



# EXECUTIVE SUMMARY CONDITIONAL USE AUTHORIZATION

**HEARING DATE: OCTOBER 21, 2021**

**Record No.:** 2016-005365CUA  
**Project Address:** 230 ANZA STREET  
**Zoning:** RH-3 (Residential-House, Three Family) Zoning District  
40-X Height and Bulk District  
**Block/Lot:** 1091/013  
**Project Sponsor:** Dale Sessions (agent/architect)  
Remick + Sessions Design  
1230 Howard Street  
San Francisco, CA 94103  
**Property Owner:** James Greig  
JAG Capital Development LLC  
P.O. Box 632  
Alamo, CA 94507  
**Staff Contact:** Sharon M. Young – (628) 652-7349  
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**Recommendation:** Approval with Conditions

## Project Description

The Project is for a Conditional Use Authorization, pursuant to allow the tantamount to demolition of an existing approximately 2,094 square-foot two-unit, two-story residential building and to construct an approximately 4,359 square-foot three-unit, three-story residential building (with mezzanine level and rear decks) within the RH-3 (Residential-House, Three-Family) Zoning District and a 40-X Height and Bulk District. The resulting building will contain three dwelling units. The first-floor residential unit will have approximately 1,361 of gross square feet of floor area, the second-floor residential unit will have approximately 1,463 of gross square feet of floor area square feet of floor area, and the third floor and mezzanine residential unit will have approximately 1,535 gross square feet of floor area. The Project includes one-bedroom, two-bedroom, and three-bedroom family sized units with no off-street parking and three Class 1 bicycle parking spaces. The Project provides approximately 829 square feet of open space in the front setback, rear yard, and lower and upper-level rear decks.

The proposal is to legalize work which exceeded beyond the scope of previous permits which were abandoned from prior developers and to construct major renovations to the residential building with a revised design. Between years 2016-2020, Department of Building Inspection complaints (201652043, 201784571, 201885981, 201917231, 201919067, 201919392, 201943011, 201974098, 201978702, 202016881) were filed pertaining to complaints that the existing residential building had work exceeding the scope of permits and was a vacant abandoned building. In 2017, Planning complaint 2017-006637ENF was filed for exceeding scope of work for two permits but was later closed since it was determined that there was no violation. [Additional background information is in the project sponsor's brief.]

## Required Commission Action

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization, pursuant to Planning Code Sections 209.1, 303 and 317 to allow the tantamount to demolition of an existing two-story, two-unit residential building and to construct a three-story, three-unit residential building (with mezzanine and decks) at 230 Anza Street within a RH-3 (Residential, House, Three-Family) Zoning District.

## Issues and Other Considerations

- **Public Comment & Outreach.**

- **Support/Opposition:** The Planning Department has received no letters in support or opposition to the Project.
- **Outreach:** The project sponsor conducted a pre-application meeting on the proposed project on June 3, 2021; one person besides the project sponsor was present at the pre-application meeting.

- **Tenant History:**

- **Are any units currently occupied by tenants: No**
  - The existing two-unit residential building has been vacant since 2015 since the sale of the property to the current property owner. Prior to the sale of the property, the building was occupied by tenants as documented in Rent Board records. The current property owner has indicated that the three proposed residential units are intended for rental housing.
- **Have Any tenants been evicted within the past 10 years: Yes**
  - A search of Rent Board records revealed an Eviction Notice document between former tenants (Alton Magee, Antonette Williams, and Patrick Watkins) and the former property owner in 2014 to allow the sale of the property. With the change in property ownership, there have been no tenants in the residential building since 2015.
- **Have there been any tenant buyouts within the past 10 years: No**
  - A search of Rent Board records does not reveal any tenant buyouts within the past ten years.
- See Exhibit G for Eviction History documentation.

- **Design Review Comments:** Planning department staff had requested that the applicant provide design modifications to the proposed project so that it would be more consistent with the Residential Design Guidelines. Some of the design review comments included raising ground floor level / entry to align with street

level, simplifying the front facade to maintain a more regular / consistent primary plane, aligning front fenestration elements vertically, and providing window cross-sections / details demonstrating facade depth.

## **Environmental Review**

The Project is exempt from the California Environmental Quality Act ("CEQA") as Class 1 and 3 categorical exemptions under CEQA as described in the determination contained in the Planning Department files for this Project under Case No. 2016-005365ENV.

## **Basis for Recommendation**

The Department finds that the Project is, on balance, consistent with the Objectives and Policies of the General Plan. The Project will allow the development of a three-story, three-unit residential building (with mezzanine and decks) on the subject property currently occupied by a two-story, two-unit residential building. The Project will allow for the creation of three new residential units on the project site which are within the maximum allowable residential density within the RH-3 Zoning District. The Department also finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

## **Attachments:**

Draft Motion – Conditional Use Authorization with Conditions of Approval  
Exhibit B – Plans and Renderings  
Exhibit C – Environmental Determination  
Exhibit D – Land Use Data  
Exhibit E – Maps and Context Photos  
Exhibit F - Project Sponsor Brief  
Exhibit G– Eviction History Documentation



# PLANNING COMMISSION DRAFT MOTION

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ADOPTING FINDINGS RELATING TO A CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTION 209.1, 303, AND 317 TO ALLOW THE TANTAMOUNT TO DEMOLITION OF THE EXISTING APPROXIMATELY 2,094 SQUARE-FOOT TWO-STORY, TWO-UNIT RESIDENTIAL BUILDING AND CONSTRUCT AN APPROXIMATELY 4,359 SQUARE-FOOT NEW THREE-STORY, THREE-UNIT RESIDENTIAL BUILDING (WITH MEZZANINE AND DECKS), LOCATED AT 230 ANZA STREET WITHIN THE RH-3 (RESIDENTIAL, HOUSE, THREE-FAMILY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.



## PREAMBLE

On June 11, 2020, Dale Sessions of Remick + Sessions Design (hereinafter "Project Sponsor") filed Application No. 2016-005365CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization to allow the tantamount to demolition of the existing approximately 2,094 square-foot two-story, two-unit residential building and the construction of an approximately 4,359 square-foot new three-story, three-unit residential building (with mezzanine and decks) within the RH-3 Zoning District (hereinafter "Project") at 230 Anza Street, Block 1091 Lot 013 (hereinafter "Project Site").

The Project is exempt from the California Environmental Quality Act ("CEQA") as Class 1 and 3 categorical exemptions under CEQA as described in the determination contained in the Planning Department files for this Project under Case No. 2016-005365ENV.

On October 21, 2021, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2016-005365CUA.

The Planning Department Commission Secretary is the Custodian of Records; the File for Record No. 2016-005365CUA is located at 49 South Van Ness Avenue, Suite 1400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2016-005365CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

## FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

- 1. The above recitals are accurate and constitute findings of this Commission.**
- 2. Project Description.** The Project is for a Conditional Use Authorization, pursuant to Planning Code Sections 209.1, 303 and 317 to allow the tantamount to demolition of an existing approximately 2,094 square-foot two-unit, two-story residential building and to construct an approximately 4,359 square-foot three-unit, three-story residential building (with mezzanine level and rear decks) within the RH-3 (Residential-House, Three-Family) Zoning District and a 40-X Height and Bulk District. The resulting building will contain three dwelling units. The first-floor residential unit will have approximately 1,361 of gross square feet of floor area, the second-floor residential unit will have approximately 1,463 of gross square feet of floor area square feet of floor area, and the third floor and mezzanine residential unit will have approximately 1,535 gross square feet of floor area. The Project includes one-bedroom, two-

bedroom, and three-bedroom family sized units with no off-street parking and three Class 1 bicycle parking spaces. The Project provides approximately 829 square feet of open space in the front setback, rear yard, and lower and upper-level rear decks.

The proposal is to legalize work which exceeded beyond the scope of previous permits which were abandoned from prior developers and to construct major renovations to the residential building with a revised design. Between years 2016-2020, Department of Building Inspection complaints (201652043, 201784571, 201885981, 201917231, 201919067, 201919392, 201943011, 201974098, 201978702, 202016881) were filed pertaining to complaints that the existing residential building had work exceeding the scope of permits and was a vacant abandoned building. In 2017, Planning complaint 2017-006637ENF was filed for exceeding scope of work for two permits but was later closed since it was determined that there was no violation. [Additional background information is in the project sponsor's brief.]

3. **Site Description and Present Use.** The Project Site at 230 Anza Street is located on the north side of Anza Street, between Collins Street and Wood Street, Lot 013 in Assessor's Block 1091. The property is located within a RH-3 (Residential, House, Three-Family) Zoning District and a 40-X Height and Bulk District. The subject lot is 2,500 square feet (25 feet wide by 100 feet deep) in size and is occupied by a two-story, two-unit residential building constructed circa 1900. According to the project sponsor, the existing residential building has been vacant (not owner or tenant occupied) since the sale of the property since 2015 and has been boarded up with plywood from uncompleted work under construction from the prior developers who abandoned plans to develop the building from prior permits.
4. **Surrounding Properties and Neighborhood.** The project site is located in the Inner Richmond neighborhood. The surrounding development consists of a mix of single and multi-unit residential buildings. The scale of development in the immediate area consists of two to four story structures on the subject block and three to four story structures on the opposite block. Most of the residential buildings on the subject and opposite blocks are wood-framed or stucco buildings. The adjacent building to the west at 236 Anza Street is a two-story, one-unit residential building constructed in 1939. The adjacent building to the east at 224 - 226 Anza Street is a three-story, two-unit residential building constructed in 1980. The project site to the north is Geary Boulevard within the Geary Boulevard Neighborhood Commercial District and RH-1 (Residential, House, One-Family) Zoning District and RH-2 (Residential, House, Two-Family) Zoning to the south, and RH-3 Zoning to the west and east of the project site.
5. **Public Outreach and Comments.** The Department has not received any public correspondence as of the date of this Draft Motion. The project sponsor conducted a pre-application meeting on the proposed project on June 3, 2021; one person besides the project sponsor was present at the pre-application meeting.
6. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
  - A. **Residential Demolition.** Pursuant to Planning Code Section 317, Conditional Use Authorization is required for applications proposing to remove one or more residential units in an RH-3 Zoning District.

*As the proposed project requires Conditional Use Authorization, the additional criteria specified under*

*Section 317 for residential demolition have been incorporated as findings as part of this Draft Motion. See Subsection 8 below, "Additional Findings pursuant to Planning Code Section 317". The proposed project is to allow the tantamount to demolition of an existing two-story, two-unit residential building and to allow the construction of a three-story, three-unit residential building.*

- B. Residential Density, Dwelling Units.** Planning Code Section 209.1 states that three dwelling units per lot are permitted or one dwelling unit per 1,000 square feet of lot area with Conditional Use Authorization within the RH-3 Zoning District.

*The subject property is approximately 2,500 square feet, which allows for a total of three dwelling units as a permitted use within a RH-3 Zoning District. The Project proposes a total of three dwelling units; therefore, the proposed project complies with Planning Code Section 209.1.*

- C. Front Setback.** Planning Code Section 132 states that the minimum front setback depth shall be based on the average of adjacent properties or a Legislated Setback.

*The subject property will provide a front setback of approximately 6.5 feet based on the front setbacks of the adjacent buildings to meet the minimum front setback depth requirement under Planning Code Section 132.*

- D. Landscaping and Permeability.** Planning Code Section 132(g) requires that for projects involving the construction of a new building, the addition of a new dwelling unit, garage, or additional parking; at least 20% of the required front setback area be and remain unpaved and devoted to plant material, including the use of climate appropriate plant material. Section 132(h) requires that the front setback area be at least 50% permeable so as to increase stormwater infiltration. The permeable surface may be inclusive of the area counted towards the landscaping requirement; provided, however, that turf pavers or similar planted hardscapes shall be counted only toward the permeable surface requirement and not the landscape requirement.

*The subject lot is 25 feet in width. The proposed front setback area will meet the landscaping and permeability requirements under Planning Code Section 132 by providing approximately 27.8 square feet of landscaping and approximately 120 square feet of permeable area in the front setback area.*

- E. Rear Yard.** Planning Code Section 134 requires a rear yard equal to 45 percent of the total depth, at grade and above, for properties containing dwelling units in RH-3 Zoning Districts. Where applicable, Planning Code Section 134(c) allows for the reduction in the rear yard requirement to the average between the depths of the rear building walls of the two adjacent buildings. In cases where a rear yard requirement is thus reduced, the last 10 feet of building depth permitted on the subject lot shall be limited to a height of 30 feet.

*The proposed residential building will be approximately 73 feet in depth. The adjacent conditions allow for the required rear yard to be reduced to an average of depths of the rear building walls of the two adjacent buildings at 224 - 226 Anza Street and 236 Anza Street, which in this case would be approximately 39 feet. The Project proposes an alternative method of averaging and two-story 10-foot rear extension beyond this portion set back 5 feet from the side property lines. This feature meets the requirement of Planning Code Section 136(c), which provides provisions for permitted obstructions into*

*required yards and open spaces.*

- F. **Usable Open Space.** Planning Code Section 135 requires 100 square feet of useable open space for each dwelling unit if all private, or a total of 399 square feet of common usable open space.

*The proposed first and second floor residential units will have access to approximately 829 square feet of common open space (front, lower-level rear deck, and rear yard). The proposed third floor residential unit will have approximately 133 square feet of private open space (upper-level rear deck).*

- G. **Dwelling Unit Exposure.** Planning Code Section 140 requires that at least one room of all dwelling units face onto a public street or public alley at least 30 feet in width, a side yard at least 25 feet in width, a rear yard meeting the requirements of the Code or other open area that meets minimum requirements for area and horizontal dimensions.

*The residential units will either face onto Anza Street or a conforming rear yard. Therefore, the Project meets the dwelling unit exposure requirements of the Planning Code.*

- H. **Street Frontages.** Section 144 of the Planning Code requires that no more than one-third of the width of the ground story along the front lot line, or along a street side lot line, or along a building wall that is setback from any such lot line, shall be devoted to entrances to off-street parking, except that in no event shall a lot be limited by this requirement to a single such entrance of less than ten feet in width.

*The Project does not include entrances devoted to off-street parking since no off-street parking is proposed.*

- I. **Off-Street Parking.** Planning Code Section 151 does not require a minimum number of off-street parking spaces and permits a maximum of 1.5 parking space for each dwelling unit.

*The Project will not provide off-street parking.*

- J. **Bicycle Parking.** Planning Code Section 155.2 requires at least one Class 1 bicycle parking space for each dwelling unit.

*The Project proposes three (3) Class 1 bicycle parking spaces: one for each dwelling unit.*

- K. **Height.** Planning Code Section 260 requires that all structures be no taller than the height prescribed in the subject height and bulk district, which, in the RH-3 Zoning District is 40 feet.

*The proposed residential building will be approximately 39 feet 5 inches in height and will be no taller than the prescribed height and bulk district.*

- L. **Child Care Requirements for Residential Projects.** Planning Code Section 414A requires that any residential development project that results in at least one net new residential unit shall comply with the imposition of the Residential Child Care Impact Fee requirement.

*The Project proposes new construction of a three-unit residential building. Therefore, the Project is subject to the Residential Child Care Impact Fee and must comply with the requirements outlined in*

*Planning Code Section 414A.*

- 7. Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

*The use and size of the proposed residential building will be compatible with the immediate neighborhood, which has a mix of single and multi-unit residential buildings ranging from two to four stories in height. The Project would allow the tantamount to demolition of an existing two-story, two-unit residential building with approximately 2,094 square feet in area and replace it with a three-unit, three-story residential building (with mezzanine and decks) with approximately 4,359 square feet in floor area. The proposed residential building will contain two family-sized residential units (with two and three bedrooms, kitchen, dining, study areas, and bathrooms) and one secondary residential unit (with one bedroom, kitchen, dining, study areas, and bathrooms). The Project will provide a development that is necessary and desirable, and compatible with the neighborhood or the community by providing more housing opportunities within the City.*

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

*The proposed massing is appropriate giving the context of the immediate neighborhood and block face. The proposed residential building is within the buildable area (with permitted obstructions into the required rear yard) and provides a rear yard similar in size to adjacent buildings on the subject block.*

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*It is not anticipated that existing traffic patterns will not be significantly affected by the Project. Public transit is located within ¼ mile of the project site (Muni Lines 31, 31AX, 31BX, 38AX, 38BX 38R, 43, and NX). There is on-street parking in front of the subject property and in the surrounding neighborhood. The current planning code does not require off-street parking for automobiles and no off-street parking is proposed in the Project. However, three required Class 1 bicycle parking spaces are proposed in the Project.*

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*As the Project is a residential use and not a commercial use or industrial use, the Project is not expected to produce noxious or offensive emissions.*

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

*The facade treatment and materials, although more contemporary for the proposed residential building, have been appropriately applied and selected to be compatible with the surrounding neighborhood. Both the front setback and rear yard will be landscaped.*

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.*

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable RH-3 Zoning District.

*The Project would remain in conformity with the stated purpose of the RH-3 Zoning District, as the proposed development involves the construction of a residential building with three residential units. A maximum of three residential units are permitted on the subject lot.*

- 8. Additional Findings pursuant to Planning Code Section 317.** Section 317 of the Planning Code establishes criteria for the Planning Commission to consider when reviewing applications to demolish or convert residential buildings. In addition to the criteria of Section 303(c) of this Code, the Commission shall consider the extent to which the following criteria are met:

- A. Whether the property is free of a history of serious, continuing code violations;

*A review of the Department of Building Inspection and the Planning Department databases showed there are currently no enforcement cases or notices of violation for the subject property. There had been previous Building and Planning enforcement complaints between 2016 - 2020; some complaints included alleged work exceeding scope of permit and abandoned building / derelict structure.*

- B. Whether the housing has been maintained in a decent, safe, and sanitary condition;

*The existing dwelling had been abandoned from prior developers under construction since 2015 and is currently boarded up with plywood in a decent, safe, and sanitary condition.*

- C. Whether the property is an "historical resource" under CEQA;

*The existing residential building was determined not to be a historical resource under Case No. 2016-005365ENV's historical resource evaluation. The property status was reclassified from Category B (Potential Historical Resource) to Category C (No Historic Resource Present).*

- D. Whether the removal of the resource will have a substantial adverse impact under CEQA;

*The Project qualifies for a categorical exemption and would not result in a substantial adverse impact under CEQA.*

- E. Whether the Project converts rental housing to other forms of tenure or occupancy;

*The existing residential building has been vacant since the sale of the property in 2014-2015. Prior to the sale of the property, the existing building was tenant-occupied. Rental Board eviction history reflects Rent Board eviction history with the prior property owner and not the current property owner. The current property owner has indicated that the three proposed residential units are intended for rental housing.*

- F. Whether the Project removes rental units subject to the Rent Stabilization and Arbitration Ordinance;

*The Planning Department cannot definitively determine whether or not the existing two-unit residential building is subject to the Rent Stabilization and Arbitration Ordinance; this being the purview of the Rent Board. However, the project sponsor has indicated that the existing two-unit building has been vacant since the sale of the property since 2014 - 2015. The prior property owner had removed two rental units and the current property owner intends to provide three rental units, resulting in a net increase of one rental unit as a result of the Project.*

- G. Whether the Project conserves existing housing to preserve cultural -and economic neighborhood diversity;

*Although the Project proposes the tantamount to demolition of an existing residential building with two units, the proposed residential building proposes three units, resulting in a net gain of one unit at the project site, providing more habitable square feet and bedrooms.*

- H. Whether the Project conserves neighborhood character to preserve neighborhood cultural and economic diversity;

*The Project will be compatible with the existing neighborhood character with appropriate mass, scale, design, and materials, and improves the cultural and economic diversity by increasing the number of bedrooms, which provide family-sized housing which is consistent with the provisions of the RH-3 Zoning District.*

- I. Whether the Project protects the relative affordability of existing housing;

*The existing residential building has been vacant and has not been utilized by the current property owners since 2015. The Project is to restore rental housing which previous existed on the project site with a reconstructed residential building which had been abandoned by the previous developer under construction.*



- J. Whether the Project increases the number of permanently affordable units as governed by Section 415;

*The Project is not subject to the provisions of Planning Code Section 415, as the Project proposes fewer than ten units.*

- K. Whether the Project locates in-fill housing on appropriate sites in established neighborhoods;

*The Project has been designed to be in keeping with the scale and development pattern of the mixed neighborhood character and redevelop an underutilized parcel to maximize the dwelling unit density consistent with the requirements of the RH-3 Zoning District.*

- L. Whether the project increases the number of family-sized units on-site;

*The Project proposes an opportunity for increasing the number of family-sized units on-site from two existing family-sized units which were in the existing residential building to two family-sized units and one secondary residential unit. Each of the family sized residential units are approximately 1,361 gross square feet to 1,535 gross square feet in floor area.*

- M. Whether the Project creates new supportive housing;

*The Project does not create supportive housing.*

- N. Whether the Project is of superb architectural and urban design, meeting all relevant design guidelines, to enhance existing neighborhood character;

*The overall scale, design, and materials of the proposed building complements the neighborhood character. The Project was reviewed by the Design Advisory Team (DAT), which determined that the Project was consistent with the Residential Design Guidelines and enhances the existing neighborhood character.*

- O. Whether the Project increases the number of on-site dwelling units;

*The Project will increase the number of on-site dwelling units from two dwelling units to three dwelling units.*

- P. Whether the Project increases the number of on-site bedrooms.

*The existing two-unit residential building consists of a total of three on-site bedrooms. The proposed residential building will consist of a total of six on-site bedrooms. The Project will yield a net gain of one additional residential unit and three on-site bedrooms.*

- Q. Whether or not the replacement project would maximize density on the subject lot; and,

*The Project will maximize the allowed density on-site by providing three dwelling units.*

- R. If replacing a building not subject to the Residential Rent Stabilization and Arbitration Ordinance,



whether the new project replaces all the existing units with new dwelling units of a similar size and with the same number of bedrooms.

*The Planning Department cannot definitively determine whether or not the existing residential building was subject to the Rent Stabilization and Arbitration Ordinance; this being under the purview of the Rent Board. However, with the prior property owner in 2014, a tenant petition for an eviction notice had been filed with the Rent Board. The existing two-unit residential building (with a one-bedroom unit and a two-bedroom unit) will be replaced with a three-unit residential building (with a one-bedroom unit, a two-bedroom unit, and a three-bedroom unit).*

9. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

**HOUSING ELEMENT**

**Objectives and Policies**

**OBJECTIVE 1**

**IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.**

**Policy 1.1**

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

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**Policy 1.10**

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

**OBJECTIVE 2**

**RETAIN EXISTING HOUSING UNITS, AND PROMOTE SAFETY AND MAINTENANCE STANDARDS, WITHOUT JEOPARDIZING AFFORDABILITY.**

**Policy 2.1**

Discourage the demolition of sound existing housing, unless demolition results in a net increase in affordable housing.

**OBJECTIVE 3**

**PROTECT THE AFFORDABILITY OF THE EXISTING HOUSING STOCK, ESPECIALLY RENTAL UNITS.**

Policy 3.1

Preserve rental units, especially rent controlled units to meet the City's affordable housing needs.

Policy 3.3

Maintain balance in affordability of existing housing stock by supporting affordable moderate ownership opportunities.

Policy 3.4

Preserve "naturally affordable" housing types, such as smaller and older ownership units.

**OBJECTIVE 4**

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.1

Develop new housing, and encourage the remodeling of existing housing, for families with children.

Policy 4.4

Encourage sufficient and suitable rental housing opportunities, emphasizing permanently affordable rental units wherever possible.

**OBJECTIVE 11**

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.2

Ensure implementation of accepted design standards in project approvals.

Policy 11.3

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

Policy 11.4

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan.

Policy 11.5

Ensure densities in established residential areas promote compatibility with prevailing neighborhood character.

## URBAN DESIGN ELEMENT

### Objectives and Policies

#### OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

##### Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

*The proposed new residential building reflects the existing mixed architectural character and development pattern of the neighborhood. The overall scale, design, and materials of the proposed building will be compatible with the existing neighborhood character of the subject and opposite blocks and consistent with the Residential Design Guidelines. The proposal will also maximize the dwelling unit density permitted on the subject lot with three residential units and will be in full compliance with the requirements of the Planning Code.*

**10. Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*The project site does not have any neighborhood-serving retail uses. The Project provides three residential units. It is not anticipated that the Project will adversely affect the existing neighborhood-serving uses within the Inner Richmond neighborhood.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*The existing housing and neighborhood character will be conserved as the new residential building is designed to be consistent with the Residential Design Guidelines with appropriate scale, design, and materials, and will improve the cultural and economic diversity by maximizing the number of residential units and increasing the number of bedrooms within the maximum allowable density within the RH-3 Zoning District with an appropriate scale of development which is compatible with existing neighborhood character.*

- C. That the City's supply of affordable housing be preserved and enhanced,

*The Project will help provide additional housing opportunities in the City.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*It is not anticipated that the Project would significantly increase the automobile traffic congestion and parking problems in the neighborhood. The Project is within ¼ mile of public transit bus lines (Muni Lines 31, 31AX, 31BX, 38AX, 38BX 38R, 43, and NX). The Project will also include bicycle parking on the project site. There is also on-street parking in front of the project site and within the surrounding neighborhood.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*There is no commercial office development associated with the Project and there will be no displacement of any existing industrial or service businesses in the area proposed with the Project.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The Project will comply with all applicable earthquake safe standards for structural and seismic safety of the Building Code.*

- G. That landmarks and historic buildings be preserved.

*The Project Site is not occupied by any City Landmarks or historic buildings.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*It is not anticipated that the Project will have a significant negative impact on existing parks and open spaces. The proposed project does not exceed the 40-foot height limit and is thus not subject to the requirements of Planning Code Section 295 – Height Restrictions on Structures Shadowing Property Under the Jurisdiction of the Recreation and Park Commission. The height of the proposed structure will be compatible with neighborhood development in an area with two to four story, multi-family residential buildings.*

- 11.** The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
- 12.** The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

## DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2016-005365CUA** subject to the following conditions attached hereto as “EXHIBIT A” in general conformance with plans on file, dated January 9, 2021, and stamped “EXHIBIT B”, which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

**Protest of Fee or Exaction:** You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission’s adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator’s Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on October 21, 2021.

Jonas P. Ionin  
Commission Secretary

AYES:

NAYS:

ABSENT:

RECUSE:

ADOPTED:

# EXHIBIT A

## Authorization

This authorization is for a conditional use to allow the tantamount to demolition of an existing two-story, two-unit residential building and to construct a new three-story, three-unit residential building (with mezzanine and decks) at 230 Anza Street, Block 1091, and Lot 013, pursuant to Planning Code Sections 209.1, 303 and 317 within the RH-3 Zoning District and a 40-X Height and Bulk District; in general conformance with plans, dated January 9, 2021, and stamped "EXHIBIT B" included in the docket for Record No. 2016-005365CUA and subject to conditions of approval reviewed and approved by the Commission on October 21, 2021 under Motion No. XXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

## Recordation of Conditions of Approval

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **October 21, 2021**, under Motion No. XXXXX.

## Printing of Conditions of Approval on Plans

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXX shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

## Severability

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

## Changes and Modifications

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

# CONDITIONS OF APPROVAL, COMPLIANCE, MONITORING, AND REPORTING

## Performance

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

3. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

## Design – Compliance at Plan Stage

- 6. Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7349, [www.sfplanning.org](http://www.sfplanning.org)*

- 7. Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7349, [www.sfplanning.org](http://www.sfplanning.org)*

## Parking and Traffic

- 8. Bicycle Parking.** The Project shall provide no fewer than three (3) Class 1 bicycle parking spaces as required by Planning Code Sections 155.1 and 155.2.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

## Provisions

- 9. Residential Child Care Impact Fee.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

*For information about compliance, contact the Case Planner, Planning Department at 628.652.7349, [www.sfplanning.org](http://www.sfplanning.org)*

## Monitoring - After Entitlement

- 10. Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*



- 11. Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

- 12. Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

*For information about compliance, contact Code Enforcement, Planning Department at 628.652.7463, [www.sfplanning.org](http://www.sfplanning.org)*

# Exhibit B - Plans

ADJ.	ADJUSTABLE
ALUM.	ALUMINUM
ARCH.	ARCHITECTURE
ASPH.	ASPHALT
BD.	BOARD
BDLG.	BUILDING
BDRM.	BEDROOM
BIT.	BITUMINOUS
BLKG.	BLOCKING
BRZ.	BOTTOM OF BRONZE
CLG.	CEILING
CLR.	CLEAR
CNTL.	CONTROL
CONC.	CONCRETE
CONT.	CONTINUOUS
CTR.	CENTER
DBL.	DOUBLE
D.F.	DOUGLAS FIR
DIM.	DIMENSION
DN.	DOWN
D.S.	DOWN SPOUT
DTL.	DETAIL
DWG.	DRAWING
(E)	EXISTING
E.	EAST
EA.	EACH
ELEC.	ELECTRICAL
ELEV.	ELEVATION
EQ.	EQUAL
EXP.	EXPOSED
EXT.	EXTERIOR
FDN.	FOUNDATION
F.F.	FINISH FLOOR
F.G.	FIXED GLAZING
FIN.	FINISH
FLR.	FLOOR
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.S.	FACE OF STUD
F.O.P.	FACE OF PLYWOOD
FURN.	FURNACE
GA.	GAUGE
GALV.	GALVANIZED
GND.	GROUND
GWB.	GYPSUM WALL BOARD
H.B.	HOSE BIB
H.C.	HOLLOW CORE
HDL.	HEADER
HR STR.	HOT-ROLLED STEEL
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
H.W.	HOT WATER HEATER
I.D.	INSIDE DIAMETER
INSUL.	INSULATION
INT.	INTERIOR
LAM.	LAMINATE
LT.	LIGHT
MAX	MAXIMUM
M.C.	MEDICINE CHEST
MECH.	MECHANICAL
MEMB.	MEMBRANE
MFG.	MANUFACTURER
MIN.	MINIMUM
MTL.	METAL
N.I.C.	NOT IN CONTRACT
NO or #	NUMBER
N.T.S.	NOT TO SCALE
O/	OVER
OB.	OBSCURE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OPNG.	OPENING
OPP.	OPPOSITE
OVHD.	OVERHEAD
PL	PLATE
PLAS.	PLASTER
PLYWD.	PLYWOOD
P.T.	PRESSURE TREATED
PT.	POINT
R.	RADIUS
R.A.	RETURN AIR
RDWD.	REDWOOD
REF.	REFERENCE
REFR.	REFRIGERATOR
REG.	REGISTER
REQ.	REQUIRED
RET.	RETURN
RM.	ROOM
RWL	RAIN WATER LEADER
S.	SOUTH
S.A.	SUPPLY AIR
S.A.D.	SEE ARCHITECTURAL DRAWING
S.E.D.	SEE ELECTRICAL DRAWING
SF.	SUBFLOOR
SHT.	SHEET
SHTG.	SHEATHING
S.I.D.	SEE ARCHITECTING DRAWING
S.M.D.	SEE MECHANICAL DRAWING
SPEC'S.	SPECIFICATIONS
SPK.	SPEAKER
S.S.D.	SEE STRUCTURAL DRAWING
STD.	STANDARD
STO.	STORAGE
T&G	TONGUE AND GROOVE
T.O.	TOP OF
T.O.F.F.	TOP OF FINISH FLOOR
T.O.P.	TOP OF PLATE
T.O.S.	TOP OF SLAB
TP	TOILET PAPER HOLDER
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD
W.	WEST
W/	WITH
W/O	WITHOUT
W.C.	WATER CLOSET
WD.	WOOD
WIN.	WINDOW
WP.	WATERPROOF
W.P.	WORK POINT



This architectural rendering shows a modern multi-story residential building. The central structure features a mix of materials: wood siding on the lower level, stone on the middle level, and light-colored horizontal siding on the upper level. It has large, dark-framed windows and a flat roof. To the left is a smaller, single-story building with a gabled roof and a large window. To the right is a taller, more complex structure with multiple levels of windows and a flat roof. The foreground shows a paved area with some small plants and a sidewalk.

SCALE: NTS

ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO ALL REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), AND ALL APPLICABLE LOCAL AND STATE LAWS AND ORDINANCES. NOTHING ON THE DRAWINGS SHALL BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.



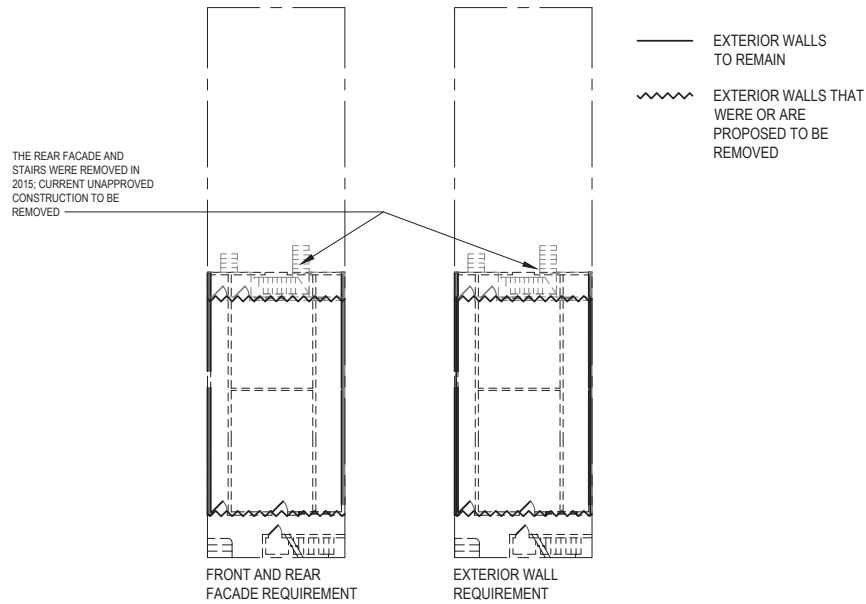
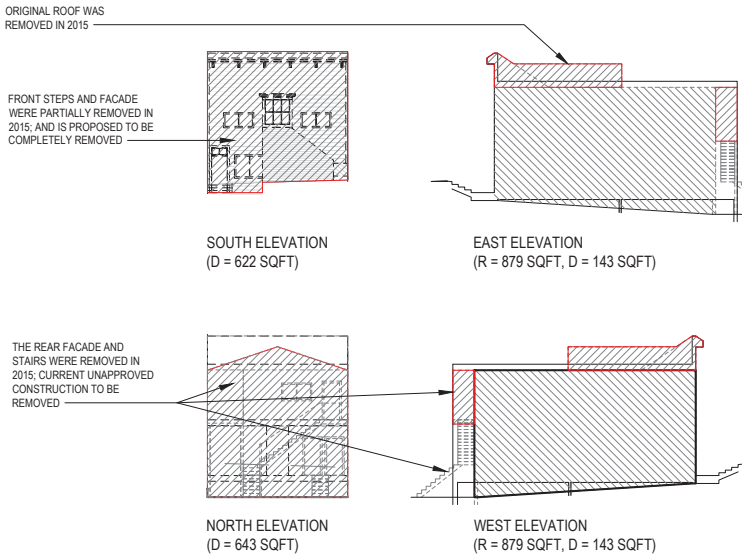
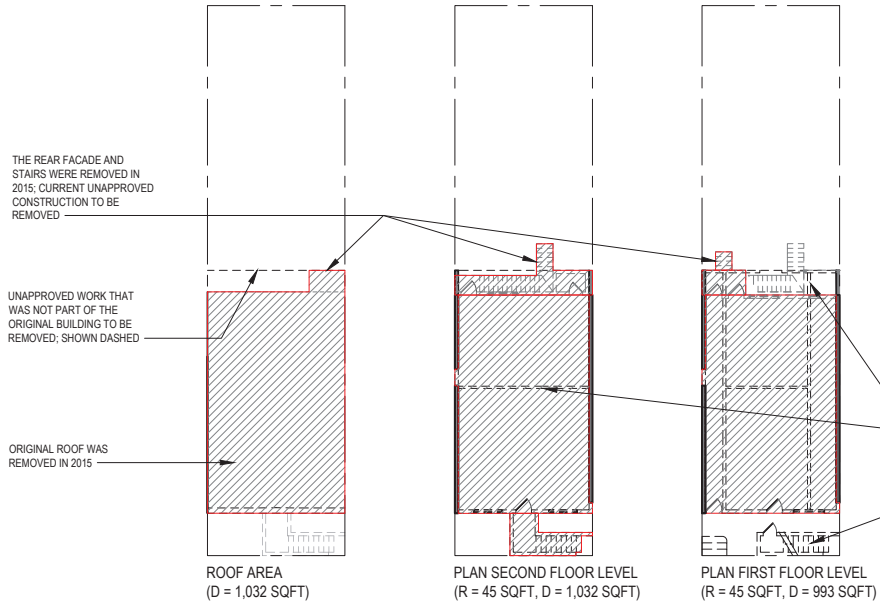
SHEET No. \_\_\_\_\_

A0.00

SUMMARY TABLE NON-DEMOLITION DEMONSTRATION

SECT. 317 - LOSS OF DWELLING UNITS THROUGH DEMOLITION, MERGER, AND CONVERSION				
CODE REQ'T.	(E) BUILDING	REMAINING AFTER DEMO	OUTCOME (CODE)	COMPLIANCE
FRONT + REAR FACADE  (LINEAR FT AT FOUNDATION)	FRONT = 25' REAR = 25'  TOTAL = 50'	FRONT = 0' REAR = 0'  TOTAL = 0'	0% REMAINING OR 100% DEMOED  > 50% (CODE)	DOES NOT COMPLY
ALL EXTERIOR WALLS  (LINEAR FT AT FOUNDATION)	NORTH = 25' EAST = 39.7' SOUTH = 25' WEST = 39.7'  TOTAL = 129.4'	NORTH = 0' EAST = 39.7' SOUTH = 0' WEST = 39.7'  TOTAL = 79.4'	61.4% REMAINING OR 38.6% DEMOED < 65% (CODE)	COMPLIES
VERTICAL ENVELOPE  (SF OF SURFACE)	NORTH = 643 SF EAST = 1,022 SF SOUTH = 622 SF WEST = 1,022 SF  TOTAL = 3,309 SF	NORTH = 0 SF EAST = 879 SF SOUTH = 0 SF WEST = 879 SF  TOTAL = 1,758 SF	53.1% REMAINING OR 46.9% DEMOED < 50% (CODE)	COMPLIES
HORIZONTAL ELEMENTS  (SF OF SURFACE AREA)	1ST = 1,038 SF 2ND = 1,178 SF ROOF = 1,032 SF  TOTAL = 3,248 SF	1ST = 45 SF 2ND = 45 SF ROOF = 0 SF  TOTAL = 90 SF	2.8% REMAINING OR 97.2% DEMOED > 50% (CODE)	DOES NOT COMPLY

PROPOSED DEMOLITION FROM ORIGINAL STRUCTURE (BEFORE UNAPPROVED DEMOLITION AND CONSTRUCTION OCCURRED IN 2015)



HORIZONTAL ELEMENTS REQUIREMENT

SUM OF HORIZONTAL ELEMENTS IN SQ. FT.

	TO REMAIN	DEMOLISH	TOTAL
1ST FLOOR	45	993	1,038
2ND FLOOR	45	1,133	1,178
ROOF AREA	-	1,032	1,032
TOTAL	90 2.8%	3,158 97.2%	3,248 100%

HORIZONTAL ELEMENT TO REMAIN (R)

HORIZONTAL ELEMENT OF ORIGINAL BUILDING TO BE REMOVED OR WAS REMOVED IN 2015 (D)

VERTICAL ENVELOPE ELEMENTS REQUIREMENT

SUM OF VERTICAL ENVELOPE ELEMENTS IN SQ. FT.

	TO REMAIN	DEMOLISH	TOTAL
NORTH ELEVATION	-	643	643
EAST ELEVATION	879	143	1,022
SOUTH ELEVATION	-	622	622
WEST ELEVATION	879	143	1,022
TOTAL	1,758 53.1%	1,551 46.9%	3,309 100%

VERTICAL ENVELOPE ELEMENT TO REMAIN (R)

VERTICAL ENVELOPE ELEMENT OF ORIGINAL BUILDING TO BE REMOVED OR WAS REMOVED IN 2015 (D)

FRONT AND REAR FACADE REQUIREMENT

FRONT AND REAR FACADE MEASURED IN LINEAR FEET AT FOUNDATION LEVEL

	THAT REMAINED	DEMOLISHED	TOTAL
NORTH ELEVATION	-	25	25
SOUTH ELEVATION	-	25	25
TOTAL	- 0%	50 100%	50 100%

EXTERIOR WALL REQUIREMENT

EXTERIOR WALLS MEASURED IN LINEAR FEET AT FOUNDATION LEVEL

	THAT REMAINED	DEMOLISHED	TOTAL
NORTH ELEVATION	-	25	25
EAST ELEVATION	39.7	-	39.7
SOUTH ELEVATION	-	25	25
WEST ELEVATION	39.7	-	39.7
TOTAL	79.4 61.4%	50 38.6%	129.4 100%

PUBLICATIONS

No.	DESCRIPTION	DATE
		1/9/2021

PROPERTY IDENTIFICATION

APN: 1091-013

ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

PROJECT:

PROJECT No: 1903

DRAWN BY:

DRAWING DESCRIPTION:

DEMOLITION  
CALCULATIONS

SCALE: AS NOTED

SHEET No:

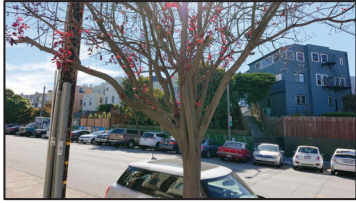
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2 ADJACENT BLDGS. (35, 15, 14)  
SCALE: NTS



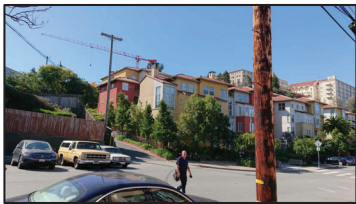
3 ADJACENT BLDGS. (12, 11, 10, 9B, 9A)  
SCALE: NTS



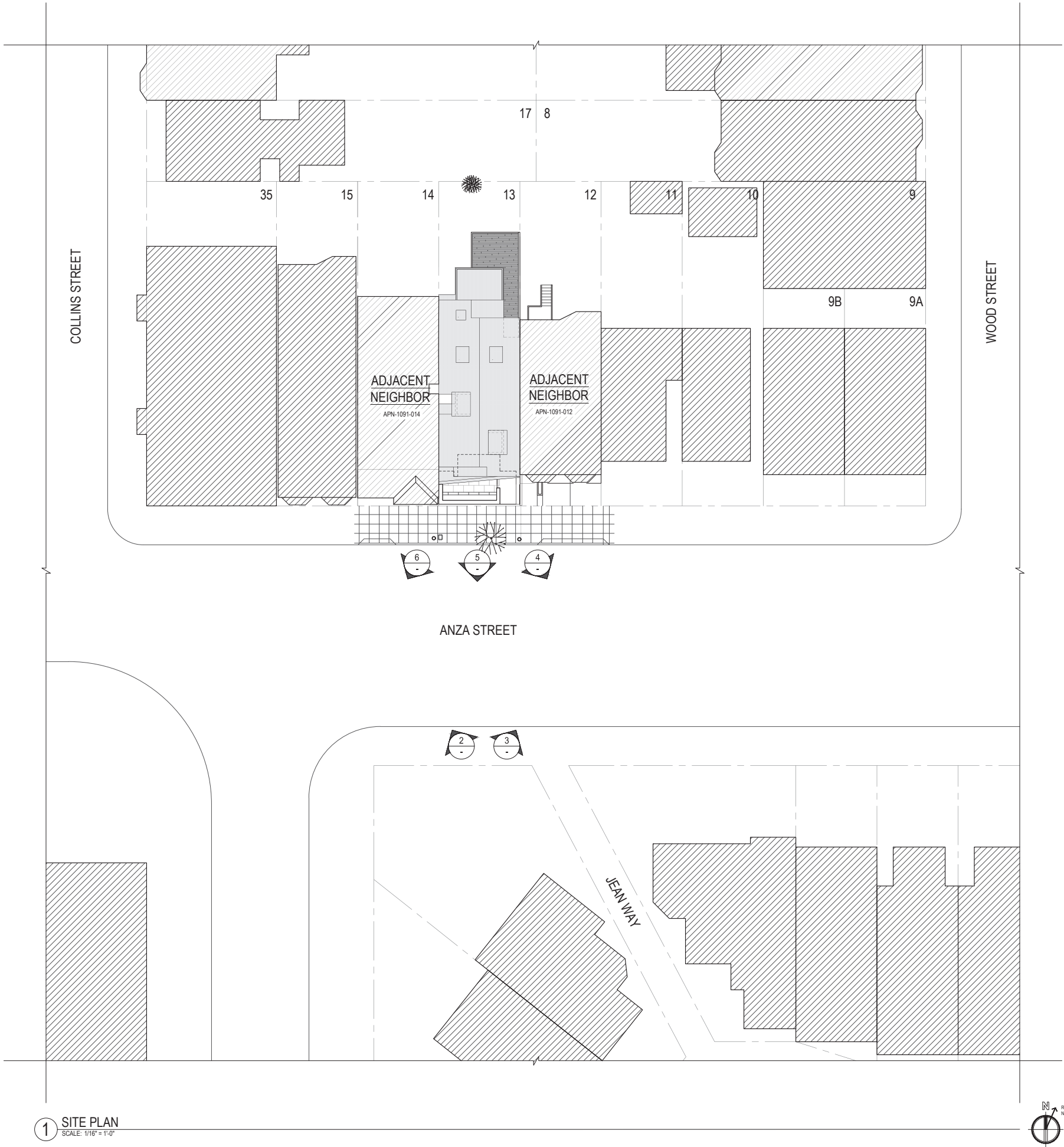
4 OPPOSITE SIDE OF STREET  
SCALE: NTS



5 OPPOSITE SIDE OF STREET  
SCALE: NTS



6 OPPOSITE SIDE OF STREET  
SCALE: NTS



1 SITE PLAN  
SCALE: 1/16" = 1'-0"

PUBLICATIONS		
No.	DESCRIPTION	DATE
		1/9/2021

PROPERTY IDENTIFICATION  
APN: 1091-013

ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

PROJECT:  
PROJECT No: 1903  
DRAWN BY: DAVIN L.  
DRAWING DESCRIPTION:  
OVERALL SITE PLAN

SCALE: AS NOTED  
SHEET No:





# A0.03



PUBLICATIONS		
No.	DESCRIPTION	DATE
		1/9/2021

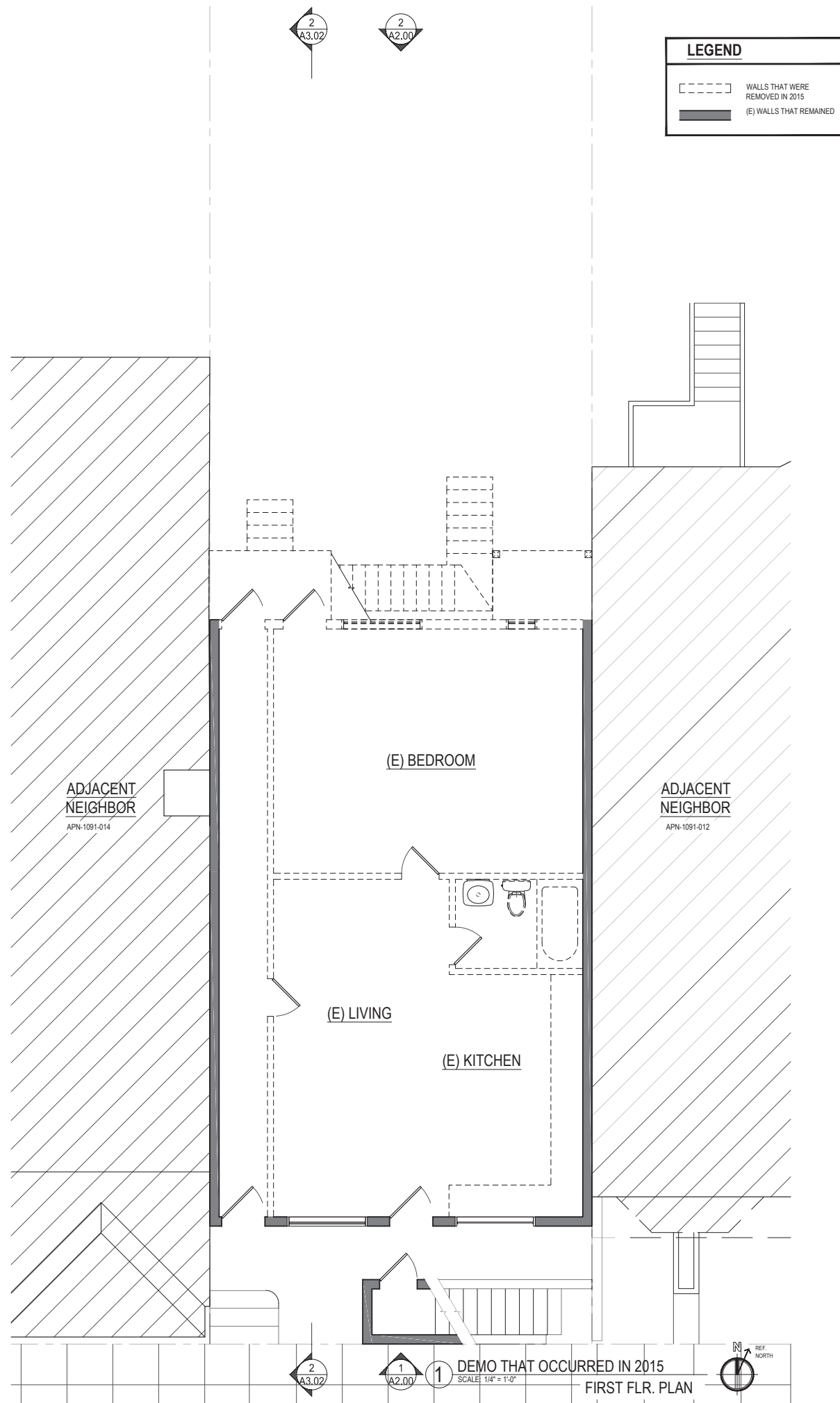
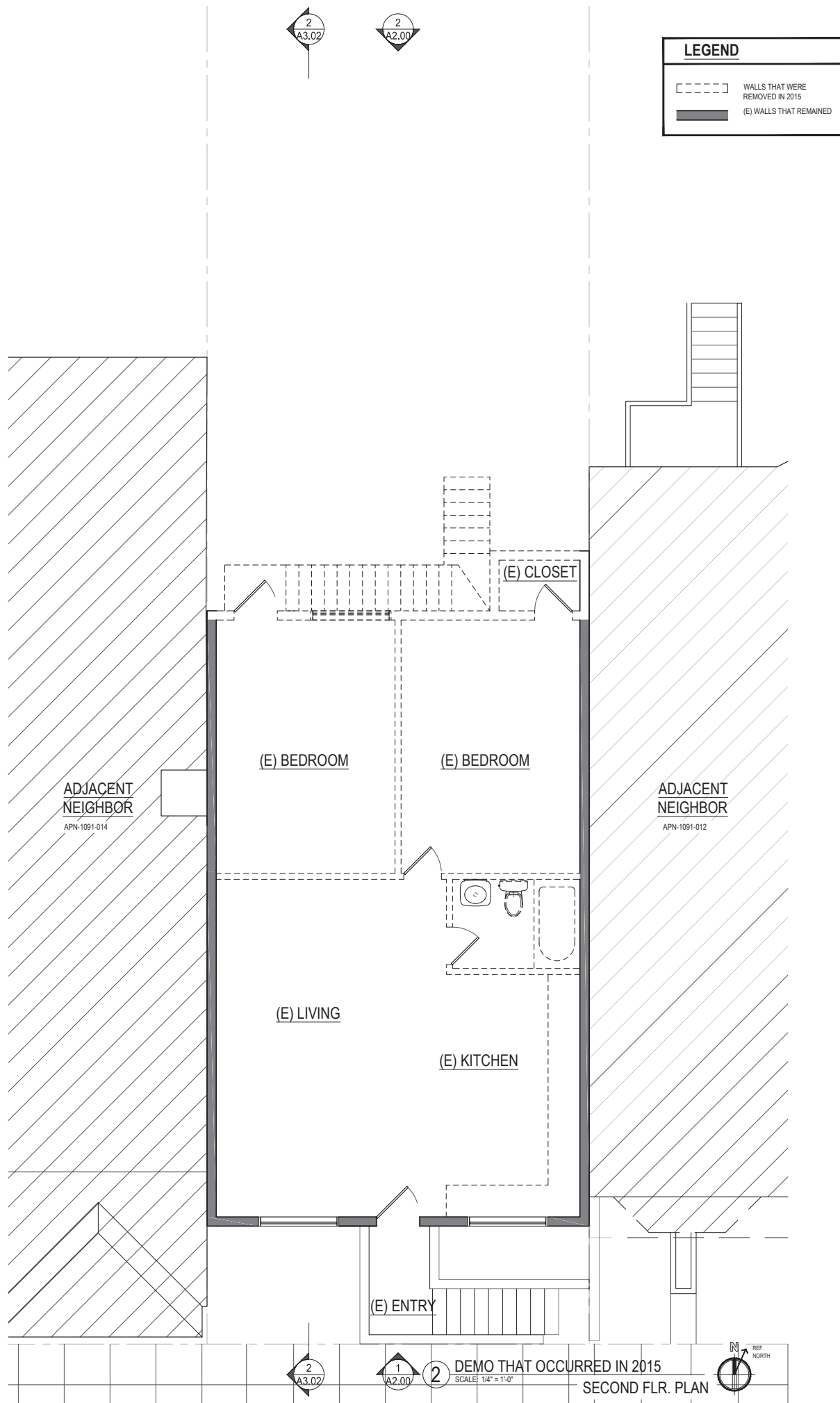
PROPERTY IDENTIFICATION	
APN: 1091-013	

ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

PROJECT:  
PROJECT No: 1903  
DRAWN BY:  
DRAWING DESCRIPTION:  
EXISTING AND  
DEMOLITION THAT  
OCCURRED IN 2015

SCALE: AS NOTED  
SHEET No:

A1.00



PUBLICATIONS		
No.	DESCRIPTION	DATE
		1/9/2021

PROPERTY IDENTIFICATION	
APN: 1091-013	



ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

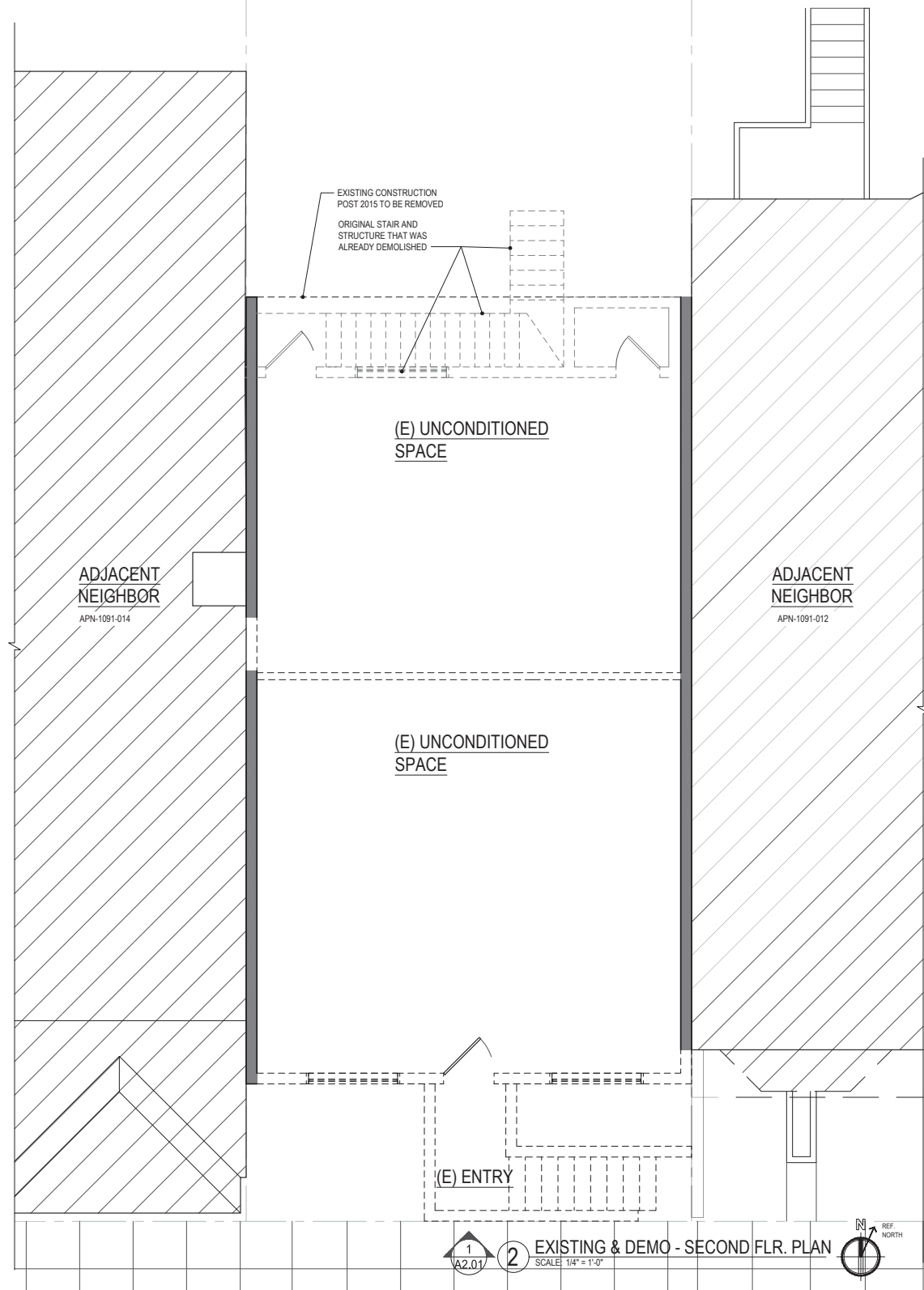
PROJECT:	
PROJECT No:	1903
DRAWN BY:	
DRAWING DESCRIPTION:	
CURRENT EXISTING FRAMING, REMAINING ORIGINAL CONSTRUCTION, AND PROPOSED DEMOLITION PLAN	

SCALE:	AS NOTED
SHEET No:	



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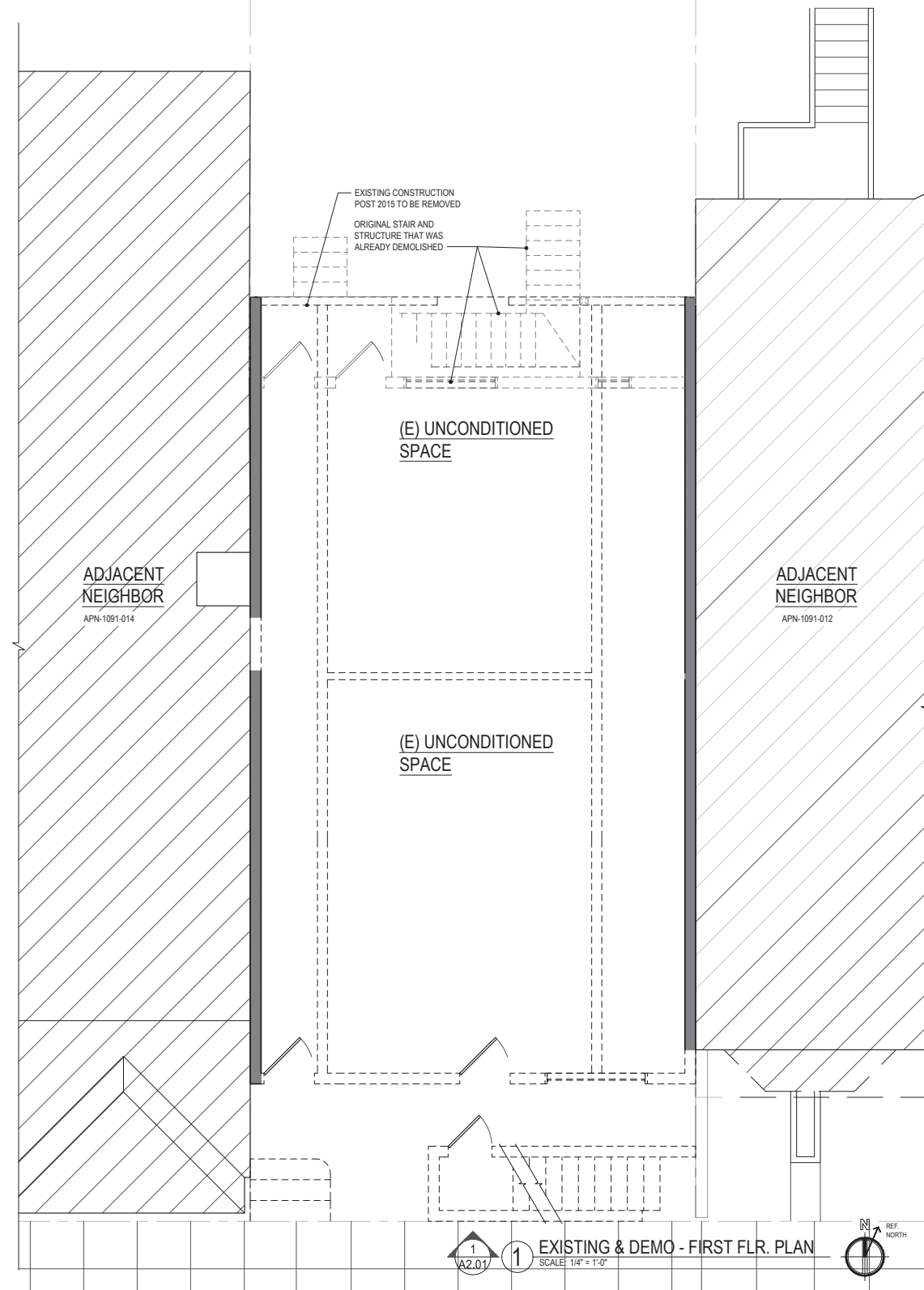
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LEGEND	
	TO BE REMOVED
	(E) WALLS TO REMAIN



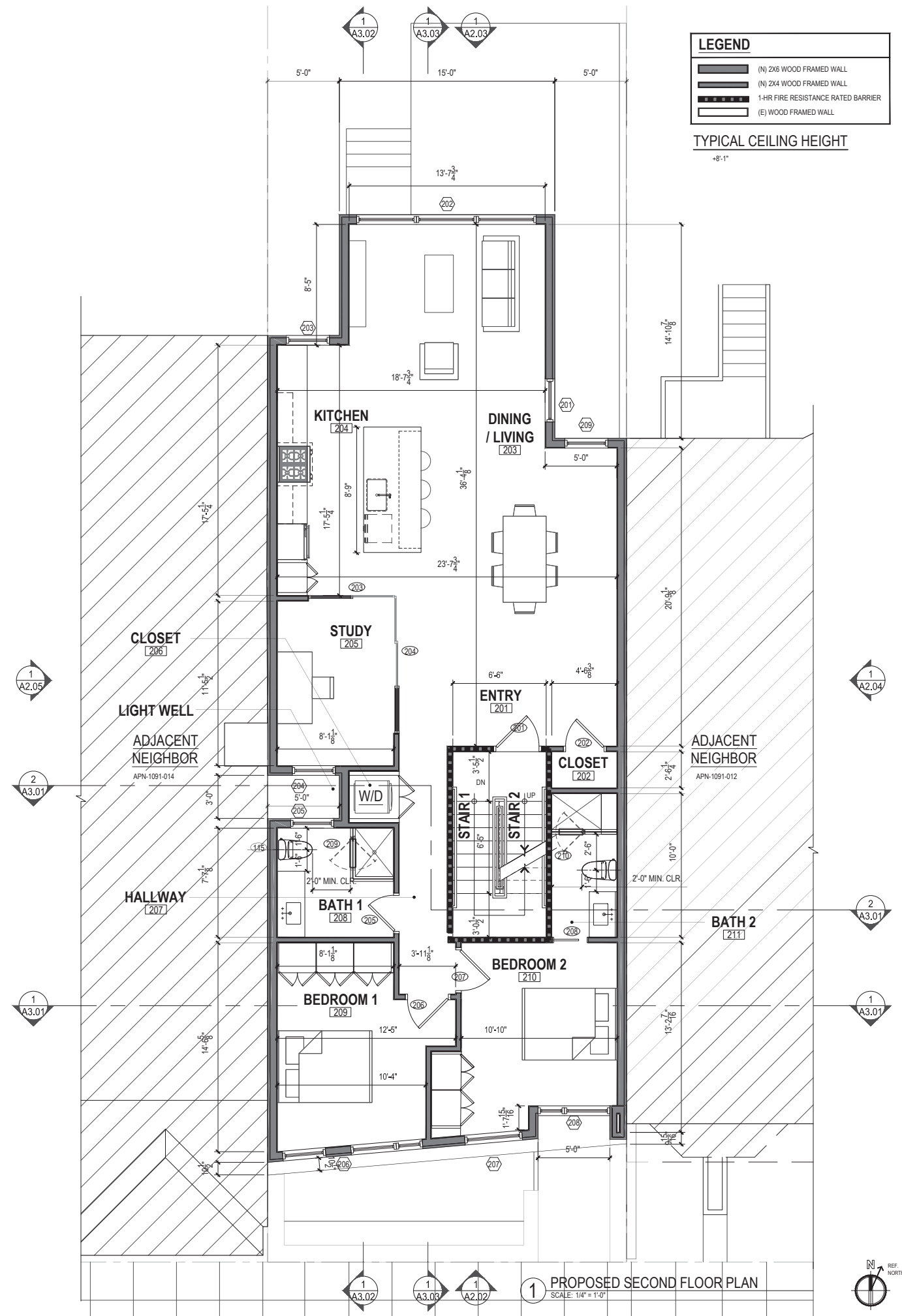
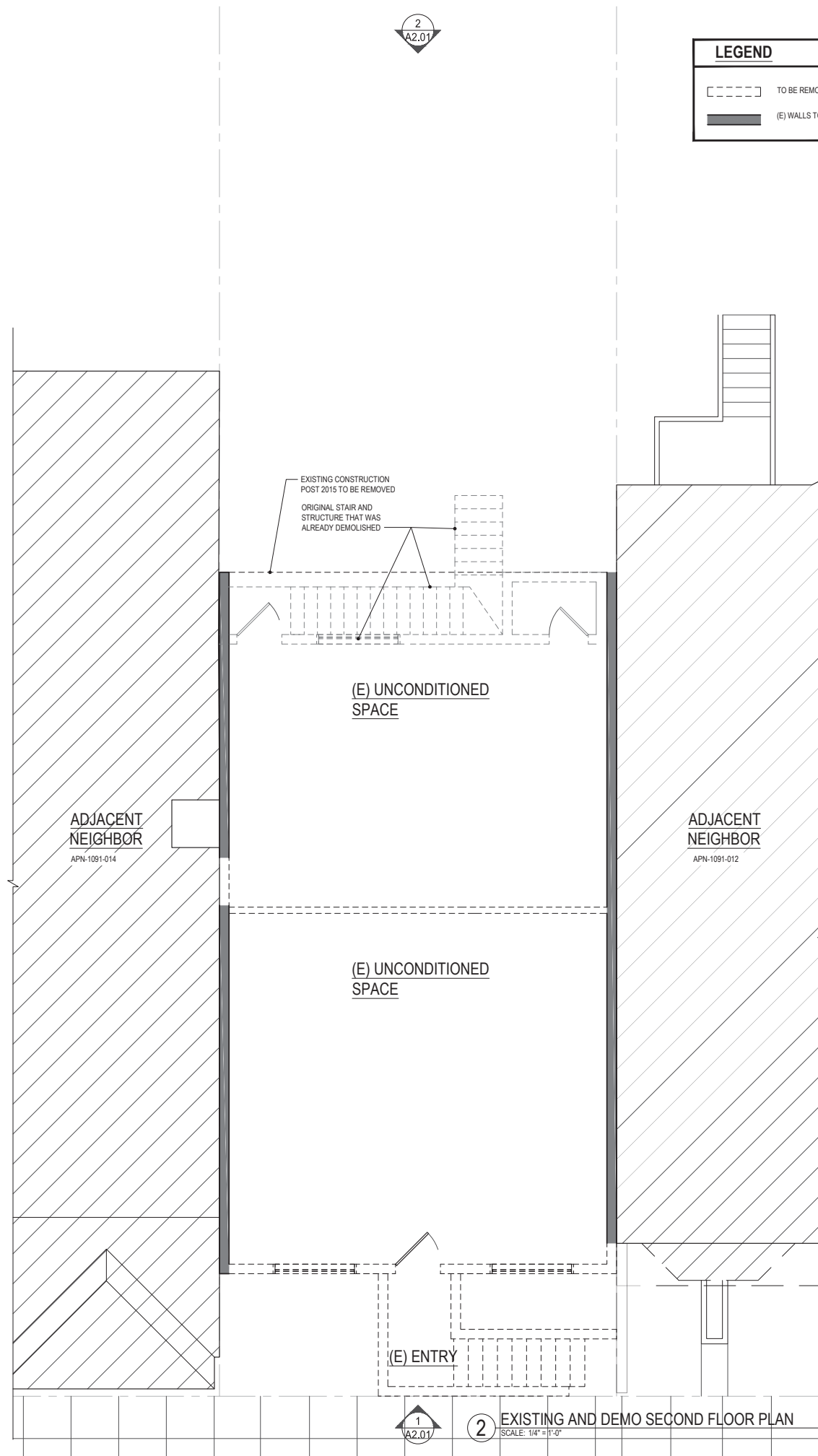
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A2.01

LEGEND	
	TO BE REMOVED
	(E) WALLS TO REMAIN







[illegible]PROPERTY IDENTIFICATION  
 PN: 1091-013

ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

PROJECT No: 1903

DRAWN BY: DAVIN L.

DRAWING DESCRIPTION:

**EXISTING / DEMO AND  
PROPOSED SECOND  
FLOOR PLANS**

SCALE: **AS NOTED**

SHEET No:

## A1.03

2  
A2.01

LEGEND

TO BE REMOVED

(E) WALLS TO REMAIN

EXISTING CONSTRUCTION  
POST 2015 TO BE REMOVED  
ORIGINAL ROOF LINE: ROOF  
WAS ALREADY DEMOLISHED  
IN 2015

ADJACENT  
NEIGHBOR  
APN-1091-014

ADJACENT  
NEIGHBOR  
APN-1091-012

(E) ENTRY

1  
A2.01

2  
EXISTING AND DEMO ROOF PLAN  
SCALE: 1/4" = 1'-0"



LEGEND

(N) 2X6 WOOD FRAMED WALL

(N) 2X4 WOOD FRAMED WALL

1-HR FIRE RESISTANCE RATED BARRIER

(E) WOOD FRAMED WALL

TYPICAL CEILING HEIGHT  
VAULTED CEILINGS AT COMMON SPACES;  
-8'-1" AT BEDROOMS, HALLWAY AND BATHS



415.896.9500  
RemickSessions.com  
1230 Howard Street  
San Francisco, CA 94103  
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PUBLICATIONS		
No.	DESCRIPTION	DATE
1		1/9/2021

PROPERTY IDENTIFICATION  
APN: 1091-013

ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

PROJECT:  
PROJECT No: 1903  
DRAWN BY: DAVIN L.  
DRAWING DESCRIPTION:  
EXISTING / DEMO ROOF  
AND PROPOSED THIRD  
FLOOR PLANS

SCALE: AS NOTED  
SHEET No:

A1.04

1  
A3.02

1  
A3.03

1  
A2.03

1  
A2.04

2  
A3.01

1  
A3.01

1  
A3.02

1  
A3.03

1  
A2.02

1  
PROPOSED THIRD FLOOR PLAN  
SCALE: 1/4" = 1'-0"



PUBLICATIONS		
No.	DESCRIPTION	DATE
1		1/9/2021

PROPERTY IDENTIFICATION	
APN: 1091-013	

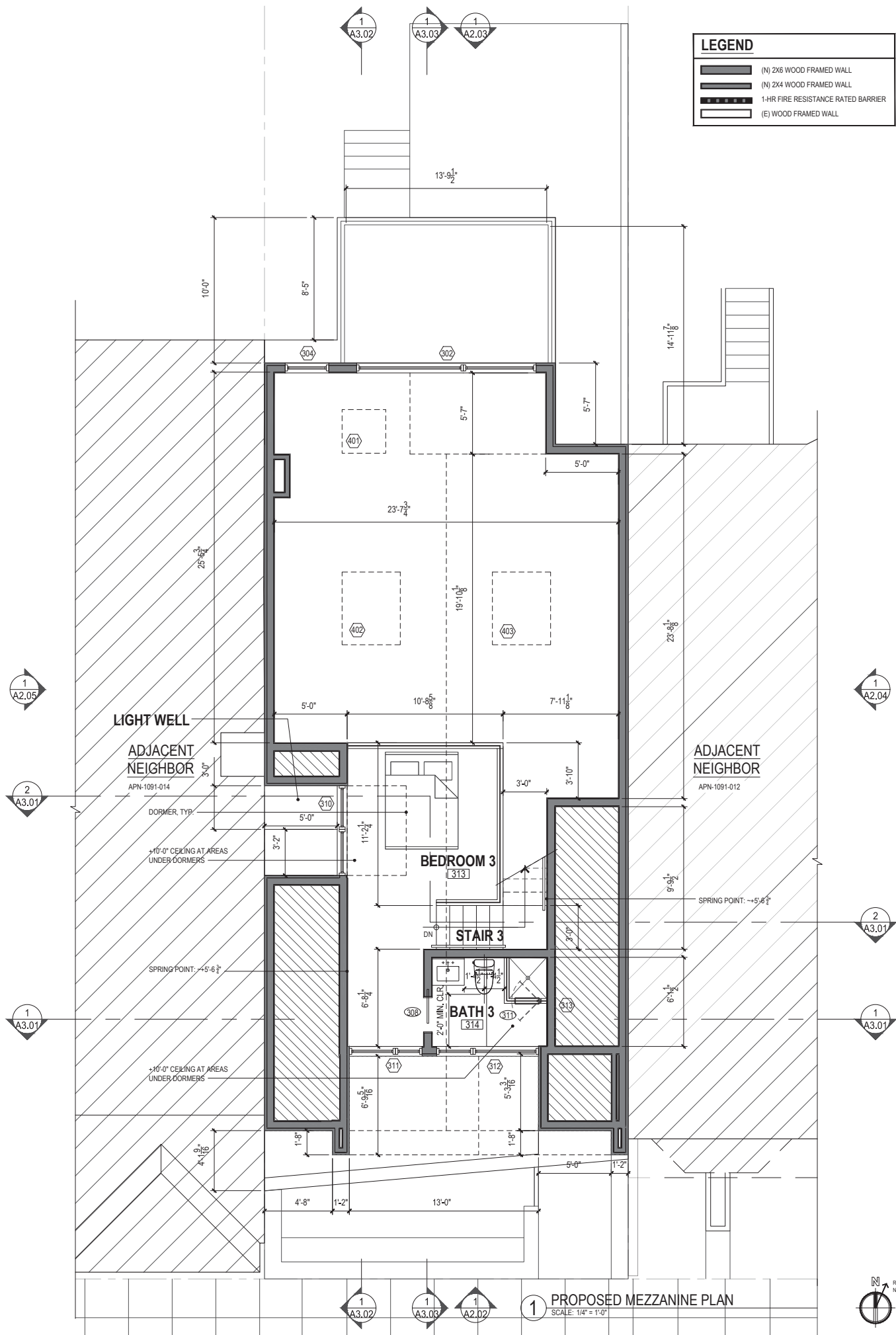
ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

PROJECT: \_\_\_\_\_  
PROJECT No: 1903  
DRAWN BY: DAVIN L.  
DRAWING DESCRIPTION:  
**PROPOSED MEZZANINE  
FLOOR PLAN**

SCALE: **AS NOTED**  
SHEET No: \_\_\_\_\_



A1.05



1 PROPOSED MEZZANINE PLAN  
SCALE: 1/4" = 1'-0"

PUBLICATIONS		
No.	DESCRIPTION	DATE
1		1/9/2021

PROPERTY IDENTIFICATION	
APN:	1091-013

ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

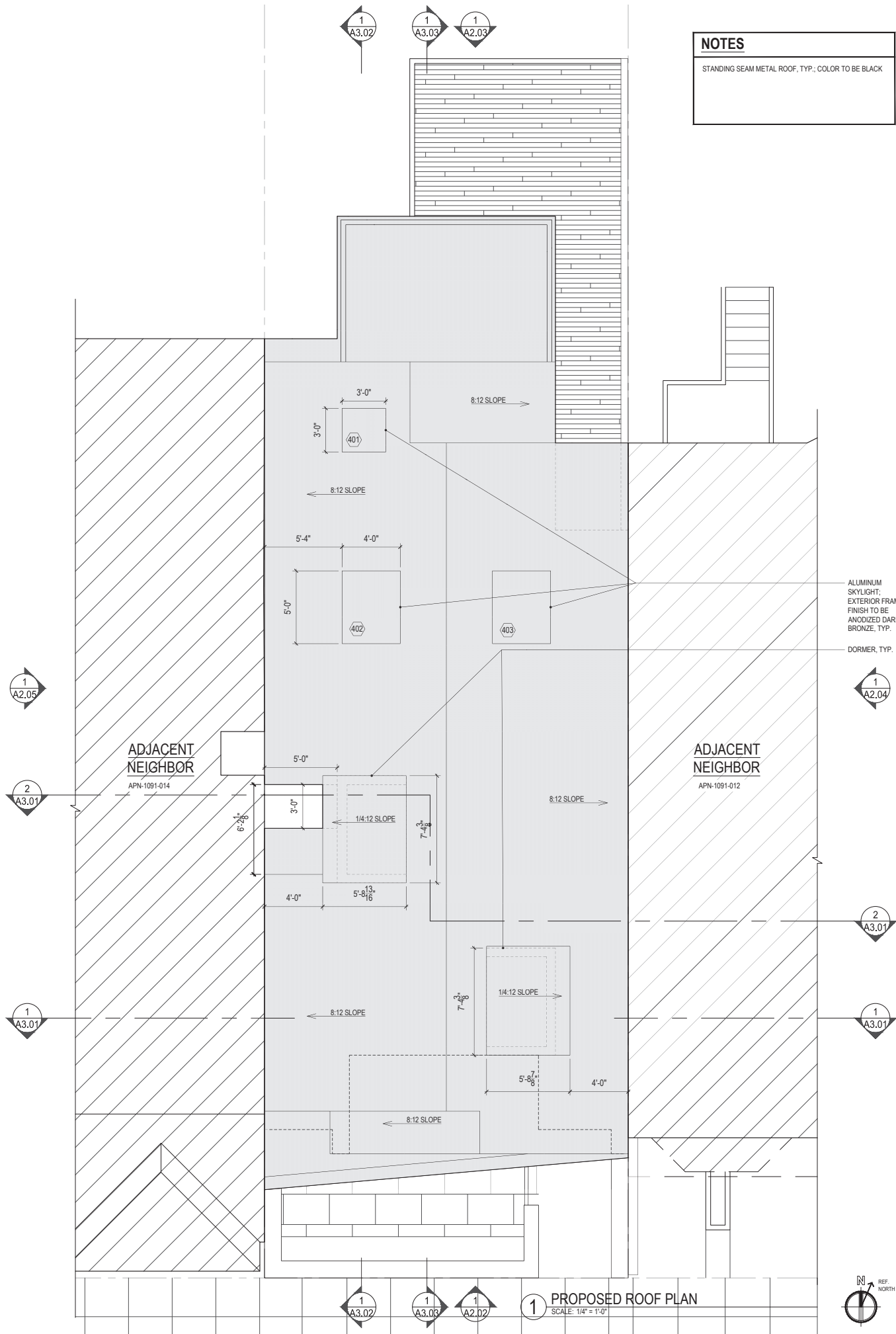
PROJECT:  
PROJECT No: 1903  
DRAWN BY: DAVIN L.  
DRAWING DESCRIPTION:  
PROPOSED ROOF PLAN

SCALE: AS NOTED  
SHEET No:

A1.06

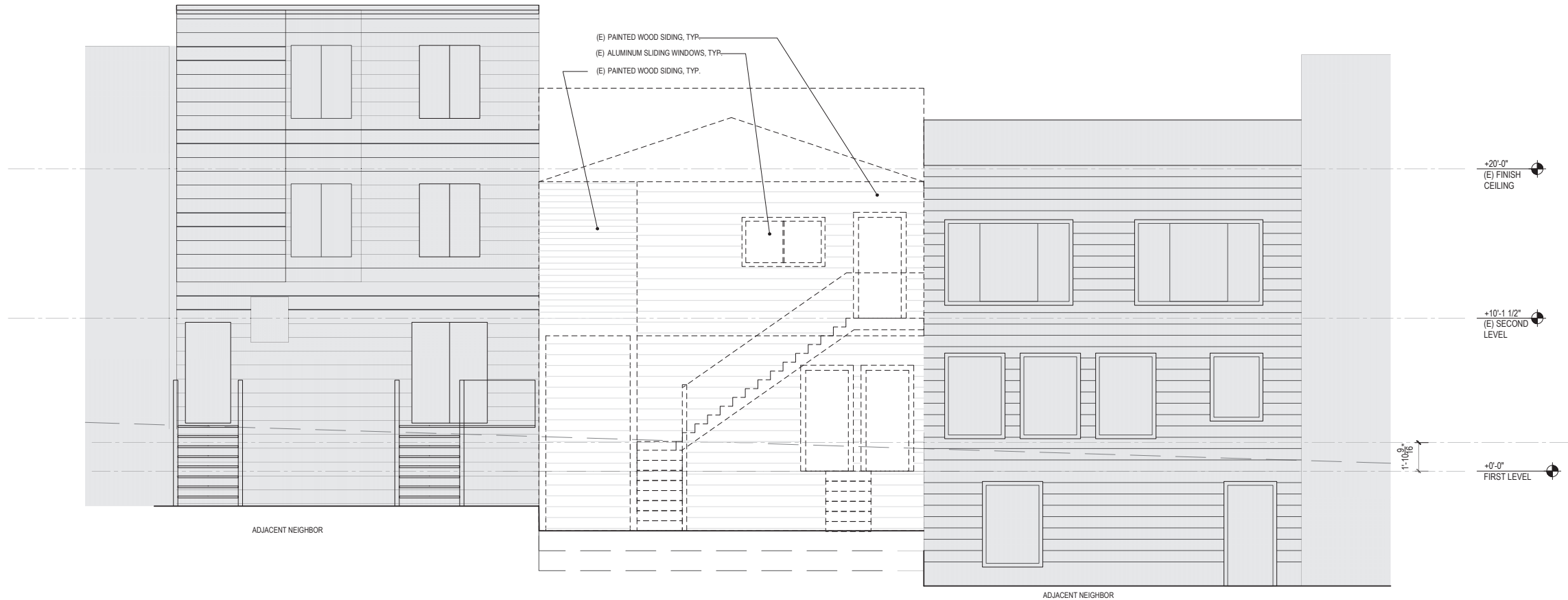
NOTES

STANDING SEAM METAL ROOF, TYP.; COLOR TO BE BLACK



PUBLICATIONS		
No.	DESCRIPTION	DATE
		1/9/2021

PROPERTY IDENTIFICATION	
APN:	1091-013



2 EXISTING REAR ELEVATION AND DEMOLITION THAT OCCURED IN 2015  
SCALE: 1/4" = 1'-0"



1 EXISTING FRONT ELEVATION - FRONT ELEVATION IS STILL EXISTING  
SCALE: 1/4" = 1'-0"

#### NOTES

(E) EXTERIOR SIDE WALLS AND FLOOR  
STRUCTURE TO REMAIN

ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

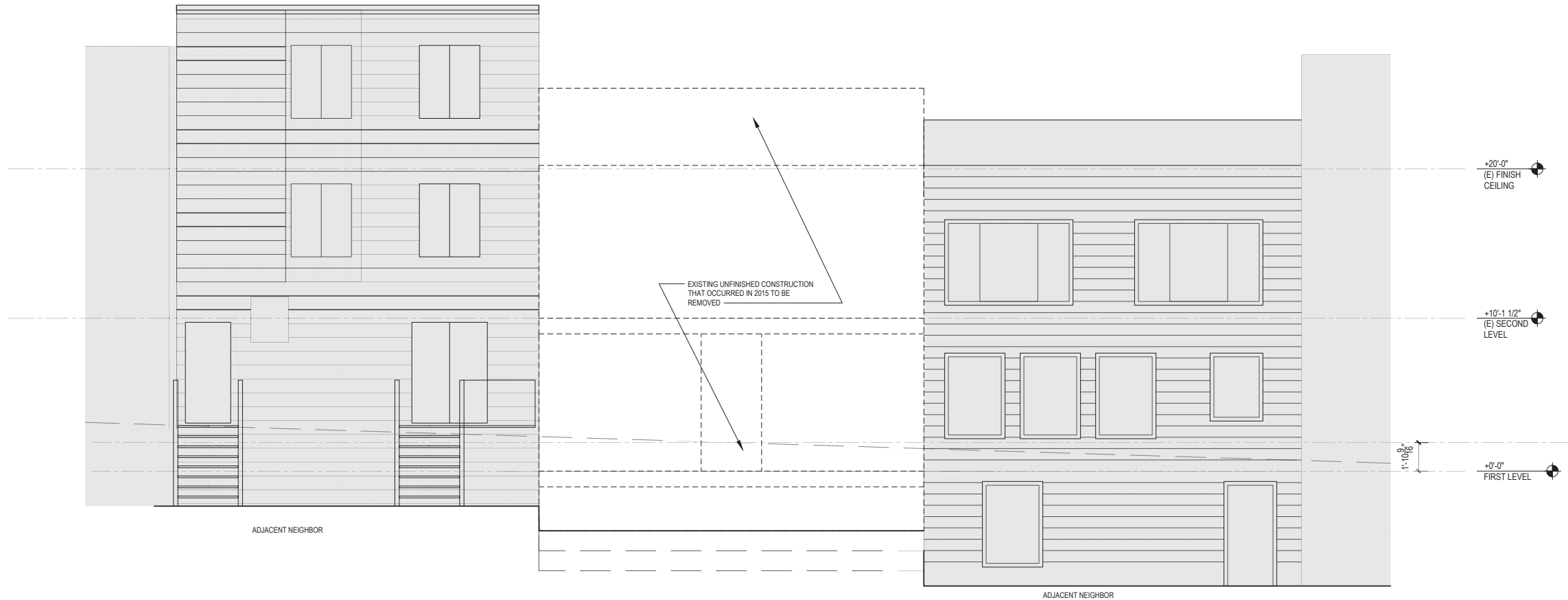
PROJECT:  
PROJECT No: 1903  
DRAWN BY: DAVIN L.  
DRAWING DESCRIPTION:  
EXISTING EXTERIOR  
ELEVATIONS AND  
DEMOLITION THAT  
OCCURRED IN 2015

SCALE: AS NOTED  
SHEET No:

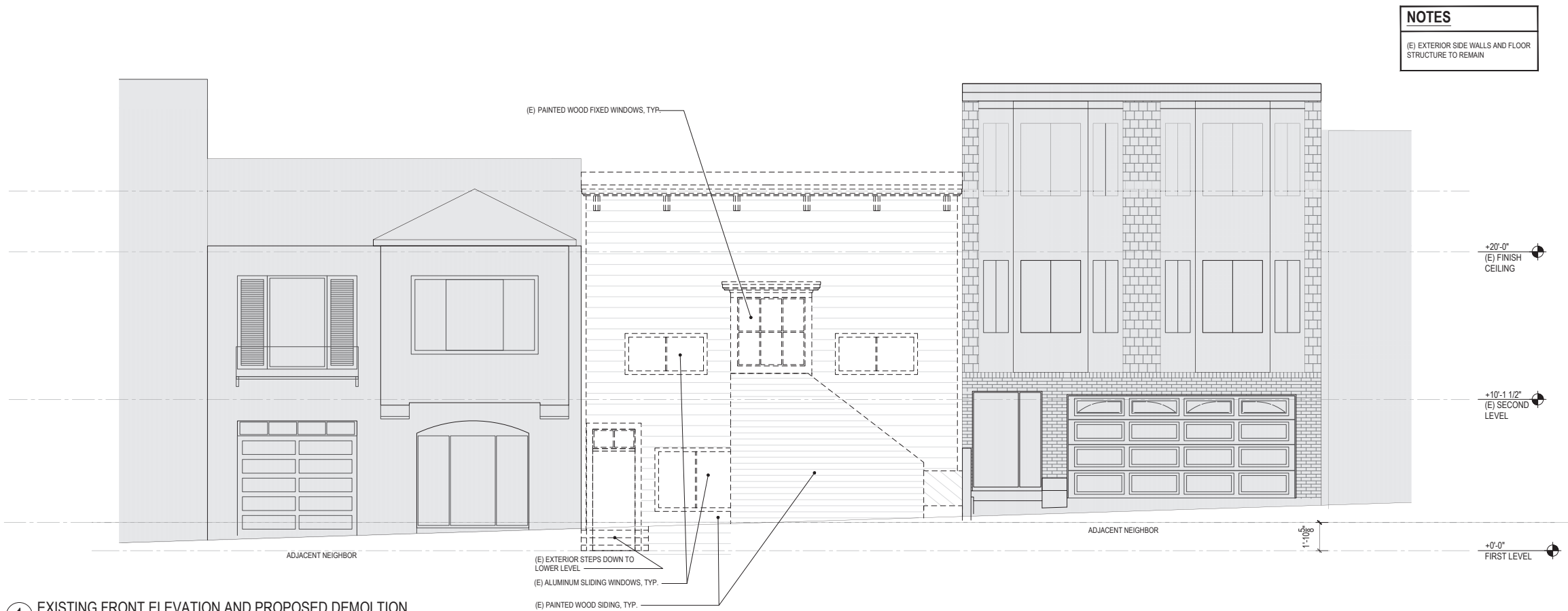
A2.00

PUBLICATIONS		
No.	DESCRIPTION	DATE
		1/9/2021

PROPERTY IDENTIFICATION  
APN: 1091-013



2 EXISTING REAR ELEVATION AND PROPOSED DEMOLITION INCLUDING ORIGINAL FACADE THAT WAS REMOVED IN 2015  
SCALE: 1/4" = 1'-0"



1 EXISTING FRONT ELEVATION AND PROPOSED DEMOLITION  
SCALE: 1/4" = 1'-0"

ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

PROJECT:  
PROJECT No: 1903  
DRAWN BY: DAVIN L.  
DRAWING DESCRIPTION:  
EXISTING EXTERIOR  
ELEVATIONS AND  
CURRENT PROPOSED  
DEMOLITION

SCALE: AS NOTED  
SHEET No:

A2.01



PUBLICATIONS

No.	DESCRIPTION	DATE
		1/9/2021

PROPERTY IDENTIFICATION

APN: 1091-013

ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

PROJECT:  
PROJECT No: 1903  
DRAWN BY: DAVIN L.  
DRAWING DESCRIPTION:  
PROPOSED EXTERIOR  
ELEVATIONS

SCALE: AS NOTED  
SHEET No:

A2.02

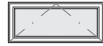
WINDOW TYPES



FIXED WINDOW

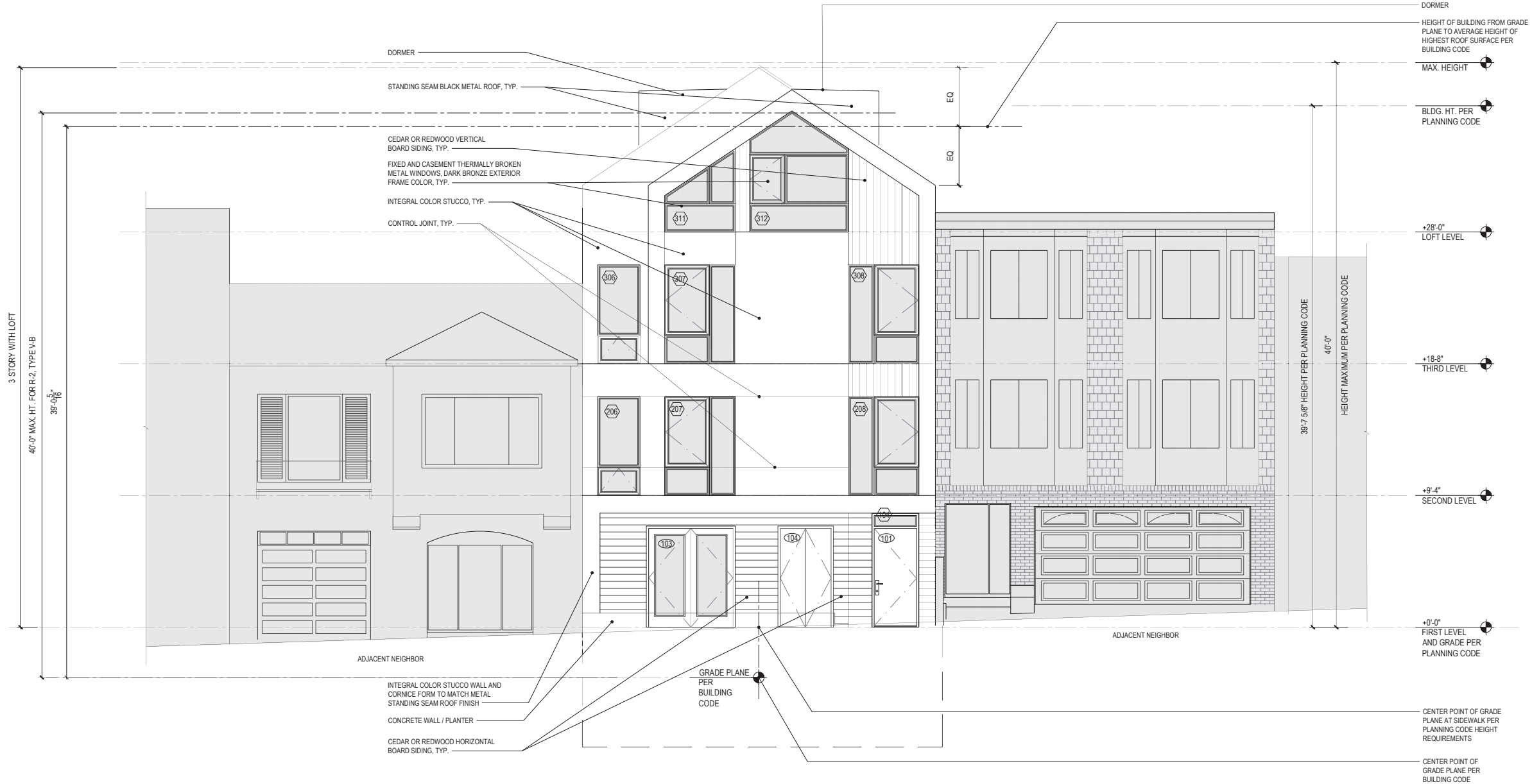


CASEMENT WINDOW



AWNING WINDOW

WINDOW SPECIFICATION: WINDOWS BY WESTERN, MODEL SERIES 7660, THERMALLY BROKEN ALUMINUM WINDOWS, EXTERIOR FRAME FINISH TO BE ANODIZED DARK BRONZE



1 PROPOSED FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



PUBLICATIONS		
No.	DESCRIPTION	DATE
		1/9/2021

PROPERTY IDENTIFICATION	
APN:	1091-013

ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

PROJECT:  
PROJECT No: 1903  
DRAWN BY: DAVIN L.  
DRAWING DESCRIPTION:  
PROPOSED EXTERIOR  
ELEVATIONS

SCALE: AS NOTED  
SHEET No:

A2.03

#### WINDOW TYPES



FIXED WINDOW

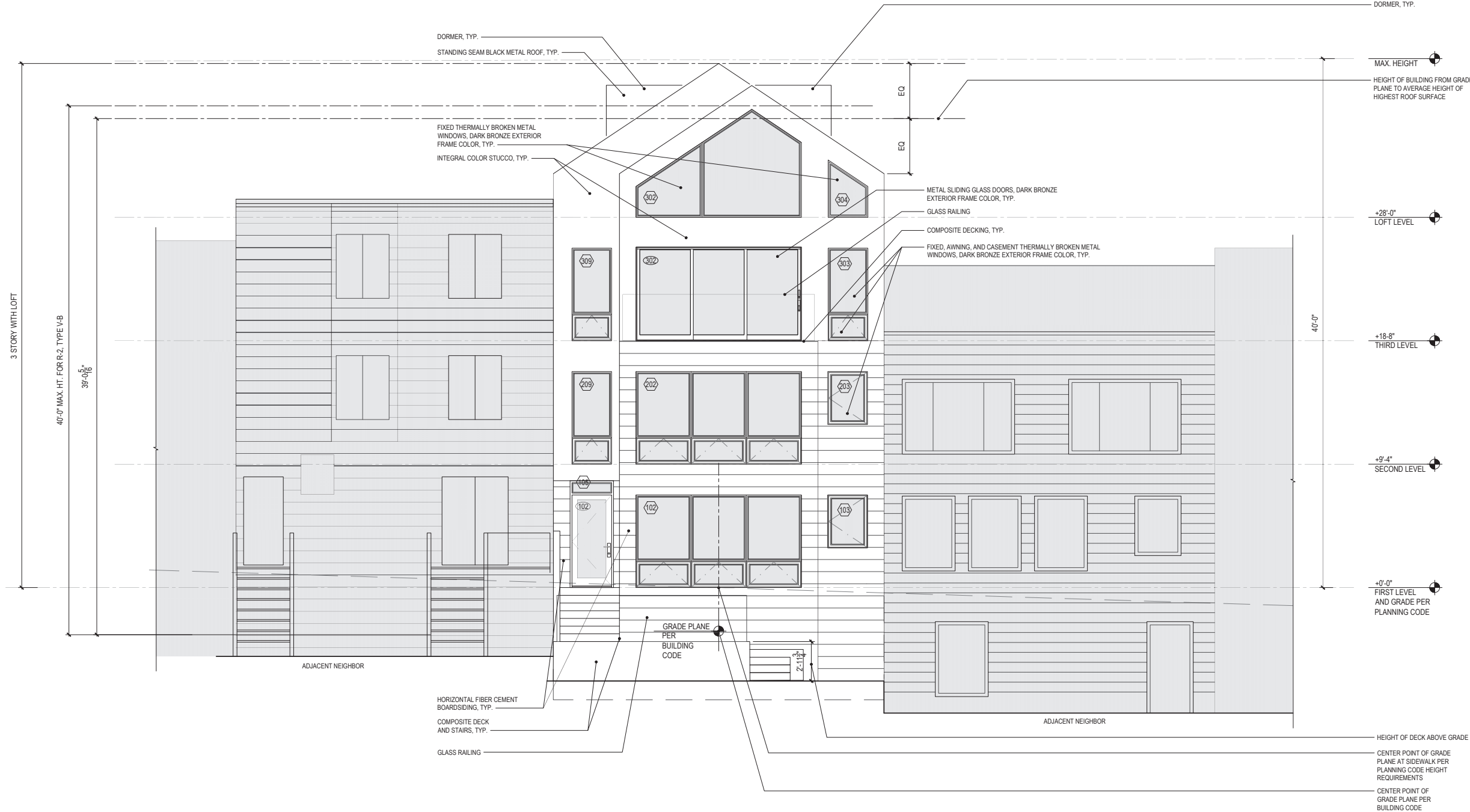


CASEMENT WINDOW



AWNING WINDOW

WINDOW SPECIFICATION: WINDOWS BY WESTERN, MODEL SERIES 7660, THERMALLY BROKEN ALUMINUM WINDOWS, EXTERIOR FRAME FINISH TO BE ANODIZED DARK BRONZE



1 PROPOSED REAR ELEVATION  
SCALE: 1/4" = 1'-0"

PUBLICATIONS		
No.	DESCRIPTION	DATE
		1/9/2021

PROPERTY IDENTIFICATION	
APN:	1091-013

ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

PROJECT:  
PROJECT No: 1903  
DRAWN BY: DAVIN L.  
DRAWING DESCRIPTION:  
PROPOSED EXTERIOR  
ELEVATIONS

SCALE: AS NOTED  
SHEET No:

A2.04

#### WINDOW TYPES



FIXED WINDOW

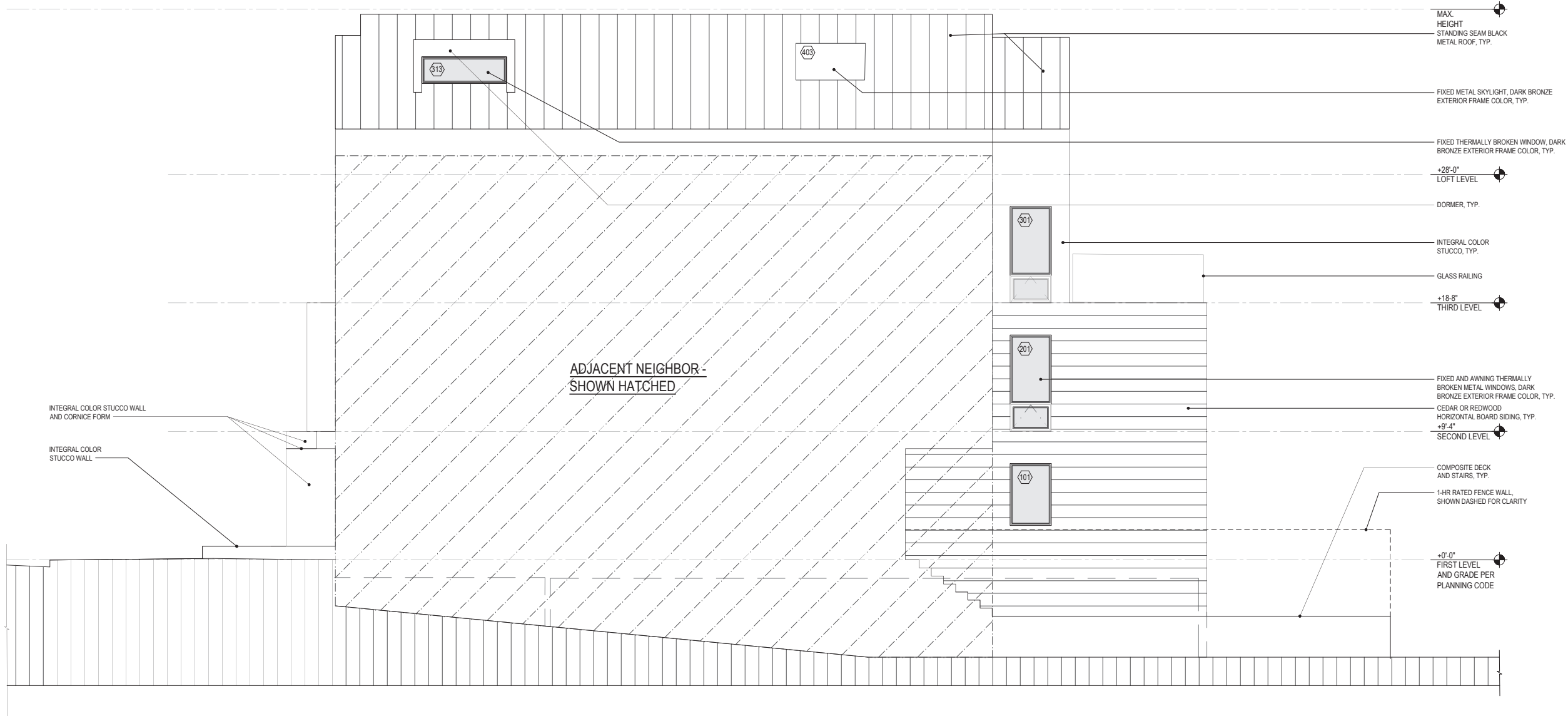


CASEMENT  
WINDOW



AWNING WINDOW

WINDOW SPECIFICATION: WINDOWS BY WESTERN, MODEL SERIES 7660,  
THERMALLY BROKEN ALUMINUM WINDOWS, EXTERIOR FRAME FINISH TO  
BE ANODIZED DARK BRONZE



1 PROPOSED EAST ELEVATION  
SCALE: 1/4" = 1'-0"

PUBLICATIONS		
No.	DESCRIPTION	DATE
		1/9/2021

PROPERTY IDENTIFICATION	
APN:	1091-013

ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

PROJECT:  
PROJECT No: 1903  
DRAWN BY: DAVIN L.  
DRAWING DESCRIPTION:  
PROPOSED EXTERIOR  
ELEVATIONS

SCALE: AS NOTED  
SHEET No:

A2.05

#### WINDOW TYPES



FIXED WINDOW

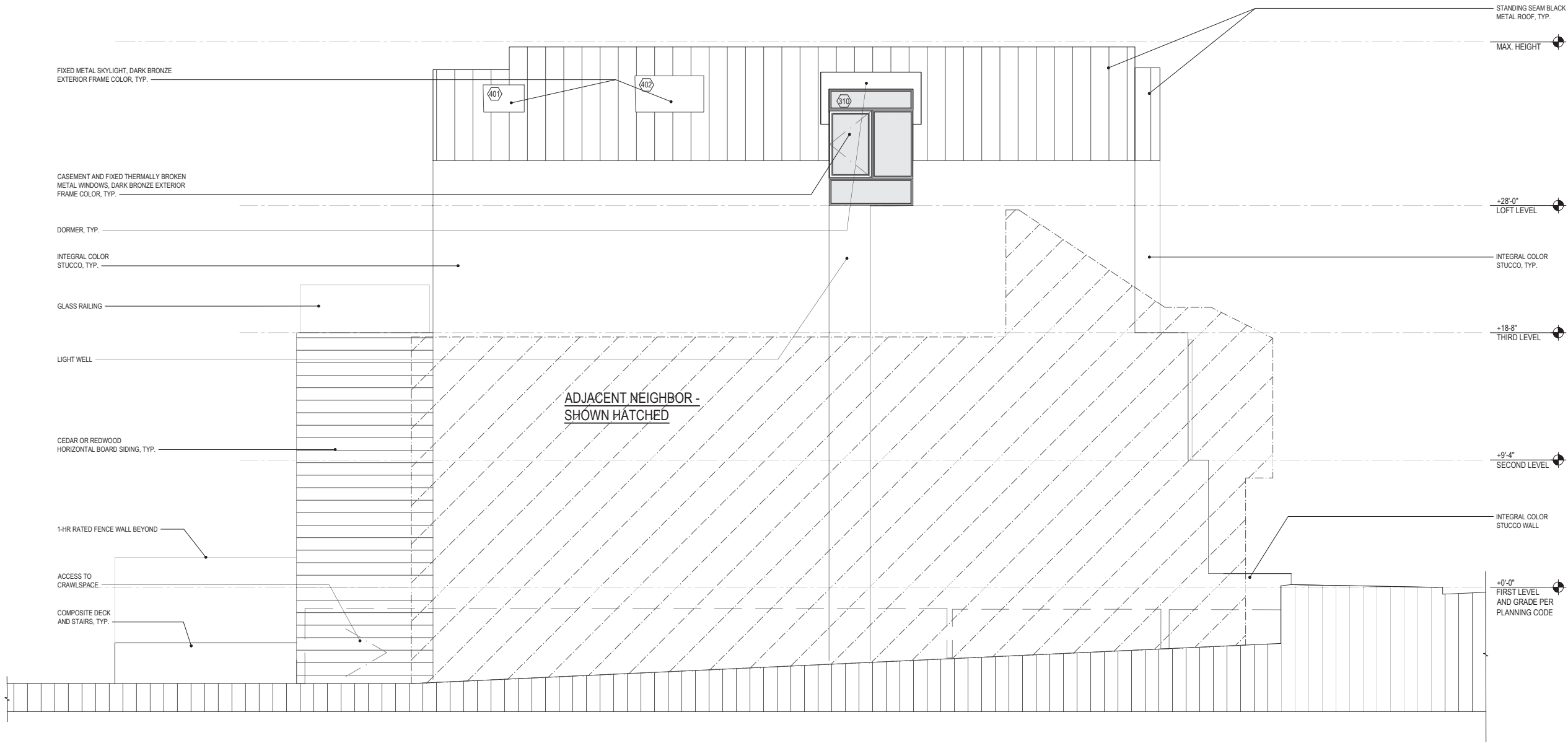


CASEMENT  
WINDOW



AWNING WINDOW

WINDOW SPECIFICATION: WINDOWS BY WESTERN, MODEL SERIES 7660,  
THERMALLY BROKEN ALUMINUM WINDOWS, EXTERIOR FRAME FINISH TO  
BE ANODIZED DARK BRONZE



1 PROPOSED WEST ELEVATION  
SCALE: 1/4" = 1'-0"

PUBLICATIONS		
No.	DESCRIPTION	DATE
		1/9/2021

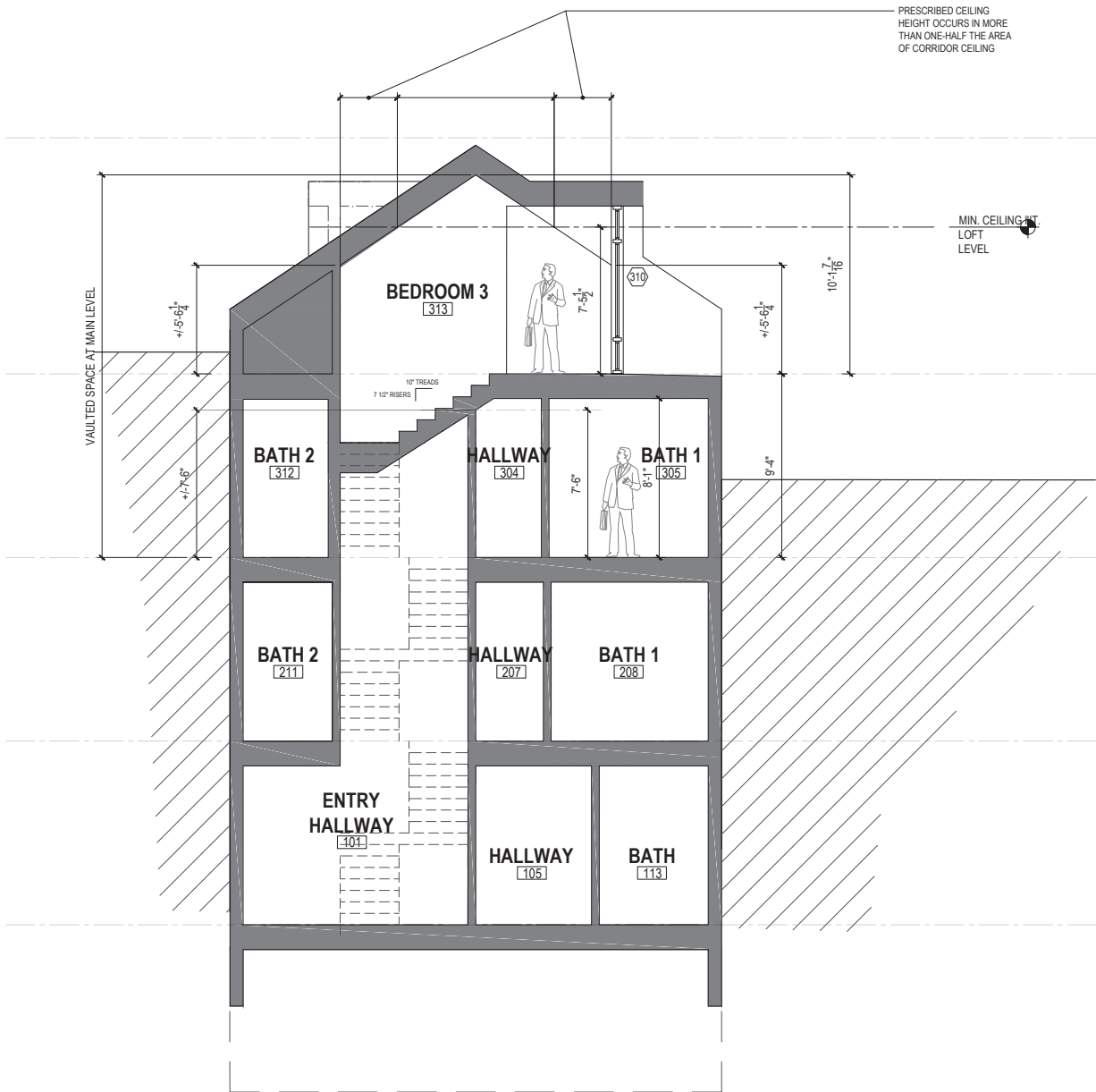
PROPERTY IDENTIFICATION	
APN:	1091-013

ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

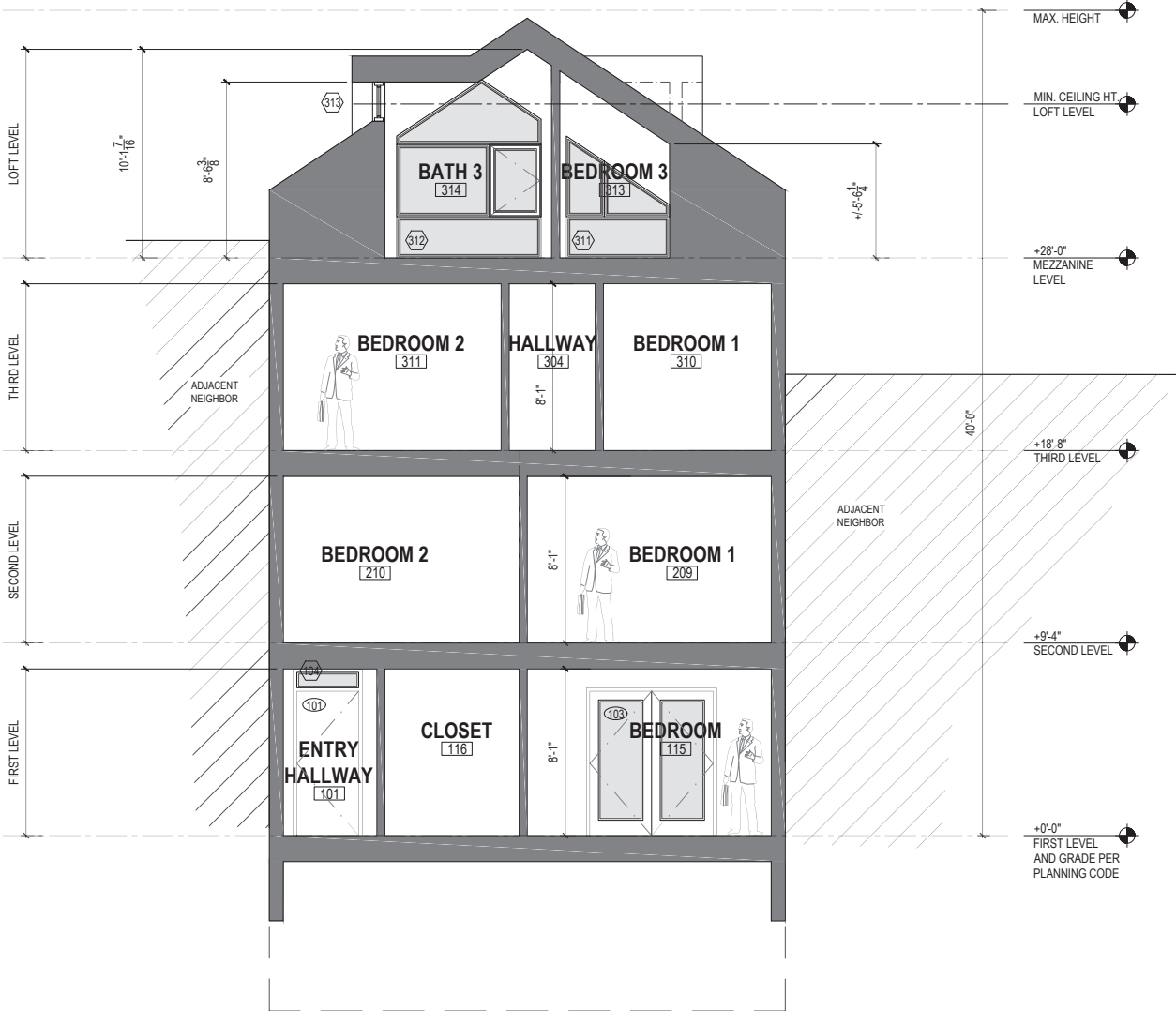
PROJECT:	
PROJECT No:	1903
DRAWN BY:	DAVIN L.
DRAWING DESCRIPTION:	
PROPOSED BUILDING SECTIONS	

SCALE:	AS NOTED
SHEET No:	

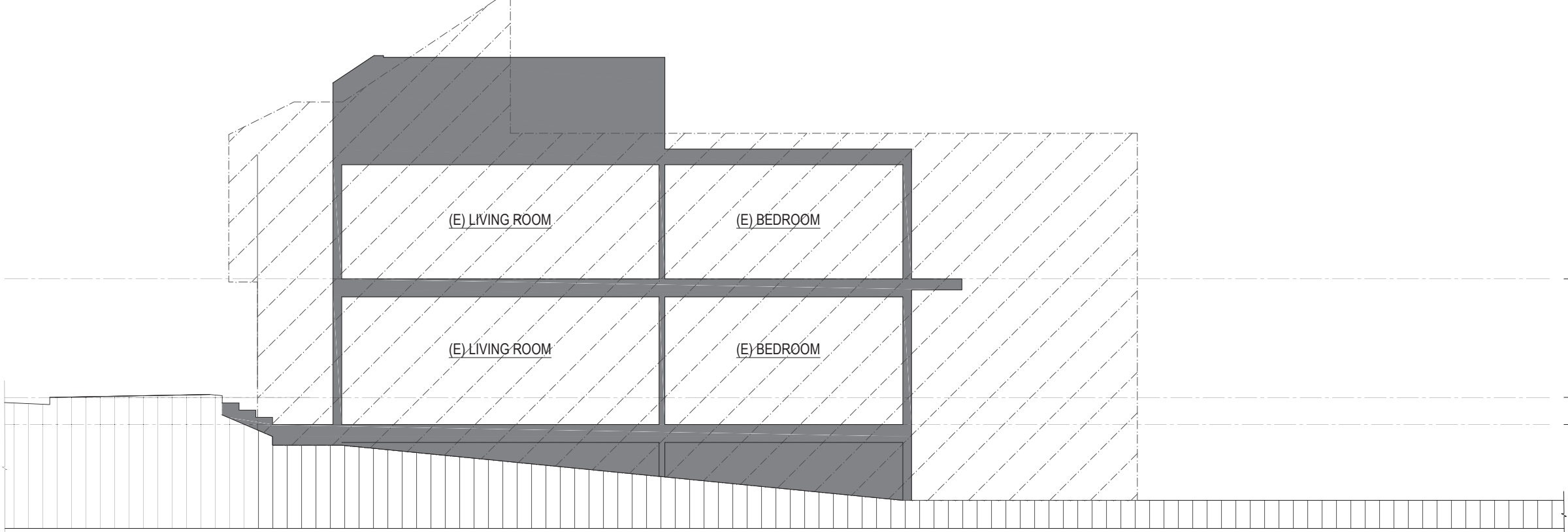
A3.01



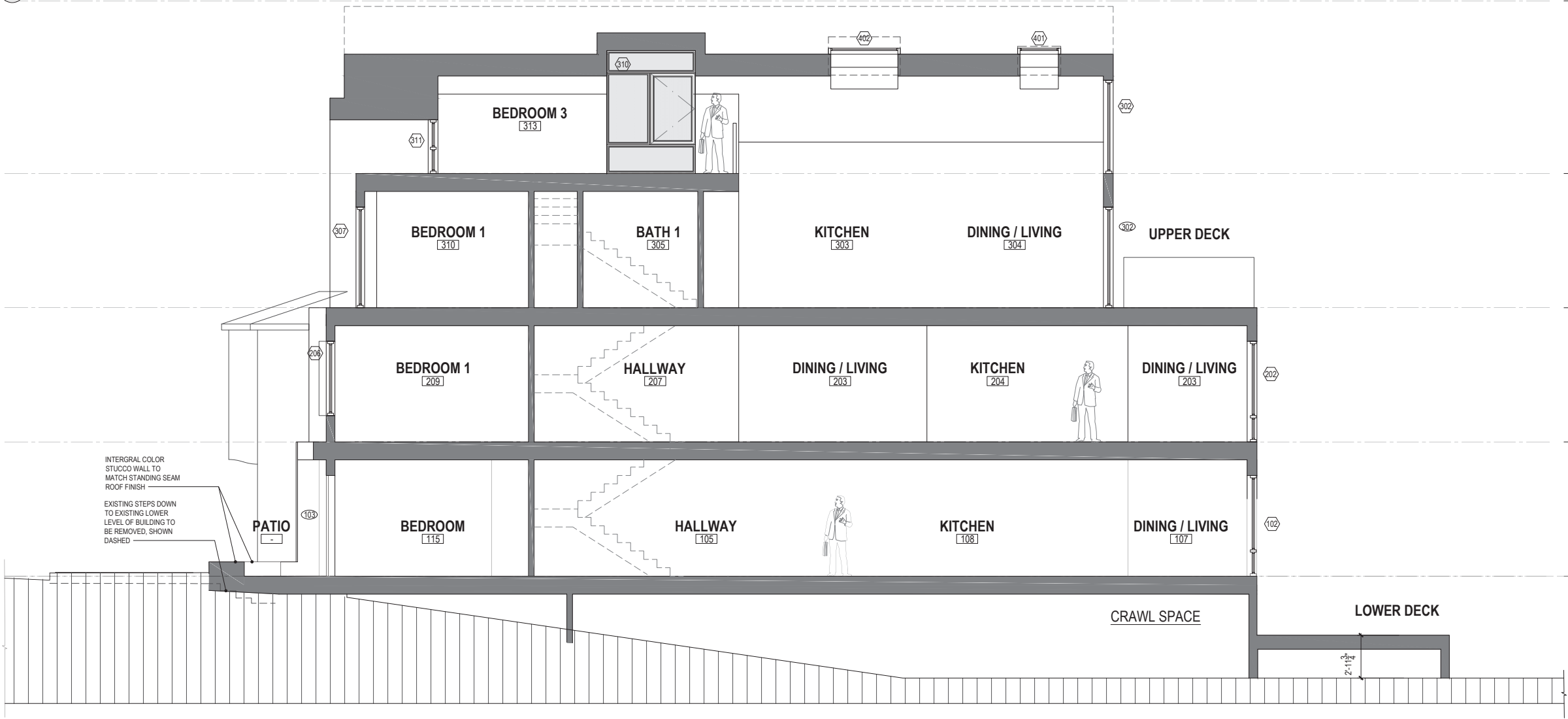
2 PROPOSED CROSS SECTION FACING SOUTH  
SCALE: 1/4" = 1'-0"



1 PROPOSED CROSS SECTION FACING SOUTH  
SCALE: 1/4" = 1'-0"



2 LONGITUDNAL SECTION OF ORIGINAL STRUCTURE FACING WEST (PRIOR TO DEMOLITION THAT OCCURRED IN 2015)  
SCALE: 1/4" = 1'-0"



1 PROPOSED LONGITUDINAL SECTION FACING WEST  
SCALE: 1/4" = 1'-0"

PUBLICATIONS		
No.	DESCRIPTION	DATE
		1/9/2021

PROPERTY IDENTIFICATION	
APN: 1091-013	

ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

PROJECT:	
PROJECT No:	1903
DRAWN BY:	DAVIN L.
DRAWING DESCRIPTION:	PROPOSED BUILDING SECTIONS

SCALE:	AS NOTED
SHEET No:	

PUBLICATIONS		
No.	DESCRIPTION	DATE
		1/9/2021

PROPERTY IDENTIFICATION	
APN:	1091-013

ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

PROJECT:	
PROJECT No:	1903
DRAWN BY:	DAVIN L.
DRAWING DESCRIPTION:	
PROPOSED BUILDING SECTIONS	

SCALE:	AS NOTED
SHEET No:	

A3.03



1 PROPOSED LONGITUDINAL SECTION FACING EAST  
SCALE: 1/4" = 1'-0"

PUBLICATIONS		
No.	DESCRIPTION	DATE
		1/9/2021

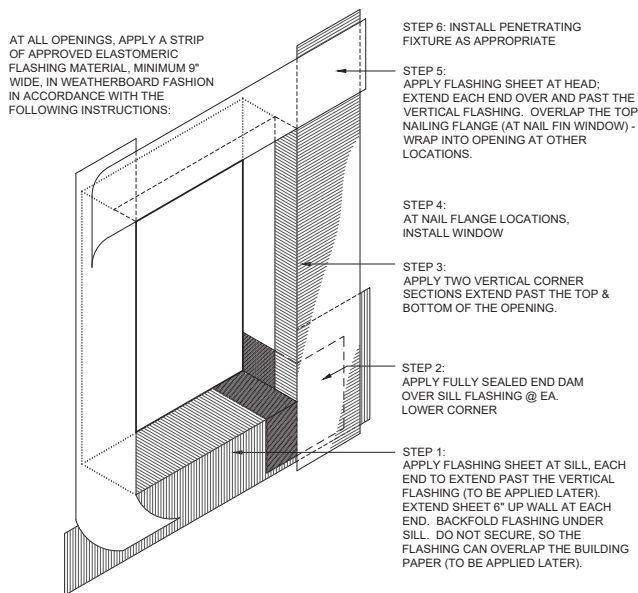
PROPERTY IDENTIFICATION	
APN:	1091-013

ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

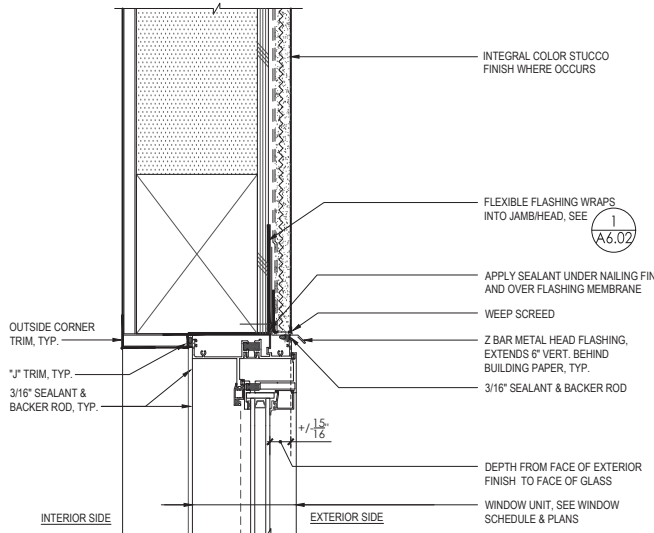
PROJECT:  
PROJECT No.: 1903  
DRAWN BY: DAVIN L.  
DRAWING DESCRIPTION:  
DOOR AND WINDOW  
DETAILS

SCALE: AS NOTED  
SHEET No:

A8.02



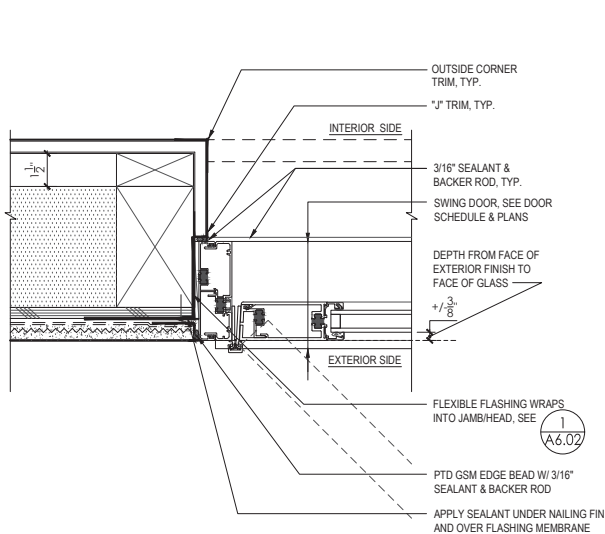
1 FLEXIBLE FLASHING DIAGRAM  
SCALE: NTS



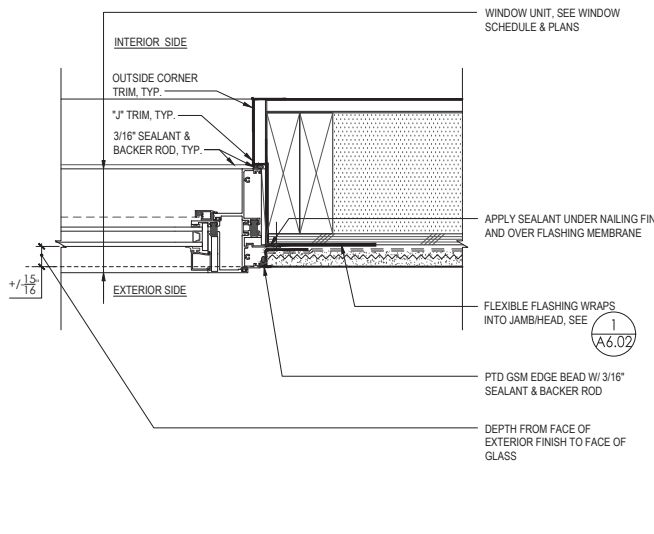
3 TYP. OPERABLE WINDOW HEAD (SIM. AT TYP. FIXED WINDOW)  
SCALE: 3" = 1'-0"

2 NOT USED  
SCALE: 3" = 1'-0"

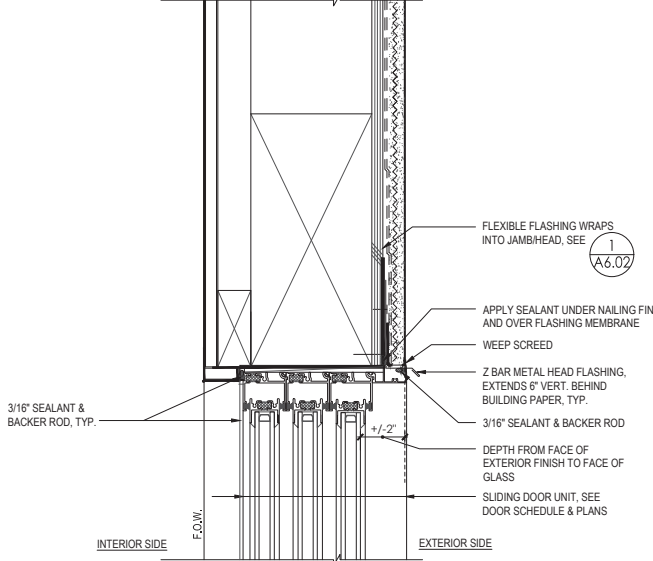
4 NOT USED  
SCALE: 3" = 1'-0"



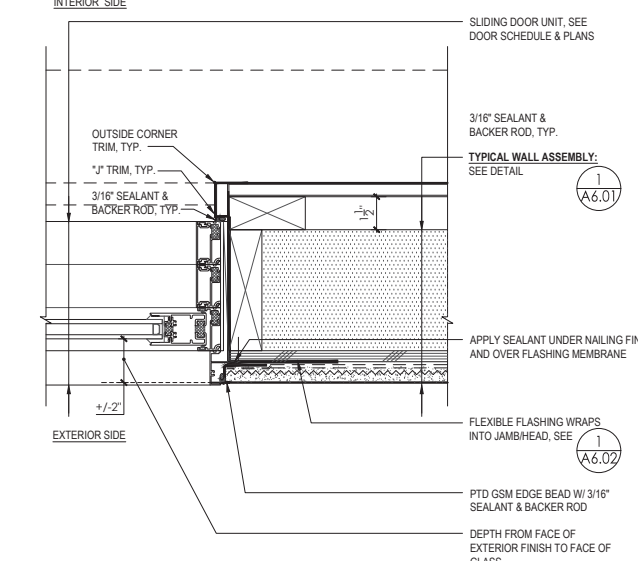
8 TYPICAL SWING DOOR JAMB  
SCALE: 3" = 1'-0"



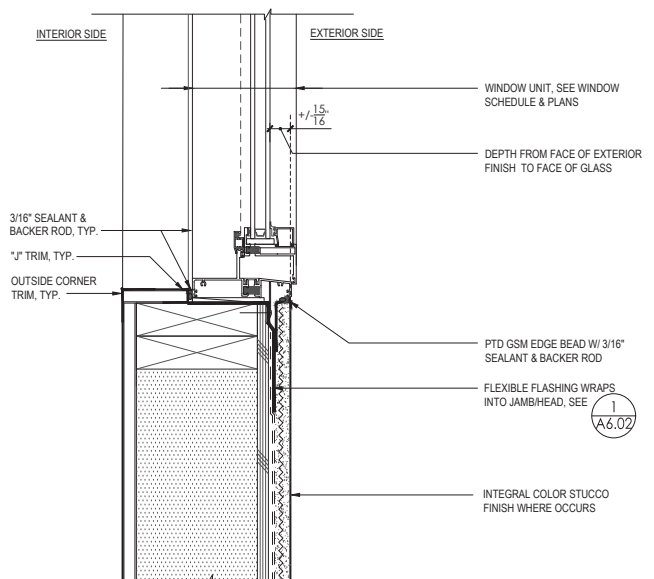
7 TYP. OPERABLE WINDOW JAMB (SIM. AT TYP. FIXED WINDOW)  
SCALE: 3" = 1'-0"



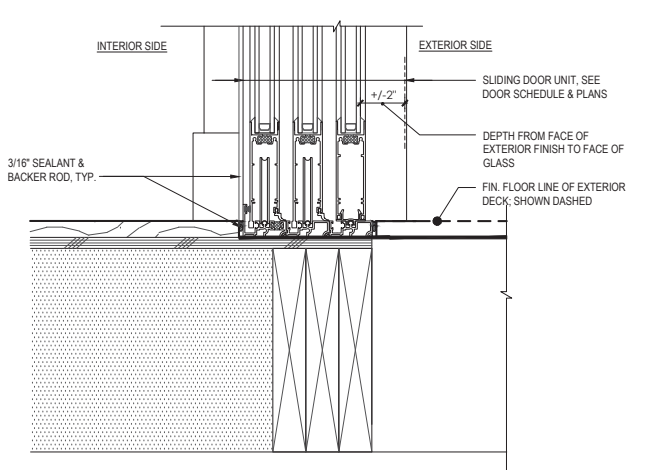
6 MULTI-SLIDER HEAD  
SCALE: 3" = 1'-0"



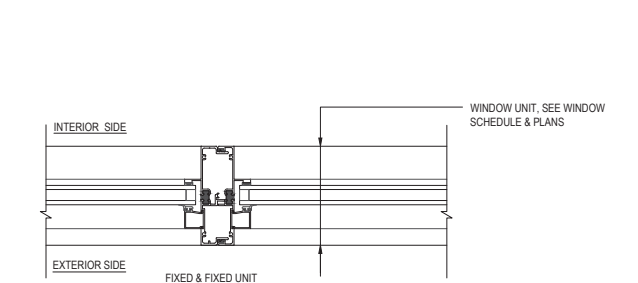
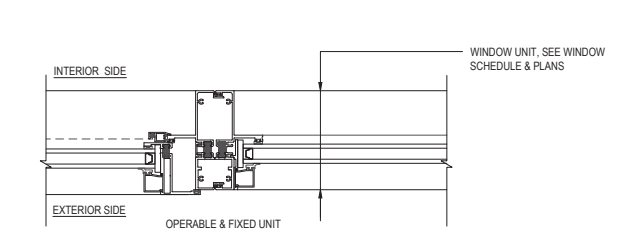
5 MULTI-SLIDER JAMB  
SCALE: 3" = 1'-0"



11 TYP. OPERABLE WINDOW SILL (SIM. AT TYP. FIXED WINDOW)  
SCALE: 3" = 1'-0"



10 MULTI-SLIDER THRESHOLD  
SCALE: 3" = 1'-0"



9 TYPICAL MULLION DETAILS  
SCALE: 3" = 1'-0"

12 NOT USED  
SCALE: 3" = 1'-0"

# Exhibit C – Environmental Determination





# SAN FRANCISCO PLANNING DEPARTMENT

## CEQA Categorical Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
230 Anza Street		1091/013	
Case No.	Permit No.	Plans Dated	
2016-005365ENV		05/16/2016	
<input type="checkbox"/> Addition/ Alteration	<input checked="" type="checkbox"/> Demolition (requires HRER if over 45 years old)	<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval. Proposed demolition of (E) two-family dwelling. Construction of (N) four story 3-family dwelling. Excavation to provide (N) basement level.			

### STEP 1: EXEMPTION CLASS

#### TO BE COMPLETED BY PROJECT PLANNER

<b>*Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.*</b>	
<input checked="" type="checkbox"/>	<b>Class 1 – Existing Facilities.</b> Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	<b>Class 3 – New Construction/ Conversion of Small Structures.</b> Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions.; ; change of use under 10,000 sq. ft. if principally permitted or with a CU. Change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class _____

### STEP 2: CEQA IMPACTS

#### TO BE COMPLETED BY PROJECT PLANNER

<b>If any box is checked below, an <i>Environmental Evaluation Application</i> is required.</b>	
<input type="checkbox"/>	<b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks)? <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Article 38 program and the project would not have the potential to emit substantial pollutant concentrations. (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Air Pollutant Exposure Zone)</i>
<input type="checkbox"/>	<b>Hazardous Materials:</b> If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the</i>

	<i>Mahe program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap &gt; Maher layer).</i>
<input type="checkbox"/>	<b>Transportation:</b> Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	<b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	<b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	<b>Slope = or &gt; 20%:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Landslide Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Liquefaction Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) <b>If box is checked, a geotechnical report will likely be required.</b>
<b>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <u>Environmental Evaluation Application</u> is required, unless reviewed by an Environmental Planner.</b>	
<input checked="" type="checkbox"/>	<b>Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.</b>
<b>Comments and Planner Signature (optional):</b> Jean Poling No archeological effects. <div style="text-align: right; font-size: small;">           Digitally signed by Jean Poling            DN: cn=Jean Poling, o=City of San Francisco, ou=City Planning, email=jean.poling@sfplanning.org, c=US            Date: 2016.04.10 10:25:28 -0700         </div>	

**STEP 3: PROPERTY STATUS – HISTORIC RESOURCE  
TO BE COMPLETED BY PROJECT PLANNER**

<b>PROPERTY IS ONE OF THE FOLLOWING:</b> (refer to Parcel Information Map)	
<input type="checkbox"/>	<b>Category A:</b> Known Historical Resource. <b>GO TO STEP 5.</b>
<input checked="" type="checkbox"/>	<b>Category B:</b> Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>
<input type="checkbox"/>	<b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b>

**STEP 4: PROPOSED WORK CHECKLIST**  
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. <b>Change of use and new construction.</b> Tenant improvements not included.
<input type="checkbox"/>	2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
<b>Note: Project Planner must check box below before proceeding.</b>	
<input checked="" type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project <b>does not conform</b> to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>

**STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW**  
TO BE COMPLETED BY PRESERVATION PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. <b>Interior alterations to publicly accessible spaces.</b>
<input type="checkbox"/>	3. <b>Window replacement</b> of original/historic windows that are not “in-kind” but are consistent with existing historic character.
<input type="checkbox"/>	4. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. <b>Addition(s)</b> , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. <b>Other work consistent</b> with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):

<input type="checkbox"/>	<p>9. <b>Other work</b> that would not materially impair a historic district (specify or add comments):</p> <p>(Requires approval by Senior Preservation Planner/Preservation Coordinator) _____</p>
<input checked="" type="checkbox"/>	<p>10. <b>Reclassification of property status.</b> (Requires approval by Senior Preservation Planner/Preservation Coordinator)</p> <p><input type="checkbox"/> Reclassify to Category A      <input checked="" type="checkbox"/> Reclassify to Category C</p> <p>a. Per HRER dated: _____ (attach HRER)</p> <p>b. Other (specify): Per PTR form signed on 8/17/2016.</p>
<p><b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.</b></p>	
<input type="checkbox"/>	<p><b>Further environmental review required.</b> Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. <b>GO TO STEP 6.</b></p>
<input checked="" type="checkbox"/>	<p><b>Project can proceed with categorical exemption review.</b> The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. <b>GO TO STEP 6.</b></p>
<p>Comments (optional):</p>	
<p>Preservation Planner Signature: <b>Stephanie Cisneros</b></p> <p><small>Digitally signed by Stephanie Cisneros DN: dc=org, dc=sfgov, ou=CityPlanning, ou=Current Planning, cn=Stephanie Cisneros, email=Stephanie.Cisneros@sfgov.org Date: 2016.08.23 14:23:11 -07'00'</small></p>	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION**  
TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	<p><b>Further environmental review required.</b> Proposed project does not meet scopes of work in either (check all that apply):</p> <p><input type="checkbox"/> Step 2 – CEQA Impacts</p> <p><input type="checkbox"/> Step 5 – Advanced Historical Review</p> <p><b>STOP! Must file an <i>Environmental Evaluation Application</i>.</b></p>					
<input checked="" type="checkbox"/>	<p><b>No further environmental review is required. The project is categorically exempt under CEQA.</b></p> <table border="1"> <tr> <td> <p><b>Planner Name:</b> Stephanie A. Cisneros</p> </td> <td> <p><b>Signature:</b></p> </td> </tr> <tr> <td> <p><b>Project Approval Action:</b></p> <p><b>Building Permit</b></p> <p>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p> </td> <td> <p><b>Stephanie Cisneros</b></p> <p><small>Digitally signed by Stephanie Cisneros DN: dc=org, dc=sfgov, ou=CityPlanning, ou=Current Planning, cn=Stephanie Cisneros, email=Stephanie.Cisneros@sfgov.org Date: 2016.08.23 14:23:11 -07'00'</small></p> </td> </tr> </table> <p>Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.</p>		<p><b>Planner Name:</b> Stephanie A. Cisneros</p>	<p><b>Signature:</b></p>	<p><b>Project Approval Action:</b></p> <p><b>Building Permit</b></p> <p>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p>	<p><b>Stephanie Cisneros</b></p> <p><small>Digitally signed by Stephanie Cisneros DN: dc=org, dc=sfgov, ou=CityPlanning, ou=Current Planning, cn=Stephanie Cisneros, email=Stephanie.Cisneros@sfgov.org Date: 2016.08.23 14:23:11 -07'00'</small></p>
<p><b>Planner Name:</b> Stephanie A. Cisneros</p>	<p><b>Signature:</b></p>					
<p><b>Project Approval Action:</b></p> <p><b>Building Permit</b></p> <p>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p>	<p><b>Stephanie Cisneros</b></p> <p><small>Digitally signed by Stephanie Cisneros DN: dc=org, dc=sfgov, ou=CityPlanning, ou=Current Planning, cn=Stephanie Cisneros, email=Stephanie.Cisneros@sfgov.org Date: 2016.08.23 14:23:11 -07'00'</small></p>					

**STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT  
TO BE COMPLETED BY PROJECT PLANNER**

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

**PROPERTY INFORMATION/PROJECT DESCRIPTION**

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
Case No.	Previous Building Permit No.	New Building Permit No.
Plans Dated	Previous Approval Action	New Approval Action
Modified Project Description:		

**DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION**

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required. <b>ATEX FORM</b>	

**DETERMINATION OF NO SUBSTANTIAL MODIFICATION**

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:





# SAN FRANCISCO PLANNING DEPARTMENT

## PRESERVATION TEAM REVIEW FORM

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

Preservation Team Meeting Date:		Date of Form Completion	8/1/2016
---------------------------------	--	-------------------------	----------

PROJECT INFORMATION:		
Planner:	Address:	
Stephanie Cisneros	230 Anza Street	
Block/Lot:	Cross Streets:	
1091/013	Wood Street & Collins Street	
CEQA Category:	Art. 10/11:	BPA/Case No.:
B	N/A	2016-005365ENV

PURPOSE OF REVIEW:		PROJECT DESCRIPTION:	
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input type="radio"/> Alteration
		<input checked="" type="radio"/> Demo/New Construction	

DATE OF PLANS UNDER REVIEW:	5/16/2016
-----------------------------	-----------


PROJECT ISSUES:	
<input checked="" type="checkbox"/>	Is the subject Property an eligible historic resource?
<input type="checkbox"/>	If so, are the proposed changes a significant impact?
Additional Notes:	
Submitted: Supplemental Information for Historic Resource Determination prepared by Xie Guan (dated 04/13/16) and Historic Resource Determination prepared by Page & Turnbull (dated 12/21/15).	
Proposed Project: Proposed demolition of (E) two-family dwelling. Construction of (N) four story 3-family dwelling. Excavation to provide (N) basement level.	

PRESERVATION TEAM REVIEW:			
Historic Resource Present		<input type="radio"/> Yes	<input checked="" type="radio"/> No *
		<input type="radio"/> N/A	
Individual	Historic District/Context		
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:	Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:		
Criterion 1 - Event: <input type="radio"/> Yes <input type="radio"/> No	Criterion 1 - Event: <input type="radio"/> Yes <input type="radio"/> No		
Criterion 2 -Persons: <input type="radio"/> Yes <input type="radio"/> No	Criterion 2 -Persons: <input type="radio"/> Yes <input type="radio"/> No		
Criterion 3 - Architecture: <input type="radio"/> Yes <input type="radio"/> No	Criterion 3 - Architecture: <input type="radio"/> Yes <input type="radio"/> No		
Criterion 4 - Info. Potential: <input type="radio"/> Yes <input type="radio"/> No	Criterion 4 - Info. Potential: <input type="radio"/> Yes <input type="radio"/> No		
Period of Significance: <input type="text"/>	Period of Significance: <input type="text"/>		
	<input type="radio"/> Contributor <input type="radio"/> Non-Contributor		

Complies with the Secretary's Standards/Art 10/Art 11:	<input type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> N/A
CEQA Material Impairment:	<input type="radio"/> Yes	<input type="radio"/> No	
Needs More Information:	<input type="radio"/> Yes	<input type="radio"/> No	
Requires Design Revisions:	<input type="radio"/> Yes	<input type="radio"/> No	
Defer to Residential Design Team:	<input type="radio"/> Yes	<input type="radio"/> No	

\* If No is selected for Historic Resource per CEQA, a signature from Senior Preservation Planner or Preservation Coordinator is required.

<b>PRESERVATION TEAM COMMENTS:</b>
<p>According to the Supplemental Information for Historic Resource Determination prepared by Xie Guan (dated 04/13/16) and Historic Resource Determination prepared by Page &amp; Turnbull (dated 12/21/15) and information found in the Planning Department files, the subject property at 230 Anza Street contains a one-story-over-raised basement, wood-frame, two-family residence designed in a flat front Italianate style. The subject property was constructed in 1890 by an unknown architect/builder (source: assessor) and was originally owned by Pietro Filippelli, a laborer. The subject property stayed within the Filippelli family until 1950, when la Volkoff purchased it. The residence has been associated with various addresses, as they have changed over time. The first recorded address of the property was 110 St. Rose's Avenue). This address was changed to 130-132 St. Rose's Avenue by 1913, and by 1937, it changed again to its current address at 230 Anza Street. Known alterations to the property include: rebuilding the front steps and entry way (1977); removing and replacing stair treads and risers at front (1983); and tearing off shingle siding on front of building and replacing with rustic siding (1984). In 2015, two permits were issued for multiple repair and replacement issues involving significant dry rot and damage in many areas of the building.</p> <p>There have also been a number of alterations to the property, many of which were documented in the Sanborn Maps. The 1893 Sanborn map shows a one-story dwelling on the property, and in the 1899 man, the property is shown with a one-story-over basement dwelling at the front and a similar detached building at the rear (addressed 110 and 110 1/2 St. Rose's Street). The 1913-1915 Sanborn map shows that the rear building is no longer extant and the front building has been moved closer to the street and has undergone several rear additions. The original rustic wood shingles were covered with shingles in around the 1930s. This was likely when the enclosed portico along the primary facade was added.</p> <p>No known historic events occurred at the subject property (Criterion 1). None of the owners or occupants have been identified as important to history (Criterion 2). The subject property is a significantly altered Italianate-style two-family residence. The building is no longer architecturally distinct such that it would qualify individually for listing in the California Register under Criterion 3.</p> <p>(continued)</p>

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
	8.17.16



2016-005365ENV  
230 Anza Street

The subject property is not located within the boundaries of any identified historic district. The subject property is located in the Inner Richmond neighborhood on a block that exhibits a variety of architectural styles, uses and construction dates ranging from pre-1900 to 1981. Together, the block does not comprise a significant concentration of historically or aesthetically unified buildings.

Therefore, the subject property is not eligible for listing in the California Register under any criteria individually or as part of a historic district.



Figure 23: Primary façade as seen from the street prior to current construction, facing northeast.  
Source: David McCallum, April 2015.

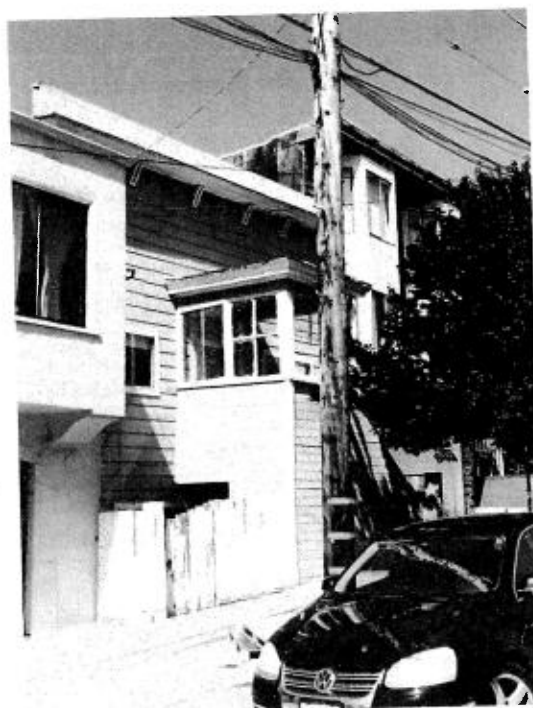


Figure 24: Primary façade showing portico as seen from the street prior to current construction, facing northeast.  
Source: David McCallum, April 2015.

# Exhibit D - Land Use Data



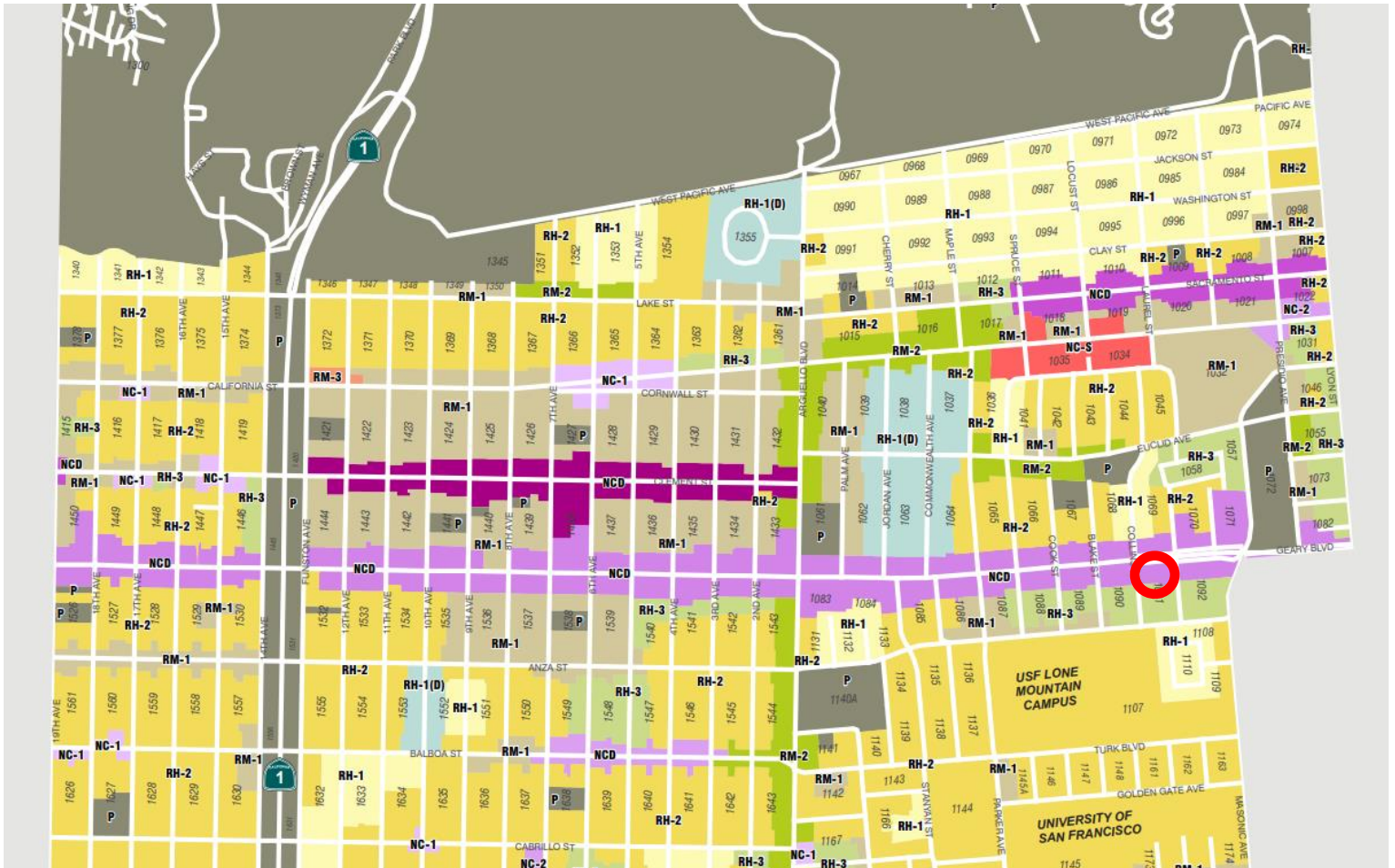
## Land Use Information

PROJECT ADDRESS: 230 ANZA STREET  
RECORD NO.: 2016-005365CUA

	EXISTING	PROPOSED	NET NEW
<b>GROSS SQUARE FOOTAGE (GSF)</b>			
Lot Area	Approx. ±2,500	Approx. ±2,500	No Change
Residential	Approx. ±2,094	Approx. ±4,359	Approx. ±2,265
Commercial/Retail	--	--	--
Office	--	--	--
Industrial/PDR <i>Production, Distribution, &amp; Repair</i>	--	--	--
Parking	--	--	--
Usable Open Space	--	±962	±962
Public Open Space	--	--	--
TOTAL GSF	Approx. ±2,094	Approx. ±4,359	Approx. ±2,265
	EXISTING	NET NEW	TOTALS
<b>PROJECT FEATURES (Units or Amounts)</b>			
Dwelling Units - Market Rate	0	3	3
Dwelling Units - Affordable	--	--	--
Hotel Rooms	--	--	--
Parking Spaces	0	0	0
Loading Spaces	--	--	--
Car Share Spaces	--	--	--
Bicycle Spaces	0	3	3
Number of Buildings	1	1	No Change
Number of Stories	2	3 + mezzanine	1 story + mezzanine
Height of Building(s)	Approx. 23 feet 6 inches	Approx. 39 feet 5 inches	Approx. 16 feet height increase

# Exhibit E - Maps and Context Photos

# Zoning Map

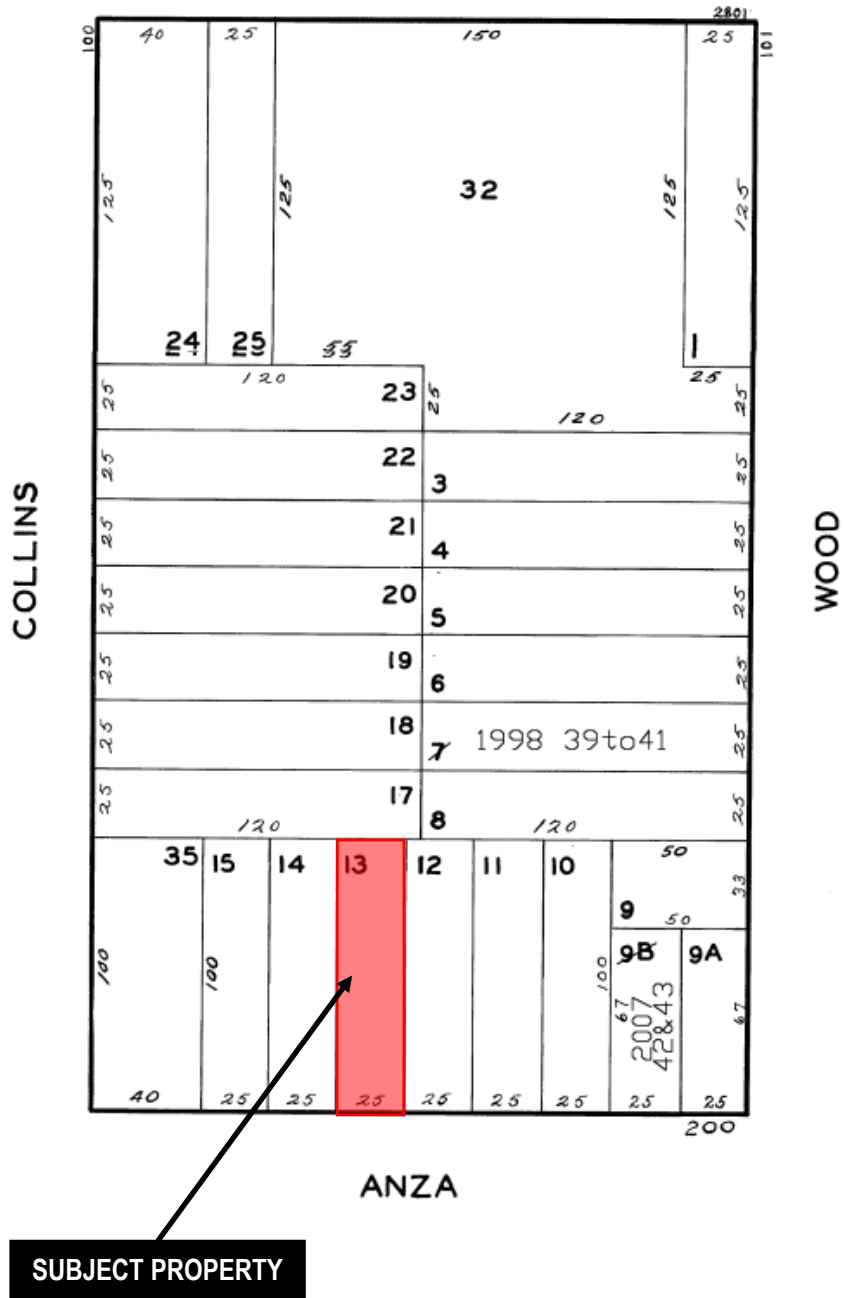


Conditional Use Hearing  
Case Number 2016-005365CUA  
230 Anza Street



# Parcel Map

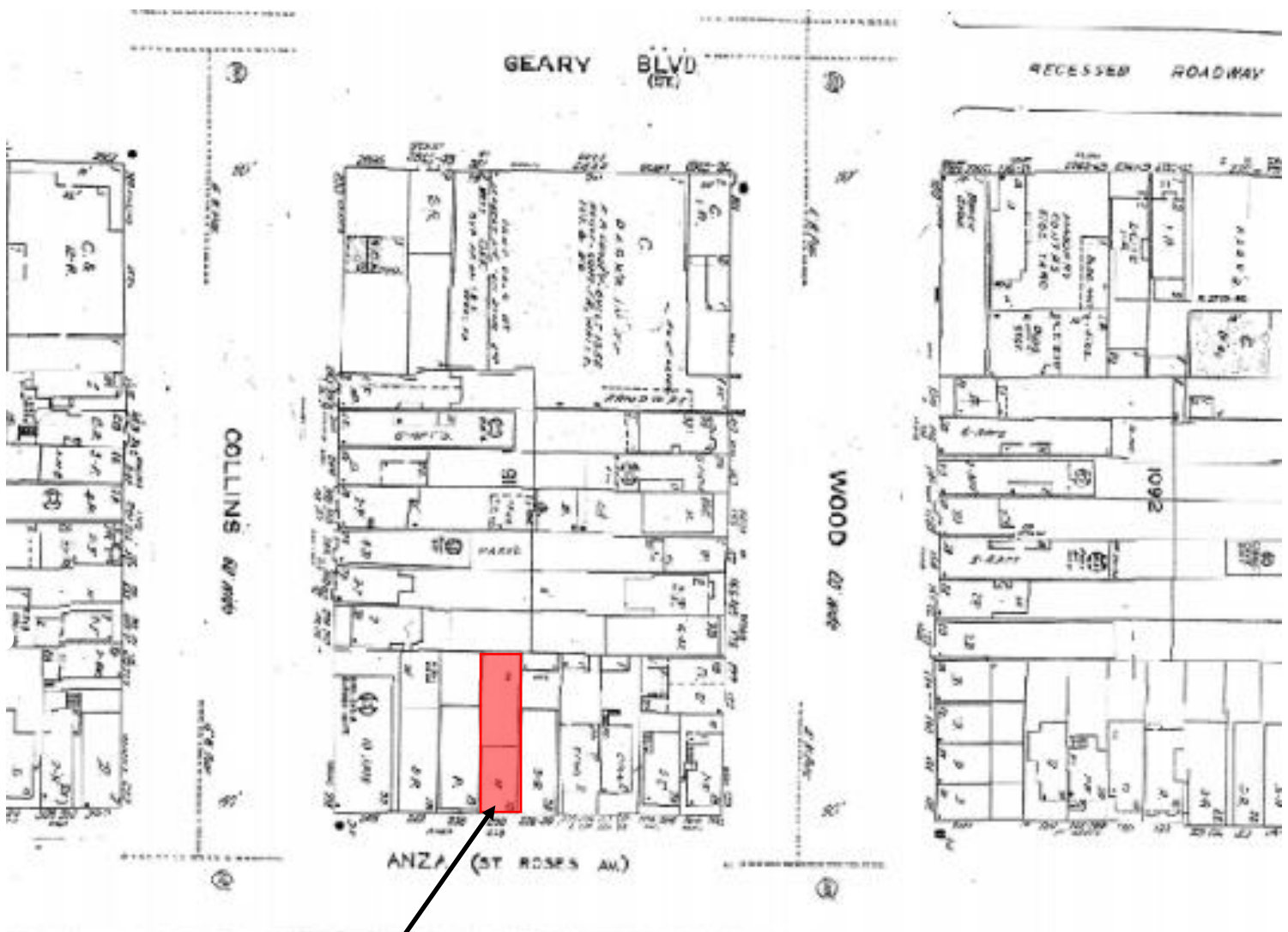
GEARY BLVD.



Conditional Use Hearing  
**Case Number 2016-005365CUA**  
 230 Anza Street



# Sanborn Map\*



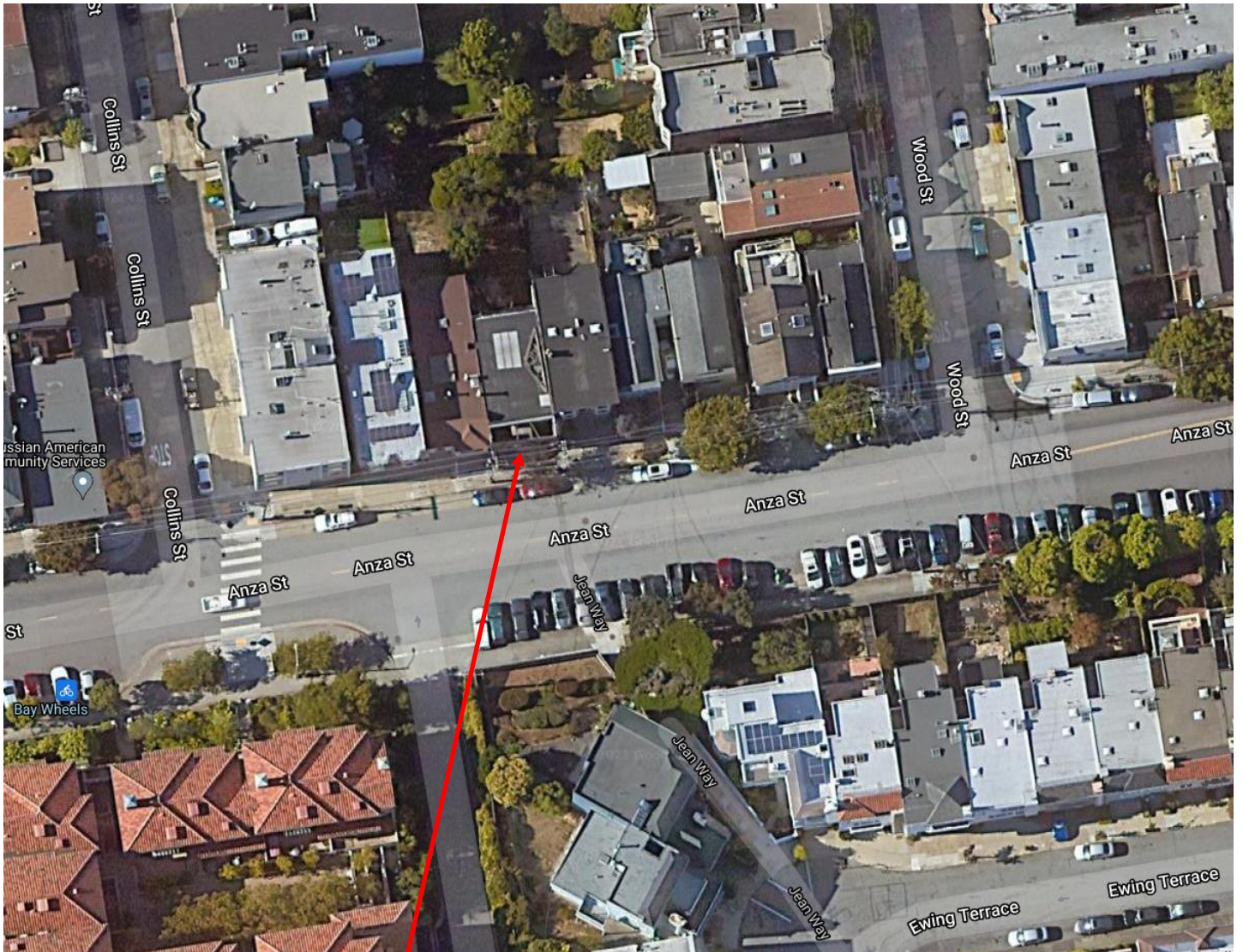
\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

**SUBJECT PROPERTY**



Conditional Use Hearing  
Case Number 2016-005365CUA  
230 Anza Street

# Aerial Photo



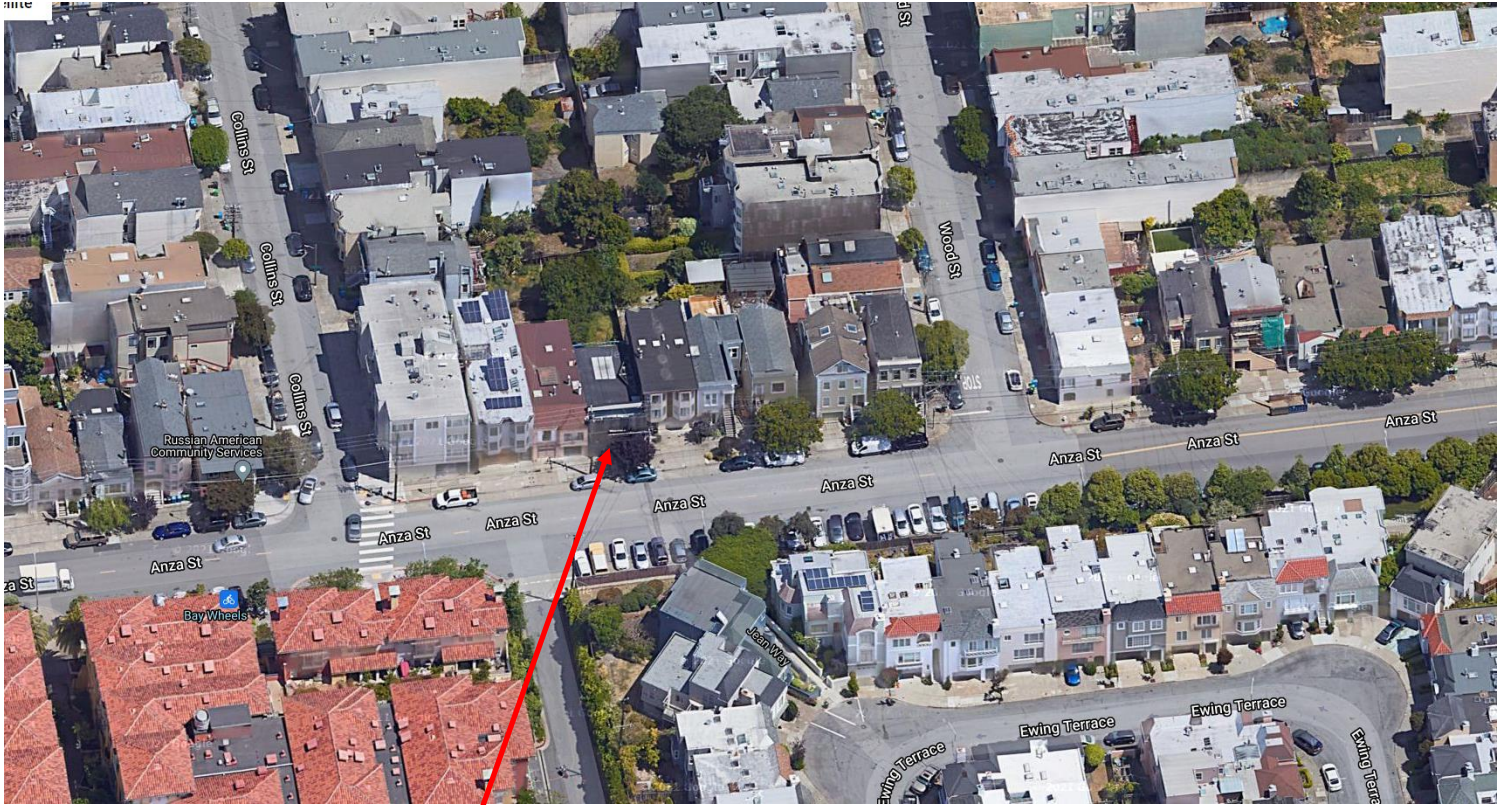
**SUBJECT PROPERTY**



Conditional Use Hearing  
Case Number 2016-005365CUA  
230 Anza Street



# Aerial Photo



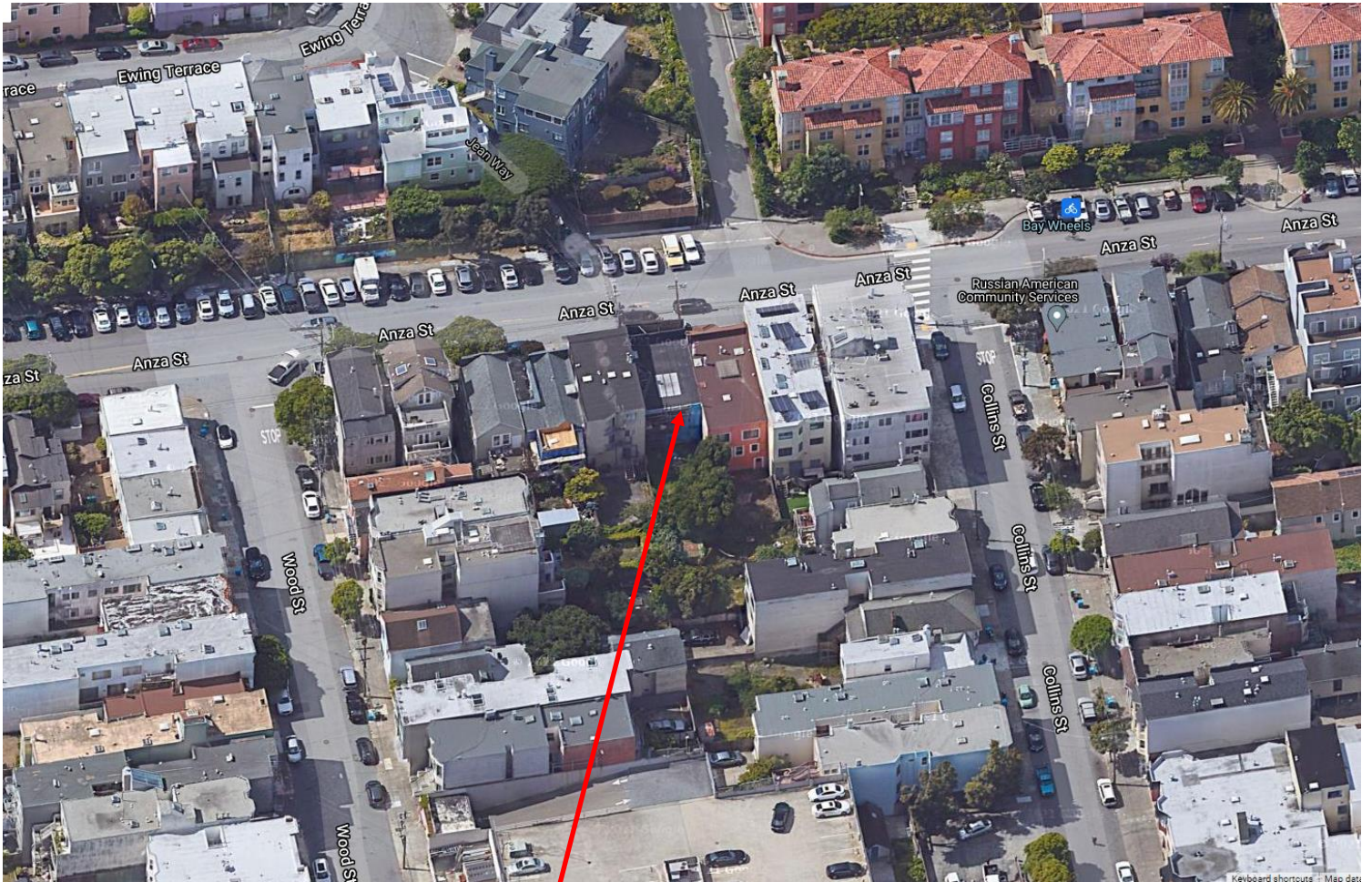
**SUBJECT PROPERTY**



Conditional Use Hearing  
Case Number 2016-005365CUA  
230 Anza Street



# Aerial Photo



**SUBJECT PROPERTY**

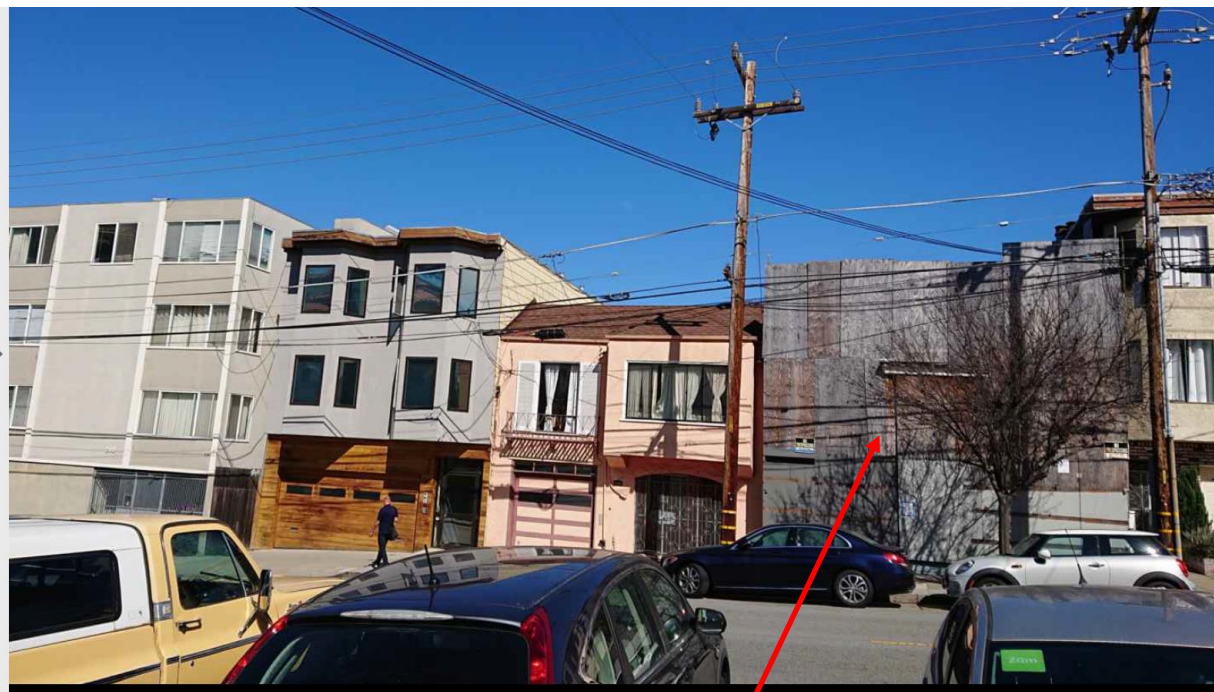


Conditional Use Hearing  
Case Number 2016-005365CUA  
230 Anza Street

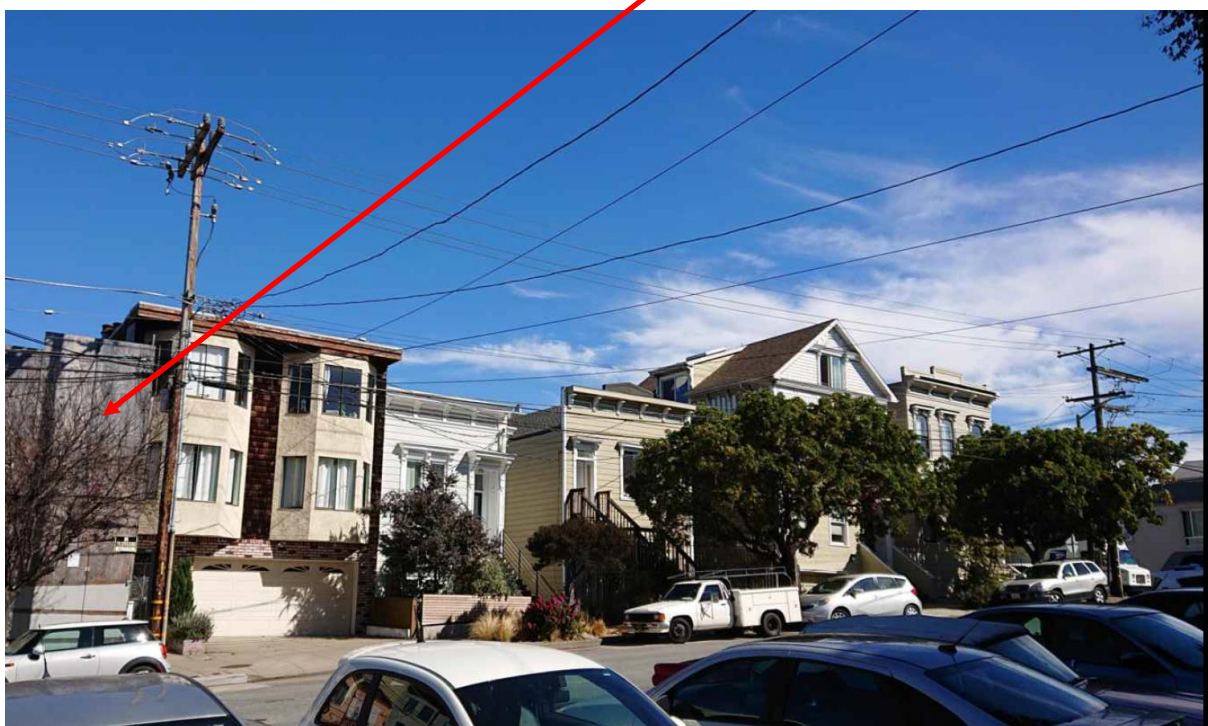


# Project Sponsor Current Site Photos

## PORTION OF SUBJECT BLOCK ON ANZA STREET



**SUBJECT PROPERTY**



Conditional Use Hearing  
Case Number 2016-005365CUA  
230 Anza Street



# Project Sponsor Current Site Photos

## PORTION OF OPPOSITE BLOCK ON ANZA STREET

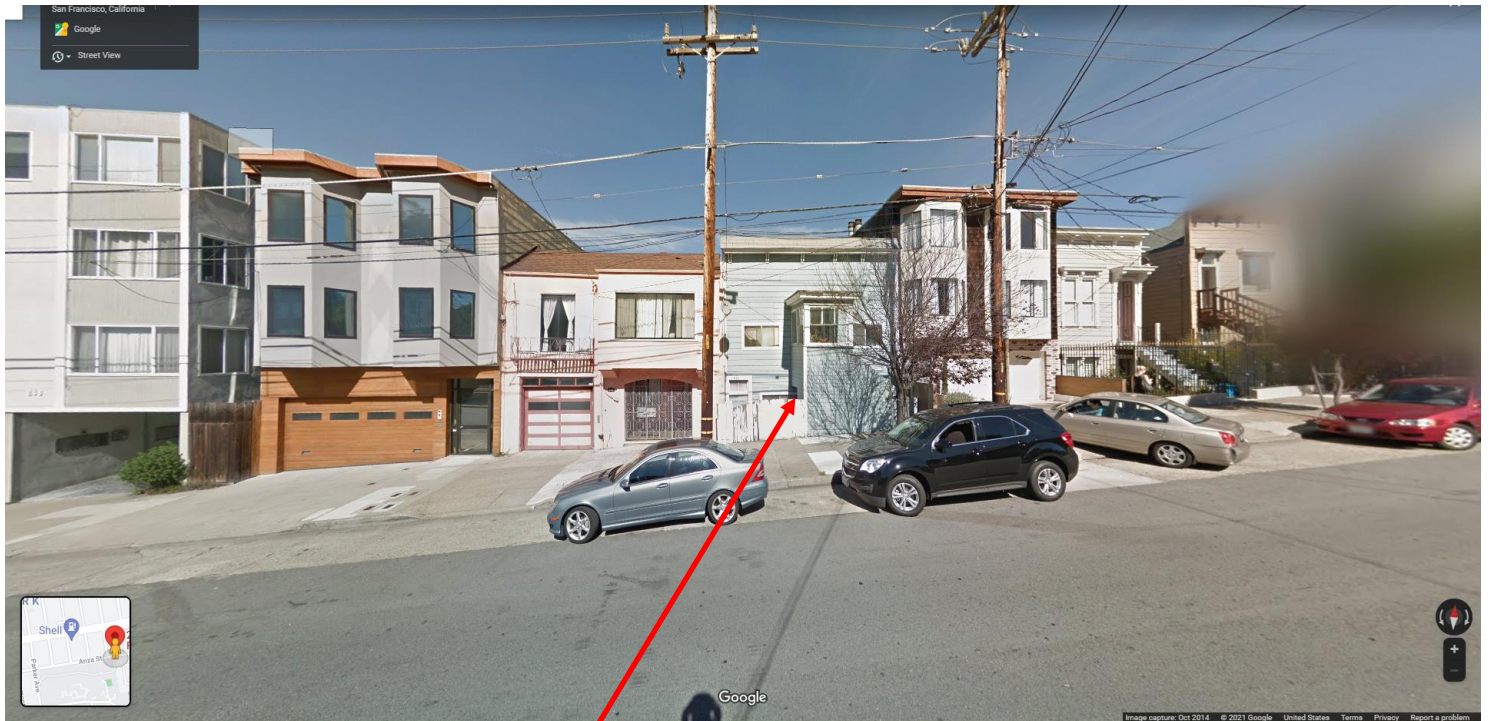


Conditional Use Hearing  
Case Number 2016-005365CUA  
230 Anza Street



# Site Photo

**SUBJECT PROPERTY ON ANZA STREET IN 2014**



**SUBJECT PROPERTY**

Conditional Use Hearing  
**Case Number 2016-005365CUA**  
230 Anza Street

# **Exhibit F - Project Sponsor Brief**

**(Background & Pre-Application Meeting Materials)**





1/11/2021

Planning Application Record Number: 2016-005365 PRJ

Building Permit: 2016-06139725

Project Location: 230 Anza Street

#### CHRONOLOGY AND BACK GROUND OF THE PROJECT SITE AND PERMIT HISTORY

**May 2015** Current Owner, James Greig, provides investment money to TLG Capitol to purchase two properties that TLG Capitol will develop. One of the properties is 771 Corbett and the other property is 230-232 Anza. TLG Capitol is owned by three partners at this time. One of the partners is in charge of construction at the project sites.

**May 2015 - Sept. 2016** TLG Capitol begins development on the Corbett property. And during this time work is done that exceeds the scope of the permit. Numerous complaints regarding the work are received and a notice of violation and multiple stop work notifications are issued.

Also at this time, after work has started on Corbett, development at 230 Anza begins. Building permit numbers are generated and Planning permits are filed, and are under review. CEQA clearance is issued in August. Unfortunately, the partner in charge of construction continues in a similar fashion as he did at Corbett. He guts the structure and starts construction beyond the approved scope. When this occurs the two partners not involved at the project site put a stop to any further work.

Subsequently, the partners have a falling out on how both projects should proceed and TLG Capitol is left to one of the original partners.

**Oct. 2016** TLG Capitol stops paying interest payments to the current owner and investor, James Greig.

**Feb. 2017** Mr. Greig acquires the help of an attorney to resolve his situation with TLG Capitol. Unfortunately, the attorney's business partner and family unexpectedly pass away shortly after being acquired, and Mr. Greig's attorney is unable to resolve the issue until 2018.

**Early 2018** Mr. Greig's attorney begins negotiations with TLG Capitol.

**Dec. 2018** TLG Capitol files for bankruptcy.



- May 2019** In a case against TLG Capitol Mr. Greig is awarded with the Anza property after it's foreclosure. He inherits approximately \$80,000 in unpaid property taxes and penalties from 2015-2018 and all its current violations and complaints.
- Summer 2019** Mr. Greig works to address the mounting complaints and develop a plan to get the property from continuing to be urban blight. He understands the frustration from neighbors over the state of the property caused by the developers failing to make progress for several years.
- Nov. 2019** Mr. Greig hires Remick + Sessions Design (RSD) to help develop plans for the property.
- RSD begins work into understanding the history of the project and contacts Planning and Building to figure out how to proceed.
- Planning instructs that the project is tantamount to demolition and a new design must be submitted in order for planning to begin the permit process again.
- Dec. 2019** RSD is working with Planning and Building to try to resolve the previous developer's unapproved work, and expedite an approved redesign for development.
- Jan. 2019 - May 2020** RSD develops a new design and has a pre-application meeting with Building and Fire regarding exiting and other building related issues.
- June 2020** RSD receives a sign off from Building and Fire for the Pre-Application Meeting.
- RSD submits a Project Application with redesigned drawings to Planning along with a Conditional Use Authorization Application and a Dwelling Unit Removal: Merger, Conversion or Demolition Supplemental Application.
- July 2020 - Current** RSD has been working with Planning to resolve any outstanding issues with the current design in order to continue the permitting process.
- 1/11/21** RSD is resubmitting drawings and this narrative to Planning addressing their comments and seeking consideration to continue moving forward.

# NOTICE OF PRE-APPLICATION MEETING

Date: 5/18/21

Dear Neighbor:

You are invited to a neighborhood Pre-Application meeting to review and discuss the development proposal at 230 Anza Street, cross street(s) Collins and Wood (Block/Lot#: 1091/013); Zoning: RH-3, in accordance with the San Francisco Planning Department's Pre-Application procedures. The Pre-Application meeting is intended as a way for the Project Sponsor(s) to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the City. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is submitted for the Planning Department's review. Once a Building Permit has been submitted to the City, you may track its status at [www.sfgov.org/dbi](http://www.sfgov.org/dbi).

The Pre-Application process serves as the first step in the process prior to filing a Project Application with the Planning Department. Those contacted as a result of the Pre-Application process will also receive formal notification from the city after the project is submitted and reviewed by Planning Department staff.

A Pre-Application meeting is required because this project includes (check all that apply):

- ☒ New Construction subject to Section 311;
- ☒ Any vertical addition of 7 feet or more subject to Section 311;
- ☒ Any horizontal addition of 10 feet or more subject to Section 311;
- ☒ Decks over 10 feet above grade or within the required rear yard subject to Section 311;
- ☐ All Formula Retail uses subject to a Conditional Use Authorization;
- ☐ PDR-1-B, Section 313;
- ☐ Community Business Priority Processing Program (CB3P).

The development proposal is to: Add a third story, exterior deck, and mezzanine to the existing 2 unit 2 story dwelling. A three unit three story dwelling is proposed. Dwelling will be installed with a new sprinkler system throughout.

Existing # of dwelling units: <u>2</u>	Proposed: <u>3</u>	Permitted: <u>3</u>
Existing bldg square footage: <u>2,094</u>	Proposed: <u>4,359</u>	Permitted: <u>No Limit</u>
Existing # of stories: <u>2</u>	Proposed: <u>3</u>	Permitted: <u>See Height Limit</u>
Existing bldg height: <u>23'-6"</u>	Proposed: <u>39'-7"</u>	Permitted: <u>40'-0"</u>
Existing bldg depth: <u>52'-0"</u>	Proposed: <u>73'-0"</u>	Permitted: <u>See Plans</u>

## MEETING INFORMATION:

Property Owner(s) name(s): James Greig

Project Sponsor(s): Remick + Sessions Design; CONTACTS: Dale Sessions or Davin Leong

Contact information (email/phone): dale@remicksessions.com, davin@remicksessions.com / 415-896-9500

Meeting Address\*: <https://zoom.us/j/95832538351?pwd=aWsrL1dZTXBJdm44RG92YmN3UTdFZz09> OR See Attached for Phone Dial in

Date of meeting: June 3, 2021(date corrected in followup letter) Time of meeting\*\*: 6pm

\*The meeting should be conducted at the project site or within a one-mile radius, unless the Project Sponsor has requested a Department Facilitated Pre-Application Meeting, in which case the meeting will be held at the Planning Department offices, at 1650 Mission Street, Suite 400.

\*\*Weeknight meetings shall occur between 6:00 p.m. - 9:00 p.m. Weekend meetings shall be between 10:00 a.m. - 9:00 p.m, unless the Project Sponsor has selected a Department Facilitated Pre-Application Meeting.

If you have questions about the San Francisco Planning Code, Residential Design Guidelines, or general development process in the City, email the Planning counter at the Permit Center at [pic@sfgov.org](mailto:pic@sfgov.org). You may also find information about the San Francisco Planning Department and on-going planning efforts at [www.sfplanning.org](http://www.sfplanning.org).

# AFFIDAVIT OF CONDUCTING A PRE-APPLICATION MEETING

I, Davin Leong, do hereby declare as follows:

1. I have conducted a Pre-Application Meeting for the proposed new construction, alteration or other activity prior to submitting a Project Application with the Planning Department in accordance with Planning Commission Pre-Application Policy.
2. The meeting was conducted at Zoom / Dial in Meeting (location/address) on 6/3/21 (date) from 6:00pm (time).
3. I have included the mailing list, meeting invitation and postmarked letter, sign-in sheet, issue/response summary, and reduced plans with the entitlement Application. I understand that I am responsible for the accuracy of this information and that erroneous information may lead to suspension or revocation of the permit.
4. I have prepared these materials in good faith and to the best of my ability.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

EXECUTED ON THIS DAY, 6/4, 2021 IN SAN FRANCISCO.

**Davin Leong** Digitally signed by Davin Leong  
Date: 2021.06.04 10:19:06 -07'00'

Signature

Davin Leong

Name (type or print)

Remick + Sessions Design

Relationship to Project (e.g. Owner, Agent)  
(if Agent, give business name & profession)

230 Anza Street

Project Address

# PRE-APPLICATION MEETING SIGN-IN SHEET

Meeting Date: 6/3/21  
 Meeting Time: 6:00pm  
 Meeting Address: Zoom Meeting  
 Project Address: 230 Anza Street  
 Property Owner Name: James Greig  
 Project Sponsor/Representative: Remick + Sessions Design

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

	NAME/ORGANIZATION	ADDRESS	PHONE #	EMAIL	SEND PLANS
1.	Allen Cohn	236 Anza Street	415-794-6995		<input type="checkbox"/>
2.					<input type="checkbox"/>
3.					<input type="checkbox"/>
4.					<input type="checkbox"/>
5.					<input type="checkbox"/>
6.					<input type="checkbox"/>
7.					<input type="checkbox"/>
8.					<input type="checkbox"/>
9.					<input type="checkbox"/>
10.					<input type="checkbox"/>
11.					<input type="checkbox"/>
12.					<input type="checkbox"/>
13.					<input type="checkbox"/>
14.					<input type="checkbox"/>
15.					<input type="checkbox"/>
16.					<input type="checkbox"/>

# SUMMARY OF DISCUSSION FROM THE PRE-APPLICATION MEETING

Meeting Date: 6/3/21  
 Meeting Time: 6:00pm  
 Meeting Address: Zoom / Dial-in Meeting  
 Project Address: 230 Anza Street  
 Property Owner Name: James Greig  
 Project Sponsor/Representative: Remick + Sessions Design

Please summarize the questions/comments and your response from the Pre-Application meeting in the space below. Please state if/how the project has been modified in response to any concerns.

Question/Concern #1 by (name of concerned neighbor/neighborhood group): \_\_\_\_\_  
Allen Cohn – Concern regarding a Porta Potty that is located in front of the property.

Project Sponsor Response: \_\_\_\_\_  
We are not aware of any Porta Potty. It is not for our project. However, we will look into who placed this  
Porta Potty at the project site and work to have it removed or relocated.

Question/Concern #2: \_\_\_\_\_  
Allen Cohn – Concern regarding the building not being built and issues that arise from it being urban blight.

Project Sponsor Response: \_\_\_\_\_  
We are moving as fast as we can considering the COVID pandemic and its effects on everyone.  
We will work with Planning to get an approximate timeline for the rest of the permit process.

Question/Concern #3: \_\_\_\_\_

Project Sponsor Response: \_\_\_\_\_

Question/Concern #4: \_\_\_\_\_

Project Sponsor Response: \_\_\_\_\_



230 Anza St. Pre-Application Video / Dial In Meeting

When Thu Jun 3, 2021 6pm – 7pm Pacific Time - Los Angeles

Where [https://zoom.us/j/95832538351?  
pwd=aWsrL1dZTXBJdm44RG92YmN3UTdFZz09](https://zoom.us/j/95832538351?pwd=aWsrL1dZTXBJdm44RG92YmN3UTdFZz09)

Join Zoom Meeting

<https://zoom.us/j/95832538351?pwd=aWsrL1dZTXBJdm44RG92YmN3UTdFZz09>

Meeting ID: 958 3253 8351

Passcode: 515974

One tap mobile

+16699009128,,95832538351#,,,,\*515974# US (San Jose)

+13462487799,,95832538351#,,,,\*515974# US (Houston)

Dial by your location

+1 669 900 9128 US (San Jose)

+1 346 248 7799 US (Houston)

+1 253 215 8782 US (Tacoma)

+1 646 558 8656 US (New York)

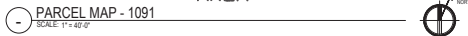
+1 301 715 8592 US (Washington DC)

+1 312 626 6799 US (Chicago)

Meeting ID: 958 3253 8351

Passcode: 515974

Find your local number: <https://zoom.us/u/aM07UIPpx>

[illegible]

<b><u>OWNER / ADDRESS:</u></b>	
JAMES GREIG JAG CAPITAL DEVELOPMENT LLC P.O. BOX 632 ALAMO, CA 94507 jamesgreig@comcast.net 650-515-8107	
<b><u>PROJECT ADDRESS:</u></b>	
230 ANZA STREET, SF, CA 94118	
<b><u>PARCEL ID:</u></b>	APRN-1091-013
<b><u>BLK/LT (LOT):</u></b>	1091 (13)
<b><u>ZONING CODE:</u></b>	RM-3
<b><u>HEIGHT &amp; BULK (DISTRICT):</u></b>	40'-X
<b><u>HEIGHT:</u></b>	40'-0" MAX.
<b><u>PROPOSED BLDG. HT.:</u></b>	39'-5"
<b><u>OCCUPANCY GROUPS:</u></b>	R-2 (PROPOSED CHANGE OF USE FROM R-3)
<b><u>TYPE OF CONSTRUCTION:</u></b>	
<b><u>YEAR BUILT:</u></b>	1990
<b><u>LOT AREA:</u></b>	2,500 SF
 <b><u>SCOPE OF WORK:</u></b>	
EXISTING 2 UNIT / 2 STORY DWELLING REMODEL INCLUDING ADDITION OF A THIRD STORY WITH EXTERIOR DECK AND MEZZANINE. A UNIT 3 STORY DWELLING IS PROPOSED. DWELLING WILL BE UPGRADED TO HAVE A NEW SPRINKLER SYSTEM THROUGHOUT. THE CURRENT STATUS OF THE PROJECT IS TENTATIVE TO DEMOLITION. SEE DEMOLITION CALCULATIONS.	
<b><u>EXISTING FIRST GROSS FLOOR AREA:</u></b>	992 SF
<b><u>EXISTING SECOND GROSS FLOOR AREA:</u></b>	1,102 SF
<b><u>PROPOSED FIRST GROSS FLOOR AREA:</u></b>	1,361 SF
<b><u>PROPOSED SECOND GROSS FLOOR AREA:</u></b>	1,463 SF
<b><u>PROPOSED THIRD GROSS FLOOR AREA:</u></b>	1,264 SF
<b><u>PROPOSED MEZZANINE GROSS FLOOR AREA:</u></b>	271 SF
<b><u>EXISTING PARKING SPACES PROVIDED:</u></b>	0
<b><u>PROPOSED PARKING SPACES PROVIDED:</u></b>	0
<b><u>EXISTING BICYCLE PARKING SPACES PROVIDED:</u></b>	0
<b><u>PROPOSED BICYCLE PARKING SPACES PROVIDED:</u></b>	3 CLASS 1 SPACES
 <b><u>NUMBER OF EXISTING UNITS:</u></b>	
2 (1 BD AND 2 BD UNITS)	
<b><u>NUMBER OF PROPOSED MARKET RATE UNITS:</u></b>	3 (1 BD, 2 BD, AND 3 BD UNITS)



ARCHITECTURAL DRAWINGS			
A0.00	COVER SHEET		NOT TO SCALE
A0.01	DEMOLITION CALCULATIONS	AS NOTED	NOT ISSUED
A0.02	OVERALL SITE PLAN	AS NOTED	
A0.03	SITE PLANS AND CODE REQUIREMENTS	AS NOTED	
A1.00	EXISTING THAT WAS DEMOLISHED IN 2015	AS NOTED	
A1.01	CURRENT EXISTING FRAMING, REMAINING ORIGINAL CONSTRUCTION, AND PROPOSED DEMOLITION FLOOR PLANS	AS NOTED	
A1.02	EXISTING / DEMO AND PROPOSED FIRST FLOOR PLANS	AS NOTED	
A1.03	EXISTING / DEMO AND PROPOSED SECOND FLOOR PLANS	AS NOTED	
A1.04	EXISTING / DEMO ROOF AND PROPOSED THIRD FLOOR PLANS	AS NOTED	
A1.05	PROPOSED MECHANICAL FLOOR PLAN	AS NOTED	
A1.06	PROPOSED ROOF PLAN	AS NOTED	
A2.00	EXISTING EXTERIOR ELEVATIONS AND DEMOLITION THAT OCCURRED IN 2015	AS NOTED	
A2.01	EXISTING EXTERIOR ELEVATIONS AND CURRENT PROPOSED DEMOLITION	AS NOTED	
A2.02	EXTERIOR ELEVATIONS	AS NOTED	
A2.03	EXTERIOR ELEVATIONS	AS NOTED	
A2.04	EXTERIOR ELEVATIONS	AS NOTED	
A2.05	EXTERIOR ELEVATIONS	AS NOTED	
A3.01	BUILDING SECTIONS	AS NOTED	
A3.02	BUILDING SECTIONS	AS NOTED	
A3.03	BUILDING SECTIONS	AS NOTED	
A4.01	INTERIOR ELEVATIONS	AS NOTED	NOT ISSUED
A5.01	REFLECTED CEILING PLANS	AS NOTED	NOT ISSUED
A6.01	STAR PLANS	AS NOTED	NOT ISSUED
A6.02	STAR DETAILS	AS NOTED	NOT ISSUED
A7.01	WINDOW AND DOOR SCHEDULE	AS NOTED	NOT ISSUED
A8.01	EXTERIOR DETAILS - FOUNDATION DETAILS	AS NOTED	NOT ISSUED
A8.02	EXTERIOR DETAILS - DOOR AND WINDOW DETAILS	AS NOTED	NOT ISSUED
A8.03	EXTERIOR DETAILS - WINDOW DETAILS	AS NOTED	NOT ISSUED
A8.04	EXTERIOR DETAILS - DECK DETAILS	AS NOTED	NOT ISSUED
A8.05	EXTERIOR DETAILS - DECK DETAILS	AS NOTED	NOT ISSUED
A9.01	INTERIOR DETAILS	AS NOTED	NOT ISSUED
<b>MECHANICAL</b>			
<b>ENERGY COMPLIANCE / TITLE 24</b>			
NOT ISSUED			
<b>STRUCTURAL DRAWINGS</b>			
NOT ISSUED			
<b>DEFERRED PERMITS</b>			
SPRINKLER SYSTEM, SANITARY SEWER CONNECTION, GAS LINE SIZING UPGRADE, ELECTRICAL SYSTEM, WATER SERVICE			

OWNER:  
JAMES GREIG  
JAG CAPITAL DEVELOPMENT LLC  
P.O. BOX 632  
ALAMO, CA 94507  
(950) 515-0107  
jamesagrig@comcast.net

STRUCTURAL ENGINEER:  
TBD

SOILS ENGINEER:  
TBD

TITLE 24 REPORTS:  
TBD

CIVIL ENGINEER:  
TBD

CONTRACTOR:  
TBD

DESIGNER:  
REMICK + SESSIONS DESIGN  
DALE SESSIONS  
1230 HOWARD ST. 2ND FL  
SAN FRANCISCO, CA 94103  
(415) 896-5500 x204  
dale@remickassociates.com

ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE FOLLOWING BUILDING CODES:

CURRENT FOR 2020: SAN FRANCISCO, CA.

SAN FRANCISCO, CA. PLUMBING CODE  
SAN FRANCISCO, CA. MECHANICAL CODES AND ORDINANCES / AMENDMENTS

CURRENT FOR WHEN PERMIT WAS FIRST ISSUED: SAN FRANCISCO, CA.

2013 CA BUILDING CODE, BASED ON 2015 INTERNATIONAL BUILDING CODE  
2013 CA RESIDENTIAL CODE, BASED ON 2015 INTERNATIONAL RESIDENTIAL CODE  
2013 CA ELECTRICAL CODE, BASED ON 2015 INTERNATIONAL ELECTRICAL CODE  
2013 CA MECHANICAL CODE, BASED ON 2015 INTERNATIONAL MECHANICAL CODE  
2013 CA PLUMBING CODE, BASED ON 2015 INTERNATIONAL PLUMBING CODE  
2013 CALIFORNIA ENERGY CODE  
2013 CALIFORNIA FIRE CODE  
2013 CALIFORNIA EXISTING BUILDING CODE  
2013 CA GREEN BUILDING STANDARDS CODE  
2013 CA REFERENCE STANDARDS CODE

ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO ALL REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND ALL APPLICABLE LOCAL AND STATE LAWS AND ORDINANCES. NOTHING ON THE DRAWINGS SHALL BE CONSIDERED TO CONTRADICT OR TAKE PRECEDENCE OVER ANY OF THE ABOVE.



<b>PUBLICATIONS</b>	
No.	DESCRIPTION DATE
PRE-APPLICATION PLANS 5/11/21	
<b>PROPERTY IDENTIFICATION</b>	
APN: 091-013	

ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

PROJECT:  
PROJECT No: 1903  
DRAWN BY: DAVIN L.  
DRAWING DESCRIPTION:  
**COVER SHEET**

SCALE: **AS NOTED**

SHEET No:

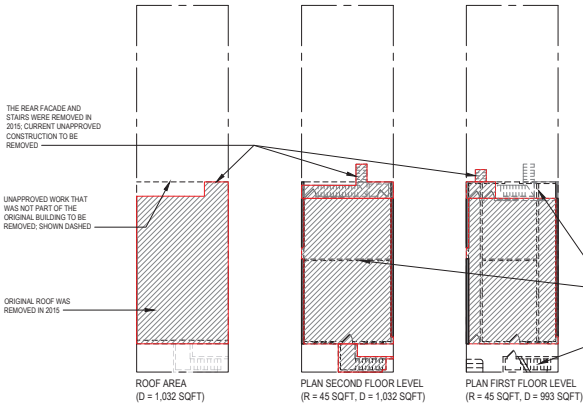
**A0.00**



SUMMARY TABLE NON-DEMOLITION DEMONSTRATION

SECT. 317 - LOSS OF DWELLING UNITS THROUGH DEMOLITION, MERGER, AND CONVERSION				
CODE REQ'T.	(E) BUILDING	REMAINING AFTER DEMO	OUTCOME (CODE)	COMPLIANCE
FRONT + REAR FACADE (LINEAR FT AT FOUNDATION)	FRONT = 25' REAR = 25'	FRONT = 0' REAR = 0'	0% REMAINING OR 100% DEMOED	DOES NOT COMPLY
	TOTAL = 50'	TOTAL = 0'	> 50% (CODE)	
ALL EXTERIOR WALLS (LINEAR FT AT FOUNDATION)	NORTH = 25' EAST = 39.7' SOUTH = 25' WEST = 39.7'	NORTH = 0' EAST = 39.7' SOUTH = 0' WEST = 39.7'	61.4% REMAINING OR 38.6% DEMOED < 65% (CODE)	COMPLIES
	TOTAL = 129.4'	TOTAL = 79.4'		
VERTICAL ENVELOPE (SF OF SURFACE AREA)	NORTH = 643 SF EAST = 1,022 SF SOUTH = 622 SF WEST = 1,022 SF	NORTH = 0 SF EAST = 879 SF SOUTH = 0 SF WEST = 879 SF	53.1% REMAINING OR 46.9% DEMOED < 50% (CODE)	COMPLIES
	TOTAL = 3,309 SF	TOTAL = 1,758 SF		
HORIZONTAL ELEMENTS (SF OF SURFACE AREA)	1ST = 1,032 SF 2ND = 1,178 SF ROOF = 1,032 SF	1ST = 45 SF 2ND = 45 SF ROOF = 0 SF	2.8% REMAINING OR 97.2% DEMOED > 50% (CODE)	DOES NOT COMPLY
	TOTAL = 3,248 SF	TOTAL = 90 SF		

PROPOSED DEMOLITION FROM ORIGINAL STRUCTURE (BEFORE UNAPPROVED DEMOLITION AND CONSTRUCTION OCCURRED IN 2015)

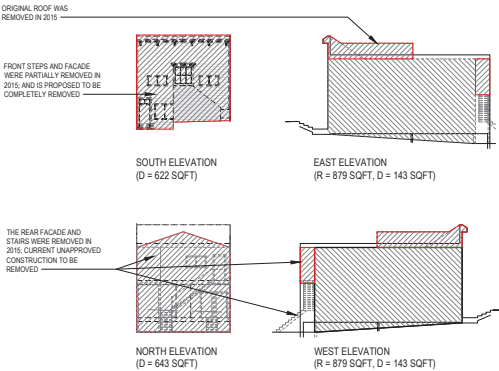


HORIZONTAL ELEMENTS REQUIREMENT

SUM OF HORIZONTAL ELEMENTS IN SQ. FT.			
	TO REMAIN	DEMOLISH	TOTAL
1ST FLOOR	45	993	1,038
2ND FLOOR	45	1,133	1,178
ROOF AREA	-	1,032	1,032
TOTAL	90	3,158	3,248
	2.8%	97.2%	100%

▨ HORIZONTAL ELEMENT TO REMAIN (R)  
▨ HORIZONTAL ELEMENT OF ORIGINAL BUILDING TO BE REMOVED OR WAS REMOVED IN 2015 (D)

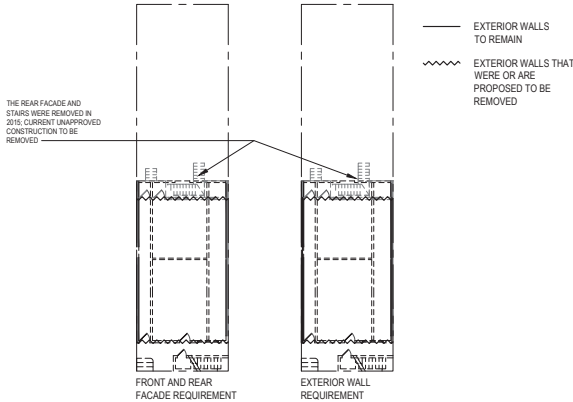
UNAPPROVED WORK THAT WAS NOT PART OF THE ORIGINAL BUILDING TO BE REMOVED, SHOWN DASHED  
FRONT STEPS AND FACADE WERE PARTIALLY REMOVED IN 2015, AND IS PROPOSED TO BE COMPLETELY REMOVED



VERTICAL ENVELOPE ELEMENTS REQUIREMENT

SUM OF VERTICAL ENVELOPE ELEMENTS IN SQ. FT.			
	TO REMAIN	DEMOLISH	TOTAL
NORTH ELEVATION	-	643	643
EAST ELEVATION	879	143	1,022
SOUTH ELEVATION	-	622	622
WEST ELEVATION	879	143	1,022
TOTAL	1,758	1,551	3,309
	53.1%	46.9%	100%

▨ VERTICAL ENVELOPE ELEMENT TO REMAIN (R)  
▨ VERTICAL ENVELOPE ELEMENT OF ORIGINAL BUILDING TO BE REMOVED OR WAS REMOVED IN 2015 (D)



FRONT AND REAR FACADE REQUIREMENT

FRONT AND REAR FACADE MEASURED IN LINEAR FEET AT FOUNDATION LEVEL			
	THAT REMAINED	DEMOLISHED	TOTAL
NORTH ELEVATION	-	25	25
SOUTH ELEVATION	-	25	25
TOTAL	-	50	50
	0%	100%	100%

EXTERIOR WALL REQUIREMENT

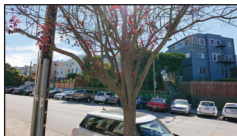
EXTERIOR WALLS MEASURED IN LINEAR FEET AT FOUNDATION LEVEL			
	THAT REMAINED	DEMOLISHED	TOTAL
NORTH ELEVATION	-	25	25
EAST ELEVATION	39.7	-	39.7
SOUTH ELEVATION	-	25	25
WEST ELEVATION	39.7	-	39.7
TOTAL	79.4	50	129.4
	61.4%	38.6%	100%



② ADJACENT BLDGS. (35, 15, 14)  
SCALE: NTS



③ ADJACENT BLDGS. (12, 11, 10, 9B, 9A)  
SCALE: NTS



④ OPPOSITE SIDE OF STREET  
SCALE: NTS



⑤ OPPOSITE SIDE OF STREET  
SCALE: NTS



⑥ OPPOSITE SIDE OF STREET  
SCALE: NTS



① SITE PLAN  
SCALE: 1/8" = 1'-0"





**THIRD FLOOR UNIT**  
133 SF PRIVATE (DECK GREATER THAN 6' X 10') > 100 SF MIN. (PRIVATE  
OPEN SPACE REQUIRED)

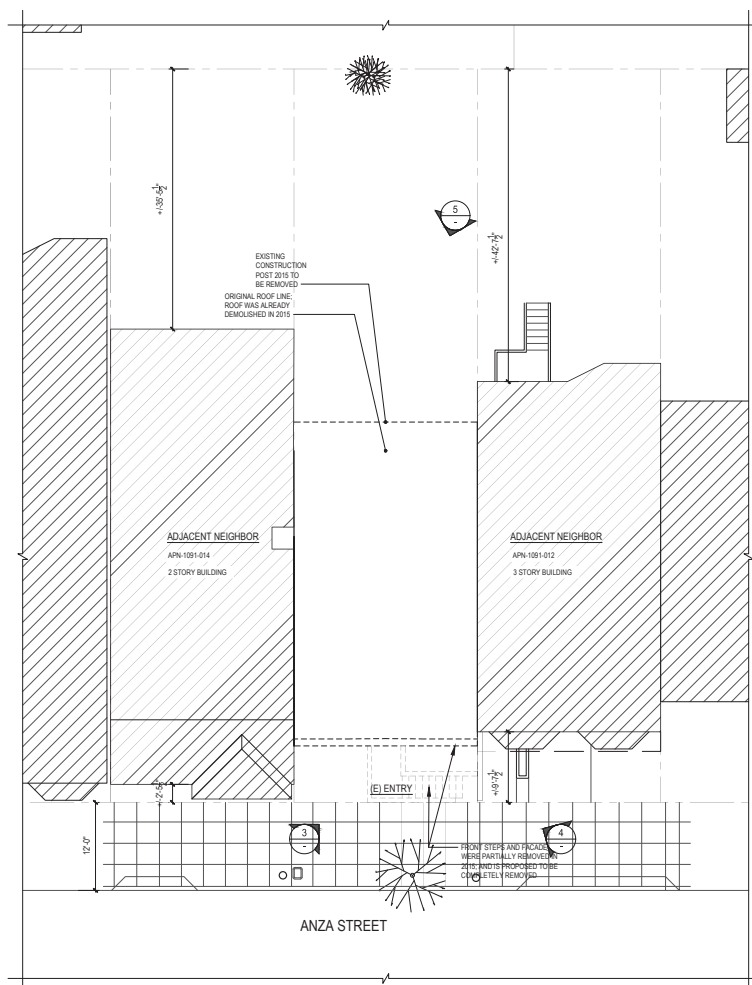


PROPERTY IDENTIFICATION  
APN: 1091-013

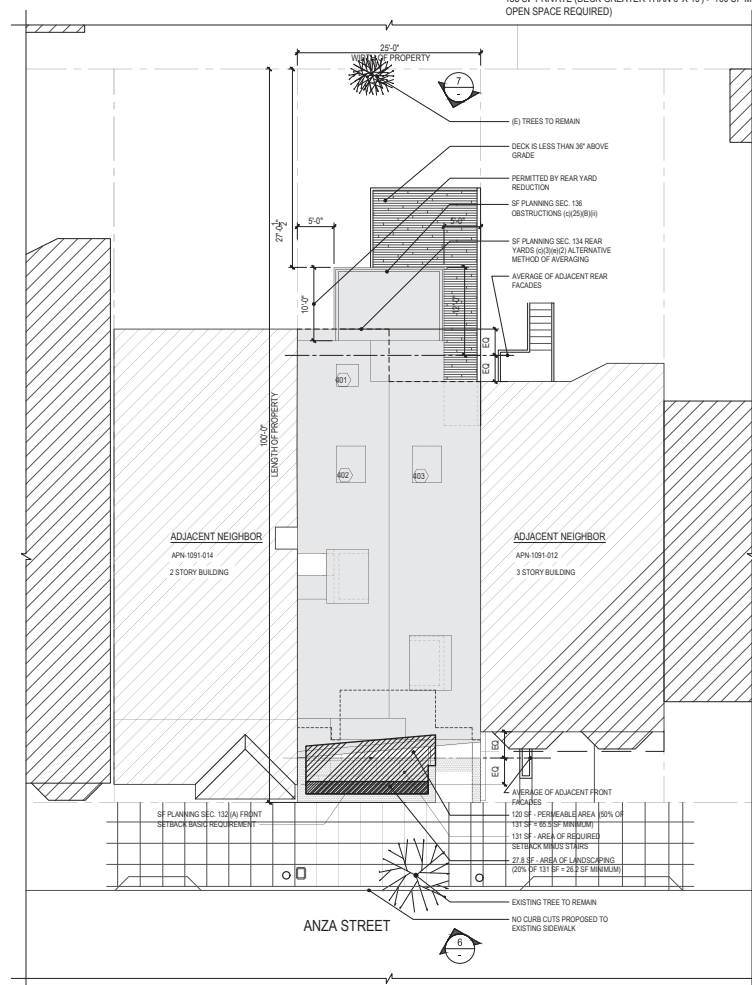
PROJECT: \_\_\_\_\_  
PROJECT No: 1903  
DRAWN BY: DAVIN L.  
DRAWING DESCRIPTION:  
**SITE PLANS AND CODE REQUIREMENTS**

SCALE: **AS NOTED**

A0.03






2 EXISTING SITE PLAN  
SCALE: 1/8" = 1'-0"



1 PROPOSED SITE PLAN  
SCALE: 1/8" = 1'-0"

**LEGEND**

- PROPERTY LINE
-  PROPOSED LANDSCAPING
-  PROPOSED PERMEABLE SURFACE
-  REQUIRED SETBACK



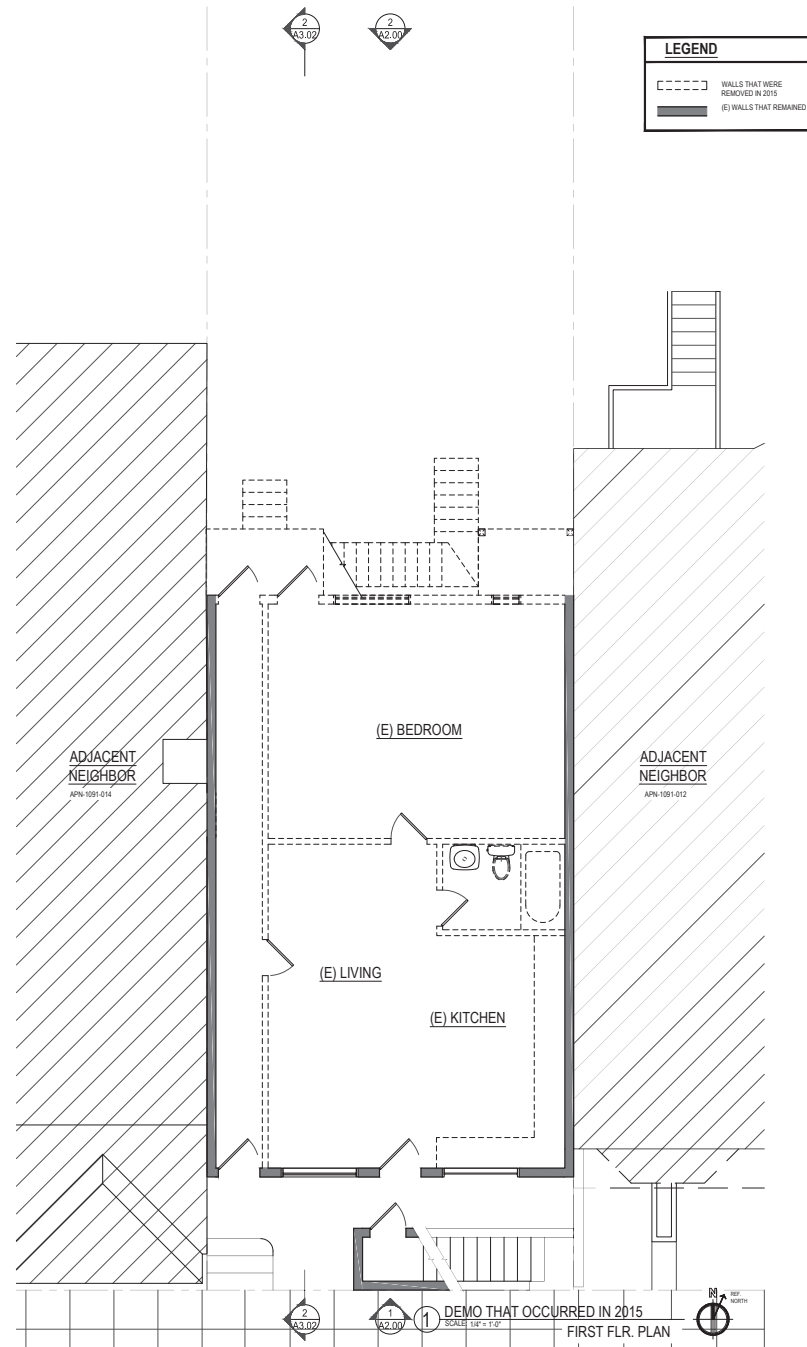
**PROPERTY IDENTIFICATION**  
APN: 1091-013

ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

SCALE: **AS NOTED**

SHEET No:

A1.00



**LEGEND**

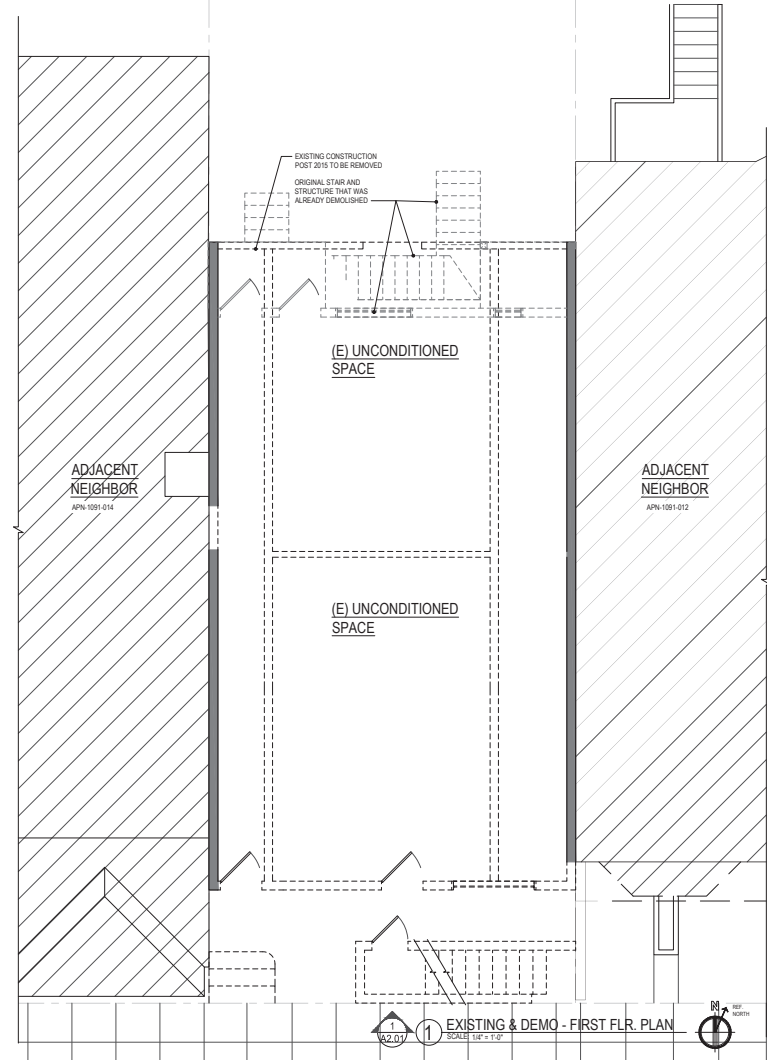
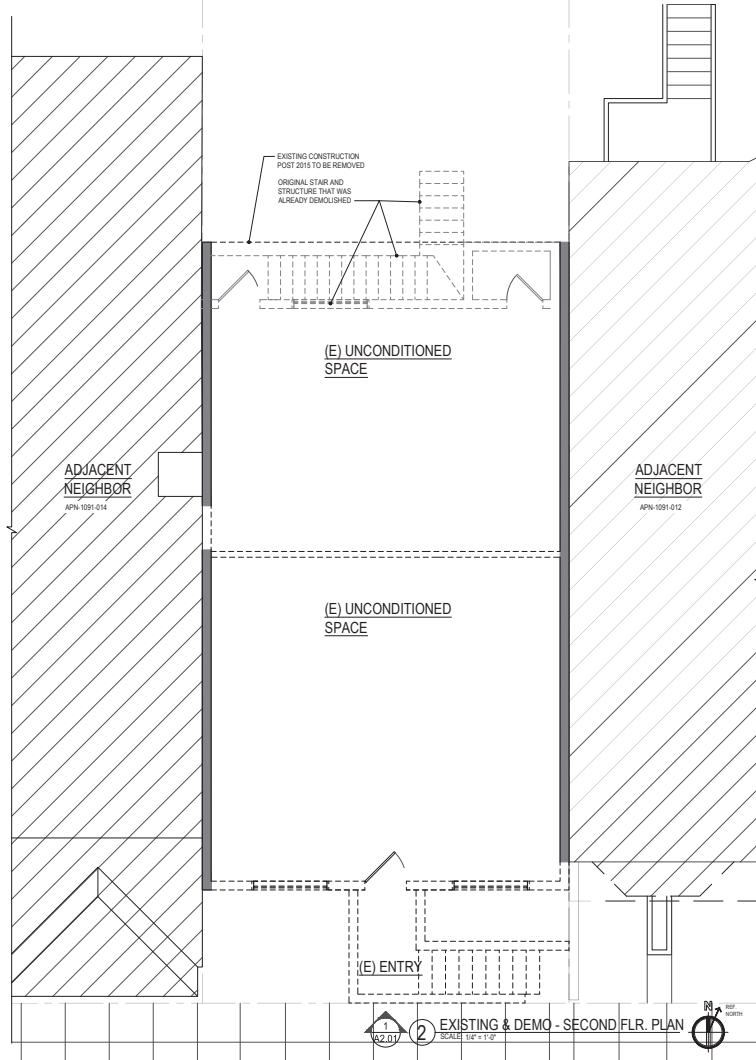
TO BE REMOVED

(E) WALLS TO REMAIN

**LEGEND**

TO BE REMOVED

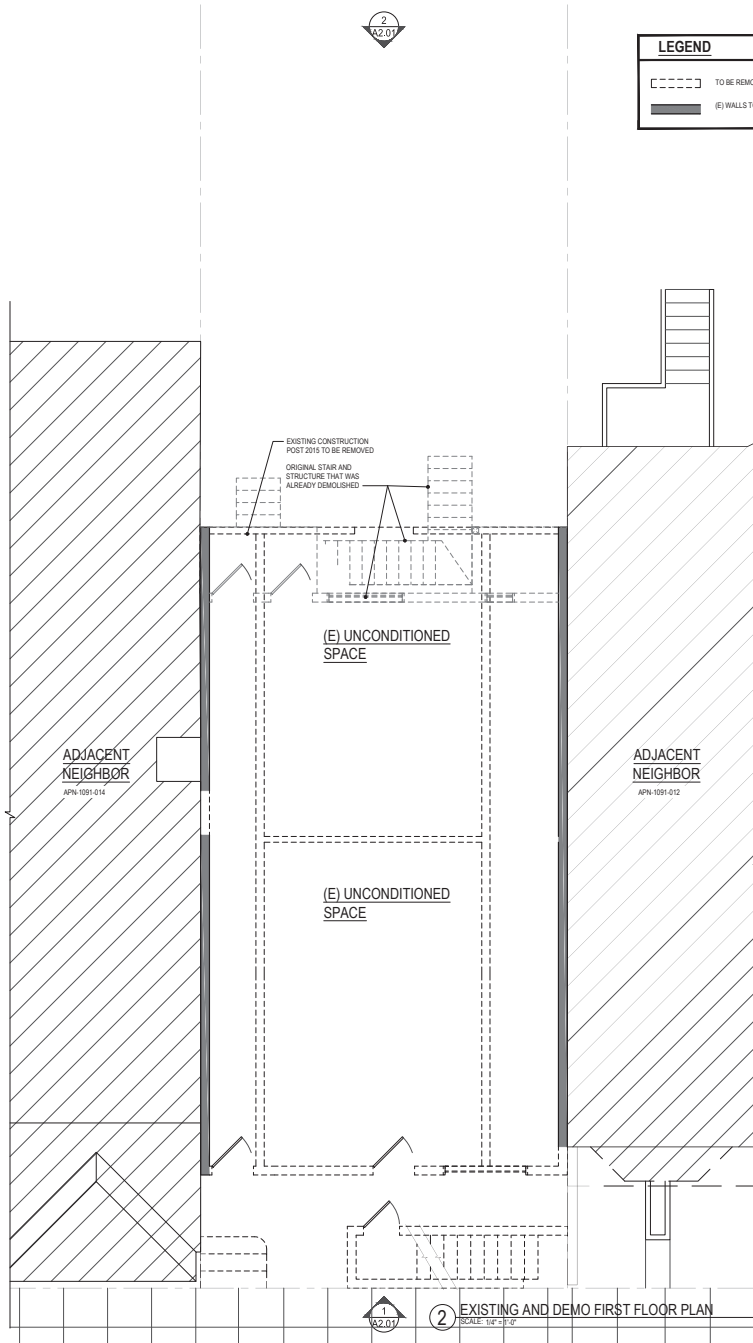
(E) WALLS TO REMAIN



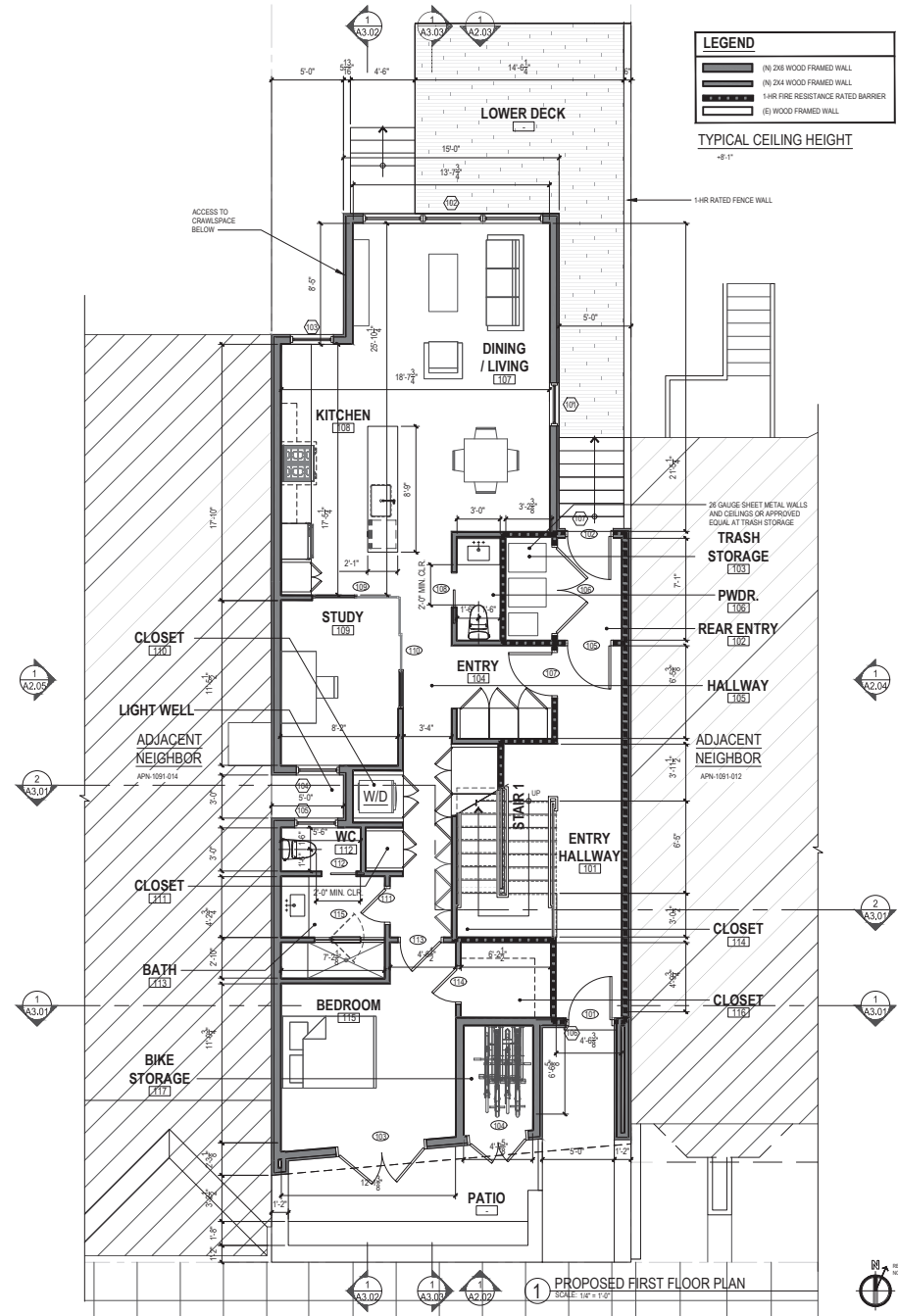
LEGEND	
	TO BE REMOVED
	(E) WALLS TO REMAIN

LEGEND	
	(N) 2X6 WOOD FRAMED WALL
	(N) 2X4 WOOD FRAMED WALL
	1-HR FIRE RESISTANCE RATED BARRIER
	(E) WOOD FRAMED WALL

TYPICAL CEILING HEIGHT  
= 8'-1"



2 EXISTING AND DEMO FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



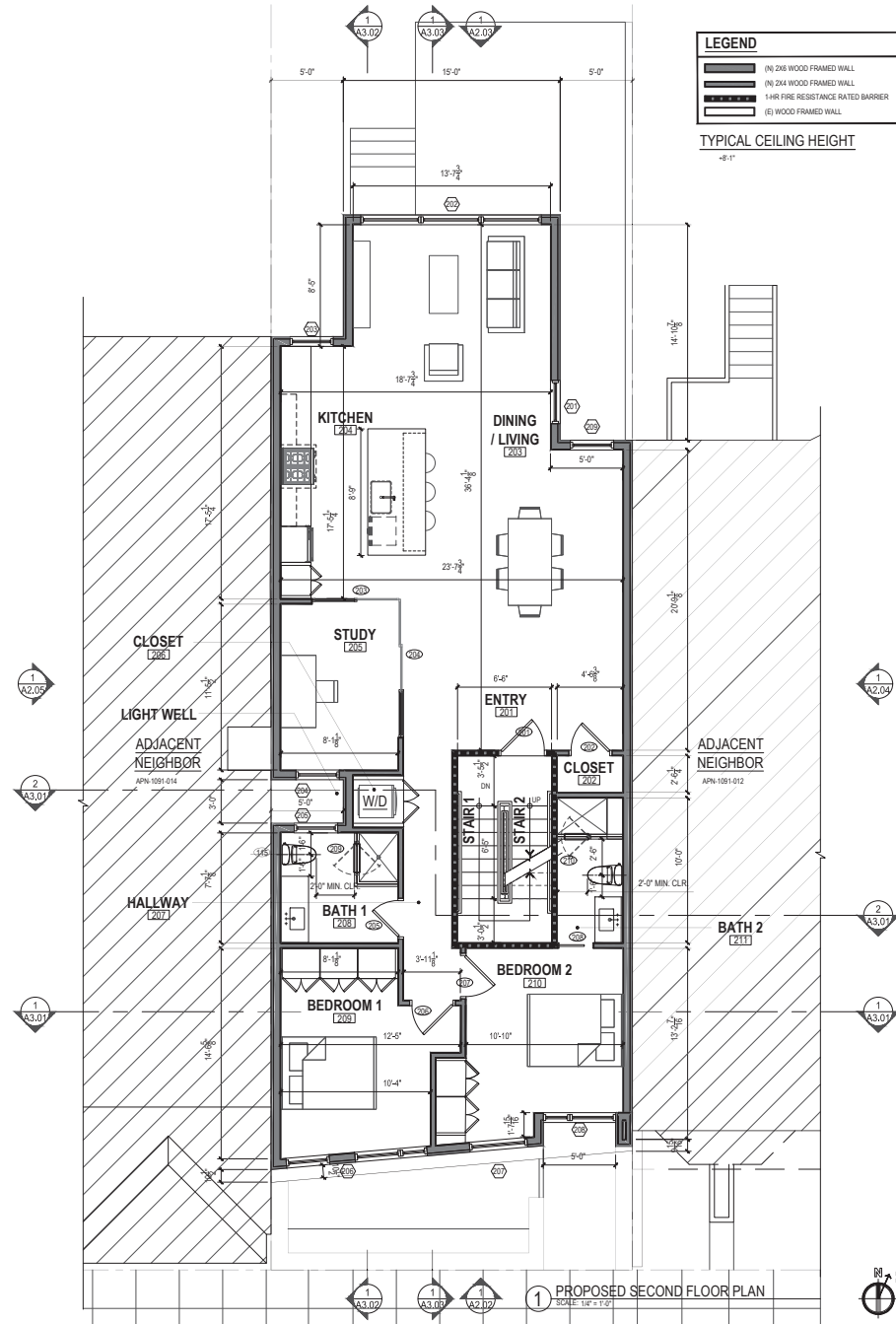
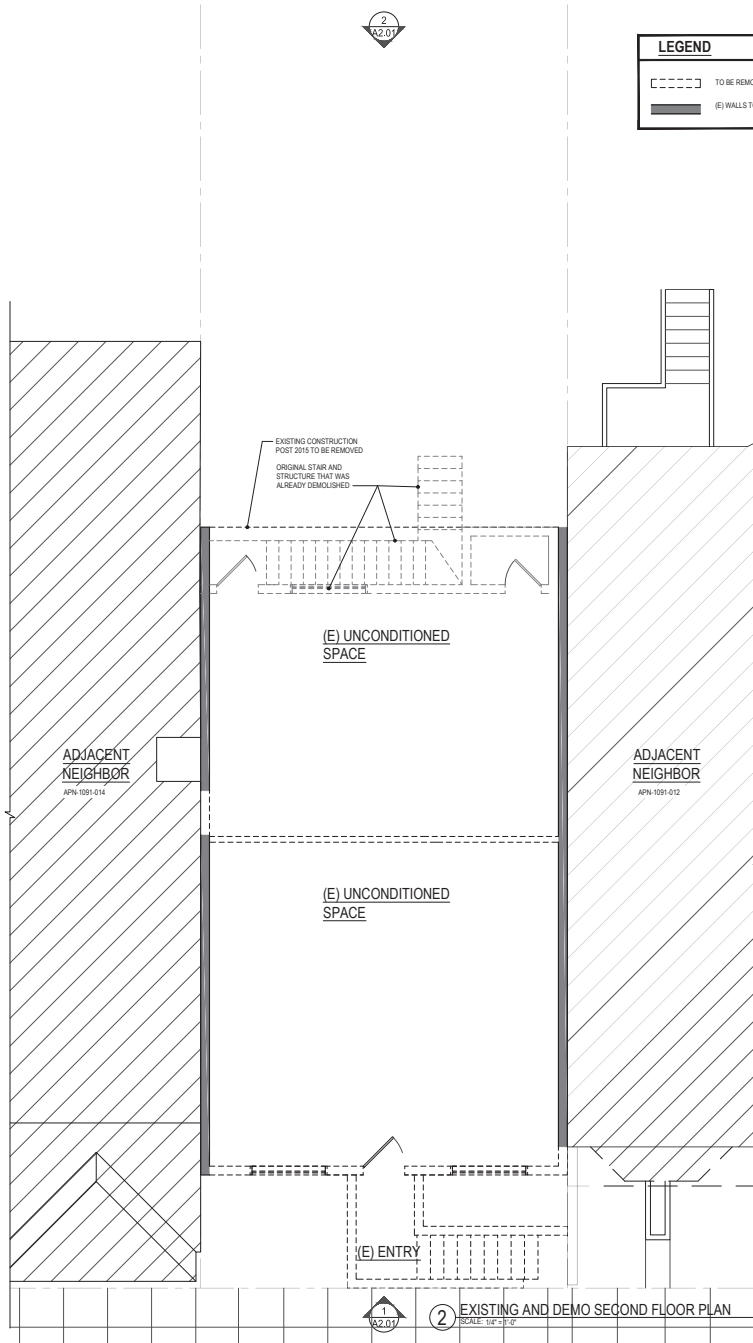
1 PROPOSED FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



LEGEND	
	TO BE REMOVED
	(E) WALLS TO REMAIN

LEGEND	
	(N) 2X6 WOOD FRAMED WALL
	(N) 2X4 WOOD FRAMED WALL
	1HR FIRE RESISTANCE RATED BARRIER
	(E) WOOD FRAMED WALL

TYPICAL CEILING HEIGHT  
= 8'-1"



2  
A2.01

LEGEND	
	TO BE REMOVED
	(E) WALLS TO REMAIN

EXISTING CONSTRUCTION  
POST 2015 TO BE REMOVED  
ORIGINAL ROOF LINE, ROOF  
WAS ALREADY DEMOLISHED  
IN 2015

ADJACENT  
NEIGHBOR  
APN: 1091-014

ADJACENT  
NEIGHBOR  
APN: 1091-012

(E) ENTRY

1  
A2.01

2 EXISTING AND DEMO ROOF PLAN  
SCALE: 1/8" = 1'-0"



LEGEND	
	(N) 2X6 WOOD FRAMED WALL
	(N) 2X4 WOOD FRAMED WALL
	1HR FIRE RESISTANCE RATED BARRIER
	(E) WOOD FRAMED WALL

TYPICAL CEILING HEIGHT  
VULTED CEILINGS AT COMMON SPACES,  
+8'-1" AT BEDROOMS, HALLWAY AND BATHS

UPPER DECK

SKYLIGHT, TYP.

HALLWAY  
[304]

LIGHT WELL  
ADJACENT  
NEIGHBOR  
APN: 1091-014

BATH 1  
[305]

WC  
[306]

CLOSET  
[307]

BEDROOM 1  
[310]

KITCHEN  
[303]

DINING / LIVING  
[302]

ENTRY  
[301]

STAIR 2  
[308]

STAIR 3  
[309]

BEDROOM 2  
[311]

BATH 2  
[312]

ADJACENT  
NEIGHBOR  
APN: 1091-012

1  
A3.02

1  
A3.03

1  
A2.02

1 PROPOSED THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"



415.896.9500  
RemickSessions.com  
1230 Howard Street  
San Francisco, CA 94103

PUBLICATIONS	DATE
No. DESCRIPTION	
PRE-APPLICATION PLANS	5/11/21

PROPERTY IDENTIFICATION  
APN: 1091-013

PROJECT:  
ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

PROJECT No: 1903  
DRAWN BY: DAVIN L.  
DRAWING DESCRIPTION:  
EXISTING / DEMO ROOF  
AND PROPOSED THIRD  
FLOOR PLANS

SCALE: AS NOTED  
SHEET No:

A1.04



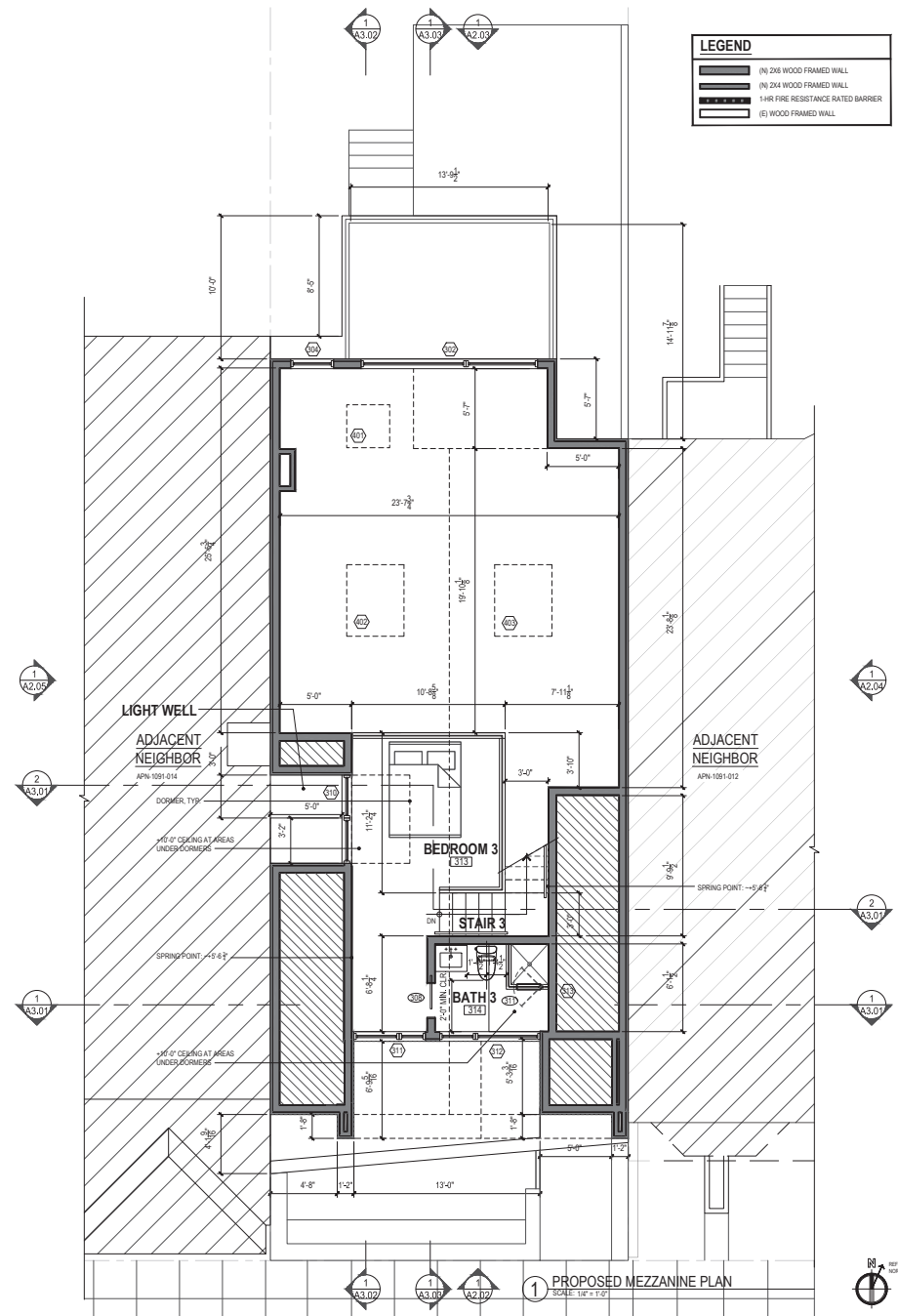


**PROPERTY IDENTIFICATION**  
APN: 1091-013

ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

SCALE: **AS NOTED**

SHEET No:





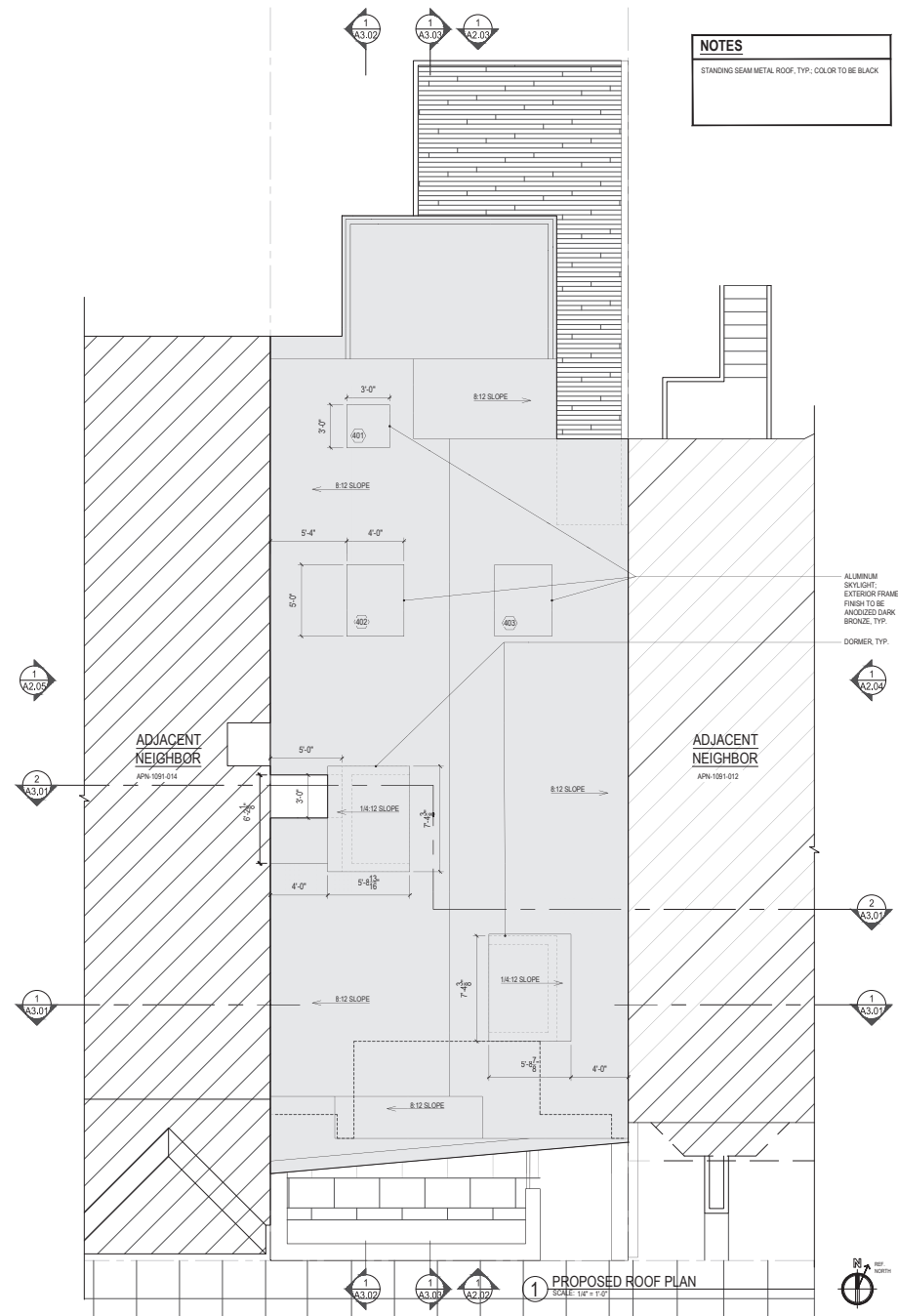
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APN: 1091-013

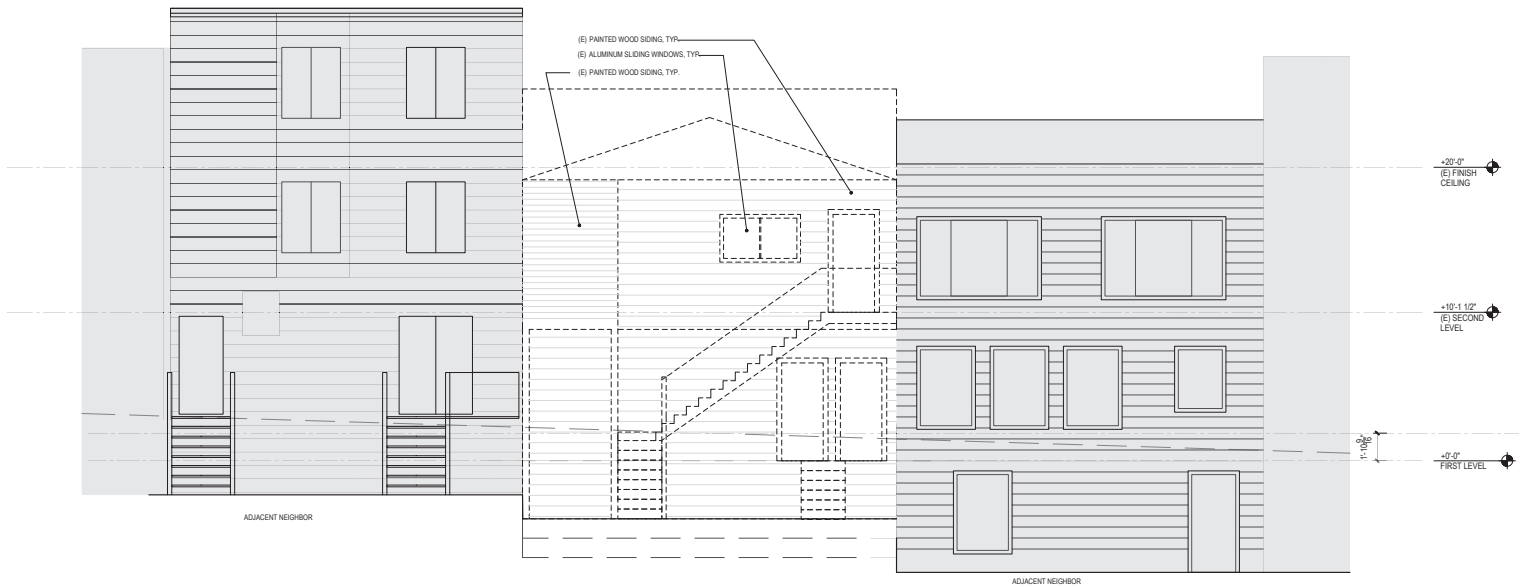
ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

SCALE: **AS NOTED**

SHEET No:

## A1.06





2 EXISTING REAR ELEVATION AND DEMOLITION THAT OCCURRED IN 2015  
SCALE: 1/4" = 1'-0"



1 EXISTING FRONT ELEVATION - FRONT ELEVATION IS STILL EXISTING  
SCALE: 1/4" = 1'-0"

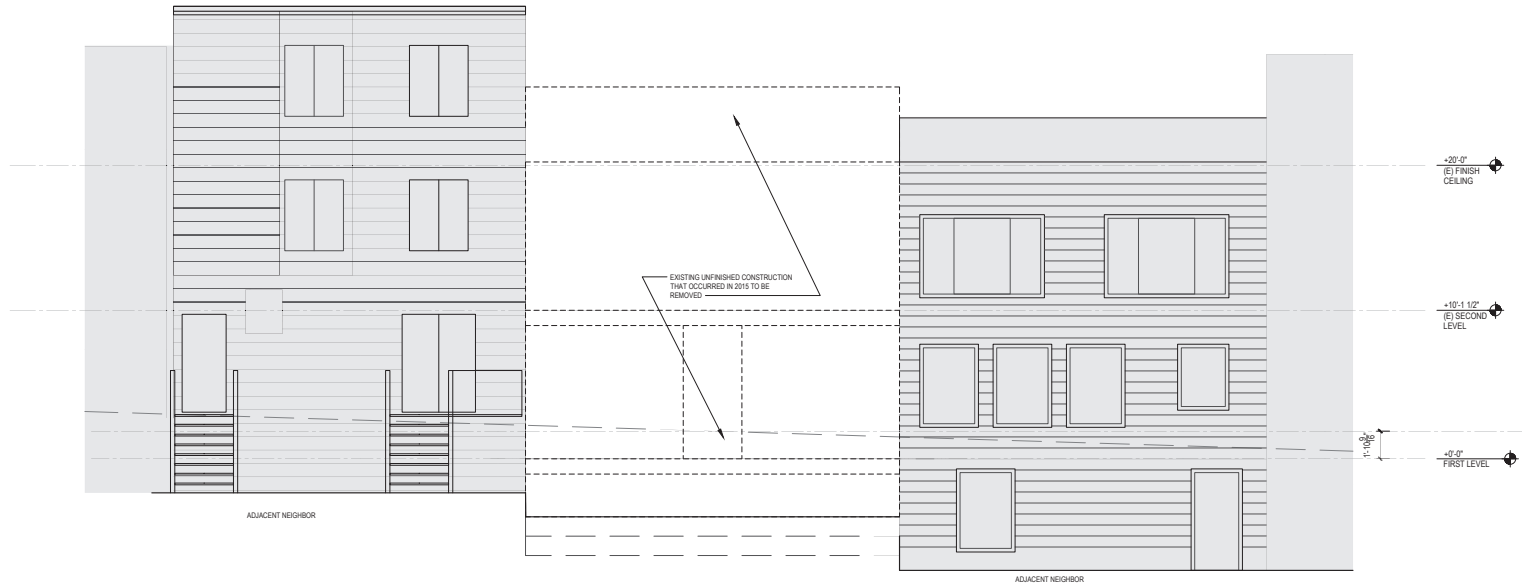
NOTES  
(E) EXTERIOR SIDE WALLS AND FLOOR  
STRUCTURE TO REMAIN

PROJECT:  
ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

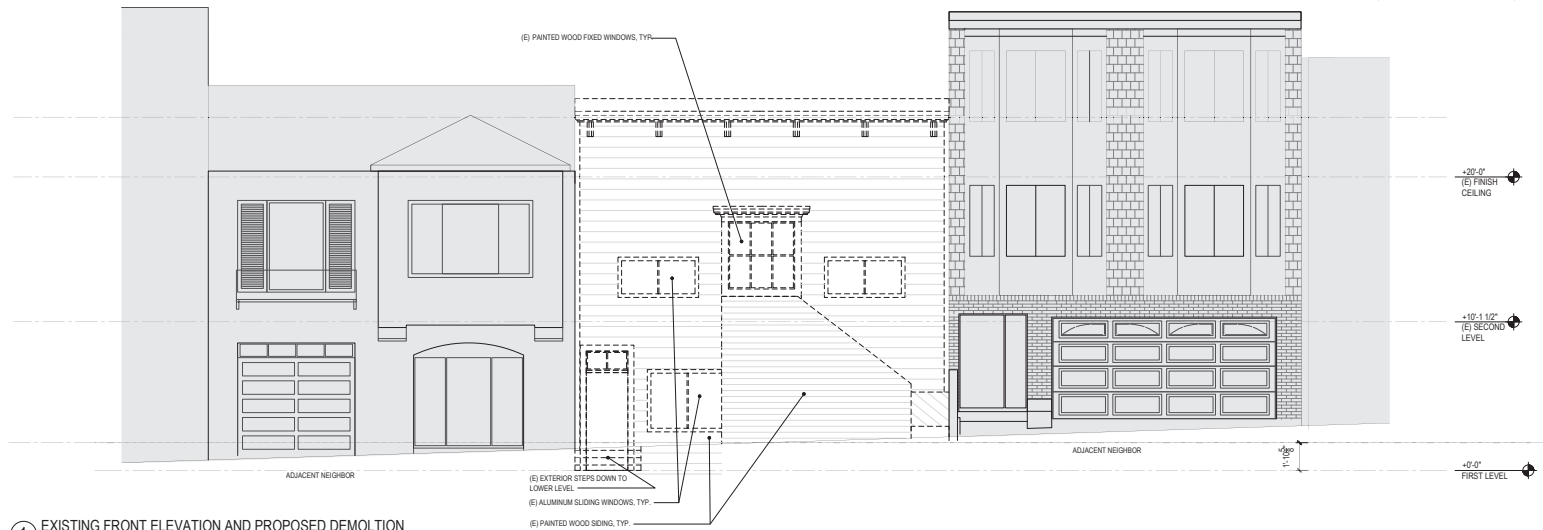
PROJECT No.: 1903  
DRAWN BY: DAVIN L.  
DRAWING DESCRIPTION:  
EXISTING EXTERIOR  
ELEVATIONS AND  
DEMOLITION THAT  
OCCURRED IN 2015

SCALE: AS NOTED  
SHEET No.:

A2.00



2 EXISTING REAR ELEVATION AND PROPOSED DEMOLITION INCLUDING ORIGINAL FACADE THAT WAS REMOVED IN 2015  
SCALE: 1/4" = 1'-0"



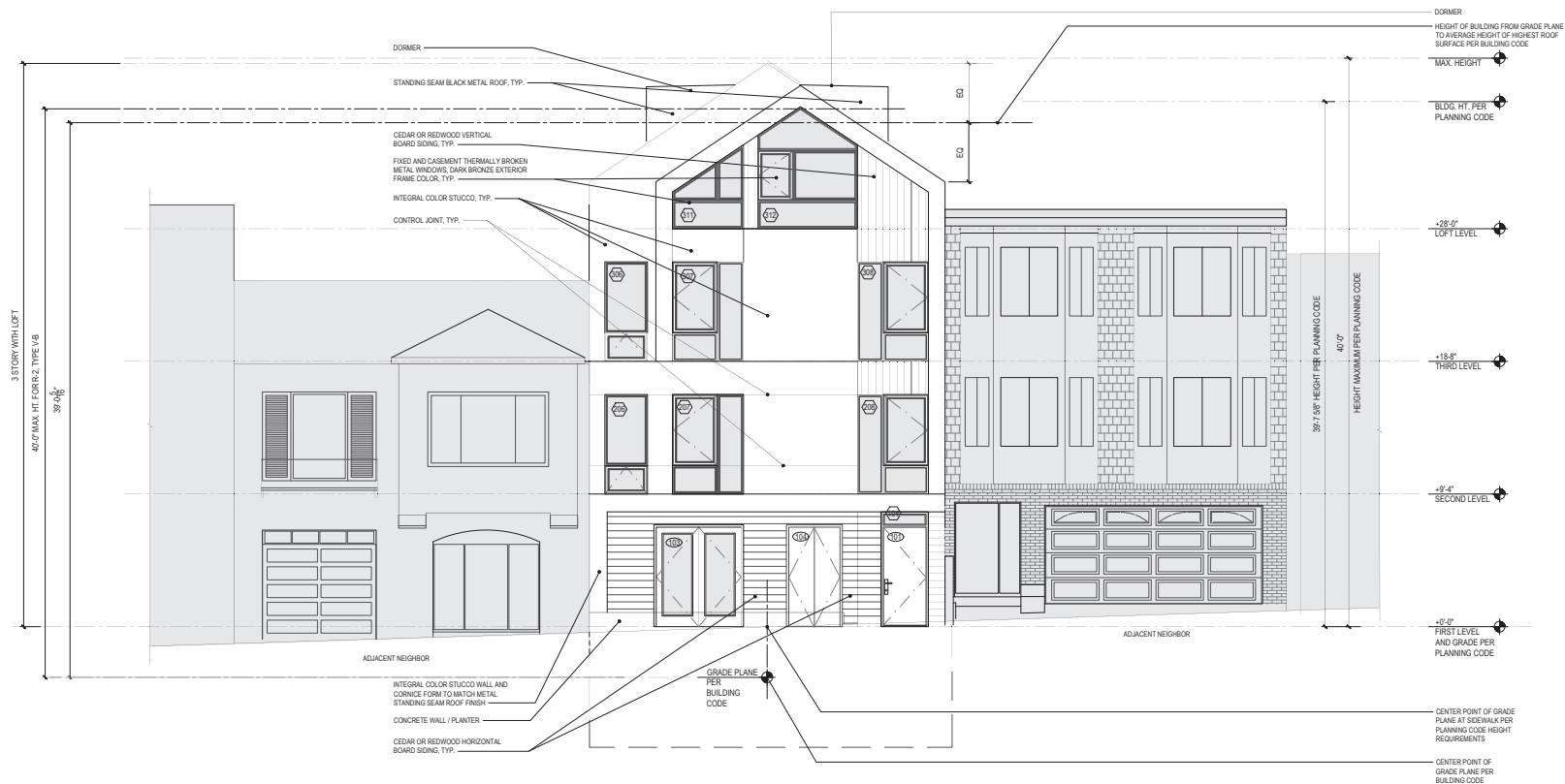
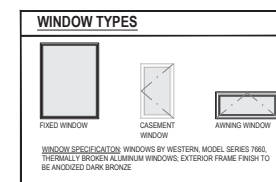
1 EXISTING FRONT ELEVATION AND PROPOSED DEMOLITION  
SCALE: 1/4" = 1'-0"

ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

PROJECT:  
PROJECT No. 1903  
DRAWN BY: DAVIN L.  
DRAWING DESCRIPTION:  
EXISTING EXTERIOR  
ELEVATIONS AND  
CURRENT PROPOSED  
DEMOLITION

SCALE: AS NOTED  
SHEET No.


A2.01



1 PROPOSED FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

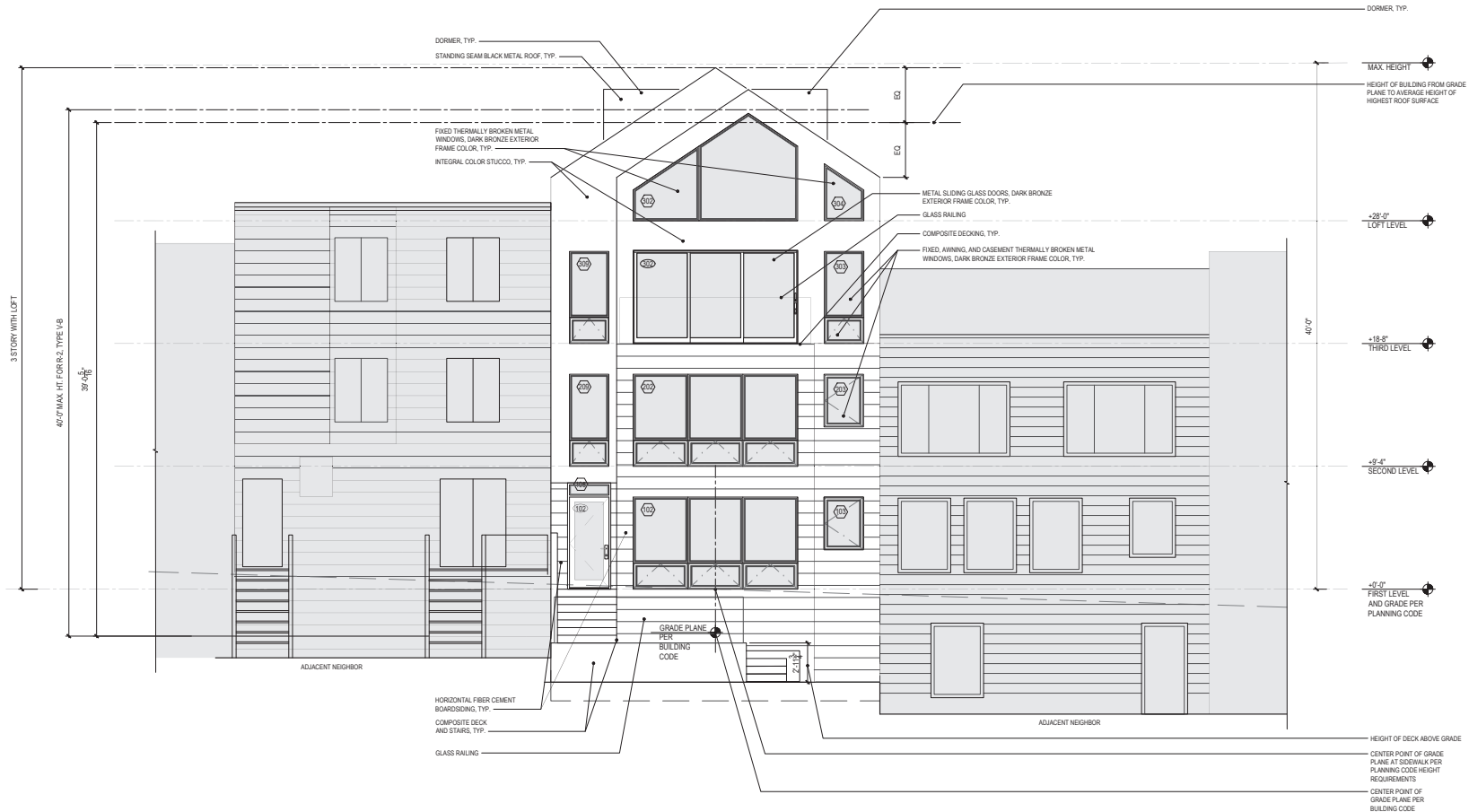
SCALE: 1/4" = 1'-0"

**WINDOW TYPES**




FIXED WINDOW  
CASEMENT WINDOW  
AWNING WINDOW

**WINDOW SPECIFICATION:** WINDOWS BY WESTERN, MODEL SERIES 7860, THERMALLY BROKEN ALUMINUM WINDOWS, EXTERIOR FRAME FINISH TO BE ANODIZED DARK BRONZE.

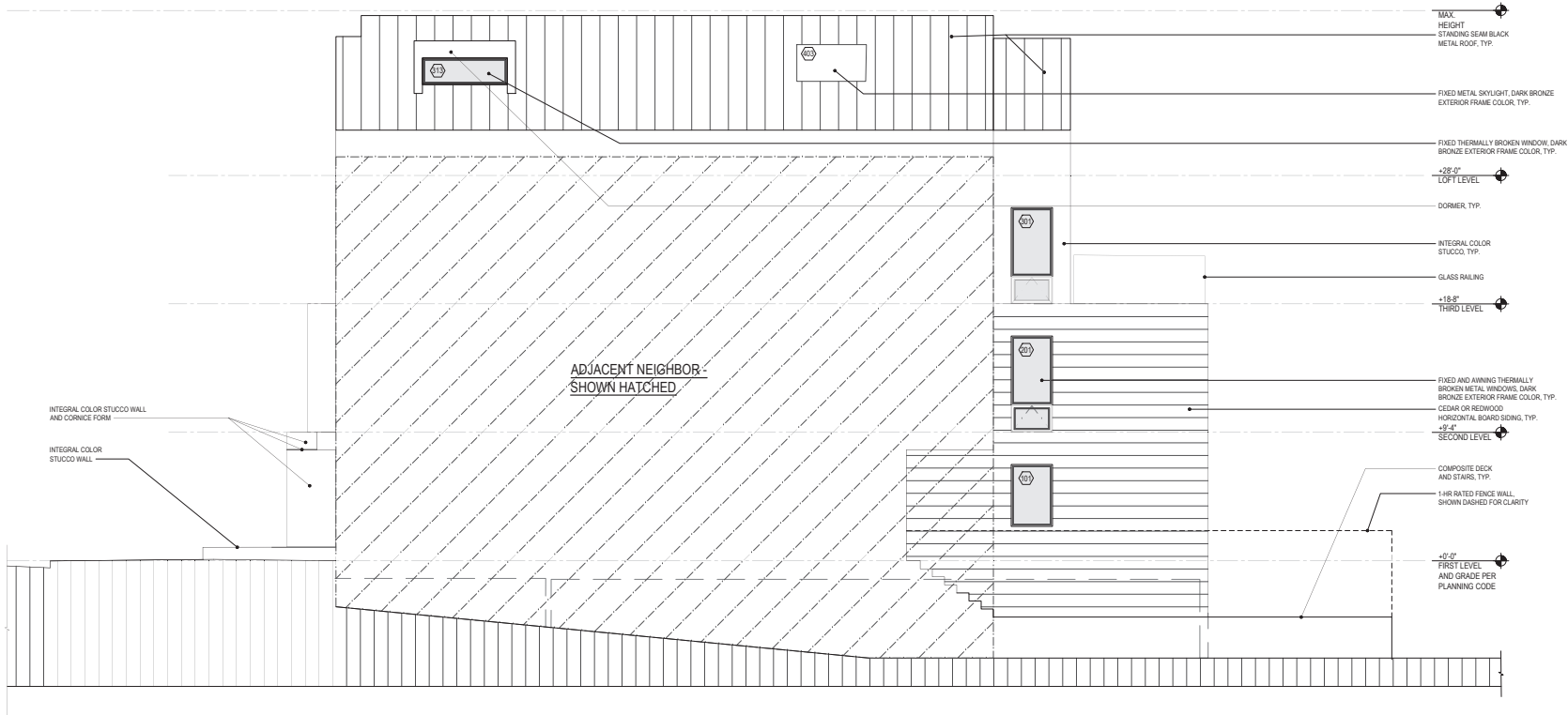


1 PROPOSED REAR ELEVATION  
SCALE: 1/4" = 1'-0"

**WINDOW TYPES**



**WINDOW SPECIFICATION:** WINDOWS BY WESTERN, MODEL SERIES 7800, THERMALLY BROKEN ALUMINUM WINDOWS, EXTERIOR FRAME FINISH TO BE ANODIZED DARK BRONZE.



1 PROPOSED EAST ELEVATION  
SCALE: 1/4" = 1'-0"

PUBLICATIONS	No.	DESCRIPTION	DATE
PRE-APPLICATION PLANS	5/11/21		

PROPERTY IDENTIFICATION
APN: 1091-013

ANZA STREET PROJECT  
230 ANZA STREET  
SAN FRANCISCO, CA 94118  
BUILDING PERMIT: 2016-06139725

PROJECT
PROJECT No.: 1903
DRAWN BY: DAVIN L.
DRAWING DESCRIPTION:
PROPOSED EXTERIOR ELEVATIONS

SCALE: AS NOTED
SHEET No.:

A2.04

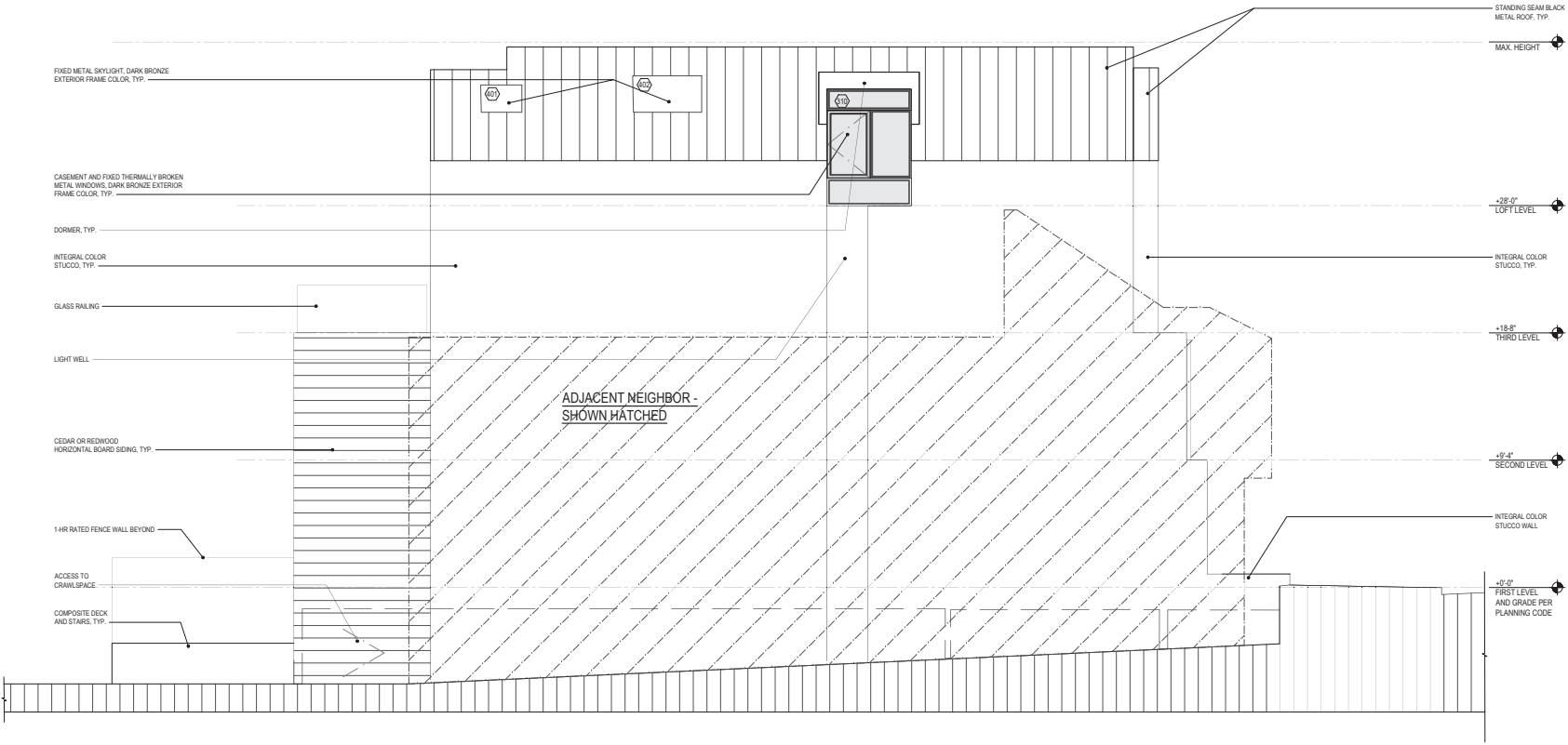
**WINDOW TYPES**

FIXED WINDOW

CASEMENT WINDOW

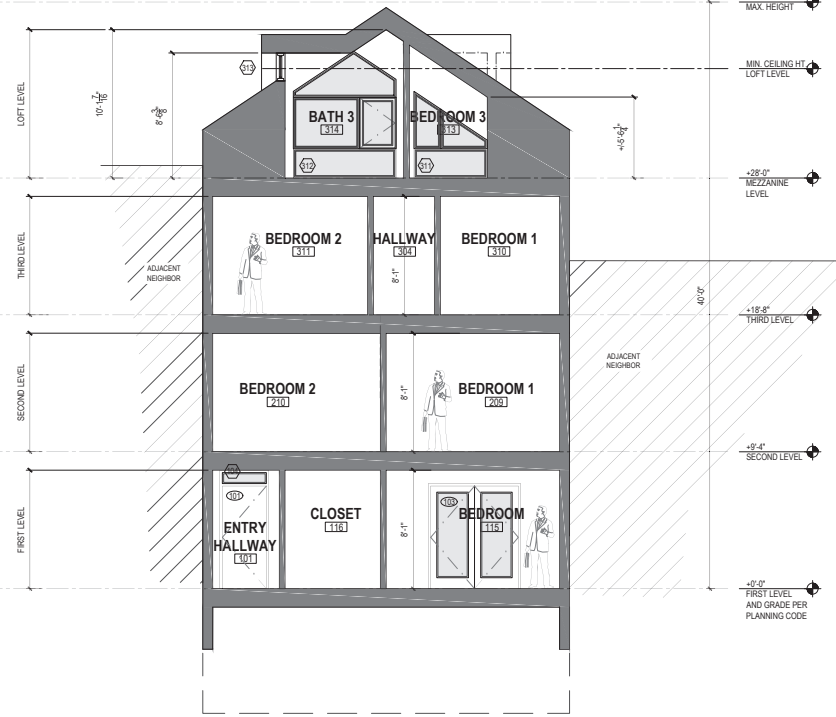
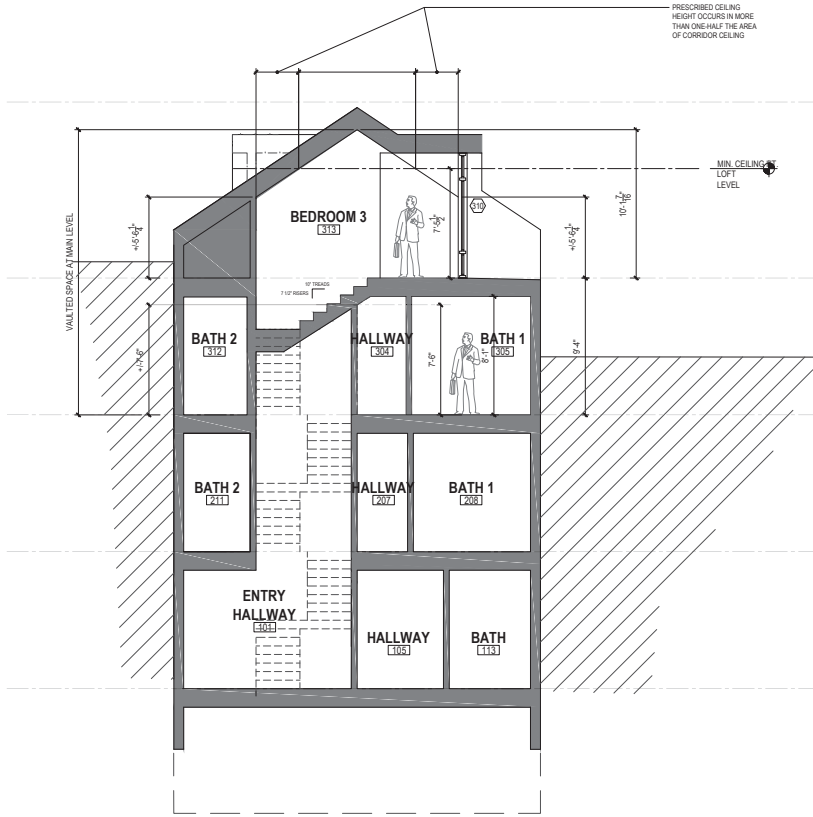
AWNING WINDOW

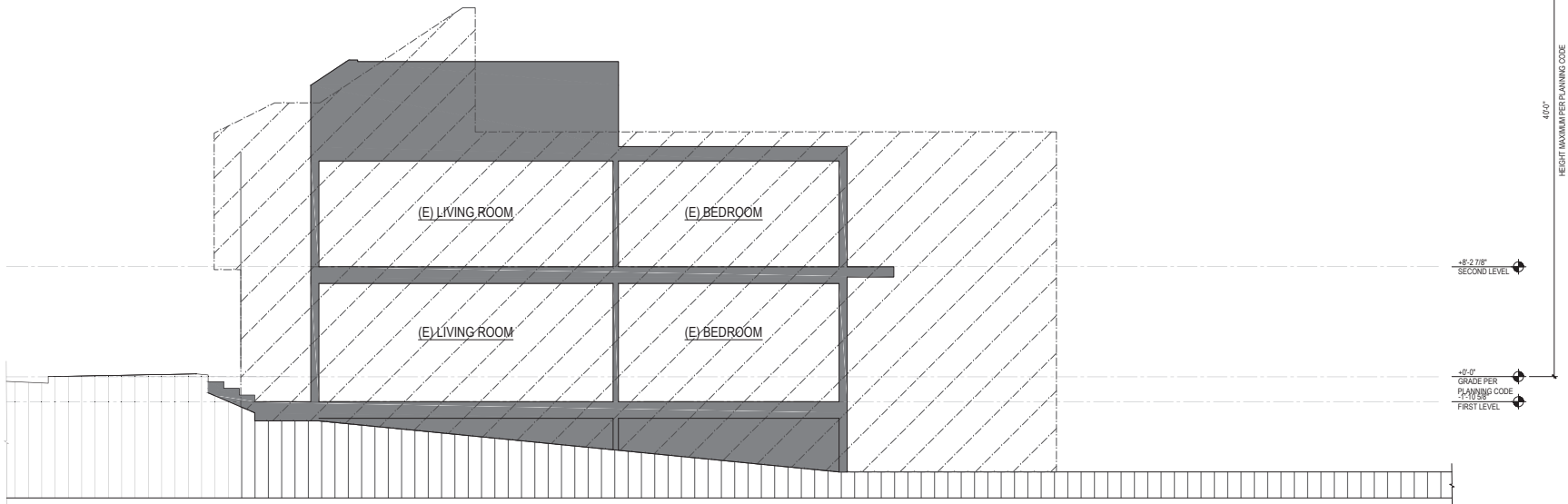
WINDOW SPECIFICATION: WINDOWS BY WESTERN, MODEL SERIES 7860, THERMALLY BROKEN ALUMINUM WINDOWS, EXTERIOR FRAME FINISH TO BE ANODIZED DARK BRONZE.



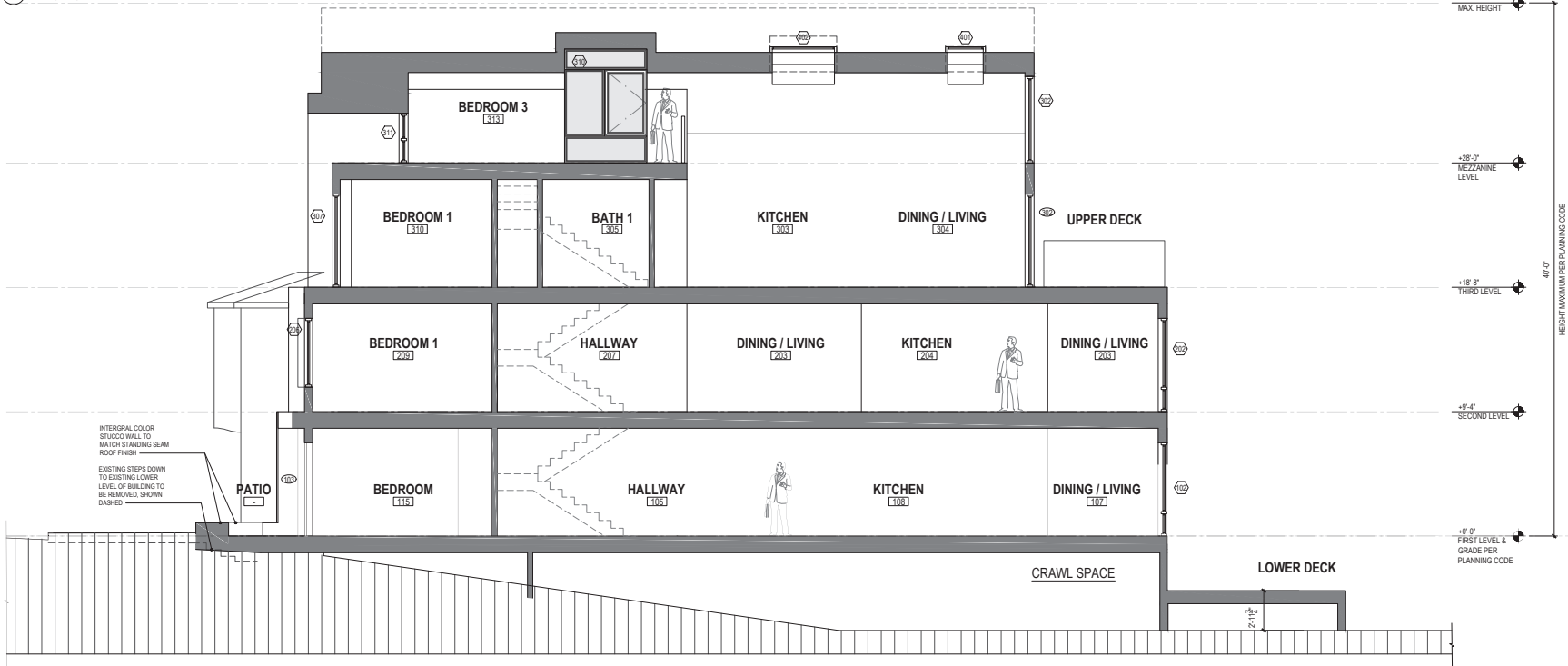
1 PROPOSED WEST ELEVATION  
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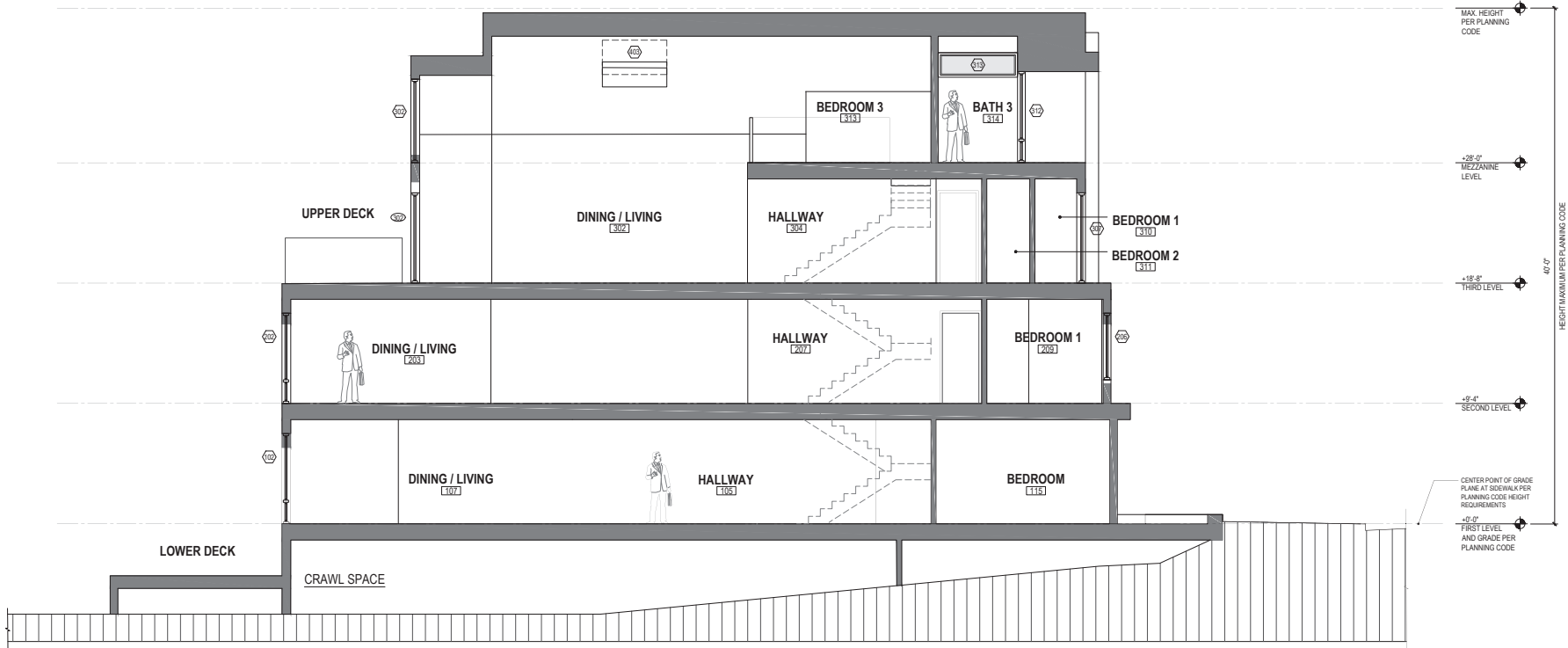




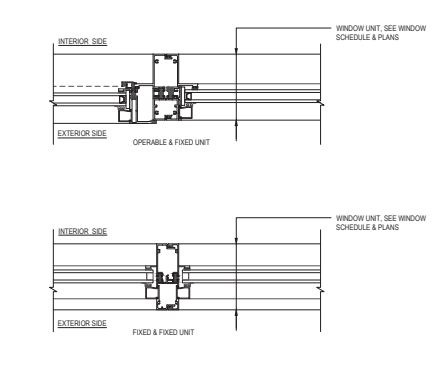
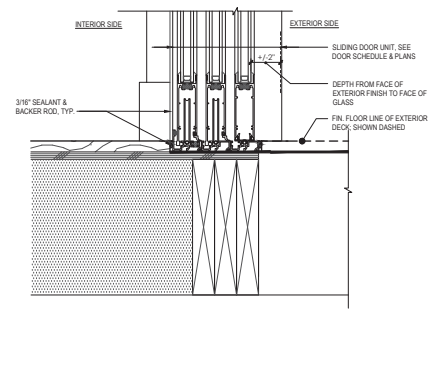
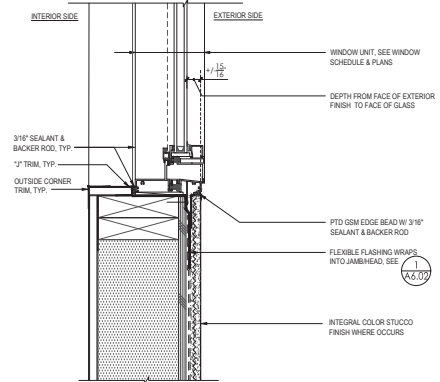
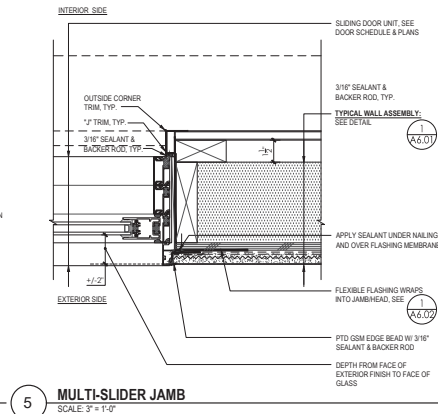
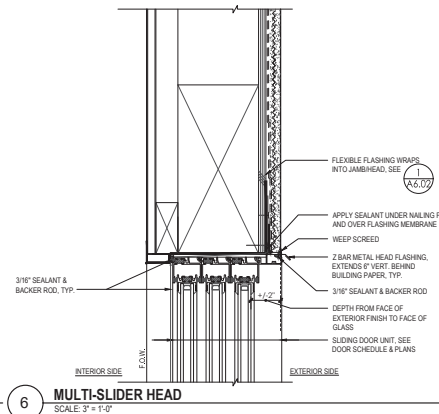
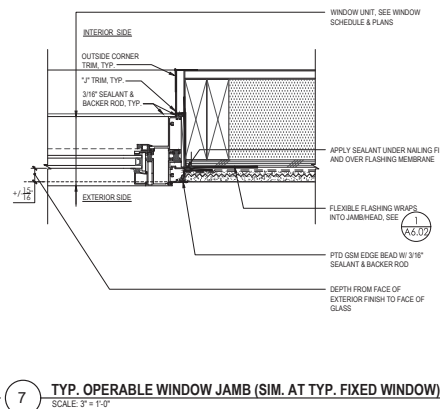
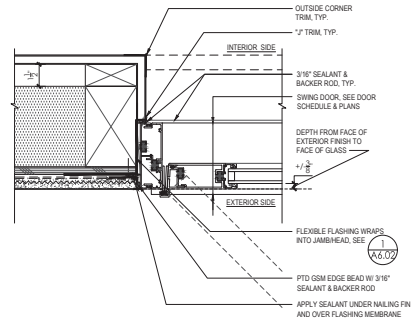
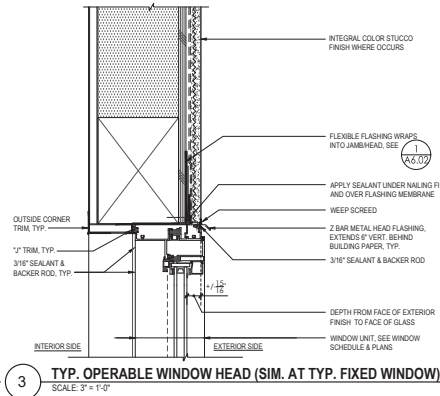
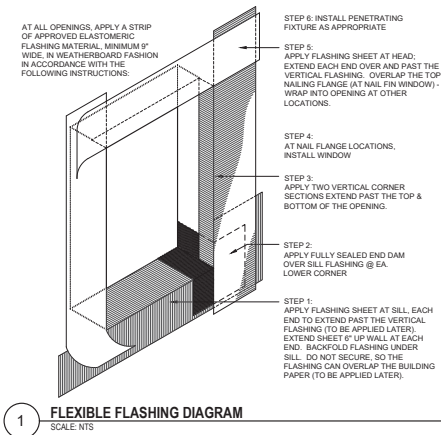
2 LONGITUDINAL SECTION OF ORIGINAL STRUCTURE FACING WEST (PRIOR TO DEMOLITION THAT OCCURRED IN 2015)  
SCALE: 1/8" = 1'-0"



1 PROPOSED LONGITUDINAL SECTION FACING WEST  
SCALE: 1/8" = 1'-0"



1 PROPOSED LONGITUDINAL SECTION FACING EAST  
SCALE: 1/8\"/>

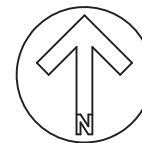




1221 Harrison Street Suite 18  
San Francisco CA 94103-4449  
(415) 391-4775

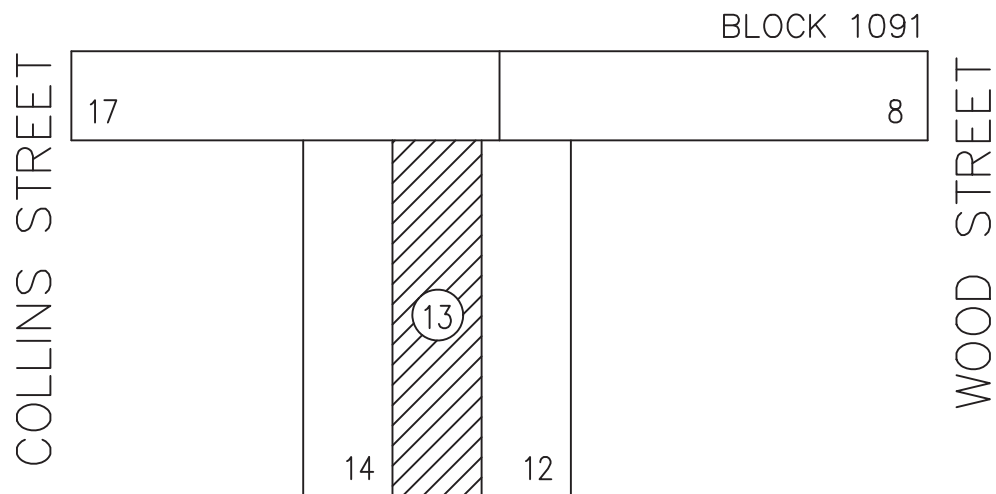
BLOCK 1091  
LOT 13

San Francisco, CA



JOB NO:	DATE: 210510
1091013T	DRAWN: DC
	CHECKED: DC

PREAPP  
AREA MAP



ANZA STREET

BLOCK 1107 BLOCK 1109 BLOCK 1108

9/144

OLD LOT 7

13D

9C

JEAN WAY

EWING TERRACE

The information contained herein has been obtained from sources that we deemed reliable and current at the time of preparation. We have no reason to doubt its accuracy but we do not guarantee it.

BLOCK	LOT	OWNER	OADDR	CITY	STATE	ZIP
0001	001	RADIUS SERVICES NO. 1091013T	230 ANZA ST	REMICK	21	0510
0001	002	.....	.....	.....	.	..
0001	003	RADIUS SERVICES	1221 HARRISON ST #18	SAN FRANCISCO	CA	94103
0001	004	REMICK + SESSIONS	1230 HOWARD ST	SAN FRANCISCO	CA	94103
0001	005	.....	.....	.....	.	..
1091	008	FENTRESS HILL I TRUST	565 SPRUCE ST	BERKELEY	CA	94707-1727
1091	008	OCCUPANT	175 WOOD ST #1	SAN FRANCISCO	CA	94118-3569
1091	008	OCCUPANT	175 WOOD ST #2	SAN FRANCISCO	CA	94118-3569
1091	008	OCCUPANT	175 WOOD ST #3	SAN FRANCISCO	CA	94118-3569
1091	012	YIPSHING CHAN JAMES TRUST	1660 16TH AV	SAN FRANCISCO	CA	94122-3527
1091	012	OCCUPANT	224A ANZA ST	SAN FRANCISCO	CA	94118-4303
1091	012	OCCUPANT	224 ANZA ST	SAN FRANCISCO	CA	94118-4303
1091	012	OCCUPANT	226 ANZA ST	SAN FRANCISCO	CA	94118-4303
1091	013	JAG CAPITAL DEV LLC	230 ANZA ST	SAN FRANCISCO	CA	94118-4303
1091	013	OCCUPANT	232 ANZA ST	SAN FRANCISCO	CA	94118-4303
1091	014	SO TRUST	586 30TH AV	SAN FRANCISCO	CA	94121-2822
1091	014	OCCUPANT	236A ANZA ST	SAN FRANCISCO	CA	94118-4303
1091	014	OCCUPANT	236 ANZA ST	SAN FRANCISCO	CA	94118-4303
1091	017	FE P SEGUNDO	86 MERCED AV	SAN FRANCISCO	CA	94127-1026
1091	017	OCCUPANT	270 COLLINS ST	SAN FRANCISCO	CA	94118-3416
1091	017	OCCUPANT	272 COLLINS ST	SAN FRANCISCO	CA	94118-3416
1107	009	UNIVERSITY OF S F	2130 FULTON ST	SAN FRANCISCO	CA	94117-1080
1107	009	OCCUPANT	2800 TURK ST	SAN FRANCISCO	CA	94118
1108	009C	GARY N & INGRID M APTER TRUST	196 EWING TER	SAN FRANCISCO	CA	94118-4407
1109	013D	GARY & BECKY CHAN TRS	200 EWING TER	SAN FRANCISCO	CA	94118-4407
9999	999	.....	.....	.....	.	..

# Inner Richmond

## (14)

Anne-Marie Pierce  
University Terrace Association  
536 Parker Ave  
San Francisco, CA 94118

Anni Chung  
Self-Help for the Elderly  
407 Sansome St  
San Francisco, CA 94111

Dan Baroni  
Planning Association for the Richmond (PAR)  
2828 Fulton St  
San Francisco, CA 94118-3300

Sandra Fewer  
Board of Supervisors  
1 Dr Carlton B Goodlett Place Room #244  
San Francisco, CA 94102-4689

Kathryn Devincenzi  
Laurel Heights Improvement Association of SF Inc  
22 Iris Ave  
San Francisco, CA 94118

Megan Sullivan  
Mid-Richmond Coalition  
376 17th Ave  
San Francisco, CA 94121

Peter Winkelstein  
Planning Association for the Richmond (Par)  
129 24th Ave  
San Francisco, CA 94121

Richard Rabbitt  
Temescal Terrace Association  
55 Temescal Terrace  
San Francisco, CA 94118

Rose Hillson  
Jordan Park Improvement Association  
115 Parker Ave  
San Francisco, CA 94118-2607

Joseph Smooke  
Housing Rights Committee of SF  
4301 Geary Boulevard  
San Francisco, CA 94118

Land Use and Housing Chair  
Haight Ashbury Neighborhood Council  
PO Box 170518  
San Francisco, CA 94117

Jane Natoli  
Grow the Richmond  
PO Box 590933  
San Francisco, CA 94159

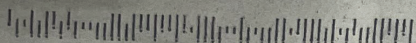
Joseph Smooke  
Richmond District Rising  
366 10th Ave  
San Francisco, CA 94118

John Hou  
Cabrillo Alley Neighbors Association  
742 4th Ave  
San Francisco, CA 94118



**Remick Associates**

Architects + Master Bu  
1230 Howard Street, 2nd Floor  
San Francisco, CA 94103  
remickassociates.com



1000



94103

U.S. POSTAGE PAID  
FCM LG ENV  
SANTA ROSA, CA  
95401  
MAY 20, 21  
AMOUNT

**\$1.00**

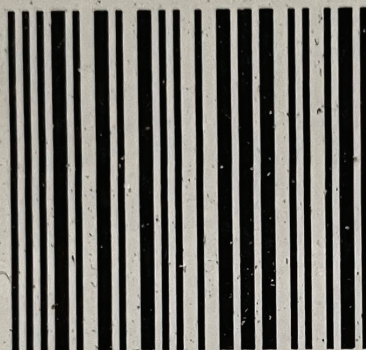
R2304M116229-6

0001/004  
REMICK + SESSIONS  
1230 HOWARD ST  
SAN FRANCISCO, CA 94103





1000



94103

U.S. POSTAGE PAID  
FCM LG ENV  
SANTA ROSA, CA  
95401  
MAY 20, 21  
AMOUNT

**\$1.00**

R2304M116229-6



# Exhibit G – Eviction History Documentation

# Rent Board Response to Request from Planning Department for Eviction History Documentation

Re: 230 Anza

This confirms that the undersigned employee of the San Francisco Rent Board has reviewed its records pertaining to the above-referenced unit(s) to determine whether there is any evidence of evictions on or after the date specified. All searches are based upon the street addresses provided.

No related eviction notices were filed at the Rent Board after:

- ☐ 12/10/13
- ☐ 03/13/14
- ☐ 10 years prior to the following date: \_\_\_\_\_

Yes, an eviction notice was filed at the Rent Board after:

- ☐ 12/10/13
- ☐ 03/13/14
- ☒ 10 years prior to the following date: 7-21-21
  - ☐ See attached documents.

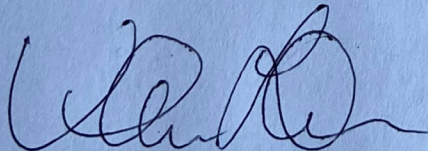
There are no other Rent Board records evidencing an eviction after:

- ☐ 12/10/13
- ☐ 03/13/14
- ☐ 10 years prior to the following date: \_\_\_\_\_

Yes, there are other Rent Board records evidencing an eviction after:

- ☐ 12/10/13
- ☐ 03/13/14
- ☒ 10 years prior to the following date: 7-21-21
  - ☐ See attached documents.

Signed:



Dated:

7-21-21

Van Lam  
Citizens Complaint Officer

The Rent Board is the originating custodian of these records; the applicability of these records to Planning permit decisions resides with the Planning Department.

## 7/21/2021

**Cause For Eviction**

<input type="checkbox"/> Non-payment of Rent	<input type="checkbox"/> Unapproved Subtenant	<input type="checkbox"/> Lead Remediation
<input type="checkbox"/> Habitual Late Payment of Rent	<input type="checkbox"/> Owner Move In	<input type="checkbox"/> Development Agreement
<input type="checkbox"/> Breach of Lease Agreement	<input type="checkbox"/> Condo Conversion	<input type="checkbox"/> Good Samaritan Tenancy Ends
<input type="checkbox"/> Nuisance	<input type="checkbox"/> Demolition	<input type="checkbox"/> Roommate Living in Same Unit
<input type="checkbox"/> Illegal Use of Unit	<input type="checkbox"/> Capital Improvement	<input checked="" type="checkbox"/> Other
<input type="checkbox"/> Failure to Sign Lease Renewal	<input type="checkbox"/> Substantial Rehabilitation	
<input type="checkbox"/> Denial of Access to Unit	<input type="checkbox"/> Ellis Act Withdrawal	<input type="checkbox"/> Severance of Housing Service

[illegible]



# Eviction Report Tracker

7/21/2021

Case #	<b>E141328</b>	File Date	7/22/14	Assigned on	7/22/14	Assigned to	Roger Levin	Status	Close-Continued Monitoring
--------	----------------	-----------	---------	-------------	---------	-------------	-------------	--------	----------------------------

Players		Other		Role	Active	
Name (First, MI, Last)	Primary Phone	Phone	Email			
Antoinette Williams	(415) 745-6819	<input type="checkbox"/>	<input type="checkbox"/>	Tenant Petitioner	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Jacqueline Carr	(415) 239-2931	<input type="checkbox"/>	<input type="checkbox"/>	Landlord Respondent	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Karna Carr	(510) 504-7178	<input type="checkbox"/>	<input type="checkbox"/>	Landlord Respondent	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Sheila Pham	(415) 926-7627	<input type="checkbox"/>	<input type="checkbox"/>	Landlord Attorney	<input checked="" type="radio"/> Yes	<input type="radio"/> No
		<input type="checkbox"/>	<input type="checkbox"/>		<input type="radio"/> Yes	<input type="radio"/> No

## Just Causes

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> Non-payment of Rent           | <input type="checkbox"/> Relative Move In           | <input type="checkbox"/> Master Tenant Living in Same Unit |
| <input type="checkbox"/> Habitual Late Payment of Rent | <input type="checkbox"/> Condo Conversion           | <input type="checkbox"/> Owner Living in Same Unit         |
| <input type="checkbox"/> Breach of Lease Agreement     | <input type="checkbox"/> Demolition                 | <input type="checkbox"/> Foreclosure                       |
| <input type="checkbox"/> Nuisance                      | <input type="checkbox"/> Removal from Housing Use   | <input type="checkbox"/> Section 8                         |
| <input type="checkbox"/> Illegal Use of Unit           | <input type="checkbox"/> Capital Improvement        | <input checked="" type="checkbox"/> Sale of property       |
| <input type="checkbox"/> Failure to Sign Lease Renewal | <input type="checkbox"/> Substantial Rehabilitation | <input checked="" type="checkbox"/> No Just Cause          |
| <input type="checkbox"/> Denial of Access to Unit      | <input type="checkbox"/> Ellis Act Withdrawal       | <input checked="" type="checkbox"/> No Advice Clause       |
| <input type="checkbox"/> Unapproved Subtenant          | <input type="checkbox"/> Lead Remediation           | <input type="checkbox"/> Retaliation                       |
| <input type="checkbox"/> Owner Move In                 | <input type="checkbox"/> Development Agreement      | <input type="checkbox"/> Oral Notice                       |
|  | <input checked="" type="checkbox"/> Other           | <input type="checkbox"/> Good Samaritan Tenancy Ends       |

## Attachment Sheet

Tenant Williams, who has resided in her unit since 2008 and pays below-market rent, separately and additionally states that subsequent to serving Tenant Williams a defective 30-Day eviction notice on June 19, 2014, Landlord Jacqueline Carr and her daughter Connor Carr proceeded to unilaterally change the locks to Tenant Williams's home on that date without any required legal process. Tenant Williams further alleges that on that same date, after the intervention of the San Francisco Police Department, she was required to sign a statement furnished by Landlord Carr in which she agreed to vacate by August 2, 2014, as a precondition to being allowed by Landlord Carr to reenter her own home. Tenant Williams further claims that Landlord Carr shut off Tenant Williams's hot water in April 2014, and also cut off the gas supply to Tenant Williams's home on July 17, 2014.

## **WARNING TO LANDLORD: "SELF-HELP" EVICTION IS ILLEGAL ANYWHERE IN CALIFORNIA**

A California tenant may be evicted only by the Sheriff, only after the court process has been invoked, and only if the tenant has lost the case. The landlord is forbidden by law from themselves ejecting a tenant.

PLEASE BE WARNED that Rent Ordinance §37.10A [Misdemeanors and Other Enforcement Provisions], subsection (a) states, in part, "It shall further be unlawful for a landlord to charge any rent which exceeds the limitations of this chapter", and Rent Ordinance §37.10A(c) states, "It shall be unlawful for a landlord or for any person who willfully assists a landlord to recover possession of a rental unit unless, prior to recovery of possession of the unit the landlord satisfies all requirements for recovery of the unit under Section 37.9(a) or (b)." Further, Rent Ordinance §37.9(e) provides that "[i]t shall be unlawful for a landlord or any other person who willfully assists the landlord to endeavor to recover possession or to evict a tenant except as provided in Section 37.9(a) and (b)." Rent Ordinance §§37.9 (e) and (f) provide for substantial criminal and civil penalties, including treble damages, injunctive relief and attorneys fees, for ANY person who endeavors to recover possession or recovers possession in violation of Rent Ordinance §37.9(a) or (b).

FURTHERMORE, under California law distinct civil and/or criminal liability may also attach when, inter alia, a Landlord locks out a tenant; unlawfully enters a tenant's unit; retains or attempts to retain a tenant's property without due process of law; or willfully interrupts any utility service with the intent to terminate the occupancy. See, e.g., Jordan v. Talbot (1961) 55 Cal.2d 597; CA Penal Code §§418 and 837; CA Civil Code §789.3; and CA Code of Civil Procedure §1159.

**IN ADDITION, the landlord should be aware that it is a serious violation of state and local law for a landlord to retaliate - or threaten to retaliate - against a tenant for the tenant's peaceful exercise of any legal right(s). See, e.g., Rent Ordinance §37.9(d) and California Civil Code §1942.5.**

End of Page

Start of Page

End of Page

Start of Page