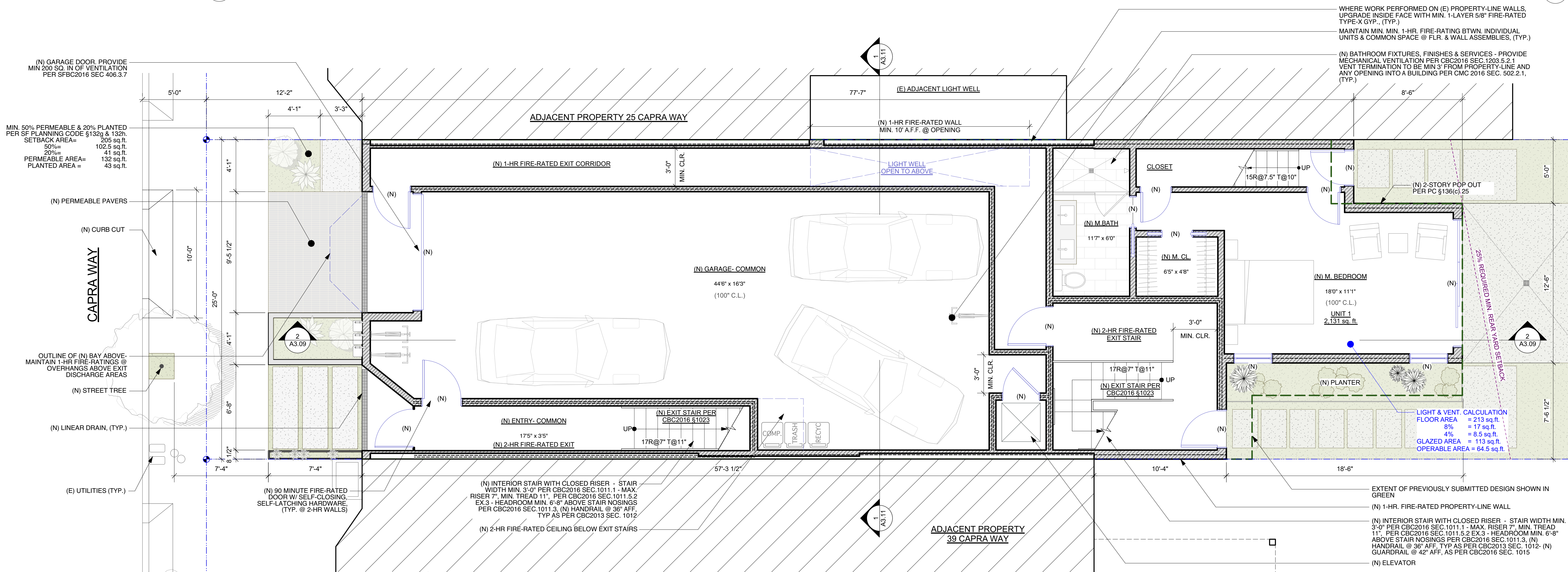
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FLOOR PLANS

A1.01



1 FIRST FLOOR PLAN- EXISTING/DEMO
Scale: 1/4" = 1'-0"



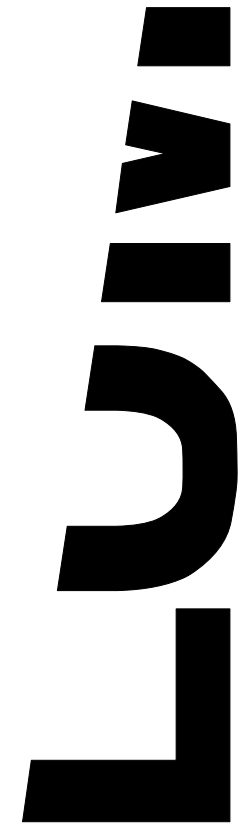
2 FIRST FLOOR PLAN- PROPOSED
Scale: 1/4" = 1'-0"

333 CAPRA WAY REMODEL

Bottlenosedolphin LLC
33 Capra Way
San Francisco, CA 94123

date	issues / revisions	by
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33 CAPRA WAY REMODEL

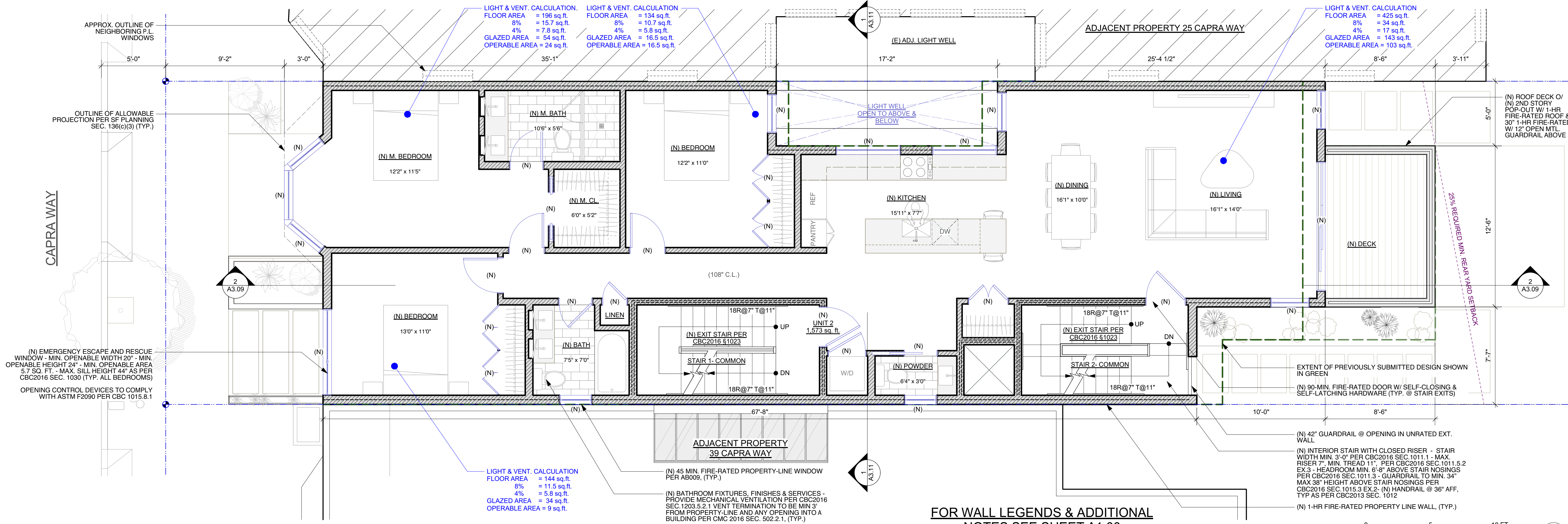
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FLOOR PLANS

A1.03

1 THIRD FLOOR PLAN- PROPOSED

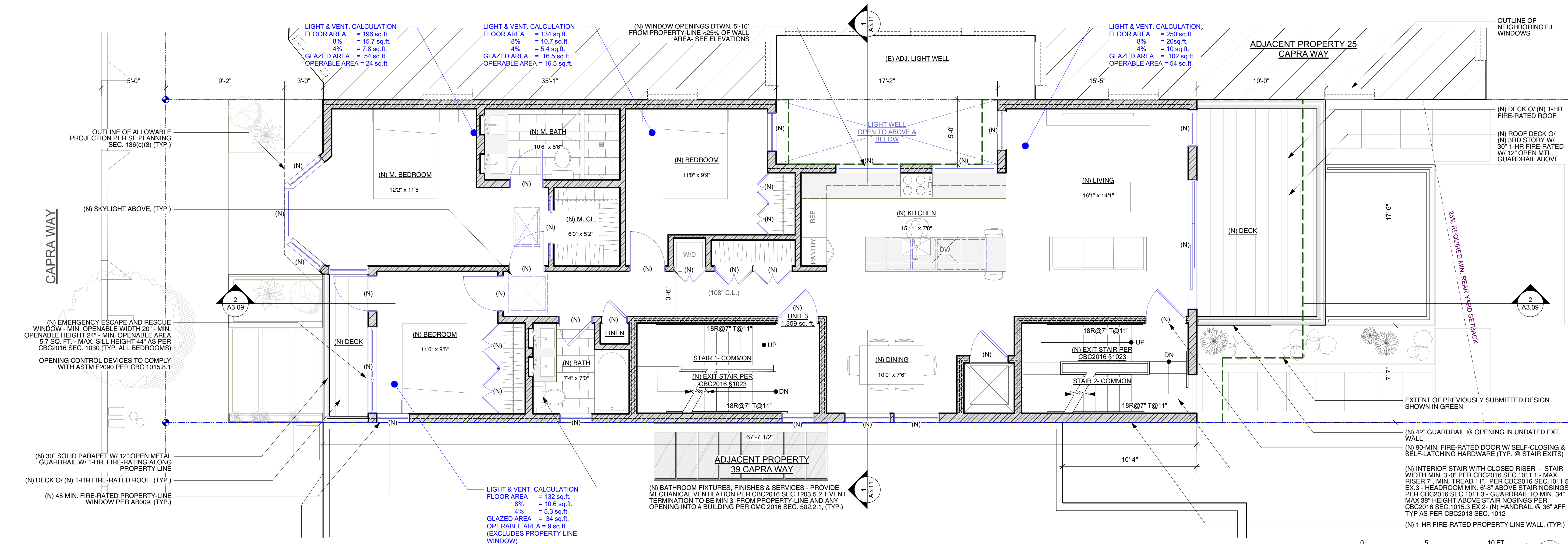
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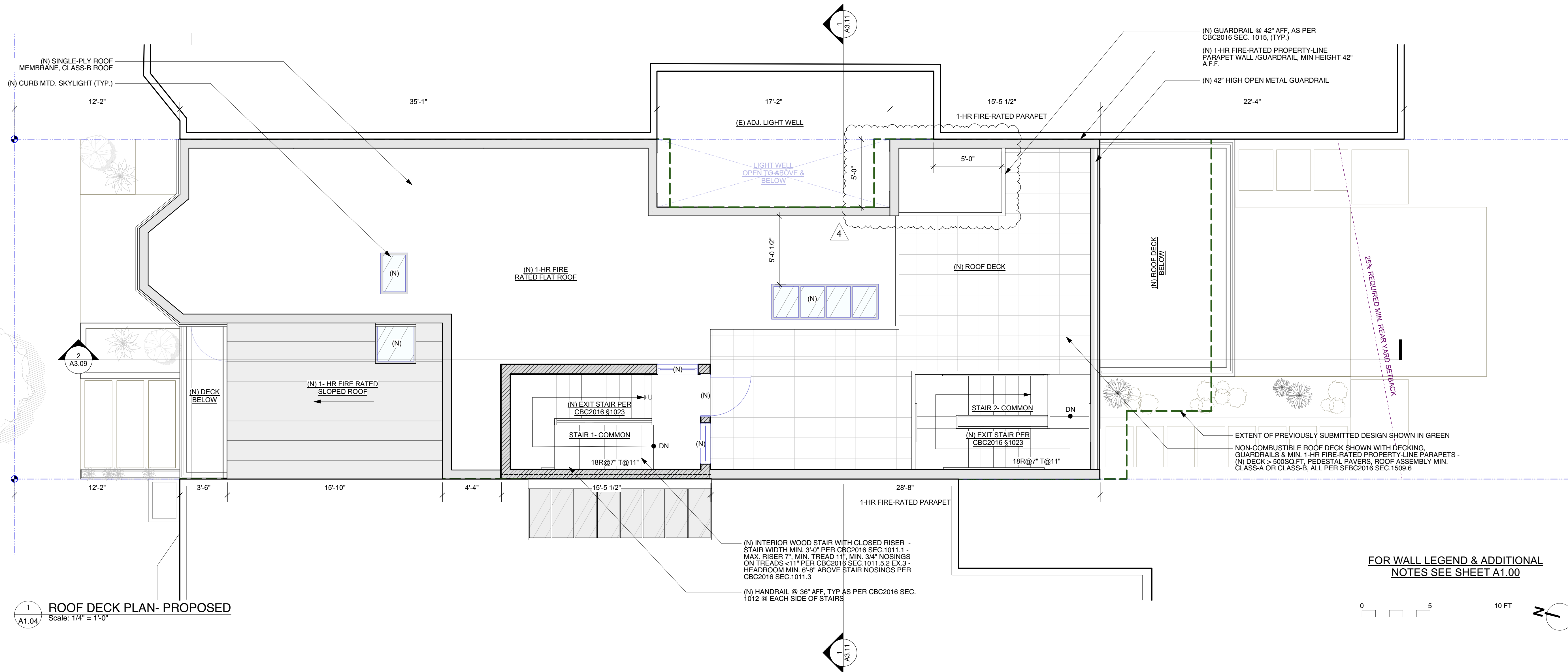
FOR WALL LEGENDS & ADDITIONAL
NOTES SEE SHEET A1.00

2 FOURTH FLOOR PLAN- PROPOSED

Scale: 1/4" = 1'-0"



CAPRA WAY



1 ROOF DECK PLAN- PROPOSED
Scale: 1/4" = 1'-0"

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94133
0463A-1032

client:

Bottlenosedolphin LLC
33 Capra Way
San Francisco, CA 94133

date	issues / revisions	by
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ROOF PLAN

A1.04

LUM

JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.0554



1 EXTERIOR ELEVATION- NORTH/FRONT- EXISTING/DEMO
A3.01 Scale: 1/4" = 1'-0"

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94132
0463A-032

Bortlenosodolphin LLC
33 Capra Way
San Francisco, CA 94123

client:

date	issues / revisions	by
05.17.18	preapp meeting	rm
06.01.18	site permit	rm
10.11.18	site permit revision 1	m
11.12.18	site permit revision 2	rm
02.08.19	site permit revision 3	rm
02.13.19	site permit revision 4	rm

filenames: JLA TEMPLATE 2017.rvt



EXTERIOR ELEVATIONS

A3.02

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94132
0463A-032

client:

BortolosoDolphin LLC
33 Capra Way
San Francisco, CA 94132

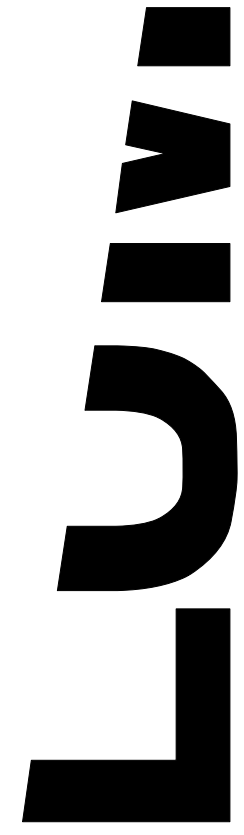
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10.11.18	site permit revision 1	m
11.12.18	site permit revision 2	rm
02.08.19	site permit revision 3	rm
03.12.19	site permit revision 4	rm

LUM

JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.0554



1 EXTERIOR ELEVATION- SOUTH/REAR- EXISTING/DEMO
A3.03 Scale: 1/4" = 1'-0"



JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.0554

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94103
0463A-032

Bortolosoedolphin LLC
33 Capra Way
San Francisco, CA 94103

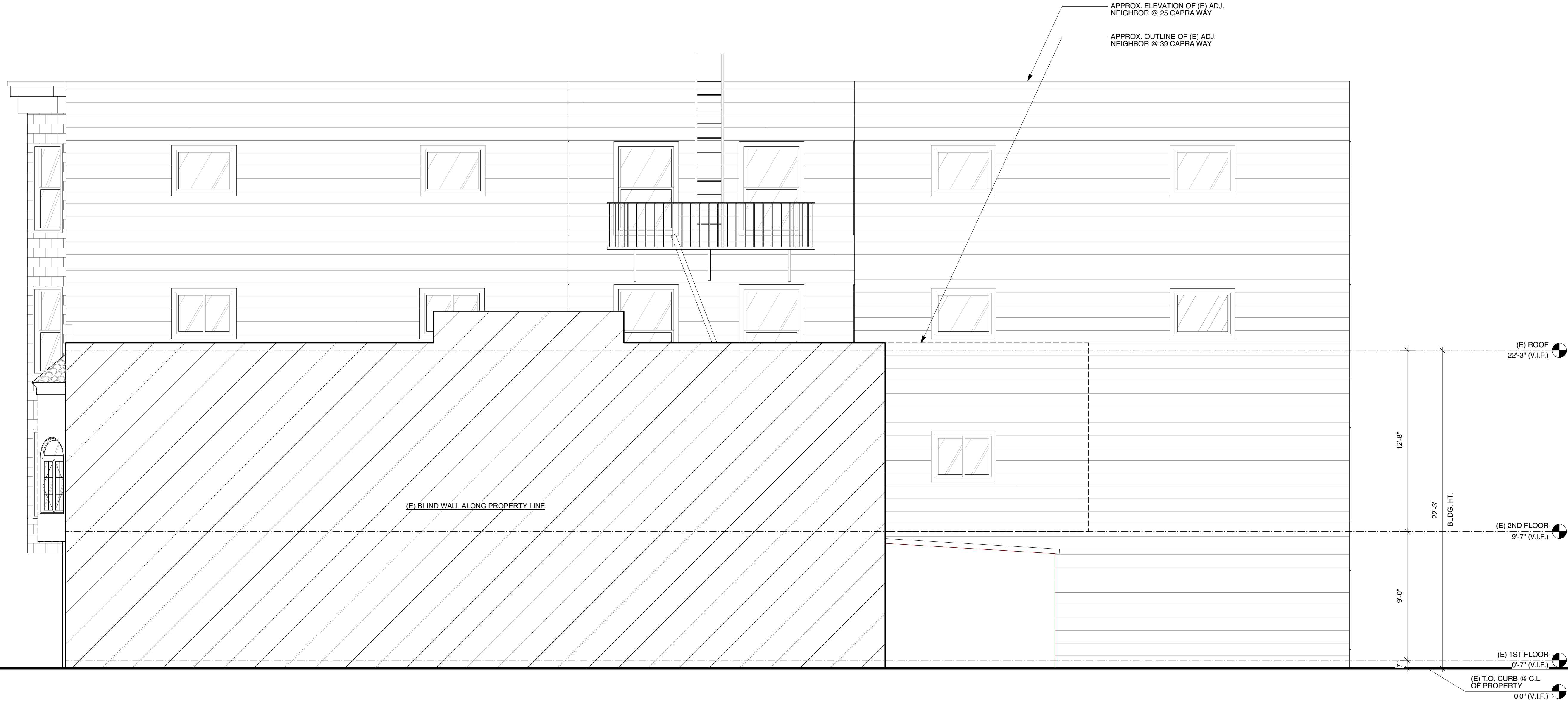
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02.13.19	site permit revision 4	rm

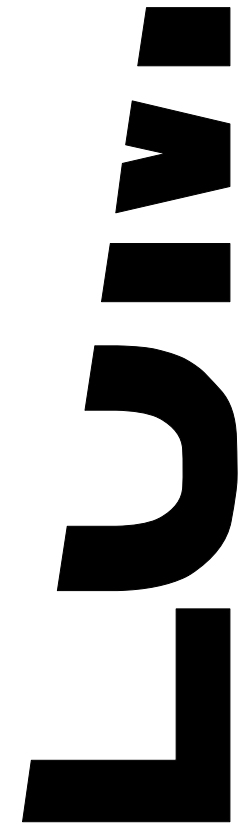
EXTERIOR ELEVATIONS

A3.03

filenames: JLA TEMPLATE 2017.rvt



1
A3.05 EXTERIOR ELEVATION- WEST/SIDE- EXISTING/DEMO
Scale: 1/4" = 1'-0"



JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.0554

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94103
0463A-1032

BortolosoDolphin LLC
33 Capra Way
San Francisco, CA 94123

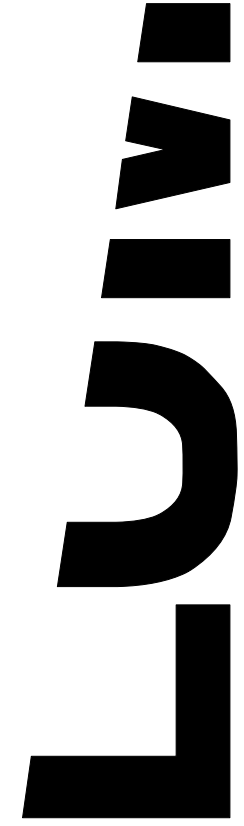
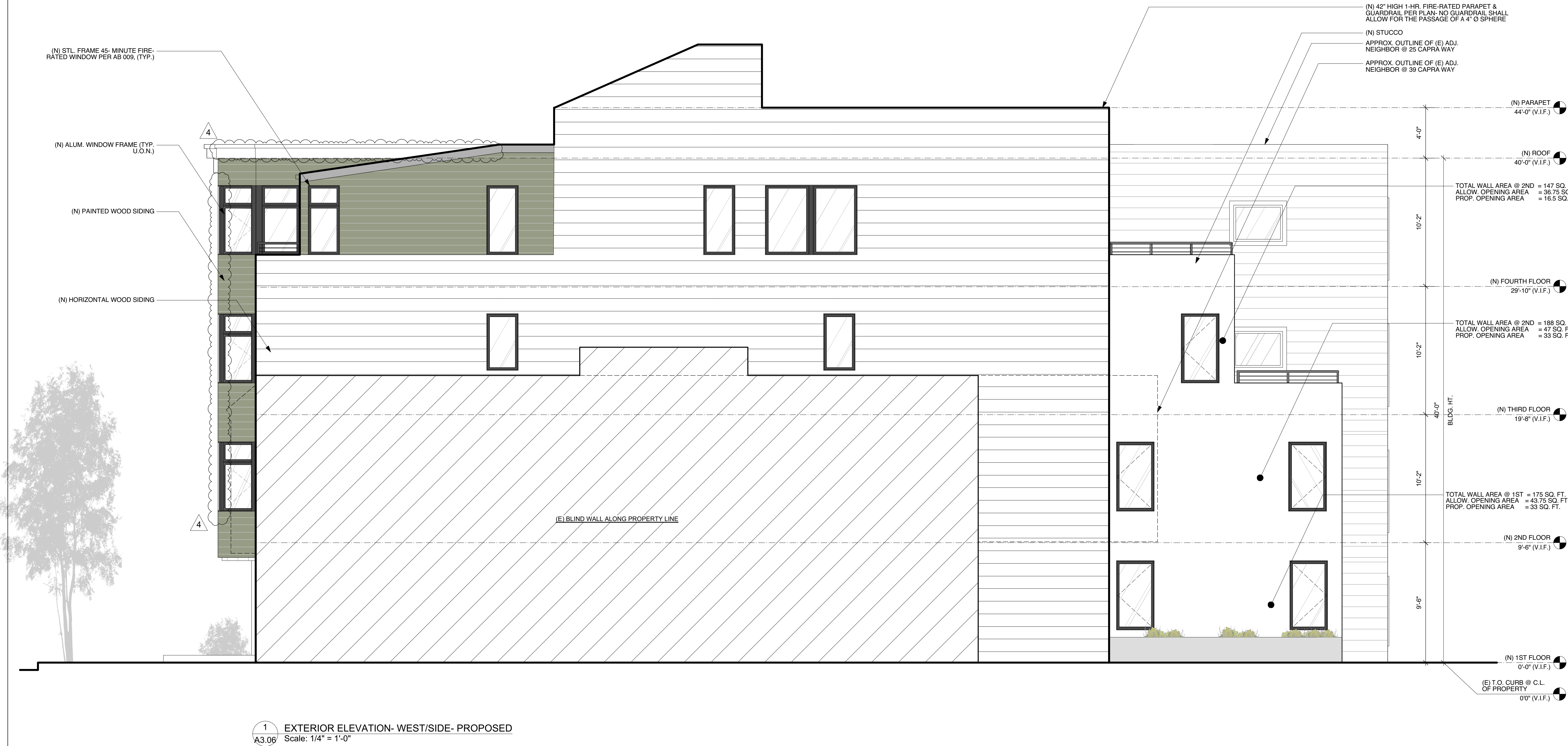
client:

date	issues / revisions	by
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10.11.18	site permit revision 1	m
11.12.18	site permit revision 2	rm
02.08.19	site permit revision 3	rm
02.13.19	site permit revision 4	rm

EXTERIOR ELEVATIONS

A3.05

filenames: JLA TEMPLATE 2017.rvt



JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.9554

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94103
0463A-1032

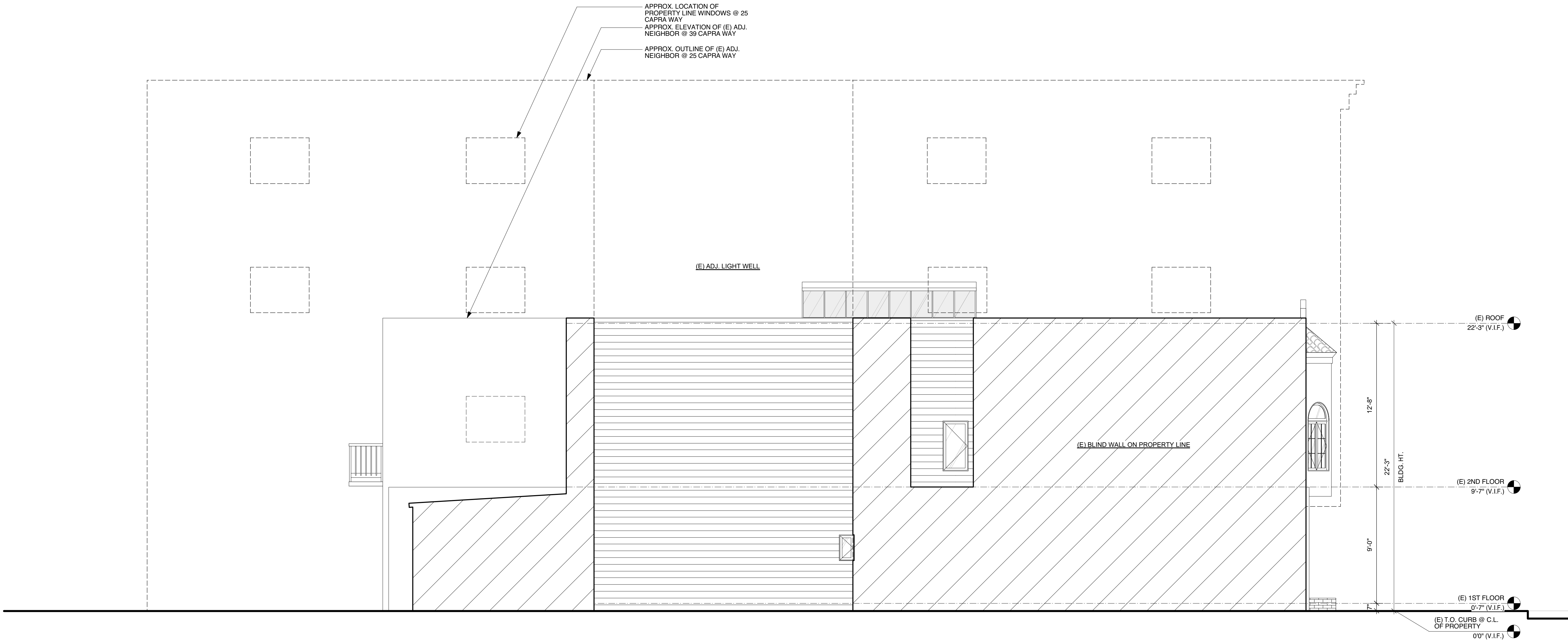
Bottlenosedolphin LLC
33 Capra Way
San Francisco, CA 94123

client:

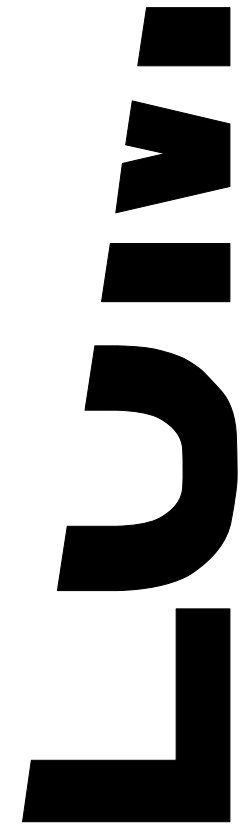
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10.11.18	site permit revision 1	rm
11.12.18	site permit revision 2	rm
02.08.19	site permit revision 3	rm
03.12.19	site permit revision 4	rm

EXTERIOR ELEVATIONS

A3.06



1
A3.07 EXTERIOR ELEVATION- SIDE/EAST- EXISTING/DEMO
Scale: 1/4" = 1'-0"



JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.0554

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94103
0463A-1032

Bortlenosedolphin LLC
33 Capra Way
San Francisco, CA 94103

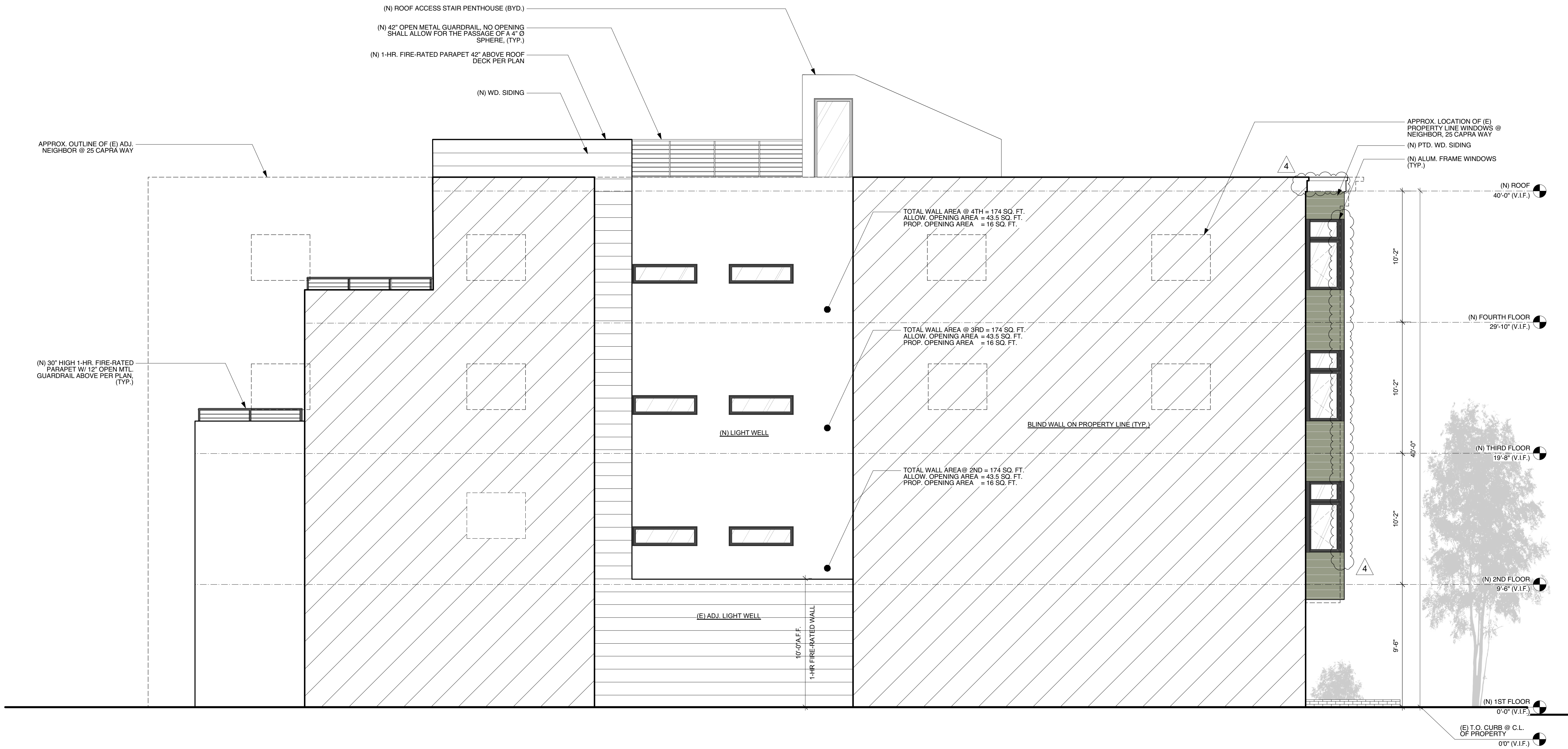
client:

date	issues / revisions	by
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10.11.18	site permit revision 1	rm
11.12.18	site permit revision 2	rm
02.08.19	site permit revision 3	rm
02.13.19	site permit revision 4	rm

EXTERIOR ELEVATIONS

A3.07

filenames: JLA TEMPLATE 2017.rvt



1
A3.08 EXTERIOR ELEVATION- SIDE/EAST- PROPOSED
Scale: 1/4" = 1'-0"

LUM

JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.9554

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94103
0463A-1032

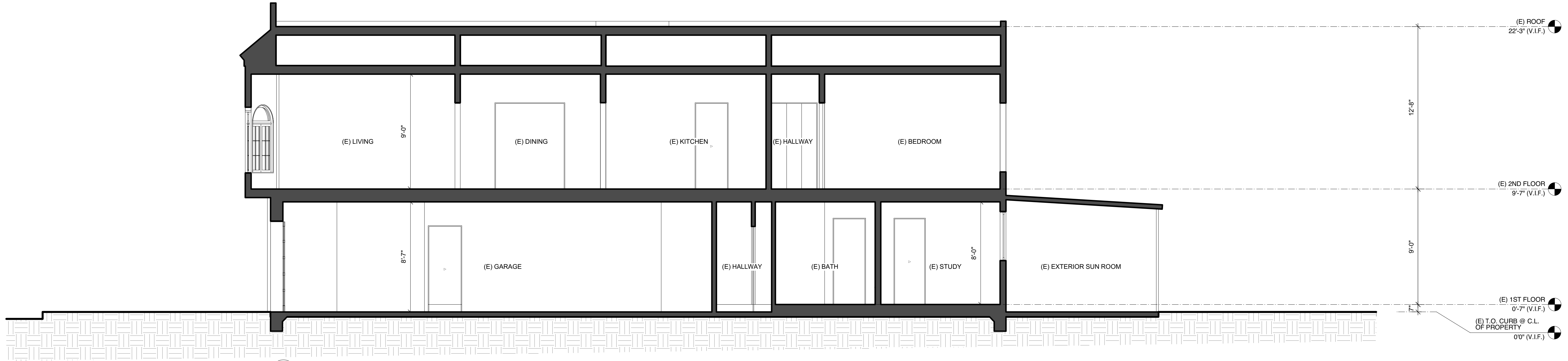
Bottlenosedolphin LLC
33 Capra Way
San Francisco, CA 94123

client:

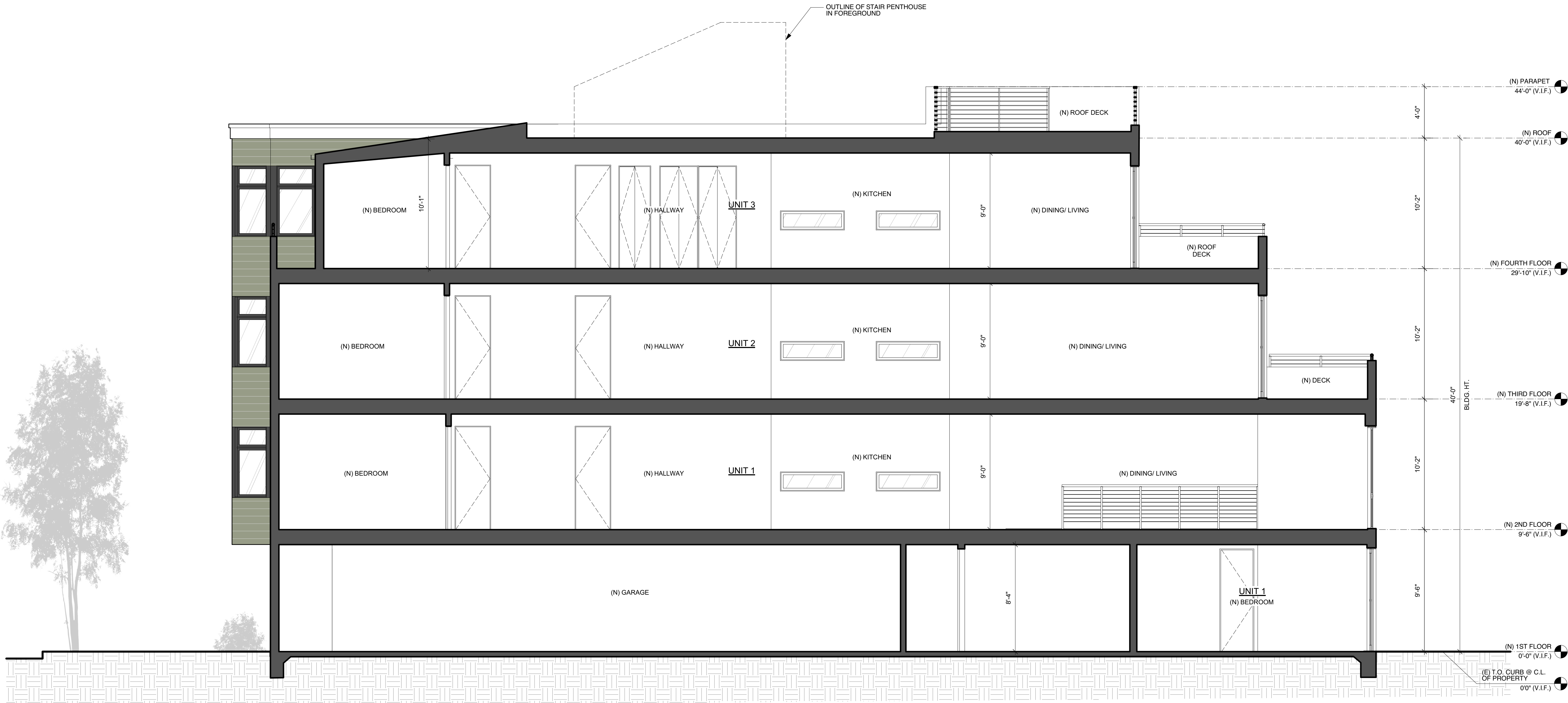
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EXTERIOR ELEVATIONS

A3.08



1 BUILDING SECTION- EXISTING
A3.09 Scale: 1/4" = 1'-0"



2 BUILDING SECTION-PROPOSED
A3.09 Scale: 1/4" = 1'-0"

JOHN LUM ARCHITECTURE

JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.9554

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94133
0463A-1-032

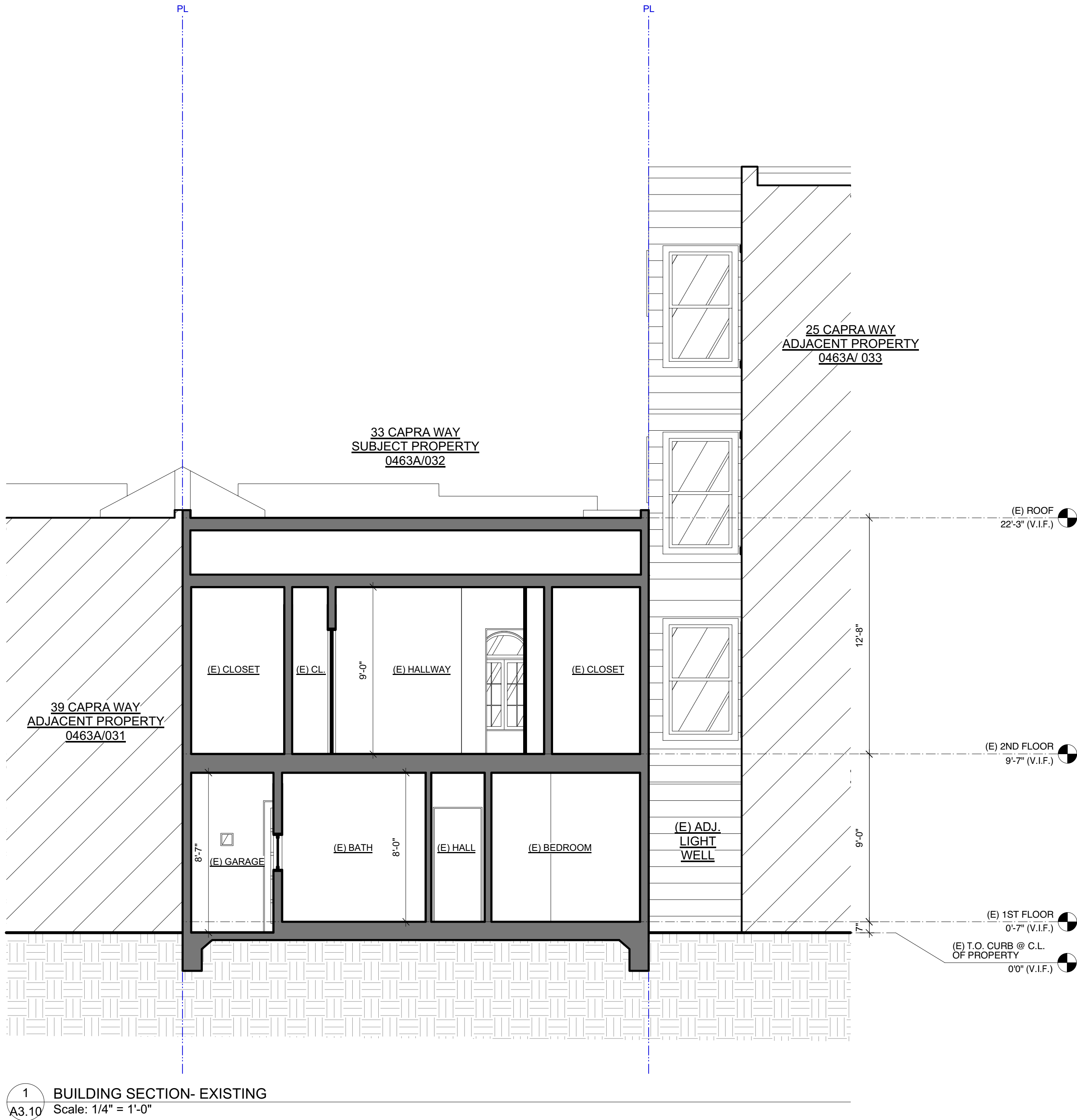
Borlenosodolpin LLC
33 Capra Way
San Francisco, CA 94123

client:

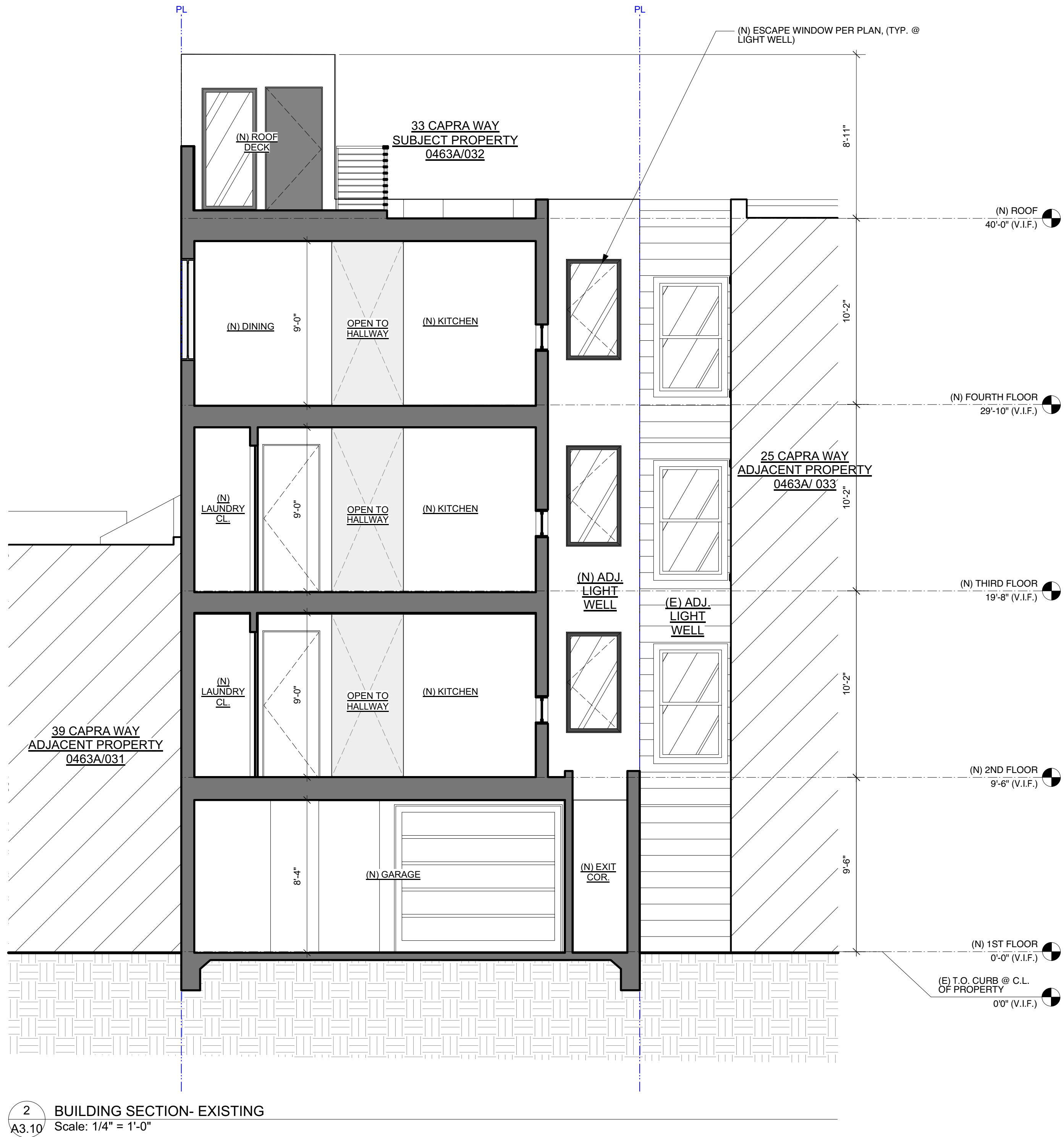
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10.11.18	site permit revision 1	rm
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02.08.19	site permit revision 3	rm
02.13.19	site permit revision 4	rm

BUILDING SECTIONS

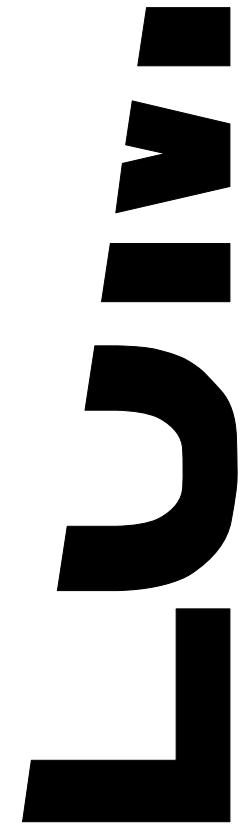
A3.09



1 BUILDING SECTION- EXISTING
A3.10 Scale: 1/4" = 1'-0"



2 BUILDING SECTION- EXISTING
A3.10 Scale: 1/4" = 1'-0"



JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.0554

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94103
0463A-032

Bortolozzodolphin LLC
33 Capra Way
San Francisco, CA 94103

client:

date	issues / revisions	by
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02.13.19	site permit revision 4	rm

BUILDING SECTIONS

A3.10



DISCRETIONARY REVIEW PUBLIC (DRP) APPLICATION

Discretionary Review Requestor's Information

Name: Joshua Callahan

Address: 49 Capra Way

Email Address: jcallahan@gmail.com

Telephone: 415-637-8098

Information on the Owner of the Property Being Developed

Name: Michael Morrison

Company/Organization: John Lum Architecture

Address: 3246 17th Street

Email Address: michael@johnlumarchitecture.com

Telephone: 415-558-9550 x 0024

Property Information and Related Applications

Project Address: 33 Capra Way

Block/Lot(s): 0463A/032

Building Permit Application No(s): 2018.0601.0822

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case? (including Community Boards)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Changes Made to the Project as a Result of Mediation. If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes that were made to the proposed project.		

Following an in person meeting and a subsequent phone call and emails with the project developer, the project developer has only offered to make a modest adjustment to the layout of the roof deck above the fourth floor, which does not directly respond to any of our massing concerns. The developer has made no project modifications to the front setback of the fourth floor along Capra Way, maintains that the common roof deck is necessary despite no evidence to support this, and has continued to push the building to the maximum depth allowable under code without consideration for the nature of the existing mid-block block open space.

DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

The proposed project conflicts with Priority Policy 2 which states that, "Existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods." The project also conflicts with policy 4.15 of the Urban Design Element, which is to, "Protect the livability and character of residential properties from the intrusion of incompatible new buildings." Finally, the project conflicts with the first two Design Principles in the Residential Design Guidelines, which are to, "Ensure that the building's scale is compatible with surrounding buildings," and "Ensure that the building respects the mid-block open space."

The project violates these principles in three areas: its demolition of an existing neighborhood-typical facade and corresponding lack of fourth-floor setback on Capra Way, its common roof deck above the fourth story of the building, and its intrusion into the mid-block open space at the rear of the development.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

Each of the three design flaws creates a precedent that if repeated would fundamentally alter the defining features of the block and neighborhood. Therefore, this precedent should not be set:

The lack of fourth-story setback is atypical of mid-block housing and does not respect the existing 12' setback standard that already exists on the block.

The roof deck is out of scale with the neighborhood, which has typically allowed either a fourth story or a roof deck, but not both. This roof deck creates privacy, visual clutter, and noise intrusions that are unnecessary as each unit already has private open space.

The building is proposed to extend to the maximum possible depth and does not respect the existing mid-block character of siting housing well back from the minimum required setbacks.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

Eliminate the roof deck and replace the stair penthouse with a hatch accessed by ladder as allowed by code for non-occupied roofs.

Set back the 4th floor of the building along the entire face of Capra Way, similar to the 12' setback at 45 Capra Way and 55 Capra Way.

Reduce the mass at the rear of the building to better conform to the existing and established rear yard pattern of the block, respecting the average of the setback between 25 and 39 Capra, rather than extending to the minimum 25% setback line.

DISCRETIONARY REVIEW REQUESTOR'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

a) The undersigned is the DR requestor or their authorized representation.


Signature

JOSHUA D. CALLAHAN
Name (Printed)

REQUESTOR
Relationship to Requestor
(i.e. Attorney, Architect, etc.)

415-637-8098
Phone

SCALLAHAN@GMAIL.COM
Email

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

33 Capra Way Exhibit Packet

May 17, 2019



Roof Decks and Setbacks in Context

- We identified only two buildings in the neighborhood with four floors and an occupied roof deck.
- Each is on the 0-100 block of Mallorca between Chestnut and Alhambra, a street that is marked by much more existing building height and much smaller rear yards.
- Each roof deck sits on a fourth floor that has a material set back from the street, unlike the proposed project at 33 Capra that does not set its fourth level back from the street in any meaningful way.
- Even in these cases, however, the roof deck is out of scale and character with the block.



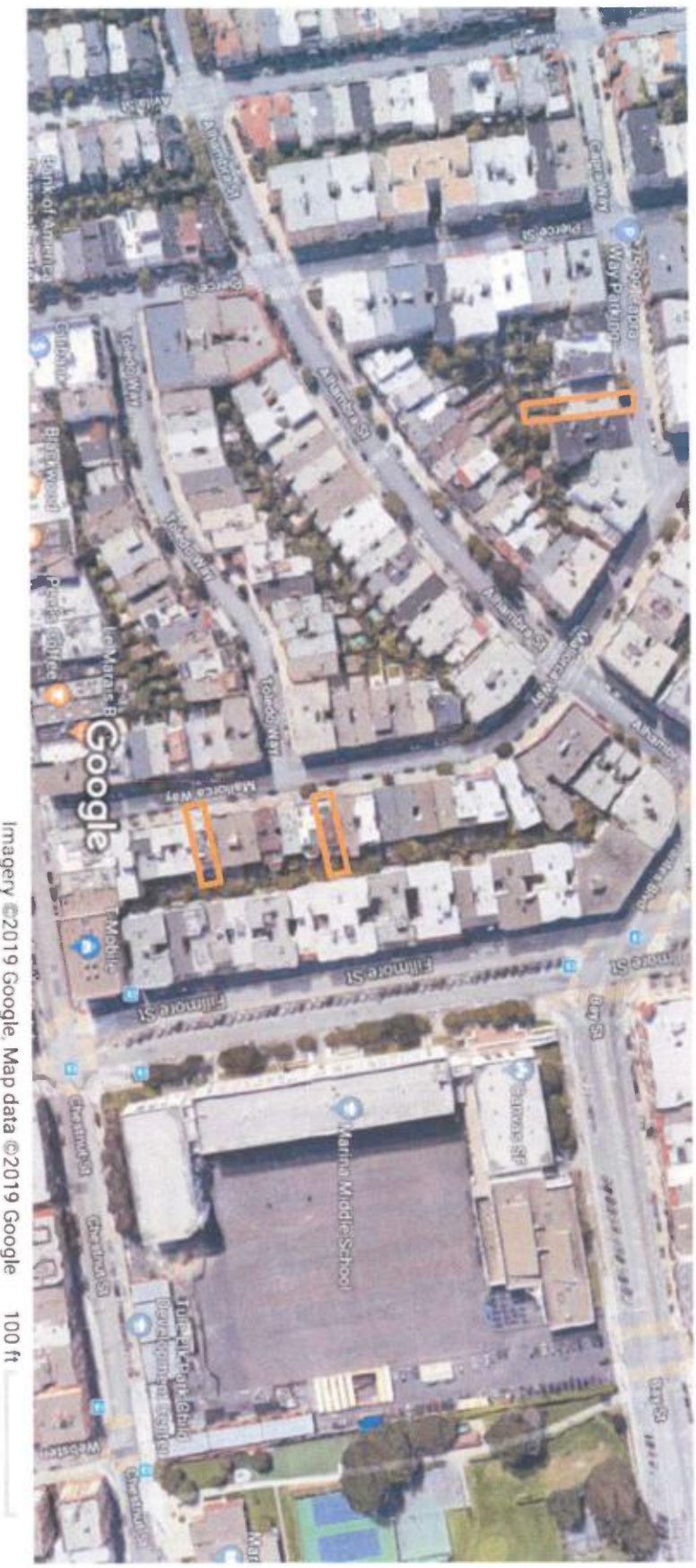
Neighborhood Map of Existing 4th Floor Roof Decks

- Map showing location of two buildings found with roof decks on top of fourth floor.
- Note density of typical buildings on block



Neighborhood Map w/33 Capra

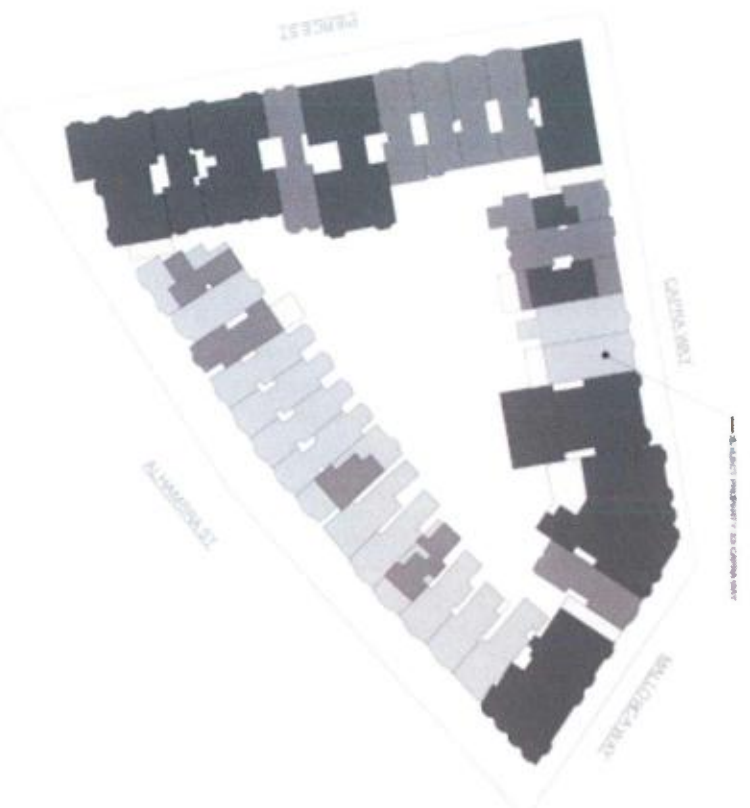
- Map showing location of two buildings found with roof decks on top of fourth floor along with 33 Capra Way.
- The scale of 33 Capra does not meet the neighborhood context of its block, and would be more out of place than the already out-of-place roof decks on Mallorca.



Rear Yard Incursion

- The block on which 33 Capra sits has an unusual shape which results in a large mid-block open space.
- 33 Capra proposes a two-level building mass that extends to the maximum depth (minimum setback) in the rear yard based on the 25% setback rule. It extends beyond the average depth of the two neighboring buildings.

- A more appropriate scale would be to limit the building depth to the average depth of the existing structures so that 33 Capra makes an effort to conform to its smaller neighbors to the west and south rather than the larger corner buildings to the east. In particular, 25 Capra's depth is already an outlier, making it a poor reference point for setting building depth.



1. BLOCK CONTEXT - SETBACKS



2. BLOCK CONTEXT - SETBACKS



DISCRETIONARY REVIEW PUBLIC (DRP) APPLICATION

Discretionary Review Requestor's Information

Name: Mauricio Franco

Address: 221/219 Mallorca Way

Email Address: maurice1950@comcast.net

Telephone: 415-307-5203

Information on the Owner of the Property Being Developed

Name: Bora Ozturk

Company/Organization: Bottlenosedolphin LLC

Address: 33 Capra Way

Email Address: hrbora@gmail.com

Telephone: 415-652-3080

Property Information and Related Applications

Project Address: 33 Capra Way

Block/Lot(s): 0463A/032

Building Permit Application No(s): 2018.0601.0822

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case? (including Community Boards)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Changes Made to the Project as a Result of Mediation. If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes that were made to the proposed project.		

I was present at the original Pre Application meeting on 5/17/2018. After the 311 notices were mailed, I also attended the 5/3/2019 meeting with various neighbors, the architect and the project developer.

This was followed by multiple email exchanges between the various parties.

The project developer has only offered to make a modest adjustment to the layout of the roof deck above the proposed fourth floor.

This does not address multiple major design concerns that were brought up from the very beginning.

DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

1. Historic relevance of the façade of the building, as a contributor to the Marina Corporation Residential Historic District.
2. Out of scale height and bulk of the project.
3. Inaccurate measurements for the determination of rear yard averaging.
(See Attachments)

-
2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

1. Impact on the mid-block open space.
2. Major light and air impact on the two adjacent properties.
3. Privacy and noise impact associated with a fourth floor roof deck.
(See Attachments)

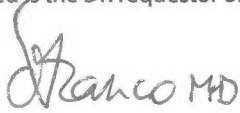
-
3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

1. Façade preservation.
2. 12 foot front setbacks for additional floors.
3. Correction of the western landmark used for rear yard averaging.
4. Building not to exceed three stories.
5. Side setbacks.
6. Maintain the shared lighwell between 33 and 39 Capra.
7. Elimination of the fourth floor roof deck.
(See Attachments)

DISCRETIONARY REVIEW REQUESTOR'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

a) The undersigned is the DR requestor or their authorized representation.

Mauricio Franco MD

Signature

N.A.

Relationship to Requestor
(i.e. Attorney, Architect, etc.)

415-307-5203

Phone

Mauricio Franco

Name (Printed)

maurice1950@comcast.net

Email

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

**Attachment to M. Franco DR Application
33 Capra Way**

**Building Permit Application No.
2018.0601.0822**

**Project Application Record No.
2018-001940PRJ**

May 2019

Attachment to M. Franco DR Application for 33 Capra Way

Building Permit Application No. 2018.0601.0822

Project Application Record No. 2018-001940PRJ

May 2019

Section 1 - What are the reasons for requesting Discretionary Review?

1. Historic Relevance of the Façade

According to the Planning Department's Preservation Team Review dated 10/5/2018, the subject property is an eligible historic resource. It is located within the identified-eligible Marina Corporation Residential Historic District. Identified through Case Number 2016-013786ENV, the Marina Corporation Residential Historic District is eligible for listing in the California Register under Criterion 1 (Events) for its association with the first wave of residential development in the Marina following the Panama Pacific International Exhibition and under Criterion 3 (Architecture) as a cohesive collection of outstanding examples of Mediterranean Revival, Spanish Eclectic, and other Period Revival Style residential buildings. It is to be noted that 33 and 39 Capra Way are each, part of a twin set of classic Marina "bungalows". Furthermore, the subject property has only undergone one alteration since construction and, unlike its twin building at 39 Capra Way; its façade has remained unaltered throughout all these years.

The Preservation Team agrees with the findings of the HRE that the subject property is a contributor to the Marina Corporation Residential Historic District.

That is why the proposed project should NOT be allowed to deface the subject property and destroy an intact example of the period that is a contributing factor to a historic district. While we cannot establish that the extent of the alterations amount to a tantamount to demolition, it is clear that the façade and much of the building will be destroyed.

2. Project Is Out of Scale in Height and Bulk

Except for the corner buildings on the same side as the subject property, all buildings on that side of Capra Way and the rear block on Alhambra Street are no more than 2 to 3 stories in height. The proposed project breaks the pattern and sets the precedent for out of scale buildings in this neighborhood. According to Section IV of the Residential Design Guidelines, the building's scale shall be designed to be compatible with that of its surrounding buildings.

IV. Building Scale And Form

DESIGN PRINCIPLE: Design the building's scale and form to be compatible with that of surrounding buildings, in order to preserve neighborhood character.

BUILDING SCALE

GUIDELINE: Design the scale of the building to be compatible with the height and depth of surrounding buildings.

Attachment to M. Franco DR Application for 33 Capra Way

Building Permit Application No. 2018.0601.0822

Project Application Record No. 2018-001940PRJ

May 2019

3. Inaccurate Measurements for the Determination of the Rear Yard Averaging

The sunroom extension of the adjacent property at 39 Capra Way has been used for the rear yard averaging. To use this extension for yard averaging, its width cannot be less than 50% of the width of the lot. The Plan Check Letter dated October 4, 2018 questions the use of this sunroom extension for yard averaging because its width is less than 12'- 6" in a lot that is 25 feet wide. The Plan Check Letter states the following:

The project, as proposed, utilizes rear yard averaging, per Planning Code Section 134(c) to determine the rear yard setback. The measurement of the adjacent neighbors has been calculated incorrectly, resulting in an incorrect rear-yard setback line. It appears that the portion of the adjacent building at 39 Capra Way where the rear yard setback was measured is less than half the width of the lot, making it ineligible for averaging.

Upon investigating this issue, the assigned planner responded that the project sponsor claimed that the extension was 12'- 6" wide and that is why the staff allowed the extension to be used for yard averaging.

However, I measured the width of the extension and as demonstrated by the attached pictures, it is only 12 feet wide. This makes it ineligible for yard averaging.

That is why this is an Exceptional and Extraordinary circumstance that justifies a Discretionary Review.



A = WIDTH OF THE SUNROOM, 39 CAPRA = 144"

Attachment to M. Franco DR Application for 33 Capra Way
Building Permit Application No. 2018.0601.0822
Project Application Record No. 2018-001940PRJ
May 2019

B = DISTANCE FROM EAST PROPERTY LINE TO SUNROOM, 39 CAPRA = 76"



C = DISTANCE FROM WEST PROPERTY LINE TO SUNROOM, 39 CAPRA = 80"



$A + B + C = 300 \text{ inches} = 25 \text{ feet}$

Attachment to M. Franco DR Application for 33 Capra Way

Building Permit Application No. 2018.0601.0822

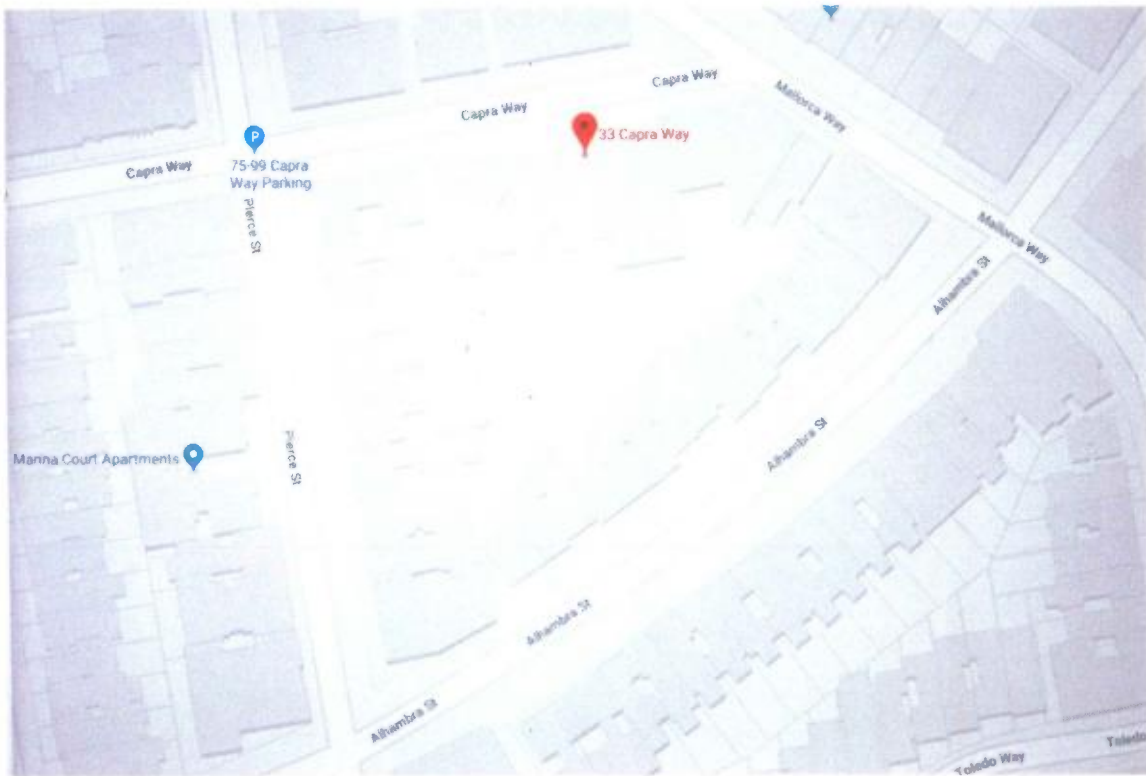
Project Application Record No. 2018-001940PRJ

May 2019

Section 2 – How does this project cause unreasonable impact?

1. Reduction of the Midblock Open Space

There is a strong pattern for the midblock open space on this block. Only one property, 25 Capra has encroached into this space excessively. All other buildings respect the overall triangular shape of the midblock open space. This is a community amenity and as such, should be preserved (See attached map).



2. Major Light and Air Impact on the Two Adjacent Properties

- a) The proposed project is adjacent to a 17- unit apartment building at 25 Capra Way. Currently, there are 15 unobstructed windows facing west that provide mid day and afternoon light to all the units on the western side of the building. The proposed project will completely block light and air to 9 of these windows. It is understood that windows on property lines are not protected, however, the design of the proposed project can accommodate a side setback to allow some light and air to mitigate some of the impact.

Attachment to M. Franco DR Application for 33 Capra Way

Building Permit Application No. 2018.0601.0822

Project Application Record No. 2018-001940PRJ

May 2019

- b) The other adjacent neighbor at 39 Capra Way has a shared lightwell with 33 Capra Way. This is the major source of light for the kitchen at 39 Capra Way, which happens to be the twin building to the subject property. The proposed design ignores the Residential Design Guidelines for maintaining shared lightwells and eliminates this light amenity, depriving the neighboring property from the much-needed light in their kitchen.

III. Site Design

Light

In areas with a dense building pattern, some reduction of light to neighboring buildings can be expected with a building expansion. However, there may be situations where a proposed project will have a greater impact on neighboring buildings. In these situations, the following design modifications can minimize impacts on light; other modifications may also be appropriate depending on the circumstances of a particular project:

- *Provide setbacks on the upper floors of the building.*
- *Include a sloped roof form in the design.*
- *Provide shared light wells to provide more light to both properties.*
- *Incorporate open railings on decks and stairs.*
- *Eliminate the need for parapet walls by using a fire rated roof.*

- c) The height and bulk of the proposed project will block the morning light and cast significant shadows on 39, 45 and 49 Capra Way. The proposed fourth floor is excessive and should be eliminated to reduce the light and air impact on neighbors to the west of the subject property.

3. Privacy Impact Associated with the Fourth Floor Roof Deck

The Marina is a dense urban neighborhood where homes are typically attached and hence, roof decks pose privacy and sound issues for the surrounding neighbors. Roof decks have been uncommon in the history of the Marina. In the last seven years they started to proliferate at an exponential rate. The roof deck on a 4-story building is out of scale because in the Marina, most buildings with 4 stories do not have roof decks. Most of the roof decks are found on three stories buildings. This roof deck would create privacy, visual clutter, and noise intrusions that are unnecessary as each unit already has private open spaces.

Attachment to M. Franco DR Application for 33 Capra Way

Building Permit Application No. 2018.0601.0822

Project Application Record No. 2018-001940PRJ

May 2019

Section 3 – What alternatives or changes would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted in Sections 1 & 2?

1. Preserve the historic façade, restoring and enhancing its intrinsic original features.
2. Incorporate 12-foot front setbacks to additional floors.
3. Building not to exceed three stories.
4. Correction of the western landmark used for rear yard averaging.
5. Incorporate side setbacks to the design.
6. Elimination of the fourth floor roof deck.

FURTHER DOCUMENTATION TO FOLLOW.

June 6, 2019

Response to Discretionary Review (DRP)

33 Capra Way Remodel –SF CA 94123
Building Permit Application: 2018.0601.0822
Record Number: 2018-001940PRJ
Assigned Planner: Matthew Dito

David,

Please find our response to the two DR filers, Joshua Callahan who lives at 49 Capra and Maurice Franco who resides at 221/219 Mallorca Way.

Our clients bought this single family home with the intention to develop it in the most responsible way. Given its RH-3 zoning designation and the dire need for family housing in the city, creating a three-unit building makes the most sense, even though a very large single family house or two very large duplexes would yield a better return for our clients. The proposal will create three units: a slightly larger four-bedroom unit with 2,113 square feet, and two smaller three-bedroom units above at 1,519 square feet and 1,331 square feet respectively. The addition includes a horizontal expansion to the rear and vertical addition to create the two new units.

Contextually the building is between a four-story, 17-unit building and a two-story, single-family house. Both adjacent neighbors/owners are supportive of the project. Of the 8 properties along the block face, five are four stories tall, one is three stories with a roof deck above (DR requestor Callahan's residence), with only the Project site and adjacent supportive neighbor being two stories tall.

We met with the two DR applicants and several other neighbors during the 311 notification period in the backyard of Mr. Callahan.

We have agreed to meet with DR applicants with you at the Planning Department and look forward continuing our dialogue.

Sincerely,



John Lum, AIA
Founding Principal
John Lum Architecture, Inc.

Attachments: DRP Response Mr. Callahan
 DRP Response Mr. Franco
 Exhibit 1
 Exhibit 2
 Exhibit 3



Response to Discretionary Review (DRP) Mr. Callahan 49 Capra Way

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

We have summarized the DR requestor's concerns with our response:

1. **Massing Concerns and (RDG):** The project has been reviewed by the RDAT (Residential Design Advisory Team) who agreed that the project is in conformance with the RDG. The mass is appropriate given that the direct neighbor to the east is a large, 17-unit four-story building which occupies a majority of the lot and intrudes into its 25% required rear yard by approximately 5'. There are ten, four-story buildings on the Proposed Project's block. The entire block face across the street is four story buildings **(See Exhibit 1)**.
2. **Midblock open space:** Due to the East neighbor extending over 13' further than the main face of the proposed rear horizontal expansion, the mid-block open space is not affected by the addition. The proposed addition is shifted to the East to minimize impact and features a larger-than-required 7' setback along the west neighbor. Refer to Exhibit 1 showing the block massing map between existing and proposed.
3. **Removal of facade:** Although located in an eligible Historic District and considered a contributing member, this designation does not prevent the removal of a façade. The RDAT and Preservation Planners reviewed the façade several times and determined that the new design is compatible in the district, as it relies on the neighborhood pattern including bay windows, recessed entry, masonry base, traditional divided-lite windows, a distinct cornice, stucco base and wood trim. The RDG does not dictate styles and more importantly the Secretary of the Interior Standards requires differentiation from existing historic resources.
4. **Lack of fourth floor setback at front:** The Proposed project does set back the fourth floor at its western half with a cutout, 3' deep balcony to provide a visual transition between the four-story building to the east and adjacent two-story house to the west. This staircase provides a visual setback that matches the RDG illustration found on Page 24 (Exhibit 2) . As the adjacent neighbor will be the sole remaining two-story house amongst a block of majority four-story buildings, a setback at the fourth floor is not required per the RDG or the RH-3 zoning. It is also not clear why the DR requestor is asking for a setback as his house is three properties to the west and therefore this fourth floor does not affect his house. If a setback of 12' is required the top floor unit would lose approximately 300 square feet (12' x 25') and would be effectively reduced to a one-bedroom apartment. As this configuration would not be financially viable for our clients, they would either abandon the project, or propose a two-unit scheme, losing the third, three-bedroom unit.
5. **Depth of building at maximum:** Through several rounds with the RDAT the building was reduced in the rear. Due to information that was documented by the other DR requestor, the submitted building envelope will be further reduced by 13". The rear addition as proposed does not require a Variance and features a larger-than-required 7' setback along the west side to minimize impact. It does not maximize the volume or mass, with each unit stepping back from the rear face of the unit below. As there is no impact to the DR requestor, it is not clear why he is asking for a further reduction.

6. **Roof deck is out of scale with neighborhood which has allowed a fourth story or roof deck, not both:** It is not clear why the DR requestor believes that the deck is out of scale with the neighborhood as it will not be visible from the street or the rear being setback 5' from the side property lines and over 35' from the front property line in compliance with the Planning Department's roof deck guidelines. The square footage of the deck is 485 square feet and will be deeded exclusively to the top unit. Although this unit does have a deck directly off its main living room, which is convenient for barbequing and dining, having a larger roof deck that accommodates children's active play would offset the top unit's restricted square footage. The DR requestors and his two adjacent neighbors all have roof decks above the third floor and it is not clear why the proposed roof deck deeded to the top unit would pose any additional privacy concerns given that it is not visible from their properties.

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

The original 311 submittal of the project includes a roof deck that was to be for the common usage of the entire building and also was configured without a 5' setback at the west. We agreed at our meeting with the DR requestor to shift the deck over minimally 5' from the west property line and deed the deck to the top unit.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

The DR has requested the following changes:

1. **Setback the fourth floor 12' from the front:** This would effectively remove two bedrooms from the top unit and make the project financially unfeasible for the Project sponsors. Most likely the project would either be modified to be only two, large units, or one very large, single-family home.
2. **Reduce the Mass at the rear of the building:** The proposal at the rear uses rear yard averaging and does not require a Variance. There is nothing extraordinary or unusual using a code complying rear yard. Since there is no impact to the DR requestor three properties to the west, this request has no justification.

Response to Discretionary Review (DRP) Maurice Franco, 221/219 Mallorca

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR req., please meet the DR requester in addition to reviewing the attached DR application.)

We have summarized the DR requestor's concerns with our response:

- 1. Historic Relevance of the facade:** Although located in an eligible Historic District and considered a contributing member, this designation does not prevent the removal of a façade. The RDAT and Preservation Planners have reviewed the façade several times and determined that the new design is compatible with the district, as it relies on the neighborhood pattern including bay windows, recessed entry, masonry base, traditional divided-lite windows, a distinct cornice, stucco base and wood trim. The RDG does not dictate styles and more importantly the Secretary of the Interior Standards requires differentiation from existing historic resources. Demo calculations confirm that the proposed project is not a de facto demolition.
- 2. Out of scale height and bulk:** The project has been reviewed by the RDAT who agreed that the project is in conformance with the RDG. The mass is appropriate given that the direct neighbor to the east is a large, 17-unit four-story building that occupies a majority of the lot and intrudes into its 25% required rear yard by 5'. There are ten, four-story buildings on the Proposed Project's block. The entire block across the street is four-story buildings **(See Exhibit 1)**.
- 3. Reduction of Midblock open space:** Due to the East neighbor extending over 13' further than the main face of the proposed rear horizontal expansion, the mid-block open space is not affected by the addition. The proposed addition is shifted to the East to minimize impact and features a larger-than-required 7' setback along the west neighbor. Refer to Exhibit 1 showing block massing map between existing and proposed.
- 4. Inaccurate measurements:** As we were not able to gain access to the adjacent west neighbor and were only able to measure one side of their property with our laser, we used this side measurement to determine the "pop-out" was 12'-6". Upon seeing the DR requestors measurements and also confirming in the field, we will correct our drawings to reflect the confirmed measurement and further reduce the rear expansion by approximately 13".
- 5. No matching light well:** Adjacent west neighbors at 39 Capra has enclosed their light well with a roof covering and demising wall, thus the space does not qualify as a lightwell.
- 6. Block the Morning light to 39, 45 and 49 Capra.** Attached sun study renderings show no shadows cast on the rear yards **(See Exhibit 3)**.
- 7. Privacy and Noise impact:** Currently there are three roof decks on this side of Capra, and thus, adding one more roof deck does not pose any further privacy or noise concerns, especially as the roof deck has been placed to be 5' away from the side property lines and 35' from the front property line, and is visually blocked by the stair penthouse and railing towards the west. It will not be visible from the DR requestor as he cannot see the Project from his property.

8. **Block adjacent property line windows:** The windows that are being blocked at 25 Capra are secondary windows and the rooms affected appear to have their main source of light from the rear, front or large lightwell. The proposal consists of closing off 7 windows. The Owner of 25 Capra is in support of the Proposed Project.

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

The original 311 submittal of the project includes a roof deck that was to be for the common usage of the entire building and also was configured without a 5' setback at the west. We agreed at our meeting with the DR requestors to shift the deck over minimally 5' from the west property line, and deed the deck to the top unit. As per the Planning Code, the rear yard setback will be adjusted to average from the primary rear façade of 39 Capra Way.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

The DR has requested the following changes:

1. **Façade Preservation:** Requiring the façade to be preserved would require the third and fourth floors to be setback by 15', removing the ability to create two additional three-bedrooms units above. This setback area is presently proposed to contain 4 bedrooms in total.
2. **12' setback:** Would reduce the top unit to a one bedroom unit, or change project to only a two-unit or large single family house.
3. **Correct Dimensions:** Will correct and resubmit.
4. **Building to not exceed three stories:** No justification. Would eliminate a unit of family housing and would be an arbitrary downzoning, considering there are 10 building on the same block and the entire block face across Capra Way that are four-stories tall.
5. **Side setbacks:** Not clear what side the DR requestor is referring to, but the windows at 25 Capra are not required, not code complying, and are not protected in the Planning Code. Any side setback would eliminate one, if not two bedrooms given the width of the property.
6. **Maintain light well:** There is no light well.
7. **Elimination of fourth floor deck:** As there are many roof decks in the neighborhood, the modified new deck poses no additional increase in privacy or noise.
8. **Impact to DR requestor's home:** As the proposed project is not visible to the DR requestor and is around the corner, it is not clear what his motivation is to oppose this project, especially given the fact that this project will be creating three units of family housing in place of a single family home.

L_190612_BLOCK_CONTEXT_02018.wrk

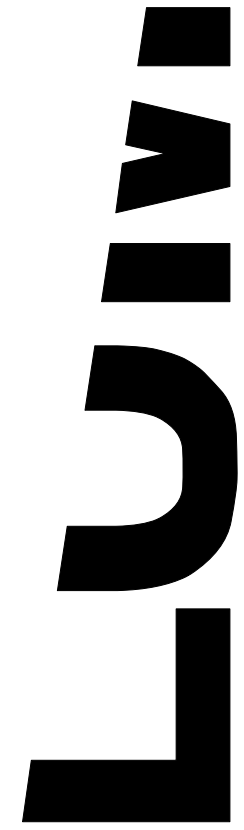


1 BLOCK CONTEXT- EXISTING
NOT TO SCALE



2 BLOCK CONTEXT- PROPOSED
NOT TO SCALE

BLOCK CONTEXT PROPERTIES ARE APPROXIMATED FROM PUBLICLY AVAILABLE SATELLITE IMAGERY



JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.9554

NOT FOR
CONSTRUCTION
10.31.19

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94103
0463A-1032

Bottlenosedolphin LLC
33 Capra Way
San Francisco, CA 94123

client:

date	issues / revisions	by
05.17.18	preapp meeting	rm
06.01.18	site permit	rm
10.11.18	site permit revision 1	rm
11.12.18	site permit revision 2	rm
02.08.19	site permit revision 3	rm
02.13.19	site permit revision 4	rm
05.03.19	neighbor meeting	rm
05.10.19	neighbor outreach	rm
06.12.19	D.R. response	rm

BLOCK CONTEXT

EXHIBIT 1

A fourth story setback and facade articulations make the building more compatible with the scale of surrounding buildings.



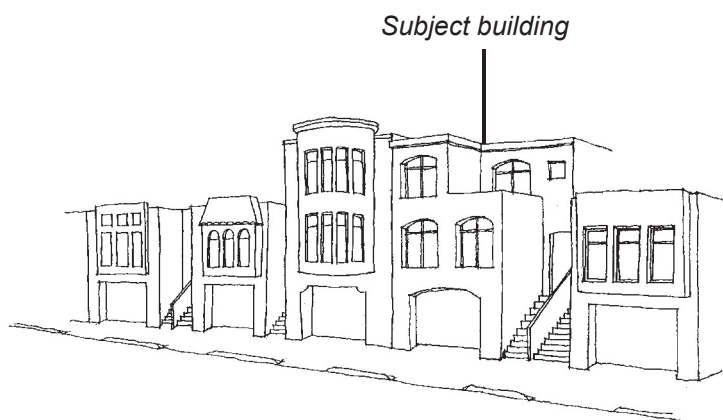
Building Scale at the Street

GUIDELINE: Design the height and depth of the building to be compatible with the existing building scale at the street.

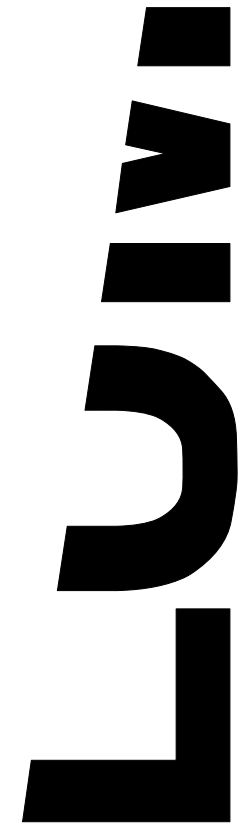
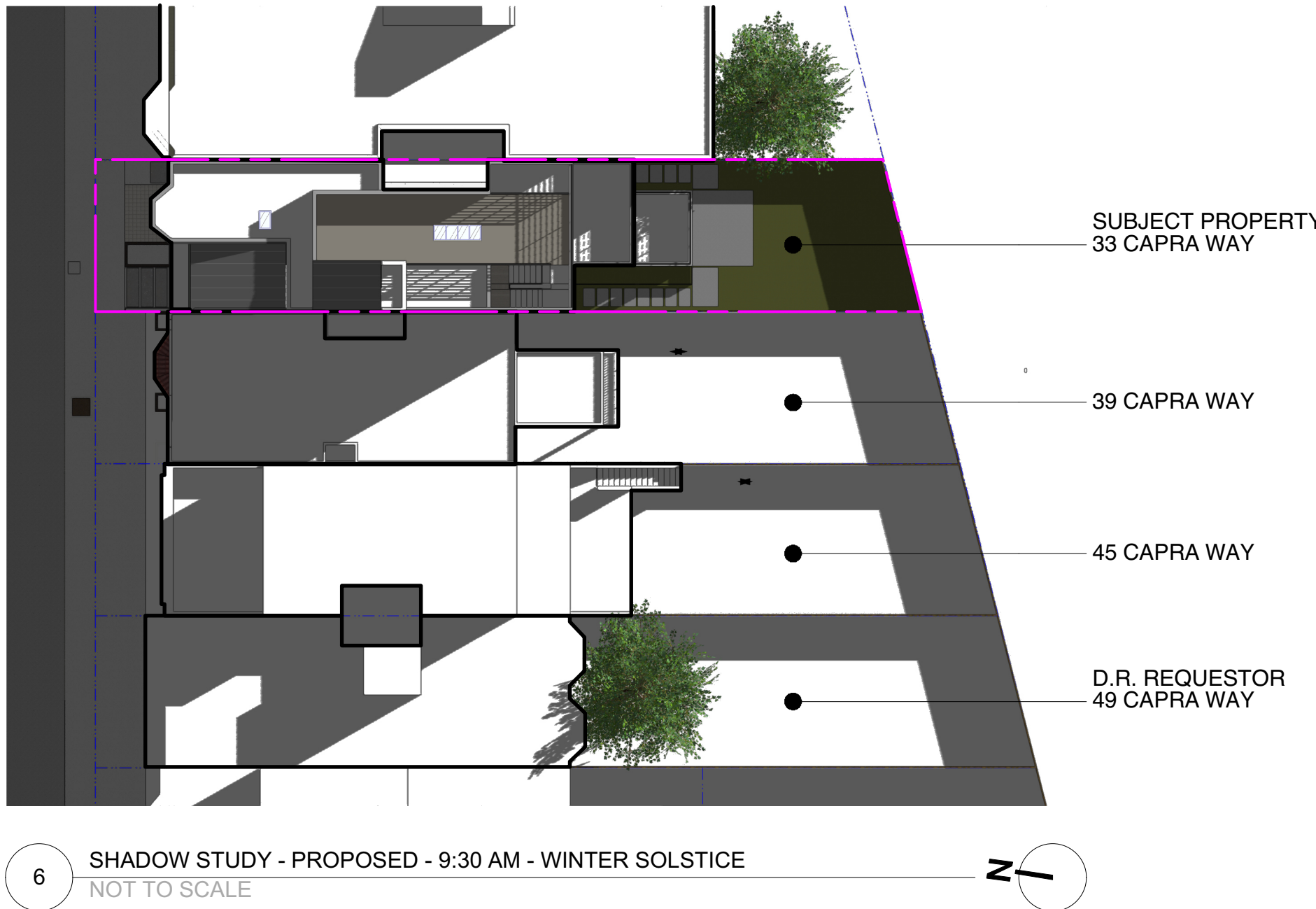
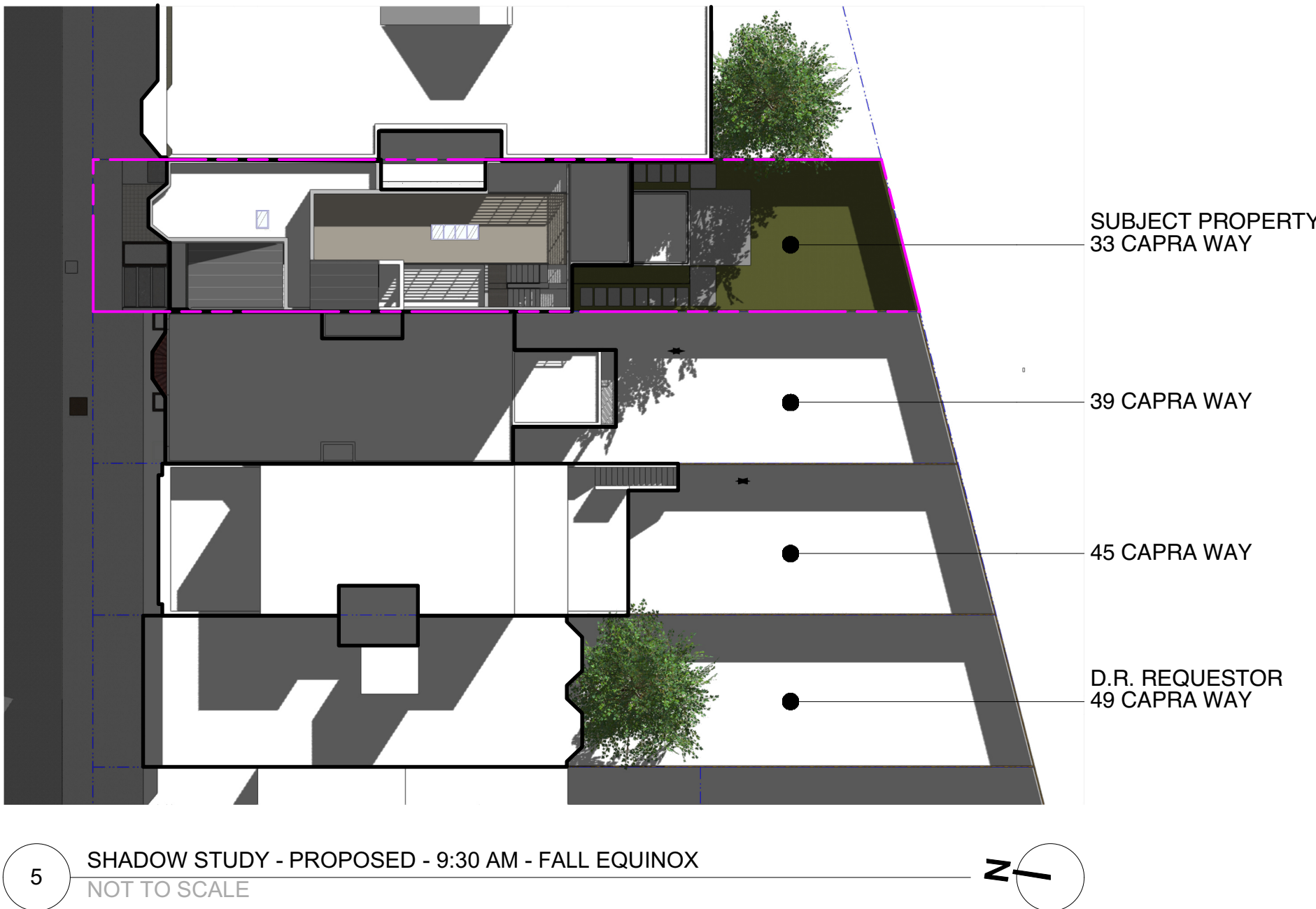
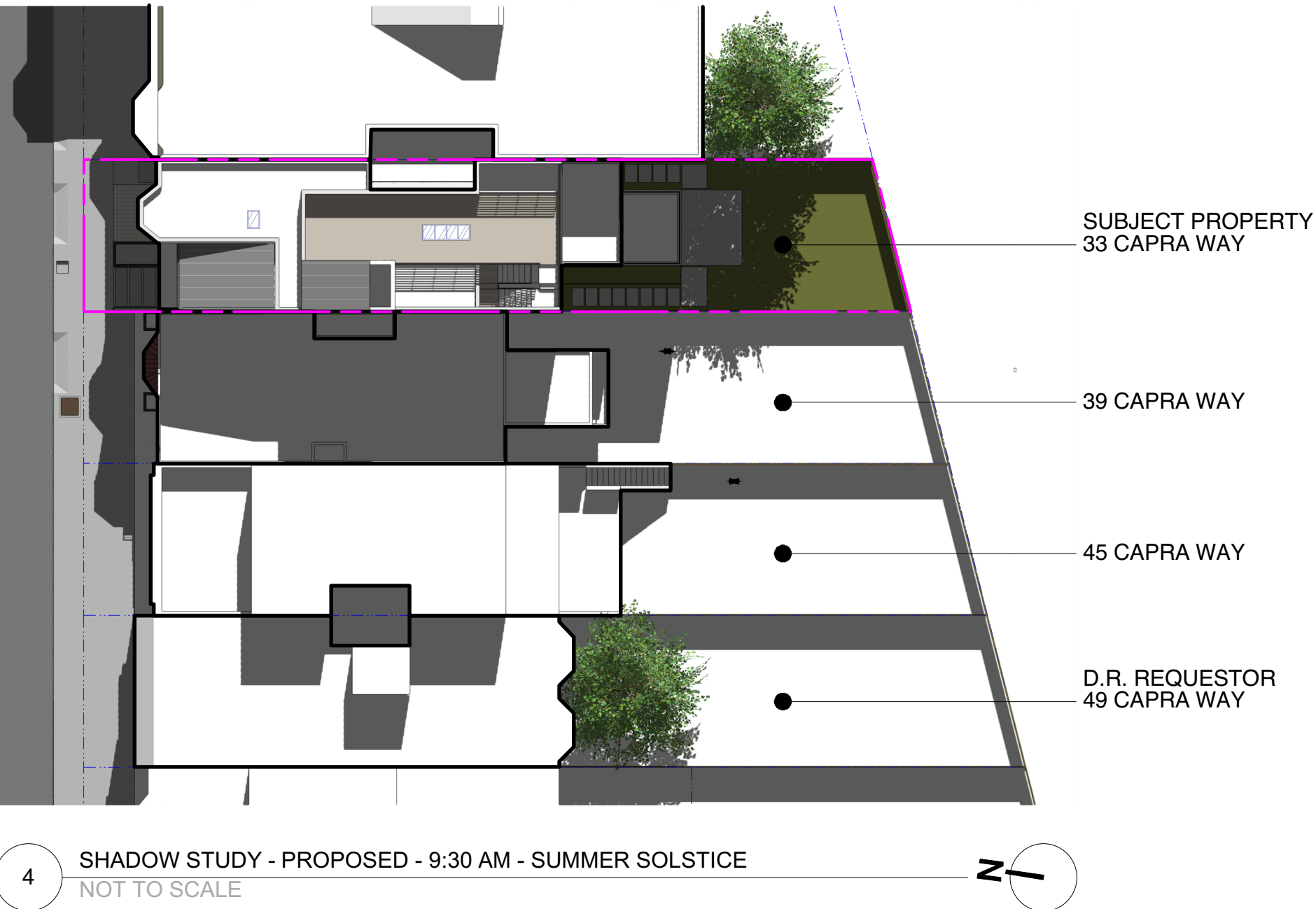
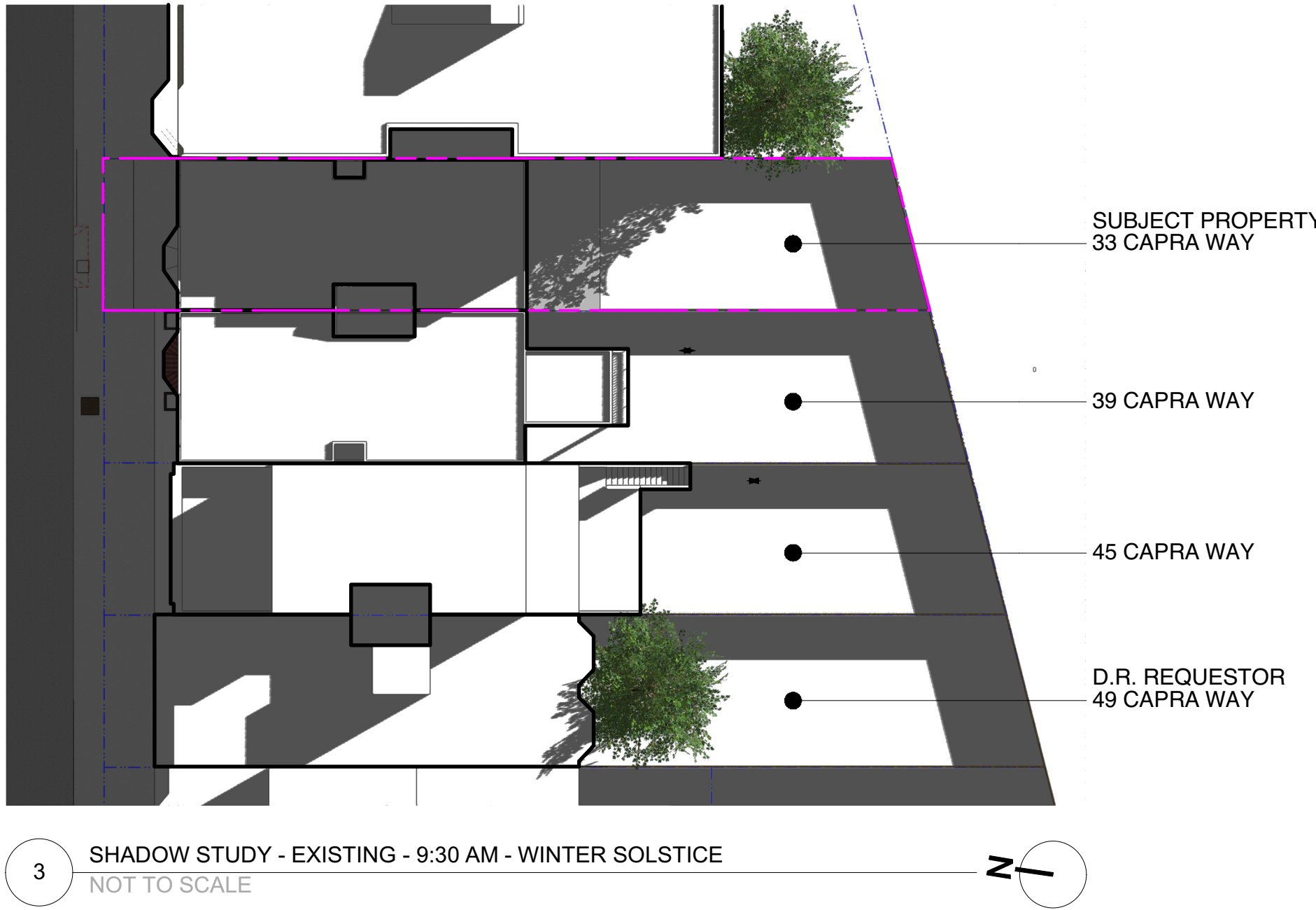
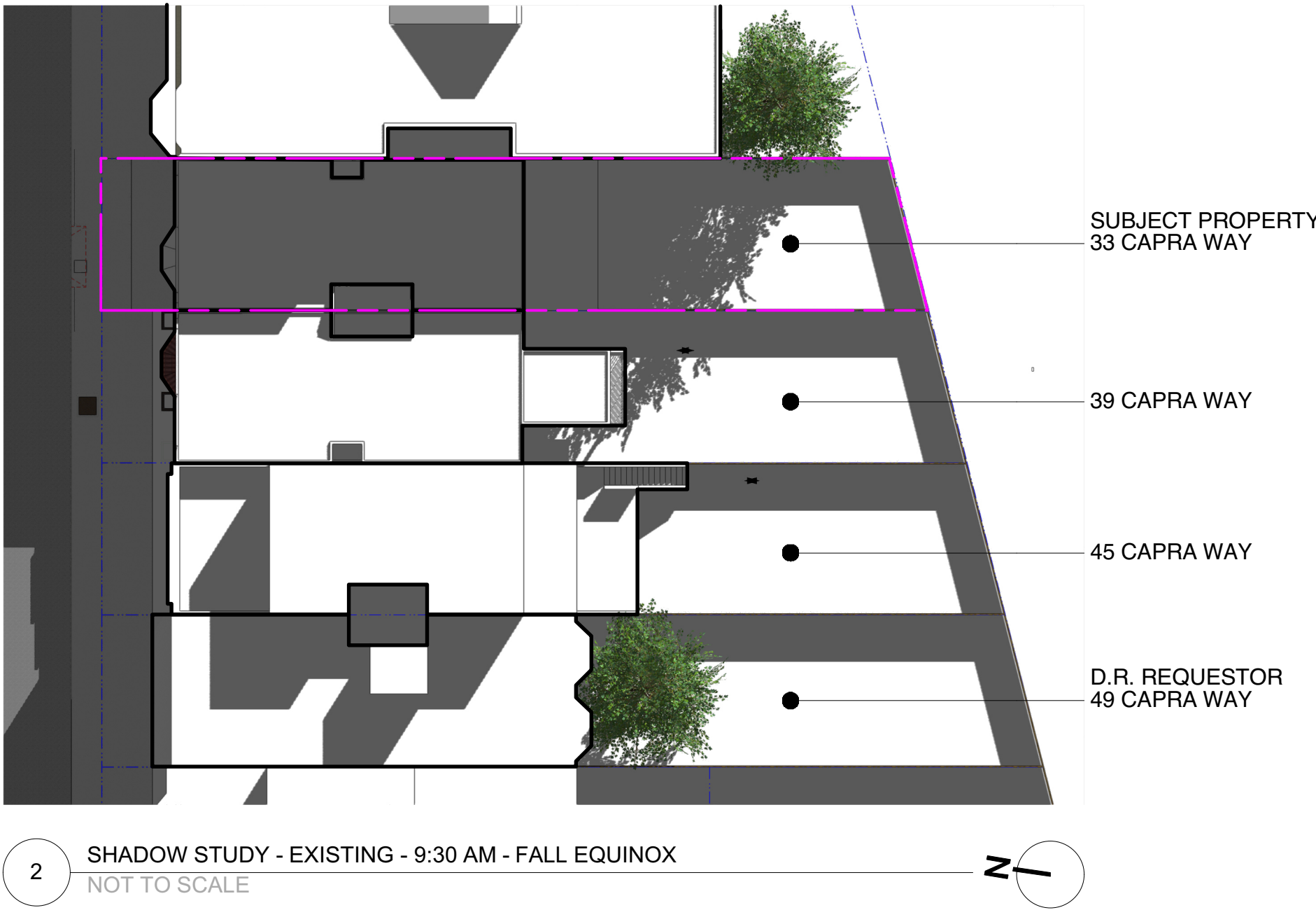
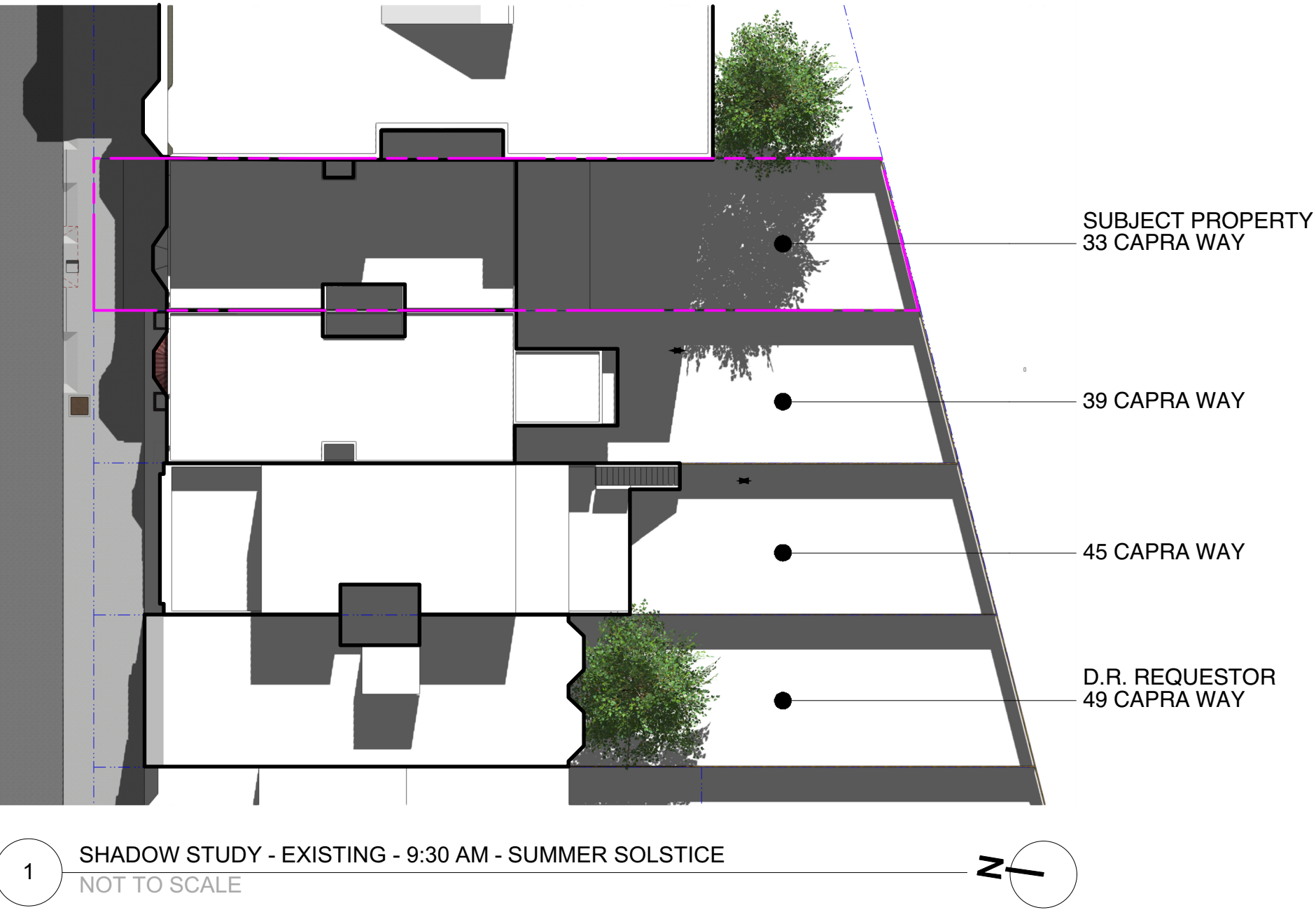
If a proposed building is taller than surrounding buildings, or a new floor is being added to an existing building, it may be necessary to modify the building height or depth to maintain the existing scale at the street. By making these modifications, the visibility of the upper floor is limited from the street, and the upper floor appears subordinate to the primary facade. The key is to design a building that complements other buildings on the block and does not stand out, even while displaying an individual design.

Refer to Planning Code Section 130, 136 and 250 for setbacks, permitted obstructions and height limits.

A partial third-story setback provides a transitional height to the adjacent two-story building and maintains the scale of the buildings at the street level.



NOTE:
SHADOW STUDIES THROUGHOUT THE YEAR SHOW NO
SHADOW CAST BY SUBJECT PROPERTY'S PROPOSED WORK
ONTO THE YARD OF 49 CAPRA WAY (D.R. REQUESTOR)



JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.9554

NOT FOR
CONSTRUCTION
10.31.19

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94103
0463A-1032

Bottlenosedolphin LLC
33 Capra Way
San Francisco, CA 94123

client:

date	issues / revisions	by
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02.08.19	site permit revision 3	rm
02.13.19	site permit revision 4	rm
05.03.19	neighbor meeting	rm
05.10.19	neighbor outreach	rm
06.12.19	D.R. response	ea

SHADOW STUDY

EXHIBIT 3

33 CAPRA WAY REMODEL & ADDITION

33 CAPRA WAY. SAN FRANCISCO, CA 94123
0463A - 032

ABBREVIATIONS:

& ^ #	AND ANGLE AT NUMBER
CL	CENTER LINE
PL	PROPERTY LINE
(E)	EXISTING
(N)	NEW
(R)	REPLACE
ABV.	ABOVE
ADJ.	ADJACENT
ALUM.	ALUMINUM
ARCH.	ARCHITECTURE
ASPH.	ASPHALT
BD.	BOARD
BASE BD.	BASE BOARD
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
BOT.	BOTTOM
BM.	BEAM
B.U.	BUILT-UP
C.G.	CEILING
CNTL	CONTROL
CONT.	CONTINUOUS
CTR	CENTER
CLR.	CLEAR
C.L.	CENTER LINE
DBL	DOUBLE
D.F.	DOUGLAS FIR
DM.	DIMENSION
DN.	DOWN
D.P.	DOUBLE POLE
D.S.	DOWN SPOUT
DWG.	DRAWING
E	EAST
EA	EACH
EL. OR ELEV.	ELEVATION
ELEC.	ELECTRICAL
EQ.	EQUAL
EXP.	EXPOSED
EXT.	EXTERIOR
F.A.U.	FORCED-AIR-UNIT
FDN.	FOUNDATION
F.F.	FINISHED FLOOR
F.F.E.	FINISHED FLOOR ELEVATION
F.O.C.	FACE OF CONCRETE
F.O.S.	FACE OF STUD
F.O.P.	FACE OF PLYWOOD
F.P.	FIRE PLACE
FURN.	FURNACE
GA.	GAUGE
GALV.	GALVANIZED
GND.	GROUND
GYP. BD.	GYP. BOARD
H.C.	HOLLOW CORE
HDR.	HEADER
HDWD.	HARD WOOD
H.V.A.C.	HEATING, VENTILATION, AIR CONDITIONING
I.D.	INSIDE DIMENSION
INSUL.	INSULATION
INT.	INTERIOR
JST.	JOIST
MAX.	MAXIMUM
M.C.	MEDICINE CABINET
MECH.	MECHANICAL
MEMB.	MEMBRANE
MANUF.	MANUFACTURER
MIN.	MINIMUM
MTL	METAL
N	NORTH
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
OV	OVER
O.C.	ON CENTER
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
OPNG.	OPENING
O.D.	OUTSIDE DIMENSION
P.C.	PLUMBING CHASE
PLYWD.	PLYWOOD
P.T.	PRESSURE TREATED
PT.	POINT
PTD.	PAINTED
R	RADIUS
RET. AIR	RETURN AIR
RM	ROOM
RDWD	REDWOOD
R.W.L.	RAIN WATER LEADER
S	SOUTH
S.S.D.	SEE STRUCTURAL DRAWINGS
SQ. FT.	SQUARE FOOT
SHT	SHEET
SHTG.	SHEATHING
SM.	SIMILAR
S.P.	SINGLE POLE
SQ.	SQUARE
S.S.T.	STAINLESS STEEL
ST.	STEEL
STD.	STANDARD
SUP. AIR	SUPPLY AIR
T&G	TONGUE AND GROOVE
TBD	TO BE DETERMINED
THK.	THICK
T.O.P.	TOP OF PLATE
T.O.S.	TOP OF SLAB
T.O.F.F.	TOP OF FINISHED FLOOR
T.O.W.	TOP OF WALL
T.P.	TOILET PAPER HOLDER
T.R.	TOWEL RACK
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
VAR.	VARIES
V.D.C.	VERIFY DURING CONSTRUCTION
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD
W	WEST
W/	WITH
W.C.	WATER CLOSET
WOOD	WOOD
WP	WATER PROOF
W.H.	WATER HEATER

SYMBOLS:

WALL TYPES

NEW WALL (NON-RATED)	
NEW 1-HOUR FIRE-RATED WALL	
NEW 2-HOUR FIRE-RATED WALL	
NEW LOW WALL	
EXISTING WALL	
DEMO WALL	

LINE TYPES

OVERHEAD LINE	
HIDDEN LINE	
PROPERTY LINE	
SETBACK LINE	
CENTER LINE	
BREAK LINE	
ELEVATION LINE	

DIMENSIONS

FACE OF FINISH	
CL OF STUD	

MARKERS

DETAIL MARKER	
PLAN DETAIL MARKER	
ELEVATION MARKER	
SECTION MARKER	
INTERIOR ELEVATION MARKER	
REVISION MARKER	
DOOR TAG	
WINDOW TAG	
STEP SYMBOL	

GENERAL NOTES:

- AIA DOCUMENT 201, "GENERAL CONDITIONS FOR THE PERFORMANCE OF A CONTRACT," ARE HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF WORK. SUPPLEMENTARY CONDITIONS TO THE CONTRACT ALSO APPLY.
- ALL CONSTRUCTION SHALL CONFORM TO CURRENT SAN FRANCISCO CODES AND ANY OTHER GOVERNING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY APPLICABLE PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
 - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THE WORK CAN BE BUILT OR DEMOLISHED AS SHOWN BEFORE PROCEEDING WITH THE WORK. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
 - ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK.
 - CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT SHOWN ON THE DRAWINGS.
 - CONTRACTOR TO MAINTAIN ALL PROPER WORKMAN'S COMPENSATION AND LIABILITY INSURANCE THROUGHOUT THE DURATION OF PROJECT.
 - SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE PRIOR APPROVAL OF THE ARCHITECT.
 - DURING THE BIDDING AND NEGOTIATION PERIOD THE GENERAL CONTRACTOR AND SUBCONTRACTOR(S) SHALL CONFIRM IN WRITING APPROX. ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF THE SPECIFIED PRODUCT.
 - ALL WORK SHALL BE PERFORMED SUCH THAT DAMAGE TO EXISTING LANDSCAPE AND/OR PERSONAL PROPERTY IS PREVENTED OR MINIMIZED.
 - CONTRACTOR SHALL TAKE MEASURES TO PROTECT ADJACENT PROPERTIES. USE VISQUEEN, PLYWOOD, ETC. TO MINIMIZE NOISE, DUST, ETC.
 - IN THE EVENT THAT FOUNDATION EXCAVATION MIGHT AFFECT ADJACENT PROPERTIES, CONTRACTOR SHALL TAKE ALL APPROPRIATE STEPS TO NOTIFY THE PROPERTY OWNER OF THE CONDITION, AND TO ADEQUATELY PROTECT THE ADJACENT STRUCTURE.
 - WRITTEN DIMENSIONS REFER TO: FACE OF FINISH OR CENTER-LINE UNLESS OTHERWISE NOTED. EXTERIOR WALLS ARE DIMENSIONED TO FACE OF SHEATHING, U.O.N.
 - DIMENSIONS ARE TO TOP OF FIN. FLOOR, SLAB OR DECK IN SECTION OR ELEVATION, UNLESS OTHERWISE NOTED.
 - "SIM." OR "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE ITEM NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN.
 - "TYP." OR TYPICAL MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
 - DIMENSIONS NOTED "CLR" OR "CLEAR" ARE MINIMUM REQUIRED DIMENSIONS AND CLEARANCES MUST BE ACCURATELY MAINTAINED.
 - CONTRACTOR TO VERIFY DIMENSIONS AND CONDITIONS IN FIELD. IF CONDITIONS ARE SIGNIFICANTLY DIFFERENT THAN REPRESENTED IN DRAWINGS, VERIFY CONDITIONS WITH ARCHITECT.
 - ALL MATERIALS AND EQUIPMENT TO BE NEW UNLESS OTHERWISE NOTED.
 - ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
 - WINDOW AND DOOR SIZES ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER'S SPECIFICATIONS FOR ACTUAL ROUGH OPENINGS.
 - WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED THEY SHALL BE CENTERED IN THE WALL OR PLACED TWO STUD WIDTHS FROM ADJACENT WALL AS INDICATED ON DRAWINGS, UNLESS OTHERWISE NOTED.
 - ALL CHANGES IN FLOOR MATERIAL SHALL OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
 - SEALANT, CAULKING, FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.
 - ALL ATTICS, RAFTER SPACES, SOFFITS, CRAWL SPACES, ETC. TO BE FULLY VENTILATED PER APPLICABLE CODE.
 - PROVIDE WOOD BLOCKING FOR ALL TOWEL BARS, ACCESSORIES, ETC.
 - MEET ALL CALIFORNIA ENERGY CONSERVATION REQUIREMENTS INCLUDING BUT NOT LIMITED TO:
A. MINIMUM ROOF/CEILING INSULATION R-19
B. MINIMUM WALL INSULATION IN FRAMED EXTERIOR WALLS R-13
C. MINIMUM FLOOR INSULATION OVER CRAWL OR UNOCCUPIED SPACES R-13
D. ALL INSULATION TO MEET CEC QUALITY STANDARDS.
E. INFILTRATION CONTROL:
1. DOORS AND WINDOWS WEATHER-STRIPPED.
2. EXHAUST SYSTEMS DAMPENED.
3. DOORS AND WINDOWS CEC CERTIFIED AND LABELED.
4. ALL JOINTS AND PENETRATIONS CAULKED AND SEALED.
F. DUCTS CONSTRUCTED AND INSTALLED PER UMC.
G. ELECTRICAL OUTLET PLATE/GASKETS SHALL BE INSTALLED ON ALL RECEPTACLES, SWITCHES AND ELECTRICAL BASES ON EXTERIOR WALLS.
 - SMOKE ALARMS ARE TO BE INSTALLED IN ALL SLEEPING ROOMS. SMOKE ALARMS SHALL BE HARDWIRED TO 110V HOUSE WIRING AND WIRED TOGETHER IN SERIES. MINIMUM ONE ALARM PER STORY. REF. PLANS FOR LOCATIONS.
 - GENERAL CONTRACTOR IS TO COORDINATE INSTALLATION OF N.I.C. ITEMS WITH OTHER TRADES
 - LOCATION/SPECIFICATION OF SAFETY GLAZING (TEMPERED GLASS) ARE SOLE RESPONSIBILITY OF CONTRACTOR. ALL DOORS W/ GLAZING AND ALL GLAZING OF WINDOWS WITHIN 24" OF EDGE OF ANY DOOR SHALL BE WITH TEMPERED GLASS (UBC SECTION 2406)

PROJECT DATA:

CODES

2018 CALIFORNIA BUILDING CODE
2018 CALIFORNIA MECHANICAL CODE
2018 CALIFORNIA ELECTRICAL CODE
2018 CALIFORNIA PLUMBING CODE
2018 CALIFORNIA FIRE CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
APPLICABLE SAN FRANCISCO MUNICIPAL CODES

PROJECT ADDRESS

33 CAPRA WAY
SAN FRANCISCO, CA 94123

PROJECT DESCRIPTION

- REMODEL & ADDITION TO CONVERT (E) SINGLE-FAMILY DWELLING TO (N) 3-UNIT RESIDENCE
- HORIZONTAL ADDITION @ REAR YARD & VERTICAL ADDITION OF (N) 3RD & 4TH FLOORS
- ADD 2 (N) UNITS @ (N) 3RD & 4TH FLOORS
- (N) INTERIOR STAIRS
- (N) NFPA 13R FIRE SPRINKLERS THROUGHOUT, UNDER SEPARATE PERMIT

PLANNING INFORMATION

BLOCK - LOT	0463A - 032
ZONING DISTRICT	RH-3
BUILDING HEIGHT	EXISTING - 23'-5" PROPOSED - 40'-0" (40'-0" MAX)
NUMBER OF STORIES	EXISTING - 2 PROPOSED - 4
SETBACKS	FRONT - 10'-0" LEGISLATED SETBACK REAR - AVG. OF ADJ. (25% MIN)
LOT SIZE	3,324 SQ. FT.

GROSS FLOOR AREA:

1ST FLOOR EXISTING	751 SQ. FT.	(CONDITIONED)
2ND FLOOR EXISTING	977 SQ. FT.	(UNCONDITIONED)
2ND FLOOR EXISTING	1,360 SQ. FT.	(CONDITIONED)
TOTAL EXISTING	2,132 SQ. FT.	(CONDITIONED)
	977 SQ. FT.	(UNCONDITIONED)
1ST FLOOR PROPOSED	478 SQ. FT.	(CONDITIONED)
2ND FLOOR PROPOSED	1,479 SQ. FT.	(UNCONDITIONED)
3RD FLOOR PROPOSED	1,612 SQ. FT.	(CONDITIONED)
4TH FLOOR PROPOSED	1,529 SQ. FT.	(CONDITIONED)
4TH FLOOR PROPOSED	1,330 SQ. FT.	(CONDITIONED)
TOTAL PROPOSED	4,949 SQ. FT.	(CONDITIONED)
	1,479 SQ. FT.	(UNCONDITIONED)
NET CHANGE	2,818 SQ. FT.	(CONDITIONED)
	501 SQ. FT.	(UNCONDITIONED)

(N) GFA PER UNIT:

UNIT 1-	2,095 SQ. FT.
UNIT 2-	1,538 SQ. FT.
UNIT 3-	1,330 SQ. FT.

USABLE OPEN SPACE:

UNIT 1	1,062 SQ. FT.	(1ST FLOOR - PRIVATE)
UNIT 2-	100 SQ. FT.	(3RD FLR - PRIVATE)
UNIT 3-	126 SQ. FT.	(4TH FLR - PRIVATE)
	474 SQ. FT.	(ROOF - PRIVATE)

BUILDING INFORMATION

CONSTRUCTION TYPE	TYPE - 5B
OCCUPANCY	(E) R-3; (N) R-2
MINIMUM ROOF CLASS	CLASS B ROOF

PROJECT PARTICIPANTS:

ARCHITECT:

JOHN LUM ARCHITECTURE
3246 17TH STREET
SAN FRANCISCO, CA 94110

PROJECT MANAGER:
MICHAEL MORRISON
T. 415.558.9550 x0024
F. 415.558.0554

OWNER:

BOTTLENOSEDOLPHIN LLC
33 CAPRA WAY
SAN FRANCISCO, CA 94123

GENERAL CONTRACTOR:

T.B.D.

STRUCTURAL ENGINEER:

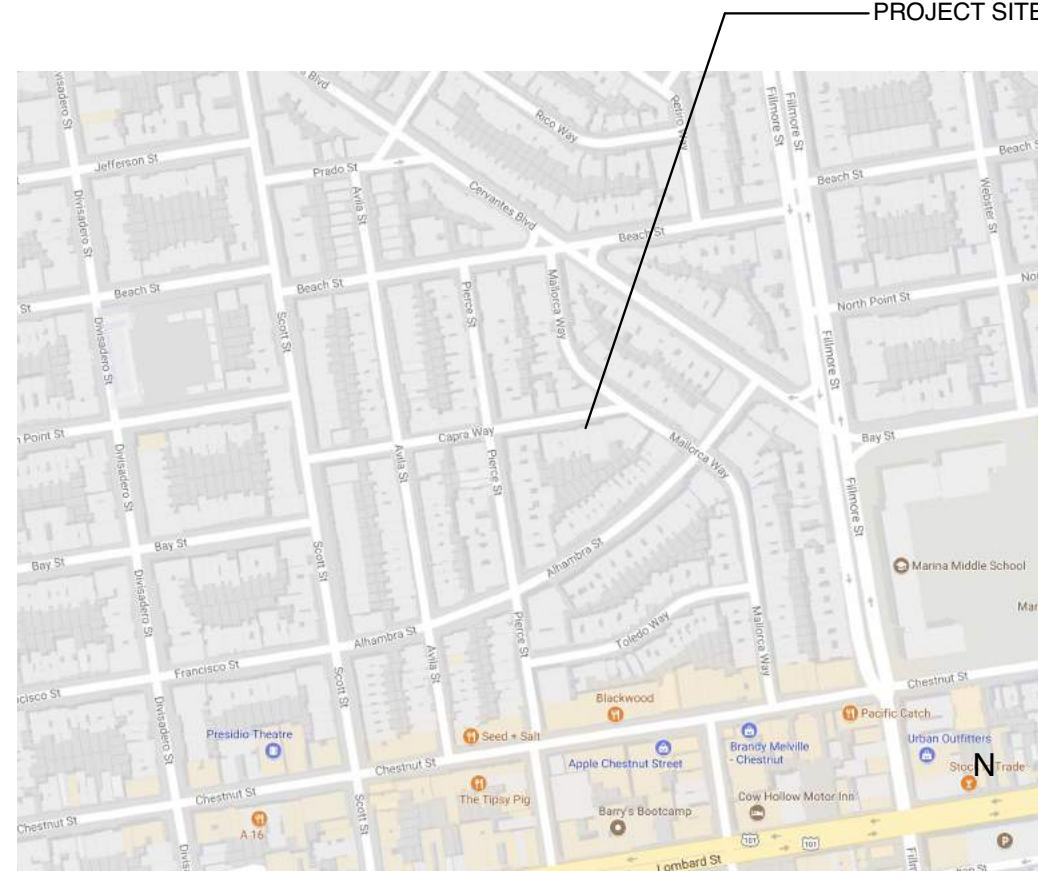
T.B.D.

DRAWING INDEX

ARCHITECTURAL

1.	A0.00	TITLE SHEET
2.	A0.01	SITE PLAN
3.	A0.02	SITE PLAN
4.	A0.03	SITE PHOTOS
5.	A0.04	PERSPECTIVE
6.	A0.04b	PERSPECTIVE
7.	A0.05	STREET CONTEXT
8.	A0.05b	BLOCK CONTEXT
9.	A0.06	DEMO CALCS
10.	A0.07	DEMO CALCS
11.	A0.08	DEMO CALCS
12.	A0.09	AB-09 FORM
13.	A1.00	EGRESS, LEGEND, ADD'L NOTES
14.	A1.01	FLOOR PLANS
15.	A1.02	FLOOR PLANS
16.	A1.03	FLOOR PLANS
17.	A1.04	ROOF PLAN
18.	A3.01	EXTERIOR ELEVATIONS
19.	A3.02	EXTERIOR ELEVATIONS
20.	A3.03	EXTERIOR ELEVATIONS
21.	A3.04	EXTERIOR ELEVATIONS
22.	A3.05	EXTERIOR ELEVATIONS
23.	A3.06	EXTERIOR ELEVATIONS
24.	A3.07	EXTERIOR ELEVATIONS
25.	A3.08	EXTERIOR ELEVATIONS
26.	A3.09	BUILDING SECTIONS
27.	A3.10	BUILDING SECTIONS
28.	A9.01	SF GREEN BLDG.

VICINITY MAP:



33 CAPRA WAY REMODEL

NOT FOR
CONSTRUCTION
10.31.19

33 Capra Way
San Francisco, CA 94123
0463A - 032

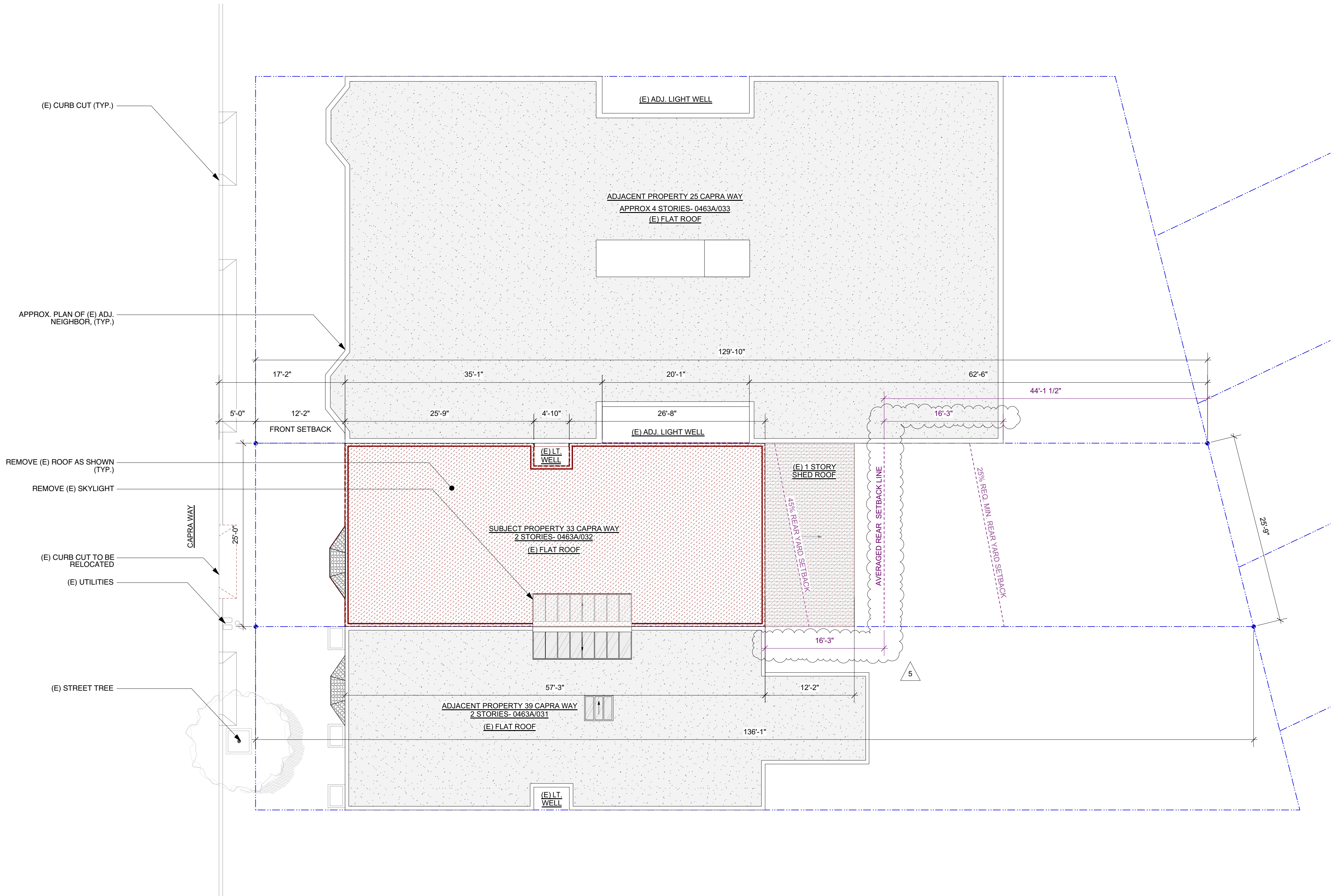
BOTTLENOSEDOLPHIN LLC
33 Capra Way
San Francisco, CA 94123

client:

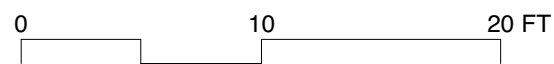
date	issues / revisions	by
05.17.18	preapp meeting	rm
06.01.18	site permit	rm
10.11.18	site permit revision 1	rm
11.12.18	site permit revision 2	rm
02.08.19	site permit revision 3	rm
02.13.19	site permit revision 4	rm
05.03.19	neighbor meeting	rm
05.10.19	neighbor outreach	rm
06.12.19	dr response revision 5	rm

TITLE SHEET

A0.00



1 SITE PLAN- EXISTING/ DEMO
A0.01 Scale: 1/8" = 1'-0"



NOT FOR
CONSTRUCTION
10.31.19

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94110
0463A-1032

Bortlenosodolphin LLC
33 Capra Way
San Francisco, CA 94123

client:

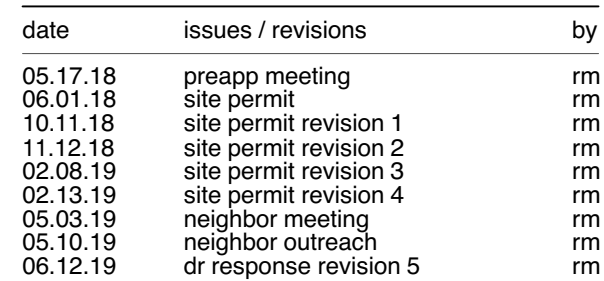
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05.17.18	preapp meeting	rm
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05.10.19	neighbor outreach	rm
06.12.19	dr response revision 5	rm

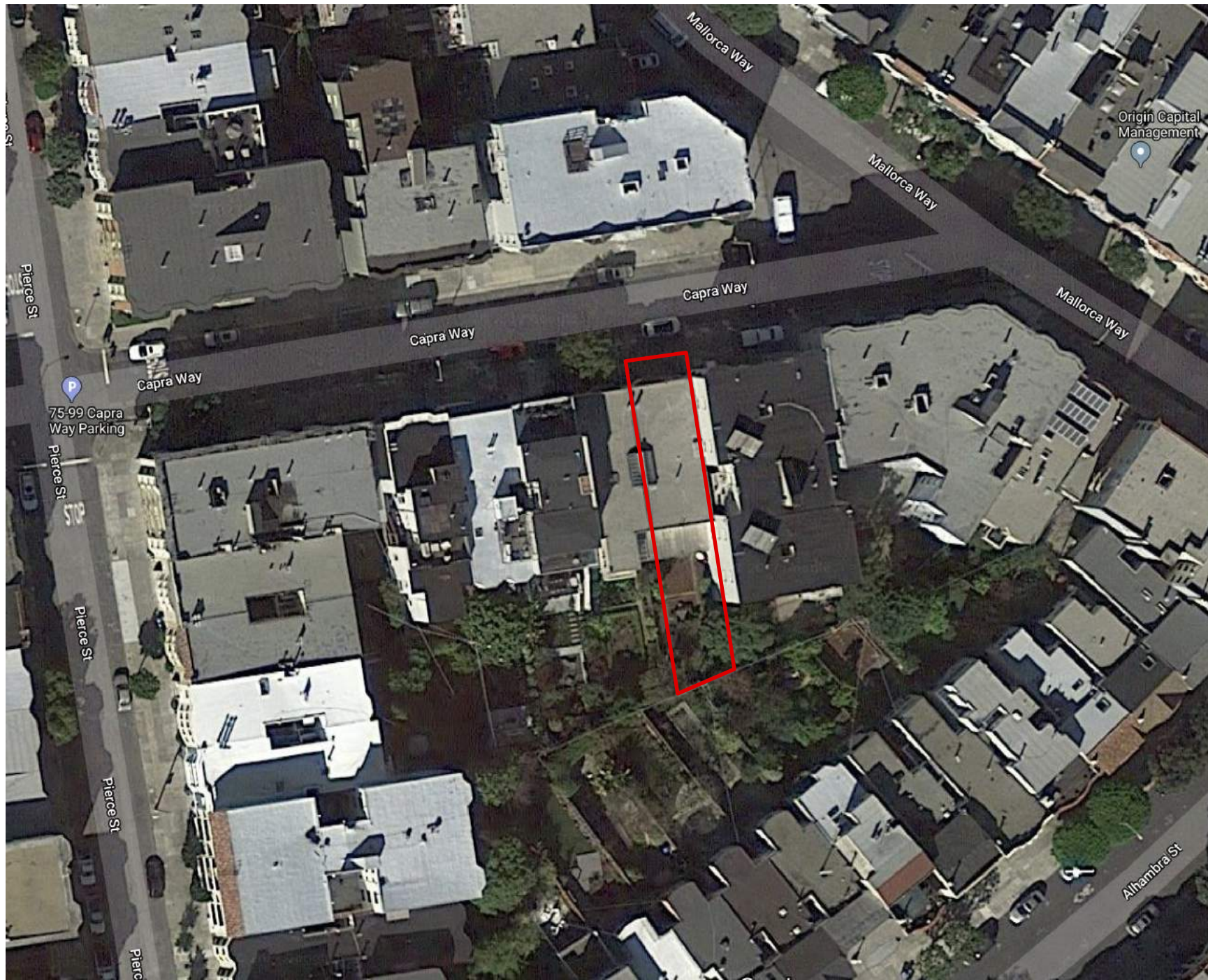
SITE PLAN

A0.01

John Lum Architecture

JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.9554





SUBJECT PROPERTY 33 CAPRA WAY



ADJACENT BUILDING 25 CAPRA WAY



SUBJECT PROPERTY (NORTH) FACADE



ADJACENT BUILDING 39 CAPRA WAY



NEIGHBORING BUILDING ACROSS STREET



REAR OF ADJACENT BUILDING 39 CAPRA WAY



SUBJECT PROPERTY REAR (SOUTH) FACADE



REAR OF ADJACENT BUILDING 25 CAPRA WAY

NOT FOR
CONSTRUCTION
10.31.18

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94132
0463A-1032

client:

Bortlenosodolpin LLC
33 Capra Way
San Francisco, CA 94132

date	issues / revisions	by
05.17.18	preapp meeting	rm
06.01.18	site permit	rm
10.11.18	site permit revision 1	m
11.12.18	site permit revision 2	rm
02.08.19	site permit revision 3	rm
02.13.19	site permit revision 4	m
05.03.19	neighbor meeting	rm
05.10.19	neighbor outreach	rm
06.12.19	dr response revision 5	rm

SITE PHOTOS

A0.03

JOHN LUM ARCHITECTURE

3246 SEVENTEEN STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.9554



1 VIEW ACROSS THE STREET



2 VIEW AT REAR OF PROPERTY



3 VIEW DOWN THE STREET

PROPOSED VIEWS N.T.S.

NOT FOR
CONSTRUCTION
10.31.19

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94110

BortolossoDolphin LLC
33 Capra Way
San Francisco, CA 94110

client:

date	issues / revisions	by
05.17.18	preapp meeting	rm
06.01.18	site permit	rm
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02.13.19	site permit revision 4	rm
05.03.19	neighbor meeting	rm
05.10.19	neighbor outreach	rm
06.12.19	dr response revision 5	rm

PERSPECTIVE

A0.04

JOHN LUM ARCHITECTURE

JOHN LUM ARCHITECTURE
3246 SEVENTEEN STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.9554

PERSPECTIVE

A0.04



PROPOSED VIEWS N.T.S.

NOT FOR
CONSTRUCTION
10.31.19

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94110

Bortolosso+Dolphin LLC
33 Capra Way
San Francisco, CA 94110

client:

date	issues / revisions	by
05.17.18	preapp meeting	rm
06.01.18	site permit	rm
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05.03.19	neighbor meeting	rm
05.10.19	neighbor outreach	rm
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PERSPECTIVE

A0.04b

JOHN LUM ARCHITECTURE

JOHN LUM ARCHITECTURE
3246 SEVENTEEN STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.9554



@ MALLORCA WAY LOOKING WEST



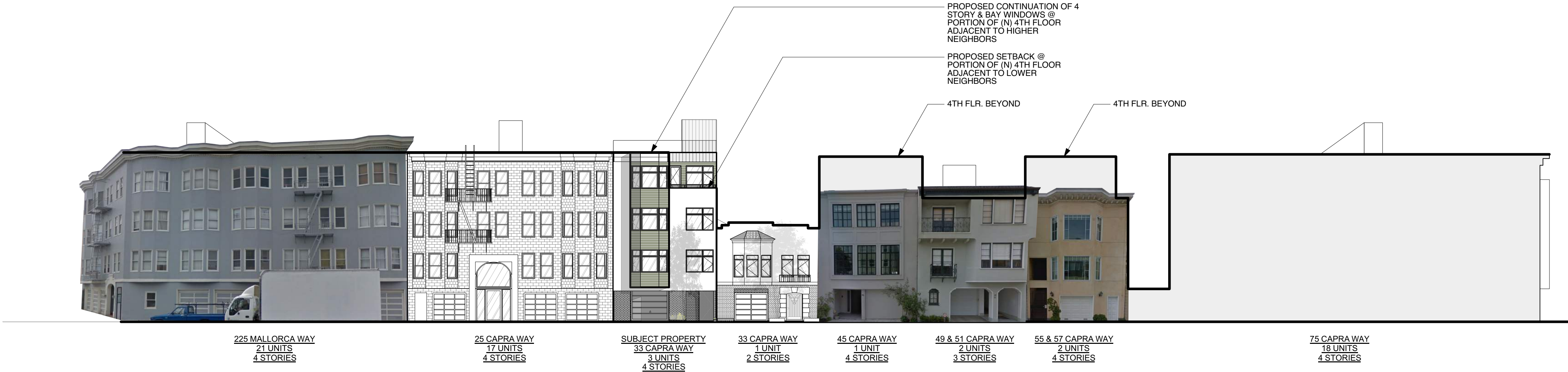
@ PIERCE ST LOOKING EAST



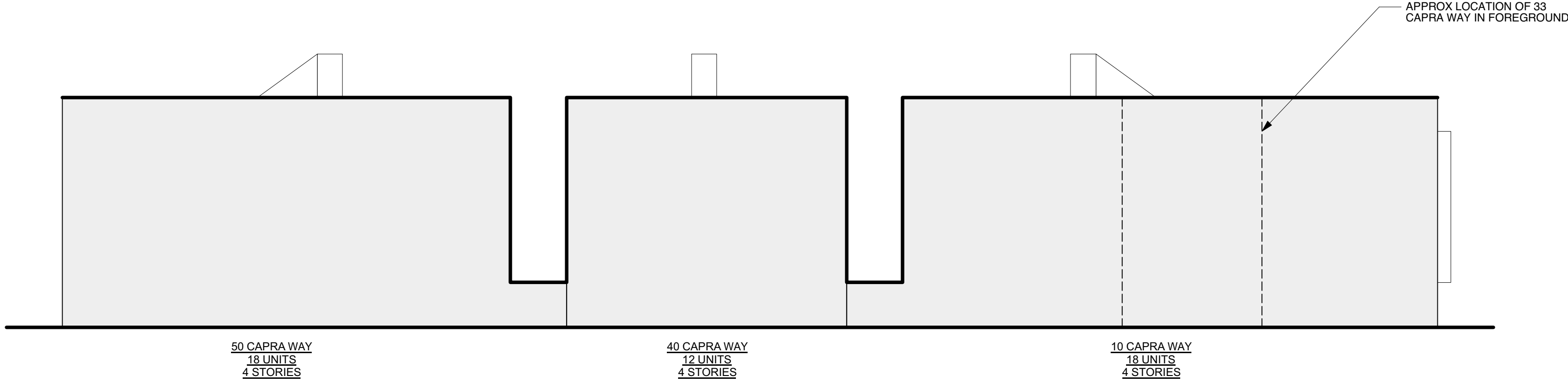
@ PIERCE ST LOOKING NORTH TOWARDS CAPRA WAY



@ MALLORCA WAY LOOKING NORTHWEST



1 STREET CONTEXT CAPRA WAY- FACING SOUTH
Scale: 1/16" = 1'-0"



2 STREET CONTEXT CAPRA WAY- FACING NORTH
Scale: 1/16" = 1'-0"

JOHN LUM ARCHITECTURE

JOHN LUM ARCHITECTURE
3246 SEVENTEEN STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.9554

NOT FOR
CONSTRUCTION
10.31.19

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94103
0463A-1032

Bottlenosedolphin LLC
33 Capra Way
San Francisco, CA 94123

client:

date	issues / revisions	by
05.17.18	preapp meeting	rm
06.01.18	site permit	rm
10.11.18	site permit revision 1	m
11.12.18	site permit revision 2	rm
02.08.19	site permit revision 3	rm
02.13.19	site permit revision 4	m
05.03.19	neighbor meeting	rm
05.10.19	neighbor outreach	rm
06.12.19	dr response revision 5	rm

STREET CONTEXT

A0.05



1 BLOCK CONTEXT- EXISTING
A0.05b NOT TO SCALE



2 BLOCK CONTEXT- PROPOSED
A0.05b NOT TO SCALE

BUILDING HEIGHTS LEGEND:

- 1 STORY
- 2 STORIES
- 3 STORIES
- 4 STORIES

NOT FOR
CONSTRUCTION
10.31.19

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94103
0463A-1032

client:
Bottlenosedolphin LLC
33 Capra Way
San Francisco, CA 94123

date	issues / revisions	by
05.17.18	preapp meeting	rm
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10.11.18	site permit revision 1	rm
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02.13.19	site permit revision 4	rm
05.03.19	neighbor meeting	rm
05.10.19	neighbor outreach	rm
06.12.19	dr response revision 5	rm

NOT FOR
CONSTRUCTION
10.31.19

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94132

Bottlenosedolphin LLC
33 Capra Way
San Francisco, CA 94132

client:

date	issues / revisions	by
05.17.18	preapp meeting	rm
06.01.18	site permit	rm
10.11.18	site permit revision 1	rm
11.12.18	site permit revision 2	rm
02.08.19	site permit revision 3	rm
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05.03.19	neighbor meeting	rm
05.10.19	neighbor outreach	rm
06.12.19	dr response revision 5	rm

DEMO CALCS

A0.06

DEMOLITION CALCULATIONS PER SECTION 317 (b) (2)

1.	1/A0.05 BEYOND THRESHOLD	EXTERIOR WALL AT FRONT AND REAR FACADES	TOTAL LINEAR FEET: 50'-0"		
			TOTAL TO BE REMOVED: 50'-0"	100%	
			TOTAL TO BE RETAINED: 0'-0"	0%	
2.	2/A0.05 PASSED	ALL EXTERIOR WALLS	TOTAL LINEAR FEET: 164'-6"		
			TOTAL TO BE REMOVED: 50'-0"	30.4%	
			TOTAL TO BE RETAINED: 114'-6"	69.6%	
3.	1,2,3&4/A0.06 PASSED	VERTICAL ELEMENTS	TOTAL VERTICAL ELEMENTS: 3836 SF		
			TOTAL VERT. ELEMENTS REMOVED: 1459 SF	38.6%	
			TOTAL VERT. ELEMENTS RETAINED: 2377 SF	61.4%	
2.	1&2/A0.07 BEYOND THRESHOLD	HORIZONTAL ELEMENTS	TOTAL HORIZONTAL ELEMENTS: 2912 SF		
			TOTAL HORIZ. ELEMENTS REMOVED: 2912 SF	100%	
			TOTAL HORIZ. ELEMENTS RETAINED: 0 SF	0%	

PASSED PLANNING CODE §317(2)(b):
A MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT FACADE AND REAR FACADE AND ALSO PROPOSES TEH REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS, MEASURED IN LINEAR FEET AT FOUNDATION LEVEL, OR

PASSED PLANNING CODE §317(2)(c):
A MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS AND MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

SYMBOLS:

TO BE RETAINED —
TO BE REMOVED —

SEC. 317 (2) (B) - PART 1

REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT AND REAR FACADE MEASURED IN LINEAR FEET AT THE FOUNDATION LEVEL

SUM OF FRONT FACADE AND REAR FACADE

ELEMENT	(E) LENGTH (ft.)	TO BE REMOVED (ft.)	% TO BE REMOVED	TO BE RETAINED (ft.)	% TO BE RETAINED
A: FRONT(NORTH) FACADE	25'-0"	25'-0"		0'-0"	
C: REAR(SOUTH) FACADE	25'-0"	25'-0"		0'-0"	
TOTALS:	50'-0"	50'-0"	100%	0'-0"	0%

SYMBOLS:

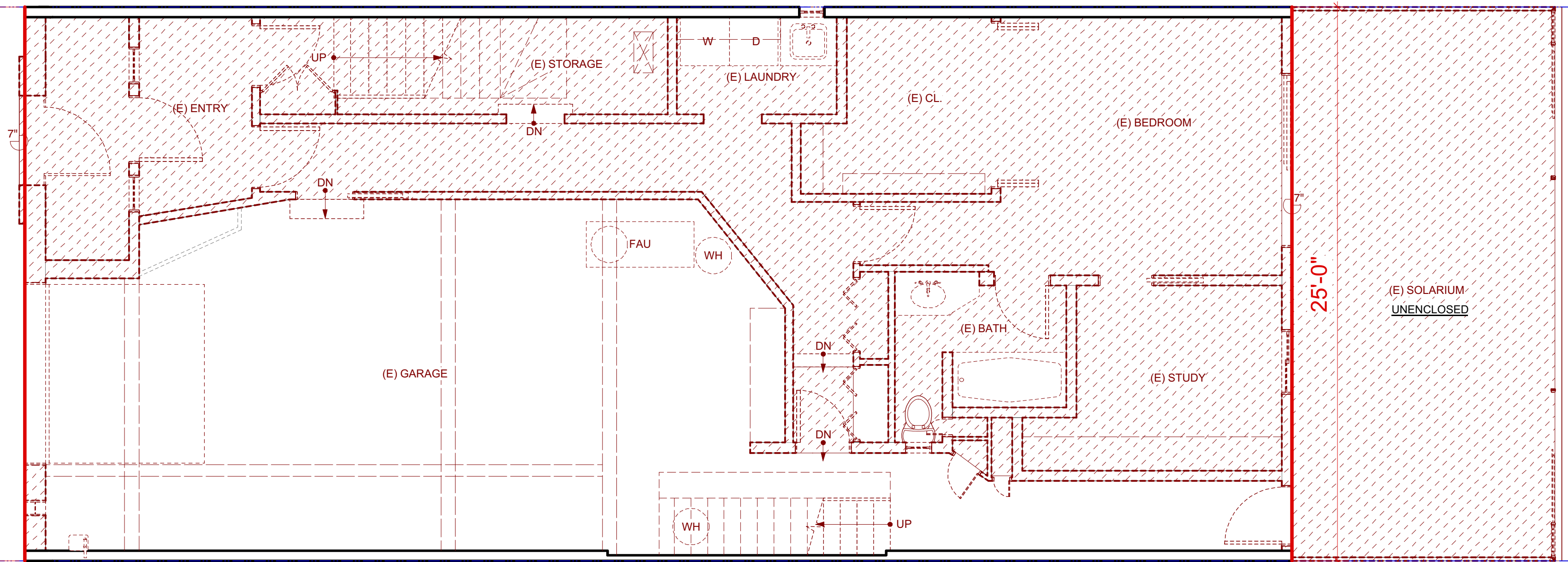
TO BE RETAINED —
TO BE REMOVED —

SEC. 317 (2) (B) - PART 2

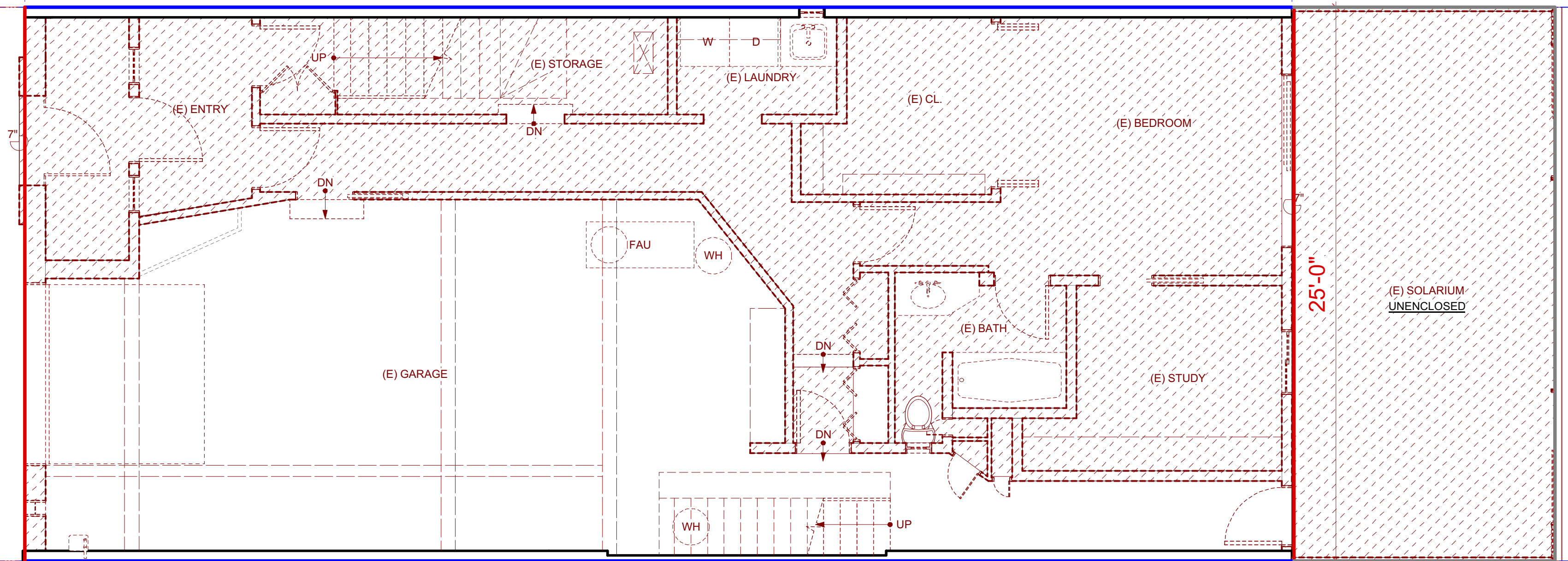
REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS MEASURED IN LINEAR FEET AT THE FOUNDATION LEVEL

LINEAR FOOTAGE MEASUREMENT

ELEMENT	(E) LENGTH (ft.)	TO BE REMOVED (ft.)	% TO BE REMOVED	TO BE RETAINED (ft.)	% TO BE RETAINED
A: FRONT(NORTH) FACADE	25'-0"	25'-0"		0'-0"	
C: REAR(SOUTH) FACADE	25'-0"	25'-0"		0'-0"	
B: SIDE 1(EAST) FACADE	57'-3"	0'-0"		57'-3"	
D: SIDE 2(WEST) FACADE	57'-3"	0'-0"		57'-3"	
TOTALS:	164'-6"	50'-0"	30.4%	114'-6"	69.6%

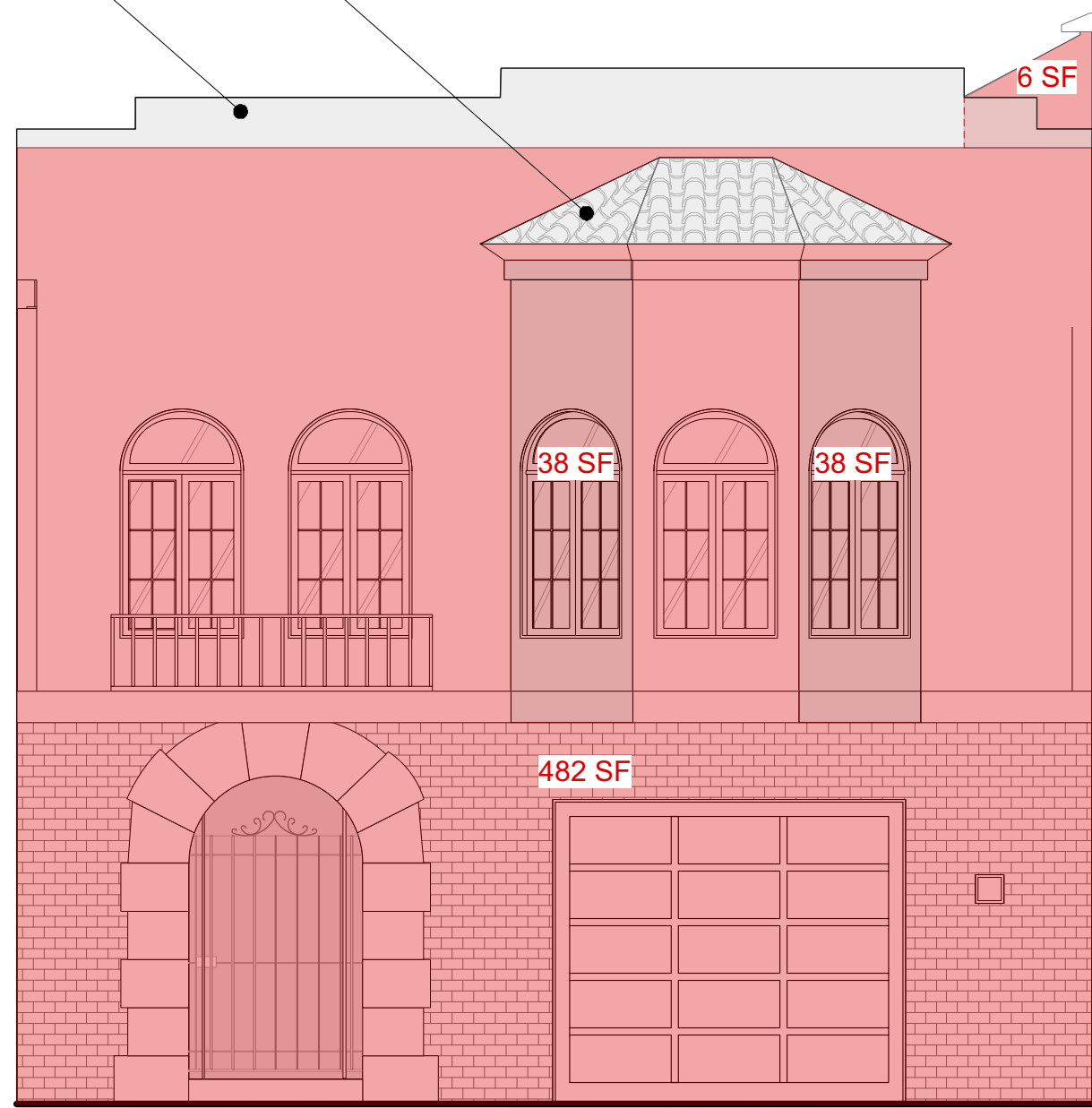


1 FIRST FLOOR PLAN- EXISTING/DEMO
Scale: 1/4" = 1'-0"



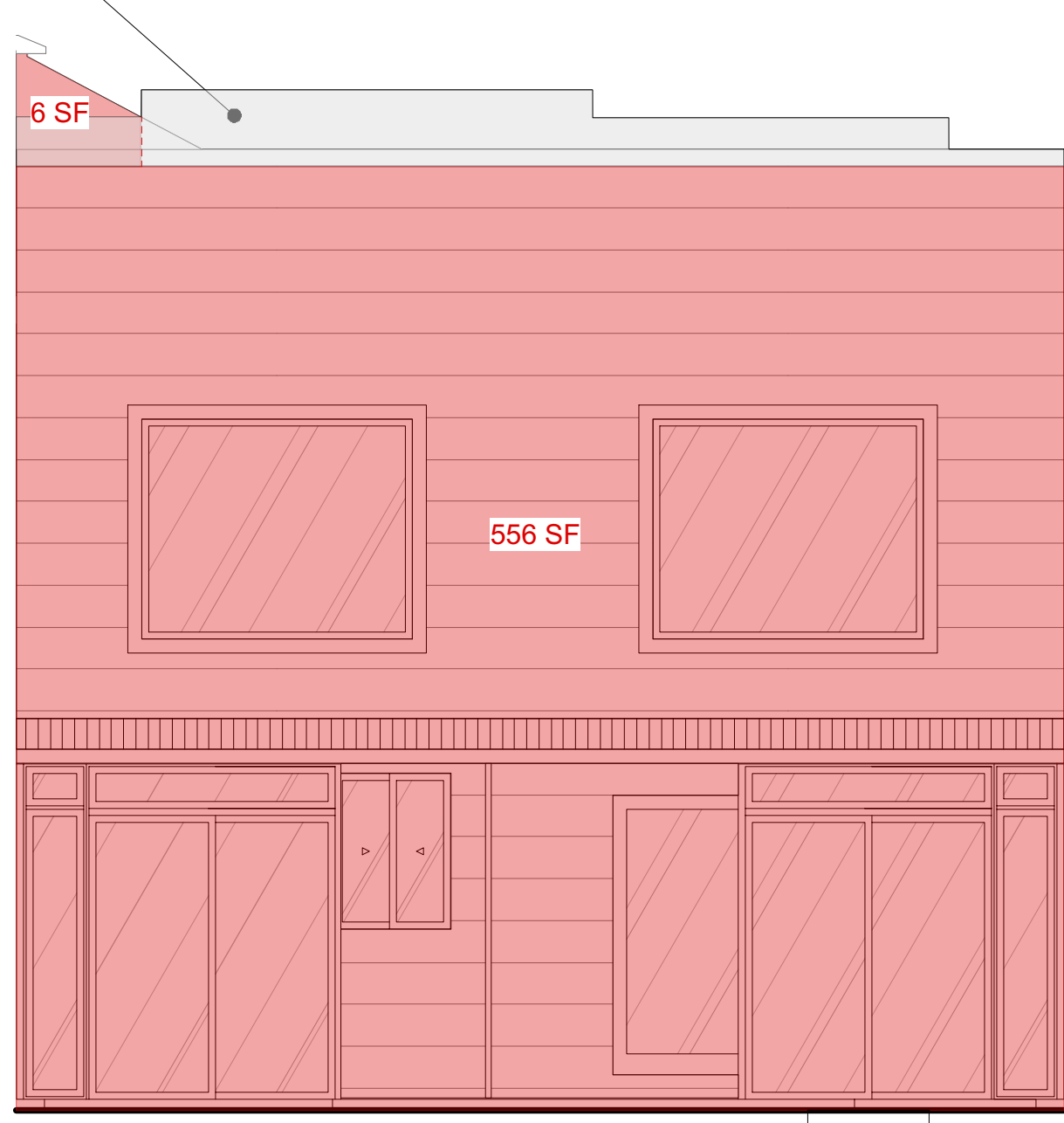
2 FIRST FLOOR PLAN- EXISTING/DEMO
Scale: 1/4" = 1'-0"

ROOF IS INCLUDED IN
HORIZONTAL ELEMENT CALC
PARAPET IS EXCLUDED FROM
CALC

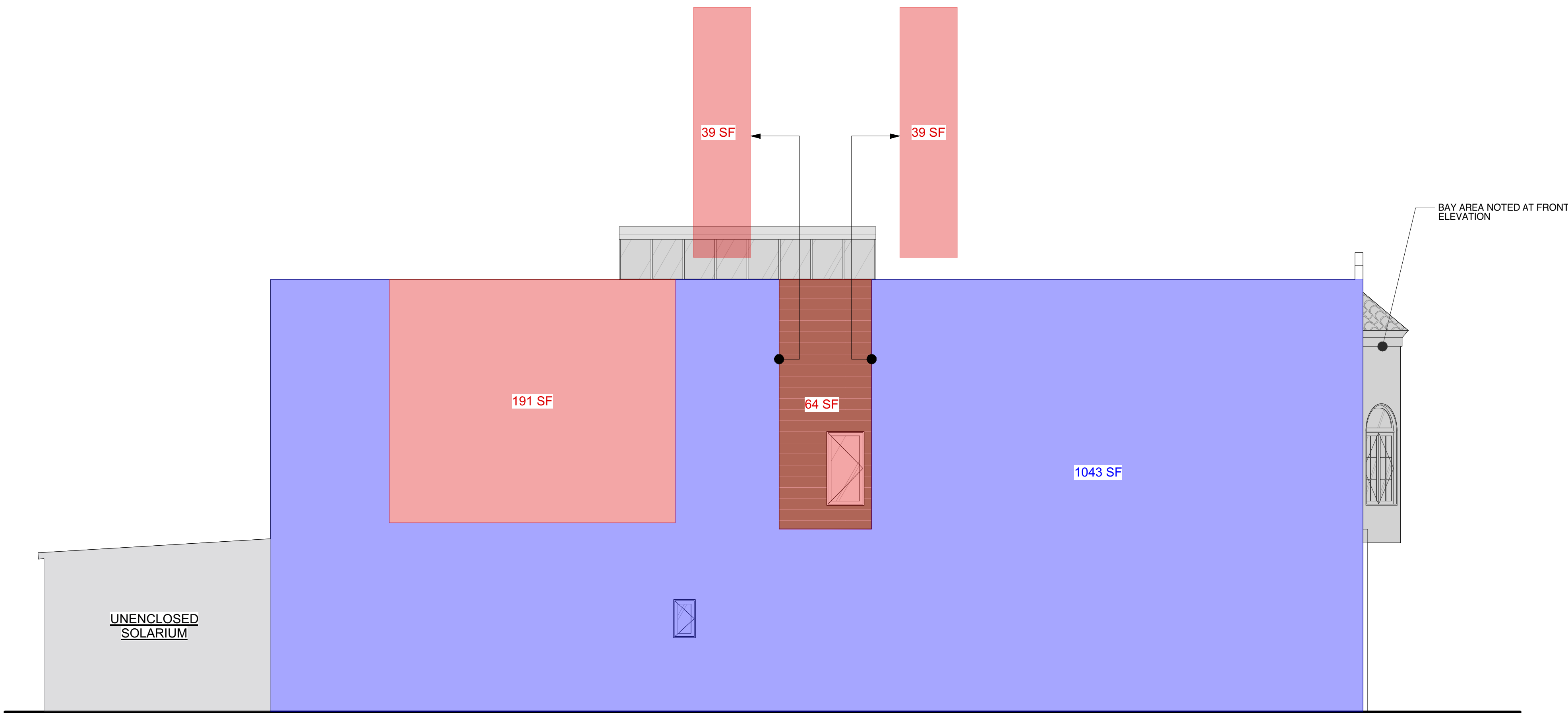


1 EXTERIOR ELEVATION- NORTH/FRONT- VERTICAL ELEMENTS
Scale: 1/4" = 1'-0"

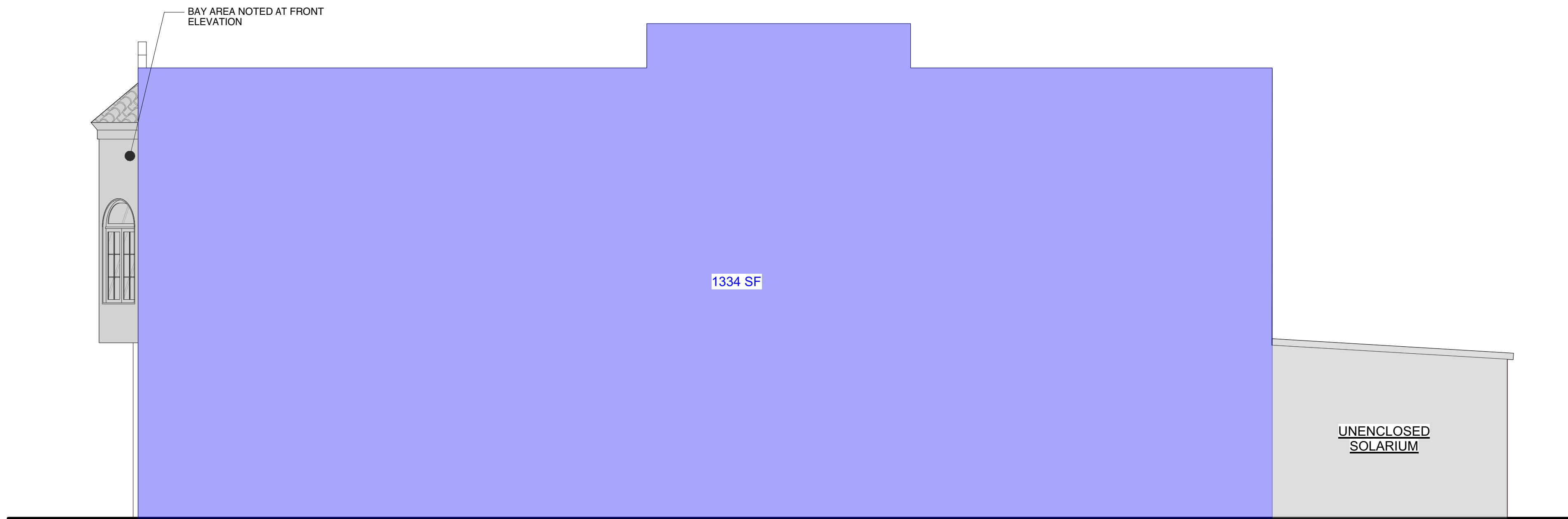
PARAPET IS EXCLUDED FROM
CALC



3 EXTERIOR ELEVATION- SOUTH/REAR- VERTICAL ELEMENTS
Scale: 1/4" = 1'-0"



2 EXTERIOR ELEVATION- SIDE/EAST- VERTICAL ELEMENTS
Scale: 1/4" = 1'-0"



4 EXTERIOR ELEVATION- WEST/SIDE- VERTICAL ELEMENTS
Scale: 1/4" = 1'-0"

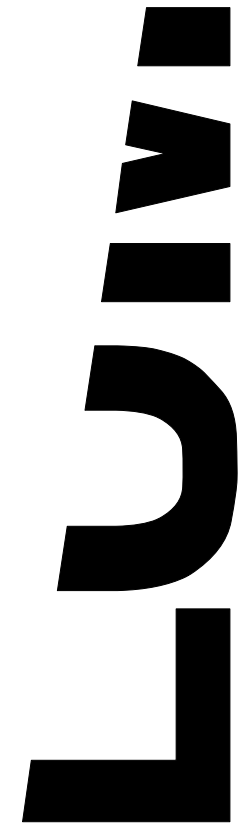
SYMBOLS:

TO BE RETAINED
TO BE REMOVED

SEC. 317 (2) (C) - PART 1

REMOVAL OF MORE THAN 50% OF THE VERTICAL
ENVELOPE ELEMENTS OF THE EXISTING BUILDING, AS
MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA

VERTICAL ELEMENTS	(E) AREA (sq. ft.)	TO BE REMOVED (sq. ft.)	% TO BE REMOVED	TO BE RETAINED (sq. ft.)	% TO BE RETAINED
A: FRONT(NORTH) FACADE	564	564		0	
B: SIDE 1(EAST) FACADE	1,376	333		1,043	
C: REAR(SOUTH) FACADE	562	562		0	
D: SIDE 2(WEST) FACADE	1,334	0		1,334	
TOTALS:	3,836	1,459	38.3%	2,377	61.7%



JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.9554

NOT FOR
CONSTRUCTION
10.31.19

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94133
0463A-1032

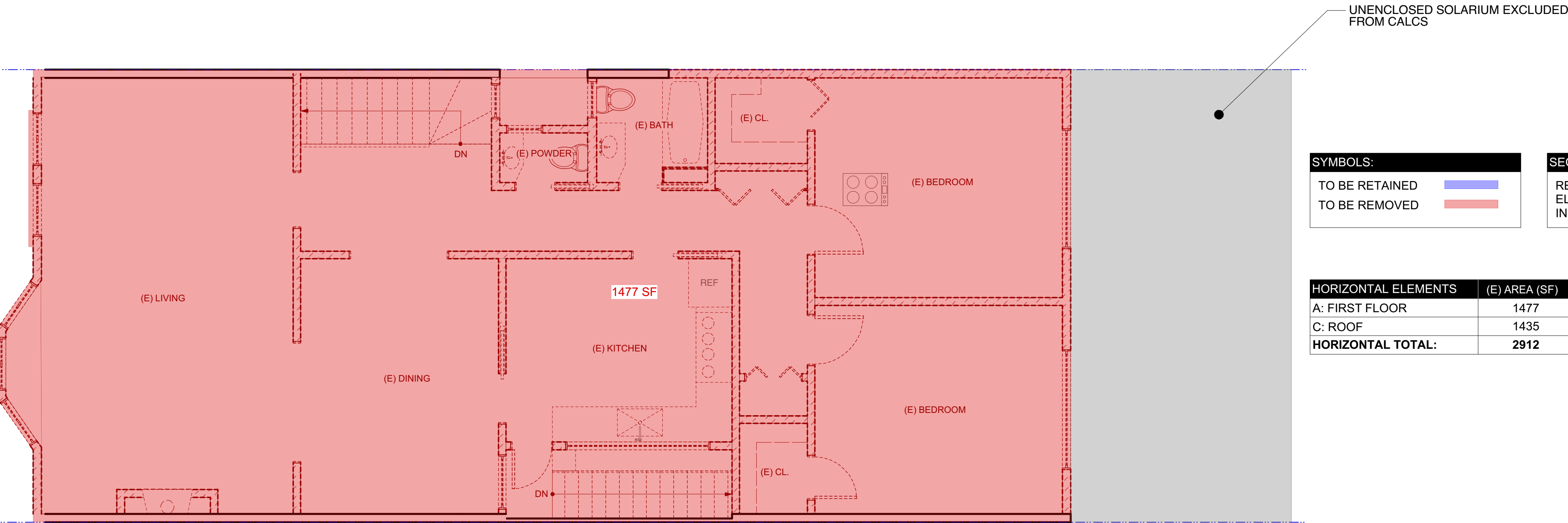
Bottlenosedolphin LLC
33 Capra Way
San Francisco, CA 94133

client:

date	issues / revisions	by
05.17.18	preapp meeting	rm
06.01.18	site permit	rm
10.11.18	site permit revision 1	rm
11.12.18	site permit revision 2	rm
02.08.19	site permit revision 3	rm
02.13.19	site permit revision 4	rm
05.03.19	neighbor meeting	rm
05.10.19	neighbor outreach	rm
06.12.19	dr response revision 5	rm

DEMO CALCS

A0.07



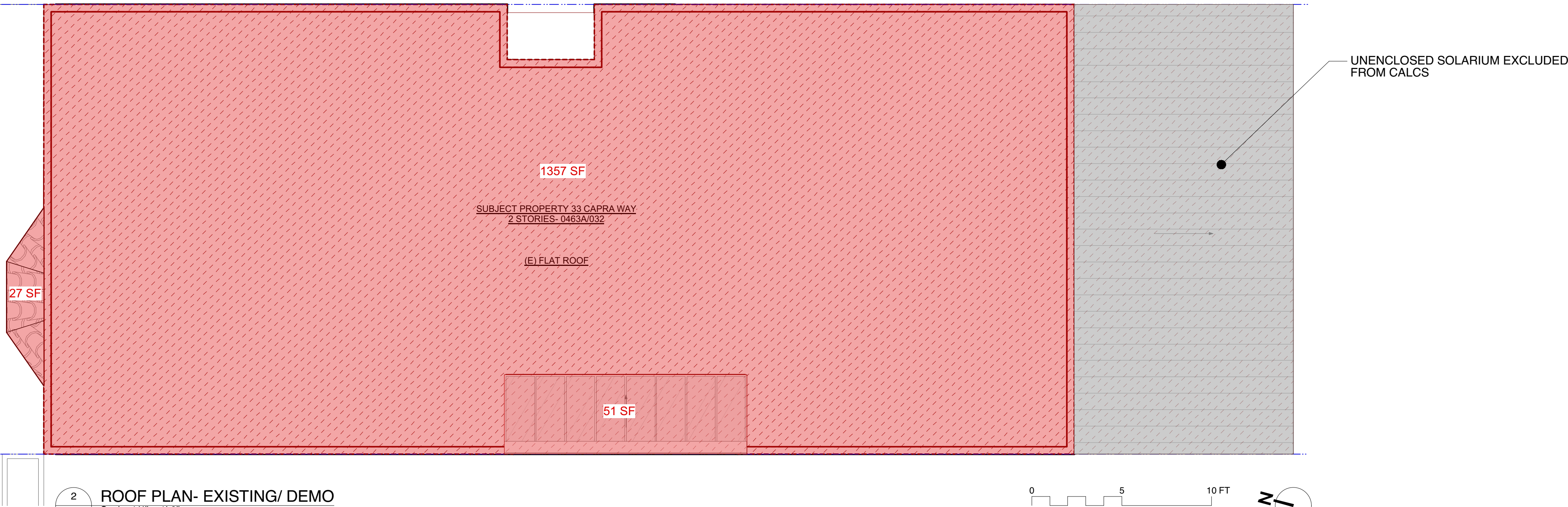
1 FIRST FLOOR PLAN- EXISTING/DEMO
Scale: 1/4" = 1'-0"



SYMBOLS:	
TO BE RETAINED	
TO BE REMOVED	

SEC. 317 (2) (C) - PART 2	
REMOVAL OF MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA	

HORIZONTAL ELEMENTS	(E) AREA (SF)	TO BE REMOVED (SF)	% TO BE REMOVED	TO BE RETAINED (SF)	% TO BE RETAINED
A: FIRST FLOOR	1477	1477		0	
C: ROOF	1435	1435		0	
HORIZONTAL TOTAL:	2912	2912	100%	0	0%



2 ROOF PLAN- EXISTING/ DEMO
Scale: 1/4" = 1'-0"



33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94110
0463A-1032

Bottlenosedolphin LLC
33 Capra Way
San Francisco, CA 94123

client:

date	issues / revisions	by
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05.10.19	neighbor outreach	rm
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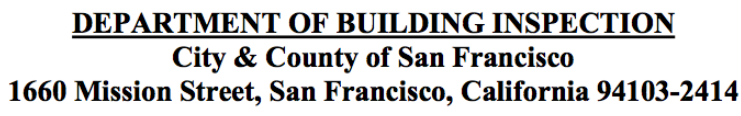
DEMO CALCS

A0.08

NOT FOR
CONSTRUCTION
10.31.19

JOHN LUM

JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.9554



DATE SUBMITTED _____ [Note: This form shall be recorded as part of the permanent construction records of the property]

If a permit application has been filed, no additional fees are required for this review.

Permit Application # _____

Property Address: 33 CAPRA WAY 94123

Block and Lot: 0463A / 032 Occupancy Group: R-2 Type of Construction: VB No. of Stories: 4

Describe Use of Building _____
(E) SINGLE FAMILY DWELLING TO BE CONVERTED TO A (N) 3-UNIT RESIDENCE

Regular Code Requirement (specify Code and Sections)
2016 CBC §705.8, TABLE 705.8 PROHIBITS WALL OPENINGS WHERE FIRE SEPARATION DISTANCE IS LESS THAN 3'-0".

[illegible]

ATTACHMENT A

Proposed Modification or Alternate

- OPENING SHALL NOT BE USED TO PROVIDE REQUIRED ACCESS TO LIGHT & AIR, EGRESS OR ESCAPE
- OPENING SHALL HAVE FIXED (NON-OPERABLE) GLAZING
- OPENING SHALL BE PROTECTED WITH A MINIMUM FIRE-RATED ASSEMBLY OF 45-MIN.
- OPENING SHALL BE LOCATED NO CLOSER THAN SIX FEET (6'-0") MEASURED IN ANY DIRECTION, TO ANY EXISTING OPENING ON ADJOINING BUILDING.
- THE OPENING SHALL BE PROTECTED BY A FIRE SPRINKLER SYSTEM HAVING ORDINARY TEMPERATURE, QUICK RESPONSE TYPE HEADS INSTALLED WITHIN 18" OF OPENINGS AND SPACED AT 6 FEET ON CENTER OR AT THE MANUFACTURER'S RECOMMENDED MINIMUM SPACING, WHICHEVER PROVIDES THE CLOSER SPACING

THE LOT WIDTH DOES NOT ALLOW FOR PROPER FIRE SEPARATION.
THE PROPOSAL MEETS THE INTENT OF THE CODE BY ADHERING TO THE SFBC 2016 AB-009 &
ENSURING ALL OPENINGS MAINTAIN A MINIMUM 3/4 FIRE-RATING (45 MIN.)

Requested by:	PROJECT SPONSOR	ARCHITECT/ENGINEER	
Print Name:	MICHAEL MORRISON	JOHN LUM	[PROFESSIONAL STAMP HERE]
Signature:			
Telephone:	415.558.9550 ext. 0024	415.558.9550 ext. 0016	

PLAN REVIEWER COMMENTS:

RECOMMENDATIONS:	Approve	Approve with conditions	Disapprove
[signed off/dated by:]			

Plan Reviewer: _____

Division Manager: _____

for Director of
Bldg. Inspection _____

for Fire Marshal: _____

CONDITIONS OF APPROVAL or OTHER COMMENTS

[illegible]

DECLARATION OF LIMITED USE PENDING PLANNING APPROVAL OF PROPOSED WINDOW LOCATION

A0.09

**NOT FOR
CONSTRUCTION**
10.31.19

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94123
0463A - 032

Bottlenosedolphin LLC
33 Capra Way
San Francisco, CA 94123

client:

date	issues / revisions	by
05.17.18	preapp meeting	rm
06.01.18	site permit	rm
10.11.18	site permit revision 1	rm
11.12.18	site permit revision 2	rm
02.08.19	site permit revision 3	rm
02.13.19	site permit revision 4	rm
05.03.19	neighbor meeting	rm
05.10.19	neighbor outreach	rm
06.12.19	dr response revision 5	rm

JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.558.9550 FAX 415.558.0554

NOT FOR
CONSTRUCTION
10.31.19

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94133
0463A-1032

Bortolozzodolphin LLC
33 Capra Way
San Francisco, CA 94123

client:

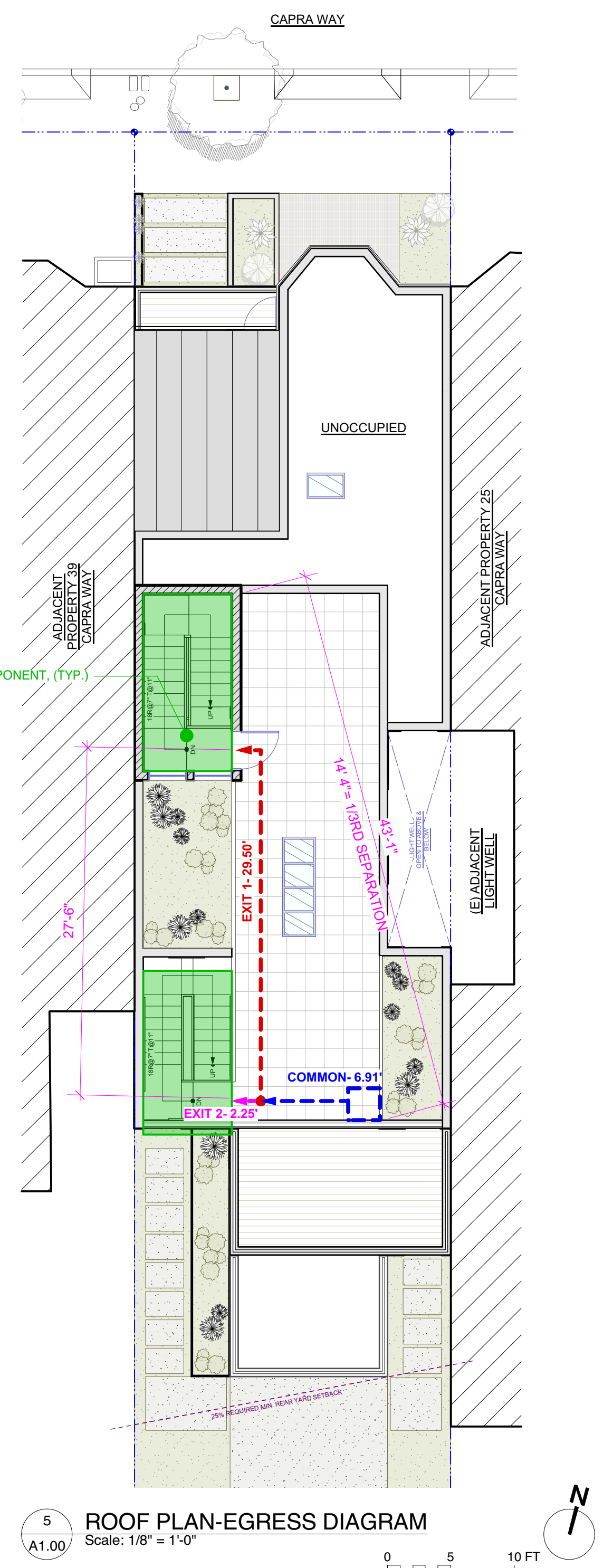
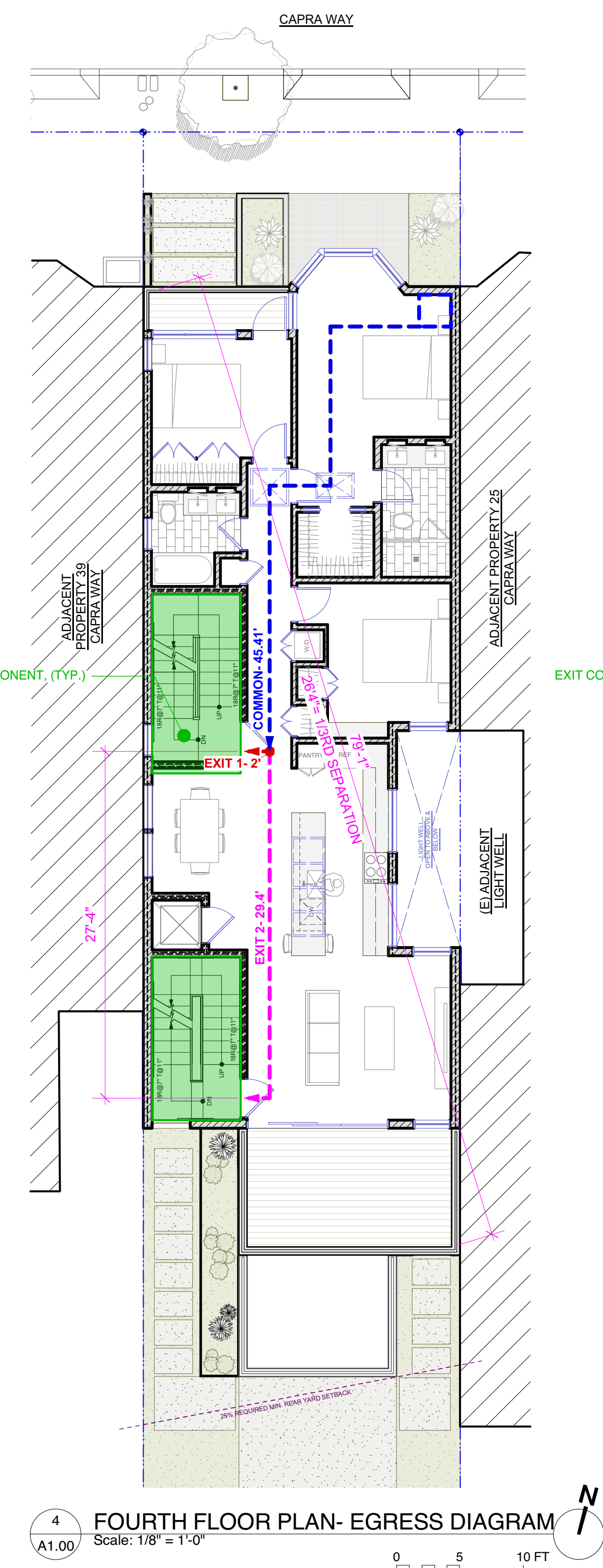
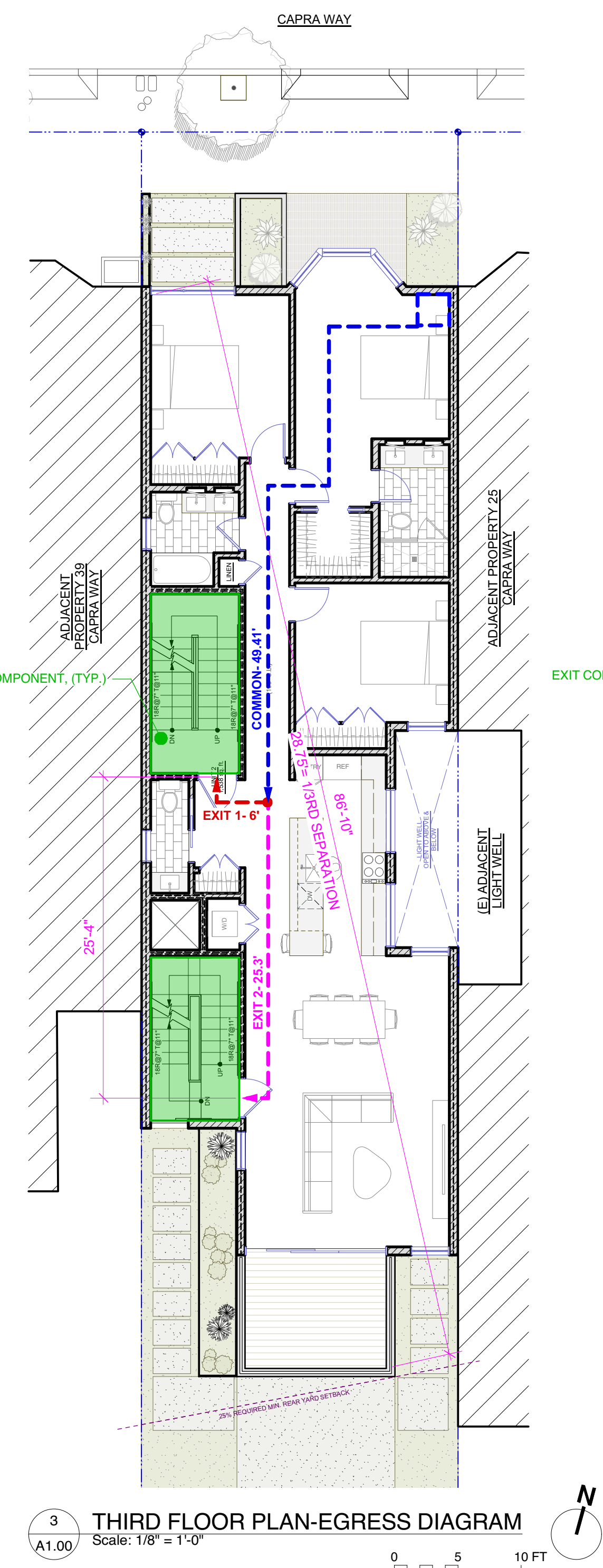
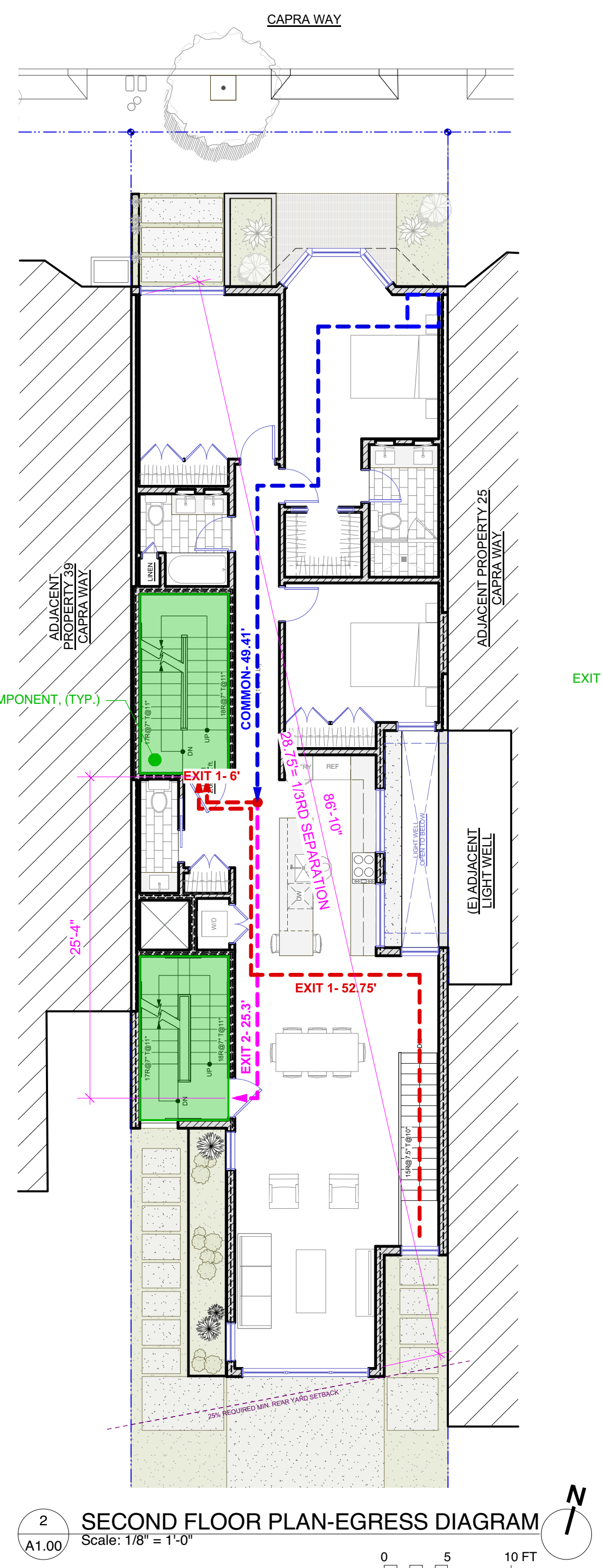
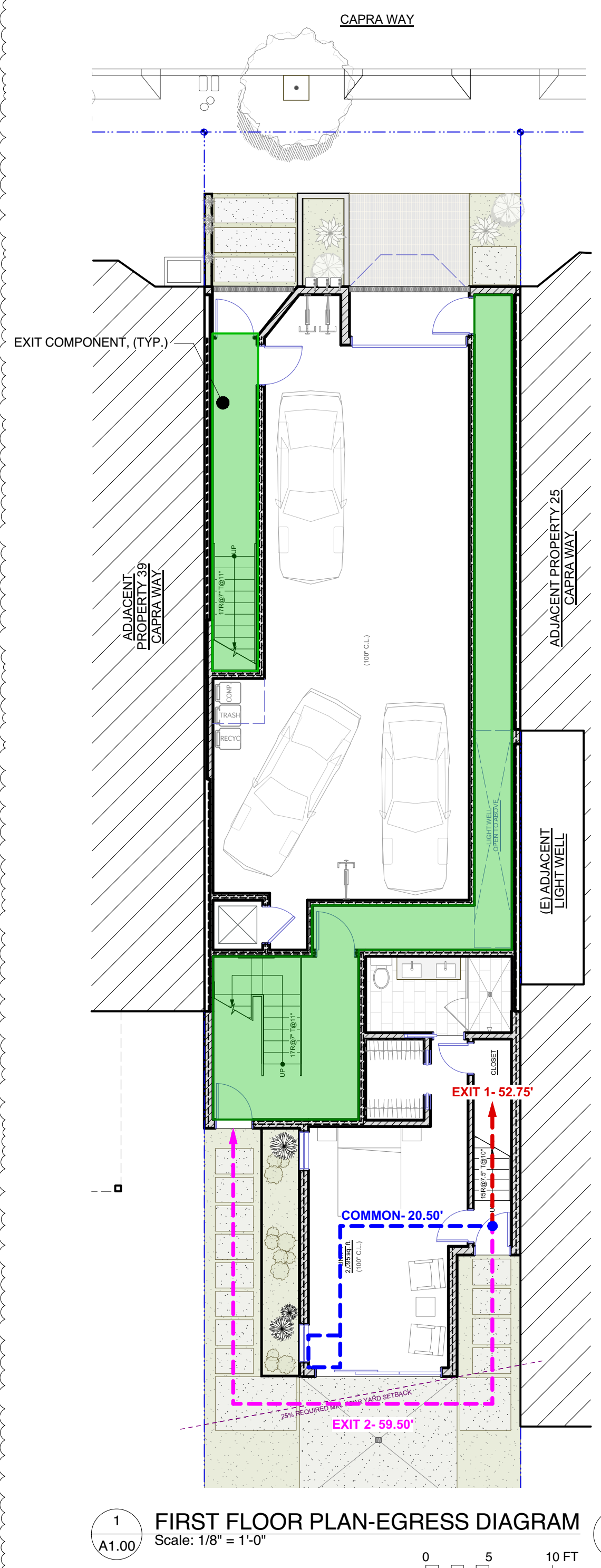
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11.12.18	site permit revision 2	rm
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02.13.19	site permit revision 4	rm
05.03.19	neighbor meeting	rm
05.10.19	neighbor outreach	rm
06.12.19	dr response revision 5	rm

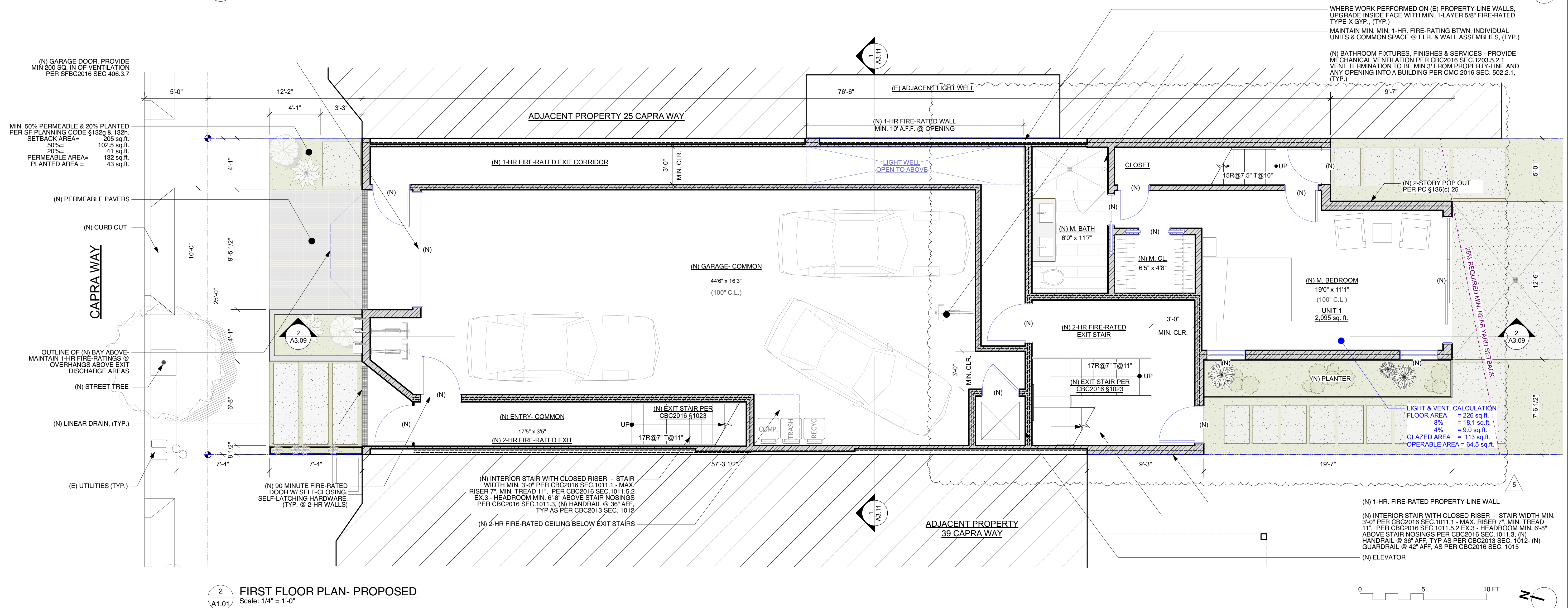
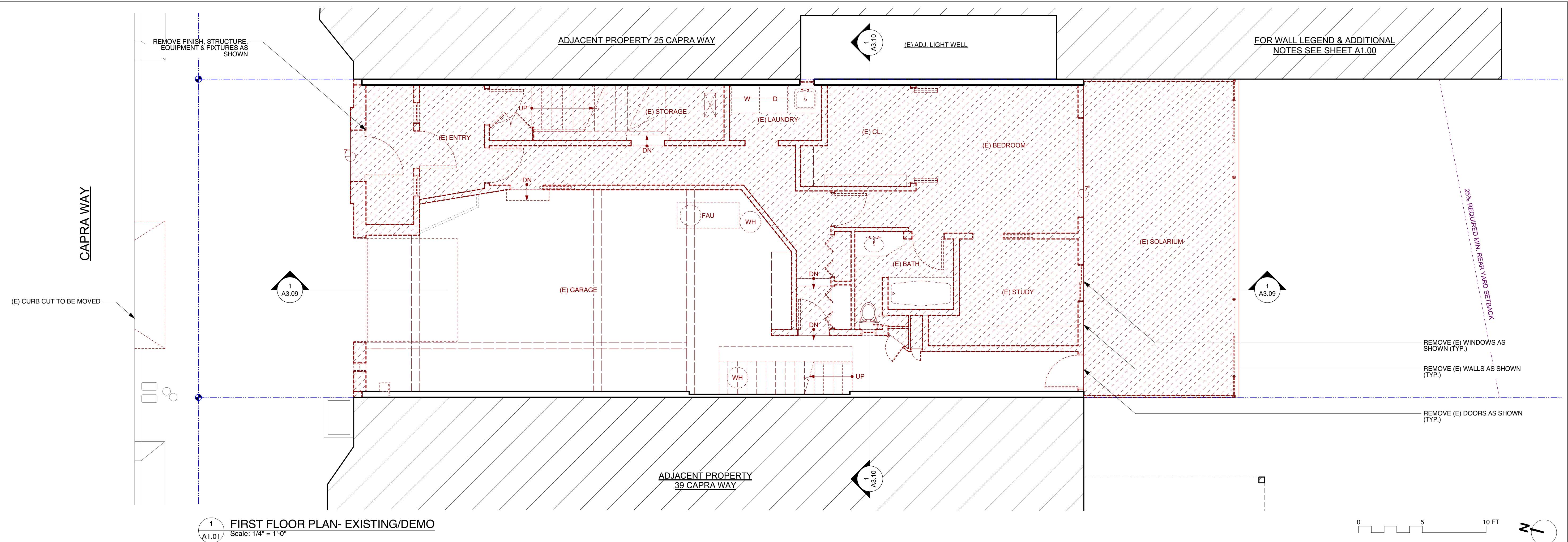
EGRESS, LEGEND, ADD'L NOTES

A1.00

EXIT ACCESS TRAVEL DISTANCES

UNIT #	COMMON (MAX 125')	EXIT 1	EXIT 2	TOTAL OF LONGEST ROUTE (MAX 250')	DIAGONAL DIM. OF OCCUPIED AREA	1/3RD OF DIAGONAL	EXIT SEPARATION
UNIT 1	19.50'	52.75'	59.50'	79.00'	86.83'	28.75'	NOT REQUIRED
	49.41'	6.00'	26.50'				
UNIT 2	49.41'	6.00'	25.33'	74.74'	86.83'	28.75'	NOT REQUIRED
UNIT 3 (2 EXITS REQ'D ABOVE 3RD FLR.)	45.41'	2.00'	29.40'	74.81'	79.08'	26.36'	27.36' (>1/3RD REQ'D)
ROOF (2 EXITS REQ'D ABOVE 3RD FLR.)	6.91'	29.50'	2.25'	36.41'	43.08'	14.33'	27.50' (>1/3RD REQ'D)





INCO

**NOT FOR
CONSTRUCTION**
10.31.19

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94123
0463A - 032

Bottlenosedolphin LLC
33 Capra Way
San Francisco, CA 94123

client:

date	issues / revisions	by
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02.13.19	site permit revision 4	rm
05.03.19	neighbor meeting	rm
05.10.19	neighbor outreach	rm
06.12.19	dr response revision 5	rm

FLOOR PLANS

A1.01

NOT FOR
CONSTRUCTION
10.31.19

Bottlenosedolphin LLC
33 Capra Way
San Francisco, CA 94132
0463A-1032

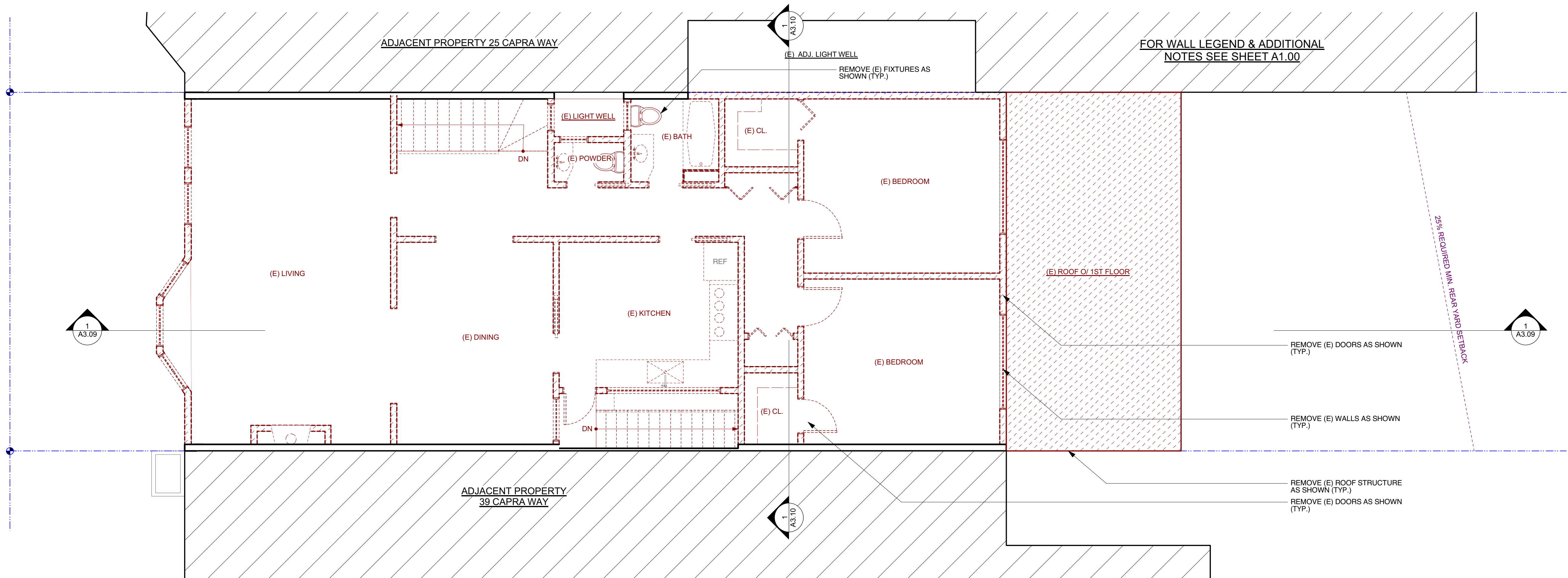
client:

33 CAPRA WAY REMODEL

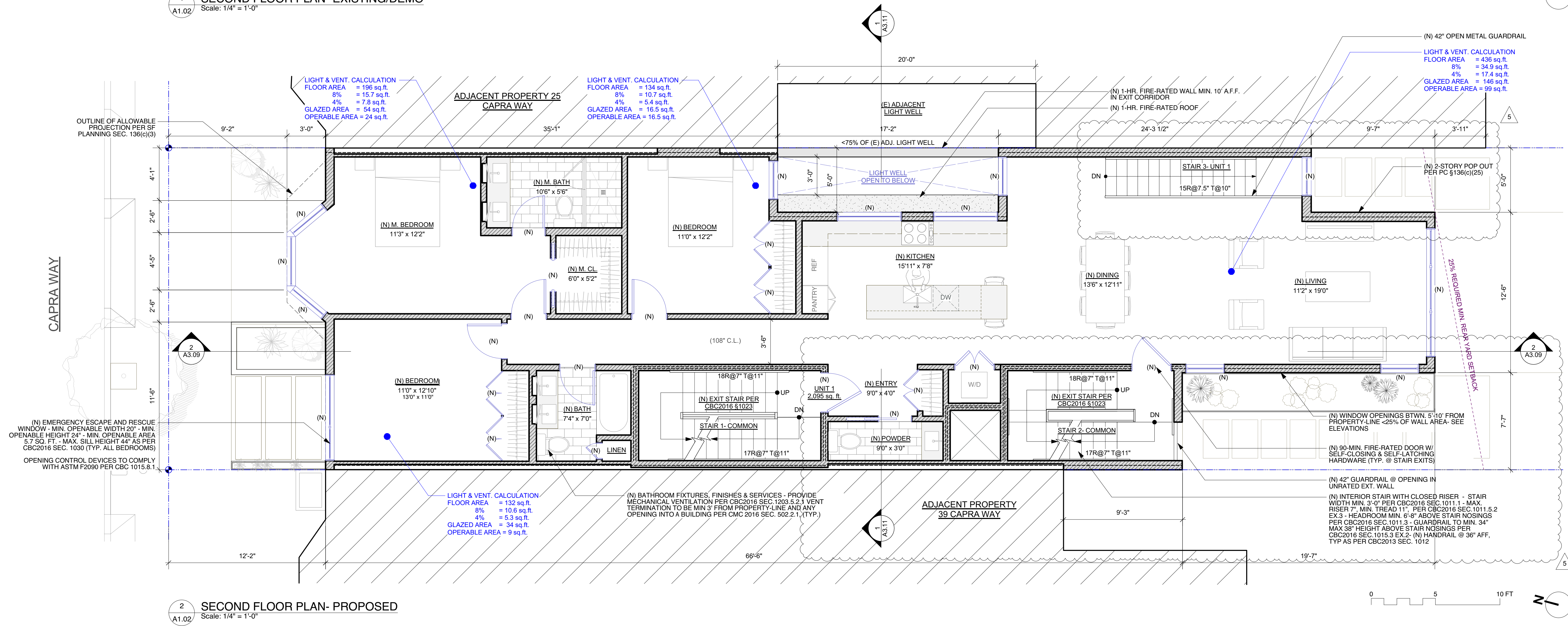
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10.11.18	site permit revision 1	rm
11.12.18	site permit revision 2	rm
02.08.19	site permit revision 3	rm
02.13.19	site permit revision 4	rm
05.03.19	neighbor meeting	rm
05.10.19	neighbor outreach	rm
06.12.19	dr response revision 5	rm

FLOOR PLANS

A1.02



1 SECOND FLOOR PLAN- EXISTING/DEMO
Scale: 1/4" = 1'-0"



2 SECOND FLOOR PLAN- PROPOSED
Scale: 1/4" = 1'-0"

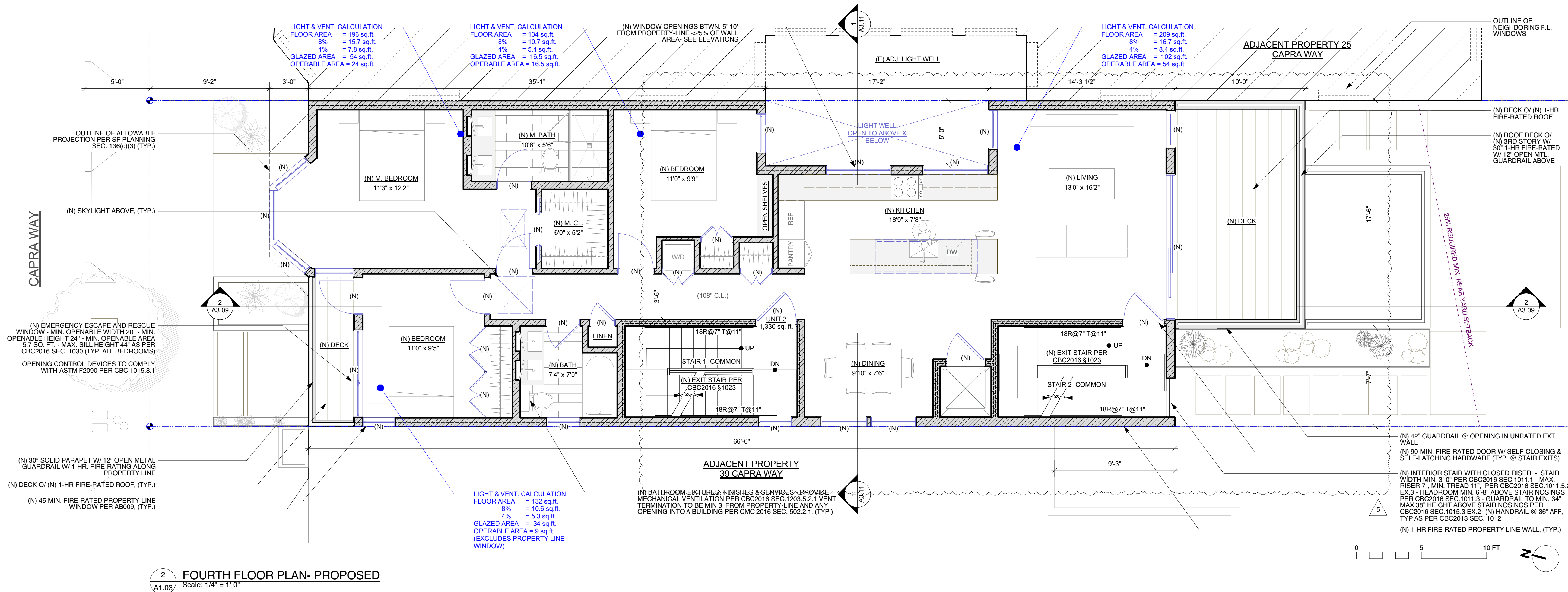
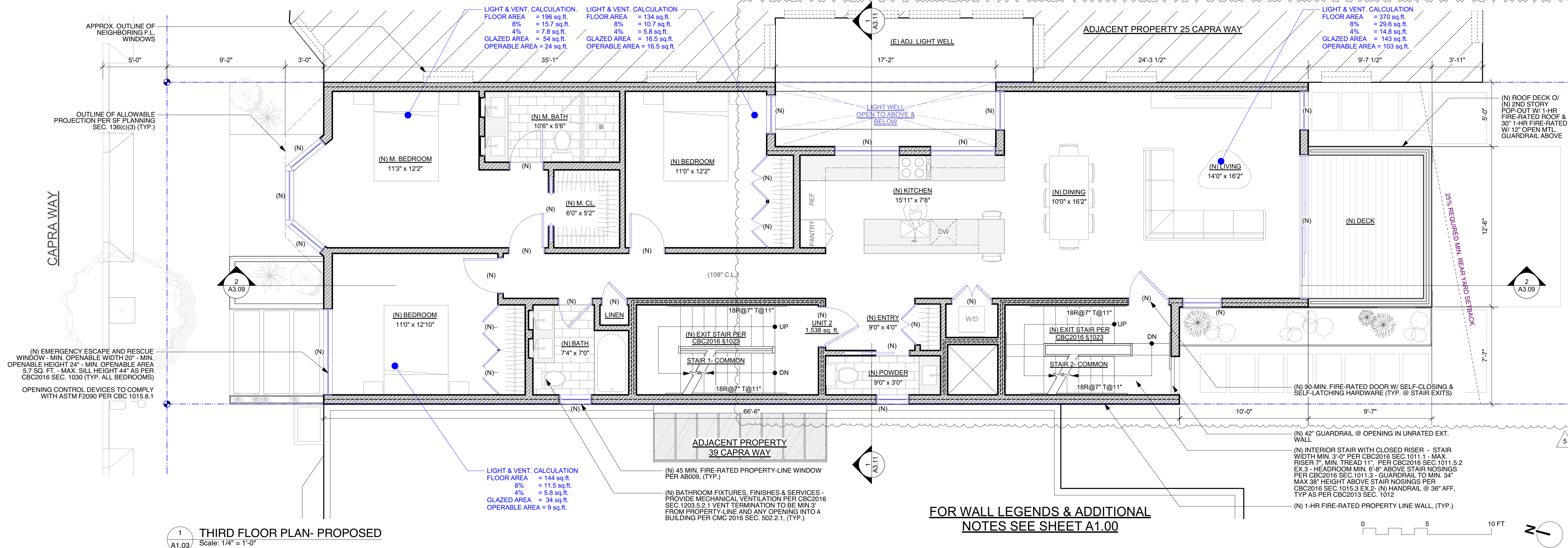
NOT FOR
CONSTRUCTION
10.31.19

33 CAPRA WAY REMODEL

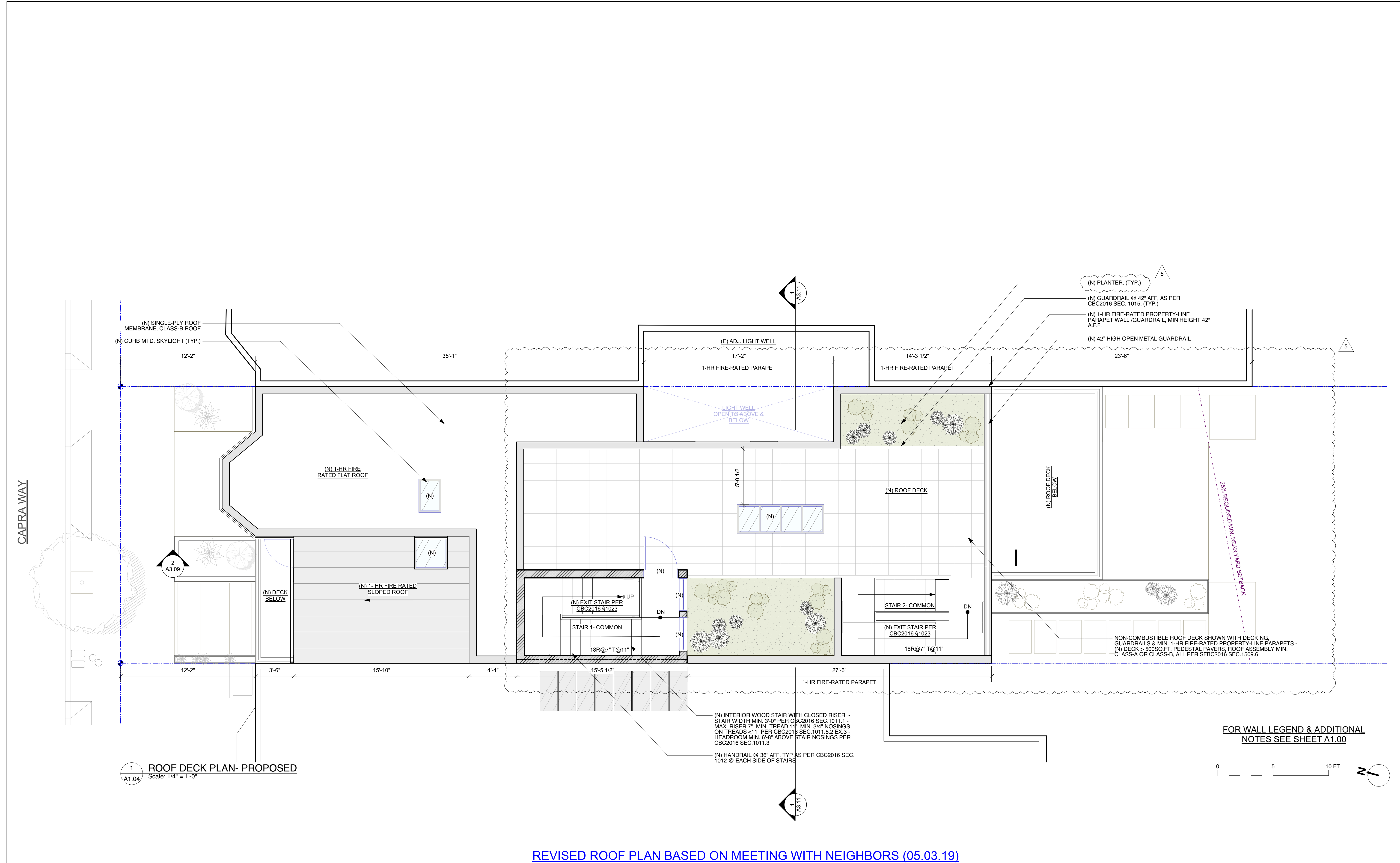
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02.13.19	site permit revision 4	rm
05.03.19	neighbor meeting	rm
05.10.19	neighbor outreach	rm
06.12.19	dr response revision 5	rm

FLOOR PLANS

A1.03



filenames: JLA TEMPLATE 2017.rvt



date	issues / revisions	by
05.17.18	preapp meeting	rm
06.01.18	site permit	rm
10.11.18	site permit revision 1	rm
11.12.18	site permit revision 2	rm
02.08.19	site permit revision 3	rm
02.13.19	site permit revision 4	rm
05.03.19	neighbor meeting	rm
05.10.19	neighbor outreach	rm
06.12.19	dr response revision 5	rm



1 EXTERIOR ELEVATION- NORTH/FRONT- EXISTING/DEMO
A3.01 Scale: 1/4" = 1'-0"

NOT FOR
CONSTRUCTION
10.31.19

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94103
0463A-1032

BortolosoDelphin LLC
33 Capra Way
San Francisco, CA 94123

client:

date	issues / revisions	by
05.17.18	preapp meeting	rm
06.01.18	site permit	rm
10.11.18	site permit revision 1	m
11.12.18	site permit revision 2	rm
02.08.19	site permit revision 3	rm
02.13.19	site permit revision 4	m
05.03.19	neighbor meeting	rm
05.10.19	neighbor outreach	rm
06.12.19	dr response revision 5	rm

EXTERIOR ELEVATIONS

A3.01

filenames: JLA TEMPLATE 2017.rvt



1 EXTERIOR ELEVATION- NORTH/FRONT- PROPOSED
A3.02 Scale: 1/4" = 1'-0"

NOT FOR
CONSTRUCTION
10.31.19

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94132
0463A-032

client:

Bortolosoedolphin LLC
33 Capra Way
San Francisco, CA 94132

date	issues / revisions	by
05.17.18	preapp meeting	rm
06.01.18	site permit	rm
10.11.18	site permit revision 1	m
11.12.18	site permit revision 2	rm
02.08.19	site permit revision 3	rm
03.12.19	site permit revision 4	rm
05.03.19	neighbor meeting	rm
05.10.19	neighbor outreach	rm
06.12.19	dr response revision 5	rm

EXTERIOR ELEVATIONS

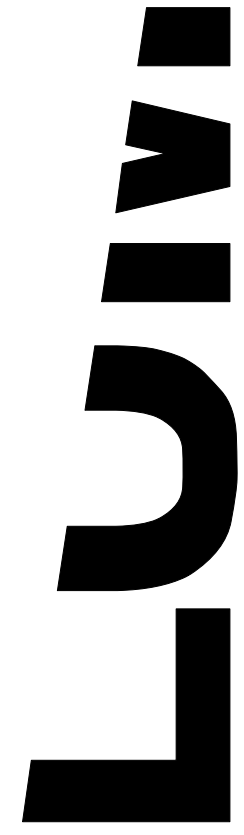
A3.02

LUM

JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.9554



1 EXTERIOR ELEVATION- SOUTH/REAR- EXISTING/DEMO
A3.03 Scale: 1/4" = 1'-0"



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3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
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NOT FOR
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10.31.19

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94103
0463A-1032

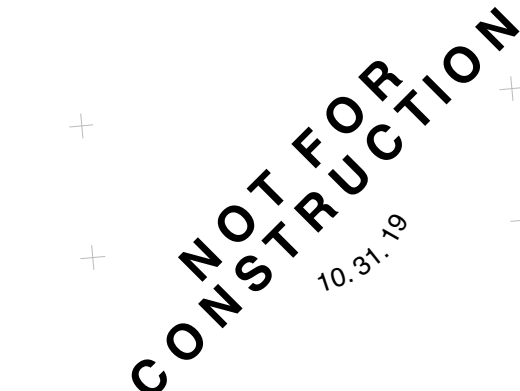
Bortolosoedolphin LLC
33 Capra Way
San Francisco, CA 94123

client:

date	issues / revisions	by
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06.01.18	site permit	rm
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02.13.19	site permit revision 4	m
05.03.19	neighbor meeting	rm
05.10.19	neighbor outreach	rm
06.12.19	dr response revision 5	rm

EXTERIOR ELEVATIONS

A3.03



33 Capra Way
San Francisco, CA 94123
0463A - 032

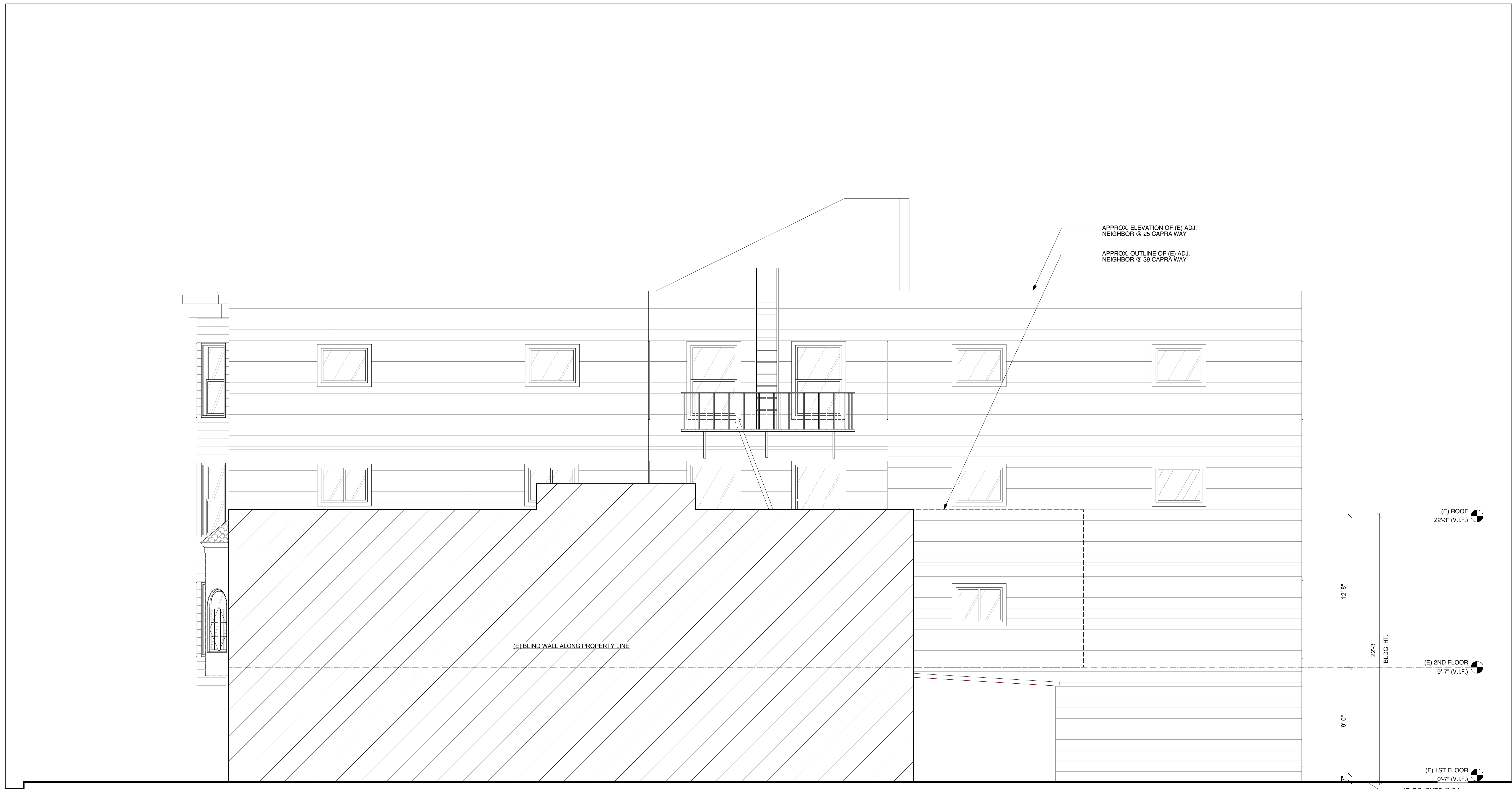
Bottlenosedolphin LLC
33 Capra Way
San Francisco, CA 94123

client-

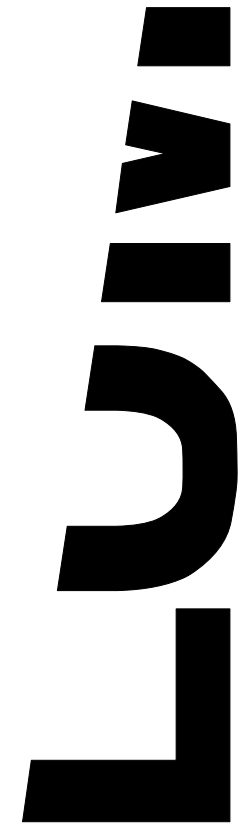
EXTERIOR ELEVATIONS

A3.04

filenames: JLA TEMPLATE 2017.rvt



1
A3.05
EXTERIOR ELEVATION- WEST/SIDE- EXISTING/DEMO
Scale: 1/4" = 1'-0"



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NOT FOR
CONSTRUCTION
10.31.19

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94103
0463A-1032

Bottlenosedolphin LLC
33 Capra Way
San Francisco, CA 94123

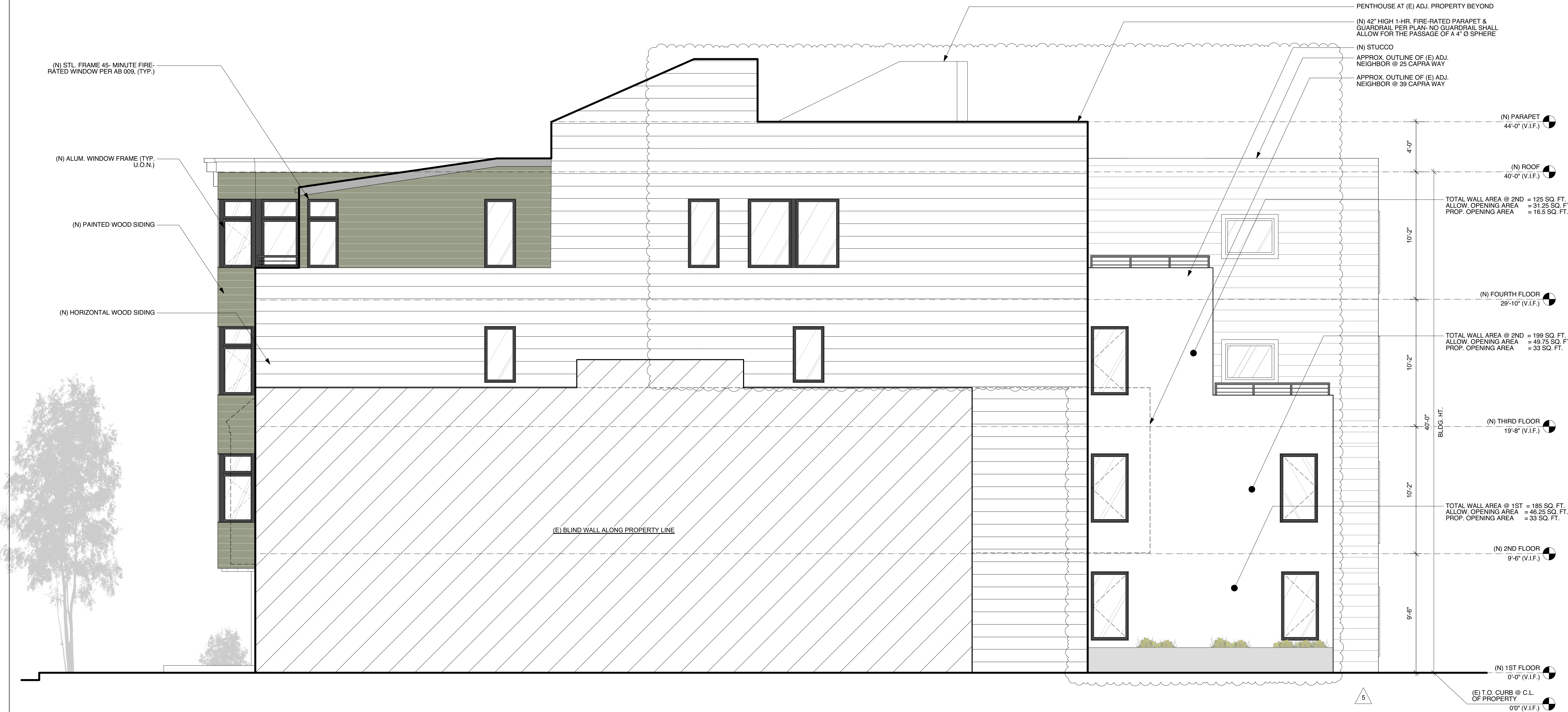
client:

date	issues / revisions	by
05.17.18	preapp meeting	rm
06.01.18	site permit	rm
10.11.18	site permit revision 1	m
11.12.18	site permit revision 2	rm
02.08.19	site permit revision 3	rm
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05.03.19	neighbor meeting	rm
05.10.19	neighbor outreach	rm
06.12.19	dr response revision 5	rm

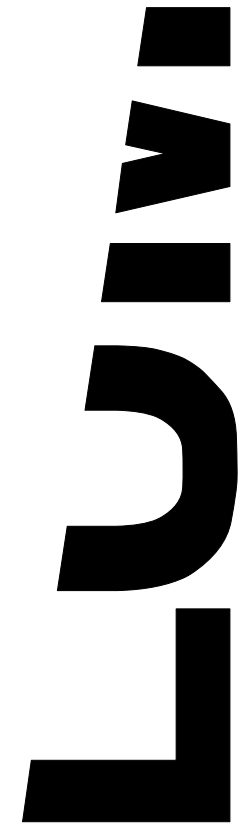
EXTERIOR ELEVATIONS

A3.05

filenames: JLA TEMPLATE 2017.rvt



1 EXTERIOR ELEVATION- WEST/SIDE- PROPOSED
A3.06 Scale: 1/4" = 1'-0"



JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.9554

NOT FOR
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10.31.19

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94103
0463A-1032

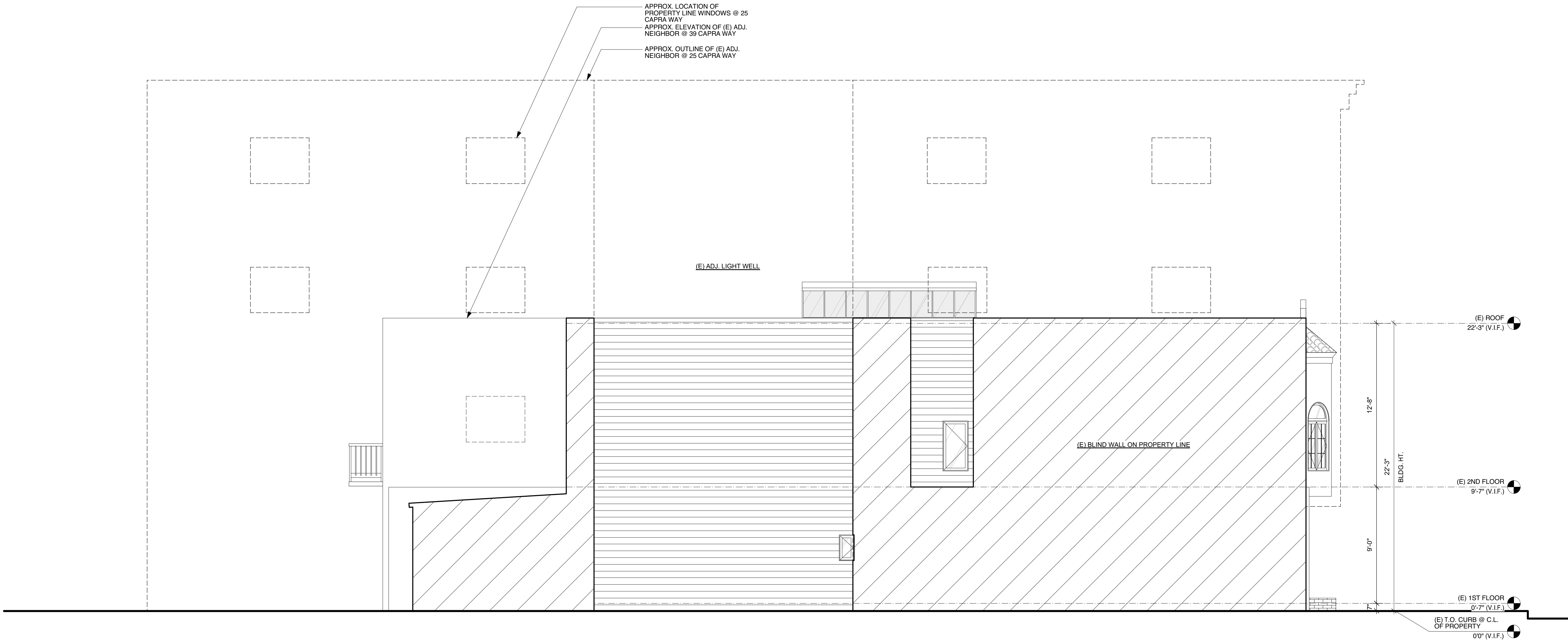
Bottlenosedolphin LLC
33 Capra Way
San Francisco, CA 94123

client:

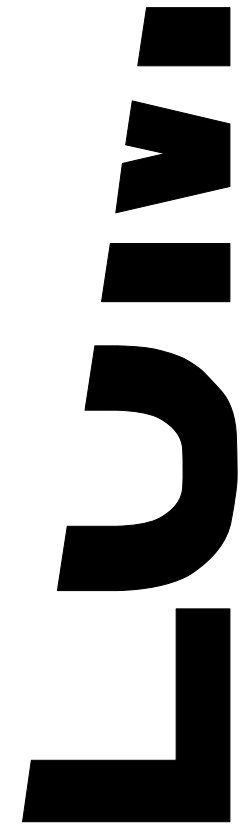
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05.17.18	preapp meeting	rm
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02.08.19	site permit revision 3	rm
03.12.19	site permit revision 4	rm
05.03.19	neighbor meeting	rm
05.10.19	neighbor outreach	rm
06.12.19	dr response revision 5	rm

EXTERIOR ELEVATIONS

A3.06



1
A3.07
EXTERIOR ELEVATION- SIDE/EAST- EXISTING/DEMO
Scale: 1/4" = 1'-0"



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3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.9554

NOT FOR
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10.31.19

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94110
0463A-1032

Bortlenosodolphin LLC
33 Capra Way
San Francisco, CA 94123

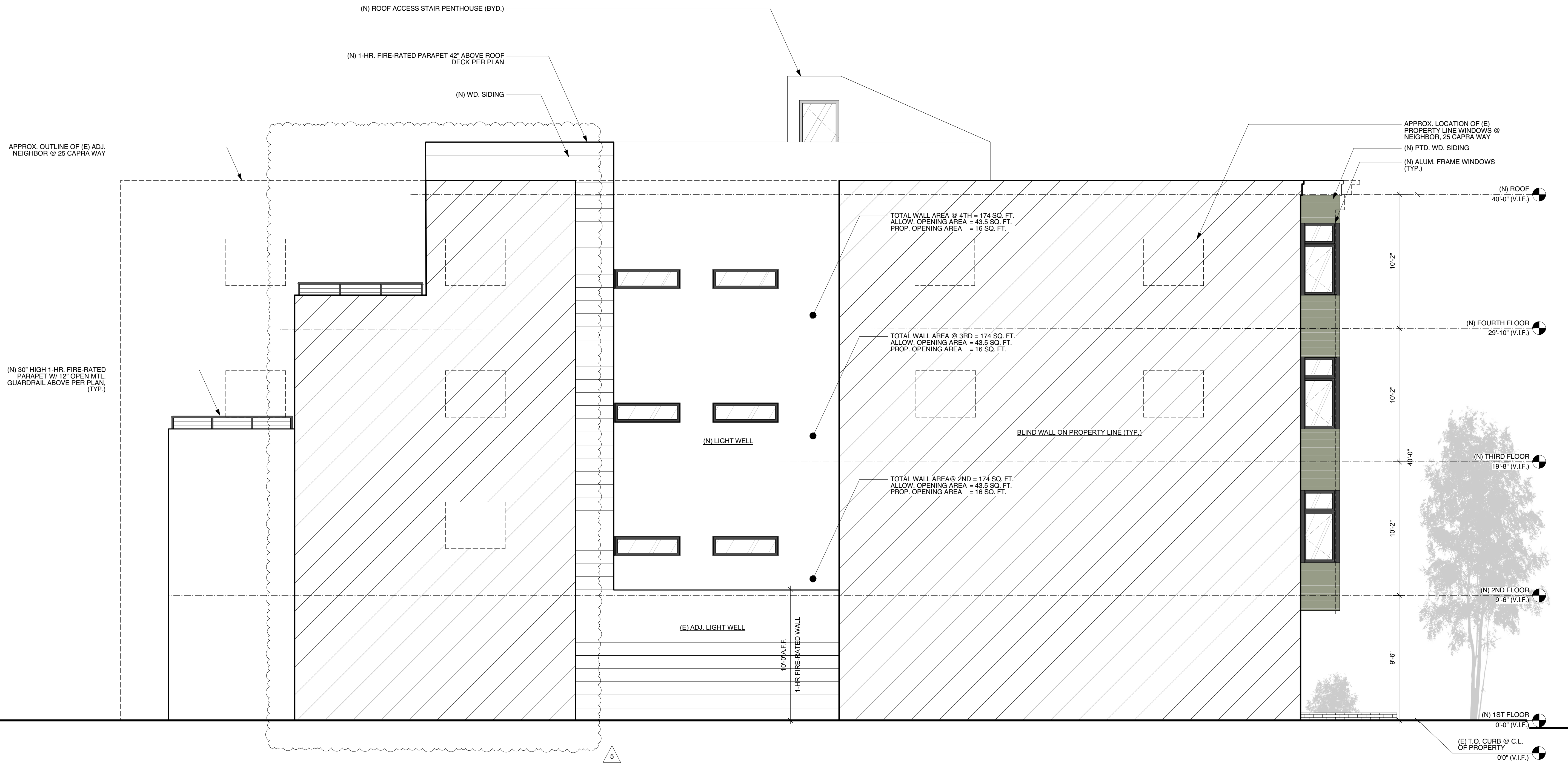
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date	issues / revisions	by
05.17.18	preapp meeting	rm
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02.13.19	site permit revision 4	rm
05.03.19	neighbor meeting	rm
05.10.19	neighbor outreach	rm
06.12.19	dr response revision 5	rm

EXTERIOR ELEVATIONS

A3.07

filenames: JLA TEMPLATE 2017.rvt



1 EXTERIOR ELEVATION- SIDE/EAST- PROPOSED
A3.08 Scale: 1/4" = 1'-0"

JOHN LUM

JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.9554

NOT FOR
CONSTRUCTION
10.31.19

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94103
0463A-1032

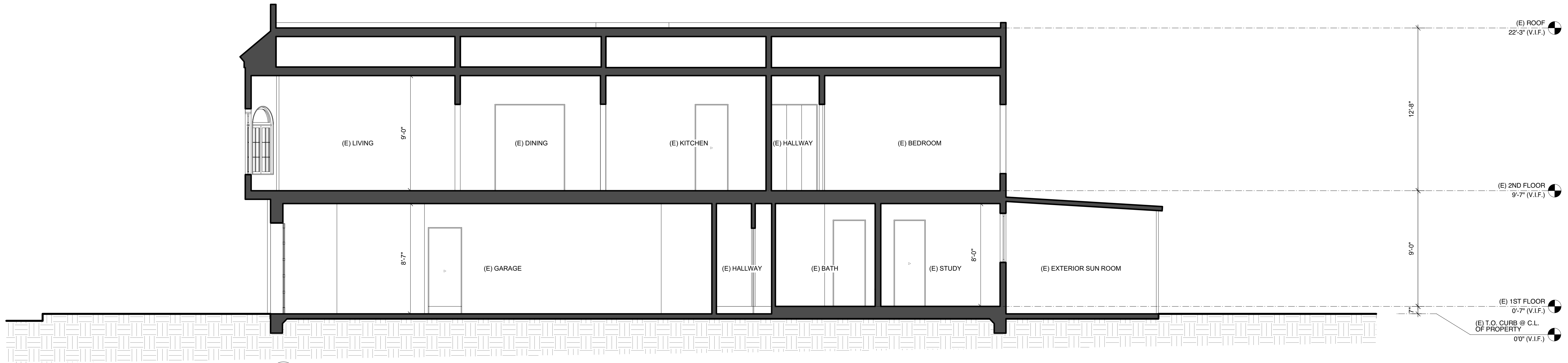
Bottlenosedolphin LLC
33 Capra Way
San Francisco, CA 94123

client:

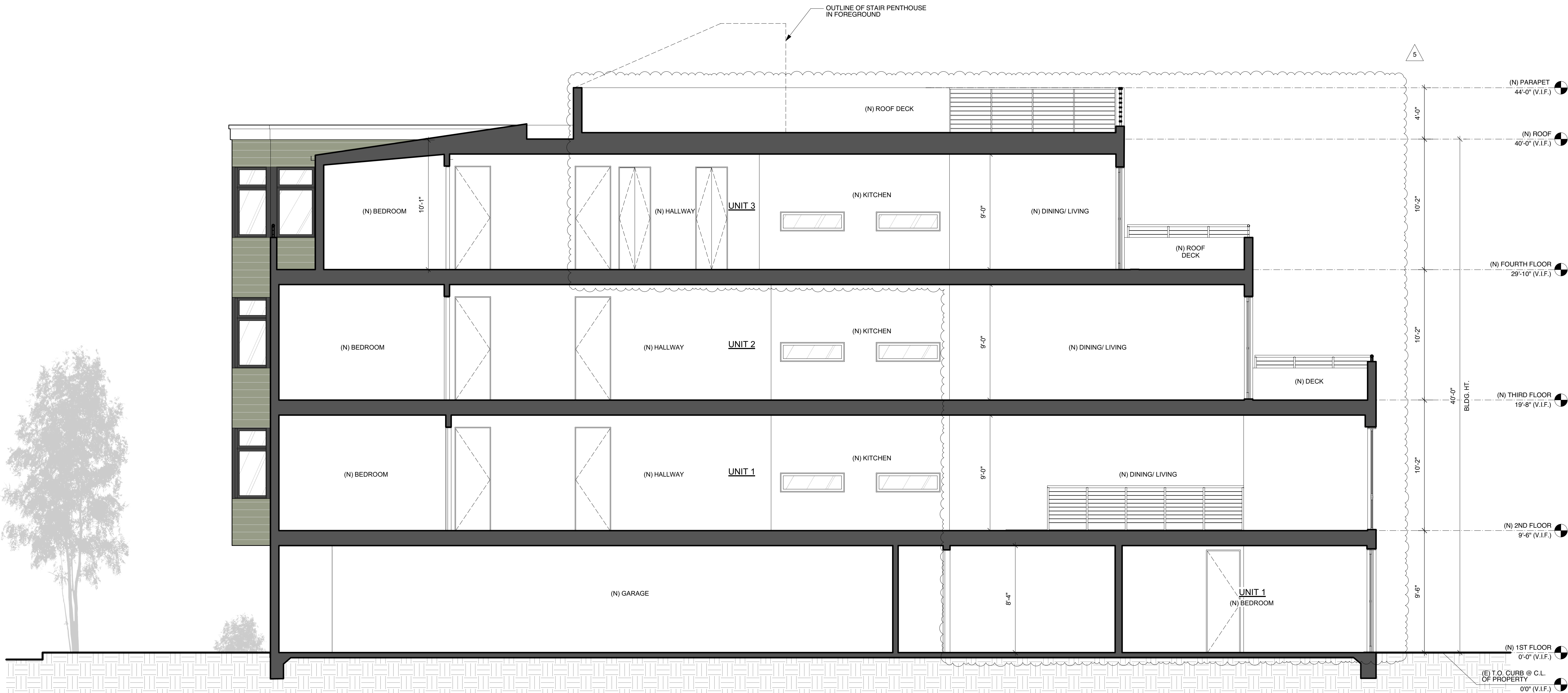
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EXTERIOR ELEVATIONS

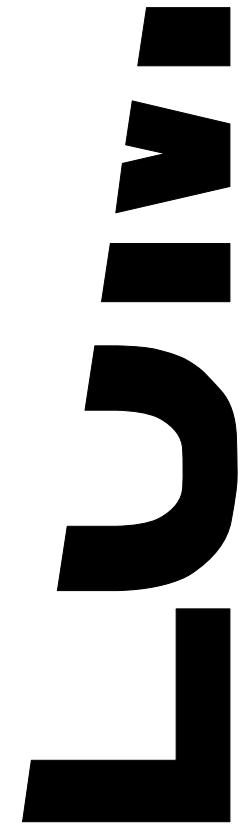
A3.08



1 BUILDING SECTION- EXISTING
A3.09 Scale: 1/4" = 1'-0"



2 BUILDING SECTION-PROPOSED
A3.09 Scale: 1/4" = 1'-0"



JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.9554

NOT FOR
CONSTRUCTION
10.31.19

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94133
0463A-1032

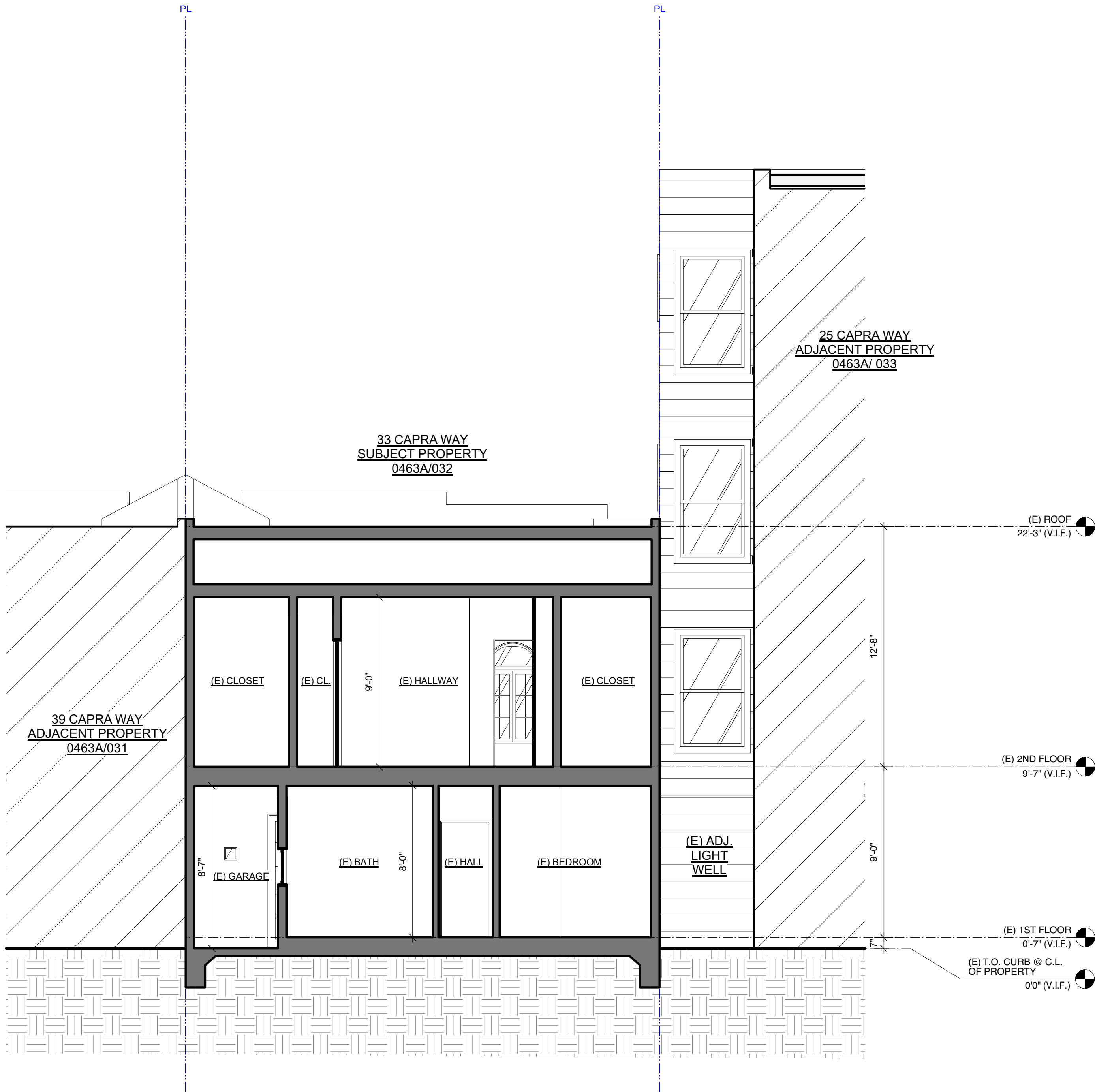
Bortlenosodolpin LLC
33 Capra Way
San Francisco, CA 94123

client:

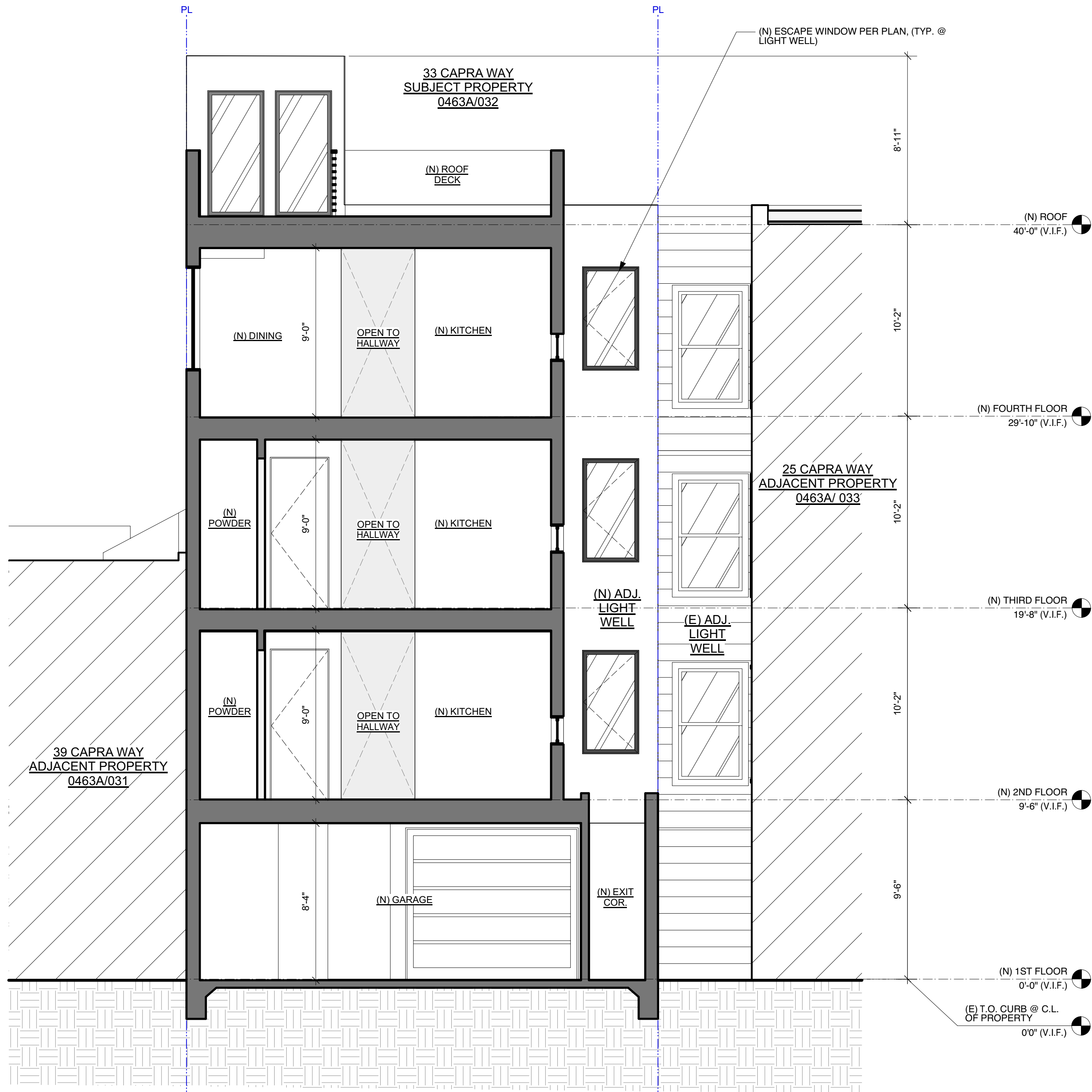
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05.10.19	neighbor outreach	rm
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BUILDING SECTIONS

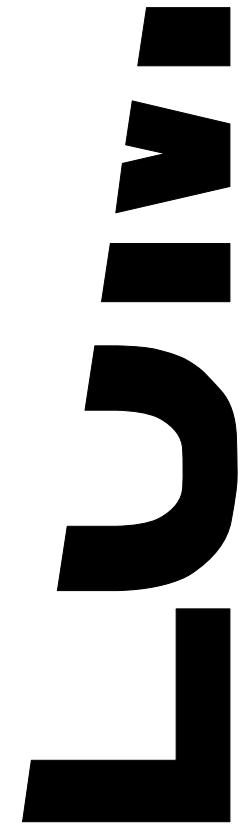
A3.09



1 BUILDING SECTION- EXISTING
A3.10 Scale: 1/4" = 1'-0"



2 BUILDING SECTION- EXISTING
A3.10 Scale: 1/4" = 1'-0"



JOHN LUM ARCHITECTURE
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415.358.9550 FAX 415.358.9554

NOT FOR
CONSTRUCTION
10.31.19

33 CAPRA WAY REMODEL

33 Capra Way
San Francisco, CA 94103
0463A-032

Bortolozzodolphin LLC
33 Capra Way
San Francisco, CA 94103

client:

date	issues / revisions	by
05.17.18	preapp meeting	rm
06.01.18	site permit	rm
10.11.18	site permit revision 1	rm
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BUILDING SECTIONS

A3.10

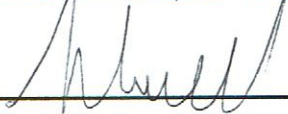
33 CAPRA WAY

RE: 33 Capra Way proposed development

Dear Planning Commission Members:

I would like to express my support for the upcoming development project at 33 Capra Way in San Francisco. I have reviewed the proposed project that the Project Sponsor, Bora Ozturk of Bottlenosedolphin LLC, and his Architect presented to us. I am confident that the project will be a welcome addition to our neighborhood adding much needed housing.

Print name: Stuart Rauch

Sign name: 

Address: 15 Cervantes Blvd #305 SF 94123

Phone number: 415-602-6105


33 CAPRA WAY

RE: 33 Capra Way proposed development

Dear Planning Commission Members:

I would like to express my support for the upcoming development project at 33 Capra Way in San Francisco. I have reviewed the proposed project that the Project Sponsor, Bora Ozturk of Bottlenosedolphin LLC, and his Architect presented to us. I am confident that the project will be a welcome addition to our neighborhood adding much needed housing.

Print name: Elizabeth Ann Shay Kaler

Sign name: 

Address: 132 Pixley Street, San Francisco, CA 94123

Phone number: 651.333.0513

August 23, 2019

Dear Planning Department,

I am a neighbor to the proposed project at 33 Capra Way and I am writing to voice my concerns about the project. While I support new development and additional housing, the scope and scale of the project seem out of line with the character of the neighborhood. I am particularly concerned with the fourth-floor roof deck and the lack of setbacks on the upper levels that I believe would be the first of their type for the neighborhood. I would ask that you reject the proposed plans and require the applicant to revise the project to be more in-line with current precedent in the neighborhood.

Best Regards,

Alex Taylor

51 Capra Way

California Renters Legal Advocacy and Education Fund

1260 Mission St
San Francisco, CA 94103
hi@carlaef.org



8/27/2019

San Francisco Planning Commission
City Hall, Room 400
1 Dr. Carlton B. Goodlett Place
San Francisco, CA 94102
commissions.secretary@sfgov.org; david.winslow@sfgov.org;
Via Email

Re: 33 Capra Way
2018-001940DRP

Dear Planning Commissioners,

The California Renters Legal Advocacy and Education Fund (CaRLA) submits this letter to inform you that the San Francisco Planning Commission has an obligation to abide by all relevant state housing laws when evaluating the above captioned proposal, including the Housing Accountability Act.

California Government Code § 65589.5, the Housing Accountability Act, prohibits localities from denying housing development projects that are compliant with the locality's Zoning Ordinance and General Plan at the time the application was deemed complete, unless the locality can make findings that the proposed housing development would be a threat to public health and safety. The most relevant section is copied below:

(j) When a proposed housing development project complies with applicable, objective general plan and zoning standards and criteria, including design review standards, in effect at the time that the housing development project's application is determined to be complete, but the local agency proposes to disapprove the project or to approve it upon the condition that the project be developed at a lower density, the local agency shall base its decision regarding the proposed housing development project upon written findings supported by substantial evidence on the record that both of the following conditions exist:

(1) The housing development project would have a specific, adverse impact upon the public health or safety unless the project is disapproved or approved upon the condition that the project be developed at a lower density. As used in this paragraph, a "specific, adverse impact" means a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or

conditions as they existed on the date the application was deemed complete.


(2) There is no feasible method to satisfactorily mitigate or avoid the adverse impact identified pursuant to paragraph (1), other than the disapproval of the housing development project or the approval of the project upon the condition that it be developed at a lower density.

The Applicant proposes to add 2 vertical stories and a rear addition to an existing single family home. The resulting building will be comprised of 3 units.

The above captioned proposal is zoning compliant and general plan compliant, therefore, your local agency must approve the application, or else make findings to the effect that the proposed project would have an adverse impact on public health and safety, as described above.

CaRLA is a 501(c)3 non-profit corporation whose mission is to restore a legal environment in which California builds housing equal to its needs, which we pursue through public impact litigation and providing educational programs to California city officials and their staff.

Sincerely,

A handwritten signature in black ink, appearing to read 'Dylan Casey', with a stylized flourish at the end.

Dylan Casey
Executive Director
California Renters Legal Advocacy and Education Fund