



EXECUTIVE SUMMARY

RESOLUTION AFFIRMING ELIGIBILITY FOR INDIVIDUALLY REQUESTED STATE DENSITY BONUS

HEARING DATE: FEBRUARY 18, 2021

Record No.: 2017-013728CRV
Project Address: 1021 Valencia Street
Zoning: Valencia Street NCT [Neighborhood Commercial Transit]
55-X Height and Bulk District
Block/Lot: 3616 / 024
Project Sponsor: Ken Elkington
1641 Camino Verdera
Lincoln, CA 95648
Staff Contact: Michael Christensen – (628) 652-7567
michael.christensen@sfgov.org

Recommendation: Approval with Conditions

Project Description

The proposed project would demolish an existing one-story 20' tall automotive repair building and construct of new 6-story 65' tall mixed use building with 2,393 sq. ft. of retail sales and service area at the basement and ground level and 24 dwelling units including 12 one bedroom and 12 two-bedroom units on levels 1 through 6.

The Project is utilizing the California State Density Bonus law and requests Incentives / Concessions for exterior materials and waivers for rear yard, height limit, usable open space, and dwelling unit exposure.

Required Commission Action

For the Project to proceed, the Commission must adopt a Resolution finding the Project to be eligible for the Individually Requested State Density Bonus program, pursuant to Planning Code Section 206.6.

Issues and Considerations

- **Public Comment & Outreach.**

- **Discretionary Review:** Two requests for Discretionary Review were received, which are scheduled for review on February 18, 2021.
- **Neighborhood Groups:** As part of a private agreement regarding the use of the ground floor commercial space, changes to the material design of the building, and the provision of one additional Below Market Rate (BMR) unit on a voluntary basis, the group United to Save the Mission has indicated no opposition to the proposed project.
- **Support / Opposition:** In addition to the two requests for Discretionary Review, the Department has received a letter of support for the Project from the SF Housing Action Coalition as well as thirty-six form letters of support for the Project from the public indicating support for the provision of housing in a transit rich neighborhood.

- **Design Review Comments:** Over the course of review, the proposed Project has been modified in the following ways:

- Material palette has been altered to soften the appearance of the ground floor
- Awnings were added at the request of neighborhood groups
- Window materials were changed from 'Vinyl' to a powder coated vinyl that is paintable. The Department has requested that a higher quality window be used, such as aluminum-clad wood; the Project Sponsor has not agreed to this request and has requested a Concession from this requirement. The requirement is not an objective standard; as such there is no code requirement to base the Concession.

Environmental Review

Pursuant to the Guidelines of the State Secretary of Resources for the implementation of the California Environmental Quality Act (CEQA), on October 6, 2020, the Planning Department of the City and County of San Francisco determined that the proposed application was exempt from further environmental review under Section 15183 of the CEQA Guidelines and California Public Resources Code Section 21083.3. The Project is consistent with the adopted zoning controls in the Eastern Neighborhoods Area Plan and was encompassed within the analysis contained in the Eastern Neighborhoods Area Plan Final EIR. Since the Final EIR was finalized, there have been no substantial changes to the Eastern Neighborhoods Area Plan and no substantial changes in circumstances that would require major revisions to the Final EIR due to the involvement of new significant environmental effects or an increase in the severity of previously identified significant impacts, and there is no new information of substantial importance that would change the conclusions set forth in the Final EIR.

Basis for Recommendation

The Department finds that the Project is, on balance, consistent with the Mission Area Plan and the Objectives and Policies of the General Plan. Although the Project results in a loss of PDR space, the Project provides a substantial

amount of new housing. The Department finds the Project compliant with the eligibility requirements of the Individually Requested State Density Bonus Program.

Attachments:

Draft Resolution – Individually Requested State Density Bonus
Exhibit A – Environmental Determination
Exhibit B – Project Sponsor Brief
Exhibit C – Plans and Renderings



PLANNING COMMISSION DRAFT RESOLUTION

HEARING DATE: FEBRUARY 18, 2021

Record No.: 2017-013728CRV
Project Address: 1021 VALENCIA STREET
Zoning: Valencia Street NCT (Neighborhood Commercial - Transit) Zoning District
55-X Height and Bulk District
Mission Alcoholic Beverage Special Use District
Block/Lot: 3616/024
Project Sponsor: Ken Elkington
CDE Aptos, LLC
1641 Camino Verdera
Lincoln, CA 95648
Property Owner: Same as Project Sponsor
Staff Contact: Michael Christensen – (628) 652-7567
Michael.Christensen@sfgov.org

RESOLUTION ADOPTING FINDINGS RELATED TO THE REQUESTED CONCESSION/INCENTIVE AND WAIVERS FROM DEVELOPMENT STANDARDS PURSUANT TO STATE DENSITY BONUS LAW (CA GOVT. CODE SECTION 65915) AND PLANNING CODE SECTION 206.6; AFFIRMING AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT, AND FINDINGS OF CONSISTENCY WITH THE GENERAL PLAN AND PLANNING CODE SECTION 101.1.

PREAMBLE

WHEREAS, on November 9, 2017, James Curley (hereafter “Project Sponsor”) submitted, among other materials, a project application (“PRJ”) for the proposed project and an application for approval under the Individually Requested State Density Bonus Program.

WHEREAS, the Department has concluded that the proposed project presented in the plan set attached hereto as Exhibit A conforms with applicable Planning Code provisions, applicable design guidelines and the Individually Requested State Density Bonus Program.

WHEREAS, the Planning Commission (hereinafter “Commission”) conducted a duly noticed public hearing at a regularly scheduled meeting to consider the proposed project on February 18, 2021 and make findings required by the Individually Requested State Density Bonus Program; and,

WHEREAS, on October 6, 2020, the Department determined that the proposed application did not require further environmental review under Section 15183 of the CEQA Guidelines and Public Resources Code Section 21083.3. The Project is consistent with the adopted zoning controls in the Eastern Neighborhoods Area Plan and was encompassed within the analysis contained in the Eastern Neighborhoods Final EIR. Since the Eastern Neighborhoods Final EIR was finalized, there have been no substantial changes to the Eastern Neighborhoods Area Plan and no substantial changes in circumstances that would require major revisions to the Final EIR due to the involvement of new significant environmental effects or an increase in the severity of previously identified significant impacts, and there is no new information of substantial importance that would change the conclusions set forth in the Final EIR. The file for this project, including the Eastern Neighborhoods Final EIR and the Community Plan Exemption certificate, is available for review at the San Francisco Planning Department, 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

WHEREAS, Planning Department staff prepared a Mitigation Monitoring and Reporting Program (MMRP) setting forth mitigation measures that were identified in the Eastern Neighborhoods Plan EIR that are applicable to the project. These mitigation measures are set forth in their entirety in the MMRP attached to the draft Resolution.

WHEREAS, the Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of Department staff and other interested parties; and

WHEREAS, all pertinent documents may be found in the files of the Department, as the custodian of records, at 49 South Van Ness Avenue, Suite 1400, San Francisco; and

MOVED, That the Planning Commission adopts the Mitigation and Monitoring Program (MMRP) attached to this Resolution; and

MOVED, that the Commission hereby finds that the requested Waivers, Incentives, and Concessions are necessary for the Project, and makes the following findings.

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

- 1. The above recitals are accurate and constitute findings of this Commission.**
- 2. Project Description.** The Project includes demolition of the existing two-story, 6,125 square foot industrial building last used as an automotive repair facility and construction of a new, 65' tall (75' to penthouse) mixed-use building containing 24-dwelling units (12 one-bedroom units and 12 two-bedroom units) and 24,789 square feet of Residential use and 2,393 square feet of Retail use at the ground and basement levels.
- 3. Site Description and Present Use.** The Project is located on at 122.5-foot-deep by 50-foot-wide rectangular parcel on the east side of Valencia Street between 21st and 22nd Streets, 90-feet south of 21st Street. The site is currently developed with a two-story Industrial building last used as an automotive repair facility.
- 4. Surrounding Properties and Neighborhood.** The Project Site is located within the Valencia Street NCT Zoning District in the Mission Area Plan. The immediate context consists of two-to four-story mixed-use buildings generally containing Retail Sales and Service uses at ground floors and Residential uses above. To the east of the property is the Mission-Bartlett public parking garage, which is developed with residential units on upper floors. Other zoning districts in the vicinity of the project site include the Mission Street NCT, RH-3 (Residential-House, Three-Family), and RTO-M (Residential Transit Oriented – Mission) Zoning Districts.
- 5. Public Outreach and Comments.** The Department received two requests for Discretionary Review of the requested permit, which are scheduled for review by the Planning Commission on February 18, 2021.
- 6. Planning Code Section 206.6 Findings.** Pursuant to Planning Code Section 206.6(e), the Planning Commission shall make the following findings as applicable for any application for a Density Bonus, Incentive, Concession or Waiver for any Individually Requested Density Bonus Project:

- A. The Housing Project is eligible for the Individually Requested Density Bonus Program pursuant to Planning Code Section 206.6(b).

The Project provides at least 10% of the proposed rental dwelling units as affordable to lower income households, defined as those earning 80% of area median income, and is therefore entitled to a 20% density bonus under California Government Code Sections 65915-95918.

- B. The Housing Project has demonstrated that any Concessions or Incentives reduce actual housing costs, as defined in Section 50052.5 of the California Health and Safety Code, or for rents for the targeted units, based upon the financial analysis and documentation provided.

The Project is requesting a concession from the Urban Design Guidelines requirements for building materials. Generally, the Department requests projects to use wood or aluminum-clad

wood windows for any street-visible facades. For this Project, the Project Sponsor requests to utilize a coated vinyl window material which is paintable, thus having some of the qualities of wood or aluminum clad wood at a lower price. However, since this requirement is not defined in the Urban Design Guidelines and is a subjective design review request, utilizing a vinyl window material does not constitute a Concession under the requested State Density Bonus.

- C. If a waiver or modification is requested, a finding that the Development Standards for which the waiver is requested would have the effect of physically precluding the construction of the Housing Project with the Density Bonus or Concessions and Incentives permitted.

The Project requests the following waivers of Planning Code Development Standards: 1) Rear Yard (Planning Code Section 134); 2) Usable Open Space (Planning Code Section 135); 3) Dwelling Unit Exposure (Planning Code Section 140); 4) Height (Planning Code Sections 250 and 252);

The Project provides a total residential floor area equal to the square footage afforded to a base project (one which complies with all development standards), plus the 20% floor area bonus afforded under the Individually State Density Bonus. The additional floor area is obtained by increasing the total height of the building and expanding the building horizontally into the required rear yard at the ground floor level. Additionally, the expansion of the ground floor into the Rear Yard renders dwelling units which face onto the Rear Yard non-compliant with the Dwelling Unit Exposure requirement of Planning Code Section 140. Further, the Project is deficient in Usable Open Space, as defined by Planning Code Section 135. Rendering the proposed building compliant with Dwelling Unit Exposure and/or Usable Open Space would require reduction of building volume and/or reduction in the number of dwelling units proposed; thus, these requirements are eligible for Waiver under the density bonus request.

The 'Base' project provides 20,682 square feet of Residential gross floor area. When a 20% floor area bonus is applied, a maximum development potential of 24,818 square feet of Residential gross floor area is permitted, and 24,789 square feet is proposed. The bonus project results in a total of 24 dwelling units. As 83% of the proposed residential gross square footage is attributable to the base project, 20 dwelling units are attributable to the base project, and the remaining dwelling units (4) and residential square footage is attributable to the density bonus.

- D. If the Density Bonus is based all or in part on donation of land, a finding that all the requirements included in Government Code Section 65915(g) have been met.

The Density Bonus for the Project is not based on any donation of land; and is therefore not applicable.

- E. If the Density Bonus, Concession or Incentive is based all or in part on the inclusion of a Child Care Facility, a finding that all the requirements included in Government Code Section 65915(h) have been met.

The requested Density Bonus for the Project is not based on the inclusion of a Child Care Facility; and is therefore not applicable.

- F. If the Concession or Incentive includes mixed-use development, a finding that all the requirements included in Government Code Section 65915(k)(2) have been met.

The proposed ground floor commercial space is code-compliant, and thus, this does not constitute a Concession or Incentive under Government Code Section 65915.

- 7. General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 1

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.1

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

Policy 1.2

Focus housing growth and infrastructure necessary to support growth according to community plans. Complete planning underway in key opportunity areas such as Treasure Island, Candlestick Park and Hunter's Point Shipyard.

Policy 1.10

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

OBJECTIVE 4

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.1

Develop new housing, and encourage the remodeling of existing housing, for families with children.

Policy 4.4

Encourage sufficient and suitable rental housing opportunities, emphasizing permanently affordable rental units wherever possible.

Policy 4.5

Ensure that new permanently affordable housing is located in all of the City's neighborhoods, and encourage integrated neighborhoods, with a diversity of unit types provided at a range of income levels.

OBJECTIVE 11

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.2

Ensure implementation of accepted design standards in project approvals.

Policy 11.3

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

Policy 11.4

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan.

Policy 11.6

Foster a sense of community through architectural design, using features that promote community interaction.

Policy 11.8

Consider a neighborhood's character when integrating new uses, and minimize disruption caused by expansion of institutions into residential areas.

OBJECTIVE 12

BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION.

Policy 12.2

Consider the proximity of quality of life elements such as open space, child care, and neighborhood services, when developing new housing units.

URBAN DESIGN ELEMENT

Objectives and Policies

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

Policy 1.7

Recognize the natural boundaries of districts, and promote connections between districts.

MISSION AREA PLAN

Land Use

Objectives and Policies

OBJECTIVE 1.2

IN AREAS OF THE MISSION WHERE HOUSING AND MIXED-USE IS ENCOURAGED, MAXIMIZE DEVELOPMENT POTENTIAL IN KEEPING WITH NEIGHBORHOOD CHARACTER.

Policy 1.2.1

Ensure that in-fill housing development is compatible with its surroundings.

Policy 1.2.3

In general, where residential development is permitted, control residential density through building height and bulk guidelines and bedroom mix requirements.

Policy 1.2.4

Identify portions of the Mission where it would be appropriate to increase maximum heights for residential development.

The Project is consistent with the Mission Area Plan and the Objectives and Policies of the General Plan, in that the project would provide 24 housing units helping alleviate San Francisco's severe housing crisis. Additionally, 12% of the proposed total housing units (or 2 dwelling units) will be below market rate units. The Project Sponsor has also elected to voluntarily provide one additional below market rate dwelling unit. The massing of the proposed building's primary front facade has been designed to be compatible with the prevailing street wall pattern, and the Project provides a modern architectural design that is compatible with the mixed-use nature of the Mission neighborhood. The Project adds a significant amount of housing to a transit rich neighborhood, supporting the City's Transit First Policy and housing goals. In addition, 50% of the proposed dwelling units contain two or more bedrooms, supporting an array of housing needs. Overall, the Project and its design provides new housing opportunities within a building that is unique in its form and materials.

- 8. Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The project site does not possess any neighborhood-serving retail uses. The Project provides 24 new dwelling units, which will enhance the nearby retail uses by providing new residents, who may patron and/or own these businesses.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The project site does possess any existing housing. The Project would provide 24 new dwelling units, thus resulting in an overall increase in the neighborhood housing stock. The Project is expressive in design and relates well to the scale and form of the surrounding neighborhood. For these reasons, the Project would protect and preserve the cultural and economic diversity of the neighborhood.

- C. That the City's supply of affordable housing be preserved and enhanced,

The Project does not currently possess any existing affordable housing. The Project will comply with the City's Inclusionary Housing Program by providing 2 below-market rate dwelling units. Therefore, the Project will increase the stock of affordable housing units in the City.

- D. That commuter traffic does not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project Site is well served by transit service, including MUNI lines 14, 14R, 48, and 49 and all BART destinations at the 24th Street – Mission BART Station. As such, it will not impede transit service or overburden streets or neighborhood parking.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project does not include commercial office development. Although the Project would remove a PDR use, the Project does provide new housing, which is a top priority for the City.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will be designed and will be constructed to conform to the structural and seismic safety requirements of the Building Code. This proposal will not impact the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

Currently, the Project Site does not contain any City Landmarks or historic buildings. The existing structure was evaluated as part of the Project and was found to not be a historic resource.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project does not cast shadow on any parks or open space areas.

DECISION

NOW THEREFORE BE IT RESOLVED that the Commission hereby ADOPTS the findings for the requested incentives, concessions, and waivers as described in this Resolution, and makes a condition of the Project the mitigation measures identified in the MMRP attached hereto at Exhibit B.

I hereby certify that the foregoing Resolution was adopted by the Commission at its meeting on February 18, 2021.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

RECUSE:

ADOPTED: February 18, 2021



CERTIFICATE OF DETERMINATION COMMUNITY PLAN EVALUATION

Record No.: 2017-013728ENV
Project Address: **1021 Valencia Street**
Zoning: Valencia Street Neighborhood Commercial Transit (NCT) District
Mission Alcoholic Beverage Special Use Subdistrict
Fringe Financial Service Restricted Use District
55-X Height and Bulk District
Planning Area: Mission (Eastern Neighborhoods)
Block/Lot: 3616/024
Lot Size: 6,125 square feet
Project Sponsor: CDE Aptos, LLC at (916) 216-4591
Attn: Ken.Elkington@qtsdatacenters.com
Staff Contact: Joy Navarrete (628) 652-7561 or joy.navarrete@sfgov.org

Project Description

The project site is located on the east side of Valencia Street, on the block bounded by 21st Street to the north, 22nd Street to the south, Bartlett Street to the east, and Valencia Street to the west, in San Francisco's Mission Neighborhood. The site is currently occupied with an approximately 20-foot-tall, two-story-over-basement, 13,500-square-foot commercial auto repair and maintenance building (doing business as SF Auto Works), constructed in 1922. The 1021A Valencia Street office use encompasses the mezzanine level, doing business as Equip Foods, an organic supplement supplier. The project, that may utilize the Individually Requested State Density Bonus Program with its maximum envelope, would demolish the structure that occupies the entire lot, and construct a new six-story-over-basement building up to approximately 75-feet-tall in height (including rooftop appurtenances such as a mechanical penthouse and roof trellis) and would include 24 residential units (including 12 one-bedroom and 12 two-bedroom units, two of which would be below-market-rate, unless a 20-percent inclusionary in-lieu fee is preferred instead of adding below-market-rate unit(s) on-site), and approximately 2,983 square feet of commercial use (retail potentially doing business as a restaurant). The project would include approximately 760 square feet of usable open space, retain an existing street tree along the Valencia Street frontage, and add two street trees, for a new total of three street trees. The project would remove a 16.5-foot-wide curb cut and a 13.5-foot-wide curb cut along Valencia Street. The project would add approximately 26 Class-1 and six Class-2 bicycle parking spaces. Approximately 619 cubic yards of soil would be excavated to a maximum depth of approximately 14 feet below grade, in an approximately 5,567 square-foot area, for a new concrete mat slab foundation and new basement, which would be approximately 4 feet deeper than the existing basement.

Approval Action: The adoption of findings under the State Density Bonus program by the planning commission is the approval action. The approval action date establishes the start of the 30-day appeal period for this CEQA determination pursuant to section 31.04(h) of the San Francisco Administrative Code.

Community Plan Evaluation Overview

California Environmental Quality Act (CEQA) section 21083.3 and CEQA Guidelines section 15183 provide that projects that are consistent with the development density established by existing zoning, community plan or general plan policies for which an environmental impact report (EIR) was certified, shall not be subject to additional environmental review except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the project or its site. Section 15183 specifies that examination of environmental effects shall be limited to those effects that: a) are peculiar to the project or parcel on which the project would be located; b) were not analyzed as significant effects in a prior EIR on the zoning action, general plan or community plan with which the project is consistent; c) are potentially significant off-site and cumulative impacts that were not discussed in the underlying EIR; or d) are previously identified in the EIR, but which, as a result of substantial new information that was not known at the time that the EIR was certified, are determined to have a more severe adverse impact than that discussed in the underlying EIR. Section 15183(c) specifies that if an impact is not peculiar to the parcel or to the proposed project, then an EIR need not be prepared for the project solely on the basis of that impact.

This determination evaluates the potential project-specific environmental effects of the 1021 Valencia St project described above and incorporates by reference information contained in the programmatic EIR for the Eastern Neighborhoods Rezoning and Area Plans (PEIR)¹. Project-specific studies were prepared for the proposed project to determine if the project would result in any significant environmental impacts that were not identified in the Eastern Neighborhoods PEIR.

Findings

As summarized in the initial study – community plan evaluation prepared for the proposed project (Attachment A)²:

1. The proposed project is consistent with the development density established for the project site in the Eastern Neighborhoods Rezoning and Area Plans³;
2. The proposed project would not result in effects on the environment that are peculiar to the project or the project site that were not identified as significant effects in the Eastern Neighborhoods PEIR;
3. The proposed project would not result in potentially significant off-site or cumulative impacts that were not identified in the Eastern Neighborhoods PEIR;

¹ Planning Department Record No. 2004.0160E and State Clearinghouse No. 2005032048. Available at: https://sfplanning.org/environmental-review-documents?field_environmental_review_catag_target_id=214&items_per_page=10. Accessed August 16, 2019.

² The initial study – community plan evaluation is available for review at the San Francisco Property Information Map, which can be accessed at <https://sfplanninggis.org/PIM/>. The file can be viewed by clicking on the Planning Applications link, clicking the “More Details” link under the project’s environmental record number 2017-013728ENV and then clicking on the “Related Documents” link.

³ Consistency Determinations: Citywide Planning Division, October 5, 2018;

Current Planning Division, August 28, 2018.

4. The proposed project would not result in significant effects, which, as a result of substantial new information that was not known at the time the Eastern Neighborhoods PEIR was certified, would be more severe than were already analyzed and disclosed in the PEIR; and
5. The project sponsor will undertake feasible mitigation measures specified in the Eastern Neighborhoods PEIR to mitigate project-related significant impacts.

Mitigation measures are included in this project and the project sponsor has agreed to implement these measures. See the attached Mitigation Monitoring and Reporting Program (MMRP) (Attachment B) for the full text of required mitigation measures.

CEQA Determination

The project is eligible for streamlined environmental review per section 15183 of the CEQA Guidelines and California Public Resources Code section 21083.3.

Determination

I do hereby certify that the above determination has been made pursuant to State and local requirements.



Lisa Gibson
Environmental Review Officer

October 6, 2020

Date

Attachments

- A. Initial Study – Community Plan Evaluation
- B. Mitigation Monitoring and Reporting Program

CC: Ken Elkington, Project Sponsor;
Supervisor Hillary Ronen, District 9;
Michael Christensen, Current Planning Division.



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January 11, 2021

Joel Koppel, President
San Francisco Planning Commission
49 South Van Ness Ave., Suite 1400
San Francisco, CA 94103

Re: *New 24-Unit Building for 1021 Valencia Street*
Our File No.: 10074-00

Dear President Koppel and Commissioners:

I am writing on behalf of CDE Aptos II, LLC which owns 1021 Valencia Street. CDE Aptos II, LLC is owned by three family members, all of whom are at least 85 years of age. All three are native San Franciscans whose roots in San Francisco go back more than 100 years. The building at 1021 Valencia Street, an existing auto repair facility with separate office space on the second floor, has been in their family for more than 60 years.

The Project is entirely Code-compliant with no variances requested. Please see attached **Exhibit A** showing the proposed design. The Project must come to you for approval because it is a State Density Bonus Project, and your Commission is required to adopt Findings as to whether the Project complies with the State Density Bonus Law. It also comes before you because, more recently, two adjacent landlords have requested Discretionary Review.

The two existing non-residential tenants in my client's building have written in support of the Project, and their letters are included as part of **Exhibit B**. Since the building does not have any residential units, no residential tenants are being displaced.

We are pleased that after many discussions with United to Save the Mission, that group (and through it, its affiliates) have agreed not to oppose the Project.

Section I will describe the Project and discuss its benefits. Section II will deal with the claims of the Discretionary Review applicants. Section III will deal with a proposed major change to the building envelope discussed with DR Requestor.

Section I. Features of the Project.

- Project requires no Conditional Use Permit as it is Principally Permitted.
- Mayor's Executive Directive Housing Project adding 24 residential units to San Francisco's housing supply during a housing crisis.
- Exceeds the 40% requirement of two-bedroom residential units.
- Proposes no commercial office development.
- Adds housing without vehicle parking.
- Adds housing on a major public transit corridor, and on a street (Valencia Street) where the City has spent millions of dollars on infrastructure and streetscape improvements to encourage dense housing and retail uses.
- Creates a rear yard open space that does not exist today.
- Adds retail space where none exists today.
- Eliminates two (2) existing curb cuts which will support the SFMTA's Valencia Bikeway Improvements project and the Vision Zero SF program, which will help to make this stretch of Valencia Street more pedestrian- and bicycle-friendly.
- Proposes 32 bicycle parking spaces and no vehicle parking spaces.
- BART is only three blocks away.
- Completed environmental review including Phase I & Phase II Environmental Site Assessments.
- Project is CPE-eligible.
- Property is not on the CalEPA Cortese List.
- No historic resource present.
- Project is not located in an historic district or the Calle 24 Latino Cultural District.

Exhibit B contains letters of support for the Project from the San Francisco Housing Action Coalition and the two existing tenants. Each of these two non-residential tenants signed/renewed their leases fully aware of my client's proposal for building demolition.

Exhibit C shows the Project's consistency with the Mission Neighborhood Plan.

Exhibit D contains a Chart of Project Features which lists additional features of the Project.

Exhibit E shows compliance of the Project with the State Density Bonus Approval Criteria.

Exhibit F lists the changes made to the Project at the request of the Planning Department, neighbors and community stakeholders. The changes include removing the ground floor retailer's use of the rear yard so as to avoid rear yard noise that would bother neighbors.

The Project will contribute the following community benefits, including \$865,356.55* of fees to the City:

- Two (2) on-site BMR residential units pursuant to the Inclusionary Affordable Housing Program.
- One (1) additional/voluntary on-site BMR residential unit.
- Transportation Sustainability Fee of \$343,905.84*.
- Residential Child Care Impact Fee of \$35,944.05*.
- Eastern Neighborhoods Infrastructure Impact Fee of \$409,846.53*.
- School Development Impact Fee of \$75,660.13*.
- 26 Class 1 bicycle parking spaces for the residents, and six (6) Class 2 bicycle parking spaces for members of the general public.
- Dramatically higher city property tax revenue. Current real property taxes are less than \$5,000.00 per year. Upon completion, such annual taxes should be more than \$300,000.

** Estimates based on the 2020 San Francisco Citywide Development Impact Fee Register.*

As **Exhibit G** shows, our outreach to Mission District stakeholders has been extensive. In addition, we have reached an understanding with United to Save the Mission whereby United to Save the Mission (and its affiliate groups) have agreed not to oppose the Project.

Section II. Discretionary Review Requests

DR Requests have been filed by two adjacent landlords: one whose lot is adjacent to the north on Valencia Street, and one whose lot lies to the north on 21st Street, the perpendicular cross street. The latter lot contains a building whose windowless rear wall will be close to the new building's northern side wall.

DR REQUESTOR MR. LAU. He owns the multiple dwelling, two-story building with the address of 1007-1017 Valencia Street and which contains three retail stores on the ground level. The DR application filed by Mr. Lau says the following:

1. He has “been offered no compensation for [this] disruption in our lives”. He also writes asking “compensation for our displacement during construction and compensation for lowering our quality of life.”

RESPONSE: The Planning Code and the Commission do not protect property values. The Project will not cause any of Mr. Lau's tenants to be displaced during construction (please note that my client is willing to discuss modifying construction hours to help Mr. Lau's tenants).

2. Requests a larger lightwell along the joint property line in order to preserve light to two property line dwelling units.

RESPONSE: My client created a lightwell to complement Mr. Lau's lightwell at the request of the Planning Department (see **Exhibit I**). This lightwell meets all Planning Department requirements. According to the building drawing provided to us, none of Mr. Lau's southern property line windows serve bedrooms. As a result, we do not believe the lightwell size needs to be increased. Please see property line window photos at **Exhibit J**.

DR Requestor has provided a drawing asking for a widening of the lightwell (**Exhibit K**), but the portion suggested to be widened mostly faces the blank southern wall of his building, adjacent to his lightwell.

3. Requests that shadow be reduced to his building's east-facing, second floor rear windows.

RESPONSE: Mr. Lau's east-facing rear windows are already in shade for most of the year according to the shadow study for 1007-1017 Valencia Street found at **Exhibit H**. The shadow study (whose accuracy has not been challenged) shows that the only time of the year that all of these second floor, east-facing windows have sun is around 9:00 AM during the summer solstice, and that sun disappears by 12:00 PM of that day. These windows are already shadowed most of the day by existing buildings, and also by the long, wooden awning that was built above those windows. See photos of that long, wooden awning at **Exhibit J**, and the existing shadows it creates at **Exhibit H**.

4. Objection to no on-site parking.

RESPONSE: Curb cuts are not allowed with new construction on this stretch of Valencia Street, which eliminates our ability to have any on-site parking. On the other hand, we have included more than the required number of Class 1 bicycle parking spaces.

5. Concern about disturbance of foundation.

RESPONSE: Foundation concerns are dealt with in detailed engineering drawings which will not be prepared until construction drawings are created after we know that we have received Planning Commission approval. We would be happy to have our engineers meet with any professionals hired by Mr. Lau to review and comment on our plans.

DR REQUESTOR MR. DAJANI. He owns a property (on 21st Street only) and is mostly concerned with the light that will remain available to the dwellings in his deep, narrow building which is perpendicular to the proposed new building. Mr. Dajani's building has one side yard

setback, and no rear yard windows (or no side yard windows) directly facing the Project. He is concerned that his tenants would have less light in their units.

RESPONSE: We prepared a separate Shadow Study for Mr. Dajani's property (please see **Exhibit H**), and it demonstrates that the proposed new building would cast only very minor incremental shadows on Mr. Dajani's property.

East Side of Existing Dajani Building. The proposed new building would not cast any new shadow on the east-facing windows of Mr. Dajani's property. In fact, due to the rear setback of the proposed new building, something that does not exist on the lot today, all the shadows that used to be cast on Mr. Dajani's east-facing windows by the existing property during noon will no longer exist (see pages: 1.1, 3.1, 4.1 of the shadow study for Mr. Dajani's property in **Exhibit H**). This can best be seen on the drawing of Noon, East Façade, Winter Solstice.

The windows on the east side of Mr. Dajani's property are much larger than the windows on the west side, and although we did not receive the interior drawings of Mr. Dajani's building as we requested, the west-facing rooms have very small windows. The rooms on the east side on the second floor are very likely the more important rooms such as bedrooms and living rooms (and not bathrooms and kitchens).

West Side of Existing Dajani Building. The shadow study indicates that throughout the year the proposed new building would begin to cast minor incremental shadows on the west-facing windows of Mr. Dajani's property after 3:00 PM throughout the year. However, Mr. Dajani's small, west-facing, non-bedroom windows are already in shade for most of the year, so the incremental new shadows from the proposed new building would not have a significant impact on Mr. Dajani's west-facing windows.

Section III. Alternative Proposed by DR Requestors Mr. Dajani and Mr. Lau.

Attached as **Exhibit K** is a drawing prepared by legal counsel for Mr. Dajani and Mr. Lau that shows how the rear of the new building could be pulled back 7- 9 feet from the northern property line to create an L-shaped rear to the new building. My client rejects that proposal. A building revised this way would create three new corners, which increases the price of construction an enormous amount, in return for very minimal benefit. The benefit to the small, non-bedroom windows on the west side of Mr. Dajani's property is extremely small; again, please see the shadow study for Mr. Dajani's property in **Exhibit H** (which has not been challenged by DR Requestors or Planning Department Staff).

The drawing also shows a larger lightwell across from Mr. Lau's property. The proposed new incremental portion of this proposed lightwell mostly faces the blank southern wall of Mr. Lau's property. Again, none of Mr. Lau's southern property line windows serve bedrooms, and our lightwell meets all Planning Department requirements.

Given that my client has added voluntary community benefits such as an additional/voluntary 3rd on-site BMR unit and other voluntary community benefits, along with the high costs of

construction and the COVID-related drop in property values, this kind of enormous change creates a great risk of an economically infeasible building.

A major redesign is very expensive and takes many months, and the Project architects have not had time to determine if the proposed redesign would meet the Building Code and Planning Code, and whether the proposed redesign would result in fewer units. And there may be fewer rooms because the proposed redesign may create rooms too small to be legal under the Housing Code. Please keep in mind that the shadow study in **Exhibit H** (which has not been challenged by DR Requestors or Planning Department Staff) shows that the proposed new building would not cast any new shadow on the east-facing windows of Mr. Dajani's property. Please consider that very minor new incremental benefits would be given to Mr. Dajani's small, west-facing windows providing light to non-bedrooms. And please weigh that against the risks of a major redesign stated above.

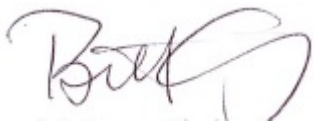
Also, please keep in mind that the Housing Accountability Act ("HAA") protects property owners from being told to redesign in a way that reduces the number of units, or reducing the number of rooms (rooms under the minimum building code size might be created to accommodate the proposed redesign). The HAA protects against such changes, unless there would be great public harm by not changing a project. That harm to the public cannot be shown here.

Section IV. Conclusion

My client has been working on the Project with the San Francisco Planning Department for more than three years. My client has adhered to all laws, regulations, rules and policies, even when some were changed by the San Francisco Planning Department mid-stream (e.g., a new Planning Director Bulletin No. 6 caused my client to modify the architectural plans at significant expense and delayed the Project for months).

We appreciate your time and consideration of this proposed redevelopment which we believe will enhance San Francisco in general and Valencia Street in particular.

Sincerely,

A handwritten signature in purple ink, appearing to read "Brett", with a stylized flourish at the end.

M. Brett Gladstone

CC: Planner Michael Christensen
Planner David Winslow
Planner Rich Sucre
Director Rich Hillis
Architect Jon Ennis
Ryan Patterson, Esq.

EXHIBITS

- A. Proposed Design
- B. Letters of Support
- C. Consistency with Mission Neighborhood Plan
- D. Chart of Project Features
- E. Compliance with State Density Bonus Approval Criteria
- F. List of Changes Made at Request of Neighbors, City
- G. List of Community Outreach
- H. Separate Shadow Studies for Mr. Lau and Mr. Dajani
- I. My Client's Lightwell per BDE Planning Set
- J. Photos of Adjacent Properties
- K. Proposed Drawing from DR Applicants

EXHIBIT A

1021 VALENCIA

PLANNING SET - FEBRUARY 4TH, 2021



SHEET INDEX

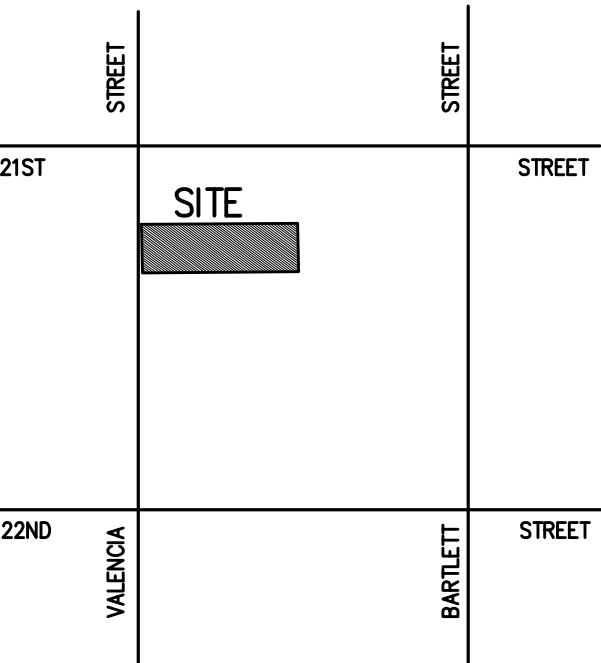
02.04.21	PLANNING SET
00 - SITE SURVEY	
• 1	TOPOGRAPHIC SITE SURVEY
01 - PROJECT INFORMATION	
• A0.01	PROJECT INFORMATION
• A0.01-A	BULLETIN NO.6 - EXHIBIT A DIAGRAMS
• A0.02	EXISTING SITE
02 - JOINT TRENCH	
• INT 1	JOINT TRENCH - INTENT
• INT 2	JOINT TRENCH - INTENT
03 - ARCHITECTURAL	
• A1.00	SITE PLAN FLOOR 1
• A1.01	ENLARGED PARTIAL SITE PLAN FLOOR 1
• A2.00	FLOOR B AND FLOOR 1 PLAN
• A2.01	FLOOR 2 AND FLOOR 3 PLAN
• A2.02	FLOOR 4-5 AND FLOOR 6 PLAN
• A2.03	ROOF PLAN
• A3.00	EXTERIOR ELEVATIONS
• A3.01	EXTERIOR ELEVATIONS
• A3.02	EXTERIOR ELEVATIONS
• A3.05	EXTERIOR PERSPECTIVES & MATERIALS
• A3.06	MATERIAL BOARD
• A3.10	BUILDING SECTIONS
• A4.00	EXISTING BUILDING PLANS
• A5.00	BASE PROJECT BLDG PLAN FLRS B1 & 1
• A5.01	BASE PROJECT BLDG PLAN FLRS 2-4
• A5.02	BASE PROJECT BLDG PLAN FLRS 5 & ROOF
• A6.00	BASE PROJECT BUILDING SECTION
• A10.41	WINDOW DETAILS

ABBREVIATIONS:

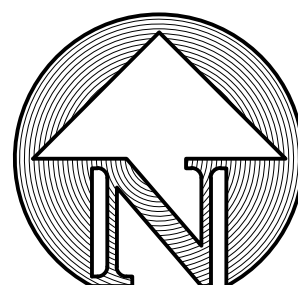
ATS AUTO SPRINKLER
BK BACK OF WALK
B BOLLARD
CO CLEAN OUT
FL FLOW LINE
GND GROUND
GV GAS VAULT
PGE PG&E BOX
PM PARKING METER
MH MANHOLE
OVR OVER PROPERTY LINE
SL STREET LIGHT
SLB STREET LIGHT BOX
TC TOP OF CURB
TVC TV CABLE BOX
WM WATER METER
TOS TOP OF STAIRS

GENERAL NOTES:

1. ALL SURVEY WORKS WAS CONDUCTED IN NOVEMBER 2018.
2. DATA PORTRAYS EXISTING CONDITIONS ON THE DATE OF SURVEY.
3. ELEVATIONS SHOWN HEREON WERE OBTAINED BASED SAN FRANCISCO CITY DATUM BM453 IN THE NORTHWEST CORNER AT THE INTERSECTION OF THE VALENCIA STREET AND 24TH STREET. ELEVATION = 77.543'.
4. RESEARCH INTO FOUND BOUNDARY OR BENCHMARK INFORMATION IS OUTSIDE THE SCOPE OF THIS TOPOGRAPHIC SURVEY. SURVEY CONTROL MARKINGS ARE SHOT WHEN VISIBLE BUT DO NOT REPRESENT ALL MARKS OF RECORD.



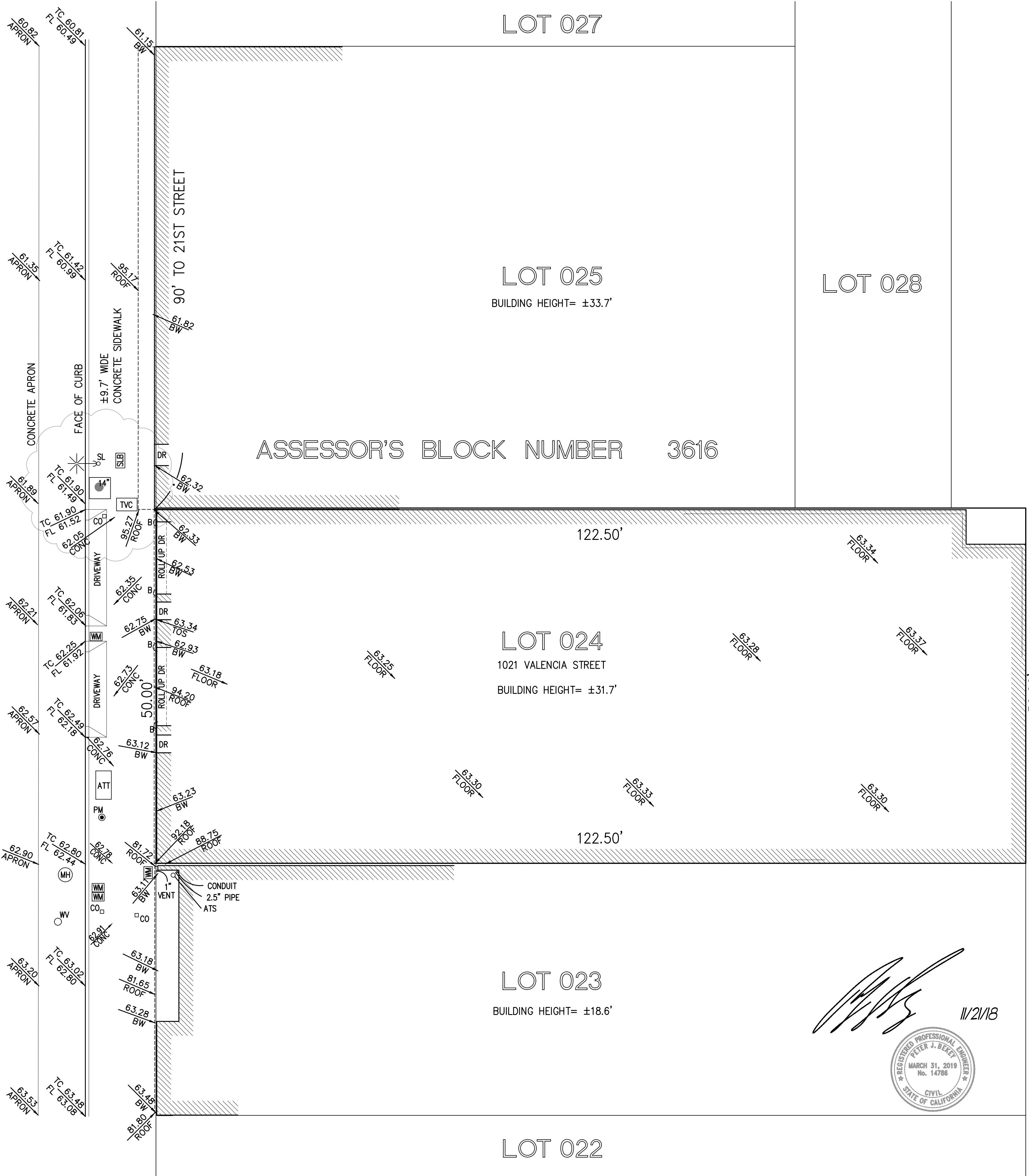
VICINITY MAP
NO SCALE



GRAPHIC SCALE

(IN FEET)
1 inch = 8 ft.

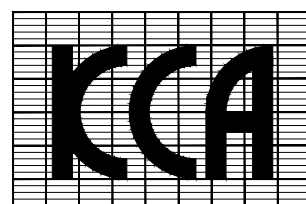
VALENCIA STREET
(82.50' WIDE)



[Signature] 11/21/18
REGISTERED PROFESSIONAL ENGINEER
PETER J. BEKER
MARCH 31, 2019
No. 14786
CIVIL
STATE OF CALIFORNIA

KCA ENGINEERS, INC.
CONSULTING ENGINEERS • SURVEYORS • PLANNERS

318 BRANNAN ST. • SAN FRANCISCO, CA 94107 • (415) 546-7111 • FAX: (415) 546-9472



APPROVED: _____
APPROVED: _____

PROJECT NO. _____

DES. JH	DRW. RL			
CKD. _____	REV. PJB			
DATE NOV 2018		11.21.18	FINAL	
JOB NO. 6586		11.12.18	PRELIMINARY	
		NO. DATE	DESCRIPTION	

SAN FRANCISCO

TOPOGRAPHIC SITE SURVEY MAP OF
1021 VALENCIA STREET
ASSESSOR'S BLOCK NUMBER 3616 ~ 024

CALIFORNIA

SCALE:
HORIZ. 1" = 8'
VERT. _____
1 OF 1

CONSTRUCTION TYPE:			IIIA OVER 1A										
FLOORS:			5 WOOD OVER 1 CONCRETE										
UNIT TYPE			Unit Rentable*	Floor Levels							Total	Unit	Rentable Area by Type
				SF	B1	1ST	2ND	3RD	4TH	5TH			
JR 1 BEDROOM	A1.0	1 BED/ 1 BATH	515	0	0	2	2	0	0	0	4	50.0%	2,060
	A2.0	1 BED/ 1 BATH	518	0	0	1	1	0	0	0	2		1,036
	A3.0	1 BED/ 1 BATH	680	0	0	0	0	1	1	0	2		1,360
	A4.0	1 BED/ 1 BATH	875	0	0	0	0	1	1	0	2		1,750
	A3.1	1 BED/ 1 BATH	663	0	0	0	0	0	0	1	1		663
	A4.1	1 BED/ 1 BATH	841	0	0	0	0	0	0	1	1		841

Rentable Residential by floor (not incl. decks)		0	1,954	3,514	3,514	3,521	3,521	3,470	19,494
Gross Residential (lobby, corridors, stairs, etc...) (incl. decks)		1,424	1,415	776	776	776	776	776	5,295
Amenity Spaces (Interior Only)...		2,327	-	-	-	-	-	-	2,327
Commercial Area		1,656	1,327	-	-	-	-	-	2,983
Utilities (Incl. storage, Fire, ...)		417	151	-	-	-	-	-	568
Total Gross		5,824	4,847	4,290	4,290	4,297	4,297	4,246	32,091

* NET RENTABLE IS CENTERLINE OF WALL
** RESIDENTIAL AMENITY BELOW FLOOR 1
IS NOT INCLUDED IN SF PLANNING COMPLIANT
RESIDENTIAL GROSS AREA

SF Planning Residential Gross Area 24,789

State Density Bonus Allowable GFA 24,818

OPEN SPACE
COMMON SPACE PROVIDED: 760 +/- SF

BICYCLE PARKING
CLASS 1 (RESIDENTIAL) BIKE PARKING REQUIRED:
1:1 STALLS FOR 1ST 100 UNITS
A STALL FOR EVERY 7,500 SF OF OCCUP. AREA RETAIL

CLASS 1 (RESIDENTIAL) BIKE PARKING PROVIDED: 26

CLASS TWO BIKE PARKING PROVIDED: 6

BONUS PROJECT STATISTICS 5

CONSTRUCTION TYPE:		VA OVER 1A										
FLOORS:		4 WOOD OVER 1 CONCRETE										
UNIT TYPE		Unit Rentable*	Floor Levels								Unit	Rentable Area by Type
JR 1 BEDROOM	A1.0	515	B1	1ST	2ND	3RD	4TH	5TH		Total	57.9%	3,090
	A2.0	518		0	0	1	1	0		6		1,554
	A3.0	680		0	0	0	0	1		1		680
	A4.0	875		0	0	0	0	1		1		875
2 BEDROOM		983	B1.0	2 BED/2 BATH	0	2	0	0	0	2	42.1%	1,966
2 BEDROOM	B1.1	983		2 BED/2 BATH	0	0	2	2	0	4		3,932
	B1.2	983		2 BED/2 BATH	0	0	0	0	2	2		1,966
	B2.0	977		2 BED/2 BATH	0	0	0	0	0	0		0
TOTAL UNITS		740		0	0	5	5	5	4	19	100%	14,063

Rentable Residential by floor (not incl. decks)		0	0	3,514	3,514	3,514	3,521	14,063
Gross Residential (lobby, corridors, stairs, etc...)		1,424	1,415	776	776	776	776	4,519
Amenity Spaces (Interior Only)		2,327	2,100	-	-	-	-	2,100
Commercial Area		1,656	1,327	-	-	-	-	2,983
Utilities (Incl. storage, Fire, ...)		417	151	-	-	-	-	568
Total Gross		5,824	4,993	4,290	4,290	4,290	4,297	27,984

* NET RENTABLE IS CENTERLINE OF WALL
** RESIDENTIAL AMENITY BELOW FLOOR 1
IS NOT INCLUDED IN SF PLANNING COMPLIANT
RESIDENTIAL GROSS AREA

SF Planning Residential Gross Area 20,682

BASE PROJECT STATISTICS 4

ZONING CODE SUMMARY

PROJECT LOCATION:
1021 VALENCIA STREET, SAN FRANCISCO, CA

BLOCK AND LOT NUMBER:
PARCEL: BLOCK 3616, LOT 024

LOT AREA:
6,125 SF

ZONING: (SEC. 762)
NCT - INDIVIDUAL (NAMED, CONTROLS VARY) DISTRICT

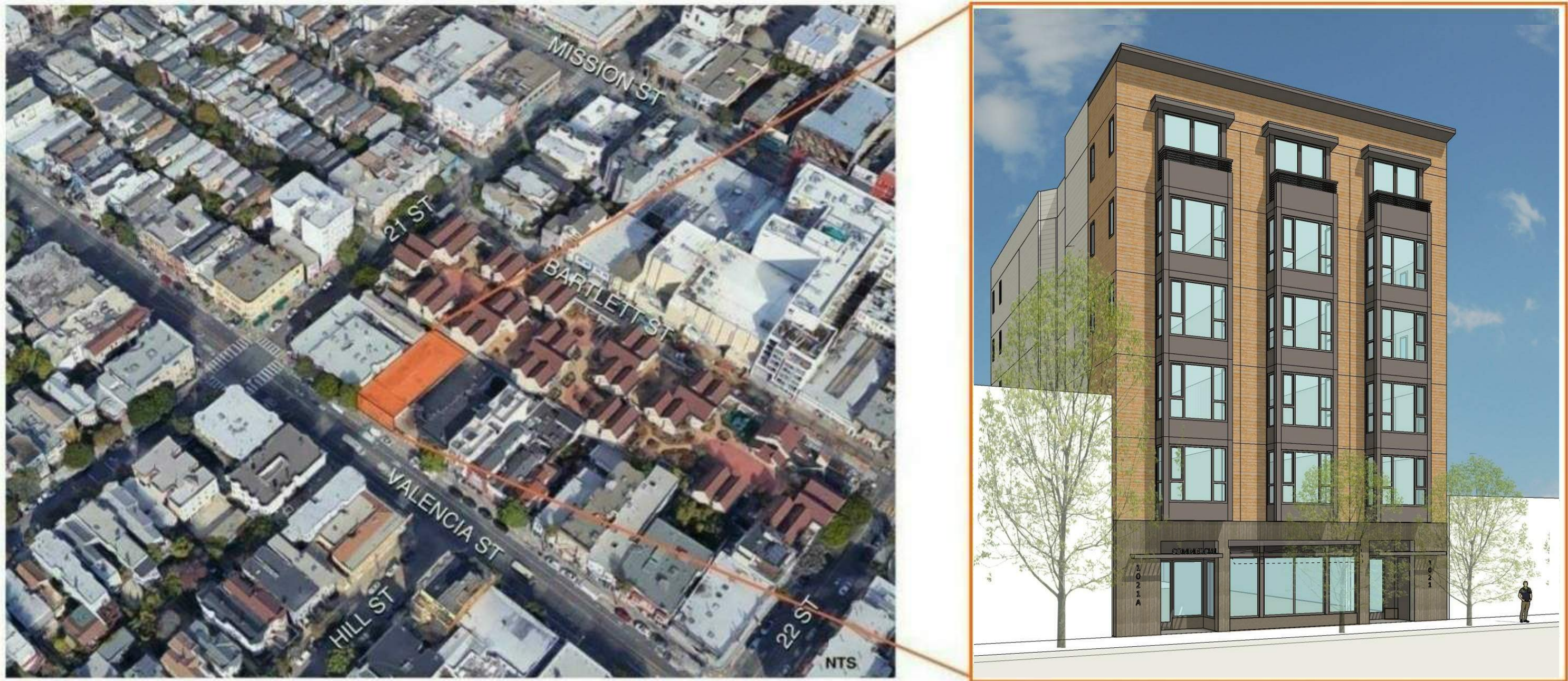
HEIGHT / BULK: (ZONING MAP HT07)
55-X

PROPOSED BUILDING HEIGHT:
65 FEET

GROUND FLOOR CEILING HEIGHT:
(SEC. 145.1(C)(4)(B)) GROUND FLOOR NON-RESIDENTIAL USES IN ALL C-3, C-M, NCT, DTR, CHINATOWN MIXED USE, RSD, SLR, SLI, SPD, SSO, MUG, MUR, AND MUO DISTRICTS SHALL HAVE A MINIMUM FLOOR-TO-FLOOR HEIGHT OF 14 FEET, AS MEASURED FROM GRADE.



PROXIMITY MAP 2



THE SITE IS LOCATED MID-BLOCK ON VALENCIA STREET BETWEEN 21ST AND 22ND STREET. THE EXISTING STRUCTURE IS A 2-STORY (WITH BASEMENT) AUTOMOTIVE REPAIR SHOP COVERING THE ENTIRE SITE. WE ANTICIPATE THE EXISTING BASEMENT TO BE REPLACED AND EXISTING STRUCTURE WILL BE PARTIALLY OR FULLY DEMOLISHED (PENDING STRUCTURAL AND GEOTECHNICAL REVIEW) FOR A MIXED-USE RESIDENTIAL URBAN INFILL DEVELOPMENT. PROPOSED PROJECT IS A:

"STATE DENSITY BONUS"
6 FLOOR (5 LEVELS TYPE IIIA OVER 1 FLOOR TYPE 1A)

LOT AREA: 6,125 SF (0.14 ACRE)
EXISTING LOT COVERAGE: 6,125 SF (APROX)
PROPOSED LOT COVERAGE: 5978 SF (FLOOR 1)

THE STATE DENSITY BONUS LAW ENTITLES A BONUS PROJECT WITH A MAXIMUM 35% DENSITY BONUS IF AT LEAST 10% OF ITS BASE PROJECT UNITS ARE AFFORDABLE TO LOW-INCOME HOUSEHOLDS. THIS PROJECT MEETS THE MINIMUM STANDARD TO ACHIEVE 20% STATE DENSITY BONUS, LISTED PER SAN FRANCISCO PLANNING DIRECTOR BULLETIN 6, REVISED JULY 2019. PROJECT WOULD MEET AFFORDABLE HOUSING COMPONENT WITH 2 ON-SITE BMR DWELLING UNITS.

GROUND FLOOR WOULD PROVIDE 1,327 SF +/- RETAIL AND POTENTIAL RESTAURANT INFRASTRUCTURE.

REAR YARD SETBACK IS PROPOSED AT THE 1ST FLOOR. A LARGE ROOF DECK WOULD SERVE AS RESIDENT AMENITY AND COMMON OPEN SPACE. PER SF PLANNING CODE 155(i)(2)(H) NO PARKING OR LOADING IS PERMITTED OFF OF VALENCIA STREET; PROJECT PROPOSES TO ELIMINATE 2 EXISTING CURB CUTS AND PROVIDE NO ON-SITE PARKING. NO PARKLET, ON-STREET LOADING OR PARKING IS PROPOSED BY THE 1021 VALENCIA STREET PROJECT, BUT THE EXISTING CURB CUTS (AND ACCESS THERETO) WILL REMAIN IN PLACE UNTIL CONSTRUCTION BEGINS ON THE PROJECT.

WE ACKNOWLEDGE THAT THE SFMTA-PROPOSED VALENCIA BIKEWAY IMPROVEMENTS PROJECT MAY AFFECT THE 1021 VALENCIA STREET PROJECT.

UNDER THE STATE DENSITY BONUS LAW, THE PROJECT SPONSOR IS ENTITLED TO ONE INCENTIVE/CONCESSION, AS WELL AS A WAIVER OF ANY DEVELOPMENT STANDARD THAT WOULD PHYSICALLY PRECLUDE CONSTRUCTION OF THE PROJECT AT THE DENSITY PROPOSED. THE FOLLOWING WAIVERS ARE REQUIRED TO PHYSICALLY ACHIEVE THE DENSITY BONUS:

1. HEIGHT LIMIT: WAIVE BUILDING HEIGHT LIMIT PER SEC. 250 BECAUSE PROVIDING CODE-COMPLIANCE WOULD PRECLUDE THE DEVELOPMENT OF A 20% INCREASE IN RESIDENTIAL DENSITY.
2. OPEN SPACE: WAIVE COMMON USABLE OPEN SPACE REQUIREMENT PER SEC. 135 BECAUSE PROVIDING CODE-COMPLIANT OPEN SPACE WOULD PRECLUDE THE DEVELOPMENT OF A 20% INCREASE IN RESIDENTIAL DENSITY.
3. REAR YARD: WAIVE REAR-YARD REQUIREMENT PER SEC. 134 BECAUSE PROVIDING CODE-COMPLIANT REAR-YARD WOULD PRECLUDE THE DEVELOPMENT OF A 20% INCREASE IN RESIDENTIAL DENSITY.

PROJECT SPONSOR IS SEEKING A STATE DENSITY BONUS INCENTIVE/CONCESSION TO UTILIZE VINYL WINDOWS.

ISSUE	DATE
PROJECT APPLICATION	02.13.19
PROJECT APPLICATION RESUBMITTAL	02.26.20
PROJECT APPLICATION RESUBMITTAL	04.06.20
SITE PERMIT	05.29.20
PLANNING SET	02.04.21

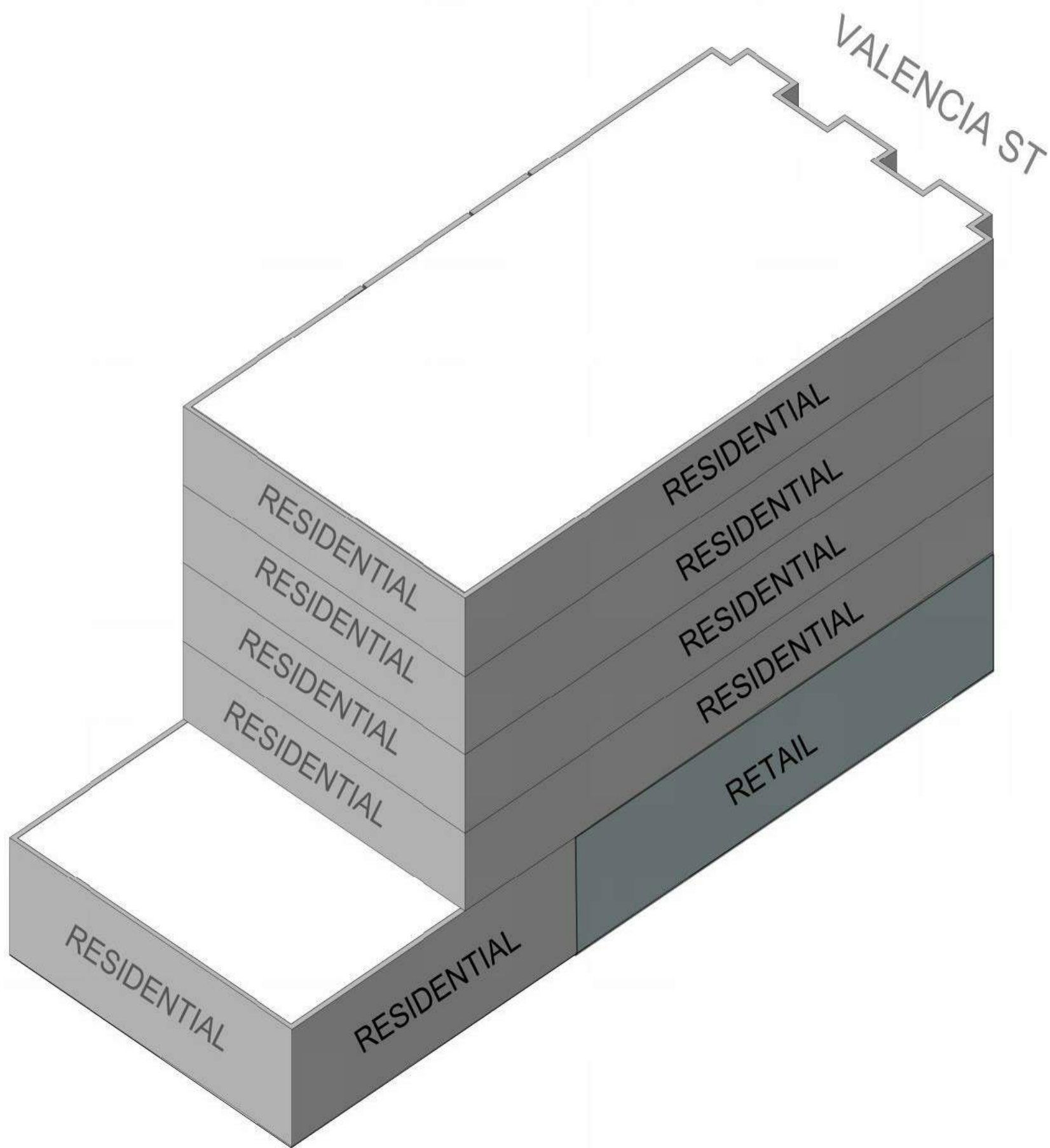
STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL,
AND UNPUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED, USED OR
DISCLOSED WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

PROJECT
INFORMATION

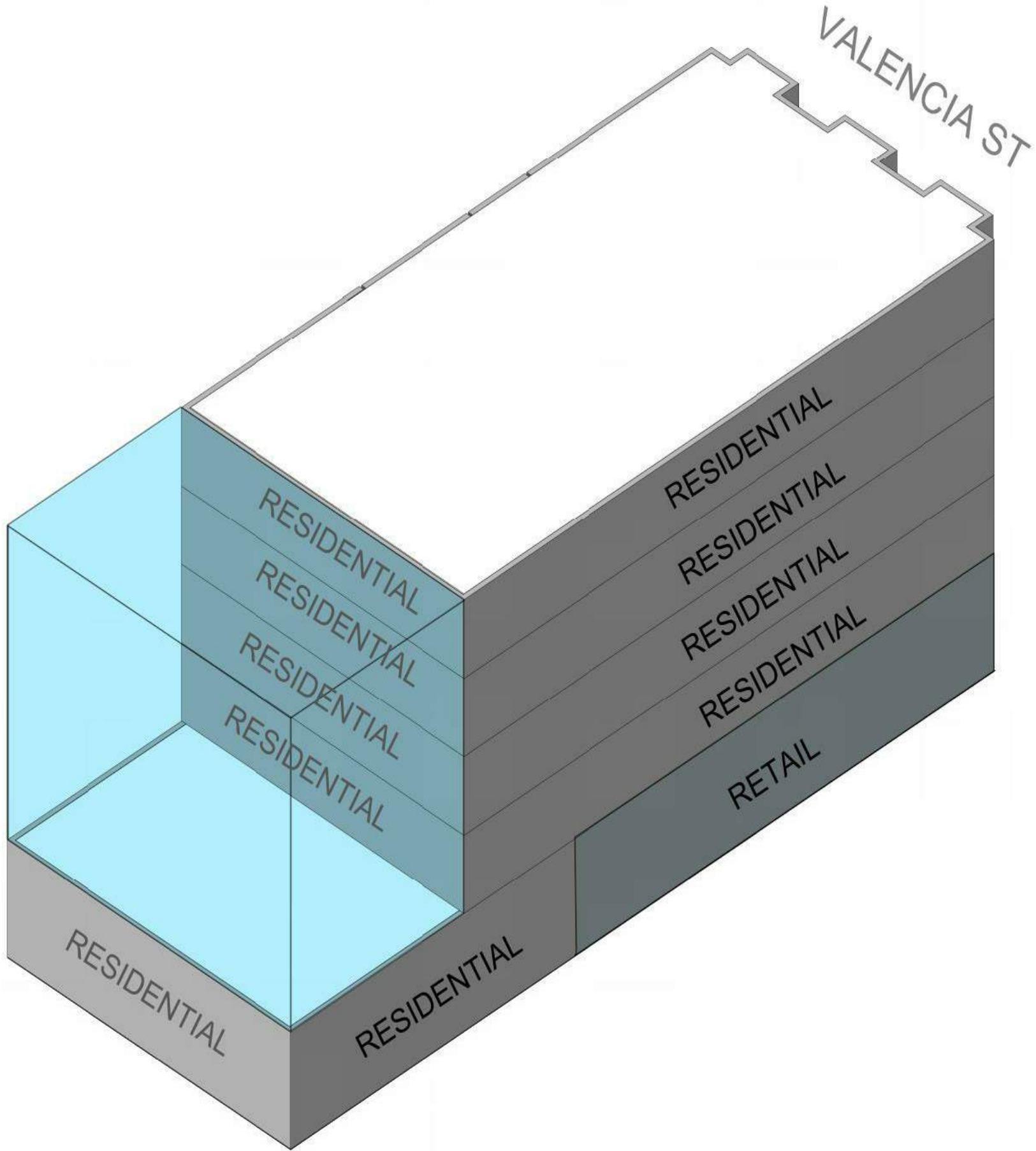
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SCALE	As indicated
PROJ. NO. 1714	DRAWN BY XX
SHEET SIZE: 30 X 42	

PROJECT SUMMARY 3

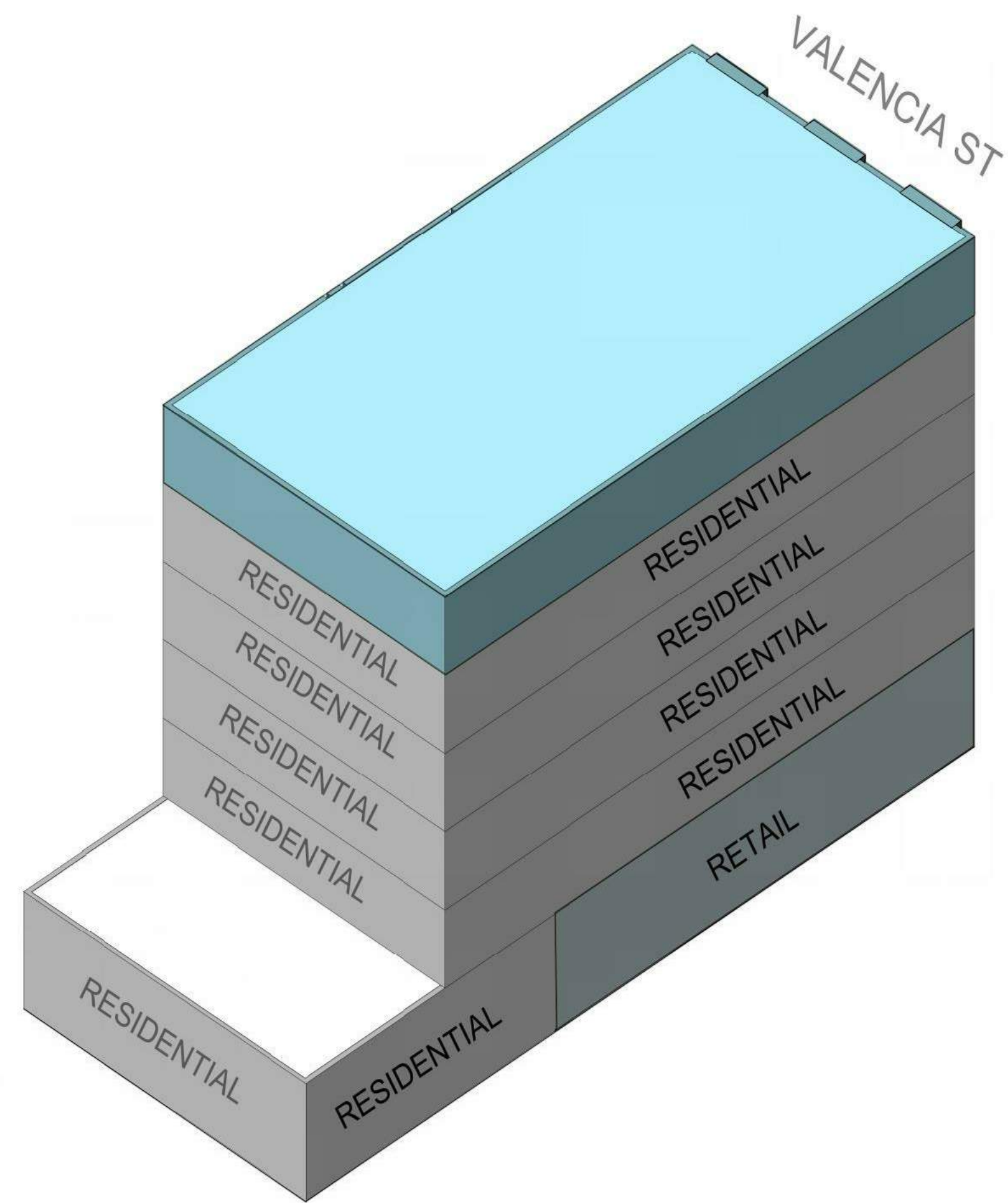
PROJECT DESCRIPTION 1



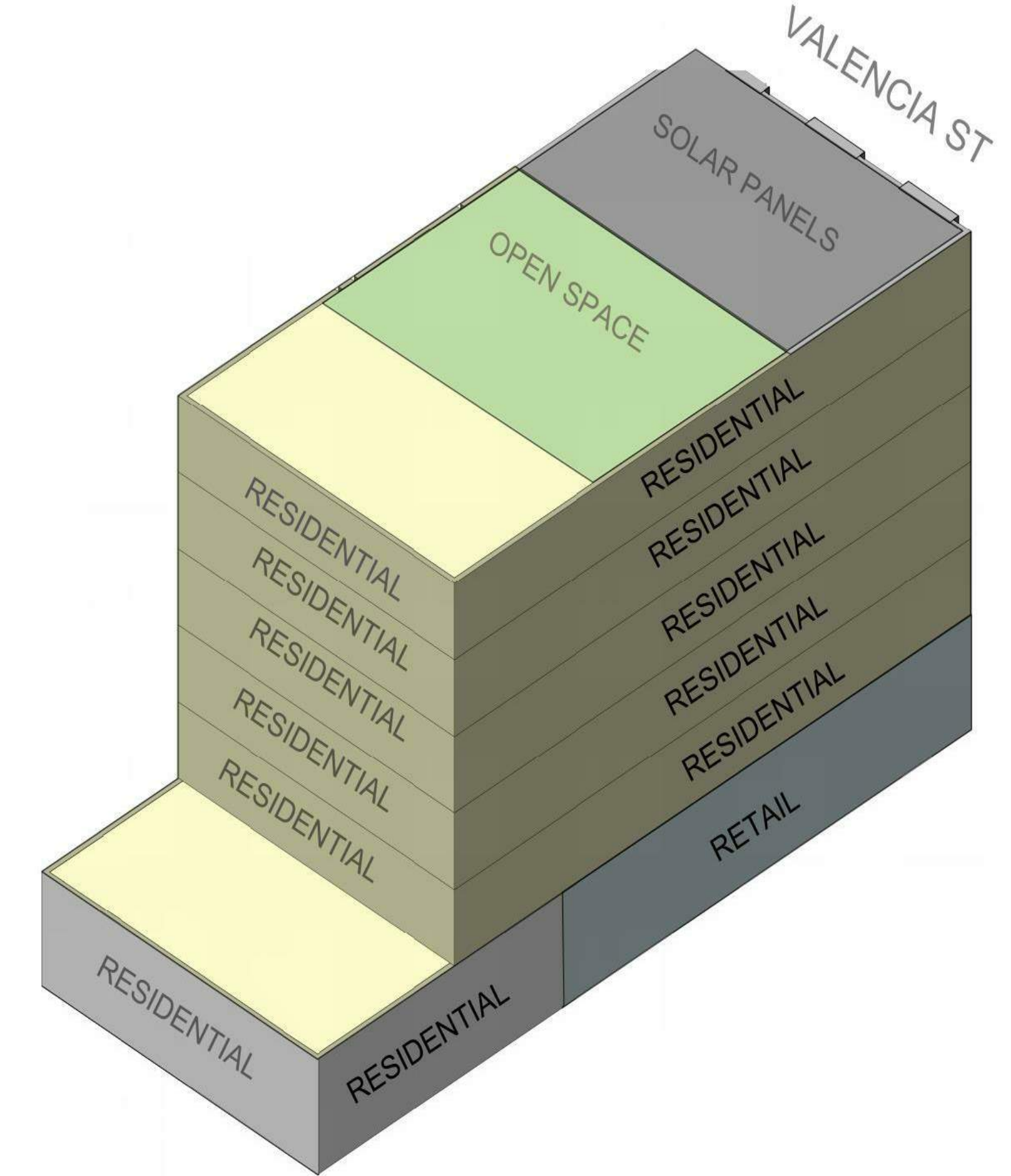
BASELINE: Retail and residential on ground floor with 4 stories of housing above;
Residential gross sq. ft. = approx. 20,682.



STEP ONE: Size of code-compliant rear yard = 25% of lot depth.



STEP TWO: ADD one full story of units with additional roof-top open space;
+ approximately 4,107SF residential SF.



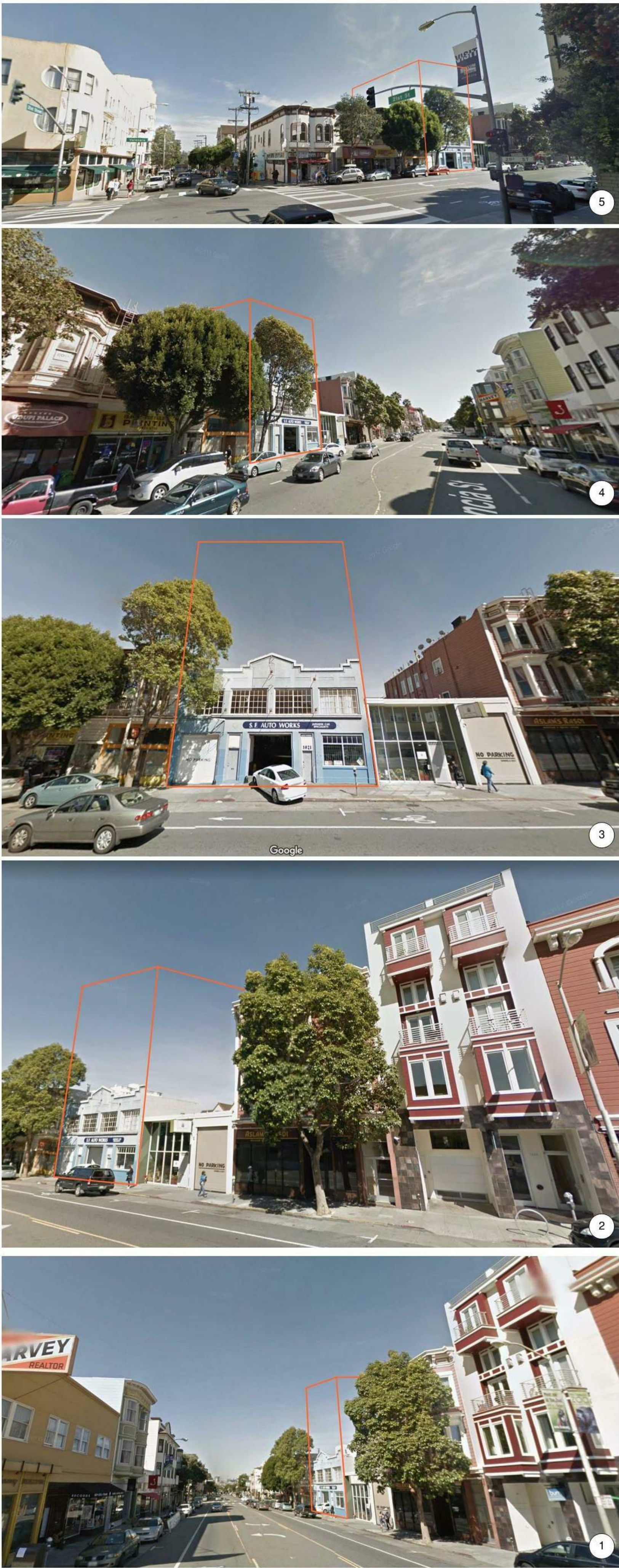
FINAL MASSING: Retail and housing ground floor, with 5 stories of housing above.
Residential gross sq. ft. = approx. 24,789.

ISSUE	DATE
PROJECT APPLICATION	02.13.19
PROJECT APPLICATION RESUBMITTAL	02.26.20
PROJECT APPLICATION RESUBMITTAL	04.06.20
PROJECT APPLICATION RESUBMITTAL	05.29.20
SITE PERMIT	05.29.20
PLANNING SET	02.04.21

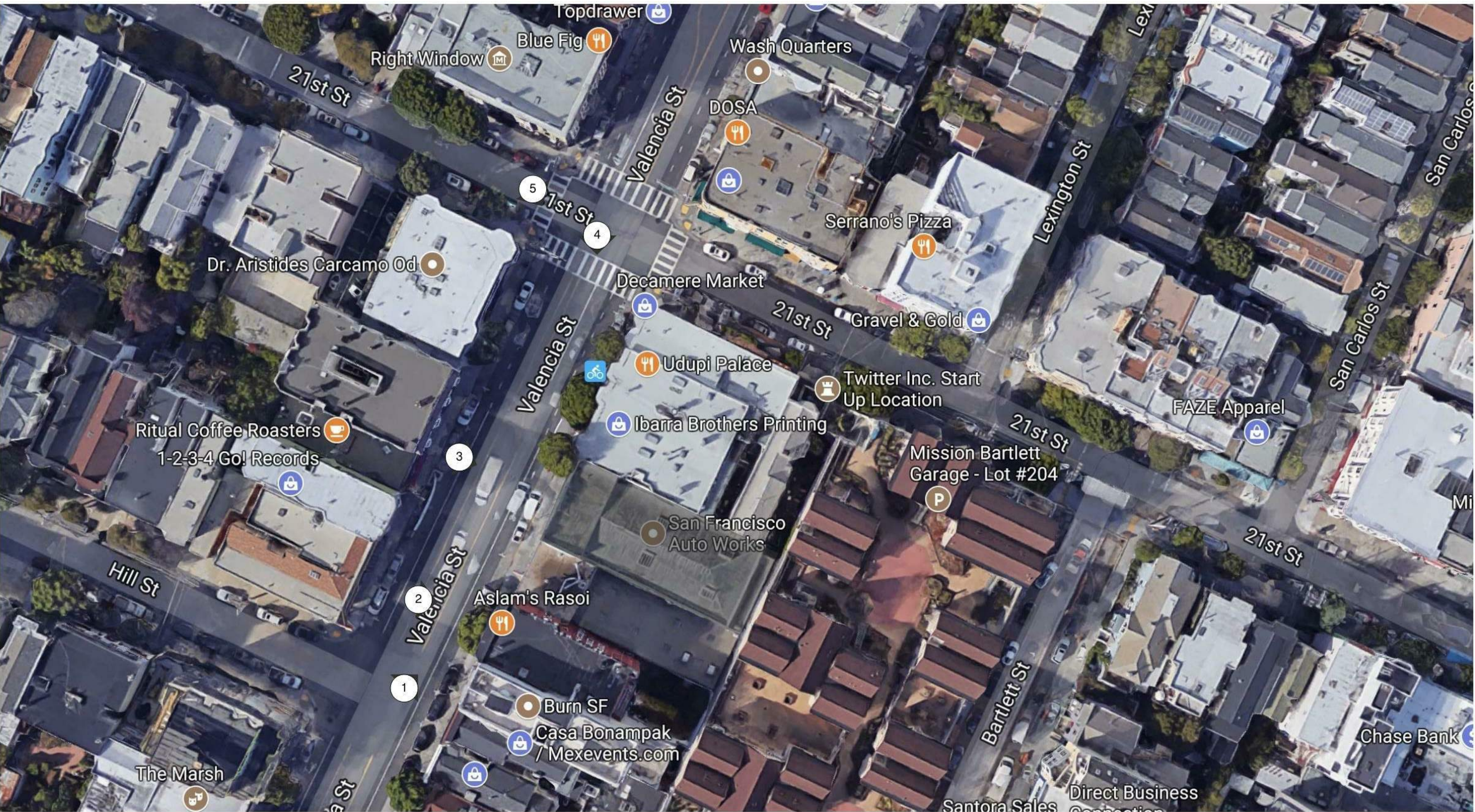
STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL,
AND UNPUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED, USED OR
DISCLOSED WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

**BULLETIN NO. 6
- EXHIBIT A
DIAGRAMS**

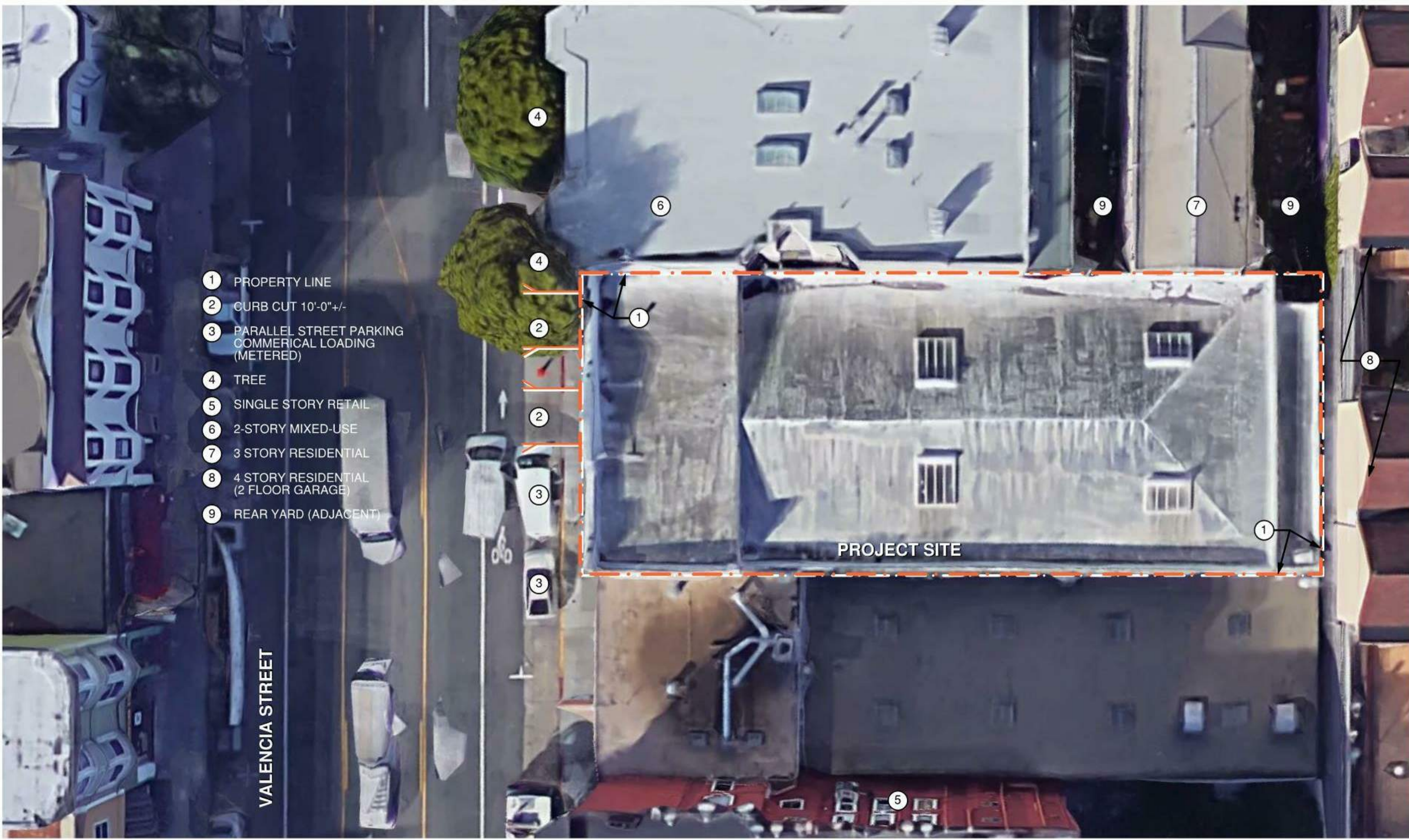
SHEET TITLE
SCALE
PROJ. NO. 1714 DRAWN BY XX
SHEET SIZE: 30 X 42



EXISTING SITE PHOTOS 3



EXISTING SITE PHOTO 2



EXISTING PLOT PLAN 1

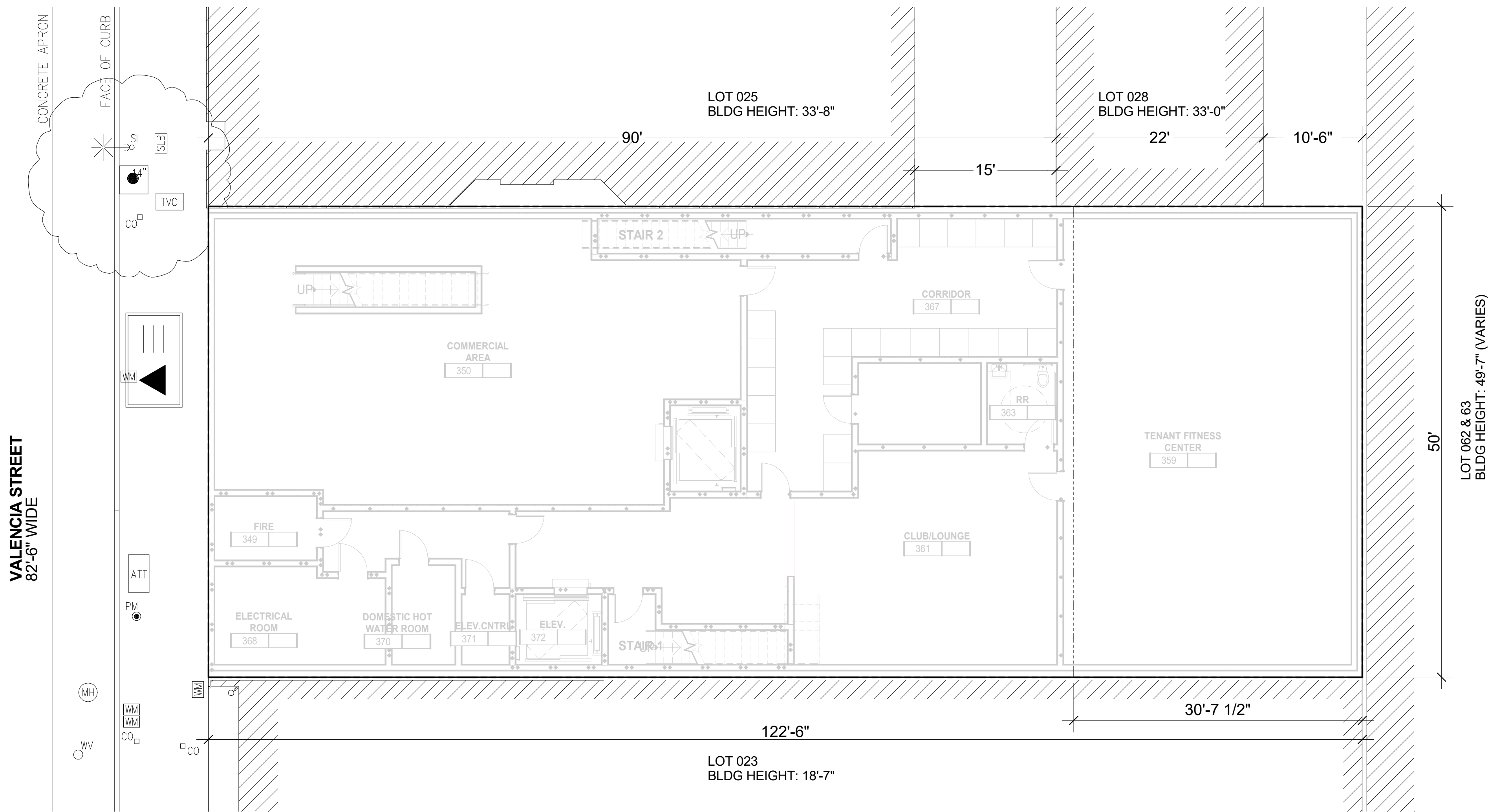
ISSUE	DATE
PROJECT APPLICATION	02.13.19
PROJECT APPLICATION RESUBMITTAL	02.26.20
PROJECT APPLICATION RESUBMITTAL	04.06.20
PROJECT APPLICATION RESUBMITTAL	05.29.20
PLANNING SET	02.04.21

STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE ARCHITECT
AND MAY NOT BE DUPLICATED, USED OR
DISCLOSED WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

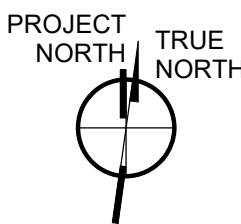
EXISTING SITE

SHEET TITLE
SCALE
PROJ NO. 1714 DRAWN BY XX
SHEET SIZE: 30 x 42

2/3/2024 11:35:07 AM



BASEMENT PLAN 1
1/8" = 1'-0"



1021 VALENCIA
SAN FRANCISCO, CA

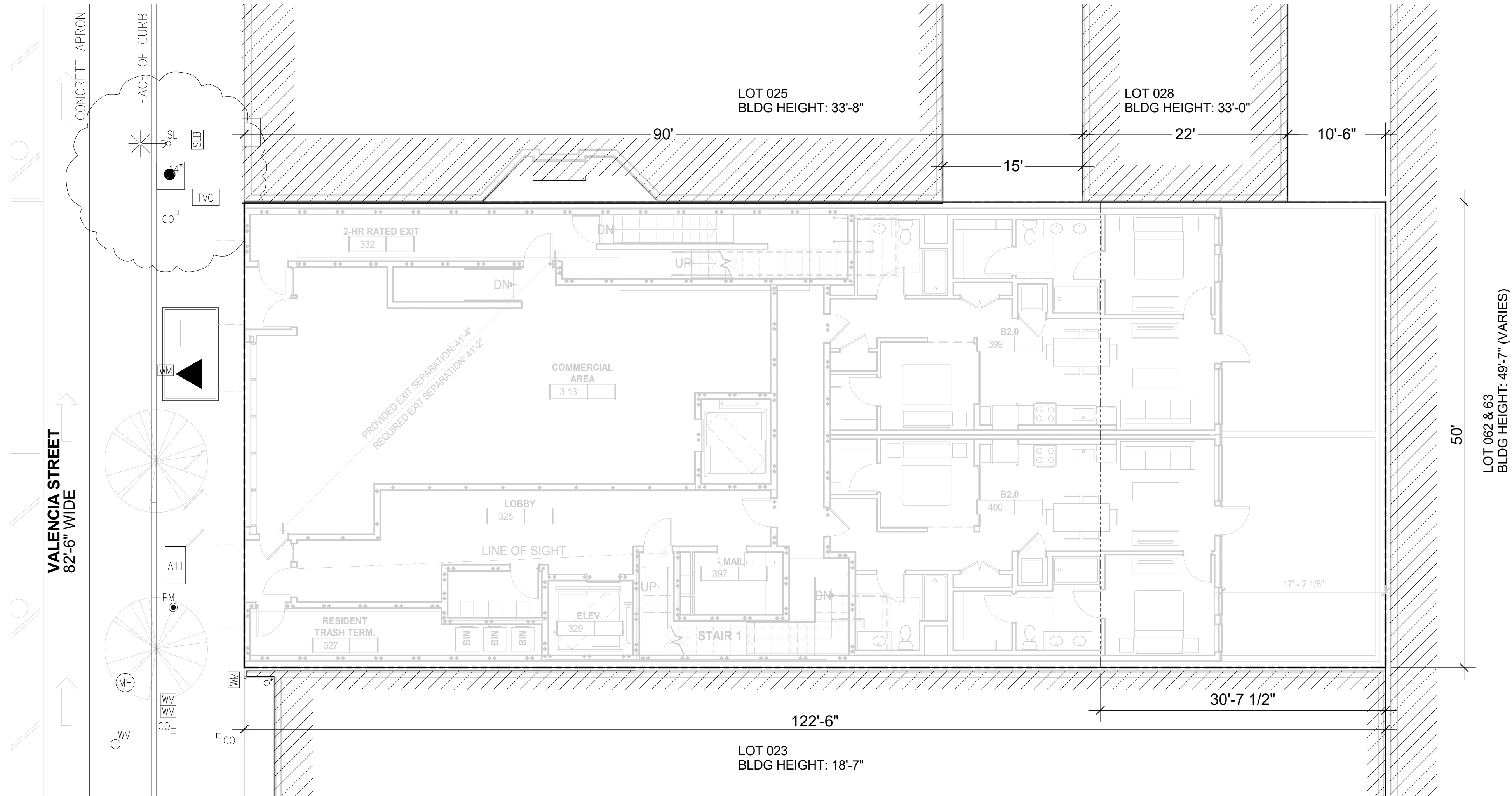
ISSUE	DATE
PROJECT APPLICATION	02.13.19
PROJECT APPLICATION RESUBMITTAL	02.26.20
PROJECT APPLICATION RESUBMITTAL	04.06.20
PROJECT APPLICATION RESUBMITTAL	05.29.20
SITE PERMIT PLANNING SET	02.04.21

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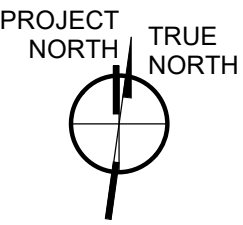
JOINT TRENCH - INTENT

SHEET TITLE
SCALE 1/8" = 1'-0"
PROJ NO. 1714 **DRAWN BY** XX
SHEET SIZE: 30 x 42

2/3/2021 11:35:09 AM



FLOOR 1 PLAN 1
1/8" = 1'-0"



1021 VALENCIA
SAN FRANCISCO, CA

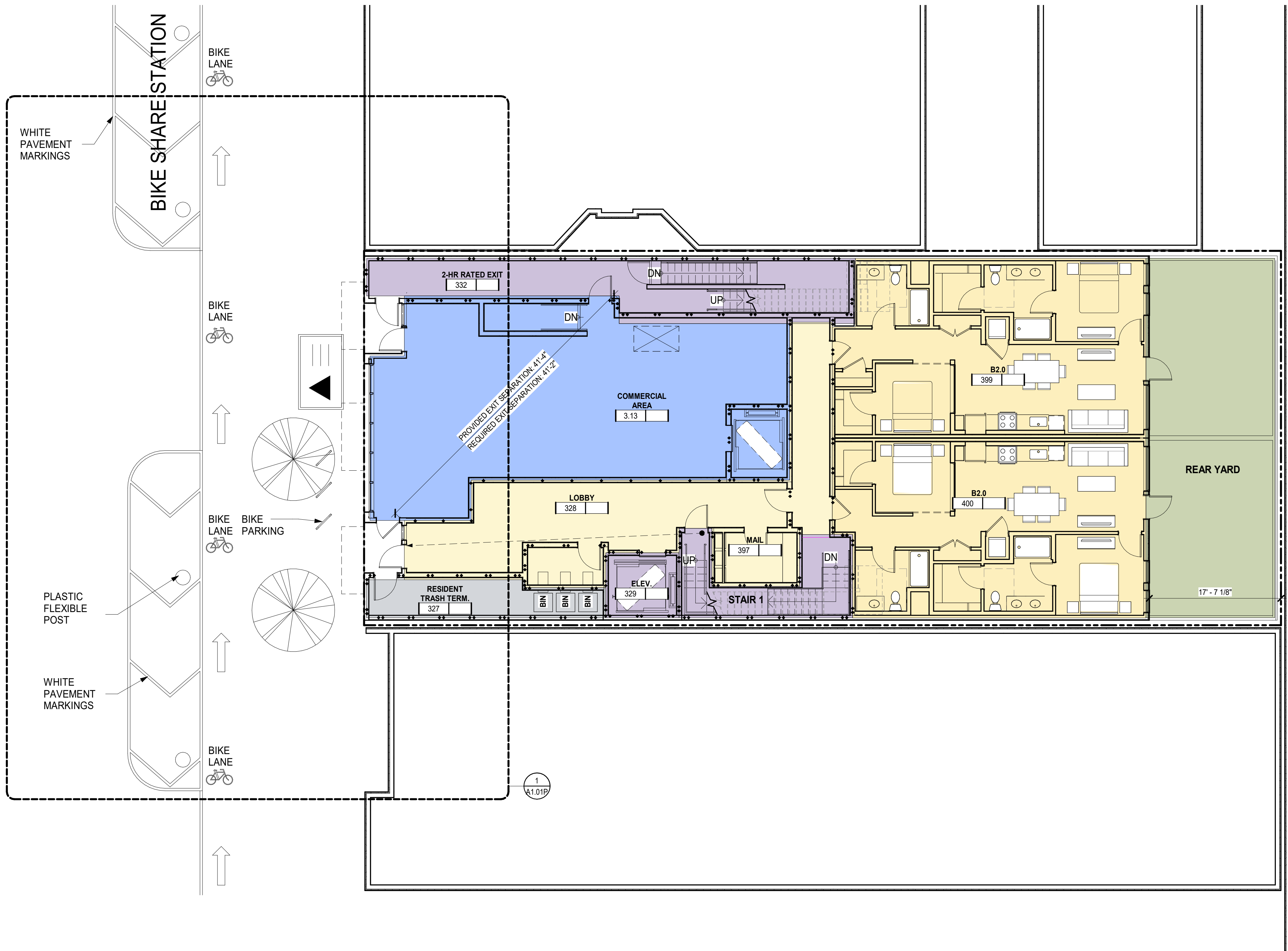
ISSUE	DATE
PROJECT APPLICATION	02.13.19
PROJECT APPLICATION RESUBMITTAL	02.26.20
PROJECT APPLICATION RESUBMITTAL	04.06.20
SITE PERMIT	05.29.20
PLANNING SET	02.04.21

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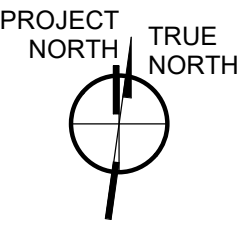
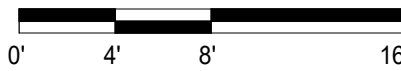
JOINT TRENCH -
INTENT

SHEET TITLE
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PROJ NO. 1714 DRAWN BY XX
SHEET SIZE: 30 X 42

2/25/2021 11:33:45 AM



SITE PLAN - FLOOR 1P 1
1/8" = 1'-0"



1021 VALENCIA
SAN FRANCISCO, CA

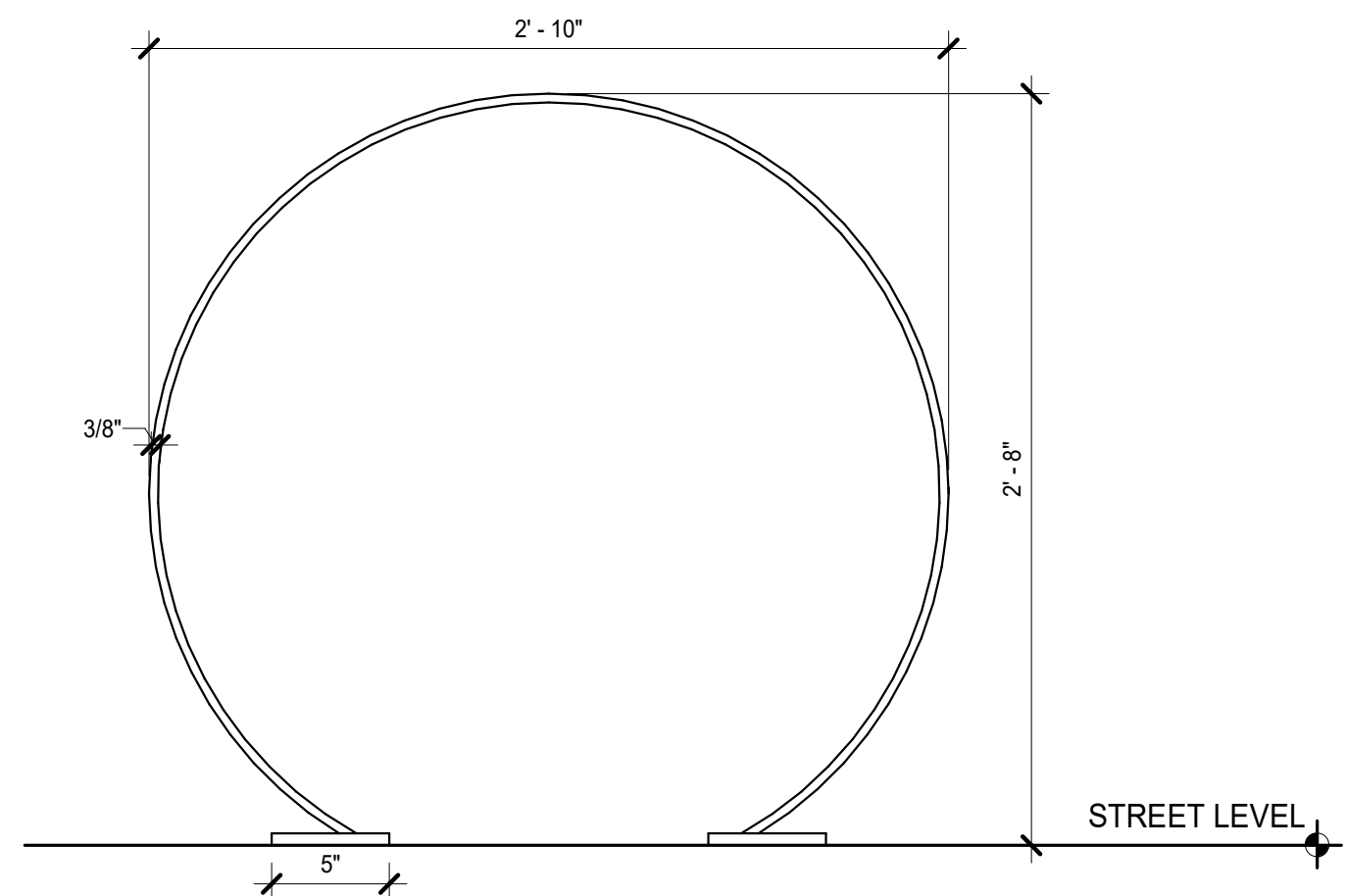
ISSUE	DATE
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SITE PLAN
FLOOR 1

SHEET TITLE
SCALE 1/8" = 1'-0"
PROJ NO. 1714 DRAWN BY XX
SHEET SIZE: 30 x 42

2/3/2021 11:33:46 AM



CIRCULAR STANDARD BIKE RACK DETAIL ELEVATION 2
1 1/2" = 1'-0"

WHITE
PAVEMENT
MARKINGS

PLASTIC
FLEXIBLE
POST

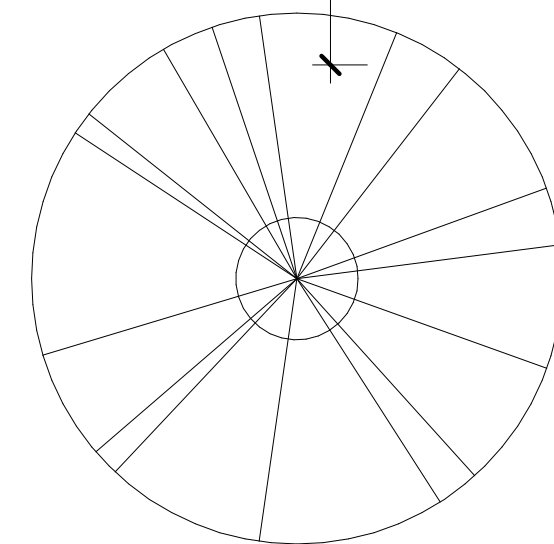
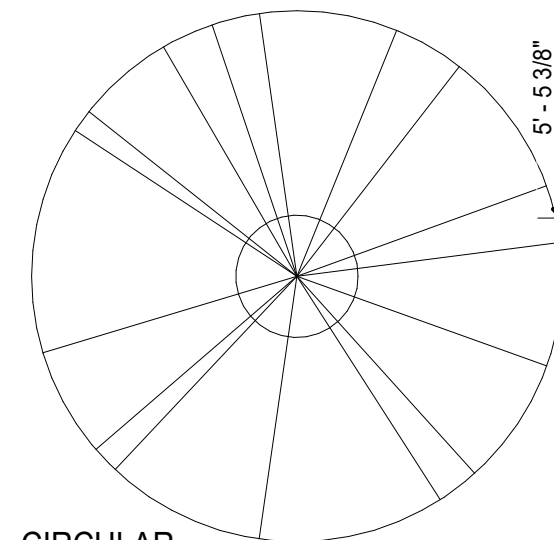
WHITE
PAVEMENT
MARKINGS

BIKE
LANE

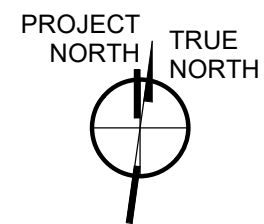
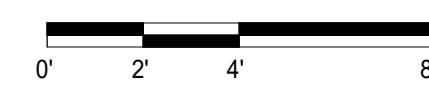

BIKE
LANE


BIKE
LANE


CIRCULAR
STANDARD
BIKE RACK



ENLAGRGD SITE PLAN - FLOOR 1 1
1/4" = 1'-0"



1021 VALENCIA
SAN FRANCISCO, CA

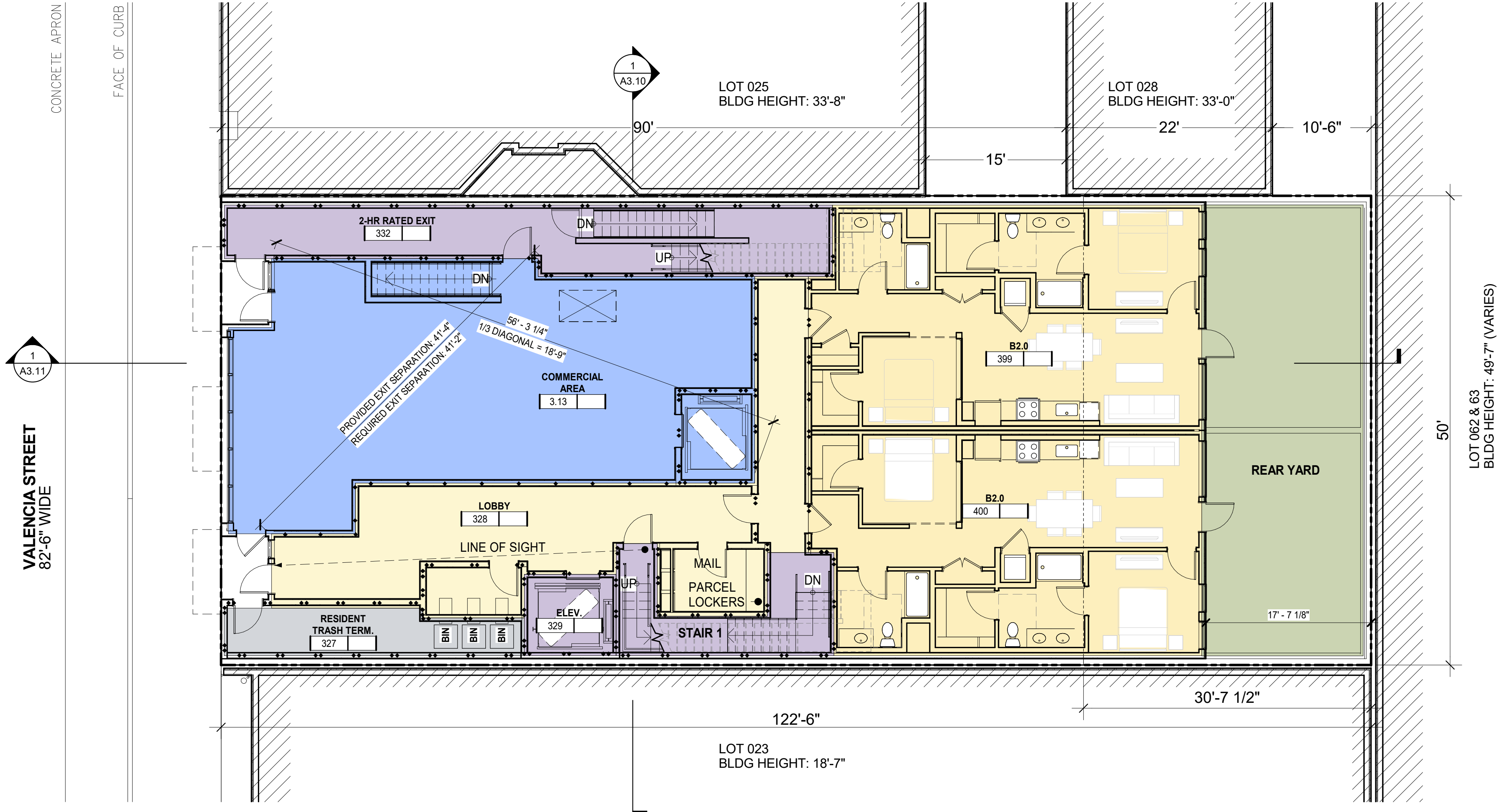
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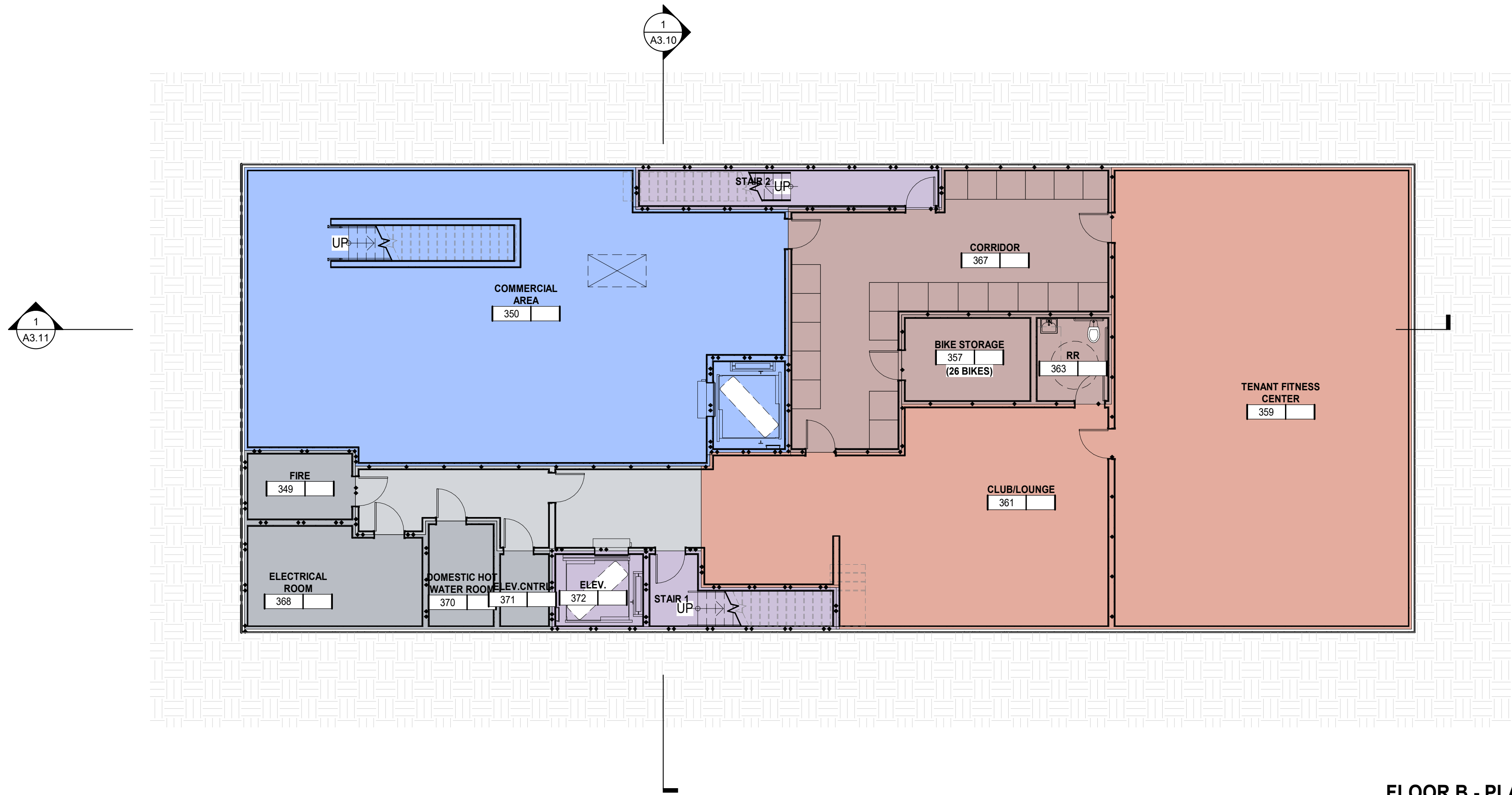
ENLARGED
PARTIAL SITE
PLAN FLOOR 1

SHEET TITLE
SCALE As indicated
PROJ NO. 1714 DRAWN BY XX
SHEET SIZE: 30 X 42

2/4/2024 9:35:14 AM



FLOOR 1 - PLAN 2
1/8" = 1'-0"



FLOOR B - PLAN 1
1/8" = 1'-0"

- BUILDING GROSS AREA**
INCLUDED IN GFA
- DU NET AREA**
INCLUDED IN GFA
- TENANT AMENITY**
INCLUDED IN GFA
- OPERATIONS/STORAGE**
NOT INCLUDED IN GFA
- VERTICAL CIRCULATIONS**
INCLUDED IN GFA
- RETAIL**
NOT INCLUDED IN GFA
- OPEN SPACE**
REFER TO PLANS FOR SF COMPLIANT OPEN SPACE
NOT INCLUDED IN GFA
- MEP/UTILITY**
NOT INCLUDED IN GFA

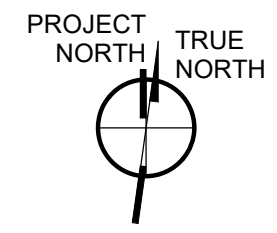
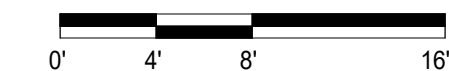
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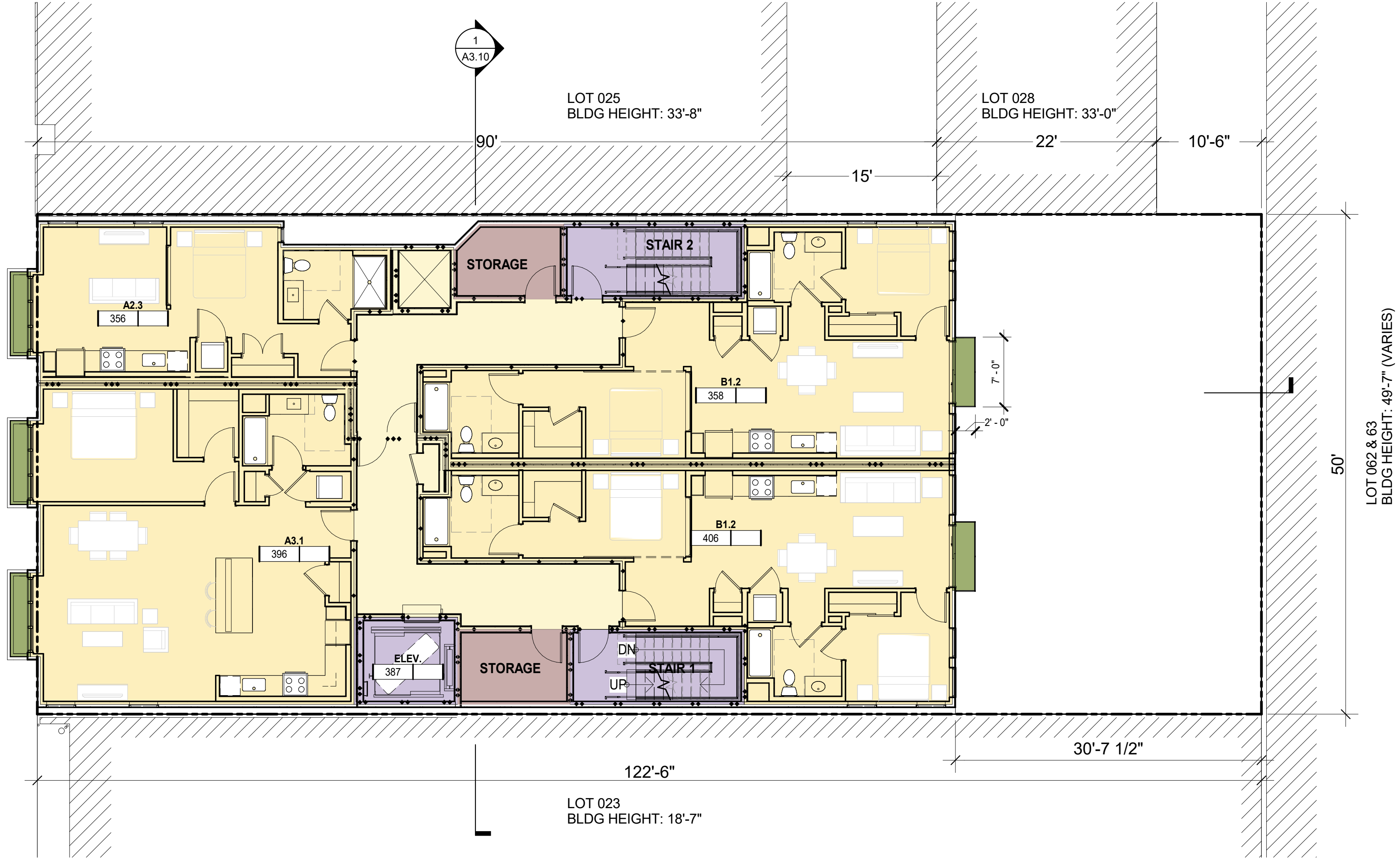
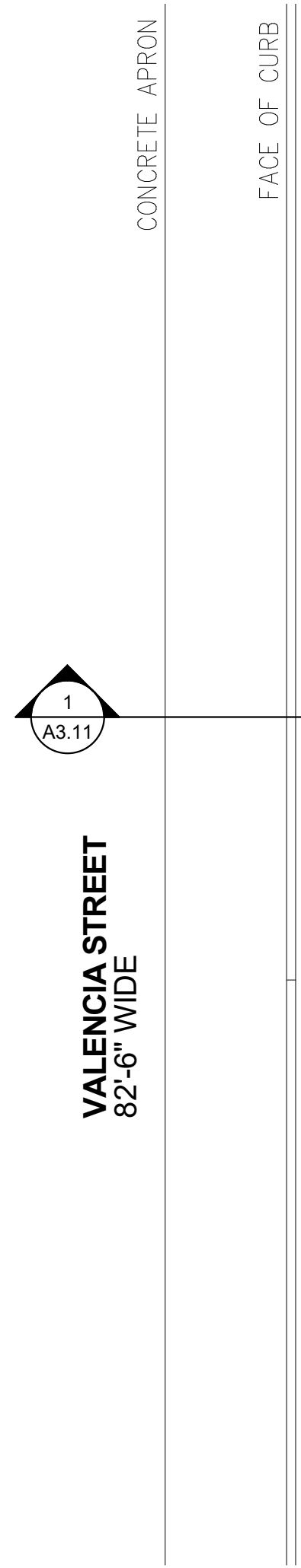
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FLOOR B AND
FLOOR 1 PLAN

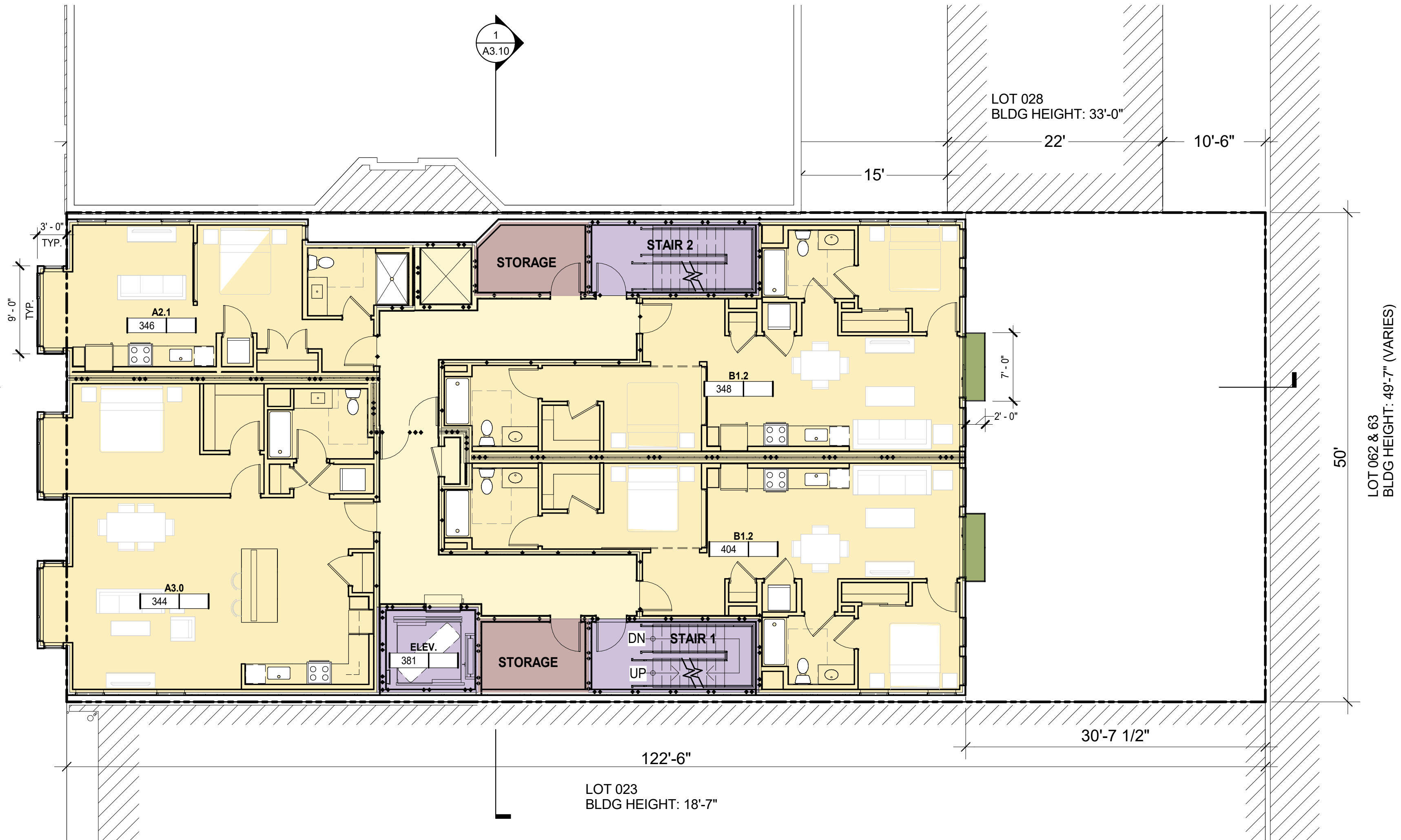
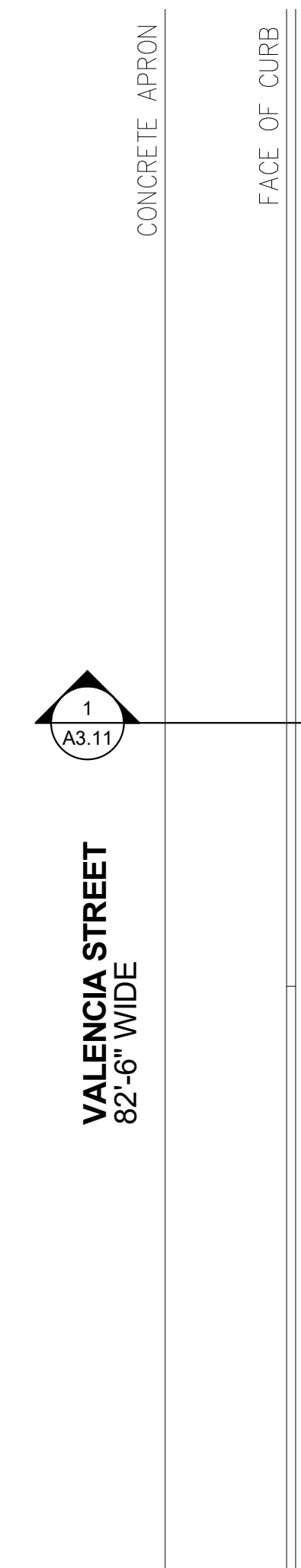
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SCALE 1/8" = 1'-0"
PROJ NO. 1714 DRAWN BY XX
SHEET SIZE: 30 X 42



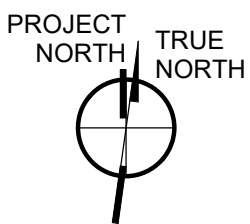


- BUILDING GROSS AREA**
INCLUDED IN GFA
- DU NET AREA**
INCLUDED IN GFA
- TENANT AMENITY**
INCLUDED IN GFA
- OPERATIONS/STORAGE**
NOT INCLUDED IN GFA
- VERTICAL CIRCULATIONS**
INCLUDED IN GFA
- RETAIL**
NOT INCLUDED IN GFA
- OPEN SPACE**
REFER TO PLANS FOR SF COMPLIANT OPEN SPACE
NOT INCLUDED IN GFA
- MEP/UTILITY**
NOT INCLUDED IN GFA

FLOOR 6 - PLAN 2
1/8" = 1'-0"



FLOOR 4-5 - PLAN 1
1/8" = 1'-0"



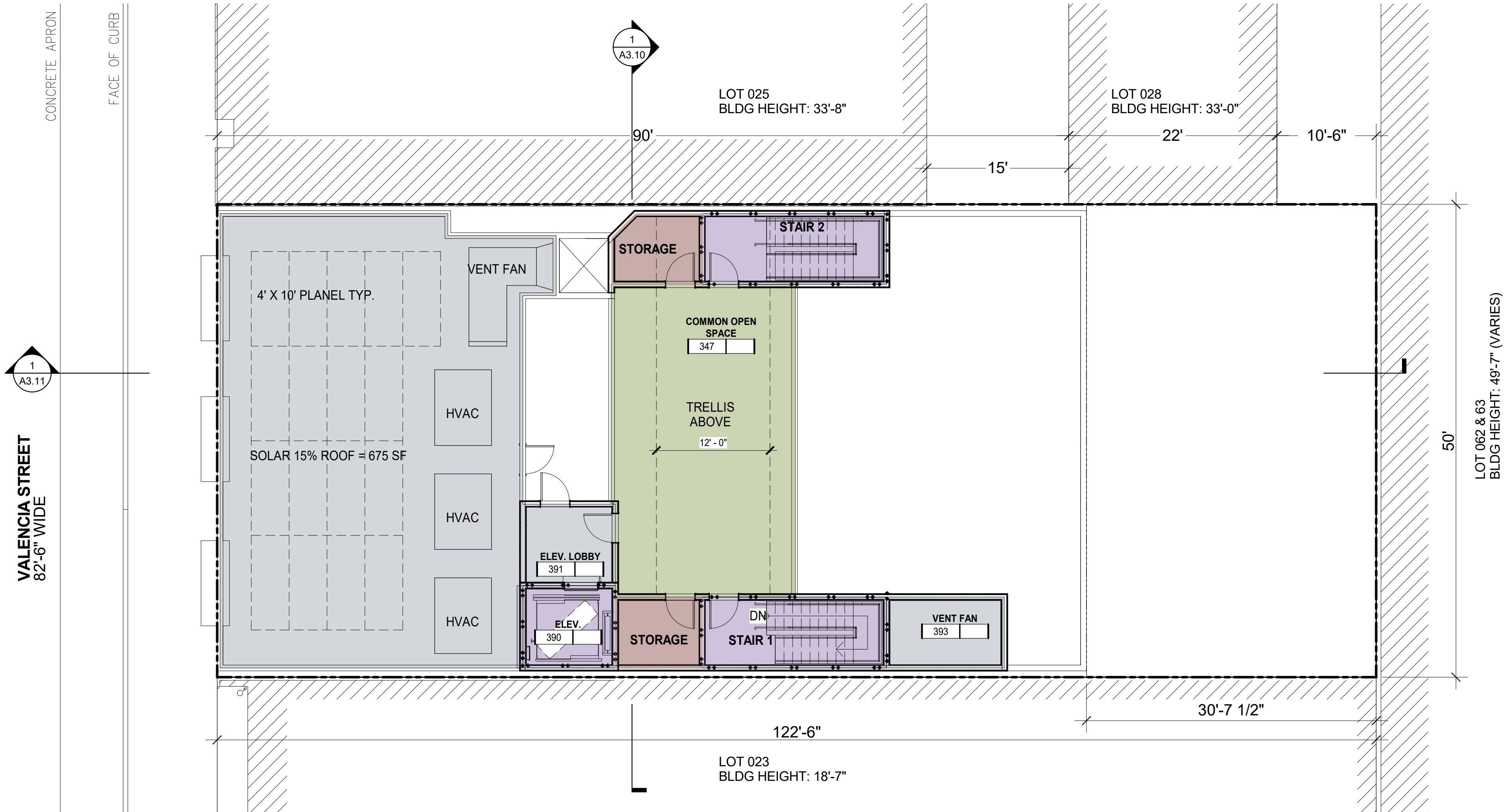
1021 VALENCIA
SAN FRANCISCO, CA

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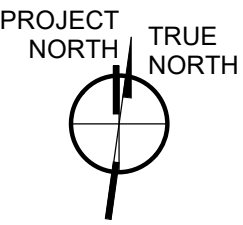
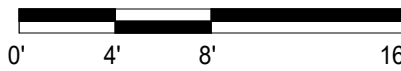
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FLOOR 4-5 AND
FLOOR 6 PLAN

SHEET TITLE
SCALE 1/8" = 1'-0"
PROJ NO. 1714 DRAWN BY XX
SHEET SIZE: 30 x 42



ROOF PLAN 1
1/8" = 1'-0"



- BUILDING GROSS AREA**
INCLUDED IN GFA
- DU NET AREA**
INCLUDED IN GFA
- TENANT AMENITY**
INCLUDED IN GFA
- OPERATIONS/STORAGE**
NOT INCLUDED IN GFA
- VERTICAL CIRCULATIONS**
INCLUDED IN GFA
- RETAIL**
NOT INCLUDED IN GFA
- OPEN SPACE**
REFER TO PLANS FOR SF COMPLIANT OPEN SPACE
NOT INCLUDED IN GFA
- MEP/UTILITY**
NOT INCLUDED IN GFA

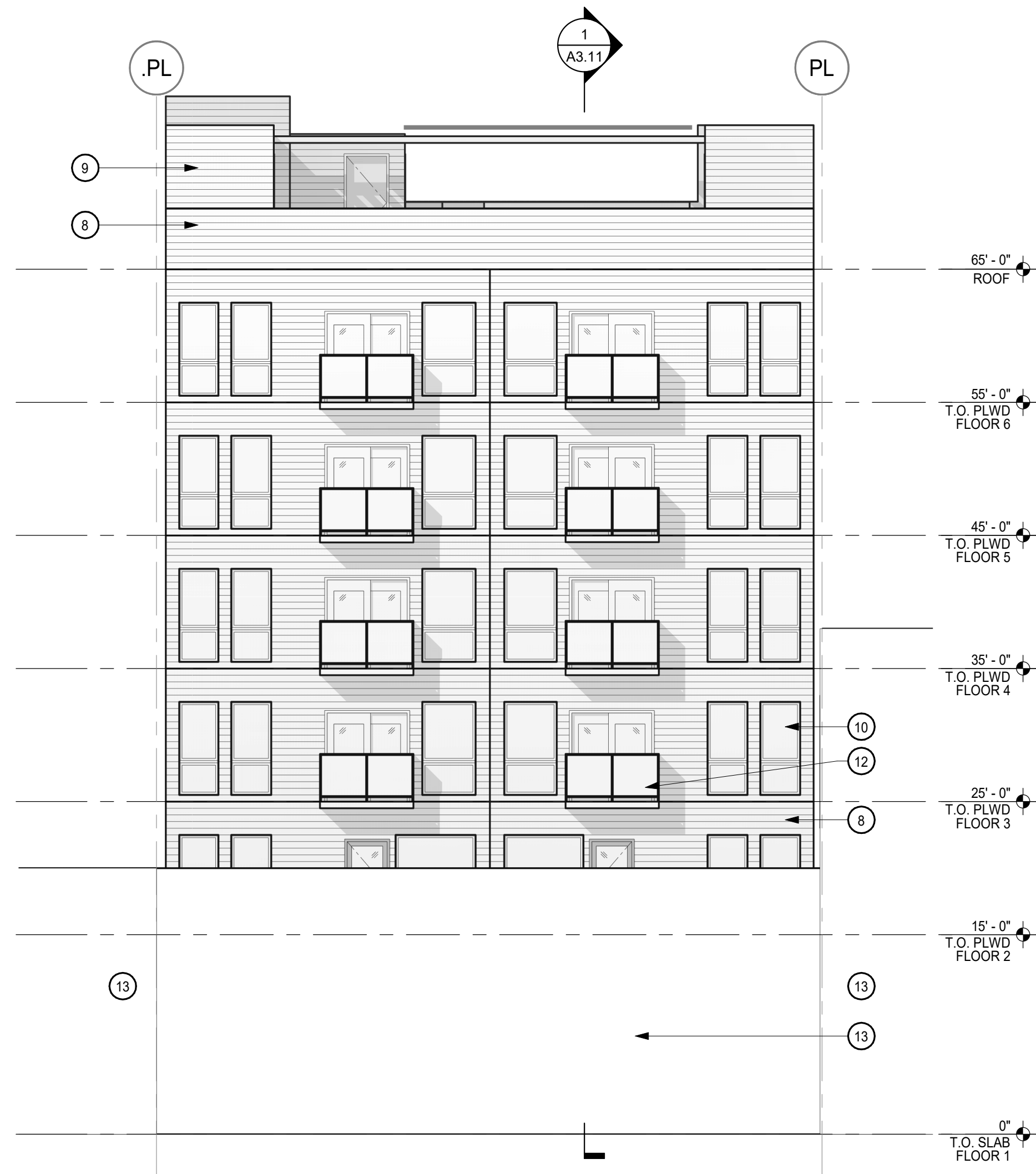
1021 VALENCIA
SAN FRANCISCO, CA

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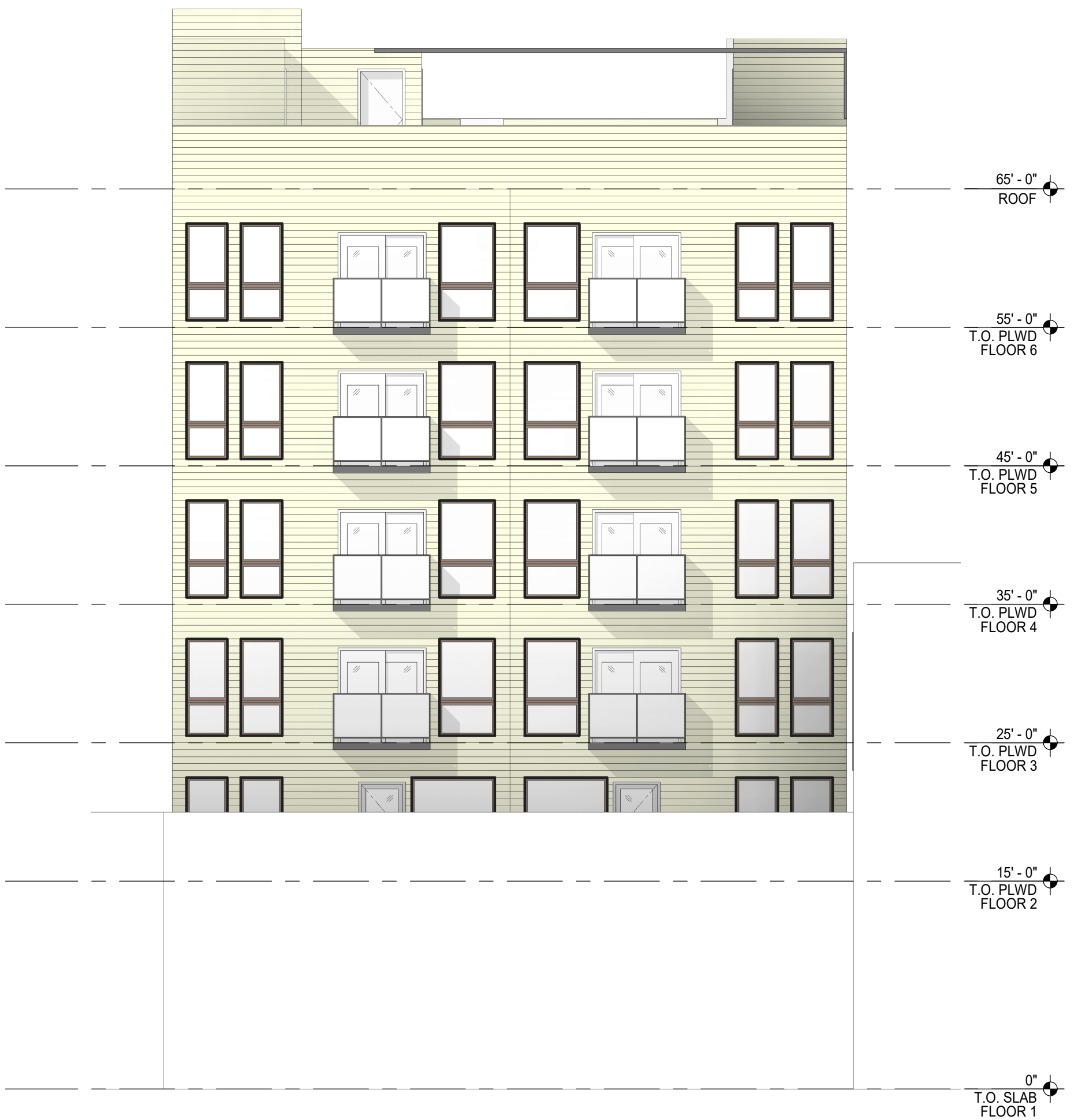
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ROOF PLAN

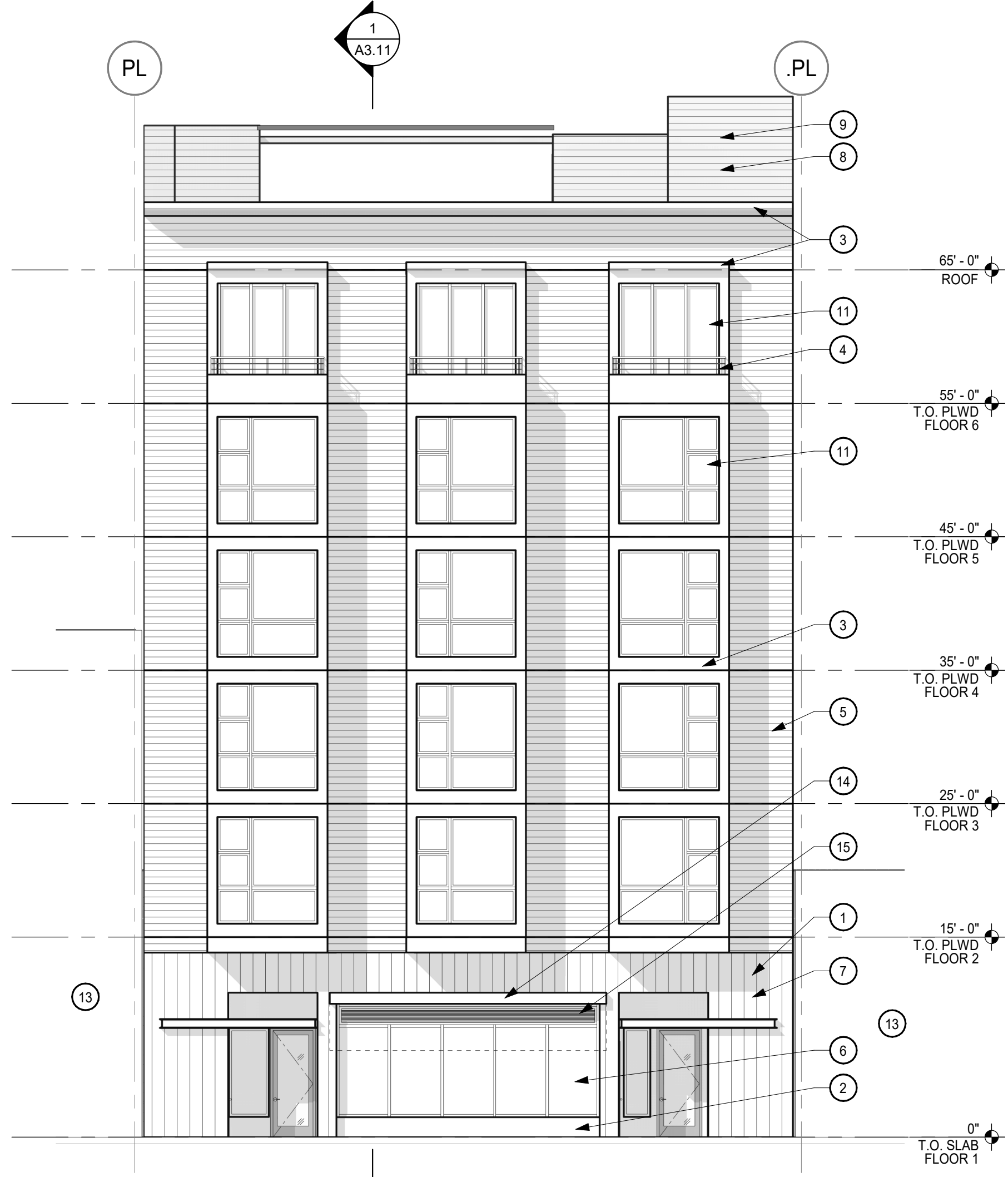
SHEET TITLE
SCALE 1/8" = 1'-0"
PROJ NO. 1714 DRAWN BY XX
SHEET SIZE: 30 X 42



BUILDING ELEVATION - EAST 4
1/8" = 1'-0"



BUILDING ELEVATION - EAST 3
1/8" = 1'-0"



BUILDING ELEVATION - WEST 2
1/8" = 1'-0"



BUILDING ELEVATION - WEST 1
1/8" = 1'-0"

GENERAL NOTES

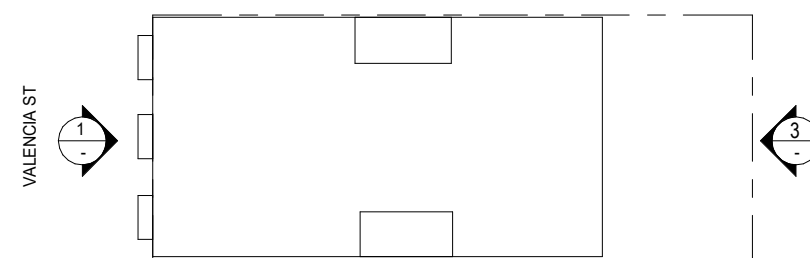
- DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR FOUNDATION WALL, TYP. U.O.N.
- SITE ELEVATION HEIGHT OF 115.5' = 0'-0" DATUM.
SEE A0.2 FOR ACCESSIBILITY AND ADAPTABILITY REQUIREMENTS.
- SEE SHEET A10.0 FOR WALL TYPE SCHEDULE AND TYPICAL ASSEMBLIES.
- SEE LANDSCAPE DRAWINGS FOR INFORMATION REGARDING THE GRADING OF ALL EXTERIOR AREAS. REFER TO 14" STAIR DRAWINGS FOR INFORMATION NOT SHOWN HERE.
- G.C. SHALL COORDINATE PLUMBING & MECHANICAL VENTS TO MINIMIZE ROOF PENETRATIONS AS PERMITTED BY CBC.
- G.C. TO COORD. AND INSTALL VENTING FOR ALL CONCEALED ROOF AREAS AND OTHER EXTRA METAL FRAMED VOIDS.
- ROOF SLOPES NOTED ARE MINIMUMS. ROOF SLOPES OF CRICKETS ARE SHOWN DIAGRAMMATICALLY ON ROOF PLANS AND MAY EXCEED 3/8"/FT TO ACHIEVE PROPER ROOF DRAINAGE AS SHOWN. G.C. TO INCLUDE AND COORDINATE ROOF CRICKETS IN FIELD FOR PROPER DRAINAGE IN ACCORDANCE WITH CODE AND ROOF MANUFACTURER'S WARRANTY.
- G.C. SHALL PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY CBC SECTION 2406 AND AS REQUIRED BY CHAPTER 7.
- G.C. SHALL INCLUDE GSM FLASHING AT ALL MATERIAL TRANSITIONS. ALL GSM FLASHING SHALL BE GALVANIZED OR BONDERIZED AND PAINTED OR RECEIVE COATINGS TO MATCH SURROUNDING MATERIALS.
- CONCRETE CURBS SHALL BE INCLUDED WHETHER INDICATED OR NOT AT ALL LOCATIONS FOR EXT. WATER BREAK.
- THRESHOLDS MUST BE ADA COMPLIANT AT ALL INTERIOR AND EXTERIOR DOORS.
- CONCRETE LEVELING COMPOUND AT DECKS, SHOWERS OR OTHERWISE TO PROVIDE FLUSH LEVEL AND ADA COMPLIANT TRANSITIONS AT DOOR THRESHOLDS TO DECKS AND ADA SHOWERS SHALL INCLUDE, WHETHER SPECIFIED OR NOT, ANY AND ALL ACCESSORIES, COMPONENTS OR OTHER REQUIREMENTS TO PROVIDE A FULLY WARRANTED SYSTEM. MEANING THE G.C. SHALL RETAIN SUBCONTRACTORS THAT ARE SPECIALISTS IN THEIR FIELD AND ARE EXPECTED TO ADD TO THE GMP THESE REQUIREMENTS AND COSTS.
- THE G.C. SHALL INCLUDE IN THE GMP THE LABOR AND MATERIALS TO PROVIDE A COMPLETE COLD FORMED METAL FRAMED AND GYPSUM WALL BOARD WALL AND CEILING SYSTEM. NOT EVERY ASPECT OF EVERY GYPSUM WALLBOARD DETAIL, ACCESSORY, TRANSITION OR TERMINATION DETAIL IS INDICATED IN THE CONTRACT DOCUMENTS.
- ACOUSTIC SEALANT SHALL BE FIRE RATED AND INSTALLED TYPICALLY THROUGHOUT THE PROJECT AS REFERENCED IN THE SPECS, DRAWINGS, AND IN THE ACOUSTICAL REPORTS.
- G.C. TO COORDINATE AND VERIFY ELEVATION OF TOP OF SLAB. GC TO PLACE CONCRETE STEP SUCH THAT FINISH SIDEWALK IS LEVEL W/ T.O.S.
- ALL WINDOWS SHALL BE DOUBLE PANE INSULATING GLASS FILLED WITH ARGON GAS & HAVE A LOW-E COATING. SEE SHEET A10.40 FOR WINDOW SCHEDULE.
- ADDRESS SIGNAGE ON BUILDING ELEVATION ARE TO BE CLEARLY VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. EACH CHARACTER SHALL BE A MINIMUM OF 4" HIGH AND A MINIMUM OF 1/2" WIDE, INSTALLED ON A CONTRASTING BACKGROUND PER CBC 501.2

SHEET NOTES

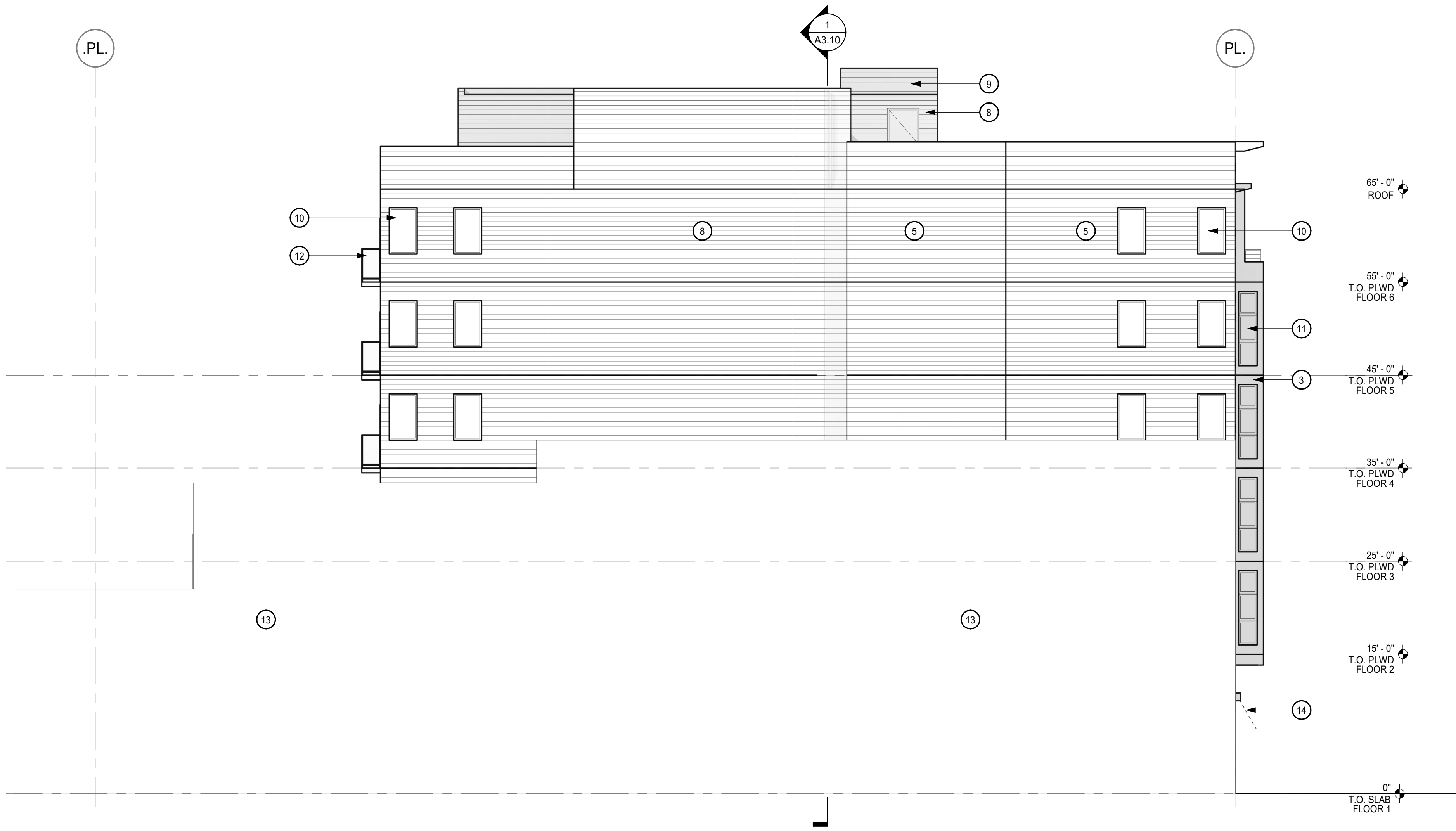
NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

- VERTICAL BOARD FORM CONCRETE - YOSEMITE BROWN BROOMED
- C.I.P CONCRETE
- HARDIE PANEL & TRIM - SMOOTH
- HORIZONTAL BAR METAL GUARDRAIL
- WOOD GRAIN SIDING
- STOREFRONT WINDOW
- METAL AWNING
- FIBER CEMENT HORIZONTAL SIDING
- STAIR/ELEVATOR PENTHOUSE
- VINYL NAIL FIN WINDOW
- ALUMINUM NAIL FIN ARCH BRONZE FINISH
- GLASS GUARDRAILS
- ADJACENT BUILDING
- RETRACTABLE AWNING
- LOUVER

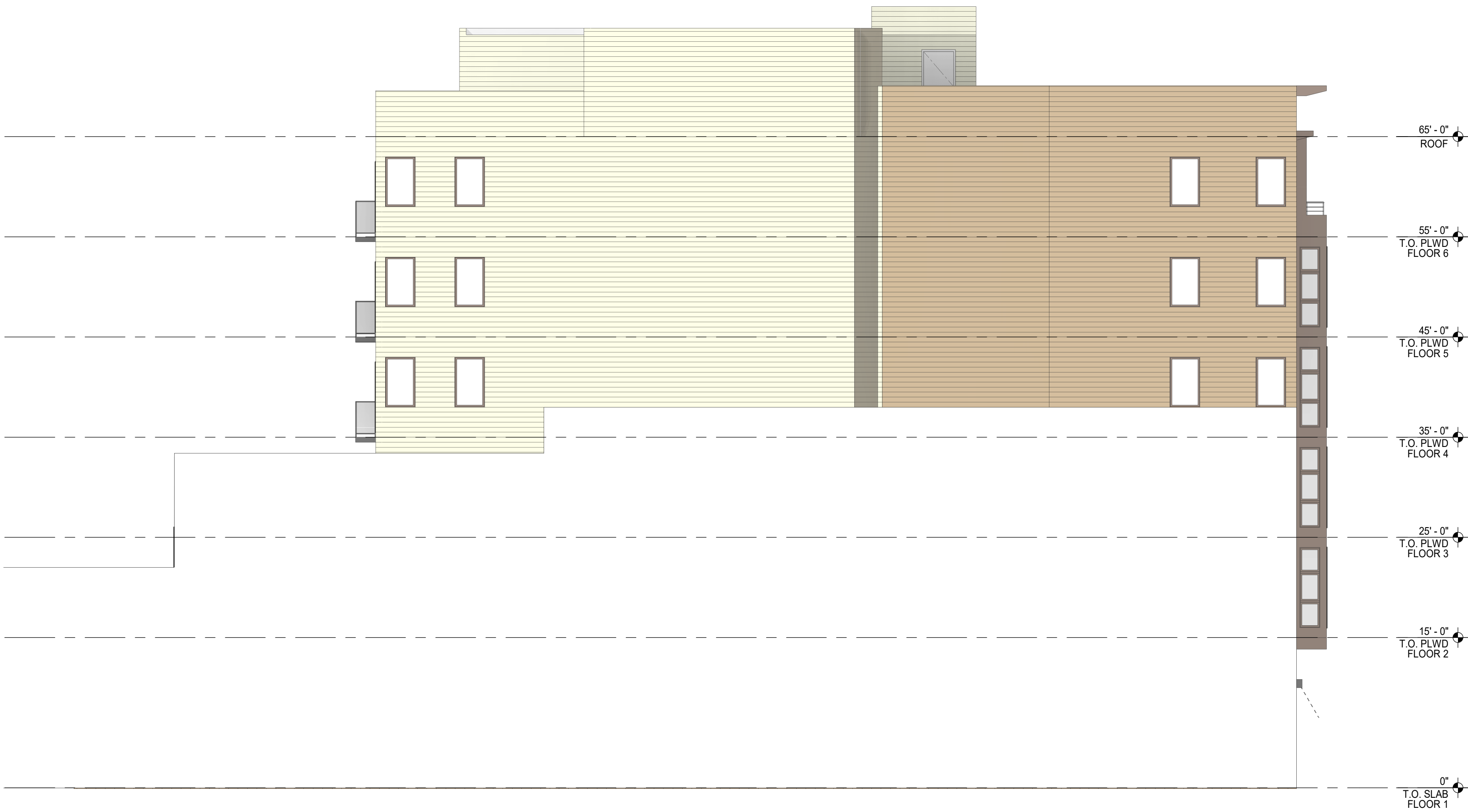
KEY PLAN



ISSUE	DATE
PROJECT APPLICATION RESUBMITTAL	02.26.20
PROJECT APPLICATION RESUBMITTAL	04.06.20
SITE PERMIT	05.29.20
PLANNING SET	02.03.21
	4



BUILDING ELEVATION - NORTH 2
1/8" = 1'-0"

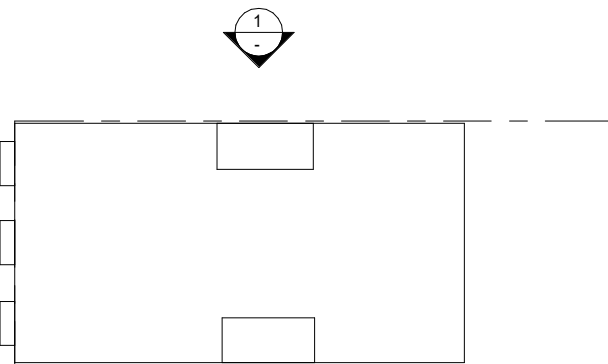


BUILDING ELEVATION - NORTH - MATERIAL 1
1/8" = 1'-0"

- GENERAL NOTES**
- A. DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR FOUNDATION WALL, TYP. U.O.N.
- B. SITE ELEVATION HEIGHT OF 115.5' = 0'-0" DATUM.
- SEE A0.2 FOR ACCESSIBILITY AND ADAPTABILITY REQUIREMENTS.
- C. SEE SHEET A10.0 FOR WALL TYPE SCHEDULE AND TYPICAL ASSEMBLIES.
- D. SEE LANDSCAPE DRAWINGS FOR INFORMATION REGARDING THE GRADING OF ALL EXTERIOR AREAS. REFER TO 1/4" STAIR DRAWINGS FOR INFORMATION NOT SHOWN HERE.
- E. G.C. SHALL COORDINATE PLUMBING & MECHANICAL VENTS TO MINIMIZE ROOF PENETRATIONS AS PERMITTED BY CBC.
- F. G.C. TO COORD. AND INSTALL VENTING FOR ALL CONCEALED ROOF AREAS AND OTHER EXTRA METAL FRAMED VOIDS.
- G. ROOF SLOPES NOTED ARE MINIMUMS. ROOF SLOPES OF CRICKETS ARE SHOWN DIAGRAMMATICALLY ON ROOF PLANS AND MAY EXCEED 3/8"/FT TO ACHIEVE PROPER ROOF DRAINAGE AS SHOWN. G.C. TO INCLUDE AND COORDINATE ROOF CRICKETS IN FIELD FOR PROPER DRAINAGE IN ACCORDANCE WITH CODE AND ROOF MANUFACTURER'S WARRANTY.
- H. G.C. SHALL PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY CBC SECTION 2406 AND AS REQUIRED BY CHAPTER 7.
- I. G.C. SHALL INCLUDE GSM FLASHING AT ALL MATERIAL TRANSITIONS. ALL GSM FLASHING SHALL BE GALVANIZED OR BONDERIZED AND PAINTED OR RECEIVE COATINGS TO MATCH SURROUNDING MATERIALS.
- J. CONCRETE CURBS SHALL BE INCLUDED WHETHER INDICATED OR NOT AT ALL LOCATIONS FOR EXT. WATER BREAK.
- K. THRESHOLDS MUST BE ADA COMPLIANT AT ALL INTERIOR AND EXTERIOR DOORS.
- L. CONCRETE LEVELING COMPOUND AT DECKS, SHOWERS OR OTHERWISE TO PROVIDE FLUSH LEVEL AND ADA COMPLIANT TRANSITIONS AT DOOR THRESHOLDS TO DECKS AND ADA SHOWERS SHALL INCLUDE. WHETHER SPECIFIED OR NOT, ANY AND ALL ACCESSORIES, COMPONENTS OR OTHER REQUIREMENTS TO PROVIDE A FULLY WARRANTED SYSTEM. MEANING THE G.C. SHALL RETAIN SUBCONTRACTORS THAT ARE SPECIALISTS IN THEIR FIELD AND ARE EXPECTED TO ADD TO THE GMP THESE REQUIREMENTS AND COSTS.
- M. THE G.C. SHALL INCLUDE IN THE GMP THE LABOR AND MATERIALS TO PROVIDE A COMPLETE COLD FORMED METAL FRAMED AND GYPSUM WALL BOARD WALL AND CEILING SYSTEM. NOT EVERY ASPECT OF EVERY GYPSUM WALLBOARD DETAIL, ACCESSORY, TRANSITION OR TERMINATION DETAIL IS INDICATED IN THE CONTRACT DOCUMENTS.
- N. ACOUSTIC SEALANT SHALL BE FIRE RATED AND INSTALLED TYPICALLY THROUGHOUT THE PROJECT AS REFERENCED IN THE SPECS, DRAWINGS, AND IN THE ACOUSTICAL REPORTS.
- O. G.C. TO COORDINATE AND VERIFY ELEVATION OF TOP OF SLAB. GC TO PLACE CONCRETE STEP SUCH THAT FINISH SIDEWALK IS LEVEL W/ T.O.S.
- P. ALL WINDOWS SHALL BE DOUBLE PANE INSULATING GLASS FILLED WITH ARGON GAS & HAVE A LOW-E COATING. SEE SHEET A10.40 FOR WINDOW SCHEDULE.
- Q. ADDRESS SIGNAGE ON BUILDING ELEVATION ARE TO BE CLEARLY VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. EACH CHARACTER SHALL BE A MINIMUM OF 4" HIGH AND A MINIMUM OF 1/2" WIDE. INSTALLED ON A CONTRASTING BACKGROUND PER CBC 501.2

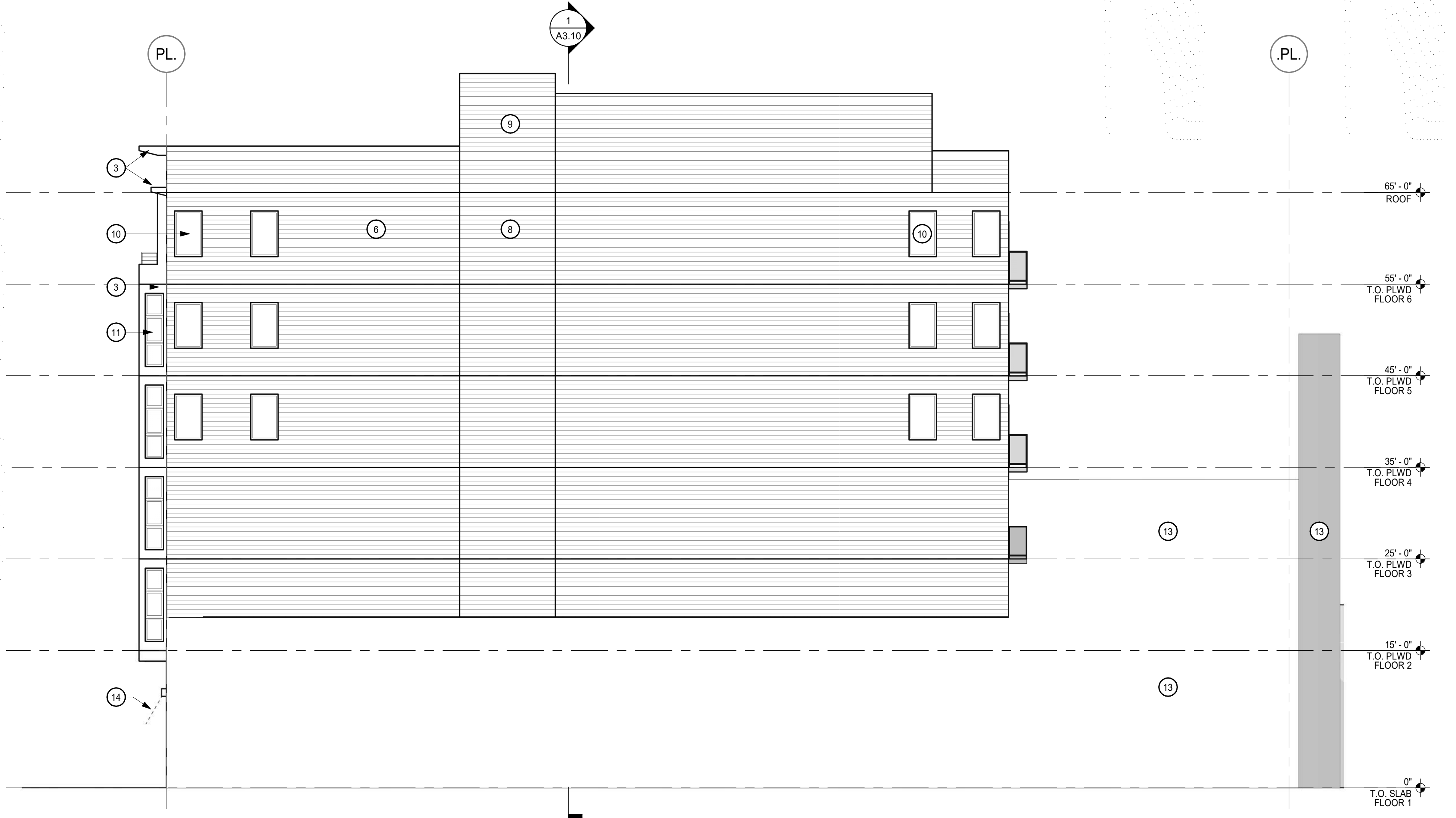
- SHEET NOTES**
- NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.**
- 1 VERTICAL BOARD FORM CONCRETE - YOSEMITE BROWN BROOM
- 2 C.I.P CONCRETE
- 3 HARDIE PANEL & TRIM - SMOOTH
- 4 HORIZONTAL BAR METAL GUARDRAIL
- 5 WOOD GRAIN SIDING
- 6 STOREFRONT WINDOW
- 7 METAL AWNING
- 8 FIBER CEMENT HORIZONTAL SIDING
- 9 STAIR/ELEVATOR PENTHOUSE
- 10 VINYL NAIL FIN WINDOW
- 11 ALUMINUM NAIL FIN ARCH BRONZE FINISH
- 12 GLASS GUARDRAILS
- 13 ADJACENT BUILDING
- 14 RETRACTABLE AWNING
- 15 LOUVER

KEY PLAN



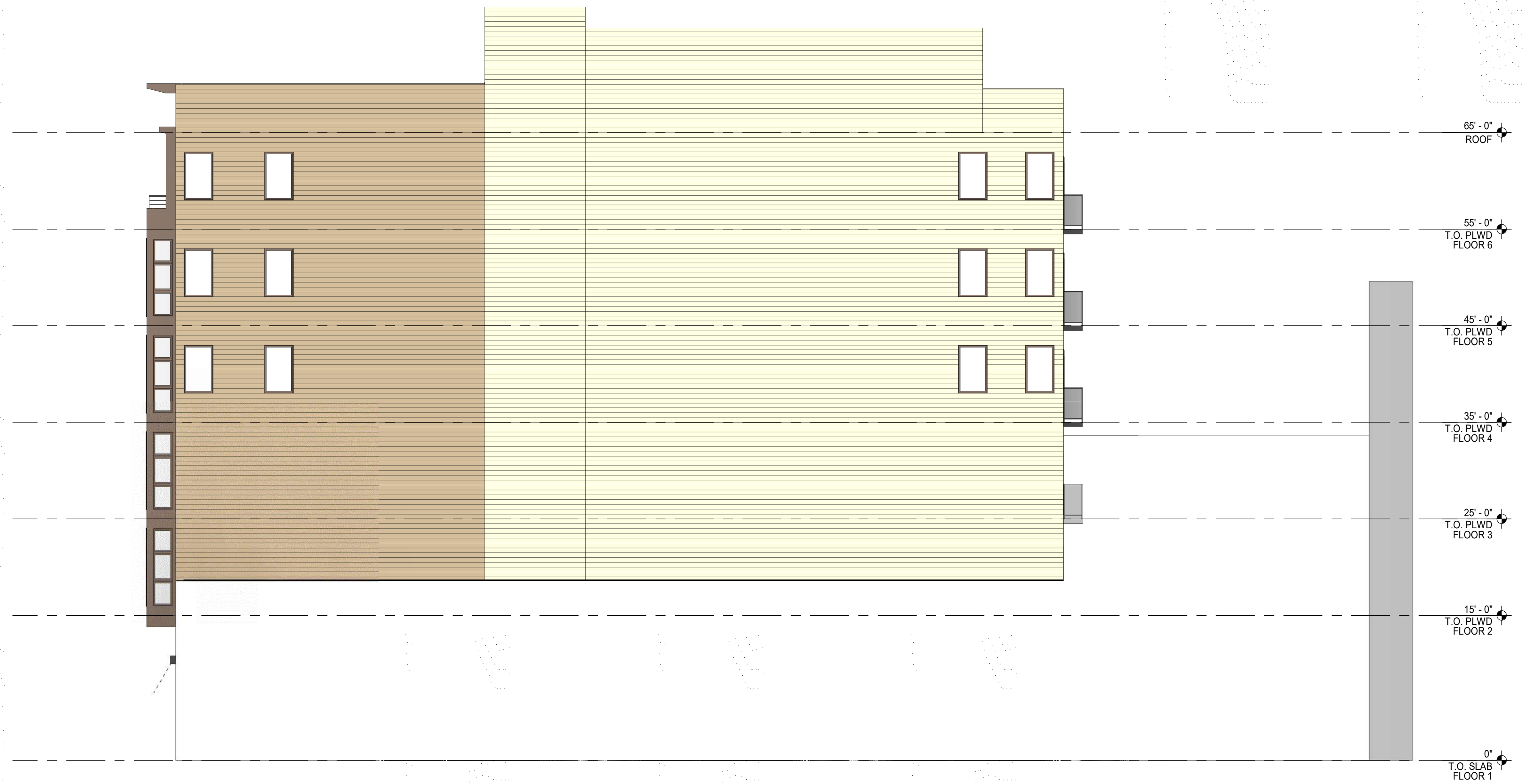
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2/3/2021 11:34:52 AM



BUILDING ELEVATION - SOUTH 2

1/8" = 1'-0"



BUILDING ELEVATION - SOUTH 1

1/8" = 1'-0"

GENERAL NOTES

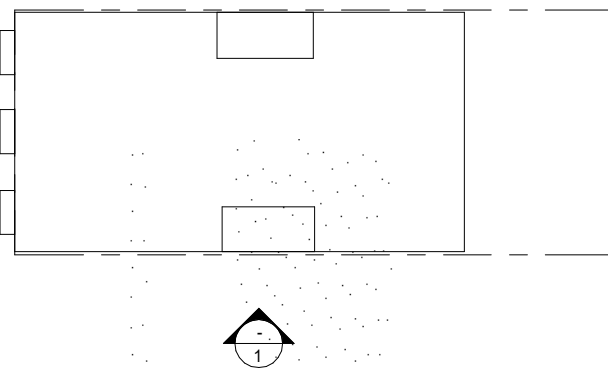
- A. DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR FOUNDATION WALL, TYP. U.O.N.
- B. SITE ELEVATION HEIGHT OF 115.5' = 0'-0" DATUM.
SEE A0.2 FOR ACCESSIBILITY AND ADAPTABILITY REQUIREMENTS.
- C. SEE SHEET A10.0 FOR WALL TYPE SCHEDULE AND TYPICAL ASSEMBLIES.
- D. SEE LANDSCAPE DRAWINGS FOR INFORMATION REGARDING THE GRADING OF ALL EXTERIOR AREAS. REFER TO 1/4" STAIR DRAWINGS FOR INFORMATION NOT SHOWN HERE.
- E. G.C. SHALL COORDINATE PLUMBING & MECHANICAL VENTS TO MINIMIZE ROOF PENETRATIONS AS PERMITTED BY CBC.
- F. G.C. TO COORD. AND INSTALL VENTING FOR ALL CONCEALED ROOF AREAS AND OTHER EXTRA METAL FRAMED VOIDS.
- G. ROOF SLOPES NOTED ARE MINIMUMS. ROOF SLOPES OF CRICKETS ARE SHOWN DIAGRAMMATICALLY ON ROOF PLANS AND MAY EXCEED 3/8"/FT TO ACHIEVE PROPER ROOF DRAINAGE AS SHOWN. G.C. TO INCLUDE AND COORDINATE ROOF CRICKETS IN FIELD FOR PROPER DRAINAGE IN ACCORDANCE WITH CODE AND ROOF MANUFACTURER'S WARRANTY.
- H. G.C. SHALL PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY CBC SECTION 2406 AND AS REQUIRED BY CHAPTER 7.
- I. G.C. SHALL INCLUDE GSM FLASHING AT ALL MATERIAL TRANSITIONS. ALL GSM FLASHING SHALL BE GALVANIZED OR BONDERIZED AND PAINTED OR RECEIVE COATINGS TO MATCH SURROUNDING MATERIALS.
- J. CONCRETE CURBS SHALL BE INCLUDED WHETHER INDICATED OR NOT AT ALL LOCATIONS FOR EXT. WATER BREAK.
- K. THRESHOLDS MUST BE ADA COMPLIANT AT ALL INTERIOR AND EXTERIOR DOORS.
- L. CONCRETE LEVELING COMPOUND AT DECKS, SHOWERS OR OTHERWISE TO PROVIDE FLUSH LEVEL AND ADA COMPLIANT TRANSITIONS AT DOOR THRESHOLDS TO DECKS AND ADA SHOWERS SHALL INCLUDE, WHETHER SPECIFIED OR NOT, ANY AND ALL ACCESSORIES, COMPONENTS OR OTHER REQUIREMENTS TO PROVIDE A FULLY WARRANTED SYSTEM. MEANING THE G.C. SHALL RETAIN SUBCONTRACTORS THAT ARE SPECIALISTS IN THEIR FIELD AND ARE EXPECTED TO ADD TO THE GMP THESE REQUIREMENTS AND COSTS.
- M. THE G.C. SHALL INCLUDE IN THE GMP THE LABOR AND MATERIALS TO PROVIDE A COMPLETE COLD FORMED METAL FRAMED AND GYPSUM WALL BOARD WALL AND CEILING SYSTEM. NOT EVERY ASPECT OF EVERY GYPSUM WALLBOARD DETAIL, ACCESSORY, TRANSITION OR TERMINATION DETAIL IS INDICATED IN THE CONTRACT DOCUMENTS.
- N. ACOUSTIC SEALANT SHALL BE FIRE RATED AND INSTALLED TYPICALLY THROUGHOUT THE PROJECT AS REFERENCED IN THE SPECS, DRAWINGS, AND IN THE ACOUSTICAL REPORTS.
- O. G.C. TO COORDINATE AND VERIFY ELEVATION OF TOP OF SLAB. GC TO PLACE CONCRETE STEP SUCH THAT FINISH SIDEWALK IS LEVEL W/ T.O.S.
- P. ALL WINDOWS SHALL BE DOUBLE PANE INSULATING GLASS FILLED WITH ARGON GAS & HAVE A LOW-E COATING. SEE SHEET A10.40 FOR WINDOW SCHEDULE.
- Q. ADDRESS SIGNAGE ON BUILDING ELEVATION ARE TO BE CLEARLY VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. EACH CHARACTER SHALL BE A MINIMUM OF 4" HIGH AND A MINIMUM OF 1/2" WIDE, INSTALLED ON A CONTRASTING BACKGROUND PER CBC 501.2

SHEET NOTES

NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

- 1 VERTICAL BOARD FORM CONCRETE - YOSEMITE BROWN BROOM
- 2 C.I.P. CONCRETE
- 3 HARDIE PANEL & TRIM - SMOOTH
- 4 HORIZONTAL BAR METAL GUARDRAIL
- 5 WOOD GRAIN SIDING
- 6 STOREFRONT WINDOW
- 7 METAL AWNING
- 9 FIBER CEMENT HORIZONTAL SIDING
- 9 STAIR/ELEVATOR PENTHOUSE
- 10 VINYL NAIL FIN WINDOW
- 11 ALUMINUM NAIL FIN ARCH BRONZE FINISH
- 12 GLASS GUARDRAILS
- 13 ADJACENT BUILDING
- 14 RETRACTABLE AWNING
- 15 LOUVER

KEY PLAN



PROJECT NORTH
TRUE NORTH

ISSUE	DATE
PROJECT APPLICATION	02.13.19
PROJECT APPLICATION RESUBMITTAL	02.26.20
PROJECT APPLICATION RESUBMITTAL	04.06.20
SITE PERMIT	05.29.20
PLANNING SET	02.04.21

2/3/2021 11:34:55 AM



PERSPECTIVE 4 4
12" = 1'-0"



PERSPECTIVE 2 2
12" = 1'-0"



PERSPECTIVE 3 3
12" = 1'-0"



PERSPECTIVE 1 1
12" = 1'-0"

SHEET NOTES

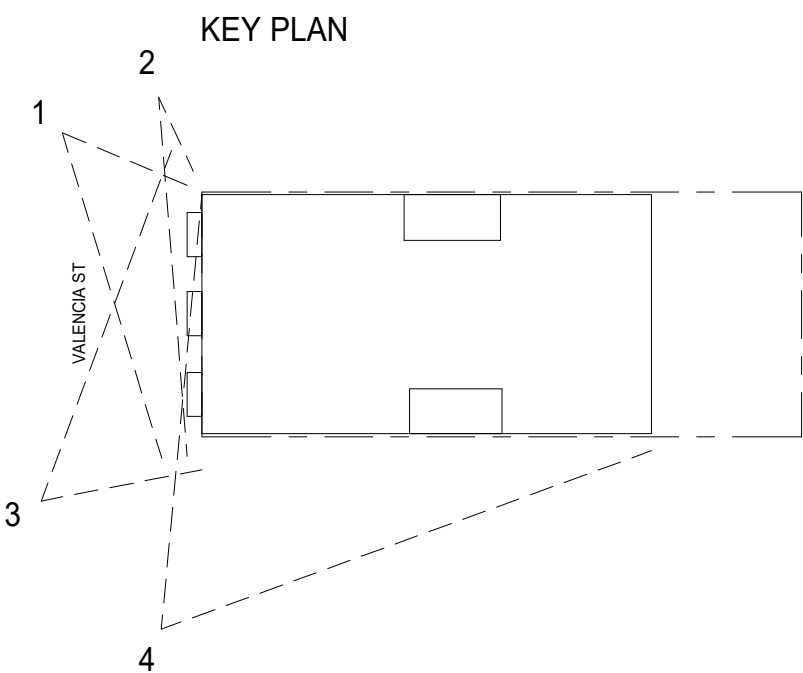
- 1 VERTICAL BOARD FORM CONCRETE- YOSEMITE BROWN BROOMED
- 2 C.I.P. CONCRETE
- 3 HARDIE PANEL & TRIM - SMOOTH
- 4 HORIZONTAL BAR METAL GUARDRAIL
- 5 HORIZONTAL PHENOLIC WOOD SIDING, LONGBOARD OR EQUAL
- 6 STOREFRONT WINDOW
- 7 METAL AWNING
- 8 HARDIE: ARTISAN V-RUSTIC OR LAP SIDING
- 9 STAIR/ELEVATOR PENTHOUSE
- 10 VINYL NAIL FIN WINDOW
- 11 ALUMINUM NAIL FIN ARCH BRONZE FINISH WINDOW
- 12 METAL GUARDRAILS
- 13 ADJACENT BUILDING

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EXTERIOR
PERSPECTIVES
& MATERIALS

SHEET TITLE
SCALE As indicated
PROJ NO. 1714 DRAWN BY XX
SHEET SIZE: 30 x 42



2/3/2021 11:34:54 AM



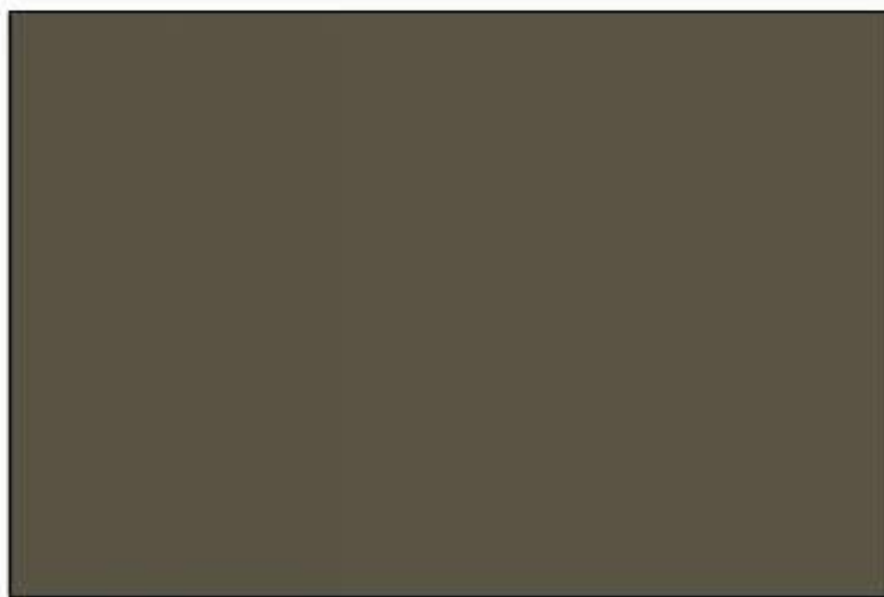
METAL AWNING 8



HORIZONTAL METAL RAILING 7



PAINT - 'CAPE MAY COBBLESTONE' 6B



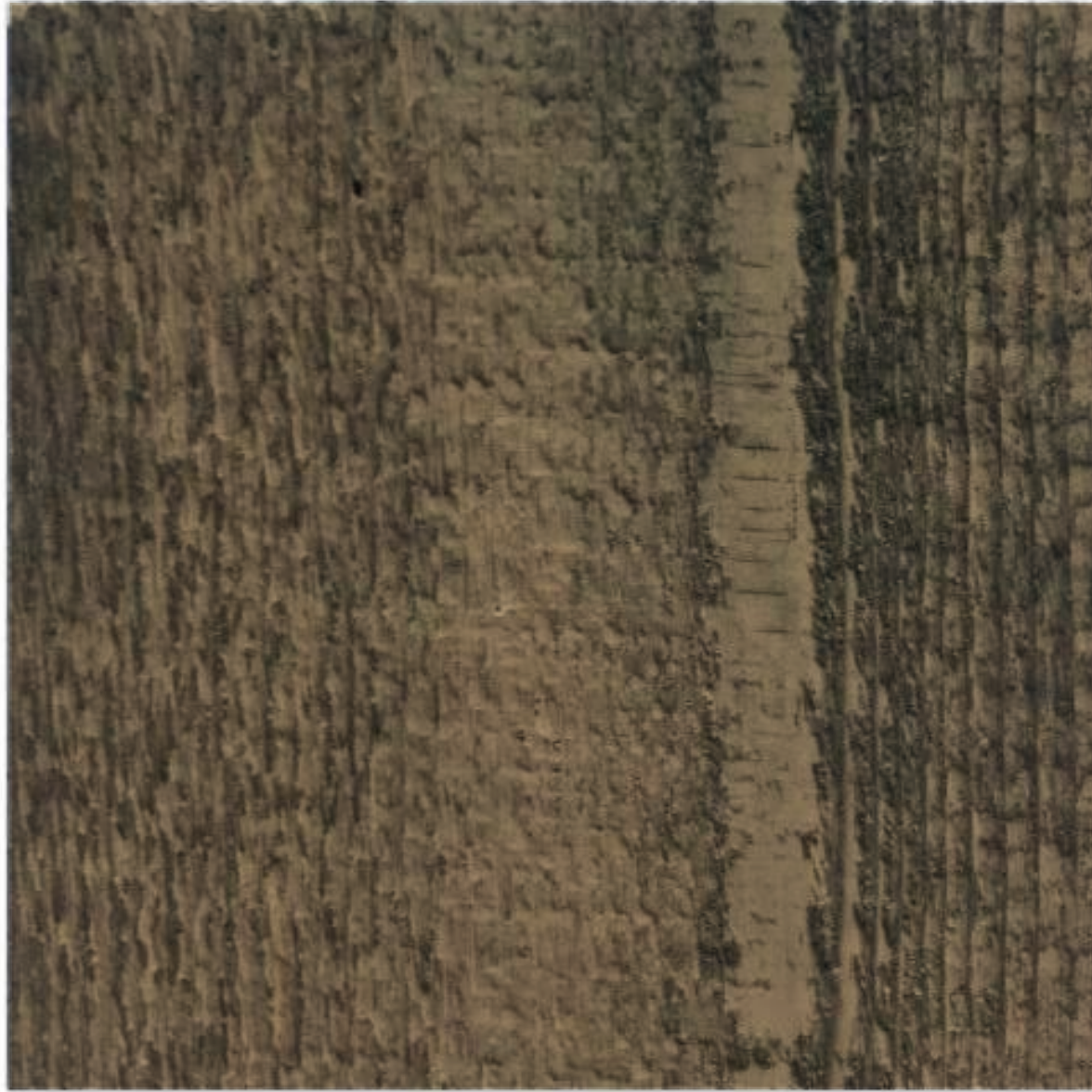
PAINT - 'MUDDLED BASIL' 6A



FIBER CEMENT PANEL SIDING 5



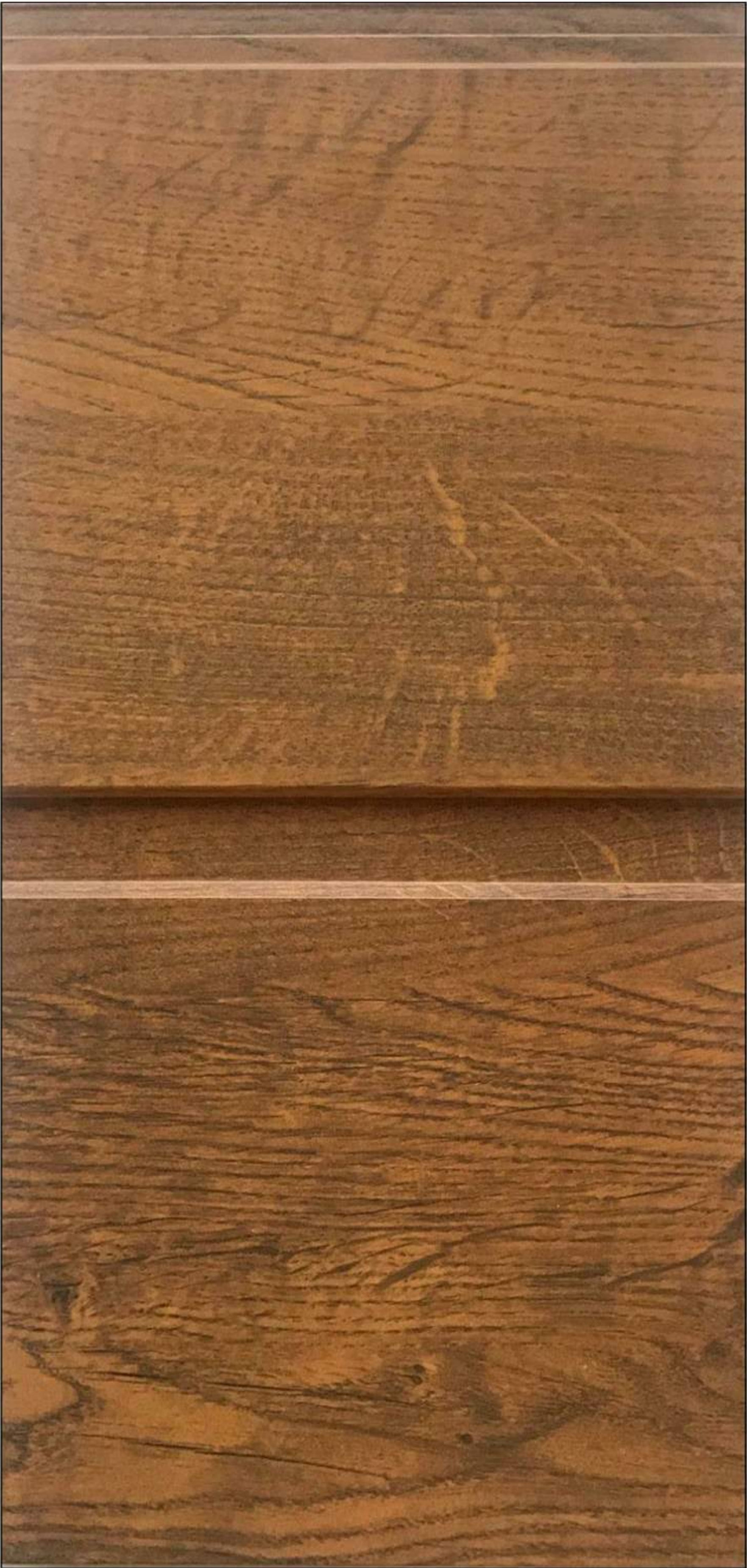
ALUMINUM NAIL FIN WINDOWS - 'ARCHITECTURAL BRONZE' 4



BOARD FORM CONCRETE (SAMPLE FOR TEXTURE ONLY) 3



FIBER CEMENT HORIZONTAL SIDING (SAMPLE FOR TEXTURE ONLY) 2



WOODGRAIN ALUMINUM SIDING - 'LIGHT ANTIQUE OAK' 1

1021 VALENCIA
SAN FRANCISCO, CA

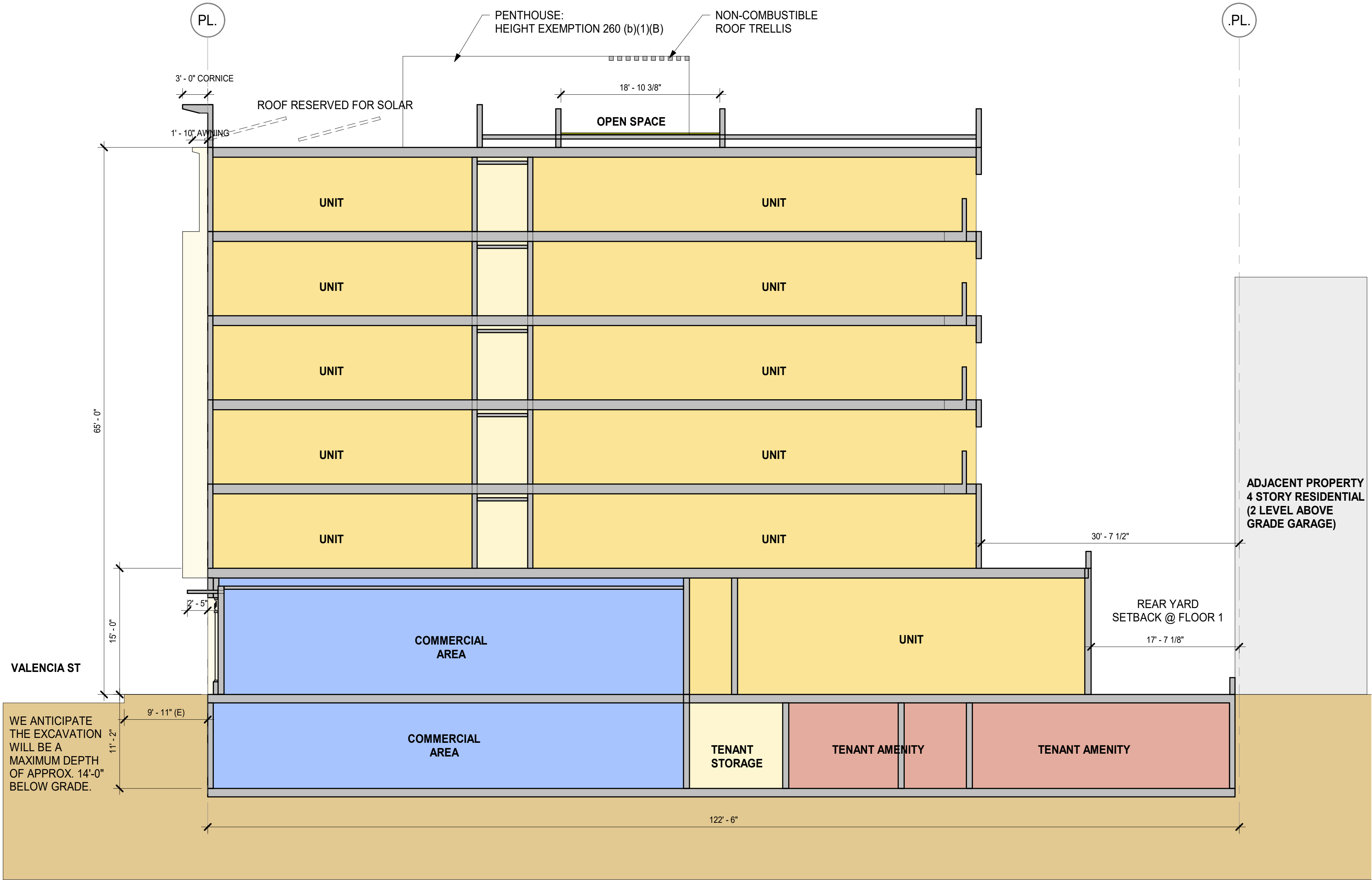
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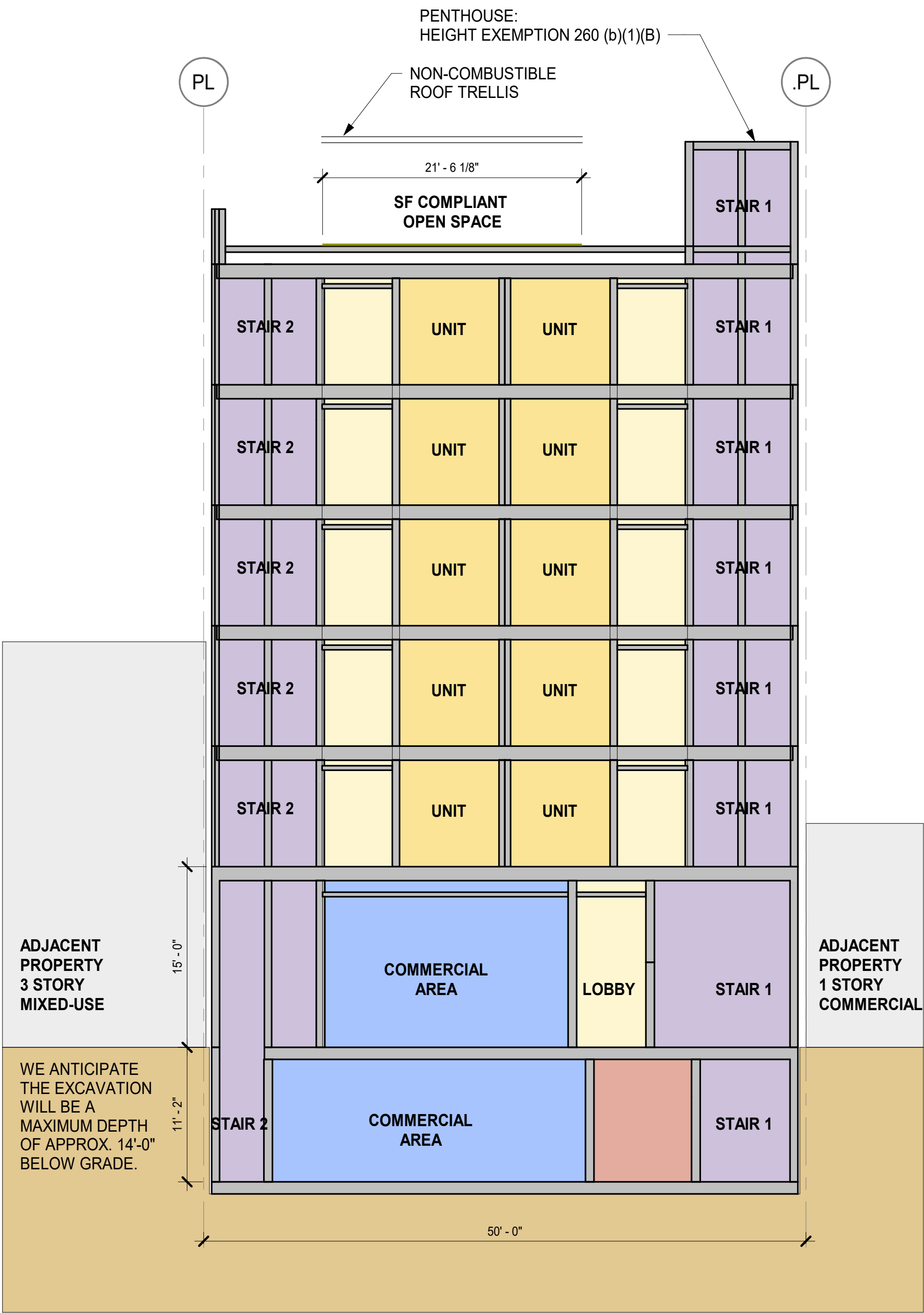
MATERIAL
BOARD

SHEET TITLE
SCALE 1/8" = 1'-0"
PROJ NO. 1714 DRAWN BY XX
SHEET SIZE: 30 X 42

2/28/2020 2:40:03 PM



BUILDING SECTION 2 2
1/8" = 1'-0"



BUILDING SECTION 1 1
1/8" = 1'-0"

- BUILDING GROSS AREA
INCLUDED IN GFA

DU NET AREA
INCLUDED IN GFA

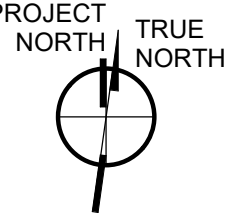
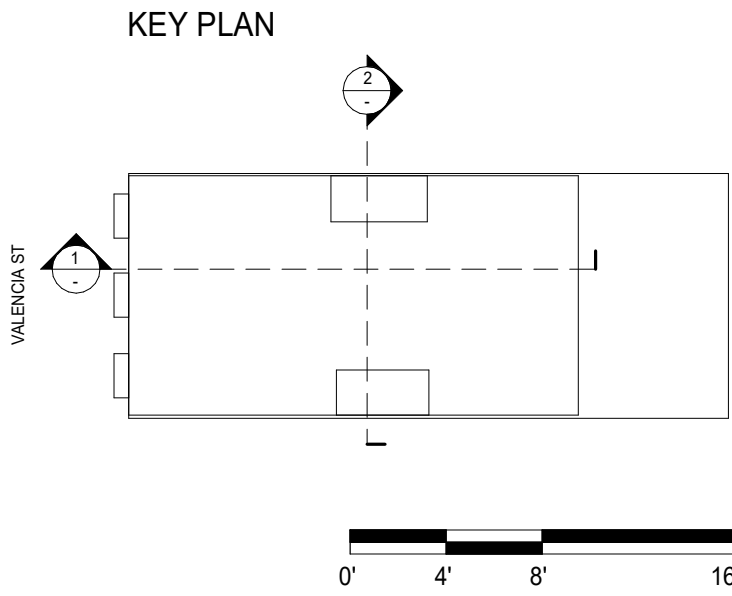
TENANT AMENITY
INCLUDED IN GFA

OPERATIONS/STORAGE
INCLUDED IN GFA
- VERTICAL CIRCULATIONS
INCLUDED IN GFA

RETAIL
NOT INCLUDED IN GFA

OPEN SPACE
REFER TO PLANS FOR SF COMPLIANT OPEN SPACE
NOT INCLUDED IN GFA

MEP/UTILITY
NOT INCLUDED IN GFA



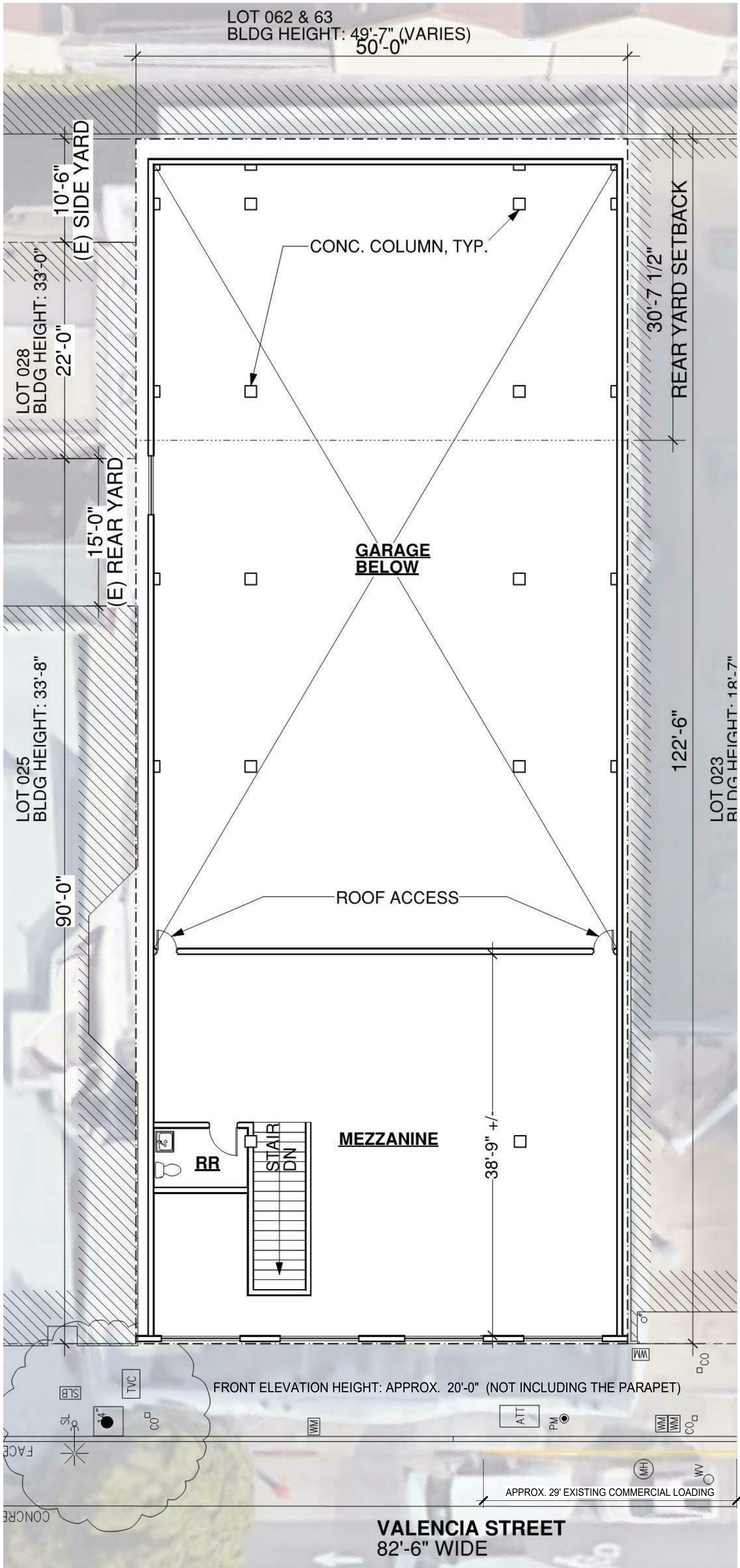
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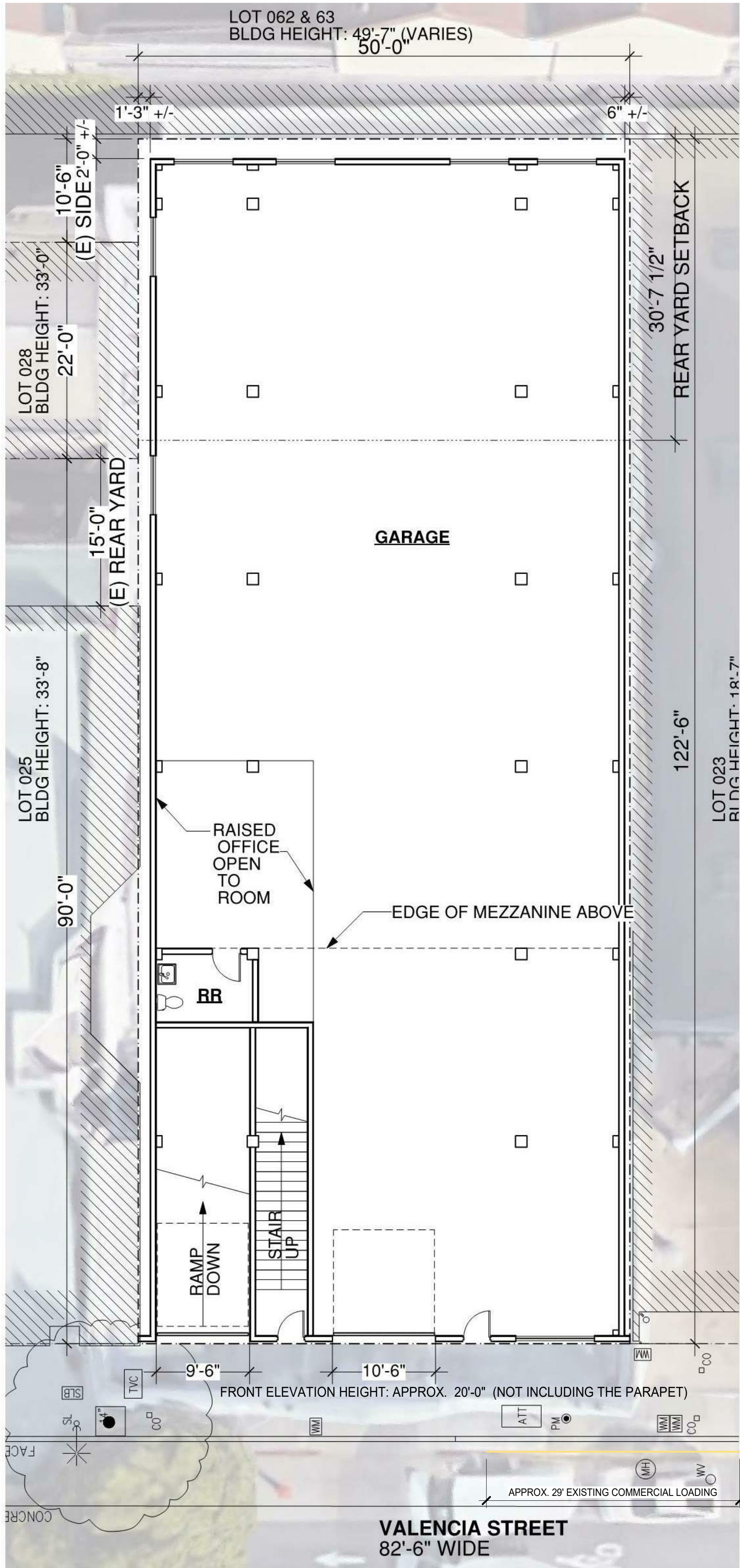
BUILDING
SECTIONS

SHEET TITLE
SCALE 1/8" = 1'-0"
PROJ NO. 1714 DRAWN BY XX
SHEET SIZE: 30 x 42

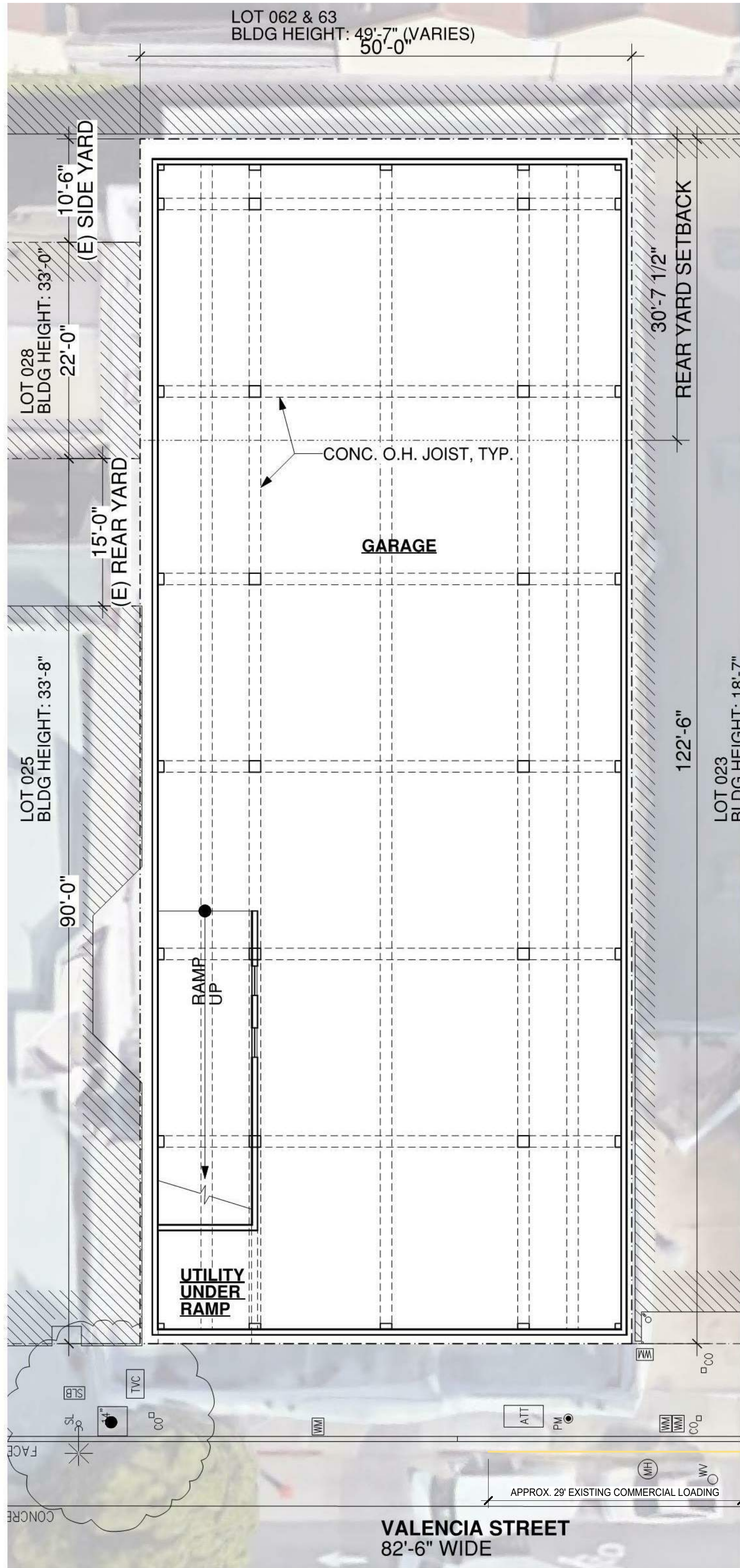
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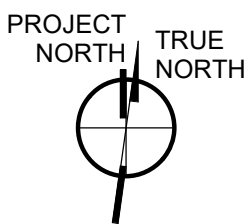
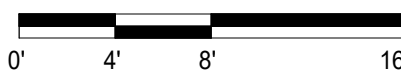
FLOOR PLAN - MEZZANINE 3
1/8" = 1'-0"



FLOOR PLAN - FLOOR 1 2
1/8" = 1'-0"



FLOOR PLAN - BASEMENT (GARAGE) 1
1/8" = 1'-0"



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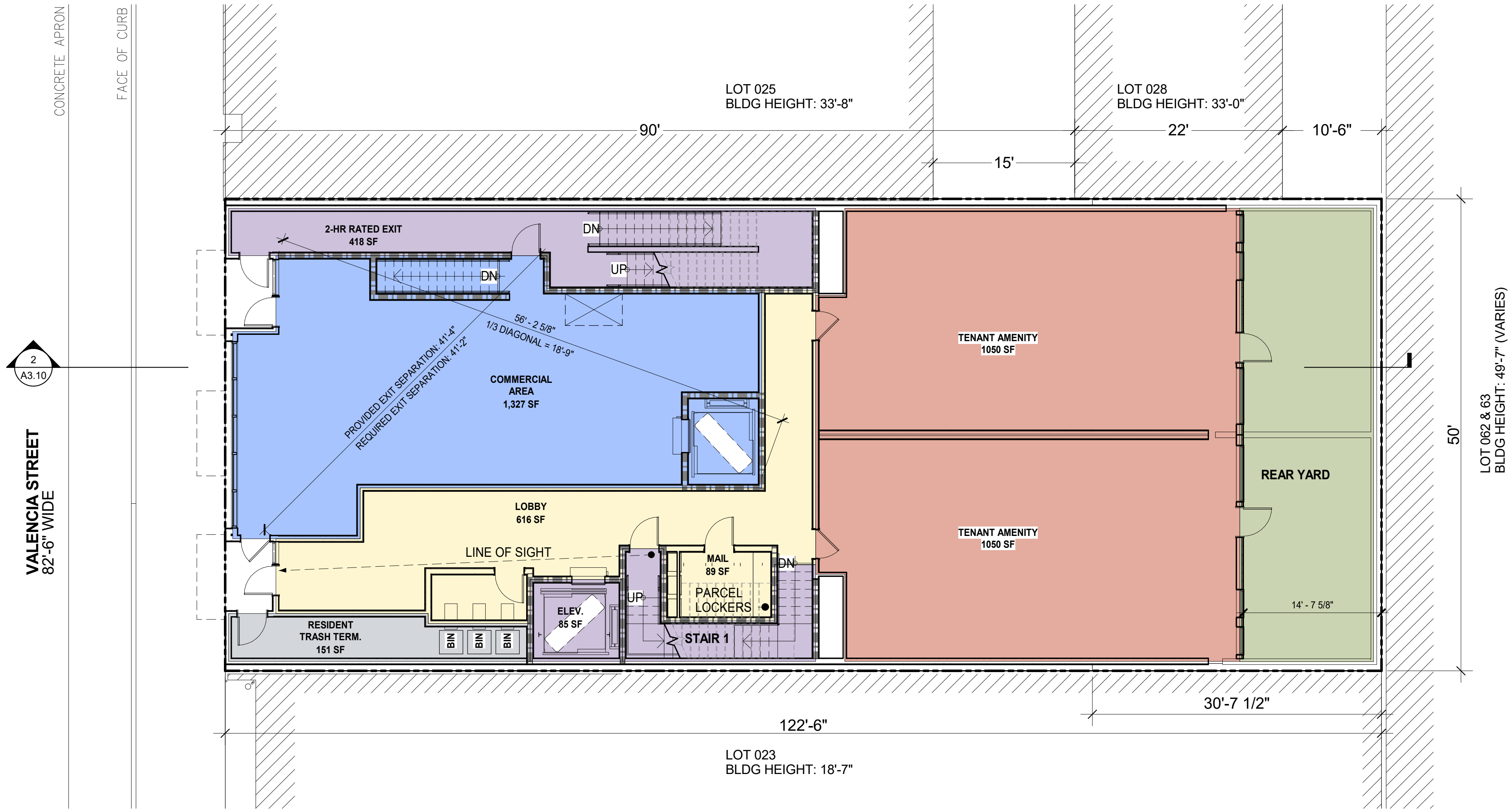
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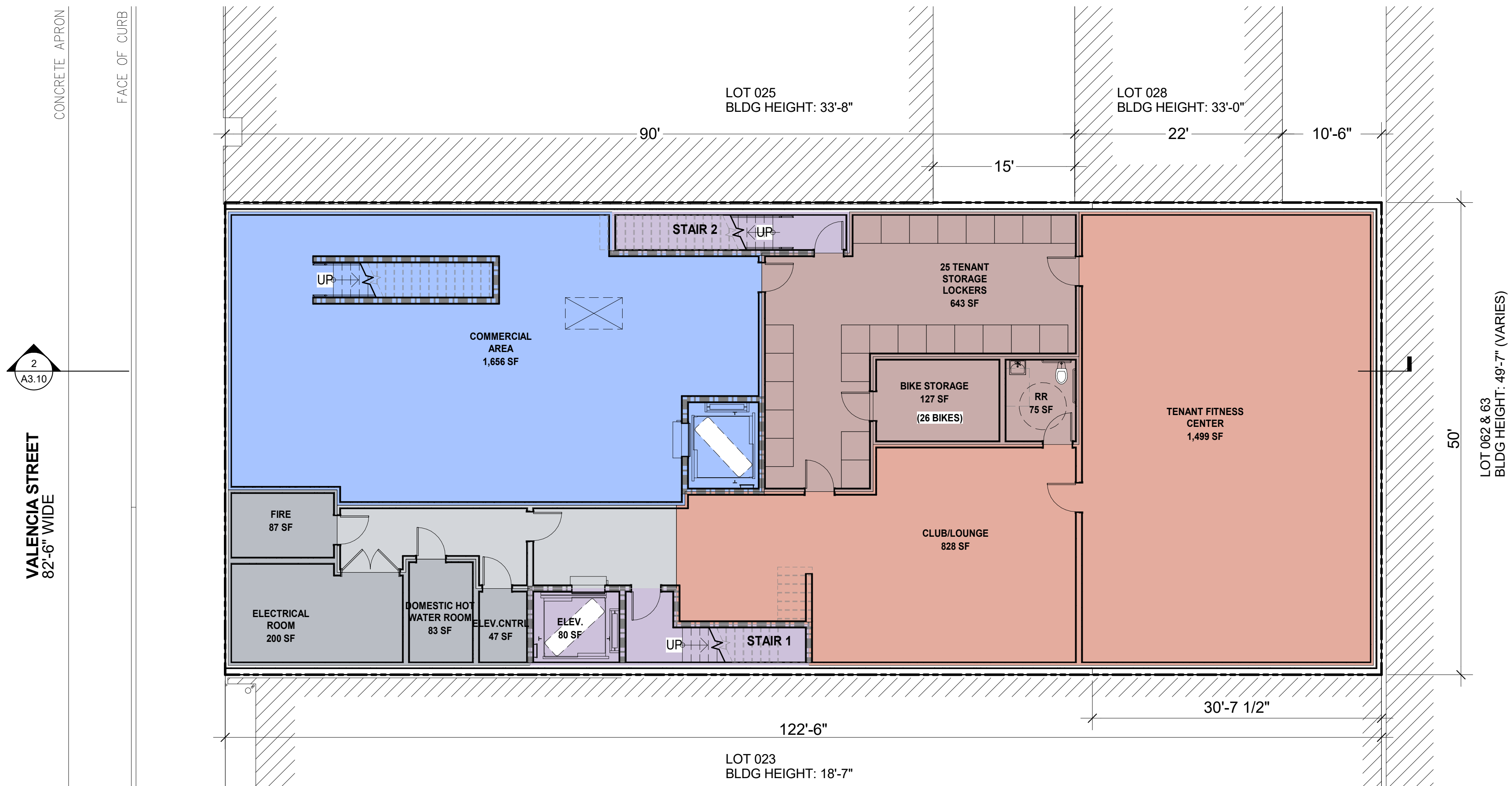
EXISTING
BUILDING
PLANS

SHEET TITLE
SCALE
PROJ NO. 1714 DRAWN BY XX
SHEET SIZE: 30 X 42

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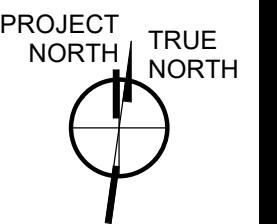
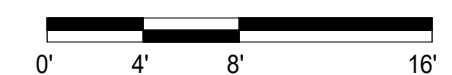


FLOOR 1 - PLAN 2
1/8" = 1'-0"



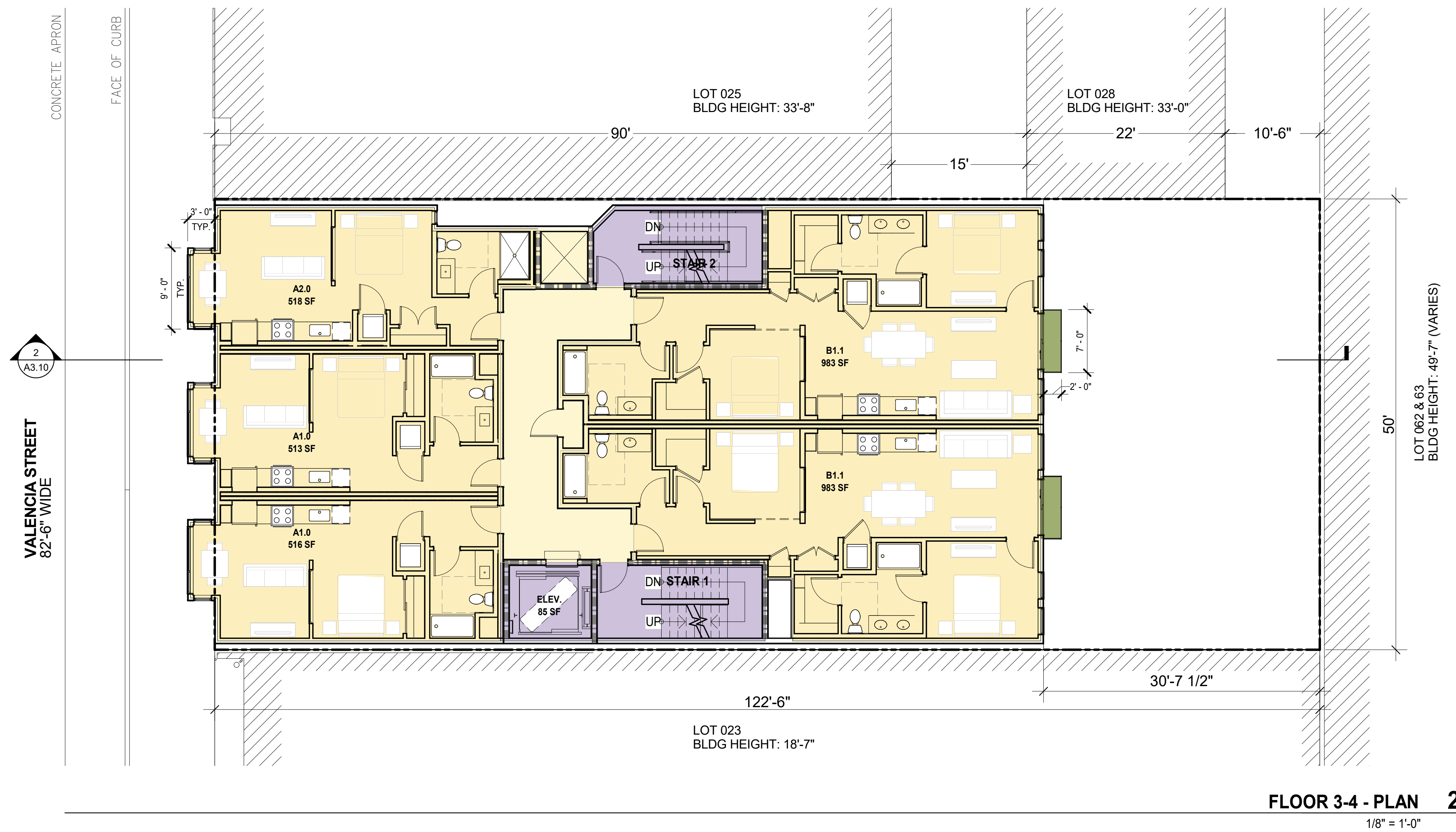
FLOOR B - PLAN 1
1/8" = 1'-0"

- BUILDING GROSS AREA**
INCLUDED IN GFA
- DU NET AREA**
INCLUDED IN GFA
- TENANT AMENITY**
INCLUDED IN GFA
- OPERATIONS/STORAGE**
NOT INCLUDED IN GFA
- VERTICAL CIRCULATIONS**
INCLUDED IN GFA
- RETAIL**
NOT INCLUDED IN GFA
- OPEN SPACE**
REFER TO PLANS FOR SF COMPLIANT OPEN SPACE
NOT INCLUDED IN GFA
- MEP/UTILITY**
NOT INCLUDED IN GFA



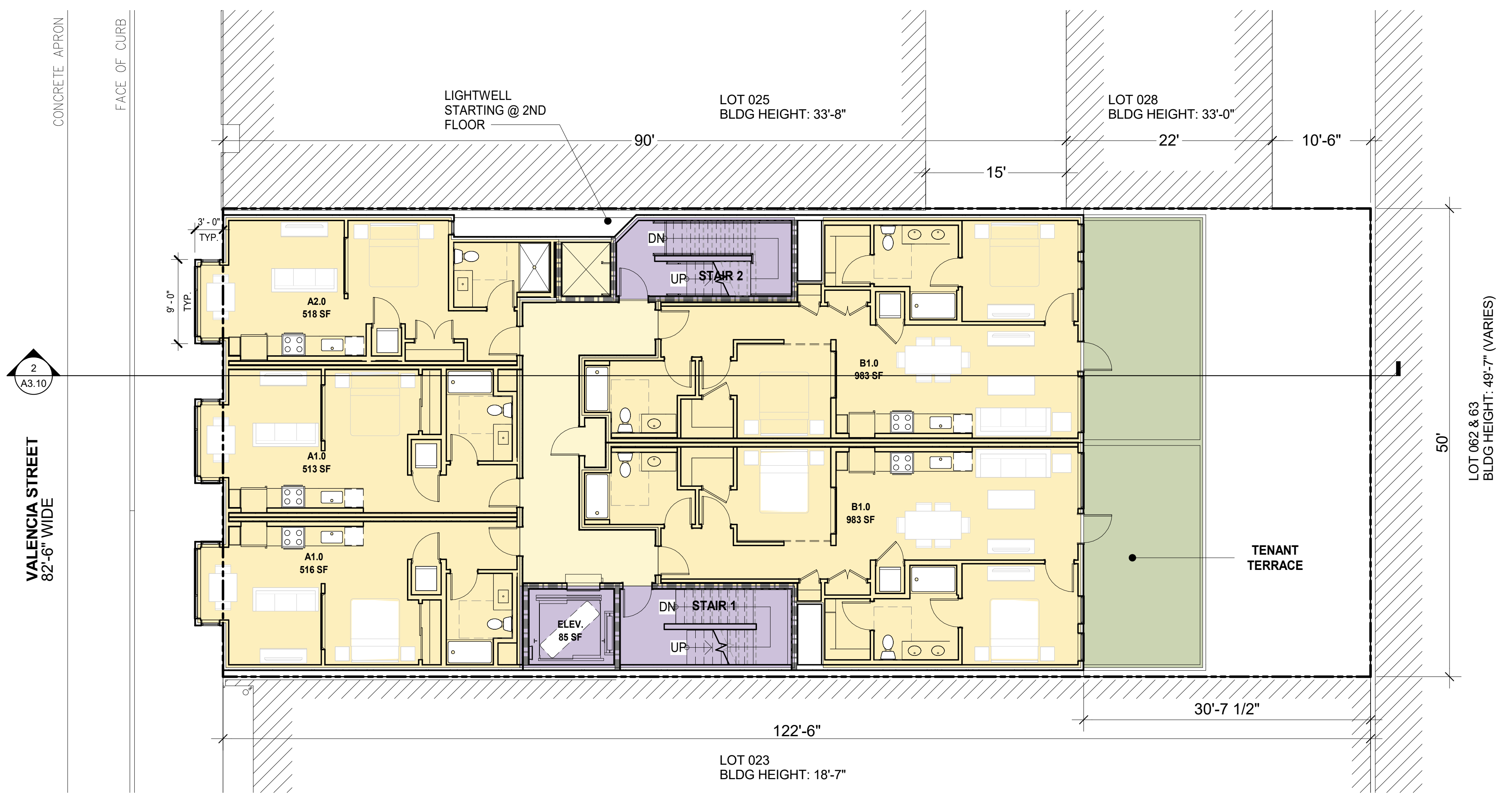
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PROJECT APPLICATION RESUBMITTAL	05.29.20
SITE PERMIT PLANNING SET	02.04.21

3/13/2020 1:03:56 PM



FLOOR 3-4 - PLAN 2

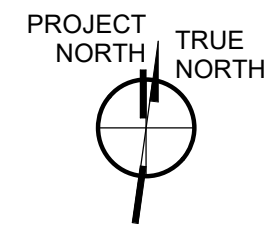
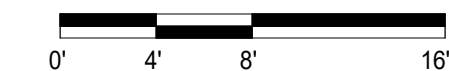
1/8" = 1'-0"



FLOOR 2 - PLAN 1

1/8" = 1'-0"

- BUILDING GROSS AREA**
INCLUDED IN GFA
- DU NET AREA**
INCLUDED IN GFA
- TENANT AMENITY**
INCLUDED IN GFA
- OPERATIONS/STORAGE**
NOT INCLUDED IN GFA
- VERTICAL CIRCULATIONS**
INCLUDED IN GFA
- RETAIL**
NOT INCLUDED IN GFA
- OPEN SPACE**
REFER TO PLANS FOR SF COMPLIANT OPEN SPACE
NOT INCLUDED IN GFA
- MEP/UTILITY**
NOT INCLUDED IN GFA



1021 VALENCIA
SAN FRANCISCO, CA

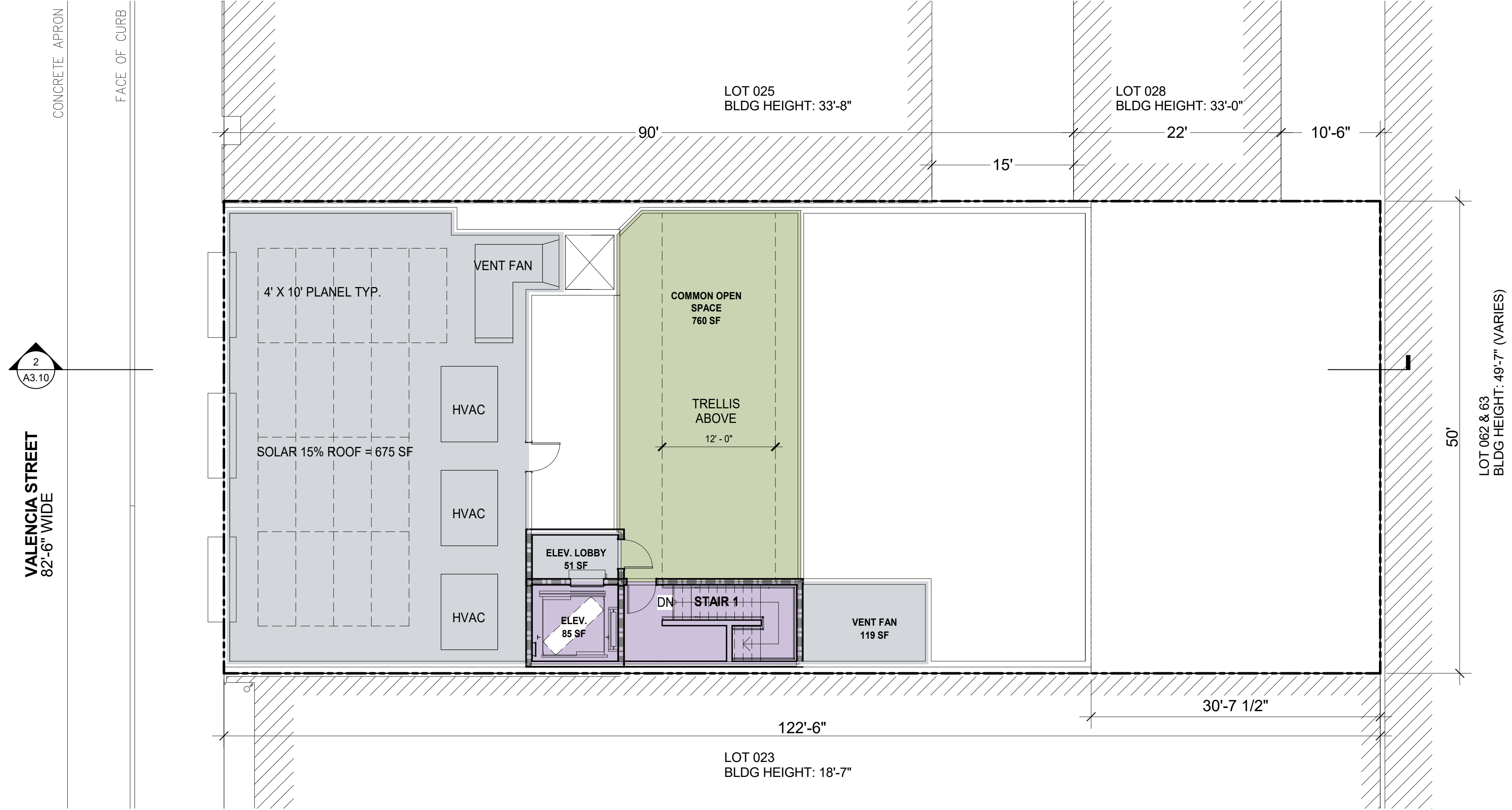
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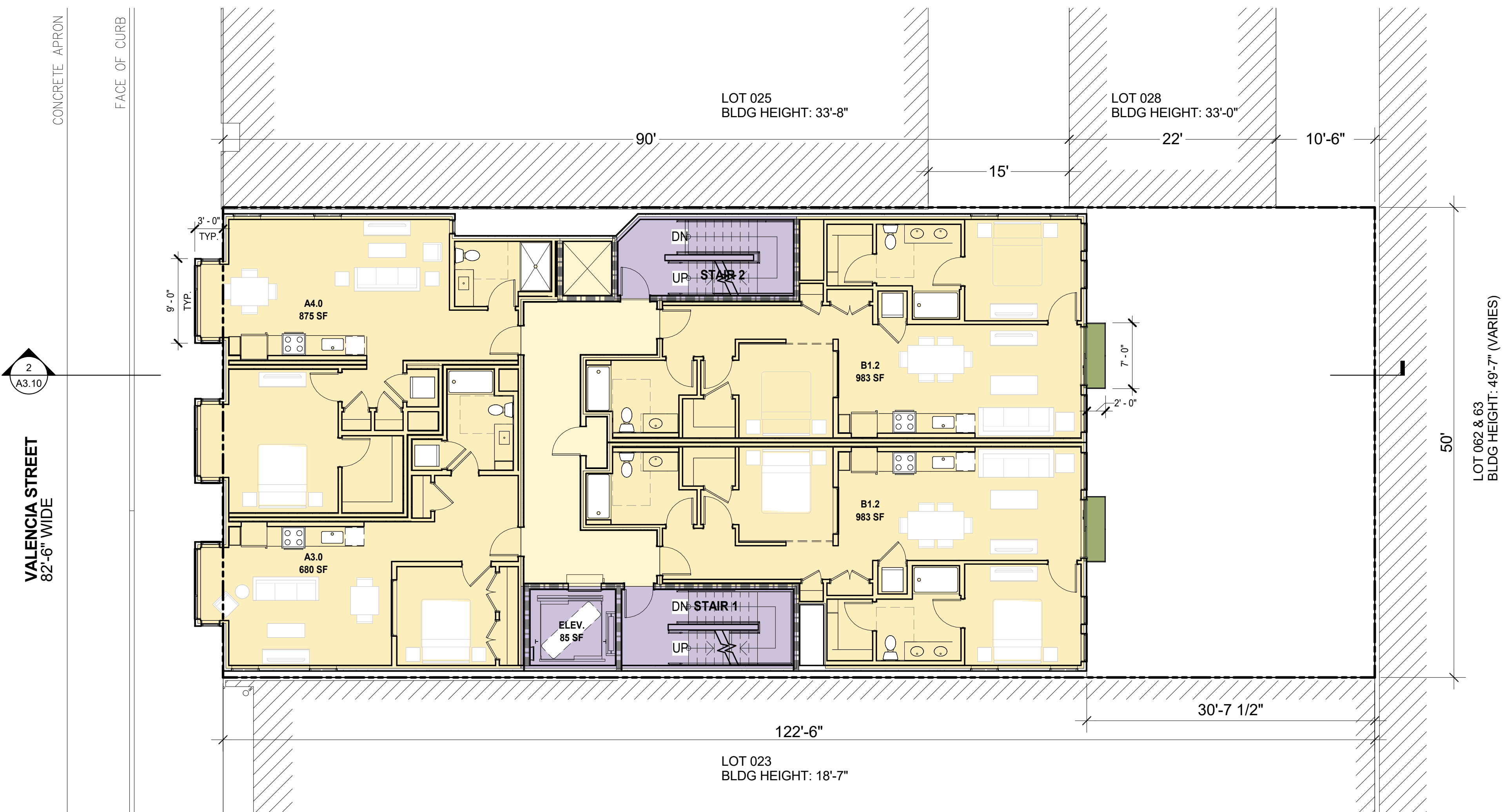
**BASE PROJECT
BLDG PLAN
FLRS 2-4**

SHEET TITLE
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PROJ NO. 1714 DRAWN BY XX
SHEET SIZE: 30 x 42

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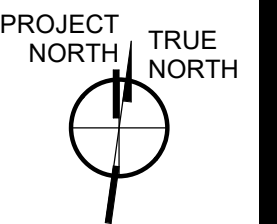
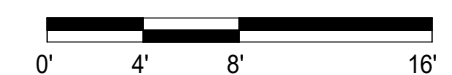


ROOF PLAN 2
1/8" = 1'-0"



FLOOR 5 - PLAN 1
1/8" = 1'-0"

- BUILDING GROSS AREA INCLUDED IN GFA
- DU NET AREA INCLUDED IN GFA
- TENANT AMENITY INCLUDED IN GFA
- OPERATIONS/STORAGE NOT INCLUDED IN GFA
- VERTICAL CIRCULATIONS INCLUDED IN GFA
- RETAIL NOT INCLUDED IN GFA
- OPEN SPACE REFER TO PLANS FOR SF COMPLIANT OPEN SPACE NOT INCLUDED IN GFA
- MEP/UTILITY NOT INCLUDED IN GFA



1021 VALENCIA
SAN FRANCISCO, CA

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PROJECT APPLICATION RESUBMITTAL	05.29.20
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BASE PROJECT
BLDG PLAN
FLRS 5 & ROOF

SHEET TITLE
SCALE 1/8" = 1'-0"
PROJ NO. 1714 DRAWN BY XX
SHEET SIZE: 30 x 42

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SAN FRANCISCO, CA

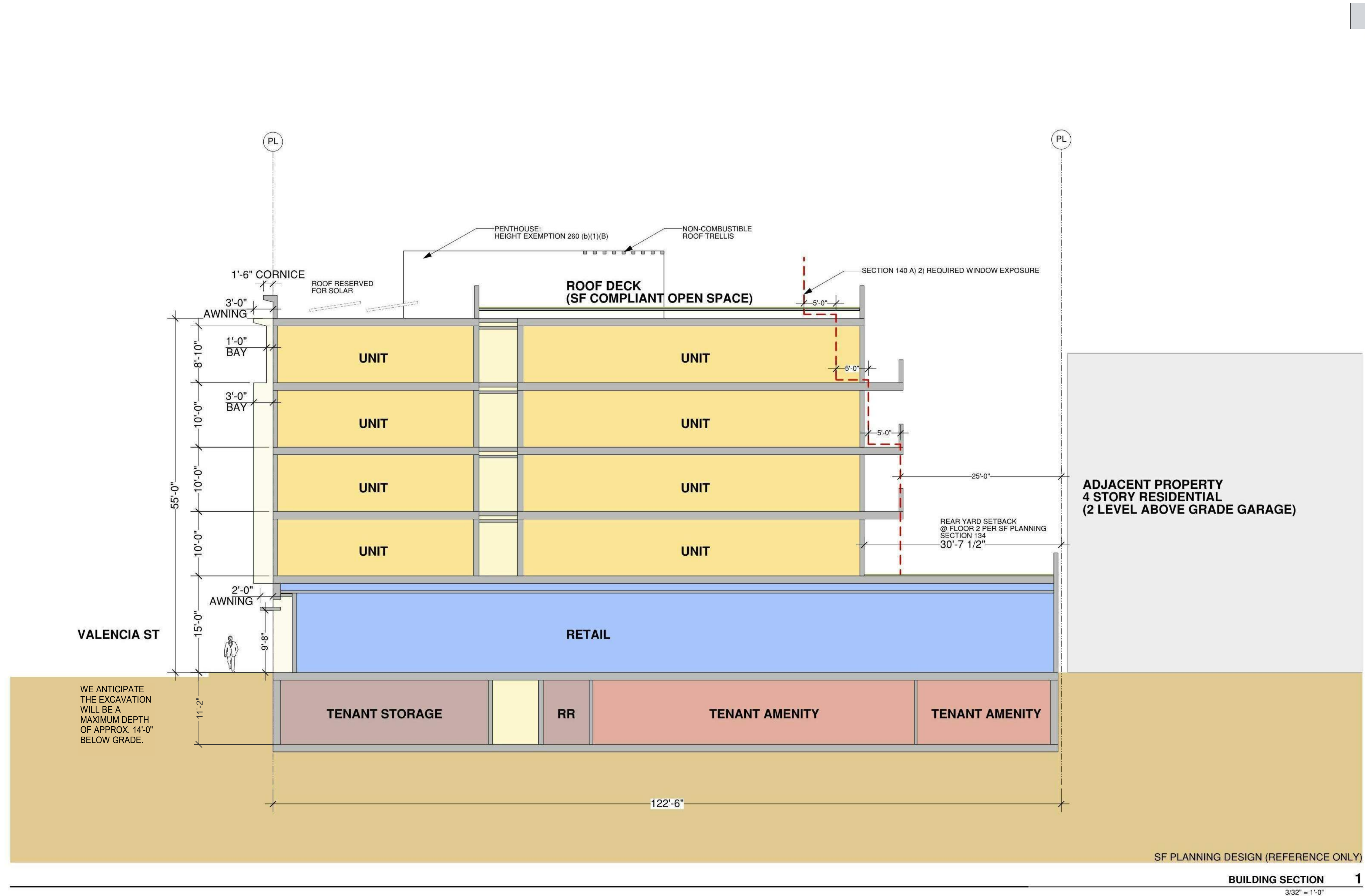
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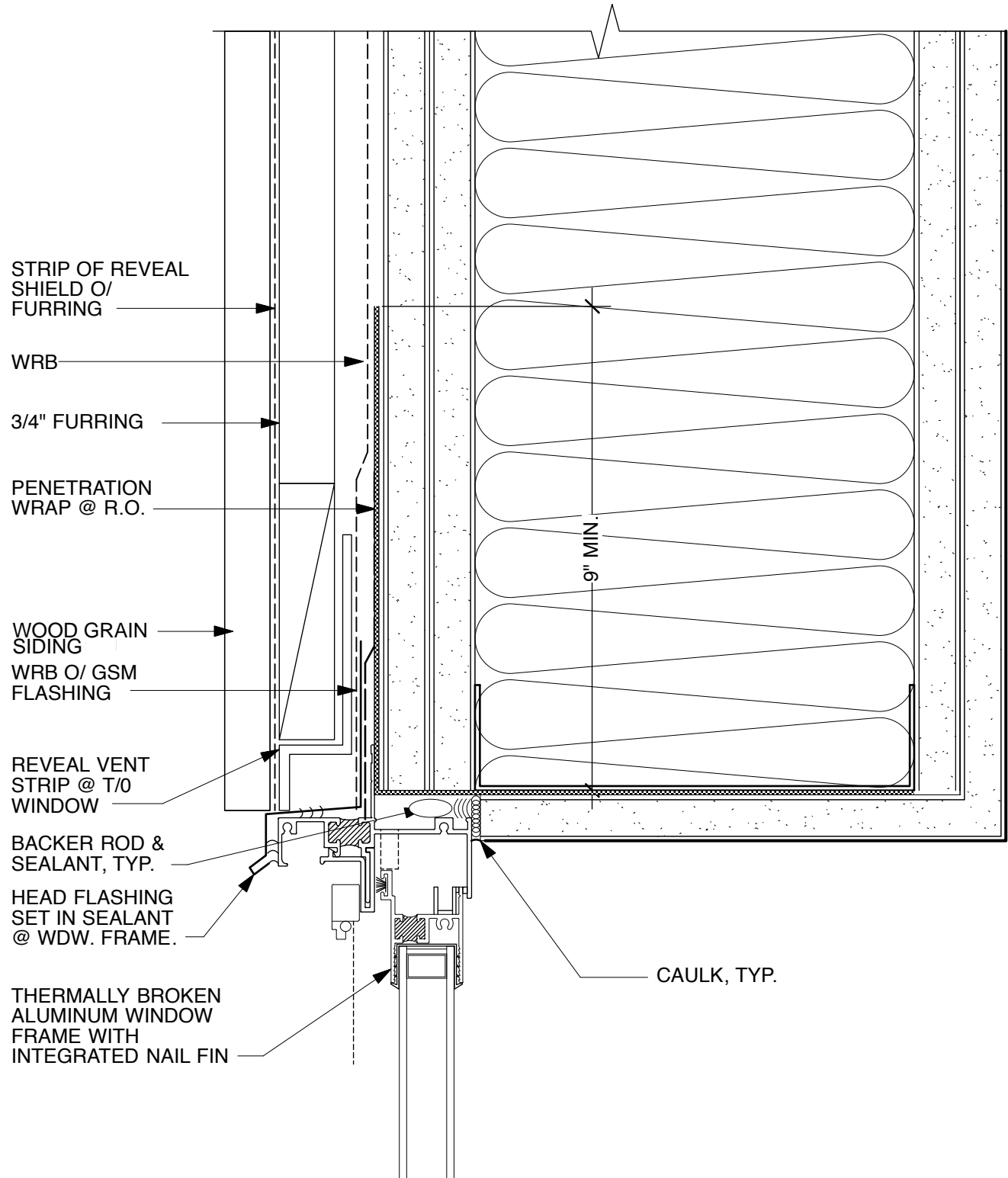
BASE PROJECT BUILDING SECTION

SHEET TITLE _____
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JOB NO. 1714 DRAWN BY XX
SHEET SIZE: 30 x 42

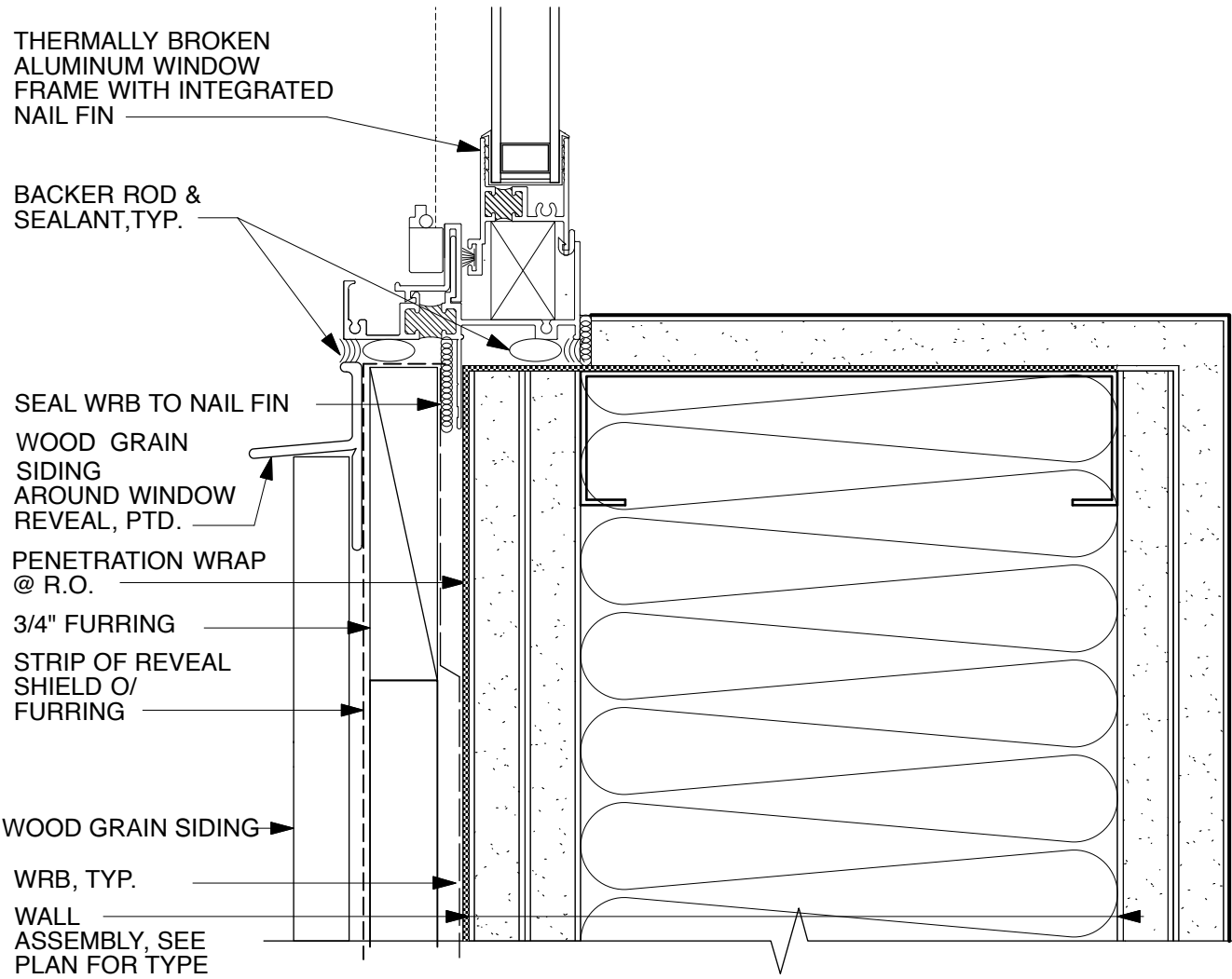
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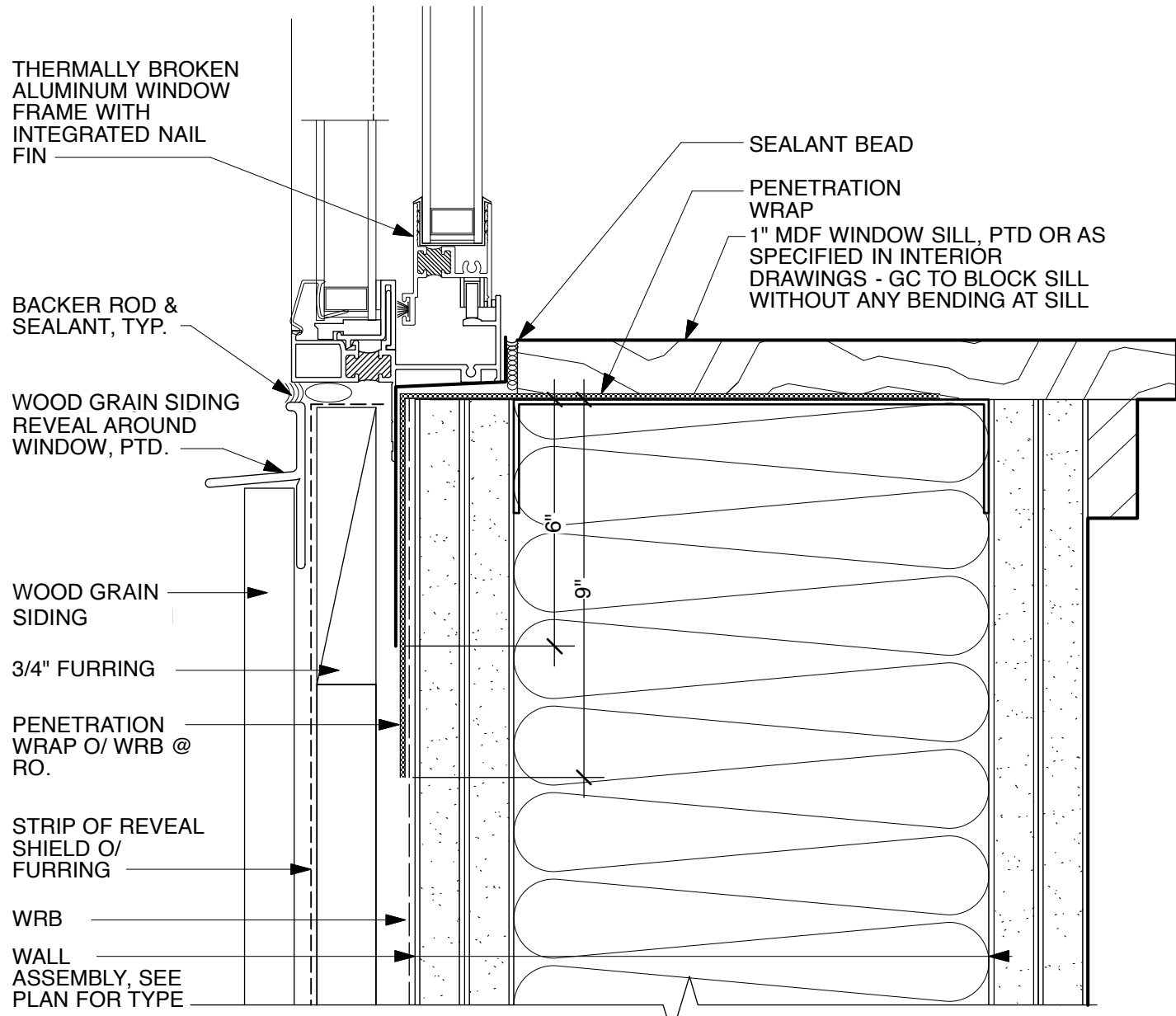
2/13/2020 8:42:03 AM



HORIZONTAL SLIDER WINDOW HEAD @ WOOD GRAIN SIDING 3
6" = 1'-0"



HORIZONTAL SLIDER WINDOW JAMB @ WOOD GRAIN SIDING 2
6" = 1'-0"



HORIZONTAL SLIDER WINDOW SILL @ WOOD GRAIN SIDING 1
6" = 1'-0"

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**WINDOW
DETAILS**

SHEET TITLE
SCALE AS NOTED
PROJ NO. 1714 DRAWN BY XX
SHEET SIZE: 30 x 42

EXHIBIT B

Project Address: 1021 Valencia Street, San Francisco, CA

Project Sponsor: CDE Aptos, LLC

Date of SFHAC Review: 6/17/2020

Grading Scale

★ = The project meets the high standard set by local jurisdiction and/or SFHAC

★★ = The project exceeds SFHAC standards

★★★ = The project far exceeds SFHAC's standards and exhibits creativity in its proposed solutions

Criteria for SFHAC Endorsement

1. The Project must have been presented to the SFHAC Project Review Committee

2. The Project must score a minimum of ★ on any given guideline

Summary	The San Francisco Housing Coalition endorses the proposed project at 1021 Valencia Street, which brings much-needed housing in a transit-oriented urban environment.	★
Land Use	The project replaces a two story automotive repair shop with 24 new homes. The Committee commends the project team for replacing a commercial property with a residential property in such a transit oriented location.	★★
Density	Utilizing the state density bonus, the project achieves a density of 5 extra units, with the base unit count at 19 units.	★★
Affordability	At 12% of units (2 units) below-market-rate, the project brings in affordable housing to the area.	★
Parking & Alternative Transportation	The site would include no parking. The Committee commends the project for adding a greater than one to one ratio of bicycle parking, at 32 bicycle parking spaces. The site is served by three different transit lines, including bus lines 14, 292, and 49, the local train, and 24th St Mission BART.	★★
Preservation	The site does not contain any infrastructure deemed historic.	n/a
Urban Design	The project strives to match the context of the neighborhood, and SFHAC commends the team for removing the curb cuts and reinforcing Valencia as a biking and pedestrian corridor. The Committee suggests that the front elevation could use more variety in response to the neighborhood context. Additionally, the ground floor could use more consideration. Furthermore, SFHAC would prefer to see more consideration for materials with regard to side elevation, as it will be very visible to the public. Simultaneously, we acknowledge that additional consideration for materials could strain feasibility.	★
Environmental Features	The project will comply and exceed Greenpoint guidelines. It will further exceed Title 24 energy requirements by 10%.	★
Community Benefits	The site will include small and local business support, but the business has not been selected yet.	★
Community Input	We encourage the project team to continue to engage with community groups.	★

SF Auto Works
1021 Valencia Street
San Francisco, CA 94110

September 8, 2020

Joel Koppel, President
San Francisco Planning Commission
49 South Van Ness Ave., Suite 1400
San Francisco, CA 94103

RE: 1021 Valencia Street

Dear President Koppel and Commissioners:

I am writing to confirm my support for the redevelopment of the property at 1021 Valencia Street. When I signed my lease in November 2018, I understood and accepted the owner's plans to redevelop the property.

Sincerely,

Kevin Sawyers
Owner

A handwritten signature in blue ink, appearing to be 'KS' or 'KSawyers', followed by a long horizontal line extending to the right.

Deca Companies LLC
1021A Valencia Street
San Francisco, CA 94110

September 8, 2020

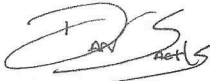
Joel Koppel, President
San Francisco Planning Commission
49 South Van Ness Ave., Suite 1400
San Francisco, CA 94103

RE: 1021 Valencia Street

Dear President Koppel and Commissioners:

I am writing to confirm our support for the redevelopment of the property at 1021 Valencia Street. When we signed our lease in March 2019, we understood and accepted the owner's plans to redevelop the property.

Sincerely,

A handwritten signature in black ink, appearing to read 'DS' with 'Sachs' written below it.

Daniel Sachs
Managing Director

EXHIBIT C

CONSISTENCY WITH MISSION NEIGHBORHOOD PLAN

POLICY 1.1.3

Maintain the successful Mission Street, 24th Street, and Valencia Street Neighborhood Commercial districts; recognize the proximity to good transit service by eliminating residential density limits and minimum parking requirements.

POLICY 1.1.4

In higher density residential areas of the Mission, recognize proximity to good transit service by eliminating density limits and minimum parking requirements; permit small neighborhood-serving retail.

OBJECTIVE 1.2

IN AREAS OF THE MISSION WHERE HOUSING AND MIXED-USE IS ENCOURAGED, MAXIMIZE DEVELOPMENT POTENTIAL IN KEEPING WITH NEIGHBORHOOD CHARACTER

It is important that new housing be developed in appropriate areas, that it be compatible with its surroundings, and that it satisfy community housing needs. Locating housing in neighborhood commercial areas with good transit, as well as in some portions of former industrial areas, allows new development to capitalize on existing infrastructure. By increasing development potential on some parcels, reducing parking requirements, and replacing existing unit density controls with “bedroom mix” controls that require a portion of new units to be larger and more family-friendly, more housing of the appropriate type can be encouraged.

Strong building design controls, discussed further in the Built Form chapter of this Plan, should ensure that these new buildings are designed to be compatible with their surroundings. Building facades should be broken up, development above a certain height should be set back on small residential alleys to allow light and air, and active ground floors should be required.

The policies to address the objective above are as follows:

POLICY 1.2.1

Ensure that in-fill housing development is compatible with its surroundings.

POLICY 1.2.2

For new construction, and as part of major expansion of existing buildings in neighborhood commercial districts, require ground floor commercial uses in new housing development. In other mixed-use districts encourage housing over commercial or PDR where appropriate.

POLICY 1.2.3

In general, where residential development is permitted, control residential density through building height and bulk guidelines and bedroom mix requirements.

POLICY 1.2.4

Identify portions of the Mission where it would be appropriate to increase maximum heights for residential development.

The Mission Area Plan strives to meet six key objectives surrounding housing production and retention:

1. The Plan strives to construct new housing affordable to people with a wide range of incomes via the rezoning of some of the City's industrial lands. It assists households at low- and very low-incomes through inclusionary and land dedication strategies. It aims to help people making above the 120% of median-income threshold for inclusionary housing but below the amount required to afford market-rate units, through "middle-income" development options.
2. The Plan strives to retain and improve existing housing, in recognition of the fact that sound existing housing is one of the most valuable sources of housing the City has.
3. The Plan ensures that residential development meets not only the affordability needs, but the other needs- unit size, number of bedrooms, community services and neighborhood amenities – to create a high quality of life for all individuals and families in the Eastern Neighborhoods.
4. The Plan aims to lower the costs of housing production to translate into lower-priced units, by increasing development capacity, enabling cost-effective construction and by recognizing that "time is money" in reducing unnecessary processes.
5. The Plan aims to promote health and well-being for residents, through well-designed, environmentally friendly neighborhoods and units.
6. The Plan aims to continue the City's ongoing efforts to increase affordable housing and production, through increased funding available for affordable housing through City, state, federal and other sources.
7. POLICY 3.1.4
Heights should also reflect the importance of key streets in the city's overall urban pattern, such as Mission and Valencia streets, while respecting the lower scale development that typifies much of the established residential areas throughout the Plan Area.
8. Generally, the prevailing height of buildings is set to relate to street widths throughout the Plan Area. Height should also be used to emphasize key transit corridors and important activity centers. A primary intent of the height districts is to provide greater variety in scale and character while maximizing efficient building forms and enabling gracious ground floors.
9. The scale of development and the relationship between street width and building height offer an important orientation cue for users by indicating a street's relative importance in the hierarchy of streets, as well as its degree of formality. Taller buildings with more formal architecture should line streets that play an important role in the city's urban pattern.

POLICY 3.2.1

Require high quality design of street-facing building exteriors.

A. Provide strong, repeating vertical articulation on new buildings, especially those with large street frontages, to achieve the visual interest necessary to sustain pedestrian interest and activity. Avoid undifferentiated massing longer than 25 feet on residential streets or alleys, and 40 feet on all other streets. Such vertical articulation as this cannot be satisfactorily achieved by minor changes such as change of color alone.

B. For vertically mixed-use buildings, changes in use should be visually differentiated through changes in material, scale, setback or other means, and not solely by color.

C. Building openings and fenestration should represent the uses behind them, minimize visual clutter, harmonize with prevailing conditions, and provide architectural interest. Windows should have a minimum recess of 3 inches, generally should be oriented, and open, vertically, and the frames should not be made of vinyl.

D. Use authentic, materials with a substantial appearance, including wood, masonry, ceramic tile, pre-cast concrete or integrated stucco. Avoid using inauthentic materials, in particular those that have the appearance of thin veneer or attachment, such as EIFS or tilt-up panels. If used, inauthentic materials should not be the dominant façade material, and should not be used for detailing or ornamentation.

E. Brick, stone, tile, veneers or applied materials should terminate logically and strongly, such as by wrapping corners and terminating at architectural modulations, articulations, frames or other features, so that they don't appear superficially affixed to the façade.

F. Blank or blind frontages at the ground floor are highly discouraged and should be minimized wherever possible. Where necessary, frontages used for utilities, storage, refuse collection and other activities should be integrated into the overall articulation and fenestration of the façade, or be masked by landscaping or other design features where active uses are not possible.

G. Extended blank or blind frontages are not permitted along Transit Preferential Streets as defined in the General Plan, and within the 6th Street neighborhood commercial transit district, even if alternative street or alley frontage is not available.



Buildings should have a clear bottom, middle and top. The building exterior of floors with retail or PDR uses should be differentiated visually from residential floors.

EXHIBIT D

Features of the Project

- Project requires no Conditional Use Permit as it is Principally Permitted.
- Mayor's Executive Directive Housing Project adding 24 residential units to San Francisco's housing supply during a housing crisis.
- Exceeds the 40% requirement of two-bedroom residential units.
- Proposes no commercial office development.
- Adds housing without vehicle parking.
- Adds housing on a major public transit corridor, and on a street (Valencia Street) where the City has spent millions of dollars on infrastructure and streetscape improvements to encourage dense housing and retail uses.
- Creates a rear yard open space that does not exist today.
- Adds retail space where none exists today.
- Eliminates two (2) existing curb cuts which will support the SFMTA's Valencia Bikeway Improvements project and the Vision Zero SF program, which will help to make this stretch of Valencia Street more pedestrian- and bicycle-friendly.
- Proposes 32 bicycle parking spaces and no vehicle parking spaces.
- Located near BART stop, only three blocks away.
- Completed environmental review including Phase I & Phase II Environmental Site Assessments.
- Project is CPE-eligible.
- Property is not on the CalEPA Cortese List.
- No historic resource present.
- Project is not located in an historic district or the Calle 24 Latino Cultural District.

EXHIBIT E

Compliance With State Density Bonus Approval Criteria.

Section 206.6 of the Planning Code allows this project to be approved as a Density Bonus Project if certain criteria are met. First, this project meets the requirement of being a housing development that does not meet any one or more of the criteria of the Analyzed State Density Bonus Program, and as such, may apply for a Development Bonus as an “Individually Requested State Density Bonus Project.”

This project meets the Criteria as follows:

- (1) contains five or more residential units, as defined in Section [102](#);
- (2) is not seeking and receiving a density or development bonus under Section [207](#); the HOME-SF Program, Section [206.3](#); the 100 Percent Affordable Housing Bonus Program, Section [206.4](#); Section [304](#), or any other local or state bonus program that provides development bonuses;
- (3) provides Restricted Affordable Housing Units, including but not limited to Inclusionary Housing Units, at minimum levels as provided in Table 206.6A of the Code.
- (4) *Inapplicable – no existing residential units*: provides replacement units for any units demolished or removed that are subject to the San Francisco Rent Stabilization and Arbitration Ordinance, Administrative Code Section [37](#).
- (5) is in any zoning district except for RH-1 or RH-2.

EXHIBIT F

LIST OF PROJECT CHANGES MADE AT THE REQUEST OF SF PLANNING DEPARTMENT, COMMUNITY, NEIGHBORS AND/OR MISSION STAKEHOLDERS

- Voluntarily added one (1) additional on-site BMR residential unit pursuant to our understanding with Mission stakeholder United To Save The Mission.
- Added a retractable awning to the ground floor pursuant to our understanding with United To Save The Mission.
- Changed the color of the ground floor façade pursuant to our understanding with United To Save The Mission.
- Added a lightwell on the north side of the property to benefit the adjacent landlord who filed a DR.
- Offered to put reflective paint in our lightwell to benefit the adjacent landlord who filed a DR.
- Removed our proposed on-site parking and the two (2) existing curb cuts.
- Removed the possibility of a ground floor retailer's use of the open rear yard, so as to avoid rear yard noise that would bother neighbors.
- Adjusted the size of the ground floor retail when, late in the design process, Planning Director Bulletin No. 6 was issued, which required the Project Sponsor to modify the architectural plans at significant expense and delayed the Project for months.
- Adjusted bay sizes, window sizes and materials, including an upgrade to the property line wall (in lieu of more economical material), a wall that will eventually be covered over by adjacent future development.
- Adjusted the location of the transformers.

EXHIBIT G

LIST OF COMMUNITY OUTREACH

- Pre-Application Meeting staged in December 2018
- United To Save The Mission (Larisa Pedroncelli)
- Calle 24 Latino Cultural District (Erick Arguello)
- MEDA (Peter Papadopoulos)
- PODER (Antonio Diaz)
- Cultural Action Network (Rick Hall)
- Mission Housing Development Corporation (Sam Moss)
- San Franciscans For Reasonable Growth (Sue Hestor)
- Liberty Hill Resident Association (John Barbey)
- Liberty Hill Historic District (Risa Teitelbaum)
- Valencia Corridor Merchants Association
- Janet Moyer Landscaping (neighbor)
- Munzer Dajani (neighbor)
- Harry Lau (neighbor)

EXHIBIT H

SHADOW STUDY EXHIBIT

1021 VALENCIA STREET, SAN FRANCISCO, CA

AND

1001-1017 VALENCIA STREET, SAN FRANCISCO, CA



SHADOW STUDY EXHIBIT

In this exhibit, we will discuss the details concerning the minor incremental shadows that would be cast on Mr. Lau's property by the proposed new building throughout the year.

The shadow study indicates that throughout the year, the proposed new building would cast only minor new shadows and would do so on only some of the east-facing windows of Mr. Lau's property.

The proposed new building would begin to cast minor incremental shadows on the east-facing windows of Mr. Lau's property starting at about 9:00 AM and lasting until about 12:00 PM but only during the winter solstice.

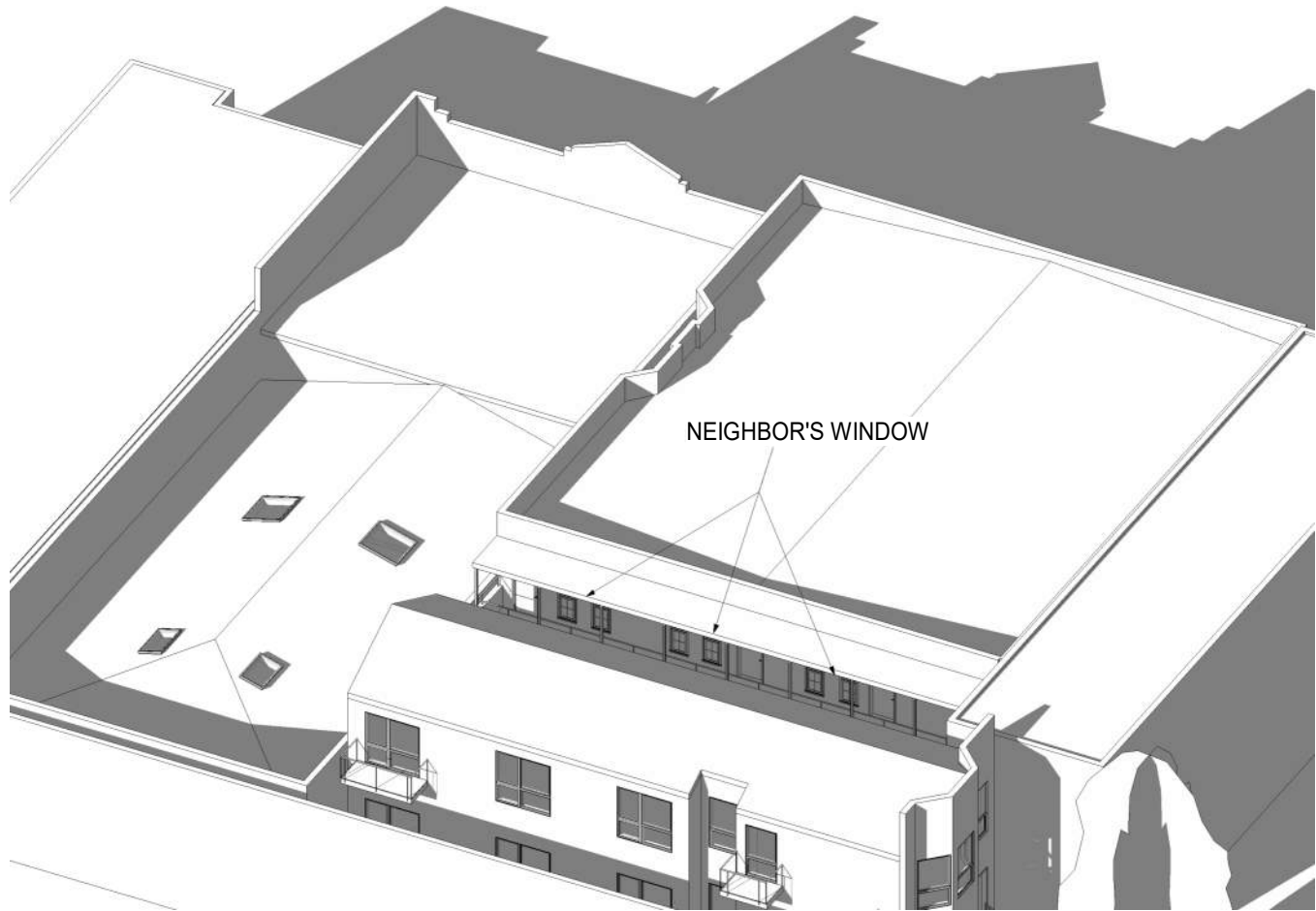
Mr. Lau's east-facing windows are already in shade for most of the year, so the incremental new shadows from the proposed new building would not have a significant impact on Mr. Lau's east-facing windows.

The shadow study also shows that the only time of the year that all of the east-facing windows have sun is around 9:00 AM during the summer solstice, and that sun disappears by 12:00 PM of that day.

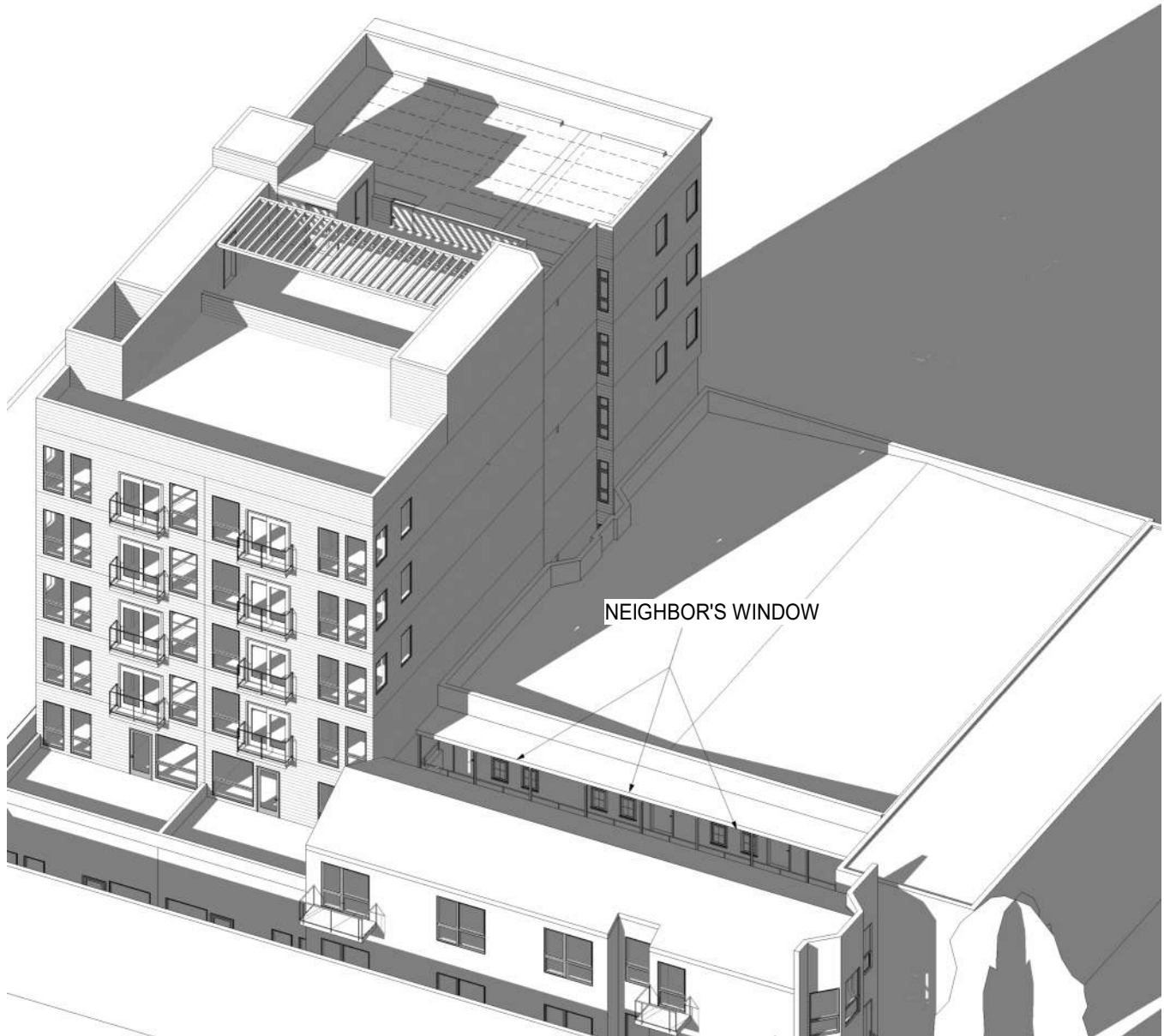
As the shadow study shows, one of the main reasons that the east-facing windows are shadowed so much of the year right now is because there is an existing permanent awning that lies above those windows.

Given the above, we believe that Mr. Lau should withdraw his DR request.

SPRING EQUINOX - 9 AM
EAST FACADE



EXISTING 2

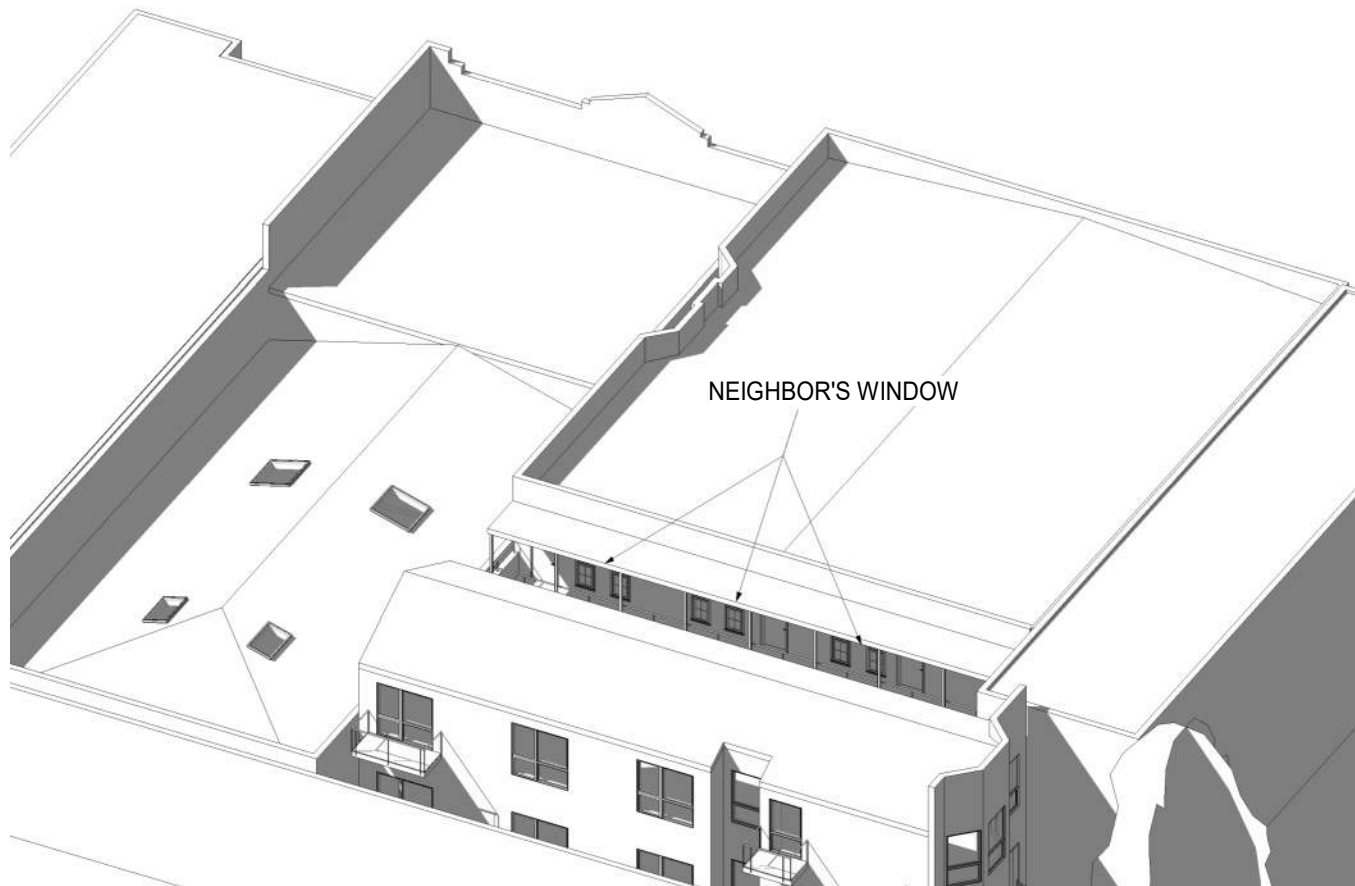


PROPOSED 1

NOTES:
ADJECENT STRUCTURES ARE APPROXIMATE BASED ON PUBLIC AVAILABLE INFORMATION

N.T.S

SPRING EQUINOX - 12 PM
EAST FACADE



EXISTING 1



PROPOSED 2

NOTES:
ADJECENT STRUCTURES ARE APPROXIMATE BASED ON PUBLIC AVAILABLE INFORMATION
N.T.S

SPRING EQUINOX - 3 PM
EAST FACADE



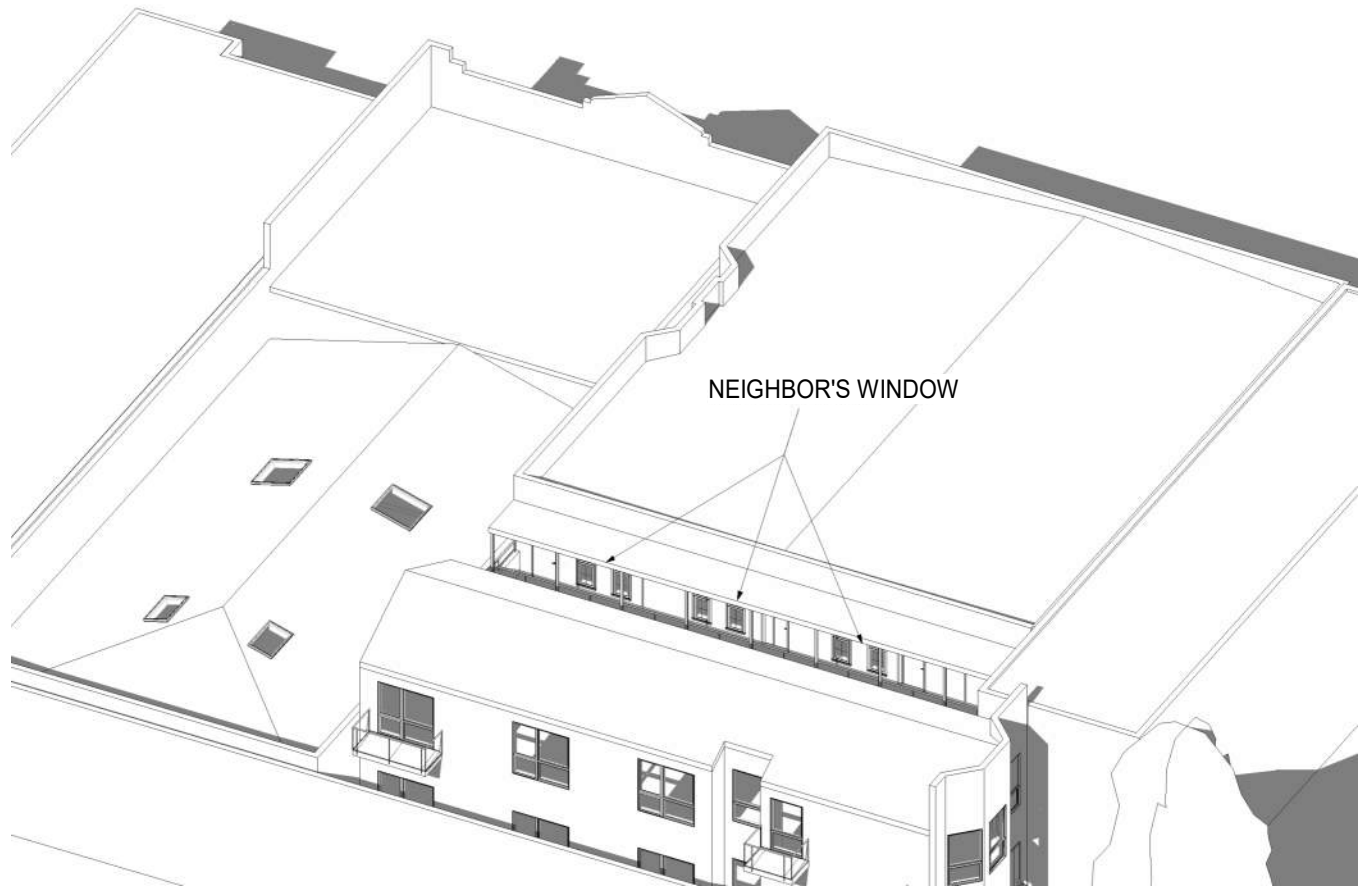
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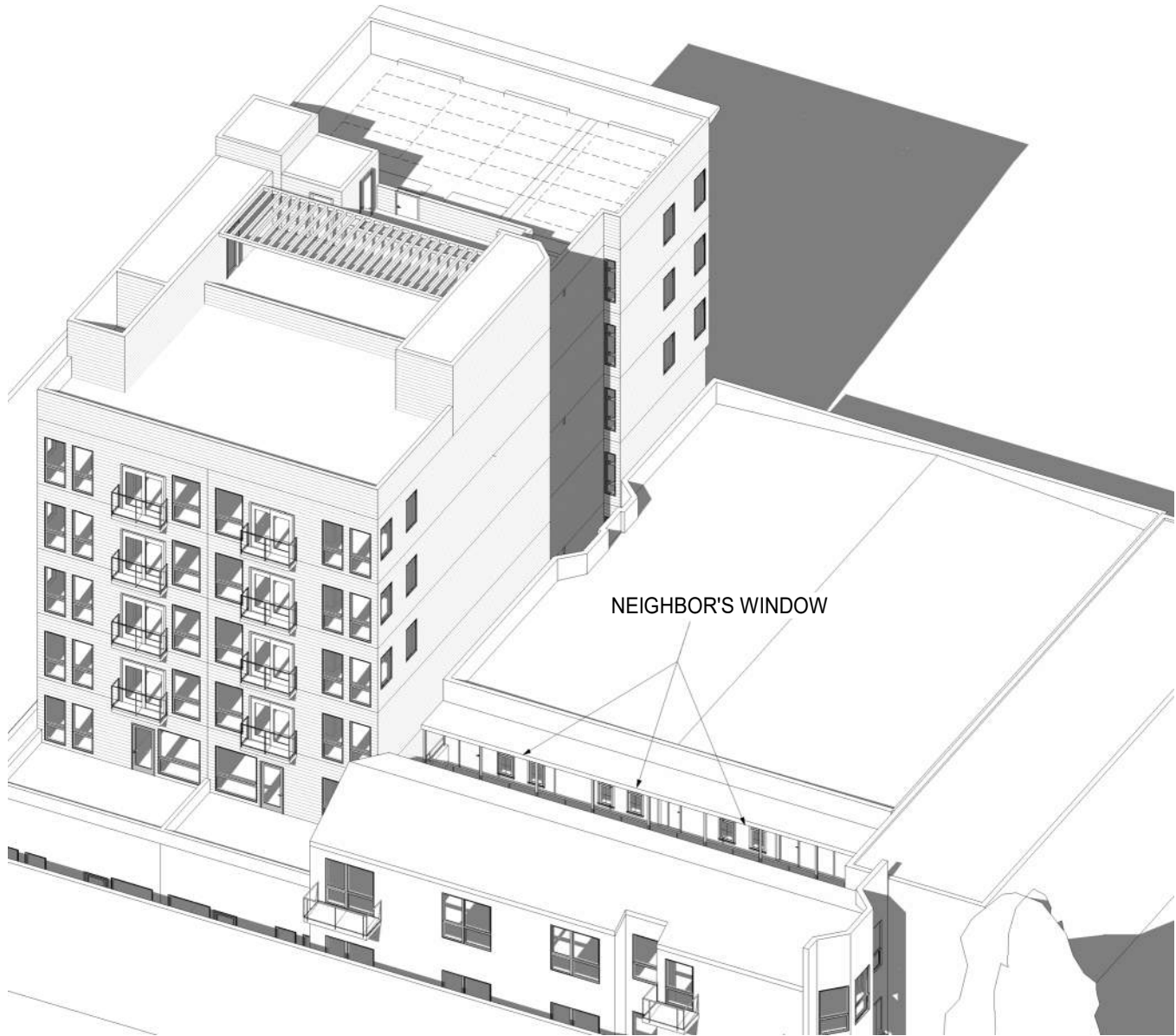
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NOTES:
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N.T.S

SUMMER SOLSTICE - 9 AM
EAST FACADE



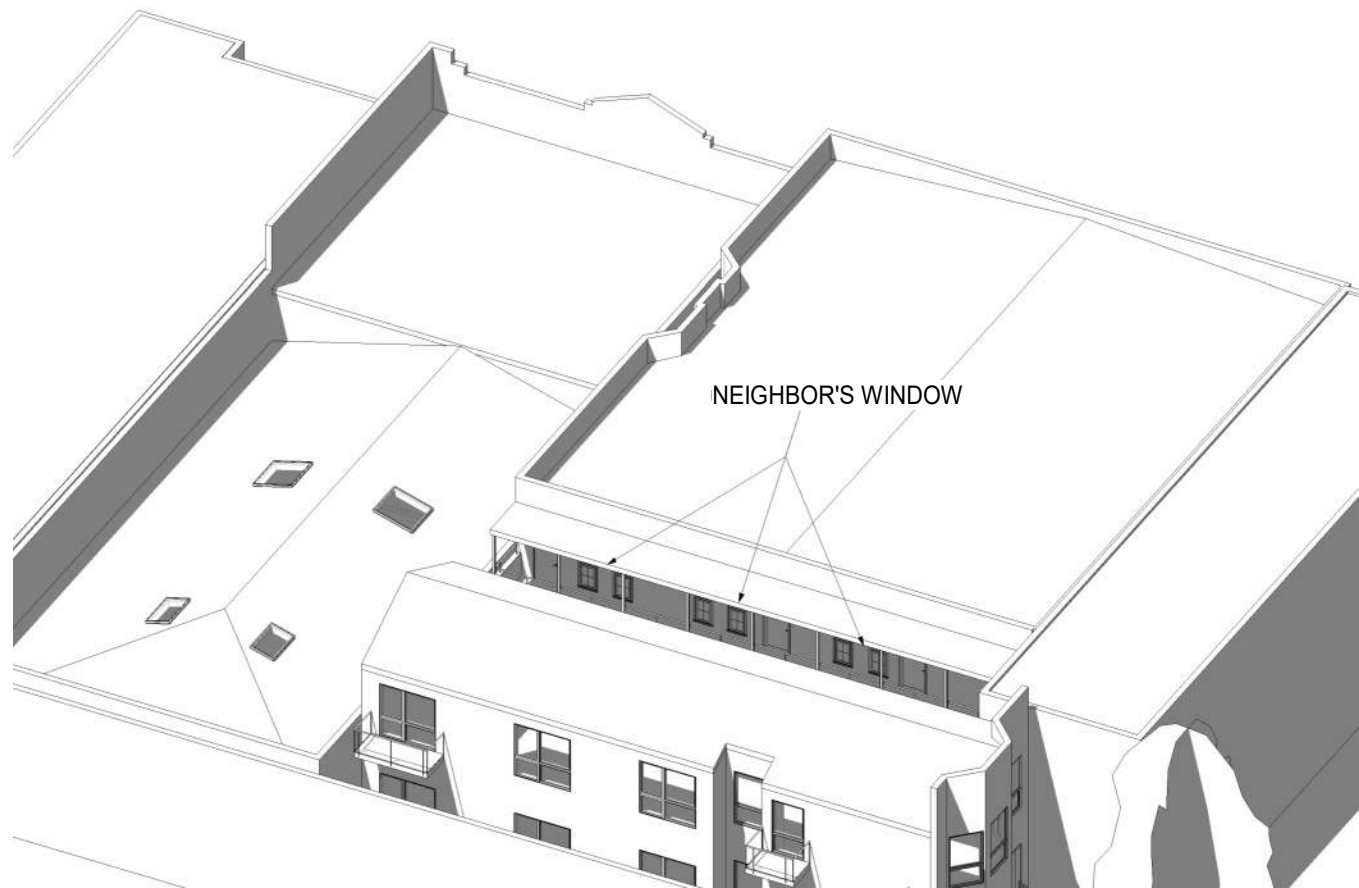
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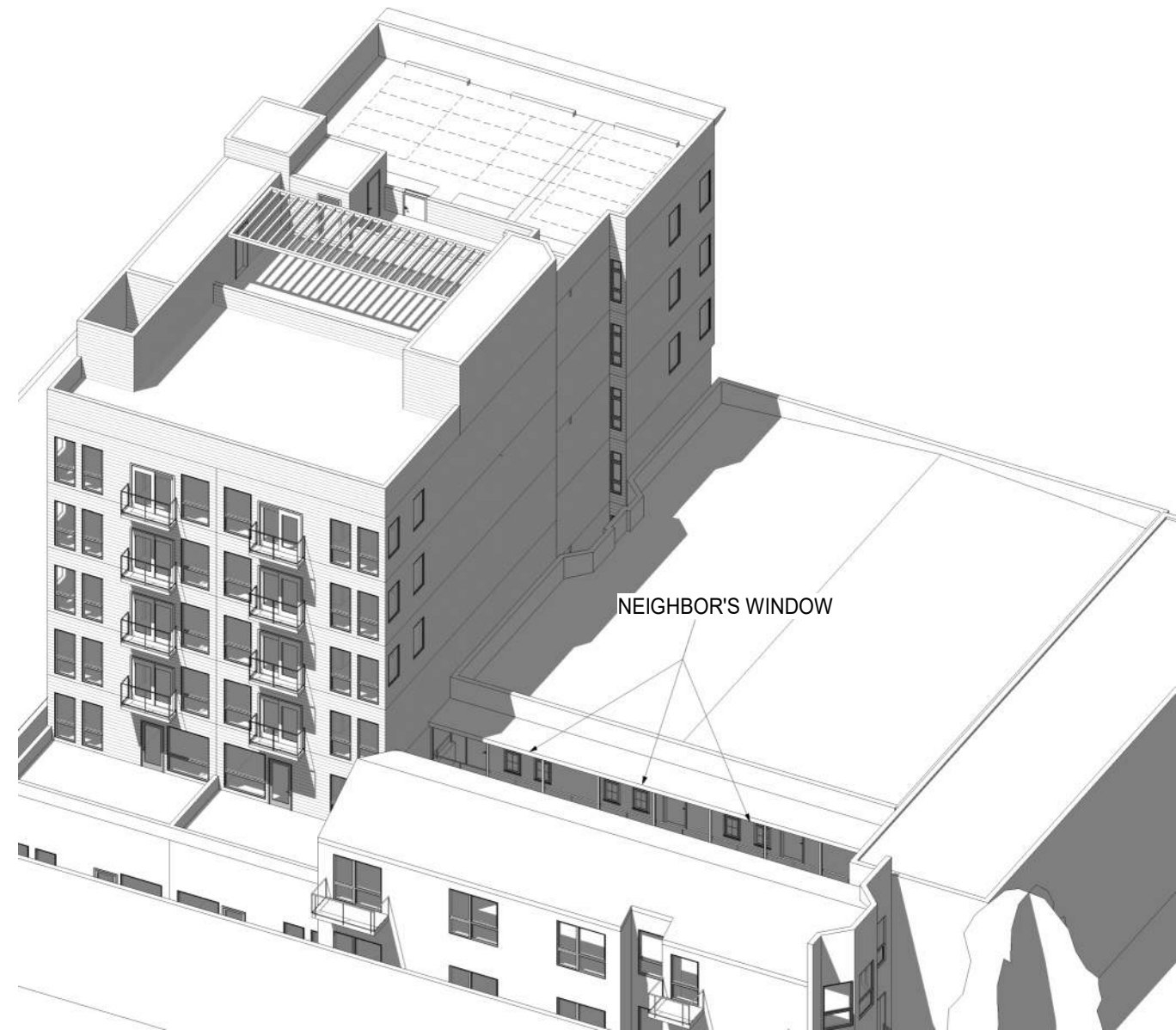
PROPOSED 2

NOTES:
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N.T.S

SUMMER SOLSTICE - 12 PM
EAST FACADE



EXISTING 1



PROPOSED 2

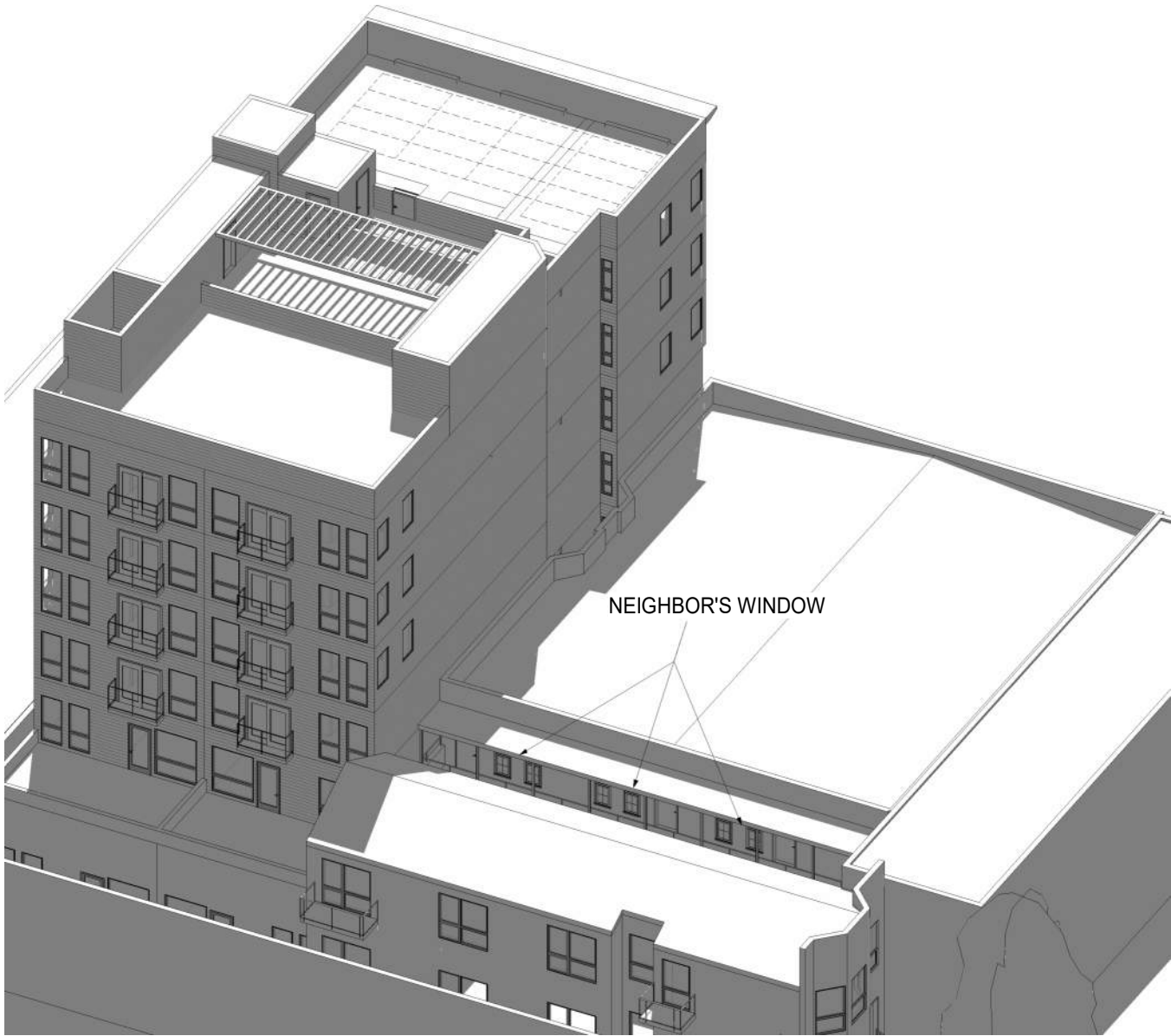
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SUMMER SOLSTICE - 3 PM
EAST FACADE



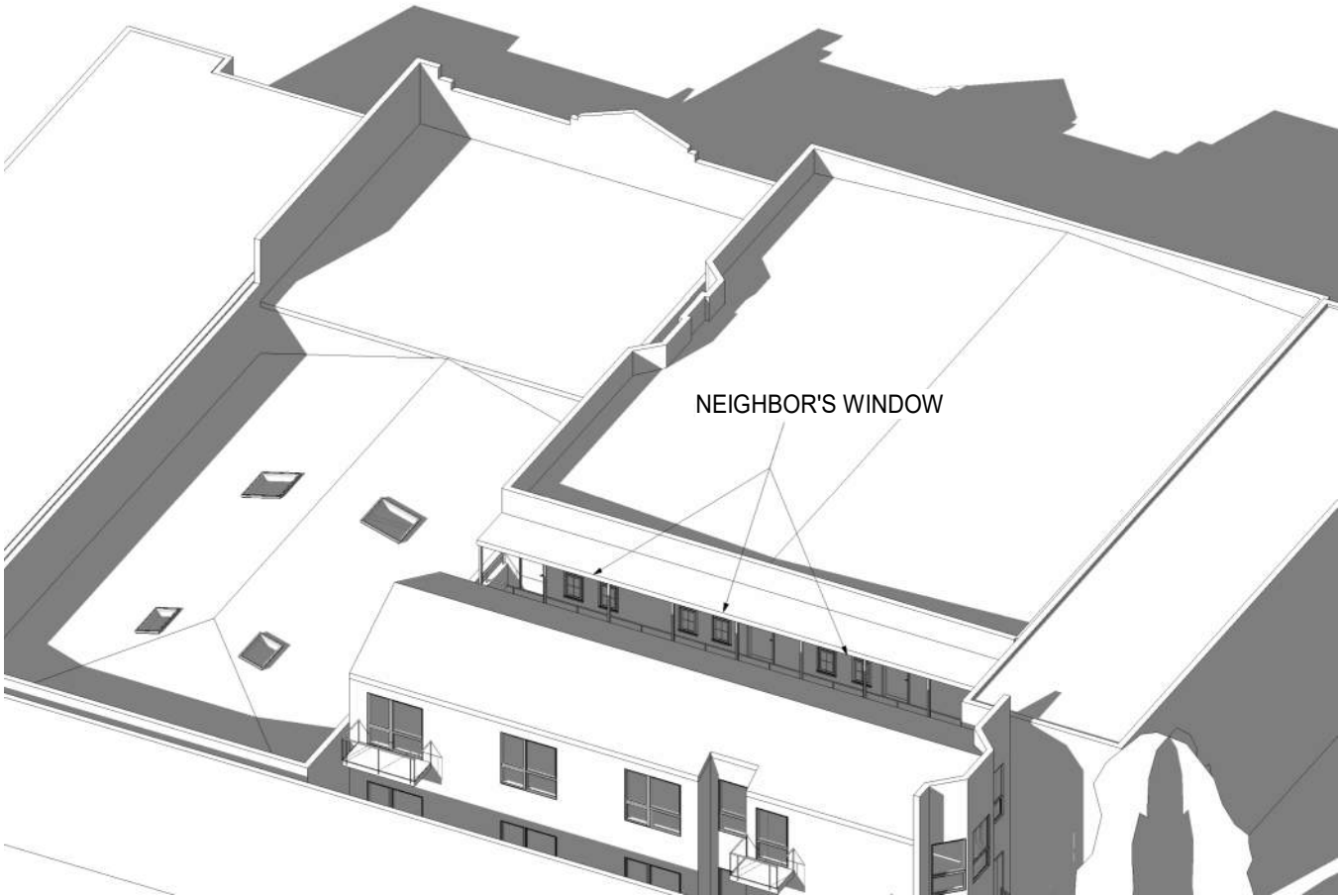
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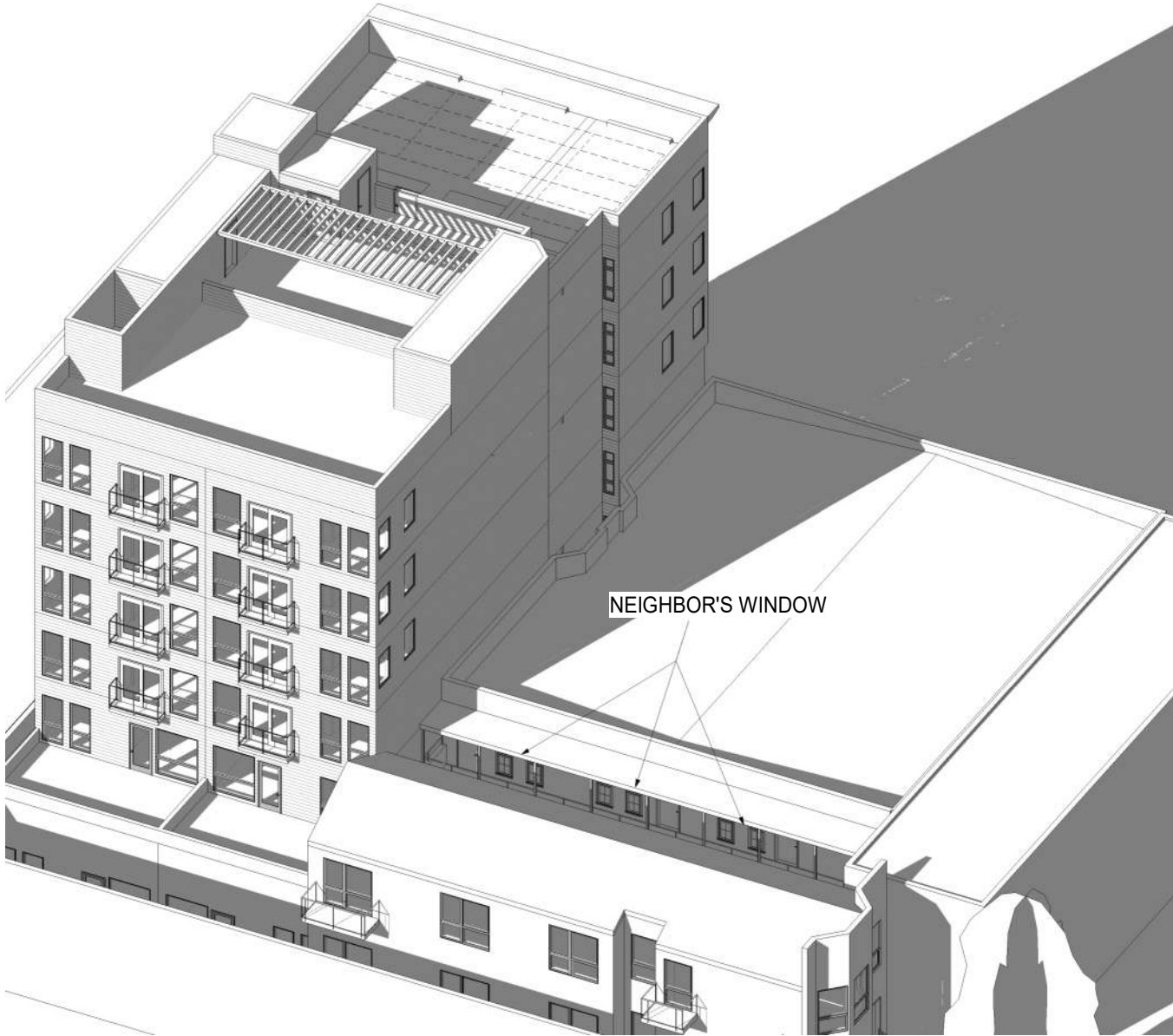
PROPOSED 2

NOTES:
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N.T.S

FALL EQUINOX - 9 AM
EAST FACADE



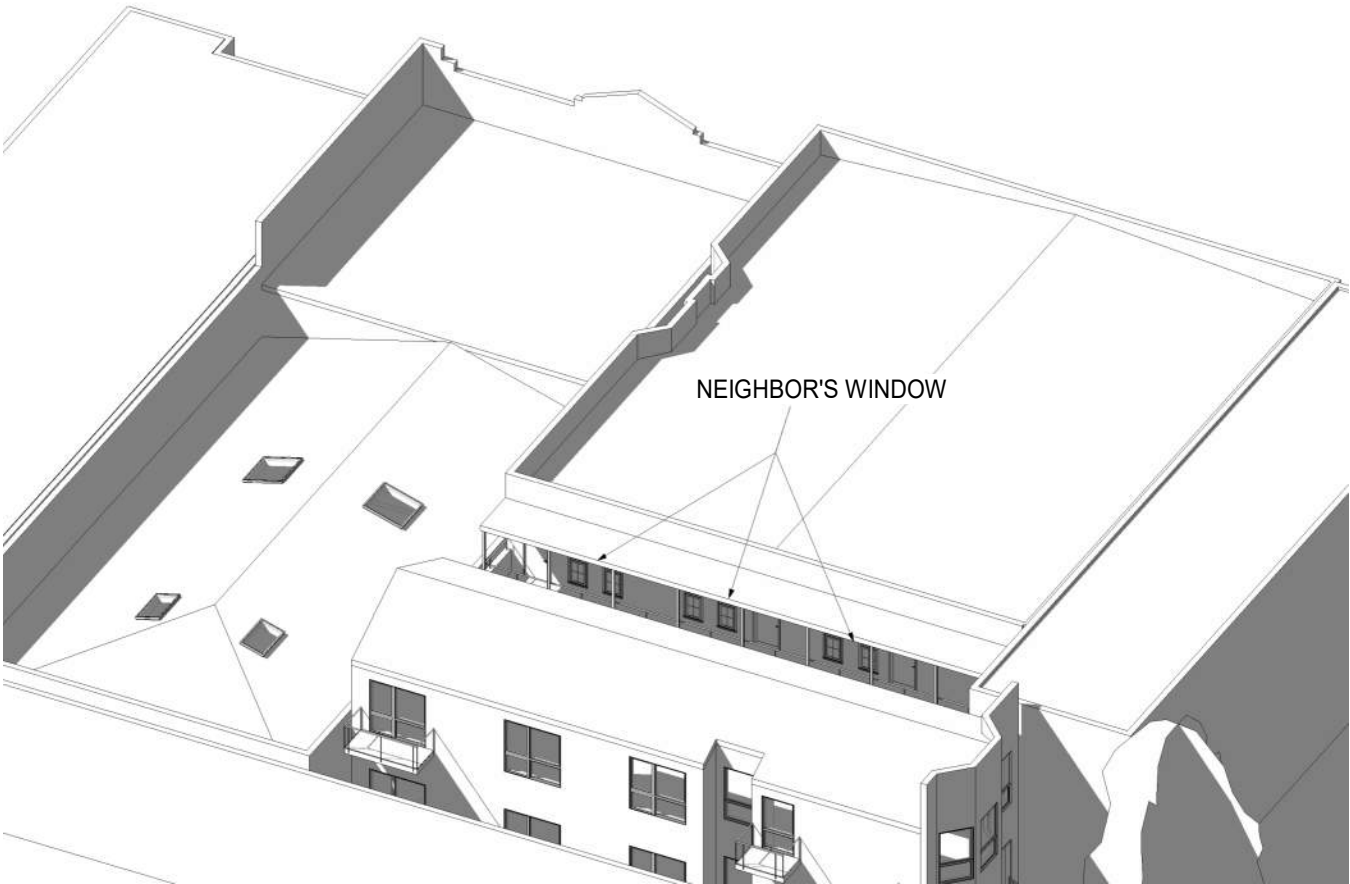
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PROPOSED 2

NOTES:
ADJECENT STRUCTURES ARE APPROXIMATE BASED ON PUBLIC AVAILABLE INFORMATION
N.T.S

FALL EQUINOX - 12 PM
EAST FACADE



EXISTING 1



PROPOSED 2

NOTES:
ADJECENT STRUCTURES ARE APPROXIMATE BASED ON PUBLIC AVAILABLE INFORMATION
N.T.S

FALL EQUINOX - 3 PM
EAST FACADE



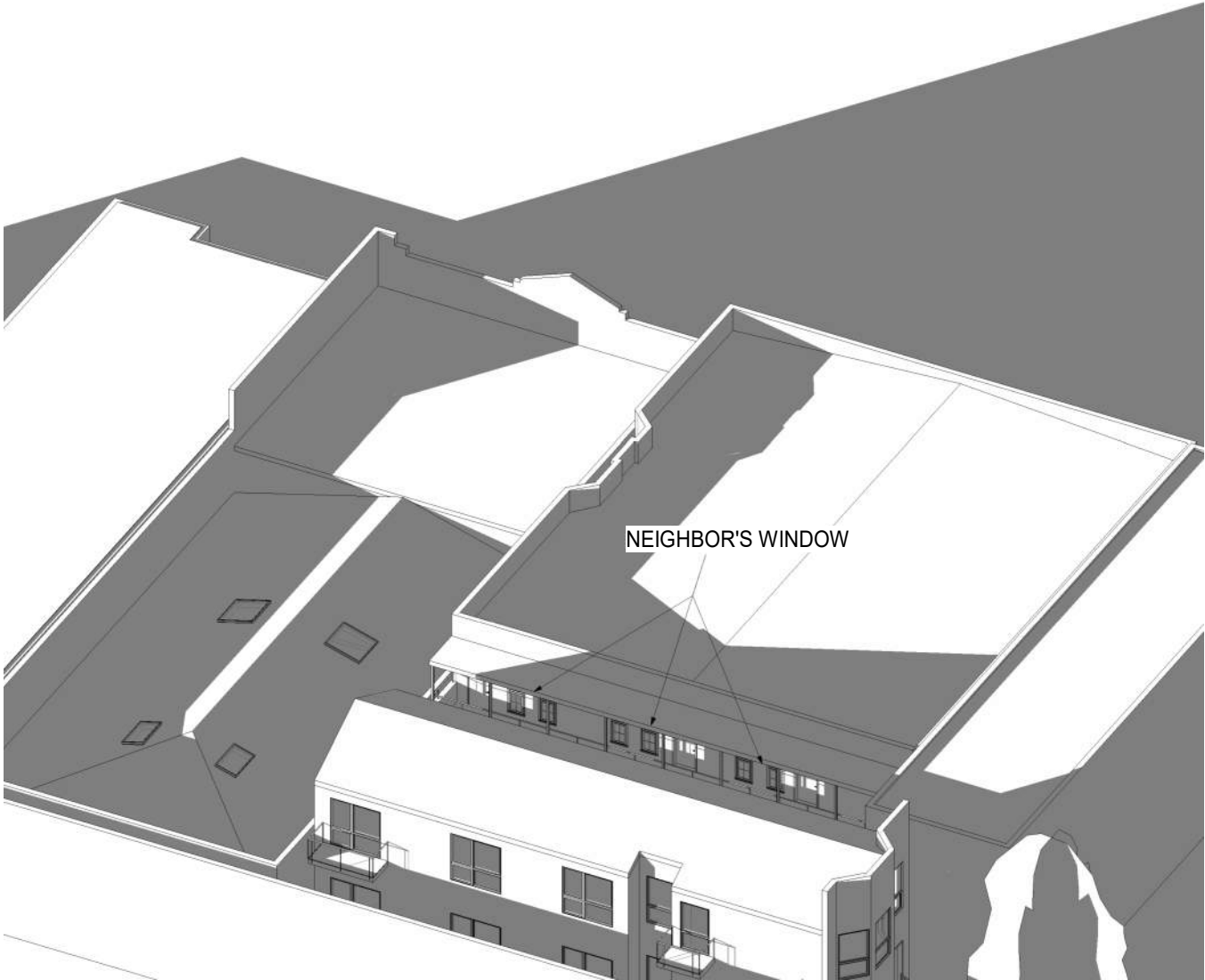
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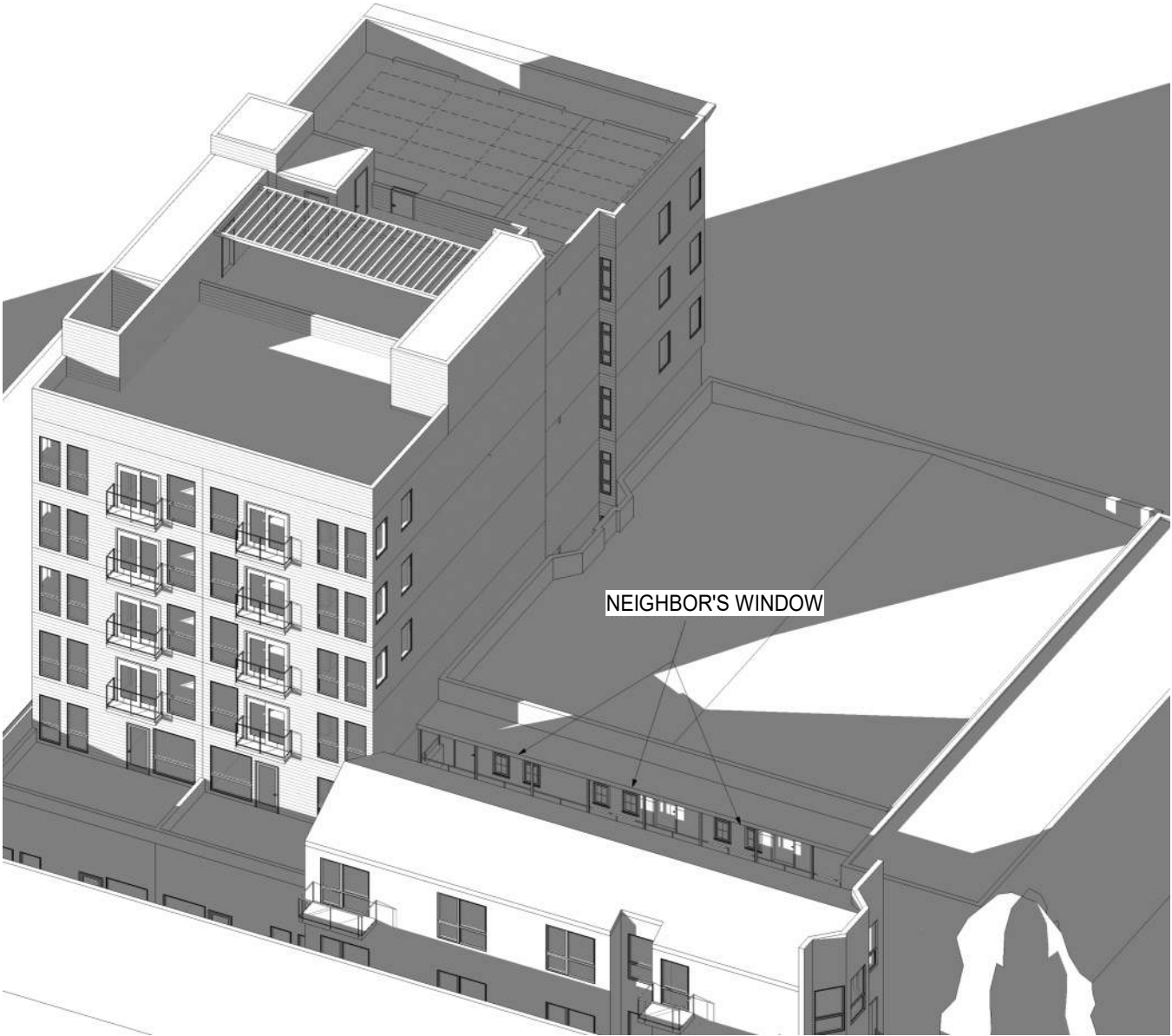
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N.T.S

WINTER SOLSTICE - 9 AM
EAST FACADE



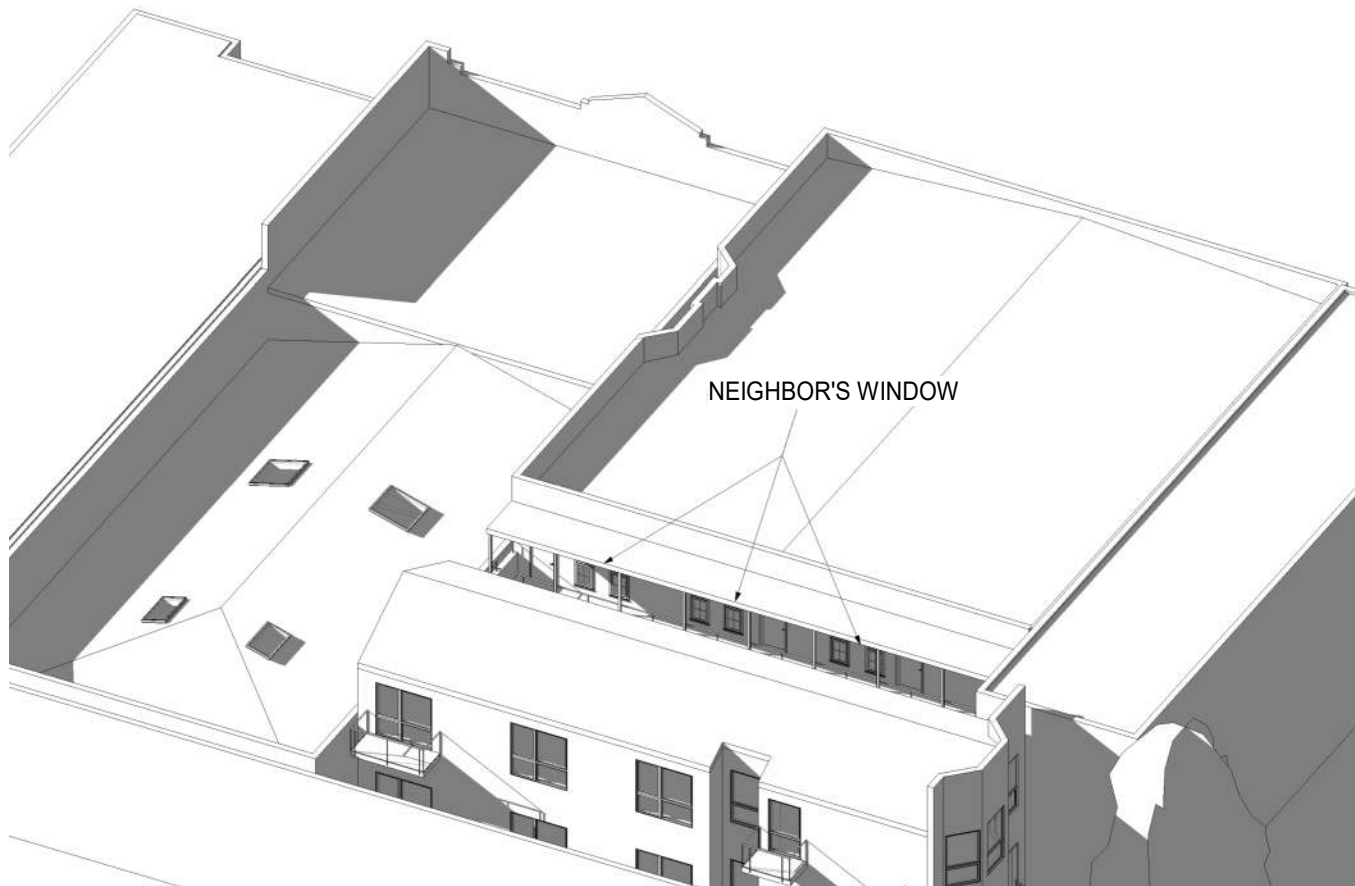
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PROPOSED 2

NOTES:
ADJECENT STRUCTURES ARE APPROXIMATE BASED ON PUBLIC AVAILABLE INFORMATION
N.T.S

WINTER SOLSTICE - 12 PM
EAST FACADE



EXISTING 1



PROPOSED 2

NOTES:
ADJECENT STRUCTURES ARE APPROXIMATE BASED ON PUBLIC AVAILABLE INFORMATION
N.T.S

WINTER SOLSTICE - 3 PM
EAST FACADE

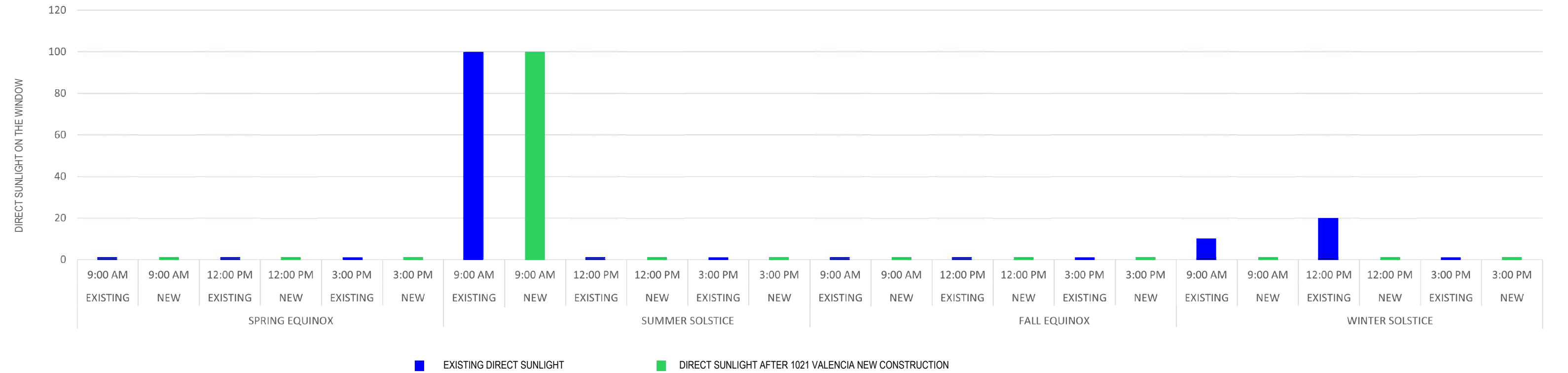


EXISTING 1



PROPOSED 2

NOTES:
ADJECENT STRUCTURES ARE APPROXIMATE BASED ON PUBLIC AVAILABLE INFORMATION
N.T.S



SHADOW STUDY EXHIBIT

1021 VALENCIA STREET, SAN FRANCISCO, CA

AND

3277-3279-3281 21ST STREET, SAN FRANCISCO, CA



SHADOW STUDY EXHIBIT

In this exhibit, we will discuss the details concerning the minor incremental shadows that would be cast on Mr. Munzer Dajani's property by the proposed new building throughout the year.

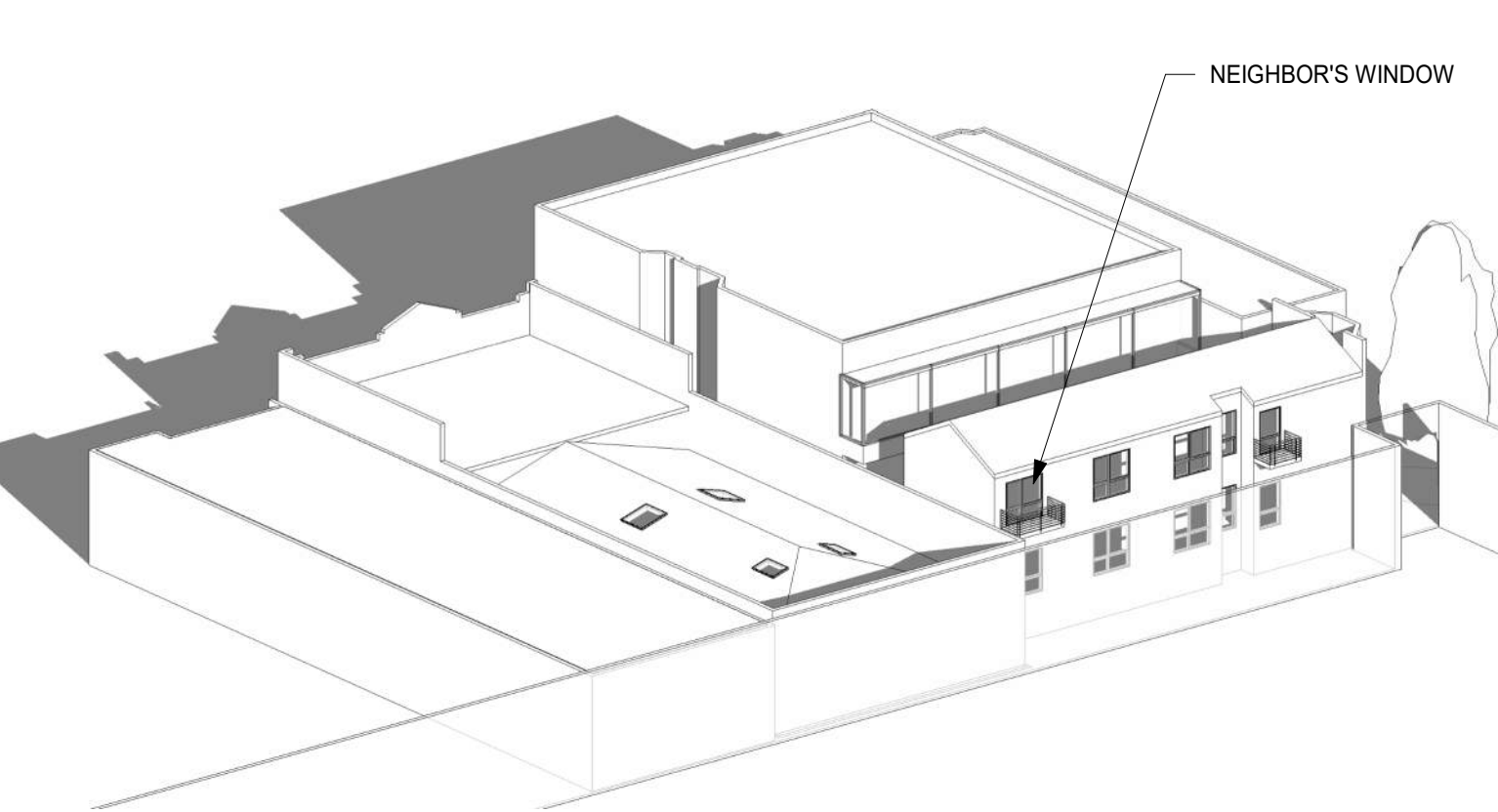
The shadow study indicates that throughout the year, the proposed new building would not cast any new shadow on the east-facing windows of Mr. Dajani's property. The windows on the east are much larger than the windows on the west side, and although we did not receive the interior drawings of Mr. Dajani's building as we requested, we believe that the rooms on the east side on the second floor are the more important rooms, such as bedrooms and living rooms (and not bathrooms and kitchens).

In fact, due to the rear setback of the proposed new building, something that does not exist on the lot today, all the shadows that used to be cast on Mr. Dajani's east-facing windows by the existing property during noon will no longer exist. (see pages: 1.1, 3.1, 4.1). This can best be seen on the drawing of noon, east façade, winter solstice.

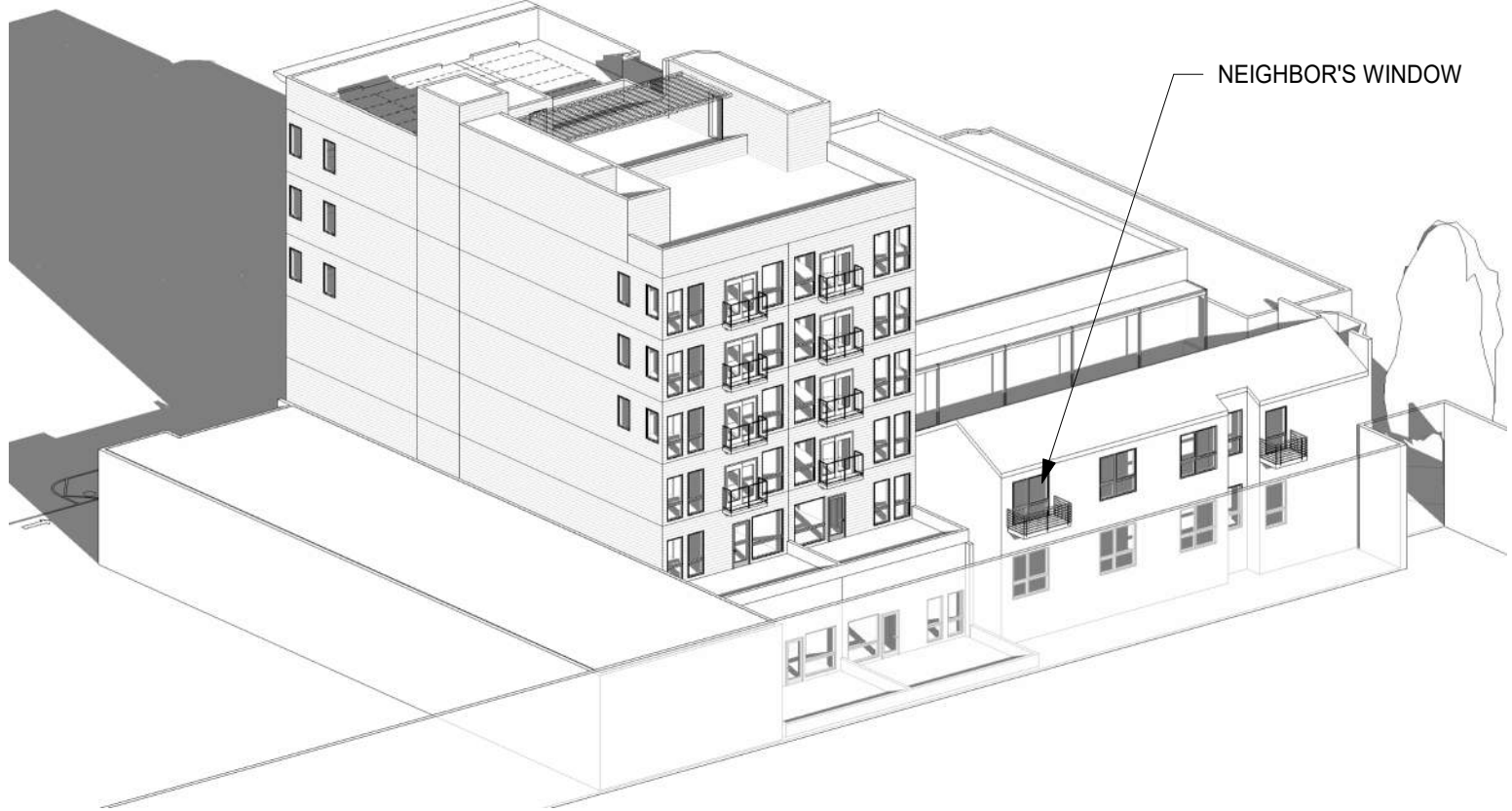
The proposed new building would begin to cast minor incremental shadows on the west-facing windows of Mr. Dajani's property after 3:00 PM throughout the year. However, Mr. Dajani's west-facing windows are already in shade for most of the year, so the incremental new shadows from the proposed new building would not have a significant impact on Mr. Dajani's west-facing windows.

Given the above, we believe that Mr. Dajani's DR should be dismissed.

SPRING EQUINOX - 9 AM
EAST FACADE



EXISTING 2

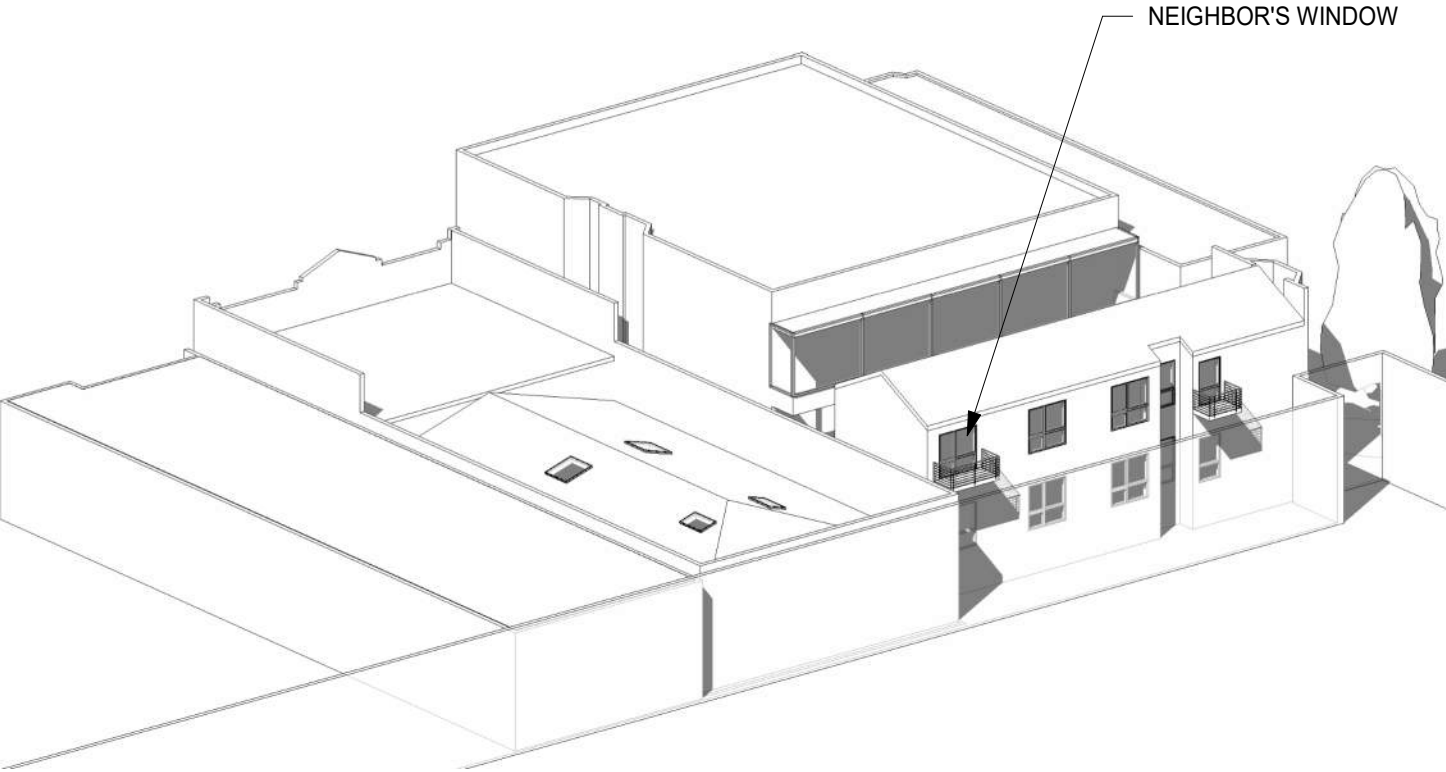


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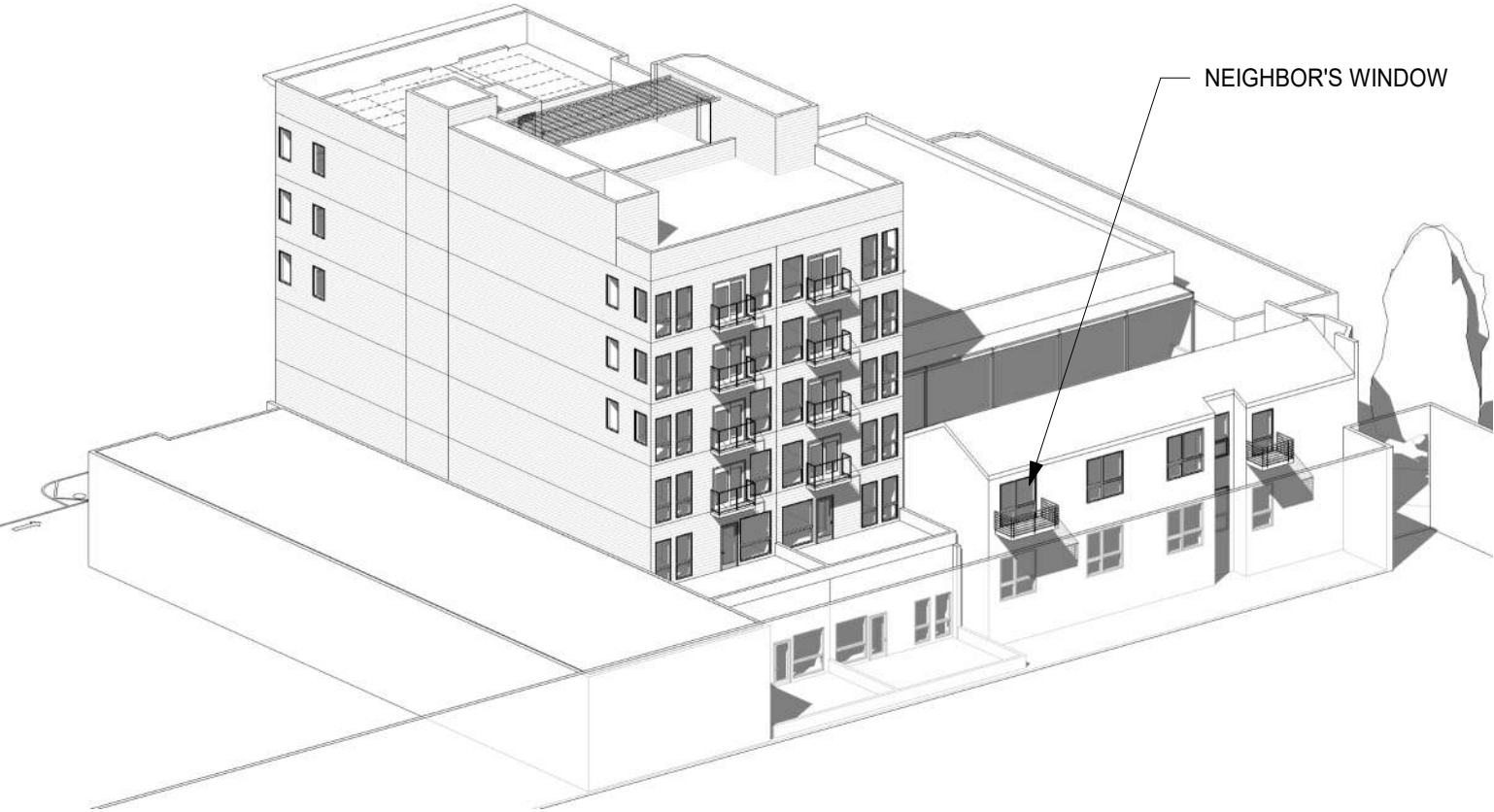
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N.T.S

SPRING EQUINOX - 12 PM
EAST FACADE



EXISTING 2

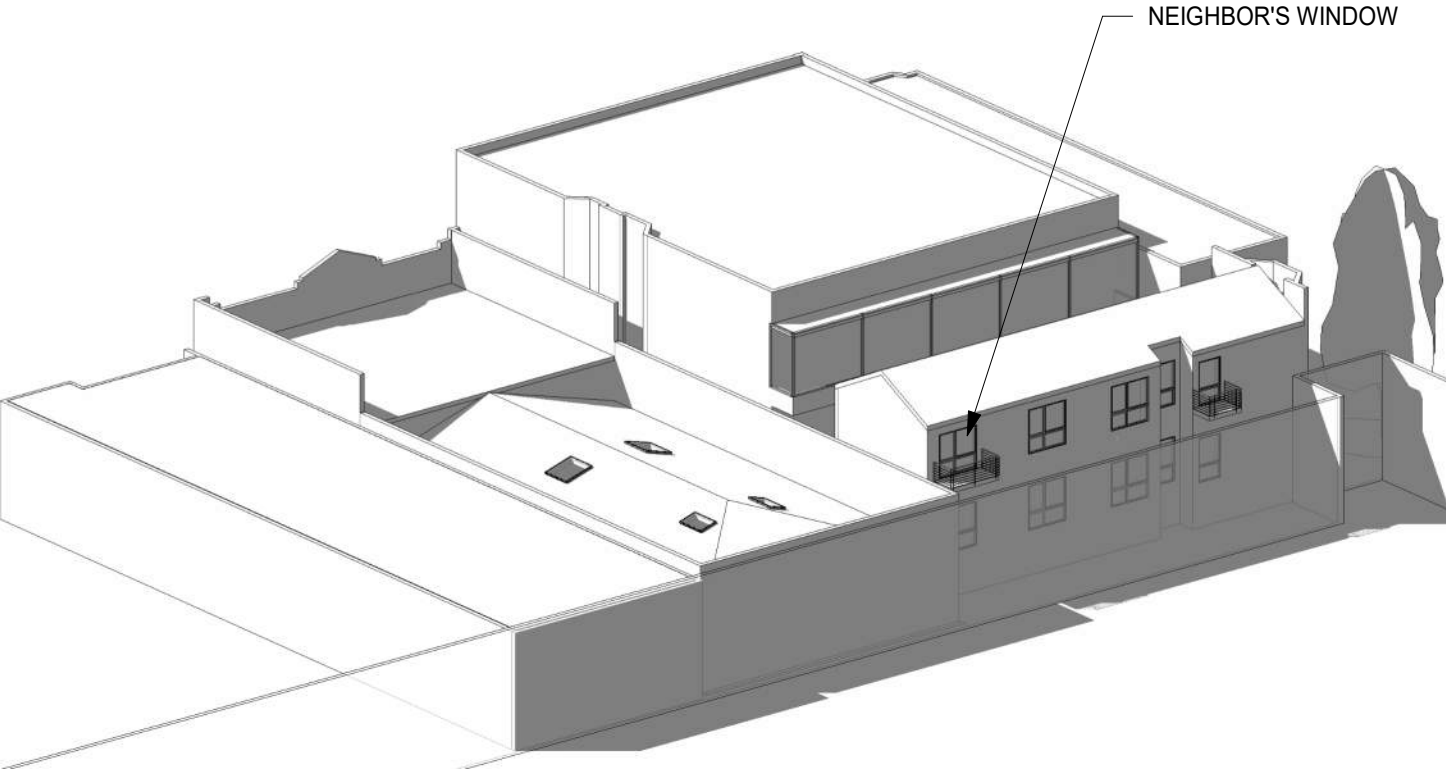


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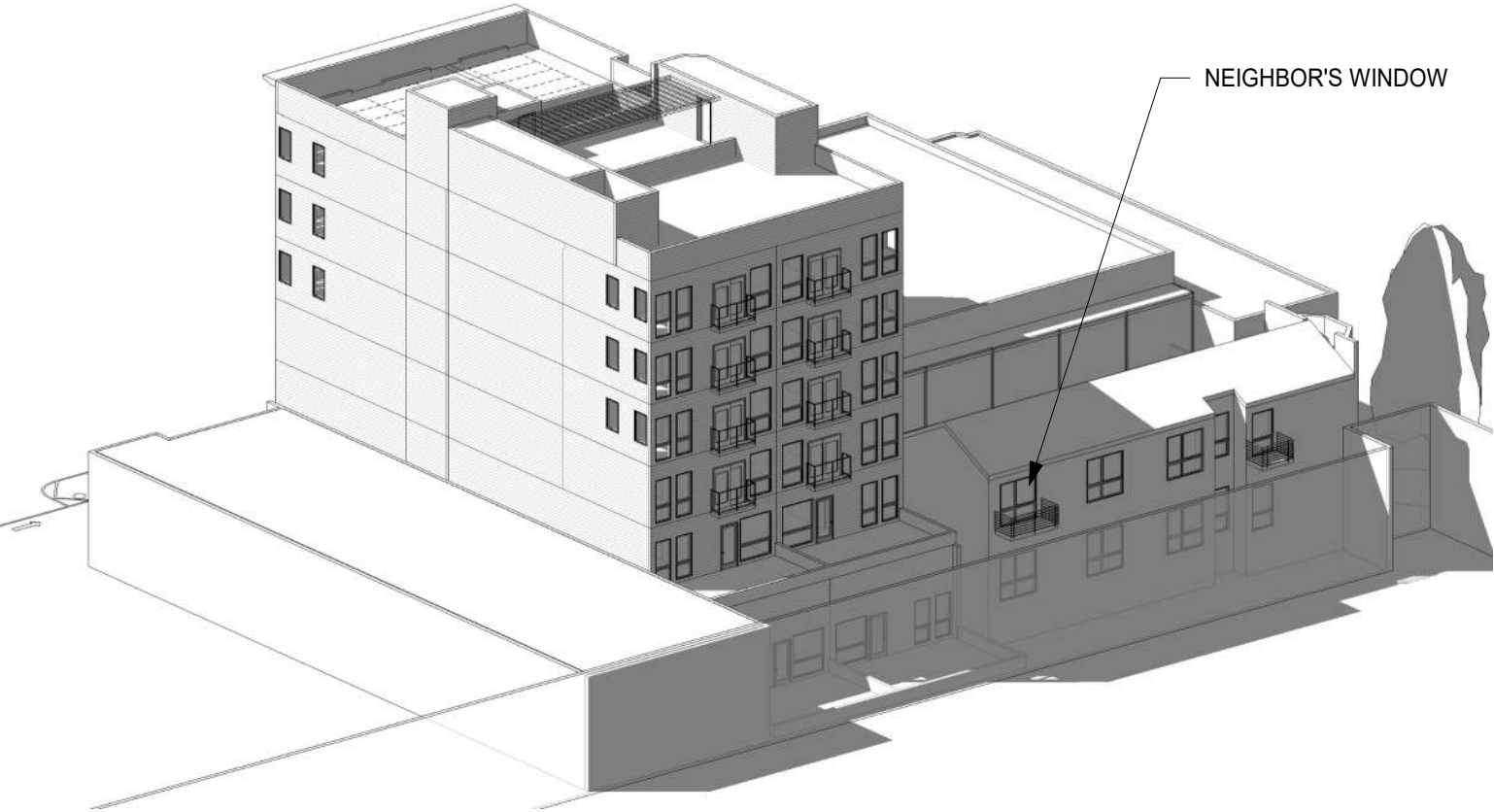
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SPRING EQUINOX - 3 PM
EAST FACADE



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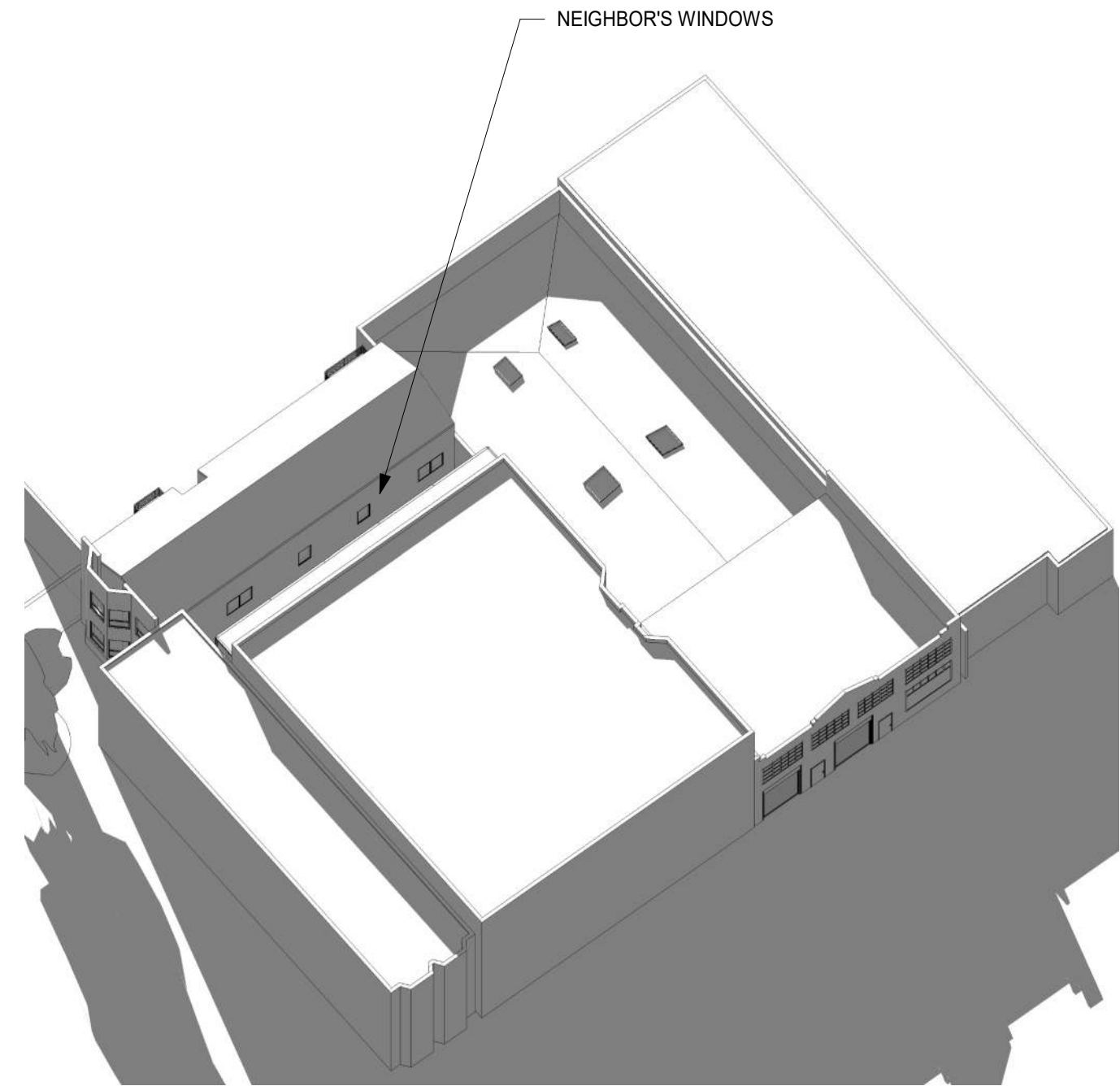


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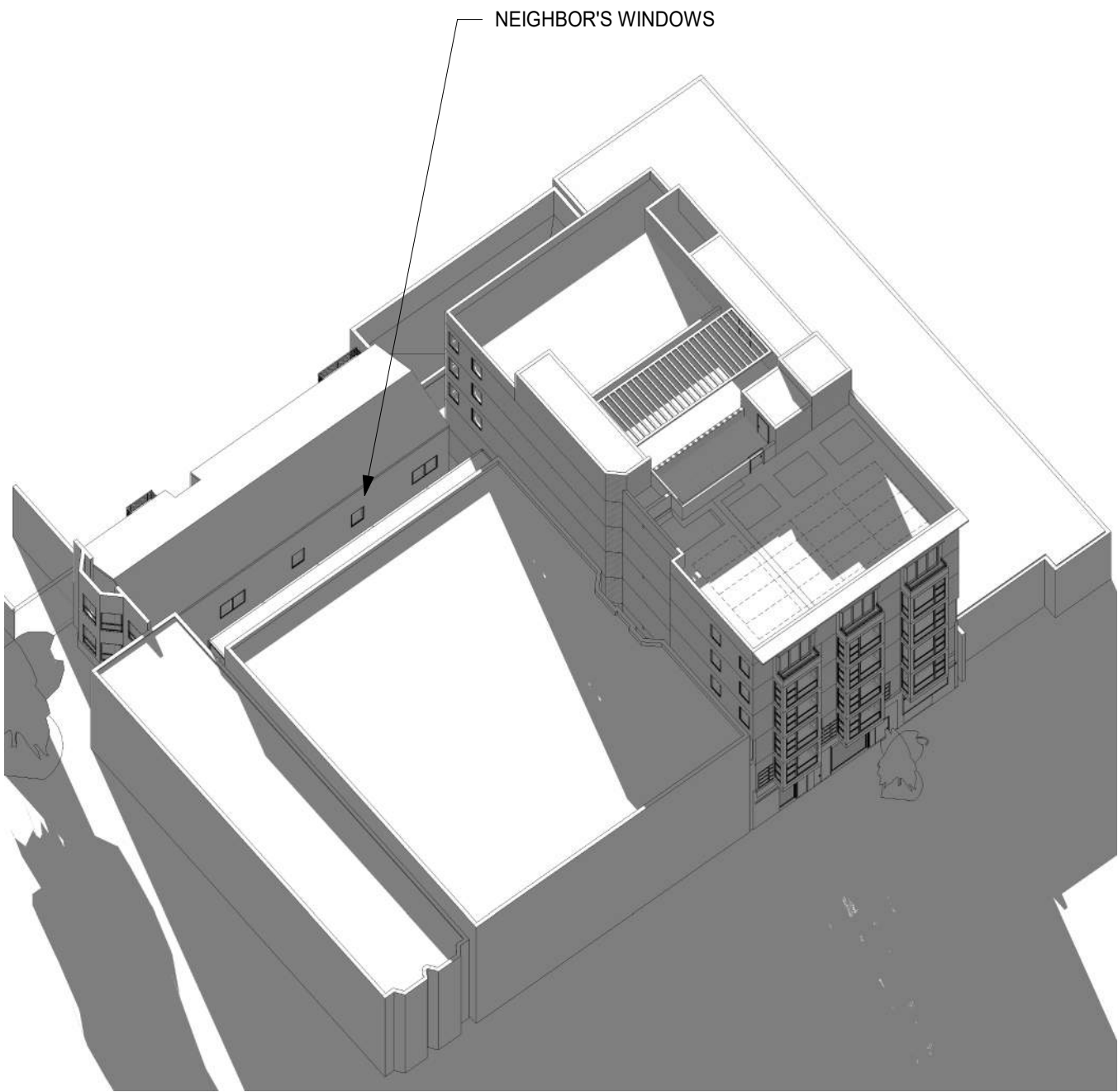
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SPRING EQUINOX - 9 AM
WEST FACADE



EXISTING 2

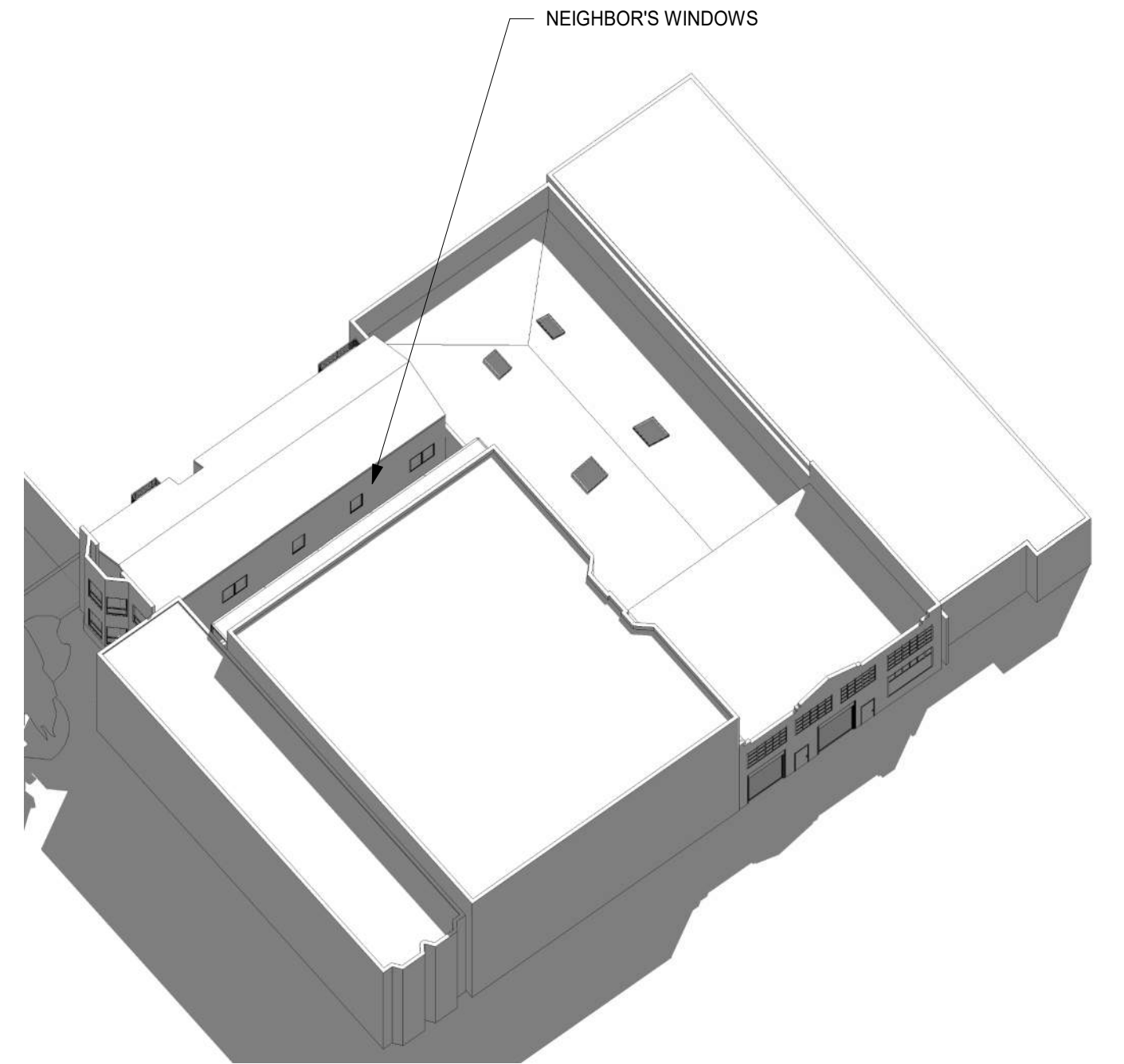


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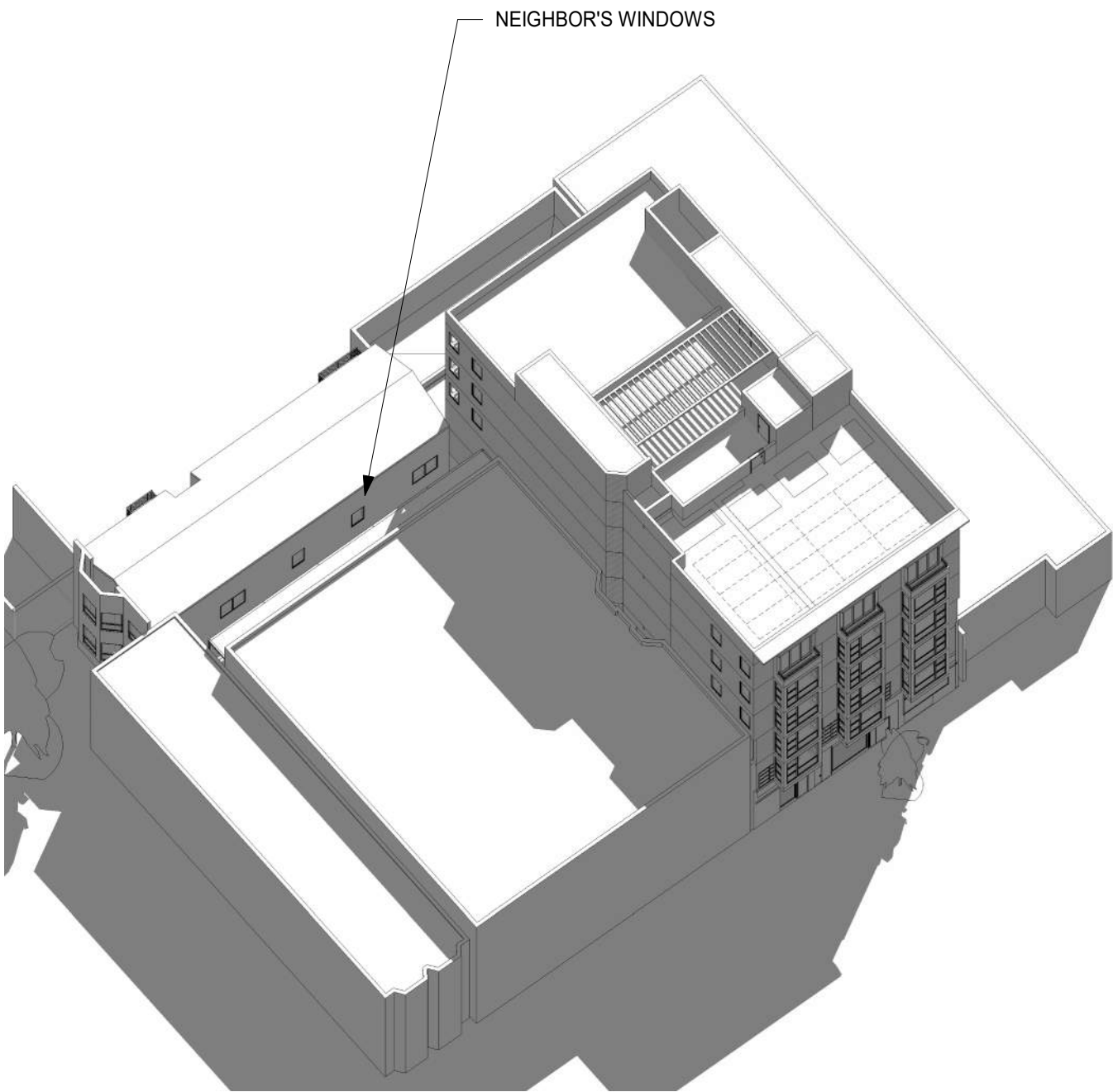
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SPRING EQUINOX - 12 PM
WEST FACADE



EXISTING 2

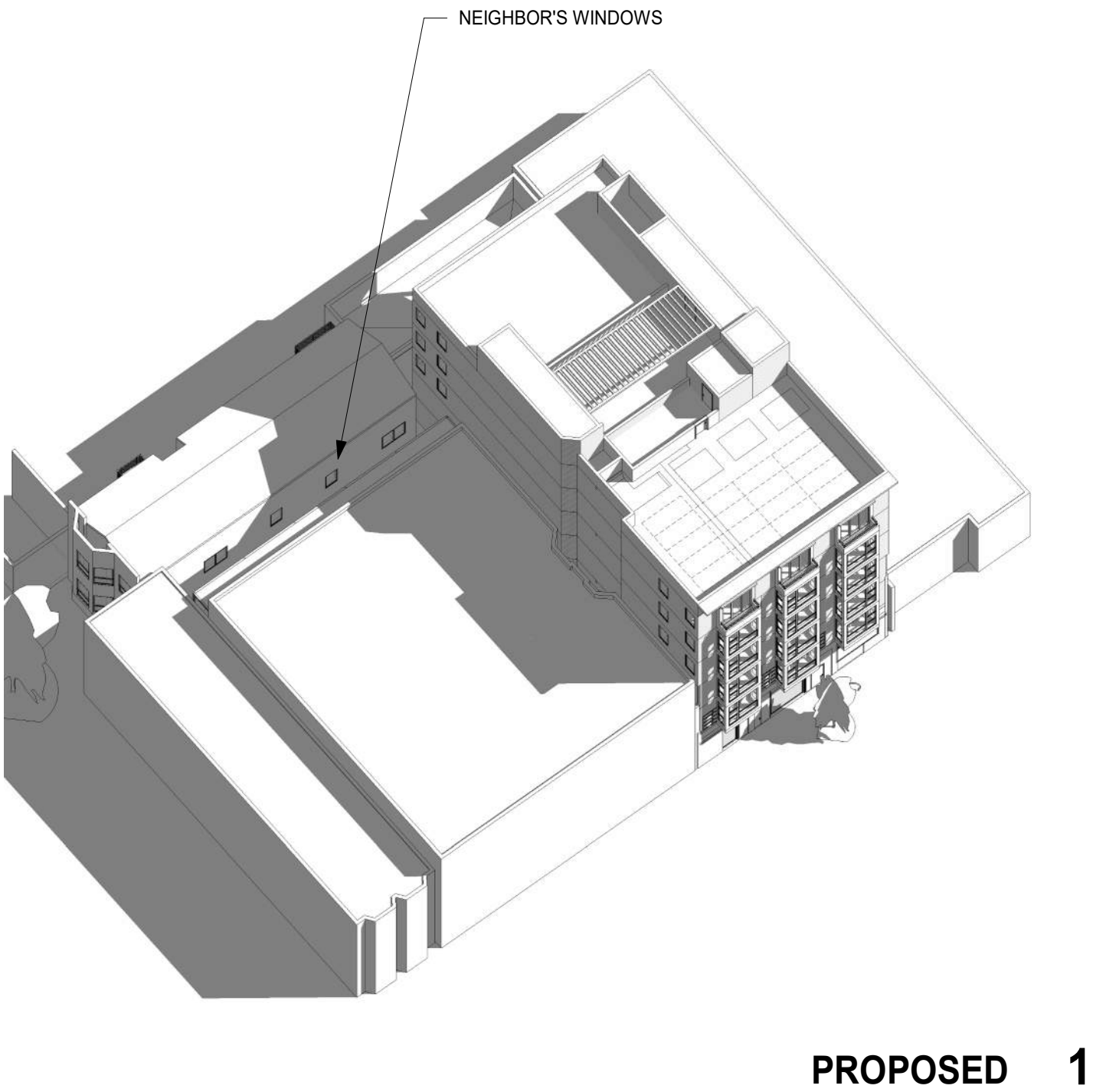
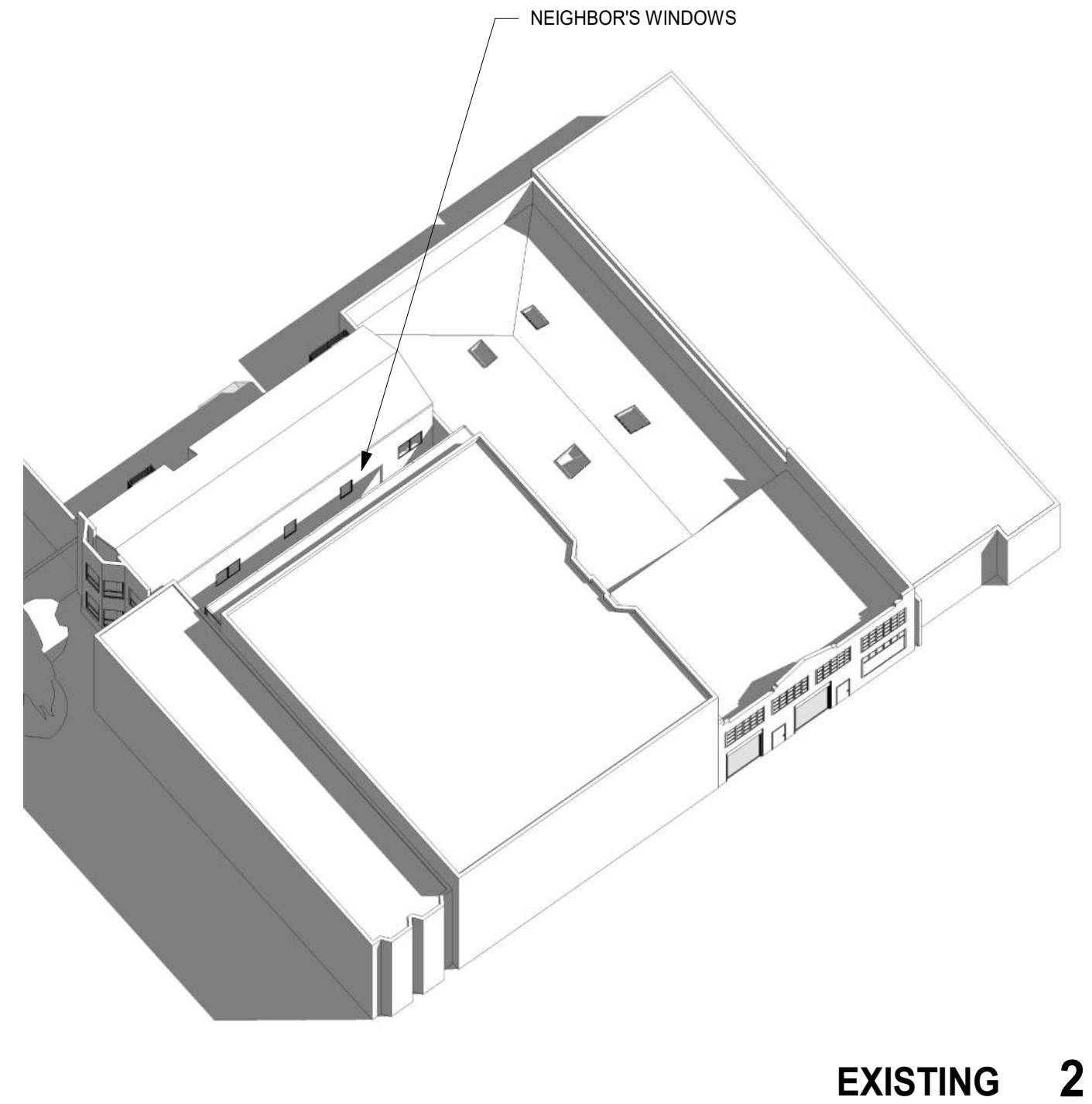


PROPOSED 1

NOTES:
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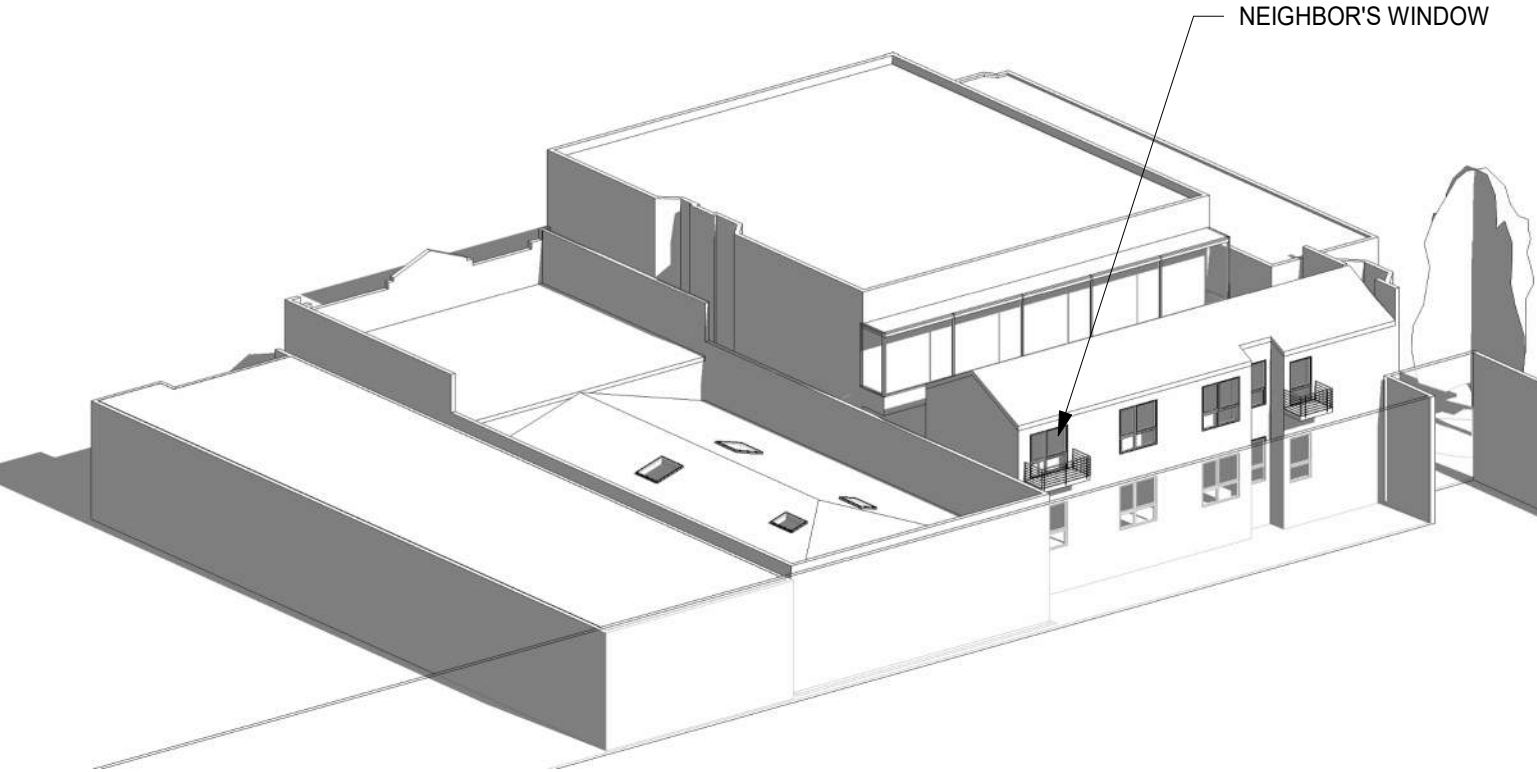
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SPRING EQUINOX - 3 PM
WEST FACADE

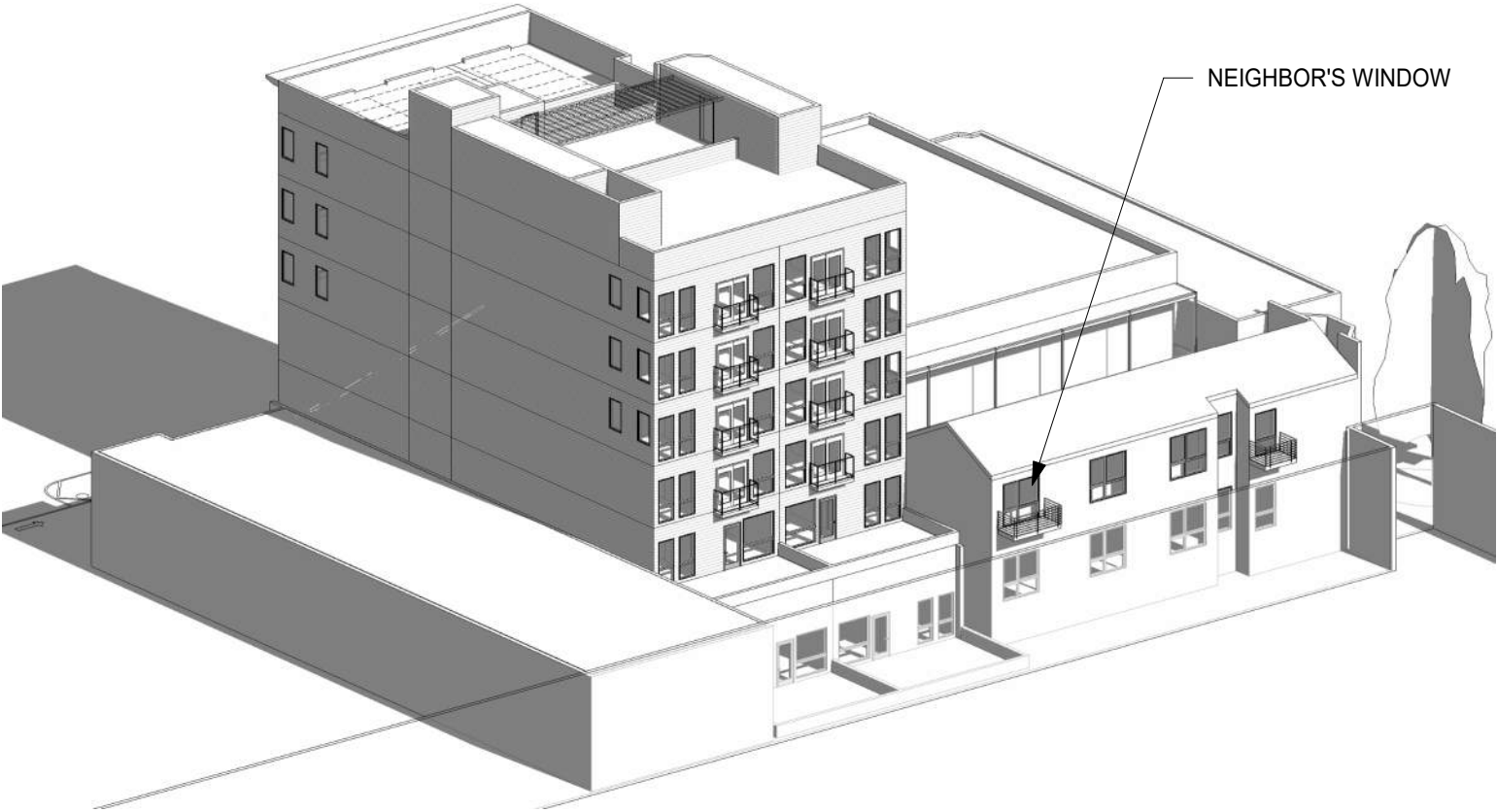


NOTES:
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N.T.S

SUMMER SOLSTICE - 9 AM
EAST FACADE



EXISTING 2

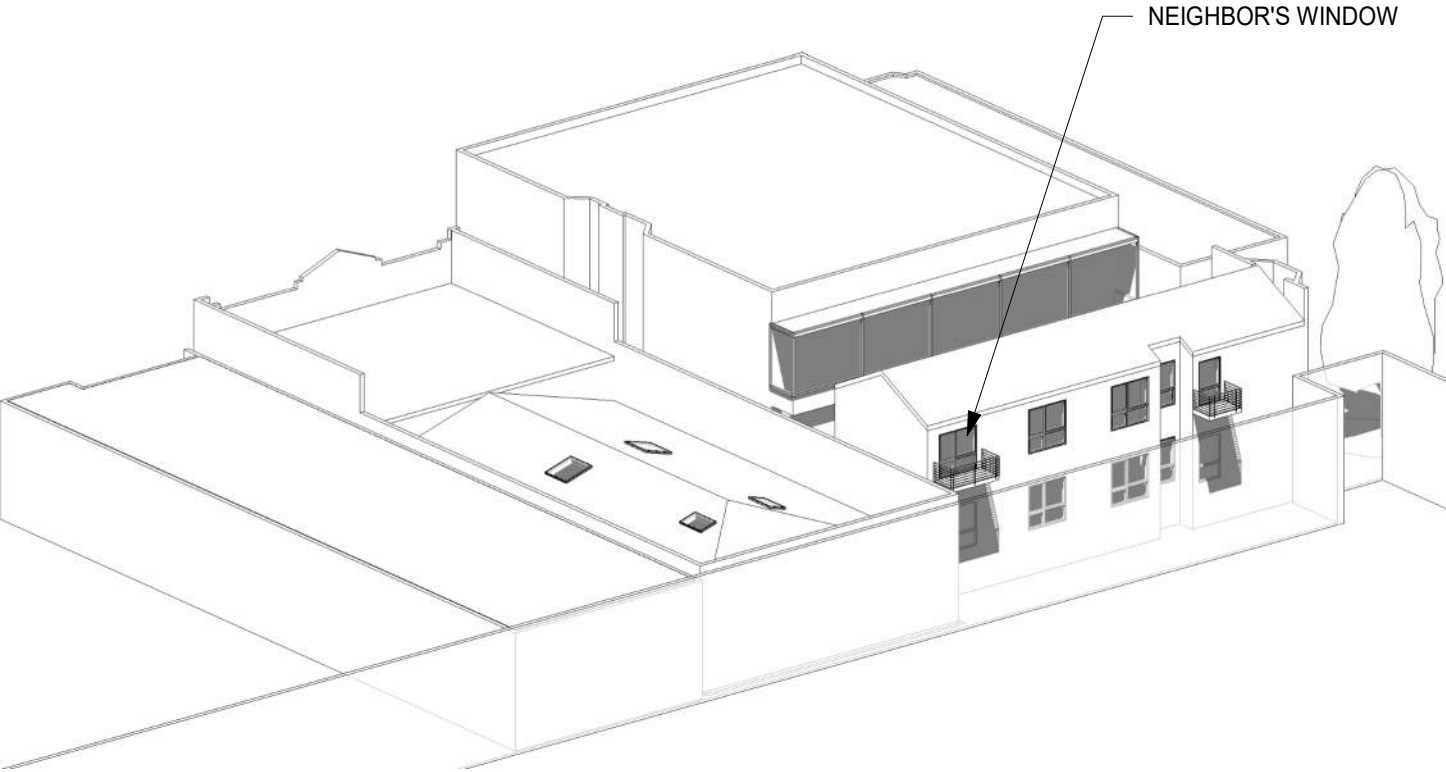


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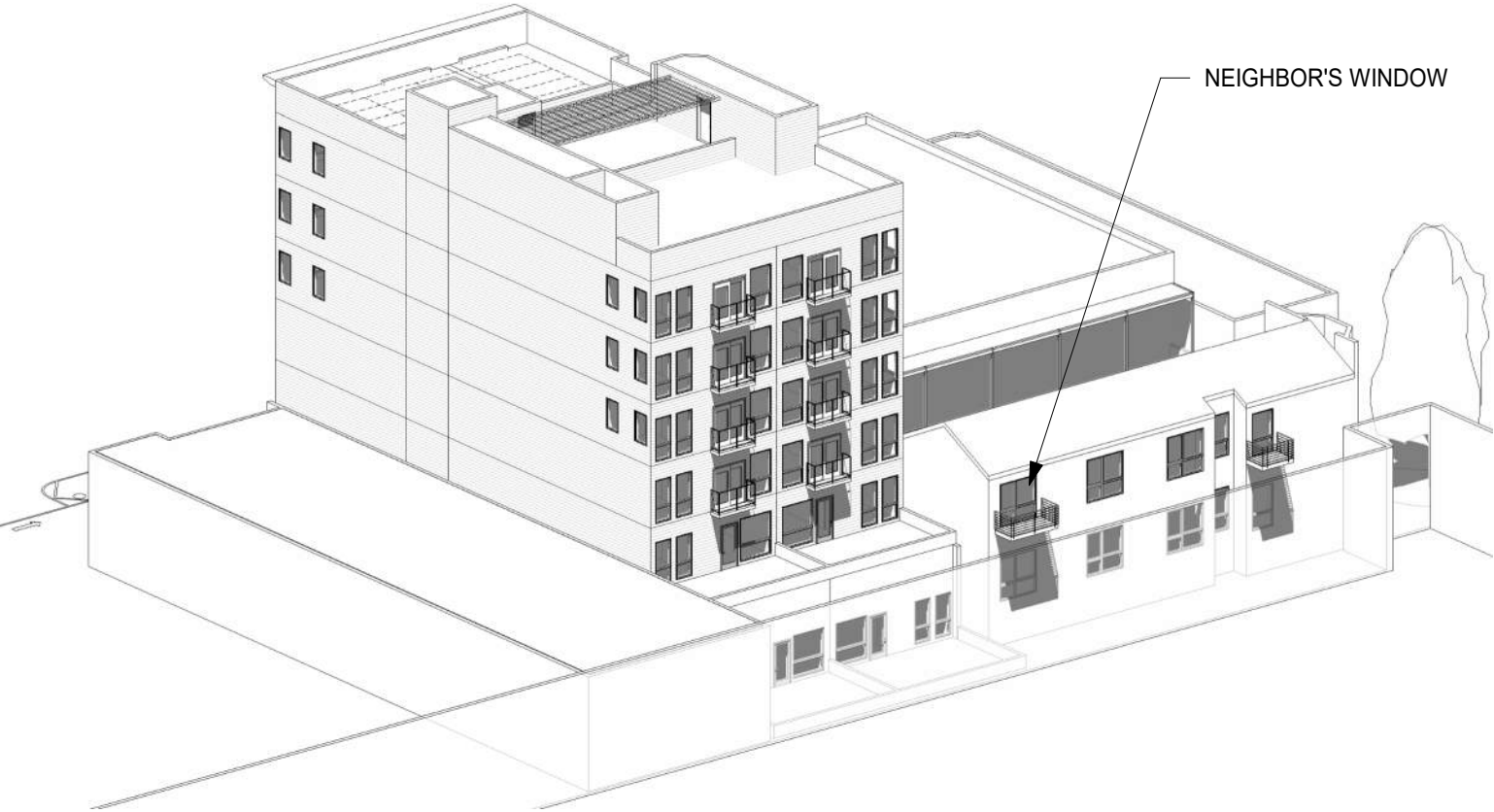
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N.T.S

SUMMER SOLSTICE - 12 PM
EAST FACADE



EXISTING 2

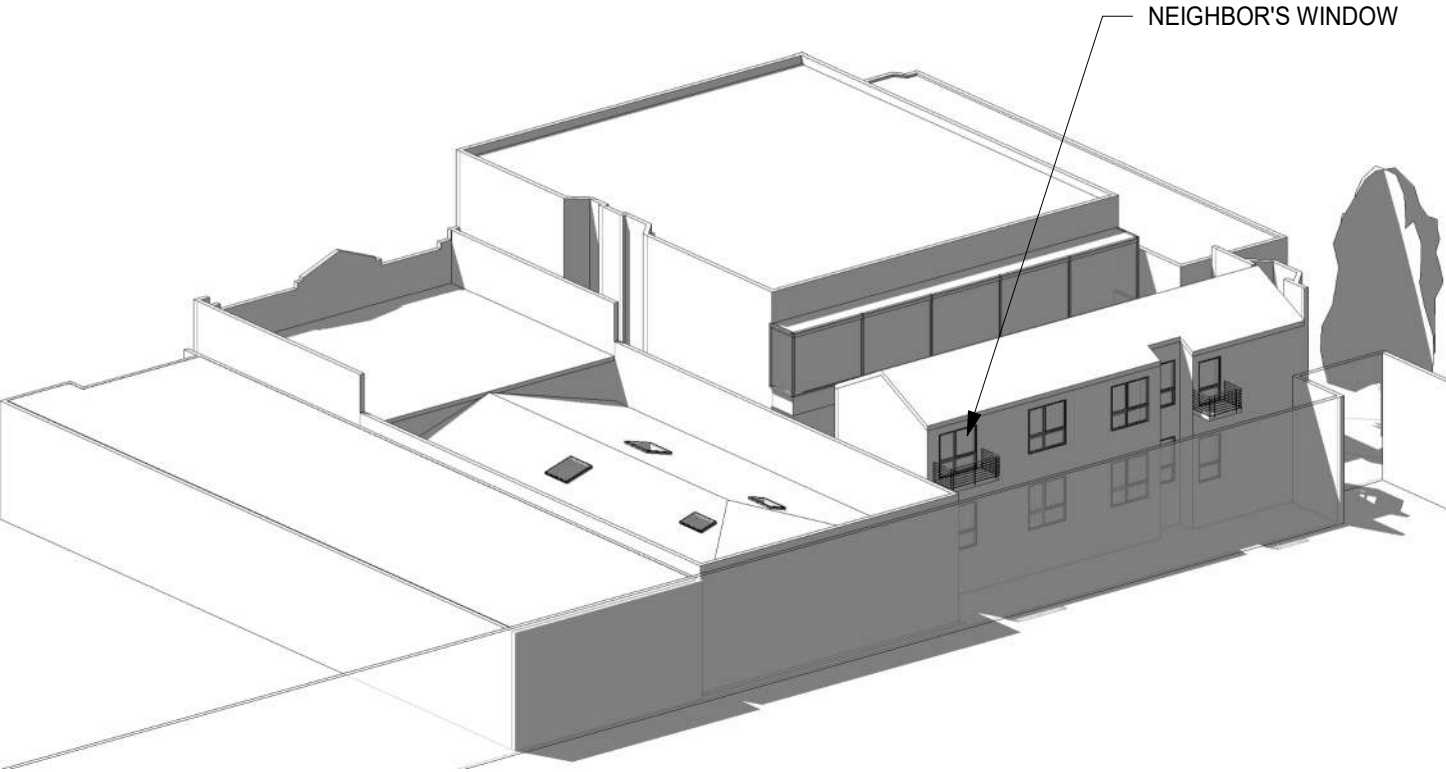


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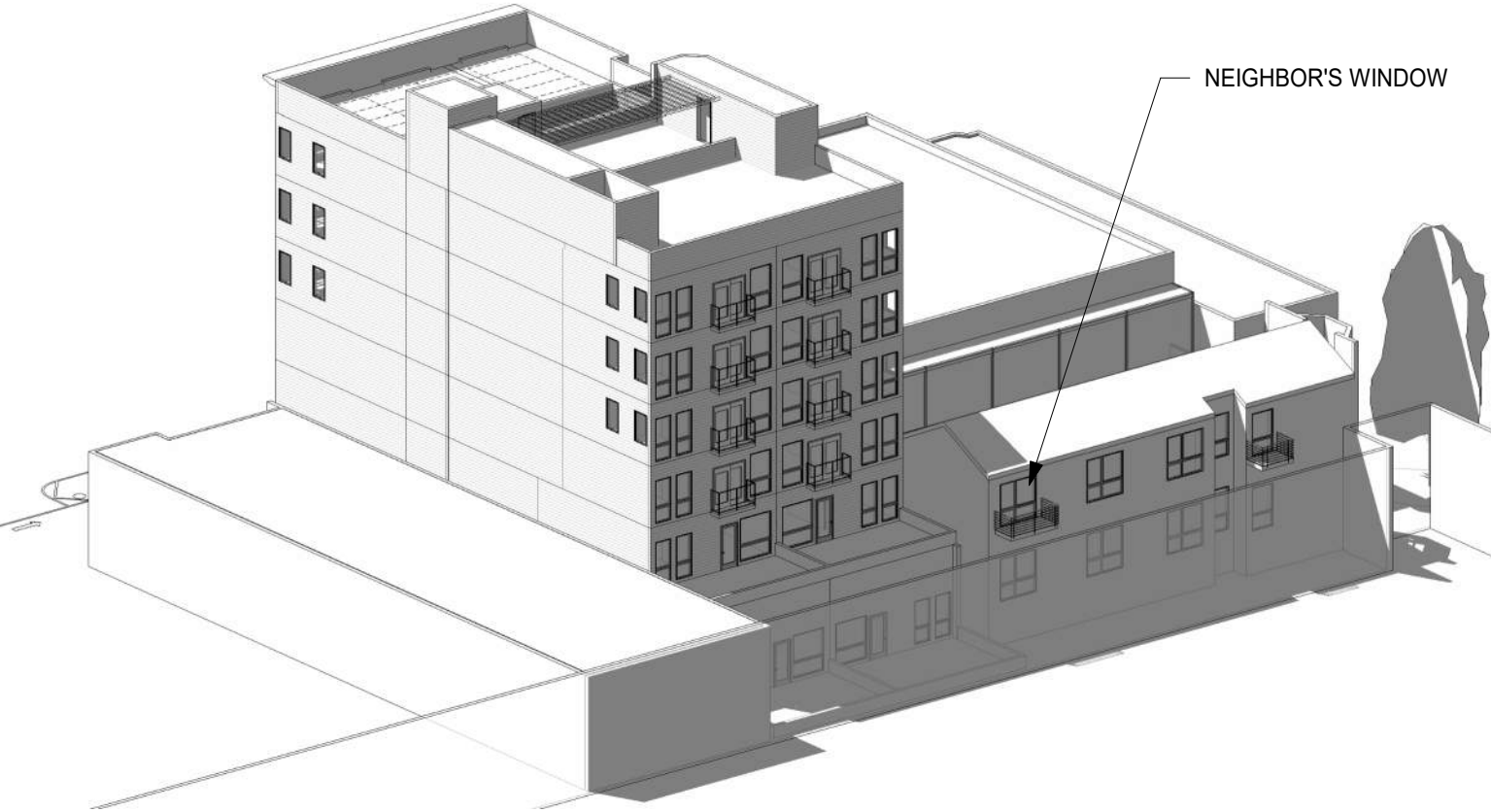
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N.T.S

SUMMER SOLSTICE - 3 PM
EAST FACADE



EXISTING 2

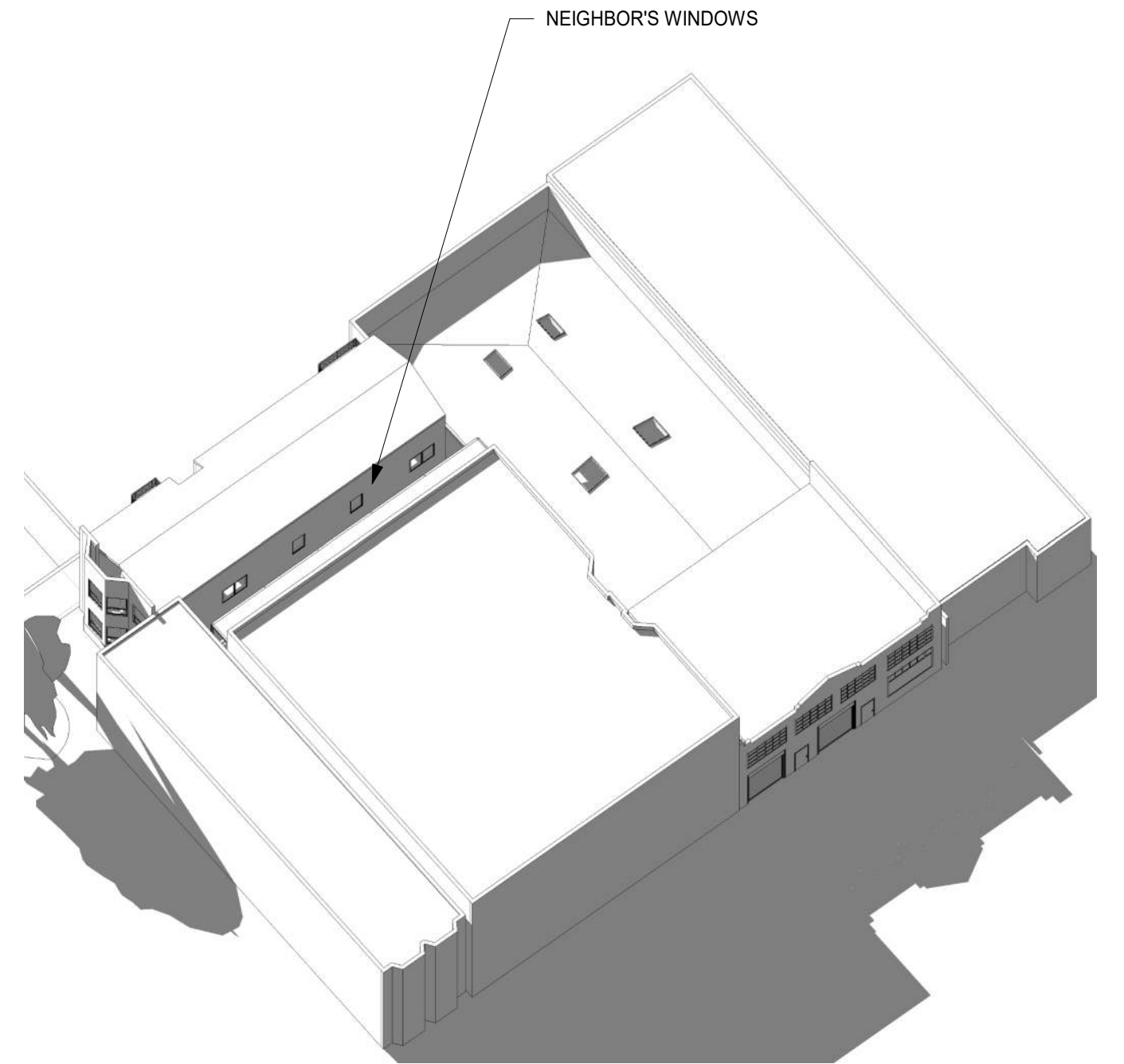


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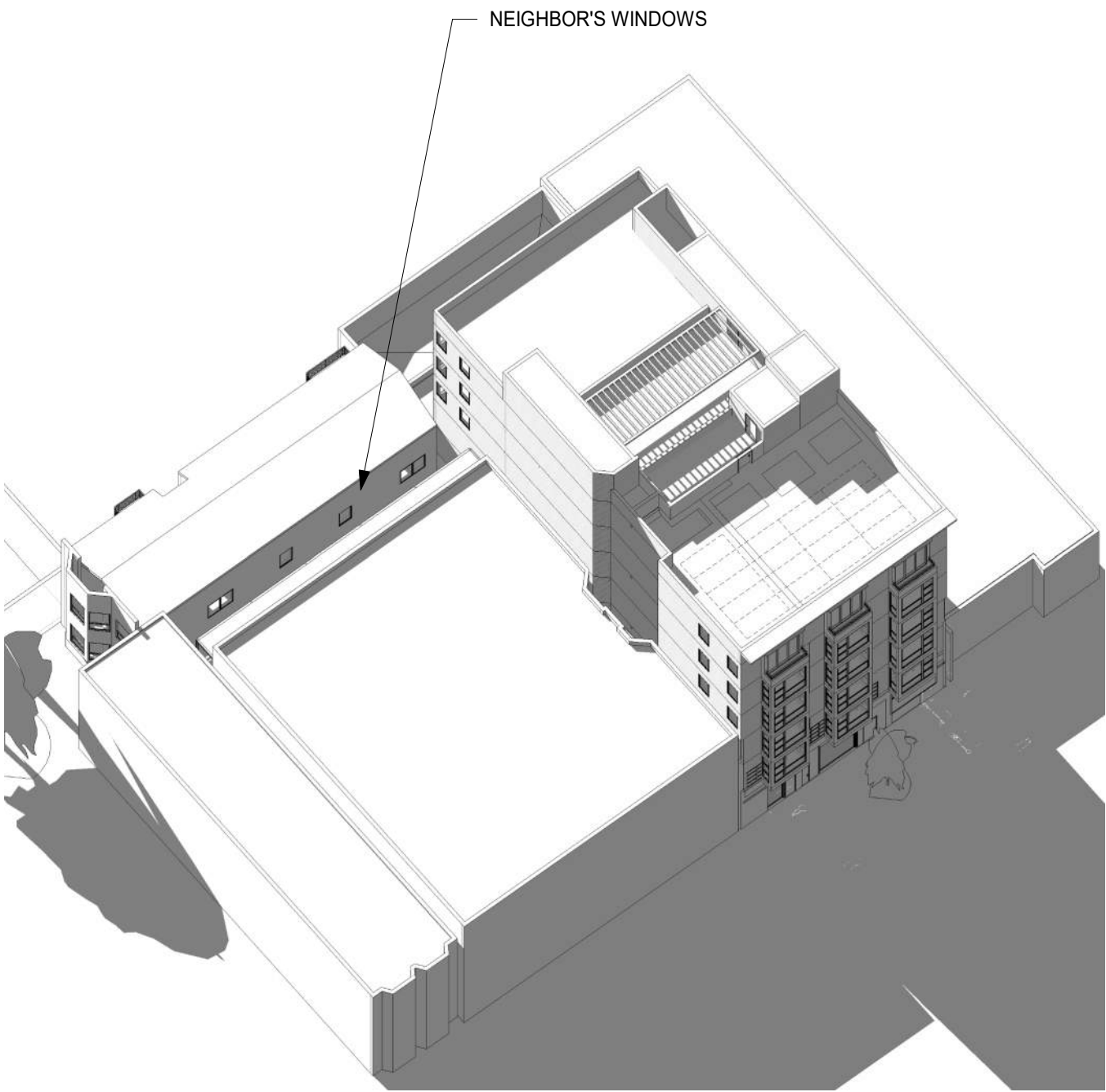
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N.T.S

SUMMER SOLSTICE - 9 AM
WEST FACADE



EXISTING 2

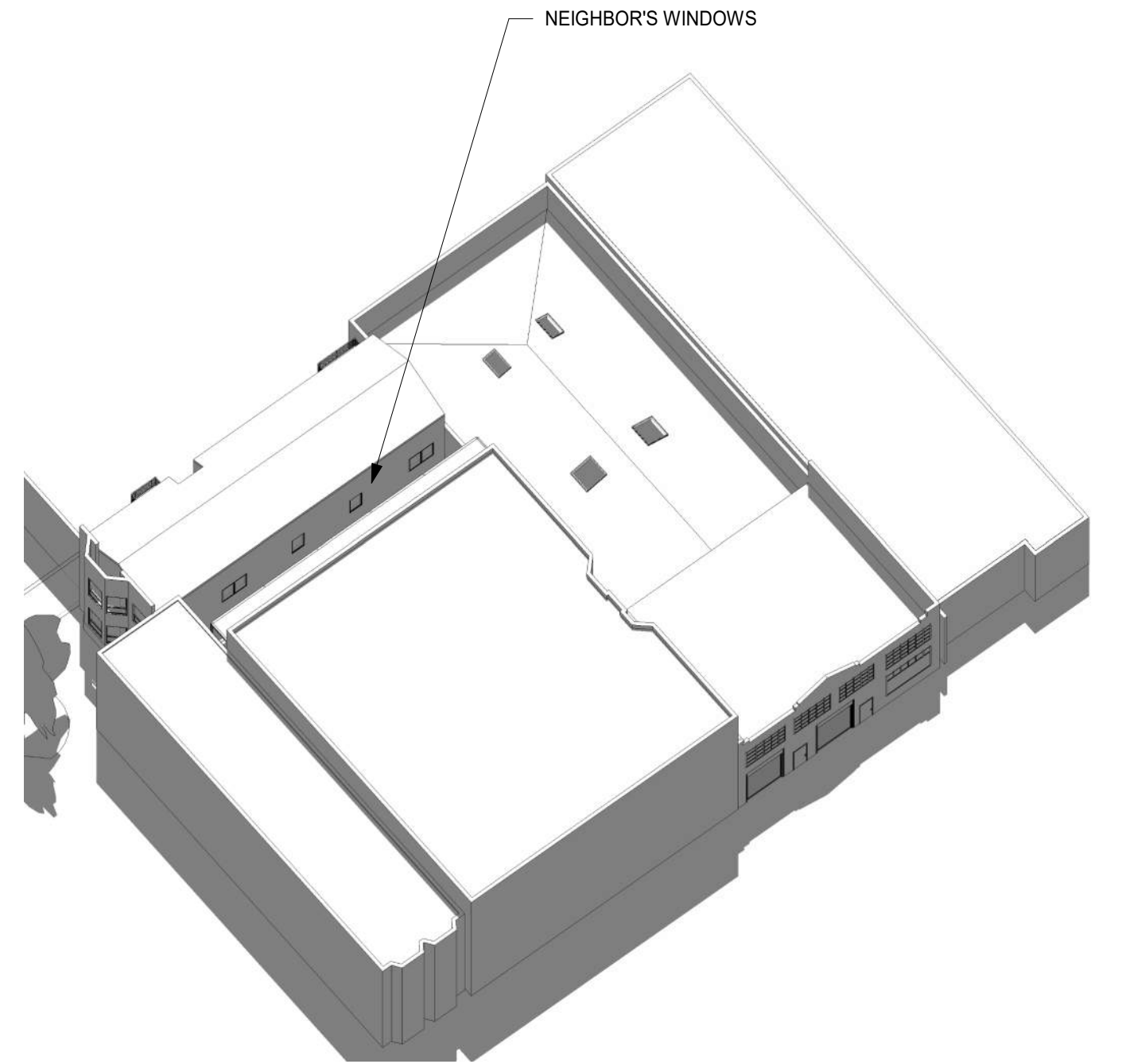


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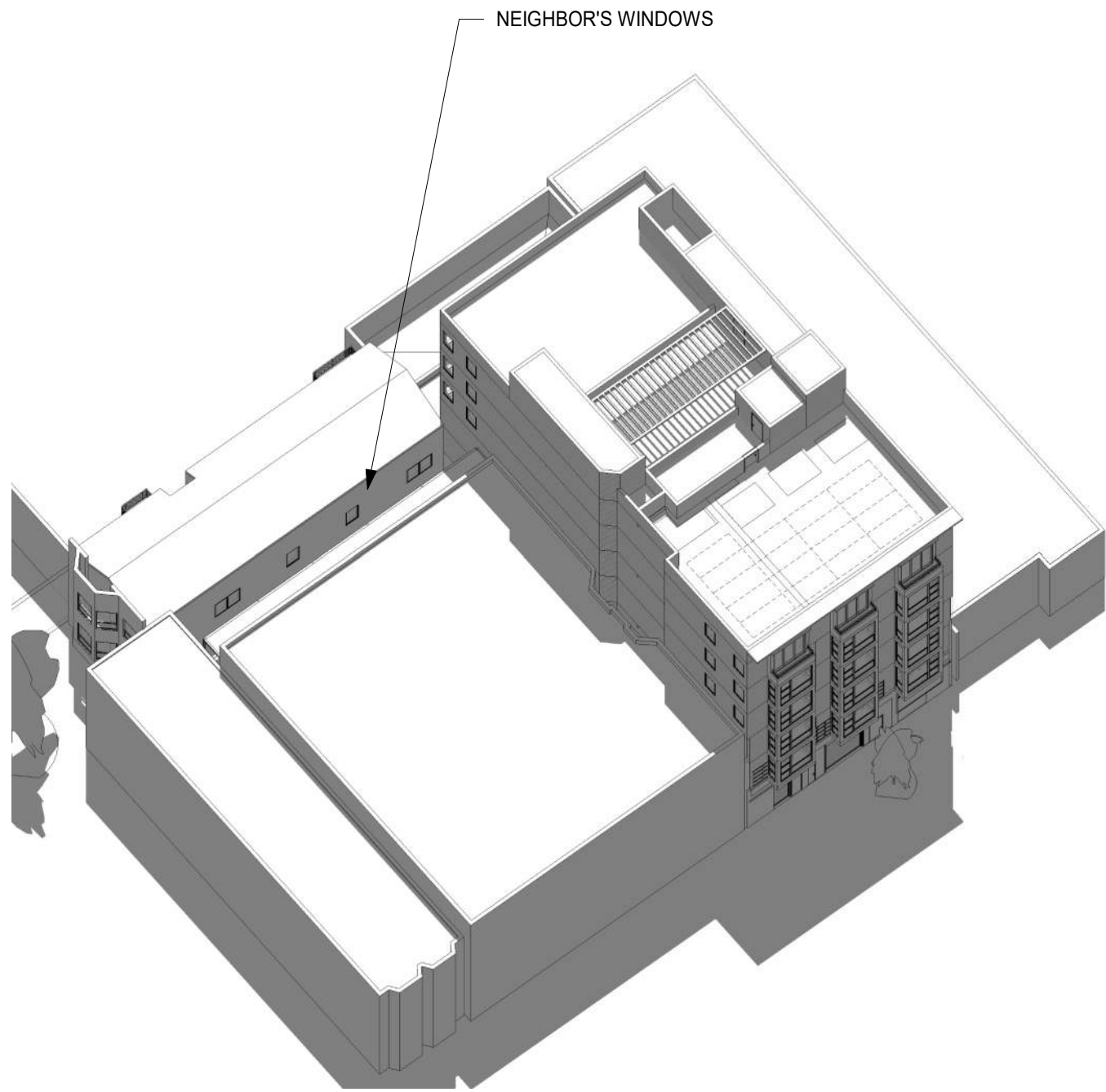
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N.T.S

SUMMER SOLSTICE - 12 PM
WEST FACADE



EXISTING 2

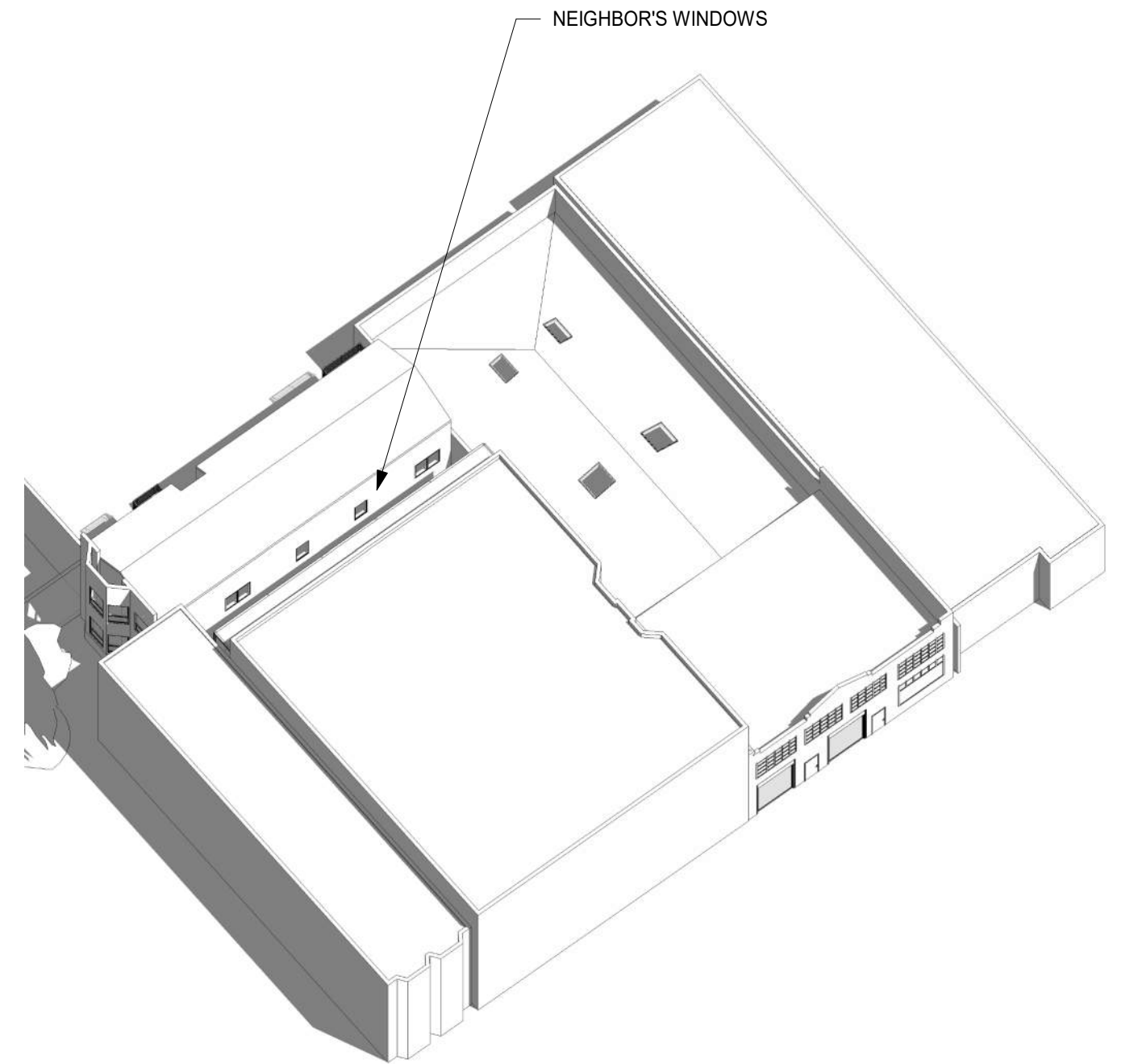


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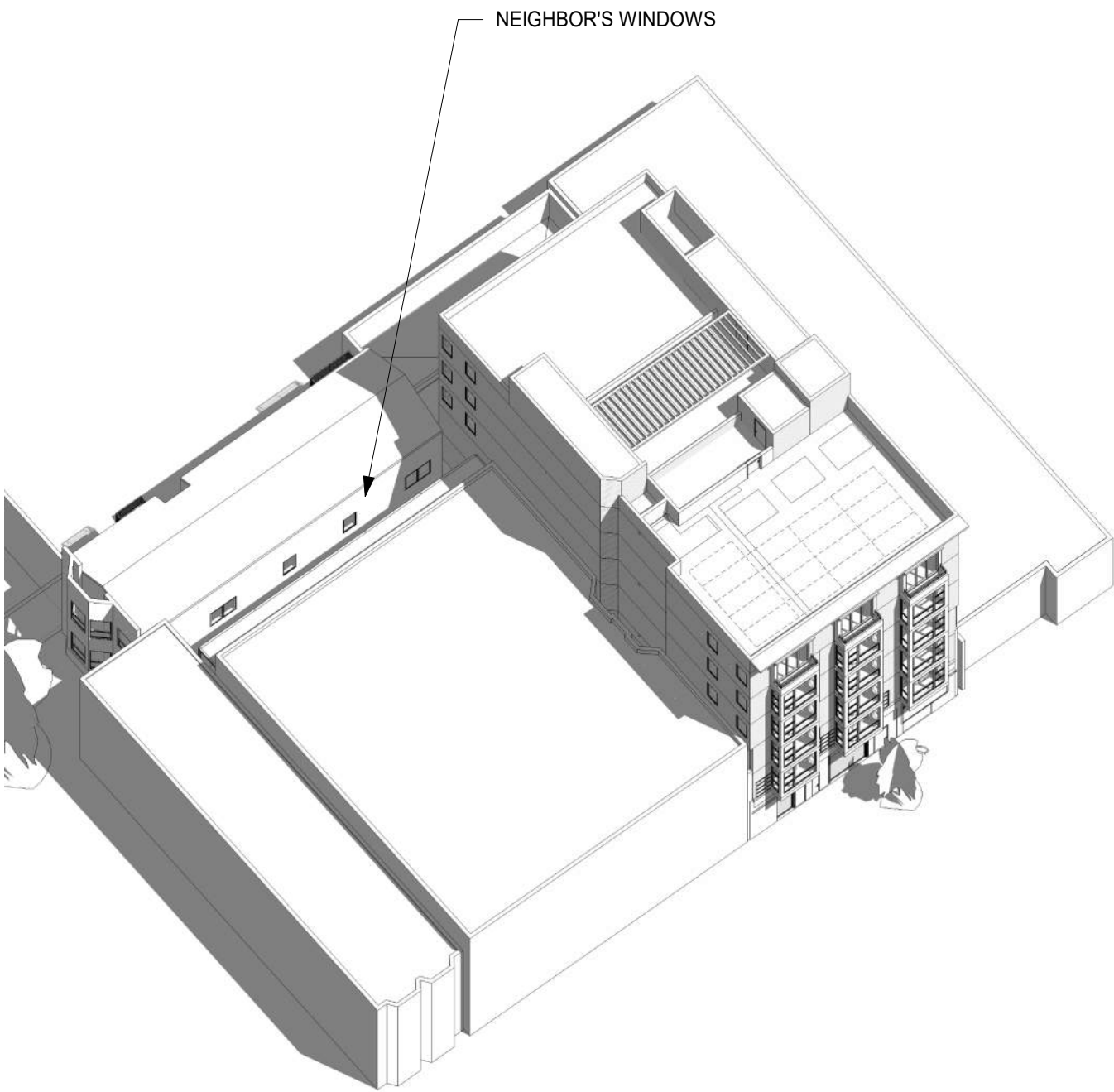
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N.T.S

SUMMER SOLSTICE - 3 PM
WEST FACADE



EXISTING 2

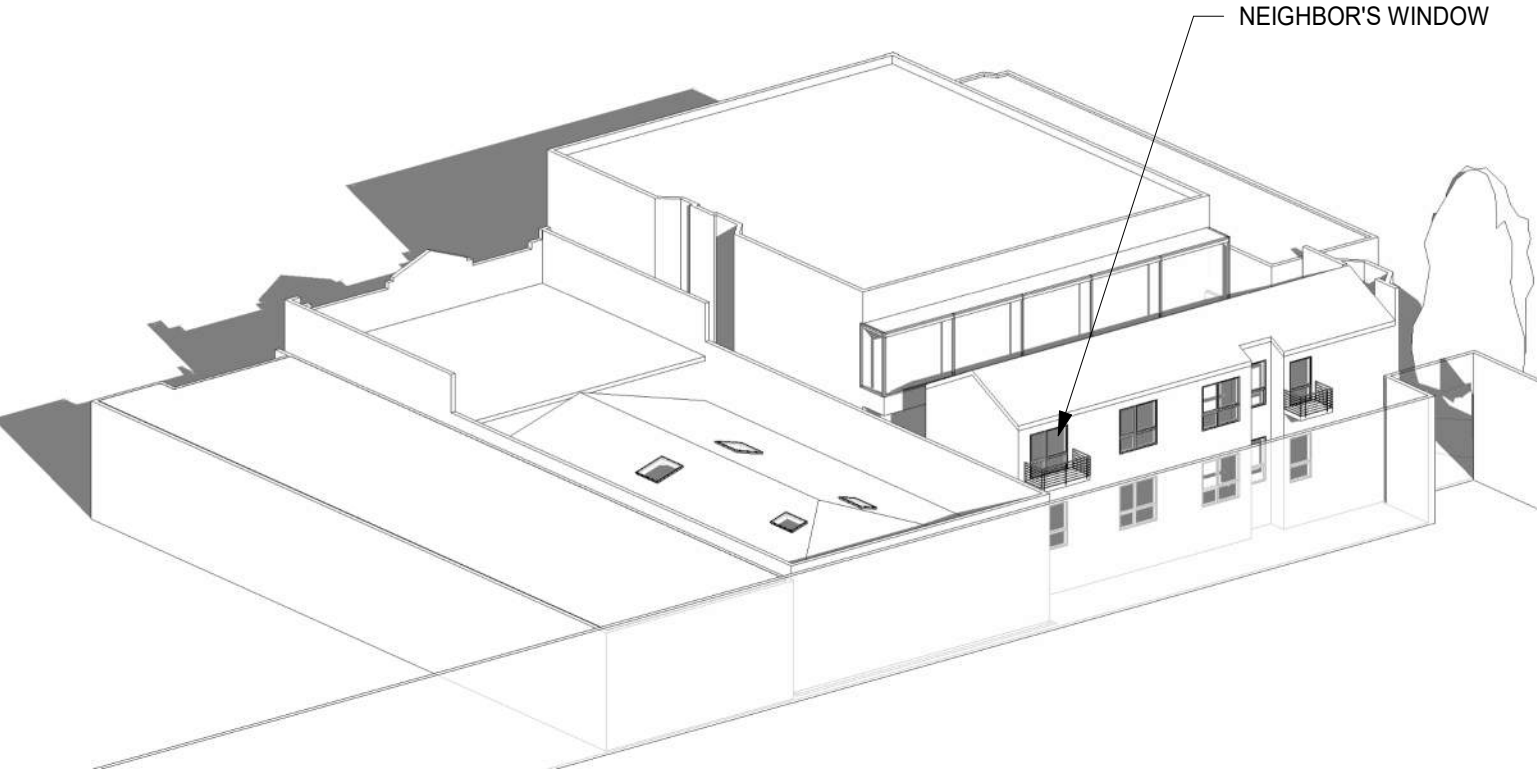


PROPOSED 1

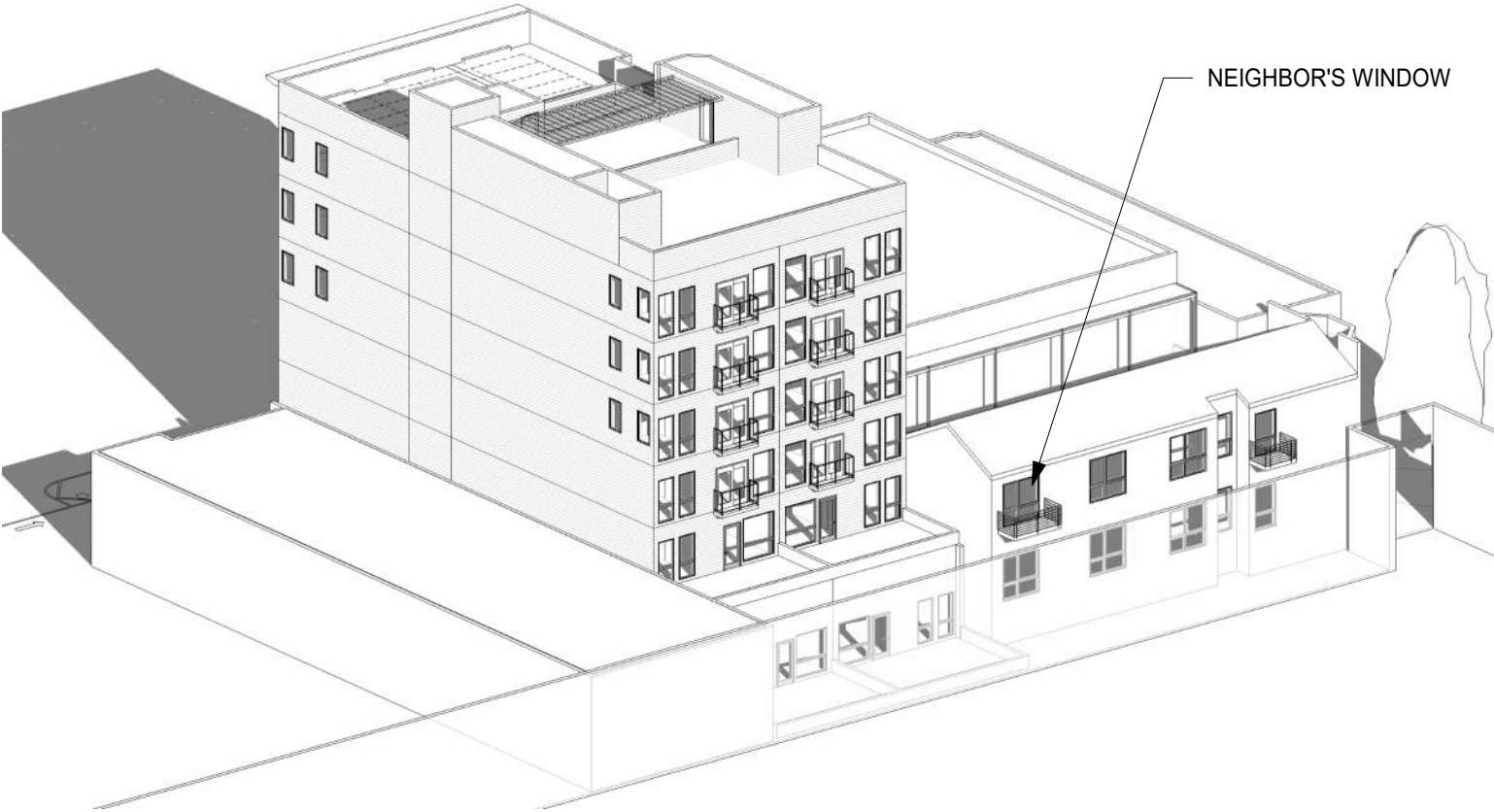
NOTES:
ADJACENT STRUCTURES ARE APPROXIMATE BASED ON PUBLIC AVAILABLE INFORMATION

N.T.S

FALL EQUINOX - 9 AM
EAST FACADE



EXISTING 2

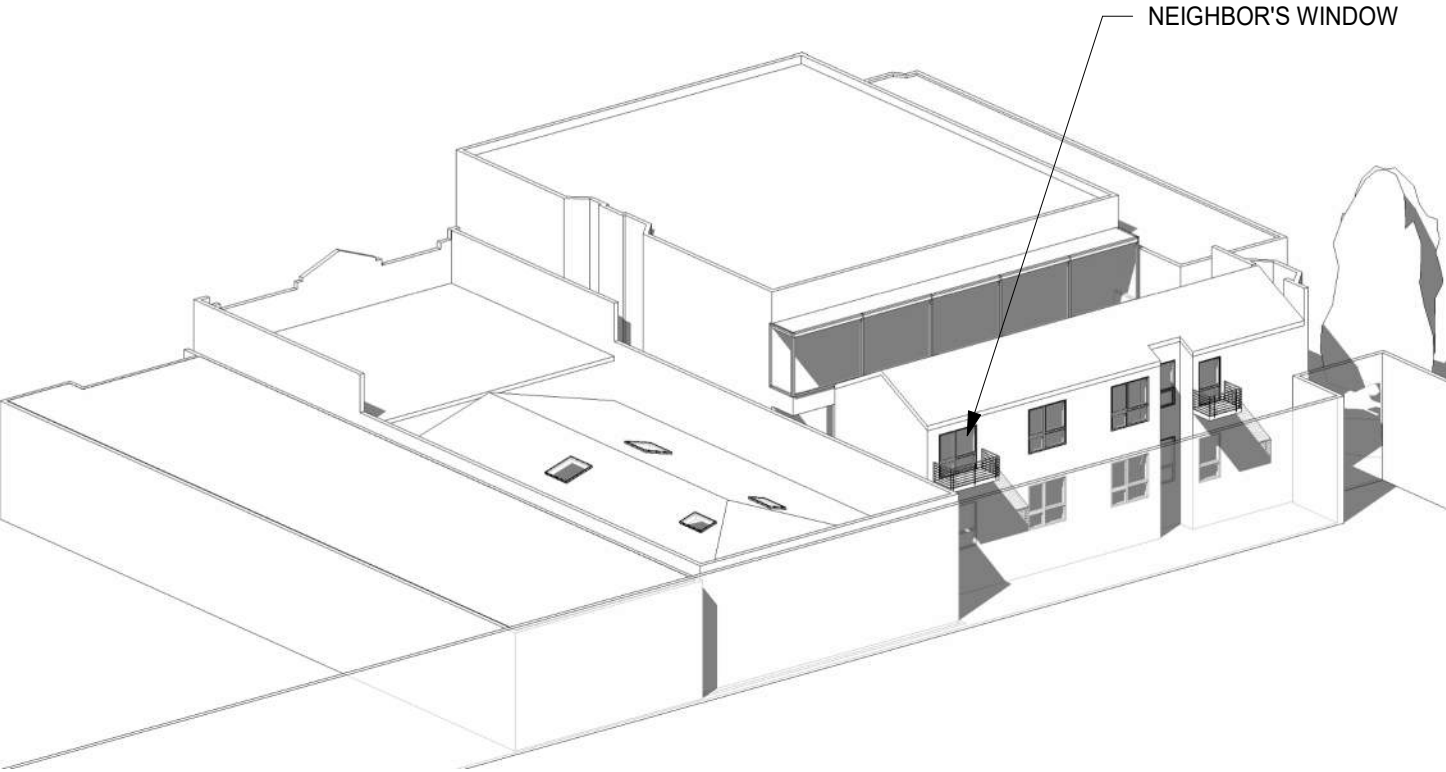


PROPOSED 1

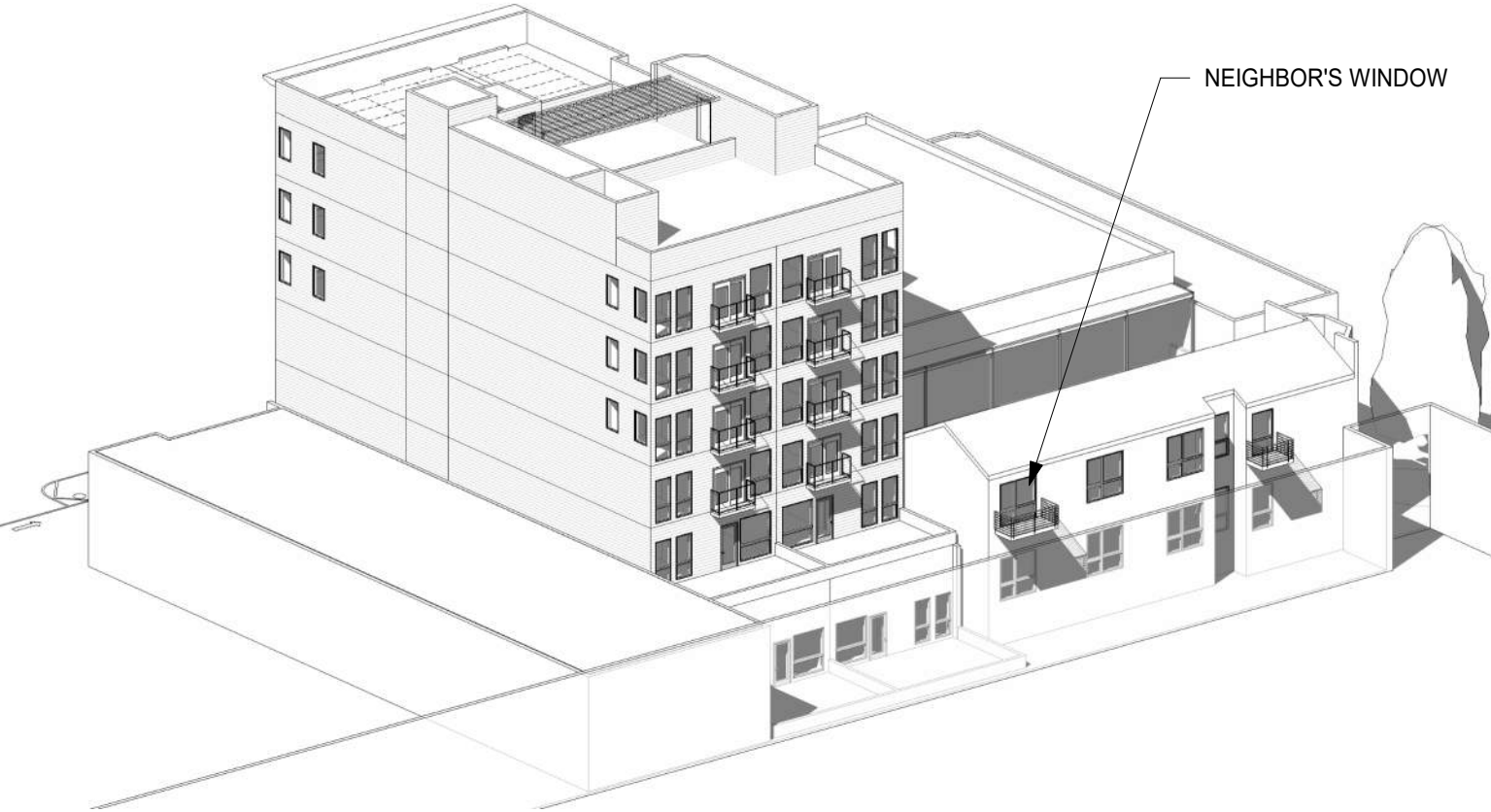
NOTES:
ADJECENT STRUCTURES ARE APPROXIMATE BASED ON PUBLIC AVAILABLE INFORMATION

N.T.S

FALL EQUINOX - 12 PM
EAST FACADE



EXISTING 2

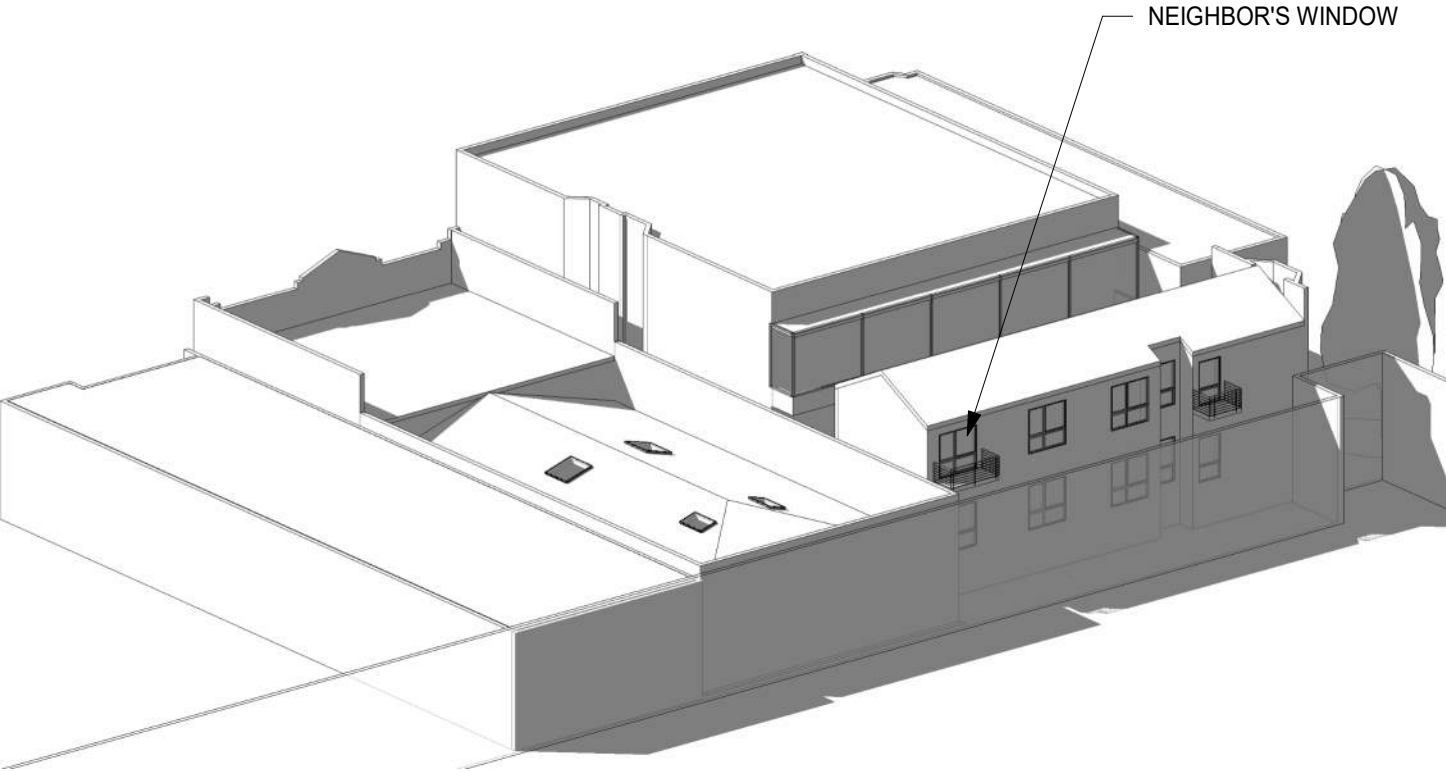


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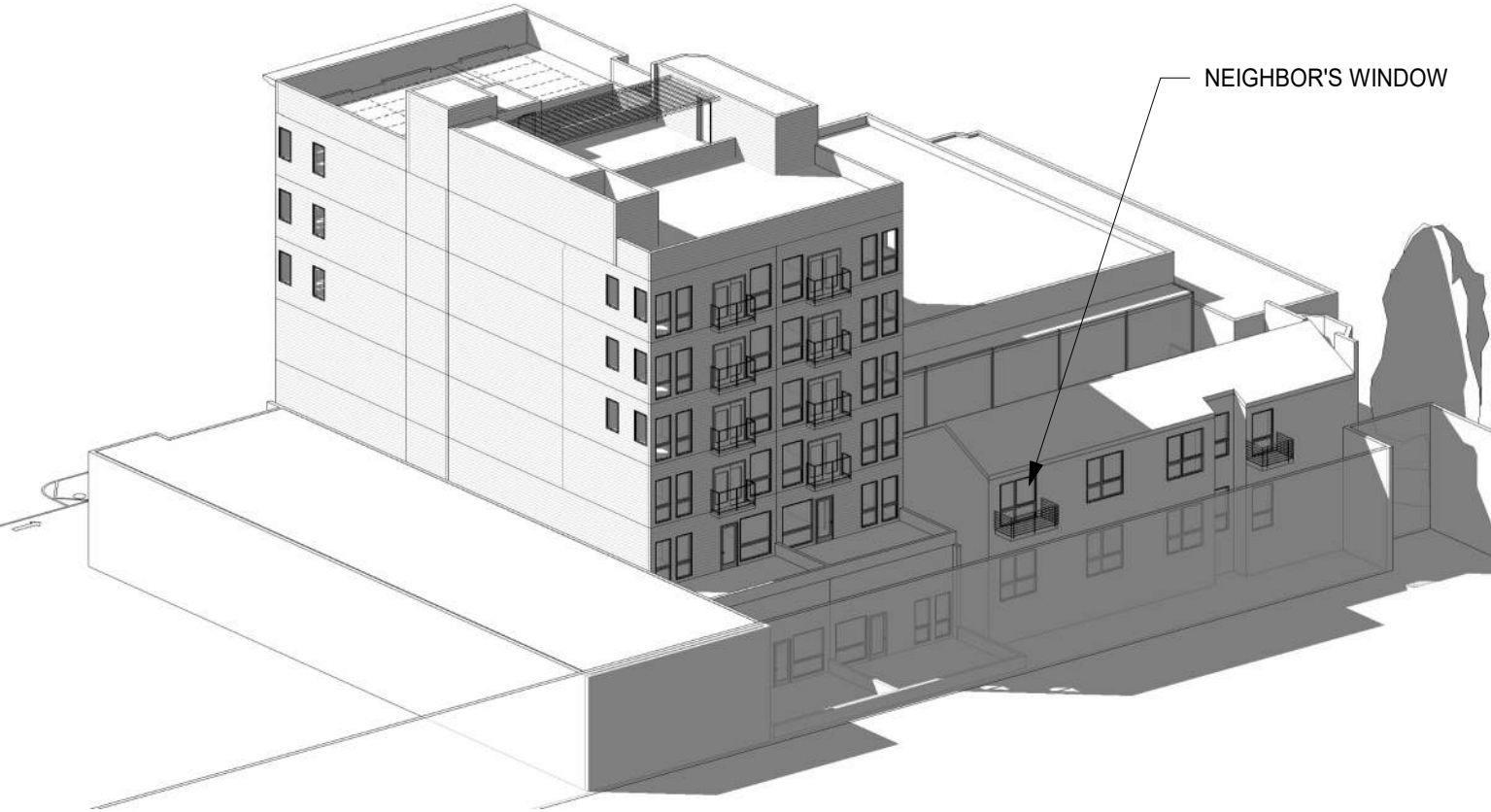
NOTES:
ADJECENT STRUCTURES ARE APPROXIMATE BASED ON PUBLIC AVAILABLE INFORMATION

N.T.S

FALL EQUINOX - 3 PM
EAST FACADE



EXISTING 2

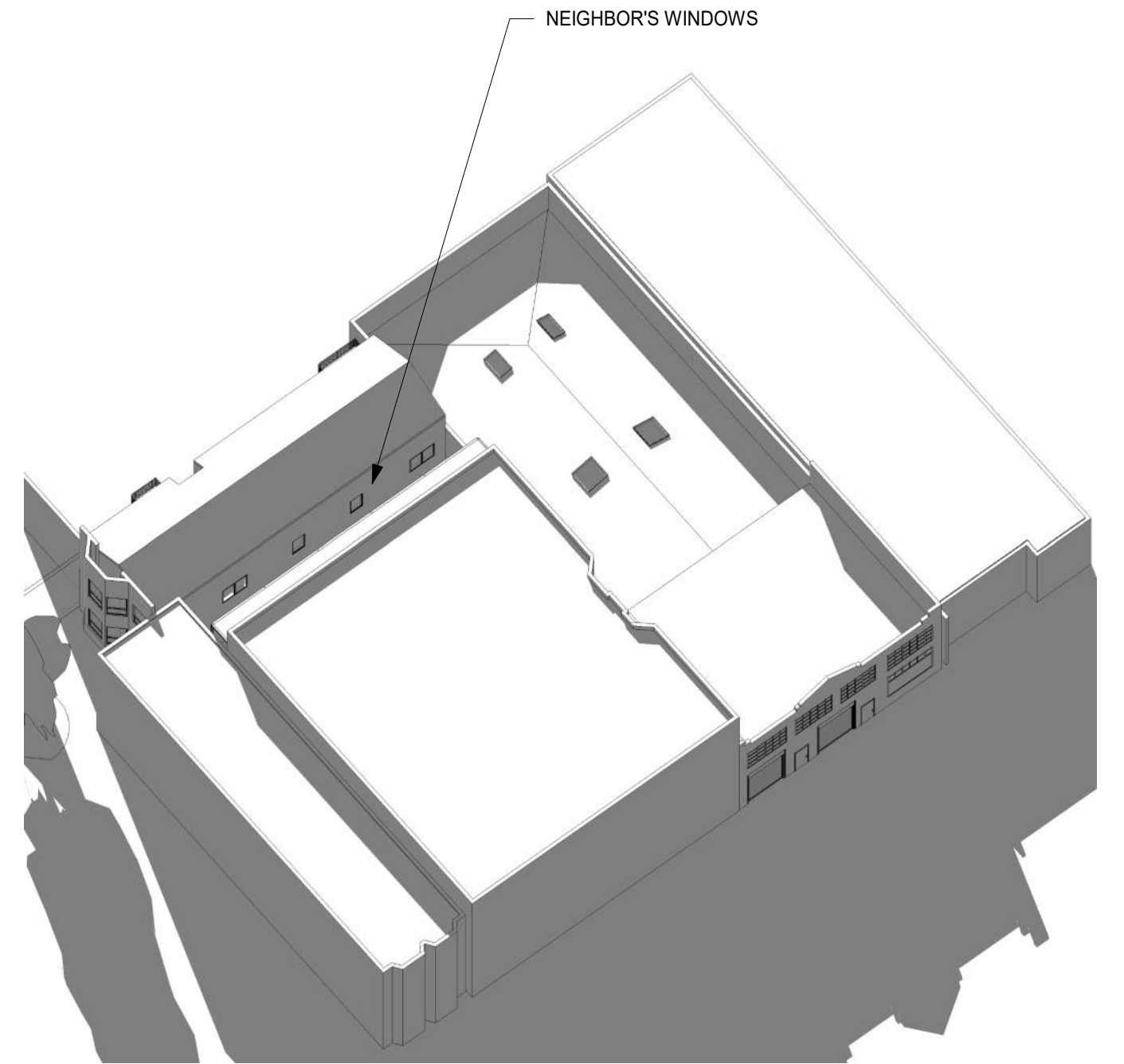


PROPOSED 1

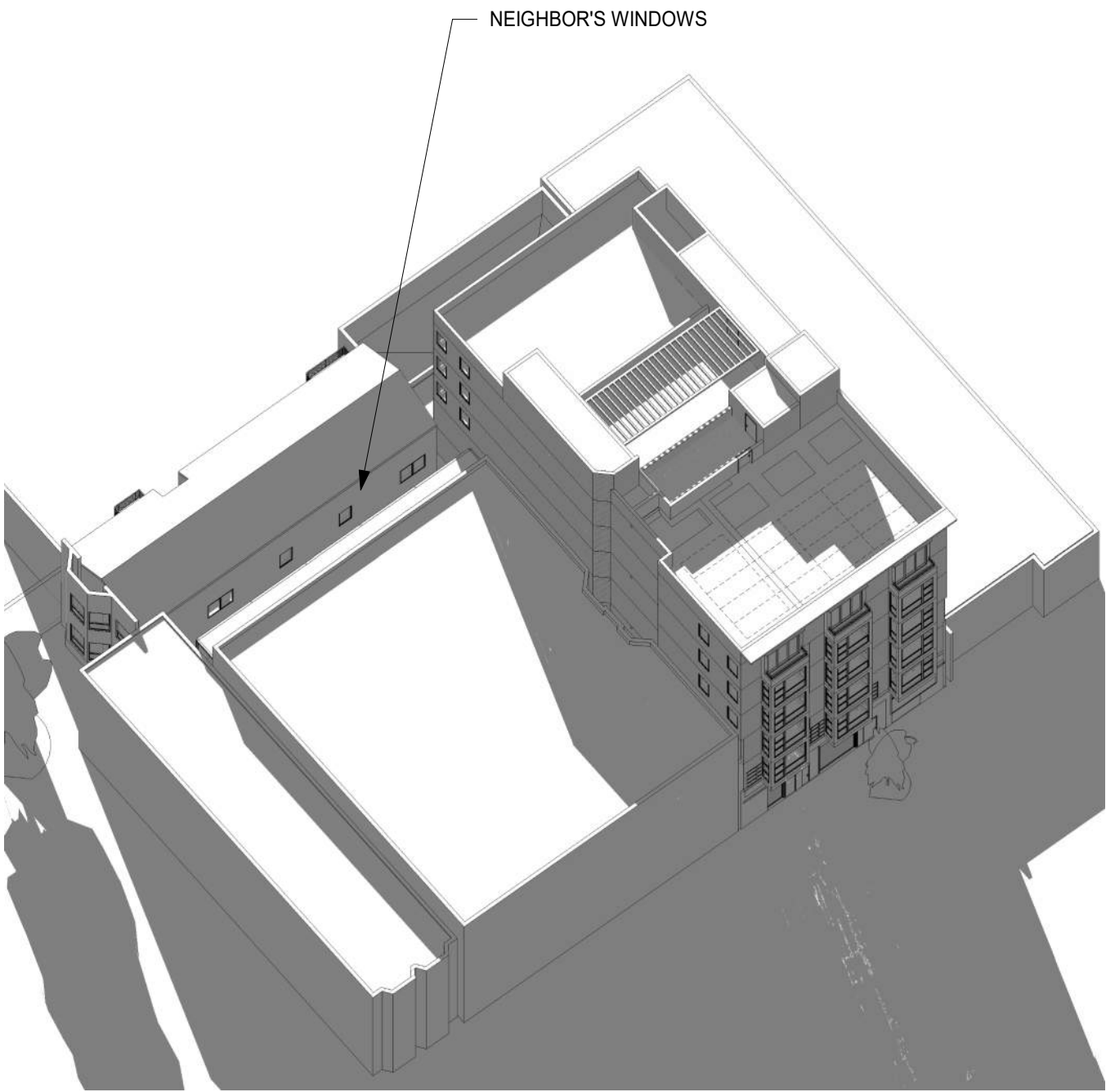
NOTES:
ADJECENT STRUCTURES ARE APPROXIMATE BASED ON PUBLIC AVAILABLE INFORMATION

N.T.S

FALL EQUINOX - 9 AM
WEST FACADE



EXISTING 2

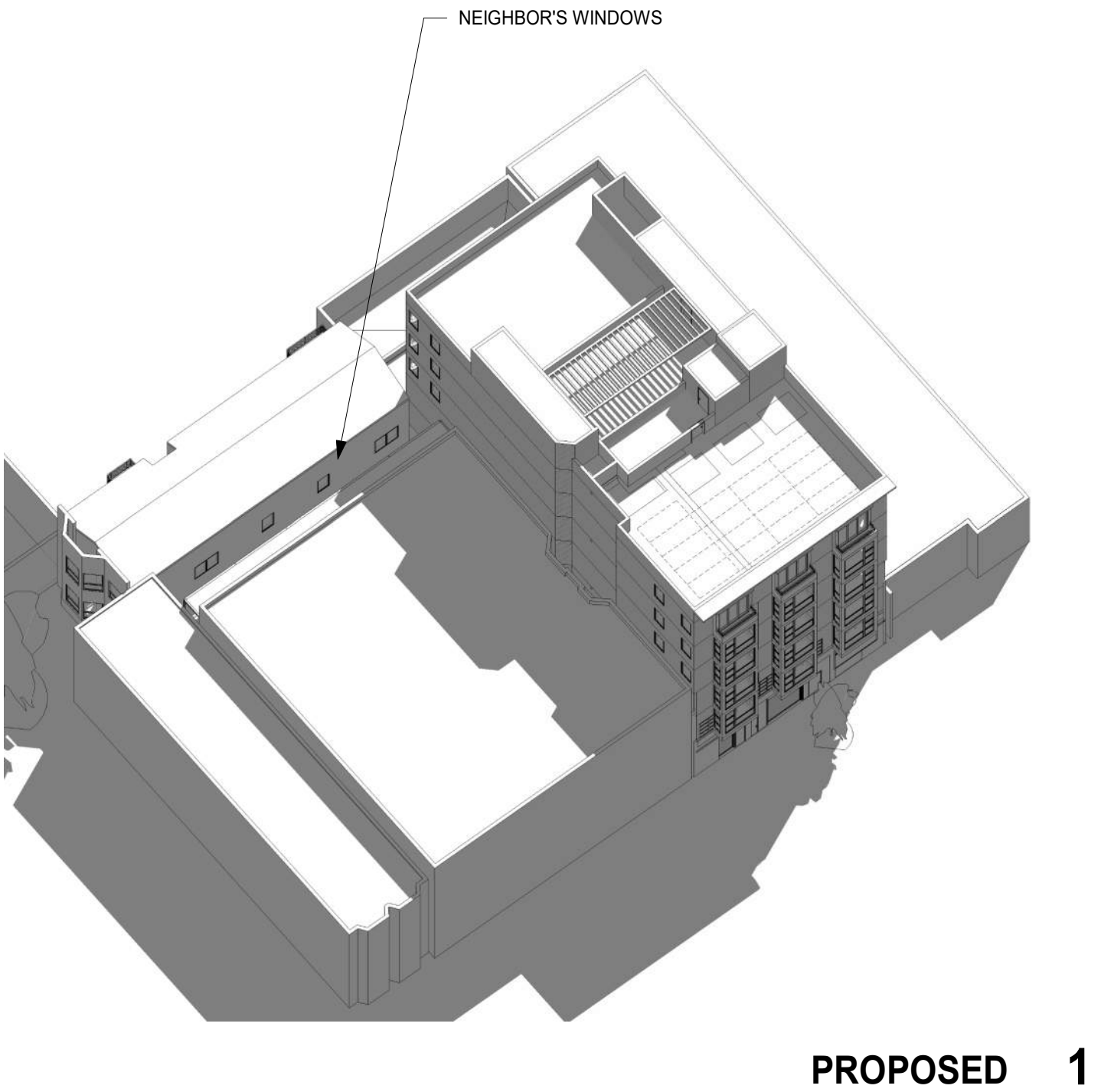
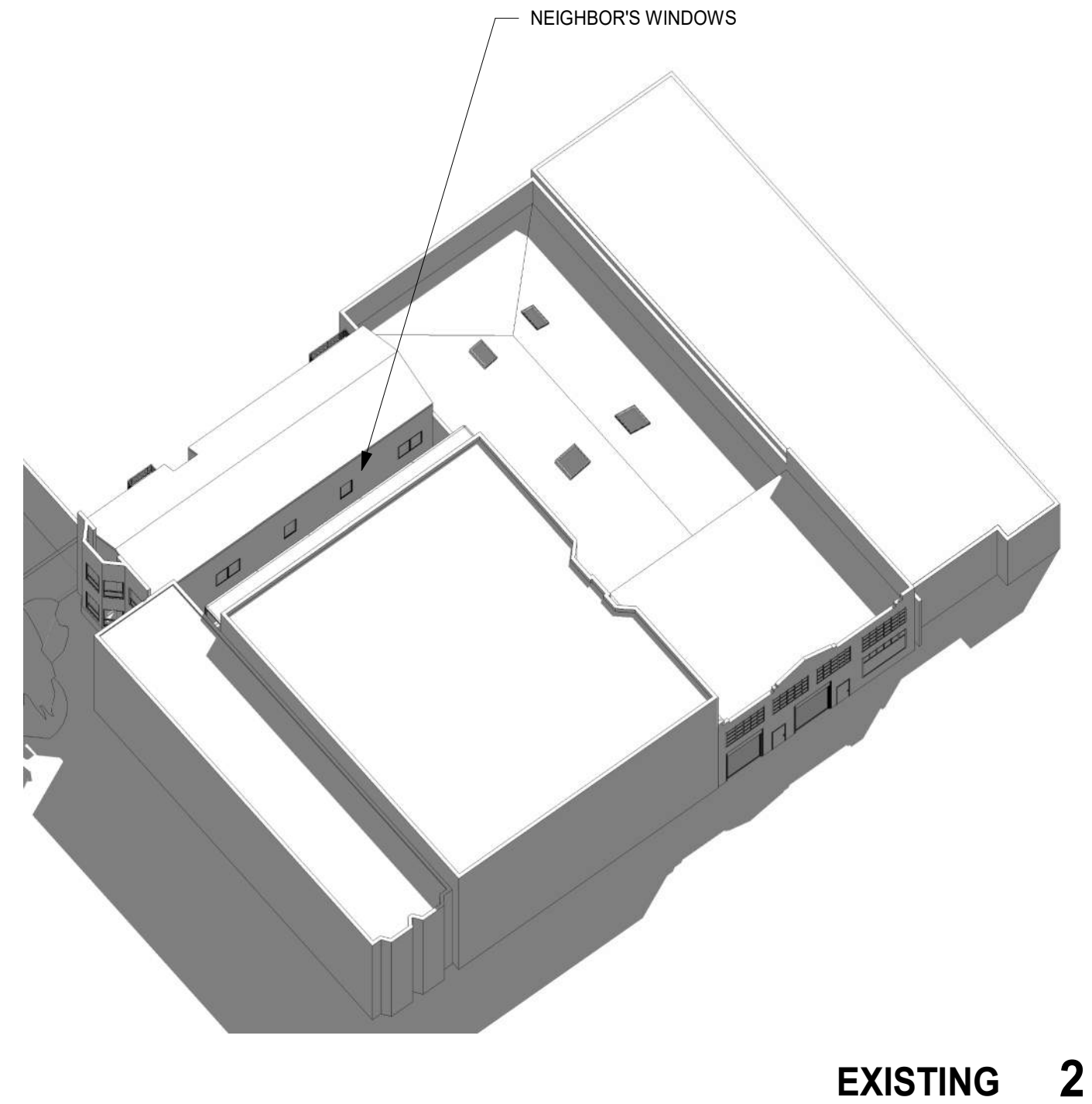


PROPOSED 1

NOTES:
ADJACENT STRUCTURES ARE APPROXIMATE BASED ON PUBLIC AVAILABLE INFORMATION

N.T.S

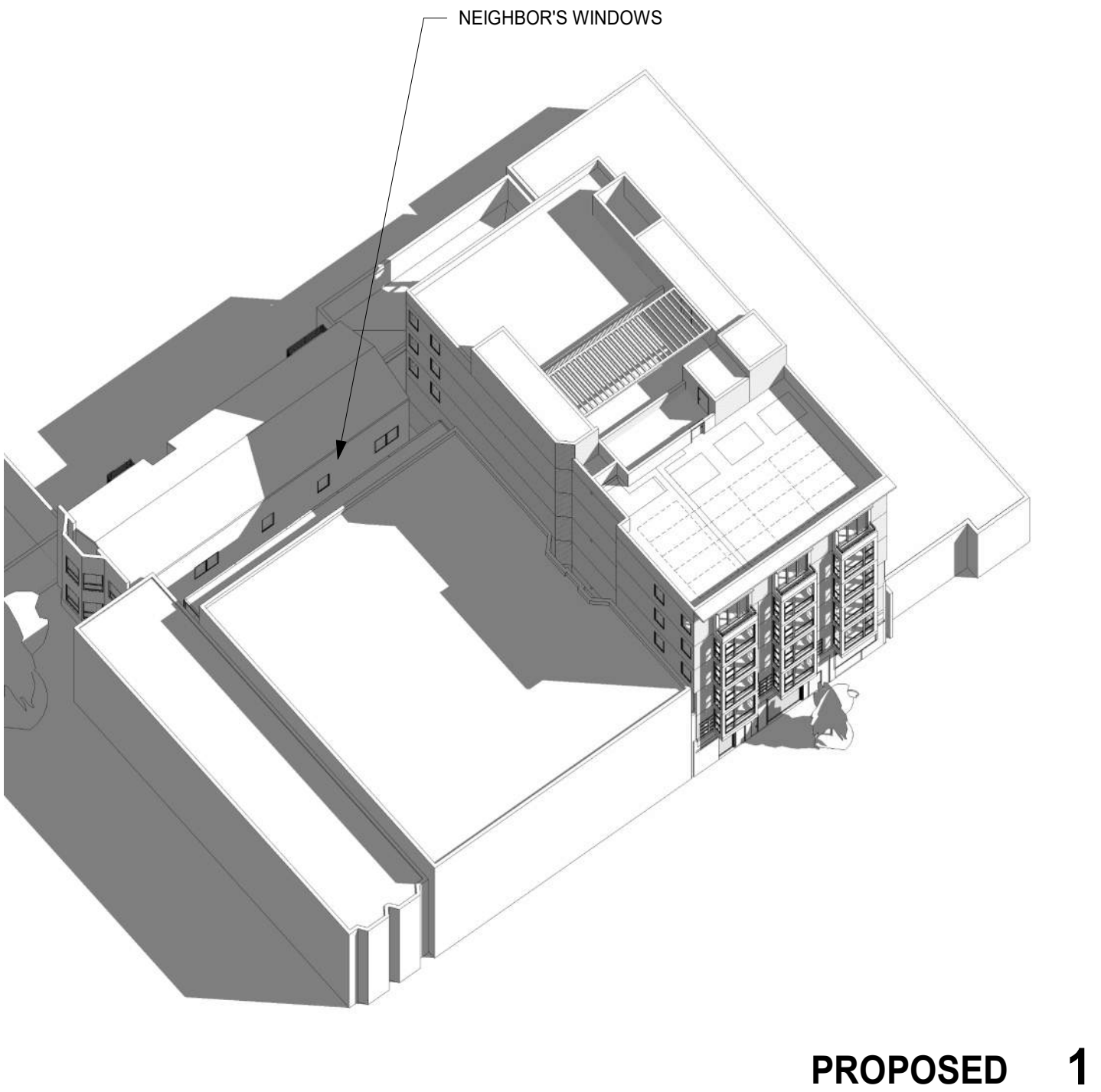
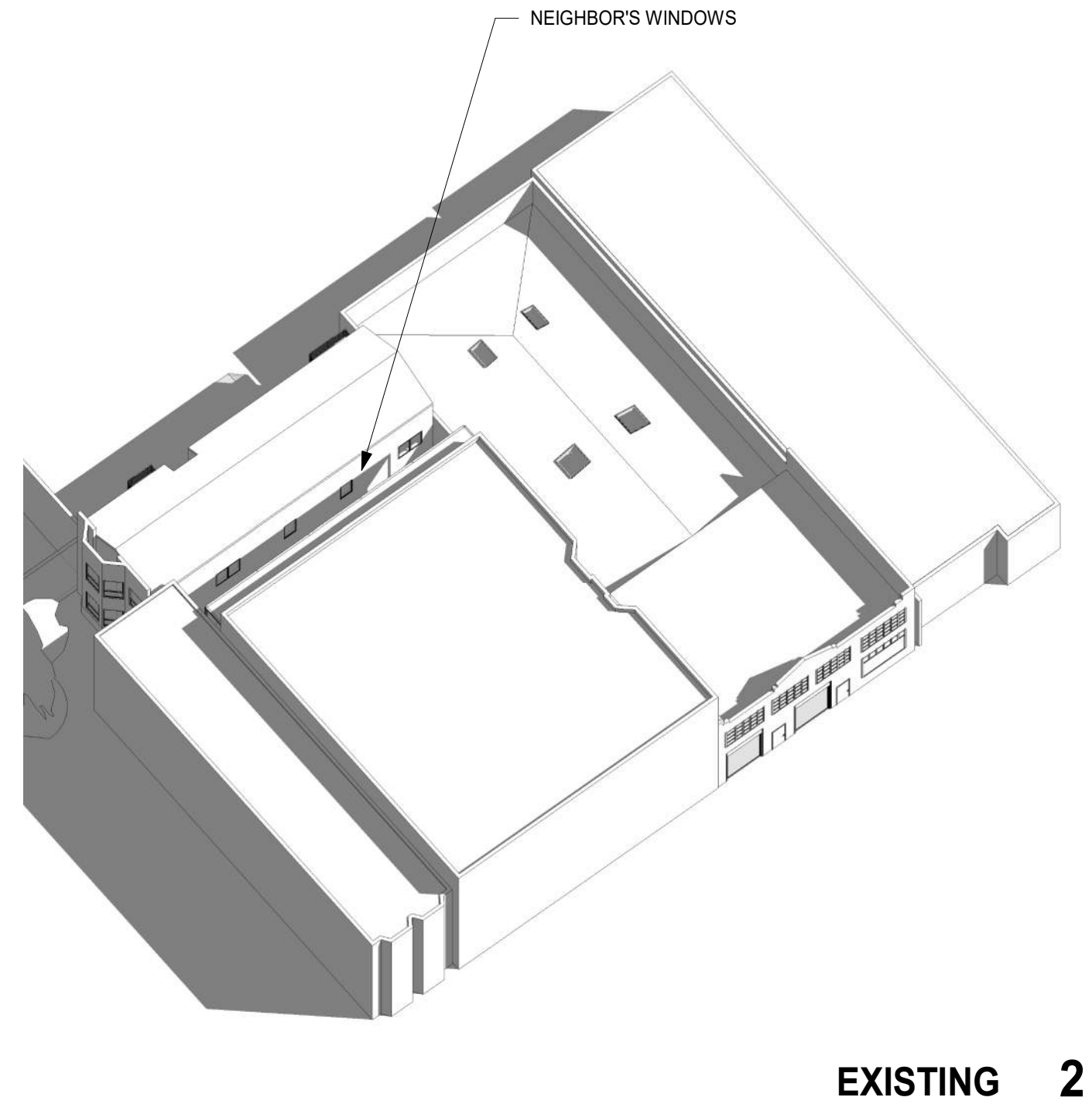
FALL EQUINOX - 12 PM
WEST FACADE



NOTES:
ADJACENT STRUCTURES ARE APPROXIMATE BASED ON PUBLIC AVAILABLE INFORMATION

N.T.S

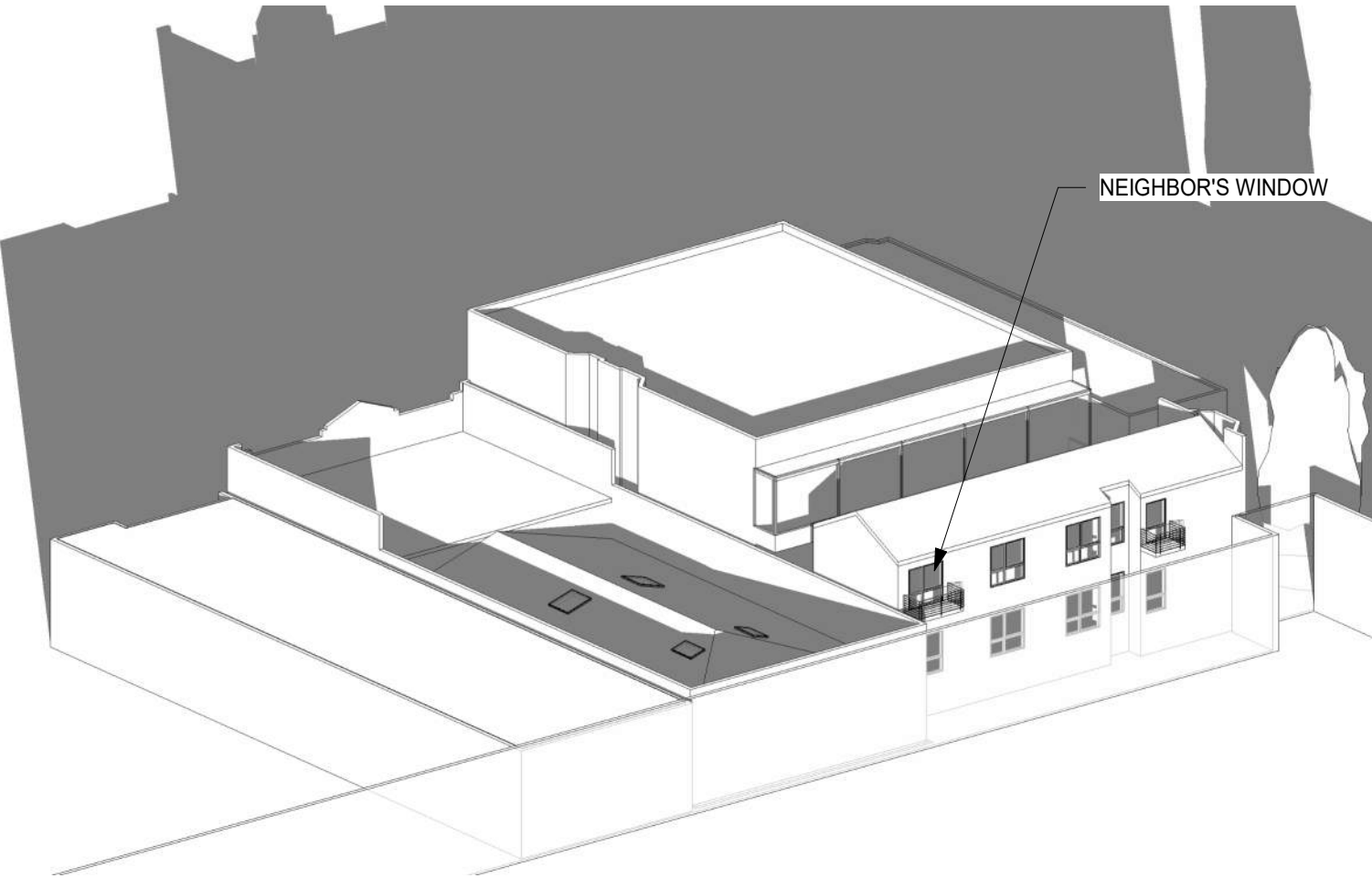
FALL EQUINOX - 3 PM
WEST FACADE



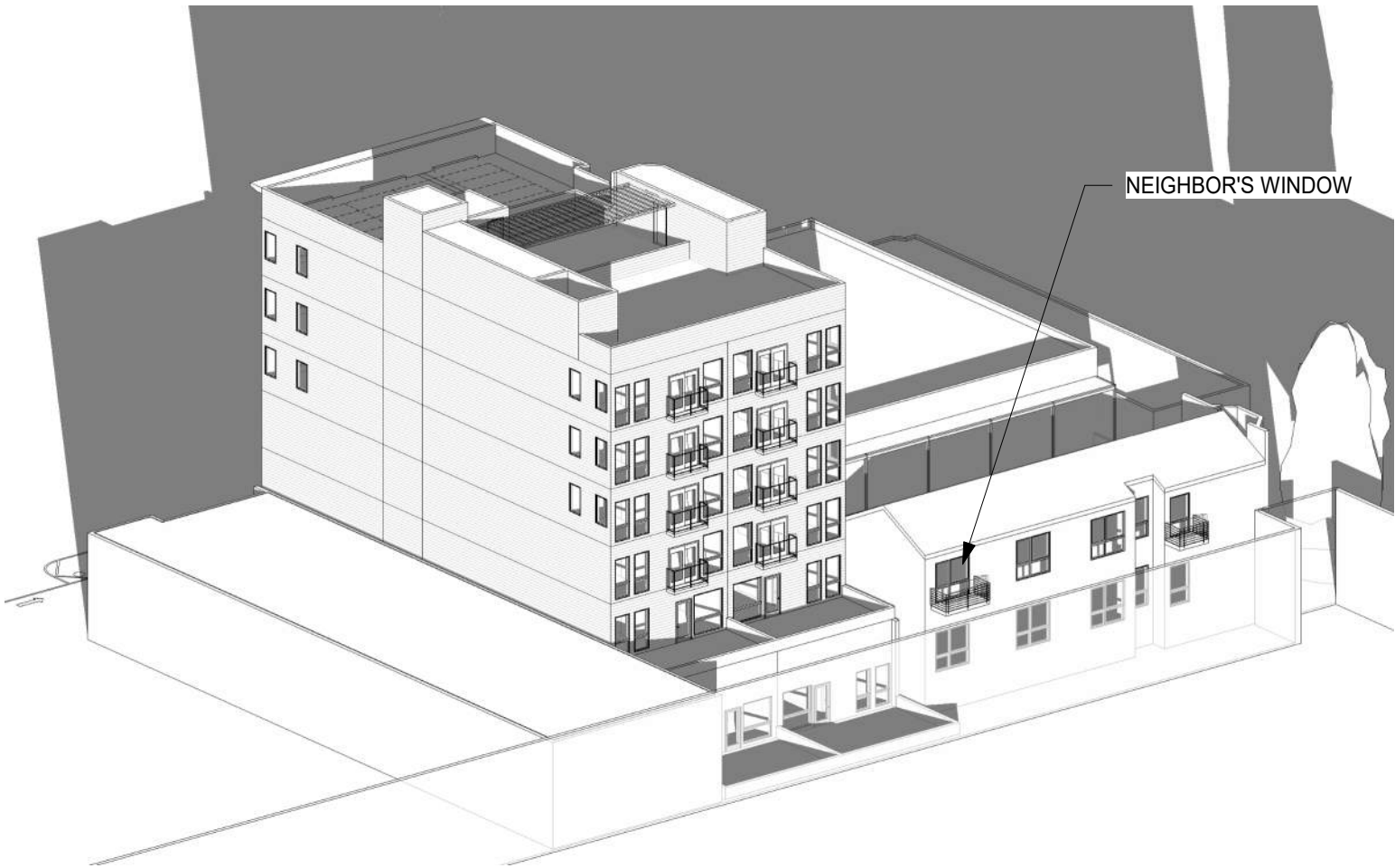
NOTES:
ADJACENT STRUCTURES ARE APPROXIMATE BASED ON PUBLIC AVAILABLE INFORMATION

N.T.S

WINTER SOLSTICE - 9 AM
EAST FACADE



EXISTING 2

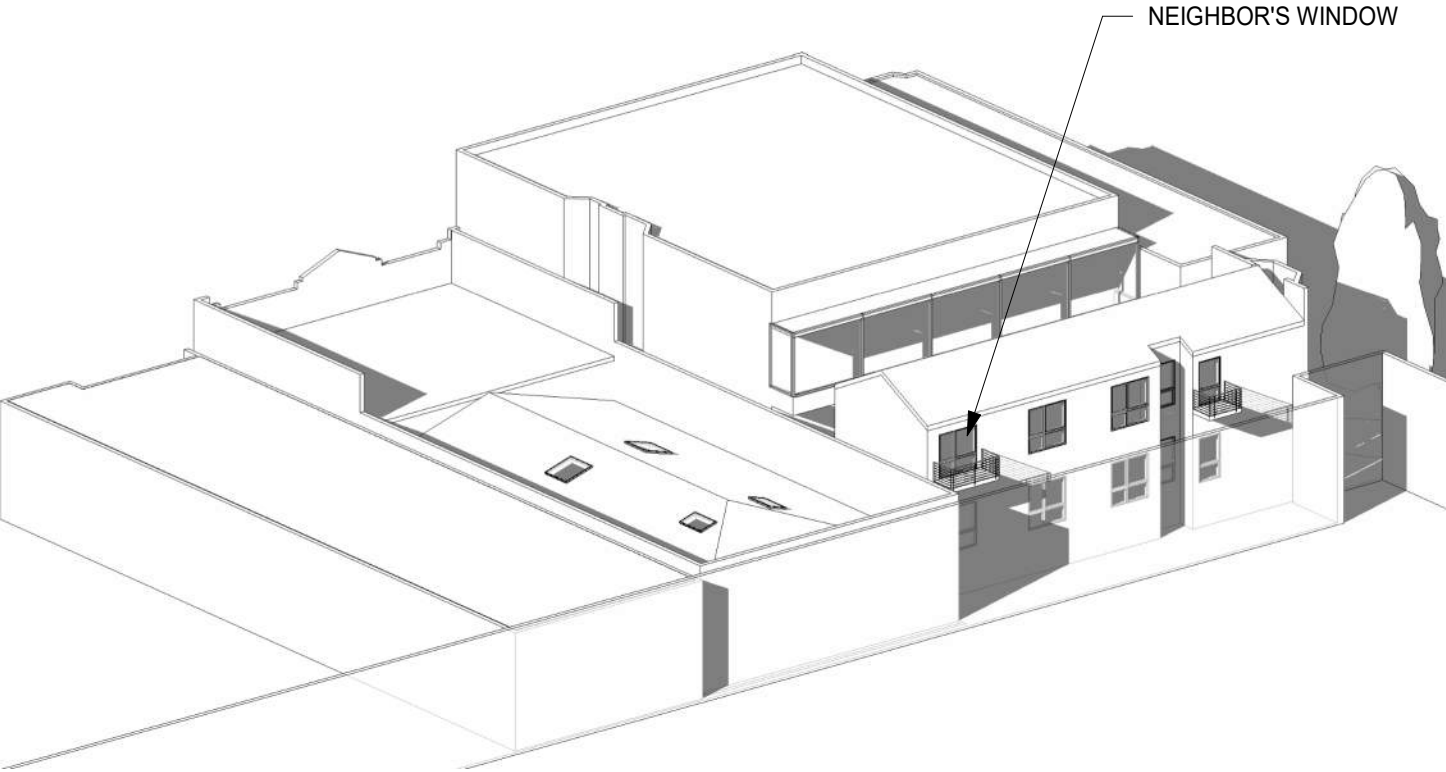


PROPOSED 1

NOTES:
ADJECENT STRUCTURES ARE APPROXIMATE BASED ON PUBLIC AVAILABLE INFORMATION

N.T.S

WINTER SOLSTICE - 12 PM
EAST FACADE



EXISTING 2

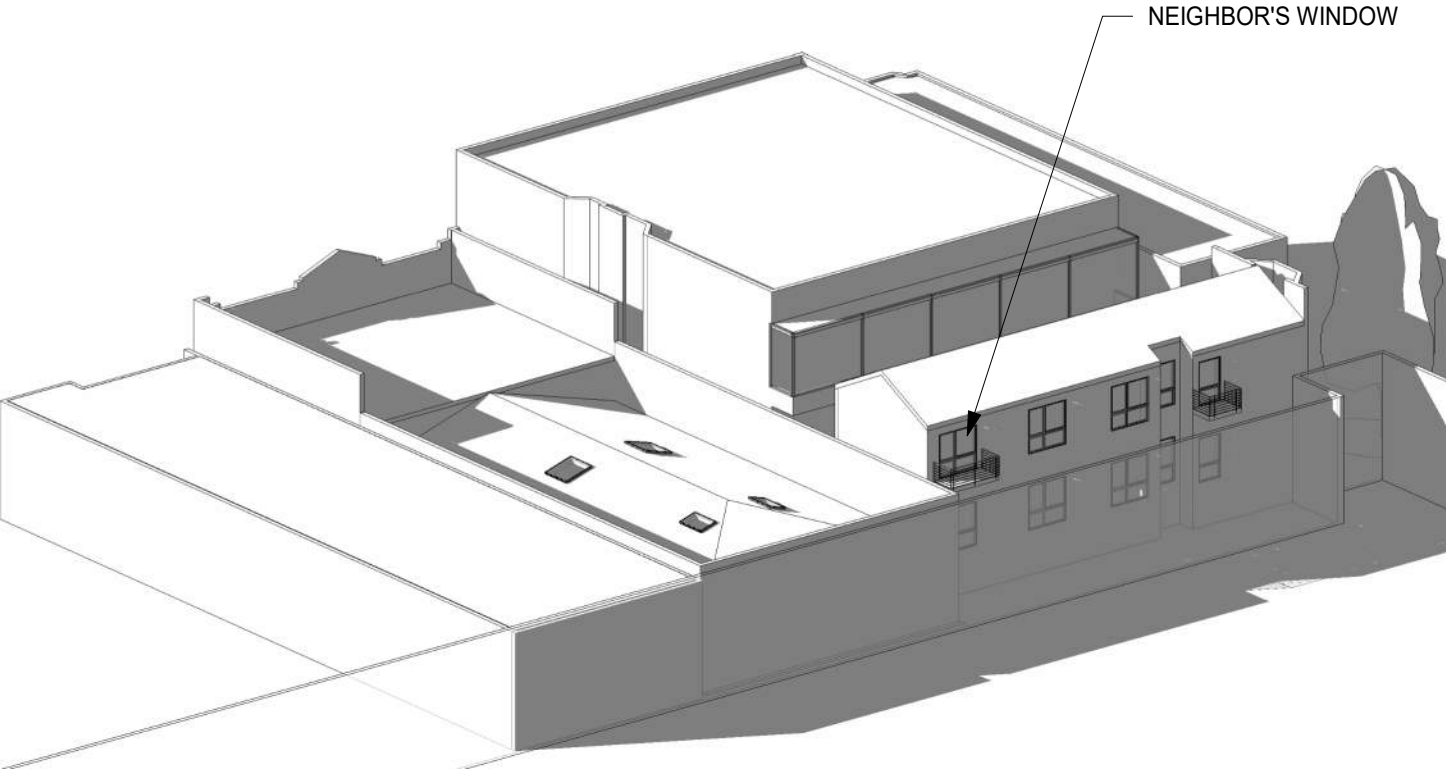


PROPOSED 1

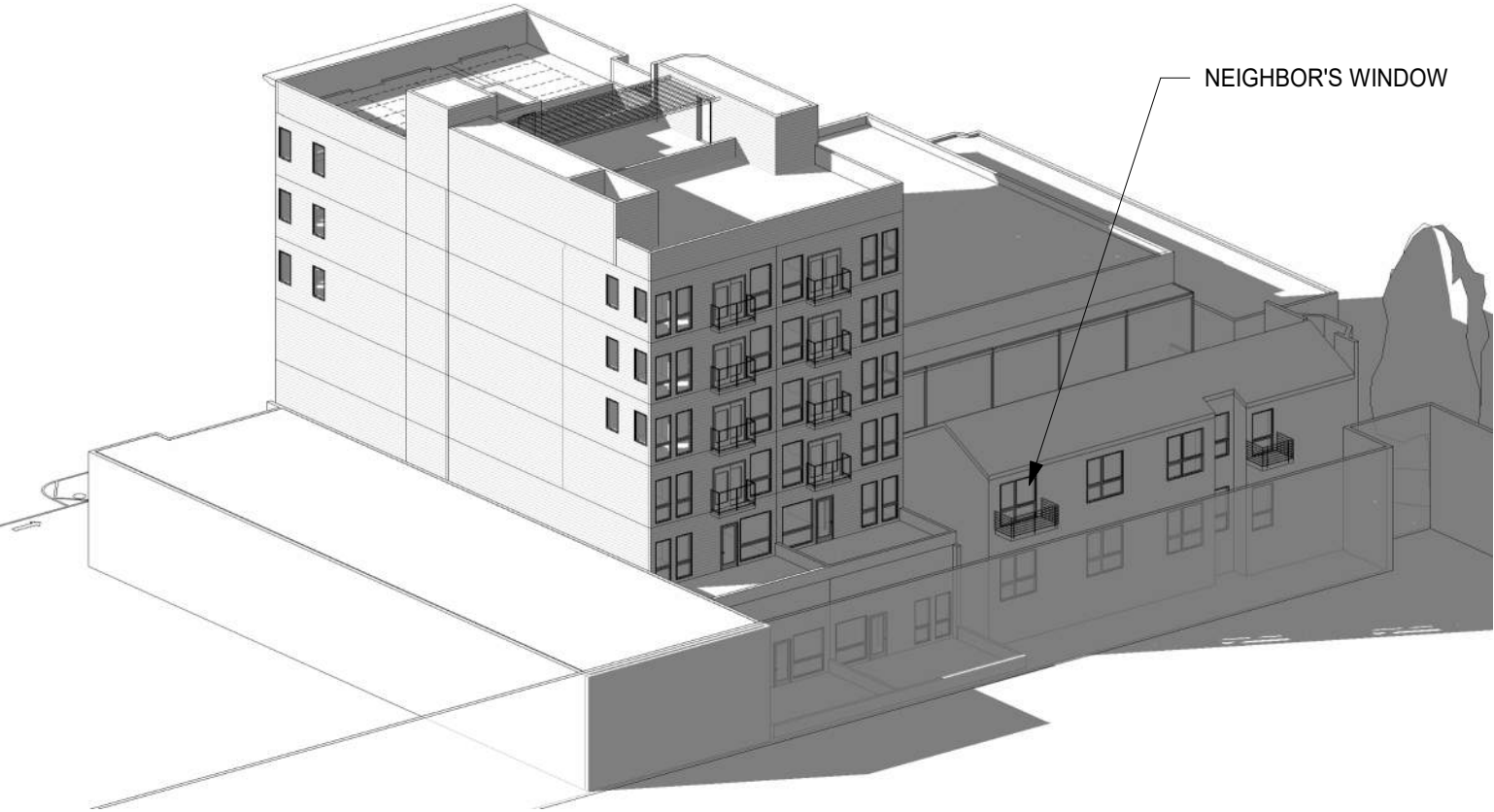
NOTES:
ADJECENT STRUCTURES ARE APPROXIMATE BASED ON PUBLIC AVAILABLE INFORMATION

N.T.S

WINTER SOLSTICE - 3 PM
EAST FACADE



EXISTING 2

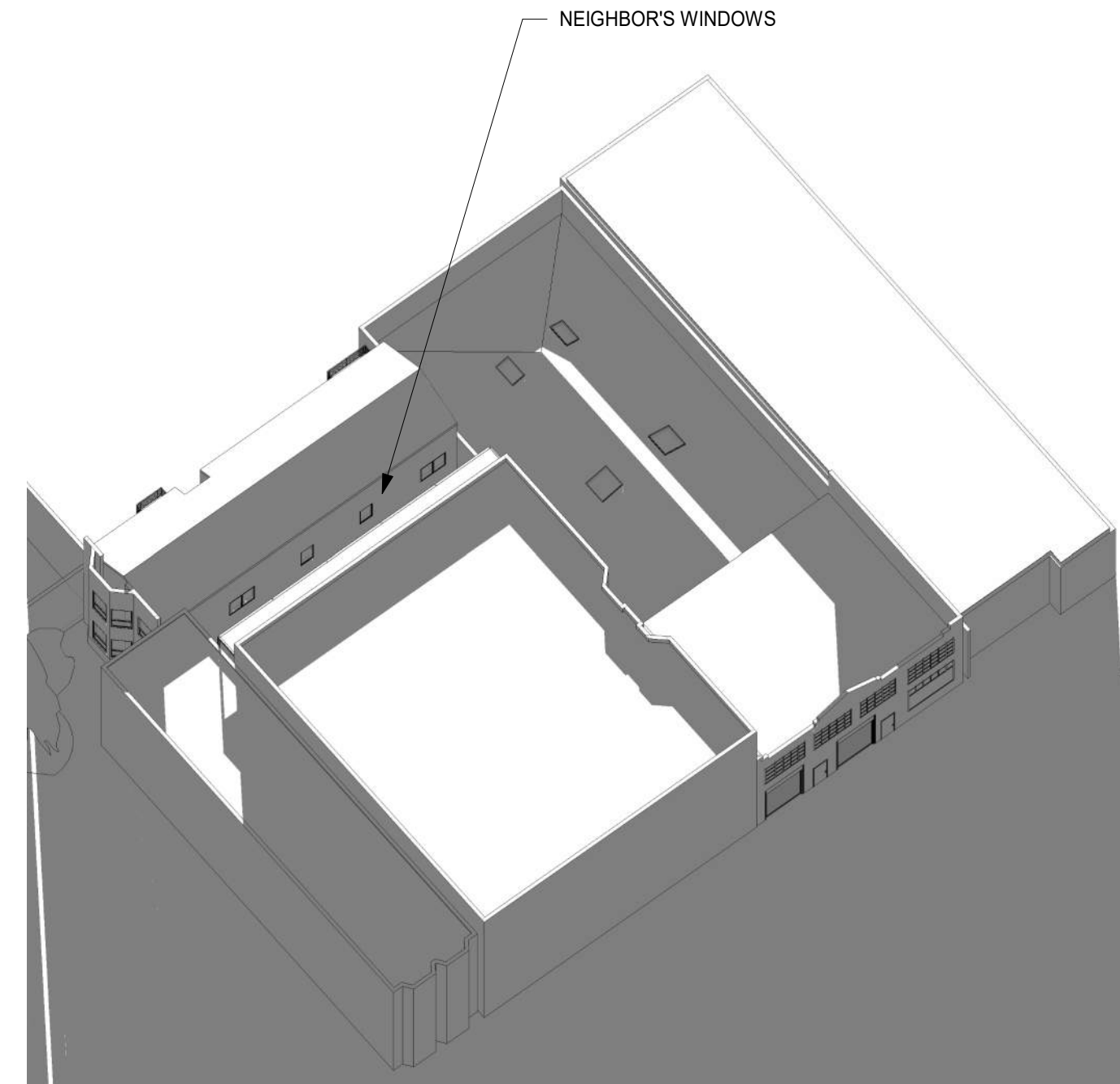


PROPOSED 1

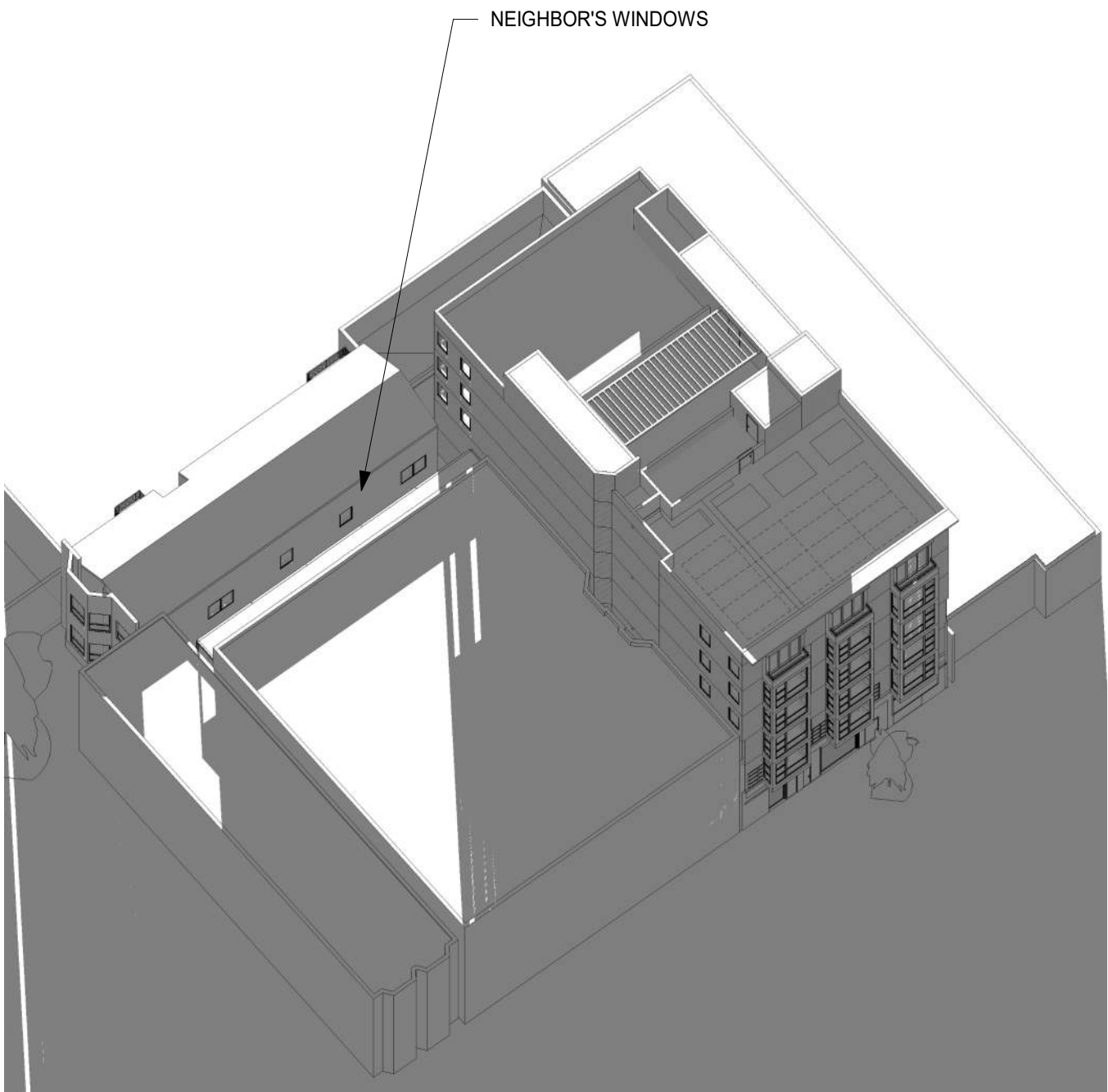
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N.T.S

WINTER SOLSTICE - 9 AM
WEST FACADE



EXISTING 2

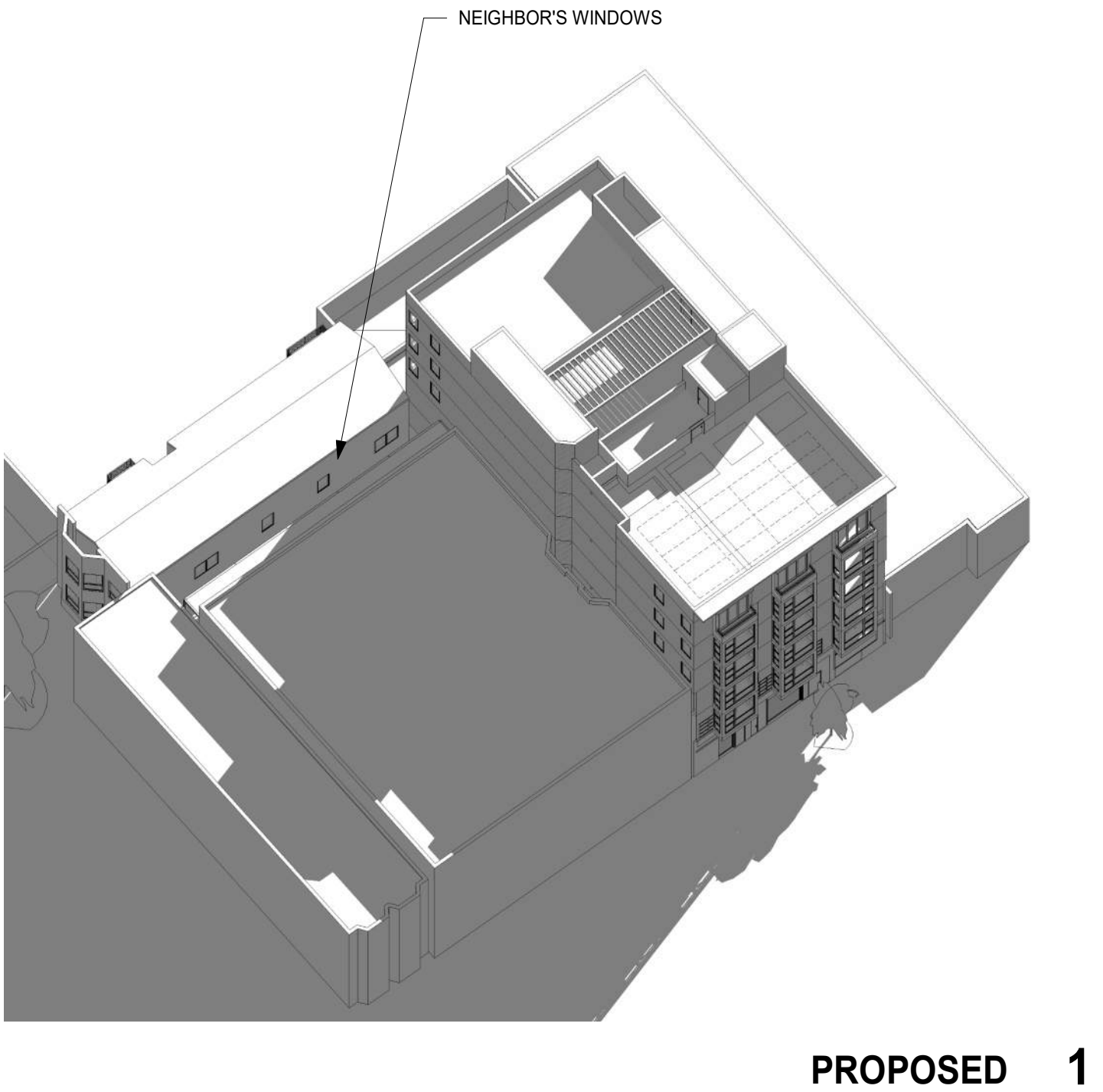
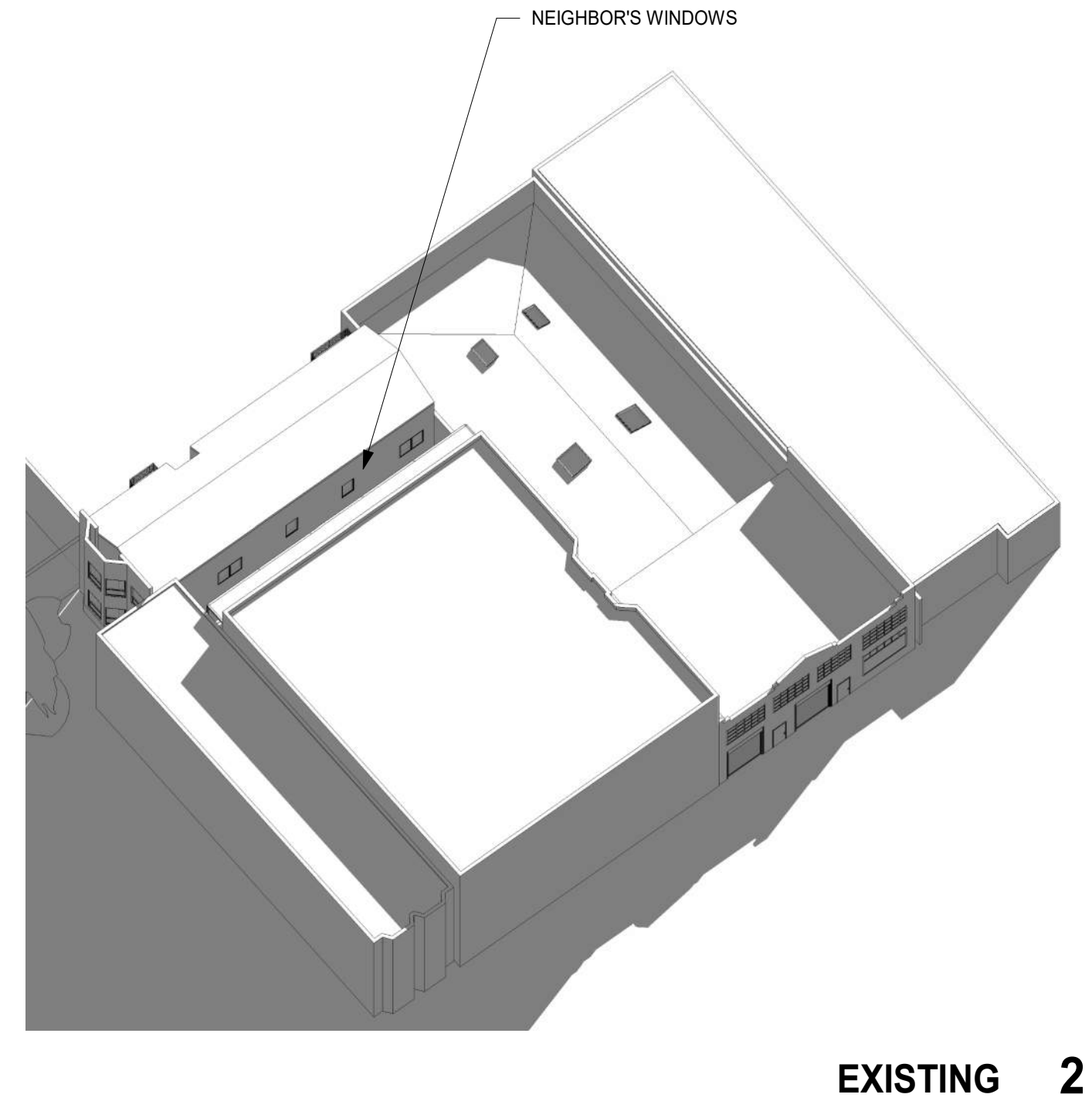


PROPOSED 1

NOTES:
ADJACENT STRUCTURES ARE APPROXIMATE BASED ON PUBLIC AVAILABLE INFORMATION

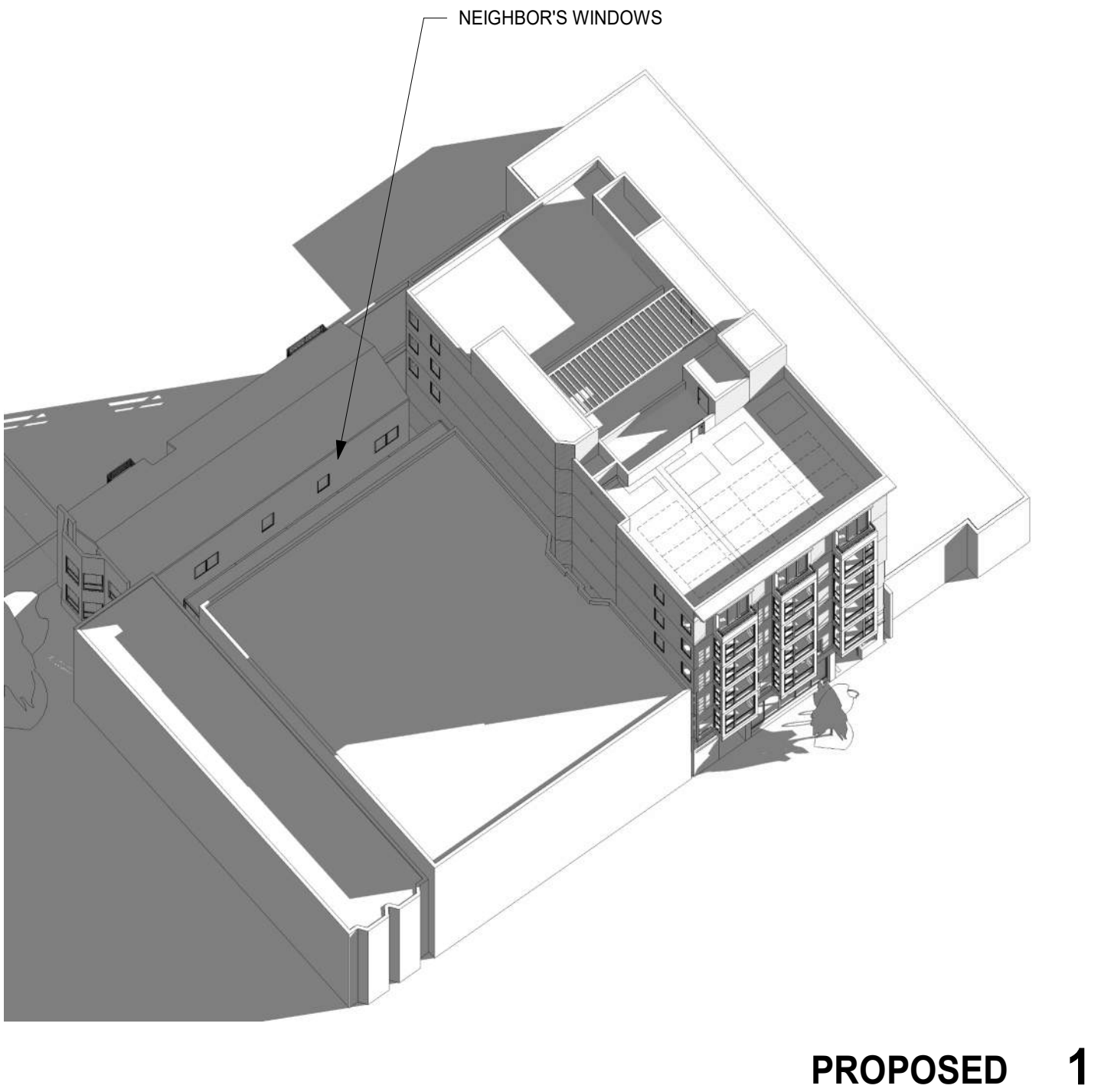
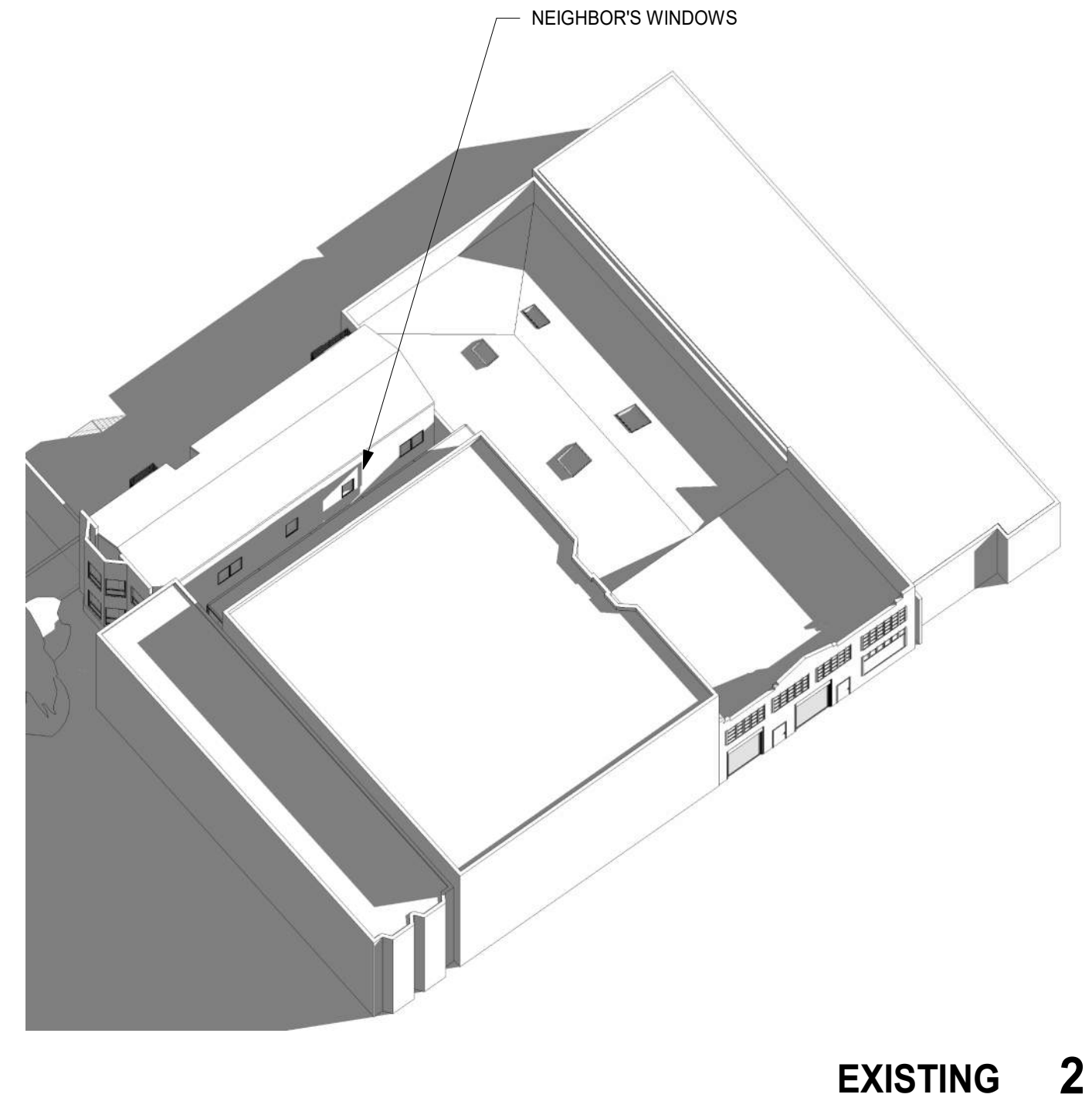
N.T.S

WINTER SOLSTICE - 12 PM
WEST FACADE



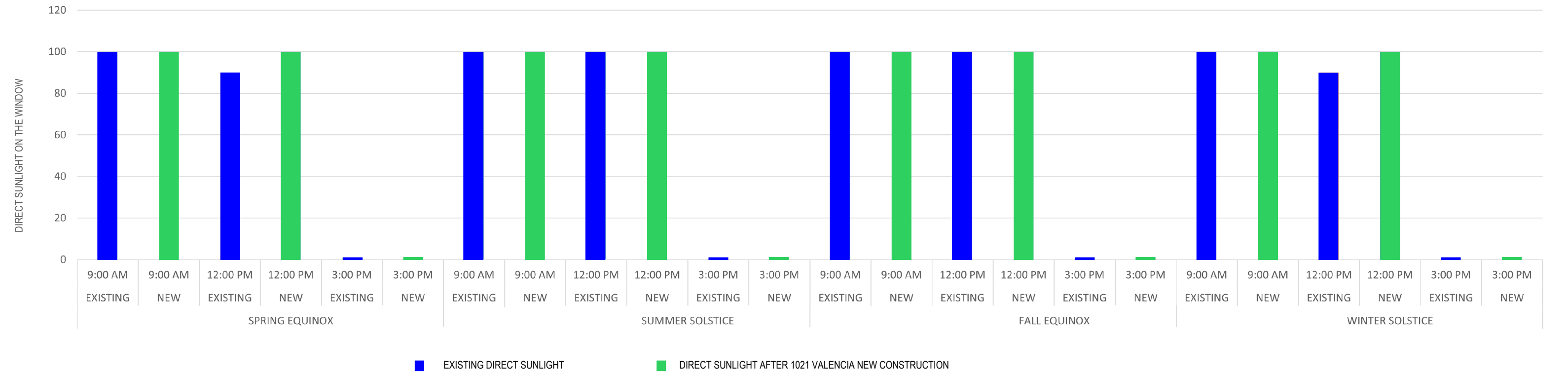
NOTES:
ADJACENT STRUCTURES ARE APPROXIMATE BASED ON PUBLIC AVAILABLE INFORMATION
N.T.S

WINTER SOLSTICE - 3 PM
WEST FACADE



NOTES:
ADJACENT STRUCTURES ARE APPROXIMATE BASED ON PUBLIC AVAILABLE INFORMATION

N.T.S



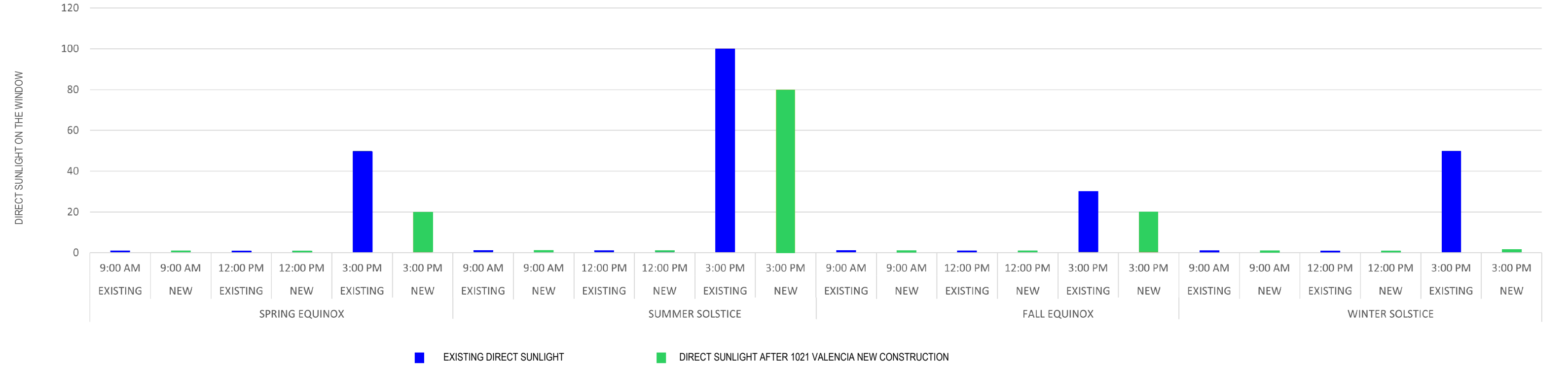


EXHIBIT I

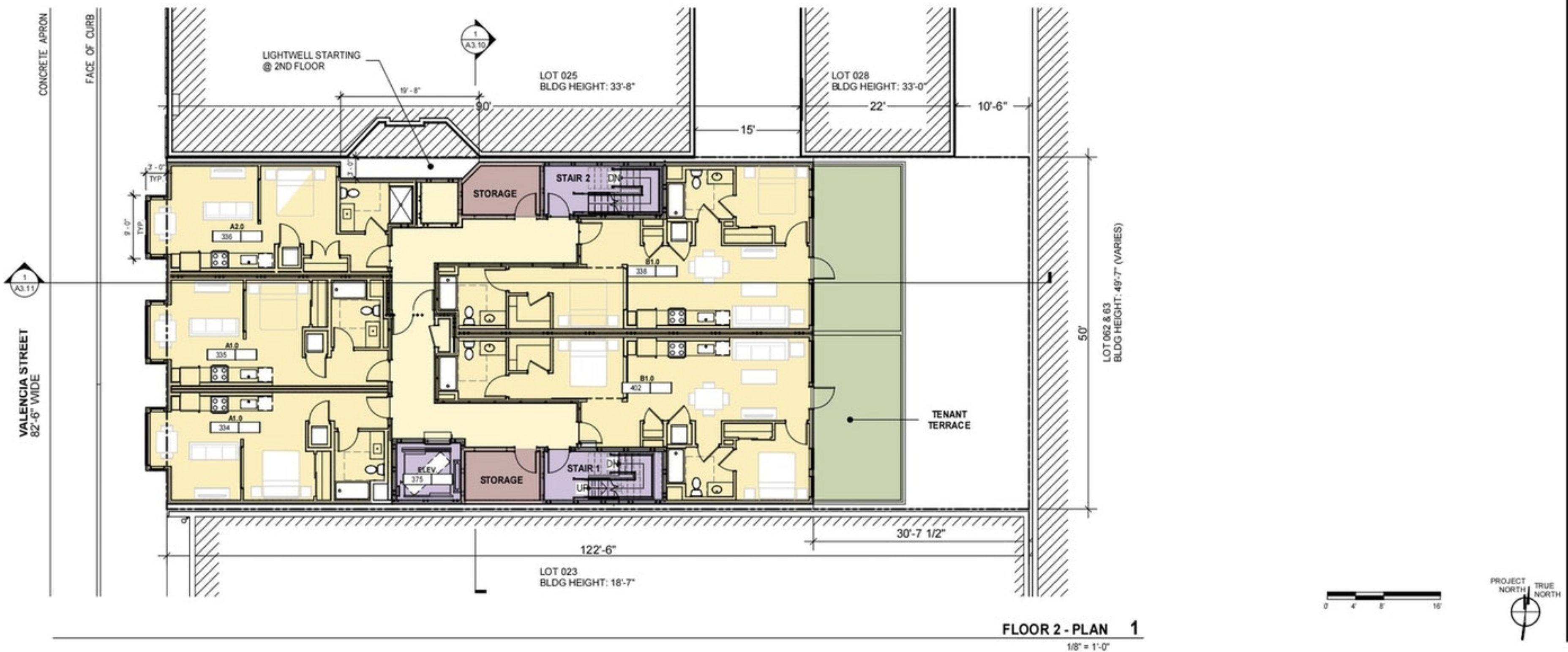
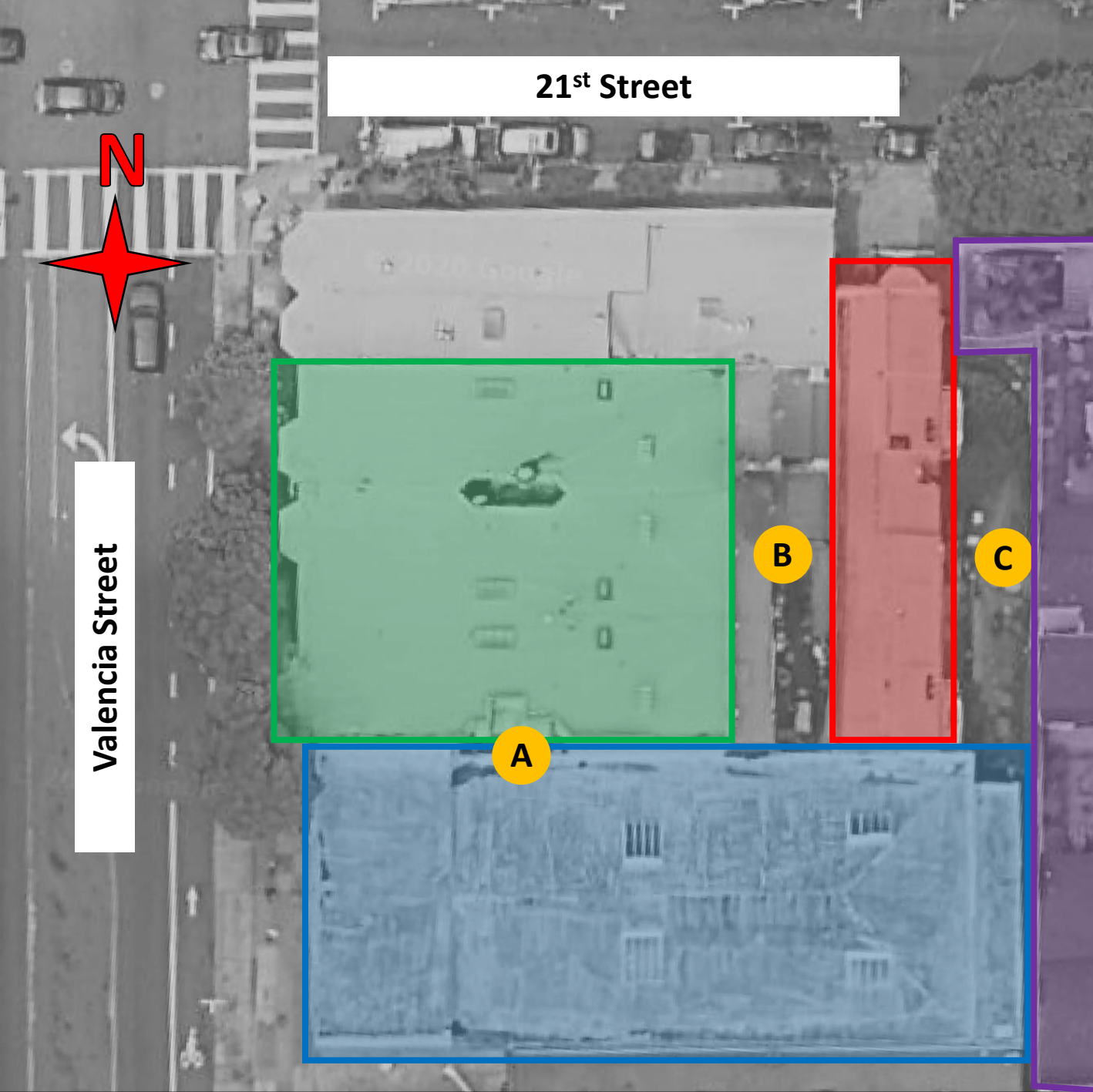


EXHIBIT J



1021 Valencia St.
CDE Aptos Property

3279 21st St.
Dajani Property

1005 Valencia St.
Lau Property

90 Bartlett St.
La Raza

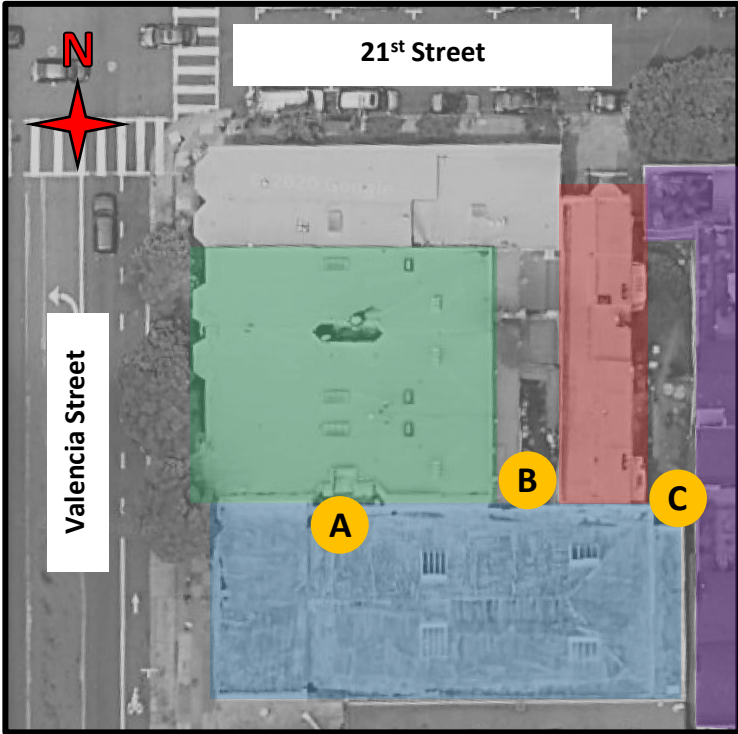
A Existing Window Well on Lau
Property (South Facing)

B Interior Yard East of Lau Property
and West of Dajani Property

C Yard/Patio East of Dajani Property



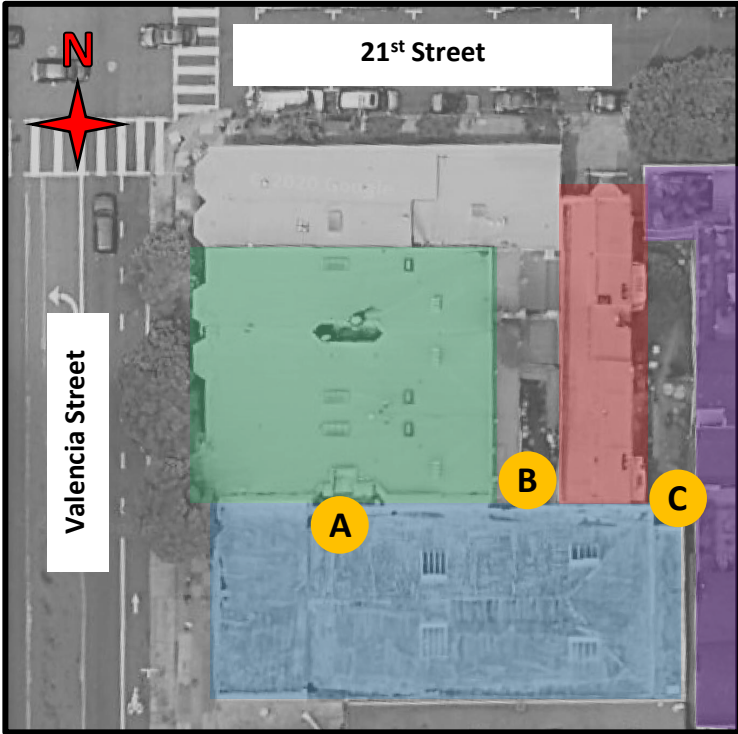
Area Overview



1021 Valencia St. CDE Aptos Property	3279 21 st St. Dajani Property
1005 Valencia St. Lau Property	98 Bartlett St. La Raza Property



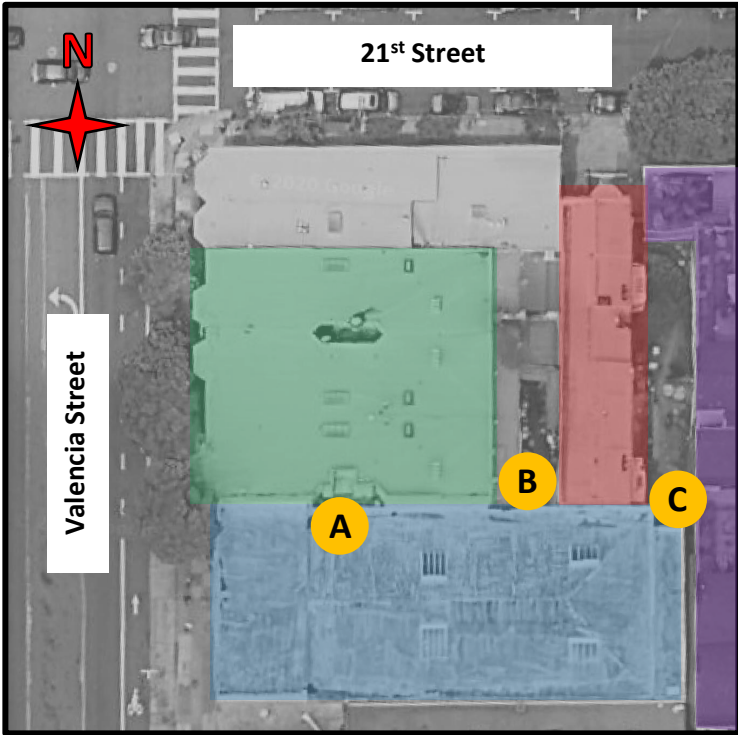
Lau Property Window Well



1021 Valencia St. CDE Aptos Property	3279 21 st St. Dajani Property
1005 Valencia St. Lau Property	98 Bartlett St. La Raza Property



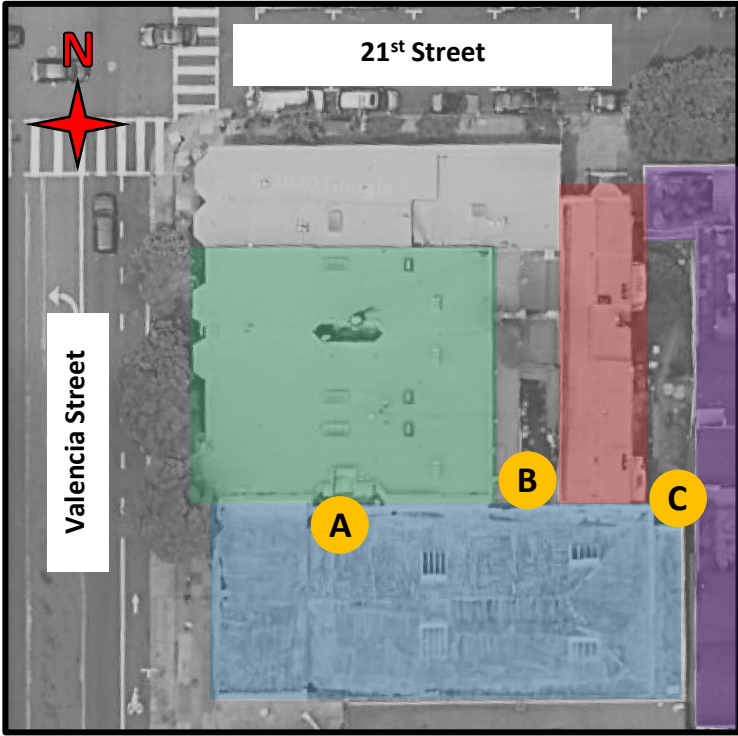
Lau Property Window Well



1021 Valencia St. CDE Aptos Property	3279 21 st St. Dajani Property
1005 Valencia St. Lau Property	98 Bartlett St. La Raza Property



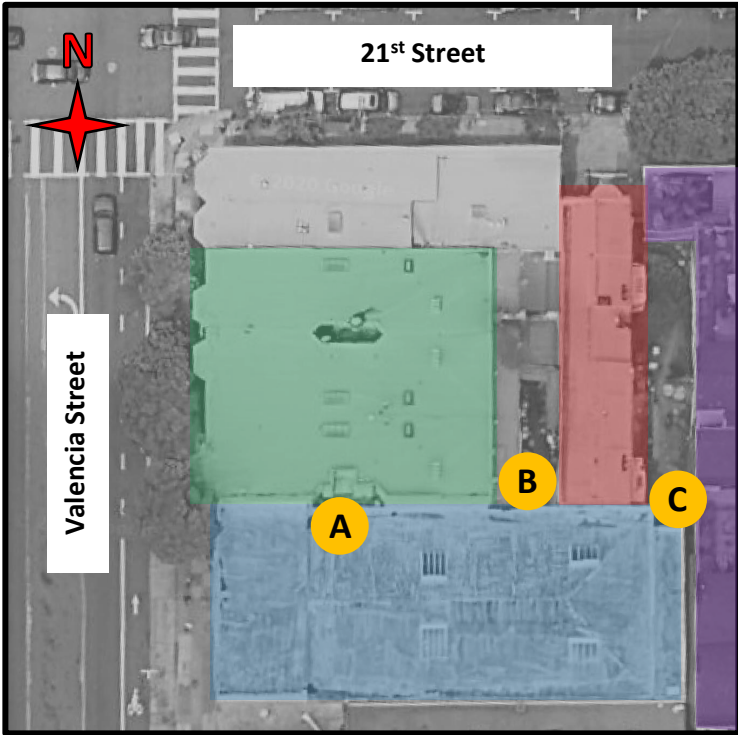
Lau Property Window Well



1021 Valencia St. CDE Aptos Property	3279 21 st St. Dajani Property
1005 Valencia St. Lau Property	98 Bartlett St. La Raza Property



Lau Property Window Well

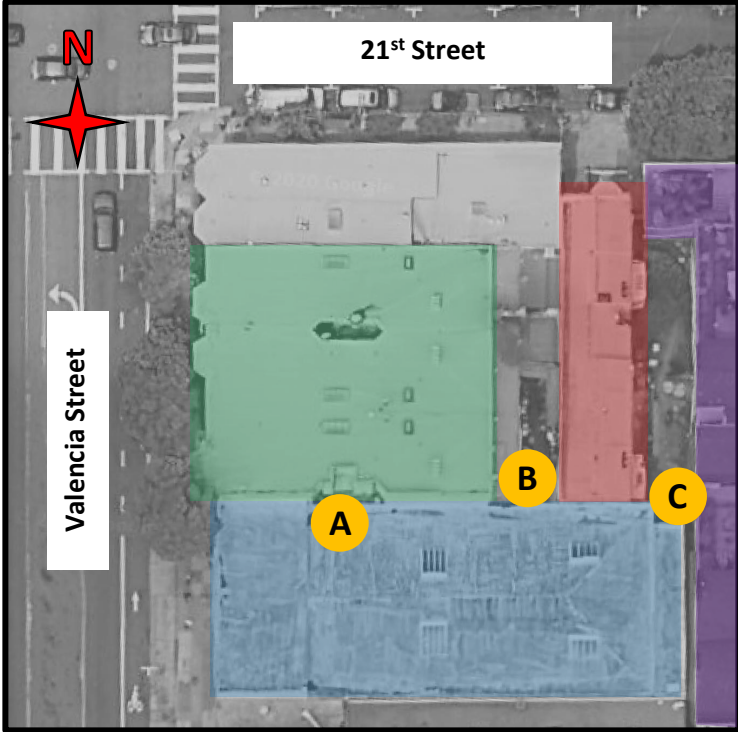


1021 Valencia St. CDE Aptos Property	3279 21 st St. Dajani Property
1005 Valencia St. Lau Property	98 Bartlett St. La Raza Property



B

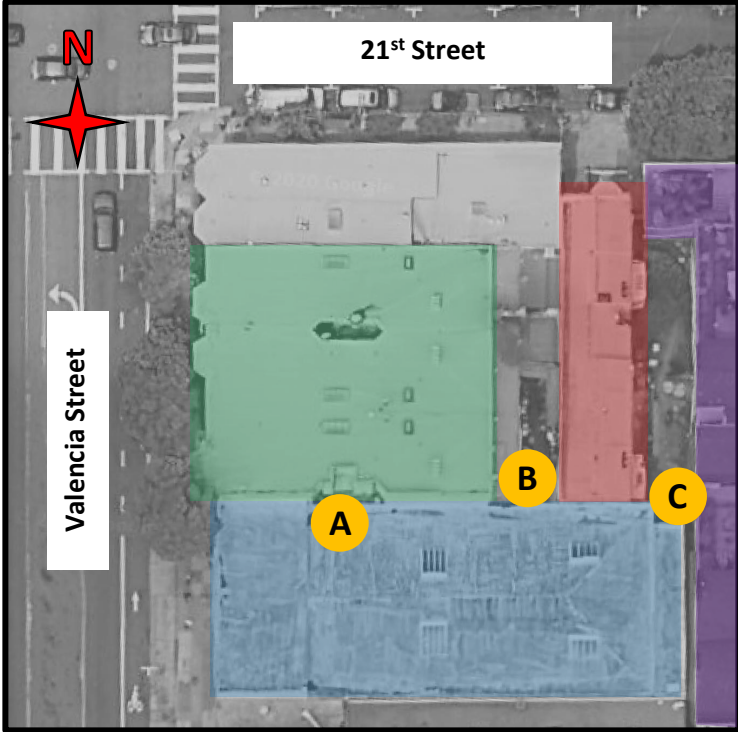
Yard Between Lau & Dajani Properties



1021 Valencia St. CDE Aptos Property	3279 21 st St. Dajani Property
1005 Valencia St. Lau Property	98 Bartlett St. La Raza Property



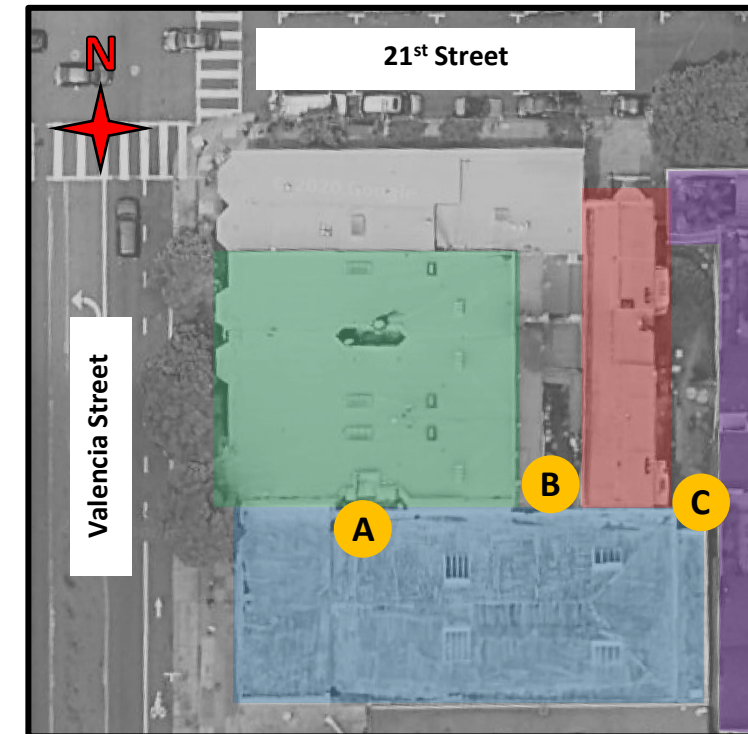
Yard Between Lau & Dajani Properties



1021 Valencia St. CDE Aptos Property	3279 21 st St. Dajani Property
1005 Valencia St. Lau Property	98 Bartlett St. La Raza Property



Yard Between Lau & Dajani Properties



1021 Valencia St.
CDE Aptos Property

3279 21st St.
Dajani Property

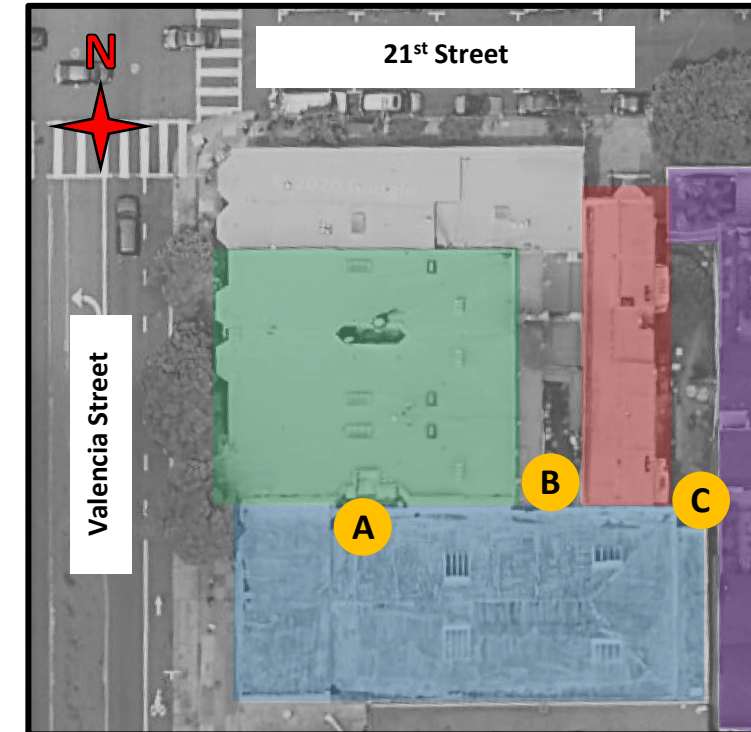
1005 Valencia St.
Lau Property

98 Bartlett St.
La Raza Property



B

Yard Between Lau & Dajani Properties



1021 Valencia St.
CDE Aptos Property

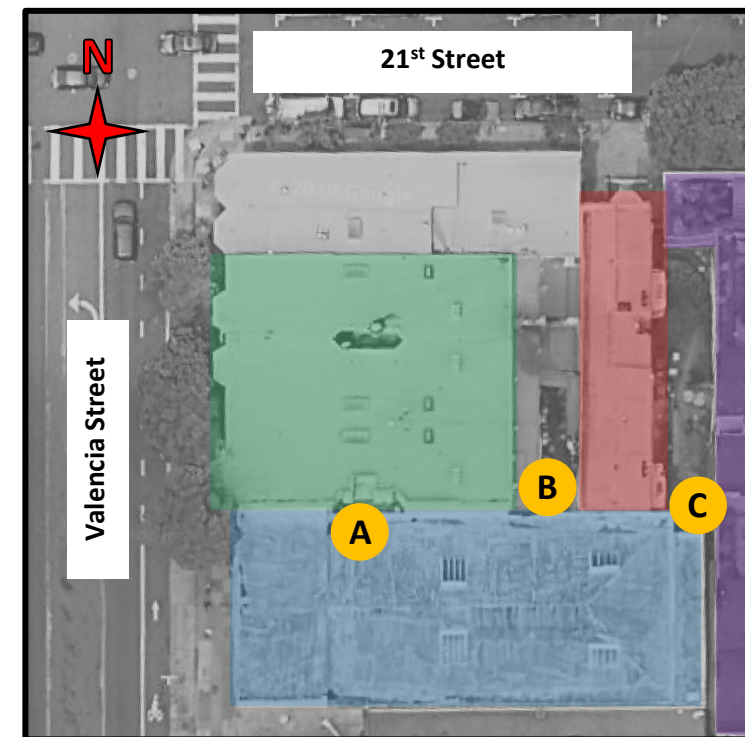
3279 21st St.
Dajani Property

1005 Valencia St.
Lau Property

98 Bartlett St.
La Raza Property



Yard Between Lau & Dajani Properties



1021 Valencia St.
CDE Aptos Property

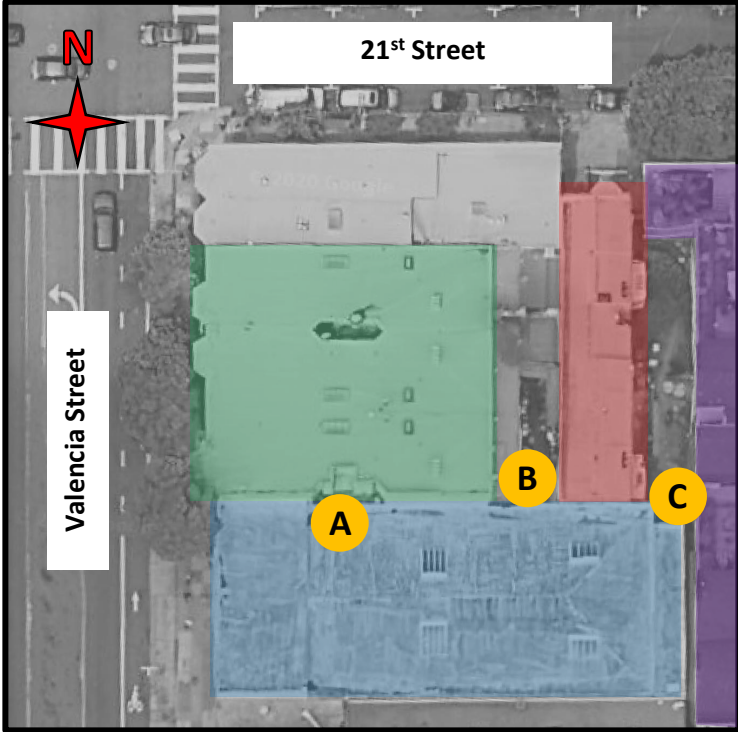
3279 21st St.
Dajani Property

1005 Valencia St.
Lau Property

98 Bartlett St.
La Raza Property



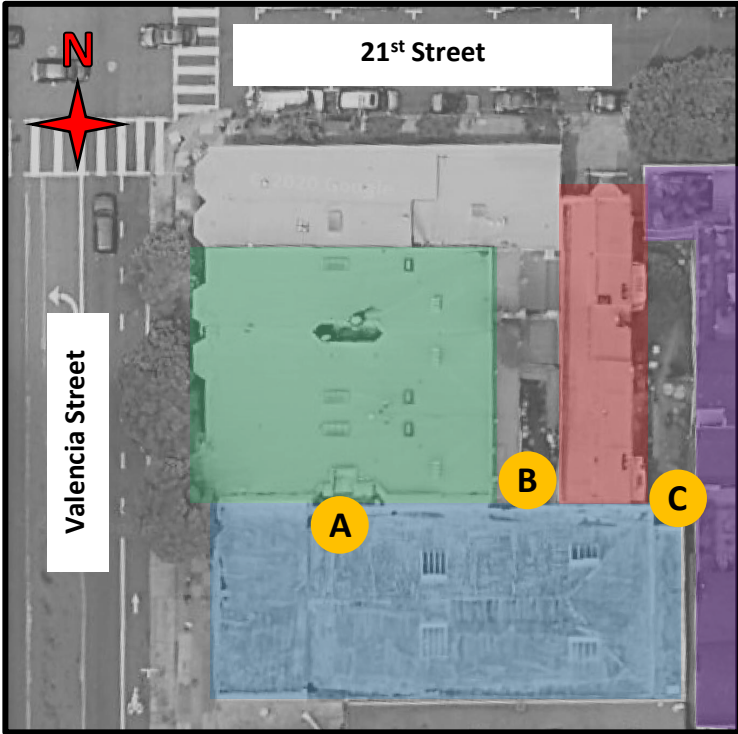
Yard Between Lau & Dajani Properties



1021 Valencia St. CDE Aptos Property	3279 21 st St. Dajani Property
1005 Valencia St. Lau Property	98 Bartlett St. La Raza Property



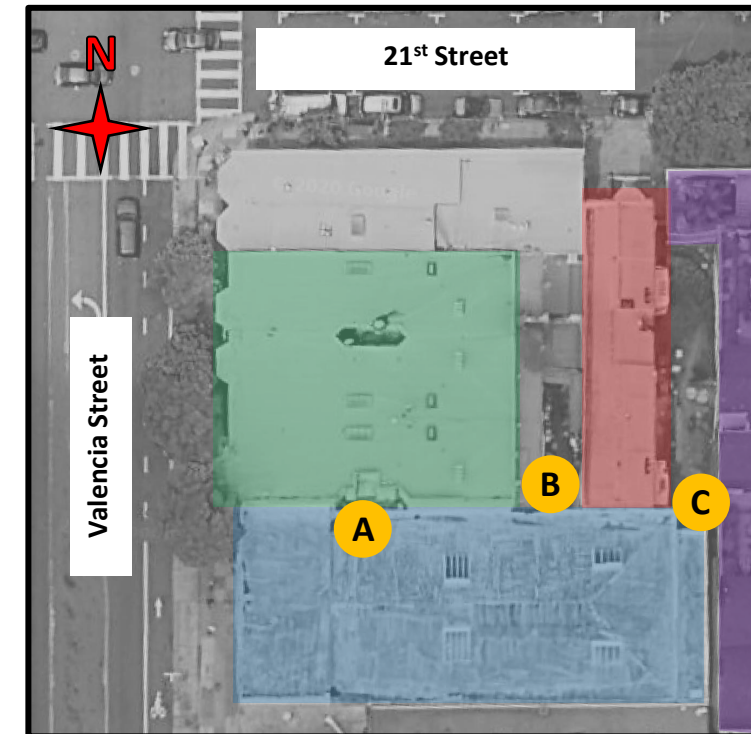
Yard Between Dajani Property and La Raza



1021 Valencia St. CDE Aptos Property	3279 21 st St. Dajani Property
1005 Valencia St. Lau Property	98 Bartlett St. La Raza Property



Yard Between Dajani Property and La Raza



1021 Valencia St.
CDE Aptos Property

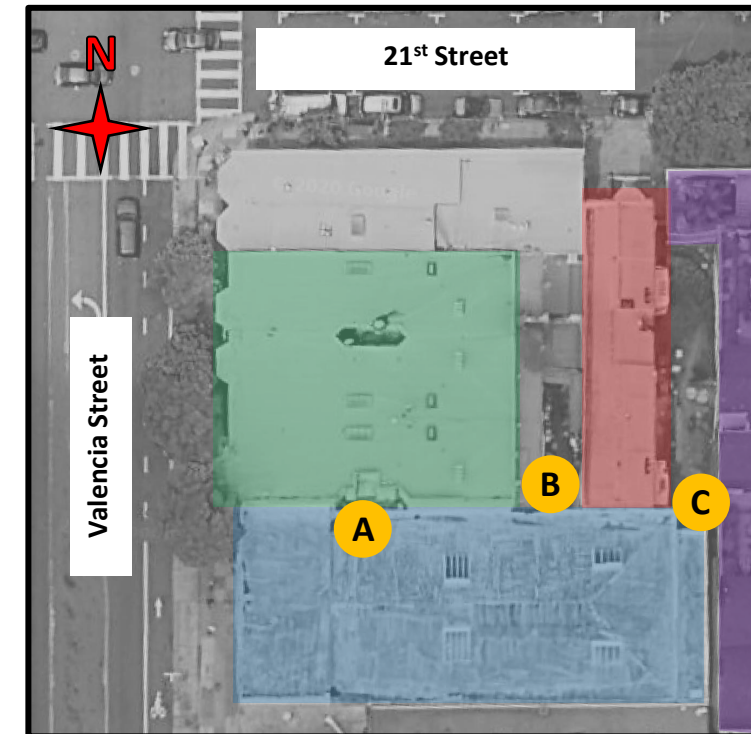
3279 21st St.
Dajani Property

1005 Valencia St.
Lau Property

98 Bartlett St.
La Raza Property



Yard Between Dajani Property and La Raza



1021 Valencia St.
CDE Aptos Property

3279 21st St.
Dajani Property

1005 Valencia St.
Lau Property

98 Bartlett St.
La Raza Property

EXHIBIT K

