



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis

HEARING DATE: MAY 14, 2020

CONTINUED TO JUNE 4, 2020

Date: May 28, 2020
Case No.: 2018-000528DRP-04
Project Address: 440 and 446-448 Waller Street
Permit Applications: 2019.0130.1610 & 2019.0130.1630
Zoning: RH-3 [Residential House, Three Family]
40-X Height and Bulk District
Block/Lots: 0860 / 012 and 013
Project Sponsor: Jody Knight
Reuben, Junius and Rose
1 Bush Street, suite 600
San Francisco, CA 94104
Staff Contact: Elizabeth Gordon-Jonckheer – (415) 575-8728
Elizabeth.Gordon-Jonckheer@sfgov.org
Recommendation: **Take DR and Approve with Modifications**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The project consists of:

1. Demolition of an existing one-story noncomplying building in the rear yard that straddles the current lot line;
2. Adjustment of the side lot line and subdivision of the two contiguous through-lots to create two new substandard lots fronting Laussat Street;
3. New construction of two, three-story over basement, two-family dwellings with no parking on the lots fronting Laussat Street;
4. One-story vertical additions, 4-story rear horizontal additions, and front façade alterations of each of the dwellings on 400 and 446-448 Waller Street and;
5. Construction of a new garage at 440 Waller Street.

Parking for the new townhomes on Laussat is proposed in the existing and new garages fronting Waller Street.

This proposal is requesting variances for lot size for 440 Waller and rear yards for 446-448 and 440 Waller Street (Case No. 2015-008247VAR) which was heard by the Zoning Administrator at a public hearing on January 22, 2020). A new variance for front setback on Laussat has since been submitted. All three variance requests will be considered at this date.

SITE DESCRIPTION AND PRESENT USE

There are currently two through-lots with two buildings fronting Waller Street: 440 Waller - a single-family house; and 446-448 Waller - a two-unit building; and a one-story former commercial building fronting Laussat Street that straddles the common property line. The subject property slopes up toward Laussat Street, with a grade differential from the front lot line to the rear lot line of approximately 7 feet.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The subject property is in the Lower Haight neighborhood. Laussat Street is a narrow street developed with two- to three-story, 1- and 2- unit townhouse houses with raised stoops and no curb cuts and garages. The development pattern of the block fronting Waller consists of primarily 2- to 3- story two- and three-unit townhouses that extend to similar depth at the rear resulting in a consistent but constrained mid-block open space.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	January 13, 2020 – February 12, 2020	February 12, 2020	June 4, 2020	113 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	20 days	April 24, 2020	April 24, 2020	20 days
Mailed Notice	20 days	April 24, 2020	April 24, 2020	20 days
Online Notice	20 days	April 24, 2020	April 24, 2020	20 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	0	0	-
Other neighbors on the block or directly across the street	40	0	-
Neighborhood groups	0	0	-

DR REQUESTOR

Thomas Drohan, of 436 Waller Street adjacent property to the East.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

The proposed project will encroach excessively into the rear yard and block light and privacy; it does not respect the form of surrounding buildings.

See attached *Discretionary Review Applications*, dated February 12, 2020.

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

The project is consistent with the scale of the street, open space, and pattern of the development and an appropriate response to add 4 units of housing.

See attached *Response to Discretionary Review*, dated March 12, 2020.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15303 (Class 3 - New construction or conversion of small structures).

RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Advisory Team re-reviewed project with the DR Applications on April 1, 2020, and found that Laussat Street, like most alleys in the city, has been developed with a pattern of smaller residential buildings with small rear yards and, cumulatively, constrained mid-block open space. RDAT found that the new buildings are set between two- and three-story houses with a footprint, massing, and rear yard comparable to those of the adjacent buildings on either side and generally consistent with the development pattern of the block. RDAT also found that the DR Requestor's concerns regarding the loss of light and privacy from the new buildings on Laussat are neither extraordinary nor exceptional as the height and footprint of the proposed buildings is consistent with the existing development pattern of this block. Furthermore, the buildings' location to the North maintains light to the DR requestor's property and the yards of the mid-block open space.

However, RDAT did find that the following modification were appropriate and recommended that the project sponsor revise the project per below:

446-448 Waller building:

1. Limit the extension at the rear to the existing main rear building wall to provide a Code-complying rear yard with 25% of lot depth;
2. Incorporate a raised front stoop with entries that directly face the street, in accordance with the Department's *Guidelines for Ground Floor Residential Design*.
3. Minimize the stair roof penthouse;
4. Reduce the size of the roof deck to have a 10' or greater setback from the front and rear building edges; and sized to provide only the minimum required private open space for upper unit.

440 Waller building:

1. Limit the extension at the rear to the existing main rear building wall to provide Code-complying rear yard with 25% of lot depth;
2. Reduce the width of the garage door to 8';
3. Reduce the size of the roof deck to have a 10' or greater setback from the front and rear building edges; and sized to provide only the minimum required private open space.

Laussat Buildings:

1. Provide a Code-complying front setback on Laussat, landscape setback;
2. Demonstrate Code compliance with height on narrow streets.
Provide raised entrances with separate doors to each unit directly from Laussat;
3. Reduce the size of the roof deck to provide only the minimum required private open space for upper units;
4. Minimize stair penthouse access to roofs
5. Provide window details showing a 3" recess from face of finish façades and
6. Match light well to adjacent neighbor to West.

The project sponsor has made some revisions to the plans, dated 5.26.2020, to address the recommendations above. After having reviewed the revised proposal, Planning Department staff has determined that the revised project creates exceptional or extraordinary circumstances and recommends taking DR with the following modifications:

1. Limit the horizontal extensions of both the 440 and 446-448 Waller buildings to provide Code-complaint rear yards of 25% of the lot depths;
2. Maintain a raised entrance at 446-448 Waller and;
3. Reduce the size of the roof decks on 440 and 446 -448 Waller sized to provide only the minimum required private open space for upper units.

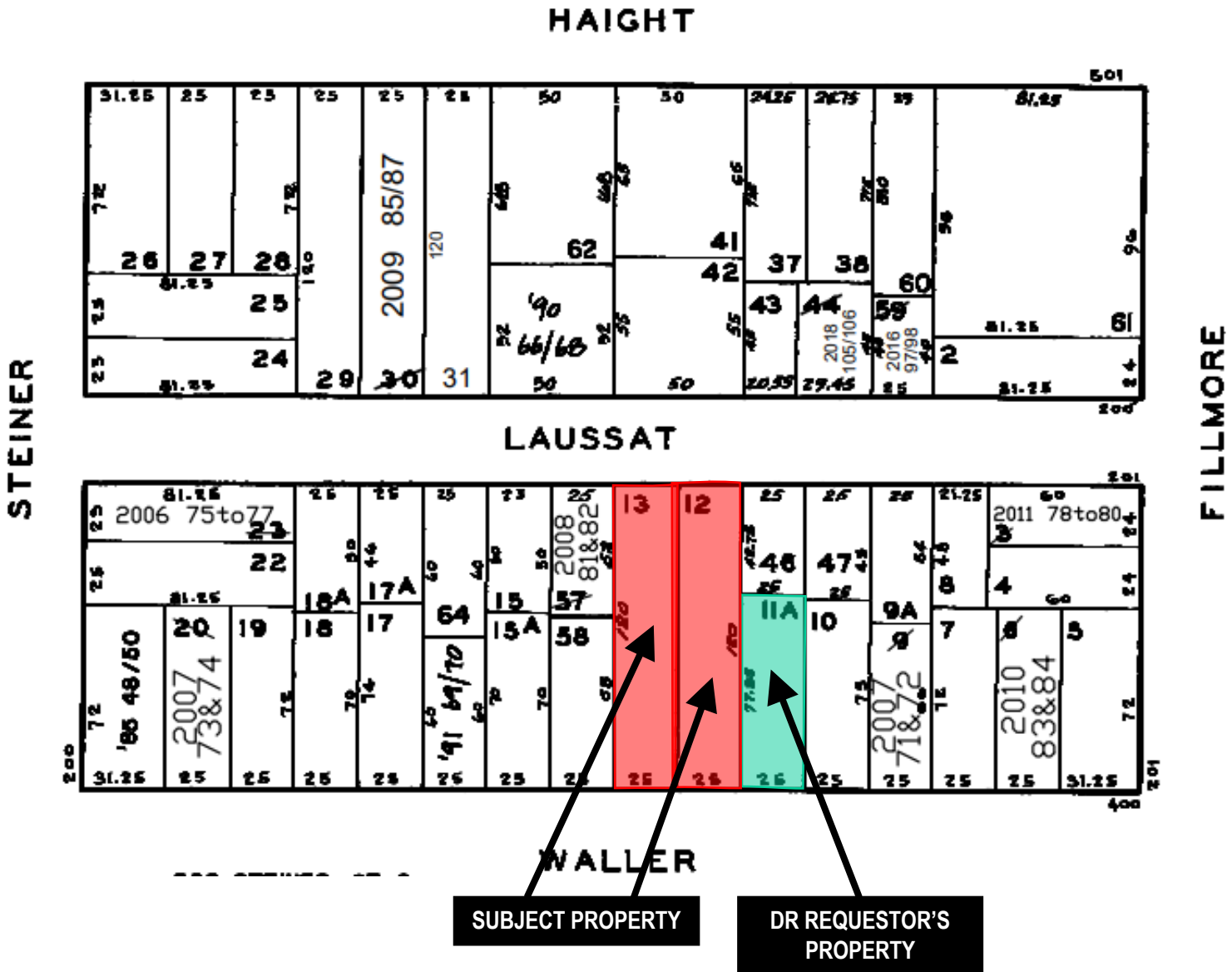
RECOMMENDATION: Take DR and Approve with Modifications
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Attachments:

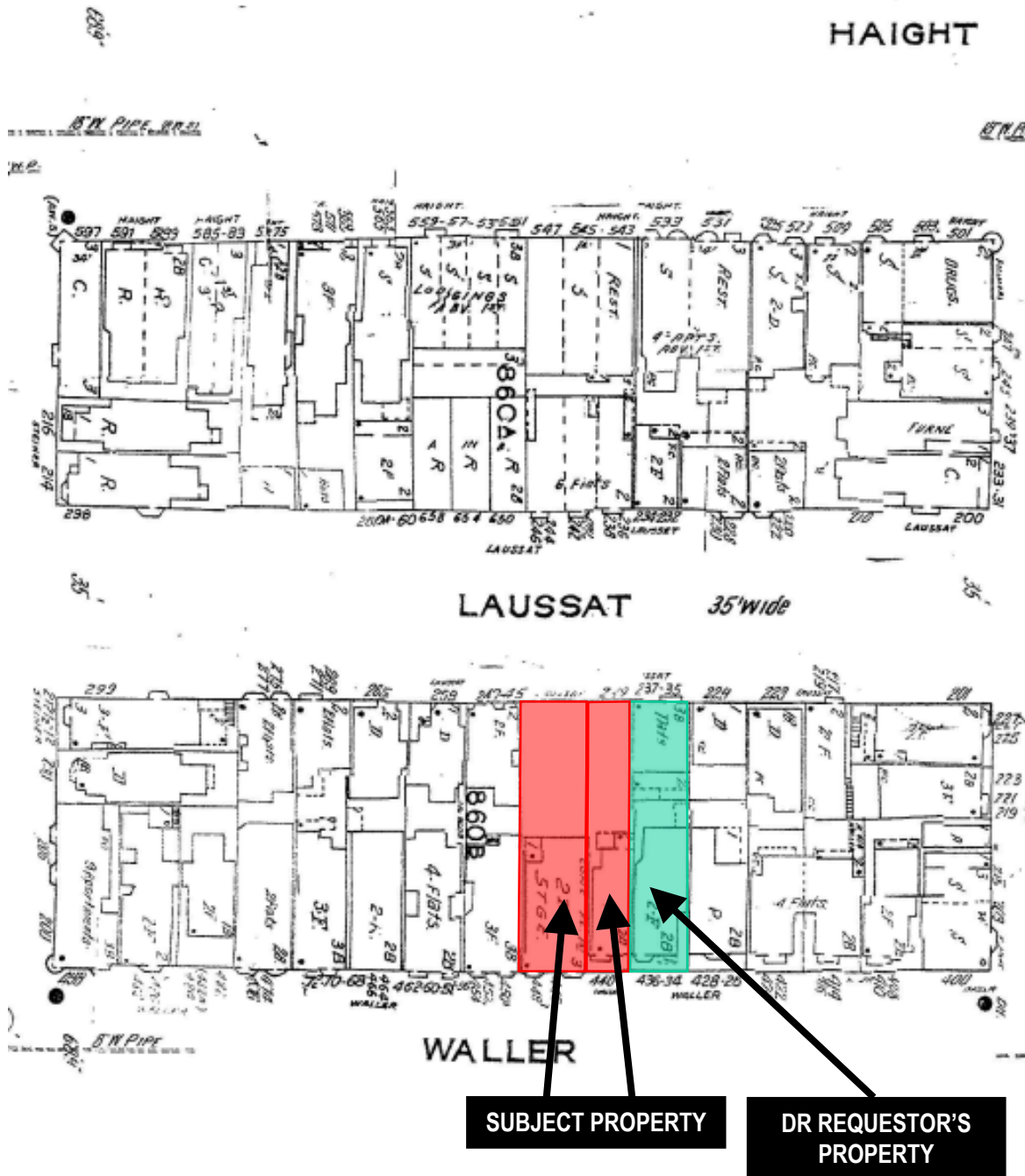
- Block Book Map
- Sanborn Map
- Zoning Map
- Aerial Photographs
- Context Photographs
- Section 311 Notice
- CEQA Determination
- DR Applications dated February 12, 2020
- Response to DR Application dated March 12, 2020
- Reduced Plans, revised, dated 5.26.2020
- Letters of support

Exhibits

Parcel Map



Sanborn Map*

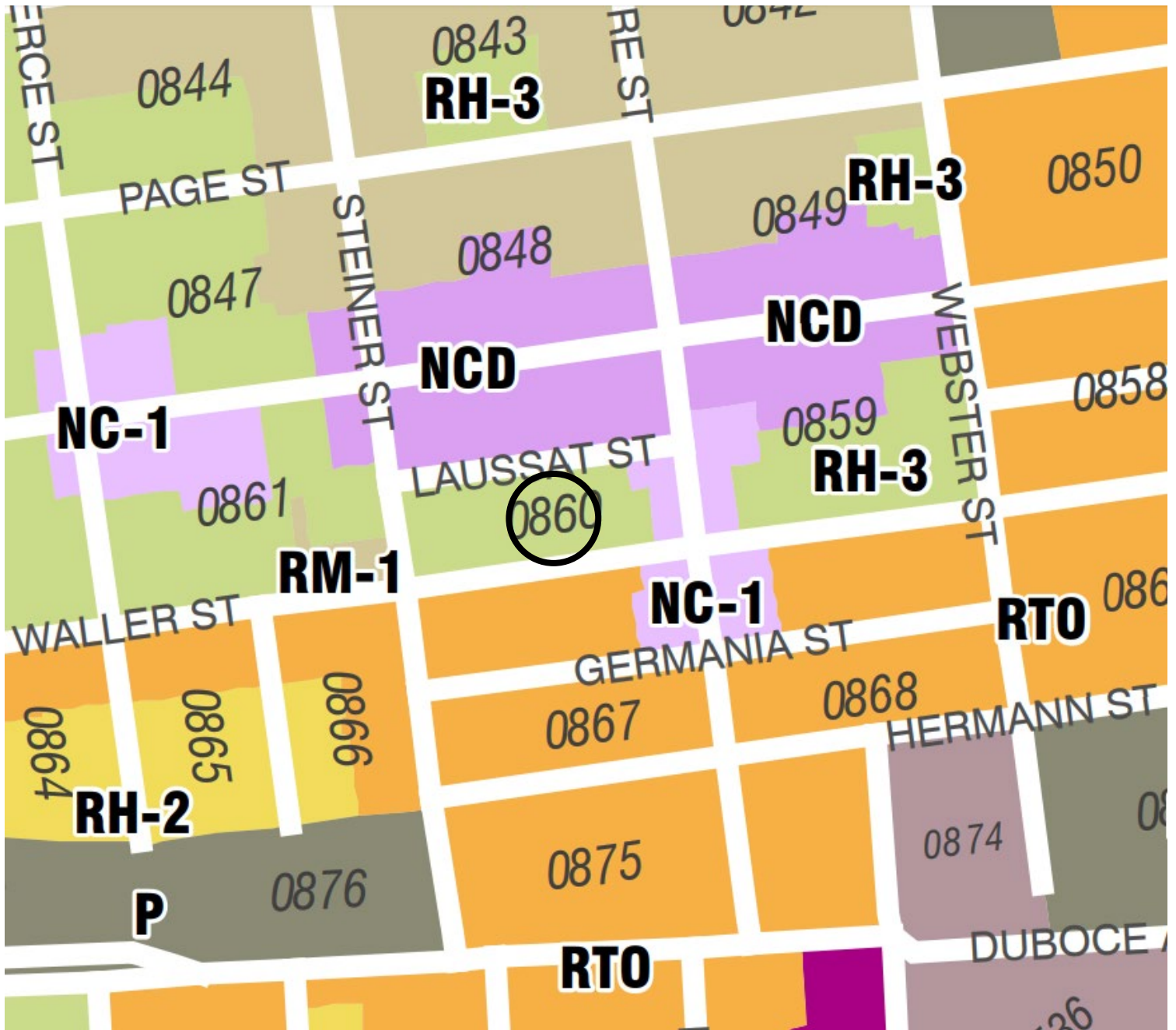


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing
Case Number 2018-000528DRP-04
440-448 Waller Street

Zoning Map



Discretionary Review Hearing
Case Number 2018-000528DRP-04
440-448 Waller Street

Aerial Photo



SUBJECT PROPERTY

**DR REQUESTOR'S
PROPERTY**



Discretionary Review Hearing
Case Number 2018-000528DRP-04
440-448 Waller Street

Aerial Photo



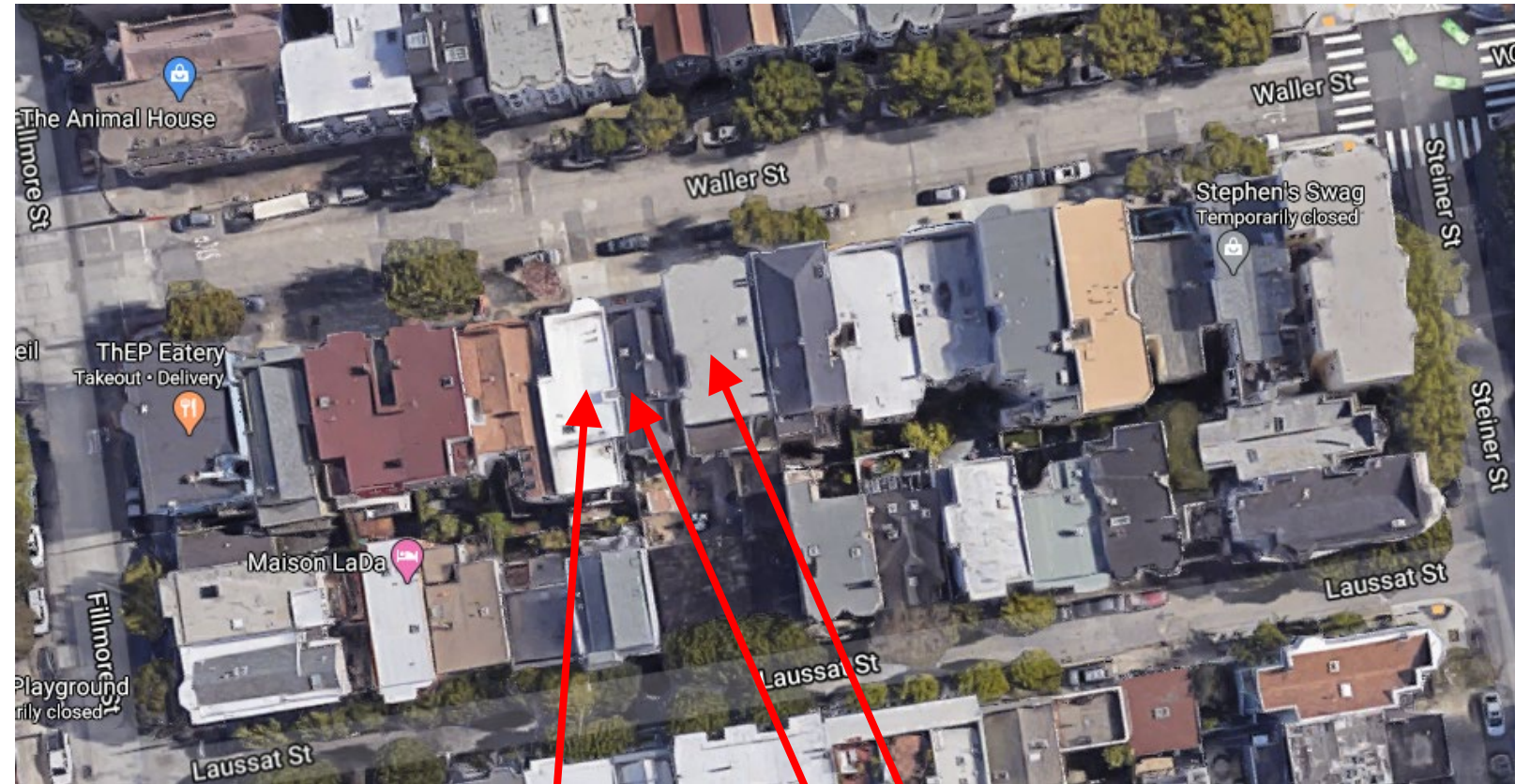
SUBJECT PROPERTY

DR REQUESTOR'S PROPERTY



Discretionary Review Hearing
Case Number 2018-000528DRP-04
440-448 Waller Street

Aerial Photo



**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-000528DRP-04
440-448 Waller Street

Aerial Photo



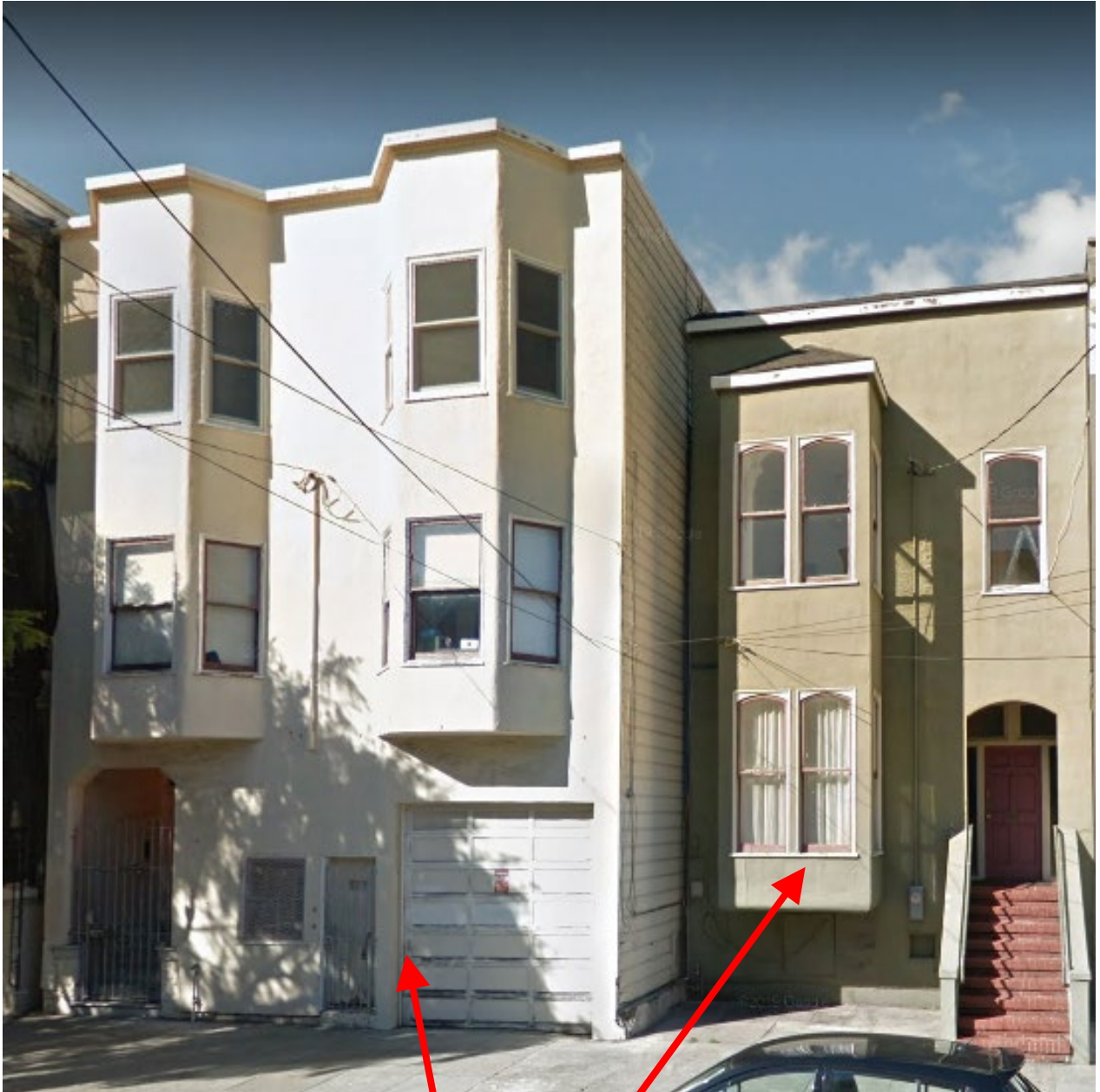
**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-000528DRP-04
440-448 Waller Street

Site Photo



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2018-000528DRP-04
440-448 Waller Street



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **January 30, 2019**, Building Permit Application No. **2019.01.30.1630** was filed for work at the Project Address below.

Notice Date: January 13, 2020

Expiration Date: February 12, 2020

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	440-448 WALLER	Applicant:	Jody Knight
Cross Street(s):	Steiner & Fillmore Streets	Address:	One Bush Street, Suite 600
Block/Lot No.:	0860 / 013	City, State:	San Francisco, CA
Zoning District(s):	RH-3 /40-X	Telephone:	(415) 567-9000
Record Number:	2018-000528PRJ	Email:	jknight@reubenlaw.com

You are receiving this notice as an owner or occupant of property within 150 feet of the proposed project. **You are not required to take any action.** For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request that the Planning Commission review this application at a public hearing for Discretionary Review. Requests for a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown above, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input checked="" type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input checked="" type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	No Change
Front Setback	None	No Change
Side Setbacks	None	No Change
Building Depth	53 feet	57.5 feet
Rear Yard	None	12 feet
Building Height	37 feet, 8 inches	40 feet
Number of Stories	3	4
Number of Dwelling Units	2	No Change
Number of Parking Spaces	3	4 (includes parking for rear building)

PROJECT DESCRIPTION

Note this entire project encompasses multiple permits and buildings on two existing lots.

The proposal is to merge and re-subdivide two lots fronting on Waller Street (lots 12 & 13) and create two new lots fronting on Laussat Street. The existing noncomplying building in the rear yard that straddles the current lot line will be demolished and replaced with a new 3-story-over-basement two-family dwelling. One-story vertical additions and 4-story horizontal additions at the rear of each of the dwellings on Waller Street are proposed, plus a new garage is proposed for 440 Waller Street.

This proposal requires variance for lot size and rear yard (Case No. 2015-008247VAR scheduled for hearing on January 22, 2020).

The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.

To view plans or related documents, visit sf-planning.org/notices and search the Project Address listed above. Once the property is located, click on the dot(s) to view details of the record number above, its related documents and/or plans.

For more information, please contact Planning Department staff:

Laura Ajello, 415-575-9142, Laura.Ajello@sfgov.org

中文詢問請電 | PARA INFORMACIÓN EN ESPAÑOL LLAMAR AL | PARA SA IMPORMASYON SA TAGALOG TUMAWAG SA | **415.575.9010**



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **January 30, 2019**, Building Permit Application No. **2019.01.30.1621** was filed for work at the Project Address below.

Notice Date: January 13, 2020

Expiration Date: February 12, 2020

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	440-448 WALLER (new building at rear)	Applicant:	Jody Knight
Cross Street(s):	Steiner & Fillmore Streets	Address:	One Bush Street, Suite 600
Block/Lot No.:	0860 / 013	City, State:	San Francisco, CA
Zoning District(s):	RH-3 /40-X	Telephone:	(415) 567-9000
Record Number:	2018-000528PRJ	Email:	jknight@reubenlaw.com

You are receiving this notice as an owner or occupant of property within 150 feet of the proposed project. **You are not required to take any action.** For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request that the Planning Commission review this application at a public hearing for Discretionary Review. Requests for a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown above, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input checked="" type="checkbox"/> Demolition	<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Commerical (2-story building at rear)	Residential
Front Setback	None	No Change
Side Setbacks	None	No Change
Building Depth	N/A	35 feet
Rear Yard	N/A	15 feet
Building Height	N/A	40 feet
Number of Stories	N/A	3-stories-over-basement
Number of Dwelling Units	0	2
Number of Parking Spaces	N/A	2 (proposed in front building)

PROJECT DESCRIPTION

Note this entire project encompasses multiple permits and buildings on two existing lots.

The proposal is to merge and re-subdivide two lots fronting on Waller Street (lots 12 & 13) and create two new lots fronting on Laussat Street. The existing noncomplying building in the rear yard that straddles the current lot line will be demolished and replaced with a new 3-story-over-basement two-family dwelling. One-story vertical additions and 4-story horizontal additions at the rear of each of the dwellings on Waller Street are proposed, plus a new garage is proposed for 440 Waller Street.

This proposal requires variance for lot size (Case No. 2015-008247VAR scheduled for hearing on January 22, 2020).

The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.

To view plans or related documents, visit sf-planning.org/notices and search the Project Address listed above. Once the property is located, click on the dot(s) to view details of the record number above, its related documents and/or plans.

For more information, please contact Planning Department staff:

Laura Ajello, 415-575-9142, Laura.Ajello@sfgov.org



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
440, 446-448 Waller Street		0860012
Case No.		Permit No.
2015-008247ENV		
<input checked="" type="checkbox"/> Addition/ Alteration	<input checked="" type="checkbox"/> Demolition (requires HRE for Category B Building)	<input checked="" type="checkbox"/> New Construction
<p>Project description for Planning Department approval.</p> <p>The project would merge and re-subdivide two lots fronting on Waller Street (lots 12 & 13) and create two new lots fronting on Laussat Street. The existing non-complying building in the rear yard that straddles the current lot line would be demolished and replaced with two new 3-story over-basement two-family dwellings. One-story vertical additions and 4-story horizontal additions at the rear of each of the dwellings on Waller Street are proposed, plus a new garage is proposed for 440 Waller Street.</p> <p>Building Permit Applications: 2019.01.30.1623, 2019.01.30.1617, 2019.0130.1621, and 2019.0130.1630</p>		

STEP 1: EXEMPTION CLASS

The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

<input checked="" type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)</p>
<input type="checkbox"/>	<p>Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential?</p> <p>Note that a categorical exemption shall not be issued for a project located on the Cortese List if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</p>
<input type="checkbox"/>	<p>Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input checked="" type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? If yes, archeo review is required (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography). If yes, Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Slope = or > 25%: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required and Environmental Planning must issue the exemption.</p>
<p>Comments and Planner Signature (optional): Don Lewis</p> <p>Planning department staff archaeologist cleared the project with no effects on 5/28/20.</p> <p>The proposed project is subject to the 2014 Air Pollutant Exposure Zone (APEZ) map based on the project's site permit date of 1/30/2019. Because it is not located in the APEZ with respect to the 2014 map, enhanced ventilation in accordance with Article 38 is not required and an application does not need to be submitted.</p>	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Property Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input checked="" type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <input type="checkbox"/> Reclassify to Category A a. Per HRER or PTR dated b. Other (specify): Per PTR form signed on May 1, 2018 <input checked="" type="checkbox"/> Reclassify to Category C (attach HRER or PTR)
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Stephanie Cisneros	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Building Permit	Signature: Don Lewis
	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	05/28/2020
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.		

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

MODIFIED PROJECT DESCRIPTION

Modified Project Description:

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

- | | |
|--------------------------|--|
| <input type="checkbox"/> | Result in expansion of the building envelope, as defined in the Planning Code; |
| <input type="checkbox"/> | Result in the change of use that would require public notice under Planning Code Sections 311 or 312; |
| <input type="checkbox"/> | Result in demolition as defined under Planning Code Section 317 or 19005(f)? |
| <input type="checkbox"/> | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |

If at least one of the above boxes is checked, further environmental review is required.

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

- | | |
|--------------------------|---|
| <input type="checkbox"/> | The proposed modification would not result in any of the above changes. |
|--------------------------|---|

If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination.

Planner Name:

Date:



SAN FRANCISCO PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW FORM

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Preservation Team Meeting Date:		Date of Form Completion	4/26/2018
--	--	--------------------------------	-----------

PROJECT INFORMATION:		
Planner:	Address:	
Stephanie Cisneros	440-448 Waller Street	
Block/Lot:	Cross Streets:	
0860/012, 0860/013	Steiner Street & Fillmore Street	
CEQA Category:	Art. 10/11:	BPA/Case No.:
B	N/A	2015-008247ENV

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PURPOSE OF REVIEW:		PROJECT DESCRIPTION:	
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input checked="" type="radio"/> Alteration
		<input type="radio"/> Demo/New Construction	

DATE OF PLANS UNDER REVIEW:	12/05/16, revised 11/01/17
------------------------------------	----------------------------

PROJECT ISSUES:	
<input checked="" type="checkbox"/>	Is the subject Property an eligible historic resource?
<input type="checkbox"/>	If so, are the proposed changes a significant impact?
Additional Notes:	
Submitted: Supplemental Information for Historic Resource Determination	
Proposed Project: Division of an existing lot into two lots and seek a variance from rear yard requirements for the Waller Street portion of the lot. Demolition of rear shed and construction of four new dwelling units on two lots fronting Laussat Street and add a new dwelling unit to the existing 3 unit structure facing Waller Street.	

PRESERVATION TEAM REVIEW:				
Category:		<input type="radio"/> A	<input type="radio"/> B	<input checked="" type="radio"/> C
Individual		Historic District/Context		
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:		Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:		
Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Period of Significance:	<input type="text"/>	Period of Significance:	<input type="text"/>	
		<input type="radio"/> Contributor <input type="radio"/> Non-Contributor		

Complies with the Secretary's Standards/Art 10/Art 11:	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
CEQA Material Impairment to the individual historic resource:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
CEQA Material Impairment to the historic district:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Requires Design Revisions:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Defer to Residential Design Team:	<input checked="" type="radio"/> Yes	<input type="radio"/> No	

PRESERVATION TEAM COMMENTS:

The area of the proposed project encompasses two lots containing three buildings located at 440 and 446-448 Waller Street. 440 Waller Street is a two-story-over-basement, wood-frame, single-family dwelling constructed ca. 1890 (Assessor's Record). 446-448 Waller Street is a two-story-over-garage, wood-frame, two-family dwelling constructed ca. 1905 (Assessor's Record). No original building permits were found to determine architect and/or builder of both properties. Both residential buildings face Waller Street and are best described as vernacular in style. Based on their respective dates of construction and the surrounding architectural context, they may have been originally designed in an Italianate style. However, in their existing states, there is no evidence of their original architecture. There is also an existing rear shed that encompasses the rear of both lots. The 1905 Sanborn Map shows various one-story buildings located at the rear of both properties. These rear buildings likely were altered and conjoined at a later date to produce the existing rear shed structure.

The Spring Valley Water Tap request for both buildings, dated August 26, 1904, was recorded together and lists Neils Christensen Toft as the point of contact, who was also likely the original owner. The 1905 Sanborn Map shows that 446-448 Waller Street utilized its first floor as an office for a Wood & Coal business that operated out of the rear of both properties. The top two floors were used as two flats and 440 Waller Street is recorded as one dwelling, likely for the Toft family that operated the Wood & Coal business. The Wood & Coal business is recorded on Sanborn Maps up until 1998.

440-448 Waller Street does not appear to be eligible for individual listing on the California Register under any Criteria. Neither property nor the business that operated out of them is associated with an event or events that made significant contributions to the broad patterns of local, state or national history (Criterion 1). None of the owners or occupants have been identified as important to history (Criterion 2). Both buildings are not architecturally distinct such that they would qualify individually for listing in the California Register under Criterion 3. Additionally, the subject buildings are not significant under Criterion 4 since this significance criteria typically applies to rare construction types when involving the built environment. The subject building is not an example of a rare construction type.

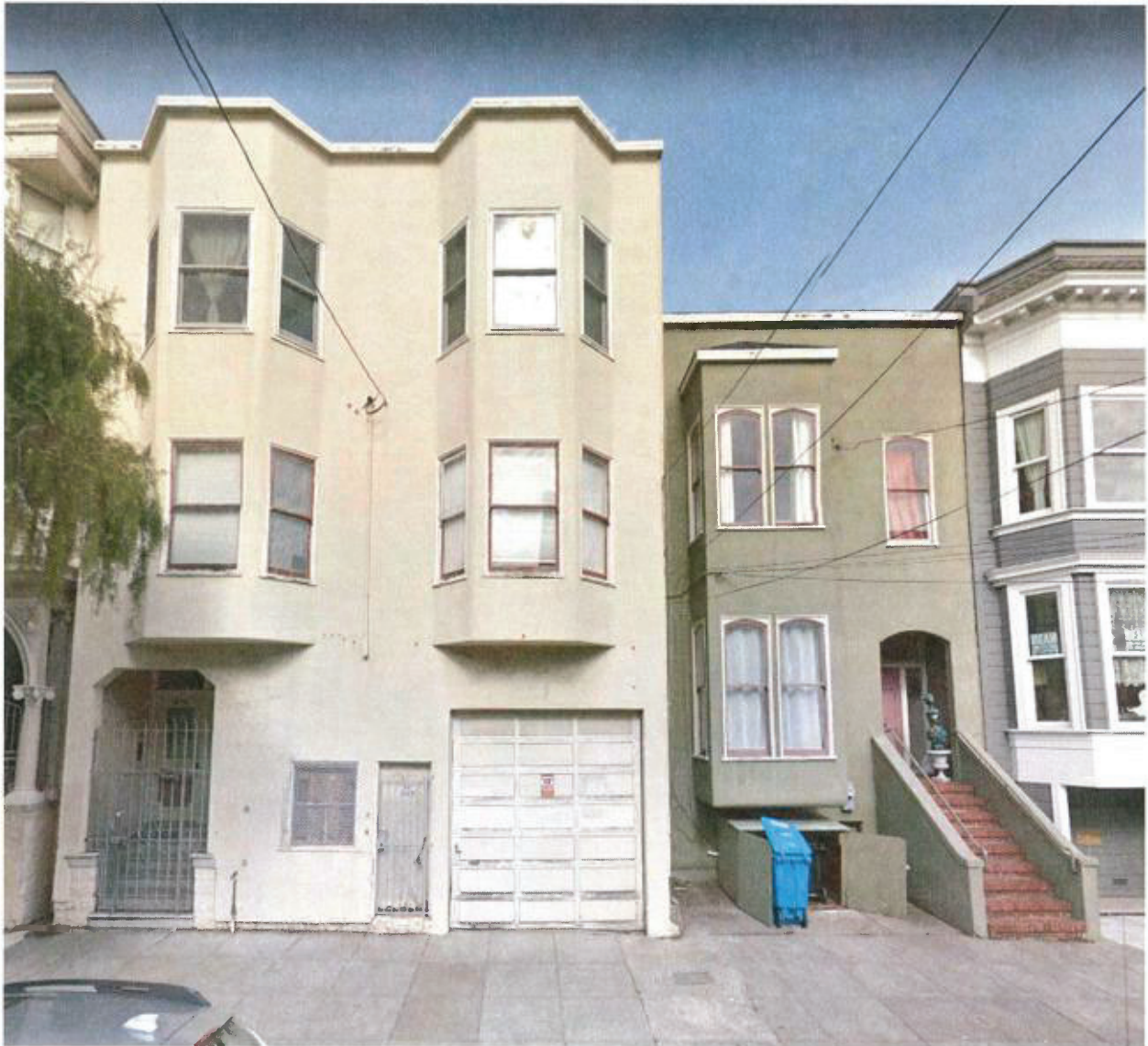
(continued)

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
	5/1/18

2015-008247ENV
440, 446-448 Waller Street

The subject property is not located adjacent to any known historic resources (Category A properties) or within the boundaries of any identified historic district. The subject property is located in the Western Addition neighborhood on a block that exhibits a variety of architectural styles and construction dates ranging from ca. late 1800s to 1991, many with major subsequent alterations. Together, the block does not comprise a significant concentration of historically or aesthetically unified buildings.

Therefore, the subject property is not eligible for listing in the California Register under any criteria individually or as part of a historic district.



440 Waller Street (right) and 446-448 Waller Street (left), source: Google Maps

BLOCK & LOT: 0860 / 012	
PROPERTY LINE:	-----
OUTLINE OF SUBJECT BUILDING:	=====
OUTLINE OF NEIGHBORS:	//////

PROJECT NAME
**440 Waller St.
(Front building)
SAN FRANCISCO, CA**

SCOPE OF WORK

- HORIZONTAL AND VERTICAL ADDITION
- TO ADD ONE STORY ON TOP OF (E) THREE STORY BLDG. TO RAISE THE EXISTING STRUCTURE BY ± 4'-9"
- INTERIOR REMODEL ON ALL FLOORS
- TO MERGE LOT WITH 446-448 WALLER ST.
- UNDER SEPARATE PERMIT: FUTURE EASEMENT FROM 440 WALLER ST REAR BUILDING FOR REAR BLDG ACCESS

NOTE: WATERPROOFING OF BUILDING ENVELOPE IS NOT UNDER THE SCOPE OF THIS PERMIT. OWNER IS TO HIRE A WATERPROOFING EXPERT TO PROVIDE WATERPROOFING DETAILS

PROJECT DATA

PLANNING DATA:

ADDRESS:	440 WALLER STREET (FRONT BUILDING)
BLOCK / LOT:	0860 / 012
LOT AREA:	3,000 ± S.F.
ZONING:	RH-3

EXISTING # OF UNITS: 1
PROPOSED # OF UNITS: 1
ALLOWABLE HEIGHT: 40'-X
(E) BUILDING HEIGHT: ± 35'-4"
(N) BUILDING HEIGHT: ± 40'-0"
OF COVERED PARKING SPACES: 1
OF BICYCLE PARKING SPACES: 1

(E) OCCUPIED FLOOR AREA:

FIRST FLOOR:	0 ± S.F.
SECOND FLOOR:	911 ± S.F.
THIRD FLOOR:	773 ± S.F.
TOTAL OCCUPIED AREA:	1,614 ± S.F.

(E) GROSS FLOOR AREA:

FIRST FLOOR:	1,621 ± S.F.
SECOND FLOOR:	987 ± S.F.
THIRD FLOOR:	866 ± S.F.
TOTAL GROSS AREA:	3,474 ± S.F.

(N) GROSS FLOOR AREA:

FIRST FLOOR:	908 ± S.F. (GARAGE)
SECOND FLOOR:	974 ± S.F.
THIRD FLOOR:	974 ± S.F.
FOURTH FLOOR:	930 ± S.F.
TOTAL GROSS AREA:	3,786 ± S.F.
TOTAL CHANGE:	312 ± S.F.

(N) OCCUPIED FLOOR AREA:

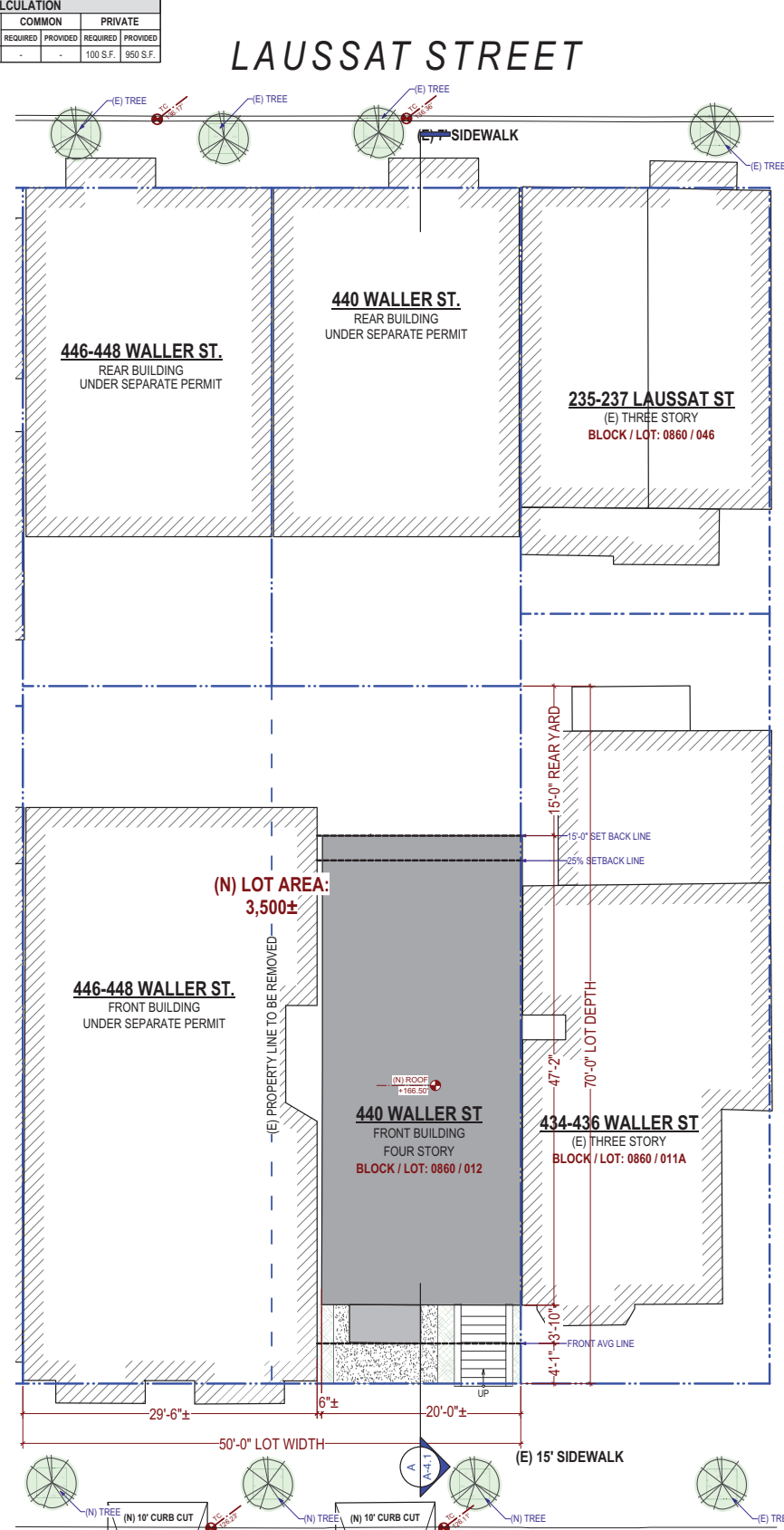
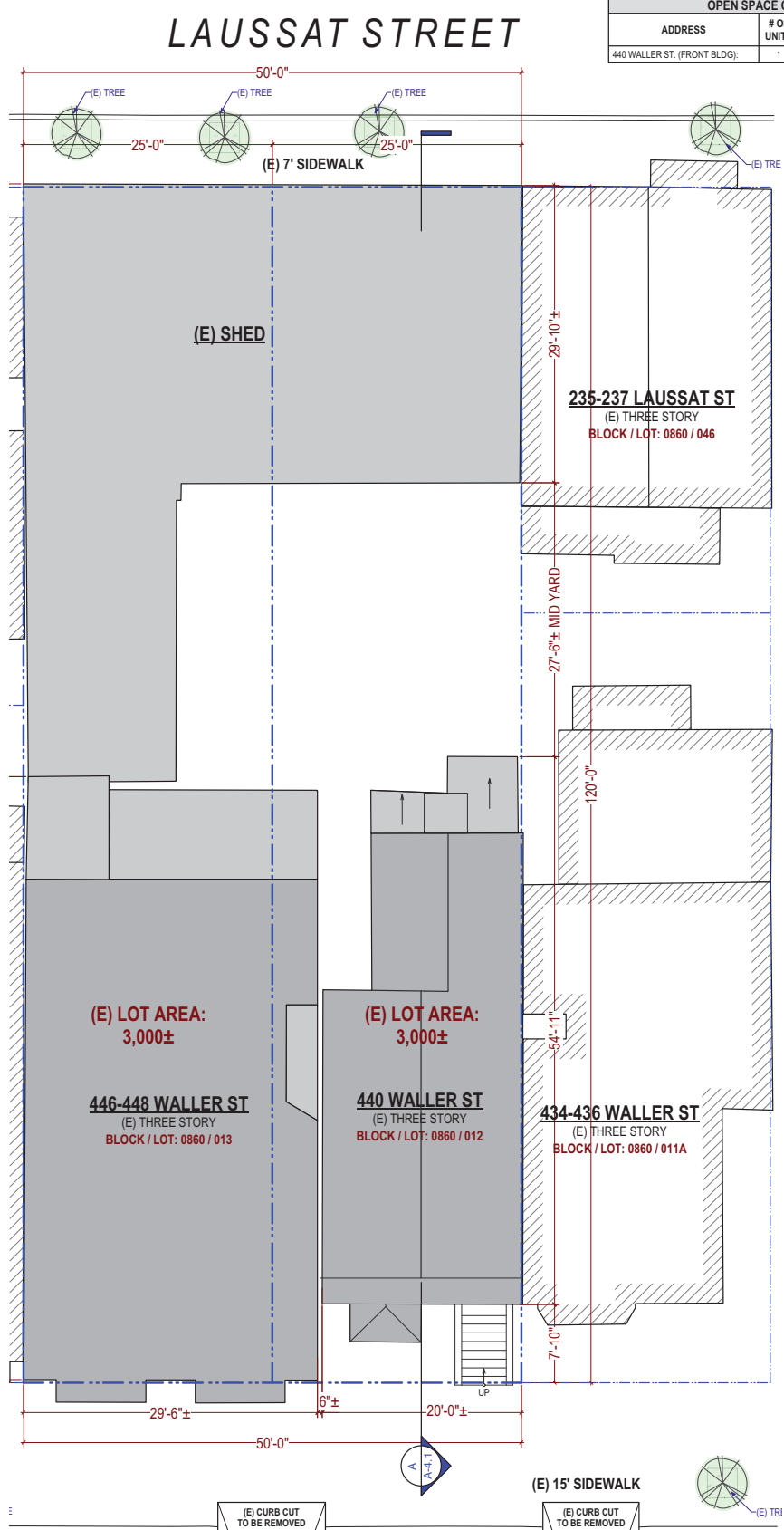
SECOND FLOOR:	974 ± S.F.
THIRD FLOOR:	974 ± S.F.
FOURTH FLOOR:	930 ± S.F.
TOTAL OCCUPIED AREA:	2,880 ± S.F.

BUILDING DATA:

(E) NUMBER OF STORIES:	3
(N) NUMBER OF STORIES:	4 STORIES
CONSTRUCTION TYPE:	TYPE "V-B"
OCCUPANCY GROUP:	R-3 (NO CHANGE)
APPLICABLE CODES:	2016 CALIFORNIA CODES EDITIONS W/ SAN FRANCISCO AMENDMENTS

OPEN SPACE CALCULATION

ADDRESS	# OF UNITS	COMMON REQUIRED	PRIVATE PROVIDED	COMMON PROVIDED
440 WALLER ST. (FRONT BLDG):	1	-	-	100 S.F. / 950 S.F.



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SHEET TITLE
Site Plans

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN	SH.R.
CHECKED	R.K.
DATE	12/05/2016
REVISED DATE	12/18/2019
JOB NO.	16-1726
SHEET NO.	A-1.1

	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(N) WALL TO BE CONSTRUCTED

PROJECT NAME

**440 Waller St.
(Front building)
SAN FRANCISCO, CA**



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Existing Floor Plans

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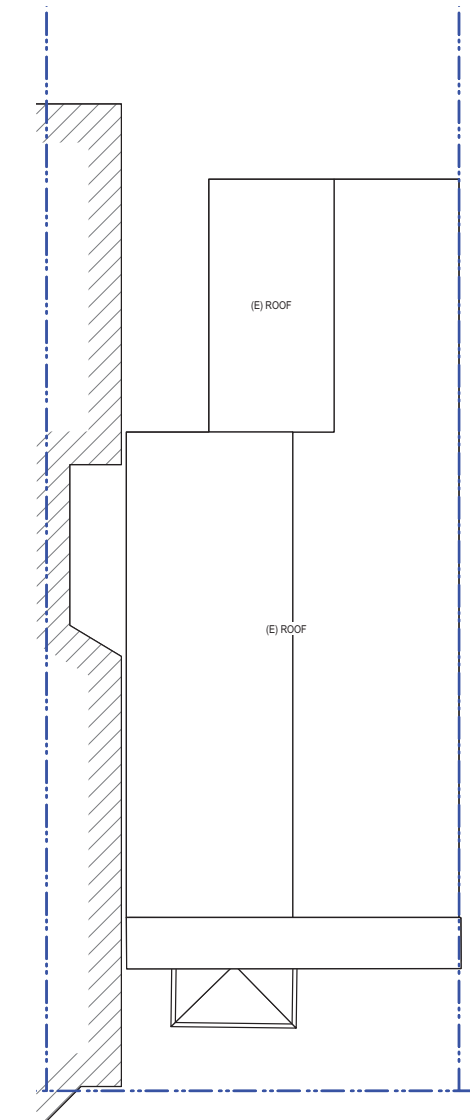
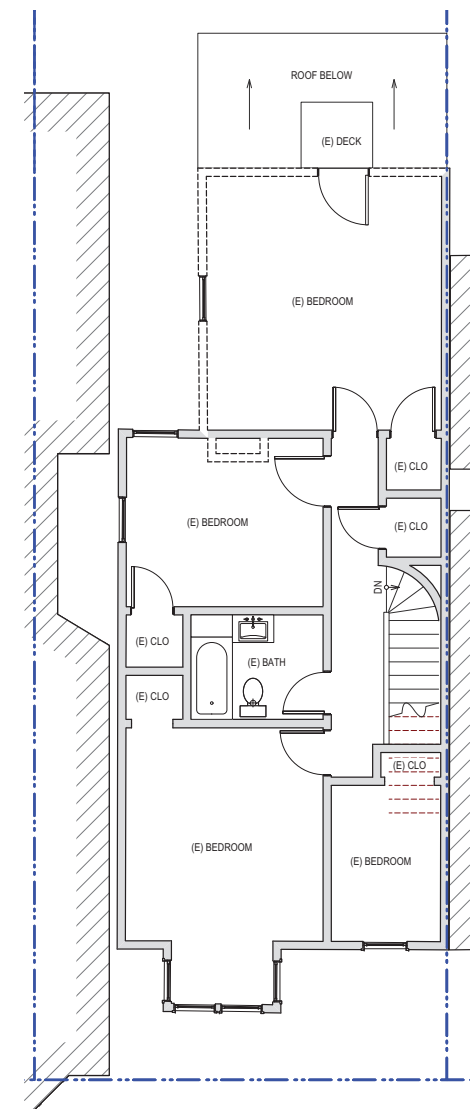
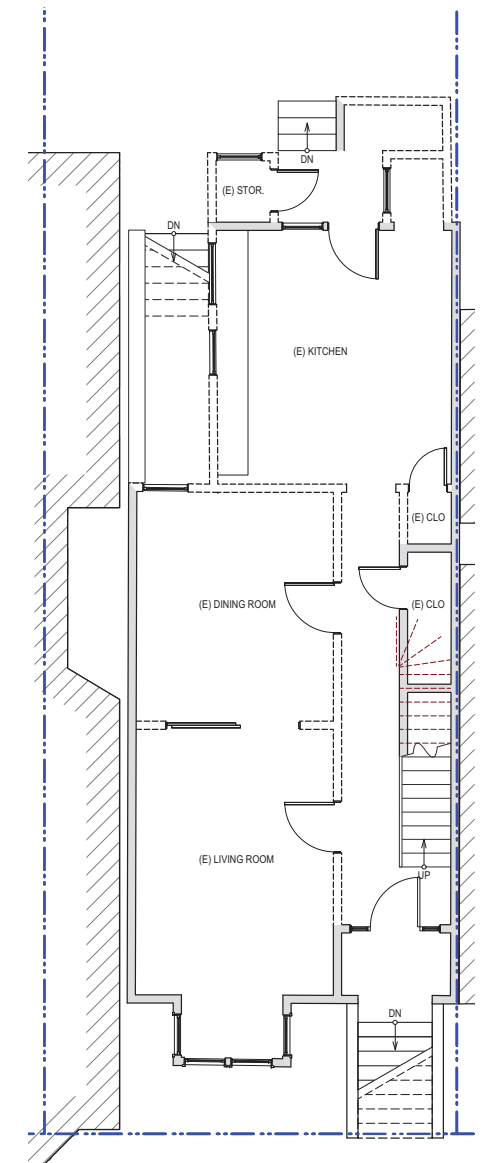
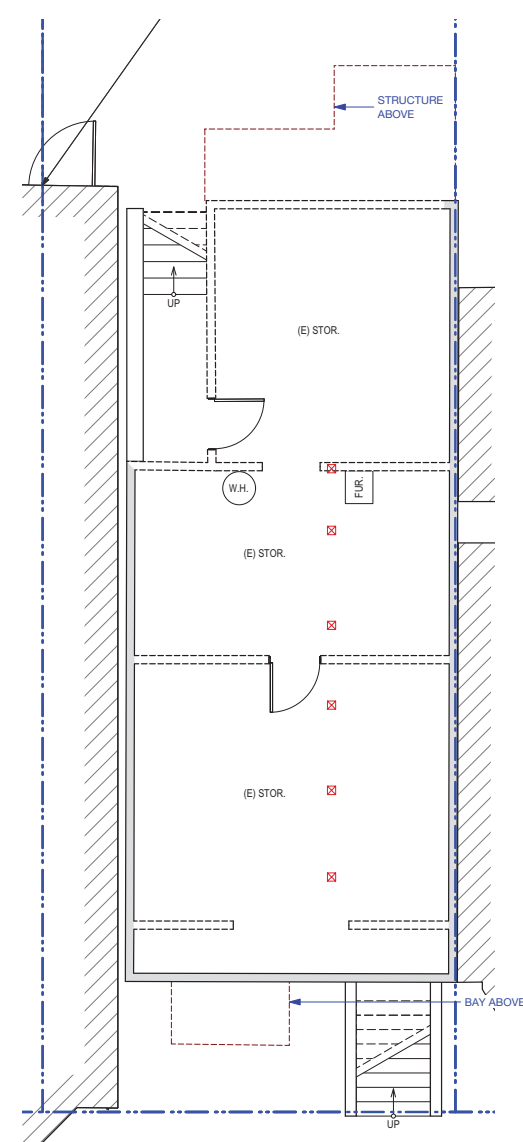
DATE 12/05/2016

REVISED DATE 12/18/2019

JOB NO. 16-1726

SHEET NO.

A-2.1

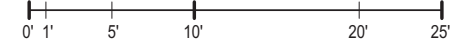


WALLER ST

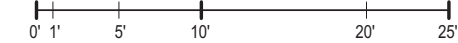
Existing First Floor Plan



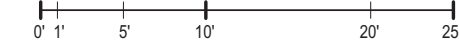
Existing Second Floor Plan



Existing Third Floor Plan



Existing Roof Plan



---	PROPERTY LINE
---	(E) WALL TO BE REMOVED
---	(E) WALL TO REMAIN
---	(N) WALL TO BE CONSTRUCTED

PROJECT NAME
**440 Waller St.
 (Front building)
 SAN FRANCISCO, CA**



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SHEET TITLE

Proposed First-Third Floor Plans

PLAN KEY NOTES:

- 01 11" MIN. RUN, 7" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. NOSINGS, TYP.
- 02 10" MIN. RUN, 7.75" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. STAIR NOSINGS, TYP.
- 03 PROV. OPEN METAL GUARDRAIL W/ OPENINGS LESS THAN 3.95", 42" HIGH MIN., TYP.
- 04 PROV. SAFETY GLASS GUARDRAIL, OPENINGS LESS THAN 3.95", 42" HIGH MIN., TYP.
- 05 WALLS & CEILINGS OF THE GARAGE AREA SHALL BE COVERED W/ 5/8" GYP. BD. TYPE (X).
- 06 1-HR FIRE RATED PARAPET, 30" HIGH MIN., SEE PLANS

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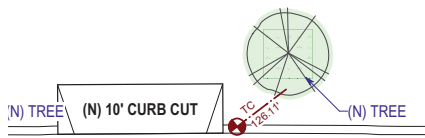
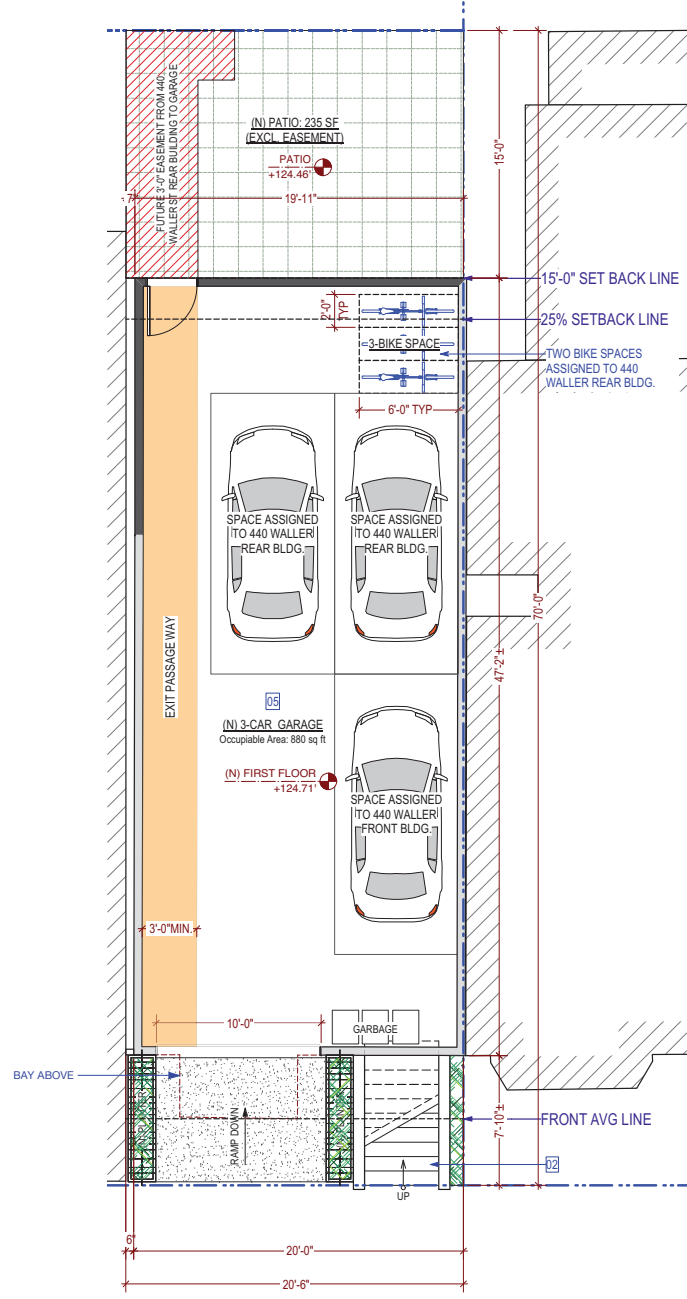
DATE 12/05/2016

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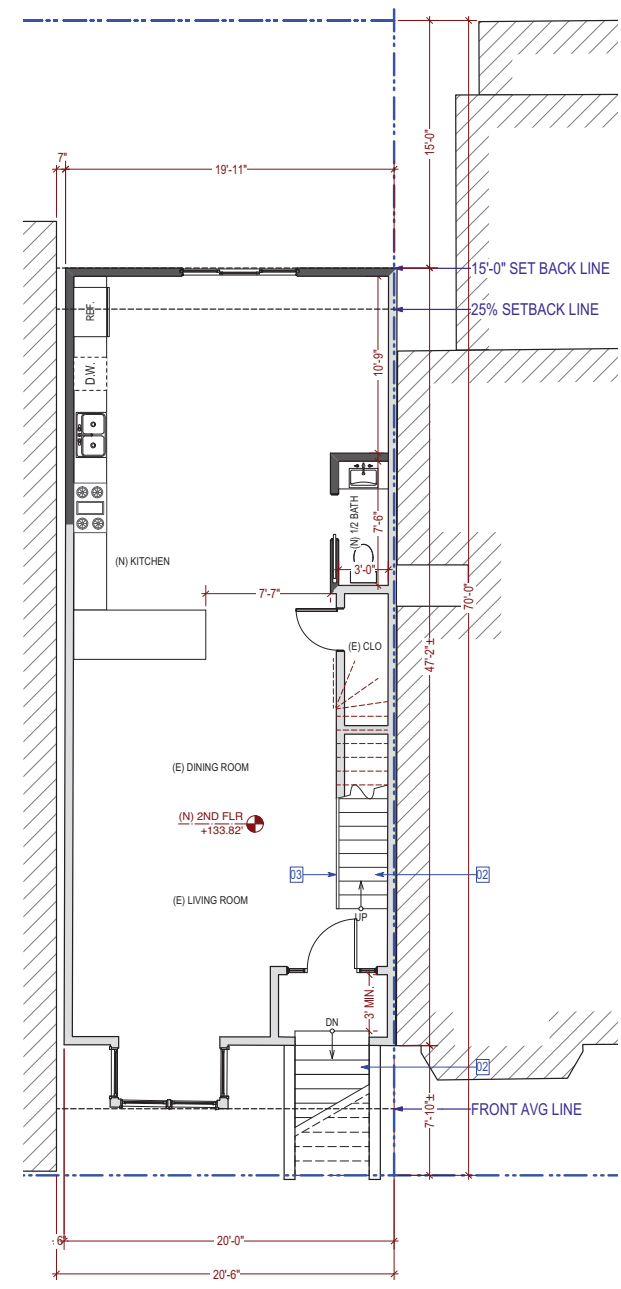
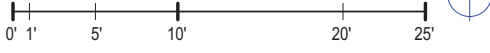
SHEET NO.

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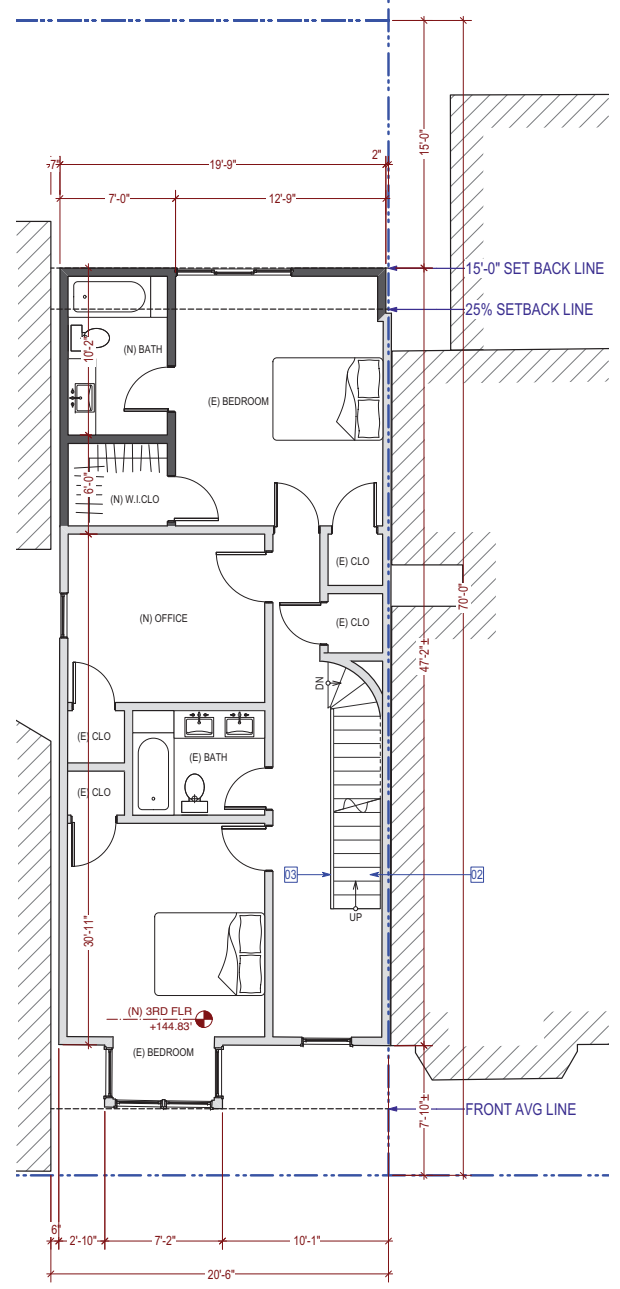
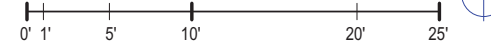


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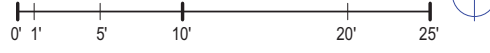
Proposed First Floor Plan

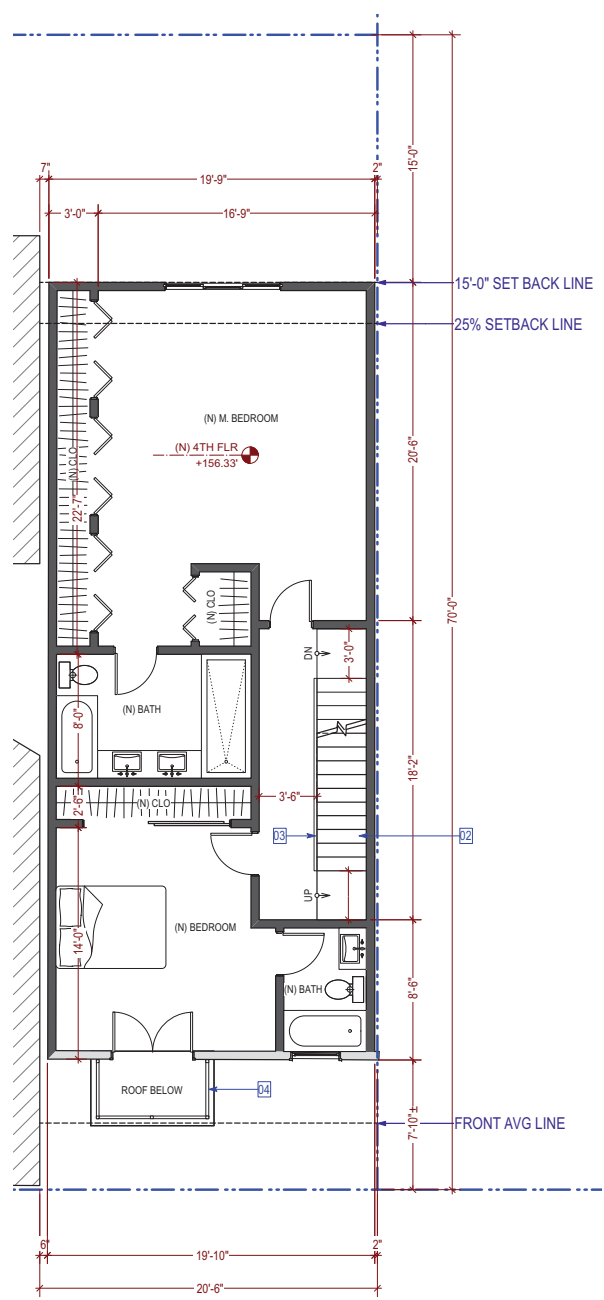


Proposed Second Floor Plan





Proposed Third Floor Plan

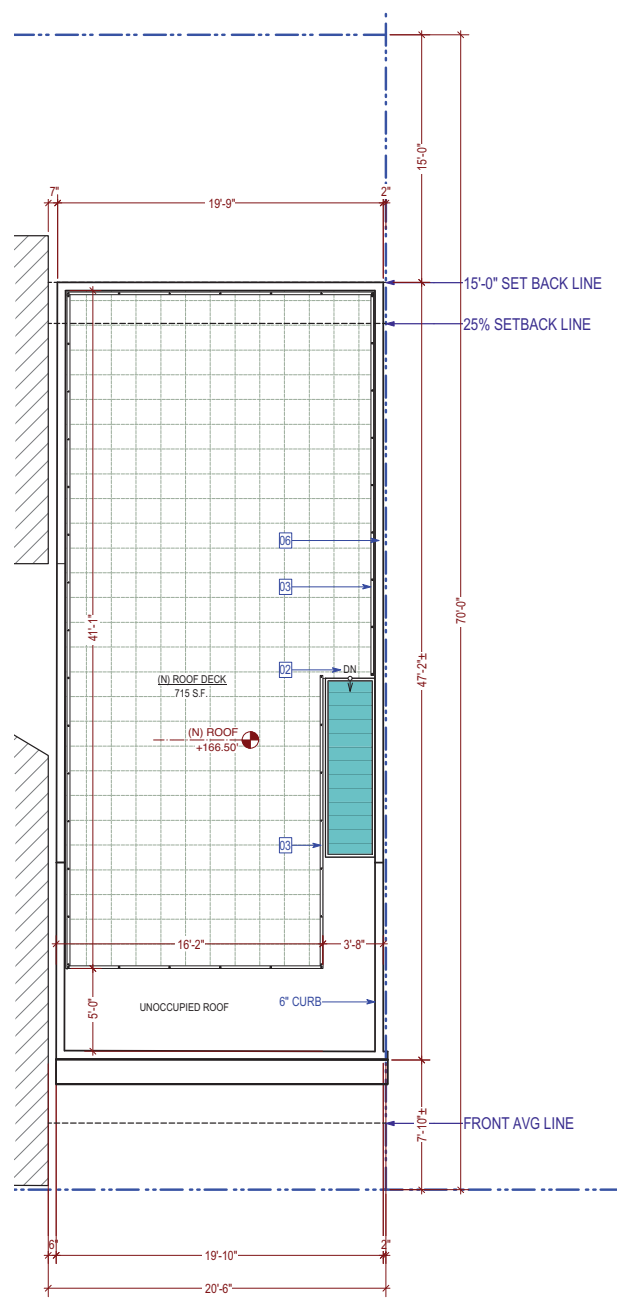





Proposed Fourth Floor Plan








Proposed Roof Plan





PLAN KEY NOTES:

- 01 11" MIN. RUN, 7" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. NOSINGS, TYP.
- 02 10" MIN. RUN, 7.75" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. STAIR NOSINGS, TYP.
- 03 PROV. OPEN METAL GUARDRAIL W/ OPENINGS LESS THAN 3.95", 42" HIGH MIN., TYP.
- 04 PROV. SAFETY GLASS GUARDRAIL, OPENINGS LESS THAN 3.95", 42" HIGH MIN., TYP.
- 05 WALLS & CEILINGS OF THE GARAGE AREA SHALL BE COVERED W/ 5/8" GYP. BD. TYPE (X).
- 06 1-HR FIRE RATED PARAPET, 30" HIGH MIN., SEE PLANS

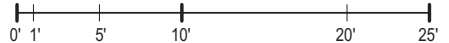
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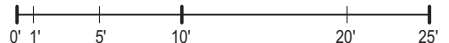
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REVISED DATE	12/18/2019
JOB NO.	16-1726
SHEET NO.	A-2.3



Existing Front Elevation (South)



Proposed Front Elevation (South)



PROJECT NAME

**440 Waller St.
(Front building)
SAN FRANCISCO, CA**



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SHEET TITLE

**Front Elevations
(Waller Street)**

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION



- FACADE MATERIALS KEY NOTES:**
- 01 HIGH QUALITY SMOOTH PLASTER, TYP.
 - 02 WOOD HORIZONTAL SIDING, TYP.
 - 03 WOOD CAP, TYP.
 - 04 WOOD TRIM, TYP.
 - 05 P.T. PLYWD. BLINDWALL, TYP.
 - 06 PAINTED METAL RAILINGS, 42" HIGH MIN., TYP. OPENINGS LESS THAN 3.95"
 - 07 GUARDRAIL W/ SAFETY GLASS, 42" HIGH MIN. TYP.
 - 08 SOLIDENTRY DOOR, WOOD
 - 09 WOOD OVERHEAD GARAGE DOOR
 - 10 ALUMINUM WINDOW, W/ WOOD CLAD & LOW E CLR. GLASS, TYP.
 - 11 ALUMINUM PATIO DOOR W/ WOOD CLAD & CLR. GLASS, TYP.
 - 12 CONTROL JOINTS, TYP.
 - 13 SOLID ENTRY DOOR, ALUM.

DRAWN SH.R.

CHECKED R.K.

DATE 12/05/2016

REVISED DATE 12/18/2019

JOB NO. 16-1726

SHEET NO.

A-3.1



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Left Elevations
(West)

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ISSUES / REVISIONS

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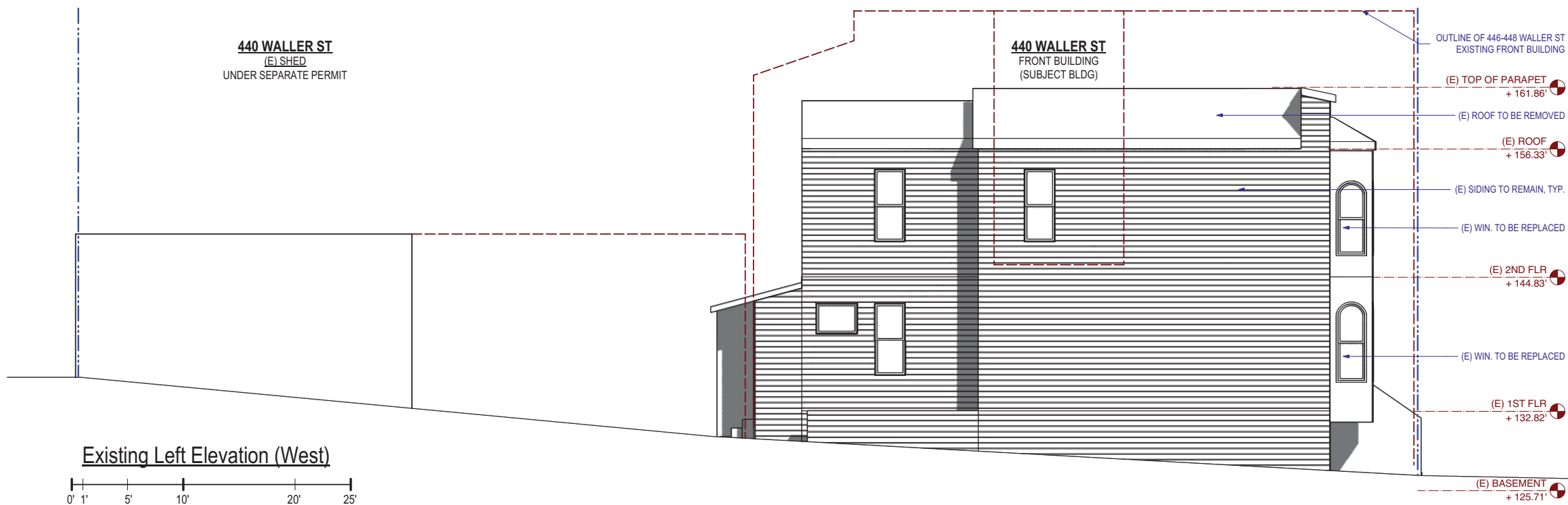
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DATE 12/05/2016

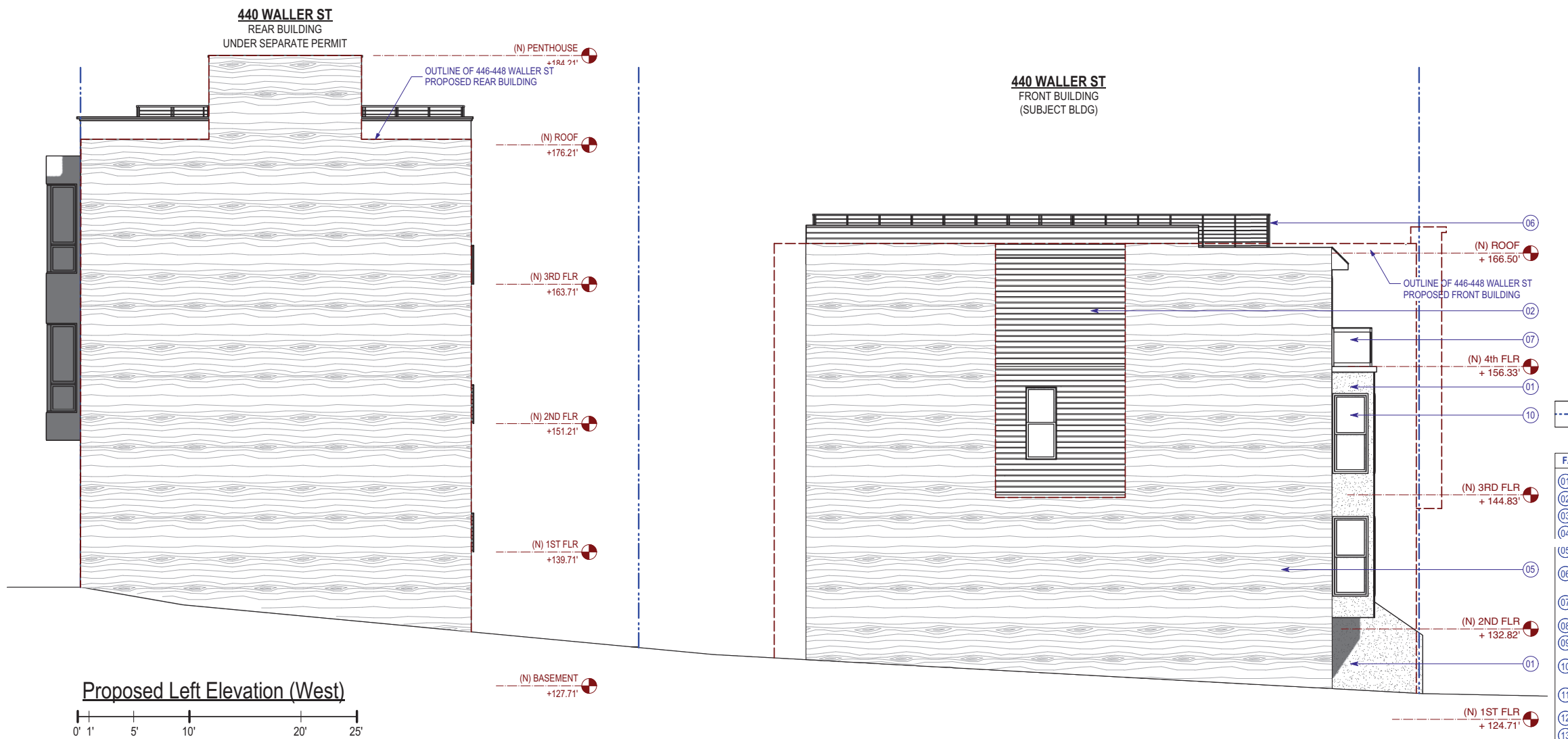
REVISED DATE 12/18/2019

JOB NO. 16-1726

SHEET NO. A-3.2



Existing Left Elevation (West)



Proposed Left Elevation (West)

PROPERTY LINE

FACADE MATERIALS KEY NOTES:

01	HIGH QUALITY SMOOTH PLASTER, TYP.
02	WOOD HORIZONTAL SIDING, TYP.
03	WOOD CAP, TYP.
04	WOOD TRIM, TYP.
05	P.T. PLYWD. BLINDWALL, TYP.
06	PAINTED METAL RAILINGS, 42" HIGH MIN., TYP. OPENINGS LESS THAN 3.95"
07	GUARDRAIL W/ SAFETY GLASS, 42" HIGH MIN. TYP.
08	SOLIDENTRY DOOR, WOOD
09	WOOD OVERHEAD GARAGE DOOR
10	ALUMINUM WINDOW, W/ WOOD CLAD & LOW E CLR. GLASS, TYP.
11	ALUMINUM PATIO DOOR W/ WOOD CLAD & CLR. GLASS, TYP.
12	CONTROL JOINTS, TYP.
13	SOLID ENTRY DOOR, ALUM.



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**Right ElevationS
(East)**

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ISSUES / REVISIONS

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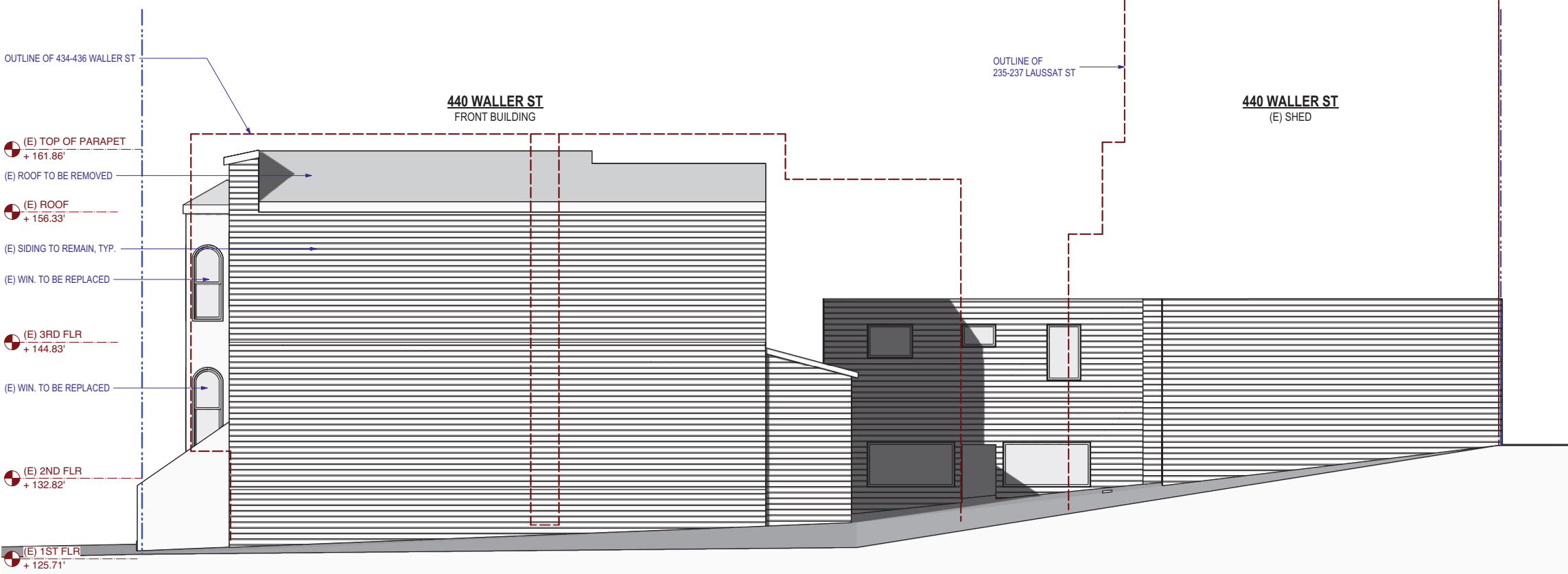
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DATE 12/05/2016

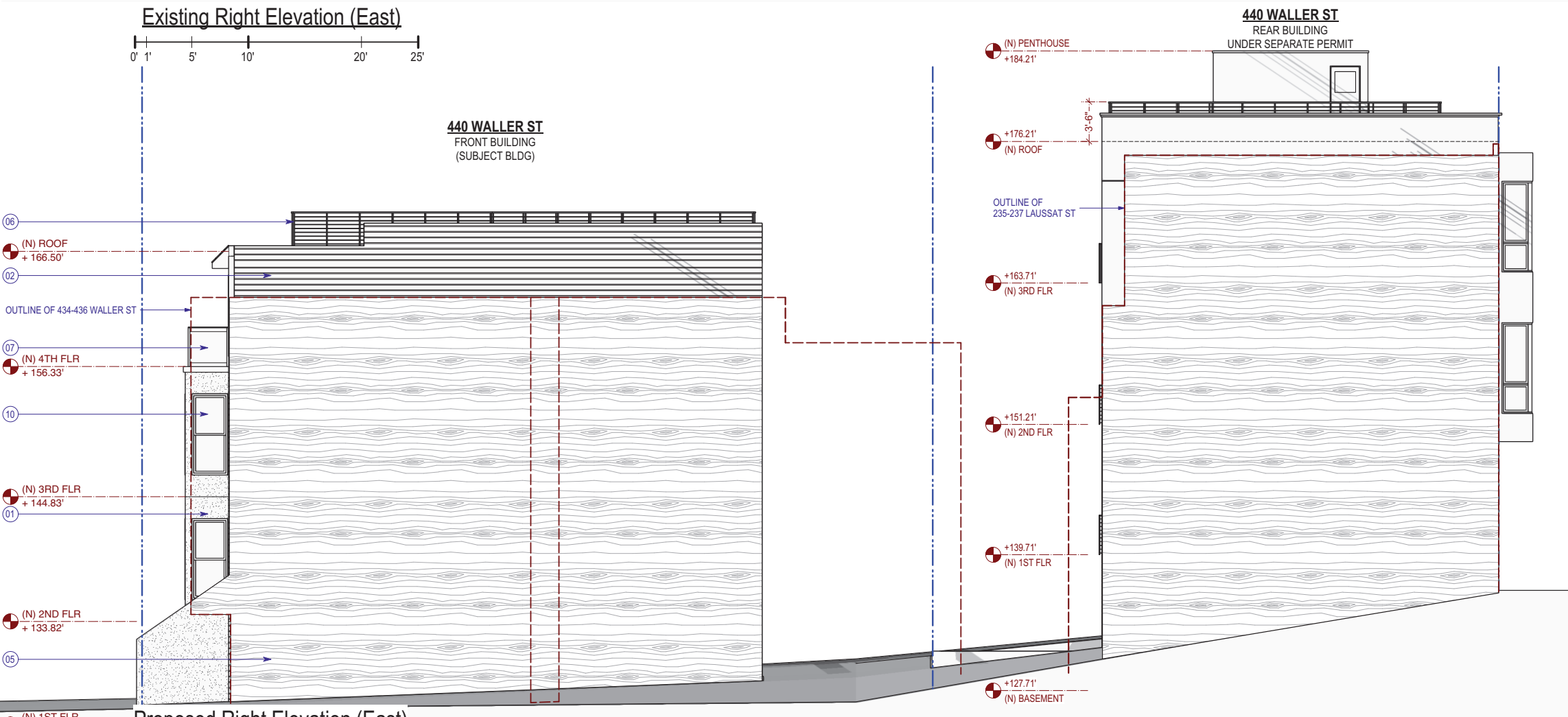
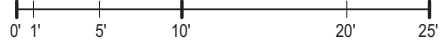
REVISED DATE 12/18/2019

JOB NO. 16-1726

SHEET NO.
A-3.3



Existing Right Elevation (East)



Proposed Right Elevation (East)



- FACADE MATERIALS KEY NOTES:**
- 01 HIGH QUALITY SMOOTH PLASTER, TYP.
 - 02 WOOD HORIZONTAL SIDING, TYP.
 - 03 WOOD CAP, TYP.
 - 04 WOOD TRIM, TYP.
 - 05 P.T. PLYWD. BLINDWALL, TYP.
 - 06 PAINTED METAL RAILINGS, 42" HIGH MIN., TYP. OPENINGS LESS THAN 3.95"
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 - 08 SOLIDENTRY DOOR, WOOD
 - 09 WOOD OVERHEAD GARAGE DOOR
 - 10 ALUMINUM WINDOW, W/ WOOD CLAD & LOW E CLR. GLASS, TYP.
 - 11 ALUMINUM PATIO DOOR W/ WOOD CLAD & CLR. GLASS, TYP.
 - 12 CONTROL JOINTS, TYP.
 - 13 SOLID ENTRY DOOR, ALUM.



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Rear Elevations
(North)

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

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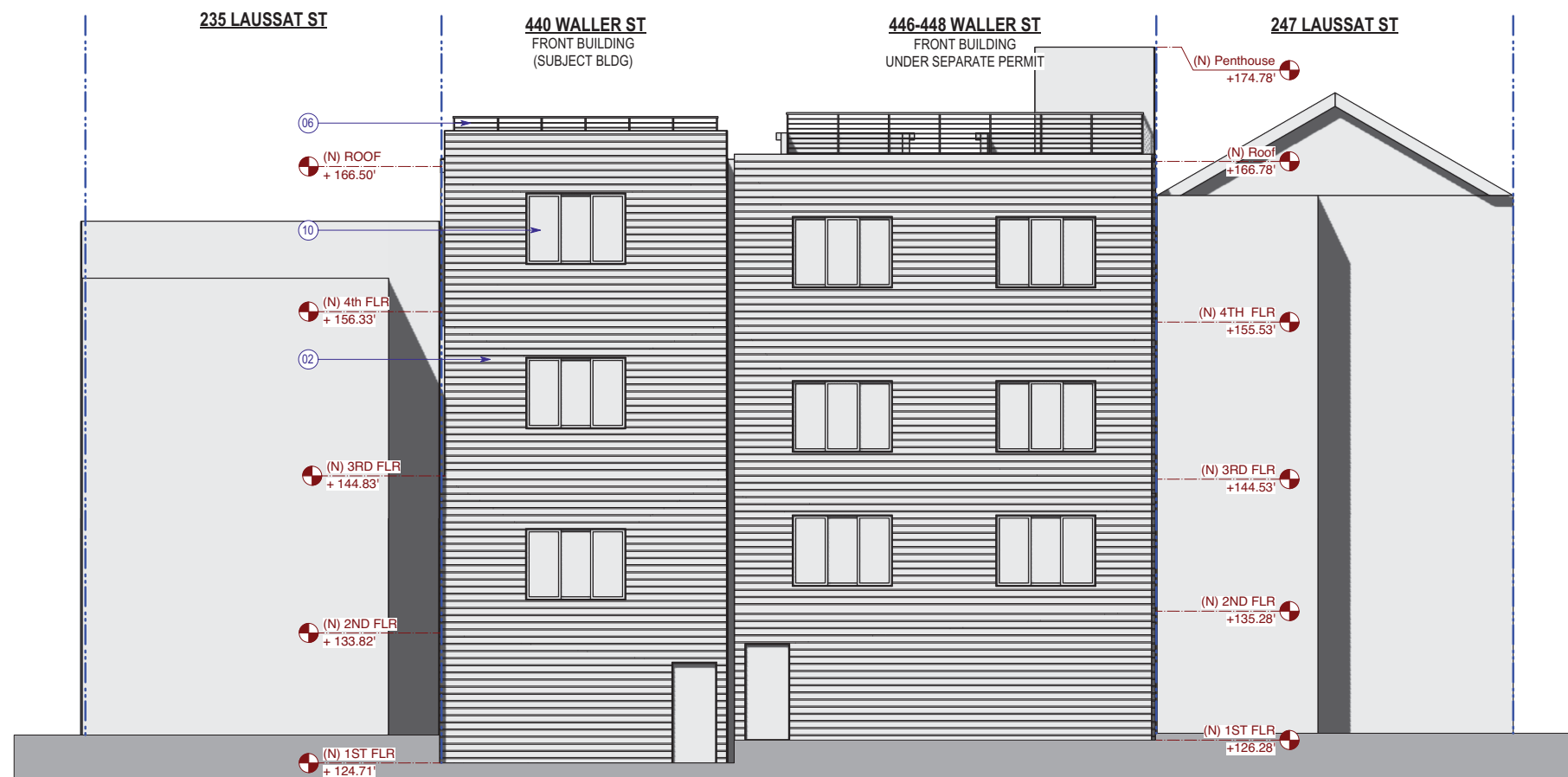
DATE 12/05/2016

REVISED DATE 12/18/2019

JOB NO. 16-1726

SHEET NO.

A-3.4



- FACADE MATERIALS KEY NOTES:
- 01 HIGH QUALITY SMOOTH PLASTER, TYP.
 - 02 WOOD HORIZONTAL SIDING, TYP.
 - 03 WOOD CAP, TYP.
 - 04 WOOD TRIM, TYP.
 - 05 P.T. PLYWD. BLINDWALL, TYP.
 - 06 PAINTED METAL RAILINGS, 42" HIGH MIN., TYP. OPENINGS LESS THAN 3.95"
 - 07 GUARDRAIL W/ SAFETY GLASS, 42" HIGH MIN. TYP.
 - 08 SOLIDENTRY DOOR, WOOD
 - 09 WOOD OVERHEAD GARAGE DOOR
 - 10 ALUMINUM WINDOW, W/ WOOD CLAD & LOW E CLR. GLASS, TYP.
 - 11 ALUMINUM PATIO DOOR W/ WOOD CLAD & CLR. GLASS, TYP.
 - 12 CONTROL JOINTS, TYP.
 - 13 SOLID ENTRY DOOR, ALUM.

Proposed Rear Elevation (North)

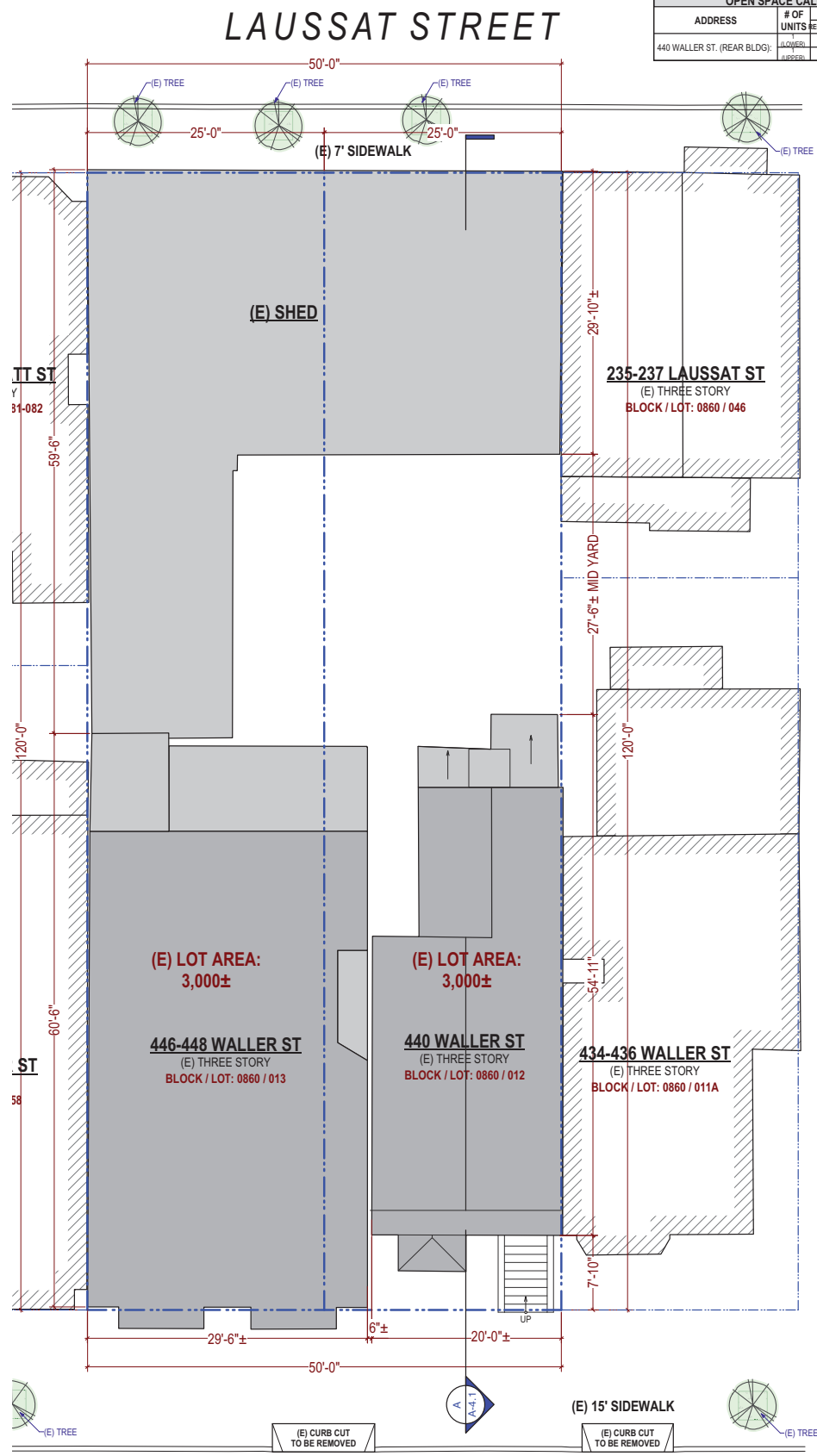
0' 1' 5' 10' 20' 25'

1	2	3	4	5	6	7	8	9	10
BLOCK & LOT: 0860 / 012									
PROPERTY LINE:		-----							
OUTLINE OF SUBJECT BUILDING:		=====							
OUTLINE OF NEIGHBORS:		///////							

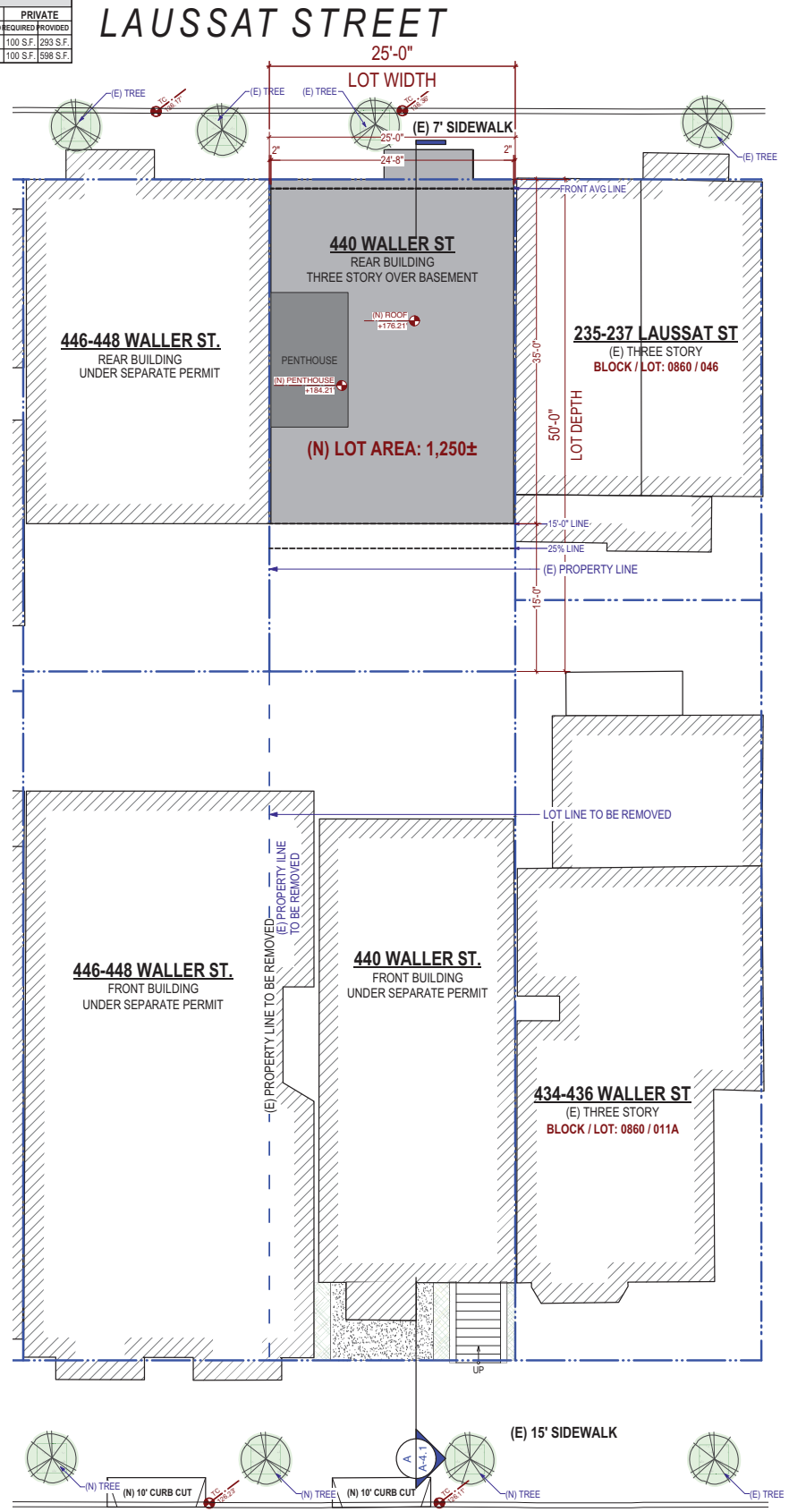
OPEN SPACE CALCULATION

ADDRESS	# OF UNITS	COMMON		PRIVATE	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED
440 WALLER ST. (REAR BLDG):	2	100 S.F.	293 S.F.	100 S.F.	598 S.F.

SCOPE OF WORK	
- ERECT 3 STORY OVER BASEMENT BLDG. W/ TWO DWELLING UNITS AT THE REAR YARD OF 440 WALLER ST.	
- UNDER SEPARATE PERMIT: FUTURE EASEMENT TO 446-448 WALLER ST'S GARAGE	
NOTE: WATERPROOFING OF BUILDING ENVELOPE IS NOT UNDER THE SCOPE OF THIS PERMIT. OWNER IS TO HIRE A WATERPROOFING EXPERT TO PROVIDE WATERPROOFING DETAILS	
PROJECT DATA	
PLANNING DATA:	
ADDRESS:	440 WALLER STREET (REAR BUILDING) (Future 239-239A Laussat St)
BLOCK / LOT:	0860 / 012
LOT AREA:	3,000 ± S.F.
ZONING:	RH-3
PROPOSED # OF UNITS:	2
ALLOWABLE HEIGHT:	40'-X
BUILDING HEIGHT:	40'-0"
# OF COVERED PARKING SPACES:	2
# OF BICYCLE PARKING SPACES:	2
GROSS FLOOR AREA:	
BASEMENT:	853± S.F.
FIRST FLOOR:	853± S.F.
SECOND FLOOR:	890± S.F.
THIRD FLOOR:	890± S.F.
TOTAL GROSS AREA:	3,486 ± S.F.
OCCUPIED FLOOR AREA:	
BASEMENT:	719± S.F.
FIRST FLOOR:	654± S.F.
SECOND FLOOR:	857± S.F.
THIRD FLOOR:	857± S.F.
TOTAL OCCUPIED AREA:	3,087 ± S.F.
BUILDING DATA:	3 OVER BASEMENT
NUMBER OF STORIES:	TYPE "V-B"
CONSTRUCTION TYPE:	R-3
OCCUPANCY GROUP:	2016 CALIFORNIA CODES EDITIONS
APPLICABLE CODES:	W/ SAN FRANCISCO AMENDMENTS



Existing Site Plan



Proposed Site Plan

PROJECT NAME
440 Waller St.
(Rear building)
SAN FRANCISCO, CA
(Future 239-239A Laussat St)



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SHEET TITLE
Site Plans

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REVISED DATE	12/18/2019
JOB NO.	16-1726
SHEET NO.	A-1.1

	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(N) WALL TO BE CONSTRUCTED

PROJECT NAME
**440 Waller St.
 (Rear building)
 SAN FRANCISCO, CA**
 (Future 239-239A Laussat St)



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SHEET TITLE
**Existing
 Floor Plans**

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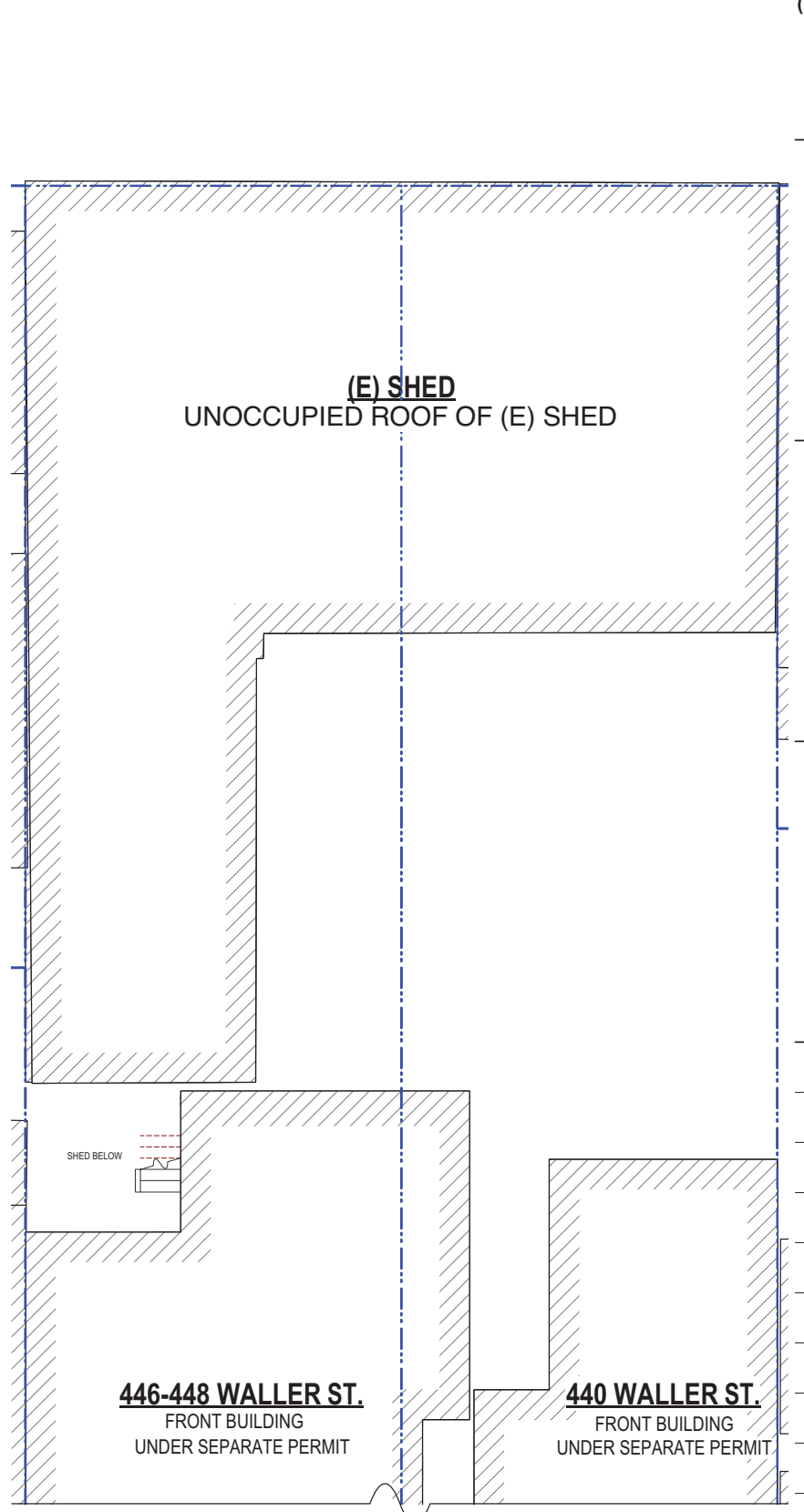
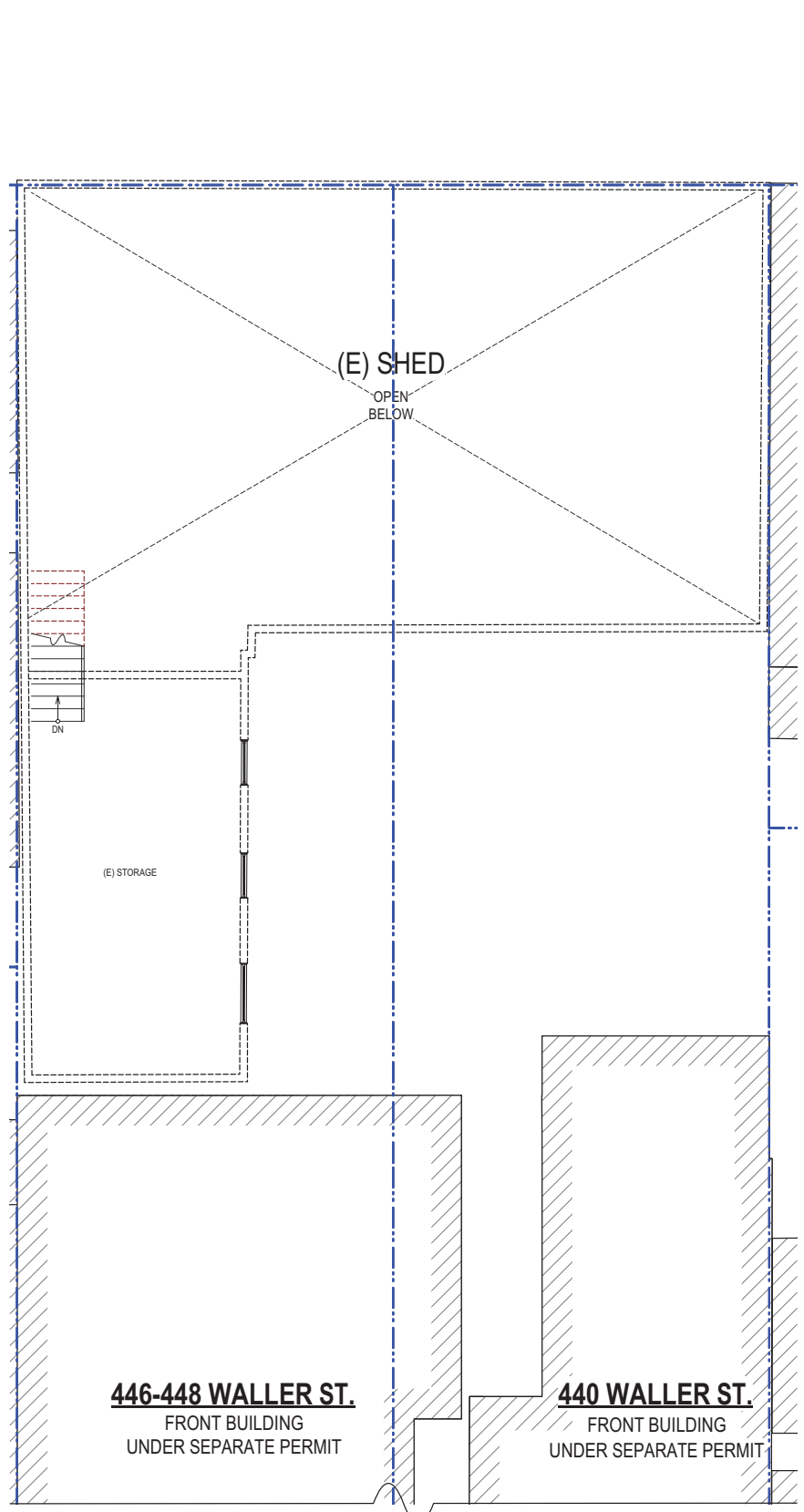
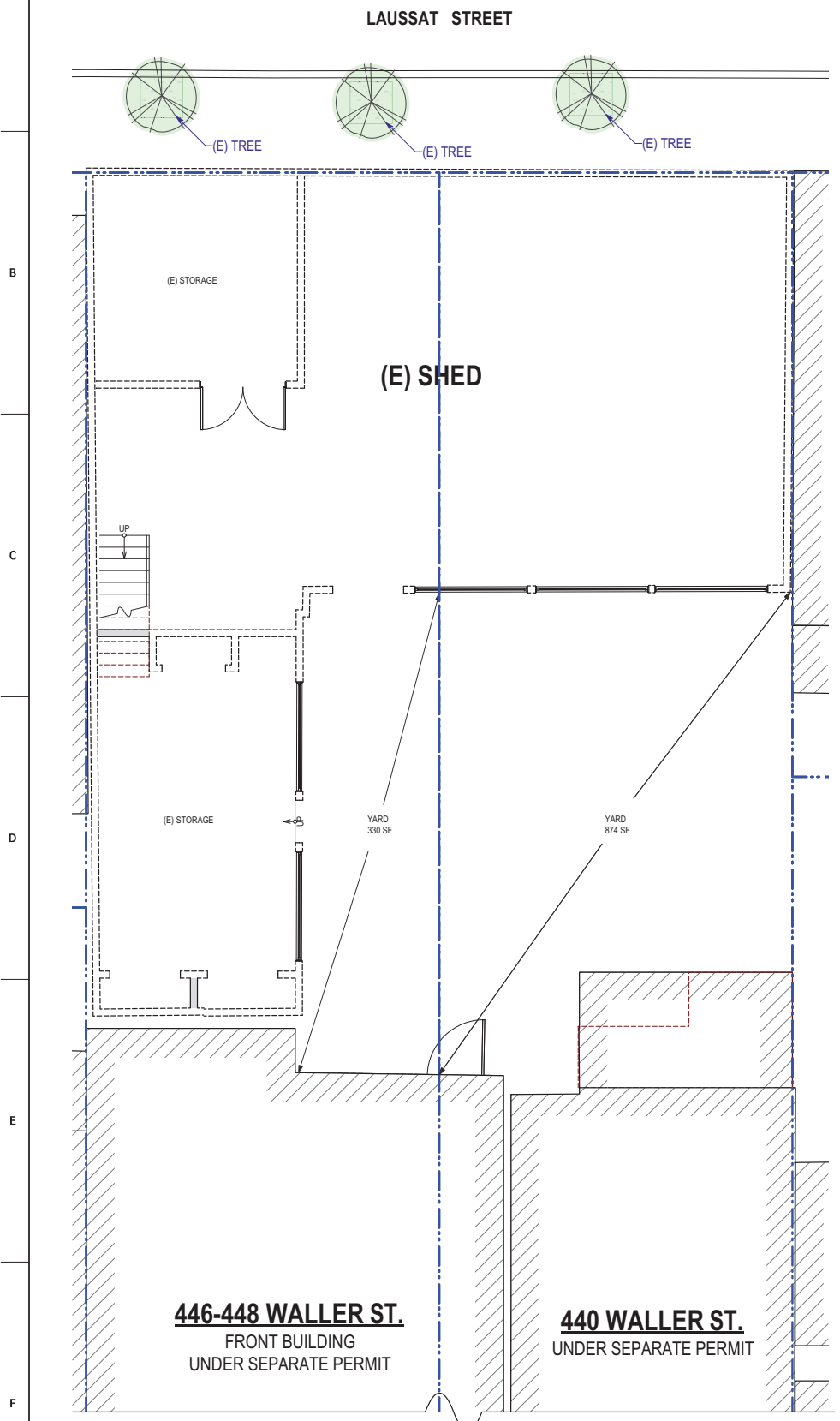
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DATE 12/05/2016

REVISED DATE 12/18/2019

JOB NO. 16-1726

SHEET NO.
A-2.1



---	PROPERTY LINE
---	(E) WALL TO BE REMOVED
---	(E) WALL TO REMAIN
---	(N) WALL TO BE CONSTRUCTED

PROJECT NAME
**440 Waller St.
 (Rear building)
 SAN FRANCISCO, CA**
 (Future 239-239A Laussat St)



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SHEET TITLE
**Proposed
 Basement-Second
 Floor Plans**

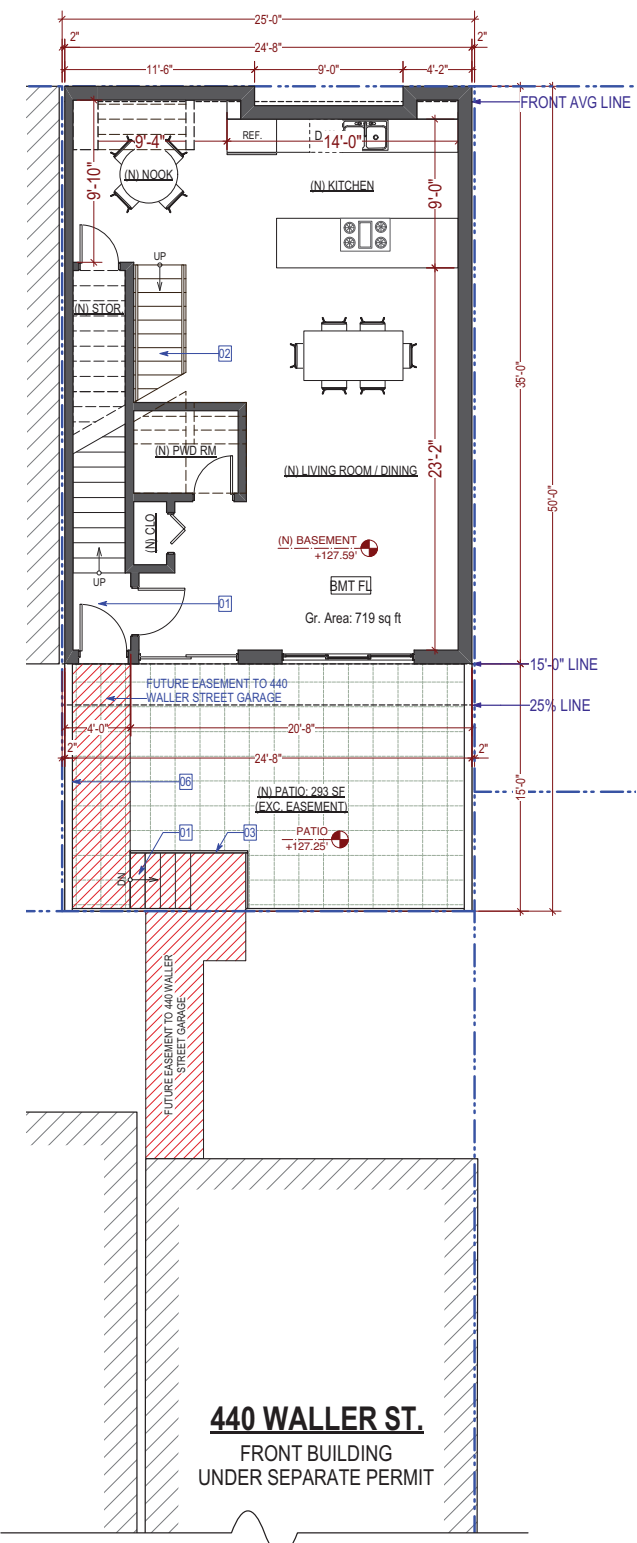
- PLAN KEY NOTES:**
- D1 11" MIN. RUN, 7" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. NOSINGS, TYP.
 - D2 10" MIN. RUN, 7.75" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. STAIR NOSINGS, TYP.
 - D3 PROV. OPEN METAL GUARDRAIL W/ OPENINGS LESS THAN 3.95", 42" HIGH MIN., TYP.
 - D4 PROV. SAFETY GLASS GUARDRAIL, OPENINGS LESS THAN 3.95", 42" HIGH MIN., TYP.
 - D5 WALLS & CEILINGS OF THE GARAGE AREA SHALL BE COVERED W/ 5/8" GYP. BD. TYPE (X).
 - D6 1-HR FIRE RATED PARAPET, 30" HIGH MIN., SEE PLANS

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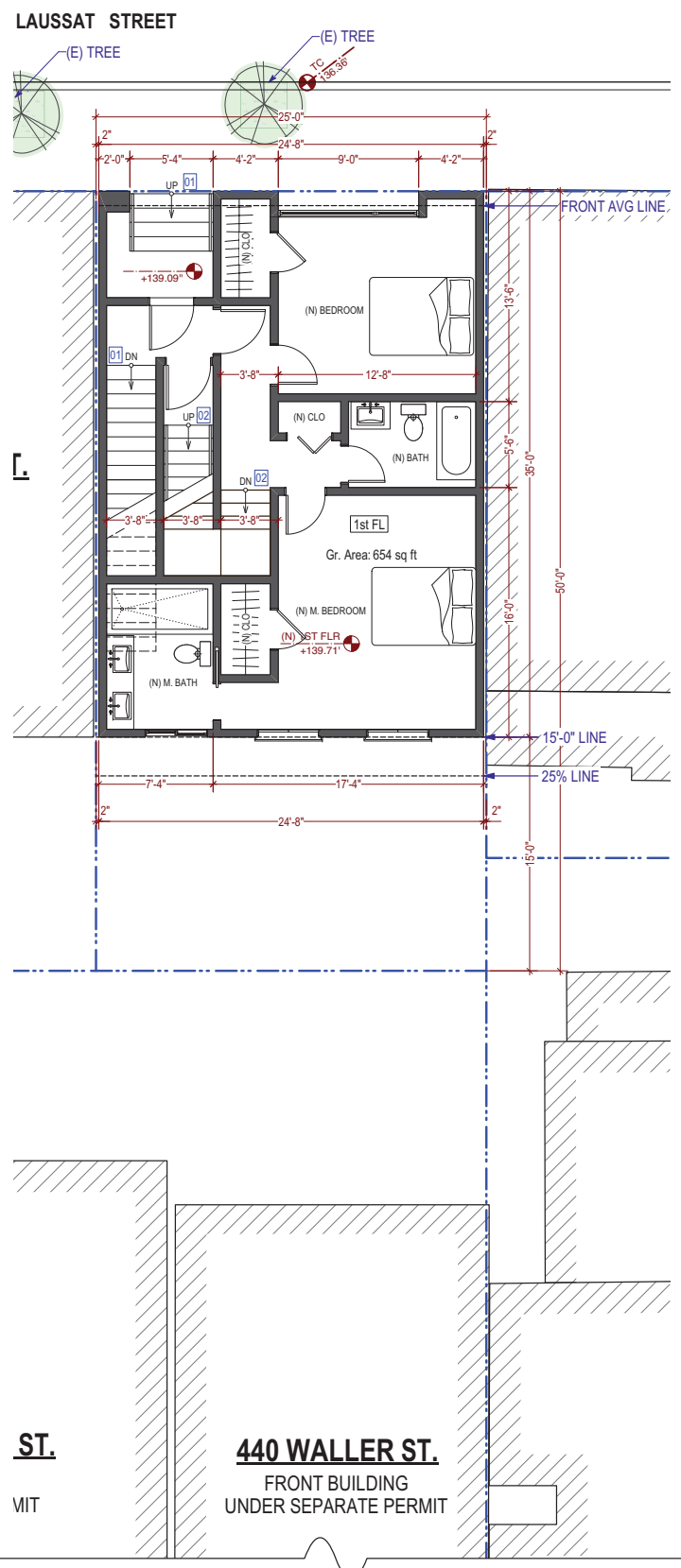
ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

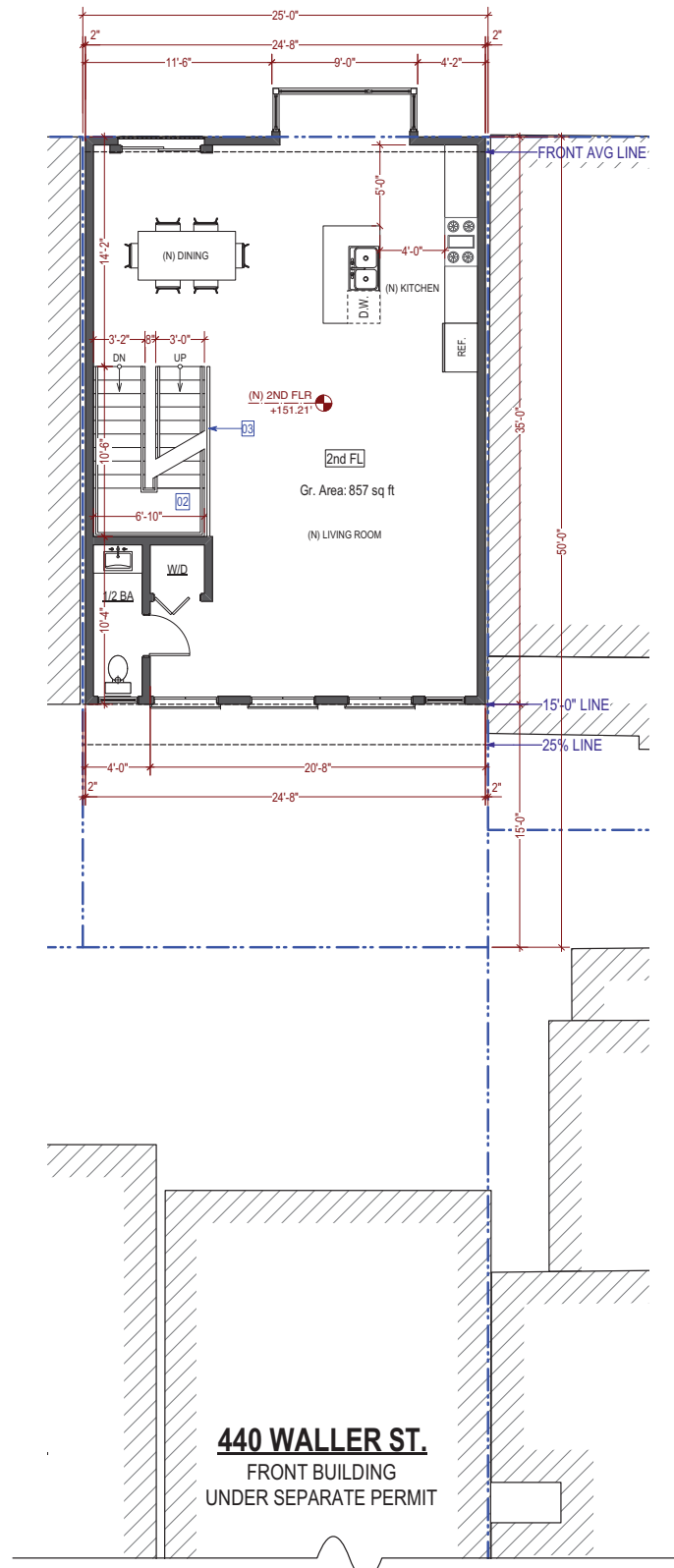
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REVISED DATE	12/18/2019
JOB NO.	16-1726
SHEET NO.	A-2.2



Proposed Basement Floor Plan



Proposed First Floor Plan



Proposed Second Floor Plan

A
B
C
D
E
F

A
B
C
D
E
F

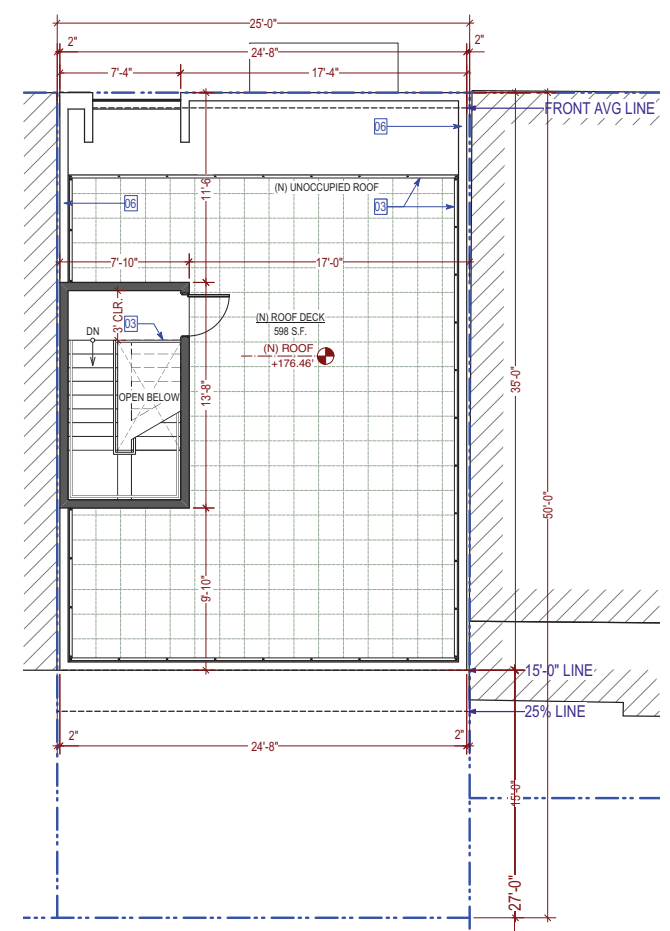
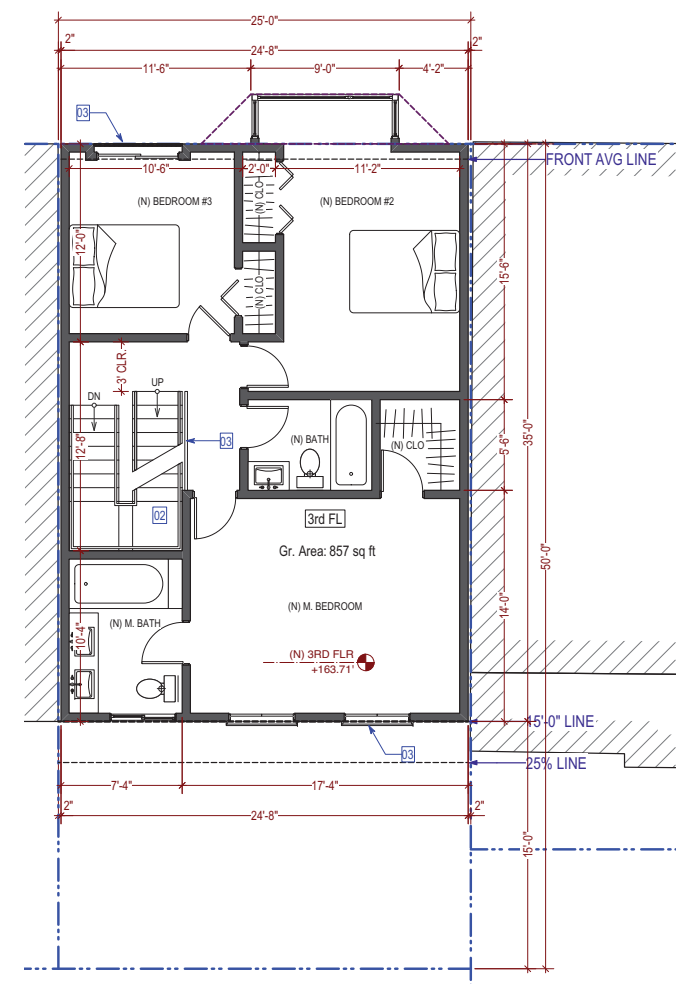
	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(N) WALL TO BE CONSTRUCTED

PROJECT NAME
**440 Waller St.
 (Rear building)
 SAN FRANCISCO, CA**
 (Future 239-239A Laussat St)

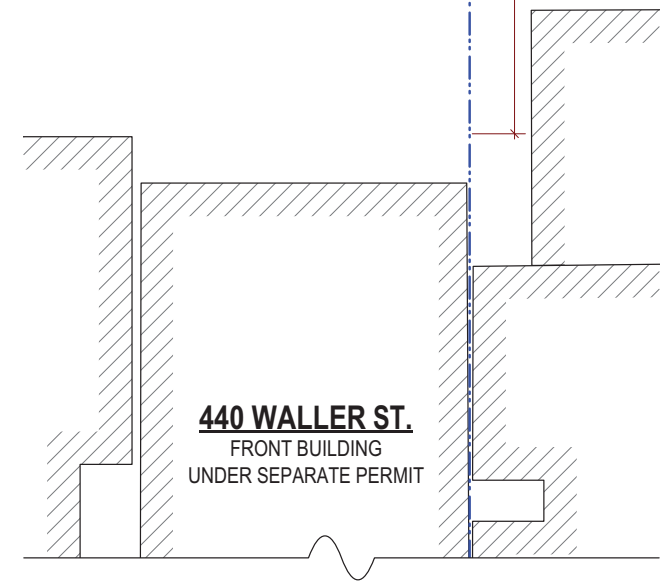
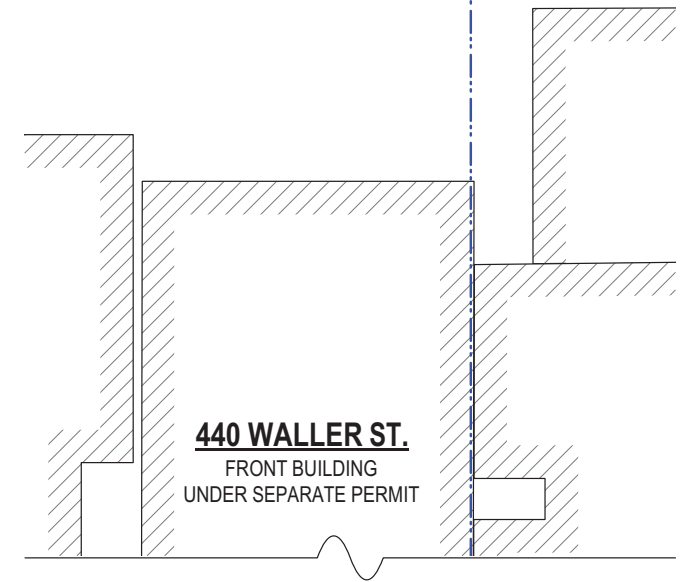


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SHEET TITLE
**Proposed
 Third Floor
 &
 Roof Plans**



- PLAN KEY NOTES:**
- 01 11" MIN. RUN, 7" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. NOSHINGS, TYP.
 - 02 10" MIN. RUN, 7.75" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. STAIR NOSINGS, TYP.
 - 03 PROV. OPEN METAL GUARDRAIL W/ OPENINGS LESS THAN 3.95", 42" HIGH MIN., TYP.
 - 04 PROV. SAFETY GLASS GUARDRAIL, OPENINGS LESS THAN 3.95", 42" HIGH MIN., TYP.
 - 05 WALLS & CEILINGS OF THE GARAGE AREA SHALL BE COVERED W/ 5/8" GYP. BD. TYPE (X).
 - 06 1-HR FIRE RATED PARAPET, 30" HIGH MIN., SEE PLANS



Proposed Third Floor Plan
 0' 1' 5' 10' 20' 25'

Proposed Roof Plan
 0' 1' 5' 10' 20' 25'

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JOB NO.	16-1726
SHEET NO.	A-2.3

**440 Waller St.
(Rear building)
SAN FRANCISCO, CA**

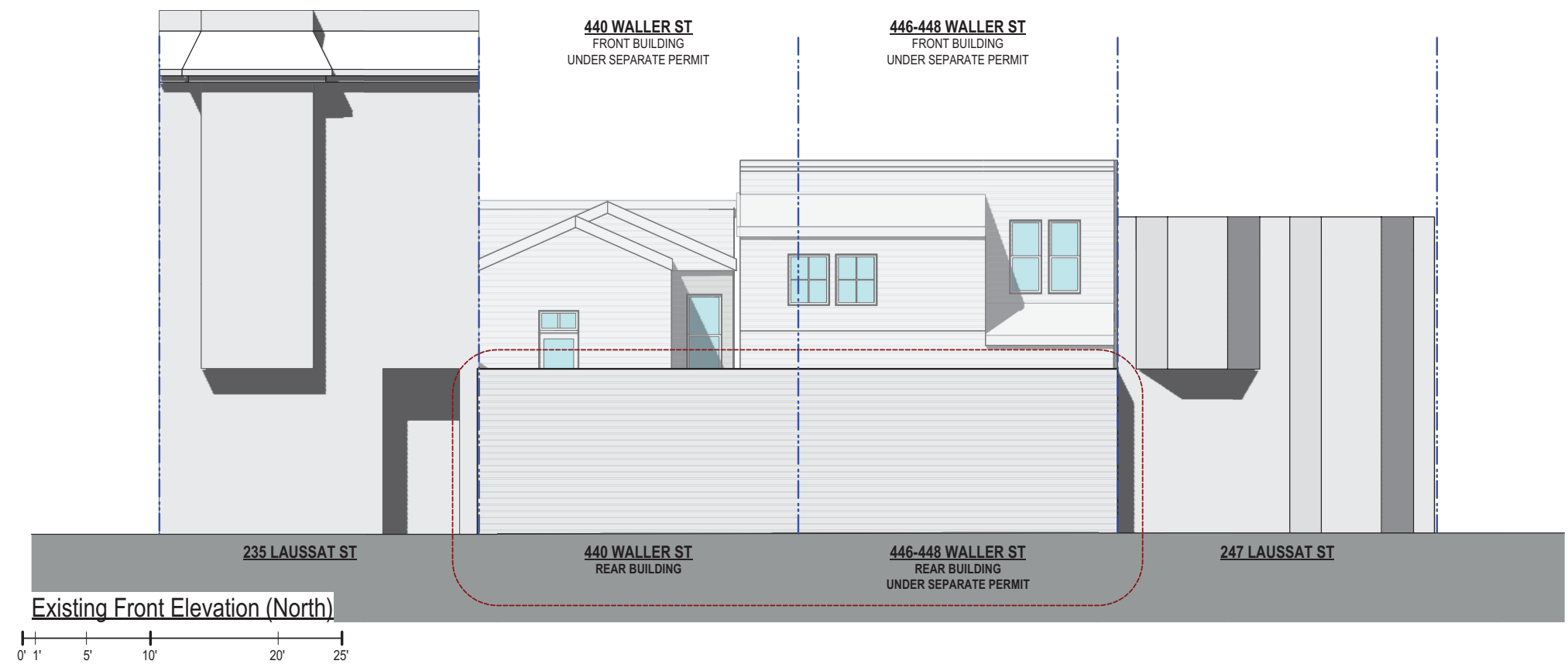
(Future 239-239A Laussat St)



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**Front Elevations
(Laussat Street)**



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FACADE MATERIALS KEY NOTES:

- 01 HIGH QUALITY SMOOTH PLASTER, TYP.
- 02 WOOD HORIZONTAL SIDING, TYP.
- 03 WOOD CAP, TYP.
- 04 WOOD TRIM, TYP.
- 05 P.T. PLYWD. BLINDWALL, TYP.
- 06 PAINTED METAL RAILINGS, 42" HIGH MIN., TYP. OPENINGS LESS THAN 3.95"
- 07 GUARDRAIL W/ SAFETY GLASS, 42" HIGH MIN. TYP.
- 08 SOLIDENTRY DOOR, WOOD
- 09 WOOD OVERHEAD GARAGE DOOR
- 10 ALUMINUM WINDOW, W/ WOOD CLAD & LOW E CLR. GLASS, TYP.
- 11 ALUMINUM PATIO DOOR W/ WOOD CLAD & CLR. GLASS, TYP.
- 12 CONTROL JOINTS, TYP.
- 13 SOLID ENTRY DOOR, ALUM.

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CHECKED R.K.

DATE 12/05/2016

REVISED DATE 12/18/2019

JOB NO. 16-1726

SHEET NO.
A-3.1

PROJECT NAME
**440 Waller St.
 (Rear building)
 SAN FRANCISCO, CA**
 (Future 239-239A Laussat St)



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**Left Elevations
 (East)**

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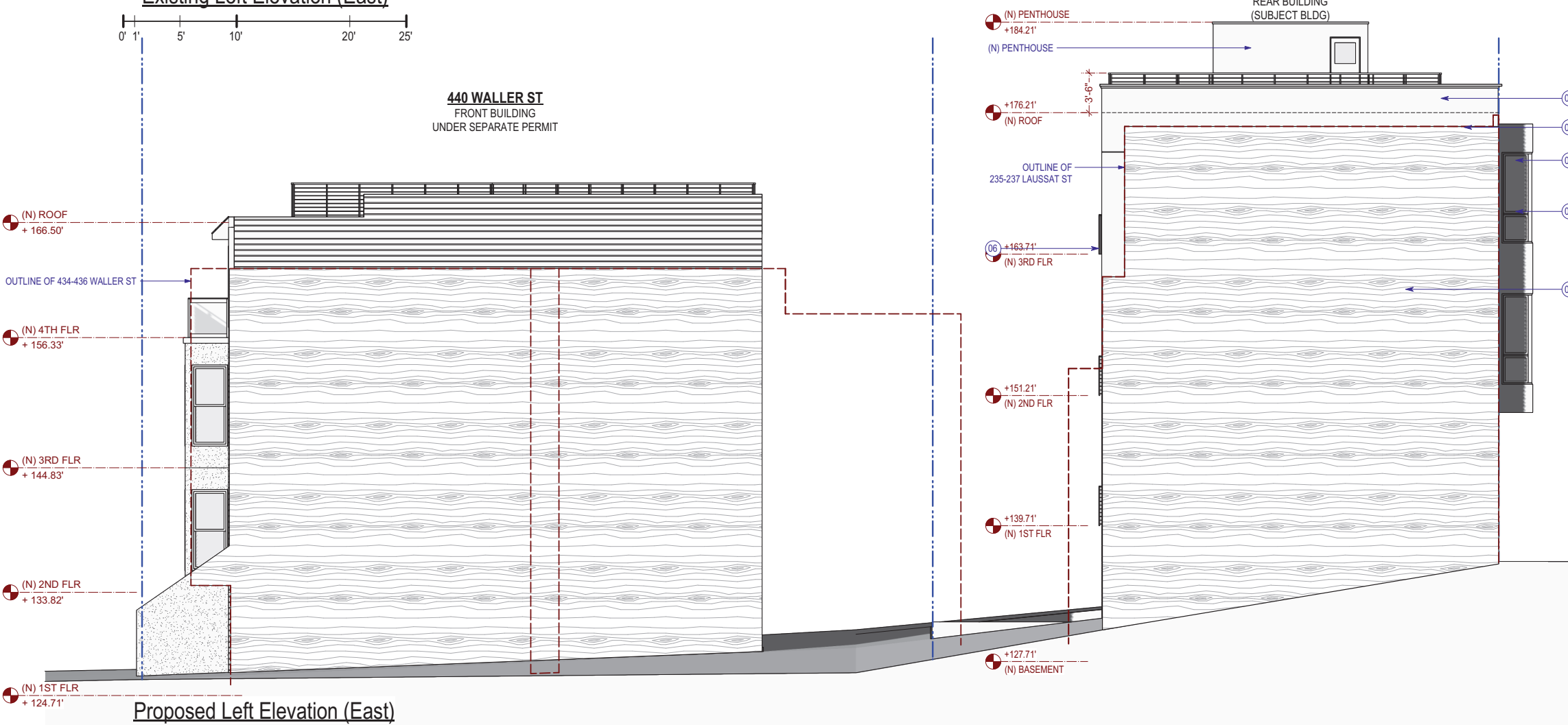
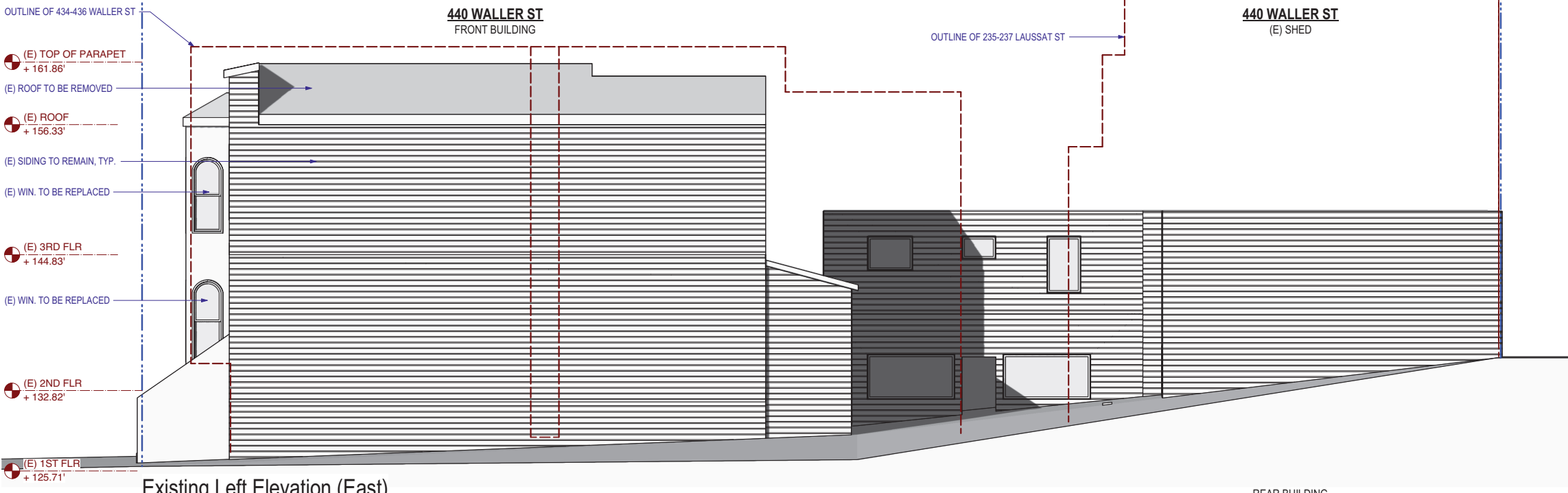
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DATE 12/05/2016

REVISED DATE 12/18/2019

JOB NO. 16-1726

SHEET NO.
A-3.2



- FACADE MATERIALS KEY NOTES:**
- 01 HIGH QUALITY SMOOTH PLASTER, TYP.
 - 02 WOOD HORIZONTAL SIDING, TYP.
 - 03 WOOD CAP, TYP.
 - 04 WOOD TRIM, TYP.
 - 05 P.T. PLYWD. BLINDWALL, TYP.
 - 06 PAINTED METAL RAILINGS, 42" HIGH MIN., TYP. OPENINGS LESS THAN 3.95"
 - 07 GUARDRAIL W/ SAFETY GLASS, 42" HIGH MIN. TYP.
 - 08 SOLIDENTRY DOOR, WOOD
 - 09 WOOD OVERHEAD GARAGE DOOR
 - 10 ALUMINUM WINDOW, W/ WOOD CLAD & LOW E CLR. GLASS, TYP.
 - 11 ALUMINUM PATIO DOOR W/ WOOD CLAD & CLR. GLASS, TYP.
 - 12 CONTROL JOINTS, TYP.
 - 13 SOLID ENTRY DOOR, ALUM.



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Right Elevations (West)

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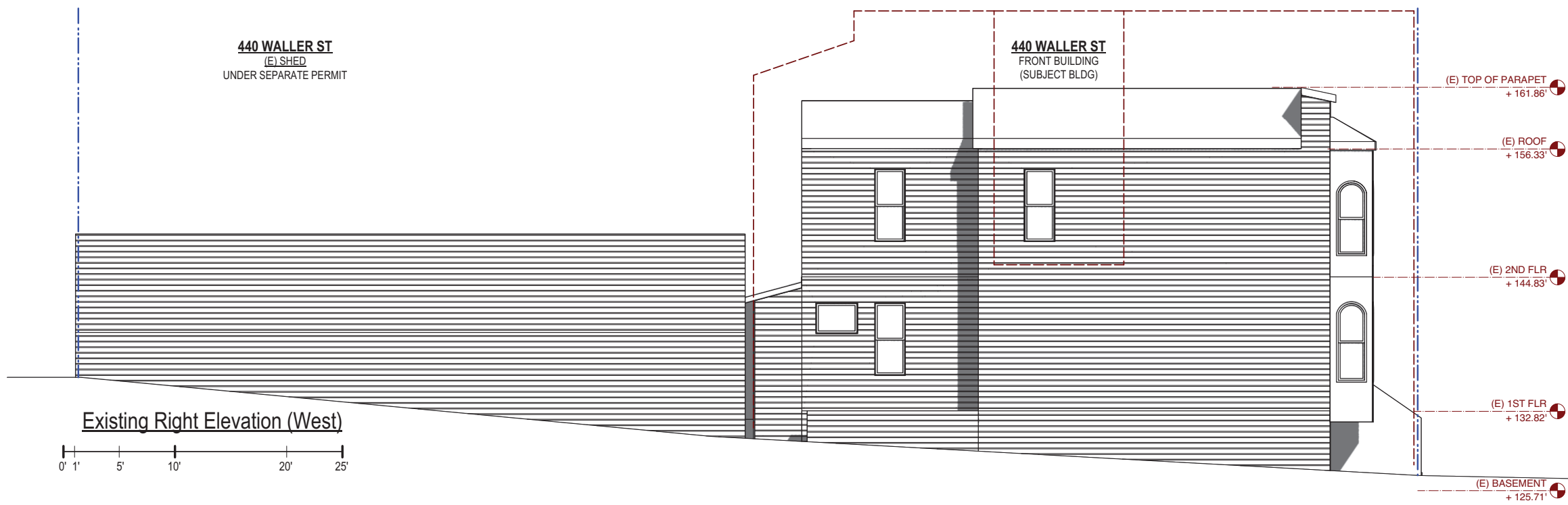
CHECKED R.K.

DATE 12/05/2016

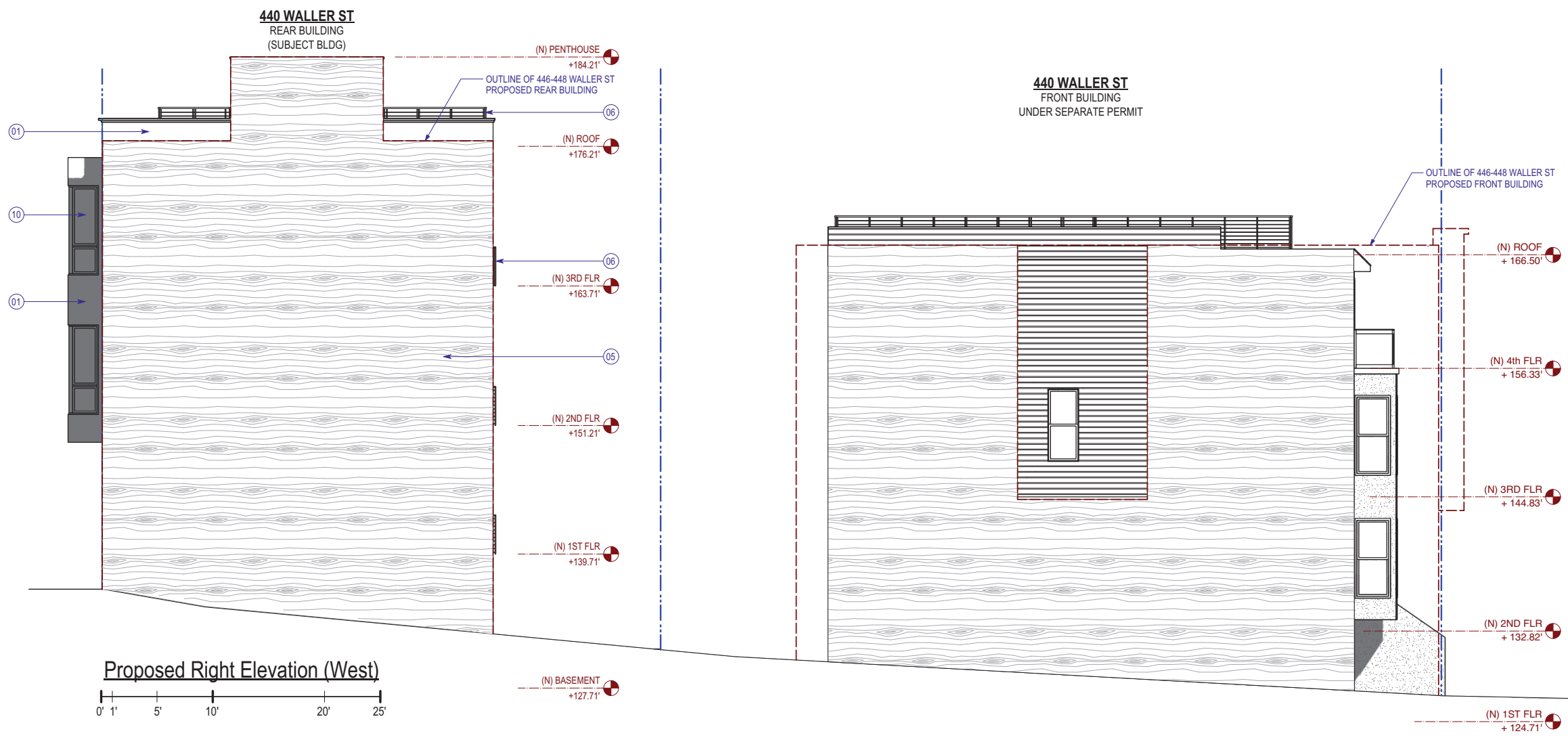
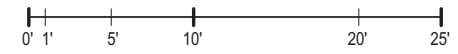
REVISED DATE 12/18/2019

JOB NO. 16-1726

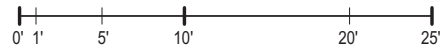
SHEET NO.
A-3.3



Existing Right Elevation (West)



Proposed Right Elevation (West)



- FACADE MATERIALS KEY NOTES:**
- 01 HIGH QUALITY SMOOTH PLASTER, TYP.
 - 02 WOOD HORIZONTAL SIDING, TYP.
 - 03 WOOD CAP, TYP.
 - 04 WOOD TRIM, TYP.
 - 05 P.T. PLYWD. BLINDWALL, TYP.
 - 06 PAINTED METAL RAILINGS, 42" HIGH MIN., TYP. OPENINGS LESS THAN 3.95"
 - 07 GUARDRAIL W/ SAFETY GLASS, 42" HIGH MIN. TYP.
 - 08 SOLIDENTRY DOOR, WOOD
 - 09 WOOD OVERHEAD GARAGE DOOR
 - 10 ALUMINUM WINDOW, W/ WOOD CLAD & LOW E CLR. GLASS, TYP.
 - 11 ALUMINUM PATIO DOOR W/ WOOD CLAD & CLR. GLASS, TYP.
 - 12 CONTROL JOINTS, TYP.
 - 13 SOLID ENTRY DOOR, ALUM.

PROJECT NAME
**440 Waller St.
 (Rear building)
 SAN FRANCISCO, CA**
 (Future 239-239A Laussat St)



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SHEET TITLE

**Rear Elevations
 (South)**

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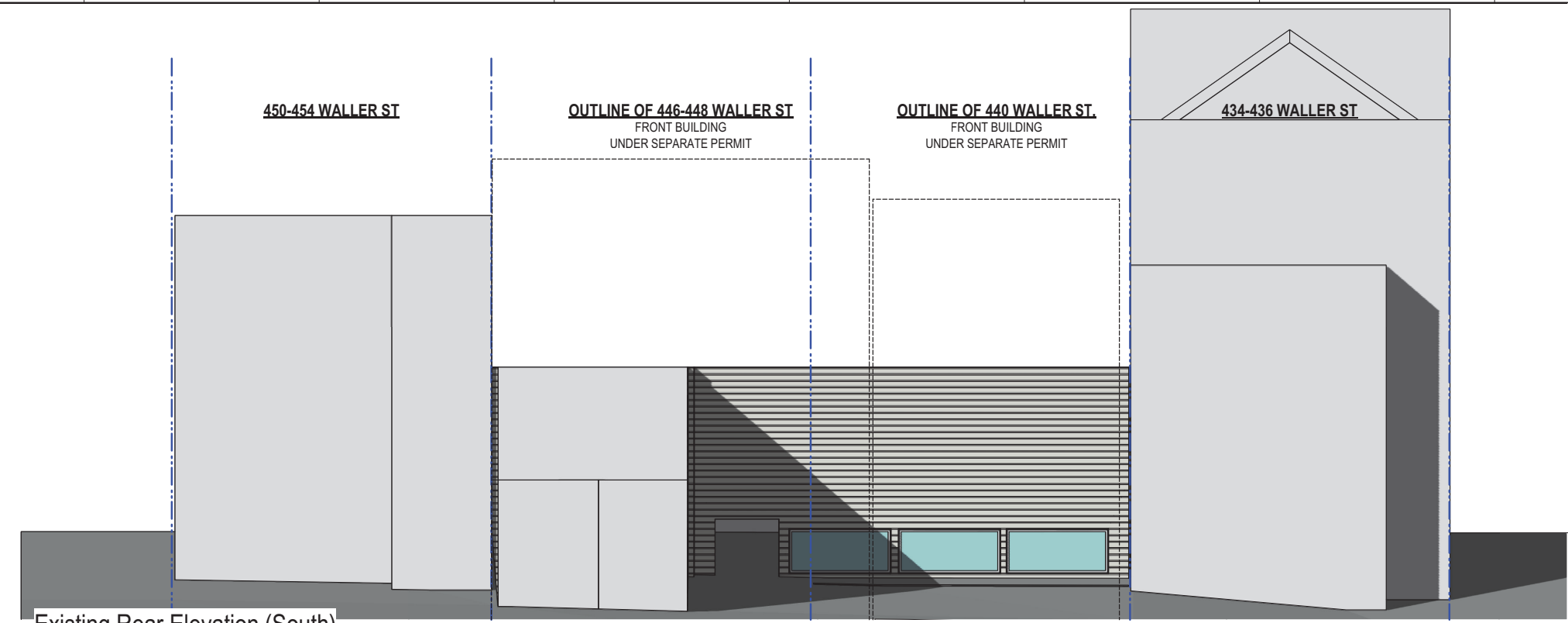
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DATE 12/05/2016

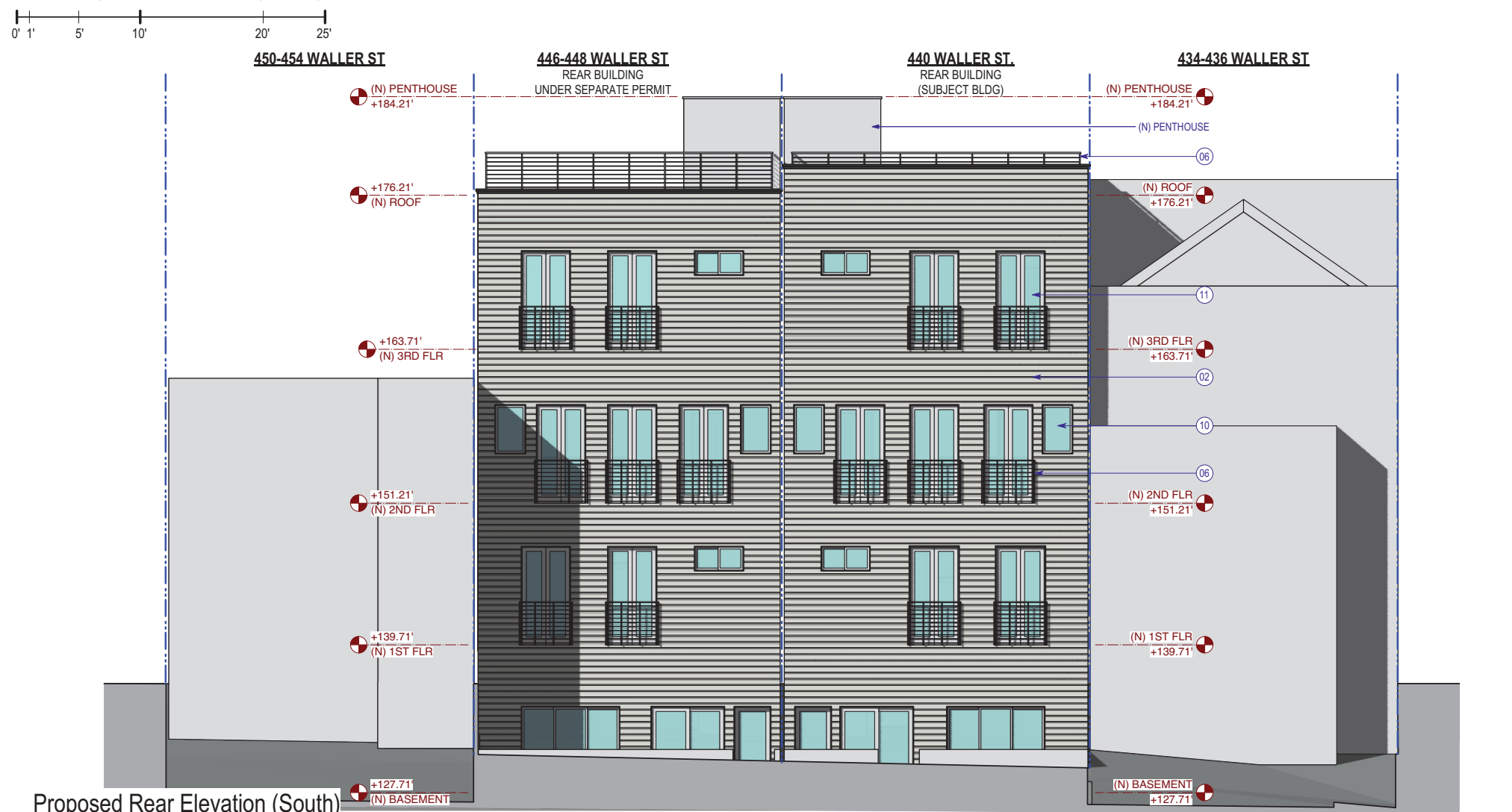
REVISED DATE 12/18/2019

JOB NO. 16-1726

SHEET NO.
A-3.4



Existing Rear Elevation (South)



Proposed Rear Elevation (South)

--- PROPERTY LINE

FACADE MATERIALS KEY NOTES:

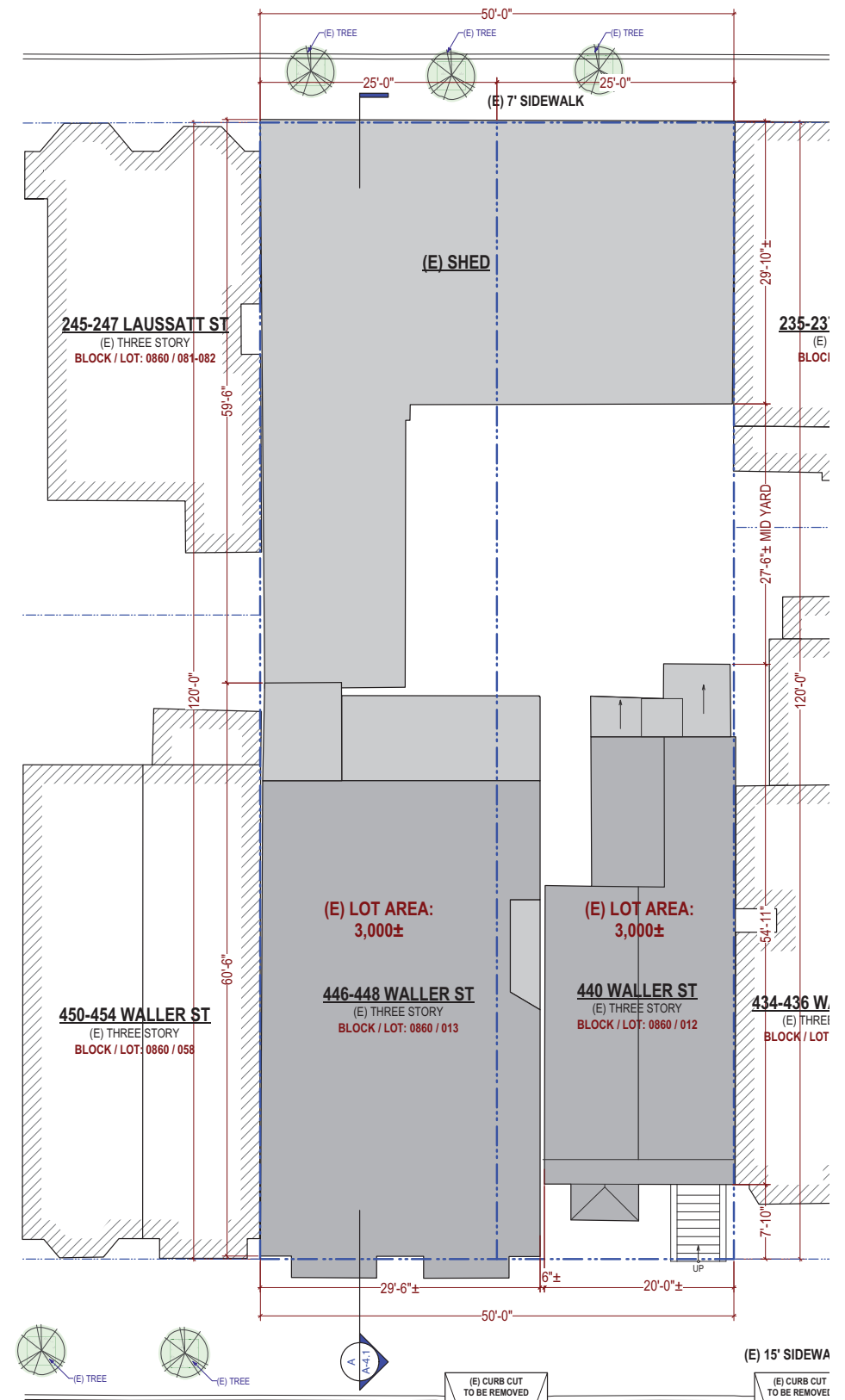
- 01 HIGH QUALITY SMOOTH PLASTER, TYP.
- 02 WOOD HORIZONTAL SIDING, TYP.
- 03 WOOD CAP, TYP.
- 04 WOOD TRIM, TYP.
- 05 P.T. PLYWD. BLINDWALL, TYP.
- 06 PAINTED METAL RAILINGS, 42" HIGH MIN., TYP. OPENINGS LESS THAN 3.95"
- 07 GUARDRAIL W/ SAFETY GLASS, 42" HIGH MIN. TYP.
- 08 SOLIDENTRY DOOR, WOOD
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- 11 ALUMINUM PATIO DOOR W/ WOOD CLAD & CLR. GLASS, TYP.
- 12 CONTROL JOINTS, TYP.
- 13 SOLID ENTRY DOOR, ALUM.

BLOCK & LOT: 0860 / 013	
PROPERTY LINE:	-----
OUTLINE OF SUBJECT BUILDING:	=====
OUTLINE OF NEIGHBORS:	//////

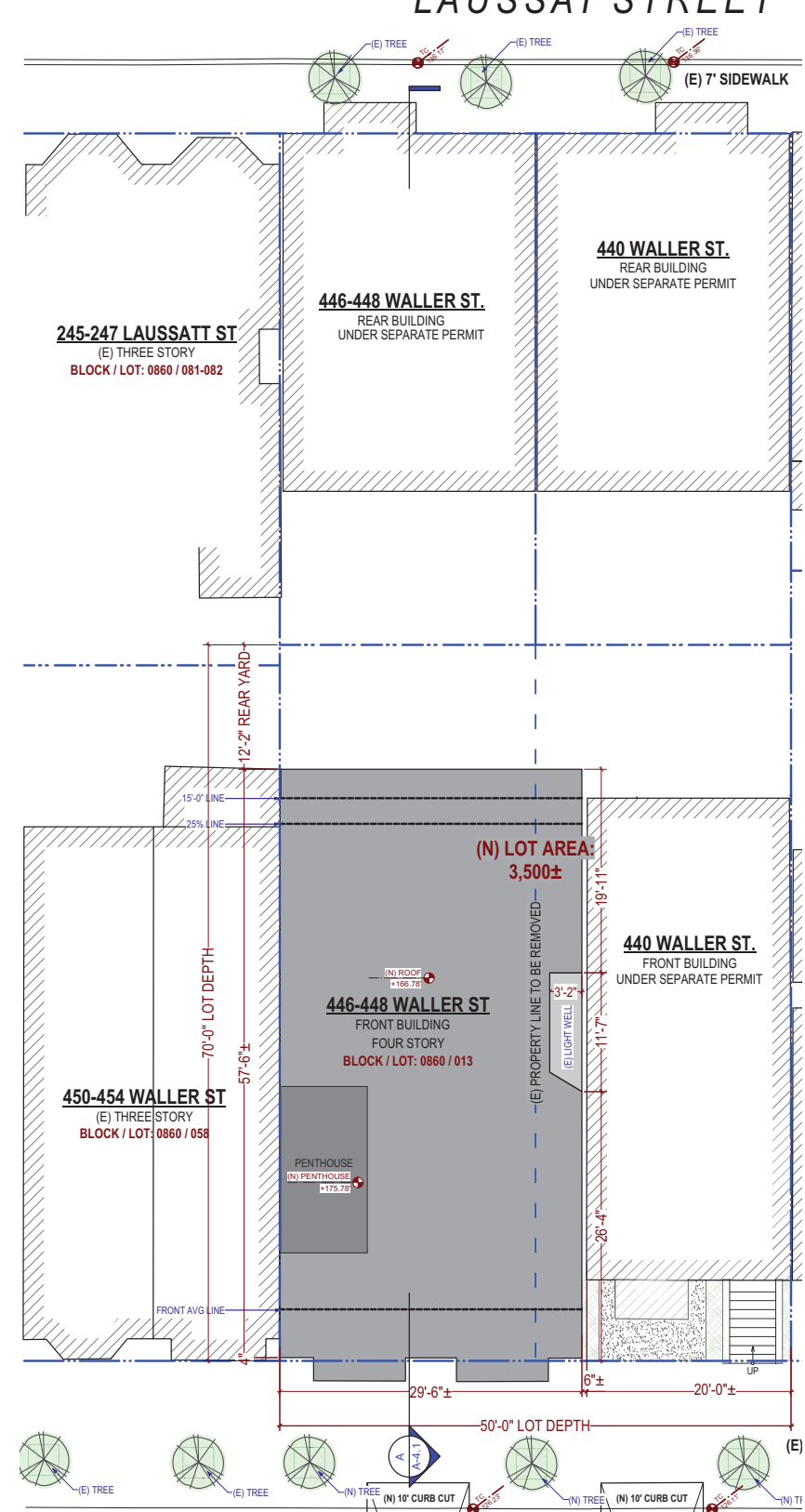
PROJECT NAME
**446-448 Waller St.
(Front building)
SAN FRANCISCO, CA**

ADDRESS	# OF UNITS	COMMON		PRIVATE	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED
446-448 WALLER ST. (FRONT BLDG):	2	296 S.F. (24.12)	1,447 S.F.	-	-

SCOPE OF WORK	
- TO RAISE THE EXISTING BLDG. BY ± 2'-4", ADD A NEW FLOOR ABOVE GARAGE LEVEL TO INCREASE FLOOR AREA FOR ONE OF THE EXISTING UNIT.	
- SQUARE (E) BAY AT SECOND AND THIRD FLOOR	
- INTERIOR REMODEL ON ALL FLOORS	
- TO MERGE LOT WITH 440 WALLER ST.	
- UNDER SEPARATE PERMIT: FUTURE EASEMENT FROM 440 WALLER ST REAR BUILDING FOR REAR BLDG ACCESS	
NOTE: WATERPROOFING OF BUILDING ENVELOPE IS NOT UNDER THE SCOPE OF THIS PERMIT. OWNER IS TO HIRE A WATERPROOFING EXPERT TO PROVIDE WATERPROOFING DETAILS	
PROJECT DATA	
PLANNING DATA:	
ADDRESS:	446-448 WALLER STREET (FRONT BUILDING)
BLOCK / LOT:	0860 / 013
LOT AREA:	3,000 ± S.F.
ZONING:	RH-3
EXISTING # OF UNITS:	2 (NO CHANGE)
ALLOWABLE HEIGHT:	40-X
(E) BUILDING HEIGHT:	± 37'-8"
(N) BUILDING HEIGHT:	± 40'-0"
# OF COVERED PARKING SPACES:	2
# OF BICYCLE PARKING SPACES:	2
(E) OCCUPIED FLOOR AREA:	
FIRST FLOOR:	824 ± S.F.
SECOND FLOOR:	1,929 ± S.F.
THIRD FLOOR:	1,444 ± S.F.
TOTAL OCCUPIED AREA:	4,197 ± S.F.
(E) GROSS FLOOR AREA:	
FIRST FLOOR:	2,879 ± S.F.
SECOND FLOOR:	2,057 ± S.F.
THIRD FLOOR:	1,632 ± S.F.
TOTAL GROSS AREA:	6,568 ± S.F.
(N) GROSS FLOOR AREA:	
FIRST FLOOR:	1,638 ± S.F. (GARAGE)
SECOND FLOOR:	1,637 ± S.F.
THIRD FLOOR:	1,697 ± S.F.
FOURTH FLOOR:	1,697 ± S.F.
TOTAL GROSS AREA:	6,669 ± S.F.
TOTAL CHANGE:	101 ± S.F.
(N) OCCUPIED FLOOR AREA:	
SECOND FLOOR:	1,428 ± S.F.
THIRD FLOOR:	1,526 ± S.F.
FOURTH FLOOR:	1,526 ± S.F.
TOTAL OCCUPIED FLOOR AREA:	4,480 ± S.F.
BUILDING DATA:	
(E) NUMBER OF STORIES:	3
(N) NUMBER OF STORIES:	4
CONSTRUCTION TYPE:	TYPE "V-A"
(E) OCCUPANCY GROUP:	R-3
(N) OCCUPANCY GROUP:	R-2
APPLICABLE CODES:	2016 CALIFORNIA CODES EDITIONS W/ SAN FRANCISCO AMENDMENTS



Existing Site Plan



Proposed Site Plan



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1256 HOWARD STREET
SAN FRANCISCO CA 94103
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SHEET TITLE
Site Plans

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN	SH.R.
CHECKED	R.K.
DATE	12/05/2016
REVISED DATE	12/18/2019
JOB NO.	16-1726
SHEET NO.	A-1.1

	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(N) WALL TO BE CONSTRUCTED

PROJECT NAME
446-448 Waller St.
(Front building)
SAN FRANCISCO, CA



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Existing Floor Plans

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NO.	DATE	DESCRIPTION

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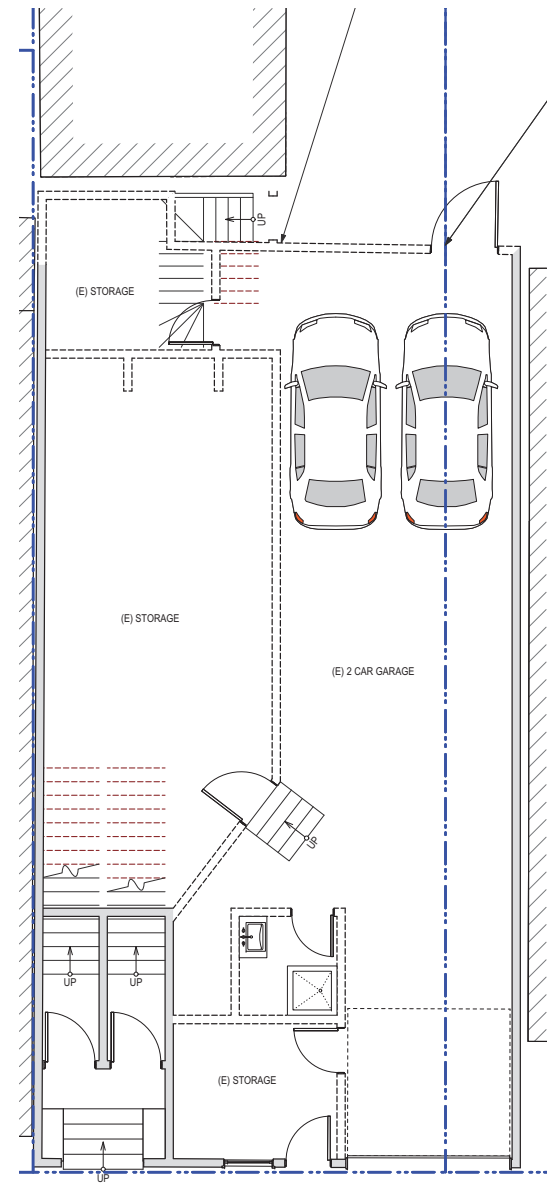
DATE 12/05/2016

REVISED DATE 12/18/2019

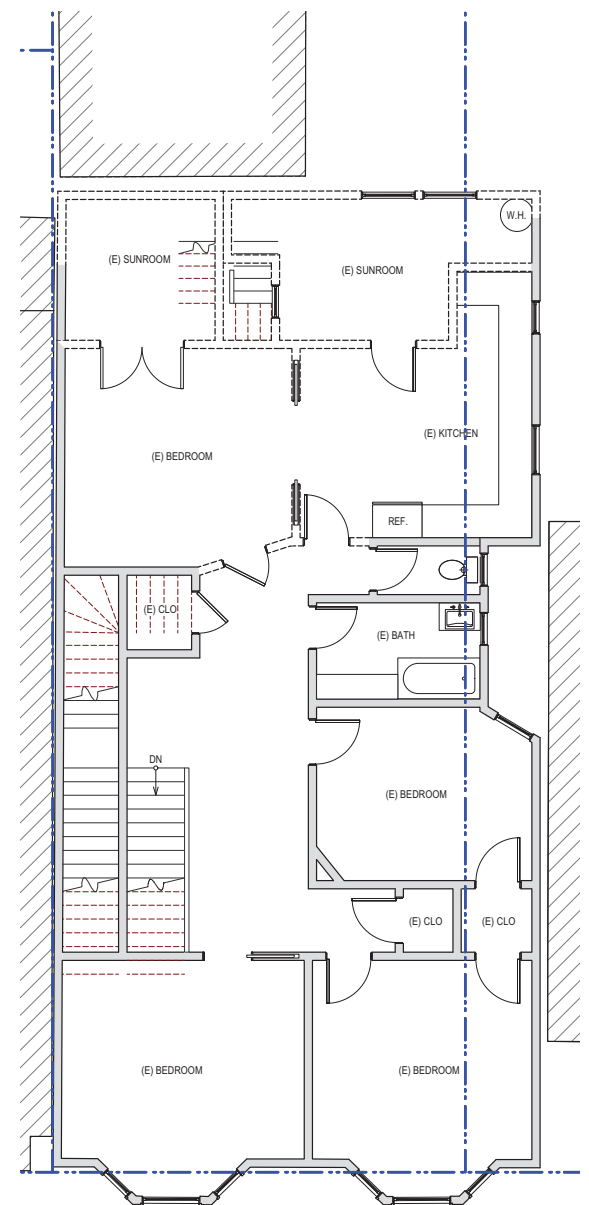
JOB NO. 16-1726

SHEET NO.

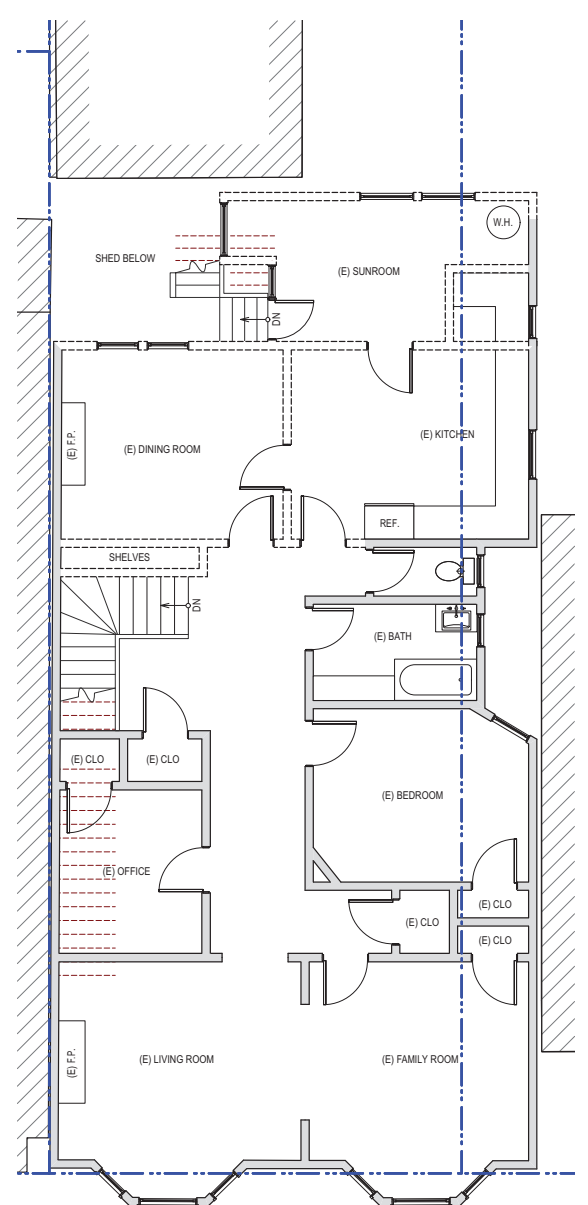
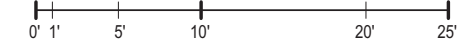
A-2.1



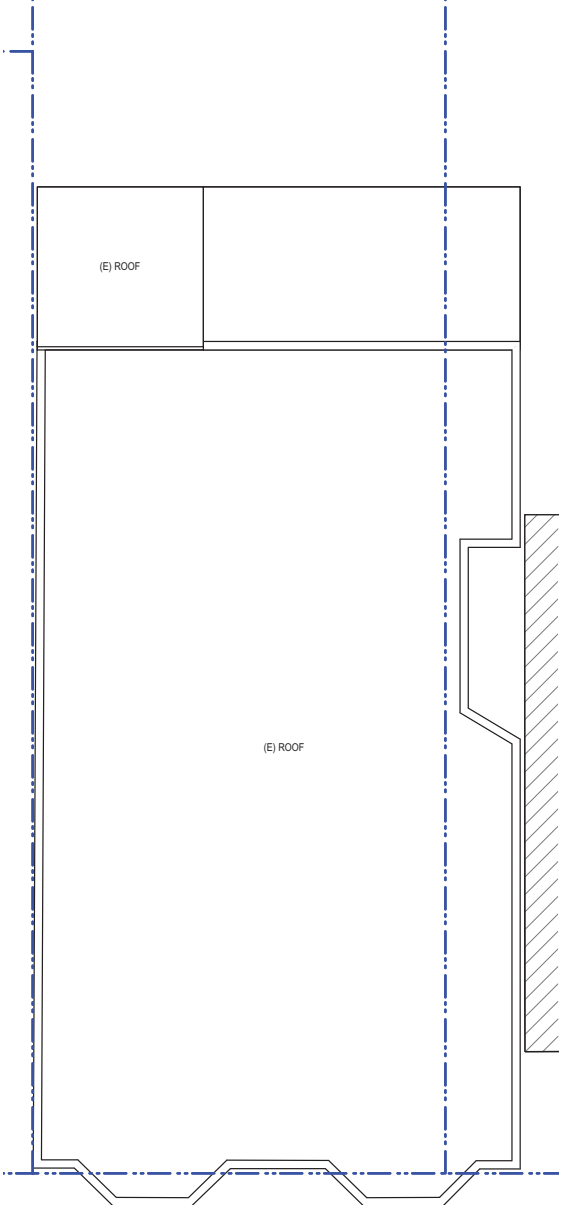
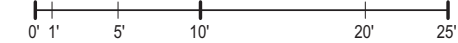
Existing First Floor Plan



Existing Second Floor Plan



Existing Third Floor Plan



Existing Roof Plan



WALLER ST

	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(N) WALL TO BE CONSTRUCTED

PROJECT NAME
**446-448 Waller St.
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SHEET TITLE
**Proposed
 First-Third
 Floor Plans**

- PLAN KEY NOTES:**
- 01 11" MIN. RUN, 7" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. NOSINGS, TYP.
 - 02 10" MIN. RUN, 7.75" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. STAIR NOSINGS, TYP.
 - 03 PROV. OPEN METAL GUARDRAIL W/ OPENINGS LESS THAN 3.95", 42" HIGH MIN., TYP.
 - 04 PROV. SAFETY GLASS GUARDRAIL, OPENINGS LESS THAN 3.95", 42" HIGH MIN., TYP.
 - 05 WALLS & CEILINGS OF THE GARAGE AREA SHALL BE COVERED W/ 5/8" GYP. BD. TYPE (X).
 - 06 1-HR FIRE RATED PARAPET, 30" HIGH MIN., SEE PLANS

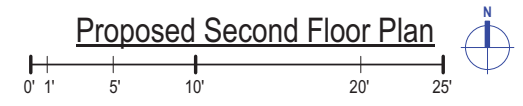
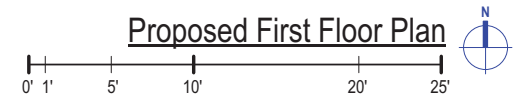
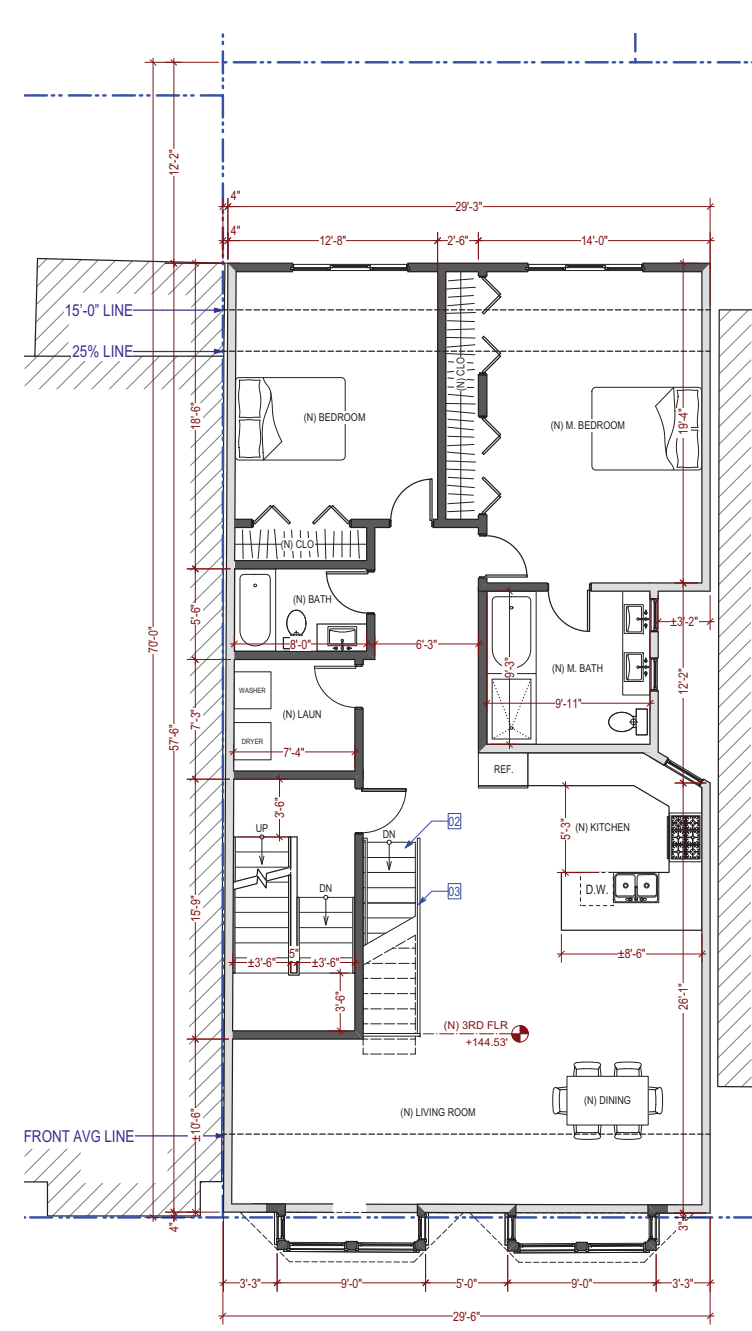
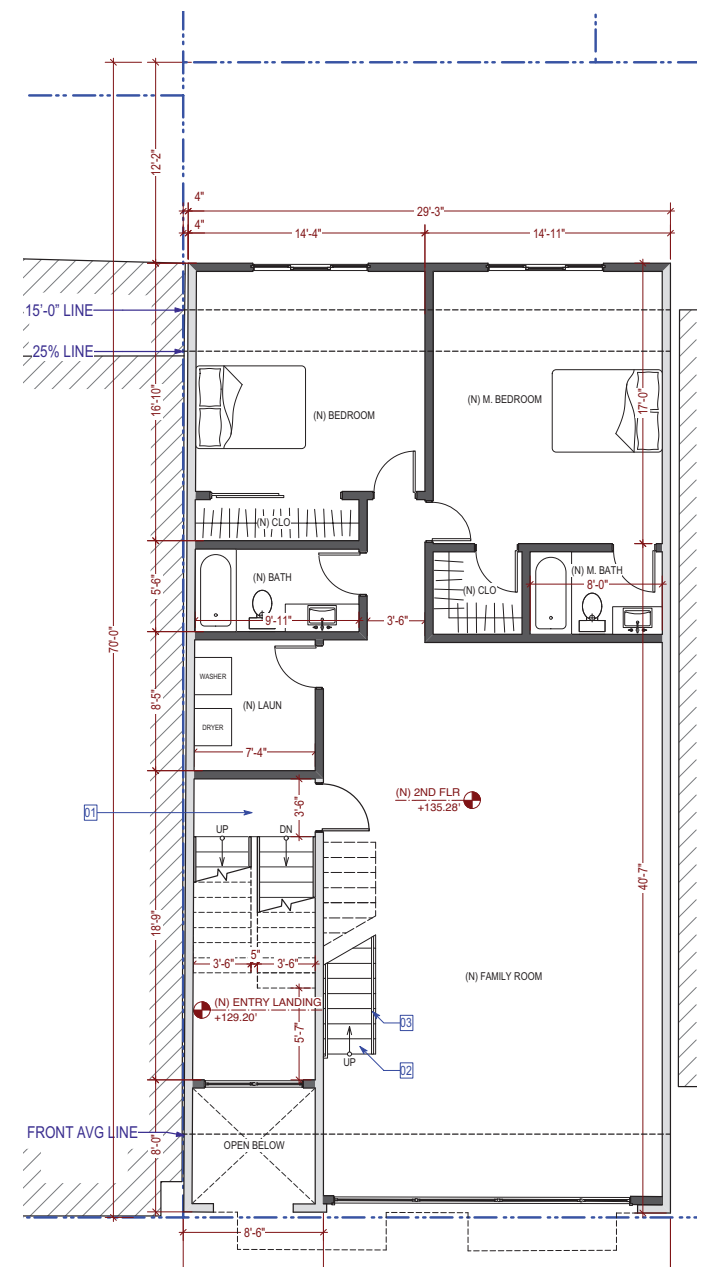
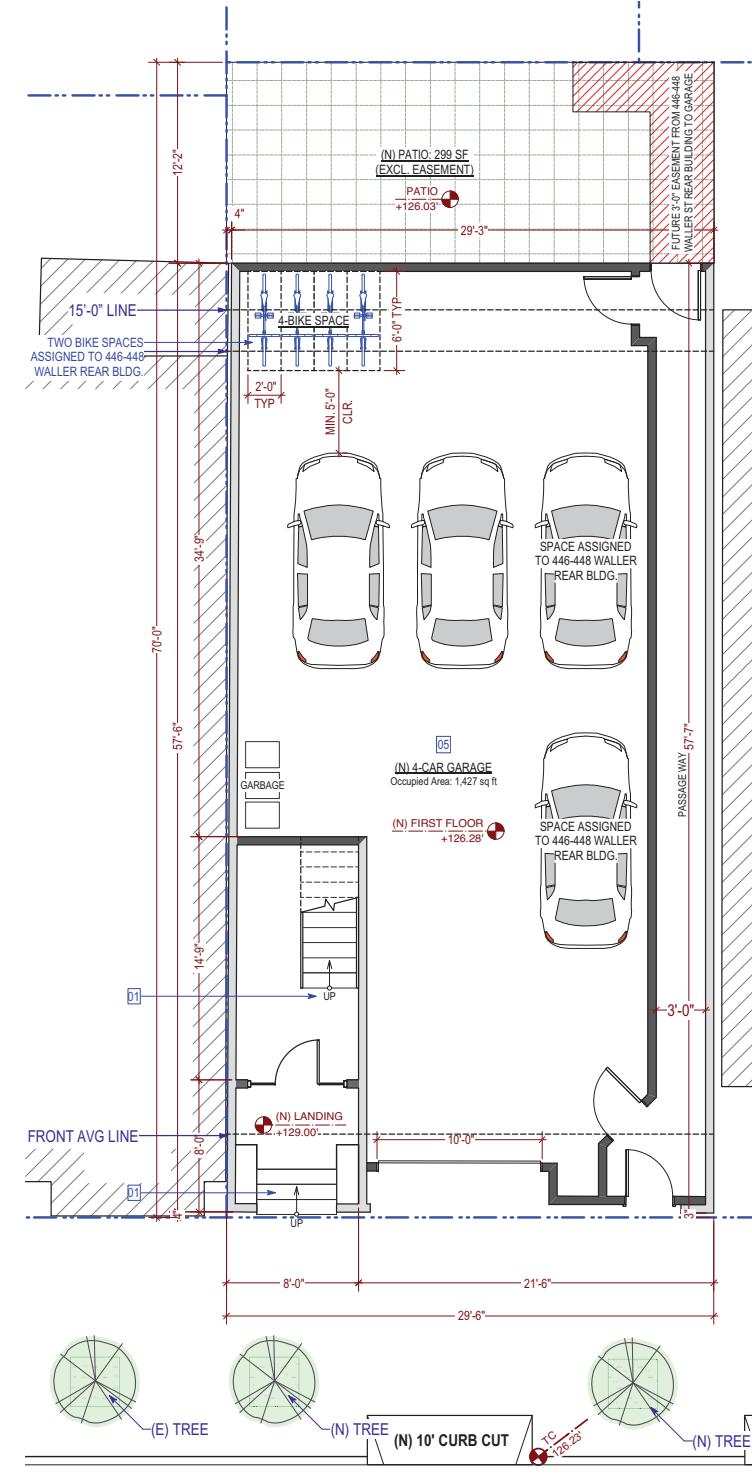
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JOB NO.	16-1726

SHEET NO.
A-2.2



	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(N) WALL TO BE CONSTRUCTED

PROJECT NAME
**446-448 Waller St.
 (Front building)
 SAN FRANCISCO, CA**



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SHEET TITLE

Proposed Fourth Floor & Roof Plans

PLAN KEY NOTES:

- 01 11" MIN. RUN, 7" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. NOSINGS, TYP.
- 02 10" MIN. RUN, 7.75" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. STAIR NOSINGS, TYP.
- 03 PROV. OPEN METAL GUARDRAIL W/ OPENINGS LESS THAN 3.95", 42" HIGH MIN., TYP.
- 04 PROV. SAFETY GLASS GUARDRAIL, OPENINGS LESS THAN 3.95", 42" HIGH MIN., TYP.
- 05 WALLS & CEILINGS OF THE GARAGE AREA SHALL BE COVERED W/ 5/8" GYP. BD. TYPE (X).
- 06 1-HR FIRE RATED PARAPET, 30" HIGH MIN., SEE PLANS

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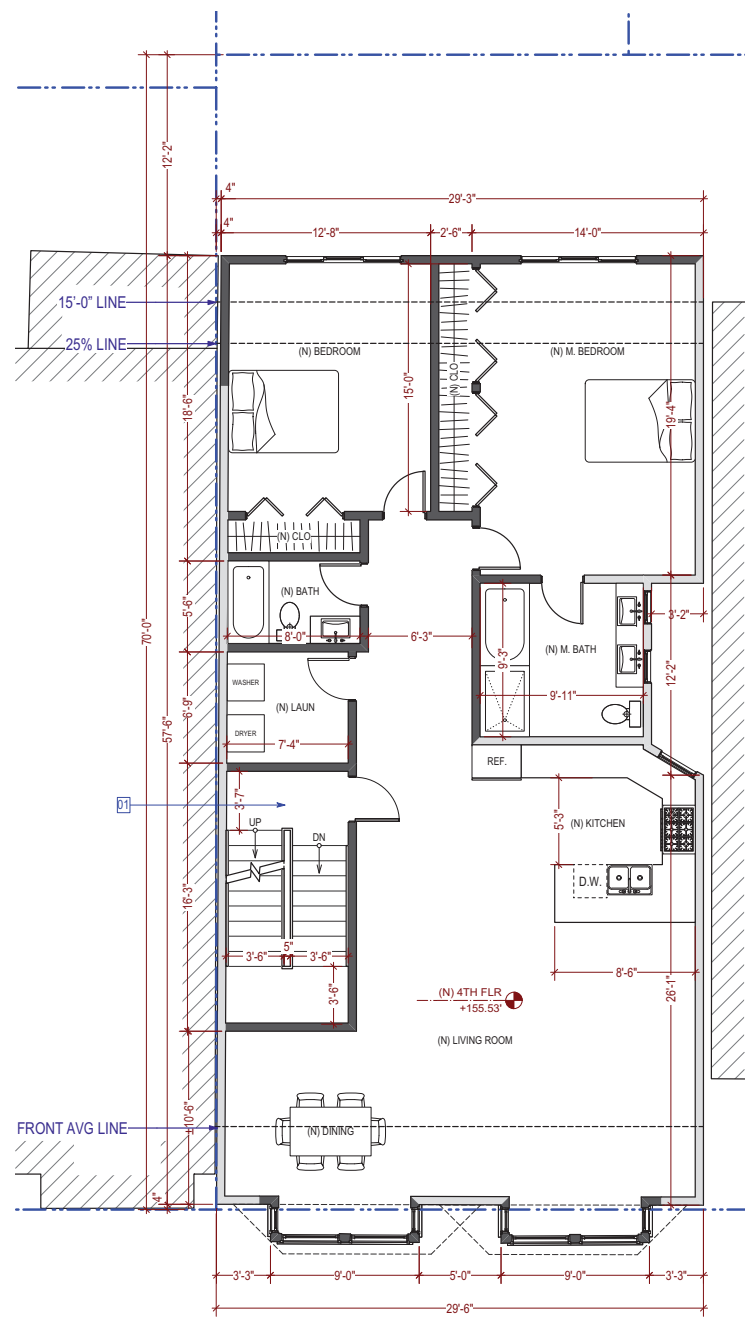
DATE 12/05/2016

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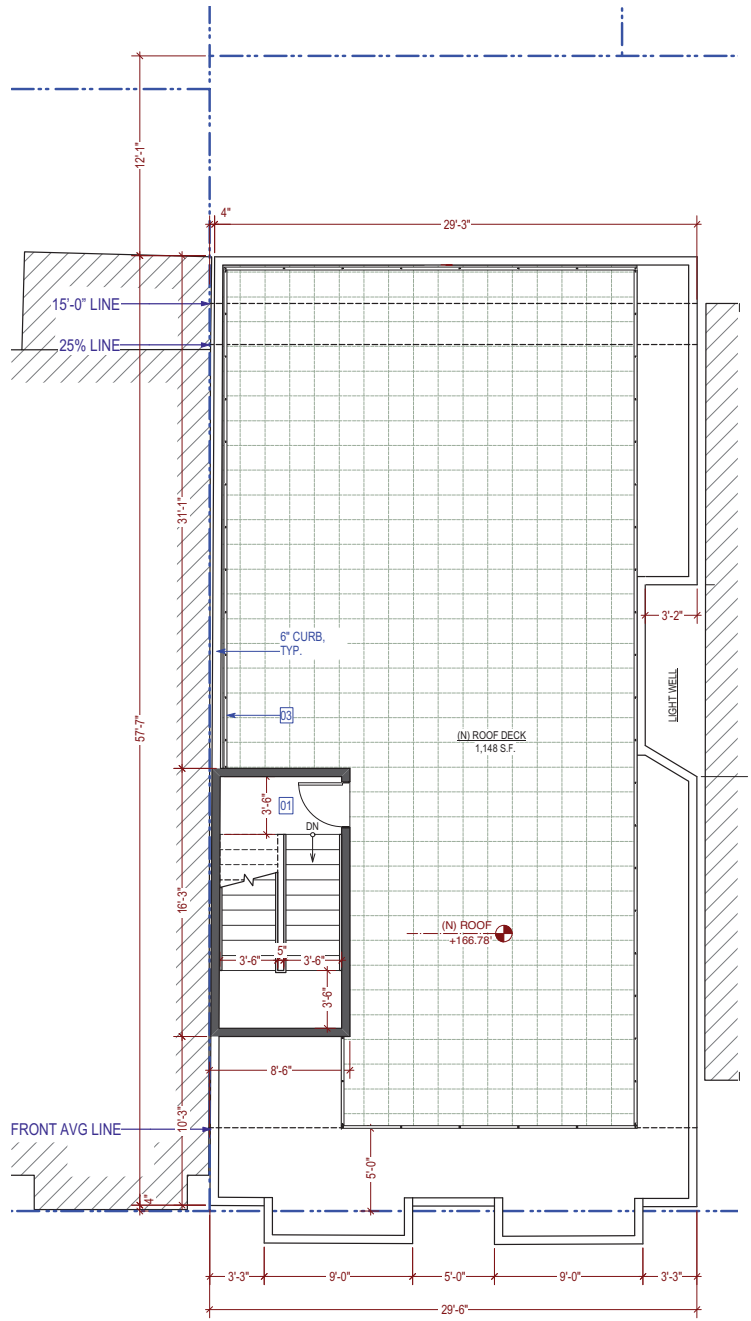
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A-2.3



Proposed Fourth Floor Plan



Proposed Roof Plan





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SHEET TITLE

Front Elevations (Waller Street)

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SHEET NO.

A-3.1



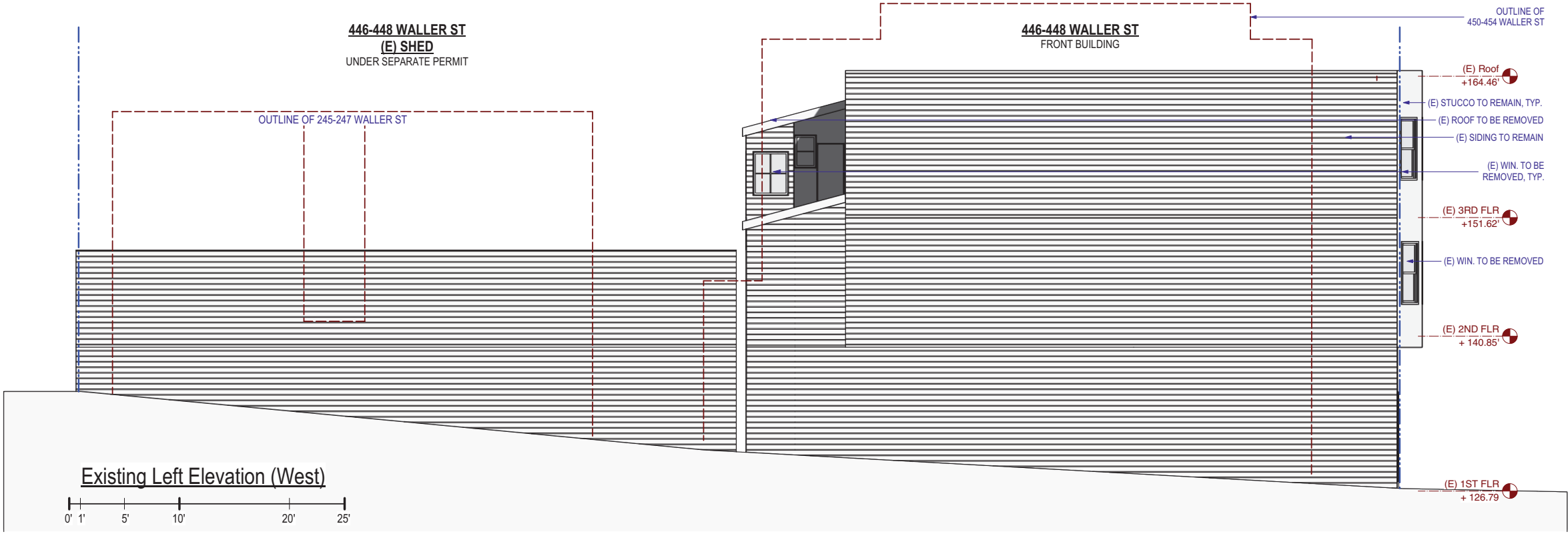
Existing Front Elevation (South)



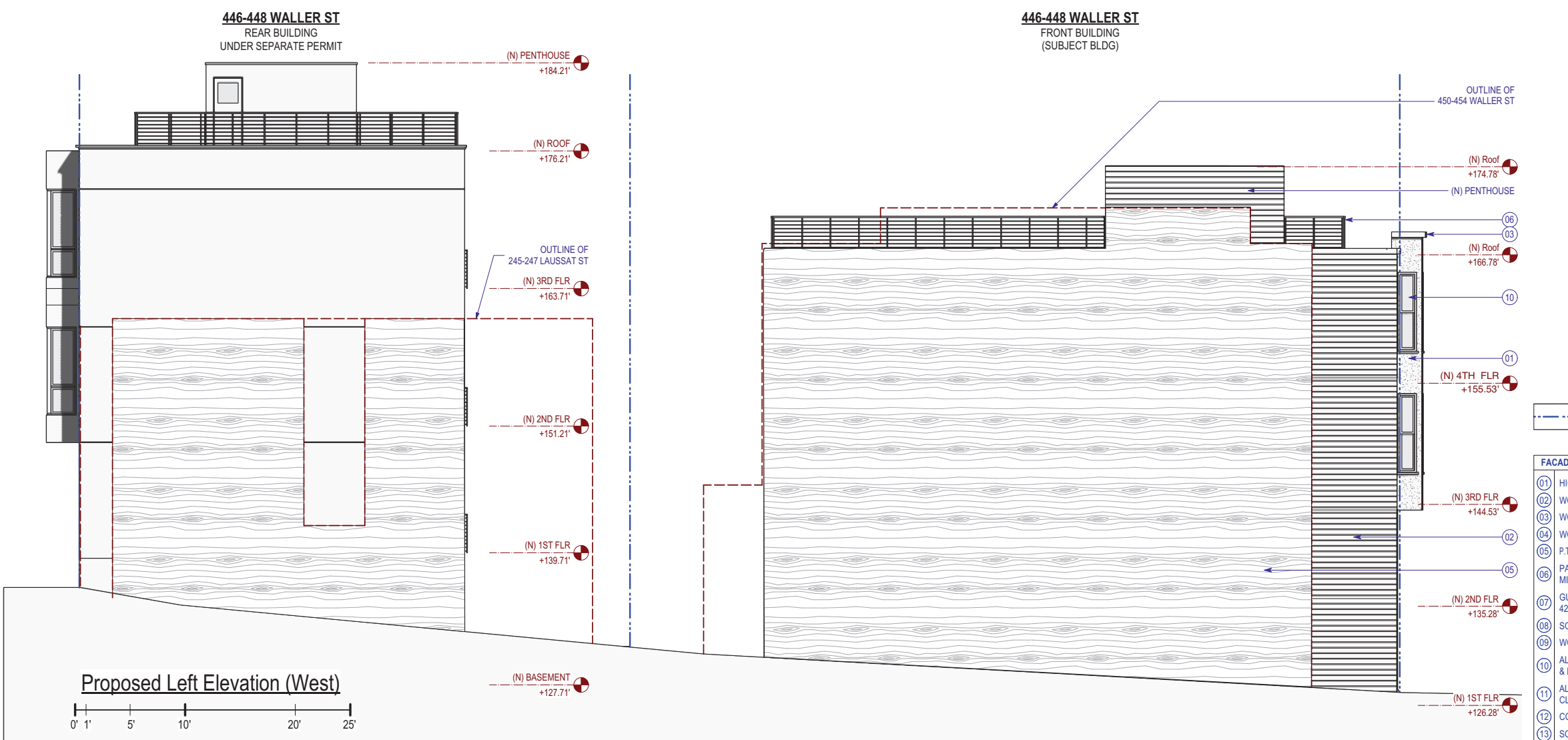
Proposed Front Elevation (South)



- FACADE MATERIALS KEY NOTES:**
- 01 HIGH QUALITY SMOOTH PLASTER, TYP.
 - 02 WOOD HORIZONTAL SIDING, TYP.
 - 03 WOOD CAP, TYP.
 - 04 WOOD TRIM, TYP.
 - 05 P.T. PLYWD. BLINDWALL, TYP.
 - 06 PAINTED METAL RAILINGS, 42" HIGH MIN., TYP. OPENINGS LESS THAN 3.95"
 - 07 GUARDRAIL W/ SAFETY GLASS, 42" HIGH MIN. TYP.
 - 08 SOLIDENTRY DOOR, WOOD
 - 09 WOOD OVERHEAD GARAGE DOOR
 - 10 ALUMINUM WINDOW, W/ WOOD CLAD & LOW E CLR. GLASS, TYP.
 - 11 ALUMINUM PATIO DOOR W/ WOOD CLAD & CLR. GLASS, TYP.
 - 12 CONTROL JOINTS, TYP.
 - 13 SOLID ENTRY DOOR, ALUM.



Existing Left Elevation (West)



Proposed Left Elevation (West)

PROJECT NAME
**446-448 Waller St.
(Front building)
SAN FRANCISCO, CA**



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SHEET TITLE
**Left Elevation
(West)**

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ISSUES / REVISIONS

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- FACADE MATERIALS KEY NOTES:**
- 01 HIGH QUALITY SMOOTH PLASTER, TYP.
 - 02 WOOD HORIZONTAL SIDING, TYP.
 - 03 WOOD CAP, TYP.
 - 04 WOOD TRIM, TYP.
 - 05 P.T. PLYWD. BLINDWALL, TYP.
 - 06 PAINTED METAL RAILINGS, 42" HIGH MIN., TYP. OPENINGS LESS THAN 3.95"
 - 07 GUARDRAIL W/ SAFETY GLASS, 42" HIGH MIN. TYP.
 - 08 SOLIDENTRY DOOR, WOOD
 - 09 WOOD OVERHEAD GARAGE DOOR
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 - 11 ALUMINUM PATIO DOOR W/ WOOD CLAD & CLR. GLASS, TYP.
 - 12 CONTROL JOINTS, TYP.
 - 13 SOLID ENTRY DOOR, ALUM.

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DATE 12/05/2016
REVISED DATE 12/18/2019
JOB NO. 16-1726
SHEET NO. **A-3.2**

PROJECT NAME
**446-448 Waller St.
 (Front building)
 SAN FRANCISCO, CA**



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**Right Elevation
 (East)**

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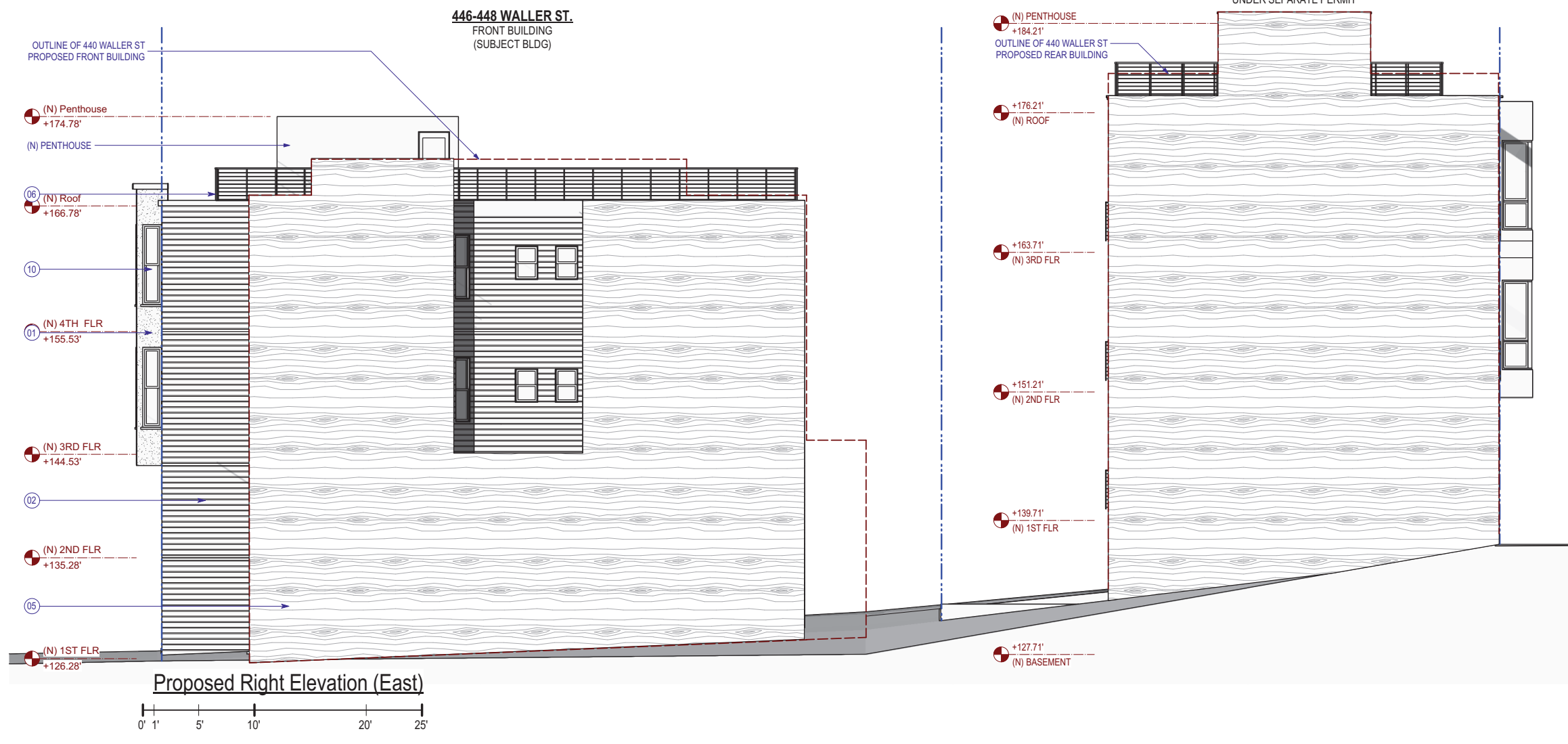
CHECKED R.K.

DATE 12/05/2016

REVISED DATE 12/18/2019

JOB NO. 16-1726

SHEET NO.
A-3.3



--- PROPERTY LINE

- FACADE MATERIALS KEY NOTES:**
- 01 HIGH QUALITY SMOOTH PLASTER, TYP.
 - 02 WOOD HORIZONTAL SIDING, TYP.
 - 03 WOOD CAP, TYP.
 - 04 WOOD TRIM, TYP.
 - 05 P.T. PLYWD. BLINDWALL, TYP.
 - 06 PAINTED METAL RAILINGS, 42" HIGH MIN., TYP. OPENINGS LESS THAN 3.95"
 - 07 GUARDRAIL W/ SAFETY GLASS, 42" HIGH MIN. TYP.
 - 08 SOLIDENTRY DOOR, WOOD
 - 09 WOOD OVERHEAD GARAGE DOOR
 - 10 ALUMINUM WINDOW, W/ WOOD CLAD & LOW E CLR. GLASS, TYP.
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 - 12 CONTROL JOINTS, TYP.
 - 13 SOLID ENTRY DOOR, ALUM.



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Rear Elevations
(North)

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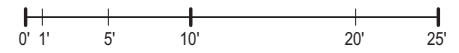
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REVISED DATE 12/18/2019

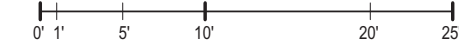
JOB NO. 16-1726

SHEET NO.

A-3.4



Proposed Rear Elevation (North)



- FACADE MATERIALS KEY NOTES:
- 01 HIGH QUALITY SMOOTH PLASTER, TYP.
 - 02 WOOD HORIZONTAL SIDING, TYP.
 - 03 WOOD CAP, TYP.
 - 04 WOOD TRIM, TYP.
 - 05 P.T. PLYWD. BLINDWALL, TYP.
 - 06 PAINTED METAL RAILINGS, 42" HIGH MIN., TYP. OPENINGS LESS THAN 3.95"
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 - 08 SOLIDENTRY DOOR, WOOD
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 - 10 ALUMINUM WINDOW, W/ WOOD CLAD & LOW E CLR. GLASS, TYP.
 - 11 ALUMINUM PATIO DOOR W/ WOOD CLAD & CLR. GLASS, TYP.
 - 12 CONTROL JOINTS, TYP.
 - 13 SOLID ENTRY DOOR, ALUM.

BLOCK & LOT: 0860 / 013	
PROPERTY LINE:	-----
OUTLINE OF SUBJECT BUILDING:	=====
OUTLINE OF NEIGHBORS:	//////

PROJECT NAME
**446-448 Waller St.
 (Rear building)
 SAN FRANCISCO, CA**
 (Future 241-243 Laussat St)

SCOPE OF WORK

- ERECT 3 STORY OVER BASEMENT BLDG. W/ TWO DWELLING UNITS AT THE REAR YARD OF 446-448 WALLER ST.
- UNDER SEPARATE PERMIT: FUTURE EASEMENT TO 440 WALLER ST'S GARAGE

NOTE: WATERPROOFING OF BUILDING ENVELOPE IS NOT UNDER THE SCOPE OF THIS PERMIT. OWNER IS TO HIRE A WATERPROOFING EXPERT TO PROVIDE WATERPROOFING DETAILS

PROJECT DATA

PLANNING DATA:	
ADDRESS:	446-448 WALLER STREET (REAR BUILDING) (Future 241-243 Laussat St)
BLOCK / LOT:	0860 / 013
LOT AREA:	3,000 ± S.F.
ZONING:	RH-3
PROPOSED # OF UNITS:	2
ALLOWABLE HEIGHT:	40'-X
BUILDING HEIGHT:	40'-0"
# OF COVERED PARKING SPACES:	2
# OF BICYCLE PARKING SPACES:	3
GROSS FLOOR AREA:	
BASEMENT:	848 ± S.F.
FIRST FLOOR:	848 ± S.F.
SECOND FLOOR:	885 ± S.F.
THIRD FLOOR:	854 ± S.F.
TOTAL GROSS AREA:	3,435± S.F.
OCCUPIED FLOOR AREA:	
BASEMENT:	714 ± S.F.
FIRST FLOOR:	648 ± S.F.
SECOND FLOOR:	855 ± S.F.
THIRD FLOOR:	855 ± S.F.
TOTAL OCCUPIED AREA:	3,072 ± S.F.
BUILDING DATA:	
NUMBER OF STORIES:	3 OVER BASEMENT
CONSTRUCTION TYPE:	TYPE "V-B"
OCCUPANCY GROUP:	R-3
APPLICABLE CODES:	2016 CALIFORNIA CODES EDITIONS W/ SAN FRANCISCO AMENDMENTS



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SHEET TITLE

Site Plans

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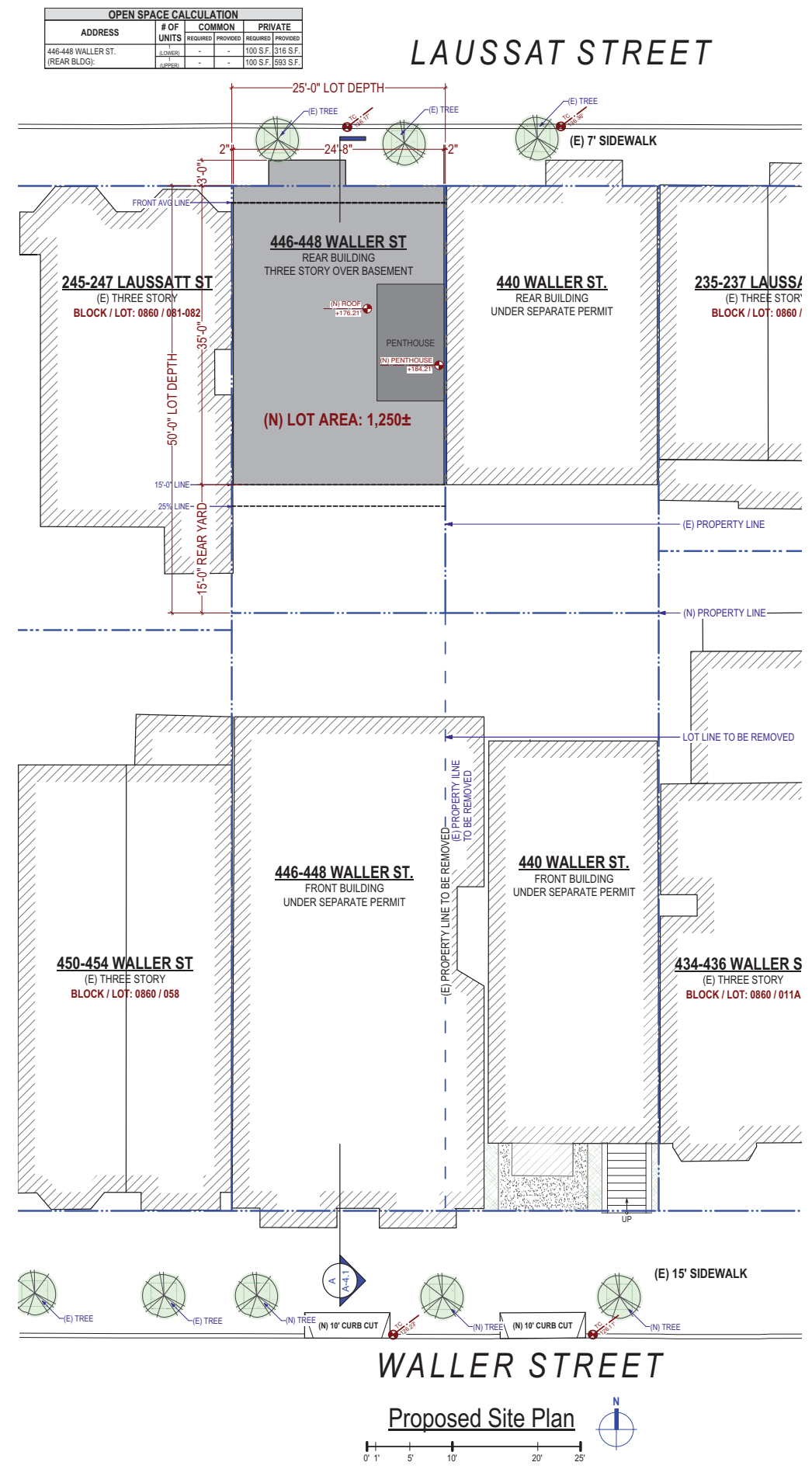
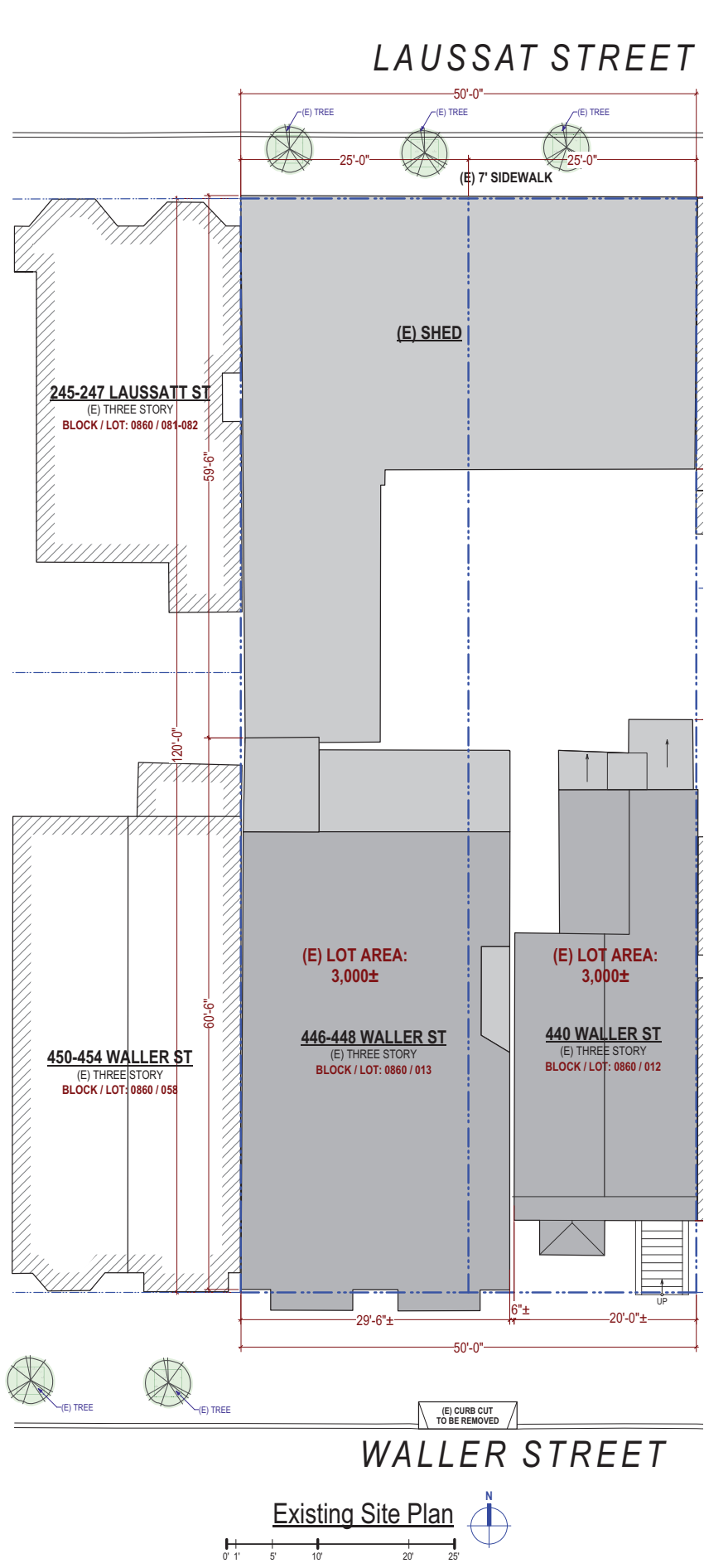
DATE 12/05/2016

REVISED DATE 12/18/2019

JOB NO. 16-1726

SHEET NO.

A-1.1



OPEN SPACE CALCULATION

ADDRESS	# OF UNITS	COMMON		PRIVATE	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED
446-448 WALLER ST. (REAR BLDG.)	2	-	-	100 S.F.	316 S.F.
				100 S.F.	593 S.F.

	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
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PROJECT NAME
**446-448 Waller St.
 (Rear building)
 SAN FRANCISCO, CA**
 (Future 241-243 Laussat St)



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SHEET TITLE
**Existing
 Floor Plans**

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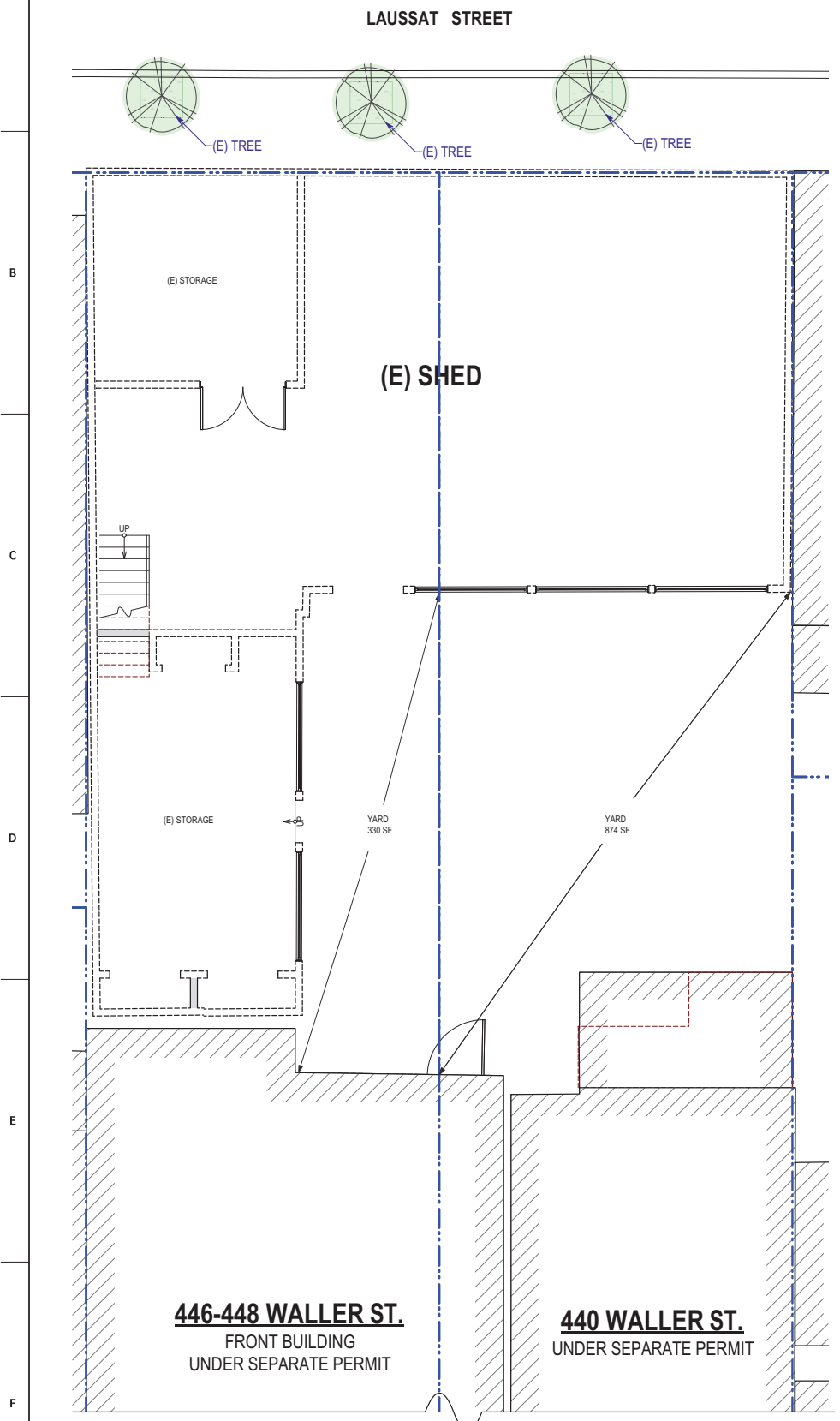
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DATE 12/05/2016

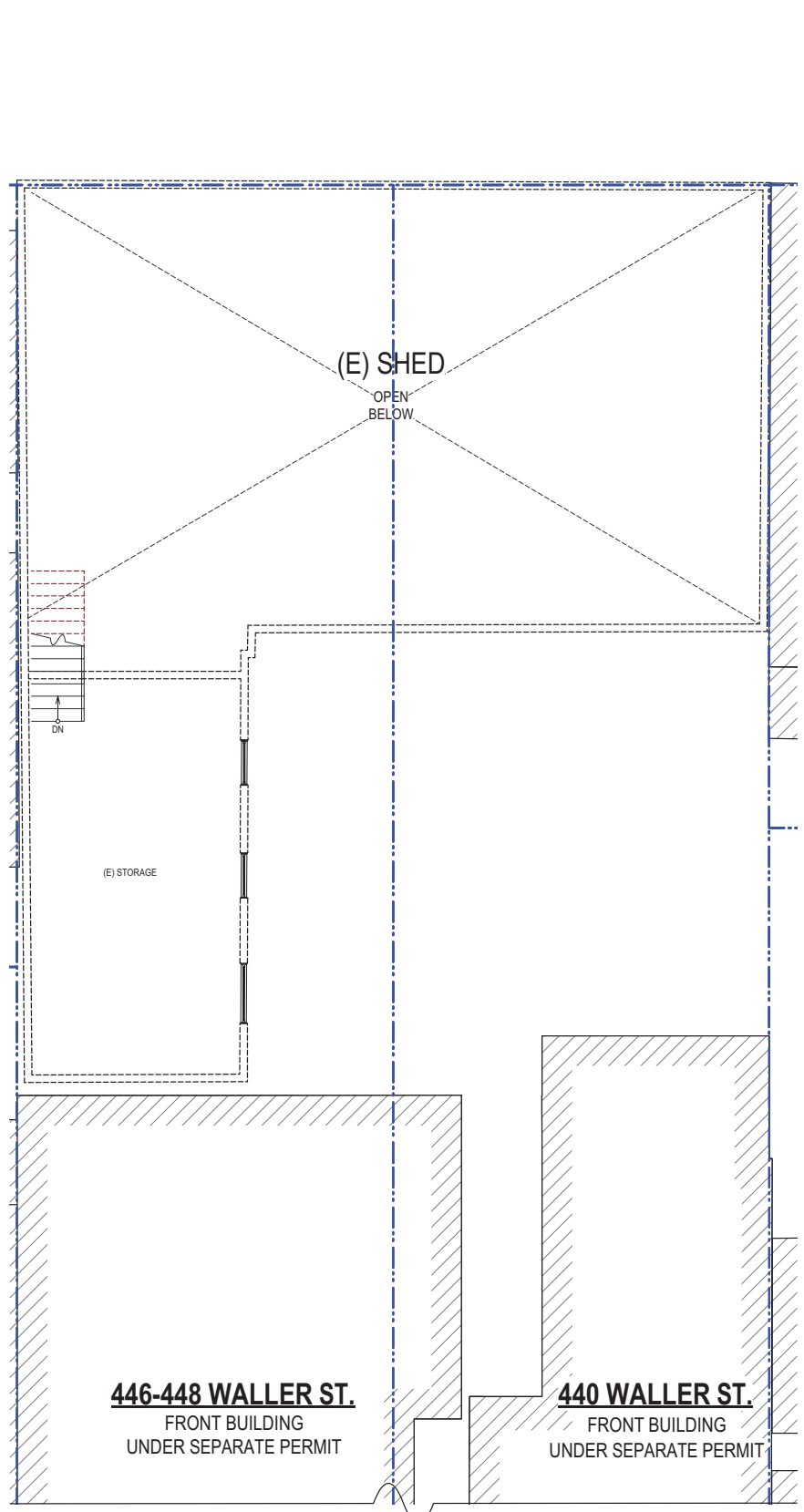
REVISED DATE 12/18/2019

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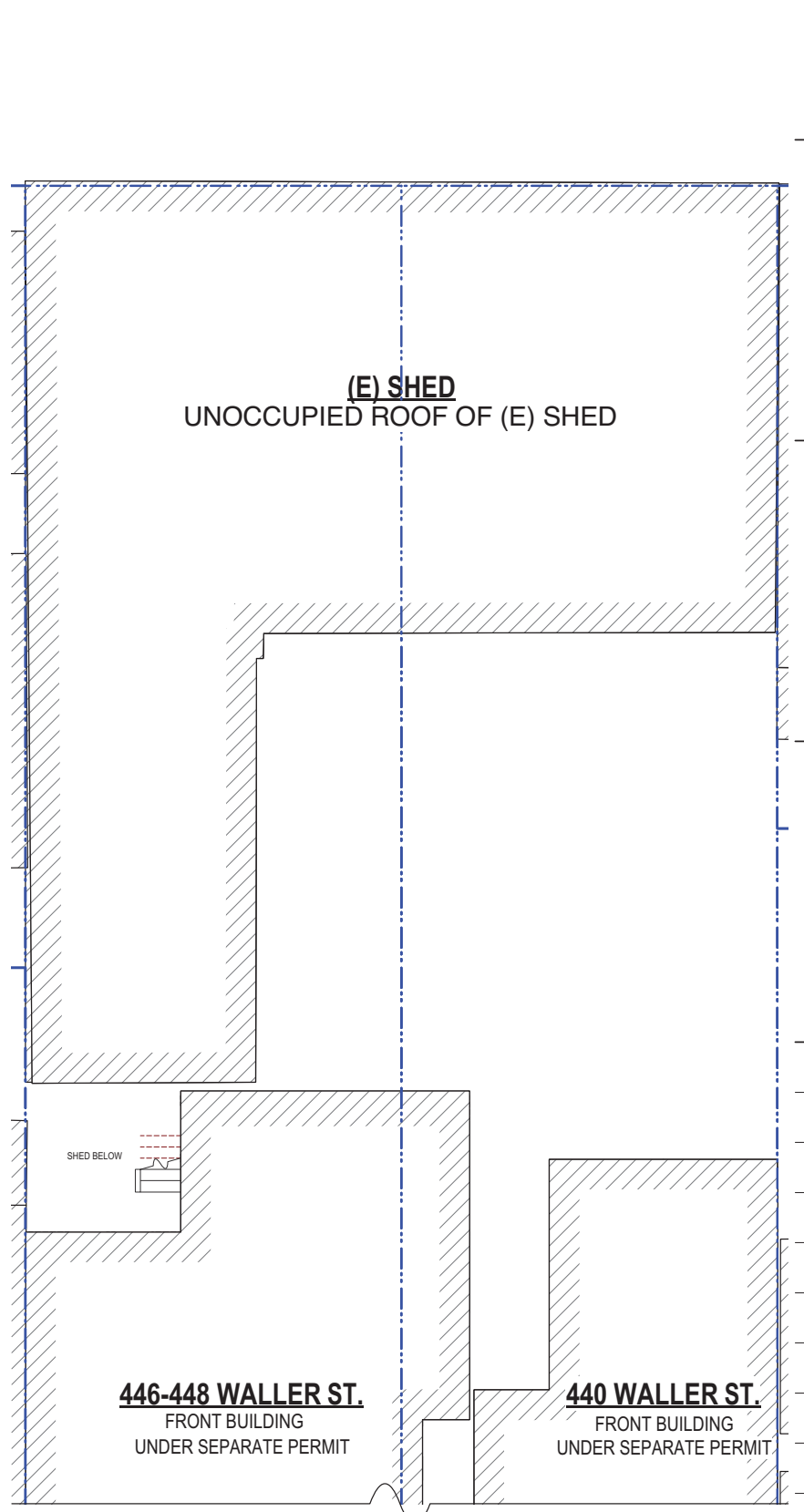
SHEET NO. **A-2.1**



Existing First Floor Plan



Existing Second Floor Plan



Existing Roof Plan

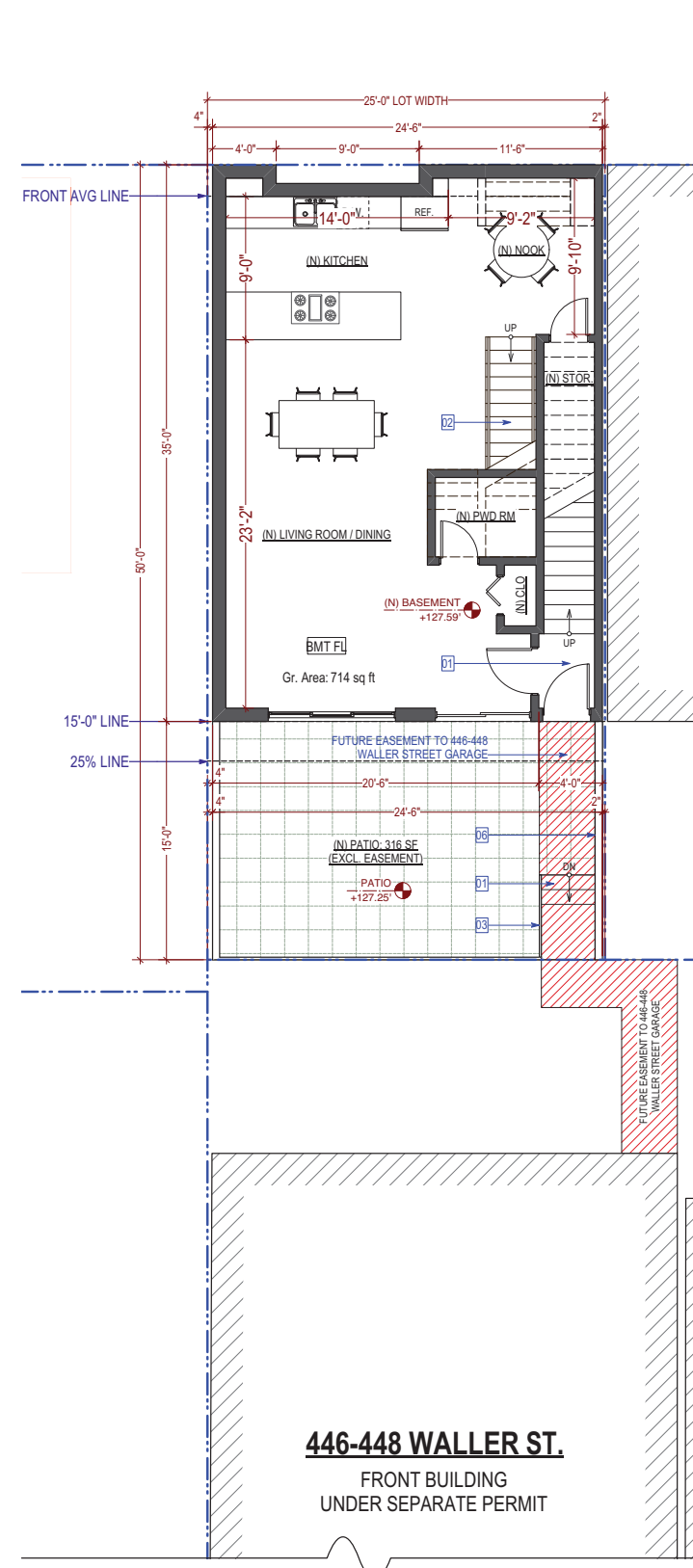
	PROPERTY LINE
	(E) WALL TO BE REMOVED
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PROJECT NAME
**446-448 Waller St.
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 SAN FRANCISCO, CA**
 (Future 241-243 Laussat St)

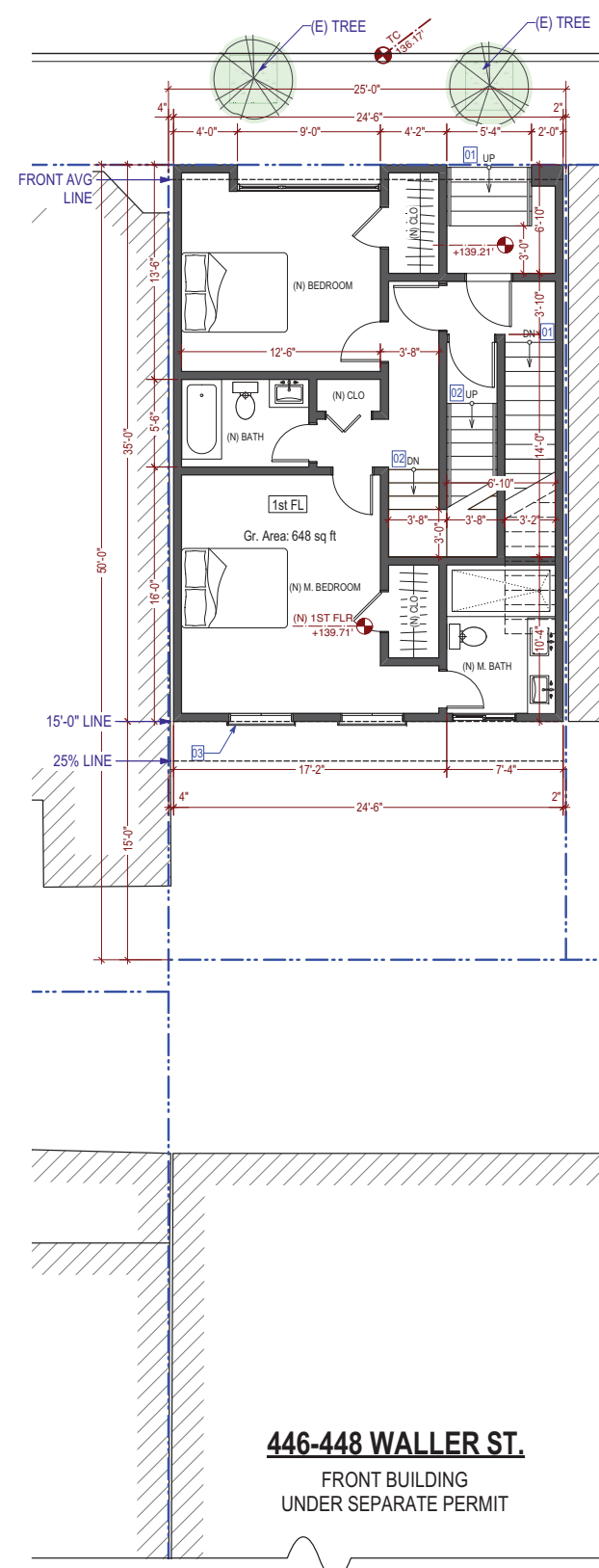


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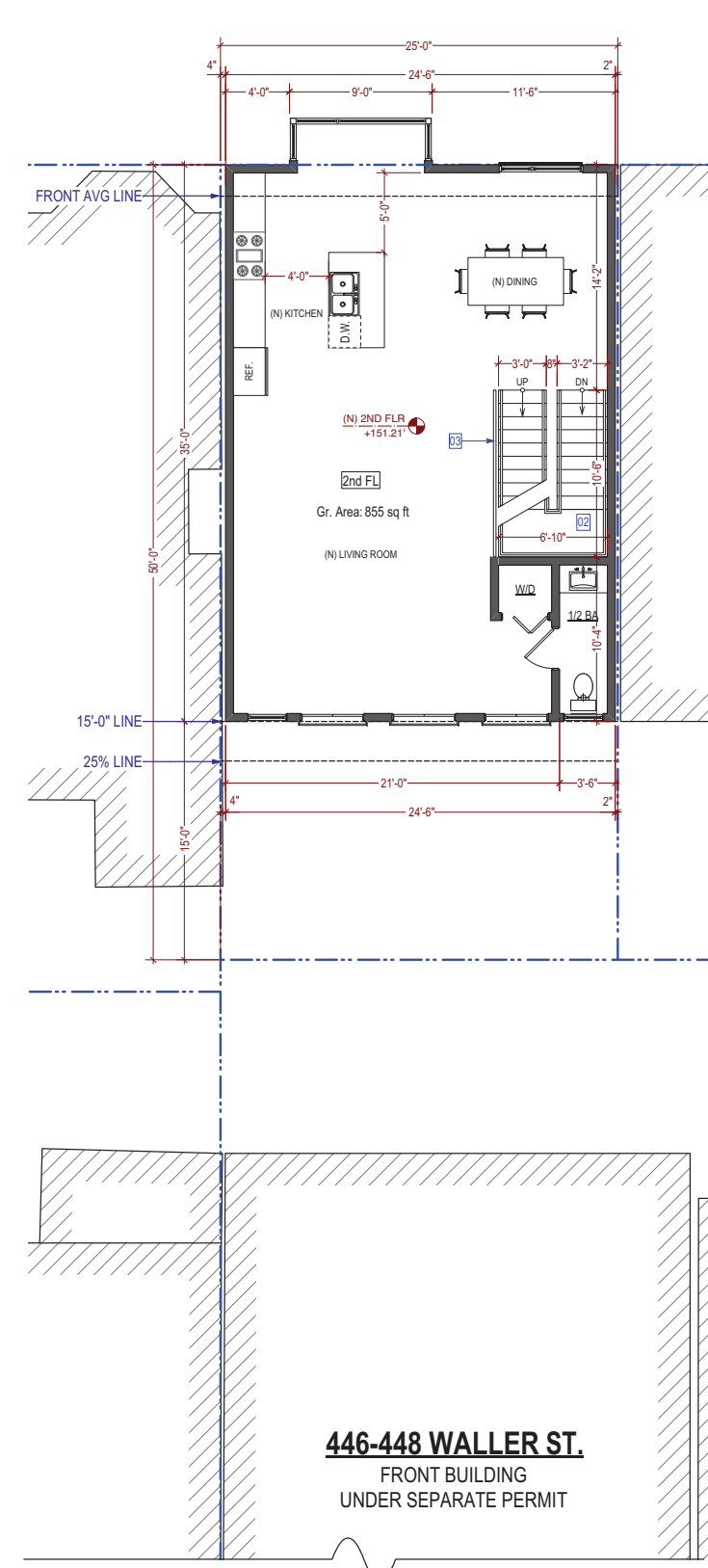
SHEET TITLE
**Proposed
 Basement-Second
 Floor Plans**



Proposed Basement Floor Plan



Proposed First Floor Plan



Proposed Second Floor Plan

- PLAN KEY NOTES:**
- 01 11" MIN. RUN, 7" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. NOSINGS, TYP.
 - 02 10" MIN. RUN, 7.75" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. STAIR NOSINGS, TYP.
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PROJECT NAME
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 SAN FRANCISCO, CA**
 (Future 241-243 Laussat St)



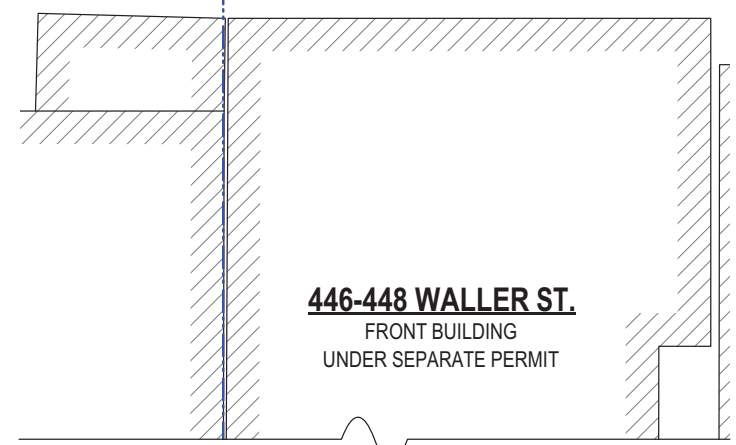
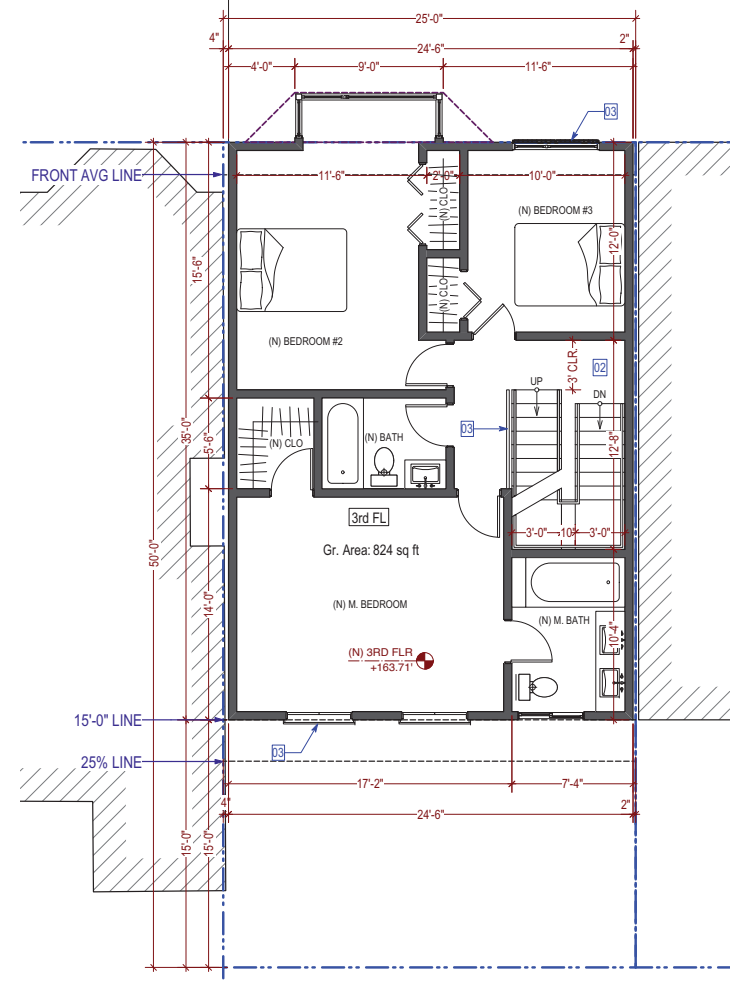
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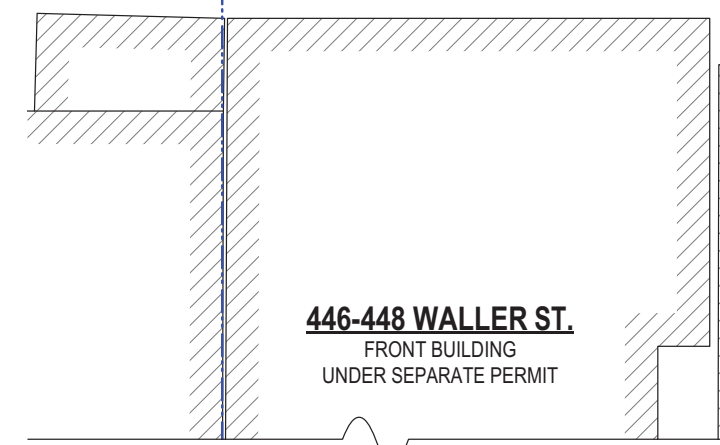
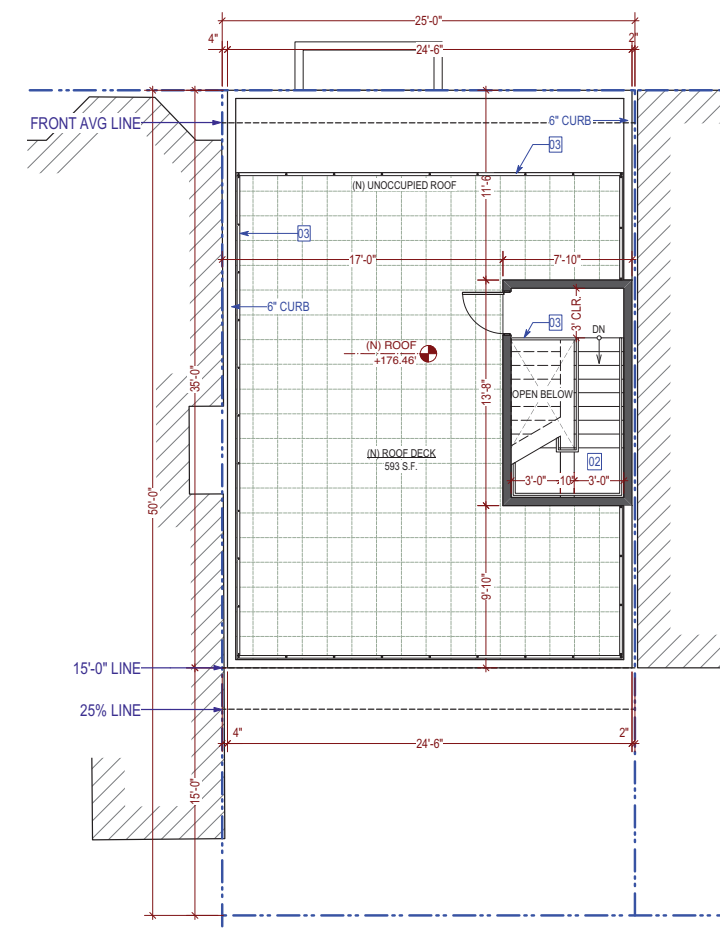
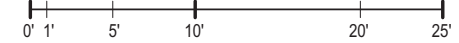
Proposed Third Floor & Roof Plans

PLAN KEY NOTES:

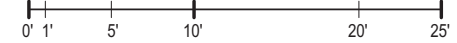
- 01 11" MIN. RUN, 7" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. NOSINGS, TYP.
- 02 10" MIN. RUN, 7.75" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. STAIR NOSINGS, TYP.
- 03 PROV. OPEN METAL GUARDRAIL W/ OPENINGS LESS THAN 3.95", 42" HIGH MIN., TYP.
- 04 PROV. SAFETY GLASS GUARDRAIL, OPENINGS LESS THAN 3.95", 42" HIGH MIN., TYP.
- 05 WALLS & CEILINGS OF THE GARAGE AREA SHALL BE COVERED W/ 5/8" GYP. BD. TYPE (X).
- 06 1-HR FIRE RATED PARAPET, 30" HIGH MIN., SEE PLANS



Proposed Third Floor Plan



Proposed Roof Plan



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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN SH.R.

CHECKED R.K.

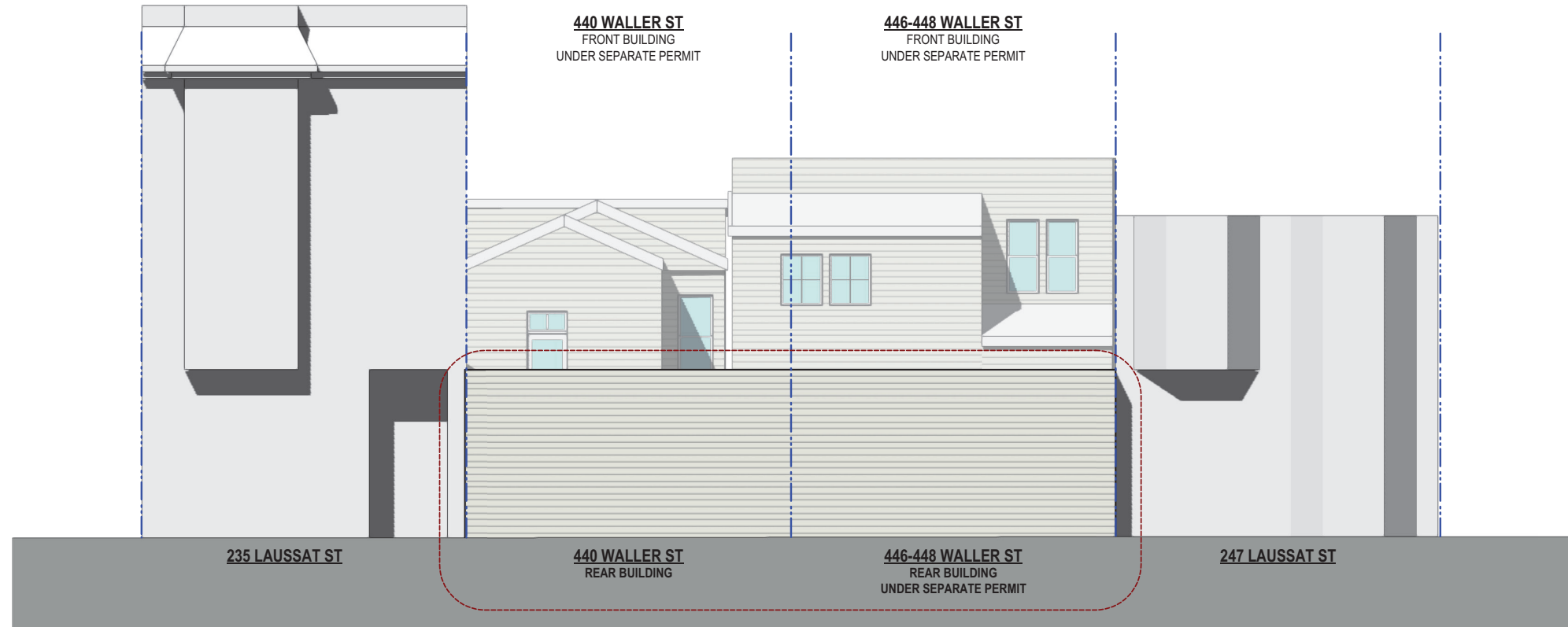
DATE 12/05/2016

REVISED DATE 12/18/2019

JOB NO. 16-1726

SHEET NO.

A-2.3



Existing Front Elevation (North)



Proposed Front Elevation (North)



PROJECT NAME

**446-448 Waller St.
(Rear building)
SAN FRANCISCO, CA**

(Future 241-243 Laussat St)



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
T: (415) 741.1292
F: (415) 849.1252
WWW.SIACONSULT.COM

SHEET TITLE

**Front Elevations
(Laussat Street)**

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

FACADE MATERIALS KEY NOTES:

- 01 HIGH QUALITY SMOOTH PLASTER, TYP.
- 02 WOOD HORIZONTAL SIDING, TYP.
- 03 WOOD CAP, TYP.
- 04 WOOD TRIM, TYP.
- 05 P.T. PLYWD. BLINDWALL, TYP.
- 06 PAINTED METAL RAILINGS, 42" HIGH MIN., TYP. OPENINGS LESS THAN 3.95"
- 07 GUARDRAIL W/ SAFETY GLASS, 42" HIGH MIN. TYP.
- 08 SOLIDENTRY DOOR, WOOD
- 09 WOOD OVERHEAD GARAGE DOOR
- 10 ALUMINUM WINDOW, W/ WOOD CLAD & LOW E CLR. GLASS, TYP.
- 11 ALUMINUM PATIO DOOR W/ WOOD CLAD & CLR. GLASS, TYP.
- 12 CONTROL JOINTS, TYP.
- 13 SOLID ENTRY DOOR, ALUM.

DRAWN SH.R.

CHECKED R.K.

DATE 12/05/2016

REVISED DATE 12/18/2019

JOB NO. 16-1726

SHEET NO.
A-3.1



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
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Left Elevations (East)

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN SH.R.

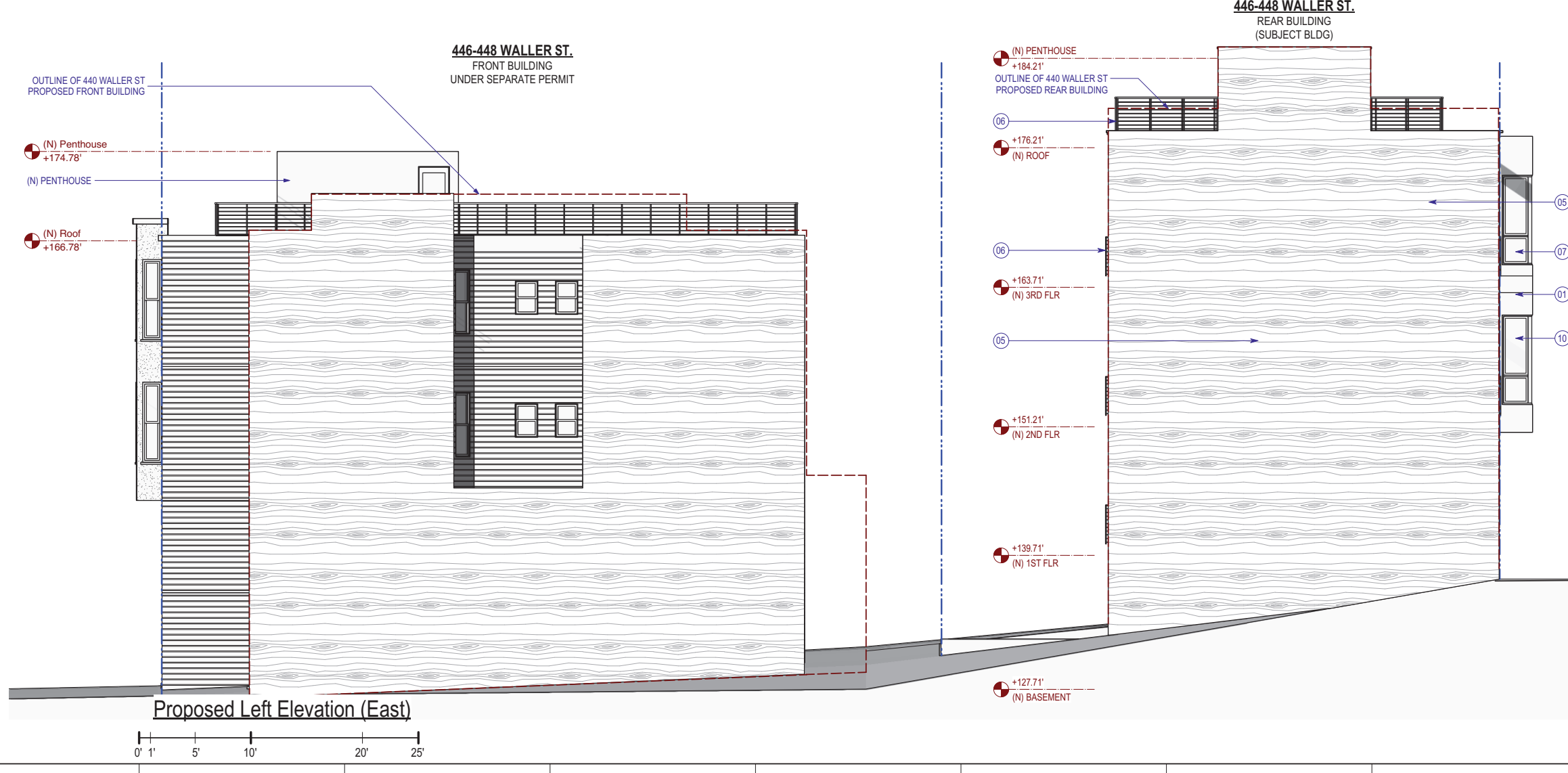
CHECKED R.K.

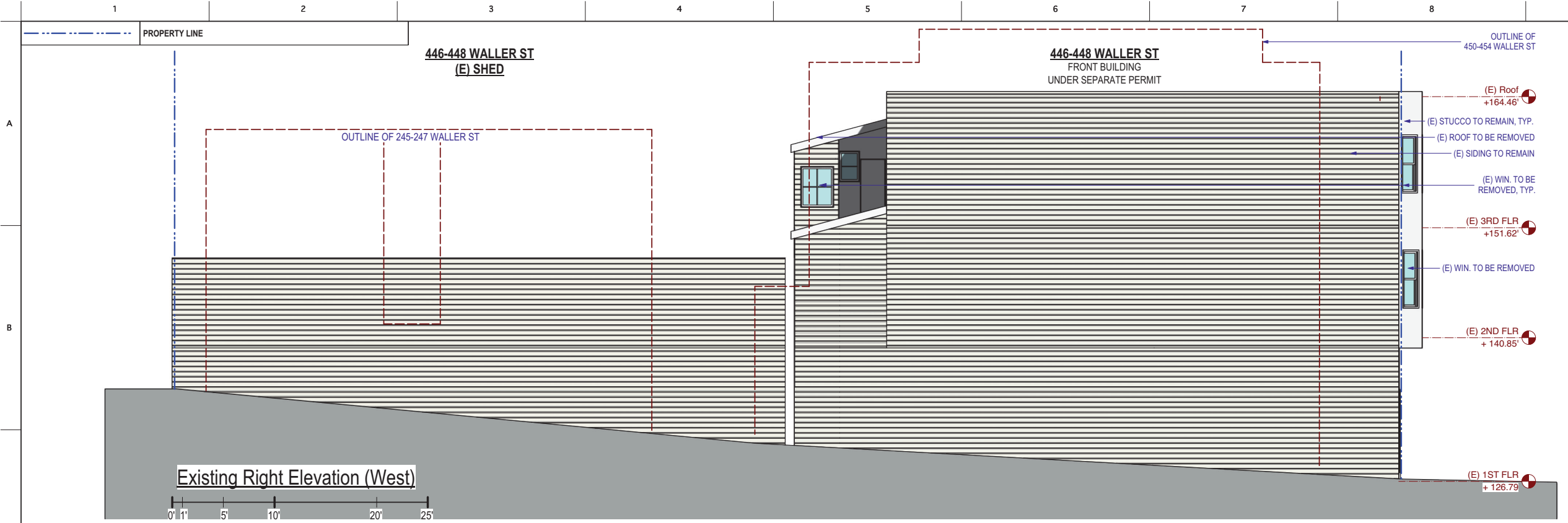
DATE 12/05/2016

REVISED DATE 12/18/2019

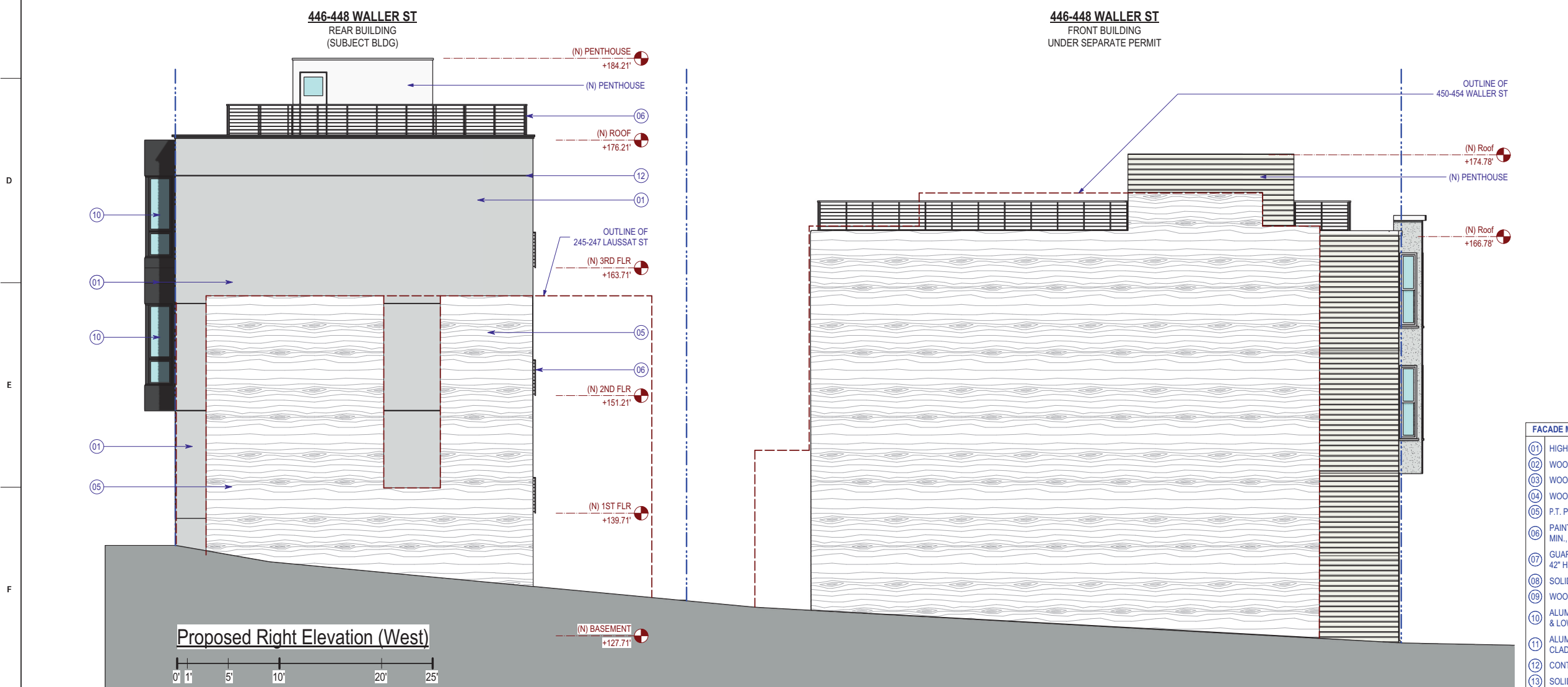
JOB NO. 16-1726

SHEET NO. A-3.2





Existing Right Elevation (West)



Proposed Right Elevation (West)

FACADE MATERIALS KEY NOTES:

- 01 HIGH QUALITY SMOOTH PLASTER, TYP.
- 02 WOOD HORIZONTAL SIDING, TYP.
- 03 WOOD CAP, TYP.
- 04 WOOD TRIM, TYP.
- 05 P.T. PLYWD. BLINDWALL, TYP.
- 06 PAINTED METAL RAILINGS, 42" HIGH MIN., TYP. OPENINGS LESS THAN 3.95"
- 07 GUARDRAIL W/ SAFETY GLASS, 42" HIGH MIN. TYP.
- 08 SOLIDENTRY DOOR, WOOD
- 09 WOOD OVERHEAD GARAGE DOOR
- 10 ALUMINUM WINDOW, W/ WOOD CLAD & LOW E CLR. GLASS, TYP.
- 11 ALUMINUM PATIO DOOR W/ WOOD CLAD & CLR. GLASS, TYP.
- 12 CONTROL JOINTS, TYP.
- 13 SOLID ENTRY DOOR, ALUM.

PROJECT NAME
**446-448 Waller St.
 (Rear building)
 SAN FRANCISCO, CA**
 (Future 241-243 Laussat St)



SIA CONSULTING CORPORATION
 1256 HOWARD STREET
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SHEET TITLE
**Right Elevations
 (West)**

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN	SH.R.
CHECKED	R.K.
DATE	12/05/2016
REVISED DATE	12/18/2019
JOB NO.	16-1726
SHEET NO.	A-3.3

PROJECT NAME
446-448 Waller St.
(Rear building)
SAN FRANCISCO, CA

(Future 241-243 Laussat St)



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 SAN FRANCISCO CA 94103
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 F: (415) 849.1252
 WWW.SIACONSULT.COM

SHEET TITLE

Rear Elevations
(South)

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN SH.R.

CHECKED R.K.

DATE 12/05/2016

REVISED DATE 12/18/2019

JOB NO. 16-1726

SHEET NO.
A-3.4

Existing Rear Elevation (South)



Proposed Rear Elevation (South)



--- PROPERTY LINE

FACADE MATERIALS KEY NOTES:

- 01 HIGH QUALITY SMOOTH PLASTER, TYP.
- 02 WOOD HORIZONTAL SIDING, TYP.
- 03 WOOD CAP, TYP.
- 04 WOOD TRIM, TYP.
- 05 P.T. PLYWD. BLINDWALL, TYP.
- 06 PAINTED METAL RAILINGS, 42" HIGH MIN., TYP. OPENINGS LESS THAN 3.95"
- 07 GUARDRAIL W/ SAFETY GLASS, 42" HIGH MIN. TYP.
- 08 SOLIDENTRY DOOR, WOOD
- 09 WOOD OVERHEAD GARAGE DOOR
- 10 ALUMINUM WINDOW, W/ WOOD CLAD & LOW E CLR. GLASS, TYP.
- 11 ALUMINUM PATIO DOOR W/ WOOD CLAD & CLR. GLASS, TYP.
- 12 CONTROL JOINTS, TYP.
- 13 SOLID ENTRY DOOR, ALUM.



San Francisco Planning

DISCRETIONARY REVIEW PUBLIC (DRP) APPLICATION

Discretionary Review Requestor's Information

Name: Thomas Drohan

Address: 436 Waller Street, San Francisco, CA 94117 Email Address: tomedrohan@gmail.com

Telephone: 415-728-7134

Information on the Owner of the Property Being Developed

Name: Jody Knight (applicant)

Company/Organization: Reuben Junius and Rose

Address: 1 Bush Street, Suite 600, San Francisco, CA 94104 Email Address: jknight@reubenlaw.com

Telephone: 415-567-9000

Property Information and Related Applications

Project Address: 440-448 Waller Street

Block/Lot(s): 0860/013

Building Permit Application No(s): _____, 2019.01.30.1623, _____

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case? (including Community Boards)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Changes Made to the Project as a Result of Mediation.
 If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes that were made to the proposed project.

DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

See Attachment 1

-
2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

See Attachment 2

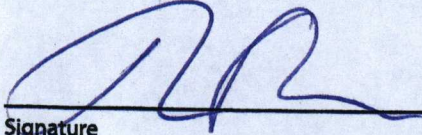
-
3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

See Attachment 3

DISCRETIONARY REVIEW REQUESTOR'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

a) The undersigned is the DR requestor or their authorized representation.



Signature

Thomas Drohan

Name (Printed)

self

415-728-7134

tomedrohan@gmail.com

Relationship to Requestor
(i.e. Attorney, Architect, etc.)

Phone

Email

For Department Use Only

Application received by Planning Department:

By: Heidi Kline

Date: 2/12/2020

Attachment A

The entire project consists of 2 newly constructed 2-unit, four story buildings in the rear yard of the property at 440 Waller and 446-448 Waller Street, as well as additional vertical and horizontal construction at the existing buildings on Waller.

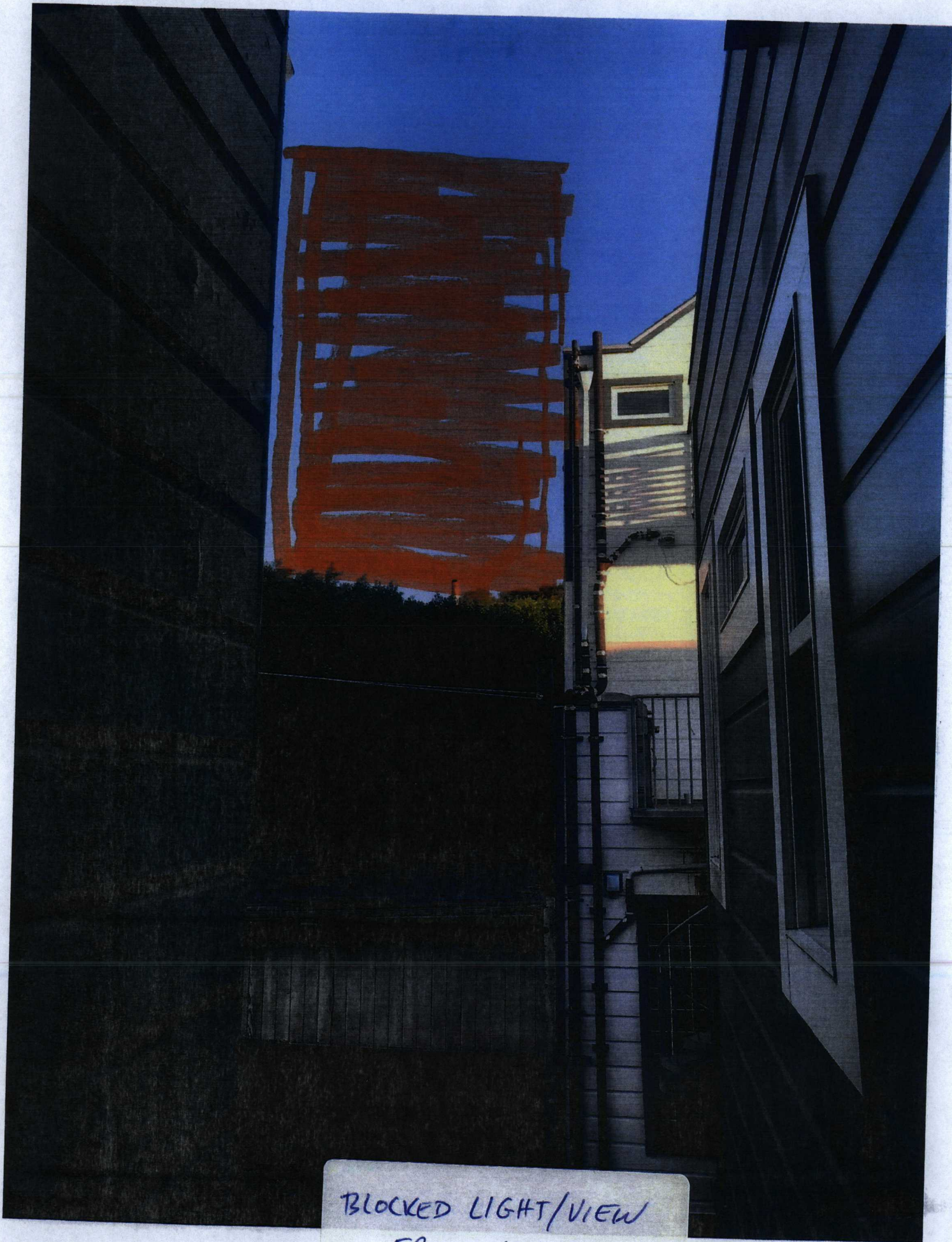
The project violates the guideline of minimizing the impact on light and privacy to adjacent properties due to excessive height and excessive encroachment in the rear yard of the rear buildings (future 241-243 Laussat) and the 446-448 building. The project as designed will, due to its overall size, significantly reduce the light and air on the 434-436 Waller property (and others), and impact the existing housing character of the area. Residential Design Guidelines, pg. 16; Planning Code §_101.1(b). In addition, the building's form is not compatible with that of surrounding buildings. Residential Design Guidelines, pg. 23.

The attached photos show how the light and view would be affected from 434 Waller Street. The effect on the light is even more pronounced at 436 Waller Street (lower unit).

Attachment A

The entire project consists of 2 newly constructed 2-unit, four story buildings in the rear yard of the property at 440 Waller and 446-448 Waller Street, as well as additional vertical and horizontal construction at the existing buildings on Waller.

The project violates the guideline of minimizing the impact on light and privacy to adjacent properties due to excessive height and excessive encroachment in the rear yard of the rear buildings (future 241-243 Laussat) and the 446-448 building. The project as designed will, due to its overall size, significantly reduce the light and air on the 434-436 Waller property (and others), and impact the existing housing character of the area. Residential Design Guidelines, pg. 16; Planning Code §_101.1(b). In addition, the building's form is not compatible with that of surrounding buildings. Residential Design Guidelines, pg. 23.

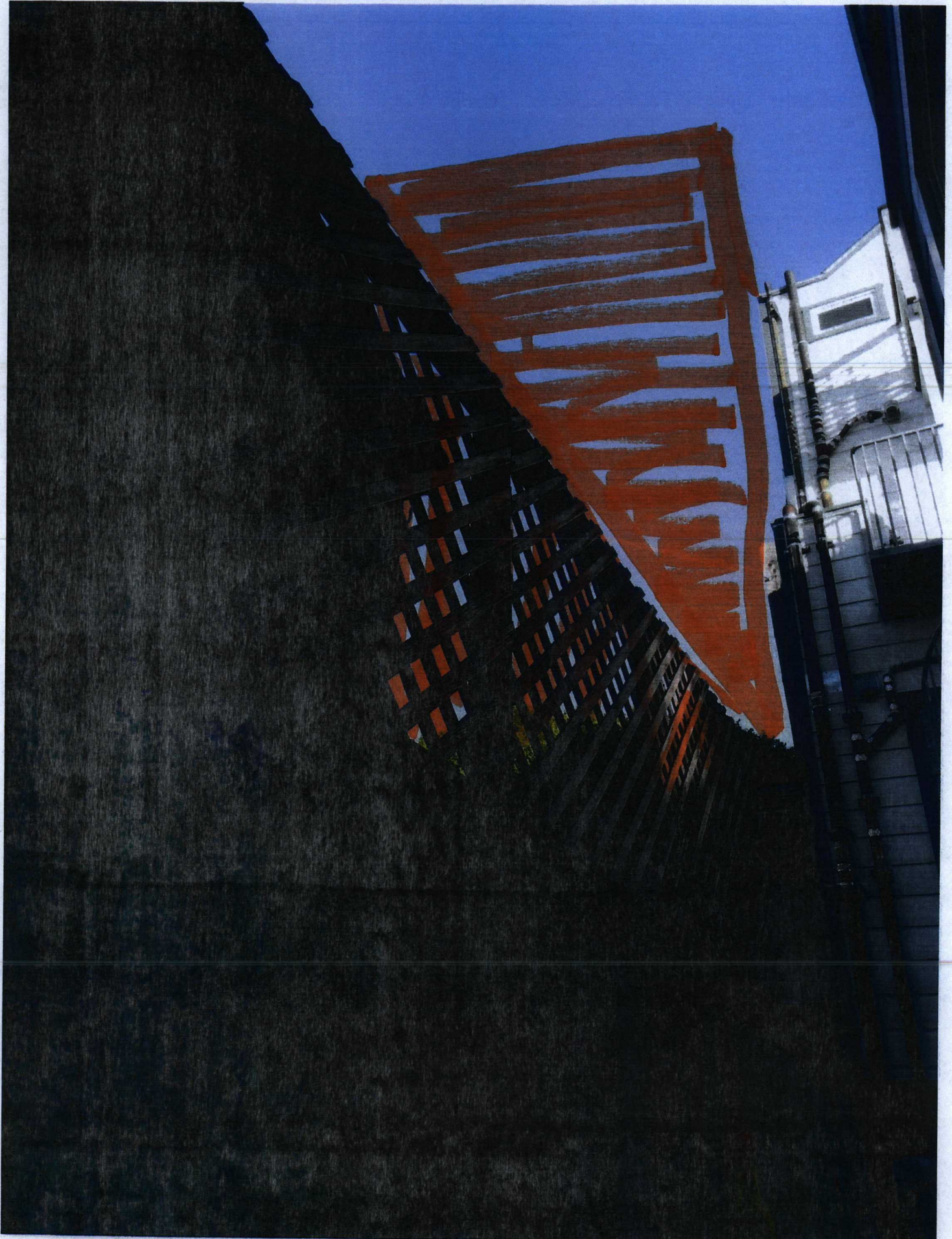


BLOCKED LIGHT/VIEW

FROM 434 WALLER



BLOCKED LIGHT/VIEW
FROM 434 WALLER



Attachment B

The effect of the of the project would have significant impact on 434-436 Waller, as well as 428 Waller, particularly given the encroachment by the addition at the rear of 235 Laussat. The open aspect of the combined rear yards would be unreasonably cut off, to the detriment of all due to lack of light and view.

Attachment C

Elimination of the fourth floors of the rear buildings would substantially lessen the mass and impact of the project.

RESPONSE TO DISCRETIONARY REVIEW (DRP)



San Francisco
Planning

SAN FRANCISCO PLANNING DEPARTMENT
1650 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94103-2479
MAIN: (415) 558-6378 SFPLANNING.ORG

Project Information

Property Address:

Zip Code:

Building Permit Application(s):

Record Number:

Assigned Planner:

Project Sponsor

Name:

Phone:

Email:

Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)		
Occupied Stories (all levels with habitable rooms)		
Basement Levels (may include garage or windowless storage rooms)		
Parking Spaces (Off-Street)		
Bedrooms		
Height		
Building Depth		
Rental Value (monthly)		
Property Value		

I attest that the above information is true to the best of my knowledge.

Signature:	Date:
Printed Name:	<input type="checkbox"/> Property Owner <input type="checkbox"/> Authorized Agent

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

Attachment A

440-448 Waller Discretionary Review Response

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved?

A. The Project is Appropriate for the Site and Provides Much Needed Dwelling Units

The Project proposes to demolish a rear shed and divide the existing two lots into three lots, with one merged lot fronting on Waller Street and two new lots fronting on Laussat Street. The Project further proposes to add two new two-unit buildings to the new lots fronting on Laussat Street and to modify the existing buildings on Waller Street. The current configuration on Laussat Street creates an unattractive gap in residential use, with a blank wall at the rear of the existing shed. The Project would close that gap with two new well-designed three story over basement residential buildings, consistent with surrounding properties.

The Laussat Street buildings would have Code-compliant 15 foot rear yards. The Project requires a variance for lot size because the new lots on Laussat Street would be 1,250 square feet and for rear yard because the Waller Street lots will have rear yards of 12'2" for 446-448 Waller Street and 15 feet for 440 Waller Street, which are less than the 17 foot 25% rear yards provided for in the Planning Code. The proposed rear yards are consistent with the block and actually larger than the midblock open space on many of the lots on the block.

The proposal for 440 Waller Street would include a minor height increase of four feet six inches to allow for the addition of a fourth floor. A notch between 440 Waller Street and 446-448 Waller Street would be filled in, but that would have no impact on the DR Requestor's property at 436 Waller Street. Moreover, a rear sun porch would be removed from 440 Waller Street, with the depth of the building reduced from 54'11" to 47'2." Therefore, the proposed changes to 440 Waller Street would actually benefit the DR Requestor's property. The back of 436 Waller Street has a kitchen and small sitting area with three square windows that face west. The porch blocks about half the windows. Removal of the porch will increase direct late afternoon sunlight into 436 Waller Street, benefiting that property. Moreover, the size of the combined rear yards is much larger than anything else on the block (See **Exhibit A**, attached map of mid-block open space).

The proposal for 446-448 Waller Street would include a height increase of two feet two inches to allow for the addition of a new second floor and raising the upper floors. It would also involve a minor rear addition but overall shortening of the building and cosmetic changes to the front facade.

The garage of the 446-448 Waller Street building, which currently contains two car parking spaces, would be expanded to accommodate four car parking spaces, with one car dedicated to each of the new rear units and one car parking space dedicated to each of the two front units. The Project would add three car parking spaces to the 440 Waller Street building, with one dedicated to each of the new rear units and one parking space dedicated to the front building. These parking spaces would contribute to the family-friendly nature of the dwelling units. In order to remain in the City,

many families want to maintain one vehicle for the household. Furthermore, neighbors do not want to see street parking on narrow Laussat Street become even more difficult.

B. The DR Challenges Construction of Two Three Story over Basement Buildings on Laussat Street That are Entirely Consistent with the Streetfront

The DR Requestor alleges impacts to light and privacy of surrounding buildings due to excessive height and encroachment into the rear yard from the construction on Laussat Street. The Discretionary Review Application also provides photos with the alleged massing of the Laussat Street buildings drawn in. These photos are not to scale for the proposed development and do not correctly show perspective. The difference between the two story existing shed and three story over basement buildings proposed has a minor impact on the view of the sky from 436 Waller. The current view of the open sky from both units at 436 Waller Street is very limited, and will not be detrimentally impacted by the Project. In fact, demolition of the existing two-story shed will open up the mid-block space at 446-448 Waller, benefitting all of the surrounding lots.

The Project proposes three story over basement buildings in Laussat Street that would be separated from 436 Waller Street by both properties' rear yards. The Laussat Street buildings are compatible with both the surrounding buildings on Laussat Street and the buildings on Waller Street. The distance between the DR Requestor's house and the new buildings provides more than sufficient access to light and air. Moreover, the Laussat Street buildings are to the north of the DR Requestor's home and will not block significant sunlight.

The DR Requestor does not appear to challenge the modification of the Waller Street buildings. The changes to 440 and 446-448 Waller Street increase the livability of the existing buildings significantly while not negatively impacting surrounding buildings. In fact, the facade changes will improve the aesthetics of the block as a whole.

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

Prior to filing of the DR Application, DR Requestor Thomas Drohan did not reach out to the Project Sponsor or attend the pre-application meeting. The Sponsor Team was surprised to receive the DR Request, as the Project does not detrimentally impact surrounding properties, and other neighbors are supportive of the Project and glad to see the shed demolished.

Drohan's request to remove a story from the Laussat Street buildings would eliminate two family-size units from the City's housing stock and create buildings out of scale with the streetfront on Laussat. Therefore, there are no reasonable changes to be made in response to the DR Request.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other

personal requirements that prevent you from making the changes requested by the DR requester.

The Project will demolish an unattractive rear shed and build well-designed buildings on Laussat Street. The DR Requestor requests removal of the top floors of the Laussat Street buildings, which would prevent the addition of four two-bedroom family size units. As discussed above, the Project does not negatively impact surrounding buildings, and actually benefits adjacent properties by removing a decrepit shed and adding well-designed housing to the block. Therefore, no changes to the Project are warranted.

Exhibit A



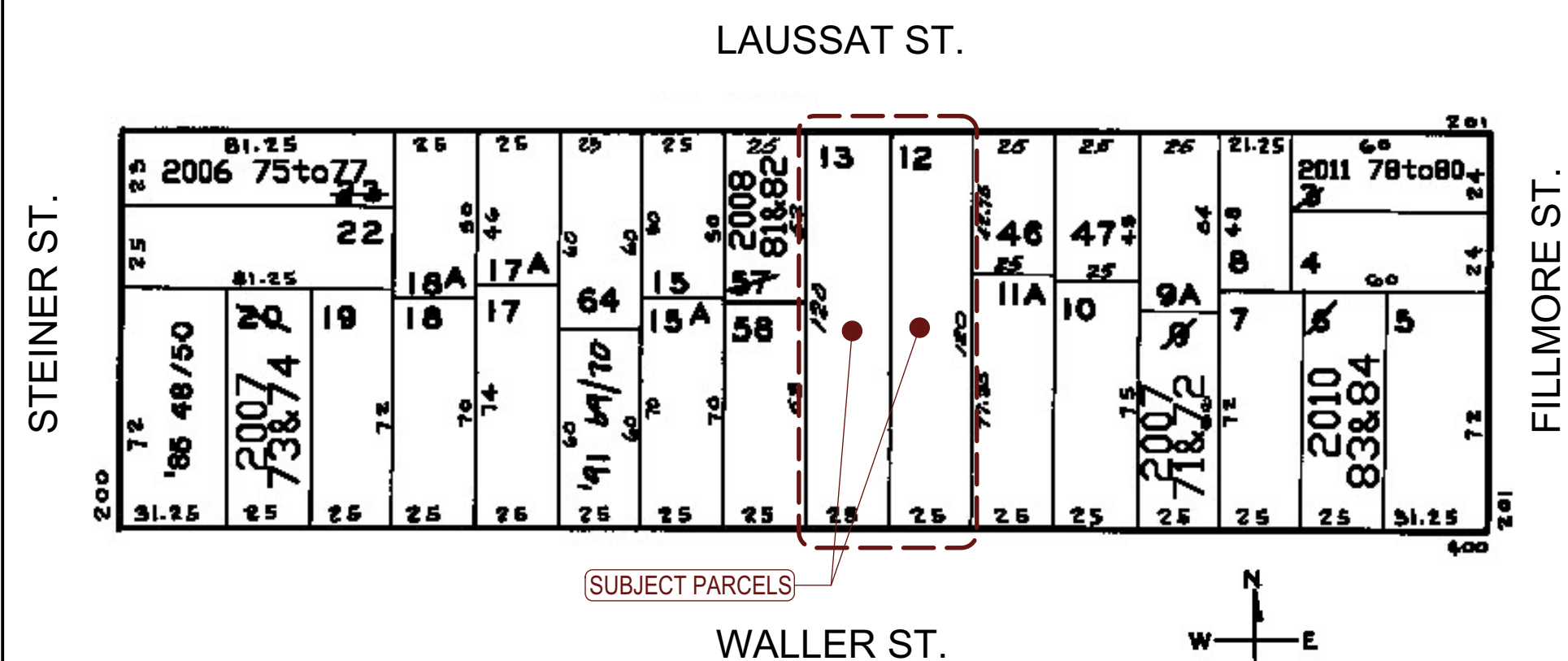
(E) MID-BLOCK PATTERN DIAGRAM
N.T.S

DRAWING INDEX

ARCHITECTURAL

A-0.1	COVER SHEET
A-0.2	PROJECT DATA
A-0.3	PROJECT PHOTOS: WALLER STREET
A-0.4	PROJECT PHOTOS: LAUSSAT STREET
A-0.5	3D ISOMETRIC FRONT VIEWS
A-0.6	3D ISOMETRIC REAR VIEWS
A-0.7	VICINITY MAP
C-1.0	SURVEY
A-1.0	EXISTING & PROPOSED SITE PLAN
A-2.0	(E) FIRST FLOOR PLAN
A-2.1	(E) SECOND FLOOR PLAN
A-2.2	(E) THIRD FLOOR PLAN
A-2.3	(E) ROOF PLAN
A-2.4	(N) FIRST FLOOR PLAN
A-2.5	(N) SECOND FLOOR PLAN
A-2.6	(N) THIRD FLOOR PLAN
A-2.7	(N) FOURTH FLOOR PLAN
A-2.8	(N) ROOF PLAN
A-3.1	FRONT ELEVATIONS - WALLER ST.
A-3.2	FRONT ELEVATIONS - LAUSSAT ST.
A-3.3	LEFT ELEVATIONS
A-3.4	RIGHT ELEVATIONS
A-3.5	REAR ELEVATIONS
A-4.1	SECTION A
A-4.2	SECTION B
A-4.3	LINE OF SIGHT DIAGRAM
A-6.1	DEMO CALCULATIONS - 440 WALLER ST
A-6.2	DEMO CALCULATIONS - 446-8 WALLER ST

ASSESSOR'S MAP



ABBREVIATION

#	POUND OR NUMBER	GYP	GYPSUM
&	AND	H.C.	HANDICAPPED
@	AT	HI	HIGH
ABV	ABOVE	HM	HOLLOW METAL
ACT	ACOUSTIC CEILING TILE	HP	HIGH POINT
AD	AREA DRAIN	HR	HOUR
ADJ	ADJACENT	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
AFF	ABOVE FINISHED FLOOR	IRGWB	IMPACT RESISTANT GYPSUM WALLBOARD
ALUM	ALUMINUM	ILO	IN LIEU OF
APPROX	APPROXIMATE	INSUL	INSULATED
ANOD	ANODIZED	INT	INTERIOR
ASPH	ASPHALT	LO	LOW
AVG	AVERAGE	MAX	MAXIMUM
BD	BOARD	MECH	MECHANICAL
BLDG	BUILDING	MEMBR	MEMBRANE
BLKG	BLOCKING	MIN	MINIMUM
BOT	BOTTOM	MO	MASONRY OPENING
BSMT	BASEMENT	MTL	METAL
BST	BOTTOM OF STAIRS	(N)	NEW
BYND	BEYOND	NIC	NOT IN CONTRACT
CIP	CAST IN PLACE	NO	NUMBER
CHNL	CHANNEL	NOM	NOMINAL
CJ	CONTROL JOINT	N.T.S.	NOT TO SCALE
CLG	CEILING	O.C.	ON CENTER
CLO	CLOSET	OFF	OFFICE
CLR	CLEAR	OH	OPPOSITE HAND
CNTR	COUNTER	OZ	OUNCE
CMU	CONCRETE MASONRY UNIT	PCC	PRE-CAST CONCRETE
COL	COLUMN	P.L.	PROPERTY LINE
COMPR	COMPRESSIBLE	PLUMB	PLUMBING
CONC	CONCRETE	PLYD	PLYWOOD
CONT	CONTINUOUS	PT	PRESSURE TREATED
CORR	CORRIDOR	PNT	PAINT/PAINTED
CPT	CARPET	PVC	POLYVINYL CHLORIDE
CT	CERAMIC TILE	RBR	RUBBER
CTR	CENTER	RCP	REFLECTED CEILING PLAN
CTYD	COURTYARD	RD	ROOF DRAIN
DBL	DOUBLE	RDWD	REDWOOD
DEMO	DEMOLISH	REQD	REQUIRED
DET	DETAIL	RM	ROOM
D.F.	DRINKING FOUNTAIN	S.F.	SQUARE FOOT
DIA	DIAMETER	SIM	SIMILAR
DIMS	DIMENSIONS	SPEC	SPECIFIED OR SPECIFICATION
DN	DOWN	SPK	SPRINKLER
DR	DOOR	SSTL	STAINLESS STEEL
DWG	DRAWING	STC	SOUND TRANSMISSION COEFFICIENT
(E)	EXISTING	STD	STANDARD
EA	EACH	STL	STEEL
EL	ELEVATION	STRUCT	STRUCTURAL
ELEC	ELECTRICAL	SQ.	SQUARE
ELEV	ELEVATOR/ELEVATION	T&G	TONGUE AND GROOVE
EQ	EQUAL	TC	TOP OF CURB
EXCL	EXCLUDE	TELE	TELEPHONE
EXP JT	EXPANSION JOINT	TLT	TOILET
EXT	EXTERIOR	TO	TOP OF
F.D.	FLOOR DRAIN	TOC	TOP OF CONCRETE
FEC	FIRE EXTINGUISHER CABINET	TOS	TOP OF STEEL
FIXT	FIXTURE	TP	TOILET PAPER DISPENSER
FLR	FLOOR	T/D	TELEPHONE/DATA
FLUOR	FLUORESCENT	TST	TOP OF STAIRS
FM	FILLED METAL	TYP	TYPICAL
FND	FOUNDATION	U.N.O.	UNLESS NOTED OTHERWISE
FO	FACE OF	UIS	UNDERSIDE
F.O.F.	FACE OF FINISH	V.I.F.	VERIFY IN FIELD
FURR	FURRING	VP	VISION PANEL
GA	GAUGE	W/	WITH
GALV	GALVANIZED	WD	WOOD
G.B.	GRAB BAR	W.H.	WATER HEATER
GND	GROUND		
GRP	GROUP		
GWB	GYPSUM WALL BOARD		

SCOPE OF WORK

- 440 WALLER ST FRONT BLDG. :**

 - VARIANCE FOR REAR YARD OF 15' INSTEAD OF THE 17'6" REQUIRED BY CODE
 - HORIZONTAL & VERTICAL ADDITION
 - ADD ONE STORY ON TOP OF (E) THREE STORY BLDG
 - RAISE THE EXISTING STRUCTURE BY ± 4'-8"
 - INTERIOR REMODEL ON ALL FLOORS
 - LOT MERGER WITH 446-448 WALLER ST.
 - EASEMENT FROM 440 WALLER ST REAR BUILDING FOR REAR BLDG ACCESS (UNDER SEPARATE PERMIT)
- 440 WALLER ST REAR BLDG. :**
(Future 239-239A Laussat St)

 - VARIANCE FOR LOT SIZE OF 1,250 SF INSTEAD OF THE 2,500 SF REQUIRED BY CODE
 - ERECT 3 STORY OVER BASEMENT BLDG. W/ TWO DWELLING UNITS AT THE REAR OF 440 WALLER ST.
 - FUTURE EASEMENT TO 440 WALLER ST FRONT BUILDING'S GARAGE (UNDER SEPARATE PERMIT)
- 446-448 WALLER ST FRONT BLDG.:**

 - VARIANCE FOR REAR YARD OF 12'2" INSTEAD OF THE 17'6" REQUIRED BY CODE
 - TO RAISE THE EXISTING BLDG. BY ± 2'-4", ADD A FLOOR BETWEEN GROUND & SECOND FLOOR.
 - INTERIOR REMODEL ON ALL FLOORS
 - LOT MERGER WITH 440 WALLER ST.
 - FUTURE EASEMENT FROM 440 WALLER ST REAR BUILDING FOR REAR BLDG ACCESS (UNDER SEPARATE PERMIT)
- 446-448 WALLER ST REAR BLDG.:**
(Future 241-243 Laussat St)

 - VARIANCE FOR LOT SIZE OF 1,250 SF INSTEAD OF THE 2,500 SF REQUIRED BY CODE
 - VARIANCE FOR FRONT SETBACK OF 1' INSTEAD OF THE 1'6" REQUIRED BY CODE
 - ERECT 3 STORY OVER BASEMENT BLDG. W/ TWO DWELLING UNITS AT THE REAR OF 446-448 WALLER ST.
 - FUTURE EASEMENT TO 440 WALLER ST FRONT BUILDING'S GARAGE (UNDER SEPARATE PERMIT)

NOTE: WATERPROOFING OF BUILDING ENVELOPE IS NOT UNDER THE SCOPE OF THIS PERMIT. OWNER IS TO HIRE A WATERPROOFING EXPERT TO PROVIDE WATERPROOFING DETAILS

PROJECT NAME
440, 446-448 Waller St.
Front and Rear Bldgs
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
4742 MISSION STREET
SAN FRANCISCO CA 94112
T: (415) 741.1292
F: (415) 849.1252
WWW.SIACONSULT.COM

SHEET TITLE
Cover Sheet

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN	A.A.
CHECKED	R.K.
DATE	12/05/2016
REVISED DATE	05/26/2020
JOB NO.	16-1726
SHEET NO.	A-0.1

PROJECT DATA

PLANNING DATA:
 ADDRESS: **440 WALLER STREET (FRONT BUILDING)**
 BLOCK / LOT: 0860 / 012
 LOT AREA: 3,000 ± S.F. (SEE SITE PLAN)
 ZONING: RH-3

EXISTING # OF UNITS: 1 (NO CHANGE)
 ALLOWABLE HEIGHT: 40-X
 (E) BUILDING PEAK HEIGHT: ± 35'-4"
 (N) BUILDING HEIGHT: ± 40'-0"
 # OF COVERED PARKING SPACES: 2
 # OF BICYCLE PARKING SPACES: 1+2

(E) GROSS FLOOR AREA:
 FIRST FLOOR: 874 ± S.F.
 SECOND FLOOR: 937 ± S.F.
 THIRD FLOOR: 901 ± S.F.
TOTAL GROSS AREA: 2,712 ± S.F.

(N) GROSS FLOOR AREA:
 FIRST FLOOR: 910 ± S.F. (GARAGE)
 SECOND FLOOR: 973 ± S.F.
 THIRD FLOOR: 972 ± S.F.
 FOURTH FLOOR: 951 ± S.F.
TOTAL GROSS AREA: 3,806 ± S.F.
TOTAL CHANGE: 1,094 ± S.F.

BUILDING DATA:
 (E) NUMBER OF STORIES: 3
 (N) NUMBER OF STORIES: 4
 CONSTRUCTION TYPE: TYPE "V-A"
 OCCUPANCY GROUP: R-3 (NO CHANGE)
 APPLICABLE CODES: 2016 CALIFORNIA CODES EDITIONS
 W/ SAN FRANCISCO AMENDMENTS

PLANNING DATA:
 ADDRESS: **446-448 WALLER STREET (FRONT BUILDING)**
 BLOCK / LOT: 0860 / 013
 LOT AREA: 3,000 ± S.F. (SEE SITE PLAN)
 ZONING: RH-3

EXISTING # OF UNITS: 2 (NO CHANGE)
 ALLOWABLE HEIGHT: 40-X
 (E) BUILDING HEIGHT: ± 37'-8"
 (N) BUILDING HEIGHT: ± 39'-7"
 # OF COVERED PARKING SPACES: 2
 # OF BICYCLE PARKING SPACES: 2+2

(E) GROSS FLOOR AREA:
 FIRST FLOOR: 1,671 ± S.F.
 SECOND FLOOR: 1,736 ± S.F.
 THIRD FLOOR: 1,632 ± S.F.
TOTAL GROSS AREA: 5,039 ± S.F.

(N) GROSS FLOOR AREA:
 FIRST FLOOR: 1,617 ± S.F. (INCL. GARAGE)
 SECOND FLOOR: 1,690 ± S.F.
 THIRD FLOOR: 1,690 ± S.F.
 FOURTH FLOOR: 1,690 ± S.F.
TOTAL GROSS AREA: 6,687 ± S.F.
TOTAL CHANGE: 1,648 ± S.F.

BUILDING DATA:
 (E) NUMBER OF STORIES: 3
 (N) NUMBER OF STORIES: 4
 CONSTRUCTION TYPE: TYPE "V-A"
 (E) OCCUPANCY GROUP: R-3 (NO CHANGE)
 APPLICABLE CODES: 2016 CALIFORNIA CODES EDITIONS
 W/ SAN FRANCISCO AMENDMENTS

RESIDENTIAL UNIT DATA:			
		GROSS FLR. AREA	BEDROOM COUNT
EXISTING	UNIT 1	1736 ± S.F.	4
	UNIT 2	1632 ± S.F.	2
PROPOSED	UNIT 1	2093 ± S.F.	2
	UNIT 2	3099 ± S.F.	4

OPEN SPACE CALCULATION					
ADDRESS	# OF UNITS	COMMON		PRIVATE	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED
440 WALLER ST. (FRONT BLDG):	1	-	-	100 S.F.	744 S.F.
446-448 WALLER ST. (FRONT BLDG):	2	-	-	2x100 S.F.	1,192 S.F.
440 WALLER ST. (REAR BLDG):	1 (LOWER)	-	-	100 S.F.	345 S.F.
	1 (UPPER)	-	-	100 S.F.	337 S.F.
446-448 WALLER ST. (REAR BLDG):	1 (LOWER)	-	-	100 S.F.	347 S.F.
	1 (UPPER)	-	-	100 S.F.	288 S.F.

PLANNING DATA:
 ADDRESS: **440 WALLER STREET (REAR BUILDING)**
 BLOCK / LOT: 0860 / 012
 LOT AREA: 1,250 ± S.F.
 ZONING: RH-3
 PROPOSED # OF UNITS: 2
 ALLOWABLE HEIGHT: 40-X
 BUILDING HEIGHT: 36'-10"
 # OF BICYCLE PARKING SPACES: 2

(N) GROSS FLOOR AREA:
 BASEMENT: 839 ± S.F.
 FIRST FLOOR: 799 ± S.F.
 SECOND FLOOR: 861 ± S.F.
 THIRD FLOOR: 861 ± S.F.
(N) TOTAL GROSS AREA: 3,360 ± S.F.

BUILDING DATA:
 NUMBER OF STORIES: 3 OVER BASEMENT
 CONSTRUCTION TYPE: TYPE "V-B"
 OCCUPANCY GROUP: R-3
 APPLICABLE CODES: 2016 CALIFORNIA CODES EDITIONS
 W/ SAN FRANCISCO AMENDMENTS

RESIDENTIAL UNIT DATA:			
		GROSS FLR. AREA	BEDROOM COUNT
EXISTING		0 ± S.F.	0
	UNIT 1	1445 ± S.F.	2
PROPOSED	UNIT 2	1563 ± S.F.	2

PLANNING DATA:
 ADDRESS: **446-448 WALLER STREET (REAR BUILDING)**
 BLOCK / LOT: 0860 / 013
 LOT AREA: 1,250 ± S.F.
 ZONING: RH-3
 PROPOSED # OF UNITS: 2
 ALLOWABLE HEIGHT: 40-X
 BUILDING HEIGHT: 36'-10"
 # OF BICYCLE PARKING SPACES: 2

(N) GROSS FLOOR AREA:
 BASEMENT: 834 ± S.F.
 FIRST FLOOR: 794 ± S.F.
 SECOND FLOOR: 856 ± S.F.
 THIRD FLOOR: 856 ± S.F.
(N) TOTAL GROSS AREA: 3,340 ± S.F.

BUILDING DATA:
 NUMBER OF STORIES: 3 OVER BASEMENT
 CONSTRUCTION TYPE: TYPE "V-B"
 OCCUPANCY GROUP: R-3
 APPLICABLE CODES: 2016 CALIFORNIA CODES EDITIONS
 W/ SAN FRANCISCO AMENDMENTS

(E) SHED GROSS AREA:
 FIRST FLOOR: 1,943 ± S.F.
 SECOND FLOOR: 409 ± S.F.
TOTAL GROSS AREA: 2,352 ± S.F.

RESIDENTIAL UNIT DATA:			
		GROSS FLR. AREA	BEDROOM COUNT
EXISTING		0 ± S.F.	0
	UNIT 1	1432 ± S.F.	2
PROPOSED	UNIT 2	1529 ± S.F.	2

PROJECT NAME
440, 446-448 Waller St.
Front and Rear Bldgs
SAN FRANCISCO, CA



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SHEET TITLE
Project Data

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

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DATE 12/05/2016

REVISED DATE 05/26/2020

JOB NO. 16-1726

SHEET NO.

A-0.2



Site Photo-Front view



Site Photo-Across The Street View

PROJECT NAME

**440, 446-448 Waller St.
Front and Rear Bldgs
SAN FRANCISCO, CA**



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SHEET TITLE

**Project Photos:
Waller Street**

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DATE 12/05/2016

REVISED DATE 05/26/2020

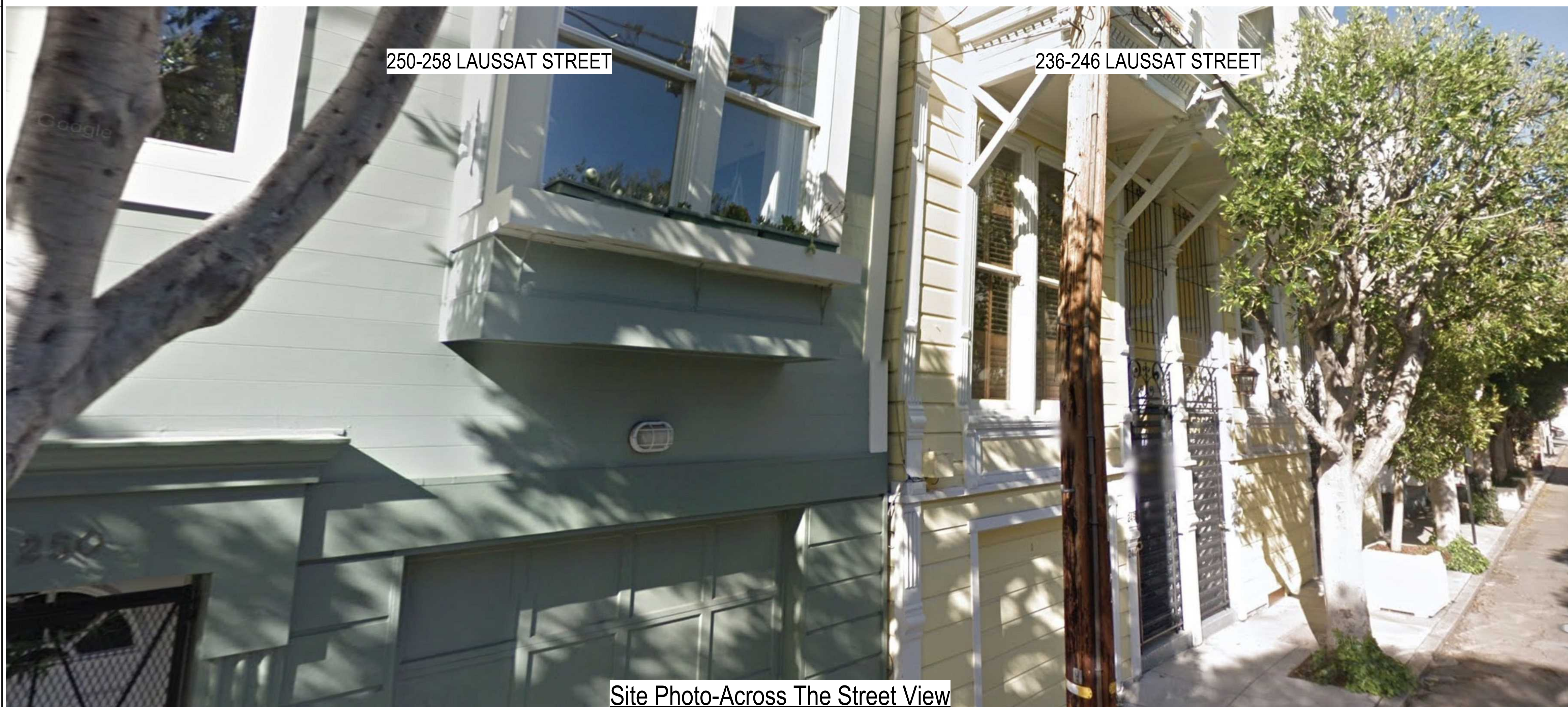
JOB NO. 16-1726

SHEET NO.

A-0.3



Site Photo-Front view



Site Photo-Across The Street View

PROJECT NAME

**440, 446-448 Waller St.
Front and Rear Bldgs
SAN FRANCISCO, CA**



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SHEET TITLE

**Project Photos:
Laussat Street**

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DATE 12/05/2016

REVISED DATE 05/26/2020

JOB NO. 16-1726

SHEET NO.

A-0.4

PROJECT NAME

**440, 446-448 Waller St.
Front and Rear Bldgs
SAN FRANCISCO, CA**



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SHEET TITLE

**3D Isometric
Front views**

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JOB NO. 16-1726

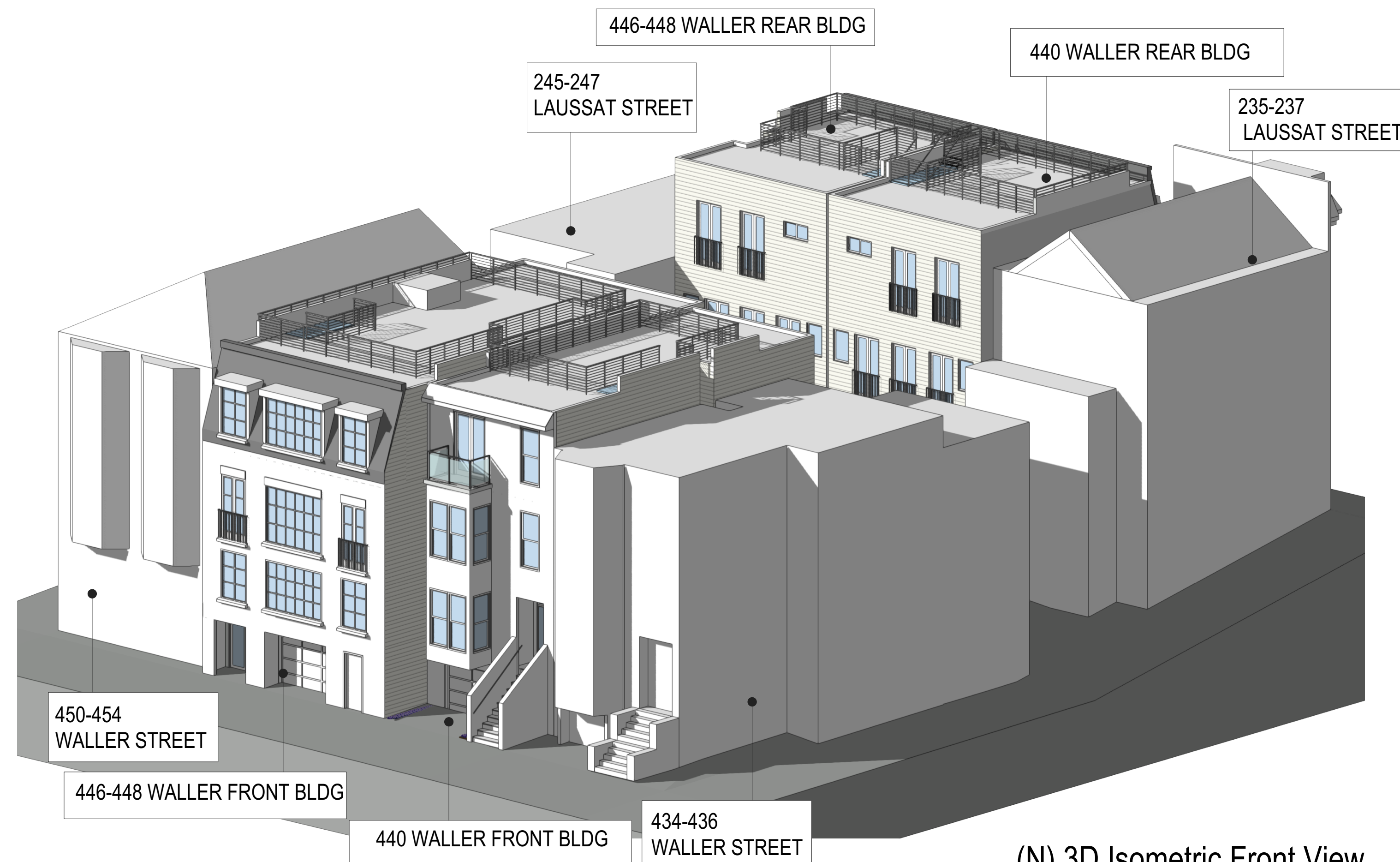
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A-0.5



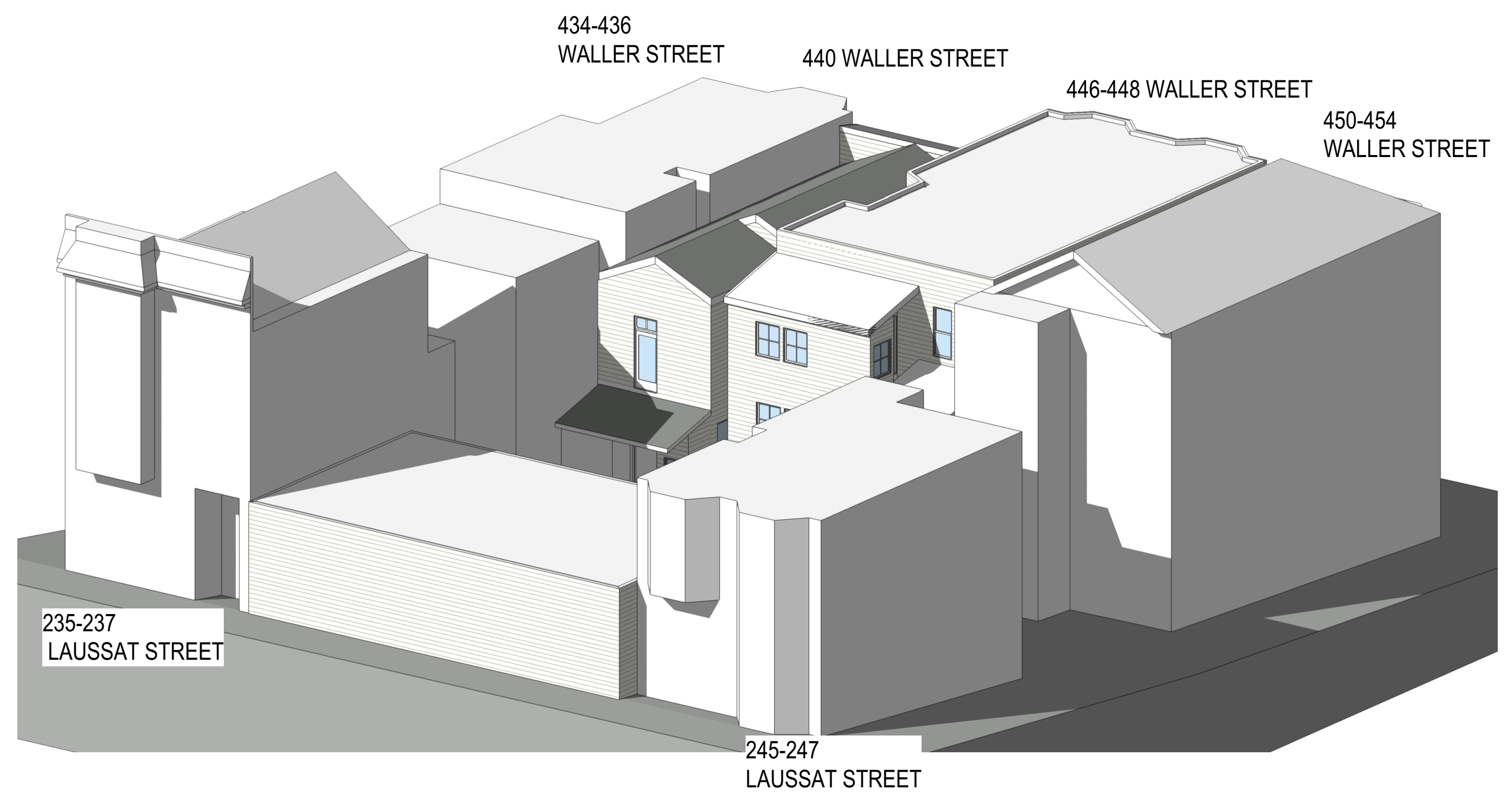
(E) 3D Isometric Front View

3/32" = 1'-0"

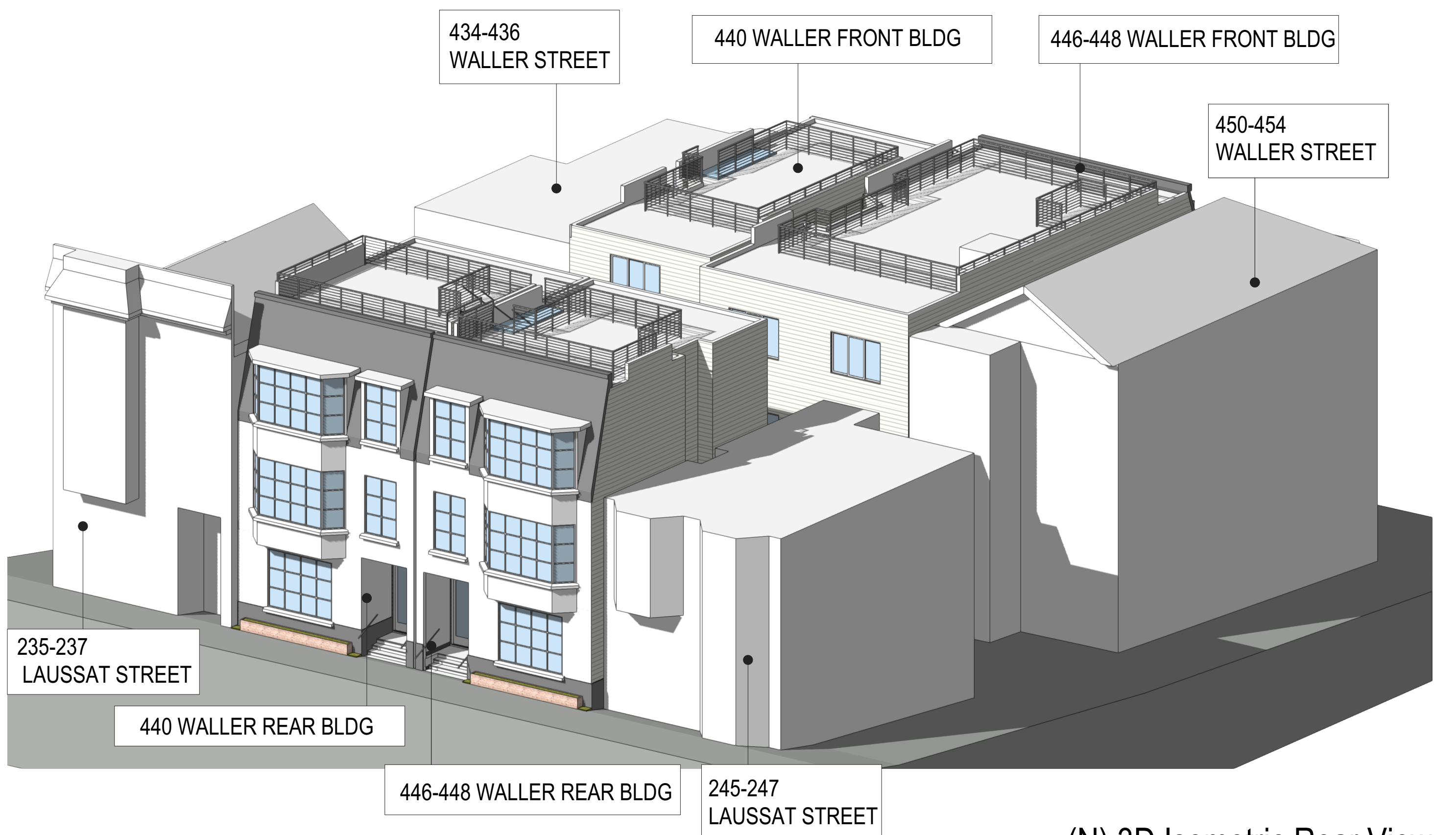


(N) 3D Isometric Front View

3/32" = 1'-0"



(E) 3D Isometric Rear View
3/32" = 1'-0"



(N) 3D Isometric Rear View
3/32" = 1'-0"

PROJECT NAME

440, 446-448 Waller St.
Front and Rear Bldgs
SAN FRANCISCO, CA



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SHEET TITLE

3D Isometric
Rear views

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

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DATE 12/05/2016

REVISED DATE 05/26/2020

JOB NO. 16-1726

SHEET NO.

A-0.6

440, 446-448 Waller St.
Front and Rear Bldgs
SAN FRANCISCO, CA



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SHEET TITLE

Vicinity Map

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NO.	DATE	DESCRIPTION

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DATE 12/05/2016

REVISED DATE 05/26/2020

JOB NO. 16-1726

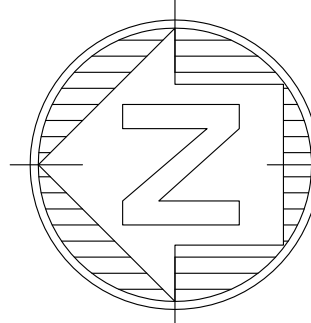
SHEET NO.

A-0.7



SUBJECT PARCELS

FILLMORE STREET
68.75' WIDE



BOUNDARY NOTES:
PROPERTY AND RIGHT-OF-WAY LINES SHOWN HEREON ARE PREDICATED ON AN ANALYSIS OF EXISTING IMPROVEMENTS, RECORD DATA, FIELD TIES AND ASSESSOR'S PARCEL MAPS. IT IS NOT THE INTENT OF THIS MAP TO PROVIDE A FORMAL BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY SHOWN HEREON. SAID RESOLUTION WOULD REQUIRE THE SETTING OF PROPERTY CORNERS AND THE FILING OF A RECORD OF SURVEY UNDER CALIFORNIA STATE LAW. BOUNDARY INFORMATION SHOWN HEREON IS FOR PLANNING PURPOSES ONLY.

ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED
ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.

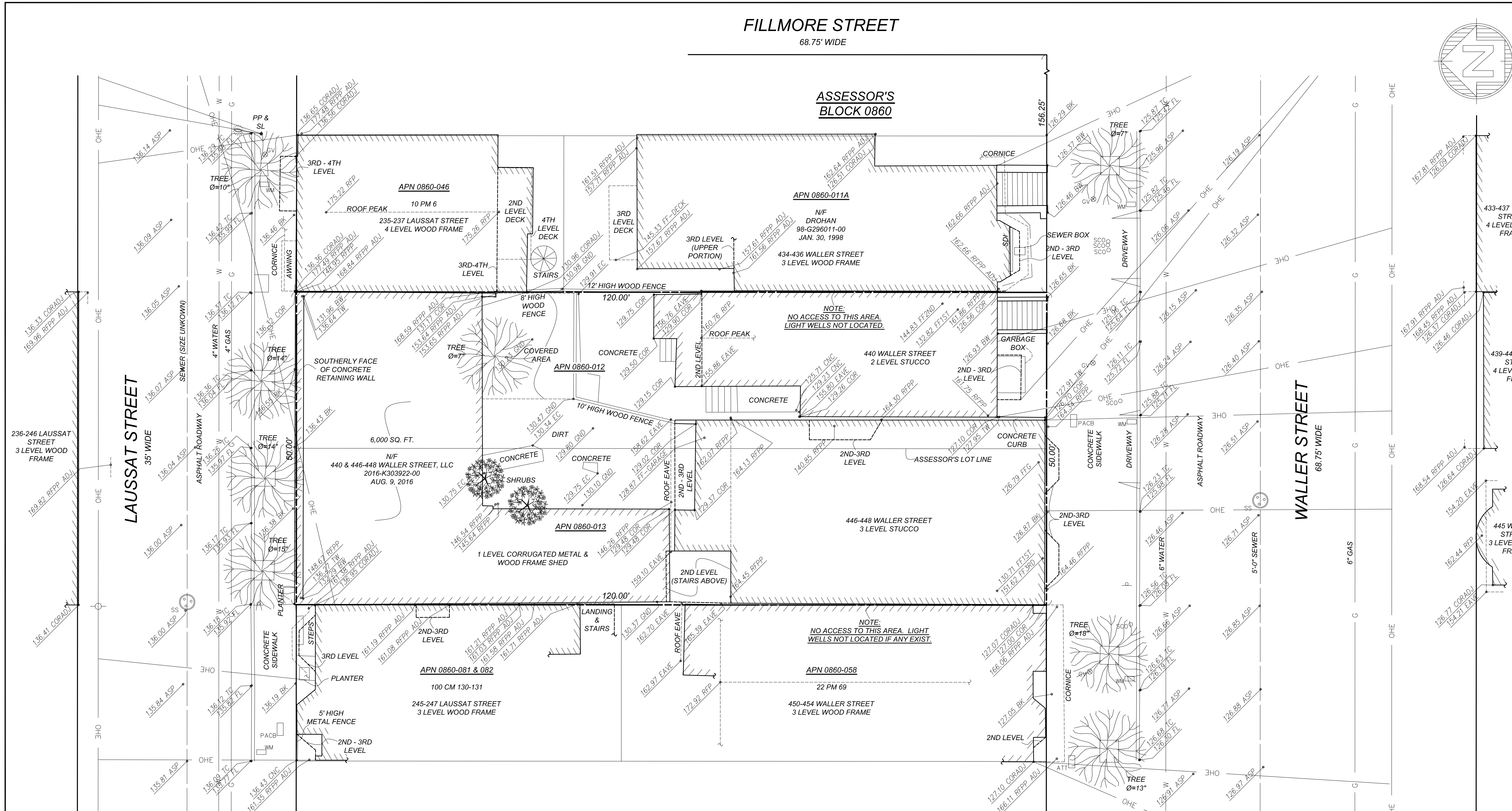
DATE OF FIELD SURVEY:
TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY FREDERICK T. SEHER & ASSOCIATES INC. ON JANUARY 6, 2017.

SURVEY REFERENCE:
THE SURVEY HEREON IS BASED ON THE LEGAL DESCRIPTION DESCRIBED IN THE FOLLOWING GRANT DEED: APN'S 0860-012 & 013; RECORDED AUGUST 9, 2016, DOCUMENT NUMBER 2016-K303922-00.

UTILITY NOTE:
UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THEREFORE, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.

PROJECT BENCHMARK - DESCRIPTION:
ELEVATIONS SHOWN HEREON WERE OBTAINED FROM A GROUP OF CITY BENCHMARKS, LOCATED AT THE INTERSECTION OF STEINER AND HERMANN STREETS. ELEVATIONS ARE BASED ON CITY AND COUNTY OF SAN FRANCISCO DATUM, S.W. CORNER 15' SOUTH, + CUT NLY ELEV OF CONC COPING.
ELEVATION = 122.363'

GENERAL NOTE:
THE FOLIAGE LINES OF ALL TREES PLOTTED HEREON ARE SHOWN IN A GRAPHICAL FORM ONLY, AND ARE NOT INTENDED TO REPRESENT ACTUAL DRILINES THEREOF.



NOTE: TO ANYONE HAVING ANY TYPE OF INTEREST IN THIS MAP PLEASE BE ADVISED AS FOLLOWS:

1. THAT ALL TITLE INFORMATION HEREON INCLUDING EASEMENTS WAS PREPARED SOLELY FOR AND IN STRICT CONFORMANCE WITH OUR CLIENT'S OR HIS AGENT'S REQUIREMENTS AND TITLE INFORMATION SUPPLIED TO FREDERICK T. SEHER & ASSOCIATES, INC.; FURTHERMORE, WE HEREBY DISCLAIM ANY AND ALL TITLE SEARCH RESPONSIBILITY ON THIS JOB.
2. NO PRELIMINARY TITLE REPORT WAS REVIEWED IN CONJUNCTION WITH THIS MAPPING. IT IS RECOMMENDED THAT A TITLE REPORT BE RECEIVED FROM THE OWNER TO VERIFY THE EXISTENCE OF ANY ADDITIONAL EASEMENTS OF RECORD OR LOT LINE ADJUSTMENTS THAT MAY HAVE ALTERED THE INFORMATION SHOWN HEREON PRIOR TO ANY DESIGN AND/OR CONSTRUCTION.
3. THAT THIS MAP WAS PREPARED AS A PROFESSIONAL INSTRUMENT OF SERVICE FOR BRIAN KENDALL AND THAT IT REMAINS THE PROPERTY OF FREDERICK T. SEHER & ASSOCIATES, INC. WHETHER THE PROJECT (IF ANY PROPOSED) ON THIS SITE IS CONSTRUCTED OR NOT.
4. THAT ANY INFORMATION ON THIS MAP AND ANY DOCUMENT(S) PREPARED BY FREDERICK T. SEHER & ASSOCIATES, INC. IN RELATION HEREOF SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN FOR BUILDING PERMIT. FURTHERMORE, THE USE OF THIS MAP FOR ANY OTHER PURPOSES WHATSOEVER INCLUDING ENGINEERING DESIGNS OF OFFSITE OR ONSITE IMPROVEMENTS IS BEYOND THIS MAP'S PURPOSES. INTENT & CONTRACT, LIABILITY SHALL REST UPON THE PARTY USING OUR INFORMATION BEYOND THE ESTABLISHED LIMITATION ABOVE, IN WHICH CASE FREDERICK T. SEHER & ASSOCIATES, INC. DISAVOWS ANY AND ALL RESPONSIBILITY.

5. THAT ANY IMPROVEMENT CHANGES WITHIN THIS SITE OR THE ADJACENT SITE THEREOF AS WELL AS TITLE TRANSFERS OF THE PROPERTY IN QUESTION (EXCEPT FOR ALTA MAPS) AND/OR THE LAPSE OF 3 OR MORE YEARS FROM THE DATE OF THE MAP (WHICHEVER COMES FIRST) SHALL VOID ALL INFORMATION, HEREON UNLESS A RE-SURVEY IS ORDERED TO RECTIFY, UPDATE OR RE-CERTIFY THIS MAP.
6. THAT THIS INFORMATION SHALL NOT BE USED FOR ANY IMPROVEMENT STAKING UNLESS STATED IN ITEM NO. 4 ABOVE.
7. THAT THE USE OF THIS MAP BY OTHER CONSULTANTS OR CONTRACTORS ON BEHALF OF OUR CLIENT SHALL PROMPT THE IMMEDIATE FULFILLMENTS OF ALL CLIENT'S OBLIGATIONS TO FREDERICK T. SEHER & ASSOCIATES, INC. UNLESS OTHERWISE AGREED TO.
8. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ALL ISSUES REGARDING PROPERTY DISPUTES WHICH MAY ARISE OUT OF INFORMATION SHOWN HEREON.
9. THIS MAP WILL BE PROVIDED IN AN ELECTRONIC FORMAT AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. A SIGNED PRINT DELIVERED TO THE CLIENT OR CLIENT REPRESENTATIVE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT. AND IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.

LEGEND

- | | | | |
|------|-------------------------------|---------------|------------------------|
| ADJ | ADJACENT BUILDING | — G — | GAS LINE |
| ASP | ASPHALT | — S — | SANITARY SEWER LINE |
| BK | BACK OF WALK | — OE — | OVERHEAD ELECTRIC LINE |
| BW | BOTTOM OF WALL | — W — | WATER LINE |
| CNC | CONCRETE | Ø | DIAMETER |
| COR | CORNICE | + | SIGN |
| FF | FINISHED FLOOR | — ELEV DESC — | SPOT ELEVATION |
| FL | FLOW LINE | ☼ | TREE |
| GND | GROUND | | |
| GV | GAS VALVE | | |
| PACB | PACIFIC BELL | | |
| PP | POWER POLE | | |
| PGE | PACIFIC GAS & ELECTRIC | | |
| RFP | ROOF PEAK | | |
| RFPP | ROOF PARAPET | | |
| SDI | STORM DRAIN INLET | | |
| SCO | SANITARY SEWER CLEAN OUT/VENT | | |
| SL | STREET LIGHT | | |
| TC | TOP OF CURB | | |
| TW | TOP OF WALL | | |
| WM | WATER METER | | |

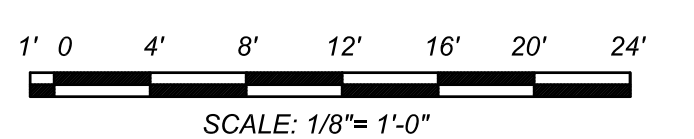
SURVEYOR'S STATEMENT:

THIS MAP WAS PREPARED BY ME, OR UNDER MY DIRECTION, AND IS BASED UPON A FIELD SURVEY.

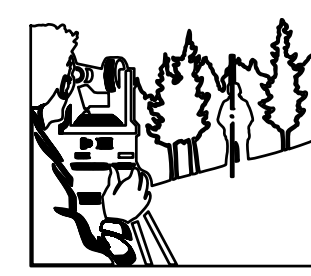
DATE 11-6-18



Frederick T. Seher
FREDERICK T. SEHER, PLS
LICENSE NO. 6216



DATE:	JANUARY, 2017		
SCALE:	1" = 8'		
DRAWN BY:	FC		
DRAWING NAME:	2020-16		
SURVEYED BY:	FTS		
CHECKED BY:	EF		
CHECKED BY:			
NO.	BY	DATE	REVISIONS



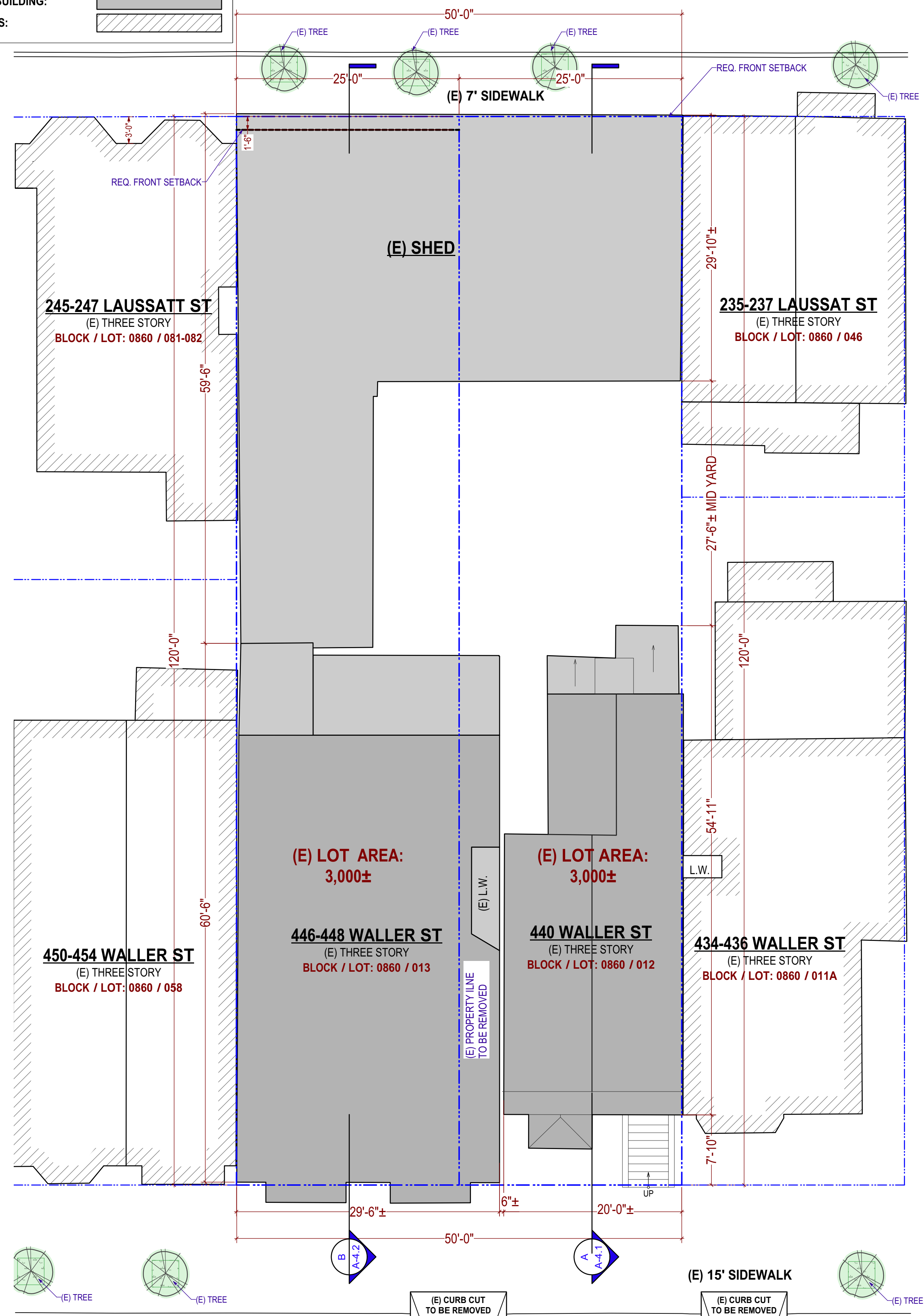
FREDERICK T. SEHER & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
SURVEYING & MAPPING
841 LOMBARD STREET, SAN FRANCISCO, CA 94133
(415) 921-7690 FAX (415) 921-7655

ARCHITECTURAL SITE SURVEY
ASSESSOR'S PARCEL NUMBER 0860-012 & 0860-013
440 & 446-448 WALLER STREET, SAN FRANCISCO, CA

SHEET
1
OF 1 SHEETS
JOB NO.:
2020-16

BLOCK / LOT: 0860 / 012 & 013
 PROPERTY LINE:
 OUTLINE OF SUBJECT BUILDING:
 OUTLINE OF NEIGHBORS:

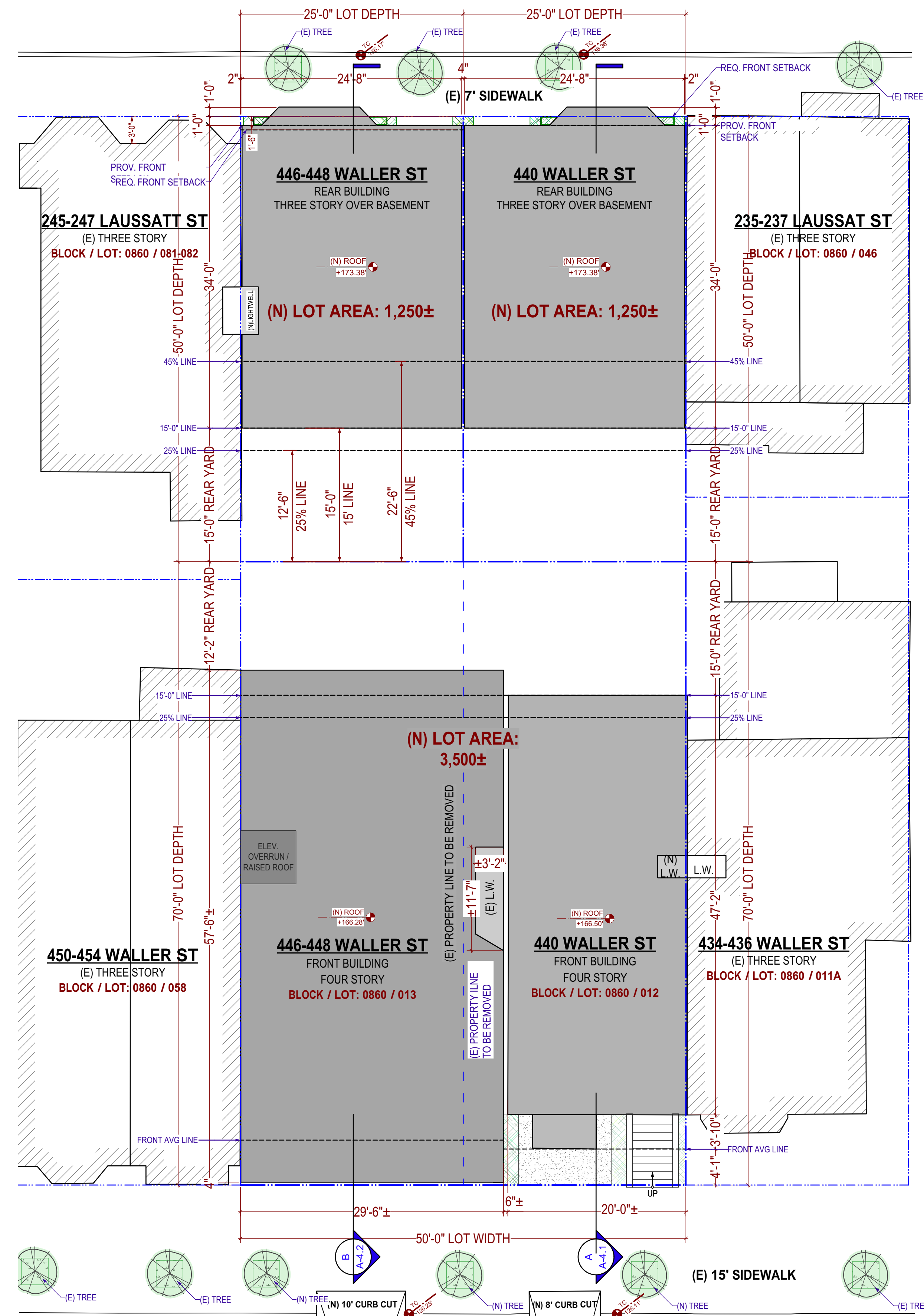
LAUSSAT STREET



WALLER STREET

Existing Site Plan
 1/8" = 1'-0"

LAUSSAT STREET



WALLER STREET

Proposed Site Plan
 1/8" = 1'-0"

446-448 WALLER (REAR) REQ FRONT SETBACK AREA: 37.5 Sq.Ft. / LOT	
20% LANDSCAPING: 20% of Front Setback Area: Landscaping Prov.	7.5 S.F. 17 S.F.
50% PERMEABLE: 50% of Front Setback Area: Total Permeable Area Prov.:	18.75 S.F. 17 S.F.

PROJECT NAME
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SHEET TITLE

Site Plan

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JOB NO.	16-1726
SHEET NO.	A-1.0

	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(N) WALL TO BE CONSTRUCTED

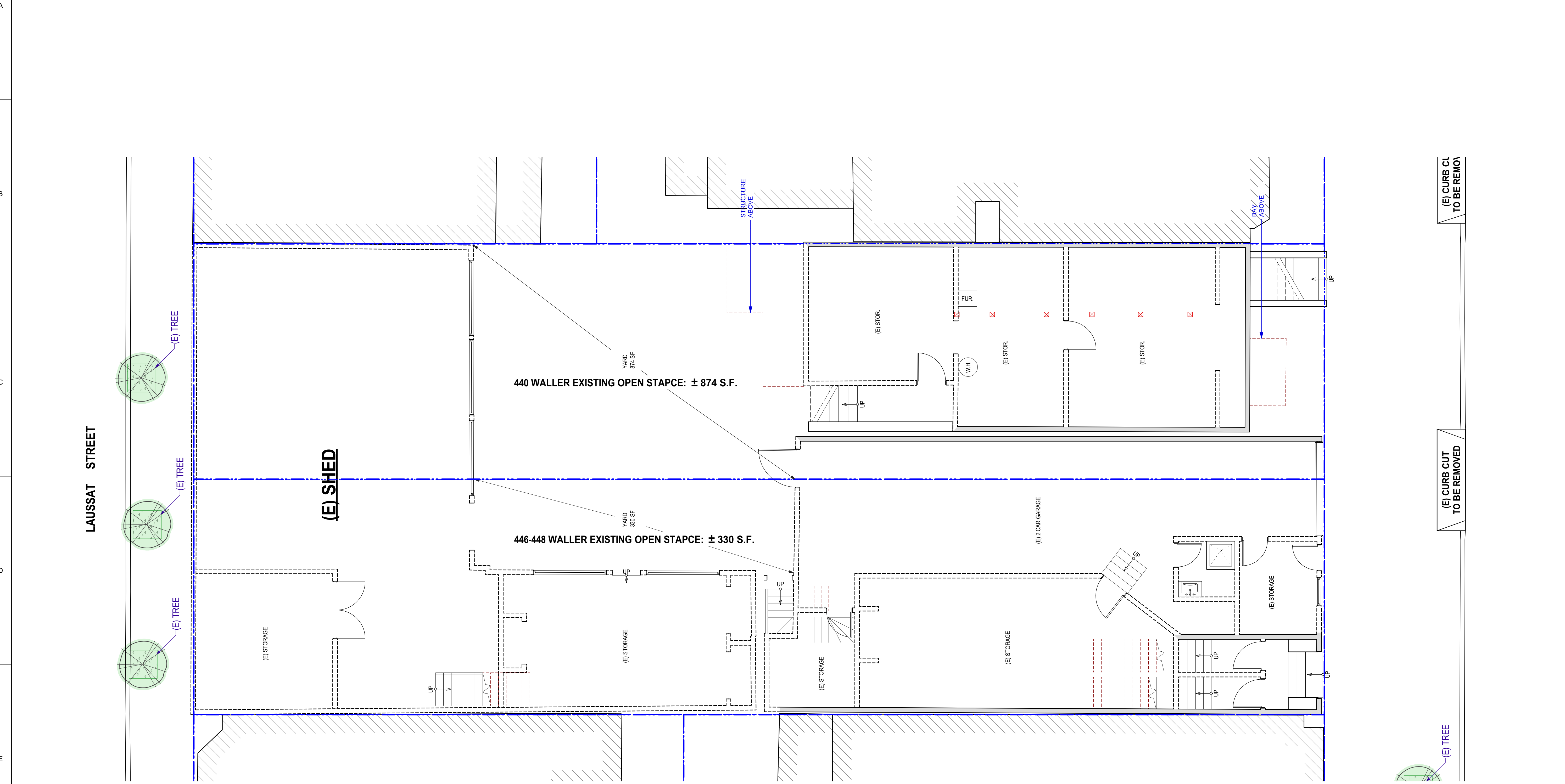
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SHEET TITLE

(E) First Floor



Existing First Floor Plan
 3/16" = 1'-0"

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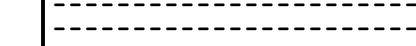
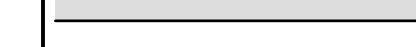

DATE 12/05/2016

REVISED DATE 05/26/2020

JOB NO. 16-1726

SHEET NO.

A-2.0

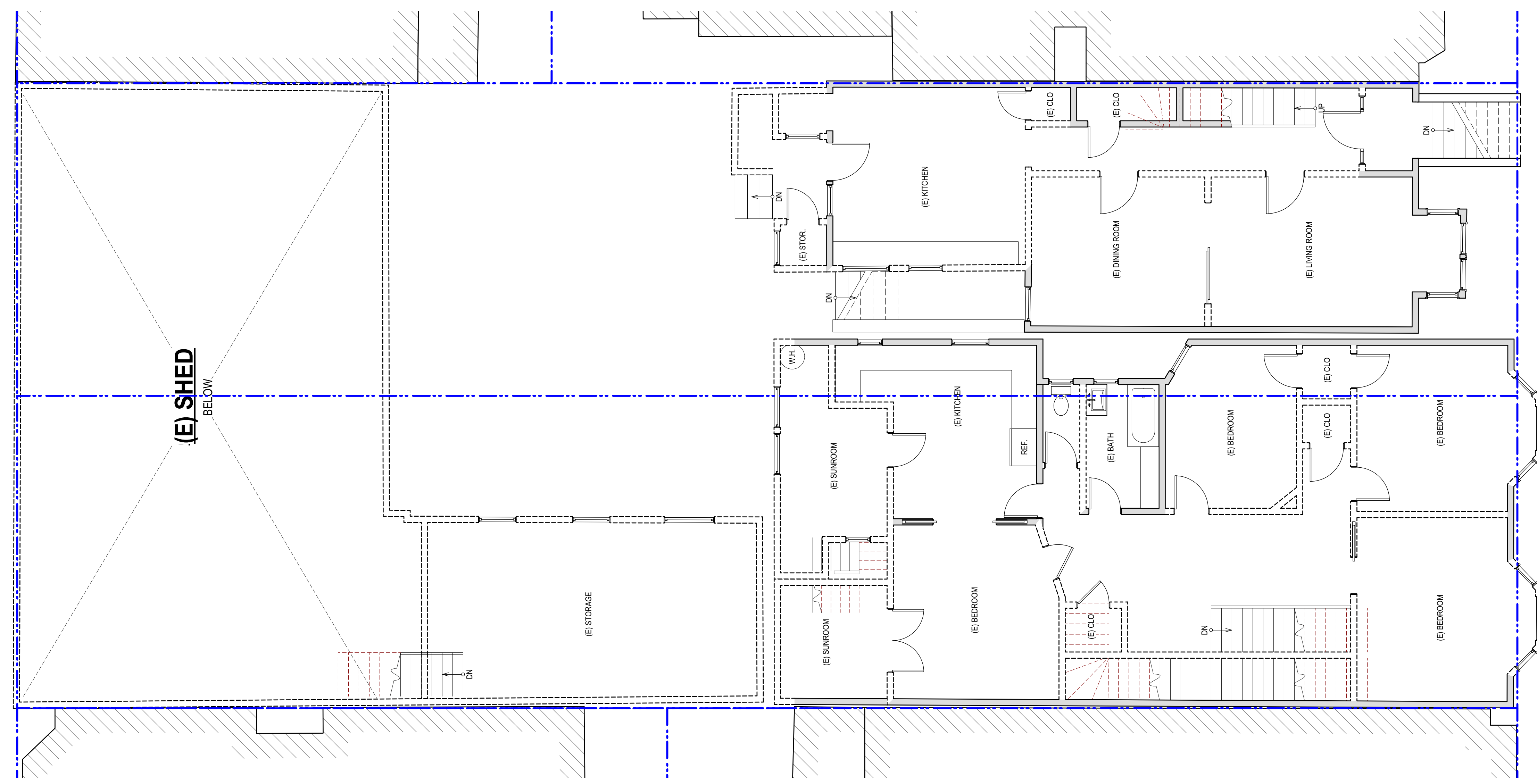
	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(N) WALL TO BE CONSTRUCTED

PROJECT NAME
440, 446-448 Waller St.
Front and Rear Bldgs
SAN FRANCISCO, CA



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SHEET TITLE
(E) Second Floor



Existing Second Floor Plan
 3/16" = 1'-0" 

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JOB NO.	16-1726
SHEET NO.	A-2.1

	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(N) WALL TO BE CONSTRUCTED

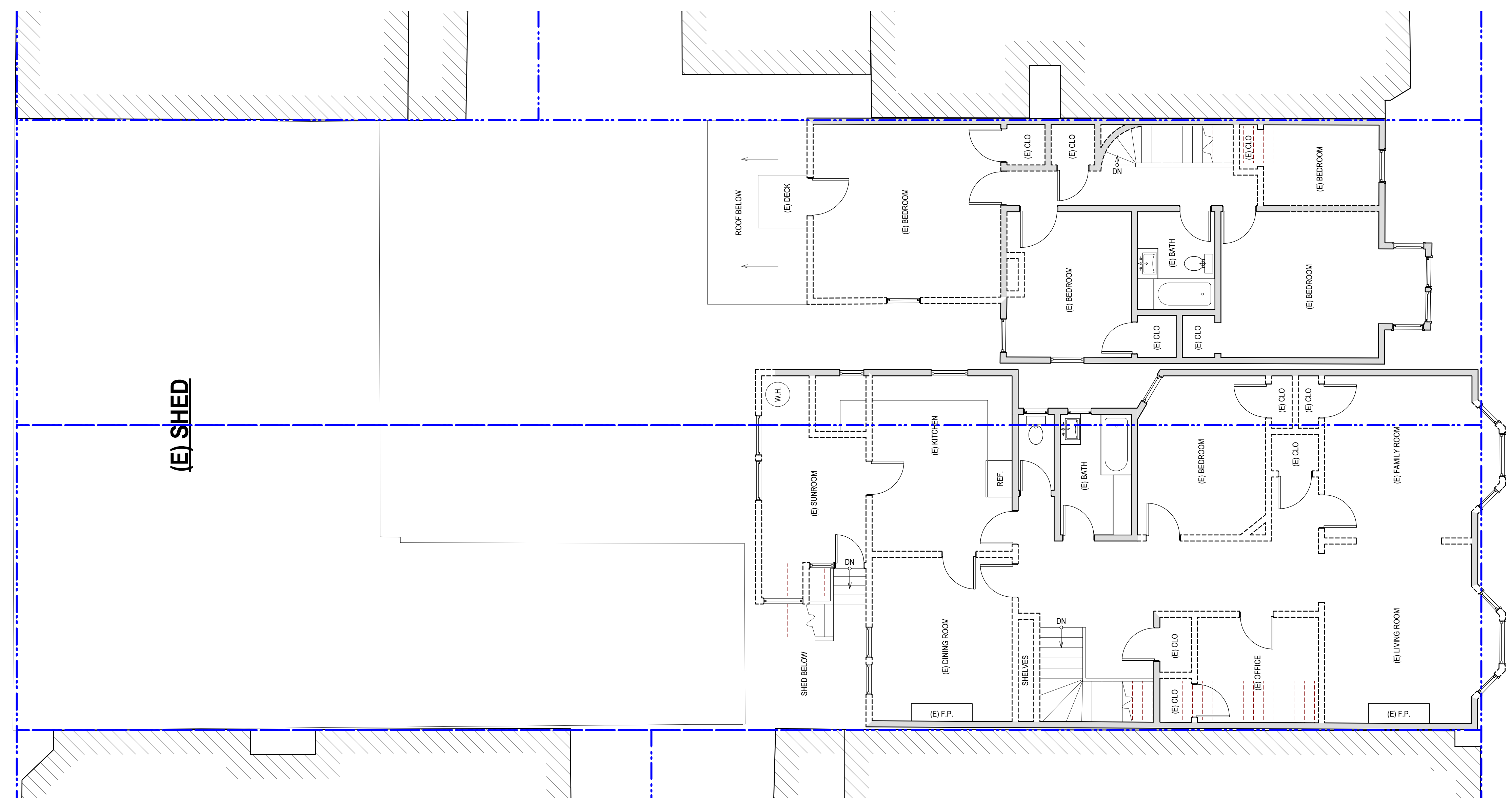
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SHEET TITLE

(E) Third Floor



Existing Third Floor Plan
 3/16" = 1'-0"

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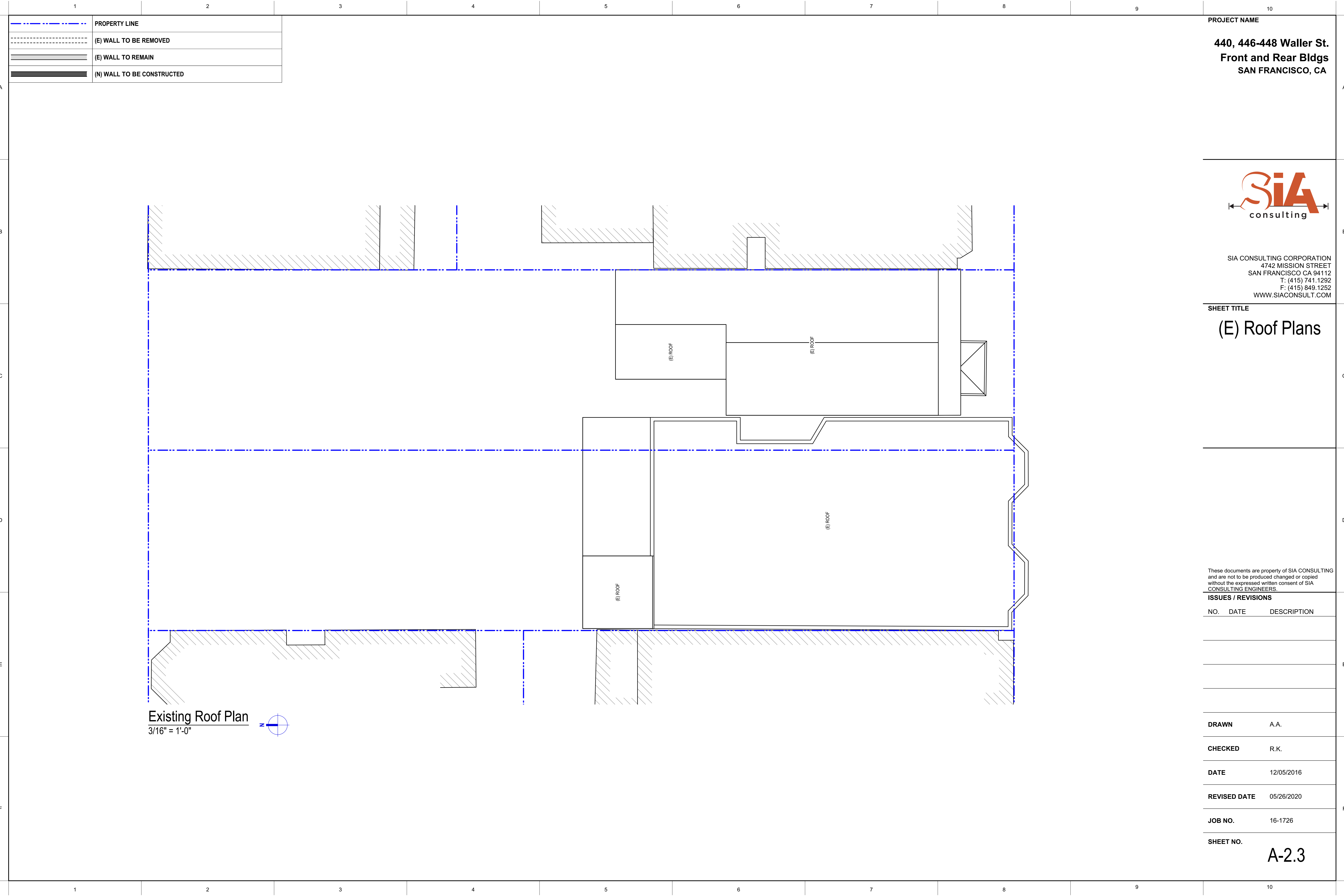
DATE 12/05/2016

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JOB NO. 16-1726

SHEET NO.

A-2.2



	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(N) WALL TO BE CONSTRUCTED

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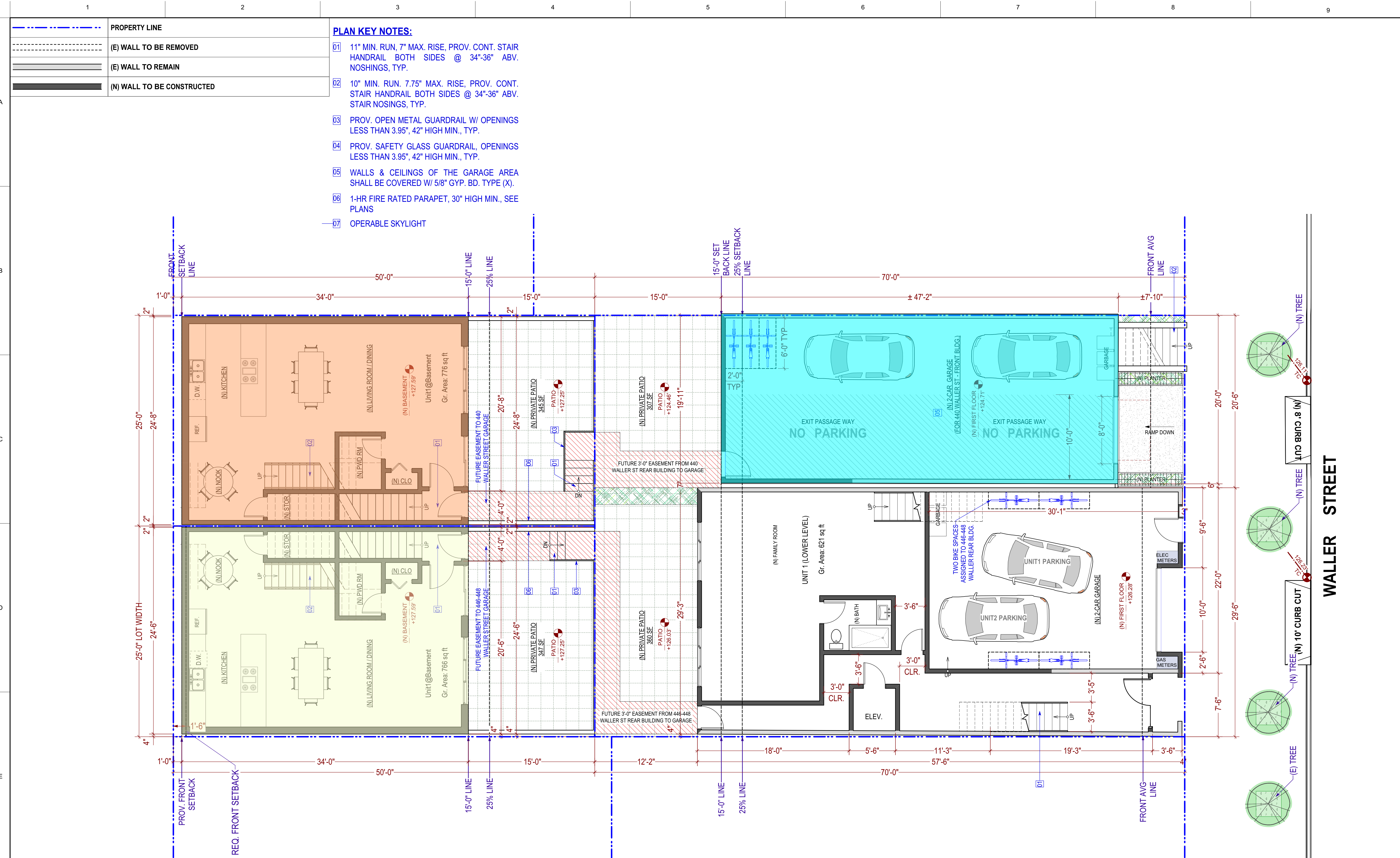
SHEET TITLE
(E) Roof Plans

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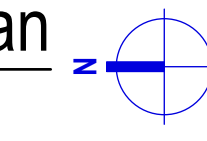
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Existing Roof Plan
 3/16" = 1'-0"

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SHEET NO.	A-2.3



Proposed First Floor Plan
 3/16" = 1'-0"



PLAN KEY NOTES:

- 01 11" MIN. RUN, 7" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. NOSINGS, TYP.
- 02 10" MIN. RUN, 7.75" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. STAIR NOSINGS, TYP.
- 03 PROV. OPEN METAL GUARDRAIL W/ OPENINGS LESS THAN 3.95", 42" HIGH MIN., TYP.
- 04 PROV. SAFETY GLASS GUARDRAIL, OPENINGS LESS THAN 3.95", 42" HIGH MIN., TYP.
- 05 WALLS & CEILINGS OF THE GARAGE AREA SHALL BE COVERED W/ 5/8" GYP. BD. TYPE (X).
- 06 1-HR FIRE RATED PARAPET, 30" HIGH MIN., SEE PLANS
- 07 OPERABLE SKYLIGHT

---	PROPERTY LINE
---	(E) WALL TO BE REMOVED
---	(E) WALL TO REMAIN
---	(N) WALL TO BE CONSTRUCTED

PROJECT NAME
 440, 446-448 Waller St.
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SHEET TITLE
 (N)
 First Floor Plans

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JOB NO. 16-1726

SHEET NO.

A-2.4

	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(N) WALL TO BE CONSTRUCTED

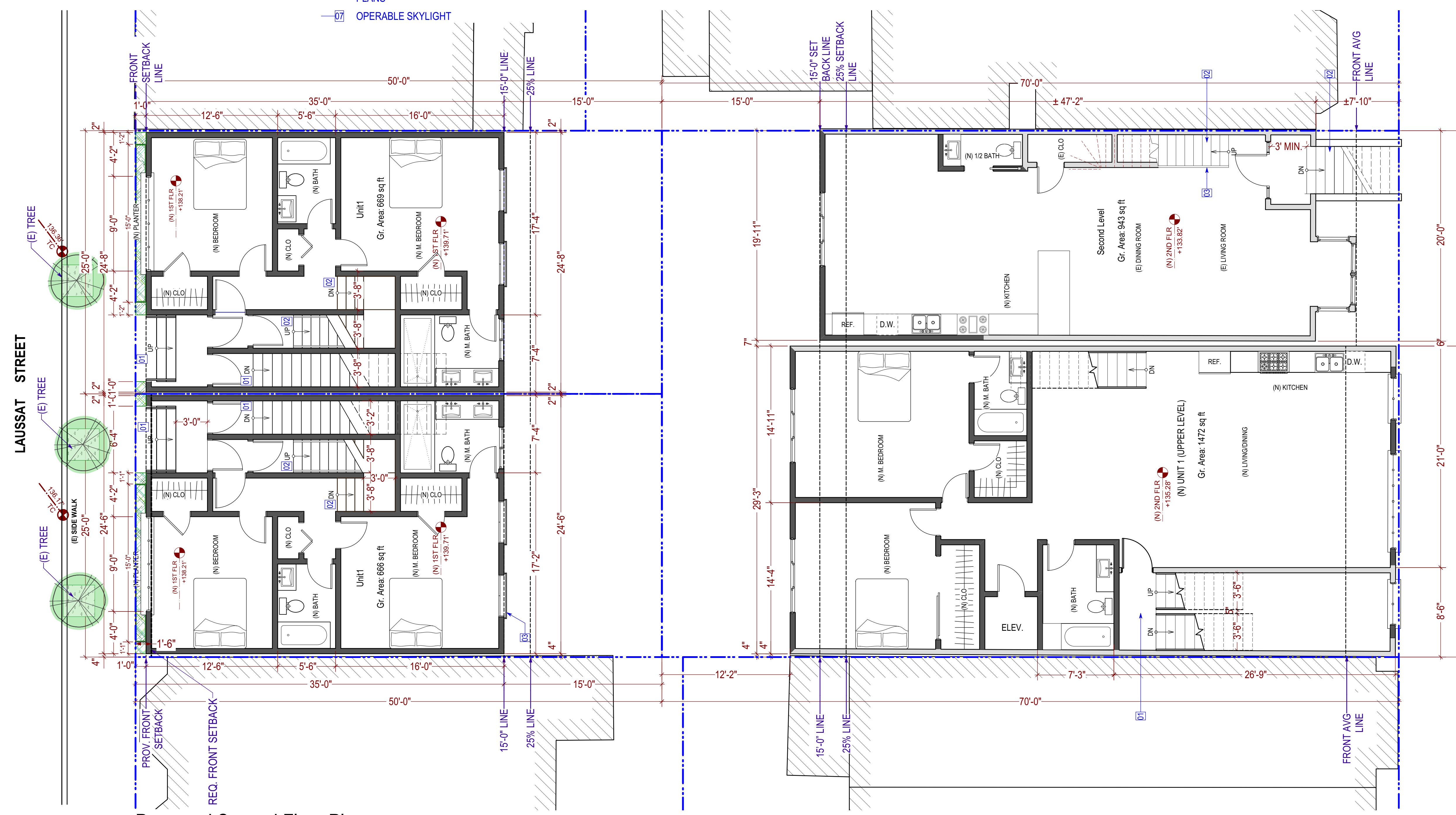
- PLAN KEY NOTES:**
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 - 06 1-HR FIRE RATED PARAPET, 30" HIGH MIN., SEE PLANS
 - 07 OPERABLE SKYLIGHT

PROJECT NAME
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SHEET TITLE
(N)
Second Floor Plans



Proposed Second Floor Plan
 3/16" = 1'-0"

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SHEET NO.	A-2.5

	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(N) WALL TO BE CONSTRUCTED

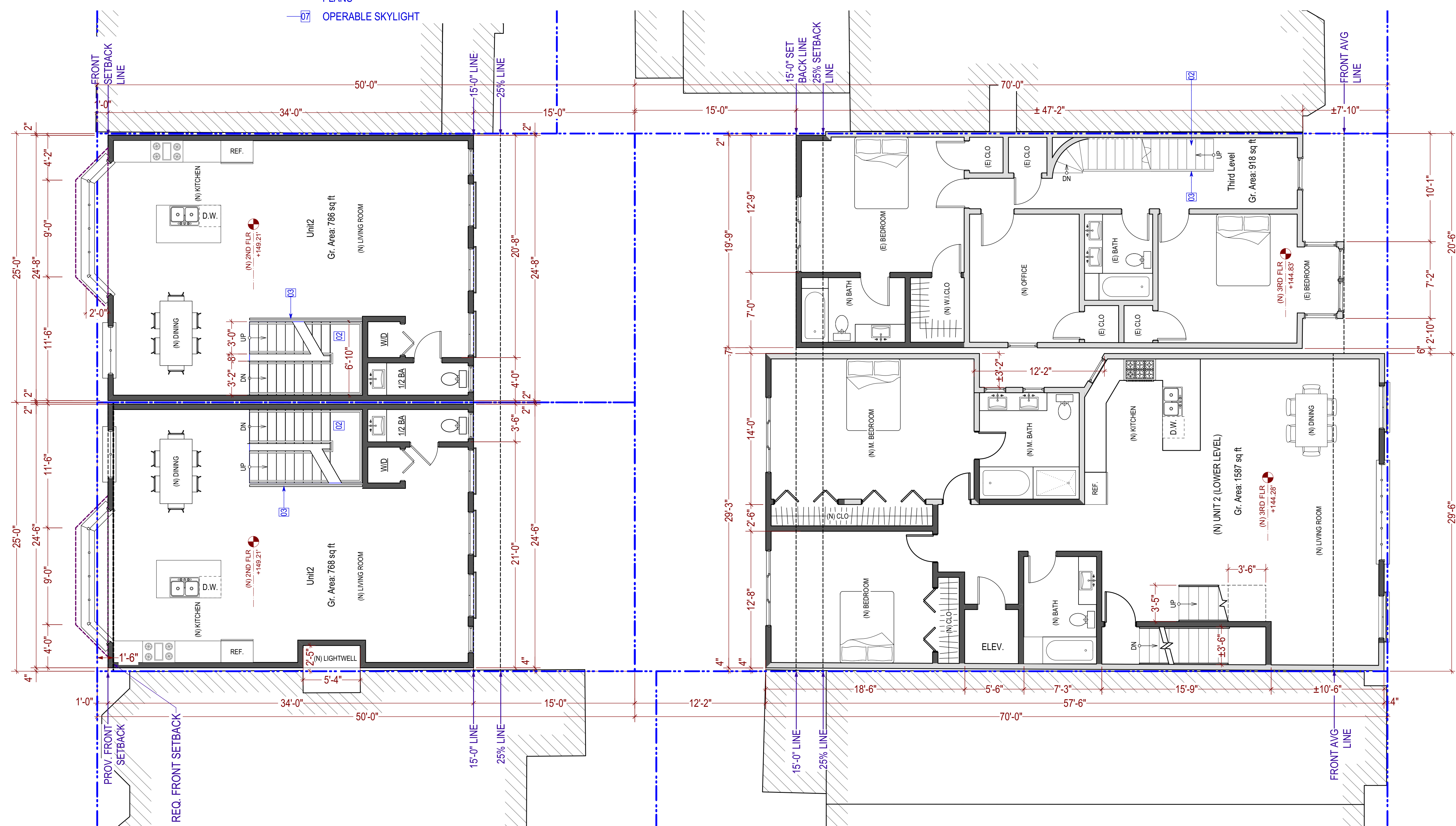
- PLAN KEY NOTES:**
- 01 11" MIN. RUN, 7" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. NOSINGS, TYP.
 - 02 10" MIN. RUN, 7.75" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. STAIR NOSINGS, TYP.
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 - 06 1-HR FIRE RATED PARAPET, 30" HIGH MIN., SEE PLANS
 - 07 OPERABLE SKYLIGHT

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SHEET TITLE
(N)
Third Floor Plans



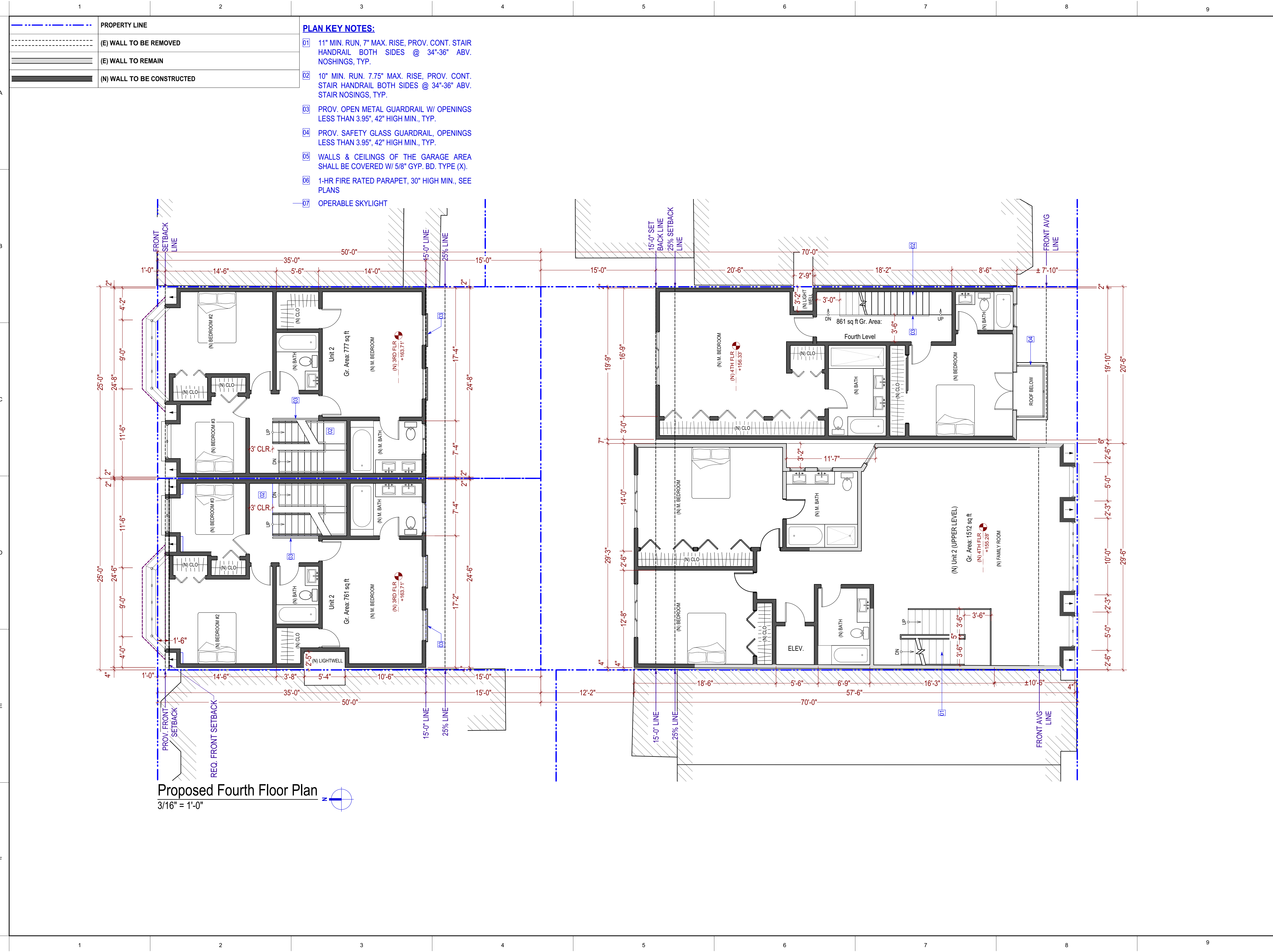
Proposed Third Floor Plan(Existing Second Floor)
 3/16" = 1'-0"

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SHEET NO.	A-2.6



Proposed Fourth Floor Plan
 3/16" = 1'-0"

- PLAN KEY NOTES:**
- 01 11" MIN. RUN, 7" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. NOSINGS, TYP.
 - 02 10" MIN. RUN, 7.75" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. STAIR NOSINGS, TYP.
 - 03 PROV. OPEN METAL GUARDRAIL W/ OPENINGS LESS THAN 3.95", 42" HIGH MIN., TYP.
 - 04 PROV. SAFETY GLASS GUARDRAIL, OPENINGS LESS THAN 3.95", 42" HIGH MIN., TYP.
 - 05 WALLS & CEILINGS OF THE GARAGE AREA SHALL BE COVERED W/ 5/8" GYP. BD. TYPE (X).
 - 06 1-HR FIRE RATED PARAPET, 30" HIGH MIN., SEE PLANS
 - 07 OPERABLE SKYLIGHT

PROJECT NAME
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SHEET TITLE
 (N)
 Fourth Floor Plans

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JOB NO.	16-1726
SHEET NO.	A-2.7

	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(N) WALL TO BE CONSTRUCTED

- PLAN KEY NOTES:**
- 01 11" MIN. RUN, 7" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. NOSINGS, TYP.
 - 02 10" MIN. RUN, 7.75" MAX. RISE, PROV. CONT. STAIR HANDRAIL BOTH SIDES @ 34"-36" ABV. STAIR NOSINGS, TYP.
 - 03 PROV. OPEN METAL GUARDRAIL W/ OPENINGS LESS THAN 3.95", 42" HIGH MIN., TYP.
 - 04 PROV. SAFETY GLASS GUARDRAIL, OPENINGS LESS THAN 3.95", 42" HIGH MIN., TYP.
 - 05 WALLS & CEILINGS OF THE GARAGE AREA SHALL BE COVERED W/ 5/8" GYP. BD. TYPE (X).
 - 06 1-HR FIRE RATED PARAPET, 30" HIGH MIN., SEE PLANS
 - 07 OPERABLE SKYLIGHT

PROJECT NAME
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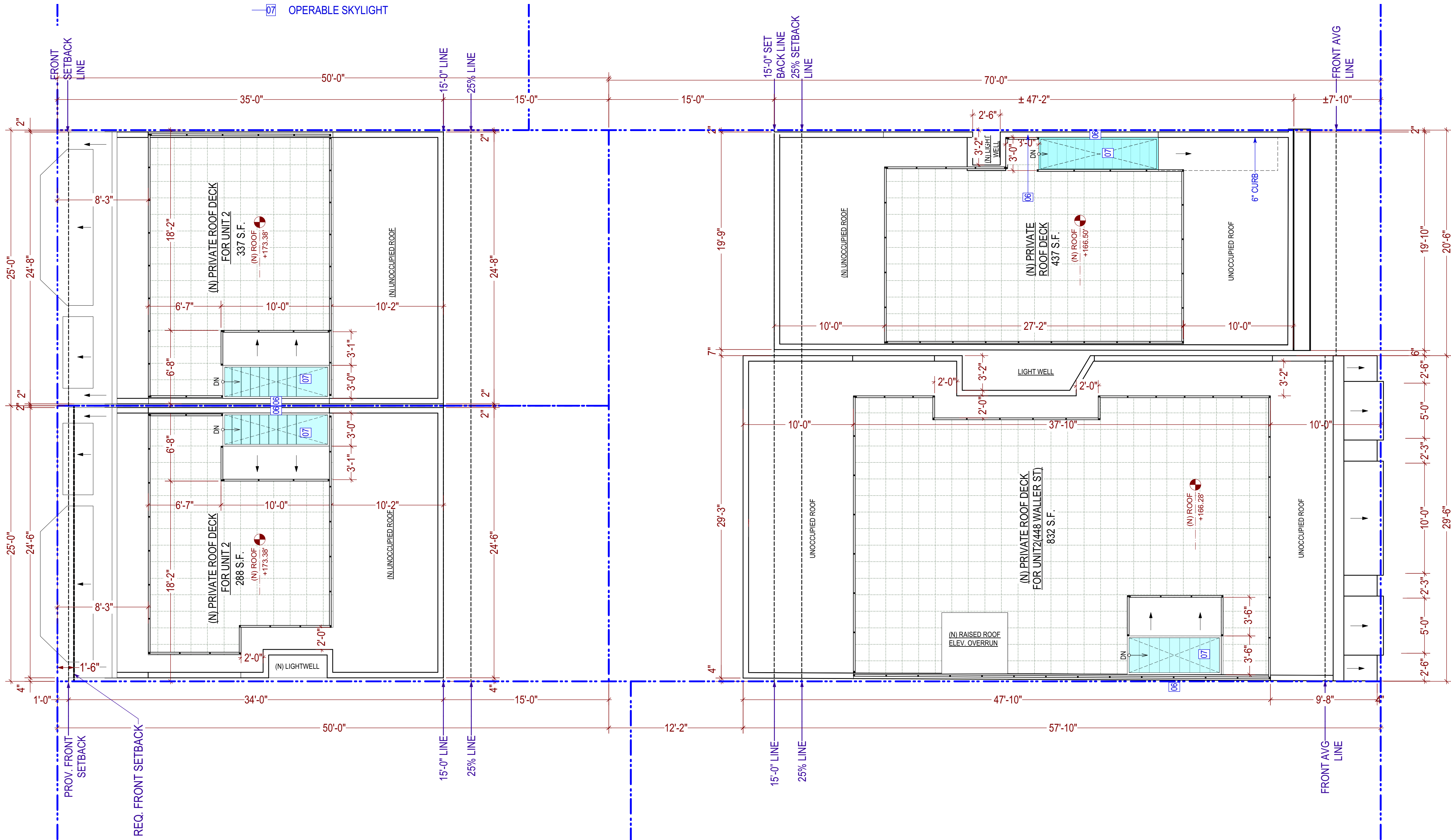
SHEET TITLE
(N) Roof Plans

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JOB NO.	16-1726
SHEET NO.	A-2.8



Proposed Roof Plan
 3/16" = 1'-0"



Existing Front Elevation (South)
3/16" = 1'-0"



Proposed Front Elevation (South)
3/16" = 1'-0"

NO.	DESCRIPTION
PROPERTY LINE	
FACADE MATERIALS KEY NOTES:	
01	HIGH QUALITY SMOOTH PLASTER, TYP.
02	WOOD HORIZONTAL SIDING, TYP.
03	WOOD CAP, TYP.
04	WOOD TRIM, TYP.
05	P.T. PLYWD. BLINDWALL, TYP.
06	PAINTED METAL RAILINGS, 42" HIGH MIN., TYP. OPENINGS LESS THAN 3.95"
07	GUARDRAIL W/ SAFETY GLASS, 42" HIGH MIN. TYP.
08	SOLIDENTRY DOOR, WOOD
09	WOOD OVERHEAD GARAGE DOOR
10	ALUMINUM WINDOW, W/ WOOD CLAD & LOW E CLR. GLASS, TYP.
11	ALUMINUM PATIO DOOR W/ WOOD CLAD & CLR. GLASS, TYP.
12	BRICKS FINISH, TYP.
13	SOLID ENTRY DOOR, ALUM.
14	VERTICAL SIDING, TYP.
15	SMOOTH STUCCO, TYP.
16	8" ROOF CAP, TYP.
17	DARK GREY STONE BASE
18	PLANTER

PROJECT NAME
440, 446-448 Waller St.
Front and Rear Bldgs
SAN FRANCISCO, CA



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SHEET TITLE
Front Elevations -
Front Buildings
(Waller Street)

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SHEET TITLE

**Front Elevations -
Rear Buildings
(Laussat Street)**

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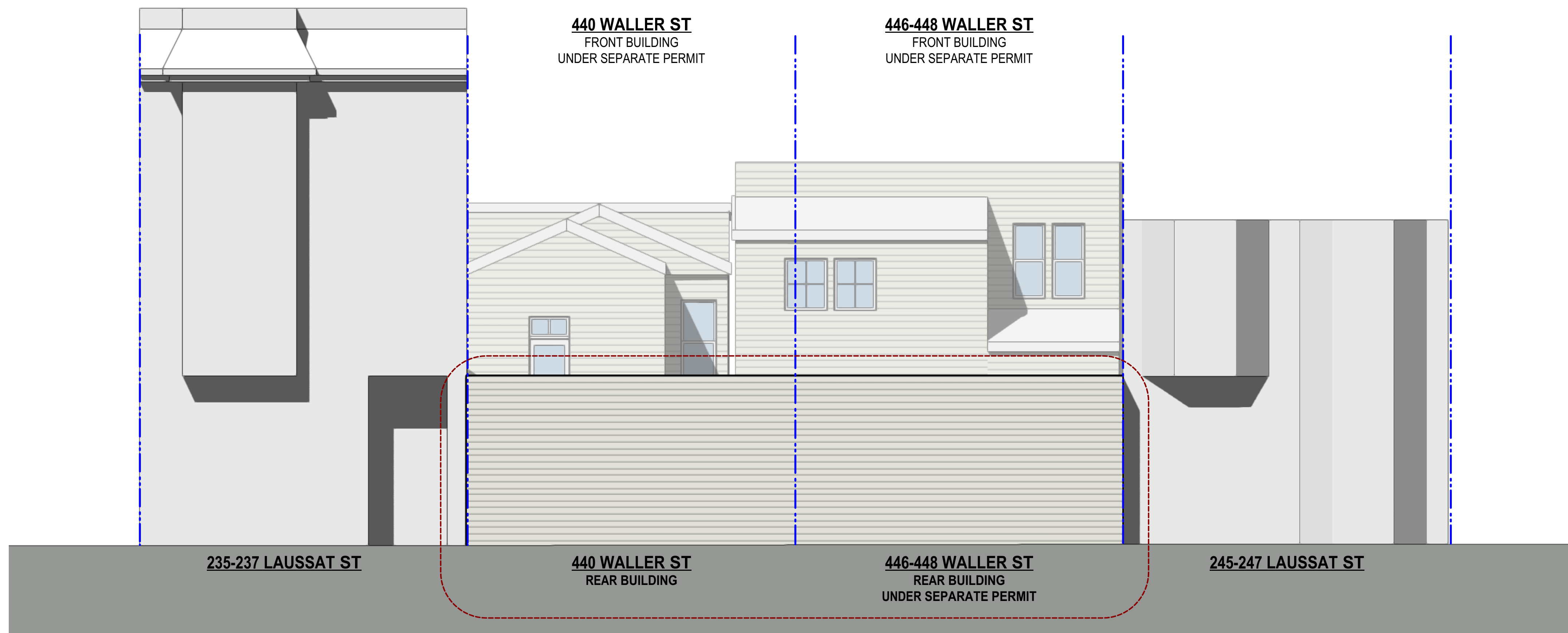
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SHEET NO.

A-3.2



Existing Front Elevation (North)

3/16" = 1'-0"



Proposed Front Elevation (North)

3/16" = 1'-0"

PROPERTY LINE	
- - - - -	
FACADE MATERIALS KEY NOTES:	
01	HIGH QUALITY SMOOTH PLASTER, TYP.
02	WOOD HORIZONTAL SIDING, TYP.
03	WOOD CAP, TYP.
04	WOOD TRIM, TYP.
05	P.T. PLYWD. BLINDWALL, TYP.
06	PAINTED METAL RAILINGS, 42" HIGH MIN., TYP. OPENINGS LESS THAN 3.95"
07	GUARDRAIL W/ SAFETY GLASS, 42" HIGH MIN. TYP.
08	SOLIDENTRY DOOR, WOOD
09	WOOD OVERHEAD GARAGE DOOR
10	ALUMINUM WINDOW, W/ WOOD CLAD & LOW E CLR. GLASS, TYP.
11	ALUMINUM PATIO DOOR W/ WOOD CLAD & CLR. GLASS, TYP.
12	BRICKS FINISH, TYP.
13	SOLID ENTRY DOOR, ALUM.
14	VERTICAL SIDING, TYP.
15	SMOOTH STUCCO, TYP.
16	8" ROOF CAP, TYP.
17	DARK GREY STONE BASE
18	PLANTER

PROJECT NAME

440, 446-448 Waller St.
Front and Rear Bldgs
SAN FRANCISCO, CA



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SHEET TITLE

Right Elevations
(East)

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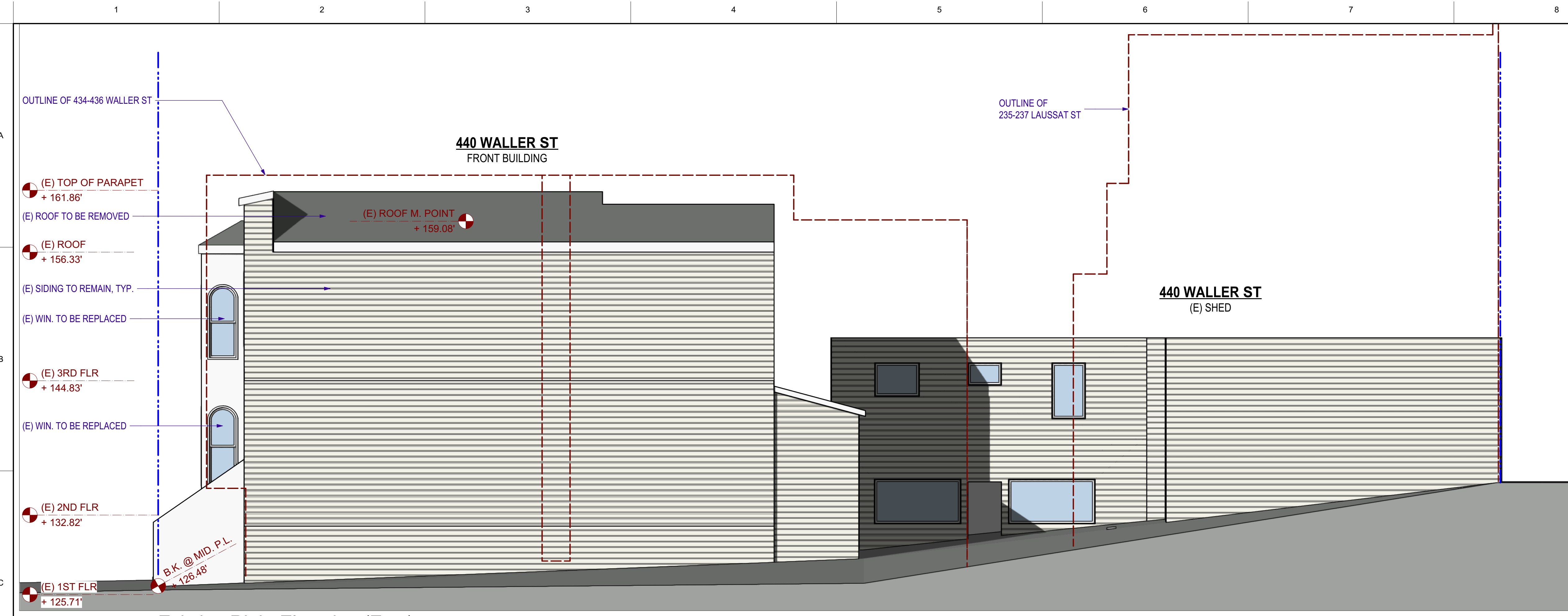
CHECKED	R.K.
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DATE	12/05/2016
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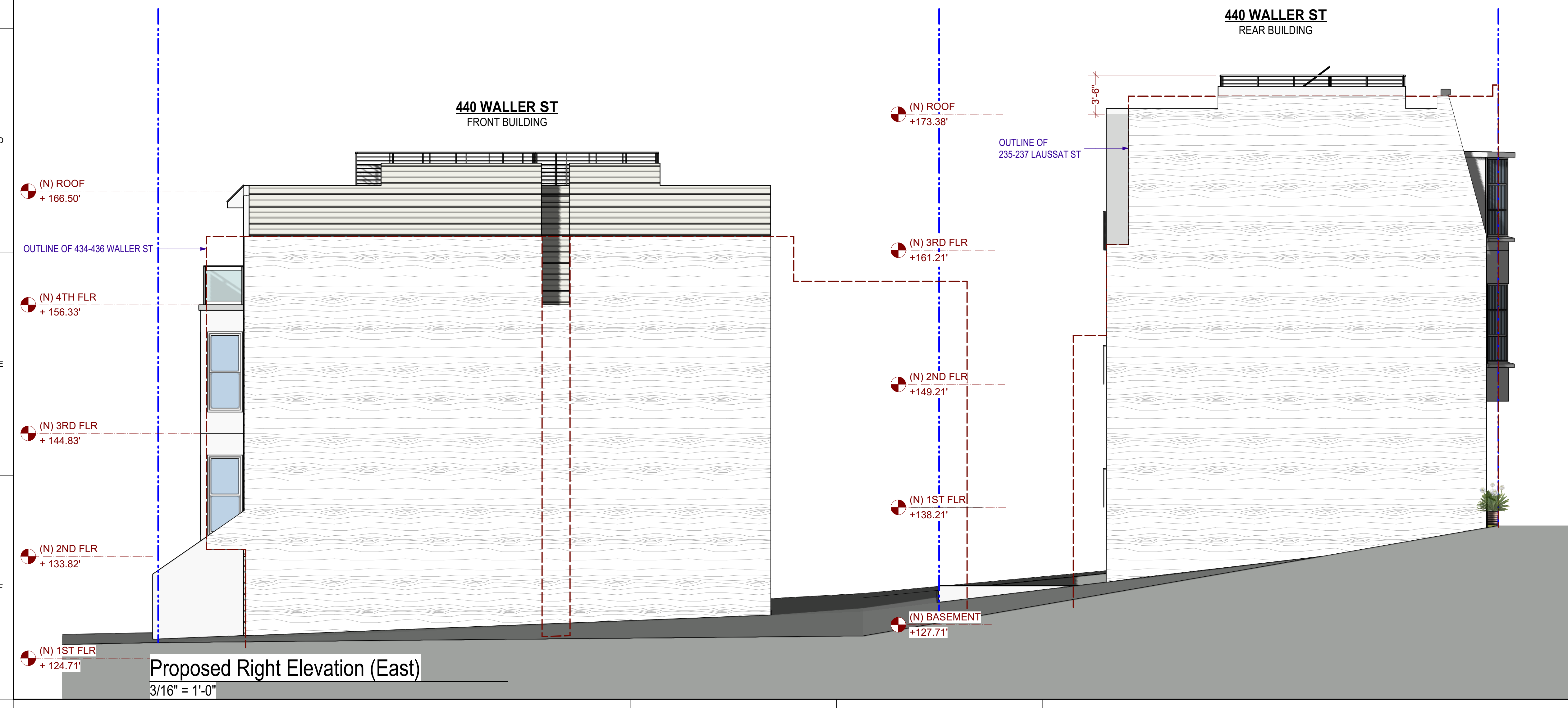
REVISED DATE	05/26/2020
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JOB NO.	16-1726
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SHEET NO.	A-3.4
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Existing Right Elevation (East)
3/16" = 1'-0"



Proposed Right Elevation (East)
3/16" = 1'-0"

PROPERTY LINE
01 HIGH QUALITY SMOOTH PLASTER, TYP.
02 WOOD HORIZONTAL SIDING, TYP.
03 WOOD CAP, TYP.
04 WOOD TRIM, TYP.
05 P.T. PLYWD. BLINDWALL, TYP.
06 PAINTED METAL RAILINGS, 42" HIGH MIN., TYP. OPENINGS LESS THAN 3.95"
07 GUARDRAIL W/ SAFETY GLASS, 42" HIGH MIN. TYP.
08 SOLIDENTRY DOOR, WOOD
09 WOOD OVERHEAD GARAGE DOOR
10 ALUMINUM WINDOW, W/ WOOD CLAD & LOW E CLR. GLASS, TYP.
11 ALUMINUM PATIO DOOR W/ WOOD CLAD & CLR. GLASS, TYP.
12 BRICKS FINISH, TYP.
13 SOLID ENTRY DOOR, ALUM.
14 VERTICAL SIDING, TYP.
15 SMOOTH STUCCO, TYP.
16 8" ROOF CAP, TYP.
17 DARK GREY STONE BASE
18 PLANTER

450-454 WALLER ST

446-448 WALLER ST
REAR BUILDING
UNDER SEPARATE PERMIT

440 WALLER ST.
REAR BUILDING
UNDER SEPARATE PERMIT

434-436 WALLER ST

PROJECT NAME

440, 446-448 Waller St.
Front and Rear Bldgs
SAN FRANCISCO, CA



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SHEET TITLE

Rear Elevations

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REVISED DATE 05/26/2020

JOB NO. 16-1726

SHEET NO.

A-3.5

Rear Bldg-Proposed Rear Elevation (South)

3/16" = 1'-0"



450-454 WALLER ST

440 WALLER ST
FRONT BUILDING
UNDER SEPARATE PERMIT

446-448 WALLER ST
FRONT BUILDING
UNDER SEPARATE PERMIT

434-436 WALLER ST

(N) ROOF
+ 166.50'

(N) Roof
+166.28'

(N) 4th FLR
+ 156.33'

(N) 4TH FLR
+155.28'

(N) 3RD FLR
+ 144.83'

(N) 3RD FLR
+144.28'

(N) 2ND FLR
+ 133.82'

(N) 2ND FLR
+135.28'

(N) 1ST FLR
+ 124.71'

(N) 1ST FLR
+126.28'

Front Bldg-Proposed Rear Elevation (North)

3/16" = 1'-0"



PROPERTY LINE	
FACADE MATERIALS KEY NOTES:	
01	HIGH QUALITY SMOOTH PLASTER, TYP.
02	WOOD HORIZONTAL SIDING, TYP.
03	WOOD CAP, TYP.
04	WOOD TRIM, TYP.
05	P.T. PLYWD. BLINDWALL, TYP.
06	PAINTED METAL RAILINGS, 42" HIGH MIN., TYP. OPENINGS LESS THAN 3.95"
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13	SOLID ENTRY DOOR, ALUM.
14	VERTICAL SIDING, TYP.
15	SMOOTH STUCCO, TYP.
16	8" ROOF CAP, TYP.
17	DARK GREY STONE BASE
18	PLANTER

PROJECT NAME

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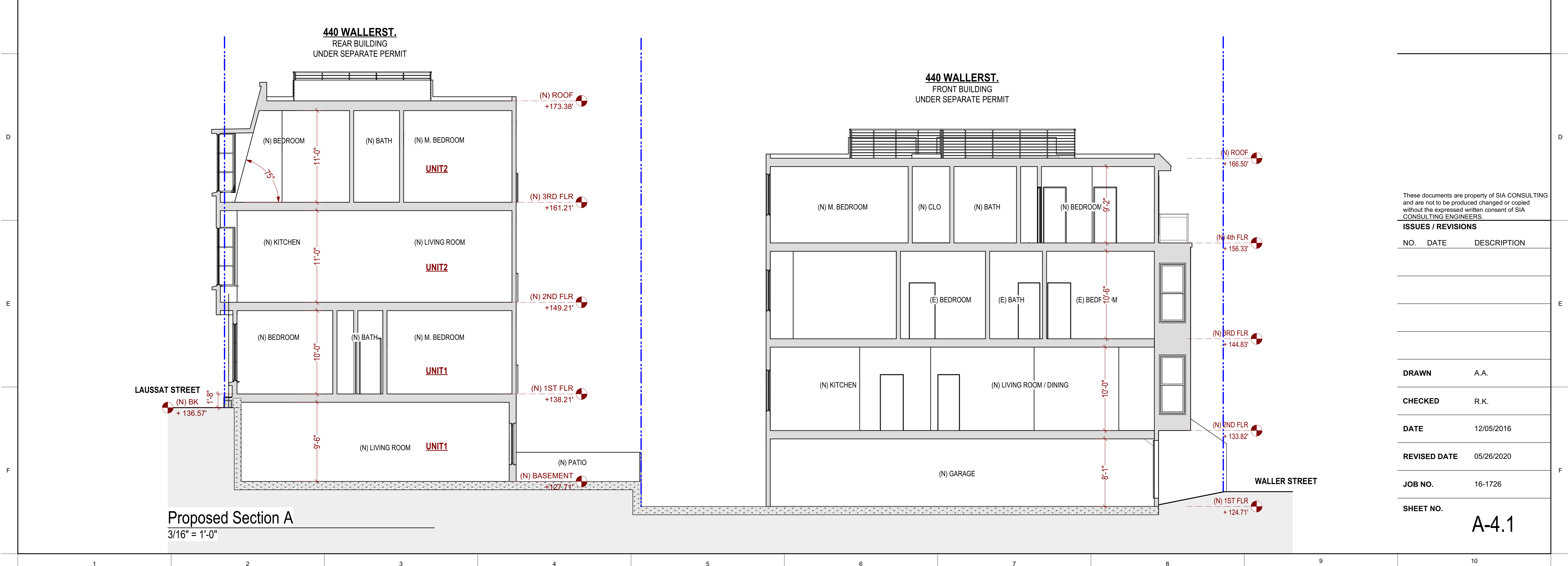
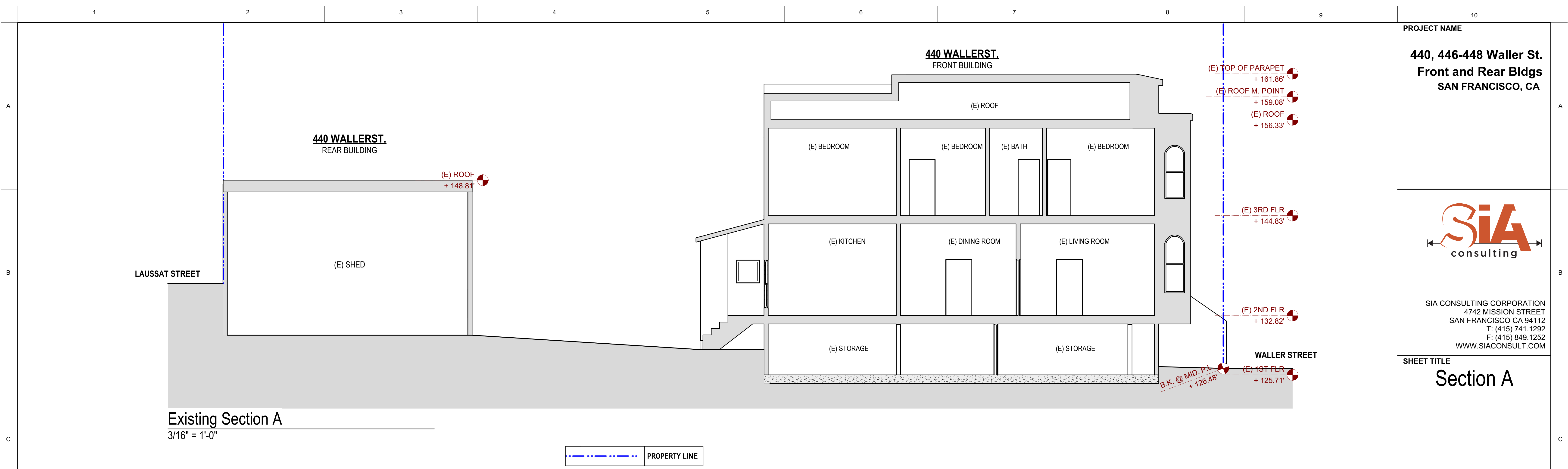
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JOB NO. 16-1726

SHEET NO.

A-4.1



446-448 WALLERST.
REAR BUILDING

446-448 WALLERST.
FRONT BUILDING

PROJECT NAME

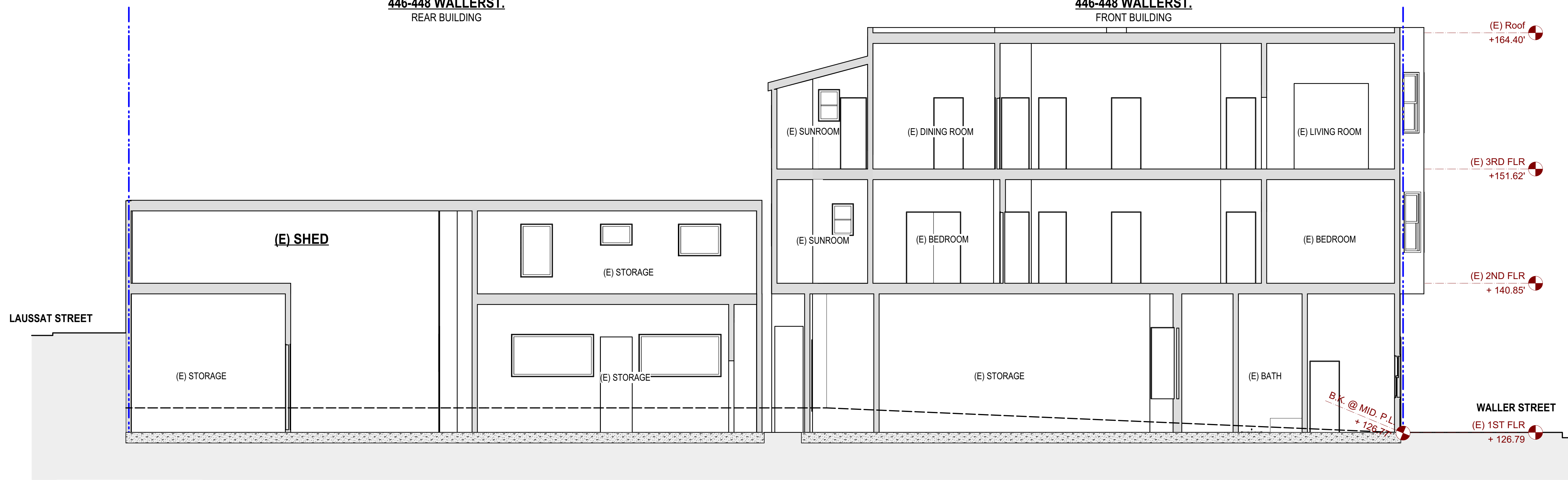
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Front and Rear Bldgs
SAN FRANCISCO, CA



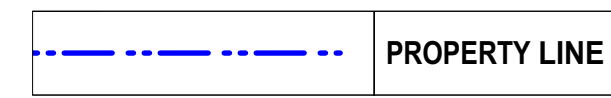
SIA CONSULTING CORPORATION
4742 MISSION STREET
SAN FRANCISCO CA 94112
T: (415) 741.1292
F: (415) 849.1252
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SHEET TITLE

Section B

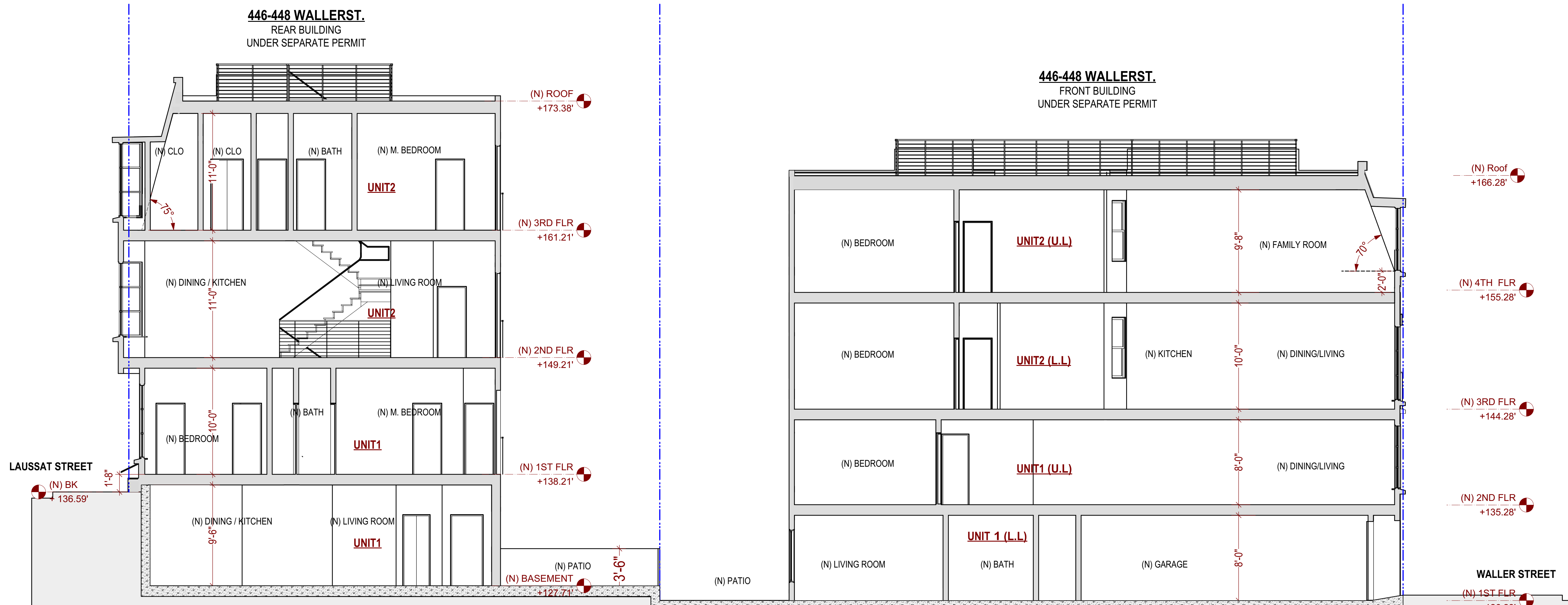


Existing Section B
3/16" = 1'-0"



446-448 WALLERST.
REAR BUILDING
UNDER SEPARATE PERMIT

446-448 WALLERST.
FRONT BUILDING
UNDER SEPARATE PERMIT



Proposed Section B
3/16" = 1'-0"

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN A.A.

CHECKED R.K.

DATE 12/05/2016

REVISED DATE 05/26/2020

JOB NO. 16-1726

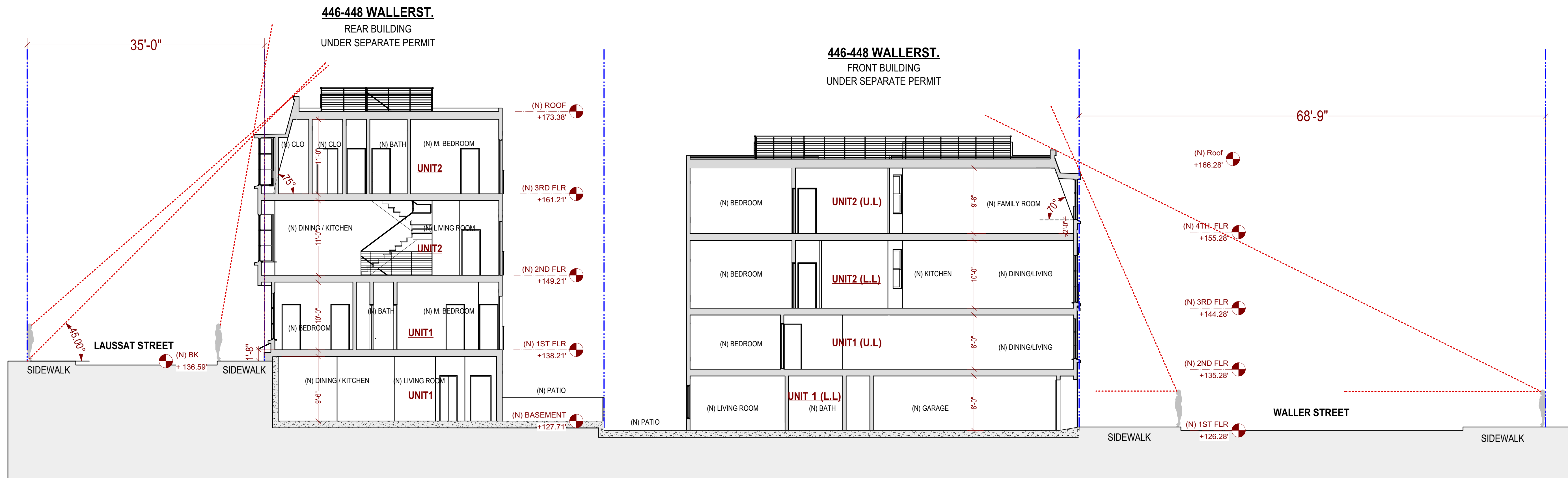
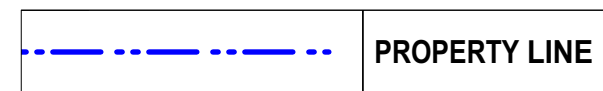
SHEET NO.

A-4.2



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Line of Sight Diagram



Line of Sight Diagram
 1/8" = 1'-0"

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN	A.A.
CHECKED	R.K.
DATE	12/05/2016
REVISED DATE	05/26/2020
JOB NO.	16-1726
SHEET NO.	A-4.3



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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

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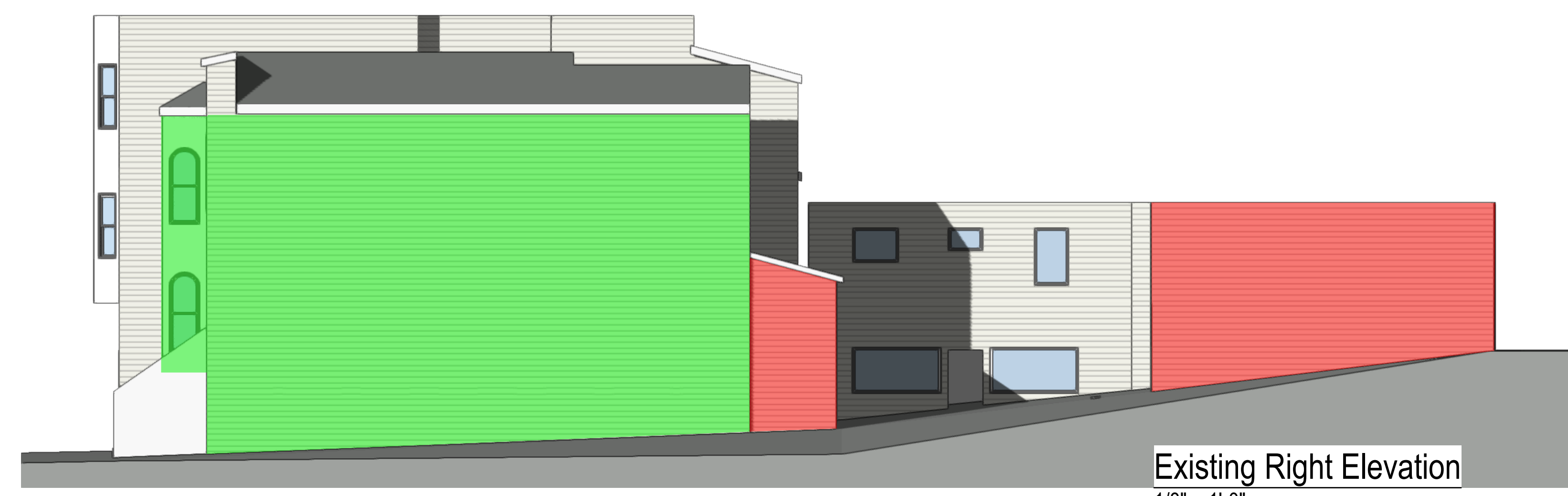
CHECKED R.K.

DATE 12/05/2016

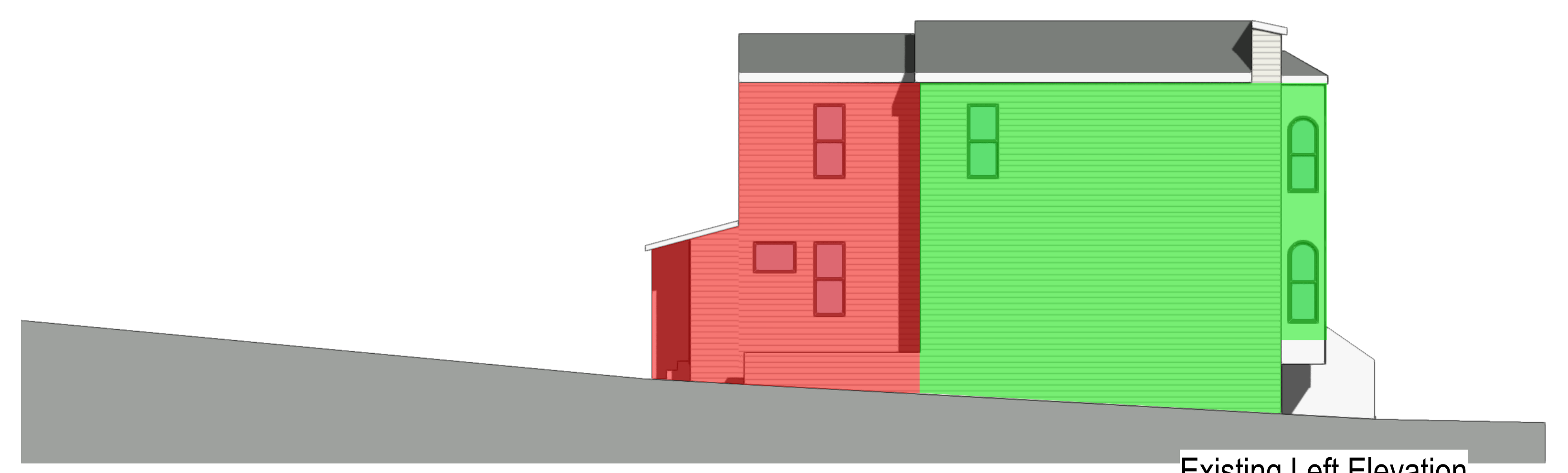
REVISED DATE 05/26/2020

JOB NO. 16-1726

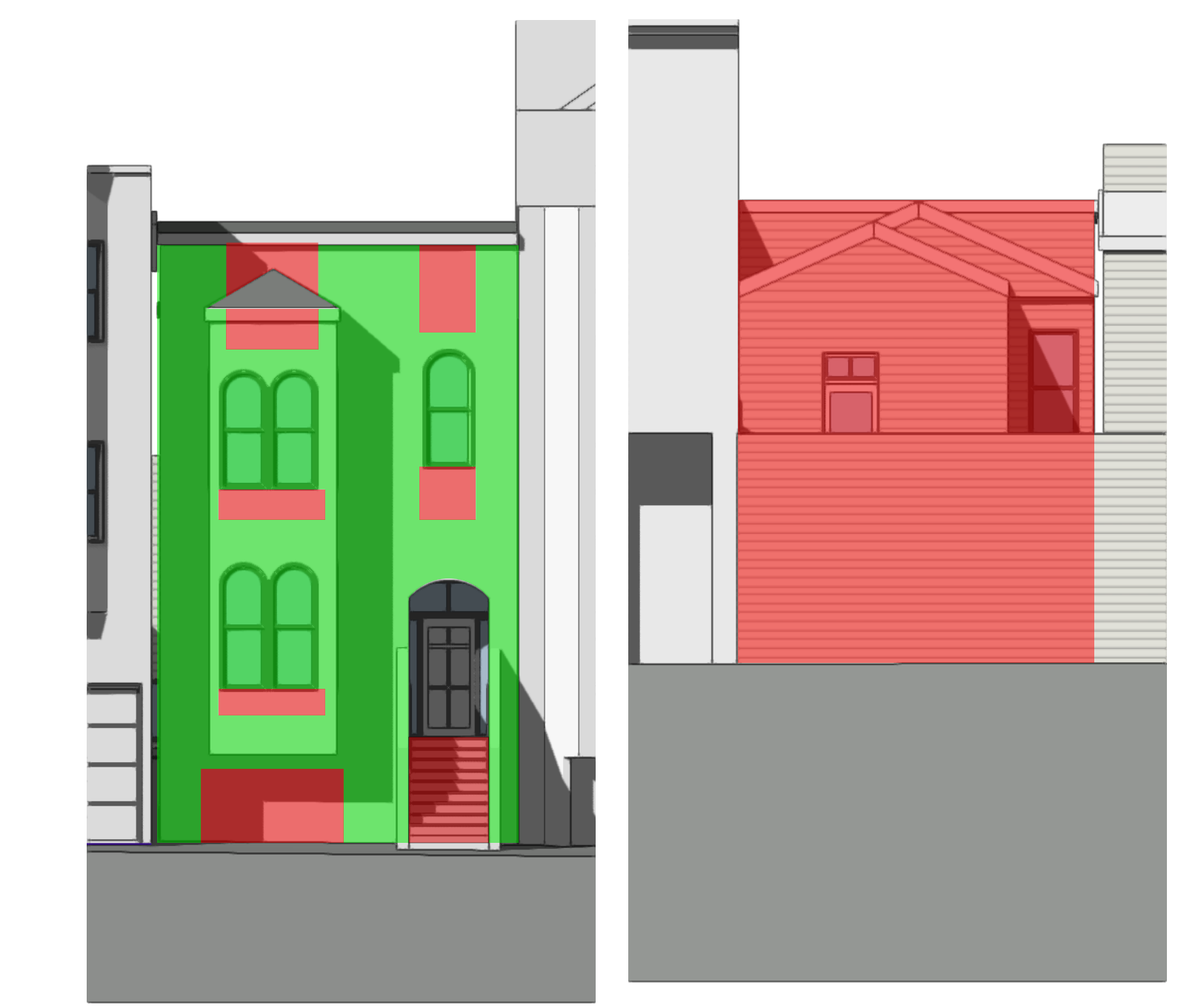
SHEET NO.



Existing Right Elevation
1/8" = 1'-0"



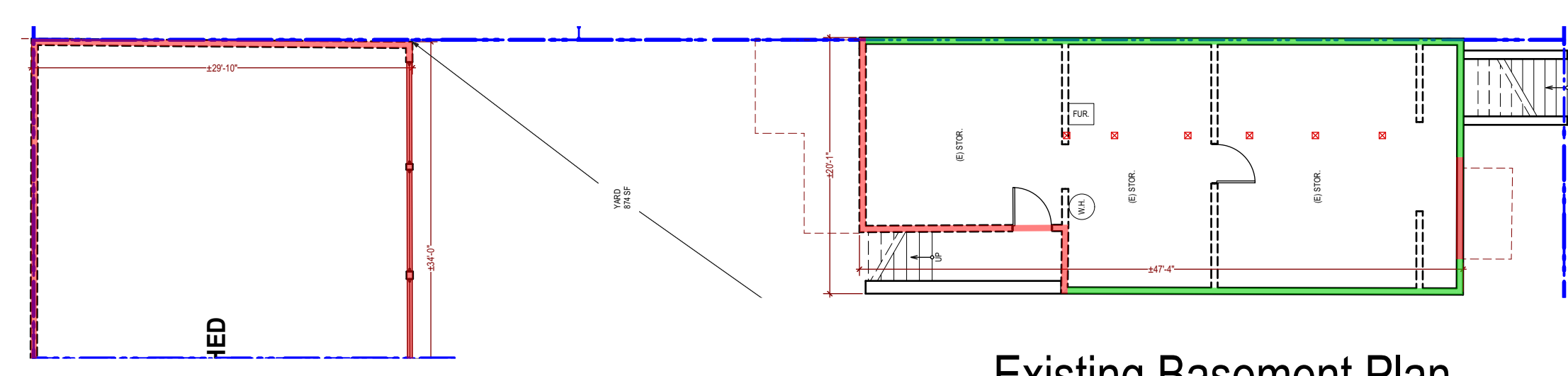
Existing Left Elevation
1/8" = 1'-0"



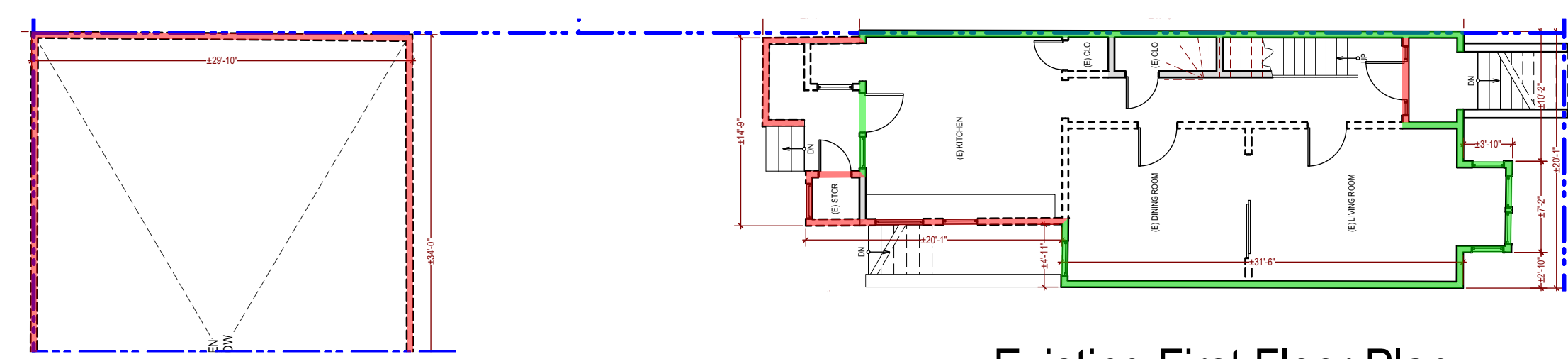
Existing Facade Elevation
1/8" = 1'-0"

Existing Rear Elevation
1/8" = 1'-0"

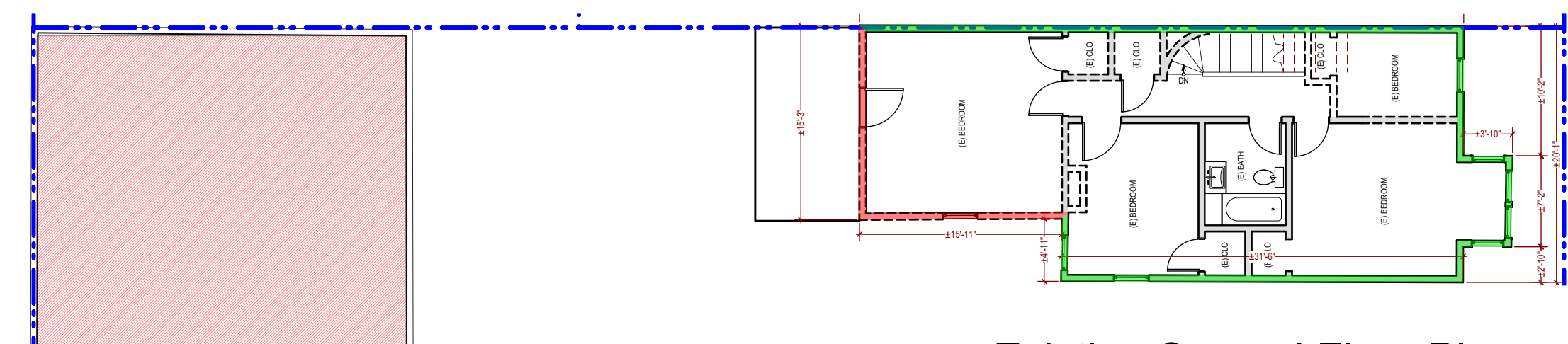
	WALL TO BE REMOVED
	WALL TO BE RETAINED
	HORIZONTAL ELEMENT TO BE DEMO'D



Existing Basement Plan
3/32" = 1'-0"



Existing First Floor Plan
3/32" = 1'-0"

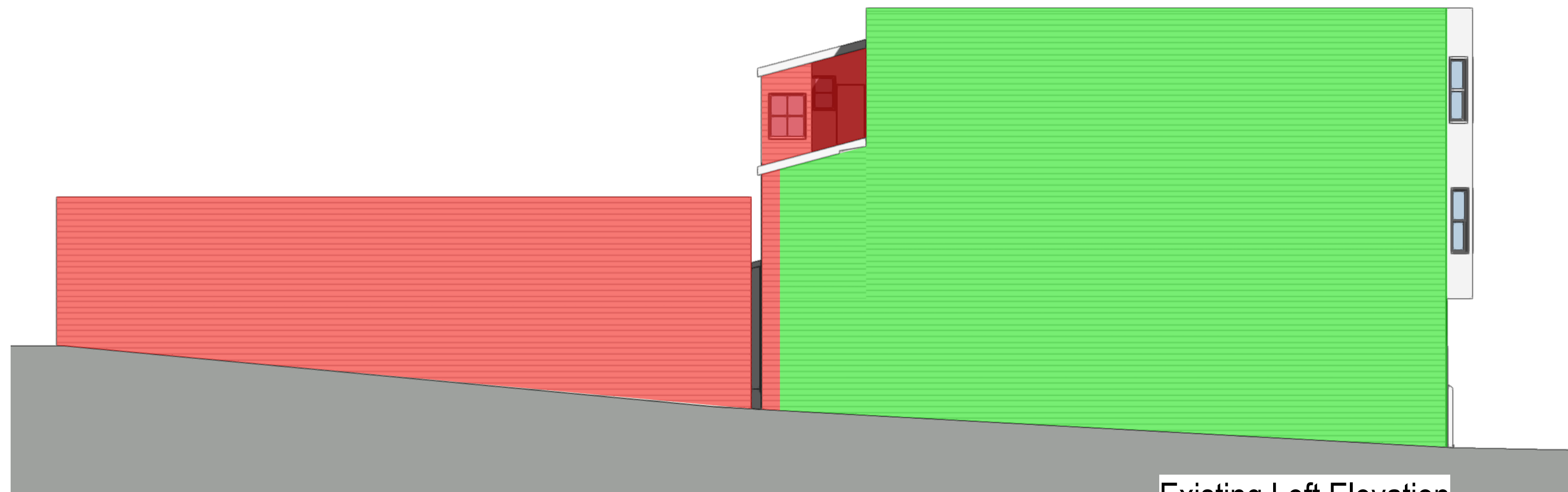


Existing Second Floor Plan
3/32" = 1'-0"

Demolition Calculation Per SFPC Section 317				
DEMOLITION JUSTIFICATION PER SFPC 317(b)(2)(B) - PART 1				
Removal of more than 30% of the sum of the Front & Rear Façade, measured in lineal feet				
FRONT FAÇADE	(E) Ln.Ft.	REMOVED	% REMOVED	
FIRST FLOOR	20.08	8.00	39.84%	
SECOND FLOOR	15.83	0.00	0.00%	
THIRD FLOOR	20.08	0.00	0.00%	
REAR FAÇADE	(E) Ln.Ft.	REMOVED	% REMOVED	
FIRST FLOOR	24.58	24.58	100.00%	
SECOND FLOOR	24.58	24.58	100.00%	
THIRD FLOOR	20.08	15.25	75.95%	
TOTAL	125.23	72.41	57.82%	> 50 %
&				
DEMOLITION JUSTIFICATION PER SFPC 317(b)(2)(B) - PART 2				
If more than 65% of the sum of all exterior walls, measured in lineal feet at the FOUNDATION LEVEL				
EXT. WALLS @ THE FOUNDATION LEVEL	(E) LENGTH	REMOVED	% REMOVED	
FIRST FLOOR (FRONT)	20.08	8.00	39.84%	
FIRST FLOOR (REAR)	24.58	24.58	100.00%	
FIRST FLOOR (LEFT)	46.42	16.00	34.47%	
FIRST FLOOR (RIGHT)	76.25	29.83	39.12%	
TOTAL:	167.33	78.41	46.86%	< 65 %
OR				
DEMOLITION JUSTIFICATION PER SFPC 317(b)(2)(C) - PART 1 (VERTICAL ENVELOPE)				
Removal of more than 50% of the Vertical Envelope Elements of the existing building, as measured in square feet of actual surface area.				
ELEVATION	(E) AREA	\$ REMOVED	% REMOVED	
FRONT	637	127	19.94%	
LEFT	1,488	518	34.81%	
RIGHT	1,390	546	27.44%	
REAR	521	521	100.00%	
TOTAL:	4,636.00	1,712.00	36.93%	< 50 %
&				
DEMOLITION JUSTIFICATION PER SFPC 317(b)(2)(C) - PART 2 (HORIZONTAL ELEMENTS)				
Removal of more than 50% of the Horizontal Elements of the existing building, as measured in square feet of actual surface area.				
HORIZONTAL SURFACE	(E) AREA	\$ REMOVED	% REMOVED	
SECOND FLOOR	832	0	0.00%	
THIRD FLOOR	1,573	705	44.82%	
ROOF	921	921	100.00%	
TOTAL:	3,326.00	1,626.00	48.89%	< 50 %



Existing Right Elevation
1/8" = 1'-0"



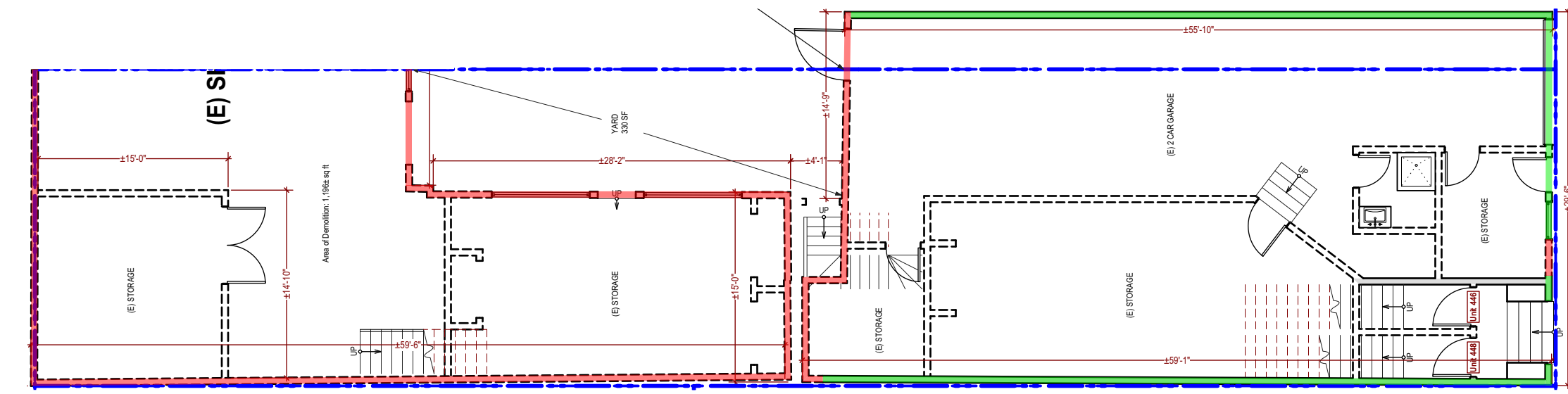
Existing Left Elevation
1/8" = 1'-0"



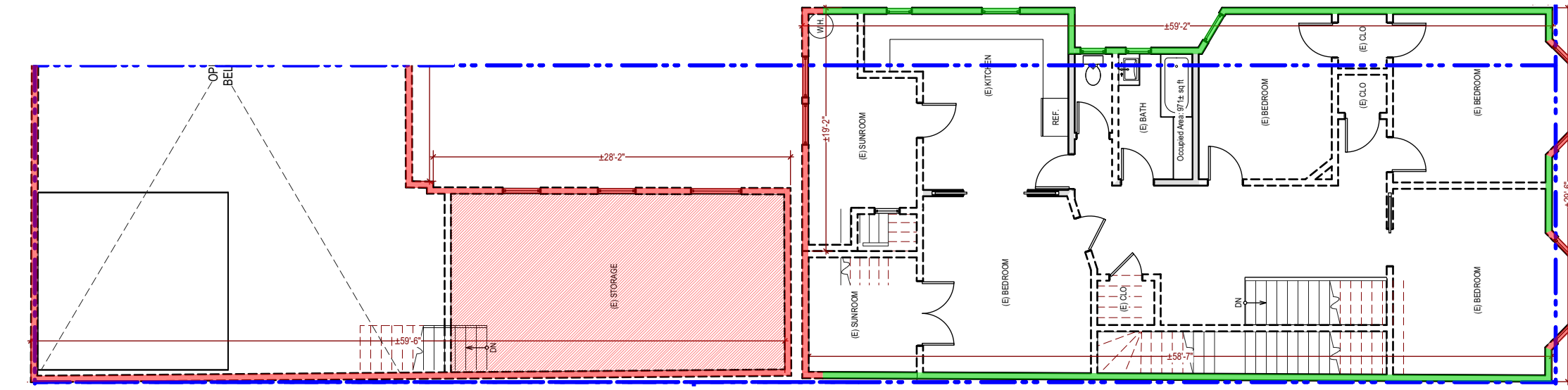
Existing Facade Elevation Existing Rear Elevation
1/8" = 1'-0"

	WALL TO BE REMOVED
	WALL TO BE RETAINED
	HORIZONTAL ELEMENT TO BE DEMO'D

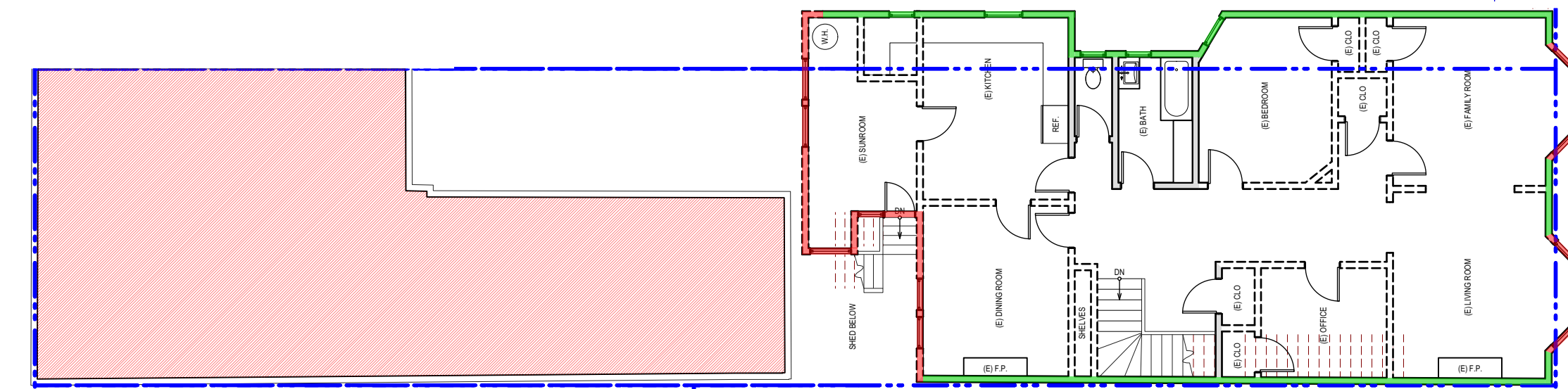
Demolition Calculation Per SFPC Section 317				
DEMOLITION JUSTIFICATION PER SFPC 317(b)(2)(B) - PART 1				
Removal of more than 50% of the sum of the Front & Rear Façade, measured in lineal feet				
FRONT FAÇADE	(E) Ln.Ft.	REMOVED	% REMOVED	
FIRST FLOOR	24.50	6.30	25.71%	
SECOND FLOOR	33.25	22.34	67.19%	
THIRD FLOOR	33.25	22.34	67.19%	
REAR FAÇADE	(E) Ln.Ft.	REMOVED	% REMOVED	
FIRST FLOOR	25.00	25.00	100.00%	
SECOND FLOOR	25.00	25.00	100.00%	
THIRD FLOOR	23.25	23.25	100.00%	
TOTAL	170.25	130.23	76.49%	> 50 %
&				
DEMOLITION JUSTIFICATION PER SFPC 317(b)(2)(B) - PART 2				
f more than 65% of the sum of all exterior walls, measured in lineal feet at the found				
EXT. WALLS @ THE FOUNDATION LEVEL	(E) LENGTH	REMOVED	% REMOVED	
FIRST FLOOR (FRONT)	24.50	6.30	25.71%	
FIRST FLOOR (REAR)	25.00	x	#VALUE!	
FIRST FLOOR (LEFT)	119.08	60.00	50.39%	
FIRST FLOOR (RIGHT)	55.30	0.00	0.00%	
TOTAL:	223.88	66.30	29.61%	< 65 %
OR				
DEMOLITION JUSTIFICATION PER SFPC 317(b)(2)(C) - PART 1 (VERTICAL ENVELOPE)				
Removal of more than 50% of the Vertical Envelope Elements of the existing building, as measured in square feet of actual surface area.				
ELEVATION	(E) AREA	\$ REMOVED	% REMOVED	
FRONT	1,067	640	59.98%	
LEFT	3,033	1,037	34.19%	
RIGHT	2,670	597	22.36%	
REAR	755	755	100.00%	
TOTAL:	7,525.00	3,029.00	40.25%	< 50 %
&				
DEMOLITION JUSTIFICATION PER SFPC 317(b)(2)(C) - PART 2 (HORIZONTAL ELEMENTS)				
Removal of more than 50% of the Horizontal Elements of the existing building, as measured in square feet of actual surface area.				
HORIZONTAL SURFACE	(E) AREA	\$ REMOVED	% REMOVED	
SECOND FLOOR	1,883	367	19.49%	
THIRD FLOOR	2,617	1,167	44.53%	
ROOF	1,678	265	15.79%	
TOTAL:	6,178.00	1,799.00	29.12%	< 50 %



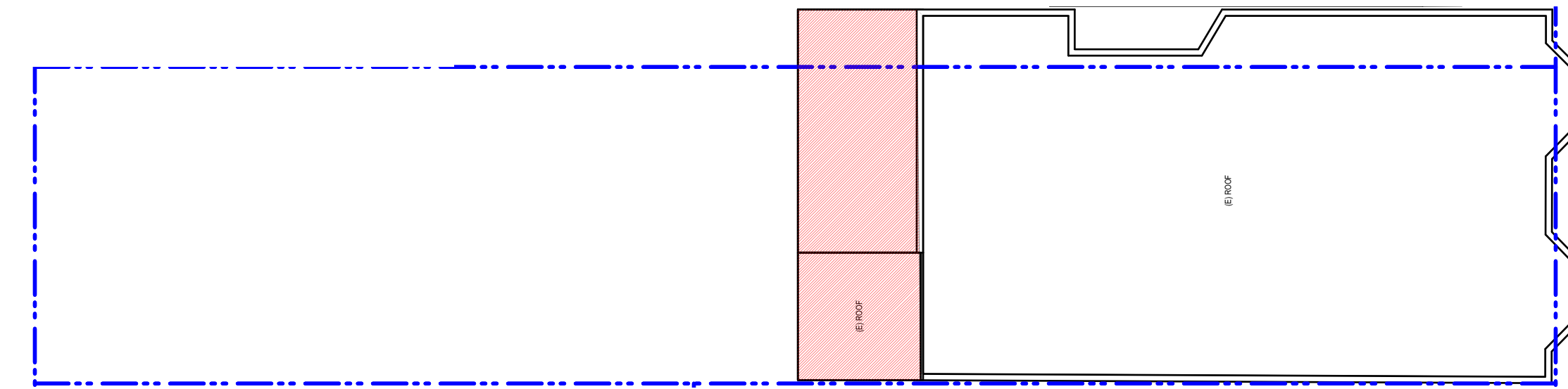
Existing First Floor Plan
3/32" = 1'-0"



Existing Second Floor Plan
3/32" = 1'-0"



Existing Third Floor Plan
3/32" = 1'-0"



Existing Roof Plan
3/32" = 1'-0"

PROJECT NAME

440, 446-448 Waller St.
Front and Rear Bldgs
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
4742 MISSION STREET
SAN FRANCISCO CA 94112
T: (415) 741.1292
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SHEET TITLE

Demo Calculations -
446-8 Waller St

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN A.A.

CHECKED R.K.

DATE 12/05/2016

REVISED DATE 05/26/2020

JOB NO. 16-1726

SHEET NO.

A-6.2

Waller and Laussat Street Neighbors 40 Letters of Support

Dear Planning Commisioners:

My family consists of myself, two moms, Bernadette Capozzoli and Johanna Metzgar, a grandmother Pat Metzgar and our two sons Graham and Jackson that we co-parent. We purchased the property in 2016 and live in all 3 units. We are looking to build 4 new units in the back as well as remodel our existing homes after the Laussat units are finished and pays down our loan.

Over the past 2 years my family met with Waller and Laussat Street neighbors to gain support. We held 2 meetings with all Laussat Street neighbors in the past 2 years. We also sent emails out via a Laussat Street Google Group asking for comments. Recently, we went door to door asking people to sign letters of support on Laussat and Waller Sts.

The DR requester came to the 311 neighborhood meeting and we communicated and asked for comments and concerns and we received none. The DR requester filed the DR on the last day. Since then we have sent them a dozen emails encouraging them to meet with us over the past 2 months to no avail.

As you can see from the Support Chart on the next page almost everyone has been very supportive of my families' proposal to develop the 4 family sized units on Laussat Street as well as the remodel of our families' homes at 440-446-448 Waller Street. Every neighbor who was asked to sign a letter of support signed one. The gaps in the chart are neighbors who are sheltering in place elsewhere or couldn't be reached.

Sincerely,

Brian Kendall

440, 446, 448
Waller

Letters of Support

HAIGHT

31.25	25	25	25	25	25	50	50	2425	2575	25	81.25
712			712			445	450	712	712	810	26
26	27	28	120	2009 85/87	120	62	41	37	38	60	96
25	25	25	29	30	31	50	50	20.25	29.45	25	81.25
25	24	25	29	30	31	50	50	20.25	29.45	25	81.25

LAUSSAT

2066	25	25	25	25	25	25	25	25	25	25	21.25	2011 78 to 80
22	18A	17A	17	15A	15	12	12	46	47	N/A	8	4
105 48/50	19	18	17	15A	15	12	12	46	47	N/A	8	4
25	25	25	25	25	25	25	25	25	25	25	25	25
25	25	25	25	25	25	25	25	25	25	25	25	25

WALLER

24	24	25	25	25	25	25	25	25	25	25	45	61.25
24	24	25	25	25	25	25	25	25	25	25	45	61.25
24	24	25	25	25	25	25	25	25	25	25	45	61.25
24	24	25	25	25	25	25	25	25	25	25	45	61.25
24	24	25	25	25	25	25	25	25	25	25	45	61.25

GERMANIA

STEINER

STEINER

FILLMORE

**Laussat Street
Neighbors
Letters of Support**

LAUSSAT STREET NEIGHBOR

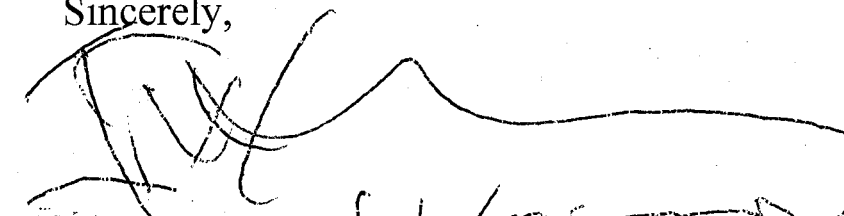
LETTER of SUPPORT

Dear Planning Commissioners:

I live near the project sponsors on Laussat Street and I am writing in **support** of their project to remodel and expand 440 & 446-448 Waller Street as well as the two new buildings on Laussat Street.

The project sponsors have done outreach to us and showed and explained their plans. They have also presented their plans at a neighborhood meetings of Laussat Street neighbors.

Sincerely,



TIM WATERS
212A STEINER

LAUSSAT STREET NEIGHBOR

LETTER of SUPPORT

Dear Planning Commissioners:

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Sincerely,

John Hull
214 Steiner St., SF

LAUSSAT STREET NEIGHBOR

LETTER of SUPPORT

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Sincerely,



- Alex Mayo 05/02/20

217 LAUSSAT ST

LAUSSAT STREET NEIGHBOR

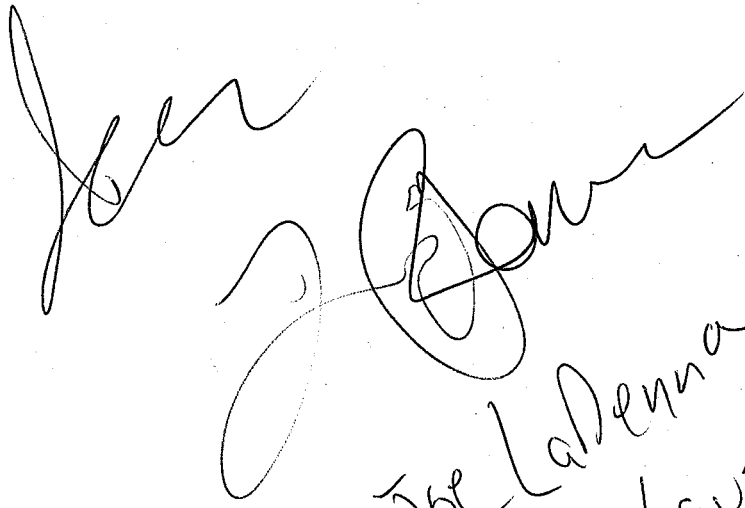
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Sincerely,



Joe LaDenna
226 Laussat St

LAUSSAT STREET NEIGHBOR

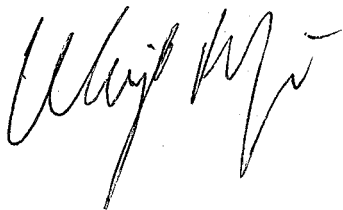
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Sincerely,



FRANCIS DJABRI

229 LAUSSAT ST

LAUSSAT STREET NEIGHBOR

LETTER of SUPPORT

Dear Planning Commissioners:

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Sincerely,



Gary Shambat @ 230 Laussat

LAUSSAT STREET NEIGHBOR

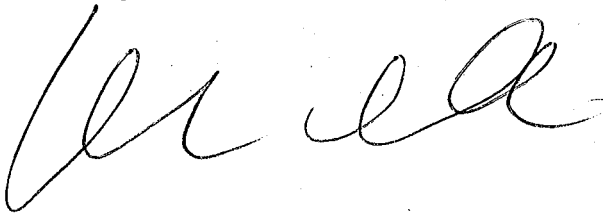
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Sincerely,

A handwritten signature in black ink, appearing to read 'Han Lee', written in a cursive style.

Han Lee @ 230 Laussat St.

LAUSSAT STREET NEIGHBOR

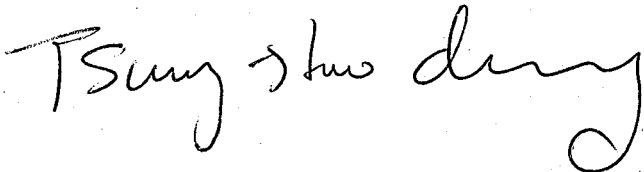
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Sincerely,



Tsung-Huo Chuang 234 Laussat ST.

AJACENT PROPERTY OWNER

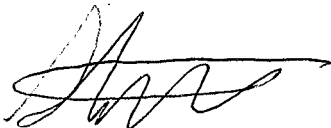
LETTER of SUPPORT

Dear Planning Commissioners:

I own a property adjacent to the project sponsors and I am writing in **support** of their project to remodel and expand 440 & 446-448 Waller Street as well as the two new buildings on Laussat Street.

The project sponsors have done outreach to us and showed and explained their plans. They have also presented their plans at neighborhood meetings over the past two years.

Sincerely,



Stephanie Sheehan
235 Laussat St

AJACENT PROPERTY OWNER

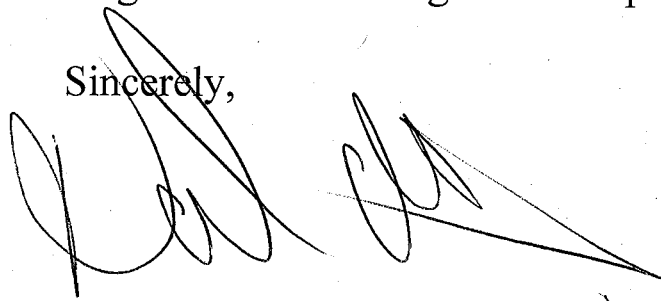
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Sincerely,



NILS WEVIN

237 Laussat, St, SF 94117.

LAUSSAT STREET NEIGHBOR

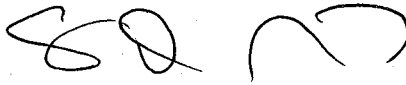
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The project sponsors have done outreach to us and showed and explained their plans. They have also presented their plans at a neighborhood meetings of Laussat Street neighbors.

Sincerely,

Sarah Siddard

240 Laussat St.

LAUSSAT STREET NEIGHBOR

LETTER of SUPPORT

Dear Planning Commissioners:

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The project sponsors have done outreach to us and showed and explained their plans. They have also presented their plans at a neighborhood meetings of Laussat Street neighbors.

Sincerely,

Connie Long

A handwritten signature in black ink, appearing to read 'Connie Long', with a long horizontal flourish extending to the right.

247 Laussat.

LAUSSAT STREET NEIGHBOR

LETTER of SUPPORT


Dear Planning Commissioners:

I live near the project sponsors on Laussat Street and I am writing in **support** of their project to remodel and expand 440 & 446-448 Waller Street as well as the two new buildings on Laussat Street.

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Sincerely,

George Kenny
George Kenny


CHRIS MOORE

254 Laussat St
SF CA 94117

LAUSSAT STREET NEIGHBOR

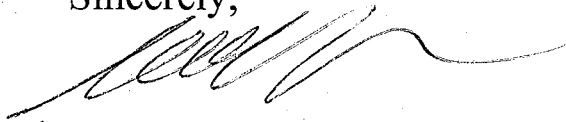
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Sincerely,



MARIO BEVILACQUA VON GONDORRODO (RONTOR)

258 LAUSSAT ST.

LAUSSAT STREET NEIGHBOR

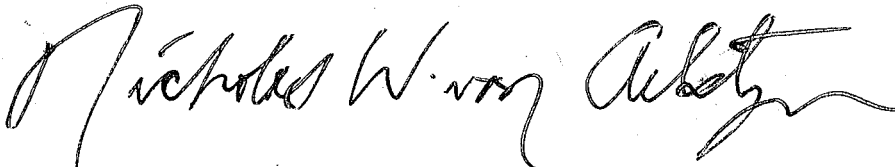
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Sincerely,


259 Laussat St.

LAUSSAT STREET NEIGHBOR

LETTER of SUPPORT

Dear Planning Commissioners:

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The project sponsors have done outreach to us and showed and explained their plans. They have also presented their plans at a neighborhood meetings of Laussat Street neighbors.

Sincerely,

U/Banda
Margaret Banda
260 Laussat St.


BILL GOULD

LAUSSAT STREET NEIGHBOR

LETTER of SUPPORT

Dear Planning Commissioners:

I live near the project sponsors on Laussat Street and I am writing in **support** of their project to remodel and expand 440 & 446-448 Waller Street as well as the two new buildings on Laussat Street.

The project sponsors have done outreach to us and showed and explained their plans. They have also presented their plans at a neighborhood meetings of Laussat Street neighbors.

Sincerely,

Aaron Johnson

265 Laussat

LAUSSAT STREET NEIGHBOR

LETTER of SUPPORT

Dear Planning Commissioners:

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Sincerely,



DAN JOHNSON

269 LAUSSAT

LAUSSAT STREET NEIGHBOR

LETTER of SUPPORT

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Sincerely,



ANNA KACIUS

275 LAUSSAT ST.



AUSTIN LOUDER

LAUSSAT STREET NEIGHBOR

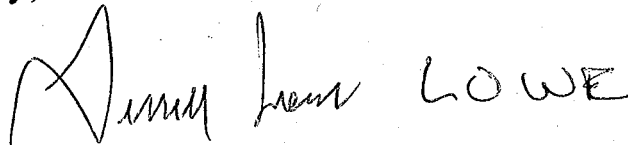
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Sincerely,

Jimmy Lee LOWE

277 LAUSSAT ST.

**Waller Street
Neighbors
Letters of Support**

WALLER STREET NEIGHBOR

LETTER of SUPPORT

Dear Planning Commissioners:

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Sincerely,

Kamonwan NOLANDYEE 406 Waller St

WALLER STREET NEIGHBOR

LETTER of SUPPORT

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Sincerely,

LOUIE VIDALES



157 FILLMORE ST

WALLER STREET NEIGHBOR

LETTER of SUPPORT

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Sincerely,

David Casadio 407 Waller St.

A handwritten signature in black ink, appearing to be "David Casadio", with a long horizontal line extending to the right.

WALLER STREET NEIGHBOR

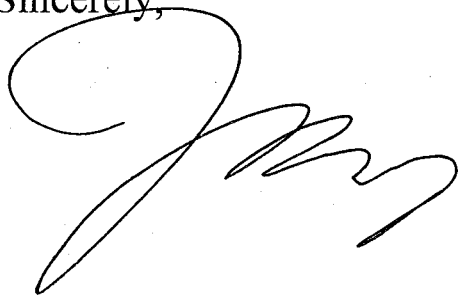
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Sincerely,

A handwritten signature in black ink, appearing to read 'Jenn Meyer', with a large, stylized initial 'J'.

JENN MEYER
410 Waller

WALLER STREET NEIGHBOR

LETTER of SUPPORT

Dear Planning Commissioners:

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Sincerely,

Lisa Ferdinand
414 Waller St
SF, Ca 94117
LISA FERDINAND

WALLER STREET NEIGHBOR

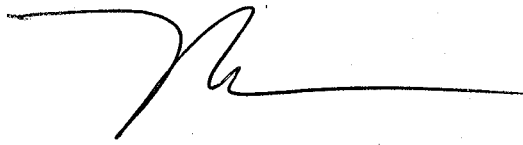
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Sincerely,



TOM WAIN
422 WALLER
OWNER

WALLER STREET NEIGHBOR

LETTER of SUPPORT

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Sincerely,

Connie Young 423 Waller

WALLER STREET NEIGHBOR

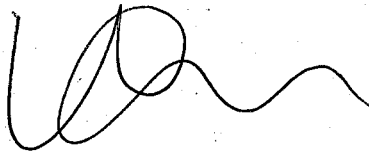
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Sincerely,

A handwritten signature in black ink, appearing to be a stylized 'W' or similar initial, followed by a wavy line.

433 Waller Street

WALLER STREET NEIGHBOR

LETTER of SUPPORT

Dear Planning Commissioners:

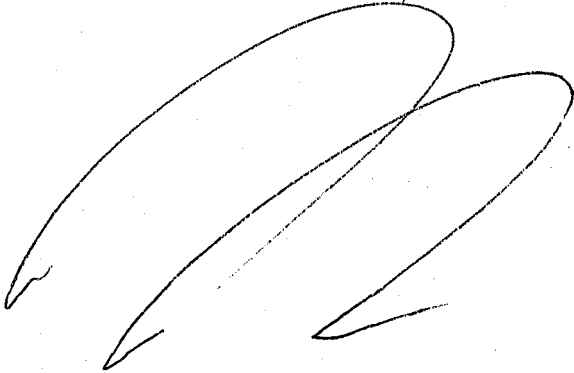
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Sincerely,

Nishant Jayant

243 WALLER

A large, stylized handwritten signature in black ink, consisting of several overlapping loops and curves.

WALLER STREET NEIGHBOR

LETTER of SUPPORT

Dear Planning Commissioners:

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Sincerely,

Cynthia Lohndi 445 Waller St

WALLER STREET NEIGHBOR

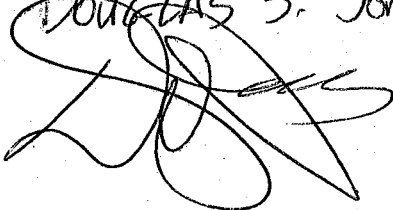
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Sincerely,

DOUGLAS S. JONES


254 Waller ST
SF CA 94117

WALLER STREET NEIGHBOR

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Sincerely,

460 Waller Abigail Lieberfarb

James Honsa

WALLER STREET NEIGHBOR

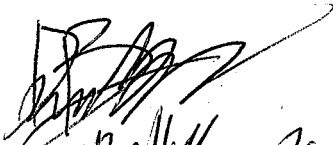
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Sincerely,


Dana Bradley
455 Wallers #
owner
&
Property

WALLER STREET NEIGHBOR

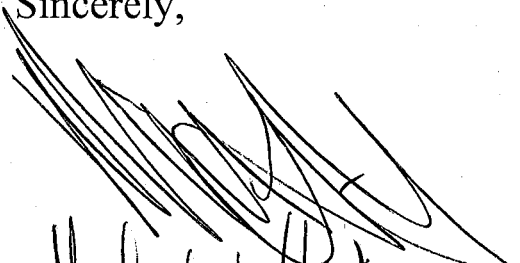
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Sincerely,



Michael T. Haykin
461 Waller St

WALLER STREET NEIGHBOR

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Sincerely,

Marissa Kraines



461 Waller St.

WALLER STREET NEIGHBOR

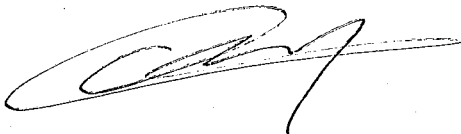
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Sincerely,



Michael Gandy

Catherine Gandy

Catherine Gandy

463 Waller

734-883-1043

WALLER STREET NEIGHBOR

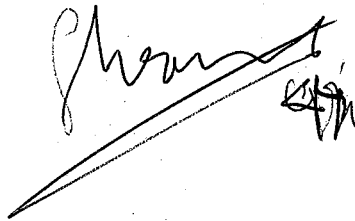
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Sincerely,

 *Waller Street*

WALLER STREET NEIGHBOR

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Sincerely,

Terence Oldham

Terence Oldham

473 Waller Street

San Francisco CA 94117

WALLER STREET NEIGHBOR

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Sincerely,

Adam Snell
Adam Snell

4/29/20
476 Waller St
SF CA 94117

WALLER STREET NEIGHBOR

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Sincerely,

Sven Kruger

488 - Waller Street

San Francisco, CA - 94117

