



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis HEARING DATE: JANUARY 24, 2019

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: January 14, 2019
Case No.: **2018-005189DRP**
Project Address: **216 Head St.**
Permit Application: 2010.1105.4435
Zoning: RH-1 [Residential House, One-Family- Detached]
40-X Height and Bulk District
Block/Lot: 7135/023
Project Sponsor: Derek Vinh,
ICE Design
90 South Spruce Ave. suite K
South San Francisco, CA 94080
Staff Contact: David Winslow – (415) 575-9159
David.Winslow@sfgov.org
Recommendation: **Do not take DR and approve**

PROJECT DESCRIPTION

The project consists of new construction of 3-story single-family house.

SITE DESCRIPTION AND PRESENT USE

The site is a vacant 25' wide x 100' lot near the end of Head Street, a one block long dead-end street.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

This block of Head St. consists of vacant lots, a church and 1 to 3-story wood and stucco clad houses, including two three-story buildings immediately adjacent to the proposed project. The mid-block open space is minimal --limited by the 4 adjacent properties' rear yards.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	September 12, 2018 – October 12, 2018	10.26.2018	1.24. 2019	90 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	20 days	January 5, 2019	January 5, 2019	20 days
Mailed Notice	20 days	January 5, 2019	January 5, 2019	20 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	0	0	0
Other neighbors on the block or directly across the street	0	0	0
Neighborhood groups	0	0	0

DR REQUESTOR

Marc Christensen, of 60 Kempton Ave. of the Merced Extension Triangle Neighborhood Association, on behalf of adjacent neighbors.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

1. Drainage;
2. Increased density above the zoned single-family land use;
3. Blockage of existing windows and skylights;
4. Sunlight and solar access to solar panels;
5. Impacts to emergency access of dead end street;
6. Seismic hazard of 3-story house.

Requested changes:

1. reduce height to 20'-6" or less;
2. reduce the building depth to 46'-11" or less;
3. provide a minimum of 5' wide side setback on the North side;
4. provide proper water drainage system to prevent overflow to adjacent properties.

See attached *Discretionary Review Application*, dated October 26, 2018.

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

The sponsor has complied with the Planning Code and Residential Design Guidelines especially in relation to building height and massing at the rear to address issues related to scale. To address drainage additional permeable landscaping was incorporated into the site design. The project will not have a significant effect on light.

See attached *Response to Discretionary Review*, dated November 20, 2018.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

RDAT found that the scale and massing of the proposed new building is compatible with adjacent buildings, and that the following issues raised by the DR requestor are not exceptional or extraordinary. Specifically:

1. Drainage is an issue addressed by Department of building inspection.
2. Increased density above the zoned single-family land use is speculation. What is proposed complies with the current Zoning and any infraction would become an enforcement issue.
3. The proposed blockage or diminishment of light to existing windows and skylights are not exceptional or extraordinary; property line windows are not protected.
4. Sunlight and solar access to solar panels is not protected.
5. Impacts to emergency access of dead-end street are not Planning Department issues, but dead-end streets with greater density exist throughout the City without detriment to public safety and welfare.
6. A 3-story house engineered to current codes is not considered a seismic hazard.

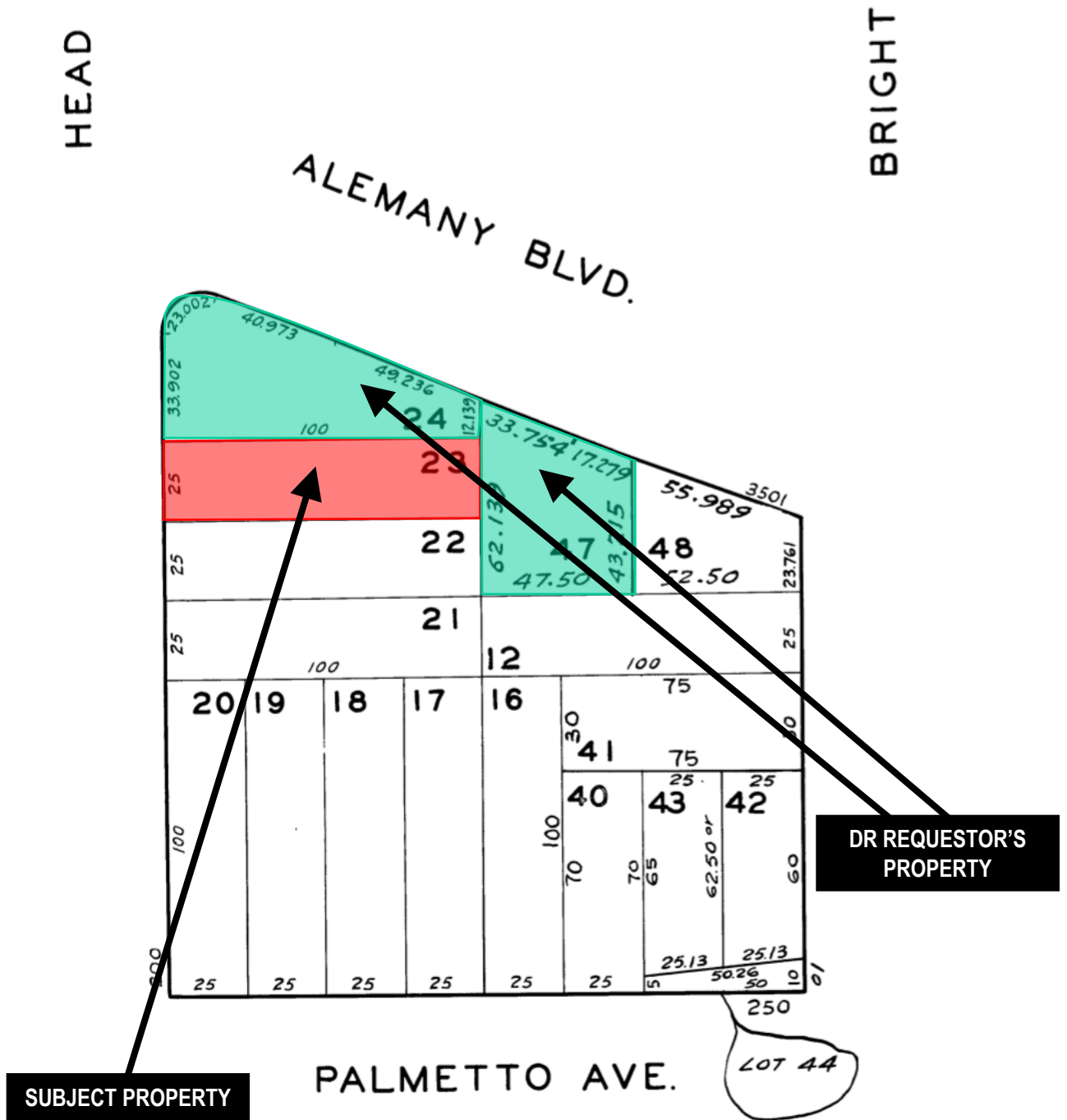
RECOMMENDATION: Do not take DR and approve project
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Attachments:

Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Context Photographs
Section 311 Notice
CEQA Determination
DR Application
Response to DR Application dated November 20, 2018
Reduced Plans

Exhibits

Parcel Map



Discretionary Review Hearing
Case Number 2018-005189DRP
216 Head Street

ONLY FOR HISTORICAL CONTEXT

ALABAMA

ALABAMA

3549

3521

135

CHURCH

PALMETTO AV.

BRIGHT

HEAD

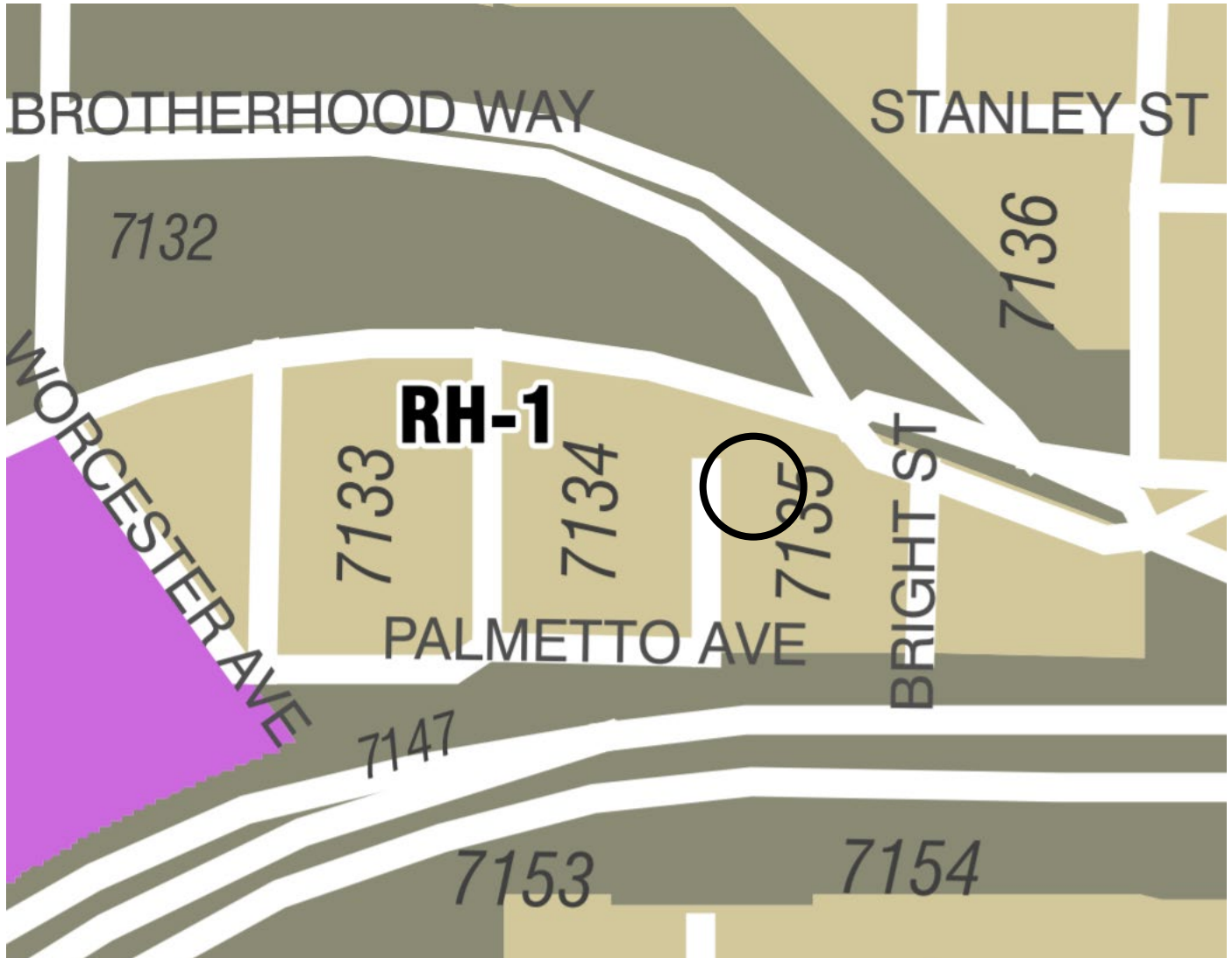
DR REQUESTOR'S PROPERTY

T PROPERTY



SAN FRANCISCO
PLANNING DEPARTMENT

Zoning Map



Aerial Photo



SUBJECT PROPERTY

**DR REQUESTOR'S
PROPERTY**



Discretionary Review Hearing
Case Number 2018-005189DRP
216 Head Street

Aerial Photo



SUBJECT PROPERTY

DR REQUESTOR'S
PROPERTY



Discretionary Review Hearing
Case Number 2018-005189DRP
216 Head Street

Aerial Photo



DR REQUESTOR'S
PROPERTY

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2018-005189DRP
216 Head Street

Aerial Photo



Site Photo



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2018-005189DRP
216 Head Street



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **November 5, 2010**, the Applicant named below filed Building Permit Application No. **2010.11.05.4435** with the City and County of San Francisco.

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	216 Head Street	Applicant:	Derek Vinh
Cross Street(s):	Palmetto Avenue	Address:	90 South Spruce Ave, Ste. K
Block/Lot No.:	7135/023	City, State:	San Francisco, CA 94080
Zoning District(s):	RH-1 / 40-X	Telephone:	650.741.6968
Record No.:	2016-005189PRJ	Email:	info@icedesigninc.com

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Vacant	Residential
Front Setback	N/A	14'-10"
Side Setbacks	N/A	N/A
Building Depth	N/A	63'-2"
Rear Yard	N/A	22'
Building Height	N/A	31'
Number of Stories	N/A	3
Number of Dwelling Units	N/A	1
Number of Parking Spaces	N/A	2
PROJECT DESCRIPTION		
The proposal is a new construction three story four bedroom single family building.		
The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.		

For more information, please contact Planning Department staff:

Planner: Cathleen Campbell
Telephone: (415) 575-8732
E-mail: cathleen.campbell@sfgov.org

Notice Date: 10/01/18
Expiration Date: 10/31/18



San Francisco
Planning

PROJECT APPLICATION RECORD NUMBER (PAR)

2016-005189DRP

RECEIVED

OCT 26 2018

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
PIC

DISCRETIONARY REVIEW PUBLIC (DRP)
APPLICATION

Discretionary Review Requestor's Information

Name: MARC CHRISTENSEN

Address: 60 KEMPTON AVENUE

SAN FRANCISCO CA 94132

Email Address: christensen.marc.melna@gmail.com

Telephone: 415-585-2465

Information on the Owner of the Property Being Developed

Name: BILL YUTSZ CHOI / ANNA YAN TA / ALFRED LEE

Company/Organization: _____

Address: 216 HEAD STREET

Email Address: _____

Telephone: _____

Property Information and Related Applications

Project Address: 216 HEAD STREET

Block/Lot(s): 7135 / 023

Building Permit Application No(s): 2010. 11.05. 4435

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?	✓	
Did you discuss the project with the Planning Department permit review planner?		✓
Did you participate in outside mediation on this case? (including Community Boards)		✓

DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

PLEASE REFER TO ATTACHED LETTER(S) TO MS. CATHLEEN CAMPBELL, PLANNER, WHICH EXPLAIN PROBLEMS.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

THE PROPOSED HEIGHT AND DEPTH WILL DRASTICALLY AFFECT THE THE SUNLIGHT ON SOLAR PANELS TO AN ADJACENT PROPERTY. THE LACK OF PROPER DRAINAGE WILL CONTINUE TO FLOOD TWO ADJACENT PROPERTIES (TO THE NORTH, AND TO THE NORTH-EAST CONTINUING TO DAMAGE BOTH PROPERTIES. (SEE ATTACHED LETTERS).

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

1) REDUCE BUILDING HEIGHT TO 20'6" OR LESS. 2) REDUCE BUILDING DEPTH INTO BACK YARD TO 46'11" OR LESS 3) PROVIDE MINIMUM OF 5' WIDE EASEMENT ON NORTH SIDE OF PROPERTY (AS WAS THE CASE WITH THE PREVIOUS BUILDING 4) PROVIDE PROPER WATER DRAINAGE SYSTEM ON THE PROPERTY TO PREVENT FLOODING ON TO ADJACENT PROPERTIES. 5) PROVIDE PROPER DEPTH OF BACKYARD LANDSCAPING TO PREVENT OVERFLOW OF SOIL ON TO ADJACENT PROPERTIES.

DISCRETIONARY REVIEW REQUESTOR'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

- a) The information presented is true and correct to the best of my knowledge.
- b) Other information or applications may be required.



Signature

MARC CHRISTENSEN

Name (Printed)

NEIGHBORHOOD ASSOCIATION

Relationship to Project
(i.e. Owner, Architect, etc.)

415-585-2465

Phone

christensen.marc.metna@gmail.com

Email

For Department Use Only

Application received by Planning Department:

By:



Date:

10/26/2018

From: Paul Chow
3521 Alemany Blvd.
San Francisco, CA 94132

Date: Oct. 22, 2018

To: San Francisco Planning
1650 Mission Street, #400
San Francisco, CA 94103

Re: Letter of Authorization for Agent

To Whom It May Concern,

As the owner of 3521 Alemany Blvd, I give permission to Marc Christensen, METNA President, to communicate with the San Francisco Planning Department on my behalf. Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read 'P. Chow', with a stylized flourish at the end.

Paul Chow

cc
Marc Christensen, METNA President
Steve Heide, METNA Neighborhood Improvement

October 23, 2018

San Francisco Planning
1650 Mission Street, #400
San Francisco, CA 94103

Re: Letter of Authorization for Agent

To: Whom it May Concern,

I, Sandra Lopez, owner of 218 Head St, SF, CA 94132, authorize Marc Christensen and Glen Hatakeyama, President and Vice-President of METNA to represent me with the San Francisco Planning Department.

Yours truly,

A handwritten signature in dark ink, appearing to read "Sandra Lopez", with a stylized flourish at the end.

Sandra Lopez
218 Head St
SF, CA 94132

MERCED EXTENSION TRIANGLE NEIGHBORHOOD ASSOCIATION
60 KEMPTON AVENUE, SAN FRANCISCO, CA. 94132
415-585-2465

Cathleen Campbell, Planner
San Francisco Planning Department
1650 Mission Street
San Francisco, CA 94103

Re: Project Address: 216 Head Street
Record No. 2016-005189PRJ

October 22, 2018

Dear Ms. Campbell:

As president and vice-president of the Merced Extension Triangle Neighborhood Association (METNA), we are requesting a Discretionary Review hearing regarding the property at 216 Head Street (Block 7135, lot No. 023).

We are in receipt of several letters from adjacent neighbors to address concerns of a planned new construction listed as a "single family home, three story, four bedroom," in a RH-1/40X Zoning District.

A building Permit Application No. 2010.11.05.4435 (November 5, 2010) was filed. At the time there was an abandoned single story, one or two bedroom, uninhabitable building at 216 Head Street. The existing building at that time had numerous building complaints filed over a period of 7-21-03 to 11-5-10, and from 11-5-10 until the building was demolished on 5-18-18. In the period 11-5-10 to early 2018 no less than 15 complaints and notice of violations, and/or orders of abatement were filed regarding 216 Head Street.

During that period of time the owners of the property listed as Bill Yu Tsz Choi and Anna Yan Ta basically ignored all violations and were fined numerous times, according to records from the Department of Building Inspection. Also listed as an owner is Alfred Lee.

Alfred Lee built the two adjacent three story single family homes at 208 and 212 Head Street in 2005. We are not certain if Alfred Lee still owns the two adjacent buildings. However what is known is that as soon as the Department of Building Inspection signed off on the buildings for occupancy, the buildings were immediately transformed in to multiple unit dwellings, with four doorbells at each property, and according to tenants living in those buildings over the years, the "single family home" was divided into four units, with four distinct inside front doors, for what we understand is a violation of the zoning laws. There is further concern that this will be done again with the 216 Head Street property.

An April 7, 2017 Pre-Application Meeting did not list this as "new construction", and there was listed: a) a vertical addition of 7 feet or more, and b) a horizontal addition of 10 feet or more.

Plans dated 9/23/2010 are different from plans dated 11/06/2014, with a print date of May 31, 2018. These issues as to what is actually going to be built on the site need to be addressed.

Additionally, there are issues with the lot in its current state and related drainage issues that have plagued the homes to the north at 218 Head Street and to the east at 3521 Alemany Blvd. that must be addressed prior to the issuance of any building permits. We do not see any mitigation measures in place.

There are mounds of dirt/sand that were moved on to the lot behind the uninhabited home in approximately 2004 when construction began at 208 and 212 Head, according to the next door neighbor. It is unclear how much of that dirt will be removed/excavated prior to the new construction. These mounds of excess dirt that were not on the lot prior to 2004 have most likely contributed to the runoff of water from the 216 Head Street property on to the adjacent neighbors property to the north at 218 Head Street and to the east at 3521 Alemany Blvd.

There used to be an easement on the north side of the property at 216 Head that provided daylight to the building to the north. Plans for the three story new construction eliminate any easement and in fact place the building right on the property line to the north. This new alignment blocks any daylight into a window on the south side of the 218 Head Street property. The window will now face directly into the side of the newly constructed building.

The previous building was one story tall at 216 Head. The new building will be three stories tall, thus casting shadows not only on the building at 218 Head Street from late morning to late afternoon, but also casting shadows on to the property to the east at 3521 Alemany Blvd., which has solar panels on the roof, relying on daytime sunlight. This will severely impact the solar panels.

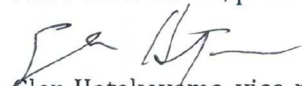
A window is shown on the newest plans on the north side, which will look directly down into the existing skylight at the property at 218 Head, giving less privacy to the occupants of the existing building.

These all are issues that need to be addressed through the discretionary review process. We look forward to a favorable response from the Planning Department.

Sincerely,



Marc Christensen, president



Glen Hatakeyama, vice-president

Merced Extension Triangle Neighborhood Association

216 Head Street – History

Bureau of Building Inspection

9-30-05	Complaint "case opened" (Becker)
9-30-05	*Notice of violation issued (Becker) by Sr. Bldg Insp. Thomas Venizelos
6-25-10	Complaint "case opened" (Howard)
7-26-10	*Notice of violation sent- Abandoned building (Howard)
11-5-10	Inspection (Thomas Venizelos) "Case abated" (Howard)
11-5-10	Fee paid
11-12-10	PPC (Garland Simpson) – "route to op-zoc.gis"
8-22-11	Complaint: posted 10-26-11 (Mather)
10-26-11	Inspection – posting "Abandoned building" (Mather)
12-1-11	*Notice of violation sent (Mather)
4-12-12	Director's Hearing – owners do not attend (Mather)
5-3-12	Order of abatement – penalty, fees (Mather)
5-7-13	Vacant or Abandoned Building notice issued
12-3-13	Complaint "case opened" (Lei)
12-4-13	*Notice of violation mailed (Gunnell)
2-11-14	Complaint "case opened" (Bragg)
2-12-14	Case closed (Bragg)
2-27-14	Meet at site with Inspector Mike Gunnell
2-27-14	**2 nd notice of violation" mailed (Gunnell)
4-7-14	Case opened (Yin Sheng Lei)
4-7-14	*Notice of violation issued. "correct violations within 30 days (YS Lei)
5-7-14	*Notice of violation—failure to comply to Notice of 7Apr14. "Therefore this Dept. has initiated Abatement Proceedings." (Mike Gunnell)
5-27-14	*(5-28-14) "Declaration of Service CVomplaint(s) and Notice of Director's Hearing by mail." Code enforcement section, Hearing 2011465263 (Inspector – Lei, Tom C. Hui, Director)
6-17-14	Director's Hearing – "OOA issued at hearing (Lei)
6-17-14	Application for Registration of Vacant or Abandoned Building. "We did not receive this notice." (Yin Kwan Tam)
6-17-14	Fees paid.
6-19-14	Order of abatement issued. (Lei)
6-27-14	*Order of abatement sent. (Patrick O'Riordan, Chief Bldg. Inspector)
7-14-14	*Declaration of Service of Order of Abatement by mail(Tom C. Hui, Director)
9-19-14	Assessment fees sent (Patrick O'Riordan)
1-27-15	Complaint. Case opened. "Abandoned building, neighbors complaining year after year." (Y. Lei)
1-27-15	Abandoned building, building posted. (Y. Lei) "Correct violations within 30 days. Failure to comply with this notice will cause abatement proceedings to begin." (Lei)
3-13-15	**"Failure to comply with <u>first</u> notice dated 1-27-15." Second notice sent. (Alan Yin Lei)

216 Head Street History *con't*

Bureau of Building Inspection (page 2 of information)

6-5-15 (6-15-15) "Declaration of Service of 5 Day Notification prior to Transmittal of Delinquency Report by Mail—multiple assessment costs.(Lei/O'Riordan)
7-14-15 "10 Day Public Hearing Notification, re: Special Assessment Lein, (July 28, 2015). (Patrick O'Riordan)
7-28-15 Hearing held. *No information available regarding disposition.*
4-25-17 Meeting with architect of Property (216 Heard) at 90 South Spruce Avenue Suite K, South San Francisco to look at plans for a new building, and to Discuss neighbors concerns for demolition of current structure.
7-21-17 Met with Todd Kennedy, Planning Dept., at 216 Head
7-31-17 Met with Lt. Michael Patt, Fire Inspector (SFFD) at 216 Head, regading safety and fire code violations.

7-21-03 First inquiry re: abandoned property/blight on neighborhood
9-30-05 First "official" complaint
11-5-10 Contact Thomas Venizelos 415-558-6096
11-12-10 Garland Simpson 415-558-6133
7-23-13 Jessica Look 415-558-6377
Tom Venizelos, Sr. Bldg. Inspector 415-558-6107
8-1-17 Patrick O'Riordan , Sr. Building Inspector 415-558-6105

Paul Chow

3521 Alemany Blvd. • San Francisco, CA 94132 • Phone: 1.415.345.5810
E-Mail: pchow@pycung.com

Date: Oct. 22, 2018

Cathleen Campbell
Planner
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: Building Permit Application No. **2010.11.05.4435**, 216 Head Street, Block 7135 / Lot 023

Dear Ms. Campbell,

My name is Paul Chow and as the property owner adjacent to the proposed project, I am requesting a Discretionary Review as part of our neighborhood community association, METNA (Merced Extension Triangle Neighborhood Association), for the following reasons:

- Poor water drainage from 216 Head Street has cause extensive water damage to my property for the past several years during the rainy season. I have video evidence showing water gushing from its backyard and flooding into my garage. The proposed project does not address this continuing problem.
- The listed owner/representative, Alfred Lee, was involved with renovating the two adjacent properties to the south of 216 Head Street and have turned both properties zoned for RH-1 into 4-story apartment complexes with extensive fire escape systems in the back of the buildings. It is my concern that this will happen again with this project, creating another multi-unit rental property.
- It has been observed by the Pastor of The Golden Gate Church Of Christ Holiness U.S.A. at 201 Head Street that there have been more than sixteen additional cars parked in the area since the two 4-story apartment complexes went up. Should this continue with the proposed property, parking will be nearly impossible in the area.
- The proposed combination of three stories and extension of the building into its backyard will dramatically decreased the sunlight to my property and adversely affect my solar panels.

Thank you in advance for allowing my concerns to be heard.

Sincerely,



Paul Chow

cc
Marc Christensen, METNA President
Steve Heide, METNA Neighborhood Improvement

San Francisco Planning Department
1650 Mission Street, STE 400
San Francisco, CA 94103
Att: Ms. Cathleen Campbell

October 22, 2018

Dear Ms. Campbell:

Re: Building Permit Application No. 2010.11.05.4435
BLK 7135/023 -216 Head St, Zoning RH-1/40-X

First of all, thank you for taking the time to review some of the concerns regarding the project under your jurisdiction.

I am the owner of 218 Head St and the most affected neighbor on this project. I am kindly requesting a "Discretionary Review" due to the facts indicated below.

1. I have not received a surveyor document that describes the property lines between the two properties.
2. For the last 30 years of ownership, I had an easement alley between the two properties, 5 feet in distance, which appears to disappear if the plans are accepted as filed.
3. I need a details of the foundation depth as well as the footings and how it will impact my house structure. My engineer will review the new drawings presented.
4. Building three story building next to my house will create a weigh problem against my foundation. In particular due to the slope terrain and sand type of soil.
5. We need an environmental study to determine if the sandy soil on a slope terrain will not create a problem with a three story building next to a single family home property. Is this safe in an earthquake situation?
6. My big biggest concern is that my house basement has been flooded during the last four raining seasons creating a mold problem. This is due to the lack of a proper drain system. Plus the high dirt of about 12 feet left on the 216 Head property since 2004. Rainwater filtrates into my foundation and runs into my basement.
7. We need a detail plan on the new drain system that it will be used to avoid future flooding problems into my basement and property foundation (on the West side of my property).

8. The plans do not have any details on the drain system in the front of the new house. If not properly designed all the rain will run into my property retaining wall. This on the east side of the property on the Alemany side. This retaining wall keeps the entire slope of my property in place.
9. We need details on the sidewalk that will be built since it might make it more difficult to exit from my cart port. Right now, I already have problems due to all the cars parked in front of my property.
10. Detail drawings that indicate the back yard design that will demonstrate that all the rain and sand that comes on my back yard will no longer be an issue.
11. Building this property wall to wall to my property creates a problem. I have a triangle roof that goes out of the siding of my house. The design is not feasible.
12. The plans presented completely cover my side window leaving no sunlight or air to enter. I have had this window for the last 30 years of ownership.
13. Another window impacted will be the west front side window that will receive less light with a three story building next door. This window has also been in place for the last 30 years of ownership.
14. On the roof, I have had two skylights that bring sun into the house. A three story building will shadow the sun. The skylights have been in place for the last 30 years of ownership.
15. The whole terrain needs to be leveled off so that their property is not at a higher altitude because it will create a problem with my foundation.
16. The garages are planned next to my two bedrooms, this will create a fire hazard and disturbance next to where my family sleeps.
17. The plans do not have details about the front or the back fence that will divide the two properties. Part of my front fence was damaged when the house was demolished. The issue was discussed but nothing was corrected to this date.
18. Building a three story building in a residential area is not feasible. We already have a congested street with all the cars parked from the adjacent properties 208 and 212. This creates a hazard in an emergency situation.
19. Note Head street only has one outlet for emergency vehicles moving in and out of the street in emergency situations. Let alone the rest of us moving in and out in the congested pathway. We already had challenges with regular or big size vehicles coming in and out of the area.

20. In an earthquake situation my single family house next to a three story building will be catastrophic. This is not feasible.

21. We are proposing that the owner submit new plans to build a one story single family home which details all the concerns here indicated as well the concerns of others neighbors.

22. I have tried to contact with owner to discuss my concerns with no response or willingness to negotiate this project.

In advance, we appreciate for listening to our concerns and questions about this project.

Best regards,

Sandra Lopez
218 Head St
SF, CA 94132

10/23/2018

Inbox (1) - sandramora1371@gmail.com - Gmail

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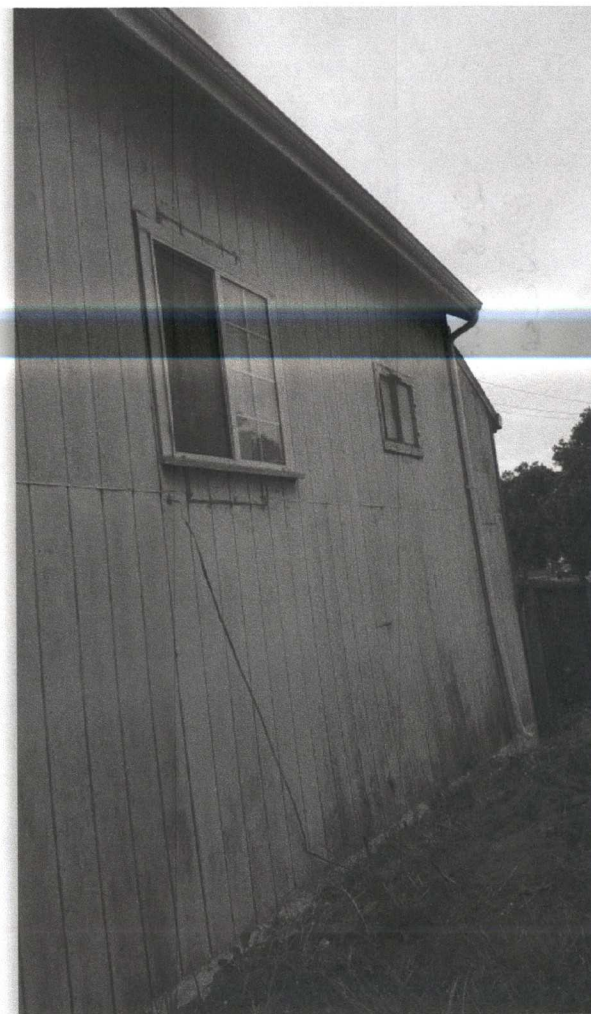


photo 1 of 7

10/23/2018

Inbox (1) - sandramora1371@gmail.com - Gmail

20180519_172215.jpg



Photo 2 of 1

10/23/2018

Inbox (1) - sandramora1371@gmail.com - Gmail

20180519_172241.jpg



Photo 3 of 7

10/23/2018

Inbox (1) - sandramora1371@gmail.com - Gmail

20180519_172309.jpg



photo 4 of 7

10/23/2018

Inbox (1) - sandramora1371@gmail.com - Gmail

20180519_172157.jpg



Photo 5 of 7

10/23/2018

Inbox (1) - sandramora1371@gmail.com - Gmail

20180519_172134.jpg



PHOTO 6 of 7

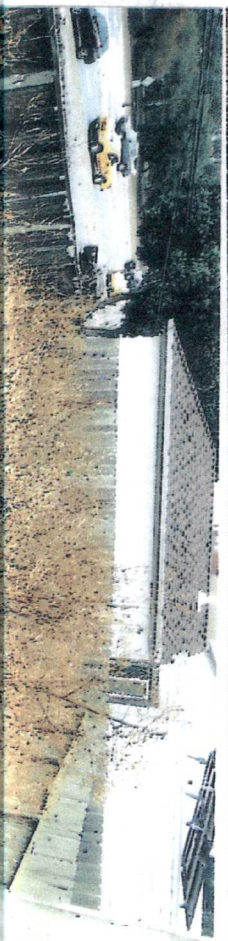
10/23/2018

Inbox (1) - sandramora1371@gmail.com - Gmail

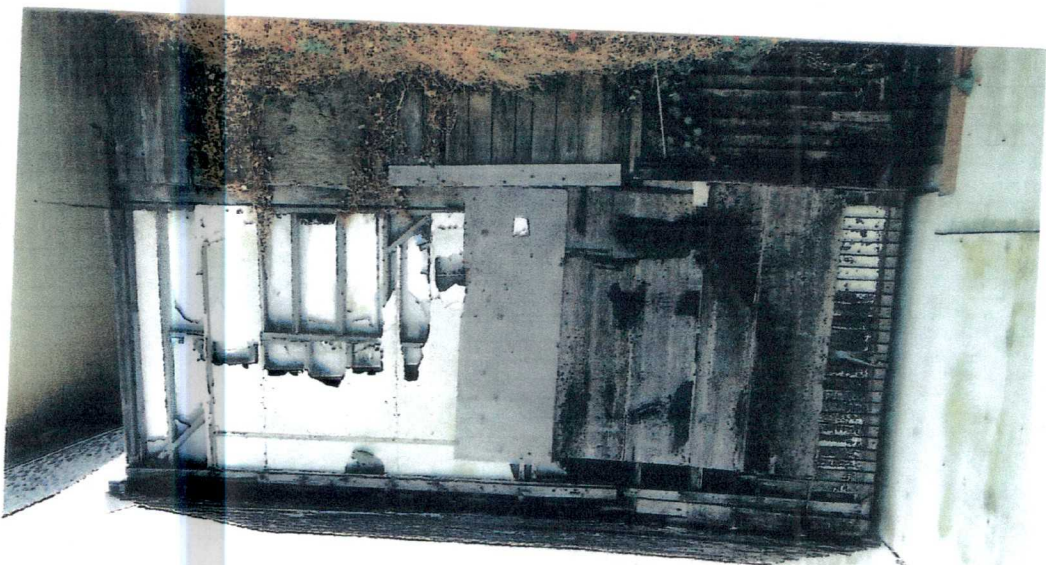
20180519_172202.jpg



Photo 7067



BACK YARD, 216 HEAD ST.



BACK OF HOUSE
216 HEAD ST.

①

Cathleen Campbell
San Francisco Planning Department
1650 Mission Street
San Francisco, CA 94103

RE: Building Permit Application # 2010. 11. 05. 4435
BLOCK # 7135 / LOT # 023
216 HEAD STREET

Tuesday, 10/23/18

Dear Cathleen,

As a board member and Neighborhood Improvement Chairperson for METNA (Merced Extension Triangle Neighborhood Association), I am extremely concerned re the jeopardy posed for adjoining property owners Sandra Lopez (218 Head Street) and Paul Chow (352 P Alameda Blvd.) of above proposed development. METNA members Paul and Sandra have kept me abreast of their concerns for over a decade dating back to the property containing a one story abandoned shack and, now, even more so, with the demolition of the shack and proposed development of the property. I am joining with them and w/ METNA president and vice-president Marc Christensen and Glen Hatakeyama in issuing a call for discretionary review of above property address. There are a number of concerns expressed to me by Sandra and Paul

(2)

in
that I am in concurrence with. I do not believe that it is good planning to push thru a development that could pose ^{immense} long-term problems for two good people / neighbors around at least

The discretionary reviews being requested
the number of issues listed below:

1) DRAINAGE) What is being done to mitigate danger of runoff?

In the past, runoff problems have already plagued Sandra and Paul as they have informed me on numerous occasions. What is going to be done w/ the mounds of dirt on the property?

2) SUNLIGHT) The proposed development will block daylight / sunlight into Sandra's home at 218 Head Street. This cannot be allowed to happen. Sunlight is an essential commodity in the city and Sandra is the already existing neighbor. Her needs should take precedence over and above any other people on the block.

3) SHADOWS) These shadows proposed are concerns for both Paul and Sandra. Paul at 3 Albany has solar panels on his roof and has expressed to numerous occasions, alarm over a tall home going up and with the effectiveness of above-mentioned solar panels: Paul is the leading force towards the utilization of alternative energy as such of these have his home energy collection efforts!!

(3)

4) PRIVACY Proposed plans to have a window on the north side of 216 Head Street - not an acceptable idea because said window would look down into Sandra's home at 218 Head, Privacy is another cherished commodity in the city, Privacy for existing homeowners should trump any window for new home.

As an addendum to above, I must briefly mention the numerous violations perpetrated by listed owner Alfred Lee. All parties requesting destruction notices are concerned about the "home being converted to multi-unit as has been the practice of above owner. His violations are a matter of public record and we at METNA will not sit still for further encroachments on our neighborhood/community. His other developments on Head Street have among other negative, resulted in a parking lot atmosphere full of cars for many cars for what was supposed to be allowed there in the way of development/population. There are additional ~~concerns~~ expressed by Sandra in her letter to you. I believe that all these matters should be addressed as well. I don't know if the owner is Alfred Lee or not, and, why don't I? Why is he/she/they allowed to operate with such blatant disregard for fair play?

4

Long-term neighbors should always have their needs addressed first - over and above incoming developers.

I am looking forward to meeting with and working with you on 246 Head Street.

Steve Heide

cc:

MARC CHRISTENSEN - METNA PRESIDENT

GLEN HATAKEYAMA - METNA VICE-PRESIDENT

SANDRA LOPEZ - 218 HEAD ST. RESIDENT

PAUL CHOW - 3521 ALEMANY BLVD. RESIDENT

RESPONSE TO
**DISCRETIONARY
REVIEW (DRP)**



**San Francisco
Planning**

SAN FRANCISCO PLANNING DEPARTMENT
1650 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94103-2479
MAIN: (415) 558-6378 SFPLANNING.ORG

Project Information

Property Address: 216 Head Street (AB 7135/023)

Zip Code: 94132-3219

Building Permit Application(s): 2010.11.05.4435

Record Number: 2016-005189DRP

Assigned Planner: David Winslow

Project Sponsor

Name: Jaidin Consulting Group, Project Representative

Phone: (415) 863-3888

Email: jdngrp@pacbell.net

Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

See DR Response - supplemental attached

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

See DR Response - supplemental attached

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

See DR Response - supplemental attached

Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)	vacant	1
Occupied Stories (all levels with habitable rooms)		2
Basement Levels (may include garage or windowless storage rooms)		1
Parking Spaces (Off-Street)		2
Bedrooms		4
Height		31 '
Building Depth		63' 2"
Rental Value (monthly)		n/a
Property Value		

I attest that the above information is true to the best of my knowledge.

Signature:

Patrice Fambrini, for Jaidin

Date:

11/20/18

Printed Name:

Patrice Fambrini, for Jaidin Consulting Group, LLC - Project Representative



Property Owner



Authorized Agent

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

DR Response – Attachment

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved?

The proposed project is construction of a new residential building envelope following demolition of an unsound structure, reviewed under Section 311, Residential Design Guidelines; and approved by the Department of City Planning Staff.

The property owner concluded after thorough investigation that the original dilapidated structure could not be retained, given significant safety hazards; and therefore, proceeded with applications required to demolish the building. Structural reports substantiating the unsound condition of the building were submitted and reviewed by the City.

In 2016 and 2017 the Planning Department completed Environmental Review, issuing a CEQA Categorical Exemption determination; approving the demolition and concluding that the proposed new three-story structure would not result in any significant impacts.

In May 2018 the original building was demolished and we expect that this demolition has resolved many of the items cited in the DR application; specifically concerning complaints, which pertained to the prior structure. The site is now vacant and the owner is committed to maintaining the property's safety while review of the project is finalized.

In conjunction with the demolition process the project sponsor worked with Planning Staff to develop a new family sized residential project in full compliance with underlying zoning and design guidelines. The current building design was found to be in full compliance with Planning Code requirements for front setback, rear yard, and open space. In addition, the project meets a Citywide goal, for a new family sized residential building envelope.

This proposed project will be constructed and engineered in full compliance with the City's Building and Safety Code requirements and the project sponsor will work with the City to assure proper engineering and drainage is established for the site.

2. **What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.**

The project sponsor worked directly with Planning Staff during the proposed demolition and 311-review process to develop a final design and layout for a replacement project which is fully code complying and satisfies the City's residential guidelines.

Demolition of the original structure required historic resource evaluation and structural soundness reports; both of which supported demolition of the unsound structure. This demolition removed the series of DBI complaints regarding the property improvements.

Supporting a design compatible with the surrounding neighborhood, the building was developed with a third story front set back; maintaining two-story appearance along the street frontage. An interior lightwell was added as well as a third level graduated notched rear set back along the 218 Head Street property line.

Promoting site drainage, the proposed project was modified to include a 14-foot setback; including landscaping and driveway with permeable surface which adds interesting detail to streetscape and also promotes stormwater runoff from the street and sidewalk. A permeable material is one that allows stormwater to infiltrate the underlying soils.

In response to neighborhood concerns regarding the now vacant site, the project sponsor will make every effort to maintain the property during this current review period and will consider mitigation measures to assure the property remains environmentally safe.

In addition, as offered by Planning Staff, David Winslow; project sponsor representatives will be available to meet with the neighborhood residents to discuss the proposed project design and issues raised by the DR applicant, which in the meanwhile are discussed in the section below for your review and consideration.

3. **If you are not willing to change the proposed project or pursue other alternatives, please state why your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making changes requested by requestor.**

The proposed residential project is intended to support San Francisco's extended family population and afford privacy for the generational occupants. In addition, it offers the potential for adding an accessory dwelling unit for a parent or grandparent.

We have reviewed the alternative recommended by the DR applicants, which is an in-kind replacement of the prior small single-story building envelope; and suggest that this is a significant underutilization of the property based on the economics of site development and also failure to meet goals for much needed family sized housing.

Regarding specific issues of sunlight, shadows and privacy, our findings concur with environmental review findings: that ultimately the proposed project should not have a significant impact on the surrounding properties based on the physical location of the subject interior block parcel and neighboring property development.

Project sponsor representatives will be available to discuss these issues at the Planning Staff initiated meeting and in the meanwhile offer the following thoughts for review and consideration.

The primary DR applicant at 218 Head Street is a corner parcel, benefiting from full exposure along both Alemany and Head Street frontages. Landscaping and exterior modifications along the Alemany property frontage could increase light and air availability; which would far outweigh any consequences of the current project build-out.

With regards to a purported historic easement between this corner lot and the subject interior block parcel; we could find no record and request that the owner, Ms. Lopez, provide the City and project sponsor with a recorded document for review. This project as currently designed is legal and code complying with regards to RH-1 required setbacks.

It is also noted, that the 218 Head Street property owner has to work with the City on its own maintenance items; which once resolved should address certain drainage and site concerns on that parcel.

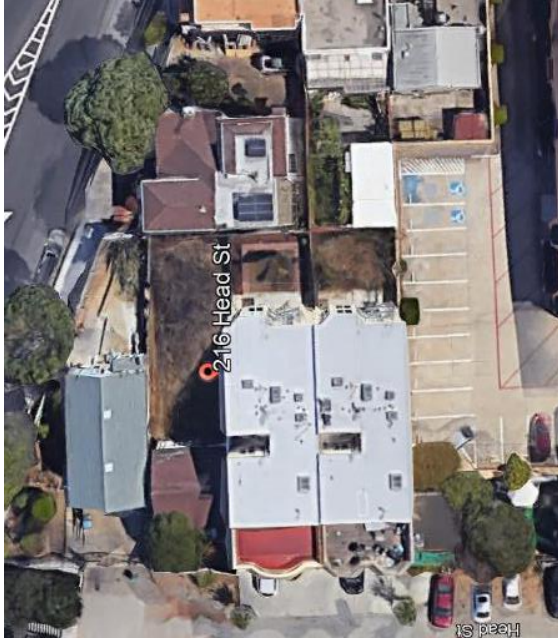
The DR applicant, located at 3521 Alemany, is situated between the 218 Head Street DR applicant and a recently constructed three-story single-family residence at 3501 Alemany; which could potentially cause more shadow potential than the subject proposed development – with these light and shadow impacts documented by Mr. Chow in his DR application filed against the 3501Alemany development.

This Alemany ‘key lot’ parcel shares lot lines with the new building at 3501 Alemany and also abuts rear yards of 218, 216, and 212 Head Streets.

Project representatives will be available to review the DR applicant’s shadow analysis information demonstrating light and shadow impacts on the DR applicants’ solar panels resulting from of the proposed new structure, as well as those impacts from the recently constructed three-story neighboring building at 3501 Alemany.

Concerning engineering and construction impacts raised by DR applicants, the proposed project will be undertaken in full compliance with all City Codes. In addition to Planning review, project approval will require review by the Departments of Public Works, Building Inspection, Housing and Fire. Also, as mentioned above - during pre-construction timeline, the owner will make every effort to maintain the subject parcel in a safe manner and will assign a Project Representative to be be available as a neighborhood contact.

Finally, in response to apparent confusion regarding what plans are currently under review by the Department – we refer applicants to plan set included within the 311-notice dated 10/1/18; which is the subject of this DR application.





218 Head street



216 Head Street

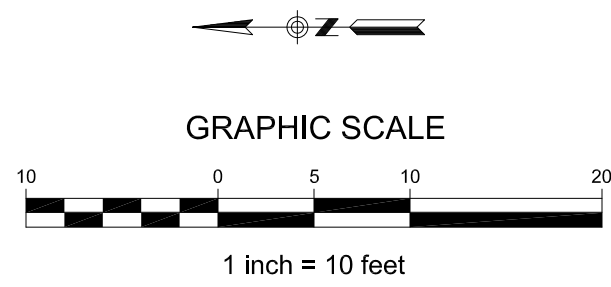
212 and 208 Head Street



3501 Alemany (new building)

3521 Alemany (DR)

218 Head Street (DR)



ALEMANY BOULEVARD (100.00' WIDE)

NOTE TO ANYONE HAVE ANY INTEREST IN THIS MAP.
PLEASE BE ADVISED OF THE FOLLOWING:

- THAT ALL TITLE INFORMATION HEREON (INCLUDING EASEMENTS IF ANY) WAS PREPARED SOLELY FOR AND IN STRICT CONFORMANCE WITH OUR CLIENTS' AND/OR HIS AGENTS' REQUIREMENTS. THE FOLLOWING INFORMATION WAS SUPPLIED TO TRANSMERICAN ENGINEERS: \square DEED \square TITLE REPORT \square A.P.N. \square ADDRESS OF THE P.L.G.

FURTHERMORE, WE HEREBY DISCLAIM ANY AND ALL TITLE SEARCH RESPONSIBILITIES AS BEING BEYOND OUR CONTRACT AND COMMITMENT TO OUR CLIENT.

- THAT THIS MAP WAS PREPARED AS A PROFESSIONAL INSTRUMENT OR SERVICE AND THAT IT REMAINS THE PROPERTY OF TRANSMERICAN ENGINEERS WHETHER THE PROJECT (IF ANY PROPOSED) ON THIS SITE IS CONSTRUCTED OR NOT.

- THAT ANY INFORMATION ON THIS MAP AND ANY DOCUMENT(S) PREPARED BY TRANSMERICAN ENGINEERS IN RELATION HEREOF SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN FOR: BUILDING PERMITS.

FURTHERMORE, THE USE OF THIS MAP FOR ANY OTHER PURPOSES WHATSOEVER INCLUDING ENGINEERING DESIGNS OF OFFSITE OR ONSITE IMPROVEMENTS IS BEYOND THIS MAP'S PURPOSE, INTENT & CONTRACT. TRANSMERICAN ENGINEERS DISCLAIMS ANY AND ALL RESPONSIBILITIES, LIABILITIES WHICH SHALL REST UPON THE PARTY USING OUR INFORMATION BEYOND THE ESTABLISHED LIMITATION ABOVE.

- THAT ANY IMPROVEMENT CHANGES WITHIN THIS SITE OR THE ADJACENT SITES THEREOF AS WELL AS TITLE TRANSFERS OF THE PROPERTY IN QUESTION (EXCEPT FOR ALTA MAPS) AND/OR THE LARSE OF 3 OR MORE YEARS FROM THE DATE OF THIS MAP (WHICHEVER COMES FIRST) SHALL VOID ALL INFORMATION HEREON UNLESS A RE-SURVEY IS ORDERED TO RECTIFY, UPDATE OR RE-CERTIFY THIS MAP.

- THAT THIS INFORMATION SHALL NOT BE USED FOR ANY IMPROVEMENT STAKING UNLESS STATED IN ITEM NO. 3 ABOVE.

- THAT THE USE OF THIS MAP BY OTHER CONSULTANTS OR CONTRACTORS ON BEHALF OF OUR CLIENT SHALL PROMPT THE IMMEDIATE FULFILLMENT OF ALL CLIENTS' OBLIGATIONS TO TRANSMERICAN ENGINEERS UNLESS OTHERWISE AGREED TO.

- THAT UNDERGROUND UTILITIES (IF ANY) SHOWN HEREON WERE OBTAINED FROM INFORMATION PROVIDED TO TRANSMERICAN ENGINEERS BY UTILITIES COMPANIES. TRANSMERICAN ENGINEERS DOES NOT ASSUME ANY RESPONSIBILITY FOR THEIR EXISTENCE OR ACCURACY.

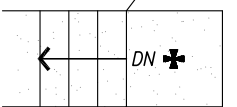
- THAT SURFACE UTILITIES, MANHOLES, ETC. AS SHOWN HEREON WERE LOCATED BY FIELD SURVEY.

- IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ALL ISSUES REGARDING PROPERTY DISPUTES WHICH MAY ARISE OUT OF INFORMATION SHOWN HEREON.

SPECIAL NOTES

- ELEVATIONS SHOWN AS "ROOF ELEV." HEREON ARE IN FACT THE ELEVATIONS OF THE HIGHEST POINT OF SIDE WALLS. THESE ELEVATIONS MAY BE EITHER THE ROOF OR THE PARAPET ELEVATION OF SUCH ROOF. FLAT ROOF LEVELS WERE NOT VISIBLE FROM SURVEY POINT.
- "PARAPET ELEV." SHOWN HEREON ARE THE HIGHEST POINT OF SUCH PARAPET.
- "ROOF PEAK ELEV." AND "EAVES ELEV." (IF ANY SHOWN HEREON) ARE THE HIGHEST POINT OF ROOF PEAKS AND THE LOWEST POINTS OF ROOF EAVES RESPECTIVELY.
- DUE TO LIMITED ACCESS TO THE REAR OR THE ADJACENT AND/OR THE PARAPET SUBJECT BUILDING(S) AND/OR COVERED STRUCTURE(S) AT THE TIME OF THIS SURVEY, THE TOPOGRAPHIC DATA FOR THOSE BUILDING(S) AND/OR STRUCTURE(S) IS NOT SHOWN HEREON.
- IT SHALL BE THE RESPONSIBILITY OF OUR CLIENT TO CALL OUR OFFICE IN ORDER TO HAVE OUR SURVEYORS LOCATE ADDITIONAL INFORMATION AND/OR STRUCTURE(S) ONCE THE SITE HAS BEEN CLEARED. WE REQUIRE AN ADVANCE NOTICE OF FOUR (4) DAYS MORE OR LESS.
- ALSO, NOTE THAT THERE WILL BE ADDITIONAL CHARGES FOR SUCH STAKING AS IT IS NOT A PART OF THE SCOPE OF THIS JOB'S CONTRACT.

WATER LINE



HEAD STREET (60.00' WIDE)

ASSESSOR'S BLOCK 7135

PALMETTO AVENUE (WIDTH VARIES)

LEGEND

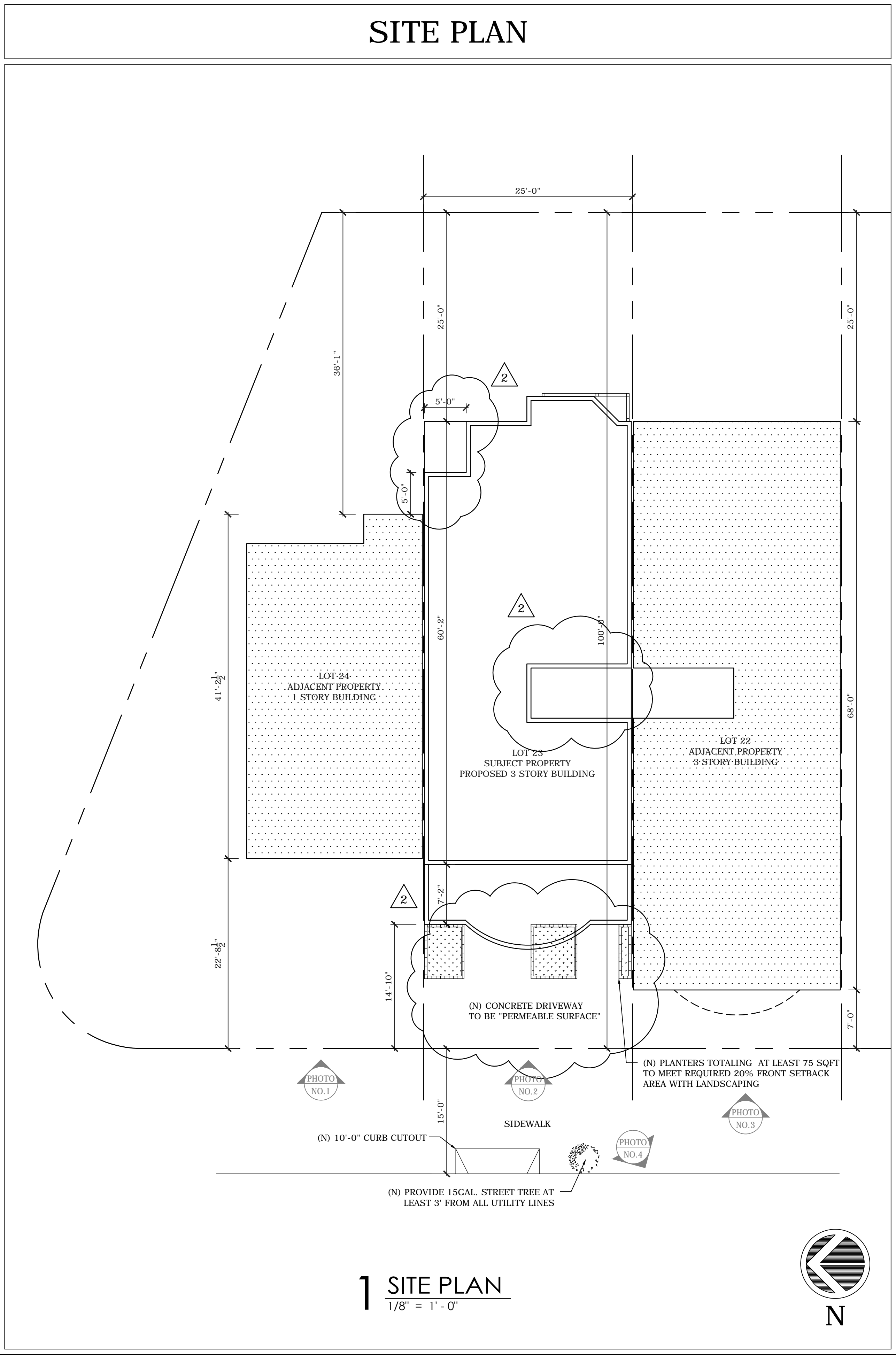
- MARK - MONUMENT MAP
CITY MONUMENT
SET 1/2" REBAR & PLASTIC CAP LS 6975
FND 1/2" REBAR
SET NAIL & TAG LS 6975
FOUND NAIL & TAG
FOUND L CUT
SET CROSS
FD CROSS
FIRE HYDRANT
JOINT POLE
WATER METER
ELECTRIC METER
ELECTRIC BOX
TELEPHONE VAULT
WATER VALVE
GAS VALVE
CLEAN OUT
ELECTROQUIER
CATCH BASIN
SEWER MANHOLE
STORM MANHOLE
LAMPHOLE
PARKING METER
CONCRETE
ASPHALT PAVING

ABBREVIATIONS

- | | |
|------|-----------------------------|
| [] | ASSESSOR'S PLAT INFORMATION |
| AC | ASPHALT CONCRETE |
| BLDG | BUILDING |
| CLR | CLEAR |
| CO | CLEANOUT |
| CONC | CONCRETE |
| COR | CORNER |
| CB | CATCH BASIN |
| D/W | DRIVEWAY |
| DI | DROP INLET |
| ELEV | ELEVATION |
| (E) | EXISTING |
| FND | FOUND |
| GV | GAS VALVE |
| FL | FLOW LINE |
| HC | HANDICAP RAMP |
| (N) | NEW |
| OV | OVER |
| P/L | PROPERTY LINE |
| PROJ | PROJECTED |
| TC | TOP OF CURB |
| WM | WATER METER |
| PM | PARKING METER |

BENCH MARK
ALEMANY BLVD & BRIGHT STREET (S.W. CORNER)
+ CUT CONC CESS
ELEV. = 246.699 (CITY DATUM)

Job No. 6835	
Sheet No. 1 OF 1	
Date JANUARY 2019	
Survey KP	01/07/19
Design N/A	/19
Drawn BP	01/10/19
Checked BP	01/10/19
Scale AS SHOWN	
FOX PLAZA 1390 Market St., Suite 201 San Francisco, CA 94102 Phone No. (415) 553-4092 Fax No. (415) 553-4071	
ARCHITECTURAL TOPOGRAPHIC SURVEY ASSESSOR'S BLOCK No. 7135 LOT No. 23 216 HEAD STREET	
CALIFORNIA	
SAN FRANCISCO	
Approved by:	Chief Engineer License No.
Approved by:	Chief Surveyor License No. 6975 Expires 9/30/2019
Revisions	By:



PROJECT DATA	
ADDRESS:	216 HEAD ST. SAN FRANCISCO, CA
STORIES:	3 STORIES (2 STORIES OVER GARAGE)
OCCUPANCY:	R3
TYPE:	5-B
ZONING:	RH1
BLOCK:	7135
LOT:	23

LEGEND	
	NEW 1-HR FIRE RATED WALL
	NEW WALL

ELECTRICAL LEGEND	
	RECESSED LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE (EXTERIOR FIXTURES UL LISTED FOR WET LOCATIONS)
(E)	EXISTING LIGHT FIXTURE, SWITCH OR OUTLET
	EXHAUST FAN
	SMOKE DETECTOR 110 VOLT WITH BATTERY BACKUP
	JUNCTION BOX
	TELEPHONE JACK
	110 VOLT DUPLEX OUTLET
	GROUND FAULT INTERRUPT CIRCUIT OUTLET
	WATERPROOF OUTLET
	220 VOLT OUTLET
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	MOTION OCCUPANCY SENSOR SWITCH
F	FLUORESCENT FIXTURE

NOTES:
1) BEDROOM BRANCH CIRCUITS TO BE INSTALLED WITH LISTED ARC-FAULT
CIRCUIT INTERRUPTER PER CEC 201.12(B)

SHEET INDEX	
A-0.1	NOTES, LEGENDS, SCOPE OF WORK
A-0.2	SCHEDULES
A-0.3	PHOTOGRAPHS
A-1.0	EXISTING FLOOR PLAN
A-1.1	PROPOSED GROUND/SECOND FLOOR PLAN
A-1.2	PROPOSED THIRD FLOOR/ROOF PLAN
A-2.1	PROPOSED FRONT/REAR ELEVATIONS
A-2.2	PROPOSED SIDE ELEVATIONS
A-2.3	PROPOSED SECTION VIEWS
A-4.0	DETAILS

SCOPE OF WORK	
1. NEW THREE STORY SINGLE FAMILY HOME.	

GENERAL NOTES	
1. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE ADOPTED CODES, STANDARDS AND ANY APPLICABLE STATE OR LOCAL AMENDMENTS, INCLUDING BUT NOT LIMITED TO: 1.1. OCCUPATIONAL SAFETY AND HEALTH STANDARDS. (CAL OSHA). 1.2. LISTS OF INSPECTED APPLIANCES, EQUIPMENT AND MATERIALS (UNDERWRITERS LABORATORIES). 1.3. APPROVED EQUIPMENT LISTING (FACTORY MUTUAL). 1.4. HANDBOOK OF RIGGING (ROSSNAGEL). 1.5. SAFETY CODE FOR BUILDING CONSTRUCTION, ANSI. 1.6. CALIFORNIA BUILDING CODE, 2007 EDITION. 1.7. CALIFORNIA ELECTRICAL CODE, 2007 EDITION. 1.8. CALIFORNIA ENERGY CODE, 2007 EDITION. 1.9. CALIFORNIA FIRE CODE, 2007 EDITION. 1.10. CALIFORNIA MECHANICAL CODE, 2007 EDITION. 1.11. CALIFORNIA PLUMBING CODE, 2007 EDITION. 1.12. CALIFORNIA REFERENCED STANDARDS CODE, 2007 EDITION.	
2. WHERE DIFFERENCES EXIST BETWEEN CODES AFFECTING THIS WORK, THE MORE RESTRICTIVE CODE SHALL GOVERN.	
3. IF THE CONTRACTORS OBSERVE THAT THESE DRAWINGS AND SPECIFICATIONS ARE IN VARIANCE WITH THE CODES, HE SHALL NOTIFY THE ARCHITECTS AND ENGINEERS IN WRITING AT ONCE.	
4. DUCTWORK, PIPING AND EQUIPMENT SHALL BE INSTALLED PER SMACNA "SEISMIC RESTRAINT MANUAL GUIDELINES FOR MECHANICAL SYSTEMS" ADDENDUM No. 1 OR EQUAL IN ACCORDANCE WITH ASCE CHAPTER 13 "SEISMIC DESIGN REQUIREMENTS FOR NON-STRUCTURAL COMPONENTS".	
5. ALL FIRE-RATED WALL AND FLOOR PENETRATIONS SHALL BE FIRESAFED UTILIZING A UL APPROVED FIRE SAFING SYSTEMS.	
6. ALL PLUMBING AND PIPING SYSTEMS SHALL BE PRESSURE TESTED AND VERIFIED LEAK TIGHT PRIOR TO CALLING FOR CITY PROGRESS OR FINAL INSPECTIONS.	

GENERAL NOTE:

THESE DRAWINGS REPRESENT APPROXIMATIONS OF EXISTING CONDITIONS.
ALL CONDITIONS AND DIMENSIONS ARE TO BE FIELD VERIFIED BY
CONTRACTORS PRIOR TO CONSTRUCTION.

REVISIONS		
NO.	DESCRIPTION	DATE
	PLANNING REVISION	4/27/11
	PLANNING REVISION	04/15/16

PROJECT TITLE

NEW SINGLE FAMILY
DWELLING

SHEET TITLE

NOTES, LEGENDS,
SCOPE OF WORK

LOCATION

216 HEAD ST.
SAN FRANCISCO, CA

BLOCK 7135 LOT. 23

ZONING RH1

OWNER

-

DRAWN

M.C.

CHECKED

J.C.

SCALE

AS NOTED

DATE

9/23/2010

PROJECT NO.

SHEET

A0.1

WINDOW SCHEDULE						
#	CONDITION	HEIGHT	WIDTH	TYPE	U FACTOR	NOTES
1	(N)	7'-0"	2'-0"	FIXED	0.32	-
2	(N)	5'-0"	6'-0"	SLIDER	0.32	-
3	(N)	5'-0"	2'-6"	FIXED	0.32	-
4	(N)	5'-0"	4'-0"	SLIDER	0.32	-
5	(N)	5'-0"	2'-6"	SGL HUNG	0.32	-
6	(N)	5'-0"	2'-0"	SGL HUNG	0.32	-
7	(N)	5'-0"	3'-0"	SGL HUNG	0.32	-
8	(N)	7'-0"	5'-0"	DOOR	0.32	GLASS DOOR
9	(N)	3'-4"	3'-4"	FIXED	0.32	SKYLIGHT
10	(N)	3'-4"	3'-4"	SLIDER	0.32	-

- NOTES:
- 1) NET CLEAR OPENABLE AREA OF NOT LESS THAN 5.7 SQFT
 - 2) MINIMUM CLEAR OPENING HEIGHT OF 24 INCHES
 - 3) MINIMUM CLEAR OPENING OF 20 INCHES
 - 4) BOTTOM OF CLEAR OPENING NOT GREATER THAN 44 INCHES ABOVE THE FLOOR (2007 CBC)

INTERIOR FINISH SCHEDULE				
ROOM	SUBFLOOR	FIN. FLR	BASE	WALLS & CEILING
STAIRS	WOOD	CARPET	WOOD	GYPSUM WALL BOARDS
LIVING	WOOD	CARPET	WOOD	GYPSUM WALL BOARDS
DINING	WOOD	CARPET	WOOD	GYPSUM WALL BOARDS
KITCHEN	WOOD	LINO	WOOD	GYPSUM WALL BOARDS
BEDROOM	WOOD	CARPET	WOOD	GYPSUM WALL BOARDS
BATHS	WOOD	TILE	WOOD	GYPSUM WALL BOARDS WATERPROOF (TYP.)

- NOTES:
- 1) ALL FLOORS

REVISIONS		
NO.	DESCRIPTION	DATE
△	PLANNING REVISION	4/27/11
△	PLANNING REVISION	04/15/16

PROJECT TITLE

NEW SINGLE FAMILY DWELLING

SHEET TITLE

SCHEDULES

LOCATION

216 HEAD ST.
SAN FRANCISCO, CA

BLOCK 7135 LOT. 23

ZONING RH1

OWNER -

DRAWN M.C.

CHECKED J.C.

SCALE AS NOTED

DATE 9/23/2010

PROJECT NO.

SHEET

A0.2

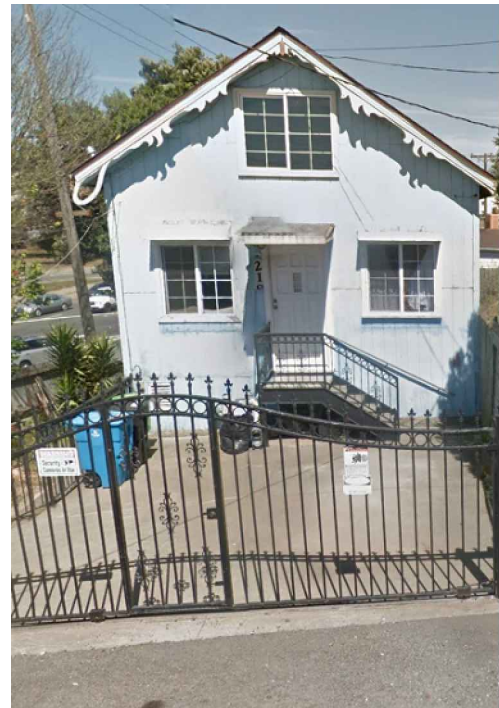
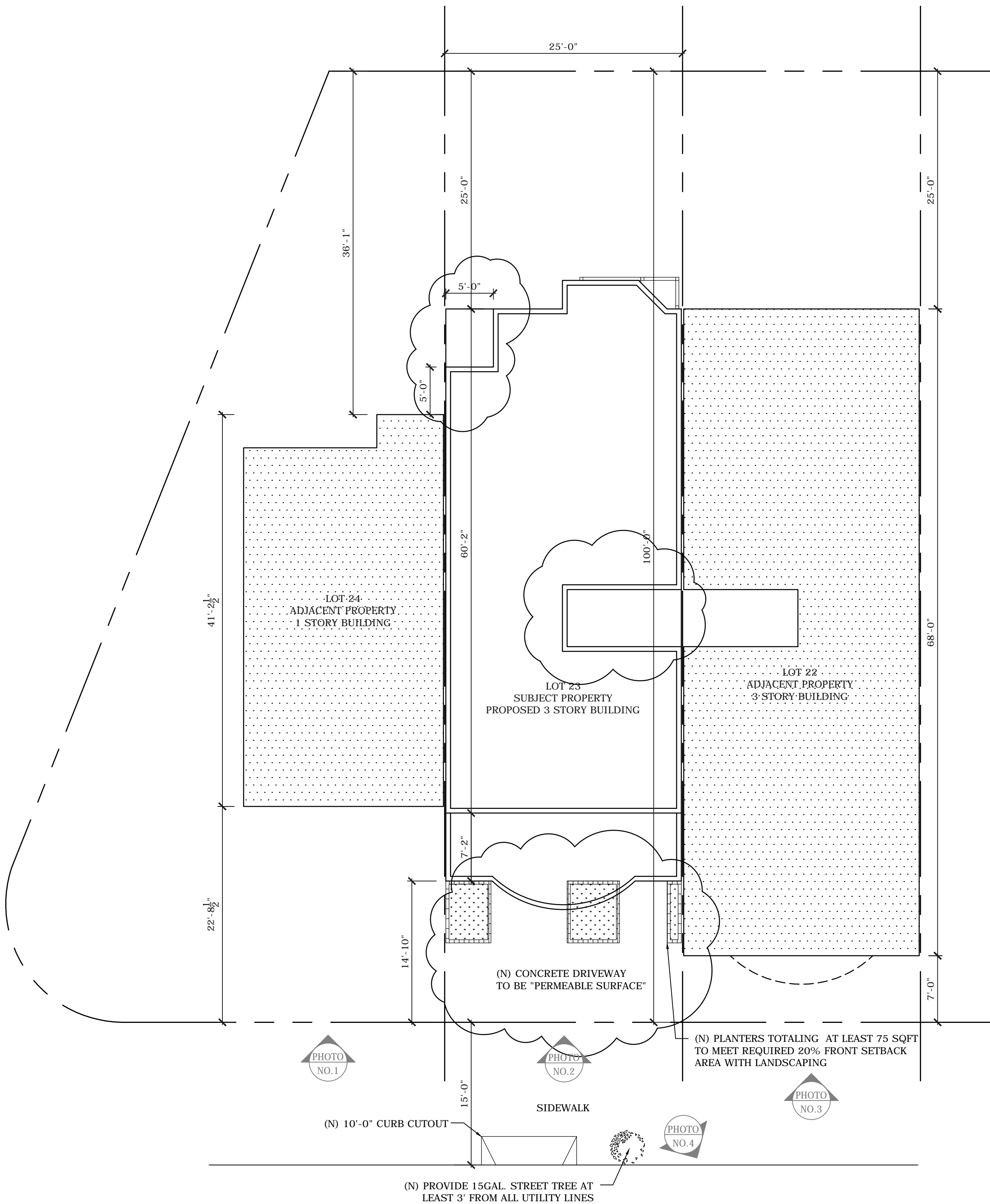


PHOTO NO.1

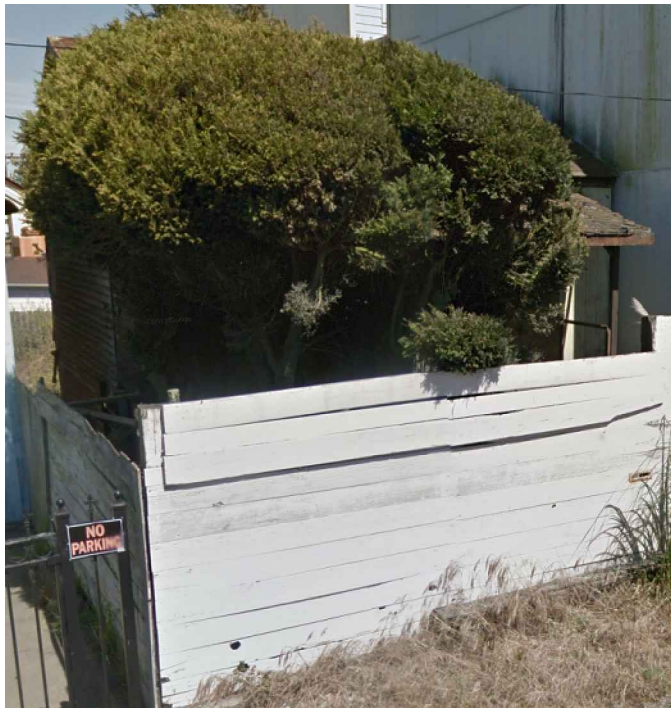


PHOTO NO.2

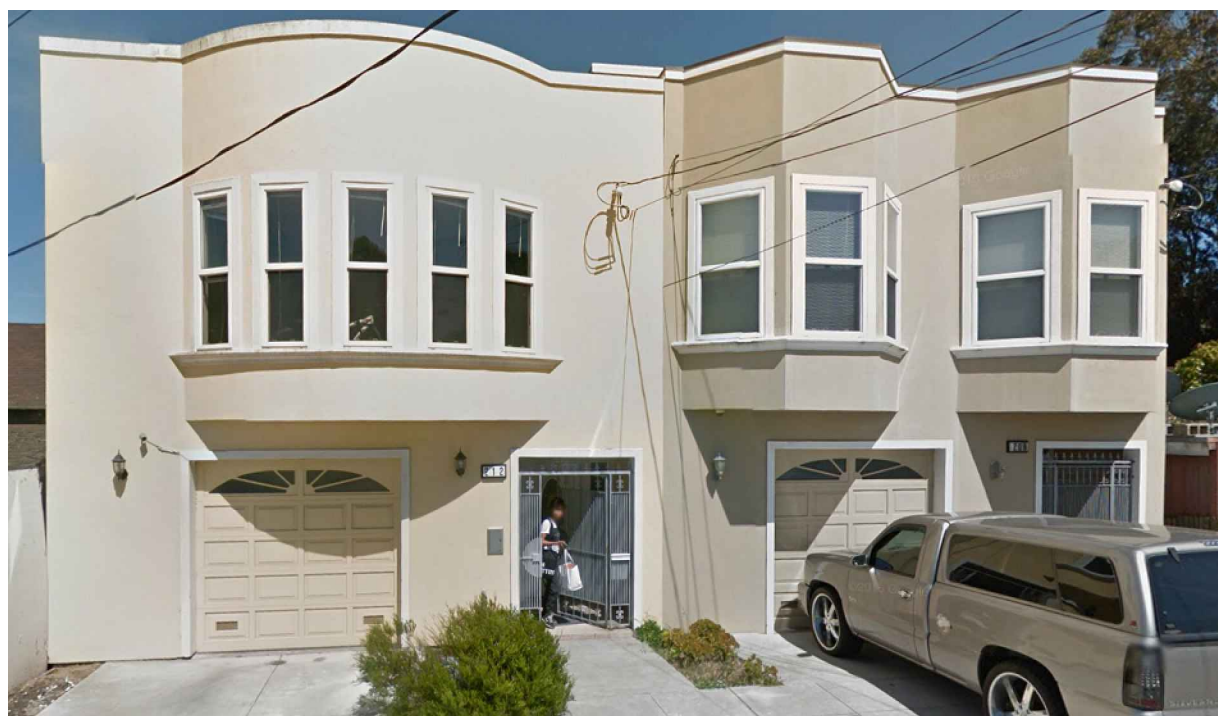


PHOTO NO.3



PHOTO NO.4

REVISIONS

NO.	DESCRIPTION	DATE
1	PLANNING REVISION	4/27/11
2	PLANNING REVISION	04/15/16

PROJECT TITLE

NEW SINGLE FAMILY
DWELLING

SHEET TITLE

PHOTOGRAPHS

LOCATION

216 HEAD ST.
SAN FRANCISCO, CA

BLOCK 7135 LOT. 23

ZONING RH1

OWNER

-

DRAWN

M.C.

CHECKED

J.C.

SCALE

AS NOTED

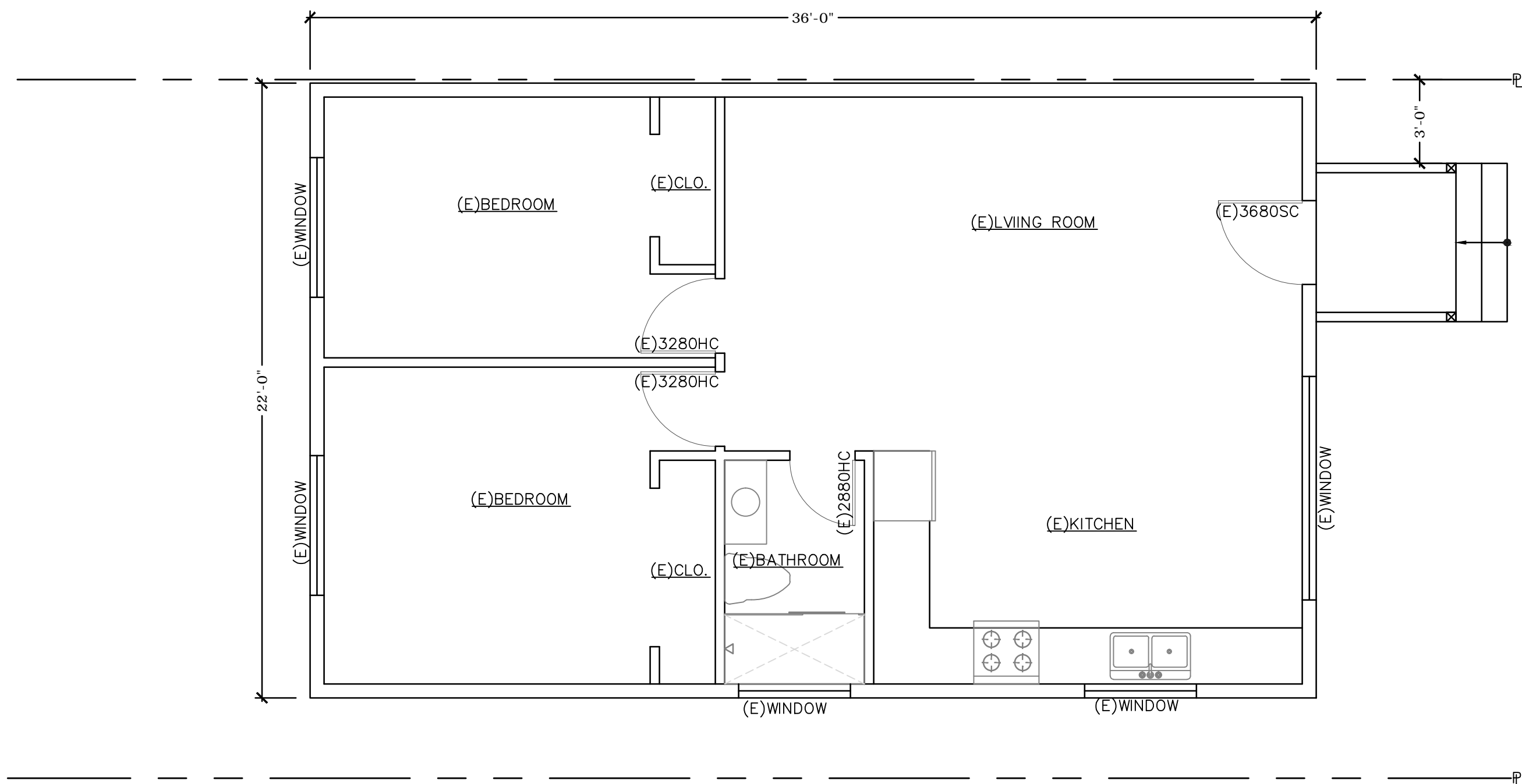
DATE

9/23/2010

PROJECT NO.

SHEET

A0.3



1 EXSING FLOOR PLAN
1/4" = 1' - 0"



REVISIONS		
NO.	DESCRIPTION	DATE
△	PLANNING REVISION	4/27/11
△	PLANNING REVISION	4/15/16

PROJECT TITLE

NEW SINGLE FAMILY DWELLING

SHEET TITLE

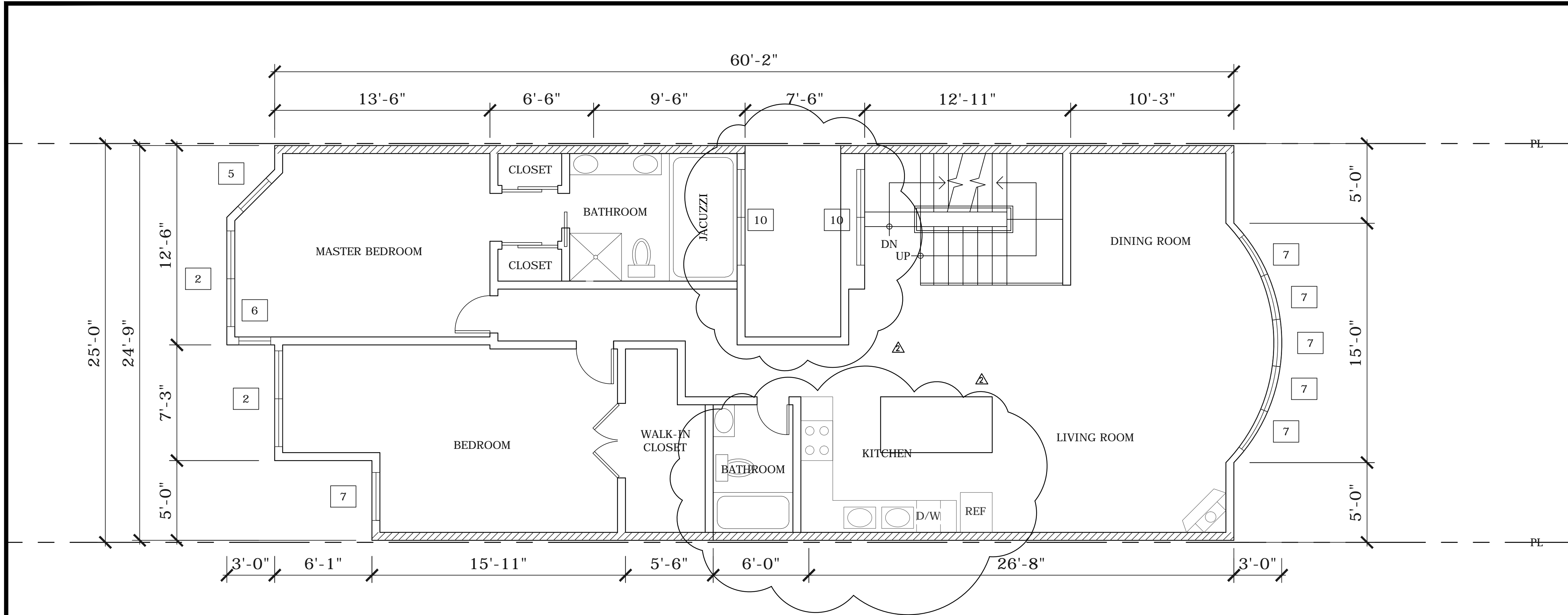
EXISTING FLOOR PLAN

LOCATION
216 HEAD ST.
SAN FRANCISCO, CA
BLOCK 7135 LOT. 23
ZONING RH1

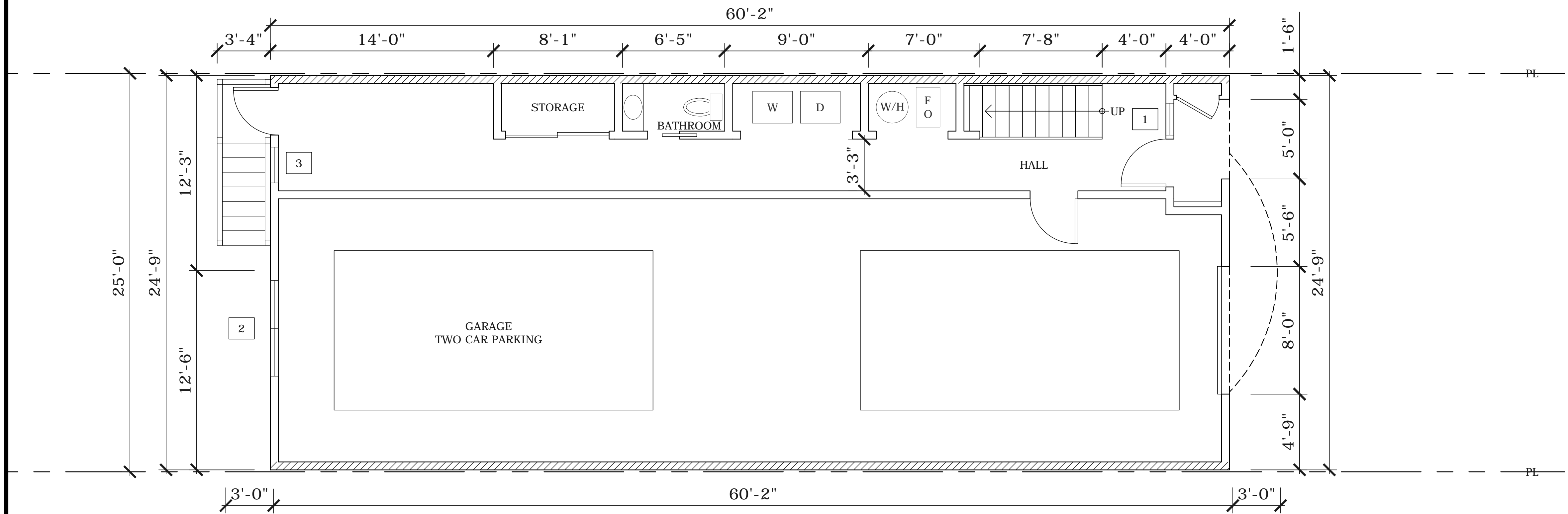
OWNER -

DRAWN M.C.
CHECKED J.C.
SCALE AS NOTED
DATE 9/23/2010
PROJECT NO.

SHEET
A1.0



2 SECOND FLOOR PLAN
1/4" = 1'-0"



1 GROUND FLOOR PLAN
1/4" = 1'-0"



REVISIONS		
NO.	DESCRIPTION	DATE
1	PLANNING REVISION	4/27/11
2	PLANNING REVISION	4/27/11

PROJECT TITLE

NEW SINGLE FAMILY DWELLING

SHEET TITLE

PROPOSED GROUND/SECOND FLOOR PLAN

LOCATION
216 HEAD ST.
SAN FRANCISCO, CA
BLOCK 7135 LOT. 23
ZONING RH1

OWNER -

DRAWN M.C.

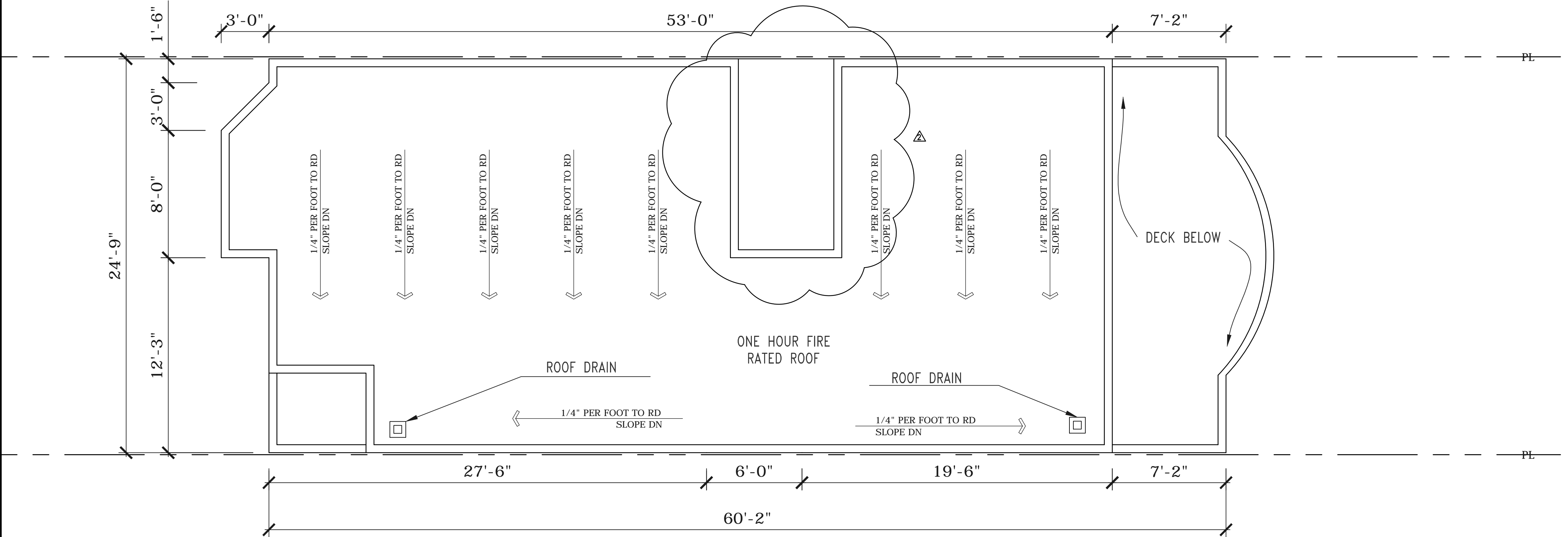
CHECKED J.C.

SCALE AS NOTED

DATE 9/23/2010

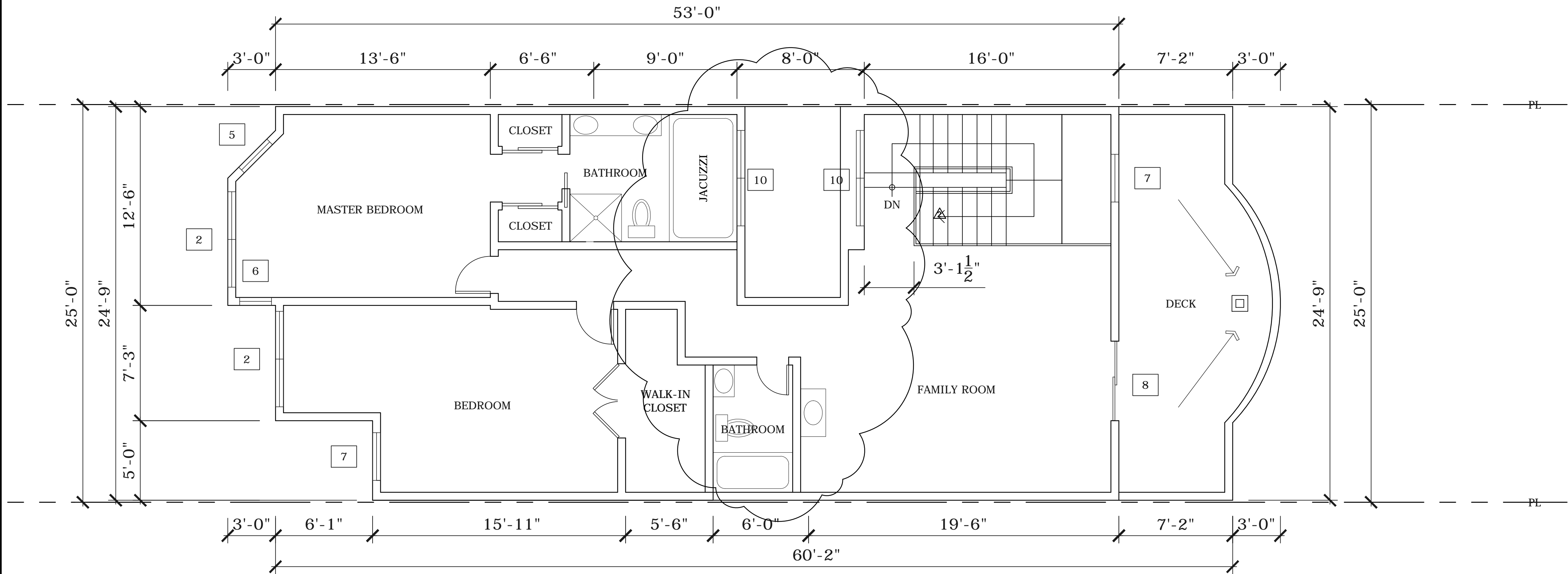
PROJECT NO.

SHEET
A1.1



4 ROOF FLOOR PLAN

1/4" = 1'-0"



3 THIRD FLOOR PLAN

1/4" = 1'-0"



REVISIONS		
NO.	DESCRIPTION	DATE
△	PLANNING REVISION	4/27/11
△	PLANNING REVISION	4/14/16

PROJECT TITLE

NEW SINGLE FAMILY DWELLING

SHEET TITLE

PROPOSED THIRD FLOOR/ROOF PLAN

LOCATION

216 HEAD ST.
SAN FRANCISCO, CA

BLOCK 7135 LOT. 23

ZONING RH1

OWNER -

DRAWN M.C.

CHECKED J.C.

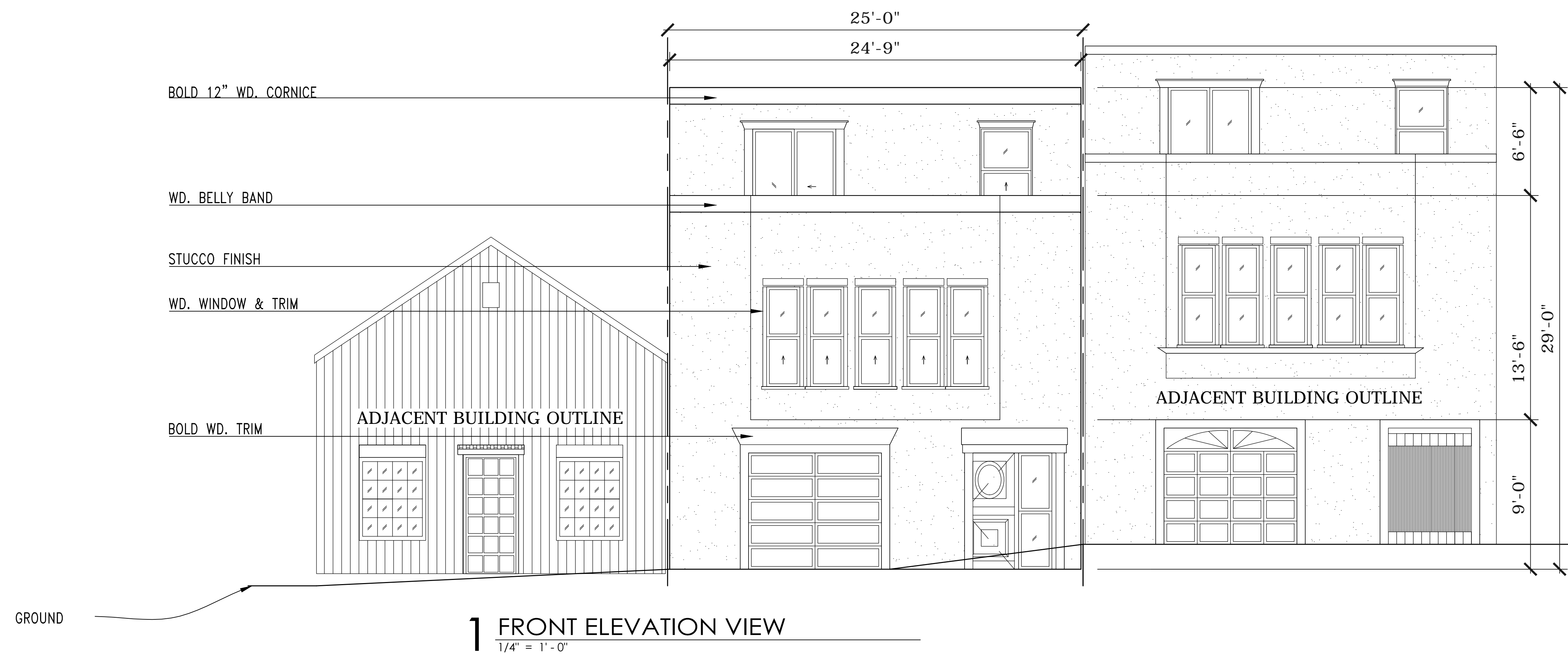
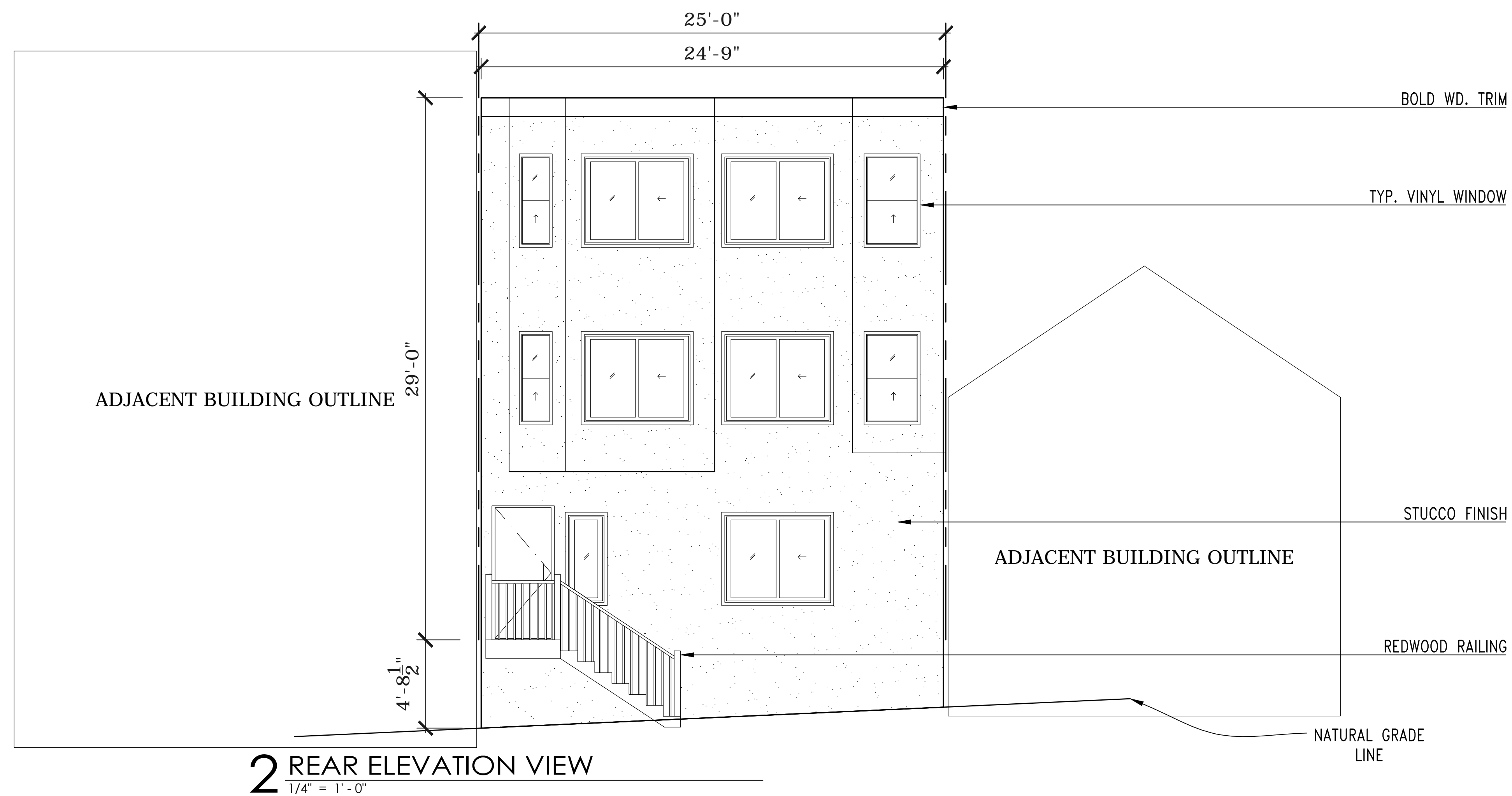
SCALE AS NOTED

DATE 9/23/2010

PROJECT NO.

SHEET

A1.2



REVISIONS		
NO.	DESCRIPTION	DATE
△	PLANNING REVISION	4/27/11
△	PLANNING REVISION	4/15/16

PROJECT TITLE

NEW SINGLE FAMILY DWELLING

SHEET TITLE

PROPOSED FRONT/REAR ELEVATIONS

LOCATION

216 HEAD ST.
SAN FRANCISCO, CA

BLOCK 7135 LOT. 23

ZONING RH1

OWNER -

DRAWN M.C.

CHECKED J.C.

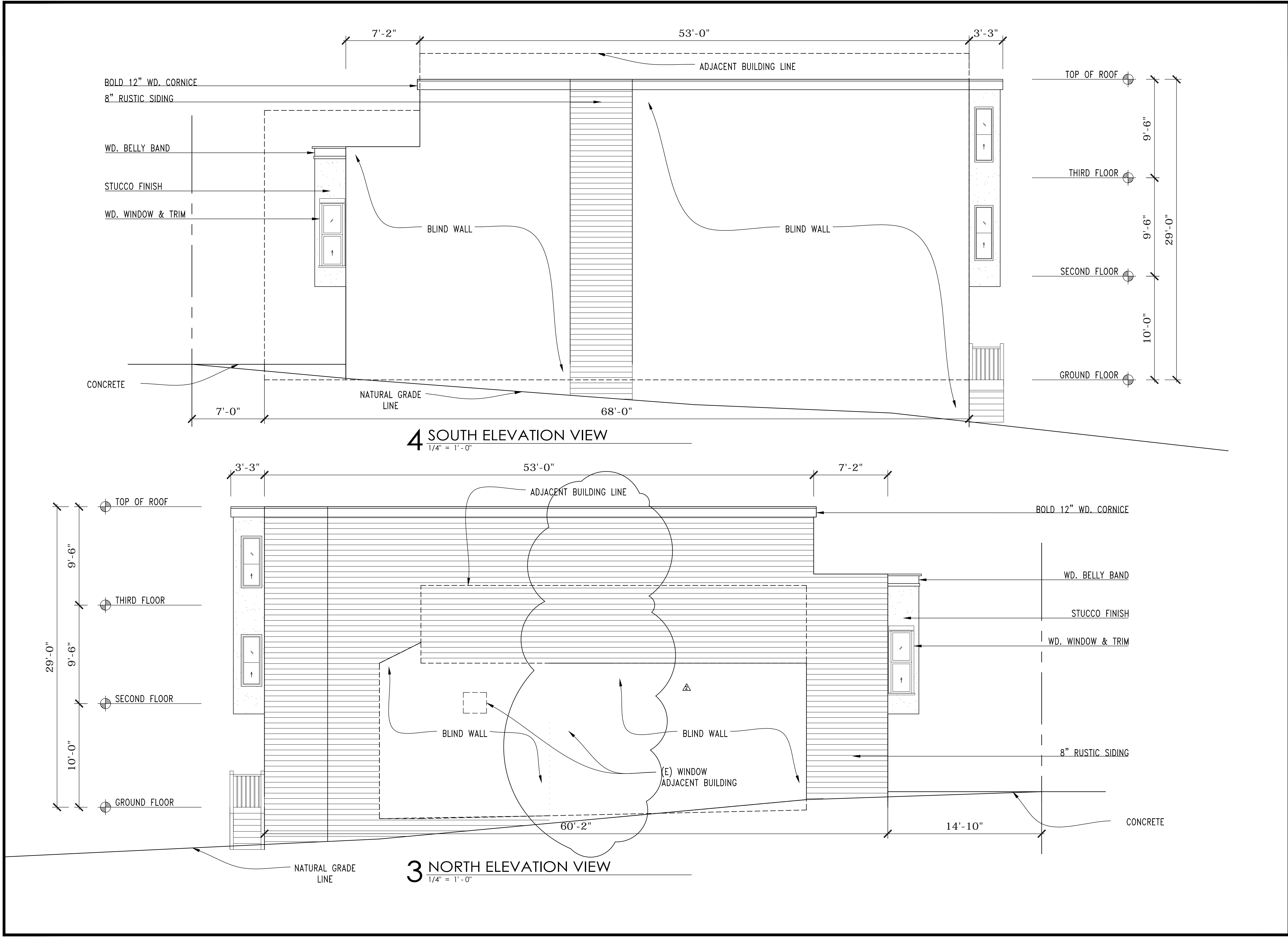
SCALE AS NOTED

DATE 9/23/2010

PROJECT NO.

SHEET

A2.1



REVISIONS		
NO.	DESCRIPTION	DATE
△	PLANNING REVISION	4/27/11
△	PLANNING REVISION	4/15/16

PROJECT TITLE

NEW SINGLE FAMILY DWELLING

SHEET TITLE

PROPOSED SIDE ELEVATIONS

LOCATION

216 HEAD ST.
SAN FRANCISCO, CA

BLOCK 7135 LOT. 23

ZONING RH1

OWNER -

DRAWN M.C.

CHECKED J.C.

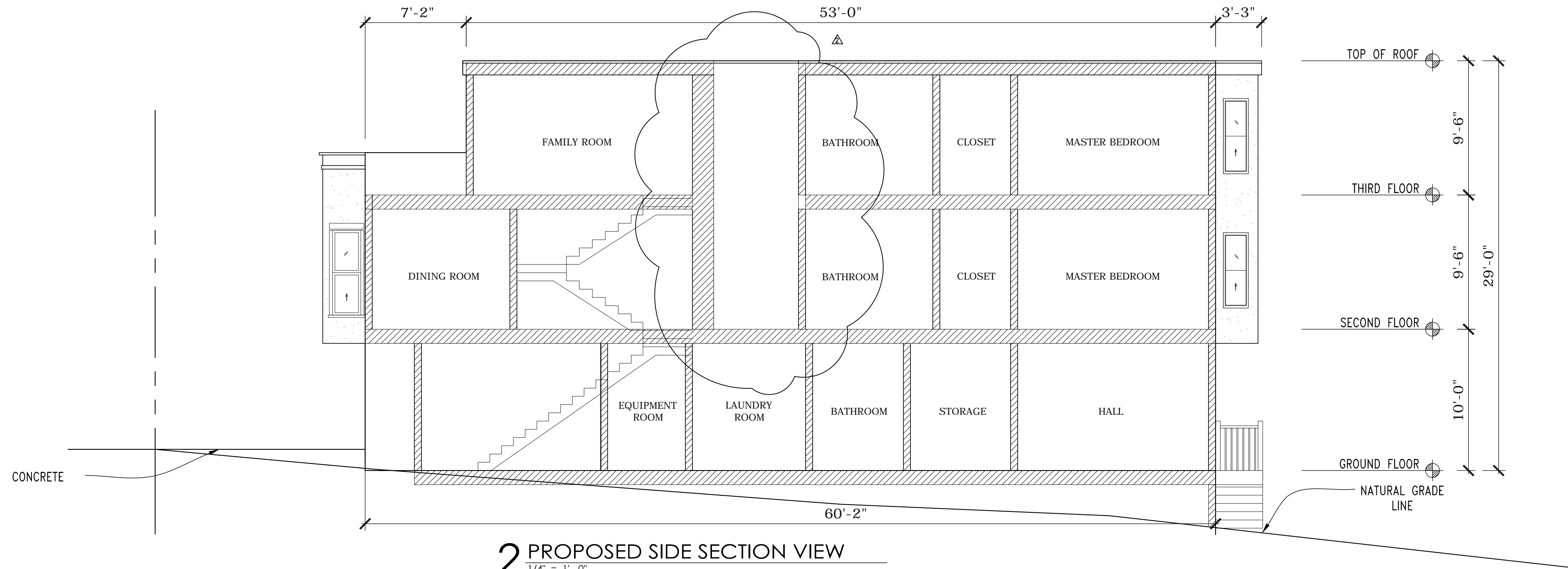
SCALE AS NOTED

DATE 9/23/2010

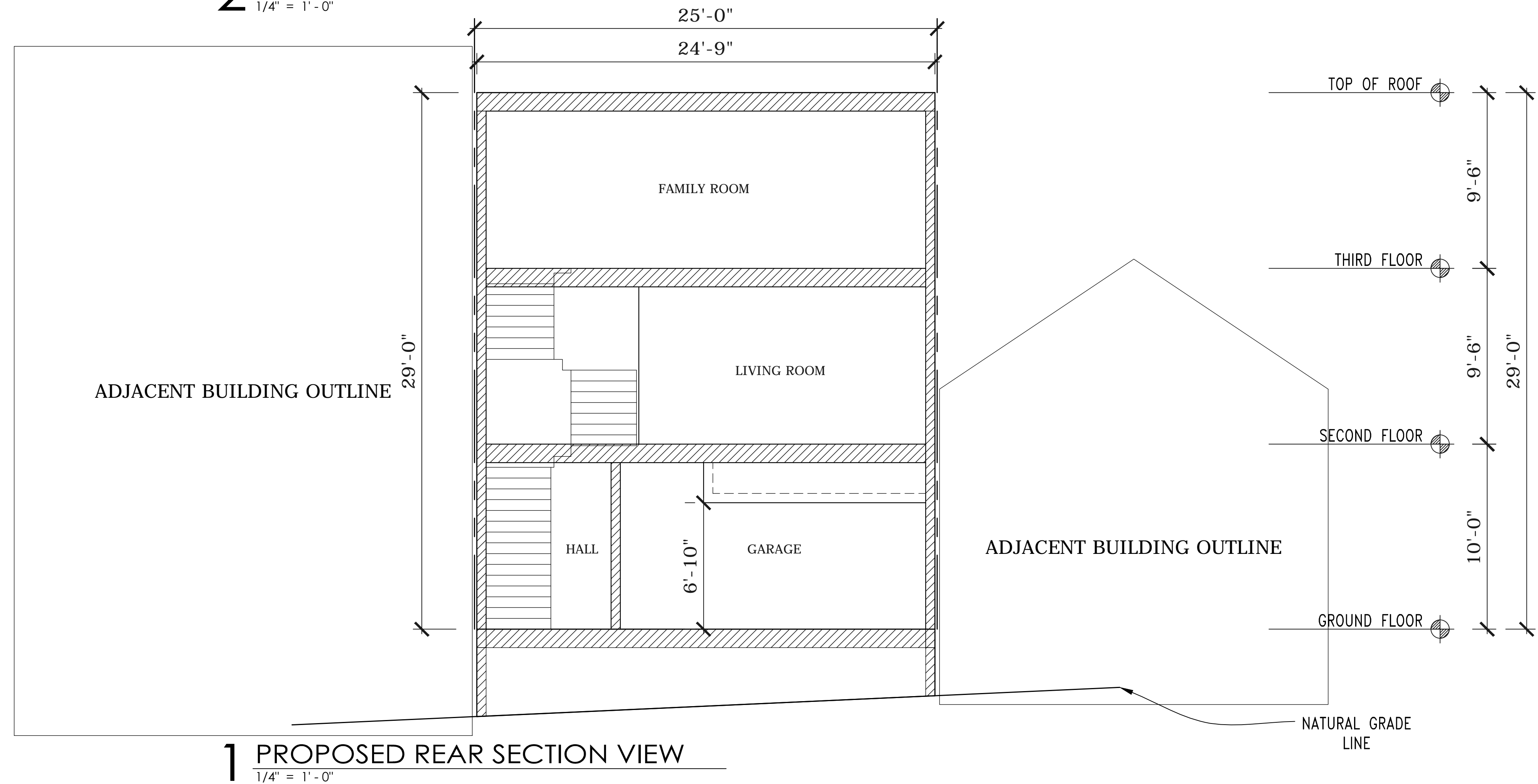
PROJECT NO.

SHEET

A2.2



2 PROPOSED SIDE SECTION VIEW
1/4" = 1' - 0"



1 PROPOSED REAR SECTION VIEW
1/4" = 1' - 0"

REVISIONS		
NO.	DESCRIPTION	DATE
1	PLANNING REVISION	4/27/11
2	PLANNING REVISION	4/15/16

PROJECT TITLE

NEW SINGLE FAMILY DWELLING

SHEET TITLE

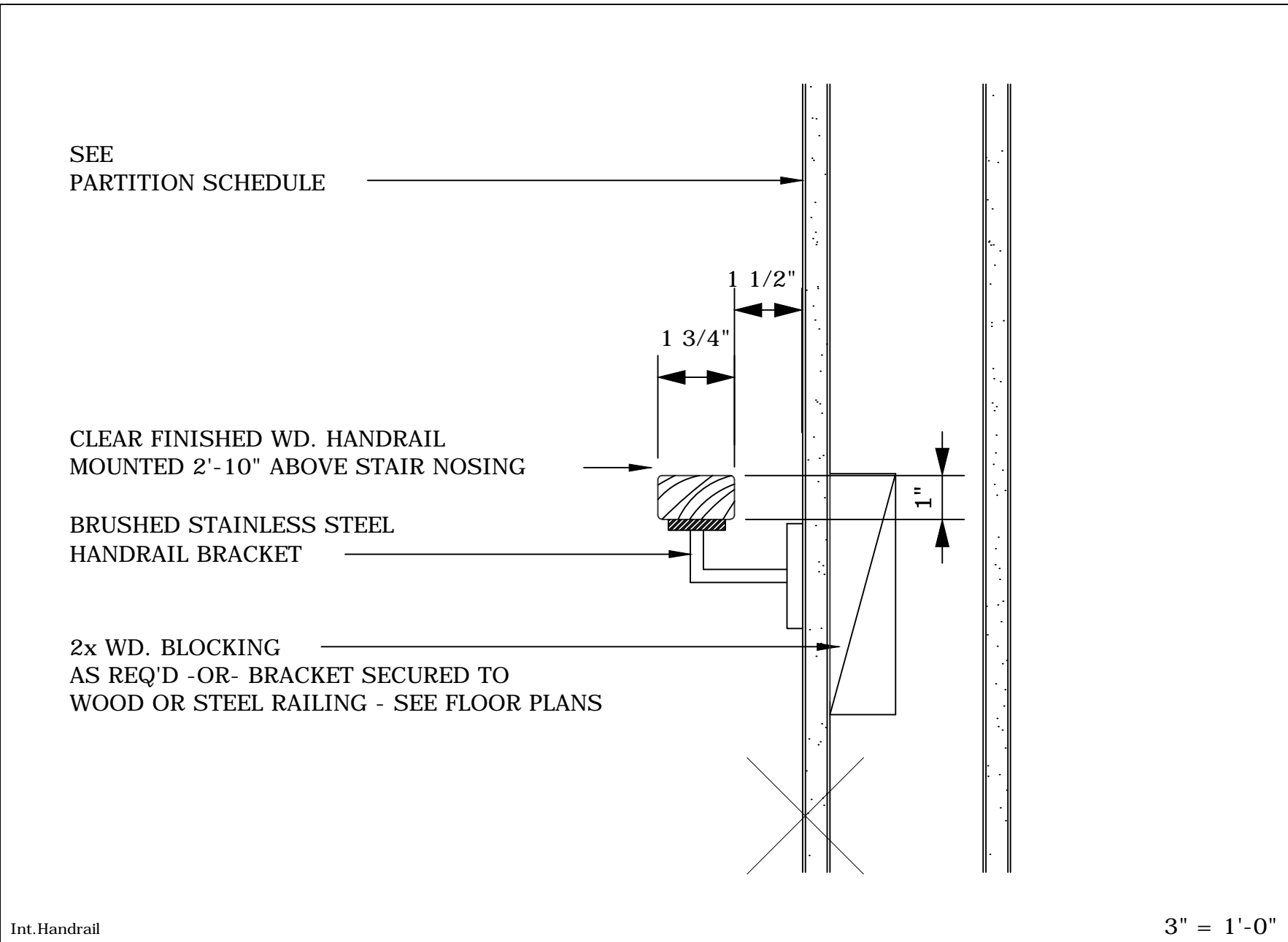
PROPOSED SECTION VIEWS

LOCATION
216 HEAD ST.
SAN FRANCISCO, CA
BLOCK 7135 LOT. 23
ZONING RH1

OWNER -

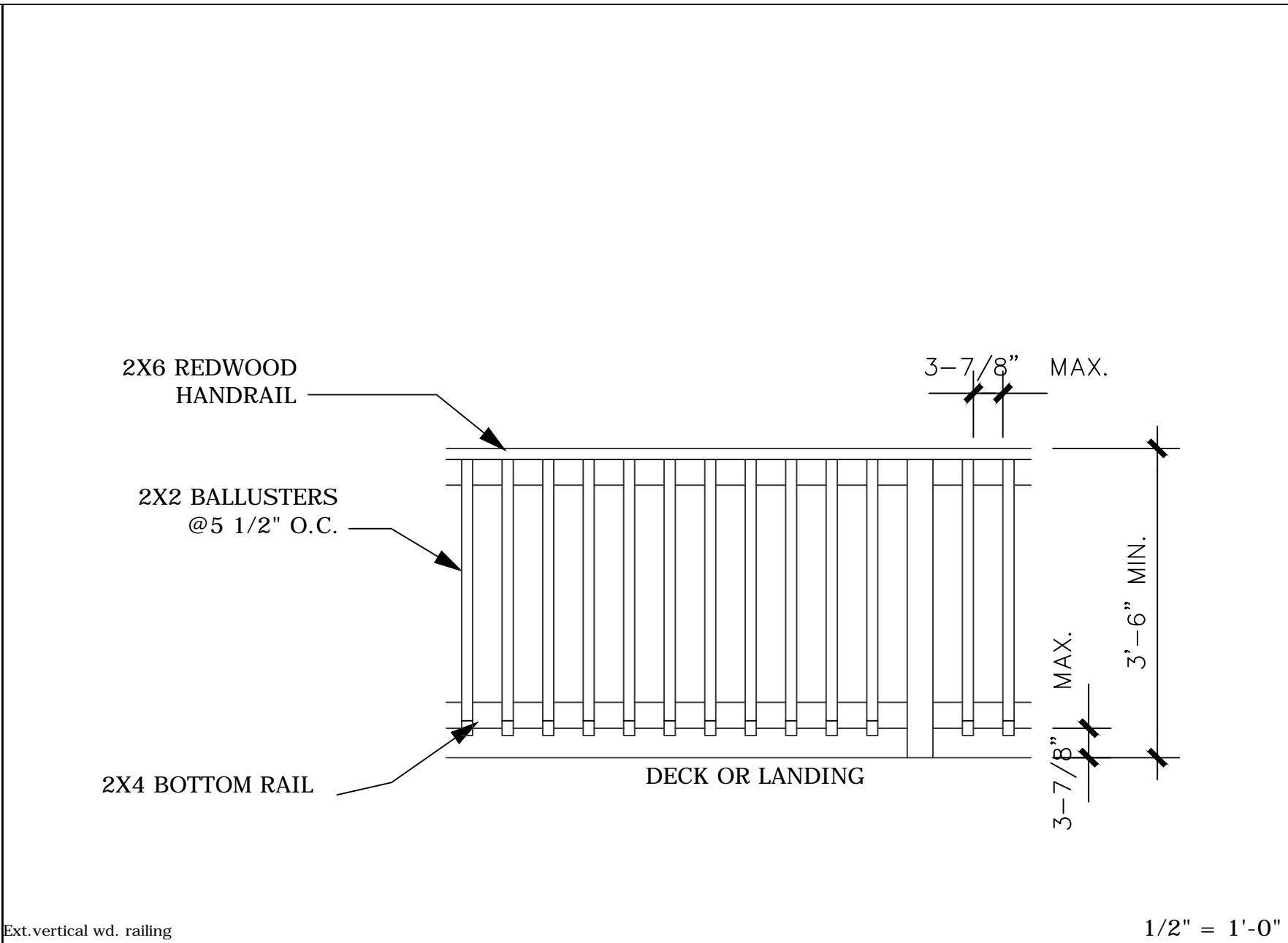
DRAWN T.C.
CHECKED J.C.
SCALE AS NOTED
DATE 9/23/2010
PROJECT NO.

SHEET
A2.3



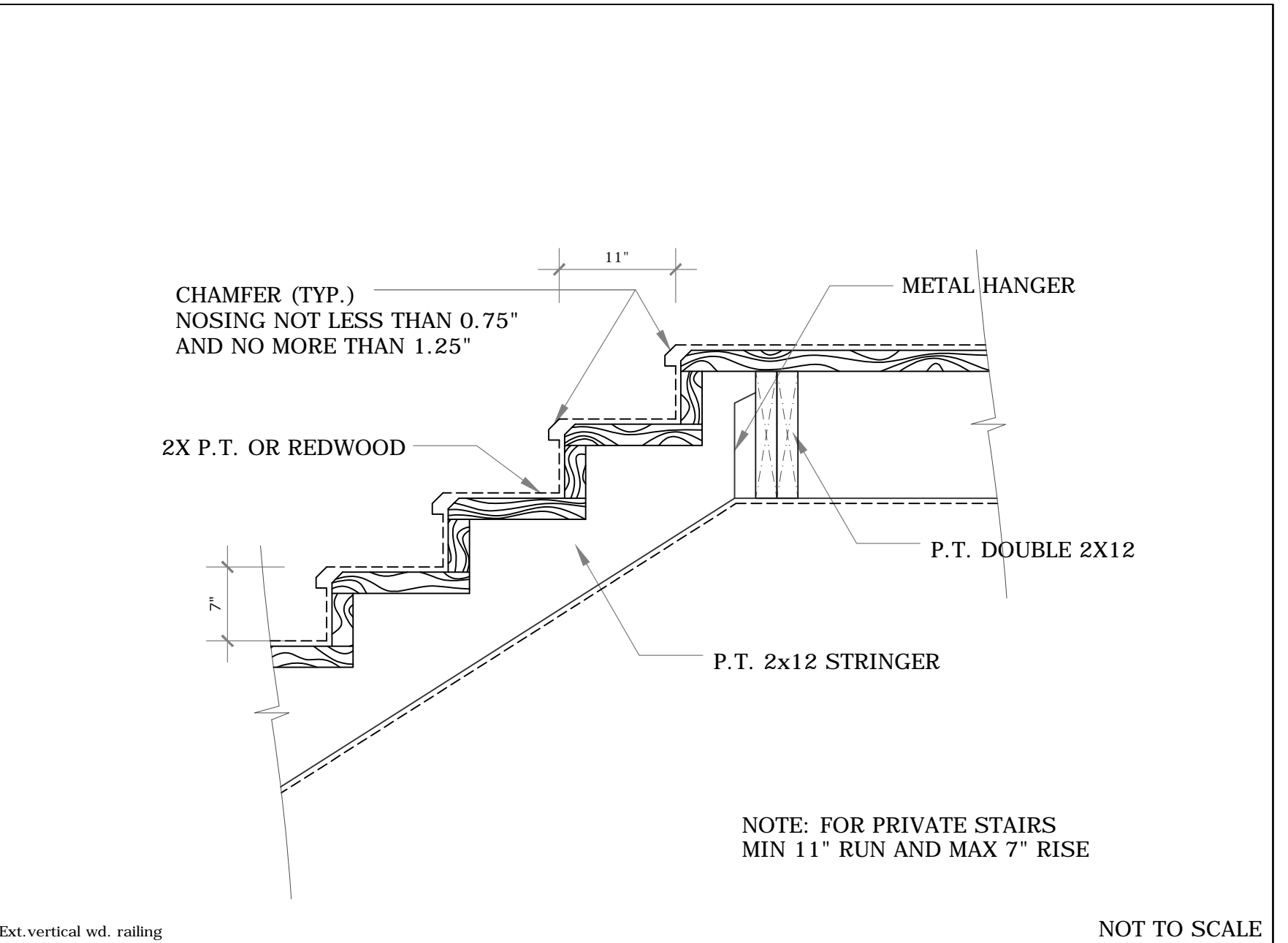
WOOD HANDRAIL DETAIL

1



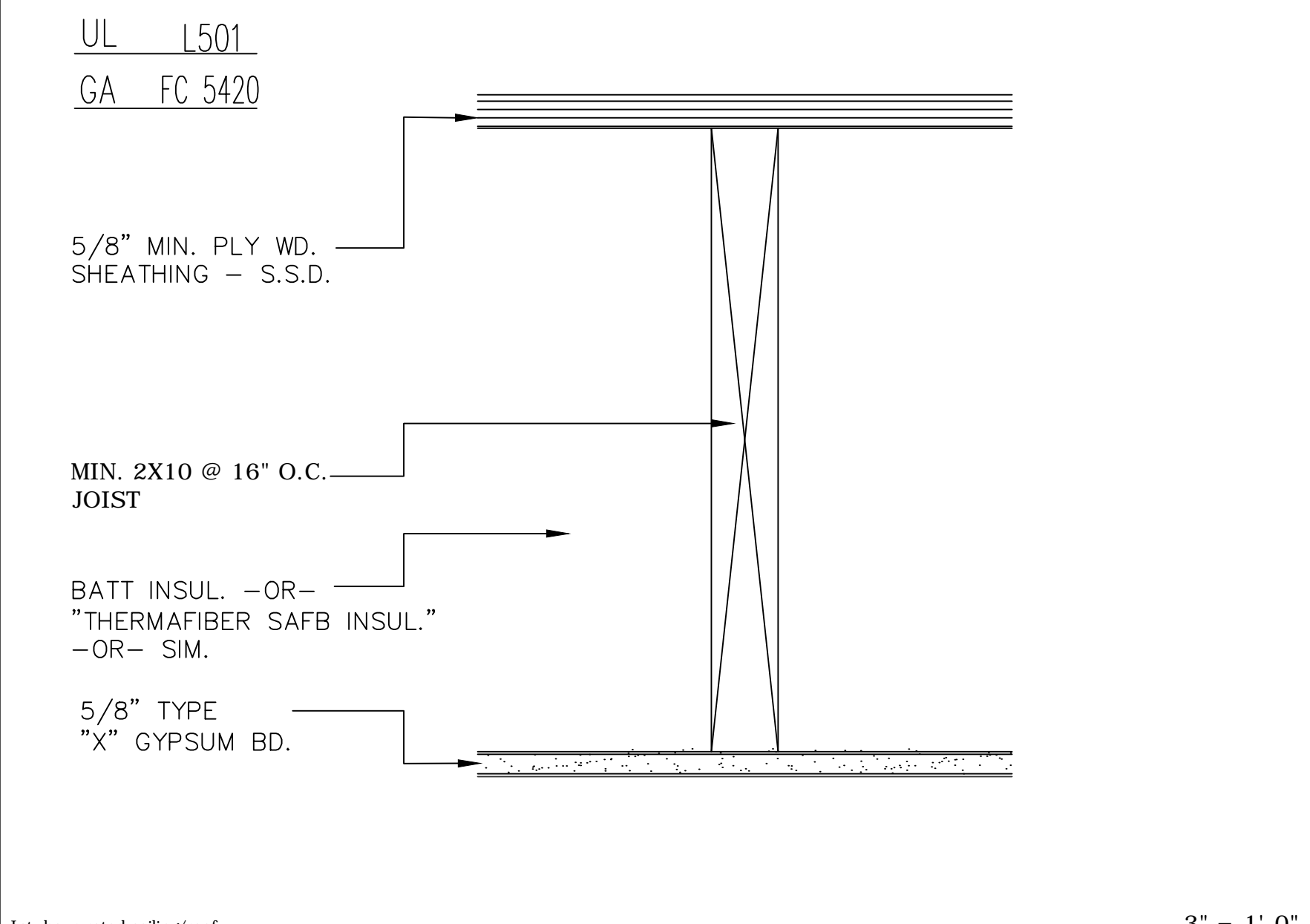
EXTERIOR RAILING DETAIL

2



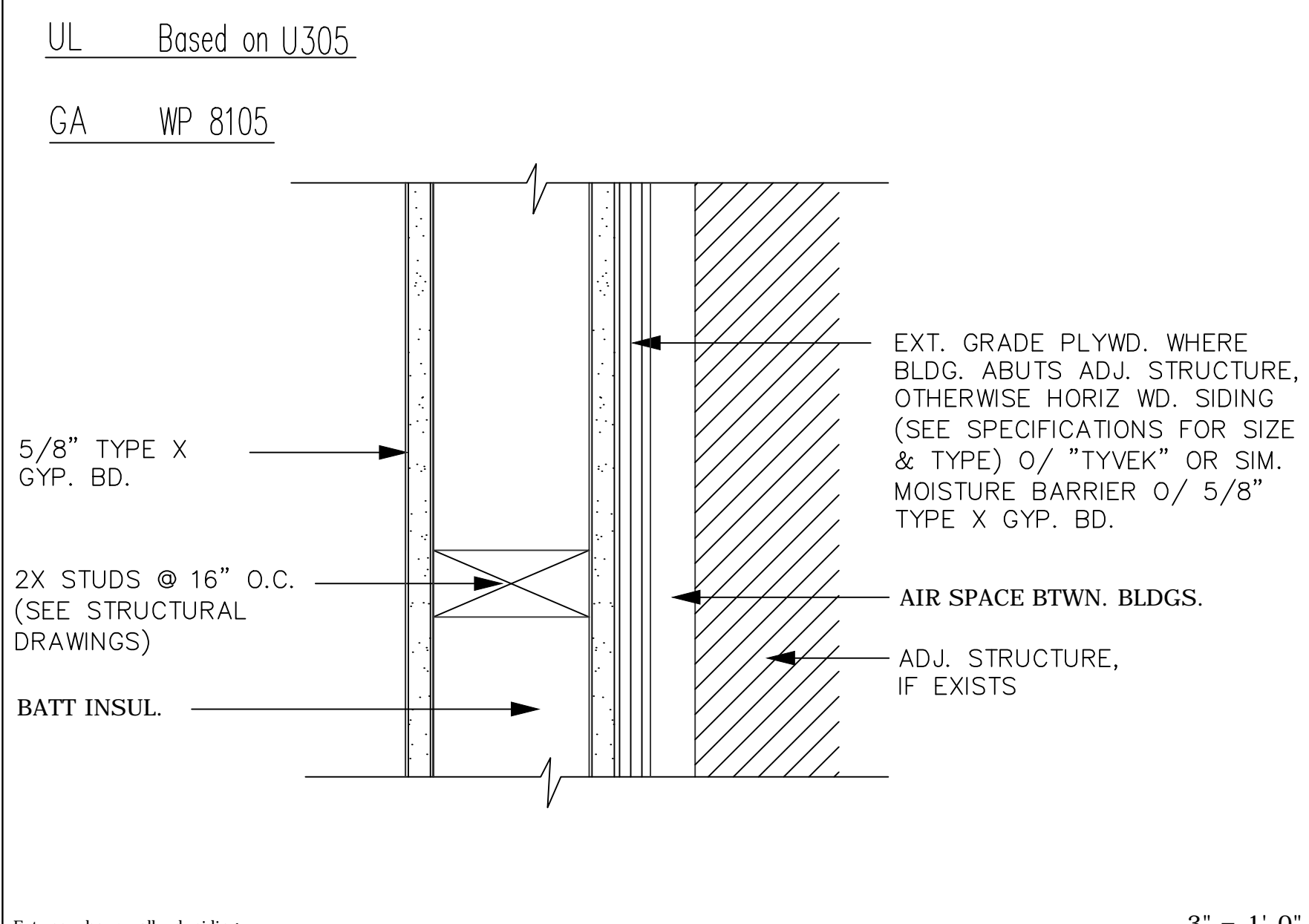
WOOD STAIR DETAIL

3



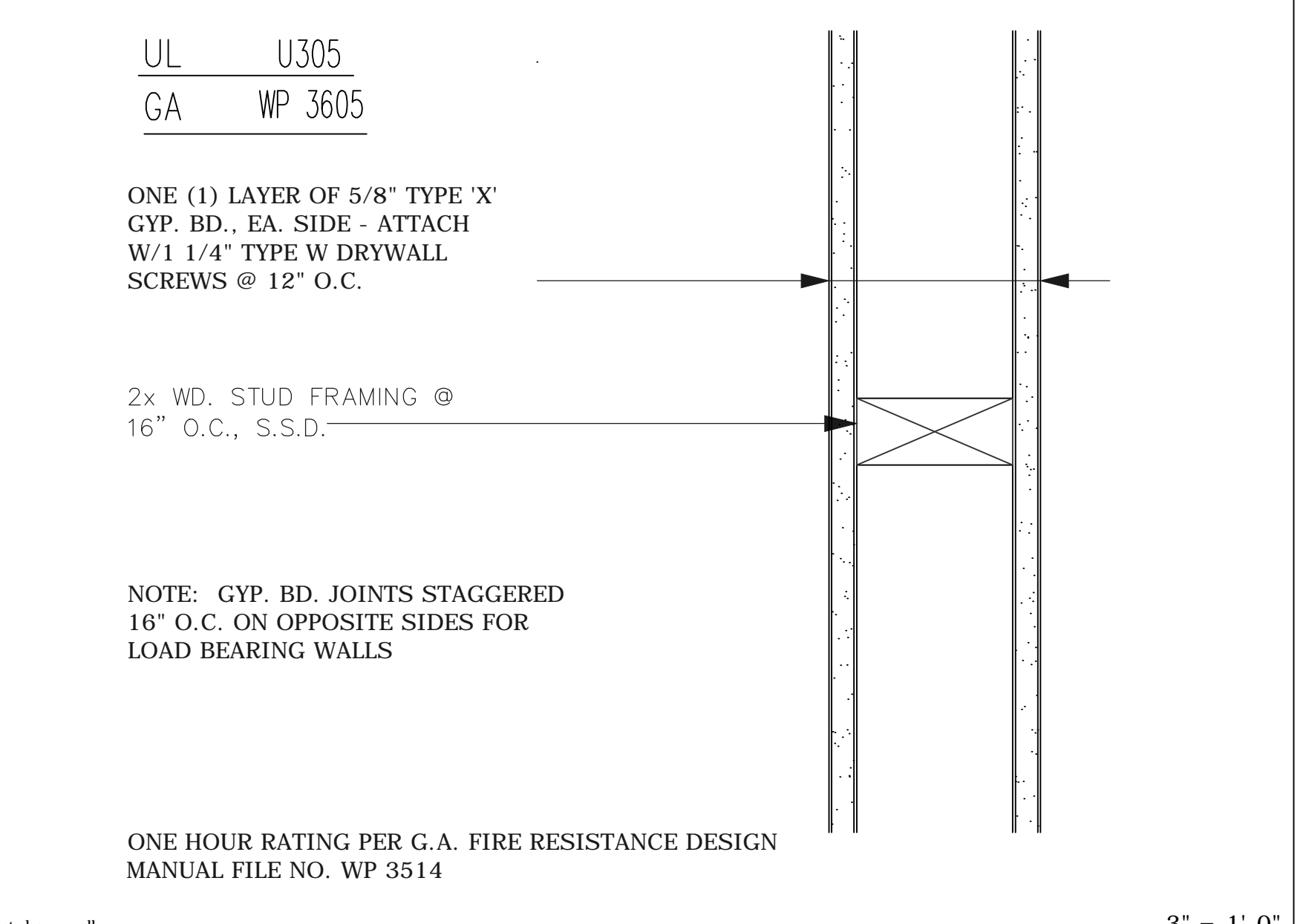
ONE-HOUR RATED CEILING/ROOF

4



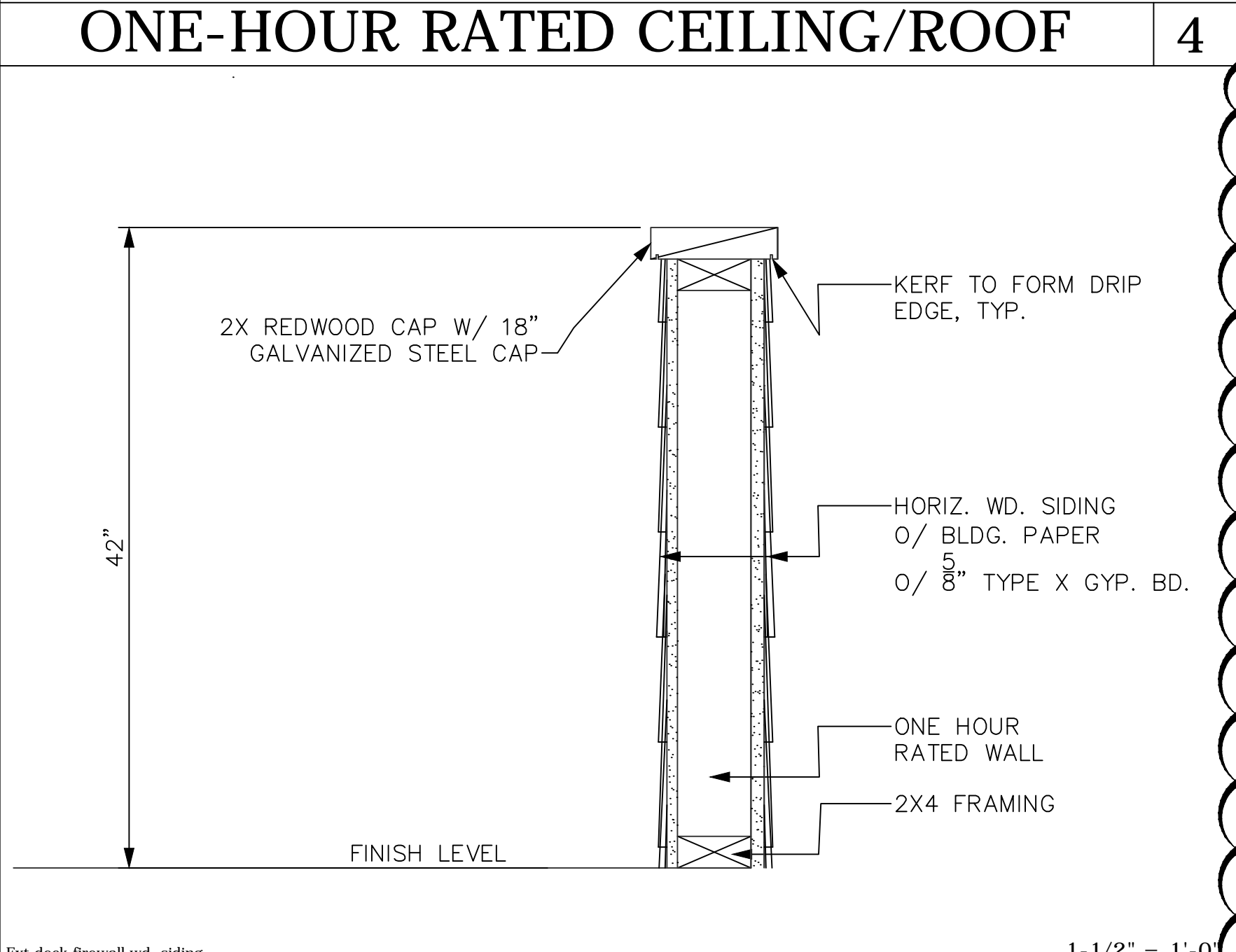
NEW EXT. ONE HOUR WALL

5



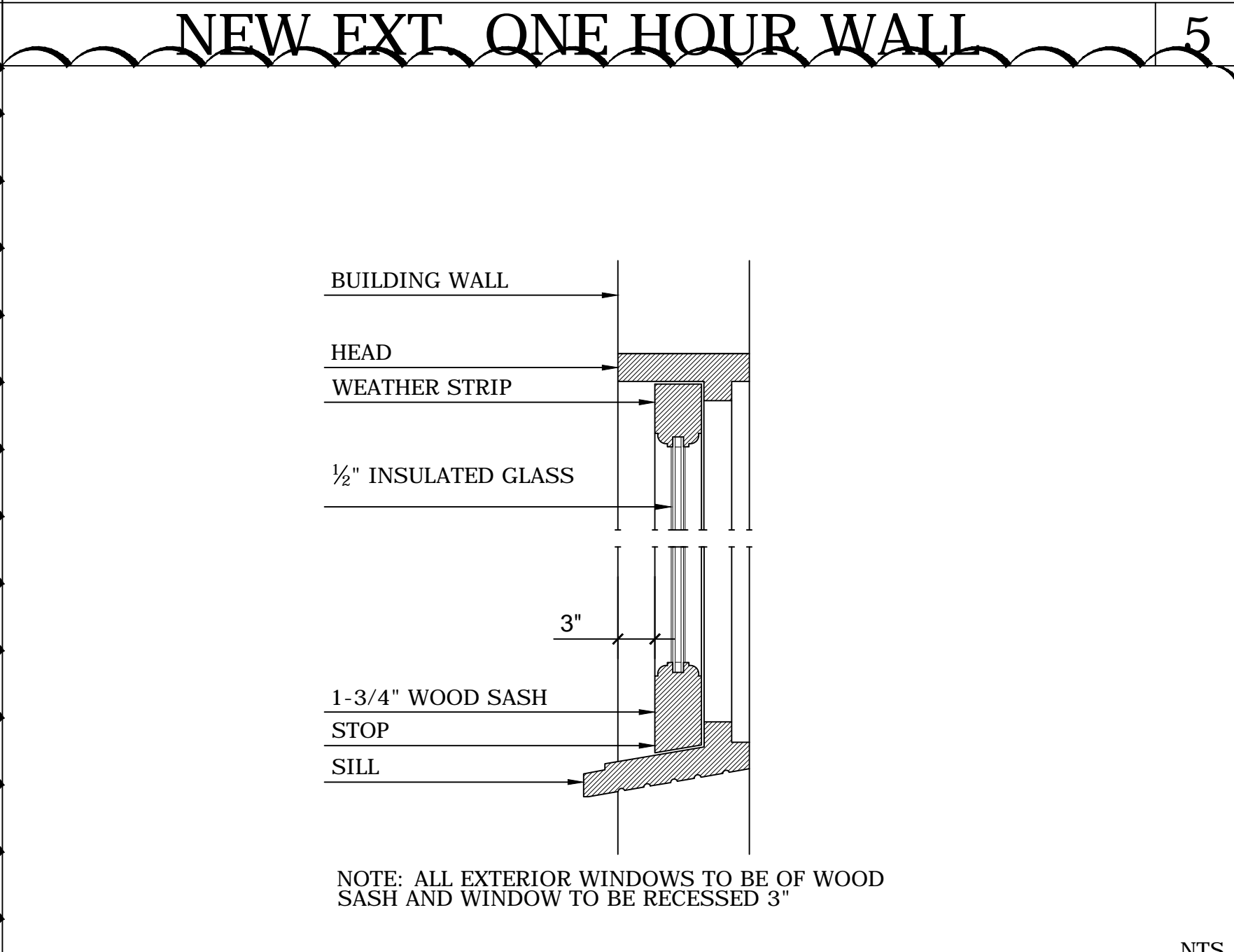
INTERIOR ONE HOUR WALL

6



PARAPET DETAIL

7



TYP. WINDOW DETAIL

8

TOMMY LEE
ARCHITECTURAL AND ENGINEERING
CONSULTING

259 BROAD ST
SAN FRANCISCO, CA
(415) 793-2722

REVISIONS		
NO.	DESCRIPTION	DATE
1	PLANNING REVISION	4/27/11

PROJECT TITLE

NEW SINGLE FAMILY
DWELLING

SHEET TITLE

DETAILS

LOCATION

216 HEAD ST.
SAN FRANCISCO, CA

BLOCK 7135 LOT. 23

ZONING RH1

OWNER -



DRAWN R.YU

CHECKED T.LEE

SCALE AS NOTED

DATE 9/23/2010

PROJECT NO.

SHEET
A4.0