



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Full Analysis HEARING DATE MARCH 9, 2017

Date: March 2, 2017
Case No.: 2016-005252DRP
Project Address: 2783K DIAMOND STREET
Permit Application: 2016.0413.4699
Zoning: RH-2 (Residential House, Two-Family)
40-X Height and Bulk District
Block/Lot: 6742/027A
Project Sponsor: Troy Kashanipour
SIA Consulting Corp.
1256 Howard St.
San Francisco, CA 94103
Staff Contact: Chris Townes – (415) 558-6620
chris.townes@sfgov.org
Recommendation: **Do not take DR and approve the project as proposed.**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

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Information:
415.558.6377

PROJECT DESCRIPTION

The request is for a Discretionary Review of Building Permit Application No. 2016.0413.4699, which proposes the construction of a new four-story, 38-foot tall, three-bedroom (with den), three-and-a-half-bath, single family residence. The triangular-shaped building reflects its unique triangular-shaped property and would contain one at-grade, off-street parking space within a front garage that is accessed via a 15-foot wide curb cut and driveway shared with the adjacent property located at 2783 Diamond Street. All floor levels of the building occupy the same building footprint, with the exception of the uppermost fourth floor level which is recessed 12 feet 3 inches from the front façade to articulate the massing while allowing for a 144 square foot front deck that provides additional usable open space for the dwelling. A 308 square foot roof deck atop the fourth floor is for solar equipment use only and is accessed from the third floor via an exterior stair at the front. The proposed building is Contemporary in design and utilizes a palate of quality materials including geometric-patterned ceramic tile, natural-stained wood garage/entry doors and board-formed concrete at the base, integrally-colored Trespa cement panels on the second and third floor façades and horizontal Hardiboard siding on the fourth floor. The typical windows are anodized aluminum-framed windows and the deck at the fourth floor is enclosed by powder-coated steel guardrail frames with horizontal stainless steel cables.

SITE DESCRIPTION AND PRESENT USE

The project site is located on an undeveloped, approximately 914 square foot, upsloping lot with approximately 10.5-feet of grade differential (from front to rear) within the Glen Park neighborhood. The triangular-shaped vacant parcel is located on the east side of Diamond Street, between Chenery and

Surrey Streets. The project site has approximately 27 linear feet of frontage along Diamond Street and approximately 81 linear feet of frontage along its northern side property line which abuts an existing 5-foot wide publicly-accessible walk alley.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site and the majority of the surrounding properties are located within the RH-2 (Residential House, Two-Family) Zoning District; however properties nearest Chenery Street are zoned NCT (Glen Park Neighborhood Commerical Transit) which extends southward along Diamond Street towards the Glen Park Bart Station. Diamond Street is a curved street between Chenery and Surrey Streets and the project site is uniquely located at the elbow of the street which is the reason for the irregular triangular-shaped parcel. Buildings in the surrounding neighborhood are predominantly residential and composed of mostly single family residences but also include some duplex and four-dwelling unit buildings. Architecturally, the block is mixed with buildings ranging in height from two- to four-stories and include a variety of flat and pitched-roof structures. A number of one- to two-story neighborhood-serving commercial businesses occur at the corner of Diamond Street and Chenery Street and continue along Diamond Street. There is a 5-foot wide publicly-accessible walk alley that abuts the subject property along its north side property line.

BUILDING PERMIT APPLICATION NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	September 12, 2016 – October 12, 2016	September 12, 2016	March 9, 2017	178 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	February 27, 2017	February 27, 2017	10 days
Mailed Notice	10 days	February 27, 2017	February 20, 2017	17 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent Neighbor(s)		3	
Other Neighbors on the block or directly across the street		1	
Other Neighbors	4	8	
Neighborhood Groups			0

Neighbors in support of the project have indicated that the design is compatible with the neighborhood and they consider to project to be a positive addition given the high quality architecture.

Neighbors in opposition to the project have indicated that he project is too large for the small lot and out of scale with the adjacent properties and surrounding neighborhood. Some oppose the project because it will displace the existing communal garden which occupies the site and is viewed as an open space amenity for the neighborhood. Additional concerns, include the projects' negative impact to light and air in relation to adjacent properties and the additional conjection that further development will bring to what is considered an already overly dense neighborhood.

To date, all public correspondence received regarding the Project has been included in the Commission packet.

DR REQUESTORS

DR Requestor: Mr. Jeff Cerf who resides at 274 Guerrero Street and is the owner of the adjacent property located at 2785-87 Diamond Street.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

Issue #1: The DR Requestor alleges that the project is a “monster-home” that is out of scale with the surrounding neighborhood and does not enhance or conserve the neighborhood character nor does it adequately balance the impact on nearby properties and occupants with the right to develop the property. As a result of the scale, the project would also create shadows that negatively affect the natural light upon neighboring residents, including the residents and owners of 2785-2787 Diamond Street and owners of 2783 Diamond Street.

Issue #2: The DR Requestor alleges that the project would negatively impact the public realm. Specifically, the DR Requestor is concerned the project will encroach into the adjacent 5-foot wide alley walkway, a valued public right-of-way that abuts the property along its north side property line. The Project Sponsor's Survey is in conflict with a separate Survey conducted for a nearby property.

Issue #3: The DR Requestor alleges that the project would result in the loss of neighborhood green space. Specifically, the DR Requestor is concerned regarding the loss of green space used by neighbors for community gardening that provides for a place of interaction and serenity for the neighborhood.

Issue #4: The DR Requetor alleges the project would negatively impact the existing mature street tree at the front and trees in neighboring yards.

Issue #5: The DR Requestor alleges that the project poses environmental concerns with regard to the displacement of native plant and animal life habitat, including butterflies, roosting birds and bats.

Reference the *Discretionary Review Application* for additional information and supplemental exhibits. The *Discretionary Review Application* is an attached document.

PROJECT SPONSOR'S RESPONSE

Issue #1: The house is consistent in height at the block face with those of adjacent houses. The three-story street face is compatible with houses adjacent and across the street. The top floor is significantly set back from the front façade and the profile of the house follows the upsloping lot and is appropriately embedded into the topography. In terms of size, the proposed home is 1,744 square feet with a 201 square foot garage, while the DR Requestor's building, as well as other buildings across Diamond Street, range from 2,024 square feet to 5,100 square feet per Assessor's records. The term "monster home" was first used in a flyer that went up in the neighborhood prior to any presentation of the plans. This flyer mischaracterized the size and scale of the proposed home to the neighborhood.

Issue #2: A Survey for the project has been provided by a licensed Surveyor with American Baseline Company that accurately establishes the subject property lines and adjacent public right-of-way alley walkway. The project will not encroach beyond its own property lines into any public right of way. American Baseline Company has reaffirmed the accuracy of their Survey in light of the encroachment concerns. A Survey referenced by a neighbor alleging the encroachment was conducted for a separate property whose Survey company confirmed was not for the purpose of surveying boundaries on any other adjacent properties and only provides accuracy for that separate property (41 Surrey Street).

Issue #3: Many of the existing plantings on-site have been relocated by Glen Park Garden Club to alternate locations in the public right-of-way. The plants were sensitively transplanted during the dormant winter months when transfer is more desirable. The project will offer a planting strip at the front setback area, as well as, two locations for vertical trellises. The Glen Park Greenway project is in the advanced Planning stages which will provide ample additional public natural resources within the vicinity.

Issue #4: The existing street tree at the front was discussed with the Department of Public Works Bureau of Urban Forestry (BPWBUF) staff, who suggested specific options for pruning the DPW-owned tree. The architect will coordinate with DPWBUF during DPW review period and during construction.

Issue #5: These issues are not addressed in the Planning Code or Residential Design Guidelines, but to address the DR Requestor's point, I too share concern for wildlife. I intend to remove plants on site during the winter months when there would not be nesting birds in the planted area. However, should birds or small mammals be disturbed, I would involve an organization I have utilized before called "Wildcare" to assist with extraction.

Reference the *Response to Discretionary Review* for additional information. The *Response to Discretionary Review* is an attached document.

PROJECT ANALYSIS

Department staff has reviewed the DR Requestor's concerns with the proposed project and presents the following comments:

Issue #1: The Department finds the project scale and massing, as proposed, are compatible with the dominant 3-story massing of the block context and surrounding buildings within the vicinity and relates

well to the upsloping topography of the site. The project does not significantly reduce the mid-block open space and it is anticipated that any shadow impacts would also not be substantial due to the project's massing, volume, or scale.

Issue #2: The Department has researched the encroachment (into the 5-foot wide public right-of-way walk alley) claim by the concerned parties and has posed the issue to the original Survey authors for verification. The Survey company (Moran Engineering) who prepared the Survey, used as evidence of encroachment, for the nearby property located at Surrey Street, has confirmed in writing that their Survey was only intended to provide accuracy for that property (41 Surrey Street) and does not provide accuracy for any off-site property lines or public right-of-way boundaries. The Surveyor (with American Baseline Company) who prepared the Survey for the proposed project located at 2783K Diamond Street has confirmed in writing that their Survey of 2783K Diamond Street accurately establishes the subject property lines, the placement and configuration of the adjacent public right-of-way walk alley along the north property line, the property lines and existing fence improvements of the properties across the shared walk alley. Given the assurance provided in writing by the relevant Surveyors and their respective companies involved, the Department does not have any evidence of a valid discrepancy concern.

Issue #3: The Department has researched the claim of the site as community green space and determined that the property is a privately-owned parcel and not a public park. As such, the project proposal is a valid land use application for new development and has been evaluated for conformance with the General Plan and Planning Code by the Planning Department. Since the property is located within the RH-2 Zoning District, the proposed single family residence is a permitted land use.

Issue #4: The Project Sponsor has confirmed to Planning Department staff that the existing street tree at the front was discussed with the Department of Public Works Bureau of Urban Forestry (BPWBUF) staff, who suggested specific options for pruning the DPW-owned tree. The architect will coordinate with DPWBUF during DPW review period and during construction. Pursuant to Planning Code Section 138.1, street trees are the purview of the Department of Public Works.

Issue #5: The project was determined to be exempt from CEQA under Class 3. There is no reasonable possibility that the project would have a significant effect on the environment due to unusual circumstances.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15303 (Class 3- Construction and location of limited number of new, small facilities or structures; In urbanized areas, up to three single family residences may be constructed under this exemption.)

RESIDENTIAL DESIGN TEAM REVIEW

Department staff held a meeting with the Residential Design Team (RDT) on December 8, 2016 to re-evaluate the project in relation to the applicable design guidelines and in light of the DR Requestor stated concerns. The RDT determined that the design issues raised by the DR Requestor are neither exceptional

nor extraordinary in nature. The RDT reaffirmed its previous stance that the proposed building design, mass and scale is consistent with all applicable design guidelines and that modifications to the project are not warranted. With regard to scale and massing, the RDT cited that the project is compatible with the neighborhood context, does not significantly reduce the mid-block open space and that any potential shadow impacts would not be substantial due to the project's massing, volume and scale.

Under the Commission's pending DR Reform Legislation, this project would be referred to the Commission, as this project involves new construction on a vacant lot.

BASIS FOR RECOMMENDATION

- The Project is consistent with the objectives and policies of the General Plan.
- The Project is located in a zoning district, RH-2 (Residential House, Two-Family), which permits residential use.
- The Project is consistent with and respects the varied neighborhood character, and provides an appropriate massing and scale within the neighborhood context.
- No extraordinary or exceptional circumstances were identified by the Residential Design Team.
- The Project would replace the currently vacant, underutilized lot with a new single family home within a predominantly single family residential neighborhood to contribute to the City's housing stock.
- The subject property, although publicly-accessible with landscaping, is not a public park; therefore, the project does not displace a public park or other public neighborhood amenity.

RECOMMENDATION:	Do not take DR and approve the project as proposed.
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Attachments:

Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Context Photos
Section 311 Notice
DR Application
Response to DR Application
Reduced Plans

Design Review Checklist

NEIGHBORHOOD CHARACTER (PAGES 7-10)

QUESTION	
The visual character is: (check one)	
Defined	
Mixed	X

Comments: The neighborhood architectural character is mixed with buildings that are typically two- to four-stories in height. Surrounding properties generally consist of single family residences; however, there are also a number of multi-family residential buildings.

SITE DESIGN (PAGES 11 - 21)

QUESTION	YES	NO	N/A
Topography (page 11)			
Does the building respect the topography of the site and the surrounding area?	X		
Is the building placed on its site so it responds to its position on the block and to the placement of surrounding buildings?	X		
Front Setback (pages 12 - 15)			
Does the front setback provide a pedestrian scale and enhance the street?	X		
In areas with varied front setbacks, is the building designed to act as transition between adjacent buildings and to unify the overall streetscape?			X
Does the building provide landscaping in the front setback?	X		
Side Spacing (page 15)			
Does the building respect the existing pattern of side spacing?			X
Rear Yard (pages 16 - 17)			
Is the building articulated to minimize impacts on light to adjacent properties?	X		
Is the building articulated to minimize impacts on privacy to adjacent properties?	X		
Views (page 18)			
Does the project protect major public views from public spaces?			X
Special Building Locations (pages 19 - 21)			
Is greater visual emphasis provided for corner buildings?			X
Is the building facade designed to enhance and complement adjacent public spaces?	X		
Is the building articulated to minimize impacts on light to adjacent cottages?			X

Comments: The placement of the building on its site responds to the topography, its position on the block, and to the placement of the surrounding buildings. The project respects the topography of the surrounding area by stepping down the building height in relation to the sloped parcel. For example the building is only three-stories (28'-8") at the street with a fourth floor (approximately 38'-0" tall) that is recessed 12'-3" from the front façade. The site is located towards the middle of a curved street and is

uniquely located at the elbow of the street resulting in the parcels irregular triangular shape. The building responds to this unique placement within the block by angling its front façade and bay window system in a manner that better addresses the street frontage while providing a smooth transition between adjacent buildings. Like most other buildings on the block, the proposed building is placed on its site in a manner that maintains a strong street wall at the front with a three-story height that relates well to its adjacent buildings.

BUILDING SCALE AND FORM (PAGES 23 - 30)

QUESTION	YES	NO	N/A
Building Scale (pages 23 - 27)			
Is the building's height and depth compatible with the existing building scale at the street?	X		
Is the building's height and depth compatible with the existing building scale at the mid-block open space?	X		
Building Form (pages 28 - 30)			
Is the building's form compatible with that of surrounding buildings?	X		
Is the building's facade width compatible with those found on surrounding buildings?	X		
Are the building's proportions compatible with those found on surrounding buildings?	X		
Is the building's roofline compatible with those found on surrounding buildings?	X		

Comments: The project scale is compatible with the height and depth of surrounding buildings within the neighborhood. Although the project is located within the 40-X Height and Bulk District, the proposed building height ranges from approximately 29'-0" to 38'-0". The flat-roof, rectangular-form is compatible with many other the flat-roofed, rectangular formed surrounding properties along Diamond Street.

ARCHITECTURAL FEATURES (PAGES 31 - 41)

QUESTION	YES	NO	N/A
Building Entrances (pages 31 - 33)			
Does the building entrance enhance the connection between the public realm of the street and sidewalk and the private realm of the building?	X		
Does the location of the building entrance respect the existing pattern of building entrances?	X		
Is the building's front porch compatible with existing porches of surrounding buildings?	X		
Are utility panels located so they are not visible on the front building wall or on the sidewalk?			X
Bay Windows (page 34)			
Are the length, height and type of bay windows compatible with those found on surrounding buildings?	X		

Garages (pages 34 - 37)			
Is the garage structure detailed to create a visually interesting street frontage?	X		
Are the design and placement of the garage entrance and door compatible with the building and the surrounding area?	X		
Is the width of the garage entrance minimized?	X		
Is the placement of the curb cut coordinated to maximize on-street parking?	X		
Rooftop Architectural Features (pages 38 - 41)			
Is the stair penthouse designed to minimize its visibility from the street?			X
Are the parapets compatible with the overall building proportions and other building elements?			X
Are the dormers compatible with the architectural character of surrounding buildings?			X
Are the windscreens designed to minimize impacts on the building's design and on light to adjacent buildings?			X

Comments: The building entrance successfully enhances the connection between the public realm of the street and the sidewalk and the private realm of the building through the use of setbacks, architectural projections in the form of bay windows and by providing landscaping to accentuate their presence to the public realm. To further enhance the public realm, the garage door widths and associated curb cuts have been minimized. The roof decks have been sensitively designed to provide roof access without the use of stair penthouses that project above the roof line. The use of metal frame cable railings at the upper levels protect the visual transparency of sightlines through the project from surrounding properties.

BUILDING DETAILS (PAGES 43 - 48)

QUESTION	YES	NO	N/A
Architectural Details (pages 43 - 44)			
Are the placement and scale of architectural details compatible with the building and the surrounding area?	X		
Windows (pages 44 - 46)			
Do the windows contribute to the architectural character of the building and the neighborhood?	X		
Are the proportion and size of the windows related to that of existing buildings in the neighborhood?	X		
Are the window features designed to be compatible with the building's architectural character, as well as other buildings in the neighborhood?	X		
Are the window materials compatible with those found on surrounding buildings, especially on facades visible from the street?	X		
Exterior Materials (pages 47 - 48)			
Are the type, finish and quality of the building's materials compatible with those used in the surrounding area?	X		
Are the building's exposed walls covered and finished with quality materials that are compatible with the front facade and adjacent buildings?	X		

Are the building's materials properly detailed and appropriately applied?	X		
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Comments: In order to contribute to the architectural character of the neighborhood, the proportion and size of the proposed windows relate to that of the existing buildings in the neighborhood. The project incorporates quality materials and finishes that relate to the surrounding neighborhood, including horizontal/vertical wood siding, cement board paneling, board-formed concrete, natural-stained wood garage and entry doors, ceramic tile, metal railings, and anodized aluminum-framed windows.

Design Review Checklist

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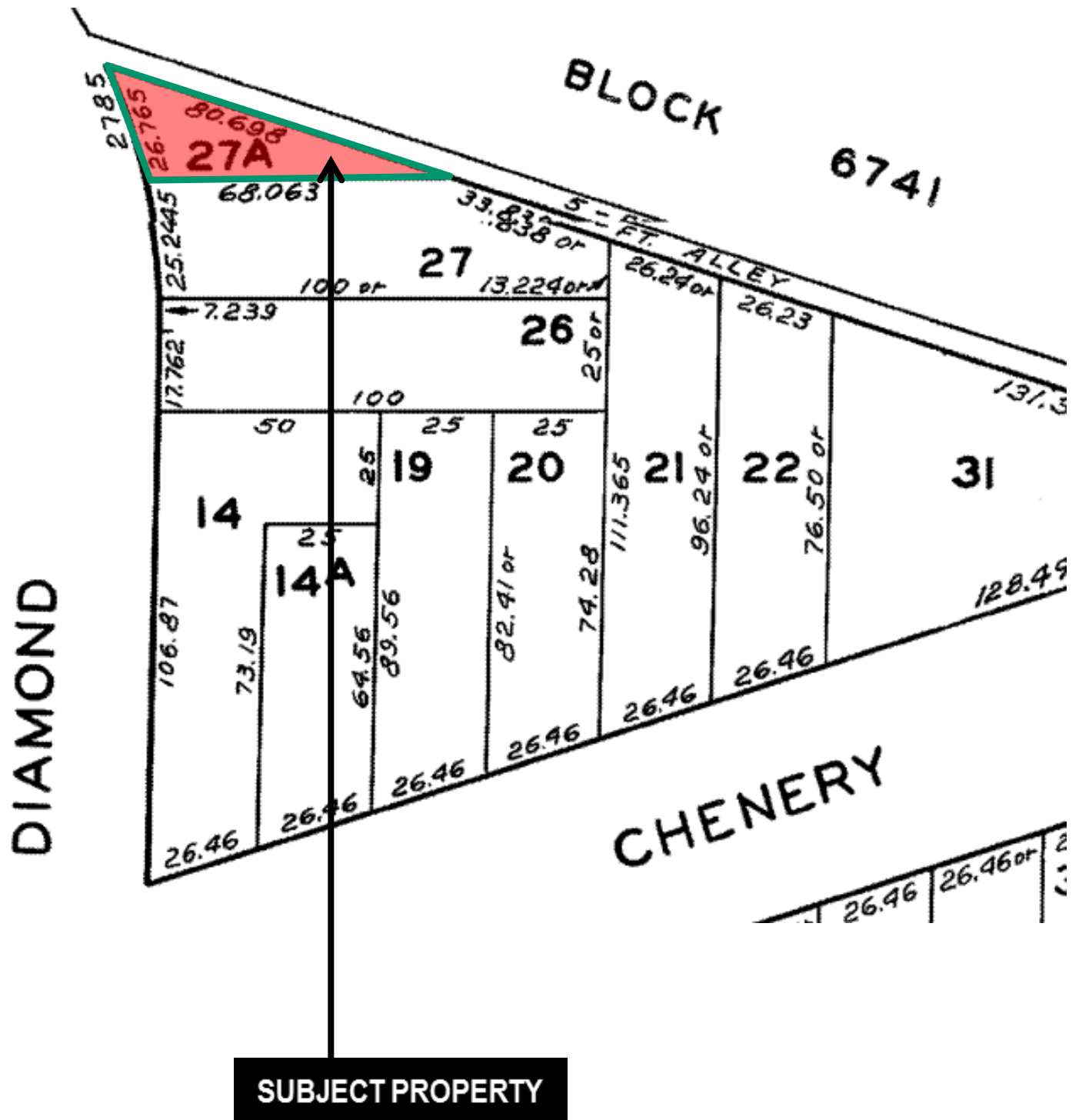
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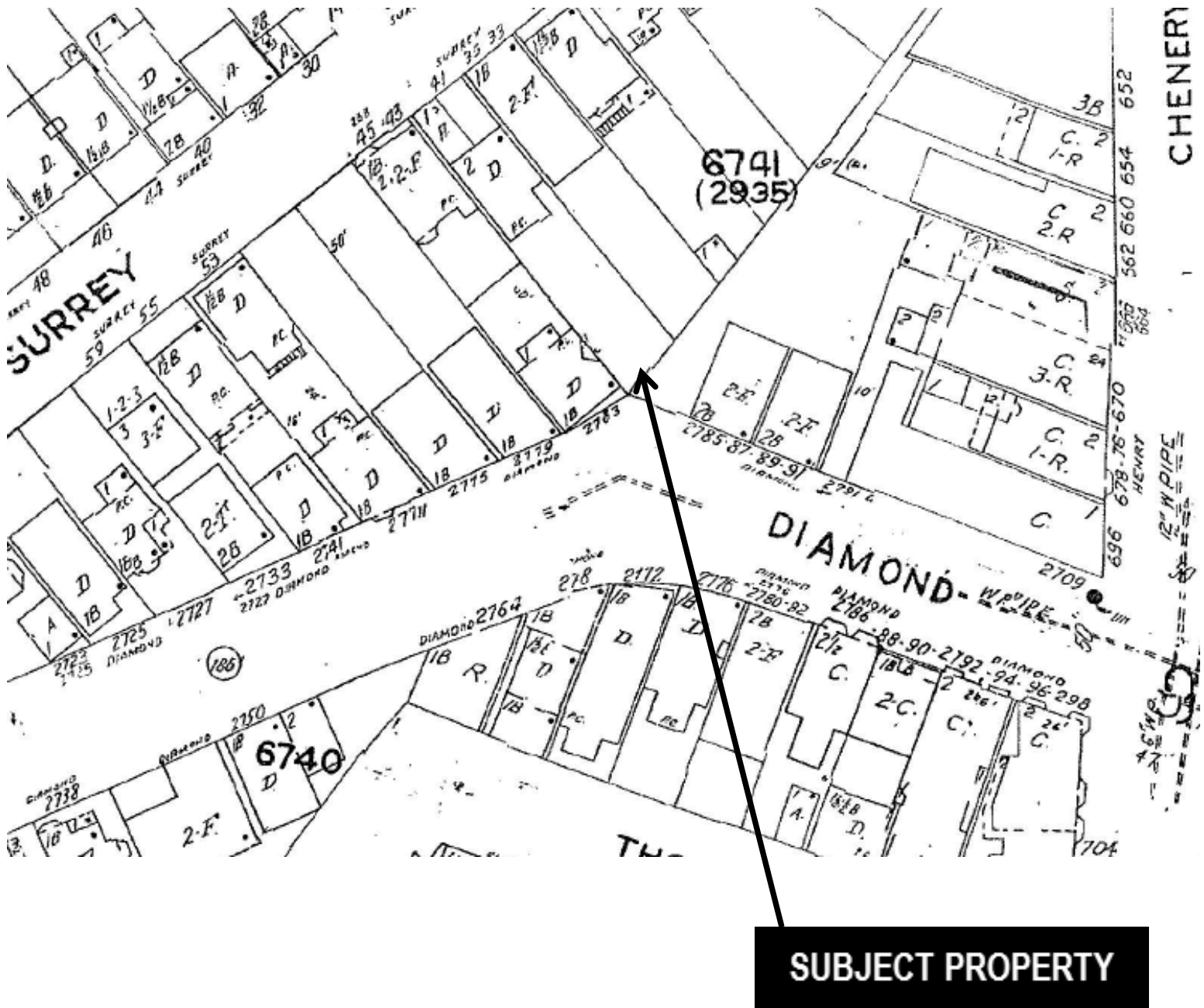
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Parcel Map

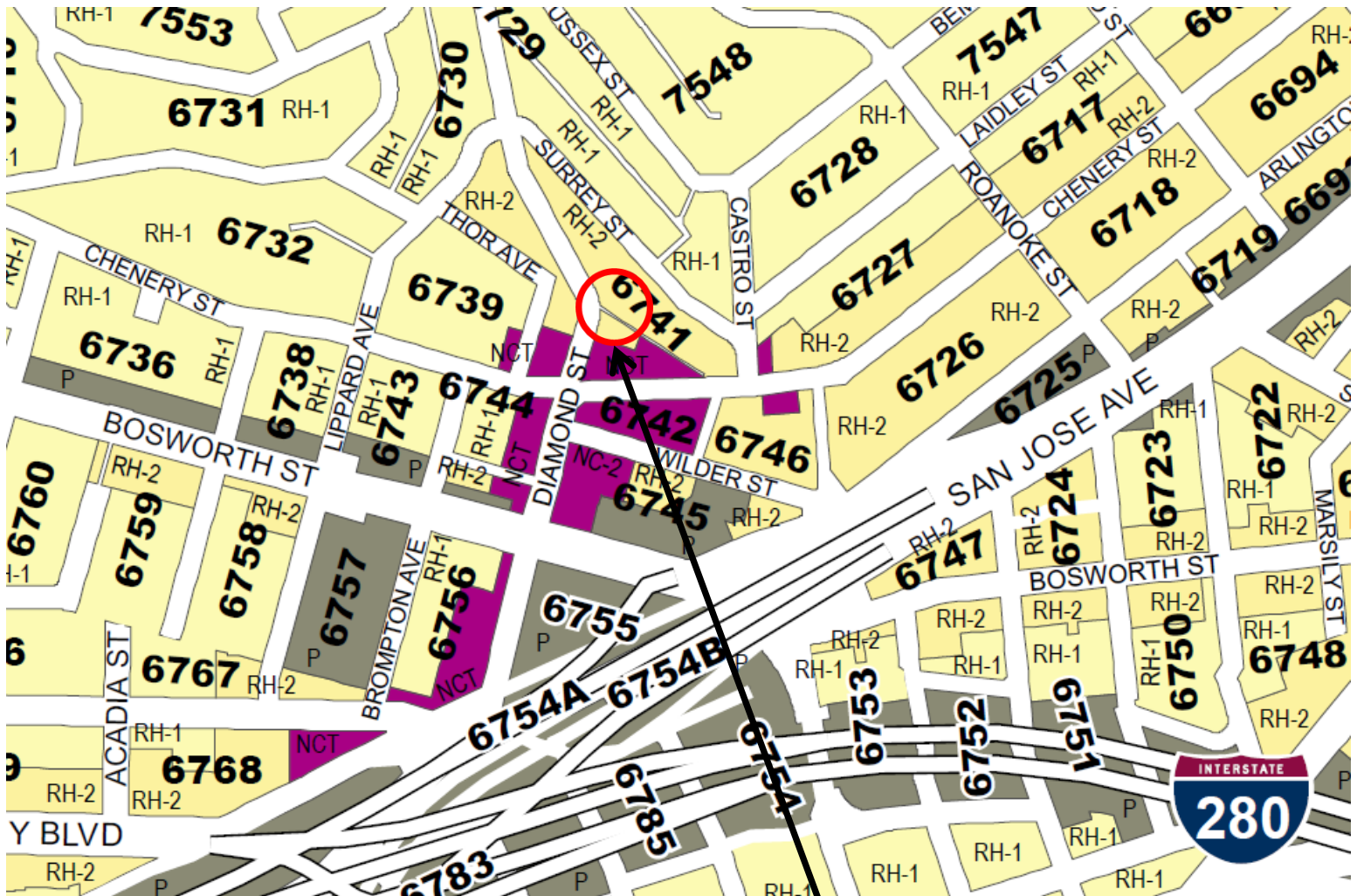


Discretionary Review Hearing
Case Number 2016-005252DRP
New 4-story Single Family Residence
2783K Diamond Street

Sanborn Map*



Zoning Map



SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2016-005252DRP
New 4-story Single Family Residence
2783K Diamond Street

Aerial Photo



Discretionary Review Hearing
Case Number 2016-005252DRP
New 4-story Single Family Residence
2783K Diamond Street

Site Photos



Discretionary Review Hearing
Case Number 2016-005252DRP
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2783K Diamond Street

Site Photos



Discretionary Review Hearing
Case Number 2016-005252DRP
New 4-story Single Family Residence
2783K Diamond Street



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **April 13, 2016** the Applicant named below filed Building Permit Application No. 2016.0413.4699 with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	2783K Diamond Street	Applicant:	Troy Kashanipour
Cross Street(s):	Between Chenery St. & Surrey St.	Address:	2325 Third Street, Suite 401
Block/Lot No.:	6742/027A	City, State:	San Francisco, CA 94107
Zoning District(s):	RH-2/ 40-X	Telephone:	(415) 431-0869

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Vacant	Residential (single family dwelling)
Front Setback	N/A	1'-2"
Side Setbacks	N/A	Abuts property line
Building Depth	N/A	41'-6"
Rear Yard	N/A	15'-0"
Building Height	N/A	37'-10"
Number of Stories	N/A	4
Number of Dwelling Units	0	1 (single family dwelling)
Number of Parking Spaces	0	1
PROJECT DESCRIPTION		
New construction of a single-family dwelling on a triangular-shaped vacant lot. The new structure is a 4-story building up to 37'-10" in height with a 1-car garage and includes a 144 square foot deck at the fourth floor and a 308 square foot roof deck for solar equipment. The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.		

For more information, please contact Planning Department staff:

Planner: Chris Townes
Telephone: (415) 575-9195
E-mail: chris.townes@sfgov.org

Notice Date:
Expiration Date:

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
Case No.	Permit No.	Plans Dated	
<input type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 50 years old)	<input type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval.			

STEP 1: EXEMPTION CLASS

TO BE COMPLETED BY PROJECT PLANNER

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
	Class 1 – Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.; change of use if principally permitted or with a CU.
	Class 3 – New Construction. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions.
	Class__

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an <i>Environmental Evaluation Application</i> is required.	
<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an air pollution hot spot? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Hot Spots)
<input type="checkbox"/>	Hazardous Materials: Any project site that is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve soil disturbance of any amount or a change of use from industrial to commercial/residential? If yes, should the applicant present documentation of a completed Maher Application that has been submitted to the San Francisco Department of Public Health (DPH), this box does not need to be checked, but such documentation must be appended to this form. In all other circumstances, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment and/or file a Maher Application with DPH. (refer to EP_ArcMap > Maher layer.)

<input type="checkbox"/>	Soil Disturbance/Modification: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Noise: Does the project include new noise-sensitive receptors (schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Noise Mitigation Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	Slope = or > 20%: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, or grading on a lot with a slope average of 20% or more? <i>Exceptions: do not check box for work performed on a previously developed portion of site, stairs, patio, deck, or fence work. (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)</i> If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, grading –including excavation and fill on a landslide zone – as identified in the San Francisco General Plan? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work. (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones)</i> If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1000 sq ft, shoring, underpinning, retaining wall work, or grading on a lot in a liquefaction zone? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work. (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones)</i> If box is checked, a geotechnical report will likely be required
<input type="checkbox"/>	Serpentine Rock: Does the project involve any excavation on a property containing serpentine rock? <i>Exceptions: do not check box for stairs, patio, deck, retaining walls, or fence work. (refer to EP_ArcMap > CEQA Catex Determination Layers > Serpentine)</i>
If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <u>Environmental Evaluation Application</u> is required.	
<input type="checkbox"/>	Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.
Comments and Planner Signature (optional):	

STEP 3: PROPERTY STATUS – HISTORIC RESOURCE TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 50 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 50 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	3. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	4. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	5. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	6. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	8. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	9. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not “in-kind” but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .

<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Reclassification of property status to Category C. (Requires approval by Senior Preservation Planner/Preservation Coordinator) a. Per HRER dated: _____ (attach HRER) b. Other (specify):
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature:	

STEP 6: CATEGORICAL EXEMPTION DETERMINATION TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 – CEQA Impacts <input type="checkbox"/> Step 5 – Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.	
<input type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA.	
	Planner Name: Project Approval Action: <small>*If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</small>	Signature or Stamp: <div style="border: 2px solid green; padding: 10px; text-align: center;"> APPROVED <i>By ctownes at 9:25 pm, Mar 01, 2017</i> </div>
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.		

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
Case No.	Previous Building Permit No.	New Building Permit No.
Plans Dated	Previous Approval Action	New Approval Action
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:

From: [Mark Walls](#)
To: [Townes, Chris \(CPC\)](#)
Cc: [Troy Kashanipour](#)
Subject: 2783 Diamond St.
Date: Friday, February 24, 2017 7:45:00 AM

Dear Mr. Townes,

I am a resident of Glen Park and would like to voice my support for the proposed house at 2783K Diamond Street. While some neighbors have concerns about the removal of some planted space, it seems inappropriate to block construction of a new home on a privately held lot.

The design of the home is contemporary, without inappropriate historic details. It's scale at the facade well matches the height of the adjacent houses. The top story with a substantial setback. The home is not a "monster home" as was posted on flyers in the neighborhood.

Neighborhood businesses benefit from additional density and the neighborhood benefits with the addition of a well-designed home on this vacant lot.

I welcome the proposed house on this vacant parcel and encourage the Planning Commission to approve the project.

Mark Walls
2601 Diamond Street
San Francisco, CA 94131

From: [Christian Manson](#)
To: [Townes, Chris \(CPC\)](#)
Subject: 2783K Diamond Street
Date: Thursday, February 23, 2017 12:53:45 PM

Chris,

Just wanted to send you a quick email regarding my support for Troy Kashanipour's Diamond St. project as I live in the Glen Park neighborhood.

From what I understand about the project, I'm encouraged by it as it looks to be a planned high quality build, will add to the diverse housing character of Glen Park, and perhaps most importantly, provides overall needed housing density to the City.

Best,
Chris Manson

From: [Shields RPM](#)
To: [Townes, Chris \(CPC\)](#)
Cc: tk@tkworkshop.com
Subject: March 9 Planning Review: Diamond Street, New Building
Date: Monday, February 13, 2017 4:46:50 PM
Attachments: [Tony, Diamond St new building.pdf](#)

Dear Chris,

Troy's attached drawing is an ingenious use of land space that will add to the vitality of Glen Park.

I am an owner and property manager on Chenery St around the corner from the proposed project, and I am familiar with the pulse of the neighborhood for over 25 years.

I have seen the neighborhood evolve from a good community into a better community with stronger architectural and neighborhood diversity and offerings.

I fully support the above project on the small lot on Diamond Street. It is a creative use of space, much like the creative use of design seen in Japan and other international communities.

I appreciate some are sad to see the garden go, however, perhaps the plaque onsite currently can be resituated to the Glen Park Library for archival purposes.

Perhaps Troy will integrate some feature such as a small vertical plant wall piece that harkens to the previous use, would be a suggested tribute.

Something walkers and regulars in the neighborhood can walk by and remember the past. San Francisco is always changing and growing, and it is good and natural to make use of precious open space, particularly small lots such as this one that can result in unique architecture.

Certainly, this project should be approved and move forward as an addition to Glen Park.

I walk many days on Surrey St, Chenery St, Diamond, into Glen Park Canyon.

It is a special neighborhood and this project should be part of that evolving experience of a truly San Franciscan one of a kind residence.

As you may know, there are multiple modern residences interspersed in this neighborhood, I think it adds to the vitality and charm.

Please feel free to contact me should you have any concerns.

Sincerely,

Susan Shields
1288 Columbus Ave, PMB 440
San Francisco, CA 94131
415 246 0618 cell

RE: MARCH 9 Review

Troy Kashanipour Architecture. LEED AP
2325 Third Street Suite 401
San Francisco CA, 94107
phone/fax: 415.431.0869
cell: 415.290.8844
email: tk@tkworkshop.com

Chris Townes, Current Planning- SW Quadrant
San Francisco Planning Department
1650 Mission Street, Suite 400 San Francisco, CA 94103
T| 415.575.9195 E| Chris.Townes@sfgov.org

From: [Paul Alsdorf](#)
To: [Townes, Chris \(CPC\)](#)
Subject: Support for Glen Park (Diamond St.) House
Date: Thursday, March 02, 2017 10:28:01 AM

Mr. Townes,

I walk by the empty lot on Diamond St. at Chenery every day. I attach a picture - it seems that local NIMBYs are throwing a fit just because someone wants to build a house on private property. I want to express my extreme support for these project (I'm not affiliated with it) and my disgust at anyone that would try to stop us from building housing during the crisis.

This project is exactly what the city needs. It will displace nobody. It does not block light, views, or anything else. It's on a tiny, private lot in a built up area so will be completely in character with the neighborhood (which, by the way, is not exactly an architectural treasure trove).

I cannot overstate how dissgusted I am by these people who vandalize signs (see attached pic), put up flyers, and are throwing a tantrum over a small, shaded, vacant lot that they don't even own. Please do not listen to them. They are abhorrent. Their opposition to development is the very reason why san francisco is so unaffordable.

There are many of us who support building. There are many who want to live in SF but can't because crybaby NIMBYs torpedo every project they can. Please listen to our voices and approve sorely needed housing. Reject this baseless, whiny, tantrum of a challenge.

If they want to control that lot, they can buy it. If not, they should shut up and get out of the way. We need housing.

Thank you,
Paul Alsdorf

From: [Christine Paterson](#)
To: [Townes, Chris \(CPC\)](#)
Subject: 2783 Diamond Street
Date: Monday, February 27, 2017 4:16:11 PM

Dear Mr. Townes,

I am writing this note for my good friends, Francesca Sampognaro and William Persh. William and Francesca love their neighborhood and their house. Who would have thought someone would propose to build a huge building in a tiny garden that the neighborhood loved. Yes, the city encourages for new building, but at the expense of a neighborhood. San Francisco is loved because of their quaint neighborhoods and accessible to shopping in the neighborhood. Also, there is so much car and bus traffic on their little street, why would planners even allow another car or cars.

What about more cars, more garbage cans with more people living on this little street? I believe that the city needs to think of the neighborhood and the people who live there, pay their taxes and take care of each other. To build a huge building interferes with the neighbors light & air, that I thought the city protects communities from losing. Not only Francesca and William be directly affected from their air & light if this building goes in, but other neighbors as well. I don't believe anyone would want to share their driveway with another person unless they bought their property knowing this.

It is so difficult to get in and out of their driveway now because of traffic and your considering adding more cars? This whole thing doesn't make sense. I hope you do the right thing & protect the people of this neighborhood.

Thank You,
Christine Paterson
1124 Clay St.
San Francisco, CA 94108

From: [Ron Fago](#)
To: [Townes, Chris \(CPC\)](#)
Cc: [Ron Fago](#); [Michael Dunlap](#)
Subject: 2783 Diamond Street
Date: Monday, February 27, 2017 10:54:35 AM

Dear Mr. Townes,

We are opposed to the proposed building construction at 2783 Diamond Street in San Francisco. We have been residing next door to the site for nine years. Below are our concerns:

- This space is ridiculously small to accommodate any building, let alone a four-story residential unit;
- Diamond Street is a busy, heavily traveled artery with access to both Highway 101 and Interstate 280;
- We regularly have vehicles double parked, blocking our garage access, on average of 10-20 cars and trucks daily;
- Although we have been told construction trucks will not utilize the space in front of our building, if the project moves forward, we all recognize they will; and
- The regular utilization by heavy delivery trucks and vehicles parked illegally in front of our unit has directly compromised the sidewalk in front of our unit, then in turn the plumbing underneath the sidewalk, leading to multiple plumbing issues and flooding in our garage, requiring extensive and time consuming repair and disruption to our services.

Additionally, if the project were to be completed, we believe the insanity demonstrated by building a "piece of pie" shaped home, nestled inappropriately where it clearly does not belong, will draw tourists and others who otherwise would not stop by our little corner of the City, further congesting traffic and adding to the already troublesome double parking in front of our unit we already endure.

Lastly: why remove a tiny, quaint little garden in an urban area where so few have survived? It makes no sense.

Thank you for listening to our concerns. We welcome and questions or comments you may have.

Ron Fago & Michael Dunlap
2789 Diamond Street
San Francisco 94131

From: [judith guilfoyle](#)
To: [Townes, Chris \(CPC\)](#)
Subject: 2783 K Diamond St.
Date: Sunday, February 26, 2017 8:23:37 PM

I am writing to oppose the project at 2783 K Diamond St. I can't believe that a building of this size is being considered on such a small area of land and lack of respect for the public pathway.

I live on Diamond and each time I walk by the property I try to visualize the monstrosity that is being considered and hope that you will consider all the concerns presented to you .

Judith Guilfoyle

From: [KSAM](#)
To: [Townes, Chris \(CPC\)](#)
Subject: 2783k Diamond St.
Date: Monday, February 27, 2017 7:46:54 PM

To: Attention of the City Planner

Subject: The 2783k Diamond Street, Glen Park, San Francisco proposed construction project

Dear Mr. Townes,

I'm weighing in on the side of the homeowner's in the surrounding area on Diamond Street. This project, if the city passes it, is yet another example of an over-built lot in an area that is already overcrowded. In this already congested area it will add further insult to the neighborhood by placing an increased burden on the existing traffic flow which includes public transit and city service vehicles. This lot is in such close proximity to the intersection that it presents a further safety issue for curbside vehicle parking and impacts the line of site for on-coming traffic traveling up hill; as well as infringing upon the rights of the adjacent neighbors; by impacting their public and private access to their residence.

Sincerely,

Kathy Sampognaro

From: navglo@aol.com
To: [Townes, Chris \(CPC\)](#)
Subject: 2783k Diamond St
Date: Friday, February 24, 2017 5:25:10 PM

Sent from Mobile's

Please be advised that I strongly oppose the project at 2783k Diamond St. The proposed building is too huge and much over powering for a lot that size. The little garden that is currently on that property adds charm to the neighborhood. The proposed building in that space would be an eyesore. Please let us keep our little greenspace treasure.

Thank you.

Gloria Navarra

(Native San Franciscan raised in Glen Park.

From: [Evelyn Rose](#)
To: [Townes, Chris \(CPC\)](#)
Subject: 2783K Diamond Street
Date: Monday, February 27, 2017 8:13:14 PM

Dear Mr. Townes,

For 20 years, the residents of Glen Park have been enjoying the community garden at the above address. The location of the garden is the entry to a public path that has been in place since 1905. Construction of a two to three-story home on this 915 sq ft lot just doesn't make sense. It will not only destroy the community garden and obstruct the path, but will impact the character of our neighborhood.

We urge you to oppose this project.

Many thanks,

Evelyn

--

Evelyn Rose, PharmD
Chair and Founder, Glen Park Neighborhoods History Project
Email: GlenParkHistory@gmail.com
Web: www.GlenParkHistory.org
Twitter: @GlenParkHistory

From: hmduffy@comcast.net
To: [Townes, Chris \(CPC\)](#)
Subject: 2783K Diamond Street
Date: Monday, February 27, 2017 12:41:20 PM

Dear Mr. Townes,

I am writing to oppose a proposed building project in Glen Park located at 2783K Diamond Street.

The proposed building project would site a four-story house (with a roof deck on the top floor) on a very small, triangular parcel that is currently being used as a community garden. The drawings we have seen show a house that is much too large for such a small site. First, the 4-story building design is out of character with the rest of the 2- and 3-story homes in the neighborhood. Second, because the proposed project is located on such a small parcel, the design also fails to include requisite open space. (I don't think a roof-top deck was what planners had in mind when they decided to require open space as part of a building's design.) Third, the site is bordered by a public walkway that currently includes a bench overlooking the small garden. The new building would make it difficult to access that public walkway.

As a long-time resident of the area, I am therefore requesting that this building project, as currently designed, be denied.

Thank you for your consideration.

Best,

Helen Duffy

From: [maralyn tabatsky](#)
To: [Townes, Chris \(CPC\)](#)
Subject: 2783K Diamond Street
Date: Tuesday, February 28, 2017 8:42:20 AM

Hi, Chris,

We are writing to express our concerns about the proposed project at 2783K Diamond Street. Our backyard borders this property. The proposed house is much taller than almost anything else in the neighborhood. It leaves minimal room for the public access which has been there for longer than we have lived in Glen Park, which is over 32 years.

In addition, we have grave misgivings about the health of our trees, which contribute to the greenery of the neighborhood; the amount of trimming that would be called for may compromise the health of the trees, resulting in their loss.

Thank you for your consideration.

Sincerely,

Maralyn Tabatsky and Ken Schwer
41 Surrey Street

From: [Francesca Sampognaro](#)
To: [Townes, Chris \(CPC\)](#)
Subject: 2783K
Date: Sunday, February 26, 2017 2:47:46 PM

With regards to changes that Troy K is asking , we find them outrageous and inconsiderate.

As it stands today, homes on Diamond Street are cramped together and built at a time when population and traffic were far less than today. Just backing out my car onto the street is difficult-- buses coming up and down every twenty minutes take up a great deal of space. I feel additional vehicles sharing space is dangerous at best

Asking to take my address and add a letter to it tells me that this home space that Troy K wants isn't large enough to build on its own and further asking us to change the deed to share the driveway further implies the folly of his request. (my husband has owned this property for 29 yrs)

Also, allowing 9 garbage cans every Monday in front of MY garage would hinder movement of my car and create a possible health hazard

I respectfully ask you to reject this project and let us live in peace, we are both 70 plus yrs old

Sincerely, Francesca Sampognaro
William J Persh

From: [Nicholas Barrett](#)
To: [Townes, Chris \(CPC\)](#)
Subject: Fwd: Diamond street construction
Date: Monday, September 19, 2016 3:48:56 PM

Chris -

I am a home owner in the Glen Park neighborhood, at 62 Surrey Street. I live just up the hill from a proposed new construction. I have no issue with new construction on private property, but the proposal for this very small lot (which is currently a local garden) is insane. Images attached show roughly how high they owners/builders are proposing. I do not know the exact dimensions of the lot, but it's very small and irregular.

I want to log this as at least one formal complaint. The structure will be extremely out of character for the neighborhood.

Thank you,
Nick Barrett
62 Surrey St
415-509-9990

From: [Jayant Rajan](#)
To: [Townes, Chris \(CPC\)](#)
Subject: house project in Glen Park
Date: Wednesday, March 01, 2017 6:44:24 AM

Dear Mr Townes,

I have lived at 2785 Diamond Street for the last 4.5 years and just wanted to state my strong opposition to the proposed housing project next to my residence.

The project would take away the window in my kitchen, building within 2 inches of it, destroy a green space in the neighborhood and, in doing all of the above, harm the character of the neighborhood. Should it go through, it would likely compel me to move.

Thank you for your consideration.

Sincerely,

Jay Rajan, MD/PhD

Sent from my iPhone. Please excuse any typographical or semantic errors in both cases almost certainly attributable to Autocorrect.

DIAMOND STREET Property Owner

William Persh &
Francesca Sampognaro
2783 Diamond Street
San Francisco, CA 94131

DATE: September 27, 2016

TO: Planning Commission City of San Francisco

ATTN: Planner Chris Townes

RE: Proposed Development 2783K, Building Permit Application No. 2016.0413.4699.

SUBJECT: Our Property Line is wrong on drawing A2.0.

We are the owners of the property that adjoin the building site known as 2783K Diamond Street.

The owner/architect of the 2783K property has submitted drawing A2.0 to the planning department that shows our Southern property line was moved 1 foot 2 inches North. The owner/architect has also moved the property and fence lines of my neighbors (properties 6741/13, 6741/14, etc.). This cannot be allowed.

I recently hired the services of Peter Rockwell, of the Firm Lemanski & Rockwell Architects, Inc, 1898 Hyde Street, San Francisco, CA 93109, Tel: (415) 776-1220. Mr. Rockwells site plan shows the property line for our property at 2783 Diamond Street to be in line with our neighbors property line at the (SW side) corner. We also have a survey taken in May, 2014 by Morgan Engineering, 1930 Shattuck Avenue, Berkeley, CA 94704, Tel: (510) 848-1930 showing the same property line of our house and property 6741/13 and 6741/14 with their property line and fences as one and on the same line.

It is my understanding that without the 1 foot 2 inches that Mr. Kashanipour has taken from my property on drawing A2.0 he submitted, his property line is infringing on, or in, the 5 foot Alley/Public Right of Way. The property owner of 2783K has changed the property lines of 2783 Diamond St, and properties 6741/13, 6741/14, etc. to his/her advantage and must be reviewed and corrected before permit approval.

Notes:

1. I have a site plan for the 2783 Diamond Street address for a building addition issued for permit dated June 15, 1983 and permit was given.
2. I have a site plan with my bath addition and permitted by the planning department on June 28, 2016.
3. I have a Survey site plan for my 2783 Diamond Street property, the Surry Street properties 6741/13, 6741/14, etc. showing the property and fence lines are one and the same dated May, 2014.
4. Our property is over 100 years old and in accordance to San Francisco City Records and our title insurance. I have maintained the City sidewalk and driveway in front of my house for 29 years and do not want to share my 7 foot driveway and agree about repairs and money.

From: [Betty Wong](#)
To: [Townes, Chris \(CPC\)](#)
Subject: Project 2783K Diamond St, Glen Park
Date: Monday, February 27, 2017 2:35:04 PM

Dear Mr. Townes,

I am writing to state my opposition to the project at 2783K Diamond Street in Glen Park. I think that the proposed project is too large for the small triangular site and too tall given that homes in the adjacent area and throughout the neighborhood are 2 to 3 stories tall. In addition, the project does not recognize the public path currently on the site.

Thank you for your consideration.

Betty Wong

From: [Camerlo, Camille, VBAOAKL](#)
To: [Townes, Chris \(CPC\)](#)
Subject: Proposed home on 2783K Diamond St
Date: Monday, February 27, 2017 9:51:16 AM

Good morning,

I am writing to object to the home proposed to be built at 2783 K Diamond St. When I first learned of this project I couldn't even imagine that there was any space on Diamond to build a house. And when I thought about it - there isn't! Currently there is a tiny garden in that space because truly that is all that will fit.

This proposed home is much too large for the site. It is also too large for the neighborhood. This proposed home leaves only a few feet of space between the new house and existing windows in certain homes. It would block out natural light in many homes. In addition, the owner of the property would require the use of someone else's property to exit and enter - and those homeowners object to this proposed home!

Please reject this proposed home as it is inappropriate for this space and represents a burden to the neighbors and the neighborhood.

Thank you for your consideration

Camille Camerlo

From: Townes, Chris (CPC)
To: ["maralyn.tabatsky"](mailto:maralyn.tabatsky)
Cc: [Troy Kashanipour](#); [ken schwer](#); [ken schwer schwer](#)
Subject: RE: 2783K Diamond Street
Date: Tuesday, September 20, 2016 3:34:00 PM

Maralyn,

Your comments have been received; however, the issues raised don't fall within the Planning Department's purview. The tree on your private property and its potential conflict with the adjacent neighbor is a civil matter that the Planning Code does not address. Regarding the stair at the side, the Site Plan indicates that the stair is bisected by your property line as you state; however, the portion of stair beyond is within a public right of way per the Survey; therefore, this is Department of Public Works (DPW) jurisdiction not Mr. Kashanipour's. With regard to access requirements during construction, you may contact DPW directly.

Thx,

CHRIS TOWNES, CURRENT PLANNING- SW QUADRANT
T| 415.575.9195 E| CHRIS.TOWNES@SFGOV.ORG

SAN FRANCISCO PLANNING DEPARTMENT
1650 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94103

WEBSITE: WWW.SFPLANNING.ORG
PLANNING FRONT DESK: (415) 575-9121
PLANNING INFORMATION CENTER (PIC): (415) 558-6377 OR PIC@SFGOV.ORG
PROPERTY INFORMATION MAP (PIM): [HTTP://PROPERTYMAP.SFPLANNING.ORG](http://PROPERTYMAP.SFPLANNING.ORG)

-----Original Message-----

From: maralyn tabatsky [<mailto:maralyn@haveyourcake.org>]
Sent: Wednesday, September 14, 2016 10:00 AM
To: Townes, Chris (CPC)
Cc: Troy Kashanipour; ken schwer; ken schwer schwer
Subject: 2783K Diamond Street

Dear Mr. Townes,

I am writing regarding the Notice of Building Permit Application that we just saw posted on the proposed site at 2783K Diamond Street, SF, Block #6742, Lot #027A.

My husband (Ken Schwer) and I own the adjacent property at 41 Surrey Street. We have two major concerns regarding this building, which we have discussed with Mr. Kashanipour:

1. At least one tree (Leyland cypress) at the back of our property will have to be trimmed considerably in order to accommodate this building. We are gravely concerned about the safety issue, should the tree(s) be compromised in any way. It is very large, and we certainly would not want it to be falling in any direction. We would also prefer not to lose the tree to begin with! But the safety issue is of utmost importance.

We have set up a meeting with a consulting arborist, and plan to let you know of any conclusions he has. Meanwhile, please consider this issue as you go forward.

2. The steps leading from our backyard to Diamond Street are the SOLE access our tenant has to and from his apartment. The property line is approximately midway between these steps, i.e. they are owned by us and by Mr. Kashanipour. Since we have lived here, for nearly 32 years, these steps have been part of a public easement/implicit dedication/right of way; not sure of the proper legal term, but there has been public access throughout this time. It is crucial that our tenant have uninterrupted total use of these steps throughout construction, without exception. We would like this assurance in writing, and information regarding what recourse we have should there be a problem.

Thank you for your attention.

Sincerely,

Maralyn Tabatsky
owner, 41 Surrey Street

RESPONSE TO
**DISCRETIONARY
REVIEW (DRP)**



**San Francisco
Planning**

SAN FRANCISCO PLANNING DEPARTMENT
1650 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94103-2479
MAIN: (415) 558-6378 SFPLANNING.ORG

Project Information

Property Address: 2783K Diamond Street

Zip Code: 94131

Building Permit Application(s): 2016.0413.4699

Record Number: 2016-005252DRP

Assigned Planner: Chris Townes

Project Sponsor

Name: Troy Kashanipour

Phone: 415.431.0869

Email: tk@tkworkshop.com

Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

Please see attached

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

Please see attached

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.


Please see attached

Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)		1
Occupied Stories (all levels with habitable rooms)		4
Basement Levels (may include garage or windowless storage rooms)		0
Parking Spaces (Off-Street)		1
Bedrooms		3
Height		37'-10"
Building Depth		41'-6"
Rental Value (monthly)		unknown
Property Value		unknown

I attest that the above information is true to the best of my knowledge.

Signature: 	Date:
Printed Name: Troy Kashanipour	<input checked="" type="checkbox"/> Property Owner <input type="checkbox"/> Authorized Agent

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.





DPR Attachment – Response to DR

Preliminary:

Under section 3 Project Description: The DR requestor incorrectly lists the Present Use at “Community Garden”. The property is private property and not a Community Garden. A number of years ago, neighbors removed the metal fencing surrounding the property, and appropriated the space as a planting area. This was done without the knowledge or authorization of the property Owner. After learning that I purchased the property, Kay Hamilton Estey President, Glen Park Garden Club, contacted me to check about voluntary removal of the plantings on site to re-use at other neighborhood locations such as landscaping on Penny and Poppy lanes. Members relocated some of the plantings over the winter months. I was personally able to offer assistance in this effort.

Outreach:

A pre-application meeting was held on December 16, 2015. About 40 people were in attendance. In follow-up to that meeting, additional meetings were held with parties who requested an individual meeting. On August 26th, I sent an email to each person who provided an email address, offering to meet with them individually. The DR requestor did not respond to the offer of a meeting to present the project, nor did he contact me at any point with questions or concerns about the project prior to DR filing. A meeting with the DR requestor is scheduled for March 1st.

Required Questions:

1. Why should project be approved?

The project is fully code compliant, despite the limitations of the lot. The project has been modified with mass reductions at the front and side based upon RDT recommendations. The project has been modified with a more typical bay window form for neighborhood compatibility.

Based on RDT comments, the already small footprint has been reduced at the front in a 2.5’ in length x 10’ in width on the 2nd and 3rd levels. See attached drawings, Exhibit A, showing mass reduction in red.

“Monster” House Allegation

The DR requestor states that the project is a “Monster” house. The street face of the house is compatible in size with that of adjacent houses and across the street with dwellings of 3 stories. See drawings provided.

The top floor is set back from the front façade significantly as recommended in the Residential Design Guidelines. The lot is upward sloping. The profile of the house follows the upward sloping lot with the ground floor below grade at the rear of the property.

The house is 3 bedroom.

The dwelling is 1744 square feet, with a 201 square foot garage. The DR requestor’s building as well as other buildings across Diamond are range from 2024 square feet to 5100 square feet per assessor’s records, not counting expansive garage levels.

The term “Monster Home” was first used in a flyer that went up in the neighborhood prior to any presentation of the plans (Exhibit B) at the announcement the pre-application meeting. The term “monster” house is being used as a rhetorical device by the DR requestor and mischaracterizes the size and scale of the house.

The house is consistent in height at the block face with those of adjacent houses. Floor to floor heights are minimized with a ground floor ceiling height of 8’, a 2nd floor ceiling height of 8’-6”, and a 3rd floor ceiling height of 8’-8”. These are the minimum ceiling heights appropriate to the size of the rooms.

Impact on Street Tree:

The Street Tree was discussed with DPW Bureau of Urban Forestry, Stephen Keller, who suggested specific options for pruning the DPW owned Tree. The Architect will coordinate with DPW/BUF during DPW review period and during construction.

Loss of Green Space:

These are issues not addressed in the Planning Code or Residential Design Guidelines, but to address the DR requestor's point:

As stated above, many of the plantings have been relocated by Glen Park Garden Club to alternate locations in the public right-of-way. The plants have been transplanted during the dormant winter months when transplant is more desirable. I will volunteer my time to assist with relocation and transplantation of any additional plants that are able to be successfully transplanted.

The project will provide a planting strip at the front setback area as well as two locations for vertical trellis. We will work with local nursery on the selection of appropriate plantings. Additionally there is a space created between the building and the existing steps at the 5' right-of-way that will be provided as a planted area.

The Glen Park Greenway project is in the advanced Planning Stage which will provide ample additional public natural areas and is within 1 ½ blocks of the subject property. Penny and Poppy Lanes are being landscaped as community landscaping projects. See Exhibit E

Allegation of Encroachment of the Property on to the Public Right of Way:

A survey has been provided by a Professional Surveyor. A "Record of Survey" document has been provided to the San Francisco County Surveyor. American Baseline Company stands behind the accuracy of their survey which bears their professional stamp. The DR requestor has not provided a professional boundary survey which provides evidence to back up their allegation. The allegation is unfounded and not based on evidence. The Project Planner contacted the company who provided a survey of 41 Surrey. The Surveyor specifically told the project planner that his survey was not for the purpose of surveying boundaries on any adjacent parcel and should be used only for the purpose for which it was created.

Environmental Concern: Native Plants, Butterflies, Roosting Birds, and Bats:

These are issues not addressed in the Planning Code or Residential Design Guidelines, but to address the DR requestor's point:

I too share a concern about wildlife. It is our hope and intention to remove plants on site during the winter months when there would not be nesting birds in the

planting area. Should birds or small mammals be disturbed or in distress, in the past we have involved an organization called “Wildcare” for birds attacked by cats or fallen from nests. (<http://www.wildcarebayarea.org/>). See Exhibit C.

The footprint of the lot is very small by comparison to the open space created by collective rear yards. The DR requestor, although he does not live at the property, has opportunity to improve habitat at his own rear yard which is over 400 square feet larger in area than the footprint of the 2873K property.

We would like to voluntarily provide a bat-house on the property. I have consulted with a bat habitat expert and will provide bat housing at the rear of the property per the guidelines recommended by the Humane Society of the United States. See Exhibit D.

2. What alternatives or changes to the project are you willing to make to address the DR requestors concerns? If you have changed the project to meet neighborhood concerns, please explain and indicate whether they were made before or after filing the permit application.

Some of the mitigating measures are as described above.

DR requestor’s comments as presented in the Pre-application meeting are shown in the attached Exhibit F. Verbally the DR requestor conveyed that he believed the lot to be un-buildable and wished for it to remain in the current unbuilt condition. Verbally and in the document provided he indicated that they would not be supportive of any project at this location. After the pre-application meeting he pledged to oppose the project at every opportunity. Exhibit E lists the objections prepared by the DR filer prior to the pre-application meeting.

No specifics have been provided by the DR filer. It can be surmised that desired objective is delay or make the construction infeasible.

Given the appropriate and significant front and rear setbacks suggested by the RDT during plan review, I can offer no further reduction in building envelope. Any further reductions will make spaces unusually small and greatly diminish functionality with no public benefit. An examination of the design shows that rooms and spaces are of minimal dimensions.

In email discussions during the design period with neighbors, planted walls were encouraged. Trellises are provided as part of the project to soften the building.

These were incorporated as part of the design prior to project submittal. Neighbors expressed concerns about quality materials and details which are provided as part of the project. See permit material indicated at Drawing A3.3.

The Project was designed from the beginning to be of minimal impact based on the context of the adjacent houses, curb cuts, street trees, in addition to being code compliant. Given the small footprint any further reduction of the envelope will have a big impact on the interior function and program.

3. If you are not willing to change the project or pursue alternatives state why you feel the project will not have any adverse effect on the surrounding properties. Explain the needs for space or other personal requirements that prevent you from making changes requested by the DR requestor.

The project will not create shadows on the DR requestor's rental property because it is located to the north of this property. The sun travels through the southern sky so shadows are not created.

The project will block property line windows of uncertain history. There is no permit history for window construction although they have been replaced with new vinyl windows with a permit. Building Department regulations for property line window require an Administrative Bulletin AB-009. This bulletin requires that the property owner file a "Declaration of Use Limitation" which states that they will close property line windows should a building be built at the adjacent property.

http://sfdbi.org/sites/default/files/AB-009_0.pdf

Furthermore, it is the precedent of the Planning Department not to protect property line windows.

The DR filer's building was not constructed adjacent to a park or public right-of-way. It was constructed next to an undeveloped lot.

The house immediately adjacent to his property at 2789-2791 Diamond, built at the same time, with a matching floor plan as the DR filer's property, does not have property line windows on to the vacant yard of the adjacent building. To my knowledge property line windows open on to kitchen areas, which are not required to be provided with windows per SFBC 1205. There would be no building code prohibition on the owner of installing skylights and solatubes.

The houses to the north of the subject property, fronting Surrey Street are significantly uphill and set back from their rear property line 65'-70'. The new construction will not diminish light to these dwellings.

The project provides significant relief at the front for 2783 Diamond, the house to the north. The full exposure of the front facade fronting Diamond Street is uninterrupted.

A family sized home is proposed with 3 bedrooms and a small living space near the back yard. A tightly designed three-bedroom house is perfectly appropriate as a family home in this location, which when completed, will have minimal effect on adjacent properties.

I will work with the general contractor to minimize construction time and neighborhood disruption during construction. I will provide my contact information to neighbors who have concerns and do my best to make sure that the contractor follows all city regulations with appropriate permits.

Urban infill housing at this vacant parcel is necessary for my needs and also desirable for adding to the existing stock of family-sized housing in a region which has a housing shortage. Urban infill housing, near public transportation, employment, and public amenities is the least impactful in terms of environmental costs and well acknowledged to be the most appropriate.

When completed the home will fit well with the context, character, and fabric of the neighborhood of Diamond Street and Glen Park. We look forward to presenting our case to the Planning Commission.

Pre-application meeting 2783 ½ Diamond Street

December 16, 2015, 6:45-8pm

Agenda:

Introduction: Owner/Project Sponsors: Troy Kashanipour and Anna Rose

Previous Garden on Site: Kay Etsey

Planning Basics:

Planning Code compliant: Front and Rear Yard setbacks. Compliant with Residential Design Guidelines

Matching overall heights along the street frontage

Top story set back from the street, minimal visibility from street view

3 story follows slope: approximately 10' difference between front and rear yards.

No new curb cut, street tree by DPW (Diamond city maintained)

3 bedroom plus den at the lower level opening on to triangular rear yard

Base of the building clad in more natural material, stone or more natural looking earthy tile

Planting strip at the face of building, pervious pavers at driveway area

Upper floors window pattern to be determined

Intent to preserve and interested in collaboration on 5' right of way . interested in hearing community ideas

Sustainability Features:

- Solar panel ready

- Rainwater harvesting

- Energy Efficiency

- Advance Structural Framing System: Either FSC certified lumber, salvaged or recycled blocking materials. or Light Gauge Metal Framing

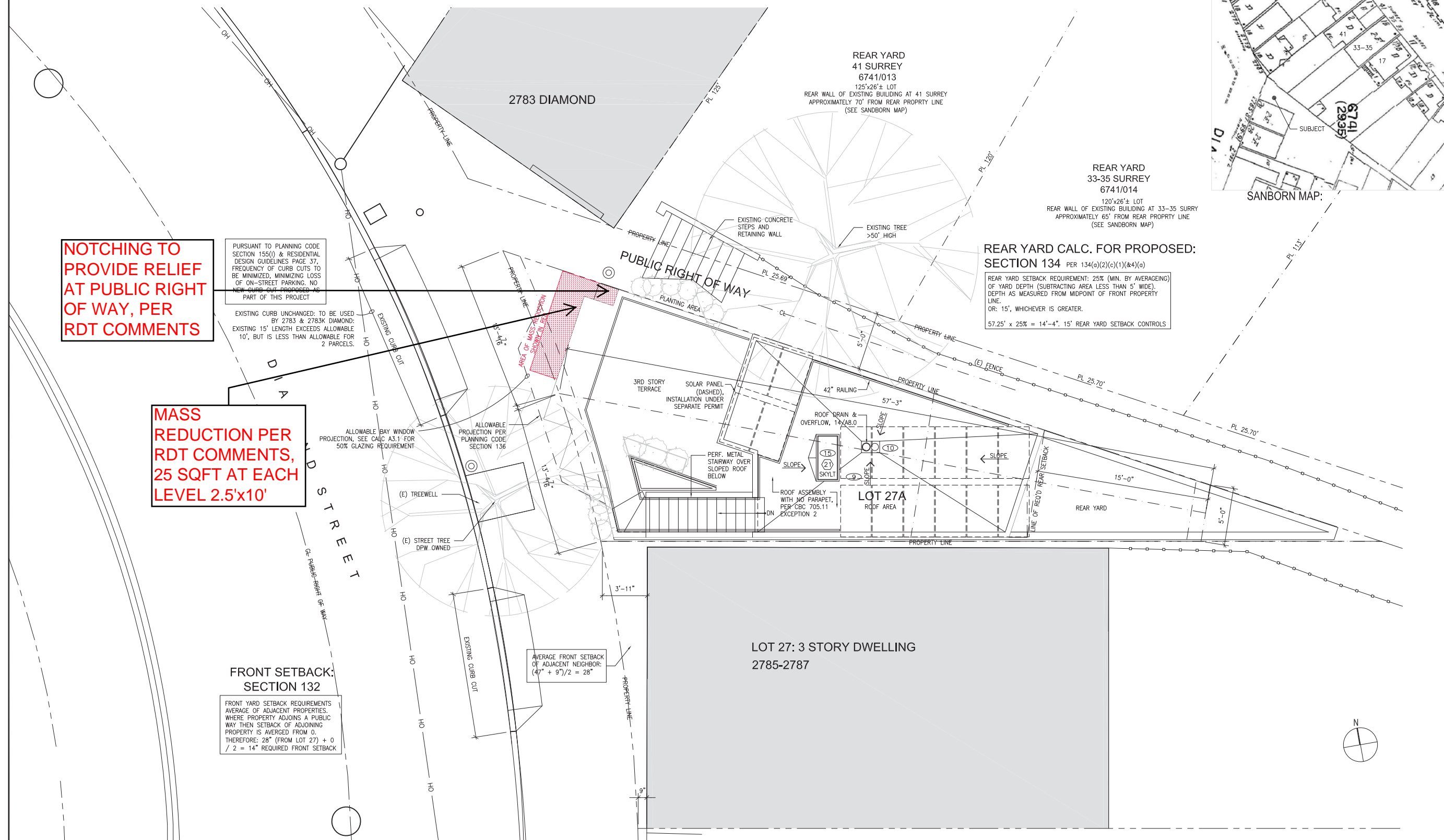
- Recycled material in concrete mix, fly ash

- No use of tropical hardwoods/FSC certified or locally sourced interior finishes

- No/Low VOC paints & sealants/Formaldehyde Free

- Plug-in vehicle charging station

EXHIBIT A:
MASS REDUCTIONS PER RDT COMMENTS



NOTHING TO
PROVIDE RELIEF
AT PUBLIC RIGHT
OF WAY, PER
RDT COMMENTS

MASS
REDUCTION PER
RDT COMMENTS,
25 SQFT AT EACH
LEVEL 2.5'x10'

FRONT SETBACK:
SECTION 132

FRONT YARD SETBACK REQUIREMENTS
AVERAGE OF ADJACENT PROPERTIES.
WHERE PROPERTY ADJOINS A PUBLIC
WAY THEN SETBACK OF ADJOINING
PROPERTY IS AVERGED FROM 0.
THEREFORE: 28" (FROM LOT 27) + 0
/ 2 = 14" REQUIRED FRONT SETBACK

REAR YARD CALC. FOR PROPOSED:
SECTION 134 PER 134(a)(2)(c)(1)&(4)(a)

REAR YARD SETBACK REQUIREMENT: 25% (MIN. BY AVERAGING)
OF YARD DEPTH (SUBTRACTING AREA LESS THAN 5' WIDE).
DEPTH AS MEASURED FROM MIDPOINT OF FRONT PROPERTY
LINE.
OR: 15', WHICHEVER IS GREATER.

57.25' x 25% = 14'-4". 15' REAR YARD SETBACK CONTROLS

2783 DIAMOND

REAR YARD
41 SURREY
6741/013

125 x 26 ± LOT
REAR WALL OF EXISTING BUILDING AT 41 SURREY
APPROXIMATELY 70' FROM REAR PROPRTY LINE
(SEE SANDBORN MAP)

REAR YARD
33-35 SURREY
6741/014

120'x26'± LOT
REAR WALL OF EXISTING BUILDING AT 33-35 SURRY
APPROXIMATELY 65' FROM REAR PROPERTY LINE
(SEE SANDBORN MAP)

SANBORN MAP:

OWNER:
TROY KASHANIPOUR
2325 3RD STREET, SUITE 401
SAN FRANCISCO, CA 94110
PHONE: 415.431.0869
TK@TKWORKSHOP.COM

ISSUE:	DATE:
PRE-APPLICATION MEETING	12.16.15
ISSUED FOR PERMIT	04.11.16
RTD COMMENTS	08.01.16

CONSULTANT

APPROVAL

DRAWN:	TK
CHECKED:	TK
SCALE:	= 1'-0"

SITE PLAN

A1.0

IRUY KASHANIPUR ARCHITECTURE
2325 3RD STREET SUITE 401, SF. CA 94107. PHONE/FAX 415.431.0869

2/83K DIAMOND SIRE

1

SITE PLAN / ROOF PLAN

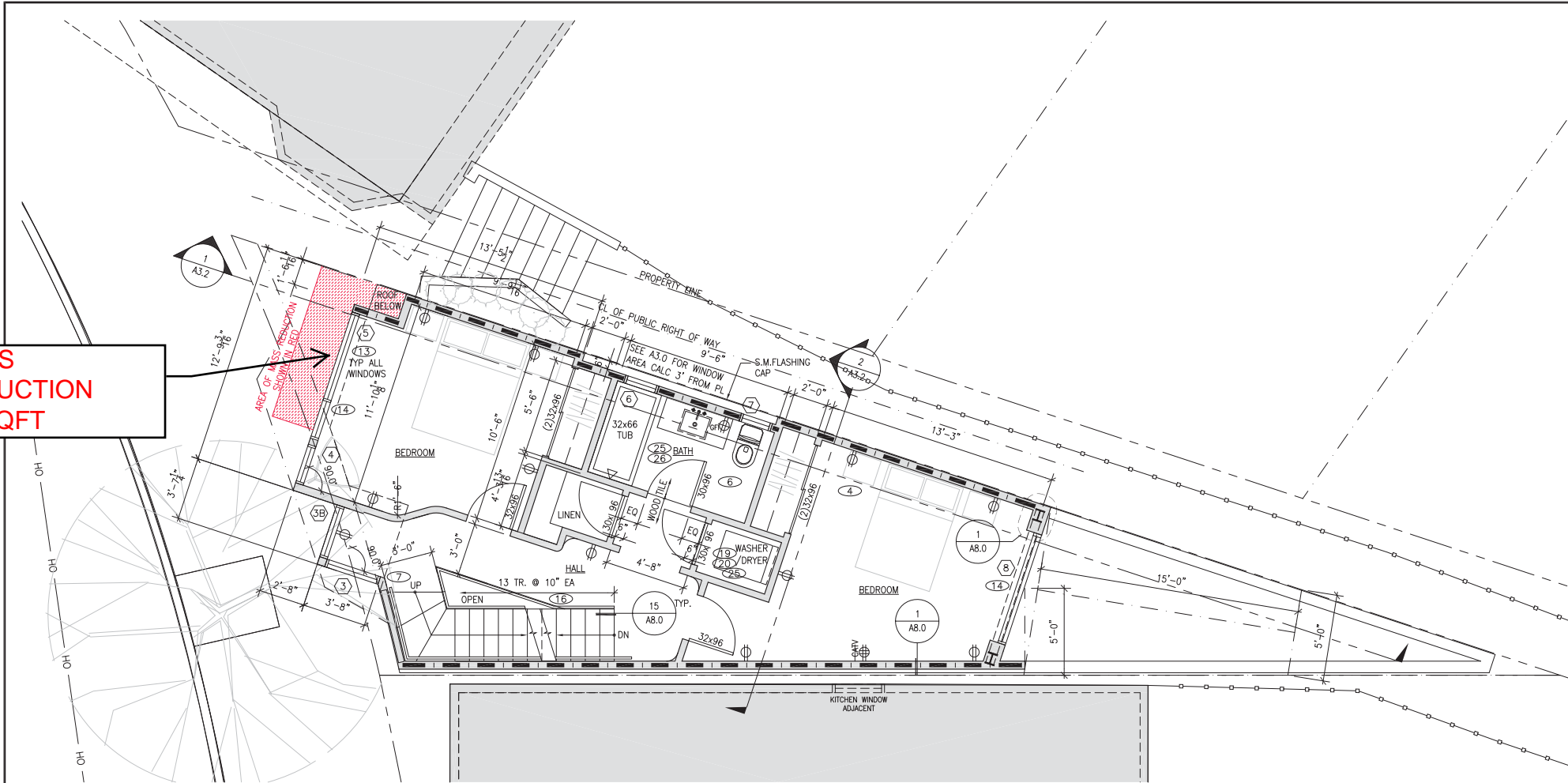
SCALE: 1/4" = 1'-0"

GRAPHIC SCALE

2		10
	5	

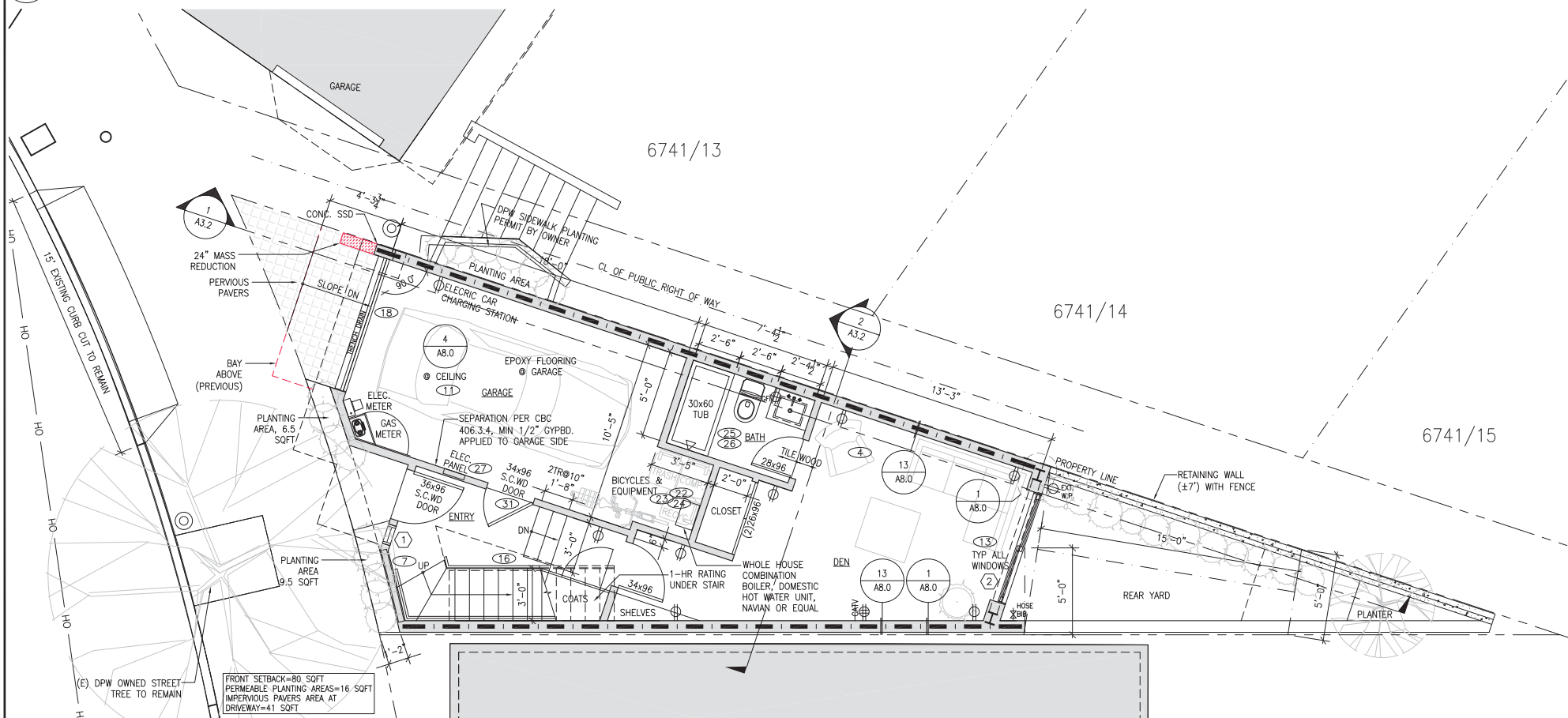
$$/4'' = 1'-0''$$

MASS
REDUCTION
25 SQFT



2 PROPOSED SECOND FLOOR PLAN

SCALE: 1/4"= 1'-0"



1 PROPOSED FIRST FLOOR PLAN

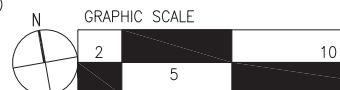
SCALE: 1/4"= 1'-0"

KEYNOTES:

- (1) (N) KITCHEN CABINERY. TO BE SELECTED BY OWNER. COORDINATE CABINERY SUBMITTAL WITH ALL ELECTRICAL AND PLUMBING WORK.
 - (2) PROVIDE SOLID BACKING FOR ALL WALL MOUNTED FIXTURES, CABINERY AND APPLIANCES. G.C. TO COORDINATE LOCATION.
 - (3) SMOOTH FINISH AT ALL GYPBOARD WALL AND SOFFIT TYPICAL. FINISH TO MATCH #5 FINISH, NO ORANGE PEEL, NO TEXTURE. TYP ALL FINISHES.
 - (4) PROVIDE R-13 INSULATION AT 2x4 FRAMED WALLS, R-19 INSULATION AT GARAGE SOFFIT, R-38 INSULATION AT ROOF, R-10 AT NORTH CONC FOUNDATION WALLS OR MINIMUM AS DESCRIBED IN 24 ENERGY CALCULATIONS SEE A0.3A&B.
 - (6) PROVIDE MOISTURE RESISTANT GYP BOARD AT BATHROOM WALLS AND SOFFIT, PRIMED AND PAINTED PER OWNER SELECTION.
 - (7) HANDRAIL GRASPABILITY: RECTANGULAR WITH PERIMETER DIMENSION OF 4" MIN. AND NOT GREATER THAN 6.25" WITH MAXIMUM DIMENSION OF 2.25" PER CBC 1012.3. CONTINUITY PER 1021.4. HANDRAIL CONTINUITY PER 1012.4, HEIGHT 34"-38" ABOVE STAIR NOSING. 1.5" SPACING FROM WALL.
 - (8) 42" PARAPET/GUARDRAIL AT DECKS, TYPICAL COMPLY WITH CBC 1013.4 GUARDS SHALL NOT ALLOW THE PASSAGE OF AT 4" SPHERE AND 4 3/8" ABOVE 36"
 - (9) PROVIDE (N) WATERPROOFING MEMBRANE. SLOPE 1/4" PER FOOT. PROVIDE SUBMITTAL OF MANUFACTURE'S DATA AND TYPICAL INSTALLATION DETAIL FOR OWNER/DEVELOPER REVIEW AND APPROVAL PRIOR TO INSTALLATION.
 - (10) PROVIDE (N) ROOF DRAIN AND OVERFLOW. OVERFLOW TO BE 2" HIGHER THAN ROOF DRAIN. SEE 14/A8.1.
 - (11) AT GARAGE CEILING: PROVIDE 5/8" TYPE "X" GYPSUM WALLBOARD NAILED TO JOISTS WITH 5d COOLER OR WALLBOARD NAILS AT 6" ON CENTER. END JOINTS OF WALLBOARD CENTERED ON JOISTS.
 - (12) PROVIDE TEMPERED GLASS SHOWER ENCLOSURE WITH STAINLESS STEEL CLIPS. GLAZING SHALL MEET REQUIREMENTS OF CBC CHAPTER 24. IDENTIFICATION PER 2403.1 & 2406.3 HAZARDOUS LOCATIONS.
 - (13) (N) WINDOW. MINIMUM U-VALUE PER TITLE 24 REQUIREMENTS U-VALUE MAX=0.32 AND S.H.G.C. = .50 MAX.
 - (14) WINDOW TO MEET REQUIREMENTS FOR RESCUE WINDOW: 20" CLEAR WIDTH, 24" CLEAR HEIGHT, 5.7 SQ. FT. MIN. 44" A.F.F.
 - (15) TEMPERED GLASS SKYLIGHT, 6" MIN. CURB ABOVE ADJACENT ROOF SURFACE. INSTALL PER MFR'S RECOMMENDATION.
 - (16) PROVIDE SHOP DRAWINGS FOR ARCHITECT & ENGINEER REVIEW FOR ALL METAL FABRICATIONS. INCLUDE ATTACHMENTS BACK TO STRUCTURE. RAILINGS AND GUARDRAILS INCLUDING ATTACHMENTS TO MEET REQUIREMENTS OF CBC 1607.8.1, 1607.8.1.1, 1607.8.1.2
 - (17) PROVIDE FLEXIBLE VINYL SHOWER PAN LINER FOR SHOWER STALL. TILE PER TILE COUNCIL OF NORTH AMERICA RECOMMENDED ASSEMBLY AND T.C.N.A. STANDARDS.
 - (18) PROVIDE SCREENED VENT AT GARAGE DOOR OR OTHER GARAGE LOCATION TO EXTERIOR. MIN. 200 SQ.IN PER SFCB 3125.
 - (19) PROVIDE MIN. 100 SQ. INCH MAKE-UP AIR GRILL OR LOUVERED TYPE DOOR AT LAUNDRY CLOSET DOOR TO SERVE DRYER OR PER CMC 504.3.2.
 - (20) (N) WASHER/DRYER. A DEDICATED 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET. 2007 CEC ARTICLES 210.11(C)(2) & 210.52(F). PROVIDE UTILITY CONNECTION BOX WITH 2-125V AND 1-250V OUTLETS. PROVIDE EXHAUST VENTILATION PER TABLE 4-4 AND MAKEUP AIR AS NEEDED. DRYER MOISTURE EXHAUST TO MEET REQUIREMENTS OF: CMC 504.3.1 AND 4" Ø DUCT PER CMC 504.3.2. DRYER DUCTS PER CMC 504.3.2 AND 504.3.2.2. TERMINATION 3' FROM ANY OPENING OR PL PER CMC 504.5.
 - (21) DOMESTIC RANGE AND COOK TOP UNIT INSTALLATION PER MFR'S INSTRUCTIONS AND VENT SHALL PER PER CMC 504.2.
 - (22) (N) HYDRONIC HEAT EQUIPMENT. DESIGN BUILD-ITEM BY G.C. AS SUBCONTRACTOR. HYDRONIC HEAT SYSTEM TO MEET REQUIREMENTS ALL APPLICABLE CODES INCLUDING:
CEC 150(J)(2) PIPING FOR HYDRONIC HEATING SYSTEM SHALL MEET REQUIREMENTS OF TABLE 123-A.
CMC CHAPTER 12 FOR METALS, PB, PEX, PEX-AL-PEX PIPE, TUBES, FITTINGS, CONNECTIONS, INSULATION, SUPPORTS, AND PROTECTION DETAILS.
CEC (RESIDENTIAL MANUAL) 4.6.1-2 REQUIREMENTS FOR HEAT EXCHANGER ON CLOSED LOOP SYSTEM. WH EFFICIENCY AS LISTED.
 - (23) DIRECT VENT EQUIPMENT SHALL BE VENTED WITH THE TERMS OF THE LISTING AND THE MANUFACTURER'S INSTRUCTIONS AND SHALL COMPLY WITH CBC 802.2.5, 802.6.2(3) & 802.8.3. GAS VENT TERMINATION PER CMC 802.6.2(1)&(2) GAS VENT TERMINATION CAP PER CMC 802.6.2.5 GAS VENT SUPPORT PER MFR AND CMC 802.5.6 & 802.6.5.
 - (24) PROVIDE COMBUSTION AIR OPENING FROM OUTSIDE FOR FURNACES AND WATER HEATERS PER CMC 701.10(3), 701.10(6), CMC 701.10(7) AND ALL OTHER APPLICABLE CODES.
 - (25) TOILET, LAUNDRY, AND KITCHEN EXHAUST TERMINATION 3'-0" MINIMUM FROM PROPERTY LINES AND BUILDING OPENINGS PER CMC 504.5.
 - (26) EXHAUST FAN TO PROVIDE MIN. 5 AIR CHANGES PER HOUR AND PER REQUIREMENTS OF CMC 403.7 TABLE 4-4 AND SOURCE OF MAKE-UP AIR. MECHANICAL CONTRACTOR TO SIZE AND SUBMIT CUTSHEET FOR APPROVAL PRIOR TO INSTALLATION.
 - (27) AN ARC-FAULT CIRCUIT INTERRUPTER SHALL PROTECT ALL RECEPTACLES IN THE HABITABLE AREA WITH BRACH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE 15 AND 20-AMPERE RECEPTACLE OUTLETS. 2007 CEC SECTION 210-12(b). ARC FAULT CIRCUIT INTERRUPTER REQUIREMENTS:
• THE BEDROOM BRANCH CIRCUIT(S) SHALL BE RUN SEPARATELY FROM ALL OTHER BRANCH CIRCUITS. THE RACEWAYS OR CABLE ASSEMBLIES SHALL NOT TERMINATE INTO ANY JUNCTION BOX (OTHER THAN THE PANEL BOARD) WHERE OTHER CIRCUIT CONDUCTORS ARE LOCATED.
• THE BEDROOM BRANCH CIRCUIT CONDUCTORS SHALL BE PERMANENTLY IDENTIFIED AT THE POINT OF ENTRY TO THE PANEL BOARD.
• THE AFCI BREAKER SHALL BE A LISTED AND APPROVED DEVICE INSTALLED IN AN APPROVED PANEL BOARD IN ACCORDANCE WITH ITS LISTING.
• OTHER OUTLETS WITHIN THE DWELLING UNIT MAY BE CONNECT TO THE AFCI PROTECTED BRANCH CIRCUIT; HOWEVER, THE SAME WIRING METHODS AS REQUIRED ABOVE FOR BEDROOMS SHALL BE USED.
 - (28) G.C. CONFIRM ELECTRIC & GAS METER REQUIREMENTS WITH PG&E STANDARDS. COORDINATE WITH ARCHITECT METER LOCATION AND MOUNTING DETAILS. PROVIDE CABINET FOR GAS METER AND VENTING AS REQ'D. SEE PG&E GREENBOOK FOR INSTALLATION STANDARDS.
 - (29) PROVIDE CA STATE FIRE MARSHALL APPROVED CARBON MONOXIDE ALARM OUTSIDE OF EACH SLEEPING AREA AND ON EACH LEVEL. ALARMS TO BE HARDWIRED WITH BATTERY BACKUP. COMBINED SMOKE/CARBON MONOXIDE ALARM.
 - (30) HARDWIRED SMOKE ALARM WITH BATTERY BACKUP. ALL NEW SMOKE ALARMS TO COMPLY WITH CBC SECTIONS: 907.2.10.1.2 FOR LOCATION, 907.2.10.2 TO BE HARD-WIRED WITH BATTERY BACKUP, 907.2.10.3 FOR INTERCONNECTION.
 - (31) PROVIDE SOLID CORE WOOD DOOR 1 3/8" MIN. THICKNESS OR PROVIDE DOOR WITH 20 MIN. FIRE PROTECTION RATING . PROVIDE CLOSER. DOOR TO BE SELF-LATCHING
- PROVIDE HOSE BIBS ~~AT~~ AT LOCATIONS AS SELECTED BY OWNER
- TILE 24 RESIDENTIAL LIGHTING REQUIREMENTS:
- KITCHENS: AT LEAST 50% OF INSTALLED LUMINARIES WATTAGE MUST BE HIGH EFFICACY (HE) LIGHTING AND MUST BE SWITCHED SEPARATELY FROM NON HE LIGHTING
- BATHROOM, LAUNDRY ROOM, GARAGE, UTILITY ROOMS: ALL HIGH EFFICACY LUMINARIES OR COMPLY WITH THE EXCEPTION AS FOLLOWS:
PROVIDE A MANUAL-ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH CEC SECTION 119(d) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINARIES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LIGHT TO BE ALWAYS ON.
- OUTDOOR LIGHTING: ALL HIGH EFFICACY UNLESS LIGHTING IS CONTROLLED BY CERTIFIED MOTION SENSORS AND PHOTOCONTROL.
- COMMON AREAS (ENCLOSED NON DWELLING SPACES): ALL HIGH EFFICACY UNLESS CONTROLLED BY A CERTIFIED OCCUPANT SENSOR(S) - NOT REQUIRED TO BE MANUAL-ON.
- ALL OTHER ROOM (BEDROOMS, HALLWAYS, STAIRS, DINING ROOMS, ETC) SHALL BE ALL HIGH EFFICACY LUMINARIES OR COMPLY WITH THE EXCEPTIONS AS FOLLOWS:
1) PROVIDE DIMMER SWITCH.
2. PROVIDE MANUAL-ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH CEC SECTION 119(d) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINARIES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE. ALLOWING THE LIGHT TO BE ALWAYS ON FLUORESCENT OR CONTROL BY DIMMER SWITCH.
3) CLOSETS LESS THAN 70 SQUARE FEET ARE EXEMPT FROM LIGHTING REQUIREMENTS.
- RECESSED LUMINARIES IN INSULATED CEILINGS: MUST BE APPROVED FOR ZERO CLEARANCE INSULATION COVER AND MUST BE CERTIFIED AS AIR TIGHT.
- LIGHTING GENERAL NOTES:
G.C. AND ELECTRICAL SUBCONTRACTOR TO CONFIRM AND COORDINATE ALL TRANSFORMERS WITH FIXTURES SELECTION.
G.C. AND ELECTRICAL CONTRACTOR TO CONFIRM ANY ACCESS PANELS REQUIREMENTS.
PROVIDE SUBMITTAL FOR ARCHITECT AND OWNER REVIEW PRIOR TO PURCHASE OF FIXTURES.
WHERE DEVICES/SWITCHES ARE CLUSTERED, PROVIDE MULTI-GANG COVERS.
SWITCH MOUNTING HT = 48" TO CL A.F.F.
OUTLET/CATV/TELE MOUNTING HT = 15" TO CL A.F.F.
SEE SHEET A6.0 FOR LOCATIONS.
SEE SHEET A6.0 FOR LOCATIONS.

DRAWING LEGEND:

- EXISTING WALL OF ADJACENT STRUCTURE (GREY LINES)
- NEW WALL
- 1-HR RATED WALL



TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 401, SF CA 94107. PHONE/FAX 415.431.0869

2783K DIAMOND STREET

OWNER:
TROY KASHANIPOUR
2325 3RD STREET, SUITE 401
SAN FRANCISCO, CA 94110
PHONE: 415.431.0869
TK@TKWORKSHOP.COM

ISSUE:	DATE:
PRE-APPLICATION MEETING	12.16.15
ISSUED FOR PERMIT	04.11.16
RTD COMMENTS	08.01.16

CONSULTANT

APPROVAL



DRAWN:
TK
CHECKED:
TK
SCALE:
NONE

PROPOSED FLOOR PLAN

A2.0

MASS
REDUCTION
SHOWN IN RED

2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

- EXTERIOR FINISHES
- 1 SOLID CORE WOOD ENTRY DOOR WITH SINGLE GLASS LITE
 - 2 FLAT PANEL WOOD GARAGE DOOR, FINISH TO MATCH ENTRY DOOR.
 - 3 CERAMIC TILE, HEATH CERAMICS OR EQUAL
 - 4 WALL PLANTING, SUPPORTED BY GREENWALL TRELLIS SYSTEM, OR EQUAL
 - 5 PAINTED STEEL EDGE BAN AS TRANSITION BETWEEN MATERIALS
 - 6 BOARD FORMED CONCRETE
 - 7 INTEGRALLY COLORED CEMENT PANEL, SWISS-PEARL OR EQUAL WITH OPEN JOINTS
 - 8 HORIZONTAL CEMENTIOUS PANEL, HARDBOARD ARTISAN V-RUSTIC FLAT SIDING, MITRE CORNERS TYPICAL
 - 9 POWDER COATED STEEL GUARDRAIL FRAME WITH STAINLESS STEEL CABLE RAILING.
 - 10 ANNOZIDED ALUMINUM WINDOW FRAMES.
 - 11 GALVANIZED & PAINTED PERFORATED METAL STAIR OVER STRUCTURE
 - 12 AT GRADE PLANTING AREA WITH DRIP IRRIGATION SERIES, SPECIES TO BE DETERMINED.
 - 13 PROVIDE T-111 EXTERIOR GRADE SIDING BETWEEN BUILDINGS WHERE NOT VISIBLE, PROVIDE FLASHINGS AS NECESSARY FOR COMPLETE WATERTIGHT INSTALLATION.
 - 14 PAINTED METAL FACIA PANEL & SILL AT RECESSED AREA
 - 15 SOLAR PANEL SYSTEM, DESIGN BUILD SYSTEM UNDER SEPARATE PERMIT BY SOLAR CONTRACTOR

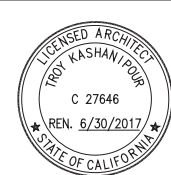
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CONSULTANT

APPROVAL



PROPOSED ELEVATIONS

A3.0

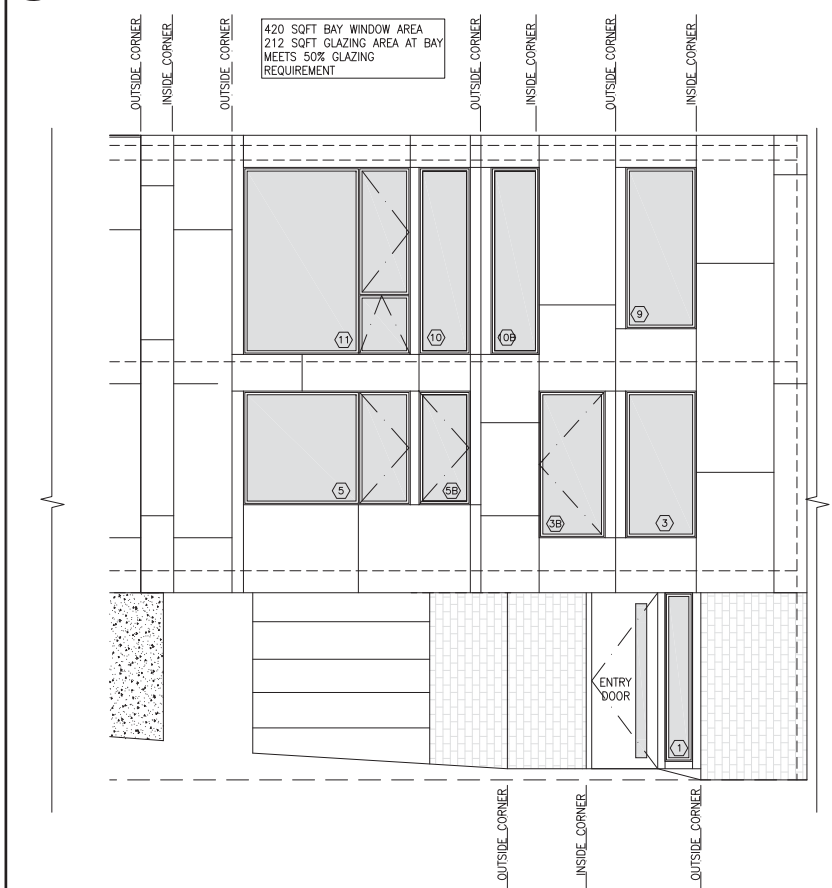
TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 401, SF CA 94107 PHONE/FAX 415.431.0869

2783K DIAMOND STREET



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 UNFOLDED WEST ELEVATION
SCALE: 1/4" = 1'-0"

- EXTERIOR FINISHES**
- 1 SOLID CORE WOOD ENTRY DOOR WITH SINGLE GLASS LITE
 - 2 FLAT PANEL WOOD GARAGE DOOR, FINISH TO MATCH ENTRY DOOR.
 - 3 CERAMIC TILE, HEATH CERAMICS OR EQUAL
 - 4 WALL PLANTING, SUPPORTED BY GREENWALL TRELLIS SYSTEM, OR EQUAL
 - 5 PAINTED STEEL EDGE BAN AS TRANSITION BETWEEN MATERIALS
 - 6 BOARD FORMED CONCRETE
 - 7 INTEGRALLY COLORED CEMENT PANEL, SWISS-PEARL OR EQUAL WITH OPEN JOINTS
 - 8 HORIZONTAL CEMENTIOUS PANEL, HARDIBOARD ARTISAN V-RUSTIC FLAT SIDING, MITRE CORNERS TYPICAL
 - 9 POWDER COATED STEEL GUARDRAIL FRAME WITH STAINLESS STEEL CABLE RAILING.
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 - 14 PAINTED METAL FACIA PANEL & SILL AT RECESSED AREA
 - 15 SOLAR PANEL SYSTEM, DESIGN BUILD SYSTEM UNDER SEPARATE PERMIT BY SOLAR CONTRACTOR

- NOTES:**
- 1. WINDOW SUBMITTAL REQUIRED PRIOR TO ORDER BY CONTRACTOR
 - 2. CONTRACTOR TO CONFIRM WINDOW MULLING WITH MANUFACTURER
 - 3. CONTRACTOR TO VERIFY ALL R.O. DIMENSIONS AND QUANTITIES PRIOR TO ORDERING WINDOWS.
 - 4. INSTALLATION/FLASHING: SEE DETAIL 16/AB.0 FOR TYPICAL FLASHING INSTALLATION.
 - 5. PROVIDE TEMPERED GLASS WHERE REQUIRED PER SECTION 2406
 - 6. ALL R.O. DIMENSION ARE TO BE CONFIRMED BY CONTRACTOR WITH (E) AND (N) FIELD CONDITIONS PRIOR TO FABRICATION.
 - 7. WINDOWS TO MEET TITLE 24 ENERGY MANDATORY MINIMUM OR AS OUTLINED IN TITLE 24 REPORT.

WINDOWS & EXTERIOR DOORS:								
NAME	ELEV	MFGR.	PRODUCT	SIZE (W x H) FRAME SIZE (FS)	OPENING: X=FIXED, O=OPERABLE	GLASS: CLR, INS, LOW-E U.O.N.	HARDWARE	NOTES
1	W	FLEETWOOD, WESTWOOD 250	ANNOZIZED ALUMINUM PICTURE	15" x 92"	X	TEMPERED	-	VERIFY HT: ALIGN FRAME W/FIN CLNG & T/BASEBD
2	E	FLEETWOOD, SERIES TBD	ANNOZIZED ALUMINUM SLIDING DOOR	80" x 108"	O,O	TEMPERED	-	
3	W	FLEETWOOD, WESTWOOD 250	ANNOZIZED ALUMINUM CASEMENT	24" x 80"	O	TEMPERED	-	
4	W	FLEETWOOD, WESTWOOD 250	ANNOZIZED ALUMINUM CASEMENT	37" x 80"	O	TEMPERED	-	
5	W	FLEETWOOD, WESTWOOD 250	ANNOZIZED ALUMINUM CASEMENT & PICTURE WINDOW	80" x 62" OVERALL 31" W @ CASEMENT	O,X		-	CASEMENT & PICTURE IN ONE FRAME
6	N	FLEETWOOD, WESTWOOD 250	ANNOZIZED ALUMINUM AWNING	32" x 32"	O	TEMPERED, FROSTED GLASS	-	
7	N	FLEETWOOD, WESTWOOD 250	ANNOZIZED ALUMINUM CASEMENT	32" x 32"	O	TEMPERED, FROSTED GLASS	-	
8	E	FLEETWOOD, WESTWOOD 250	ANNOZIZED ALUMINUM CASEMENT & PICTURE WINDOW	80" x 64" OVERALL 29.5" W @ CASEMENT	O,X			
9	W	FLEETWOOD, WESTWOOD 250	ANNOZIZED ALUMINUM PICTURE	24" x 88"	O	TEMPERED		SILL @ 36"
10	W	FLEETWOOD, SERIES TBD	ANNOZIZED ALUMINUM PICTURE CORNER WINDOW ASSEMBLY	W:43"x31" x H:60"	X			CORNER WINDOW ASSEMBLY, ARCHITECT TO COORDINATE DETAILS WITH MFGR'S
11	W	FLEETWOOD, WESTWOOD 250	ANNOZIZED ALUM. PICTURE, CASEMENT, AWNING ASSEMBLY	80"x102" OVERALL 29.5"W @CASEMENT,31.5"H @AWNING	X,O,O	TEMPERED		LIMIT OPENING OF AWNING TO 4"
12	N	FLEETWOOD, WESTWOOD 250	ANNOZIZED ALUMINUM PICTURE	21" x 105"	X	TEMPERED	-	VERIFY HEIGHT, ALIGN OVER BASEBOARD
13	E	FLEETWOOD, WESTWOOD 250	ANNOZIZED ALUMINUM PICTURE & CASEMENT WINDOW	80" x 64" OVERALL 29.5" W @ CASEMENT	O,X			SILL @ 36"
14	W	FLEETWOOD, SERIES TBD	ANNOZIZED ALUMINUM DOOR WITH SINGLE GLASS LITE	34" x 96"	O	TEMPERED		
15	N	FLEETWOOD, WESTWOOD 250	ANNOZIZED ALUMINUM CASEMENT	24" x 48"	O	-		
16	N	FLEETWOOD, WESTWOOD 250	ANNOZIZED ALUMINUM CASEMENT	30" x 48"	O	-		
17	N	FLEETWOOD, WESTWOOD 250	ANNOZIZED ALUMINUM CASEMENT	30" x 48"	O	FROSTED		
18	E	FLEETWOOD, WESTWOOD 250	ANNOZIZED ALUM. PICTURE, CASEMENT, PICTURE ASSEMBLY	80"x98" OVERALL, 29.5"W @ CASEMENT, 34"H@LOWER PIC.	X,O,X	TEMPERED @ LOWER AWNING		ALIGN OVER BASEBOARD
19	ROOF	ROYALITE OR EQUAL	CURB MOUNTED FIXED SKYLIGHT	78"x30"x90 APPROX. SEE PLAN FOR GEOMETRY.	X	TEMPERED		
20	ROOF	ROYALITE OR EQUAL	CURB MOUNTED FIXED SKYLIGHT	24" x 48"	X	TEMPERED		

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PRE-APPLICATION MEETING
ISSUED FOR PERMIT
RTD COMMENTS

DATE:
12.16.15
04.11.16
08.01.16

CONSULTANT

APPROVAL

LICENSED ARCHITECT
TROY KASHANIPOUR
C 27646
REN. 6/30/2017
STATE OF CALIFORNIA

DRAWN:
TK
CHECKED:
TK
SCALE:
1/4"=1'-0"

PROPOSED ELEVATIONS

A3.1

TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 401, SF CA 94107, PHONE/FAX 415.431.0869

2783K DIAMOND STREET

**Our neighborhood garden is
at risk of being destroyed
and replaced by a 4 story
“monster” house.**

Please join your
neighbors in telling the
recent purchaser of this
property

“No you wont!!!”

at the **pre-application
meeting** to be held on

**Wednesday Dec 16 at
6:45PM in the Glen Park
Library Meeting Room**

We as owners of the adjacent property have many concerns and oppose the building as it will:

- Exacerbate the already difficult traffic and parking situation during construction
- Impact the right of our tenants for “quiet enjoyment” during construction
- will have an environmental impact on GP
 - a. Loss of Green space and peace of mind
 - b. Pollution and dust from project
 - c. Gardens help fight pollution
- take away a precious neighborhood resource
 - a. Garden Club
 - b. Sitting on the bench
- possibly destroy a heritage tree (removal or damage from building)
- impact our tenants who may consider moving out – financial impact to us
- damage to our house especially the foundation
- create a loss of light as kitchen windows will be blocked and garden may have a shadow over it
- create a Fire hazard as the garden acts as a natural fire break
- start the migration to mega houses in the neighborhood (already is one on Surrey)

We want to go on the record that we don't want to see the garden destroyed and the building built... we will not be supportive of any variances that will be required.



Our neighborhood garden is at risk of being destroyed and replaced by a 4 story "monster" house.

Please join your neighbors in telling the recent purchaser of this property

"No you wont!!"

at the pre-application meeting to be held on

Wednesday Dec 16 at 6:45PM in the Glen Park Library Meeting Room

EXHIBIT C

"WILDCARE"

Found an Animal?

Found an ill, injured or orphaned animal? Call 415-456-SAVE

Please note: WildCare is located in San Rafael, California

Whenever you find an injured or orphaned wild animal, call WildCare (415-456-SAVE (7283)) or your local wildlife hospital to determine whether the animal needs help!

Touching a baby animal will NOT cause its parents to reject it. This is a myth!

Some young animals may not need rescuing– please call first to determine if an animal needs to be rescued. Please don't "kidnap" a healthy animal!



Call WildCare at **415-456-SAVE(7283)**

Operators are available from 9am to 5pm, 365 days a year.

After 5pm PST (Pacific Standard Time), for **wildlife emergencies only**, call our 24-hour Nightline at **415-300-6359**.

In a situation with an animal in distress, please call our Hotline or Nightline (after 5pm) for advice and then do the following:

1. See **temporary care instructions** for all animals below. Then, bring the animal to WildCare (or your **local wildlife hospital**) when we open at

Providing Habitat for Bats: Natural Spaces and Bat Houses

Make sure bats have a place to call home that isn't inside *your* home

Adapted from the book Wild Neighbors



EXHIBIT D: BAT HOUSES

Bats are very particular about their digs, so when you erect a bat house follow the instructions provided by bat professionals.

John Griffin/The HSUS

Once you've humanely removed a bat from inside your house or evicted them from your attic, how can you keep bats from coming back indoors? Make sure they have plenty of places to live outdoors.

Bats are gaining appreciation for their ecological contributions as pollinators, seed dispersers, and insect predators. They're also fascinating animals to watch. Sadly, though, bats are suffering from habitat loss and other hazards.

Protect natural habitats

Give bats places to stay by protecting and planting native vegetation, and leave dead trees standing as shelter, when it's safe to do so. Those with caves or abandoned mines on their property can provide fencing and signs to keep people from disturbing hibernating bats.

To the bat house!

Put up a bat house to reap the benefits of having bats nearby. Whether you buy one or build your own, here are a few suggestions:

Bat house size and features:

More than 24" tall with 1 to 4 chambers, at least 20" tall and 14" wide

Chambers 3/4" - 1" deep

Horizontal grooves inside chambers, 1/4" - 1/2" apart

Landing plate with grooves

Shingled roof

Open bottom

Painted or stained surfaces and sealed seams

Placement:

Mount on a building or metal pole.

Do not place above a window, door, walkway, or deck.

Mount with a 2" - 4" spacer and a long backboard.

Place a shallow tray below for droppings.

Choose a spot with at least 7 morning hours of sun, except in particularly hot regions.

Mount houses on poles back-to-back, facing north and south.

Choose a spot near water and diverse habitat, 20' from the nearest tree branch or other potential perch for aerial predators.

Avoid spots near air conditioner units, air vents, or burn barrels.

If vandalism is likely, choose a safer location.

Maintenance:

Monitor for predators, hornets, and overheating in summer.

Clean out any wasp or mud dauber nests each winter.

Caulk, paint, and stain every 3 to 5 years.

Move or modify the house if no bats occupy it for 2 years.

Prevent bats from entering your home

Look for loose-fitting doors or windows, unscreened chimneys, or gaps in walls. Bats only need a gap of 3/4" to 1" to enter. Plug any gaps with door draft guards, hardware cloth, steel wool, or caulking.

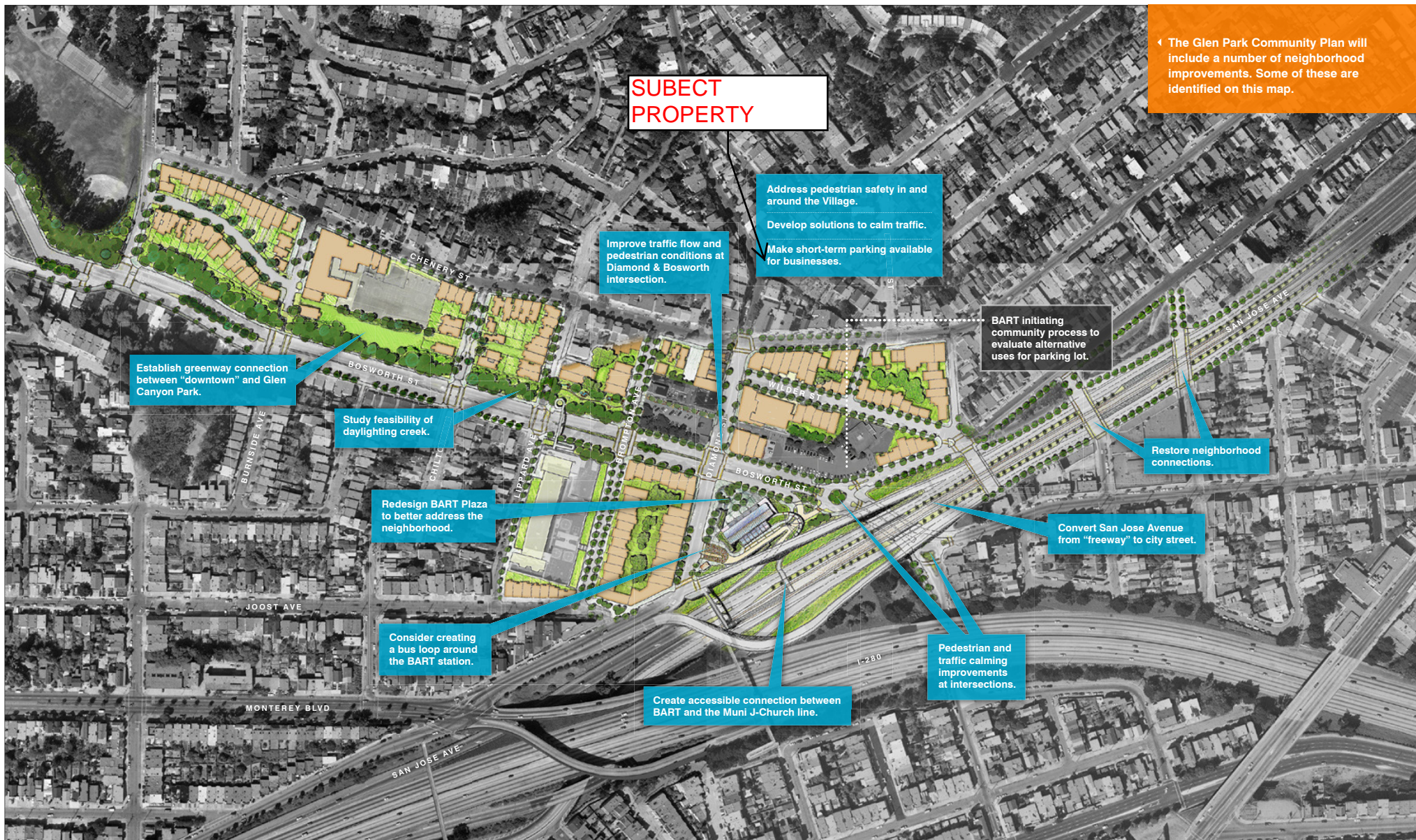
If you need to evict bats from your home, do so in early spring or in fall, when flightless young will not be present. Install a bat house as part of the project.

Worried about disease?

Don't let the threat of rabies prevent you from protecting bats. Bats are rarely rabid—and they are unlikely to be aggressive. Bats who do contract rabies die quickly, so they don't cause an ongoing threat. Follow normal safety practices: Do not handle bats with bare hands, warn children not to handle bats, and vaccinate dogs and cats for rabies.

More resources

- » Purchase a copy of Wild Neighbors, the go-to guide for useful, humane solutions to conflicts with wildlife.
- » If you are located within the D.C. Metro Area, take advantage of our wildlife conflict resolution service.
- » Bat Conservation International has a Bat House Builder's Handbook and a Building Homes for Bats DVD, as well as ready-made boxes and kits, in their online catalog.



4 The Glen Park Community Plan will include a number of neighborhood improvements. Some of these are identified on this map.

Glen Park Community Plan

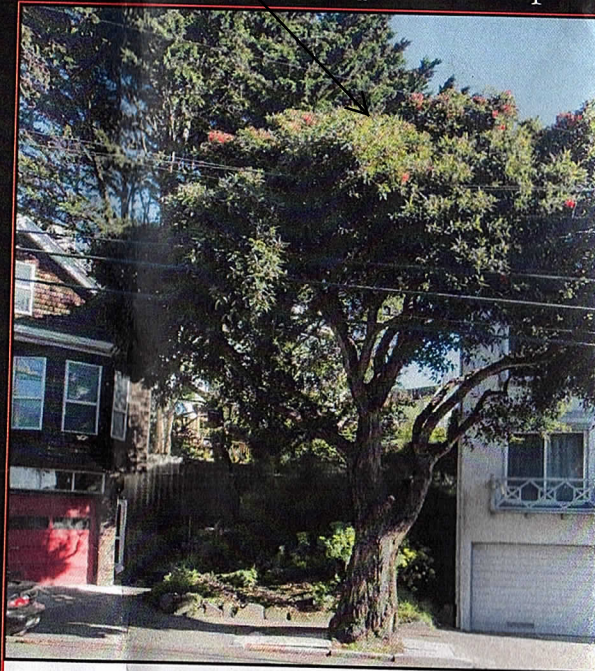
EXHIBIT E: GREEN SPACES ADJACENT

Protect Glen Park's Grace

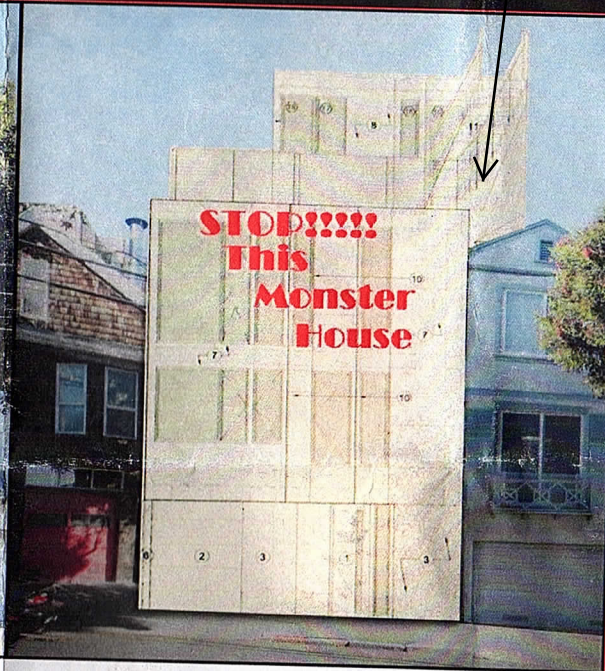
existing tree to remain

out of scale and misleading representation of project

A proposed MONSTER HOUSE plans to replace the Community Garden at 2783K Diamond Street



Current Site



Proposed Construction

attempt to by-pass Planning process

REASONS TO OPPOSE A MONSTER HOUSE

- Jeopardizes the area's light
- Jeopardizes green space
- Jeopardizes infrastructure and fire safety
- Stands to devalue adjacent properties
- Does not improve a property but take s every possible dollar out of a lot at the expense of nearby residents

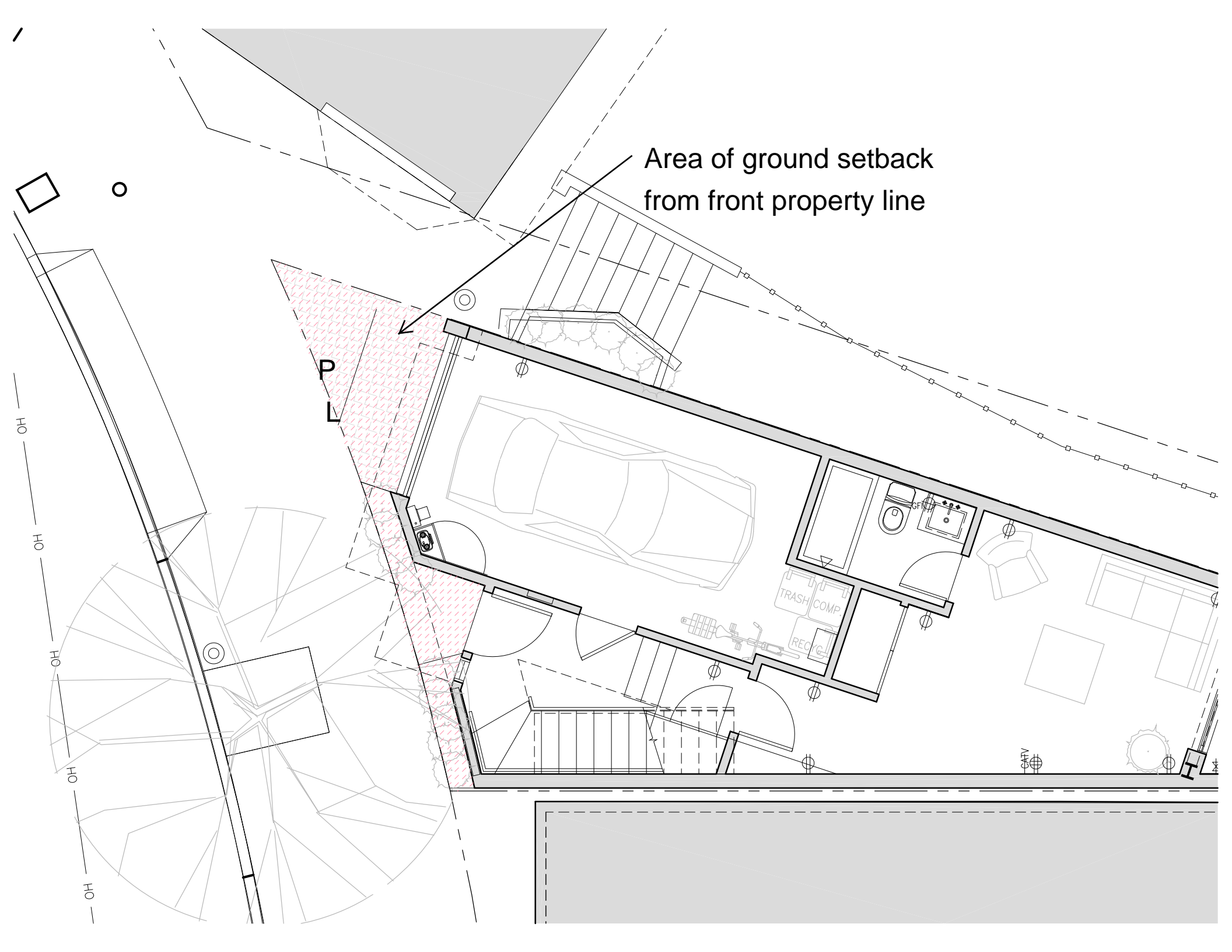
Proportions may not be entirely accurate in picture above

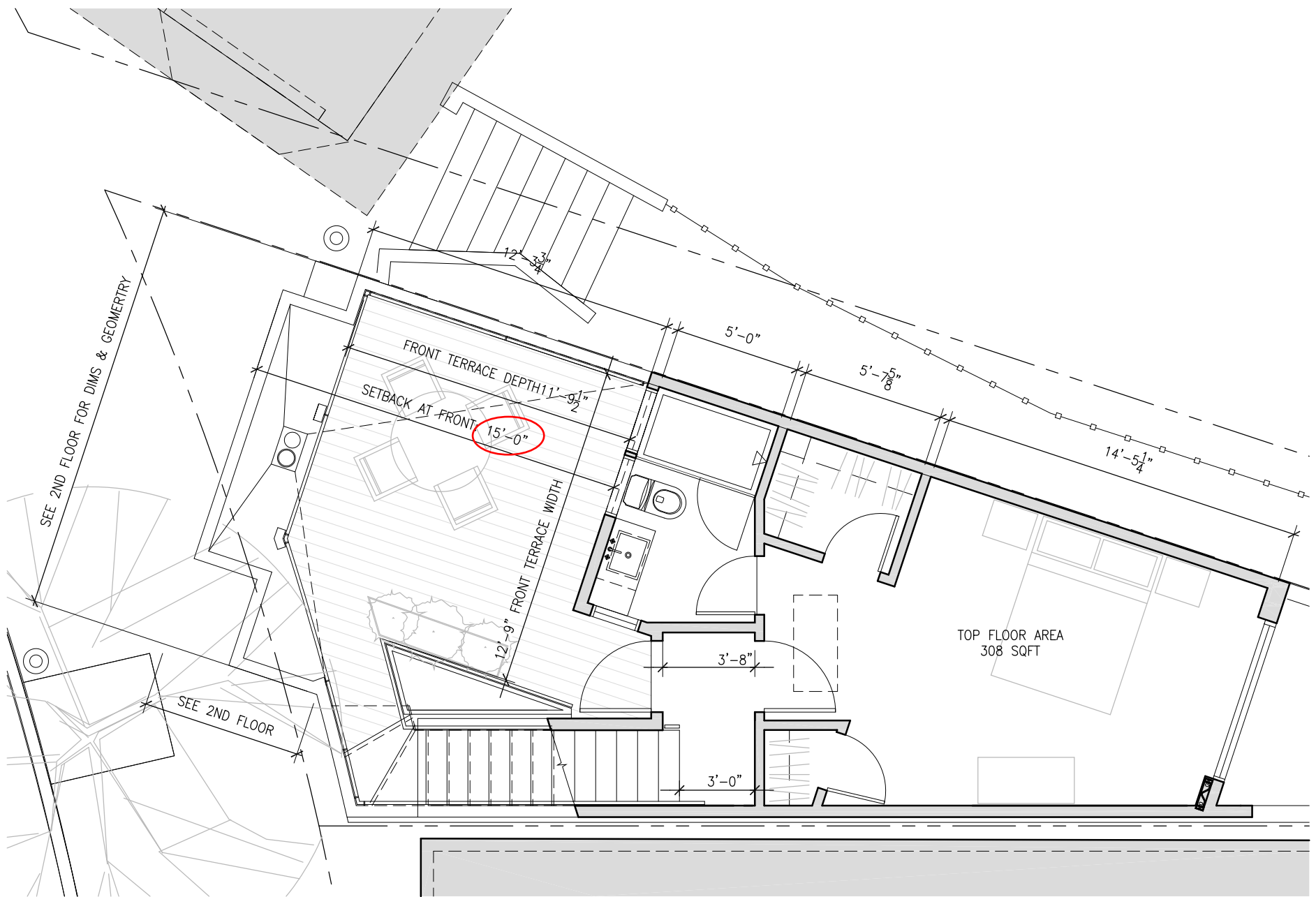
HERE IS WHAT YOU CAN DO

- Come and speak at the Planning Commission Meeting:
Thursday, March 9, 2017 at City Hall,
1 Dr. Carlton B. Goodlett Pl., Rm. 400 NOON
- Join the group of concerned neighbors by signing our petition at www.protectglenparkgrace.com
- Talk to your neighbors and/or distribute this flyer
- Contact our supervisor Jeff Sheehy at SheehyStaff@sfgov.org to enlist his help

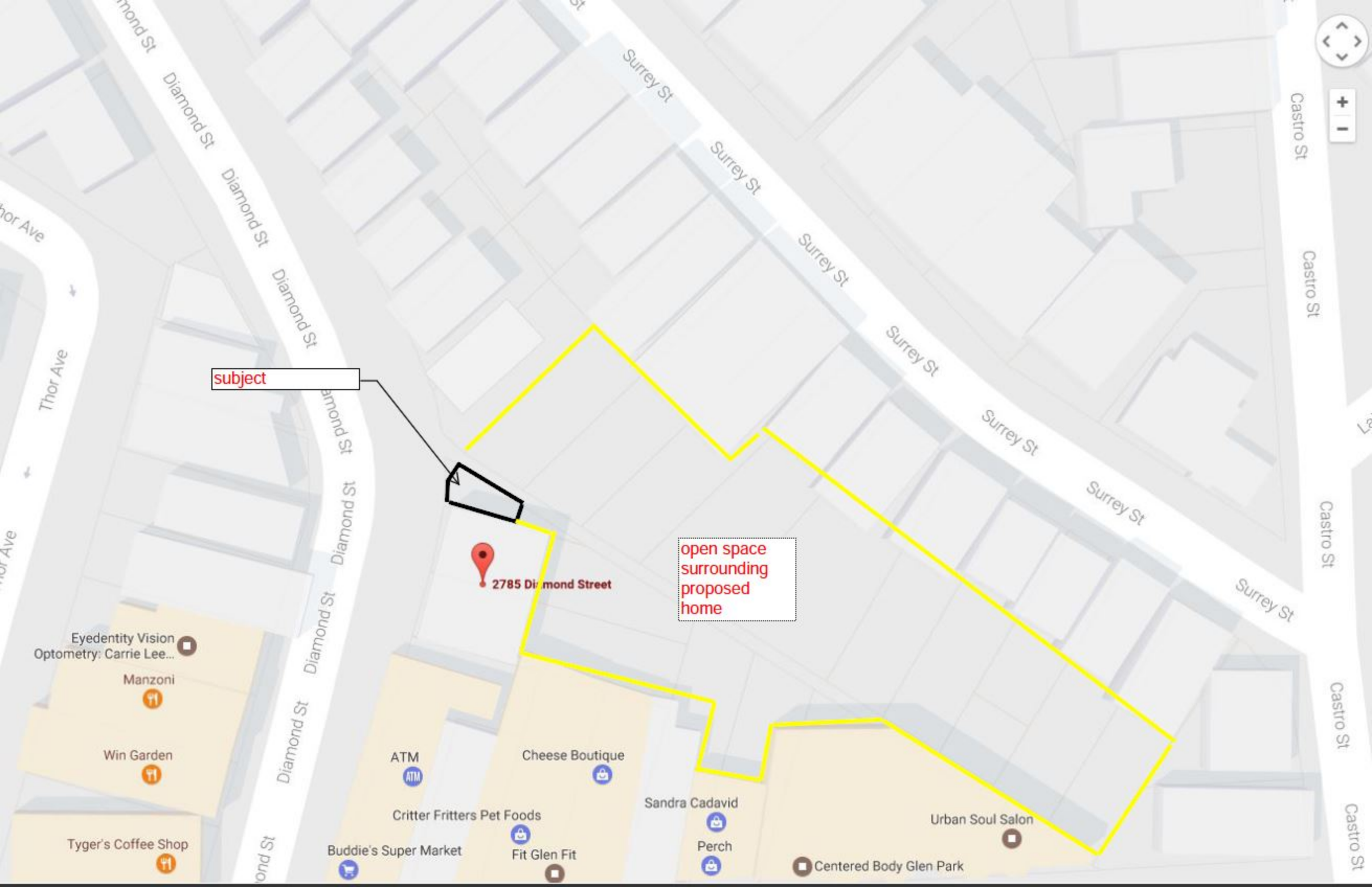
Posting by Anonymous found on-site 2/18

Area of ground setback
from front property line





4th floor plan showing setback



subject

open space
surrounding
proposed
home

2785 Diamond Street

Eyedentity Vision
Optometry: Carrie Lee...

Manzoni

Win Garden

Tyger's Coffee Shop

ATM

Buddie's Super Market

Critter Fritters Pet Foods

Fit Glen Fit

Cheese Boutique

Sandra Cadavid

Perch

Urban Soul Salon

Centered Body Glen Park



3
story

3
story

3
story

3
story

3
story

Stylistically mixed neighborhood with building of a variety of heights. Properties immediately adjacent on blockface are of similar 3 story heights.

Diamond Street looking
north from Chennerly

3
story

3
story

3
story

2
plus
attic

subject

Diamond St



Glen Park is of mixed architectural stylistic character with homes of various sizes and reflecting various ages of construction

15 Surrey, completed in 2012, 4 stories at rear, not exceptional architecture (personal opinion), but shows mixed character of neighborhood. 4 stories plus at rear



1 block away: 38 Surry completed 2009,
and 4 story neighbors as seen from street



1/2 block away: 650 Chenery,
4 story facade, coming up to
sidewalk.



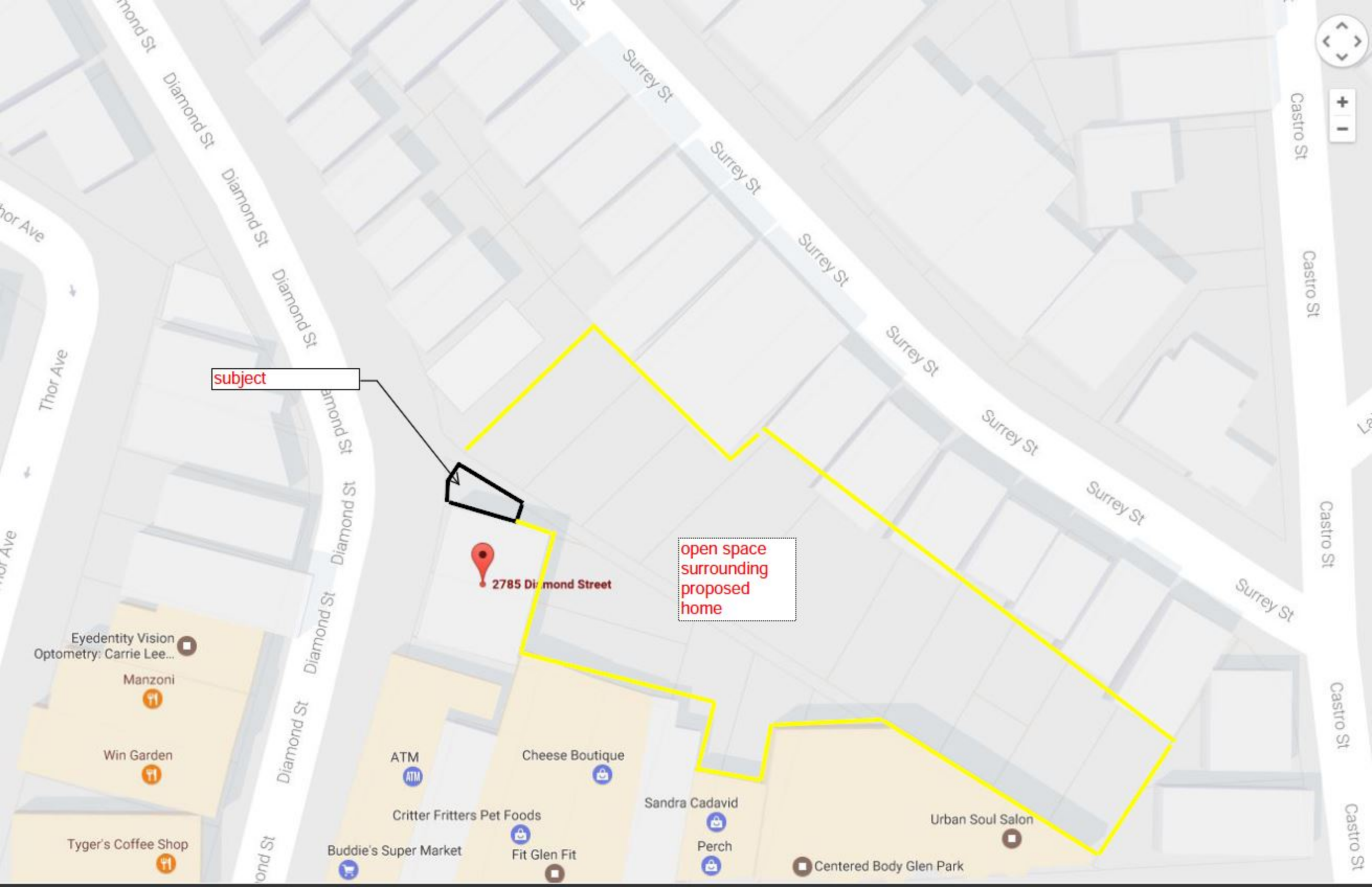
Google

1 block away: 94 Surrey
at Diamond and modern
house adjacent



subject

Context of mixed height homes, many of them 3 stories at the front, others 4 stories at the rear with setback



subject

open space
surrounding
proposed
home

2785 Diamond Street

Eyedentity Vision
Optometry: Carrie Lee...

Manzoni

Win Garden

Tyger's Coffee Shop

ATM

Buddie's Super Market

Critter Fritters Pet Foods

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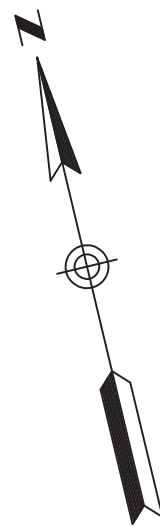
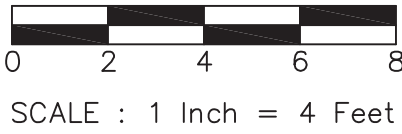
SINGLE - FAMILY RESIDENCE 2783K DIAMOND STREET, SAN FRANCISCO, CALIFORNIA 94131									
DRAWING LIST		SYMBOLS		GENERAL NOTES:		ABBREVIATIONS:			
A0.0	PROJECT INFORMATION	<div><div><div><div></div><div></div></div><div>CEILING MOUNTED FIXTURE</div></div><div><div><div><div></div><div></div></div><div>WALL MOUNTED FIXTURE</div></div><div><div><div><div></div><div></div></div><div>EXTERIOR OR WATERPROOF LIGHT FIXTURE</div></div><div><div><div><div></div><div></div></div><div>WALL WASH LIGHT FIXTURE</div></div><div><div><div><div></div><div></div></div><div>RECESSED CEILING MOUNTED FUTURE</div></div><div><div><div><div></div><div></div></div><div>FLORESCENT LIGHT FIXTURE</div></div><div><div><div><div></div><div></div></div><div>SMOKE ALARM</div></div><div><div><div><div></div><div></div></div><div>CARBON MONOXIDE ALARM/SMOKE ALARM</div></div><div><div><div><div></div><div></div></div><div>TELEPHONE</div></div><div><div><div><div></div><div></div></div><div>INTERCOM</div></div><div><div><div><div></div><div></div></div><div>DUPLEX OUTLET: 16" A.F.F.</div></div><div><div><div><div></div><div></div></div><div>DUPLEX GFI OUTLET</div></div><div><div><div><div></div><div></div></div><div>DUPLEX SWITCHED OUTLET</div></div><div><div><div><div></div><div></div></div><div>DATA/TELEPHONE OUTLET</div></div><div><div><div><div></div><div></div></div><div>DOUBLE DUPLEX, COUNTER HT</div></div><div><div><div><div></div><div></div></div><div>DOUBLE DUPLEX OUTLET: 16" A.F.F.</div></div><div><div><div><div></div><div></div></div><div>COUNTER HEIGHT DUPLEX OUTLET</div></div><div><div><div><div></div><div></div></div><div>HALF SWITCHED DUPLEX OUTLET</div></div><div><div><div><div></div><div></div></div><div>DIRECTIONAL EXIT SIGN</div></div><div><div><div><div></div><div></div></div><div>FAN</div></div><div><div><div><div></div><div></div></div><div>THERMOSTAT</div></div><div><div><div><div></div><div></div></div><div>SWITCH</div></div><div><div><div><div></div><div></div></div><div>DIMMER SWITCH</div></div><div><div><div><div></div><div></div></div><div>3-WAY SWITCH</div></div><div><div><div><div></div><div></div></div><div>DOOR TAG</div></div><div><div><div><div></div><div></div></div><div>CEILING HEIGHT TAG</div></div><div><div><div><div></div><div></div></div><div>ELEVATION</div></div><div><div><div><div></div><div></div></div><div>FIXTURE TAG, P-PLUMBING, E-EQUIPMENT</div></div><div><div><div><div></div><div></div></div><div>DRAWING REVISION TAG</div></div><div><div><div><div></div><div></div></div><div>DETAIL KEY</div></div><div><div><div><div></div><div></div></div><div>INTERIOR ELEVATION KEY</div></div><div><div><div><div></div><div></div></div><div>SECTION/ELEVATION KEY</div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div></div> </							

TOPOGRAPHICAL
LAND SURVEY

OF THE LANDS DESCRIBED IN THAT
CERTAIN QUIT CLAIM DEED DOC. NO. 94-F714109-00
2785 DIAMOND STREET, SAN FRANCISCO, CA
ASSESSORS PARCEL VOL. 40, BLOCK 6742, LOT 27A
CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA
OCTOBER 2016

CONSISTING OF ONE SHEET

American Baseline Company
897 Northrup Street, Ste 7, San Jose, CA 95126
408/394-9281, americanbaseline.com



LEGEND

	PROPERTY LINE
	OVERHEAD UTILITY LINE
	SANITARY SEWER LINE
	STORM SEWER LINE
	WOOD FENCE
	AREA DRAIN
	ASSESSOR'S PARCEL NUMBER
	ASPHALT
	CATCH BASIN
	CLEANOUT
	CONCRETE
	DRIVEWAY
	ELECTRIC BOX
	ELECTRIC METER
	EDGE OF PAVEMENT
	FINISHED FLOOR
	FIRE HYDRANT
	GROUND
	GUY ANCHOR
	GAS METER
	GAS VALVE
	IRRIGATION VALVE
	JOINT POLE
	MAIL BOX
	STORM DRAIN MANHOLE
	SANITARY SEWER CLEANOUT
	SANITARY SEWER MANHOLE
	STREET LIGHT
	TREE
	WATER METER
	WATER VALVE
	WOOD POST

NOTES:

1. SITE: 2783K DIAMOND STREET, SAN FRANCISCO, CA 94131
2. OWNER: TROY KASHANIPOUR
2325 THIRD STREET, STE. 401, SAN FRANCISCO CA, 94107
3. ARCHITECT: TROY KASHANIPOUR ARCHITECTURE, 415/431-0869
4. APN: 6742-027A
5. TOTAL ACREAGE: 849.38 SQ. FT., 0.019 AC.
6. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
THE UTILITIES SHOWN ON THIS MAP ARE DERIVED FROM RECORD DATA AND/OR SURFACE OBSERVATION AND ARE APPROXIMATE ONLY. ACTUAL LOCATION AND SIZE, TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS MAP, SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR DURING CONSTRUCTION. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. ALL DECKS ARE WOOD, ALL WALLS ARE WOOD, ALL FENCES ARE WOOD AND ALL STEPS ARE CONCRETE UNLESS OTHERWISE NOTED.
7. ALL TREE DIMENSIONS ARE THE DIAMETER AT 46" ABOVE GRADE. SPECIES OF TREES TO BE DETERMINED/VERIFIED BY AN ARBORIST.
8. A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY AMERICAN BASELINE COMPANY. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
9. BSBL TO BE DETERMINED/VERIFIED BY THE CITY OF SAN FRANCISCO.
10. THIS DRAWING REPRESENTS A TOPOGRAPHIC SURVEY PREPARED IN CONFORMANCE WITH THE PROFESSION OF LAND SURVEYING.

BUILDING
ROOF-PEAK=218.0
GAR.FF=188.05
FF=191.0

BUILDING
ROOF-PEAK=217.40
GAR.FF=184.45
FF=185.80

BOUNDARY NOTE:

1. PURSUANT TO THE PROFESSIONAL LAND SURVEYOR'S ACT, A RECORD OF SURVEY HAS BEEN FILED WITH THE COUNTY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS AND IS CURRENTLY UNDER REVIEW. UPON RECORDATION WITH THE COUNTY CLERK'S OFFICE, THIS MAP WILL BE REVISED WITH THE RECORD REFERENCE AND REPUBLISHED. THE BOUNDARY SHOWN HEREON IS BASED ON SAID RECORD OF SURVEY.

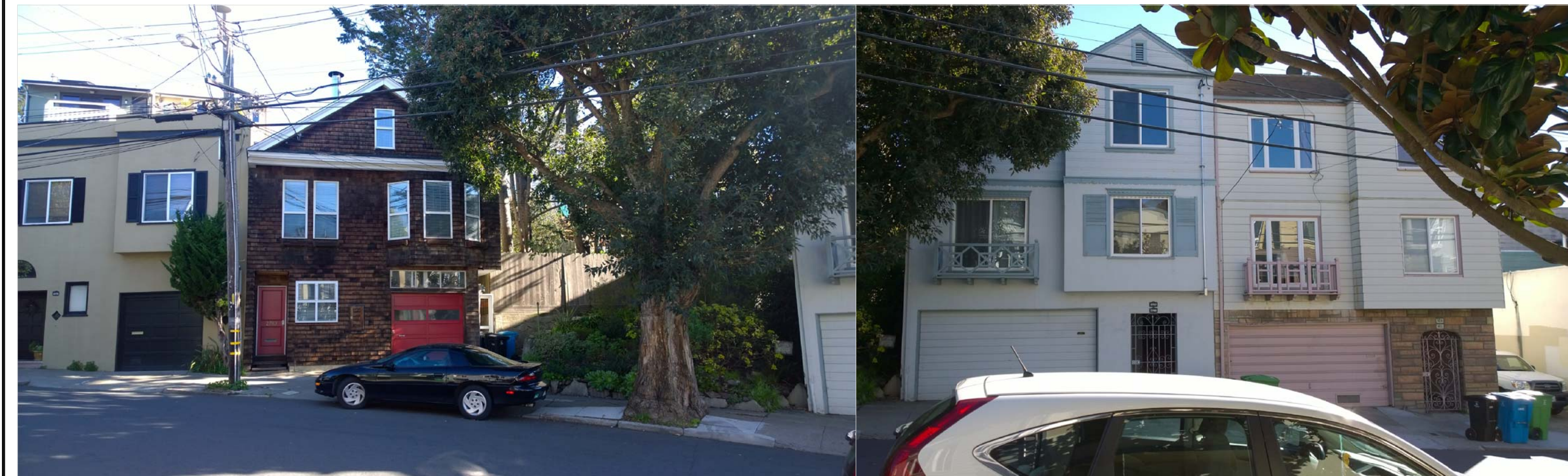
SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A TOPOGRAPHICAL SURVEY MADE BY ME OR BY RESPONSIBLE CHARGES UNDER MY DIRECTION IN CONFORMANCE WITH THE PROFESSION OF LAND SURVEYING AT THE REQUEST OF TROY KASHANIPOUR ARCHITECTURE IN OCTOBER 2015.

JOHN MARSAU, L.S. 6378
EXP. DATE: DECEMBER 31, 2017



2783 DIAMOND
4 VIEW OF HOUSES FRONTING SURRY, NORTH OF SUBJECT PROPERTY
SCALE: NTS



3 DIAMOND STREET LOOKING EAST (2783K AT CENTER)
SCALE: NTS



2 DIAMOND STREET LOOKING WEST (OPPOSITE OF SUBJECT PROPERTY)
SCALE: NTS



1 SITE FROM 12TH STREET LOOKING SOUTH-EAST
SCALE: NTS

TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 401, SF, CA 94107. PHONE/FAX 415.431.0869

2783K DIAMOND STREET

OWNER:
TROY KASHANIPOUR
2325 3RD STREET, SUITE 401
SAN FRANCISCO, CA 94110
PHONE: 415.431.0869
TK@TKWORKSHOP.COM

ISSUE:
ISSUED FOR PERMIT

DATE:
04.11.16

CONSULTANT

APPROVAL

DRAWN:
TK

CHECKED:
TK

SCALE:
NONE

SITE PHOTOGRAPHS

A0.1A



6 VIEW OF REAR OF 2785-77
SCALE: NTS



5 SIDEWALK @ 2783
SCALE: NTS



4 VIEW OF SITE
SCALE: NTS



3 VIEW OF EXISTING CURB CUT FROM SITE
SCALE: NTS



2 DIAMOND STREET LOOKING WEST (OPPOSITE OF SUBJECT PROPERTY)
SCALE: NTS



1 VIEWS FROM DIAMOND STREET
SCALE: NTS



TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 401, SF CA 94107. PHONE/FAX 415.431.0869

2783K DIAMOND STREET

OWNER:
TROY KASHANIPOUR
2325 3RD STREET, SUITE 401
SAN FRANCISCO, CA 94110
PHONE: 415.431.0869
TK@TKWORKSHOP.COM

ISSUE:
ISSUED FOR PERMIT

DATE:
04.11.16

CONSULTANT

APPROVAL

DRAWN:
TK

CHECKED:
TK

SCALE:
NONE

SITE PHOTOGRAPHS

A0.1B

City and County of San Francisco Green Building Submittal: LEED Projects

LEED Scorecard

Note: LEED for New Construction and Major Renovation Scorecard shown below. For projects using other LEED Rating Systems (such as Core & Shell, Commercial Interiors, or Homes Mid-Rise) to comply with San Francisco Green Building Requirements, replace this checklist with the LEED Checklist that applies to your project type.

Y T Is				Sustainable Sites		26	Points
Y				Item 1	Construction Activity Pollution Prevention	Required	
1				Item 1.1	Site Selection	1	
5				Item 2	Developed Density & Community Connectivity	5	
0				Item 3	Brownfield Redevelopment	1	
0				Item 4.2	Alternative Transportation, Public Transportation Access	6	
1				Item 4.2	Alternative Transportation, Bicycle Storage & Changing Rooms	1	
4				Item 4.3	Alternative Transportation, Low-Emitting & Fuel-Efficient Vehicles	3	
2				Item 4.4	Alternative Transportation, Parking Capacity	2	
1				Item 5.1	Site Development, Protect or Restore Habitat	1	
1				Item 5.2	Site Development, Maximize Open Space	1	
1				Item 6.1	Stormwater Design, Quantity Control	1	
1				Item 6.2	Stormwater Design, Quality Control	1	
1				Item 7.1	Heat Island Effect, Non-Road	1	
1				Item 7.2	Heat Island Effect, Road	1	
1				Item 8	Light Pollution Reduction	1	
4				Water Efficiency		10	Points
2				Item 1	Water Use Reductions, 20% Reduction	Required	
1				Item 1.1	Water Efficient Landscaping, Reduce by 50%	1	
2				Item 1.2	Water Efficient Landscaping, No Potable Use or No Irrigation	2	
1				Item 3.1	Innovative Wastewater Technologies	2	
1				Item 3.2	Water Use Reductions, 30% Reduction	2	
1				Item 3.2	Water Use Reductions, 40% Reduction	2	
16				Energy & Atmosphere		35	Points
Y				Item 1	Fundamental Commissioning of the Building Energy Systems	Required	
1				Item 2	Minimum Energy Performance: 60% New Buildings or 5% Existing High-Rise Buildings	Required	
7				Item 1	Fundamental Energy Management	7	
				Item 1	Optimize Energy Performance	1 to 10	
					12% New Buildings or 8% Existing Building Renovations	1	
					10% New Buildings or 12% Existing Building Renovations	3	
					20% New Buildings or 10% Existing Building Renovations	5	
					24% New Buildings or 20% Existing Building Renovations	7	
					24.1% New Buildings or 20% Existing Building Renovations	9	
					30% New Buildings or 26% Existing Building Renovations	11	
					35% New Buildings or 32% Existing Building Renovations	13	
					40% New Buildings or 36% Existing Building Renovations	15	
					44% New Buildings or 40% Existing Building Renovations	17	
					46% New Buildings or 44% Existing Building Renovations	19	
				Item 2	On-Site Renewable Energy	1 to 7	
					1% Renewable Energy	1	
					5% Renewable Energy	3	
					10% Renewable Energy	5	
					13% Renewable Energy	7	
				Item 3	Enhanced Commissioning	2	
				Item 4	Enhanced Refrigerant Management	2	
				Item 5	Measurement & Verification	3	
				Item 6	Green Power	2	
Y				Item 1	Storage & Collection of Regenerables	Required	
1				Item 1.1	Building Resuse, Maintain 75% of Existing Walls, Floors & Roof	2	
1				Item 1.2	Building Resuse, Maintain 80% of Existing Walls, Floors & Roof	1	
1				Item 2.1	Building Resuse, Maintain 10% of Interior Non-Structural Elements	1	
1				Item 2.2	Construction Waste Management, Divert 50% from Disposal	1	
1				Item 2.2	Construction Waste Management, Divert 75% from Disposal	1	
1				Item 3.1	Materials Reuse, 5%	1	
1				Item 3.2	Materials Reuse, 10%	1	
1				Item 4.1	Recycled Content, 10% (post-consumer + % pre-consumer)	1	
1				Item 4.2	Recycled Content, 20% (post-consumer + % pre-consumer)	1	
1				Item 5.1	Regional Materials, 10% Extracted, Processed & Manufactured Regionally	1	
1				Item 5.2	Regional Materials, 20% Extracted, Processed & Manufactured Regionally	1	
1				Item 6	Rapidly Renewable Materials	1	
1				Item 7	Certified Wood	1	
11				Indoor Environmental Quality		15	Points
Y				Item 1	Minimum IAQ Performance	Required	
1				Item 2	Environmental Tobacco Smoke (ETS) Control	Required	
1				Item 3	Outdoor Air Delivery Monitoring	1	
1				Item 3.2	Increased Ventilation	1	
1				Item 4	Construction IAQ Management Plan, Before Construction	1	
1				Item 4.1	Construction IAQ Management Plan, During Occupancy	1	
1				Item 4.1	Low-Emitting Materials, Adhesives & Sealants	1	
1				Item 4.2	Low-Emitting Materials, Paints & Coatings	1	
1				Item 4.3	Low-Emitting Materials, Floorcoverings	1	
1				Item 4.4	Low-Emitting Materials, Composite Wood & Agrifiber Products	1	
1				Item 5	Indoor Chemical & Pollutant Source Control	1	
1				Item 6.1	Controllability of Systems, Lighting	1	
1				Item 6.2	Controllability of Systems, Thermal Comfort	1	
1				Item 7.1	Thermal Comfort, Design	1	
1				Item 7.2	Thermal Comfort, Verification	1	
1				Item 8.1	Daylight & Views, Daylight 75% of Spaces	1	
1				Item 8.2	Daylight & Views, Views for 90% of Spaces	1	
1				Innovation & Design Process		6	Points
1				Item 1.1	Innovation in Design: Provide Specific Title	1	
1				Item 1.2	Innovation in Design: Provide Specific Title	1	
1				Item 1.3	Innovation in Design: Provide Specific Title	1	
1				Item 1.4	Innovation in Design: Provide Specific Title	1	
1				Item 1.5	Innovation in Design: Provide Specific Title	1	
1				Item 2	LEED Accredited Professional	1	
1				Regional Bonus Credits		4	Points
1				Item 1.1	Region Specific Environmental Priority: Region Defined	1	
1				Item 1.2	Region Specific Environmental Priority: Region Defined	1	
1				Item 1.3	Region Specific Environmental Priority: Region Defined	1	
1				Item 1.4	Region Specific Environmental Priority: Region Defined	1	
50	Y	T	Is	Project Totals (Certification Estimates)		110	Points
				Certified: 14, 14 points; Silver: 69, 69 points; Gold: 80, 80 points; Platinum: 84, 84 points			

REQUIREMENTS

Instructions:
Select the column below that corresponds to your project type. Fill in the blank lines to show that the number of points identified on your LEED checklist meets or exceeds the required number. Each measure indicated by an "*" or code reference is mandatory. For each applicable requirement, use the "Reference" column to indicate where in the submittal documents compliance with the requirement can be confirmed. (If items in the "Reference" column are not applicable, indicate "N/A.")

All LEED prerequisites are required. For reference, a brief summary is included for local requirements where a LEED credit is not required

Summary of Green Building Requirements:	New Large Commercial	New Low-Rise Residential	New High-Rise Residential	Large First Time Commercial Interior	Commercial Major Alteration	Residential Major Alteration	
LEED certification level (includes prerequisites):	GOLD	SILVER	SILVER	GOLD	GOLD	GOLD	
Base number of required Points:	60	50	50	60	60	60	
Adjustment for retention / demolition of historic features / building:	_____	_____	_____	n/a	_____	_____	
Final number of required Points (base number +/- adjustment)	_____	_____	_____	n/a	_____	_____	
Number of Points on LEED Checklist (Must be greater than requirement):	_____	_____	_____	_____	_____	_____	
Specific Local Requirements: LEED (n/r indicates a measure is not required)	New Large Commercial	New Low-Rise Residential	New High-Rise Residential	Large First Time Commercial Interior	Commercial Major Alteration	Residential Major Alteration	Reference (Indicate Plan Set Sheet & Detail, or Specification, where applicable)
Construction Waste Management – 75% Diversion AND comply with San Francisco Construction & Demolition Debris Ordinance (LEED MR c2, 2 points)	●	Meet C&D ordinance only	●	●	Meet C&D ordinance only	●	Must meet San Francisco C&D ordinance -Green sheet-1
Energy Reduction Compared to Title-24 Part 6 (2013) or ASHRAE 90.1-2007 (LEED EA p2 and EA c1)	Meet LEED prerequisite	Meet GPR or LEED prerequisite		Meet LEED prerequisite			Title 24 Report part 6= 16.4% better than standard
Enhanced Commissioning of Building Energy Systems LEED EA c3	●	n/r		Meet LEED prerequisite			N/A
Renewable Energy or Enhanced Energy Efficiency – Effective 1/1/2012: Generate renewable energy on-site ≥1% of total annual energy cost (LEED EA c2), OR Demonstrate 10% energy use reduction compared to Title 24 Part 6 (2013), OR Purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA c8)		n/r	n/r	n/r	n/r	n/r	
Indoor Water Use -30% Reduction LEED WE c3, 2 points	●	Meet LEED prerequisite	●	Meet LEED prerequisite			Table-Maximum Fixtures Water Use -Green sheet-1
Water Efficient Irrigation: Projects that include ≥ 1,000 square feet of new or modified landscape must comply with the San Francisco Water Efficient Irrigation Ordinance. May meet LEED WE c1	●	●	●	May apply if project includes landscapes			N/A
Construction Site Runoff Pollution Prevention: Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices. LEED SS prerequisite 1	●	●	●	May apply if project extends beyond building envelope			Water shall be filtered by use of a barrier system, wattle or other method approved by SFPUC -Green sheet-1
Enhanced Refrigerant Management LEED EA c4	●	n/r	n/r	●	●	n/r	
Indoor Air Quality Management Plan LEED IEQ c3.1	●	CalGreen 4.504.1	CalGreen 4.504.1	CalGreen 4.504.3	CalGreen 4.504.3	CalGreen 4.504.1	Coving of Duct Openings -Green sheet-1
Low-Emitting Adhesives & Sealants LEED IEQ c4.1	●	CalGreen 4.504.2.1	CalGreen 4.504.2.1	●	●	●	Finish Materials-Adhesives, Sealants, Caulks-Table 4.501.1 -Green sheet-1
Low-Emitting Paints and Coatings LEED IEQ c4.2	●	CalGreen 4.504.2.2	CalGreen 4.504.2.2	●	●	●	Table 4.504.3 -VOC Limits for Architectural Coatings -Green sheet-1
Low-Emitting Flooring Systems LEED IEQ c4.3	●	CalGreen 4.504.3 and 4.504.4	CalGreen 4.504.3 and 4.504.4	●	●	●	Carpet and Resilient Flooring System-Table 4.504.1 -Green sheet-1
Low-Emitting Composite Wood and Agrifiber Products LEED IEQ c4.4	●	CalGreen 4.504.5	CalGreen 4.504.5	●	●	●	Table 4.504.5 -Formaldehyde Limits -Green sheet-1
Recycling by Occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. Exceeds requirements of LEED MR prerequisite 1. See Administrative Bulletin 088 for details.	●	●	●	●	●	●	Recycling Collection in the Garage
Specific Local Requirements: Other	New Large Commercial	New Low-Rise Residential	New High-Rise Residential	Large First Time Commercial Interior	Commercial Major Alteration	Residential Major Alteration	Reference (Indicate Plan Set Sheet & Detail, or Specification, where applicable)
Stormwater Control Plan - Projects disturbing ≥ 5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines.	●	●	●	May apply if project extends beyond building envelope			N/A
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater. May meet LEED credit SS c4.2.	●	See San Francisco Planning Code 155		●	●	See San Francisco Planning Code 155	N/A
Designated parking: Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles.	●			●	●		N/A
Light pollution reduction: CMeet California Energy Code minimum for Lighting Zones 1-4 with Backlight/Uplight/Glare ratings meeting CalGreen Table 5.106.8.	●	n/r	n/r	●	●	n/r	
Water Meters: Provide submeters for spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in building over 50,000 sq. ft.	●	n/r	n/r	n/r	CalGreen 5.712.3 ¹	n/r	
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings. LEED credit IEQ c5 is stricter.	●	n/r	n/r	●	n/r	n/r	
Air Filtration: Provide MERV-13 filters in residential buildings in air-quality hot-spots. (SF Health Code Article 38 and SF Building Code 1203.5) May meet LEED credit IEQ c5	n/r	●	●	n/r	n/r	n/r	MERV-13
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, patio walls and floor-ceilings STC 40.	●	see note 2		●	CalGreen 5.714.7 ¹	n/r	N/A

Notes:

1) New residential projects of 4 occupied floors or greater must use the "New Residential High-Rise" column. New residential projects which choose to apply the LEED for Homes Mid-Rise rating system must use the "New Residential High-Rise" column. The number of points required to achieve Silver depends on unit size, see LEED for Homes Mid-Rise Rating System to confirm the base number of points required.

2) Residential buildings must meet acoustical requirements of California Building Code Section 1207

3) CalGreen requirements began to apply to permit applications for non-residential additions and alterations received on or after July 1, 2012. This form is updated to reflect all changes effective July 1, 2014.

VERIFICATION

Instructions:
Please indicate how fulfillment of green building requirements will be verified.
A separate **"FINAL COMPLIANCE VERIFICATION"** form will be required prior to final
Certificate of Completion. For details, see Administrative Bulletin 93.

Project Name	New Construction
--------------	------------------

6742/27A

Block/Lot

287CK DIAMOND STREET

Address 2783K Diamond Street,
San Francisco, CA

Primary Occupancy	Single Family
-------------------	---------------

2,027 SQFT

Gross Building Area

1796sq.ft. Conditioned and 291 Unconditioned

Option 1:

Verification of compliance for this project will be provided via USGBC/GBCI certification under the LEED Rating system. No Green Building Compliance Professional of Record is required.

04/11/2016

Permit Applicant – Sign & Date **Jam Hezar LEED-AP**

OR #10364040

Option 2:

Verification of compliance will be provided by the Green Building Compliance Professional of Record:

Name _____

Firm

Architectural or Engineering License

☐ I am a LEED Accredited Professional
of Certified LEED Projects Completed:

To the best of my knowledge, it is my professional opinion the green building requirements of the City of San Francisco will be met for the above referenced project. I have been retained by the project sponsor to review all submittal documents and assure that approved construction documents and construction properly reflect the requirements of the San Francisco Green Building Code. I will notify the Department of Building Inspection if I believe to the best of my knowledge that the project will, for any reason, not substantially comply with these green building requirements, or if I am no longer the Green Building Compliance Professional of Record for this project.

Licensed Professional: Sign & Date

Affix professional stamp:

Attachment C-3: Submittal for LEED Projects

Version: July1, 2014

**New Construction-
2783K DIAMOND STREET
SAN FRANCISCO , CA**

OWNER:
TROY KASHANIPOUR
2325 3RD STREET, SUITE 401
SAN FRANCISCO, CA 94110
PHONE: 415.431.0869
TK@TKWORKSHOP.COM

ISSUE:	DATE:
ISSUED FOR PERMIT	04.11.16

CONSULTANT

APPROVAL

DRAWN:	TK
CHECKED:	TK
SCALE:	1/4"=1'-0"

GREEN BUILDING PERMIT CHECKLIST

A0.2

ISSUE:	DATE
PRE-APPLICATION MEETING	12.16.15
ISSUED FOR PERMIT	04.11.16
RTD COMMENTS	08.01.16

APPROVAL _____

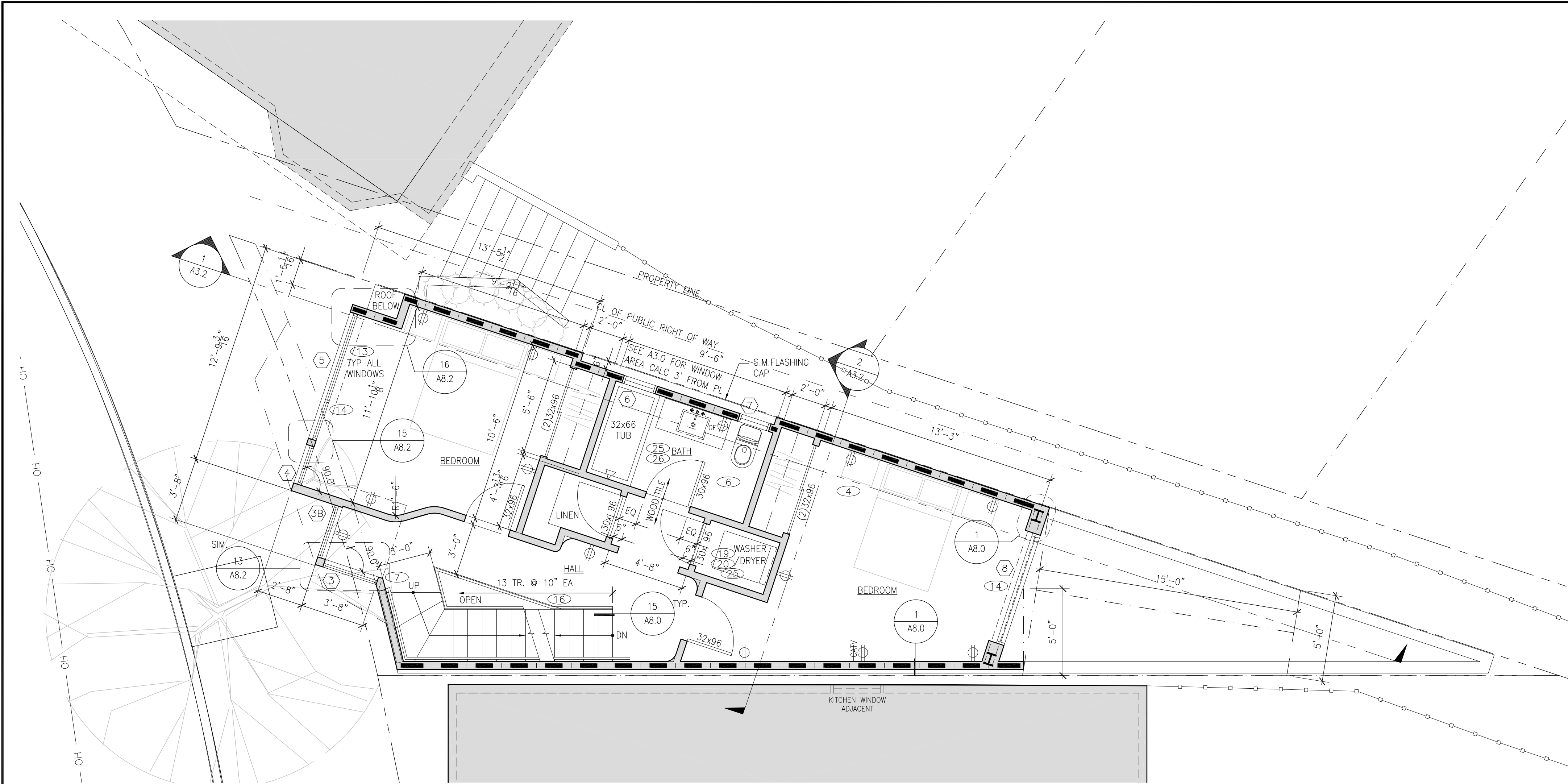
DRAWN: TK

CHECKED: TK

SCALE: 1/4" = 1'-0"

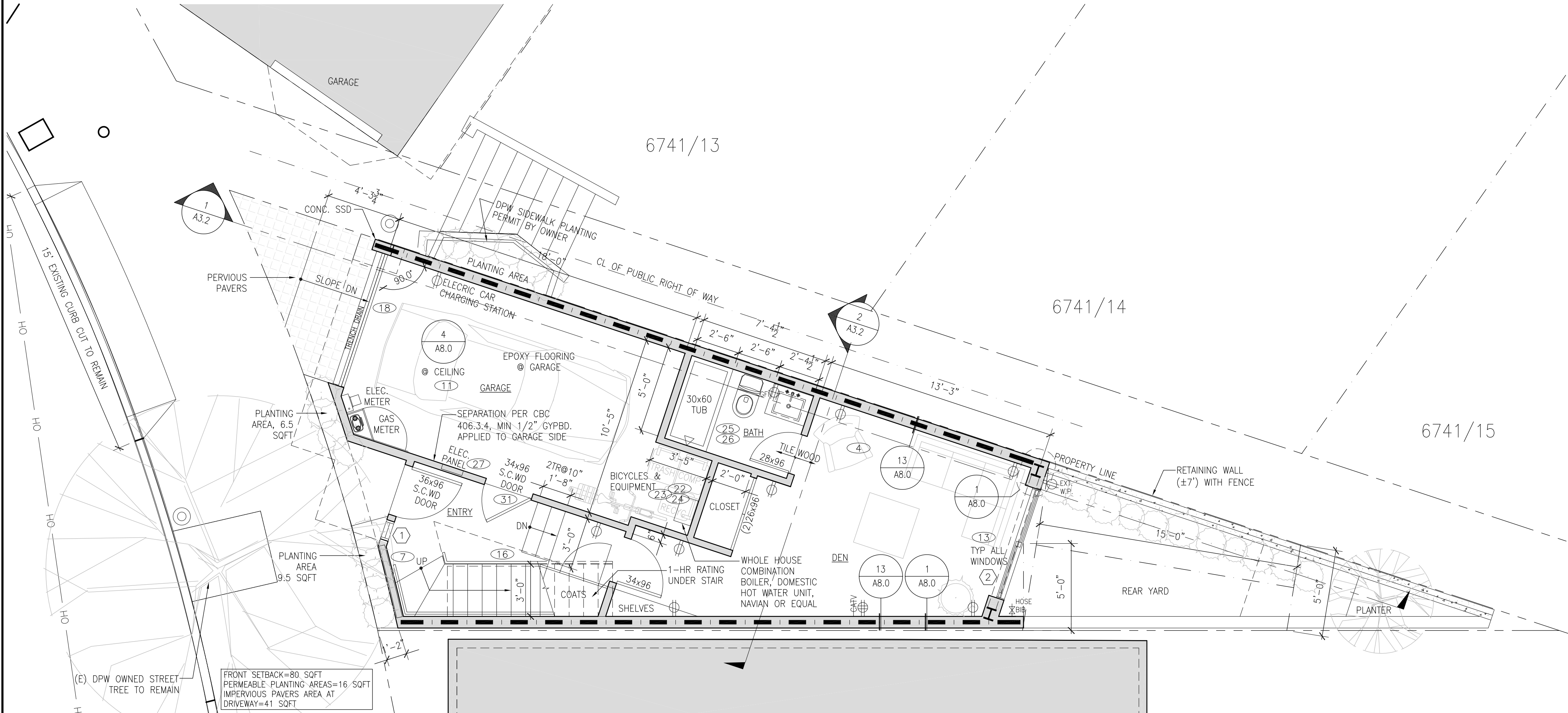
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2 PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN

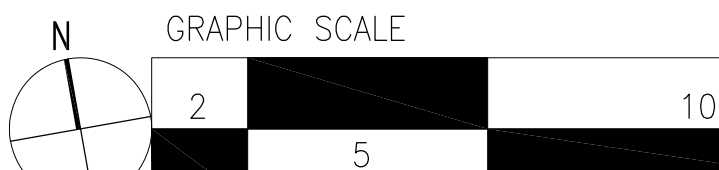
SCALE: 1/4" = 1'-0"

KEYNOTES:

- (1) (N) KITCHEN CABINETRY, TO BE SELECTED BY OWNER. COORDINATE CABINETRY SUBMITTAL WITH ALL ELECTRICAL AND PLUMBING WORK.
 - (2) PROVIDE SOLID BACKING FOR ALL WALL MOUNTED FIXTURES, CABINETRY AND APPLIANCES. G.C. TO COORDINATE LOCATION.
 - (3) SMOOTH FINISH AT ALL GYPBOARD WALL AND SOFFIT TYPICAL. FINISH TO MATCH #5 FINISH, NO ORANGE PEEL, NO TEXTURE. TYP ALL FINISHES.
 - (4) PROVIDE R-13 INSULATION AT 2x4 FRAMED WALLS, R-19 INSULATION AT GARAGE SOFFIT, R-38 INSULATION AT ROOF, R-10 AT NORTH CONC FOUNDATION WALLS OR MINIMUM AS DESCRIBED IN 24 ENERGY CALCULATIONS SEE A0.3A&B.
 - (6) PROVIDE MOISTURE RESISTANT GYP BOARD AT BATHROOM WALLS AND SOFFIT, PRIMED AND PAINTED PER OWNER SELECTION.
 - (7) HANDRAIL GRASPABILITY: RECTANGULAR WITH PERIMETER DIMENSION OF 4" MIN. AND NOT GREATER THAN 6.25" WITH MAXIMUM DIMENSION OF 2.25" PER CBC 1012.3. CONTINUITY PER 1021.4. HANDRAIL CONTINUITY PER 1012.4, HEIGHT 34"-38" ABOVE STAIR NOSING. 1.5" SPACING FROM WALL.
 - (8) 42" PARAPET/GUARDRAIL AT DECKS, TYPICAL. COMPLY WITH CBC 1013.4 GUARDS SHALL NOT ALLOW THE PASSAGE OF AT 4" SPHERE AND 4 3/8" ABOVE 36"
 - (9) PROVIDE (N) WATERPROOFING MEMBRANE. SLOPE 1/4" PER FOOT. PROVIDE SUBMITTAL OF MANUFACTURE'S DATA AND TYPICAL INSTALLATION DETAIL FOR OWNER/DEVELOPER REVIEW AND APPROVAL PRIOR TO INSTALLATION.
 - (10) PROVIDE (N) ROOF DRAIN AND OVERFLOW. OVERFLOW TO BE 2" HIGHER THAN ROOF DRAIN. SEE 14/A8.1.
 - (11) AT GARAGE CEILING: PROVIDE 5/8" TYPE "X" GYPSUM WALLBOARD NAILED TO JOISTS WITH 5d COOLER OR WALLBOARD NAILS AT 6" ON CENTER. END JOINTS OF WALLBOARD CENTERED ON JOISTS.
 - (12) PROVIDE TEMPERED GLASS SHOWER ENCLOSURE WITH STAINLESS STEEL CLIPS. GLAZING SHALL MEET REQUIREMENTS OF CBC CHAPTER 24. IDENTIFICATION PER 2403.1 & 2406.3 HAZARDOUS LOCATIONS.
 - (13) (N) WINDOW. MINIMUM U-VALUE PER TITLE 24 REQUIREMENTS U-VALUE MAX=0.32 AND S.H.G.C. = .50 MAX.
 - (14) WINDOW TO MEET REQUIREMENTS FOR RESCUE WINDOW: 20" CLEAR WIDTH, 24" CLEAR HEIGHT, 5.7 SQ. FT. MIN. 44" A.F.F.
 - (15) TEMPERED GLASS SKYLIGHT, 6" MIN. CURB ABOVE ADJACENT ROOF SURFACE. INSTALL PER MFG'S RECOMMENDATION.
 - (16) PROVIDE SHOP DRAWINGS FOR ARCHITECT & ENGINEER REVIEW FOR ALL METAL FABRICATIONS. INCLUDE ATTACHMENTS BACK TO STRUCTURE. RAILINGS AND GUARDRAILS INCLUDING ATTACHMENTS TO MEET REQUIREMENTS OF CBC 1607.8.1, 1607.8.1.1, 1607.8.1.2
 - (17) PROVIDE FLEXIBLE VINYL SHOWER PAN LINER FOR SHOWER STALL. TILE PER TILE COUNCIL OF NORTH AMERICA RECOMMENDED ASSEMBLY AND T.C.N.A. STANDARDS.
 - (18) PROVIDE SCREENED VENT AT GARAGE DOOR OR OTHER GARAGE LOCATION TO EXTERIOR, MIN. 200 SQ.IN PER SFBC 3125.
 - (19) PROVIDE MIN. 100 SQ. INCH MAKE-UP AIR GRILL OR LOUVERED TYPE DOOR AT LAUNDRY CLOSET DOOR TO SERVE DRYER OR PER CMC 504.3.2.
 - (20) (N) WASHER/DRYER. A DEDICATED 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET. 2007 CEC ARTICLES 210.11(C)(2) & 210.52(F). PROVIDE UTILITY CONNECTION BOX WITH 2-125V AND 1-250V OUTLETS. PROVIDE EXHAUST VENTILATION PER TABLE 4-4 AND MAKEUP AIR AS NEEDED. DRYER MOISTURE EXHAUST TO MEET REQUIREMENTS OF: CMC 504.3.1 AND 4" Ø DUCT PER CMC 504.3.2. DRYER DUCTS PER CMC 504.3.2 AND 504.3.2.2. TERMINATION 3' FROM ANY OPENING OR PL PER CMC 504.5.
 - (21) DOMESTIC RANGE AND COOK TOP UNIT INSTALLATION PER MFGOR'S INSTRUCTIONS AND VENT SHALL PER PER CMC 504.2.
 - (22) (N) HYDRONIC HEAT EQUIPMENT. DESIGN BUILD-ITEM BY G.C. AS SUBCONTRACTOR. HYDRONIC HEAT SYSTEM TO MEET REQUIREMENTS ALL APPLICABLE CODES INCLUDING:
CEC 150(J)2: PIPING FOR HYDRONIC HEATING SYSTEM SHALL MEET REQUIREMENTS OF TABLE 123-A.
CMC CHAPTER 12 FOR METALS, PB, PEX, PEX-AL-PEX PIPE, TUBES, FITTINGS, CONNECTIONS, INSULATION, SUPPORTS, AND PROTECTION DETAILS.
CEC (RESIDENTIAL MANUAL) 4.6.1-2 REQUIREMENTS FOR HEAT EXCHANGER ON CLOSED LOOP SYSTEM. WH EFFICIENCY AS LISTED.
 - (23) DIRECT VENT EQUIPMENT SHALL BE VENTED WITH THE TERMS OF THE LISTING AND THE MANUFACTURER'S INSTRUCTIONS AND SHALL COMPLY WITH CBC 802.2.5, 802.6.2(3) & 802.8.3. GAS VENT TERMINATION PER CMC 802.6.2(1)&(2). GAS VENT TERMINATION CAP PER CMC 802.6.2.5. GAS VENT SUPPORT PER MFGOR AND CMC 802.5.6 & 802.6.5.
 - (24) PROVIDE COMBUSTION AIR OPENING FROM OUTSIDE FOR FURNACES AND WATER HEATERS PER CMC 701.10(3), 701.10(6), CMC 701.10(7) AND ALL OTHER APPLICABLE CODES.
 - (25) TOILET, LAUNDRY, AND KITCHEN EXHAUST TERMINATION 3'-0" MINIMUM FROM PROPERTY LINES AND BUILDING OPENINGS PER CMC 504.5.
 - (26) EXHAUST FAN TO PROVIDE MIN. 5 AIR CHANGES PER HOUR AND PER REQUIREMENTS OF CMC 403.7 TABLE 4-4 AND SOURCE OF MAKE-UP AIR. MECHANICAL CONTRACTOR TO SIZE AND SUBMIT CUTSHEET FOR APPROVAL PRIOR TO INSTALLATION.
 - (27) AN ARC-FAULT CIRCUIT INTERRUPTER SHALL PROTECT ALL RECEPTACLES IN THE HABITABLE AREA WITH BRACH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE 15 AND 20-AMPERE RECEPTACLE OUTLETS. 2007 CEC SECTION 210-12(b). ARC FAULT CIRCUIT INTERRUPTER REQUIREMENTS:
 - THE BEDROOM BRANCH CIRCUIT(S) SHALL BE RUN SEPARATELY FROM ALL OTHER BRANCH CIRCUITS. THE RACEWAYS OR CABLE ASSEMBLIES SHALL NOT TERMINATE INTO ANY JUNCTION BOX (OTHER THAN THE PANEL BOARD) WHERE OTHER CIRCUIT CONDUCTORS ARE LOCATED.
 - THE BEDROOM BRANCH CIRCUIT CONDUCTORS SHALL BE PERMANENTLY IDENTIFIED AT THE POINT OF ENTRY TO THE PANEL BOARD.
 - THE AFCI BREAKER SHALL BE A LISTED AND APPROVED DEVICE. INSTALLED IN AN APPROVED PANEL BOARD IN ACCORDANCE WITH ITS LISTING.
 - OTHER OUTLETS WITHIN THE DWELLING UNIT MAY BE CONNECT TO THE AFCI PROTECTED BRANCH CIRCUIT; HOWEVER, THE SAME WIRING METHODS AS REQUIRED ABOVE FOR BEDROOMS SHALL BE USED.
 - (28) G.C. CONFIRM ELECTRIC & GAS METER REQUIREMENTS WITH PG&E STANDARDS. COORDINATE WITH ARCHITECT METER LOCATION AND MOUNTING DETAILS. PROVIDE CABINET FOR GAS METER AND VENTING AS REQ'D. SEE PG&E GREENBOOK FOR INSTALLATION STANDARDS.
 - (29) PROVIDE CA STATE FIRE MARSHALL APPROVED CARBON MONOXIDE ALARM OUTSIDE OF EACH SLEEPING AREA AND ON EACH LEVEL. ALARMS TO BE HARDWIRED WITH BATTERY BACKUP. COMBINED SMOKE/CARBON MONOXIDE ALARM.
 - (30) HARDWIRED SMOKE ALARM WITH BATTERY BACKUP. ALL NEW SMOKE ALARMS TO COMPLY WITH CBC SECTIONS: 907.2.10.1.2 FOR LOCATION, 907.2.10.2 TO BE HARD-WIRED WITH BATTERY BACKUP, 907.2.10.3 FOR INTERCONNECTION.
 - (31) PROVIDE SOLID CORE WOOD DOOR 1 3/8" MIN. THICKNESS OR PROVIDE DOOR WITH 20 MIN. FIRE PROTECTION RATING. PROVIDE CLOSER. DOOR TO BE SELF-LATCHING
- PROVIDE HOSE BIBS AT LOCATIONS AS SELECTED BY OWNER
- ALL PLUMBING, MECHANICAL, ELECTRICAL SYSTEMS TO BE DESIGN-BUILD BY SUBCONTRACTOR AND GENERAL CONTRACTOR. PROVIDE ALL MATERIALS FOR A CODE COMPLIANT INSTALLATION. SUBCONTRACTORS TO PROVIDE SUBMITTAL FOR OWNER REVIEW PRIOR TO INSTALLATION.
- TILE 24 RESIDENTIAL LIGHTING REQUIREMENTS:
- KITCHENS: AT LEAST 50% OF INSTALLED LUMINARIES WATTAGE MUST BE HIGH EFFICACY (HE) LIGHTING AND MUST BE SWITCHED SEPARATELY FROM NON HE LIGHTING
- BATHROOM, LAUNDRY ROOM, GARAGE, UTILITY ROOMS: ALL HIGH EFFICACY LUMINARIES OR COMPLY WITH THE EXCEPTION AS FOLLOWS:
PROVIDE A MANUAL-ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH CEC SECTION 119(d) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINARIES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LIGHT TO BE ALWAYS ON.
- OUTDOOR LIGHTING: ALL HIGH EFFICACY UNLESS LIGHTING IS CONTROLLED BY CERTIFIED MOTION SENSORS AND PHOTOCONTROL.
- COMMON AREAS (ENCLOSED NON DWELLING SPACES): ALL HIGH EFFICACY UNLESS CONTROLLED BY A CERTIFIED OCCUPANT SENSOR(S) - NOT REQUIRED TO BE MANUAL-ON.
- ALL OTHER ROOM (BEDROOMS, HALLWAYS, STAIRS, DINING ROOMS, ETC) SHALL BE ALL HIGH EFFICACY LUMINARIES OR COMPLY WITH THE EXCEPTIONS AS FOLLOWS:
1) PROVIDE DIMMER SWITCH.
2) PROVIDE MANUAL-ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH CEC SECTION 119(d) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINARIES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LIGHT TO BE ALWAYS ON FLUORESCENT OR CONTROL BY DIMMER SWITCH.
3) CLOSETS LESS THAN 70 SQUARE FEET ARE EXEMPT FROM LIGHTING REQUIREMENTS.
- RECESSED LUMINARIES IN INSULATED CEILINGS: MUST BE APPROVED FOR ZERO CLEARANCE INSULATION COVER AND MUST BE CERTIFIED AS AIR TIGHT.
- LIGHTING GENERAL NOTES:
G.C. AND ELECTRICAL SUBCONTRACTOR TO CONFIRM AND COORDINATE ALL TRANSFORMERS WITH FIXTURES SELECTION.
G.C. AND ELECTRICAL CONTRACTOR TO CONFIRM ANY ACCESS PANELS REQUIREMENTS.
PROVIDE SUBMITTAL FOR ARCHITECT AND OWNER REVIEW PRIOR TO PURCHASE OF FIXTURES.
WHERE DEVICES/SWITCHES ARE CLUSTERED, PROVIDE MULTI-GANG COVERS.
SWITCH MOUNTING HT = 48" TO CL A.F.F.
OUTLET/CATV/TELE MOUNTING HT = 15" TO CL A.F.F.
SEE SHEET A6.0 FOR LOCATIONS.
SEE SHEET A6.0 FOR LOCATIONS.

DRAWING LEGEND:

- EXISTING WALL OF ADJACENT STRUCTURE (GREY LINES)
- NEW WALL
- 1-HR RATED WALL



TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 401, SF CA 94107. PHONE/FAX 415.431.0869

2783K DIAMOND STREET

OWNER:
TROY KASHANIPOUR
2325 3RD STREET, SUITE 401
SAN FRANCISCO, CA 94110
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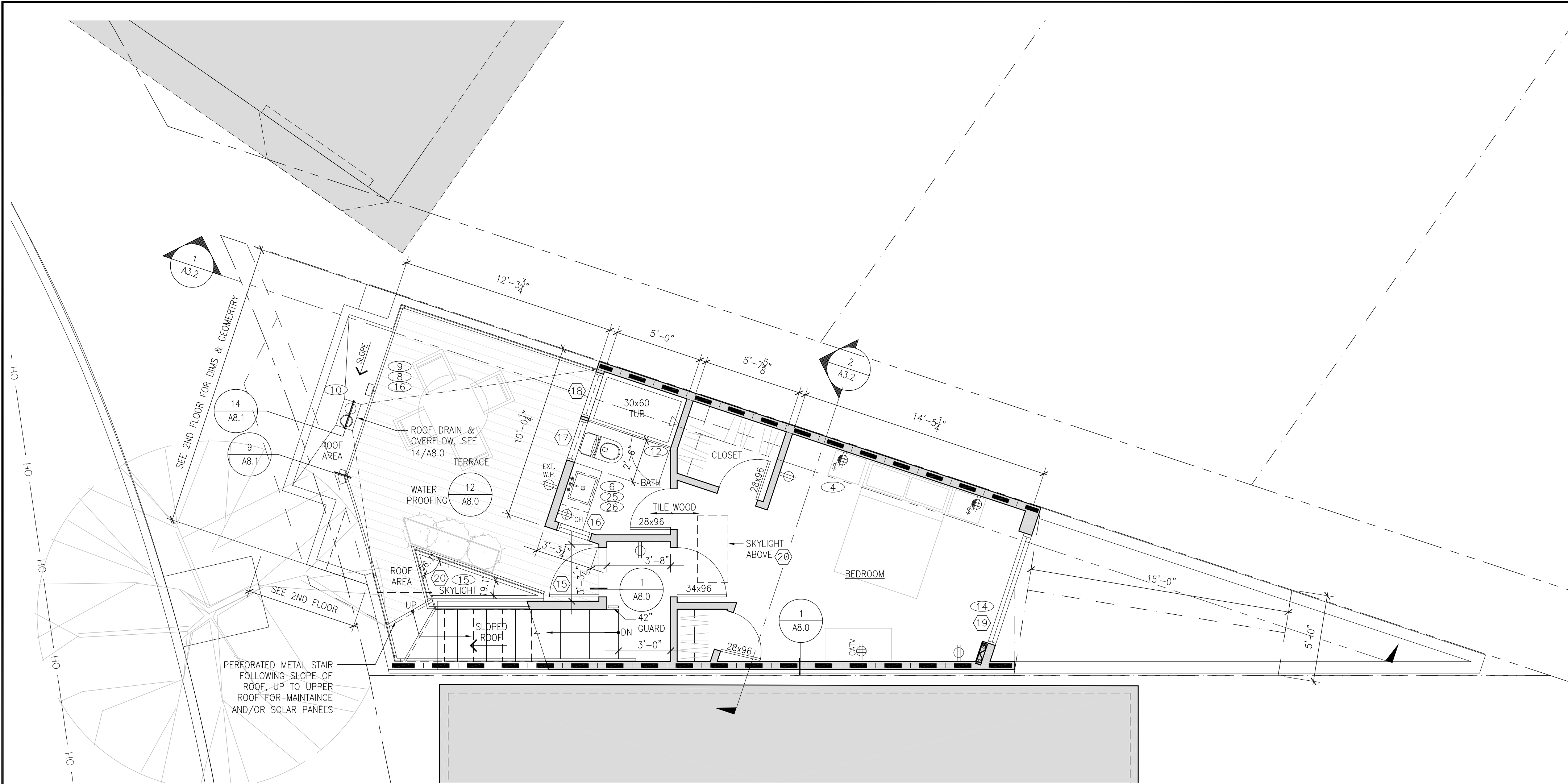
CONSULTANT

APPROVAL

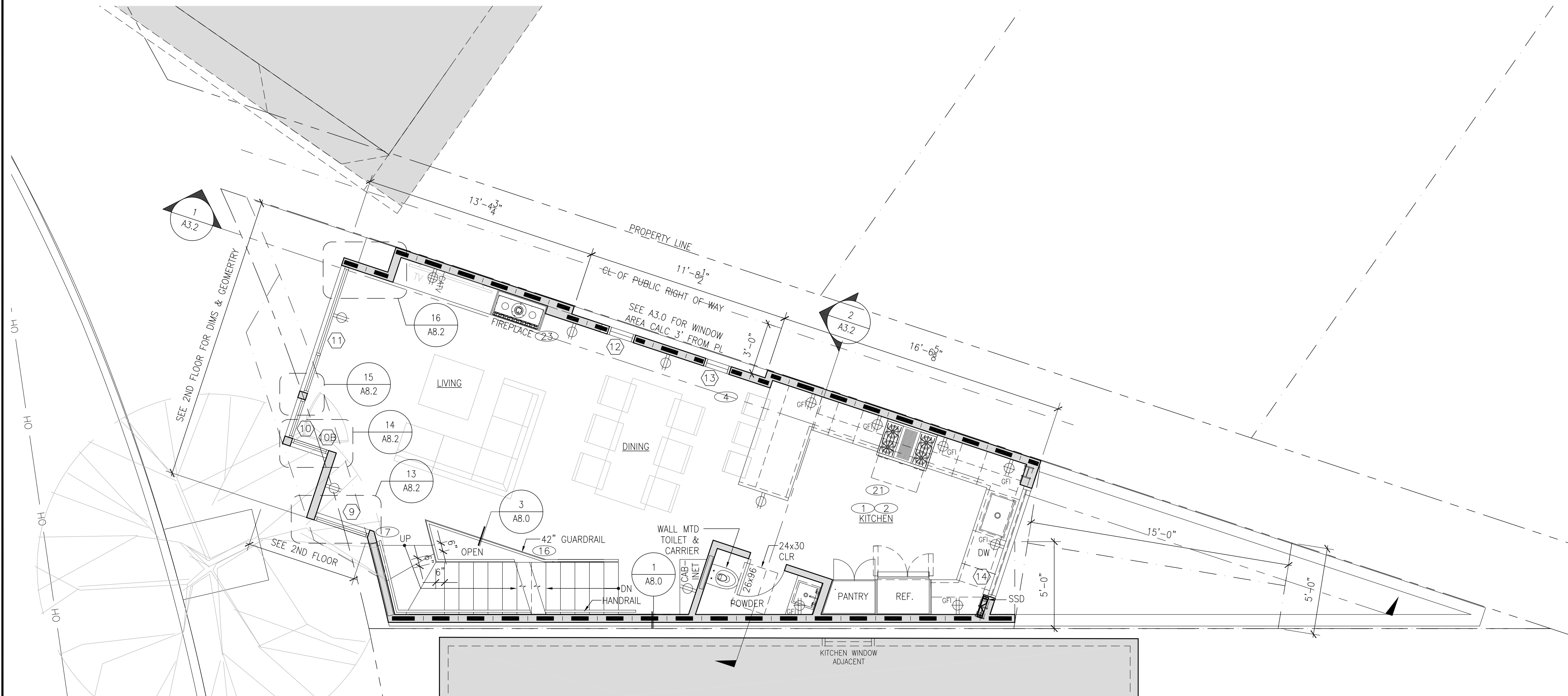
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PROPOSED FLOOR PLAN

A2.0



2 PROPOSED FOURTH FLOOR PLAN
SCALE: 1/4" = 1'-0"

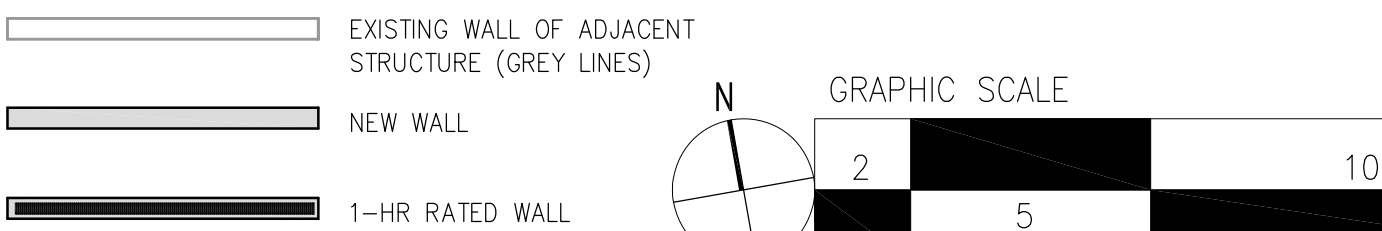


1 PROPOSED THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

KEYNOTES:

- (1) (N) KITCHEN CABINETRY, TO BE SELECTED BY OWNER. COORDINATE CABINETRY SUBMITTAL WITH ALL ELECTRICAL AND PLUMBING WORK.
 - (2) PROVIDE SOLID BACKING FOR ALL WALL MOUNTED FIXTURES, CABINETRY AND APPLIANCES. G.C. TO COORDINATE LOCATION.
 - (3) SMOOTH FINISH AT ALL GYPBOARD WALL AND SOFFIT TYPICAL. FINISH TO MATCH #5 FINISH, NO ORANGE PEEL, NO TEXTURE. TYP ALL FINISHES.
 - (4) PROVIDE R-13 INSULATION AT 2x4 FRAMED WALLS, R-19 INSULATION AT GARAGE SOFFIT, R-38 INSULATION AT ROOF, R-10 AT NORTH CONC FOUNDATION WALLS OR MINIMUM AS DESCRIBED IN 24 ENERGY CALCULATIONS SEE A0.3A&B.
 - (6) PROVIDE MOISTURE RESISTANT GYP BOARD AT BATHROOM WALLS AND SOFFIT, PRIMED AND PAINTED PER OWNER SELECTION.
 - (7) HANDRAIL GRASPABILITY: RECTANGULAR WITH PERIMETER DIMENSION OF 4" MIN. AND NOT GREATER THAN 6.25" WITH MAXIMUM DIMENSION OF 2.25" PER CBC 1012.3. CONTINUITY PER 1021.4. HANDRAIL CONTINUITY PER 1012.4, HEIGHT 34"-38" ABOVE STAIR NOSING. 1.5" SPACING FROM WALL.
 - (8) 42" PARAPET/GUARDRAIL AT DECKS, TYPICAL. COMPLY WITH CBC 1013.4 GUARDS SHALL NOT ALLOW THE PASSAGE OF AT 4" SPHERE AND 4 3/8" ABOVE 36"
 - (9) PROVIDE (N) WATERPROOFING MEMBRANE. SLOPE 1/4" PER FOOT. PROVIDE SUBMITTAL OF MANUFACTURE'S DATA AND TYPICAL INSTALLATION DETAIL FOR OWNER/DEVELOPER REVIEW AND APPROVAL PRIOR TO INSTALLATION.
 - (10) PROVIDE (N) ROOF DRAIN AND OVERFLOW. OVERFLOW TO BE 2" HIGHER THAN ROOF DRAIN. SEE 14/A8.1.
 - (11) AT GARAGE CEILING: PROVIDE 5/8" TYPE "X" GYPSUM WALLBOARD NAILED TO JOISTS WITH 5d COOLER OR WALLBOARD NAILS AT 6" ON CENTER. END JOINTS OF WALLBOARD CENTERED CENTERED ON JOISTS.
 - (12) PROVIDE TEMPERED GLASS SHOWER ENCLOSURE WITH STAINLESS STEEL CLIPS. GLAZING SHALL MEET REQUIREMENTS OF CBC CHAPTER 24. IDENTIFICATION PER 2403.1 & 2406.3 HAZARDOUS LOCATIONS.
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 - (14) WINDOW TO MEET REQUIREMENTS FOR RESCUE WINDOW: 20" CLEAR WIDTH, 24" CLEAR HEIGHT, 5.7 SQ. FT. MIN. 44" A.F.F.
 - (15) TEMPERED GLASS SKYLIGHT, 6" MIN. CURB ABOVE ADJACENT ROOF SURFACE. INSTALL PER MFG'S RECOMMENDATION.
 - (16) PROVIDE SHOP DRAWINGS FOR ARCHITECT & ENGINEER REVIEW FOR ALL METAL FABRICATIONS. INCLUDE ATTACHMENTS BACK TO STRUCTURE. RAILINGS AND GUARDRAILS INCLUDING ATTACHMENTS TO MEET REQUIREMENTS OF CBC 1607.8.1, 1607.8.1.1, 1607.8.1.2
 - (17) PROVIDE FLEXIBLE VINYL SHOWER PAN LINER FOR SHOWER STALL. TILE PER TILE COUNCIL OF NORTH AMERICA RECOMMENDED ASSEMBLY AND T.C.N.A. STANDARDS.
 - (18) PROVIDE SCREENED VENT AT GARAGE DOOR OR OTHER GARAGE LOCATION TO EXTERIOR, MIN. 200 SQ.IN PER SFBC 3125.
 - (19) PROVIDE MIN. 100 SQ. INCH MAKE-UP AIR GRILL OR LOUVERED TYPE DOOR AT LAUNDRY CLOSET DOOR TO SERVE DRYER OR PER CMC 504.3.2.
 - (20) (N) WASHER/DRYER. A DEDICATED 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET. 2007 CEC ARTICLES 210.11(C)(2) & 210.52(F). PROVIDE UTILITY CONNECTION BOX WITH 2-125V AND 1-250V OUTLETS. PROVIDE EXHAUST VENTILATION PER TABLE 4-4 AND MAKEUP AIR AS NEEDED. DRYER MOISTURE EXHAUST TO MEET REQUIREMENTS OF: CMC 504.3.1 AND 4" Ø DUCT PER CMC 504.3.2. DRYER DUCTS PER CMC 504.3.2 AND 504.3.2.2. TERMINATION 3' FROM ANY OPENING OR PL PER CMC 504.5.
 - (21) DOMESTIC RANGE AND COOK TOP UNIT INSTALLATION PER MFG'S INSTRUCTIONS AND VENT SHALL PER PER CMC 504.2.
 - (22) (N) HYDRONIC HEAT EQUIPMENT. DESIGN BUILD-ITEM BY G.C. AS SUBCONTRACTOR. HYDRONIC HEAT SYSTEM TO MEET REQUIREMENTS ALL APPLICABLE CODES INCLUDING:
CEC 150(J)2: PIPING FOR HYDRONIC HEATING SYSTEM SHALL MEET REQUIREMENTS OF TABLE 123-A.
CMC CHAPTER 12 FOR METALS, PB, PEX, PEX-AL-PEX PIPE, TUBES, FITTINGS, CONNECTIONS, INSULATION, SUPPORTS, AND PROTECTION DETAILS.
CEC (RESIDENTIAL MANUAL) 4.6.1-2 REQUIREMENTS FOR HEAT EXCHANGER ON CLOSED LOOP SYSTEM. WH EFFICIENCY AS LISTED.
 - (23) DIRECT VENT EQUIPMENT SHALL BE VENTED WITH THE TERMS OF THE LISTING AND THE MANUFACTURER'S INSTRUCTIONS AND SHALL COMPLY WITH CBC 802.2.5, 802.6.2(3) & 802.8.3. GAS VENT TERMINATION PER CMC 802.6.2(1)&(2). GAS VENT TERMINATION CAP PER CMC 802.6.2.5. GAS VENT SUPPORT PER MFG AND CMC 802.5.6 & 802.6.5.
 - (24) PROVIDE COMBUSTION AIR OPENING FROM OUTSIDE FOR FURNACES AND WATER HEATERS PER CMC 701.10(3), 701.10(6), CMC 701.10(7) AND ALL OTHER APPLICABLE CODES.
 - (25) TOILET, LAUNDRY, AND KITCHEN EXHAUST TERMINATION 3'-0" MINIMUM FROM PROPERTY LINES AND BUILDING OPENINGS PER CMC 504.5.
 - (26) EXHAUST FAN TO PROVIDE MIN. 5 AIR CHANGES PER HOUR AND PER REQUIREMENTS OF CMC 403.7 TABLE 4-4 AND SOURCE OF MAKE-UP AIR. MECHANICAL CONTRACTOR TO SIZE AND SUBMIT CUTSHEET FOR APPROVAL PRIOR TO INSTALLATION.
 - (27) AN ARC-FAULT CIRCUIT INTERRUPTER SHALL PROTECT ALL RECEPTACLES IN THE HABITABLE AREA WITH BRACH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE 15 AND 20-AMPERE RECEPTACLE OUTLETS. 2007 CEC SECTION 210-12(b). ARC FAULT CIRCUIT INTERRUPTER REQUIREMENTS:
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 - THE BEDROOM BRANCH CIRCUIT CONDUCTORS SHALL BE PERMANENTLY IDENTIFIED AT THE POINT OF ENTRY TO THE PANEL BOARD.
 - THE AFCI BREAKER SHALL BE A LISTED AND APPROVED DEVICE. INSTALLED IN AN APPROVED PANEL BOARD IN ACCORDANCE WITH ITS LISTING.
 - OTHER OUTLETS WITHIN THE DWELLING UNIT MAY BE CONNECT TO THE AFCI PROTECTED BRANCH CIRCUIT; HOWEVER, THE SAME WIRING METHODS AS REQUIRED ABOVE FOR BEDROOMS SHALL BE USED.
 - (28) G.C. CONFIRM ELECTRIC & GAS METER REQUIREMENTS WITH PG&E STANDARDS. COORDINATE WITH ARCHITECT METER LOCATION AND MOUNTING DETAILS. PROVIDE CABINET FOR GAS METER AND VENTING AS REQ'D. SEE PG&E GREENBOOK FOR INSTALLATION STANDARDS.
 - (29) PROVIDE CA STATE FIRE MARSHALL APPROVED CARBON MONOXIDE ALARM OUTSIDE OF EACH SLEEPING AREA AND ON EACH LEVEL. ALARMS TO BE HARDWIRED WITH BATTERY BACKUP. COMBINED SMOKE/CARBON MONOXIDE ALARM.
 - (30) HARDWIRED SMOKE ALARM WITH BATTERY BACKUP. ALL NEW SMOKE ALARMS TO COMPLY WITH CBC SECTIONS: 907.2.10.1.2 FOR LOCATION, 907.2.10.2 TO BE HARD-WIRED WITH BATTERY BACKUP, 907.2.10.3 FOR INTERCONNECTION.
 - (31) PROVIDE SOLID CORE WOOD DOOR 1 3/8" MIN. THICKNESS OR PROVIDE DOOR WITH 20 MIN. FIRE PROTECTION RATING. PROVIDE CLOSER. DOOR TO BE SELF-LATCHING
- PROVIDE HOSE BIBS ~~AT~~ AT LOCATIONS AS SELECTED BY OWNER
- ALL PLUMBING, MECHANICAL, ELECTRICAL SYSTEMS TO BE DESIGN-BUILD BY SUBCONTRACTOR AND GENERAL CONTRACTOR. PROVIDE ALL MATERIALS FOR A CODE COMPLIANT INSTALLATION. SUBCONTRACTORS TO PROVIDE SUBMITTAL FOR OWNER REVIEW PRIOR TO INSTALLATION.
- TILE 24 RESIDENTIAL LIGHTING REQUIREMENTS:
- KITCHENS: AT LEAST 50% OF INSTALLED LUMINARIES WATTAGE MUST BE HIGH EFFICACY (HE) LIGHTING AND MUST BE SWITCHED SEPARATELY FROM NON HE LIGHTING
- BATHROOM, LAUNDRY ROOM, GARAGE, UTILITY ROOMS: ALL HIGH EFFICACY LUMINARIES OR COMPLY WITH THE EXCEPTION AS FOLLOWS:
PROVIDE A MANUAL-ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH CEC SECTION 119(d) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINARIES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LIGHT TO BE ALWAYS ON.
- OUTDOOR LIGHTING: ALL HIGH EFFICACY UNLESS LIGHTING IS CONTROLLED BY CERTIFIED MOTION SENSORS AND PHOTOCONTROL.
- COMMON AREAS (ENCLOSED NON DWELLING SPACES): ALL HIGH EFFICACY UNLESS CONTROLLED BY A CERTIFIED OCCUPANT SENSOR(S) - NOT REQUIRED TO BE MANUAL-ON.
- ALL OTHER ROOM (BEDROOMS, HALLWAYS, STAIRS, DINING ROOMS, ETC) SHALL BE ALL HIGH EFFICACY LUMINARIES OR COMPLY WITH THE EXCEPTIONS AS FOLLOWS:
1) PROVIDE DIMMER SWITCH.
2) PROVIDE MANUAL-ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH CEC SECTION 119(d) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINARIES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LIGHT TO BE ALWAYS ON FLUORESCENT OR CONTROL BY DIMMER SWITCH.
3) CLOSETS LESS THAN 70 SQUARE FEET ARE EXEMPT FROM LIGHTING REQUIREMENTS.
- RECESSED LUMINARIES IN INSULATED CEILINGS: MUST BE APPROVED FOR ZERO CLEARANCE INSULATION COVER AND MUST BE CERTIFIED AS AIR TIGHT.
- LIGHTING GENERAL NOTES:
G.C. AND ELECTRICAL SUBCONTRACTOR TO CONFIRM AND COORDINATE ALL TRANSFORMERS WITH FIXTURES SELECTION.
G.C. AND ELECTRICAL CONTRACTOR TO CONFIRM ANY ACCESS PANELS REQUIREMENTS.
PROVIDE SUBMITTAL FOR ARCHITECT AND OWNER REVIEW PRIOR TO PURCHASE OF FIXTURES.
WHERE DEVICES/SWITCHES ARE CLUSTERED, PROVIDE MULTI-GANG COVERS.
SWITCH MOUNTING HT = 48" TO CL A.F.F.
OUTLET/CATV/TELE MOUNTING HT = 15" TO CL A.F.F.
SEE SHEET A6.0 FOR LOCATIONS.
SEE SHEET A6.0 FOR LOCATIONS.

DRAWING LEGEND:



TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 401, SF CA 94107. PHONE/FAX 415.431.0869

2783K DIAMOND STREET

OWNER:
TROY KASHANIPOUR
2325 3RD STREET, SUITE 401
SAN FRANCISCO, CA 94110
PHONE: 415.431.0869
TK@TKWORKSHOP.COM

ISSUE: DATE:
PRE-APPLICATION MEETING 12.16.15
RTD FOR PERMIT 04.11.16
ISSUED COMMENTS 08.01.16

CONSULTANT

APPROVAL

DRAWN:
TK
CHECKED:
TK
SCALE:
NONE

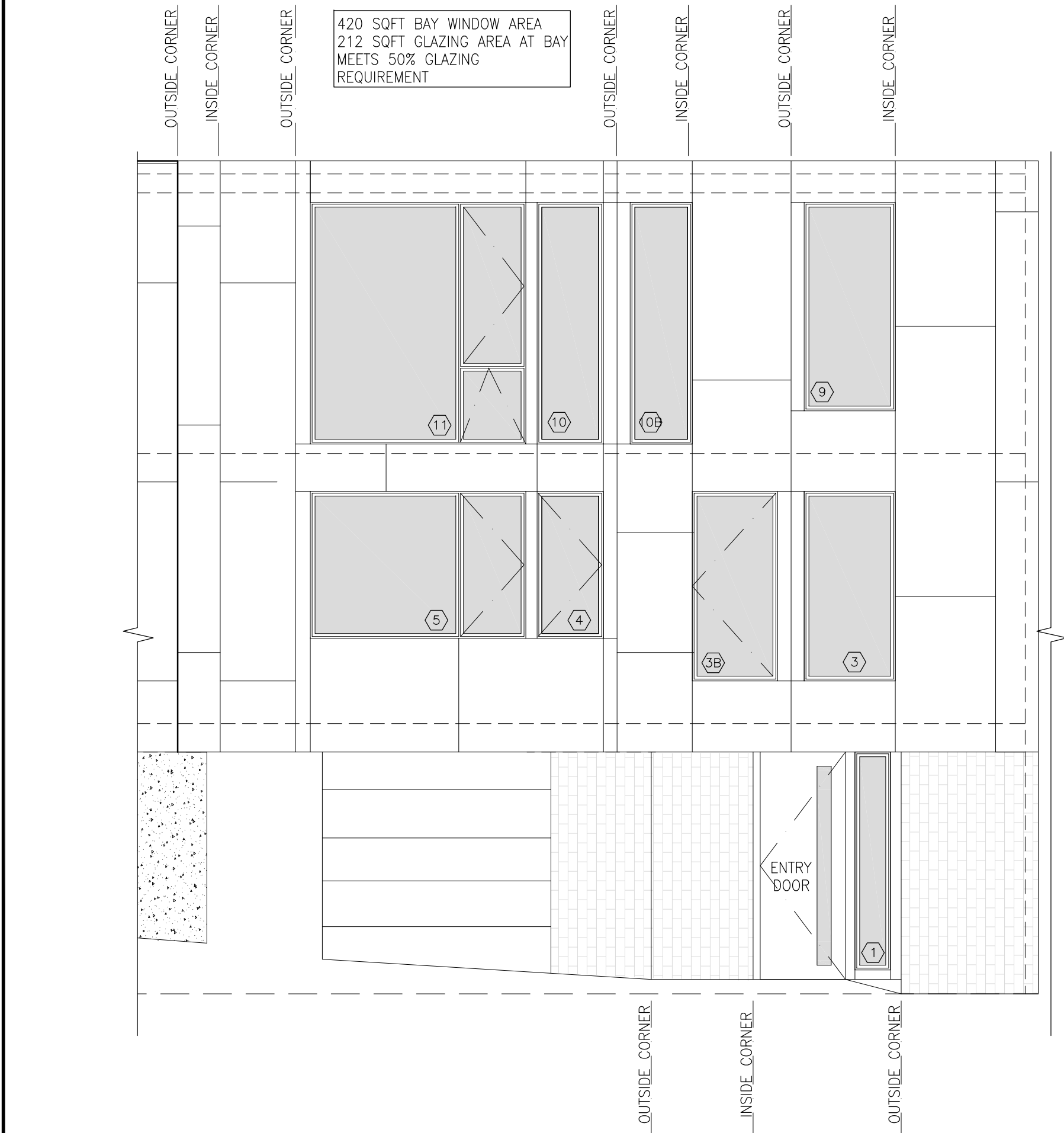
PROPOSED FLOOR PLAN

A2.1



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 UNFOLDED WEST ELEVATION
SCALE: 1/4" = 1'-0"

- EXTERIOR FINISHES**
- 1 SOLID CORE WOOD ENTRY DOOR WITH SINGLE GLASS LITE
 - 2 FLAT PANEL WOOD GARAGE DOOR, FINISH TO MATCH ENTRY DOOR.
 - 3 CERAMIC TILE, HEATH CERAMICS OR EQUAL
 - 4 WALL PLANTING, SUPPORTED BY GREENWALL TRELLIS SYSTEM, OR EQUAL
 - 5 PAINTED STEEL EDGE BAN AS TRANSITION BETWEEN MATERIALS
 - 6 BOARD FORMED CONCRETE
 - 7 INTEGRALLY COLORED CEMENT PANEL, SWISS-PEARL OR EQUAL WITH OPEN JOINTS
 - 8 HORIZONTAL CEMENTIOUS PANEL, HARDIBOARD ARTISAN V-RUSTIC FLAT SIDING, MITRE CORNERS TYPICAL
 - 9 POWDER COATED STEEL GUARDRAIL FRAME WITH STAINLESS STEEL CABLE RAILING.
 - 10 ANNODIZED ALUMINUM WINDOW FRAMES.
 - 11 GALVANIZED & PAINTED PERFORATED METAL STAIR OVER STRUCTURE
 - 12 AT GRADE PLANTING AREA WITH DRIP IRRIGATION SERIES, SPECIES TO BE DETERMINED.
 - 13 PROVIDE T-111 EXTERIOR GRADE SIDING BETWEEN BUILDINGS WHERE NOT VISIBLE, PROVIDE FLASHINGS AS NECESSARY FOR COMPLETE WATERTIGHT INSTALLATION.
 - 14 PAINTED METAL FACIA PANEL & SILL AT RECESSED AREA
 - 15 SOLAR PANEL SYSTEM, DESIGN BUILD SYSTEM UNDER SEPARATE PERMIT BY SOLAR CONTRACTOR

- NOTES:
- 1. WINDOW SUBMITTAL REQUIRED PRIOR TO ORDER BY CONTRACTOR
 - 2. CONTRACTOR TO CONFIRM WINDOW MULLING WITH MANUFACTURER
 - 3. CONTRACTOR TO VERIFY ALL R.O. DIMENSIONS AND QUANTITIES PRIOR TO ORDERING WINDOWS.
 - 4. INSTALLATION/FLASHING: SEE DETAIL 16/48.0 FOR TYPICAL FLASHING INSTALLATION.
 - 5. PROVIDE TEMPERED GLASS WHERE REQUIRED PER SECTION 2406
 - 6. ALL R.O. DIMENSION ARE TO BE CONFIRMED BY CONTRACTOR WITH (E) AND (N) FIELD CONDITIONS PRIOR TO FABRICATION.
 - 7. WINDOWS TO MEET TITLE 24 ENERGY MANDATORY MINIMUM OR AS OUTLINED IN TITLE 24 REPORT.

WINDOWS & EXTERIOR DOORS:								
NAME	ELEV	MFGR.	PRODUCT	SIZE (W x H) FRAME SIZE (FS)	OPENING: X=FIXED, O=OPERABLE	GLASS: CLR, INS, LOW-E U.O.N.	HARDWARE	NOTES
1	W	FLEETWOOD, WESTWOOD 250	ANNODIZED ALUMINUM PICTURE	15" x 92"	X	TEMPERED	-	VERIFY HT: ALIGN FRAME W/FIN CLNG & T/BASEBD
2	E	FLEETWOOD, SERIES TBD	ANNODIZED ALUMINUM SLIDING DOOR	80" x 108"	O,O	TEMPERED	-	
3	W	FLEETWOOD, WESTWOOD 250	ANNODIZED ALUMINUM CASEMENT	35" x 82"	O	TEMPERED	-	SILL @ 18"
3B	W	FLEETWOOD, WESTWOOD 250	ANNODIZED ALUMINUM CASEMENT	35" x 82"	O	TEMPERED	-	LIMIT OPENING OF CASEMENT TO 4" SILL @ 18"
4	W	FLEETWOOD, WESTWOOD 250	ANNODIZED ALUMINUM CASEMENT	27" x 62"	O	TEMPERED	-	
5	W	FLEETWOOD, WESTWOOD 250	ANNODIZED ALUMINUM CASEMENT & PICTURE WINDOW	90" x 62" OVERALL 28" W @ CASEMENT	O,X		-	CASEMENT & PICTURE IN ONE FRAME, CASEMENT IS RESCUE WINDOW
6	N	FLEETWOOD, WESTWOOD 250	ANNODIZED ALUMINUM AWNING	32" x 32"	O	TEMPERED, FROSTED GLASS	-	
7	N	FLEETWOOD, WESTWOOD 250	ANNODIZED ALUMINUM CASEMENT	32" x 32"	O	TEMPERED, FROSTED GLASS	-	
8	E	FLEETWOOD, WESTWOOD 250	ANNODIZED ALUMINUM CASEMENT & PICTURE WINDOW	80" x 64" OVERALL 29.5" W @ CASEMENT	O,X			
9	W	FLEETWOOD, WESTWOOD 250	ANNODIZED ALUMINUM PICTURE	35" x 86"	O	TEMPERED		SILL @ 18"
10	W	FLEETWOOD, SERIES TBD	ANNODIZED ALUMINUM PICTURE	27" x 104"	X	TEMPERED		-
10B	W	FLEETWOOD, SERIES TBD	ANNODIZED ALUMINUM PICTURE WINDOW	26" x 104"	X			CORNER WINDOW ASSEMBLY, ARCHITECT TO COORDINATE DETAILS WITH MFGR'S LIMIT OPENING OF AWNING TO 4"
11	W	FLEETWOOD, WESTWOOD 250	ANNODIZED ALUM. PICTURE, CASEMENT, AWNING ASSEMBLY	90"x104" OVERALL 28"W @CASEMENT,31.5"H @AWNING	X,O,O	TEMPERED		VERIFY HEIGHT, ALIGN OVER BASEBOARD
12/13	N	FLEETWOOD, WESTWOOD 250	ANNODIZED ALUMINUM PICTURE	21" x 104"	X	TEMPERED	-	SILL @ 36"
14	E	FLEETWOOD, WESTWOOD 250	ANNODIZED ALUMINUM PICTURE & CASEMENT WINDOW	80" x 64" OVERALL 29.5" W @ CASEMENT	O,X			
15	W	FLEETWOOD, SERIES TBD	ANNODIZED ALUMINUM DOOR WITH SINGLE GLASS LITE	34" x 96"	O	TEMPERED		
16	N	FLEETWOOD, WESTWOOD 250	ANNODIZED ALUMINUM CASEMENT	24" x 48"	O	-		
17	N	FLEETWOOD, WESTWOOD 250	ANNODIZED ALUMINUM CASEMENT	30" x 48"	O	-		
18	N	FLEETWOOD, WESTWOOD 250	ANNODIZED ALUMINUM CASEMENT	30" x 48"	O	FROSTED		
19	E	FLEETWOOD, WESTWOOD 250	ANNODIZED ALUM. PICTURE, CASEMENT, PICTURE ASSEMBLY	80"x98" OVERALL, 29.5"W @ CASEMENT, 34"W@LOWER PIC.	X,O,X	TEMPERED @ LOWER AWNING		ALIGN OVER BASEBOARD
20	ROOF	ROYALITE OR EQUAL	CURB MOUNTED FIXED SKYLIGHT	78"x30"x90 APPROX. SEE PLAN FOR GEOMETRY.	X	TEMPERED		
21	ROOF	ROYALITE OR EQUAL	CURB MOUNTED FIXED SKYLIGHT	24" x 48"	X	TEMPERED		

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DATE:
12.16.15
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CONSULTANT

APPROVAL

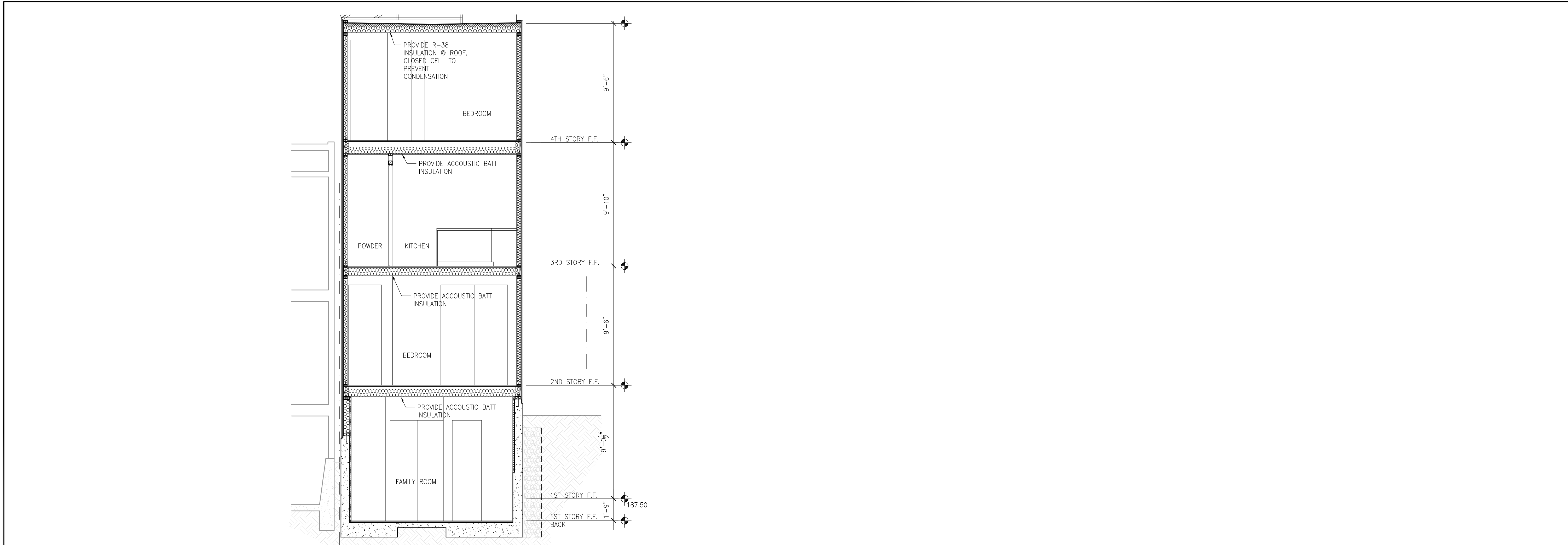
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CHECKED:
TK

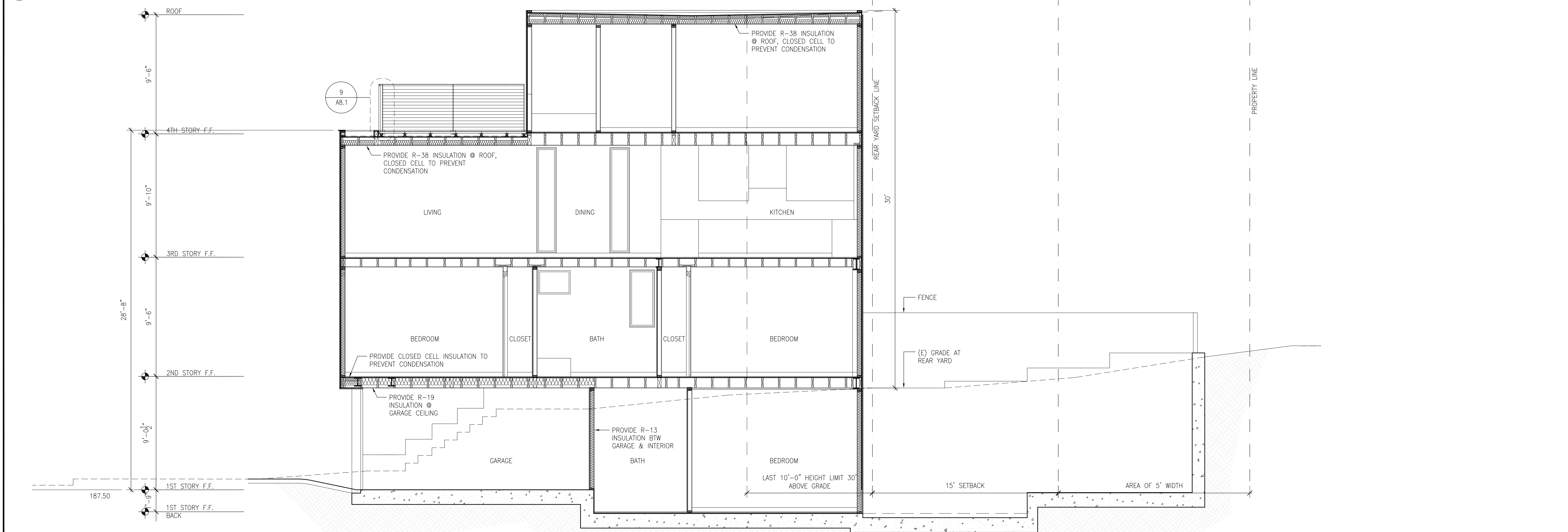
SCALE:
1/4"=1'-0"

PROPOSED ELEVATIONS

A3.1



2 TRANVERSE BUILDING SECTION
SCALE: 1/4"= 1'-0"



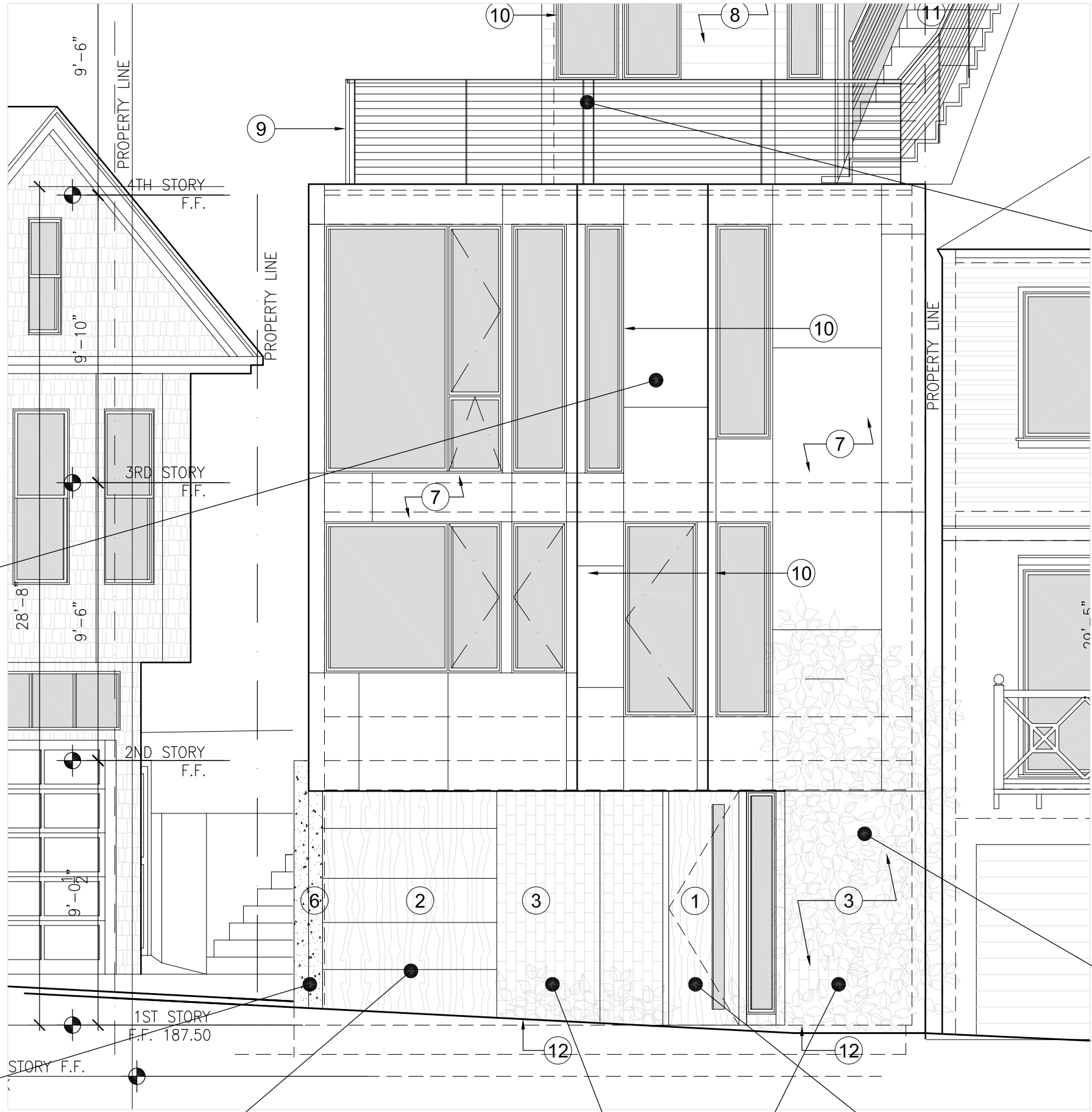
1 LONGITUDINAL BUILDING SECTION
SCALE: 1/4"= 1'-0"

TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 401, SF CA 94107. PHONE/FAX 415.431.0869	
2783K DIAMOND STREET	
OWNER: TROY KASHANIPOUR 2325 3RD STREET, SUITE 401 SAN FRANCISCO, CA 94110 PHONE: 415.431.0869 TK@TKWORKSHOP.COM	
ISSUE: ISSUED FOR PERMIT	DATE: 04.11.16
CONSULTANT	
APPROVAL	
	DRAWN: TK
	CHECKED: TK
	SCALE: 1/4"=1'-0"
BUILDING SECTIONS	
A3.2	



7 INTEGRALLY COLORED CEMENT PANEL, TRESPA, RICHLITE OR EQUAL WITH OPEN JOINTS

SEE SAMPLE



6 BOARD-FORMED CONCRETE



2 FLAT PANEL WOOD GARAGE DOOR

SEE WOOD SAMPLE



3 CERAMIC TILE



MATT FINISH TILE, WITH GEOMETRIC JOINT PATTERN

1 SOLID CORE WOOD ENTRY DOOR WITH SINGLE GLASS LITE

SEE WOOD SAMPLE



9 POWDER COATED STEEL GUARDRAIL FRAME WITH STAINLESS STEEL CABLE RAILING.

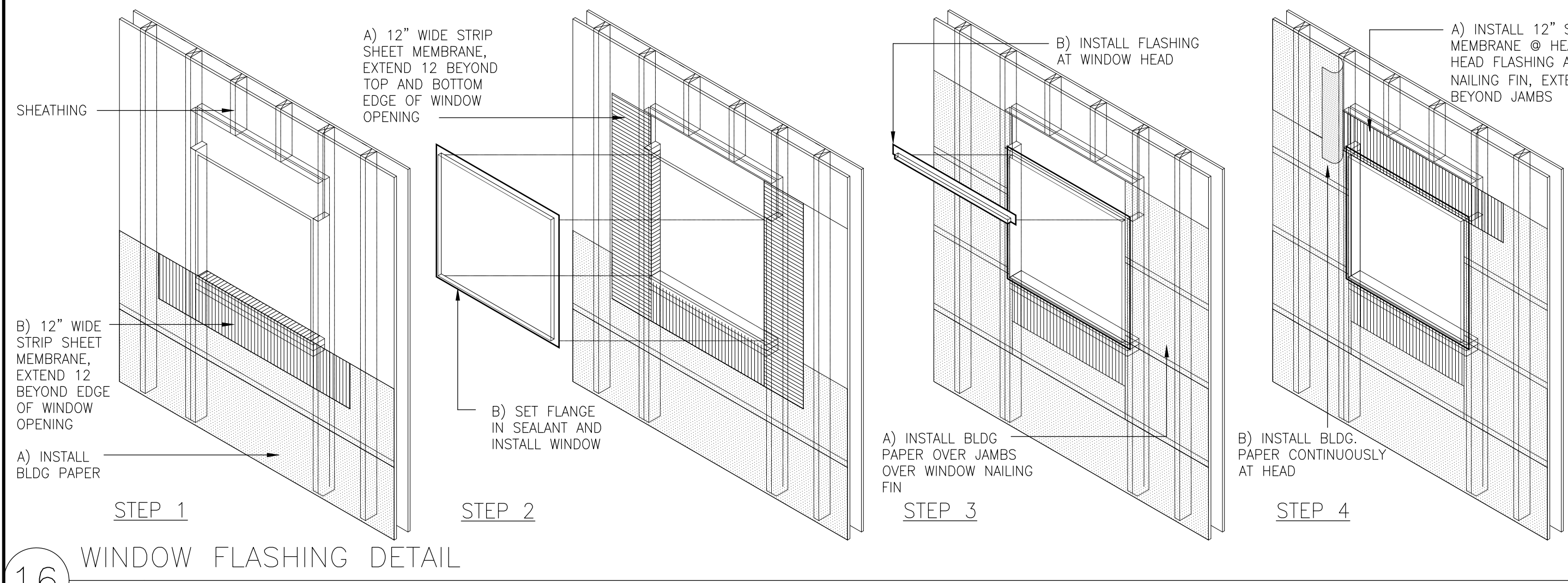


4

WALL PLANTING, SUPPORTED BY GREENWALL TRELLIS SYSTEM, OR EQUAL

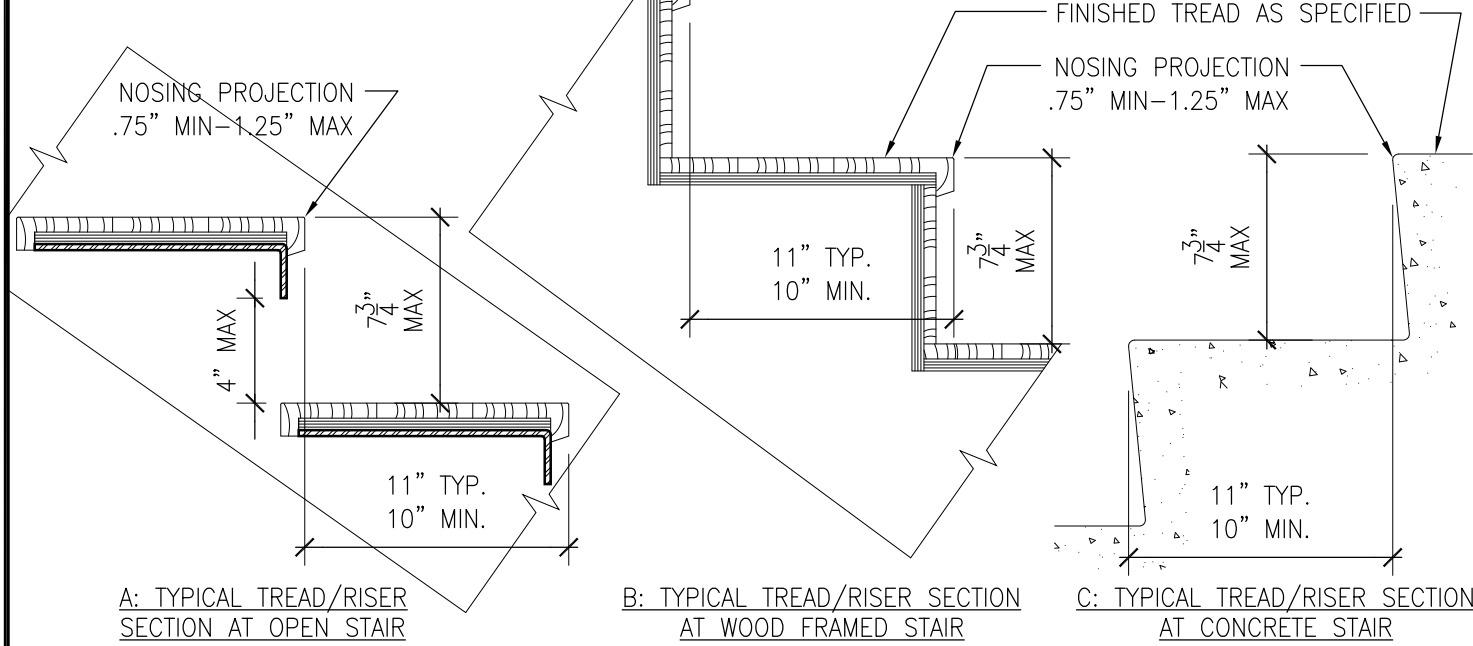


Wall mounted, modular, three-dimensional panel with mature growth Jasmine

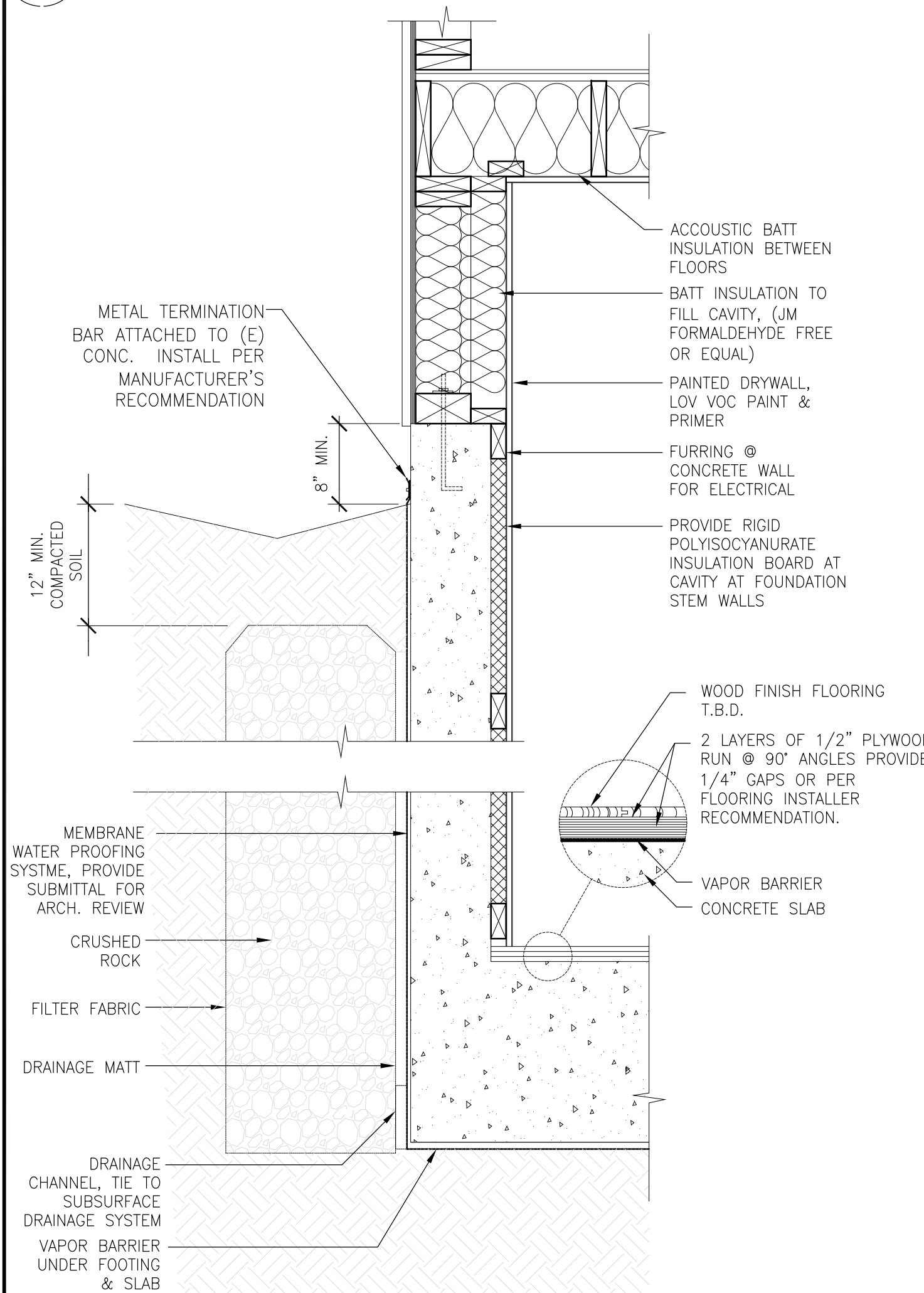


16 WINDOW FLASHING DETAIL
SCALE: NTS

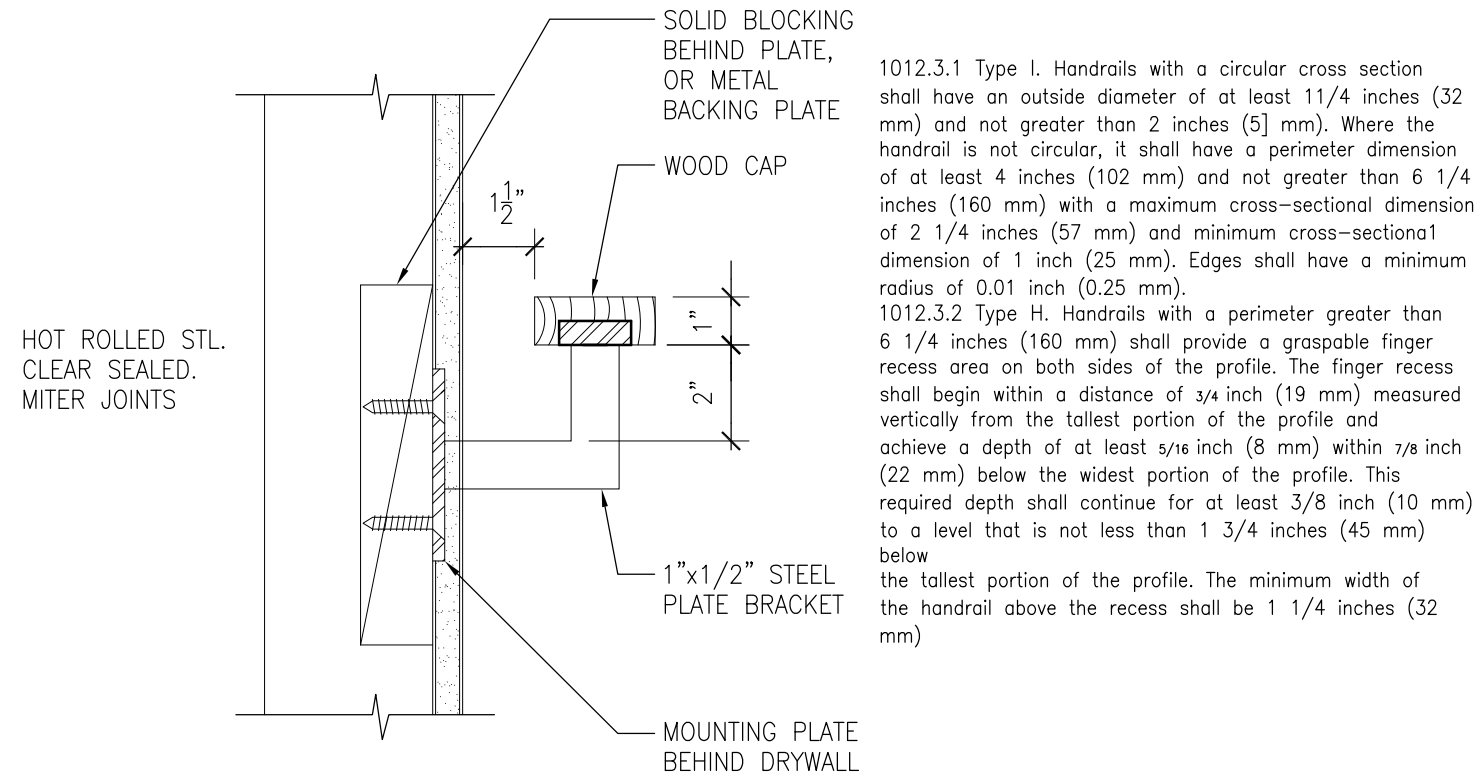
CBC 1009.4 EXCEPTION 5. In Group R-3 occupancies; within dwelling units in Group R-2 occupancies; and in Group U occupancies that are accessory to a Group R-3 occupancy or accessory to individual dwelling units in Group R-2 occupancies; the maximum riser height shall be 73/4 inches (197 mm); the minimum tread depth shall be 10 inches (254 mm); the minimum winder tread depth at the walkline shall be 10 inches (254 mm); and the minimum winder tread depth shall be 6 inches (152 mm). A nosing not less than 3/4 inch (19.1 mm) but not more than 11/4 inches (32 mm) shall be provided on stairways with solid risers where the tread depth is less than 11 inches (279 mm).



15 STAIR TREAD AND RISER (R-3 OCCUPANCY)
SCALE: NTS OR FOR USE OF SINGLE DWELLING AT R-2

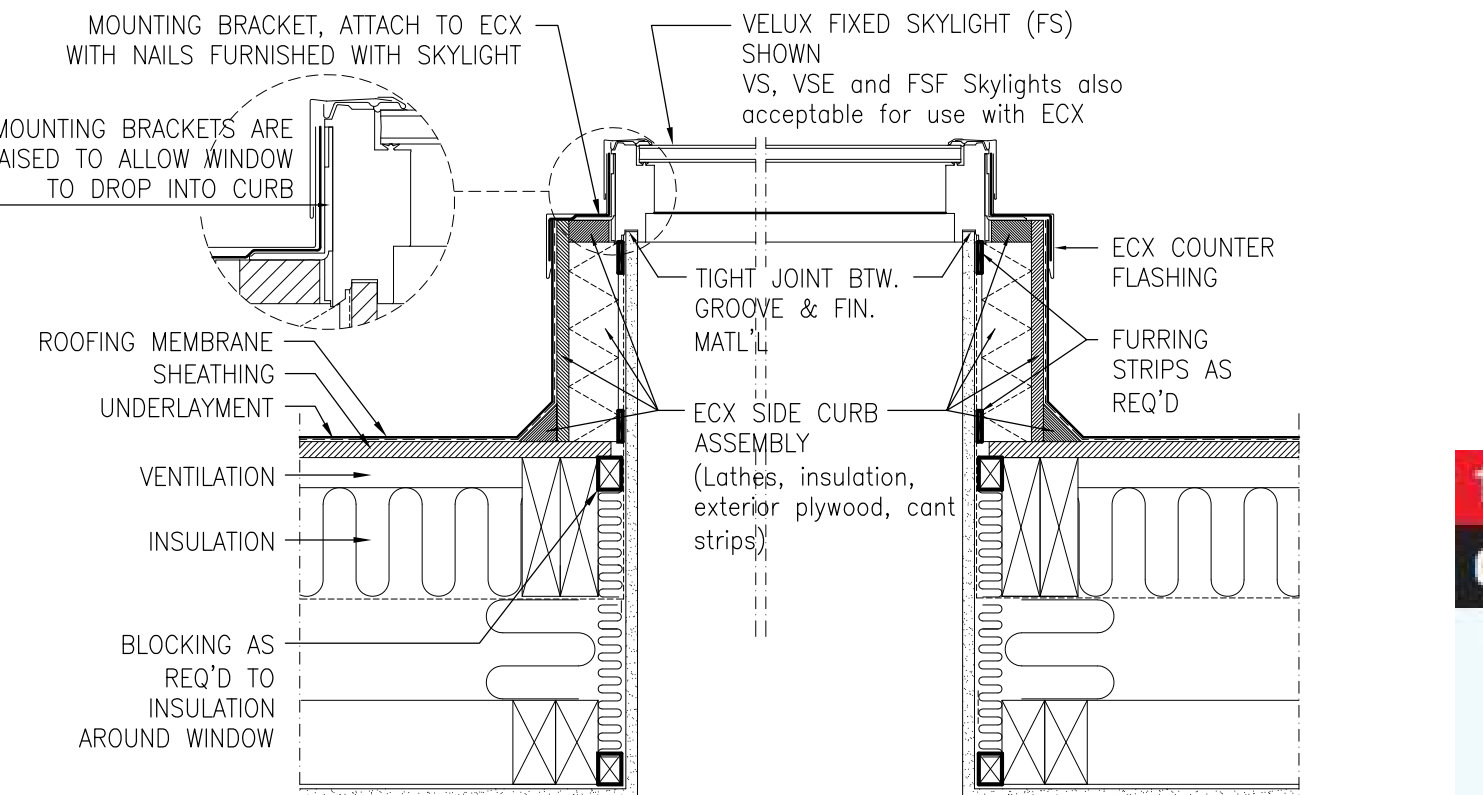


13 TYPICAL SECTION AT (N) FOUNDATION WALL
SCALE: NTS

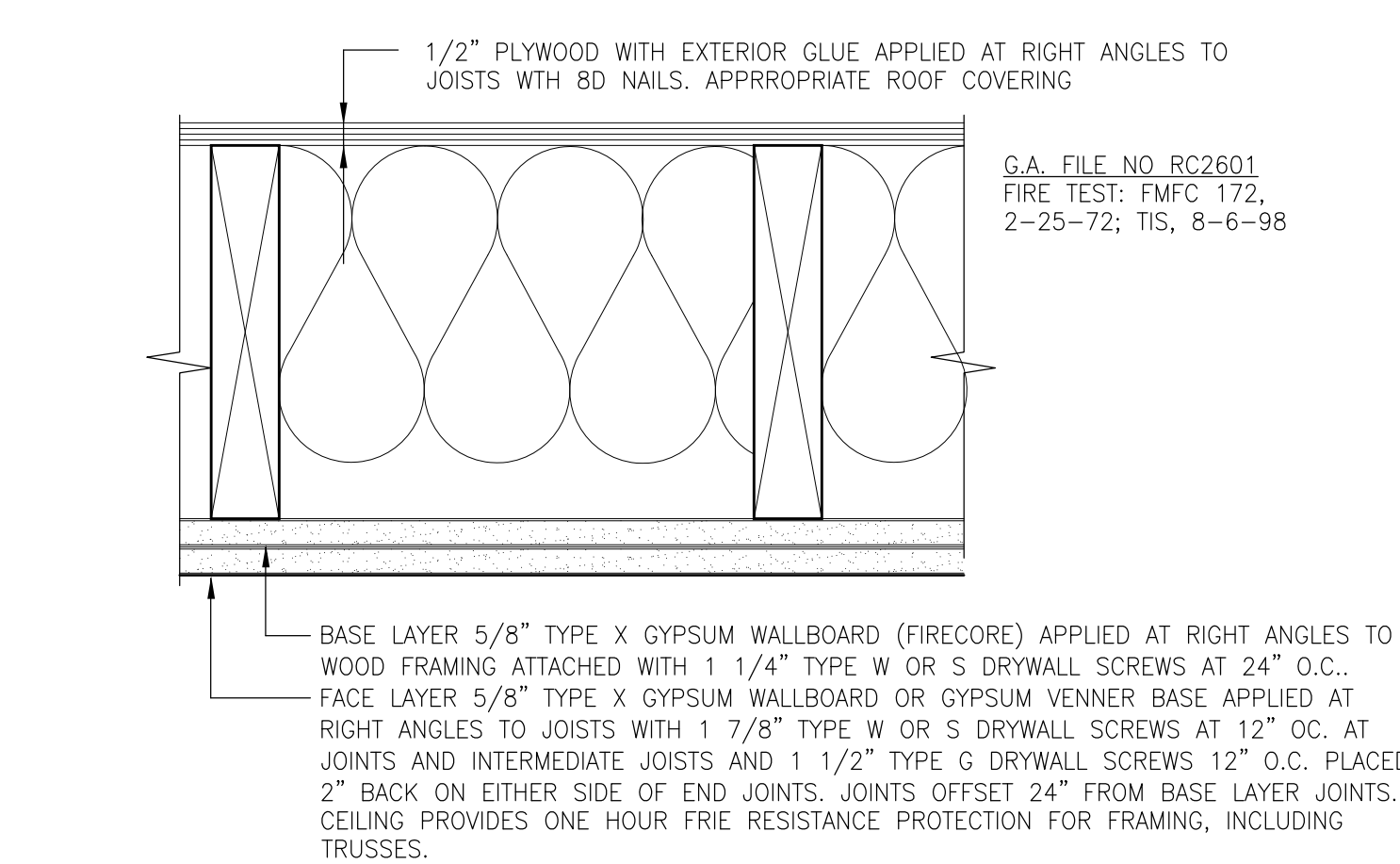


11 STEEL HANDRAIL WITH WOOD CAP
SCALE: 3"= 1'-0"

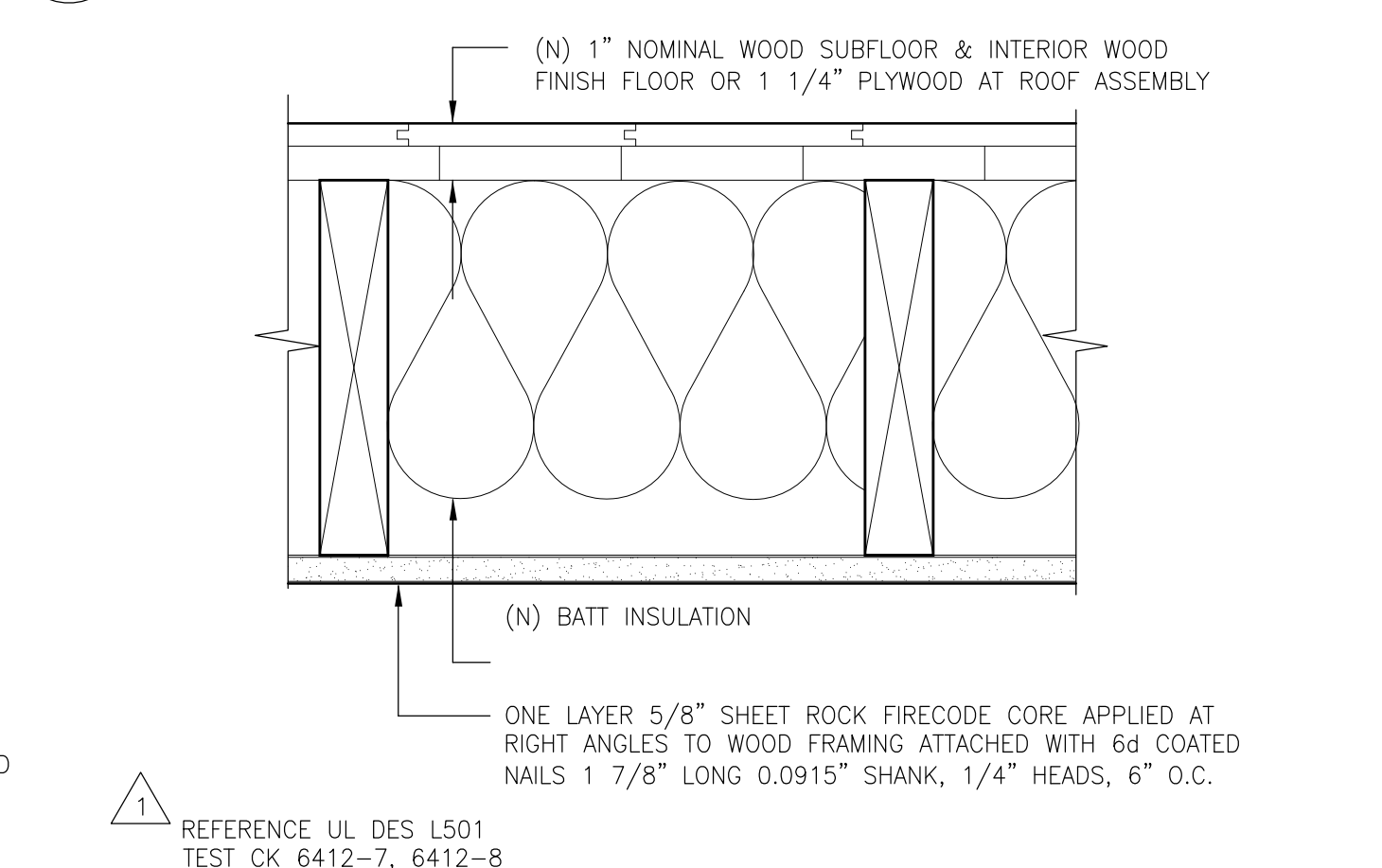
GENERAL NOTES
1. Vapor barrier should be used to avoid moisture.
2. Follow roofing manufacturers instructions when flashing the curb with roofing membrane/weathertight material.
3. Existing building regulations must be observed in connection with installation and flashing of VELUX skylights.
For materials and/or constructions, also see the instructions of the manufacturer in question.



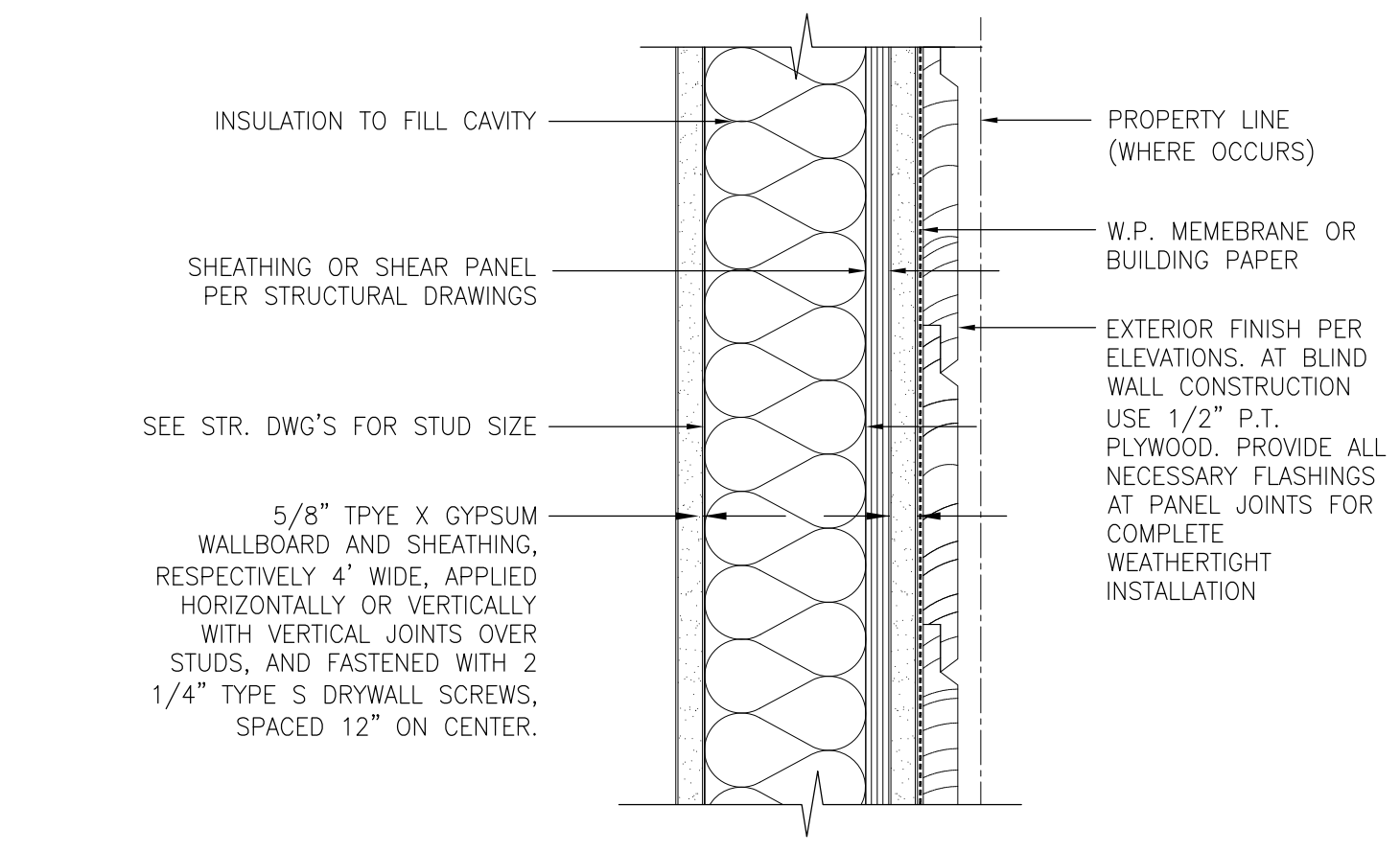
7 HORIZONTAL CROSS SECTION AT SKYLIGHT
SCALE: NTS



8 1-HOUR RATED CEILING/ROOF ASSEMBLY
SCALE: 3"= 1'-0"



4 1-HOUR RATED CEILING ASSEMBLY
SCALE: 3"= 1'-0"



3 SECTION AT EXTERIOR WALL - 1HR
SCALE: 3"= 1'-0" REFERENCE CBC TABLE 721.1(2) ITEM 15-1.1. UL DESIGN U344

1 Hour Fire-Rated Construction				Reference
Construction Detail	Description	Test Number	Comments	Index
	– 3.4 lb self-furring diamond mesh metal lath wrapped around column • 3/4" 100-2-100:3 gypsum-sand plaster	BMS-92	Structural member tested: W10 x 49	E-1
	• 2 layers 1/2" SHEETROCK FIRECODE C core panels – 1-5/8" 25 gauge steel studs – No. 28 MSG 1-1/4" leg corner bead fastened to wallboard with No. 6x1" screws – joints finished	UL Des X528	Structural member tested: W4 x 13 W6 x 15.5	E-2
	• 1 layer 1/2" SHEETROCK FIRECODE C core panels – 1-5/8" 25 gauge steel studs – No. 28 MSG 1-1/4" leg corner bead fastened to wallboard with No. 6x1" screws – joints finished	UL Des X528	Structural member tested: W10 x 49	E-3

1 1 HOUR FIRE PROOFING AT STEEL COLUMNS
SCALE: NTS – EXCERPTED FROM USG FIRE RESISTANT ASSEMBLY USERS GUIDE 2013

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ISSUE:

ISSUED FOR PERMIT

DATE:

04.11.16

CONSULTANT

APPROVAL

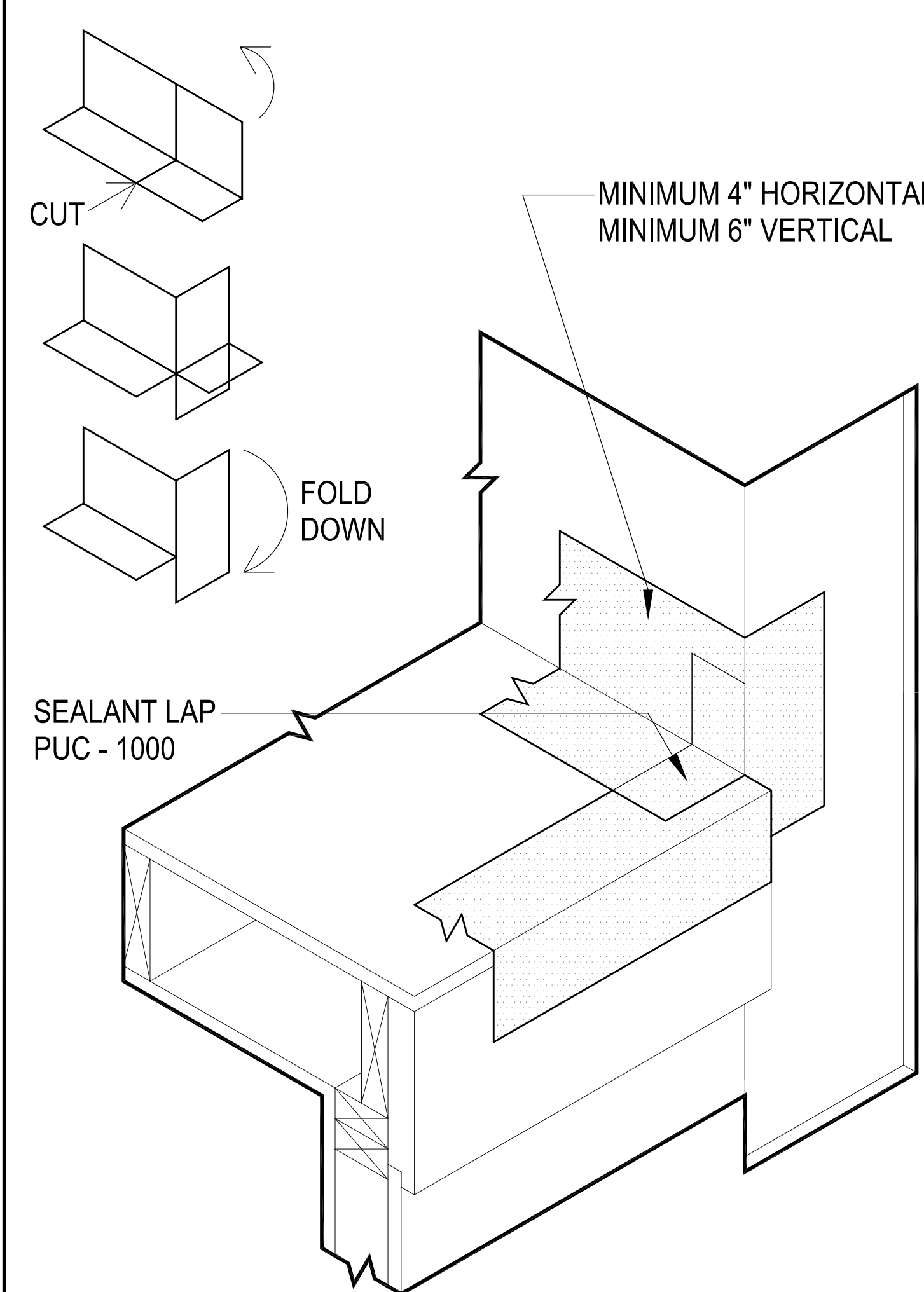
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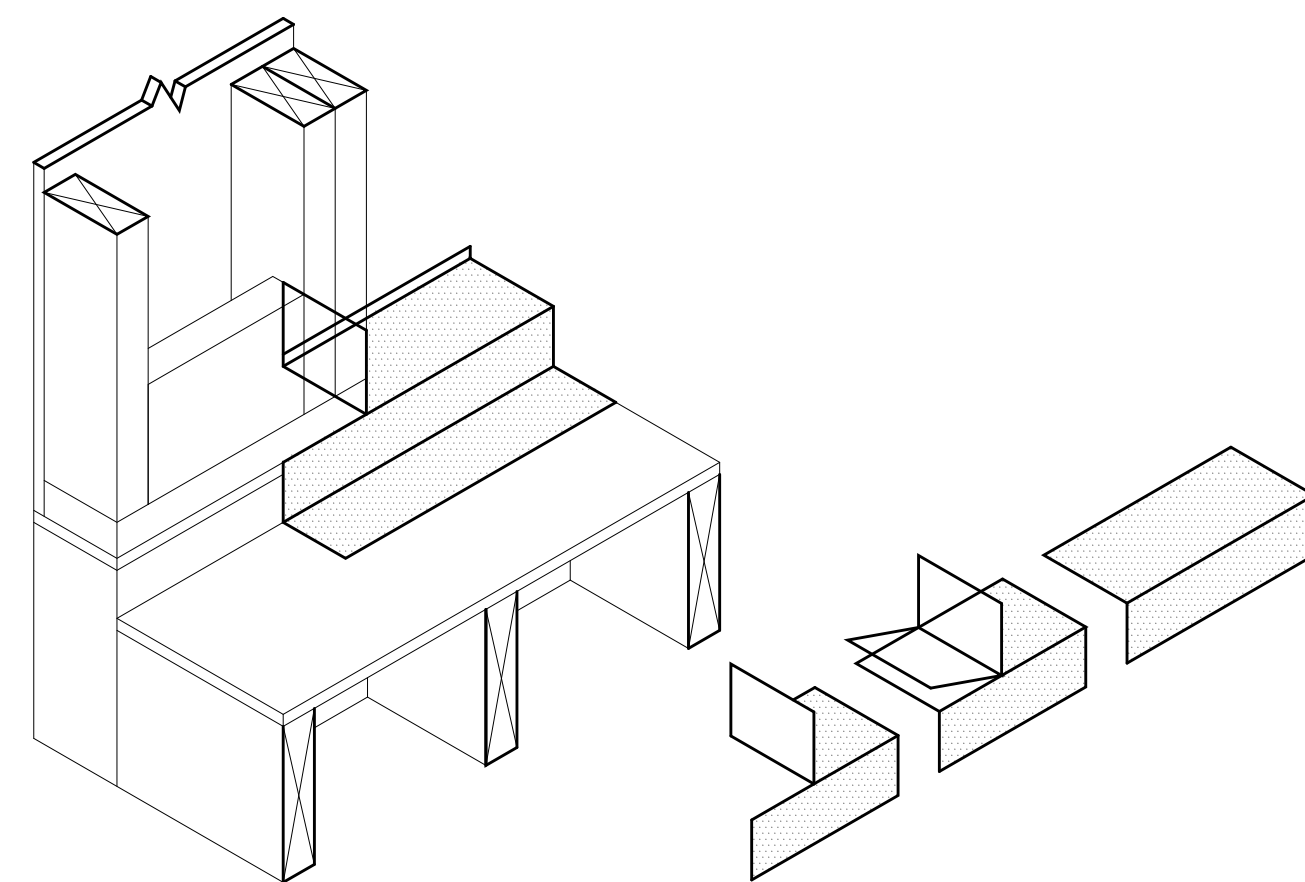
SCALE:
NONE

CONSTRUCTION DETAILS

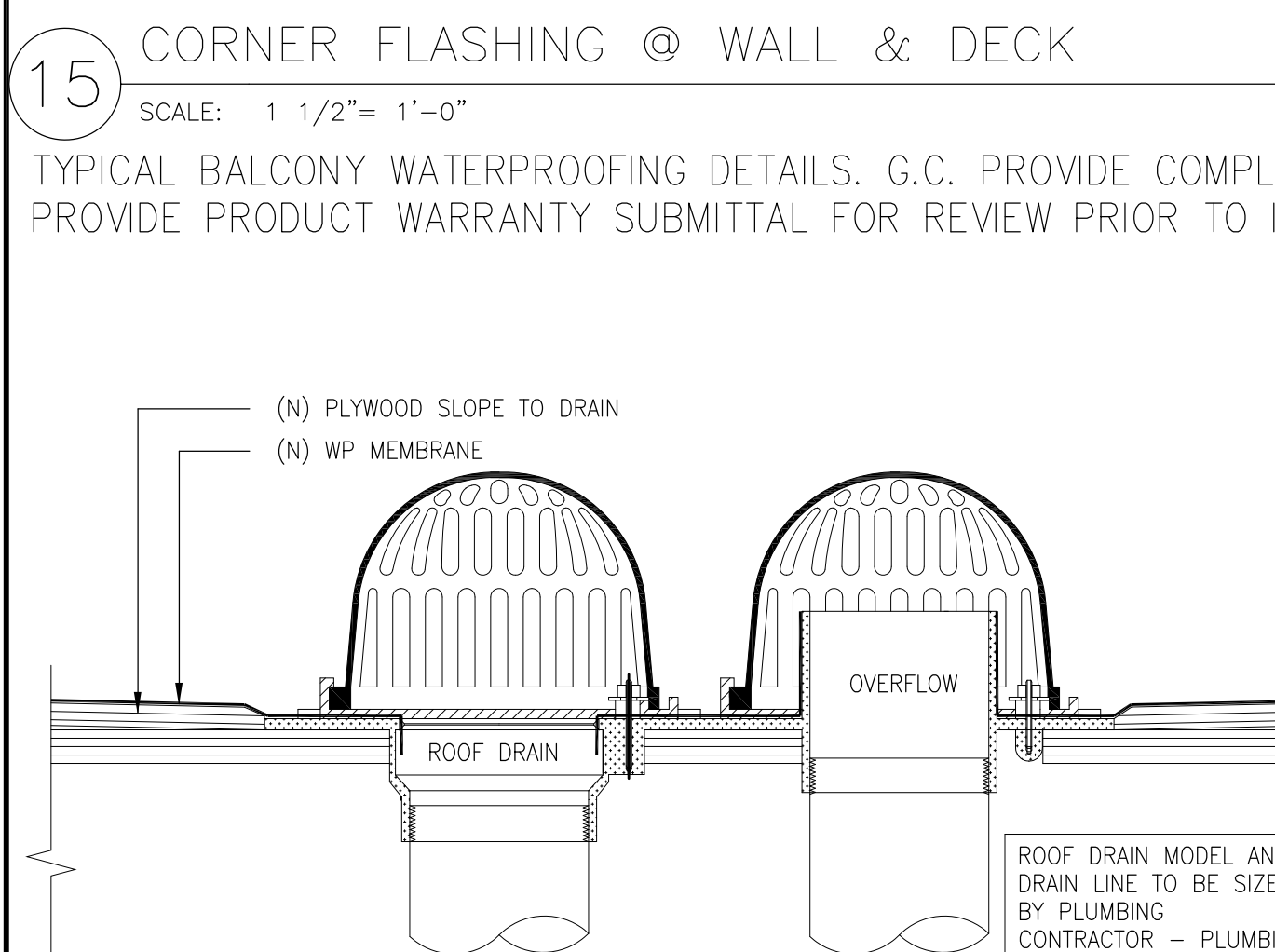
A8.0



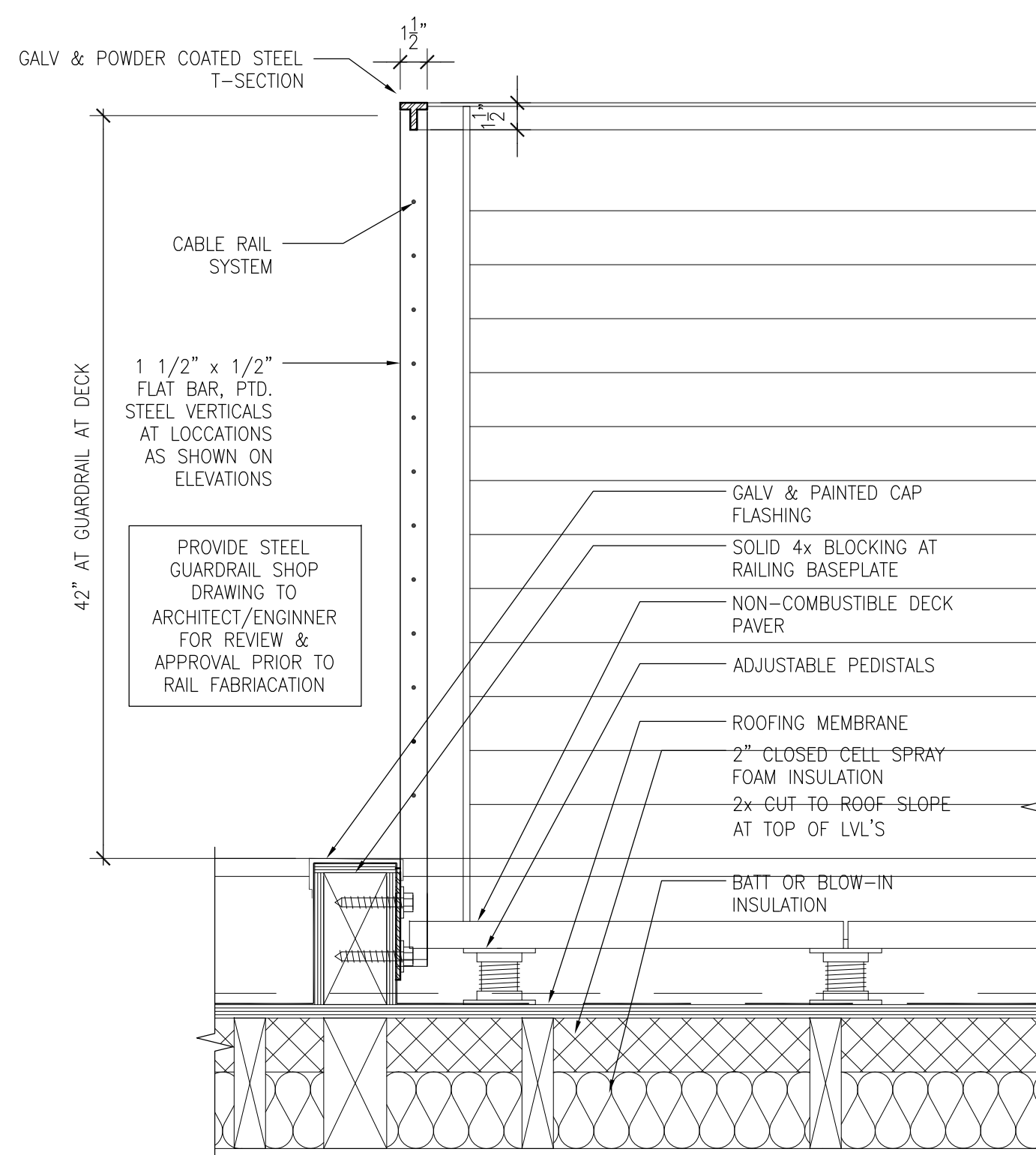
12 BALCONY WATERPROOFING SCHEMATIC DIAGRAM
SCALE: 1 1/2" = 1'-0"



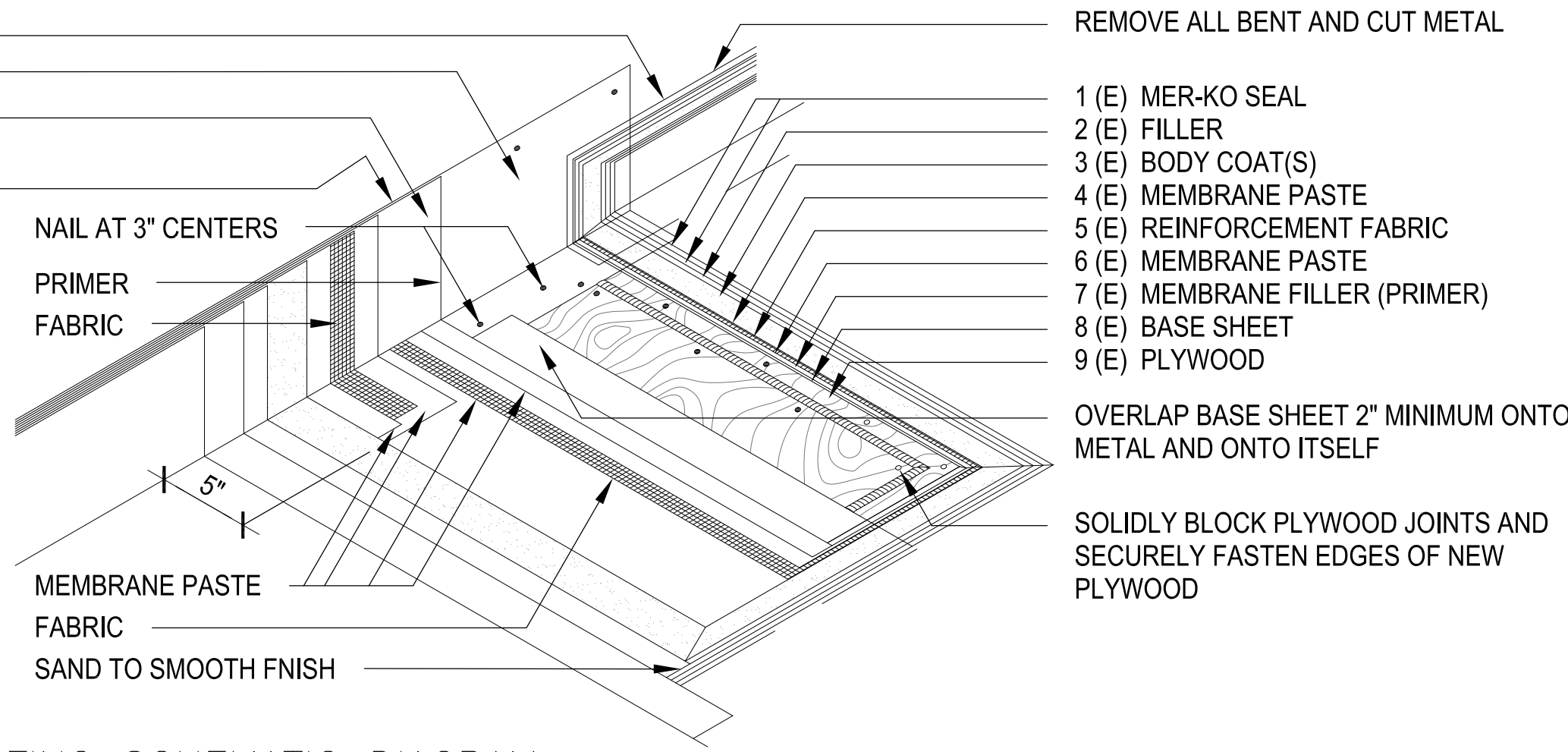
11 1-PIECE DOOR PAN FLASHING
SCALE: 1 1/2" = 1'-0"



14 DETAIL AT ROOF DRAIN
SCALE: 3" = 1'-0"



9 SECTION AT ROOF DECK/GUARD
SCALE: NTS



A cross-sectional diagram showing the assembly of a wall corner where a vertical siding panel meets a horizontal deck. The siding panel is on the left, and the deck is on the right. A 6" x 4" flashing is installed over the deck, extending under the siding. The flashing is labeled with a leader line. The siding is labeled with a leader line. The waterproof decking system is labeled with a leader line. The diagram shows the siding panel, the waterproof decking system, and the 6" x 4" flashing. The flashing is installed over the deck and under the siding. The diagram is a cross-section showing the siding, the waterproof decking system, and the 6" x 4" flashing. The flashing is installed over the deck and under the siding. The diagram is a cross-section showing the siding, the waterproof decking system, and the 6" x 4" flashing. The flashing is installed over the deck and under the siding.

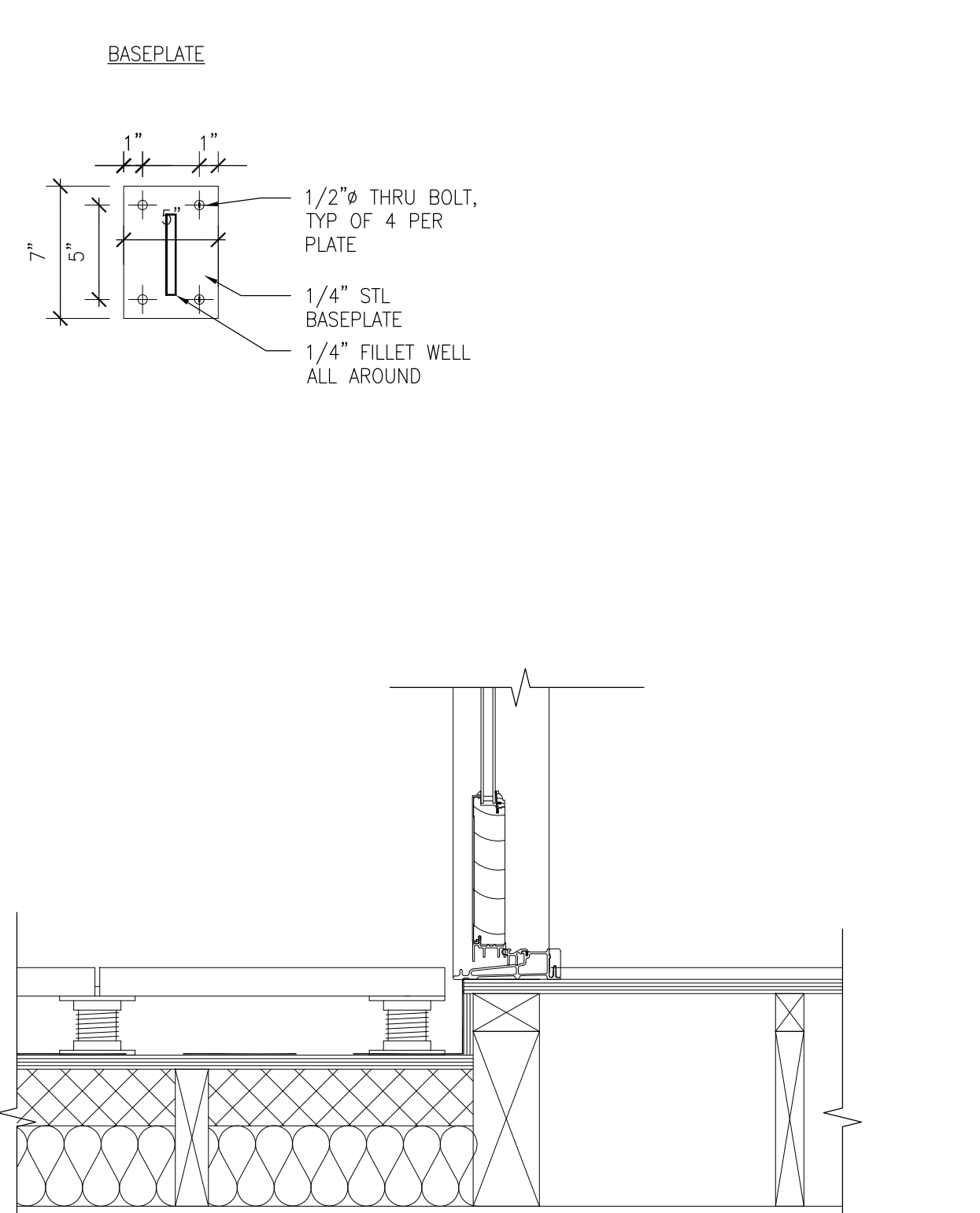
SIDING

MER-KOTE WATERPROOF DECKING SYSTEM

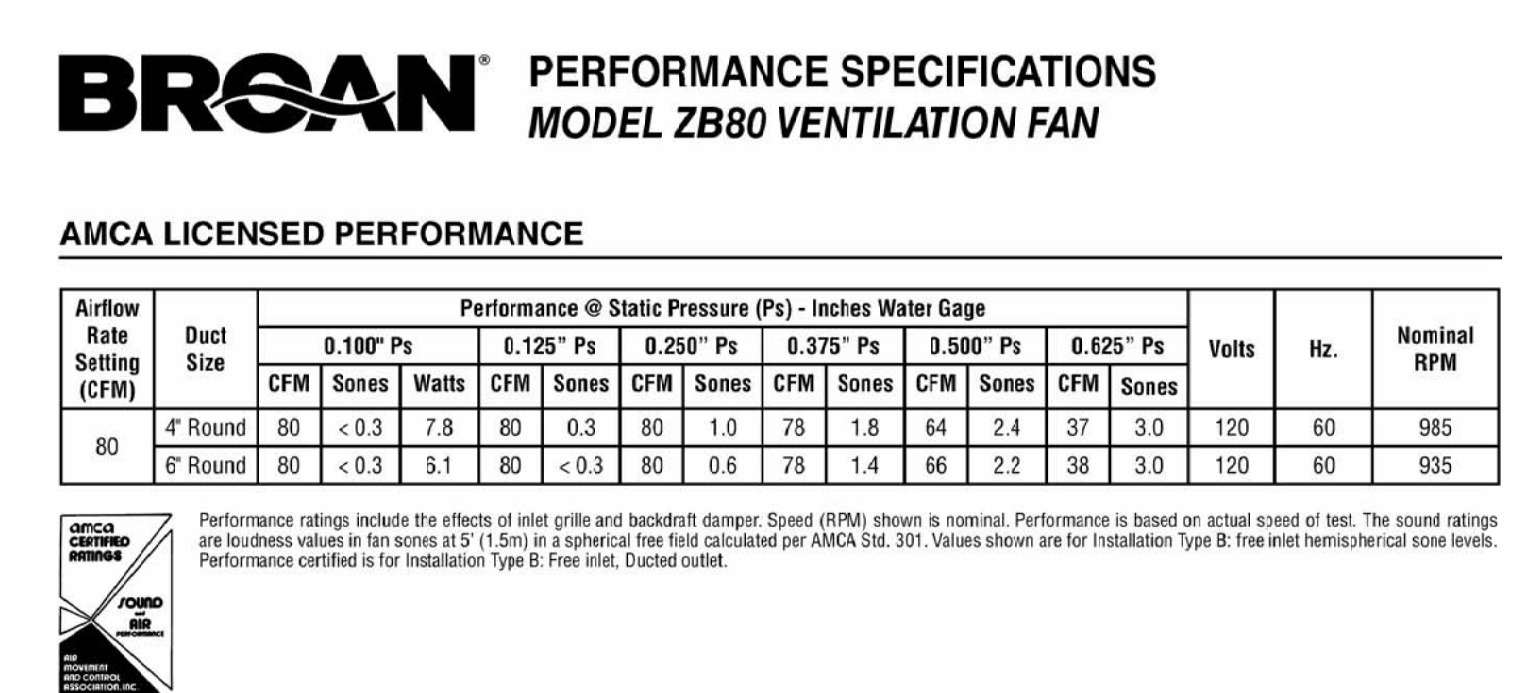
6" X 4" FLASHING

FLASHING AT SIDING

7 FLASHING AT SIDING
SCALE: 6" = 1'-0"




5 SECTION AT DOOR THRESHOLD



HVI PERFORMANCE	ELECTRONIC & WEIGHT
-----------------	---------------------

Airflow Rate (CFM)	6" Duct				4" Duct			
	0.1 P _s - Static Pressure (inH ₂ O)	0.25 P _s - Static Pressure (inH ₂ O)	0.1 P _s - Static Pressure (inH ₂ O)	0.25 P _s - Static Pressure (inH ₂ O)	0.1 P _s - Static Pressure (inH ₂ O)	0.25 P _s - Static Pressure (inH ₂ O)	0.1 P _s - Static Pressure (inH ₂ O)	0.25 P _s - Static Pressure (inH ₂ O)
Airflow (CFM)	Static Pressure (inches)	Power (Watts)	Efficiency (CFM/Watt)	Power (CFM)	Airflow (CFM)	Static Pressure (inches)	Power (Watts)	Efficiency (CFM/Watt)
30	0.3	5.1	13.7	71	70	0.3	5.1	13.7
60	0.3	4.4	13.6	61	60	0.3	5.5	10.9
50	0.3	4.0	12.7	49	50	0.3	5.1	10.3
40	0.3	3.7	12.1	36	40	0.3	4.3	10.9
30	0.3	3.4	11.4	23	30	0.3	3.9	10.2

120 60 0.1 12.5

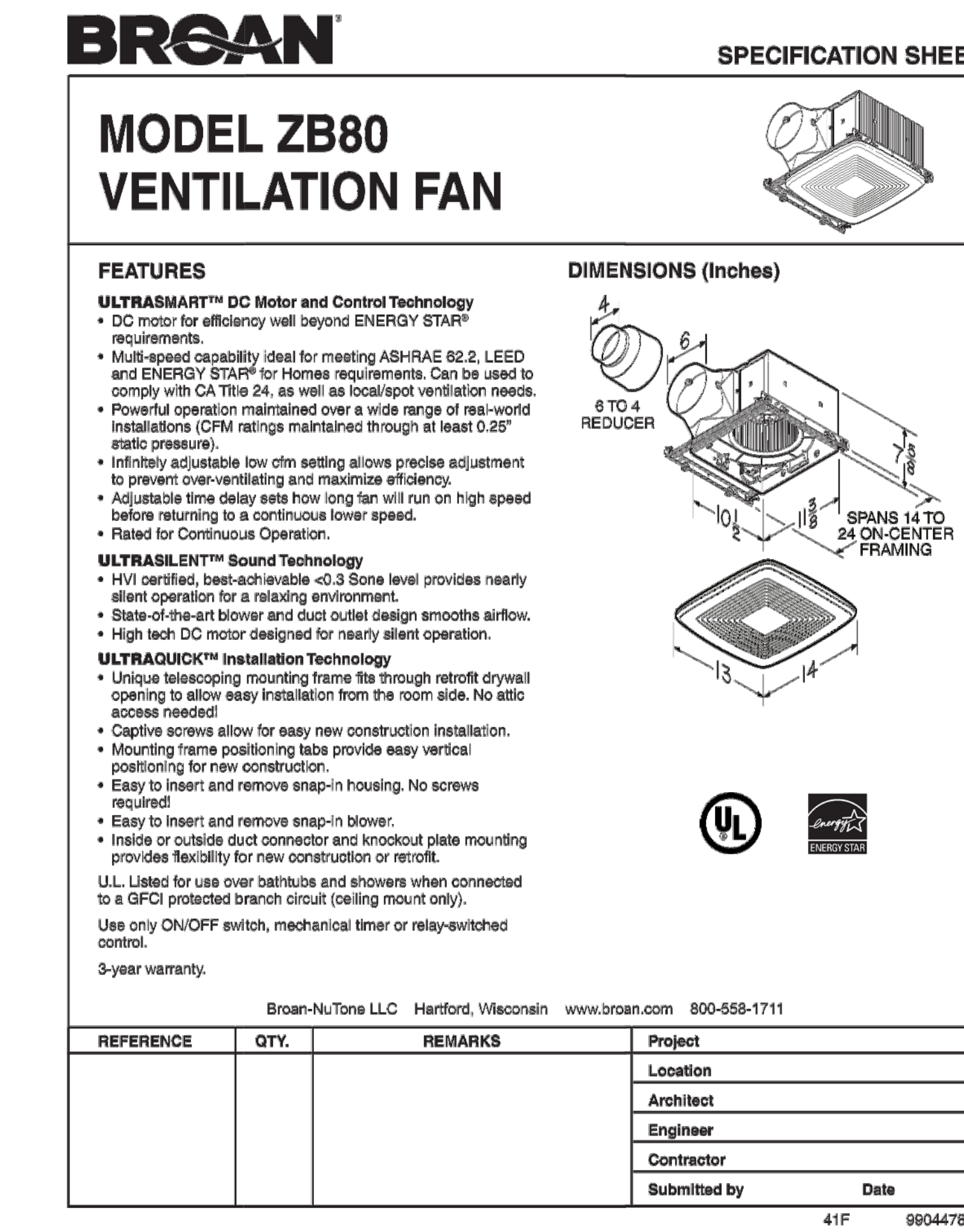
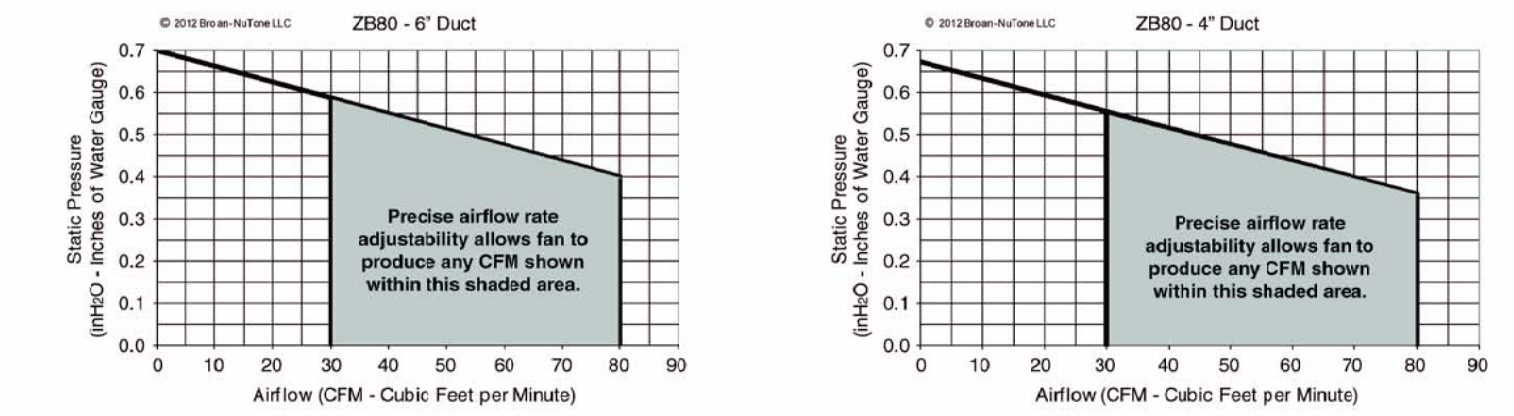


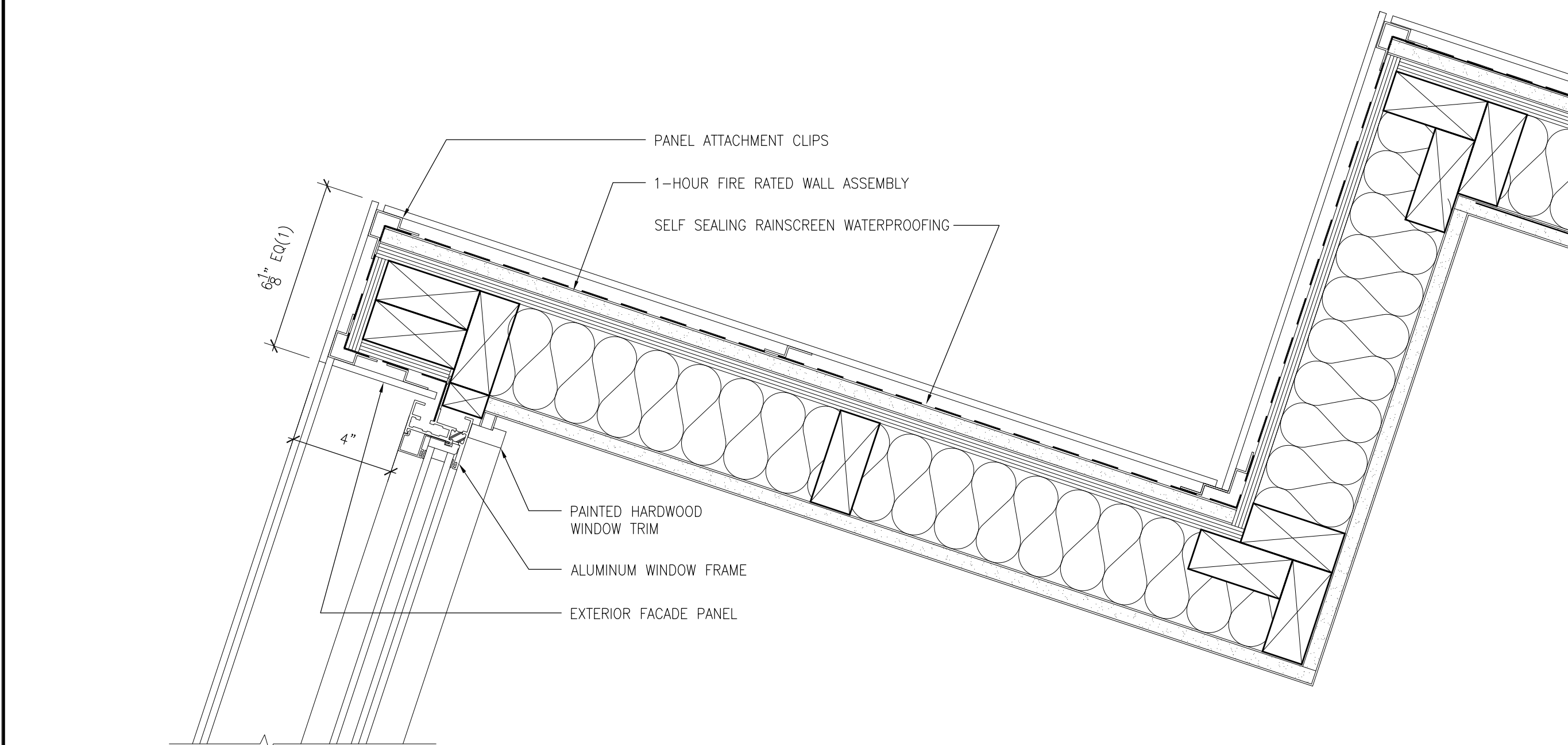
 LISTED
 ENTER AIR

Shipping Weight
(lbs.)

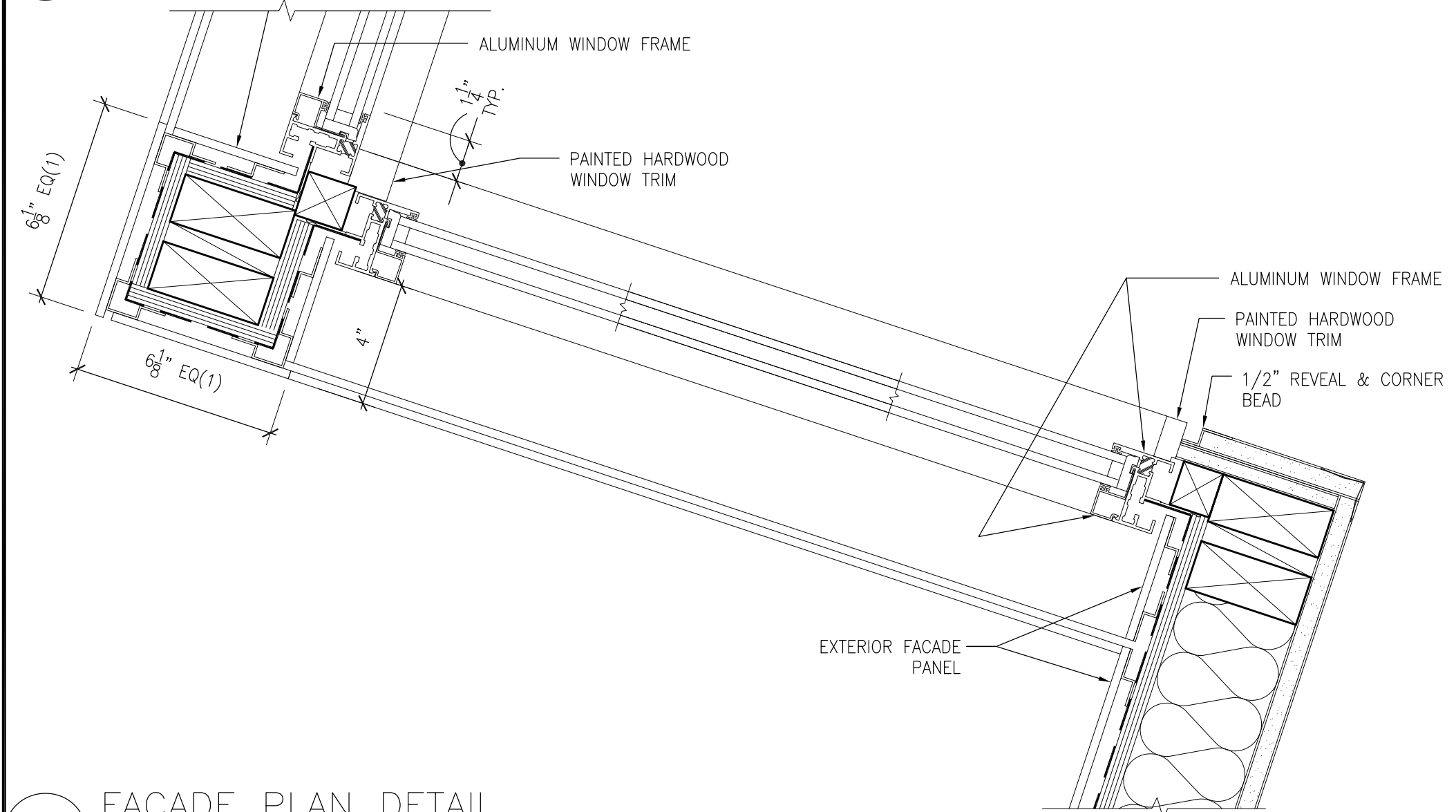
HVI 2100 CERTIFIED HVI-2100 CERTIFIED RATINGS comply with new testing technologies and procedures prescribed by the Home Ventilating Institute, for off-the-shelf products, as they are available to consumers. Product performance is rated at 0.1 in. static pressure, based on tests conducted in a state-of-the-art test laboratory. Scores are a measure of humanly-perceived loudness, based on laboratory measurements.

FAN CAPABILITY

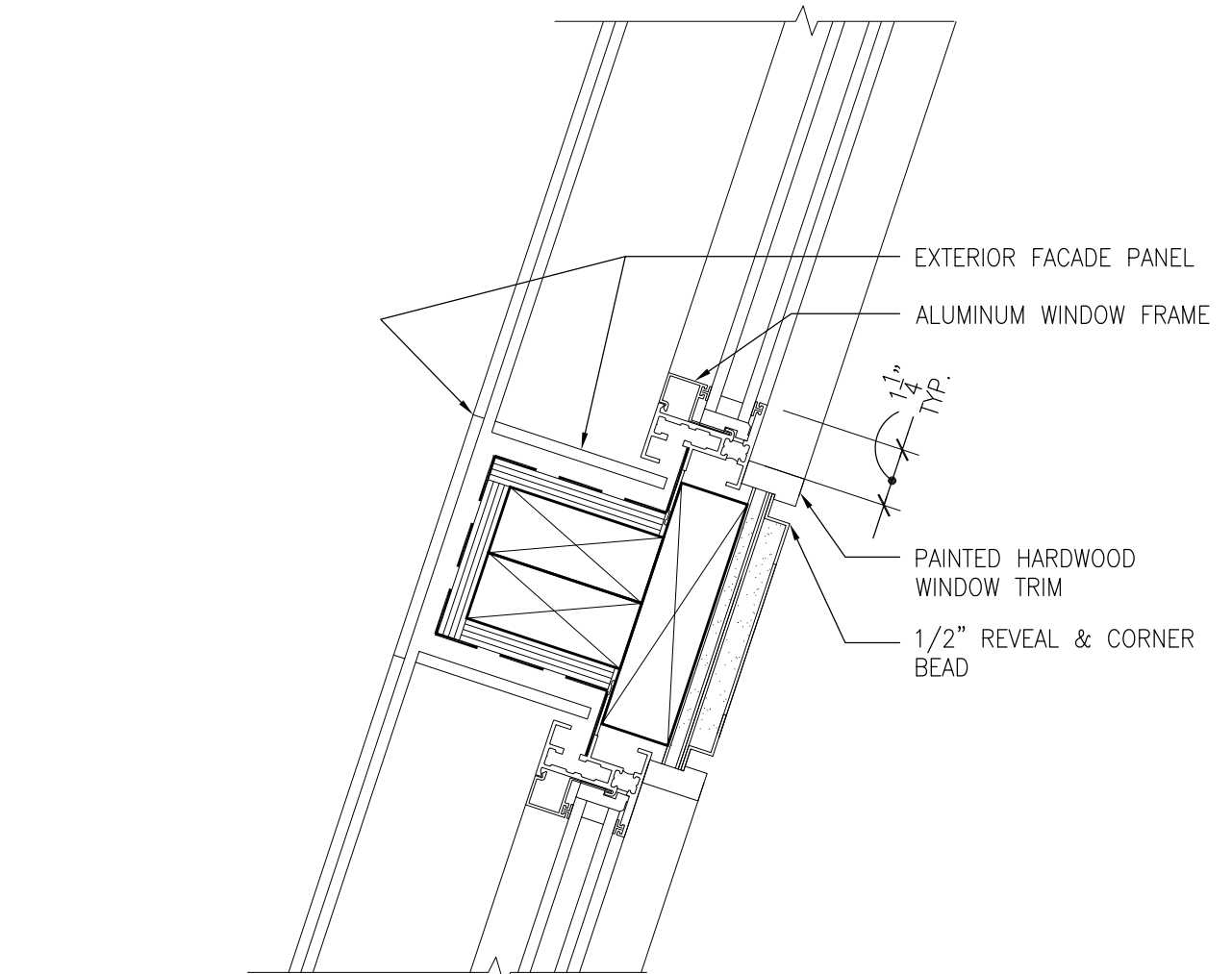




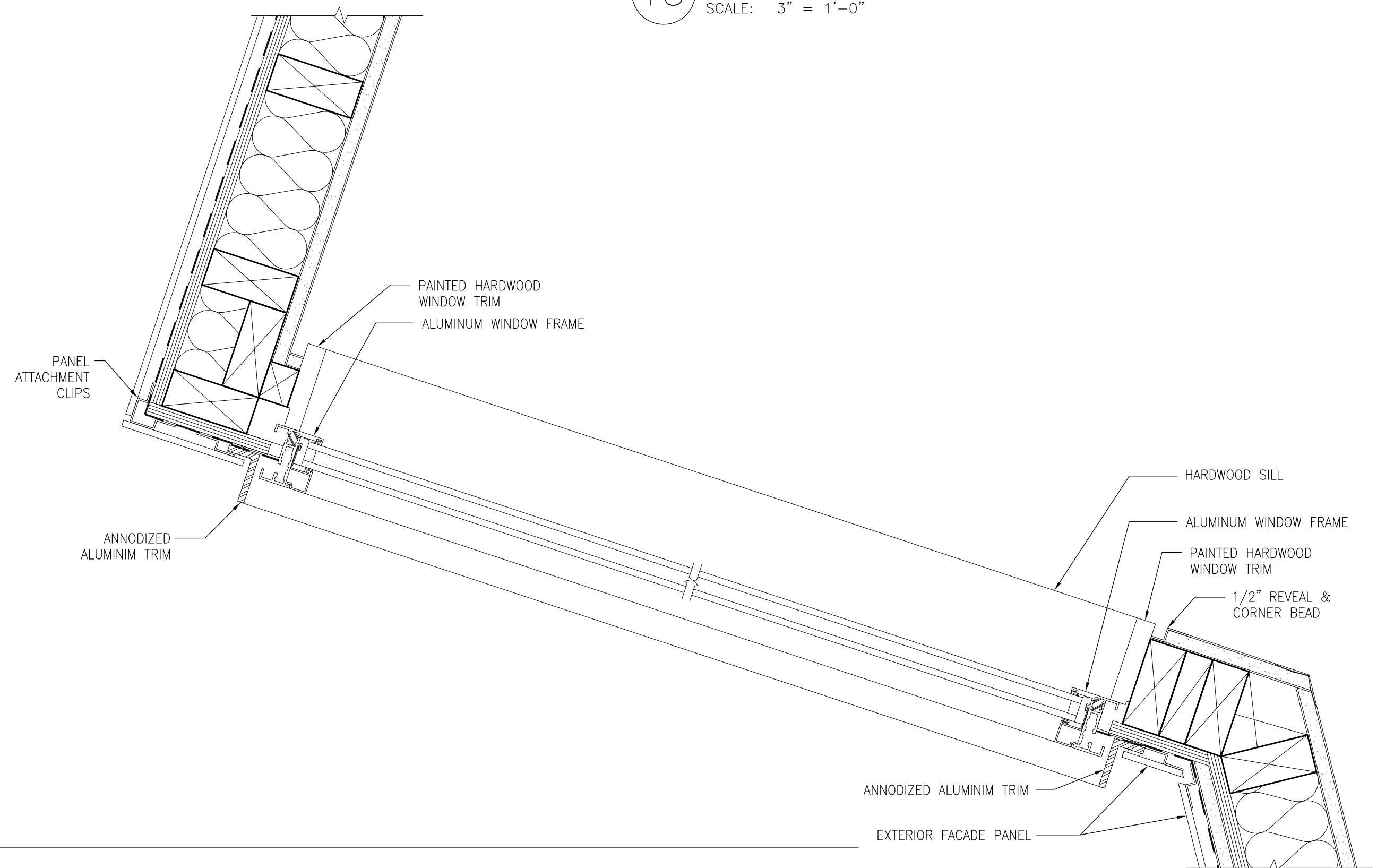
16 FACADE PLAN DETAIL
SCALE: 3" = 1'-0"



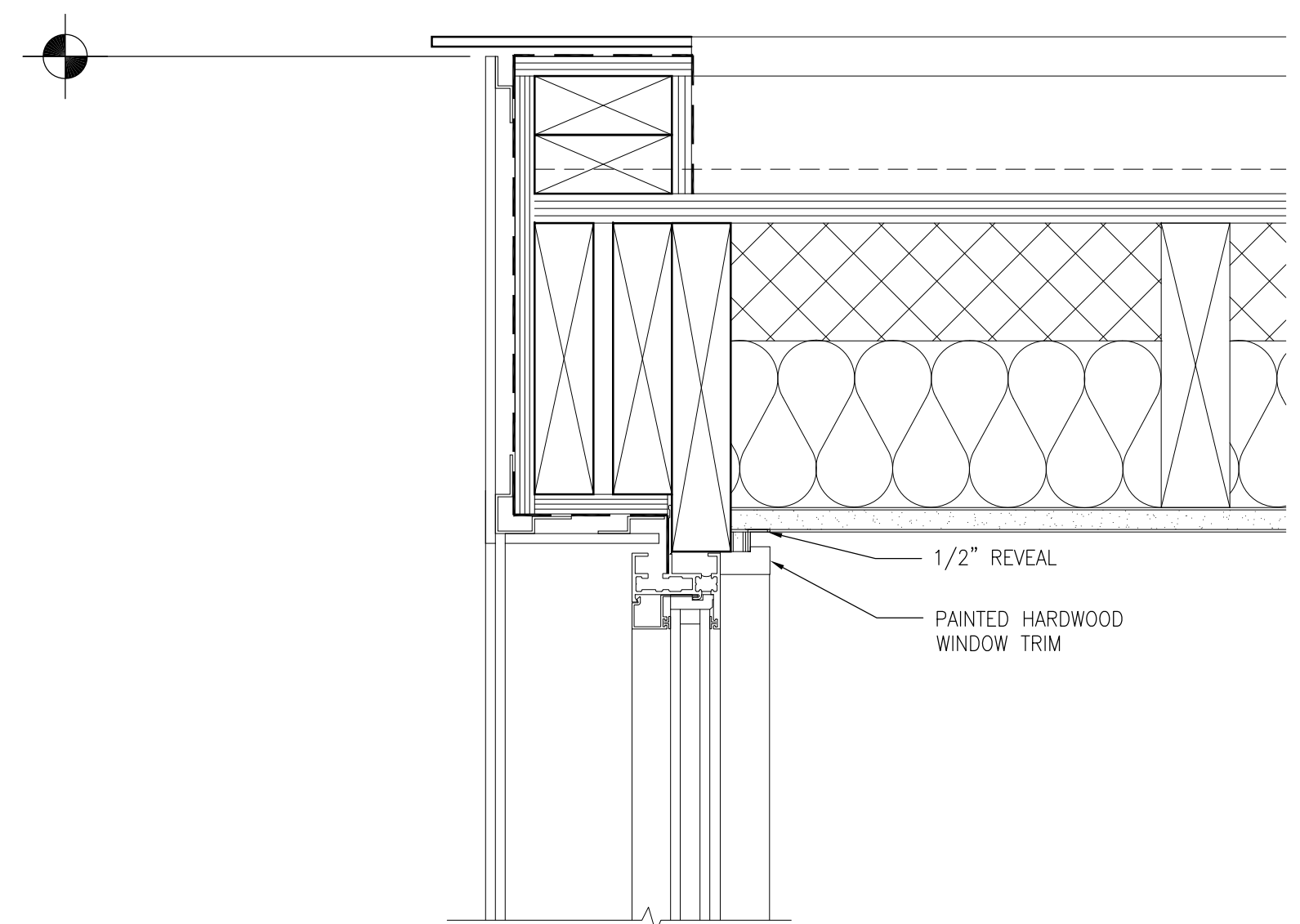
14 FACADE PLAN DETAIL
SCALE: 3" = 1'-0"



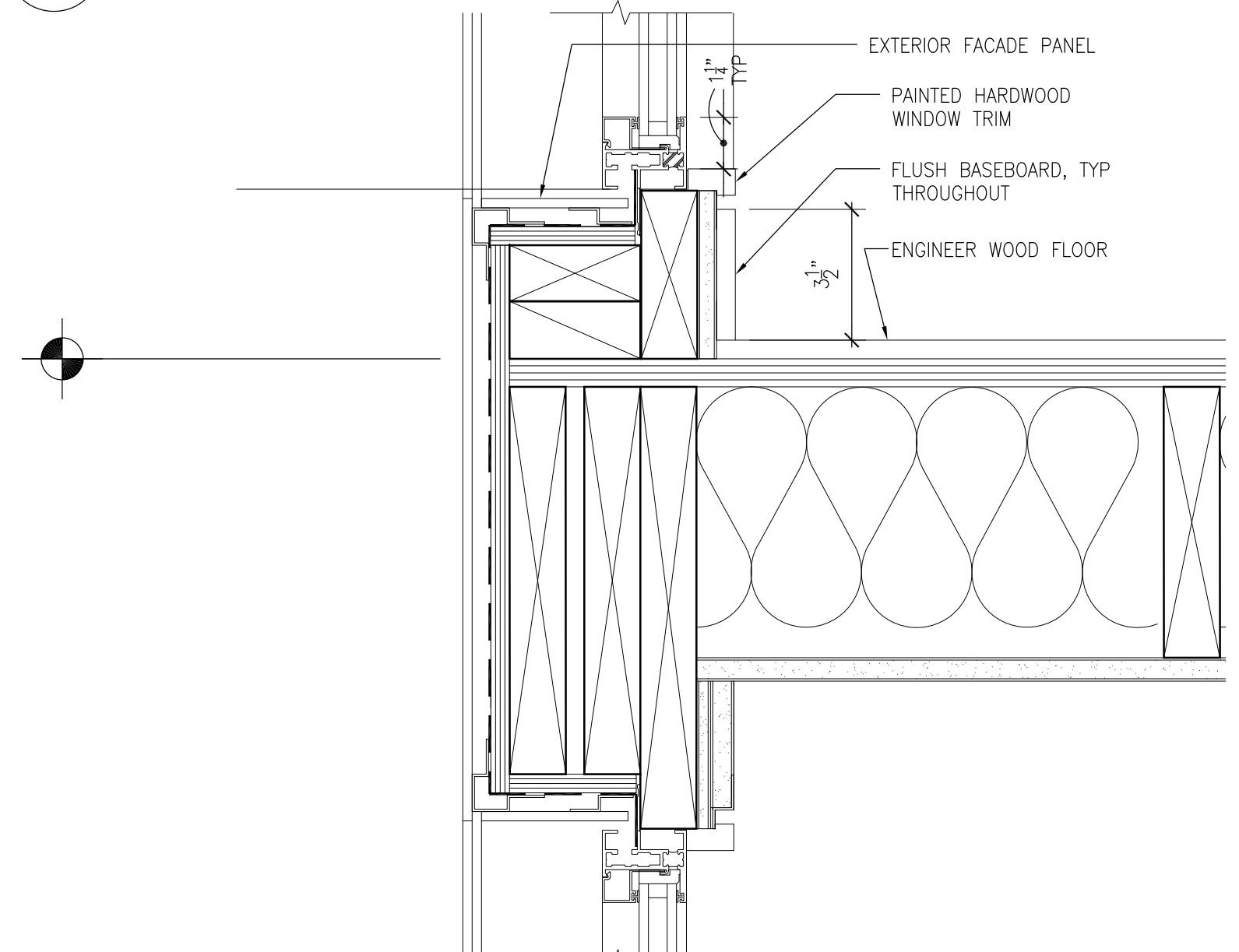
15 FACADE PLAN DETAIL
SCALE: 3" = 1'-0"



13 FACADE PLAN DETAIL
SCALE: 3" = 1'-0"



4 FACADE SECTION DETAIL
SCALE: 3" = 1'-0"



3 FACADE SECTION DETAIL
SCALE: 3" = 1'-0"

OWNER:
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PHONE: 415.431.0869
TK@TKWORKSHOP.COM

ISSUE: DATE:
ISSUED FOR REVISION 08.12.2016

CONSULTANT

APPROVAL

	DRAWN:
	TK
	CHECKED:
	TK
	SCALE:
	AS SHOWN

CONSTRUCTION DETAILS

A8.2

TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 401, SF CA 94107, PHONE/FAX 415.431.0869

2783K DIAMOND STREET



VIEW FROM DIAMOND STREET EAST SIDEWALK
(SHOWN WITHOUT STREET TREE FOR CLARITY)



VIEW FROM DIAMOND STREET EAST SIDEWALK

VIEW FROM DIAMOND STREET
EAST SIDEWALK





VIEW FROM EAST DIAMOND STREET NEAR CHENNER
(SHOWN WITHOUT STREET TREE FOR CLARITY)



VIEW FROM EAST DIAMOND STREET NEAR CHENNERY



VIEW LOOKING NORTH FROM MIDDLE OF DIAMOND STREET

FRONT ELEVATION FLAT PROJECTION





VIEW FROM DIAMOND STREET

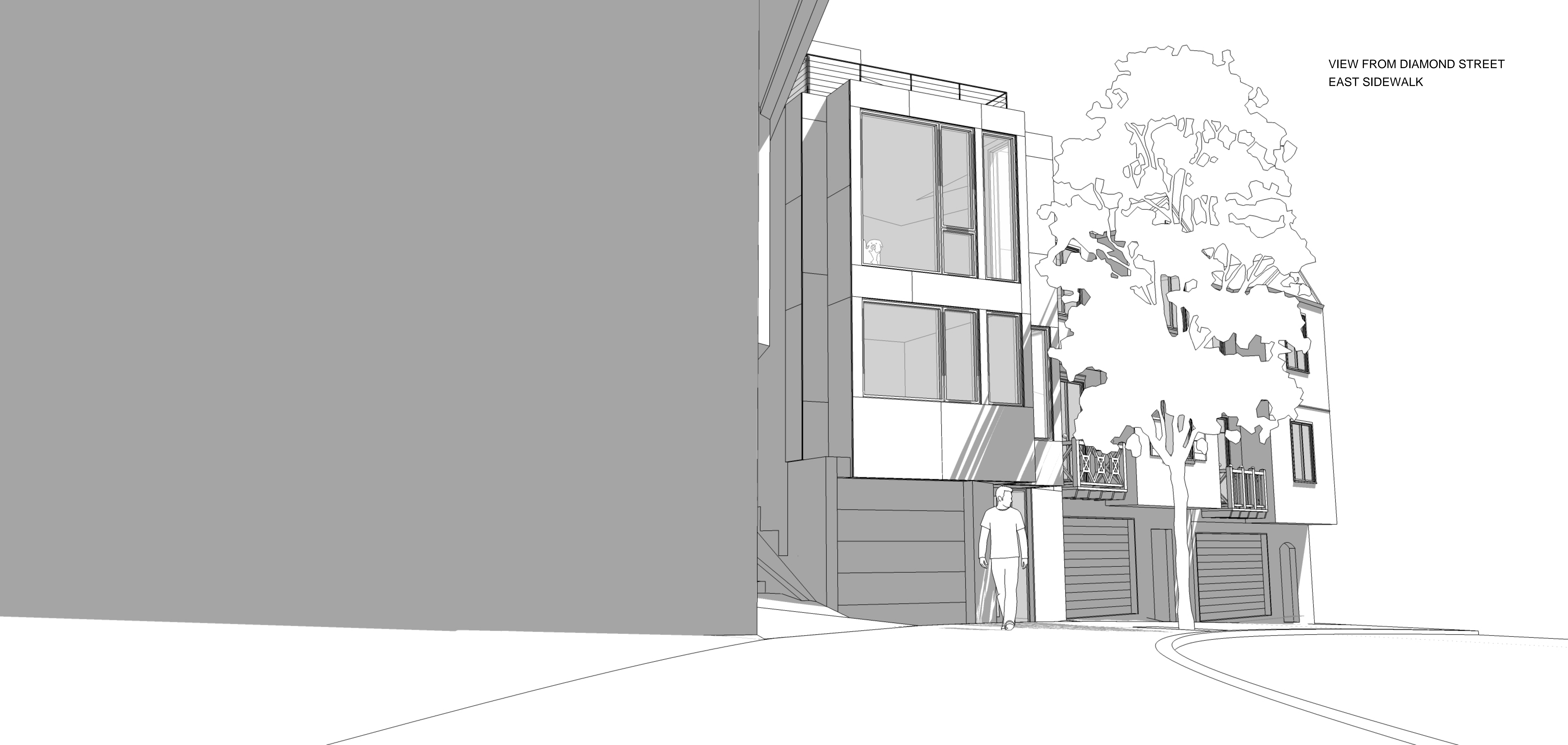


VIEW FROM DIAMOND STREET
(TREE NOT SHOWN FOR CLARITY)

VIEW FROM DIAMOND STREET



VIEW FROM DIAMOND STREET
EAST SIDEWALK



APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME:		
Diamond Street Neighborhood Group		
DR APPLICANT'S ADDRESS:	ZIP CODE:	TELEPHONE:
274 Guerrero Street, San Francisco, CA	94103	(415) 730-3542
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME:		
Troy Kashanipour		
ADDRESS:	ZIP CODE:	TELEPHONE:
2325 3rd Street, Suite 401, San Francisco	94107	(415) 431-869
CONTACT FOR DR APPLICATION:		
Same as Above <input type="checkbox"/> Jeff Cerf		
ADDRESS:	ZIP CODE:	TELEPHONE:
274 Guerrero Street, San Francisco	94103	(415) 730-3542
E-MAIL ADDRESS:		
jeffery.a.cerf@wellsfargo.com		

2. Location and Classification

STREET ADDRESS OF PROJECT:		ZIP CODE:		
2783K Diamond Street, San Francisco		94131		
CROSS STREETS:				
Cheney Street and Surrey Street				
ASSESSORS BLOCK/LOT:	LOT DIMENSIONS:	LOT AREA (SQ FT):	ZONING DISTRICT:	HEIGHT/BULK DISTRICT:
6742 /027A	Irregular	935	RH-2/40-X	40x

3. Project Description

Please check all that apply

Change of Use ☐ Change of Hours ☐ New Construction ☒ Alterations ☐ Demolition ☐ Other ☐Additions to Building: Rear ☐ Front ☐ Height ☐ Side Yard ☐
Community Garden

Present or Previous Use: _____

Proposed Use: New Construction of a four story single family dwelling with a garage and a roof deck

Building Permit Application No. 2016.0413.4699 Date Filed: 9/12/16

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

See attached

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

See attached

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

See attached

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

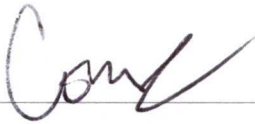
Reduce height and width of proposed building and expand green space. Also redesign building to be in character with other nearby residences. Move building to conform with the established property line.

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: _____



Date: _____

10/11/12

Print name, and indicate whether owner, or authorized agent:

Jeffery Cerf

☒ Owner / ☐ Authorized Agent (circle one)

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input type="checkbox"/>
Address labels (original), if applicable	<input type="radio"/>
Address labels (copy of the above), if applicable	<input type="radio"/>
Photocopy of this completed application	<input type="checkbox"/>
Photographs that illustrate your concerns	<input checked="" type="checkbox"/>
Covenant or Deed Restrictions	<input checked="" type="checkbox"/>
Check payable to Planning Dept.	<input type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input checked="" type="checkbox"/>

NOTES:

☐ Required Material.

☒ Optional Material.

☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only

Application received by Planning Department:

By: DRAR OropenDate: 10/11/14

Discretionary Review for 2783K Diamond Street

Question #5: (page 8)

Although many issues about the size, design, appropriateness and logistics were brought up in a meeting held in the Glen Park Library December 2015, no changes to the plans were made to address these concerns. At the time of the meeting Mr. Kashanipour had committed to holding a second meeting. This has not taken place. Mediation has not taken place.

Section #1: (page 9)

We believe the proposed project at 2783K Diamond Street in the Glen Park neighborhood of San Francisco does not enhance or conserve neighborhood character nor does it adequately balance the impact on nearby properties and occupants with the right to develop the property. These circumstances arise from the irregular lot configuration, the overambitious architect/owner and a disregard for the input provided by the neighborhood.

We the members of The Diamond Street Neighborhood Group are requesting the design to be modified to address:

- The incompatible of the 'monster' design with surrounding residential structures
- The scale of the building as it is not compatible with surrounding residential structures and because of the scale it will create shadows and effect the natural light on neighboring residents
- The possible impact of the building to the street tree, and the trees in neighbors yards
- The resulting loss of the only green space on the block
- The encroachment of the property on the easement between 2783 and 2783K Diamond Street
- Environmental concerns including but not limited to native plants, butterflies, roosting birds and bats

Section 2: (page 9)

As mentioned in the above section the following individuals would be impacted:

- The incompatible of the 'monster' design with surrounding residential structures: All owners and tenants in the close vicinity would be impacted by the incompatibility of the structure
- The scale of the building as it is not compatible with surrounding residential structures: Would affect all owners and tenants in the close vicinity would be impacted by the incompatibility of the structure
- The scale of the building as it will create shadows and effect the natural light on neighboring residents: Would affect tenants and owners of 2785-2787 Diamond Street and Owners of 2783 Diamond Street

Discretionary Review for 2783K Diamond Street - continued

- The possible impact of the building to the street tree, and the tree's in neighbors yards: Would affect all owners and tenants in the close vicinity would be impacted by the severe trimming and potential death of the trees
- The building design results in the loss of the only green space on the block: All neighbors and visitors would be affected by the loss of green space and the serenity it provides for the entire neighborhood
- The encroachment of the property on the easement between 2783 and 2783K Diamond Street: Would affect the various users of the easement and the owners of 2783 Diamond Street
- Environmental concerns: Would affect native plants, animals and, all that care about the environment



2783 V
Diamond St

2783 - 2791 DIAMOND STREET

2785 - 2787 & 2789 - 2791 Diamond Street
Between 2783L Diamond Street
AND
CHENEY STREET



2783L
↖



LEYLAND CYPRESS OVERHANGING 2783K DIAMOND STREET
41 SURREY STREET



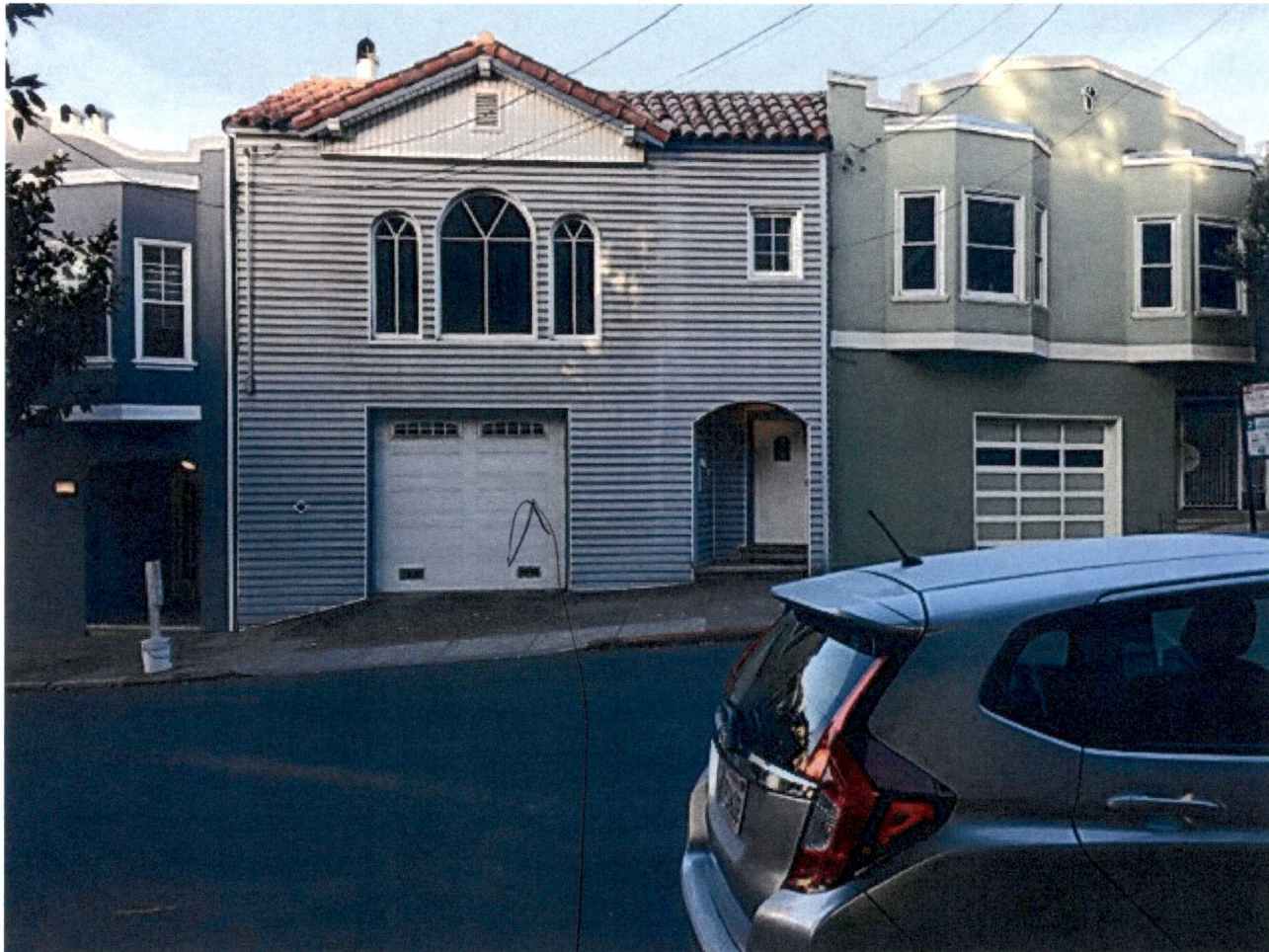
LEMON BOTTLE BRUSH TREE - STREET TREE
2783K DIAMOND STREET



2775 Diamond 2779 Diamond
UP THE STREET FROM 2783K



2786 Diamond St 2780 - 2782 Diamond St
Across from 2783K



2772 Dixmore St
Across from 2703k