



SAN FRANCISCO PLANNING DEPARTMENT

Memo to the Planning Commission

HEARING DATE: JUNE 1, 2017
Continued from the February 9, 2017 Hearing

Date: May 25, 2017
Case No.: 2016-004009DRP
Project Address: 3932-3934 26th Street
Permit Application: 201603182438
Zoning: RH-2 [Residential – House, Two-Family]
40-X Height and Bulk District
Block/Lot: 6552/012
Project Sponsor: Khoan Duong
John Lum Architecture
3246 17th Street
San Francisco, CA 94110
Staff Contact: Veronica Flores – (415) 575-9173
Veronica.flores@sfgov.org
Recommendation: **Do not take DR and approve as proposed**

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San Francisco,
CA 94103-2479

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BACKGROUND

The original project, first heard on February 9, 2017, included a vertical and horizontal addition to an existing three-story two-unit building. The project also proposed excavating and expanding the garage level to relocate one unit to the ground level and façade alterations. After closing public hearing, the Planning Commission continued the item to June 1, 2017 with the following direction:

- Adjust the proposal to yield two equal-sized units
- Redesign the 4th floor in order to reduce the impact of the proposal to the neighbors
- Resolve the tenant concerns

CURRENT PROPOSAL

The attached plans reflect changes made to the project per Commission's direction and after additional outreach to the neighbors. The changes include:

- Revised floor plans to create two similarly sized units.
- Reduced the size of windows at the front and rear facades
- Changed the front facade to a warmer contemporary style with cement plaster cladding with natural wood siding at the modified bay windows. The doors and windows remain aluminum framed.
- Reduced the roof deck area on the fourth floor to address privacy concerns from 3928 26th Street.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must not take DR and approve the project as modified.

BASIS FOR RECOMMENDATION

- The revised plans follow the direction provided by the Planning Commission.
- The project yields two family-sized units.
- The neighborhood is of architecturely mixed in nature, and the proposal compliments the existing neighborhood context.
- The proposed Project meets all applicable requirements of the Planning Code.

RECOMMENDATION: Approve with Conditions

Attachments:

- Revised Plans
- Additional Materials from the Project Sponsor
- Additional Public Comments
- Commission Packet dated February 2, 2017

3932 - 3934 26TH ST. REMODEL & ADDITION

3932 - 3934 26TH STREET
SAN FRANCISCO, CA 94114
BLOCK 6562 - LOT 012



JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL: 415 558 9550 FAX: 415 558 0554

ABBREVIATIONS:

&	AND
<	ANGLE
@	AT NUMBER
C	CENTER LINE
FL	PROPERTY LINE
(E)	EXISTING
(N)	NEW
(R)	REPLACE
ABV.	ABOVE
ADJ.	ADJACENT
ALUM.	ALUMINUM
ARCH.	ARCHITECTURE
ASPH.	ASPHALT
BD.	BOARD
BASE BD.	BASE BOARD
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
BOT.	BOTTOM
BM.	BEAM
B.T.-UP	B.T.-UP
CLG.	CEILING
CONTR.	CONTINUOUS
CONT.	CONTINUOUS
CTR.	CENTER
CL.	CLEAR
CL.	CENTER LINE
DBL.	DOUBLE
DOUGL. FIR	DOUGL. FIR
DIM.	DIMENSION
DN.	DOWN
D.P.	DOWN POLE
D.S.	DOWN SPOUT
DWG.	DRAWING
E.	EACH
EA.	ELEVATION
EL.	ELECTRICAL
EQ.	EQUAL
EQ.	EXPOSED
EXT.	EXTERIOR
FA.U.	FORCED-AIR UNIT
FDN.	FOUNDATION
FF.	FINISHED FLOOR
FF.E.	FINISHED FLOOR ELEVATION
FIN.	FINISH
F.O.C.	FACE OF CONCRETE
F.O.S.	FACE OF STUD
F.O.P.	FACE OF PLYWOOD
F.P.	FIRE PLACE
FURN.	FURNACE
GA.	GALVANIZED
GALV.	GALVANIZED
GND.	GROUND
GYP.BD.	GYP.SUM BOARD
H.C.	HOLLOW CORE
HDR.	HEADER
HW.D.	HARD WOOD
H.V.A.C.	HEATING, VENTILATION, AIR CONDITIONING
ID.	INSIDE DIMENSION
INSUL.	INSULATION
INT.	INTERIOR
JST.	JOST
MAX.	MAXIMUM
M.C.	MEDICINE CABINET
MECH.	MECHANICAL
MEMB.	MEMBRANE
MANUF.	MANUFACTURER
MIN.	MINIMUM
MTL.	METAL
N.	NORTH
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
O.	OVER
O.C.	ON CENTER
OCJ.	OWNER FURNISHED, CONTRACTOR INSTALLED
OPNG.	OPENING
OD.	OUTSIDE DIMENSION
P.C.	PLUMBING CHASE
PL.	PLYWOOD
PLYWD.	PLYWOOD
P.T.	PRESSURE TREATED
PT.	POINT
PTD.	PAINTED
R.	RADIUS
RET.AIR	RETURN AIR
RM.	ROOM
RDWD.	RED WOOD
R.W.L.	RAIN WATER LEADER
S.	SOUTH
S.S.D.	SEE STRUCTURAL DRAWINGS
SQ. FT.	SQUARE FOOT
SHT.	SHEET
SHTG.	SHEATHING
SIM.	SIMILAR
S.P.	SINGLE POLE
SQ.	SQUARE
S.S.T.	STAINLESS STEEL
ST.	STEEL
STD.	STANDARD
SUP.AIR	SUPPLY AIR
T&G.	TONGUE AND GROOVE
TBD.	TO BE DETERMINED
THK.	THICKNESS
T.O.P.	TOP OF PLATE
T.O.S.	TOP OF SLAB
T.O.F.F.	TOP OF FINISHED FLOOR
T.O.W.	TOP OF WALL
TP.	TOILET PAPER HOLDER
TR.	TOWEL RACK
TYE.	TYPICAL
U.N.	UNLESS OTHERWISE NOTED
VAR.	VARIABLE
V.D.C.	VERIFY DURING CONSTRUCTION
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD
W.	WEST
WI.	WITH
W.C.	WATER CLOSET
WD.	WOOD
WP.	WATER PROOF
W.H.	WATER HEATER

SYMBOLS:

EXISTING WALL	
NEW WALL	
NEW RATED WALL	
DEMO WALL	
LINE OVERHEAD OR HIDDEN	
CENTERLINE	
PROPERTY LINE	
DIMENSION TO FACE OF FINISH	
DIMENSION TO CL OF STUD	
DATUM LINE	
WINDOW SYMBOL	
DOOR SYMBOL	
COLOR SYMBOL	
FLOOR SYMBOL	
SECTION MARKER	
ELEVATION MARKER	
INTERIOR ELEVATION MARKER	
PLAN DETAIL MARKER	
DETAIL MARKER	
REVISION MARKER	

GENERAL NOTES:

- AIA DOCUMENT 201 "GENERAL CONDITIONS FOR THE PERFORMANCE OF A CONTRACT" ARE HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF WORK. SUPPLEMENTARY CONDITIONS TO THE CONTRACT SHALL APPLY.**
- ALL CONSTRUCTION SHALL CONFORM TO CURRENT SAN FRANCISCO CODES AND ANY OTHER GOVERNING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY APPLICABLE PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
 - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THE WORK CAN BE BUILT OR DEMOLISHED AS SHOWN BEFORE PROCEEDING WITH THE WORK. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
 - ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK.
 - CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT SHOWN ON THE DRAWINGS.
 - CONTRACTOR TO MAINTAIN ALL PROPER WORKMAN'S COMPENSATION AND LIABILITY INSURANCE THROUGHOUT THE DURATION OF PROJECT.
 - SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE PRIOR APPROVAL OF THE ARCHITECT.
 - DURING THE BIDDING AND NEGOTIATION PERIOD THE GENERAL CONTRACTOR AND SUBCONTRACTOR(S) SHALL CONFIRM IN WRITING APPROX. ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF THE SPECIFIED PRODUCT.
 - ALL WORK SHALL BE PERFORMED SUCH THAT DAMAGE TO EXISTING LANDSCAPE AND/OR PERSONAL PROPERTY IS PREVENTED OR MINIMIZED.
 - CONTRACTOR SHALL TAKE MEASURES TO PROTECT ADJACENT PROPERTIES. USE VISQUEEN, PLYWOOD, ETC. TO MINIMIZE NOISE, DUST, ETC.
 - IN THE EVENT THAT FOUNDATION EXCAVATION MIGHT AFFECT ADJACENT PROPERTIES, CONTRACTOR SHALL TAKE ALL APPROPRIATE STEPS TO NOTIFY THE PROPERTY OWNER OF THE CONDITION, AND TO ADEQUATELY PROTECT THE ADJACENT STRUCTURE.
 - WRITTEN DIMENSIONS REFER TO: FACE OF FINISH OR CENTER-LINE UNLESS OTHERWISE NOTED. EXTERIOR WALLS ARE DIMENSIONED TO FACE OF SHEATHING, U.O.N.
 - DIMENSIONS ARE TO TOP OF FIN. FLOOR, SLAB OR DECK IN SECTION OR ELEVATION, UNLESS OTHERWISE NOTED.
 - "SIM" OR "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE ITEM NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN.
 - "TYP" OR "TYPICAL" MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
 - DIMENSIONS NOTED "CLR" OR "CLEAR" ARE MINIMUM REQUIRED DIMENSIONS AND CLEARANCES MUST BE ACCURATELY MAINTAINED.
 - CONTRACTOR TO VERIFY DIMENSIONS AND CONDITIONS IN FIELD. IF CONDITIONS ARE SIGNIFICANTLY DIFFERENT THAN REPRESENTED IN DRAWINGS, VERIFY CONDITIONS WITH ARCHITECT.
 - ALL MATERIALS AND EQUIPMENT TO BE NEW UNLESS OTHERWISE NOTED.
 - ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
 - WINDOW AND DOOR SIZES ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER'S SPECIFICATIONS FOR ACTUAL ROUGH OPENINGS.
 - WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED THEY SHALL BE CENTERED IN THE WALL OR PLACED TWO STUD WIDTHS FROM ADJACENT WALL AS INDICATED ON DRAWINGS, UNLESS OTHERWISE NOTED.
 - ALL CHANGES IN FLOOR MATERIAL SHALL OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
 - SEALANT, CAULKING, FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.
 - ALL ATTICS, RAFTER SPACES, SOFFITS, CRAWL SPACES, ETC. TO BE FULLY VENTILATED PER APPLICABLE CODE.
 - PROVIDE WOOD BLOCKING FOR ALL TOWEL BARS, ACCESSORIES, ETC.
 - MEET ALL CALIFORNIA ENERGY CONSERVATION REQUIREMENTS INCLUDING BUT NOT LIMITED TO:
 - MINIMUM ROOF/CEILING INSULATION R-19
 - MINIMUM WALL INSULATION IN FRAMED EXTERIOR WALLS R-13
 - MINIMUM FLOOR INSULATION OVER CRAWL OR UNOCCUPIED SPACES R-13
 - ALL INSULATION TO MEET CEC QUALITY STANDARDS.
 - INFILTRATION CONTROL
 - DOORS AND WINDOWS WEATHER-STRIPPED.
 - EXHAUST SYSTEMS DAMPENED.
 - DOORS AND WINDOWS CEC CERTIFIED AND LABELED.
 - ALL JOINTS AND PENETRATIONS CAULKED AND SEALED.
 - F DUCTS CONSTRUCTED AND INSTALLED PER UMC
 - ELECTRICAL OUTLET PLATE GASKETS SHALL BE INSTALLED ON ALL RECEPTACLES, SWITCHES AND ELECTRICAL BASES ON EXTERIOR WALLS.
 - SMOKE ALARMS ARE TO BE INSTALLED IN ALL SLEEPING ROOMS. SMOKE ALARMS SHALL BE HARDWIRED TO 110V HOUSE WIRING AND WIRED TOGETHER IN SERIES. MINIMUM ONE ALARM PER STORY. REF. PLANS FOR LOCATIONS.
 - GENERAL CONTRACTOR IS TO COORDINATE INSTALLATION OF N.I.C. ITEMS WITH OTHER TRADES
 - LOCATION/SPECIFICATION OF SAFETY GLAZING (TEMPERED GLASS) ARE SOLE RESPONSIBILITY OF CONTRACTOR. ALL DOORS W/ GLAZING AND ALL GLAZING OF WINDOWS WITHIN 24" OF EDGE OF ANY DOOR SHALL BE WITH TEMPERED GLASS (UBC SECTION 2406)

PROJECT DATA:

CODES:
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA FIRE CODE
2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
APPLICABLE SAN FRANCISCO MUNICIPAL CODES

PROJECT ADDRESS:
3932 - 3934 26TH STREET
SAN FRANCISCO, CA 94114

PROJECT DESCRIPTION:
RENOVATION AND ADDITION TO EXISTING 2 UNIT BUILDING.

REMOVE (E) SLAB, FOUNDATIONS, STRUCTURE, AND PARTITIONS AS SHOWN.
REMOVE (E) EXTERIOR DOORS, WINDOWS, AND STRUCTURE AS SHOWN - EXCAVATE AND EXPAND (E) GARAGE LEVEL TO EXPAND LOWER UNIT - RENOVATE AND EXPAND (E) 2ND AND 3RD LEVELS TOWARD REAR YARD - ADD (N) 4TH LEVEL TO EXPAND UPPER UNIT.

PLANNING INFORMATION:

BLOCK/LOT:	6552 / 012
ZONING DISTRICT:	RH-2
LOT SIZE:	2,850 SQ. FT.
BUILDING HEIGHT:	40'-0" MAX; 30'-0" AT FRONT
NO. OF STORIES:	4
SETBACKS / YARD REQMNTS:	FRONT: AVG OF ADJ. BLDGS. UP TO 15'-0" REAR: 45% OF LOT DEPTH

GROSS FLOOR AREA:

EXISTING 1ST FLOOR:	1,304 SQ.FT.	(UNCONDITIONED)
EXISTING 2ND FLOOR:	0 SQ.FT.	(CONDITIONED)
EXISTING 3RD FLOOR:	1,418 SQ.FT.	(CONDITIONED)
TOTAL EXISTING:	2,709 SQ.FT.	(CONDITIONED)
PROPOSED 1ST FLOOR:	602 SQ.FT.	(UNCONDITIONED)
PROPOSED 2ND FLOOR:	1,247 SQ.FT.	(CONDITIONED)
PROPOSED 3RD FLOOR:	1,487 SQ.FT.	(CONDITIONED)
PROPOSED 4TH FLOOR:	887 SQ.FT.	(CONDITIONED)
TOTAL PROPOSED:	5,183 SQ.FT.	(CONDITIONED)
NET CHANGE:	2,482 SQ.FT.	(CONDITIONED)
	-702 SQ.FT.	(UNCONDITIONED)

G.F.A. BY UNIT:

ADDRESS	EXISTING UNIT	PROPOSED UNIT	% OF ORIGINAL UNIT
3932 26TH ST	1,157 SQ. FT.	2,402 SQ. FT.	207%
3934 26TH ST	1,311 SQ. FT.	2,781 SQ. FT.	212%

BUILDING INFORMATION:

OCCUPANCY:	GROUP R, DIVISION 3
CONSTRUCTION TYPE:	TYPE 5B (PER C.B.C. TABLE 601)
MINIMUM ROOF CLASS:	CLASS B ROOF
SPRINKLER:	BUILDING WILL BE FULLY SPRINKLERED.

PROJECT PARTICIPANTS:

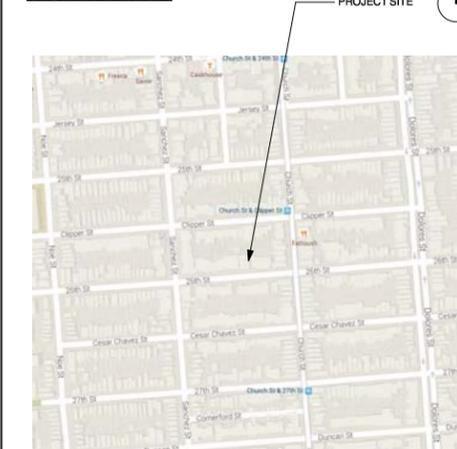
OWNER: 84 FEET LLC 2010 OCEAN AVENUE, SUITE 9 SAN FRANCISCO, CA 94127	ARCHITECT: JOHN LUM ARCHITECTURE 3246 17TH STREET SAN FRANCISCO, CA 94110
CONTACT: ASH GURJAL (415)531-3373	PROJECT MANAGER: KHOAN DUONG 1. 415. 558. 9550 x0013 1. 415. 558. 0554
GENERAL CONTRACTOR: T.B.D.	STRUCTURAL ENGINEER: T.B.D.

DRAWING INDEX:

ARCHITECTURAL

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8.	A1.1	FIRST FLOOR PLANS
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11.	A1.4	FOURTH FLOOR PLANS
12.	A1.5	ROOF PLANS
13.	A2.0	EXTERIOR ELEVATIONS
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VICINITY MAP:



3932 - 3934 26TH ST. REMODEL & ADDITION
3932 - 3934 26TH STREET
SAN FRANCISCO, CA 94114
BLOCK 6562 - LOT 012

client : 84 feet LLC
2010 ocean avenue, suite 9
san francisco, ca 94127

date :	issues/ revisions :	by :
11.23.15	Schematic Design	rk
03.02.16	Pre-Application Meeting	rk
03.14.16	Planning Submittal	rk
09.02.16	Planning Submittal R1	rk
09.20.16	Planning Submittal R2	rk
01.20.17	Planning Submittal R3	rk
05.08.17	Planning Submittal R4	rk

project name :
3932 - 3934 26TH ST. REMODEL & ADDITION

TITLE SHEET

A0.0



SUBJECT PROPERTY - 3932-3934 26TH ST. - FRONT ELEVATION



ADJACENT PROPERTY - 3936-3942 26TH ST. - FRONT ELEVATION



ADJACENT PROPERTY - 3928 26TH ST. - FRONT ELEVATION



AERIAL VIEW OF SUBJECT BLOCK WITH SUBJECT PROPERTY MARKED WITH BLUE OUTLINE.



SUBJECT PROPERTY - 3932-3934 26TH ST. - REAR ELEVATION



ADJACENT PROPERTY - 3936-3942 26TH ST. - REAR ELEVATION



ADJACENT PROPERTY - 3928 26TH ST. - REAR ELEVATION



NEIGHBORING PROPERTIES - ACROSS THE STREET



26TH ST. LOOKING WEST OF SUBJECT PROPERTY



26TH ST. LOOKING EAST OF SUBJECT PROPERTY

LUMI

JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL: 415 568 9550 FAX: 415 568 0554



3932 - 3934 26TH ST. REMODEL & ADDITION

3932 - 3934 26TH STREET
SAN FRANCISCO, CA 94114
BLOCK 6562 - LOT 012

client : 94 feet LLC
2010 ocean avenue, suite 9
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01.20.17	Planning Submittal R3	rk
05.08.17	Planning Submittal R4	rk

project name :
3932 - 3934 26TH ST. REMODEL & ADDITION

SITE PHOTOS

A0.1



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address 3932-3934 26th Street		Block/Lot(s) 6552/012
Case No. 2016-004009ENV	Permit No.	Plans Dated 03/14/2016
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Demolition (requires HRER if over 45 years old)	<input type="checkbox"/> New Construction
<input type="checkbox"/> Project Modification (GO TO STEP 7)		

Project description for Planning Department approval:
Proposed renovation & addition to (E) 2-unit dwelling. Excavation & expansion of (E) garage to add additional parking space. Vertical & horizontal addition to include (N) 4th level & roof deck.

STEP 1: EXEMPTION CLASS TO BE COMPLETED BY PROJECT PLANNER

Note: If neither class applies, an Environmental Evaluation Application is required.

Class 1 - Existing Facilities, interior and exterior alterations; additions under 10,000 sq. ft.

Class 3 - New Construction/ Conversion of Small Structures. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU. Change of use under 10,000 sq. ft. if principally permitted or with a CU.

Class _____

STEP 2: CEQA IMPACTS TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an Environmental Evaluation Application is required.

Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks)? Exemptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Article 38 program and the project would not have the potential to emit substantial pollutant concentrations. (refer to EP_ArcMap > CEQA CateX Determination Layers > Air Pollutant Exposure Zone)

Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. Exemptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the

Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).

Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle facilities (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?

Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA CateX Determination Layers > Archeological Sensitive Area)

Subdivision/Lot Line Adjustment: Does the project involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA CateX Determination Layers > Topography)

Slope = or > 20%: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA CateX Determination Layers > Topography) If box is checked, a geotechnical report is required.

Seismic Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA CateX Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required.

Seismic Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA CateX Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required.

If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an Environmental Evaluation Application is required, unless reviewed by an Environmental Planner.

Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.

Comments and Planner Signature (optional): Jean Poling

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)

Category A: Known Historical Resource. GO TO STEP 5.

Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.

Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.

1. Change of use and new construction. Tenant improvements not included.

2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.

3. Window replacement that meets the Department's Window Replacement Standards. Does not include storefront window alterations.

4. Garage work. A new opening that meets the Guidelines for Adding Garages and Carb Cuts, and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.

5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.

6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.

7. Dormer installation that meets the requirements for exemption from public notification under Zoning Administrator Bulletin No. 3: Dormer Windows.

8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.

Note: Project Planner must check box below before proceeding.

Project is not listed. GO TO STEP 5.

Project does not conform to the scopes of work. GO TO STEP 5.

Project involves four or more work descriptions. GO TO STEP 5.

Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW TO BE COMPLETED BY PRESERVATION PLANNER

Check all that apply to the project.

1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.

2. Interior alterations to publicly accessible spaces.

3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.

4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.

5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.

6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

7. Addition(s), including mechanical equipment that are minimally visible from a public right-of-way and meet the Secretary of the Interior's Standards for Rehabilitation.

8. Other work consistent with the Secretary of the Interior Standards for the Treatment of Historic Properties (specify or add comments):

9. Other work that would not materially impair a historic district (specify or add comments):

(Requires approval by Senior Preservation Planner/Preservation Coordinator)

10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation Coordinator)

Reclassify to Category A Reclassify to Category C

a. Per HRER dated: Per PTR form dated 6/9/16 (attach HRER)

b. Other (specify):

Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.

Further environmental review required. Based on the information provided, the project requires an Environmental Evaluation Application to be submitted. GO TO STEP 6.

Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.

Comments (optional):

Preservation Planner Signature: Natalia Kwiatkowska

STEP 6: CATEGORICAL EXEMPTION DETERMINATION TO BE COMPLETED BY PROJECT PLANNER

Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply):

Step 2 - CEQA Impacts

Step 5 - Advanced Historical Review

STOP! Must file an Environmental Evaluation Application.

No further environmental review is required. The project is categorically exempt under CEQA.

Planner Name: Natalia Kwiatkowska

Project Approval Action: Building Permit

Signature: Natalia Kwiatkowska

Digitally signed by Natalia Kwiatkowska DN: cn=Natalia Kwiatkowska, o=City of San Francisco, ou=City Planning, email=Natalia.Kwiatkowska@sf.gov, date=2016.06.21 10:58:17 -0700

Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (if different than front page)		Block/Lot(s) (if different than front page)
Case No.	Previous Building Permit No.	New Building Permit No.
Plans Dated	Previous Approval Action	New Approval Action

Modified Project Description:

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

Result in expansion of the building envelope, as defined in the Planning Code;

Result in the change of use that would require public notice under Planning Code Sections 311 or 312;

Result in demolition as defined under Planning Code Section 317 or 19005(f)?

Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?

If at least one of the above boxes is checked, further environmental review is required. AT EX FOR

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

The proposed modification would not result in any of the above changes.

If this box is checked, the proposed modifications are categorically exempt under CEQA. In accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.

Planner Name: _____ Signature or Stamp: _____



SAN FRANCISCO PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW FORM

1650 Mission St. Suite 400 San Francisco, CA 94103-2479
Phone: 415.558.6378
Fax: 415.558.6409
Planning Information: 415.558.6377

Preservation Team Meeting Date: _____ Date of Form Completion: 6/9/2016

PROJECT INFORMATION:

Planner: Natalia Kwiatkowska Address: 3932-3934 26th Street

Block/Lot: 6552/012 Cross Streets: Sanchez & Church Streets

CEQA Category: B Art. 10/11: N/A BPA/Case No.: 2016-004009ENV

PURPOSE OF REVIEW: CEQA Article 10/11 Preliminary/PIC PROJECT DESCRIPTION: Alteration Demo/New Construction

DATE OF PLANS UNDER REVIEW: 3/14/16

PROJECT ISSUES:

Is the subject Property an eligible historic resource?

If so, are the proposed changes a significant impact?

Additional Notes:

Submitted: Supplemental Information for Historic Resource Determination and Historic Resource Evaluation Part 1 prepared by Tim Kelley Consulting (dated February 2016).

Proposed Project: Vertical and horizontal additions to the existing two-story-over-garage, two-unit residence including interior renovations and front facade changes.

PRESERVATION TEAM REVIEW:

Historic Resource Present	Individual	Historic District/Context
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No * <input type="checkbox"/> N/A	Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:	Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:
	Criterion 1 - Event: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 1 - Event: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Criterion 2 - Persons: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 2 - Persons: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Criterion 3 - Architecture: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 3 - Architecture: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Criterion 4 - Info. Potential: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Criterion 4 - Info. Potential: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Period of Significance: N/A	Period of Significance: N/A
	<input type="checkbox"/> Contributor <input type="checkbox"/> Non-Contributor	

Complies with the Secretary's Standards/Art.10/Art.11:	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
CEQA Material Impairment:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Needs More Information:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Requires Design Revisions:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Defer to Residential Design Team:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

* If No is selected for Historic Resource per CEQA, a signature from Senior Preservation Planner or Preservation Coordinator is required.

PRESERVATION TEAM COMMENTS:

According to the Historic Resource Evaluation prepared by Tim Kelley Consulting (dated February 2016), and information found in the Planning Department files, the subject property at 3932-3934 26th Street contains a two-story-over-basement, wood-frame, two-family dwelling designed in the Vernacular style. The building was constructed in 1907 (source: original building permit) by the first owner, local contractor Charles G. Stuhr, listed in City Directories as a plumber. The house features angled bay windows clad in stucco and capped with a flat roof. The subject property was originally owned by Charles G. Stuhr, who never resided in the building. The subject building passed ownership several times, being used as a rental property until 1922, when it was purchased by John and Luisa Figone, who resided in the property until 1939. Known alterations to the property include: addition of a garage at the ground floor (1922), replacement of existing garage door (1949), replacement of front steps (1952), replacement of original rustic siding with stucco and removal of ornamentation (1954), and reroofing (1993).

No known historic events occurred at the subject property (Criterion 1). None of the owners or occupants have been identified as important to history (Criterion 2). The building is not architecturally distinct such that it would qualify individually for listing in the California Register under Criterion 3. The subject property is a nondescript example of a vernacular multi-family residence.

The subject property is not located within the boundaries of any identified historic district. The subject property is located in the western section of Noe Valley neighborhood, in what is historically known as Horner's Addition. The subject block face features buildings constructed between 1890 and 1924, ranging in massing, scale, and architectural styles. The area surrounding the subject property does not contain a significant concentration of historically or aesthetically unified buildings.

Therefore, the subject property is not eligible for listing in the California Register under any criteria individually or as part of a historic district.

Signature of a Senior Preservation Planner / Preservation Coordinator: _____ Date: 6-21-2016

HISTORICAL RESOURCE EVALUATION PART 1

3932-3934 26th Street
SAN FRANCISCO, CALIFORNIA



TIM KELLEY CONSULTING, LLC
HISTORICAL RESOURCES
2912 DIAMOND STREET #330
SAN FRANCISCO, CA 94131
415.337-5824
TIM@TIMKELLEYCONSULTING.COM

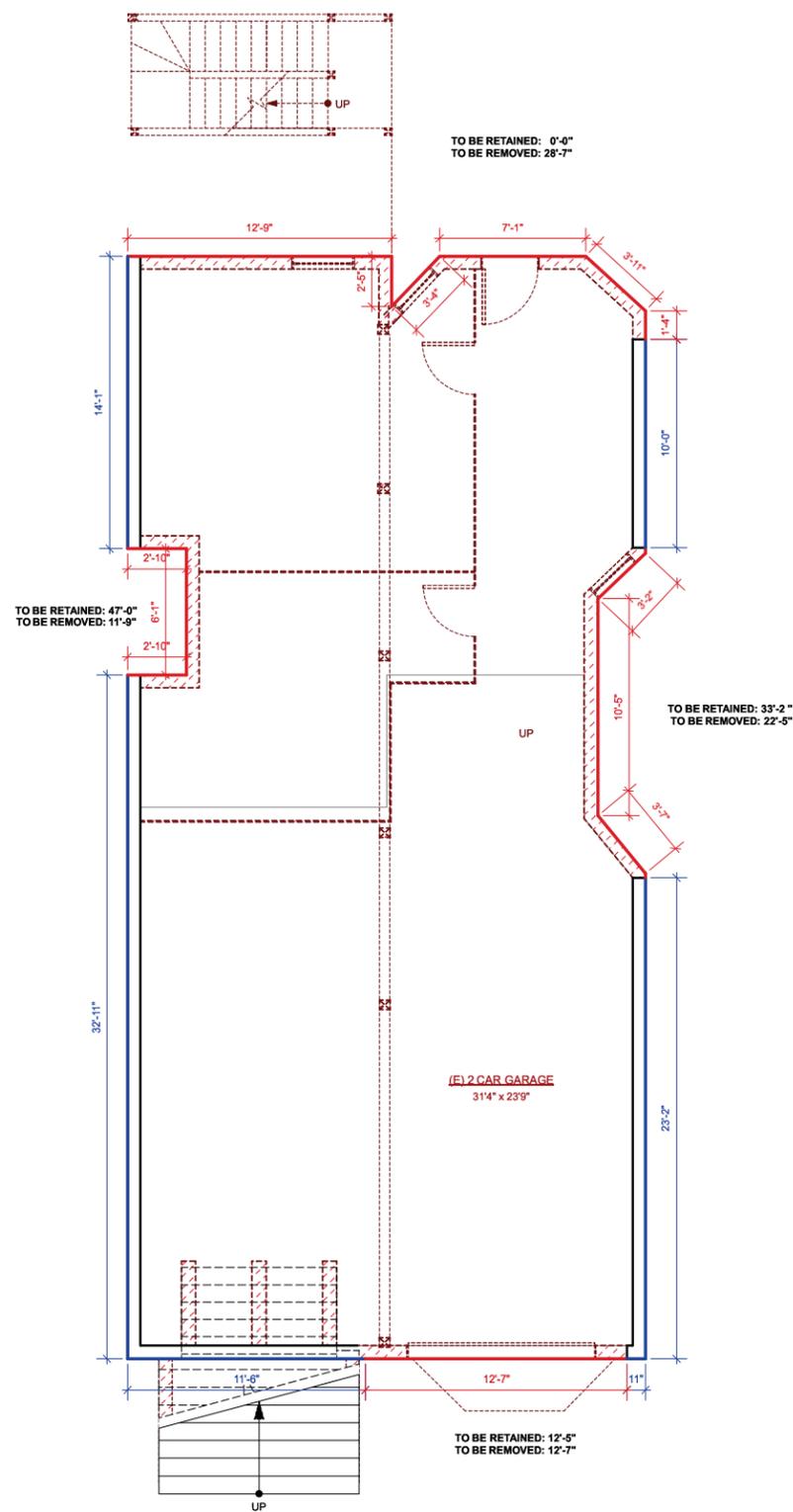
date	issues/ revisions	by
11.23.15	Schematic Design	rk
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01.20.17	Planning Submittal R3	rk
05.08.17	Planning Submittal R4	rk

project name :
3932 - 3934 26TH ST. REMODEL & ADDITION

CEQA EXEMPTION

A0.2

3932 - 3934 26TH STREET
 SAN FRANCISCO, CA 94114
 BLOCK 6562 - LOT 012
 client :
 94 feet, LLC
 2010 ocean avenue, suite 9
 san francisco, ca 94127
 JOHN LUM ARCHITECTURE INC.
 3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
 TEL 415 568 9550 FAX 415 568 0554



1 DEMO CALCS - SUM OF EXTERIOR WALLS
Scale: 1/4" = 1'-0"

SYMBOLS	
TO BE RETAINED	
TO BE REMOVED	

SEC. 317 (2) (B)
REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT AND REAR FACADE MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL

SUM OF FRONT AND REAR FACADE					
ELEMENT	(E) LENGTH (FT.)	TO BE REMOVED (FT.)	TO BE REMOVED (%)	TO BE RETAINED (FT.)	TO BE RETAINED (%)
FRONT (SOUTH) FACADE	25'-0"	12'-7"	50.3%	12'-5"	49.7%
REAR (NORTH) FACADE	25'-0"	25'-0"	100%	0'-0"	0%
TOTALS	50'-0"	37'-7"	75.0%	12'-5"	25.0%

SEC. 317 (2) (B)
REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL

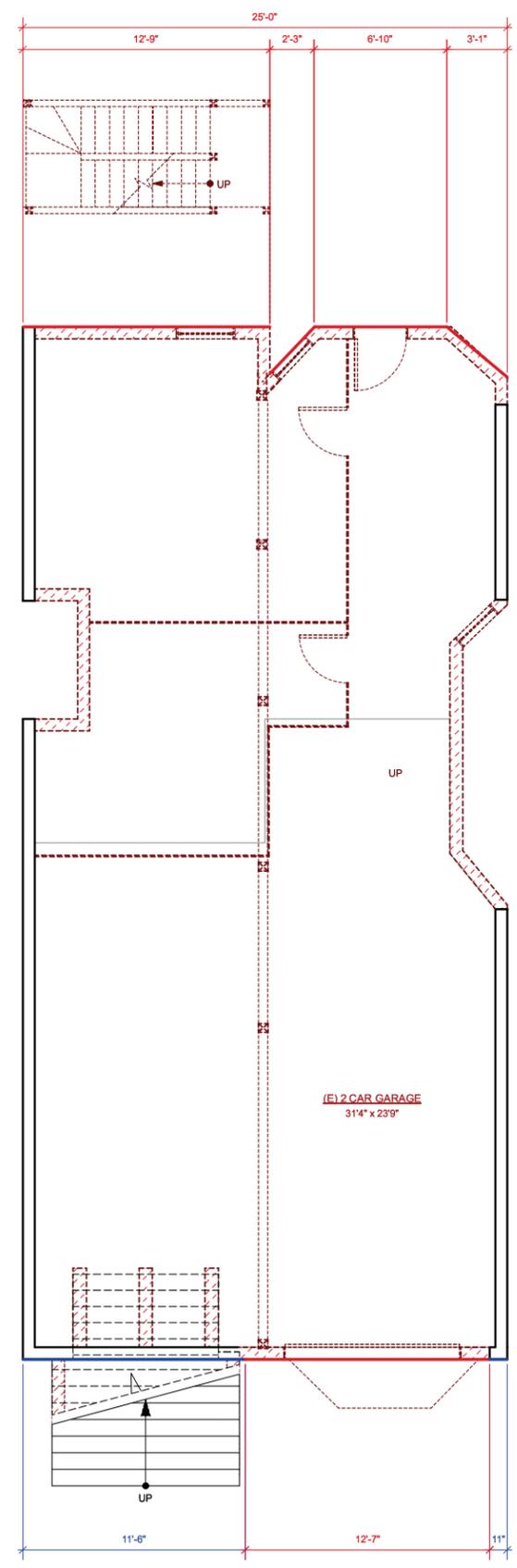
LINEAR FOOTAGE MEASUREMENT: 1ST FLOOR					
ELEMENT	(E) LENGTH (FT.)	TO BE REMOVED (FT.)	TO BE REMOVED (%)	TO BE RETAINED (FT.)	TO BE RETAINED (%)
FRONT (SOUTH) FACADE	25'-0"	12'-7"	50.3%	12'-5"	49.7%
REAR (NORTH) FACADE	29'-6"	29'-6"	100%	0'-0"	0%
LEFT (WEST) FACADE	58'-9"	11'-9"	20.0%	47'-0"	80.0%
RIGHT (EAST) FACADE	55'-7"	22'-5"	40.3%	33'-2"	59.7%
TOTALS	168'-10"	76'-3"	45.2%	92'-7"	54.8%

DETERMINATION:

PASSED SEC. 317 (2) (B)

MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT FACADE AND REAR FACADE AND ALSO PROPOSES THE REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS, MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL.

PROPOSED SUM OF FRONT AND REAR FACADE TO BE REMOVED IS > 50%
PROPOSED SUM OF ALL EXTERIOR WALLS TO BE REMOVED IS < 65%



2 DEMO CALCS - FRONT & REAR FACADES
Scale: 1/4" = 1'-0"



JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL: 415 568 9550 FAX: 415 568 0554

3932 - 3934 26TH ST. REMODEL & ADDITION
3932 - 3934 26TH STREET
SAN FRANCISCO, CA 94114
BLOCK 6562 - LOT 012

client : 94 feet LLC
2010 ocean avenue, suite 9
san francisco, ca 94127

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project name :
3932 - 3934 26TH ST. REMODEL & ADDITION

DEMO CALC
A0.3

SEC. 317 (2) (C)

REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

SYMBOLS	
TO BE RETAINED	
TO BE REMOVED	

EXISTING & DEMO AREAS PER FACADE

ELEMENT	(E)AREA (SQ. FT.)	TO BE REMOVED (SQ. FT.)	TO BE REMOVED (%)	TO BE RETAINED (SQ. FT.)	TO BE RETAINED (%)
FRONT (SOUTH) FACADE	853 SQ. FT.	556 SQ. FT.	65.2%	295 SQ. FT.	34.8%
REAR (NORTH) FACADE	793 SQ. FT.	793 SQ. FT.	100.0%	0 SQ. FT.	0.0%
RIGHT (EAST) FACADE	1,767 SQ. FT.	379 SQ. FT.	21.4%	1,388 SQ. FT.	78.6%
LEFT (WEST) FACADE	1,801 SQ. FT.	84 SQ. FT.	4.6%	1,717 SQ. FT.	95.4%
TOTALS	5,214 SQ. FT.	1,812 SQ. FT.	34.8%	3,400 SQ. FT.	65.2%

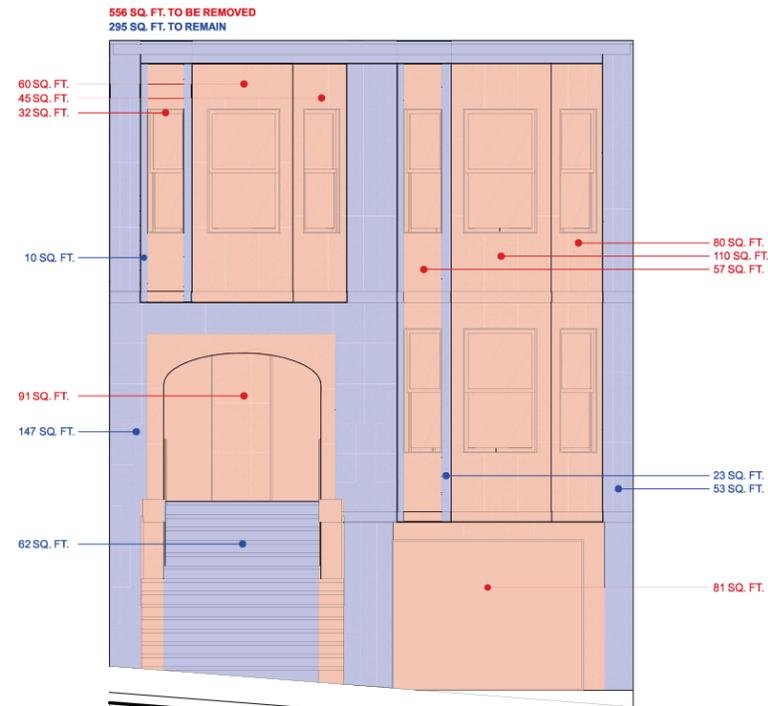
DETERMINATION:

PASSED SEC. 317 (2) (C)

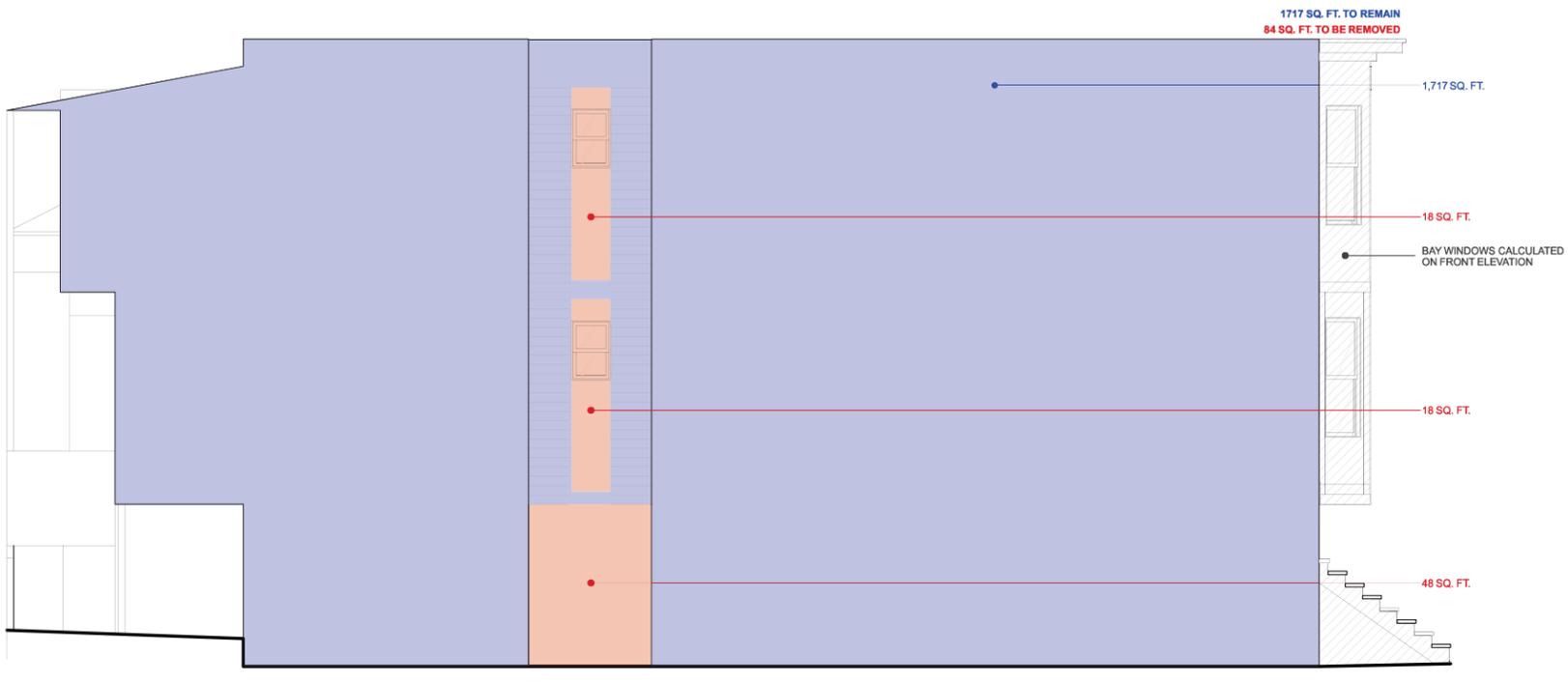
MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS AND MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

PROPOSED REMOVAL OF VERTICAL ENVELOPE ELEMENTS IS < 50% (A0.4)

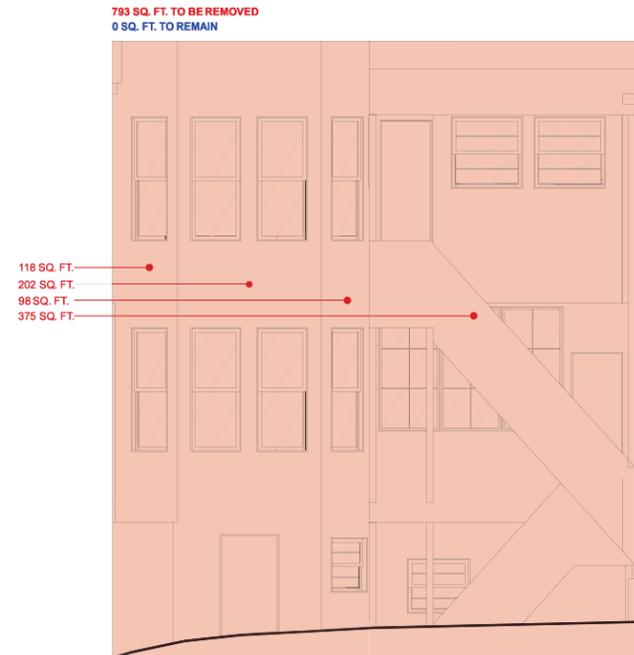
PROPOSED REMOVAL OF HORIZONTAL ELEMENTS IS < 50% (A0.5)



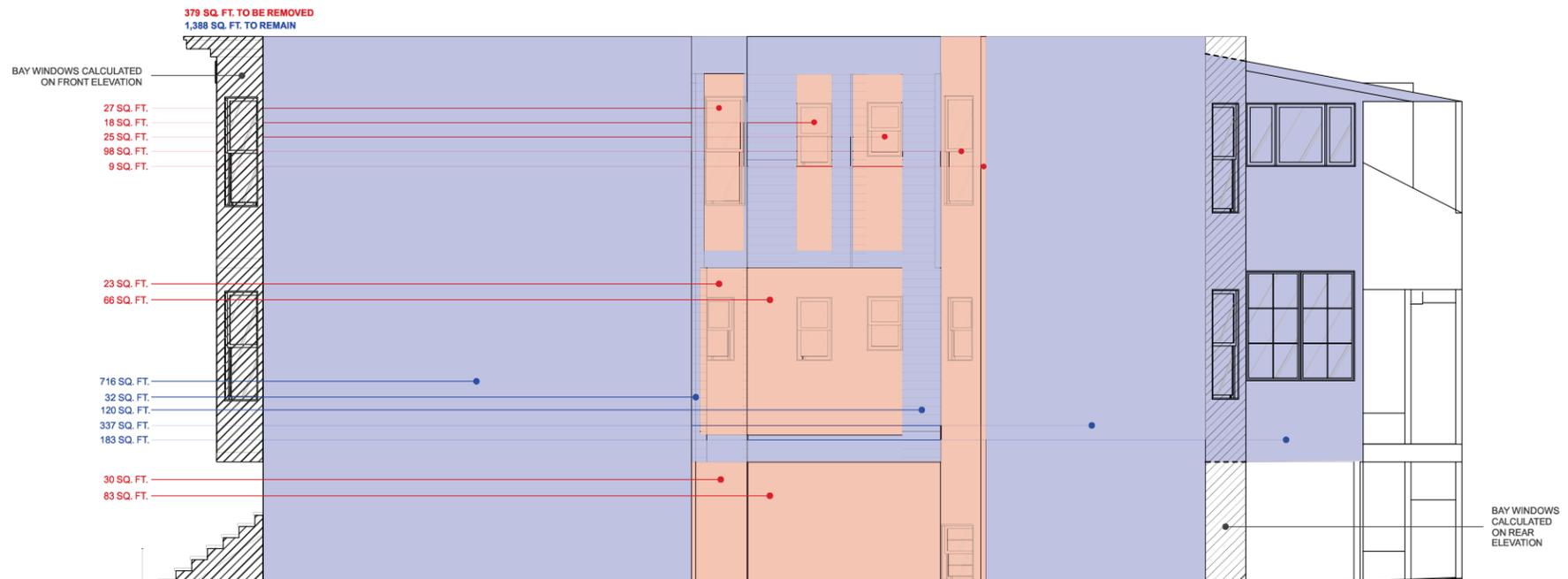
1 SOUTH (FRONT) ELEVATION - EXISTING
Scale: 1/4" = 1'-0"



2 WEST FACADE - EXISTING
Scale: 1/4" = 1'-0"



3 NORTH (REAR) ELEVATION - EXISTING
Scale: 1/4" = 1'-0"



4 EAST FACADE - EXISTING
Scale: 1/4" = 1'-0"



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SAN FRANCISCO, CA 94114
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94 feet LLC
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project name :
3932 - 3934 26TH ST. REMODEL & ADDITION

DEMO CALC
A0.4

SEC. 317 (2) (C)
REMOVAL OF MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE BUILDING MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

SYMBOLS
TO BE RETAINED
TO BE REMOVED

AREA MEASUREMENT					
ELEMENT	(E) AREA (SQ. FT.)	TO BE REMOVED (SQ. FT.)	TO BE REMOVED (%)	TO BE RETAINED (SQ. FT.)	TO BE RETAINED (%)
1ST FLOOR	1,274 SQ. FT.	549 SQ. FT.	43.0%	725 SQ. FT.	57.0%
2ND FLOOR	1,292 SQ. FT.	9 SQ. FT.	0.6%	1,283 SQ. FT.	99.4%
3RD FLOOR	1,418 SQ. FT.	15 SQ. FT.	1.1%	1,403 SQ. FT.	98.9%
ROOF	1,410 SQ. FT.	45 SQ. FT.	3.2%	1,485 SQ. FT.	96.8%
TOTALS	5,394 SQ. FT.	618 SQ. FT.	11.5%	4,896 SQ. FT.	88.5%

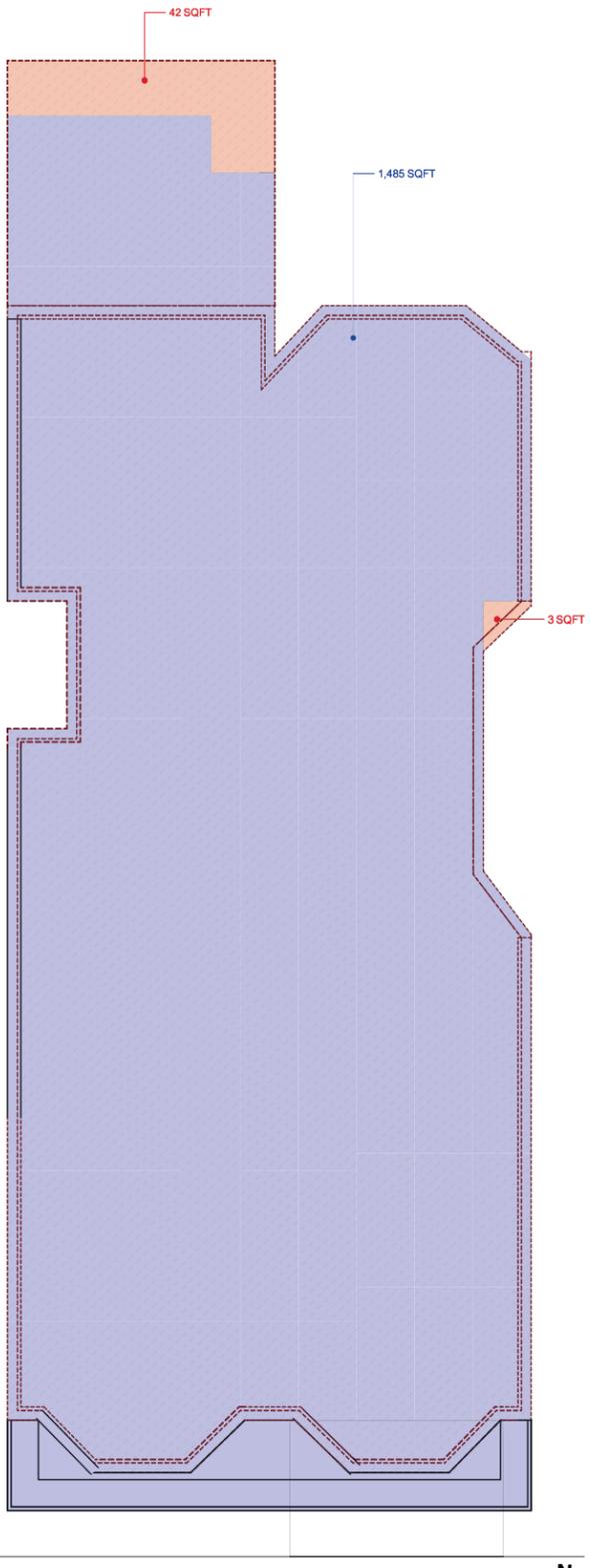
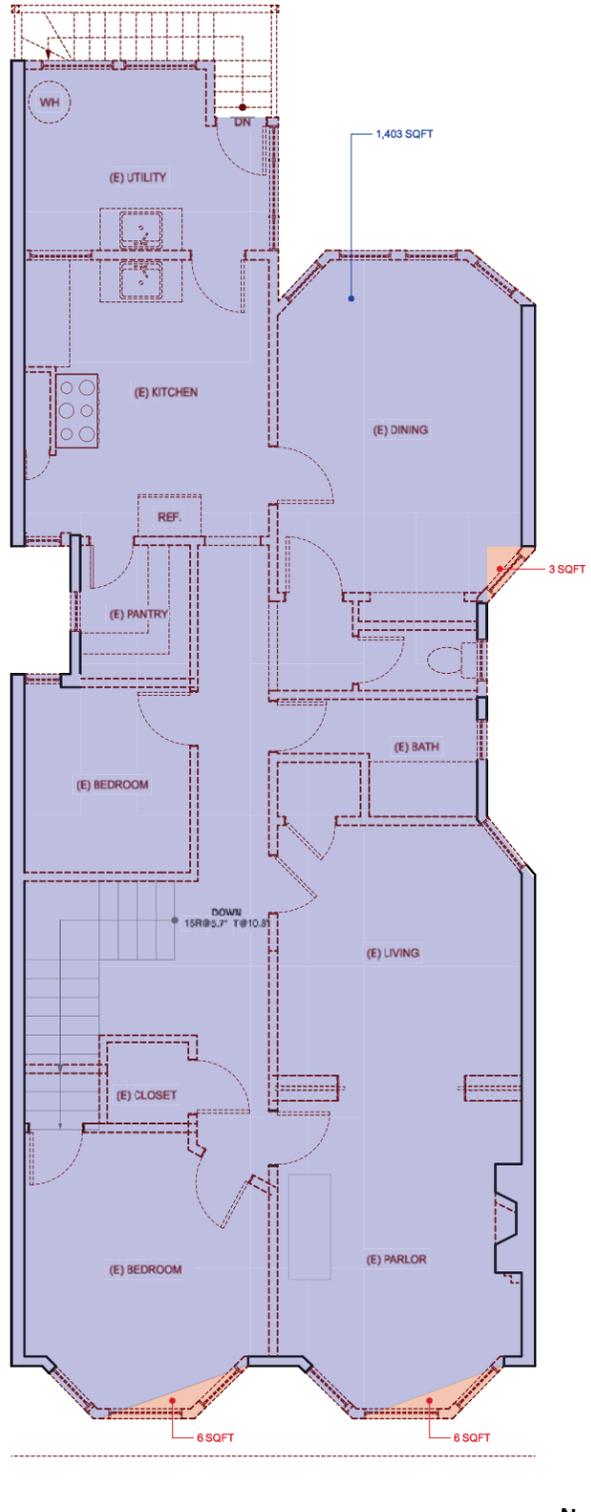
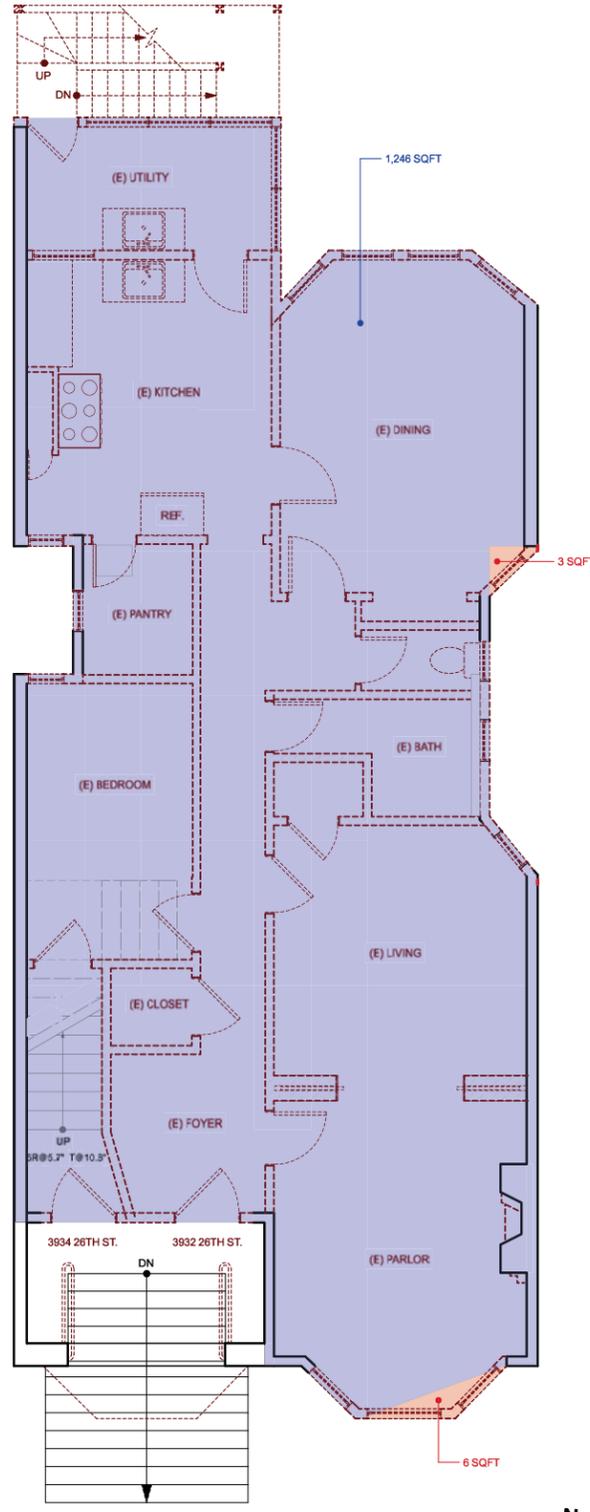
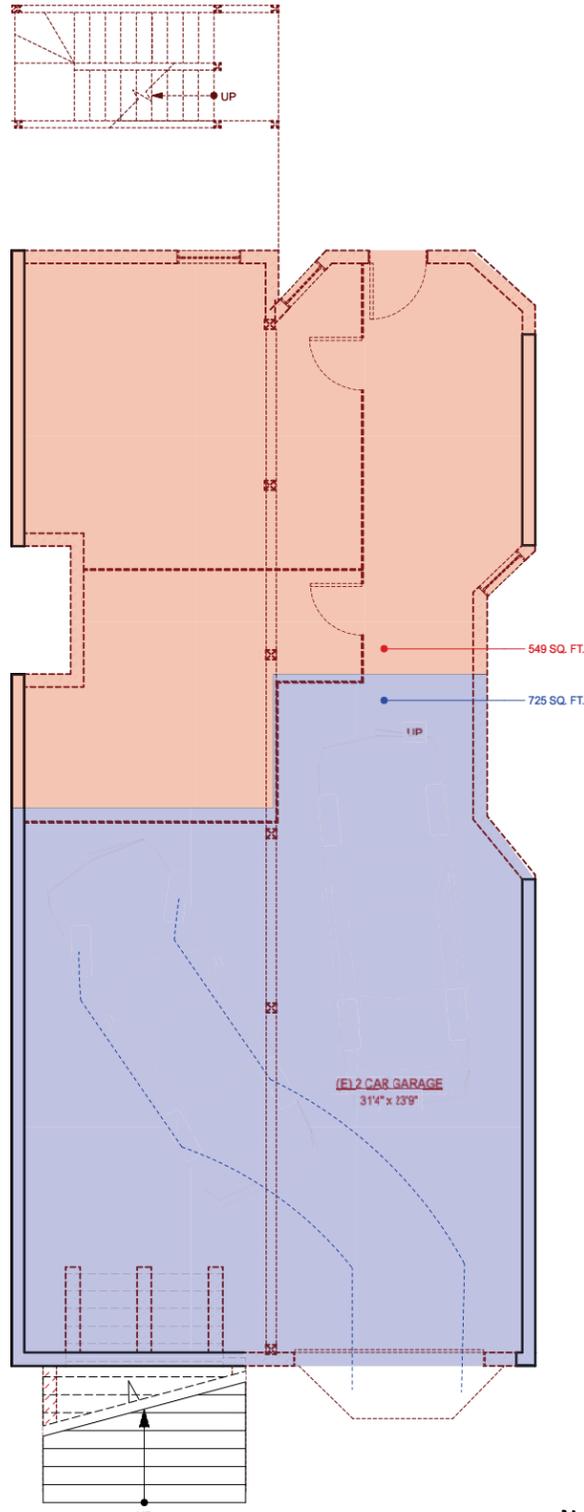
DETERMINATION:

PASSED SEC. 317 (2) (C)

MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS AND MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

PROPOSED REMOVAL OF VERTICAL ENVELOPE ELEMENTS IS < 50% (A0.4)

PROPOSED REMOVAL OF HORIZONTAL ELEMENTS IS < 50% (A0.5)



1 FIRST FLOOR PLANS - EXISTING & DEMO
Scale: 1/4" = 1'-0"

2 SECOND FLOOR PLANS: EXISTING & DEMO
Scale: 1/4" = 1'-0"

3 THIRD FLOOR PLANS: EXISTING & DEMO
Scale: 1/4" = 1'-0"

4 ROOF PLAN: EXISTING/DEMO
Scale: 1/4" = 1'-0"

3932 - 3934 26TH ST. REMODEL & ADDITION
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SAN FRANCISCO, CA 94114
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3932 - 3934 26TH ST. REMODEL & ADDITION

DEMO CALC
A0.5

LUM
JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
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3932 - 3934 26TH ST. REMODEL & ADDITION

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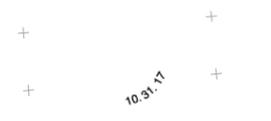
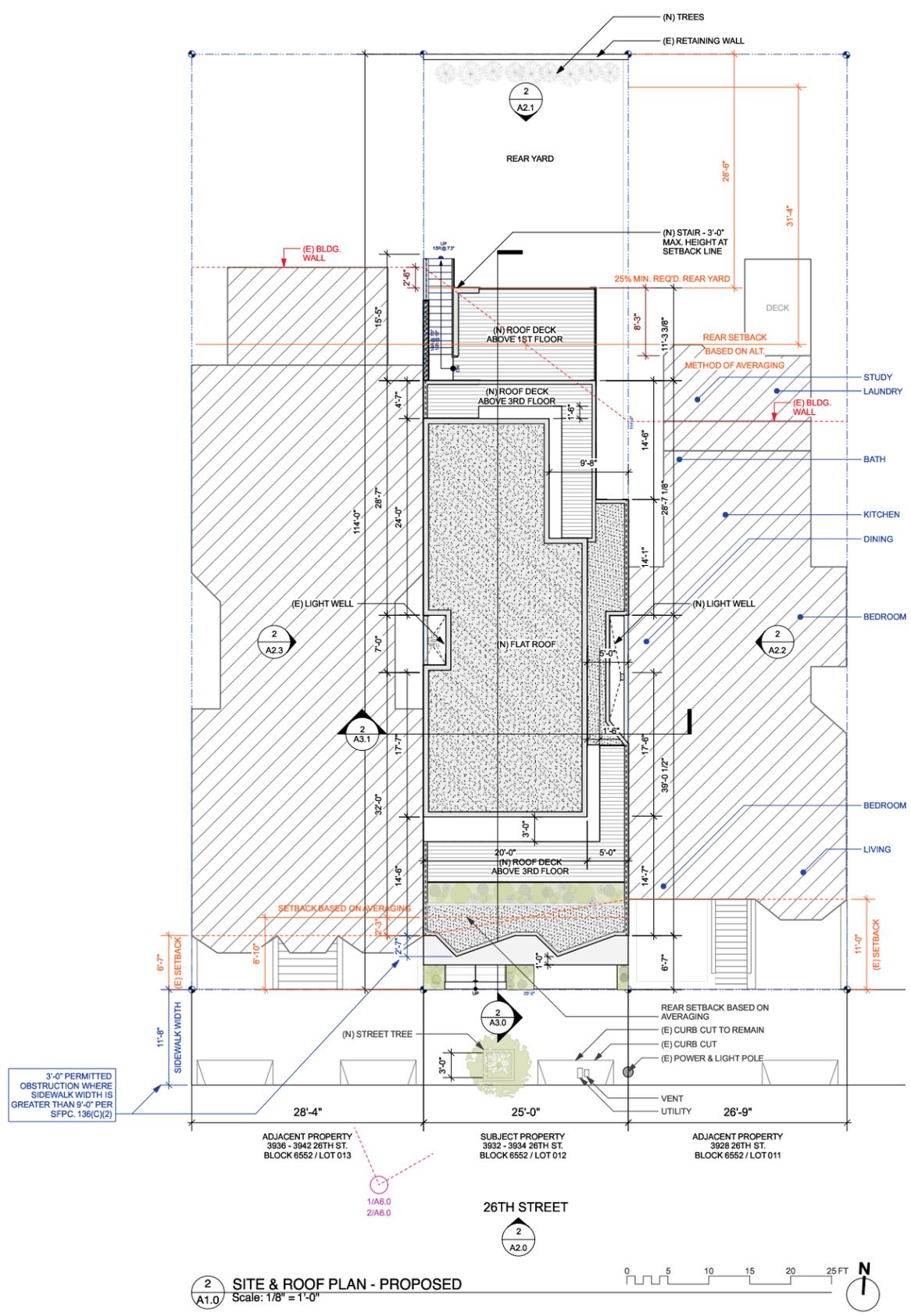
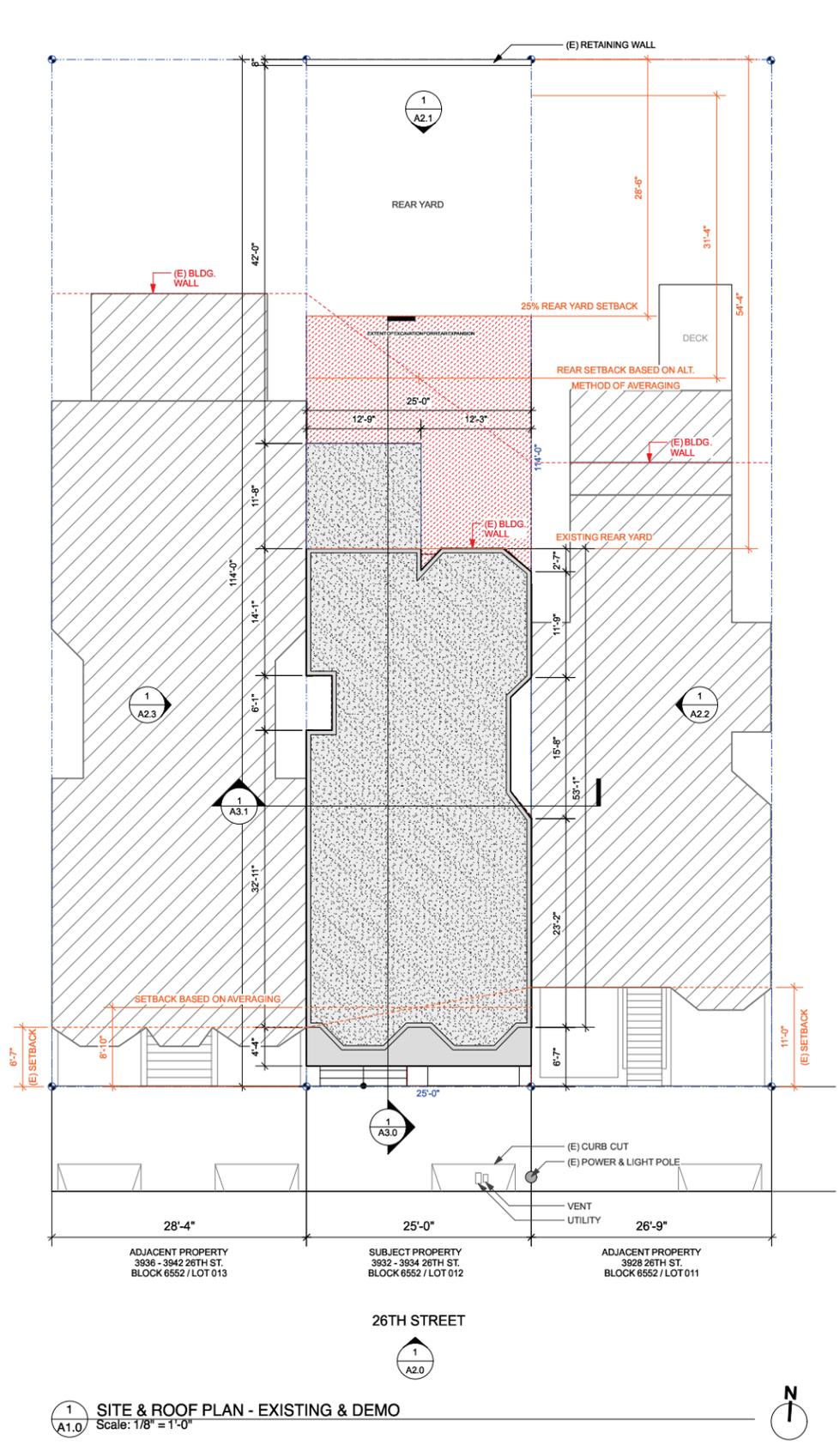
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project name :
3932 - 3934 26TH ST. REMODEL & ADDITION

SITE & ROOF PLANS

A1.0



DEMOLITION LEGEND

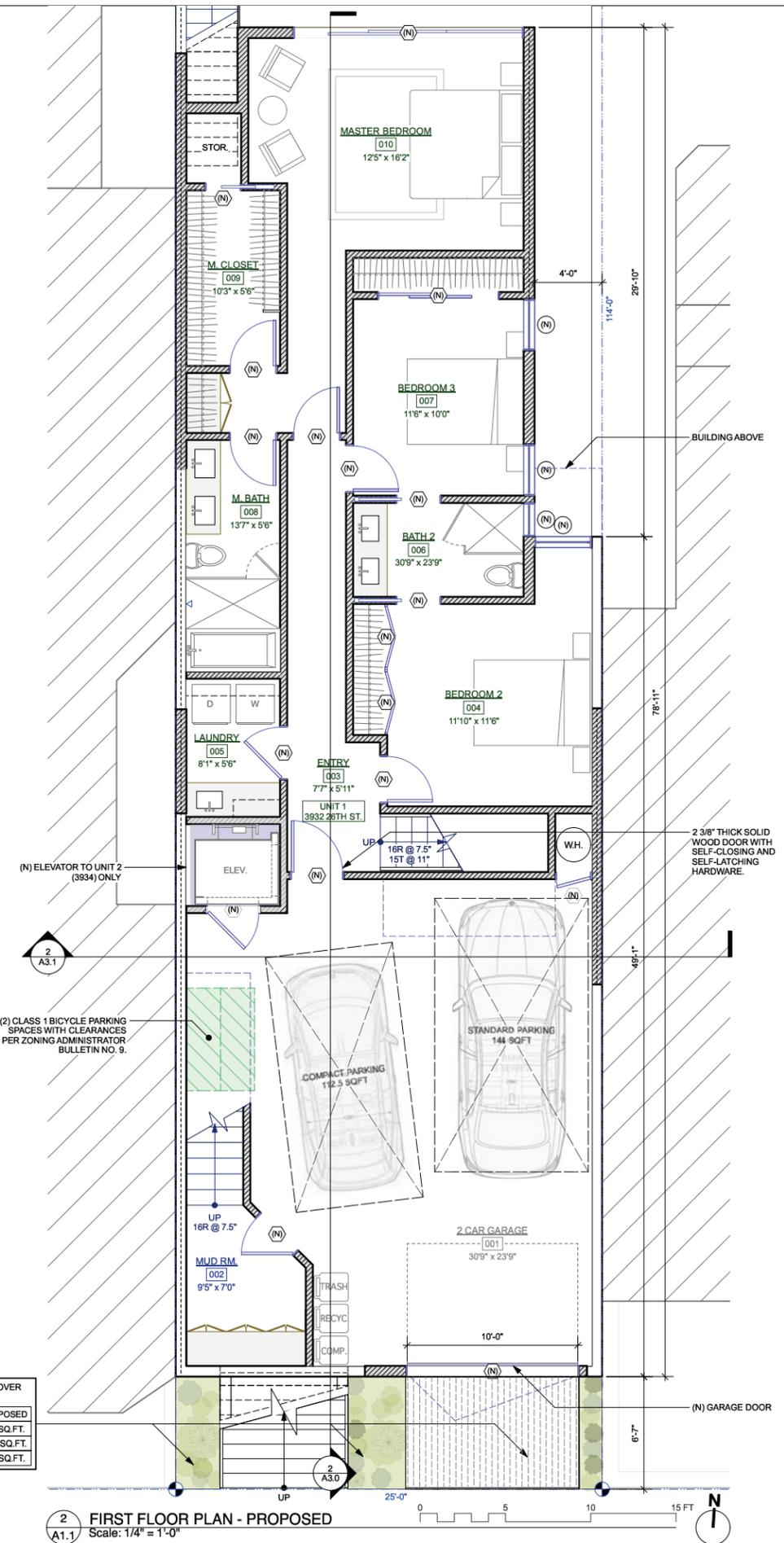
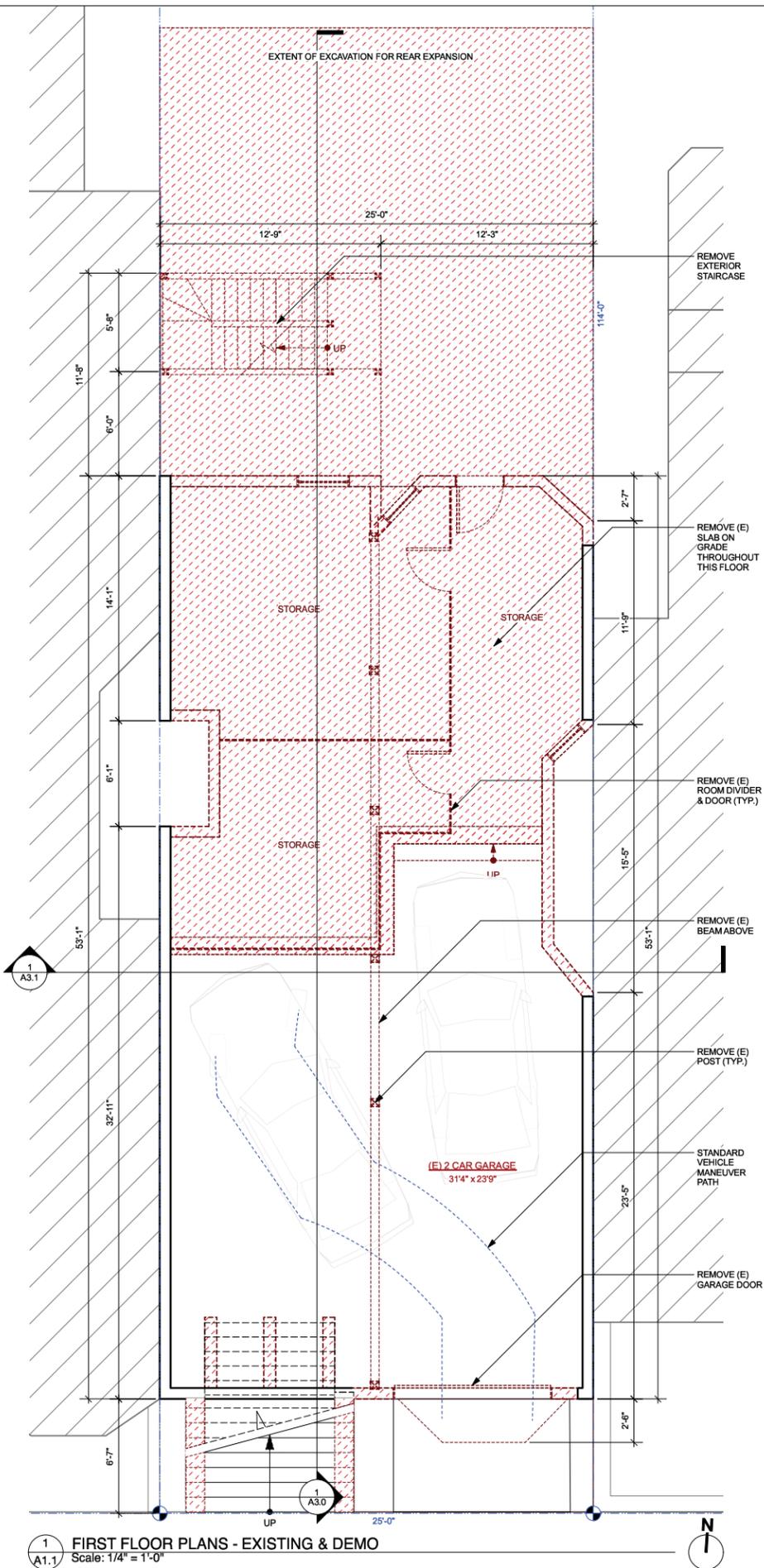
- EXISTING WALL
- DEMO. WALL
- AREA TO BE DEMOLISHED

WALL TYPE

- EXISTING WALL
- NEW EXTERIOR WALL (NON-RATED):
(N) FINISH MATERIAL (REFER TO EXTERIOR ELEVS.)
O/2 LAYERS GRADE 'D' BUILDING PAPER,
O/EXTERIOR GRADE PLYWOOD,
O/WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION,
O/5/8" GYPSUM BOARD (INTERIOR FACE)
- NEW INTERIOR WALL:
O/5/8" GYPSUM BOARD,
O/2X4 WD. STUDS,
O/STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
O/5/8" GYPSUM BOARD
- NEW 1-HOUR FIRE-RATED WALL:
(N) FINISH MATERIAL (REFER TO EXT. ELEVS.)
O/2 LAYERS GRADE 'D' BUILDING PAPER,
O/5/8" TYPE 'X' GYPSUM SHEATHING,
O/STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
O/WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION,
O/5/8" TYPE 'X' GYPSUM BOARD

CONSTRUCTION NOTES

1. CONTRACTOR IS TO VERIFY ALL (E) DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION
2. CARE SHALL BE TAKEN TO ELIMINATE DAMAGE TO (E) MATERIALS AND SURFACES DURING CONSTRUCTION. ANY DAMAGES TO EXISTING CONSTRUCTION SHALL BE REPLACED OR REPAIRED AT NO ADDITIONAL COST.
3. CONTRACTOR SHALL REPAIR ANY DAMAGE TO (E) WALLS AND FLOORS CAUSED BY DEMOLITION OF (E) PARTITIONS & CEILINGS.
4. ALL DIMENSIONS ARE TO FACE OF FINISH OR CENTERLINE, U.N.O.
5. ALL BLOCK'G AND FURRING SHALL BE FIRE TREATED AS REQ. BY BLDG. CODE
6. ALL PARTITIONS ABUTTING EXISTING BLDG. CONSTRUCTION SHALL ALIGN FINISH FACE TO FINISH FACE U.N.O.
7. ALL PARTITIONS SHALL BE BRACED PER THE REQUIREMENTS OF CURRENT LOCAL SEISMIC CODE
8. ALL DOORS TO BE UNDERCUT AS REQ. TO CLEAR FINISH FLOOR BY 1/4"
9. ALL WORK TO BE INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE AND IN PROPER ALIGNMENT
10. CONTRACTOR TO PROTECT FINISHES IN PATH OF TRAVEL TO AREA OF WORK



REQUIRED FRONT YARD GROUNDCOVER PER SFPC SEC. 132 (g)		
	REQUIRED	PROPOSED
TOTAL AREA	115 SQ.FT.	115 SQ.FT.
20% LANDSCAPE	23 SQ.FT.	48.4 SQ.FT.
50% PERMEABLE	57.5 SQ.FT.	115 SQ.FT.



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project name :
3932 - 3934 26TH ST. REMODEL & ADDITION

FIRST FLOOR PLANS

A1.1

DEMOLITION LEGEND

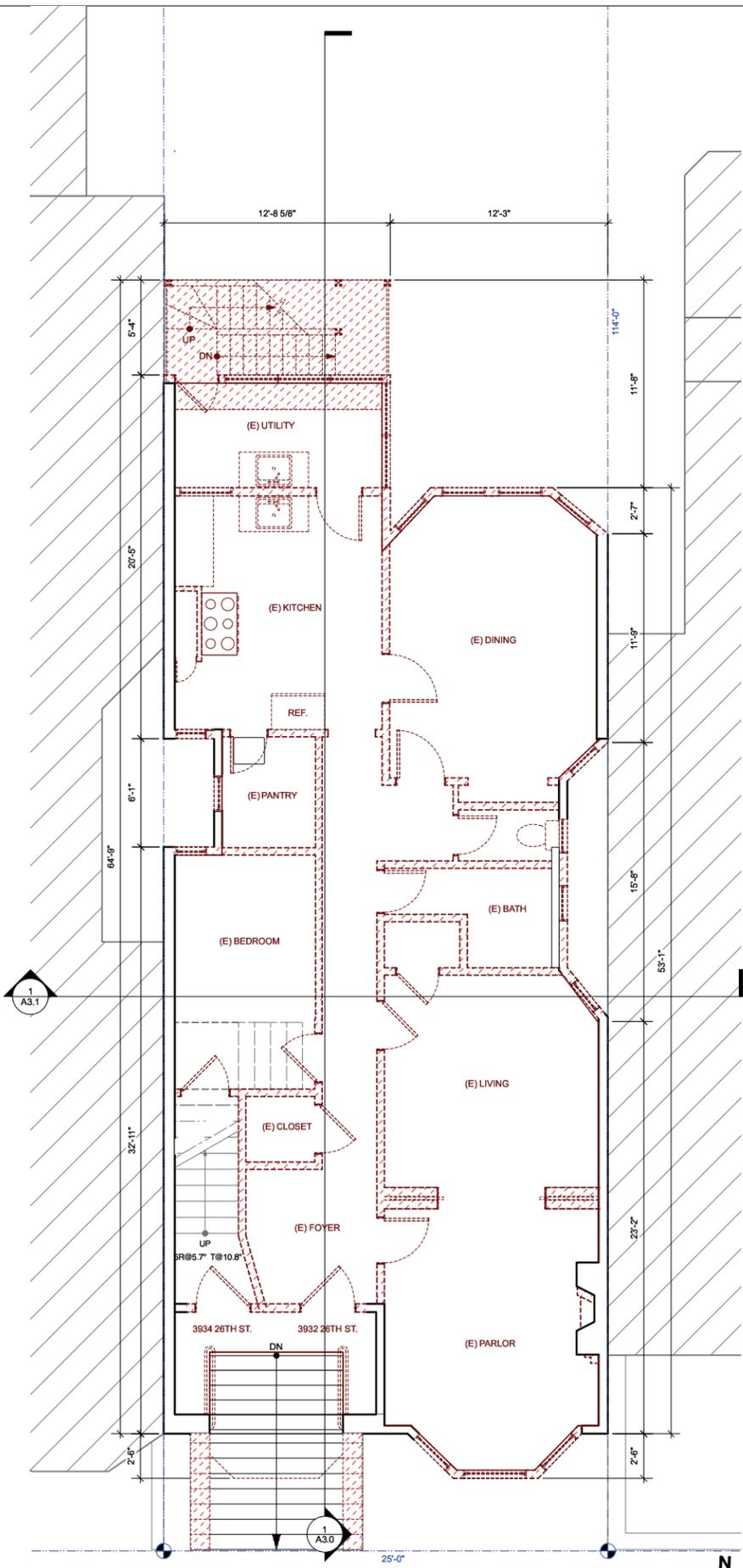
- EXISTING WALL
- DEMO. WALL
- AREA TO BE DEMOLISHED

WALL TYPE

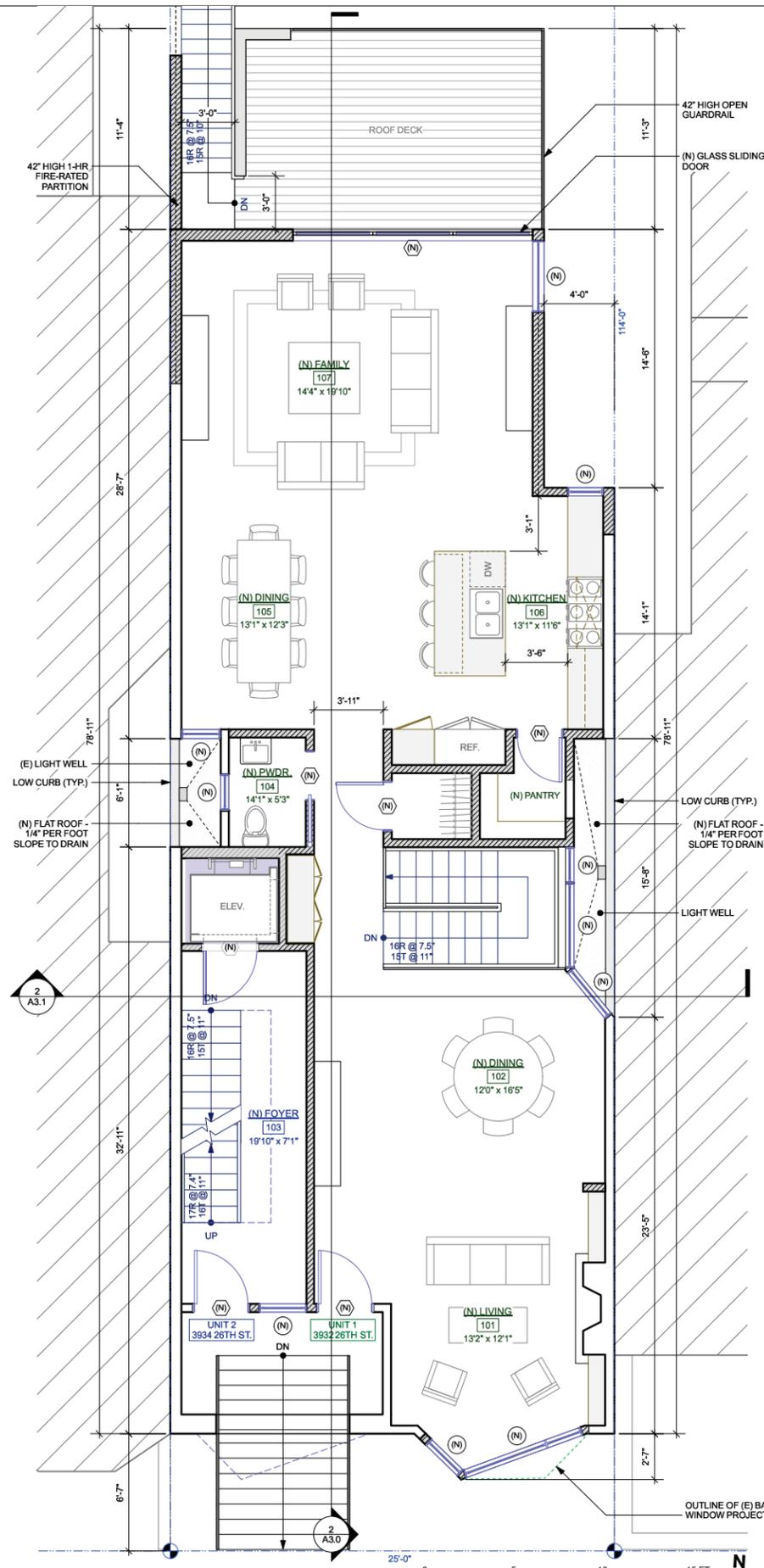
- EXISTING WALL
- NEW EXTERIOR WALL (NON-RATED):
(N) FINISH MATERIAL (REFER TO EXTERIOR ELEVS.)
O/2 LAYERS GRADE 'D' BUILDING PAPER,
O/EXTERIOR GRADE PLYWOOD,
O/WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION,
O/5/8" GYPSUM BOARD (INTERIOR FACE)
- NEW INTERIOR WALL:
5/8" GYPSUM BOARD,
O/2X4 WD. STUDS,
O/STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
O/5/8" GYPSUM BOARD
- NEW 1-HOUR FIRE-RATED WALL:
(N) FINISH MATERIAL (REFER TO EXT. ELEVS.)
O/2 LAYERS GRADE 'D' BUILDING PAPER,
O/5/8" TYPE 'X' GYPSUM SHEATHING,
O/STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.)
O/WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION,
O/5/8" TYPE 'X' GYPSUM BOARD

CONSTRUCTION NOTES

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10. CONTRACTOR TO PROTECT FINISHES IN PATH OF TRAVEL TO AREA OF WORK



1 SECOND FLOOR PLANS: EXISTING & DEMO
Scale: 1/4" = 1'-0"



2 SECOND FLOOR PLANS: PROPOSED
Scale: 1/4" = 1'-0"



JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL: 415 568 9550 FAX: 415 568 0554

3932 - 3934 26TH ST. REMODEL & ADDITION
3932 - 3934 26TH STREET
SAN FRANCISCO, CA 94114
BLOCK 6562 - LOT 012

client :
94 feet LLC
2010 ocean avenue, suite 9
san francisco, ca 94127

date :	issues/ revisions :	by :
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SECOND FLOOR PLANS

A1.2

DEMOLITION LEGEND

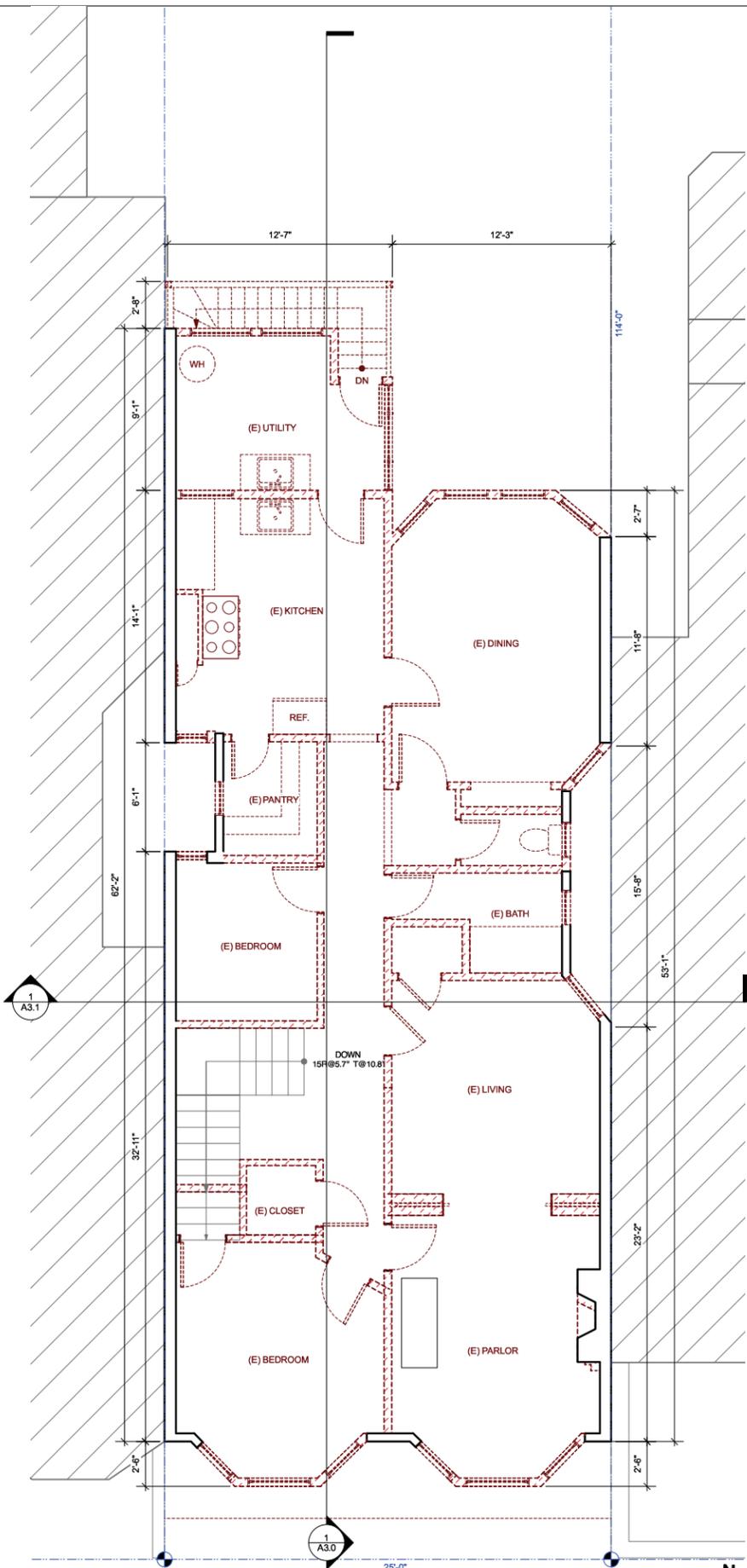
- EXISTING WALL
- DEMO. WALL
- AREA TO BE DEMOLISHED

WALL TYPE

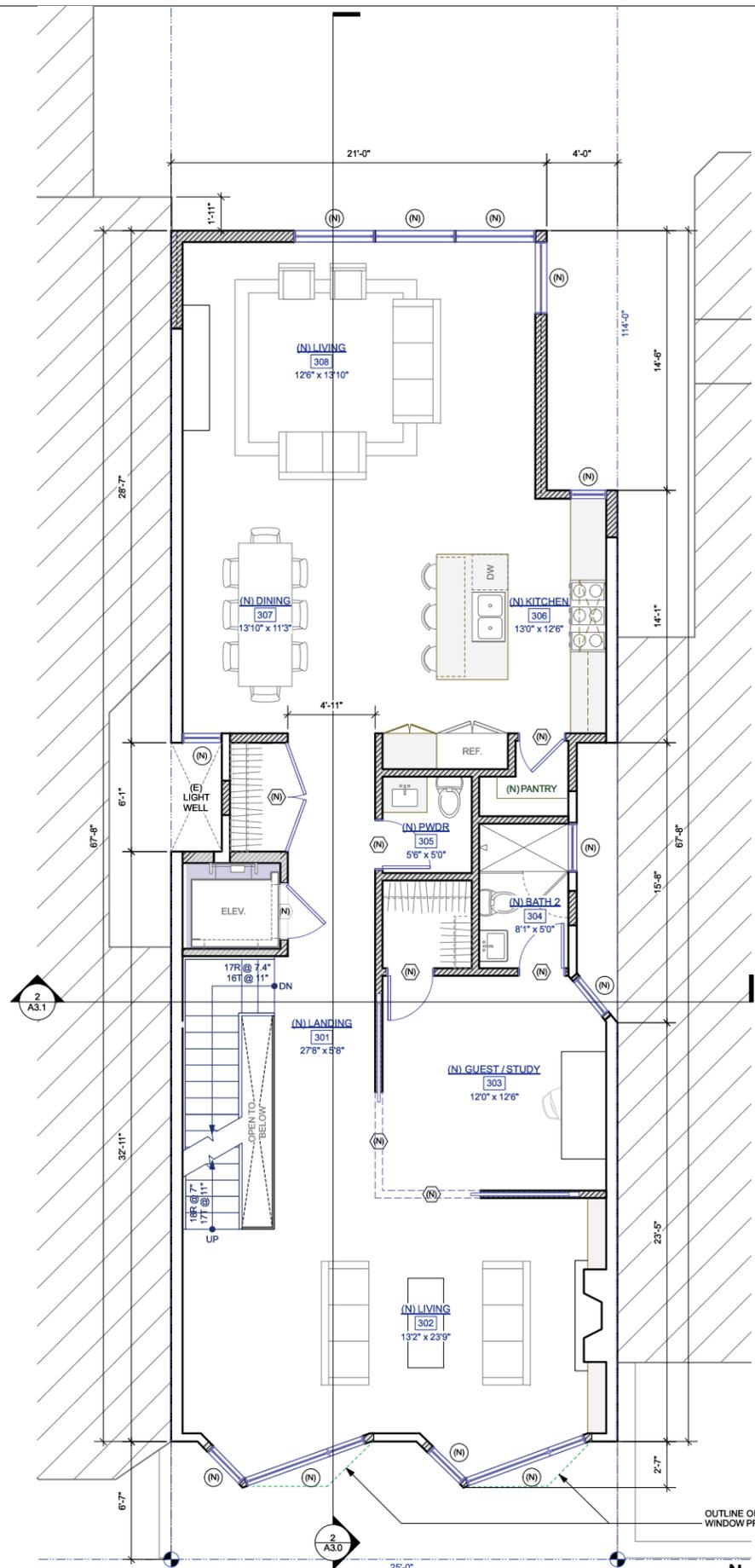
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1 THIRD FLOOR PLANS: EXISTING & DEMO
Scale: 1/4" = 1'-0"



2 THIRD FLOOR PLANS: PROPOSED
Scale: 1/4" = 1'-0"



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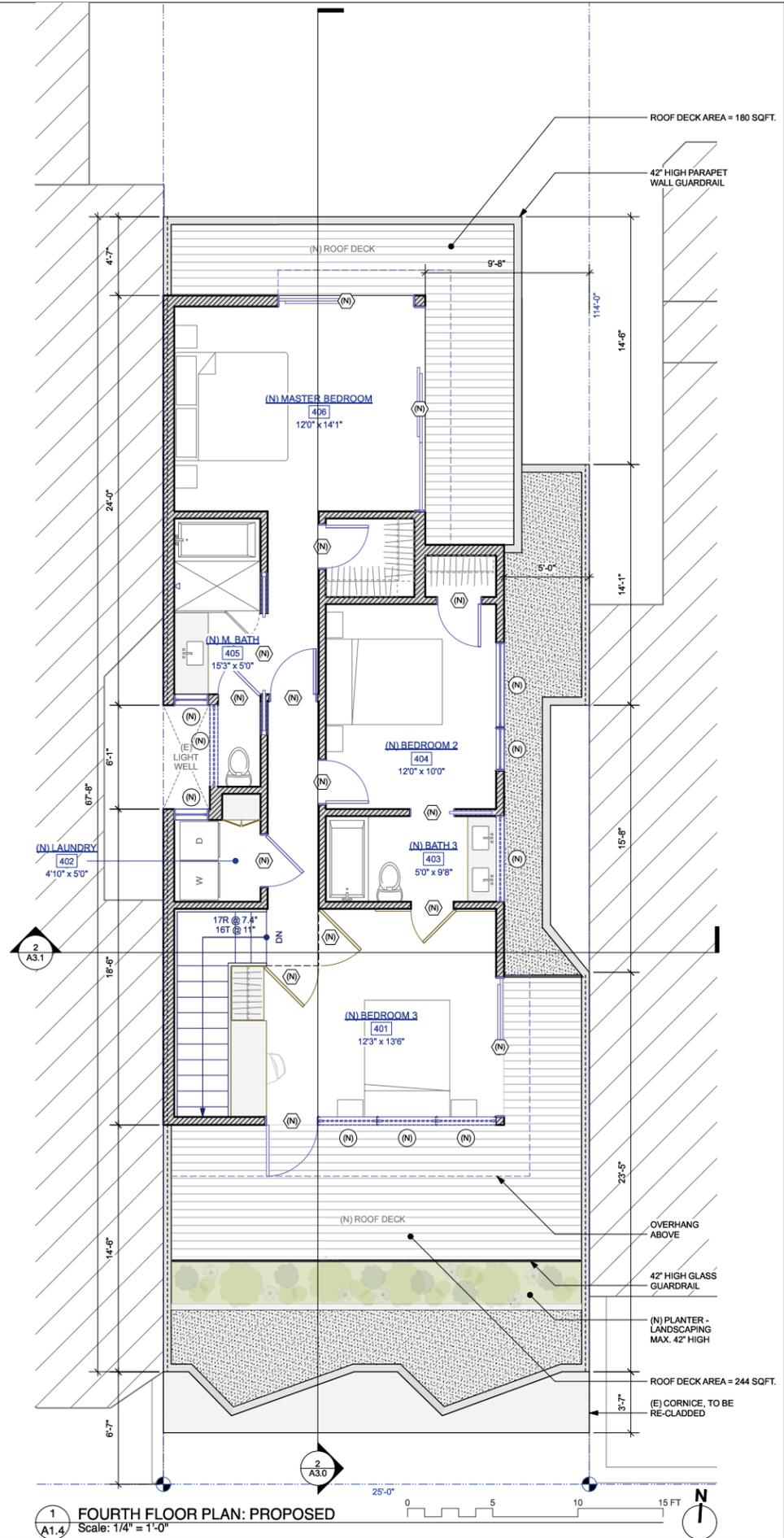
THIRD FLOOR PLANS

A1.3

DEMOLITION LEGEND	
	EXISTING WALL
	DEMO. WALL
	AREA TO BE DEMOLISHED

WALL TYPE	
	EXISTING WALL
	NEW EXTERIOR WALL (NON-RATED): (N) FINISH MATERIAL (REFER TO EXTERIOR ELEV.) O/ 2 LAYERS GRADE 'D' BUILDING PAPER O/ EXTERIOR GRADE PLYWOOD O/ WD STUDS, S.S.D. W/ R19 THERMAL INSULATION O/ 5/8" GYPSUM BOARD (INTERIOR FACE)
	NEW INTERIOR WALL: 5/8" GYPSUM BOARD O/ 2X4 WD STUDS O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.) O/ 5/8" GYPSUM BOARD
	NEW 1-HOUR FIRE-RATED WALL: (N) FINISH MATERIAL (REFER TO EXTERIOR ELEV.) O/ 2 LAYERS GRADE 'D' BUILDING PAPER O/ 5/8" TYPE 'X' GYPSUM SHEATHING O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.) O/ WD STUDS, S.S.D. W/ R19 THERMAL INSULATION O/ 5/8" TYPE 'X' GYPSUM BOARD

- | CONSTRUCTION NOTES | |
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1 FOURTH FLOOR PLAN: PROPOSED
A1.4 Scale: 1/4" = 1'-0"



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project name :
3932 - 3934 26TH ST. REMODEL & ADDITION

FOURTH FLOOR PLANS

A1.4

- T.O. (E) PARAPET
32'-0" (V.I.F.)
- T.O. (E) ROOF
30'-11" (V.I.F.)
- T.O. (E) THIRD FLOOR
20'-6" (V.I.F.)
- T.O. (E) SECOND FLOOR
10'-0" (V.I.F.)
- T.O. (E) FIRST FLOOR
1'-0" (V.I.F.)
- T.O. CURB @ CL OF PROPERTY
0'-0"



1 SOUTH (FRONT) ELEVATION - EXISTING
Scale: 1/4" = 1'-0"

- T.O. (N) PARAPET
39'-11" (V.I.F.)
- T.O. (N) ROOF
39'-8" (V.I.F.)
- T.O. (N) FOURTH FLOOR
30'-8" (V.I.F.)
- T.O. (E) THIRD FLOOR
20'-6" (V.I.F.)
- T.O. (E) SECOND FLOOR
10'-0" (V.I.F.)
- T.O. (N) FIRST FLOOR
0'-0"
- T.O. CURB @ CL OF PROPERTY
0'-0"



2 SOUTH (FRONT) ELEVATION - PROPOSED
Scale: 1/4" = 1'-0"

- METAL CLAD OVERHANG
- PTD. HORIZONTAL WOOD SIDING, TYP.
- 42" GLASS GUARDRAIL - NO PANELS GREATER THAN 24 SQ. FT. IN AREA
- OPTIONAL LANDSCAPING, MAX. 42" HIGH
- (E) CORNICE, TO BE RE-CLADDED
- HORIZONTAL WOOD SIDING, TYP.
- SMOOTH FINISH STUCCO, TYP.
- ALUMINUM WINDOW, TYP.



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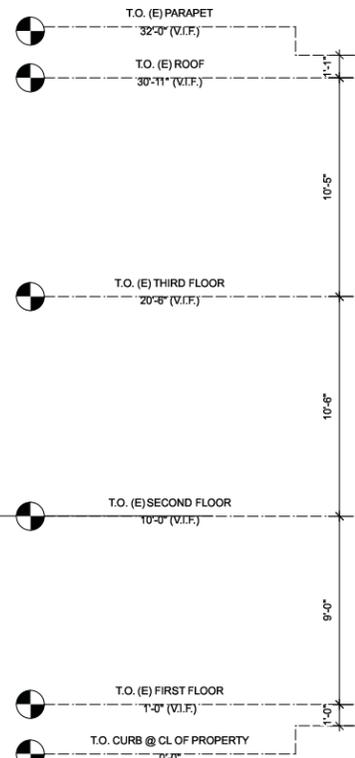
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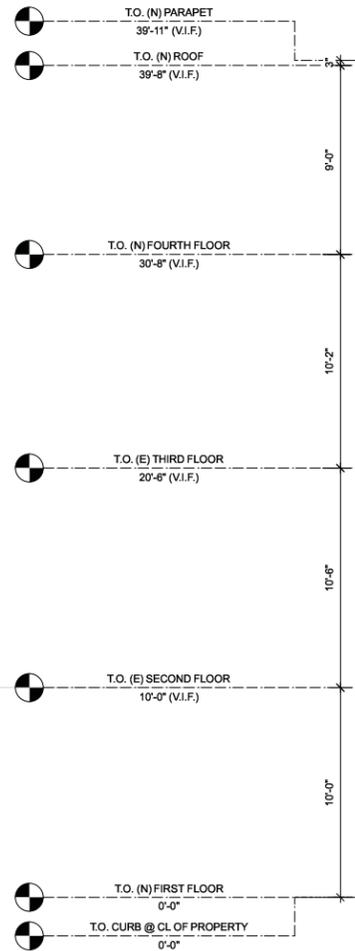
project name :
3932 - 3934 26TH ST. REMODEL & ADDITION

EXTERIOR ELEVATIONS

A2.0



1 NORTH (REAR) ELEVATION - EXISTING
Scale: 1/4" = 1'-0"



2 NORTH (REAR) ELEVATION - PROPOSED
Scale: 1/4" = 1'-0"



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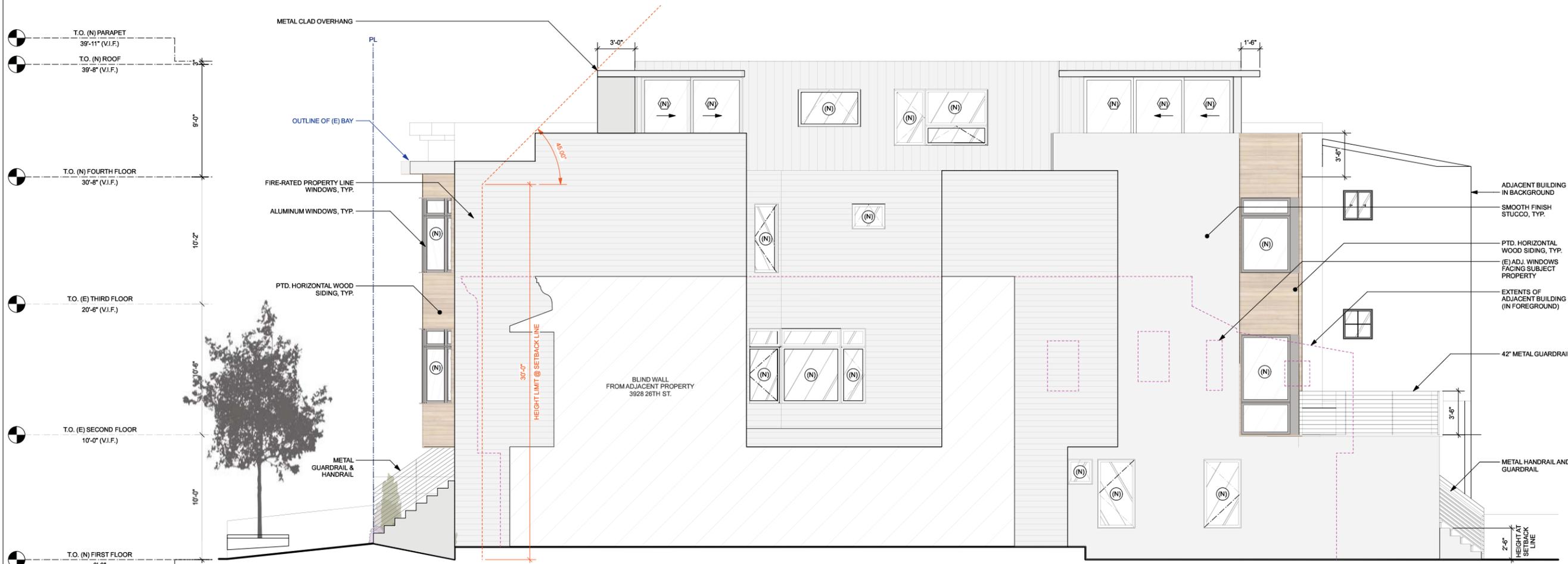
EXTERIOR ELEVATIONS

A2.1





1 EAST FACADE - EXISTING
Scale: 1/4" = 1'-0"



2 EAST FACADE - PROPOSED
Scale: 1/4" = 1'-0"



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10.31.17

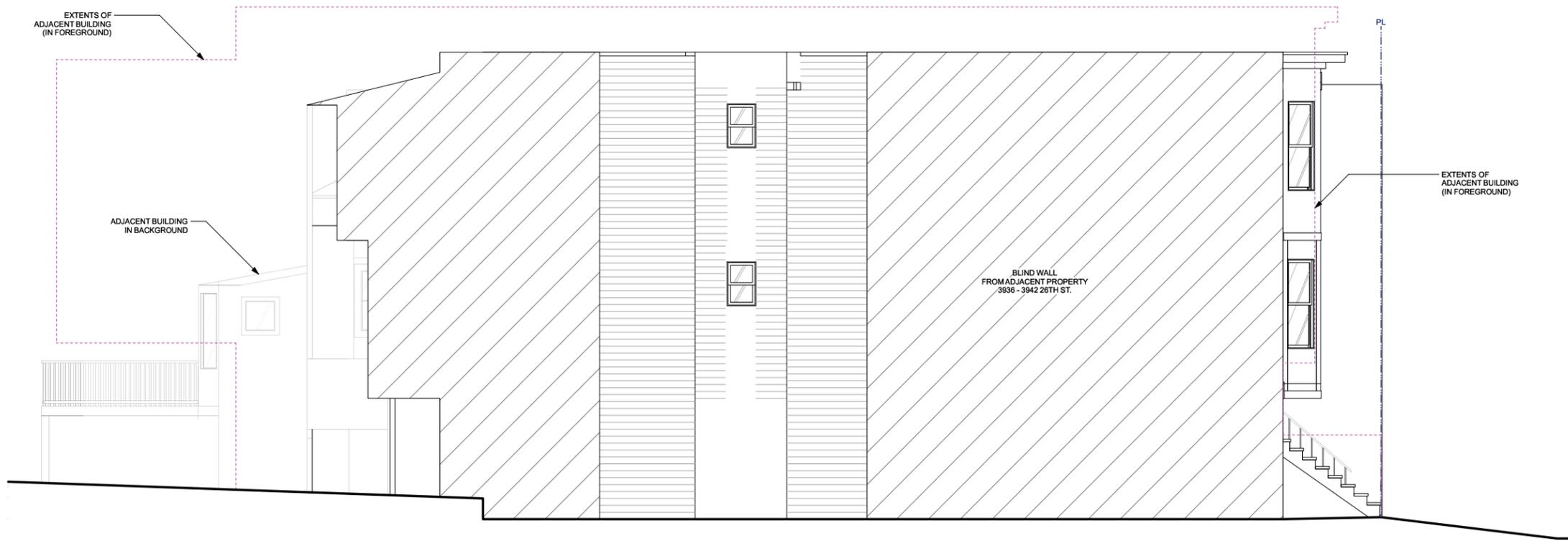
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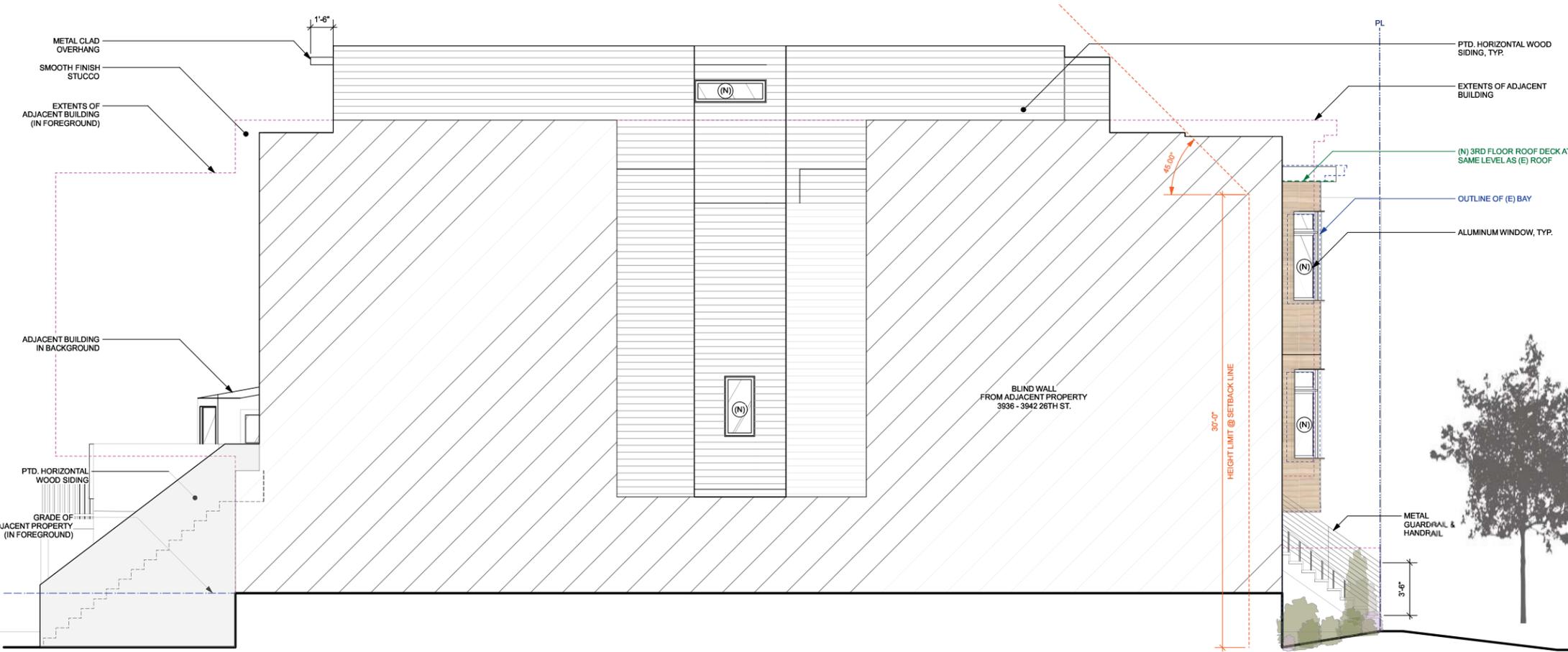
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EXTERIOR ELEVATIONS

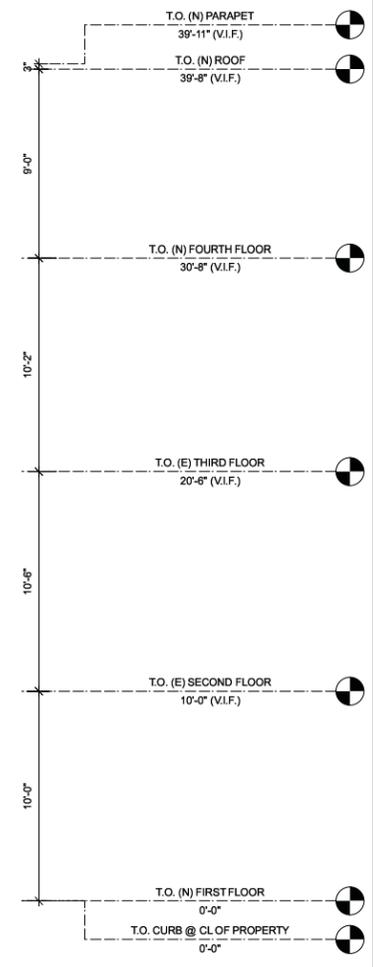
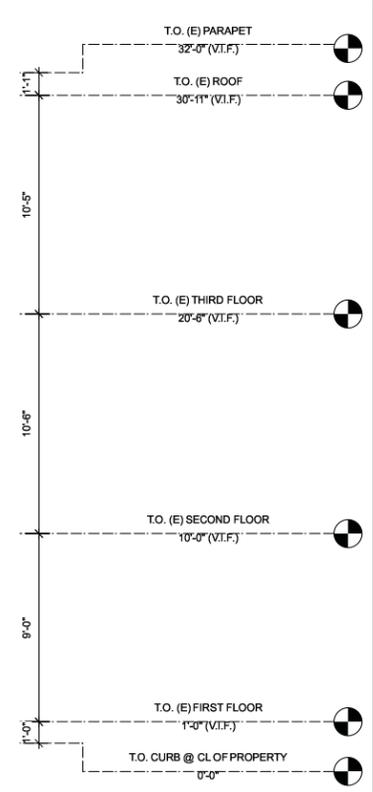
A2.2



1 WEST FACADE - EXISTING
Scale: 1/4" = 1'-0"

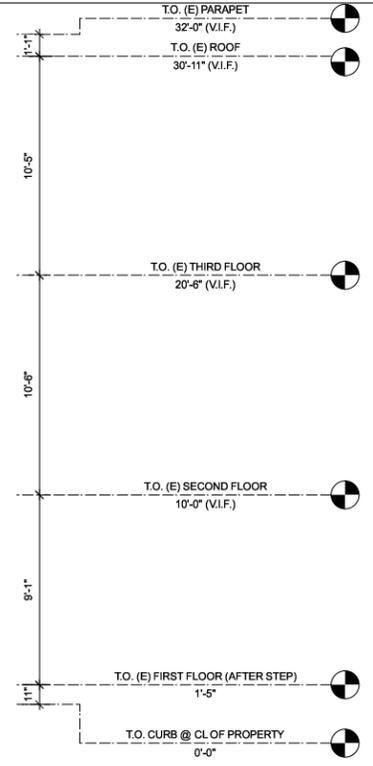
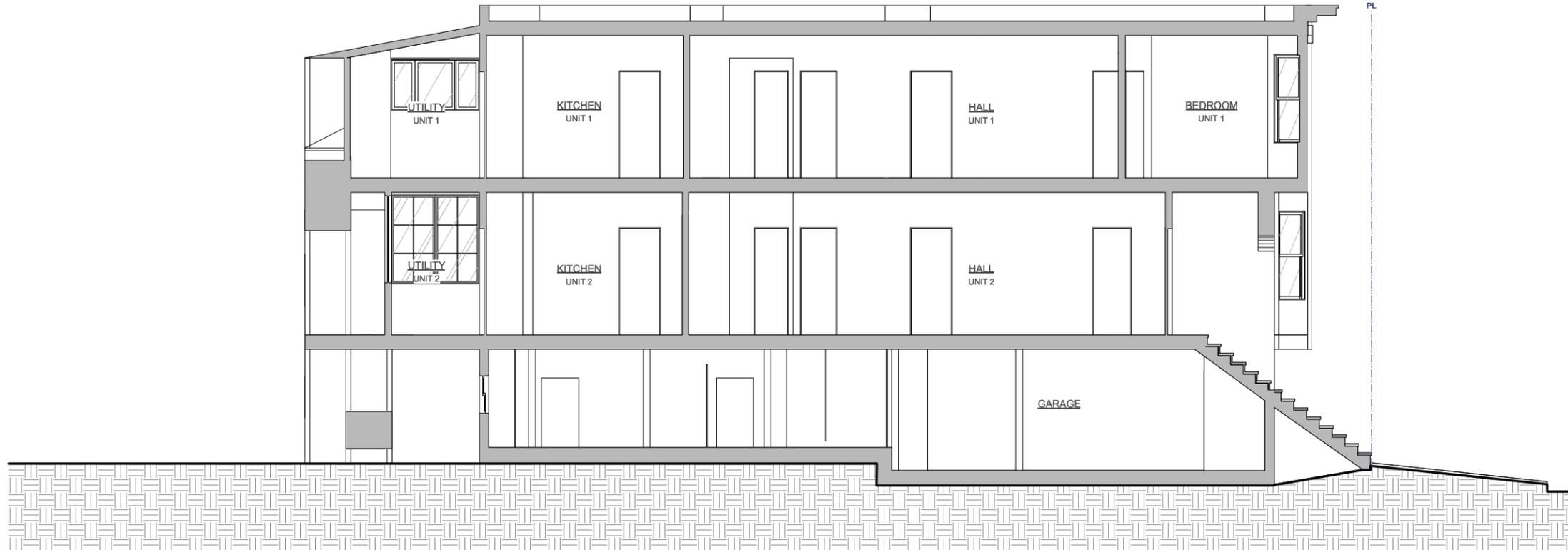


2 WEST FACADE - PROPOSED
Scale: 1/4" = 1'-0"

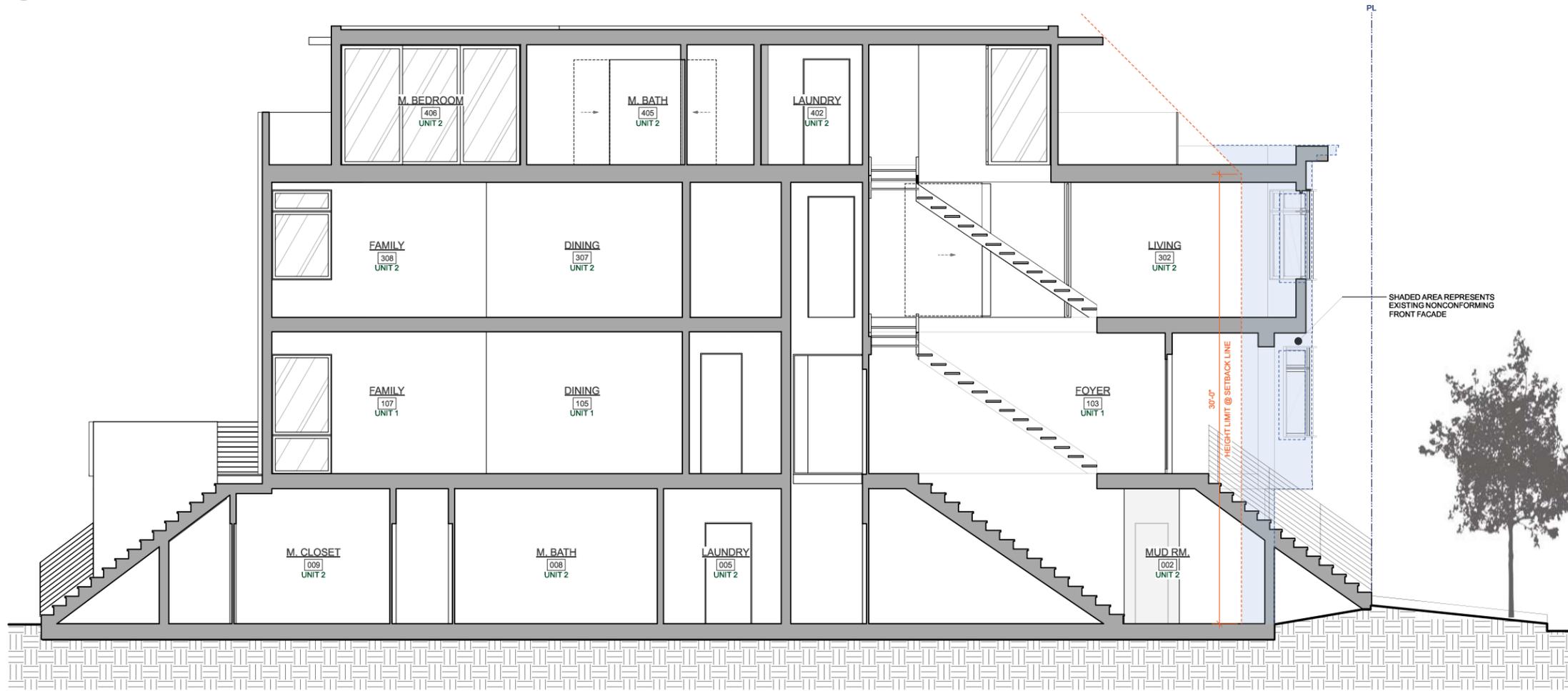


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1 EXISTING BUILDING SECTION
Scale: 1/4" = 1'-0"



2 PROPOSED BUILDING SECTION
Scale: 1/4" = 1'-0"



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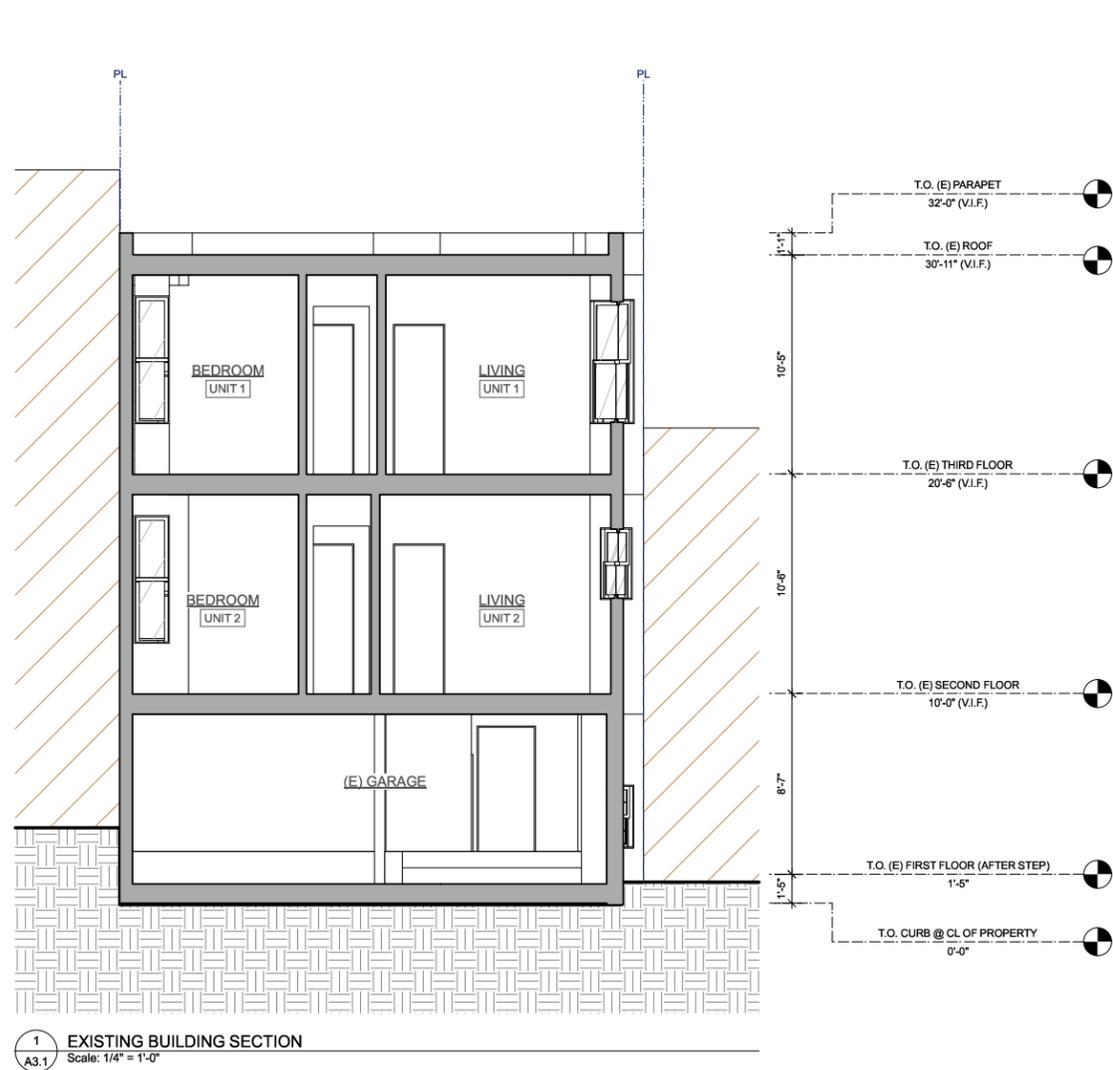
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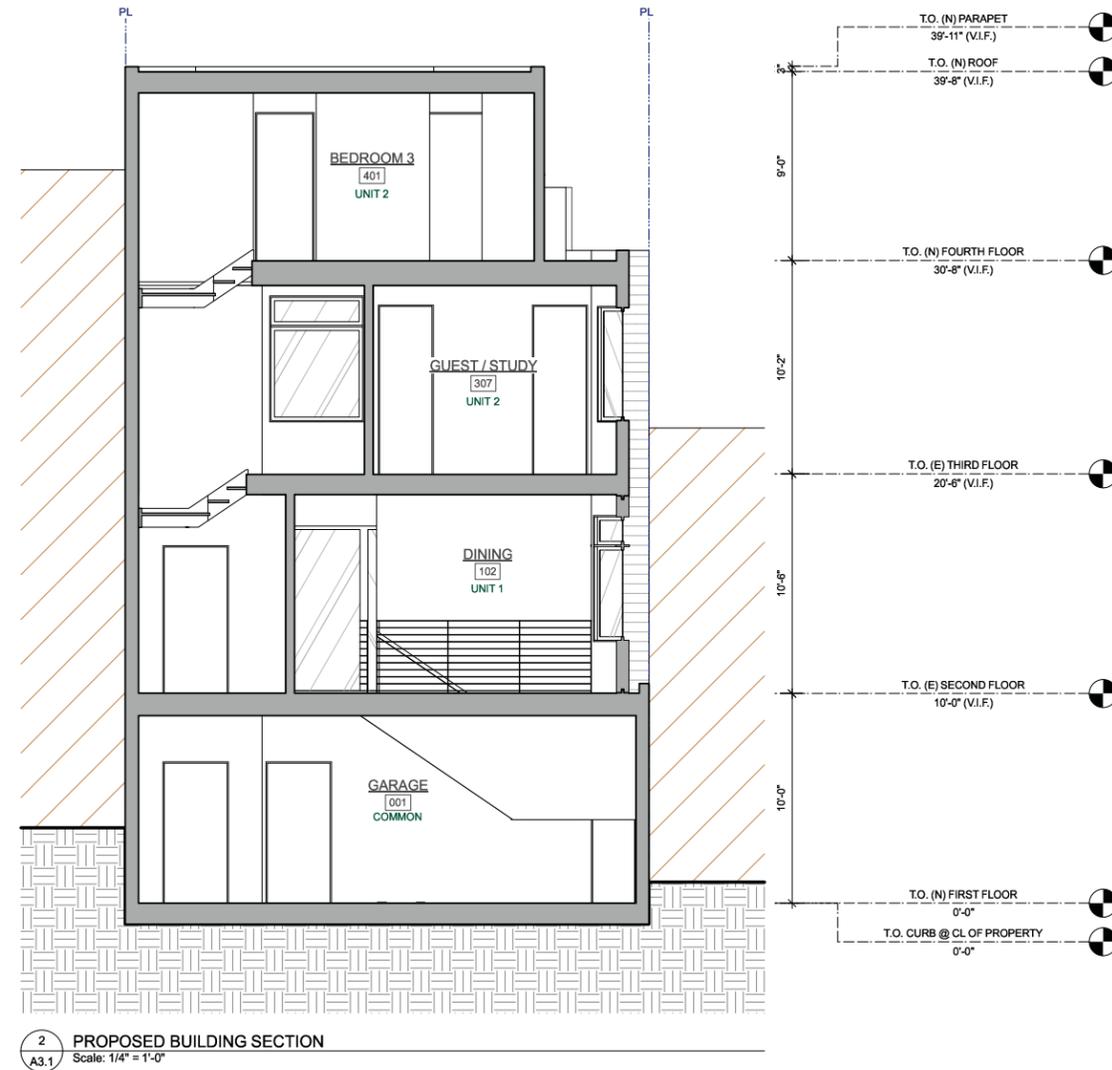
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SECTIONS

A3.0



1
A3.1 EXISTING BUILDING SECTION
Scale: 1/4" = 1'-0"



2
A3.1 PROPOSED BUILDING SECTION
Scale: 1/4" = 1'-0"

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1 FRONT EXTERIOR PERSPECTIVE: SUBMITTED ELEVATION
A6.0



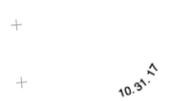
2 FRONT EXTERIOR PERSPECTIVE: REVISED ELEVATION
A6.0



3 EXISTING FACADE
A6.0



4 FRONT EXTERIOR PERSPECTIVE: REVISED ELEVATION
A6.0



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3932 - 3934 26TH ST. REMODEL & ADDITION

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May 22, 2017

San Francisco Planning Department
1650 Mission Street, #400
San Francisco, CA 94103

Attn: San Francisco Planning Commission
Veronica Flores, Planner

Re: 2016-004009DRP
3932-3934 26th Street
APN: 2016-0318-2438



JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9650 FAX 415 558 0554

Dear President Hillis and Planning Commissioners:

This letter is to update you on the project revisions we've made following the Discretionary Review hearing on February 9, 2017. The Planning Commission instructed us as follows:

1. Alter the floor plans to create two, more equally-sized family-style units;
2. Reduce fourth-floor glazing; and
3. Either relocate the existing tenant, or give him a legally-enforceable right to remain in place.

We are pleased to enclose revised project plans pursuant to these instructions, as well as providing numerous additional revisions that are responsive to neighbor concerns.

1. More Equally-Sized Family-Style Units

In response to the first comment, we have reorganized the floor plans to create two similar-sized units while staying within the proposed building envelope. Referencing the revised set of plans (submitted to the San Francisco Planning Department on May 8, 2017), the lower Unit (3932) is **2,402 sq. ft. with three bedrooms** and the upper unit (3934) is **2,781 sq. ft. with four bedrooms**. The garage is slightly smaller to achieve this, but both units now have a Living Room, Dining Room, Kitchen and Family Room.

2. Reduce Fourth-Floor Glazing

We have significantly reduced the windows on the fourth floor:

- 60 sq. ft. reduction of glazing on the front
- 52 sq. ft. reduction of glazing on the rear
- 81 sq. ft. reduction of glazing on the east,

Moreover, we have reduced the glazing on the rear façade by a total of 106 sq. ft. to eliminate any perception of a “lantern effect” in the evening.

3. Relocate the Existing Tenant or Give Him a Right to Remain in Place

In response to the Commission’s third instruction, the project sponsor’s legal team began preparing a life estate for the tenant, Mr. Jensen, following the February 9 hearing. We were saddened to learn of his passing shortly after the hearing. To reiterate, the project sponsor informed us that he was committed to delaying construction for as long as Mr. Jensen wished to remain in his unit, or to relocating him if he wished; eviction was never a possibility. We wish to express our sincere condolences to Mr. Jensen’s family.

4. The Revised Plans Include Numerous Additional Changes for the Neighbors

Since the hearing, we have had numerous communications with the neighbors, which resulted in two meetings at our office on March 6th and April 26th and a third meeting at the project site on May 1st. A fourth meeting had been scheduled on May 10th in order to discuss any specific revisions the neighbors might wish to request, but **the neighbors unilaterally canceled the meeting**. Nevertheless, we have made the following additional changes for their benefit:

1. Removed a deck directly adjacent to Patricia Heldman’s house to address concerns about privacy.
2. Modified the façade to be “softer” and less modern to blend into the neighborhood.
3. Added landscaping in the rear to address privacy concerns
4. Changed open railing to solid parapets to address concerns about privacy from Ms. Heldman’s house, 3928 26th Street.
5. Removed a window directly across from Ms. Heldman’s window to address concerns about privacy.
6. Reduced significantly the amount of glass on the fourth floor at the front façade and also on the entire rear façade.

Ms. Heldman has also expressed concern about protecting her foundations during construction. While this is outside the scope of Planning review, the project sponsor is committed to taking whatever measures are necessary to protect her foundations, including underpinning if appropriate.

Lastly, we were informed today that Brian Pritchard, DR applicant has requested another continuance, because Lynn Rosenzweig is unable to attend on June 1. Ms. Rosenzweig attended and testified at the original DR hearing and has been aware of this date for over three months. The hearing has already been continued by four months, and an additional two-month continuance is unreasonable. The neighbors have had the project plans since before the first hearing, and we showed them the proposed revised plans at our meeting on March 6. Mr. Pritchard and Ms. Rosenzweig attended

that meeting and agreed to arrange a follow-up with all of the concerned neighbors, to deliver half-size printouts and discuss any requested revisions they might have. Mr. Pritchard and Ms. Rosenzweig did not get back to us. While we arranged an on-site meeting to show project dimensions to Ms. Heldman, Mr. Pritchard and Ana Stucka in the field, Ms. Rosenzweig subsequently canceled the follow-up meeting which was intended to discuss any additional specific requests they might have.

In short, it appears that the neighbors are not negotiating in good faith. Nevertheless, we have made every effort to revise the project to address their concerns.

Thank you for your consideration,

A handwritten signature in black ink, appearing to be 'John Lum', with a vertical line above the first letter and a horizontal line extending to the right.

John Lum, AIA

This page intentionally blank.

Flores, Veronica (CPC)

From: Secretary, Commissions (CPC)
Sent: Monday, May 15, 2017 10:14 AM
To: Flores, Veronica (CPC)
Cc: Gerber, Patricia (CPC)
Subject: FW: Follow up from 5/12 Public Comment re: 2016.03.18.2438 Agenda Item 15 2/9 3932-34 26th street - CONTINUANCE
Attachments: Minutes_Public Comment_re3932_3934_26th_05_12.pdf; Carl.JPG
Follow Up Flag: Follow up
Flag Status: Flagged

Office of Commission Affairs

Planning Department | City & County of San Francisco
1650 Mission Street, Suite 400, San Francisco, CA 94103
Direct: 415-558-6309 | Fax: 415-558-6409

commissions.secretary@sfgov.org
www.sfplanning.org

From: Lynn Rosenzweig [mailto:rosenzweig.lynn@gmail.com]
Sent: Friday, May 12, 2017 9:51 PM
To: richhillissf@yahoo.com; Richards, Dennis (CPC); Secretary, Commissions (CPC)
Cc: planning@rodnevfong.com; Koppel, Joel (CPC); Melgar, Myrna (CPC); Moore, Kathrin (CPC); Brian Pritchard
Subject: Follow up from 5/12 Public Comment re: 2016.03.18.2438 Agenda Item 15 2/9 3932-34 26th street - CONTINUANCE

Dear President Hillis, Vice President Richards and Commissions Secretary Ionin,

Thank you for hearing my public comment yesterday May 12 regarding Carl Jensen and my request for Continuance regarding the continued June 1 hearing. As DR Requestor Brian Prichard wrote you on 2/13 (see below), I am a very involved and impacted member of the public and also essentially became a part of the DR team when Mr Prichard allowed me to respond during the rebuttal on 2/9.

I live directly across the street from the proposed project at 3932 -3934 26th Street, and I, like many other impacted neighbors, am also devastated by the death of Carl Jensen. This case is very important to me not only because of how it will impact me and my neighbors, but its also important to me because we lost Carl. As I have been very instrumental in coordinating meetings with the architects and working with neighbors regarding the proposed plans, the impacted neighbors feel that I need to be present. **As I will be out of the country starting tomorrow 5/13 and not back until towards the end of August, I cannot stress enough how grateful I and all of us would be if we could reschedule the hearing for some time after August 23.** I also know from listening to all of you speak that although anyone can send in emails with documentation, its a much more impactful experience both for the speaker and those listening when someone speaks live in front of the commission. If the hearing were to happen on June 1, I would not have that opportunity. If any of you are on the fence about doing this, Brian and I understand. But if Carl were alive today, I can guarantee to all of you, that he would want me to speak on his behalf, and the only way to do that is for the hearing to be continued for when I am back.

We wish to thank you for your thoughtfulness regarding protecting long time tenant Carl during the 2/9 hearing, and Vice President Richards, Brian and I also want to tell you how much it means to us that you closed a hearing in honor of Carl Jensen.

Sincerely,

Lynn Rosenzweig and Brian Prichard

----- Forwarded message -----

From: **Brian Pritchard** <aquatic7@gmail.com>

Date: Fri, Feb 24, 2017 at 6:21 PM

Subject: Fwd: 2016.03.18.2438 Agenda Item 15 2/9 3932-34 26th street - CONTINUANCE

To: Lynn Rosenzweig <rosenzweig.lynn@gmail.com>

----- Forwarded message -----

From: **Brian Pritchard** <aquatic7@gmail.com>

Date: Mon, Feb 13, 2017 at 5:32 PM

Subject: 2016.03.18.2438 Agenda Item 15 2/9 3932-34 26th street - CONTINUANCE

To: richhillissf@sfgov.org, dennis.richards@sfgov.org, jonas.ionin@sfgov.org

Dear President Hillis, Vice President Richard and Commission Secretary Ionin,

A very involved and impacted member of the public, who has been instrumental in bringing our group together, has hosted meetings regarding the project at her home, and who has been a necessary force in this case, has a scheduling problem with the Continuance on June 1, 2017, and will not be available.

It was not brought up at the hearing on February 9, 2017, because she, like I, was so overwhelmed by the experience, and your vote, that it did not occur to her that she would actually be out of the country. She will be gone for a good part of the summer beginning May 12, 2017, back August 23, 2017. So I am reaching out to you at the earliest possible moment.

I realize this puts a terrible burden on the Commission and the Project Sponsor, but it also is very concerning for me and many of the neighbors who live on this block, who signed the petition against this project, to not have Lynn present on June 1, 2017. Likewise, she would very much like to be present, as it is she and I together who have been fighting and continue to fight for the tenant downstairs at 3932. In addition, I and others could really use her moral support at the next hearing.

I would greatly appreciate your guidance on this and a further Continuance to the end of August/Early September when she is back.

I apologize again for not bringing this up at the Commission hearing on Thursday, we were just all very excited and exhausted at the same time.

I'm leaving my and Lynn's (member of public) contact info below.

Thank you for your consideration,

Brian Prichard

Brian Prichard, DR Requestor

[\(415\) 652-4032](tel:(415)652-4032)

135 Clipper Street

San Francisco, CA

Lynn Rosenzweig

[\(415\) 595-4778](tel:(415)595-4778)

3931 26th Street

San Francisco, CA

Minutes (Re 3932-3934 26th St)
Public Comment

On February 9 there was a DR for 3932-3934 26th street. You asked for revisions. The next hearing is June 1. The DR requestor would like me there but I cannot attend. I am requesting the hearing be postponed until I am back in the country after August 23.

On February 9 you learned there was a tenant who had lived in 3932 for 63 years. The project sponsor didn't tell the city this unit was occupied by 93 year old Carl Jensen, and that this was his home.

On February 16, Carl asked for help writing and sending a letter to all of you, setting the record straight about his wish to remain in his home. He wanted to be at the next hearing.

Here is a photo of Carl on feb 13. 2 weeks later, he died.

Had he been with us today he'd have read this letter to all of you.

Noe Neighborhood Council

Neighbors committed to fair planning for Noe Valley



May 20, 2017

San Francisco Planning Commission
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: Continuance of Discretionary Review Hearing for 3932-3934 26th Street, June 1st, 2017
Permit Application No. 2016.03.18.2438

President Hillis, Vice President Richards, and Members of the Planning Commission:

On behalf of Noe Neighborhood Council, I am writing to express our opposition to the proposed project at 3932-3934 26th Street due to the owner's failure to disclose the existence of an elderly nonagenarian tenant who had been living there for 63 years.

Initially, we expressed our concerns regarding the scale of this project when the case was before you on February 9, 2017. We had just learned of the existence of this long-term elderly tenant, Carl Jensen a few days earlier and we were hopeful that his existence coming to light at the hearing would safeguard against his displacement. Alas, the case was continued to June 1st and the owner was asked to make modifications to his plans and to come up with a place for Mr. Jensen.

Unfortunately, Mr. Jensen died before any of this was materialized. Conveniently for the owners, he became another elderly tenant who died before he was evicted. Whether or not the stress associated with the prospect of losing his home contributed to his death is not the point. The point is should property owners be allowed to take on construction projects that would result in the displacement of their long-term elderly tenants? We believe not. Is it ok for property owners not to disclose the existence of their long-term elderly tenants when they file for construction permits? The answer is a resounding no.

Tenant displacement issues matter, particularly when tenants are elderly seniors on limited income. Even density bonus programs have deemed rent controlled and residential units off-limit because of the potential displacement issues. Sadly, no such considerations were given to this case maybe because the existence of a 93 year old tenant who had been living there for 63 years was not disclosed.

These are the reasons why we urge you to reject this project altogether to send a strong message to developers with no regard for the human cost of their projects. Whether or not the revised plans address the previously raised issues is irrelevant in light of the developer's bad behavior. There should be a consequence for not disclosing such basic information as the long term elderly tenant who might have ended up on the street had the neighbor in the back not filed a DR application.

Sincerely,

Ozzie Rohm
On behalf of the 250+ members of Noe Neighborhood Council

May 20, 2017

President Rich Hillis
Vice President Dennis Richards
Fellow Members of S.F. Planning Commission

Re: Proposed Project at 3932-3934 26th Street

Commissioners Hillis et al:

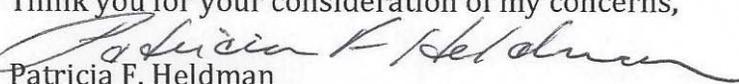
I am the neighbor living at 3928-26th Street, the property immediately adjacent, on the East, to the proposed renovation. Though there have been some modifications to the project since the Commission hearing of 2/9/17, they are hardly enough and still do not address my main objections.

In response to requests for Story Poles, the architects, instead, agreed to meet on 5/1/17 at the property site and demonstrated with tape measures the position and height of the proposed northern (rear) projection of the building. My neighbors and I were even more astounded by the massiveness of the proposed structure and the impact on privacy and light. This proposed extension is much higher than the property immediately adjacent to the West and would compromise, even more than I had previously thought, the light on my property and home. My small Victorian is even more dwarfed by comparison.

Though my neighbors and myself had made numerous requests for full-size, paper blueprints of the proposed construction; it was not until 5/1/17 that the architects provided us with these blueprints. The proposed 4th floor addition does have minor modifications but is still too big and when lit will look like a lighthouse beacon. Though there are now 2 units, the proposed design has not much changed. Though I am a layperson, when I look at the floor plan for the 2nd unit, floor 3, I am struck by the presence of 2 "living rooms". The front living room (13'2" x 23' 9") and its' connected guest room with bath has direct access to the elevator and stairs and makes me wonder if it could be used as an Airbnb.

One of my primary concerns is that an outside developer with no interest in the block or neighborhood would be constructing units that only the top 1% of the population can afford. This can only undermine the fabric of the block and the neighborhood. We live in an era of lack of affordable housing and shrinking government resources. The role of neighborhood and support of one's neighbors is becoming even more important to fill in those gaps. As a resident who has lived on 26th Street and in Noe Valley for 33 years, a native San Franciscan, and a professional who has spent my career working with children and young adults, I appreciate the role of community. Please help us maintain the neighborhood and community feeling of our street by opposing this project.

Think you for your consideration of my concerns,


Patricia F. Heldman
3928 -26th Street SF
sfshrinkpfb@aol.com

President Rich Hillis
Vice President Dennis Richards
Commissioner Kathryn Moore
Commissioner Joel Koppel
Commissioner Christine Johnson
Commissioner Myrna Melgar
Commissioner Rodney Fong

Re: 3932-3934 26th Street; 2016-004009DRP; Hearing: June 1, 2017

Dear President Hillis and Members of the Planning Commission:

Please grant a continuance for this project at 3932-3934 26th Street. The DR Requestor, Mr. Brian Pritchard has worked very closely with Ms. Lynn Rosenzweig who will be out of the county until after July.

It would be very helpful to Brian, to have Lynn by his side as you take a second look at this massive, out of scale project. To use a cliché, all the Project Sponsor has done since your directions on February 9, 2017 is to rearrange the deck chairs on the Titanic. Please continue it. Additionally:

If you look closely at the revised plans in your packet, I think you will see what I mean about "deck chairs". This project is still massive....and massiveness does not equal density.....Just because the units *now seem* to have parity in size, does not mean that this project will meet the Commission's goal of increasing the housing supply. Additionally it is just too massive for the block and is out of character for this block per Section 101 (b).

There are other issues too. There are three attachments. The Project Sponsor's undated letter from the February 9th hearing stating the LLC for this speculative project would relocate Mr. Jensen; Mr. Jensen's letter from February 16th stating he did not wish to move; and a photo of Mr. Jensen shortly before his death. (A fine looking gentleman for 93 wasn't he?)

Sincerely,

Georgia Schuttish

San Francisco Planning Department
1650 Mission Street, #400
San Francisco, CA 94103

Attn: San Francisco Planning Commission
Veronica Flores, Planner

Re: 2016-004009DRP
3932-3934 26th Street
APN: 2016-03182438

Dear President Hillis and Planning Commissioners:

On behalf of the owner of 3932-3934 26th Street, I write to confirm that, as a condition of approval of our project as proposed, we will not evict the property's existing tenant. The tenant, Carl Jensen, is a long-time resident and a senior citizen. Carl and I have had a very good relationship during my years owning the property. Due to his advanced age, he has repeatedly expressed a desire to be relocated to another apartment nearby where he will not have to climb up and down stairs. If he wishes, I will relocate him at my own expense and provide rent-controlled tenancy at the same rental rate in another apartment nearby. If he does not want to move, he can continue living at the property. We are committed to taking care of Mr. Jensen.

Sincerely,

Ninety Four Feet, LLC



Its: Managing Member

Carl T. Jensen
3932 26th Street
San Francisco

February 16, 2017

Re: 2016 - 004009DRP
3932 -3934 26th Street
APN: 2016-03182438

Dear President Hillis and Planning Commissioners,

In response to the letter from the LLC, Ninety Four Feet that was presented to the planning commission on 2/9, I want to make clarify my position. I am the 93 year old man who lives at 3932 26th Street.

Re: "due to his advanced age, he has repeatedly expressed a desire to be relocated to another apartment nearby where he will not have to climb up and down the stairs".

I did not repeatedly express a desire to be relocated to an apartment nearby. I never said that. Climbing up and down the stairs is not a big deal for me.

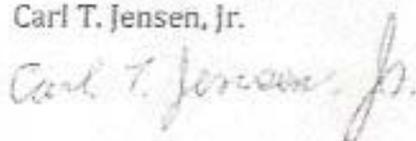
Re: "If he wishes, I will relocate him at my own expense and provide rent controlled tenancy at the same rental rate in another apartment nearby."

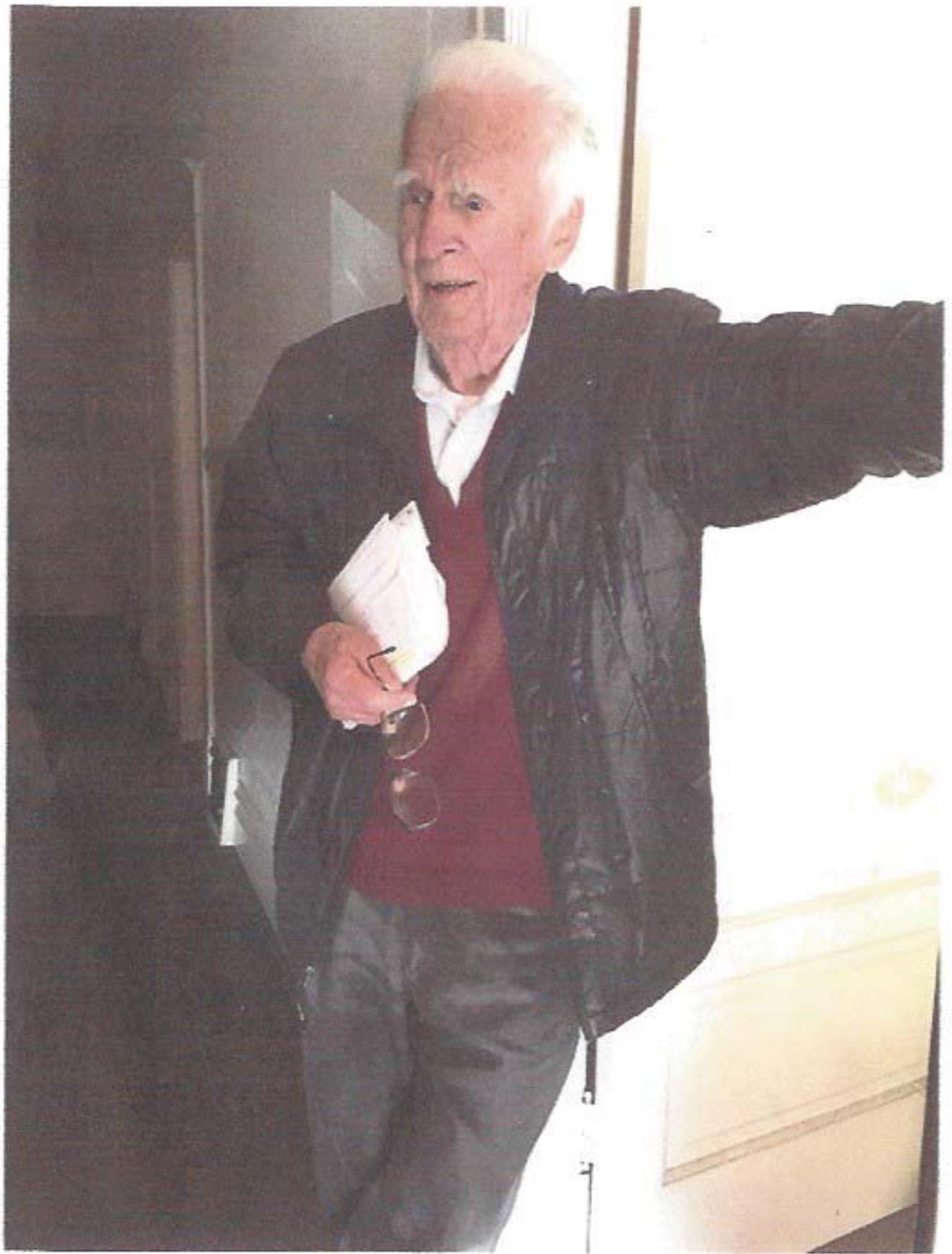
I have no desire to move. It would be nice if some of the stuff was repaired and fixed up. But I do not wish to move. And you can quote me on that.

Re: "If he does not want to move, he can continue living in the property."

I want to continue living on the property. I've lived here since 1954 (63 years). This is my home.

Carl T. Jensen, Jr.





Dear President Hillis, Vice President Richards and Fellow Members of the Commission:

Re: 3932-3934 26th Street. 2016-004009DRP

We have made several requests for continuance due my neighbor, Ms. Rosenzweig's absence and the tragedy of the death of the elder tenant, Mr. Carl Jensen who resided at 3932 for 60+ years. As the DR Requestor, I am still asking for a Continuance until my colleague and neighbor, Lynn Rosenzweig returns. It took us almost 3 months since the hearing on February 9 to get a copy of the plans.

First we were told we would have them on 3/6 (almost a month later) - we asked several times both in email and in person, but they were withheld until the day they said they were submitting plans to the Staff which was the beginning of May. We were also misled about the square footage. They first told us it would be one size in March and then it was increased by the end of April.

The Project Sponsors have ignored our request to remove the 4th floor. The fourth floor is not necessary as the units are perfectly adequate for a family in their current layout....the units could be modestly remodeled and returned to the market very quickly to meet the housing needs, particularly since the untimely death of Mr. Jensen has given them a clear path since they will not need to deal with an eviction of a senior and long-term resident.

This project seems decadent for our quaint Noe Valley block, with square footage at over twice the average size on our block. Elevator? Really? Is this necessary? Density equity can be achieved by renovating and or just going a little deeper into back lot with a modest renovation. Only a simple horizontal expansion should be granted, not a vertical expansion as well. The 4th should not be allowed.

Additionally and important to me and my fellow tenants on Clipper is that the windows have not been reduced and are very large and will affect privacy and add light pollution to the rear yard mid block open space.

Very truly,
Brian Pritchard

May 22, 2017

President Rich Hillis,
Vice President Dennis Richards
Fellow Members of the Planning Commission

Re: 3932-3934 26th Street, June 1st DR Continuance

Dear Commissioners Hillis, Vice President Dennis Richards, and Fellow Members of the Planning Commission:

We live on 3933 26th Street, across the street from the proposed project. We are requesting a continuance of the June 1st hearing because Lynn Rosenzweig, our neighbor who has been guiding us, cannot attend.

When this all started, our disapproval was mainly due to our fear and displeasure with the proposed gigantic development across the street. Despite our numerous objections, the massiveness of the development, including the square footage and height of the building, remain the same. However, through this process, we learned it was no longer just about us, but more about the story of our elderly neighbor, Carl Jensen, who we would see everyday walking up and down the steps of the building across our street. Carl was 93 years old and had lived in his apartment for the past 50 years. We saw him every day but did not know he made his way down to Chloe's Café on the corner for lunch. We later found out from Lynn that Carl's vision was not what it once was. He did not want to risk eating in his apartment leaving crumbs he could not see. Lynn got to know Carl and became his protector and his voice in this process. She listened to Carl detail the tactics Mr. Gudjral and his team used to try to make him vacate his apartment. She listened to him recount the instances his apartment fell into disrepair. She listened to his fears of leaving the place he called home for the past 50 years. Well, Carl did not have to leave. He passed away in his home. What bothers us is this man lived happily for 50 years in his apartment. But his last few months were filled with fear and paranoia due to the eviction process. It was not right for Carl to live his last few months this way. And it is not right for anyone like Carl to have to experience this. I feel we owe it to Carl to have his voice heard. And now that he has passed, the only person who can truly convey what Carl experienced is Lynn. For these reasons, we kindly ask that we are granted a continuance until Lynn Rosenzweig returns from Europe in late August. We owe it to Carl.

Thank you for your consideration.

Best,
Janice Minamoto and Franco Tarm



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis

HEARING DATE: FEBRUARY 9, 2017

Date: February 2, 2017
Case No.: **2016-004009DRP**
Project Address: **3932-3934 26th Street**
Permit Application: 201603182438
Zoning: RH-2 [Residential – House, Two-Family]
40-X Height and Bulk District
Block/Lot: 6552/012
Project Sponsor: Khoan Duong
John Lum Architecture
3246 17th Street
San Francisco, CA 94110
Staff Contact: Veronica Flores – (415) 575-9173
Veronica.flores@sfgov.org
Recommendation: **Do not take DR and approve as proposed**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The proposal includes a renovation and addition to an existing three-story two-unit building. The project will excavate and expand the garage level to relocate one unit to the ground level. Additionally, the proposal includes a rear horizontal additions to the second and third floors; a new vertical addition for a fourth floor and façade alterations.

SITE DESCRIPTION AND PRESENT USE

The project is located on the north side of 26th Street, between Sanchez and Church Streets, Block 6552, Lot 012. The subject property is located within the RH-2 (Residential – House, Two Family) and the 40-X Height and Bulk District. The property is developed with a three-story building with two flats above the garage. The subject property has a front setback of 6 feet 7 inches and a rear yard of 54 feet and 4 inches.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The adjacent properties are also located within the RH-2 Zoning District. There are three clusters of NC-1 (Neighborhood Commercial Cluster) zoned parcels surrounding the subject property at the following intersections: Church and Clipper Streets, Sanchez and 26th Streets, and Church and 26th Streets.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	October 17, 2016 – November 16, 2016	November 16, 2016	February 9, 2017	85 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	January 30, 2017	January 30, 2017	10 days
Mailed Notice	10 days	January 30, 2017	January 30, 2017	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	X	3 (including DR filer)	X
Other neighbors on the block or directly across the street	X	4	X
Neighborhood groups	X	X	X

The adjacent neighbor and four neighbors across the street voiced concerns regarding the proposed façade alterations, the fourth floor addition, and its light impacts on the adjacent properties. Additionally, the adjacent neighbor to the east voiced concerns regarding the unit size of the unit relocated to the ground level.

DR REQUESTOR

Brian Pritchard, 135 Clipper Street #15 (located to the rear of the subject property)

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Application*, dated November 16, 2016.

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*, dated January 4, 2017.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

DEPARTMENT REVIEW

Prior to going out for neighborhood notification, the Department reviewed the proposal for the proposed unit relocation. While the proposal includes reducing an existing unit's square footage by almost 25%, the unit itself will be 870 square feet with a full kitchen and full bath. Additionally, the ground floor unit includes separate and distinct street access as well as access to usable open space.

The Department reviewed the proposal to ensure that the project is not tantamount to demolition. The proposal includes removing 41.5% of all exterior walls measured in lineal feet at the foundation level; and therefore does not meet the "and" clause for 317(b)(2)(B). Additionally, the proposal includes removing 38.6% of all vertical elements; and therefore does not meet the "and" clause for 317(b)(2)(C). Lastly, the proposal includes reducing one of the existing units by 24.2% of its original floor area; and therefore does not meet 317(b)(7).

RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Team (RDT) reviewed the project following the submittal of the Request for Discretionary Review and found that the proposed project meets the standards of the Residential Design Guidelines (RDGs) and that the project does not present any exceptional or extraordinary circumstances for the following reasons:

1. With respect to light and air concerns, the proposed massing is appropriate as the proposed fourth floor is set back 14 feet 6 inches from the front structural wall and 5 feet from the eastern property line.
2. The project and privacy issues are within the tolerances to be expected when living in a dense, urban environment like San Francisco.
3. The building scale, massing and materials are appropriate as the project is located in a neighborhood of mixed visual character with regard to both scale and architecture.

Upon further review, RDT instructed the project sponsor to make modifications to the project. The plans have been satisfactorily revised to address RDT's design request listed below and are the official plans submitted to the Commission.

1. A full height wall should be included to separate the downstairs unit from the garage and create a defined and private entry hall to the unit (RDG pg. 43).
2. To enhance the street and ensure a visually interesting frontage, the entrance to the ground floor unit should be more prominent and distinguished from the subordinate tradesman door through the addition of landscaping, lighting and other architectural features (RDG pgs. 12-15, 31-32)

Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.

RECOMMENDATION: Do not take DR and approve project as proposed
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Attachments:

Block Book Map

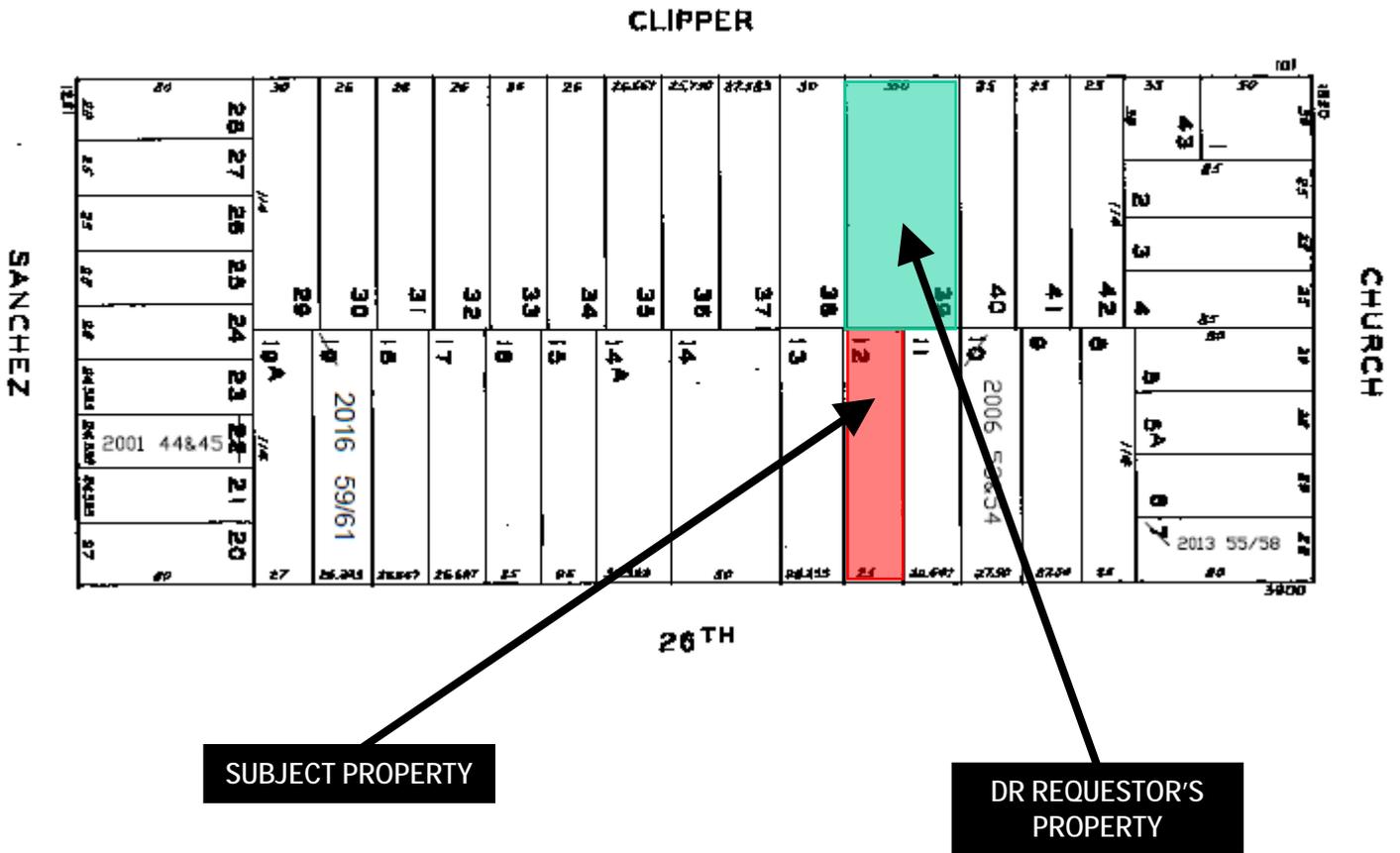
Sanborn Map
Zoning Map
Aerial Photographs
Context Photographs
Section 311 Notice
DR Application
Response to DR Application dated January 4, 2017
Revised Plans per RDT Comments (including Renderings)

VF I:\Cases\2016\2016-004009DRP - 3932 - 3934 26th Street\3932 26th SL_DR - Abbreviated Analysis.docx

Exhibits

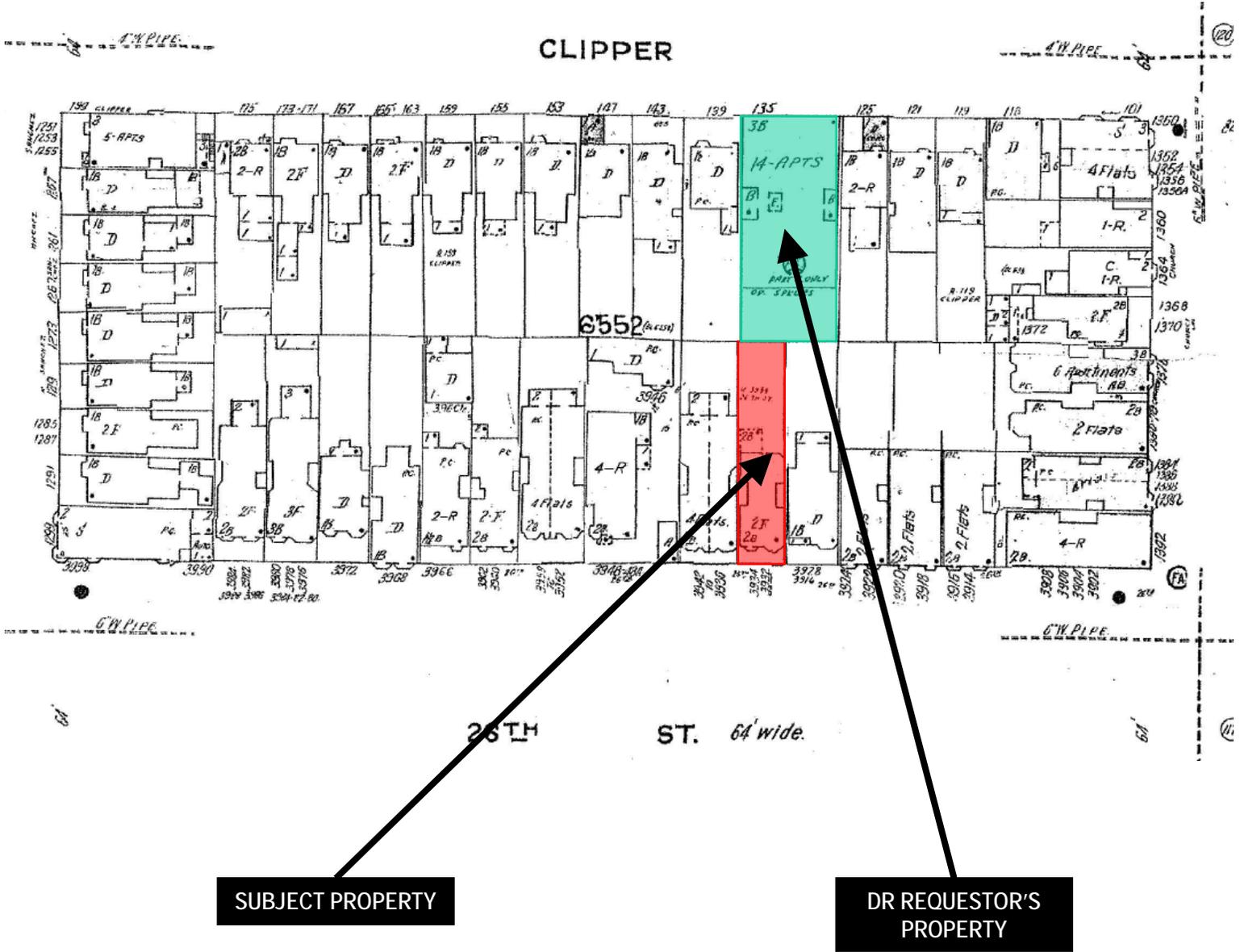
Discretionary Review Hearing
Case Number 2016-004009DRP
3932 26th Street

Parcel Map



Discretionary Review Hearing
 Case Number 2016-004009DRP
 3932 26th Street

Sanborn Map*

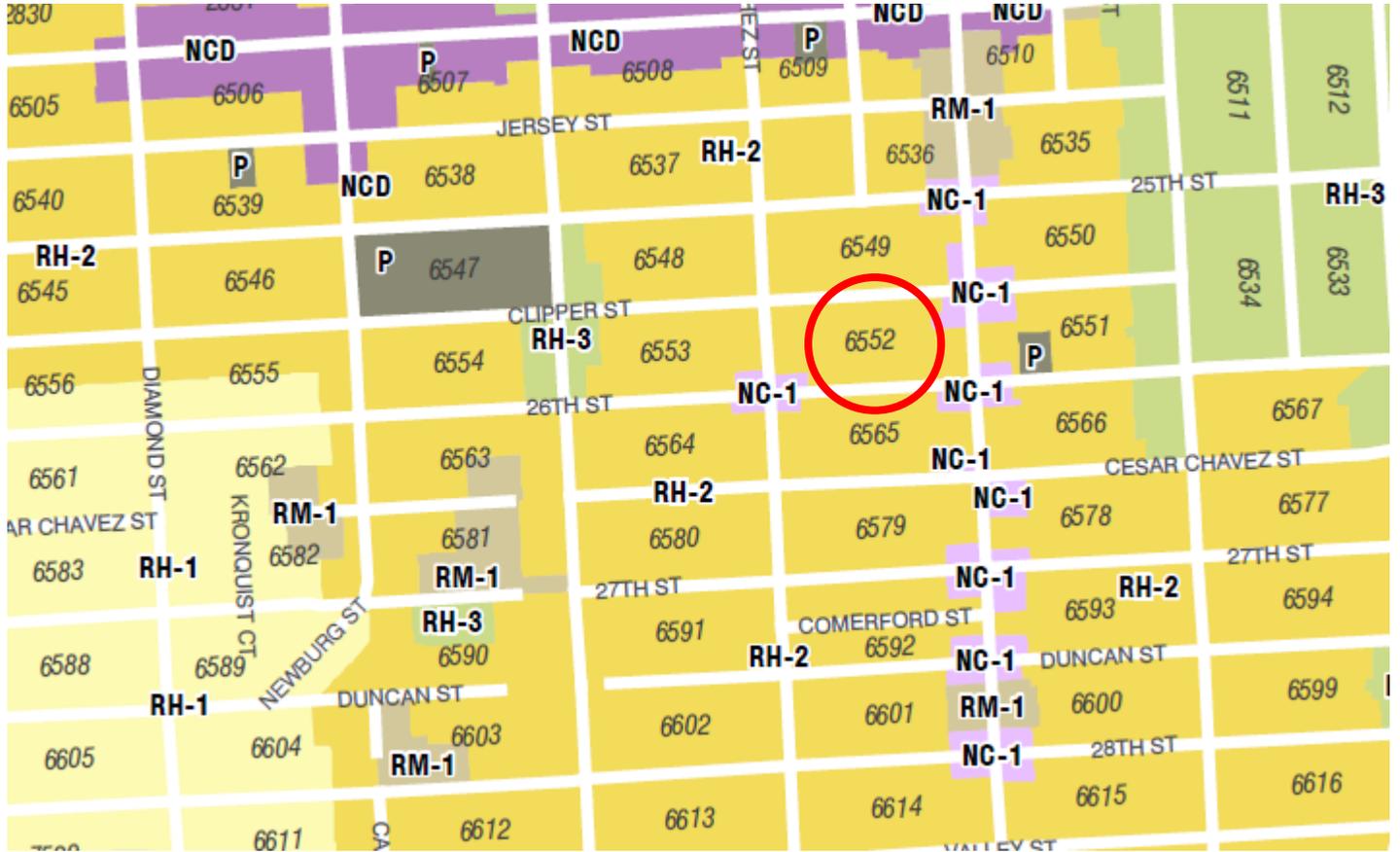


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



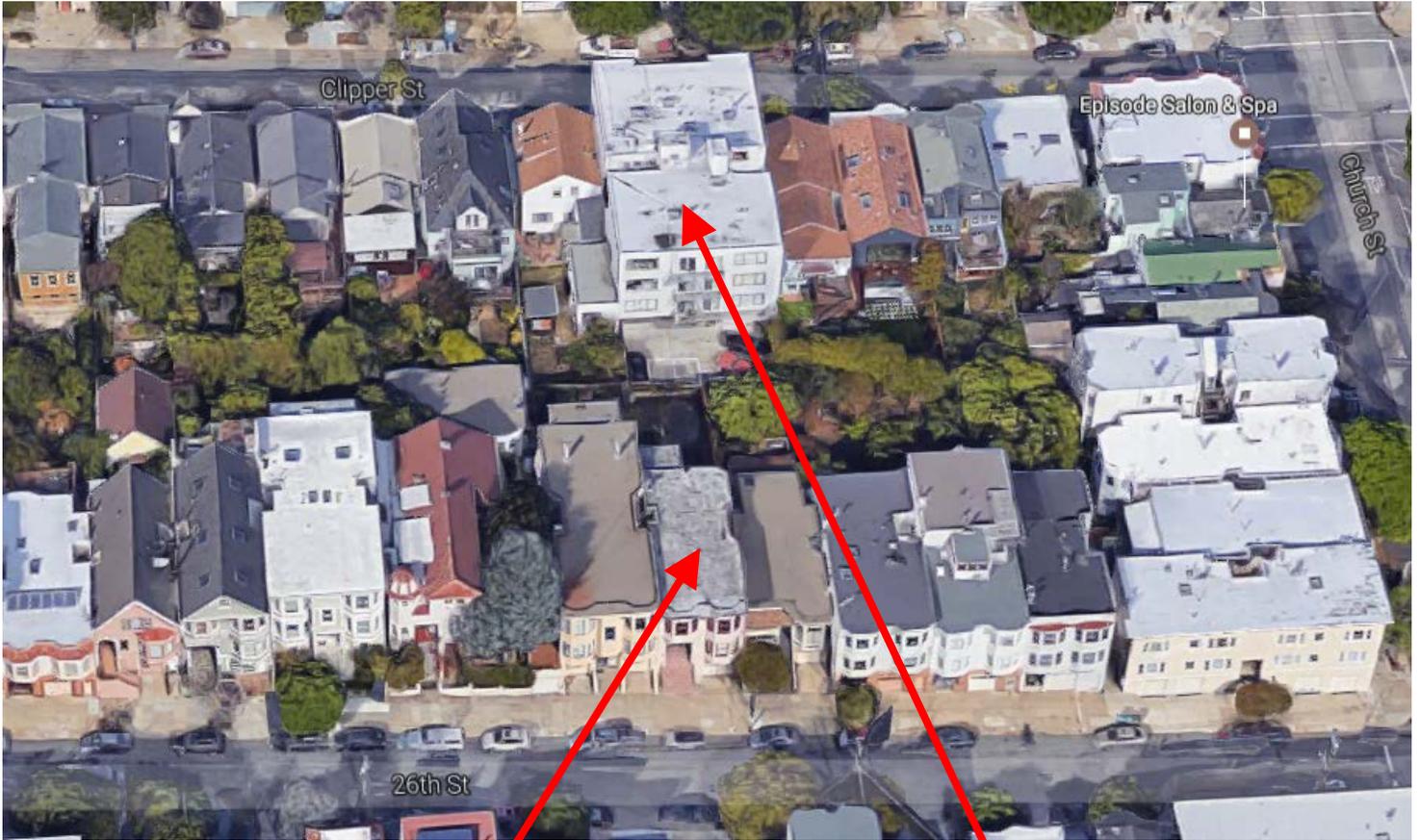
Discretionary Review Hearing
Case Number 2016-004009DRP
3932 26th Street

Zoning Map



Discretionary Review Hearing
Case Number 2016-004009DRP
3932 26th Street

Aerial Photo



SUBJECT PROPERTY

**DR REQUESTOR'S
PROPERTY**



Aerial Photo

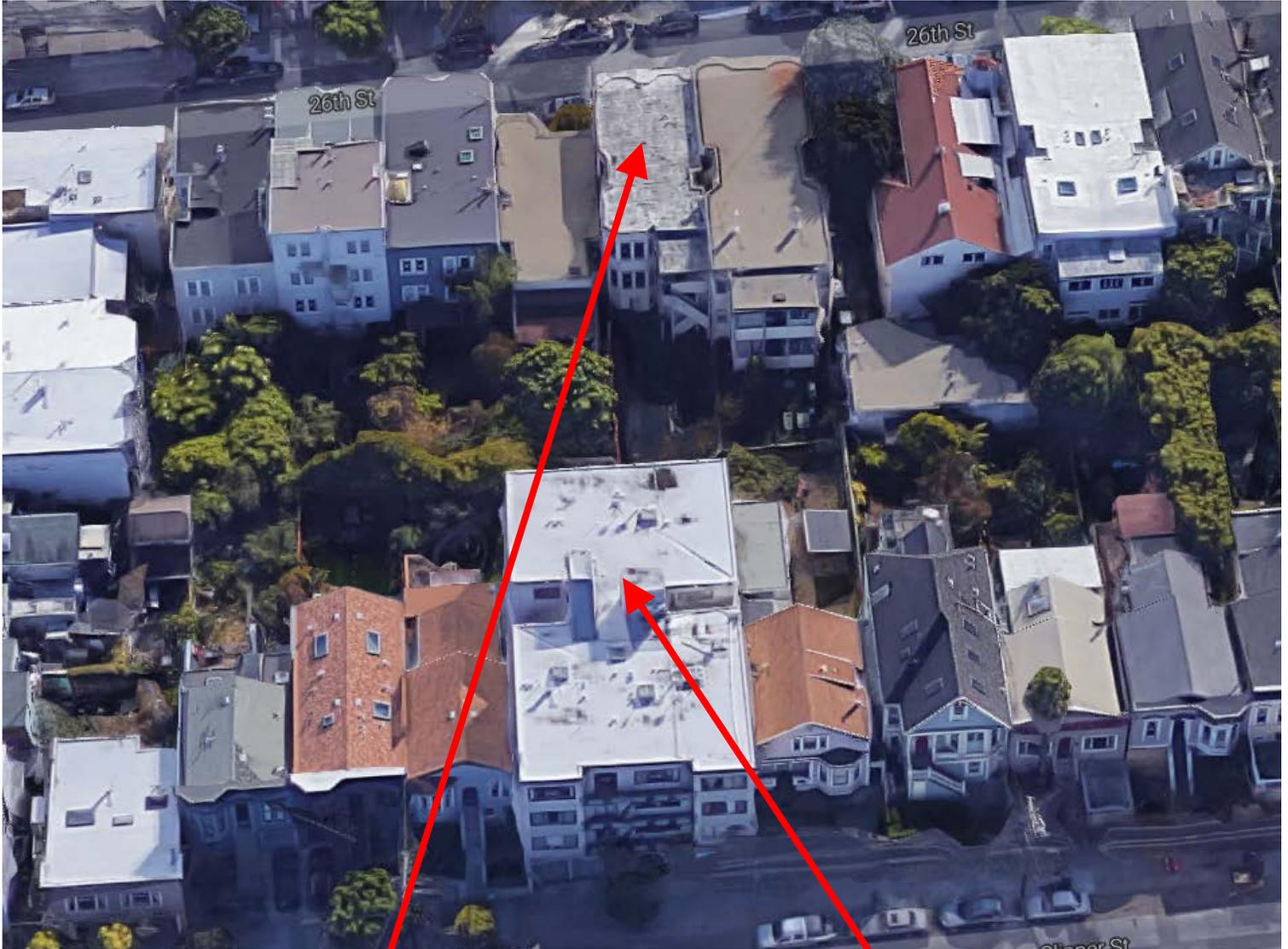


SUBJECT PROPERTY

DR REQUESTOR'S PROPERTY



Aerial Photo



SUBJECT PROPERTY

DR REQUESTOR'S
PROPERTY



Discretionary Review Hearing
Case Number 2016-004009DRP
3932 26th Street

Aerial Photo



SUBJECT PROPERTY

DR REQUESTOR'S
PROPERTY



Site Photo



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2016-004009DRP
3932 26th Street

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **March 18, 2016**, the Applicant named below filed Building Permit Application No. **2016.03.18.2438** with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	3932-3934 26th Street	Applicant:	Khoan Duong
Cross Street(s):	Sanchez and Church Streets	Address:	3246 17th Street
Block/Lot No.:	6552/012	City, State:	San Francisco, CA 94110
Zoning District(s):	RH-2 / 40-X	Telephone:	(415) 558-9550 x0013

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input checked="" type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	No Change
Front Setback	6 feet 7 inches	No Change
Side Setbacks	None	No Change
Building Depth	53 feet 1 inch	78 feet 11 inches
Rear Yard	54 feet 4 inches	28 feet 6 inches
Building Height	30 feet 11 inches to top of roof	39 feet 8 inches to top of roof
Number of Stories	Three	Four
Number of Dwelling Units	Two	No Change
Number of Parking Spaces	Two	No Change
PROJECT DESCRIPTION		
<p>The proposal the renovation of and addition to an existing 2-unit building. The proposal will remove exterior doors, windows, and structure. Additionally, the scope of work includes excavating and expanding the garage level to relocate one unit to the ground level. The proposal includes a rear horizontal addition to the 2nd and 3rd floors and a new vertical addition for a 4th floor.</p> <p>The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.</p>		

For more information, please contact Planning Department staff:

Planner: Veronica Flores
 Telephone: (415) 575-9173
 E-mail: veronica.flores@sfgov.org

Notice Date: 10/17/16
 Expiration Date: 11/16/16

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

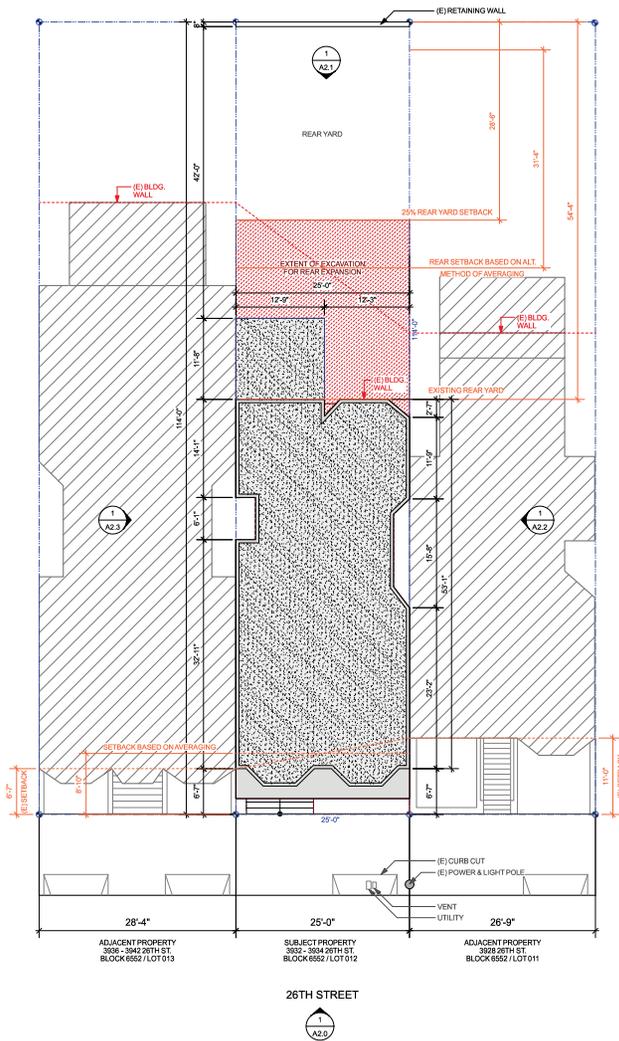
BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

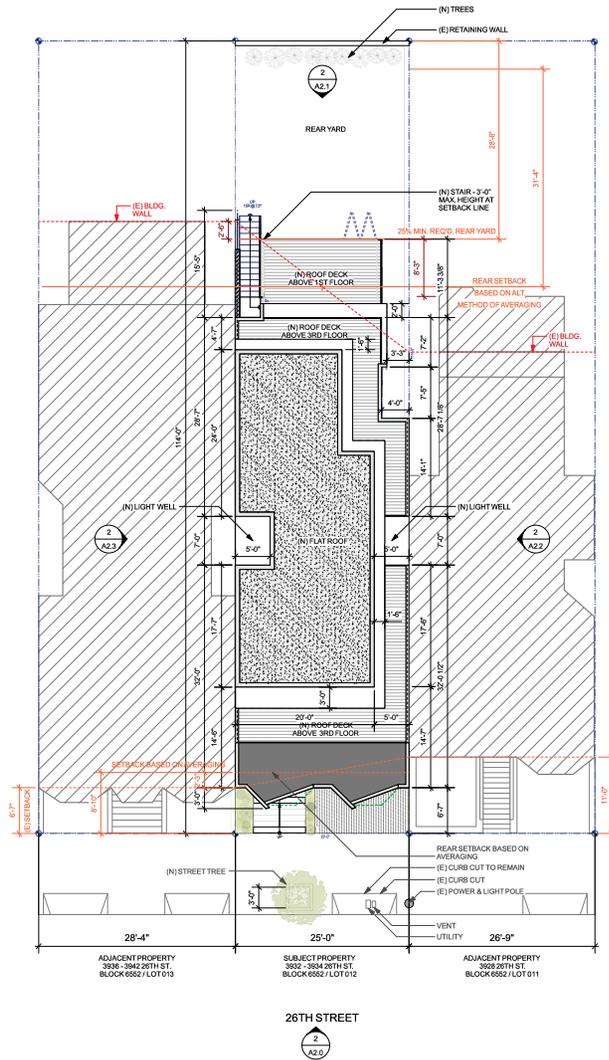
ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

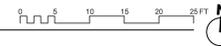
Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



1 SITE & ROOF PLAN - EXISTING & DEMO
Scale: 1/8" = 1'-0"



2 SITE & ROOF PLAN - PROPOSED
Scale: 1/8" = 1'-0"



JOHN LUM ARCHITECTURE INC.
3945 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL: 415 562 8255 FAX: 415 562 8254

NOT FOR CONSTRUCTION

3932 - 3934 26TH ST. REMODEL & ADDITION
3932 - 3934 26TH STREET
SAN FRANCISCO, CA 94110
BLOCK 6552 / LOT 012

client: 84 April LLC
2018 San Francisco, CA 94107
San Francisco, CA 94107

date	issues/ revisions	by:
11.23.15	Schematic Design	rk
03.02.16	Pre-Application Meeting	rk
03.14.16	Planning Submittal	rk
09.02.16	Planning Submittal R1	rk
09.20.16	Planning Submittal R2	rk

project name:
3932 - 3934 26TH ST. REMODEL & ADDITION

SITE PLANS

1.0

DEMOLITION LEGEND

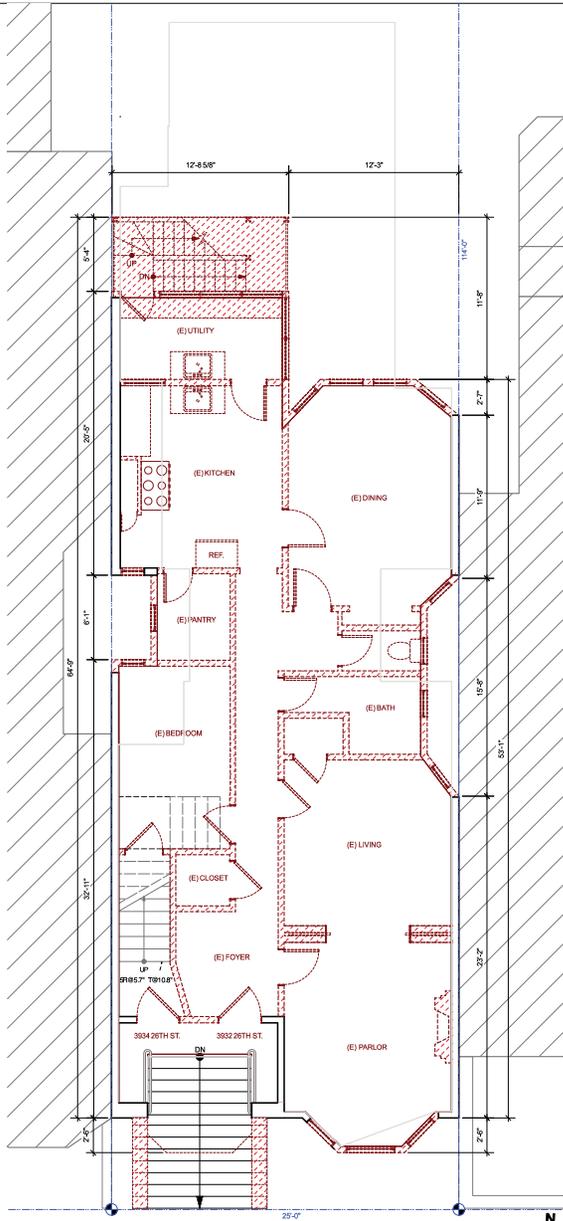
- EXISTING WALL
- - - DEMO WALL
- ▨ AREA TO BE DEMOLISHED

WALL TYPE

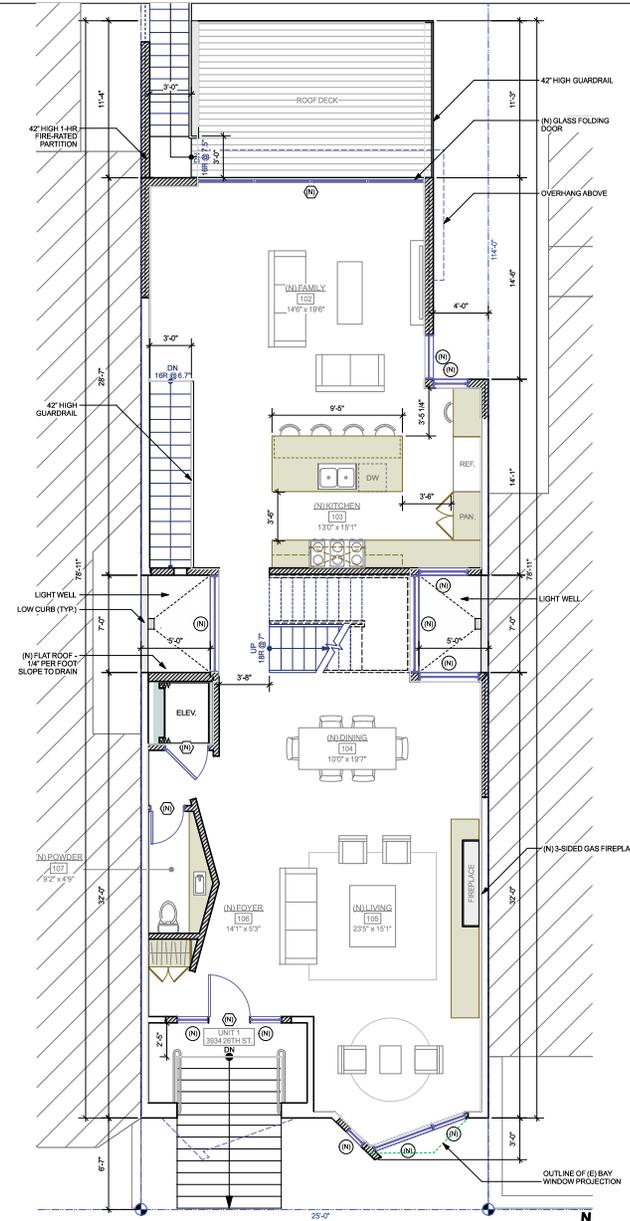
- EXISTING WALL
- ▨ NEW EXTERIOR WALL (NON-RATED):
 (N) FINISH MATERIAL (REFLECT TO EXTERIOR ELEV.)
 (N) FINISH GRADE, TRAILING PAPER
 (N) EXTERIOR GRADE, TRAILING PAPER
 (N) 2" STUCCO, S.S.D. WITH THERMAL INSULATION
 (N) 5/8" GYPSUM BOARD (INTERIOR FACE)
- ▨ NEW INTERIOR WALL:
 (N) 5/8" GYPSUM BOARD
 (N) FINISH MATERIAL (REFLECT TO INT. ELEV.)
 (N) STRUCTURAL FINISH (WHERE OCCURS, S.S.D.)
 (N) 5/8" GYPSUM BOARD
- ▨ NEW 1-HOUR FIRE-RATED WALL:
 (N) FINISH MATERIAL (REFLECT TO EXT. ELEV.)
 (N) 5/8" GYPSUM BOARD
 (N) FINISH GRADE, TRAILING PAPER
 (N) 2" STUCCO, S.S.D. WITH THERMAL INSULATION
 (N) 5/8" GYPSUM BOARD

CONSTRUCTION NOTES

1. CONTRACTOR IS TO VERIFY ALL (E) DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
2. CARE SHALL BE TAKEN TO ELIMINATE DAMAGE TO (E) MATERIALS AND SURFACES DURING CONSTRUCTION. ANY DAMAGES TO EXISTING CONSTRUCTION SHALL BE REPLACED OR REPAIRED AT NO ADDITIONAL COST.
3. CONTRACTOR SHALL REPAIR ANY DAMAGE TO (E) WALLS AND FLOORS CAUSED BY DEMOLITION OF (E) PARTITIONS & CEILINGS.
4. ALL DIMENSIONS ARE TO FACE OF FINISH OR CENTERLINE, U.N.O.
5. ALL BLOCK AND FURRING SHALL BE FIRE TREATED AS REQ. BY BLDG. CODE.
6. ALL PARTITIONS ABUTTING EXISTING BLDG. CONSTRUCTION SHALL ALLOW FINISH FACE TO FINISH FACE U.N.O.
7. ALL PARTITIONS SHALL BE BRACED PER THE REQUIREMENTS OF CURRENT LOCAL SEISMIC CODE.
8. ALL DOORS TO BE UNDERCUT AS REQ. TO CLEAR FINISH FLOOR BY 1/2".
9. ALL WORK TO BE INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE AND IN PROPER ALIGNMENT.
10. CONTRACTOR TO PROTECT FINISHES IN PATH OF TRAVEL TO AREA OF WORK.



1 SECOND FLOOR PLANS: EXISTING & DEMO
 Scale: 1/4" = 1'-0"



2 SECOND FLOOR PLANS: PROPOSED
 Scale: 1/4" = 1'-0"



JOHN LUM ARCHITECTURE INC.
 3945 BENTLEY STREET SAN FRANCISCO, CA 94110
 TEL: 415 552 8555 FAX: 415 552 8554

NOT FOR CONSTRUCTION

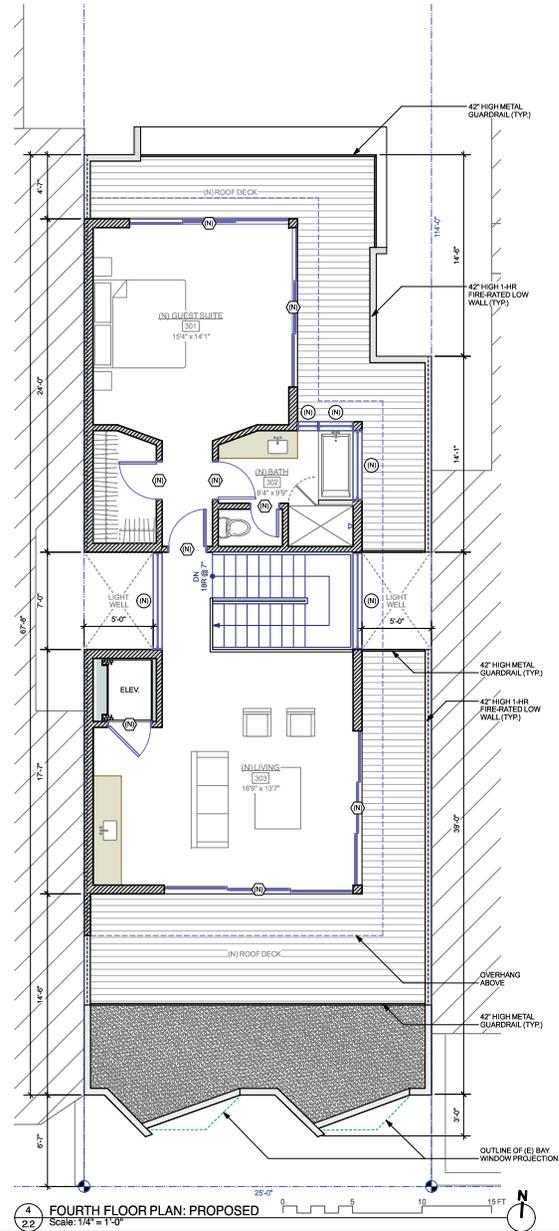
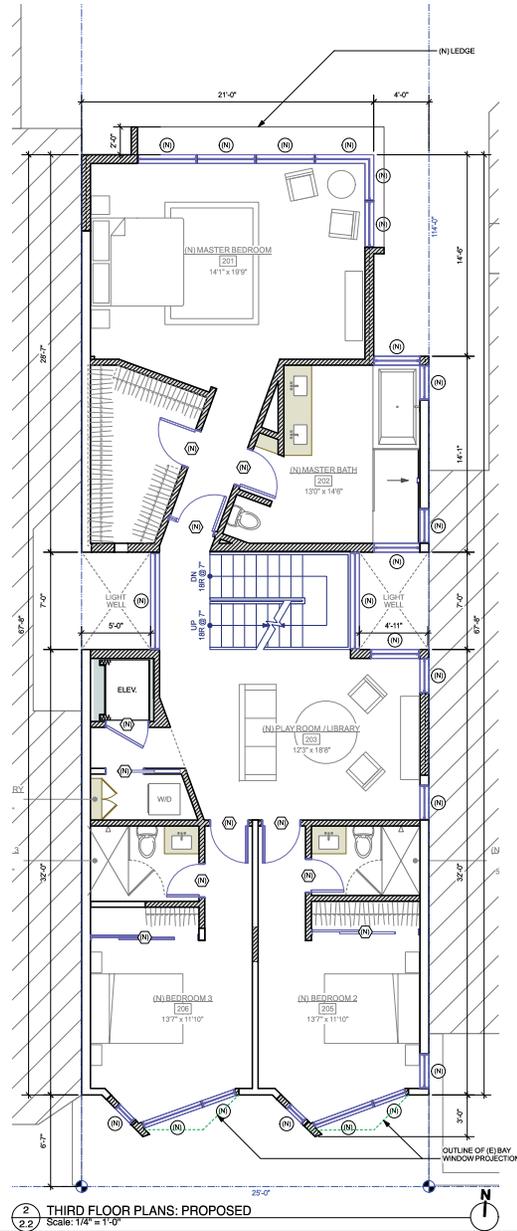
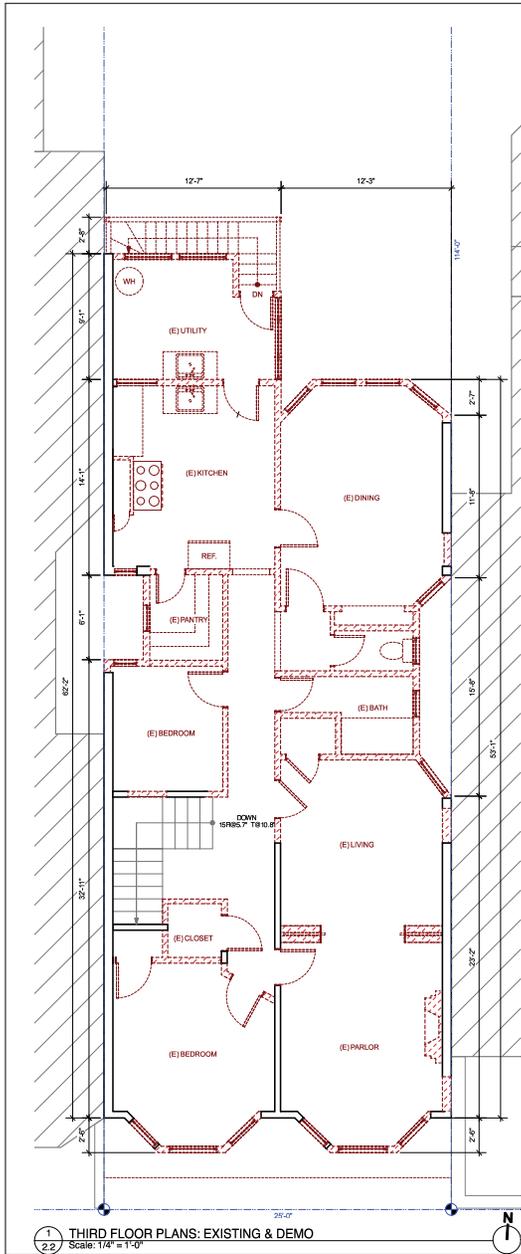
3932 - 3934 26TH ST. REMODEL & ADDITION
 3932 - 3934 26TH STREET
 SAN BLOCK 8502 LOT 012

client: 94 April LLC
 2016 San Francisco, CA 94107
 415.552.8555

date	issues/ revisions	by:
11.23.15	Schematic Design	rk
03.02.16	Pre-Application Meeting	rk
03.14.16	Planning Submittal	rk
09.02.16	Planning Submittal R1	rk
09.20.16	Planning Submittal R2	rk

project name:
 3932 - 3934 26TH ST. REMODEL & ADDITION

FLOOR PLANS



NOT FOR CONSTRUCTION

3932 - 3934 26TH ST. REMODEL & ADDITION
3932 - 3934 26TH STREET
SAN BLOCK 6502 - LOT 012

client: 84 April LLC
2015 San Francisco, CA 94107
San Francisco, CA 94107

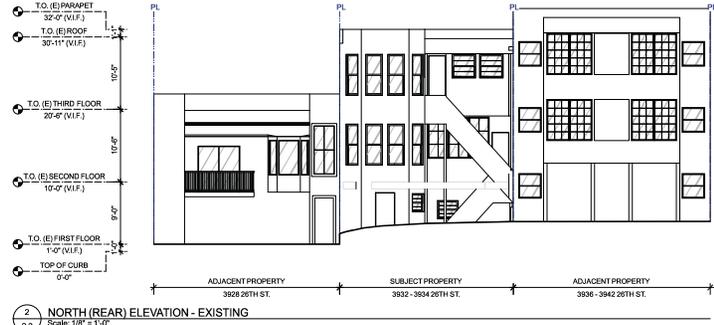
date:	issues/ revisions:	by:
11.23.15	Schematic Design	rk
03.02.16	Pre-Application Meeting	rk
03.14.16	Planning Submittal	rk
09.02.16	Planning Submittal R1	rk
09.20.16	Planning Submittal R2	rk

project name:
3932 - 3934 26TH ST. REMODEL & ADDITION

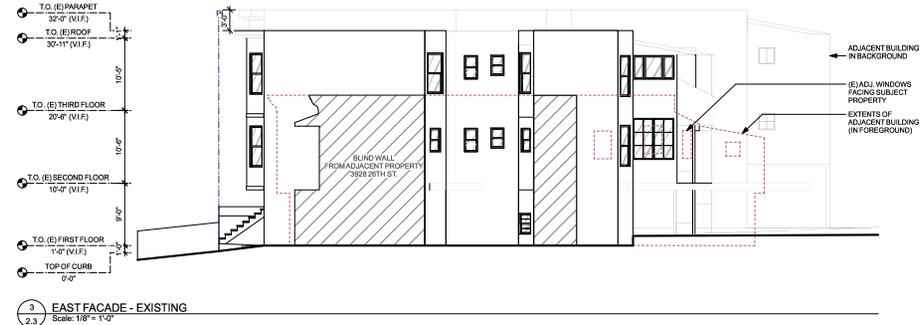
FLOOR PLANS



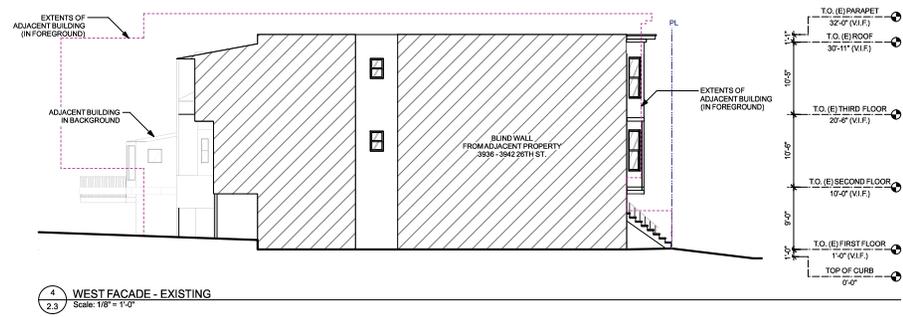
1 SOUTH (FRONT) ELEVATION - EXISTING
Scale: 1/8" = 1'-0"



2 NORTH (REAR) ELEVATION - EXISTING
Scale: 1/8" = 1'-0"



3 EAST FACADE - EXISTING
Scale: 1/8" = 1'-0"



4 WEST FACADE - EXISTING
Scale: 1/8" = 1'-0"



JOHN LUM ARCHITECTURE INC.
3945 WENTWORTH STREET SAN FRANCISCO, CA 94110
TEL: 415 262 2655 FAX: 415 262 6284

NOT FOR
CONSTRUCTION

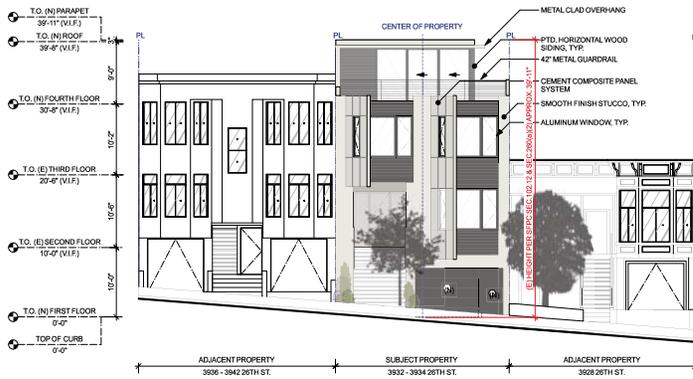
3932 - 3934 26TH ST. REMODEL & ADDITION
SAN BLOCK 3932 LOT 012

client: 94 April LLC
2018 San Francisco, CA 94107

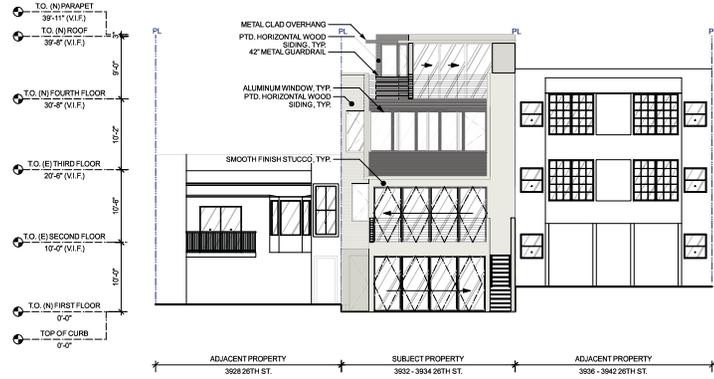
date:	issues/ revisions:	by:
11.23.15	Schematic Design	rk
03.02.16	Pre-Application Meeting	rk
03.14.16	Planning Submittal	rk
09.02.16	Planning Submittal R1	rk
09.20.16	Planning Submittal R2	rk

project name:
3932 - 3934 26TH ST. REMODEL & ADDITION

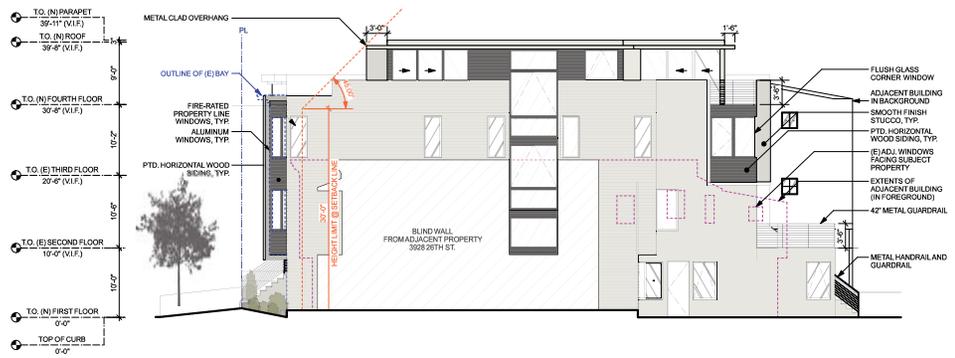
EXISTING ELEVATIONS



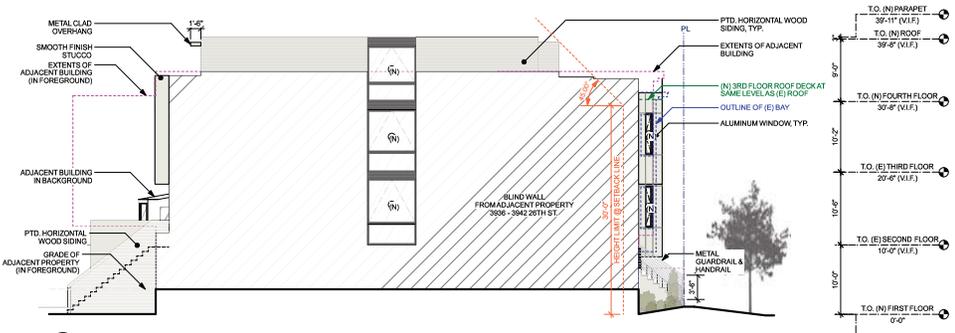
2 SOUTH (FRONT) ELEVATION - PROPOSED
Scale: 1/8" = 1'-0"



1 NORTH (REAR) ELEVATION - PROPOSED
Scale: 1/8" = 1'-0"



3 EAST FACADE - PROPOSED
Scale: 1/8" = 1'-0"



4 WEST FACADE - PROPOSED
Scale: 1/8" = 1'-0"



JOHN LUM ARCHITECTURE INC.
3945 WENTWORTH STREET SAN FRANCISCO, CA 94110
TEL: 415 562 2655 FAX: 415 562 6504

NOT FOR CONSTRUCTION

3932 - 3934 26TH ST. REMODEL & ADDITION
SAN BLOCK 1652, LOT 12

94 April LLC
2015 San Francisco, CA 94107

client:

date:	issues/ revisions:	by:
11.23.15	Schematic Design	rk
03.02.16	Pre-Application Meeting	rk
03.14.16	Planning Submittal	rk
09.02.16	Planning Submittal R1	rk
09.20.16	Planning Submittal R2	rk

project name:
3932 - 3934 26TH ST. REMODEL & ADDITION

PROPOSED ELEVATIONS

2016-004009DRP

Application for Discretionary Review

CASE NUMBER:
For Staff Use only

RECEIVED

NOV 16 2016

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
P I C

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME:

Brian Pritchard

DR APPLICANT'S ADDRESS:

135 Clipper #15 San Francisco 94114

ZIP CODE:

TELEPHONE:

(915) 652-4032

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME:

Ash Gujral, 94 Feet LLC

ADDRESS:

2010 Ocean Ave Ste E
San Francisco Ca

ZIP CODE:

TELEPHONE:

94127

(915) 531-3373

CONTACT FOR DR APPLICATION:

Same as Above

ADDRESS:

ZIP CODE:

TELEPHONE:

()

E-MAIL ADDRESS:

aquatic7@gmail.com

2. Location and Classification

STREET ADDRESS OF PROJECT:

3932/3934 26th street San Francisco

ZIP CODE:

CROSS STREETS:

Church street / Sanchez street

ASSESSORS BLOCK/LOT:

6552/012

LOT DIMENSIONS:

LOT AREA (SQ FT):

2,350 RH-2

ZONING DISTRICT:

HEIGHT/BULK DISTRICT:

40-X

3. Project Description

Please check all that apply

Change of Use

Change of Hours

New Construction

Alterations

Demolition

Other

Additions to Building:

Rear

Front

Height

Side Yard

Present or Previous Use:

2 family

Proposed Use:

2 family

Building Permit Application No.

201603182458

Date Filed:

3/18/2016

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

We are requesting a discretionary Review because the proposed building is out of scale with the neighborhood, will block natural light and airflow. It will disturb the privacy of immediate adjacent properties.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

Our property and all our neighbors properties that are immediately adjacent to the renovated building will be adversely affected from the height and depth of the proposed building.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

We believe that a complete redesign focused on a reduction in height and depth to the original height and depth. The proposed facade is grossly out of character with the surrounding homes and we would request that it be kept original.

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: Brian Pitschke

Date: 11/16/2016

Print name, and indicate whether owner, or authorized agent:

Owner / Authorized Agent (circle one)

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent.**

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input type="checkbox"/>
Address labels (original), if applicable	<input type="radio"/>
Address labels (copy of the above), if applicable	<input type="radio"/>
Photocopy of this completed application	<input type="checkbox"/>
Photographs that illustrate your concerns	<input checked="" type="checkbox"/>
Convenant or Deed Restrictions	<input checked="" type="checkbox"/>
Check payable to Planning Dept.	<input type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input checked="" type="checkbox"/>

NOTES:
 Required Material.
 Optional Material.
 Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only
 Application received by Planning Department:
 By: [Signature]

RECEIVED
 NOV 16 2016
 Date: _____
CITY & COUNTY OF S.F.
 PLANNING DEPARTMENT
 PIC

occupant
3928 26th street
S.F. Cal 94131

Occupant
3931 26th street
SF Cal 94131

occupant
3936 26th street
S.F. Cal 94131

occupant
3933 26th street
SF Cal 94131

occupant
3938 26th street
S.F. Cal 94131

occupant
3937 26th street
S.F. Cal 94131

occupant
3940 26th street
S.F. Cal 94131

occupant
121 Clipper street
SF Cal 94131

occupant
3942 26th street
S.F. Cal 94131

occupant
125 Clipper street
S.F. Cal 94114

occupant
3927 26th street
S.F. Cal 94131

occupant
135 Clipper street # 10
S.F. Cal 94114

occupant
3929 26th street
S.F. Cal 94131

occupant
135 Clipper street # 15
S.F. Cal 94114



occupant
3928 26th street
S.F. Cal 94131

occupant
3936 26th street
S.F. Cal 94131

occupant
3938 26th street
S.F. Cal 94131

occupant
3940 26th street
S.F. Cal 94131

occupant
3942 26th street
S.F. Cal 94131

occupant
3927 26th street
S.F. Cal 94131

occupant
3929 26th street
S.F. Cal 94131

Occupant
3931 26th street
SF Cal 94131

occupant
3933 26th street
SF Cal 94131

occupant
3937 26th street
S.F. Cal 94131

occupant
121 Clipper street
SF Cal 94131

occupant
125 Clipper street
S.F. Cal 94114

occupant
135 Clipper street # 10
S.F. Cal 94114

occupant
135 Clipper street # 15
S.F. Cal 94114

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RESPONSE TO
**DISCRETIONARY
REVIEW (DRP)**



**San Francisco
Planning**

SAN FRANCISCO PLANNING DEPARTMENT
1650 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94103-2479
MAIN: (415) 558-6378 SFPLANNING.ORG

Project Information

Property Address: 3932-3934 26th Street

Zip Code: 94114

Building Permit Application(s): 20103182438

Record Number: 2016004009DRP

Assigned Planner: Veronica Flores

Project Sponsor

Name: Khoan Duong/John Lum Architecture, Inc. (Authorized Agent) Phone: (415) 558-9550 x-0013

Email: khoan@johnlumarchitecture.com

Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

See attached letter for response.

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

See attached letter for response

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

See attached letter for response

Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)	2	2
Occupied Stories (all levels with habitable rooms)	2	4
Basement Levels (may include garage or windowless storage rooms)	0	0
Parking Spaces (Off-Street)	2	2
Bedrooms	5	5
Height	30'-11"	39'-11"
Building Depth	64'-9"	78'-11"
Rental Value (monthly)	\$6,000	TBD
Property Value	\$1,825,000	TBD

I attest that the above information is true to the best of my knowledge.

Signature:	Date: January 4, 2017
Printed Name: Khoan Duong	<input type="checkbox"/> Property Owner <input checked="" type="checkbox"/> Authorized Agent

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

Response to Discretionary Review (DRP)

Project Information

Property Address: 3932-3934 26th Street

Zip Code: 94114

Building Permit Application: 20103182438

Record Number: 2016004009DRP

Assigned Planner: Veronica Flores

Project Sponsor

Name: Khoan Duong/John Lum Architecture (Authorized Agent)

Phone: 415.558.9550 x-0013

Email: khoan@johnlumarchitecture.com



JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554

DR requester's complaints:

- building is out of scale with the neighborhood,
- building will block natural light and air flow,
- building will disturb the privacy of immediate adjacent properties.
- building's depth and height will adversely affect the adjacent neighbors' building including the building where the DR filer resides
- the proposed façade is grossly out of character with surrounding homes

Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

We think the project at 3932–3934 26th Street responds to the various concerns raised by Mr. Brian Pritchard. The existing building is a three-story structure with two dwelling units above a two-car garage. It stands 30'-11" tall and 53'-1" deep. The proposed design has added a fourth story and a stepped rear expansion. In regards to the height increase, the new fourth level is setback 14'-6" from the building façade and 21'-1" from the front property line, and, respecting the two-story, single family home on the east side, it is additionally setback from the east property line, 5 feet at the front half and 9'-6" at the back half of the building. The new height of the building is 39'-11", and 40'-0" is the maximum allowed in this zone. The rear expansion adds 27'-9" on the first floor and 14'-6" on the second and third floors with an east setback of 4 feet. With respect to the light-well at the west side of the property, we increased the depth of our light-well to lessen the impact of the fourth story to the adjacent building's light-well. In conclusion, our project has addressed the concerns raised in this DR application.

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

At the Pre-Application meeting in March, 2016, we received some very informative feedback. The neighbors across the street expressed concerns about the fourth story changing the skyline and impacting their enjoyment of the sky from their front room windows. We took some photos of the views from their respective windows and generated 3D renderings from these perspectives. In addition, they were concerned about privacy from the front roof deck. We proposed setting back the roof deck with some landscaping in front, and noted there exists an approximately 75 feet of space between buildings. After sending the neighbors the 3D renderings, we have not received further comments.

The neighbors at the rear expressed similar concerns about privacy from the roof decks at the rear. We proposed a row of trees along the rear property line as a privacy screen. At the time, they agreed to this solution. During the 311 Neighborhood Notification period, we were informed by Ms. Flores that a neighbor at the rear had called to express concerns about visual and audio privacy. We reached out to the two neighbors who attended the Pre-Application meeting, Patricia and Brian Pritchard (DR requester). They both reside at 135 Clipper Street, the apartment building directly behind our project. Patricia responded, and expressed her concerns about the lower unit potentially becoming a VRBO and the roof deck above the first level projected too far into the rear yard. Her main concern about this was the noise that can be generated from gatherings on the roof deck. We suggested reducing the size of the deck by having a 24-inch deep planter along the perimeter. This along with the landscaping previously proposed would help to alleviate the noise and privacy issues. She agreed and thanked us for making those considerations.

Mr. Gannon Tidwell, the adjacent neighbor on the west side (3936-3942 26th Street) expressed privacy and light & air concerns in regards to the fourth floor addition. He requested glass guardrails at the front roof deck and any landscaping in front be less than 42 inches tall. We agreed to provide these changes at our next Planning submission following the 311 Neighborhood Notification and potential discussions with the DR requester.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

DR requester's suggested alternative or changes:

- complete redesign
- reduce height and depth to the original height and depth
- keep the original exterior façade

The original proposal had been scaled back in a conscious effort to respond to the various conditions that exist in the project's vicinity and overall neighborhood context. This was further tailored after receiving feedback at the Pre-Application meeting and subsequent communications and meetings with Veronica Flores and Delvin Washington (SF Planning) prior to the 311 Neighborhood Notification period. Having progressed this far in the planning review process, we have demonstrated that we performed our due diligence and are sensitive to the neighbors and the neighborhood. We have further adjusted the design after hearing feedback from a few neighbors during the 311 period. A complete redesign would create an unnecessary financial hardship on the project sponsor.

The vertical and horizontal expansions have followed both the Residential Design Guidelines and the Planning Code. This is evident in the Planning Department's approval and support of the project. We have demonstrated our willingness to work with the neighbors on various occasions where changes were made to alleviate the project's impact to the adjacent properties.

In response to the Mr. Pritchard's request that the façade be unchanged, the project has received a Categorical Exemption from Historic Preservation after reviewing our proposed façade. It is contemporary in style and will be a significant improvement to what is there now. The proportion and scale is in keeping with the neighborhood context, fulfilling the Residential Design Guidelines.

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3932 - 3934 26TH ST. REMODEL & ADDITION

3932 - 3934 26TH STREET
SAN FRANCISCO, CA 94114
BLOCK 6562 - LOT 012



JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL 415 558 9550 FAX 415 558 0554

ABBREVIATIONS:

& < #	AND ANGLE AT NUMBER
CL R (E) (N) (R)	CENTER LINE PROPERTY LINE EXISTING NEW REPLACE
ABV. ADJ. ALUM. ARCH. ASPH. BD. BASE BD. BLDG. BLK. BLKG. BOT. BM. B.U. CLG. CNTL CONT. CTR. CLR. C.L. DBL D.F. DM. DN. D.P. D.S. DWG. E EA EL OR ELEV. ELEC. EQ. EXP. EXT. F.A.U. FDN. F.F. F.F.E. FIN. F.O.C. F.O.S. F.O.P. F.P. FURN. GA. GALV. GND. GYP BD. H.C. HDR. HDWD. H.V.A.C. I.D. INSUL. INT. JST. MAX. M.C. MECH. MEMB. MANUF. MIN. MTL. N N.I.C. NO. O.C. OFCI OPNG. O.D. P.C. PL PLYWD. P.T. PT. PTD. R RET AIR RM ROWD R.W.L. S. S.S.D. SQ. FT. SHT. SHTG. SIM. S.P. SQ. S.S.T. ST. STD. SUP AIR TAG TBD THK T.O.P. T.O.S. T.O.F.F. T.O.W. T.P. T.R. TYP. U.O.N. VAR. V.D.C. VERT. V.I.F. W. W.C. WD WP W.H.	ABOVE ADJACENT ALUMINUM ARCHITECTURE ASPHALT BOARD BASE BOARD BUILDING BLOCK BLOCKING BOTTOM BEAM BUILT UP CEILING CONTROL CONTINUOUS CENTER CLEAR CENTER LINE DOUBLE DOUGLAS FIR DIMENSION DOWN DOUBLE POLE DOWN SPOUT DRAWING EAST EACH ELEVATION ELECTRICAL EQUAL EXPOSED EXTERIOR FORCED-AIR UNIT FOUNDATION FINISHED FLOOR FINISHED FLOOR ELEVATION FINISH FACE OF CONCRETE FACE OF STUD FACE OF PLYWOOD FIRE PLACE FURNACE GAUGE GALVANIZED GROUND GYPSUM BOARD HOLLOW CORE HEADER HARD WOOD HEATING, VENTILATION, AIR CONDITIONING INSIDE DIMENSION INSULATION INTERIOR JOIST MAXIMUM M.C. MEDICINE CABINET MECHANICAL MEMBRANE MANUFACTURER MINIMUM METAL NORTH NOT IN CONTRACT NUMBER OVER ON CENTER OWNER FURNISHED, CONTRACTOR INSTALLED OPENING OUTSIDE DIMENSION PLUMBING CHASE PLATE PLYWOOD PRESSURE TREATED POINT PAINTED RADIUS RETURN AIR ROOM REDWOOD RAIN WATER LEADER SOUTH SEE STRUCTURAL DRAWINGS SQUARE FOOT SHEET SHEATHING SIMILAR SINGLE POLE SQUARE STAINLESS STEEL STEEL STANDARD SUPPLY AIR TONGUE AND GROOVE TO BE DETERMINED THICK TOP OF PLATE TOP OF SLAB TOP OF FINISHED FLOOR TOP OF WALL TOILET PAPER HOLDER TOWEL RACK TYPICAL UNLESS OTHERWISE NOTED VARIES VERIFY DURING CONSTRUCTION VERTICAL VERIFY IN FIELD WEST WITH WATER CLOSET WOOD WATER PROOF WATER HEATER

SYMBOLS:

EXISTING WALL	
NEW WALL	
NEW RATED WALL	
DEMO WALL	
LINE OVERHEAD OR HIDDEN	
CENTERLINE	
PROPERTY LINE	
DIMENSION TO FACE OF FINISH	
DIMENSION TO CL OF STUD	
DATUM LINE	
WINDOW SYMBOL	
DOOR SYMBOL	
COLOR SYMBOL	
FLOOR SYMBOL	
SECTION MARKER	
ELEVATION MARKER	
INTERIOR ELEVATION MARKER	
PLAN DETAIL MARKER	
DETAIL MARKER	
REVISION MARKER	

GENERAL NOTES:

- AIA DOCUMENT 201 "GENERAL CONDITIONS FOR THE PERFORMANCE OF A CONTRACT" ARE HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF WORK. SUPPLEMENTARY CONDITIONS TO THE CONTRACT ALSO APPLY.
- ALL CONSTRUCTION SHALL CONFORM TO CURRENT SAN FRANCISCO CODES AND ANY OTHER GOVERNING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY APPLICABLE PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
 - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THE WORK CAN BE BUILT OR DEMOLISHED AS SHOWN BEFORE PROCEEDING WITH THE WORK. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
 - ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK.
 - CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT SHOWN ON THE DRAWINGS.
 - CONTRACTOR TO MAINTAIN ALL PROPER WORKMAN'S COMPENSATION AND LIABILITY INSURANCE THROUGHOUT THE DURATION OF PROJECT.
 - SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE PRIOR APPROVAL OF THE ARCHITECT.
 - DURING THE BIDDING AND NEGOTIATION PERIOD THE GENERAL CONTRACTOR AND SUBCONTRACTOR(S) SHALL CONFIRM IN WRITING APPROX. ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF THE SPECIFIED PRODUCT.
 - ALL WORK SHALL BE PERFORMED SUCH THAT DAMAGE TO EXISTING LANDSCAPE AND/OR PERSONAL PROPERTY IS PREVENTED OR MINIMIZED.
 - CONTRACTOR SHALL TAKE MEASURES TO PROTECT ADJACENT PROPERTIES. USE VISQUEEN, PLYWOOD, ETC. TO MINIMIZE NOISE, DUST, ETC.
 - IN THE EVENT THAT FOUNDATION EXCAVATION MIGHT AFFECT ADJACENT PROPERTIES, CONTRACTOR SHALL TAKE ALL APPROPRIATE STEPS TO NOTIFY THE PROPERTY OWNER OF THE CONDITION, AND TO ADEQUATELY PROTECT THE ADJACENT STRUCTURE.
 - WRITTEN DIMENSIONS REFER TO FACE OF FINISH OR CENTERLINE UNLESS OTHERWISE NOTED. EXTERIOR WALLS ARE DIMENSIONED TO FACE OF SHEATHING, U.O.N.
 - DIMENSIONS ARE TO TOP OF FIN. FLOOR, SLAB OR DECK IN SECTION OR ELEVATION, UNLESS OTHERWISE NOTED.
 - "SIM." OR "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE ITEM NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN.
 - "TYP." OR "TYPICAL" MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
 - DIMENSIONS NOTED "CLR" OR "CLEAR" ARE MINIMUM REQUIRED DIMENSIONS AND CLEARANCES MUST BE ACCURATELY MAINTAINED.
 - CONTRACTOR TO VERIFY DIMENSIONS AND CONDITIONS IN FIELD. IF CONDITIONS ARE SIGNIFICANTLY DIFFERENT THAN REPRESENTED IN DRAWINGS, VERIFY CONDITIONS WITH ARCHITECT.
 - ALL MATERIALS AND EQUIPMENT TO BE NEW UNLESS OTHERWISE NOTED.
 - ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
 - WINDOW AND DOOR SIZES ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER'S SPECIFICATIONS FOR ACTUAL ROUGH OPENINGS.
 - WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED THEY SHALL BE CENTERED IN THE WALL OR PLACED TWO STUD WIDTHS FROM ADJACENT WALL AS INDICATED ON DRAWINGS, UNLESS OTHERWISE NOTED.
 - ALL CHANGES IN FLOOR MATERIAL SHALL OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
 - SEALANT, CAULKING, FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.
 - ALL ATTICS, RAFTER SPACES, SOFFITS, CRAWL SPACES, ETC. TO BE FULLY VENTILATED PER APPLICABLE CODE.
 - PROVIDE WOOD BLOCKING FOR ALL TOWEL BARS, ACCESSORIES, ETC.
 - MEET ALL CALIFORNIA ENERGY CONSERVATION REQUIREMENTS INCLUDING BUT NOT LIMITED TO:
 - MINIMUM ROOF/CEILING INSULATION R-19
 - MINIMUM WALL INSULATION IN FRAMED EXTERIOR WALLS R-13
 - MINIMUM FLOOR INSULATION OVER CRAWL OR UNOCCUPIED SPACES R-13
 - ALL INSULATION TO MEET CEC QUALITY STANDARDS.
 - INFILTRATION CONTROL:
 - DOORS AND WINDOWS WEATHER-STRIPPED.
 - EXHAUST SYSTEMS DAMPENED.
 - DOORS AND WINDOWS SEC. CERTIFIED AND LABELED.
 - ALL JOINTS AND PENETRATIONS CAULKED AND SEALED.
 - DUCTS CONSTRUCTED AND INSTALLED PER UMC.
 - ELECTRICAL OUTLET PLATE GASKETS SHALL BE INSTALLED ON ALL RECEPTACLES, SWITCHES AND ELECTRICAL BASES ON EXTERIOR WALLS.
 - SMOKE ALARMS ARE TO BE INSTALLED IN ALL SLEEPING ROOMS. SMOKE ALARMS SHALL BE HARDWIRED TO 110V HOUSE WIRING AND WIRED TOGETHER IN SERIES. MINIMUM ONE ALARM PER STORY. REF. PLANS FOR LOCATIONS.
 - GENERAL CONTRACTOR IS TO COORDINATE INSTALLATION OF N.I.C. ITEMS WITH OTHER TRADES.
 - LOCATION/SPECIFICATION OF SAFETY GLAZING (TEMPERED GLASS) ARE SOLE RESPONSIBILITY OF CONTRACTOR. ALL DOORS W/ GLAZING AND ALL GLAZING OF WINDOWS WITHIN 24" OF EDGE OF ANY DOOR SHALL BE WITH TEMPERED GLASS (UBC SECTION 2406)

PROJECT DATA:

CODES:
2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA FIRE CODE
2013 CALIFORNIA RESIDENTIAL CODE
2013 CALIFORNIA ENERGY CODE
2013 CALIFORNIA GREEN BUILDING STANDARDS CODE
APPLICABLE SAN FRANCISCO MUNICIPAL CODES

PROJECT ADDRESS:
3932 - 3934 26TH STREET
SAN FRANCISCO, CA 94114

PROJECT DESCRIPTION:
RENOVATION AND ADDITION TO EXISTING 2 UNIT BUILDING.
REMOVE (E) SLAB, FOUNDATIONS, STRUCTURE, AND PARTITIONS AS SHOWN. REMOVE (E) EXTERIOR DOORS, WINDOWS, AND STRUCTURE AS SHOWN - EXCAVATE AND EXPAND (E) GARAGE LEVEL TO CREATE ONE LIVING UNIT - RENOVATE AND EXPAND (E) 2ND AND 3RD LEVELS TOWARD REAR YARD - ADD (N) 4TH LEVEL.

PLANNING INFORMATION:
BLOCK / LOT: 6562 / 012
ZONING DISTRICT: RH-2
LOT SIZE: 2,850 SQ. FT.
BUILDING HEIGHT: 40'-0" MAX; 30'-0" AT FRONT
NO. OF STORIES: 4
SETBACKS / YARD REQMENTS: FRONT: AVG OF ADJ. BLDGS. UP TO 15'-0"
REAR: 45% OF LOT DEPTH

GROSS FLOOR AREA:

EXISTING 1ST FLOOR:	1,304 SQ.FT.	(UNCONDITIONED)
EXISTING 2ND FLOOR:	1,291 SQ.FT.	(CONDITIONED)
EXISTING 3RD FLOOR:	1,418 SQ.FT.	(CONDITIONED)
TOTAL EXISTING:	2,709 SQ.FT.	(CONDITIONED)
PROPOSED 1ST FLOOR:	831 SQ.FT.	(UNCONDITIONED)
PROPOSED 2ND FLOOR:	1,015 SQ.FT.	(CONDITIONED)
PROPOSED 3RD FLOOR:	1,494 SQ.FT.	(CONDITIONED)
PROPOSED 4TH FLOOR:	889 SQ.FT.	(CONDITIONED)
TOTAL PROPOSED:	4,966 SQ.FT.	(CONDITIONED)
	831 SQ.FT.	(UNCONDITIONED)
NET CHANGE:	2,257 SQ.FT.	(CONDITIONED)
	-473 SQ.FT.	(UNCONDITIONED)

G.F.A. BY UNIT:

ADDRESS	EXISTING UNIT	PROPOSED UNIT	% OF ORIGINAL UNIT
3932 26TH ST.	1,157 SQ. FT.	870 SQ. FT.	75.2%
3934 26TH ST.	1,311 SQ. FT.	4,085 SQ. FT.	311%

BUILDING INFORMATION:

OCCUPANCY: GROUP R, DIVISION 3
CONSTRUCTION TYPE: TYPE 5B (PER C.B.C. TABLE 601)
MINIMUM ROOF CLASS: CLASS B ROOF
SPRINKLER: BUILDING WILL BE FULLY SPRINKLERED.

PROJECT PARTICIPANTS:

OWNER:
94 FEET LLC
2010 OCEAN AVENUE, SUITE E
SAN FRANCISCO, CA 94127

ARCHITECT:
JOHN LUM ARCHITECTURE
3246 17TH STREET
SAN FRANCISCO, CA 94110

CONTACT:
ASH GUJRAL
(415)551-3373

PROJECT MANAGER:
KHON DUONG
T. 415. 558. 9550 x13
F. 415. 558. 0554

STRUCTURAL ENGINEER:
T.B.D.

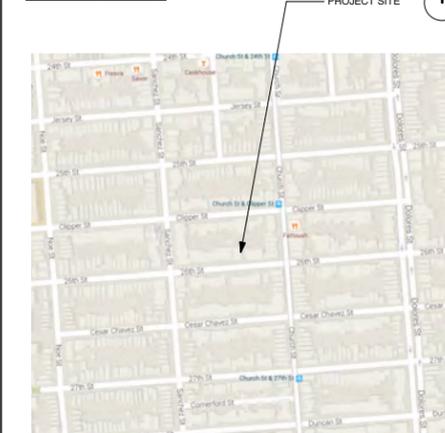
GENERAL CONTRACTOR:
T.B.D.

DRAWING INDEX:

ARCHITECTURAL		
1.	A0.0	TITLE SHEET
2.	A0.1	SITE PHOTOS
3.	A0.2	CEQA EXEMPTION
4.	A0.3	DEMO CALC.
5.	A0.4	DEMO CALC.
6.	A0.5	DEMO CALC.
7.	A1.0	SITE & ROOF PLANS
8.	A1.1	FIRST FLOOR PLANS
9.	A1.2	SECOND FLOOR PLANS
10.	A1.3	THIRD FLOOR PLANS
11.	A1.4	FOURTH FLOOR PLANS
12.	A1.5	ROOF PLANS
13.	A2.0	EXTERIOR ELEVATIONS
14.	A2.1	EXTERIOR ELEVATIONS
15.	A2.2	EXTERIOR ELEVATIONS
16.	A2.3	EXTERIOR ELEVATIONS
17.	A3.0	SECTIONS
18.	A3.1	SECTIONS
19.	A6.0	PERSPECTIVES
20.	A6.1	PERSPECTIVES

STRUCTURAL

VICINITY MAP:



3932 - 3934 26TH ST. REMODEL & ADDITION
3932 - 3934 26TH STREET
SAN FRANCISCO, CA 94114
BLOCK 6562 - LOT 012

94 feet LLC
2010 ocean avenue, suite e
san francisco, ca 94127

client :

date :	issues/ revisions :	by :
11.23.15	Schematic Design	rk
03.02.16	Pre-Application Meeting	rk
03.14.16	Planning Submittal	rk
09.02.16	Planning Submittal R1	rk
09.20.16	Planning Submittal R2	rk
01.20.17	Planning Submittal R3	rk

project name :
3932 - 3934 26TH ST. REMODEL & ADDITION

TITLE SHEET

A0.0



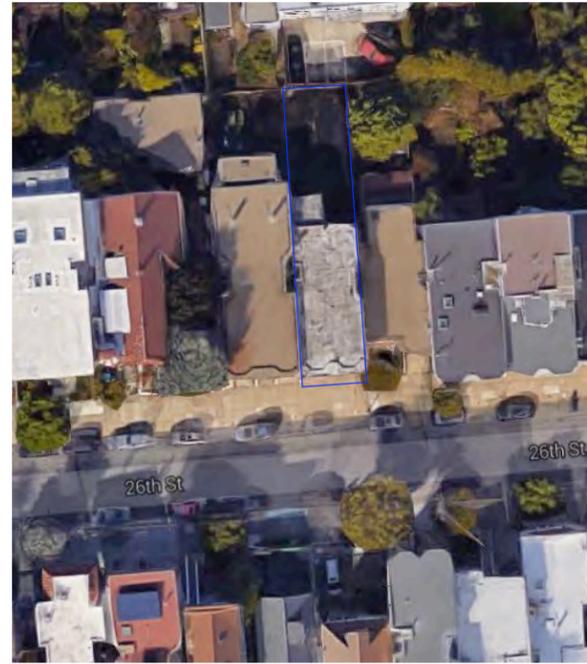
SUBJECT PROPERTY - 3932-3934 26TH ST. - FRONT ELEVATION



ADJACENT PROPERTY - 3936-3942 26TH ST. - FRONT ELEVATION



ADJACENT PROPERTY - 3928 26TH ST. - FRONT ELEVATION



AERIAL VIEW OF SUBJECT BLOCK WITH SUBJECT PROPERTY MARKED WITH BLUE OUTLINE.



SUBJECT PROPERTY - 3932-3934 26TH ST. - REAR ELEVATION



ADJACENT PROPERTY - 3936-3942 26TH ST. - REAR ELEVATION



ADJACENT PROPERTY - 3928 26TH ST. - REAR ELEVATION



NEIGHBORING PROPERTIES - ACROSS THE STREET



26TH ST. LOOKING WEST OF SUBJECT PROPERTY



26TH ST. LOOKING EAST OF SUBJECT PROPERTY

3932 - 3934 26TH ST. REMODEL & ADDITION

3932 - 3934 26TH STREET
SAN FRANCISCO, CA 94114
BLOCK 6562 - LOT 012

client : 94 feet LLC
2010 ocean avenue, suite 6
san francisco, ca 94127

date :	issues/ revisions :	by :
11.23.15	Schematic Design	rk
03.02.16	Pre-Application Meeting	rk
03.14.16	Planning Submittal	rk
09.02.16	Planning Submittal R1	rk
09.20.16	Planning Submittal R2	rk
01.20.17	Planning Submittal R3	rk

project name :
3932 - 3934 26TH ST. REMODEL & ADDITION

SITE PHOTOS

A0.1



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address: 3932-3934 26th Street, Block/Lot(s): 6552/012, Case No.: 2016-00409ENV, Permit No.: [blank], Plans Dated: 03/14/2016

Proposed renovation & addition to (E) 2-unit dwelling. Excavation & expansion of (E) garage to add additional parking space. Vertical & horizontal addition to include (N) 4th level & roof deck.

STEP 1: EXEMPTION CLASS TO BE COMPLETED BY PROJECT PLANNER

Class 1 - Existing Facilities, Interior and exterior alterations; additions under 10,000 sq. ft. [checked]

STEP 2: CEQA IMPACTS TO BE COMPLETED BY PROJECT PLANNER

Air Quality: [checked] Hazardous Materials: [checked]

Major program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Major layer) [checked]

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: [checked] Category A: Known Historical Resource. GO TO STEP 5.

STEP 4: PROPOSED WORK CHECKLIST TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project: 1. Change of use and new construction. 2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building. [checked]

STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW TO BE COMPLETED BY PRESERVATION PLANNER

Check all that apply to the project: 1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4. [checked]

9. Other work that would not materially impact a historic district (specify or add comments): [checked]

STEP 6: CATEGORICAL EXEMPTION DETERMINATION TO BE COMPLETED BY PROJECT PLANNER

No further environmental review is required. The project is categorically exempt under CEQA. [checked]



JOHN LUM ARCHITECTURE INC. 3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110

3932 - 3934 26TH ST. REMODEL & ADDITION

94 Red LLC 2010 Ocean Avenue, Suite 9 San Francisco, CA 94127

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address: 3932-3934 26th Street, Block/Lot(s): 6552/012, Case No.: [blank], Previous Building Permit No.: [blank], New Building Permit No.: [blank]

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project: [checked] Result in expansion of the building envelope, as defined in the Planning Code.

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

The proposed modification would not result in any of the above changes. [checked]



SAN FRANCISCO PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW FORM

Preservation Team Meeting Date: [blank], Date of Form Completion: 6/2/2016, PROJECT INFORMATION: Planner: Natalia Kwiatkowska, Address: 3932-3934 26th Street, PURPOSE OF REVIEW: [checked] CEQA, DATE OF PLANS UNDER REVIEW: 3/14/16

Table with 3 columns: Criterion, Yes, No, N/A. Rows include: Complex with the Secretary's Standards/Art 10(A)11, CEQA Material Impairment, Needs More Information, Requires Design Revisions, Refer to Residential Design Team.

* If No is selected for Historic Resource per CEQA, a signature from Senior Preservation Planner or Preservation Coordinator is required.

PRESERVATION TEAM COMMENTS:

According to the Historic Resource Evaluation prepared by Tim Kelley Consulting (dated February 2016), and information found in the Planning Department files, the subject property at 3932-3934 26th Street contains a two-story-over-basement, wood-frame, two-family dwelling designed in the Vernacular style.

No known historic events occurred at the subject property (Criterion 1). None of the owners or occupants have been identified as important to history (Criterion 2).

The subject property is not located within the boundaries of any identified historic district. The subject property is located in the western section of Noe Valley neighborhood, in what is historically known as Horner's Addition.

Therefore, the subject property is not eligible for listing in the California Register under any criteria individually or as part of a historic district.

Signature of a Senior Preservation Planner / Preservation Coordinator: [Signature], Date: 6-21-2016

HISTORICAL RESOURCE EVALUATION PART 1

3932-3934 26TH STREET, SAN FRANCISCO, CALIFORNIA



TIM KELLEY CONSULTING, LLC HISTORICAL RESOURCES 2912 DIAMOND STREET #330 SAN FRANCISCO, CA 94131 415.337-5824

Table with 3 columns: date, issues/ revisions, by. Rows include: 11.23.15 Schematic Design rk, 03.02.16 Pre-Application Meeting rk, 03.14.16 Planning Submittal rk, 09.02.16 Planning Submittal R1 rk, 09.20.16 Planning Submittal R2 rk, 01.20.17 Planning Submittal R3 rk

project name: 3932 - 3934 26TH ST. REMODEL & ADDITION

CEQA EXEMPTION

date :	issues/ revisions :	by :
11.23.15	Schematic Design	rk
03.02.16	Pre-Application Meeting	rk
03.14.16	Planning Submittal	rk
09.02.16	Planning Submittal R1	rk
09.20.16	Planning Submittal R2	rk
01.20.17	Planning Submittal R3	rk

project name :
3932 - 3934 26TH ST. REMODEL & ADDITION

DEMO CALC

A0.3

SYMBOLS	
TO BE RETAINED	
TO BE REMOVED	

SEC. 317 (2) (B)
REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT AND REAR FACADE MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL

SUM OF FRONT AND REAR FACADE					
ELEMENT	(E) LENGTH (FT.)	TO BE REMOVED (FT.)	TO BE REMOVED (%)	TO BE RETAINED (FT.)	TO BE RETAINED (%)
FRONT (SOUTH) FACADE	25'-0"	12'-7"	50.3%	12'-5"	49.7%
REAR (NORTH) FACADE	25'-0"	25'-0"	100%	0'-0"	0'-0"
TOTALS	50'-0"	37'-7"	75.0%	12'-5"	25.0%

SEC. 317 (2) (B)
REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL

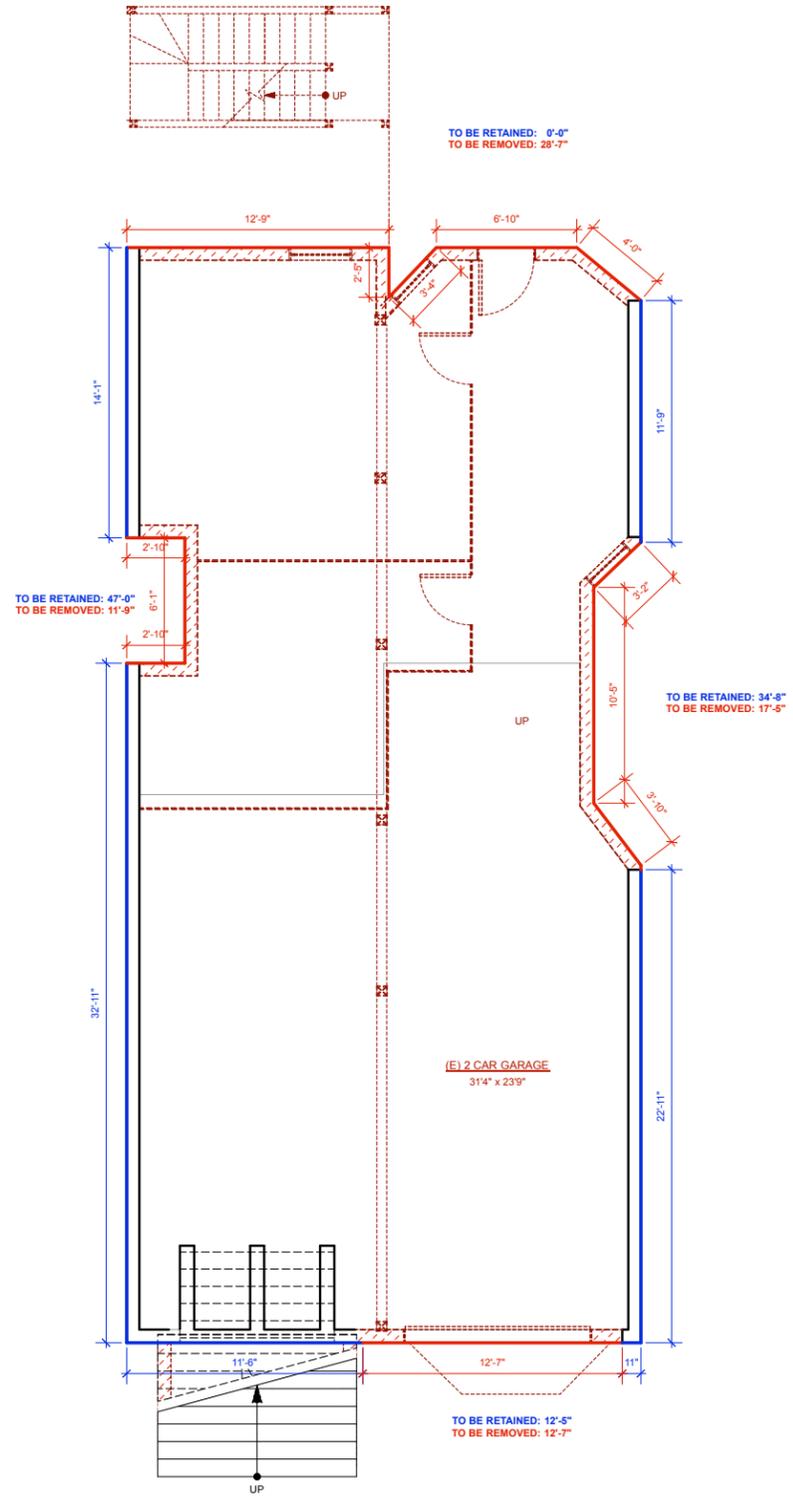
LINEAR FOOTAGE MEASUREMENT: 1ST FLOOR					
ELEMENT	(E) LENGTH (FT.)	TO BE REMOVED (FT.)	TO BE REMOVED (%)	TO BE RETAINED (FT.)	TO BE RETAINED (%)
FRONT (SOUTH) FACADE	25'-0"	12'-7"	50.3%	12'-5"	49.7%
REAR (NORTH) FACADE	25'-0"	25'-0"	100%	0'-0"	0%
LEFT (WEST) FACADE	58'-9"	11'-9"	20.0%	47'-0"	80.0%
RIGHT (EAST) FACADE	52'-1"	17'-5"	33.45%	34'-8"	66.55%
TOTALS	180'-10"	66'-9"	41.5%	94'-1"	58.5%

DETERMINATION:

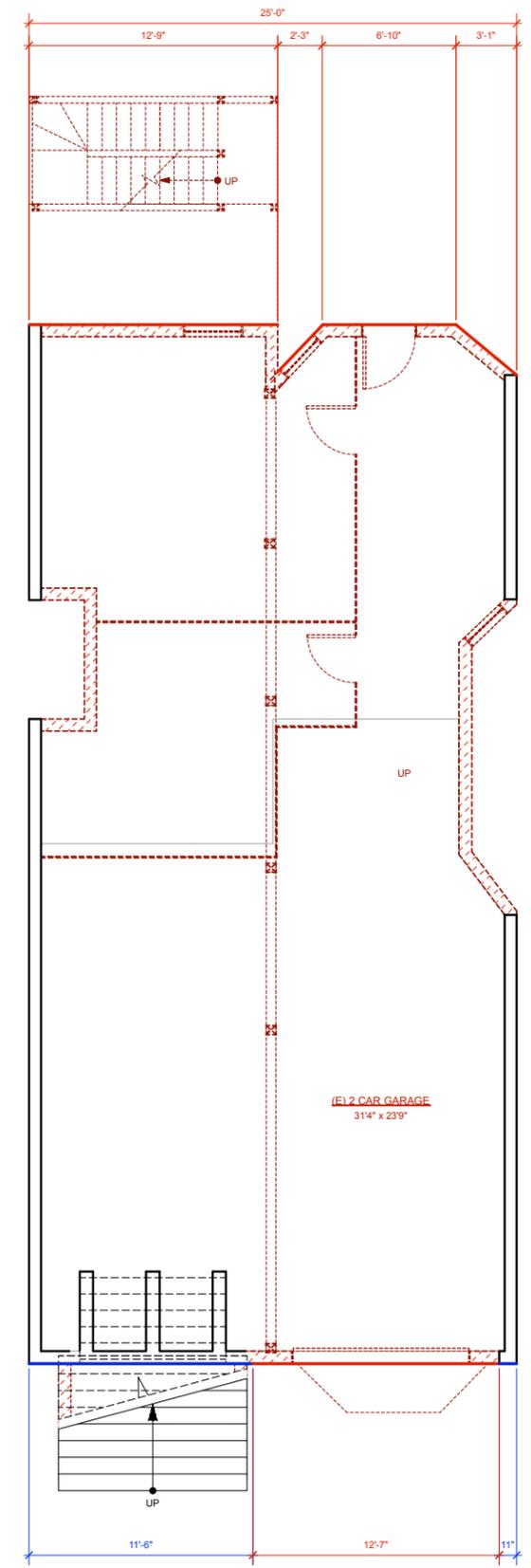
PASSED SEC. 317 (2) (B)

MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT FACADE AND REAR FACADE **AND ALSO** PROPOSES THE REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS, MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL.

PROPOSED SUM OF FRONT AND REAR FACADE TO BE REMOVED IS > 50%
PROPOSED SUM OF ALL EXTERIOR WALLS TO BE REMOVED IS < 65%



2 DEMO CALCS - SUM OF EXTERIOR WALLS
Scale: 1/4" = 1'-0"



1 DEMO CALCS - FRONT & REAR FACADES
Scale: 1/4" = 1'-0"

SEC. 317 (2) (C)

REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

SYMBOLS	
TO BE RETAINED	
TO BE REMOVED	

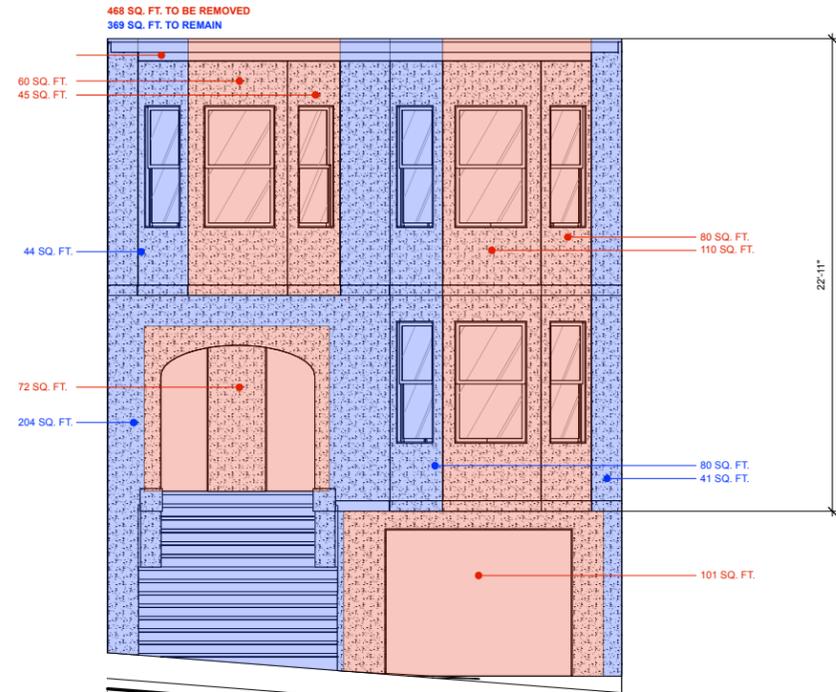
EXISTING & DEMO AREAS PER FACADE					
ELEMENT	(E) AREA (SQ. FT.)	TO BE REMOVED (SQ. FT.)	TO BE REMOVED (%)	TO BE RETAINED (SQ. FT.)	TO BE RETAINED (%)
FRONT (SOUTH) FACADE	837 SQ. FT.	468 SQ. FT.	55.9%	369 SQ. FT.	44.1%
REAR (NORTH) FACADE	793 SQ. FT.	793 SQ. FT.	100.0%	0 SQ. FT.	0.0%
RIGHT (EAST) FACADE	1,810 SQ. FT.	575 SQ. FT.	32.0%	1,235 SQ. FT.	68.0%
LEFT (WEST) FACADE	1,802 SQ. FT.	188 SQ. FT.	10.4%	1,614 SQ. FT.	89.6%
TOTALS	5,242 SQ. FT.	2,024 SQ. FT.	38.6%	3,218 SQ. FT.	61.4%

DETERMINATION:

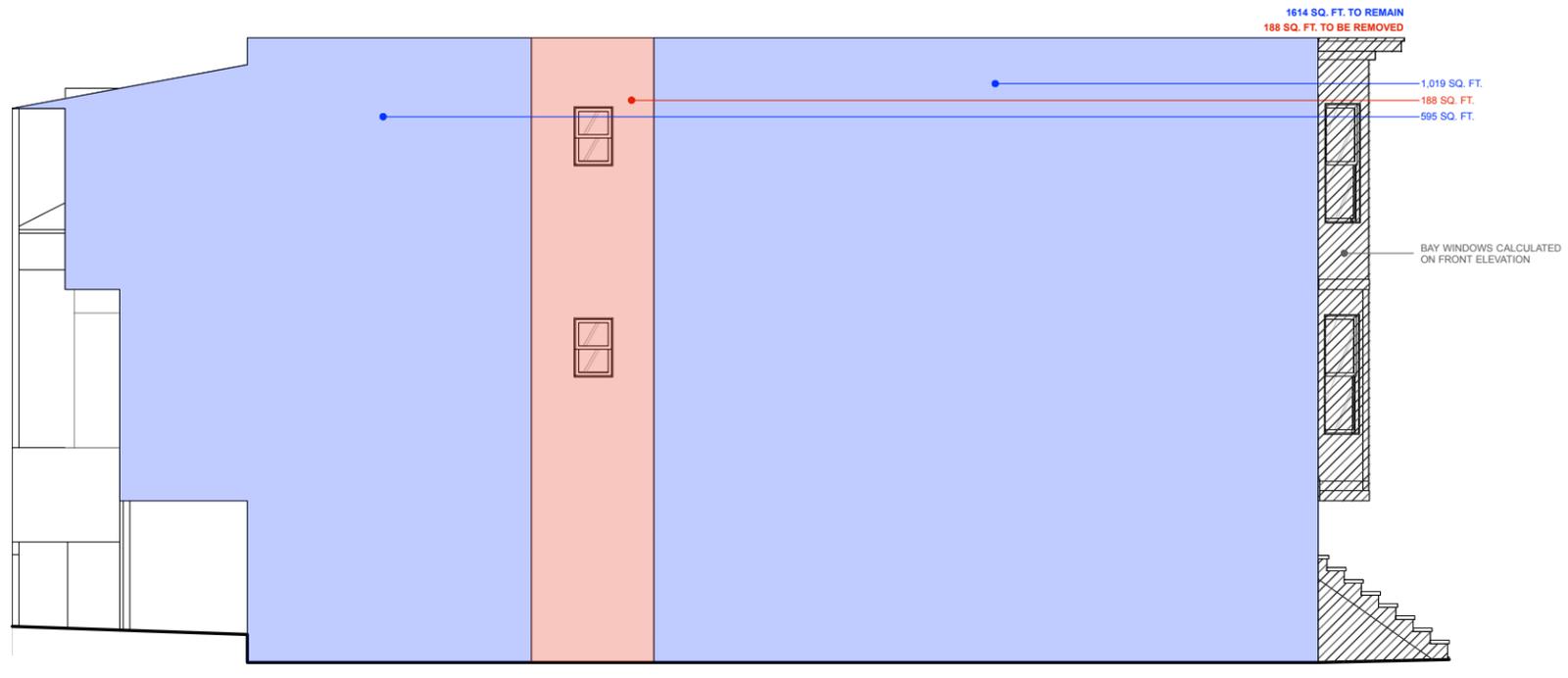
PASSED SEC. 317 (2) (C)

MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS **AND** MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

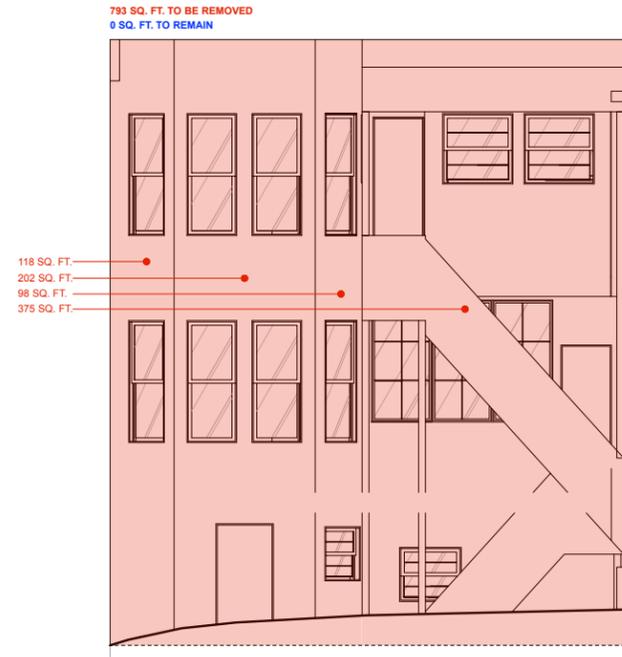
PROPOSED REMOVAL OF VERTICAL ENVELOPE ELEMENTS IS < 50% (A0.4)
 PROPOSED REMOVAL OF HORIZONTAL ELEMENTS IS < 50% (A0.5)



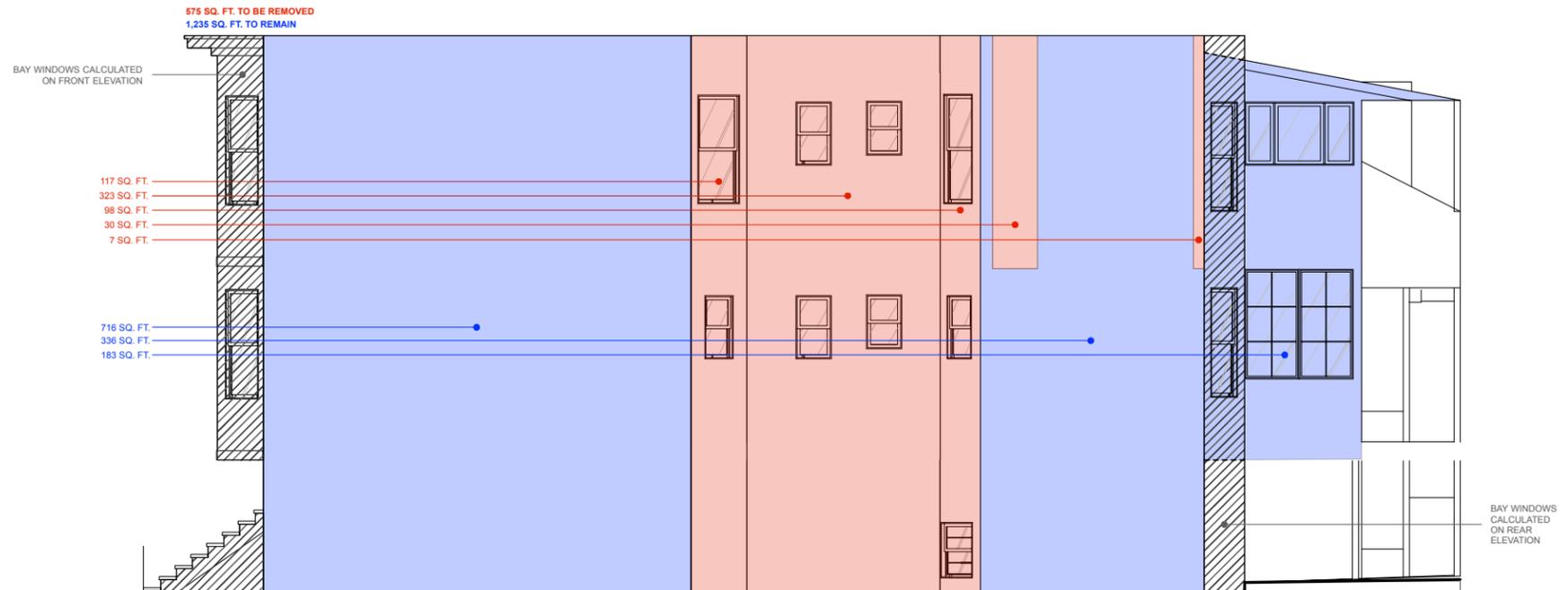
1 SOUTH (FRONT) ELEVATION - EXISTING
 Scale: 1/4" = 1'-0"



2 WEST FACADE - EXISTING
 Scale: 1/4" = 1'-0"



3 NORTH (REAR) ELEVATION - EXISTING
 Scale: 1/4" = 1'-0"



4 EAST FACADE - EXISTING
 Scale: 1/4" = 1'-0"



JOHN LUM ARCHITECTURE INC.
 3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
 TEL: 415 568 9550 FAX: 415 568 0554

3932 - 3934 26TH ST. REMODEL & ADDITION
 3932 - 3934 26TH STREET
 SAN FRANCISCO, CA 94114
 BLOCK 6562 - LOT 012

client : 94 feet LLC
 2010 ocean avenue, suite 6
 san francisco, ca 94127

date :	issues/ revisions :	by :
11.23.15	Schematic Design	rk
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01.20.17	Planning Submittal R3	rk

project name :
 3932 - 3934 26TH ST. REMODEL & ADDITION

DEMO CALC

A0.4

SEC. 317 (2) (C)
REMOVAL OF MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE BUILDING MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

SYMBOLS	
TO BE RETAINED	
TO BE REMOVED	

AREA MEASUREMENT					
ELEMENT	(E) AREA (SQ. FT.)	TO BE REMOVED (SQ. FT.)	TO BE REMOVED (%)	TO BE RETAINED (SQ. FT.)	TO BE RETAINED (%)
1ST FLOOR	1,274 SQ. FT.	549 SQ. FT.	43.0%	725 SQ. FT.	57.0%
2ND FLOOR	1,292 SQ. FT.	46 SQ. FT.	3.5%	1,246 SQ. FT.	96.5%
3RD FLOOR	1,418 SQ. FT.	52 SQ. FT.	3.6%	1,366 SQ. FT.	96.4%
ROOF	1,410 SQ. FT.	164 SQ. FT.	11.6%	1,246 SQ. FT.	88.4%
TOTALS	5,394 SQ. FT.	811 SQ. FT.	15.0%	4,583 SQ. FT.	85.0%

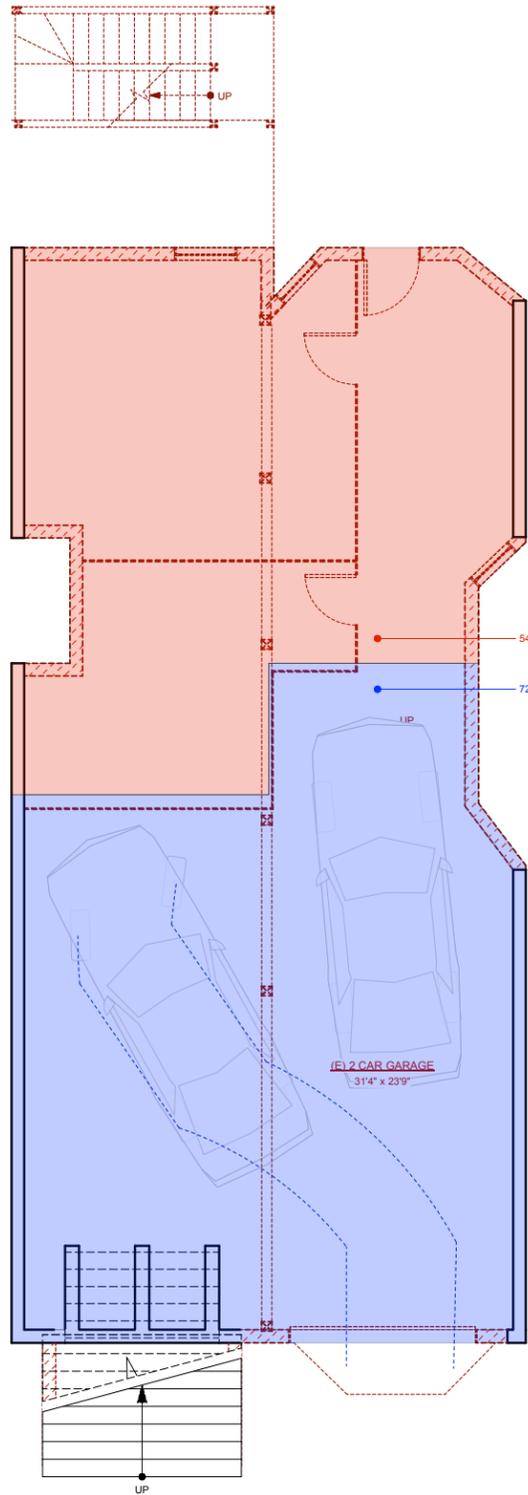
DETERMINATION:

PASSED SEC. 317 (2) (C)

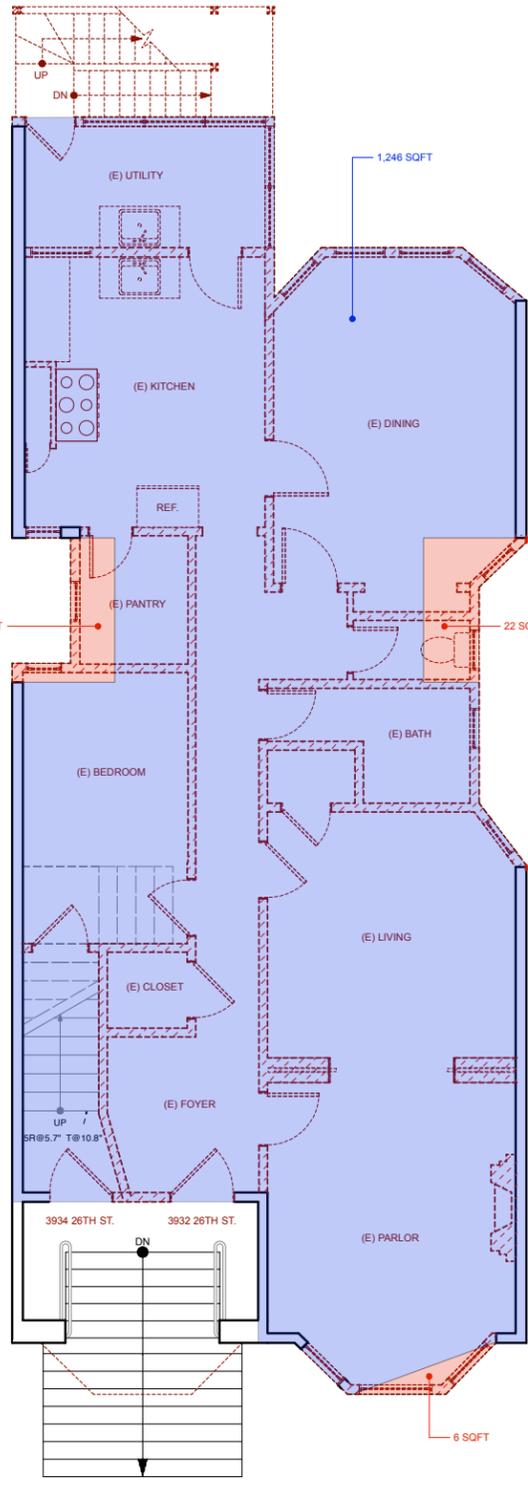
MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS AND MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

PROPOSED REMOVAL OF VERTICAL ENVELOPE ELEMENTS IS < 50% (A0.4)

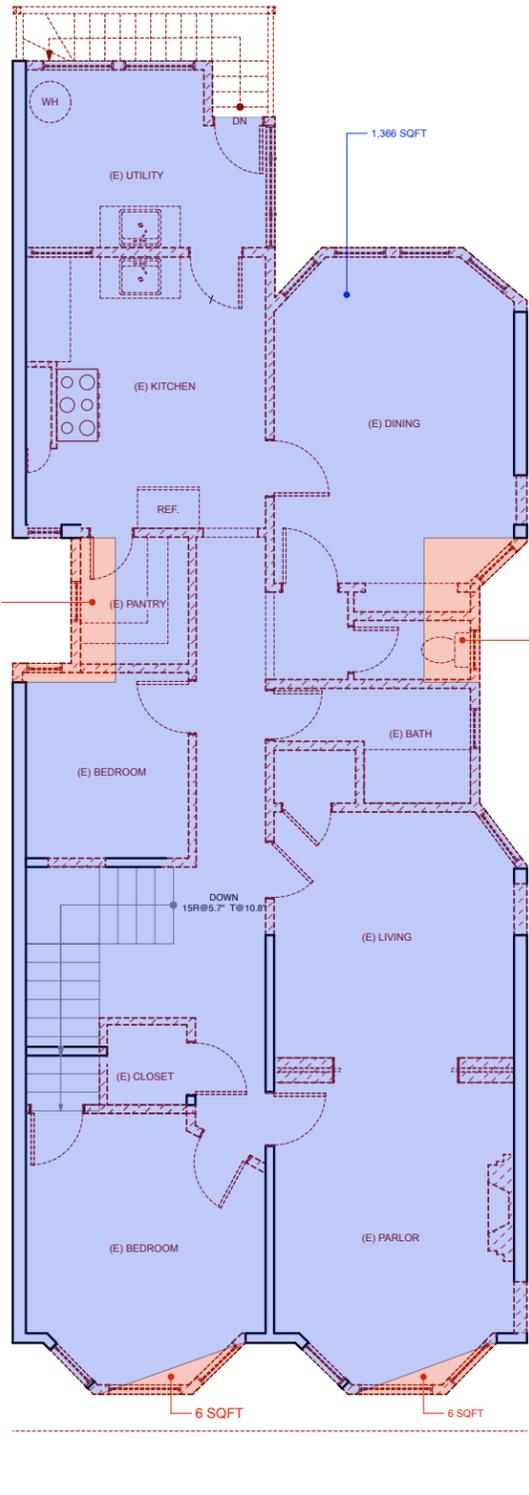
PROPOSED REMOVAL OF HORIZONTAL ELEMENTS IS < 50% (A0.5)



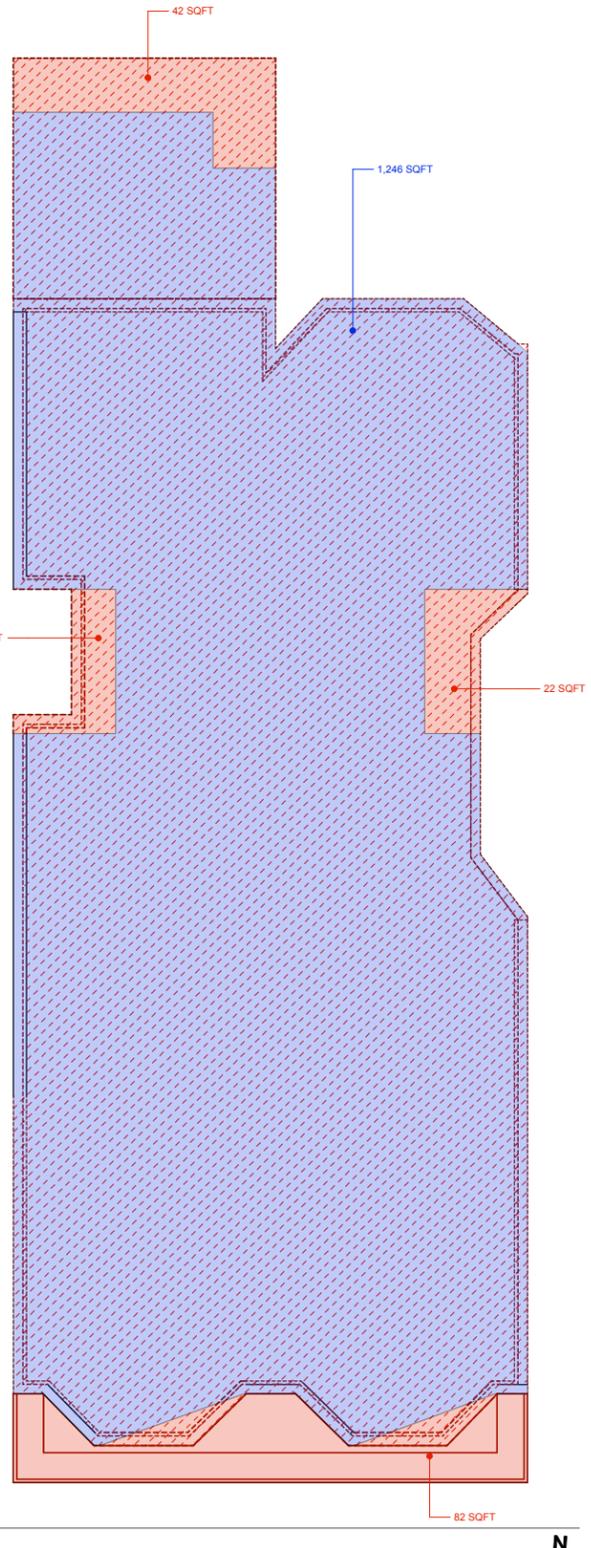
1 FIRST FLOOR PLANS - EXISTING & DEMO
Scale: 1/4" = 1'-0"



1 SECOND FLOOR PLANS: EXISTING & DEMO
Scale: 1/4" = 1'-0"



1 THIRD FLOOR PLANS: EXISTING & DEMO
Scale: 1/4" = 1'-0"



2 ROOF PLAN: EXISTING/DEMO
Scale: 1/4" = 1'-0"

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project name :
3932 - 3934 26TH ST. REMODEL & ADDITION

DEMO CALC

A0.5

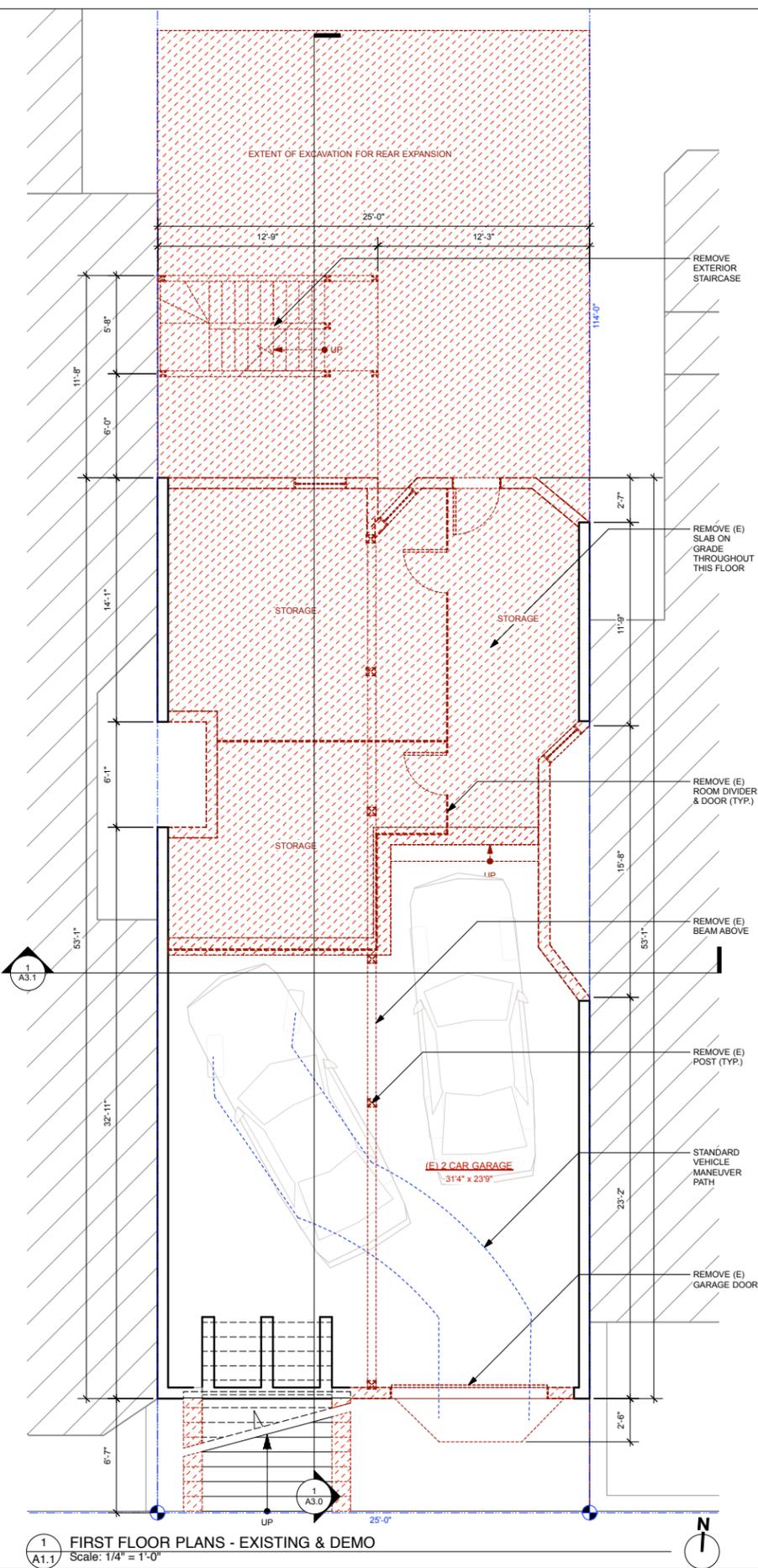
LUMI

JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
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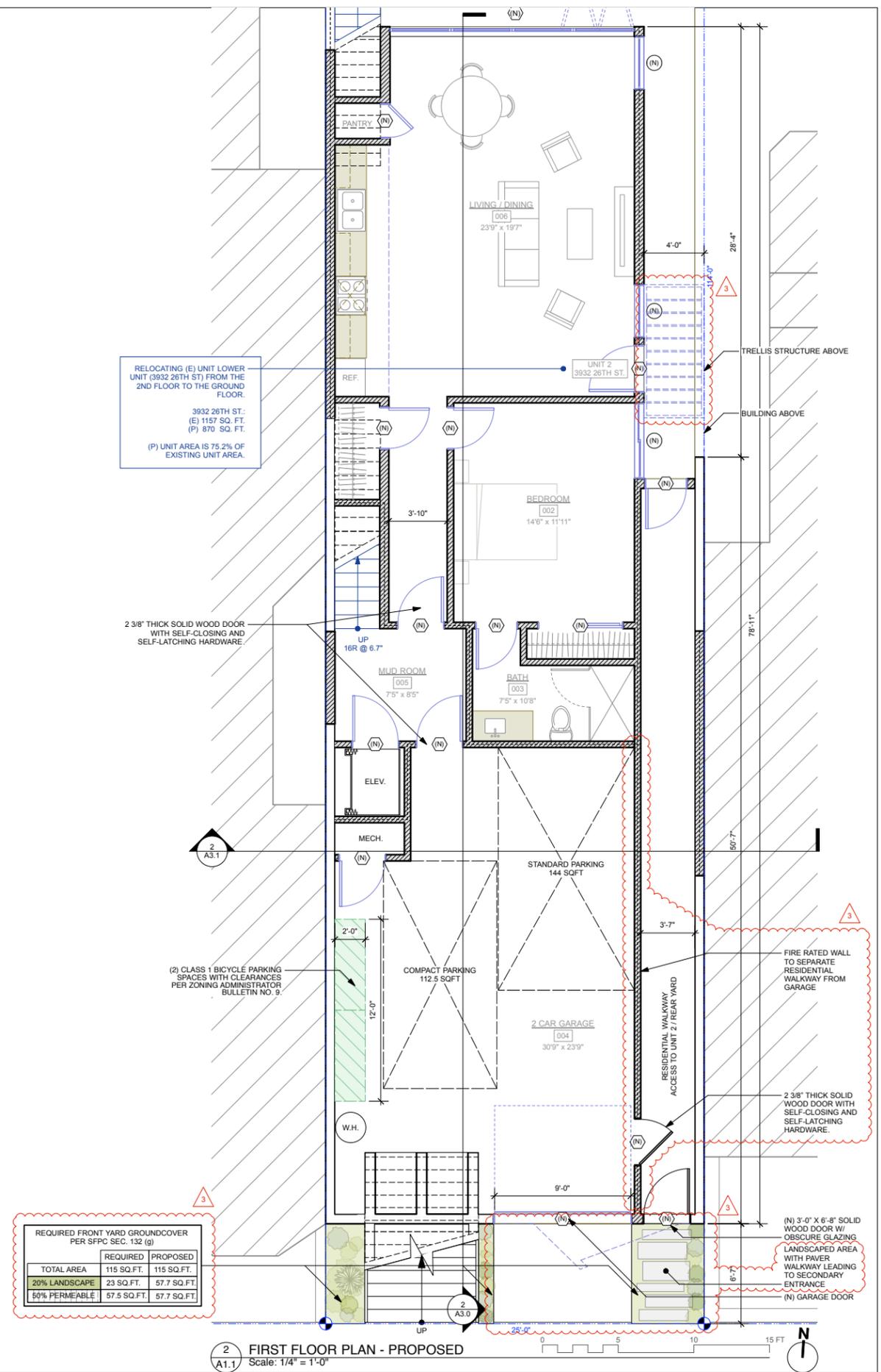
DEMOLITION LEGEND	
	EXISTING WALL
	DEMO. WALL
	AREA TO BE DEMOLISHED

WALL TYPE	
	EXISTING WALL
	NEW EXTERIOR WALL (NON-RATED): (N) FINISH MATERIAL (REFER TO EXTERIOR ELEV.) O/ 2 LAYERS GRADE 'D' BUILDING PAPER, O/ EXTERIOR GRADE PLYWOOD, O/ WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION, O/ 5/8" GYPSUM BOARD (INTERIOR FACE)
	NEW INTERIOR WALL: 5/8" GYPSUM BOARD, O/ 2x4 WD. STUDS, O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.) O/ 5/8" GYPSUM BOARD
	NEW 1-HOUR FIRE-RATED WALL: (N) FINISH MATERIAL (REFER TO EXT. ELEV.) O/ 2 LAYERS GRADE 'D' BUILDING PAPER, O/ 5/8" TYPE 'X' GYPSUM SHEATHING, O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.) O/ WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION, O/ 5/8" TYPE 'X' GYPSUM BOARD

- CONSTRUCTION NOTES**
- CONTRACTOR IS TO VERIFY ALL (E) DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION
 - CARE SHALL BE TAKEN TO ELIMINATE DAMAGE TO (E) MATERIALS AND SURFACES DURING CONSTRUCTION. ANY DAMAGES TO EXISTING CONSTRUCTION SHALL BE REPLACED OR REPAIRED AT NO ADDITIONAL COST.
 - CONTRACTOR SHALL REPAIR ANY DAMAGE TO (E) WALLS AND FLOORS CAUSED BY DEMOLITION OF (E) PARTITIONS & CEILINGS.
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 - ALL PARTITIONS ADJUTING EXISTING BLDG. CONSTRUCTION SHALL ALIGN FINISH FACE TO FINISH FACE U.N.O.
 - ALL PARTITIONS SHALL BE BRACED PER THE REQUIREMENTS OF CURRENT LOCAL SEISMIC CODE
 - ALL DOORS TO BE UNDERCUT AS REQ. TO CLEAR FINISH FLOOR BY 1/4"
 - ALL WORK TO BE INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE AND IN PROPER ALIGNMENT
 - CONTRACTOR TO PROTECT FINISHES IN PATH OF TRAVEL TO AREA OF WORK



1 FIRST FLOOR PLANS - EXISTING & DEMO
Scale: 1/4" = 1'-0"



2 FIRST FLOOR PLAN - PROPOSED
Scale: 1/4" = 1'-0"

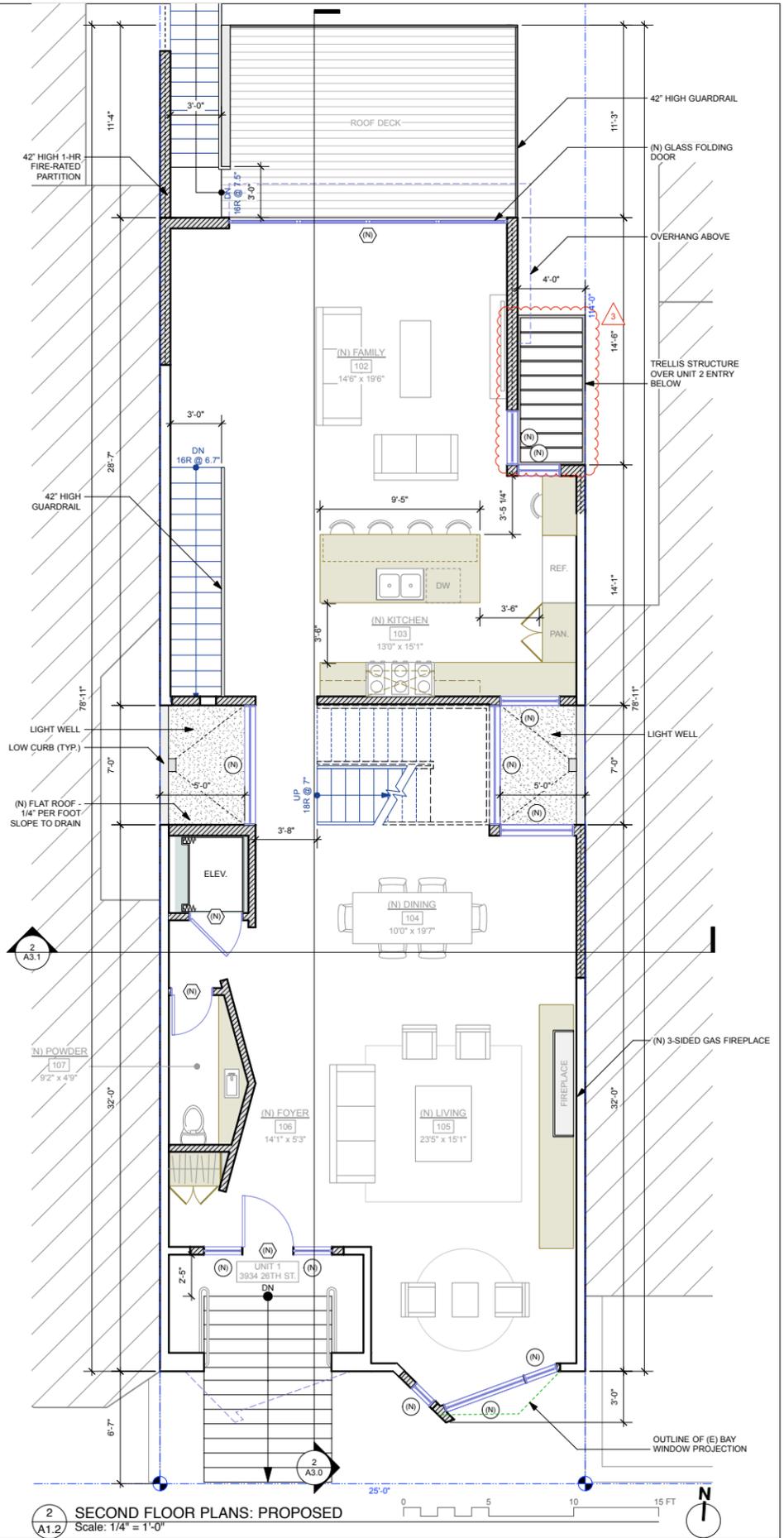
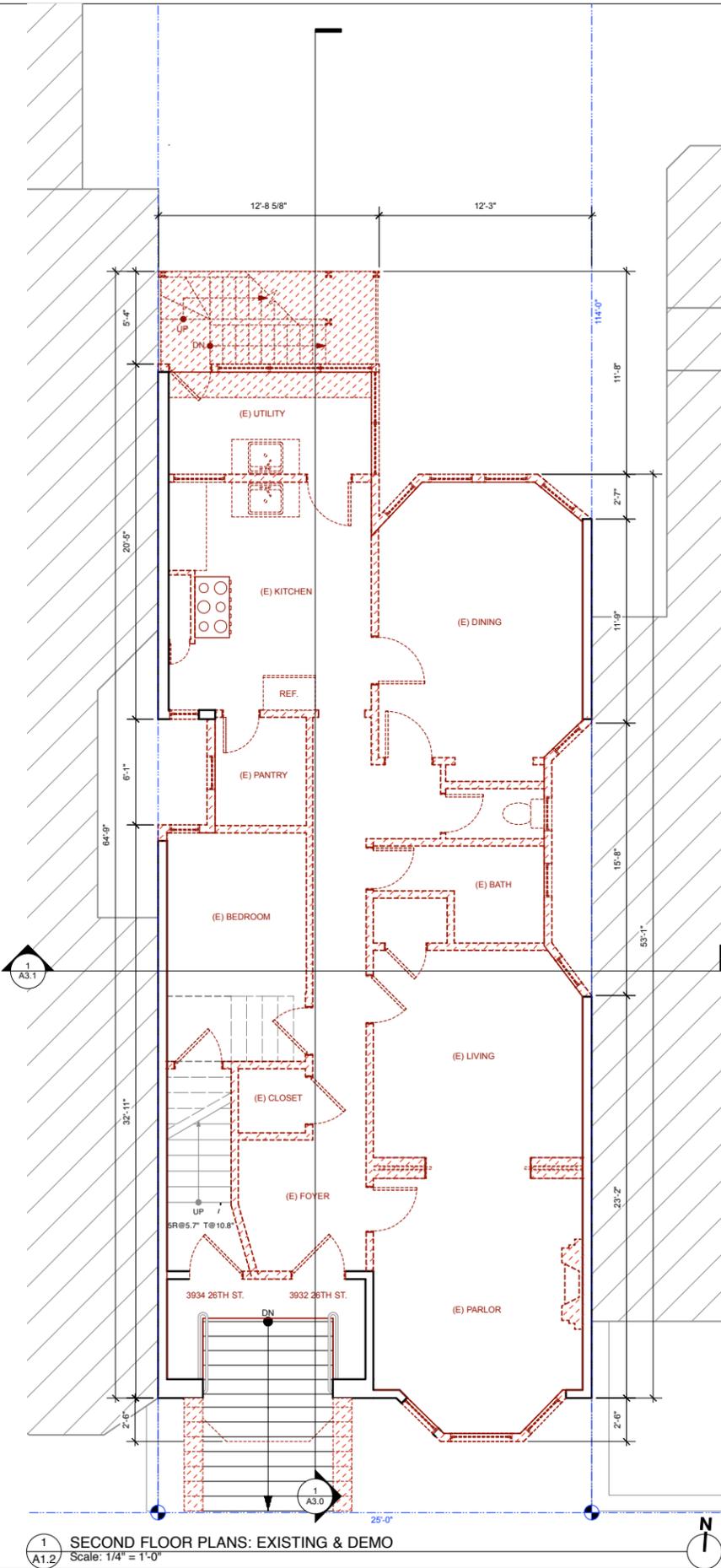
REQUIRED FRONT YARD GROUND COVER PER SFPC SEC. 132 (g)		
	REQUIRED	PROPOSED
TOTAL AREA	115 SQ.FT.	115 SQ.FT.
20% LANDSCAPE	23 SQ.FT.	57.7 SQ.FT.
80% PERMEABLE	57.5 SQ.FT.	57.7 SQ.FT.

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DEMOLITION LEGEND	
	EXISTING WALL
	DEMO. WALL
	AREA TO BE DEMOLISHED

WALL TYPE	
	EXISTING WALL
	NEW EXTERIOR WALL (NON-RATED): (N) FINISH MATERIAL (REFER TO EXTERIOR ELEVS.) O/ 2 LAYERS GRADE 'D' BUILDING PAPER, O/ EXTERIOR GRADE PLYWOOD, O/ WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION, O/ 5/8" GYPSUM BOARD (INTERIOR FACE)
	NEW INTERIOR WALL: 5/8" GYPSUM BOARD, O/ 2x4 WD. STUDS, O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.) O/ 5/8" GYPSUM BOARD
	NEW 1-HOUR FIRE-RATED WALL: (N) FINISH MATERIAL (REFER TO EXT. ELEVS.) O/ 2 LAYERS GRADE 'D' BUILDING PAPER, O/ 5/8" TYPE 'X' GYPSUM SHEATHING, O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.) O/ WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION, O/ 5/8" TYPE 'X' GYPSUM BOARD

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 - CONTRACTOR TO PROTECT FINISHES IN PATH OF TRAVEL TO AREA OF WORK



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3932 - 3934 26TH STREET
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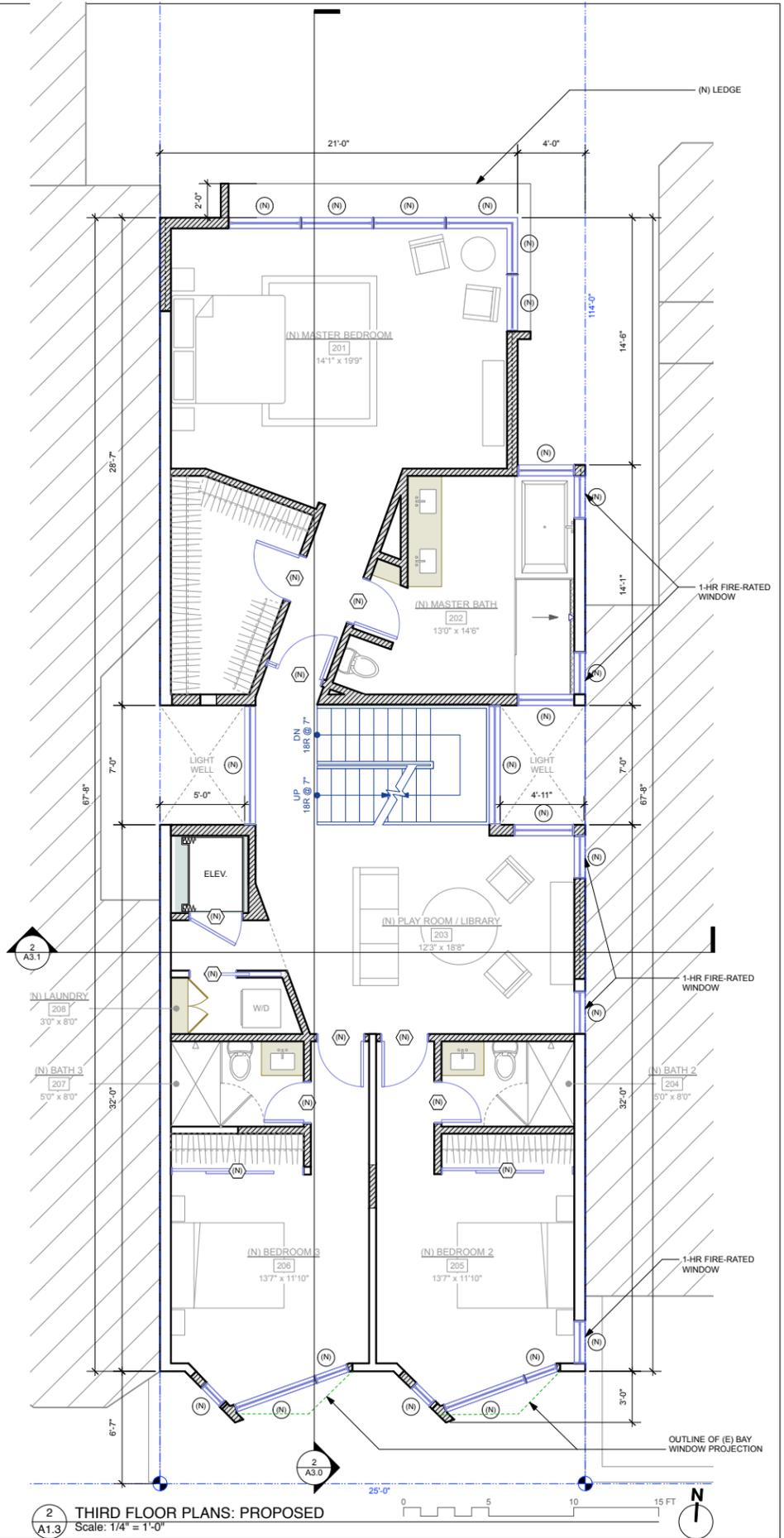
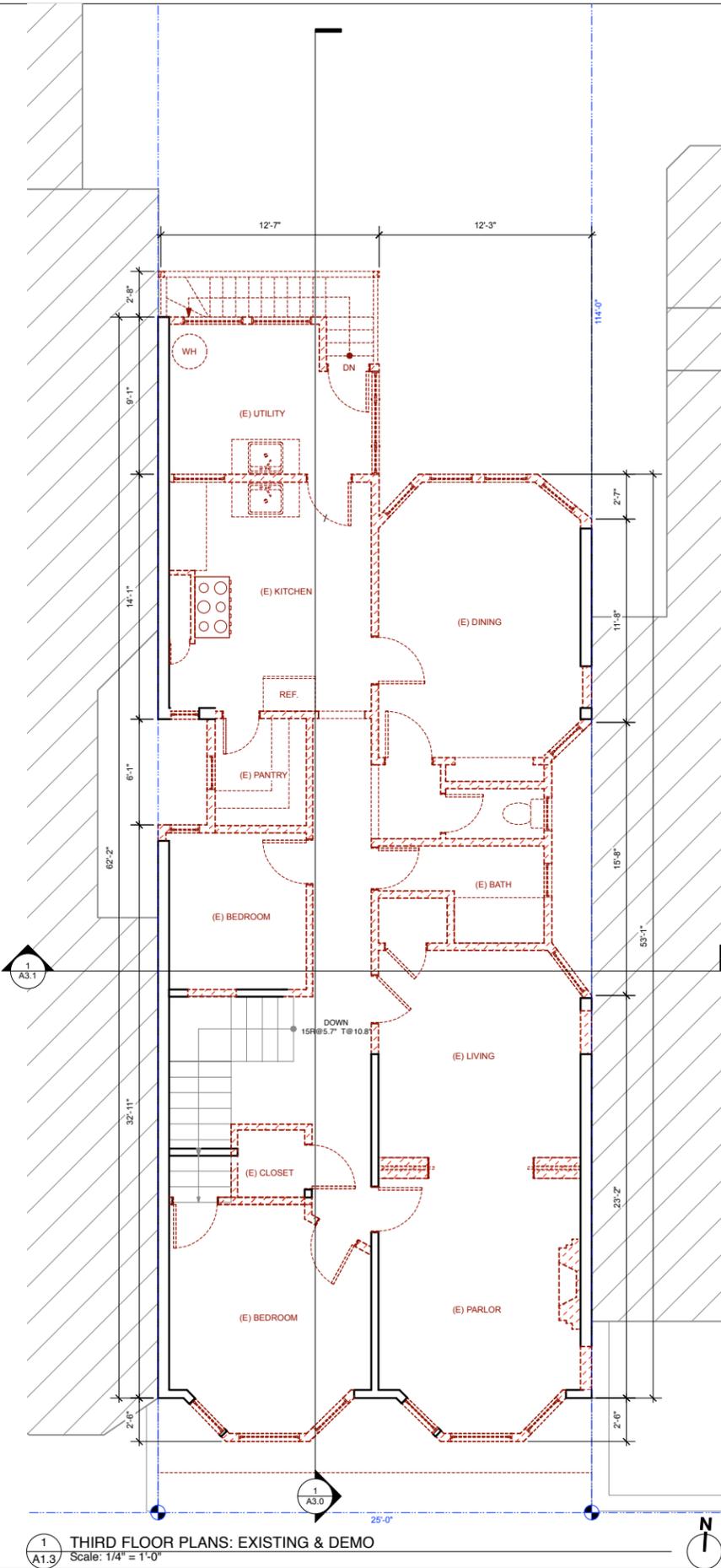
project name :
3932 - 3934 26TH ST. REMODEL & ADDITION

SECOND FLOOR PLANS

DEMOLITION LEGEND	
	EXISTING WALL
	DEMO. WALL
	AREA TO BE DEMOLISHED

WALL TYPE	
	EXISTING WALL
	NEW EXTERIOR WALL (NON-RATED): (N) FINISH MATERIAL (REFER TO EXTERIOR ELEVS.) O/ 2 LAYERS GRADE 'D' BUILDING PAPER, O/ EXTERIOR GRADE PLYWOOD, O/ WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION, O/ 5/8" GYPSUM BOARD (INTERIOR FACE)
	NEW INTERIOR WALL: 5/8" GYPSUM BOARD, O/ 2x4 WD. STUDS, O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.) O/ 5/8" GYPSUM BOARD
	NEW 1-HOUR FIRE-RATED WALL: (N) FINISH MATERIAL (REFER TO EXT. ELEVS.) O/ 2 LAYERS GRADE 'D' BUILDING PAPER, O/ 5/8" TYPE 'X' GYPSUM SHEATHING, O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.) O/ WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION, O/ 5/8" TYPE 'X' GYPSUM BOARD

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San Francisco, CA 94127

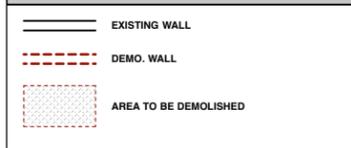
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3932 - 3934 26TH ST. REMODEL & ADDITION

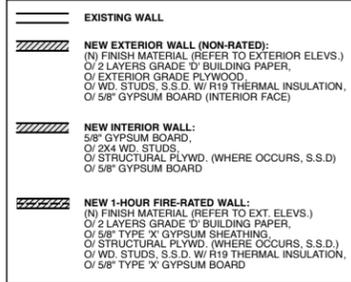
THIRD FLOOR PLANS

A1.3

DEMOLITION LEGEND

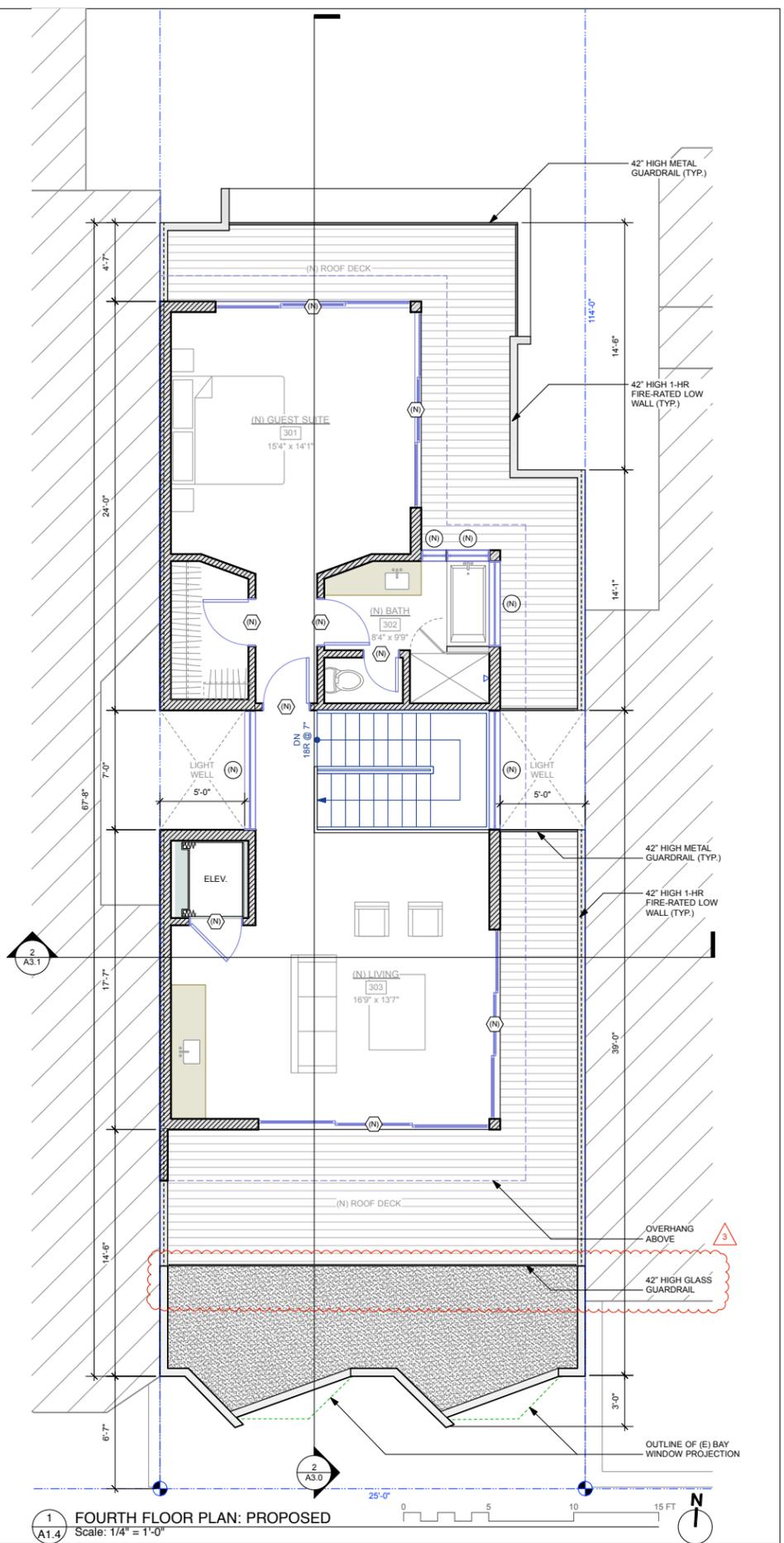


WALL TYPE



CONSTRUCTION NOTES

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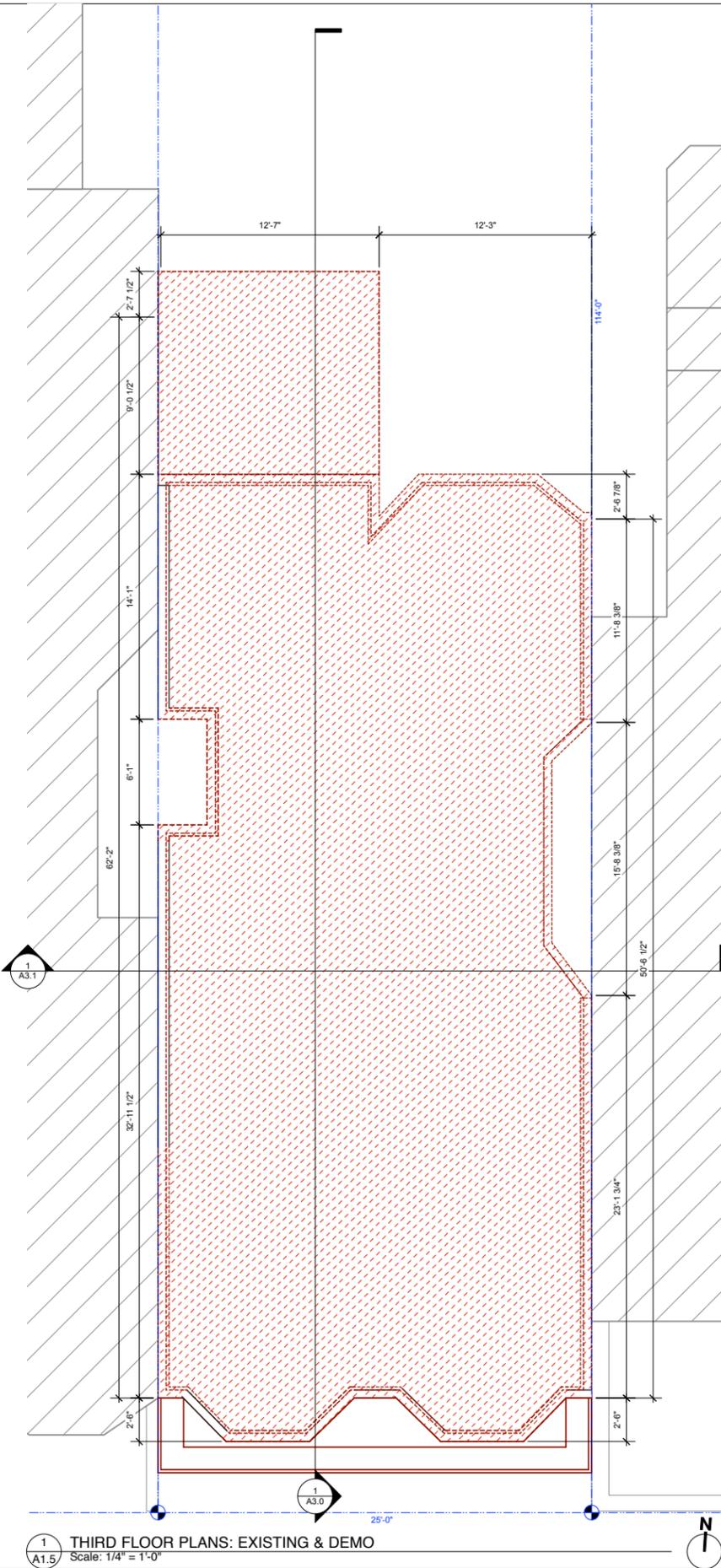
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project name :
 3932 - 3934 26TH ST. REMODEL & ADDITION

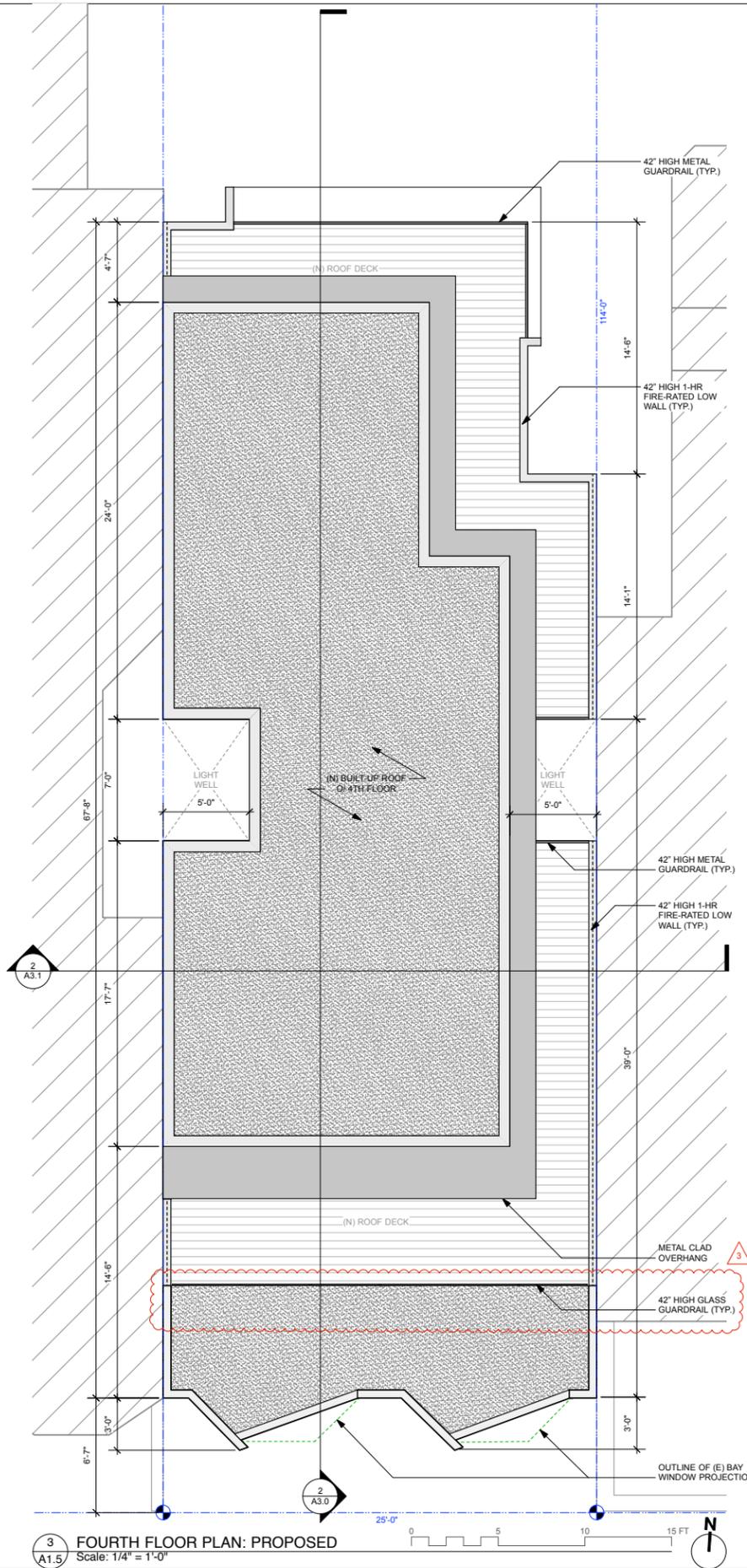
DEMOLITION LEGEND	
	EXISTING WALL
	DEMO. WALL
	AREA TO BE DEMOLISHED

WALL TYPE	
	EXISTING WALL
	NEW EXTERIOR WALL (NON-RATED): (N) FINISH MATERIAL (REFER TO EXTERIOR ELEVS.) O/ 2 LAYERS GRADE 'D' BUILDING PAPER, O/ EXTERIOR GRADE PLYWOOD, O/ WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION, O/ 5/8" GYPSUM BOARD (INTERIOR FACE)
	NEW INTERIOR WALL: 5/8" GYPSUM BOARD, O/ 2x4 WD. STUDS, O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.) O/ 5/8" GYPSUM BOARD
	NEW 1-HOUR FIRE-RATED WALL: (N) FINISH MATERIAL (REFER TO EXT. ELEVS.) O/ 2 LAYERS GRADE 'D' BUILDING PAPER, O/ 5/8" TYPE 'X' GYPSUM SHEATHING, O/ STRUCTURAL PLYWD. (WHERE OCCURS, S.S.D.) O/ WD. STUDS, S.S.D. W/ R19 THERMAL INSULATION, O/ 5/8" TYPE 'X' GYPSUM BOARD

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 - ALL WORK TO BE INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE AND IN PROPER ALIGNMENT
 - CONTRACTOR TO PROTECT FINISHES IN PATH OF TRAVEL TO AREA OF WORK



1 THIRD FLOOR PLANS: EXISTING & DEMO
Scale: 1/4" = 1'-0"



3 FOURTH FLOOR PLAN: PROPOSED
Scale: 1/4" = 1'-0"



JOHN LUM ARCHITECTURE INC.
3246 SEVENTEENTH STREET SAN FRANCISCO, CA 94110
TEL: 415 556 9550 FAX: 415 556 0554

3932 - 3934 26TH ST. REMODEL & ADDITION
3932 - 3934 26TH STREET
SAN FRANCISCO, CA 94114
BLOCK 6562 - LOT 012

client :
94 Red LLC
2010 ocean avenue, suite 6
san francisco, ca 94127

date :	issues/ revisions :	by :
11.23.15	Schematic Design	rk
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ROOF PLANS

A1.5

T.O. (E) PARAPET
32'-0" (V.I.F.)

T.O. (E) ROOF
30'-11" (V.I.F.)

10'-5"

T.O. (E) THIRD FLOOR
20'-8" (V.I.F.)

10'-6"

T.O. (E) SECOND FLOOR
10'-0" (V.I.F.)

9'-0"

T.O. (E) FIRST FLOOR
1'-0" (V.I.F.)

1'-0"

T.O. CURB @ CL OF PROPERTY
0'-0"



1 SOUTH (FRONT) ELEVATION - EXISTING
Scale: 1/4" = 1'-0"

T.O. (N) PARAPET
39'-11" (V.I.F.)

T.O. (N) ROOF
39'-8" (V.I.F.)

9'-0"

T.O. (N) FOURTH FLOOR
30'-8" (V.I.F.)

10'-2"

T.O. (E) THIRD FLOOR
20'-6" (V.I.F.)

10'-6"

T.O. (E) SECOND FLOOR
10'-0" (V.I.F.)

10'-0"

T.O. (N) FIRST FLOOR
0'-0"

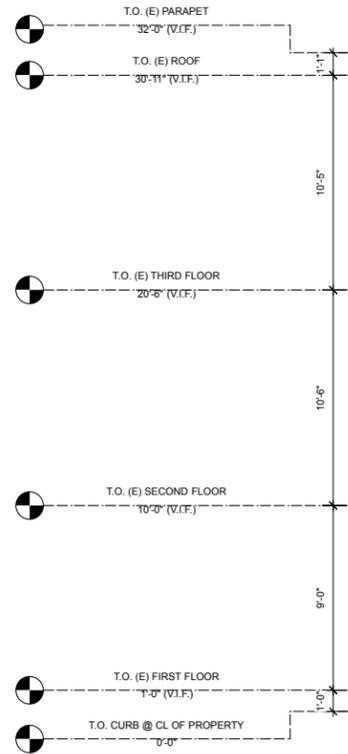
T.O. CURB @ CL OF PROPERTY
0'-0"



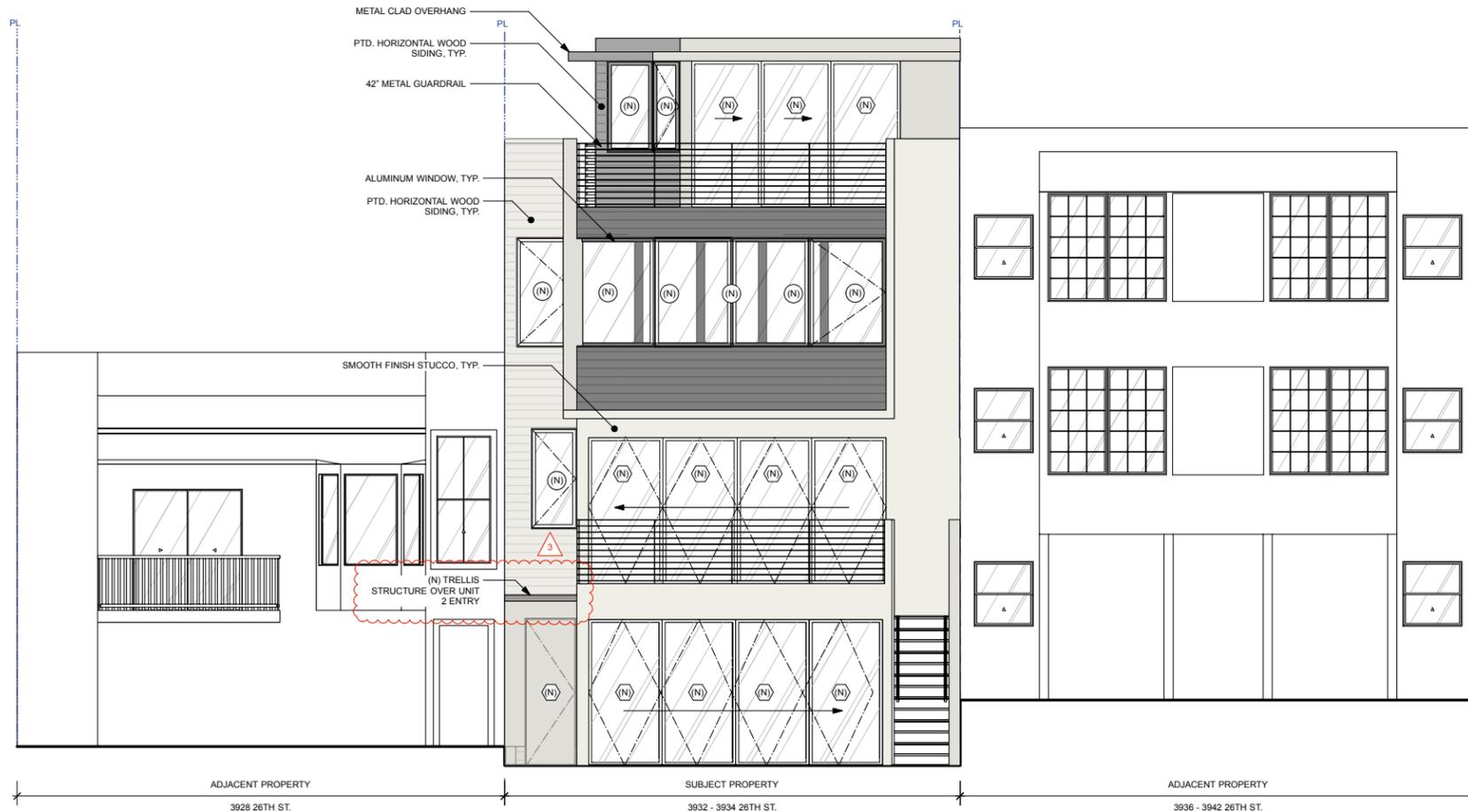
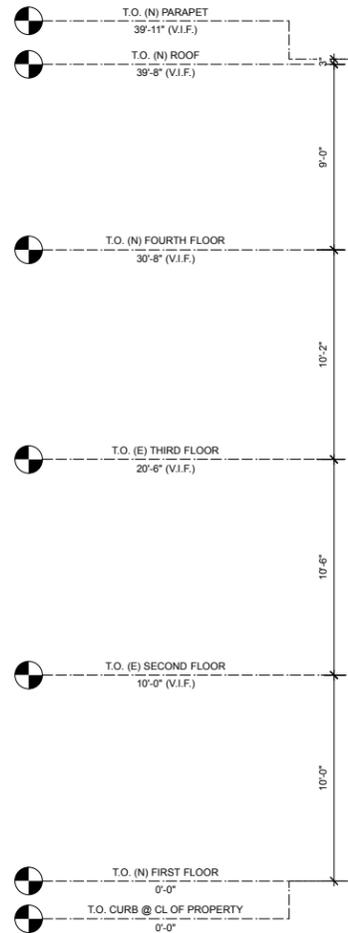
2 SOUTH (FRONT) ELEVATION - PROPOSED
Scale: 1/4" = 1'-0"

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1 NORTH (REAR) ELEVATION - EXISTING
Scale: 1/4" = 1'-0"



2 NORTH (REAR) ELEVATION - PROPOSED
Scale: 1/4" = 1'-0"



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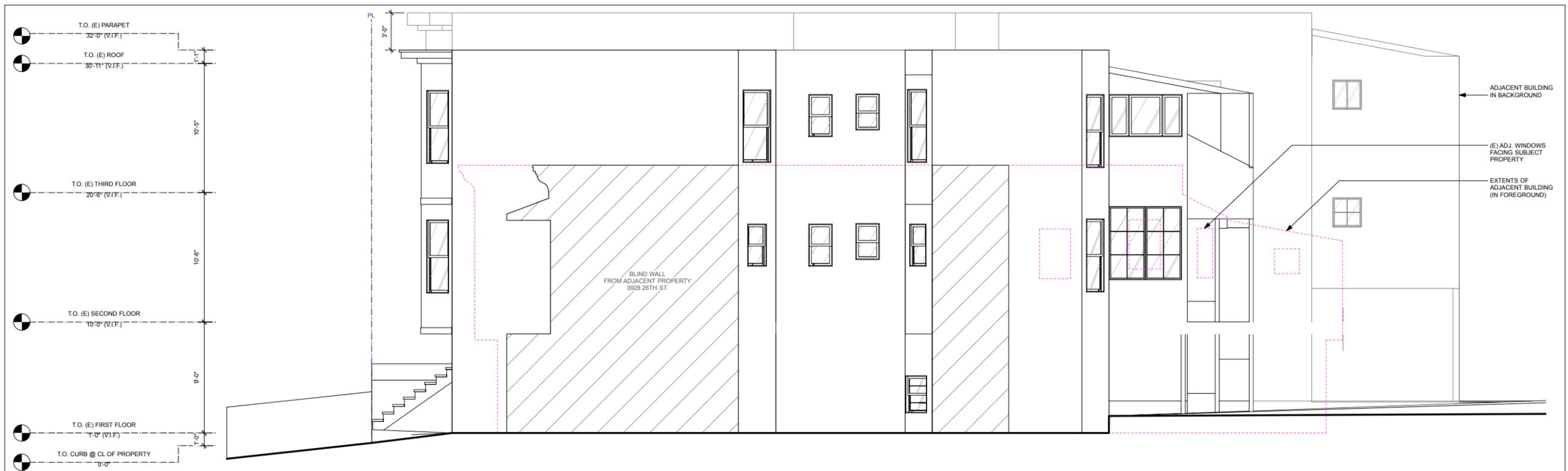
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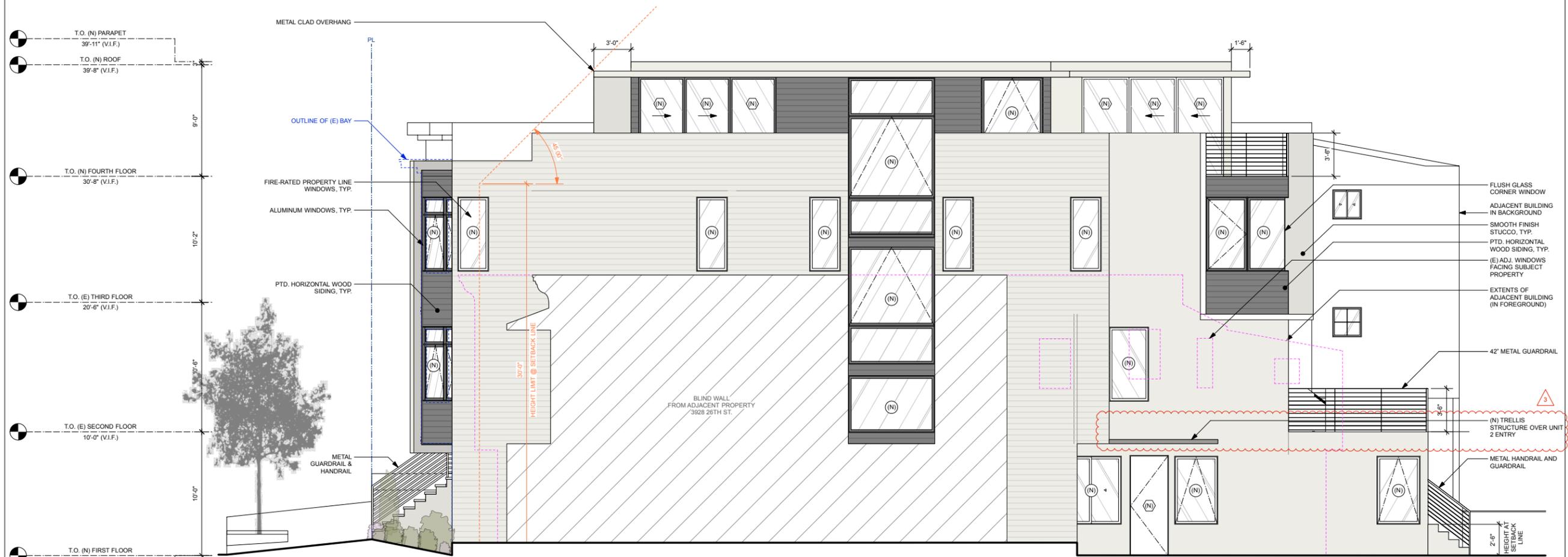
project name :
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EXTERIOR ELEVATIONS

A2.1



1 EAST FACADE - EXISTING
Scale: 1/4" = 1'-0"



2 EAST FACADE - PROPOSED
Scale: 1/4" = 1'-0"



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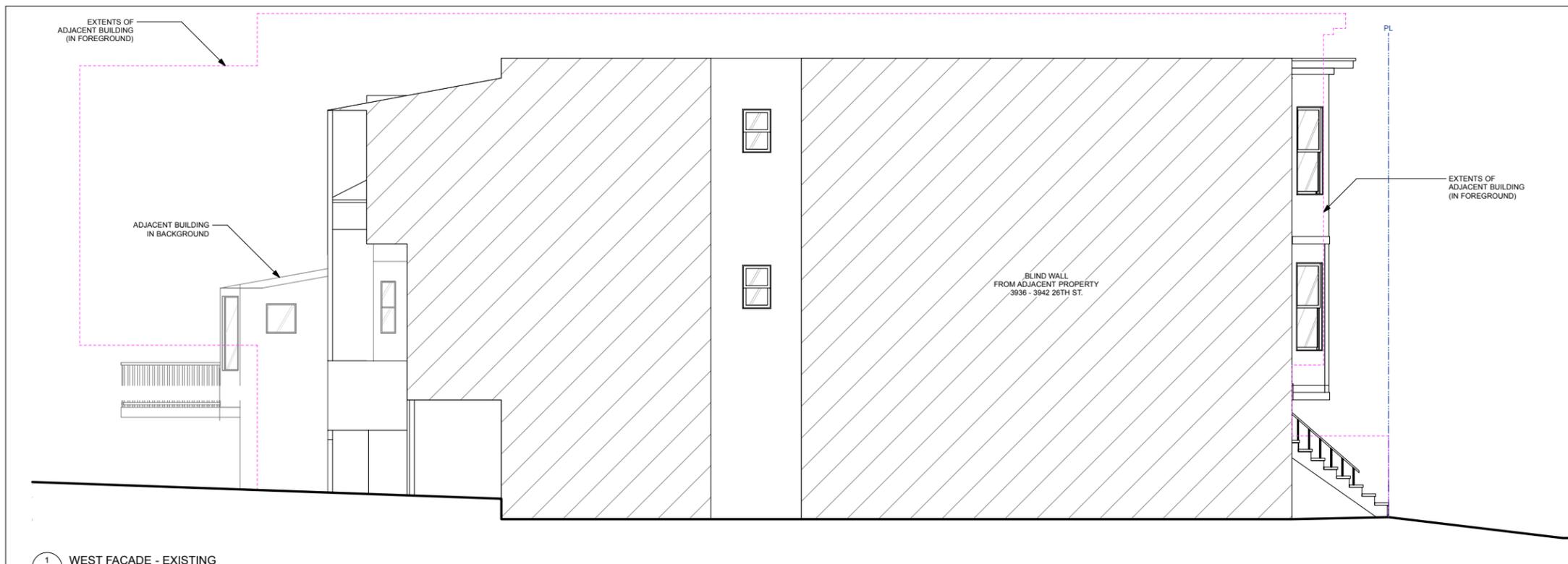
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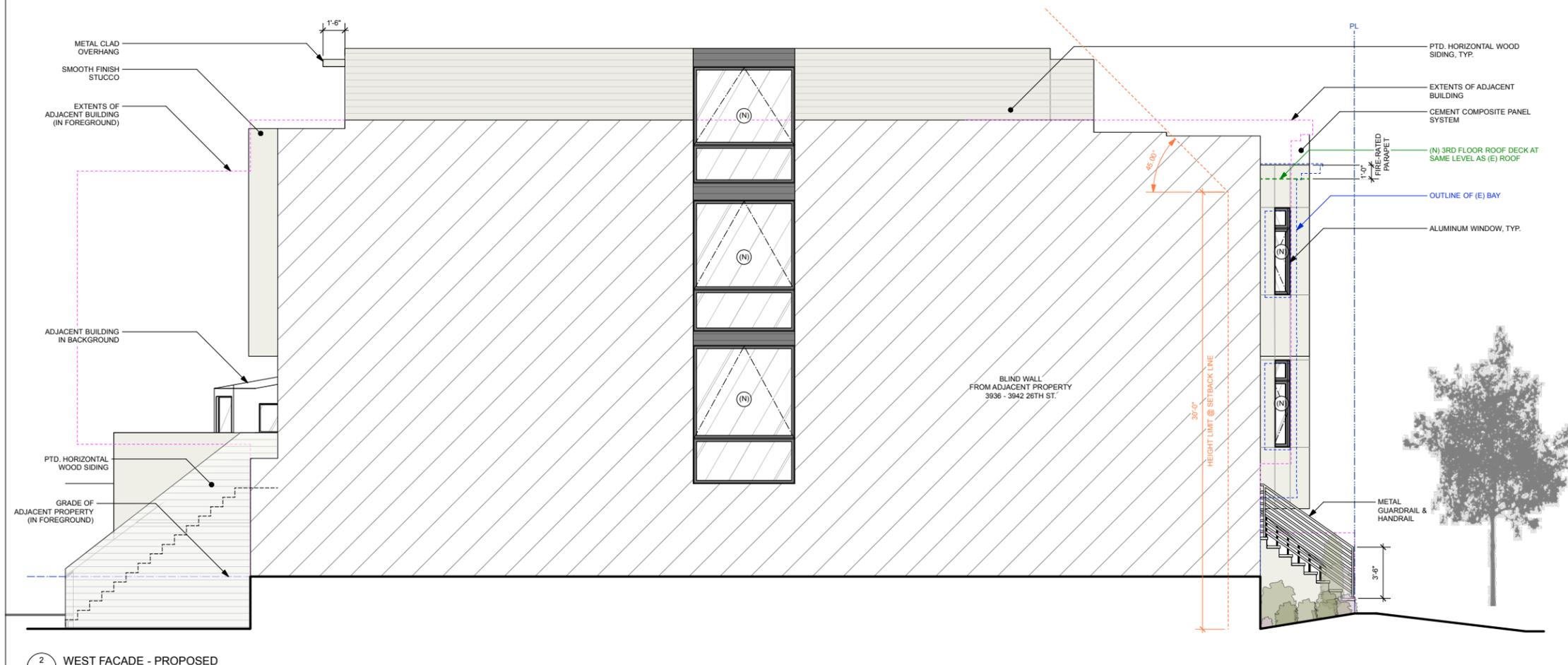
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EXTERIOR ELEVATIONS

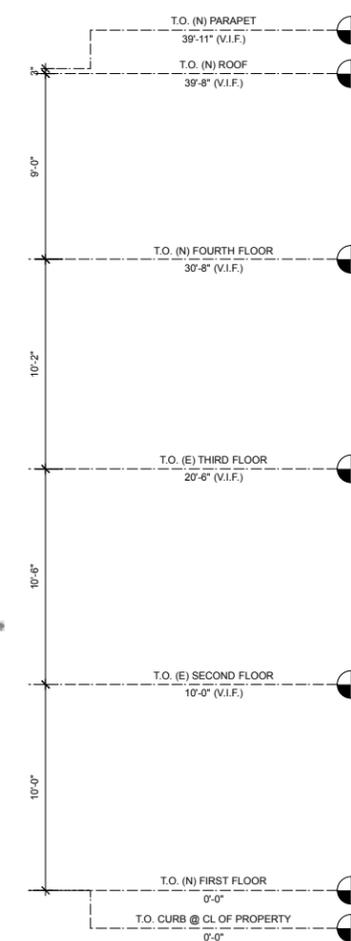
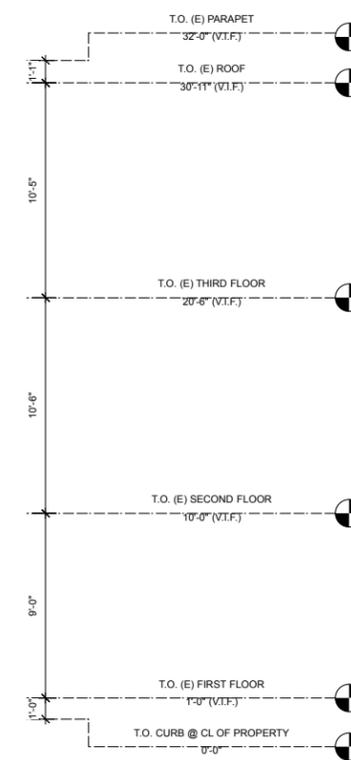
A2.2



1 WEST FACADE - EXISTING
Scale: 1/4" = 1'-0"



2 WEST FACADE - PROPOSED
Scale: 1/4" = 1'-0"



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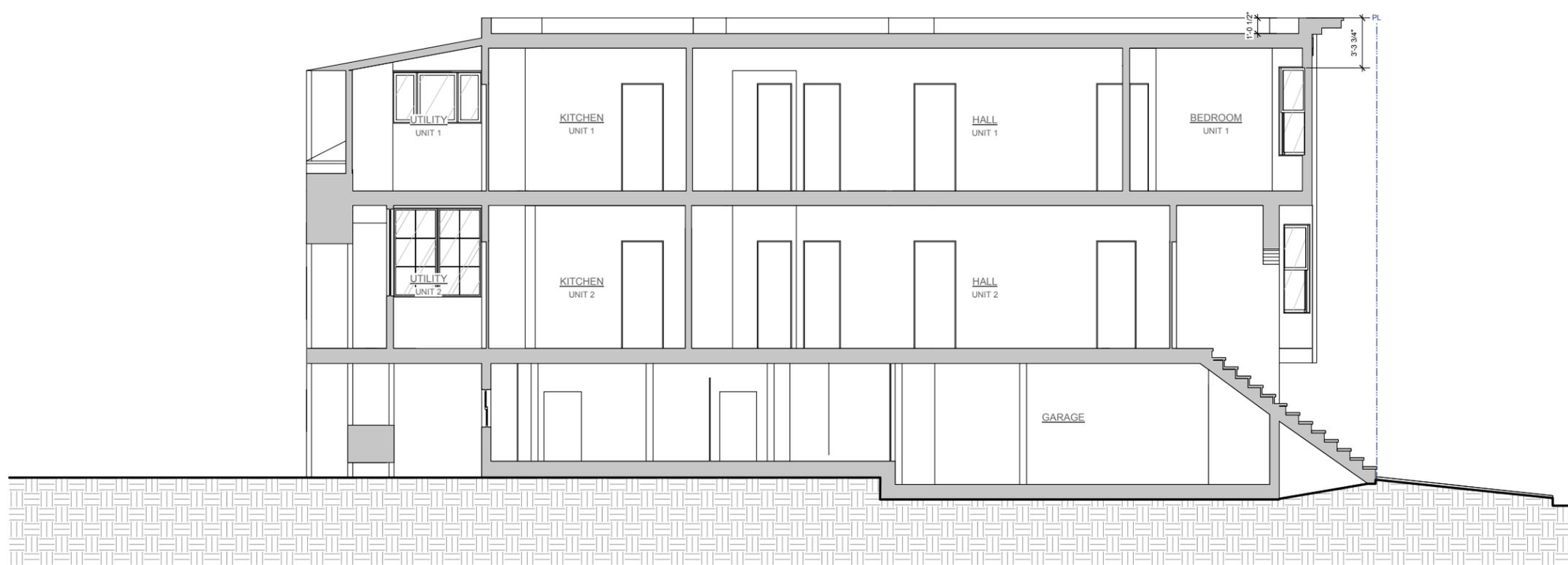
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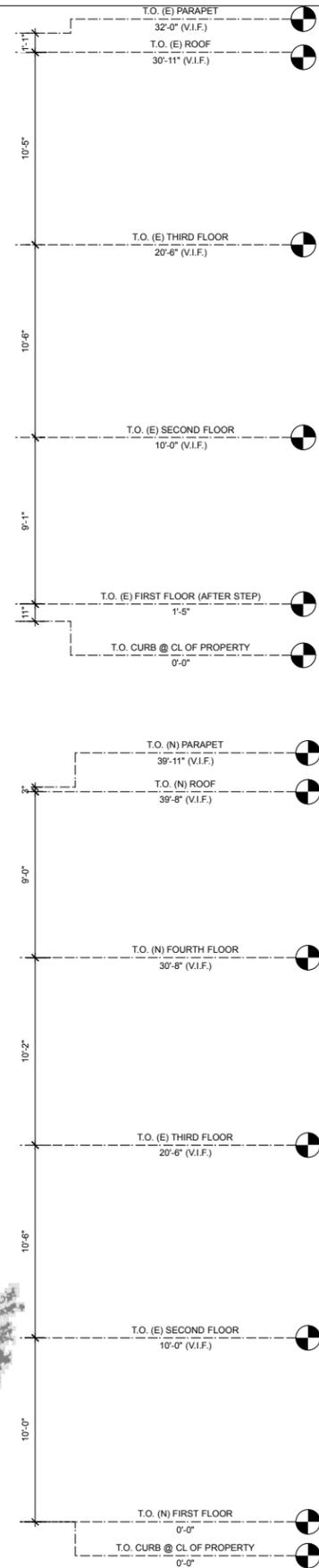
EXTERIOR ELEVATIONS



1 EXISTING BUILDING SECTION
Scale: 1/4" = 1'-0"



2 PROPOSED BUILDING SECTION
Scale: 1/4" = 1'-0"



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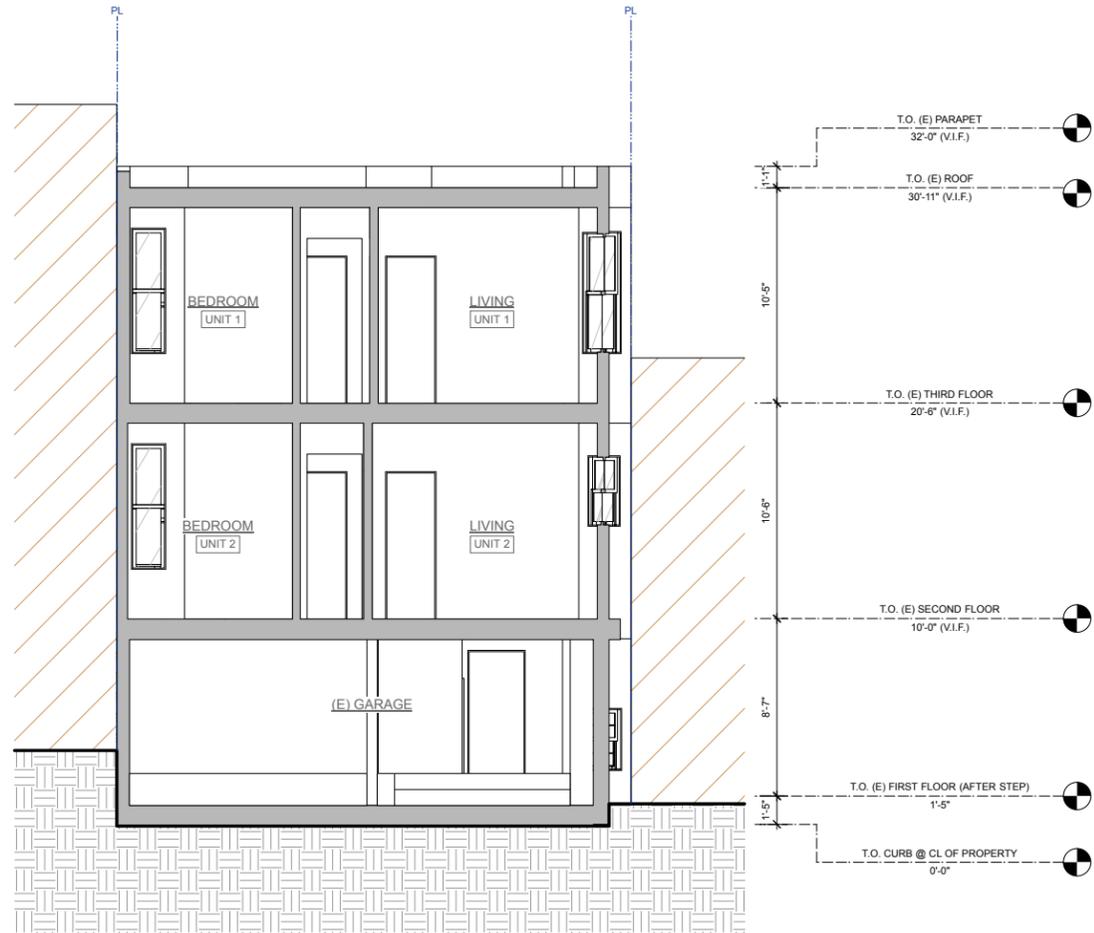
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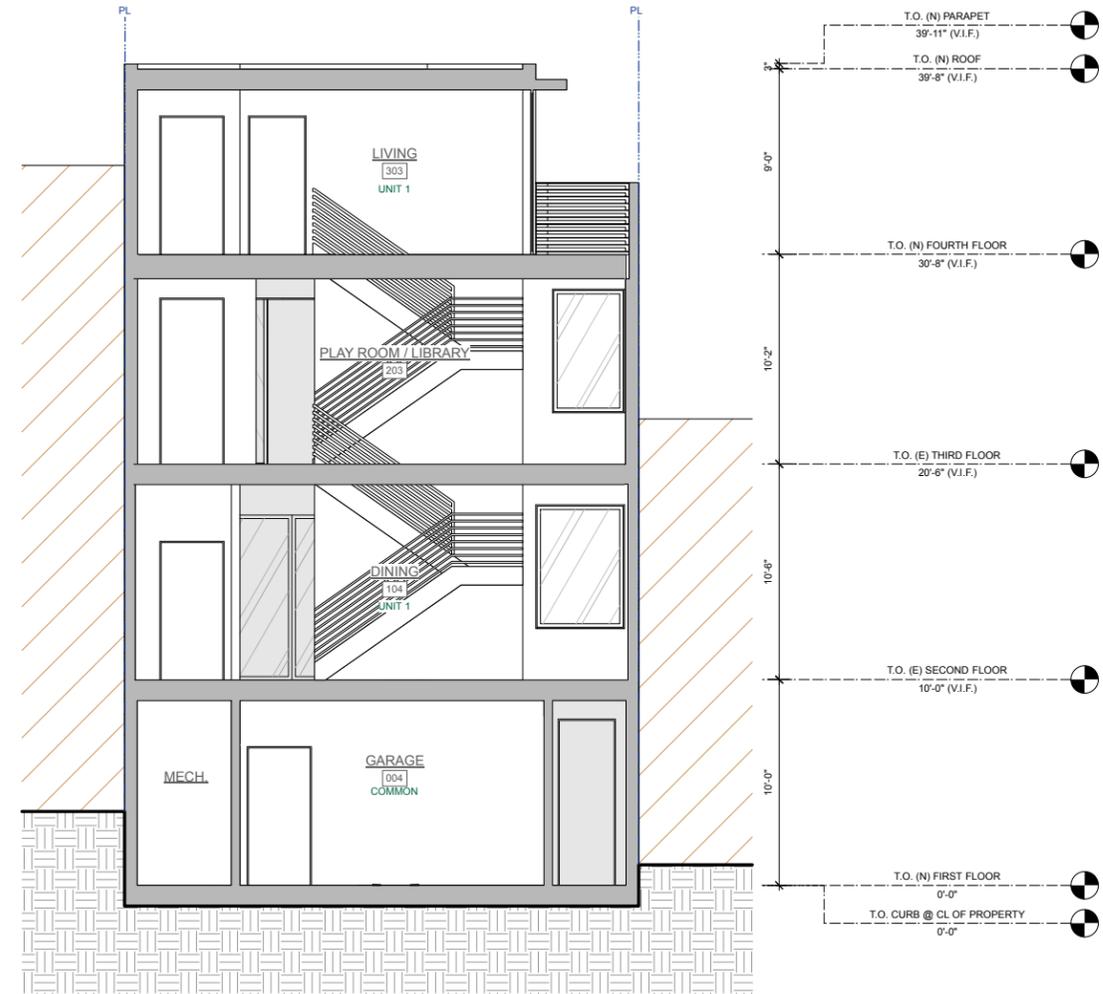
project name :
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SECTIONS

A3.0



1 EXISTING BUILDING SECTION
Scale: 1/4" = 1'-0"



2 PROPOSED BUILDING SECTION
Scale: 1/4" = 1'-0"

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1 FRONT EXTERIOR PERSPECTIVE: LOOKING NORTH
 A6.0 SEE SHT. A1.0 FOR VIEWER POSITION



2 REAR EXTERIOR PERSPECTIVE: LOOKING NORTHWEST
 A6.0



3 REAR EXTERIOR PERSPECTIVE: LOOKING SOUTHWEST
 A6.0



4 REAR AERIAL PERSPECTIVE
 A6.0

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1 FRONT PERSPECTIVE OF PROJECT FROM ADJ. BUILDING: 3936 - 3942 26TH ST.
 A6.1 SEE SHT. A1.0 FOR VIEWER POSITION



2 REAR PERSPECTIVE OF PROJECT FROM ADJ. BUILDING: 3936 - 3942 26TH ST.
 A6.1



3 FRONT PERSPECTIVE OF PROJECT FROM ADJ. BUILDING: 3928 26TH ST.
 A6.1 SEE SHT. A1.0 FOR VIEWER POSITION



4 REAR PERSPECTIVE OF PROJECT FROM ADJ. BUILDING: 3928 26TH ST.
 A6.1

3932 - 3934 26TH ST. REMODEL & ADDITION
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project name :
 3932 - 3934 26TH ST. REMODEL & ADDITION

Flores, Veronica (CPC)

From: Patricia Heldman <sfshrinkpfh@aol.com>
Sent: Sunday, January 22, 2017 9:21 PM
To: Flores, Veronica (CPC); john@johnlumarchitecture.com;
khoan@johnlumarchitecture.com
Cc: sabrina.bellotti@gmail.com; fbonardi@gmail.com; aquatic7@gmail.com;
stephanusjp@gmail.com; rosenzweig.lynn@gmail.com; Ffarm@sbcglobal.net;
jminamoto01@yahoo.com
Subject: Re :Project 3932-3934 26th Street Remodel & Addition

I am the property owner at 3928-26th Street, the structure immediately adjacent , on the east, to the proposed remodel/addition and I have several concerns about the impact of the plan for remodel.

As the resident immediately adjacent to the East, the addition is likely to decrease the light on the West side of my property and yard. However, of more concern is the 4th floor extension and deck which will over look the West & North aspect of my property and compromise my privacy. Both my kitchen and bathroom have windows that face to the West.

Another concern is that the proposed design & stark facade is not in keeping with the other homes on the block. It does not appear that the plan makes any attempt to incorporate any architectural details that would provide continuity with other homes on the block.

Noe Valley and this 26th Street block has always been family friendly. This proposal technically converts a 2 unit building into another 2 unit building. However, 1 unit is a very small in-law space while the other unit is an extremely large unit. This design effectively removes 1 unit of potential family living space from the housing pool in Noe Valley.

Thank you for considering my concerns,

Patricia Heldman
3928 - 26th Street
SF, CA 94131

Flores, Veronica (CPC)

From: Paul Dijkstra <stephanusjp@gmail.com>
Sent: Thursday, January 19, 2017 7:05 PM
To: Flores, Veronica (CPC); john@johnlumarchitecture.com;
khoan@johnlumarchitecture.com
Cc: Janice; Sabrina Bellotti; Felice Bonardi; Brian Pritchard; Franco Tarm; Lynn Rosenzweig;
sfshrinkpfh@aol.com
Subject: Letter re project at 26th street, SF

To whom it may concern,

As a homeowner living at 3931 26th street, I would also like to express my disapproval of the plans for the proposed project across the street from my house. My main concern is the proposed top floor addition. It will take away light from our bedroom and living room, as well as when we are outside. Also, the addition of this floor is not at all compatible with the scale of surrounding buildings, will become an eyesore to our block. It would also not preserve the existing visual character of our neighborhood.

I would appreciate if the city would object to the additional top floor.

With kind regards,

Paul Dijkstra

Flores, Veronica (CPC)

From: Janice <jminamoto01@yahoo.com>
Sent: Wednesday, January 18, 2017 10:09 AM
To: Flores, Veronica (CPC); john@johnlumarchitecture.com;
khoan@johnlumarchitecture.com
Cc: Sabrina Bellotti; Felice Bonardi; Brian Pritchard; stephanusjp@gmail.com; Franco Tarm;
Lynn Rosenzweig
Subject: Letter re project at 26th street, SF

My name is Janice Minamoto, and I am a resident at [3933 26th Street](#). I am writing to express my concern with the proposed design of the house across the street from my house. My main concern is the proposed fourth floor for the building, and how this additional floor will reduce light to surrounding properties. Also, the addition of the fourth floor is not compatible with the scale of surrounding buildings and will not preserve the existing visual character of our neighborhood.

Best,
Janice Minamoto

Flores, Veronica (CPC)

From: Lynn Rosenzweig <rosenzweig.lynn@gmail.com>
Sent: Sunday, January 15, 2017 10:57 AM
To: Flores, Veronica (CPC); John Lum; Khoan Duong
Cc: Sabrina Bellotti; Felice Bonardi; Brian Pritchard; stephanusjp@gmail.com; Franco Tarm; Janice
Subject: Letter re project at 26th street, SF

My name is Lynn Rosenzweig and I am a resident at 3931 26th Street. I am writing to express my concern with the proposed design of the house across the street from me. My main concern is the proposed fourth floor for the building, and how this additional floor will affect the light and shadows for the residents surrounding the building. In addition, the proposed design of the building will be out of character with the Noe Valley neighborhood.

Thank you,

Lynn Rosenzweig

Flores, Veronica (CPC)

From: Patricia Acosta <tineo88pa@gmail.com>
Sent: Wednesday, January 25, 2017 7:25 PM
To: Flores, Veronica (CPC); john@johnlumarchitecture.com;
khoan@johnlumarchitecture.com
Cc: rozenzeig.lynn@gmail.com; sabrina.bellotti@gmail.com; fbonardi@gmail.com;
stephanusip@gmail.com; jminamoto01@ayhoo.com; ftarm@sbcglobal.net; Brian
Pritchard
Subject: Addition to 26th Street

To John, Veronica, and Khoan,

My name is Patricia Acosta. I live at 135 Clipper Street, which has a small parking lot contiguous with the backyard of 3932 26th St. I would like to express my concern regarding the proposed addition of 3932/3934 26th Street. I feel that the addition is too large to fit in with the character of our Noe Valley neighborhood. With the fourth floor addition, it will be very overwhelming to the surrounding homes, especially to the one story house right next to it. Our airflow and natural light will be adversely affected by additions as large as the ones proposed.

Thank you,
Patricia Acosta
tineo88pa@gmail.com

Flores, Veronica (CPC)

From: Felice Bonardi <fbonardi@gmail.com>
Sent: Monday, January 23, 2017 8:41 AM
To: Flores, Veronica (CPC); john@johnlumarchitecture.com;
khoan@johnlumarchitecture.com
Cc: Sabrina Bellotti; Brian Pritchard; Paul Dijkstra; rosenzweig.lynn@gmail.com; Franco Tarm; Janice; Patricia Heldman
Subject: Re: Project 3932-3934 26th Street Remodel & Addition

Follow Up Flag: Follow up
Flag Status: Flagged

I am the property owner to 3929 26th street, I would like to express my disapproval of the current plans for the proposed project across the street from my house.

I have two main concerns about the impact of the current plan:

- 1) Top floor projection over the street: none of the current homes on the block have such an extended top floor and this would be the first in the area
- 2) the entire design of the facade is completely different from the current houses of the block. I think our job should be to try to preserve the charm and character of Noe Valley (and San Francisco in a whole) rather than destroy it for a modern and stylish look.

Best Regards

Felice Bonardi
3929 26th st
SF CA 94131

On Jan 22, 2017, at 9:21 PM, Patricia Heldman <sfshrinkpfh@aol.com> wrote:

I am the property owner at 3928-26th Street, the structure immediately adjacent, on the east, to the proposed remodel/addition and I have several concerns about the impact of the plan for remodel.

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Thank you for considering my concerns,

Patricia Heldman