



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis

HEARING DATE: JUNE 18, 2020

CONTINUED FROM: MAY 7, 2020

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: June 18, 2020
Case No.: 2018-001662DRP
Project Address: 2476 Diamond Street
Permit Application: 2019.1205.8713
Zoning: RH-1 [Residential House- One Family]
40-X Height and Bulk District
Block/Lot: 6700 / 032
Project Sponsor: Jeremy Schaub
Schaub Ly Architects
1360 9th Avenue, Suite 210
San Francisco, CA 94122
Staff Contact: David Winslow – (415) 575-9159
David.Winslow@sfgov.org
Recommendation: **Take DR and Approve as Modified**

PROJECT DESCRIPTION

The project proposes to correct an approved building permit application number 2019.1015.4489 with BPA 2019.1205.8713 to correct the retaining wall and grade heights to be in conformance with Code Section 136, which allows up to 3' of additional height in grade above existing grade and retaining walls to be no more than minimum required guardrail height (42").

SITE DESCRIPTION AND PRESENT USE

The site is a 25' x 144' vacant lot with a permit to build a 3-story, single-family house under a separate permit (#2018.0123.9223).

SURROUNDING PROPERTIES AND NEIGHBORHOOD

This block of Diamond Street consists of 2-story wood and stucco clad houses on steeply sloping lots. Due to the street geometry the subject property abuts the rear yards of several downhill lots that front Moffitt and Diamond Streets.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
Building permit	No notice	NA	2.5.2020	6.25.2020	131 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	20 days	April 17, 2020	April 17, 2020	20 days
Mailed Notice	20 days	April 17, 2020	April 17, 2020	20 days
Mailed Notice	20 days	April 17, 2020	April 17, 2020	20 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	0	0	0
Other neighbors on the block or directly across the street	8	2	0
Neighborhood groups	0	1	0

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

DR REQUESTORS

Scott Stawicki and Sarah Van Ness of 2510 Diamond; Tim and Alexia Tindol of 2518 Diamond adjacent neighbors to the East and; Holly Bratt of 30 Arbor adjacent neighbor to the South.

DR REQUESTORS' CONCERNS AND PROPOSED ALTERNATIVES

1. Blocks access to mid-block open space;
2. Does not to respect existing topography and;
3. Impacts light and privacy. The increased height of grade and retaining wall and fence will shade the neighbors' rear yards and provide a vantage point to neighboring yards and houses.

Proposed Alternatives:

1. Reduce the height of retaining walls to historic elevations;
2. Reduce grades at rear yard to historic elevations, or level to lowest original grade, to limit privacy and further intrusion into mid-block open space;
3. Step concrete walls to follow grade and clad with contemporary fencing material.

See attached Supplement to *Discretionary Review Application*, dated February 5, 2020

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

The wall adjoining the neighbors is code complaint. The DR was field on a permit is to correct work on the cross lot retaining walls on the interior of the site. The project sponsor has proposed modifying the boundary wall to reduce the height along with the height of the cross lot retaining walls; finish with wood fencing; and slope the to follow the grade continuously rather than stepping.

See attached *Response to Discretionary Review*, dated June 17, 2020.

PLANNING STAFF REVIEW

The permit is to legalize the work to be Code complaint so that it does not exceed allowed heights for grade and associated retaining walls and fences.

The Planning Department does not review retaining walls and fences that are below 6' in height. For walls and fences below 10' in height Planning Department usually reviews and permits over the counter. For fences higher than 10' neighborhood notice is required and subject to other portions of the Planning Code.

The Residential Design Guidelines are mainly focused on buildings and are silent on landscape features including retaining walls and fences. The Code or guidelines do not specify acceptable materials.

Subsequent to the permit to correct, the project sponsor has proposed a design modification that reduces the height of the perimeter concrete retaining walls, additional grade and overall fence height, provide a wood fence that follows the slope and does not exceed 6' in height above new grade of the subject property.

Therefore, Staff recommends taking DR and approving with the proposed modification.

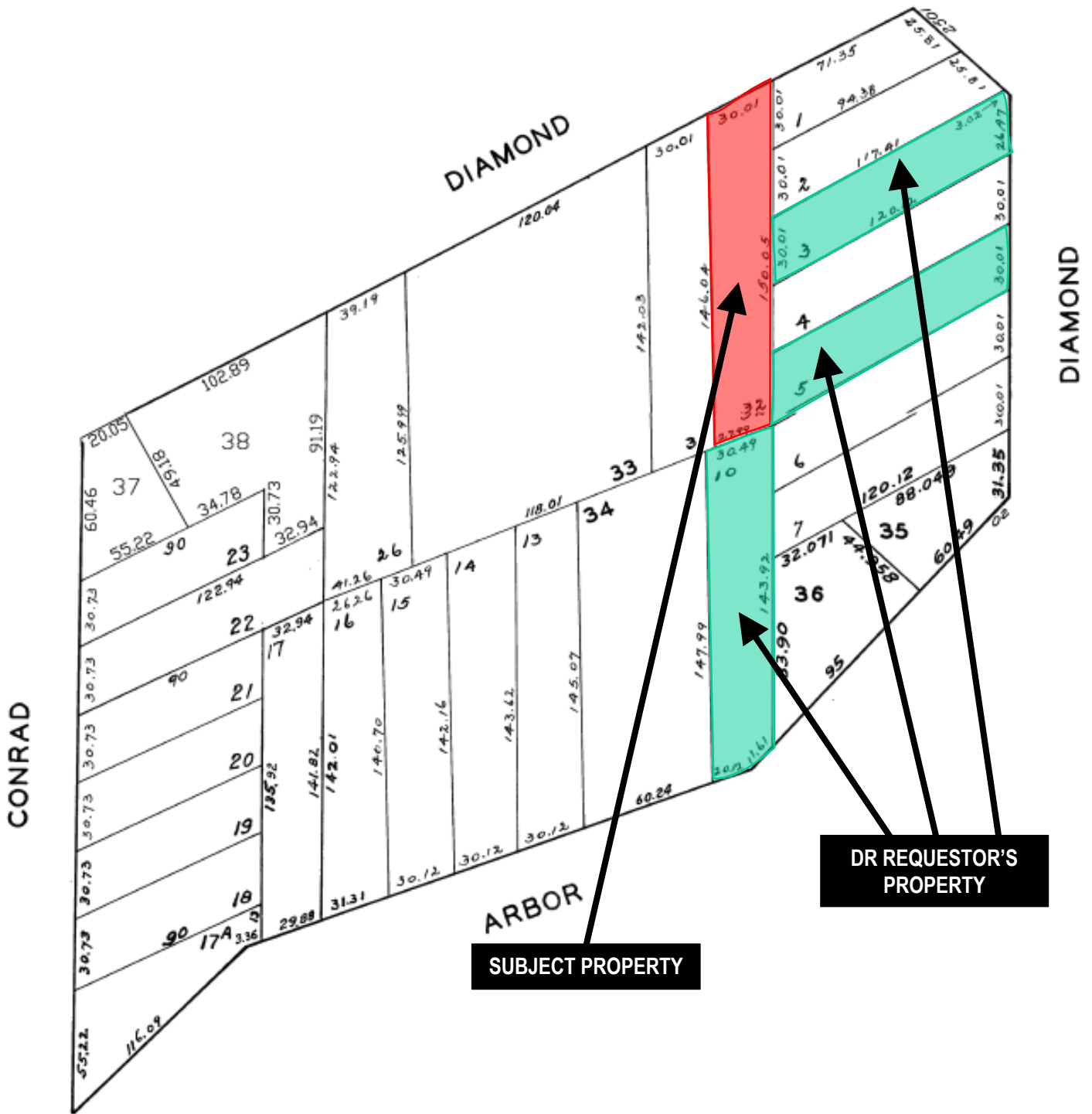
RECOMMENDATION: Take DR and Approve as Modified

Attachments:

- Block Book Map
- Sanborn Map
- Zoning Map
- Aerial Photographs
- Context Photographs
- DR Application
- Letters supporting DR
- Response to DR Application dated June 17,2020
- Letters supporting project sponsor
- Reduced Plans dated 5.26.20

Exhibits

Parcel Map



Discretionary Review Hearing
Case Number 2018-001662DRP
2476 Diamond Street

Sanborn Map*

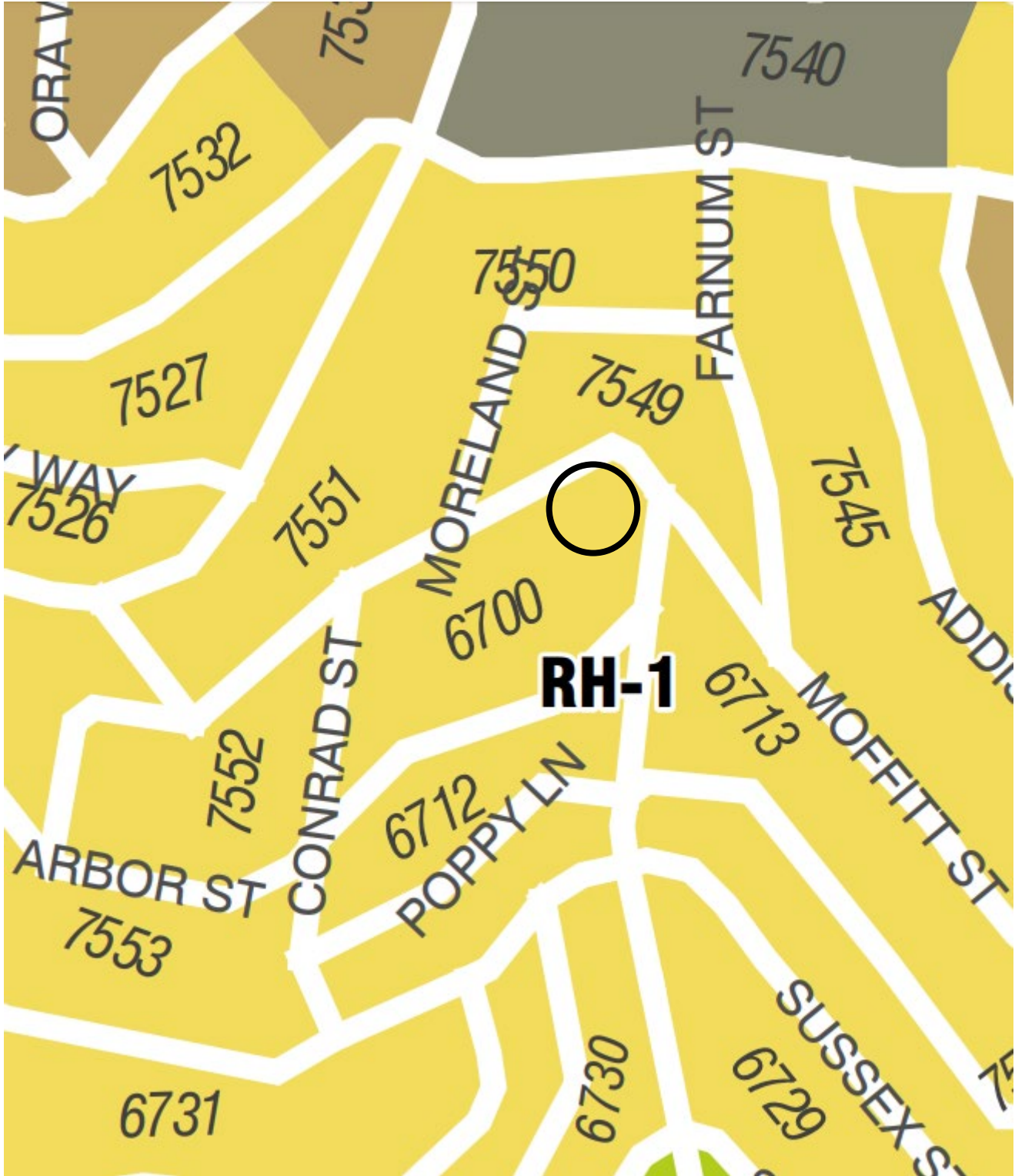


**The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.*



Discretionary Review Hearing
Case Number 2018-001662DRP
2476 Diamond Street

Zoning Map



Discretionary Review Hearing
Case Number 2018-001662DRP
2476 Diamond Street

Aerial Photo



SUBJECT PROPERTY

DR REQUESTOR'S PROPERTY



Discretionary Review Hearing
Case Number 2018-001662DRP
2476 Diamond Street

Aerial Photo



**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-001662DRP
2476 Diamond Street

Aerial Photo



**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-001662DRP
2476 Diamond Street

Aerial Photo



SUBJECT PROPERTY

DR REQUESTOR'S PROPERTY



Discretionary Review Hearing
Case Number 2018-001662DRP
2476 Diamond Street

Site Photo



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2018-001662DRP
2476 Diamond Street



San Francisco Planning

DISCRETIONARY REVIEW PUBLIC (DRP) APPLICATION

Discretionary Review Requestor's Information

Name: Scott Stawicki, Sarah Van Ness, Holly Bratt, Tim Tindol, Alexia Tindol
 Address: 2510 Diamond St, 2518 Diamond St., 30 Arbor St. Email Address: ssscottss@gmail.com
 Telephone: 415-699-9073

Information on the Owner of the Property Being Developed

Name: Frank Walley, Jeremiah Schaub
 Company/Organization: FRANK WALLEY CONSTRUCTION /SCHAUB LY ARCHITECTS
 Address: 360 9th Avenue Suite 210 | San Francisco, CA 94122 Email Address:
 Telephone: 415-682-8060

Property Information and Related Applications

Project Address: 2476 Diamond St
 Block/Lot(s): 6700 / 032
 Building Permit Application No(s): 201912058713

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case? (including Community Boards)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Changes Made to the Project as a Result of Mediation.
 If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes that were made to the proposed project.

Please See Attached - Supplement

DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

Please See Attached - Supplement

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

Please See Attached - Supplement

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

Please See Attached - Supplement




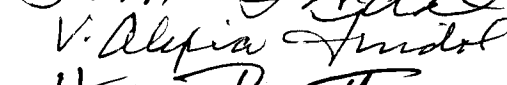

DISCRETIONARY REVIEW REQUESTOR'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

a) The undersigned is the DR requestor or their authorized representation.

Signature	415-699-9073	Scott Stawicki, Sarah Van Ness, Tim Tindol, Alexia Tindol, Holly Bratt
Relationship to Requestor (i.e. Attorney, Architect, etc.)	Phone	Name (Printed) ssscottss@gmail.com
		Email

SCOTT STAWICKI
Sarah Van Ness
Tim Tindol
V. Alexia Tindol
HOLLY BRATT

For Department Use Only

Application received by Planning Department:

By: 

Date: 2 / 5 / 2020



San Francisco Planning

PROJECT APPLICATION RECORD NUMBER (PRJ)

DISCRETIONARY REVIEW PUBLIC (DRP) APPLICATION

Discretionary Review Requestor's Information

Name: Scott Stawicki, Sarah Van Ness, Holly Bratt, Tim Tindol, Alexia Tindol

Address: 2510 Diamond St, 2518 Diamond St., 30 Arbor St. Email Address: ssscottss@gmail.com

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Project Address: 2476 Diamond St

Block/Lot(s): 6700 / 032

Building Permit Application No(s): 201912058713

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	
Did you participate in outside mediation on this case? (including Community Boards)		<input checked="" type="checkbox"/>

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Please See Attached - Supplement

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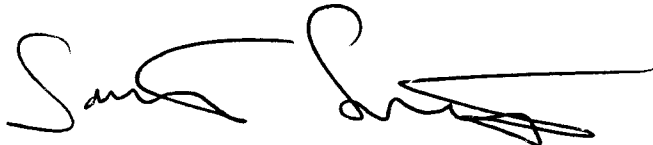

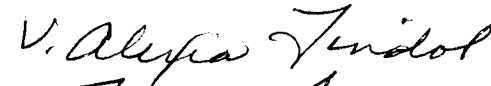


Please See Attached - Supplement

DISCRETIONARY REVIEW REQUESTOR'S AFFIDAVIT

Under penalty of perjury the following declarations are made:


a) The undersigned is the DR requestor or their authorized representation.

<hr/>		Scott Stawicki, Sarah Van Ness, Tim Tindol, Alexia Tindol, Holly Bratt
Signature		Name (Printed)
	415-699-9073	ssscottss@gmail.com
Relationship to Requestor (i.e. Attorney, Architect, etc.)	Phone	Email

SCOTT STAWICKI	
Sarah Van Ness	
V. Alexia Tindol	
Tim Tindol	
HOLLY BRATT	

For Department Use Only

Application received by Planning Department:

By: 

Date: 2/6/2020

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

Exceptional and extraordinary circumstances:

1a. 2476 Diamond St. is a lot surrounded by **7 adjacent neighbors** with direct impacts from the 2476 Diamond development plans.

1b. Neighbors were invited to join in pilot project sponsored by the SF Planning Department to pro-actively mediate project concerns from the community and find a plan that avoided Discretionary Review. The neighbors agreed to this pilot project and worked with SF Planning & the developer through a process that allowed the development plans to move forward. The neighbors acted in good faith and fulfilled the agreement to forgo Discretionary Review and Appeal of the site permit. After the required public notification, the developer submitted an addenda/plan change that bypassed review from both the SF Planning Department and neighbors. The addenda included large changes to the rear yard affecting access to the mid-block open space, a subject which had been a continuous and documented concern of the neighbors.

1c. Initial addenda plans for the rear yard were not code compliant or reviewed by SF Planning/the Project Planner. Nevertheless, the developer moved forward with building structures (retaining walls) on the property. The developer has now submitted new plans that attempt to change the retaining walls to concrete "fences" and "rails" in order to achieve code compliance but without addressing the neighbors' concerns of the impacts of these structures and alignment with RDGs.

1d. Addenda plans conflict with the Residential Design Guidelines as followed:

- Failed to use design principles that allowed access of the neighbors to the historically strong mid-block open space, and use of building materials that provide visual interest to neighbors. (RDG pg.5)
- Does not respect the existing topography of the site, but instead attempts to elevate the rear yard with an "earthen deck" surrounded by concrete walls. (RDG pg.11)
- **Maximizes** impacts to light and privacy to the surrounding neighbors by designing barriers of concrete greatly exceeding ground height and raising the level of the property above the historic grade of the hillside. (RDG pg.16)

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how..

2a. The proposed plans for the rear yard impose large impacts across 5 adjacent neighbors' yards and effectively removes access & resources to the historically strong midblock open space. The list of affected neighbors are:

2470 Diamond St.
2510 Diamond St.
2514 Diamond St.
2518 Diamond St.
30 Arbor St.

2b. The concrete retaining walls that were constructed without SF Planning review are over 10ft high and extend 7ft over the historic grade. Now being labeled as concrete "fences", the retaining walls act as an elevated structure blocking light, airflow and amplifying noise.

2c. The raw concrete provides no visual interest or texture, but stands out as an imposing sheer wall to neighbors. The material maximizes impacts by allowing no openings for light or airflow (RDG p.16). It's architectural character has been described as adding a "prison yard" affect to neighbors gardens/open space.

2d. The proposed plans do not respect the existing sloping topography of the hillside shared by neighbors. The plans attempt to elevate and terrace almost the entire rear yard from it's highest elevations with an "earthen deck" that rises above the natural sloping grade of the hill. This attempt to increase the height of the natural grade -in affect building a hill above all surrounding rear yards- places a burden on all the surrounding neighbors. Direct sightlines from the elevated yard into the interior living spaces and yards of 5 neighbors would be the result of the proposal.

2e. The neighbors have already agreed on a new structure (house) for the project that was ~over x3 as large as the historic home on the property during the neighbors' pilot project mediation with SF Planning. The larger footprint and elevation of the proposed building is of a substantially larger scale than the surrounding neighbors. This larger footprint has already reduced and/or eliminated access to the mid-open Space for 2 neighbors. The new proposal for the yard creates compounding burdens and impacts when coupled with the approved structure design of the house.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

- 3a. The height of all retaining walls bordering the property should be restored to their historical heights and/or as originally proposed in the site permit for the project.
- 3b. Any grade change that increases the height of the yard in relation to the surrounding properties should be reduced to historic levels in order to maintain neighbors access to the mid-block open space, protect sensitive site lines, and minimize impacts from light and noise.
- 3c. If the developer desires a level grade across the yard & patio spaces, then a height limited to the lowest original grade of the hillside should be used (or lower than the original grade). A lower grade could provide all the benefits of a level space without the burden of impacts being place on the neighbors.
- 3d. Replace the monolithic, top-to-bottom concrete wall with originally approved design, using stepped, low concrete retaining walls which follow the downward grade of the property, topped with contemporary fencing material.

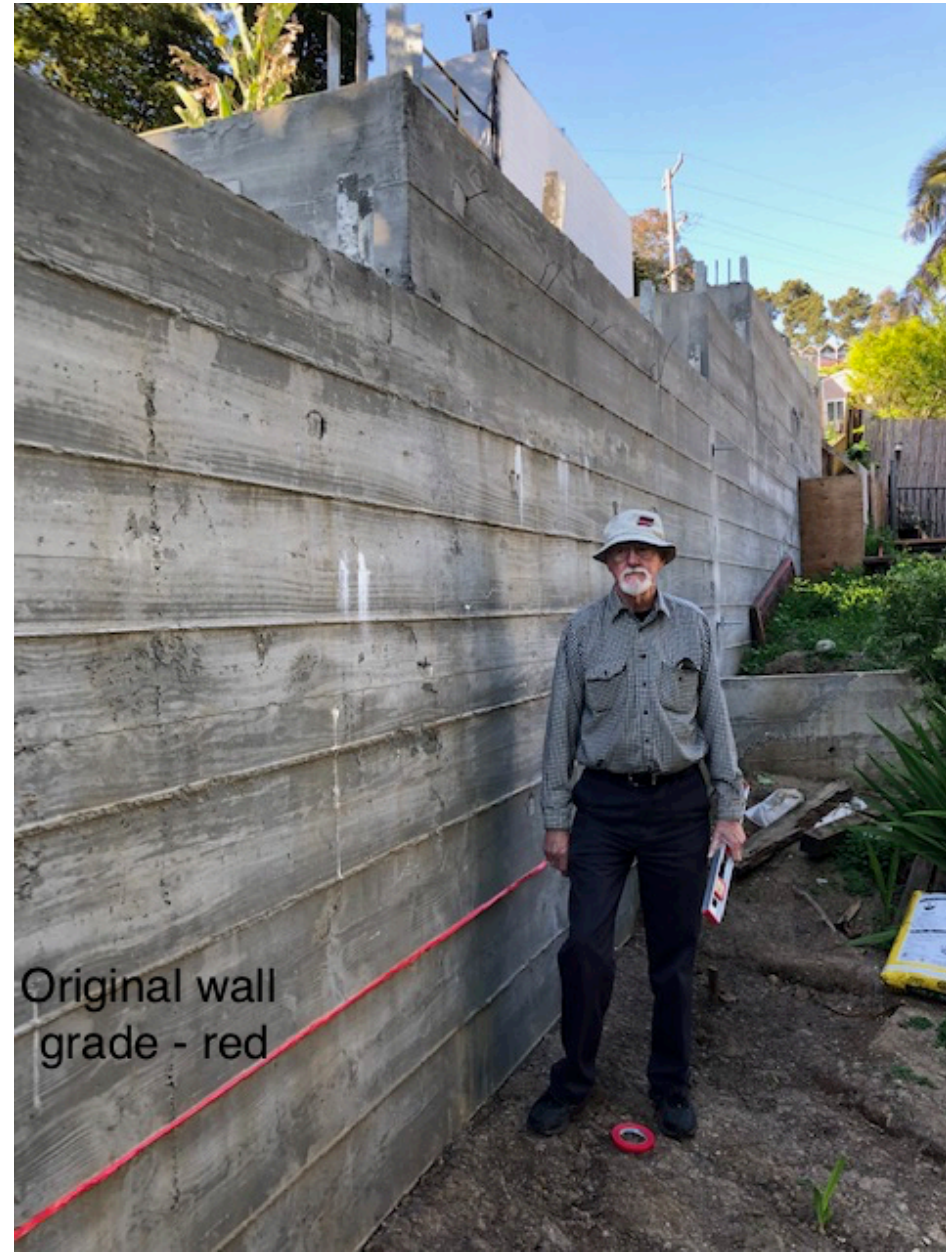
Site Photos of 2476 Diamond St. Retaining Wall: 2518 Diamond St. Perspective

To Note:

- Red line denotes original grade of wall at ~350ft.
- Each form line across retaining wall is ~1ft in height
- Height of owner Tim Tidol (>6ft) !
- Original retaining wall height ~1.7ft high
- Retaining wall impacts across 3 properties:

2510 Diamond St.
2514 Diamond St.
2518 Diamond St.

~350ft.



Original wall
grade - red

Site Photos of 2476 Diamond St. Retaining Wall: 2518 Diamond St. Perspective

To Note:

- Red line denotes original grade of wall at ~350ft.
- Each form line across retaining wall is ~1ft in height
- Height of owner Tim Tidol (>6ft) !

~350ft.

~356ft.

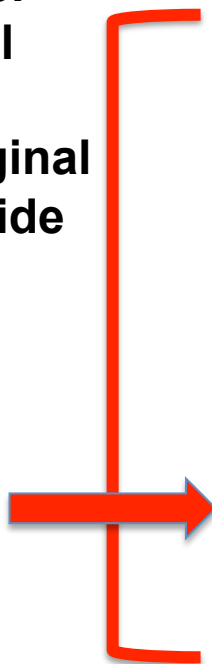


Site Photos of 2476 Diamond St. Retaining Wall: 2518 Diamond St. Perspective

To Note:

- ~10ft. of sheer concrete wall
- ~6ft over original grade of hillside

~350ft.



Site Photos of 2476 Diamond St. Retaining Wall: 30 Arbor St. Perspective

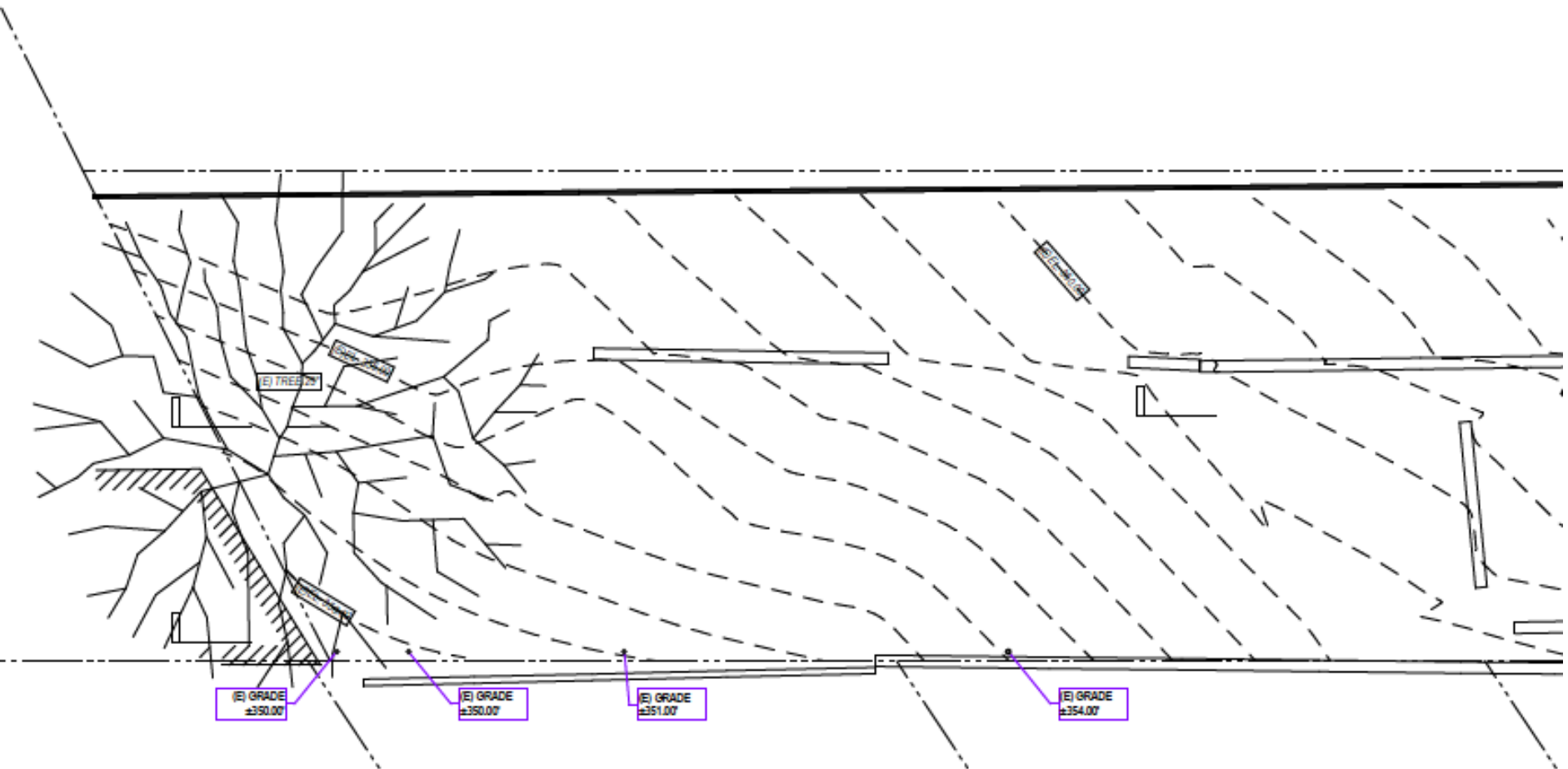


To Note:

- Original retaining wall (350.5ft) and ground grade (350.0ft)
- Original grade of 2518 Diamond St. measured at 248.3ft.
- Retaining wall height was ~1.7ft high
- For scale, sitting bench at 2018
- Diamond in view

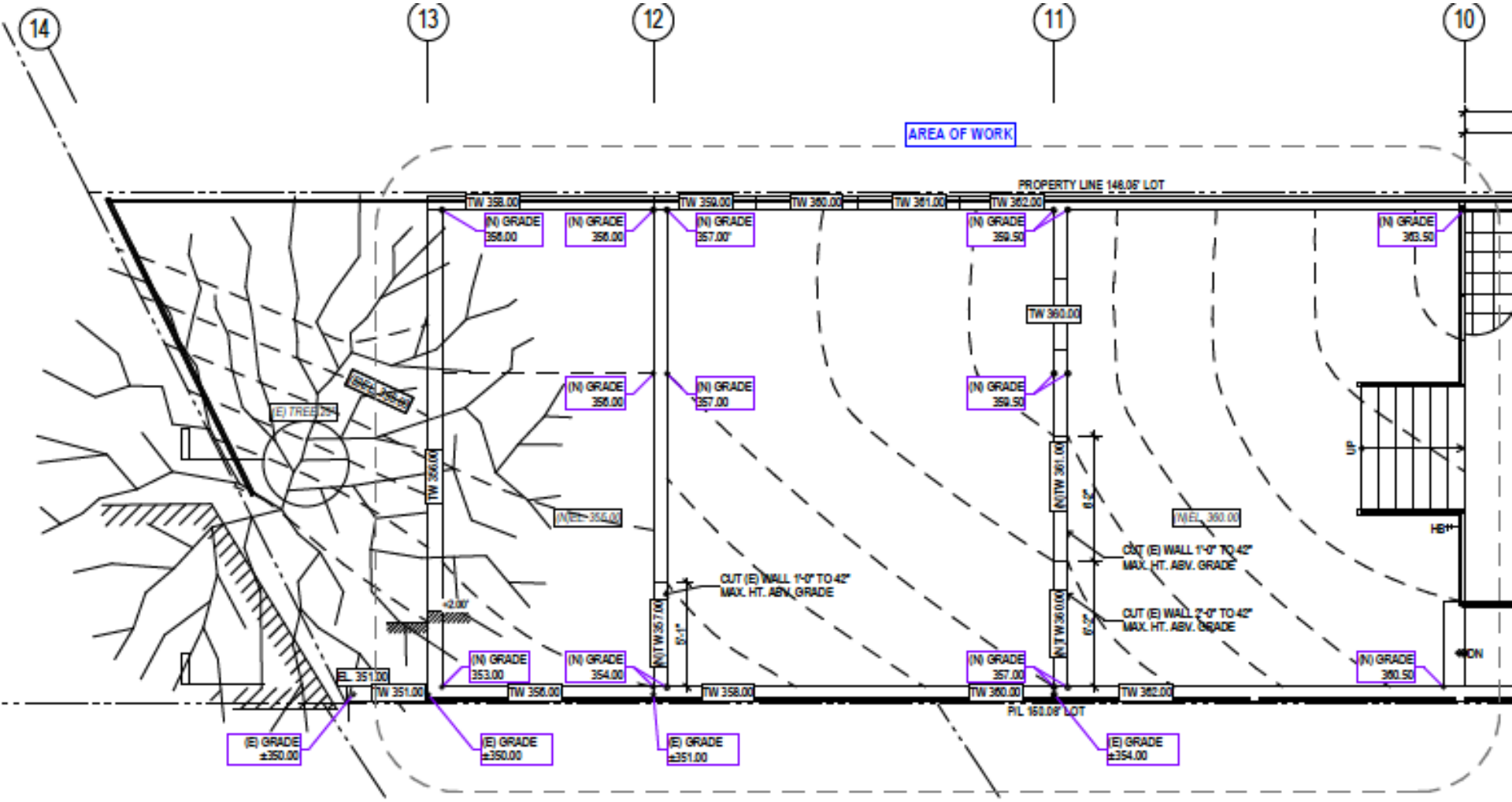
← ~350ft.

2476 Diamond St. Rear Yard – Original



Source: A2.0 2476 Diamond St. – Rear Yard Grade 1-13-20

2476 Diamond St. Rear Yard – Proposed

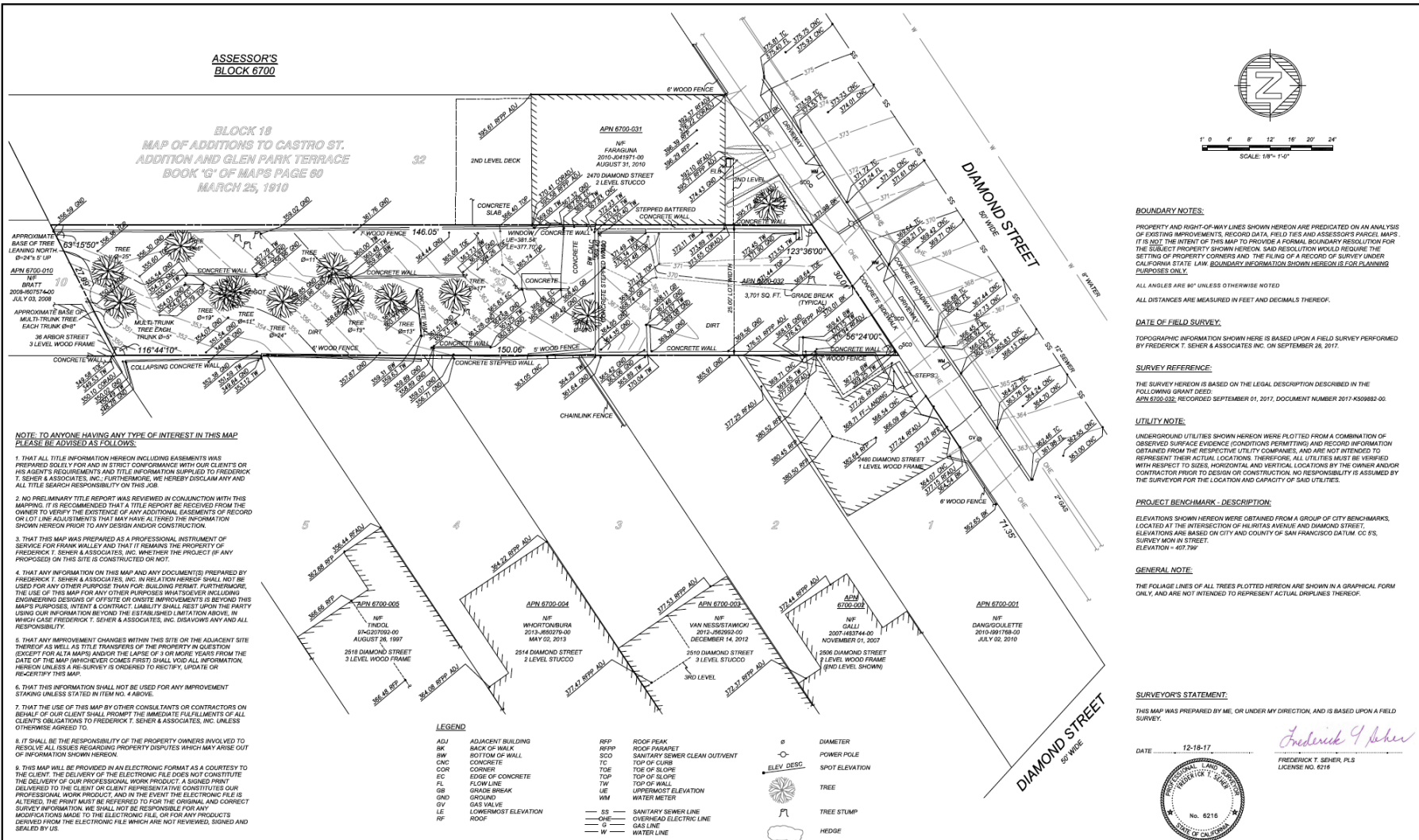
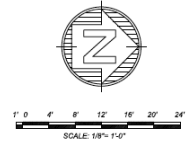


Source: A2.0 2476 Diamond St. – Rear Yard Grade 1-13-20

2476 Diamond St. Site Survey

ASSESSOR'S
BLOCK 6700

BLOCK 18
MAP OF ADDITIONS TO CASTRO ST.
ADDITION AND GLEN PARK TERRACE
BOOK 'G' OF MAPS PAGE 60
MARCH 25, 1910



NOTE: TO ANYONE HAVING ANY TYPE OF INTEREST IN THIS MAP PLEASE BE ADVISED AS FOLLOWS:

1. THAT ALL TITLE INFORMATION HEREON INCLUDING EASEMENTS WAS PREPARED SOLELY FOR AND IN STRICT CONFORMANCE WITH OUR CLIENT'S OR HIS AGENT'S REQUIREMENTS AND TITLE INFORMATION SUPPLIED TO FREDERICK T. SEHER & ASSOCIATES, INC. FURTHERMORE, WE HEREBY DISCLAIM ANY AND ALL TITLE SEARCH RESPONSIBILITY ON THIS JOB.
2. NO PRELIMINARY TITLE REPORT WAS REVIEWED IN CONJUNCTION WITH THIS MAPPING. IT IS RECOMMENDED THAT A TITLE REPORT BE RECEIVED FROM THE OWNER TO VERIFY THE EXISTENCE OF ANY ADDITIONAL EASEMENTS OF RECORD OR LOT LINE ADJUSTMENTS THAT MAY HAVE AFFECTED THE INFORMATION SHOWN HEREON PRIOR TO ANY DESIGN AND/OR CONSTRUCTION.
3. THAT THIS MAP WAS PREPARED AS A PROFESSIONAL INSTRUMENT OF SERVICE FOR FRANK WALLEY AND THAT IT REMAINS THE PROPERTY OF FREDERICK T. SEHER & ASSOCIATES, INC. WHETHER THE REPORT (IF ANY PROCESSED) ON THIS SITE IS CONSTRUCTED OR NOT.
4. THAT ANY INFORMATION ON THIS MAP AND ANY DOCUMENTS PREPARED BY FREDERICK T. SEHER & ASSOCIATES, INC. IN RELATION HERETO SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN FOR BUILDING PERMIT. FURTHERMORE, THE USE OF THIS MAP FOR ANY OTHER PURPOSES INCLUDING ENGINEERING DESIGNS OF OFFSITE OR ONSITE IMPROVEMENTS IS BEYOND THIS MAP'S PURPOSES. INTEREST CONTRACT LIABILITY SHALL REST UPON THE PARTY USING OUR INFORMATION BEYOND THE ESTABLISHED LIMITATION ABOVE, IN WHICH CASE FREDERICK T. SEHER & ASSOCIATES, INC. DISAVOWS ANY AND ALL RESPONSIBILITY.
5. THAT ANY IMPROVEMENT CHANGES WITHIN THIS SITE OR THE ADJACENT SITE THEREOF AS WELL AS TITLE TRANSFERS OF THE PROPERTY IN QUESTION (EXCEPT FOR ALTA MAPS) AND/OR THE ELAPSE OF 3 OR MORE YEARS FROM THE DATE OF THE MAP WHICH EVER COMES FIRST SHALL VOID ALL INFORMATION HEREON UNLESS A RE-SURVEY IS ORDERED TO RECTIFY, UPDATE OR RE-CERTIFY THIS MAP.
6. THAT THIS INFORMATION SHALL NOT BE USED FOR ANY IMPROVEMENT STRIKING UNLESS SPECIALLY NOTED ABOVE.
7. THAT THE USE OF THIS MAP BY OTHER CONSULTANTS OR CONTRACTORS ON BEHALF OF OUR CLIENT SHALL PROMPT THE IMMEDIATE FULFILLMENT OF ALL CLIENT'S OBLIGATIONS TO FREDERICK T. SEHER & ASSOCIATES, INC. UNLESS OTHERWISE AGREED TO.
8. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ALL ISSUES REGARDING PROPERTY DISPUTES WHICH MAY ARISE OUT OF INFORMATION SHOWN HEREON.
9. THIS MAP WILL BE PROVIDED IN AN ELECTRONIC FORMAT AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. A SIGNED PRINT DELIVERED TO THE CLIENT OR BEST REPRESENTATIVE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT. AND IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.

LEGEND

ADJ	ADJACENT BUILDING	RFP	ROOF PEAK
BN	BACK OF WALK	RFP	ROOF PARAPET
SC	BOTTOM OF WALL	SCO	SANITARY SEWER CLEAN OUTVENT
CONC	CONCRETE	TOE	TOE OF CURB
COR	CORNER	TOE	TOE OF SLOPE
EC	EDGE OF CONCRETE	FW	FLOW LINE
FL	FLOW LINE	WB	WATER BREAK
GB	GRADE BREAK	UE	UPPERMOST ELEVATION
GND	GROUND	WM	WATER METER
GV	GAS VALVE	SS	SANITARY SEWER LINE
LE	LOWERMOST ELEVATION	OHE	OVERHEAD ELECTRIC LINE
RF	ROOF	W	WATER LINE

BOUNDARY NOTES:

PROPERTY AND RIGHT-OF-WAY LINES SHOWN HEREON ARE PREDICATED ON AN ANALYSIS OF EXISTING IMPROVEMENTS, RECORD DATA, FIELD NOTES AND ASSESSOR'S PARCEL MAPS. IT IS NOT THE INTENT OF THIS MAP TO PROVIDE A FORMAL BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY SHOWN HEREON. SAID RESOLUTION WOULD REQUIRE THE SETTING OF PROPERTY CORNERS AND THE FILING OF A RECORD OF SURVEY UNDER CALIFORNIA STATE LAW. BOUNDARY INFORMATION SHOWN HEREON IS FOR PLANNING PURPOSES ONLY.

ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.

ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.

DATE OF FIELD SURVEY:

TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY FREDERICK T. SEHER & ASSOCIATES INC. ON SEPTEMBER 26, 2017.

SURVEY REFERENCE:

THE SURVEY HEREON IS BASED ON THE LEGAL DESCRIPTION DESCRIBED IN THE FOLLOWING GRANT DEED:
APN 6700-032, RECORDED SEPTEMBER 01, 2017, DOCUMENT NUMBER 2017-KS09882.00.

UTILITY NOTE:

UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THEREFORE, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.

PROJECT BENCHMARK DESCRIPTION:

ELEVATIONS SHOWN HEREON WERE OBTAINED FROM A GROUP OF CITY BENCHMARKS, LOCATED AT THE INTERSECTION OF HILBRITAS AVENUE AND DIAMOND STREET; ELEVATIONS ARE BASED ON CITY AND COUNTY OF SAN FRANCISCO DATUM (CC 85), SURVEY MON IN STREET. ELEVATION = 407.79'

GENERAL NOTE:

THE POLLINE LINES OF ALL TREES PLOTTED HEREON ARE SHOWN IN A GRAPHICAL FORM ONLY, AND ARE NOT INTENDED TO REPRESENT ACTUAL DIMENSIONS THEREOF.

SURVEYOR'S STATEMENT:

THIS MAP WAS PREPARED BY ME, OR UNDER MY DIRECTION, AND IS BASED UPON A FIELD SURVEY.

DATE 12-18-17

Frederick T. Seher
FREDERICK T. SEHER, PLS
LICENSE NO. 6218



DATE:	DECEMBER 2017	APN	6700-032
SCALE:	1"=40'	PROJECT	ARCHITECTURAL SITE SURVEY
DRAWN BY:	EC	CLIENT	2476 DIAMOND STREET, SAN FRANCISCO, CA
DRAWING NAME:	2081-17	DATE	12-18-17
SURVEYED BY:	FTS	REVISIONS	
CHECKED BY:	EE		
CHECKED BY:	NO	DATE	



FREDERICK T. SEHER & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
SURVEYING & MAPPING
841 LOMBARD STREET, SAN FRANCISCO, CA 94133
(415) 921-7690 FAX (415) 921-7655

ARCHITECTURAL SITE SURVEY
APN 6700-032
2476 DIAMOND STREET, SAN FRANCISCO, CA

SHEET 1
OF 1 SHEETS
JOB NO.: 2081-17

April 2, 2020


To: San Francisco Planning Department:
David Winslow
Jeff Horn
Delvin Washington
Jonas P. Ionin
Lorabelle Cook
San Francisco Planning Commission

CC. Tim Tindol 2518 Diamond St.
Alexa Tindol 2518 Diamond St.
Holly Bratt 30 Arbor St
Sarah Van Ness 2510 Diamond St.
Scott Stawicki 2510 Diamond St.

Dear SF Planning Department and SF Commission,

This letter is to inform the Planning Department and Planning Commission that we are joining neighbors in support of a request for Discretionary Review of the rear yard plans for 2476 Diamond Street. Specifically and as outlined in the DR request, we support that the retaining walls adjacent to our property be restored to the historical height submitted in the approved site plans, the grade of the rear yard not be increased in height, and appropriate contemporary fencing material is employed at the property line. The submitted plans which use concrete retaining walls as fencing, and increase the height of the yard grade creates an avoidable burden on our and neighbors' properties.

Sincerely,


2514 Diamond St.


2514 Diamond St.



March 19, 2020

To: San Francisco Planning Commissioners:

Joel Koppel
Kathrin Moore
Frank Fung
Sue Diamond
Milicent A. Johnson
Theresa Imperial

CC. San Francisco Planning Department:

David Winslow
Jeff Horn
Delvin Washington
Jonas P. Ionin
Lorabelle Cook
Rich Hillis

Dear Planning Commissioners and San Francisco Planning Department

This letter is inform the SF Planning Commission that the Glen Park Association Board is in support of a request for Discretionary Review of the addenda filed for 2476 Diamond St (Building Permit Application #2018.0123.9223). The GPA Board examined the DR request and concluded that it is in the interests of the Glen Park Association that the Planning Commission considers the issues included in the Discretionary Review.

It should be noted to the Commissioners that an officer from the Glen Park Association was included with other neighbors in the Discretionary Review request. That officer abstained from the vote on this action.

Please let us know any questions.

Sincerely,
The Glen Park Association Board
Bonnee Waldstein – Communication Secretary
Scott Stawicki - President

ZACKS, FREEDMAN & PATTERSON

A PROFESSIONAL CORPORATION

235 Montgomery Street, Suite 400
San Francisco, California 94104
Telephone (415) 956-8100
Facsimile (415) 288-9755
www.zfplaw.com

June 17, 2020

VIA EMAIL ONLY

President Joel Koppel
San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: 2476 Diamond Street: 2018-001662DRP

Dear President Koppel:

Our office represents Frank Walley (the "Project Sponsor"), who owns the property at 2476 Diamond Street (the "Property").

The Discretionary Review requesters object to work at the Property that is not part of the subject permit (BPA No. 201912058713, the "Subject Permit"). They do not object to work that is *within* the scope of the Subject Permit. The Subject Permit proposes to reduce the height of the *east-west* retaining walls in the rear yard of the Property. The DR requesters seek a reduction in the height of the *north-south* retaining walls on the boundary of the Property, which were previously approved under other permits. To wit, the north-south boundary walls are already permitted under BPA Nos. 201801239223 and 201910154489, along with the single-family home being built at the Property.

Even though the DR request asks for things that are not within the scope of work covered by the Subject Permit, the Project Sponsor has gone to great lengths to address the DR requesters' concerns. As a neighborly gesture, the Project Sponsor has offered further concessions, including a reduction in the height of the boundary walls, and an additional reduction in the height of the cross-lot retaining walls to lower than allowed by Code. The Project Sponsor has also offered to install finish materials on the boundary walls that are to the DR requesters' taste, such as traditional wood fencing. Or, if the neighbors would prefer that vines be planted at the base of the wall, the Project Sponsor is willing to contribute to any increased watering and maintenance costs.

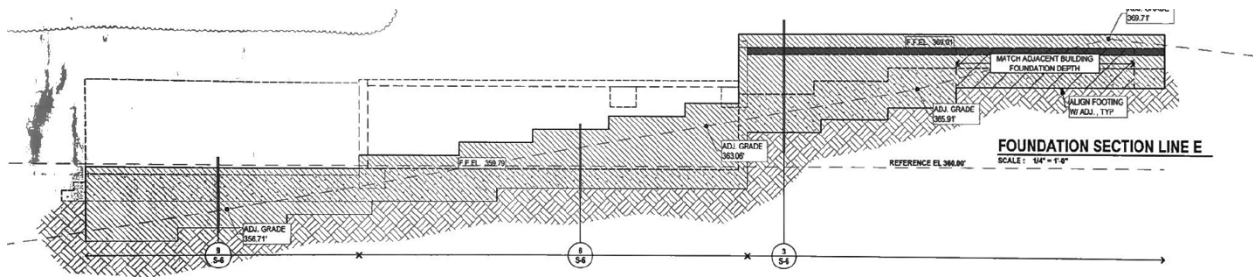
The Project is fully Code-compliant and raises no exceptional or extraordinary circumstances. The Project Sponsor requests that the Planning Commission approve the Subject Permit.

A. Background

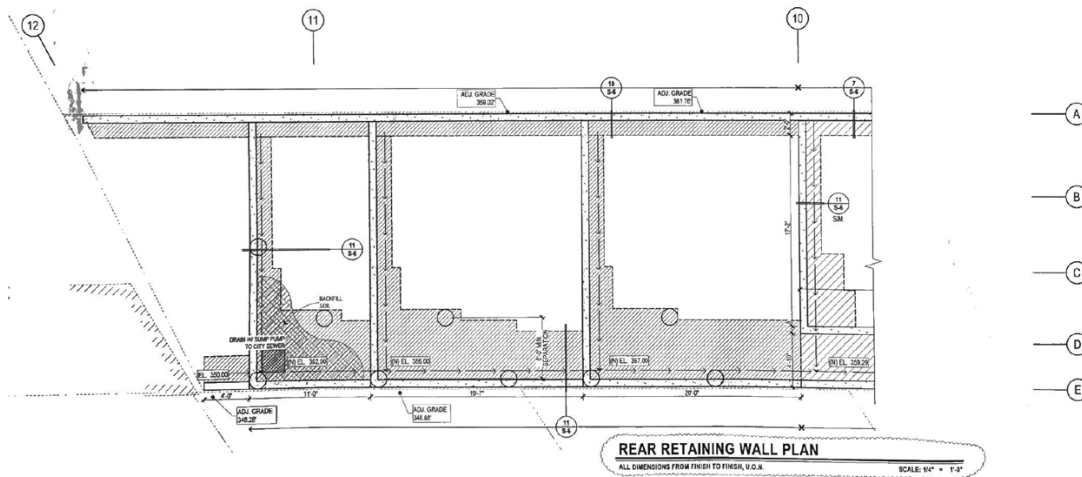
The Subject Permit proposes to lower the height of the east-west cross-lot retaining walls that are located entirely within the rear yard of the Property. This will lower the overall grade of

the rear yard. The DR requesters have not objected to this work. Rather, they have objected to the north-south *boundary* retaining walls, which have already been approved.

In July 2019, DBI issued a building permit for the construction of a single-family home at the Property (BPA No. 201801239223). The permit included new retaining walls and fences around the boundary of the Property. In October 2019, a subsequent permit was issued to “Revise Previously Approved 201801239223 For Rear Yard Retaining Wall And Patio” (BPA No. 201910154489) by increasing the height of the boundary retaining walls:



This change was made in order to provide privacy and stability for the rear yard. Cross-lot retaining walls (within the rear yard) were also approved to ensure slope stability, as depicted on the site plan:



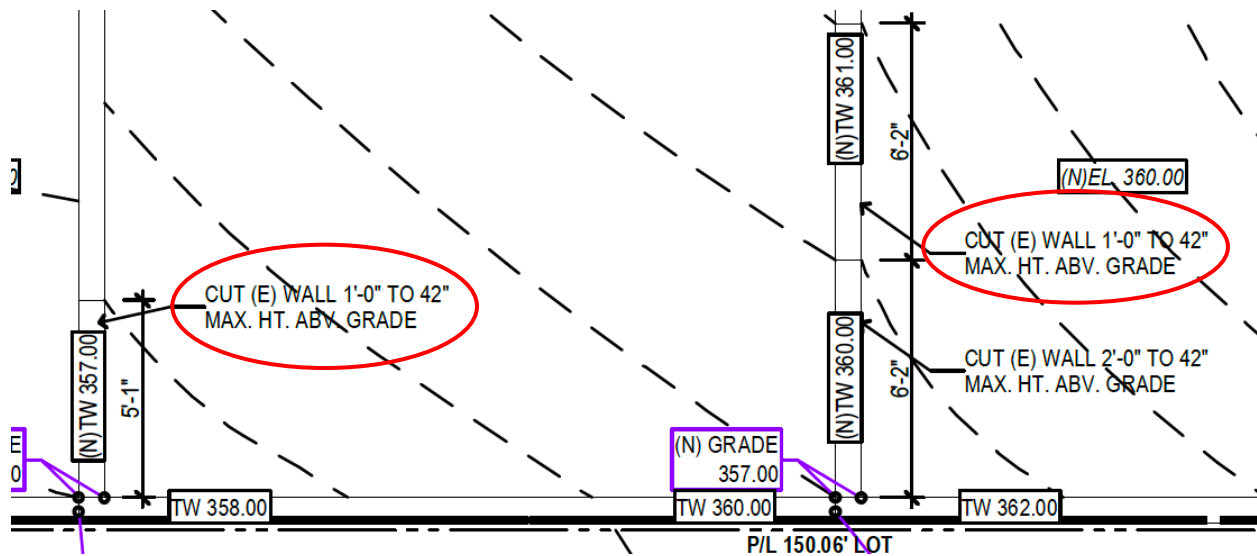
Neither building permit was appealed or challenged via discretionary review. The boundary retaining wall and fence have been finally approved.

Substantial work has been completed in reliance on these previously-approved permits. However, a neighbor complained to DBI, alleging that the boundary retaining wall was too high. The neighbors also objected to the change in grade at the rear yard from what was initially

proposed. The Project Sponsor applied for the Subject Permit to *reduce* the height of these east-west cross-lot retaining walls and the associated change in grade. This Subject Permit is the subject of this Discretionary Review request.

B. The Subject Permit Complies With The Code And Residential Design Guidelines, And Must Be Approved.

The Subject Permit proposes to lower the height of the cross-lot retaining walls by 1-2 feet, as noted on the site plan:

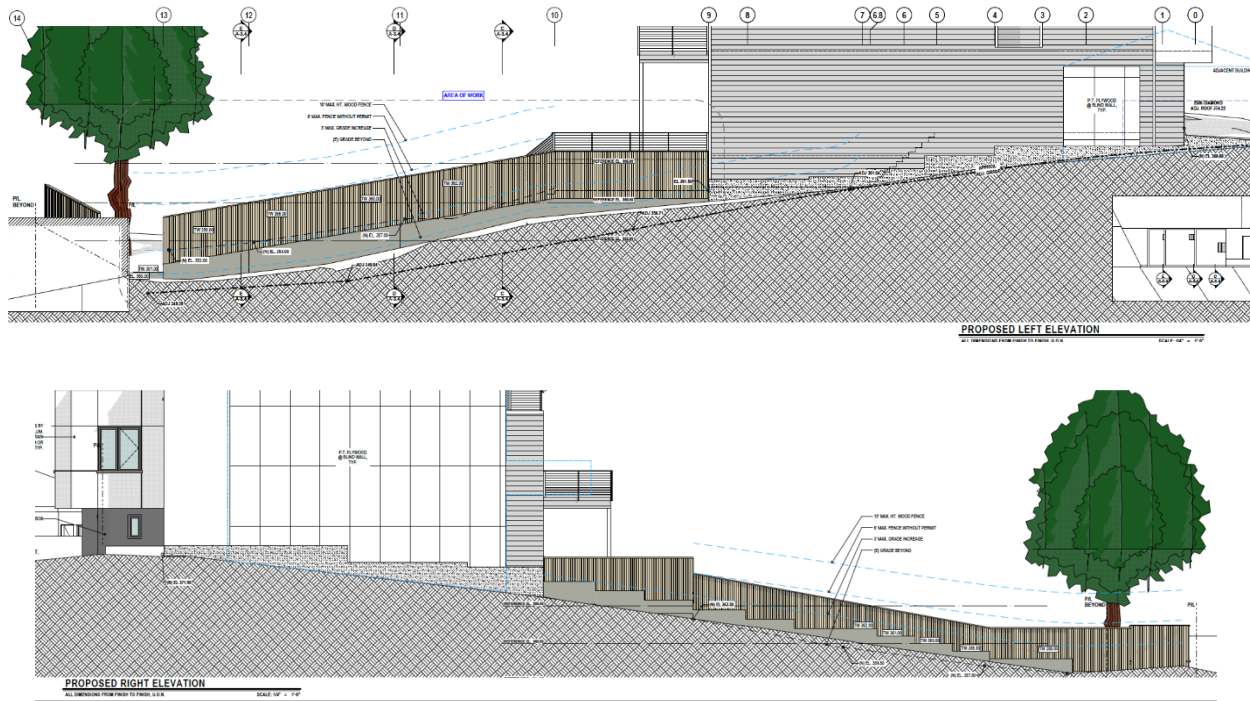


Strictly speaking, a permit is not required for this work. The Code does not require a permit for a 3' change in grade, or for a 42" handrail above the new grade. (Planning Code, section 136.) Retaining walls up to 4 feet in height do not require a permit. (SFBC, section 106.A.2.5.) This means that a retaining wall plus handrail may be 6'-6" in height, without requiring a permit. The Code does not restrict the materials that may be used for a handrail – indeed, Planning staff have advised that concrete may be used for the cross-lot retaining walls and handrail.

Despite the fact this work does not require a permit, Planning Staff requested that the wall reduction be done with a permit to ensure clarity and correct documentation. The Project Sponsor agreed. The Subject Permit proposes to lower the cross-lot retaining walls.

As discussed in the DR request, the DR requesters' actual objections relate to the height of the *boundary* retaining walls, which have already been approved and constructed pursuant to BPA Nos. 201801239223 and 201910154489. Even if the boundary walls fell within the scope of

Although the boundary retaining walls and fences are already approved, and are beyond the scope of this DR request, the Project Sponsor wants to work his neighbors on this issue. The Project Sponsor has offered to reduce the existing fence-wall height and make it follow the sloping topography smoothly rather than stepping down the slope:



The Project Sponsor has also offered to select finish materials that are to the DR requesters' taste. For example, he has offered to install traditional wood fencing on the outside of the boundary walls. Alternatively, if the neighbors would prefer that vines be planted at the base of the wall, the Project Sponsor is willing to contribute to any increased watering and maintenance costs. Additionally, the Project Sponsor has suggested the use of open trellis for the top foot of the fence to allow more light and air to pass through. However, the DR requesters have been unwilling to entertain these compromise proposals, despite the fact they squarely address their stated concerns.

Contrary to the DR requesters' assertions, at every step of the Project, the Project Sponsor has actively reached out to and engaged with his neighbors. The Project Sponsor met with Planning Staff and the DR Requesters on multiple occasions, including:

- 1/20/18 - Planning Pre-Application meeting at Noe Valley Library
- 5/16/18 - Meeting at Planning Department
- 6/3/18 - Meeting at DR requesters' house

Planning Commission

June 17, 2020

Page 6

- 10/24/18 - Meeting at Planning Department
- 11/2/18 - Meeting at Subject Property with DR requesters and Planning Staff
- 4/4/19 - Section 311 notice expires, with no Discretionary Review request filed
- 4/19/19 - Meeting at Planning Department. At this meeting, the Project Sponsor *voluntarily* reduced the height of the proposed house by 3 feet
- 1/10/20 - Meeting at Subject Property with DR requesters and Planning Staff
- 4/10/20 - Virtual meeting with DR requesters and Planning Staff

The Project Sponsor has enjoyed a collaborative working relationship with a number of his neighbors. The DR requesters are a notable exception, and have declined to engage with his compromise proposals.

The Project Sponsor respectfully requests that the Planning Commission decline to take Discretionary Review and approve the Subject Permit.

Very truly yours,

ZACKS, FREEDMAN & PATTERSON, PC



Ryan J. Patterson

Support for 2476 Diamond Street, San Francisco

The Proposed 3-Story, Single Family Dwelling

Dear Planning Commissioners:

I am a neighbor writing to express my whole-hearted support for the project.

I was excited to learn that the once run-down and now demolished building is going to be developed. We need more housing and in-fill projects like this!

I am in support of the project because it will:

- Create a much-needed, new family-sized housing unit to the neighborhood
- Providing 2 parking spaces so the new residents don't compete with their neighbors
- Match the neighborhood pattern of 3 story heights, with a nice modern design
- Respect neighbors' privacy with reduced decks and limited side windows

For the much-needed housing and improvement in our neighborhood, I urge the Commission to approve this project as proposed. Thank you.

Sincerely yours,

Date:

Marc Dickow

6/17/2020

Signed

Marc Dickow

121` Moffitt St., San Francisco, 94131

Print Name

Address

From: [Tom DeCaigny](#)
To: [Winslow, David \(CPC\)](#); [Horn, Jeffrey \(CPC\)](#); [Ionin, Jonas \(CPC\)](#)
Cc: [ICE Seth Goldstein](#); [Frank Walley](#)
Subject: Letter of support for Frank Walley Construction re: 2476 Diamond St.
Date: Monday, June 15, 2020 4:07:50 PM

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear Mr. Winslow, Mr. Horn and Honorable San Francisco Planning Commissioners:

I'm writing to provide a letter of support for Frank Walley and Frank Walley Construction regarding the permit for 2476 Diamond Street. Mr. Walley built my and my partner's home in the Excelsior neighborhood in 2013 and is currently working with us on a minor home remodel. As somebody who has worked with many contractors in San Francisco through my former role as a City Department Head, I can say that Mr. Walley and his team are among the top 5% of contractors that I've worked with over the years. His professionalism, communication skills and work product are of the highest quality.

In his work with us, Mr. Walley has built and maintained close trusted relationships with our interior designer, housemates and neighbors. He has been able to adhere to clear timelines and has proactively informed all parties of potential inconveniences that may necessarily result from construction. For instance, he went out of his way to offer to rebuild both neighbors' fences during construction of our home and also assisted with painting and other minor repairs as a courtesy for having to deal with construction noise. He has also been able to work with us and our neighbors to ensure that deliveries and worker parking do not impact our neighbors' parking – not an easy feat in the Excelsior. He has repeatedly demonstrated patience and strong communication skills even when our interior designer or external vendors have made last-minute changes or adjustments to the work scope.

In summary, Mr. Walley is a stellar contractor with a demonstrated track record of success in San Francisco and the Bay Area. I hope you'll take his strong reputation into consideration when reviewing the permit for 2476 Diamond Street. If there is any additional information I can provide in support of this permit, please don't hesitate to contact me.

Sincerely,
Tom DeCaigny
tdecaigny@gmail.com
(415) 235-6393

From: [Baljeet Singh](#)
To: [Winslow, David \(CPC\)](#); [Horn, Jeffrey \(CPC\)](#)
Subject: Letter of support for Frank Walley - 2476 Diamond St.
Date: Tuesday, June 16, 2020 10:17:06 PM

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear Commissioners,

I understand that Frank Walley is currently developing a property at 2476 Diamond St. and there is currently a discretionary review being held on this construction.

I am writing to express my sincere support for Frank Walley as a builder & developer. He built the house where I currently reside (at 339 Crescent Ave, San Francisco, CA 94110) in 2017. He has proven to be a genuinely concerned, ethical, and professional developer. All throughout the closing process and for the 3 years since the house was built, he made himself available to not only answer questions, but also address any concerns that we raised about the property. On top of that, he established great relationships with all our neighbors - to the point that he's the first one they call when they need advice or construction help. Frank went out of his way to make sure the construction went smoothly, and even helped those particular neighbors with some issues they had in their own homes. For example, I believe he helped retrofit our neighbor's foundation to make it more earthquake safe. As another example, he carved out a lightwell for a neighbor to preserve the light they had in their house, even though it meant compromising the square footage of our place. If you mention Frank's name in the neighborhood, its always met followed by sincere praise.

Please feel free to contact me if you have any questions or want to chat further about Frank and his character.

Thanks

Baljeet Singh
339 Crescent Ave Sna Francisco CA 94410
(646) 620-8302

From: [Anhoni Patel](#)
To: [Winslow, David \(CPC\)](#); [Horn, Jeffrey \(CPC\)](#)
Cc: fwalley@sbcglobal.net
Subject: In Support of Frank Walley
Date: Monday, June 15, 2020 5:12:50 PM

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

To whom it may concern,

I fully support Frank Walley at the discretionary hearing for 2476 Diamond St.

I have been a resident of San Francisco for about 20 years and a homeowner in Bernal Heights for the past decade. Frank Walley, a contractor, bought and, with architect Jeremy Schaub, built a new home next to ours in 2017. The project took approximately 8 months to complete and during that period we had an open dialogue with Mr. Walley and Mr. Schaub who were fully accessible to our communications and any of our concerns.

Before the project began, we were sent the plans and had a chance to raise concerns and file any disputes with the city and the planning department. During this process, we - and the other neighbors - felt that our concerns were heard and addressed, that we were treated fairly and we were not rushed through the process due to time constraints. We was respectful of our neighborhood and our community. Furthermore, any changes that needed to be made were done so in a clear and timely manner by Mr. Schaub.

Building a home in San Francisco can be an arduous process for both the developers and the neighbors and I can honestly say that process with Mr. Walley and Mr. Schaub was as smooth as can be. Furthermore, Mr. Walley formed relationships and was on friendly terms with all the surrounding neighbors.



The new home they built is a beautiful addition to the neighborhood.

Sincerely,
Anhoni Patel
resident, 345 Crescent Avenue, 94110

From: [Joe Uniacke](#)
To: fwalley@sbcglobal.net; [Winslow, David \(CPC\)](#); [Horn, Jeffrey \(CPC\)](#)
Subject: Fw: letter
Date: Sunday, June 14, 2020 10:05:03 AM

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Discretionary Review Permit #2019.1205.8713

From: Joe Uniacke <uniackemj@hotmail.com>
Sent: Saturday, June 13, 2020 6:32 AM
To: fwalley@sbcglobal.net <fwalley@sbcglobal.net>
Subject: Fw: letter

From: Joe Uniacke
Sent: Saturday, June 13, 2020 6:29 AM
To: fwalley@abcglobal.net <fwalley@abcglobal.net>
Subject: letter

To Whom it may concern,

We have been residents at 5698 Diamond Hgts Blvd since 1979. We often walked and drove by 2476 Diamond Street thru the years. We would see random items in the entry being hoarded creating a fire hazard. It was a concern for who ever may have been living in the residence and all neighbors.

We are looking forward to seeing a new residence being built that will accommodate another family in Glen Park and will meet the needs of current life styles.

We have known Frank Walley as a contractor for many years. We are pleased Frank Walley will be building a home in our neighborhood. Frank is an accomplished, experienced builder who will provide much needed housing for another family in San Francisco.

Regards,
Joe & Mary Uniacke
5698 Diamond Hgts Blvd.
San Francisco

From: [Joshua C Fry](#)
To: [Winslow, David \(CPC\)](#); [Horn, Jeffrey \(CPC\)](#); [Frank Walley](#)
Subject: Discretionary Review of Building Permit Application # 2019.1205.8713
Date: Friday, June 12, 2020 9:08:17 AM

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

In regards to 2476 Diamond St. in San Francisco and Discretionary Review of Building Permit Application # 2019.1205.8713,

I am emailing to speak to the character of Frank Walley from my experience of purchasing one of his new construction custom homes in 2016 at the address of 35 La Grande Ave in San Francisco.

Frank was very helpful answering my questions before and after purchasing the home on La Grande Ave.

He always has been responsive when I text or call and was always willing to come by after I purchased the home to address any questions I had about minor repairs or improvements.

Frank has always been very polite and cordial when I have spoken with him in person and over the phone. From my experience, I believe he has a good demeanor and is capable of building a quality crafted home.

I hope I have provided some insight into the good character of Mr. Frank Walley.

Joshua Charles Fry

From: [Dave O'Donnell](#)
To: [Winslow, David \(CPC\)](#); jeremy@slasf.com; fwalley@sfglobal.net
Subject: 2476 Diamond St - Support
Date: Monday, June 15, 2020 5:12:56 PM

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear Mr Winslow,

I am writing this e-mail today to express my strong support for the proposed home to be built at 2476 Diamond St. I have lived in Glen Park for almost 20 years. I live just down the hill from this proposed home.

I had been passing the eyesore of a house for many years and I was delighted to see it demolished and a new family home was to take its place

This neighborhood has grown and matured over the last 20 years. We have seen family after family move into Glen Park and, the neighborhood is all the better for that.

I have no idea why someone would DR this project. Its a perfect fit for the neighborhood. Please add this e-mail to the list of neighbors strongly supporting this home.

I am available for further comment at any time, and will be willing to speak in favor of this great addition to the neighborhood at the DR meeting

Regards and Thanks
Dave O'Donnell
101 Arbor St
415 717 6872

To the Planning Commissioners

Support letter for 2476 Diamond St.

My name is Jim McNamara and am the owner of 2340 Diamond Street for over 40 years. My house is just up the street from the subject property.

I was very surprised to hear that the project at 2476 Diamond has been held up and is going to go to a discretionary review hearing over a dispute in the backyard area of the lot. The raising of the grade by 3 feet on that low side of the lot makes perfect sense and would make that area more usable and also help to control ground water from getting into the neighbors yards.

That old abandoned house was left to rot for years and was an eyesore and embarrassment to the neighborhood. It was a happy day when it was demolished.

This new modern home will be a great addition to our neighborhood. We need more housing and in-fill projects like this.

I fully support this project and urge the Planning Commission to do the same.

Thank You,

James McNamara
2340 Diamond Street
San Francisco, CA 94131

415-652-0414

GENERAL PROVISIONS

The structural systems have been designed to carry the superimposed live loads as prescribed by the building code and in accordance with standard engineering practices, with no special provisions for carrying concentrated loads from storage and handling of construction materials or from operation of construction equipment.

The Contractor shall maintain the integrity of all scaffolding, bracing, underpinning and shoring as required for installation, stability and safety of new work as well as existing structures, piping and foundation systems, and shall retain his own consultants to inspect and review all job conditions.

The Contractor shall provide protection as required, and be solely and completely responsible for the conditions of the jobsite including safety of persons and properties.

The removal, cutting, drilling, etc. of existing or new work shall be performed with small tools in order not to jeopardize the structural integrity of the building and the adjacent buildings.

The Contractor shall protect new and existing construction from inclement weather and from physical damage to finish surfaces and materials.

The Contractor shall verify all dimensions and coordinate scope of all work with existing and job conditions and compare structural drawings for coordination with other drawings before commencing work.

Unless otherwise shown or noted, all typical details shall be used where applicable. In the event certain features of the construction are not fully shown or specified, then their construction shall be of the same character as for similar conditions that are called for or detailed. Do not scale drawings. The more stringent note or specification shall take precedence.

Notify Architect / Engineer of any discrepancies, special or changed conditions before proceeding with the work. If previously placed structural members, piping or ductwork interfere with placement of structural members, notify Architect / Engineer for modifications.

The contractor shall provide the coordinate tests and inspections as required by the Building Code and the approved set of permit drawings.

1. Applicable Code: S.F.B.C., 2016
2. Vertical Live Loads (Reducable)
Roof: 20 PSF Floor: 40 PSF Snow: 0 PSF
3. Wind Design Data
V_{max} = 110 MPH W_{ref} = 85 MPH
Risk Category = II Wind Exposure = B
C_d = 0.73 CBC = 15 PSF per 1609.6.3
4. Earthquake Design Data (ASD)
Risk Category = II Seismic Importance Factor I_w = 1
S₁ = 1.57 S₂ = 0.77 Site Class = B
S₃ = 1.11 S₄ = 0.51 Seismic Design Category = D
Folice Retaining System = Light-Framed Shear Walls Seismic Response R = 8.5
Base Shear V = 0.171W Seismic Response C_v = 0.059

ADJACENT FOUNDATIONS

1. Underpinning, shoring, and/or grouting under separate permit if required. Permit shall be issued prior to any demolition.
2. Owner shall obtain monitoring of adjacent buildings for displacement and/or foundation movement from licensed surveyor or geotechnical engineer consisting of pre-construction photo & elevation survey. Comply with SFBC Section 3307 & California Civil Code Section 852. Coordinate with Geotechnical Engineer about any excavation near adjacent property.

FOUNDATION & EARTHWORK

1. Allowable soil bearing pressure 2,000 psf Live + Dead, 3,000 psf Total per Geotechnical Report by H. Allen Grant dated 3/7/18
2. Contractor shall verify depths and locations of utility systems, piping and foundation systems adjacent to the work prior to start of construction.
3. Footings shall be excavated to depths shown on the drawings. Footings shall be poured on firm undisturbed soil.
4. Areas to receive fill shall be excavated to depths required to provide firm bearing for the fill.
5. Backfill materials shall be free from organic matter and other deleterious substances, and shall not be placed against walls until the walls and their bracing slabs have developed their design strength.
6. Fill materials shall be placed in eight inch layers with sufficient moisture content to be compacted to 98% of maximum dry density by ASTM D1557 test methods. Use 50% compaction of areas more than five feet from building that are not to receive paving.

CONCRETE

1. Concrete work shall be performed in accordance with the "Manual of Standard Practice for Detailing Concrete Structures" ACI 315-77, and ASTM 644, unless otherwise noted.
 2. Concrete shall be proportioned with cement, hardrock aggregates and admixtures to provide strengths as shown and the requirements of the building code for water content ratios and air content.
- | USE | 28-DAY STRENGTH | AGGREGATE | SUMP |
|-------------------------------------|-----------------|-----------|--------|
| Slabs - Concrete | 3000 PSI | 3/4" | 4" |
| Foundations, unless otherwise noted | 3000 PSI | 3/4" | 3" |
| Stabs on Grade | 2500 PSI | 3/4" | 3" |
| Walls < 6' high | 3000 PSI | 3/4" | 4" |
| Walls > 6' high | 3000 PSI | 3/4" | 4" |
| Columns | 3000 PSI | 3/4" | 4" |
| Suspended Slabs | 3000 PSI | 3/4" | 4" |
| Roofing Slabs | 3000 PSI | 3/4" | 4" |
| Concrete over Metal Deck | 3000 PSI | 5/8" | 3-1/2" |

3. All excavations, formwork, and reinforcement shall be inspected by the building inspector prior to placement of concrete.

SHOTCRETE

1. Shotcrete shall conform to the requirements for reinforced concrete and may be used in lieu of cast-in-place concrete at contractor's option unless job conditions or code regulations make it mandatory to use the cast-in-place method. Shotcrete shall comply with CBC Section 1804A.
2. Before placement of shotcrete against existing concrete surfaces, thoroughly clean and roughen and sandblast. Apply a bonding agent to the existing concrete surface prior to placement of new shotcrete.
3. Proportions shall be suitable for placement procedures using the equipment selected, and shall result in hardened shotcrete meeting the strength requirements for reinforced concrete. Coarse aggregate shall not exceed 3/8 inch.
4. Lap splices in reinforcing bars shall be the non-contact lap splice method with at least 2" clearance. DBI may permit the use of contact lap splices provided it can be demonstrated by test panels that adequate encasement can be achieved. All splices in reinforcing bars can be made with pre-approved threaded reinforcing bar couplers as an alternative.
5. Test panels shall be provided, cured, sawn, examined, and tested for concrete strength prior to commencement of the work. Thickness and reinforcing shall reproduce the thickest and most congested area and shall be shot at the same angle, using the same nozzle man, and with the same concrete mix used on the project. Separate test panels shall be shot for different angles. All test panels shall be the responsibility of the contractor and shall be 6'-0" x 6'-0" minimum.
6. Rebound or accumulated loose aggregate shall be removed from the surface prior to placing the initial or any succeeding layers of shotcrete. Unfinished work shall not be allowed to stand for more than 30 minutes before placing additional material adjacent to previously applied work. Stopping and square edges standing more than 30 minutes shall be cleaned by sandblasting and wetted prior to continuance of placement. Any shotcrete which exhibits sag or slough, segregation, honeycombing, sand pockets or other defects shall be removed and replaced.
7. Shotcrete shall be kept moist for 24 hours after placement to complete. Final curing shall continue for seven days or until the specified strength is obtained. Final curing shall consist of a fog spray or an approved moisture retaining cover of application of curing compound through a membrane. During curing, shotcrete shall be maintained above 40°F.
8. Strength tests shall be made in accordance with ASTM standards by an approved agency on specimens which are representative of the work and which have been water soaked for at least 24 hours prior to testing.
 - a. From in-place work taken once each shift or one for each 50 cubic yards or less of shotcrete, whichever is greater
 - b. From 12"x12" test panels: made once each shift, or for each 50 cubic yards or less of shotcrete placed.
 The average of three cores from a single panel shall be 285% of the specified concrete compressive strength with no single core <75% of the specified strength. To check accuracy, locations with erratic core strengths may be retested.
9. Inspections:
 - a. During placement, special inspection is required. The approved inspector shall provide inspection of the placement of reinforcement and continuous inspection of the shotcrete application and shall submit a statement indicating compliance with the plans and specifications.
 - b. Examination for soundness of in-place shotcrete completed work shall be checked visually for reinforcing bar embedment, voids, rock pockets, sand streaks, and similar deficiencies, by examining a minimum of three 3" cores taken from three 3" areas that represent the worst condition of reinforcing bars in the project. These shall be examined by the special inspector who shall submit a report on the findings prior to final approval of the shotcrete work.

CONCRETE FORMWORK

1. Formwork shall be properly constructed to concrete surfaces.
2. Lumber shall be Douglas Fir construction grade. SISZE or better, Plywood shall be APA Gypsum, Plyform, B-8 exterior
3. For exposed concrete, formwork shall be joined tightly to produce a smooth finish surface. All exposed concrete surface irregularities shall be the responsibility of the Contractor.
4. Coordinate with other trades for location of embedded items, such as pipes and conduits, etc. Install and securely tie in place all inserts, bolts, anchors and sleeves prior to placement of concrete.
5. Forms on vertical surfaces shall not be removed until 72 hours after placement of concrete. Forms for horizontal surfaces shall not be removed for at least 21 days.

REINFORCEMENT

1. Reinforcing steel shall be grade 60, bars #4 and smaller use grade 40, in accordance with requirements of ASTM A615. The wire shall be 18 gauge or heavier, black annealed, ASTM A62.
2. Reinforcing steel shall be placed in accordance with CRSI "Manual of Standard Practice" and Section 1907 of the Building Code. Concrete Member - Lap 30 bar Diameters
Concrete Block & Masonry - Lap 40 bar Diameters
3. Reinforcing steel shall be free from loose rust or any other coating or materials which will destroy or reduce bond between the concrete and reinforcing steel.
4. Reinforcing steel shall not be bent or straightened in a manner which will injure the materials and shall be accurately placed and positively secured in designated locations against displacement.

REINFORCEMENT SPLICE SCHEDULE:

Fy	BAR SIZE	SPECIFIED CONCRETE STRENGTH, Fc			
		2500	3000	4000	5000
40	#3	1'-6"	2'-0"	2'-6"	3'-6"
40	#4	2'-0"	2'-0"	3'-6"	4'-6"
60	#5	2'-0"	3'-0"	3'-6"	5'-0"
60	#6	2'-0"	3'-6"	4'-6"	5'-6"
60	#7	1'-6"	3'-6"	5'-0"	6'-6"
60	#8	1'-6"	2'-0"	2'-6"	3'-6"

STRUCTURAL STEEL

1. Structural steel shapes and plates shall conform to ASTM A572.
2. Structural tubing shall conform to ASTM 500, Grade B.
3. Bolts shall conform to ASTM A307
4. Arc welded electrodes shall conform to Table 4.1.1 of AWS D1.1 - 72 for filler metal requirements.
5. Moment Frames (Beams, Columns and Plates): ASTM A992 or A913 (50 ksi)
6. Welding Electrodes: E-70. All welds shall be in conformity with the Structural Welding Code (AWS D1.1) of the American Welding Society
7. Structural steel workmanship and detailing shall conform to AISC Specifications for the "Design, Fabrication, and Erection of Structural Steel for Buildings". AISC Steel Construction Manual, 9th Edition.
8. All exposed steel items shall be galvanized after fabrication. Miscellaneous metals to be shop painted. All ferrous metals wholly or partially exposed to weather to be coated with a zinc rich primer. After installation, touch up or paint field connections and abrasions with same paint used for shop painting. All ferrous metals to be embedded in concrete shall be shop coated with lead primer.

ROUGH CARPENTRY

1. All framing lumber except sills against concrete shall be Douglas Fir and Larch or Douglas Fir Coast Region and shall bear the Western Wood Products Assoc. or West Coast Lumbermen Assoc. grade mark for the following grades or better:
Rafters, Joists & Beams 4" thick: No. 1 Grade J & P (1500)
Beams 5" and thicker: No. 1 Grade B & S (1350)
Sills, blocking, etc: No. 2 Grade, Sx L (1450)
Post Sills & larger: No. 1 Grade, P & T (1200)
2. Sills against concrete shall be 2x6 foundation grade redwood or pressure treated Douglas Fir.
3. All plates, rafters, headers, or beams bolt or flush framed into carrying members shall be supported by joist hangers fully nailed to support and to joist (i.e. all holes filled) using the following schedule except as noted on plans:
MEMBER SIZE JOIST HANGER
2x4 through 2x12 Simpson "J", 16 gauge
2x4 and 2x6 Simpson "J", 16 gauge
2x4 through 3x18 Simpson "J", 16 gauge
2x4 through 2x2x16 Simpson "J", 16 gauge
4x4 through 4x6 Simpson "J", 16 gauge
3x2x10 through 3x2x16 Simpson HUTT
6x6 through 6x16 Simpson "HJ", 12 gauge

4. Wood posts bearing on concrete shall be secured directly to the concrete with post anchors fully nailed (i.e. all holes filled) use 16 gauge G.I. post anchors or Simpson PB. See details for nailing.
5. Bolts bearing on wood shall have washers, ASTM F644 for Standard Flat Washers unless otherwise noted.
6. All blocking, bridging, doubling of joists under parallel partitions, firestopping, etc. not indicated shall be as required by building code.
7. All plywood sheathing shall be A.P.A. grade marked. Plywood subject to moisture during construction shall have exterior grade glue. Plywood subject to moisture after construction shall be exterior grade plywood.
8. Non-shear wall plywood nailing shall be 8d at 6" on center on edges and 8d at 12" on center at field.
9. Roof sheathing shall be 1/2" plywood sheathing, C-C exterior grade (unless otherwise noted on plans). Nailing: Field 8d at 12" on center, supported edges 8d at 6" on center.
10. Floor sheathing shall be 1-1/8" T&G plywood 2x4 / grade or 5/8" T&G plywood C-C exterior grade (unless otherwise noted on plans). Nailing: Field 16d at 18" on center, supported edges 16d at 18" on center (unless otherwise noted on plans). No blocking required unless noted on plans.
11. Plywood for shear walls shall have all edges supported and nailed. Adjoining sheets shall be nailed to same framing member or blocking piece. See plans for edge nailing. Field nailing is 12" on center in all cases. Shear wall plywood shall be CDX, Structural-1 exterior grade.
12. Unless other bracing is shown on drawings all exterior walls bearing partitions shall be angle braced at corner and 1"x1" braced at 25' intervals.
13. Gypsum sheathing shall be nailed at 7" on center maximum to each stud, sill and plate with 11 gauge 1-3/4" long, 7/16" diameter head galvanized diamond point nails.
14. Gypsum wall board shall be nailed with 6d common nails at 7" on center to sill, studs and plate.
15. All manufactured framing anchors, holdowns, post bases, post caps etc. referred to by figure number on the plans are as manufactured by Simpson Company. Similar items manufactured by others may be substituted provided that UBC approved strengths are equal or higher, and that they are approved by the City Department of Building Inspection.
16. Glulam beams shall be manufactured in accordance with C2 253, AITC 117 and UBC standard 25-11.
17. Provide ties and blocking at all horizontal diaphragm openings per plan and per CBC 1833.2.5
18. T/J & Parاللam components to be Level by Weyerhaeuser, unless otherwise noted.
19. Common nails to be used, unless otherwise noted. All nailing per CBC table 23-4-B-1
20. Wood exposed to weather shall be treated or approved wood of natural resistance to decay. All fasteners in contact with treated wood shall be hot-dipped galvanized or stainless steel.

NAILING SCHEDULE: MINIMUM PERMISSIBLE CONNECTIONS

- JOIST**
- To sides of studs 2x8 or smaller - 3-16d
 - To sides of studs 2x10 and 2x12 - 4-16d
 - To sides of studs 2x14 and 2x16 - 5-16d
 - To sill or girder - toe nail - 3-16d
 - To plate - toe nail - 2-16d
 - Laps over partitions - 3-16d
- CEILING JOIST**
- To plate - toe nail - 3-16d
 - To parallel alternate rafters - 3-16d
 - Laps over partitions - 3-16d
- STUDS**
- To plate - end nail - 2-16d
 - To plate - toe nail - 4-10d
 - Corner studs and angles - 16d @ 24"
- BLOCKING**
- Between Joists:
 - To joist - toe nail each side & each end - 2-16d
 - To joist bearing - toe nail each side - 2-16d
 - Between Studs:
 - Toe nail each end - 2-10d
 - or straight nail each side - 2-16d
- CROSS BRIDGING**
- Between Joists: Toe nail each end - 2-8d
- DOUBLE TOP PLATES**
- Top plates - spike together to lower plate staggered - 16d at 24"
 - lips and intersections - 2-16d
 - Lower plate to top of stud - 2-16d
 - Plate to joist or blocking - 16d at 18"
 - Upper plate to lower plate at splice points - 16d at 18"
 - (Minimum lap 4'-0", stagger splices)
- DOUBLE JOISTS**
- Where blocked apart - at each block each side - 2-16d
 - Where not blocked apart - stagger - 16d at 12"
- BUILT - UP BEAMS**
- 12" or less in depth - staggered - 16d at 12"
 - Greater than 12" in depth - staggered - 1/2" bolts at 12"
- MULTIPLE STUDS**
- Stagger for widths more than 4" - 16d at 12"

NOTE:
There shall be at least 2 nails at all contact points with:
8d through 1" materials
16d through 1-1/2" materials
20d through 2-1/2" materials

Whenever possible, nails should be driven perpendicular to the grain instead of toe nailing.

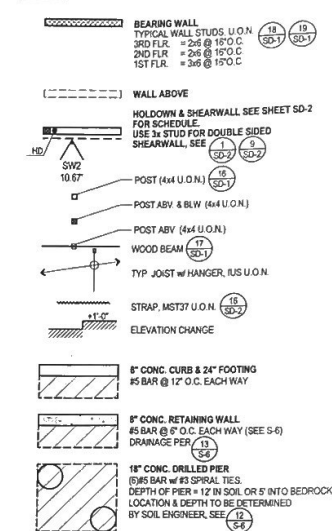
SPECIAL INSPECTIONS:

The special inspector shall be selected by the Owner or their Representative and approved by the Department of Building Inspection prior to start of work. Reports to be submitted directly to DBI.
In existing concrete, new embedded tension bolts shall be subject to a direct tension load of not less than 2.5 times the design load, but not less than 1,500 pounds for five minutes.

ABBREVIATIONS

All	Alternate	HD	Holdon
ACI	American Concrete Institute	HDS	Holdon Structural Section
AISC	American Institute of Steel Construction	Hdr	Header
ASTM	American Society of Testing and Materials	Hor	Horizontal
A.B.	Anchor Bolt		
Bm	Beam	Lst	Lateral
BK	Block	LL WL	Light Weight Laminated Veneer Lumber
Bkg	Blocking		
Btm	Bottom	Mch	Machine
		M or M	Metal
Calc	Calculations	Pl	Plate
Cj	Joist	Plycd	Plywood
Ct	Clear	PSL	Parallel Strand Lumber
Col	Column	PTDF	Pressure Treated Doug Fir
Conc	Concrete		
Conn	Connection		
Const	Construction		
Cont	Continuous		
		o.c.	On Center
Dia	Diagonal	Raifd	Reinforcing
Dm	Diameter	Rqd	Required
Dm	Dimension	RJ	Roof Joist
DBI	Double	Rf	Roof
Dag	Diagonal		
Dia	Diameter	S.F.B.C.	San Francisco Building Code
Dim	Dimension	S.A.D.	See Architectural Detail
DBI	Double	S.B.	Solid Blocking
		Sec	Section
Ea	Edge	Sh	Sheet
E.N.	End Nail	Sp	Specification
Eq	Equal	Str	Struc
Eq	Equal	Str	Structural
Exp	Expand/Expansion	SW	Shearwall or StrongWall
Ext	Exterior		
		T&B	Thick
Fin	Finish	T&B	Top and Bottom
Fo	Footing	T&G	Tongue and Groove
Flg	Flooring	T&S	Thick Steel
Fdn	Foundation		
		Ver	Vertical
Ga	Gauge	VF	Vertical Field
Gr	Grade	Vol	Volume
Grnd	Ground		
Gyp	Gypsum	WP	Waterproof
		WW	Wetted Wire Fabric

LEGEND:



STRUCTURAL NOTES:

- S1: PROVIDE SOLID STUDS BELOW GROUP JOIST
- S2: PROVIDE JOIST ABOVE SHEAR WALLS, NAIL UP TO JOIST
- S3: PROVIDE SOLID BLOCKING @ S.W.
- S4: STRAP FROM S.W. TO BEAM/HEADER (MST37 U.O.N.)
- S5: PROVIDE JOIST @ WALLS ABOVE
- S6: PROVIDE SOLID BLOCKING @ WALLS ABOVE
- S7: USE 3x STUD FOR DOUBLE SHEAR WALL
- S8: USE 3x STUD FOR SW-3, SW-4, & WHERE NOTED

APPROVED
Dept. of Building Insp.

OCT 16 2019
Tom C. Ho
104 C. HILL ST.
DEPT. OF BUILDING INSPECTION
RECEIVED
OCT 15 2019
DEPT. OF BUILDING INSPECTION
THIS IS A PUBLIC RECORD
AD-EE 75 10

DRAWING INDEX

- | | |
|------|--|
| S-0 | STRUCTURAL NOTES |
| S-1 | SOIL REVIEW LETTER & SPECIAL INSPECTIONS |
| S-2 | FOUNDATION & RETAINING WALL PLANS |
| S-3 | FIRST & SECOND FLOOR FRAMING PLANS |
| S-4 | THIRD FLOOR & ROOF FRAMING PLANS |
| S-5 | FOUNDATION DETAILS & SECTIONS |
| S-6 | RETAINING WALL DETAILS |
| S0-1 | STANDARD STRUCTURAL DETAILS |
| S0-2 | STANDARD STRUCTURAL DETAILS |

APPLICABLE CODES & ORDINANCES

- 2016 CALIFORNIA BUILDING CODE (CBC), W SAN FRANCISCO AMENDMENTS
- 2016 CALIFORNIA MECHANICAL, ELECTRICAL, AND PLUMBING CODES, W SAN FRANCISCO AMENDMENTS
- 2016 CALIFORNIA ENERGY CODE - TITLE 24

SCOPE OF WORK

-REVISE PREVIOUSLY APPROVED PERMIT #2018-0123-9223 FOR REAR YARD RETAINING WALLS.

-CONSTRUCT NEW 3 STORY SINGLE FAMILY DWELLING ON VACANT LOT PER #2018-0123-9223S

S/LA
SCHAUBLY ARCHITECTS

SCHAUBLY ARCHITECTS, INC.
1360 9TH AVENUE, SUITE 700
SAN FRANCISCO, CA 94122
415-687-8060 Fax 510-231-1360
www.slsaf.com

NEW SINGLE FAMILY DWELLING
2476 DIAMOND STREET
BLOCK 6700, LOT 032
SAN FRANCISCO, CA 94131

STRUCTURAL NOTES

LICENSED ARCHITECT
No. 2288
STATE OF CALIFORNIA

Date: 2/21/19 REAR STAIRS By: JS
5/1/19 LOWERED BLDG. 7' MIN. By: JS
8/13/19 ADDENDA S-1 By: JS
8/27/19 PIERS By: JS
10/19/19 S.L. By: JS
10/10/19 REAR YARD By: JS
Job 170911
Sheet

S-0
1 OF 9 SHEETS

H. ALLEN GRUEN, C.E., G.E.

Geotechnical Engineer

360 Grand Avenue, # 262
Oakland, CA 94610
Phone: (510) 455-0321
EARTIMECH@AOL.COM

October 11, 2019
Project Number: 17-4773b

Mr. Frank Walley
244 Modoc Place
Pacifica, CA 94044

Subject: Geotechnical Plan Review
Proposed Residence at
2476 Diamond Street
San Francisco, California

Dear Mr. Walley,

This letter presents the results of my geotechnical review of the plans for the proposed residence at 2476 Diamond Street in San Francisco, California. H. Allen Gruen, Geotechnical Engineer performed a geotechnical investigation for the project and presented results in the report dated March 7, 2018.

I reviewed the structural drawings, sheets S-0 through S-6, SD-1 and SD-2, with latest revisions dated 10/10/19, by Schaub Ly Architects.

Based on my review, I conclude that the plans are in general conformance with the intent of the recommendations contained in the geotechnical report.

Please note the following:

1. All site grading, foundation excavations, backfill, and geotechnical construction should be performed in accordance with the recommendations set forth in the project geotechnical report prepared by H. Allen Gruen, Geotechnical Engineer, Oakland, CA, (510) 455-0321, dated March 7, 2018. The contractor should coordinate all such work with the Geotechnical Engineer so that the necessary tests and on-site construction reviews can be made. H. Allen Gruen, Geotechnical Engineer should be notified at least 48 hours prior to required site observations of foundation excavations and geotechnical-related construction.

H. Allen Gruen, Geotechnical Engineer
Project Number: 17-4773b
2476 Diamond Street, San Francisco
October 11, 2019

I appreciate the opportunity to be of continued service to you on this project. If you have any questions, please call me at (510) 455-0321.

Sincerely,

H. Allen Gruen

H. Allen Gruen, C.E., G.E.
Geotechnical Engineer



Page 2

City and County of San Francisco
Department of Building Inspection



London N. Breed, Mayor
Tom C. Hal, S.E., C.B.O., Director

NOTICE

SPECIAL INSPECTION REQUIREMENTS

Please note that the Special Inspections shown on the approved plans and checked on the Special Inspections form issued with the permit are required for this project. The employment of special inspectors is the direct responsibility of the owner or the engineer/architect of record acting as the owner's representative.

These special inspections are required in addition to the called inspections performed by the Department of Building Inspection. The name of the special inspector shall be furnished to the district building inspector prior to start of work for which special inspection is required.

For questions regarding the details or extent of required inspection or tests, please call the Plan Checker assigned to this project or 415-558-6132. If there are any field problems regarding special inspection, please call your District Building Inspector or 415-558-6570.

Before final building inspection is scheduled, documentation of special inspection compliance must be submitted to and approved by the Special Inspection Services staff. To avoid delays in this process, the project owner should request final compliance reports from the architect or engineer of record and/or special inspection agency soon after the conclusion of work requiring special inspection. **The permit will not be finalized without compliance with the special inspection requirements.**

STRUCTURAL OBSERVATION REQUIREMENTS

Structural observation shall be provided as required per Section 1704.6. The building permit will not be finalized without compliance with the structural observation requirements.

Special Inspection Services Contact Information

1. Telephone: (415) 558-6132
2. Fax: (415) 558-6474
3. Email: dbi_specialinspections@sf.gov
4. In person: 3rd floor at 1660 Mission Street

Note: We are moving towards a "paperless" mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Special Inspection Services
1660 Mission Street - San Francisco CA 94103
Office (415) 558-6132 - FAX (415) 558-6474 - www.sfbdi.org

Updated 11/01/2018

APPROVED
Dept. of Building Insp.

OCT 16 2019

Tom C. Hal
T.C.H. S.E. & C.B.O.
DIRECTOR
DEPT. OF BUILDING INSPECTION

RECEIVED
OCT 15 2019

DEPT. OF BUILDING INSPECTION
THIS PERMIT MEETS THE QUALITY
STANDARDS FOR DIGITAL
ACCEPTANCE FOR DIGITIZATION

SPECIAL INSPECTION AND STRUCTURAL OBSERVATION A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED STRUCTURAL DRAWING SET

JOB ADDRESS: 2476 Diamond St. APPLICATION NO.: 2018-0123-0223 ADDENDUM NO.: 1
OWNER NAME: Frank Walley OWNER PHONE NO.: (415) 640-3558

Employment of Special Inspection is the direct responsibility of the OWNER, or the engineer/architect of record acting as the owner's representative. Special Inspector shall be one of those as prescribed in Sec. 1704. Name of special inspector shall be furnished to DBI District Inspector prior to start of the work for which the Special Inspection is required. Structural observation shall be performed as provided by Section 1704.8. A preconstruction conference is recommended for owner/builder or designer/builder projects, complex and highrise projects, and for projects utilizing new processes or materials.

In accordance with Chapter 17 (SFBC), Special Inspection and/or testing is required for the following work:

- | | | |
|--|---|--|
| 1. <input type="checkbox"/> Concrete (Placement & sampling) | 6. <input type="checkbox"/> High-strength bolting | 18. <input type="checkbox"/> Bolts installed in existing concrete masonry: |
| 2. <input type="checkbox"/> Bolts installed in concrete | 7. <input type="checkbox"/> Structural masonry | <input type="checkbox"/> Concrete |
| 3. <input type="checkbox"/> Special masonry | 8. <input type="checkbox"/> Reinforced gypsum concrete | <input type="checkbox"/> Masonry |
| - Restraint concrete frame | 9. <input type="checkbox"/> Insulating concrete fill | 19. <input type="checkbox"/> Shear walls and floor systems used as shear diaphragms |
| 4. <input type="checkbox"/> Steeling steel and prestressing tendons | 10. <input type="checkbox"/> Spray-on fireproofing | 20. <input type="checkbox"/> Holdovers |
| - Single piece flat width 5/16" or smaller | 11. <input type="checkbox"/> Filing, drilled holes and caissons | 21. <input type="checkbox"/> Special cases: |
| - <input type="checkbox"/> Preformed visual inspection | 12. <input type="checkbox"/> Shotcrete | <input type="checkbox"/> Shoring |
| - <input type="checkbox"/> Weld deck | 13. <input type="checkbox"/> Special grouting, excavation | <input type="checkbox"/> Underpinning <input type="checkbox"/> Not affecting adjacent property |
| - <input type="checkbox"/> Welded studs | 14. <input type="checkbox"/> And filling (Over. Engineers) | <input type="checkbox"/> Affecting adjacent property, PA |
| - <input type="checkbox"/> Cold formed studs and joints | 15. <input type="checkbox"/> Smoke-control system | <input type="checkbox"/> Others |
| - <input type="checkbox"/> Stair and railing systems | 16. <input type="checkbox"/> Demolition | 22. <input type="checkbox"/> Crane safety (Apply to the operation of tower cranes on high-rise building) (Section 1708.21) |
| 5. <input type="checkbox"/> Reinforcing steel | 17. <input type="checkbox"/> Exterior Facing | 23. <input type="checkbox"/> Others (As recommended by professional of record) |
| - <input type="checkbox"/> Continuous visual inspection and NOT (Section 1704) | 17. <input type="checkbox"/> Strength of unreinforced masonry buildings: | |
| - <input type="checkbox"/> All other testing (NOT exception: Fall work) | - <input type="checkbox"/> Testing of masonry quality and shear tests | |
| - <input type="checkbox"/> Reinforcing steel and (1) NOT required | - <input type="checkbox"/> Inspection of rebaring operations | |
| - <input type="checkbox"/> Moment-resisting frames | - <input type="checkbox"/> Installation inspection of new shear bolts | |
| - <input type="checkbox"/> Others | - <input type="checkbox"/> Pre-installation inspection for embedded bolts | |
| | - <input type="checkbox"/> Pull-torque tests per SFBC Sec. 1807C & 1815C | |

24. Structural observation per Sec. 1704.8 for the following: Foundations Wood framing
- Concrete construction Masonry construction Steel framing
- Other

25. Certification is required for: Churn components
26. Firestops in High-rise building

Prepared by: Jeremy Schaub Phone: (415) 682-8000
Engineer/Architect of Record

Required Information:
FAX: _____ Email: jeremy@slaf.com

Review by: _____ Phone: (415) 558- _____
DBI Engineer or Plan Checker

APPROVAL (Based on submitted reports)

DATE: _____ DBI Engineer or Plan Checker / Special Inspection Services Staff

QUESTIONS ABOUT SPECIAL INSPECTION AND STRUCTURAL OBSERVATION SHOULD BE DIRECTED TO: Special Inspection Services (415) 558-6132, or dbi_specialinspections@sf.gov, or FAX (415) 558-6474

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ARCHITECTS

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NEW SINGLE FAMILY DWELLING
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BLOCK 6700, LOT 032
SAN FRANCISCO, CA 94131

SOIL REVIEW LETTER & SPECIAL
INSPECTIONS



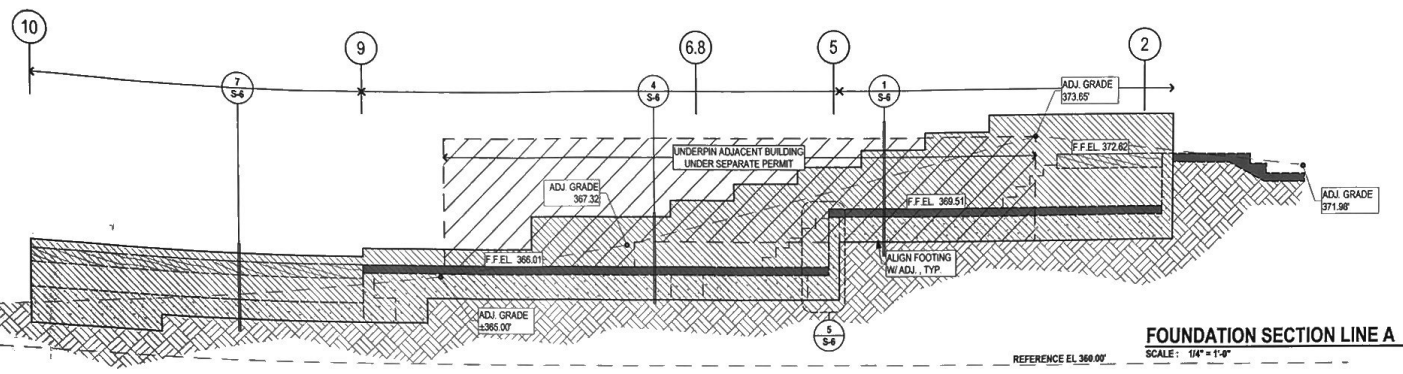
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8/13/19 ADDENDA S-1 JS
8/27/19 PIERS JS
10/2/19 S.L. JS
10/10/19 REAR YARD JS

Cyril Yu, DBI
OCT 15 2019

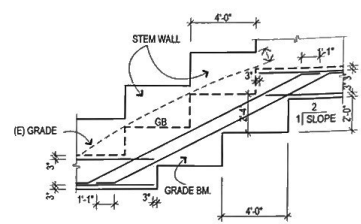
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Sheet

S-1
1 of 8 Sheets

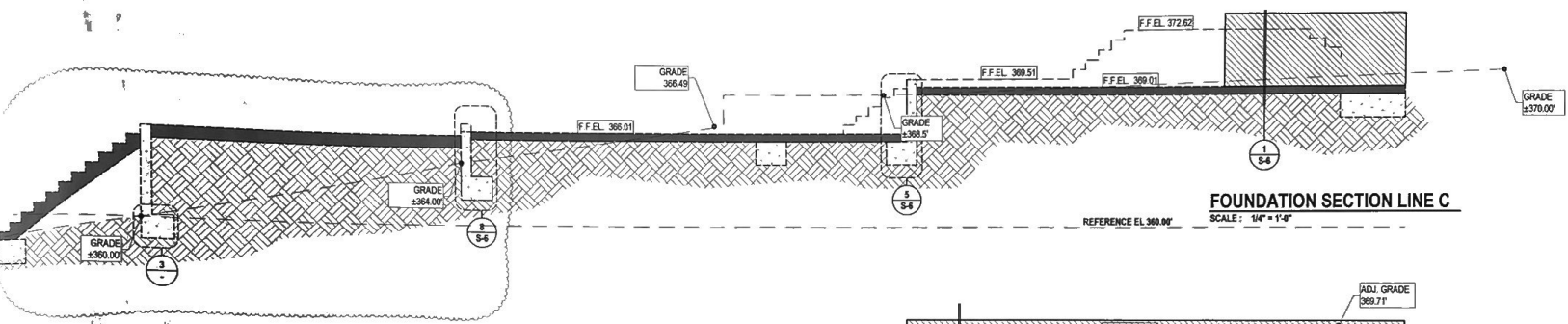
Revised 9-22-17



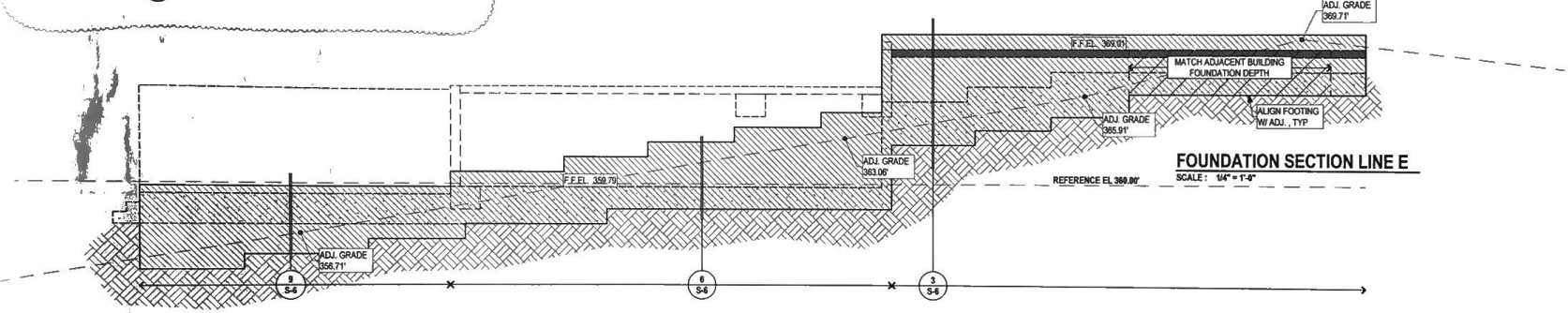
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REFERENCE EL. 360.00'



TYP STEP IN GRADE BEAM & WALL FTG
SCALE: 1/4" = 1'-0"



FOUNDATION SECTION LINE C
SCALE: 1/4" = 1'-0"
REFERENCE EL. 360.00'



FOUNDATION SECTION LINE E
SCALE: 1/4" = 1'-0"
REFERENCE EL. 360.00'

APPROVED
Dept. of Building Insp.

OCT 16 2019

Tom C. Hui

10416 HUI S.E.

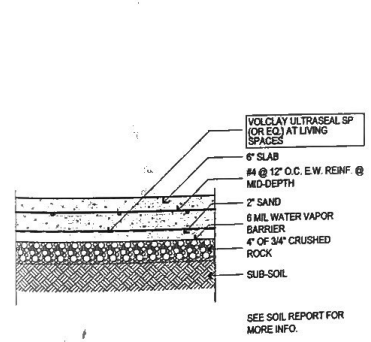
DIRECTOR

DEPT. OF BUILDING INSPECTION

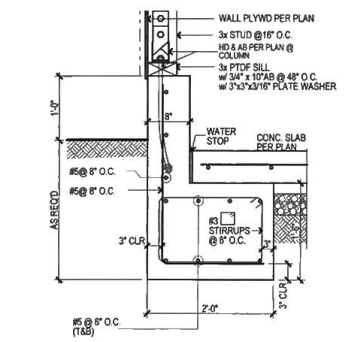
RECEIVED

OCT 15 2019

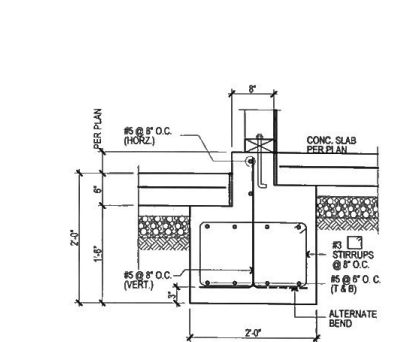
DEPT. OF BUILDING INSPECTION
THIS IS AN MEETS THE QUALITY
STANDARDS FOR DIVISION
LICENSED



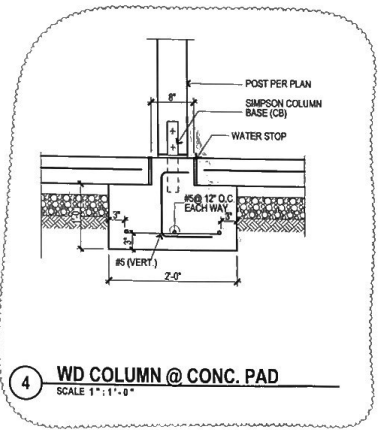
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SCALE 1" = 1'-0"



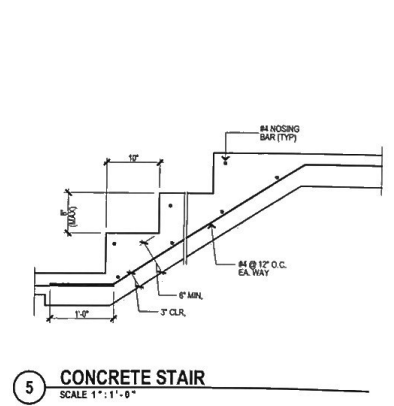
2 EXTERIOR WALL
SCALE 1" = 1'-0"



3 INT. WALL
SCALE 1" = 1'-0"



4 WD COLUMN @ CONC. PAD
SCALE 1" = 1'-0"



5 CONCRETE STAIR
SCALE 1" = 1'-0"



Date	By
2/21/19	REAR STAIRS
5/1/19	LOWERED BLDG 3' MIN.
8/13/19	ADDENDA S-1
8/27/19	PIERS
10/8/19	S.L.
10/10/19	REAR YARD

Cyril Yu, DBI
OCT 15 2019

Job 170911

Sheet

S-5

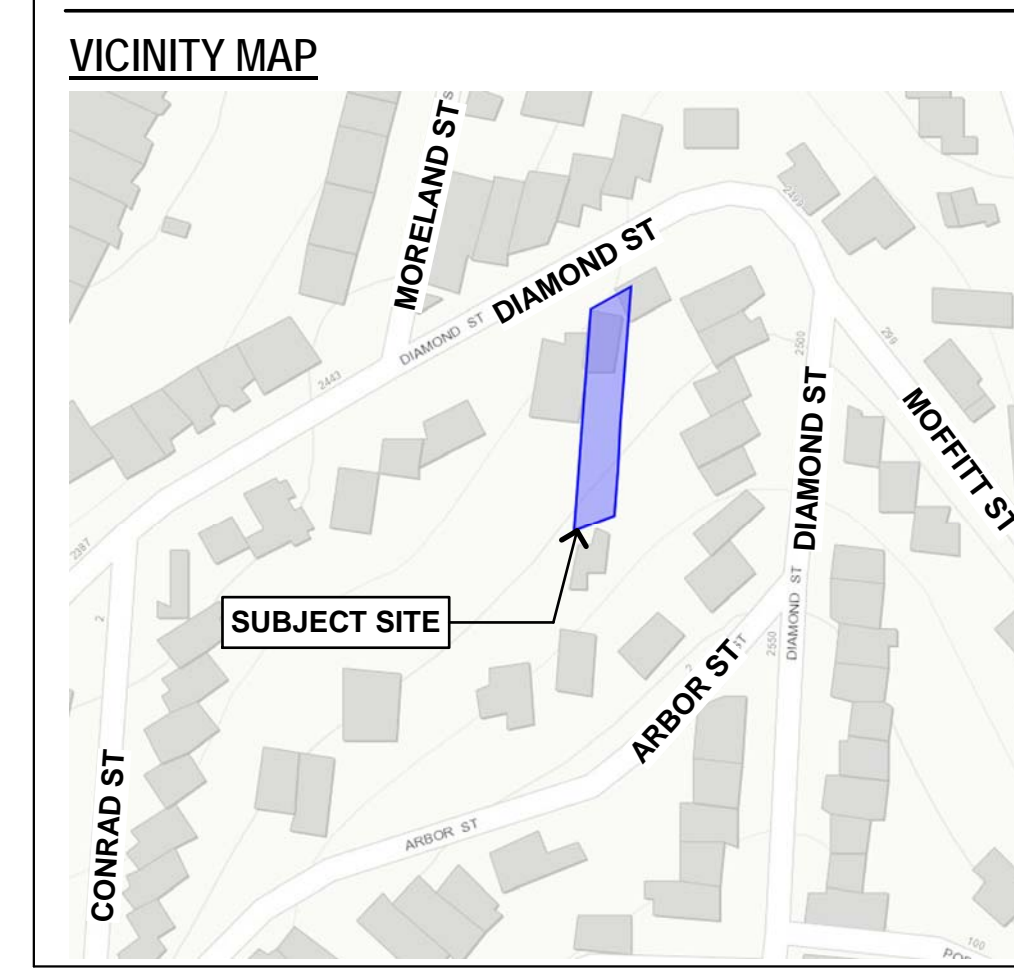
1 of 8 Sheets

DRAWING INDEX	
A-0	SITE PLAN & PROJECT INFORMATION
A-2.0	GROUND FLOOR PLAN & REAR YARD
A-3.0	RIGHT ELEVATION
A-3.1	LEFT ELEVATION
A-3.2	SECTION A @ CL
A-3.3	SECTION B
A-3.4	CROSS SECTIONS C, D, & E
S-0	STRUCTURAL NOTES
S-1	FOUNDATION & RETAINING WALL PLANS
S-2	RETAINING WALL DETAILS

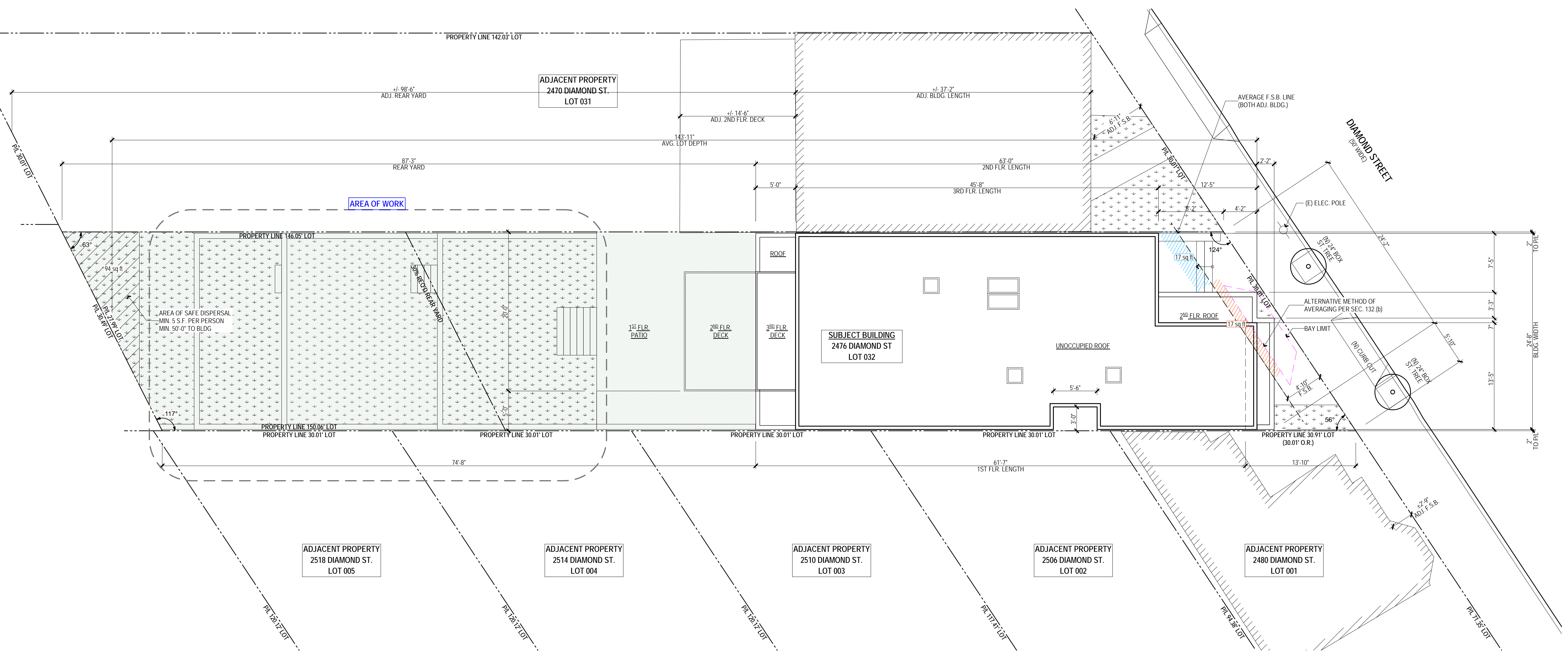
APPLICABLE CODES & ORDINANCES
 2016 CALIFORNIA BUILDING CODE (CBC), W/ SAN FRANCISCO AMENDMENTS

SCOPE OF WORK
 CORRECT REAR YARD RETAINING WALL HEIGHTS
 CONSTRUCTED PER APPROVED BUILDING PERMIT
 APPLICATIONS #2018-0123-9223 & #2019-1015-4489

PROJECT DATA
 BUILDING PERMIT APPLICATION #: 2019-1205-8713
 BLOCK/LOT: 6700 / 032
 ZONING: RH-1
 OCCUPANCY: R-3
 NUMBER OF UNITS: 1
 NUMBER OF STORIES: 3 (NO BASEMENTS)
 TYPE OF CONSTRUCTION: V-B (FULLY SPRINKLERED PER NFPA 13D)



ABBREVIATIONS	
&	AND
@	AT
CL	CENTER LINE
Ø	DIAMETER
#	ROUND OR NUMBER
PL	PROPERTY LINE
A.D.	AREA DRAIN
ADJ.	ADJACENT
ALUM.	ALUMINUM
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
AWN.	AWNING WINDOW
BD.	BOARD
BLDG.	BUILDING
BLKG.	BLOCKING
BM.	BEAM
BOT.	BOTTOM
C.B.	CATCH BASIN
C.O.	CLEANOUT
CAB.	CABINET
CLG.	CEILING
CLO.	CLOSET
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
CONSTR.	CONSTRUCTION
CORR.	CORRIDOR
CSMT.	CASEMENT WINDOW
D.H.	DOUBLE HUNG WINDOW
DBI.	DOUBLE
DEPT.	DEPARTMENT
DET.	DETAIL
DIAM.	DIAMETER
DM.	DIMENSION
DN.	DOWN
DR.	DOOR
DW.	DISHWASHER
DWG.	DRAWING
E	EAST
(E)	EXISTING
EA	EACH
ELEV.	ELEVATION
ELEC.	ELECTRICAL
ELEV.	ELEVATOR
EQ.	EQUAL
EXT.	EXTERIOR
F.D.	FLOOR DRAIN
F.D.C.	FIRE DEPT. CONNECTION
F.G.	FIXED GLASS WINDOW
F.P.	FIREPLACE
FDN.	FOUNDATION
FIN.	FINISH
FLR.	FLOOR
FLUOR.	FLUORESCENT
FT.	FOOT OR FEET
FTG.	FOOTING
G.F.I.	GROUND FAULT INTERRUPTER
G.S.M.	GALVANIZED SHEET METAL
GA.	GAUGE
GL.	GLASS
GND.	GROUND
GYP.	GYPSONUM
H.B.	HOSE BIBB
HWWD.	HARDWOOD
HORIZ.	HORIZONTAL
HR.	HOOR
HT.	HEIGHT
INSUL.	INSULATION
INT.	INTERIOR
LAV.	LAVATORY
LT.	LIGHT
MAX.	MAXIMUM
MECH.	MECHANICAL
MET.	METAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
N.	NORTH
(N)	NEW
N.T.S.	NOT TO SCALE
NO. OR #	NUMBER
O.C.	ON CENTER
O.F.D.	OVERFLOW DRAIN
O.H.	OVERHANG
Obs.	OBSCURED
OPNG.	OPENING
PL	PROPERTY LINE
PLYWD.	PLYWOOD
PT.	POINT
Q.T.	QUARRY TILE
R	RISER
R.D.	ROOF DRAIN
R.W.	REDWOOD
R.W.L.	RAIN WATER LEADER
RAD.	RADIUS
REFR.	REFRIGERATOR
RENF.	REINFORCED
REQ.	REQUIRED
RET.	RETAINING
S	SOUTH
S.G.D.	SLIDING GLASS DOOR
S.H.	SINGLE HUNG WINDOW
SM.	SIMILAR
SL.	SLIDER WINDOW
SPEC.	SPECIFICATION
SO.	SQUARE
STD.	STANDARD
STL.	STEEL
STOR.	STORAGE
STR.	STRUCTURAL
SYM.	SYMMETRICAL
T&G.	TONGUE & GROOVE
T.K.	TRICK
TYP.	TYPICAL
T.G.	TEMPERED GLASS
U.O.N.	UNLESS OTHERWISE NOTED
VERT.	VERTICAL
W.	WEST
WTH.	WITH
WD.	WOOD
W/O	WITHOUT
W/P	WATERPROOF
WT.	WEIGHT



SITE PLAN
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 3/16" = 1'-0"

- NOTES**
- PROVIDE FIRE SPRINKLER SYSTEM THROUGHOUT THE BLDG. AND UNDER SEPARATE PERMIT.
 - FIRE SPRINKLER SYSTEM TO BE DESIGN-BUILT BY LICENSED FIRE PROTECTION CONTRACTOR.
 - PROVIDE SMOKE ALARMS PER SEC. 907.2.11.2
 - PROVIDE CARBON MONOXIDE ALARMS PER SEC. 420.6
 - ALL FIREPLACES SHALL BE "UL LISTED"
 - PROVIDE TEMPERED (SAFETY) GLASS AT HAZARDOUS LOCATIONS PER SEC. 2406.4
 - ROOF DRAIN AND OVERFLOW DRAIN AT ROOF OR DECK SHALL CONNECT TO CITY SEWER
 - ALL LIGHTS SHALL COMPLY WITH 2016 CALIFORNIA TITLE 24 RESIDENTIAL STANDARDS
 - UNDERPINNING & SHORING IF REQUIRED UNDER SEPARATE PERMIT.
 - SEE SOIL REPORT PREPARED BY H. ALLEN GRUEN DATED MARCH 7TH, 2018

2476 DIAMOND ST

AREA CALCULATION (IN SQUARE FEET)			
	LIVING	GARAGE	TOTAL
1 ST FLOOR	1,180		1,180
2 ND FLOOR	1,374		1,374
3 RD FLOOR	771	624	1,395
TOTAL	3,325	624	3,949

TOTAL LIVING AREA= 3,325 SF.
 TOTAL GARAGE AREA= 624 SF.
 TOTAL GROSS AREA= 3,949 SF.

NOTE:
 AREA CALCULATION AS SHOWN IS INTENDED FOR PERMIT APPLICATION PURPOSES ONLY AND SHALL NOT BE USED FOR SELLING OR LEASING PURPOSES. FINAL SQUARE FOOTAGE AND FINISHED DIMENSIONS MAY VARY FROM THESE PLANS DUE TO CONSTRUCTION VARIABLES.

GENERAL NOTES

PLEASE TAKE NOTICE THAT THE DRAWINGS AS PREPARED BY SCHAUB LY ARCHITECTS, INC. FOR THE PROJECT ARE LIMITED TO THE EXTENT AS REQUIRED FOR PLAN CHECK PURPOSES BY CITY AGENCIES HAVING JURISDICTION OVER THE PROJECT.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DESIGN-BUILD (DESIGN AND INSTALL) ALL SYSTEMS AND ELEMENTS AS REQUIRED FOR THE CONSTRUCTION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO PLUMBING, MECHANICAL, FIRE SPRINKLER AND ELECTRICAL SYSTEMS; AND ALL DETAILS FOR ROOFING, FLASHING, WATERPROOFING AND SOUND-PROOFING STANDARDS.

THE USE OF THESE DRAWINGS FOR THE CONSTRUCTION OF THE PROJECT SHALL CONSTITUTE THE CONTRACTOR'S REPRESENTATION THAT IT HAS REVIEWED AND VERIFIED THE BUILDABILITY OF THE PROJECT AS SHOWN ON THESE DRAWINGS IN THE LIGHT OF SITE CONDITIONS AND APPLICABLE CODE REQUIREMENTS; AND THAT ONCE CONSTRUCTION HAS COMMENCED, THE CONTRACTOR SHALL UNDERTAKE FULL RESPONSIBILITIES TO DESIGN-BUILD ALL ELEMENTS AND MAKE NECESSARY ADJUSTMENTS AS REQUIRED FOR THE COMPLETION OF THE PROJECT IN ITS ENTIRETY PURSUANT TO ALL APPLICABLE CODE REQUIREMENTS, TRADE AND WORKMANSHIP STANDARDS.

ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY BUILDING CODE AND INTERNATIONAL BUILDING CODE, AS WELL AS ALL APPLICABLE FEDERAL, STATE, OSHA, BAY AREA AIR QUALITY MANAGEMENT DISTRICT, COUNTY AND CITY ORDINANCES, AMENDMENTS AND RULINGS. THE CITY CODE SHALL GOVERN WHEN IT AND THE IBC OR ANY OTHER REFERENCE CODES AND STANDARDS ARE IN CONFLICT.

THE CONTRACTOR SHALL GIVE ALL NOTICES NECESSARY AND INCIDENTAL TO THE LAWFUL EXECUTION OF THE WORK.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF THE LOT, EASEMENT, SOIL CONDITIONS, ALL PROPOSED DIMENSIONS, INCLUDING EXCAVATION, UNDERPINNING, DRAINAGE AND UTILITY LINES AT SUBJECT PROPERTY, AS WELL AS, AT ADJACENT PROPERTIES. IF THE CONTRACTOR ENCOUNTERS DISCREPANCIES IN THE DRAWINGS, HE SHALL CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF CORRECTIONS TO THE WORK IF HE NEGLECTS TO ADHERE TO THIS PROCESS.

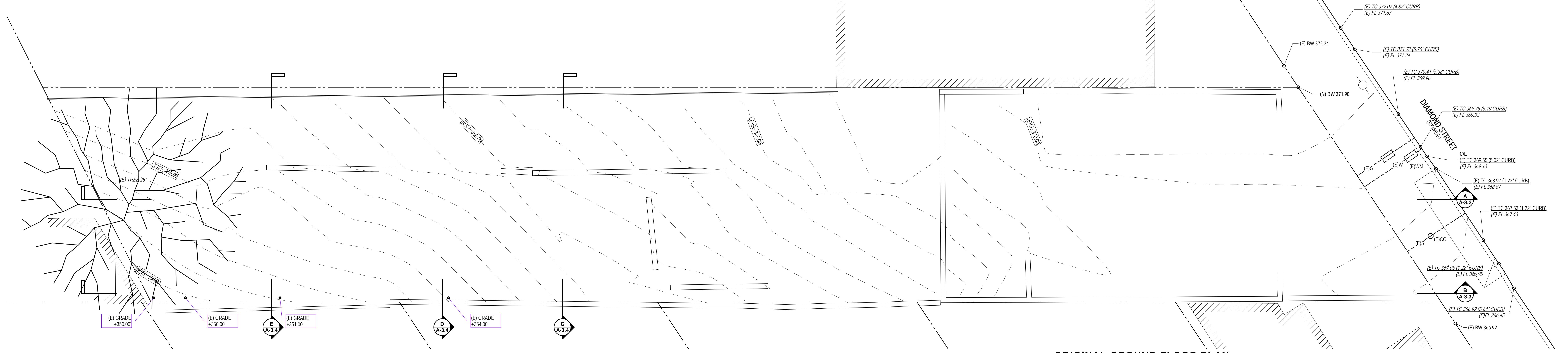
THE DRAWINGS ARE INTENDED TO DESCRIBE AND PROVIDE FOR A FINISHED PIECE OF WORK. THE CONTRACTOR SHALL UNDERSTAND THAT THE WORK HEREIN DESCRIBED SHALL BE COMPLETED IN A GOOD AND WORKMANLIKE MANNER AND IN EVERY DETAIL, ALTHOUGH EVERY NECESSARY ITEM INVOLVED IS NOT PARTICULARLY MENTIONED. EXCEPT AS OTHERWISE SPECIFICALLY STATED, THE CONTRACTOR SHALL PAY FOR ALL NECESSARY PERMITS, FEES, MATERIALS, LABOR, TOOLS, AND EQUIPMENT FOR THE ENTIRE COMPLETION OF THE WORK INTENDED TO BE DESCRIBED.

AT ALL TIMES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS AT THE JOB SITE, INCLUDING SAFETY OF PEOPLE, SUBJECT PROPERTY AND ADJACENT PROPERTIES. THE ARCHITECT SHALL NOT REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES OR PROCEDURES, FOR THE OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTORS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

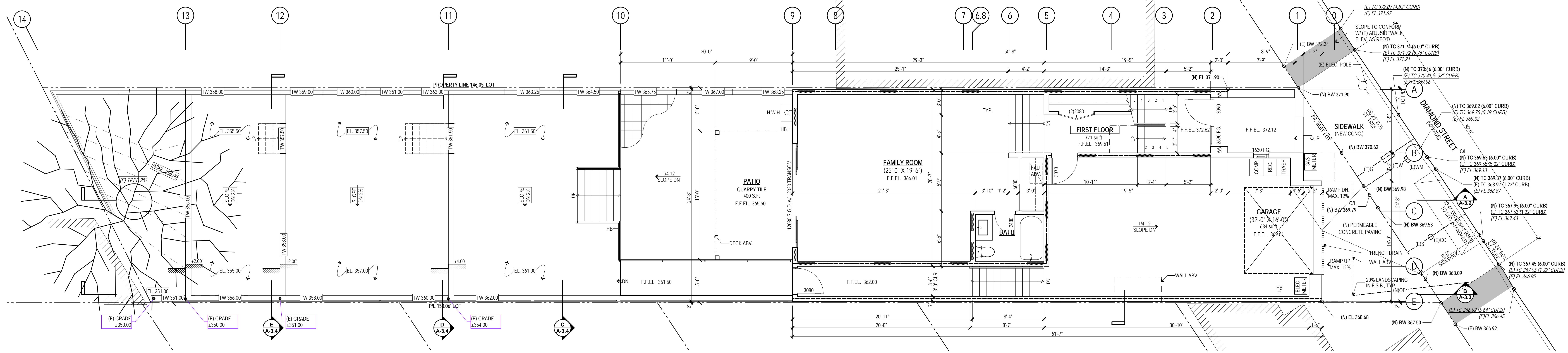
SYMBOLS

	COLUMN GRID LINE		ELEV. - XXX'X"
	SECTION / DETAIL IDENTIFICATION - SHEET NUMBER		EXISTING STUD WALL
	INTERIOR ELEVATION ID - SHEET NUMBER		NEW STUD WALL
	ENLARGED PLAN SECTION OR DETAIL REFERENCE		NEW DOOR
	DOOR NUMBER		EXISTING WALL/DOOR TO BE REMOVED
	WINDOW NUMBER		EXISTING WALL/DOOR TO REMAIN
	WALL DETAIL NUMBER		



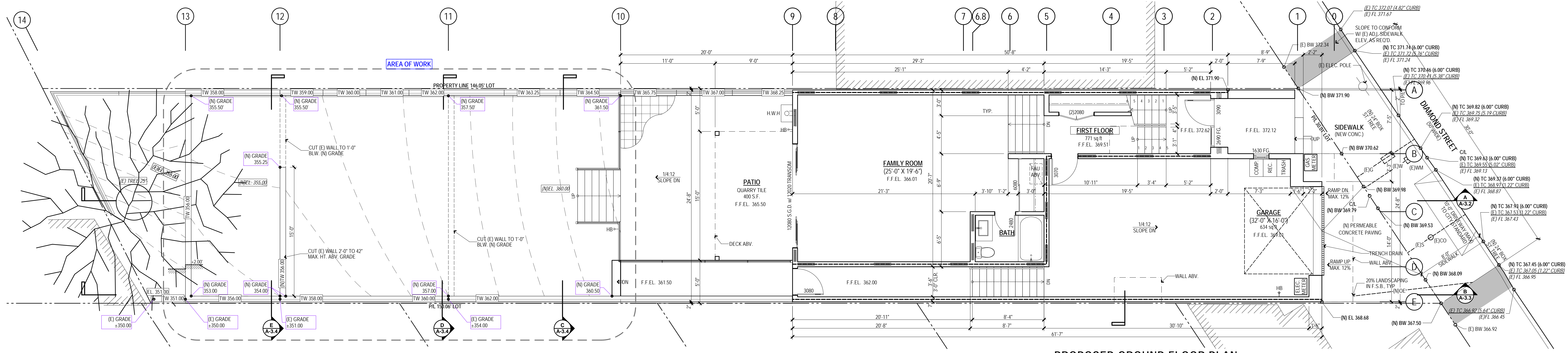
ORIGINAL GROUND FLOOR PLAN

ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"



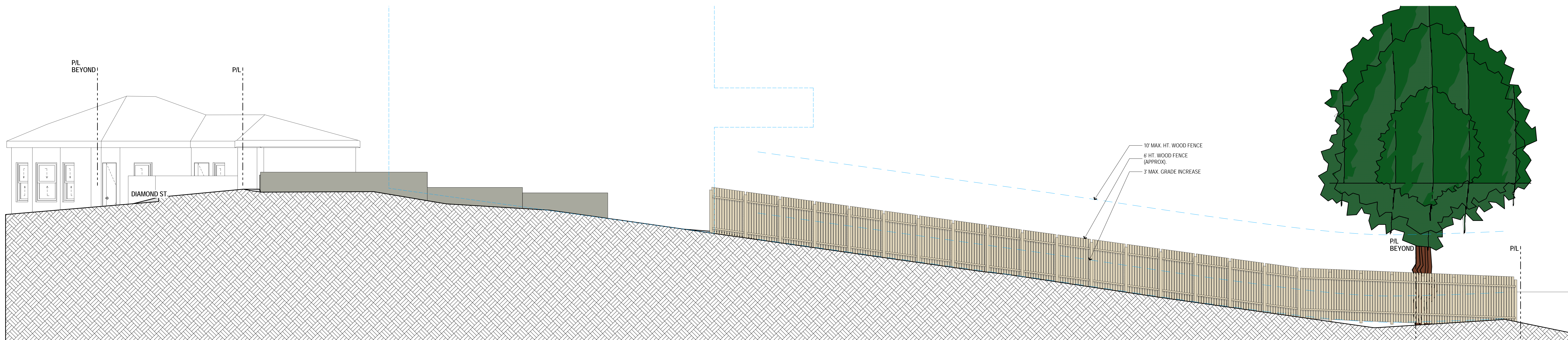
CURRENT GROUND FLOOR PLAN

ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"



PROPOSED GROUND FLOOR PLAN

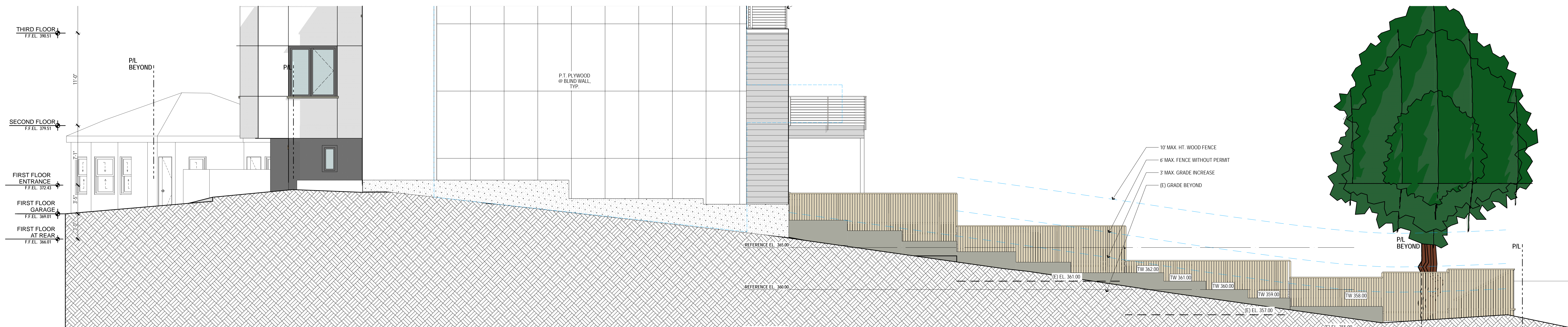
ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"



ORIGINAL RIGHT ELEVATION

ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N.

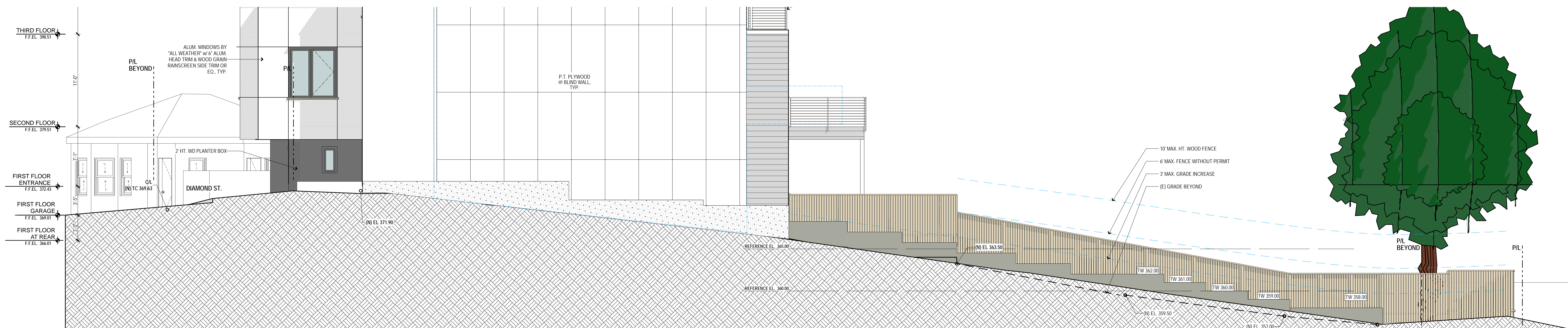
SCALE: 1/4" = 1'-0"



CURRENT RIGHT ELEVATION

ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N.

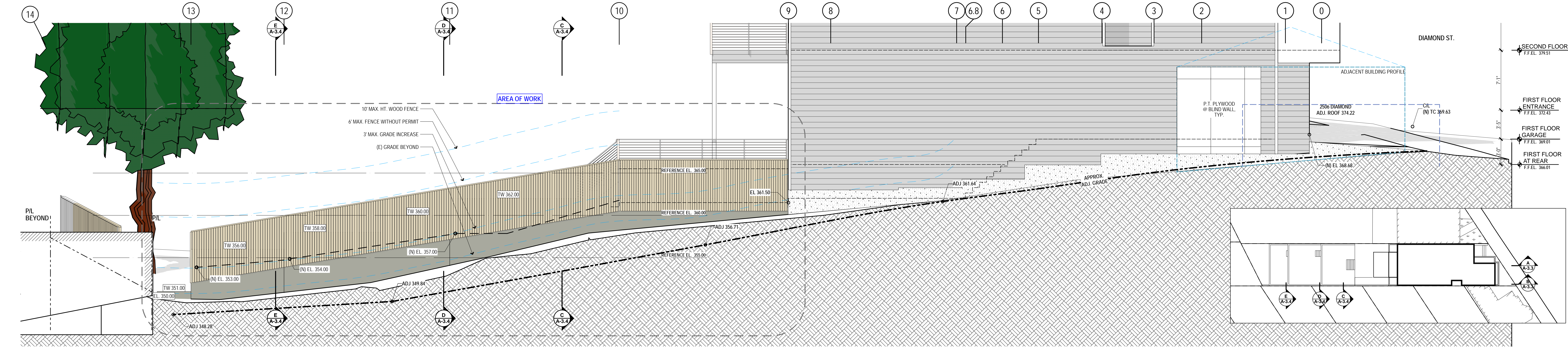
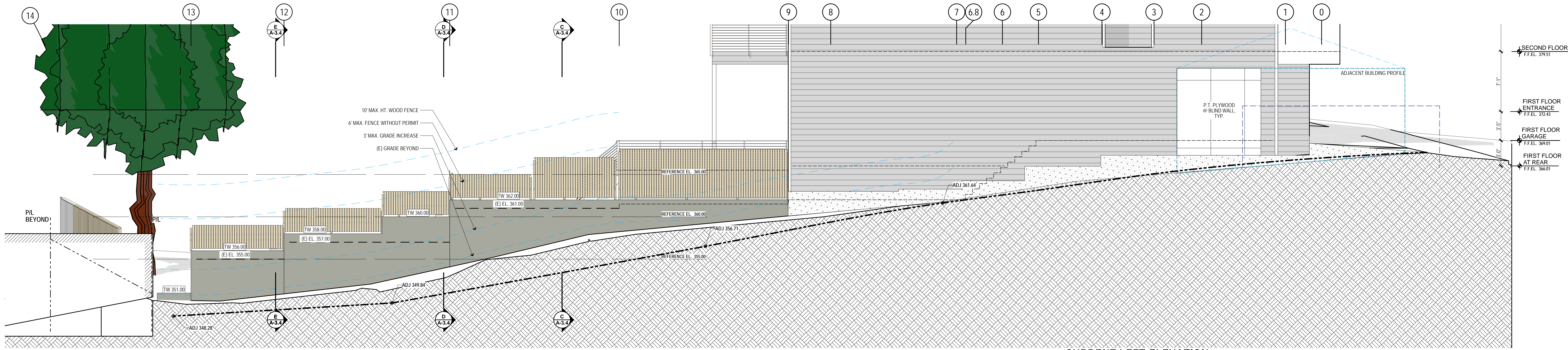
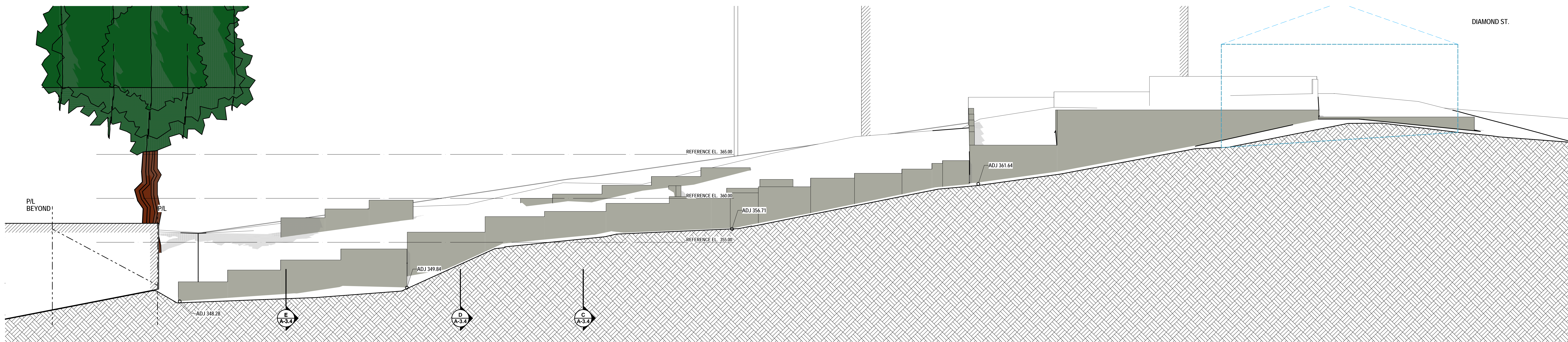
SCALE: 1/4" = 1'-0"

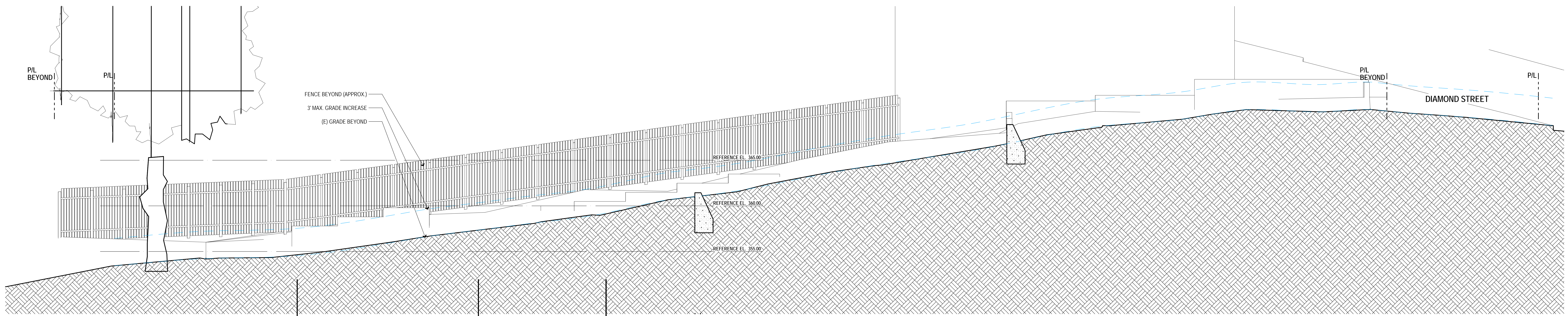


PROPOSED RIGHT ELEVATION

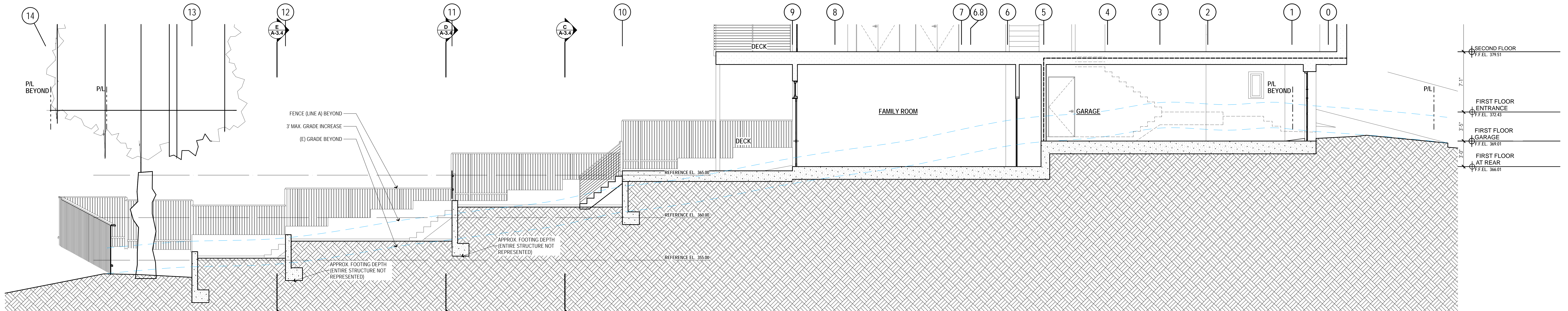
ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N.

SCALE: 1/4" = 1'-0"

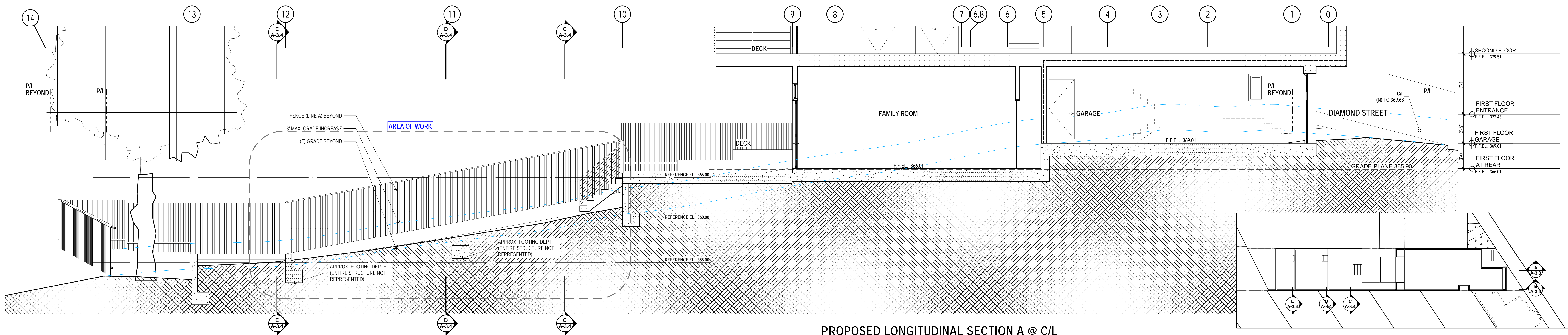




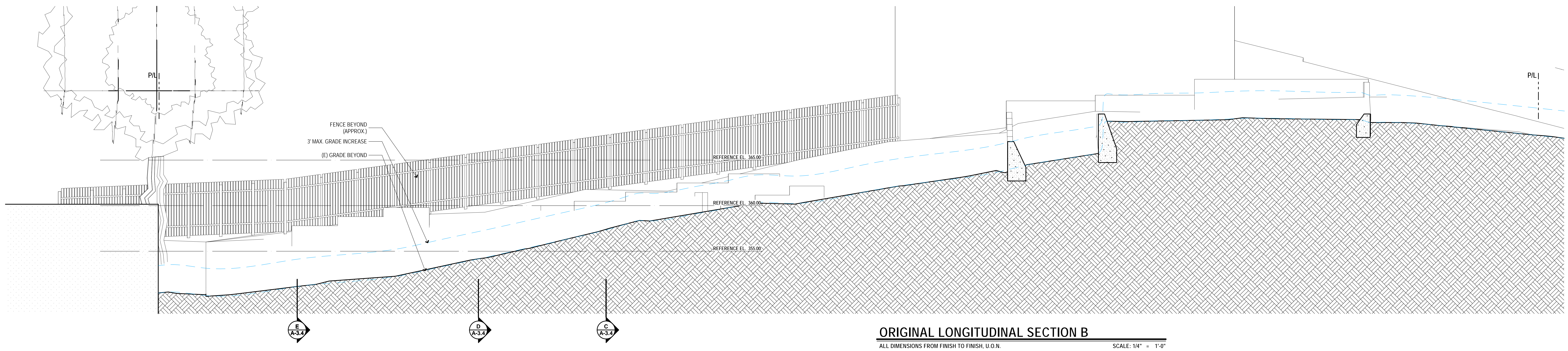
ORIGINAL LONGITUDINAL SECTION A @ C/L
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"



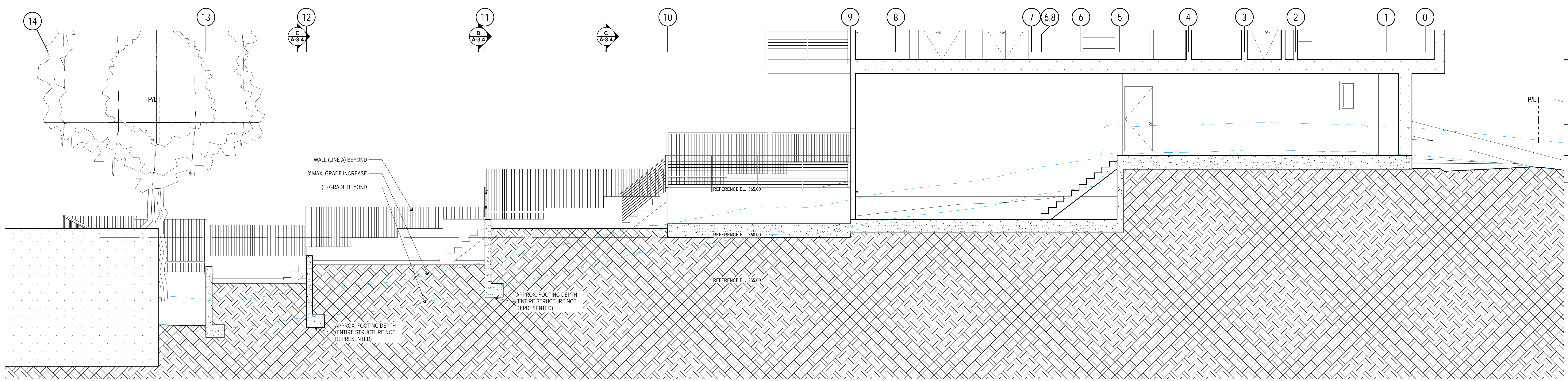
CURRENT LONGITUDINAL SECTION A @ C/L
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"



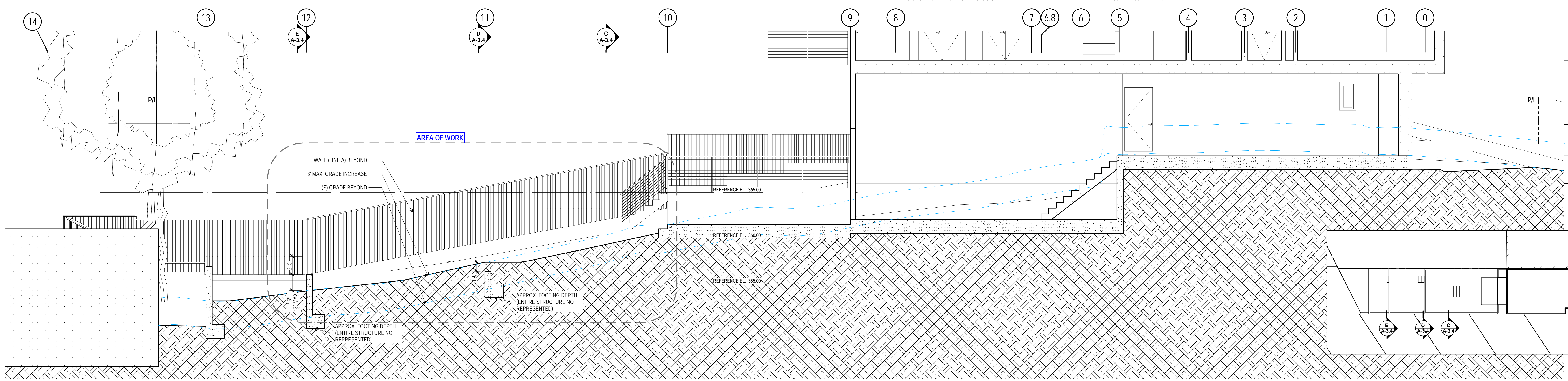
PROPOSED LONGITUDINAL SECTION A @ C/L
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"



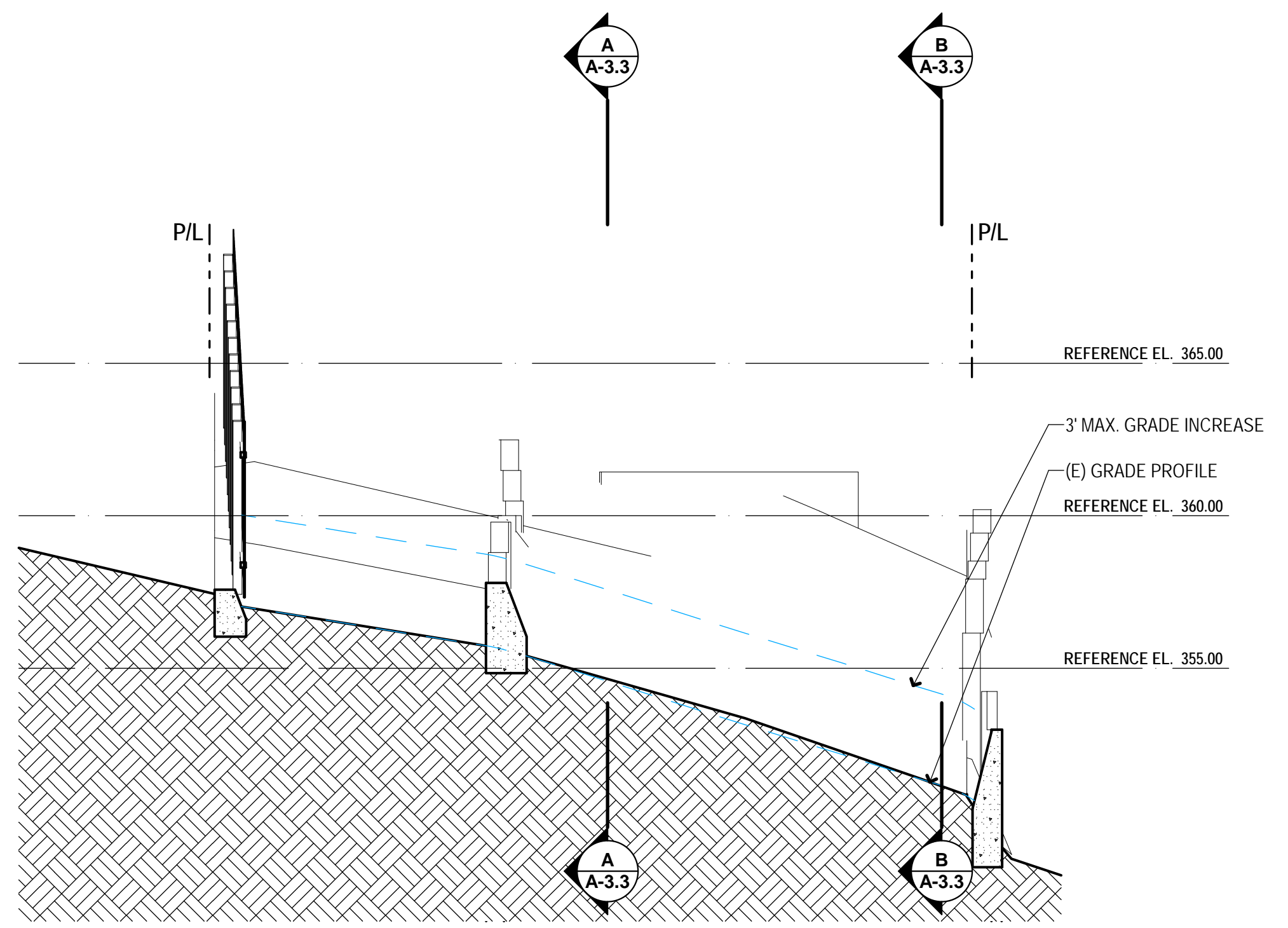
ORIGINAL LONGITUDINAL SECTION B
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"



CURRENT LONGITUDINAL SECTION B
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"

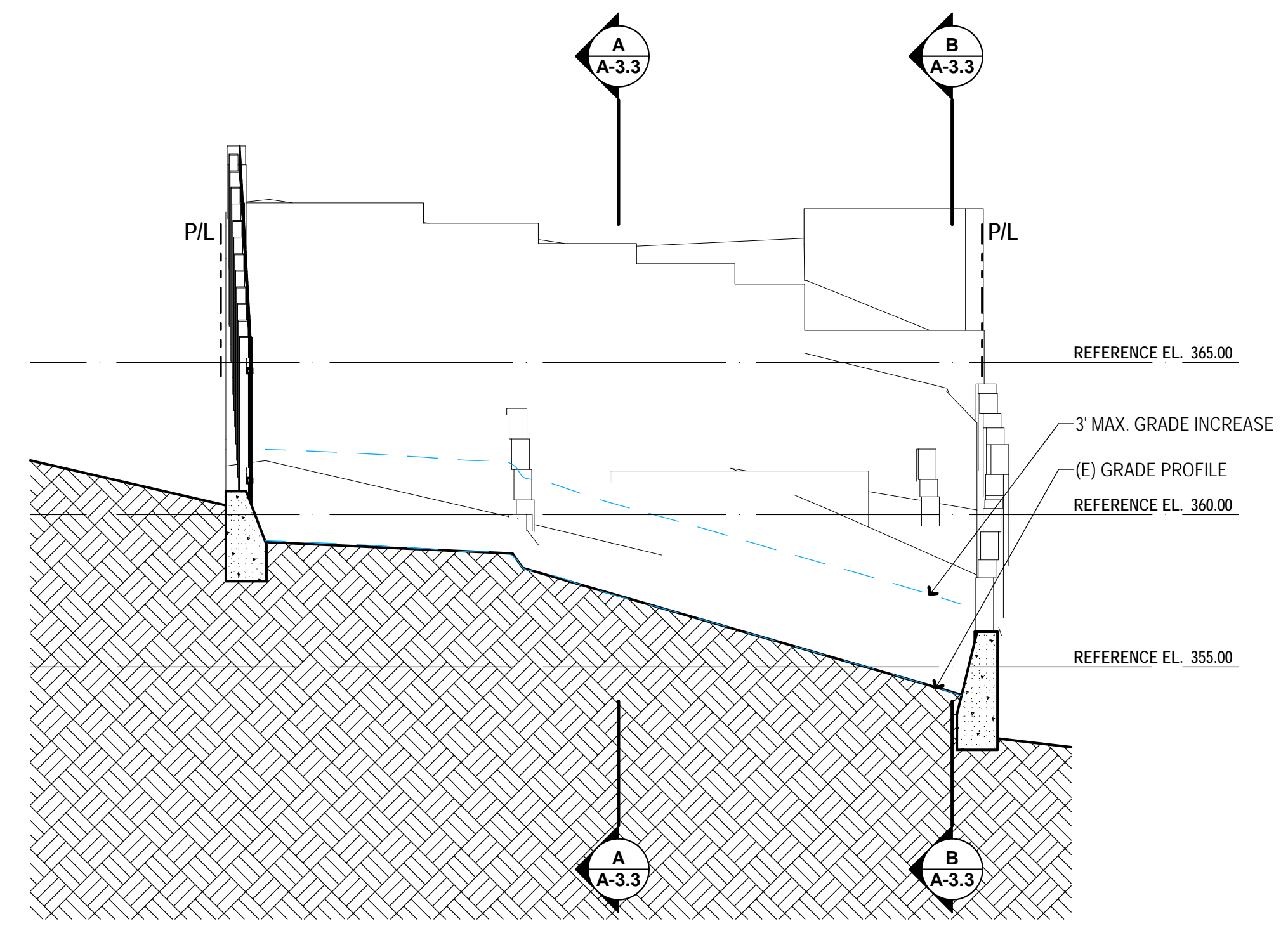


PROPOSED LONGITUDINAL SECTION B
 ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"



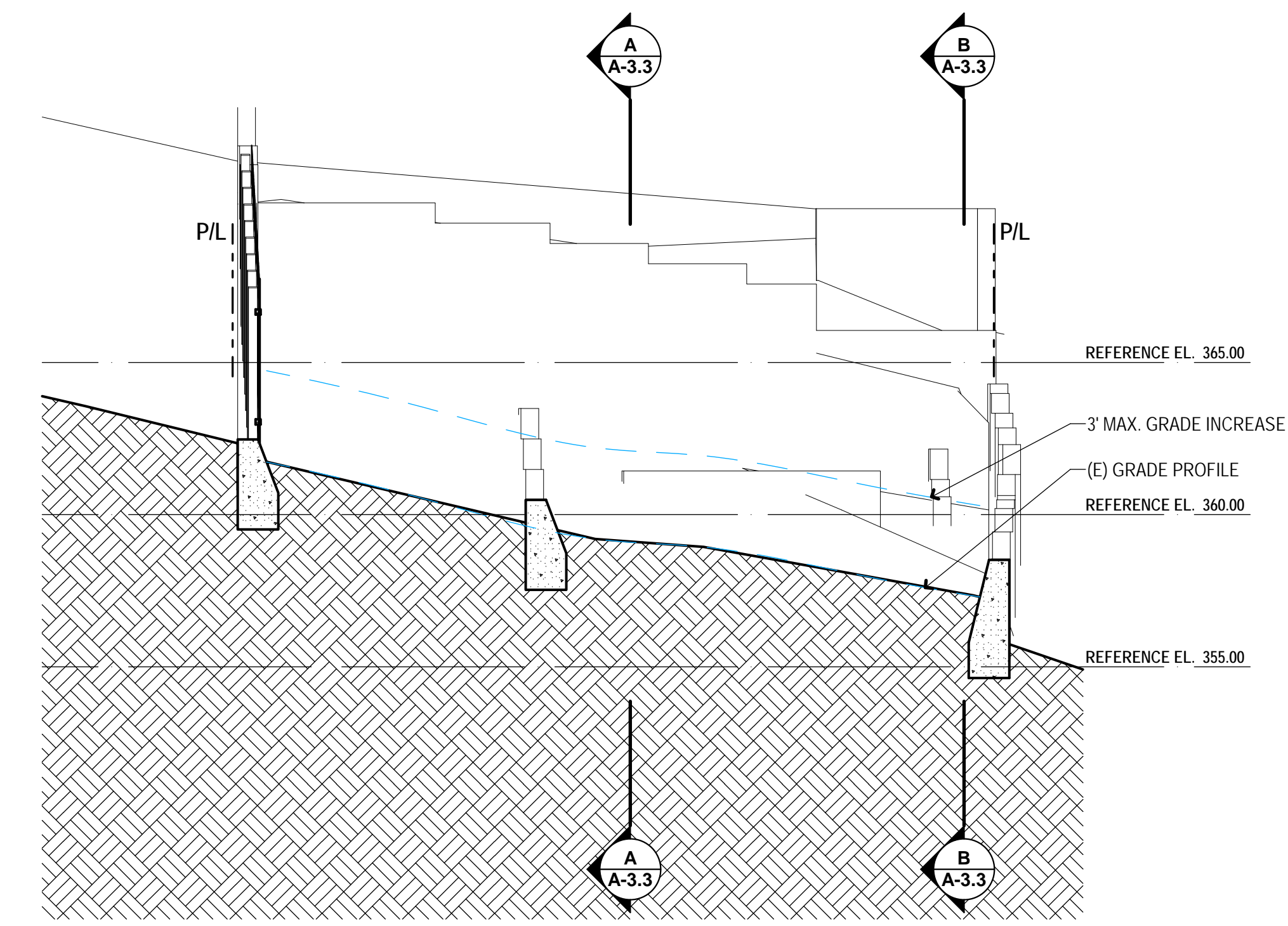
ORIGINAL CROSS SECTION E

ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"



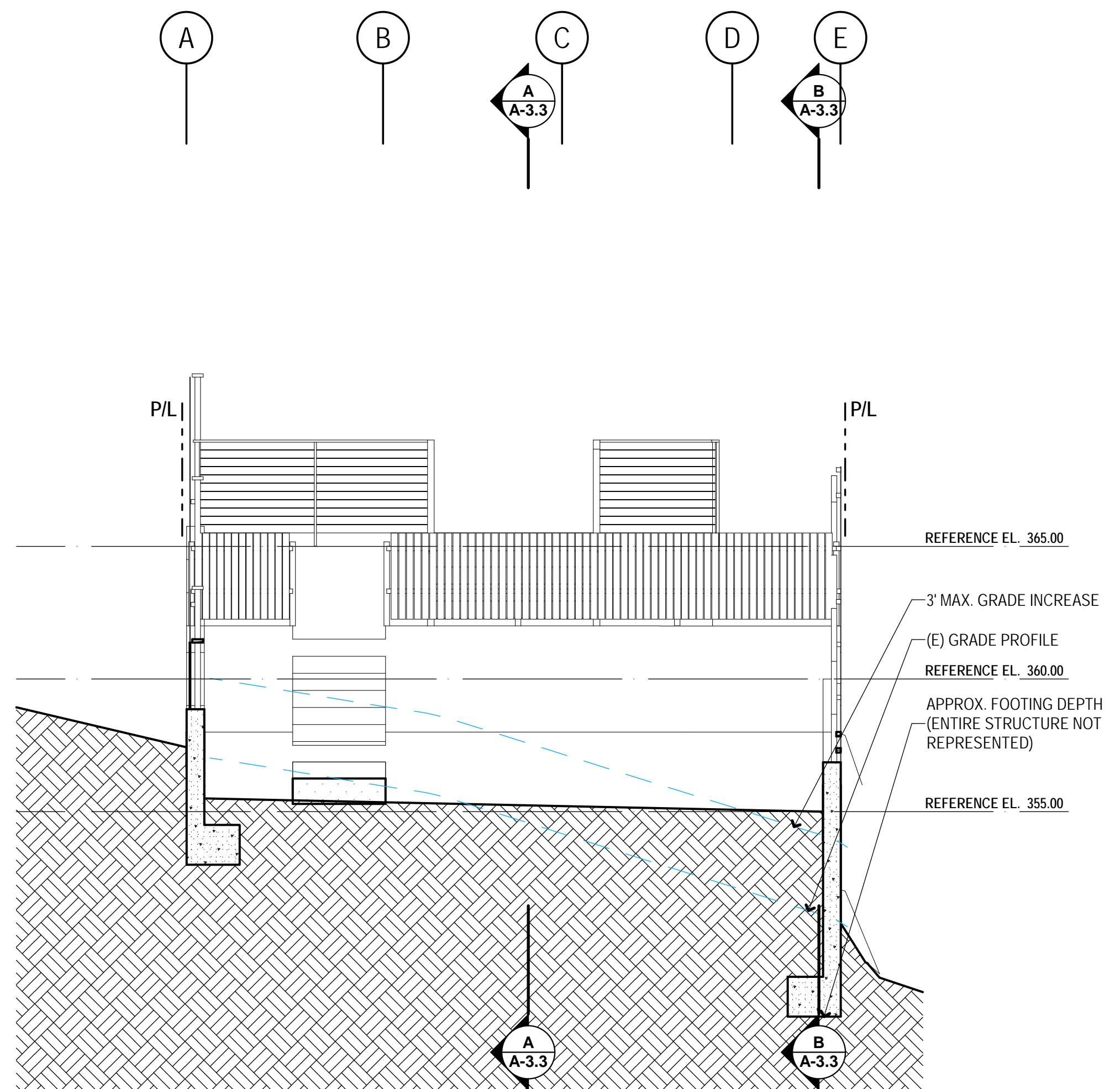
ORIGINAL CROSS SECTION D

ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"



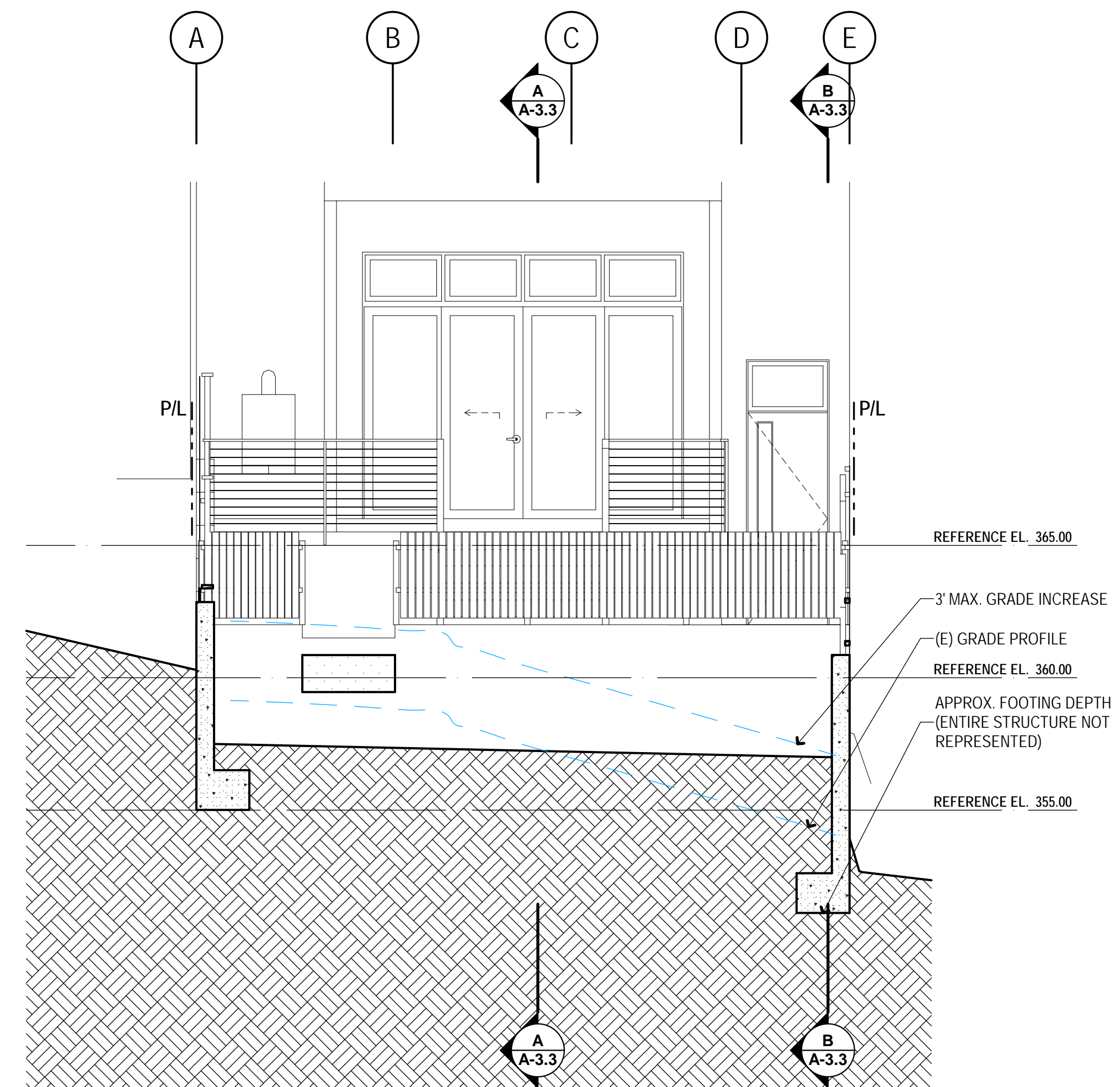
ORIGINAL CROSS SECTION C

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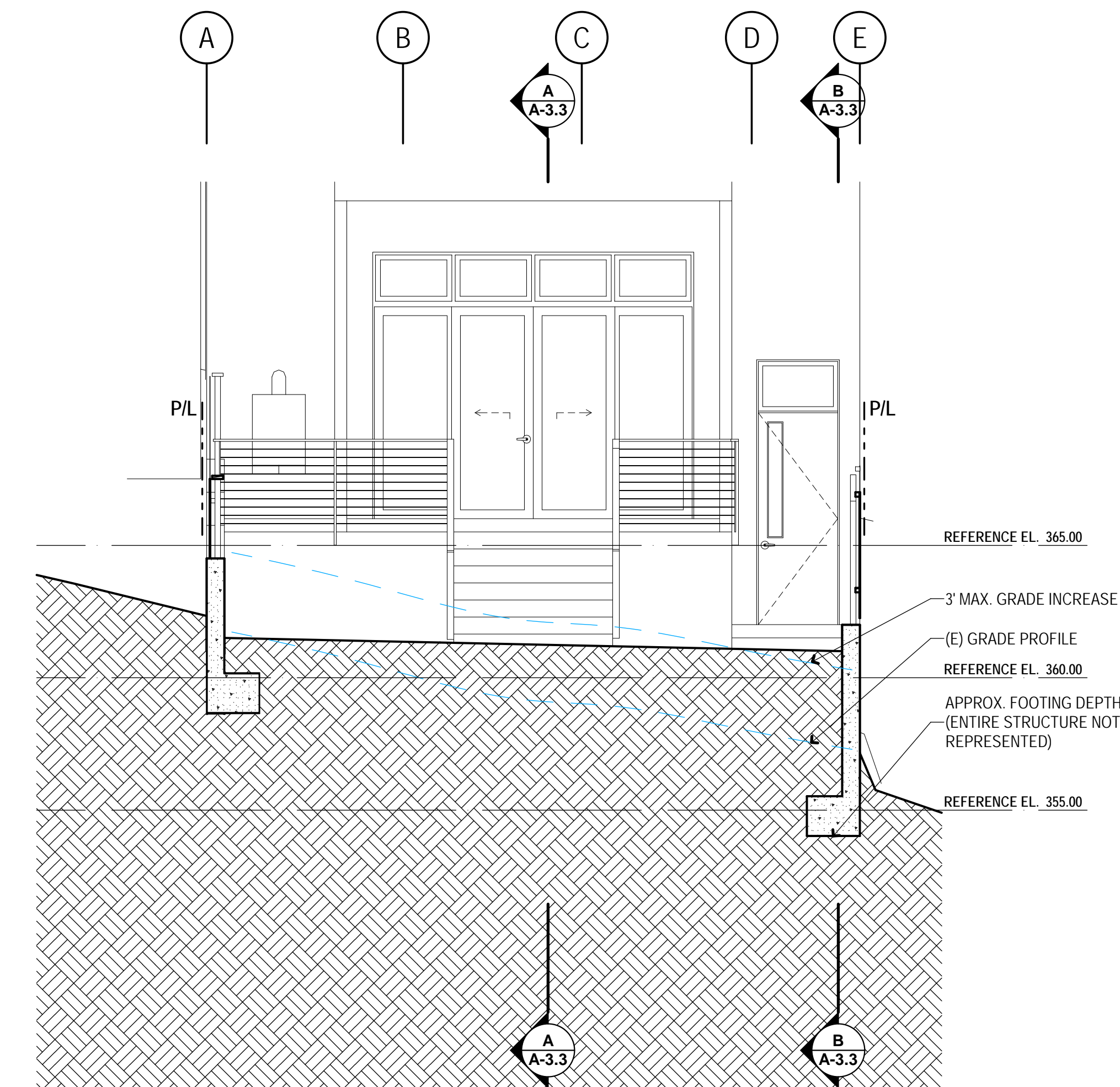
CURRENT CROSS SECTION E

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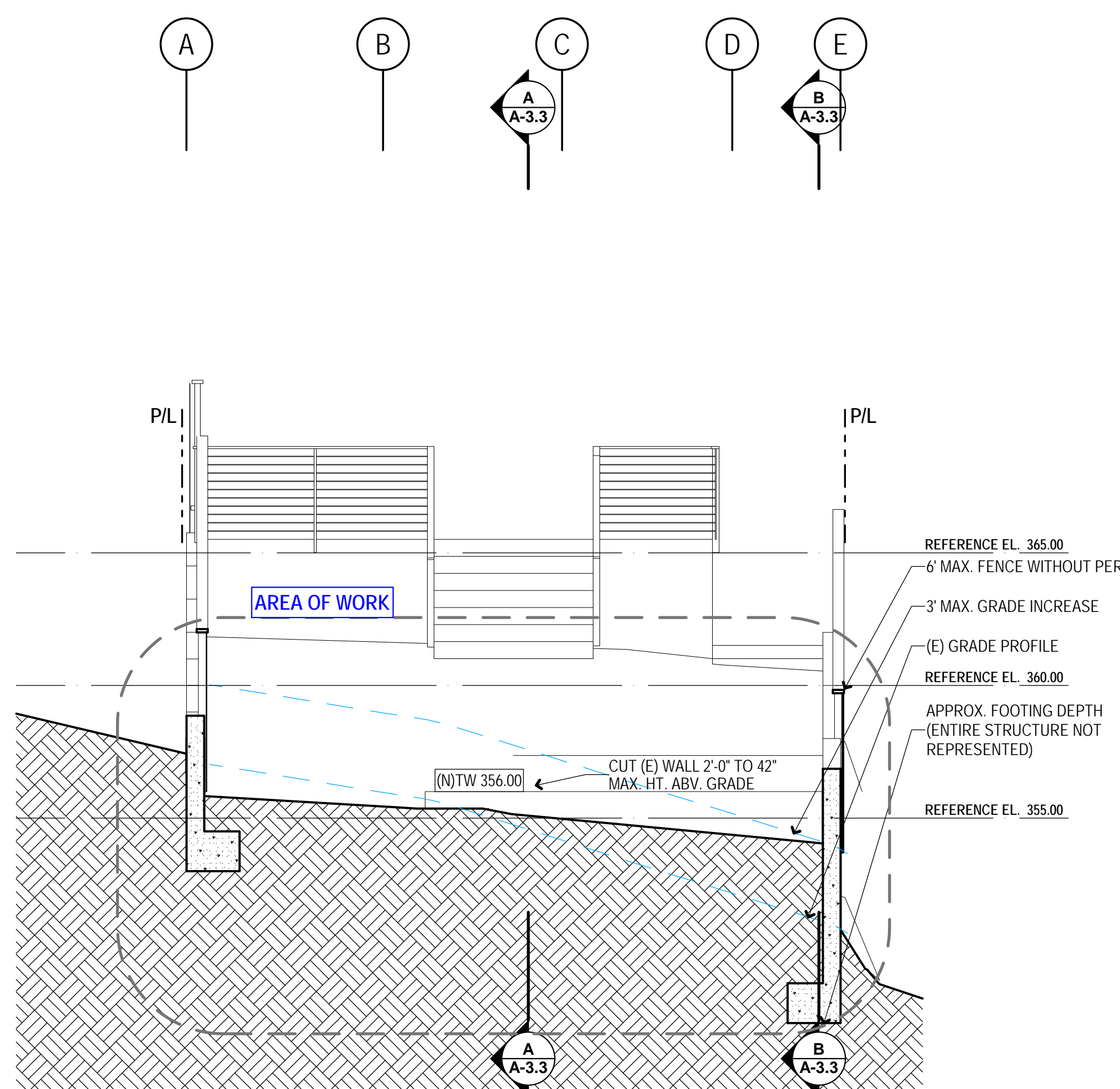
CURRENT CROSS SECTION D

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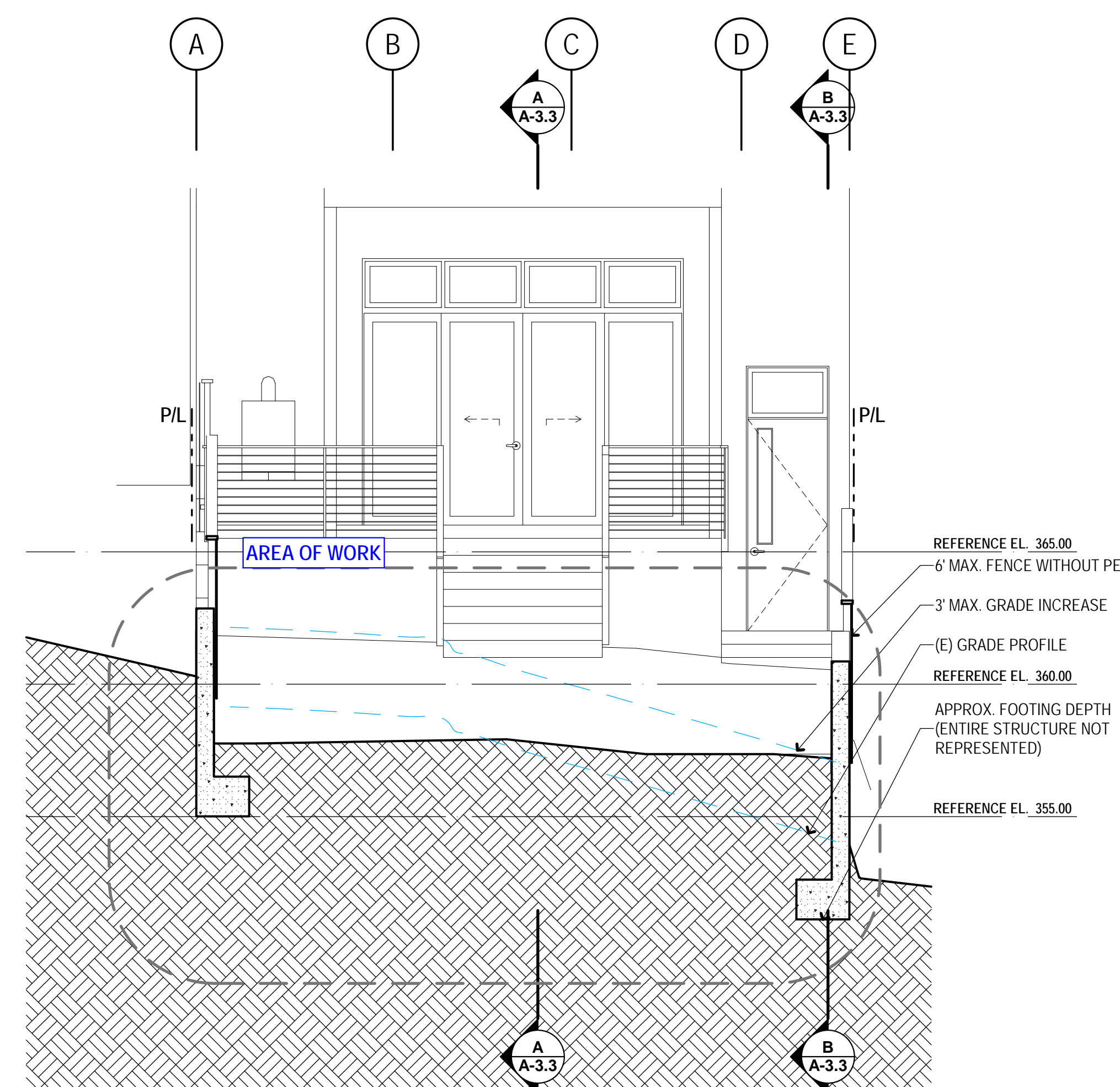
CURRENT CROSS SECTION C

ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"



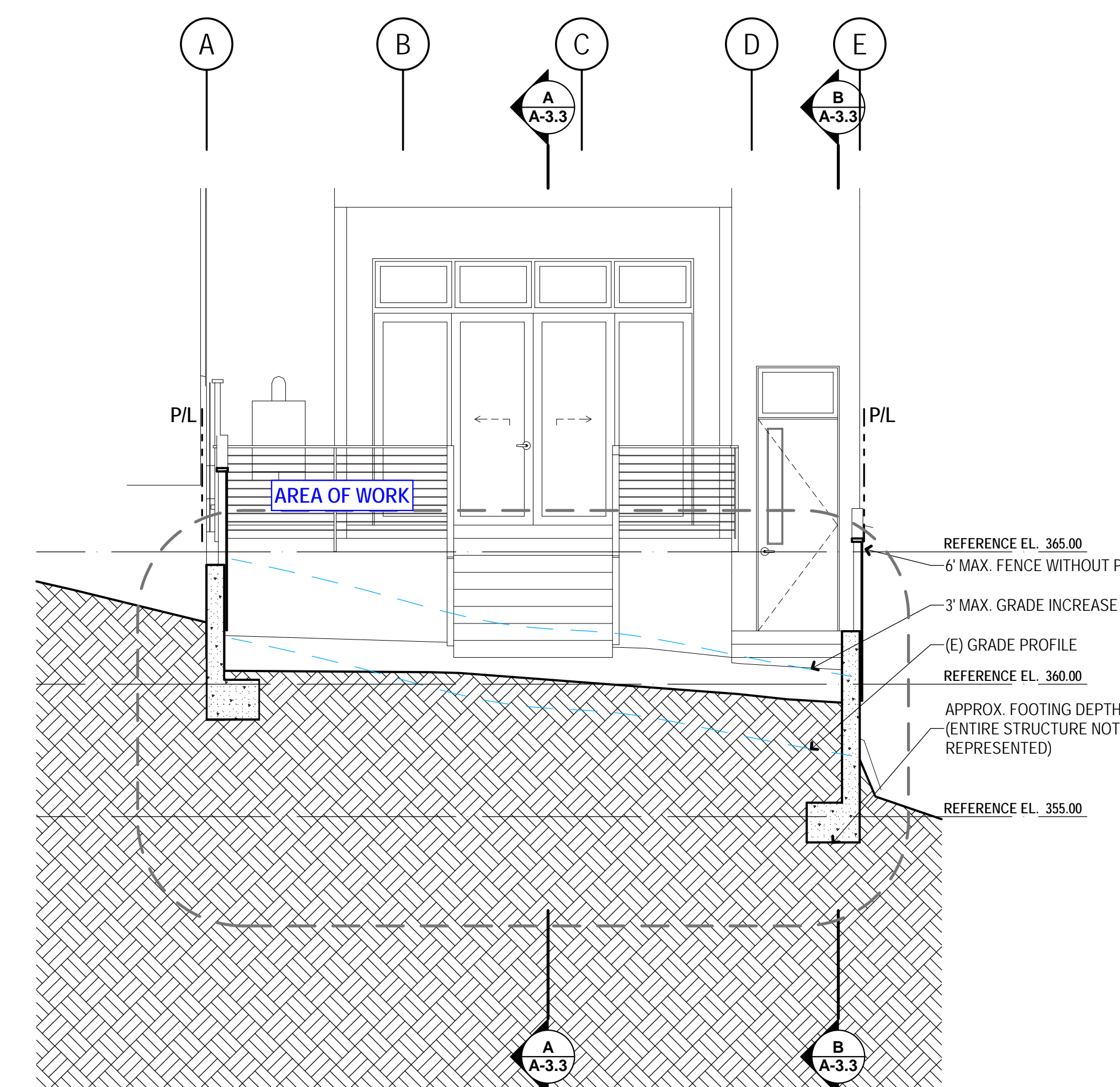
PROPOSED CROSS SECTION E

ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"



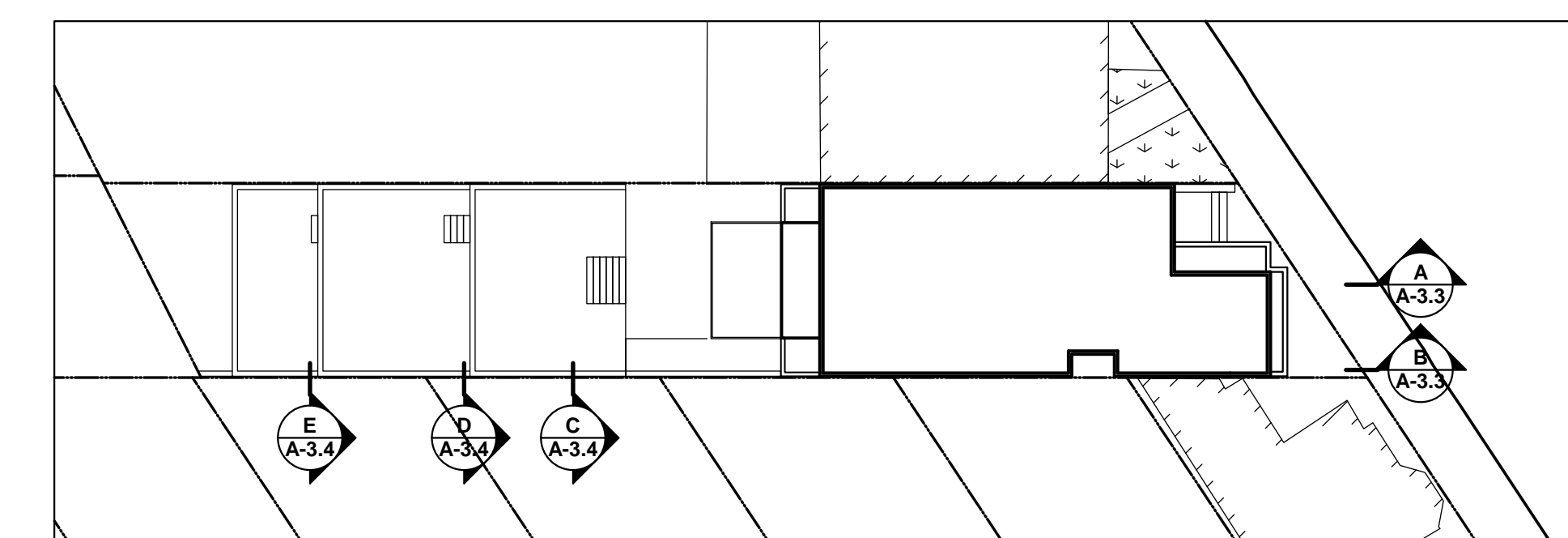
PROPOSED CROSS SECTION D

ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"



PROPOSED CROSS SECTION C

ALL DIMENSIONS FROM FINISH TO FINISH, U.O.N. SCALE: 1/4" = 1'-0"

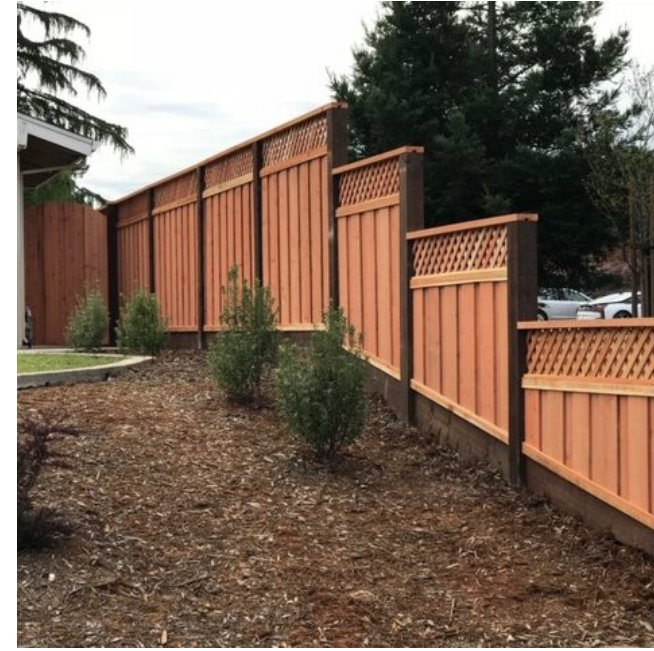




HORIZONTAL STEPPED FENCE



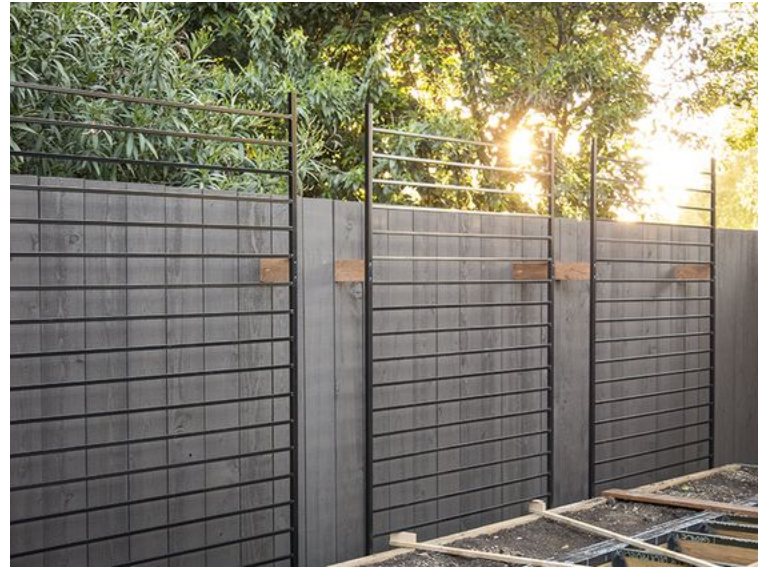
VERTICAL STEPPED FENCE



VERTICAL FENCE WITH TRELLIS



VERTICAL FENCE MATCHING SLOPE



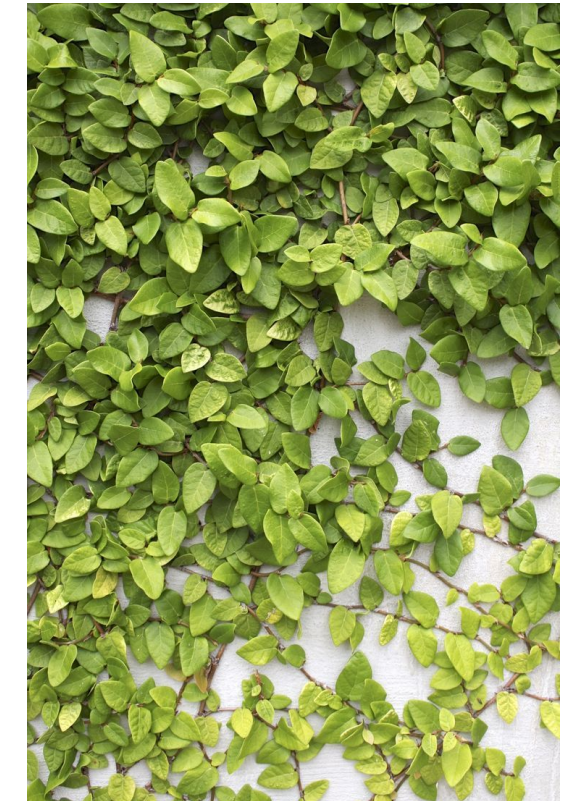
STAGGERED TRELLIS VINE STRUCTURES



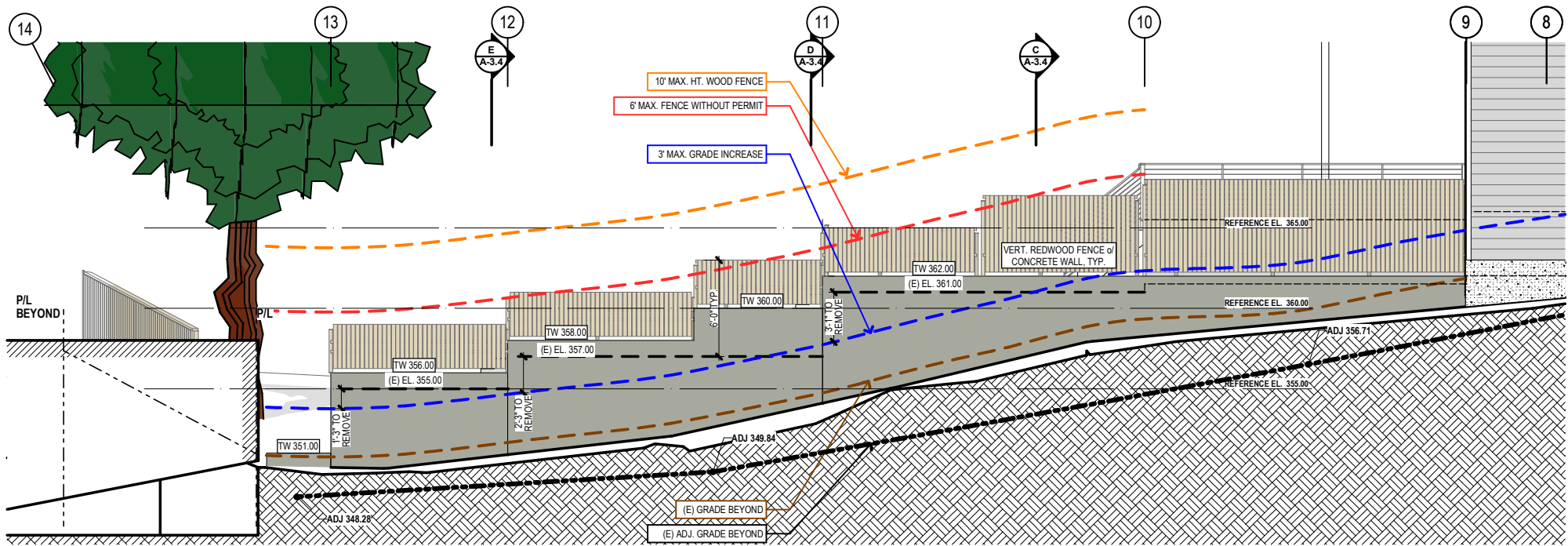
CONTINUOUS TRELLIS STRUCTURE



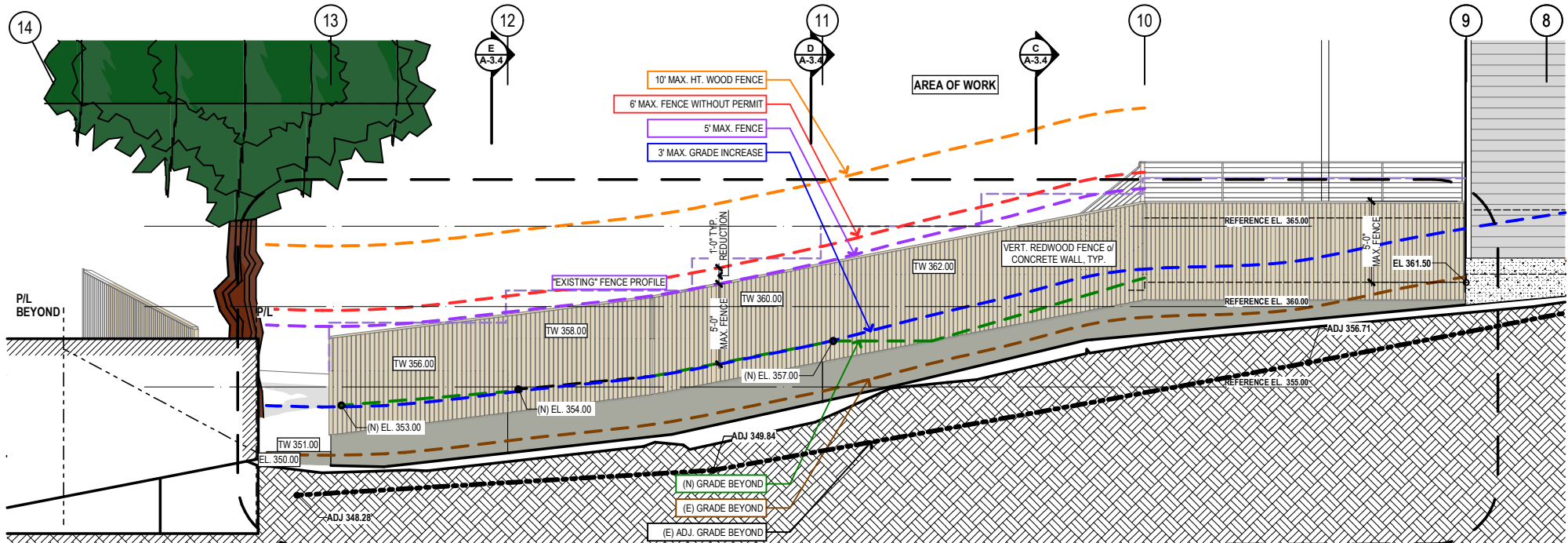
CLIMBING VINES WITHOUT TRELLIS



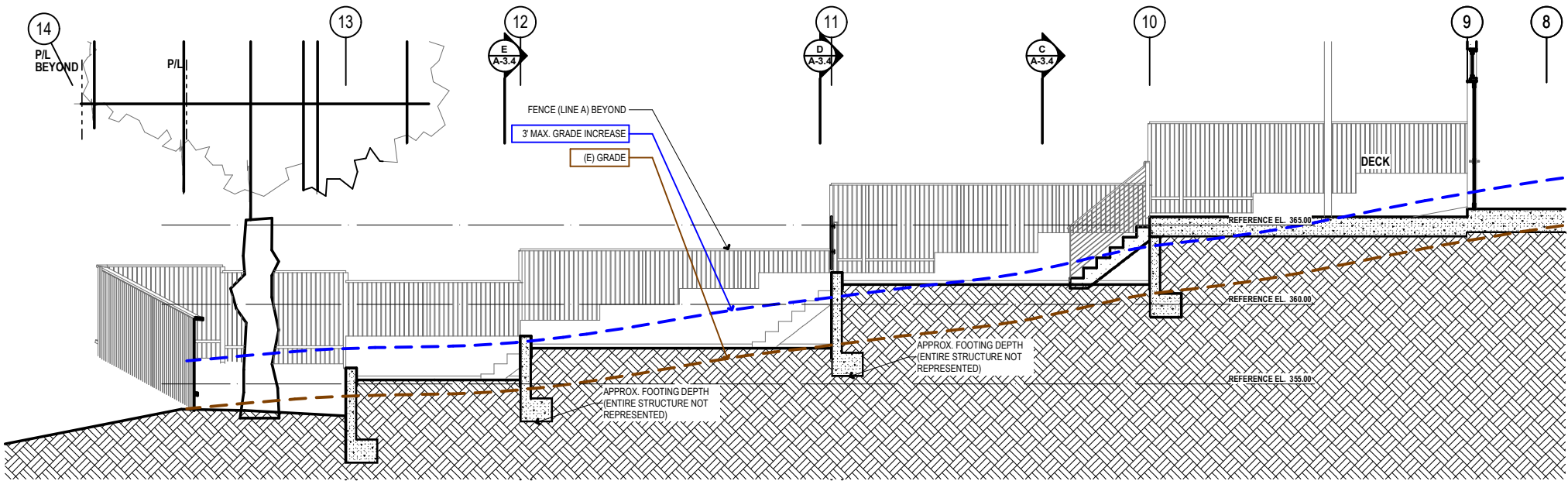
CLIMBING IVY ON STUCCO



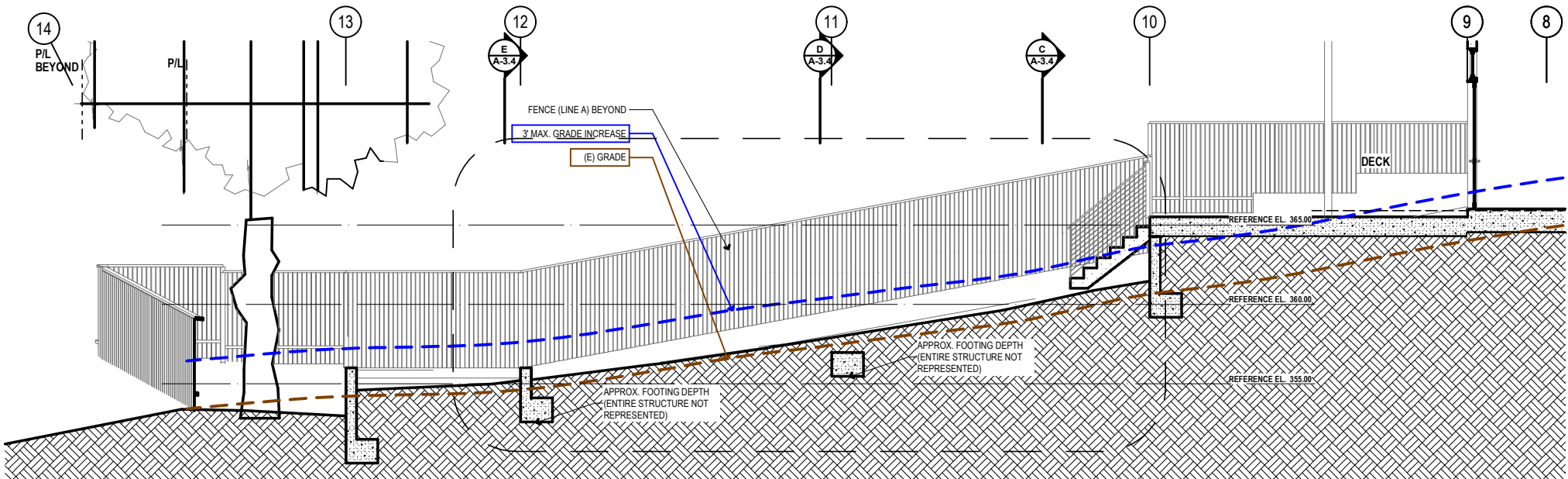
CURRENT LEFT ELEVATION



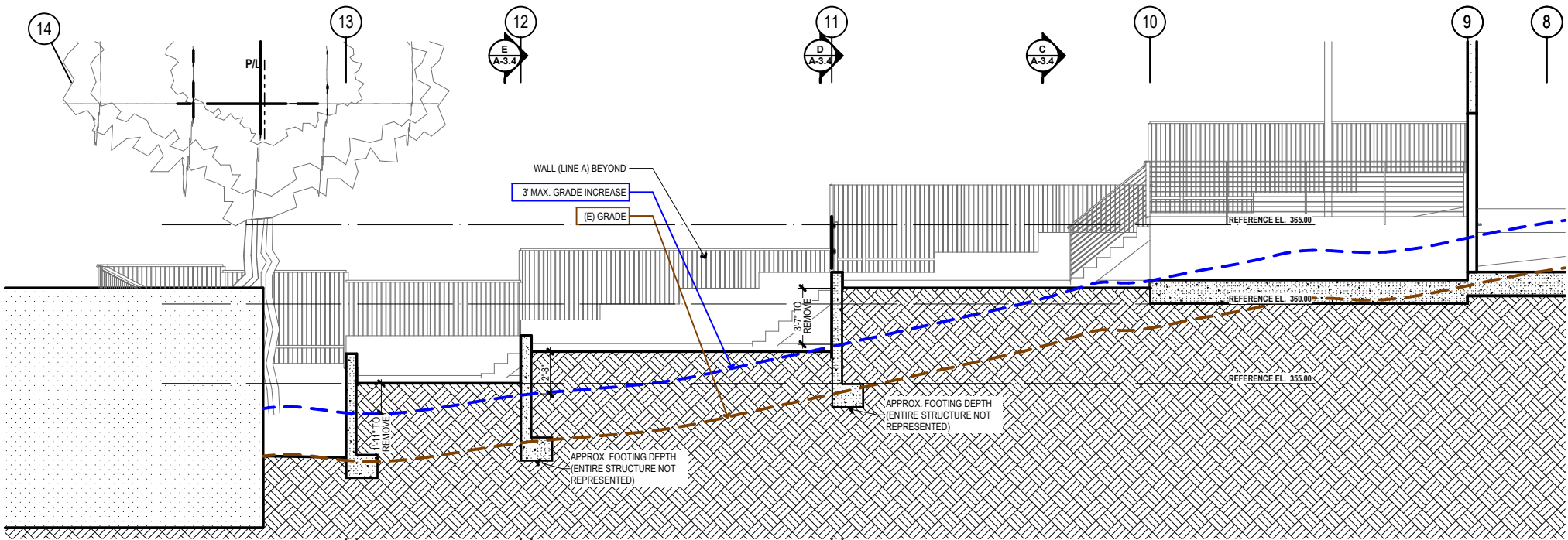
PROPOSED LEFT ELEVATION



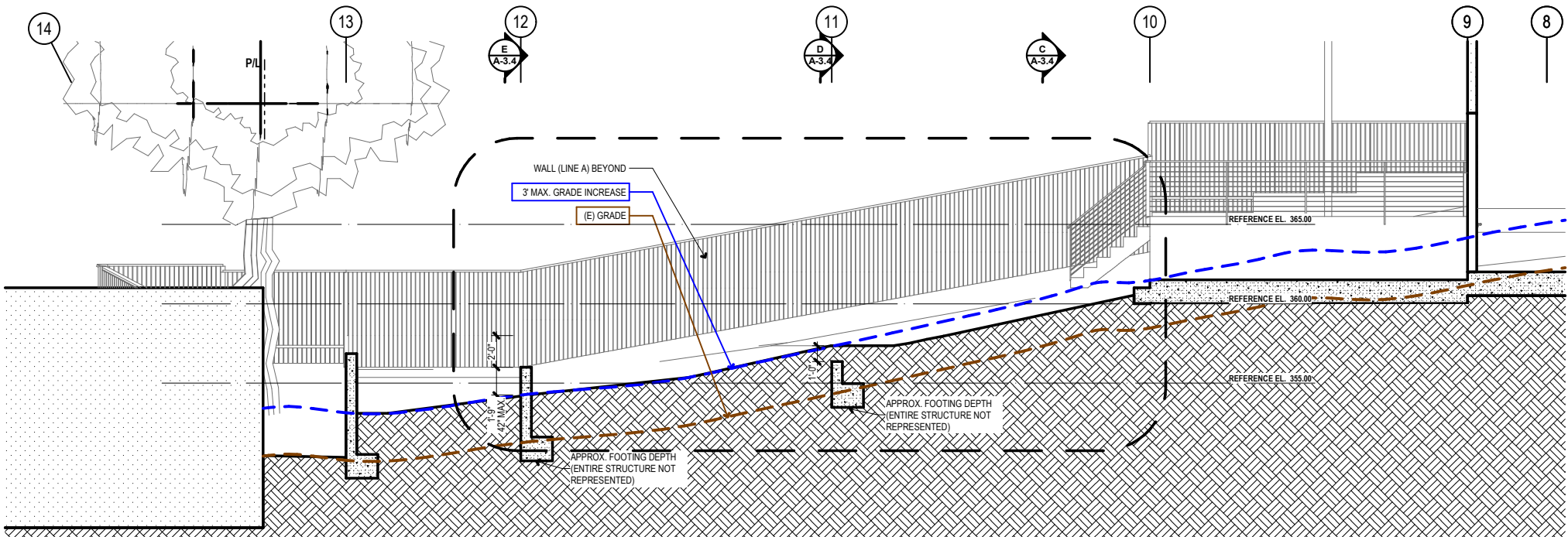
CURRENT LONGITUDINAL SECTION A @ C/L



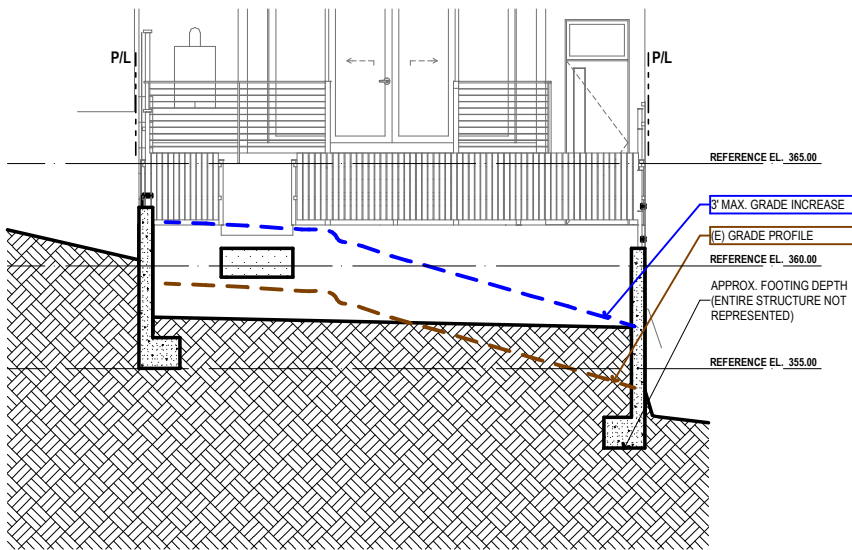
PROPOSED LONGITUDINAL SECTION A @ C/L



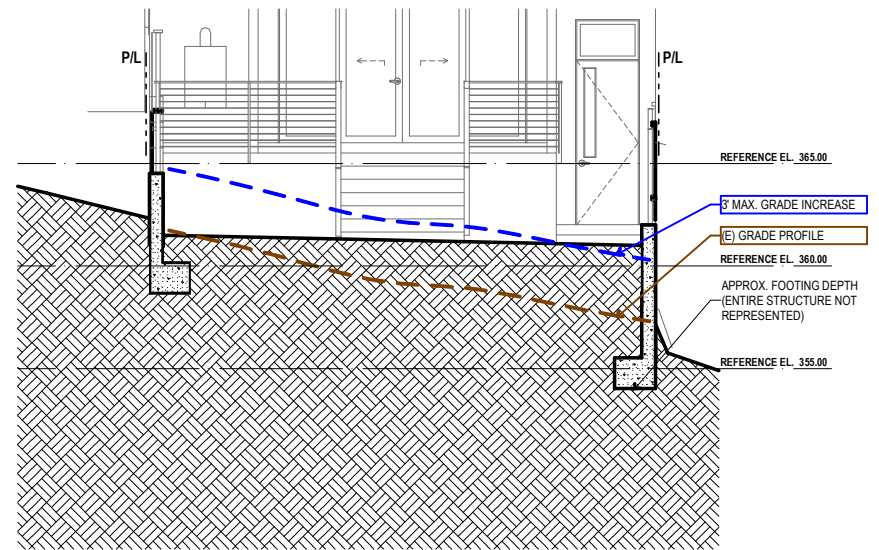
CURRENT LONGITUDINAL SECTION B



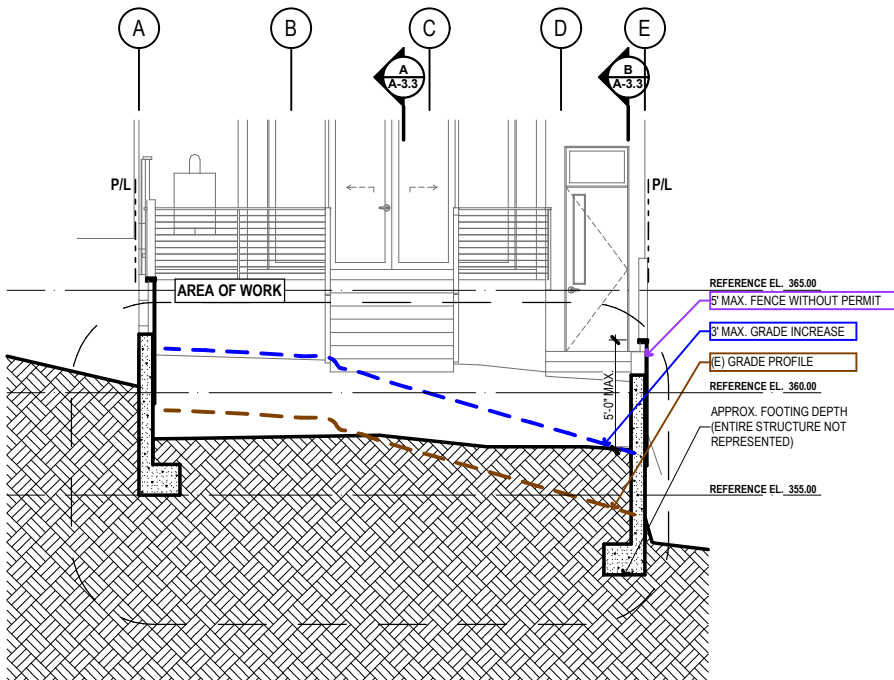
PROPOSED LONGITUDINAL SECTION B



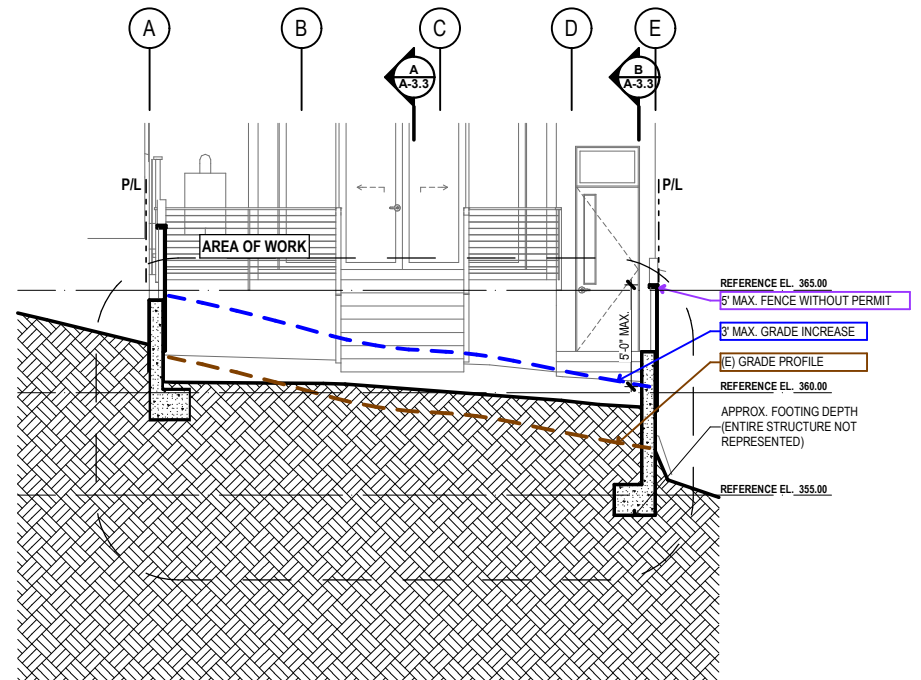
CURRENT CROSS SECTION D



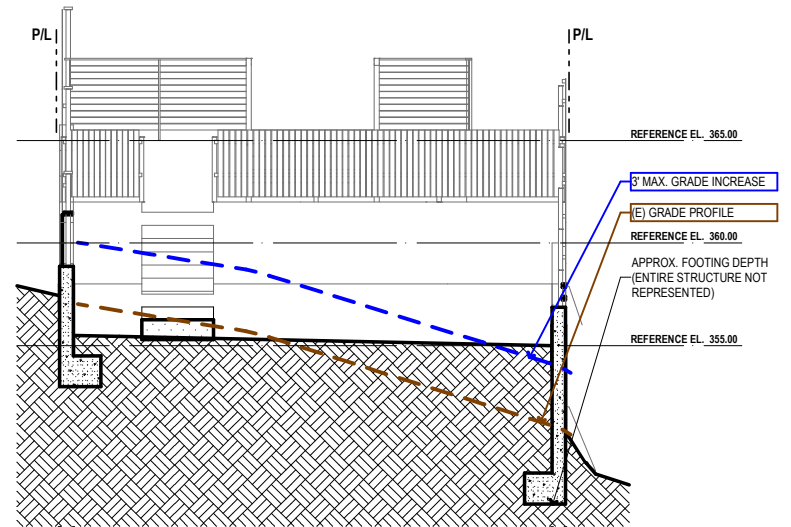
CURRENT CROSS SECTION C



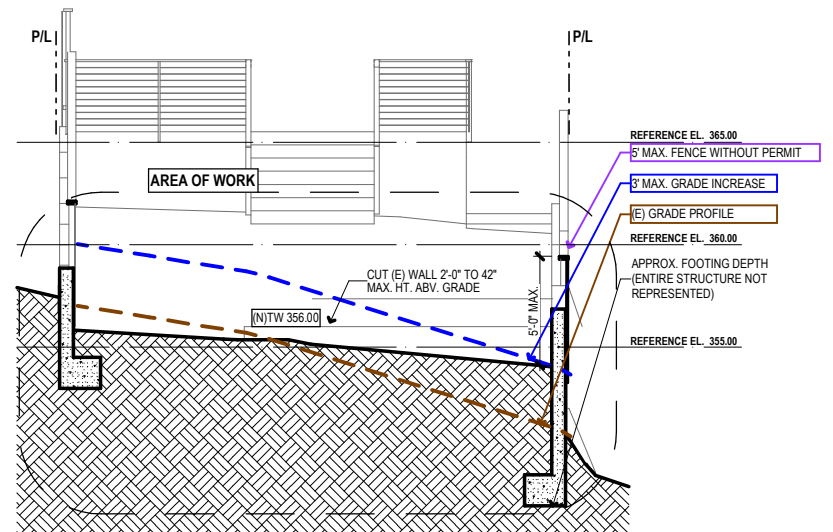
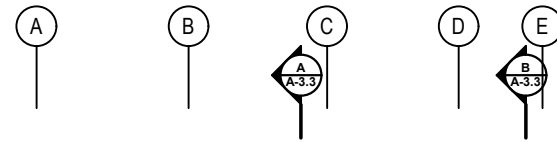
PROPOSED CROSS SECTION D



PROPOSED CROSS SECTION C



CURRENT CROSS SECTION E



PROPOSED CROSS SECTION E