



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: MARCH 1, 2018

Date: February 22, 2018
Case No.: **2017-008334CUA**
Project Address: **4230 18th STREET**
Zoning: Castro Street NCD (Neighborhood Commercial)
40-X Height and Bulk District
Block/Lot: 2648/019
Project Sponsor: 4230 18th St. Partners, LP
c/o Daniel Frattin
Reuben, Junius & Rose
One Bush Street, Suite 600
San Francisco, CA 94104
Staff Contact: Jeffrey Horn – (415) 575-6925
jeffreyhorn@sfgov.org
Recommendation: **Approval with Conditions**

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PROJECT DESCRIPTION

The project sponsor proposes the demolition of the existing two-story-plus-mezzanine, 31'-6" tall, 3,111-square-foot commercial building and the construction of a new four-story, 40 foot tall, 5,625 square foot commercial building. The new building will contain a 3,825 square foot tourist hotel with 12 guestrooms and a 1,800 square foot restaurant use at the ground floor. To allow for continuous retail frontage at the ground-floor, no off-street parking or loading will be provided, but the project includes five Class 2 bicycle parking spaces.

SITE DESCRIPTION AND PRESENT USE

The project is located on the north side of 18th Street between Diamond and Collingwood Streets, Block 2648, Lot 019. The property is located within the Castro Street NCD (Neighborhood Commercial) District, and 40-X height and bulk district. The subject property is a rectangular lot (25 feet wide by 75 feet deep) located midblock on 18th Street. The property is developed with a two-story-plus mezzanine commercial building, which is occupied by a limited restaurant (d.b.a. "Bite Me Sandwiches").

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is located in an area of mixed-use in character and on a corridor composed primarily of ground floor commercial/retail uses with residential uses on the upper floors. The site is one block to the west of Castro Street, the main thoroughfare of the Castro Street NCD. This portion of 18th Street consists of several restaurants to the west of the Property, with a few residential buildings located to the east of the Property. Directly across the street is a large grocery store (d.b.a. "Molly Stone"), with

restaurants, neighborhood-serving retail stores, and residential uses on the remainder of the block. A variety of commercial establishments are located within ground floor storefronts in the Castro Street NCD, including the Castro Theatre, banks, restaurants, apparel stores, personal service, and other types of retailers. Buildings in the vicinity typically range from one to three stories over garage in height.

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	February 9, 2018	February 9, 2018	20 days
Posted Notice	20 days	February 9, 2018	February 9, 2018	20 days
Mailed Notice	20 days	February 9, 2018	February 9, 2018	20 days

The proposal requires a Section 312-neighborhood notification, which was conducted in conjunction with the conditional use authorization process.

PUBLIC COMMENT/COMMUNITY OUTREACH

To date, the Department has received six total letters in support of the proposed hotel and restaurant from the community and local business', including letters from the Castro/Upper Market Community Benefits District and the Castro Merchants. The Department has also received two letters in opposition from adjacent neighbors to the project. These letters cite concerns about construction disruption, lack of parking spaces and the compatibility of the use.

ISSUES AND OTHER CONSIDERATIONS

- EPS Consulting has prepared a hotel market study to determine the demand for an upscale, full-service hotel in the late fall of 2017. According to the study, occupancy rates for all lodging in the City have recovered beyond pre-recession heights and reached new peaks in 2016 at about 85.5 percent. The demand comes from business travelers, but also from demand from younger travelers coming to San Francisco, who favor unique smaller scale hotels. Over the last decade, the hotel net supply growth has been generally limited, with the majority of the activity focused on hoteliers renovating existing properties to reposition as high-end boutique hotels. However, there has not been any development of new small-scale boutique hotels in the City, such as the proposed hotel on 18th Street. In summary, there is a strong market demand for hotel uses in the Bay Area and in the City of San Francisco.

San Francisco also ranks among the top global destinations for LGBT tourism. The Castro, one of the country's first LGBT neighborhoods, is a major draw for its historic landmarks, nightlife, and year-round cultural events. Despite this, the neighborhood has only two hotels, located on the periphery of the Castro on Market Street. A small hotel in the heart of the Castro will have unique appeal, and

there is ample market demand for it. In summary, the proposed 12-room hotel at 18th Street will provide a new, unique model that will serve a much-needed segment of the tourist population in San Francisco.

The site is appropriate for a new hotel. As noted above, there is strong demand for hotel rooms in San Francisco, driven both by business travel and tourism. There are no hotel uses in the Castro Street NCD, which is a popular destination. It will therefore bring new rooms to an underserved market and will not result in an overconcentration of hotel uses. The project capitalizes on the existing infrastructure in place, including numerous public transit options, to serve tourist and business guests.

- The Commerce and Industry Element of the General Plan contains Guidelines that discourage the overconcentration of eating and drinking establishments within NCD's. The property is currently occupied with a Bona-Fide eating and drinking use that has an ABC license type 41. The Project Sponsor is seeking Conditional Use Authorization to establish a Restaurant with an ABC license type 47. The proposed Restaurant will operate as a Bona Fide Eating Place as defined by Section 102 above. As noted elsewhere in this motion, a restaurant use is necessary and desirable and a Type 47 license will support its viability.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant conditional use to establish a new tourist hotel use with up to 12 guestrooms, to allow the hotel to exceed the permitted use size limit of 1,999 square feet, to replace an existing restaurant use at the ground floor, and to allow the hotel and restaurant uses to exceed the permitted hours of operation within the Castro Street NCD (Neighborhood Commercial) and a 40-X Height and Bulk District, pursuant to Planning Code Sections 102, 121.2, 303, and 715.

BASIS FOR RECOMMENDATION

- The project proposes a hotel use within a District that supports smaller-scaled hotel uses and tourist uses.
- The project provides a hotel use in a City and Region with high market demand for hotel uses.
- The project incorporates massing and site design that is consistent with the surrounding context.
- The project is serviced by MUNI light rail and bus lines.
- The project provides five Class 2 bicycle parking spaces, and does not provide any off-street automobile parking.
- The project meets all applicable requirements of the Planning Code.
- The project is desirable for, and compatible with the surrounding neighborhood.

RECOMMENDATION:	Approval with Conditions
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Attachments:

Block Book Map
Sanborn Map
Aerial Photographs

Executive Summary
Hearing Date: March 1, 2018

CASE NO. 2017-008334CUA
4230 18th Street

Public Correspondence
Project Sponsor Supplemental Letter
Conditional Use Application
CEQA Categorical Exemption Determination
Hotel Market Study Memo
Reduced Plan Set

Attachment Checklist

- | | |
|---|--|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input checked="" type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel Map | 3-D Renderings (new construction or significant addition) |
| <input checked="" type="checkbox"/> Sanborn Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Aerial Photo | <input type="checkbox"/> Wireless Telecommunications Materials |
| <input checked="" type="checkbox"/> Context Photos | <input type="checkbox"/> Health Dept. review of RF levels |
| <input checked="" type="checkbox"/> Site Photos | <input type="checkbox"/> RF Report |
| | <input type="checkbox"/> Community Meeting Notice |
| | <input type="checkbox"/> Housing Documents |
| | <input type="checkbox"/> Inclusionary Affordable Housing Program: Affidavit for Compliance |

Exhibits above marked with an "X" are included in this packet

JH

Planner's Initials

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SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- | | |
|--|--|
| <input type="checkbox"/> Affordable Housing (Sec. 415) | <input type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 413) | <input type="checkbox"/> Child Care Requirement (Sec. 414) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 412) | <input type="checkbox"/> Public Art (Sec. 429) |

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Planning Commission Draft Motion

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ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 102, 121.2, 715, AND 303 OF THE PLANNING CODE TO ESTABLISH A NEW TOURIST HOTEL WITH UP TO 12 GUESTROOMS WHICH EXCEEDS THE PRINCIPALLY PERMITTED USE SIZE LIMIT OF 1,999 SQUARE FEET, A RESTAURANT USE AND BONA-FIDE EATING PLACE WITH A TYPE 47 ABC LICENSE AT THE GROUND FLOOR, AND TO ALLOW THE HOTEL USE TO EXCEED THE PRINCIPALLY PERMITTED HOURS OF OPERATION WITHIN THE CASTRO STREET NCD (NEIGHBORHOOD COMMERCIAL) DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PREAMBLE

On July 20, 2017, Daniel Frattin, on behalf of 4230 18th Street Partners, LP (hereinafter "Project Sponsor") filed an application with the Planning Department (hereinafter "Department") for a Conditional Use Authorization under Planning Code Section(s) 102, 121.2, 303, and 715 to establish a new tourist hotel use with up to 12 guestrooms, to allow the hotel to exceed the permitted use size limit of 1,999 square feet, to replace an existing restaurant use at the ground floor, and to allow the hotel and restaurant uses to exceed the permitted hours of operation within the Castro Street NCD (Neighborhood Commercial) and a 40-X Height and Bulk District.

On March 1, 2018, the San Francisco Planning Commission (hereinafter “Commission”) conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2017-008334CUA.

The Planning Department, Jonas Ionin, is the custodian of records, located in the File for Case No. 2017-008334CUA at 1650 Mission Street, Fourth Floor, San Francisco, California.

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 categorical exemption;

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2017-008334CUA, subject to the conditions contained in “EXHIBIT A” of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project is located on the north side of 18th Street between Diamond and Collingwood Streets, Block 2648, Lot 019. The property is located within the Castro Street NCD (Neighborhood Commercial) District, and 40-X height and bulk district. The subject property is a rectangular lot (25 feet wide by 75 feet deep) located midblock on 18th Street. The property is developed with a two-story-plus mezzanine commercial building, which is occupied by a limited restaurant (d.b.a. “Bite Me Sandwiches”).
3. **Surrounding Properties and Neighborhood.** The project site is located in an area of mixed-use in character and on a corridor composed primarily of ground floor commercial/retail uses with residential uses on the upper floors. The site is one block to the west of Castro Street, the main thoroughfare of the Castro Street NCD. This portion of 18th Street consists of several restaurants to the west of the Property, with a few residential buildings located to the east of the Property. Directly across the street is a large grocery store (d.b.a. “Molly Stone”), with restaurants, neighborhood-serving retail stores, and residential uses on the remainder of the block. A variety of commercial establishments are located within ground floor storefronts in the Castro Street NCD, including the Castro Theatre, banks, restaurants, apparel stores, personal service, and other types of retailers. Buildings in the vicinity typically range from one to three stories over garage in height.
4. **Project Description.** The project proposes the demolition of the existing two-story-plus-mezzanine, 31’-6” tall, 3,111-square-foot commercial building and the construction of a new four-story, 40 foot tall, 5,625 square foot commercial building. The new building will contain a 3,825

square foot tourist hotel with 12 guestrooms and a 1,800 square foot restaurant use at the ground floor. To allow for continuous retail frontage at the ground-floor, no off-street parking or loading will be provided, but the project includes five Class 2 bicycle parking spaces.

The hotel will occupy the upper three floors, with rooms ranging from 155 to 255 square feet, each with its own balcony. The hotel plans to feature a limited offering of amenities, but includes 24-hour concierge and daily cleaning services. Other services such as laundry, gym, and recreational activities will be provided through partnerships with local merchants and businesses. The hotel will also feature a rooftop space for use by hotel guests only. The proposed hotel will operate on a twenty-four-hour basis to accommodate the hotel guests.

The restaurant use will be located on the ground floor and operate as a bona-fide eating place with an on-sale alcohol license (ABC Type 47). The restaurant would not operate between the hours of 2:00 A.M. to 6 A.M.

5. **Public Comment.** To date, the Department has received six total letters in support of the proposed hotel and restaurant from the community and local business', including letters from the Castro/Upper Market Community Benefits District and the Castro Merchants. The Department has also received two letters in opposition from adjacent neighbors to the project. These letters cite concerns about construction disruption, lack of parking spaces and the compatibility of the use.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Floor Area Ratio.** The basic Floor Area Ratio for non-residential uses in the Castro Street NCD District is 3.0 to 1.

The subject lot is 1,875 square feet, so the permitted base FAR of 3.0 to 1 would allow the construction of a building that is 5,625 gross square feet. The project proposes a building with 5,625 total gross square feet, and is therefore compliant with the Planning Code.

- B. **Height Limit.** The project is located within a 40-X Height and Bulk District. The project height is limited to 40 feet, excluding certain rooftop features which are discussed below.

The proposed building is 40 feet in height, and is compliant with the underlying Height and Bulk District.

- C. **Height of Rooftop Appurtenances.** Planning Code Section 260(b) states that rooftop mechanical equipment and stair penthouses are limited to 10 feet in height. Elevator penthouses are limited to 16 feet in height. Parapets, railings, and landscaping are limited to four feet in height.

The project proposes two penthouses at the roof, both of which are approximately 8 feet in height and required for egress under the Building Code. There will be a stair penthouse located on the western side of the roof that will be setback approximately 17 feet, and a stair and elevator penthouse structure

on the eastern side of the roof that is setback approximately 19 feet from the front façade. Both penthouse structures will be minimally visible. There will be a glass guardrail/windscreen at the roof which will be approximately 3'-6" high.

- D. **Rear Yard.** Planning Code Sections 134 and 715 state that the minimum rear yard depth shall be equal to 25 percent of the total depth of a lot in which it is situated at the second story and above and at all residential levels in the Castro Street NCD.

The subject lot is 75 feet deep, therefore requiring a rear yard of 18'-75" deep. The proposed project does not contain any residential uses, therefore, no rear yard is required on the ground floor. The Project will have a 18'-75" setback on the second through fourth floors, which is compliant with the requirements of the Code.

- E. **Use Size.** Planning Code Sections 121.2 and 715 requires a Conditional Use Authorization for non-residential uses that exceed 1,999 square feet in size in the Castro Street NCD. Planning Code Section 121.2 requires that, with respect to an application for Conditional Use authorization for a non-residential use size exceeding 2,000 square feet in the Castro Street NCD, the Planning Commission consider the following:

1. The intensity of activity in the district is not such that allowing the larger use will be likely to foreclose the location of other needed neighborhood-serving uses in the area.

The tourist hotel use would be limited to 3,825 square feet, within the maximum permitted use size of 4,000 square feet for the district and consistent with the scale of many other non-residential uses in the neighborhood. The existing building is fully occupied at all floors (3,111 square feet) by a restaurant use; the Project will retain the restaurant use at the ground floor and reduce the overall square footage to 1,800 square feet. The restaurant space will create additional opportunities for needed neighborhood-serving retail uses.

2. The proposed use will serve the neighborhood, in whole or in significant part, and the nature of the use requires a larger size in order to function.

The proposed tourist hotel use will serve the neighborhood by accommodating area visitors. The proposed 3,825-square-foot size is small for a tourist hotel use, and further reduction in size would unreasonably limit the potential for guest room accommodations and impact operations.

3. The building in which the use is to be located is designed in discrete elements which respect the scale of development in the district.

The Project would replace the existing 31'-6" tall building with a new 40 foot tall building on an approximately 1,875-square-foot lot with just 25 feet of frontage along 18th Street. The new building would remain compatible with the scale and fine-grained character of neighboring development. There will be a distinct commercial space at the ground floor, which will house a full service restaurant use. The upper floors are distinctly designed and feature a series of window openings and balconies with wood and metal features. The overall height of the building is in keeping with the small scale character of the subject block.

- F. **Ground-Floor Ceiling Height.** For properties within the Castro Street NCD District and the 40-X Height and Bulk District, Section 145.1(c)(4) requires that ground floor non-residential uses have a minimum floor-to-floor height of 10 feet.

The project proposes a floor-to-floor height of 11'-6" feet at the ground floor. The project is compliant with Section 145.1 of the Planning Code.

- G. **Street Frontage in Neighborhood Commercial Districts.** Sections 145.1 and 715 of the Planning Code requires that within the Castro Street NCD space for active uses shall be provided within the first 25 feet of building depth on the ground floor and 15 feet on floors above from any facade facing a street at least 30 feet in width. In addition, the floors of street-fronting interior spaces housing non-residential active uses and lobbies shall be as close as possible to the level of the adjacent sidewalk at the principal entrance to these spaces. Frontages with active uses that must be fenestrated with transparent windows and doorways for no less than 60 percent of the street frontage at the ground level and allow visibility to the inside of the building. The use of dark or mirrored glass shall not count towards the required transparent area. Any decorative railings or grillwork, other than wire mesh, which is placed in front of or behind ground floor windows, shall be at least 75 percent open to perpendicular view. Rolling or sliding security gates shall consist of open grillwork rather than solid material, so as to provide visual interest to pedestrians when the gates are closed, and to permit light to pass through mostly unobstructed. Gates, when both open and folded or rolled as well as the gate mechanism, shall be recessed within, or laid flush with, the building façade.

The project is compliant with the street frontage requirements of the Code. The ground floor will be occupied by a restaurant use, with the hotel entrance located at the eastern portion of the building. There will be a second egress located at the western portion of the ground floor. The majority of the ground floor will be occupied by the full service restaurant, with the kitchen located at the rear. The storefront façade will feature folding glass window systems, with transparent glass. There will not be any decorative railings, grillwork, or wire mesh that would block visibility into the interior of the restaurant space. The ground floor has been thoughtfully designed and consists of a metal and glass system that ties into the design of the upper floors. Overall, the project meets the controls of Section 145.1.

- H. **Off-Street Parking.** Planning Code Section 715 does not require off-street parking for commercial uses below 5,000 square feet in occupied floor area.

Both the hotel and restaurant uses are below 5,000 square feet in occupied floor area. The hotel will be 3,825 square feet and the restaurant will be 1,800 square feet. As such, no off-street parking is required. The project is not proposing any off-street parking, in compliance with this Code Section.

- I. **Off-Street Loading.** Pursuant to Planning Code Sections 152 and 715, no loading spaces are required if the gross floor area is less than 10,000 square feet.

The project is proposing a 3,825 square foot hotel use and a 1,800 square foot restaurant use, for a total of 5,625 square feet. As such, no off-street loading is required.

- J. **Bicycle Parking.** For the hotel use, Section 155.3 of the Planning Code requires one Class 1 bicycle parking space for every 30 rooms, a minimum of two Class 2 spaces, and one additional Class 2 space for each 30 rooms. For the restaurant use, Section 155.2 requires one Class 1 space for every 7,500 square feet of occupied floor area, a minimum of two Class 2 spaces, plus one Class 2 spaces for every 750 square feet of occupied floor area.

The project is not required to provide any Class 1 bicycle spaces. The project is required to provide two Class 2 spaces for the hotel use and three Class 2 spaces for the restaurant use, for a total of five Class 2 spaces. The project will provide the five required spaces and is compliant with the bicycle parking requirements of the Planning Code.

- K. **Street Trees.** Under Public Works Code Section 806(c)(d), new construction projects require the installation of one street tree per 20 feet of street frontage with any remaining fraction of 10 feet or more of frontage requiring an additional tree. Existing trees on the project site, if preserved, would apply towards the street tree requirement.

The subject lot is 25 feet wide, therefore one street tree is required as a part of the project. There is a large existing tree located at the sidewalk directly in front of the subject lot, which is proposed to be retained. As such, the project is compliant with this requirement.

- L. **Hours of Operation.** Planning Code Section 715 states that businesses are permitted to operate between 6 A.M. and 2 A.M.; Conditional Use Authorization is required for maintaining hours of operation from 2 A.M. to 6 A.M.

The Project Sponsor proposes to operate the hotel on a twenty-four hour basis to accommodate the hotel guests, as common with hotel uses throughout the City. The restaurant will not operate between 2 A.M. and 6 A.M.

- M. **Better Roofs Ordinance.** Section 149 requires 15% of the total roof area as defined in Section 149 on new small and mid-sized buildings to be “solar ready,” which means the roof is unshaded by the proposed building itself, and free of obstructions. The requirement can also be met by providing 30% of the roof space as a Living Roof as defined in 149(b), or installing a combination of both solar and Living Roof. The Living Roof option allows the replacement of required solar with Living Roof at a ratio of 2 square feet of loving roof for every 1 square foot of solar.

The Project has a gross floor area of over 2,000 square feet and 10 or fewer floors so must meet these requirements. The Project will comply with the requirements by setting aside 304 square feet to be “solar ready”.

- N. **Transportation Demand Management.** Pursuant to Planning Code Section 169, Projects must comply with the TDM Program if they result in (1) ten or more Dwelling Units; (2) ten or more bedrooms of Group Housing; (3) any new construction resulting in 10,000 occupied

square feet or more of any use other than Residential; or (4) any Change of Use resulting in 25,000 occupied square feet or more of any use other than Residential, if (A) the Change of Use involves a change from a Residential use to any use other than Residential; or (B) the Change of Use involves a change from any use other than Residential, to another use other than Residential. The Project shall finalize a TDM Plan prior Planning Department approval of the first Building Permit or Site Permit.

The project consists of the construction of a new 5,625 square foot commercial building at the property. As such, it does not trigger the TDM Program. Nonetheless, the project has been designed to encourage the use of transit and cycling: it would not include any off-street parking spaces and will provide bicycle parking spaces. While not required to comply, the project meets the goals of the TDM Program.

- O. **Entertainment Commission.** The proposed hotel project is located within 300 feet of an existing Place of Entertainment (POE) and is subject to Chapter 116 of the Administrative Code.

The project is located within 300 feet of two POEs. Entertainment Commission staff determined that a hearing on the proposed project is not required under Section 116.7(b) of the Administrative Code, as the POE is not likely to create a significant disturbance for guests. The Entertainment Commission has adopted a standard set of recommended noise attenuation conditions, which have been incorporated into the conditions of approval of this Motion (Exhibit A).

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The Project is necessary and desirable for, and compatible with, the neighborhood and community. It will replace an approximately 31'-6" tall, 3,111-square-foot restaurant building at the site with a new, attractively designed, 40' tall building containing a replacement restaurant space and 12-guestroom tourist hotel.

The Castro is among the City's major tourist destinations but has only a few hotels. According to a 2015 study, out-of-town visitors to the Castro spend \$153 per day in area businesses, exclusive of transportation and lodging. The Project's 12 hotel rooms will directly support retail businesses in the neighborhood and help address the relatively high retail vacancy rate in the area. In addition to property and other taxes, a 14% transient occupancy tax on hotel rooms will fund a wide range of city services.

Development in the area represents a wide range of architectural styles, contributing visual interest to the urban landscape. The Project's modern design will add to the eclectic appeal of the neighborhood. In addition, its modest height and scale will be consistent with zoning requirements and will complement the existing mall scale, fine-grained character of development in the area.

The Project's replacement restaurant space will maintain the current range of retail options available in the area.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The proposed size and shape of the project will not be detrimental to the health, safety or welfare of residents and workers in the immediate vicinity. The proposed four-story building would be in scale with the range of building heights in the area, including the adjacent three-story-over-garage residential buildings.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The project is a three-minute walk from the Castro MUNI Metro Station in a transit-oriented commercial district with limited parking. Because of this, most hotel guests would use transit or ride-sharing services to travel to the site, as would restaurant customers coming from outside the neighborhood. Most restaurant customers coming from within the neighborhood would walk. Due to the small scale of the project and the neighborhood's access to transit, traffic volumes associated with the project would be low and similar to those presently generated by the restaurant on the site now. Existing on-street and off-street parking in the area would therefore be adequate to serve the project. The two existing commercial loading spaces in front of the property and an adjoining property would likewise be adequate to meet the limited loading needs of the project. Because the project proposes no new curb cuts, it will maintain the current pedestrian-oriented character of the property's frontage and will not create conflicts between pedestrian and vehicular traffic.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The project will comply with all applicable regulations relating to construction noise and dust. The project does not include any permanent uses that generate substantial levels of noxious or offensive emissions, such as noise, dust, or glare or odor. Any odor from the restaurant will be addressed through ventilation technologies and systems required by DBI; all efforts have been made so that the adjacent properties are not exposed to noxious odors or fumes from the restaurant.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The project includes a rooftop terrace to provide outdoor space for hotel patrons. The project will comply with the street tree requirement by retaining the mature tree on 18th Street. No off-street parking or loading is proposed.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

Section 702.1 of the Planning Code states that Neighborhood Commercial Use Districts are established for the purpose of implementing the Commerce and Industry element and other elements of the General Plan, according to the objective and policies stated therein. As described in Planning Code Section 715, the Castro Street NCD provides convenience goods to its immediate neighborhood as well as comparison shopping goods and services on a specialized basis to a wider trade area.

The Castro Street NCD controls are designed to maintain existing small-scale development and promote a balanced mix of uses. Building standards permit small-scale buildings and uses and protect rear yards above the ground story and at residential levels. In new buildings, most commercial uses are permitted at the ground and second stories. In order to maintain convenience stores and protect adjacent residential livability, controls authorize some additional eating and drinking establishments with a conditional use, permit self-service specialty food establishments, and permit with certain limitations new late-night uses, adult and other entertainment, and financial service uses. The continuous retail frontage is maintained by prohibiting most automobile and drive-up uses.

The Project is located on 18th Street, one of two commercial corridors in the Castro Street NCD. The proposal calls for the demolition of a two-story commercial building and the construction of a new four-story tourist hotel building. The ground floor will contain a new restaurant, which will serve the residents of the neighborhood as well as those who frequent the hotel. The upper floors will contain a new small-scale tourist hotel, which is permitted in the Castro Street NCD with a Conditional Use Authorization. The hotel will have 12 rooms and will not have an extensive on-site staff. The Project is small in size and scale and will have a minimum impact on the surrounding area while meeting the goals of the Castro Street NCD.

8. **Planning Code Section 303(g) – Hotel Uses** - Planning Code Section 715 states that a Conditional Use Authorization is required for a hotel use in the Castro Street NCD Zoning District. Pursuant to Planning Code Section 303(g), in considering the request for Conditional Use Authorization to allow the proposed hotel, the Planning Commission would consider the standard Conditional Use criteria under Section 303(c), as well as the following criteria which are specific to hotel and motel uses:

- A. The impact of the employees of the hotel or motel on the demand in the City for housing, public transit, childcare, and other social services. To the extent relevant, the Commission shall also consider the seasonal and part-time nature of employment in the hotel or motel.

The Project is anticipated to will create approximately five full time staff, which are not expected to fluctuate seasonally. This is a modest number of positions for direct full-time employees. Due to the small size of the hotel, the Project Sponsor will contract with other local businesses to provide maintenance and housekeeping for the hotel. This incremental increase in employment will not substantially affect demand for housing, child-care, or other social services. The Project is not subject to the First-Source Hiring Program, but will work to ensure that certain positions are offered to local residents, which is anticipated to minimize potential negative impacts on the demand for new housing, public transit, childcare, and other social services.

The Project site is well-served public transit, is located within easy walking distance of numerous MUNI light rail and bus lines connecting visitors and workers to locations throughout the City and regional transit options. The proposed 12-guestroom tourist hotel is not anticipated to have a significant effect on the City's services due to its relatively small size and location in a transit-rich area.

- B. The measures that will be taken by the project sponsor to employ residents of San Francisco in order to minimize increased demand for regional transportation.

The sponsor will incorporate a number of measures into its hiring practices to promote hiring local workers. These will include: (1) placing significant value on local knowledge for all employees during the interview process. As hotel guests are anticipated to come from outside the immediate area, the sponsor will encourage selection and retention of local workers that are able to help guide guests through reference to their knowledge of the local neighborhood and San Francisco area. This will inherently favor hiring of people who live near the hotel; and (2) During recruiting for new positions, the sponsor will utilize communication methods directed at residents of the nearby community, including Castro-oriented blogs and email lists, local bulletin boards, and postings at the property.

- C. The market demand for a hotel or motel of the type proposed.

EPS Consulting has prepared a hotel market study to determine the demand for an upscale, full-service hotel in the late fall of 2017. According to the study, occupancy rates for all lodging in the City have recovered beyond pre-recession heights and reached new peaks in 2016 at about 85.5 percent. The demand comes from business travelers, but also from demand from younger travelers coming to San Francisco, who favor unique smaller scale hotels. Over the last decade the hotel net supply growth has been generally limited, with the majority of the activity focused on hoteliers renovating existing properties to reposition as high-end boutique hotels. However, there has not been any development of new small scale boutique hotels in the City, such as the proposed hotel on 18th Street.

San Francisco also ranks among the top global destinations for LGBT tourism. The Castro, one of the country's first LGBT neighborhoods, is a major draw for its historic landmarks, nightlife, and year-round cultural events. Despite this, the neighborhood has only two hotels, located on the periphery of the Castro on Market Street. A small hotel in the heart of the Castro will have unique appeal, and there is ample

market demand for it. In summary, the proposed 12-room hotel at 18th Street will provide a new, unique model that will serve a much-needed segment of the tourist population in San Francisco.

9. **Planning Code Section 303(o) - Eating and Drinking Uses** - Pursuant to Section 303(o), the Planning Commission shall consider the existing concentration of eating and drinking uses in the area when considering Conditional Use authorization applications for a Restaurant, Limited-Restaurant and Bar uses. Such concentration should not exceed 25% of the total commercial frontage as measured in linear feet within the immediate area of the subject site except as otherwise provided in this subsection (o). For the purposes of this Section 303 of the Code, the immediate area shall be defined as all properties located within 300' of the subject property and also located within the same zoning district.

The area within 300' of the subject property that is located within the Castro Street NCD has diverse range of commercial offerings, including a general grocery store, restaurants, apparel stores, personal service, and other types of retailers. The existing building is fully occupied by an eating and drinking use (d.b.a. "Bite Me Sandwiches"), and has approximately 20.7 feet of retail storefront space on both the first and second floor frontages. There is a 4.5 foot entrance to the west of the restaurant which is used as a second means of egress and to get to the back of house functions of the restaurant. In all, the entire 25-foot wide property is utilized for the restaurant use. The project proposes to retain a portion of the eating and drinking use at the ground floor only, which will reduce the linear feet of restaurant frontage to 12.4 feet wide, a reduction of over 8 feet. The total square footage of the restaurant will be reduced from 3,111 square feet to 1,800 square feet in size, a reduction of 1,311 square feet. There will not be a net new restaurant on the street as a result of the project, which will maintain the current mix of retail uses in the neighborhood.

10. **Castro Street NCD Liquor Licenses for Restaurants.** Planning Code Section 715 allows a restaurant, as defined in Section 102, to add ABC license types 47, 49 or 75 as a Conditional Use Authorization on the ground level if, in addition to the criteria set forth in Section 303, the Planning Commission finds that the Restaurant is operating as a "Bona Fide Eating Place," as defined in Section 102 of this Code. Should a Restaurant fail to operate as a Bona Fide Eating Place for any length of time, the Conditional Use Authorization shall be subject to immediate revocation.

Section 102 defines a "Bona Fide Eating Place" as one that is regularly and in a bona fide manner used and kept open for the service of meals to guests for compensation and that has suitable kitchen facilities connected therewith, containing conveniences for cooking of an assortment of foods that may be required for ordinary meals.

The property is currently occupied with a Bona-Fide eating and drinking use that has an ABC license type 41. The Project Sponsor is seeking Conditional Use Authorization to establish a Restaurant with an ABC license type 47. The proposed Restaurant will operate as a Bona Fide Eating Place as defined by Section 102 above. As noted elsewhere in this motion, a restaurant use is necessary and desirable and a Type 47 license will support its viability.

11. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

COMMERCE AND INDUSTRY

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1:

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development that has substantial undesirable consequences that cannot be mitigated.

Policy 1.1:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

Policy 1.3:

Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

The proposed development will provide desirable goods and services to the neighborhood and will provide resident employment opportunities to those in the community. Further, the Project Site is located within a Neighborhood Commercial District and is thus consistent with activities in the commercial land use plan.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

The Project will retain a restaurant use at the ground floor and continue to enhance the diverse economic base of the City.

OBJECTIVE 6:

MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

Policy 6.1:

Ensure and encourage the retention and provision of neighborhood-serving goods and services in the city's neighborhood commercial districts, while recognizing and encouraging diversity among the districts.

The restaurant use will be retained at the ground floor, thus ensuring that there will be a continuance of local neighborhood-serving uses at the property. The restaurant will activate the ground floor with restaurant use that is compatible with the Castro Street NCD.

The following Guidelines, in addition to others in this objective for neighborhood commercial districts, should be employed in the development of overall district zoning controls as well as in the review of individual permit applications, which require case-by-case review and Planning Commission approval. Pertinent guidelines may be applied as conditions of approval of individual permit applications. In general, uses should be encouraged which meet the guidelines; conversely, uses should be discouraged which do not.

Eating and Drinking Establishments

Eating and drinking establishments include bars, sit-down restaurants, fast food restaurants, self service restaurants, and take-out food. Associated uses, which can serve similar functions and create similar land use impacts, include ice cream stores, bakeries and cookie stores. Guidelines for eating and drinking establishments are needed to achieve the following purposes:

- Regulate the distribution and proliferation of eating and drinking establishments, especially in districts experiencing increased commercial activity;
- Control nuisances associated with their proliferation;
- Preserve storefronts for other types of local-serving businesses; and
- Maintain a balanced mix of commercial goods and services.

The regulation of eating and drinking establishments should consider the following:

- Balance of retail sales and services;
- Current inventory and composition of eating and drinking establishments;
- Total occupied commercial linear frontage, relative to the total district frontage;
- Uses on surrounding properties;
- Available parking facilities, both existing and proposed;
- Existing traffic and parking congestion; and
- Potential impacts on the surrounding community.

The project will maintain the current number of eating and drinking uses in the Castro Street NCD. The Commerce and Industry Element of the General Plan contains Guidelines for Specific Uses. For eating and drinking establishments, the Guidelines state that the “establishment should not add to the overconcentration” of this use. The existing building – the ground, mezzanine, and second floors - has been occupied by eating and drinking uses for many years, which have served the neighborhood and surrounding community residents. The project proposes to retain a restaurant use at the ground floor, and will reduce (rather than add) the total eating and drinking square footage 1,311 square feet, from 3,111 square feet to 1,800 square feet. The project will preserve the ground floor retail frontage and will not “reduce the variety of neighborhood-serving uses”, as required by the Guidelines, since the eating and drinking use currently exists at the site and adds to the variety of neighborhood serving uses on the street. Ultimately, the project will add to the mix of goods and services available in the district by introducing a tourist hotel use. The retention of the eating and drinking use will help maintain the diversity of uses on the street and in the Castro Street NCD.

Policy 6.2:

Promote economically vital neighborhood commercial districts which foster small business enterprises and entrepreneurship and which are responsive to the economic and technological innovation in the marketplace and society.

An independent entrepreneur is sponsoring the proposal. The proposed use is a neighborhood serving use. This is not a Formula Retail use.

OBJECTIVE 8:

ENHANCE SAN FRANCISCO'S POSITION AS A NATIONAL CENTER FOR CONVENTIONS AND VISITOR TRADE.

Policy 8.1:

Support locally initiated efforts to improve the visitor trade appeal of neighborhood commercial districts (NCD).

The project site is located in the Castro Street NCD, and proposes a 12 room hotel, which is a unique hotel type in San Francisco. It will help improve the visitor trade appeal of this NCD by providing a hotel use in the neighborhood, where there are currently few hotels. It will add to the vibrancy and offering of the Castro Street NCD.

NEIGHBORHOOD COMMERCE

Guidelines for Specific Uses: Hotels (Visitor Trade)

GUIDELINE 1:

HOTELS SHOULD BE DISCOURAGED IF THEY DISPLACE EXISTING RETAIL SALES AND SERVICES WHICH ARE NECESSARY AND DESIRABLE FOR THE SURROUNDING NEIGHBORHOODS.

The project will not displace a necessary, neighborhood-serving retailer. It will replace an existing restaurant use with another, as well as provide a new 12 room hotel to the neighborhood. The project will provide local job opportunities as well as a new eating establishment for the neighborhood residents.

GUIDELINE 2:

IN DISTRICTS WITH AN OVERCONCENTRATION OF HOTELS AND SIMILAR ACCOMODATIONS, IT IS PREFERABLE THAT NEW HOTELS BE LOCATED AT LEAST 300 FEET FROM ANY EXISTING HOTEL, MOTEL, OR BED AND BREAKFAST ESTABLISHMENT, UNLESS THERE ARE FACTORS SUCH AS TRAFFIC CIRCULATION, PARKING, OR LAND USE DISTRIBUTION WHICH MAKE CLUSTERING APPROPRIATE.

The site is appropriate for a new hotel. As noted above, there is strong demand for hotel rooms in San Francisco, driven both by business travel and tourism. There are no hotel uses in the Castro Street NCD, which is a popular destination. It will therefore bring new rooms to an underserved market and will not result in an overconcentration of hotel uses. The project capitalizes on the existing infrastructure in place, including numerous public transit options, to serve tourist and business guests.

GUIDELINE 3:

NEW HOTELS SHOULD CONTRIBUTE TO AN ACTIVE RETAIL FRONTAGE BY PROVIDING STORES, COFFEE SHOPS, OR CONVENIENCE RETAIL ON THE GROUND STORY OF THE MAJOR STREET FRONTAGE.

The project will retain a restaurant use at the ground floor of 18th Street, thus keeping the street active while providing a neighborhood serving use for the local residents.

GUIDELINE 4:

HOTEL DEVELOPMENT SHOULD BE COMPATIBLE IN SCALE AND DESIGN WITH THE OVERALL DISTRICT CHARACTER AND ESPECIALLY WITH BUILDINGS ON THE SAME BLOCK.

The project is consistent with the prevailing neighborhood character and massing. The proposed four-story building matches the height of most of the buildings on its block. The project will result in a modern building that is compatible with the surrounding architecture while not mimicking the architectural styles of adjacent buildings.

GUIDELINE 5:

ACCESS TO REQUIRED HOTEL PARKING SHOULD BE DESIGNED TO MINIMIZE INTERRUPTION OF THE ACTIVE RETAIL FRONTAGE AND DISTURBANCE TO ADJACENT RESIDENCES.

The project does not include any off-street parking, and therefore would not cause interruption of the active retail frontage, disturbance to adjacent residences, or the flow of traffic along 18th Street.

URBAN DESIGN

Objectives and Policies

OBJECTIVE 3:

MODERATION OF MAJOR NEW DEVELOPMENT TO COMPLEMENT THE CITY PATTERN, THE RESOURCES TO BE CONSERVED, AND THE NEIGHBORHOOD ENVIRONMENT.

Policy 3.1

Promote harmony in the visual relationships and transitions between new and older buildings.

Policy 3.3

Promote efforts to achieve high quality design for buildings to be constructed at prominent locations.

The project is consistent with the surrounding pattern and scale of development in the immediate vicinity of the site. The four-story building is compatible with the heights of the existing buildings on the same block and across the street. The majority of the ground floor features transparent glass, which will draw pedestrian interest.

12. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The Project will provide a net increase in the area of neighborhood-serving retail uses, by replacing a 3,111-square-foot building containing a single restaurant use with an attractively-designed new building containing a 1,800-square-foot ground floor restaurant and 12-guestroom tourist hotel. This improvement will enhance future opportunities for resident employment in and ownership of local business.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

No housing will be removed by the Project. The project is designed to respect the existing character and scale of the development in the Castro neighborhood.

- C. That the City's supply of affordable housing be preserved and enhanced,

The Project will replace an existing restaurant building with a new building containing a hotel and restaurant uses. It will not affect the City's supply of affordable housing.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The project site is extremely well-served by public transit. It is within easy walking distance to a number of MUNI light rail and bus lines. Further, the Project will not contain any off-street parking space, encouraging workers and visitors to walk, bike, or utilize public transportation to access the site.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project will not displace any service or industry establishment. The project will not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses will not be affected by this project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project is designed and will be constructed to conform to the structural and seismic safety requirements of the City Building Code. This proposal will not impact the property's ability to withstand an earthquake.

G. That landmarks and historic buildings be preserved.

A landmark or historic building does not occupy the Project site.

H. That our parks and open space and their access to sunlight and vistas be protected from development.

The project will not shade parks or other public open spaces, nor will it affect views from them.

13. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
14. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2017-008334CUA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated March 1, 2018, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on March 1, 2018.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: March 1, 2018

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to allow a hotel use located at 4230 18th Street, Block 2648, Lot 019, pursuant to Planning Code Section(s) 102, 121.2, 303, and 715 within the Castro Street NCD (Neighborhood Commercial) District, and a 40-X Height and Bulk District; in general conformance with plans, dated March 1, 2018, and stamped "EXHIBIT B" included in the docket for Case No. 2017-008334CUA and subject to conditions of approval reviewed and approved by the Commission on March 1, 2018, under Motion No XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on March 1, 2018 under Motion No XXXXXX.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

3. **Diligent pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

ENTERTAINMENT COMMISSION – NOISE ATTENUATION CONDITIONS

Chapter 116 Residential Projects. The Project Sponsor shall comply with the “Recommended Noise Attenuation Conditions for Chapter 116 Residential Uses and Places of Entertainment,” which were recommended by the Entertainment Commission in 2015. These conditions state:

1. **Community Outreach.** Project Sponsor shall include in its community outreach process any businesses located within 300 feet of the proposed project that operate between the hours of 9PM-5AM. Notice shall be made in person, written or electronic form.
2. **Sound Study.** Project sponsor shall conduct an acoustical sound study, which shall include sound readings taken when performances are taking place at the proximate Places of Entertainment, as well as when patrons arrive and leave these locations at closing time. Readings should be taken at locations that most accurately capture sound from the Place of Entertainment to best of their ability. Any recommendation(s) in the sound study regarding window glaze ratings and soundproofing materials including but not limited to walls, doors, roofing, etc. shall be given highest consideration by the project sponsor when designing and building the project.
3. **Design Considerations.**
 - a. During design phase, project sponsor shall consider the entrance and egress location and paths of travel at the Place(s) of Entertainment in designing the location of (a) any entrance/egress for the residential building and (b) any parking garage in the building.
 - b. In designing doors, windows, and other openings for the residential building, project sponsor should consider the POE’s operations and noise during all hours of the day and night.
4. **Construction Impacts.** Project sponsor shall communicate with adjacent or nearby Place(s) of Entertainment as to the construction schedule, daytime and nighttime, and consider how this schedule and any storage of construction materials may impact the POE operations.
5. **Communication.** Project Sponsor shall make a cell phone number available to Place(s) of Entertainment management during all phases of development through construction. In addition, a line of communication should be created to ongoing building management throughout the occupation phase and beyond.

DESIGN – COMPLIANCE AT PLAN STAGE

1. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.
For information about compliance, contact the Case Planner, Planning Department at 415-575-6925, www.sf-planning.org
2. **Garbage, composting and recycling storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of

recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-575-6925, www.sf-planning.org

PARKING AND TRAFFIC

1. **Bicycle Parking.** Pursuant to Planning Code Sections 155.1 and 155.4, the Project shall provide no fewer than five Class 2 bicycle parking spaces. SFMTA has final authority on the type, placement and number of Class 2 bicycle racks within the public ROW. Prior to issuance of first architectural addenda, the project sponsor shall contact the SFMTA Bike Parking Program at bikeparking@sfmta.com to coordinate the installation of on-street bicycle racks and ensure that the proposed bicycle racks meet the SFMTA's bicycle parking guidelines. Depending on local site conditions and anticipated demand, SFMTA may request the project sponsor pay an in-lieu fee for Class II bike racks required by the Planning Code.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

2. **Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

PROVISIONS

1. **Transportation Sustainability Fee.** The Project is subject to the Transportation Sustainability Fee (TSF), as applicable, pursuant to Planning Code Section 411A.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

MONITORING

1. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

2. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

1. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>

2. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>

3. **Noise Control.** The premises shall be adequately soundproofed or insulated for noise and operated so that incidental noise shall not be audible beyond the premises or in other sections of the building and fixed-source equipment noise shall not exceed the decibel levels specified in the San Francisco Noise Control Ordinance.

For information about compliance with the fixed mechanical objects such as rooftop air conditioning, restaurant ventilation systems, and motors and compressors with acceptable noise levels, contact the Environmental Health Section, Department of Public Health at (415) 252-3800, www.sfdph.org

For information about compliance with the construction noise, contact the Department of Building Inspection, 415-558-6570, www.sfdbi.org

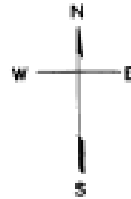
For information about compliance with the amplified sound including music and television contact the Police Department at 415-553-0123, www.sf-police.org

4. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Parcel Map

SIGHT SAN FRANCISCO
COUNTY ASSESSOR 1995

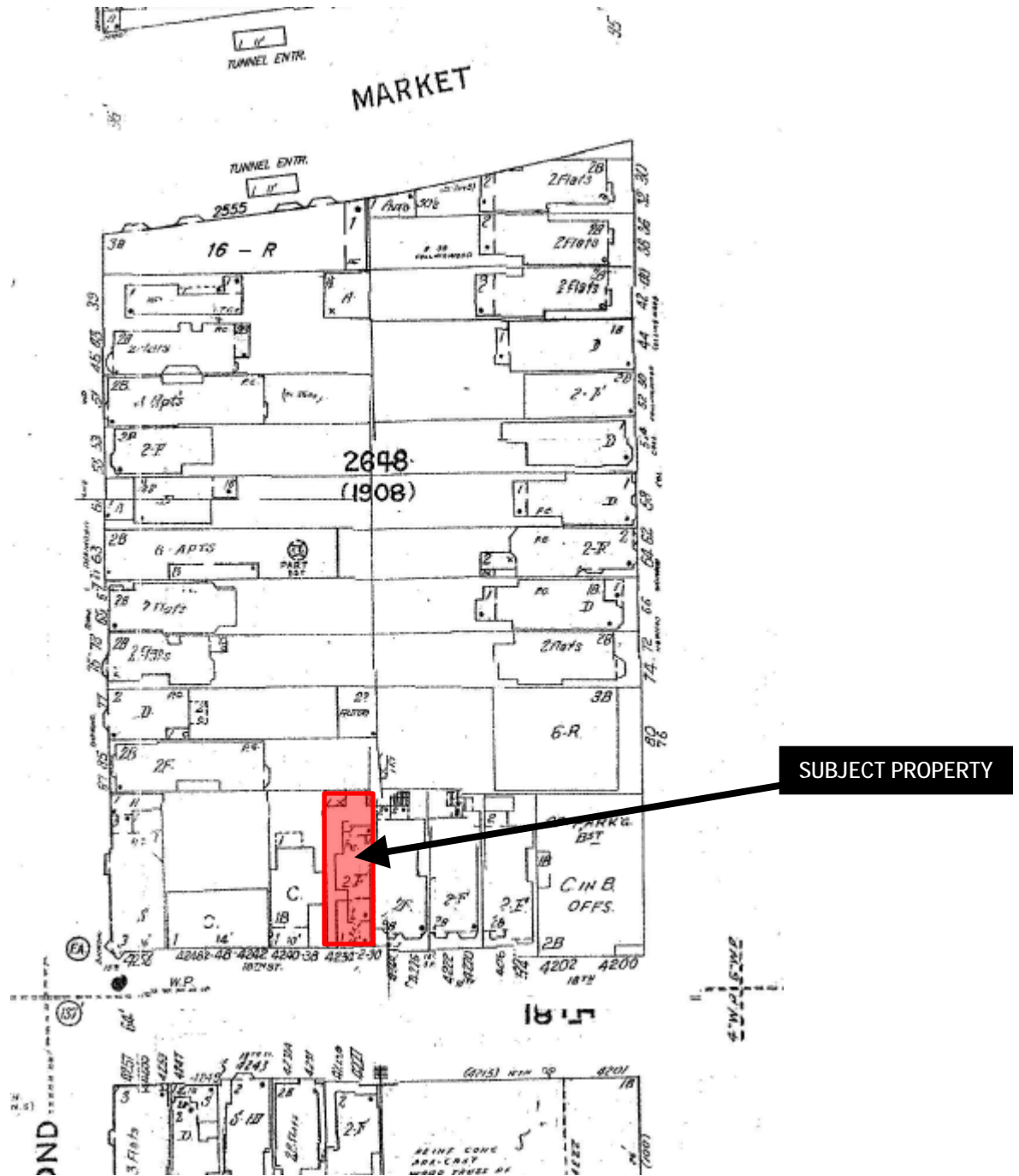


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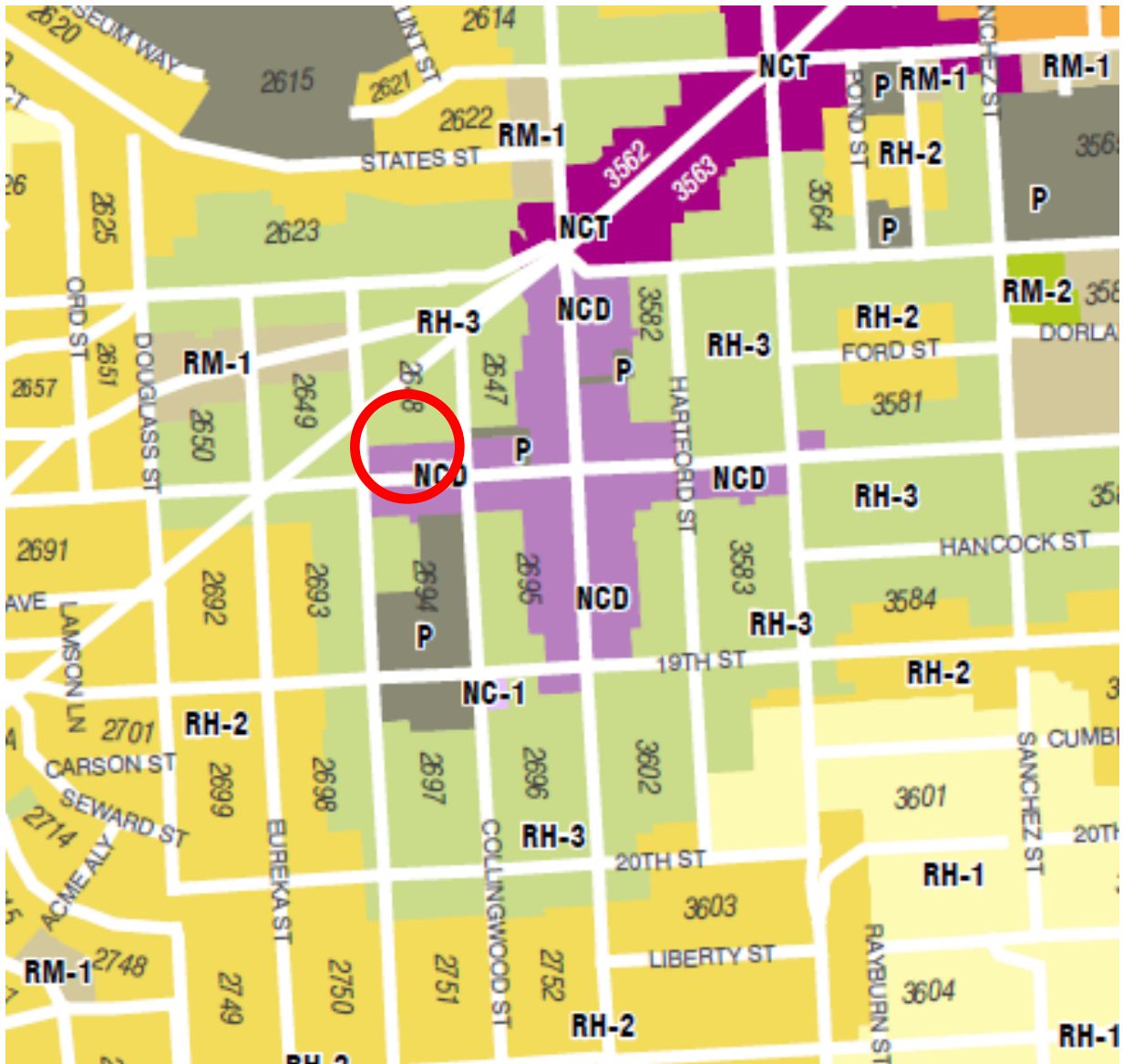
Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



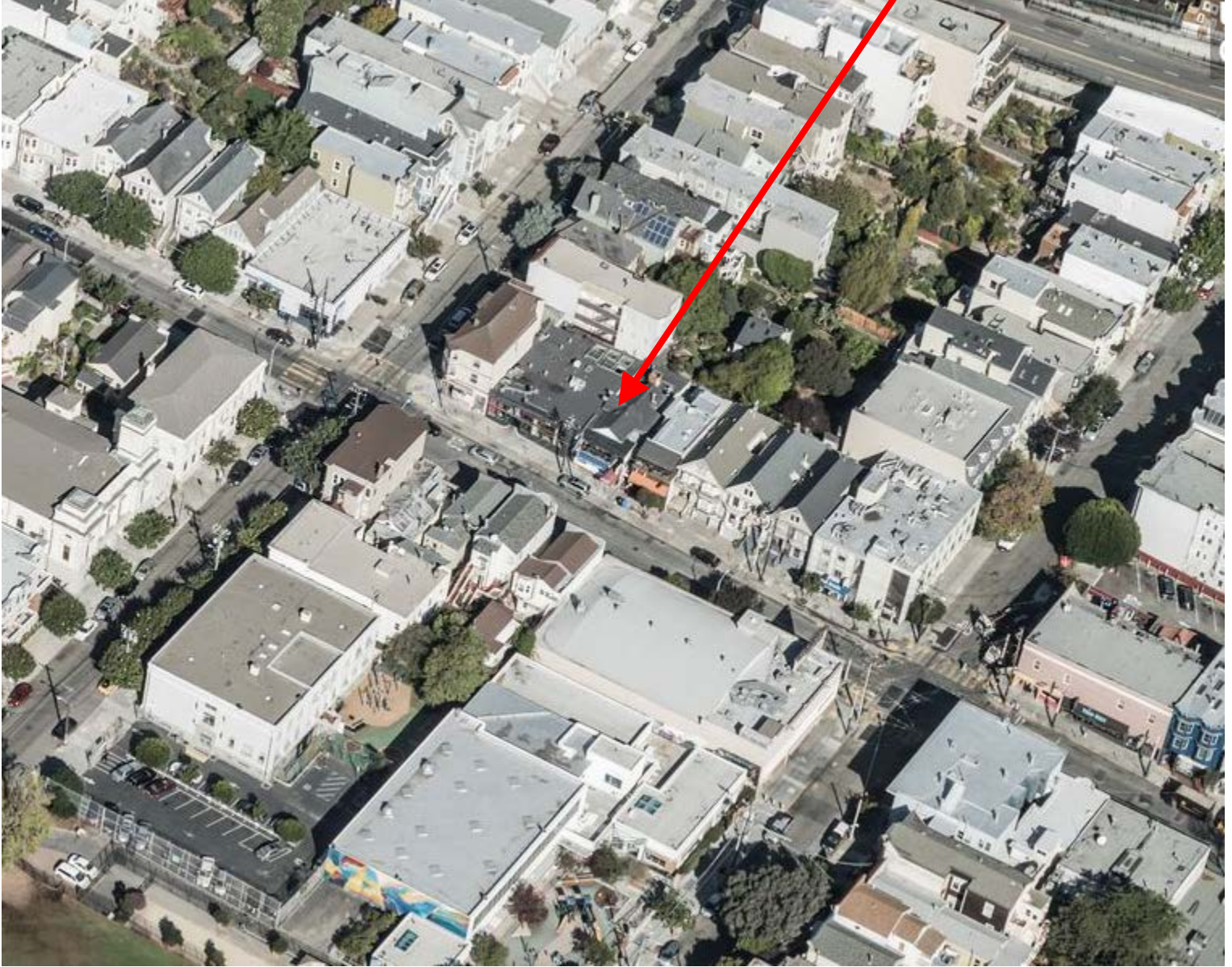
Zoning Map



Conditional Use Authorization
Case Number 2017-008334CUA
4230 18th Street

Aerial Photo

SUBJECT PROPERTY



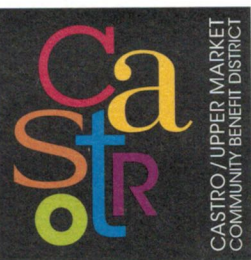
SAN FRANCISCO
PLANNING DEPARTMENT

Conditional Use Authorization
Case Number 2017-008334CUA
4230 18th Street

Existing Site Photo



Conditional Use Authorization
Case Number 2017-008334CUA
4230 18th Street



584 Castro Street #336
San Francisco, CA 94114

PH 415.500.1181

FX 415.522.0395

www.castrocbd.org

[www.facebook/
castrocbd](http://www.facebook/castrocbd)

@visitthecastro

Richard Hillis, President
S.F. Planning Commission
1650 Mission St., Suite 400
San Francisco, CA 94103

January 17, 2018

RE: Case 2017-008334CUA

Dear Commission President Hillis,

The Castro/Upper Market Community Benefit District is writing to express our support for the Castro Hotel at 4230 18th St., case # 2017-008334CUA

The Castro/Upper Market CBD enthusiastically is supporting this project. The CBD board of directors believes this new use will bring added economic vitality to the Castro commercial corridor.

If you have any questions about this project and the Castro/Upper Market CBD's position, please do not hesitate to contact me at 415-500-1181 or via email at andrea@castrocbd.org

Thank you.

Sincerely,

Andrea Aiello
Executive Director

cc: Jeff Sheehy, District 8 Supervisor
Jeff Horn, Planner, S.F. Planning Department
Gannon Tidewell
Rich Springer
Timothy Quayle, CCS Architecture



584 Castro Street #333
San Francisco CA 94114-2512

formerly "Merchants of Upper Market & Castro – MUMC"
415/431-2359

Info@CastroMerchants.com
www.CastroMerchants.com

January 23, 2018

By Email and USPS Hardcopy

Jeffrey Horn, Staff Planner
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco CA 94103

Re: Conditional Use Authorization, Case No. 2017-008334CUA and related approvals
for Proposed Hotel Castro at 4230-18th Street, San Francisco

Dear Mr. Horn,

This confirms that Castro Merchants (formerly "Merchants of Upper Market & Castro – MUMC") **SUPPORTS** the recent application(s) of Rich Springer and Gannon Tidwell for a Conditional Use Authorization (and related entitlements) for demolition, new construction, and a change of use and occupancy from a current restaurant to a boutique hotel (potentially with restaurant/bar) as referenced above. Our SUPPORT includes for the Applicant's request scheduled to be heard by the Planning Commission (we understand) on March 1 or thereafter. It also includes applications for any related S.F. Departments of Building Inspection and Public Works Applications (including for Sidewalk Tables and Chairs), California Alcoholic Beverage Commission (ABC) license for on premises sale of alcoholic beverages, and other entitlements related to establishment and operation of the proposed new Hotel Castro.

CM's support is based on information provided by the named Applicants. The support communicated in this letter remains in effect until withdrawn in writing. We have asked the Applicants to update us promptly, if there is any substantial change(s) in information or Conditions of Approval as Hotel Castro is preparing to open.

Castro Merchants represents business owners and managers in San Francisco's Castro-Upper Market area, generally along Upper Market Street from Castro Street to Octavia Blvd.; Castro from Market to 19th Street; and commercially-zoned portions of cross streets throughout that area. Castro Merchants has over 320 paid Members for 2017 through April 30, 2018, and anticipates similar Membership support for the coming year's Campaign scheduled for March-April 2018. The location of the proposed Hotel Castro is within Castro Merchants' primary service area.

..... continued



CASTRO MERCHANTS

S.F. Planning Department

January 23, 2018

Re: Conditional Use Authorization, Case No. 2017-008334CUA and related approvals
Proposed Hotel Castro at 4230-18th Street, San Francisco Street

Let us know if you have any questions regarding Castro Merchants support for this proposed Application. Please include this letter in the matter's permanent file and any successor files, and assure that our support is communicated to all applicable Planning staff and to all Commissioners prior to their Hearing on this matter, and to any Appeal panel(s) at the time that this matter is considered by them.

Thank you for considering our comments.

Respectfully,

A handwritten signature in black ink, appearing to read "Daniel Bergerac".

Daniel Bergerac, President

email cc: Sup. Jeff Sheehy
Capt. Gaetano Caltagirone, SFPD Mission Station
cc: Rich Springer, Gannon Tidwell for Hotel Castro

,,, LtrPlanningHotelCastro012318

February 15, 2018

Richard Hillis, President
S.F.Planning Commission
1650 Mission St., Suite 400
San Francisco, CA 94103
RE: Planning Department Case no. 2017-008334CUA
4230 18th Street

Dear Commissioner Hillis,

On behalf of Local Take, I am writing to express our support for the proposed 12 room boutique hotel, at 4230 18th Street. Proposed in the heart of the Castro and Eureka Valley neighborhoods in San Francisco, the location is prime to meet visitor accommodation demands in an area sorely in need of a hotel like this.

The project sponsor has taken the time to share a full set of plans with us. The new building has been designed in full compliance with all planning code requirements, including all building height and setback requirements, with no variances from current code requirements.

Therefore, we respectfully ask that you approve the proposal. We are excited about the project and think it will be a wonderful addition to the neighborhood.

Sincerely,



Jennifer Meyer

Local Take
jenn@localtakesf.com
3979B 17th Street San Francisco CA 94114
4153788864



Dear SF Planning Department:

We would like to show our support for Hotel Castro. We have a neighborhood restaurant located at 2272 Market Street (@ Noe Street) and have been here since 2011. We believe that a small hotel in the Castro is a great need that will serve the many tourists that want to come and visit. Also, we require lodging for some of our employees from time to time after long days of work. Since there are not many options in the neighborhood, we many times turn to hotels downtown.

I had a chance to ask some questions to the owners of Castro Hotel at a past Castro Merchants meeting where I am a member. I got the impression that they would be good neighbors and good members of the Castro business and residential communities.

I serve on the Castro Retail Strategy Committee with Andrea Aiello of the Castro Community Benefit District. In these meetings, we have found that there are many challenges to operating a successful business in this neighborhood. One challenge is being able to open a new business in a timely manner. We are hoping to find ways to expediate this process in the Castro. Hopefully, you can help us in the future. Bay area locals all want to see San Francisco maintain its place as a global leader. Vacant store fronts do not help us achieve and sustain this achievement.

We understand that a mix of goods and services is needed, including lodging, to sustain business health in a neighborhood. Hopefully if they operate this location as they are indicating, we will have some happy visitors, residents and a solid member of the Castro Business Community.

Kind Regards,

Mat Schuster
Chef & Owner
Canela Bistro & Wine Bar
2272 Market Street
San Francisco, CA 94114
415-552-3000
mat@canelasf.com

February 13, 2018

Richard Hillis, President
S.F.Planning Commission
1650 Mission St., Suite 400
San Francisco, CA 94103
RE: Planning Department Case no. 2017-008334CUA
4230 18th Street

Dear Commissioner Hillis,

On behalf of Spark Arts,I am writing to express our support for the proposed Hotel Castro at 4230 18th Street.This block of 18th Street between Collingwood and Diamond has struggled with underperforming businesses.I believe the hotel will provide the economic lift the block needs.

Additionally, the existing building at this address is dilapidated and in need of major renovation. Its multiple levels and odd spaces do not work well for its use as a restaurant. For example, the ground floor is miniscule and only steep stairs are available for reaching higher levels. This is a burden on staff and especially a burden on people who are impaired with a mobility handicap.

The proposed hotel has a beautiful modern facade and will add to the diversity and beautification of the block and neighborhood. The new building has been designed in full compliance with all planning code requirements, including all building height and setback requirements, with no variances from current code requirements.

The Castro is sorely in need of a hotel, and especially a new, well-appointed hotel for tourists to enjoy everything the Castro has to offer.

Therefore, we respectfully ask that you approve the proposal. We are excited about the project and think it will be a wonderful addition to the neighborhood.

Sincerely,



Angela Sticher

Spark Arts
angie@sparkarts.com
4229 18th Street San Francisco, CA 94114
(415) 887-2207 ext 1

February 13, 2018

Richard Hillis, President
S.F.Planning Commission
1650 Mission St., Suite 400
San Francisco, CA 94103
RE: Planning Department Case no. 2017-008334CUA
4230 18th Street

Dear Commissioner Hillis,

I am writing to express my support for the proposed Hotel Castro at 4230 18th Street. This block of 18th Street between Collingwood and Diamond has struggled with underperforming businesses and I believe the hotel will provide the economic lift the block needs. the location is prime to meet visitor accommodation demands in an area sorely in need of a hotel like this.

The proposed hotel has a beautiful modern facade and will add to the diversity and beautification of the block and neighborhood. Upon review of the plans, I understand the new building has been designed in full compliance with all planning code requirements, including all building height and setback requirements, with no variances from current code requirements.

Therefore, I respectfully ask that you approve the proposal. I am excited about the project and think it will be a wonderful addition to the neighborhood.

Sincerely,

A handwritten signature in cursive script that reads "Tom Flinn".

Tom Flinn

thomasflinn@gmail.com
4416 19th street San Francisco, Ca 94114
415-621-7572

Horn, Jeffrey (CPC)

From: Marcy Marsh <1marcar@earthlink.net>
Sent: Thursday, October 26, 2017 5:41 PM
To: Horn, Jeffrey (CPC)
Subject: Project at 4230 18th Street

Dear Mr. Horn,

I live on 18th Street, between Collingwood and Diamond. The owner of the building across the street, at 4230 18th Street, wants to demolish the current structure and build a new 4-story structure, consisting of a 3-story hotel, with 12 small rooms, and a restaurant on the bottom floor.

I'd like to know how I would go about protesting this project.

Even a small hotel is too big for this block, which is essentially a very quiet block. It consists of a combination of apartments and small businesses. It's a mixed-use, transitional block. It's also a conditional-use block, requiring approval on a case-by-case basis. The largest edifice on the block is a small Mollie Stone. The rest of the businesses are a couple hair salons, a cleaners, a small Nepalese shop, a few small restaurants, and a number of professional offices. Several businesses operate out of their apartments. It's been this way for decades. My husband and I have lived here for about forty-five years.

This hotel would leave too large a footprint on this block. The small businesses would lose money during the yearlong building project, not to mention the incredible noise level to be endured by the residents during demolition and construction. In addition, the owner would not provide any new parking space. Parking is already very difficult around here. The owner asserts that the guests will use public transportation. Maybe that's true in some measure, but there's no guarantee that people wouldn't drive to San Francisco, therefore needing a place to park. My husband and I recently went to Monterey, stayed in a B&B, and had a devil of a time finding parking.

A hotel on this block is neither necessary nor desirable. And it certainly isn't compatible architecturally. The majority of buildings on this block are over a hundred years old, including a number of Victorians. No building is less than fifty years old. The proposed architectural style of the hotel is post-Modern, which is incompatible with every other building on the block. It truly would stand out like a sore thumb.

The owner is hedging about the staffing. At the meeting at which he presented the "micro-boutique hotel" (as he calls it) idea, one of the presenters – I think the architect -- said there would be no staff. I remember it distinctly, because I said, rather incredulously, "No staff?!" And he repeated "Yes, no staff." He said that in case someone was needed, there would be someone who lives close by who could be called. The presenter said there would be no lobby, no front desk, no manager, no security, and pretty much no anything else. Guests would use their cell phones to make all arrangements, including checking in and checking out. When I wrote the owner about this, he said, oh, no, there would be all of those things.

The proposed project would attract primarily young men who want to party in the Castro. "The Castro" really consists of two blocks on Castro Street and two blocks on Market Street. Once you get two blocks off 18th Street, businesses become fewer and fewer. We want to keep this block as it is right now, a great combination of long-time residents and small businesses. This proposed hotel would not attract families nor many couples. There's absolutely nothing scenic about this block. Its only attraction is "the Castro." At night, there's a lot of drinking at bars on Castro Street. When the bars close, it's a good bet that guests would take the party back to their hotel.

The massive noise emanating from demolition and rebuilding would be detrimental to both the residents and the small businesses.

This hotel project is neither desirable nor compatible. And It certainly is not necessary. There are numerous Airbnb rooms in this area, plus B&Bs. There are several motels on Market Street. Travelers who want to see the Castro usually stay in other parts of the city, where there are more attractions. And then they can easily find out how to get here. The only reason people would want to stay in this part of the Castro is to party in the Castro. And that results in a lot of drinking, which always turns into a lot of noise. Otherwise, this rather drab little block offers nothing much to see. But it offers everything to the people who live and work here.

Would you either call me at 415-431-2193 or e-mail me back at 1marcar@earthlink.net and let me know how to state my opposition to this project?

Thank you so much.

Marcy Marsh

Horn, Jeffrey (CPC)

From: Robert Guite <RGuite@sheppardmullin.com>
Sent: Monday, February 12, 2018 11:37 AM
To: Horn, Jeffrey (CPC)
Cc: Sheehy, Jeff (BOS)
Subject: 4230 18TH ST 94114 -- Objection to Change in Use

Follow Up Flag: Follow up
Flag Status: Flagged

Mr. Horn,

I'm writing to comment and object on the demolition and construction of a 12 unit hotel at 4320 18th Street. I live up the street and walk by this location at least twice a day. The recently-posted notice was my first indication that a request to rezone and permit this use was being considered. I vehemently oppose such a change in scope and use. Twelve hotel units in a four story building and a restaurant in block that is abutted by 1 and 2 story buildings and residential uses is not acceptable. 12 hotel units makes no sense and would change the character of the neighborhood. 24 or more guests per day along with traffic and parking for guests and staff for the hotel and a restaurant makes this totally unworkable. This is not a neighborhood for hotels.

Please update me on the status of the permitting process and advise as to how and when additional public comment is being considered and add this correspondence to the objections for the project. This should not be allowed.

Robert J.Guite
203 Caselli Avenue
San Francisco, CA 94114

Attention: This message is sent by a law firm and may contain information that is privileged or confidential. If you received this transmission in error, please notify the sender by reply e-mail and delete the message and any attachments.

REUBEN, JUNIUS & ROSE, LLP

[Daniel Frattin]
[dfrattin@reubenlaw.com]

February 20, 2018

Delivered Via Email (jeffrey.horn@sfgov.org)

President Rich Hillis
San Francisco Planning Commission
1650 Mission Street, 4th Floor
San Francisco, CA 94103

**Re: 4230 18th Street
Planning Department File No. 2017-008334CUA
Our File: 10624.01**

Dear President Hillis and Commissioners:

This office represents 4230 18th Street Partners, LP (“Project Sponsor”), and the owner of the building at 4230 18th Street (the Property”). The Property is located on the north side of 18th Street between Diamond and Collingwood Streets in the Castro Street Neighborhood Commercial District (“NCD”). The Project Sponsor proposes to:

- Demolish the existing two-story-plus-mezzanine, 3,111-square-foot restaurant building;
- Construct a four-story, 40-foot tall, 5,625-square-foot commercial building;
- The new building will contain a small, 3,825-square-foot tourist hotel with 12 rooms at the upper floors; and
- Replace the existing 3,100-square-foot restaurant with an 1,800-square-foot restaurant at the ground floor (the “Project”).

The Project will replace a nondescript building with a thoughtfully designed modern structure. Though contemporary, it will be compatible in scale and materials with the eclectic mix of buildings on the block. The Project requires a Conditional Use Authorization under the Castro Street NCD for the hotel and restaurant uses, for the hotel’s use size and hours of operation, and

for alcohol sales in a bona fide restaurant. We respectfully request the Planning Commission grant the approvals, because:

- **The Project will bring a new, small-scale boutique hotel to 18th Street.** According to a hotel market study, San Francisco ranks among the top global destinations for LGBT tourism. The Castro, one of the country's first LGBT neighborhoods, is a major draw for its historic landmarks, nightlife, and year-round cultural events. A small hotel in the heart of the Castro will have unique appeal, and there is ample market demand for it. It will also relieve pressure to use existing housing for vacation rentals.
- **Neighborhood Outreach & Support.** In addition to conducting the required meeting with immediate neighbors, the Project Sponsor presented the Project to the Eureka Valley Neighborhood Association, the Castro Merchants, the Castro/Upper Market Community Benefit District ("Castro CBD"), and numerous other residents and business owners in the area. A chronology of outreach is attached at **Exhibit A**. Letters of support from The Castro Merchants and the Castro CBD are attached at **Exhibit B**.
- **The Project will improve the streetscape.** The development in the area represents a wide range of architectural styles and uses. The existing building consists of several ad-hoc additions, particularly fronting 18th Street. The Project's modern design will add to the eclectic appeal of the neighborhood. In addition, its modest height and scale will be consistent with the zoning and the adjacent three-story-over-garage residential buildings. It complements the existing small scale, fine-grained character of the development in the area. The Project will significantly enhance the appearance of 18th Street.
- **The ground floor will contain a new restaurant which will serve the residents of the neighborhood as well as hotel patrons.** The existing building is fully occupied by an eating and drinking use with large frontages at the first and second floors. The new restaurant space will be limited to the ground floor, while increasing transparency and retaining an active, street-fronting use. The new restaurant will provide an improved neighborhood-serving use in the Castro Street NCD.
- **The Project is transit-friendly.** As no vehicle parking is proposed, the Project would not add any new curb cuts, minimizing potential impact on surrounding traffic patterns. Bicycle parking will be provided at 18th Street. The Project's location provides close proximity to tourist destinations and is well served by public transit. Its location in the Castro neighborhood is an excellent base to explore San Francisco.

Rich Hillis, President
San Francisco Planning Commission
February 20, 2018
Page 3

In short, the project will enhance the architectural character of the Castro while providing a unique, small boutique hotel to the neighborhood. The new restaurant will provide a neighborhood serving use to the community. As such, the project is consistent with the Castro Street NCD zoning and the range of uses found in the area. We urge you to approve this project.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP

A handwritten signature in black ink, reading "Daniel A. Frattin". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Daniel Frattin

cc: Vice-President Myrna Melgar
Commissioner Rodney Fong
Commissioner Joel Koppel
Commissioner Kathrin Moore
Commissioner Dennis Richards
Jonas P. Ionin – Commission Secretary
John Rahaim – Planning Director
Jeffrey Horn – Project Planner

EXHIBIT A

Business / Individual	Address	Name	Title	Met
Hot Cookie	407 Castro	Paul	Owner	9/7/17
Cliffs Variety	479 Castro	Terry	Owner	8/1/17
Kantine	1906 Market	Nichole Accettola	Chef/Owner	9/7/17
Canela	2272 Market	Mat Schuster	Owner	9/7/17
Local Take	3979B 17th St.	Jenn Meyer	Owner	9/7/17
Tony Passanisi	4220 18th st.	Tony Passanisi	Owner	7/25/17
Core40	4122 18th St.	Mabel Lau and Madison Ford	Managers	6/26/17
Q Cuts	4249 18th St.	Jerry	Stylist	6/26/17
Five Star Truffles Co.	4251-A 18th St.	Santos	Owner	6/26/17
Hansen's Laundry & Dry Cleaning	4258 18th St.	Kevin	Owner	6/26/17
Brody Salon	4327 18th St.	Ryan Brody	Owner	6/26/17
Big Cleaner	4359 18th St.	Ms. Lee	Owner	6/26/17
Neighborhood Pre-App	4230 18th St.	Several participants		6/26/17
Enzi Hair	4448 18th St.	Christopher Enzi	Owner	6/26/17
Marcy Marsh	4227 18th Ss.	Marcy Marsh	Tenant	6/17/17
GLBT Museum	4127 18th St.	Jeremy Prince	Museum Manage	6/8/17
The Edge	4149 18th St.	Michael Shawf	Manager	6/8/17
John Francis Spa	4200 18th St.	John McGourty	Owner	6/8/17
Castro Business District		Andrea Aiello		6/8/17
Deki Jewels	4202 18th St.	Deki	Owner	6/8/17
Eureka Barber Shop	4222 18th St.	Slim	Owner	6/7/17
Rainbow Market	4401 18th St.	Abdullah	Manager	6/8/17
Aria Properties	4406-B 18th St.,	Masood Samereie	Owner	6/8/17
ABMS	4406-A 18th St.	Joseph Titi, Jr.	Owner	6/8/17
Ma Ma Ji's	4416 18th St.	Adam	Manager	6/8/17
Eureka Valley Neighborhood Assoc.		Gary Weiss	President	6/6/17
Castro Merchants		Daniel Bergerac	President	6/1/17
80 Collingwood HOA	80 Collingwood	Orie Zaklad	President	6/1/17

Neighborhood Outreach

The following addresses received a direct solicitation to meet individually and review the plans for the proposed development.

6 unit HOA at 80 Collingwood (Units 201, 202, 301, 302, 401, 402)

85 Diamond Street San Francisco, Ca

4226 18th Street San Francisco, Ca

4227 18th Street San Francisco, Ca

4238 18th Street San Francisco, Ca

EXHIBIT B



**584 Castro Street #333
San Francisco CA 94114-2512**

formerly "Merchants of Upper Market & Castro – MUMC"
415/431-2359

Info@CastroMerchants.com
www.CastroMerchants.com

January 23, 2018

By Email and USPS Hardcopy

Jeffrey Horn, Staff Planner
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco CA 94103

Re: Conditional Use Authorization, Case No. 2017-008334CUA and related approvals
for Proposed Hotel Castro at 4230-18th Street, San Francisco

Dear Mr. Horn,

This confirms that Castro Merchants (formerly "Merchants of Upper Market & Castro – MUMC") **SUPPORTS** the recent application(s) of Rich Springer and Gannon Tidwell for a Conditional Use Authorization (and related entitlements) for demolition, new construction, and a change of use and occupancy from a current restaurant to a boutique hotel (potentially with restaurant/bar) as referenced above. Our SUPPORT includes for the Applicant's request scheduled to be heard by the Planning Commission (we understand) on March 1 or thereafter. It also includes applications for any related S.F. Departments of Building Inspection and Public Works Applications (including for Sidewalk Tables and Chairs), California Alcoholic Beverage Commission (ABC) license for on premises sale of alcoholic beverages, and other entitlements related to establishment and operation of the proposed new Hotel Castro.

CM's support is based on information provided by the named Applicants. The support communicated in this letter remains in effect until withdrawn in writing. We have asked the Applicants to update us promptly, if there is any substantial change(s) in information or Conditions of Approval as Hotel Castro is preparing to open.

Castro Merchants represents business owners and managers in San Francisco's Castro-Upper Market area, generally along Upper Market Street from Castro Street to Octavia Blvd.; Castro from Market to 19th Street; and commercially-zoned portions of cross streets throughout that area. Castro Merchants has over 320 paid Members for 2017 through April 30, 2018, and anticipates similar Membership support for the coming year's Campaign scheduled for March-April 2018. The location of the proposed Hotel Castro is within Castro Merchants' primary service area.

..... continued



CASTRO MERCHANTS

S.F. Planning Department

January 23, 2018

Re: Conditional Use Authorization, Case No. 2017-008334CUA and related approvals
Proposed Hotel Castro at 4230-18th Street, San Francisco Street

Let us know if you have any questions regarding Castro Merchants support for this proposed Application. Please include this letter in the matter's permanent file and any successor files, and assure that our support is communicated to all applicable Planning staff and to all Commissioners prior to their Hearing on this matter, and to any Appeal panel(s) at the time that this matter is considered by them.

Thank you for considering our comments.

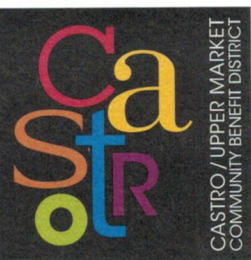
Respectfully,

A handwritten signature in black ink, appearing to read "Daniel Bergerac", written over a light blue rectangular background.

Daniel Bergerac, President

email cc: Sup. Jeff Sheehy
Capt. Gaetano Caltagirone, SFPD Mission Station
cc: Rich Springer, Gannon Tidwell for Hotel Castro

,,, LtrPlanningHotelCastro012318



584 Castro Street #336
San Francisco, CA 94114

PH 415.500.1181

FX 415.522.0395

www.castrocbd.org

[www.facebook/
castrocbd](http://www.facebook/castrocbd)

@visitthecastro

Richard Hillis, President
S.F. Planning Commission
1650 Mission St., Suite 400
San Francisco, CA 94103

January 17, 2018

RE: Case 2017-008334CUA

Dear Commission President Hillis,

The Castro/Upper Market Community Benefit District is writing to express our support for the Castro Hotel at 4230 18th St., case # 2017-008334CUA

The Castro/Upper Market CBD enthusiastically is supporting this project. The CBD board of directors believes this new use will bring added economic vitality to the Castro commercial corridor.

If you have any questions about this project and the Castro/Upper Market CBD's position, please do not hesitate to contact me at 415-500-1181 or via email at andrea@castrocbd.org

Thank you.

Sincerely,

Andrea Aiello
Executive Director

cc: Jeff Sheehy, District 8 Supervisor
Jeff Horn, Planner, S.F. Planning Department
Gannon Tidewell
Rich Springer
Timothy Quayle, CCS Architecture

APPLICATION FOR Conditional Use Authorization

1. Owner/Applicant Information

PROPERTY OWNER'S NAME: 4230 18th Street Partners, LP	
PROPERTY OWNER'S ADDRESS: c/o Gannon Tidwell, Postcard Capital 2044 Union Street San Francisco, CA 94123	TELEPHONE: (415) 292-2601 EMAIL: gannon@postcardproperties.com

APPLICANT'S NAME: <div>Same as Above <input checked="" type="checkbox"/></div>	
APPLICANT'S ADDRESS:	TELEPHONE: () EMAIL:

CONTACT FOR PROJECT INFORMATION: Daniel Frattin, Reuben, Junius & Rose, LLP <div>Same as Above <input type="checkbox"/></div>	
ADDRESS: One Bush Street, Suite 600 San Francisco, CA 94104	TELEPHONE: (415) 567-9000 EMAIL: dfrattin@reubenlaw.com

COMMUNITY LIAISON FOR PROJECT (PLEASE REPORT CHANGES TO THE ZONING ADMINISTRATOR): Gannon Tidwell, 4230 18th Street Partners, LP <div>Same as Above <input type="checkbox"/></div>	
ADDRESS: c/o Postcard Capital 2044 Union Street San Francisco, CA 94123	TELEPHONE: (415) 292-2601 EMAIL: gannon@postcardproperties.com

2. Location and Classification

STREET ADDRESS OF PROJECT: 4230 18th Street	ZIP CODE: 94114
CROSS STREETS: Diamond and Collingwood Streets	

ASSESSORS BLOCK/LOT: 2648 / 019	LOT DIMENSIONS: 75 x 25	LOT AREA (SQ FT): 1,875	ZONING DISTRICT: Castro Street NCD	HEIGHT/BULK DISTRICT: 40-X
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3. Project Description

(Please check all that apply) <input type="checkbox"/> Change of Use <input type="checkbox"/> Change of Hours <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alterations <input checked="" type="checkbox"/> Demolition <input type="checkbox"/> Other Please clarify:	ADDITIONS TO BUILDING: <input type="checkbox"/> Rear <input type="checkbox"/> Front <input type="checkbox"/> Height <input type="checkbox"/> Side Yard	PRESENT OR PREVIOUS USE: Commercial/Restaurant	
		PROPOSED USE: Tourist Hotel/Restaurant	
		BUILDING APPLICATION PERMIT NO.: n/a	DATE FILED:

4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

	EXISTING USES:	EXISTING USES TO BE RETAINED:	NET NEW CONSTRUCTION AND/OR ADDITION:	PROJECT TOTALS:
PROJECT FEATURES				
Dwelling Units	0	0	0	0
Hotel Rooms	0	0	12	12
Parking Spaces	0	0	0	0
Loading Spaces	0	0	0	0
Number of Buildings	1	0	1	1
Height of Building(s)	31'-6"	0	40'	40'
Number of Stories	2	0	4	4
Bicycle Spaces	0	0	4	4
GROSS SQUARE FOOTAGE (GSF)				
Residential	0	0	0	0
Retail	3,111sf (restaurant)	0	1,800 s/f (restaurant)	1,800 s/f (restaurant)
Office	0	0	0	0
Industrial/PDR <i>Production, Distribution, & Repair</i>	0	0	0	0
Parking	0	0	0	0
Other (Specify Use)	0	0	3,825 s/f (hotel)	3,825 s/f (hotel)
TOTAL GSF	3,111 s/f	0	5,625 s/f	5,625 s/f

Please describe any additional project features that are not included in this table:
 (Attach a separate sheet if more space is needed)

The Project includes the demolition of the existing two-story, 31'-6" tall, 3,111 s/f commercial building, and the construction of a new four-story, 40 foot tall, 5,625 s/f commercial building. The new building will have an 1,800 s/f restaurant use at the ground floor and a 3,825 s/f tourist hotel on the upper floors with 12 hotel rooms. No off-street parking or loading will be provided.

In the Castro NCD (Section 715), a Conditional Use Authorization is required for the following:

- 1) Nonresidential Use Size (Section 715.20);
- 2) Tourist Hotel Use (Section 715.55);
- 3) Restaurant Use (Section 715.44); and
- 4) Hours of Operation (Section 715.27).

5. Action(s) Requested (Include Planning Code Section which authorizes action)

Please See Exhibit A

Conditional Use Findings

Pursuant to Planning Code Section 303(c), before approving a conditional use authorization, the Planning Commission needs to find that the facts presented are such to establish the findings stated below. In the space below and on separate paper, if necessary, please present facts sufficient to establish each finding.

1. That the proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community; and
2. That such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:
 - (a) The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;
 - (b) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;
 - (c) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;
 - (d) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs; and
3. That such use or feature as proposed will comply with the applicable provisions of this Code and will not adversely affect the Master Plan.

Please See Exhibit A

Priority General Plan Policies Findings

Proposition M was adopted by the voters on November 4, 1986. It requires that the City shall find that proposed projects and demolitions are consistent with eight priority policies set forth in Section 101.1 of the City Planning Code. These eight policies are listed below. Please state how the project is consistent or inconsistent with each policy. Each statement should refer to specific circumstances or conditions applicable to the property. Each policy must have a response. IF A GIVEN POLICY DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

Please see Exhibit A

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

Please see Exhibit A

3. That the City's supply of affordable housing be preserved and enhanced;

Please see Exhibit A

4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

Please see Exhibit A

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

Please see Exhibit A

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

Please see Exhibit A

7. That landmarks and historic buildings be preserved; and

Please see Exhibit A

8. That our parks and open space and their access to sunlight and vistas be protected from development.

Please see Exhibit A

Estimated Construction Costs

TYPE OF APPLICATION: Conditional Use Authorization	
OCCUPANCY CLASSIFICATION: R-1; A-2	
BUILDING TYPE:	
TOTAL GROSS SQUARE FEET OF CONSTRUCTION: 5,625 s/f	BY PROPOSED USES: Tourist Hotel Restaurant Use
ESTIMATED CONSTRUCTION COST: \$1,687,500.00	
ESTIMATE PREPARED BY: Owner	
FEE ESTABLISHED: \$13,958.00	

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature:



Date: July 20, 2017

Print name, and indicate whether owner, or authorized agent:

Daniel Frattin, Authorized Agent

Owner / Authorized Agent (circle one)

Application Submittal Checklist

Applications listed below submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent and a department staff person.**

APPLICATION MATERIALS	CHECKLIST
Application, with all blanks completed	<input checked="" type="checkbox"/>
300-foot radius map, if applicable	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input type="checkbox"/>
Address labels (copy of the above), if applicable	<input type="checkbox"/>
Site Plan	<input checked="" type="checkbox"/>
Floor Plan	<input checked="" type="checkbox"/>
Elevations	<input checked="" type="checkbox"/>
Section 303 Requirements	<input checked="" type="checkbox"/>
Prop. M Findings	<input checked="" type="checkbox"/>
Historic photographs (if possible), and current photographs	<input checked="" type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Original Application signed by owner or agent	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input checked="" type="checkbox"/>
Other: Section Plan, Detail drawings (ie. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (ie. windows, doors)	<input type="checkbox"/>

NOTES:

☐ Required Material. Write "N/A" if you believe the item is not applicable, (e.g. letter of authorization is not required if application is signed by property owner.)

☒ Typically would not apply. Nevertheless, in a specific case, staff may require the item.

☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

After your case is assigned to a planner, you will be contacted and asked to provide an electronic version of this application including associated photos and drawings.

Some applications will require additional materials not listed above. The above checklist does not include material needed for Planning review of a building permit. The "Application Packet" for Building Permit Applications lists those materials.

No application will be accepted by the Department unless the appropriate column on this form is completed. Receipt of this checklist, the accompanying application, and required materials by the Department serves to open a Planning file for the proposed project. After the file is established it will be assigned to a planner. At that time, the planner assigned will review the application to determine whether it is complete or whether additional information is required in order for the Department to make a decision on the proposal.

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

LIST OF EXHIBITS

Application for Conditional Use Authorization
4230 18th Street

- Exhibit A..... Project Description; Action(s) Requested; Conditional Findings; and
..... Prop M Findings
- Exhibit B..... 300-foot radius map
- Exhibit C..... Site Plans; Floor Plans; Elevations and Photos
- Exhibit D.....Pre-application Materials
- Exhibit E..... Letter of Authorization
- Exhibit F..... Check for Application Fee

EXHIBIT A

**ATTACHMENT A
TO APPLICATION FOR CONDITIONAL USE AUTHORIZATION**

**4230 18th Street
(Block 2648, Lot 019)**

1. PROJECT DESCRIPTION

The Project proposes to demolish the existing two-story, 31'6" tall, 3,111-square-foot commercial building at 4230 18th Street, and to construct a new four-story, 40' tall, 5,625-square-foot commercial building. The building is currently occupied by a restaurant that serves beer and wine.

The new building will contain an 1,800-square-foot restaurant with on-site alcohol sales at the ground floor and a 3,825-square-foot tourist hotel on the upper three floors, with 12 guestrooms. To allow for continuous retail frontage at the ground-floor, no off-street parking or loading will be provided.

2. ACTIONS REQUESTED

Conditional Use Authorization is requested pursuant to Planning Code Section 303 for (1) non-residential use size (Sections 715.20 & 121.2) with regard to the tourist hotel; (2) tourist Hotel use (Section 715.55); restaurant use (Section 715.44); and hours of operation (Section 715.27). This is an application for a development permit pursuant to the Permit Streamlining Act (Section 65920 et seq. of the California Government Code).

3. COMPLIANCE WITH CONDITIONAL USE CRITERIA (SECTION 303 FINDINGS)

Under Planning Code Section 303(c), the City Planning Commission shall approve the application and authorize a conditional use if the facts presented are such to establish the following:

1. Desirability and Compatibility of Project

Planning Code section 303(c)(1) requires that facts be established which demonstrate the following:

That the proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community.

The Project is necessary and desirable for, and compatible with, the neighborhood and community. It will replace an approximately 32' tall, 3,111-square-foot restaurant building at the site with a new, attractively designed, 40' tall building containing a replacement restaurant space and 12-guestroom tourist hotel.

The Castro is among the City's major tourist destinations but has only a few hotels. According to a 2015 study, out-of-town visitors to the Castro spend \$153 per day in area businesses, exclusive of transportation and lodging.¹ The Project's 12 hotel rooms will directly support retail businesses in the neighborhood and help address the relatively high retail vacancy rate in the area.² In addition to property and other taxes, a 14% transient occupancy tax on hotel rooms will fund a wide range of city services.

Development in the area represents a wide range of architectural styles, contributing visual interest to the urban landscape. The Project's modern design will add to the eclectic appeal of the neighborhood. In addition, its modest height and scale will be consistent with zoning requirements and will complement the existing mall scale, fine-grained character of development in the area.

The Project's replacement restaurant space will maintain the current range of retail options available in the area.

2. Effect of Project on Health, Safety, Convenience or General Welfare

Planning Code section 303(c)(2) requires that facts be established which demonstrate the following:

That such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:

- (a) The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of the structure.**

The Project's shape and arrangement will not be detrimental to public health, safety, or welfare of people who live, work, or stay within the vicinity. The site is just 1,875 square feet with 25 feet of frontage along 18th Street, consistent with the size and depth of adjacent properties to its east and west. At four stories, the new building will remain consistent with the height of numerous other structures in the neighborhood while providing additional retail area for neighborhood-serving uses. The Project will create an attractive new building with ground floor restaurant use and 12-guestroom tourist hotel on the upper floors, featuring spacious balconies. It will re-activate and enliven the adjacent street frontage with installation of a new street tree and potential outdoor seating for the restaurant use.

¹ *Castro & Upper Market Retail Strategy*, Castro Community Benefits District, June 2015.

² *Id.* As of June 2015, there were 33 vacant retail spaces in the Upper Market and Castro business district, an approximately 9% retail vacancy rate.

- (b) **The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading and of proposed alternatives to off-street parking, including provisions of car-share parking spaces, as defined in Section 166 of this Code.**

The Project would not include off-street parking or loading. It is anticipated that the vast majority, if not all, hotel guests will travel to and from the site by public transportation, Uber, Lyft and taxi. Due to the Project's small scale and proximity of the site to public transit, the Project is not anticipated to have any negative impact on area pedestrian or vehicular traffic patterns.

- (c) **The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor.**

The Project will comply with all applicable regulations relating to construction noise and dust. It will not produce, nor include, any permanent uses that generate substantial levels of noxious or offensive emissions, such as noise, dust, glare, or odor.

- (d) **Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs.**

The Project is located on a relatively small infill site on a neighborhood commercial street. It will re-active the adjacent streetscape by providing an attractive modern building design, incorporating appropriate screening, signage and lighting, and planting and/or maintaining new street tree.

3. Compliance with the General Plan.

Planning Code Section 303(c)(3) requires that facts be established that demonstrate that such use or feature as proposed will comply with the applicable provisions of this code and will not adversely affect the General Plan.

The Project will affirmatively promote, is consistent with, and will not adversely affect the General Plan, as follows:

Commerce and Industry Element

- | | |
|-------------|---|
| Objective 3 | PROVIDE EXPANDED EMPLOYMENT OPPORTUNITIES FOR CITY RESIDENTS, PARTICULAR THE UNEMPLOYED AND ECONOMICALLY DISADVANTAGED. |
| Policy 1.3 | Promote the attraction, retention and expansion of commercial and industrial firms which provide employment improvement opportunities for unskilled and semi-skilled workers. |

Policy 3.2 Promote measures designed to increase the number of San Francisco jobs held by San Francisco residents.

Policy 1.3 notes that tourist and service related sectors of the local economy such as hotels and restaurants typically hire significant numbers of entry-level and non-technically trained persons. The Project would meet this policy by providing a new 12-guestroom tourist hotel and 1,800- square-foot restaurant, creating a number of new jobs, many of which will be available to entry-level workers. These uses will increase the number of jobs available for San Francisco residents.

Objective 8 ENHANCE SAN FRANCISCO'S POSITION AS A NATIONAL CENTER FOR CONVENTIONS AND VISITOR TRADE.

Policy 8.1 Guide the location of additional tourist-related activities to minimize their adverse impacts on existing residential, commercial, and industrial activities.

Policy 8.1 notes that various activities compromising the visitor trade industry should be encouraged to locate in geographical proximity to each other. This is in part to allow visitors to move easily from hotels and restaurants to tourist locales and convention facilities. Similarly, it lessens the need for automobile or transit trips, and relieves any additional strain on the public transit system. The Project's location accomplishes this policy: in close geographical proximity to City tourist destinations and within easy transit to the City's downtown core and convention centers.

Guidelines for Specific Use: Hotel

Guideline 1: Hotels should be discouraged if they displace existing retail sales and services which are necessary and desirable for the surrounding neighborhoods.

The project will not displace a necessary neighborhood-serving retailer. It will demolish an existing building containing a single restaurant use and replace it with a new building containing both a restaurant use and 12-guestroom tourist hotel. This will increase necessary and desirable retail use within the neighborhood.

Guideline 2: In districts with an overconcentration of hotels and similar accommodations, it is preferable that new hotels be located at least 300 feet from any existing hotel, motel or bed and breakfast establishment unless there are factors such as traffic circulation, parking, or land use distribution which make clustering appropriate.

The surrounding area is uniquely appropriate for hotels. There is a nearly unprecedented demand for hotel rooms in San Francisco, driven both by

business travel and tourism demand. There are few other hotels to accommodate this demand in close proximity to the property, and none within 300 feet of the site.

Guideline 3: New hotels should contribute to an active retail frontage by providing stores, coffee shops, or convenience retail on the ground story of the major street frontage.

The Project meets this guideline, providing a ground-floor restaurant along 18th Street.

Guideline 4: Hotel development should be compatible in scale and design with the overall district character and especially with buildings on the same block.

The Project is consistent with the prevailing neighborhood character and design. At four stories, it is consistent with the height of many other buildings in the neighborhood. It will add a modern four-story building on a busy commercial street and in an area marked by eclectic design style. It will not impede any existing mid-block open space, nor disrupt a pattern of development on the block.

Guideline 5: Access to required hotel parking should be designed to minimize interruption of the active retail frontage and disturbance to adjacent residences.

The Project proposes no off-street hotel parking or curb cuts, causing no interruption of the active retail frontage, or disturbance to adjacent residences.

Urban Design Element

Objective 3: MODERATION OF MAJOR NEW DEVELOPMENT TO COMPLEMENT THE CITY PATTERN, THE RESOURCES TO BE CONSERVED, AND THE NEIGHBORHOOD ENVIRONMENT.

Policy 3.1: Promote harmony in the visual relationships and transitions between new and older buildings.

Policy 3.3: Promote efforts to achieve high quality of design for buildings to be constructed at prominent locations.

The Project has a high quality of design that will draw pedestrian interest and is harmonious with the existing pattern and scale of development in the site's vicinity. At four stories, it is the same height as many other existing

buildings in the neighborhood, and proposes a scale that is compatible with adjacent development.

4. Such use or feature as proposed will provide development that is in conformity with the stated purpose of the applicable Use District.

Section 702.1 of the Planning Code states that Neighborhood Commercial Use Districts are established for the purpose of implementing the Commerce and Industry element and other elements of the General Plan, according to the objective and policies stated therein. As described in Planning Code Section 715, the Castro NCD provides convenience goods to its immediate neighborhood as well as comparison shopping goods and services on a specialized basis to a wider trade area.

The Castro NCD controls are designed to maintain existing small-scale development and promote a balanced mix of uses. Building standards permit small-scale buildings and uses and protect rear yards above the ground story and at residential levels. In new buildings, most commercial uses are permitted at the ground and second stories. In order to maintain convenience stores and protect adjacent residential livability, controls authorize some additional eating and drinking establishments with a conditional use, permit self-service specialty food establishments, and permit with certain limitations new late-night uses, adult and other entertainment, and financial service uses. The continuous retail frontage is maintained by prohibiting most automobile and drive-up uses.

The Project is located on 18th Street, one of two commercial corridors in the Castro NCD. The proposal calls for the demolition of a two-story commercial building and the construction of a new four-story tourist hotel building. The ground floor will contain a new restaurant, which will serve the residents of the neighborhood as well as those who frequent the hotel. The upper floors will contain a new small-scale tourist hotel, which is permitted in the Castro NCD with a Conditional Use Authorization. The hotel will have 12 rooms and will not have an extensive on-site staff. The Project is small in size and scale and will have a minimum impact on the surrounding area while meeting the goals of the Castro NCD.

4. COMPLIANCE WITH SECTION 303 (g) – HOTELS AND MOTELS

Section 303(g) requires that, with respect to an application for Conditional Use authorization for a hotel or motel use, the Planning Commission consider the following:

- a. **The impact of the employees of the hotel or motel on the demand for City housing, public transit, child-care, and other social services. To the extent relevant, the Commission shall also consider the seasonal and part-time nature of employment in the hotel or motel.**

The Project is anticipated to will create a modest number of new full-time and part-time positions for direct employees. Due to the small size of the hotel, the Project Sponsor will contract with other local businesses to provide maintenance and housekeeping for the hotel. This incremental

increase in employment will not substantially affect demand for housing, child-care, or other social services.

The Project site is well-served public transit, is located within easy walking distance of numerous MUNI light rail and bus lines connecting visitors and workers to locations throughout the City and regional transit options. The proposed 12-guestroom tourist hotel is not anticipated to have a significant effect on the City's services due to its relatively small size and location in a transit-rich area.

b. The measures that will be taken by the project sponsor to employ residents of San Francisco in order to minimize increased demand for regional transportation;

The sponsor will incorporate a number of measures into its hiring practices to promote hiring local workers. These will include: (1) placing significant value on local knowledge for all employees during the interview process. As hotel guests are anticipated to come from outside the immediate area, the sponsor will encourage selection and retention of local workers that are able to help guide guests through reference to their knowledge of the local neighborhood and San Francisco area. This will inherently favor hiring of people who live near the hotel; and (2) During recruiting for new positions, the sponsor will utilize communication methods directed at residents of the nearby community, including Castro-oriented blogs and email lists, local bulletin boards, and postings at the property.

c. The market demand for a hotel or motel of the type proposed; and

San Francisco's hotel market is among the strongest in the nation, and the number of visitors to the City is at an all-time high. As a result, hotel occupancies are at record levels. San Francisco Travel (the private, non-profit organization that markets the City as a travel destination) reports 24.6 million visitors to San Francisco in 2015, including 18.9 million leisure travelers and 5.8 million business travelers. Over 60 percent of the City's overnight travelers stay in hotels, resulting in occupancy rates between 80 to 90 percent every year since 2010. The average daily room rate stood at \$268/night in 2015, a nearly 20 percent increase from 2013.

San Francisco also ranks among the top global destinations for LGBT tourism. The Castro, one of the country's first LGBT neighborhoods, is a major draw for its historic landmarks, nightlife, and year-round cultural events. Despite this, the neighborhood has only two hotels, located on the periphery of the Castro on Market Street. A small hotel in the heart of the Castro will have unique appeal, and there is ample market demand for it.

- d. **In the Transit Center C-3-O(SD) Commercial Special Use District, the opportunity for commercial growth in the Special Use District and whether the proposed hotel, considered with other hotels and non-commercial uses approved or proposed for major development sites in the Special Use District since its adoption would substantially reduce the capacity to accommodate dense, transit-oriented job growth in the District.**

The property is not located in the Transit Center C-3-O(SD) Commercial Special Use District, and therefore this criteria does not apply.

5. COMPLIANCE WITH SECTION 121.2 – USE SIZE LIMITS (NON-RESIDENTIAL), NEIGHBORHOOD COMMERCIAL DISTRICTS

The Project will include a 3,825-square-foot tourist hotel on its upper three floors.

Planning Code Section 121.2 requires that, with respect to an application for Conditional Use authorization for a non-residential use size exceeding 2,000 square feet in the Castro Street NCD, the Planning Commission consider the following:

- a. **The intensity of activity in the district is not such that allowing the larger use will be likely to foreclose the location of other needed neighborhood-serving uses in the area;**

The tourist hotel use would be limited to 3,825 square feet, within the maximum permitted use size for the district and consistent with the scale of many other non-residential uses in the neighborhood. Further, the Project would increase the total amount of commercial area at the property by approximately 2,500 square feet, creating additional opportunities for needed neighborhood-serving retail uses.

- b. **The proposed use will serve the neighborhood, in whole or in significant part, and the nature of the use requires a larger size in order to function.**

The proposed tourist hotel use will serve the neighborhood by accommodating area visitors. The proposed 3,825-square-foot size is small for a tourist hotel use, and further reduction in size would unreasonably limit the potential for guest room accommodations and impact operations.

- c. **The building in which the use is to be located is designed in discrete elements which respect the scale of development in the district.**

The Project would replace the existing 32' building with a new 40' building on an approximately 1,800-square-foot lot with just 25 feet of frontage along 18th Street. The new building would remain compatible with the scale and fine-grained character of neighboring development.

7. PRIORITY GENERAL PLAN FINDINGS

Planning Code Section 101.1 establishes the following eight priority planning policies and requires review of permits for consistency with said policies. The Project and this application are consistent with each of these policies as follows:

- a. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced.**

The Project will provide a net increase in the area of neighborhood-serving retail uses, by replacing a 3,111-square-foot building containing a single restaurant use with an attractively-designed new building containing an 1,800-square-foot ground floor restaurant and 12-guestroom tourist hotel. This improvement will enhance future opportunities for resident employment in and ownership of local business.

- b. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.**

No housing will be removed by the Project. The Project is designed to respect the existing character and scale of development in the neighborhood.

- c. That the City's supply of affordable housing be preserved and enhanced.**

The Project will not displace any affordable housing. It will result in increased Transient Occupancy Tax revenue for the City, which is deposited into the City's General Fund and can be used at least in part to preserve and enhance affordable housing throughout the City.

- d. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking.**

The Project site is well-served by public transit. It is within easy walking distance to a number of MUNI light rail and bus lines. Further, the Project will not contain any off-street parking space, encouraging workers and visitors to walk, bike, or utilize public transportation to access the site.

- e. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.**

The Project will not displace industrial or service sector use.

- f. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.**

The Project conforms to the structural and seismic requirements of the San Francisco Building Code, and thus meets this requirement.

- g. That landmarks and historic buildings be preserved.**

The Project would not impact any City landmarks or historic buildings.

- h. That our parks and open space and their access to sunlight and vistas be protected from development.**

The Project is not anticipated to result in any impacts on parks, open space, or their access to sunlight or vistas.



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
4230 - 18th Street		2648/019
Case No.	Permit No.	Plans Dated
2017-008334ENV		5/16/2017
<input checked="" type="checkbox"/> Addition/ Alteration	<input checked="" type="checkbox"/> Demolition (requires HRER if over 45 years old)	<input type="checkbox"/> New Construction
<input type="checkbox"/> Project Modification (GO TO STEP 7)		
Project description for Planning Department approval. Proposed project includes the demolition of the existing two-story, 31'-6" tall, 3,111 s/f commercial building and the construction of a new four-story, 40 foot tall, 5,625 s/f commercial building. The new building will have an 1,80 s/f restaurant use on the ground floor and a 3,825 s/f tourist hotel on the upper floors with 12 rooms. No off-street parking or loading will be provided.		

STEP 1: EXEMPTION CLASS

TO BE COMPLETED BY PROJECT PLANNER

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input checked="" type="checkbox"/>	Class 1 – Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	Class 3 – New Construction/ Conversion of Small Structures. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions.; ; change of use under 10,000 sq. ft. if principally permitted or with a CU. Change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class _____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an <i>Environmental Evaluation Application</i> is required.	
<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks)? <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Article 38 program and the project would not have the potential to emit substantial pollutant concentrations. (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollutant Exposure Zone)</i>
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the</i>

	<i>Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i>
<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	Slope = or > 20%: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required.
If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <u>Environmental Evaluation Application</u> is required, unless reviewed by an Environmental Planner.	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.
Comments and Planner Signature (optional): Laura Lynch <div style="font-size: small; float: right;"> Digitally signed by Laura Lynch DN: cn=Laura Lynch, o=SF Planning Department, ou=Environmental Planning, email=laura.lynch@sfgov.org, c=US Date: 2017.07.26 17:48:05 -0700 </div>	

STEP 3: PROPERTY STATUS – HISTORIC RESOURCE TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input checked="" type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not “in-kind” but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):

<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): <i>(Requires approval by Senior Preservation Planner/Preservation Coordinator)</i> _____
<input checked="" type="checkbox"/>	10. Reclassification of property status. <i>(Requires approval by Senior Preservation Planner/Preservation Coordinator)</i> <input type="checkbox"/> Reclassify to Category A <input checked="" type="checkbox"/> Reclassify to Category C a. Per HRER dated: _____ <i>(attach HRER)</i> b. Other <i>(specify)</i> : Per PTR signed 11/20/17
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional): 	
Preservation Planner Signature: Elizabeth Gordon Jonckheer <small>Digitally signed by Elizabeth Gordon Jonckheer DN: cn=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Elizabeth Gordon Jonckheer, email=Elizabeth.Gordon-Jonckheer@sfgov.org Date: 2017.11.22 13:35:00 -08'00'</small>	

STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either <i>(check all that apply)</i> : <input type="checkbox"/> Step 2 – CEQA Impacts <input type="checkbox"/> Step 5 – Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.	
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA.	
	Planner Name: E Jonckheer Project Approval Action: Planning Commission Hearing <small>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</small>	Signature: Elizabeth Gordon Jonckheer <small>Digitally signed by Elizabeth Gordon Jonckheer DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Elizabeth Gordon Jonckheer, email=Elizabeth.Gordon- Jonckheer@sfgov.org Date: 2017.11.22 13:35:02 -08'00'</small>
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.	

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT**TO BE COMPLETED BY PROJECT PLANNER**

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
Case No.	Previous Building Permit No.	New Building Permit No.
Plans Dated	Previous Approval Action	New Approval Action
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required. CATEX FORM	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:



SAN FRANCISCO PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW FORM

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Preservation Team Meeting Date:	11/8/2017	Date of Form Completion	11/8/2017
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PROJECT INFORMATION:		
Planner:	Address:	
Elizabeth Jonckheer	4230 18th Street	
Block/Lot:	Cross Streets:	
2648/019	Collingwood and Diamond Streets	
CEQA Category:	Art. 10/11:	BPA/Case No.:
B	n/a	2017-008334ENV

PURPOSE OF REVIEW:			PROJECT DESCRIPTION:	
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input checked="" type="radio"/> Alteration	<input type="radio"/> Demo/New Construction

DATE OF PLANS UNDER REVIEW:	May 16, 2017
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PROJECT ISSUES:	
<input checked="" type="checkbox"/>	Is the subject Property an eligible historic resource?
<input type="checkbox"/>	If so, are the proposed changes a significant impact?
Additional Notes:	
Historic Resource Evaluation prepared by Richard Brandi (dated August 4, 2017).	
Proposed Project: Demolition of the existing two-story, 31'-6" tall, 3,111 s/f commercial building and the construction of a new four-story, 40 foot tall, 5,625 s/f commercial building. The new building will have an 1,800 s/f restaurant use on the ground floor and a 3,825 s/f tourist hotel on the upper floors with 12 rooms.	

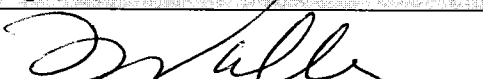
PRESERVATION TEAM REVIEW:				
Category:		<input type="radio"/> A	<input type="radio"/> B	<input checked="" type="radio"/> C
Individual		Historic District/Context		
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:		Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:		
Criterion 1 - Event: <input type="radio"/> Yes <input checked="" type="radio"/> No		Criterion 1 - Event: <input type="radio"/> Yes <input checked="" type="radio"/> No		
Criterion 2 - Persons: <input type="radio"/> Yes <input checked="" type="radio"/> No		Criterion 2 - Persons: <input type="radio"/> Yes <input checked="" type="radio"/> No		
Criterion 3 - Architecture: <input type="radio"/> Yes <input checked="" type="radio"/> No		Criterion 3 - Architecture: <input type="radio"/> Yes <input checked="" type="radio"/> No		
Criterion 4 - Info. Potential: <input type="radio"/> Yes <input checked="" type="radio"/> No		Criterion 4 - Info. Potential: <input type="radio"/> Yes <input checked="" type="radio"/> No		
Period of Significance: <input type="text" value="n/a"/>		Period of Significance: <input type="text" value="n/a"/>		
		<input type="radio"/> Contributor <input type="radio"/> Non-Contributor		

Complies with the Secretary's Standards/Art 10/Art 11:	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
CEQA Material Impairment to the individual historic resource:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
CEQA Material Impairment to the historic district:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Requires Design Revisions:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Defer to Residential Design Team:	<input checked="" type="radio"/> Yes	<input type="radio"/> No	

PRESERVATION TEAM COMMENTS:

According to the Historic Resource Evaluation (HRE) prepared by Richard Brandi (dated August 4, 2017) and information found in the Planning Department files, the subject property at 4280 18th Street contains a two-story, rectangular plan, wood-frame structure with a flat roof, constructed between 1886 and 1900 (source: Sanborn Maps). An application for Spring Valley Water service was dated July 24, 1893, and was signed on behalf of Isabella J. Barti by Harrison Barti. The original builder and architect are unknown. According to the Sanborn Maps, the original building was two-story structure with side and rear projections and a flat roof. In 1908, a store, and a one-family unit on the second story were added (source: Water Service records). According to the HRE, the store was a one-story addition that was grafted to the front of the building, after the 1906 earthquake, when owners of many other houses added storefronts and additional living accommodations (similar examples can be seen across 18th Street). The building was used as a residence with a commercial storefront until the early 1960s (source: Sanborn Maps). Building permits indicate that the residential use at subject property ended sometime before 1963, although occupancy records indicate there was residential use in the building from 1970 to 1972. Since 1973 the property has been used exclusively as a restaurant. At present, the ground floor has a glazed storefront with tiled bulkheads and a recessed entry. The second story has a full width, glass enclosed patio with a shed roof. The west side of the building has a brick walkway leading to a side door, and the front and side of the building are clad in horizontal wood siding. The walls of the patio are clad in wood shingles and a cornice is visible behind the shed roof patio. There have been numerous exterior alterations to the property, including: relocation of the front door to the sidewalk and replacement of the front doors and windows (1937); coverage of the front with ¾ RT 111, and installation of a new window and door (1963); installation of an awning (1969); mezzanine and stairway additions (1970); installation of a canopy and awning (1973 & 1989); signage (1976 & 1984); installation of a new Plexiglass front patio, and new corrugated fiberglass back yard staircase (2007); installation of a new entry door, window replacement at the first floor, installation of tiles at the front and reroofing (2010). According to the HRE, at some point prior to 1976, the building was clad with wood shingles, and a open deck was added on the second story that slightly projected over the first story. The shingle siding was removed or covered with the current horizontal wood siding between 2004 and 2008 (source Max Kirkeberg Photo Collection SF State University).

- continued -

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
	11/20/17

The subject property has had several owners and occupants. As previously indicated, the building was used as a residence with a commercial storefront until the early 1960s. Records note the property was sold by Gabrella T. Banto to Vincent Bello (a foreman) and Lewis Webb (an engineer) on April 18, 1916. Bello then sold the property to Margaret Bello on March 23, 1918, but it was resold (at least in partial ownership) back to Lewis Webb and Augusta M. Webb on February 19, 1918. By 1936, the Estate of Margaret Bello sold the property to Doris S. and Hazel H. Bello. The Bello family sold the parcel to W. R. McCullugh (a repairman) in 1937, and McCullugh held the property until 1963. The property changed hands several times from the late 1960s through the early 2000s. However, from 1973 to 1977, the building was owned by David A. Manducca, LD Myers and Harlow E. Willard. David Manducca (with Fred Rodgers) is known for opening The Elephant Walk bar at 500 Castro Street, a location significant within the Castro neighborhood. The Elephant Walk was "...hailed as a place where the gay community could meet, feel safe and secure while at the same time be visible to the whole world." (Source: <http://www.harveyssf.com/History.html>.) In the 2000s, 4230 18th Street was owned by Golden Panthers LLC, and Mark Washeleski and Kaur Harveen Khera (both entities in 2002), Shim and SO LLC (2002 to 2006), Noel and Mayua Martinez (2006 to 2009), and Ramona 140 LP (2009).

No known historic events occurred at the subject property (Criterion 1). The building was owned for four years by David Manducca, but it is not otherwise known for being associated with significant events or people noted in the *Citywide Historic Context Statement for LGBTQ History* by Graves and Watson. None of the other owners or occupants have been identified as important to history (Criterion 2). Due to alterations, 4230 18th Street does not retain any distinctive architectural features, and is not architecturally distinct such that it would qualify individually for listing in the California Register under Criterion 3. The subject property is located in the Eureka Valley/Castro neighborhood just west of the Castro Street Historic District, but is not located within the boundaries of any other identified historic district. Several nearby residential buildings have stores erected at the front façades typical to development in the early 1900s, as noted in the draft *Neighborhood Commercial Buildings Historic Context Statement, 1865–1965*:

As development pressure and the value of land in San Francisco increased, it became increasingly profitable and common for residential property owners to add commercial space to existing buildings. Entire houses were raised to insert a ground level store. Small commercial buildings were also erected in front yards. The conversion of residential buildings to commercial uses typically occurred on flatter terrain and often extending out from smaller, existing commercial blocks...Much of this development appears to have been completed in the 1910s and some of the earliest conversions were planned in the immediate aftermath of the 1906 disaster. (*Neighborhood Commercial Buildings Historic Context Statement, 1865–1965, pages 46-47.*)

According to the *Neighborhood Commercial Buildings Historic Context Statement, 1865–1965* (page 73), in general, in order to qualify for individual listing under this framework as a commercial building with significance derived specifically from the storefront, the structure should:

...express integrity of design, materials, and workmanship. Such storefronts should retain a substantial portion of the historic storefront features, including recessed vestibule

shape, bulkhead, and transom. A storefront that has been altered in a compatible manner may, for example, retain the shape of the recessed vestibule, yet feature contemporary bulkhead cladding and new window system.

Due to significant alterations, the building at 4230 18th Street has lost all aspects of its historic integrity under this context. Other buildings on 18th Street are Victorian or Edwardian multi-family dwellings, with the exception of the supermarket and a medical building on the corners of Collingwood Street. Due to the diverse types of building and varied construction dates, the immediate area does not contain a significant concentration of aesthetically unified buildings. The subject building housed a restaurant called Fanny's from 1974 to 1985. Although not specifically referenced in the *Citywide Historic Context Statement for LGBTQ History* in San Francisco by Graves and Watson, it was one of the many gay businesses that opened and operated during the 1970s and 1980s in the Castro, and helped form the Castro's identity as a gay residential, cultural and social center. However, the subject property has not been identified as part of the group of thematically unified properties associated with LGBTQ history.

The subject building is not significant under Criterion 4, since this significance criterion typically applies to rare construction types when involving the built environment. The subject building is not an example of a rare construction type. Therefore, the subject property is not eligible for listing in the California Register under any criteria individually or as part of a historic district. This assessment does not address archeology.



TAILORS

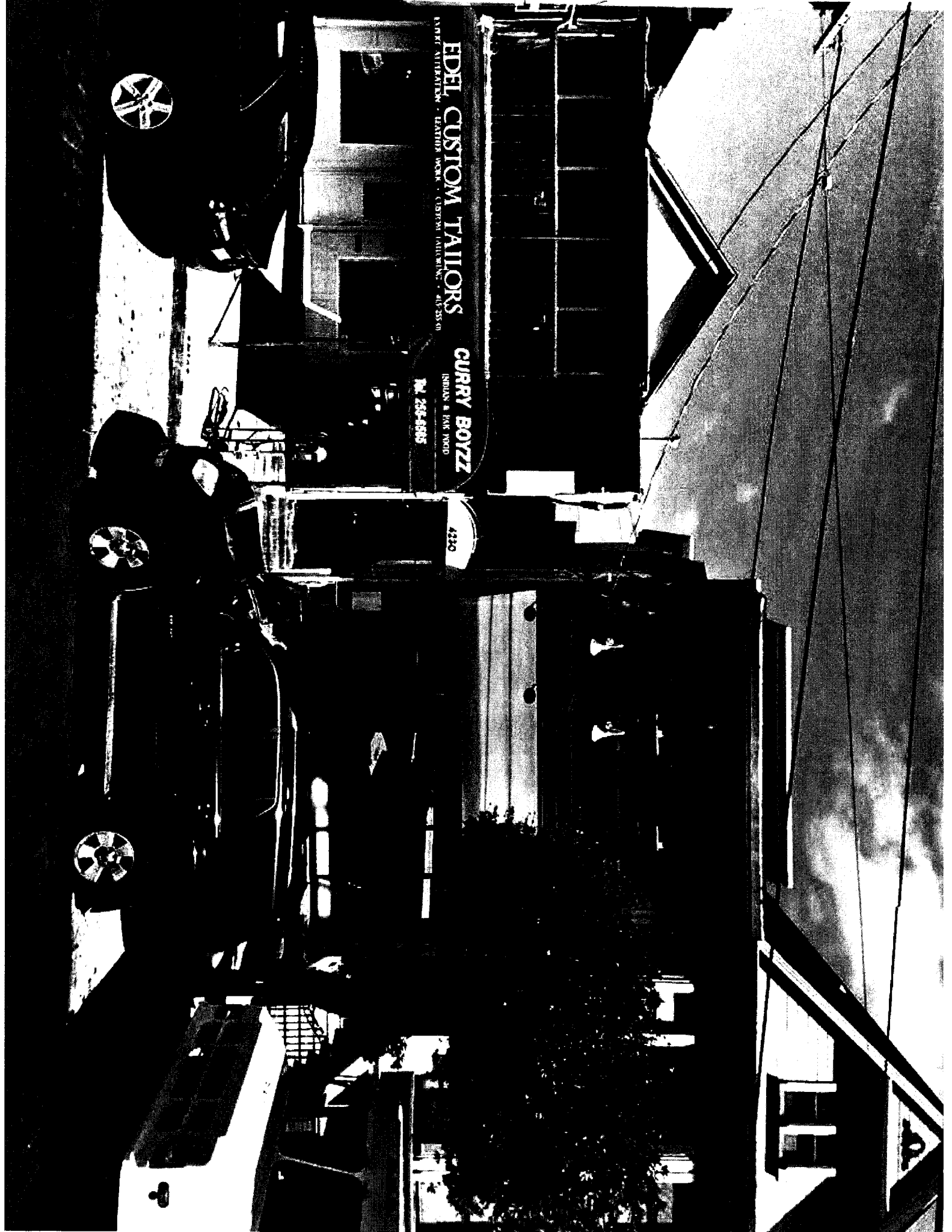
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4330

MEMORANDUM

To: Gannon Tidwell, Managing Partner of 4230 18th Street Partners, LP

From: Economic & Planning Systems, Inc.

Subject: San Francisco Planning Code Section 303(g) Analysis for 4230 18th Street; EPS #171117

Date: November 30, 2017

The Economics of Land Use



Economic & Planning Systems (EPS) was retained by 4230 18th Street Partners, LP (Developer) to prepare the San Francisco Planning Code Section 303(g) Conditional Use Report for the 4230 18th Street Project (Project). The Developer proposes to convert an existing 2,500-square foot restaurant to a four-story, 12-unit boutique hotel located in San Francisco's Castro neighborhood. As part of the Conditional Use Authorization application, the San Francisco Planning Code Section 303(g) established a set of criteria for the City's Planning Commission to consider. These include the following:

- The impact of the employees on the demand in the City for housing, public transit, childcare and other social services;
- The measures taken by the project sponsor to employ residents of San Francisco in order to minimize increased demand for regional transportation; and
- The market demand for a hotel or motel of the type proposed.

This memorandum summarizes the findings for the Section 303(g) assessment for 4230 18th Street.

Key Findings

- There will be minimal impacts on housing, public transit, childcare, and other social services from both temporary employees during construction and permanent employees during hotel operations. The small scale of the proposed Project will produce negligible impacts in the Castro neighborhood during operations.
- Hiring practices will rely largely on local recruiting services in order to limit increased demand for regional transportation.

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- Outlook for the hotel market in San Francisco continues to be positive and is supported by healthy tourism and business sectors. Occupancy and room rates in the City are also quite strong for all lodging types, including comparable developments (i.e., similarly sized projects in the upscale-luxury market).
- The proposed Project reflects the City's shifting trend away from large scale, traditional-style hotels towards independent, boutique developments.
- The proposed Project and its programming are currently unique in the City. Pipeline data shows two proposed hotels with similar product types planned to be located in the North Beach neighborhood.

Project Description

The proposed 12-unit Project is located in the Castro District, approximately a block south of Market Street and a block west of Castro Street. The Hotel entrance will be located on 18th Street, neighboring the main commercial district on Castro Street. The site is one block from the nearest bus stop and two blocks from the Castro light-rail (Muni) stop, located at the intersection of Castro Street and Market Street. The site is also approximately one mile from the 16th Street Mission BART station located in the Mission District.

The Project's location in San Francisco's Castro neighborhood will attract guests looking for a lively and walkable base from which to explore popular San Francisco tourist attractions. It will also offer an opportunity for visitors to stay in a community steeped in LGBTQ activism and history. The proposed Project is just blocks away from the Castro Theater, Harvey Milk Plaza, the GLBT History Museum, Mission Dolores Park and numerous bars, restaurants, and historically significant sites.

Preliminary Project Renderings of Building and Level 2 Floor Plan



Source: 4230 18th Street Partners, LP

The hotel will occupy three of the four floors, with the ground floor operating as a full-service restaurant. Rooms range from 155 to 255 square feet, each with its own balcony. The Project will also feature accessible rooftop space that will act as an amenity for hotel guests when not being used as event space for small gatherings.

The Project plans to feature a limited offering of amenities, but includes 24-hour room service and maid service. Other services such as laundry, gym, and recreational activities will be provided through partnerships with local merchants and businesses. The projected room rates average approximately \$300 per night, depending on the season, with average occupancy projected at 80 percent.¹ The Project expects to occupy the luxury boutique market sector and cater to leisure and business traveler guests looking for a unique lodging experience. Preliminary project renderings and planning documents indicate that the proposed Project will feature high-tech amenities, cutting-edge design, and unique amenity offerings that are aligned with observed hotel trends in the boutique luxury category.²

Methodology and Data Sources

The findings presented in this memorandum are anchored by well-regarded public and private data sources, including the following:

- Smith Travel Research
- City of San Francisco
- IMPLAN
- Relevant news articles and internet research

These sources, in addition to information provided by the Developer, are employed in this analysis to showcase the ways in which the Project would fit into the existing San Francisco accommodations landscape. Smith Travel Research supplied a list of all hotels located in the City of San Francisco. EPS carefully reviewed this database, in conjunction with the details of the proposed Project, to identify a “competitive set” of existing hotels that exhibit similar characteristics to the proposed Project. Similar characteristics include average daily rate, market orientation, and number of rooms (size). The identification of a competitive set allowed for comparison between citywide hotel trends and trends exhibited within this tailored set. EPS then acquired further data on hotel trends and performance metrics from Smith Travel Research, which allowed for further analysis of the existing hotel market and the expected performance of a hotel at the proposed Project location.

In order to provide a more comprehensive outlook on future supply, EPS also used City Planning databases to identify “pipeline” hotel projects that would compete with to the proposed Project. The City’s most current database reflects applications compiled during Quarter 1 of 2017. While this database may not display all hotel projects underway in the City, it is considered to be the most dependable data source for future hotel development since it is compiled by the City to display projects underway in the planning process, as opposed to news articles and private

¹ Provided by Developer.

² Skift: Complete Oral History of Boutique Hotels (3/20/2017) and 10 Hotel Trends That Will Shape Guest Experience in 2017 (1/3/2017).

sources, which may present more speculative information. This pipeline list has been supplemented and updated with information that has been confirmed and vetted by EPS.

Employee Impacts on Services and Housing

The number of employees needed to support the hotel is minimal, as shown in **Table 1**.

Table 1 Staff Programming

Full-Time Position	Staff Count
Maintenance	1
Housekeeping	2
Concierge	1
General Manager (Off-Site)	1
Total	5

**Employment estimates provided by the Developer*

There will be five full-time positions associated with the Project, which are not expected to fluctuate seasonally. These positions include maintenance, housekeeping, concierge, and an off-site General Manager. As described in the next section, it is most likely that these positions will be filled by local hires, and there will be a minimal net impact on the demand for housing and services in the City.

Project construction will generate an estimated 11 job-years for local residents and take approximately 15 months to complete.³ Although these projections may fluctuate at the time of development, any demands on City services resulting from project construction will be minimal and temporary.

Measures to Employ City Residents

The project sponsor plans on hiring locally through a variety of employment networks. The sponsor will advertise job openings on HireSF.org, in local newspapers such as the San Francisco Examiner, and on Craigslist. According to *The Economic Impact of San Francisco Hotels* (2013) produced by the Hotel Council of San Francisco, 57 percent of San Francisco hotel employees are residents of the City, compared to the 54 percent average of all industries.

Hotel Market Analysis

To assess demand for the proposed hotel, EPS reviewed the proposed Project description and identified the competitive market. EPS studied the San Francisco market broadly, and focused on a “competitive market” set (i.e., hotels with similar average daily rates (ADR), size, and market orientation). At both the citywide and competitive-market level, EPS acquired historical hotel

³ A job-year is a way of capturing “full-time equivalent” jobs over a period of time. For example, two people working full-time for six months reflect one job-year. One person working half-time for two years also reflects one job-year. The job-year estimate is based on IMPLAN’s projection for construction sector 57 (construction of new commercial structures including hotel structures).

market performance data, analyzed demand trends, and considered potential future hotel competition.

Existing Market Context

Hotel Inventory

San Francisco's total hotel inventory of 218 hotels and approximately 33,800 rooms are largely located in five areas: South of Market (SoMa), Fisherman's Wharf, Lombard Street/Van Ness, Union Square, and the Financial District.⁴ Over the last decade, room counts have been generally stagnant with few new hotel developments due to the high barriers to entry.⁵ In 2015, Marriot San Francisco Union Square (174 rooms) and Hilton San Francisco Downtown Convention Center (166 rooms) were built. In 2016, there were no new major hotel openings. As of November 2017, three of the five major hotels slated to open in 2017 have opened: the Hotel Via, the Virgin Hotel, and San Francisco Proper.⁶

Over 95 percent of existing room stock belongs to larger establishments with 30 or more units, corresponding to about 84 percent of total hotel buildings. Between 2010 and 2016, new development reflected a similar inclination towards larger, traditional developments with the exception of the luxury class Inn at the Presidio (22 units) in 2012. Despite historical trends and existing stock of San Francisco hotels, the market, as reflected by recent renovations and project applications, appears to be gravitating towards luxury, boutique designs.

As indicated by the Developer, the proposed Project is intended to provide a high end, boutique hotel experience in the Castro neighborhood. After reviewing the existing inventory of the hotels in the City, as mentioned, only seven hotels met the requirements of having (a) an ADR of \$200 to \$400, (b) being positioned in the luxury category, and (c) containing fewer than 30 units. These seven hotels are labeled as the "competitive market" for this analysis. It should be noted that none of the hotels in the competitive set has been built recently, reflecting a gap in the lodging supply for newer and smaller boutique lodging establishments.⁷ These significantly older developments will likely provide a less upscale and unique experience than the proposed Project. Moreover, this competitive market set is located well outside of the Castro neighborhood, as shown in **Figure 1**.

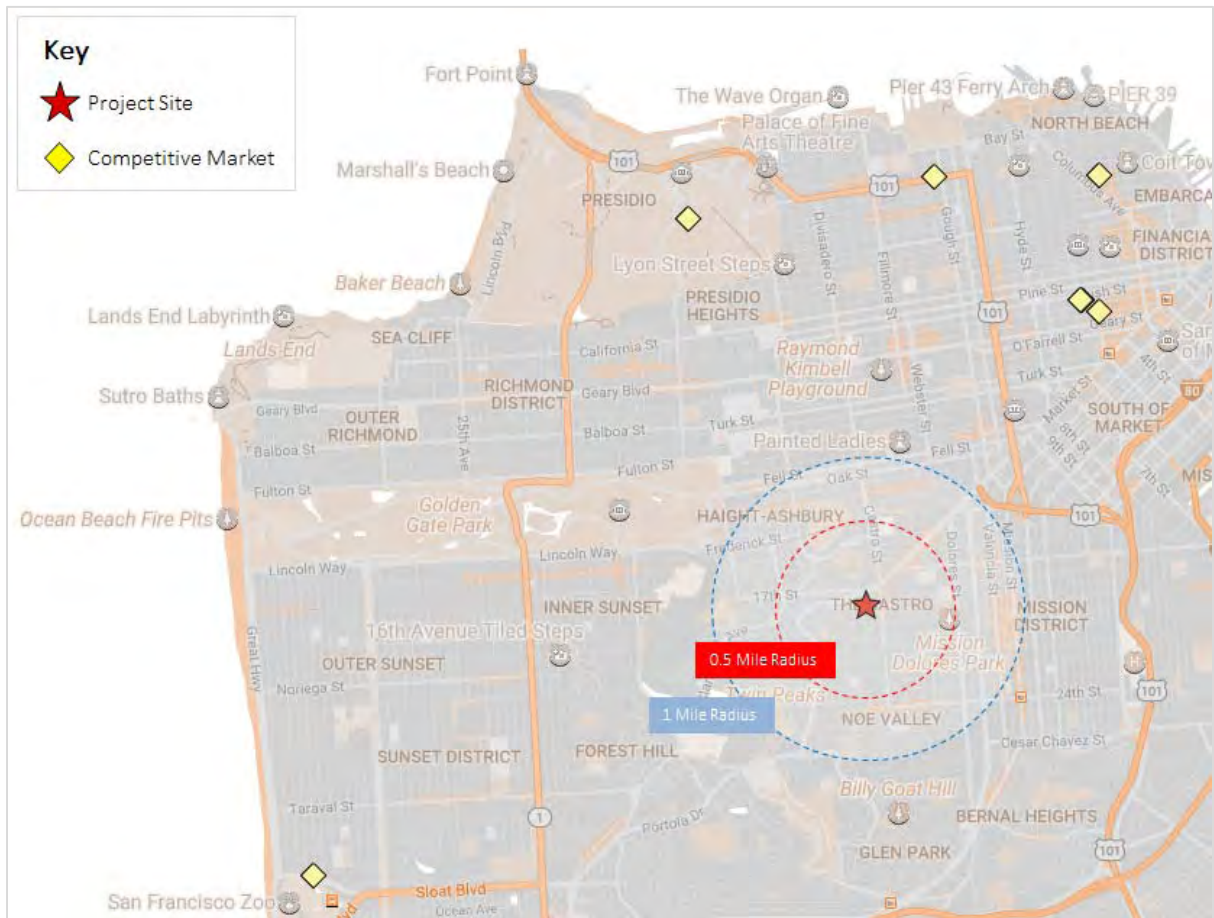
⁴ San Francisco Travel: San Francisco Fact Sheet, 2017.

⁵ HVS Market Pulse: San Francisco, January 2017.

⁶ BizJournals: After Years of Very Little Supply , San Francisco has 1,400 New Hotel Rooms Under Construction , June 2017

⁷ Nonregistered/illegal bed and breakfasts and other short-term lodgings have been excluded from this analysis.

Figure 1 Project Site and Competitive Market



Sources: Smith Travel Research Comparative Trend Report (October, 2017); Economic & Planning Systems, Inc.

The review of hotel inventory also identified twenty-two lodgings within a one-mile radius of the site. However, almost all of the lodgings are unregistered and illegal operations. In addition, none of the lodgings fulfills the criteria of the “competitive market” set, which included size and ADR. Thus, these twenty-two lodgings were excluded from the analysis as they do not provide an adequate comparison between product types. In all, there is a lack of upscale, smaller-sized hotels in the City of San Francisco. This absence is particularly pronounced in the Castro neighborhood.

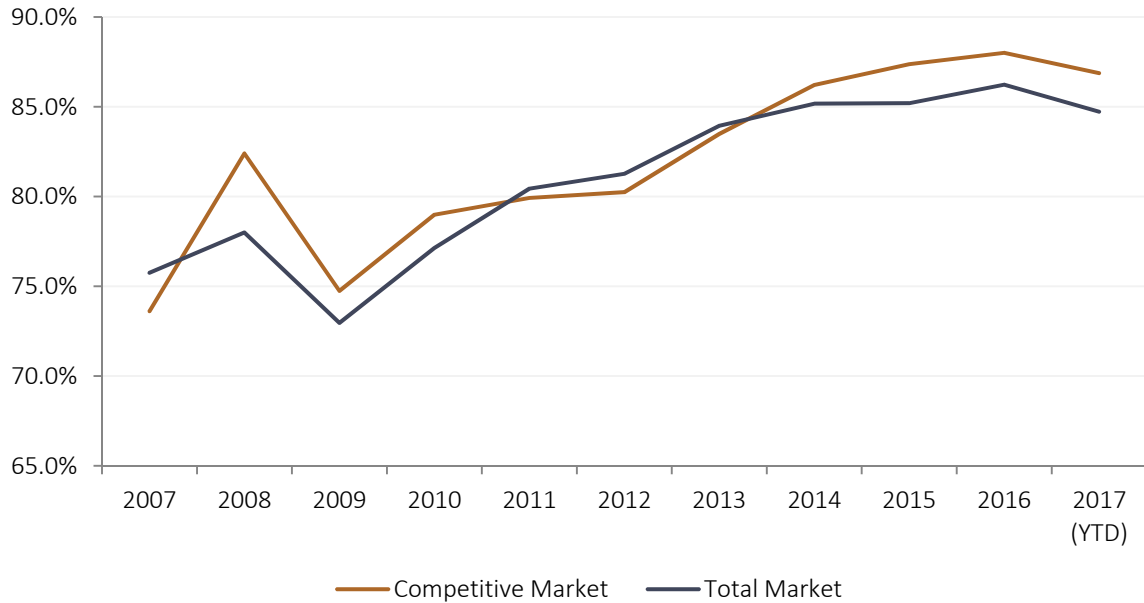
Historical Market Performance

Occupancy

Occupancy rates for all lodging establishments in the City have recovered beyond pre-recession highs and reached new peaks in 2016 at about 85.5 percent, as shown in **Figure 2**. Occupancy rates in 2017 for all rooms in San Francisco are averaging approximately 84.7 percent, while rooms in the competitive set are reported to be slightly higher at 86.9 percent. Occupancy rates for both the total market and the competitive market are significantly higher than the roughly 70 percent occupancy rate required to maintain economic viability.⁸

⁸ It is standard for hotel operators to expect a certain amount of frictional vacancy at all times and to strive to achieve an occupancy of 70 percent or higher.

Figure 2 Room Occupancy Trends in San Francisco ⁹



Sources: Smith Travel Research Comparative Trend Report (October, 2017); Economic & Planning Systems, Inc.

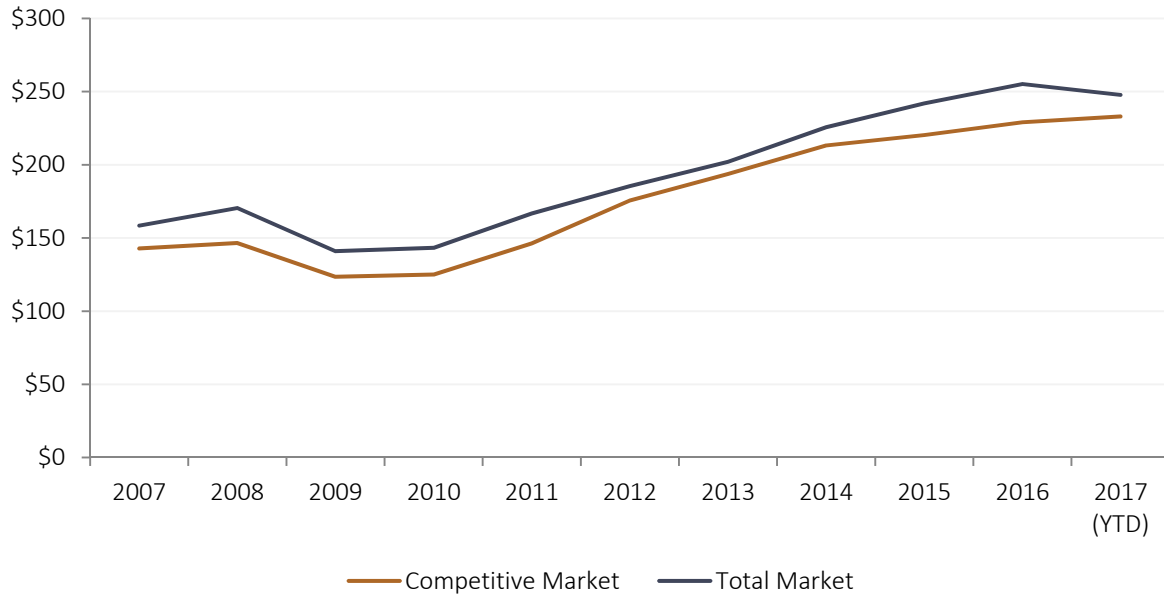
Average Daily Room Rates

As further indication of a strong hotel market, the average daily rates for properties in the total market and the competitive market have been on the rise since 2010. Average daily rate is a measure of the average rate paid for rooms sold and is calculated by dividing room revenue by rooms sold at each hotel property.¹⁰ Following the 2008 recession, average daily rates for all lodging properties in San Francisco rose from about \$143 in 2010 to \$247 in 2017, an increase of more than 42 percent in six years. As for the competitive market set, rates rose from \$125 to \$230, an increase of about 46 percent, as shown in **Figure 3**.

⁹ Occupancy trends are reported as of October 2017 (YTD) and may fluctuate in the coming months.

¹⁰ Smith Travel Research.

Figure 3 Average Upscale Daily Room Rate Trends*



* ADR trends are reported as of October 2017 (YTD) and may fluctuate in the coming months.

Sources: Smith Travel Research Comparative Trend Report (October, 2017); Economic & Planning Systems, Inc.

These observed hotel trends, along with the lack of new development centered around the Castro neighborhood, indicate that the proposed Project would likely exhibit strong performance metrics corresponding to an undersupplied hotel market and a desire for newer product in the luxury-boutique lodging category.

Market Demand Factors and Outlook

Market Demand Factors

Post-recession, the City has shown steady growth in its major industries reflecting a favorable period in the economy. While San Francisco has always been a popular tourist destination, a principal finance center, and more recently, a technology and health sector hub, 2016 saw "near-record demand [for hotels] in San Francisco."¹¹ The following bullet points reflect market drivers for strong market.

- In concert with the still-booming technology sector in San Francisco, office space and real estate values have continued to increase. In the third quarter of 2017, a total of 5.1 million square feet was under construction with 1.8 million square feet of new construction scheduled to be delivered by the end of 2017. As Cushman Wakefield indicated, these new buildings are "very likely to deliver at 100 percent occupancy."¹²

¹¹ HVS Market Pulse: San Francisco, January 2017.

¹² Cushman Wakefield: Marketbeat, San Francisco Office, Q3 2017.

- The Moscone Center is completing a \$500 million expansion that will add over 305,000 square feet. "Upon its completion in 2018, the expansion will more than double the amount of contiguous exhibition space at the venue, making it more competitive with other venues around the country"¹³
- San Francisco Travel Association reported a total of 25.2 million visitors and convention participants in 2016, up 2.4 percent from the 24.6 million visitors in 2015. In total, visitors directly spent approximately \$8.9 billion, an increase of 4.7 percent from \$8.5 billion in 2015.¹⁴
- On January 31, 2017, the San Francisco International Airport (SFO) announced another new all-time record for traffic, serving 53.1 million passengers in 2016. "This achievement eclipses the milestone of 50 million passengers set in 2015, and represents the seventh straight year of passenger traffic growth at SFO."¹⁵

Boutique Hotel Market Trend

Over the course of the last decade, net hotel supply growth has been generally limited. In the face of growing demand, this lack of supply growth has led to a substantial rise in occupancy and room rates. These market conditions, particularly the extraordinary occupancy achieved, coupled with demand from younger travelers, reveal strong potential for upscale, boutique hotels.¹⁶

Developers have recognized this market potential and while new development opportunities have been limited, hoteliers with existing properties have completed numerous renovations in order to raise the quality of traditional products and reposition as high end, boutique hotels.¹⁷

Renovations of traditionally formulaic hotels include Hilton Fisherman's Wharf, Radisson Fisherman's Wharf, Grand Hyatt Union Square, and the Marriot Renaissance Stanford Court Hotel. As mentioned in HVS's market assessment, "these are examples of hotels shedding their flags and reinventing themselves as independent boutique-style properties."¹⁸ On a similar front, recent renovations and conversions of existing small scale boutique hotels focus on updating design and technology (e.g., keyless entry and high-speed internet).^{19, 20} Thus, the proposed Project with its unique design and focus on technology adheres to shifting market trends.

¹³ JLL: San Francisco to Add 7,100 Hotel Rooms by 2020, July 13, 2017.

¹⁴ San Francisco Travel Association.

¹⁵ SFO Press Releases: SFO Shatters Annual Traffic Record with 53.1 Million Passengers in 2016, January 31, 2017.

¹⁶ San Francisco Business Times: San Francisco Startup Helps Hotels Get the Boutique Look, 2015

¹⁷ HVS Market Pulse: San Francisco, January 2017.

¹⁸ Ibid

¹⁹ Forbes: Newly Renovated and Luxurious, 2017

²⁰ BisNow: Renovations Breathe New Life into 7 Boutique Hotels in San Francisco, July 24, 2017.

Pipeline Developments

Looking forward, a number of hotel projects are planned for development in the City. Over 2,250 rooms are in the pipeline citywide, as reported by the City's planning department (see **Table 2**).²¹ Almost all of the hotel development underway is for a much larger product type than proposed for the 4230 18th Street site, with most of the projects clustered in South of Market, the Financial District, and Downtown.

Table 2 Pipeline Hotel Development in the City of San Francisco

Address	Previous Site Use	Neighborhood	Gross Sq.Ft.	No. of Rooms
401 Broadway	Vacant Bar	North Beach	UA	8
400 Bay Street (Rainflower Hotel)	One-story Restaurant	North Beach	UA	13
1337 Mission Street	Offices	South of Market	UA	40
1196 Columbus Avenue	One-story Retail	North Beach	27,274	75
425 Mason Street	Vacant building	Downtown/Civic Center	33,966	77
1555 Union Street	Inn	Russian Hill/Nob Hill	UA	100
996 Mission Street	Two-story Residential Building	South of Market	50,529	105
48 Tehama Street	UA	Financial District	UA	120
1053 Market Street	Commercial Building	South of Market	74,000	155
516 Mission Street	UA	Yerba Buena / South Beach	UA	169
1025 Howard Street	UA	South of Market	72,580	181
72 Ellis Street	Surface Parking Lot	Downtown/Civic Center	79,054	192
1095 Market Street	Office	South of Market	77,982	202
433 Mason Street	Four-story Parking Garage	Downtown/Civic Center	97,351	211
250 4th Street	Three-story Office	South of Market	83,865	215
816 Folsom Street	Restaurant	South of Market	UA	218
555 Howard Street	UA	South of Market	UA	223
701 3rd Street	One-story Restaurant	South of Market	103,051	230
Mission Bay Block 1	UA	South of Market	207,000	250
339 5th Street	UA	South of Market	90,927	UA
950-974 Market Street	UA	Union Square	229,000	UA
1533-1539 Franklin Street	Illegal Office	Van Ness/ Civic Center	UA	UA
744 Harrison Street	Retail/Warehouse	South of Market	UA	UA
477 Battery Street	UA	Financial District	85,510	UA
526 Mission Street	UA	Financial District/ South Beach	798,398	UA

*UA indicates that further data is currently unavailable.

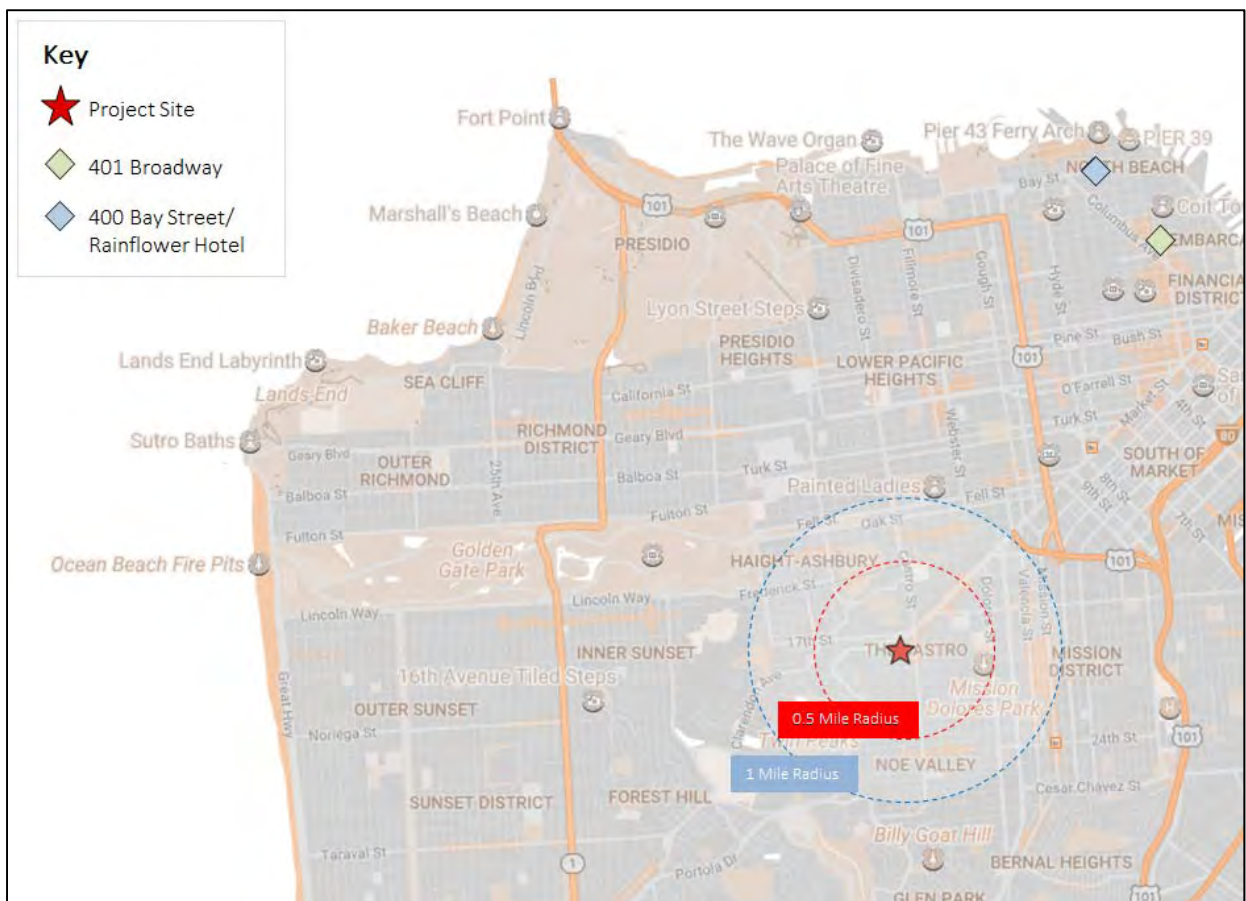
Sources: City of San Francisco Planning Department "pipeline" data supplemented with recent developments; Economic & Planning Systems, Inc.

Two projects in the pipeline, 401 Broadway and the Rainflower Hotel in North Beach, are of similar size as the proposed 4230 18th Street Hotel. The Rainflower hotel is planned as a newly construction hotel located on a site formerly occupied by restaurant uses. 401 Broadway will be the ground floor renovation of approximately 5,000 square feet of an existing residential building. Despite the similar boutique hotel characteristics, including the target market, the hotels are located in a different neighborhood of San Francisco as shown in **Figure 4** and are not likely to oversaturate the market. See further description below:

²¹ City of San Francisco Planning Department.

- **401 Broadway** is proposing an 8-room boutique hotel in North Beach at the corner of Broadway and Montgomery Streets. The applicant and owner of the former Crow Bar building has applied for a conditional use permit to turn the space's ground floor into a boutique hotel and sushi bar. While an application for the conditional use permit had been filed in 2016, little has been reported on the process at this time.
- **The Rainflower Hotel** is proposing a 13-room, 4-story development located at the corner of Bay and Mason over four miles away from 4230 18th Street. The site previously housed a bar that has since been demolished. The Project plans to feature 3,000 gross square feet of ground floor retail and a rooftop available for guests and events. This independently owned boutique hotel will cater to travelers and locals seeking a unique and luxurious visitor experience similar to the proposed Project. The City issued permits in December 2016, with no further project status known at this time.

Figure 4 Proposed Project, Proposed Rainflower Hotel, and Proposed 401 Broadway



Sources: City of San Francisco; Economic & Planning Systems, Inc.

4230 18TH STREET HOTEL

1HR RATED FULL HEIGHT WALL

2HR RATED FULL HEIGHT WALL

(N) INTERIOR PARTITION WALL

LANDLORD PARTITION WALL

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CLR. INDICATING CLEAR DIMENSION TO FINISHED FACE OF WALL INCLUDING MATERIALS.

NOTE: "CLR." NOTATION ON DIMENSION STRING.

CLR.

CLR. INDICATING CLEAR DIMENSION TO FINISHED FACE OF WALL INCLUDING MATERIALS.

LINE BELOW OR HIDDEN LINE

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CENTER LINE

PROPERTY LINE

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ALL DIMENSIONS ARE TO FACE OF STUD U.O.N.

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BOARD

BUILDING

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BOTTOM OF

BUILT-UP

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CENTER

DOUBLE

DOUGLAS FIR

DIMENSION

DOWN

DOUBLE POLE

DOWNSPOUT

DRAWING

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ELECTRICAL

ELEVATION

EQUAL

EXPOSED

EXTERIOR

FOUNDATION

FINISH FLOOR

FINISH

FLOOR

FACE OF CONCRETE

FACE OF FINISH

FACE OF STUD

FACE OF PLYWOOD

FURNACE

GAUGE

GALVANIZED

GROUND

GYPSPUM BOARD

HOSE BIB

HOLLOW CORE

HEADER

HOT-ROLLED STEEL

HEATING, VENTILATING, AND AIR CONDITIONING

HOT WATER HEATER

INTEGRAL COLOR

PLASTER VENEER

INSULATION

INTERIOR

LAMINATE

LIGHT

MANUF

MAX

MC

MECH

MEMB

MIN

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MECHANICAL

MEMBRANE

MINIMUM

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OWNER FURNISHED, CONTRACTOR

INSTALLED

OWNER FURNISHED, OWNER INSTALLED

OPENING

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REDWOOD

REFERENCE

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REQUIRED

RETURN

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SOUTH

SUPPLY AIR

SEE ARCHITECTURAL

DRAWING

SEE ELECTRICAL

DRAWING

SUBFLOOR

SHEET

SHEATHING

SEE KITCHEN

DRAWING

SEE LIGHTING

DRAWING

SEE MECHANICAL

DRAWING

SINGLE POLE

SEE PLUMBING

DRAWING

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WOOD

WINDOW

WATERPROOF

OWNER

4230 18TH ST, PARTNERS, LP

2044 UNION ST.

SAN FRANCISCO, CA 94123

GANNON TIDWELL

GANNON@POSTCARDPROPERTIES.COM

Tel. 415.292.2601

ARCHITECT

CCS ARCHITECTURE

44 MCLEA COURT

SAN FRANCISCO, CA 94103

Tel. 415.864.2800

Fax 415.864.2850

CASS SMITH X309

CASS@CCS-ARCHITECTURE.COM

TIM QUAYLE X320

TQUAYLE@CCS-ARCHITECTURE.COM

PROJECT ADDRESS:

4230 18TH STREET, SAN FRANCISCO, CA 94114

TYPE OF CONSTRUCTION:

TYPE V-4N, FULLY SPRINKLERED

NUMBER OF STORIES:

4

OCCUPANCY TYPE:

R1/A2

ZONING

CASTO ST, NCD

HEIGHT LIMIT

40-X

BLOCK / LOT:

2648/019

LOT AREA:

1,875 SF

FAR ALLOWED:

3:1 = 5,625 SF TOTAL BUILDABLE AREA ALLOWED

CONSTRUCTION AREA:

	EXISTING	NEW
1ST FLOOR	591 SF	1,800 SF (RESTAURANT SF= 1,330 SF)
2ND FLOOR	1,338 SF	1,275 SF
3RD FLOOR	1,125 SF	1,275 SF
4TH FLOOR	—	1,275 SF
	3,111 SF TOTAL EXISTING	5,625 SF TOTAL NEW

APPLICABLE CODES:

2016 CALIFORNIA BLDG. CODE & S.F. AMENDMENTS
2016 CALIFORNIA ENERGY CODE & S.F. AMENDMENTS
2016 CALIFORNIA ELECT. CODE & S.F. AMENDMENTS
2016 CALIFORNIA MECH. CODE & S.F. AMENDMENTS
2016 CALIFORNIA PLUMB.G. CODE & S.F. AMENDMENTS
2016 CALIFORNIA FIRE CODE & S.F. AMENDMENTS
2016 S.F. HOUSING CODE

PROJECT DESCRIPTION:

DEMOLITION OF EXISTING 3,111 SF 3-STORY RESTAURANT.
CONSTRUCTION OF 4-STORY BUILDING INCLUDING 1,330 SF GROUND FLOOR RESTAURANT WITH 3 STORIES OF HOTEL UNITS ABOVE TOTALING 12 UNITS WITH ROOF DECK SERVING HOTEL GUESTS.
SIDEWALK BICYCLE RACKS WILL BE PROVIDED FOR PARKING FOR 6 BICYCLES

18TH STREET HOTEL

4230 18TH STREET,
SAN FRANCISCO, CA
94114

CCS ARCHITECTURE

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FAX 415.864.2850
CASS@CCS-ARCHITECTURE.COM

PROJECT NAME

18TH STREET HOTEL
4230 18TH STREET,
SAN FRANCISCO, CA
94114

ISSUED

DESCRIPTION

03.01.18

PLANNING COMMISSION

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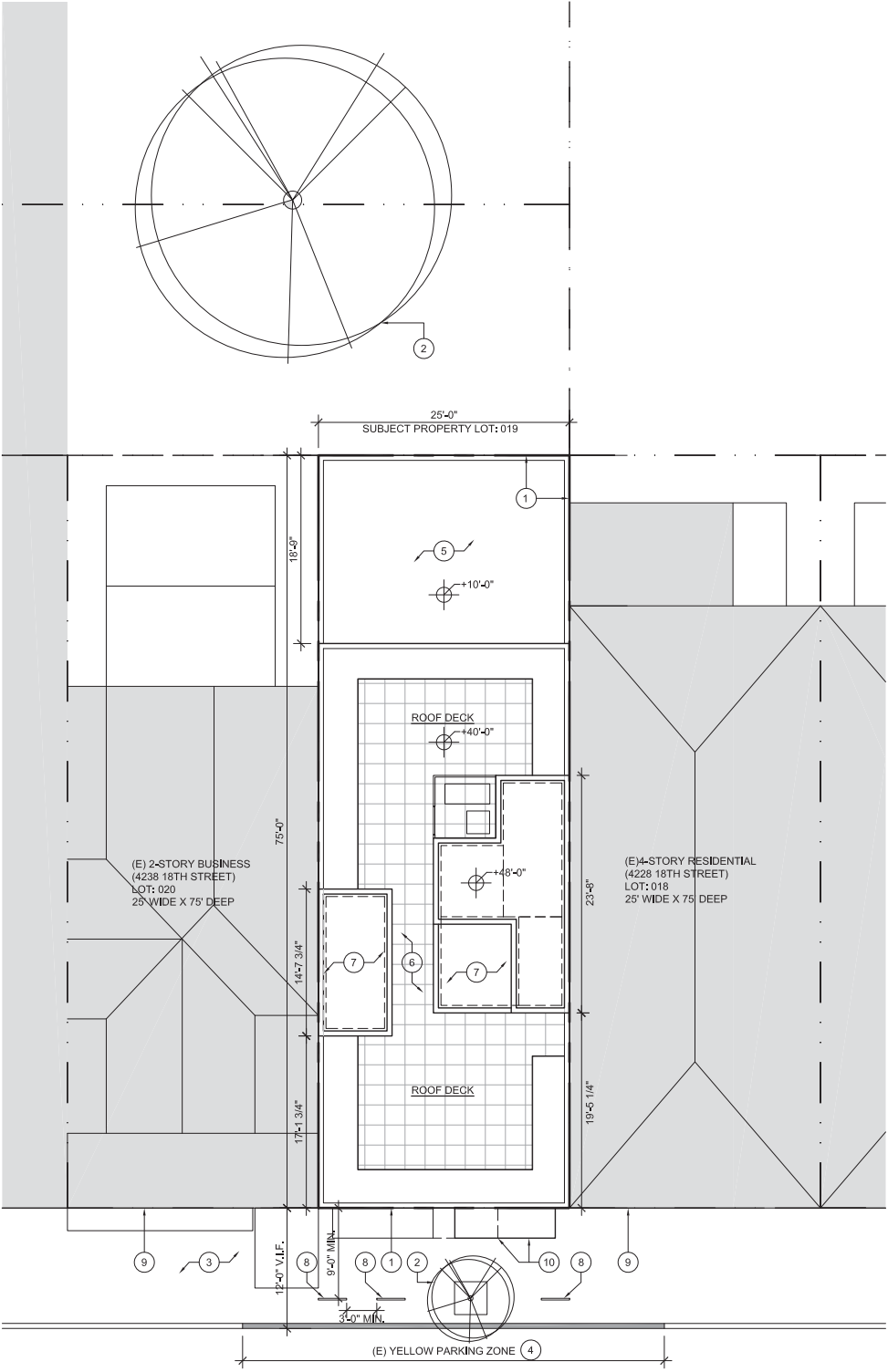
PROJECT NAME	
18TH STREET HOTEL 4230 18TH STREET, SAN FRANCISCO, CA 94114	
ISSUED	DESCRIPTION
03.01.18	PLANNING COMMISSION
SHEET TITLE	
RENDERING VIEW	
FILE	1.17356_A0.00.dwg
BY	CCS
SCALE	N.T.S.
SHEET	







1 AERIAL VIEW
A1.00 N.T.S.



2 PROPOSED SITE PLAN
A1.00 1/8" = 1'



KEYNOTES

- 1 PROPERTY LINE
- 2 (E) TREE IN PLANTER BOX TO REMAIN
- 3 (E) SIDEWALK
- 4 SOLID HATCHED REGION INDICATES (E) YELLOW LOADING ZONE
- 5 LOWER ROOF BELOW
- 6 ROOF, REFER TO ROOF PLAN FOR MORE INFORMATION
- 7 ELEVATOR/STAIR PENTHOUSE ROOF
- 8 (N) CLASS II SHORT TERM BICYCLE PARKING SIDEWALK RACKS, TWO BICYCLES PER EACH RACK
- 9 (E) ADJACENT BUILDING
- 10 AWNING AND VISOR BELOW

CCS ARCHITECTURE

4230 18TH STREET
SAN FRANCISCO
CALIFORNIA 94114
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Fax: 415.874.2750
www.ccsarchitecture.com

PROJECT NAME

**18TH STREET HOTEL
4230 18TH STREET,
SAN FRANCISCO, CA
94114**

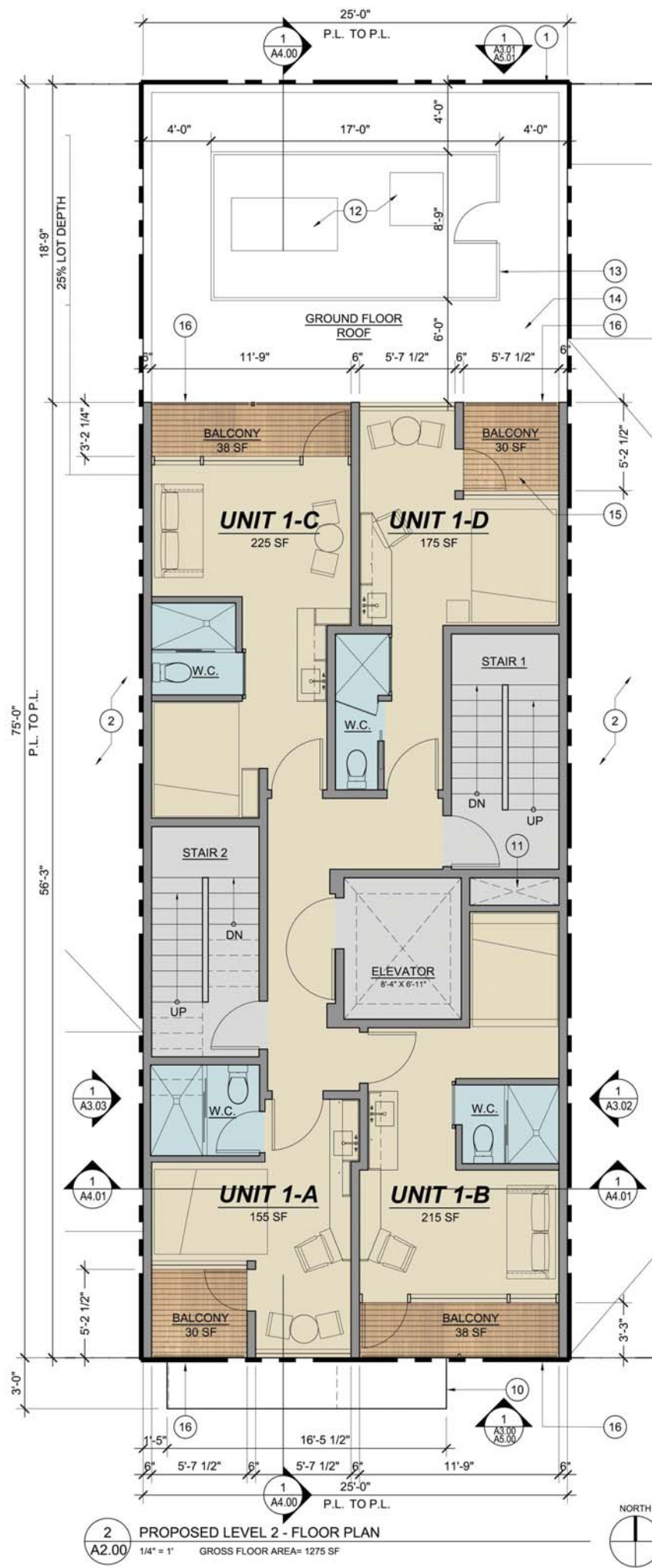
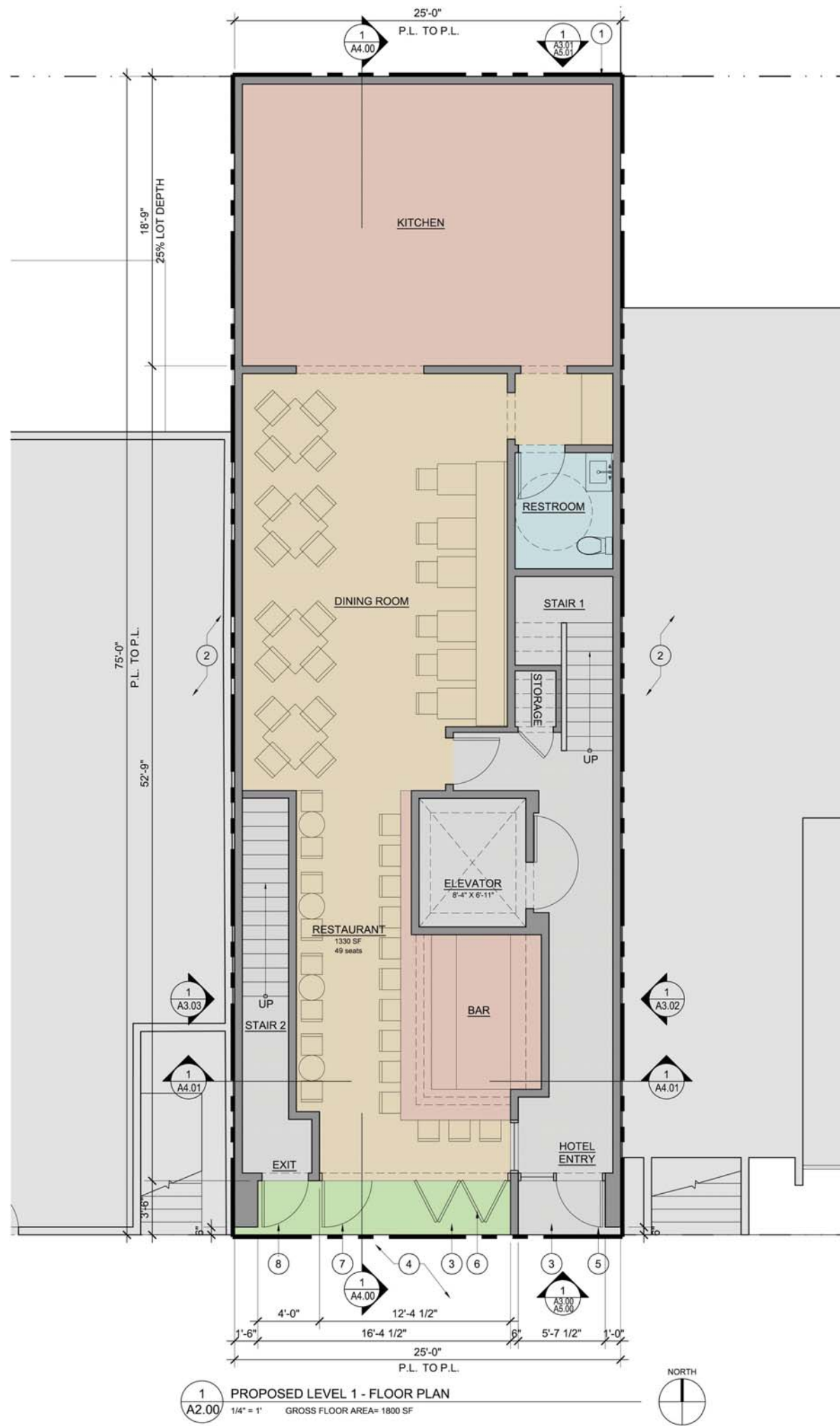
ISSUED	DESCRIPTION
03.01.18	PLANNING COMMISSION

SHEET TITLE

PROPOSED SITE PLAN

FILE 1.17356_A1.00.dwg
BY CCS
SCALE 1/8" = 1'
SHEET

A 1.00



- KEYNOTES
- 1 PROPERTY LINE
 - 2 (E) ADJACENT BUILDING
 - 3 CONCRETE PAVING
 - 4 (E) SIDEWALK TO REMAIN
 - 5 HOTEL ENTRY DOOR
 - 6 FOLDING DOORS
 - 7 RESTAURANT ENTRY DOOR
 - 8 HOTEL EXIT DOOR
 - 9 (N) BICYCLE RACKS. REFER TO SITE PLAN FOR MORE INFORMATION
 - 10 RETRACTABLE AWNING BELOW
 - 11 HVAC SHAFT
 - 12 SCREENED KITCHEN ROOF EQUIPMENT. SEE REAR SECTION FOR MORE INFORMATION
 - 13 5'-0" TALL 1X6 STAINED WOOD BOARD EQUIPMENT FENCE
 - 14 BUILT-UP ASPHALT ROOF
 - 15 WOOD TILE DECKING AT HOTEL BALCONY
 - 16 3'-6" GLASS GUARDRAIL
 - 17 BALCONY SUNSHADE VISOR BELOW

CCS ARCHITECTURE
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tel 415 864 2800
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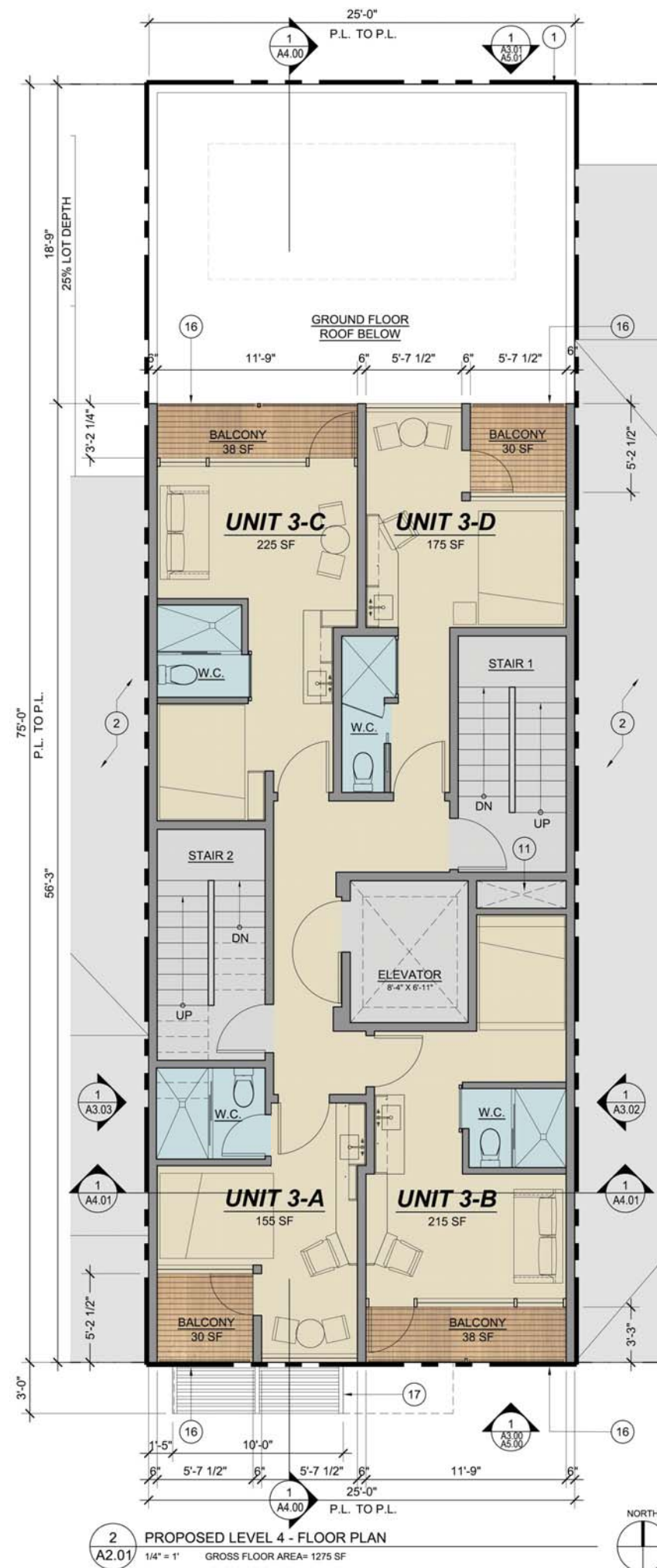
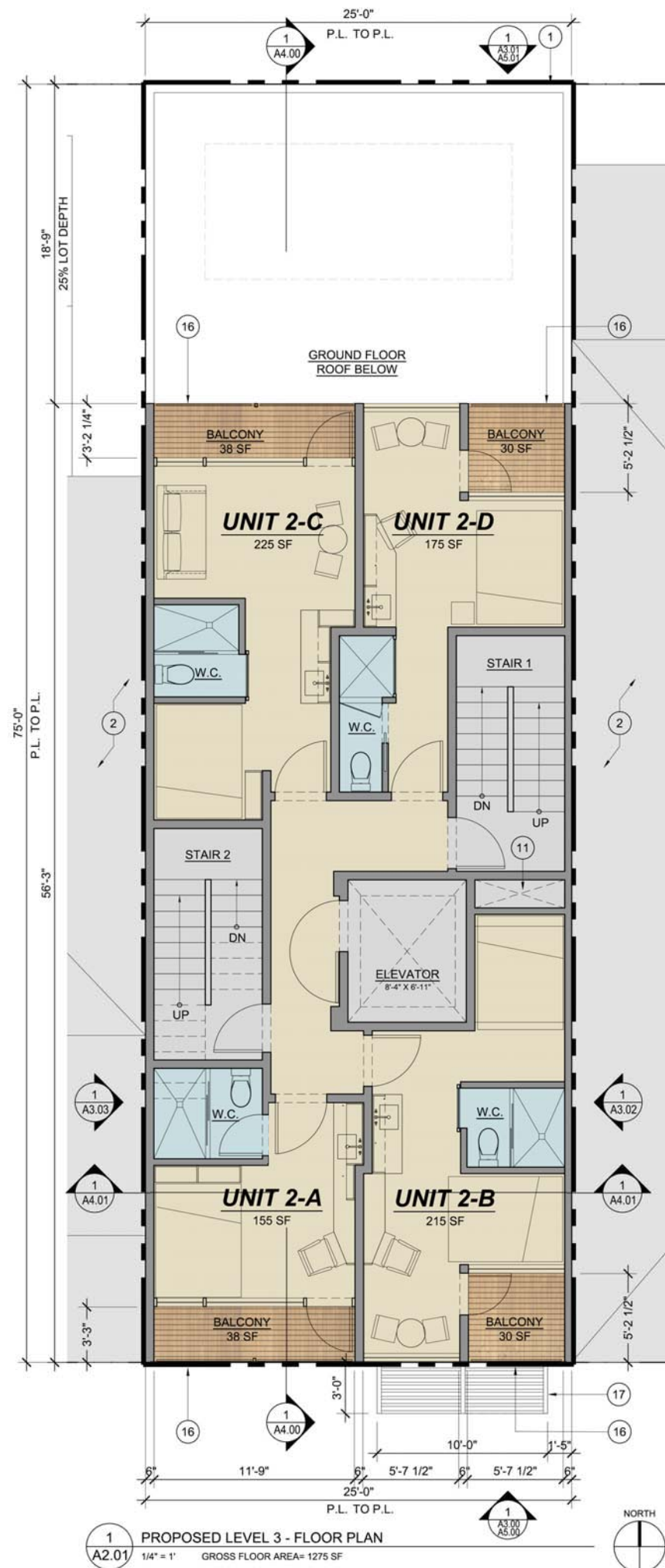
PROJECT NAME
**18TH STREET HOTEL
4230 18TH STREET,
SAN FRANCISCO, CA
94114**

ISSUED	DESCRIPTION
03.01.18	PLANNING COMMISSION

SHEET TITLE
**PROPOSED FLOOR PLANS
LEVELS 1 AND 2**

FILE	1.17356_A2.00.dwg
BY	CCS
SCALE	1/4" = 1'
SHEET	

A 2.00



- KEYNOTES**
- 1 PROPERTY LINE
 - 2 (E) ADJACENT BUILDING
 - 3 CONCRETE PAVING
 - 4 (E) SIDEWALK TO REMAIN
 - 5 HOTEL ENTRY DOOR
 - 6 FOLDING DOORS
 - 7 RESTAURANT ENTRY DOOR
 - 8 HOTEL EXIT DOOR
 - 9 (N) BICYCLE RACKS. REFER TO SITE PLAN FOR MORE INFORMATION
 - 10 RETRACTABLE AWNING BELOW
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 - 16 3'-6" GLASS GUARDRAIL
 - 17 BALCONY SUNSHADE VISOR BELOW

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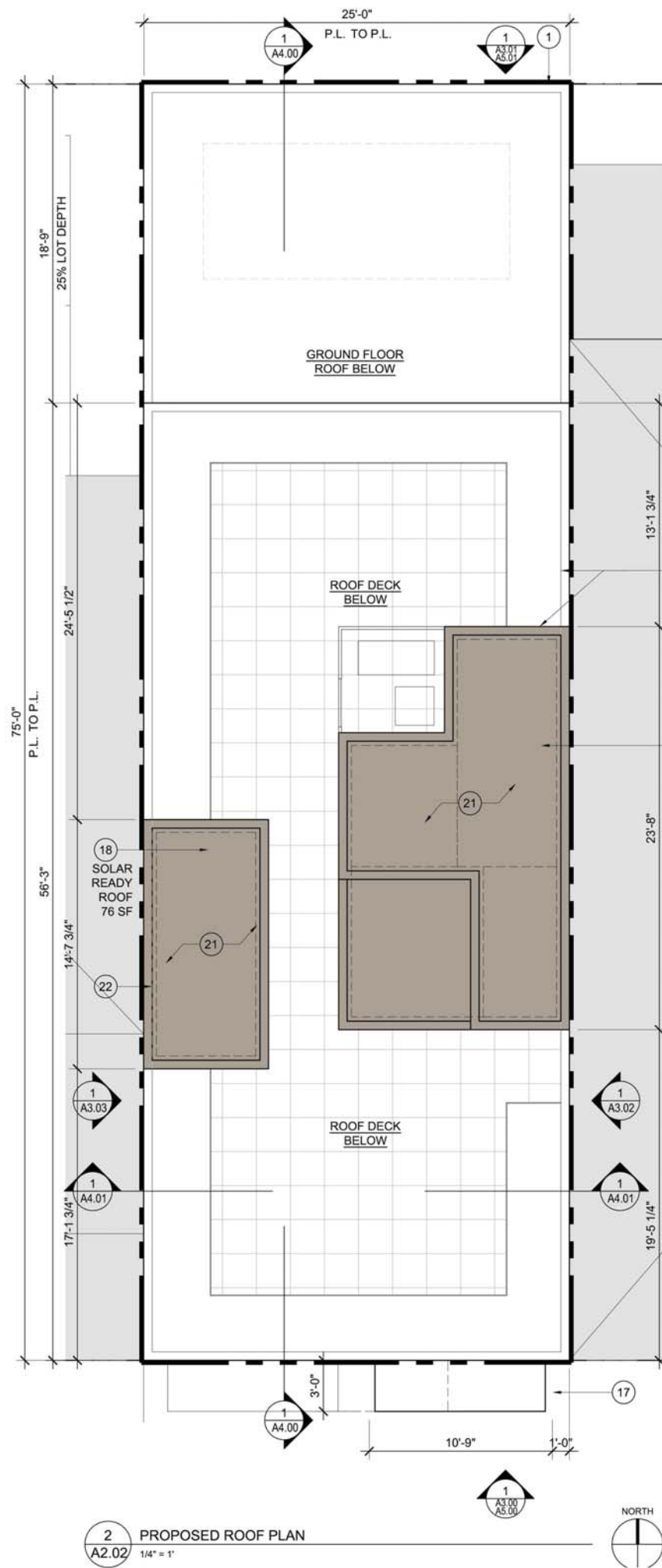
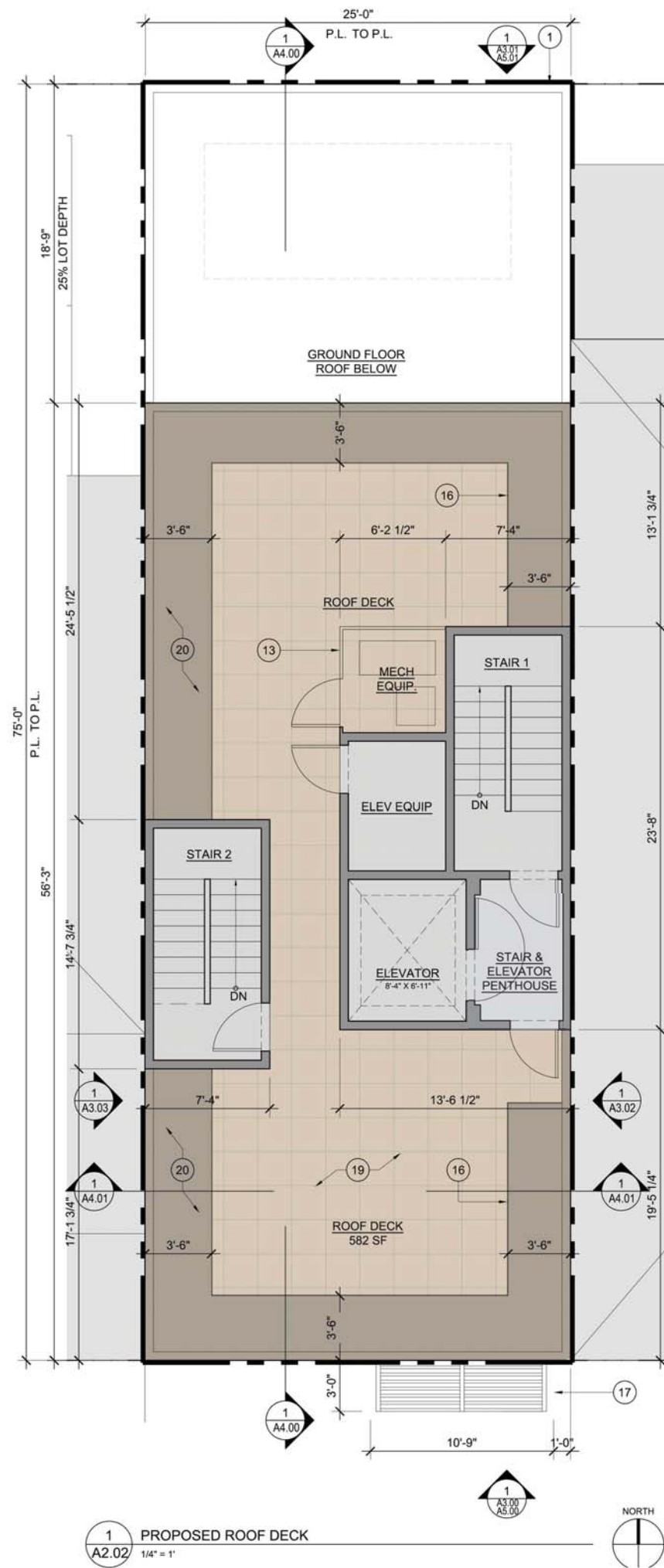
PROJECT NAME
**18TH STREET HOTEL
4230 18TH STREET,
SAN FRANCISCO, CA
94114**

ISSUED	DESCRIPTION
03.01.18	PLANNING COMMISSION

SHEET TITLE
**PROPOSED FLOOR PLANS
LEVELS 3 AND 4**

FILE	1.17356_A2.00.dwg
BY	CCS
SCALE	1/4" = 1'
SHEET	

A 2.01



KEYNOTES

- 1 PROPERTY LINE
- 2 (E) ADJACENT BUILDING
- 3 CONCRETE PAVING
- 4 (E) SIDEWALK TO REMAIN
- 5 HOTEL ENTRY DOOR
- 6 FOLDING DOORS
- 7 RESTAURANT ENTRY DOOR
- 8 HOTEL EXIT DOOR
- 9 (N) BICYCLE RACKS. REFER TO SITE PLAN FOR MORE INFORMATION
- 10 RETRACTABLE AWNING BELOW
- 11 HVAC SHAFT
- 12 SCREENED KITCHEN ROOF EQUIPMENT. SEE REAR SECTION FOR MORE INFORMATION
- 13 5'-0" TALL 1X6 STAINED WOOD BOARD EQUIPMENT FENCE
- 14 BUILT-UP ASPHALT ROOF
- 15 WOOD TILE DECKING AT HOTEL BALCONY
- 16 3'-6" GLASS GUARDRAIL
- 17 BALCONY SUNSHADE VISOR BELOW
- 18 SOLAR READY ROOF, NO LESS THAN 15% OF ROOF AREA
- 19 2'X2' ROOF DECK TILES
- 20 ROOF
- 21 ELEVATOR/STAIR PENTHOUSE ROOF
- 22 PAINTED SHEET METAL ROOF CURB FLASHING

NOTE:
SOLAR READY ROOF PROVIDED =
304 SF >15% OF TOTAL ROOF
AREA OF 1875 SF

CCS ARCHITECTURE

44 MCLEA COURT
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PROJECT NAME

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SAN FRANCISCO, CA
94114**

ISSUED DESCRIPTION

03.01.18 PLANNING COMMISSION

SHEET TITLE

PROPOSED FLOOR PLANS
ROOF DECK AND
ROOF PLAN

FILE 1.17356_A2.00.dwg

BY CCS

SCALE 1/4" = 1'

SHEET

A 2.02



KEYNOTES

- (E) ADJACENT BUILDING
- PAINTED HOLLOW METAL EXIT DOOR
- PAINTED CEMENT PLASTER
- RESTAURANT ENTRY
- HOTEL ENTRY
- 1"x4" PAINTED STEEL POST
- COLORLED GLASS AND PAINTED STEEL FRAME GUARDRAIL AT 3'-6" A.F.F., TYP.
- CLEAR GLASS AND PAINTED STEEL FRAME GUARDRAIL
- BLACK ANODIZED ALUMINUM WINDOW AND DOOR FRAME
- PAINTED STEEL AND "WOOD-LOOK" ALUMINUM BALCONY SHADE VISOR
- PAINTED METAL FACADE TRIM AT FRAMED HOTEL WALL OPENINGS
- BLACK ANODIZED FOLDING RESTAURANT ALUMINUM WINDOW AND DOOR FRAME
- RETRACTABLE FABRIC RESTAURANT AWNING
- PAINTED SHEET METAL WALL FLASHING
- STAINED 1X6 IPE WOOD BOARDS
- MECHANICAL EQUIPMENT, FENCE, 5'-0" TALL
- STAIR PENTHOUSE
- PLASTER CONTROL JOINT
- PROPERTY LINE
- HATCHED BOUNDARY AT ADJACENT BUILDING PROFILE AT PROPERTY LINE

CCS ARCHITECTURE

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PROJECT NAME

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SAN FRANCISCO, CA
94114**

ISSUED	DESCRIPTION
03.01.18	PLANNING COMMISSION

SHEET TITLE

PROPOSED SOUTH
EXTERIOR ELEVATION

FILE	1.17356_A3.00.dwg
BY	CCS
SCALE	1/4" = 1'
SHEET	

A 3.00

- KEYNOTES
- 1 (E) ADJACENT BUILDING
 - 2 PAINTED HOLLOW METAL EXIT DOOR
 - 3 PAINTED CEMENT PLASTER
 - 4 RESTAURANT ENTRY
 - 5 HOTEL ENTRY
 - 6 1"x4" PAINTED STEEL POST
 - 7 COLORED GLASS AND PAINTED STEEL FRAME GUARDRAIL AT 3'-6" A.F.F., TYP.
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 - 10 PAINTED STEEL AND "WOOD-LOOK" ALUMINUM BALCONY SHADE VISOR
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 - 12 BLACK ANODIZED FOLDING RESTAURANT ALUMINUM WINDOW AND DOOR FRAME
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 - 15 STAINED 1X6 IPE WOOD BOARDS
 - 16 MECHANICAL EQUIPMENT, FENCE, 5'-0" TALL
 - 17 STAIR PENTHOUSE
 - 18 PLASTER CONTROL JOINT
 - 19 PROPERTY LINE
 - 20 HATCHED BOUNDARY AT ADJACENT BUILDING PROFILE AT PROPERTY LINE

CCS ARCHITECTURE
44 MCLEA COURT
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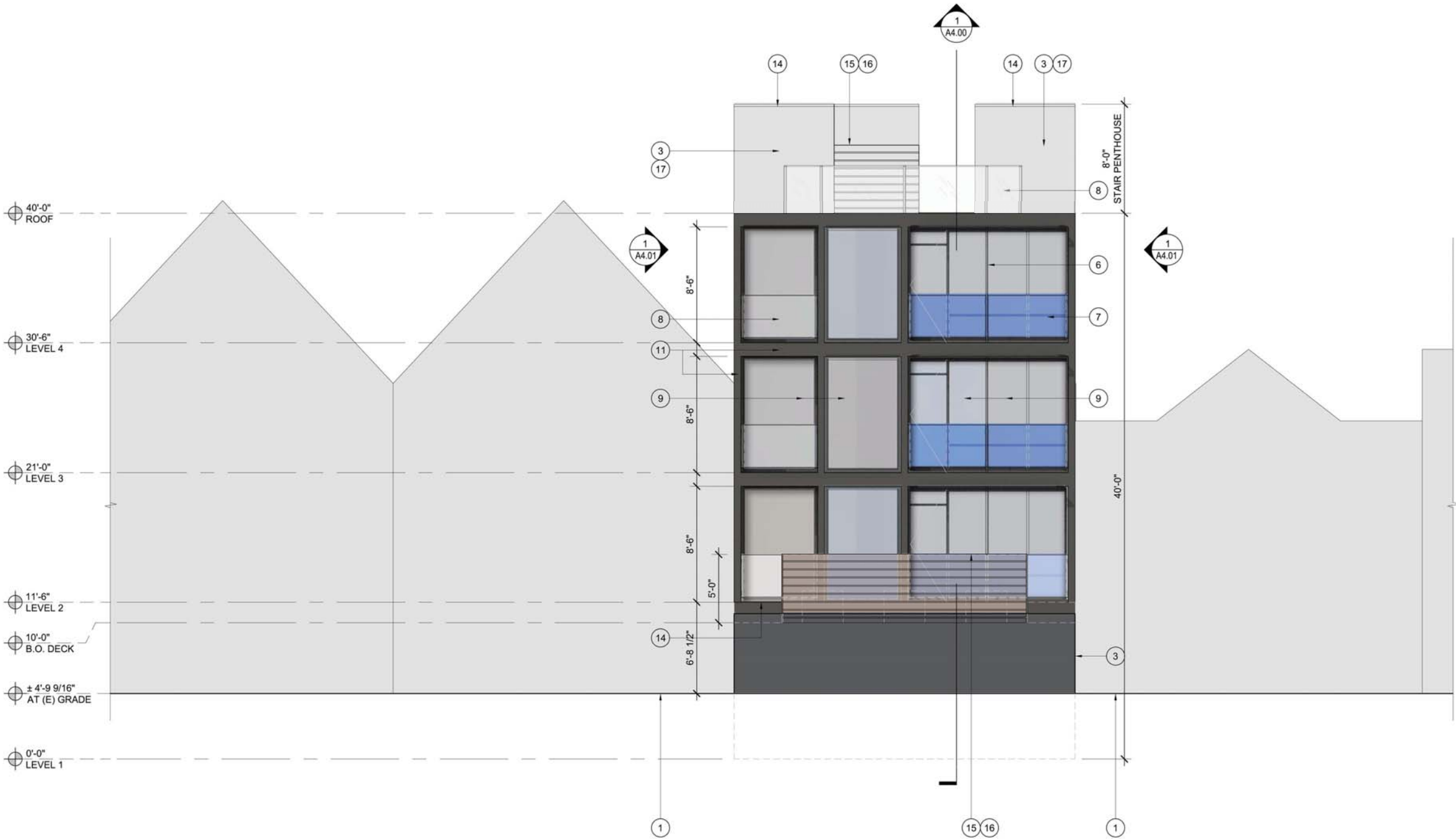
PROJECT NAME
**18TH STREET HOTEL
4230 18TH STREET,
SAN FRANCISCO, CA
94114**

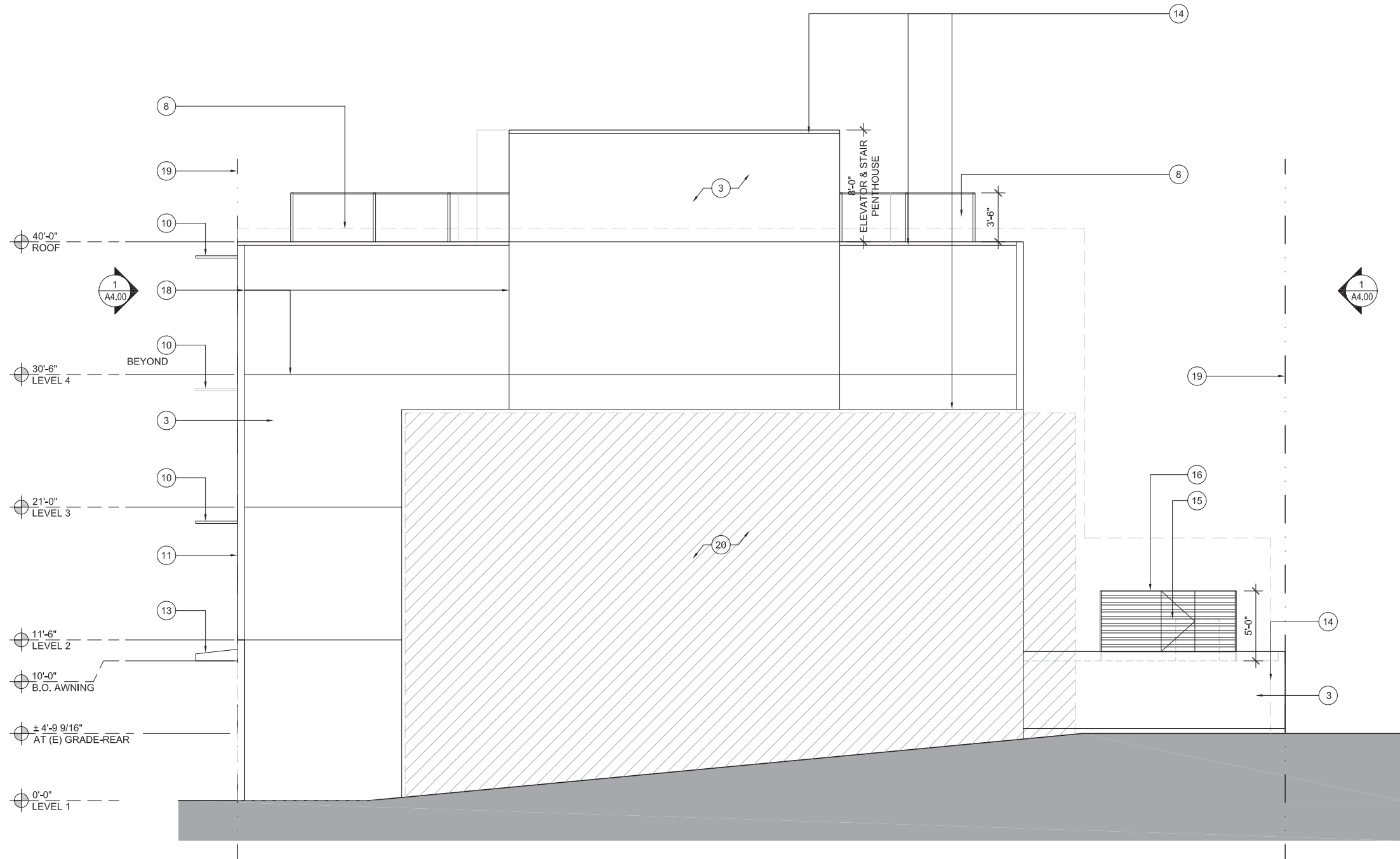
ISSUED	DESCRIPTION
03.01.18	PLANNING COMMISSION

SHEET TITLE
**PROPOSED EXTERIOR
NORTH ELEVATION**

FILE	1.17356_A3.00.dwg
BY	CCS
SCALE	1/4" = 1'
SHEET	

A 3.01





KEYNOTES

- 1 (E) ADJACENT BUILDING
- 2 PAINTED HOLLOW METAL EXIT DOOR
- 3 PAINTED CEMENT PLASTER
- 4 RESTAURANT ENTRY
- 5 HOTEL ENTRY
- 6 1"x4" PAINTED STEEL POST
- 7 COLORED GLASS AND PAINTED STEEL FRAME GUARDRAIL AT 3'-6" A.F.F., TYP.
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- 13 RETRACTABLE FABRIC RESTAURANT AWNING
- 14 PAINTED SHEET METAL WALL FLASHING
- 15 STAINED 1X6 IPE WOOD BOARDS
- 16 MECHANICAL EQUIPMENT, FENCE, 5'-0" TALL
- 17 STAIR PENTHOUSE
- 18 PLASTER CONTROL JOINT
- 19 PROPERTY LINE
- 20 HATCHED BOUNDARY AT ADJACENT BUILDING PROFILE AT PROPERTY LINE

CCS ARCHITECTURE

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PROJECT NAME

**18TH STREET HOTEL
4230 18TH STREET,
SAN FRANCISCO, CA
94114**

ISSUED	DESCRIPTION
03.01.18	PLANNING COMMISSION

SHEET TITLE

PROPOSED EXTERIOR
EAST ELEVATION

FILE 1.17356_A3.00.dwg

BY CCS

SCALE 1/4" = 1'

SHEET

A 3.02

- KEYNOTES
- 1 (E) ADJACENT BUILDING
 - 2 PAINTED HOLLOW METAL EXIT DOOR
 - 3 PAINTED CEMENT PLASTER
 - 4 RESTAURANT ENTRY
 - 5 HOTEL ENTRY
 - 6 1"x4" PAINTED STEEL POST
 - 7 COLORED GLASS AND PAINTED STEEL FRAME GUARDRAIL AT 3'-6" A.F.F., TYP.
 - 8 CLEAR GLASS AND PAINTED STEEL FRAME GUARDRAIL
 - 9 BLACK ANODIZED ALUMINUM WINDOW AND DOOR FRAME
 - 10 PAINTED STEEL AND "WOOD-LOOK" ALUMINUM BALCONY SHADE VISOR
 - 11 PAINTED METAL FACADE TRIM AT FRAMED HOTEL WALL OPENINGS
 - 12 BLACK ANODIZED FOLDING RESTAURANT ALUMINUM WINDOW AND DOOR FRAME
 - 13 RETRACTABLE FABRIC RESTAURANT AWNING
 - 14 PAINTED SHEET METAL WALL FLASHING
 - 15 STAINED 1X6 IPE WOOD BOARDS
 - 16 MECHANICAL EQUIPMENT, FENCE, 5'-0" TALL
 - 17 STAIR PENTHOUSE
 - 18 PLASTER CONTROL JOINT
 - 19 PROPERTY LINE
 - 20 HATCHED BOUNDARY AT ADJACENT BUILDING PROFILE AT PROPERTY LINE

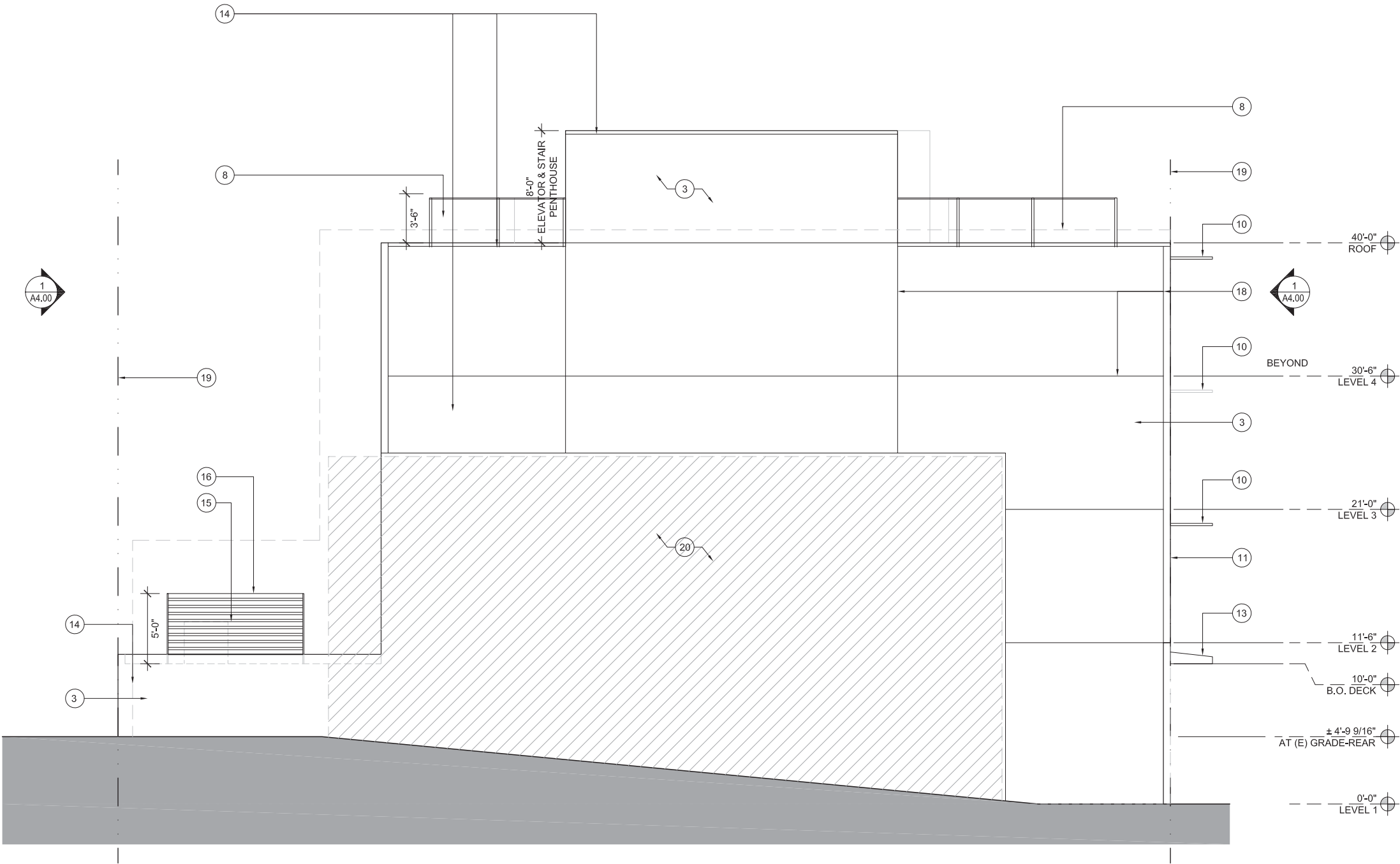
PROJECT NAME
**18TH STREET HOTEL
4230 18TH STREET,
SAN FRANCISCO, CA
94114**

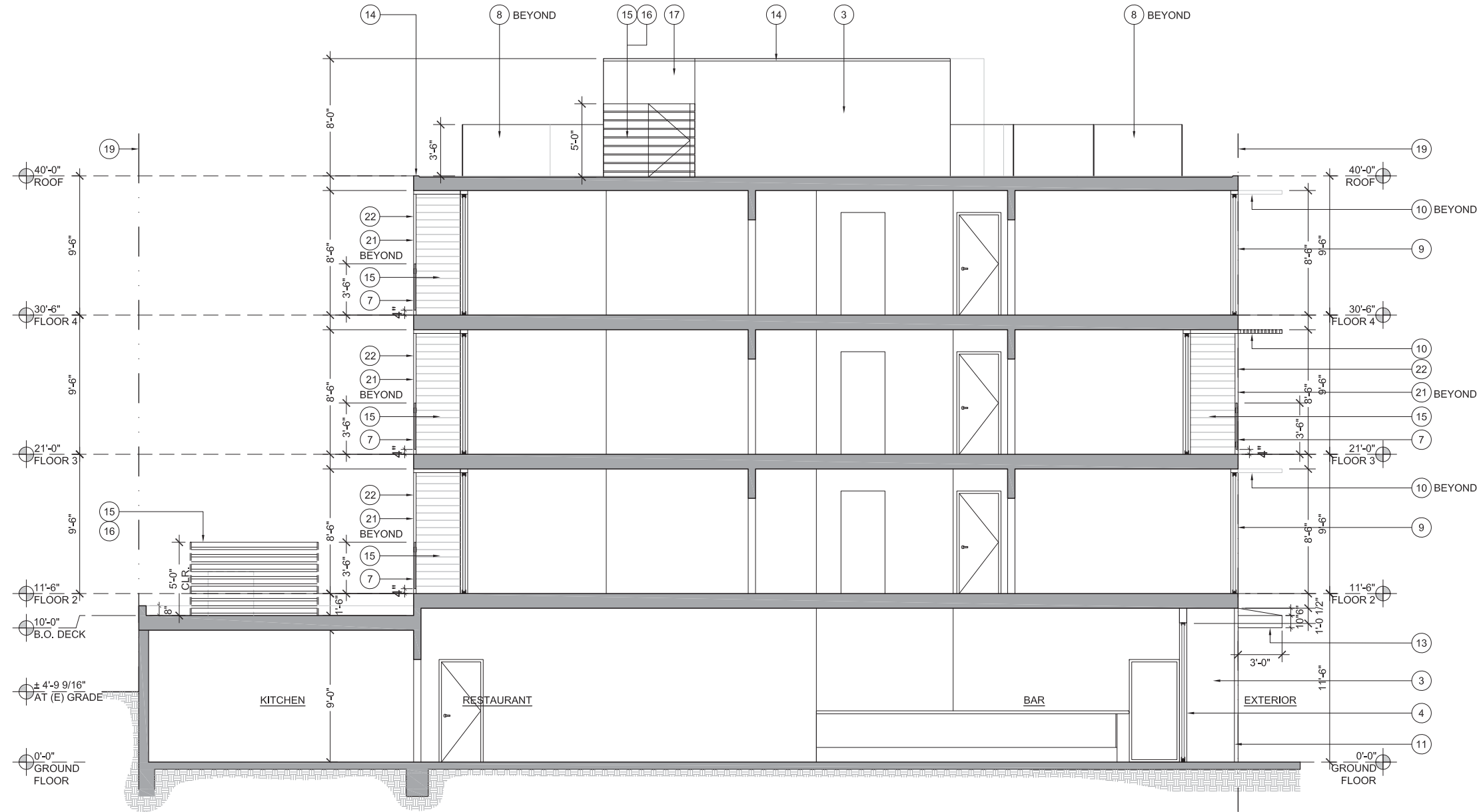
ISSUED	DESCRIPTION
03.01.18	PLANNING COMMISSION

SHEET TITLE
**PROPOSED EXTERIOR
WEST ELEVATION**

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BY	CCS
SCALE	1/4" = 1'
SHEET	

A 3.03





KEYNOTES

- 1 (E) ADJACENT BUILDING
- 2 PAINTED HOLLOW METAL EXIT DOOR
- 3 PAINTED CEMENT PLASTER
- 4 RESTAURANT ENTRY
- 5 HOTEL ENTRY
- 6 1"x4" PAINTED STEEL POST
- 7 COLORED GLASS AND PAINTED STEEL FRAME GUARDRAIL AT 3'-6" A.F.F., TYP.
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- 12 BLACK ANODIZED FOLDING RESTAURANT ALUMINUM WINDOW AND DOOR FRAME
- 13 RETRACTABLE FABRIC RESTAURANT AWNING
- 14 PAINTED SHEET METAL WALL FLASHING
- 15 STAINED 1X6 IPE WOOD BOARDS
- 16 MECHANICAL EQUIPMENT, FENCE, 5'-0" TALL
- 17 STAIR PENTHOUSE
- 18 PLASTER CONTROL JOINT
- 19 PROPERTY LINE
- 20 HATCHED BOUNDARY AT ADJACENT BUILDING PROFILE AT PROPERTY LINE
- 21 PAINTED TRIM AT WALLS, FLOORS AND CEILING
- 22 INTERMEDIATE METAL POST

CCS ARCHITECTURE

4230 18TH STREET
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PROJECT NAME

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4230 18TH STREET,
SAN FRANCISCO, CA
94114**

ISSUED	DESCRIPTION
03.01.18	PLANNING COMMISSION

SHEET TITLE

PROPOSED
LONGITUDINAL SECTION

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BY	CCS
SCALE	1/4" = 1'
SHEET	

A 4.00



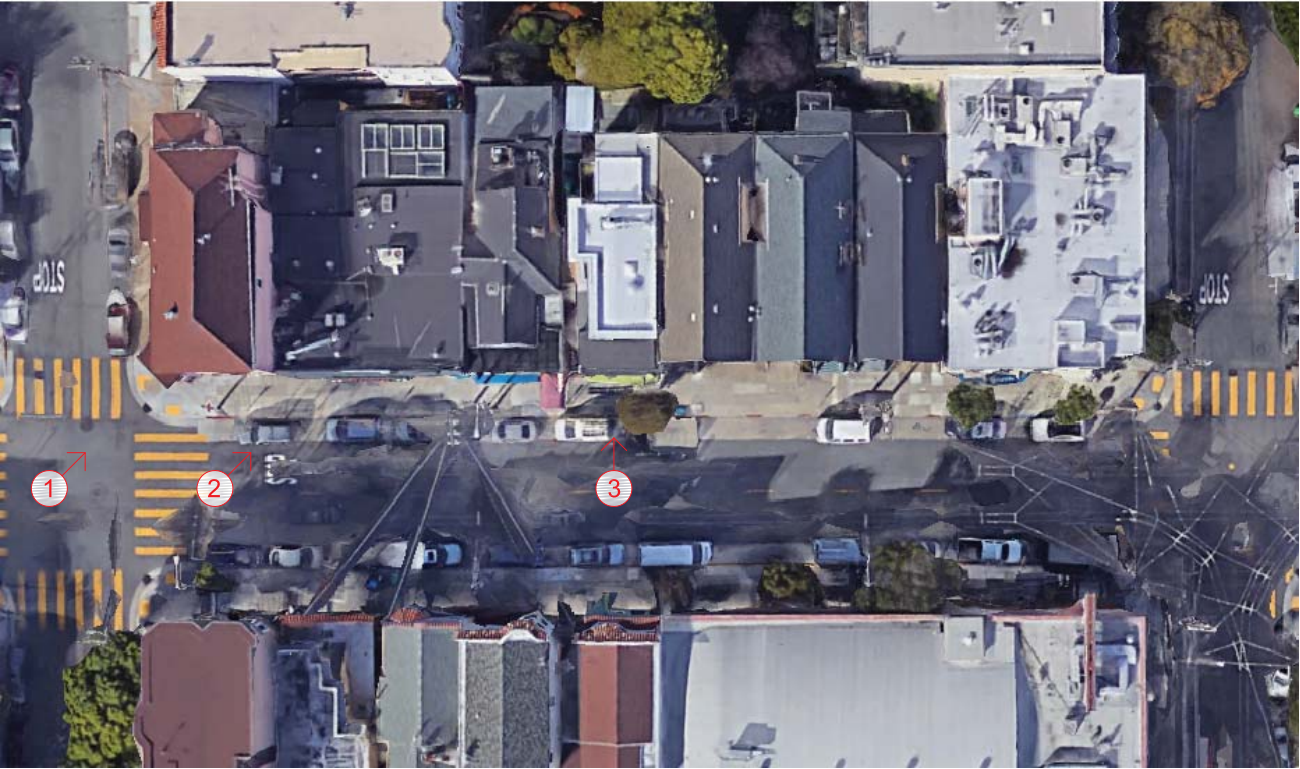
① NORTHEAST VIEW



② NORTHEAST VIEW 2



③ NORTH VIEW



KEY PLAN

PROJECT NAME

**18TH STREET HOTEL
4230 18TH STREET,
SAN FRANCISCO, CA
94114**

ISSUED	DESCRIPTION
03.01.18	PLANNING COMMISSION

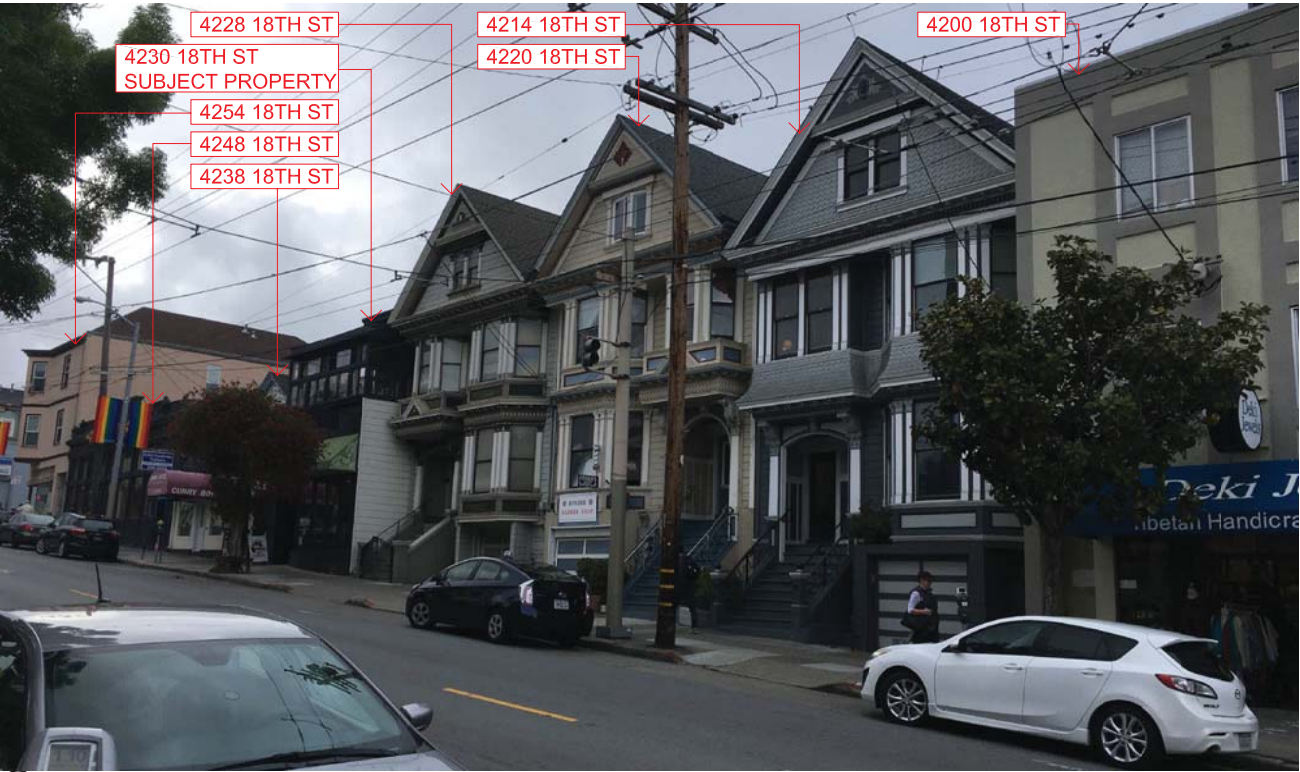
SHEET TITLE

EXISTING STREET VIEWS

FILE	1.17356_E0.00.dwg
BY	CCS
SCALE	N.T.S.
SHEET	



④ NORTHWEST VIEW



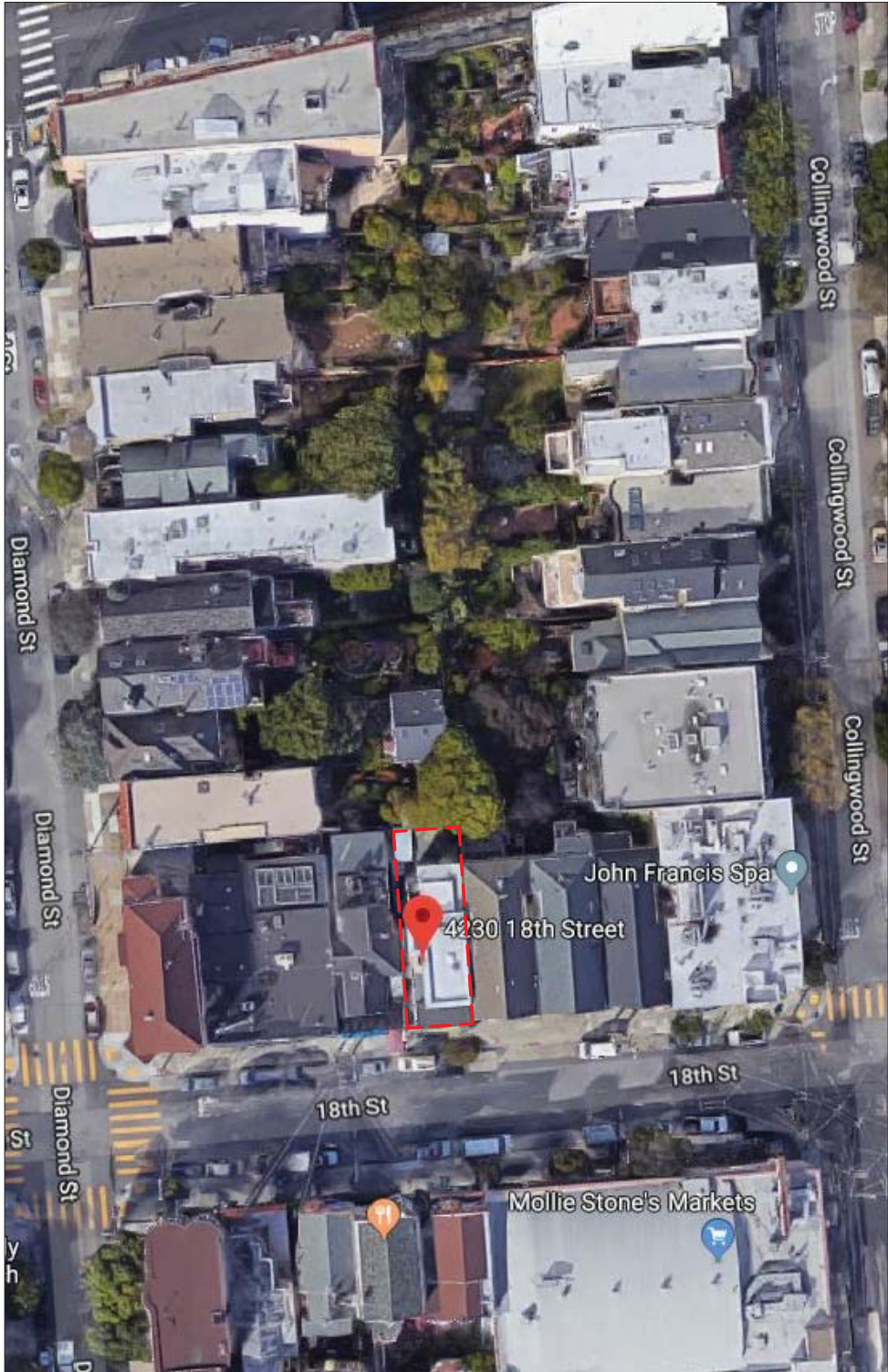
⑤ NORTHWEST VIEW 2



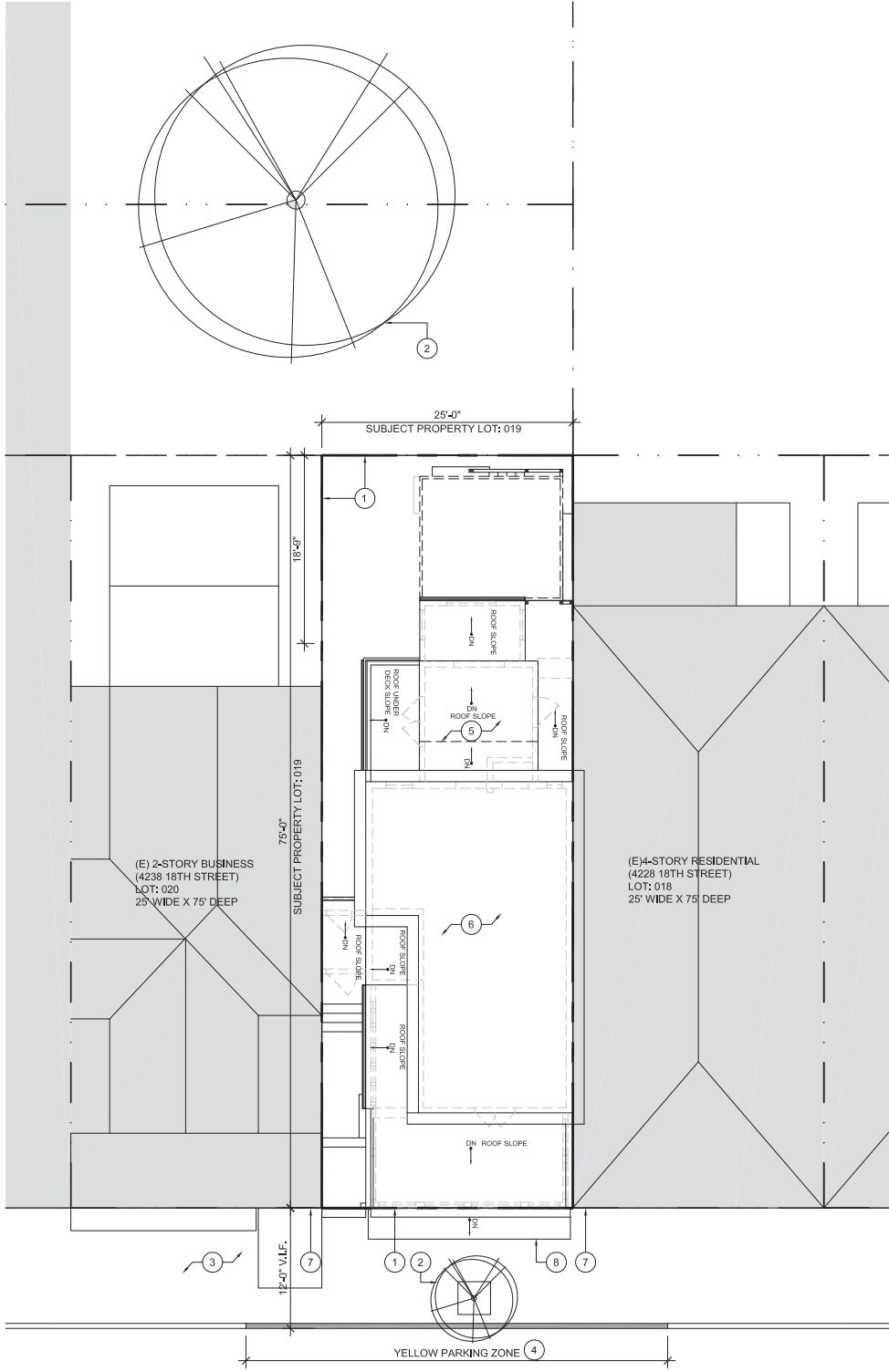
⑥ NORTHWEST VIEW 3



KEY PLAN



1 AERIAL VIEW
E1.00 N.T.S.



2 EXISTING SITE PLAN
E1.00 1/8" = 1'



KEYNOTES

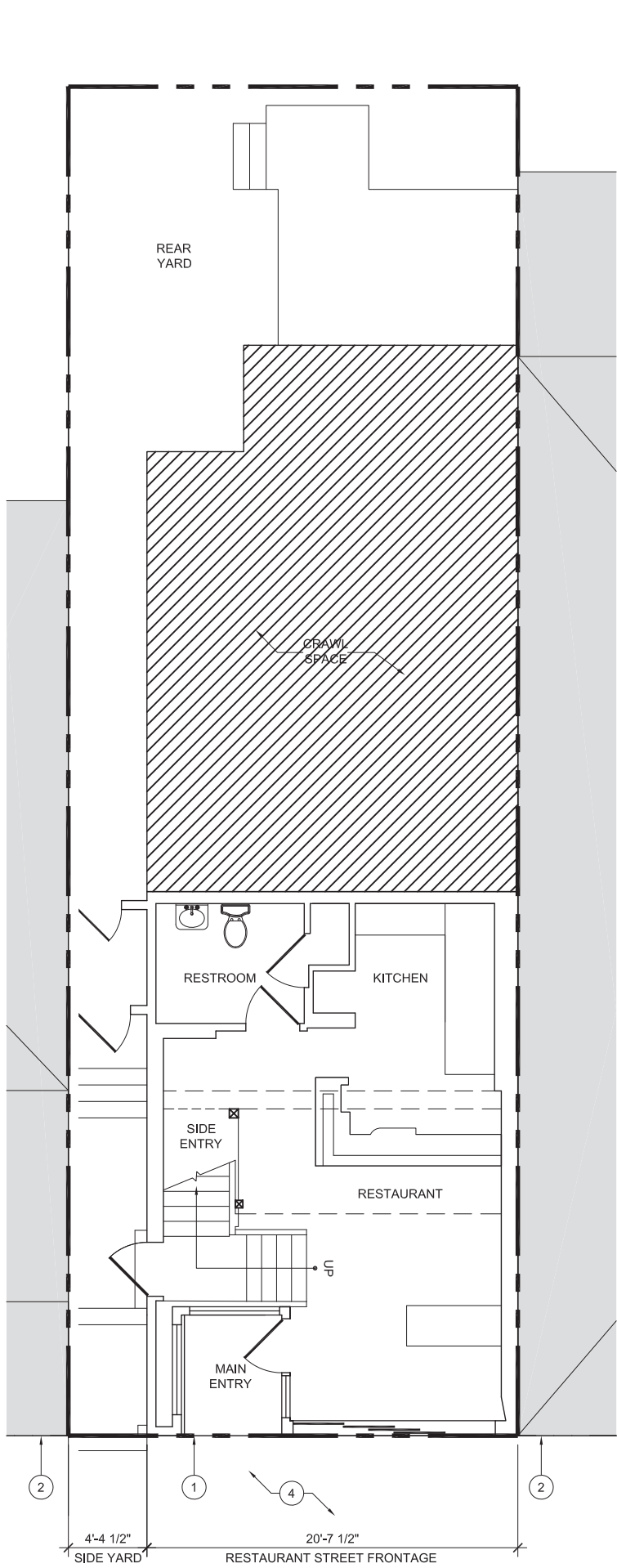
- 1 PROPERTY LINE
- 2 (E) TREE IN PLANTER BOX TO REMAIN
- 3 (E) SIDEWALK
- 4 SOLID HATCHED REGION INDICATES (E) YELLOW LOADING ZONE
- 5 LOWER ROOF BELOW
- 6 ROOF, REFER TO ROOF PLAN FOR MORE INFORMATION
- 7 (E) ADJACENT BUILDING
- 8 AWNING BELOW

PROJECT NAME
**18TH STREET HOTEL
4230 18TH STREET,
SAN FRANCISCO, CA
94114**

ISSUED	DESCRIPTION
03.01.18	PLANNING COMMISSION

SHEET TITLE
EXISTING SITE PLAN

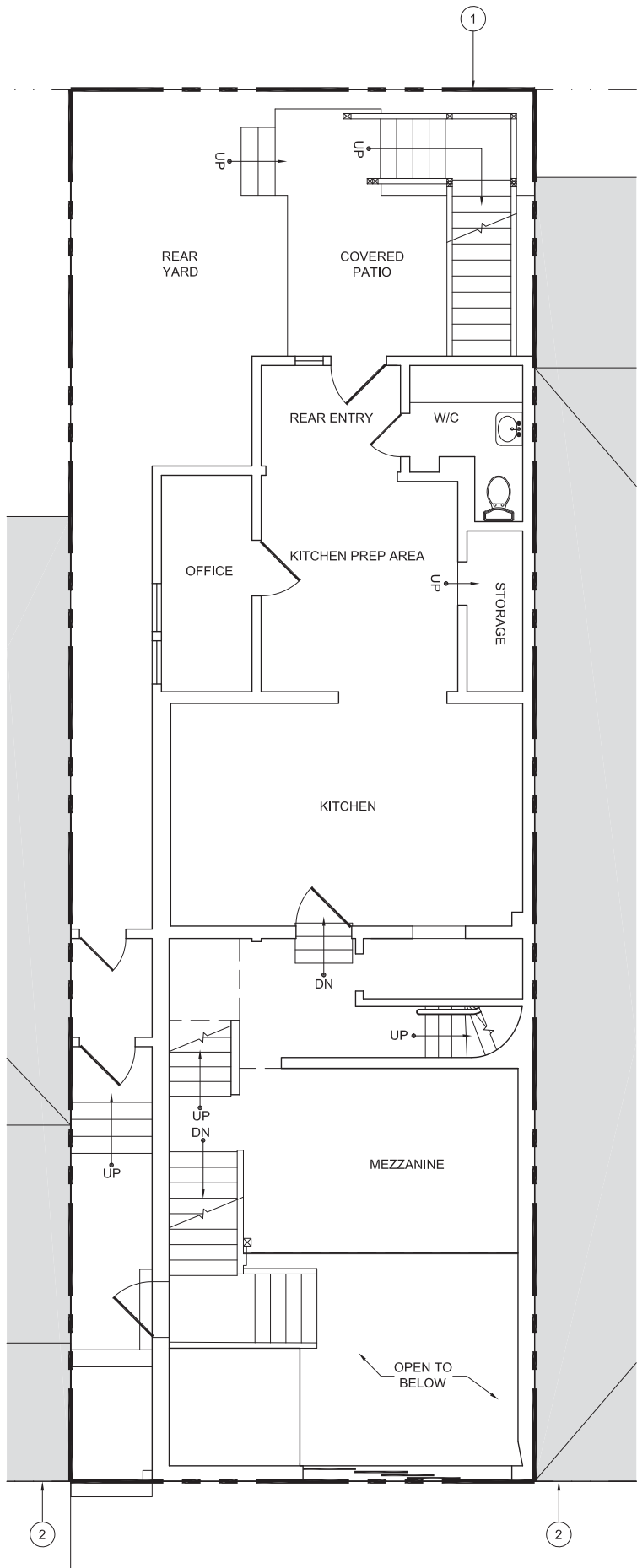
FILE 1.17356_A1.00.dwg
BY CCS
SCALE 1/8" = 1'
SHEET



1
E2.00

EXISTING LEVEL 1 - FLOOR PLAN
1/4" = 1' GROSS FLOOR AREA= 591 SF

NORTH



2
E2.00

EXISTING MEZZANINE LEVEL- FLOOR PLAN
1/4" = 1' GROSS FLOOR AREA= 1182 SF

NORTH

- KEYNOTES
- 1 PROPERTY LINE
 - 2 (E) ADJACENT BUILDING
 - 3 (E) TREE TO REMAIN
 - 4 (E) SIDEWALK TO REMAIN

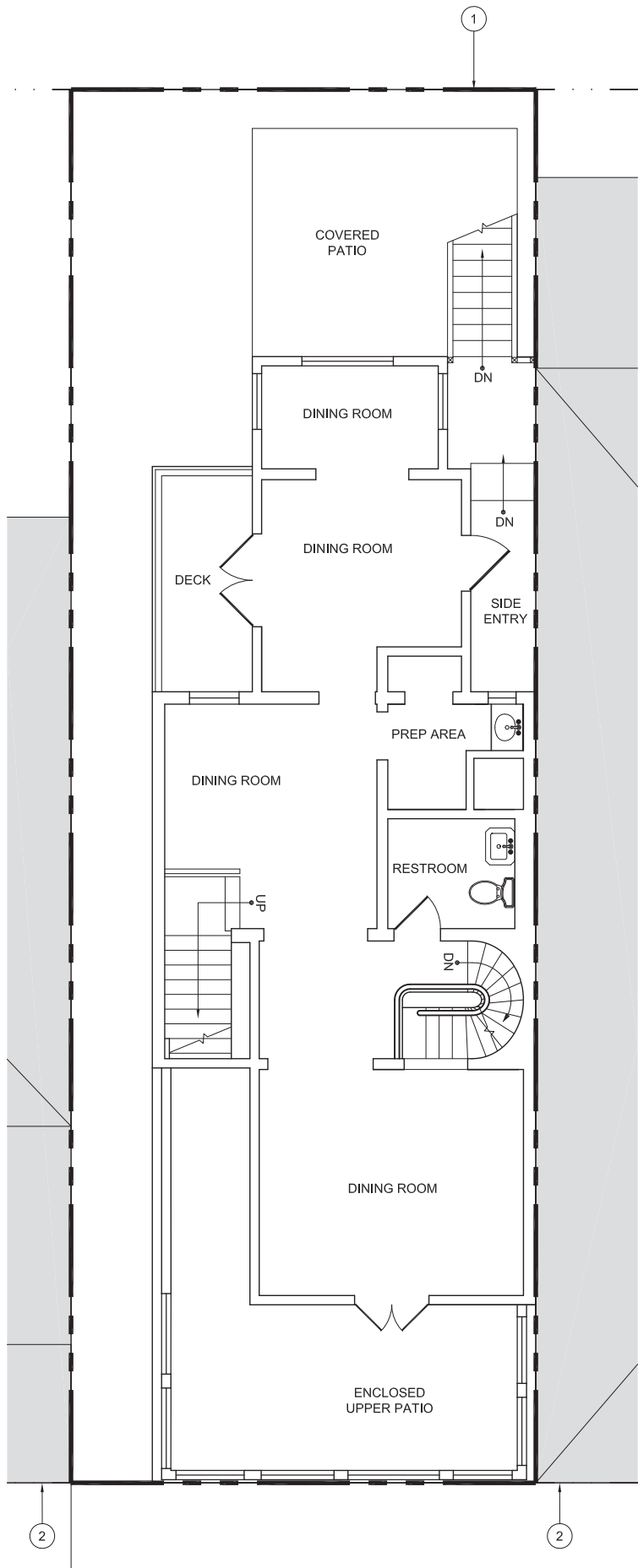
NOTE:
(E) BUILDING TO BE DEMOLISHED

PROJECT NAME
**18TH STREET HOTEL
4230 18TH STREET,
SAN FRANCISCO, CA
94114**

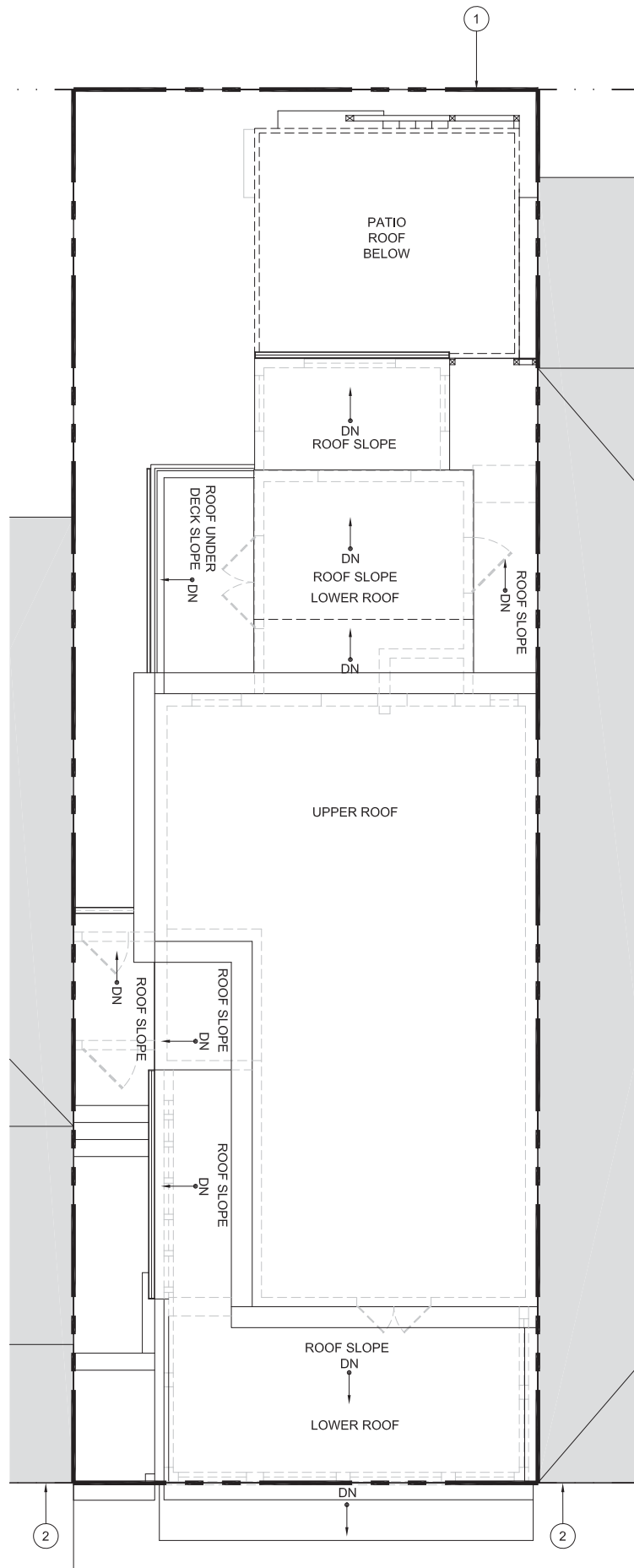
ISSUED	DESCRIPTION
03.01.18	PLANNING COMMISSION

SHEET TITLE
EXISTING FLOOR PLANS:
LEVEL 1 AND MEZZANINE

FILE	1.17356_A1.00.dwg
BY	CCS
SCALE	1/4" = 1'
SHEET	



1
E2.01
EXISTING LEVEL 2 - FLOOR PLAN
1/4" = 1' GROSS FLOOR AREA= 1338 SF



2
E2.01
EXISTING ROOF PLAN
1/4" = 1'



KEYNOTES

- 1 PROPERTY LINE
- 2 (E) ADJACENT BUILDING
- 3 (E) TREE TO REMAIN
- 4 (E) SIDEWALK TO REMAIN

NOTE:
(E) BUILDING TO BE DEMOLISHED

CCS ARCHITECTURE

4231 18TH STREET
SAN FRANCISCO
CALIFORNIA 94114
Tel: 415.774.4700
Fax: 415.774.2750
www.ccsarchitecture.com

PROJECT NAME

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4230 18TH STREET,
SAN FRANCISCO, CA
94114**

ISSUED	DESCRIPTION
03.01.18	PLANNING COMMISSION

SHEET TITLE

EXISTING FLOOR PLANS:
LEVEL 2 AND ROOF

FILE	1.17356_A1.00.dwg
BY	CCS
SCALE	1/4" = 1'
SHEET	

E 2.01

KEYNOTES

1 (E) ADJACENT BUILDING

NOTE:
(E) BUILDING TO BE DEMOLISHED

CCS ARCHITECTURE

4231 GLEA COURT
SAN FRANCISCO
CALIFORNIA 94114
Tel: 415.774.4700
Fax: 415.874.2750
www.ccsarchitecture.com

PROJECT NAME

18TH STREET HOTEL
4230 18TH STREET,
SAN FRANCISCO, CA
94114

ISSUED	DESCRIPTION
03.01.18	PLANNING COMMISSION

SHEET TITLE

EXISTING EXTERIOR
ELEVATIONS:
SOUTH AND NORTH

FILE	1.17356_A3.00.dwg
BY	CCS
SCALE	1/4" = 1'
SHEET	

E 3.00

