



# SAN FRANCISCO PLANNING DEPARTMENT

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## Executive Summary Conditional Use – Formula Retail

HEARING DATE: 04/19/2018

*Record No.:* 2017-016147CUA  
*Project Address:* 855 BRANNAN STREET  
*Zoning:* UMU (Urban Mixed Use) Zoning District  
68-X Height and Bulk District  
*Block/Lot:* 3783/001  
*Applicant:* Mesfin Samuel, The Samuel Group Architects  
8828 N. Stemmons Freeway, Suite 500  
Dallas, TX 75247  
*Staff Contact:* Michael Christensen – (415) 575-8742  
[michael.christensen@sfgov.org](mailto:michael.christensen@sfgov.org)  
*Recommendation:* **Approval with Conditions**

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### PROJECT DESCRIPTION

The proposed project would authorize a 2,878 square-foot Formula Retail Financial Services use (d.b.a. Wells Fargo) in a vacant ground floor tenant space in a newly constructed six-story, mixed-use building. The total floor area of the space will not change with this Project. The Project will include new signage.

### REQUIRED COMMISSION ACTION

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization to establish a Formula Retail Financial Service use in the UMU (Urban Mixed Use) Zoning District, pursuant to Planning Code Sections 303, 303.1, 843.45 and 843.46.

### ISSUES AND OTHER CONSIDERATIONS

- **Public Comment & Outreach.** The Department has received one letter of support for the project from the "District 6 Community Planners," indicating the need for financial services uses in the SoMa neighborhood.
- **Subject Space:** The subject tenant space is permitted as a "Retail Sales and Service" space, which includes Financial Services uses. The subject tenant space has never been occupied as the building is newly constructed.
- **Formula Retail Concentration:** The total concentration of Formula Retail uses within the larger vicinity of the site (1/4 mile radius) would be approximately 11.46% if the project is approved.

### BASIS FOR RECOMMENDATION

The Department finds that the Project is, on balance, consistent with the intent of the UMU Zoning District and the Objectives and Policies of the General Plan. The project will provide a needed Financial

Services use to the surrounding neighborhood without displacing any existing non-formula retail uses. Additionally, the project prepared a survey of Formula Retail uses in the surrounding area which determine that the total concentration of such uses would equal approximately 11.46% of the total frontages in the vicinity if the project is approved.

**ATTACHMENTS:**

Draft Motion – Conditional Use Authorization

Exhibit A: Conditions of Approval

Exhibit B: Project Plans



# SAN FRANCISCO PLANNING DEPARTMENT

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## Planning Commission Draft Motion

HEARING DATE: 04/19/2018

*Record No.:* **2017-016147CUA**  
*Project Address:* **855 BRANNAN ST**  
*Zoning:* **UMU (Urban Mixed Use) Zoning District**  
**68-X Height and Bulk District**  
*Block/Lot:* **3783/001**  
*Applicant:* **Mesfin Samuel, The Samuel Group Architects**  
**8828 N. Stemmons Freeway, Suite 500**  
**Dallas, TX 75247**  
*Staff Contact:* **Michael Christensen – (415) 575-8742**  
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**ADOPTING FINDINGS RELATING TO A CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 303, 303.1, 845.45, AND 845.46, TO ESTABLISH A FORMULA RETAIL FINANCIAL SERVICES USE (DBA. WELLS FARGO BANK), LOCATED AT 855 BRANNAN STREET, LOT 001 IN ASSESSOR'S BLOCK 3783, WITHIN THE UMU (URBAN MIXED-USE) ZONING DISTRICT AND A 68-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.**

### PREAMBLE

On December 19, 2017, Mesfin Samuel (hereinafter "Project Sponsor") filed Application No. 2017-016147CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization to establish a Formula Retail Financial Services use (hereinafter "Project"), dba Wells Fargo, at 855 Brannan Street, Block 3783 Lot 001 (hereinafter "Project Site").

The Planning Department Commission Secretary is the custodian of records; the File for Case No. 2017-016147CUA is located at 1650 Mission Street, Suite 400, San Francisco, California.

On April 19, 2017, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2017-016147CUA.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 Categorical Exemption.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2017-016147CUA, subject to the conditions contained in “EXHIBIT A” of this motion, based on the following findings:

## FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Project Description.** The proposed project would authorize a 2,878 square-foot Formula Retail Financial Services use (d.b.a. Wells Fargo) in a vacant ground floor tenant space in a newly constructed six-story, mixed-use building. The total floor area of the space will not change with this Project. The Project will include new signage.
3. **Site Description and Present Use.** The Project Site, Lot 001 in Assessor’s Block 3783, is located on the southeast side of Brannan Street, between 7th and 8th Streets in the UMU Zoning District in the South of Market neighborhood. The site is developed with a newly constructed six-story mixed-use building consisting of 432 dwelling units, approximately 19,650 square feet of retail and 422 off-street parking spaces approved on January 31, 2013 per Planning Commission Motion No. 18793 (See Case No. 2012.0700X for 801 Brannan Street). The building, currently under construction, has street frontage on Brannan, 7th, and 8th Streets. The subject storefront is located at the southern corner of the subject property. Wells Fargo is the first proposed tenant for the subject storefront.
4. **Surrounding Properties and Neighborhood.** The neighborhood is characterized by one- to six-story industrial, commercial, office, and mixed-use buildings. The north side of Brannan Street, opposite the subject site, includes a four-story, three-story, and three, two-story mixed-use buildings including office and retail uses. Lots across the street from Brannan and Townsend are zoned UMU while lots across the street from 8th Street are zoned PDR-1-G and lots across from 7th Street are zoned SALI and RED-MX.
5. **Public Outreach and Comments.** The Department has received one letter of support for the project from the “District 6 Community Planners,” indicating the need for financial services uses in the SoMa neighborhood.
6. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
  - A. **Use – Sales and Services, Retail.** Planning Code Section 890.104 defines a sales and services retail use as a commercial use which provides goods and/or services directly to the consumer and not for resale and is accessible to the general public.

*Wells Fargo is a San Francisco-based Financial Services company. The project is considered Retail Sales and Services Land Use Category, as defined in Planning Code Section 890.104, which is a principally permitted use in the UMU District per Planning Code Section 843.45.*

- B. **Use Size.** Section 843.45 establishes size limits for all Retail Sales and Services uses in the UMU District. Within the District, Conditional Use Authorization is required for any Retail Sales and Services use that exceeds 25,000 square feet.

*The proposal is going to occupy a 2,878 square-foot vacant ground floor establishment. The proposed use size is below the 25,000 square-foot size limit and is therefore principally permitted.*

- C. **Formula Retail.** Planning Code Sections 303.1 and 843.46 requires a Conditional Use Authorization for the establishment or expansion of a new formula retail use in the UMU District.

*Wells Fargo is a bank and financial services company which includes more than 6,314 locations in the United States and is therefore considered a formula retail establishment. Wells Fargo seeks a Conditional use Authorization for the establishment of a new formula retail use.*

- D. **Off-Street Parking.** Pursuant to Planning Code Section 843.10, no off-street parking is required for non-residential uses in the UMU Zoning District.

*Wells Fargo is a non-residential use and thus does not require any off-street parking spaces. There will be no off-street parking added as part of this Project.*

- E. **Street Frontage in Mixed-Use Districts.** Planning Code Section 145.1 requires that within Mixed-Use Districts space for active uses shall be provided within the first 25 feet of building depth on the ground floor and 15 feet on floors above from any facade facing a street at least 30 feet in width. In addition, the floors of street-fronting interior spaces housing non-residential active uses and lobbies shall be as close as possible to the level of the adjacent sidewalk at the principal entrance to these spaces. Frontages with active uses that must be fenestrated with transparent windows and doorways for no less than 60 percent of the street frontage at the ground level and allow visibility to the inside of the building. The use of dark or mirrored glass shall not count towards the required transparent area. Any decorative railings or grillwork, other than wire mesh, which is placed in front of or behind ground floor windows, shall be at least 75 percent open to perpendicular view. Rolling or sliding security gates shall consist of open grillwork rather than solid material, so as to provide visual interest to pedestrians when the gates are closed, and to permit light to pass through mostly unobstructed. Gates, when both open and folded or rolled as well as the gate mechanism, shall be recessed within, or laid flush with, the building facade.

*The proposed bank will have approximately 58 feet of frontage along 8<sup>th</sup> Street with more than 60 percent devoted to transparent window space. The windows will be clear and unobstructed. Signs will be required to have a sign permit and comply with the requirements of Article 6 of the Planning Code and the Formula Retail sign guidelines. There are no changes proposed to the commercial frontage.*

- F. **Signage.** Section 607.2 of the Planning Code permits business signs to be located within Mixed Use Districts with limitations based on the type of signage. In addition to the Planning Code, the *Commission Guide for Formula Retail* provides additional limitations for signs located on formula retail storefronts. One sign per tenant is permitted, unless the establishment is a corner storefront, in which case it may have one sign per frontage.

*Wells Fargo is proposing one business sign on an existing awning, which will be internally illuminated. The proposed signage complies with Article 6 of the Planning Code and the Commission Guidelines for Formula Retail.*

5. **Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use Authorization. On balance, the Project complies with said criteria in that:

- i. The proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

*The proposed Formula Retail use is compatible with and desirable for the surrounding community because it would allow an active use of a ground floor tenant space in a mixed-use building in the SoMa neighborhood, and provide a centrally located retail service center for a bank. The authorization of this business would not result in the displacement of any existing tenant since the proposed tenant would occupy a vacant storefront in a newly constructed mixed-use building and would activate a new storefront.*

- ii. The proposed Project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the Project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- a) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

*The size and shape of the site and the size, shape, and arrangement of the building, e.g. height and bulk, will not be altered as part of this Project. The proposed Project will not affect the building envelope. The Formula Retail use will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. Within a ¼ mile radius, there are two other banks including Chase Bank and Union Bank, both of which are also Formula Retail uses. The establishment of this Formula Retail Use is not anticipated to significantly affect the existing banks within the District.*

- b) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*The Project is designed to meet the needs of the immediate neighborhood and should not generate significant amounts of vehicle trips from the immediate neighborhood or citywide. Existing off-street commercial parking will remain. The Project will not adversely affect public transit or overburden the existing supply of parking in the neighborhood.*

- c) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*The Project will not produce noxious or offensive emissions related to noise, glare, dust, or odor. The Formula Retail activities would be within an enclosed building, providing ample sound insulation.*

- d) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting, and signs;

*The Project will not alter the site's vehicle parking, loading areas, or service areas. Signs will require a permit and must comply with the requirements of Article 6 of the Planning Code and the Formula Retail sign guidelines.*

- iii. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*The Project complies with all relevant requirements and standards of the Planning Code and is consistent with Objectives and Policies of the General Plan, as detailed below.*

- iv. That the use as proposed would provide development that is in conformity with the stated purpose of the District.

*The project is consistent with the stated purpose of the UMU Zoning District in that the intended use is located at the ground floor and will provide a compatible convenience service for the immediately surrounding neighborhoods during daytime hours; the Formula Retail use will provide a compatible business for the immediately surrounding neighborhoods. The Code allows for the full range of commercial uses provided that the use size generally is limited to 25,000 square feet; the proposed use is 2,878 square feet.*

- 6. **Formula Retail Use.** Formula Retail uses within the UMU Zoning District require a Conditional Use Authorization. Planning Code Section 303.1 provides additional criteria for the Planning Commission to consider when considering any conditional use pursuant Section 303.1, Formula Retail Uses:

- a. The existing concentration of Formula Retail uses within the District.

*There are 9 existing ground story Formula Retail establishments out of 49 retail establishments within the Urban Mixed Use Zoning District in the immediate area. Therefore, the existing intensity of Formula Retail uses is approximately 18.34% of all businesses within the district. The*

*proposed establishment would increase the concentration of Formula Retail establishments to approximately 20%, which is a nominal increase in the Formula Retail commercial frontage in this district of 1.66%.*

*There are 50 existing ground story Formula Retail establishments out of 443 retail establishments within the ¼ mile vicinity. Therefore, the existing intensity of Formula Retail uses is approximately 11.28% of all businesses within the vicinity. The proposed establishment would increase the concentration of Formula Retail establishments to approximately 11.46%, which is a nominal increase in the Formula Retail commercial frontage within the vicinity of 0.18%.*

- b. The availability of other similar retail uses within the District.

*There are no existing banks or financial services establishments within the district and 2 existing banking establishments within the ¼ mile vicinity of the project site.*

- c. The compatibility of the proposed Formula Retail use with the existing architectural and aesthetic character of the District.

*The project seeks to occupy a commercial space in a new development and no exterior alterations are proposed. The project includes new signage. Proposed signage will be limited to one sign on top of the existing canopy to comply with the Commission Guide for Formula Retail. Therefore, the proposed use will have no effect on the architectural and aesthetic character of the district.*

- d. The existing retail vacancy rates within the District.

*There are currently five (5) vacant lots or approximately 9.5% of storefronts within the UMU District. There are currently 40 vacant lots or approximately 8.5% within the ¼ mile vicinity.*

- e. The existing mix of Citywide-serving retail uses and neighborhood-serving retail uses within the District.

*Daily Needs: There are currently 53 daily needs-businesses within a ¼ mile vicinity of the subject property. This is approximately 11% of the number of storefronts in this same area. There are currently 9 daily needs-businesses within the UMU District. This is approximately 17% of the number of storefronts in the UMU District.*

*Citywide Services: There are currently 378 citywide service-businesses within a ¼ mile vicinity of the subject property. This is approximately 80% of the number of storefronts in this same area. There are currently 39 citywide service-businesses within the UMU District. This is approximately 74% of the number of storefronts in the UMU District.*

- f. Additional data and analysis set forth in the Performance-Based Design Guidelines adopted by the Planning Commission.

**Table 1. UMU District and Vicinity Ground Floor Frontage Breakdown per Land Use<sup>1</sup>**

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<sup>1</sup> The Urban Mixed Use Land Use table was developed using data collected by the project sponsor and reviewed by Planning Department Staff in 2018.



LAND USE TYPE	URBAN MIXED USE (UMU) FRONTAGE TOTAL (FT.)	UMU %	¼ MILE VICINITY FRONTAGE TOTAL (FT.)	VICINITY %
Animal Hospital	0	0%	0	0%
Business / Professional	3469	50%	14029	38%
Financial	0	0%	675	2%
Institutional	52	1%	4922	13%
Limited Restaurant / Restaurant	559	8%	1800	5%
Medical	0	0%	26	0%
Other Retail	1034	15%	9658	26%
Personal Service	181	3%	1341	4%
Vacant	1661	24%	4531	12%
<b>Total</b>	<b>6956</b>	<b>100%</b>	<b>36981</b>	<b>100%</b>

*The use mix is varied in the Urban Mixed Use District. Businesses providing professional services comprise 50% of the ground floor frontage, followed by vacant establishments comprising 24% of the ground floor frontage and other retail comprising 15%. These calculations do not include non-retail establishments, such as residences, institutions, parking, or public services.*

- g. For Formula Retail uses of 20,000 square feet or more, except for General or Specialty Grocery stores as defined in Articles 2, 7, 8 of this Code, the contents of an Economic Impact Study prepared pursuant to Section [303\(i\)](#) of the Planning Code.

*As the subject retail use is less than 20,000 square feet, an economic impact study is not required for this project.*

- 7. **General Plan Compliance.** The Project is, on balance, consistent with the Objectives and Policies of the General Plan.

## COMMERCE AND INDUSTRY ELEMENT

### Objectives and Policies

#### OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

**Policy 1.1:**

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development that has substantial undesirable consequences that cannot be mitigated.

**Policy 1.2:**

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

**Policy 1.3:**

Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

*The Project will provide desirable goods and services to the neighborhood and will provide resident employment opportunities to those in the community. Further, the project site is located within a Mixed Use District which promotes a vibrant mix of uses.*

**OBJECTIVE 2:**

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

**Policy 2.1:**

Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

*The Project will add a new commercial activity into a vacant retail space in a newly constructed mixed-use building and will enhance the diverse economic base of the City. Opening this SOMA location will contribute to the overall diversity of retail sales and services within the District and City at large. Furthermore, by establishing a new commercial activity in a vacant space, the neighborhood retains a commercial use at this site and enables the Project to enhance the economic base of the City and immediate area.*

**SHOWPLACE SQUARE/POTRERO HILL AREA PLAN**

**LAND USE**

**OBJECTIVE 1.1**

ENCOURAGE THE TRANSITION OF PORTIONS OF SHOWPLACE / POTRERO TO A MORE MIXED USE AND NEIGHBORHOOD-SERVING CHARACTER, WHILE PROTECTING THE CORE OF DESIGN-RELATED PDR USES

**Policy 1.1.2**

In the northern part of Showplace Square (around 8th and Brannan, east of the freeway and along 16th and 17th Streets) revise land use controls to create new mixed use areas, allowing mixed-income housing as a principal use, as well as limited amounts of retail, office, and research and development uses, while protecting against the wholesale displacement of PDR uses.

**Policy 1.1.6**

Allow for active ground floor uses and a more neighborhood commercial character in newly designated mixed use areas within Showplace Square.

*855 Brannan Street is located in the northern part of Showplace Square and is proposing a limited amount of retail use to further diversify the mixed use area it is located within. The interior renovations will activate the ground floor, which is currently vacant.*

8. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the Project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*The Project is not anticipated to significantly affect the existing mix of neighborhood-serving retail uses, and would provide future opportunities for resident employment. The Project would enhance the District by providing a convenient location for a Financial Services use which supports the viability of other businesses in the area. The Project will provide desirable services and will provide employment opportunities to those in the community.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*The Project is not anticipated to adversely affect the character or diversity of the neighborhood. There are no changes proposed to the façade other than the new signage.*

- C. That the City's supply of affordable housing be preserved and enhanced,

*The Project would not have any adverse effect on the City's supply of affordable housing.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*There is off-street commercial parking as part of the existing property, and there will be no off-street parking added as part of this Project. The Project would not adversely affect public transit or place a burden on the existing supply of parking in the neighborhood. The Project Site is in a location well-served by transit including 8, 8AX, 8BX, 9, 9R, 10, 12, 14X, 19, 27, 47, 83X, and 90 MUNI bus lines. The nearest BART station is 0.8-miles away at Civic Center Station. The proposed use is designed to meet the needs of the immediate neighborhood and should not generate significant amounts of vehicular trips from the immediate neighborhood or citywide.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*The Project will not displace or adversely affect any service sector or industrial businesses as the Project will occupy a vacant ground floor tenant space in a newly constructed mixed-use building.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*This Project will not adversely affect the property's ability to withstand an earthquake. The Project will comply with the requirements of the San Francisco Building Code.*

- G. That landmarks and historic buildings be preserved.

*Neither a landmark nor historic building occupies the project site.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*The Project will have no negative effect on existing parks and open spaces, and will not adversely affect their access to sunlight, or vistas.*

9. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section [101.1\(b\)](#) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
10. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety, and welfare of the City.

## DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2017-016147CUA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated December 19, 2017, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

**Protest of Fee or Exaction:** You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on April 19, 2018.

Jonas P. Ionin  
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED:

# **EXHIBIT A**

## **AUTHORIZATION**

This authorization is for a conditional use to allow a Formula Retail Financial Services use (d.b.a. Wells Fargo) located at 855 Brannan Street, Block 3783, Lot 001 pursuant to Planning Code Section(s) 303, 303.1, 845.45, and 845.46 within the UMU District and a 68-X Height and Bulk District; in general conformance with plans, dated December 19, 2017, and stamped "EXHIBIT B" included in the docket for Case No. 2017-016147CUA and subject to conditions of approval reviewed and approved by the Commission on April 19, 2018 under Motion No XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

## **RECORDATION OF CONDITIONS OF APPROVAL**

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on April 19, 2018 under Motion No XXXXXX.

## **PRINTING OF CONDITIONS OF APPROVAL ON PLANS**

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

## **SEVERABILITY**

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

## **CHANGES AND MODIFICATIONS**

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

## Provisions

# Conditions of Approval, Compliance, Monitoring, and Reporting

## PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

3. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

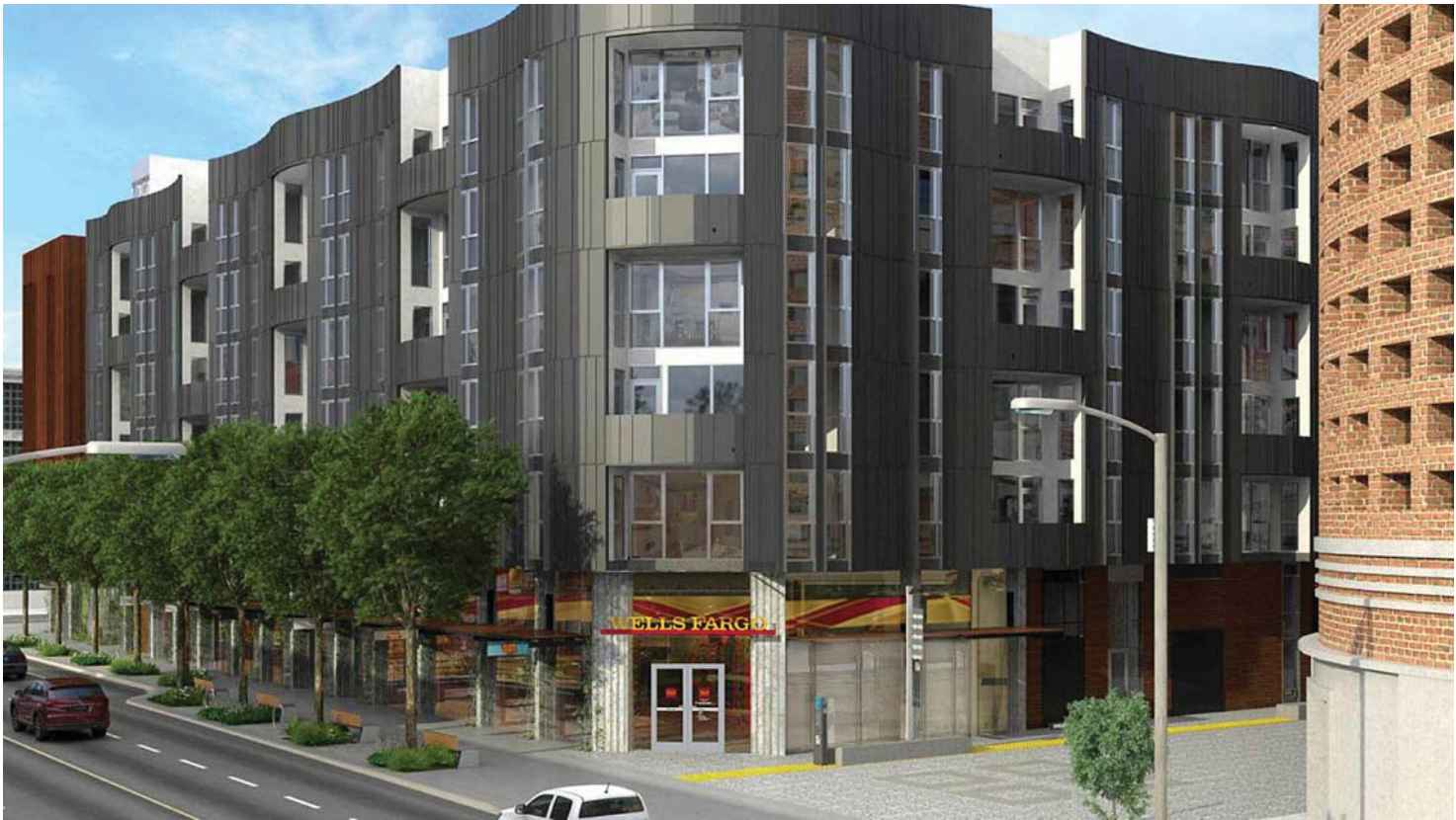
*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## Operation

### MONITORING - AFTER ENTITLEMENT

6. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.  
*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*
7. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.  
*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*
8. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.  
*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

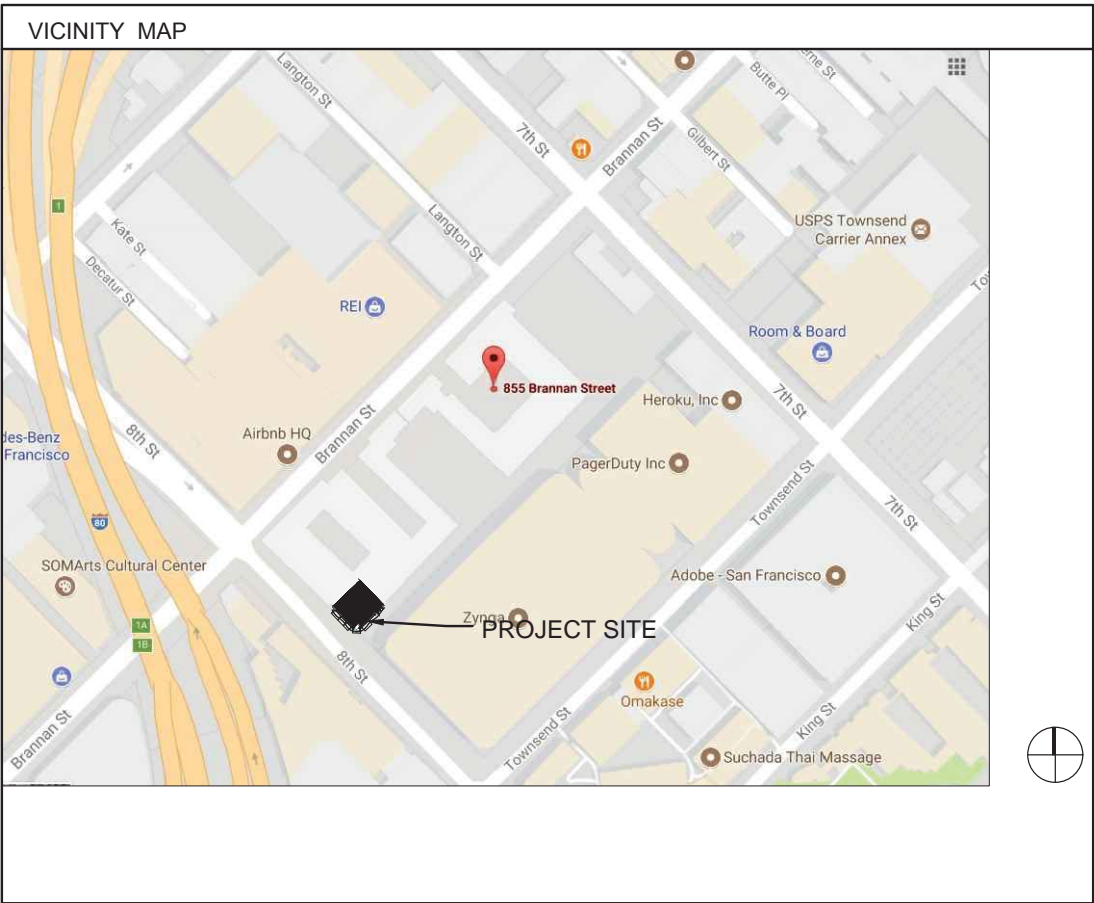




# WELLS FARGO 8TH & BRANNAN INTERIOR TENANT BUILD-OUT

855 BRANNAN STREET  
SAN FRANCISCO, CA 94107

PROJECT NUMBER: 1730047  
ISSUE: FORMULA RETAIL PACKAGE  
DATE: 12/19/2017



CODE SUMMARY		
<b>APPLICABLE CODES</b>		
2016 CALIFORNIA BUILDING CODE		
2016 CALIFORNIA ELECTRICAL CODE		
2016 CALIFORNIA MECHANICAL CODE		
2016 CALIFORNIA PLUMBING CODE		
2016 CALIFORNIA ENERGY CODE		
2016 CALIFORNIA FIRE CODE		
2016 CALIFORNIA GREEN BUILDING CODE		
<b>ACCESSIBILITY CODE</b>		
2016 CBC CHAPTER 11B		
<b>ENERGY CODE</b>		
2013 CAGBC (2013 CAGBC)		
<b>OCCUPANCY CLASSIFICATION</b>		
BUSINESS - GROUP B		
<b>CONSTRUCTION TYPE</b>		
TYPE V-B		
6 STORY BUILDING (BANK ON 1ST FLOOR ONLY)		
<b>OCCUPANT LOAD (GROUP B)</b>		
BANK/ OFFICE		
2878.18 S.F.		
1 PERSON/ 100 LOAD FACTOR = 29 PERSONS		
<b>MEANS OF EGRESS</b>		
TRAVEL DISTANCE		
96'-7" 200 FEET MAX. (T1017.2)		
<b>EXITS</b>		
EGRESS EXITS		
LEVEL EGRESS WIDTH (@ 0.2"/PERSON)		
2 REMOTE 108 INCHES		
<b>FIRE PROTECTION</b>		
SPRINKLER		
FIRE ALARM		
FIRE EXTINGUISHERS		
EMERGENCY LIGHTING		
EXIT SIGNS		
YES YES 2 PROVIDED PROVIDED PROVIDED		
NFFA 10 NFFA 101 NFFA 101		
<b>SCOPE OF WORK</b>		
TENANT IMPROVEMENTS / INTERIOR BUILD-OUT IN 1ST GENERATION		
SHELL SPACE INCLUDING INTERIOR ATMS FOR NEW WELLS FARGO		
BANK (2878.18 SF)		

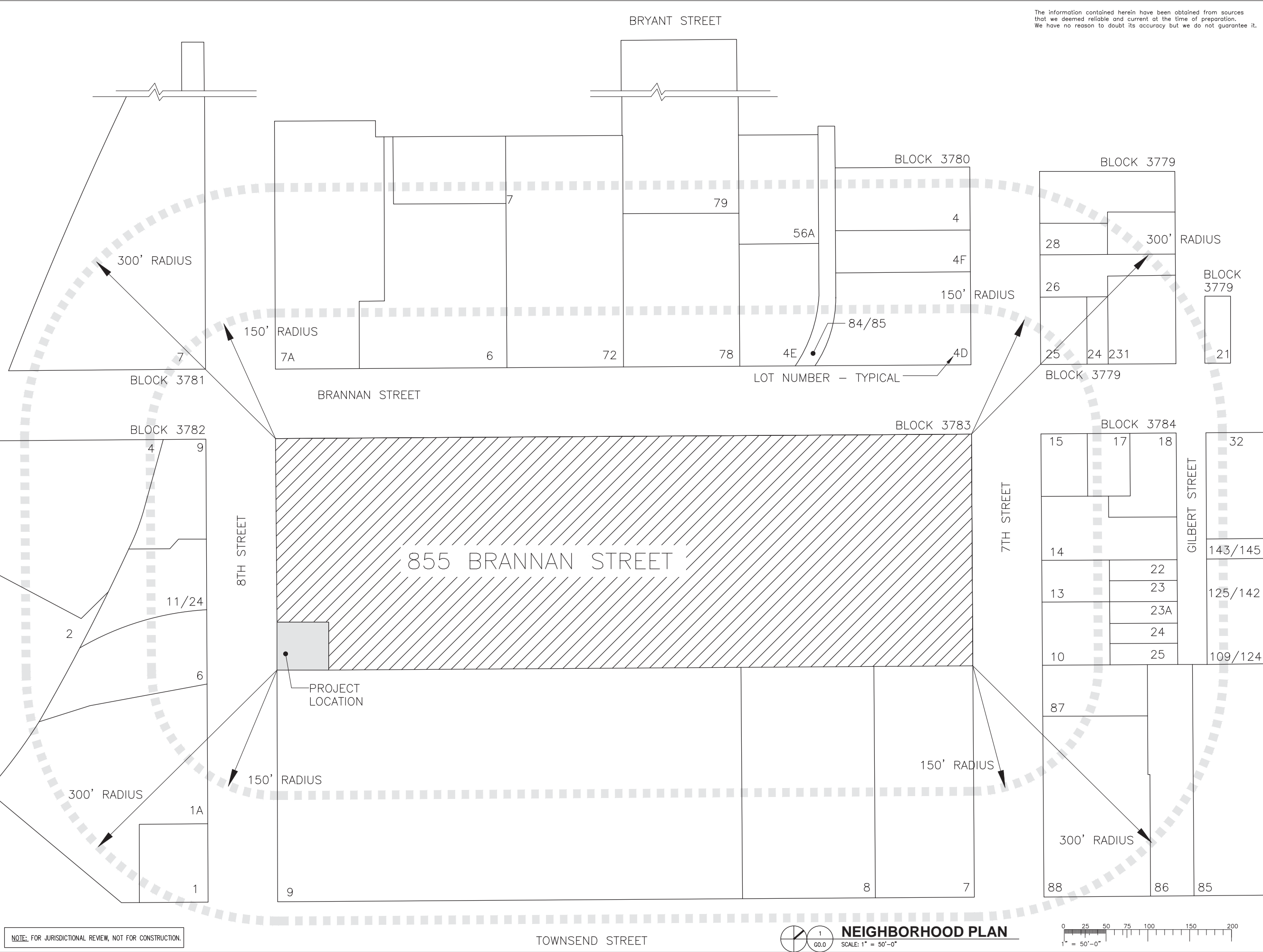
PROJECT DIRECTORY	
CLIENT:	WELLS FARGO ROB SHINE PROJECT MANAGER CORPORATE PROPERTIES GROUP 1220 CONCORD AVE, 6TH FLOOR CONCORD, CA 94520 robert.shine@wellsfargo.com TEL: 510-495-4858, FAX: 877-302-6084
ARCHITECT:	THE SAMUEL GROUP ARCHITECTS 117 EAST COLORADO BLVD., SUITE 600 PASADENA, CA 91105 msamuel@samuelgroup.net TEL: 214-922-8012, FAX: 214-922-9689
MEP:	ROBISON ENGINEERING, INC. 19401 40th AVENUE W, SUITE #302 LYNNWOOD, WA 98036 TEL: 206-364-3343 / FAX: 425-835-0098
STRUCTURAL:	ZFA STRUCTURAL ENGINEERS 601 Montgomery Street Suite 1450 San Francisco, CA 94111 TEL: 415.243.4091
INDEX OF DRAWINGS	
G0.0	COVER SHEET
G3.0	NEIGHBORHOOD PLAN (300FT RADIUS)
A1.0	SITE PLAN
A2.0a	FLOOR PLAN
A2.0b	EXTERIOR ELEVATIONS
A2.0b	EXTERIOR ELEVATIONS



550 South Tryon Street, 30th Floor  
Charlotte, NC 28202



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The information contained herein have been obtained from sources that we deemed reliable and current at the time of preparation. We have no reason to doubt its accuracy but we do not guarantee it.



**8TH & BRANNAN**  
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1221 Harrison Street, Suite 18  
San Francisco, CA 94103-4440  
(415) 391-4775

ARCHITECT

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DRAWN BY: ZH  
DESIGNED BY:  
WELLS FARGO BE NUMBER  
110123  
WELLS FARGO PROJECT NUMBER  
350336

SHEET TITLE  
**FORMULA RETAIL PACKAGE**

**NEIGHBORHOOD PLAN 300' RADIUS**

**G0.0**

ARCHITECT PROJECT NUMBER  
1730047

NOTE: FOR JURISDICTIONAL REVIEW, NOT FOR CONSTRUCTION.

TOWNSEND STREET

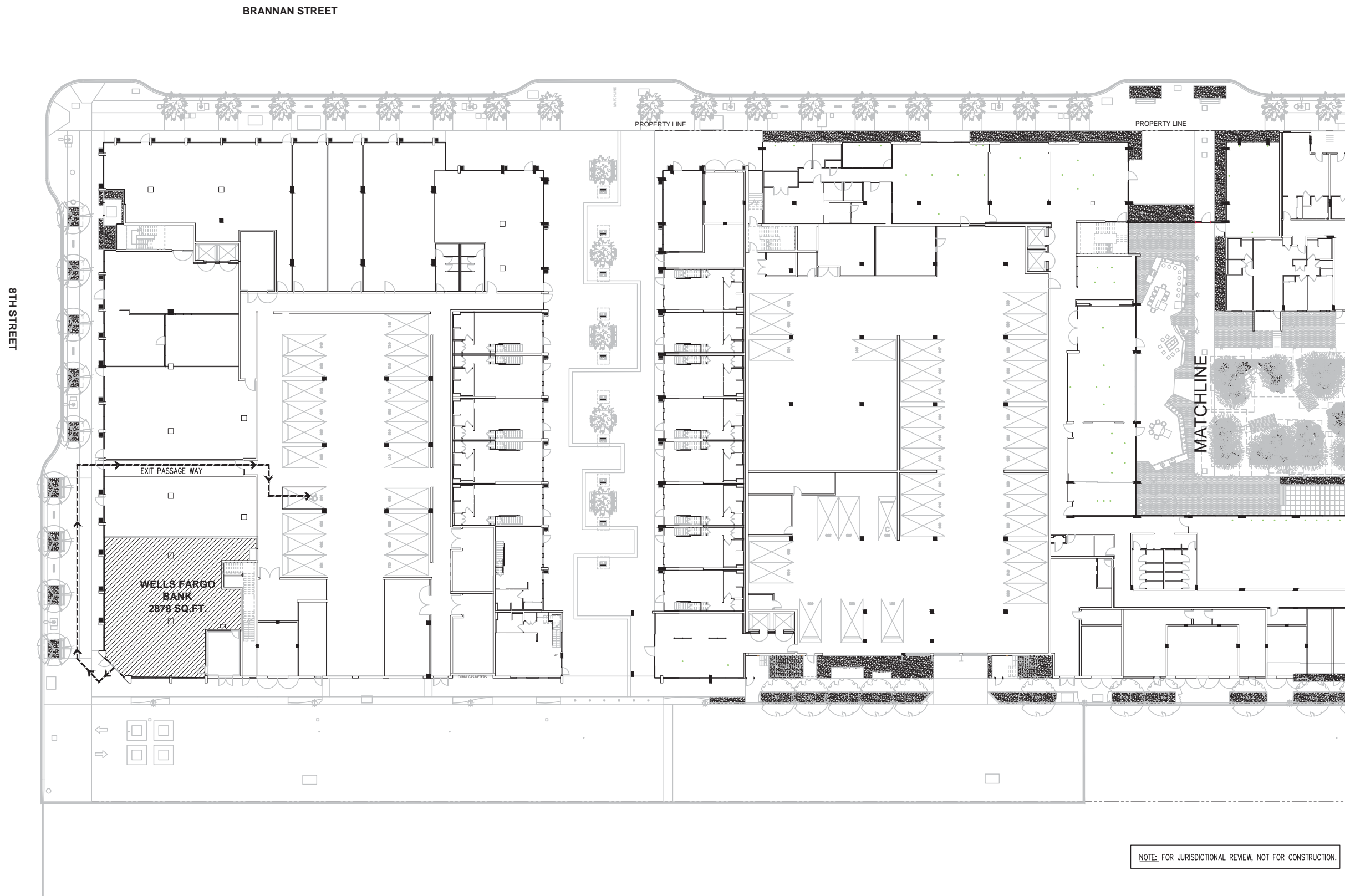


**NEIGHBORHOOD PLAN**

SCALE: 1" = 50'-0"







NOTE: FOR JURISDICTIONAL REVIEW, NOT FOR CONSTRUCTION.

LEGEND

EXISTING ACCESSIBLE ROUTE TO ACCESSIBLE PARKING

NOTE: THIS EXISTING SITE PLAN IS FOR REFERENCE ONLY. THE SITE PLAN AND ACCESSIBLE ROUTES SHOWN HAVE BEEN PROVIDED BY THE BASE SHELL DESIGN DOCUMENTS. NO SITE WORK TO BE PERFORMED UNDER THIS SCOPE.

2

G3.0

SITE PLAN

SCALE: 1" = 20'-0"

010204080

1" = 20'-0"



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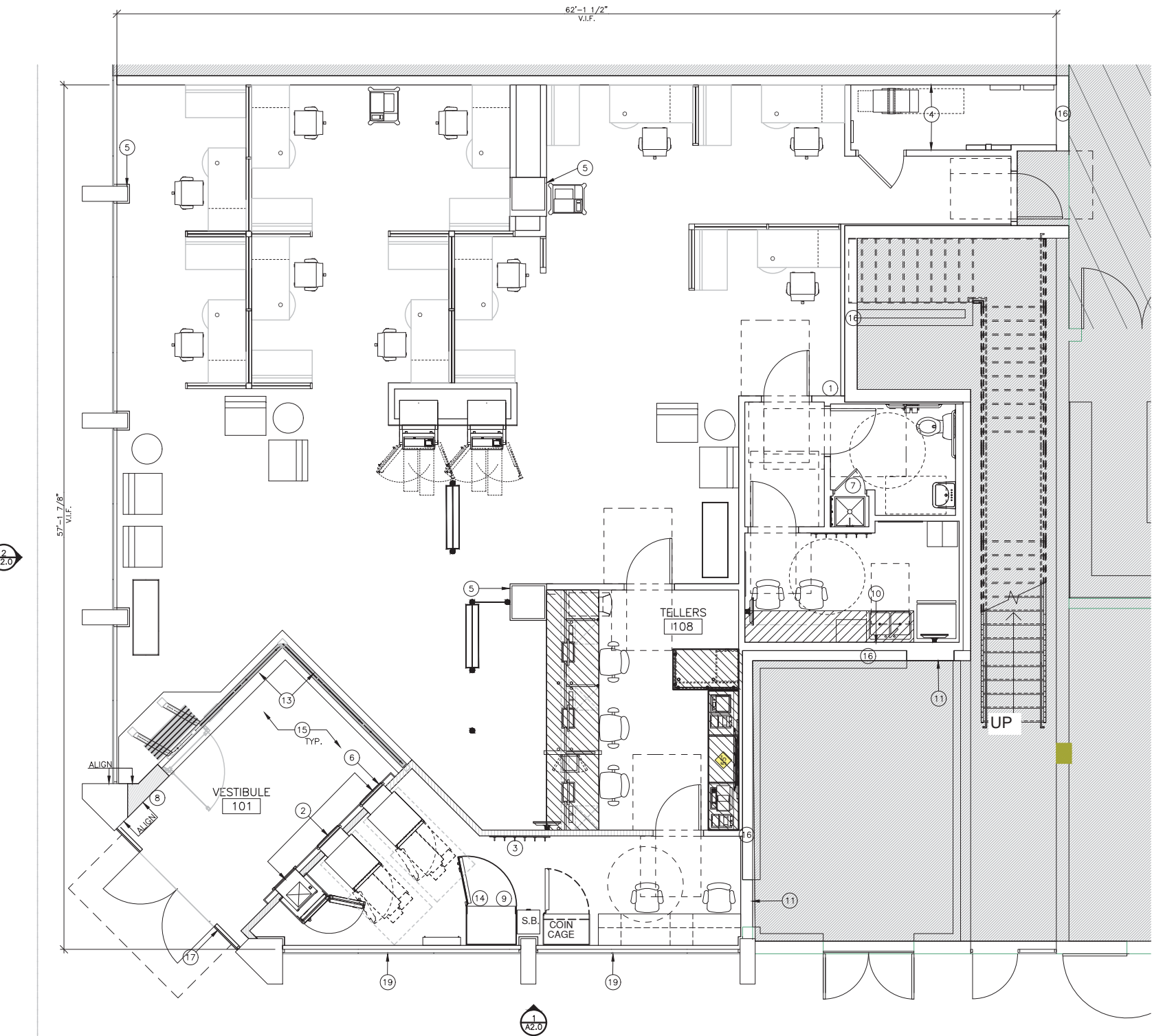
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SHEET TITLE  
**FORMULA RETAIL  
PACKAGE**

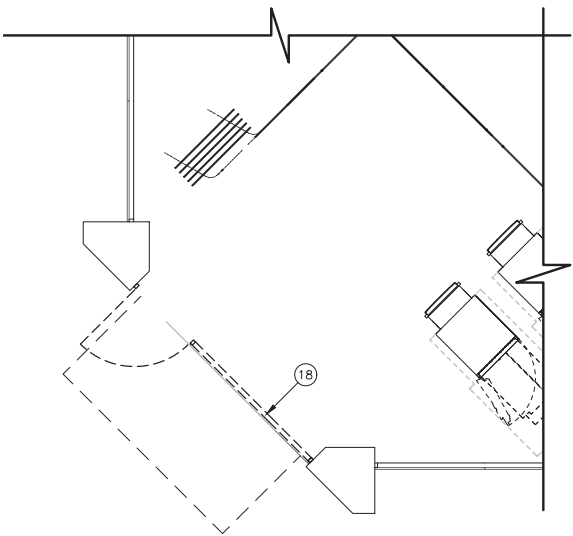
**SITE PLAN**

**G3.0**

ARCHITECT PROJECT NUMBER  
1730047



**1 FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
0 5 10 15  
1/4" = 1'-0"



**2 DEMO FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
0 5 10 15  
1/4" = 1'-0"

- KEY NOTES**
1. INSTALL WELLS FARGO STANDARD SEMI-RECESSED CABINET: LARSEN'S VERTICAL DUO W/ LOCK SS FINISH. PROVIDE LARSEN'S #MPS FIRE EXTINGUISHER. REFERENCE DETAIL ON SHEET 10/A4.0. INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE SECTION 906 AND CALIFORNIA CODE OF REGULATION, TITLE 19, DIVISION 1, CHAPTER 3.
  2. ATM WALL PENETRATIONS, GC TO COORDINATE WITH EQUIPMENT. REFERENCE SHEET A3.7.
  3. INSTALL COAT RACKS, PROVIDE CONCEALED BLOCKING AT WALL FOR SUPPORT.
  4. INSTALL FIRE RATED PLYWOOD BACK BOARD, PAINTED TO MATCH ADJACENT WALL FINISH.
  5. FURR-OUT COLUMN, REFERENCE 8/A4.0.
  6. TONE ON TONE NON ILLUMINATED ATM WALL. REFERENCE SHEET A3.7.
  7. MOP SINK AT JANITOR'S CLOSET, REFERENCE PLUMBING DRAWINGS FOR SPECIFICATIONS. PROVIDE MOP HOLDER BOBRICK B-223X24 WITH ADJUSTABLE SHELVING ABOVE. COORDINATE WITH CORING LOCATION. COORDINATE WITH APPROVED CORING LOCATION.
  8. NEW WALL TO BE PERPENDICULAR TO ENTRY STOREFRONT. REF. DIMENSIONS
  9. INSTALL DOOR STOP FOR TL-30. COORDINATE WITH EQUIPMENT VENDOR.
  10. INSTALL PAPER TOWEL DISPENSER BOBRICK B262.
  11. INFILL EXISTING WALL. MATCH ADJACENT.
  12. NEW GILDOOR STW (AUTOMATED SLIDING DOOR SYSTEM). GC TO ALLOW A MIN OF 12 WEEK LEAD TIME FOR ORDERING. (SLIDING DOORS SHOWN STACKED BEHIND FIXED EMERGENCY BREAKOUT DOOR). DOORS ARE STACKED DURING BUSINESS HOURS ENCLOSED AROUND THE VESITBULE AFTER HOURS CONTACT: GREG GONZALES AT: GREGG@ZAUTOMATEDSYSTEMS.COM 909-628-3020
  13. SLIDING DOOR PACKAGE FLOOR TRACK. GC TO TRENCH FLOOR TO ACCOMMODATE FLOOR TRACK. COORDINATE WITH MANUFACTURER.
  14. GC NEED TO VERIFY THE REBAR LOCATIONS BEFORE ANCHORING EQUIPMENT TO FLOOR DECK.
  15. INSTALL PROFESSIONAL GRADE SELF-LEVELING CONCRETE UNDERLAYMENT TO LEVEL FINISH FLOOR OF SUITE WITH EXISTING EXTERIOR DOOR THRESHOLD HEIGHT (APPROX. 3-7/8"). SPEC: DURAMEN, PARAM 4500 OR EQUAL. CONTRACTOR TO COORDINATE WITH FINISH FLOOR MATERIAL THICKNESS THROUGHOUT.
  16. EXISTING DEMISING WALL
  17. NEW STOREFRONT SYSTEM AND DOORS TO MATCH EXISTING.
  18. REFERENCE EXISTING STOREFRONT AND DOOR.
  19. INSTALL SPANDRELL GLASS AT ALL GLAZING IN WORK ROOM.

- GENERAL NOTES**
1. ALL INTERIOR WALLS ARE TYPE 'C' UNLESS NOTED OTHERWISE. REFER TO SHEET A4.1.
  2. REFER TO SHEET A0.1 SHEETS FOR DOOR & HARDWARE SCHEDULES.
  3. ELEC. ROOM TO BE "ROOM READY" MINIMUM SIXTY DAYS PRIOR TO DATE OF SUBSTANTIAL COMPLETION IN ORDER FOR THE OWNER TO BEGIN INSTALLING TECHNOLOGY AND SECURITY ELEMENTS. "ROOM READY" CONDITION INCLUDES PERMANENT POWER, PERMANENT HVAC, PAINTED PLYWOOD BACK BOARDS ON PAINTED WALLS, CEILING GRID, FINISHED FLOOR, AND LOCKABLE DOOR. REFER TO SPECIFICATIONS GENERAL REQUIREMENTS FOR ADDITIONAL INFORMATION.
  4. WHERE SMACNA MANUAL IS REFERENCED, THESE DOCUMENTS REFER TO THE 6TH EDITION.
  5. PROVIDE METAL END CAP TO MATCH MULLION WHERE INTERIOR PARTITIONS ARE INDICATED TO TERMINATE AT WINDOW MULLIONS. ALIGN AS INDICATED ON THE PLAN.
  6. TV MOUNTS AT TELLER LINE AND IN BREAK ROOM SHALL BE BY OWNER.
  7. CONTRACTOR SHALL PROVIDE WOOD BLOCKING AT WALL FOR ALL MILLWORK, FURNITURE, EQUIPMENT AND ACCESSORIES MOUNTED ON WALLS.
  8. DIMENSIONS NOTED ARE FROM FACE OF GYPSUM BOARD TO FACE OF GYPSUM BOARD UNLESS OTHERWISE NOTED.
  9. PROVIDE 1'-6" MINIMUM CLEARANCE FROM EDGE OF ALL DOORS TO THE ADJACENT FIXTURE (S) OR FINISHED WALL SURFACE ON THE "PULL" SIDE AND 1'-0" MINIMUM CLEARANCE ON THE PUSH SIDE FOR HANDICAPPED ACCESS. REFERENCE ACCESSIBILITY SHEETS.
  10. ALL DOOR JAMBS SHALL BE 4" FROM THE ADJACENT PERPENDICULAR PARTITION U.N.O.
  11. "ALIGN" WHERE NOTED, SHALL MATCH FINISH SURFACE OF PARTITION /CONSTRUCTION WITH ADJACENT CONSTRUCTION AND/OR ARCHITECTURAL ELEMENT.
  12. CONTRACTOR TO REPORT ANY DISCREPANCIES BETWEEN DRAWING AND ACTUAL FIELD CONDITIONS TO ARCHITECT PRIOR TO PRICING AND CONSTRUCTION.
  13. CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  14. ALL EXISTING CONDITIONS TO REMAIN UNLESS OTHERWISE NOTED HEREIN.
  15. IDENTIFY / VERIFY LOCATION OF EXISTING 1-HR FIRE RATED PARTITIONS. DOORS AND FRAMES INSTALLED INTO FIRE RATED ASSEMBLIES MUST BE WARNOCK-HERSEY LABELED. MATCH CONSTRUCTION TO MAINTAIN FIRE RATING.
  16. VERIFY ONE PER 3000 SQ. FT. OR 75' OF TRAVEL. FIRE EXTINGUISHER SHALL BE 3A:40B:C / 10 LB CAPACITY.
  17. ALL FLOOR PENETRATIONS TO BE 2HR FIRE RATED UL ASSEMBLIES.
  18. REVIEW LOCATIONS OF SPRINKLER DEVICES WITH LICENSED FIRE PROTECTION CONTRACTOR. MODIFY SPRINKLER SYSTEM TO ACCOMMODATE RELOCATION OF WALLS AFTER SUBMITTING DESIGN DRAWINGS FOR PERMIT. COORDINATE WITH WELLS FARGO FOR APPROVED VENDORS.
  19. REVIEW EXISTING ALARM SYSTEM WITH LICENSED FIRE ALARM CONTRACTOR. MODIFY ALARM SYSTEM TO ACCOMMODATE RELOCATION OF WALLS AFTER SUBMITTING DESIGN DRAWINGS FOR PERMIT. GC TO COORDINATE WITH WELLS FARGO FOR APPROVED VENDORS.
  20. REFERENCE F1.0 FOR FLOORING AND FINISHES.
  21. REFER TO PLUMBING DRAWINGS FOR FIXTURE SCHEDULE.

- LEGEND**
- NEW WALLS
  - EXISTING TO REMAIN
  - MILLWORK
  - TO BE REMOVED
  - PARTITION TYPE. SEE SHEET A4.1
- REFERENCE SHEET A4.1 FOR DESIGNED WALL TYPES.

**WELLS FARGO**

**8TH & BRANNAN**  
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WELLS FARGO PROJECT NUMBER 350336

SHEET TITLE  
**FORMULA RETAIL PLANNING PACKAGE**

**FLOOR PLAN**

**A1.0**

ARCHITECT PROJECT NUMBER  
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WELLS  
FARGO

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SHEET TITLE  
FORMULA RETAIL PACKAGE  
EXTERIOR ELEVATIONS

A2.0a

ARCHITECT PROJECT NUMBER  
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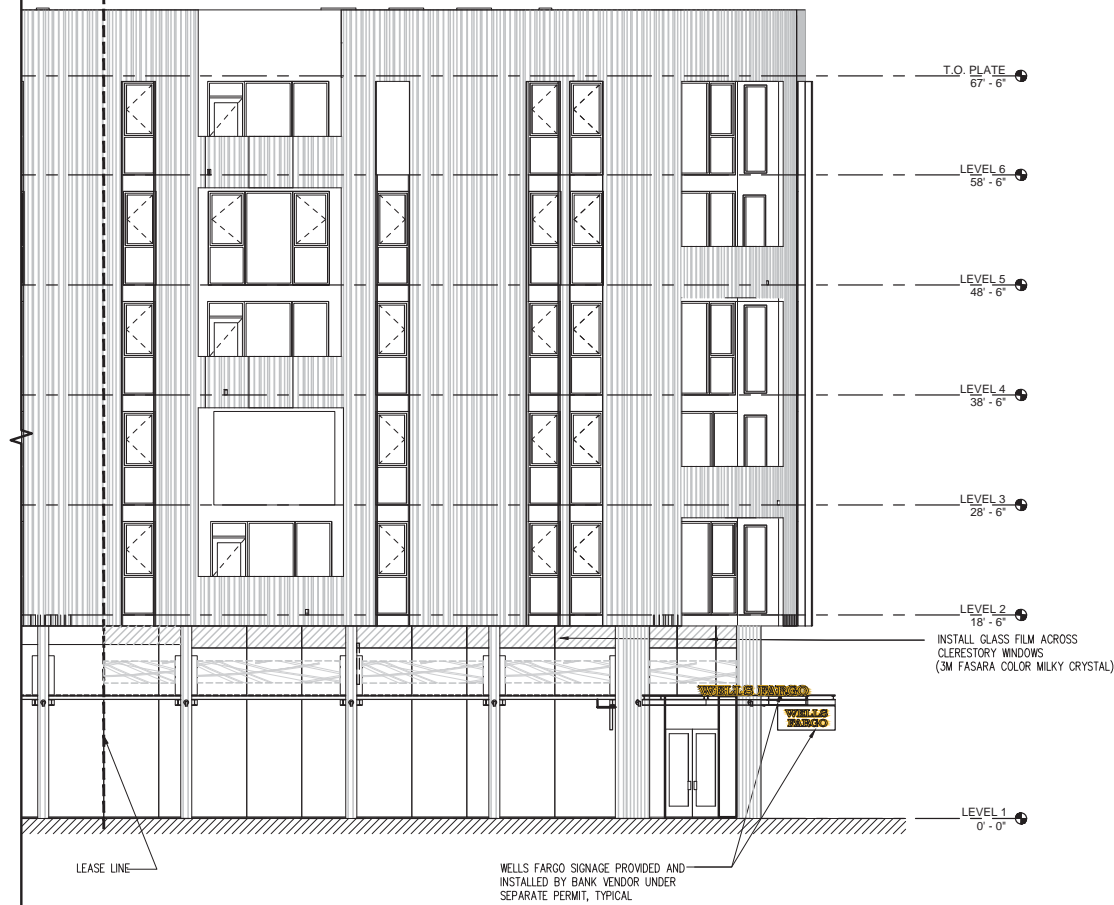


2 SOUTH EAST (TOWNSEND ST.) ELEVATION  
A2.0A SCALE: 1/16" = 1'-0"

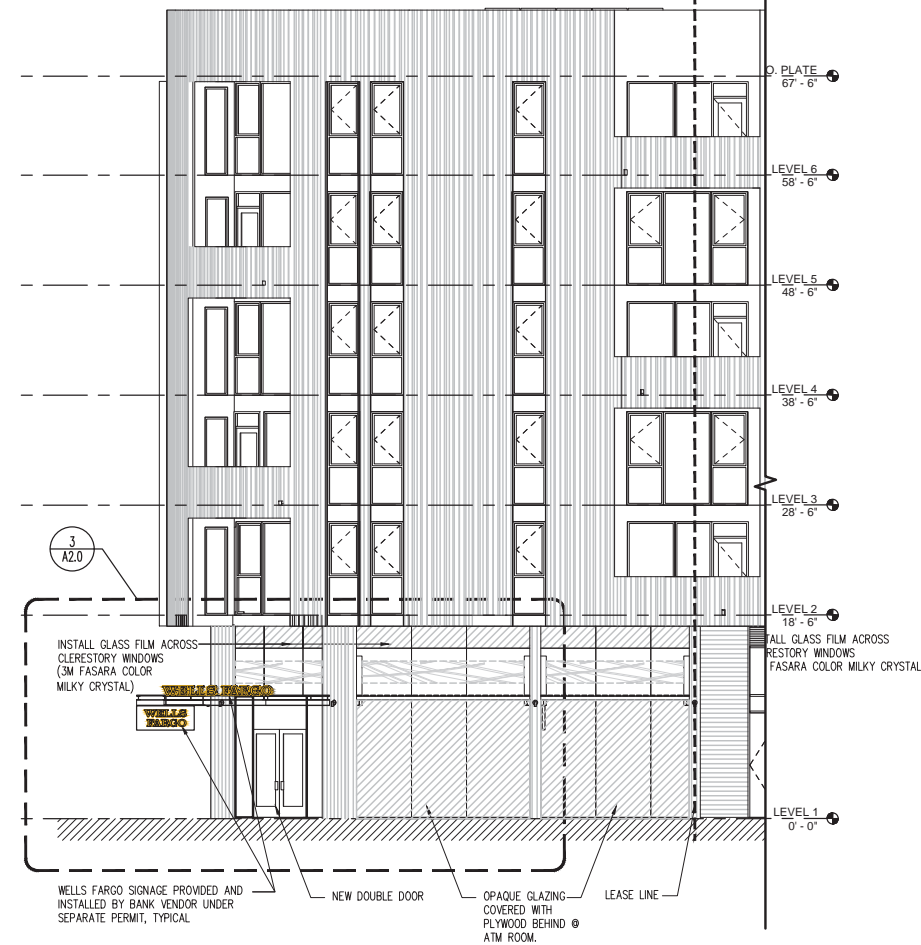


1 SOUTH WEST (8TH ST.) ELEVATION  
A2.0A SCALE: 1/16" = 1'-0"

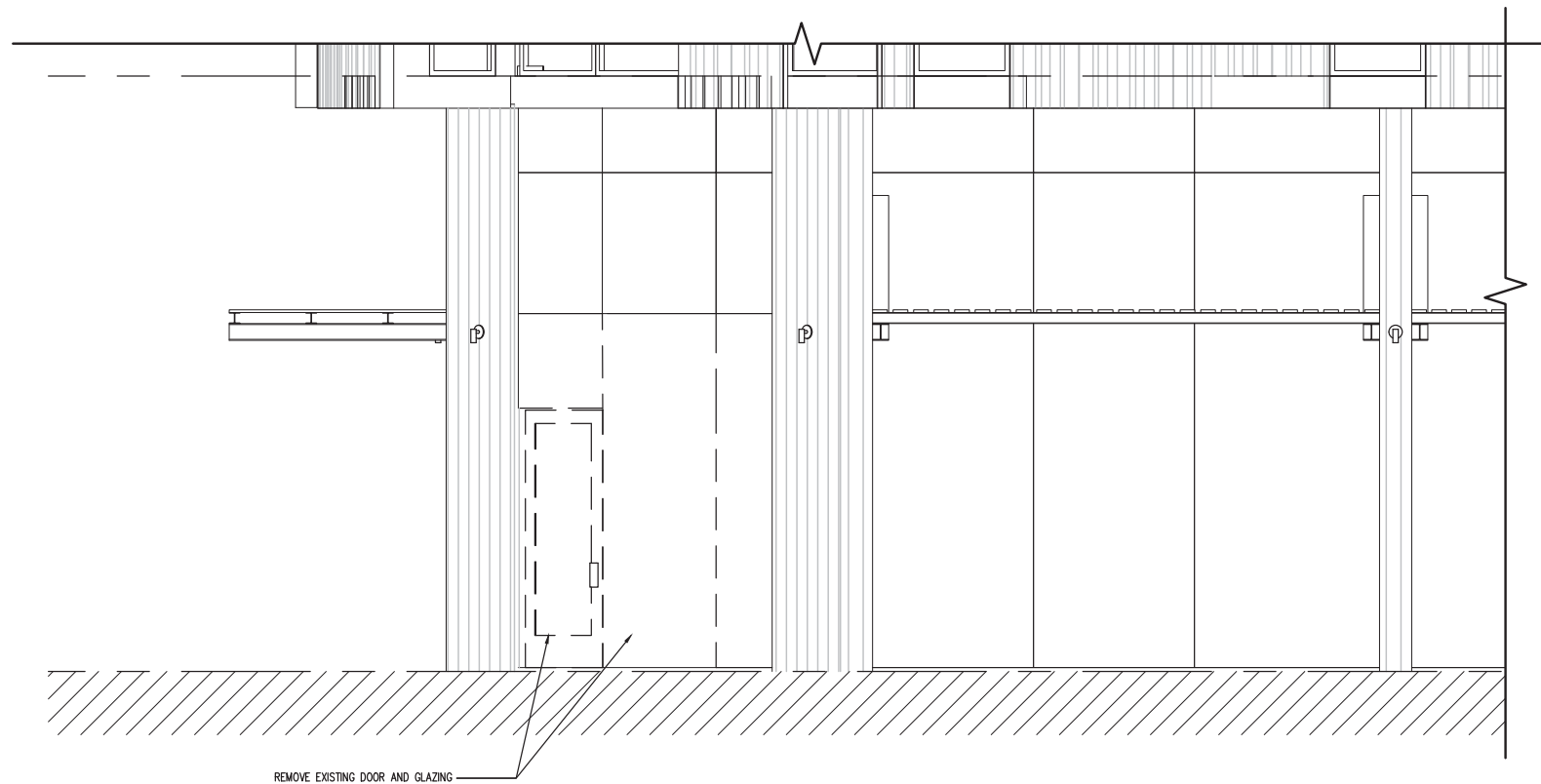
NOTE: FOR JURISDICTIONAL REVIEW, NOT FOR CONSTRUCTION.



1 SOUTH WEST(8TH ST.) ELEVATION  
A2.0B SCALE: 1/8" = 1'-0" 1/8" = 1'-0"



2 SOUTH EAST (TOWNSEND ST.) ELEVATION  
A2.0B SCALE: 1/8" = 1'-0" 1/8" = 1'-0"



3 DEMO STOREFRONT ELEVATION  
A2.0B SCALE: 3/8" = 1'-0" 3/8" = 1'-0"

NOTE: FOR JURISDICTIONAL REVIEW, NOT FOR CONSTRUCTION.

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SHEET TITLE

FORMULA RETAIL  
PACKAGE

EXTERIOR  
ELEVATIONS

A2.0b

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