



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Office Development Authorization

HEARING DATE: MARCH 23, 2017

Date: March 16, 2017
Case No.: **2016-010294OFA**
Project Address: **1088 - 1090 Sansome Street**
Zoning: C-2 (Community Business) Zoning District
65-X Height and Bulk District
Northeastern Waterfront Area Plan
Waterfront 3 Special Use District
Block/Lot: 0135/099
Project Sponsor: Thomas Tuny
Howard Street Associates, LLC
100 Bush Street, Suite 220
San Francisco, CA 94105
Staff Contact: Claudine Asbagh – (415) 558-6377
Claudine.Asbagh@sfgov.org
Recommendation: **Approval with Conditions**

1650 Mission St.
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PROJECT DESCRIPTION

The proposal would convert 58,923 square feet of manufacturing space into 9,109 square feet of retail at the ground floor, and 49,814 square feet of office use on the first through third floors and penthouse.

SITE DESCRIPTION AND PRESENT USE

The Project is located on a 15,386 square foot lot on the southeast corner of the intersection of Sansome and Green Streets, Block 0135, Lot 009. The site is developed with three-story over basement industrial building. The building, constructed in 1906 as the Bemis Bag Building, is considered an Historic Resource under Article 10 of the San Francisco Planning Code as a compatible (contributory) building within the Northeast Waterfront Landmark District.

The site is located within the Business Support (C-2) District, the 65-X Height and Bulk District, the Northeastern Waterfront Area Plan (Base of Telegraph Hill Subarea), and the Waterfront 3 Special Use District.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is located within the North Beach neighborhood two blocks north of the Financial District and adjacent to Telegraph Hill area. Other Zoning Districts in the area include Low and Medium Density Residential Mixed Use (RM-1 and 2) and High Density Residential (RH-3) west of the project. Historically, the surrounding area was industrial and the architecture of the buildings reflects that. Most

buildings are former warehouse or manufacturing structures with large floor plates ranging from one to four stories. Land uses in the vicinity have gradually changed from industrial uses to include office and retail uses.

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	N/A	N/A	N/A	N/A
Posted Notice	20 days	March 3, 2017	March 3, 2017	20 days
Mailed Notice	N/A	N/A	N/A	N/A

PUBLIC COMMENT/COMMUNITY OUTREACH

To date, the Department has received one inquiry from the public requesting information on how the Department would ensure that the project remains under the 50,000 square foot office allocation threshold. In addition to the standard conditions of approval for office allocation authorizations, staff will require sheet A0.7 (floor area calculations) of the approved plans be recorded with the Notice of Special Restrictions on the property.

ISSUES AND OTHER CONSIDERATIONS

- Office Development Authorization: The proposed project includes the addition of 49,814 gross square feet of office use and therefore requires an Office Development Authorization. Office use is principally permitted in the C-2 Zoning District. As of January 27, 2017, 1,040,534 gross square feet of "Small Cap" office space in San Francisco was available. The Project will add approximately 49,814 gross square feet of office space at the Property. If the Project is approved, approximately 990,720 square feet of space will remain in the Small Cap pool.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must allocate square footage under the Annual Office Development Limitation Program (Sections 320-325).

BASIS FOR RECOMMENDATION

- The Project complies with the applicable requirements of the Planning Code.
- The Project is consistent with the objectives and policies of the General Plan including the Northeast Waterfront Plan and the objectives of the Lower Nob Hill Subarea of that plan.
- The Project is in a zoning district that principally permits office use.

- The project would construct 49,814 square feet of office within a former warehouse, facilitating the transition of the area from industrial uses to new commercial uses as envisioned in the Northeast Waterfront Plan.
- The authorization of office space will contribute to the economic activity in the neighborhood and is consistent and compatible with uses in the vicinity which include a variety of residential, office and other commercial activities.
- The Project represents an allocation of approximately 4.7 percent of the small cap office space currently available for allocation.

RECOMMENDATION: Approval with Conditions
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Attachment Checklist

- | | |
|---|--|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input checked="" type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel Map | 3-D Renderings (new construction or significant addition) |
| <input checked="" type="checkbox"/> Sanborn Map | <input type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Aerial Photo | <input type="checkbox"/> Wireless Telecommunications Materials |
| <input type="checkbox"/> Context Photos | <input type="checkbox"/> Health Dept. review of RF levels |
| <input type="checkbox"/> Site Photos | <input type="checkbox"/> RF Report |
| | <input type="checkbox"/> Community Meeting Notice |
| | <input type="checkbox"/> Housing Documents |
| | <input type="checkbox"/> Inclusionary Affordable Housing Program: Affidavit for Compliance |

Exhibits above marked with an "X" are included in this packet

Planner's Initials



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

☐ Affordable Housing (Sec. 415)

☒ Jobs Housing Linkage Program (Sec. 413)

☐ Downtown Park Fee (Sec. 412)

☒ First Source Hiring (Admin. Code)

☒ Child Care Requirement (Sec. 414)

☒ Other (TSF)

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Planning Commission Draft Motion

HEARING DATE: MARCH 23, 2017

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Case No.: **2016-010294OFA**
Project Address: **1088 - 1090 Sansome Street**
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Claudine.Asbagh@sfgov.org

ADOPTING FINDINGS RELATING TO THE APPROVAL OF AN ALLOCATION OF OFFICE SQUARE FOOTAGE UNDER THE 2016-2017 ANNUAL OFFICE DEVELOPMENT LIMITATION PROGRAM PURSUANT TO SECTIONS 320 THROUGH 325 OF THE PLANNING CODE TO ALLOW UP TO 49,814 GROSS SQUARE FEET OF OFFICE USE AT 1088-1090 SANSOME STREET, LOT 009 IN ASSESSOR'S BLOCK 0135, WITHIN THE C-2 (COMMUNITY BUSINESS) DISTRICT AND 65-X HEIGHT AND BULK DISTRICT. THE PROPOSAL WOULD CONVERT 58,923 GROSS SQUARE FEET OF MANUFACTURING SPACE INTO 9,109 GROSS SQUARE FEET OF RETAIL AT THE GROUND FLOOR, AND 49,814 GROSS SQUARE FEET OF OFFICE USE ON THE FIRST THROUGH THIRD FLOORS AND PENTHOUSE.

PREAMBLE

On August 9, 2016, Thomas Tunny, on behalf of 1088 Sansome Street, LLC (hereinafter "Project Sponsor"), filed an application with the Planning Department (hereinafter "Department") for an Allocation pursuant to Planning Code Section 303 and 321 to establish additional office use within the existing three to four-story building at 1088 Sansome Street, within the C-2 (Community Business) District and a 65-X Height and Bulk District (the "Project"). The Project would convert 58,923 square feet of

manufacturing space into 9,109 square feet of retail at the ground floor, and 49,814 square feet of office use on the first through third floors and penthouse.

On November 16, 2016 the project was determined to be exempt from the California Environmental Quality Act ("CEQA") as a Class 3 Categorical Exemption under CEQA as described in the determination contained in the Planning Department files for this project. The file for the Project is available at the San Francisco Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA.

On March 23, 2017, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Office Allocation Application No. 2016-010294OFA.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Office Allocation requested in Application No. 2016-010294OFA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The Project is located on a 15,386 square foot lot on the southeast corner of the intersection of Sansome and Green Streets, Block 0135, Lot 009. The site is developed with three-story over basement industrial building. The building, constructed in 1906 as the Bemis Bag Building, is considered an Historic Resource under Article 10 of the San Francisco Planning Code as a compatible (contributory) building within the Northeast Waterfront Landmark District.

The site is located within the Business Support (C-2) District, the 65-X Height and Bulk District, the Northeastern Waterfront Area Plan (Base of Telegraph Hill Subarea), and the Waterfront 3 Special Use District.

3. **Surrounding Properties and Neighborhood.** The project site is located within the North Beach neighborhood two blocks north of the Financial District and adjacent to Telegraph Hill area. Other Zoning Districts in the area include Low and Medium Density Residential Mixed Use (RM-1 and 2) and High Density Residential (RH-3) west of the project. Historically, the surrounding area was industrial and the architecture of the buildings reflects that. Most buildings are former warehouse or manufacturing structures with large floor plates ranging from one to four stories. Land uses in the vicinity have gradually changed from industrial uses to include office and retail uses.

4. **Project Description.** The proposal would convert 58,923 square feet of manufacturing space into 9,109 square feet of retail at the ground floor, and 49,814 square feet of office use on the first through third floors and penthouse.
5. **Public Comment.** To date, the Department has received one inquiry from the public requesting information on how the Department would ensure that the project remains under the 50,000 square foot office allocation threshold.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Uses in C-2 Zoning District.** Per Planning Code Section 210.2, within the C-2 Zoning District, Retail Sales and Service Uses are principally permitted when less than 50,000 square feet and Non-Retail Sales and Services uses are principally permitted.

The project proposes to convert 58,923 square feet of manufacturing space into 9,109 square feet of retail at the ground floor, and 49,814 square feet of office use on the first through third floors and penthouse. Therefore, the project meets this planning code requirement.

- B. **Off-Street Parking.** Planning Code Section 151.1 the office use would require a minimum of one parking space per 500 square feet, and the retail use would require one parking space per 500 square feet except as provided in Section 161. Per Section 161(h), no off-street parking is required for a contributing structure located within an historic district per Article 10.

The project does not include any off-street parking. The subject building is considered a contributor to the Northeast Waterfront Historic District, and therefore, no off-street parking is required.

- C. **Bicycle Parking.** Planning Section 155.2 of the Planning Code requires at least one Class 1 bicycle parking space for every 5,000 occupied square feet of office space and a minimum of two Class 2 bicycle parking spaces for any office use greater than 5,000 gross square feet. For retail, one Class 1 Space is required for every 7,500 square feet of occupied floor area, and one Class 2 space for every 2,500 square feet of occupied floor area of 50,000 square feet or less.

The project's office use would require 10 Class 1 spaces and two Class 2 spaces. The project's retail use would require one Class 1 space and four Class 2 spaces. The Project will provide a total of 11 Class 1 bicycle parking spaces and six Class 2 spaces to meet this requirement.

- D. **Shower Facility and Clothes Locker Requirement.** Planning Section 155.4 of the Planning Code requires at least two showers and twelve clothes lockers when gross square footage exceeds 20,000 square feet but is not greater than 50,000 square feet of the office use floor area.

The Project will provide 2 showers and 12 clothes lockers on the first floor. Therefore, the Project meets this Planning Code requirement.

7. **Office Development Authorization.** Planning Code Section 321 establishes standards for San Francisco's Office Development Annual Limit. In determining if the proposed Project would promote the public welfare, convenience and necessity, the Commission considered the seven criteria established by Code Section 321(b)(3), and finds as follows:

I. APPORTIONMENT OF OFFICE SPACE OVER THE COURSE OF THE APPROVAL PERIOD IN ORDER TO MAINTAIN A BALANCE BETWEEN ECONOMIC GROWTH ON THE ONE HAND, AND HOUSING, TRANSPORTATION AND PUBLIC SERVICES, ON THE OTHER.

As of January 27, 2017, 1,040,534 gross square feet of "Small Cap" office space in San Francisco was available. The Project will add approximately 49,814 gross square feet of office space at the Property. If the Project is approved, approximately 990,720 square feet of space will remain in the Small Cap pool.

While the project will promote economic growth as a result of the conversion to office, the project is subject to various development fees, including but not limited to, the Jobs-Housing Linkage Program that would help fund affordable housing. These development fees will contribute to programs designed to benefit the surrounding community and city as a whole.

Overall, the project will maintain a balance between economic growth and housing, transportation and public services.

II. THE CONTRIBUTION OF THE OFFICE DEVELOPMENT TO, AND ITS EFFECTS ON, THE OBJECTIVES AND POLICIES OF THE GENERAL PLAN.

The proposed project is consistent with the General Plan, as outlined in Section 8 below.

III. THE QUALITY OF THE DESIGN OF THE PROPOSED OFFICE DEVELOPMENT.

Because the building is considered an historic resource as a contributor to the Northeast Waterfront Historic District, any exterior changes to the building would require a Certificate of Appropriateness to ensure the changes are consistent and compatible with the District. A Certificate of Appropriateness No. 2014-001006COA for exterior renovations and window replacements was approved on April 1, 2015. Any additional exterior changes would require further review by preservation.

IV. THE SUITABILITY OF THE PROPOSED OFFICE DEVELOPMENT FOR ITS LOCATION, AND ANY EFFECTS OF THE PROPOSED OFFICE DEVELOPMENT SPECIFIC TO THAT LOCATION.

- a) Use. *The Project is located within the C-2 (Community Business) Zoning District which principally permits office uses pursuant to Planning Code Section 210.2. The site is located in a former industrial area that has slowly been changing to other commercial uses that are more sustainable as port activity moved to the south of Market areas.*
- b) Transit Accessibility. *The area is served by a variety of transit options. The Site is located within a quarter-mile of 8 MUNI routes including, the 10, 12, 30X, 39, 82X, E, and F lines.*
- c) Open Space Accessibility. *The project is located two blocks south of Levi's Plaza, and four blocks west of the embarcadero promenade. The site is also walking distance from Telegraph Hill/Pioneer Park.*
- d) Urban Design. *The Project reinforces the surrounding neighborhood character by adaptively reusing an existing building for office use. As mentioned above, Certificate of Appropriateness No. 2014-001006COA for exterior renovations and window replacements was approved on April 1, 2015. Any additional exterior changes would require further review by preservation to ensure compatibility with the historic district.*

- e) Seismic Safety. *The Project will conform to the structural and seismic requirements of the San Francisco Building Code, meeting this policy.*

V. THE ANTICIPATED USES OF THE PROPOSED OFFICE DEVELOPMENT IN LIGHT OF EMPLOYMENT OPPORTUNITIES TO BE PROVIDED, NEEDS OF EXISTING BUSINESSES, AND THE AVAILABLE SUPPLY OF SPACE SUITABLE FOR SUCH ANTICIPATED USES.

- a) Anticipated Employment Opportunities. *The Project would add 49,814 square feet of office space at a former warehouse space. As noted by the project sponsor, the additional office square footage will create new opportunities for employment and will provide new employees to the neighborhood, who will patronize nearby businesses.*
- b) Needs of Existing Businesses. *The Project will supply office space in the Northeast Waterfront Area, which allows office use within the C-2 Zoning District. The Project will provide office space with large floor plates, which is a characteristic desired by emerging technology businesses. This building type offers flexibility for new businesses to further grow in the future.*
- c) Availability of Space Suitable for Anticipated Uses. *Demand for new office space has increased rapidly in the past few years. Large, open floor plates are among the most important features in today's office market, and the Project will help meet this demand with large floorplate and flexible office space that is suitable for a variety of office uses and sizes.*

VI. THE EXTENT TO WHICH THE PROPOSED DEVELOPMENT WILL BE OWNED OR OCCUPIED BY A SINGLE ENTITY.

The Project is flexibly designed to house multiple tenants, or a large single tenant. The project sponsor has not yet determined the anticipated tenant or tenants.

VII. THE USE, IF ANY, OF TRANSFERABLE DEVELOPMENT RIGHTS ("TDR's") BY THE PROJECT SPONSOR.

The Project does not include any Transfer of Development Rights.

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

COMMERCE AND INDUSTRY ELEMENT

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1:

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development that has substantial undesirable consequences that cannot be mitigated.

Policy 1.2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

Policy 1.3:

Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

The proposed office development will provide net benefits to the City and the community in the form of new office space located within a zoning district that principally permits general office use. The nature of the office use has few physical consequences that are undesirable and the standard Conditions of Approval (Exhibit A) will help ensure that the operations will not generate any unforeseen problems.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.3:

Maintain a favorable social and cultural climate in the city in order to enhance its attractiveness as a firm location.

The proposed office development will help attract new commercial activity to San Francisco as it provides a large quantity of vacant office space for use. It also contributes to San Francisco's attractiveness as a firm location as it is within short walking distance of Embarcadero.

NORTHEAST WATERFRONT PLAN AREA

Objectives and Policies

OBJECTIVE 5:

TO DEVELOP LIMITED ADDITIONAL OFFICE AND COMMERCIAL SPACE IN ORDER TO SERVE THE CITY'S ECONOMIC NEEDS AND TO ENCOURAGE A MIXTURE OF USES AND ACTIVITIES ALONG THE NORTHEASTERN WATERFRONT.

Policy 5.1

Permit additional general office and commercial development on sites inland of the seawall adjacent to the Downtown Office District, which complements the downtown but which is of a lesser intensity and which reflects the transition between the City and the water.

Policy 5.2

Encourage service retail uses in combination with other uses.

Policy 5.3

Allow general and specialty retail uses in combination with other uses which will not significantly detract from the Downtown Retail District.

The project will convert a vacant warehouse into office and retail uses. The conversion will provide the City with much needed new office space in an area with access to multiple forms of transit. The creation of retail space at the ground floor will further activate the area and help reinforce the transition between the downtown and waterfront.

OBJECTIVE 18:

TO DEVELOP A DIVERSITY OF ADDITIONAL ACTIVITIES WHICH WOULD STRENGTHEN THE EXISTING PREDOMINANT USES IN THE BASE OF TELEGRAPH HILL SUBAREA AND ACTIVITIES WHICH WOULD EXPAND THE PERIOD OF USE, BUT OF AN INTENSITY WHICH WOULD PROVIDE A RELIEF FROM THE ADJACENT DOWNTOWN AND FISHERMAN'S WHARF AREAS.

Policy 18.1:

Consistent with policies 18.2 and 18.3 encourage development of uses on inland sites which would strengthen the area's predominant uses of professional and general offices and design-related activities.

Policy 18.3:

Encourage moderate development of uses such as shops, restaurants, entertainment and hotels which activate the waterfront during evenings and weekends, but to a lesser overall intensity and concentration than present in the adjacent downtown and Fisherman's Wharf areas.

The project will convert a vacant warehouse into office and retail uses. The conversion will provide the City with much needed new office space in an area with access to multiple forms of transit. The creation of retail space at the ground floor will further activate the area and help reinforce the transition between the downtown and waterfront. Providing a mixture of uses on the site will help to diversify periods of use in the area, helping to provide activity throughout multiple times in the day.

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The Site is located in the community business district and does not house any neighborhood-serving retail uses. The Project will provide approximately 9,100 square feet of retail at the ground floor.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

No housing would be removed by the Project. The Project will be compatible with the existing and evolving character of the Northeast Waterfront Area Plan, and the Base of Telegraph Hill Subarea. The adaptive re-use of the former warehouse building will allow new office and retail uses to be established within an historic building that is a contributor to the historic district.

- C. That the City's supply of affordable housing be preserved and enhanced,

As the Project will not remove affordable housing, the City's supply of affordable housing will be preserved. By paying a Jobs-Housing Linkage Fee into the Citywide Affordable Housing Fund, the Project will directly enhance the supply of affordable housing.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The area is served by a variety of transit options. The Site is located within a quarter-mile of 8 MUNI routes including, the 10, 12, 30X, 39, 82X, E, and F lines. The project's close proximity to transit should encourage employees to walk, ride a bicycle, or take public transportation to the property.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

Although the property is a former industrial use, the conversion to office and retail uses is supported by the Northeast Waterfront Area Plan.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will conform to all structural and seismic requirements of the San Francisco Building Code.

- G. That landmarks and historic buildings be preserved.

Because the building is considered an historic resource as a contributor to the Northeast Waterfront Historic District, any exterior changes to the building would require a Certificate of Appropriateness to ensure the changes are consistent and compatible with the District. A Certificate of Appropriateness No. 2014-001006COA for exterior renovations and window replacements was approved on April 1, 2015. Any additional exterior changes would require further review by preservation.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project will not cast net new shadows or impede views for parks and open spaces in the area, nor have any negative impact on existing public parks and open spaces.

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Office Development Application No. 2016-010294OFA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated May 27, 2016, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Office Development Authorization and/or building permit application to the Board of Appeals within fifteen (15) calendar days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 15-day period has expired) OR the date of the decision of the Board of Appeals if appealed to the Board of Appeals. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on March 23, 2016.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED:

EXHIBIT A

AUTHORIZATION

This authorization is for a Office Allocation Authorization to allow 49,814 square feet of office within the existing building at 1088 Sansome Street within the C-2 (Community Business) District and a 65-X Height and Bulk District; in general conformance with plans, dated May 27, 2016, and stamped "EXHIBIT B" included in the docket for Case No. 2016-010294OFA and subject to conditions of approval reviewed and approved by the Commission on March 23, 2017 under Motion No. XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on March 23, 2017 under Motion No XXXXXX. The Notice shall include the floor area calculations that document the gross floor area of office.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three- year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

3. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

4. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

5. **Development Timeline - Office.** Pursuant to Planning Code Section 321(d) (2), construction of the office development project shall commence within 18 months of the effective date of this Motion. Failure to begin work within that period or to carry out the development diligently thereafter to completion, shall be grounds to revoke approval of the office development under this office development authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

DESIGN – COMPLIANCE AT PLAN STAGE

6. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

7. **Garbage, composting and recycling storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

8. **Rooftop Mechanical Equipment.** Pursuant to Planning Code 141, the Project Sponsor shall submit a roof plan to the Planning Department prior to Planning approval of the building permit application. Rooftop mechanical equipment, if any is proposed as part of the Project, is required to be screened so as not to be visible from any point at or below the roof level of the subject building.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org.

PARKING AND TRAFFIC

9. **Bicycle Parking (Commercial Only).** Pursuant to Planning Code Sections 155.1 and 155.4., the Project shall provide no fewer than 11 Class 1 and 6 Class 2 bicycle parking spaces.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

10. **Showers and Clothes Lockers.** Pursuant to Planning Code Section 155.4, the Project shall provide no fewer than two showers and 12 clothes lockers.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

11. **Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

PROVISIONS

12. **First Source Hiring.** The Project shall adhere to the requirements of the First Source Hiring Construction and End-Use Employment Program approved by the First Source Hiring Administrator, pursuant to Section 83.4(m) of the Administrative Code. The Project Sponsor shall comply with the requirements of this Program regarding construction work and on-going employment required for the Project.
For information about compliance, contact the First Source Hiring Manager at 415-581-2335, www.onestopSF.org
13. **Transportation Sustainability Fee.** The Project is subject to the Transportation Sustainability Fee (TSF), as applicable, pursuant to Planning Code Section 411A.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org
14. **Jobs Housing Linkage.** The Project is subject to the Jobs Housing Linkage Fee, as applicable, pursuant to Planning Code Section 413.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org
15. **Childcare Requirements - Office and Hotel Development.** The Project is subject to the Childcare Fee for Office and Hotel Development Projects, as applicable, pursuant to Planning Code Section 414.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

MONITORING

16. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
17. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

18. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-.5810, <http://sfdpw.org>

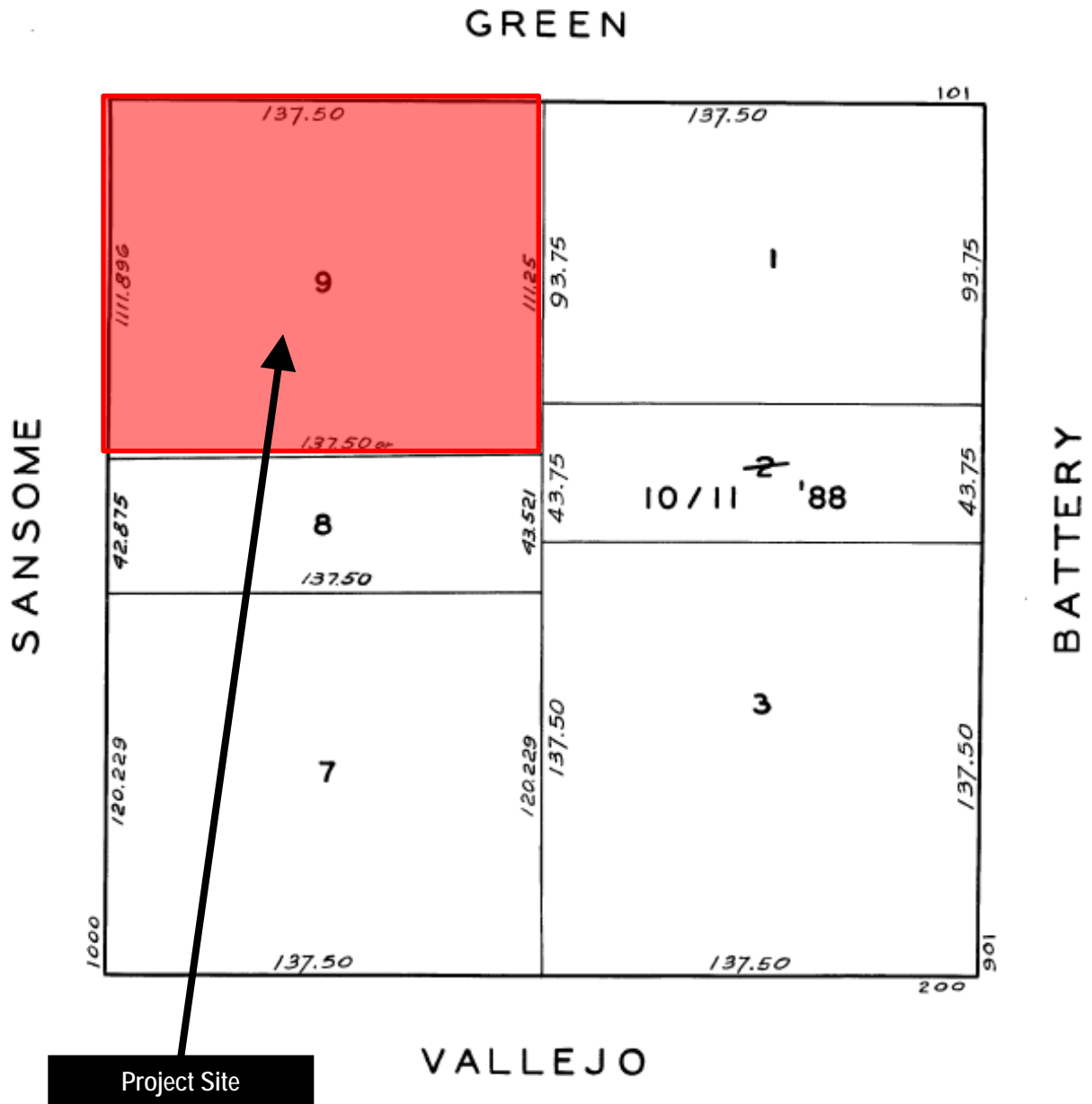
19. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>

20. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

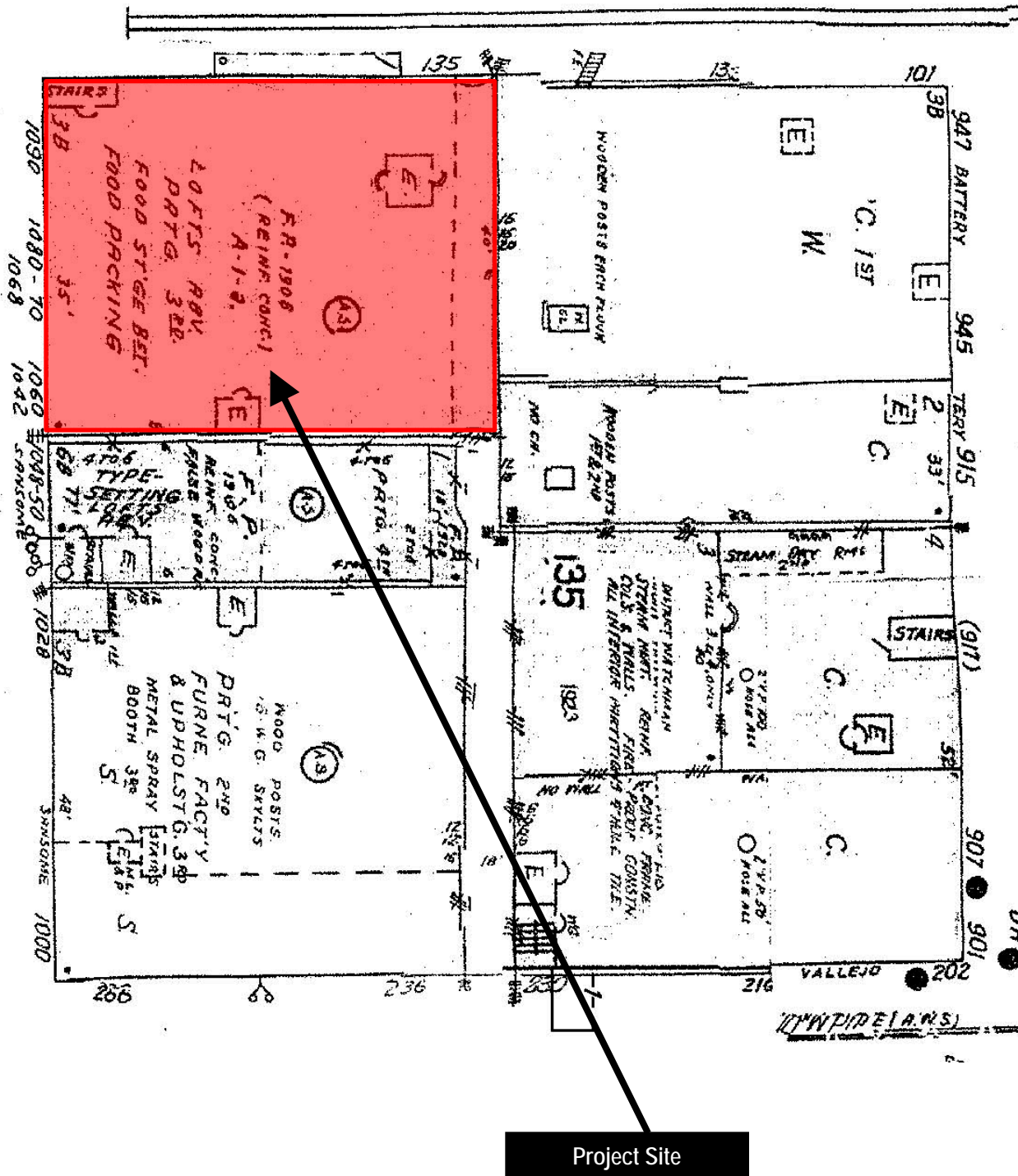
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Parcel Map



Case No. 2016-010294OFA
1088 – 1090 Sansome Street

Sanborn Map*

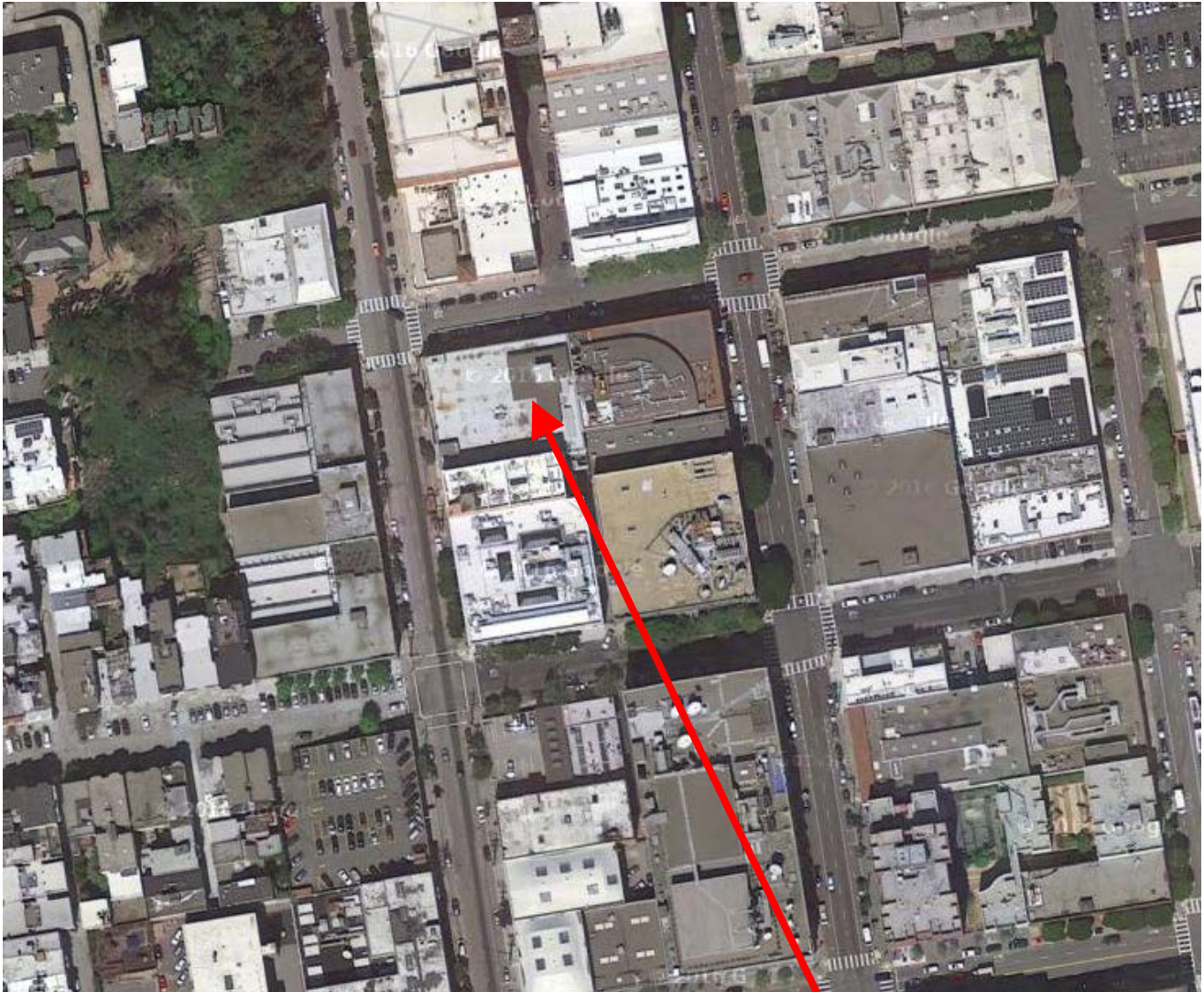


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Case No. 2016-010294OFA
1088 – 1090 Sansome Street

Aerial Photo

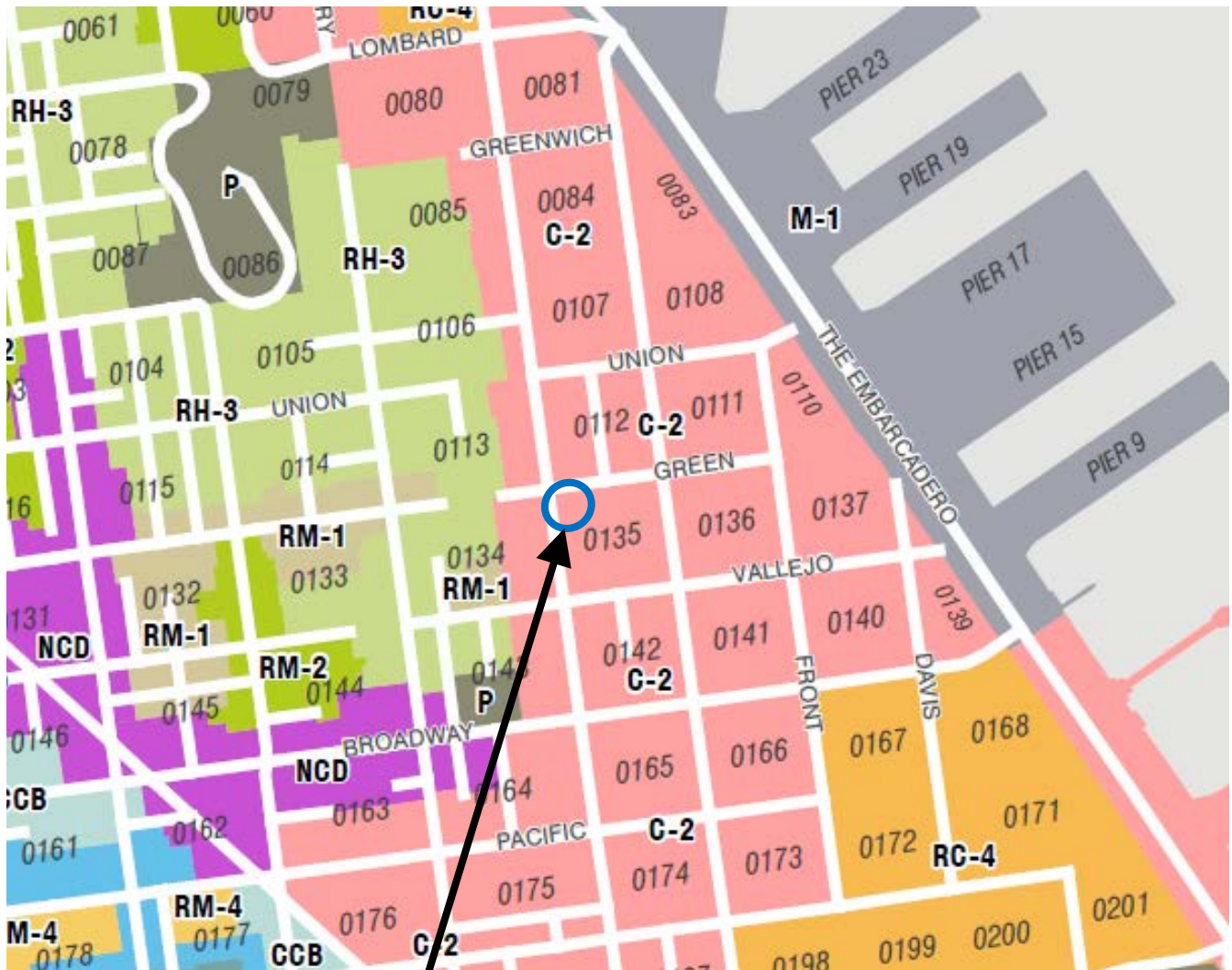


Project Site



Case No. 2016-010294OFA
1088 – 1090 Sansome Street

Zoning District Map



Project Site



Case No. 2016-010294OFA
1088 – 1090 Sansome Street

Height and Bulk Map



Project Site

Case No. 2016-010294OFA
1088 – 1090 Sansome Street



REUBEN, JUNIUS & ROSE, LLP

March 8, 2017

Sent Via E-Mail

President Rich Hillis
San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: 1088 Sansome Street – Office Allocation Request
Case No. 2016-010294OFA
Hearing Date: March 23, 2017
Our File No.: 10148.01

Dear President Hillis and Commissioners:

This office represents Angus McCarthy, project sponsor (“Project Sponsor”) of the historically-sensitive rehabilitation and proposed office and retail use (the “Project”) of the existing building located at 1088 Sansome Street, at the southeast corner of Green Street and Sansome Street (the “Property”). The existing building consists of four stories and a penthouse, with a total floor area of 63,228 square feet. The Project Sponsor has rehabilitated and restored the historic façade of the building, upgraded the core systems, and will accommodate the office and commercial uses with tenant improvements. (Project renderings are attached as Exhibit A and Project plans and drawings are attached as Exhibit B.) The Project requires a small cap office allocation of 49,814 square feet.

We urge the Planning Commission to approve the office allocation for the following reasons:

- The Project will provide much-needed office space in an ideal location – adjacent to the downtown core in the C-2 Zoning District, where office uses are principally permitted and are encouraged as a transition use from the waterfront;
- The Project is well-served by public transit and provides no off-street parking, thereby encouraging employees to use transportation means other than automobiles;
- The office use will be supplemented and enhanced by 9,462 square feet of ground floor retail, consistent with the intent of the C-2 District and City planning policies;
- The office use facilitates the detailed and historically-accurate rehabilitation of the existing building at the Property; and

James A. Reuben | Andrew J. Junius | Kevin H. Rose | Daniel A. Frattin
Sheryl Reuben¹ | David Silverman | Thomas Tunny | Jay F. Drake | John Kevlin
Lindsay M. Petrone | Melinda A. Sarjapur | Mark H. Loper | Jody Knight | Jared Eigerman^{2,3} | John McInerney III²

1. Also admitted in New York 2. Of Counsel 3. Also admitted in Massachusetts

One Bush Street, Suite 600
San Francisco, CA 94104

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- The Project is flexibly designed to house multiple tenants, or a large single tenant. Project Sponsor has not yet determined the anticipated tenant or tenants.

I. Brief Property and Project Background

The existing building at the Property is known as the Bemis Bag Building, and was originally constructed in 1906. It is located within the Northeast Waterfront Historic District, designed in the 20th Century Industrial with Rusticated Surface Style. Much of its original historic character has been lost by façade alterations over time. In 2014-2015, seeking to restore the historic character and charm of the building, the Project Sponsor applied for and was granted a Certificate of Appropriateness for extensive building improvements. (Exhibit C.)

In particular, the work consisted of replacing the existing 1990s-era single pane aluminum slider windows and concrete infill panels with a new aluminum dual pane historic replacement window system that mimics the original window shape; and replacing the existing and installing new storefront systems. Core and shell improvements included all new mechanical, restrooms and showers, janitor's closets and kitchens, replacing existing non-historic windows, and removing concrete panels. Restoration of the penthouse is being reviewed under an administrative Certificate of Appropriateness.

II. The Project Complies with the Office Allocation Guidelines (Planning Code Sec. 321)

Planning Code Section 321 authorizes the Planning Commission to approve office developments that promote the public welfare, convenience and necessity. In order to determine the public welfare, convenience and necessity, the Planning Commission shall consider the criteria outlined in Section 321(b)(3) of the Code. As discussed in this letter, the Project satisfies these criteria.

The Property is located in the C-2 District, where office uses are principally permitted. Office uses and ground floor retail are common in this area, with office uses across the street in the Sunset Press building and at 150 Green Street, Levi's Plaza located two blocks north, and the downtown core five blocks to the south.

The Property is located in close proximity to the 1, 10, 12, 39, 41, and 82X MUNI bus lines, as well as the E and F streetcar lines, and the Property is a short walk from ferries connecting to the East Bay and Marin. (A transit map attached as Exhibit D.) No off-street parking is provided. The Project will also comply with the requirement to pay the Transportation Sustainability Fee, to be used to upgrade public transit options in the area.

The Project will affirmatively promote, is consistent with, and will not adversely affect the General Plan, as follows:

Commerce Element

OBJECTIVE 1: MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1: Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development which has substantial undesirable consequences that cannot be mitigated.

The Project supports this Policy. It provides significant benefits by providing additional office space in a transit-accessible neighborhood in San Francisco. It will result in an increase in tax revenue for San Francisco, as well as an increase in employment opportunities for San Franciscans. It will also provide new high-quality non-office commercial space in an area in need of additional commercial space.

Policy 1.3: Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

The Project furthers this Policy. The Property is located within the C-2 Zoning District, where office use is principally permitted. The character and location of the Property makes it an ideal location for the creation of additional office space.

OBJECTIVE 2: MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1: Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

The Project supports this Policy. Due to its location in the desirable North Beach and Northeastern Waterfront area, the Project is anticipated to easily attract and retain office tenants. The Property is conveniently accessible by multiple transit services. The Project will create a significant amount of additional office space, which will provide the flexibility to provide adequate space to a single large office tenant, or smaller tenants.

Transportation Element

OBJECTIVE 2: USE THE TRANSPORTATION SYSTEM AS A MEANS FOR GUIDING DEVELOPMENT AND IMPROVING THE ENVIRONMENT.

Policy 2.1: Use rapid transit and other transportation improvements in the city and region as the catalyst for desirable development, and coordinate new facilities with public and private development.

The Property is located in one of the most transit-rich areas of San Francisco, and thus is an ideal location for office space. The Project will make good use of nearby transit services and will assist in maintaining the desirable urban characteristics and services of the North Beach and Northeastern Waterfront areas.

The Property is located in close proximity to the 1, 10, 12, 39, 41, and 82X MUNI bus lines, as well as the E and F streetcar lines, and the Property is a short walk from ferries connecting to the East Bay and Marin.

Northeastern Waterfront Plan, Commercial Element

OBJECTIVE 5: TO DEVELOP LIMITED ADDITIONAL OFFICE AND COMMERCIAL SPACE IN ORDER TO SERVE THE CITY'S ECONOMIC NEEDS AND TO ENCOURAGE A MIXTURE OF USES AND ACTIVITIES ALONG THE NORTHEASTERN WATERFRONT.

Policy 5.1: Permit additional general office and commercial development on sites inland of the seawall adjacent to the Downtown Office District, which complements the downtown but which is of a lesser intensity and which reflects the transition between the City and the water.

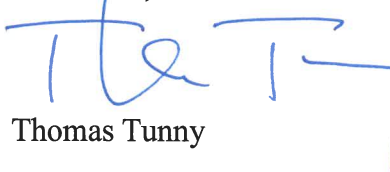
The Project provides a general office and commercial development adjacent to the Downtown Office District, which complements the downtown but is of a lesser intensity.

III. Conclusion

The Project restores the character and appeal of the historic Bemis Bag Building, and provides much-needed office and ground floor retail uses in an ideal location, consistent with the City's applicable planning and zoning controls and policies. For these reasons, we respectfully request that the Planning Commission approve the office allocation application for the proposed office use at the Property.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP



Thomas Tunny

One Bush Street, Suite 600
San Francisco, CA 94104

tel: 415-567-9000
fax: 415-399-9480

REUBEN, JUNIUS & ROSE, LLP

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President Hillis and Commissioners

March 8, 2017

Page 5

Enclosures

cc: Vice President Dennis Richards
Commissioner Christine Johnson
Commissioner Joel Koppel
Commissioner Myrna Melgar
Commissioner Kathrin Moore
Commission Secretary Jonas Ionin
Planner Claudine Asbaugh
Project Sponsor

Exhibit “A”



BEMIS BAG CO
BEMIS BAG CO

1088

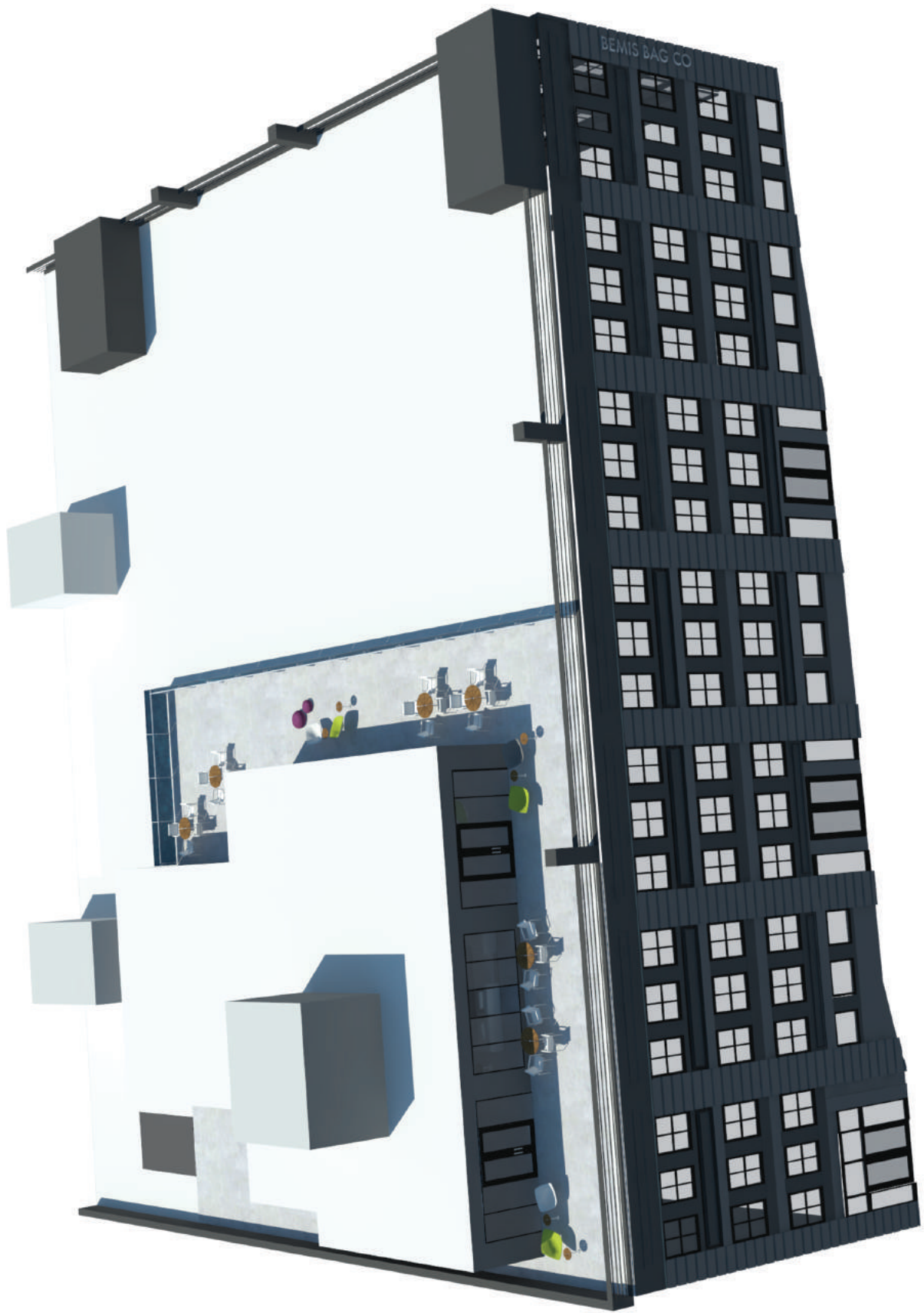




Exhibit “B”

Exhibit “C”



SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Motion No. 0253

HEARING DATE: APRIL 1, 2015

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Filing Date: November 5, 2014
Case No.: 2014-001006COA
Project Address: 1088 SANSOME STREET
Historic Landmark: Northeast Waterfront Landmark District
Zoning: C-2 (Community Business) District
65-X Height and Bulk District
Waterfront Special Use District, subarea #3
Northeast Waterfront Special Sign District
Block/Lot: 0135 / 009
Applicant: ✓ Daniel Kunzmann
Huntsman Architecture
50 California Street, 7th floor
San Francisco, CA 94111
Staff Contact Pilar LaValley - (415) 575-9084
pilar.lavalley@sfgov.org
Reviewed By Tim Frye - (415) 575-6822
tim.frye@sfgov.org

ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 009 IN ASSESSOR'S BLOCK 0135, WITHIN A C-2 (COMMUNITY BUSINESS) ZONING DISTRICT, WATERFRONT SPECIAL USE DISTRICT, SUBAREA #3, NORTHEAST WATERFRONT SPECIAL SIGN DISTRICT, A 65-X HEIGHT AND BULK DISTRICT, AND THE NORTHEAST WATERFRONT LANDMARK DISTRICT.

PREAMBLE

WHEREAS, on November 5, 2014, Daniel Kunzmann of Huntsman Architectural Group ("Project Sponsor") filed an application with the San Francisco Planning Department ("Department") for a Certificate of Appropriateness for exterior alterations, on the subject property located on Lot 009 in Assessor's Block 0135.

Specifically, the proposal includes:

- Replacement of non-historic aluminum slider sash windows with new aluminum windows (Wausau, 3250-H Series Heritage) with a powder-coated finish (Dark Grey). Majority of new window sash will have a four-lite configuration with lower portion of sash having awning

operation. Smaller window openings will have two- or one-lite configuration and awning operation. The configuration of new sash is based on a historic elevation drawing from unknown date and one extant original window.

- Removal of original concrete panels between vertical concrete piers on 2nd through 4th floors on Green Street façade and installation of windows in new openings. The sash in these new openings will match that installed in the existing openings.
- Replacement of non-historic metal and glass storefront system in the existing ground floor entrance on Sansome Street. New metal and glass storefront system (Wausau) will have powder-coated finish (Dark Grey).
- Removal of concrete infill within two ground floor bays on the Green Street façade and installation of new metal and glass entry doors and sidelights. New metal and glass storefront system (Wausau) will have powder-coated finish (Dark Grey).
- Removal of metal roll-up doors (one at each façade) and installation of new metal and glass storefront system in existing openings. New metal and glass storefront system (Wausau) will have powder-coated finish (Dark Grey).
- Removal of concrete and brick infill over full height of one bay on the Sansome Street façade. Within this bay, new spandrels will be installed to match existing and a metal and glass storefront system will be added at ground floor. At the upper floors, large eight-light windows will be installed in the restored openings.
- Existing concrete cladding will be repaired or restored as needed with portions of several partially removed spandrel panels replaced in-kind. The façades will be repainted.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on April 1, 2015, the Commission conducted a duly noticed public hearing on the current project, Case No. 2014-001006COA ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby APPROVES WITH CONDITIONS the Certificate of Appropriateness, in conformance with the conceptual architectural plans dated March 18, 2015 and labeled Exhibit A on file in the docket for Case No. 2014-001006COA based on the conditions and findings listed below.

CONDITIONS OF APPROVAL

Upon completion of construction drawings, the following shall be submitted to Planning Department Preservation Staff for review and approval:

1. That documentation of an existing concrete panel is undertaken prior to removal. Documentation will include photographs and a dimensioned plan and section(s). This information should be included in the Building Permit plans for reference.
2. That the window sash installed in place of the concrete panels sit in same plane as existing solid panels in order to differentiate new openings from existing.
3. That final window details or window mock-ups be provided to Preservation Planning staff for review and approval.
4. That the project sponsor prepare mock ups of the spandrel reconstruction, particularly the finish, for on-site review and approval by Preservation Planning staff.
5. That the ground floor bay, three bays in from the north end of the Sansome Street façade, be retained in its current configuration with exception of installation of replacement window sash. This bay appears to have formerly served as a raised loading dock and reconstruction of concrete spandrel and vertical pier as well as new window openings to match adjacent bays would not be appropriate as they are not features that historically occupied this bay of the building.
6. That staff will work with Project Sponsor to ensure that new paint colors are consistent with the characteristic exterior palette of the District. The Project Sponsor will submit paint draw downs, or paint chips, keyed to exterior elevation drawings for review and approval by Preservation Planning staff.
7. That the Project Sponsor install an interpretive plaque on exterior of building. The Project Sponsor will work with Preservation Planning staff to determine appropriate location, size, material, and content for the plaque with detail for same to be included in the Building Permit plan set for reference.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the landmark as described in the designation report.

- The proposal is compatible with, and respects, the character-defining features of the contributing resource and Landmark District.
- The proposed work will not damage or destroy distinguishing original qualities or character of the contributing resource or Landmark District.

- The proposed project will not remove distinctive materials nor irreversibly alter features, spaces, or spatial relationships that characterize the contributing resource or Landmark District.
- That proposed new windows and storefronts will have a contemporary design that is compatible with the character of the contributing resource and Landmark District.
- If the proposed alterations are removed in the future, the essential form and integrity of the contributing resource and Landmark District will remain intact.
- The proposed project meets the following *Secretary of the Interior's Standards for Rehabilitation*:

Standard 1.

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3.

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of Northeast Waterfront Landmark District for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will have no effect on neighborhood-serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will have no effect on housing and will strengthen neighborhood character by respecting the character-defining features of the contributing resource and Landmark District in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not impact the affordable housing supply.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed will not have any impact on industrial and service sector jobs. No office development is proposed as part of the project.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is improved by the proposed work. All construction will be executed in compliance with all applicable construction and safety measures.

- G) That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards for Rehabilitation.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the *Secretary of Interior's Standards for Rehabilitation*, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS WITH CONDITIONS** a Certificate of Appropriateness for the property located at Lot 009 in Assessor's Block 0135 for proposed work in conformance with the conceptual architectural plans dated March 18, 2015 and labeled Exhibit A on file in the docket for Case No. 2014-001006COA.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.135).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on April 1, 2015.

Jonas P. Ionin
Commission Secretary

AYES: Commissioners Hasz, Hyland, Johnck, Johns, Matsuda, Pearlman, and Wolfram

NAYS: None

ABSENT: None

ADOPTED: April 1, 2015

Exhibit “D”

Public Transit Map



ABBREVIATIONS	SYMBOLS
& AND > GREATER THAN < LESS THAN CHANNEL ~ PROPERTY LINE ∠ ANGLE // PARALLEL ⊥ PERPENDICULAR CL CENTERLINE ∅ DIAMETER @ AT # POUND OR NUMBER (E) EXISTING (N) NEW (R) REMOVE ABV. ABOVE A.C.B. ACOUSTICAL BOARD A.C.P. ACOUSTICAL PANEL ACQUIS. ACOUSTICAL TILE A.C.T. AREA D A.D. RAIN ADJ. ADJUSTABLE A.F. ACCESS FLOORING A.F.F. ABOVE FINISHED FLOOR AGGR. AGGREGATE AL. ALUMINUM APPROX. APPROXIMATE ARCH. ARCHITECTURAL ASB. ASBESTOS ASPH. ASPHALT A.F.F. ABOVE FINISHED FLOOR B.B. BULLETIN BOARD B.D. BOARD BITUM. BITUMINOUS B.K.P. BACKING PLATE BLDG. BUILDING BM. BEAM BOT. O.D. BOTTOM BOTTOM OF B.P. BLIND POCKET CAB. CABINET C.B. CATCH BASIN C.D. CONSTRUCTION DOCUMENT CEM. CEMENT CER. CERAMIC C.G. CORNER GUARD C.I. CAST IRON C.J. CONTROL JOINT C.L.G. CEILING CLK.G. CAULKING C.L.O. CLOSET CL.R. CLEAR C.M.U. CONCRETE MASONRY UNIT C.O. CASED OPENING COL. COLUMN CONC. CONCRETE CONF. CONFERENCE CONN. CONNECTION CONSTR. CONSTRUCTION CONT. CONTINUOUS CORR. CORRUGATOR CPT. CARPET CNT.R. COUNTERSUNK C.N.T.R. COUNTER C.T. CERAMIC TILE CTR. CENTER DBL. DOUBLE DEPT. DEPARTMENT D.F. DRINKING FOUNTAIN DET. DETAIL DIA. DIAMETER DIM. DIMENSION DISP. DISPENSER DN. DOWN D.O. DOOR OPENING DOOR DR.W. DRAWER D.S. DOWNSPOUT D.S.P. DRY STANDPIPE DWG. DRAWING (E) EXISTING E. EAST E.A. EACH E.J. EXPANSION JOINT EL. ELEVATION ELEC. ELECTRICAL ELEV. ELEVATION EMER. EMERGENCY ENCL. ENCLOSURE E.P. ELECTRICAL PANEL/LOAD EQ. EQUAL EQPT. EQUIPMENT E.W.C. ELECTRICAL WATER COOLER EXPO. EXPOSED EXP. EXPANSION EXT. EXTERIOR F.A. FIRE ALARM F.B. FLAT BAR F.D. FLOOR DRAIN FDN. FOUNDATION F.E.C. FIRE EXTINGUISHER F.H.C. FIRE EXTINGUISHER CABINET F.H. FLAT HEAD FIN. FINISH FL. FLOOR FLASH. FLASHING FLUOR. FLUORESCENT F.O.C. FACE OF CONCRETE F.O.F. FACE OF FINISH F.F.P. FACE OF STUDS FIREPROOF FRS. FULL SIZE FT. FOOT OR FEET FTG. FOOTING FURR. FURRING FUT. FUTURE G.A. GAUGE GALV. GALVANIZED G.L. GRID LINE G.B. GRAB BAR GL. GLASS GND. GROUND GR. GROUND GYP. GYPSUM G.W.B. GYPSUM WALL BOARD G.S.M. GALVANIZED SHEET METAL H.B. HOSE BIBB H.C. HOLLOW CORE H.D. HAND DRYER HANDICAPPED HDW. HARDWOOD HOWE. HARDWARE H.M. HOLLOW METAL HORIZ. HORIZONTAL H.P. HIGH POINT HR. HOUR HG.T./HT. HEIGHT ID INSIDE DIAMETER I.E. INVERT ELEVATION INFO. INFORMATION INSUL. INSULATION INT. INTERIOR INV. INVERT JAN. JANITOR J.B. JUNCTION BOX J.O.H. JAMB OPENING HEIGHT J.W. JAMB WIDTH J.T. JOINT KIT. KITCHEN L.A.B. LABORATORY L.A.M. LAMINATE LAV. LAVATORY L.K.R. LOCKER L.P. LOW POINT LIGHT L.W.C. LIQUID WRITING CHALKBOARD MAX. MAXIMUM M.B. METAL BOLT M.C. MEDICINE CABINET M.D.F. MEDIUM DENSITY FIBER BOARD M.D.O. MEDIUM DENSITY OVERLAY MECH. MECHANICAL MEMB. MEMBRANE MTL. METAL MFR. MANUFACTURER MH. MANHOLE MIN. MINIMUM MNR. MIRROR MISC. MISCELLANEOUS M.L. MODULE LINE M.O. MASONRY OPENING M.P. MIDPOINT M.S. MACHINE SCREW MTD. MOUNTED MULL. MULLION MTL. METAL (N) NEW N. NORTH N.A. NOT APPLICABLE NC. NO CHANGE N.I.C. NOT IN CONTRACT NO. NUMBER NOM. NOMINAL N.T.S. NOT TO SCALE O.A. OVERALL OBS. OBSCURE O.C. ON CENTER O.C.D. OVERHEAD COILING DOR O.C.G. OVERHEAD COILING GRILLE O.E. OUTSIDE DIMETER (DIM.) O.F.C.I. OWNER FURNISHED, CONTRACTOR INSTALLED O.F.D. OVERFLOW DRAIN OFF. OFFICE O.F.O.I. OWNER FURNISHED, OWNER INSTALLED OH. OPPOSITE HAND OPNG. OPENING OPP. OPPOSITE PR.CST. PRE-CAST PH. PHASE PL. PLATE P.L.A.M. PLASTIC LAMINATE PLASTER PLY.WD. PLYWOOD PORTLAND CEMENT PLASTER POL. POLISHED PR. PAIR P.S.A. PRESSURE SENSITIVE ADDITIVE POINT OR PAINT PARTICLE BOARD PAPER TOWEL DISPENSER PAPER DISPENSER & RECEPTACLE UNIT P.T.D./R. P.T.D.B. P.T.R. PARTITION PARTITION PAPER TOWEL RECEPTACLE PTN P.T.R. QT. QUARRY TILE (R) RELOCATED R. RISER RAD. RADIUS R.C.P. REFLECTED CEILING PLAN R.D. ROOF DRAIN REF. REFERENCE REFR. REFRIGERATOR RGTR. REGISTER REIN. REINFORCED REQ./ROD. REQUIRED RESIL. RESILIENT RM. ROOM R.O. ROUGH OPENING R.W.D. REDWOOD R.W.L. RAIN WATER LEADER REFL. REFLECTED REFER. REFER TO REVER. REVERSED S.A.D. SEE ARCH. DRAWINGS S. SOUTH S.C. SOLID CORE S.C.D. SEAT COVER DISPENSER SCHED. SCHEDULE S.D. SOAP DISPENSER SECT. SECTION SH. SHELF SHW. SHOWER SHT. SHEET SIM. SIMILAR S.J. SCORE JOINT S.L.D. SEE LANDSCAPING DRAWINGS S.M. SHEET METAL S.N.D. SANITARY NAPKIN DISPENSER S.N.R. SANITARY NAPKIN RECEPTACLE SPEC. SPECIFICATION S.O. SQUARE S.S.D. SEE STRUCTURAL DRAWINGS S.S.T. STAINLESS STEEL S.S.K. SERVICE SINK STD. STATION STD. STANDARD STL. STEEL STOR. STORAGE STR. STRUCTURAL SELF TAPPING SCREW SUSP. SUSPENDED SYM. SYMMETRICAL T.B.D. TO BE DETERMINED T.B.R. TO BE REMOVED TRD. TREAD T.B. TOWEL BAR T.C. TOP OF CURB TEL. TELEPHONE TERR. TERRAZZO T&G. TONGUE AND GROOVE THK. THICK T.I.S. TENANT IMPROVEMENT STANDARD T.P. TOP OF PAVEMENT T.P.D. TOILET PAPER DISPENSER TELV. TELEVISION T.W. TOP OF WALL TYP. TYPICAL UNF. UNFINISHED UNLESS OTHERWISE NOTED UR. URINAL VERT. VERTICAL VEST. VESTIBULE V.I.F. VERIFY IN FIELD VENT THROUGH ROOF W. WEST W/ WITH W.C. WATER CLOSET WD. WOOD W.O. WINDOW OPENING W/O. WITHOUT WP. WATERPROOF W.P. WORK POINT W.S. WOOD SCREW WSC.T. WAINSCOT WT. WEIGHT	GRID LINE REVISION WINDOW TYPE DOOR NUMBER DETAIL REFERENCE ELEVATION INTERIOR ELEVATION SECTION CUT ROOM NAME ROOM NUMBER CUT LINE CENTER LINE PROPERTY LINE SPOT ELEVATION EXISTING WALL, TO BE DEMOLISHED EXISTING WALL, TO REMAIN NEW 3" METAL STUD WALL NEW 6" METAL STUD WALL NEW 12" PLUMBING WALL NEW FURRED OUT WALL NEW 1-HOUR RATED WALL WALL TYPE TAG DIMENSION TYPES FACE OF STUD CENTERLINE FACE OF FINISH

GENERAL NOTES TO THE CONTRACTORS

1. **EXAMINATION OF THE SITE** AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE IMMEDIATELY BY THE CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. CONTRACTOR SHALL VERIFY IN FIELD ALL DIMENSIONS BEFORE PROCEEDING WITH THE ORDERING OF MATERIALS. HE SHALL AT SUCH TIME ASCERTAIN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES AND EQUIPMENT WHICH MAY AFFECT HIS WORK, NO ALLOWANCE SHALL BE MADE FOR ANY EXTRA EXPENSE TO WHICH HE MAY BE DUE BECAUSE OF FAILURE OR NEGLECT ON HIS PART TO MAKE SUCH EXAMINATIONS, ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
2. **ANY ERRORS, OMISSIONS, OR CONFLICTS** FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.
3. WHERE REFERENCED IN NOTES, **ARCHITECT OR DESIGNER SHALL BE HOLLY HULBURD DESIGN.**
4. **CONTRACTOR SHALL PROVIDE ARCHITECT AND OWNER** WITH A COMPLETE COST BREAKDOWN AND SCHEDULE OF CONSTRUCTION FOR THIS PROJECT PRIOR TO COMMENCEMENT OF WORK.
5. **CONTRACTOR SHALL PROTECT** NEW MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQ. TO PROTECT THE PUBLIC AS REQUIRED DURING THE PERIOD OF CONSTRUCTION, DAMAGE TO NEW MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED. CONTRACTOR SHALL COORDINATE BARRICADES WITH ARCHITECT AND/OR OWNER PRIOR TO COMMENCEMENT OF WORK.
6. **ALL CONSTRUCTION WORK:** ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, ETC., SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF ALL GOVERNING CODES AND REGULATIONS AS ADOPTED BY THE CITY OF SAN FRANCISCO. ALL WORK SHALL BE DONE IN A THOROUGH, WORKMANLIKE MANNER AND EQUAL TO THE BEST STANDARDS OF THE PRACTICE. CONSTRUCTION MEANS AND METHODS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
7. **ALL WORK LISTED** SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR EXCEPT WHERE NOTED, THE CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURERS REQUIREMENTS. WORK REQUIRED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, ETC., NECESSARY TO COMPLETE THIS PROJECT. ALL MATERIALS SHALL BE NEW AND UNUSED, UNLESS SPECIFICALLY NOTED, AND BE OF A QUALITY ACCEPTABLE BY INDUSTRY STANDARDS.
8. **THE USE OF THE WORD "PROVIDE"** IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH ITEM SHALL BE FURNISHED, INSTALLED, AND CONNECTED WHERE SO REQUIRED, EXCEPT AS NOTED.
9. **THE CONTRACTOR** SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. THE CONTRACTOR, IN ASSUMING RESPONSIBILITY FOR THE WORK INDICATED, SHALL COMPLY WITH THE LETTER IN WHICH THEY WERE DRAWN.
10. **THE CONTRACTOR** SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE.
11. **THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN INTENT AND GENERAL TYPE OF CONSTRUCTION DESIRED**, EACH SHEET OF THE CONSTRUCTION DOCUMENTS IS COMPLEMENTARY. WHAT IS SHOWN ON / REFERRED TO ON EA. SHEET AT A GIVEN LOCATION, SHALL BE PROVIDED AS THOUGH SHOWN ON ALL SHEETS, U.O.N.
12. **DETAILS SHOWN ARE TYP. U.O.N.** SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
13. **ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK** AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE STATE FIRE MARSHALL, THE SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY, AND ANY APPLICABLE STATE OR LOCAL LAWS AND ORDINANCE, NOTHING ON THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES. ANY QUESTIONS REGARDING INSTALLATIONS SHALL BE BROUGHT TO THE DESIGNER FOR CLARIFICATION.
14. **INSTALL BATT INSULATION** BETWEEN STUDS & JOISTS AT EXTERIOR WALLS WHERE EXPOSED.
15. **ALL DIMENSIONS** ON CONSTRUCTION DRAWINGS ARE TO FACE OF FINISH. DIMENSIONS ARE TO BOTTOM OF FINISHED CEILING OR TOP OF FINISHED FLOOR IN SECTION OR ELEVATION U.O.N.
16. **ALL DIMENSIONS** TAKE PRECEDENCE OVER SCALE. ANY DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR SHALL NOT SCALE DRAWINGS. QUESTIONS REGARDING DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY START OF WORK.
17. **WINDOW AND DOOR SIZES** ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER FOR ACTUAL ROUGH OPENING SIZES.
18. WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED THEY SHALL BE CENTERED ON THE WALL OR PLACED TWO STUD WIDTHS FROM ADJACENT WALL AS INDICATED ON THE DRAWINGS.
19. **ALL CHANGES IN FLOOR MATERIALS** OCCUR AT THE SWING SIDE OF DOOR OR FRAMED OPENING UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
20. **SEALANT, CAULKING, AND FLASHING**, ETC., LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.
21. **PROVIDE SOLID WOOD BACKING** FOR ALL SURFACE MOUNTED ACCESSORIES.
22. **ALL WORK SHALL BE GUARANTEED** AGAINST DEFECTS IN DESIGN, INSTALLATION AND MATERIAL FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION.
23. ALL MATERIALS FOR USE ON THE PROJECT SHALL BE STORED WITHIN THE PROJECT SITE. SITE SHALL BE SECURE AND LOCKABLE DURING CONSTRUCTION.
24. **CONTRACTOR SHALL** PERSONALLY SUPERVISE AND DIRECT THE WORK OR SHALL KEEP A COMPETENT EMPLOYEE, AUTHORIZED TO RECEIVE INSTRUCTIONS AND ACT ON THE CONTRACTOR'S BEHALF, CONTINUOUSLY ON SITE DURING WORKING HOURS.
25. **ALL QUESTIONS** REGARDING PROJECT EITHER DURING PRICING, THE BIDDING PHASE OR DURING CONSTRUCTION SHALL BE DIRECTED TO THE ARCHITECT IN WRITING. HOLLY HULBURD DESIGN, 375 ALABAMA STREET, SUITE 240, SF, CA 94110.
26. **DEMOLITION:** THE CONTRACTOR SHALL ENTIRELY DEMOLISH AND REMOVE FROM SITE ANY STRUCTURE OR PORTION THEREOF INDICATED TO BE REMOVED.
27. **SALVAGE:** ALL ITEMS DEEMED SALVAGEABLE SHALL REMAIN THE PROPERTY OF THE OWNER AND ARE EITHER INDICATED ON THE DRAWINGS, REMOVED PRIOR TO THE START OF DEMOLITION, OR WILL BE STORED BY THE CONTRACTOR AT THE OWNER'S DIRECTION. ITEMS TO BE RELOCATED ARE INDICATED ON THE DRAWINGS.
28. CONTRACTOR SHALL PATCH AND REPAIR ALL FIREPROOFING DAMAGED DURING CONSTRUCTION/DEMOLITION.FIRE-PROOF ALL FLOOR PENETRATIONS AS REQ. BY CODE.
29. **ALL DIMENSIONS** ARE TO FINISH FACE OF MASONRY, FACE OF CONCRETE, CENTERLINE OF STEEL, FACE OF MILLWORK, OR FIXTURES, UNLESS OTHERWISE NOTED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL, UNLESS NOTED AS "+/-". VERIFY DIMENSIONS MARKED "+/-" PRIOR TO COMMENCEMENT OF CONSTRUCTION AND NOTIFY ARCHITECT OF ANY INCONSISTENCIES. CONTRACTOR SHALL VERIFY ROUGH OPENING REQUIREMENTS WITH MANUFACTURER'S UNIT DIMENSIONS. ALL DIMENSIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION AND INSTALLATION OF ANY AND ALL FABRICATED UNITS, FIXTURES AND APPLIANCES.
30. AIA DOCUMENT 201, GENERAL CONDITIONS FOR THE PERFORMANCE OF A CONTRACT, SHALL BE INCORPORATED INTO THESE DOCUMENTS AND CONSIDERED AS PART OF THE REQUIREMENTS OF THE WORK.
31. **THE CONTRACTOR SHALL MAINTAIN ALL EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS** IN CONFORMANCE TO ALL APPLICABLE CODES, BUILDING RULES AND TO THE SATISFACTION OF THE FIRE MARSHALL.
32. **CONTRACTOR SHALL** CONFIRM DELIVERY DATES OF ALL MATERIALS REQ. BY CONTRACT DOCUMENTS AND NOTIFY THE DESIGNER IN WRITING OF ANY POSSIBLE DELAYS WITHIN 10 DAYS OF THE CONTRACT DATE.
33. THE CONTRACTOR SHALL NOT BE RELIEVED OF ANY CONTRACT RESPONSIBILITY RESULTING FROM THE ARCHITECT'S FAILURE TO DETECT SHOP DRAWING ERRORS OR OMISSIONS THAT CONFLICT WITH THE CONTRACT DOCUMENTS.
34. NOTIFY ARCHITECT OF ANY HAZARDOUS MATERIALS & HANDLE AS PER LAW.
35. **PROJECT CLOSEOUT:**
A. CONTRACTOR SHALL REVIEW PROJECT WITH ARCHITECT/OWNER TO ENSURE THAT ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS HAVE BEEN FOLLOWED.
B. CONTRACTOR SHALL OBTAIN ALL REQUIRED CERTIFICATES AND NOTICES.
C. ALL WORK PERFORMED SHALL BE CLEAN AND READY FOR USE.
D. UPON SUBSTANTIAL COMPLETION, THE ARCHITECT SHALL, AT THE CONTRACTOR'S WRITTEN REQUEST, REVIEW A PROJECT PUNCH LIST NOTING ANY CORRECTIONS OR OMISSIONS. DESIGNER'S ACCEPTANCE WILL BE CAUSE FOR FINAL PAYMENT, UNLESS SPECIFICALLY DETERMINED OTHERWISE BY OWNER.

PROJECT VICINITY MAP	CONSULTANTS
	OWNER: 1088 SANSOME ST LLC, TEL: 415,242,1994
	ARCHITECT: LEVY ART + ARCHITECTURE 151 POTRERO AVE, STE 200 SAN FRANCISCO CA 94103 www.levyaa.com TEL: 415.641.7320
	ROSS LEVY, PRINCIPAL ross@levyaa.com
	MICHAEL AGENO, PROJECT MANAGER michael@levyaa.com
	CONTRACTOR: BRENNAN STRONGHOLD CONSTRUCTION 2 VAN BUREN SAN FRANCISCO CA 94131 TEL: 415,269,1785 COLM BRENNAN, PROJECT MANAGER colmbrennan99@gmail.com
	STRUCTURAL ENGINEER: MURPHYBURR CURRY, INC CONSULTING STRUCTURAL ENGINEERS 85 SECOND ST, SUITE 501 SAN FRANCISCO CA 94105 TEL: 415,546,0431

PROJECT DATA

PROJECT ADDRESS:
1088-1090 SANSOME ST SAN FRANCISCO, CA 94111

BUILDING AND ZONING DATA:
BLOCK/LOT: 0135/009
ZONE 1 C-2
PARCEL AREA: 15,386.25 S.F.
HEIGHT AND BULK DISTRICT: 65-X
CONSTRUCTION TYPE: 2A PROTECTED NON-COMBUSTIBLE
ZONING DISTRICT: C-2 COMMUNITY BUSINESS
OCCUPANCY: B-OFFICE
SPECIAL USE DISTRICT: WATERFRONT 3
SPRINKLER SYSTEM: PROVIDED
NUMBER OF STORIES: 4
OVERALL BUILDING HEIGHT: (NO CHANGE TO EXISTING)

BUILDING AREA (GROSS SQUARE FOOTAGE):

	EXISTING	NEW
SUB-BASEMENT	1,445 S.F.	1,445 S.F. (NC)
BASEMENT	15,383 S.F.	15,383 S.F. (NC)
1ST FLR	14,000 S.F.	14,000 S.F. (NC)
2ND FLR	15,105 S.F.	15,105 S.F. (NC)
3RD FLR	13,552 S.F.	13,552 S.F. (NC)
PENTHOUSE FLR	3,803 S.F.	3,803 S.F. (NC)
TOTAL	63,288 S.F.	63,288 S.F. (NC)

OCCUPIABLE AREA (NET):

SUB-BASEMENT	0 SQ. FT.
BASEMENT	9,445.3 S.F.
FIRST FLOOR	8,027.3 S.F.
SECOND FLOOR	11,520.1 S.F.
THIRD FLOOR	9,902.3 S.F.
PENTHOUSE FLOOR	2,289.5 S.F.
TOTAL OCCUPIABLE AREA	41,184.2 S.F.

DESCRIPTION OF WORK:
1. REPAIR AND/OR REPLACE DOORS AND WINDOWS AT PENTHOUSE LEVEL.
2. NO OCCUPIABLE SPACE IS BEING ADDED.
3. NO WORK TO SIDEWALK SPACE.
4. WORK TO IMPROVE STAIRS, ENVELOPE, ACCESS AND RESTROOMS ADDRESSED UNDER PERMIT 2016-0211-9364
5. ADD BIKE PARKING PER SF PLANNING CODE TO BASEMENT AND FIRST LEVEL.

CODES:
2013 CALIFORNIA BUILDING CODE
2013 GREEN BUILDING CODE

2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA ENERGY CODE

DRAWING INDEX

ARCHITECTURAL

A0.0 COVER SHEET
A0.0A HISTORIC PRESERVATION COMMISSION MOTION NO. 0253
A0.6 SITE PLAN
A0.7 GROSS FLOOR AREAS
A1.4 EXISTING / DEMO PENTHOUSE FLOOR PLAN
A2.0 PROPOSED SUB-BASEMENT AND BASEMENT PLAN
A2.1 PROPOSED FIRST FLOOR PLAN
A2.2 PROPOSED SECOND FLOOR PLAN
A2.3 PROPOSED THIRD FLOOR PLAN
A2.4 PROPOSED PENTHOUSE FLOOR PLAN
A3.1 EXISTING EXTERIOR ELEVATIONS
A3.2 EXISTING / DEMO PENTHOUSE EXTERIOR ELEVATIONS
A3.4 PROPOSED PENTHOUSE EXTERIOR ELEVATIONS
A4.1 BUILDING SECTIONS
A4.2 BUILDING SECTIONS

REVISIONS

BY

LEVY

ART + ARCHITECTURE

151 POTRERO AVE. STE 200
SAN FRANCISCO, CA 94103

415.641.7320
levyaa.com

LICENSED ARCHITECT
ROSS H. LEVY
C 25660
15/17
REN DATE
STATE OF CALIFORNIA

OFFICE ALLOCATION
1088 SANSOME ST
SAN FRANCISCO, CA 94111
BLOCK #1035 LOT #009

DESCRIPTION

COVER SHEET

DATE05.21.2016

SCALEAS NOTED

DRAWNHH

JOB SANSOME

SHEET

A0.0



SAN FRANCISCO
PLANNING DEPARTMENT

Historic Preservation Commission
Motion No. 0253
HEARING DATE: APRIL 1, 2015

Filing Date: November 5, 2014
Case No.: 2014-00106COA
Project Address: 1088 SANSOME STREET
Historic Landmark: Northeast Waterfront Landmark District
Zoning: C-2 (Community Business) District
Waterfront Special Use District, subarea #1
Northeast Waterfront Special Sign District
0135 / 009

Block/Lot: 1317 / 009
Applicant: Daniel Kuncmann
Huntman Architecture
50 California Street, 7th floor
San Francisco, CA 94111
Pilar LaValley - (415) 575-9684
pilar.lavalley@hga.com

Staff Contact: Tim Frye - (415) 575-6822
tim.frye@sfgov.org

1650 Mission St.
Suite 400
San Francisco, CA 94103-2479
Phone: 415.558.6378
Fax: 415.558.6809
Planning
Instructor
415.558.6377

ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 009 IN ASSESSOR'S BLOCK 0135, WITHIN A C-2 (COMMUNITY BUSINESS) ZONING DISTRICT, WATERFRONT SPECIAL USE DISTRICT, SUBAREA #1, NORTHEAST WATERFRONT SPECIAL SIGN DISTRICT, A 65-X HEIGHT AND BULK DISTRICT, AND THE NORTHEAST WATERFRONT LANDMARK DISTRICT.

PREAMBLE

WHEREAS, on November 5, 2014, Daniel Kuncmann of Huntman Architectural Group ("Project Sponsor") filed an application with the San Francisco Planning Department ("Department") for a Certificate of Appropriateness for exterior alterations, on the subject property located on Lot 009 in Assessor's Block 0135.

Specifically, the proposal includes:

- Replacement of non-historic aluminum slider sash windows with new aluminum windows (Wausau, 3250-H Series Heritage) with a powder-coated finish (Dark Grey). Majority of new window sash will have a four-lite configuration with lower portion of sash having awning

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Motion No. 0253
Hearing Date: April 1, 2015
CASE NO 2014-00106COA
1088 Sansome Street: Northeast Waterfront

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore fulfills these policies and objectives by maintaining and preserving the character-defining features of Northeast Waterfront Landmark District for the future enjoyment and education of San Francisco residents and visitors.

- The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

SAN FRANCISCO
PLANNING DEPARTMENT

5

Motion No. 0253
Hearing Date: April 1, 2015

CASE NO 2014-00106COA
1088 Sansome Street: Northeast Waterfront

operation. Smaller window openings will have two- or one-lite configuration and awning operation. The configuration of new sash is based on a historic elevation drawing from unknown date and one extant original window.

- Removal of original concrete panels between vertical concrete piers on 2nd through 4th floors on Green Street facade and installation of windows in new openings. The sash in these new openings will match that installed in the existing openings.
- Replacement of non-historic metal and glass storefront system in the existing ground floor entrance on Sansome Street. New metal and glass storefront system (Wausau) will have powder-coated finish (Dark Grey).
- Removal of concrete infill within two ground floor bays on the Green Street facade and installation of new metal and glass entry doors and sidelights. New metal and glass storefront system (Wausau) will have powder-coated finish (Dark Grey).
- Removal of metal roll-up doors (one at each facade) and installation of new metal and glass storefront system in existing openings. New metal and glass storefront system (Wausau) will have powder-coated finish (Dark Grey).
- Removal of concrete and brick infill over full height of one bay on the Sansome Street facade. Within this bay, new spandrels will be installed to match existing and a metal and glass storefront system will be added at ground floor. At the upper floors, large eight-light windows will be installed in the restored openings.
- Existing concrete cladding will be repaired or restored as needed with portions of several partially removed spandrel panels replaced in-kind. The facades will be repainted.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on April 1, 2015, the Commission conducted a duly noticed public hearing on the current project, Case No. 2014-00106COA ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby APPROVES WITH CONDITIONS the Certificate of Appropriateness, in conformance with the conceptual architectural plans dated March 18, 2015 and labeled Exhibit A on file in the docket for Case No. 2014-00106COA based on the conditions and findings listed below.

SAN FRANCISCO
PLANNING DEPARTMENT

2

Motion No. 0253
Hearing Date: April 1, 2015

CASE NO 2014-00106COA
1088 Sansome Street: Northeast Waterfront

- The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project will have no effect on neighborhood-serving retail uses.

- The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will have no effect on housing and will strengthen neighborhood character by respecting the character-defining features of the contributing resource and Landmark District in conformance with the Secretary of the Interior's Standards.

- The City's supply of affordable housing will be preserved and enhanced:

The project will not impact the affordable housing supply.

- The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or encumbering the streets or neighborhood parking.

- A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed project will not have any impact on industrial and service sector jobs. No office development is proposed as part of the project.

- The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Preparedness against injury and loss of life in an earthquake is improved by the proposed work. All construction will be executed in compliance with all applicable construction and safety measures.

- That landmark and historic buildings will be preserved:

The proposed project is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards for Rehabilitation.

- Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

SAN FRANCISCO
PLANNING DEPARTMENT

6

Motion No. 0253
Hearing Date: April 1, 2015

CASE NO 2014-00106COA
1088 Sansome Street: Northeast Waterfront

CONDITIONS OF APPROVAL

Upon completion of construction drawings, the following shall be submitted to Planning Department Preservation Staff for review and approval:

- That documentation of an existing concrete panel is undertaken prior to removal. Documentation will include photographs and a dimensioned plan and section(s). This information should be included in the Building Permit plans for reference.
- That the window sash installed in place of the concrete panels sit in same plane as existing solid panels in order to differentiate new openings from existing.
- That final window details or window mock-ups be provided to Preservation Planning staff for review and approval.
- That the project sponsor prepare mock-ups of the spandrel reconstruction, particularly the finish, for on-site review and approval by Preservation Planning staff.
- That the ground floor bay, three bays in from the north end of the Sansome Street facade, be retained in its current configuration with exception of installation of replacement window sash. This bay appears to have formerly served as a raised loading dock and reconstruction of concrete spandrel and vertical pier as well as new window openings to match adjacent bays would not be appropriate as they are not features that historically occupied this bay of the building.
- That staff will work with Project Sponsor to ensure that new paint colors are consistent with the characteristic exterior palette of the District. The Project Sponsor will submit paint draw downs, or paint chips, keyed to exterior elevation drawings for review and approval by Preservation Planning staff.
- That the Project Sponsor install an interpretive plaque on exterior of building. The Project Sponsor will work with Preservation Planning staff to determine appropriate location, size, material, and content for the plaque with detail for same to be included in the Building Permit plan set for reference.

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

- The above recitals are accurate and also constitute findings of the Commission.
- Findings pursuant to Article 10

The Historic Preservation Commission has determined that the proposed work is compatible with the character of the landmark as described in the designation report.

- The proposal is compatible with, and respects, the character-defining features of the contributing resource and Landmark District.
- The proposed work will not damage or destroy distinguishing original qualities or character of the contributing resource or Landmark District.

SAN FRANCISCO
PLANNING DEPARTMENT

3

Motion No. 0253
Hearing Date: April 1, 2015

CASE NO 2014-00106COA
1088 Sansome Street: Northeast Waterfront

- For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

SAN FRANCISCO
PLANNING DEPARTMENT

7

Motion No. 0253
Hearing Date: April 1, 2015

CASE NO 2014-00106COA
1088 Sansome Street: Northeast Waterfront

- The proposed project will not remove distinctive materials not irreversibly alter features, spaces, or spatial relationships that characterize the contributing resource or Landmark District.
- That proposed new windows and storefronts will have a contemporary design that is compatible with the character of the contributing resource and Landmark District.
- If the proposed alterations are removed in the future, the essential form and integrity of the contributing resource and Landmark District will remain intact.
- The proposed project meets the following Secretary of the Interior's Standards for Rehabilitation:

Standard 1.
A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2.
The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3.
Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Standard 5.
Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 9.
New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and meaning to protect the integrity of the property and its environment.

Standard 10.
New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

- General Plan Compliance. The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

1. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

SAN FRANCISCO
PLANNING DEPARTMENT

4

Motion No. 0253
Hearing Date: April 1, 2015

CASE NO 2014-00106COA
1088 Sansome Street: Northeast Waterfront

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby GRANTS WITH CONDITIONS A Certificate of Appropriateness for the property located at Lot 009 in Assessor's Block 0135 for proposed work in conformance with the conceptual architectural plans dated March 18, 2015 and labeled Exhibit A on file in the docket for Case No. 2014-00106COA.

APPEAL AND EFFECTIVE DATE OF MOTION: The Commission's decision on a Certificate of Appropriateness shall be final unless appealed within thirty (30) days. Any appeal shall be made to the Board of Appeals, unless the proposed project requires Board of Supervisors approval or is appealed to the Board of Supervisors as a conditional use, in which case any appeal shall be made to the Board of Supervisors (see Charter Section 4.33b).

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historic Preservation Commission ADOPTED the foregoing Motion on April 1, 2015.

Jens E. Ison
Commission Secretary

AYES: Commissioners Hass, Hyland, Johnson, Johnson, Matsuda, Pearlman, and Wolfman

NAYS: None

ABSENT: None

ADOPTED: April 1, 2015

SAN FRANCISCO
PLANNING DEPARTMENT

8

REVISIONS	BY



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ART + ARCHITECTURE

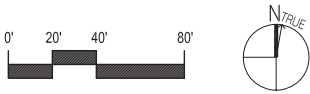
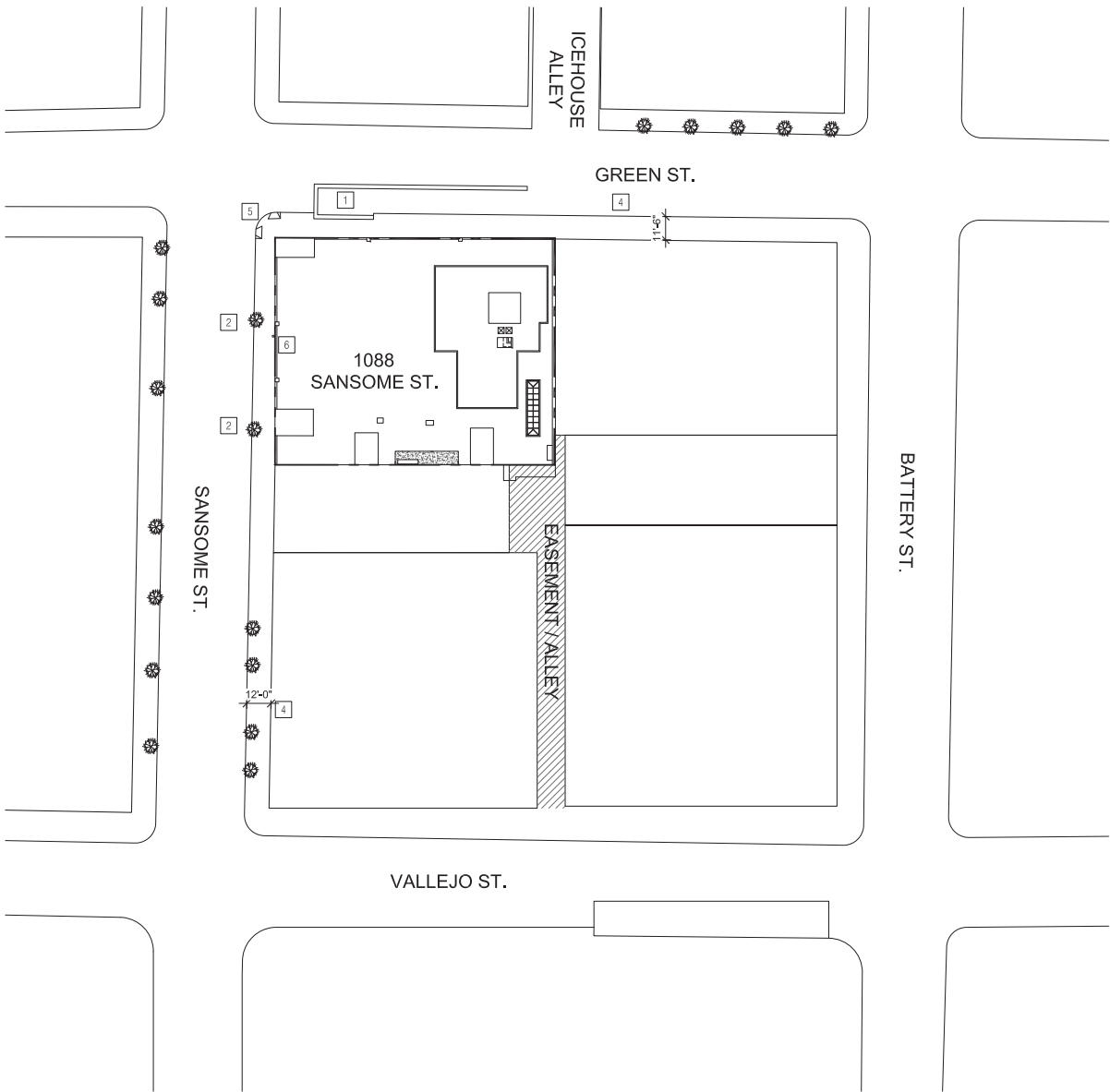
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levyaa.com



OFFICE ALLOCATION
1088 SANSOME ST
SAN FRANCISCO, CA 94111
BLOCK #1035 LOT #009

DESCRIPTION	HISTORIC PRESERVATION #253
DATE	05.27.2016
SCALE	AS NOTED
DRAWN	HH
JOB	SANSOME
SHEET	

A0.0A



EXISTING SITE PLAN
SCALE: 1"=40'-0"

1

GENERAL NOTES

- 1. CONTRACTOR IS TO FIELD COORDINATE ANY AN ALL FINAL DESIGN BASED ON EXISTING CONDITIONS WITH THE ARCHITECT.
- 2. SHOULD ANY MAJOR DIMENSIONAL OR OTHER DISCREPANCIES ARISE ON-SITE, THE ARCHITECT IS TO BE NOTIFIED FOR FURTHER COORDINATION.
- 3. REFERENCE COVER SHEET AND SHEET A0.5 OR WALL CONSTRUCTION TYPES AND PARTITION DETAILS.
- 4. DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF COLUMN, TYPICAL U.O.N.
- 5. PROVIDE 1 HR FIRE RATED SEALANT AT ALL PENETRATIONS.
- 6. CONTRACTOR IS TO COORDINATE ALL MECHANICAL WORK WITH ARCHITECT PRIOR TO PERFORMING ANY WORK.
- 7. TENANT IMPROVEMENTS TO BE SUBMITTED BY OTHERS

PLAN KEY NOTES

- 1 PROVIDE LOUVERED DOOR AT MECHANICAL ROOM
- 2 PROVIDE LOUVERED WINDOW
- 3 DEDICATED SPACE FOR SUPPLY & RETURN AIR DUCTS
- 4 EXISTING STAIR TO REMAIN AND BE USED AS ACCESS BETWEEN MECHANICAL ROOMS. STAIR 3 IS NOT TO BE USED AS A MEANS OF EGRESS, AS IT IS A CONVENIENCE STAIR ONLY
- 5 NEW SKYLIGHT
- 6 PROVIDE 6" ROUND ACCESS DOOR FOR PIPE CLEAN-OUT
- 7 NEW STAIR
- 8 ACCESS TO EASEMENT TO REMAIN
- 9 PROVIDE NEW ELEVATOR SMOKE DOORS @ PASSENGER ELEVATOR
- 10 CAR CONTROLS TO BE UPDATED WITH NEW PANEL, INCLUDING BRAIL MARKINGS. NEW BRAIL MARKINGS ARE TO BE PROVIDED @ ELEVATOR JAMB MARKINGS @ EACH FLOOR
- 11 EXISTING EXIT TO FIRE ESCAPE LADDER AND EASEMENT TO REMAIN
- 12 NO WORK TO BE PERFORMED
- 13 NEW MECHANICAL UNIT
- 14 SEE STRUCTURAL DRAWINGS FOR SLAB INFILL
- 15 EXISTING STAND PIPE
- 16 DOORS TO BE FIRE RATED 1 HR. CONFIRM IN FIELD.
- 17 REPLACE AND REPAIR WINDOWS, SEE ELEVATIONS
- 18 NEW BICYCLE PARKING PER SFPC 155.1: 8 CLASS 1 AND 3 CLASS 2
- 19 NEW GAS METER
- 20 (E) GAS SHUTOFF (EXTERIOR) AND (E) GAS SERVICE RISER (INTERIOR)

LEGEND

REVISIONS	BY



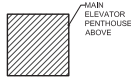
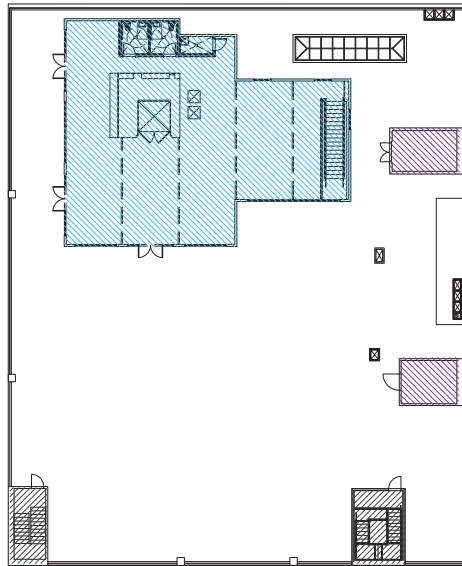
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415.641.7320
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OFFICE ALLOCATION
1088 SANSOME ST
SAN FRANCISCO, CA 94111
BLOCK #1035 LOT #009

DESCRIPTION	
EXISTING SITE PLAN	
DATE	05.27.2016
SCALE	AS NOTED
DRAWN	HH
JOB	SANSOME
SHEET	

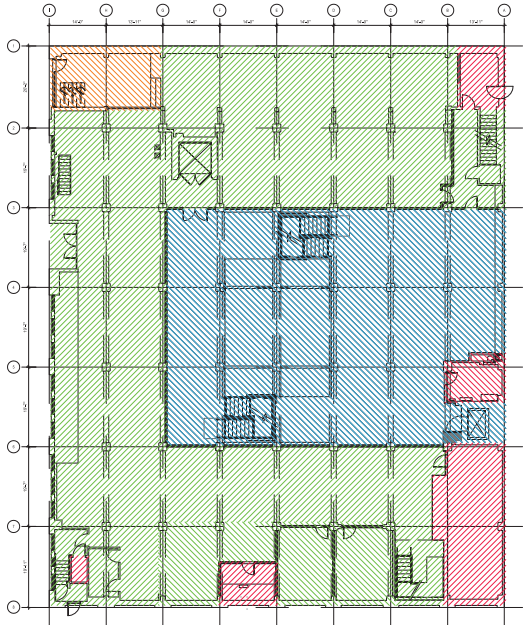
A0.6



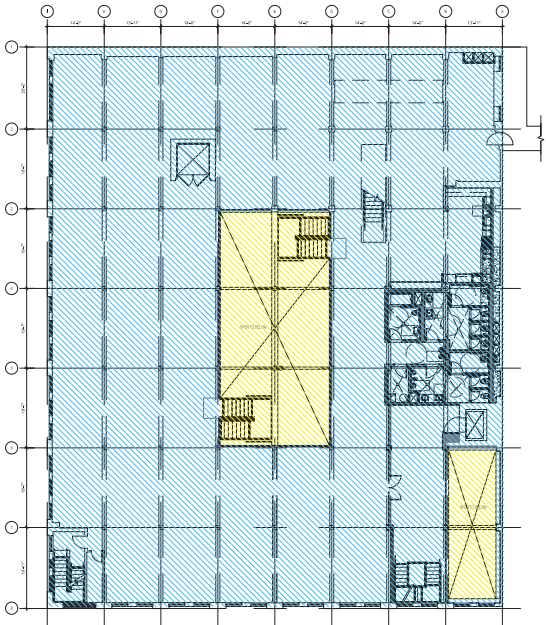
PENTHOUSE PLAN
NTS 6



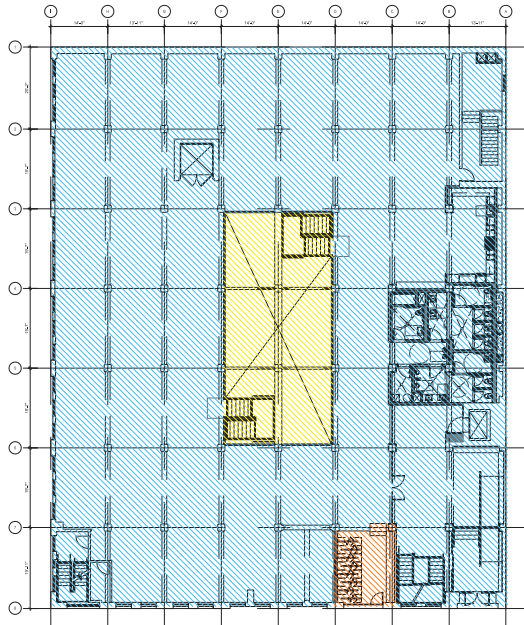
SECOND FLOOR PLAN
NTS 4



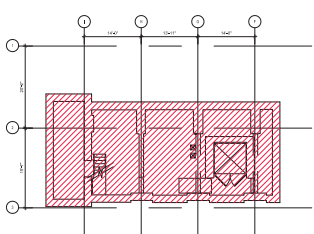
BASEMENT FLOOR PLAN
NTS 2



THIRD FLOOR PLAN
NTS 5



FIRST FLOOR PLAN
NTS 3



SUB-BASEMENT FLOOR PLAN
NTS 1

FLOOR	EXISTING	RETAIL	OFFICE	OPEN	EXEMPTION			
					b1	b2	b3	b8
SUB-BASEMENT	1445	0	0	0	1445	0	0	0
BASEMENT	15383	9109	4642	0	1202	0	0	430
1ST FLOOR	14000	0	13704	1312	0	0	0	296
2ND FLOOR	15105	0	15105	207	0	0	0	0
3RD FLOOR	13552	0	13552	1760	0	0	0	0
PENTHOUSE	3803	0	2811	0	0	363	629	0

TOTAL 63288 9109 49814 3279 2647 363 629 726

FLOOR AREA CALCULATIONS
NTS 0

COLOR CODE

- OFFICE
- RETAIL
- OPEN ATRIUM
- BICYCLE PARKING
- BSMNT BLDG SUPPORT
- NON HABITABLE ATTIC
- ELEV./STAIR PENTHOUSE

EXEMPTIONS

- SFPC SEC 102(b)(1)
Basement and cellar spaces used only for storage or services necessary to the operation of maintenance of the building itself.
- SFPC SEC 102(b)(2)
Attic space not capable of being made into habitable space.
- SFPC SEC 102(b)(3)
Elevator or stair penthouse, accessory water tanks or cooling towers and other mechanical equipment, appurtenances and areas necessary to the operation or maintenance of the building itself, if located at the top of the building or separate there from only other space not included in the gross floor area.
- SFPC SEC 102(b)(8)
Bicycle parking which meets the standards of Section 155.1 through 155.5 of SFPC.

REVISIONS	BY



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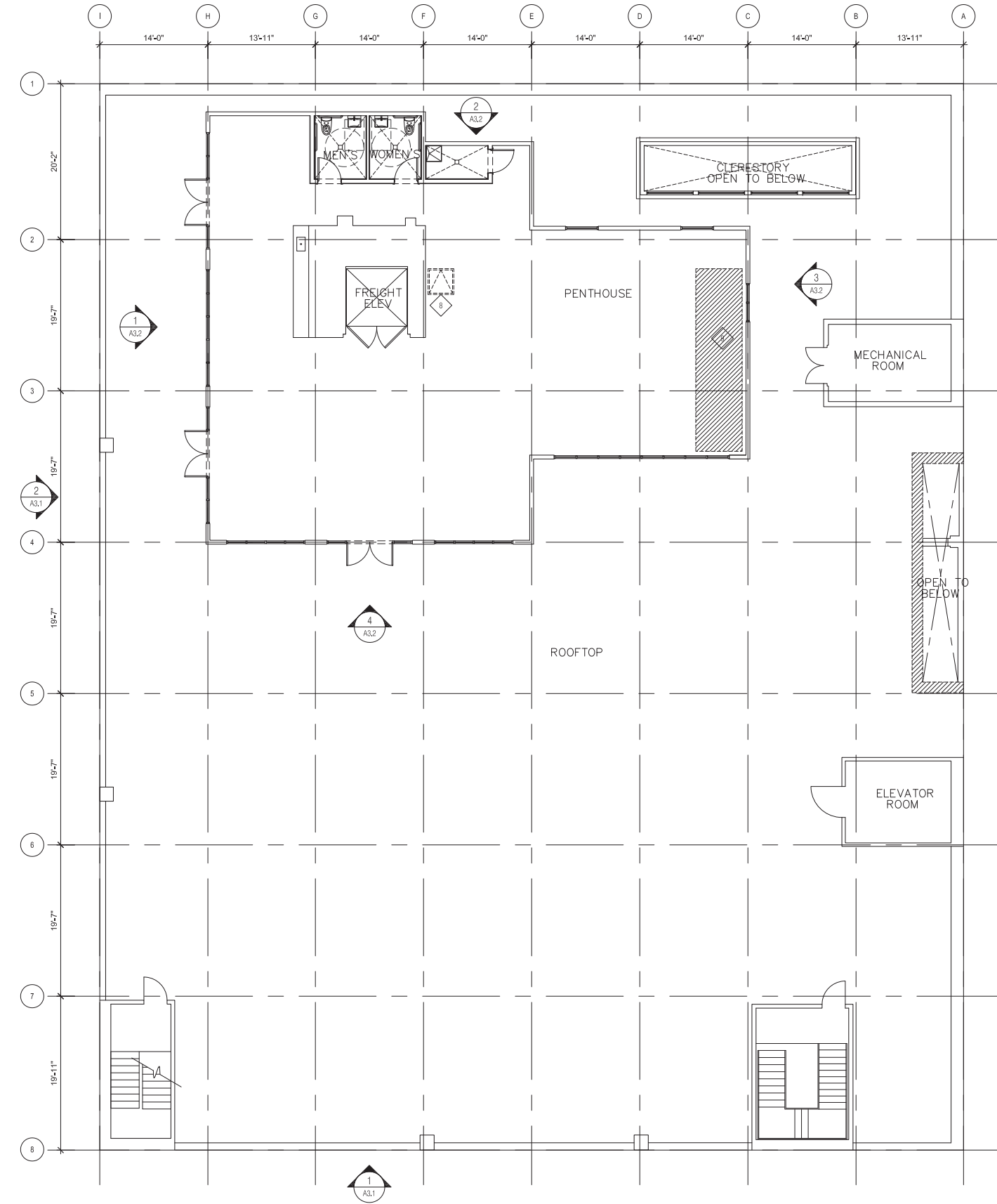
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OFFICE ALLOCATION
1088 SANSOME ST
SAN FRANCISCO, CA 94111
BLOCK #1035 LOT #009

DESCRIPTION	
GROSS FLOOR AREAS	
DATE	05.21.2016
SCALE	AS NOTED
DRAWN	HH
JOB	SANSOME
SHEET	

A0.7



EXISTING/ DEMO PENTHOUSE FLOOR PLAN
SCALE: 1/8" = 1'-0"

1

GENERAL NOTES

1. OBTAIN REQUIRED PERMITS PRIOR FOR DEMOLITION. COORDINATE WORK ACCORDING TO GENERAL REQUIREMENTS.
2. REMOVE OF ALL MATERIALS TO BE DISCARDED FROM SITE. DISPOSE OF ALL MATERIALS ACCORDING TO STATE AND LOCAL REGULATIONS FOR EACH TYPE OF MATERIAL. VERIFY WITH OWNER APPROPRIATE LOCATIONS & ROUTES FOR WASTE REMOVAL & TEMPORARY STORAGE.
3. RECYCLE DISCARDED MATERIALS WHEN POSSIBLE.
4. OWNER TO SPECIFY, AT TIME OF DEMOLITION, WHICH FIXTURES & ACCESSORIES, IF ANY, ARE TO BE SAVED. THE CONTRACTOR IS RESPONSIBLE FOR SAVING ITEMS & HANDING THEM OVER TO THE OWNER.
5. REMOVE & DISPOSE OF INSULATION, ABANDONED PIPING, ABANDONED WIRING, DEBRIS BOXES, ETC., WHETHER THESE ARE SHOWN IN PLANS OR NOT. VERIFY ADJACENT ELEMENTS TO REMAIN.
6. PROTECT ALL SURROUNDING FINISHES PRIOR TO LOCALIZED DEMOLITION WORK. PROVIDE DUST CONTROL FOR PROTECTION OF FINISHES & FIXTURES IN ROOM & ADJACENT AREAS.
7. WHERE SUSPECTED EXISTING HAZARDOUS MATERIALS ARE FOUND, MATERIAL SHALL BE LEFT IN PLACE, AND CONTRACTOR SHALL IMMEDIATELY ADVISE OWNER.
8. THE GENERAL CONTRACTOR IS TO COORDINATE WITH THE ARCHITECT AND STRUCTURAL ENGINEER ON SITE, PRIOR TO DEMOLITION WORK.

DEMO PLAN KEY NOTES

- 1. EXISTING WALLS SHOWN DASHED TO BE REMOVED
- 2. REMOVE PARTIAL OR FULL WALL FOR NEW DOOR/ WINDOW, REFERENCE EXTERIOR ELEVATIONS
- 3. REMOVE EXISTING ROLL UP DOOR
- 4. REMOVE EXISTING STAIRS
- 5. CREATE CUTOUT AT FLOOR. SLAB TO BE CUT TO THE FACE OF COLUMN
- 6. RELOCATE ELECTRICAL PANEL
- 7. REMOVE (E) LADDER
- 8. REMOVE HATCH AND FILL
- 9. CREATE CUTOUT FOR NEW STAIRWAY

LEGEND

 TO BE REMOVED

NEW WINDOWS ONLY
NO DEMO ON THIS LEVEL
SHOWN ONLY FOR REF.



REVISIONS	BY



LEVY
ART + ARCHITECTURE

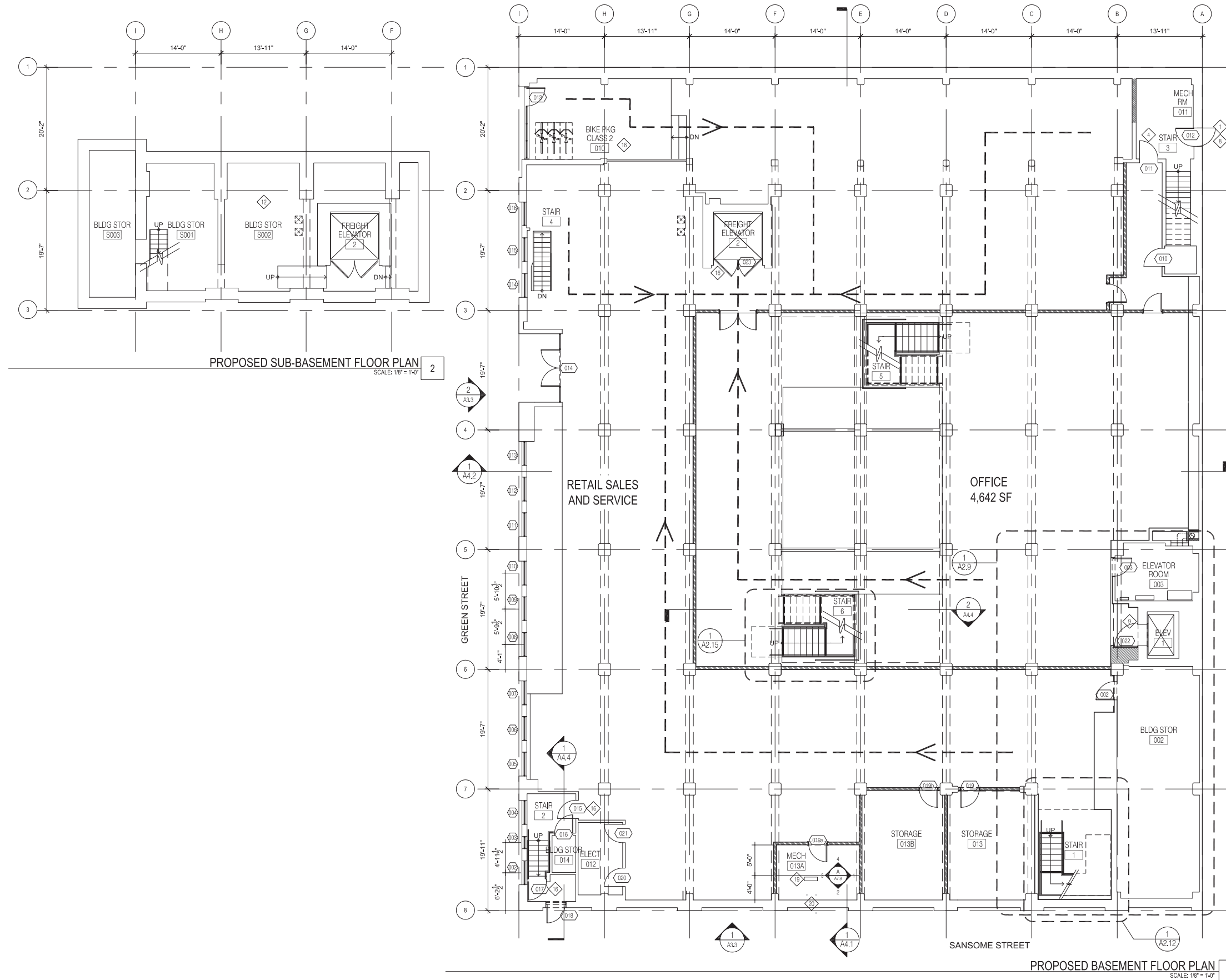
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OFFICE ALLOCATION
1088 SANSOME ST
SAN FRANCISCO, CA 94111
BLOCK #1035 LOT #009

DESCRIPTION	(E)/DEMO PENTHOUSE PLAN
DATE	05.21.2016
SCALE	AS NOTED
DRAWN	HH
JOB	SANSOME
SHEET	

A1.4



- GENERAL NOTES**
1. CONTRACTOR IS TO FIELD COORDINATE ANY AN ALL FINAL DESIGN BASED ON EXISTING CONDITIONS WITH THE ARCHITECT.
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 3. REFERENCE COVER SHEET AND SHEET A0.5 OR WALL CONSTRUCTION TYPES AND PARTITION DETAILS.
 4. DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF COLUMN, TYPICAL U.O.N.
 5. PROVIDE 1 HR FIRE RATED SEALANT AT ALL PENETRATIONS.
 6. CONTRACTOR IS TO COORDINATE ALL MECHANICAL WORK WITH ARCHITECT PRIOR TO PERFORMING ANY WORK.
 7. TENANT IMPROVEMENTS TO BE SUBMITTED BY OTHERS

- PLAN KEY NOTES**
- ◇ PROVIDE LOUVERED DOOR AT MECHANICAL ROOM
 - ◇ PROVIDE LOUVERED WINDOW
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 - ◇ EXISTING STAIR TO REMAIN AND BE USED AS ACCESS BETWEEN MECHANICAL ROOMS. STAIR 3 IS NOT TO BE USED AS A MEANS OF EGRESS, AS IT IS A CONVENIENCE STAIR ONLY
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 - ◇ PROVIDE 6" ROUND ACCESS DOOR FOR PIPE CLEAN-OUT
 - ◇ NEW STAIR
 - ◇ ACCESS TO EASEMENT TO REMAIN
 - ◇ PROVIDE NEW ELEVATOR SMOKE DOORS @ PASSENGER ELEVATOR
 - ◇ CAR CONTROLS TO BE UPDATED WITH NEW PANEL, INCLUDING BRAIL MARKINGS. NEW BRAIL MARKINGS ARE TO BE PROVIDED @ ELEVATOR JAMB MARKINGS @ EACH FLOOR
 - ◇ EXISTING EXIT TO FIRE ESCAPE LADDER AND EASEMENT TO REMAIN
 - ◇ NO WORK TO BE PERFORMED
 - ◇ NEW MECHANICAL UNIT
 - ◇ SEE STRUCTURAL DRAWINGS FOR SLAB INFILL
 - ◇ EXISTING STAND PIPE
 - ◇ DOORS TO BE FIRE RATED 1 HR. CONFIRM IN FIELD.
 - ◇ REPLACE AND REPAIR WINDOWS, SEE ELEVATIONS
 - ◇ NEW BICYCLE PARKING PER SFPC 155.1; 8 CLASS 1 AND 3 CLASS 2
 - ◇ NEW GAS METER
 - ◇ (E) GAS SHUTOFF (EXTERIOR) AND (E) GAS SERVICE RISER (INTERIOR)

LEGEND

DESCRIPTION	PROPOSED SUB BASEMENT AND BASEMENT FLOOR PLAN
DATE	05.21.2016
SCALE	AS NOTED
DRAWN	HH
JOB	SANSOME
SHEET	

REVISIONS	BY



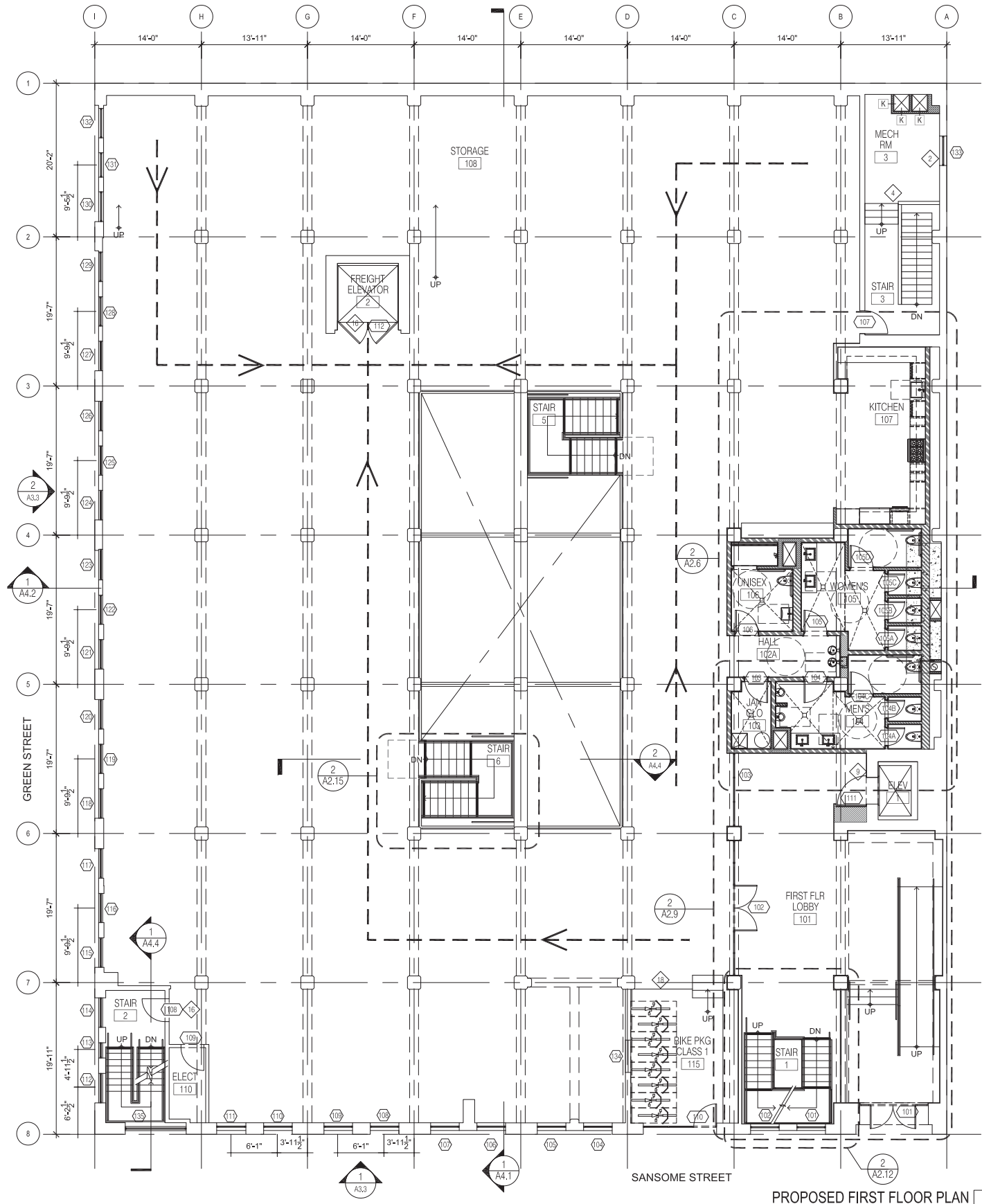
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SAN FRANCISCO, CA 94103
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OFFICE ALLOCATION
1088 SANSOME ST
SAN FRANCISCO, CA 94111
BLOCK #1035 LOT #009

DESCRIPTION	PROPOSED SUB BASEMENT AND BASEMENT FLOOR PLAN
DATE	05.21.2016
SCALE	AS NOTED
DRAWN	HH
JOB	SANSOME
SHEET	

A2.0



PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

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7. TENANT IMPROVEMENTS TO BE SUBMITTED BY OTHERS

PLAN KEY NOTES

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- 2 PROVIDE LOUVERED WINDOW
- 3 DEDICATED SPACE FOR SUPPLY & RETURN AIR DUCTS
- 4 EXISTING STAIR TO REMAIN AND BE USED AS ACCESS BETWEEN MECHANICAL ROOMS. STAIR 3 IS NOT TO BE USED AS A MEANS OF EGRESS, AS IT IS A CONVENIENCE STAIR ONLY
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- 8 ACCESS TO EASEMENT TO REMAIN
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- 11 EXISTING EXIT TO FIRE ESCAPE LADDER AND EASEMENT TO REMAIN
- 12 NO WORK TO BE PERFORMED
- 13 NEW MECHANICAL UNIT
- 14 SEE STRUCTURAL DRAWINGS FOR SLAB INFILL
- 15 EXISTING STAND PIPE
- 16 DOORS TO BE FIRE RATED 1 HR. CONFIRM IN FIELD.
- 17 REPLACE AND REPAIR WINDOWS, SEE ELEVATIONS
- 18 NEW BICYCLE PARKING PER SFPC 155.1: 8 CLASS 1 AND 3 CLASS 2
- 19 NEW GAS METER
- 20 (E) GAS SHUTOFF (EXTERIOR) AND (E) GAS SERVICE RISER (INTERIOR)

LEGEND

REVISIONS	BY



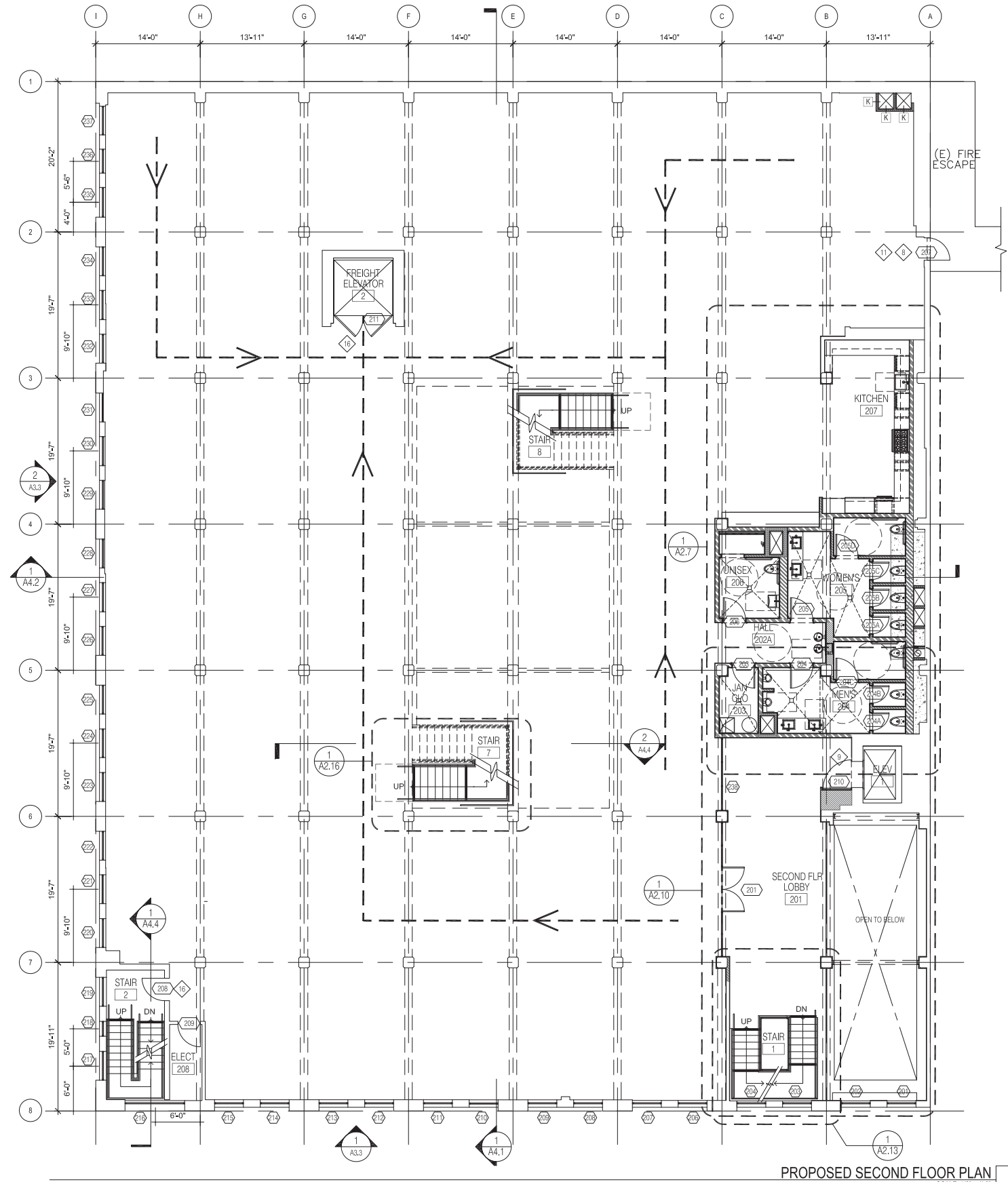
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levyaa.com



OFFICE ALLOCATION
1088 SANSOME ST
SAN FRANCISCO, CA 94111
BLOCK #1035 LOT #009

DESCRIPTION
PROPOSED 1ST FLOOR PLAN
DATE 05.21.2016
SCALE A5 NOTED
DRAWN HH
JOB SANSOME
SHEET

A2.1



PROPOSED SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0" 1

GENERAL NOTES

1. CONTRACTOR IS TO FIELD COORDINATE ANY AN ALL FINAL DESIGN BASED ON EXISTING CONDITIONS WITH THE ARCHITECT.
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5. PROVIDE 1 HR FIRE RATED SEALANT AT ALL PENETRATIONS.
6. CONTRACTOR IS TO COORDINATE ALL MECHANICAL WORK WITH ARCHITECT PRIOR TO PERFORMING ANY WORK.
7. TENANT IMPROVEMENTS TO BE SUBMITTED BY OTHERS

PLAN KEY NOTES

- 1 PROVIDE LOUVERED DOOR AT MECHANICAL ROOM
- 2 PROVIDE LOUVERED WINDOW
- 3 DEDICATED SPACE FOR SUPPLY & RETURN AIR DUCTS
- 4 EXISTING STAIR TO REMAIN AND BE USED AS ACCESS BETWEEN MECHANICAL ROOMS. STAIR 3 IS NOT TO BE USED AS A MEANS OF EGRESS, AS IT IS A CONVENIENCE STAIR ONLY
- 5 NEW SKYLIGHT
- 6 PROVIDE 6" ROUND ACCESS DOOR FOR PIPE CLEAN-OUT
- 7 NEW STAIR
- 8 ACCESS TO EASEMENT TO REMAIN
- 9 PROVIDE NEW ELEVATOR SMOKE DOORS @ PASSENGER ELEVATOR
- 10 CAR CONTROLS TO BE UPDATED WITH NEW PANEL, INCLUDING BRAIL MARKINGS. NEW BRAIL MARKINGS ARE TO BE PROVIDED @ ELEVATOR JAMB MARKINGS @ EACH FLOOR
- 11 EXISTING EXIT TO FIRE ESCAPE LADDER AND EASEMENT TO REMAIN
- 12 NO WORK TO BE PERFORMED
- 13 NEW MECHANICAL UNIT
- 14 SEE STRUCTURAL DRAWINGS FOR SLAB INFILL
- 15 EXISTING STAND PIPE
- 16 DOORS TO BE FIRE RATED 1 HR. CONFIRM IN FIELD.
- 17 REPLACE AND REPAIR WINDOWS, SEE ELEVATIONS
- 18 NEW BICYCLE PARKING PER SFPC 155.1: 8 CLASS 1 AND 3 CLASS 2
- 19 NEW GAS METER
- 20 (E) GAS SHUTOFF (EXTERIOR) AND (E) GAS SERVICE RISER (INTERIOR)

LEGEND

REVISIONS	BY



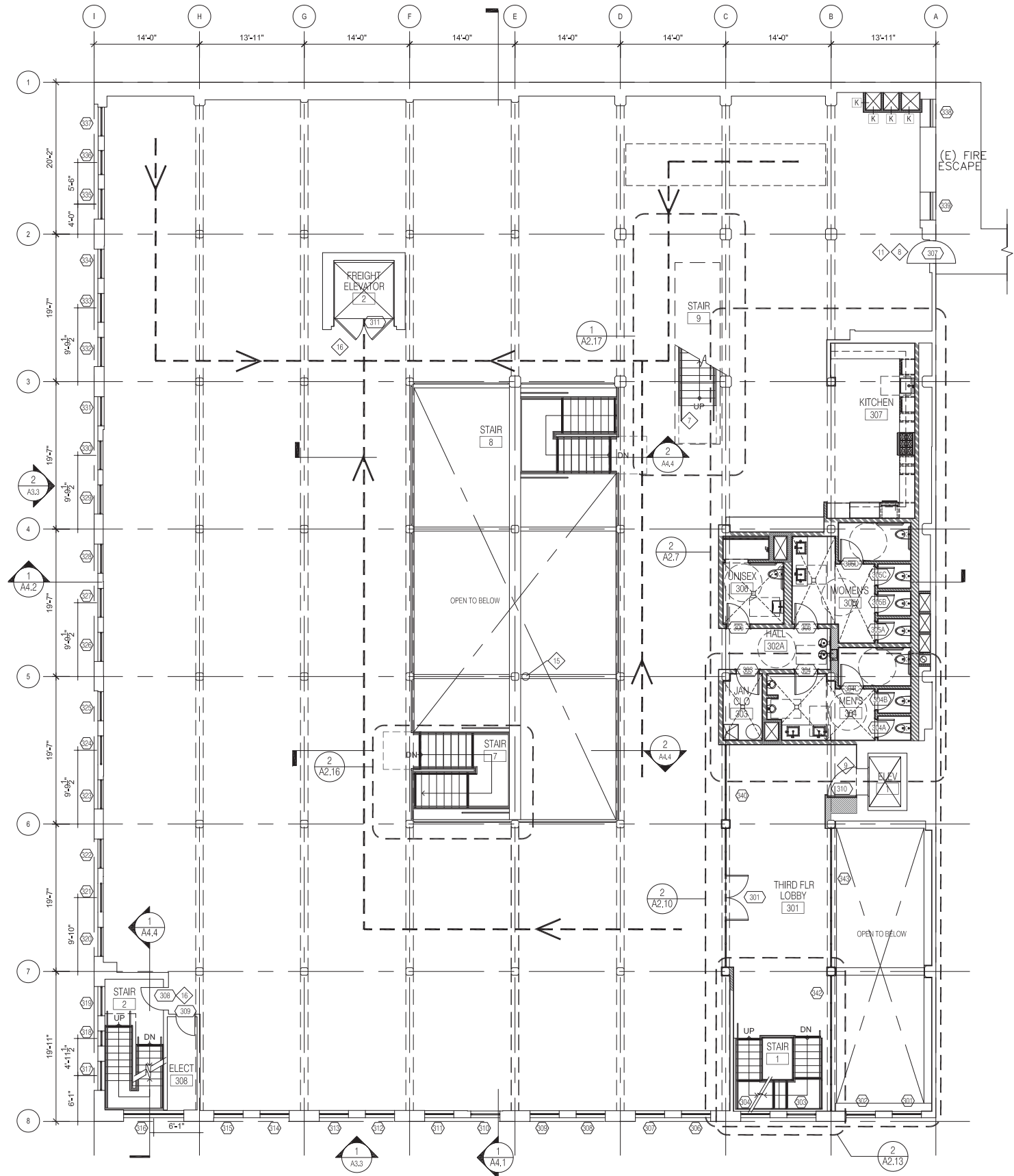
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OFFICE ALLOCATION
1088 SANSOME ST
SAN FRANCISCO, CA 94111
BLOCK #1035 LOT #009

DESCRIPTION
PROPOSED 2ND FLOOR PLAN
DATE 05.21.2016
SCALE A5 NOTED
DRAWN HH
JOB SANSOME
SHEET

A2.2



GENERAL NOTES

1. CONTRACTOR IS TO FIELD COORDINATE ANY AN ALL FINAL DESIGN BASED ON EXISTING CONDITIONS WITH THE ARCHITECT.
2. SHOULD ANY MAJOR DIMENSIONAL OR OTHER DISCREPANCIES ARISE ON-SITE, THE ARCHITECT IS TO BE NOTIFIED FOR FURTHER COORDINATION.
3. REFERENCE COVER SHEET AND SHEET A0.5 OR WALL CONSTRUCTION TYPES AND PARTITION DETAILS.
4. DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF COLUMN, TYPICAL U.O.N.
5. PROVIDE 1 HR FIRE RATED SEALANT AT ALL PENETRATIONS.
6. CONTRACTOR IS TO COORDINATE ALL MECHANICAL WORK WITH ARCHITECT PRIOR TO PERFORMING ANY WORK.
7. TENANT IMPROVEMENTS TO BE SUBMITTED BY OTHERS

PLAN KEY NOTES

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2. PROVIDE LOUVERED WINDOW
3. DEDICATED SPACE FOR SUPPLY & RETURN AIR DUCTS
4. EXISTING STAIR TO REMAIN AND BE USED AS ACCESS BETWEEN MECHANICAL ROOMS. STAIR 3 IS NOT TO BE USED AS A MEANS OF EGRESS, AS IT IS A CONVENIENCE STAIR ONLY
5. NEW SKYLIGHT
6. PROVIDE 6\"/>

LEGEND

REVISIONS	BY



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ART + ARCHITECTURE

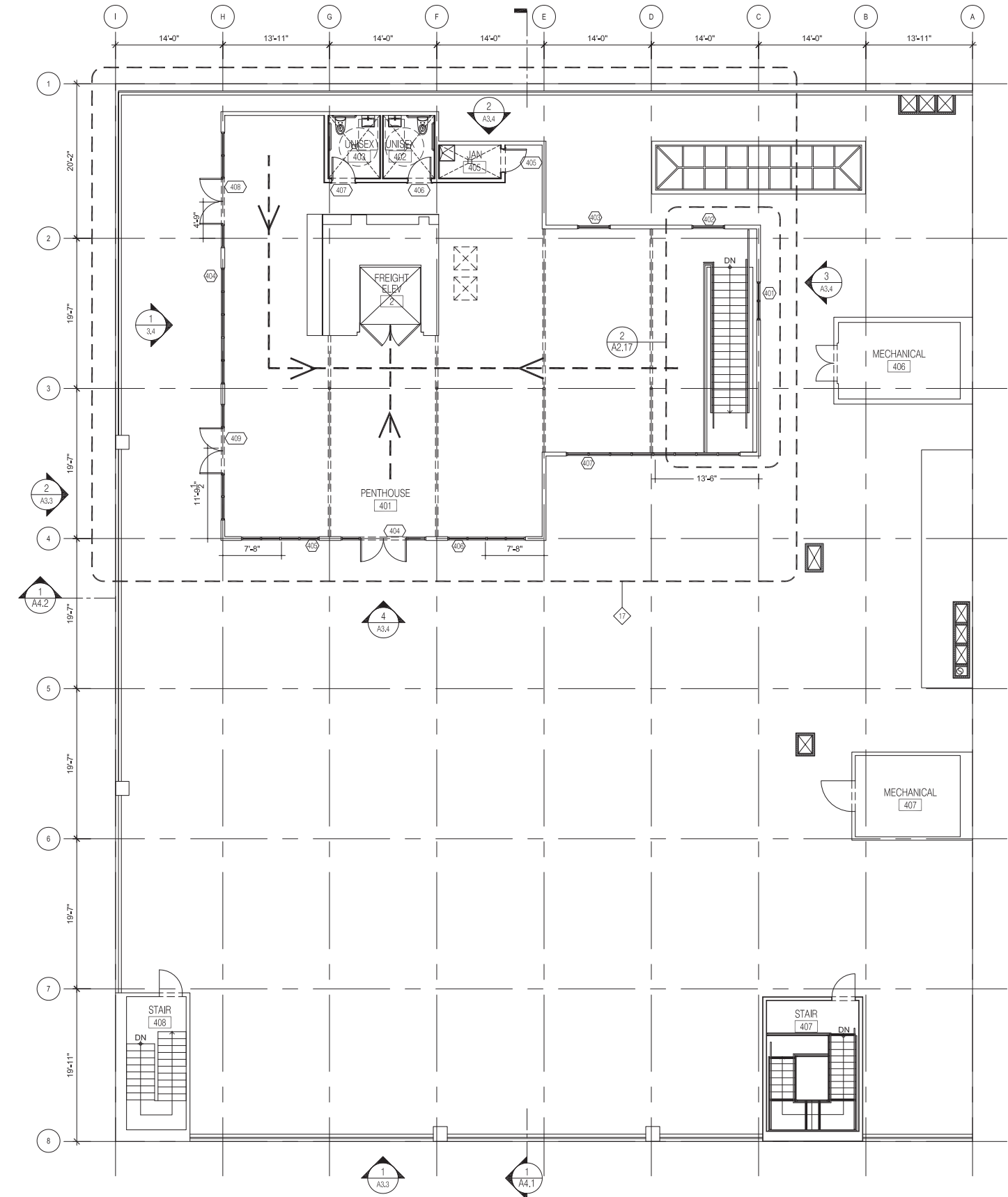
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OFFICE ALLOCATION
1088 SANSOME ST
SAN FRANCISCO, CA 94111
BLOCK #1035 LOT #009

DESCRIPTION
PROPOSED 3RD FLOOR PLAN
DATE 05.21.2016
SCALE AS NOTED
DRAWN HH
JOB SANSOME
SHEET

A2.3



PROPOSED PENTHOUSE FLOOR PLAN
SCALE: 1/8" = 1'-0" 1

GENERAL NOTES

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6. CONTRACTOR IS TO COORDINATE ALL MECHANICAL WORK WITH ARCHITECT PRIOR TO PERFORMING ANY WORK.
7. TENANT IMPROVEMENTS TO BE SUBMITTED BY OTHERS

PLAN KEY NOTES

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- 2 PROVIDE LOUVERED WINDOW
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- 4 EXISTING STAIR TO REMAIN AND BE USED AS ACCESS BETWEEN MECHANICAL ROOMS. STAIR 3 IS NOT TO BE USED AS A MEANS OF EGRESS, AS IT IS A CONVENIENCE STAIR ONLY
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LEGEND

REVISIONS	BY



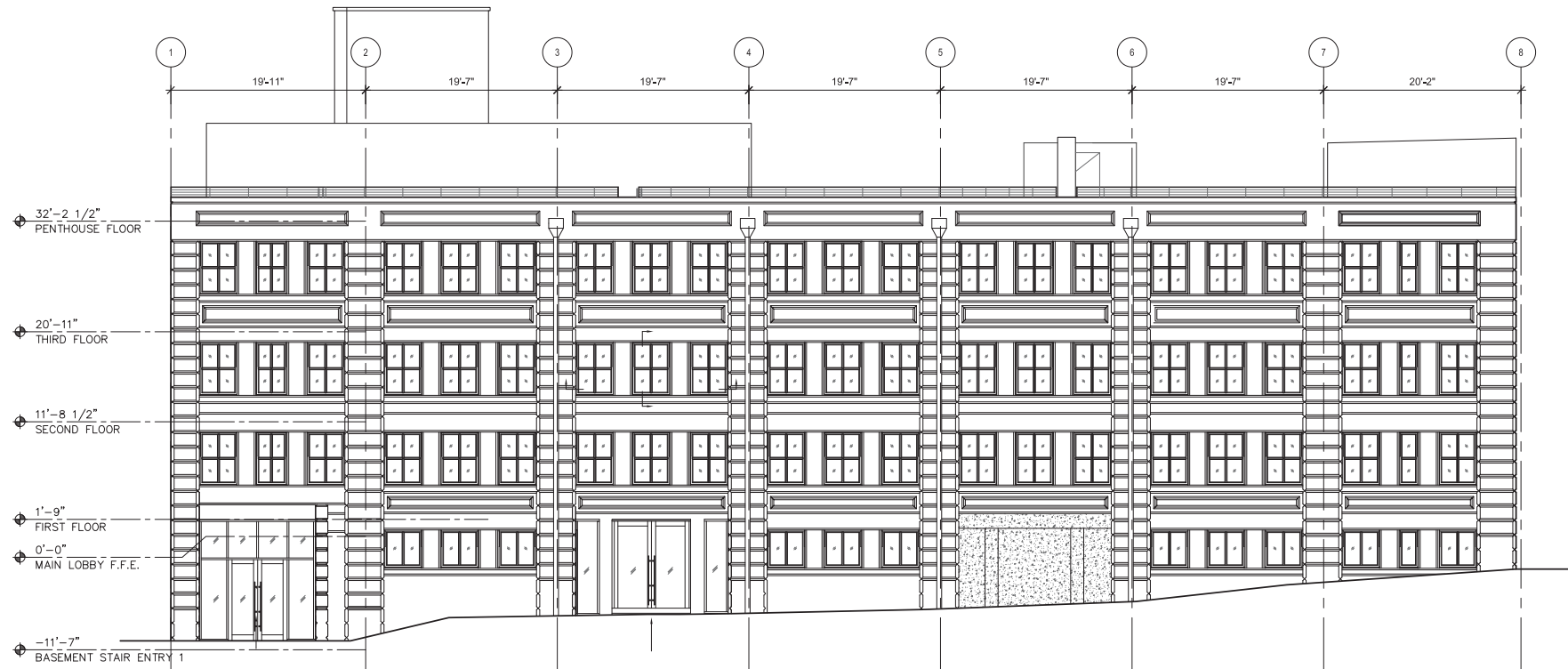
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OFFICE ALLOCATION
1088 SANSOME ST
SAN FRANCISCO, CA 94111
BLOCK #1035 LOT #009

DESCRIPTION
PROPOSED PENTHOUSE PLAN
DATE 05.21.2016
SCALE A5 NOTED
DRAWN HH
JOB SANSOME
SHEET

A2.4



EXISTING NORTH ELEVATION
SCALE: 1/8" = 1'-0"

2



EXISTING WEST ELEVATION
SCALE: 1/8" = 1'-0"

1

GENERAL NOTES

- | | |
|-------------|-------------|
| 1. NOT USED | 4. NOT USED |
| 2. NOT USED | 5. NOT USED |
| 3. NOT USED | 6. NOT USED |

DEMO PLAN KEY NOTES

- ◇ NOT USED

REVISIONS	BY



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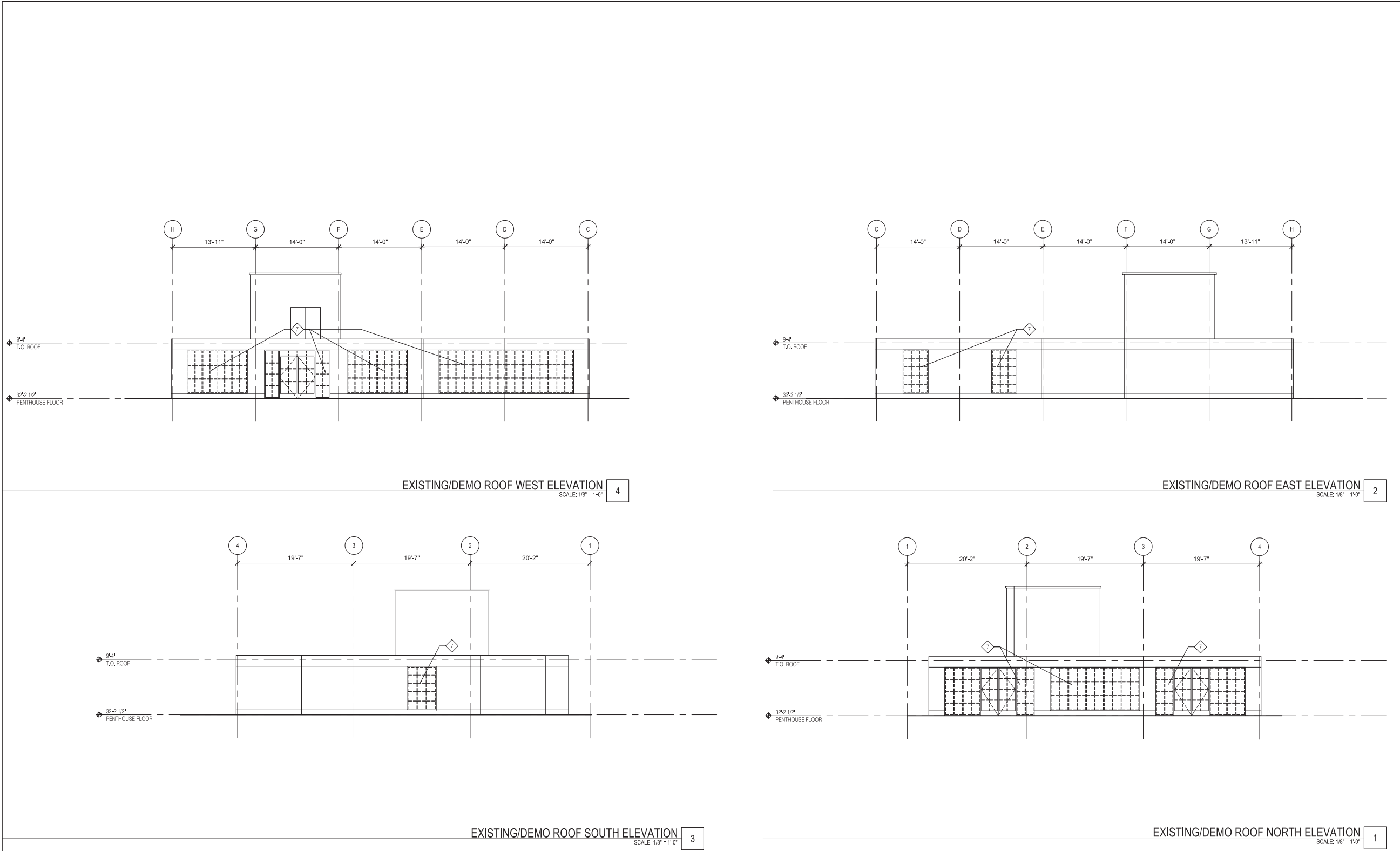
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OFFICE ALLOCATION
1088 SANSOME ST
SAN FRANCISCO, CA 94111
BLOCK #1035 LOT #009

DESCRIPTION	
EXISTING EXT. ELEVATIONS	
DATE	05.21.2016
SCALE	AS NOTED
DRAWN	HH
JOB	SANSOME
SHEET	

A3.1



GENERAL NOTES	
1. OBTAIN REQUIRED PERMITS PRIOR FOR DEMOLITION, COORDINATE WORK ACCORDING TO GENERAL REQUIREMENTS.	5. REMOVE & DISPOSE OF INSULATION, ABANDONED PIPING, ABANDONED WIRING, DEBRIS BOXES, ETC., WHETHER THESE ARE SHOWN IN PLANS OR NOT. VERIFY ADJACENT ELEMENTS TO REMAIN.
2. REMOVE OF ALL MATERIALS TO BE DISCARDED FROM SITE. DISPOSE OF ALL MATERIALS ACCORDING TO STATE AND LOCAL REGULATIONS FOR EACH TYPE OF MATERIAL. VERIFY WITH OWNER APPROPRIATE LOCATIONS & ROUTES FOR WASTE REMOVAL & TEMPORARY STORAGE.	6. PROTECT ALL SURROUNDING FINISHES PRIOR TO LOCALIZED DEMOLITION WORK. PROVIDE DUST CONTROL FOR PROTECTION OF FINISHES & FIXTURES IN ROOM & ADJACENT AREAS.
3. RECYCLE DISCARDED MATERIALS WHEN POSSIBLE.	7. WHERE SUSPECTED EXISTING HAZARDOUS MATERIALS ARE FOUND, MATERIAL SHALL BE LEFT IN PLACE, AND CONTRACTOR SHALL IMMEDIATELY ADVISE OWNER.
4. OWNER TO SPECIFY, AT TIME OF DEMOLITION, WHICH FKJTURES & ACCESSORIES, IF ANY, ARE TO BE SAVED, THE CONTRACTOR IS RESPONSIBLE FOR SAVING ITEMS & HANDING THEM OVER TO THE OWNER.	

DEMO PLAN KEY NOTES	
1 REMOVE EXISTING INFILL PANELS FOR NEW WINDOWS	6 REMOVE EXISTING ALUMINUM SASH STOREFRONT SYSTEM
2 REMOVE NON-HISTORIC BRICK CLADDING	7 REMOVE NON-HISTORIC ALUMINUM SASH WINDOWS
3 REMOVE EXISTING LOUVERS	8 REMOVE EXISTING INFILL PANELS
4 REMOVE EXISTING ROLL-UP DOOR	9 REMOVE EXISTING NON-HISTORIC ALUMINUM SASH WINDOWS THROUGHOUT
5 REMOVE NON-HISTORIC SPANDREL AND/ OR INFILL PANELS	

REVISIONS	BY



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OFFICE ALLOCATION
1088 SANSOME ST
SAN FRANCISCO, CA 94111
BLOCK #1035 LOT #009

DESCRIPTION (E)/DEMO EXT. ELEVATIONS	
DATE	05.21.2016
SCALE	A5 NOTED
DRAWN	HH
JOB	SANSOME
SHEET	

A3.2

REVISIONS	BY



LEVY
ART + ARCHITECTURE

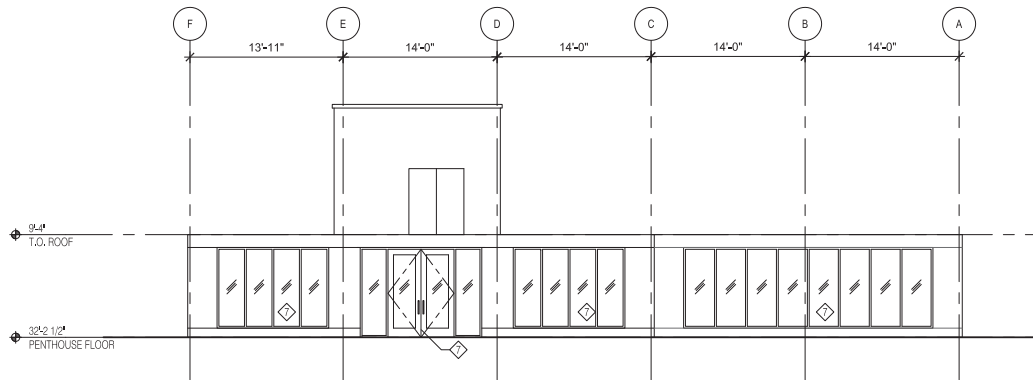
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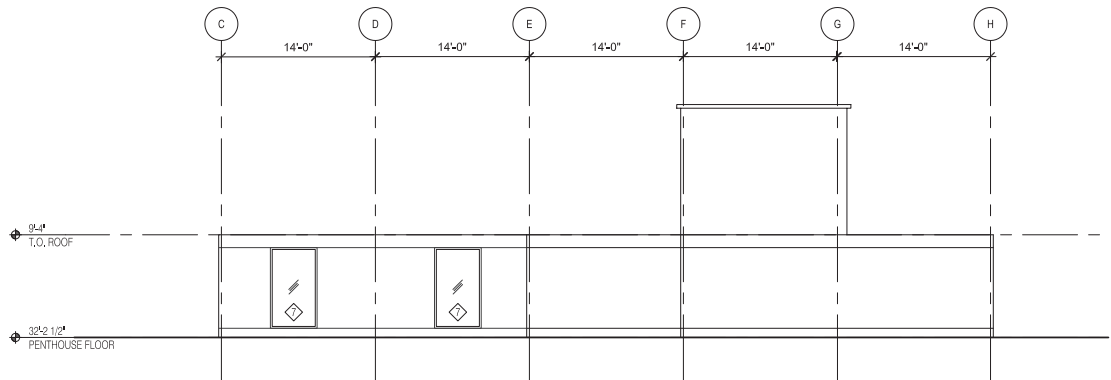
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1088 SANSOME ST
SAN FRANCISCO, CA 94111
BLOCK #1035 LOT #009

DESCRIPTION	
PROPOSED EXT. ELEVATIONS	
DATE	05.21.2016
SCALE	A5 NOTED
DRAWN	HH
JOB	SANSOME
SHEET	

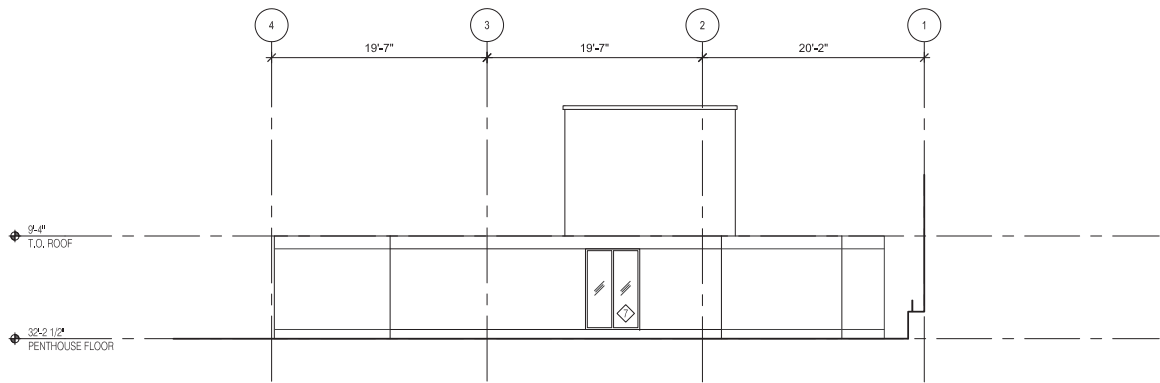
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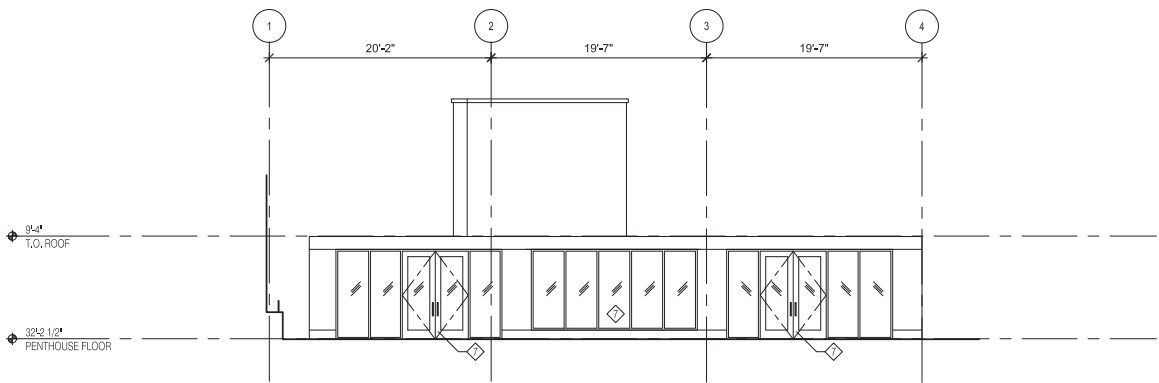
PROPOSED PENTHOUSE WEST ELEVATION
SCALE: 1/8" = 1'-0" 4



PROPOSED PENTHOUSE EAST ELEVATION
SCALE: 1/8" = 1'-0" 2



PROPOSED PENTHOUSE SOUTH ELEVATION
SCALE: 1/8" = 1'-0" 3



PROPOSED PENTHOUSE NORTH ELEVATION
SCALE: 1/8" = 1'-0" 1

GENERAL NOTES

PROPOSED ELEVATION KEY NOTES

- | | |
|---|--|
| 1 ADD CONCRETE PIER BETWEEN NEW WINDOWS TO MATCH FLOOR ABOVE | 6 NEW STOREFRONT SYSTEM |
| 2 NEW STOREFRONT SYSTEM AND NEW WINDOWS TO PLACE NON-HISTORIC INFILL | 7 REPLACE EXISTING NON-HISTORIC ALUMINUM SASH WINDOWS WITH NEW STEEL SASH WINDOWS TO MATCH HISTORIC PROFILE |
| 3 NEW STOREFRONT SYSTEM IN EXISTING LOADING DOCK OPENING | 8 REBUILD CONCRETE SPANDREL AND PIER WHERE REMOVED BY PREVIOUS RENOVATION WORK IN KIND (CONCRETE) TO MATCH EXISTING CONDITIONS |
| 4 NEW STEEL AND GLASS ROLL UP DOOR | 9 NEW STEEL SASH WINDOW AT EXISTING CONCRETE INFILL PANEL |
| 5 NEW STEEL SASH WINDOWS AND NEW CONCRETE PANEL TO REPLACE NON-HISTORIC INFILL WALL | |



BUILDING SECTION 1
SCALE: 1/8" = 1'-0"

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5. PROVIDE 1 HR FIRE RATED SEALANT AT ALL PENETRATIONS.
6. TENANT IMPROVEMENTS TO BE SUBMITTED BY OTHERS

BUILDING SECTION KEY NOTES

1 LINE OF ADJACENT BUILDING

REVISIONS	BY



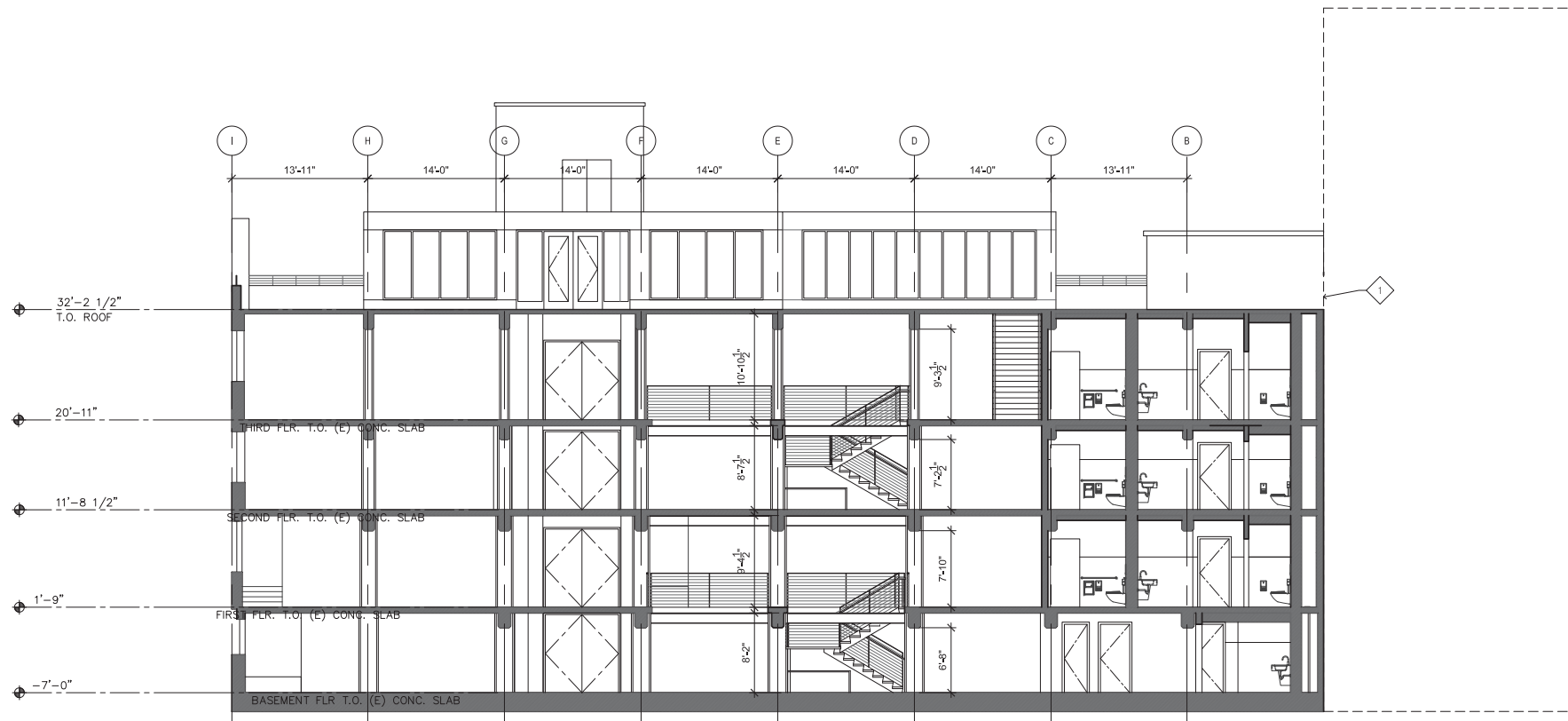
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OFFICE ALLOCATION
1088 SANSOME ST
SAN FRANCISCO, CA 94111
BLOCK #1035 LOT #009

DESCRIPTION	BUILDING SECTIONS
DATE	05.21.2016
SCALE	AS NOTED
DRAWN	HH
JOB	SANSOME
SHEET	

A4.1



BUILDING SECTION
SCALE: 1/8" = 1'-0"

1

GENERAL NOTES

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BUILDING SECTION KEY NOTES

1 LINE OF ADJACENT BUILDING

REVISIONS	BY

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OFFICE ALLOCATION
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SAN FRANCISCO, CA 94111
BLOCK #1035 LOT #009

DESCRIPTION
BUILDING SECTIONS
DATE 05.21.2016
SCALE AS NOTED
DRAWN HH
JOB SANSOME
SHEET

A4.2