SAN FRANCISCO
PLANNING DEPARTMENT

Discretionary Review
Abbreviated Analysis
HEARING DATE: NOVEMBER 29, 2018

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date:	November 15, 2018
Case No.:	**2017-009924DRP**
Project Address:	**2601 Diamond (corner of Sussex)**
Permit Application:	2017.0725.2906
Zoning:	RH-1 [Residential House, One-Family] 40-X Height and Bulk District
Block/Lot:	6729/001
Project Sponsor:	Troy Kashanipour 2325 Third Street, suite 401 San Francisco, CA 94107
Staff Contact:	David Winslow – (415) 575-9159 David.Winslow@sfgov.org
Recommendation:	**Do not take DR and approve as proposed**

PROJECT DESCRIPTION

The project consists of a 2-story vertical addition, façade alterations, and addition of a new garage to an existing one-story, single-family house.

SITE DESCRIPTION AND PRESENT USE

The site is a sub-standard (749 sf.) wedge shaped upsloping corner lot with an existing 1-story, 705 s.f. single- family house built in 1908.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

This block of Diamond consists of 2- and 3-story houses with a pattern of some, but not all, buildings set back from the street to accommodate raised stair entries.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	July 23, 2018 – August 22 2018	08.21. 2018	11.29. 2018	99 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	November 19, 2018	November 19, 2018	10 days
Mailed Notice	10 days	November 19, 2018	November 19, 2018	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	0	0	0
Other neighbors on the block or directly across the street	1	0	0
Neighborhood groups	0	0	0

DR REQUESTOR

Kyle Mach, of 2605 Diamond St., adjacent neighbor to the South of the proposed project.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

1. Concerned with overall height – particularly located on the irregular corner lot at top of hill
   Also concerned with lack of front setback and believes the multi-story bay window will exacerbate this matter. Concerned with height-to-building footprint (so much building/square footage on smaller lot).
2. Concerned with entry on Sussex Street (existing location) instead of Diamond (like adjacent neighbors) and new garage on Diamond.
3. Loss of on-street parking space on Diamond and because the proposed curb cut is next to bus stop location interferes with MUNI operations.
4. Property line windows are blocked by proposal and new window directly across existing window.
5. Fenestration shape and pattern and do not match the existing building/neighborhood character.

See attached *Discretionary Review Application*, dated August 21, 2018.

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

The sponsor has complied with the Residential Design Team (RDAT) recommendations enumerated below, in relation to building massing at the rear to address issues related to massing, scale, setbacks, and fenestration patterns.

See attached *Response to Discretionary Review,* dated September 14, 2018.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e)

Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

Although the site is unusual in shape the proposal does not present and exceptional or extraordinary conditions. The existing block face consists of 2+ to 3-story buildings with no consistent pattern of front setbacks.

- The proposed 3- story building maintains the scale of buildings, including the adjacent neighbor, at the street and steps up with the topography. (Due to the slope of the corner site the building is a classified as a 3 -story with basement.)
- In addition, as a corner building, it has the opportunity to celebrate the corner condition with more height and massing. Compatible with the Residential Design Guideline "Provide greater visual emphasis to corner buildings."
- The entry on Sussex is where the existing entry is, and as a corner building it may chose it entry and address. As many of the other buildings that face and have garages on Diamond this is not exceptional. The property caddy corner has a garage in the "coach stop".
- The loss of on-street parking on Diamond helps daylight the coach stop. Consistent with the concerns of MUNI service above.
- Property line windows, a non-complying condition, are not protected buy Planning Code or guidelines.
- Window pattern is compatible in size, scale and overall amount with neighborhood context.

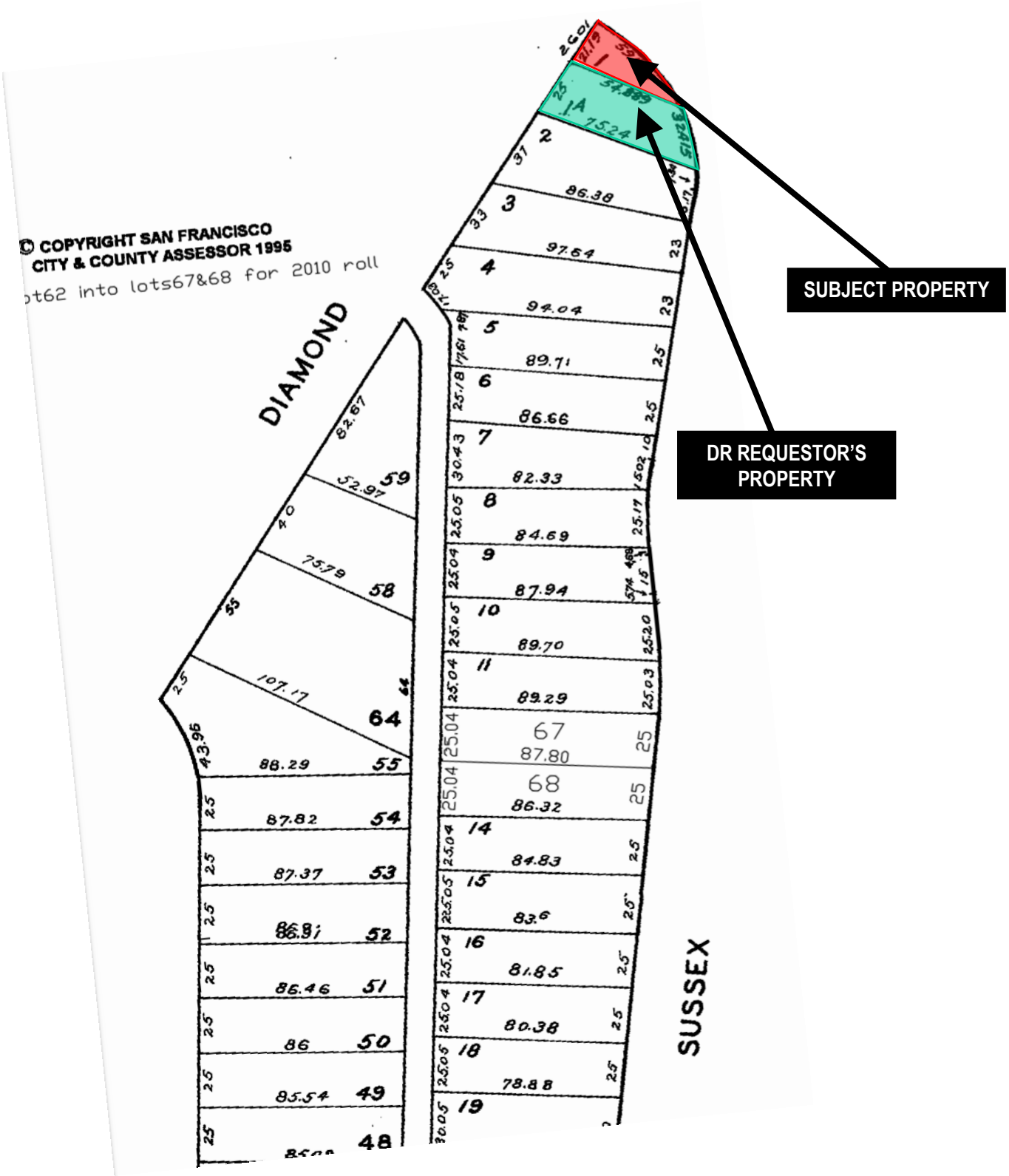
Not exceptional or extraordinary recommend abbreviated DR.

RECOMMENDATION:	**Do not take DR and approve project as proposed**

Attachments:
Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Context Photographs
Section 311 Notice
CEQA Determination
DR Application
Response to DR Application dated September 14, 2018
Reduced Plans
Color renderings

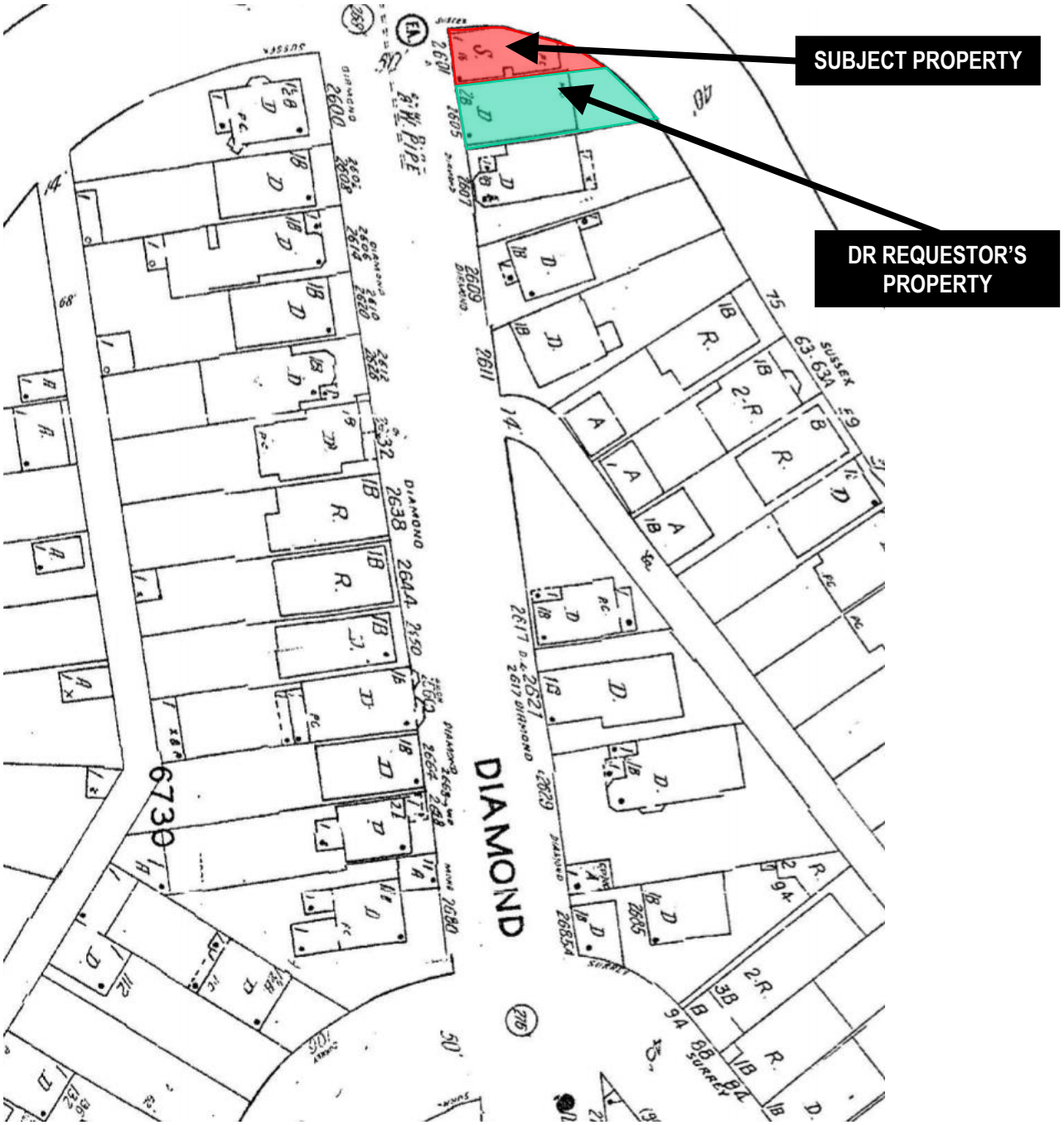
Exhibits

Parcel Map



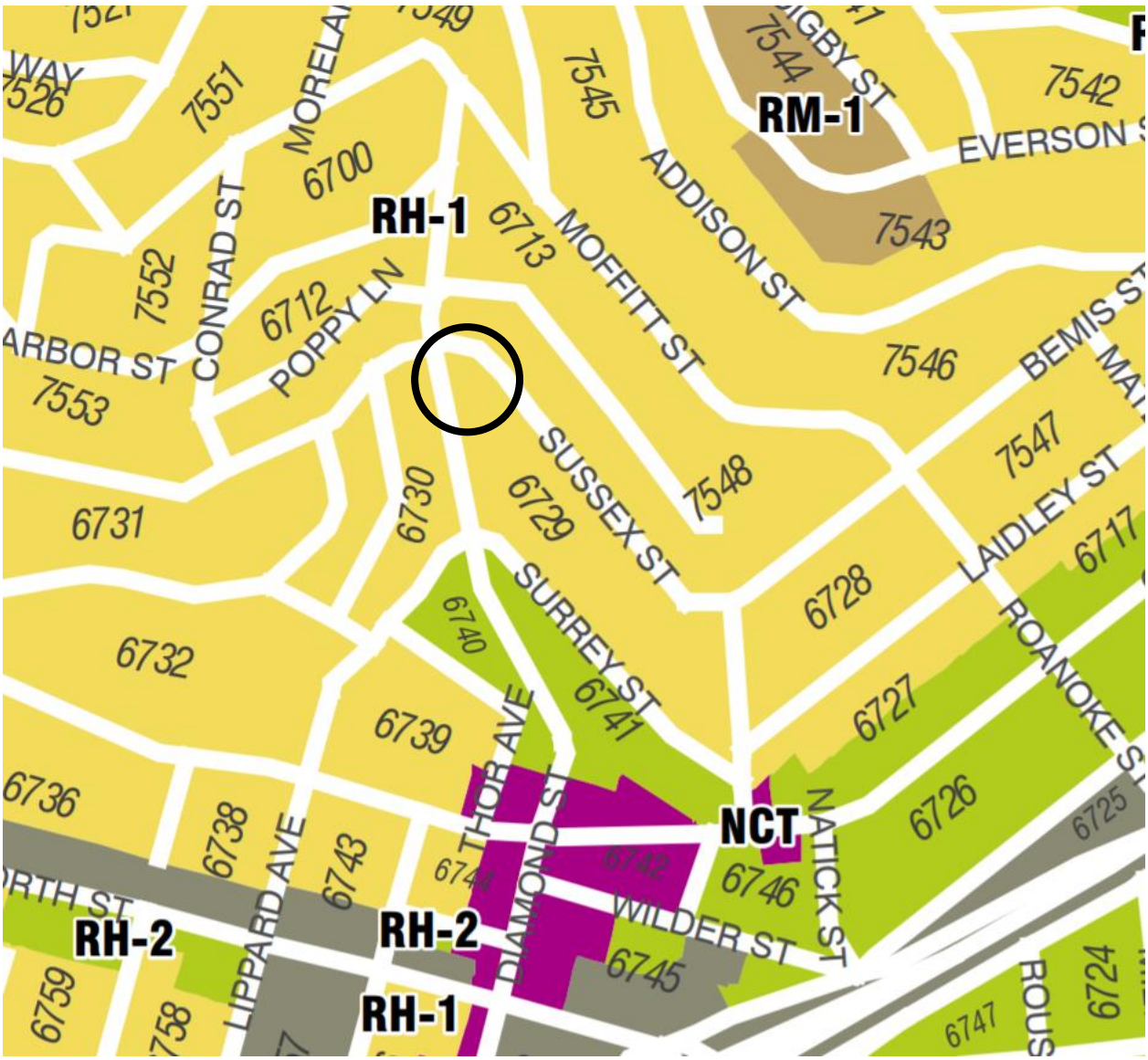
Discretionary Review Hearing
Case Number 2017-009924DRP
2601 Diamond Street

Sanborn Map*



**The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.*

Zoning Map


RM-1
RH-1
NCT
RH-2
RH-2
RH-1
7544
7542
7545
7551
7543
7552
7546
7553
7547
6731
6730
6729
7548
6728
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6725
6717
MORELAND
ADDISON ST
MOFFITT ST
CONRAD ST
POPPY LN
ARBOR ST
SUSSEX ST
SURREY ST
LAIDLEY ST
ROANOKE ST
THOR AVE
DIAMOND ST
WILDER ST
NATICK ST
LIPPARD AVE
EVERSON
BEMIS ST

Aerial Photo



Aerial Photo



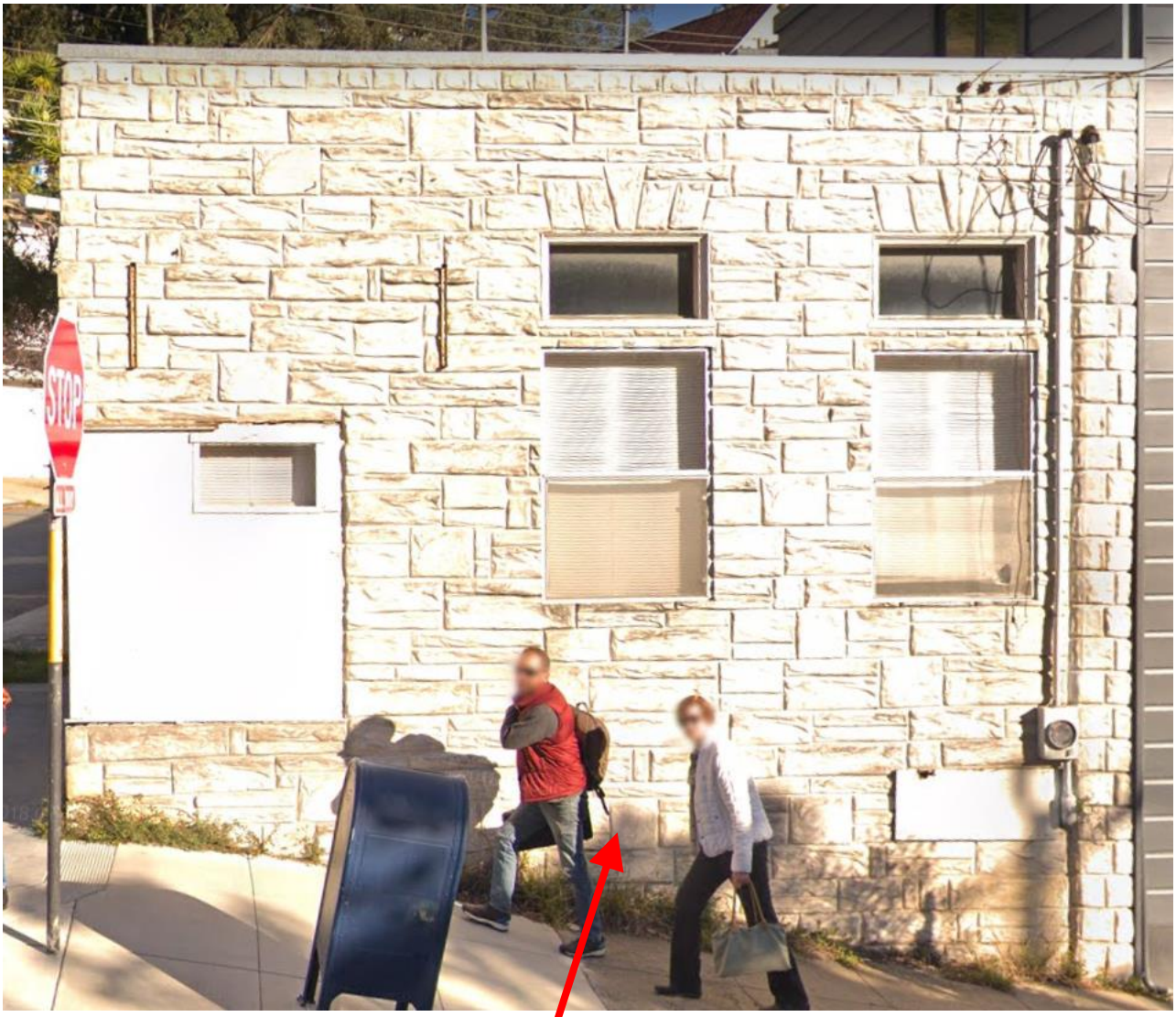
Aerial Photo



Aerial Photo



Site Photo



SAN FRANCISCO
PLANNING DEPARTMENT
1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **July 25, 2017**, the Applicant named below filed Building Permit Application No. **2017.07.25.2906** with the City and County of San Francisco.

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	**2601 Diamond Street**	Applicant:	**Troy Kashanipour**
Cross Street(s):	**Sussex Street**	Address:	**2325 Third Street Suite 401**
Block/Lot No.:	**6729/001**	City, State:	**San Francisco, CA 94107**
Zoning District(s):	**RH-1/40-X**	Telephone:	**(415) 431-0869**
Record No.:	**2017-009924PRJ**	Email:	**tk@tkworkshop.com**

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
☐ Demolition	☐ New Construction	■ Alteration
☐ Change of Use	■ Façade Alteration(s)	☐ Front Addition
☐ Rear Addition	☐ Side Addition	■ Vertical Addition

PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	No Change
Front Setback	None	No Change
Side Setbacks	None	No Change
Building Depth	39 feet 11 inches	No Change
Rear Yard	8 feet 6 inches	No Change
Building Height	16 feet 2 3/16 inches	31 feet 8 inches
Number of Stories	One	Three Over Basement
Number of Dwelling Units	One	No Change
Number of Parking Spaces	None	One

PROJECT DESCRIPTION

The proposal includes a vertical addition to an existing single family residence. The proposal also includes façade alterations, including a new garage.

The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.

For more information, please contact Planning Department staff:

Planner: Veronica Flores
Telephone: (415) 575-9173
E-mail: veronica.flores@sfgov.org

Notice Date: 7/23/18
Expiration Date: 8/22/18

SAN FRANCISCO
PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
2601 DIAMOND ST		6729/001
Case No.		**Permit No.**
2017-009924ENV		201707252906
■ **Addition/ Alteration**	☐ **Demolition (requires HRE for Category B Building)**	☐ **New Construction**

Project description for Planning Department approval.

Vertical addition and addition of below grade garage. Proposed project would be approximately 2,350 square feet with a new n car garage and curb-cut.

STEP 1: EXEMPTION CLASS

Note: If neither class applies, an *Environmental Evaluation Application* is required.

■	**Class 1 - Existing Facilities.** Interior and exterior alterations; additions under 10,000 sq. ft.; change of use under 10,000 sq. ft.
☐	**Class 3 - New Construction.** Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions
☐	**Class 32 - In-Fill Development.** New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. **FOR ENVIRONMENTAL PLANNING USE ONLY**
☐	**Class** ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an *Environmental Evaluation Application* is required.	
☐	**Air Quality:** Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? *(refer to EP _ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)*
☐	**Hazardous Materials:** If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. *Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).*
☐	**Transportation:** Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
■	**Archeological Resources:** Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? *(refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)*
☐	**Subdivision/Lot Line Adjustment:** Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? *(refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)*
☐	**Slope = or > 20%:** Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? *(refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)* **If box is checked, a geotechnical report is required.**
☐	**Seismic: Landslide Zone:** Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? *(refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones)* **If box is checked, a geotechnical report is required.**
☐	**Seismic: Liquefaction Zone:** Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? *(refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones)* **If box is checked, a geotechnical report will likely be required.**

If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an *Environmental Evaluation Application* is required, unless reviewed by an Environmental Planner.

Comments and Planner Signature (*optional*): Laura Lynch

Archeo review complete 1/11/2018--no effects

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE

TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: *(refer to Parcel Information Map)*	
☐	**Category A:** Known Historical Resource. **GO TO STEP 5.**
■	**Category B:** Potential Historical Resource (over 45 years of age). **GO TO STEP 4.**
☐	**Category C:** Not a Historical Resource or Not Age Eligible (under 45 years of age). **GO TO STEP 6.**

STEP 4: PROPOSED WORK CHECKLIST

TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
☐	1. **Change of use and new construction.** Tenant improvements not included.
☐	2. **Regular maintenance or repair** to correct or repair deterioration, decay, or damage to building.
☐	3. **Window replacement** that meets the Department's *Window Replacement Standards*. Does not include storefront window alterations.
☐	4. **Garage work.** A new opening that meets the *Guidelines for Adding Garages and Curb Cuts*, and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
☐	5. **Deck, terrace construction, or fences** not visible from any immediately adjacent public right-of-way.
☐	6. **Mechanical equipment installation** that is not visible from any immediately adjacent public right-of-way.
☐	7. **Dormer installation** that meets the requirements for exemption from public notification under *Zoning Administrator Bulletin No. 3: Dormer Windows*.
☐	8. **Addition(s)** that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
■	Project is not listed. **GO TO STEP 5.**
☐	Project **does not conform** to the scopes of work. **GO TO STEP 5.**
☐	Project involves **four or more** work descriptions. **GO TO STEP 5.**
☐	Project involves **less than four** work descriptions. **GO TO STEP 6.**

STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW

TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
☐	1. Project involves a **known historical resource (CEQA Category A)** as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
☐	2. **Interior alterations to publicly accessible spaces.**
☐	3. **Window replacement** of original/historic windows that are not "in-kind" but are consistent with existing historic character.
☐	4. **Façade/storefront alterations** that do not remove, alter, or obscure character-defining features.
☐	5. **Raising the building** in a manner that does not remove, alter, or obscure character-defining features.
☐	6. **Restoration** based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

☐	7. **Addition(s)**, including mechanical equipment that are minimally visible from a public right-of-way and meet the *Secretary of the Interior's Standards for Rehabilitation*.
☐	8. **Other work consistent** with the *Secretary of the Interior Standards for the Treatment of Historic Properties* (*specify or add comments*):
☐	9. **Other work** that would not materially impair a historic district (specify or add comments): *(Requires approval by Senior Preservation Planner/Preservation Coordinator)*
☐	10. **Reclassification of property status**. *(Requires approval by Senior Preservation Planner/Preservation* ☐ Reclassify to Category A ■ Reclassify to Category C a. Per HRER dated *(attach HRER)* b. Other *(specify)*: Reclassify to Category C as per PTR Form signed on 2/27/18.
	Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.
☐	**Further environmental review required.** Based on the information provided, the project requires an *Environmental Evaluation Application* to be submitted. **GO TO STEP 6.**
■	**Project can proceed with categorical exemption review**. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. **GO TO STEP 6.**
Comments (*optional*):	
Preservation Planner Signature:	Michelle A Taylor

STEP 6: CATEGORICAL EXEMPTION DETERMINATION

TO BE COMPLETED BY PROJECT PLANNER

☐	**Further environmental review required.** Proposed project does not meet scopes of work in either *(check all that apply)*: ☐ Step 2 - CEQA Impacts ☐ Step 5 - Advanced Historical Review **STOP! Must file an *Environmental Evaluation Application.***	
■	**No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.**	
	Project Approval Action: Building Permit If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	**Signature:** Michelle A Taylor 02/28/2018
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.	

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
2601 DIAMOND ST		6729/001
Case No.	Previous Building Permit No.	New Building Permit No.
2017-009924PRJ	201707252906	
Plans Dated	Previous Approval Action	New Approval Action
	Building Permit	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
☐	Result in expansion of the building envelope, as defined in the Planning Code;
☐	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
☐	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
☐	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

☐	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	

Planner Name:	**Signature or Stamp:**

SAN FRANCISCO
PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW FORM

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Preservation Team Meeting Date:		Date of Form Completion	2/2/2018

PROJECT INFORMATION:		
Planner:	Address:	
Michelle Taylor	2601 Diamond Street	
Block/Lot:	Cross Streets:	
6729/001	Sussex and Diamond Streets	
CEQA Category:	Art. 10/11:	BPA/Case No.:
B		2017-009924ENV

PURPOSE OF REVIEW:			PROJECT DESCRIPTION:	
(•) CEQA	( ) Article 10/11	( ) Preliminary/PIC	(•) Alteration	( ) Demo/New Construction

DATE OF PLANS UNDER REVIEW:	07/13/2017

PROJECT ISSUES:	
☒	Is the subject Property an eligible historic resource?
☐	If so, are the proposed changes a significant impact?
	Additional Notes:
	Supplemental Information for Historic Resource Determination (undated) provided by Troy Kashanipour. Proposed project scope: Vertical addition to expand existing single family residence and excavate to add below grade parking.

PRESERVATION TEAM REVIEW:

Category: ( ) A ( ) B (•) C

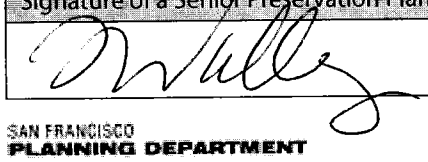
Individual	Historic District/Context
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:	Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:
Criterion 1 - Event: ( ) Yes (•) No	Criterion 1 - Event: ( ) Yes (•) No
Criterion 2 -Persons: ( ) Yes (•) No	Criterion 2 -Persons: ( ) Yes (•) No
Criterion 3 - Architecture: ( ) Yes (•) No	Criterion 3 - Architecture: ( ) Yes (•) No
Criterion 4 - Info. Potential: ( ) Yes (•) No	Criterion 4 - Info. Potential: ( ) Yes (•) No
Period of Significance:	Period of Significance:
	( ) Contributor ( ) Non-Contributor

Complies with the Secretary's Standards/Art 10/Art 11:	○ Yes	○ No	◉ N/A
CEQA Material Impairment to the individual historic resource:	○ Yes	◉ No	
CEQA Material Impairment to the historic district:	○ Yes	◉ No	
Requires Design Revisions:	○ Yes	◉ No	
Defer to Residential Design Team:	◉ Yes	○ No	

PRESERVATION TEAM COMMENTS:

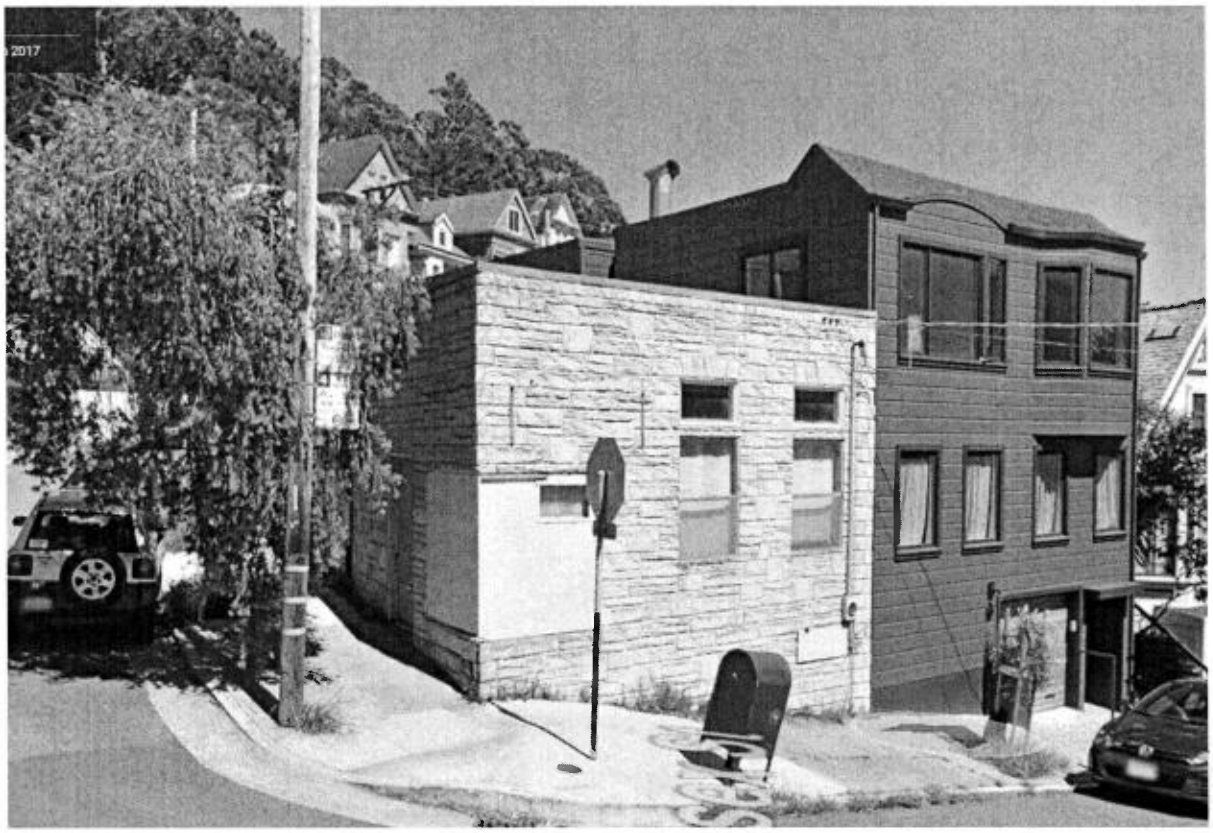
According to Planning Department records and the Supplemental Information for Historic Resource Determination prepared by Troy Kashanipour, 2601 Diamond Street is located on an irregularly shaped lot at the corner of Diamond and Sussex Streets in the Glen Park neighborhood. Built in 1910, the building served as a neighborhood grocery store until 1974 when it became an upholstery shop. The building was later converted to residential use at an unknown date. 2601 Diamond Street is a single story wood-frame building with a flat roof and clad in "perma-stone," a faux-stone veneer, on two street frontages. The building occupies nearly the entirety of the lot; it has no side or front setback and shares a party wall with the adjacent building. The building features a mix of fenestration size, type and style including two aluminum-frame, one over one windows with fixed wood-frame transoms on theDiamond Street frontage. Plywood infill covers a former opening at the corner of Diamond and Sussex Streets, at the likely location of the original grocery entrance, and an aluminum frame fixed window is set into the Diamond Street side of this infill. The current entrance is located along the Sussex Street frontage and features a single panel pedestrian door with simple wood casing. The rear of the building is visible behind a low concrete wall. The rear elevation is clad in horizontal siding and features a wood door with upper lights. According to the permit history provided and a visual analysis of photographs, the subject building has undergone significant alterations including application of perma-stone (1952), replacement all windows, removal of the original grocery story corner entrance and installation of a new door on the Sussex Street elevation.

The subject building is not eligible for individual listing in the California Register of Historical Resources under Criterion 1 (events), 2 (persons), 3 (architecture), or 4 (information potential). According to the information provided, the subject property is not associated with events found to be sufficiently important to be significant under Criterion 1. Additionally, no person associated with the building is significant to history and therefore the property does not appear significant under Criterion 2. Architecturally, the building features a simple design that has undergone several cosmetic alterations since construction. Additionally, the building is not associated with a particular builder or architect; therefore it is not eligible under Criterion 3. The building does not embody a rare construction type and therefore is not significant under Criterion 4 as it relates to buildings and structures. (The potential archaeological significance of the site, as opposed to the building, is not addressed in this document.) (continued)

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
	2/27/18

(continued)

The subject building is not located adjacent to any known historic resources (Category A properties) and does not appear to be located in a potential historic district. The building stock on this portion of Diamond and Sussex Streets includes a wide range of residential building styles and types from different eras. 2601 Diamond Street and the neighboring building stock do not possess sufficient architectural, historical significance or cohesion to identify as a historic district.


2017

PLANNING APPLICATION RECORD NUMBER

San Francisco Planning

DISCRETIONARY REVIEW APPLICATION

RECEIVED
AUG 21 2018
CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
PIC

Property Owner's Information

Name: Kyle Mach & Maureen Linch

Address: 2605 Diamond St

Email Address: kylemach@gmail.com maureenlinch@gmail.com

Telephone: 215-327-6175

Applicant Information (if applicable)

Name: Same as above ☐

Company/Organization:

Address: Email Address:

Telephone:

Please Select Billing Contact: ☐ Owner ☐ Applicant ☐ Other (see below for details)

Name: Maureen Linch & Kyle Mach Email: maureenlinch@gmail.com Phone: 917-660-8255

Please Select Primary Project Contact: ☐ Owner ☐ Applicant ☐ Billing

Property Information

Project Address: 2601 Diamond Street Block/Lot(s): 6729/001

Plan Area: Zoning District RH-1/40-X

Project Description:

Please provide a narrative project description that summarizes the project and its purpose.

The project would covert a one-story building that was historically a corner store into an unusually tall, skinny, tower structure with three stories above a garage, with no set-backs at the front of the property, on a very small, narrow irregularly configured lot, which is shaped like a tadpole. The result would be a residential construction that is unprecedented in the entire city of San Francisco and out of character with the immediate neighborhood.

Project Details:

☐ Change of Use ☐ New Construction ☐ Demolition ☑ Facade Alterations ☐ ROW Improvements

☑ Additions ☐ Legislative/Zoning Changes ☐ Lot Line Adjustment-Subdivision ☐ Other _____

Estimated Construction Cost: $100,000

Residential: ☐ Special Needs ☐ Senior Housing ☐ 100% Affordable ☐ Student Housing ☐ Dwelling Unit Legalization

☐ Inclusionary Housing Required ☐ State Density Bonus ☐ Accessory Dwelling Unit

Non-Residential: ☐ Formula Retail ☐ Medical Cannabis Dispensary ☐ Tobacco Paraphernalia Establishment

☐ Financial Service ☐ Massage Establishment ☐ Other: _____

Related Building Permits Applications

Building Permit Applications No(s): 2017-07-25-2906

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

In reviewing applications for Certificate of Appropriateness the Historic Preservation Commission, Department staff, Board of Appeals and/or Board of Supervisors, and the Planning Commission shall be governed by *The Secretary of the Interior's Standards for the Treatment of Historic Properties* pursuant to Section 1006.6 of the Planning Code. Please respond to each statement completely (Note: Attach continuation sheets, if necessary). Give reasons as to *how* and *why* the project meets the ten Standards rather than merely concluding that it does so. IF A GIVEN REQUIREMENT DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?	✓	
Did you discuss the project with the Planning Department permit review planner?	✓	
Did you participate in outside mediation on this case? (including Community Boards)		✓

CHANGES MADE TO THE PROJECT AS A RESULT OF MEDIATION

If you have discussed the project with the applicant, planning staff or gone through mediation, please attach a summary of the result, including any changes that were made to the proposed project.

We and other neighbors have had extensive discussions with the applicant on several occassions. The applicant has repeatedly offered to "think about" or "consider" a wide variety of alternatives but has never actually agreed or even offered to make any significant changes.

DISCRETIONARY REVIEW REQUEST

In the space below and on seperate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

Please see attached.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

Please see attached.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

Please see attached.

APPLICANT'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

a) The undersigned is the owner or authorized agent of the owner of this property.

b) The information presented is true and correct to the best of my knowledge.

c) Other information or applications may be required.

Signature

Kyle Mach

Name (Printed)

Owner

Relationship to Project
(i.e. Owner, Architect, etc.)

215-327-6175

Phone

kylemach@gmail.com

Email

APPLICANT'S SITE VISIT CONSENT FORM

I herby authorize City and County of San Francisco Planning staff to conduct a site visit of this property, making all portions of the interior and exterior accessible.

Signature

Kyle Mach

Name (Printed)

August 21, 2018

Date

RECEIVED

AUG 2 1 2018

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
PIC

For Department Use Only

Application received by Planning Department:

By: Kurt Botn

Date: 8/21/18

Discretionary Review Application Supplement
2601 Diamond Street, San Francisco 94131

I. INTRODUCTION

This application for discretionary review is submitted by Kyle Mach and Maureen Linch, owners and residents of 2605 Diamond Street. 2605 Diamond Street is directly next door to 2601 Diamond (the "Subject Property") on the Diamond Street side. The following neighbors join in support of this request and have asked that we include their names:

- Dawn and Michael Isaacs, owners of 2600 Diamond Street, directly across Diamond street from the Subject Property.
- Christian and Caliah Manson, owners of 90 Sussex Street, directly across the street from the subject property on the Sussex Street side.
- Abigail Lehrman, owner of 2607 Diamond Street.
- Tina and John Prestino, owners of 2614 Diamond Street.
- Susan Bondell, owner of 94 Sussex Street.

We do not oppose all significant improvements to the Subject Property. To the contrary, we would be happy to see the property improved, maintained, and put to some productive use, rather than be kept in the derelict and neglected state the property has been in under the current owner and applicant, Mr. Walls. However, any improvements must be consistent with the Residential Design Guidelines (the "RDGs"), keeping in mind the highly irregular and usual nature of the property. We have repeatedly raised our concerns with the applicant, but he has refused to consider changes that would address our concerns. We bring this application as a last resort.

It is the unique nature of the Subject Property, along with the extreme nature of the planned construction, that makes Discretionary Review appropriate. The Subject Property is tiny—merely 749 square feet—and irregularly shaped, forming something between a triangle

and a quadrant (quarter circle) shape. It is also a corner lot at the very peak of a steeply-sloping block (the 2600 block of Diamond Street), making it visually prominent to the block face even without an existing structure of significant height. The existing structure, built in 1908, is a single story of roughly 700 square feet originally constructed as a small grocery store, which was in active business operation until approximately 1977. The property has been kept vacant and in derelict condition since it was purchased by the current owner, Mr. Walls, in 1998.

The planned construction would turn the existing single story structure into a slim tower reaching four stories from the Diamond Street side and three from the Sussex Street side, while also tapering in a tadpole shape from the former to the latter. The four-story height (incorrectly described as "three stories over basement" by the applicant) alone would make the Subject Property uniquely out of character with surrounding homes, particularly given the lack of any front setback. But when combined with the exceptionally small area of the lot, the proposed construction would result in a building with bizarre and unprecedented proportions. In discussions with us, ***the responsible architect has acknowledged that no other residence in the City of San Francisco includes so much height on such a small footprint.*** This alone makes the property appropriate for Discretionary Review.

For the following reasons, we respectfully request that the Commission exercise its discretionary powers to review and reject the current plans for development of the Subject Property.

II. REASONS FOR REQUESTING DISCRETIONARY REVIEW

The current plans for development should be rejected because they violate the Residential Design Guidelines when considered in light of the unique nature of the Subject Property. For example:

A. The Scale, Form, and Proportions of the Subject Property Are Inconsistent With the RDGs.

The RDGs explain that "it is essential for a building's scale to be compatible with that of the surrounding buildings, in order to preserve the neighborhood character," and that the height and depth of buildings should be compatible with the existing building scale at the street. The proposed construction at the Subject Property is not compatible with the surrounding buildings, the existing building scale at the street, or neighborhood as a whole. The story count alone would make the proposed property unique on the block on which it sits—there is no other property with three stories above a garage, with no front setback, as this one would be. And because the proposed building is a full story higher than anything else on the block face, its roofline would jut above the neighboring homes in a manner inconsistent with the predominant rooflines running up the block.

But the truly unprecedented nature of the proposal becomes clear when the tiny, irregular footprint of the building is considered. The responsible architect has confirmed that he cannot identify a single building in the entire city, let alone in the impacted neighborhood, with a similar ratio of height-to-building footprint. Certainly one could not be found to match the peculiar tadpole form of the building, which will appear especially unusual from the rear (Sussex Street), where it will rise several stories with an incredibly narrow width. The proposal is thereby incompatible with the surrounding homes, essentially by definition. The effect of the massive difference in the height and footprint of the building is to create the appearance of an incongruous "tower" in a neighborhood—indeed a city—that has no precedent for such a bizarre residence.

The RDGs provide that unusual height may be appropriate for a corner building, as this is. But that is not the case here because of the unique nature of the property. For one thing, the

property is already at the very top of a steeply sloping block. As a result, it is prominent even without greater height than the neighboring properties. For another, the unusual size and shape of the proposed building—uniquely tall and skinny in the entire city, with almost every space built to several stories at (or beyond) the property line—is not the sort of design prominence that the RDGs recommend. The proposal does not "embrac[e] the public realm with great visual emphasis," as the RDGs require, but instead maximizes interior square footage at the expense of all other concerns. As such, the fact that the Subject Property has a corner location only makes things worse; it only exacerbates the visual impact of the proposed building's incompatibility with the surrounding blocks and neighborhood.

B. <u>The Complete Lack of Front Setback Does Not Respect the Existing Block Pattern</u>

The Subject Property sits on the block with varied front setbacks. Under the RDGs, new development should act "as a transition between front setbacks of varying depths" in such circumstances. The proposed project at the Subject Property does exactly the opposite, completely matching the neighboring property (which has no setback) and extending the height to four stories, again with no setback. The result maximizes the size of the Subject Property, but results in a sheer wall at the property line, several stories tall, beginning at the neighboring home and wrapping all the way around the corner of Sussex Street. The effect will be to destroy any sense of pedestrian scale at the sidewalk level. The problem is exacerbated by the planned multi-story bay window, which will extend over the existing sidewalk on Diamond Street. In other words, the planned development is not set back, as the RDGs recommend, but would actively encroach on light and space at street level.

C. The Design and Placement of the Building Entrances Does Not Respect the Existing Block Pattern

The RDGs provide that construction should "respect the existing pattern of building entrances." The proposed construction at the Subject Property does not do this. Every home on this block of Diamond Street, except this one, has a front door on Diamond Street. The proposed construction at the Subject Property moves the existing door, and adds a garage, but then places the two on different streets. The effect at Diamond Street is inconsistent with the block pattern, and exacerbates the problems resulting from the lack of setback.

The RDGs further explain that building entrances should "appear welcoming and inviting to the pedestrian" through the use of various design elements establishing a transition zone between the sidewalk and the building. The proposed construction at the Subject Property does the opposite. At the Diamond Street side, the only entrance is a garage door, without so much as landscaping for relief. At the Sussex Street side, the "front door" is virtually flush with the property line, again maximizing space but providing none of the elements suggested by the RDGs. The "back door" enters a very small outside space framed by a concrete wall, with no exit to the street at all (without illegally trespassing across 2605 Diamond Street). This design entirely neglects the RDGs' concern for the connection between the home and the "public realm of street and sidewalk."

D. The Design Needlessly Eliminates a Street Parking Spot

The RDGs require that curb cuts be designed "to maximize the number and size of on-street parking spaces available to the public." The proposed construction at the Subject Property does the opposite. The combined curb in front of 2601 Diamond Street and 2605 Diamond Street (on the Diamond Street side) currently accommodates two cars. The proposed

construction at the Subject Property places a new curb cut squarely in the middle of this space, reducing two spots to none.

The curb cut as designed also crosses over the property line at 2605 Diamond Street, and into an existing tree well containing a permitted tree in front of 2605 Diamond Street. The applicant's permit materials inexplicably omit the existing tree entirely, despite his repeated promises to eliminate the encroachment and correct the omission. It may be that the existing, permitted street tree will make it nearly impossible for the occupants to turn into the garage from Diamond Street if it is constructed as designed.

E. <u>The Design Does Not Account for Light and Privacy</u>

Although some loss of light and privacy is to be expected with a building expansion, the RDGs may require reasonable design modifications to minimize such impacts. The proposed construction at the Subject Property does not do this. The adjacent property (2605 Diamond Street) has three permitted lot-line windows that will be blocked by the proposed construction. These windows exist because at the time of its construction, 2605 Diamond and the Subject Property had the same owner. Mr. Walls was aware of the windows when he purchased the building and even involved himself in the permitting process when they were replaced just two years ago (although he made no mention of his intention to block them shortly thereafter), and they are not subject to any limitation such as a lot-line window agreement.

Two of the existing windows will be completely blocked by the proposed construction, reducing available light. One of those windows is the only available outside light in the space it occupies. The Plans do create a matching light well for the third window, but

create a privacy issue in the process—the matching light well puts a new window staring directly into the bathroom at 2605 Diamond Street.[1]

F. Other Issues

Other issues with the proposed design include:

- Although the RDGs provide that garage structures should be recessed to avoid "blank, unattractive street frontage for pedestrians," this creates exactly the problem the RDGs are designed to avoid—there is literally nothing but a garage door at street level on Diamond Street.

- Although the RDGs require that the project uses "windows that contribute to the architectural character of the building and the neighborhood," this project places windows along the Sussex Street side that are irregularly sized and appear to be placed at random when viewed from the exterior of the building.

- The proposed location of the curb cut and garage are on a steep slope next to a mailbox and the bus stop for the #52 bus. This steep slope, combined with the curb cut could create hazardous conditions for individuals exiting the bus or trying to use the mailbox. In addition, a new driveway would further congest the corner.

- The current form of the building (one story, in a tadpole shape) evokes the building's history as a corner store, similar to 99 Surrey Street, which is

[1] The applicant has offered to frost that window, which reduces but does not eliminate the concerns about privacy there.

one block away from the Subject Property on Diamond Street. The building at 99 Surrey Street was converted into a home without sacrificing the original character of the building or disrupting the neighborhood character, as shown in the attached photos.

III. UNREASONABLE EFFECTS OF THE PROPOSED PROJECT

The unreasonable effects of the project are simple: the loss of neighborhood character through the addition of an unprecedented structure; the loss of attractiveness and quality of life in the neighborhood, and the loss of light and privacy for those in the adjacent property (2605 Diamond Street).

IV. PROPOSED CHANGES

The project should be at least one story shorter than it appears as designed; the resulting top floor should be set back to improve the experience from street level and address the uniformity of facades and setbacks between the Subject Property and 2605 Diamond Street; the garage door should be re-located to preserve street parking as required; the front door should be relocated to Diamond Street to match the existing block pattern (or at least recessed and redesigned to not be virtually flush with the sidewalk); the adjacent property line windows should be uniformly respected with light-wells.

Notably, these changes would result in a design consistent with other Planning Department decisions in the area. For example, the Commission recently accepted a Discretionary Review application for 2783K Diamond Street (about a block downhill from the Subject Property), a similarly small and unusually shaped property. The Commission ultimately required, among other things: 1) the removal of the top floor; 2) the addition of light-wells

around property line windows; 3) a revision to the deck cut-outs; and 4) additional review of the proposed curb-cuts. A similar result should prevail here.


99 Surrey St
STOP
STOP


99 Surrey St

Kyle Mach and Maureen Linch, owners of 2605 Diamond Street, submit this supplement in advance of the discretionary review hearing concerning 2601 Diamond Street.

The substance of our request for discretionary review is contained in the original application we submitted on August 21, 2018. We submit this supplement to address new arguments raised by the owner of 2601 Diamond Street in his response filed on September 14, 2018, and to attach additional renderings now available that were not available when we filed the original application.

I. The owner of 2601 Diamond concedes the unprecedented nature of the construction proposal.

In his response, the owner does not dispute one of the central bases for discretionary review: that the proposed construction results in more height per square foot than any other home in the city. Although he vaguely refers to "any number of older and new three-story residential buildings constructed as infill between buildings or as corner lot conditions," he has no specific example to validate this claim and, as far as we know, there is none.

Instead, the owner claims: 1) that 2605 Diamond Street is the appropriate home for comparison; and 2) that we are asking for the application of a floor area ratio standard where none exists. Both positions are incorrect.

Regarding 2605 Diamond Street, the owner emphasizes the comparison because he insists that both buildings contain the same number of stories. We do not claim to have detailed knowledge of the rules and regulations relevant to that determination from a *technical* perspective, but this is incorrect from the perspective of any common person on the street, as demonstrated by the renderings comparing the two homes from the front. (Exhibits A and B) From the rear, the comparison is more extreme, because the proposed building is just 13 feet wide—less than half the width of 2605 Diamond Street. (See Exhibit C) And ultimately, the numbers do not lie: the proposed building is both substantially taller than 2605 Diamond Street and contains significantly fewer square feet per floor than 2605 Diamond Street. This is the feature that makes the building so bizarrely out of character for the neighborhood.

Regarding the "floor area ratio" issue, the owner slays a straw man. A floor area ratio compares the size of a building with the size of the lot on which it sits. That is an issue here, but not the primary one. The principle issue, and the one raised by the residential design guidelines, is the height of the building when compared to its other dimensions. It is on those terms that the proposed building is incompatible with the guidelines and the character of the neighborhood.

II. The owner has no substantive response to much of the DR request.

Much of the owner's response to the DR request is hyperbole, rather than substantive defense of his proposal.

For example:

A. The owner parodies the neighbor's concerns as fear of "existential dread," but he does not address the fact that the proposed building defies the existing varied setback pattern of the block. Nor does he substantively address the concern that those at street level will experience a wrap-around sheer wall, several stories high, wrapping around Diamond Street to Sussex Street. There is no precedent for these conditions on either block face, and they created the "blank, unattractive street frontage for pedestrians" that is proscribed by the Residential Design Guidelines.

B. The owner undermines his own proposal by defending the placement of his front door and garage door. The owner insists that, although he is relocating the existing front door, he cannot place it on Diamond Street because it would create a "point of conflict" with users of the mailbox and the nearby bus stop. However, he cannot explain why his proposal to place an *active garage* in the same spot does not raise precisely the same problems, to a much greater degree. Of course, it does. He does not respond to that concern, raised in the request.

Nor can he defend the placement of his garage door (and the unnecessary elimination of a parking spot) with anything more than the argument that his proposal is most convenient *for the owner*. But the question is what building should be permitted in light of the neighborhood's character and the guidelines, not what must be allowed so that the owner can build precisely what he wants.

III. **The owner implies a false choice between the DR and a housing unit.**

The owner would have the Commission believe that it must choose between accepting the proposal as submitted, or losing the potential for a housing unit at this property. That is not correct. Were it not for the owner's total neglect of the property, the existing building could support a housing unit now. The only reason it does not is that the owner has opted to functionally abandon the property, rather than let a family live in it. And, of course, any number of less dramatic proposals could also increase the size of the existing structure and support a housing unit--but the owner refuses to consider anything less than his current proposal.

The owner also does not adequately address the comparisons to 99 Surrey Street or 2783K Diamond Street. These properties demonstrate that the project's scope is not necessary if the true purpose is to create a useful and attractive housing unit. The owner instead claims that 99 Surrey Street—which has been on that corner for more than 100 years—is a complete failure from "an urban design perspective." This position demonstrates either complete misunderstanding or complete disregard for the character of the neighborhood in which this project takes place.

Finally, the owner expresses great frustration that we have supposedly not offered specific modifications to the proposal that we would like to see. But this claim is not true. (See Exhibit D) The reality is that we offered many proposals before filing the application for discretionary review. Those proposals were uniformly dismissed by the owner. The only accommodation that owner genuinely offered—as opposed to merely

offering to "consider" the accommodation until the deadline for our appeal ran out—was a change to the color of the building (which we did not ask for and do not care about), and an offer to frost the glass of one window.

The owner certainly has a right to disagree with our proposals (that is why we are here, after all), but should stick to an accurate description of our conversations.


2605
2607


2605
2607


STOP
STOP

Gmail **Kyle Mach <kylemach@gmail.com>**

2601

Kyle Mach <kylemach@gmail.com> Sun, Aug 19, 2018 at 6:00 PM
To: tk@tkworkshop.com
Cc: Caliah <caliahmanson@gmail.com>, Christian Manson <christianmanson@gmail.com>, Maureen Linch <maureenlinch@gmail.com>

Hi Troy,

I want to engage in this discussion productively as I'm sure you do. If it would help, I would gladly hop on the phone to discuss again some of our differences. If progress could be made, we would all benefit. I certainly don't mean to inspire needless disagreement.

But I do not understand the claim that you do not understand our "ask." Among other things, we have asked that you consider relocating the door to Diamond Street; that you consider removing the top story; that you set back the top stories at the front, that you relocate the garage door to avoid the unnecessary destruction of a parking space; that you consider other alternate methods of addressing our fundamental concerns about the proportion of the building, etc etc. The response was, essentially uniformly, "no." If I am wrong about that, please tell me so that I can understand what you would propose to do next. But we may simply disagree, which is what it is.

You did offer to frost a window in the lightwell, which I appreciate. You have also offered to consider a slight tilt to the top of the front at the top story. That one doesn't do anything for us, even if you could get Mark on board. I do still appreciate the effort.

Please do call if you think it would help. 215-327-6175.

Thanks,

Kyle

PS--For clarity, I don't speak for Chris and Caliah and don't know their views on this.
[Quoted text hidden]



afalcembmhfohjbf.png
670K

RESPONSE TO

DISCRETIONARY REVIEW (DRP)

SAN FRANCISCO PLANNING DEPARTMENT
1650 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94103-2479
MAIN: (415) 558-6378 SFPLANNING.ORG

Project Information

Property Address: 2601 Diamond Street Zip Code: 94131

Building Permit Application(s): 2017.0725.2906

Record Number: 2017-009924DRP Assigned Planner: Veronica Flores

Project Sponsor

Name: Troy Kashanipour (Project Architect) Phone: (415) 431-0869

Email: tk@tkworkshop.com

Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

please see attached

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

please see attached

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explaination of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

please see attached

Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)	1	1
Occupied Stories (all levels with habitable rooms)	1	3
Basement Levels (may include garage or windowless storage rooms)	0	1
Parking Spaces (Off-Street)	0	1
Bedrooms	1	3
Height	16'-2"	31'-8"
Building Depth	39'-11"	33'-6"*
Rental Value (monthly)		
Property Value		

* building depth at addition, building depth at existing building remains unchanged

I attest that the above information is true to the best of my knowledge.

Signature:  **Date:** 9/14/20

Printed Name: Troy Kashanipour

☐ Property Owner
☑ Authorized Agent

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

1. **Given the concerns of the DR requester and other parties, why should the proposed project be approved:**

A. **<u>The Scale, Form, and Proportions of the Subject Property are entirely consistent with the neighborhood context and the Residential Design Guidelines.</u>**

The proposed building at 2601 Diamond fits well within the context of Diamond Street and within the larger context of Glen Park. The project height, scale, and massing is consistent with any number of older and new three-story residential buildings constructed as infill between buildings or as corner lot conditions.

The DR filer falsely claims that the building is four stories. The building is three stories with a below grade garage level meeting every definition of a basement. The most appropriate and similar example of a three story building constructed without setbacks is the DR filer own home at 2605 Diamond Street. The home is three stories at the corner condition at Diamond Street and just a little more than two stories relative the sidewalk grade as Sussex curves around the property at the rear.

The DR request calls the building at the rear façade a “tower”. Although the rear of the building is narrower than the front, it is effectively 13’ wide x 23’ high above sidewalk grade with much of the first story below sidewalk grade. This is not a tower-like condition represented by the DR filer.

The DR request states that the home should be smaller due to the up-sloping sloping topography. The home appropriately follows the line of the upsloping topography and is consistent with the Residential Design Guidelines.

The DR request also states that a three story home at this location will ruin the pedestrian scale of the sidewalk. Any number of existing three story homes on Diamond and Sussex do not create a sense of existential dread for pedestrians. A three story home as proposed fits well with in the immediate context.

The DR request uses the lot configuration as a justification for a reduction in building size. The buildable area of a non-angled lot could double the square footage proposed. There is no residential FAR requirement in the code nor has there been any proposal for Residential FAR. The small lot size and required setbacks automatically create a smaller home without an artificial imposition of FAR as the DR filer has proposed.

B. **<u>The location of the Entry Door on Sussex:</u>**

The Sussex street entry is consistent with the existing building entry location. At a corner lot condition, the entry can be at any location that is most suitable for the interior use of the home. It is a case where form follow function. The home and public is better served by locating the entry away from the existing Muni bus stop and mailbox location minimizing a point of conflict.

C. The Garage Door location

The DR filer takes exception to the Garage door location. The Garage door is located at the lowest point of the parcel so that parking may be effectively placed below grade. It cannot be located near the corner of Diamond and Sussex due to DPW restrictions, the existing bus stop, mail box and street signage. It cannot be located on Sussex as there is not adequate depth to ramp to the below grade area. The garage door location matches the garage door location on the DR filers own home on the southwest corner of the lot.

While it is true that the curb cut eliminates an on street parking space this is true of any curb cut.

The space between the driveway at 2601 and 2605 would also be suitable for Smartcar, motorcycle or scooter parking at approximately 11' in length.

The space remaining between the proposed garage door and the corner provides better safety to those waiting for Muni on the sidewalk as they would not need to walk around a parked vehicle to board the bus.

D. Light and Privacy:

The DR filer correctly states that two non-conforming lot line windows will be covered with the addition. An expansion of even a single story will cover these windows. The westernmost window is into a living space. This space is well served by ample glazing on the western façade. A second smaller window, which is approximately 2 square feet will be covered. The DR filer has not disclosed the use of the space behind the window but it may be a closet. The DR filer does have the option of providing a skylight if natural light in this space is important. Planning Department Policy, DBI, and the Board of Appeals have consistently held that property line windows are not protected except where they are the sole light source for a room required to have natural light in the building code and where natural light cannot be accommodated through other means. Neither of these conditions exist in this case. An SRO room with a single property line window is an example of a window that might be protected.

E. Other issues: Neighborhood context and Corner Buildings

The DR filer cites 99 Surrey as an example of the building he would like to see as a renovated one-story building. From an urban design perspective, 99 Surrey is a good example of a location where a taller building is appropriate. It could be expanded in a way that creates strong corner that defines and well articulates the street geometry. In this case the midblock buildings are larger. Having a strong anchor at the corner would be supported from an urban design perspective and in the Residential Design Guidelines.

2. What alternatives or changes to the project are you willing to make in order to address the concerns of the DR requester and other concerned parties?

Proposals and discussion have included:

- Modification of fenestration at the Diamond Street façade
- An angle or canted wall at the 3rd floor on Diamond Street to reduce the volume.
- Further articulation of the bay.
- Modifications to windows on the Sussex Street façade for privacy concern.

- Frost or relocate windows on the lightwell in response to privacy concern at the DR requestor's bathroom window.

Prior to the DR, we have repeatedly asked the DR filers for specific modifications that they would like to see. Other than a general request to redesign the building (which would significantly impact the functional program of the home), there have been no articulation of specific changes other than the removal of the 3rd floor and other changes that do not work with the functional requirements of the home. Removal of the 3rd floor does not meet the Owner's program.

In the DR package, the DR filer has not only requested that the 3rd floor be eliminated, but that the 2nd floor be required to have a setback. There is nothing in the code or Residential Design Guidelines that would support this modification. This request is both arbitrary and unreasonable.

The project sponsor remains willing to work with Planning Staff and DR filers to consider:

- Additional articulation and modulation of the Diamond Street Façade if it preserves interior functions and improves overall design.
- Modification to fenestration at the Sussex Façade if this will provide a functional benefit to neighbors or an improved façade composition.
- Location and treatment of the single window placed on the matching lightwell to minimize site lines between properties**.**

3. **The project will not have an adverse impact on the surrounding properties.**

   The proposed three-story home would not have an adverse impact on adjacent properties because it fits in context with the larger neighborhood.

   The building height is proportional the length of facades on Diamond and Sussex.

   There has been no demonstration of disproportionate impacts on adjoining properties. Nor has there been any demonstration of extraordinary circumstances which create impacts that would not be created by construction of any code-conforming three-story home at a corner lot condition.

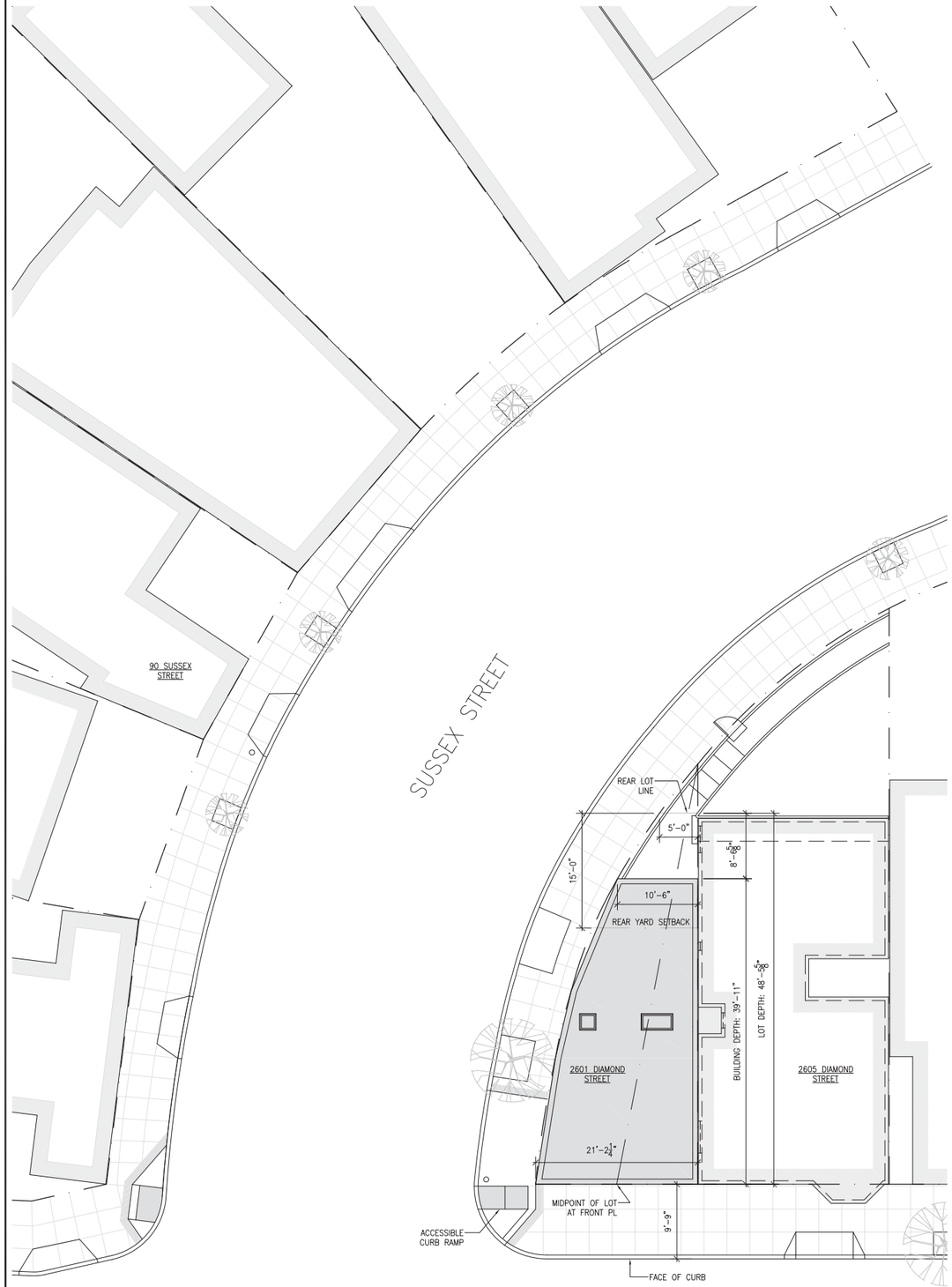
   The Planning Code specifically address setbacks on parcels of this shape making the addition at this parcel neither exceptional nor extraordinary.

   The reductions proposed by the DR filer would prevent the use of the enlarged building as a family sized home. Relocation of the garage door would not allow the home to have a parking space below grade thus preserving ground floor space for interior use. Relocation of the entry door would provide an efficient floor plan and create a long hallway from Diamond Street.

Summary

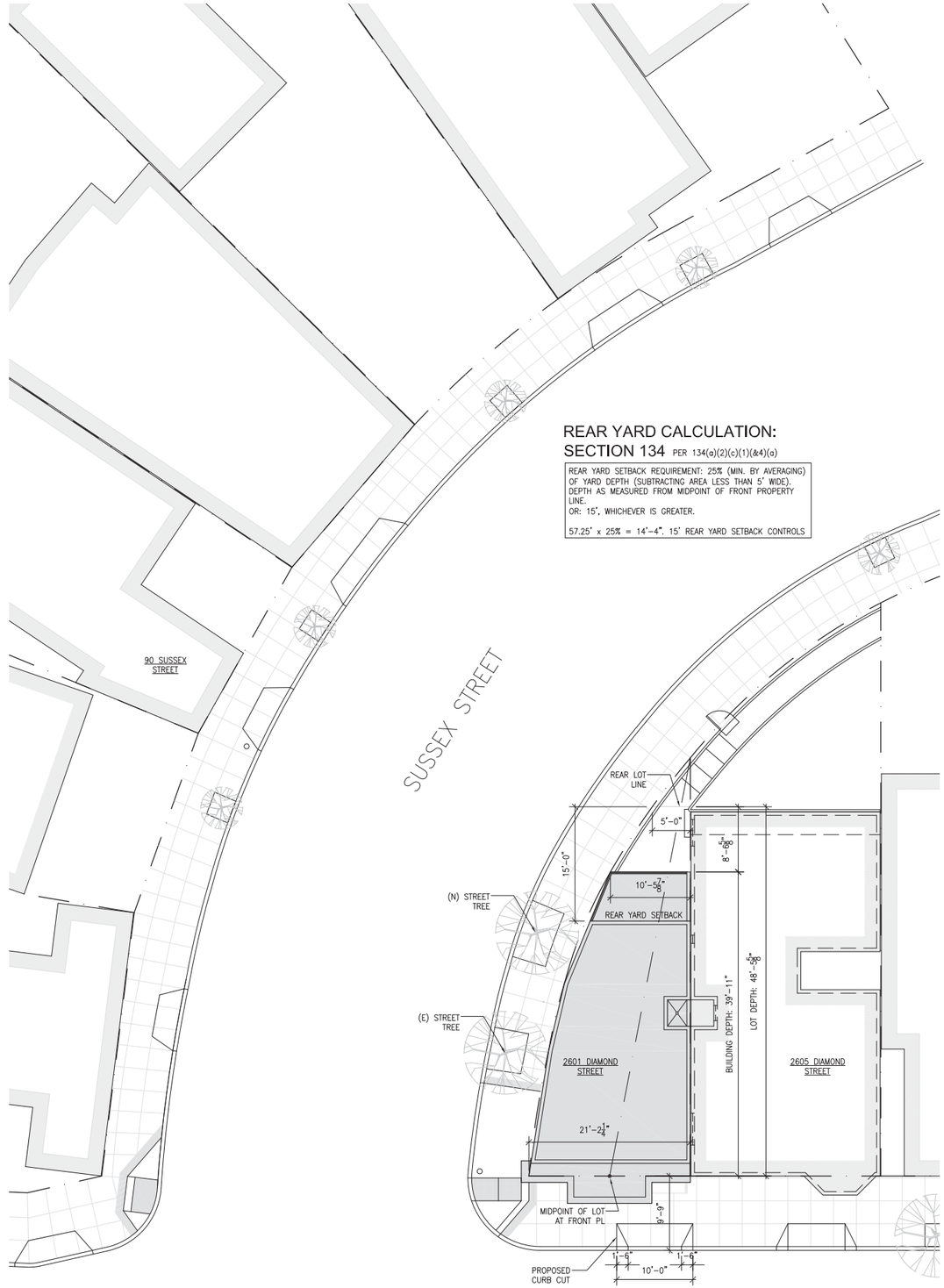
2601 Diamond is a strong anchor to the block and is consistent with adjacent three story homes. A three story home at this location preserves neighborhood character and provides a family sized home without undue impacts on adjacent properties. Approval of this code conforming home, designed without need for Variances, will provide one more family sized home, three blocks from BART, in a region that desperately needs housing.

The preface of Housing Element of the General Plan states that "law requires local governments plan for their existing and projected housing need, by providing opportunities for housing development, rather than constraining opportunities". The project creates housing in a way that is sensitive to the context. It creates housing which is efficiently sized and appropriate to families preserving the diversity of the community.



1 EXISTING SITE PLAN

SCALE: 1/8"= 1'-0"



2 PROPOSED SITE PLAN

SCALE: 1/8"= 1'-0"

REAR YARD CALCULATION:
SECTION 134 PER 134(a)(2)(c)(1)(&4)(a)

REAR YARD SETBACK REQUIREMENT: 25% (MIN. BY AVERAGING) OF YARD DEPTH (SUBTRACTING AREA LESS THAN 5' WIDE), DEPTH AS MEASURED FROM MIDPOINT OF FRONT PROPERTY LINE.
OR: 15', WHICHEVER IS GREATER.

57.25' x 25% = 14'-4". 15' REAR YARD SETBACK CONTROLS

2017 0725 2906 SR-

2601 DIAMOND STREET

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MJMSKALLS@ATT.NET

ISSUE:	DATE:
PRE-APPLICATION MEETING	07.13.17
ISSUED FOR PERMIT	07.21.17
RTD COMMENTS	04.27.18
NOPDR #2	06.13.18

CONSULTANT

APPROVAL

LICENSED ARCHITECT TROY KASHANIPOUR C 27646 REN. 6/30/2019 STATE OF CALIFORNIA

DRAWN: SC

CHECKED: TK

SCALE: 1/4" = 1'-0"

EXISTING & PROPOSED SITE PLANS

A0.1



EXISTING SOUTHWEST STREET VIEW



PROPOSED SOUTHWEST STREET VIEW



EXISTING NORTHWEST STREET VIEW



PROPOSED NORTHWEST STREET VIEW



EXISTING VIEW FROM NEIGHBOR'S WINDOW AT 90 SUSSEX STREET



PROPOSED VIEW FROM NEIGHBOR'S WINDOW AT 90 SUSSEX STREET

2601 DIAMOND STREET

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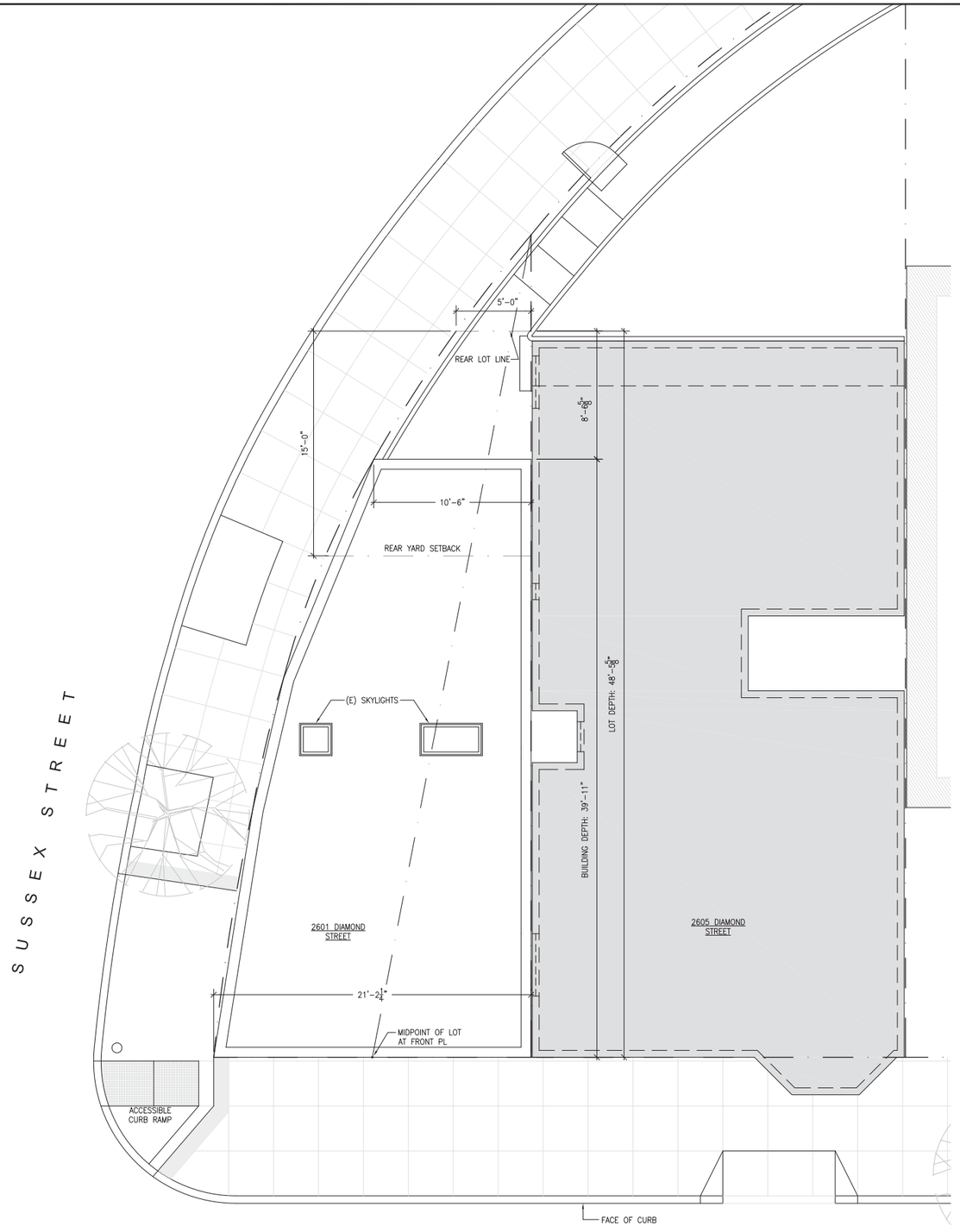
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C 27646
REN. 6/30/2019
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SCALE: 1/4" = 1'-0"

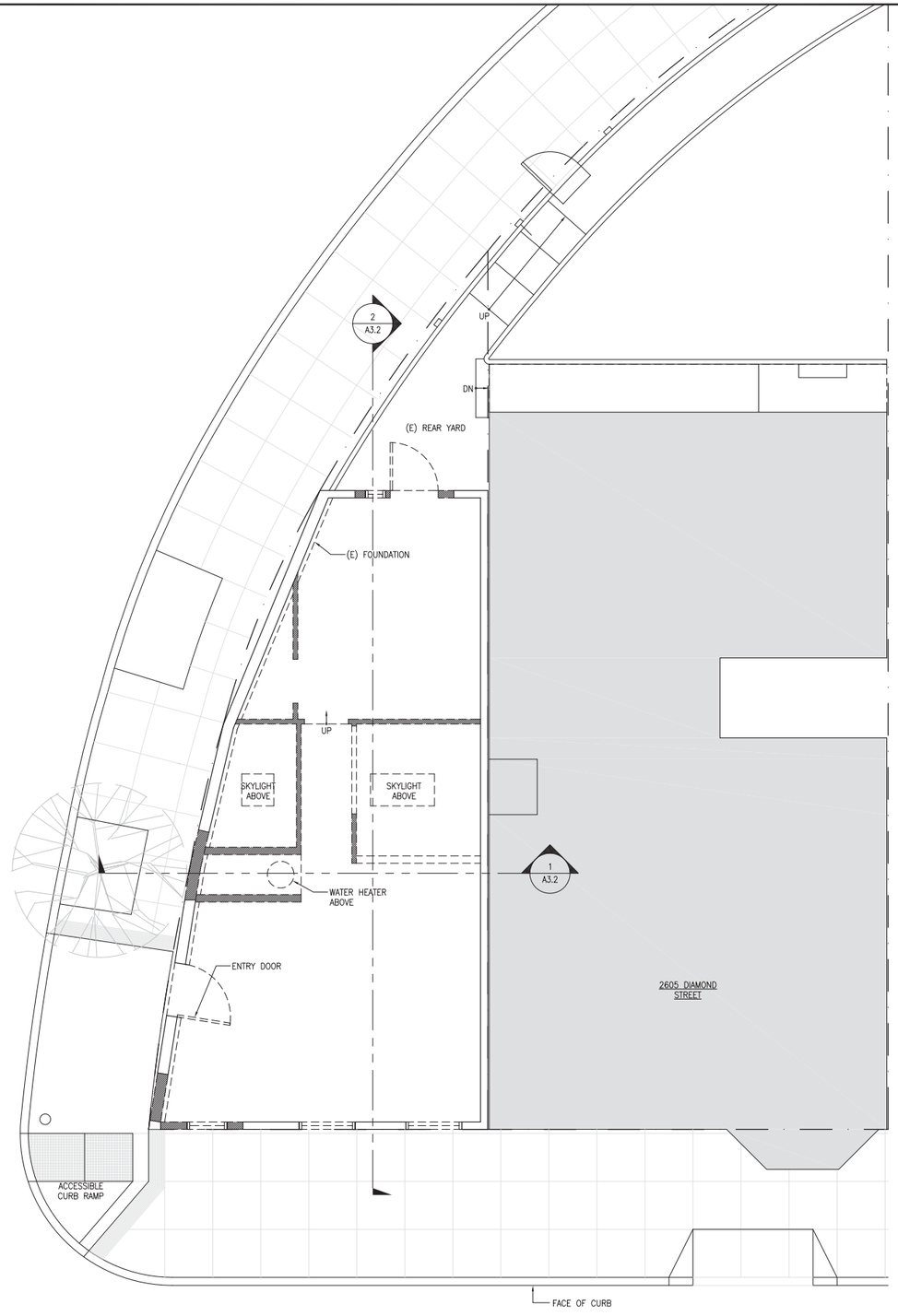
EXISTING & PROPOSED BUILDING VIEWS

A0.3



1 EXISTING ROOF PLAN

SCALE: 1/4"= 1'-0"



2 EXISTING FIRST FLOOR PLAN

SCALE: 1/4"= 1'-0"

N

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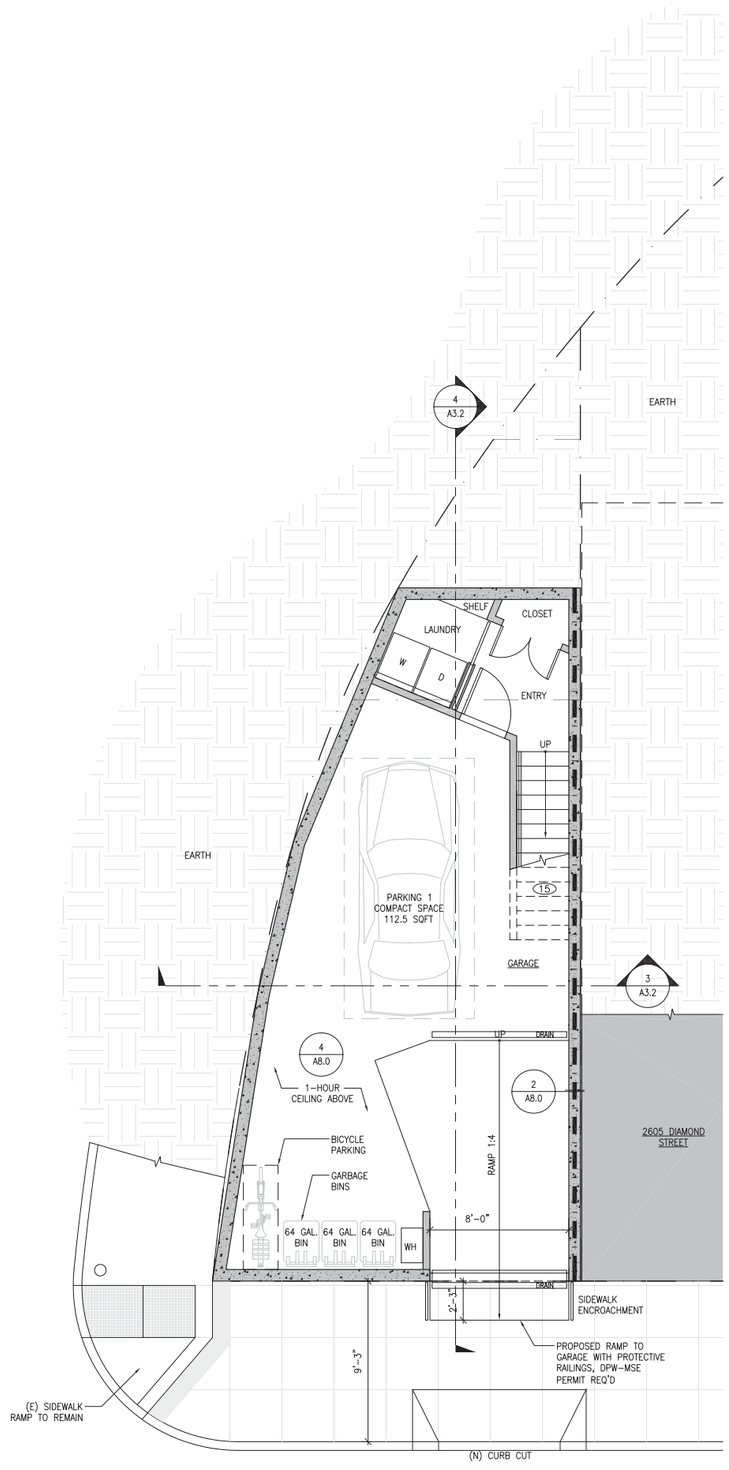
DRAWN: SC

CHECKED: TK

SCALE: 1/4" = 1'-0"

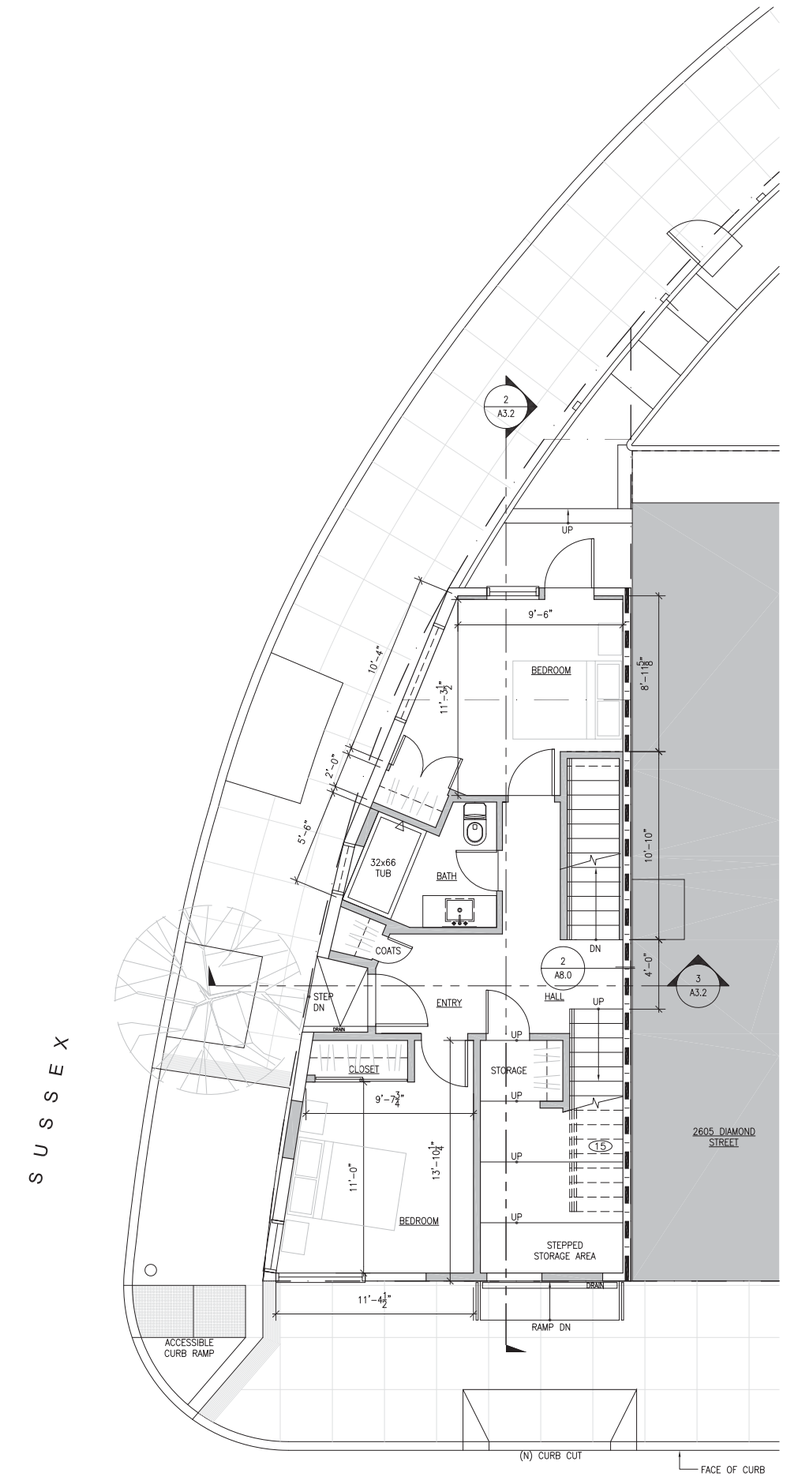
EXISTING FIRST FLOOR PLAN
EXISTING ROOF PLAN

A1.0



1 PROPOSED BASEMENT PLAN

SCALE: 1/4"= 1'-0"



SUSSEX

DIAMOND STREET

2 PROPOSED FIRST FLOOR PLAN

SCALE: 1/4"= 1'-0"

KEYNOTES:

1. ENVIRONMENTAL AIR DUCTS (TOILET, LAUNDRY, AND KITCHEN EXHAUST) SHALL TERMINATE 3'-0" MIN. FROM PROPERTY LINES AND BUILDING OPENINGS PER CMC 502.2.1 AND PROVIDE WITH BACK-DRAFT DAMPERS PER CMC 504.1.1 EXHAUST SHALL NOT DISCHARGE ONTO A PUBLIC WALKWAY. PROVIDE SOLID BACKING FOR ALL WALL MOUNTED FIXTURES, CABINETRY AND APPLIANCES. G.C. TO COORDINATE LOCATION.
2. MAINTAIN RATED SEPARATION BETWEEN DWELLING UNITS PER CBC 420.3 (HORIZONTAL) AND CBC 420.2 (SEPARATION WALLS). PENETRATIONS THROUGH HORIZONTAL ASSEMBLIES SHALL COMPLY WITH CBC 717.6.
3. (N) WINDOW. MINIMUM U-VALUE PER TITLE 24 REQUIREMENTS TABLE 116A AND S.H.G.C. PER TABLE 116B, U MAX=0.32 AND REQUIREMENTS OF TITLE 24 CALCULATIONS.
4. WINDOW TO MEET REQUIREMENTS FOR RESCUE WINDOW: 20" CLEAR WIDTH, 24" CLEAR HEIGHT, 5.7 SQ. FT. MIN. 44" A.F.F.
5. PROVIDE A MIN. 200 SQUARE INCH VENTILATION OUTLET IN THE GARAGE WALLS OR EXTERIOR DOORS PER SFBC 406.3.7.
6. PROVIDE MOISTURE RESISTANT GYP BOARD AT BATHROOM WALLS AND SOFFIT, PRIMED AND PAINTED PER OWNER SELECTION. PROVIDE CEMENTITIOUS BACKING BOARD WHERE REQ'D FOR TILE INSTALLATION. ASSEMBLIES PER TILE COUNCIL OF AMERICA STANDARD DETAILS.
7. (N) GLASS IN DOORS SHALL BE SAFETY GLAZING PER CBC 2406. WINDOWS WITHIN 24" OF DOOR SHALL BE SAFETY GLAZING PER CBC 2406.3
8. EXHAUST FAN TO PROVIDE MIN. 5 AIR CHANGES PER HOUR AND PER REQUIREMENTS OF TABLE 403.7 AND SOURCE OF MAKE-UP AIR. MECHANICAL CONTRACTOR TO SIZE AND SUBMIT CUTSHEET FOR APPROVAL PRIOR TO INSTALLATION (50 CFM MIN.).
9. HARDWIRED SMOKE ALARM WITH BATTERY BACKUP. ALL NEW SMOKE ALARMS TO COMPLY WITH CBC SECTIONS: 907.2.10.1.2 FOR LOCATION, 907.2.10.2 TO BE HARD-WIRED WITH BATTERY BACKUP, 907.2.10.3 FOR INTERCONNECTION.
10. PROVIDE CA STATE FIRE MARSHALL APPROVED CARBON MONOXIDE ALARM OUTSIDE OF EACH SLEEPING AREA AND ON EACH LEVEL. ALARMS TO BE HARDWIRED WITH BATTERY BACKUP. MAY BE COMBINED SMOKE/CARBON MONOXIDE ALARM.
11. DIRECT VENT APPLIANCES SHALL BE VENTED ACCORDING TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SHALL COMPLY WITH CMC 802.2.4 & SFMC 802.2.4
GAS VENT TERMINATION PER CMC 802.6. & SFMC 802.6.2
THROUGH WALL VENT TERMINATION PER SFMC 802.8
12. STEEL DUCTS NOT LESS THAN 0.019 IN. IN DUCT THICKNESS AND NO OPENINGS IN GARAGE PER CBC 406.3.4.3
13. PROVIDE COMBUSTION AIR OPENING FROM OUTSIDE FOR FURNACES AND WATER HEATERS PER CMC 701.10(3), 701.10(6), CMC 701.10(7) AND ALL OTHER APPLICABLE CODES. COMBUSTION AIR SHALL MEET THE REQUIREMENTS OF CMC CHAPTER 7.
14. WASHER/DRYER. PROVIDE UTILITY CONNECTION BOX WITH 2-125V AND 1-250V OUTLETS. EXHAUST SHALL BE A MIN. OF 4" ø DUCT, TERMINATE TO THE OUTSIDE OF THE BUILDING 3' FROM ANY OPENING OR PL PER CMC 504.5, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER, AND MEET THE REQUIREMENTS OF CMC 504.4. PROVIDE 100 SQ.IN. MIN. MAKE-UP AIR OPENING FOR DOMESTIC DRYERS.
15. 1-HR FIRE RATED CEILING UNDER STAIR.
16. AN ARC-FAULT CIRCUIT INTERRUPTER SHALL PROTECT ALL RECEPTACLES IN DWELLING AREAS WITH BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE 15 AND 20-AMPERE RECEPTACLE OUTLETS. 2013 CEC SECTION 210-12(b). ARC FAULT CIRCUIT INTERRUPTER REQUIREMENTS:
    - THE BEDROOM BRANCH CIRCUIT(S) SHALL BE RUN SEPARATELY FROM ALL OTHER BRANCH CIRCUITS. THE RACEWAYS OR CABLE ASSEMBLIES SHALL NOT TERMINATE INTO ANY JUNCTION BOX (OTHER THAN THE PANEL BOARD) WHERE OTHER CIRCUIT CONDUCTORS ARE LOCATED.
    - THE BEDROOM BRANCH CIRCUIT CONDUCTORS SHALL BE PERMANENTLY IDENTIFIED AT THE POINT OF ENTRY TO THE PANEL BOARD.
    - THE AFCI BREAKER SHALL BE A LISTED AND APPROVED DEVICE INSTALLED IN AN APPROVED PANEL BOARD IN ACCORDANCE WITH ITS LISTING.
    - OTHER OUTLETS WITHIN THE DWELLING UNIT MAY BE CONNECT TO THE AFCI PROTECTED BRANCH CIRCUIT; HOWEVER, THE SAME WIRING METHODS AS REQUIRED ABOVE FOR BEDROOMS SHALL BE USED.
17. PROVIDE R-13 INSULATION AT 2x4 WALLS, R-19 AT 2x6 WALLS AND INSULATION UNDER FLOOR, R-30 INSULATION AT ROOF OR AS REQUIRED BY TITLE 24 ENERGY CALCULATIONS.
18. DOMESTIC RANGE AND COOK TOP UNIT INSTALLATION PER MFR.'S INSTRUCTIONS AND VENTS SHALL MEET REQUIREMENTS OF CMC 504.3 AND COMPLY WITH CMC TABLE 403.7.
19. SMOOTH FINISH AT ALL GYPBOARD WALL AND SOFFIT TYPICAL. FINISH TO MATCH #4 FINISH, NO ORANGE PEEL, NO TEXTURE. TYP ALL FINISHES.
20. ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING PER CBC 1204.1
21. RADIATOR PANEL LOCATIONS TO BE CONFIRMED ON SITE WITH OWNER, G.C. DESIGN BUILD SYSTEM, & G.C. & PLUMBING CONTRACTOR.

LIGHTING ENERGY REQUIREMENTS:

LIGHTING PER CEC 150.0(k) AND CEC TABLE 150.0-A

150.0(k)1A: LUMINAIRE EFFICACY. ALL INSTALLED LUMINAIRES MUST BE HIGH EFFICACY IN ACCORDANCE WITH CEC TABLE 150.0-A.

150.0(k)1C: RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS. LUMINAIRES RECESSED INTO CEILINGS MUST MEET ALL OF THE REQUIREMENTS FOR INSULATION CONTACT (IC) LABELING; AIRE LEAKAGE; SEALING; MAINTENANCE; AND SOCKET AND LIGHT SOURCE AS DESCRIBED IN 150.0(k)1C. A JA8-2016-E LIGHT SOURCE RATED FOR ELEVATED TEMPERATURE MUST BE INSTALLED BY FINAL INSPECTION IN ALL RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS.

150.0(k)2A-2L: INTERIOR SWITCHES AND CONTROLS. EXHAUST FANS MUST BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS. LUMINAIRES MUST BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF. CONTROLS AND EQUIPMENT MUST BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. NO CONTROL MUST BYPASS A DIMMER OR VACANCY SENSOR FUNCTION IF THE CONTROL IN INSTALLED TO COMPLY WITH 150.0(k).

IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES MUST BE CONTROLLED BY A VACANCY SENSOR. DIMMERS OR VACANCY SENSORS MUST CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8, EXCEPT LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET AND LUMINAIRES IN HALLWAYS. UNDERCABINET LIGHTING MUST BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.

150.0(k)3A-3D: RESIDENTIAL OUTDOOR LIGHTING. FOR SINGLE-FAMILY RESIDENTIAL BUILDINGS, OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING, OR TO OTHER BUILDINGS ON THE SAME LOT, MUST MEET THE REQUIREMENT IN ITEM 150.0(k)3Ai (ON AND OFF SWITCH) AND THE REQUIREMENTS IN EITHER ITEM 150.0(k)3Aii (PHOTOCELL AND MOTION SENSOR) OR ITEM 150.0(k)3Aiii (PHOTO CONTROL AND AUTOMATIC TIME SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR EMCS).

FOR LOW-RISE MULTIFAMILY RESIDENTIAL BUILDINGS, OUTDOOR LIGHTING FOR PRIVATE PATIOS, ENTRANCES, BALCONIES, AND PORCHES; AND OUTDOOR LIGHTING FOR RESIDENTIAL PARKING LOTS AND RESIDENTIAL CARPORTS WITH LESS THAN EIGHT VEHICLES PER SITE MUST COMPLY WITH EITHER 150.0(k)3A OR WITH THE APPLICABLE REQUIREMENTS IN 110.9, 130.2, 130.4, 140.7 AND 141.0.

FOR LOW-RISE RESIDENTIAL BUILDINGS WITH FOUR OR MORE DWELLING UNITS, OUTDOOR LIGHTING NOT REGULATED BY 150.0(k)3B OR 150.0(k)3D MUST COMPLY WITH THE APPLICABLE REQUIREMENTS IN 10.9, 130.2, 130.4, 140.7 AND 141.0.

150.0(k)6A-6B: INTERIOR COMMON AREAS OF LOW-RISE MULTI-FAMILY RESIDENTIAL BUILDINGS. WHERE THE TOTAL INTERIOR COMMON AREA IN A SINGLE BUILDING EQUALS 20% OR LESS OF THE FLOOR AREA, PERMANENTLY INSTALLED LIGHTING FOR THE INTERIOR COMMON AREAS IN THAT BUILDING MUST BE HIGH EFFIFACY LUMINAIRS AND CONTROLLED BY AN OCCUPANT SENSOR. WHERE THE TOTAL INTERIOR COMMON AREA IN A SINGLE BUILDING EQUALS MORE THAN 20% OF THE FLOOR AREA, PERMANENTLY INSTALLED LIGHTING IN THAT BUILDING MUST
i. COMPLY WITH THE APPLICABLE REQUIREMENTS IN 110.9, 130.0, 130.1, 140.6 AND 141.0; AND
ii. LIGHTING INSTALLED IN CORRIDORS AND STAIRWELLS MUST BE CONTROLLED BY OCCUPANT SENSORS THAT REDUCE THE LIGHTING POWER IN EACH SPACE BY AT LEAST 50%. THE OCCUPANT SENSORS MUST BE CAPABLE OF TURNING THE LIGHT FULLY ON AND OFF FROM ALL DESIGNED PATHS OF INGRESS AND EGRESS.

DRAWING LEGEND:

EXISTING WALLS

NEW WALL

1-HR RATED WALL

GRAPHIC SCALE

2 5 10

N

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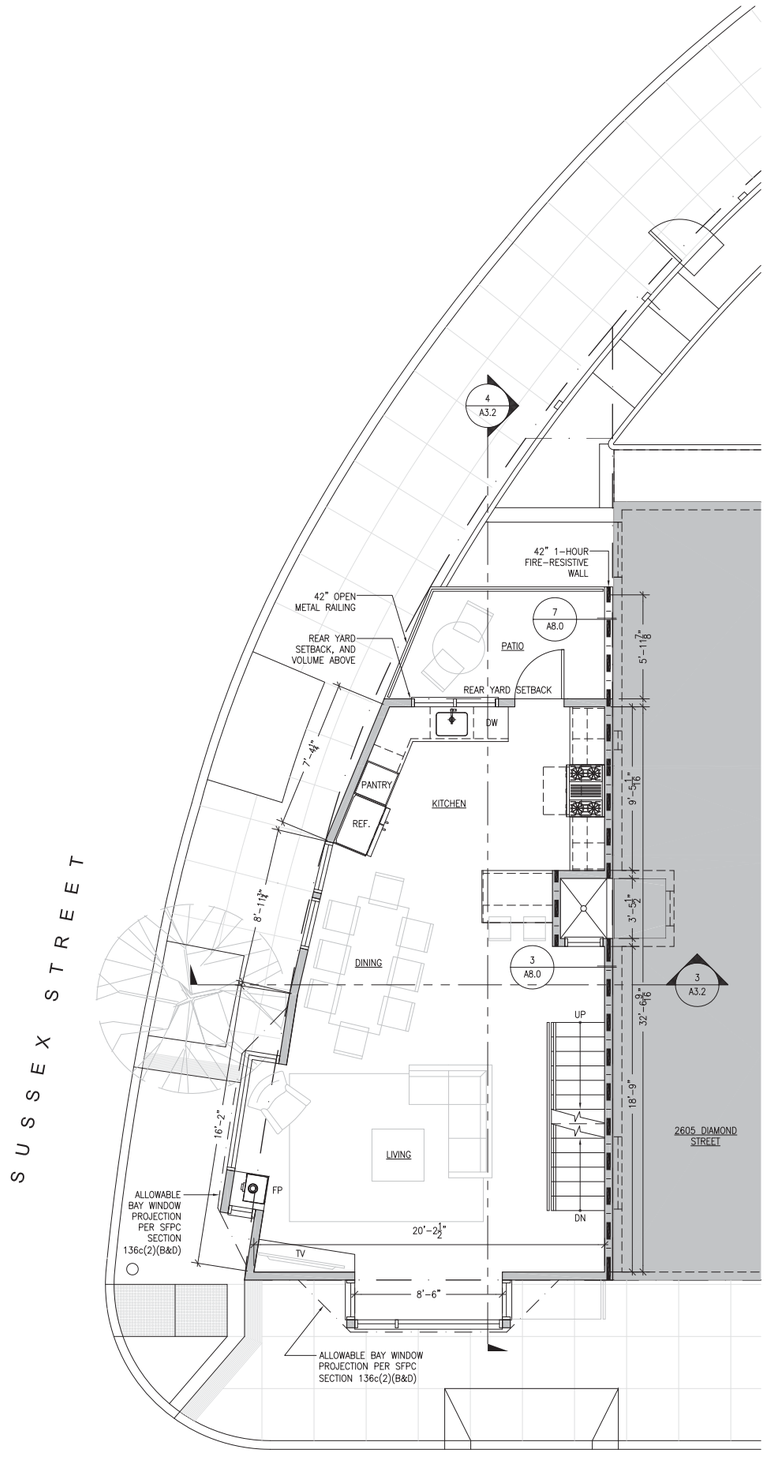
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SCALE: 1/4" = 1'-0"

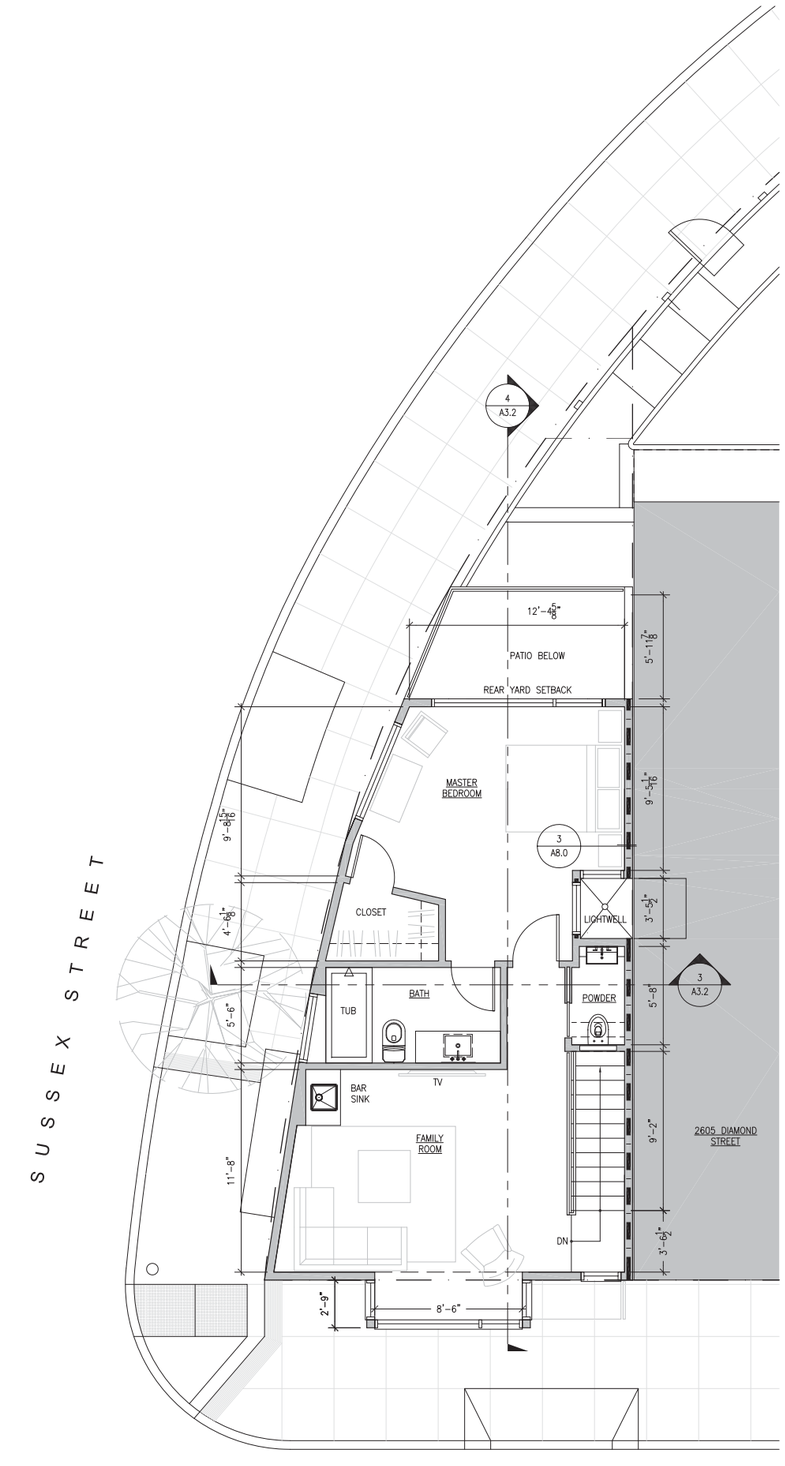
PROPOSED FLOOR PLANS

A2.0



1 PROPOSED SECOND FLOOR PLAN

SCALE: 1/4"= 1'-0"



2 PROPOSED THIRD FLOOR PLAN

SCALE: 1/4"= 1'-0"

KEYNOTES:

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2. MAINTAIN RATED SEPARATION BETWEEN DWELLING UNITS PER CBC 420.3 (HORIZONTAL) AND CBC 420.2 (SEPARATION WALLS). PENETRATIONS THROUGH HORIZONTAL ASSEMBLIES SHALL COMPLY WITH CBC 717.6.
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7. (N) GLASS IN DOORS SHALL BE SAFETY GLAZING PER CBC 2406. WINDOWS WITHIN 24" OF DOOR SHALL BE SAFETY GLAZING PER CBC 2406.3
8. EXHAUST FAN TO PROVIDE MIN. 5 AIR CHANGES PER HOUR AND PER REQUIREMENTS OF TABLE 403.7 AND SOURCE OF MAKE-UP AIR. MECHANICAL CONTRACTOR TO SIZE AND SUBMIT CUTSHEET FOR APPROVAL PRIOR TO INSTALLATION (50 CFM MIN.).
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11. DIRECT VENT APPLIANCES SHALL BE VENTED ACCORDING TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SHALL COMPLY WITH CMC 802.2.4 & SFMC 802.2.4
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14. WASHER/DRYER. PROVIDE UTILITY CONNECTION BOX WITH 2-125V AND 1-250V OUTLETS. EXHAUST SHALL BE A MIN. OF 4" ø DUCT, TERMINATE TO THE OUTSIDE OF THE BUILDING 3' FROM ANY OPENING OR PL PER CMC 504.5, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER, AND MEET THE REQUIREMENTS OF CMC 504.4. PROVIDE 100 SQ.IN. MIN. MAKE-UP AIR OPENING FOR DOMESTIC DRYERS.
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    - THE BEDROOM BRANCH CIRCUIT CONDUCTORS SHALL BE PERMANENTLY IDENTIFIED AT THE POINT OF ENTRY TO THE PANEL BOARD.
    - THE AFCI BREAKER SHALL BE A LISTED AND APPROVED DEVICE INSTALLED IN AN APPROVED PANEL BOARD IN ACCORDANCE WITH ITS LISTING.
    - OTHER OUTLETS WITHIN THE DWELLING UNIT MAY BE CONNECT TO THE AFCI PROTECTED BRANCH CIRCUIT; HOWEVER, THE SAME WIRING METHODS AS REQUIRED ABOVE FOR BEDROOMS SHALL BE USED.
17. PROVIDE R-13 INSULATION AT 2x4 WALLS, R-19 AT 2x6 WALLS AND INSULATION UNDER FLOOR, R-30 INSULATION AT ROOF OR AS REQUIRED BY TITLE 24 ENERGY CALCULATIONS.
18. DOMESTIC RANGE AND COOK TOP UNIT INSTALLATION PER MFR.'S INSTRUCTIONS AND VENTS SHALL MEET REQUIREMENTS OF CMC 504.3 AND COMPLY WITH CMC TABLE 403.7.
19. SMOOTH FINISH AT ALL GYPBOARD WALL AND SOFFIT TYPICAL. FINISH TO MATCH #4 FINISH, NO ORANGE PEEL, NO TEXTURE. TYP ALL FINISHES.
20. ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING PER CBC 1204.1
21. RADIATOR PANEL LOCATIONS TO BE CONFIRMED ON SITE WITH OWNER, G.C. DESIGN BUILD SYSTEM, & G.C. & PLUMBING CONTRACTOR.

LIGHTING ENERGY REQUIREMENTS:

LIGHTING PER CEC 150.0(k) AND CEC TABLE 150.0-A

150.0(k)1A: LUMINAIRE EFFICACY. ALL INSTALLED LUMINAIRES MUST BE HIGH EFFICACY IN ACCORDANCE WITH CEC TABLE 150.0-A.

150.0(k)1C: RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS. LUMINAIRES RECESSED INTO CEILINGS MUST MEET ALL OF THE REQUIREMENTS FOR INSULATION CONTACT (IC) LABELING; AIRE LEAKAGE; SEALING; MAINTENANCE; AND SOCKET AND LIGHT SOURCE AS DESCRIBED IN 150.0(k)1C. A JA8-2016-E LIGHT SOURCE RATED FOR ELEVATED TEMPERATURE MUST BE INSTALLED BY FINAL INSPECTION IN ALL RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS.

150.0(k)2A-2L: INTERIOR SWITCHES AND CONTROLS. EXHAUST FANS MUST BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS. LUMINAIRES MUST BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF. CONTROLS AND EQUIPMENT MUST BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. NO CONTROL MUST BYPASS A DIMMER OR VACANCY SENSOR FUNCTION IF THE CONTROL IN INSTALLED TO COMPLY WITH 150.0(k).

IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES MUST BE CONTROLLED BY A VACANCY SENSOR. DIMMERS OR VACANCY SENSORS MUST CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8, EXCEPT LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET AND LUMINAIRES IN HALLWAYS. UNDERCABINET LIGHTING MUST BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.

150.0(k)3A-3D: RESIDENTIAL OUTDOOR LIGHTING. FOR SINGLE-FAMILY RESIDENTIAL BUILDINGS, OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING, OR TO OTHER BUILDINGS ON THE SAME LOT, MUST MEET THE REQUIREMENT IN ITEM 150.0(k)3Ai (ON AND OFF SWITCH) AND THE REQUIREMENTS IN EITHER ITEM 150.0(k)3Aii (PHOTOCELL AND MOTION SENSOR) OR ITEM 150.0(k)3Aiii (PHOTO CONTROL AND AUTOMATIC TIME SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR EMCS).

FOR LOW-RISE MULTIFAMILY RESIDENTIAL BUILDINGS, OUTDOOR LIGHTING FOR PRIVATE PATIOS, ENTRANCES, BALCONIES, AND PORCHES; AND OUTDOOR LIGHTING FOR RESIDENTIAL PARKING LOTS AND RESIDENTIAL CARPORTS WITH LESS THAN EIGHT VEHICLES PER SITE MUST COMPLY WITH EITHER 150.0(k)3A OR WITH THE APPLICABLE REQUIREMENTS IN 110.9, 130.2, 130.4, 140.7 AND 141.0.

FOR LOW-RISE RESIDENTIAL BUILDINGS WITH FOUR OR MORE DWELLING UNITS, OUTDOOR LIGHTING NOT REGULATED BY 150.0(k)3B OR 150.0(k)3D MUST COMPLY WITH THE APPLICABLE REQUIREMENTS IN 10.9, 130.2, 130.4, 140.7 AND 141.0.

150.0(k)6A-6B: INTERIOR COMMON AREAS OF LOW-RISE MULTI-FAMILY RESIDENTIAL BUILDINGS. WHERE THE TOTAL INTERIOR COMMON AREA IN A SINGLE BUILDING EQUALS 20% OR LESS OF THE FLOOR AREA, PERMANENTLY INSTALLED LIGHTING FOR THE INTERIOR COMMON AREAS IN THAT BUILDING MUST BE HIGH EFFIFACY LUMINAIRS AND CONTROLLED BY AN OCCUPANT SENSOR. WHERE THE TOTAL INTERIOR COMMON AREA IN A SINGLE BUILDING EQUALS MORE THAN 20% OF THE FLOOR AREA, PERMANENTLY INSTALLED LIGHTING IN THAT BUILDING MUST
i. COMPLY WITH THE APPLICABLE REQUIREMENTS IN 110.9, 130.0, 130.1, 140.6 AND 141.0; AND
ii. LIGHTING INSTALLED IN CORRIDORS AND STAIRWELLS MUST BE CONTROLLED BY OCCUPANT SENSORS THAT REDUCE THE LIGHTING POWER IN EACH SPACE BY AT LEAST 50%. THE OCCUPANT SENSORS MUST BE CAPABLE OF TURNING THE LIGHT FULLY ON AND OFF FROM ALL DESIGNED PATHS OF INGRESS AND EGRESS.

DRAWING LEGEND:

EXISTING WALLS

NEW WALL

1-HR RATED WALL

GRAPHIC SCALE

2 5 10

N

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2601 DIAMOND STREET

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ISSUE:	DATE:
PRE-APPLICATION MEETING	07.13.2017
ISSUED FOR PERMIT	07.21.2017
RTD COMMENTS	04.27.2018
NOPDR #2	06.13.2018

CONSULTANT

APPROVAL

LICENSED ARCHITECT TROY KASHANIPOUR C 27646 REN. 6/30/2019 STATE OF CALIFORNIA

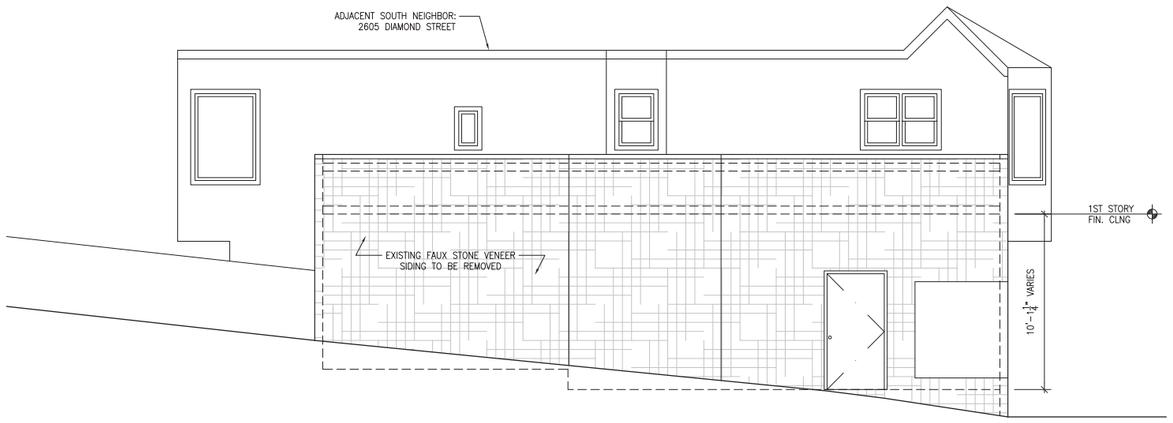
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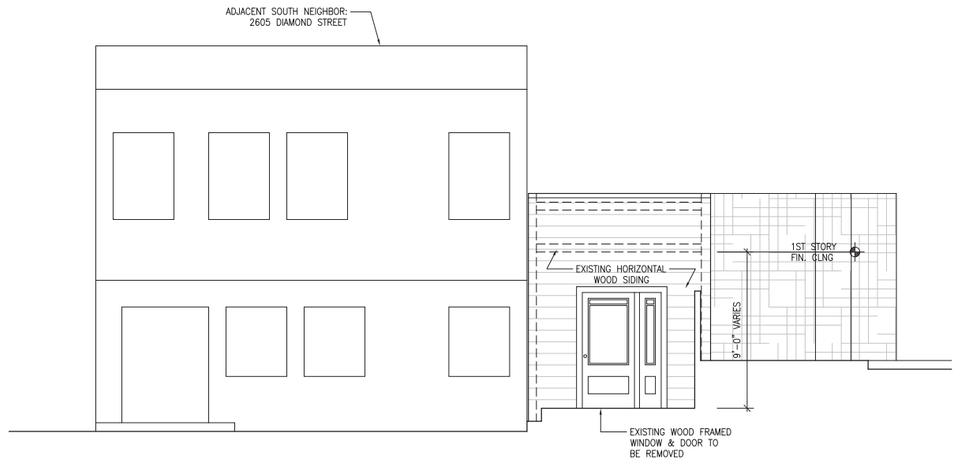
PROPOSED FLOOR PLANS

A2.1



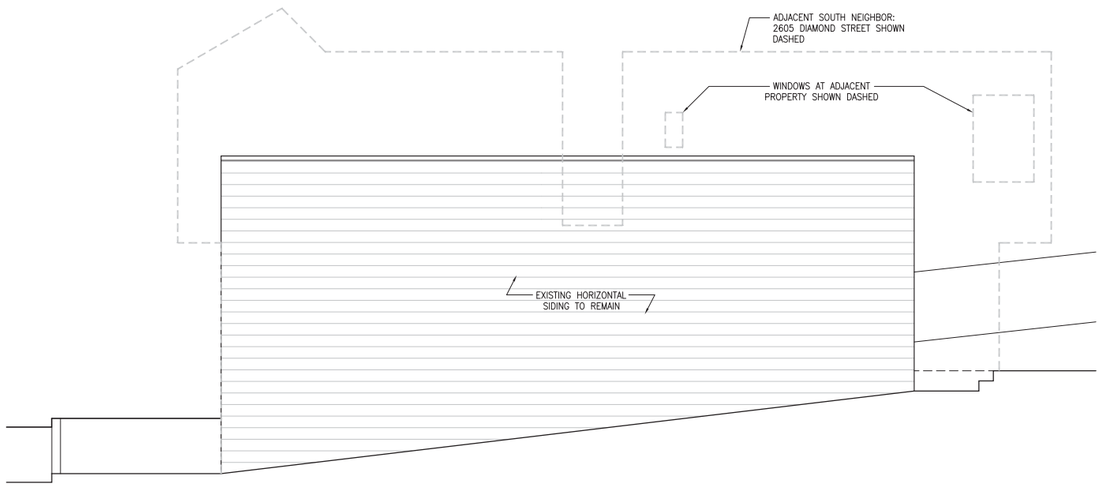
3 EXISTING NORTH ELEVATION AT SUSSEX

SCALE: 1/4"= 1'-0"



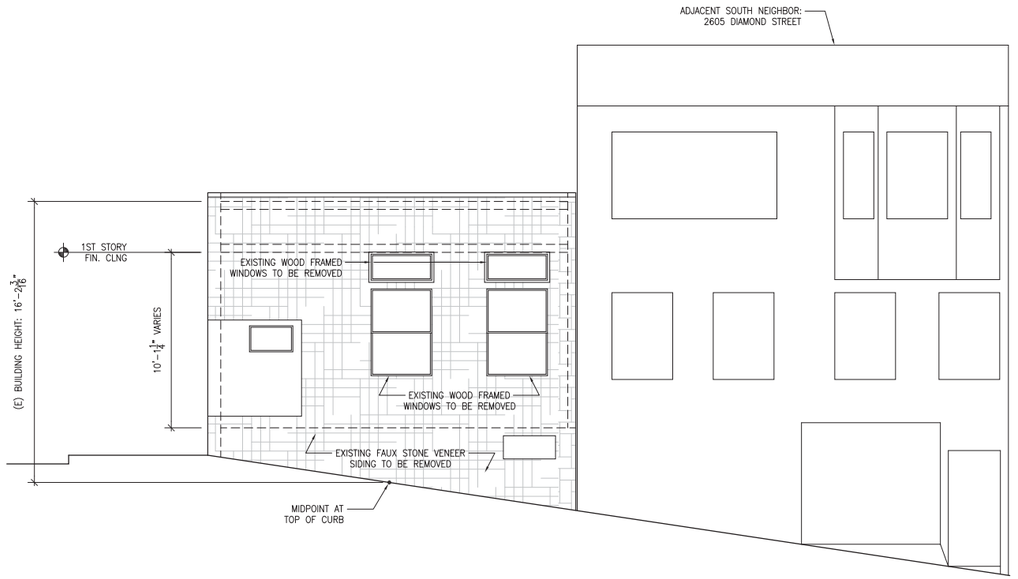
4 EXISTING EAST ELEVATION AT SUSSEX

SCALE: 1/4"= 1'-0"



1 EXISTING SOUTH ELEVATION

SCALE: 1/4"= 1'-0"



2 EXISTING WEST ELEVATION AT DIAMOND

SCALE: 1/4"= 1'-0"

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RTD COMMENTS	–

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TROY KASHANIPOUR
C 27646
REN. 6/30/2019
STATE OF CALIFORNIA

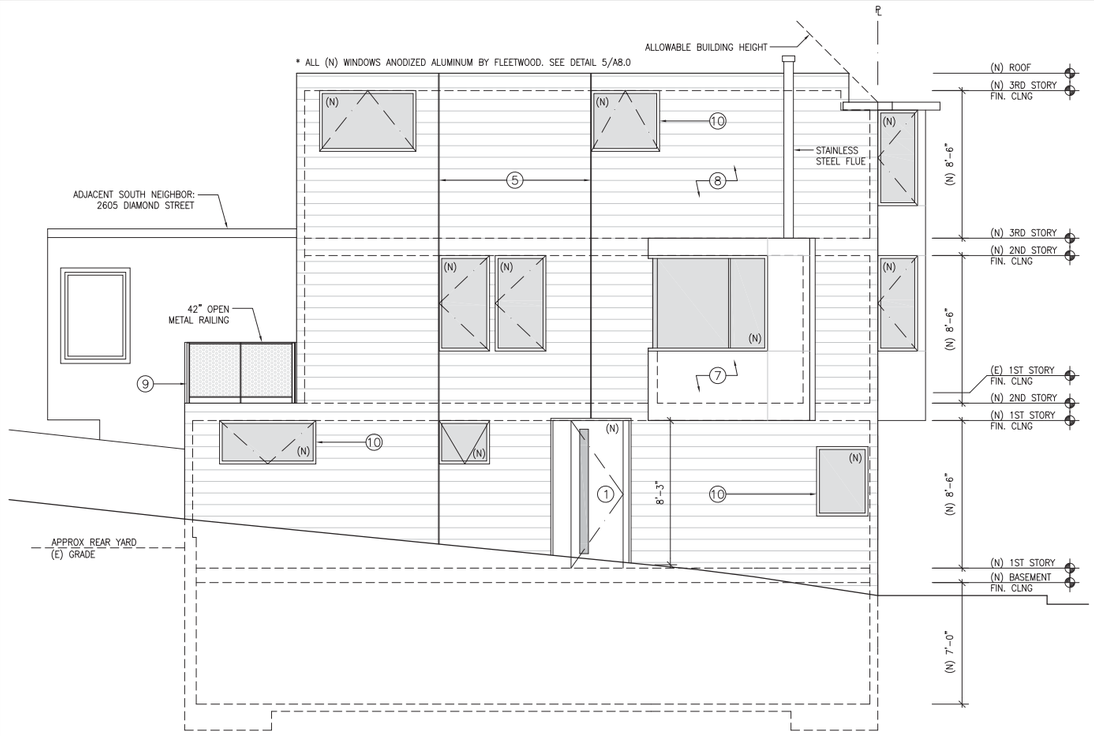
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SCALE: 1/4" = 1'-0"

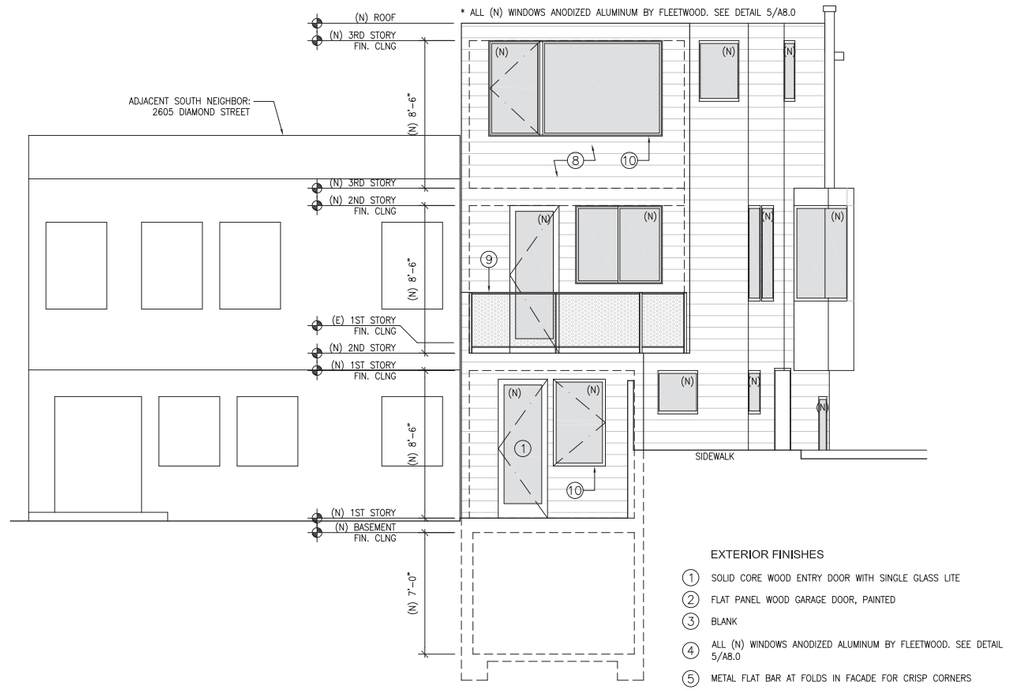
EXISTING ELEVATIONS

A3.0



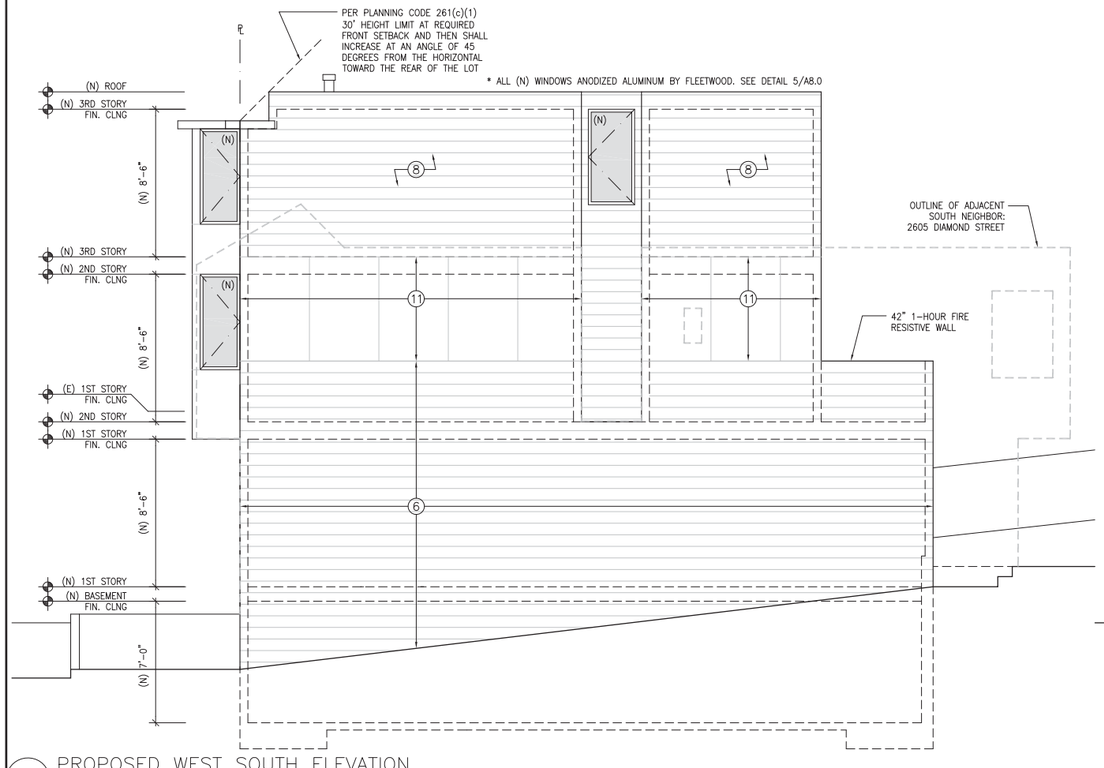
3 PROPOSED NORTH ELEVATION AT SUSSEX

SCALE: 1/4"= 1'-0"



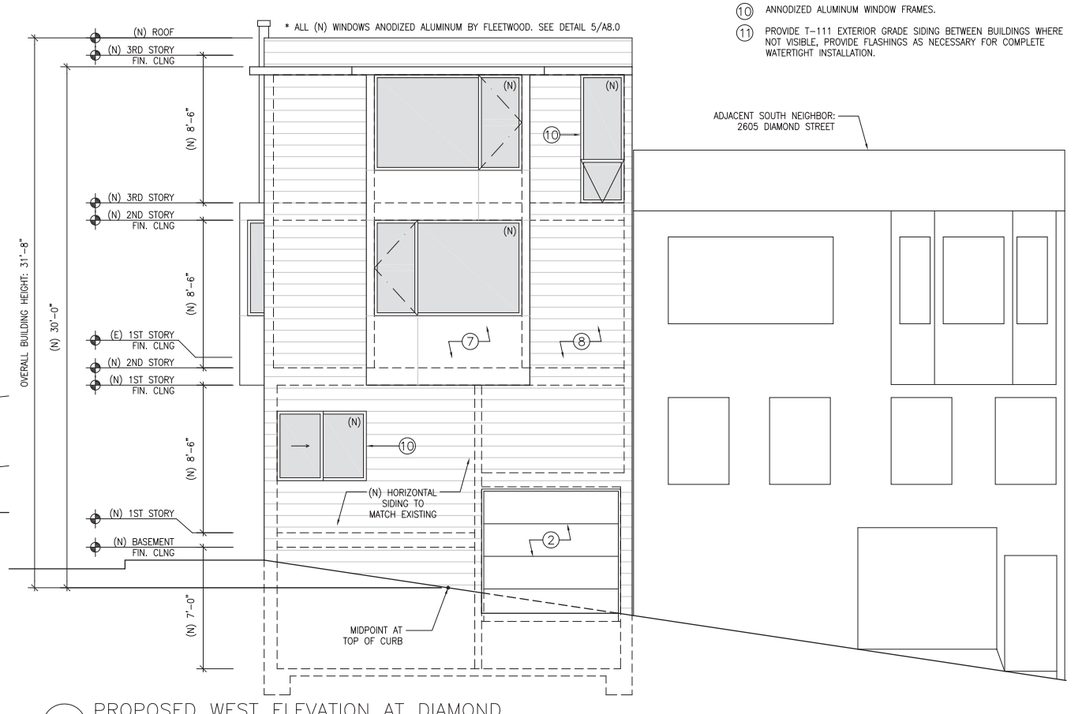
4 PROPOSED EAST ELEVATION AT SUSSEX

SCALE: 1/4"= 1'-0"



1 PROPOSED WEST SOUTH ELEVATION

SCALE: 1/4"= 1'-0"



2 PROPOSED WEST ELEVATION AT DIAMOND

SCALE: 1/4"= 1'-0"

EXTERIOR FINISHES

1. SOLID CORE WOOD ENTRY DOOR WITH SINGLE GLASS LITE
2. FLAT PANEL WOOD GARAGE DOOR, PAINTED
3. BLANK
4. ALL (N) WINDOWS ANODIZED ALUMINUM BY FLEETWOOD. SEE DETAIL 5/A8.0
5. METAL FLAT BAR AT FOLDS IN FACADE FOR CRISP CORNERS
6. EXISTING HORIZONTAL WOOD SIDING TO REMAIN
7. INTEGRALLY COLORED CEMENT PANEL, SWISS-PEARL OR EQUAL WITH OPEN JOINTS
8. HORIZONTAL WOOD SIDING
9. POWDER COATED STEEL RAILING WITH POWER COATED PERFORATED METAL INFILL PANELS
10. ANNODIZED ALUMINUM WINDOW FRAMES.
11. PROVIDE T-111 EXTERIOR GRADE SIDING BETWEEN BUILDINGS WHERE NOT VISIBLE, PROVIDE FLASHINGS AS NECESSARY FOR COMPLETE WATERTIGHT INSTALLATION.

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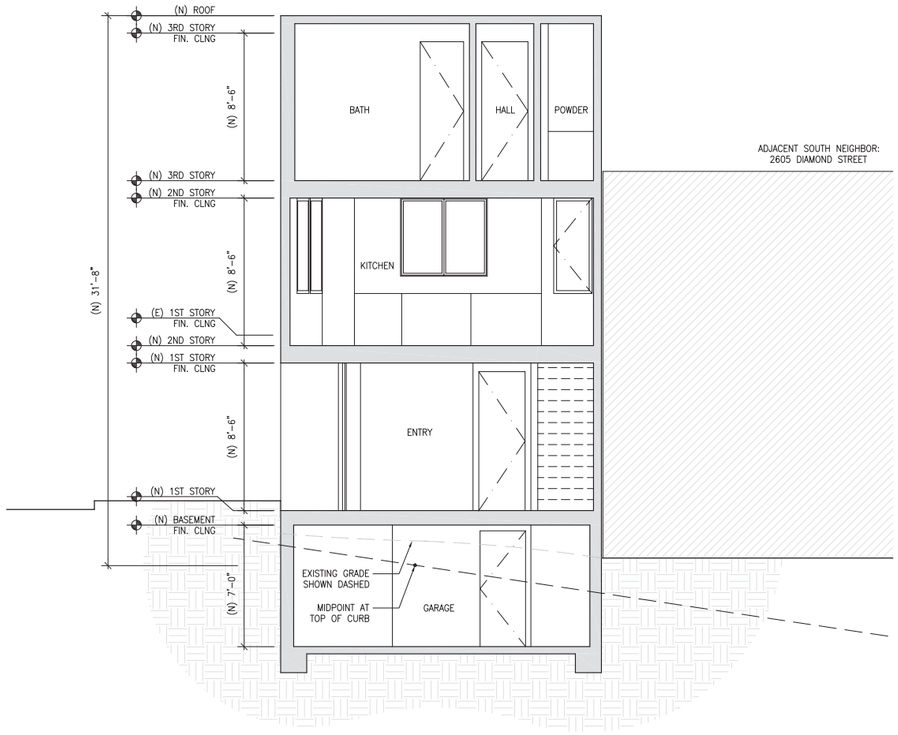
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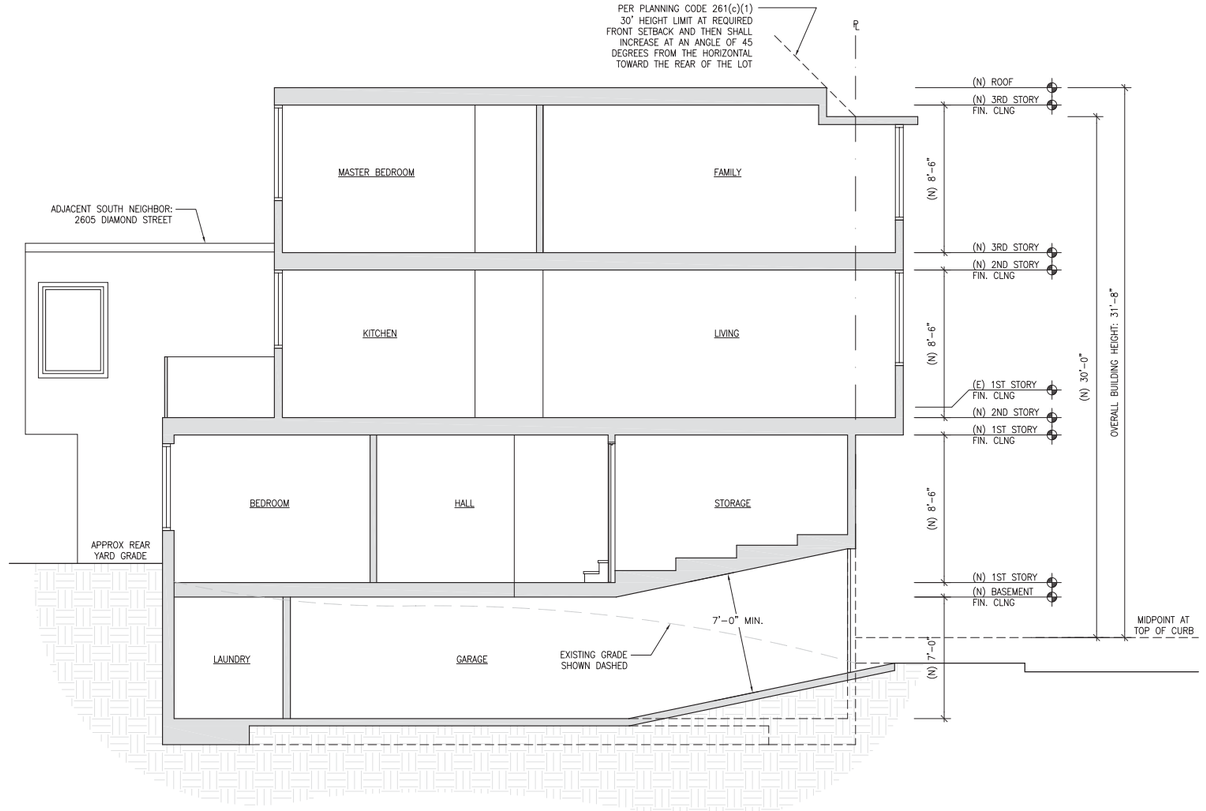
PROPOSED ELEVATIONS

A3.1



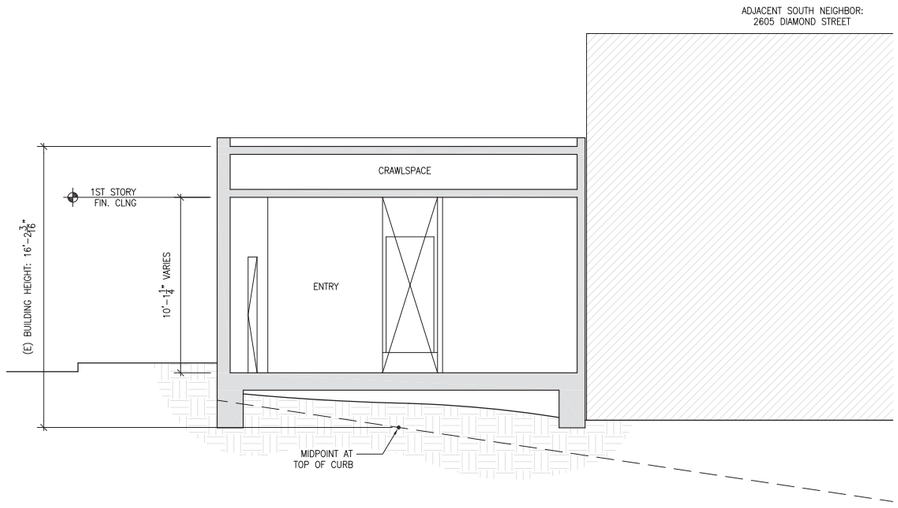
3 PROPOSED LATERAL SECTION LOOKING EAST

SCALE: 1/4"= 1'-0"



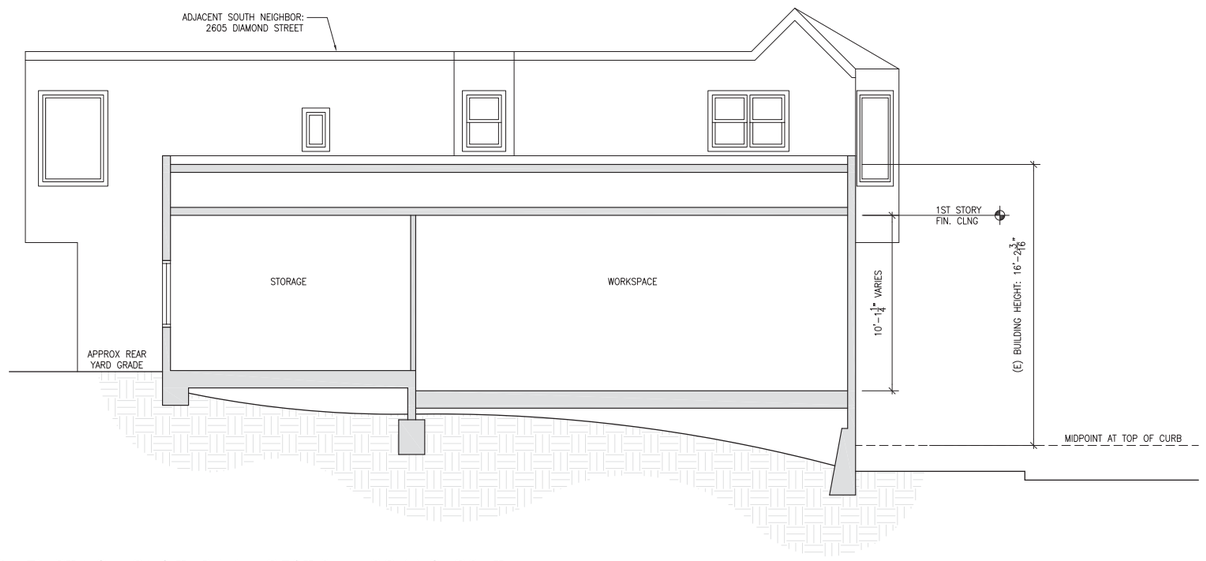
4 PROPOSED LONGITUDINAL SECTION LOOKING SOUTH

SCALE: 1/4"= 1'-0"



1 EXISTING LATERAL SECTION LOOKING EAST

SCALE: 1/4"= 1'-0"



2 EXISTING LONGITUDINAL SECTION LOOKING SOUTH

SCALE: 1/4"= 1'-0"

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CONSULTANT

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LICENSED ARCHITECT TROY KASHANIPOUR C 27646 REN. 6/30/2019 STATE OF CALIFORNIA

DRAWN: SC

CHECKED: TK

SCALE: 1/4" = 1'-0"

EXISTING & PROPOSED BUILDING SECTIONS

A3.2


NO PARKING
9 A.M. to 11 A.M.
STREET CLEANING
4 HOUR
7 A.M. to 3 P.M.
MON THRU FRI


2605
2607




STOP
SUSSEX
STOP
2607



RESIDENTIAL RENOVATION
2601 DIAMOND STREET, SAN FRANCISCO, CALIFORNIA 94131

DRAWING LIST

A0.0	PROJECT INFORMATION
A0.1	SITE PLANS
A0.2	SITE PHOTOS
A0.3	EXISTING & PROPOSED BUILDING VIEWS
A1.0	EXISTING FLOOR PLANS / DEMOLITION PLANS
A2.0	PROPOSED FLOOR PLANS
A2.1	PROPOSED FLOOR PLANS
A3.0	EXISTING ELEVATIONS
A3.0B	VERTICAL ENVELOPE DEMOLITION
A3.1	PROPOSED ELEVATIONS
A3.2	BUILDING SECTIONS
A8.0	CONSTRUCTION DETAILS

APPLICABLE REGULATIONS & STANDARDS

- 2016 CALIFORNIA BUILDING CODE WITH SAN FRANCISCO AMENDMENTS.
- 2016 CALIFORNIA MECHANICAL CODE WITH SAN FRANCISCO AMENDMENTS.
- 2016 CALIFORNIA PLUMBING CODE WITH SAN FRANCISCO AMENDMENTS.
- 2016 CALIFORNIA ELECTRICAL CODE WITH SAN FRANCISCO AMENDMENTS.
- 2016 CALIFORNIA FIRE CODE WITH SAN FRANCISCO AMENDMENTS.
- 2016 ENERGY CODE - TITLE 24 - CALIFORNIA CODE OF REGULATIONS
- LIFE SAFETY CODE, 2016 EDITION NFPA 72
- NFPA 13, 2016 EDITION

APPLICABLE STANDARDS:

- UL-UNDERWRITERS LABORATORIES FIRE RESISTIVE DIRECTORY-2016 EDITION
- UL-UNDERWRITERS LABORATORIES BUILDING MATERIALS DIRECTORY-2016 EDITION
- SMACNA - FIRE SMOKE AND RADIATION DAMPER INSTALLATION GUIDE FOR HVAC SYSTEMS, 5RD EDITION

SCOPE OF WORK THIS PROJECT:

- NEW 2 CAR GARAGE ACCESSED WITH NEW CURB CUT ON DIAMOND STREET
- VERTICAL ADDITION - 2 (N) FLOORS

BUILDING & PLANNING DEPARTMENT NOTES:

BUILDING OWNER: 2601 DIAMOND LLC
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ARCHITECT: TROY KASHANIPOUR ARCHITECTURE
2325 3RD STREET, SUITE 401
SAN FRANCISCO CA, 94107
PHONE/FAX: 415.431.0869
CELL: 415.290.8844
TK@TKWORKSHOP.COM

STRUCTURAL ENGINEERING: TBD

BLOCK/LOT: 6729 / 001
ZONING: RH-1 - RESIDENTIAL - HOUSE, ONE FAMILY
USE: SINGLE FAMILY DWELLING
OCCUPANCY: R-3
NUMBER OF STORIES/BASEMENTS: EXISTING 1/0; PROPOSED 3/1
TYPE OF CONSTRUCTION: V-B
THE BUILDING IS NOT EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM. NONE WILL BE PROVIDED.

	EXISTING SQ.FT.	PROPOSED SQ.FT.
BASEMENT	N/A	92 CONDITIONED, 514 UNCONDITIONED
1ST STORY	621 CONDITIONED	600 CONDITIONED
2ND STORY	N/A	574 CONDITIONED
3RD STORY	N/A	552 CONDITIONED
TOTAL	621 CONDITIONED	1818 CONDITIONED, 514 UNCONDITIONED

SYMBOLS

- CEILING MOUNTED FIXTURE
- WALL MOUNTED FIXTURE
- WP — EXTERIOR OR WATERPROOF LIGHT FIXTURE
- WALL WASH LIGHT FIXTURE
- RECESSED CEILING MOUNTED FUXTURE
- FLORESCENT LIGHT FIXTURE
- SMOKE ALARM
- CM — CARBON MONOXIDE ALARM
- TELEPHONE
- INTERCOM
- DUPLEX OUTLET: 16" A.F.F.
- GFI — DUPLEX GFI OUTLET
- DUPLEX SWITCHED OUTLET
- DATA/TELEPHONE OUTLET
- DOUBLE DUPLEX, COUNTER HT
- DOUBLE DUPLEX OUTLET: 16" A.F.F.
- COUNTER HEIGHT DUPLEX OUTLET
- HALF SWITCHED DUPLEX OUTLET
- DIRECTIONAL EXIT SIGN
- FAN
- THERMOSTAT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
- XXX — DOOR TAG
- FT—IN — CEILING HEIGHT TAG
- ELEVATION
- P (X) — FIXTURE TAG, P—PLUMBING, E—EQUIPMENT
- # — DRAWING REVISION TAG
- X / X — DETAIL KEY
- X DRAWING X — INTERIOR ELEVATION KEY
- X / X — SECTION/ELEVATION KEY

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND DIMENSIONS ON THE JOB SITE AND REPORT ANY AND ALL DISCREPANCIES AND/OR UNUSUAL CIRCUMSTANCES TO THE ARCHITECT PRIOR TO FINALIZING BIDS AND COMMENCEMENT OF CONSTRUCTION.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, FIRE PROTECTION, MECHANICAL, PLUMBING, AND ELECTRICAL. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH THE SAME DISCIPLINES

3. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.

4. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.

5. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.

6. DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.

7. PROVIDE FIRE-BLOCKING AND DRAFT STOPPING AT ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AS PER 2016 CBC 708, 717.2 AND 717.3. FIRE BLOCKING AND DRAFT STOPS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS

A) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
B) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF THE STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
C) IN OPENINGS AROUND VENTS, PIPES, DUCTS, AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.

8. THERMAL AND SOUND INSULATING INSULATION SHALL COMPLY WITH 2016 CBC SECTION 719.

9. INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND CODE REQUIREMENTS. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.

10. VERIFY CLEARANCES FOR VENTS, CHASES, SOFFITS, FIXTURES BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.

11. PROVIDE ALL LIGHTS, GUARDRAILS, BARRICADES, SIGNS AND PROTECTIVE MEASURES AS MAY BE REQUIRED BY THE OWNER, LOCAL AUTHORITIES, OR OTHERS HAVING JURISDICTION.

12. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH CBC CHAPTER 8.

13. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHER WISE NOTED.

14. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING AND BACKING AS REQ'D FOR ALL NAILING OF INTERIOR TRIM AND FINISHES, AND SHALL COORDINATE AND PROVIDE ALL FRAMING, BACKING AND BRACING AS NECESSARY FOR INSTALLATION OF EQUIPMENT INDICATED ON THE DRAWINGS. PROVIDE BACKING PLATES AT ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.

15. NOTE THAT MECHANICAL, ELECTRICAL, FIRE PROTECTION, PLUMBING AND COMMUNICATIONS ARE DESIGN BUILD ITEMS. ARCHITECTURAL DRAWINGS SHOW DESIGN INTENT. CONTRACTOR TO CONFIRM ALL SYSTEM REQUIREMENTS WITH BUILDING OWNER AND ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR/SUBCONTRACTOR SHALL SUBMIT PLANS FOR THEIR RESPECTIVE WORK TO THE BUILDING DEPARTMENT AS REQUIRED FOR PLAN CHECK AND PERMIT ISSUANCE, INCLUDING PAYING FOR ALL PLAN CHECK AND PERMIT FEES.

16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES

17. ALL CHANGES IN FLOOR MATERIALS OCCUR AT THE CENTERLINE OF DOOR OR FRAMED OPENING UNLESS OTHERWISE NOTED.

18. WINDOW SIZES ON DRAWINGS ARE NOMINAL, REFER TO MANUFACTURES FOR ACTUAL ROUGH OPENING DIMENSIONS.

19. ALL EXTERIOR DOORS AND WINDOWS ARE TO BE WEATHER-STRIPPED PER TITLE 24 REQUIREMENTS

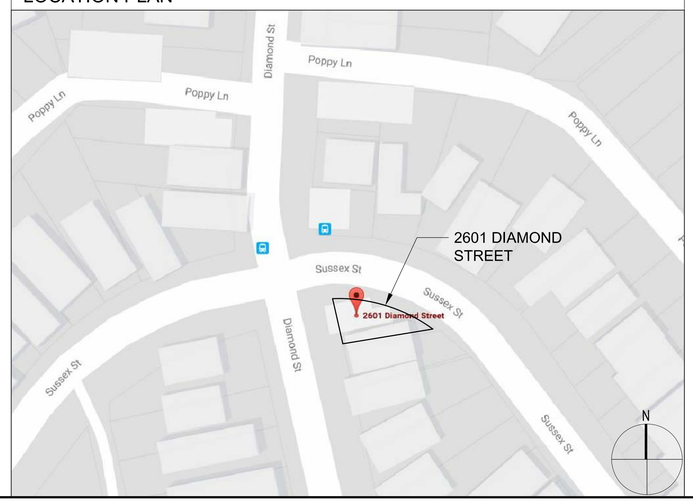
20. PROVIDE SAFETY GLAZING AT ALL HAZARDOUS LOCATIONS INCLUDING, BUT NOT LIMITED TO GLAZING WITHIN 18" OF A WALKING SURFACE. GLAZING IN DOORS AND WINDOWS ADJACENT TO DOORS IN ACCORDANCE WITH SECTION 2406.4.

21. ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER CBC SECTION 2406.3.

22. ALL NEW SMOKE ALARMS TO COMPLY WITH CBC SECTIONS:
907.2.10.1.2 FOR LOCATION, 907.2.10.2 TO BE HARD-WIRED WITH BATTERY BACKUP, 907.2.10.3 FOR INTERCONNECTION.

23. PER 1009.6.3 ENCLOSURES UNDER STAIRWAYS. THE WALLS AND SOFFITS WITHIN ENCLOSED USABLE SPACES UNDER ENCLOSED AND UNENCLOSED STAIRWAYS SHALL BE PROTECTED BY 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION OR THE FIRE-RESISTANCE RATING OF THE STAIRWAY ENCLOSURE, WHICHEVER IS GREATER. ACCESS TO THE ENCLOSED SPACE SHALL NOT BE DIRECTLY FROM WITHIN THE STAIR ENCLOSURE.
EXCEPTION: SPACES UNDER STAIRWAYS SERVING AND CONTAINED WITHIN A SINGLE RESIDENTIAL DWELLING UNIT IN GROUP R-2 OR R-3 SHALL BE PERMITTED TO BE PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD. THERE SHALL BE NO ENCLOSED USABLE SPACE UNDER EXTERIOR EXIT STAIRWAYS UNLESS THE SPACE IS COMPLETELY ENCLOSED IN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION. THE OPEN SPACE UNDER EXTERIOR STAIRWAYS SHALL NOT BE USED FOR ANY PURPOSE.

LOCATION PLAN



ABBREVIATIONS:

A.C.	AIR CONDITIONING	FIN.	FINISH	PLAS.	PLASTER
A.C. TILE	ACOUSTIC TILE	FIXT.	FIXTURE	PLYWD.	PLYWOOD
ACCESS.	ACCESSIBLE	F.L.	FLOW LINE	POL.	POLISHED
ACOUST.	ACOUSTICAL	FLASH.	FLASHING	PR.	PAIR
A.D.	AREA DRAIN	FLUOR.	FLUORESCENT	PRCST.	PRECAST
ADJ.	ADJACENT	F.O.	FACE OF	PT.	POINT
ADJST.	ADJUSTABLE	F.O.C.	FACE OF CONCRETE	P.T.D.	PAPER TOWEL DISPENSER
A.E.S.	ABOVE EXISTING SLAB	F.O.F.	FACE OF FINISH	PTD.	PAINTED
A.E.S.S.	ARCHITECTURAL EXPOSED STRUCTURAL STEEL	F.O.S.	FACE OF STUDS	P.T.D./R.	PAPER TOWEL DISPENSER RECEPTACLE COMBINATION
A.F.F.	ABOVE FINISHED FLOOR	F.P.	FIRE PROOF	PTN.	PARTITION
AGGR.	AGGREGATE	FPRF'G	FIRE PROOFING	P.T.R.	PAPER TOWEL RECEPTACLE
AL.	ALUMINUM	F.R.	FIRE RETARDANT	PU.	POLYURETHANE
ALUM.	ALUMINUM	F.T.	FIRE TREATED	PY.	POLYCARBONATE
APPROX.	APPROXIMATELY	FT.	FOOT/FEET		
ARCH.	ARCHITECTURAL	FTG.	FOOTING	Q.T.	QUARRY TILE
ASB.	ASBESTOS	F.S.	FULL SIZE		
ASPH.	ASPHALT	FURR.	FURRING	R.	RISER
@	AT	FUT.	FUTURE	RAD.	RADIUS
		GA.	GAUGE	RCP	REFLECTED CEILING PLAN
BD.	BOARD	GALV.	GALVANIZED	R.D.	ROOF DRAIN
BITUM.	BITUMINOUS	G.B.	GRAB BAR	RDWD.	REDWOOD
BLDG.	BUILDING	G.C.	GENERAL CONTRACTOR	REF.	REFERENCE
BLK.	BLOCK	G.H.	GARMENT HOOK	REFR.	REFRIGERATOR
BLK'G	BLOCKING	GL.	GLASS	REINF.	REINFORCED
BM.	BEAM	GND.	GROUND	REG.	REGISTER
B.O.	BOTTOM OF	GR.	GRADE	REQ.	REQUIRED
BOT.	BOTTOM	GSM	GALVANIZED SHEET METAL	RESIL.	RESILIENT
		G.W.B.	GYPSUM WALLBOARD	RET.	RETARDANT
CAB.	CABINET	GYP.	GYPSUM	RGTR.	REGISTER (CASH)
C.B.	CATCH BASIN	GYPBD.	GYPSUM BOARD	RM.	ROOM
CEM.	CEMENT			R.O.	ROUGH OPENING
CER.	CERAMIC	H.B.	HOSE BIBB	R.W.L.	RAIN WATER LEADER
C.I.	CAST IRON	H.C.	HOLLOW CORE		
C.L.	CENTER LINE	HD.	HAND	S.	SOUTH
CLG.	CEILING	HDWD.	HARDWOOD	S.B.O.	SUPPLIED BY OWNER
CLKG.	CAULKING	H.M.	HOLLOW METAL	S.C.	SOLID CORE
		HORIZ.	HORIZONTAL	S.C.D.	SEAT COVER DISPENSER
		HR.	HOUR	SCH.	SCHEDULE
CLO.	CLOSET	HT.	HEIGHT	SCHED.	SCHEDULE(D)
CLR.	CLEAR			S.D.	SOAP DISPENSER
C.M.U.	CONCRETE MASONRY UNIT	I.D.	INSIDE DIAMETER	SECT.	SECTION
CNTR.	COUNTER	INSUL.	INSULATION	S.E.D.	SEE ELECTRICAL DRAWINGS
CO.	TRANSLUCENT CORIAN	INT.	INTERIOR	SH.	SHELF
COL.	COLUMN			SHR.	SHOWER
COM.	COMPACT	JAN.	JANITOR	SHT.	SHEET
CONC.	CONCRETE	JT.	JOINT	SIM.	SIMILAR
CONN.	CONNECTION			S.M.D.	SEE MECHANICAL DRAWINGS
CONSTR.	CONSTRUCTION	KIT.	KITCHEN	S.N.D.	SANITARY NAPKIN DISPENSER
CONT.	CONTINUOUS	L	ANGLE	S.N.R.	SANITARY NAPKIN RECEPTACLE
CORR.	CORRIDOR	LAM.	LAMINATE	S.P.D.	SEE PLUMBING DRAWINGS
C.S.C.I.	CONTRACTOR SUPPLIED CONTRACTOR INSTALLED	LAV.	LAVATORY	SPEC.	SPECIFICATION
C.T.	CERAMIC TILE	LL	LANDLORD	SPEC'D	SPECIFIED
CTR.	CENTER	LKR.	LOCKER	SQ.	SQUARE
CTSK.	COUNTERSUNK	LT.	LIGHT	S.S.D.	SEE STRUCTURAL DRAWINGS
		MANUF.	MANUFACTURER	S.S.K.	SERVICE SINK
DBL.	DOUBLE	MAX.	MAXIMUM	SST.	STAINLESS STEEL
DEPT.	DEPARTMENT	M.C.	MEDICINE CABINET	ST.	STONE
DET.	DETAIL	MDF	MEDIUM DENSITY FIBERBOARD	STA.	STATION
D.F.	DRINKING FOUNTAIN			STD.	STANDARD
DIA.	DIAMETER	MECH.	MECHANICAL	STL.	STEEL
DIM.	DIMENSION	MEMB.	MEMBRANE	STOR.	STORAGE
DN.	DOWN	MFR.	MANUFACTURER	STRUCT.	STRUCTURAL
D.O.	DOOR OPENING	MILL WK.	MILLWORK	SUSP.	SUSPENDED
DRESS.	DRESSING	M.H.	MANHOLE	SYM.	SYMMETRICAL
DS.	DOWNSPOUT	MIN.	MINIMUM		
D.S.P.	DRY STANDPIPE	MIR.	MIRROR	T.	TREAD
DTL.	DETAIL	MISC.	MISCELLANEOUS	T.B.	TOWEL BAR
DWG.	DRAWING	M.O.	MASONRY OPENING	TC	TOP OF CURB
		MTL.	METAL	T.C.	TERRA COTTA
E.	EAST	MTD.	MOUNTED	TEMP.	TEMPERED
(E)	EXISTING	MUL.	MULLION	TER.	TERRAZZO
EA.	EACH	MWC	MILLWORK CONTRACTOR	THK.	THICK
E.J.	EXPANSION JOINT			T.O.	TOP OF
EL.	ELEVATION	N.	NORTH	T.O.C.	TOP OF CONCRETE
ELEC.	ELECTRICAL	(N)	NEW	T.O.P.	TOP OF PAVEMENT
ELEV.	ELEVATOR	N.I.C.	NOT IN CONTRACT	T.O.S.	TOP OF SLAB
EMER.	EMERGENCY	NO.	NUMBER	T.S.	TUBE STEEL
ENCL.	ENCLOSURE	NOM.	NOMINAL	TYP.	TYPICAL
E.P.	ELECTRICAL PANEL BOARD	N.T.S.	NOT TO SCALE		
EQ.	EQUAL	#	NUMBER	UNEQ.	UNEQUAL
EQPT.	EQUIPMENT	O.A.	OVERALL	U.O.N.	UNLESS OTHERWISE NOTED
ESC.	ESCALATOR	OBS.	OBSCURE	UR.	URINAL
E.W.C.	ELECTRIC WATER COOLER	O.C.	ON CENTER		
EXIST.	EXISTING	O.D.	OUTSIDE DIAMETER	V.I.F.	VERIFY IN FIELD
EXP.	EXPANSION	OFF.	OFFICE	VERT.	VERTICAL
EXPO.	EXPOSED	OPN'G	OPENING	VEST.	VESTIBULE
EXT.	EXTERIOR	OPP.	OPPOSITE		
F.A.	FIRE ALARM	OPP. HD.	OPPOSITE HAND	W.	WEST
F.B.	FLAT BAR	O.S.C.I.	OWNER SUPPLIED CONTRACTOR INSTALLED	W/	WITH
F.D.	FLOOR DRAIN			W.C.	WATER CLOSET
FDN.	FOUNDATION	P.	PAINT	WD.	WOOD
F.E.C.	FIRE EXTINGUISHER CABINET	PC.	PRECAST CONCRETE	WDO.	WINDOW
F.H.C.	FIRE HOSE CABINET	PCS.	PIECES	W/O	WITHOUT
		PL.	PLATE	WP.	WALLPAPER
		PLAM.	PLASTIC LAMINATE	WT.	WEIGHT

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ISSUE: DATE:

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ISSUED FOR SITE PERMIT	07.21.17
D.R. REVISION	11.14.18

CONSULTANT

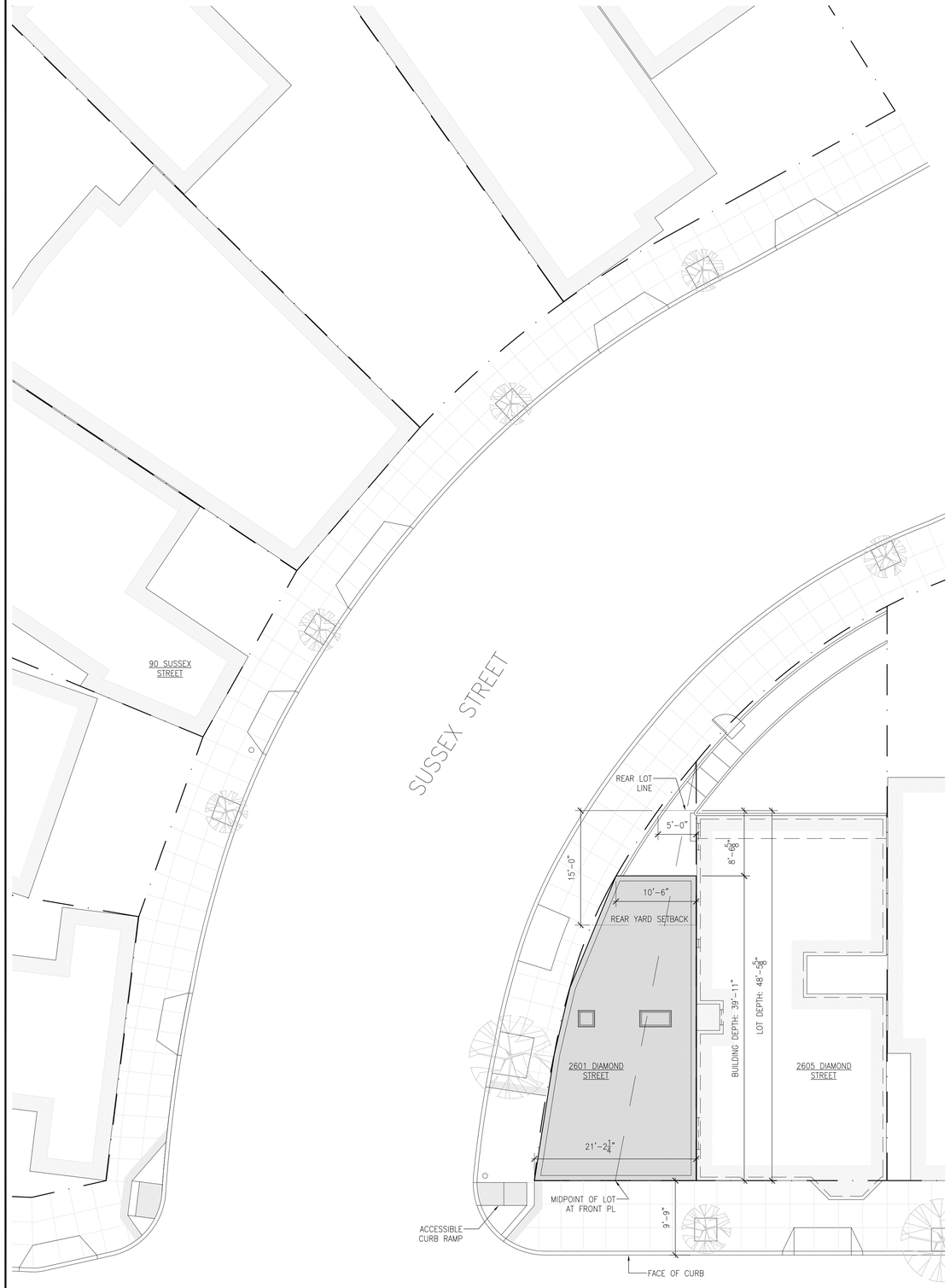
APPROVAL

LICENSED ARCHITECT TROY KASHANIPOUR C 27646 REN. 6/30/2019 STATE OF CALIFORNIA

DRAWN: SC
CHECKED: TK
SCALE: NONE

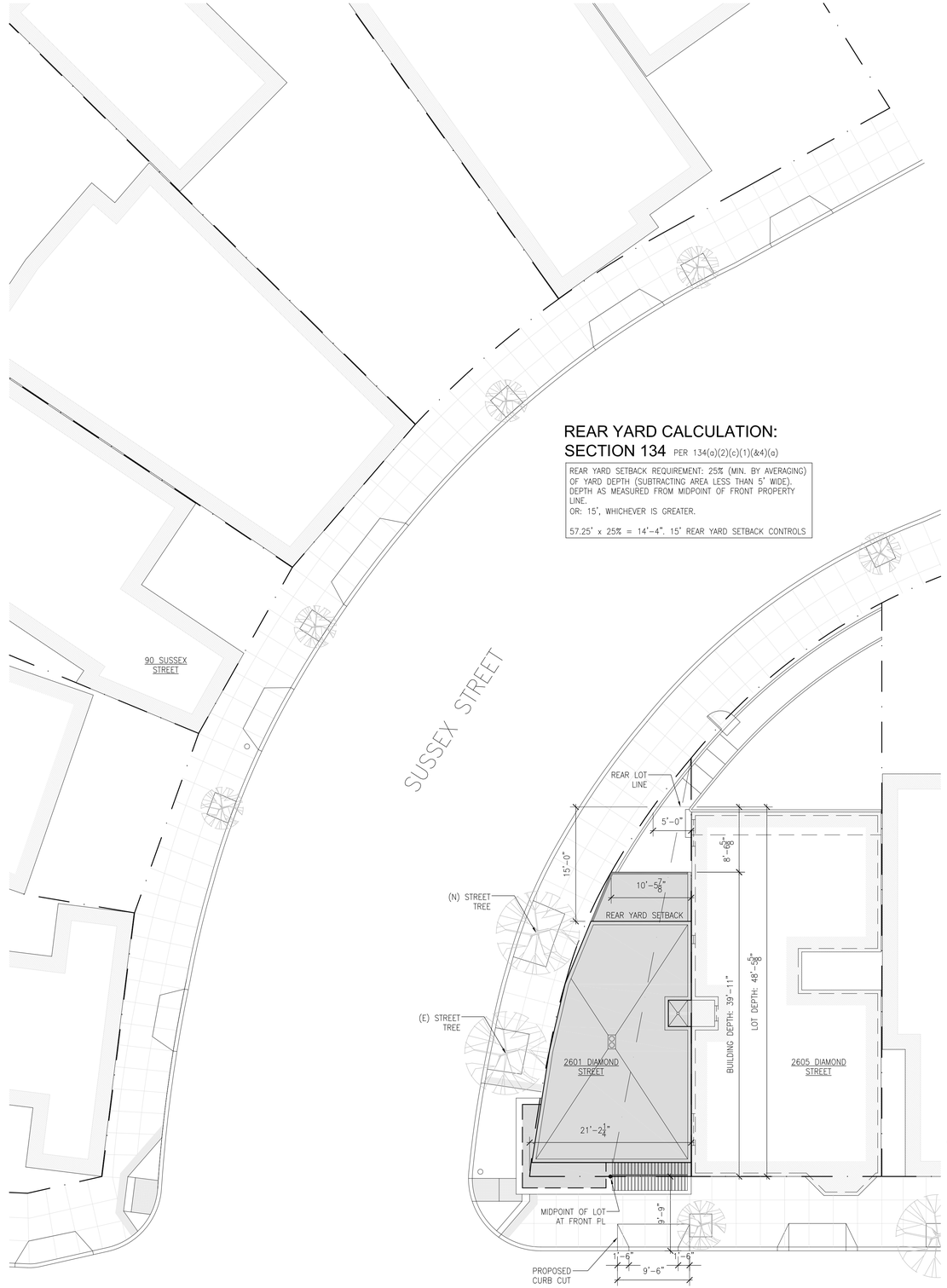
PROJECT INFORMATION

A0.0



1 EXISTING SITE PLAN

SCALE: 1/8"= 1'-0"



2 PROPOSED SITE PLAN

SCALE: 1/8"= 1'-0"

REAR YARD CALCULATION:
SECTION 134 PER 134(a)(2)(c)(1)(&4)(a)

REAR YARD SETBACK REQUIREMENT: 25% (MIN. BY AVERAGING) OF YARD DEPTH (SUBTRACTING AREA LESS THAN 5' WIDE). DEPTH AS MEASURED FROM MIDPOINT OF FRONT PROPERTY LINE.
OR: 15', WHICHEVER IS GREATER.

57.25' x 25% = 14'-4". 15' REAR YARD SETBACK CONTROLS

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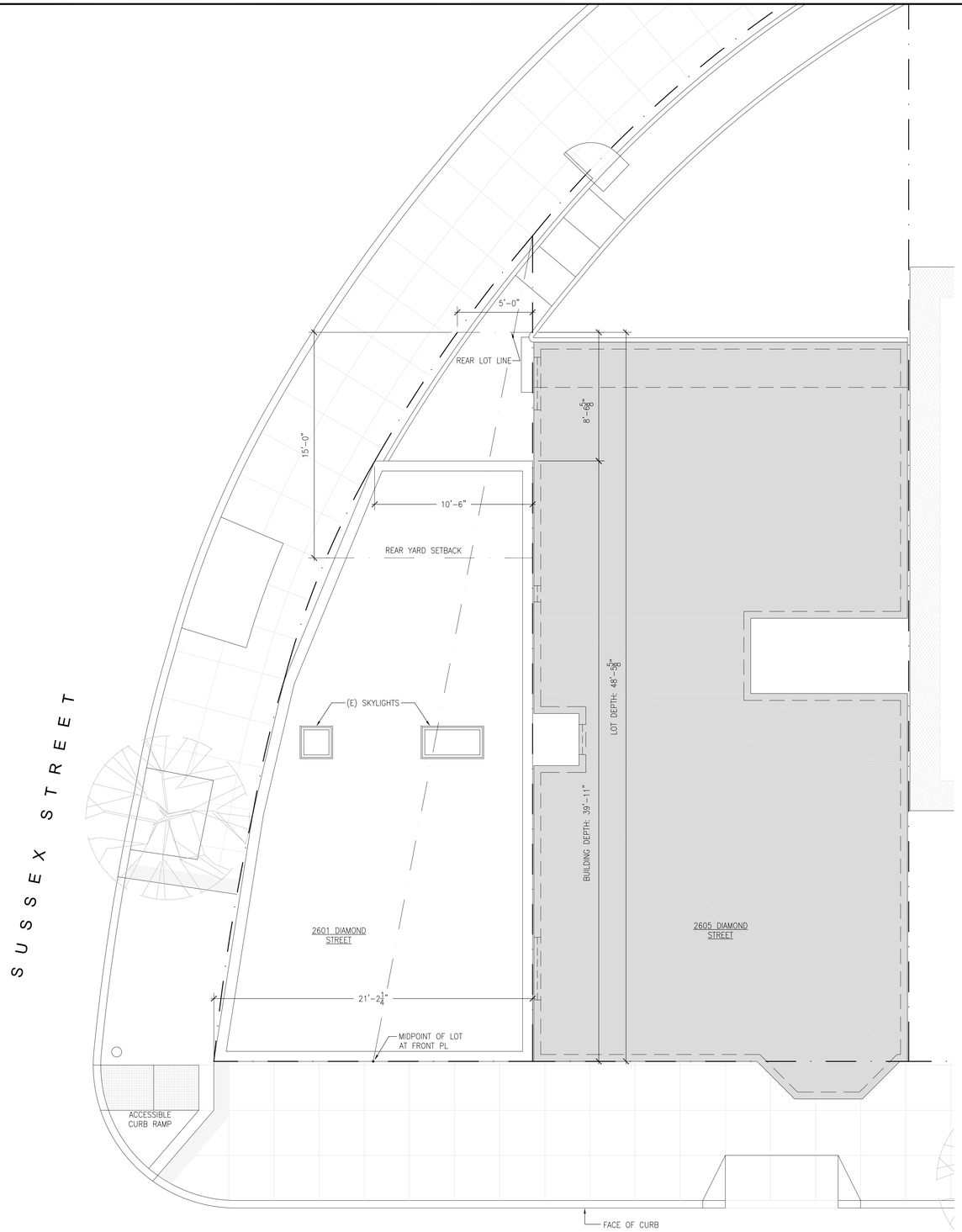
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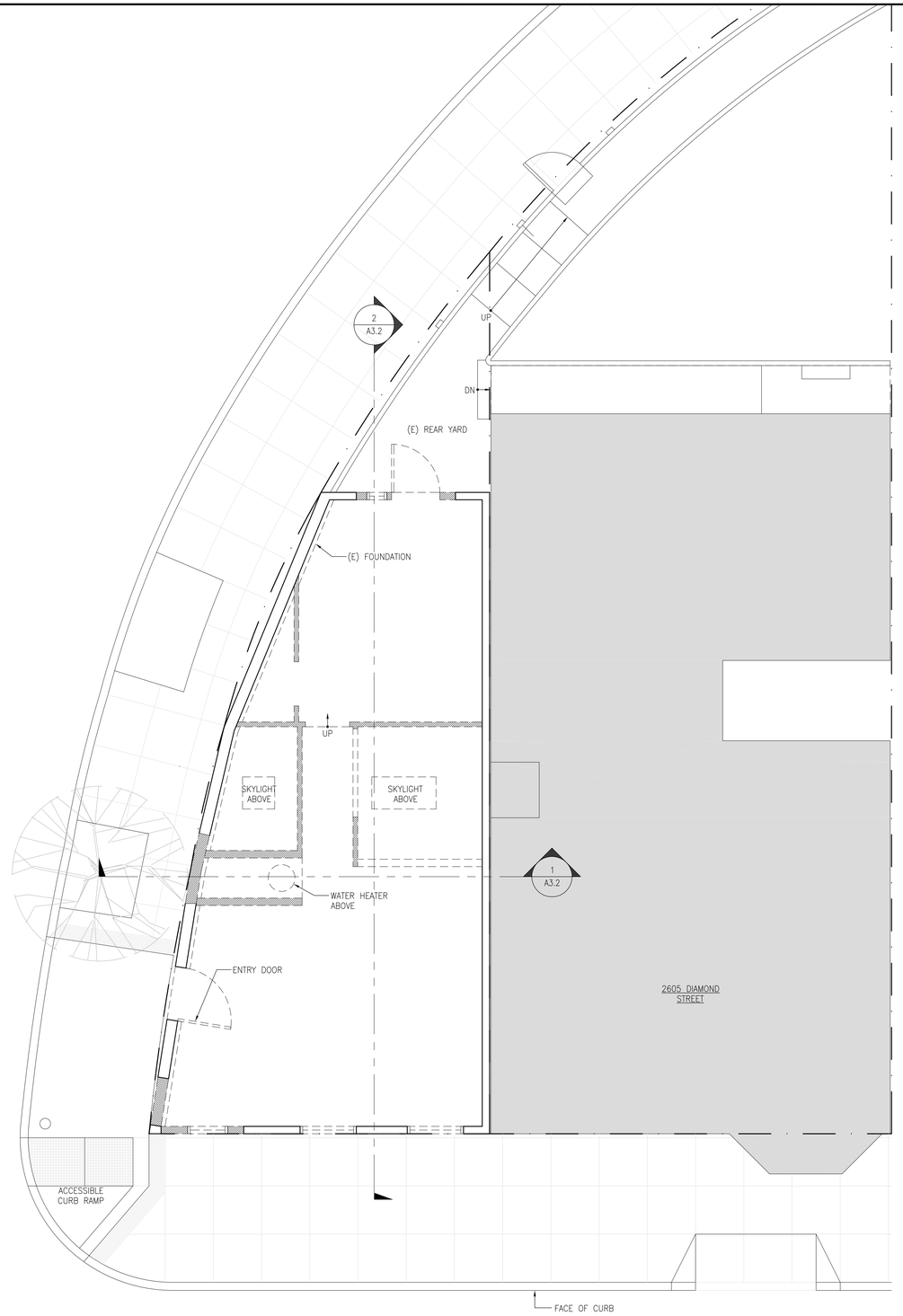
EXISTING & PROPOSED SITE PLANS

A0.1



1 EXISTING ROOF PLAN

SCALE: 1/4"= 1'-0"



2 EXISTING FIRST FLOOR PLAN

SCALE: 1/4"= 1'-0"

N

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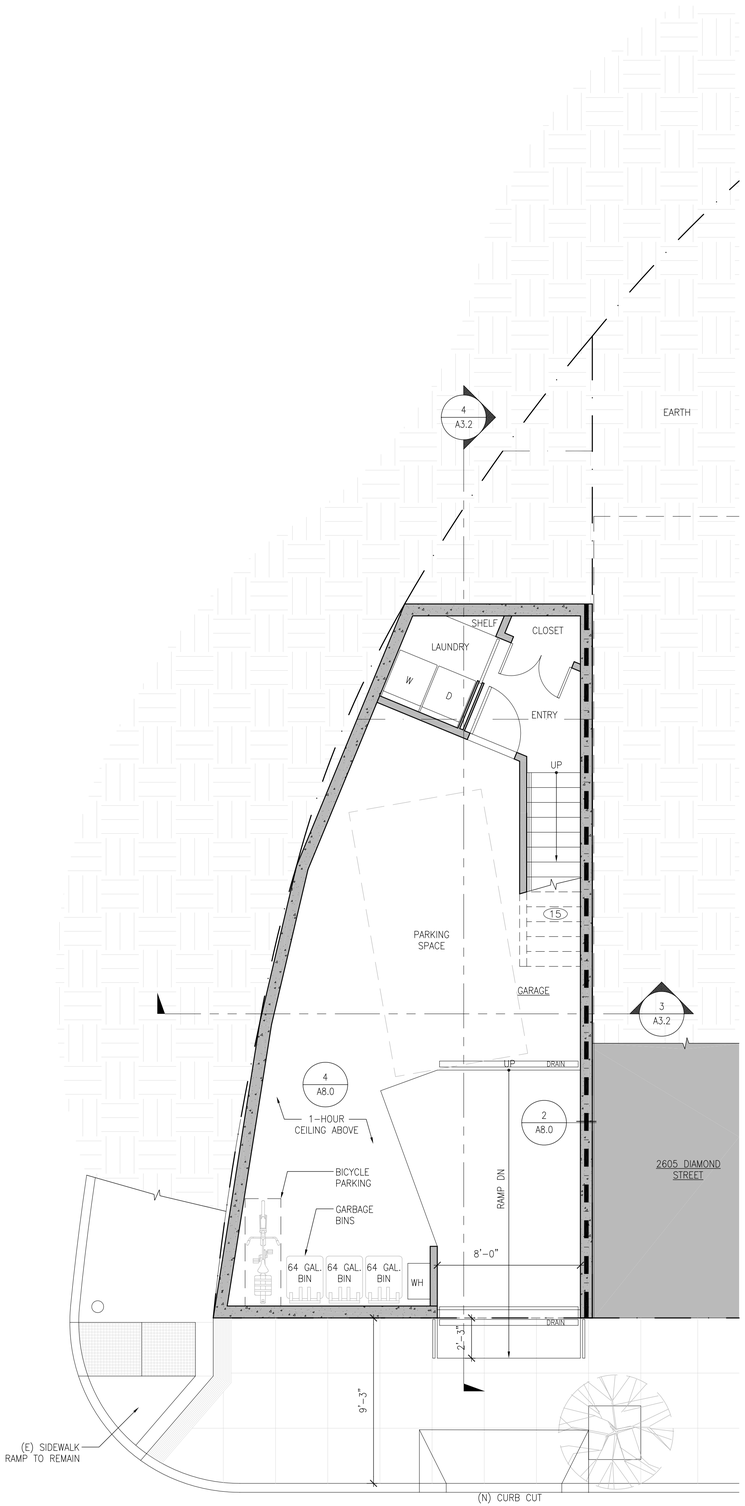
DRAWN: SC

CHECKED: TK

SCALE: 1/4" = 1'-0"

EXISTING FIRST FLOOR PLAN
EXISTING ROOF PLAN

A1.0



1 PROPOSED BASEMENT PLAN

SCALE: 1/4"= 1'-0"



SUSSEX

DIAMOND STREET

2 PROPOSED FIRST FLOOR PLAN

SCALE: 1/4"= 1'-0"

KEYNOTES:

1. ENVIRONMENTAL AIR DUCTS (TOILET, LAUNDRY, AND KITCHEN EXHAUST) SHALL TERMINATE 3'-0" MIN. FROM PROPERTY LINES AND BUILDING OPENINGS PER CMC 502.2.1 AND PROVIDE WITH BACK-DRAFT DAMPERS PER CMC 504.1.1 EXHAUST SHALL NOT DISCHARGE ONTO A PUBLIC WALKWAY. PROVIDE SOLID BACKING FOR ALL WALL MOUNTED FIXTURES, CABINETRY AND APPLIANCES. G.C. TO COORDINATE LOCATION.
2. MAINTAIN RATED SEPARATION BETWEEN DWELLING UNITS PER CBC 420.3 (HORIZONTAL) AND CBC 420.2 (SEPARATION WALLS). PENETRATIONS THROUGH HORIZONTAL ASSEMBLIES SHALL COMPLY WITH CBC 717.6.
3. (N) WINDOW. MINIMUM U-VALUE PER TITLE 24 REQUIREMENTS TABLE 116A AND S.H.G.C. PER TABLE 116B, U MAX=0.32 AND REQUIREMENTS OF TITLE 24 CALCULATIONS.
4. WINDOW TO MEET REQUIREMENTS FOR RESCUE WINDOW: 20" CLEAR WIDTH, 24" CLEAR HEIGHT, 5.7 SQ. FT. MIN. 44" A.F.F.
5. PROVIDE A MIN. 200 SQUARE INCH VENTILATION OUTLET IN THE GARAGE WALLS OR EXTERIOR DOORS PER SFBC 406.3.7.
6. PROVIDE MOISTURE RESISTANT GYP BOARD AT BATHROOM WALLS AND SOFFIT, PRIMED AND PAINTED PER OWNER SELECTION. PROVIDE CEMENTITIOUS BACKING BOARD WHERE REQ'D FOR TILE INSTALLATION. ASSEMBLIES PER TILE COUNCIL OF AMERICA STANDARD DETAILS.
7. (N) GLASS IN DOORS SHALL BE SAFETY GLAZING PER CBC 2406. WINDOWS WITHIN 24" OF DOOR SHALL BE SAFETY GLAZING PER CBC 2406.3
8. EXHAUST FAN TO PROVIDE MIN. 5 AIR CHANGES PER HOUR AND PER REQUIREMENTS OF TABLE 403.7 AND SOURCE OF MAKE-UP AIR. MECHANICAL CONTRACTOR TO SIZE AND SUBMIT CUTSHEET FOR APPROVAL PRIOR TO INSTALLATION (50 CFM MIN.).
9. HARDWIRED SMOKE ALARM WITH BATTERY BACKUP. ALL NEW SMOKE ALARMS TO COMPLY WITH CBC SECTIONS: 907.2.10.1.2 FOR LOCATION, 907.2.10.2 TO BE HARD-WIRED WITH BATTERY BACKUP, 907.2.10.3 FOR INTERCONNECTION.
10. PROVIDE CA STATE FIRE MARSHALL APPROVED CARBON MONOXIDE ALARM OUTSIDE OF EACH SLEEPING AREA AND ON EACH LEVEL. ALARMS TO BE HARDWIRED WITH BATTERY BACKUP. MAY BE COMBINED SMOKE/CARBON MONOXIDE ALARM.
11. DIRECT VENT APPLIANCES SHALL BE VENTED ACCORDING TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SHALL COMPLY WITH CMC 802.2.4 & SFMC 802.2.4
    GAS VENT TERMINATION PER CMC 802.6. & SFMC 802.6.2
    THROUGH WALL VENT TERMINATION PER SFMC 802.8
12. STEEL DUCTS NOT LESS THAN 0.019 IN. IN DUCT THICKNESS AND NO OPENINGS IN GARAGE PER CBC 406.3.4.3
13. PROVIDE COMBUSTION AIR OPENING FROM OUTSIDE FOR FURNACES AND WATER HEATERS PER CMC 701.10(3), 701.10(6), CMC 701.10(7) AND ALL OTHER APPLICABLE CODES. COMBUSTION AIR SHALL MEET THE REQUIREMENTS OF CMC CHAPTER 7.
14. WASHER/DRYER. PROVIDE UTILITY CONNECTION BOX WITH 2-125V AND 1-250V OUTLETS. EXHAUST SHALL BE A MIN. OF 4" ø DUCT, TERMINATE TO THE OUTSIDE OF THE BUILDING 3' FROM ANY OPENING OR PL PER CMC 504.5, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER, AND MEET THE REQUIREMENTS OF CMC 504.4. PROVIDE 100 SQ.IN. MIN. MAKE-UP AIR OPENING FOR DOMESTIC DRYERS.
15. 1-HR FIRE RATED CEILING UNDER STAIR.
16. AN ARC-FAULT CIRCUIT INTERRUPTER SHALL PROTECT ALL RECEPTACLES IN DWELLING AREAS WITH BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE 15 AND 20-AMPERE RECEPTACLE OUTLETS. 2013 CEC SECTION 210-12(b). ARC FAULT CIRCUIT INTERRUPTER REQUIREMENTS:
    - THE BEDROOM BRANCH CIRCUIT(S) SHALL BE RUN SEPARATELY FROM ALL OTHER BRANCH CIRCUITS. THE RACEWAYS OR CABLE ASSEMBLIES SHALL NOT TERMINATE INTO ANY JUNCTION BOX (OTHER THAN THE PANEL BOARD) WHERE OTHER CIRCUIT CONDUCTORS ARE LOCATED.
    - THE BEDROOM BRANCH CIRCUIT CONDUCTORS SHALL BE PERMANENTLY IDENTIFIED AT THE POINT OF ENTRY TO THE PANEL BOARD.
    - THE AFCI BREAKER SHALL BE A LISTED AND APPROVED DEVICE INSTALLED IN AN APPROVED PANEL BOARD IN ACCORDANCE WITH ITS LISTING.
    - OTHER OUTLETS WITHIN THE DWELLING UNIT MAY BE CONNECT TO THE AFCI PROTECTED BRANCH CIRCUIT; HOWEVER, THE SAME WIRING METHODS AS REQUIRED ABOVE FOR BEDROOMS SHALL BE USED.
17. PROVIDE R-13 INSULATION AT 2x4 WALLS, R-19 AT 2x6 WALLS AND INSULATION UNDER FLOOR, R-30 INSULATION AT ROOF OR AS REQUIRED BY TITLE 24 ENERGY CALCULATIONS.
18. DOMESTIC RANGE AND COOK TOP UNIT INSTALLATION PER MFR.'S INSTRUCTIONS AND VENTS SHALL MEET REQUIREMENTS OF CMC 504.3 AND COMPLY WITH CMC TABLE 403.7.
19. SMOOTH FINISH AT ALL GYPBOARD WALL AND SOFFIT TYPICAL. FINISH TO MATCH #4 FINISH, NO ORANGE PEEL, NO TEXTURE. TYP ALL FINISHES.
20. ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING PER CBC 1204.1
21. RADIATOR PANEL LOCATIONS TO BE CONFIRMED ON SITE WITH OWNER, G.C. DESIGN BUILD SYSTEM, & G.C. & PLUMBING CONTRACTOR.

LIGHTING ENERGY REQUIREMENTS:

LIGHTING PER CEC 150.0(k) AND CEC TABLE 150.0-A

150.0(k)1A: LUMINAIRE EFFICACY. ALL INSTALLED LUMINAIRES MUST BE HIGH EFFICACY IN ACCORDANCE WITH CEC TABLE 150.0-A.

150.0(k)1C: RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS. LUMINAIRES RECESSED INTO CEILINGS MUST MEET ALL OF THE REQUIREMENTS FOR INSULATION CONTACT (IC) LABELING; AIRE LEAKAGE; SEALING; MAINTENANCE; AND SOCKET AND LIGHT SOURCE AS DESCRIBED IN 150.0(k)1C. A JA8-2016-E LIGHT SOURCE RATED FOR ELEVATED TEMPERATURE MUST BE INSTALLED BY FINAL INSPECTION IN ALL RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS.

150.0(k)2A-2L: INTERIOR SWITCHES AND CONTROLS. EXHAUST FANS MUST BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS. LUMINAIRES MUST BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF. CONTROLS AND EQUIPMENT MUST BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. NO CONTROL MUST BYPASS A DIMMER OR VACANCY SENSOR FUNCTION IF THE CONTROL IN INSTALLED TO COMPLY WITH 150.0(k).

IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES MUST BE CONTROLLED BY A VACANCY SENSOR. DIMMERS OR VACANCY SENSORS MUST CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8, EXCEPT LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET AND LUMINAIRES IN HALLWAYS. UNDERCABINET LIGHTING MUST BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.

150.0(k)3A-3D: RESIDENTIAL OUTDOOR LIGHTING. FOR SINGLE-FAMILY RESIDENTIAL BUILDINGS, OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING, OR TO OTHER BUILDINGS ON THE SAME LOT, MUST MEET THE REQUIREMENT IN ITEM 150.0(k)3Ai (ON AND OFF SWITCH) AND THE REQUIREMENTS IN EITHER ITEM 150.0(k)3Aii (PHOTOCELL AND MOTION SENSOR) OR ITEM 150.0(k)3Aiii (PHOTO CONTROL AND AUTOMATIC TIME SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR EMCS).

FOR LOW-RISE MULTIFAMILY RESIDENTIAL BUILDINGS, OUTDOOR LIGHTING FOR PRIVATE PATIOS, ENTRANCES, BALCONIES, AND PORCHES; AND OUTDOOR LIGHTING FOR RESIDENTIAL PARKING LOTS AND RESIDENTIAL CARPORTS WITH LESS THAN EIGHT VEHICLES PER SITE MUST COMPLY WITH EITHER 150.0(k)3A OR WITH THE APPLICABLE REQUIREMENTS IN 110.9, 130.2, 130.4, 140.7 AND 141.0.

FOR LOW-RISE RESIDENTIAL BUILDINGS WITH FOUR OR MORE DWELLING UNITS, OUTDOOR LIGHTING NOT REGULATED BY 150.0(k)3B OR 150.0(k)3D MUST COMPLY WITH THE APPLICABLE REQUIREMENTS IN 10.9, 130.2, 130.4, 140.7 AND 141.0.

150.0(k)6A-6B: INTERIOR COMMON AREAS OF LOW-RISE MULTI-FAMILY RESIDENTIAL BUILDINGS. WHERE THE TOTAL INTERIOR COMMON AREA IN A SINGLE BUILDING EQUALS 20% OR LESS OF THE FLOOR AREA, PERMANENTLY INSTALLED LIGHTING FOR THE INTERIOR COMMON AREAS IN THAT BUILDING MUST BE HIGH EFFIFACY LUMINAIRS AND CONTROLLED BY AN OCCUPANT SENSOR. WHERE THE TOTAL INTERIOR COMMON AREA IN A SINGLE BUILDING EQUALS MORE THAN 20% OF THE FLOOR AREA, PERMANENTLY INSTALLED LIGHTING IN THAT BUILDING MUST
i. COMPLY WITH THE APPLICABLE REQUIREMENTS IN 110.9, 130.0, 130.1, 140.6 AND 141.0; AND
ii. LIGHTING INSTALLED IN CORRIDORS AND STAIRWELLS MUST BE CONTROLLED BY OCCUPANT SENSORS THAT REDUCE THE LIGHTING POWER IN EACH SPACE BY AT LEAST 50%. THE OCCUPANT SENSORS MUST BE CAPABLE OF TURNING THE LIGHT FULLY ON AND OFF FROM ALL DESIGNED PATHS OF INGRESS AND EGRESS.

DRAWING LEGEND:

EXISTING WALLS

NEW WALL

1-HR RATED WALL

GRAPHIC SCALE

2 5 10

N

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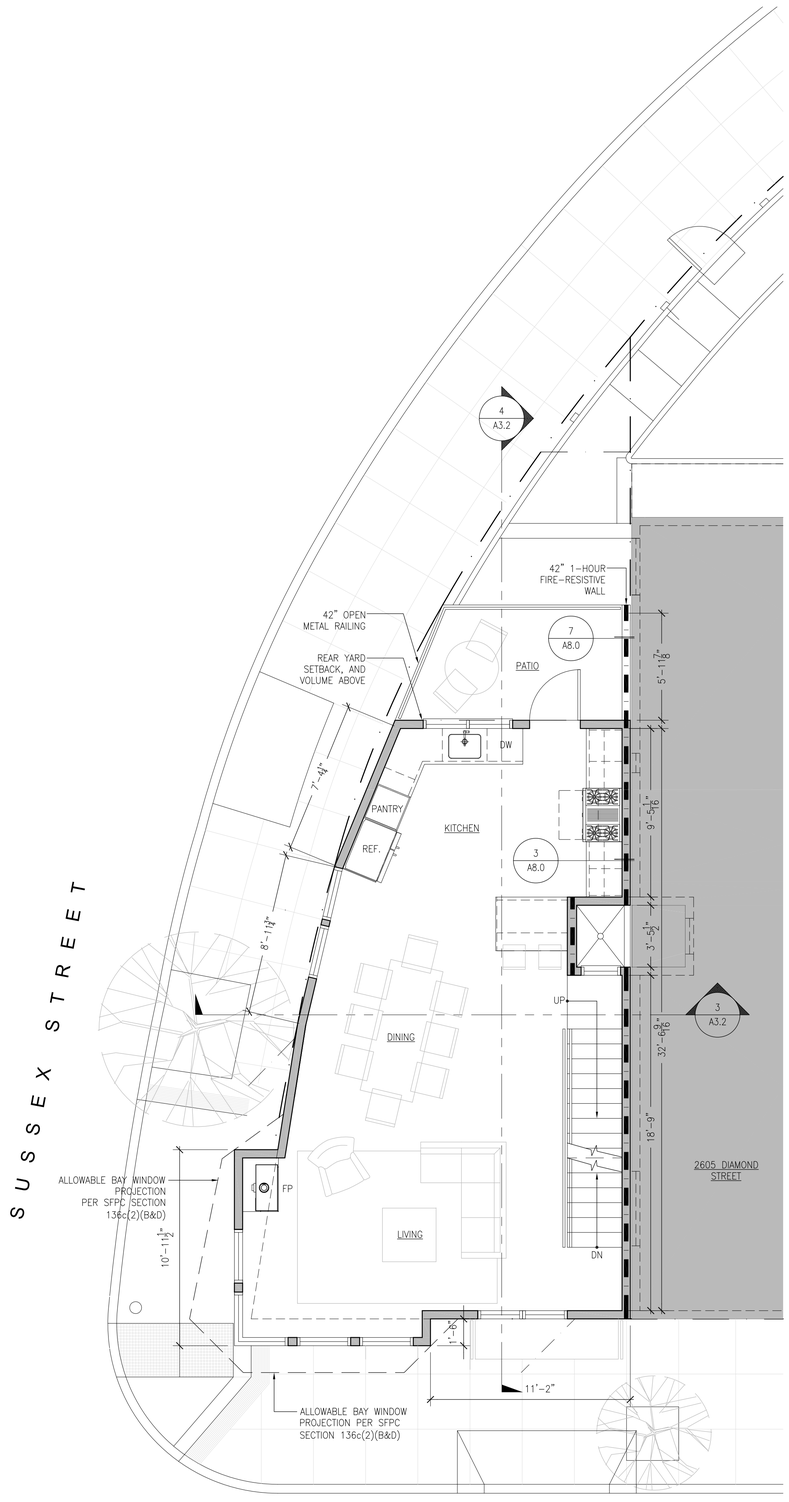
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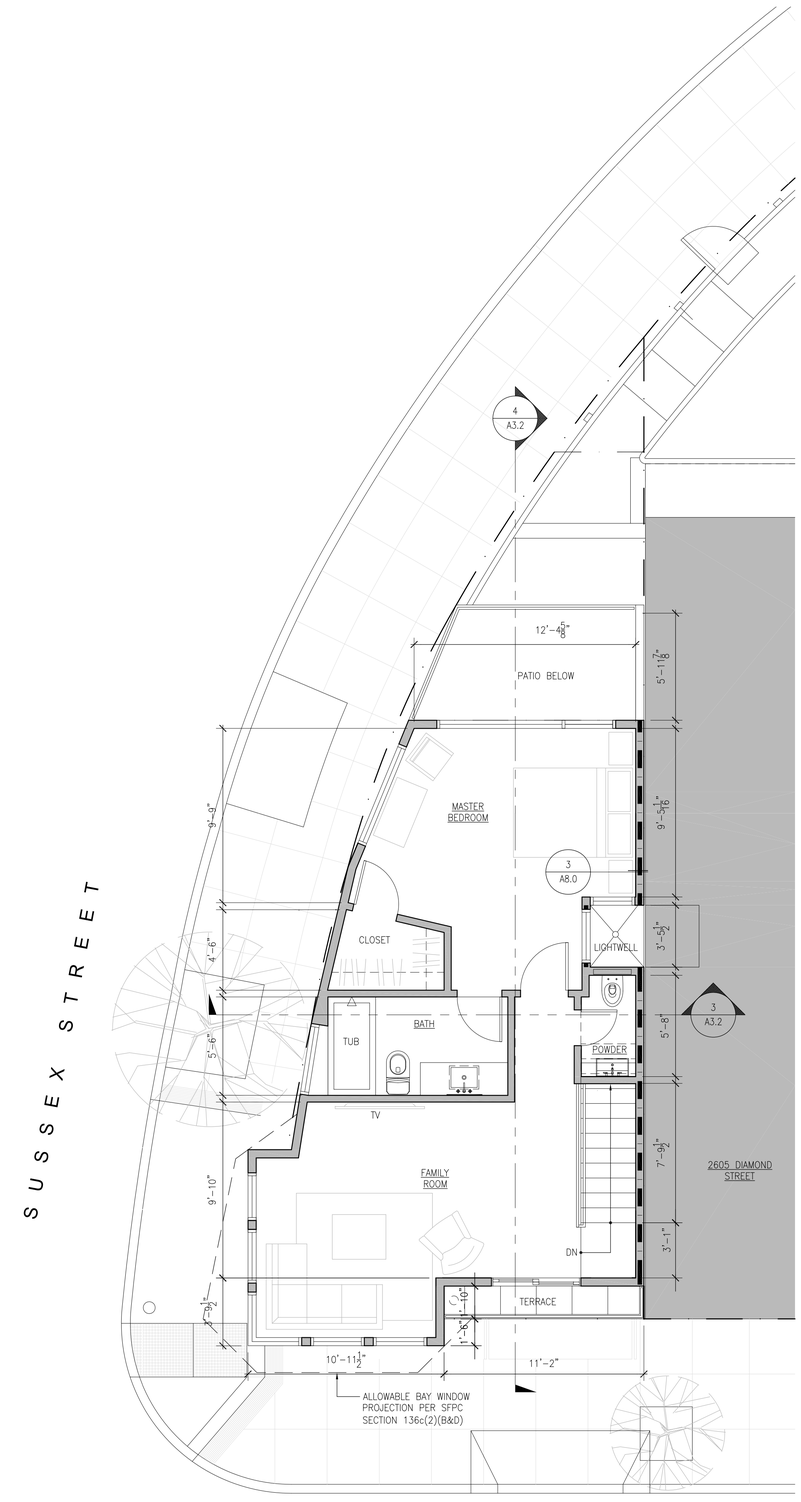
PROPOSED FLOOR PLANS

A2.0



1 PROPOSED SECOND FLOOR PLAN

SCALE: 1/4"= 1'-0"



2 PROPOSED THIRD FLOOR PLAN

SCALE: 1/4"= 1'-0"

KEYNOTES:

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3. (N) WINDOW. MINIMUM U-VALUE PER TITLE 24 REQUIREMENTS TABLE 116A AND S.H.G.C. PER TABLE 116B, U MAX=0.32 AND REQUIREMENTS OF TITLE 24 CALCULATIONS.
4. WINDOW TO MEET REQUIREMENTS FOR RESCUE WINDOW: 20" CLEAR WIDTH, 24" CLEAR HEIGHT, 5.7 SQ. FT. MIN. 44" A.F.F.
5. PROVIDE A MIN. 200 SQUARE INCH VENTILATION OUTLET IN THE GARAGE WALLS OR EXTERIOR DOORS PER SFBC 406.3.7.
6. PROVIDE MOISTURE RESISTANT GYP BOARD AT BATHROOM WALLS AND SOFFIT, PRIMED AND PAINTED PER OWNER SELECTION. PROVIDE CEMENTITIOUS BACKING BOARD WHERE REQ'D FOR TILE INSTALLATION. ASSEMBLIES PER TILE COUNCIL OF AMERICA STANDARD DETAILS.
7. (N) GLASS IN DOORS SHALL BE SAFETY GLAZING PER CBC 2406. WINDOWS WITHIN 24" OF DOOR SHALL BE SAFETY GLAZING PER CBC 2406.3
8. EXHAUST FAN TO PROVIDE MIN. 5 AIR CHANGES PER HOUR AND PER REQUIREMENTS OF TABLE 403.7 AND SOURCE OF MAKE-UP AIR. MECHANICAL CONTRACTOR TO SIZE AND SUBMIT CUTSHEET FOR APPROVAL PRIOR TO INSTALLATION (50 CFM MIN.).
9. HARDWIRED SMOKE ALARM WITH BATTERY BACKUP. ALL NEW SMOKE ALARMS TO COMPLY WITH CBC SECTIONS: 907.2.10.1.2 FOR LOCATION, 907.2.10.2 TO BE HARD-WIRED WITH BATTERY BACKUP, 907.2.10.3 FOR INTERCONNECTION.
10. PROVIDE CA STATE FIRE MARSHALL APPROVED CARBON MONOXIDE ALARM OUTSIDE OF EACH SLEEPING AREA AND ON EACH LEVEL. ALARMS TO BE HARDWIRED WITH BATTERY BACKUP. MAY BE COMBINED SMOKE/CARBON MONOXIDE ALARM.
11. DIRECT VENT APPLIANCES SHALL BE VENTED ACCORDING TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SHALL COMPLY WITH CMC 802.2.4 & SFMC 802.2.4
    GAS VENT TERMINATION PER CMC 802.6. & SFMC 802.6.2
    THROUGH WALL VENT TERMINATION PER SFMC 802.8
12. STEEL DUCTS NOT LESS THAN 0.019 IN. IN DUCT THICKNESS AND NO OPENINGS IN GARAGE PER CBC 406.3.4.3
13. PROVIDE COMBUSTION AIR OPENING FROM OUTSIDE FOR FURNACES AND WATER HEATERS PER CMC 701.10(3), 701.10(6), CMC 701.10(7) AND ALL OTHER APPLICABLE CODES. COMBUSTION AIR SHALL MEET THE REQUIREMENTS OF CMC CHAPTER 7.
14. WASHER/DRYER. PROVIDE UTILITY CONNECTION BOX WITH 2-125V AND 1-250V OUTLETS. EXHAUST SHALL BE A MIN. OF 4" ø DUCT, TERMINATE TO THE OUTSIDE OF THE BUILDING 3' FROM ANY OPENING OR PL PER CMC 504.5, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER, AND MEET THE REQUIREMENTS OF CMC 504.4. PROVIDE 100 SQ.IN. MIN. MAKE-UP AIR OPENING FOR DOMESTIC DRYERS.
15. 1-HR FIRE RATED CEILING UNDER STAIR.
16. AN ARC-FAULT CIRCUIT INTERRUPTER SHALL PROTECT ALL RECEPTACLES IN DWELLING AREAS WITH BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE 15 AND 20-AMPERE RECEPTACLE OUTLETS. 2013 CEC SECTION 210-12(b). ARC FAULT CIRCUIT INTERRUPTER REQUIREMENTS:
    - THE BEDROOM BRANCH CIRCUIT(S) SHALL BE RUN SEPARATELY FROM ALL OTHER BRANCH CIRCUITS. THE RACEWAYS OR CABLE ASSEMBLIES SHALL NOT TERMINATE INTO ANY JUNCTION BOX (OTHER THAN THE PANEL BOARD) WHERE OTHER CIRCUIT CONDUCTORS ARE LOCATED.
    - THE BEDROOM BRANCH CIRCUIT CONDUCTORS SHALL BE PERMANENTLY IDENTIFIED AT THE POINT OF ENTRY TO THE PANEL BOARD.
    - THE AFCI BREAKER SHALL BE A LISTED AND APPROVED DEVICE INSTALLED IN AN APPROVED PANEL BOARD IN ACCORDANCE WITH ITS LISTING.
    - OTHER OUTLETS WITHIN THE DWELLING UNIT MAY BE CONNECT TO THE AFCI PROTECTED BRANCH CIRCUIT; HOWEVER, THE SAME WIRING METHODS AS REQUIRED ABOVE FOR BEDROOMS SHALL BE USED.
17. PROVIDE R-13 INSULATION AT 2x4 WALLS, R-19 AT 2x6 WALLS AND INSULATION UNDER FLOOR, R-30 INSULATION AT ROOF OR AS REQUIRED BY TITLE 24 ENERGY CALCULATIONS.
18. DOMESTIC RANGE AND COOK TOP UNIT INSTALLATION PER MFR.'S INSTRUCTIONS AND VENTS SHALL MEET REQUIREMENTS OF CMC 504.3 AND COMPLY WITH CMC TABLE 403.7.
19. SMOOTH FINISH AT ALL GYPBOARD WALL AND SOFFIT TYPICAL. FINISH TO MATCH #4 FINISH, NO ORANGE PEEL, NO TEXTURE. TYP ALL FINISHES.
20. ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING PER CBC 1204.1
21. RADIATOR PANEL LOCATIONS TO BE CONFIRMED ON SITE WITH OWNER, G.C. DESIGN BUILD SYSTEM, & G.C. & PLUMBING CONTRACTOR.

LIGHTING ENERGY REQUIREMENTS:

LIGHTING PER CEC 150.0(k) AND CEC TABLE 150.0-A

150.0(k)1A: LUMINAIRE EFFICACY. ALL INSTALLED LUMINAIRES MUST BE HIGH EFFICACY IN ACCORDANCE WITH CEC TABLE 150.0-A.

150.0(k)1C: RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS. LUMINAIRES RECESSED INTO CEILINGS MUST MEET ALL OF THE REQUIREMENTS FOR INSULATION CONTACT (IC) LABELING; AIRE LEAKAGE; SEALING; MAINTENANCE; AND SOCKET AND LIGHT SOURCE AS DESCRIBED IN 150.0(k)1C. A JA8-2016-E LIGHT SOURCE RATED FOR ELEVATED TEMPERATURE MUST BE INSTALLED BY FINAL INSPECTION IN ALL RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS.

150.0(k)2A-2L: INTERIOR SWITCHES AND CONTROLS. EXHAUST FANS MUST BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS. LUMINAIRES MUST BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF. CONTROLS AND EQUIPMENT MUST BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. NO CONTROL MUST BYPASS A DIMMER OR VACANCY SENSOR FUNCTION IF THE CONTROL IN INSTALLED TO COMPLY WITH 150.0(k).

IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES MUST BE CONTROLLED BY A VACANCY SENSOR. DIMMERS OR VACANCY SENSORS MUST CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8, EXCEPT LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET AND LUMINAIRES IN HALLWAYS. UNDERCABINET LIGHTING MUST BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.

150.0(k)3A-3D: RESIDENTIAL OUTDOOR LIGHTING. FOR SINGLE-FAMILY RESIDENTIAL BUILDINGS, OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING, OR TO OTHER BUILDINGS ON THE SAME LOT, MUST MEET THE REQUIREMENT IN ITEM 150.0(k)3Ai (ON AND OFF SWITCH) AND THE REQUIREMENTS IN EITHER ITEM 150.0(k)3Aii (PHOTOCELL AND MOTION SENSOR) OR ITEM 150.0(k)3Aiii (PHOTO CONTROL AND AUTOMATIC TIME SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR EMCS).

FOR LOW-RISE MULTIFAMILY RESIDENTIAL BUILDINGS, OUTDOOR LIGHTING FOR PRIVATE PATIOS, ENTRANCES, BALCONIES, AND PORCHES; AND OUTDOOR LIGHTING FOR RESIDENTIAL PARKING LOTS AND RESIDENTIAL CARPORTS WITH LESS THAN EIGHT VEHICLES PER SITE MUST COMPLY WITH EITHER 150.0(k)3A OR WITH THE APPLICABLE REQUIREMENTS IN 110.9, 130.2, 130.4, 140.7 AND 141.0.

FOR LOW-RISE RESIDENTIAL BUILDINGS WITH FOUR OR MORE DWELLING UNITS, OUTDOOR LIGHTING NOT REGULATED BY 150.0(k)3B OR 150.0(k)3D MUST COMPLY WITH THE APPLICABLE REQUIREMENTS IN 10.9, 130.2, 130.4, 140.7 AND 141.0.

150.0(k)6A-6B: INTERIOR COMMON AREAS OF LOW-RISE MULTI-FAMILY RESIDENTIAL BUILDINGS. WHERE THE TOTAL INTERIOR COMMON AREA IN A SINGLE BUILDING EQUALS 20% OR LESS OF THE FLOOR AREA, PERMANENTLY INSTALLED LIGHTING FOR THE INTERIOR COMMON AREAS IN THAT BUILDING MUST BE HIGH EFFICACY LUMINAIRS AND CONTROLLED BY AN OCCUPANT SENSOR. WHERE THE TOTAL INTERIOR COMMON AREA IN A SINGLE BUILDING EQUALS MORE THAN 20% OF THE FLOOR AREA, PERMANENTLY INSTALLED LIGHTING IN THAT BUILDING MUST
i. COMPLY WITH THE APPLICABLE REQUIREMENTS IN 110.9, 130.0, 130.1, 140.6 AND 141.0; AND
ii. LIGHTING INSTALLED IN CORRIDORS AND STAIRWELLS MUST BE CONTROLLED BY OCCUPANT SENSORS THAT REDUCE THE LIGHTING POWER IN EACH SPACE BY AT LEAST 50%. THE OCCUPANT SENSORS MUST BE CAPABLE OF TURNING THE LIGHT FULLY ON AND OFF FROM ALL DESIGNED PATHS OF INGRESS AND EGRESS.

DRAWING LEGEND:

EXISTING WALLS

NEW WALL

1-HR RATED WALL

GRAPHIC SCALE

2 5 10

N

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2601 DIAMOND STREET

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MJMSKALLS@ATT.NET

ISSUE:	DATE:
PRE-APPLICATION MEETING	07.13.2017
ISSUED FOR PERMIT	07.21.2017
RTD COMMENTS	04.27.2018
NOPDR #2	06.13.2018
REVISIONS PER DR REQUEST	11.14.2018

CONSULTANT

APPROVAL

LICENSED ARCHITECT TROY KASHANIPOUR C 27646 REN. 6/30/2019 STATE OF CALIFORNIA

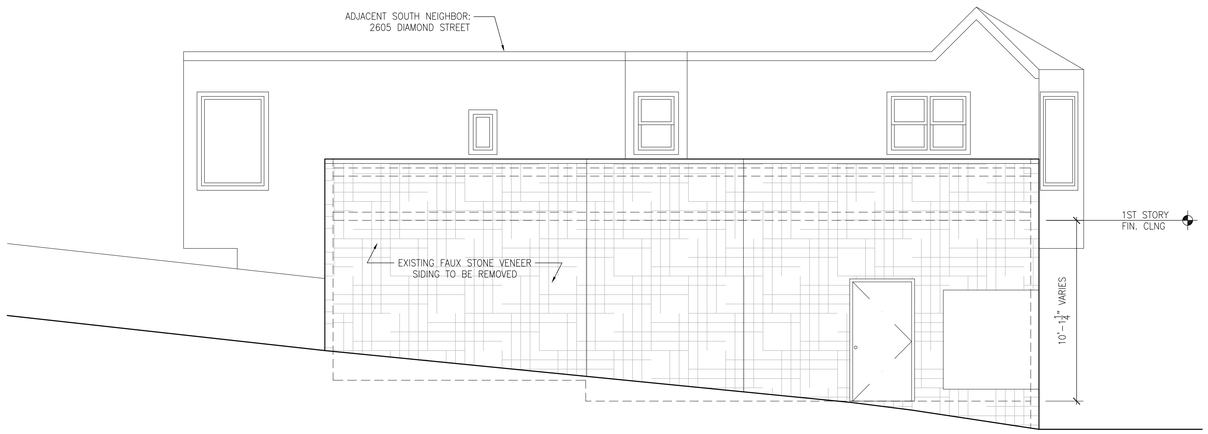
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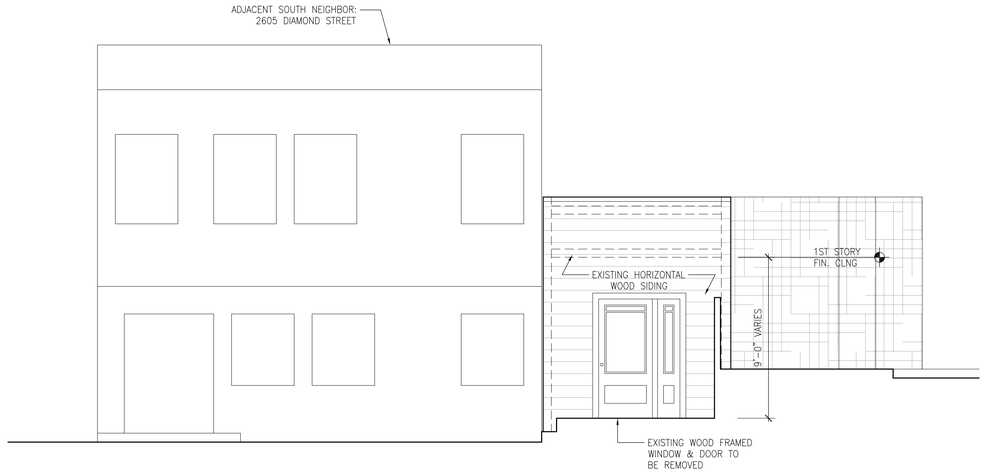
PROPOSED FLOOR PLANS

A2.1



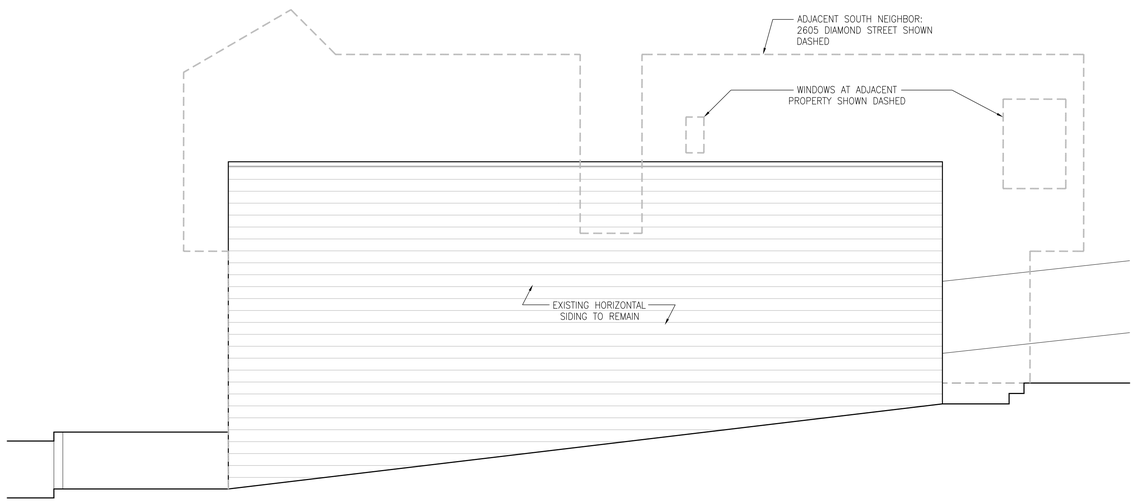
3 EXISTING NORTH ELEVATION AT SUSSEX

SCALE: 1/4"= 1'-0"



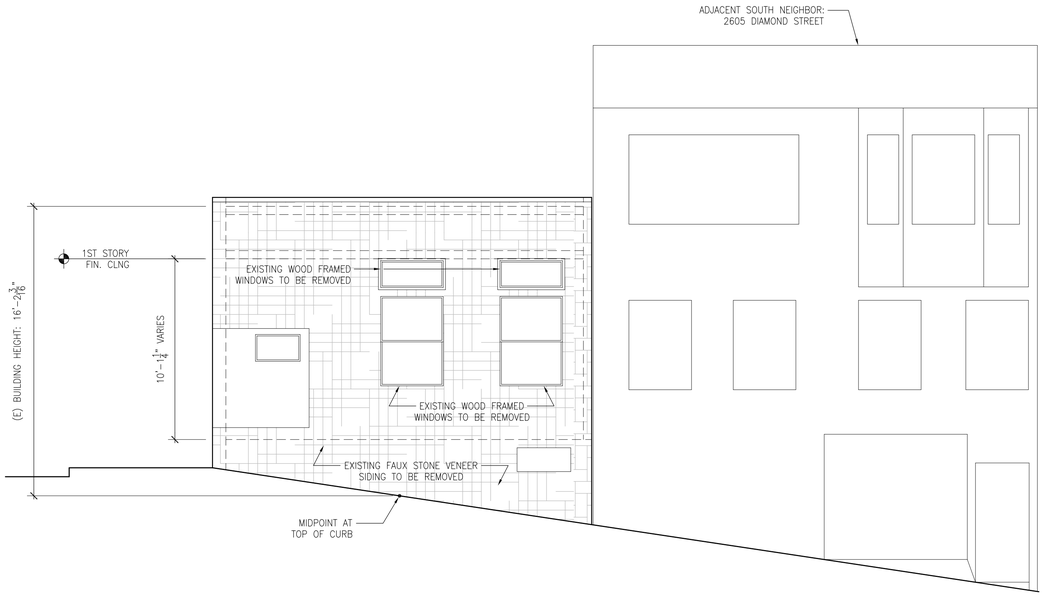
4 EXISTING EAST ELEVATION AT SUSSEX

SCALE: 1/4"= 1'-0"



1 EXISTING SOUTH ELEVATION

SCALE: 1/4"= 1'-0"



2 EXISTING WEST ELEVATION AT DIAMOND

SCALE: 1/4"= 1'-0"

2601 DIAMOND STREET

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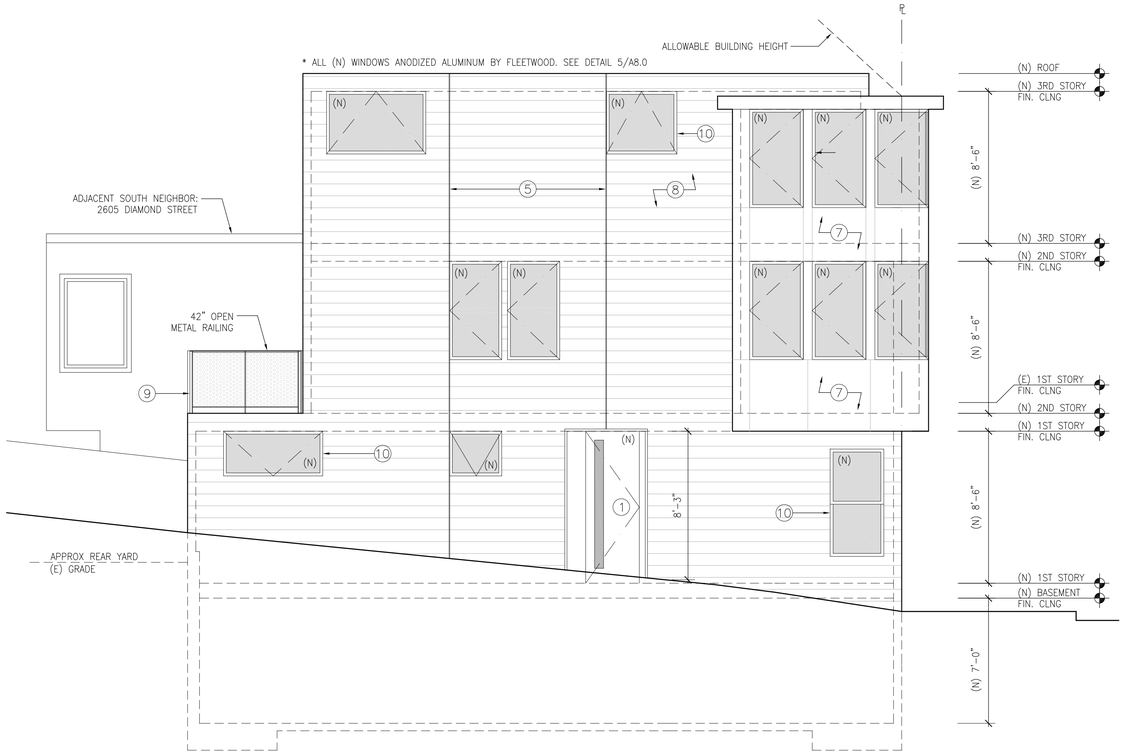
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CHECKED: TK

SCALE: 1/4" = 1'-0"

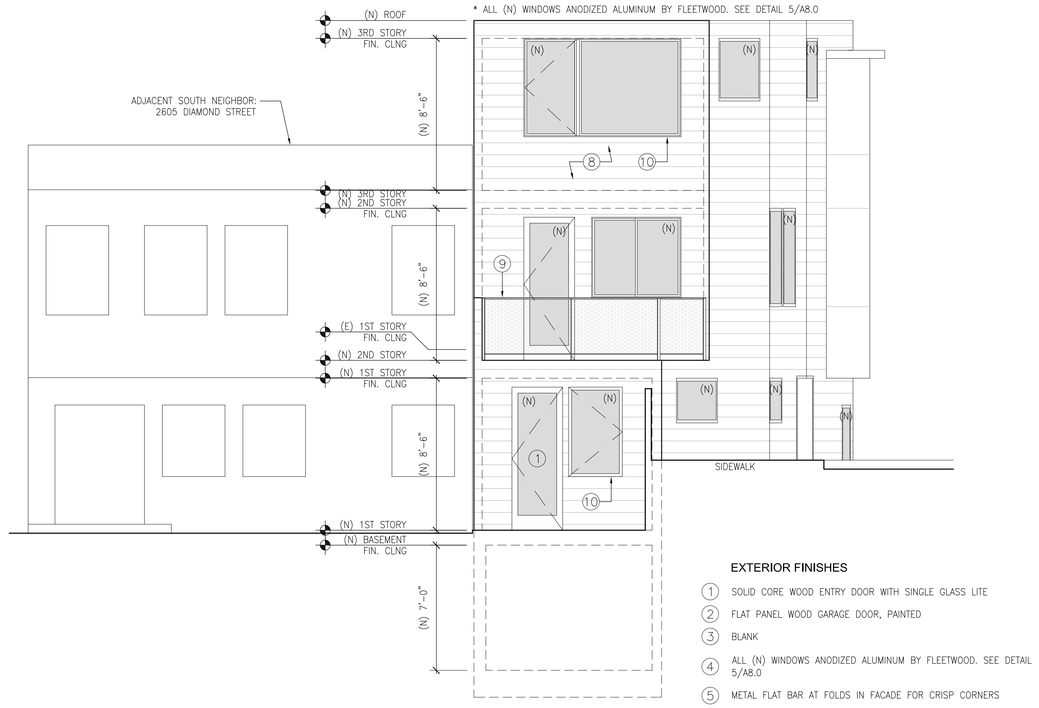
EXISTING ELEVATIONS

A3.0



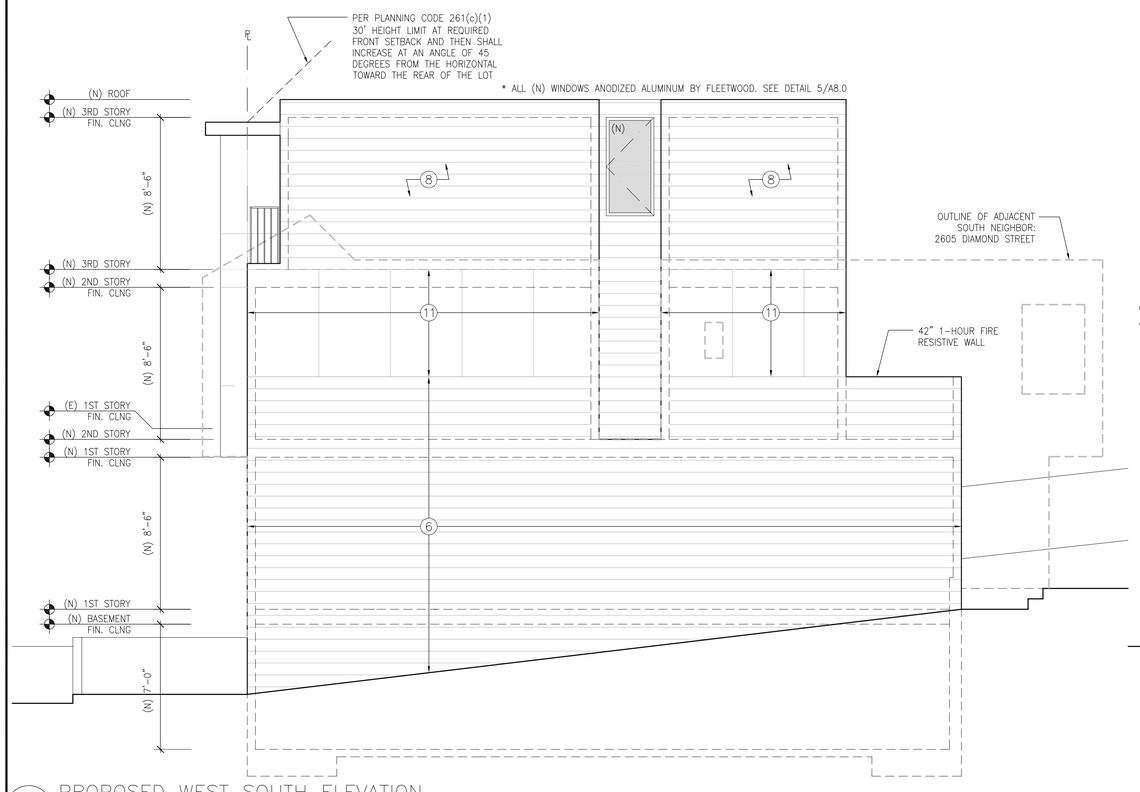
3 PROPOSED NORTH ELEVATION AT SUSSEX

SCALE: 1/4"= 1'-0"



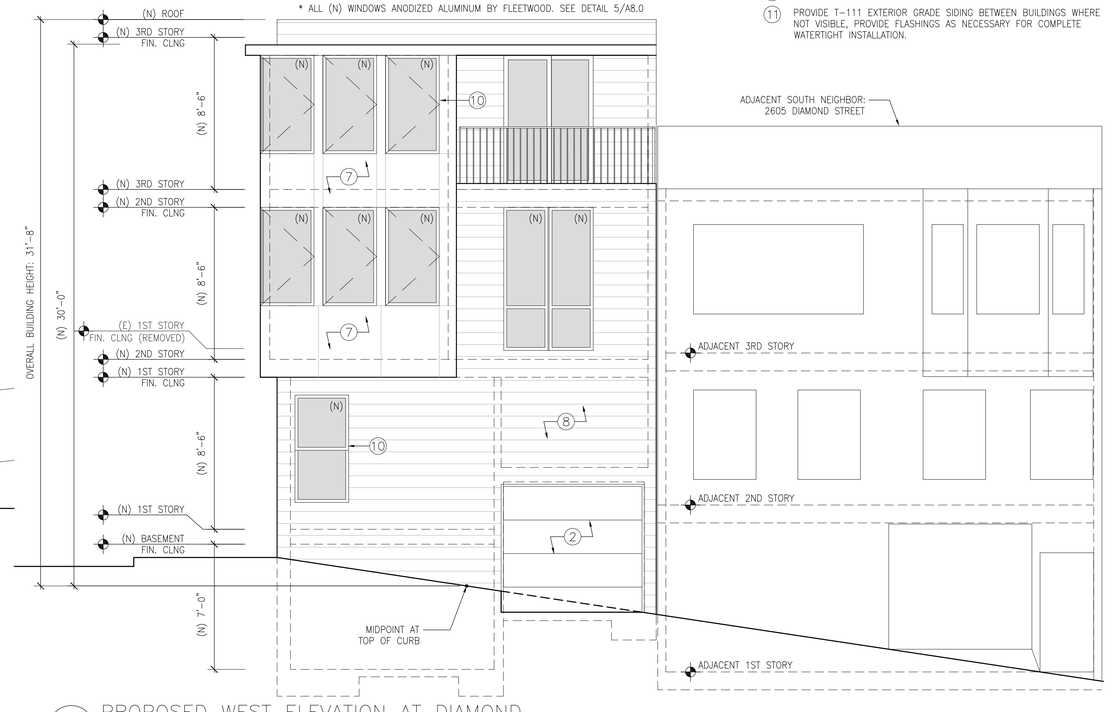
4 PROPOSED EAST ELEVATION AT SUSSEX

SCALE: 1/4"= 1'-0"



1 PROPOSED WEST SOUTH ELEVATION

SCALE: 1/4"= 1'-0"



2 PROPOSED WEST ELEVATION AT DIAMOND

SCALE: 1/4"= 1'-0"

EXTERIOR FINISHES

1. SOLID CORE WOOD ENTRY DOOR WITH SINGLE GLASS LITE
2. FLAT PANEL WOOD GARAGE DOOR, PAINTED
3. BLANK
4. ALL (N) WINDOWS ANODIZED ALUMINUM BY FLEETWOOD. SEE DETAIL 5/A8.0
5. METAL FLAT BAR AT FOLDS IN FACADE FOR CRISP CORNERS
6. EXISTING HORIZONTAL WOOD SIDING TO REMAIN
7. INTEGRALLY COLORED CEMENT PANEL, SWISS-PEARL OR EQUAL WITH OPEN JOINTS
8. HORIZONTAL WOOD SIDING
9. POWDER COATED STEEL RAILING WITH POWER COATED PERFORATED METAL INFILL PANELS
10. ANNODIZED ALUMINUM WINDOW FRAMES.
11. PROVIDE T-111 EXTERIOR GRADE SIDING BETWEEN BUILDINGS WHERE NOT VISIBLE, PROVIDE FLASHINGS AS NECESSARY FOR COMPLETE WATERTIGHT INSTALLATION.

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NOPDR #2	06.13.18
DR REVISIONS PER REQUEST	11.14.18

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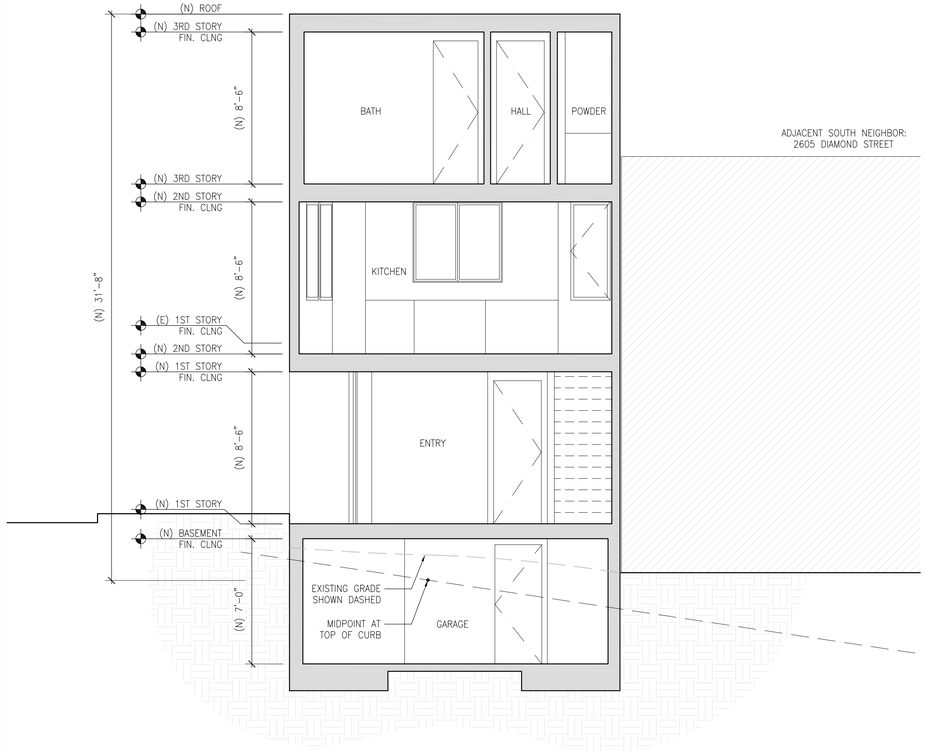
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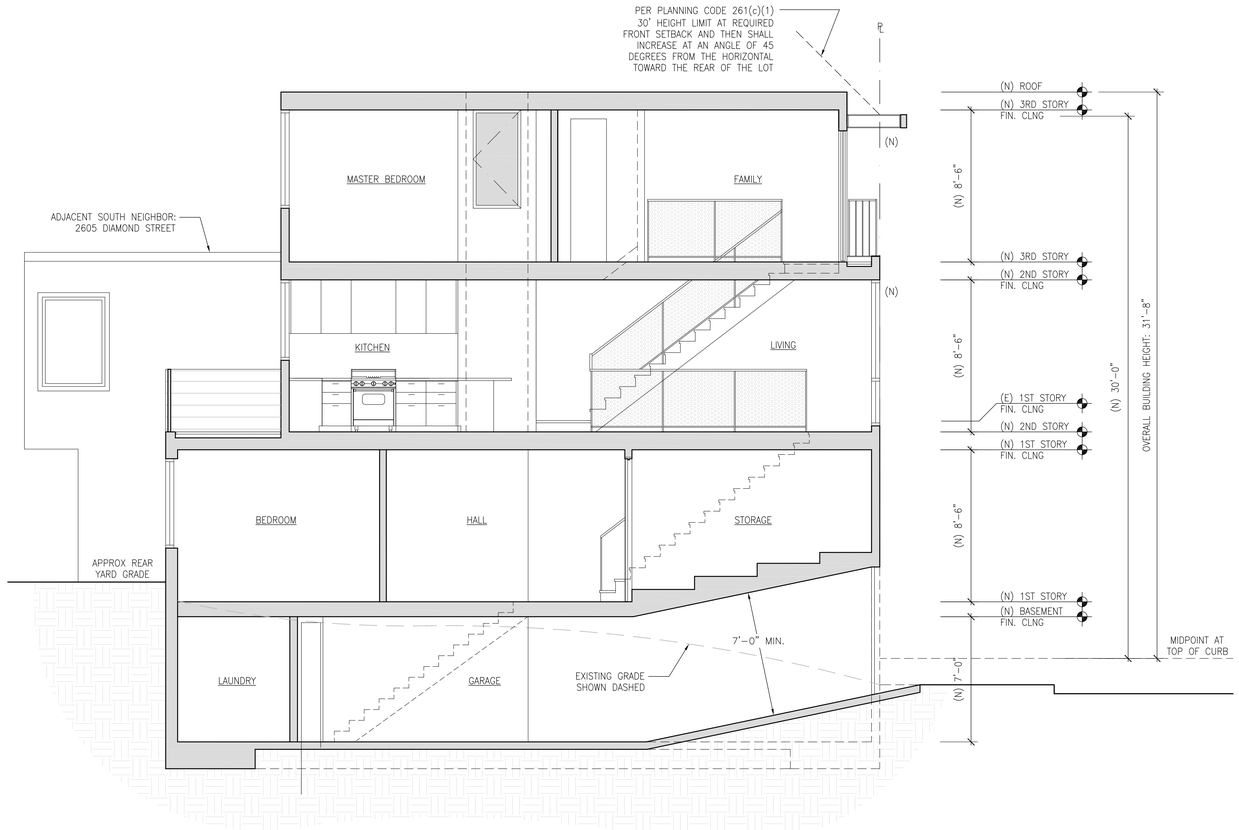
PROPOSED ELEVATIONS

A3.1



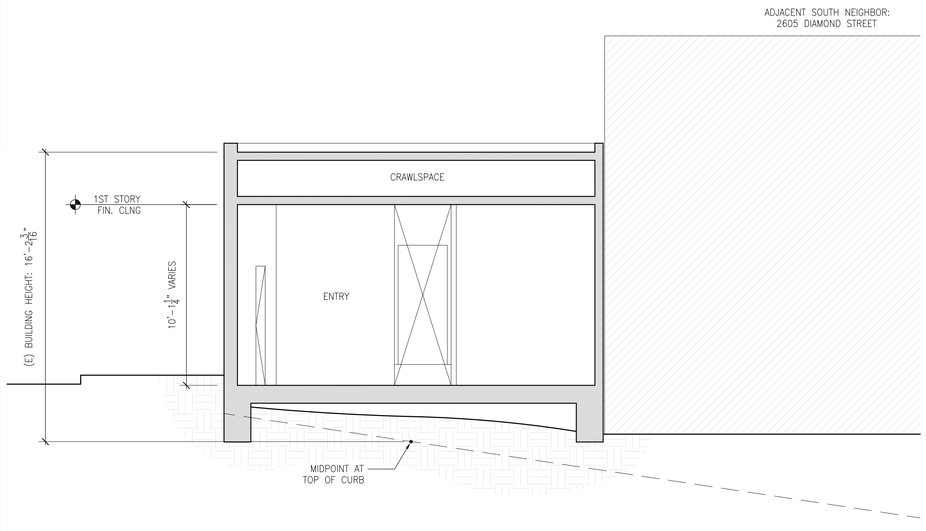
3 PROPOSED LATERAL SECTION LOOKING EAST

SCALE: 1/4"= 1'-0"



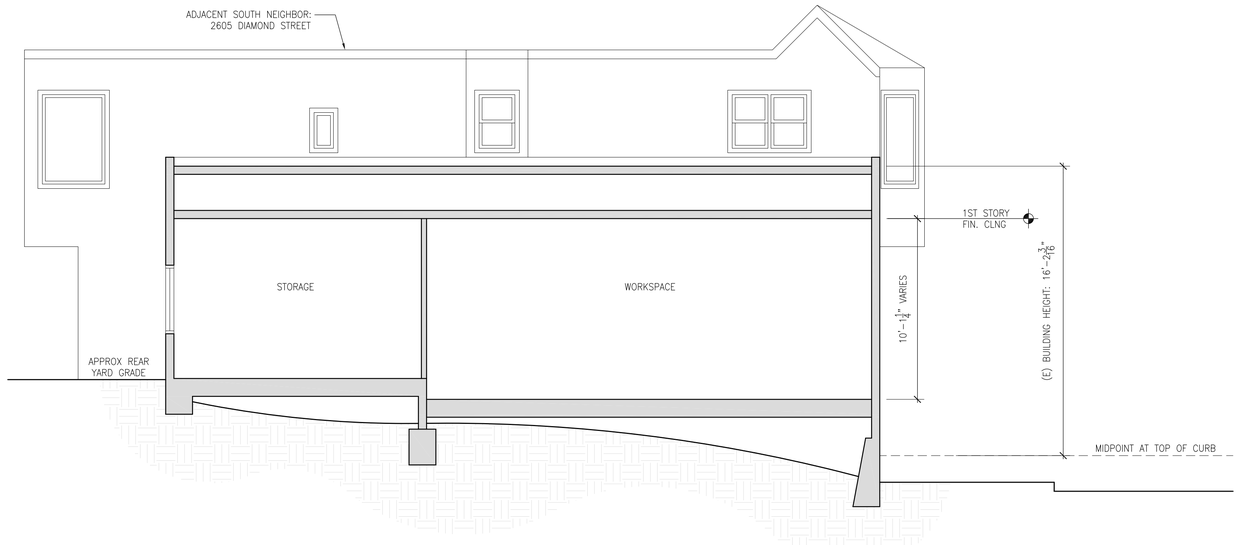
4 PROPOSED LONGITUDINAL SECTION LOOKING SOUTH

SCALE: 1/4"= 1'-0"



1 EXISTING LATERAL SECTION LOOKING EAST

SCALE: 1/4"= 1'-0"



2 EXISTING LONGITUDINAL SECTION LOOKING SOUTH

SCALE: 1/4"= 1'-0"

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CHECKED: TK

SCALE: 1/4" = 1'-0"

EXISTING & PROPOSED BUILDING SECTIONS

A3.2


NO PARKING
9 A.M. to 11 A.M.
STREET CLEANING
4 HOUR
9 A.M. to 5 P.M.
MON THRU FRI


2605
2607


DIAMOND
STOP
STOP




ROOFLINE OF 3 STORY BUILDINGS FOLLOWS UPWARD PROFILE OF STREET
STOP
SUSSEX
STOP
2607

Post DR Revision Summary 11/15/2018:

After the DR was filed David Windslow coordinated a meeting on 10/23018.

In attendance were:

- The DR filer Kyle Mach
- David Windslow of Residential Design Advisory Team of the Planning Department
- Architect Troy Kashanipour
- Owner Mark Walls on behalf of the the Walls Family Trust.

The Owner agreed to have the Architect study some additional options to address DR filers concerns including:

1. The relatively flat wall condition of the Diamond Street Façade
2. The lack of windows and activation of the Diamond Street Façade.
3. The design as a corner building.

The Architect produced a revised design with the following attributes:

1. It reduces the massing with the small setback at the south side of the property of the 3rd floor.
2. It provides animation and activation of the facade with additional windows
3. It reduces the apparent volume of the bay.
4. It more directly addresses the corner condition by creating a corner bay as recommended in the Residential Design Guidelines page 19-20.

The Design was provided to the DR filer on 11/13/2018 and was rejected as not meeting all of the demands outlined including the elimination of the 3rd story.

Neighborhood Context: A 3 story Building is consistent with other 3 and 4 story homes in the immediate blocks surrounding the 2601 Diamond Street as illustrative in photos from the Diamond, Sussex and Surrey Streets.

























View of Glen Park from Sussex Street

The proposed building at 2601 Diamond fits well within the context of Diamond Street and within the larger context of Glen Park. The project height, scale, and massing is consistent with any number of older and new three-story residential buildings constructed as infill between buildings or as corner lot conditions.

From: Alex Martin <builderalm@gmail.com>
Sent: Tuesday, November 13, 2018 8:53 PM
To: Flores, Veronica (CPC); Winslow, David (CPC)
Subject: 2601 Diamond St.

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Hi Veronica and David,

The DR on this proposed project was brought to my attention by a neighborhood email list. I live around the corner on Lippard Ave.

2601 is a blighted property, with ugly fake stone siding. I think the proposed rendering of the remodel and addition would be an excellent use of this corner lot. The design relates well to the property next door. And is attractive and modern.

I sincerely hope this project can proceed as designed.

Alex Martin
A L Martin Construction, Inc.
Lic.# 852092
38 Lippard Ave
San Francisco, CA 94131
415.867.4551
almconstruction.com

Flores, Veronica (CPC)

From: Tina Prestino <tina.parris@gmail.com>
Sent: Friday, November 16, 2018 10:44 PM
To: Flores, Veronica (CPC); Winslow, David (CPC)
Subject: Concerns about development of 2601 Diamond St

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Hi Veronica & David,

I'm a resident of Glen Park, and our home at 2614 looks onto 2601 Diamond St. I'm rather concerned about a number of features of the plan for 2601. I plan to attend the meeting on Nov 29, and wanted to share this letter to formally express my concerns.

I would argue a number of design principles stated in the guidebook are not being followed:

- **Ensure that the building's scale is compatible with surrounding buildings.**
  - The home will stand taller than any other house on the block, and it's at the top of the hill
- **Ensure that the building respects the mid-block open space.**
  - The plan adds a driveway directly in front of a bus stop on a very busy section of the street, where buses, trucks and cars already have a difficult time maneuvering
  - I haven't done my own measurements, but am surprised a garage would fit on that corner, as there is also a post office box right on the corner
- **Maintain light to adjacent properties by providing adequate setbacks.**
  - The structure will block the existing windows at 2605 and impact the light in the neighboring yards
  - The height will impact light to various properties on that block and likely other houses on Sussex St

I'm also concerned the driveway plan will cause significant issue with the traffic on Diamond St. Already today, the street is tight, where 2 lanes of traffic barely fit when cars are parked on both sides of the street, which is legal. If a bus and a truck are going in opposite directions, one needs to pull over to allow the other to pass. That intersection of Diamond & Sussex adds another layer of complication because it's a bus stop. I'm not sure if this is something that impacts your piece of the review process, but I want to make sure I call attention to that as well.

I am supportive of work being done at the 2601 properly, because it is vacant, and the building clearly needs updating and repair. I'm hopeful there is a modified design that can address the design principles issues and traffic concerns.

Thanks for your time and attention.

Tina Prestino