



# EXECUTIVE SUMMARY

## CONDITIONAL USE AUTHORIZATION

**HEARING DATE: SEPTEMBER 23, 2021**

**Record No.:** 2017-015648CUA  
**Project Address:** 952 Carolina Street  
**Zoning:** RH-2 (Residential-House, Two-Family) Zoning District  
40-X Height and Bulk District  
**Block/Lot:** 4160/009  
**Project Sponsor:** Gregory Croft & Rosita Alvarez-Croft  
952 Carolina Street  
San Francisco, CA 94107  
**Property Owner:** Gregory Croft & Rosita Alvarez-Croft  
952 Carolina Street  
San Francisco, CA 94107  
**Staff Contact:** Michael Christensen – (628) 652-7567  
Michael.Christensen@sfgov.org

**Recommendation:** Approval with Conditions

### Project Description

The Project includes the partial demolition and relocation of an existing one-story, 630 sq ft single-family home and to construction of a new, three-story, 29 ½' foot tall rear addition containing one additional dwelling unit and one off-street auto parking space, increasing the total size of the building to 3,297 sq ft.

### Required Commission Action

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization, pursuant to Planning Code Sections 209.1, 303, and 317 to authorize the partial demolition of an existing dwelling unit.

### Issues and Other Considerations

- **Public Comment & Outreach.**
  - **Support/Opposition:** No public comment has been received for the proposed Project.

- **Tenant History:**
  - Are any units currently occupied by tenants: Y
    - The existing dwelling unit is tenant occupied. The tenant has been informed of the Project since application submittal.
  - Have Any tenants been evicted within the past 10 years: N
  - Have there been any tenant buyouts within the past 10 years: N
- **Historic Preservation:** The existing building has been identified as a Historic Resource. The proposed Project would remove portions of the home that were identified to be non-historic features, while maintaining the structure of the earthquake shack. The remaining structure would then be relocated approximately three feet to the north on the property to allow room to the south for an auto driveway leading to the new, three story rear addition. The proposed scope of work maintains the historic integrity of the site while improving the structural safety of the building and allowing a new, rear addition that will contain one additional dwelling unit. The proposed scope of work is the preferred alternative to maintain the historic resource on the site.

## Environmental Review

The Project is exempt from the California Environmental Quality Act (“CEQA”) under Class 1 and Class 3 categorical exemptions.

## Basis for Recommendation

The Department finds that the Project is, on balance, consistent with the Potrero Hill – Showplace Square Area Plan, the policies of the General Plan, and the standards and intent of the RH-2 Zoning District. The Project will maintain and enhance the historic resource value of the site while providing two family sized dwelling units to the broader neighborhood, and thus is necessary and desirable.

## Attachments:

Draft Motion – Conditional Use Authorization with Conditions of Approval  
Exhibit B – Environmental Determination  
Exhibit C – Maps and Context Photos  
Exhibit D – Plans and Renderings



# PLANNING COMMISSION DRAFT MOTION

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ADOPTING FINDINGS RELATING TO A CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 209.1, 303, AND 317 TO ALLOW THE PARTIAL DEMOLITION AND RELOCATION OF AN EXISTING SINGLE-FAMILY RESIDENCE AND CONSTRUCTION OF A NEW, THREE-STORY, TWENTY-NINE AND ONE HALF FOOT TALL REAR ADDITION CONTAINING ONE ADDITIONAL DWELLING UNIT AND ONE OFF-STREET AUTO PARKING SPACE, LOCATED AT 952 CAROLINA STREET, LOT 009 IN ASSESSOR'S BLOCK 4160, WITHIN THE RH-2 (RESIDENTIAL, HOUSE, TWO-FAMILY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

## PREAMBLE

On December 7, 2017, Gregory Croft and Rosita Alvarez-Croft (hereinafter "Project Sponsor") filed Application 2017-015648CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization to partially demolish and relocate an existing one-story, 630 sq ft single-family home and to construct a new, three-story rear addition containing one additional dwelling unit and one off-street auto parking space, increasing the size of the building to 3,297 sq ft (hereinafter "Project") at 952 Carolina Street, Block 4160 Lot 009 (hereinafter "Project Site").

On July 29, 2021, the Planning Department determined the proposed Project to be exempt from the California Environmental Quality Act (CEQA) under Class One and Class Three categorical exemptions.

On September 23, 2021, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2017-015648CUA.

The Planning Department Commission Secretary is the Custodian of Records; the File for Record No. 2017-015648CUA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2017-015648CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

## FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. **The above recitals are accurate and constitute findings of this Commission.**
2. **Project Description.** The Project includes the partial demolition and relocation of an existing one-story, 630 sq ft single-family home and to construction of a new, three-story, 29 ½' foot tall rear addition containing one additional dwelling unit and one off-street auto parking space, increasing the total size of the building to 3,297 sq ft.
3. **Site Description and Present Use.** The Project is located a standard 25' wide by 100' deep parcel, currently developed with a one-story single-family residence containing one bedroom. The property slopes downward from front to rear with a total grade difference of approximately 10'.
4. **Surrounding Properties and Neighborhood.** The Project Site is located within the RH-2 Zoning District within the Showplace Square – Potrero Hill Area Plan. Properties in the vicinity are generally developed with two to three story, single-family or two-family homes.
5. **Public Outreach and Comments.** The Department has received correspondence from one individual noting the approval timelines required under California State law. No comments on the physical design of the project have been received.
6. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
  - A. **Residential Demolition.** Planning Code Section 317 states that a Conditional Use Authorization is required to demolish a residential unit, that no permit for residential demolition shall be approved prior to final approval of a building permit for a replacement structure, and that the Commission shall consider the replacement structure as part of its decision on the Conditional Use Authorization.

*The Project Sponsor has submitted this request for Conditional Use Authorization to comply with this requirement, and the project plans include the partial demolition of the existing structure as well as the construction of the proposed rear addition.*
  - B. **Dwelling Unit Density.** Residential Dwelling Units are principally permitted in the RH-2 Zoning District with a maximum of two per lot.

*The Project proposes two Dwelling Units. Thus, the intended use is compliant with the dwelling unit density limits of the zoning district.*
  - C. **Front Setback.** A front setback is required in the RH-2 Zoning District that is equal to the average front setback provided by the two adjacent properties.

*The existing single-family home is located within the required Front Setback. The Project would remove*

*non-historic portions of the home, then relocate the existing home to the northern property line to create space to the south of the home for a driveway leading to the rear addition. The relocated home would be within the Front Setback at the same extent as currently exists. This requires approval of a Variance from the Front Setback requirement of the Planning Code, requested under Case No. 2017-015648VAR.*

- D. **Rear Yard.** A Rear Yard equal to 45% of the depth of the lot is required in the RH-2 Zoning District. The Rear Yard requirement may be reduced based on the average Rear Yard provided by the two adjacent properties.

*The Project provides a Rear Yard equal to 36' 1", which is the average of the Rear Yards provided by the two adjacent properties.*

- E. **Height.** Properties within the RH-2 Zoning District are limited in height to 35' at the front setback, increasing at a 45-degree angle to the maximum total height of 40'.

*The Project has a maximum total height of 29' 6", which is compliant with the 40' maximum height allowed within the 40-X Height and Bulk District.*

- F. **Off-Street Auto Parking.** No off-street auto parking is required in the RH-2 Zoning District. Up to 1.5 parking spaces per unit are permissible as a maximum.

*The Project provides one off-street auto parking space, which is within the maximum of three that is permissible under the Planning Code.*

- G. **Bicycle Parking.** One Class One bicycle parking space is required for each dwelling unit.

*The Project provides two Class One bicycle parking spaces within the relocated existing building.*

- H. **Eastern Neighborhoods Infrastructure Impact Fee.** Planning Code Section 423 requires payment of the Eastern Neighborhoods Infrastructure Impact Fee for projects adding dwelling units within the Eastern Neighborhoods Mixed Use Districts.

*The fee will apply on the building permit implementing the proposed project.*

- I. **Residential Child Care Fee.** Planning Code Section 414A requires payment of the Child-Care Impact Fee for Residential projects adding at least 800 square feet of floor area.

*The fee will apply on the building permit implementing the proposed project.*

7. **Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

*The use and size of the proposed project is compatible with the immediate neighborhood. While the Project proposes a partial demolition of an existing single-family residence, the Project increases the number of dwelling units on the site. The proposed units are sized appropriately for the neighborhood and both Dwelling Units are family sized with two or more bedrooms. Therefore, the Project is considered to be necessary and desirable given the quality and design of the new residences and increase in the number of residential units.*

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

*The proposed building is compliant with the controls of the RH-2 Zoning District and the Residential Design Guidelines. The proposed building massing is typical for lots in the RH-2 Zoning District. While the proposed relocation of the existing home would place it within the Front Setback, the existing home already exists within the Front Setback at this same extent.*

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*No parking or loading is required for any use in San Francisco. A two-unit residential building is extremely unlikely to cause any major traffic impact or substantially change the availability of on-street parking or loading.*

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*As the Project is residential in nature, it is unlikely to have the potential to produce noxious or offensive emissions.*

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

*The Project provides one screened off-street parking space within a garage, and the front setback area is appropriately landscaped and contains permeable surfaces to comply with the requirements of the Planning Code. As a small project, it does not contain service areas or signage that could detract from the visual quality of the site.*

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.*

- D. That use or feature as proposed will provide development that is in conformity with the stated purpose of the applicable Use District.

*The Project is consistent with the stated purposed of RH-2 District by providing a small-scale residential development that is consistent with established development patterns.*

**8. Residential Demolition (Section 317) Findings.** In addition to the criteria of Section 303(c) of this Code, the Commission shall consider the extent to which the following criteria are met:

- A. Whether the property is free of a history of serious, continuing Code violations;

*There are no active enforcement cases on the property.*

- B. Whether the housing has been maintained in a decent, safe, and sanitary condition;

*There are no active enforcement cases on the property. The existing home is over 100 years old, but appears to have been maintained in a decent, safe, and sanitary condition.*

- C. Whether the property is an "historical resource" under CEQA;

*The existing home was determined to be a historic resource under CEQA.*

- D. Whether the removal of the resource will have a substantial adverse impact under CEQA

*The Project would remove non-historic portions of the existing home and would also relocate the home approximately three feet to the north. The proposed Project was found to not cause any substantial adverse impact under CEQA, in that the modification to the existing building would preserve its character defining elements.*

- E. Whether the project converts rental housing to other forms of tenure or occupancy;

*The existing home is a rental unit; the propose Project would create one additional unit that the property owners intent to occupy, as well as maintain one additional unit for use as a rental unit. As such, the Project does not convert rental housing to other forms of tenure.*

- F. Whether the project removes rental units subject to the Residential Rent Stabilization and Arbitration Ordinance or affordable housing;

*The Planning Department cannot determine whether a specific unit is subject to the Residential Rent Stabilization and Arbitration Ordinance; however, generally single-family homes are exempt from the Rent Stabilization Ordinance. The existing unit is not a unit of Affordable Housing.*

- G. Whether the project conserves existing housing to preserve cultural and economic neighborhood diversity;

*While older housing stock may be more affordable than new construction, in general single-family homes do not provide affordable housing stock for the City or further economic neighborhood*



*diversity. The Project would preserve the historic elements of the existing home and its existing street expression, preserving and enhancing cultural and economic neighborhood diversity.*

- H. Whether the project conserves neighborhood character to preserve neighborhood cultural and economic diversity;

*The Project would alter an existing single-family home by removing non-historic elements and relocating it approximately 3' to the north. By maintaining the historic portions of the existing home on-site, the Project conserves neighborhood character to preserve neighborhood cultural and economic diversity.*

- I. Whether the project protects the relative affordability of existing housing;

*No existing affordable housing is removed by the Project.*

- J. Whether the project increases the number of permanently affordable units as governed by Section 415;

*The Project is not subject to Planning Code Section 415. A Project subject to Section 415 would need to contain at least ten units, which is not a permissible Project under the RH-2 Zoning District.*

- K. Whether the project locates in-fill housing on appropriate sites in established neighborhoods;

*The Project provides in-fill housing within the Potrero Hill neighborhood, which is an established neighborhood and was planned for additional housing capacity in the Showplace Square / Potrero Hill Area Plan.*

- L. Whether the project increases the number of family-sized units on-site;

*The Project alters and expands an existing residential building, creating two family sized (two or more bedroom) dwelling units where currently only one one-bedroom dwelling unit exists.*

- M. Whether the project creates new supportive housing;

*The Project does not create new supportive housing.*

- N. Whether the project is of superb architectural and urban design, meeting all relevant design guidelines, to enhance existing neighborhood character;

*The expanded structure is contextually appropriate and well designed, meeting the Residential Design Guidelines and providing to neighborhood character.*

- O. Whether the project increases the number of on-site Dwelling Units;

*The Project increases the number of on-site dwelling units from one to two.*

- P. Whether the project increases the number of on-site bedrooms; /

*The Project increases the number of on-site bedrooms from one to five.*

- Q. Whether or not the replacement project would maximize density on the subject lot; and

*The replacement project maximizes the allowed density on the subject lot at two dwelling units.*

- R. If replacing a building not subject to the Residential Rent Stabilization and Arbitration Ordinance, whether the new project replaces all of the existing units with new Dwelling Units of a similar size and with the same number of bedrooms.

*The expanded building contains two dwelling units that contain more bedrooms than the existing one-bedroom home.*

9. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

**HOUSING ELEMENT**

Objectives and Policies

**OBJECTIVE 1**

**IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.**

Policy 1.1

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

Policy 1.10

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

**OBJECTIVE 4**

**FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.**

Policy 4.1

Develop new housing, and encourage the remodeling of existing housing, for families with children.

Policy 4.4

Encourage sufficient and suitable rental housing opportunities, emphasizing permanently affordable rental units wherever possible.

Policy 4.5

Ensure that new permanently affordable housing is located in all of the City's neighborhoods, and encourage integrated neighborhoods, with a diversity of unit types provided at a range of income levels.

**OBJECTIVE 11**

**SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.**

Policy 11.1

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.2

Ensure implementation of accepted design standards in project approvals.

Policy 11.3

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

Policy 11.4

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan.

Policy 11.6

Foster a sense of community through architectural design, using features that promote community interaction.

Policy 11.8

Consider a neighborhood's character when integrating new uses, and minimize disruption caused by expansion of institutions into residential areas.

**OBJECTIVE 12**

**BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION.**

Policy 12.2

Consider the proximity of quality of life elements such as open space, child care, and neighborhood services, when developing new housing units.

**URBAN DESIGN ELEMENT**

Objectives and Policies

**OBJECTIVE 1**

**EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.**

Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

Policy 1.7

Recognize the natural boundaries of districts, and promote connections between districts.

**SHOWPLACE SQUARE / POTRERO HILL AREA PLAN**

Land Use

Objectives and Policies

**OBJECTIVE 2.3**

**REQUIRE THAT A SIGNIFICANT NUMBER OF UNITS IN NEW DEVELOPMENTS HAVE TWO OR MORE BEDROOMS EXCEPT SENIOR HOUSING AND SRO DEVELOPMENTS UNLESS ALL BELOW MARKET RATE UNITS ARE TWO OR MORE BEDROOM UNITS.**

**POLICY 2.3.3**

Require that a significant number of units in new developments have two or more bedrooms, except Senior Housing and SRO developments.

*The Project is a well-designed infill residential development, adding housing capacity within Showplace Square / Potrero Hill Area Plan, which anticipated additional infill housing development. The Project alters an older, small home that has one bedroom by expanding the building, adding one three-bedroom dwelling unit and expanding the existing dwelling to two-bedrooms. The addition of two or more-bedroom units is an objective of the Showplace Square / Potrero Hill Area Plan, and this Project furthers that objective while removing zero family friendly housing units.*

**10. Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*The project site does not possess any neighborhood-serving retail uses.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*The Project alters one existing housing unit and creates one new housing unit. As such, it preserves the existing housing and neighborhood character of the site.*

- C. That the City's supply of affordable housing be preserved and enhanced,

*The Project does not currently possess any existing affordable housing.*

- D. That commuter traffic does not impede MUNI transit service or overburden our streets or neighborhood parking.

*The Project Site is served by nearby public transportation options. The Planning Code does not require parking for any uses in support for the City's Transit First Policy.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*The Project does not include commercial office development.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The Project will be designed and constructed to conform to the structural and seismic safety requirements of the Building Code. As such, this Project will improve the property's ability to withstand an earthquake.*

- G. That landmarks and historic buildings be preserved.

*Currently, the Project Site does not contain any City Landmarks or historic buildings.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*The Project does not impact any nearby parks or public open spaces.*

- 11.** The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
- 12.** The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

## DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2017-015648CUA** subject to the following conditions attached hereto as “EXHIBIT A” in general conformance with plans on file, dated April 21, 2021, and stamped “EXHIBIT B”, which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

**Protest of Fee or Exaction:** You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission’s adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator’s Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on September 23, 2021.

Jonas P. Ionin  
Commission Secretary

AYES:

NAYS:

ABSENT:

RECUSE:

ADOPTED: September 23, 2021

## EXHIBIT A

### Authorization

This authorization is for a conditional use to allow the partial demolition and relocation of an existing single family home and construction of a new three-story rear addition containing one additional dwelling unit located at 952 Carolina Street, Block 4160 and Lot 009 pursuant to Planning Code Section(s) **209.1, 303, and 317** within the **RH-2** District and a **40-X** Height and Bulk District; in general conformance with plans, dated **April 21, 2021**, and stamped “EXHIBIT B” included in the docket for Record No. **2017-015648CUA** and subject to conditions of approval reviewed and approved by the Commission on **September 23, 2021** under Motion No **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

### Recordation of Conditions Of Approval

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **September 23, 2021** under Motion No **XXXXXX**.

### Printing of Conditions of Approval on Plans

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

### Severability

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. “Project Sponsor” shall include any subsequent responsible party.

### Changes and Modifications

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

## CONDITIONS OF APPROVAL, COMPLIANCE, MONITORING, AND REPORTING

### Performance

- 1. Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

- 2. Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

- 3. Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

- 4. Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

- 5. Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463,*



[www.sfplanning.org](http://www.sfplanning.org)

## Design – Compliance at Plan Stage

6. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7600, [www.sfplanning.org](http://www.sfplanning.org)*

7. **Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7600, [www.sfplanning.org](http://www.sfplanning.org)*

8. **Overhead Wiring.** The Property owner will allow MUNI to install eyebolts in the building adjacent to its electric streetcar line to support its overhead wire system if requested by MUNI or MTA.

*For information about compliance, contact San Francisco Municipal Railway (Muni), San Francisco Municipal Transit Agency (SFMTA), at 415.701.4500, [www.sfmta.org](http://www.sfmta.org)*

9. **Landscaping.** Pursuant to Planning Code Section 132, the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that 50% of the front setback areas shall be surfaced in permeable materials and further, that 20% of the front setback areas shall be landscaped with approved plant species. The size and specie of plant materials and the nature of the permeable surface shall be as approved by the Department of Public Works.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7600, [www.sfplanning.org](http://www.sfplanning.org)*

10. **Landscaping, Permeability.** Pursuant to Planning Code Section 156, the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that 20% of the parking lot shall be surfaced with permeable materials and further indicating that parking lot landscaping, at a ratio of one tree, of a size comparable to that required for a street tree and of an approved species, for every 5 parking stalls, shall be provided. Permeable surfaces shall be graded with less than a 5% slope. The size and specie of plant materials and the nature of the permeable surface shall be as approved by the Department of Public Works.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7600, [www.sfplanning.org](http://www.sfplanning.org)*

## Parking and Traffic

- 11. Bicycle Parking.** The Project shall provide no fewer than **two** Class 1 bicycle parking spaces as required by Planning Code Sections 155.1 and 155.2.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

- 12. Parking Maximum.** Pursuant to Planning Code Section 151 or 151.1, the Project shall provide no more than **three (3)** off-street parking spaces.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

## Provisions

- 13. Residential Child Care Impact Fee.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7600, [www.sfplanning.org](http://www.sfplanning.org)*

- 14. Eastern Neighborhoods Infrastructure Impact Fee.** The Project is subject to the Eastern Neighborhoods Infrastructure Impact Fee, as applicable, pursuant to Planning Code Section 423.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7600, [www.sfplanning.org](http://www.sfplanning.org)*

## Monitoring - After Entitlement

- 15. Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

- 16. Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

## Operation

- 17. Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*



## CEQA Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

<b>Project Address</b>		<b>Block/Lot(s)</b>
952 CAROLINA ST		4160009
<b>Case No.</b>		<b>Permit No.</b>
2017-015648ENV		201710191725
<input checked="" type="checkbox"/> <b>Addition/ Alteration</b>	<input type="checkbox"/> <b>Demolition (requires HRE for Category B Building)</b>	<input type="checkbox"/> <b>New Construction</b>
<p><b>Project description for Planning Department approval.</b></p> <p>The proposed project includes the retention and relocation of an existing earthquake cottage at front of lot and removal of non-historic portions of existing building to accommodate a three-story with basement addition. Approximately 114 cubic yards of excavation is proposed. The proposed project would contain two units.</p>		

### STEP 1: EXEMPTION TYPE

<b>The project has been determined to be exempt under the California Environmental Quality Act (CEQA).</b>	
<input checked="" type="checkbox"/>	<b>Class 1 - Existing Facilities.</b> Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	<b>Class 3 - New Construction.</b> Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p><b>Class 32 - In-Fill Development.</b> New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p>
<input type="checkbox"/>	<b>Other</b> _____
<input type="checkbox"/>	<b>Common Sense Exemption (CEQA Guidelines section 15061(b)(3)).</b> It can be seen with certainty that there is no possibility of a significant effect on the environment.

**STEP 2: ENVIRONMENTAL SCREENING ASSESSMENT**

**TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	<p><b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g. use of diesel construction equipment, backup diesel generators, heavy industry, diesel trucks, etc.)? <i>(refer to the Environmental</i></p>
<input type="checkbox"/>	<p><b>Hazardous Materials:</b>    <input type="checkbox"/> <b>Maher</b> or    <input type="checkbox"/> <b>Cortese</b></p> <p>Is the project site located within the Maher area or on a site containing potential subsurface soil or groundwater contamination and would it involve ground disturbance of at least 50 cubic yards or a change of use from an industrial use to a residential or institutional use? Is the project site located on a Cortese site or would the project involve work on a site with an existing or former gas station, parking lot, auto repair, dry cleaners, or heavy manufacturing use, or a site with current or former underground storage tanks? <i>if Maher box is checked, note below whether the applicant has enrolled in or received a waiver from the San Francisco Department of Public Health (DPH) Maher program, or if Environmental Planning staff has determined that hazardous material effects would be less than significant.</i></p> <p><b>Note that a categorical exemption shall not be issued for a project located on the Cortese List</b></p>
<input type="checkbox"/>	<p><b>Transportation:</b> Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities? Would the project involve the intensification of or a substantial increase in vehicle trips at the project site or elsewhere in the region due to autonomous vehicle or for-hire vehicle fleet maintenance, operations or</p>
<input checked="" type="checkbox"/>	<p><b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? If yes, archeology review is required.</p>
<input type="checkbox"/>	<p><b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? <i>(refer to the Environmental Information tab on <a href="https://sfplanningqis.org/PIM/">https://sfplanningqis.org/PIM/</a>)</i> <b>If box is checked, Environmental Planning must issue the exemption.</b></p>
<input type="checkbox"/>	<p><b>Average Slope of Parcel = or &gt; 25%, or site is in Edgehill Slope Protection Area or Northwest Mt. Sutro Slope Protection Area:</b> Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, or (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area? <i>(refer to the Environmental Information tab on <a href="https://sfplanninggis.org/PIM/">https://sfplanninggis.org/PIM/</a>)</i> <b>If box is checked, a geotechnical report is likely required and Environmental Planning must issue the exemption.</b></p>
<input type="checkbox"/>	<p><b>Seismic Hazard:</b>    <input type="checkbox"/> <b>Landslide</b> or    <input type="checkbox"/> <b>Liquefaction Hazard Zone:</b></p> <p>Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area, or (4) grading performed at a site in the landslide hazard zone? <i>(refer to the Environmental Information tab on <a href="https://sfplanninggis.org/PIM/">https://sfplanninggis.org/PIM/</a>)</i> <b>If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</b></p>
<p><b>Comments and Planner Signature (optional):</b>                      Don Lewis</p> <p>The department's staff archeologist conducted preliminary archeological review on July 28, 2021 and determined that no CEQA-significant archeological resources are expected within project-affected soils.</p>	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE  
TO BE COMPLETED BY PROJECT PLANNER**

<b>PROPERTY IS ONE OF THE FOLLOWING:</b> (refer to Property Information Map)	
<input type="checkbox"/>	<b>Category A:</b> Known Historical Resource. <b>GO TO STEP 5.</b>
<input checked="" type="checkbox"/>	<b>Category B:</b> Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>
<input type="checkbox"/>	<b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b>

**STEP 4: PROPOSED WORK CHECKLIST  
TO BE COMPLETED BY PROJECT PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. <b>Change of use and new construction.</b> Tenant improvements not included.
<input type="checkbox"/>	2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
<b>Note: Project Planner must check box below before proceeding.</b>	
<input checked="" type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project <b>does not conform</b> to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>

**STEP 5: ADVANCED HISTORICAL REVIEW  
TO BE COMPLETED BY PRESERVATION PLANNER**

<b>Check all that apply to the project.</b>	
<input checked="" type="checkbox"/>	<p>1. <b>Reclassification of property status.</b> (Attach HRER Part I)</p> <p><input checked="" type="checkbox"/> Reclassify to Category A <span style="margin-left: 200px;"><input type="checkbox"/> Reclassify to Category C</span></p> <p style="margin-left: 40px;">a. Per HRER <span style="margin-left: 100px;">07/30/2019</span> <span style="margin-left: 100px;">(No further historic review)</span></p> <p style="margin-left: 40px;">b. Other (specify):</p>
<input type="checkbox"/>	2. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	3. <b>Interior alterations to publicly accessible spaces that do not remove, alter, or obscure character defining features.</b>
<input type="checkbox"/>	4. <b>Window replacement</b> of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	5. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.

<input checked="" type="checkbox"/>	6. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.
<input checked="" type="checkbox"/>	7. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input checked="" type="checkbox"/>	8. <b>Work consistent</b> with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties (Analysis required)</i> : See HRER Part 2, dated 7/19/21
<input type="checkbox"/>	9. <b>Work compatible</b> with a historic district (Analysis required):
<input checked="" type="checkbox"/>	10. <b>Work that would not materially impair</b> a historic resource (Attach HRER Part II).
<b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.</b>	
<input checked="" type="checkbox"/>	<b>Project can proceed with exemption review.</b> The project has been reviewed by the Preservation Planner and can proceed with exemption review. <b>GO TO STEP 6.</b>
<b>Comments (optional):</b>	
<b>Preservation Planner Signature:</b> Michelle A Taylor	

**STEP 6: EXEMPTION DETERMINATION  
TO BE COMPLETED BY PROJECT PLANNER**

<input checked="" type="checkbox"/>	<b>No further environmental review is required. The project is exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.</b>	
	<b>Project Approval Action:</b> Planning Commission Hearing	<b>Signature:</b> Don Lewis 07/29/2021
	Supporting documents are available for review on the San Francisco Property Information Map, which can be accessed at <a href="https://sfplanninggis.org/PIM/">https://sfplanninggis.org/PIM/</a> . Individual files can be viewed by clicking on the Planning Applications link, clicking the "More Details" link under the project's environmental record number (ENV) and then clicking on the "Related Documents" link. Once signed or stamped and dated, this document constitutes an exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination to the Board of Supervisors can only be filed within 30 days of the project receiving the approval action.	

## STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

### TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional

### MODIFIED PROJECT DESCRIPTION

Modified Project Description:

### DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

- |                          |  |
|--------------------------|--|
| <input type="checkbox"/> | Result in expansion of the building envelope, as defined in the Planning Code;   |
| <input type="checkbox"/> | Result in the change of use that would require public notice under Planning Code Sections 311 or 312;  |
| <input type="checkbox"/> | Result in demolition as defined under Planning Code Section 317 or 19005(f)?   |
| <input type="checkbox"/> | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |

**If at least one of the above boxes is checked, further environmental review is required**

### DETERMINATION OF NO SUBSTANTIAL MODIFICATION

- |                          |   |
|--------------------------|---|
| <input type="checkbox"/> | The proposed modification would not result in any of the above changes. |
|--------------------------|---|

If this box is checked, the proposed modifications are exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can

**Planner Name:**

**Date:**





# HISTORIC RESOURCE EVALUATION RESPONSE

**Record No.:** 2017-015648ENV  
**Project Address:** 952 CAROLINA ST  
**Zoning:** RH-2 RESIDENTIAL- HOUSE, TWO FAMILY Zoning District  
40-X Height and Bulk District  
**Block/Lot:** 4160/009  
**Staff Contact:** Michelle A. Taylor - 628-652-7352  
Michelle.Taylor@sfgov.org

## Part II: Project Evaluation

<b>Proposed Project:</b>		<b>Per Drawings Dated:</b>
<input type="checkbox"/> <b>Demolition / New Construction</b>	<input checked="" type="checkbox"/> <b>Alteration</b>	07/08/21

### PROJECT DESCRIPTION

- Proposed scope of work includes the retention and relocation of existing earthquake cottage at front of lot and removal of non-historic portions of existing building, to accommodate a horizontal and vertical addition. The proposed two-residential building will be clad in wood siding and feature wood-frame windows.
- The project scope will include restoration and rehabilitation of earthquake shack including removal of existing asbestos siding and restoration of extant original siding, replacement of non-original windows within existing openings on front elevation, replacement of non-original windows within modified openings on side elevation of earthquake shack, reroofing, and replacement of non-contributing front steps at earthquake shack.

### PROJECT EVALUATION

The proposed project's conformance with the Secretary of the Interior's Standards:			
<b>Standard 1</b> – Minimal Change:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
<b>Standard 2</b> – Maintain Character:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
<b>Standard 3</b> – Avoid Conjecture:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
<b>Standard 4</b> – Acquired Significance:	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
<b>Standard 5</b> – Building Techniques:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
<b>Standard 6</b> – Repairment:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
<b>Standard 7</b> – Treatments:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
<b>Standard 8</b> – Archeology:	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
<b>Standard 9</b> – Compatibility:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
<b>Standard 10</b> – Reversibility:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A

See **Project Impact Analysis** comments for additional information.

**PROJECT DETERMINATION**

Based on the Historic Resource Evaluation in Part I, the project's scope of work:

- Will** cause a significant adverse impact to the **individual historic resource** as proposed.
- Will** cause a significant adverse impact to a **historic district / context** as proposed.
- Will not** cause a significant adverse impact to the **individual historic resource** as proposed.
- Will not** cause a significant adverse impact to a **historic district / context** as proposed.

**PROJECT IMPACT ANALYSIS**

Staff finds that the proposed project meets the Secretary of the Interior Standards for the Treatment of Historic Properties. The proposed work will retain most of the character defining features significant to the property including the form and massing of the historic building. Although the proposed scope includes shifting the location of the existing shack to accommodate the construction of the proposed addition, the proposed move will not result in a change to the orientation or prominence of the existing building and it will continue to maintain primacy at the front of the lot. Furthermore, a qualified consultant has confirmed that the cottage can be moved without damage.

The proposed scope includes restoration of the extant historic redwood siding currently obscured beneath two later layers of cladding and a brick veneer water table. Any significantly deteriorated siding will be replaced in kind. The existing non-original windows will be replaced with appropriate wood frame, multi-lite windows. On the front elevation new windows will be located within existing square openings. Previously modified existing openings on the side (south) elevation will be modestly re-sized. The non-original front door and steps will also be replaced with appropriate materials and in a modest design so as to be both compatible and avoid conjecture. The existing and non-contributing rear volume (built 1936) will be replaced with a new addition set back from the shack and connected by a modest one-story hyphen, so as to separate the new construction from the cottage. Proposed proportions, wood siding, and wood-frame windows on the new volume will be compatible with the shack's rustic, modest materials without being conjectural. Overall, the proposed treatment of the form, massing, volume and finishes will allow the subject building to continue to convey its original use as an earthquake shack. Specifically, the character defining features associated with the mass-produced cottages are evident by the massing, roof slope, and modest footprint of the front volume. Other retained features include the pattern of openings with simple wood trim, retention of original siding and exposed rafter ends will be preserved.

**PART II: Principal Preservation Planner Review**

Signature: Allison Vanderslice

Date: 7/19/2021

Allison Vanderslice, *Principal Preservation Planner*  
CEQA Cultural Resources Team Manager, Environmental Planning Division

CC: Michael Christensen, *Senior Planner*

Southeast Team, Current Planning Division

# Parcel Map

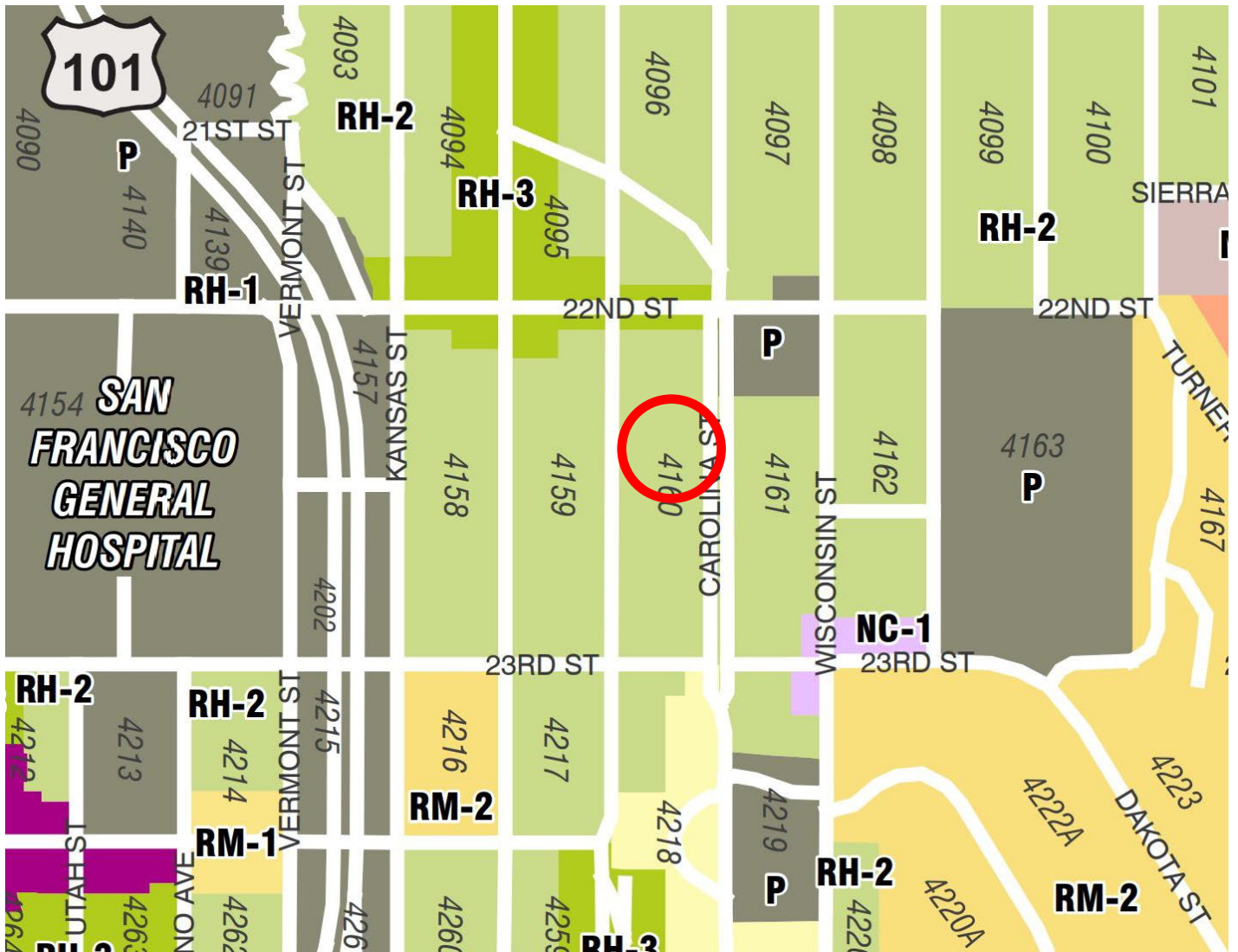
2.5	2001 74/75	3	2.5
2.5	62	4	2.5
2.5	61	5	2.5
2.5	60	6	2.5
2.5	59	7	2.5
2.5	58	8	2.5
2.5	57	9	2.5

**SUBJECT PROPERTY**



Conditional Use Authorization Hearing  
Case Number 2017-015648CUA  
952 Carolina Street

# Zoning Map



Conditional Use Authorization Hearing  
Case Number 2017-015648CUA  
952 Carolina Street

# Aerial Photo – View 1



**SUBJECT PROPERTY**



Conditional Use Authorization Hearing  
Case Number 2017-015648CUA  
952 Carolina Street

# Site Photo



Conditional Use Authorization Hearing  
Case Number 2017-015648CUA  
952 Carolina Street

# 952 CAROLINA STREET

SAN FRANCISCO, CA 94107



**SELANDER ARCHITECTS**  
2095 Jerrold Avenue, Suite 319, SF, CA 94124  
415.385.4339  
eml@selderarchitects.net

952 Carolina St  
San Francisco, CA 94107  
Parcel # 4160/009

## GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH CONDITIONS AT THE JOB SITE BEFORE PROCEEDING WITH ANY WORK. CONDITIONS AT INDIVIDUAL DETAILS MAY VARY. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO FABRICATION AND INSTALLATION OF THE NEW WORK.

2. DO NOT SCALE THE DRAWINGS. LOCATE ONLY BY WRITTEN DIMENSION SITE VERIFICATION, OR WRITTEN CLARIFICATION.

3. ALL DIMENSIONS WHEN SHOWN IN PLAN ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.

4. ALL DIMENSIONS WHEN SHOWN IN SECTION OR ELEVATION ARE TO TOP OF FINISH FLOOR UNLESS OTHERWISE NOTED.

5. ANY ERRORS, OMISSION, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING AND THE CONTRACTOR SHALL RECEIVE WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

6. DETAILS SHOWN ARE TYPICAL UNLESS OTHERWISE NOTED. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.

7. CONTRACTOR SHALL VERIFY ALL DETAILS WITH THE LANDSCAPE, UTILITY AND SHOP DRAWINGS BEFORE THE ORDERING OF, OR INSTALLATION OF ANY ITEM OF THE WORK.

8. VERIFY ADEQUACY OF CLEARANCES, AND POINTS OF CONNECTION FOR PIPES WITH PLUMBING CONTRACTOR.

9. ALL WORK SHALL BE DONE WITHOUT CAUSING UNDUE INCONVENIENCE TO ADJACENT SITE IMPROVEMENTS.

10. TRADE NAMES USED ARE DESIGNED TO ESTABLISH QUALITY DESIRED. ANY SUBSTITUTIONS DESIRED BY THE CONTRACTOR SHALL ACCORD WITH SUBSTITUTION PROCEDURES AND FORMAT AS DESCRIBED IN SPECIFICATIONS.

11. ALL WORK SHALL BE DONE IN A SAFE, ORDERLY MANNER WITHOUT DAMAGE TO OTHER PARTS OF THE PREMISES OR ADJACENT PROPERTIES. ANY RESULTING DAMAGE OR LOSS SHALL BE CORRECTED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER, AND WITHOUT TIME EXTENSION TO THE CONTRACT PERIOD.

12. DESIGNS REPRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND WERE DEVELOPED FOR THE USE OF THIS PROJECT ONLY. REUSE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS PROHIBITED.

13. MAINTAIN WORK AREAS CLEAN AND FREE FROM UNDUE ENCUMBRANCES AT ALL TIMES. REMOVE SURPLUS MATERIALS AND WASTE AS THE WORK PROGRESSES.

14. IN CASE OF AN INCONSISTENCY BETWEEN DRAWINGS AND SPECIFICATIONS OR WITHIN OTHER CONTRACT DOCUMENTS NOT CLARIFIED BY ADDENDUM, PROVIDE BETTER QUALITY OR GREATER QUANTITY OF WORK IN ACCORDANCE WITH ARCHITECT'S INTERPRETATION.

15. IN CASE OF DISCREPANCIES, LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.

16. NO PLASTIC PLUMBING PIPE IS ALLOWED FOR DOMESTIC WATER SUPPLY AND SANITARY WASTE SYSTEM (AS PER DCMC 15.20.040 & 15.20.090).

17. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF C.B.C. SECTIONS 709.6 AND 709.7 FOR PENETRATIONS THROUGH ALL FIRE-RATED MEMBRANES AND/OR ASSEMBLIES.

## ABBREVIATIONS:

NOTE: PLEASE SEE LEGEND(S) FOR ADDITIONAL ABBREVIATIONS NOT SHOWN HERE.

+/-	APPROXIMATELY
@	DIAMETER
Ø	DIAMETER
#	NUMBER OR POUND
R	PROPERTY LINE
CL	CENTERLINE
AFF	ABOVE FINISHED FLOOR
BLDG	BUILDING
BP	BUILDING PAPER
CLKG	CAULKING
C.D.	CIVIL DRAWINGS
CL	CLOSET
CLR	CLEAR
CNR	CORNER
DEMO	DEMOLITION
DN	DOWN
DW	DISHWASHER
DWG	DRAWING
E.D.	ELECTRICAL DRAWINGS
EQ	EQUAL
EQUIP	EQUIPMENT
FE	FIRE EXTINGUISHER
FF	FINISHED FLOOR
FDTN	FOUNDATION
FURN	FURNACE
GA	GAUGE
GALV	GALVANIZED
GAL	GALLON
GND	GROUND
GRD	GRADE
GRD BM	GRADE BEAM
H	HIGH
JH	JOIST HANGER
LB	POUND
LC	LINEN CLOSET
LF	LINEAR FEET
LTG	LIGHTING
LVL	LEVEL
MAS	MASONRY
M.D.	MECHANICAL DRAWINGS
MET	METAL
N/A	NOT APPLICABLE
NEG	NEGATIVE
NIC	NOT IN CONTRACT
PB	POST BASE
PERIM	PERIMETER
PERP	PERPENDICULAR
PL	PLATE
PLY	PLYWOOD
R	RISER
RAD	RADIUS
REF	REFRIGERATOR
RELOC	RELOCATE(D)
REM	REMOVE(D)
REQD	REQUIRED
SCHED	SCHEDULE
SOG	SLAB-ON-GRADE
SQ	SQUARE
S.D.	STRUCTURAL DRAWINGS
T	TREAD
TP	TOILET PAPER
T&B	TOP AND BOTTOM
VERT	VERTICAL
VIF	VERIFY IN FIELD
W	WIDTH
WH	WATER HEATER
WV	WITH
W/O	WITHOUT

## SYMBOLS LEGEND:

	<b>TYPICAL DETAIL TAG</b> DETAIL REFERENCE NUMBER DRAWING PAGE NUMBER
	<b>TYPICAL ELEVATION TAG</b> ELEVATION VIEW DRAWING PAGE NUMBER
	<b>TYPICAL SECTION TAG</b> DETAIL REFERENCE NUMBER DRAWING PAGE NUMBER
	<b>WINDOW TAG</b> SEE WINDOW SCHEDULE, IF APPLICABLE
	<b>DOOR TAG</b> SEE DOOR SCHEDULE, IF APPLICABLE
	<b>ROOM NUMBER</b>
	<b>SHEET NOTES</b>
	<b>SIGNAGE TAG</b> SEE SIGNAGE SCHEDULE

## DESCRIPTION OF WORK:

NEW CONSTRUCTION OF BASEMENT+ 3 STORES 2 UNIT ADDITION.  
EXISTING EARTHQUAKE SHED TO BE RETAINED AND RESTORED.

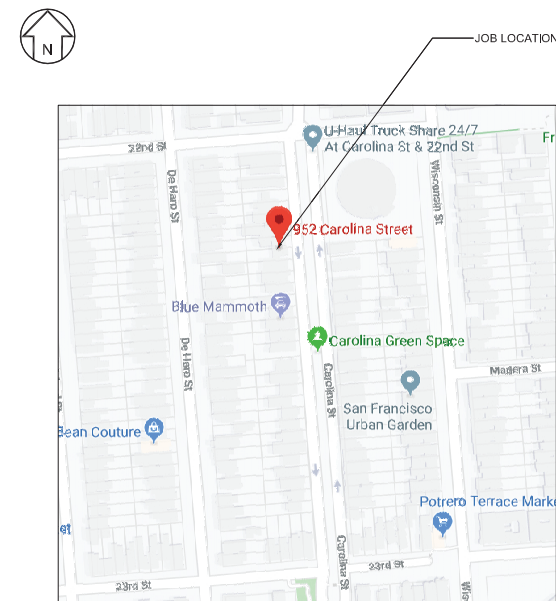
## PROJECT DATA:

ADDRESS	952 CAROLINA ST, 94107
BLOCKLOT	4160/009
ZONING	RH-2
LOT SIZE	25'-0" x 100'-0"
LOT AREA	2,500 SF
TYPE OF CONSTRUCTION	5A
NUMBER OF DWELLING UNITS	2
FLOORS	BSMT + 3 FLOORS
FIRE PROTECTION	RESIDENTIAL FIRE SPRINKLED THROUGHOUT FIRE ALARM

## APPLICABLE CODES:

2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ENERGY CODE
2016 GREEN BUILDING CODE
2016 SAN FRANCISCO BUILDING CODE AMENDMENTS
2016 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS
2016 SAN FRANCISCO MECHANICAL CODE AMENDMENTS
2016 SAN FRANCISCO PLUMBING CODE AMENDMENTS
2016 SAN FRANCISCO GREEN BUILDING CODE AMENDMENTS
2016 SAN FRANCISCO HOUSING CODE
2010 NFPA 72 (FIRE ALARMS)
2010 NFPA 13/13R (SPRINKLERS)

## LOCATION MAP:

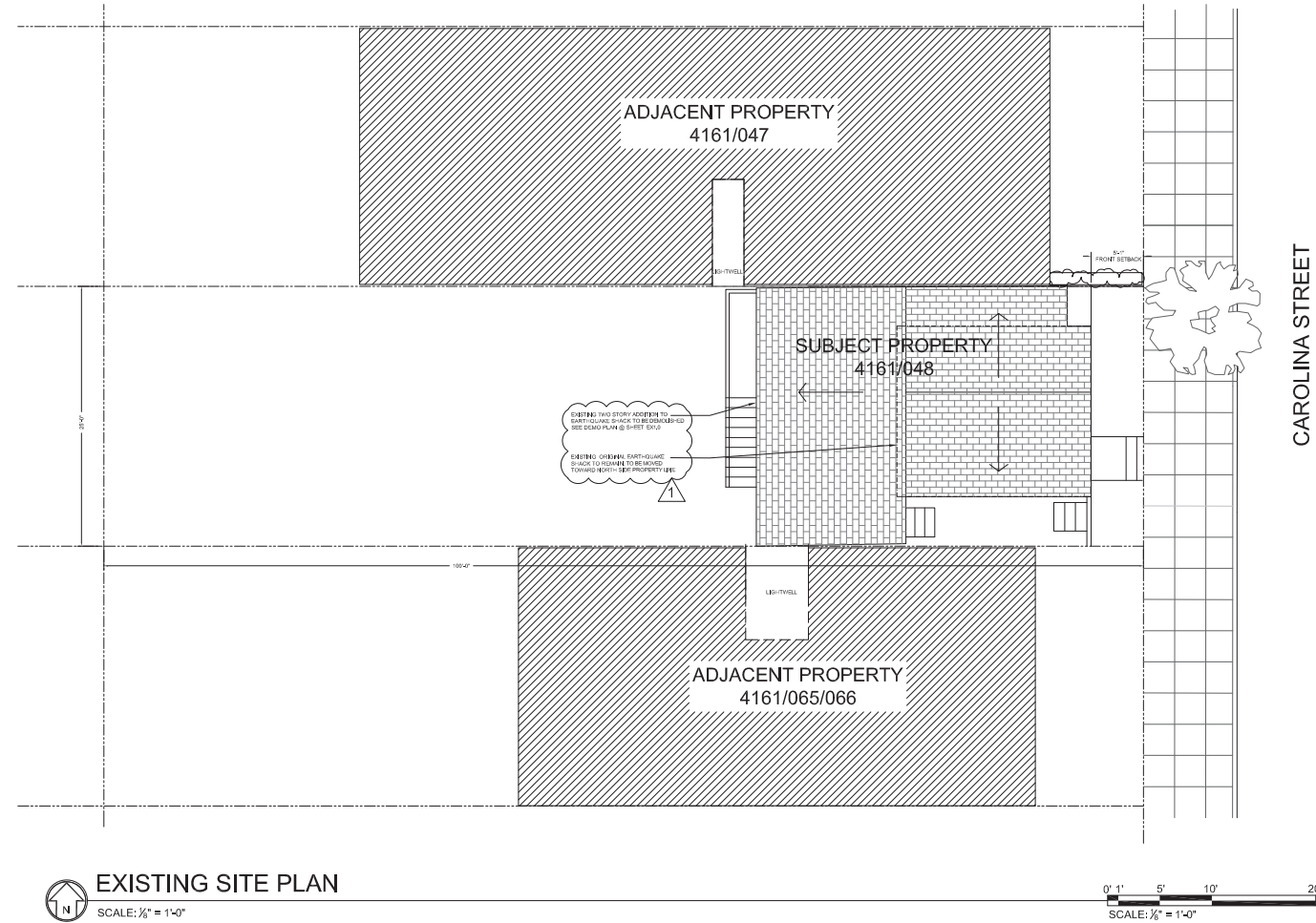


## DRAWING INDEX:

<b>ARCHITECTURAL:</b>	
A0.0	TITLE SHEET, ABBREVIATIONS, SCOPE OF WORK, PROJECT DATA, INDEX OF DRAWINGS, LOCATION MAP, EXISTING SITE PLAN
A0.1	PROPOSED SITE PLAN
EX1.0	EXISTING PLANS
A1.0	PROPOSED BASEMENT & 1ST FLOOR PLAN
A1.1	PROPOSED 2ND & 3RD FLOOR PLANS
A1.2	PROPOSED ROOF PLAN/ WINDOW SCHEDULE
A2.0	EXISTING & PROPOSED EAST ELEVATIONS
A2.1	PROPOSED WEST ELEVATION, WINDOW DETAILS
A2.2	PROPOSED SOUTH ELEVATION
A2.3	PROPOSED NORTH ELEVATION
A3.0	PROPOSED SECTION, PHOTOS
A3.1	PROPOSED SECTION
A4.0	NEIGHBORHOOD DIAGRAMS AND PHOTOS
A5.0	PERSPECTIVE VIEW
A5.1	PERSPECTIVE VIEW
SV1	GEOGRAPHIC SURVEY

## SQUARE FOOTAGE:

<b>EXISTING:</b>		
SHACK - 1ST FLOOR	630 SF	
BASEMENT	560 SF	
<b>PROPOSED:</b>		
SHACK	270 SF	
BASEMENT	278 SF	
(N) ADDITION:		
BASEMENT	955 SF	
FIRST FLOOR	930 SF	
SECOND FLOOR	721 SF	
THIRD FLOOR	691 SF	
TOTAL	3297 SF	
<b>OPEN SPACE:</b>		
GROUND LEVEL	1064 SF	
2ND LEVEL DECK	178 SF	
ROOF	330 SF	
TOTAL	1662 SF	
<b>EXCAVATION CALCULATIONS:</b>		
114 C.Y.		
FILL USING EXCAVATED SOIL:		
45 C.Y.		



**EXISTING SITE PLAN**  
SCALE: 1/8" = 1'-0"

Title Sheet, Project info.  
(E)Site Plan

## LEGEND

(E)	EXISTING
(N)	NEW
R	PROPERTY LINES

Issue:	Date:
Revisions	04.21.21

Scale: As shown

Sheet Title:  
Title Sheet, Project info.  
(E)Site Plan

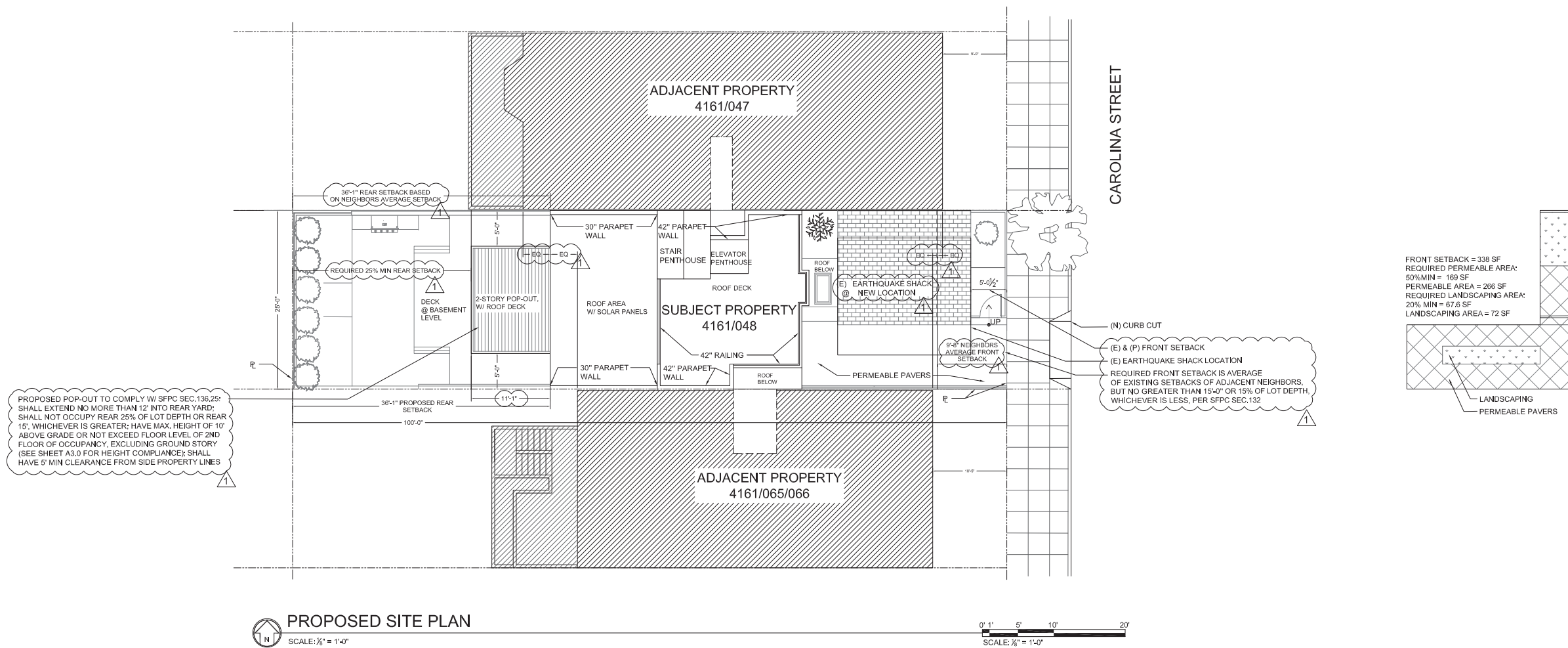
**A0.0**





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Issue:	Date:
Revisions	04.21.21
Scale:	As shown
Sheet Title:	(P) Site Plan

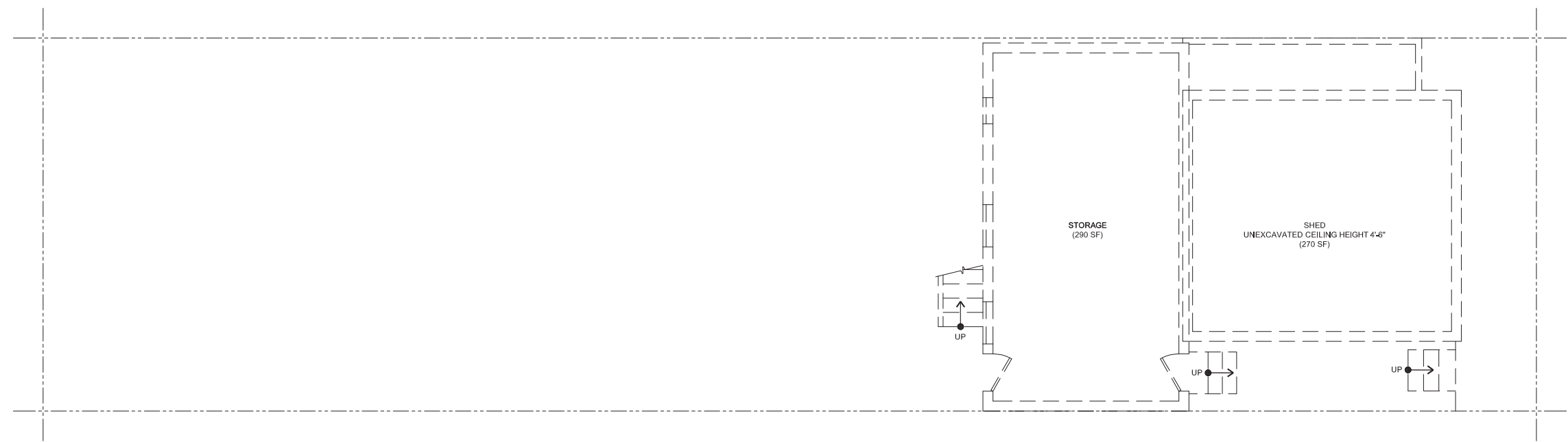
AO.1



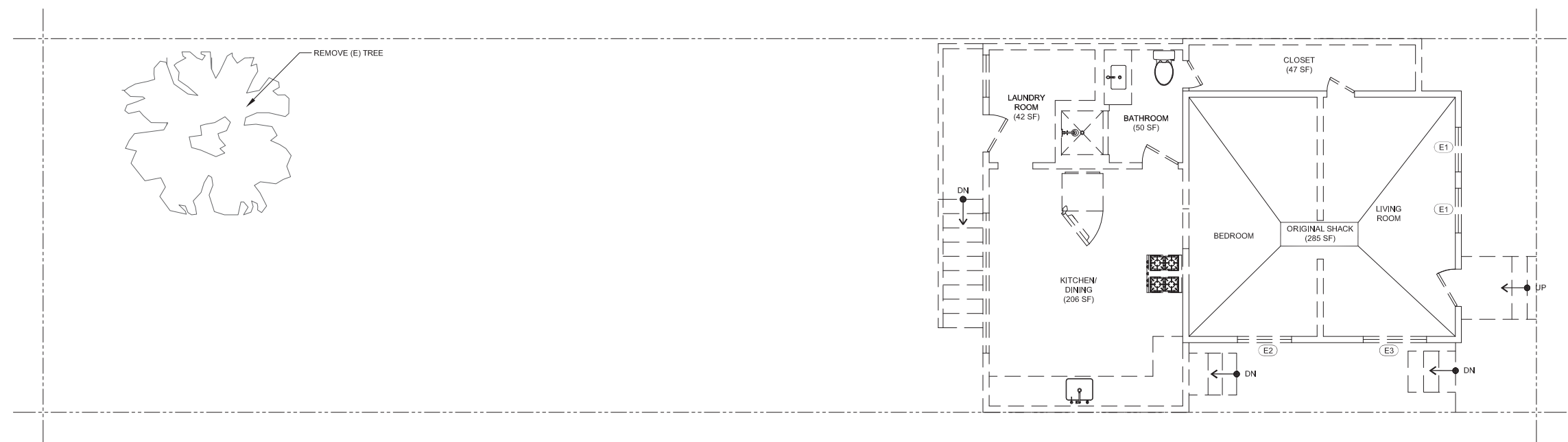
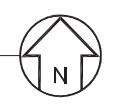
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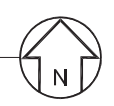
LEGEND	
(E)	EXISTING
(N)	NEW
---	(E) WALL
---	WALLS TO BE REMOVED



**A** EXISTING BASEMENT PLAN  
 SCALE: 1/2" = 1'-0"



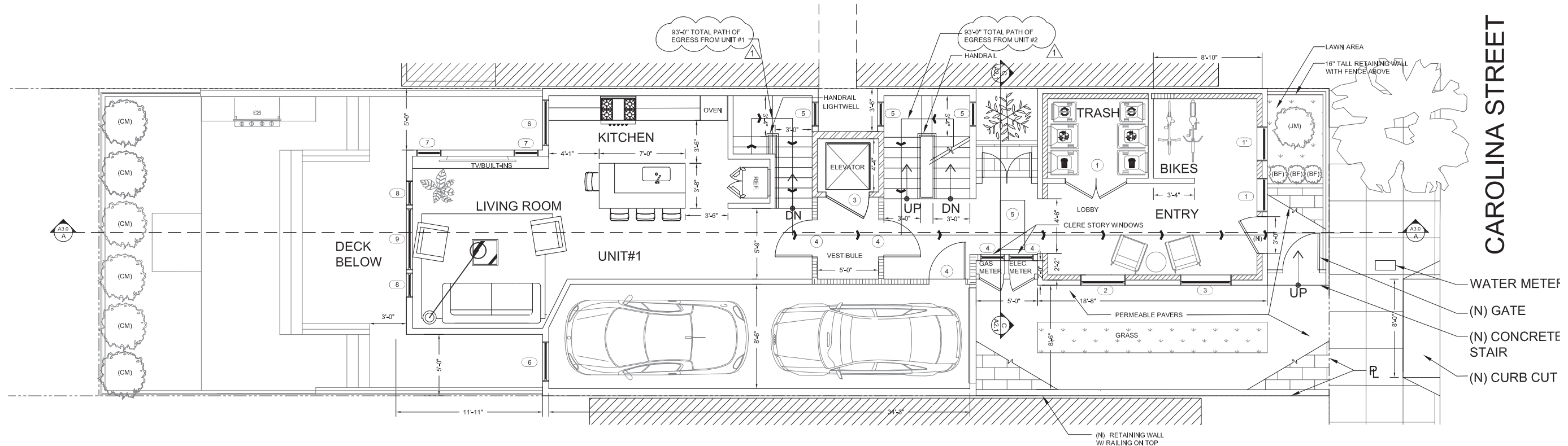
**A** EXISTING FIRST FLOOR PLAN  
 SCALE: 1/2" = 1'-0"



Issue:	Date:
Revisions	04.21.21

Scale: As shown  
 Sheet Title: (E) Plan

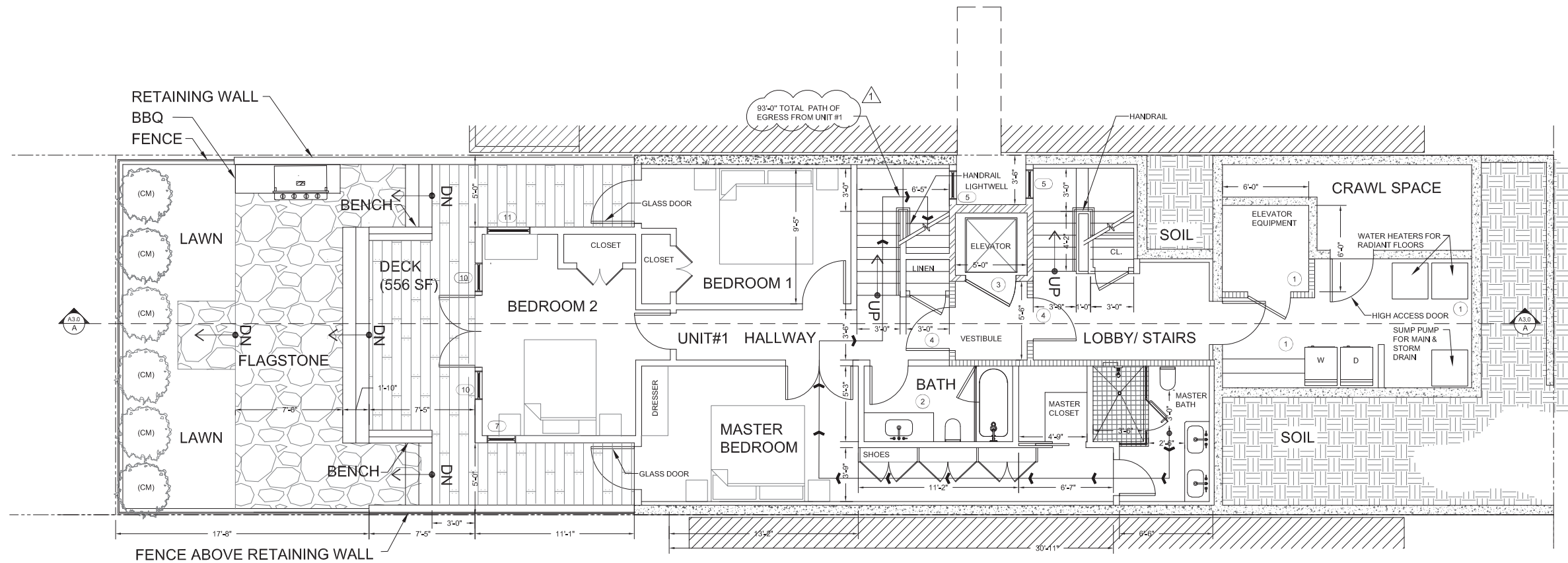
EXI.0



CAROLINA STREET

A PROPOSED FIRST FLOOR PLAN (930 SF)

SCALE: 1/4" = 1'-0"



B PROPOSED BASEMENT PLAN (955 SF)

SCALE: 1/4" = 1'-0"

LEGEND	
(E)	EXISTING
(N)	NEW
(BF)	BLUE FESCUE PLANTS
(JM)	JAPANESE MAPLE (JM) (10' TALL MAX)
(CM)	CREPE MYRTLE TREES (MC) (15' MAX HT)
[Symbol]	CONCRETE WALLS
[Symbol]	INDICATES FURRED WALLS 2X4 LAID FLAT W/ 1/2" TYPE X GB, RIGID INSULATION 1/2"
[Symbol]	(N) WALLS, 2X'S @ 16" O.C. W/ 1/2" GB BOTH SIDES (SIDING @ EXTERIOR WALLS) S.S.D.
[Symbol]	2-HOUR RATED WALLS 2X'S @ 16" O.C. W/ 2 LAYERS 1/2" TYPE X GB BOTH SIDES
[Symbol]	2X4 FURRING WALL IN FRONT OF ORIGINAL SHACK WALL, 2X4'S LAID FLAT W/ RIGID INSULATION UNDER 1/2" TYPE X GYP. BD.
[Symbol]	1-HOUR RATED WALLS 2X'S @ 16" O.C. W/ 1 LAYER 1/2" TYPE X GB BOTH SIDES

SHEET NOTES:	
1	FAN/EXHAUST TO EXTERIOR
2	WHOLE HOUSE EXHAUST TO LIGHTWELL & ROOF
3	90 MINUTE RATED SELF CLOSING DOOR W/ SMOKE SEAL
4	20 MINUTE RATED DOOR W/ CLOSER & SMOKE SEAL
5	2X4 SKYLIGHT



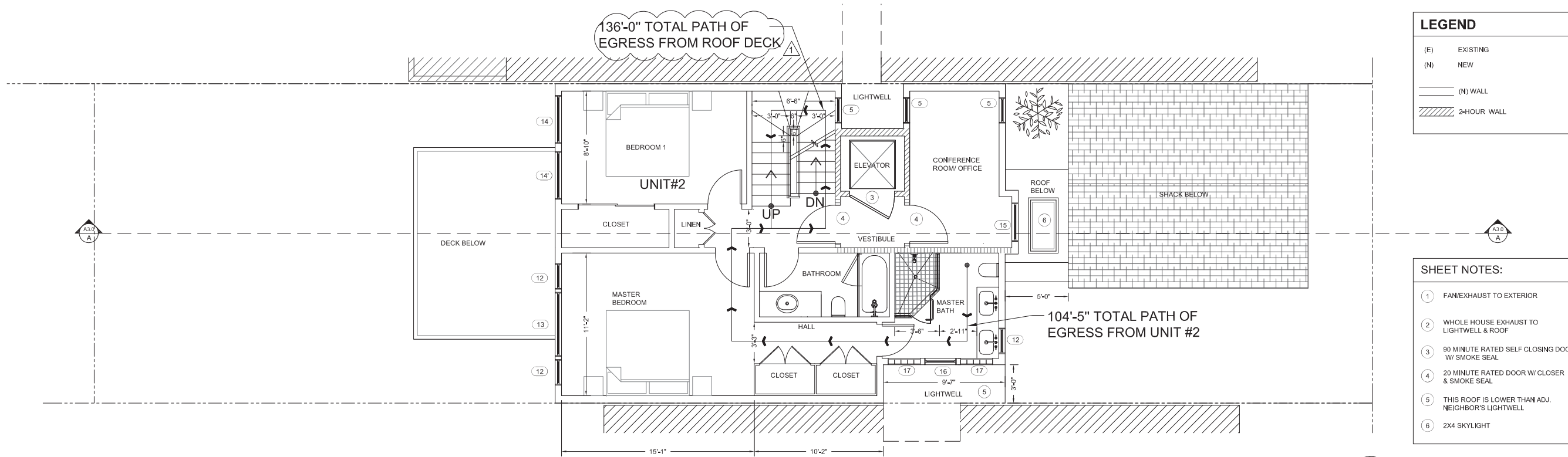
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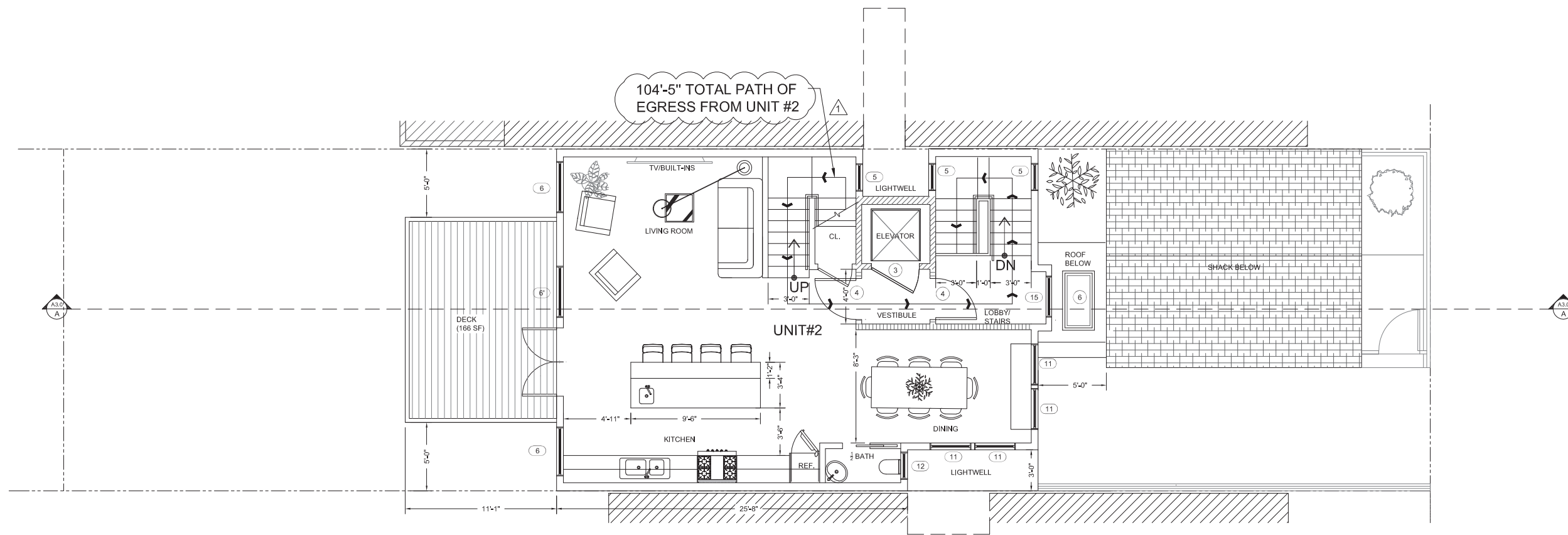
Issue:	Date:
Revisions	04.21.21

Scale: As shown  
Sheet Title: (P) Basement #  
1st Floor Plans

A1.0



**A** PROPOSED THIRD FLOOR PLAN (691 SF)  
SCALE: 1/4" = 1'-0"



**B** PROPOSED SECOND FLOOR PLAN (721 SF)  
SCALE: 1/4" = 1'-0"



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Issue:	Date:
Revisions	04.21.21

Scale: As shown  
Sheet Title: (P) 2nd & 3rd Plans

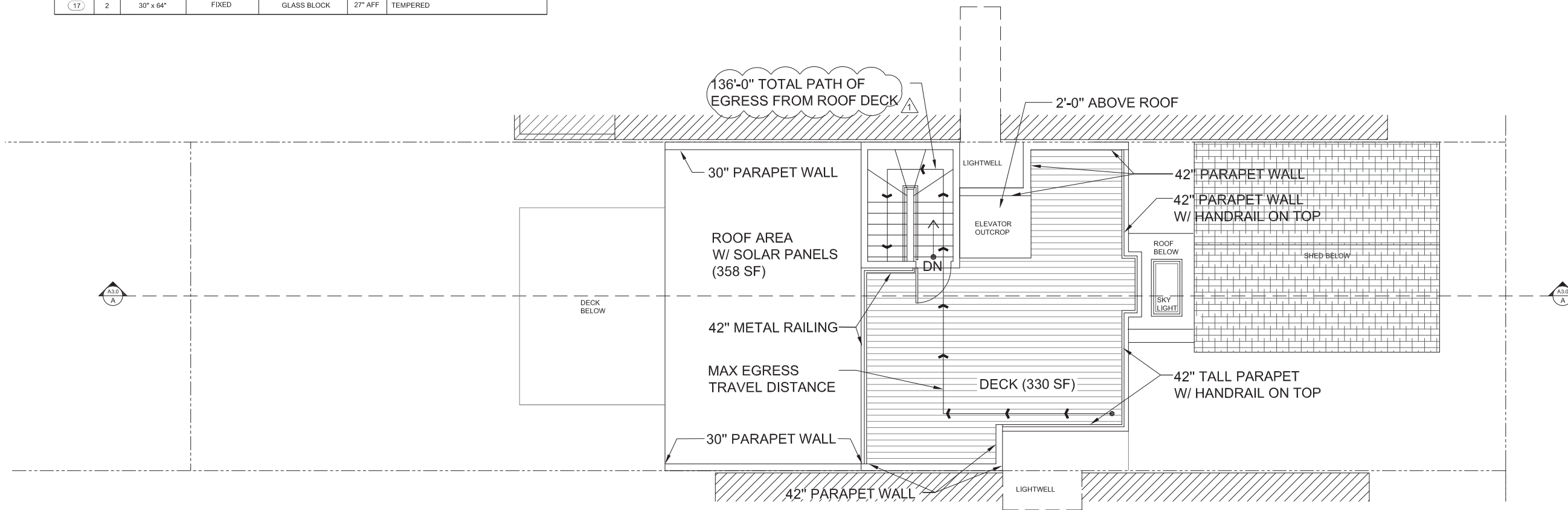
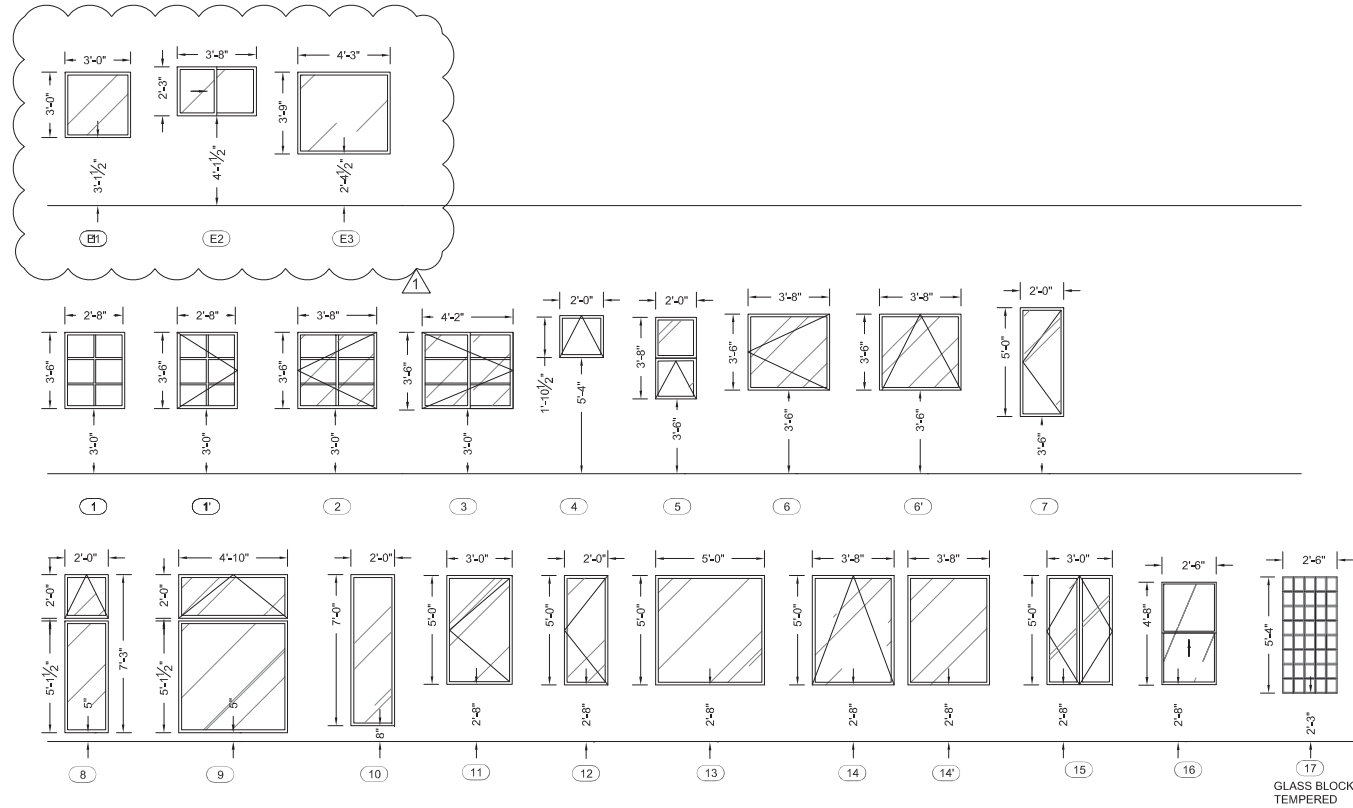
A.I.I



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WINDOW SCHEDULE						
WINDOW MARK	QUANTITY	WINDOW OPENING SIZE (WxH)	OPERATION	CONSTRUCTION MATERIAL	SILL HEIGHT	REMARKS
E1	2	36" x 36"	PICTURE	WOOD	37 1/2" AFF	EXISTING COTTAGE WINDOW, TO BE REPLACED W/ ( 1 ) & ( 1' ) MARVIN
E2	1	44" x 29"	SLIDER	WOOD	49 1/2" AFF	EXISTING COTTAGE WINDOW, TO BE REPLACED W/ ( 2 ) MARVIN
E3	1	51" x 45"	PICTURE	WOOD	28 1/2" AFF	EXISTING COTTAGE WINDOW, TO BE REPLACED W/ ( 3 ) MARVIN
( 1 )	1	32" x 42"	PICTURE	WOOD	36" AFF	TO MATCH ORIGINAL SIX LITE COTTAGE WINDOWS, MARVIN
( 1' )	1	32" x 42"	CASEMENT	WOOD	36" AFF	TO MATCH ORIGINAL SIX LITE COTTAGE WINDOWS, MARVIN
( 2 )	1	44" x 42"	CASEMENT	WOOD	36" AFF	TO MATCH ORIGINAL SIX LITE COTTAGE WINDOWS, MARVIN
( 3 )	1	42" x 50"	CASEMENT	WOOD	36" AFF	TO MATCH ORIGINAL SIX LITE COTTAGE WINDOWS, MARVIN
( 4 )	2	10 1/2" x 24"	AWNING	WOOD	64" AFF	MARVIN
( 5 )	10	44" x 24"	PICTURE + AWNING	WOOD	42" AFF	MARVIN
( 6 )	4	42" x 46"	CASEMENT	WOOD	42" AFF	MARVIN
( 6' )	1	42" x 46"	AWNING	WOOD	42" AFF	MARVIN
( 7 )	3	24" x 60"	CASEMENT	WOOD	42" AFF	MARVIN
( 8 )	2	24" x 89"	PICTURE + AWNING	WOOD	5" AFF	MARVIN
( 9 )	1	58" x 89"	PICTURE + AWNING	WOOD	5" AFF	MARVIN
( 10 )	2	24" x 84"	PICTURE	WOOD	8" AFF	MARVIN
( 11 )	5	36" x 60"	CASEMENT	WOOD	32" AFF	MARVIN
( 12 )	4	24" x 60"	CASEMENT	WOOD	32" AFF	MARVIN
( 13 )	1	60" x 60"	PICTURE	WOOD	32" AFF	MARVIN
( 14 )	1	44" x 60"	AWNING	WOOD	32" AFF	MARVIN
( 14' )	1	44" x 60"	PICTURE	WOOD	32" AFF	MARVIN
( 15 )	2	36" x 60"	CASEMENT+ CASEMENT	WOOD	32" AFF	MARVIN
( 16 )	1	30" x 56"	SINGLE HUNG	WOOD	32" AFF	MARVIN
( 17 )	2	30" x 64"	FIXED	GLASS BLOCK	27" AFF	TEMPERED



**A PROPOSED ROOF PLAN**  
 SCALE: 1/4" = 1'-0"



Issue:	Date:
Revisions	04.21.21

Scale: As shown

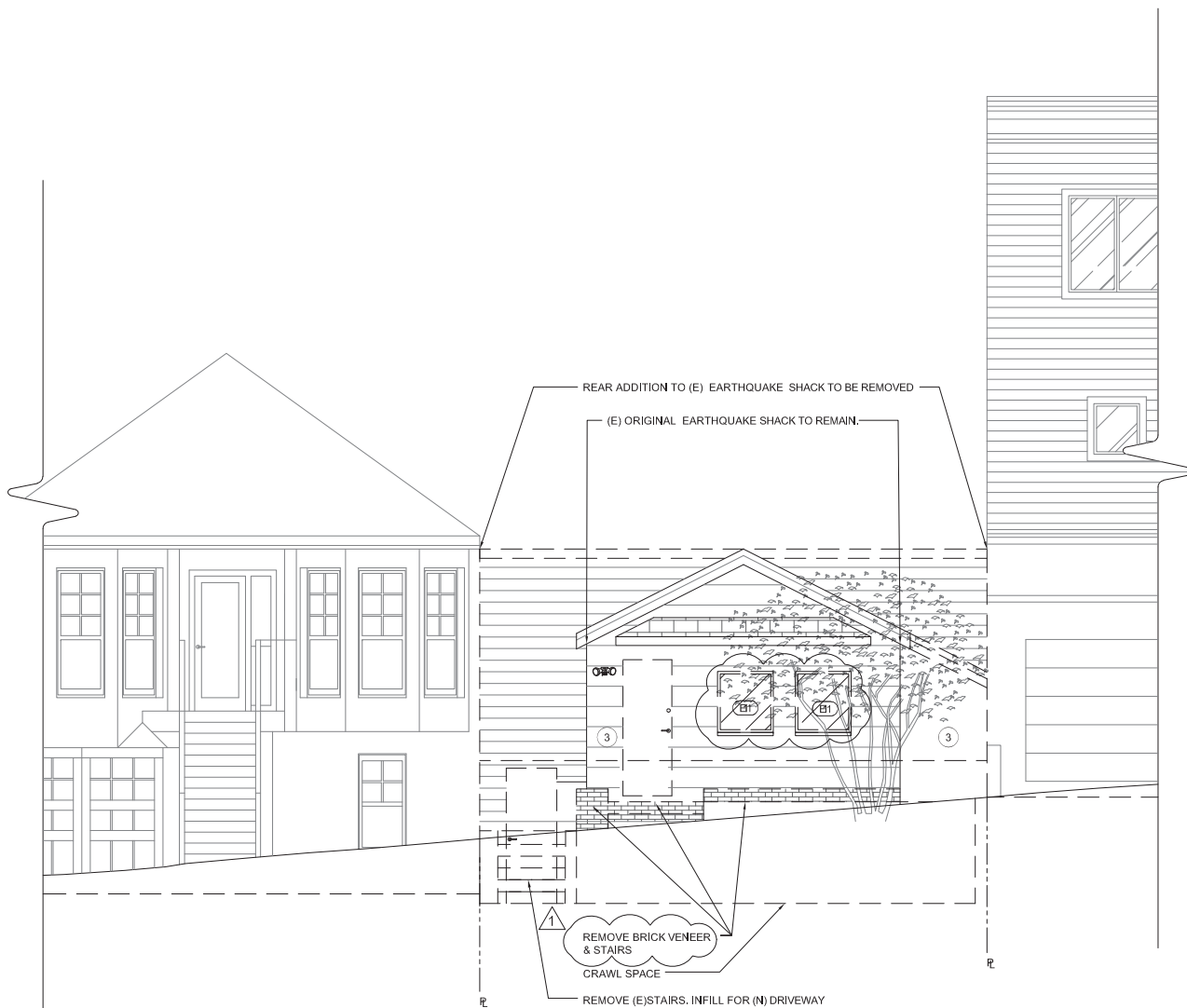
Sheet Title: (P)Roof Plan, Windows Schedule

A1.2

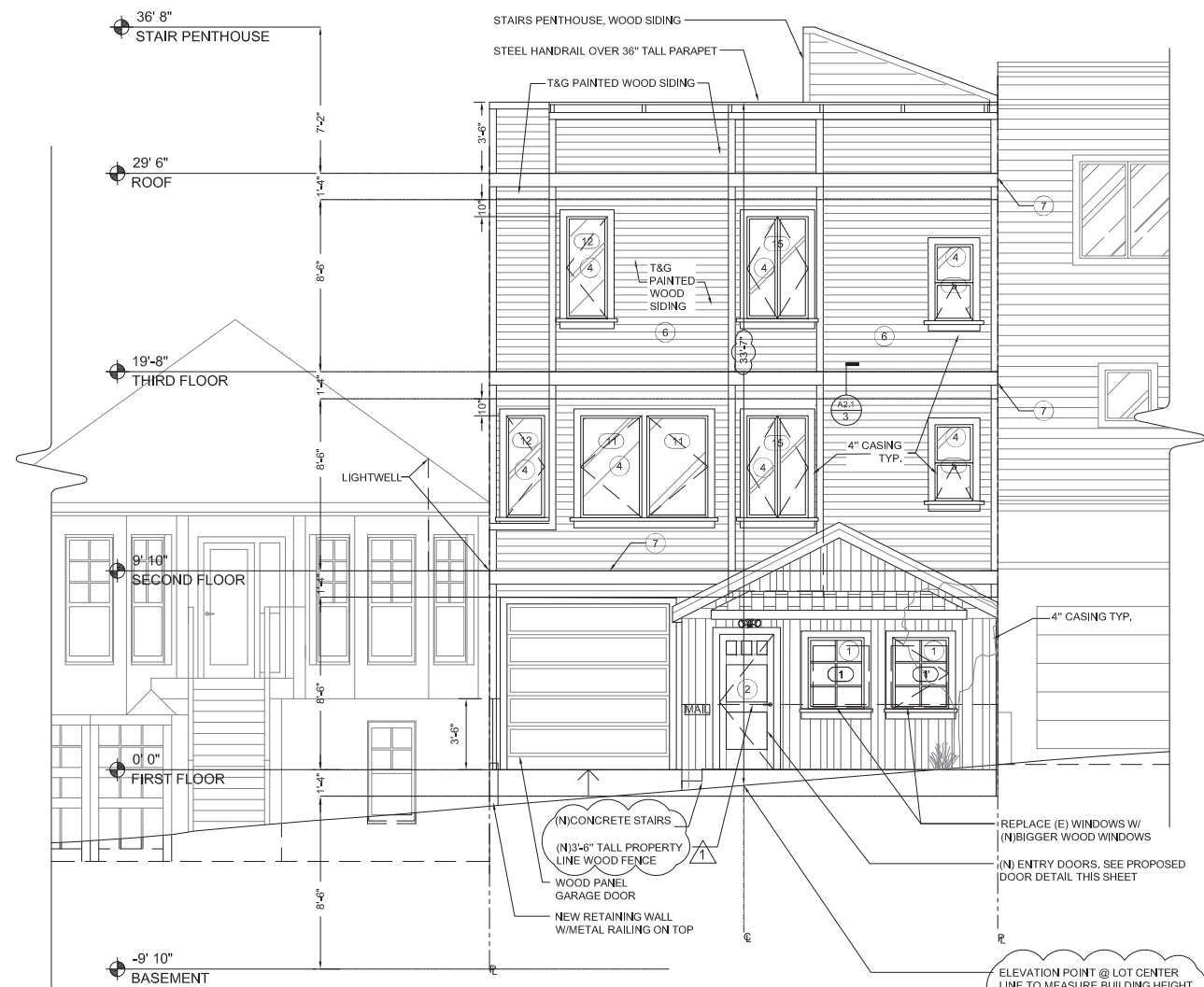


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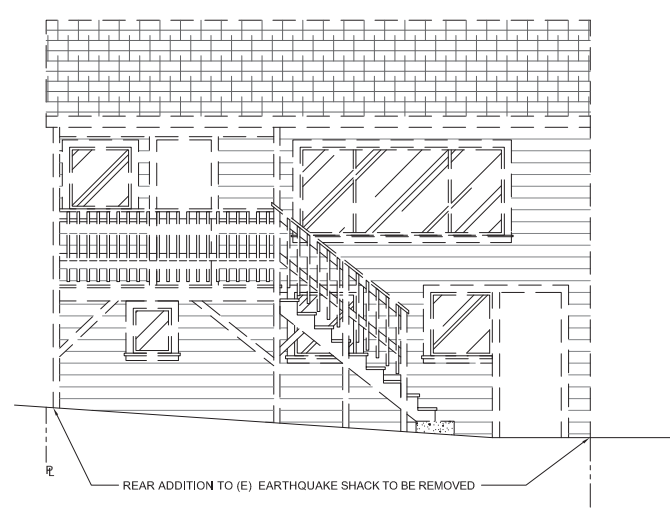
952 Carolina St  
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 Parcel # 4160/009



**A EXISTING EAST ELEVATION - DEMOLITION**  
 SCALE: 1/4" = 1'-0"



**B PROPOSED EAST ELEVATION**  
 SCALE: 1/4" = 1'-0"

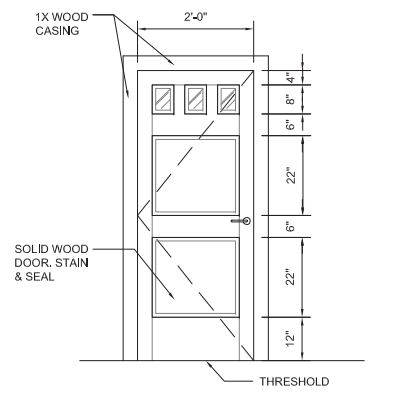


**C EXISTING WEST ELEVATION - DEMOLITION**  
 SCALE: 1/4" = 1'-0"

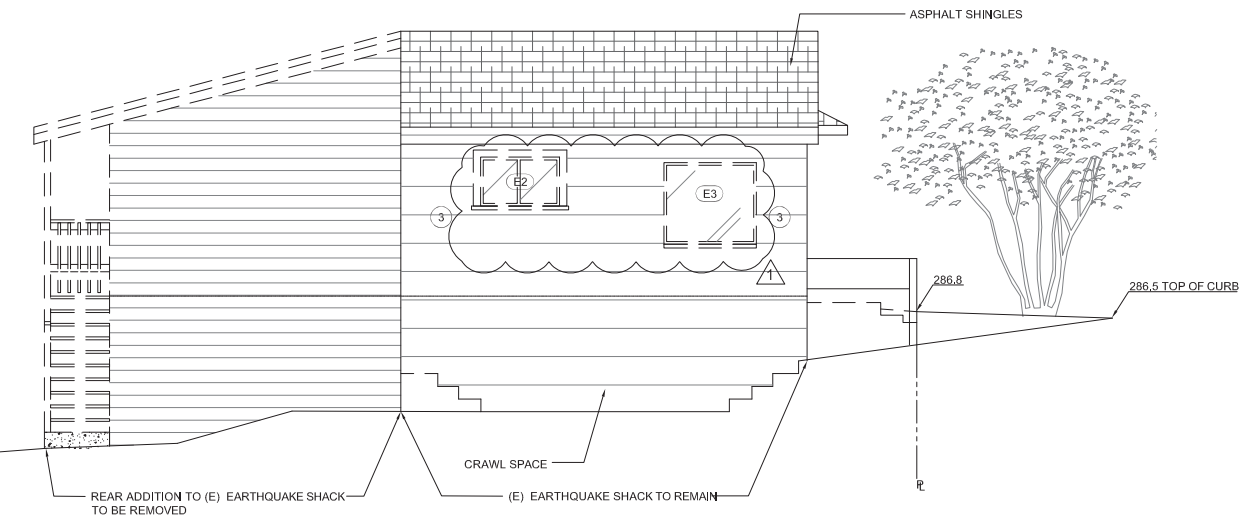
**LEGEND & NOTES**

- 1 WOOD WINDOWS (TYPICAL) BY ANDERSON
- 2 SPECIALTY WOOD DOOR FROM ANTIGUA. SEE INSET @ UPPER LEFT
- 3 REMOVE ASBESTOS SIDING AND SIDING LAYER UNDER TO EXPOSE ORIGINAL VERTICAL (E) WOOD SIDING. PREPARE FOR NEW SIDING
- 4 WOOD WINDOWS (TYPICAL), PAINT
- 5 VERTICAL CEDAR OR REDWOOD SIDING
- 6 HORIZONTAL T&G WOOD SIDING. PAINT
- 7 2x8 FASCIA

ORIGINAL SIDING TO BE REPAIRED & RESTORED TO THE GREATEST EXTENT POSSIBLE. REPLACEMENT SIDING TO BE USED ONLY WHERE ORIGINAL SIDING IS TOO DAMAGED TO BE REPAIRED OR ARE MISSING. NEW SIDING TO MATCH ORIGINAL IN MATERIAL, DIMENSION, PROFILE & FINISH



**F PROPOSED (N) DOOR @ COTTAGE**  
 SCALE: 1/2" = 1'-0"



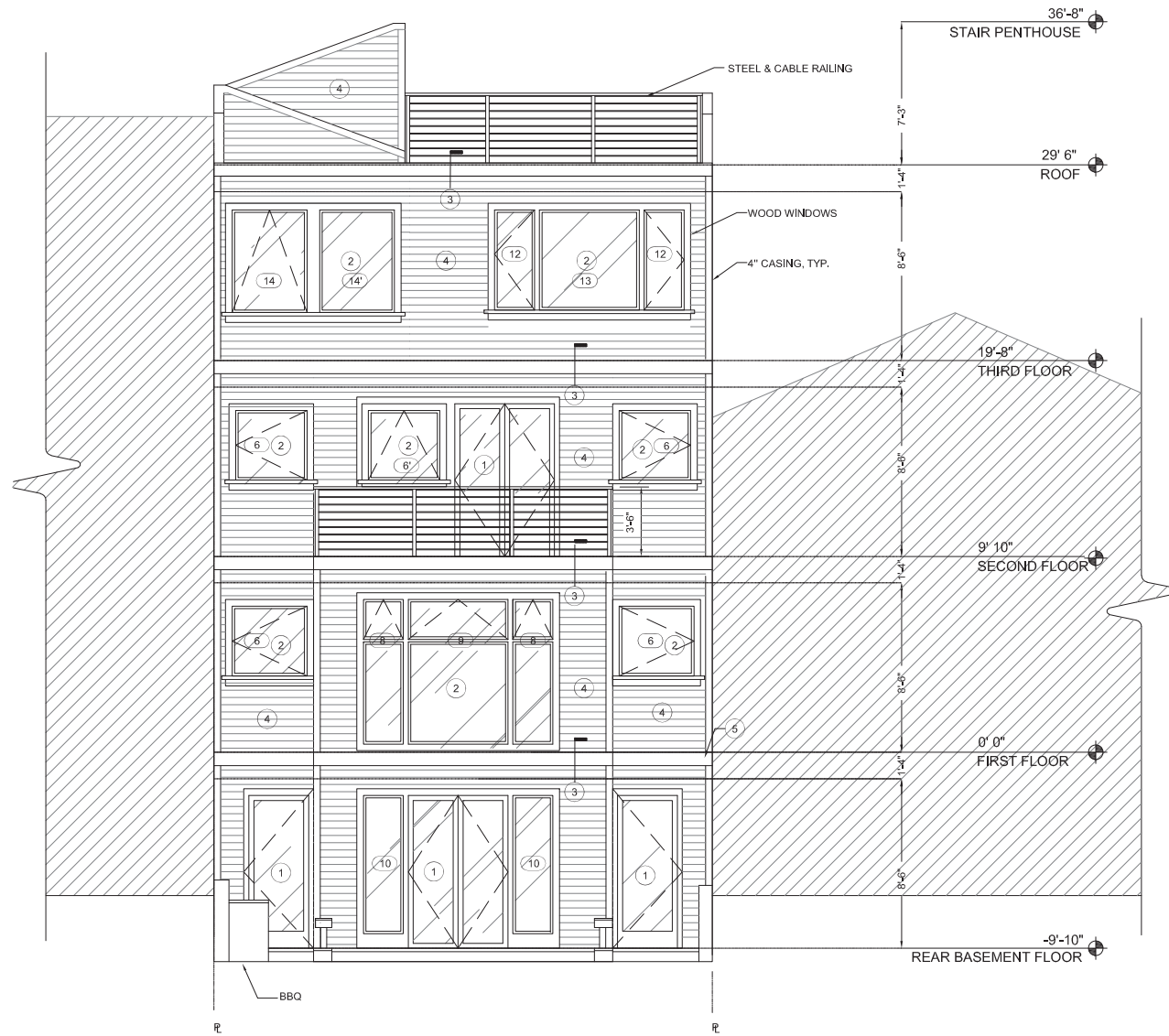
**D EXISTING SOUTH ELEVATION - DEMOLITION**  
 SCALE: 1/4" = 1'-0"

Issue:	Date:
Revisions	04.21.21
Scale:	As shown
Sheet Title:	(E) Elevations & (F) East Elevation

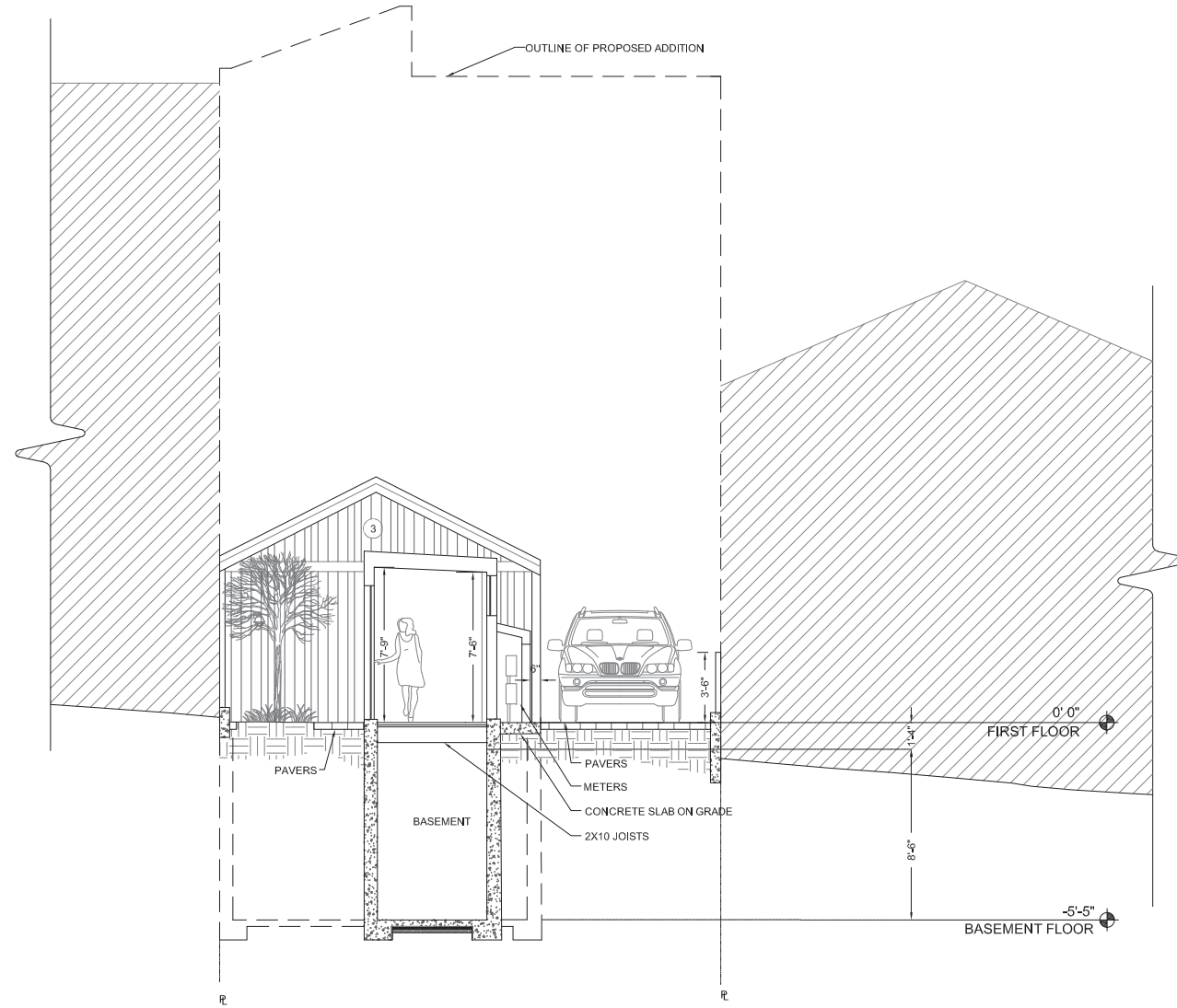


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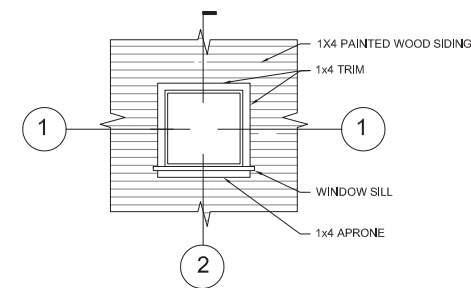
952 Carolina St  
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 Parcel # 4160/009



**A** PROPOSED WEST ELEVATION  
 SCALE: 1/4" = 1'-0"



**C** PROPOSED SECTION @ LOBBY BETWEEN EARTHQUAKE COTTAGE & ADDITION LOOKING EAST  
 SCALE: 1/4" = 1'-0"



**B** TYPICAL WINDOW ELEVATION  
 SCALE: 1/2" = 1'-0"

SHEET NOTES:	
1	WOOD DOORS W/ GLASS INSERT (TYPICAL)
2	ANDERSEN WOOD WINDOWS W/ FIBERGLAS COATING (TYPICAL)
3	VERTICAL CEDAR OR REDWOOD SIDING
4	HORIZONTAL T&G WOOD SIDING, PAINT
5	2x8 FACIA

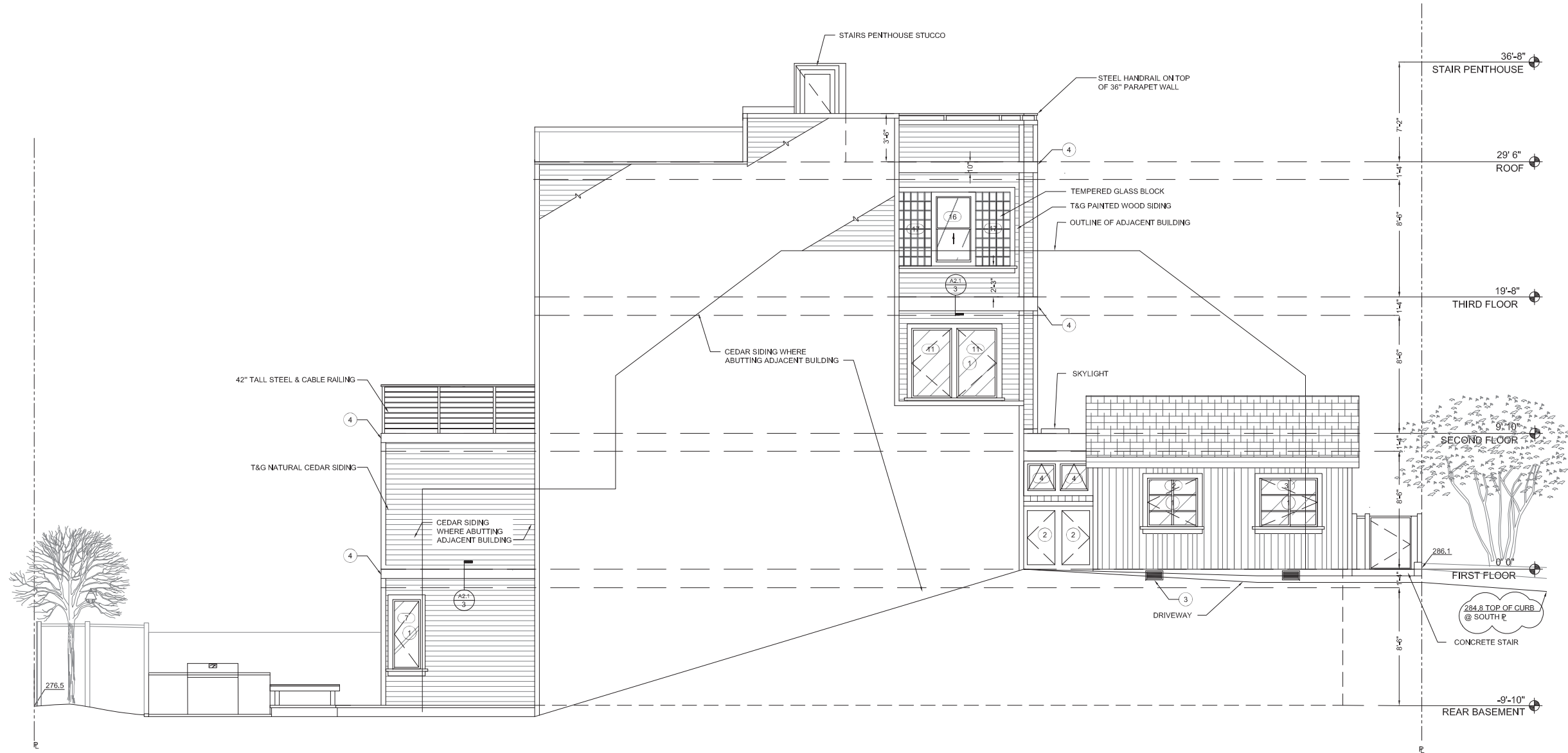
Issue:	Date:
Revisions	04.21.21

Scale: As shown  
 Sheet Title: (P) West Elevation, Window Detail



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**A PROPOSED SOUTH ELEVATION**  
 SCALE: 1/2" = 1'-0"

SHEET NOTES:	
1	WOOD WINDOWS (TYPICAL)
2	20MIN SOLID CORE DOOR/FRAME @ METER ENCLOSURE
3	VENTS PER CODE
4	2x8 FACIA

Issue:	Date:
Revisions	04.21.21

Scale: As shown  
 Sheet Title: (P) South Elevation

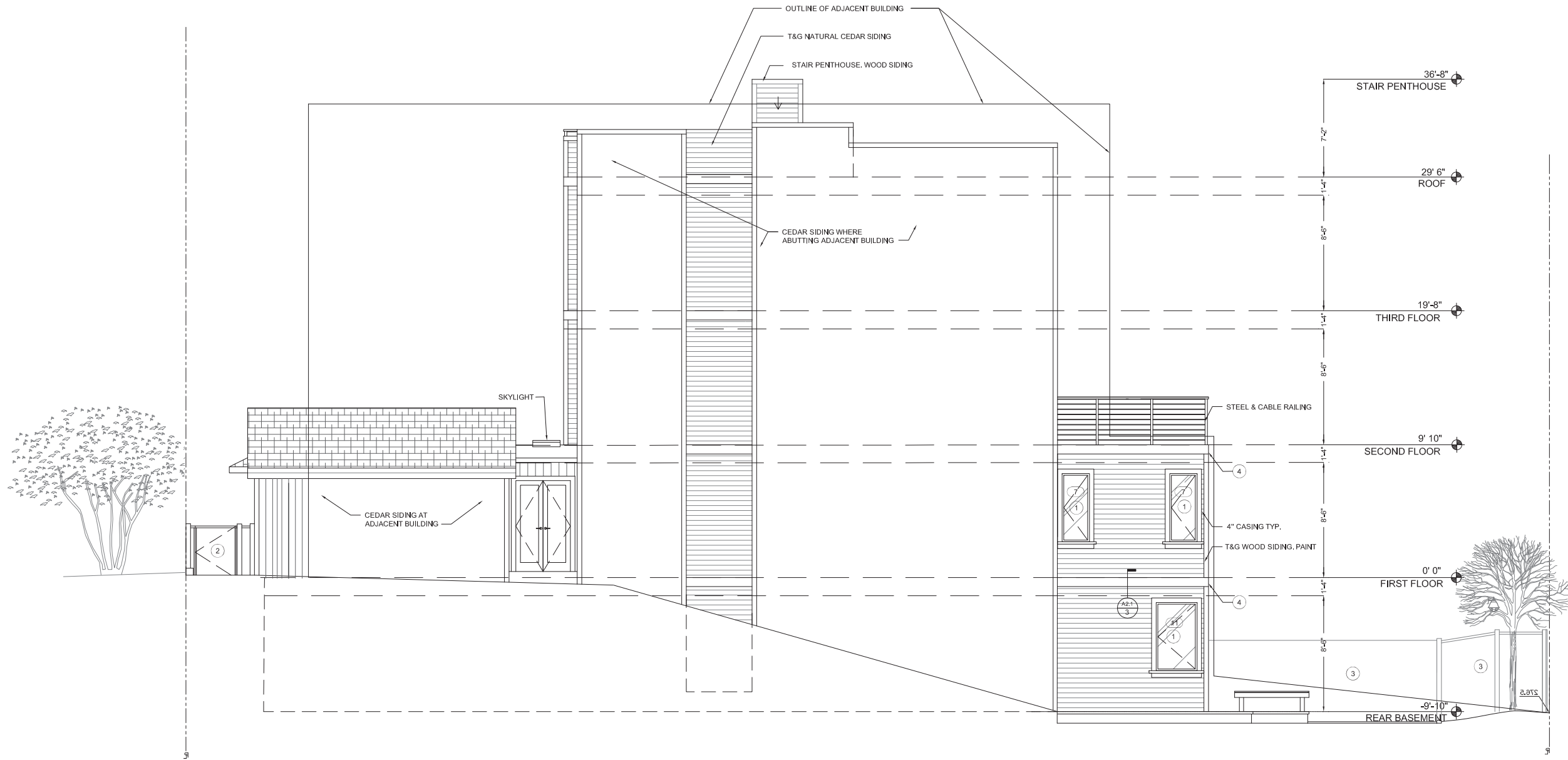
A2.2





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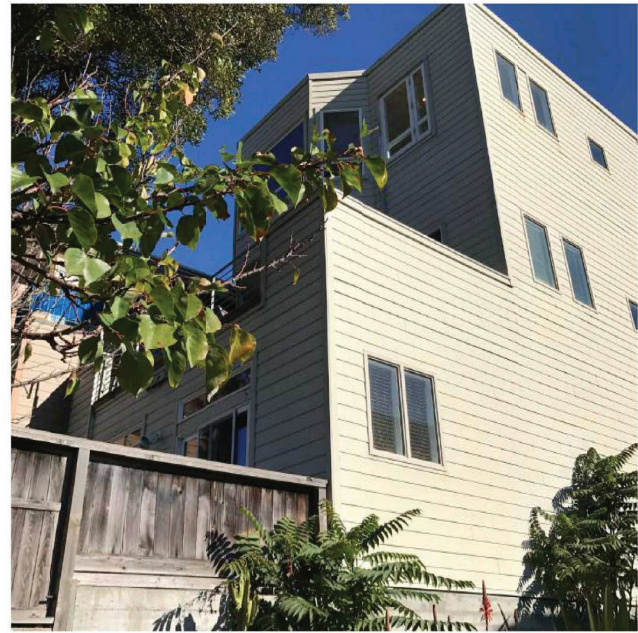
**A** PROPOSED NORTH ELEVATION  
 SCALE: 1/2" = 1'-0"

- SHEET NOTES:**
- 1 ANDERSEN WOOD WINDOWS W/ FIBERGLAS COATING (TYPICAL)
  - 2 DESIGN BUILD FENCE TO BE SIMILAR TO METAL RAILING @ ROOF DECK
  - 3 DESIGN BUILD WOOD FENCE
  - 4 2x8 FACIA

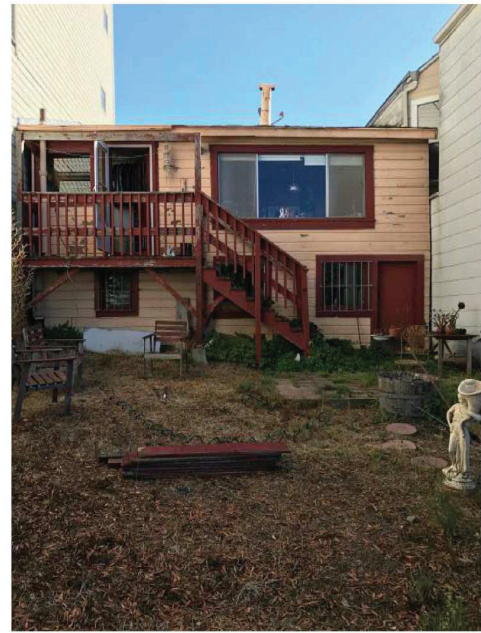
Issue:	Date:
Revisions	04.21.21

Scale: As shown  
 Sheet Title: (P) North Elevation

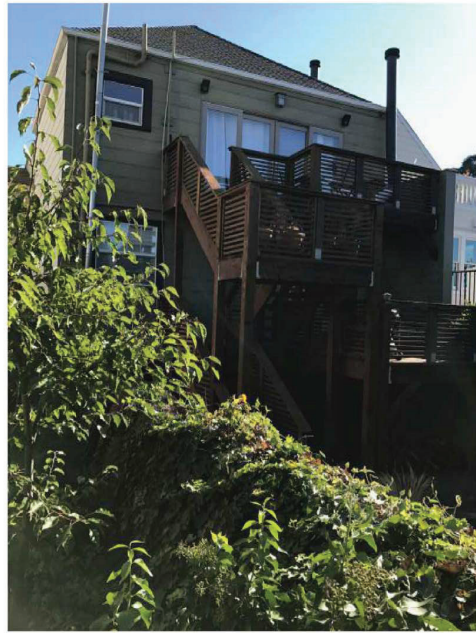
A2.3



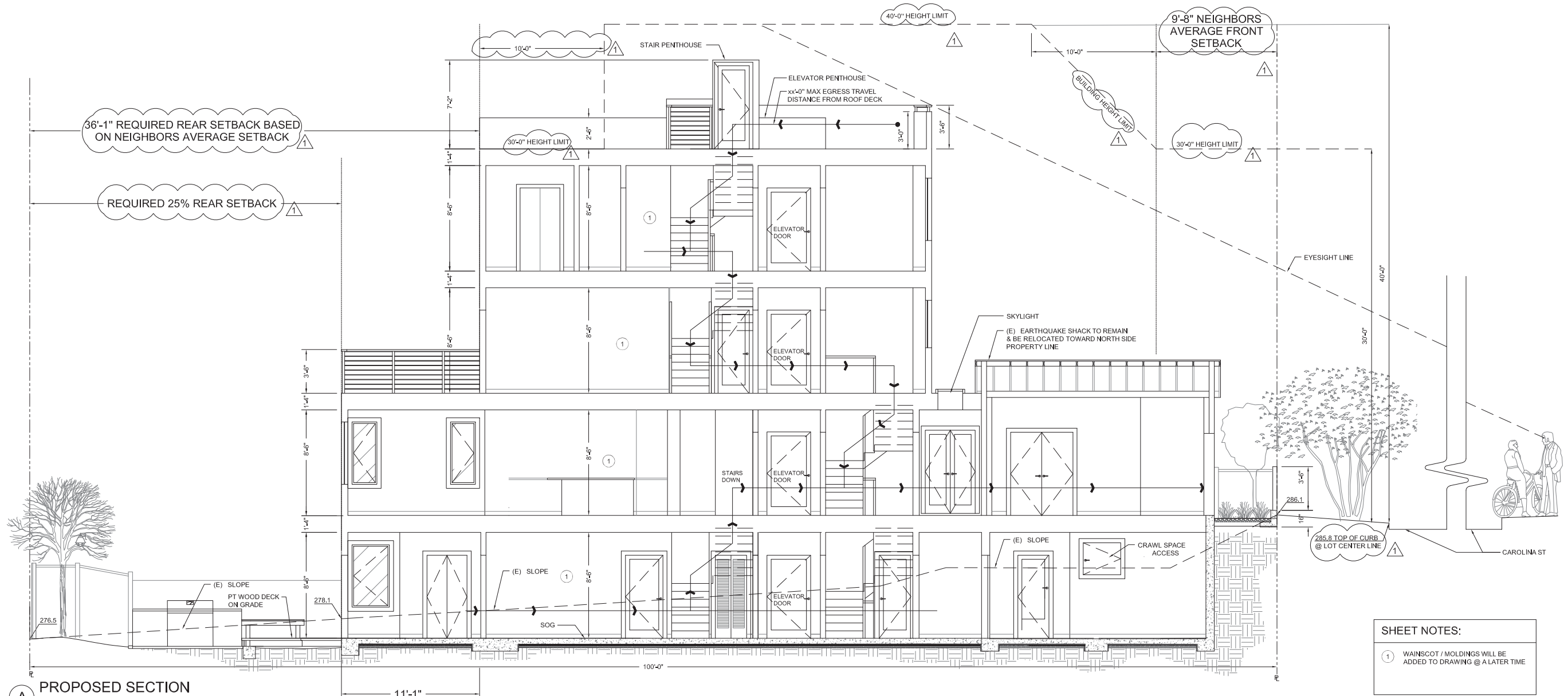
REAR PHOTO  
936 CAROLINA



REAR PHOTO  
952 CAROLINA



REAR PHOTO  
954 CAROLINA



**A** PROPOSED SECTION  
SCALE: 1/8" = 1'-0"

**SHEET NOTES:**  
1 WAINSCOT / MOLDINGS WILL BE ADDED TO DRAWING @ A LATER TIME



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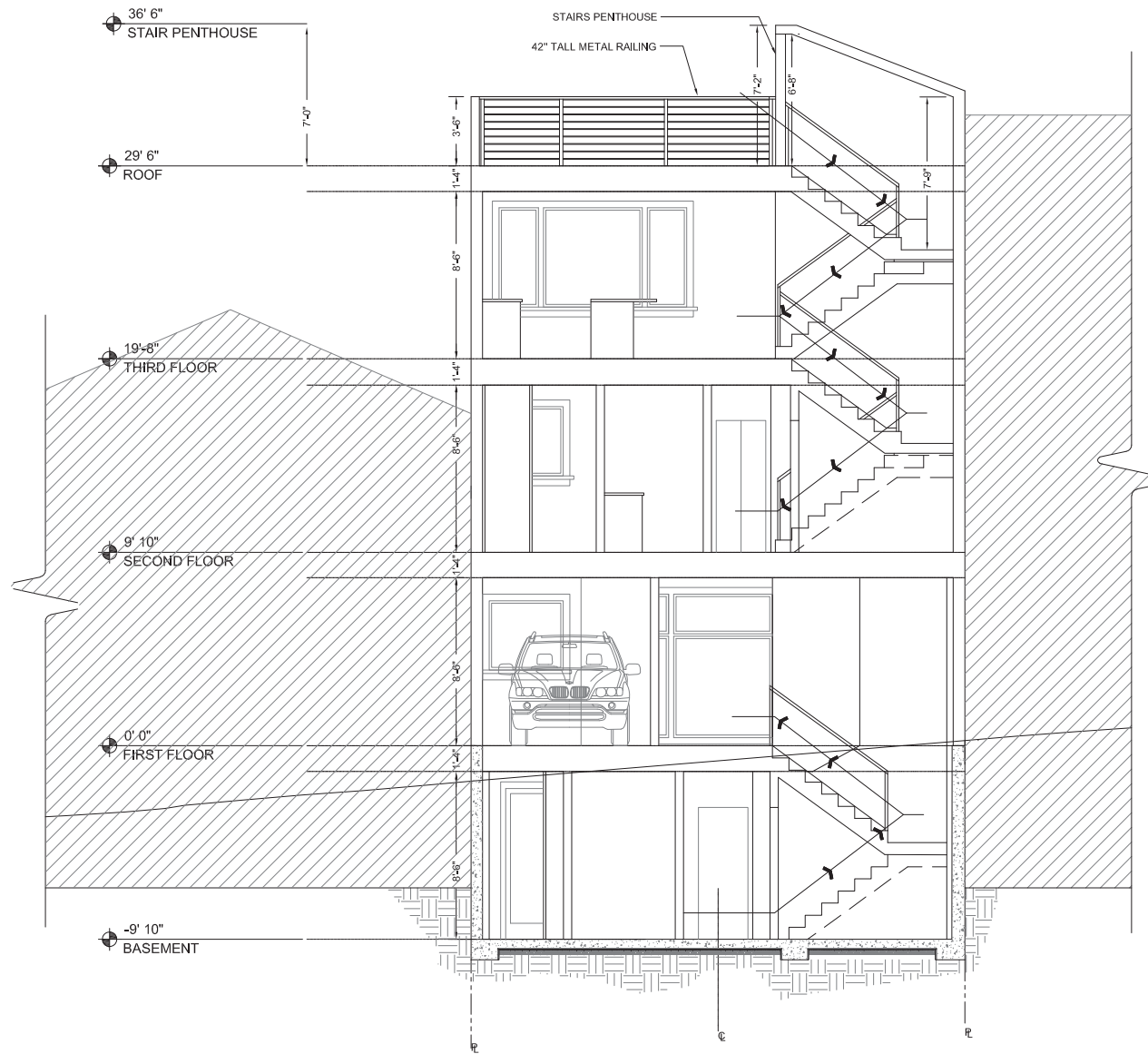
Issue:	Date:
Revisions	04.21.21
Scale:	As shown
Sheet Title:	(P) Section & Photos

A3.0



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**A** PROPOSED SECTION  
SCALE: 1/2" = 1'-0"

Issue:	Date:
Revisions	04.21.21

Scale: As shown  
Sheet Title:  
(P) Section

SUBJECT PROPERTY:  
952 CAROLINA STREET



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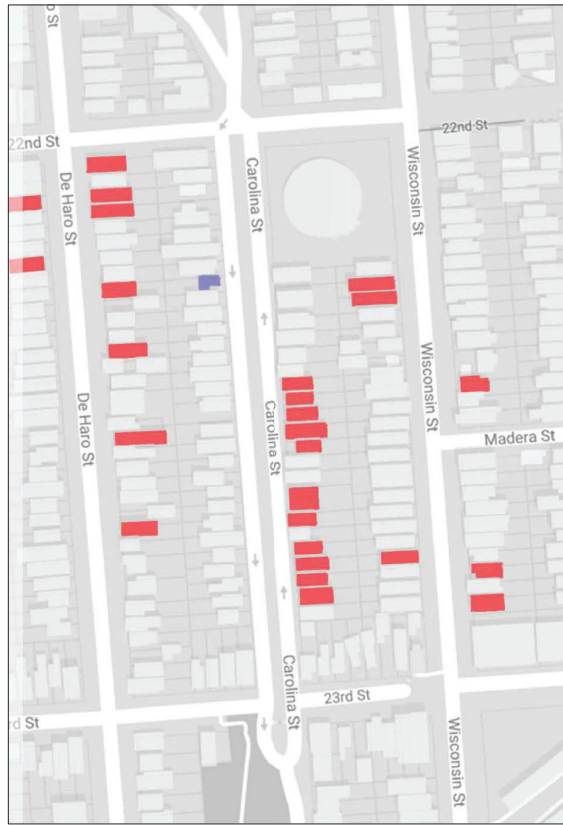
952 Carolina St  
San Francisco, CA 94107  
Parcel # 4160/009



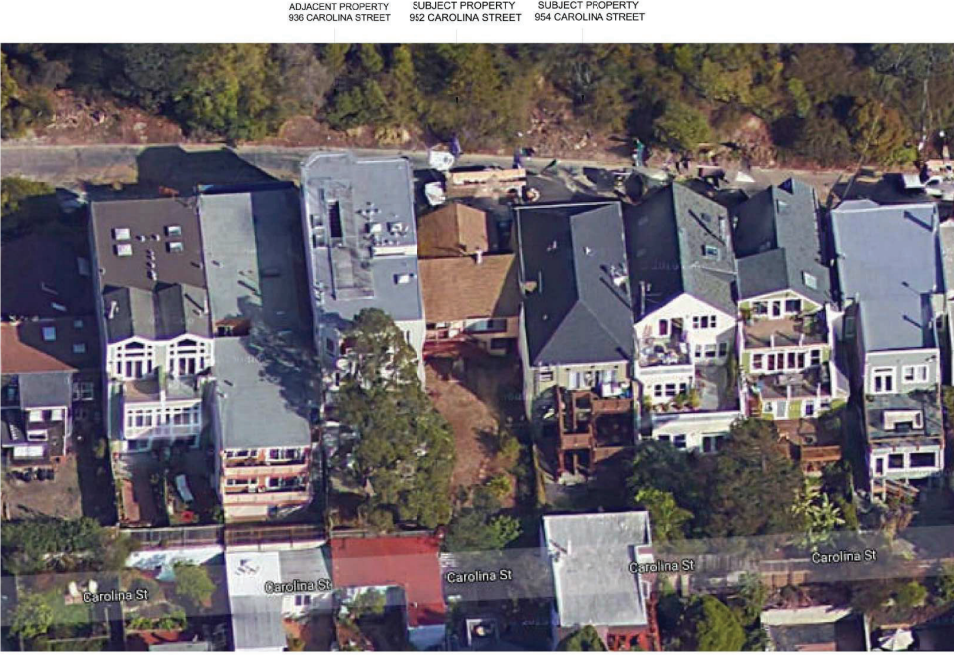
EAST VIEW OF CAROLINA STREET



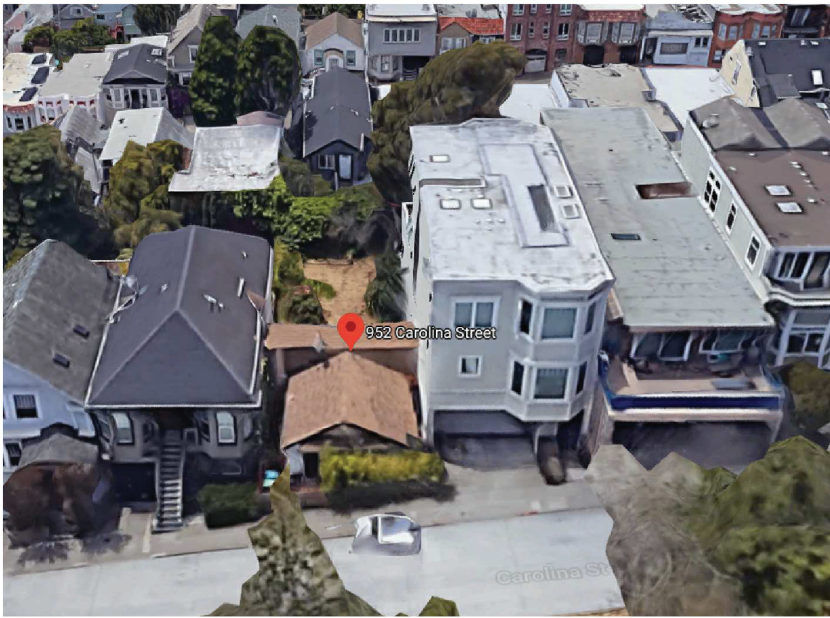
WEST VIEW OF CAROLINA STREET



EXISTING 4 STORY HOUSES DIAGRAM



REAR VIEW



FRONT VIEW

Issue:	Date:
Revisions	04.21.21
Scale:	As shown
Sheet Title:	Neighborhood Diagrams & Photos



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VIEW FROM ACROSS THE STREET

Issue:	Date:
Revisions	04.21.21

Scale: As shown

Sheet Title: Perspective View

A5.0



BIRD'S EYE VIEW



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