

SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis

HEARING DATE: MARCH 23, 2017

Date:	March 13, 2017
Case No.:	2016-000665DRP
Project Address:	578 44 th Avenue
Permit Application:	2016.01.12.6903
Zoning:	RH-1 [Residential House, One-Family]
	40-X Height and Bulk District
Block/Lot:	1501/027
Project Sponsor:	Grant Lee
	GTL Architects
	PO Box 16721
	San Francisco, CA 94116
Staff Contact:	Christopher May – (415) 575-9087
	Christopher.May@sfgov.org
Recommendation:	Do not take DR and approve as revised

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Reception: 415.558.6378

Fax: 415.558.6409

Planning Information: **415.558.6377**

PROJECT DESCRIPTION

The proposal is to construct one- and three-story horizontal additions to the rear of the existing two-story single-family dwelling. The project also proposes a 3rd floor vertical addition above the existing building, set back approximately 10 feet from the main front wall. Interior modifications are also proposed that would increase the total gross floor area from approximately 1,629 square feet to 3,360 square feet. The height of the building would increase from approximately 17 feet to 22 feet. The project would retain the one existing parking space located in the below-grade garage.

SITE DESCRIPTION AND PRESENT USE

The project site is a rectangular-shaped lot located on the east side of 44th Avenue near Anza Street in the Outer Richmond neighborhood, and is developed with a one-story-over-garage single-family dwelling constructed in 1915. The lot is approximately 25 feet wide and 120 feet deep and is located within an RH-1 (Residential House, One-Family) zoning district. The subject lot is approximately 3,000 square feet and is considered a key lot, in that its south side lot line abuts the rear lot lines of four properties fronting Anza Street.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

This portion of the Outer Richmond neighborhood is zoned RH-1(Residential House, One-Family) and is characterized primarily by two-story single-family homes largely constructed from the 1920s to the 1940s. Buildings on the west side of 44th Avenue directly across from the subject property are generally two-story single-family dwellings, as are the dwellings to the north, on the east side of 44th Avenue. This block of 44th Avenue slopes down fairly significantly from Geary Boulevard in the north to Anza Street in the south. Immediately to the south, directly adjacent to the subject property, are two 3-story duplexes - one fronting 44th Avenue, and one on the corner of 44th Avenue and Anza Street. To the east of the subject

property, abutting its rear lot line, is a three-story, single-family dwelling fronting 43rd Avenue. The remainder of the dwellings fronting 43rd Avenue are two stories in height.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	November 14, 2016 – December 14, 2016	December 12, 2016	March 23, 2016	99 days

HEARING NOTIFICATION

ТҮРЕ	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	March 13, 2017	March 13, 2017	10 days
Mailed Notice	10 days	March 13, 2017	March 13, 2017	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	-	5 (including DR Requestor)	-
Other neighbors on the			
block or directly across	-	10	-
the street			
Other neighbors		15	
Neighborhood groups	-	-	-

As of March 13, 2017, Planning Department staff has received 30 letters in opposition to the project, including the DR Requestor. The concerns raised by those in opposition relate primarily to the height and massing of the proposed addition, the adequacy of the number of proposed off-street vehicular parking spaces, and the potential impact the project would have on the midblock open space and access to light and air.

DR REQUESTOR

Fred Sakamoto, member of 5200 Anza Block San Francisco SAFE and owner of 5232 Anza Street, the rear lot line of which abuts the south side lot line of the subject property.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Application*, dated December 12, 2016, DR Requestor Submission #2, dated January 13, 2017, and DR Requestor Submission #3, dated March 13, 2017.

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

See attached Response to Discretionary Review, dated January 20, 2017.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class 1 - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Team considered the DR Application on January 25, 2017, and recommended that the approximately 9-foot deep, one-story horizontal rear extension be removed such that no portion of the proposed addition extends beyond the rear wall of the adjacent building to the north. The RDT also recommended that the existing 5'-5 ½" south side setback, which abuts the DR Requestor's rear lot line, be applied to all portions of the proposed addition. The project sponsor reduced the massing of the addition accordingly, and Planning Department staff therefore determined that the revised project does not contain or create exceptional or extraordinary circumstances. Specifically, the DR Requestor's issues regarding the loss of light, privacy and access to the midblock open space are neither extraordinary nor exceptional as the 5'-5 ½" side setback provides a substantial buffer from the rear façade of the DR requestor's property. Furthermore, the elimination of the proposed one-story horizontal rear extension will allow for the retention of the large existing tree in the rear yard of the subject property, about which many neighbors voiced concerns.

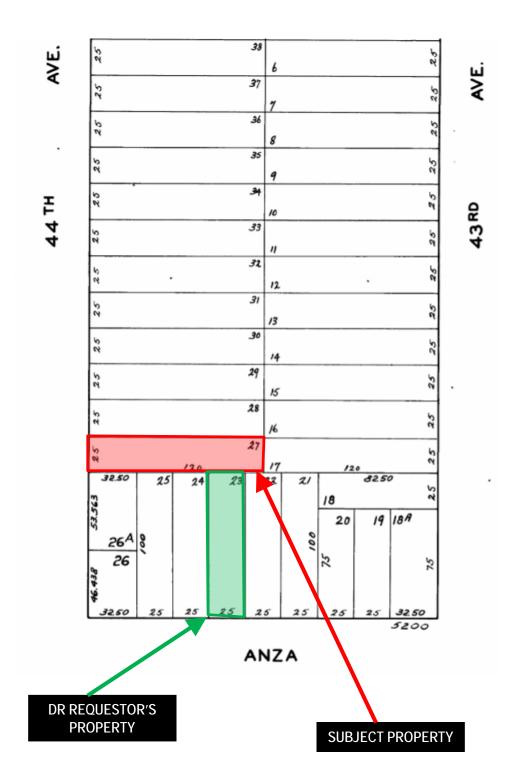
Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.

RECOMMENDATION: Do not take DR and approve project as revised

Attachments: Block Book Map Sanborn Map Zoning Map Aerial Photographs Context Photographs Section 311 Notice DR Application dated December 12, 2016 DR Requestor Submission dated January 13, 2017 DR Requestor Submission dated March 13, 2017 Response to DR Application dated January 20, 2017 Public Correspondence Reduced Plans

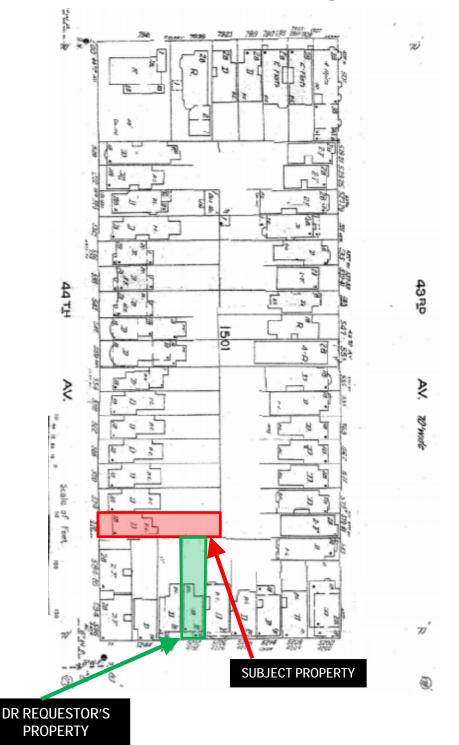
EW: G:\Documents\DRs\578 44th Ave\DR Analysis - Abbreviated.doc

Parcel Map



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Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



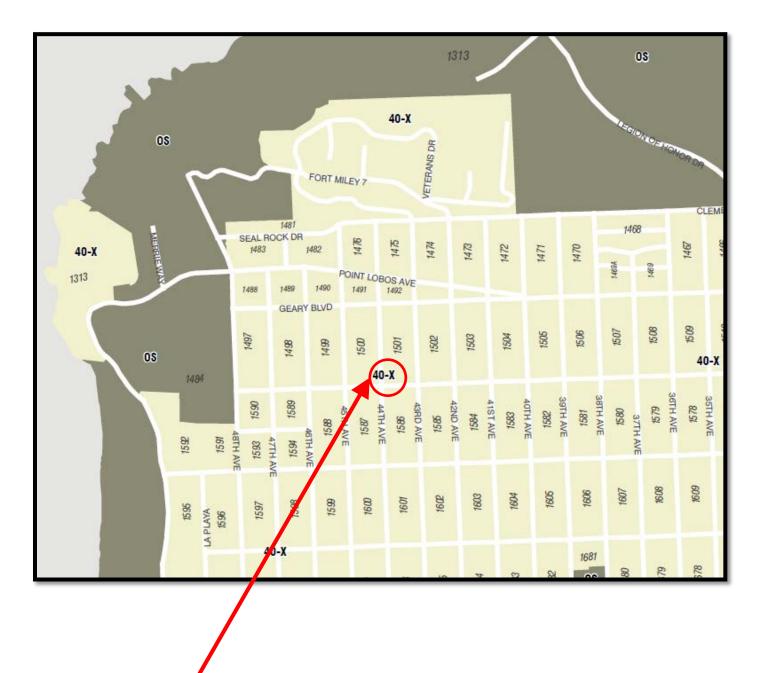
Zoning Map



SUBJECT PROPERTY

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Height & Bulk Map



SUBJECT PROPERTY

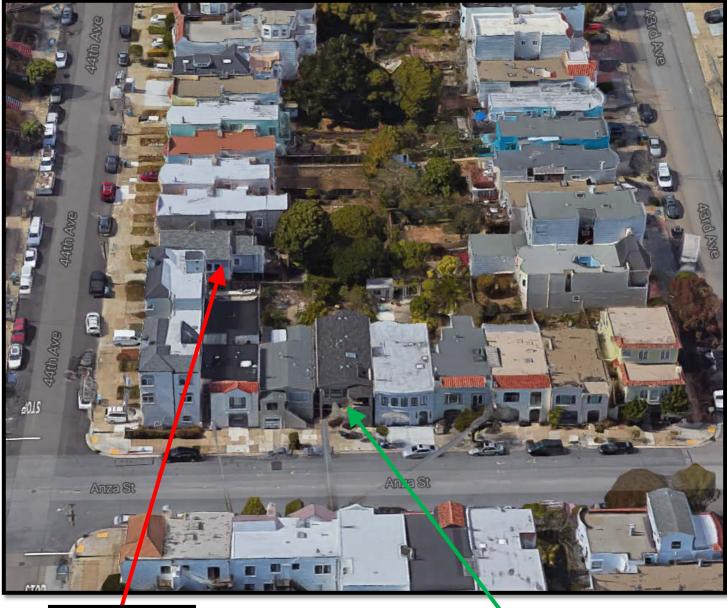
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Aerial Photo (Facing East)





Aerial Photo (Facing North)



SUBJECT PROPERTY

DR REQUESTOR'S PROPERTY



Aerial Photo (Facing West)



DR REQUESTOR'S PROPERTY SUBJECT PROPERTY



Site Photo









SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco. CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **January 12**, **2016**, the Applicant named below filed Building Permit Application No. **2016.01.12.6903** with the City and County of San Francisco.

PROPERTY INFORMATION		APPL	APPLICANT INFORMATION		
Project Address:	578 44 th Avenue	Applicant:	Grant Lee, GTL Architects		
Cross Street(s):	Anza Street	Address:	PO Box 16721		
Block/Lot No.:	1501 / 027	City, State:	San Francisco, CA 94116		
Zoning District(s):	RH-1 / 40-X	Telephone:	(415) 361-7641		

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE					
Demolition	New Construction	□ Alteration			
Change of Use	Façade Alteration(s)	□ Front Addition			
Rear Addition	□ Side Addition	Vertical Addition			
PROJECT FEATURES	EXISTING	PROPOSED			
Building Use	Residential	No Change			
Front Setback	13 feet	No Change			
North Side Setback at Rear	4 feet (2 nd floor)	0 feet (Ground Floor), 4 feet (2 nd & 3 rd Floors)			
South Side Setback at Rear	5 feet (2 nd floor)	1 feet (Ground Floor), 3 feet (2 nd & 3 rd Floors)			
Building Depth	47 feet	67 feet			
Rear Yard	60 feet	40 feet			
Building Height	17 feet	22 feet			
Number of Stories	2	3			
Number of Dwelling Units	1	No Change			
Number of Parking Spaces	1	No Change			
	PROJECT DESCRIP	PTION			

The proposal is to construct 1- and 3-story horizontal additions to the rear of the existing 2-story dwelling. The project also proposes a 3rd floor vertical addition above the existing building, set back approximately 10 feet from the main front wall. Interior modifications are also proposed. See attached plans.

The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.

For more information, please contact Planning Department staff:

Planner:	Christopher May
Telephone:	(415) 575-9087
E-mail:	christopher.may@sfgov.org

Notice Date: 11/14/2016 Expiration Date: 12/14/2016

中文詢問請電: 415.575.9010 | Para Información en Español Llamar al: 415.575.9010 | Para sa Impormasyon sa Tagalog Tumawag sa: 415.575.9121

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. We strongly urge that steps 1 and 2 be taken.

- 1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
- 2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at <u>www.communityboards.org</u> for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
- 3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at <u>www.sfplanning.org</u>). You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at <u>www.sfplanning.org</u>. If the project includes multiple building permits, i.e. demolition and new construction, a <u>separate request</u> for Discretionary Review must be submitted, with all required materials and fee, for <u>each</u> permit that you feel will have an impact on you. Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at <u>www.sfplanning.org</u>. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

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APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME:	· · · · · · · · · · · · · · · · · · ·	
Fred Sakamoto / 5200 Anza Block San Francisco SAFE		
DR APPLICANT'S ADDRESS:	ZIP CODE:	TELEPHONE:
5232 Anza	94121	(800)9408094

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: HBD Inc

ADDRESS.			-	ZIP CODE:	TELEPHONE:
2123 27th Ave				94116	() unknown
CONTACT FOR DR APPLICATI	ON:		· ·		
Same as Above				•	
ADDRESS:		1. F 11. A 14	· · · · ·	ZIP CODE:	TELEPHONE:
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2. Location and Classification

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CK/LOT:		LOT AREA (SQ FT):	ZONING DISTRICT:	HEIGHT/BULK DISTR	
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3. Project Description

Change of Use Change of Hours New C	Construction 🛛	Alterations 🔀	Demolition 🛛	Other
Additions to Building: Rear 🛛 Front 🔀	Height 🔀	Side Yard	:	
Present or Previous Use:				
Proposed Use: rear and side yard addition, add th	hird floor, rear d	eck, facade altera	tion	
2016.01.12.6903 Building Permit Application No.	- ·		Filed: 01/12/201	6
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CITY & COUNTY OF S.F. PLANNING DEPARTMENT NEIGHBORHOOD PLANNING ٩,

pplication for Discretionary Revie

CASE NUMBER: or Staff Use only

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

 What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

Guideline: Articulate the building to minimize impacts on light and privacy to adjacent properties. Five foot setbacks from side lot line at grade, second floor, and third floor. Original comments of RDT 5/16/16- 4 1/2 feet setbacks at all side sides, including the ground story, second and third floor along south and north property lines. Neighbor's request five foot setbacks. 5/5/5 to eliminate light and air tunnel effect on Anza street neighbors from 44th Ave to 43rd Ave per precedent.

No build out over existing sunroom. Eliminate south lot line windows which severely compromise privacy of above.

See attached DR application for more details

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

The out of scale rear yard addition will leave Anza street residents east of 5244 Anza to the Corner of 44th feeling boxed in and cut off from the mid-block open space, air flow, especially prevailing ocean breeze will be cut off as an massive stucco air damn will arise from on the corner of Anza and 44th. Visual open space which is a significant community amenity will be severely compromised.

Front façade fails to provide visual interest. Proposed buildings third floor front and side windows on second and third floor do not contribute to the architectural character of the building and or the neighborhood. The strong horizontal roof lines, enhanced by lack historical side setbacks only serve make the 4 buildings south of 574 44th Ave appear to be one big monolithic complex. Neighborhood existing visual character is not preserved with building of common scale, or architectural elements.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

3. Require 5/5/5 setbacks. Articulate gabled roof line on third story instead of flat roof to parallel existing gabled roof line to remain. No build out over existing sunroom, 15 foot set back from front 3rd floor addition. These changes will allow more air and light onto the Anza street neighbors and produce a scale with a majority of the block. Property can be developed and square feet increased to scale with majority of the block without removing any existing trees. Per Residential Design Guidelines" incorporating landscaping and privacy screens into the proposal" Tree to be removed adds natural privacy screen as indicated in Residential Guidelines. Do not remove massive existing tree closest to existing house. Removal of existing tree will be an "Unusual Impact on privacy" per Residential Design Guidelines for Anza St neighbors east of 5244 Anza, especially 5232 Anza interior living spaces as rear of house is primarily glass.

See attached DR application for more details

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	X	
Did you discuss the project with the Planning Department permit review planner?	X	
Did you participate in outside mediation on this case?	· 🔲	X

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

Members of the 5200 Anza San Francisco Safe group met with the representatives of HBD (the applicant), on short notice during the Pre Planning meeting. Neighbors had many concerns which were ignored thought out the planning process as the corporation consistently tried to maximize square footage to the detriment of the Residential Design Guidelines. One example, recorded in Pre Planning Meeting minutes hearing -was concern of lack of additional parking spaces. A young woman representing corporation said there was "plenty of parking in the driveway for two cars". Planning Code Section 142 requires that all off-street parking be screened from view. In addition, logically the slope and dimensions of the driveway make that solution highly unlikely. Written comments from Grant Lee (architect) at Pre Planning meeting minutes are just as nonsensical "can put (2) if a structure". It has been obvious that the corporate applicant wanted to force neighbors to file Discretionary Review- and was not interested in neighbor's feedback. (see attached) The neighbor's concerns over the scale of the property and compatibility were documented similarly by Mr. Lee in Pre Planning minutes "median area of neighborhood 1410 SF per "property profile". In discussion with the planner Christopher May it is obvious to RDT, see minutes dated 5/12/16, the planning staff, and the neighbors that the corporation has sought from the beginning to maximize building in terms of footprint and square footage, note original proposal after Pre Planning meeting was for 1/1/0 setbacks for an even larger building, to the detriment all other considerations.

Applicant's Affidavit

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Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Fred Sakcount Signature:

12/12/16

Date:

Print name, and indicate whether owner, or authorized agent:

Fred Sakamoto Owner / Authorized Agent (circle one)

RADIUS SERVICES 1221 HARRISON ST #18 SAN FRANCISCO CA 94103 415-391-4775

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BLOCH	(LOT	OWNER	OADDR	CITY	STAT	E ZIP
0001	001	RADIUS SERVICES	· · ·			
0001	002		· · · · · · · · · ·	· · · · ·		
0001	003	RADIUS SERVICES	1221 HARRISON ST #18	SAN FRANCISCO	CA	94103
0001	004	GRANT LEE	PO BOX 16721	SAN FRANCISCO	CA	94116
0001	005					· •
1500	.014B	M & S MILLER	575 44TH AV	SAN FRANCISCO	CA	94121-2538
1500	014C	JOHN NEEDHAM	579 44TH AV	SAN FRANCISCO	CA	94121-2538
1500	015	NGAR GEE	583 44TH AV	SAN FRANCISCO	CA	94121-2538
1501	016	B & K COYLE	575 43RD AV	SAN FRANCISCO	CA	94121-2534
1501	017	AUYOUNG TRS	579 43RD AV	SAN FRANCISCO	CA	94121-2534
1501	017	OCCUPANT	581 43RD AV	SAN FRANCISCO	CA	94121-2534
1501	022	D & C NISA TRS	5226 ANZA ST	SAN FRANCISCO	CA	94121-2549
1501	023	FRED SAKAMOTO	5232 ANZA ST	SAN FRANCISCO	CA	94121-2549
1501	024	R & M ZHANG	5238 ANZA ST	SAN FRANCISCO	CA	94121-2549
1501	025	V & C KHA	5244 ANZA ST	SAN FRANCISCO	CA	94121-2549
1501	026A	SETO TRS	3050 21ST AV	SAN FRANCISCO	CA	94132-1513
1501	026A	OCCUPANT	584 44TH AV	SAN FRANCISCO	CA	94121-2539
1501	026A	OCCUPANT	586 44TH AV	SAN FRANCISCO	CA	94121-2539
1501	027	HBD UNITED INC	2123 27TH AV	SAN FRANCISCO	CA	94116-1730
1501	027	OCCUPANT	578 44TH AV	SAN FRANCISÇO	CA	94121-2539
1501	028	WU & ZHANG	3000 24TH AV	SAN FRANCISCO	CA	94132-1538
1501	028	OCCUPANT	574 44TH AV	SAN FRANCISCO	CA	94121-2539
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THE INFORMATION CONTAINED HEREIN WHILE NOT GUARANTEED HAS BEEN SECURED FROM SOURCES DEEMED RELIABLE



SAN FRANCISCO PLANNING DEPARTMENT

RESIDENTIAL DESIGN TEAM REVIEW

		CA 94103-2479
DATE: April 7, 2016	RDT MEETING DATE:May 12, 2016	- Reception: 415.558.6378
PROJECT INFORMATION:		Faur
Planner:	Chris May	Fax: 415.558.6409
Address:	578 44 th Ave	
Cross Streets:	Anza & Geary	Planning
Block/Lot:	1501/027	415.558.6377
Zoning/Height Districts:	RH-1/40-X	
BPA/Case No.	2016-01-12-6903	•
Project Status	🗌 Initial Review 🛛 Post NOPDR 🗌 DR Filed	•
Amount of Time Req.	🗌 5 min (consent) 🛛 15 minutes	
	30 minutes (required for new const.)	

1650 Mission St.

Suite 400 San Francisco,

Project Description:

3-story rear horizontal addition and 1-story vertical addition to existing 2-story dwelling

Project Concerns (If DR is filed, list each concern.):

Project abuts building with 4 ½-foot side setback but does not provide any setbacks for either the 1-story or 3-story rear addition. Project abuts open rear yard on south side but provides only 1 foot side setback for both 1-story and 3-story portions.

RDT Comments:

- Provide a 4.5 foot side setback, to grade, beyond the edge of the northern neighbor's 2nd story porch. Mirroring the southern neighbor's notch.
- Correct plans (A-003) to show accurate existing side setbacks along the southern property line, the proposal should retain those setbacks.
- The proposed third story should not extend beyond the rear building wall of the existing 2 story addition. A deck above the lower level is appropriate if it does not require a fire wall. Similarly, the rearmost deck, above the ground level, should be revised to eliminate the need for a fire wall.

CASE NUMBER: For Staff Use only

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

REQUIRED MATERIALS (please check correct column) Application, with all blanks completed	DR APPLICATION
Address labels (original), if applicable	
Address labels (copy of the above), if applicable	
Photocopy of this completed application	
Photographs that illustrate your concerns	
Convenant or Deed Restrictions	
Check payable to Planning Dept.	
Letter of authorization for agent	
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<u>R</u>

NOTES:

Required Material.

🖾 Optional Material.

O Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street,

RECEIVED

DEC 1 2 2016

CITY & COUNTY OF S.F.

Date:

For Department Use Only Application received by Planning Department:

Issue #1:

Proposed structure will have setbacks inconsistent with RDT guidelines and with surrounding properties. Other houses on the block have a consistent pattern of 5' setbacks on either side of the existing rear protrusion. RDT minutes from May 6, 2016 indicate that minimum setbacks should be 4.5' on all sides. The architect and HDB United Inc (HDB) chose to ignore the RDT guidelines to maximize square feet. Additionally, previous Discretionary Review findings for RH1 zoning in the Outer Richmond have required 5' setbacks of existing rear bumpouts (permit application 2015.05.12.6116).

Issue #2

The third floor vertical addition should not extend over the existing sunroom bump-out.

Issue #3

The ground floor and second story should not extend beyond the existing rear wall sunroom bump-out.

Issue #4

The proposed project is just too big. Planning Commission found in case:

2015-007103DRP (**HEARING DATE OCTOBER 20, 2016**) that the proposed 3600 sq. ft.home was just too big for the 3000 sq. foot lot, 3 streets away under the same RH-1 zoning. See permit #2015.05.12.6116 -567 47th Ave. Specifics are listed below:

Block 1497 / Lot 16A Lot Dimensions 120 x 25 Lot Area Sq 3000 Zoning RH-1, Front Setback of third floor addition: 14'-6"

Compare to proposed:

Block 1501 / Lot 27 Lot Dimensions 120 x 25 Lot Area Sq 2996 Zoning RH-1 Setback of third floor addition: ??? "Approximately 10 feet"

Same size lot, same zoning, same neighborhood, only the corporation project sponsor wants to build a home 140% bigger than the one that was rejected at the Planning Commission Hearing (2015-007103DRP). Any prudent person would conclude from reading the neighbor's letters, emails and petitions (2015-007103DRP) that the house was just too big. So it is of no surprise to anyone that Project Planner Christopher May in conversation with the DR requestor 12/9/16 indicated that the majority of the feedback he received to date on this project was "that the house was just too big".

The proposed 5000 sq. foot project is just ridiculous. The proposed massing and scale are disproportionate with the surrounding neighborhood. There are no other 5000 square foot homes with one car garage on block 1501 or on 44th Ave bounded on the south by Anza and North by Geary. Property profile of block states average square foot

house of 1274. No precedent for a house on this block of 5 bedrooms, 2 living rooms, media room, office, etc.

Issue #5

Non-permitted extensions may exist on an adjacent property (574 44th Ave). The project proposal dimensions may have been derived from these non-permitted additions, which will further degrade the historical pattern of the block, neighborhood, and district. The accuracy of the permitted dimensions needs to be verified <u>by</u> <u>inspection</u> prior to the issuance of the permit. The transparency, legitimacy and legality of the process depend on accurate and legal dimensions.

Issue #6:

The rear deck of the proposed construction should match the rear deck of the existing deck and not extend further into the rear of the back yard.

Issue #7:

The project proposes over 400% increase in square footage with no additional parking spaces. Street parking is already extremely difficult on the block; at 7:00 am every available space is taken. One garage space is inadequate for a project of this size. Parking is not easy in this neighborhood, where people have resorted to parking across their driveways (in the street) to find room. The proposed project would create even more imbalance to the parking supply / demand equation. Neighbors request at least 2 garage spaces be provided for. See (picture)

Issue #8:

The project proposes removal of a large tree of significant value to the neighborhood. This tree is visible from both 44th and Anza Streets, and is only one of four such trees. HBD and the architect chose to not include this tree in the original site plan. The rendering of this tree on the 311 site plan is inaccurate in both size and position, and is almost impossible to decipher. This site plan description of this tree (specifically the one closest to the deck on the site plan) needs to be accurate. The tree should not be removed; it bolsters nearby property values and provides privacy screen. The city has funded several expensive greenery initiatives in the area, and destruction of this large (and drought-resistant) tree is counterproductive to the city's efforts. The life of this tree is at risk.

Issue #9:

Proposed rear yard addition will affect the light and air flow of neighbors. This block enjoys a consistent and large midblock open space. The proposed design makes no attempt to preserves the midblock open space. The new deck proposed extends beyond the adjacent house 5474 44th Ave.

Issue #10

No property line windows looking out over Anza street properties. Which will look directly into bedrooms homes.

Issue #11: The Architect chose not to dimension the plan set submitted. It does not appear that the third story addition is set back the required 15 feet. Architect should be required to submit dimensioned drawings. Note dimension of setback should have been noted on s311 notice plan.

Issue 12: Architectural drawings sent to the neighbors by Grant Lee after Preliminary Meeting contain numerous errors, missing rear door on existing rear (east elevation)and prevent the proper evaluation by the neighborhood. Cover page a1, labeled existing house creates the false impression and existing building and creates confusion between proposed and existing. In addition, rear grade of existing conditions are misleading and inaccurate in s.311 drawings meeting which will lead to underperforming structural plans for foundation shoring. In separate but related issue, Architect chose not to show significant grade changes at the property lines for all Anza street properties that abut the proposed project. The principal of side lot line setbacks is most critically important where the extension is against a *downhill* neighbor (like this situation). In these situations, the extension to the side lot line at grade puts the downhill neighbors from 44th Ave to 43rd are below grade of the subject property and therefore, by definition downhill from the proposed project.

Issue #13

The project raises concerns related to three matters contained in the PRIORITY POLICIES GENERAL PLAN FINDINGS.

PRIORITY POLICIES GENERAL PLAN FINDINGS #3 That the City's supply of affordable housing be preserved and enhanced; Affordable starter homes in Outer Richmond now start at \$1 Million. The proposed project will destroy a great starter home for a young family and replace it with a \$3.5 Million one. Looking at the demolition plan, we see not an outdated interior needing rejuvenation, but rather recently remodeled features all to torn down and taken to the dump: granite countertops, stainless steel appliances, new bathrooms straight out of Restoration Hardware, newer roof, refinished wood floors and new exterior paint.

Not only is the demolition plan a complete waste; the proposed project sets an undesirable precedent. The model provided by this project creates strong financial incentive for speculators to purchase and demolish existing single-family residences in the Outer Richmond. This will decrease the housing supply for residents and young families, particularly those looking for starter homes in the San Francisco area. This is directly counterproductive to the DBI's 'Richmond District Strategy.' "The Richmond now has one of the highest rates of evictions amongst San Francisco neighborhoods; lower income households are leaving; and there is still a wide racial disparity in income earned per person."

"The Richmond District Strategy aims to direct this change to benefit the community as the

neighborhood evolves." See link below:

http://sf-planning.org/richmond-district-strategy#events

The formula of purchasing perfectly good available starter homes, applying for maximum square footage increase permits, with little if any earthquake retrofit or foundation improvements, on shoe string \$60 a sq. ft. budget (per plan sponsor) is both dangerous and counterproductive. PRIORITY POLICIES GENERAL PLAN FINDINGS #6 That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

PRIORITY POLICIES GENERAL PLAN FINDINGS #2

That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

Project demolishes the existing home and meets the current San Francisco Planning Departments definition of "Tantamount to Demolition". Risks include "potential for inferior design"

"Department is proposing to remove the Tantamount to Demolition calculations from the Planning Code and replace them with a standard that would <u>limit the size of the finished</u> <u>project to be more consistent with neighborhood character</u>. The Department believes that <u>limiting the overall size of a single family home can ultimately help balance the</u> <u>character of the neighborhood</u> with a property owner's rights to improve and expand their property. This new standard will provide clarity for both project sponsors and their neighbors and will streamline the overall process; effectively saving time for both sponsors and staff." See link:

http://sf-planning.org/residential-expansion-threshold

Formula is simple: Step 1: Buy \$1,000,000 home. Step 2: hire architect/paper pusher who will attempt to ram through the biggest possible square footage on the neighbors/ RDT/ Planning Department/ Planning Commission. Step3: hire cheap substandard contractor to spend \$300,000 tearing down a perfectly good home, and building a new 5000 square foot one (figure provided by project sponsor). Step 4: Reduce the City's supply of affordable homes by one. Now you have \$1,300,000 plus carrying costs for 1 year and architect fees of \$5000. Call it \$1,330,000 Step 5: Flip house for \$600- \$700 a square foot. Sell for \$3- 3.5 Million. Result: a model where every tenant in a single family house, especially one story over garage will now be faced with eviction because the landlord can make \$2 Million in one year if the owner can finance the project himself. If owners can't finance such new additions, the price of that one story over garage RH-1 home still goes to \$2 Million as developers will still be happy to make \$1 Million in 18 months- pricing even more families out of the starter-home market. Notification criterion of 150 feet, will only further accelerate this process as many residents of neighborhoods are not organized active in San Francisco SAFE. The open question then becomes, is "New Normal" a precedent consistent with existing City mandates previously listed.

"The intention behind Section 317 is to address the ongoing shortage of affordable housing. The Department recognizes projects that are currently designing to the Tantamount to Demolition thresholds are not more affordable, and as such the Department is proposing to separate the policy issue of large alterations from the preservation of existing housing. As part of this effort, projects that would be subject to this new threshold would be reviewed in a new code section."

Issue #14

All signs indicate that the property is a 'spec house,' intended to be sold for maximum profit, with no regard to the architectural standards in the neighborhood.

The design of the front of the house detracts from the existing gable roof, and does not add to the street presence. There are zero examples of gable roof with a, rectangularboxy vertical addition plopped on top on the block from the street on 44th Ave bounded by Anza and Geary. In fact, there are two examples of new construction projects- @ 595 44th Ave, 94121 and 554 44th Ave, 94121 where gabled original roof lines were respected and carried to the rear of the properties. Eleven out of forty-four homes on the block have gabled roofs or gabled roof-facades as their central design element.

The respectfully ask the Planning Commission to reject this plan.

After the meeting with Plan Sponsor's architect on 3/6/17 and reviewing the plans dated 3/3/17, the DR requestor and the concerned neighbors fully support and request the implementation of the original RDT Comments dated 5/16/16 which confirm, support and validate our concerns from the Pre-Application Meeting throughout the entire process:

- Provide a 4.5 foot side setback, to grade, beyond the edge of the northern neighbor's 2nd story porch. Mirroring the southern neighbor's notch. Retain existing side setbacks along the southern property line, the proposal should retain those setbacks. - The proposed third story should not extend beyond the rear building wall of the existing 2 story addition.

-Keep existing setbacks on Northside of house especially at the ground floor per the 5/16/16 RDT meeting comments. This this suggestion would provide the dual function of keeping the building massing and square footage more consistent with neighborhood and also help protect against the sure destruction if not killing of the existing tree closest to the rear of the subject property, an ideal privacy screen which the sponsor agreed to preserve, but has given no concrete assurance to the level of protection from proposed construction. The likelihood of this tree surviving is low.

In the latest iteration, RDT meeting 1/23/17 it appears the RDT under Project Sponsor pressure backed off some its initial positions in exchange for reducing the ground floor footprint into the strong midblock presence. We strongly disagree with this decision to abandon 5/16/16 comments.

Concerned neighbors believe this case strongly parallels two previous DR cases: (1) First being 2015-007103DRP (**HEARING DATE OCTOBER 20, 2016**, Project Address: 567 47th Ave.) Permit Application: 2015.05.12.6116. Detailed under issue #4 of our DR. (2) Case No.: 2015-001725DRP listed below of the same date.

Building Application requires that Plan sponsor list specific concerns of neighbors during Pre-Application Meeting and list changes made as a result of those concerns. The Sponsor's response to that requirement in their application is both informative and indicative their contempt for concerns of the neighbors and the legitimacy of the process.

The epicenter of the impact and damage of the proposed project falls Victor Luu and his family at 5244 Anza Lot 25 of Block 1501. This case draws significant parallels, to DR requestor Diane Merlino, 691 Kansas Street, San Francisco CA 94107 Case No.: 2015-001725DRP Project Address: 2018 19th Street Permit Application: 2015.02.04.7444. The parallels of the proposed project are (1) both subject properties are key lots. (2) concerned neighbors being blocked in both sides and (3) both proposed projects would create a building wall with a most disturbing view, leaving a massive wall impression that would eviscerate light and air to the concerned neighbor and leave the back yard more like a court yard. (4) **Both DRs' requested setbacks to upper floors of building.**

Suggested modifications include: • Provide setbacks on the upper floors of the building. •

Per Residential Design Guidelines specific to this issue include the following: Guideline: Articulate the building to minimize impacts on light and privacy to adjacent properties (p. 16). Suggested modifications include: • Provide setbacks on the upper floors of the building. •

Proposed Alternative: **Set back third floor 5 feet from second floor on both the southern and northern sides.** This will reduce the Wall and Tunnel effect on the southern neighbors, and also keep open a small aperture of space to allow air to pass through to the southern Anza street neighbors that would otherwise be rendered stagnant by the cork in a bottle effect of the current proposed plan.

Existing view from Victor Luu's backyard - 5244 Anza, Lot 25 Block 1501- **Note: Retaining wall in rear is clearly seen.** Due to the change in grade between the Project Site and lot 25, the proposed building will appear greater as backyard slopes down to Mr. Luu's rear façade.



Note: Project Architect Grant Lee, Bill Hang, Hollie Koo (415) 810 3829, and Dana Wong (415) 810 9681 were invited to view concerned neighbors' concerns from our respective properties and declined to do so as of 3/12/17.

Below picture- View from DR requestor 5232 Anza- proof of retaining wall 3.5 feet



Inconsistencies in the project sponsor's response to DR requestors surrounding these concerns are taken from Sponsors response to DR concern #12.

Dear Chris,

This email is to again clarify on specific issue the rear grade drawings of the subject property are incorrect. I am shocked, but not surprised by the response the project sponsor's architect to DR requestor, 5200 Anza Block SAFE's, questioning the accuracy of his drawings regarding the rear of the building given the facts.

Mr. Lee is still trying to insist that the rear of the adjoining properties is flat. In his response, which you emailed us, he states.

"There is no retaining wall at the base of the neighboring fence which suggests there is little to no slope between the properties. The photo below of 574 -44th Avenue also shows that there is little to no slope"

In his response, Mr. Lee conveniently disregards my residence, and other downhill neighbor's retaining walls in his assertion that a substantial part of the rear of the building including the rear of the building will "little to no slope".

Here is the picture of the retaining wall in my back yard. As you can see- the proposed building will choke off what little light and air my family gets now.

In addition, there are in fact there are other retaining walls on the Anza street properties at rear of the subject property. In addition, here is the photo from 5232 Anza the DR requestor's address, which also clearly show a retaining wall on the fence.



View from DR requestor deck looking at the subject property.



View from rear yard 5208 Anza



View of tree in question of remaining from the DR requestor's rear deck.

How can the tree closest to the deck remain intact when the proposed rear of building will match northern neighbor? 1/3 of the tree's canopy hangs off existing deck, presumed to be cut off?

"Typical rules found in texts and educational materials **estimate root spread as up to 3 × canopy spread** (e.g., Elmendorf et al. 2005) or 1–1.5 × tree height" (e.g., Mariotte, undated.)

"Tree protection zones for sensitive older specimens are prescribed as a ground radius of 0.18 m per cm of trunk diameter (Harris et al. 2004"

Contemporary Concepts of Root System Architecture of Urban Trees, Arboriculture & Urban Forestry 2010. 36(4): 149–159

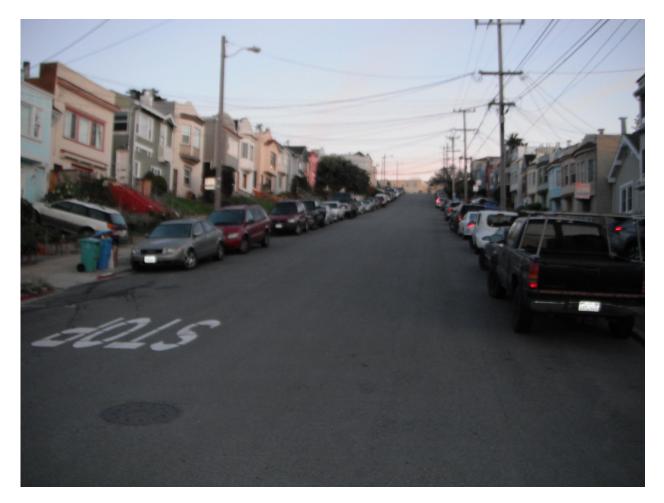
As plan as proposed would clearly cut off at least 1/3 of the root mass and canopy. In the meeting 3/6/2017 dismissed the DR Requestors theory that 1/3 of the root mass and canopy would have to be removed. Sponsors architect said that in his experience the proposed construction would not kill the tree.



View of subject property tree from 571 43rd Ave rear deck. Notice strong midblock presence. Generally accepted principle is the root mass is 3X canopy. Below picture location rear deck subject property.



View of existing tree to remain per plan from Subject property rear deck- proposed rear to cut off?



Parking situation at 7:00am. 44th and Anza not one space and 2 vacant houses under construction

<u>Issue #1:</u>

Proposed structure will have setbacks inconsistent with RDT guidelines and with surrounding properties. Other houses on the block have a consistent pattern of 5' setbacks on either side of the existing rear protrusion. RDT minutes from May 6, 2016 indicate that minimum setbacks should be 4.5' on all sides. The architect and HDB United Inc (HDB) chose to ignore the RDT guidelines to maximize square feet. Additionally, previous Discretionary Review findings for RH1 zoning in the Outer Richmond have required 5' setbacks of existing rear bumpouts (permit application 2015.05.12.6116).

RESPONSE #1:

Architectural plans propose designs and property setbacks which may or may not be approved by the jurisdiction having authority which in this situation is the SF Planning Department.

As I understand, there are numerous approved project precedents for (3) feet setback, as proposed.

<u>Issue #2</u>

The third floor vertical addition should not extend over the existing sunroom bump-out.

RESPONSE #2:

This is the DR requestor's opinion.

<u>Issue #3</u>

The ground floor and second story should not extend beyond the existing rear wall sunroom bump-out.

RESPONSE #3:

The ground floor is allowed by code to be built out to the 25% lot line which it does not. Assuming the proposal does, the second story is set back approximately (18) feet from that line.

Issue #4

The proposed project is just too big. Planning Commission found in case: 2015-007103DRP (**HEARING DATE OCTOBER 20, 2016**) that the proposed 3600 sq. ft.home was just too big for the 3000 sq. foot lot, 3 streets away under the same RH-1 zoning. See permit #2015.05.12.6116 -567 47th Ave. Specifics are listed below: Block 1497 / Lot 16A Lot Dimensions 120 x 25 Lot Area Sq 3000 Zoning RH-1, Front Setback of third floor addition: 14'-6"

Compare to proposed:

Block 1501 / Lot 27 Lot Dimensions 120 x 25 Lot Area Sq 2996 Zoning RH-1 Setback of third floor addition: ??? "Approximately 10 feet"

Same size lot, same zoning, same neighborhood, only the corporation project sponsor wants to build a home 140% bigger than the one that was rejected at the Planning Commission Hearing (2015-007103DRP). Any prudent person would conclude from reading the neighbor's letters, emails and petitions (2015-007103DRP) that the house was just too big. So it is of no surprise to anyone that Project Planner Christopher May in conversation

with the DR requestor 12/9/16 indicated that the majority of the feedback he received to date on this project was "that the house was just too big".

The proposed 5000 sq. foot project is just ridiculous. The proposed massing and scale are disproportionate with the surrounding neighborhood. There are no other 5000 square foot homes with one car garage on block 1501 or on 44th Ave bounded on the south by Anza and North by Geary. Property profile of block states average house of 1274. No precedent for a house on this block of 5 bedrooms, 2 living rooms, media room, office, etc.

RESPONSE #4:

Proposal is for a 3,987 SF home as shown on the Cover Sheet. Plans show (4) bedrooms. As required, a one car garage and Class I bicycle parking space have been provided.

"Too big" is a subjective opinion. Building addition limitations should and are defined by SF Planning code parameters - even without the oversight of the Planning Commission. Lack of precedent in construction is until one neighbor builds and as such, should not serve as support for why a project should not be approved.

<u>Issue #5</u>

Non-permitted extensions may exist on an adjacent property (574 44th Ave). The project proposal dimensions may have been derived from these non-permitted additions, which will further degrade the historical pattern of the block, neighborhood, and district. The accuracy of the permitted dimensions needs to be verified by inspection prior to the issuance of the permit. The transparency, legitimacy and legality of the process depend on accurate and legal dimensions.

RESPONSE #5:

We can only design to what is there versus what should or should not be there.

<u>Issue #6:</u>

The rear deck of the proposed construction should match the rear deck of the existing deck and not extend further into the rear of the back yard.

RESPONSE #6:

This is the DR requestor's opinion.

<u>Issue #7:</u>

The project proposes over 400% increase in square footage with no additional parking spaces. Street parking is already extremely difficult on the block; at 7:00 am every available space is taken. One garage space is inadequate for a project of this size. Parking is not easy in this neighborhood, where people have resorted to parking across their driveways (in the street) to find room. The proposed project would create even more imbalance to the parking supply / demand equation. Neighbors request at least 2 garage spaces be provided for. See (picture)

RESPONSE #7:

As required, a one car garage and Class I bicycle parking space have been provided. The DR requestor assumes that the home owner will have multiple cars. We live in a new age of Uber, Lyft, Zipcar, Getaround, and a competent Muni system which is two blocks away where multiple cars is not a given.

<u>Issue #8:</u>

The project proposes removal of a large tree of significant value to the neighborhood. This tree is visible from both 44th and Anza Streets, and is only one of four such trees. HBD and the architect chose to not include this tree in the original site plan. The rendering of this tree on the 311 site plan is inaccurate in both size and position, and is almost impossible to decipher. This site plan description of this tree (specifically the one closest to the deck on the site plan) needs to be accurate. The tree should not be removed; it bolsters nearby property values and provides privacy screen. The city has funded several expensive greenery initiatives in the area, and destruction of this large (and drought-resistant) tree is counterproductive to the city's efforts. The life of this tree is at risk.

RESPONSE #8:

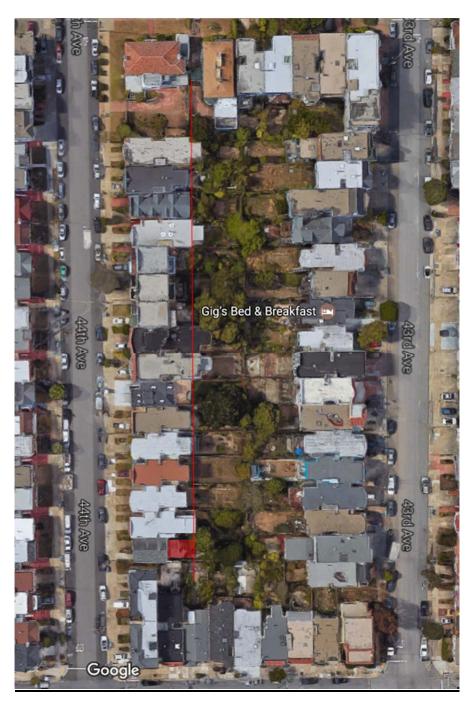
We are happy to verify the location of the tree. However, this does NOT change the fact that the subject tree is not a "significant tree", "landmark tree", or "street tree" which prohibits removal. We are open to the idea of adding new tree(s) to the rear yard. A new 24 inch minimum box size tree is planned on 44th Avenue for the enjoyment of all neighbors and pedestrians on the block.

<u>Issue #9:</u>

Proposed rear yard addition will affect the light and air flow of neighbors. This block enjoys a consistent and large midblock open space. The proposed design makes no attempt to preserves the midblock open space. The new deck proposed extends beyond the adjacent house 5474 44th Ave.

RESPONSE #9:

We believe the limits of the proposed addition is consistent with the built existing precedent on the block.



<u>Issue #10</u>

No property line windows looking out over Anza street properties. Which will look directly into bedrooms homes.

RESPONSE #10:

We are open to mitigating the neighbors' privacy concerns.

<u>Issue #11</u>

The Architect chose not to dimension the plan set submitted. It does not appear that the third story addition is set back the required 15 feet. Architect should be required to submit dimensioned drawings. Note dimension of setback should have been noted on s311 notice plan.

RESPONSE #11:

All dimensions requested by SF Planning have been provided. A drawing scale is also shown on each page which allows drawings to be measured. On 44th Avenue, the third story is set back 22'-10 1/2" from the front property line. The 11x17 format requirement for the 311 notification drawings limits the ability to provide exhaustive notations. Full size drawings of the proposal with all notes are also available for viewing at SF Planning. The 311 mailing cover letter also indicates that "If you have questions about the plans, please contact the project Applicant listed on the front of this notice." which the DR requestor elected not to do.

<u>Issue 12:</u>

Architectural drawings sent to the neighbors by Grant Lee after Preliminary Meeting contain numerous errors, missing rear door on existing rear (east elevation)and prevent the proper evaluation by the neighborhood. Cover page a1, labeled existing house creates the false impression and existing building and creates confusion between proposed and existing. In addition, rear grade of existing conditions are misleading and inaccurate in s.311 drawings meeting which will lead to underperforming structural plans for foundation shoring. In separate but related issue, Architect chose not to show significant grade changes at the property lines for all Anza street properties that abut the proposed project. The principal of side lot line setbacks is most critically important where the extension is against a *downhill* neighbor (like this situation). In these situations, the extension to the side lot line at grade puts the downhill neighbors into a tunnel. Architect does not show on s311 plans that the Anza street neighbors from 44th Ave to 43rd are below grade of the subject property and therefore, by definition downhill from the proposed project.

RESPONSE #12:

All existing rear doors are shown. If the referenced "missing rear door" is the one below the existing deck, it is obscured by existing wood lattice (see photo below)



There is only one structure/building/house under discussion. There should NOT be any confusion. Unless I am mistaken, I don't see any "existing house" label.

Despite limited visibility into adjacent rear properties, adjacent grades have been shown to the best of our abilities. There is no retaining wall at the base of the neighboring fence which suggests there is little to no slope between the properties. The photo below of 574 - 44th Avenue also shows that there is little to no slope.



Documentation of all required adjacent properties have been provided.

<u>Issue #14</u>

All signs indicate that the property is a 'spec house,' intended to be sold for maximum profit, with no regard to the architectural standards in the neighborhood.

The design of the front of the house detracts from the existing gable roof, and does not add to the street presence. There are zero examples of gable roof with a, rectangular-boxy vertical addition plopped on top on the block from the street on 44th Ave bounded by Anza and Geary. In fact, there are two examples of new construction projects- @ 595 44th Ave, 94121 and 554 44th Ave, 94121 where gabled original roof lines were respected and carried to the rear of the properties. Eleven out of forty-four homes on the block have gabled roofs or gabled roof-facades as their central design element.

RESPONSE #14:

The owner has yet to decide whether to occupy the property after renovation. The RDG recommends that additions "should be clearly distinguished from the original building so it can be understood as a more recent change" (Page 51).

Re: Permit number 2016.01.12.6903, Block 1501/ 027 578 44th Ave

Dear Chris,

I live at 547 430 Ave

I am against the above proposed project.

- . Setbacks should be community standard 5/5/5 to grade and carried to rear of property.
- No extension of the 3rd floor past the rear common wall of the northern neighbor's second story . porch.
- 3rd floor 15 foot setbacks from the front of the house not the property line. 546 44th Ave which . is 7 houses north of subject property is the precedent on the block for third floor expansions.
- Floors above grade level should be set back to eliminate the wall effect on southern neighbors. .

Sincerely

If you have any questions you can reach me at :

Teo Spenslov AIS 7414432

Re: Permit number 2016.01.12.6903, Block 1501/ 027 578 44th Ave

Dear Chris,

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and

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end re

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Sincerely,

If you have any questions you can reach me at: (415)710-8488 Humphrey

Re: Permit number 2016.01.12.6903, Block 1501/ 027 578 44th Ave

Dear Chris,

1 live at 571 - 432 AU.

I am against the above proposed project.

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Sincerely,

mult mulun

415-221-8964

Re: Permit number 2016.01.12.6903, Block 1501/ 027 <u>578 44th Ave</u>

Dear Chris,

11 Ive at 656 - 39 TH AVE

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WICHAEL J. POPOIS Sincerely, Nulled J. Poop

If you have any questions you can reach me at: SFPのAPOS @ SBC GLOBAL NRV

Re: Permit number 2016.01.12.6903, Block 1501/ 027 578 44th Ave

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Sincerely,

in Cherny

(H1)752-3832

Re: Permit number 2016.01.12.6903, Block 1501/ 027 578 44th Ave

Dear Chris,

111veat 573 - 43 RD. AUR ST. CA. 94121

I am against the above proposed project.

- Setbacks should be community standard 5/5/5 to grade and carried to rear of property.
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sincerely, Mut two

Mitch Words CGMMAT. Com 112)387-6241

Re: Permit number 2016.01.12.6903, Block 1501/ 027 <u>578 44th Ave</u>

Dear Chris,

liveat 579 43rd Aur.

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Dear Chris,

ore I live at 584 43^{CQ}

I am against the above proposed project.

- Setbacks should be community standard 5/5/5 to grade and carried to rear of property. •
- No extension of the 3^{rd} floor past the rear common wall of the northern neighbor's second story porch.
- 3rd floor 15 foot setbacks from the front of the house not the property line. 546 44th Ave which is 7 houses north of subject property is the precedent on the block for third floor expansions.
- Floors above grade level should be set back to eliminate the wall effect on southern neighbors. •

Sincerely,

SISUPJOD Packelliner

Re: Permit number 2016.01.12.6903, Block 1501/ 027 <u>578 44th Ave</u>

Dear Chris,

l live at

I am against the above proposed project.

- Setbacks should be community standard 5/5/5 to grade and carried to rear of property. •
- No extension of the 3^{rd} floor past the rear common wall of the northern neighbor's second story porch. •
- 3rd floor 15 foot setbacks from the front of the house not the property line. 546 44th Ave which is 7 houses north of subject property is the precedent on the block for third floor expansions.
- Floors above grade level should be set back to eliminate the wall effect on southern neighbors. •

Sincerely,

If you have any questions you can reach me at : mar k 94/21 @ y g hao . co m

Mark Wade bog 44h AVC

Re: Permit number 2016.01.12.6903, Block 1501/ 027 <u>578 44th Ave</u>

Dear Chris,

Ilive at \$226 Anga street

I am against the above proposed project.

- Setbacks should be community standard 5/5/5 to grade and carried to rear of property.
- No extension of the 3rd floor past the rear common wall of the northern neighbor's second story porch.
- 3rd floor 15 foot setbacks from the front of the house not the property line. 546 44th Ave which is 7 houses north of subject property is the precedent on the block for third floor expansions.
- Floors above grade level should be set back to eliminate the wall effect on southern neighbors. •

Sincerely,

David Ching 1-21-2017

Re: Permit number 2016.01.12.6903, Block 1501/ 027 <u>578 44th Ave</u> Dear Chris,

1 live at 656-39th AVE

I am against the above proposed project.

- Setbacks should be community standard 5/5/5 to grade and carried to rear of property.
- No extension of the 3^{rd} floor past the rear common wall of the northern neighbor's second story porch.
- 3rd floor 15 foot setbacks from the front of the house not the property line. 546 44th Ave which is 7 houses north of subject property is the precedent on the block for third floor expansions.
- Floors above grade level should be set back to eliminate the wall effect on southern neighbors. •

Sincerely,

August Retropoulos George+4 Retropoulos

georgettekp@gmail. com

1/20/17

Dear Chris,

live at 623 43rd Ave. and I object to this development because it is completely inappropriate for the neighborhood. The scale of the house does not fit within the surrounding houses.

The vast majority of the houses in our neighborhood are around 1,300 to 1,500 square feet and are occupied by families. The blueprints for the house at 578 44th Avenue will result in a property that consumes roughly 4,000 square feet. 4,000 SQUARE FEET! This is a stark deviation from the norm and we don't see how a single family (much less an extended family with multiple generations) would require that kind of square footage. In other words, it's pretty obvious what the new owner has planned and he's going to impact the rest of the neighborhood for the sake of his own narrow business interests. Blocking out daylight, destabilizing nearby properties, creating noise, with strangers coming and going at odd hours, and making it that much harder to find a parking spot.

The project sponsor wants us to believe that that a house that big with two living rooms and a media room will only have one car and a pedal bikehave two nice cherry trees in front of my house. To add insult to injury, there's a wonderful old tree in look out into the open back yards and greenery will end up staring at a big obnoxious wall. I don't know the back yard that they're going to knock down to make way for their behemoth. People who used to about you but that's not what we want to wake up to in the morning. San Francisco is one of this country's foremost cities because of its neighborhoods. We can't let them be developed by millionaires who don't respect the character of our amazing city. They should understand that they need to adjust to the nuances of San Francisco, not the other way around.

Thank you,

John Chow 623 43rd Ave San Francisco, CA 94121

102-12-

Re: Permit number 2016.01.12.6903

Block 1501/ 027

<u>578 44th Ave</u>

Dear Chris,

I live at <u>575 43rd Ave</u> and I object to this development because it is completely inappropriate for the neighborhood. The scale of the house does not fit within the surrounding houses.

Planning Commission found on (**HEARING DATE OCTOBER 20, 2016**) that the proposed 3600 sq. home was just too big for the 3000 sq foot lot, 3 streets away under the same RH-1 zoning. See permit #2015.05.12.6116 -<u>567 47th Ave.</u> Specifics are listed below:

Block 1497 / Lot 16A Lot Dimensions 120 x 25 Lot Area Sq 3000 Zoning RH-1

Compare to proposed:

Block 1501 / Lot 27 Lot Dimensions 120 x 25 Lot Area Sq 2996 Zoning RH-1

How can you justify a 5000 sq. foot / 1 car parking home on same size lot when the Planning Commission rejected a much smaller home with 2 car parking?

Sincerely,

Brian Coyle

Sent from my iPhone

To big & out of character, not enough parking, very opposed.

Bill Fiege 5208 Anza

Sent from my iPhone

Permit number 2016.01.12.6903, Block 1501/027 57844th Ave

Dear Chris,

I live at 584 44th Ave and I am against the above proposed project.

• Setbacks should be community standard 5/5/5 to grade and carried to rear of property.

 \cdot No extension of the 3rd floor past the rear common wall of the northern neighbor's second story porch.

 3^{rd} floor 15 foot setbacks from the front of the house not the property line. <u>546 44th Ave</u> which is 7 houses north of subject property is the precedent on the block for third floor expansions.

• Floors above grade level should be set back to eliminate the wall effect on southern neighbors.

I strongly disagree with the project sponsor response below:

Issue #7:

The project proposes over 400% increase in square footage with no additional parking

spaces. Street parking is already extremely difficult on the block; <u>at 7:00 am</u> every available

space is taken. One garage space is inadequate for a project of this size. Parking is not

easy in this neighborhood, where people have resorted to parking across their driveways (in

the street) to find room. The proposed project would create even more imbalance to the

parking supply / demand equation. Neighbors request at least 2 garage spaces be provided

for. See (picture)

RESPONSE #7:

As required, a one car garage and Class I bicycle parking space have been provided. The

DR requestor assumes that the home owner will have multiple cars. We live in a new age

of Uber, Lyft, Zipcar, Getaround, and a competent Muni system which is two blocks away

where multiple cars is not a given.

Sincerely,

Bence Bódy

Mr. May,

This is a response to the notification I received from the Building Permit Application for the property located at 578 - 44th Avenue, San Francisco, CA 94121.

While my house is not adjacent to the above mentioned property, it is located on the same street as my house and I do have some concerns about the proposed project renovations.

- I. In the previous two years, I have seen quite a few renovation/remodeling projects on my block. The majority of them seem like houses bought, renovated and then flipped. The work was done after the owners had already left. They are not for current owners seeking more space for their growing family. Two of these houses, one on each side of the block, had to dig into the ground in order to increase the height of the basement/garage. These have caused instability of the ground. There was a pot hole in front of my house on June 2015. From the surface of the street, the hole was rather small, however when I looked into it, there was a big hollow space underneath the street. Department of Public Works responded to my report and it was fixed. Feel free to verify this with DPW's work record.. I heard of a building in Shanghai, China that collapsed. The explanation was that construction in the area caused the ground to become unstable. The sinkhole, to me, is evidence of the ground is being disturbed. I do not want anything to happen to the foundation of the ground on my block or neighborhood, even in a small scale.
- II. The second concern is more immediate. The 578 44th Avenue project is converting a two-bedroom structure into five-bedroom one. There is only one garage. Most of the houses on my side of the block have entrance to the garage at the back of the building. These actually provide a lot of valuable street parking spaces on the block. With so many houses being converted to bigger ones, with number of residents will increase as I have already noticed with more residents meaning more occupied parking spaces. Parking has already become a big problem in recent years and will become a bigger problem in the near future.

Thank you for your attention to this matter.

Lucia Tran 551 - 44th Avenue San Francisco, CA 94121 Mr. May,

I am a 5200 Block SAFE member who did receive a formal notice for the permit application 2016.01.12.6903 for property 578 44th Avenue and wish to express my concerns.

I am the property owner of 591 44th Avenue just across the street and two houses down. My family has lived here since 1953. The front and south side of this property is visible from my living room.

In my opinion, the expansion of this quaint 950 square foot cottage into a 5000 sq one car garage single family home would be a grotesque injustice to this neighborhood. This may have been one of the first homes to appear on this Avenue back in 1915 when it was built and should be preserved. My home, and many of my neighbor's home were not built until 1922 with only an average of 90 square feet more of living space added as single family homes. This is massive in comparison.

I have concerns that I would like to express as someone who recently endured a two year remodel of my neighboring house at 595 44th Avenue. Renovations began without neighborhood notifications, foundation work was begun without proper permits/ inspection, rear garden was dug out with a 10 foot concrete wall built and then sealed without inspection. My name became very familiar at the Department of Building Inspection and I was seen as an enemy of Aero Construction.

The size of this proposed project just does not seem to jive with a plan for a single family home. I attended the open meeting held on property and when I inquired about only one car garage, they claimed there was ample street parking. This is not the case as I myself have to park across my driveway. It is almost a given that every property has at least two cars associated with it and most use their garages for other things then parking their cars. One of the neighboring apartment units to 578 44th has two cars in addition to two work related vans that are all parked on 44th Avenue. These planners assume that the houses on the west side of 44th Avenue (with no garages in front) have ample parking in the alley between 44th and 45th Avenue. This is not the case as many have legal/illegal units with tenants parking on 44th Avenue.

In addition, a renovation of this magnitude will require daily construction vehicles needing parking, debris boxes, porta potty, lumber delivery, etc. which will limit the existing street parking for the neighborhood for months/years on end. This property has a severely angled driveway that will restrict building materials from being delivered off street. I know the construction mess that awaits from first hand experience having lived next door to a home being renovated for two years and one currently up the block at 567 44th that was going great guns until all work stopped. As soon as this resumes, it could mean two major constructions happening with yards of each other.

The design to build back is a detriment to the open green space that we are so in need of maintaining. Removing a large tree and a huge portion of the yard will impact greatly on wildlife and also importantly to the homes along the 5200 block of

Anza that boarder the property. This project needs to be scaled back.

Thank you for your time.

Rosalie R. Gift 591 44th Avenue San Francisco, CA 94121

Gentlemen:

I live at 5221 Anza Street. Some of my neighbors have expressed concern about a project around the corner to expand the property at 578 44th Avenue. My understanding is that the new structure will be as large as 5000 sq ft with a one car garage. I share my neighbors' concerns about the impact of such a large house on our neighborhood.

A house that large would likely attract either (a) a large family, (b) an owner expecting to entertain large numbers of people, or (c) multiple tenants sharing the space. Any of those possibilities will certainly place a strain on the already crowded parking situation in this area.

Many of the houses out here have at least two cars (mine does.) With single car garages, obviously the second vehicle must be parked on the street. Guests to my house, especially in the evening hours, have had to park two, three, even four blocks away. The neighborhood is blighted with numerous cars parked up on sidewalks in front of their homes because the street parking is filled. The last thing we need to add to this situation is an outsized structure with multiple residents with multiple vehicles.

I urge you to insist that any improvements to the property at 578 44th Avenue be kept consistent with the character of the neighborhood rather than shoehorn in a McMansion.

Thank you for your consideration.

Philip M Mullan 5221 Anza Street 3-2-17

Re: Permit number 2016.01.12.6903, Block 1501/ 027 <u>578 44th Ave</u> Dear Chris, I live at 566 43rd. Avenue I am against the above proposed project.

- Setbacks should be community standard 5/5/5 to grade and carried to rear of property.
- No extension of the 3rd floor past the rear common wall of the northern neighbor's second story porch.
- 3rd floor 15 foot setbacks from the front of the house not the property line.
 546 44th Ave which is 7 houses north of subject property is the precedent on the block for third floor expansions.
- Floors above grade level should be set back to eliminate the wall effect on southern neighbors.

Sincerely, Susan Clarke

Re: Permit number 2016.01.12.6903, Block 1501/ 027 578 44th Ave

Dear Chris,

Ilive at 566 43nd Ade

I am against the above proposed project.

- Setbacks should be community standard 5/5/5 to grade and carried to rear of property.
- No extension of the 3rd floor past the rear common wall of the northern neighbor's second story porch.
- 3rd floor 15 foot setbacks from the front of the house not the property line. 546 44th Ave which is 7 houses north of subject property is the precedent on the block for third floor expansions.
- Floors above grade level should be set back to eliminate the wall effect on southern neighbors.

Sincerely, elle Clarke

415 387-0426

Re: Permit number 2016.01.12.6903, Block 1501/ 027 578 44th Ave

Dear Chris,

Ilive at 5135 ANZA ST

I am against the above proposed project.

- Setbacks should be community standard 5/5/5 to grade and carried to rear of property.
- No extension of the 3rd floor past the rear common wall of the northern neighbor's second story porch.
- 3rd floor 15 foot setbacks from the front of the house not the property line. 546 44th Ave which is 7 houses north of subject property is the precedent on the block for third floor expansions.
- Floors above grade level should be set back to eliminate the wall effect on southern neighbors.

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Sincerely,

hy man

If you have any questions you can reach me at :

415 200-6045

Re: Permit number 2016.01.12.6903, Block 1501/ 027 578 44th Ave

Dear Chris,

Ilive at 5200 Anza St.

I am against the above proposed project.

- Setbacks should be community standard 5/5/5 to grade and carried to rear of property.
- No extension of the 3rd floor past the rear common wall of the northern neighbor's second story porch.
- 3rd floor 15 foot setbacks from the front of the house not the property line. 546 44th Ave which is 7 houses north of subject property is the precedent on the block for third floor expansions.
- Floors above grade level should be set back to eliminate the wall effect on southern neighbors.

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Sincerely,

Anne Kinushkin

Re: Permit number 2016.01.12.6903, Block 1501/ 027 578 44th Ave

Dear Chris,

Ilive at 5327 ANZA Str.

I am against the above proposed project.

- Setbacks should be community standard 5/5/5 to grade and carried to rear of property.
- No extension of the 3rd floor past the rear common wall of the northern neighbor's second story porch.
- 3rd floor 15 foot setbacks from the front of the house not the property line. 546 44th Ave which is 7 houses north of subject property is the precedent on the block for third floor expansions.
- Floors above grade level should be set back to eliminate the wall effect on southern neighbors.

Sincerely,

1 jlung -

201-7240526 KZHURANIENA C Kotmail. com

Re: Permit number 2016.01.12.6903, Block 1501/ 027 578 44th Ave

Dear Chris,

1 live at 586 44th Ave SF CA 94121

I am against the above proposed project.

- Setbacks should be community standard 5/5/5 to grade and carried to rear of property.
- No extension of the 3rd floor past the rear common wall of the northern neighbor's second story porch.
- 3rd floor 15 foot setbacks from the front of the house not the property line. 546 44th Ave which
 is 7 houses north of subject property is the precedent on the block for third floor expansions.
- Floors above grade level should be set back to eliminate the wall effect on southern neighbors.

Sincerely,

Houte: Thurng

If you have any questions you can reach me at: Jeffrey 2 ta 3 CHotmail. Com

Concern of their souther windows looking that au living room aver.

Re: Permit number 2016.01.12.6903, Block 1501/ 027 578 44th Ave

Dear Chris,

live at 601 49 the SAN FRANCISCO.

I am against the above proposed project.

- Setbacks should be community standard 5/5/5 to grade and carried to rear of property.
- No extension of the 3rd floor past the rear common wall of the northern neighbor's second story porch.
- 3rd floor 15 foot setbacks from the front of the house not the property line. 546 44th Ave which is 7 houses north of subject property is the precedent on the block for third floor expansions.
- Floors above grade level should be set back to eliminate the wall effect on southern neighbors.

Sincerely,

Sine John I FOLKERT, IRINA

(415) 744-45-14 FOLKERS IRINA 6 JATO, CONS

Dear Chris,

I live 5244 Anza and the backyard is facing half block of the 579 44th house. my home and family will take the brunt of this massive wall that will tower over us like a stucco tidal wave. Currently, a 70 foot tall tree with a 50 foot tree provides some greenery and relief from the city. My kids currently enjoy playing in the backyard. This is not the Presidio and not Pacific heights. A 5 bedroom, 2 living room 5000 sq. foot home does not belong in our block. This project will put us in a light and air tunnel. The south facing windows will put us under a microscope. I park my car on the street, and requiring only one parking space for this size property is ridiculous.

My suggestions are as follows. The project should provide for 5 foot setbacks on the ground, second, and third level. There should be no build out over the existing sun room. The third floor should not extend beyond notch out of the adjoining property. The project could carry the same roof line as the newly constructed house on 595 44th Ave. just up the street. See picture below. BY mirroring the roof line of the existing roof – peaked roof would allow us to have access to air and light.



Thank you for your attention to this matter.

Victor Luu

From:	Barbara Valverde
То:	May, Christopher (CPC); Lindsay, David (CPC)
Cc:	FSakamoto@ymcasf.org
Subject:	Construction at 578-44th Avenue; SF CA 94121
Date:	Wednesday, December 28, 2016 6:04:42 PM



We know this proposed construction plan would have a negative effect on our fresh air flow from the ocean; our historic view of the canopy of Sutra Park; as well, our access to light, especially in the evening, would be impacted by the width of the building. The removal of trees would destroy the nesting and habitats for countless migratory and local birds.

No dwelling of this magnitude and intent has ever invaded our neighborhood, since its founding.

Thank you for your attention.

Barbara Valverde, concerned home-owner barbiesf8@gmail.com

William Henry Fiege Fiegemusic@msn.com Dear Chris and David,

I received your contact information from my neighbor Fred Sakamoto.

I am writing you regarding my concerns about the proposed construction at 578 44th Ave, San Francisco, CA 94121. My family has owned the house across from the proposed property since the 1970s. Similar to the concerns of some of my neighbors, I believe that the proposed façade is inconsistent aesthetically with the rest of the block. It would be out of place and a large (5,000 square feet, from what I understand) eyesore, in contrast to the existing structure, which is a small starter home. In addition, such a large structure, with its potentially numerous inhabitants, would contribute to a growing parking problem in a neighborhood where parking used to be plentiful.

I am currently living right beside and directly across houses which are a spec houses (one which was recently sold and the other which is under construction). I have seen firsthand the results of construction companies cutting corners and doing things quick and cheap to make a buck on my street, and I would like to preserve the unique character of my neighborhood and protect it from commercial interests gone rampant.

Thanks for your consideration.

Best

Sherwin Das

563 44th Ave

San Francisco, CA 94121

From:	Lucia Tran		
To:	<u>May, Christopher (CPC)</u>		
Cc:	Fred Sakamoto		
Subject:	Re: 578 44th Ave		
Date:	Saturday, January 21, 2017 6:01:16 PM		
Attachments:	Project Sponsor Response.pdf		

Mr. May,

Fred Sakamoto had forwarded 578 -44th Avenue Project Sponsor's response to me. I am not knowledgeable to address the size of the setback measurement, but I do think the proposed size of the structure does not blend in with the neighborhood.

I am quite concerned of the available parking spots on the block. On Issue #7, the sponsor talked about the 'new age'. I do not understand what exactly it means. I am a retired person with limited income. I cannot afford using "Uber, Lyft, Zipcar, Getaround" on a regular basis. I cannot use one of them to do my weekly grocery shopping. Even though Safeway is only seven blocks away, I cannot see myself taking a couple of can goods or 4-lb bag of sugar plus a few of the essential diary products and vegetable going uphill.

If the sponsor believes the owner of 578 44th Avenue would only require a one car garage who can monitor/enforce that after the project is completed.

Thank you very much for your time.

Lucia Tran 551- 44th Avenue San Francisco, CA 94121

----- Forwarded Message -----From: Fred Sakamoto <FSakamoto@ymcasf.org> To: "lucia_tran@yahoo.com" <lucia_tran@yahoo.com> Sent: Friday, January 20, 2017 8:38 PM Subject: FW: 578 44th Ave

Lucia, This is what the project sponser replied. If you have any reaction forward it to chris and cc me. Thanks Fred

From: May, Christopher (CPC) [mailto:christopher.may@sfgov.org]
Sent: Friday, January 20, 2017 3:40 PM
To: Fred Sakamoto
Subject: 578 44th Ave

Hi Fred,

As requested, please find the attached project sponsor response to your DR request. Have a look and if there is any additional information you'd like me to request of the project sponsor, I'd be happy to do so.

Christopher May, Planner

San Francisco Planning Department 1650 Mission Street, Suite 400 San Francisco, CA 94103

Phone: (415) 575-9087 Fax: (415) 558-6409

christopher.may@sfgov.org www.sfplanning.org Dear Chris,

Regarding permit number 2016.01.12.6903, Block 1501/ 027, 578 44th Ave

We live at 5220 Anza Street and we are against the above proposed project.

For example, consider the following list of issues:

1) Setbacks should be community standard 5/5/5 to grade and carried to rear of property.

2) No extension of the 3rd floor past the rear common wall of the northern neighbor's second story porch.

3) 3rd floor 15 foot setbacks from the front of the house not the property line. 546 44th Ave which is 7 houses north of subject property is the precedent on the block for third floor expansions.

4) Floors above grade level should be set back to eliminate the wall effect on southern neighbors.

Thank you, Bill Blunden and Violet Cheung

From:	Sandy Yang
To:	May, Christopher (CPC)
Cc:	Lindsay, David (CPC); Fred Sakamoto
Subject:	Re: Permit number 2016.01.12.6903, Block 1501/027 578 44th Ave
Date:	Monday, January 23, 2017 10:02:43 PM
Attachments:	578 44th Ave.pdf

Hello Christopher,

Wen Ling and I are against the above prosposed project. please see attached.

Thank you, Sandy Yang Wen Ling Yang Re: Permit number 2016.01.12.6903

Block 1501/027

578 44th Ave

Dear Chris,

I live at 594 44th Ave and I object to this development because it is completely inappropriate for the neighborhood. The scale of the house does not fit within the surrounding houses. The extension of the house with one and three story horizontal additions creates a monstrosity which is blatantly inconsistent with the San Francisco Residential Guideline for remodeled and new construction. The proposed renovation increases the square footage to over 5000 sq. feet, from 950 sq. feet. This home, at 5+ bedrooms, 2 living room, and a media room- without increase in parking spaces will greatly affect the neighborhood where there is already no extra parking spaces on the street. This project substantially degrades privacy, light and air of neighbors. The owner of the building is corporation, not a person, who has chosen to maximize footprint of the building, over the objection of neighbors, to the disregard of all other Residential Design Guidelines. This limited liability corporation will have little responsibility for potential construction problems. Our neighborhood has already experienced firsthand the fallout from below grade construction where the damage has been substantial. This project sets up financial incentives counter to existing Planning Department objectives, and will reduce the availability of rental stockspecifically R1 single family homes, one story over garage. More long time Richmond District residents will be displaced, because of the dangerous message and precedent this project set. The message to tenants in single family homes in Outer Richmond is clear- You are endanger of losing your home. We ask that the Planning Department reject the building permit application.

Fred Sakamoto

From: Sent: To: Subject: Victor Luu <victor.luu@gmail.com> Thursday, December 08, 2016 10:24 PM christopher.may@sfgov.org Complain Housing Project on 579 44th Ave.

Dear Chris,

I live 5244 Anza and the backyard is facing half block of the 579 44th house. my home and family will take the brunt of this massive wall that will tower over us like a stucco tidal wave. Currently, a 70 foot tall tree with a 50 foot tree provides some greenery and relief from the city. My kids currently enjoy playing in the backyard. This is not the Presidio and not Pacific heights. A 5 bedroom, 2 living room 5000 sq. foot home does not belong in our block. This project will put us in a light and air tunnel. The south facing windows will put us under a microscope. I park my car on the street, and requiring only one parking space for this size property is ridiculous.

My suggestions are as follows. The project should provide for 5 foot setbacks on the ground, second, and third level. There should be no build out over the existing sun room. The third floor should not extend beyond notch out of the adjoining property. The project could carry the same roof line as the newly constructed house on 595 44th Ave. just up the street. See picture below. BY mirroring the roof line of the existing roof – peaked roof would allow us to have access to air and light.



Thank you for your attention to this matter.

Victor Luu

ABBREVIATIONS

&	AND	EQPT	EQUIPMENT	o/	OVER
@	AT	(E)	EXISTING	0.A.	OVERA
£	CENTERLINE	EXT.	EXTERIOR	0.C.	ON CE
±	PLUS OR MINUS	EXTR.	EXTRUSION	OFF.	OFFICI
	PROPERTY LINE	F.A.	FIRE ALARM	0.F.S.	OUTSI
	POUND OR NUMBER	FAU. F.E.	FORCED AIR UNIT	P.LAM.	PLAST
		F.E.	FIRE EXTINGUISHER	PLYWD.	PLYWO
AL.	ALUMINUM	F.E.C.	FIRE EXTINGUISHER CABINET	PR.	PAIR
ALUM.	ALUMINUM	F.H.C.	FIRE HOSE CABINET	PT.	POINT
ANOD.	ANODIZED APPROXIMATE	FIN. FL.	FINISH FLOOR	PTN. R.	PARTIT
APPROX.	AS REQUIRED	FL. FLUOR.	FLUOR	REF.	REFER
ARCH.	ARCHITECTURAL	F.O.C.	FACE OF CONCRETE	REFR.	REFRI
ANV	AUDIOVISUAL	F.O.F.	FACE OF FINISH	REQ.	REQUI
BD.	BOARD	F.O.P.	FACE OF PLYWOOD	R.F.P.	REINFO
BLDG.	BUILDING	F.O.S.	FACE OF STUD	RM.	ROOM
BLK.	BLOCK	F.R.	FIRE RETARDANT OR FIRE RATED	R.O.	ROUGI
BLKG.	BLOCKING	FT.	FOOT OR FEET	S.	SOUTH
B.O.	BOTTOM OF	FURR.	FURRING	S.C.D.	SEE CI
BTWN.	BETWEEN	FUT.	FUTURE	SCHED.	SCHEE
CAB.	CABINET	F.V.	FIELD VERIFY	SECT.	SECTION
CBC	CALIFORNIA BUILDING CODE	GA.	GAUGE	S.E.D.	SEE EL
CEC	CALIFORNIA ELECTRICAL CODE	GALV.	GALVANIZED	SF	SQUAF
CFC	CALIFORNIA FIRE CODE CALIFORNIA GREEN BUILDING	GSM.	GALVANIZED SHEET METAL	S.I.D.	SEE IN
CGC	STANDARDS CODE	G.C.	GENERAL CONTRACTOR	SIM	SIMILA
CLG.	CEILING	GEN.	GENERAL	S.M.D.	SEE M
CLKG.	CAULKING	GWB	GYPSUM WALL BOARD	SPEC.	SPECI
	CLOSET	GYP.	GYPSUM	SQ	SQUAF
CLR	CLEAR	H.B.	HOSEBIB	S.S.D.	SEE ST
CMC	CALIFORNIA MECHANICAL CODE	H.C.	HANDICAPPED	S.S.	STAIN
CMU	CONCRETE MASONRY UNIT	H.M.	HOLLOW METAL	STD.	STAND
	CLEANOUT	HORIZ. HR	HORIZONTAL	STL.	STEEL
COL. CONC.	COLUMN	HK HT	HOUR HEIGHT	STOR. STRUCT.	STORA
	CONCRETE	HT. H.W.D.	HOT WATER DISPENSER	T.	TREAD
	CONSTRUCTION	H.W.D. H.W.H.	HOT WATER DISPENSER	T.B.D.	TO BE
CONSTR.	CONTINUOUS	INSUL.	INSULATION	T&G	TONGL
CORR	CORRIDOR	INT.	INTERIOR	TEL	TELEP
CPC	CALIFORNIA PLUMBING CODE	JAN.	JANITOR	TEMP.	TEMPO
CRC	CALIFORNIA RESIDENTIAL CODE	J.C.	JANITOR'S CLOSET	THK.	THICK
CTR.	CENTER	JT.	JOINT	T.O.	TOP O
CTSK.	COUNTERSUNK	KIT.	KITCHEN	T.O.S.	TOP O
DBL.	DOUBLE	LAM.	LAMINATE	T.O.W.	TOP O
	DEPARTMENT	LAV.	LAVATORY	TYP	TYPIC/
	DETAIL	MAX	MAXIMUM	U.L.	UNDEF
D.F.	DRINKING FOUNTAIN	MDF	MEDIUM DENSITY FIBERBOARD	U.O.N.	UNLES
	DIAMETER	MECH.	MECHANICAL	UTIL.	UTILIT
DIM. DISP.	DIMENSION DISPENSER	MEMB. MET.	MEMBRANE METAL	VAR. V.C.T.	VARIE
DISP. DN	DOWN	MEZZ.	MEZZANINE	V.C.T.	VINTL
DIN D.O.	DOWN DOOR OPENING	MFR.	MANUFACTURER	VERT. V.I.F.	VERIE
	DOOR	MIN	MINIMUM	VOL:	VOLUN
	DOWNSPOUT	MISC.	MISCELLANEOUS	W.	WEST
DWG.	DRAWING	M.O.	MASONRY OPENING	W/	WITH
DWR.	DRAWER	MTD.	MOUNTED	W.C.	WATER
	EAST	MTG.	MOUNTING	WD.	WOOD
	EACH	MUL.	MULLION	W.O.	WHER
E.J.	EXPANSION JOINT	(N)	NEW	W/O	WITHC
	ELECTRICAL	Ν.	NORTH	WT.	WEIGH
	EMERGENCY	N.I.C.	NOT IN CONTRACT	YD.	YARD
ENGR.	ENGINEER	NO.	NUMBER	X OR x	BY
E.P. EQ	ELECTRICAL PANEL BOARD EQUAL	NOM. N.T.S.	NOMINAL NOT TO SCALE		

RALL ENTER SIDE FACE OF STUD TIC LAMINATE TITION ERENCE RIGERATOR DUIRED VFORCED FIBERGLASS PANEL SH OPENING CIVIL DRAWINGS DULE ELECTRICAL DRAWINGS INTERIOR DRAWINGS AR MECHANICAL DRAWINGS ARE STRUCTURAL DRAWINGS NLESS STEEL NDARD RAGE JCTURAL DETERMINED E DETERMINED GUE AND GROOVE PHONE PORARY OF SLAB OF WALL ERWRITERS LABORATORY SS OTHERWISE NOTED OMPOSITION TILE 'ICAL FY IN FIELD T OR WIDTH . ER CLOSET RE OCCURS

PROJECT TEAM

BILL HANG 2123 27TH AVENUE SAN FRANCISCO, CA 94116

ARCHITECT: GRANT TAKAHASHI LEE ARCHITECTS P.O. BOX 16721 SAN FRANCISCO CA 94116 CONTACT: GRANT LEE PHONE: (415) 981-7641 EMAIL: GRANT@GTLARCHITECTS.COM

OWNER: HBD UNITED INC.

CONTRACTOR:

PROJECT DATA

ADDRESS: 578 44TH AVENUE SAN FRANCISCO CA 94121 BLOCK/LOT: 1501/027

YEAR BUILT: 1915 STORIES: 2

ZONING: RH-1 GROSS AREA: EXISTING = 1,629 SF PROPOSED ≠ 3,360 SF (1F: 1,257 SF; 2F: 1,101 SF; 3F: 1,002 SF)

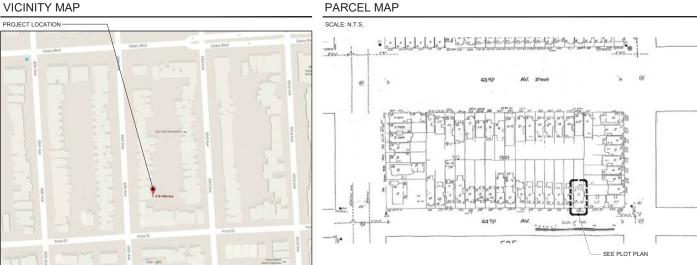
$\sim \sim \sim$ CONSTRUCTION TYPE: V-B

FULLY SPRINKLERED: NO OCCUPANCY TYPE: R-3

USE: SINGLE FAMILY

/2

VICINITY MAP



APPLICABLE CODES

ALL WORK SHALL FULLY COMPLY BUT NOT BE LIMITED TO:

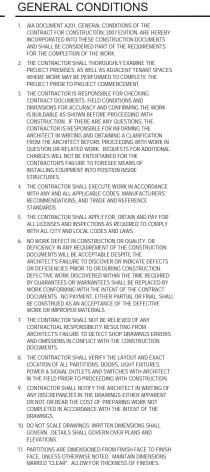
2013 CALIFORNIA BUILDING CODE 2013 CALIFORNIA ELECTRICAL CODE 2013 CALIFORNIA MECHANICAL CODE 2013 CALIFORNIA PLUMBING CODE 2013 CALIFORNIA PLUMBING STANDARDS CODE 2013 CALIFORNIA ENERGY CODE 2013 CALIFORNIA FIRE CODE

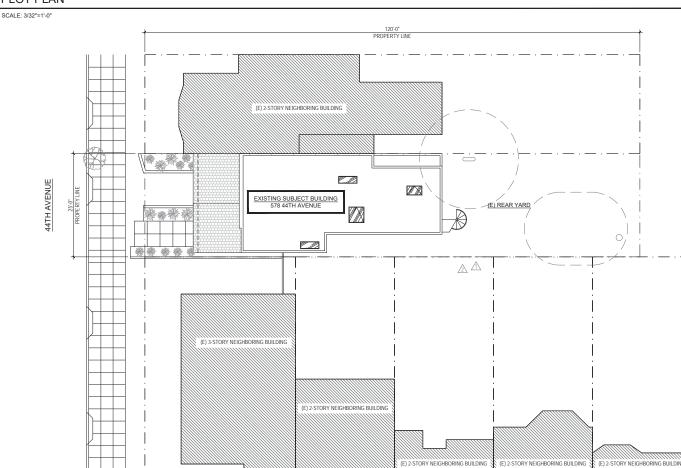
2013 SAN FRANCISCO BUILDING CODE AMENDMENTS 2013 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS 2013 SAN FRANCISCO MECHANICAL CODE AMENDMENTS 2013 SAN FRANCISCO PLUMBING CODE AMENDMENTS 2013 SAN FRANCISCO FIRE CODE AMENDMENTS

SYMBOLS

, ,	ALIGN (SURFACES, PLANES OR OBJECTS ARE IN ALIGNMENT)
\Box	AREA OF DETAIL
¢	CENTERLINE
	CENTERLINE
A10b	DETAIL TAG — DETAIL NUMBER — SHEET NUMBER
$\langle 0 \rangle$	DOOR TAG
	DOOR AND HARDWARE TAG DOOR NUMBER HARDWARE NUMBER
A A A 101 C	ELEVATION ELEVATION NUMBER ELEVATION SHEET NUMBER
+9'-0"	ELEVATION MARKER
01	EQUIPMENT TAG
01	FINISH TAG
\bigcirc	FIXTURE TAG
01	KEYNOTE
A1	PARTITION TYPE
$\mathbb{O}_{\mathbb{A}}$	REVISION CLOUD AND REVISION NUMBER. RED OR BLACK INDICATES CURRENT REVISION SET. GRAY CLOUD INDICATES PRIOR REVISION.
OFFICE	ROOM TAG ROOM NAME ROOM NUMBER
01	WINDOW TAG
	SECTION ELEVATION NUMBER SHEET NUMBER

PLOT PLAN





SCOPE OF WORK

PROJECT PROPOSES A HORIZONTAL ADDITION ON ALL FLOORS. PROJECT WILL INCLUDE A VERTICAL ADDITION FOR A NEW THIRD FLOOR.

APPLICATION FOR PLANNING APPROVAL. BUILDING DEPARTMENT SUBMITTAL SHALL BE DEFERRED UNDER SEPARATE PERMIT

DEFERRED SUBMITTALS

- MECHANICAL ELECTRICAL PLUMBING TITLE 24 ENERGY CALCULATIONS AUTOMATIC SPRINKLERS
- \triangle

DRAWING INDEX

5 2 2 3 15.1 16.0 16.0 PRE-A SITE F NOPR NOPR ARCHITECTURAL A-001 COVER SHEET A-002 SECTION 317 CALCULATIONS A-003 EXISTING SITE PLAN A-004 PROPOSED SITE PLAN A-005 EXISTING PHOTOGRAPHS A-101 EXISTING & DEMOLITION PLANS A-102 EXISTING & DEMOLITION ROOF PLAN A-111 1F & 2F CONSTRUCTION PLANS A-112 3F CONSTRUCTION & ROOF PLANS A-201 EXTERIOR ELEVATIONS A-202 EXTERIOR ELEVATIONS A-203 EXTERIOR ELEVATIONS A-204 EXTERIOR ELEVATIONS A-301 BUILDING SECTIONS $\downarrow \downarrow \downarrow \downarrow \downarrow \downarrow \downarrow \downarrow \downarrow \Box$ INCLUDED INCLUDED AND REVISED

ARCHITECT



IL PRODUCTION & INTELLECTUAL PROPERTY RIGHTS RESERV PROFESSIONAL SEAL

ш SIDENC 44TH AVENUE RES ADDITION & RENOVATION 578 44TH AVENUE SAN FRANCISO, CA 94121

DRAWING ISSUANCE

SITE PERMIT SET

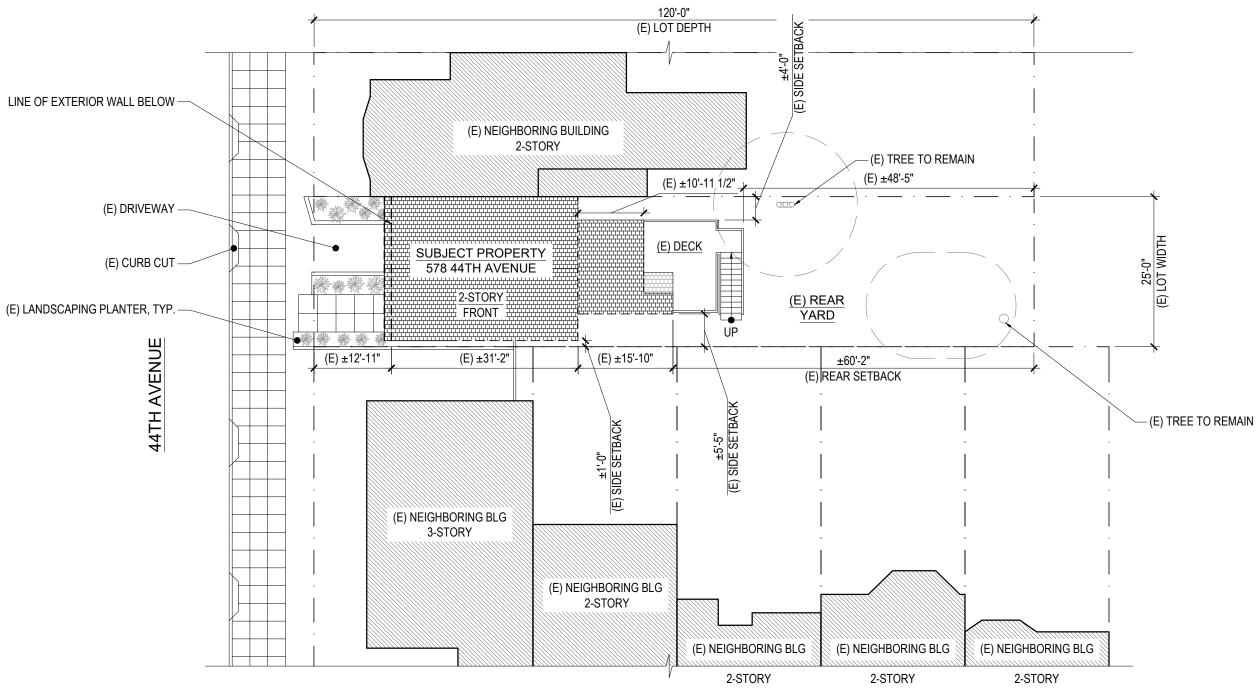
DESCRIPTION	DATE
PRE-APPLICATION MEETING	2015.12.23
SITE PERMIT SET	2016.01.12
NOPR #1 RESPONSE	2016.04.15
NOPR #2 RESPONSE	2016.07.29

TITLE

COVER SHEET

SCALE: N.T.S.

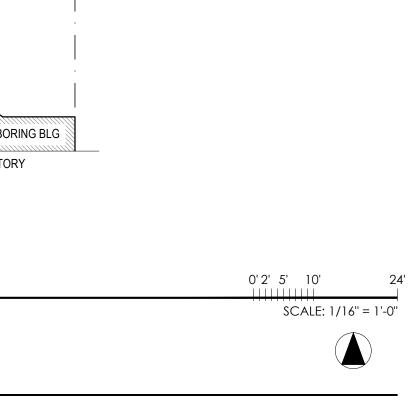
NOTE: SEE A-003 & A-004 OR EXISTING & PROPOSED PLOT PLANS SHEET A-00

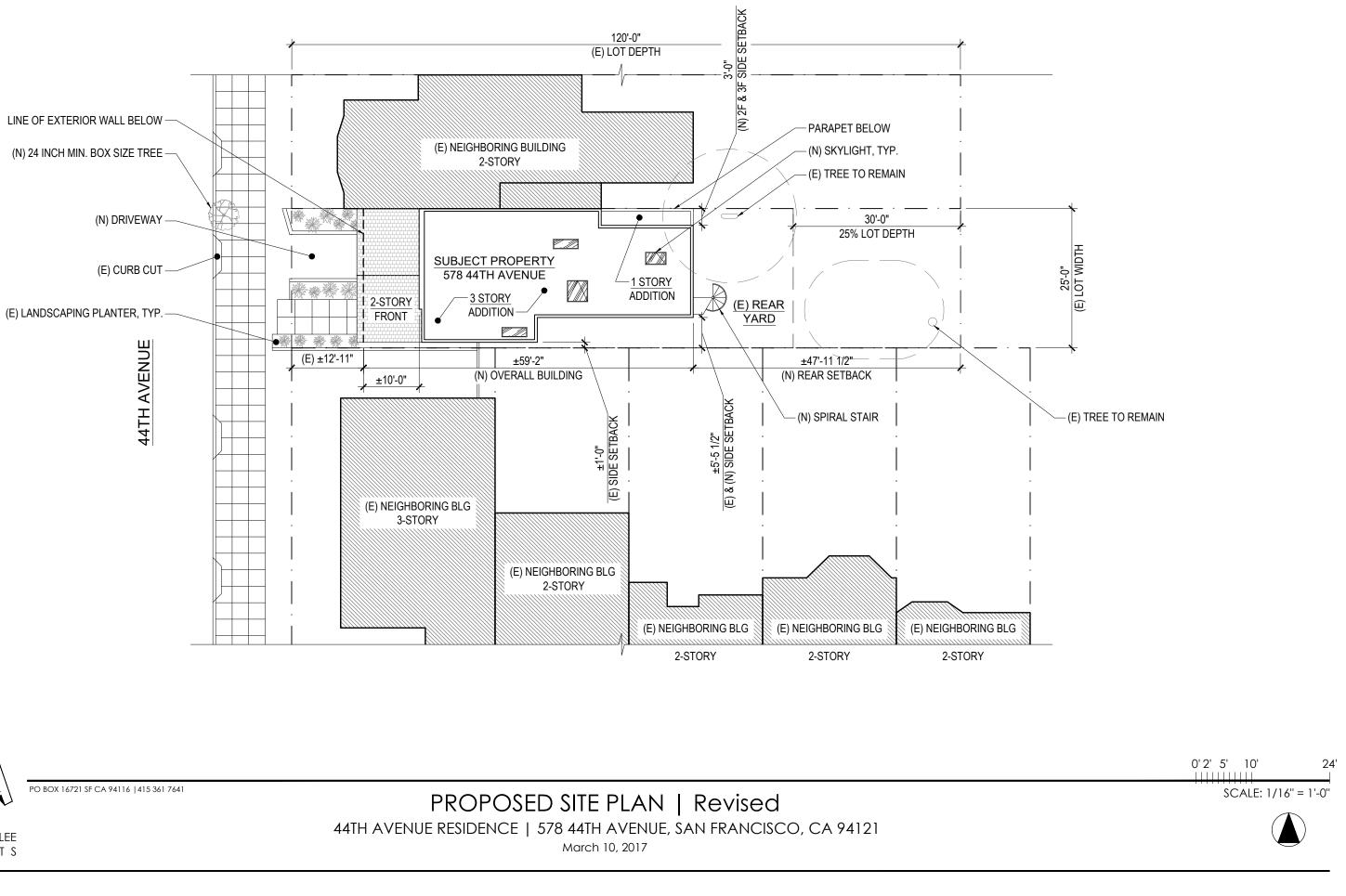




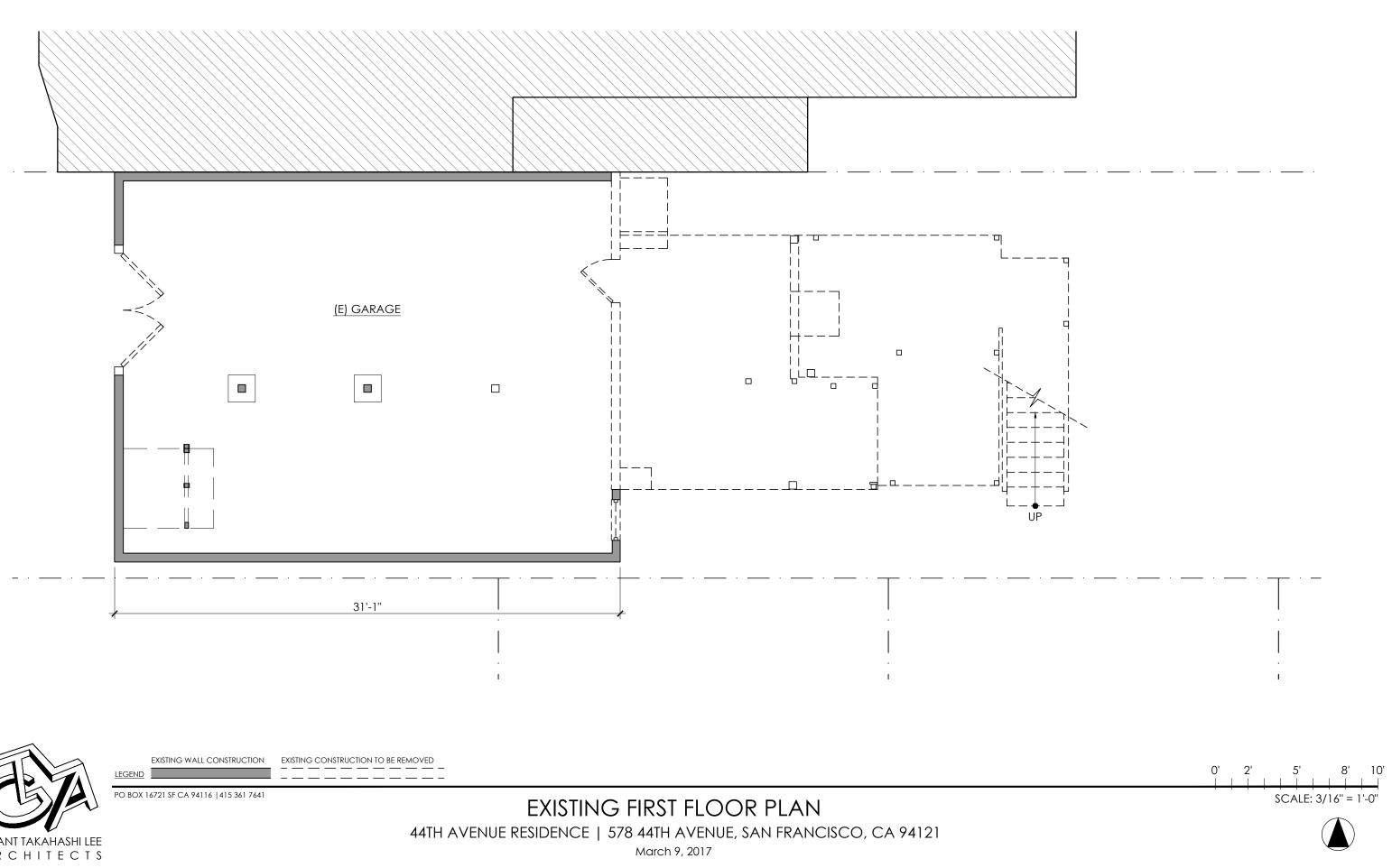
EXISTING SITE PLAN | Revised 44TH AVENUE RESIDENCE | 578 44TH AVENUE, SAN FRANCISCO, CA 94121 March 10, 2017

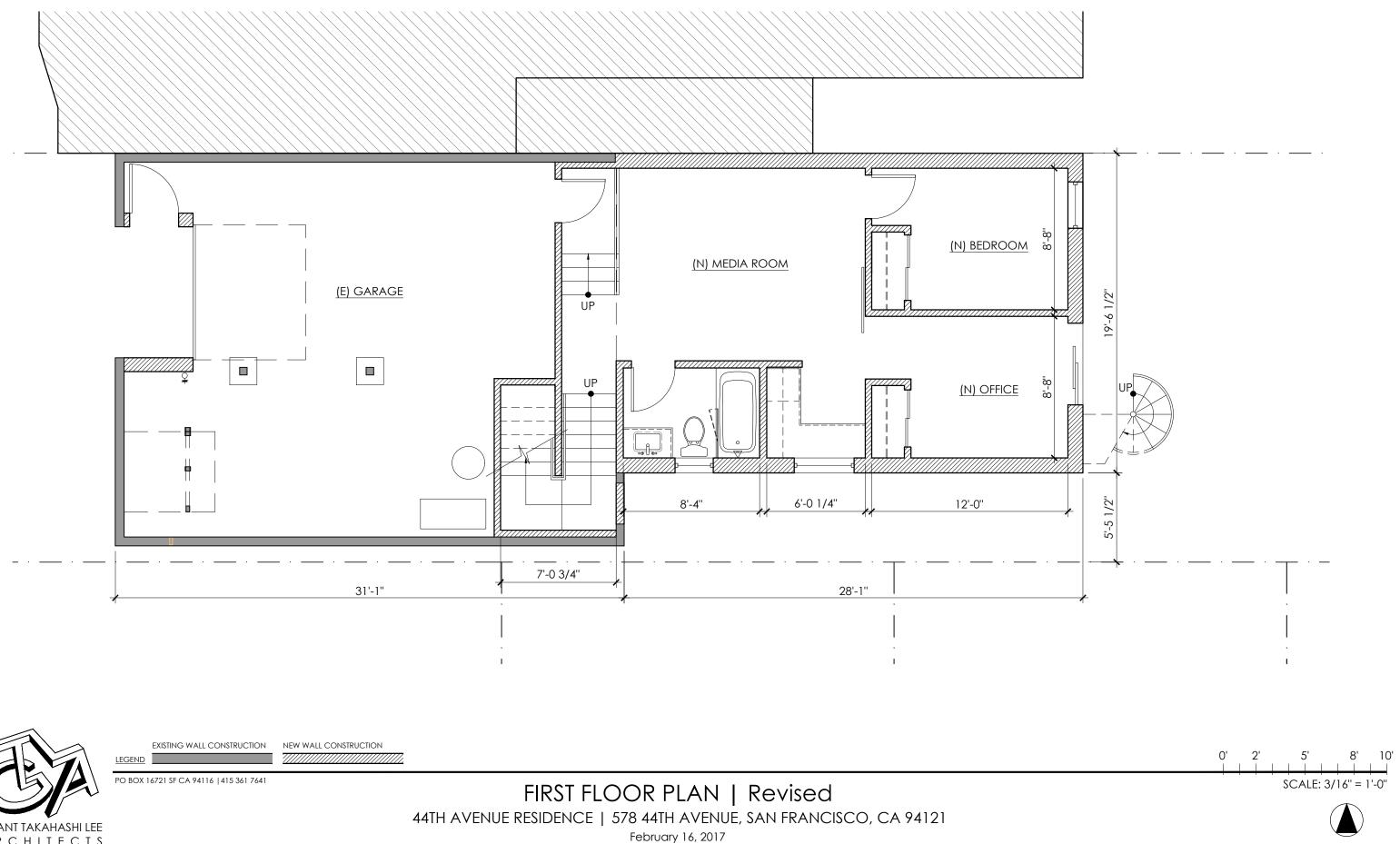
PO BOX 16721 SF CA 94116 | 415 361 7641



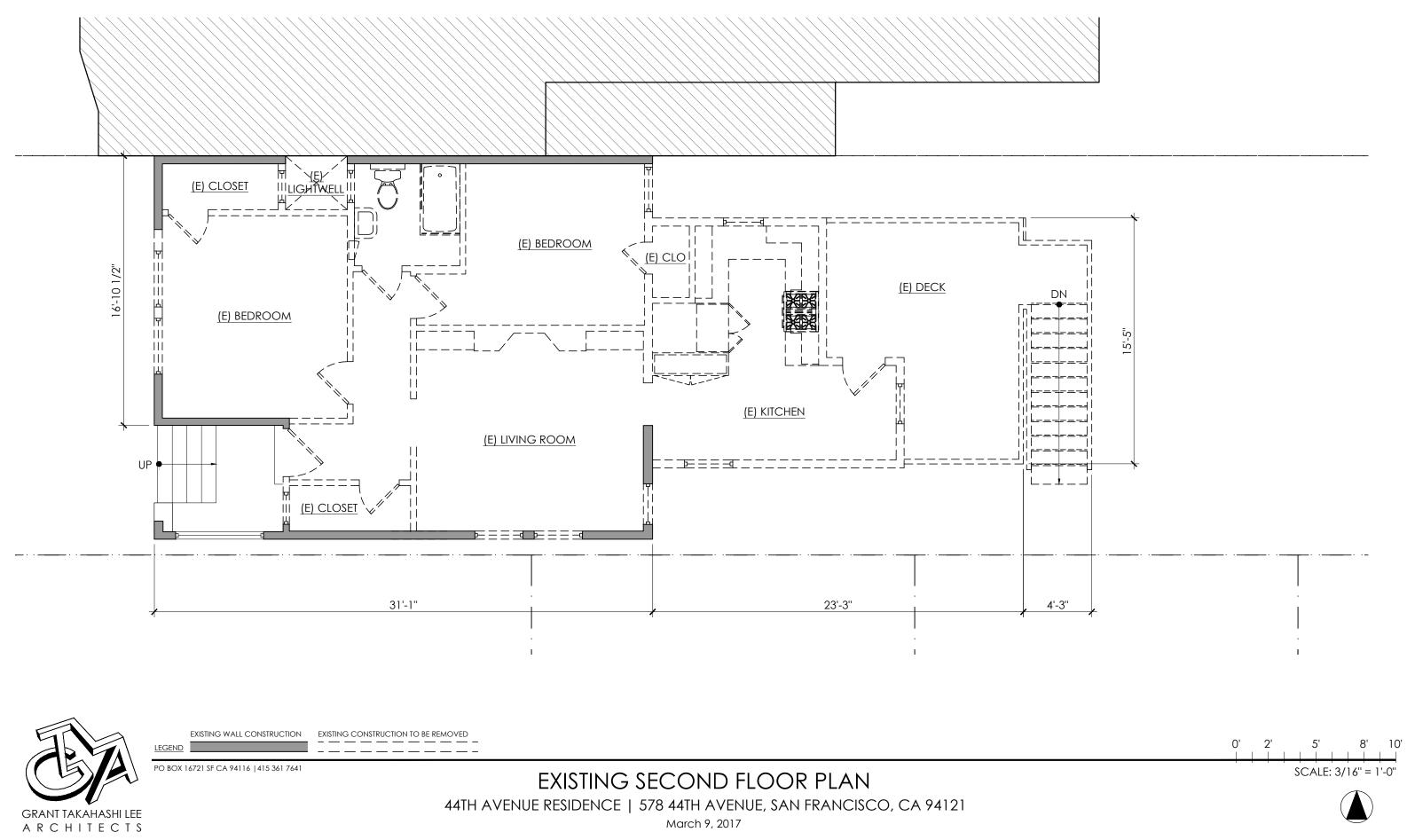




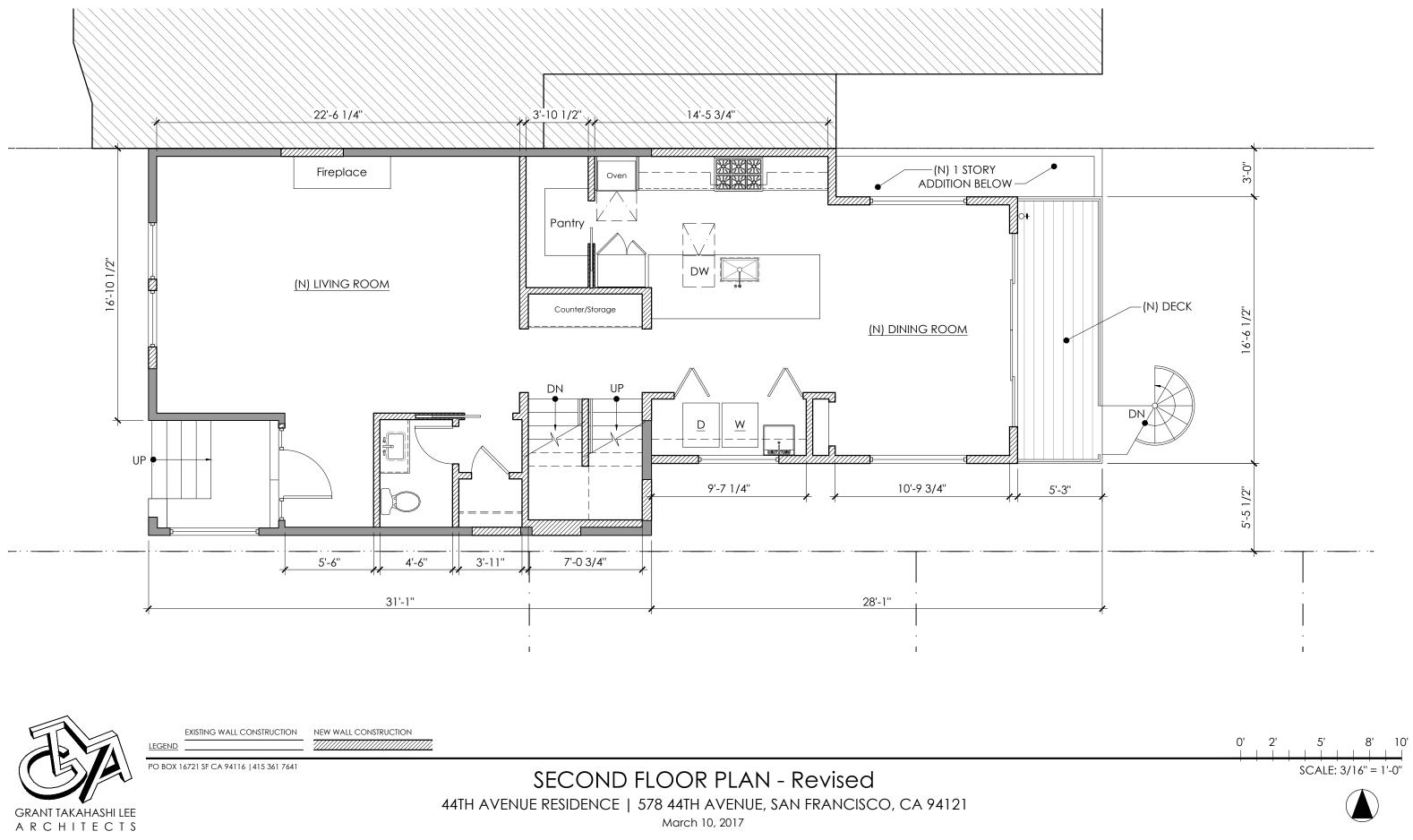




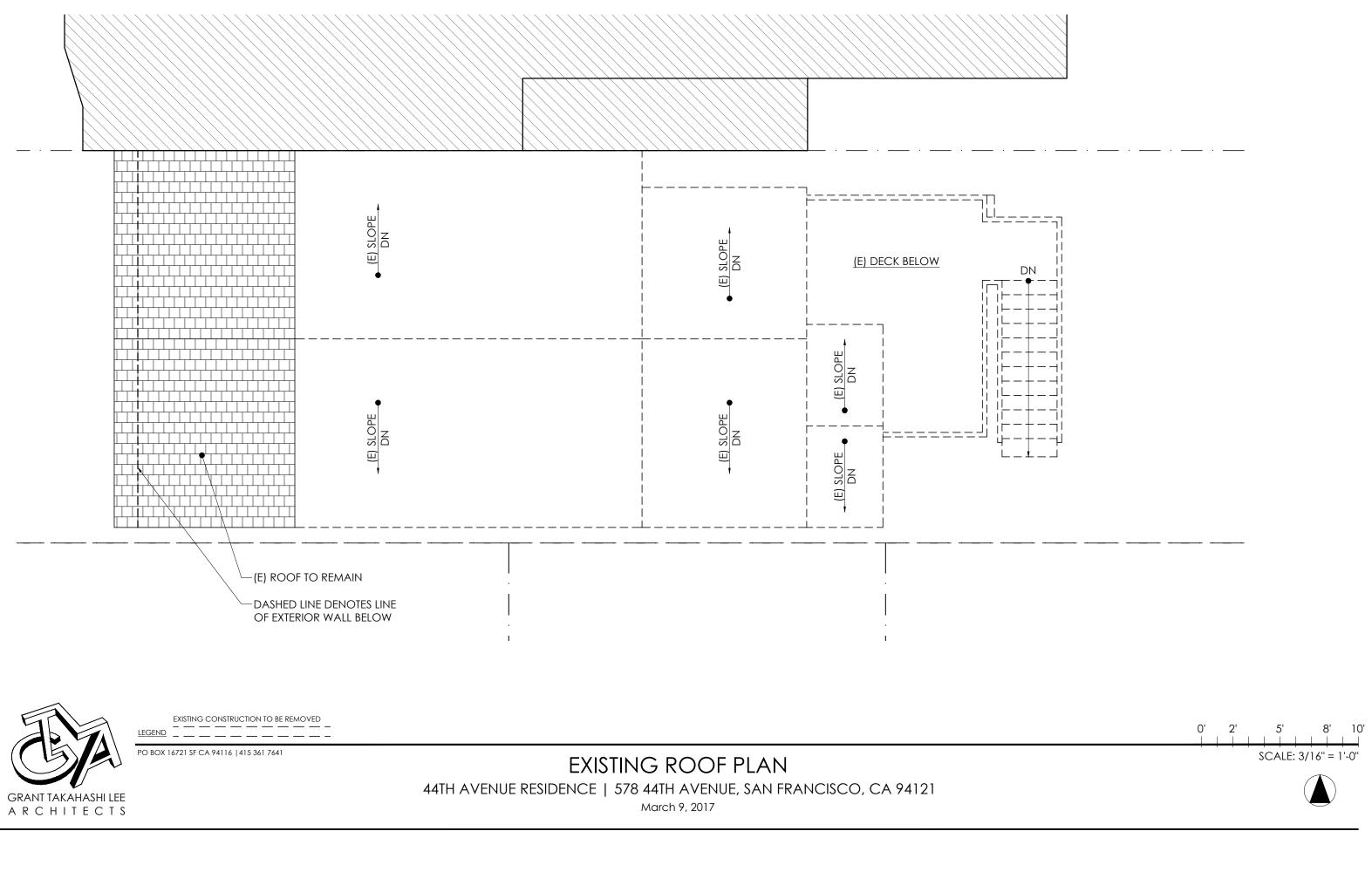


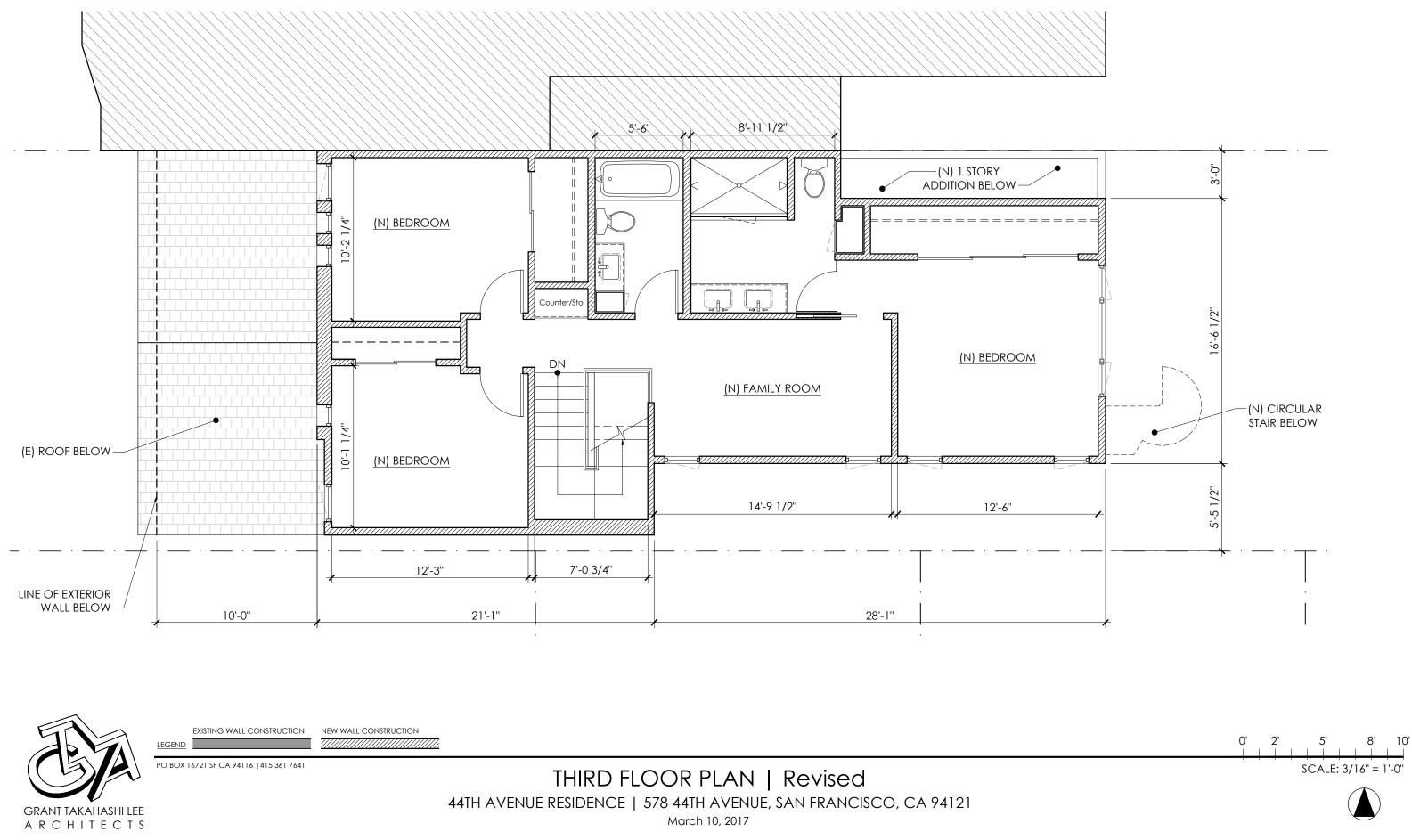




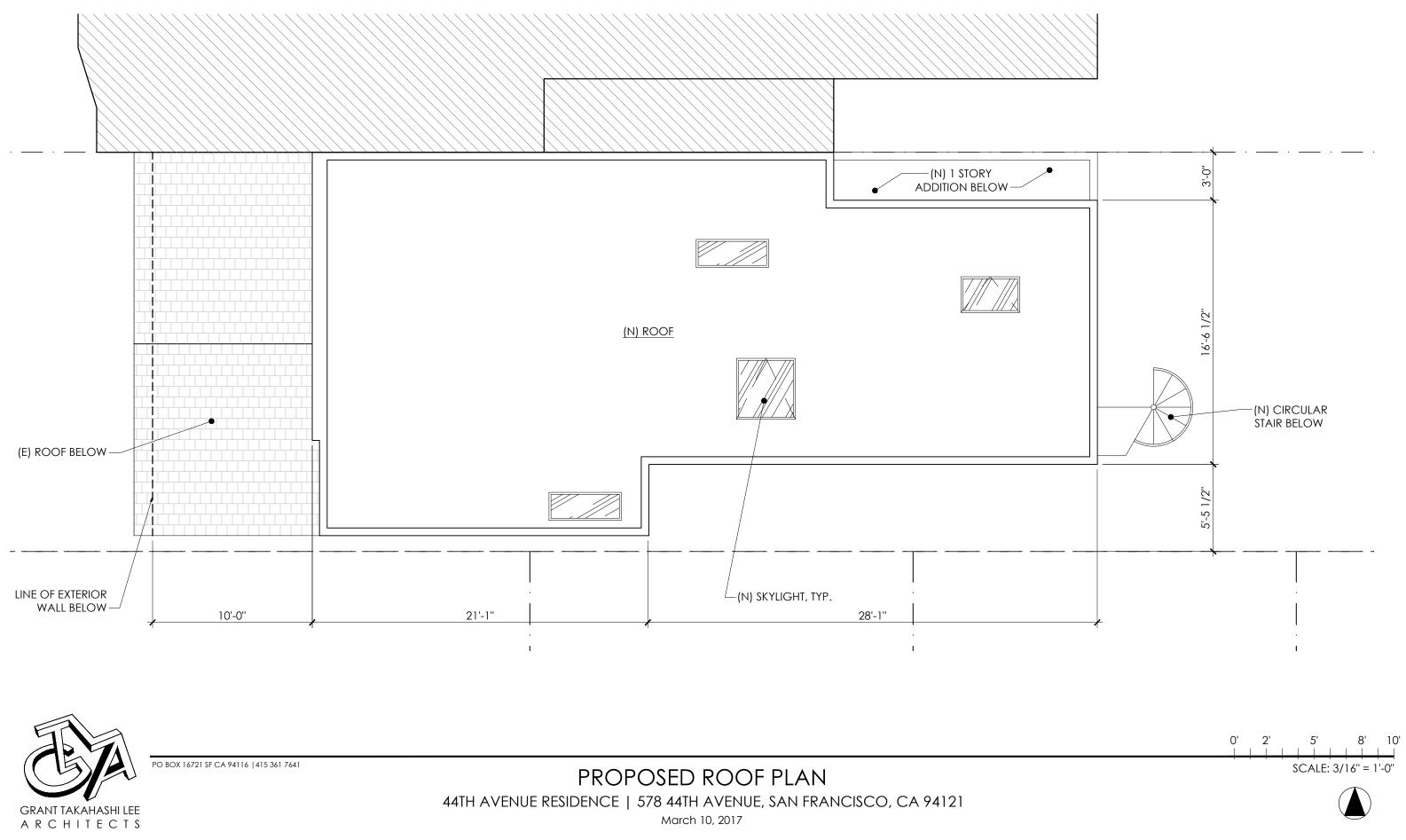




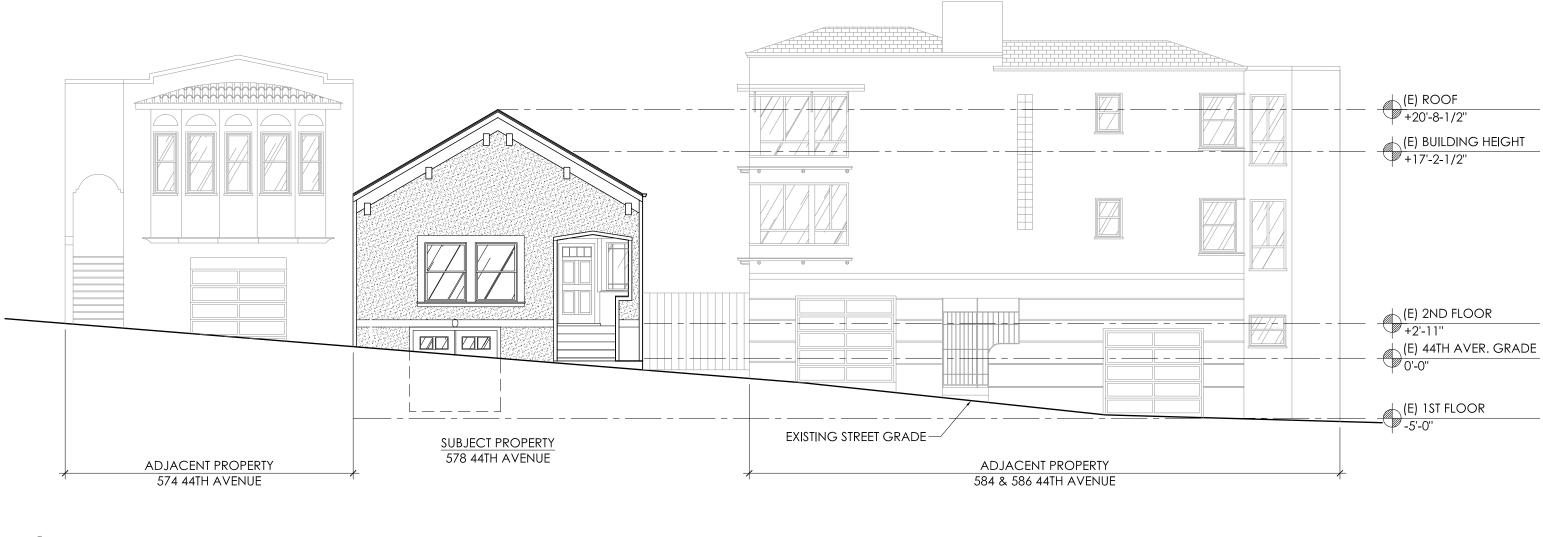












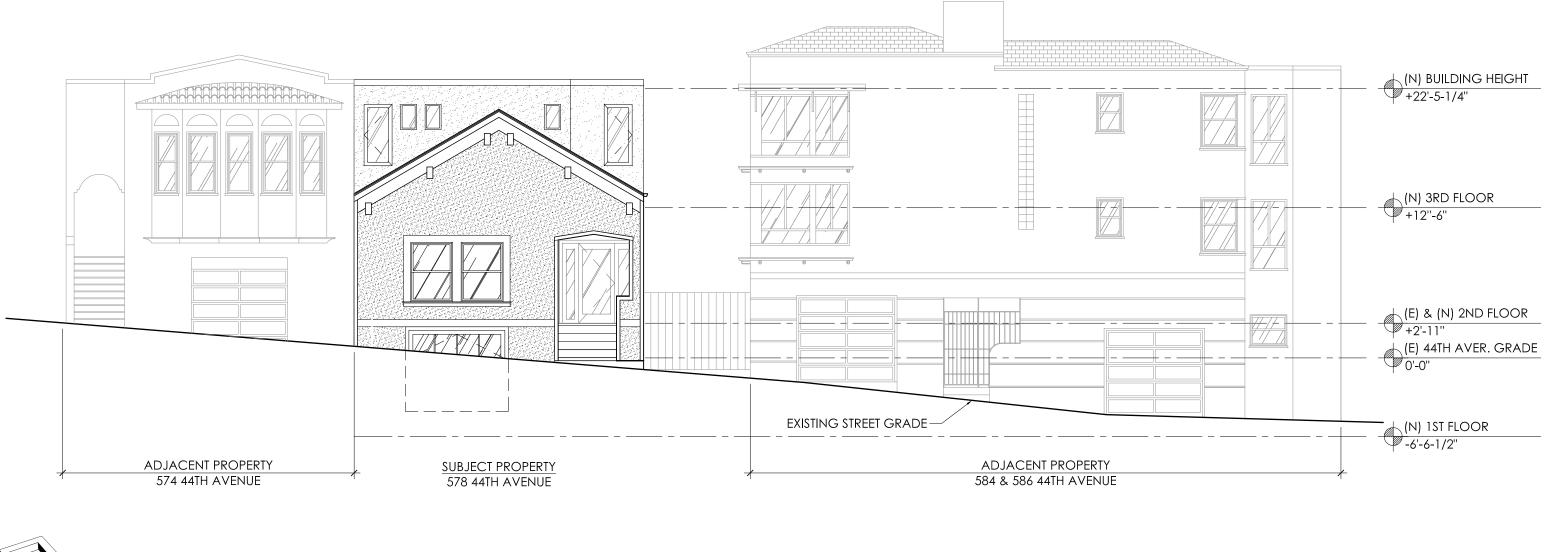


EXISTING FRONT ELEVATION 44TH AVENUE RESIDENCE | 578 44TH AVENUE, SAN FRANCISCO, CA 94121 March 9, 2017

0' 2' 5' 8' 10'

SCALE: 1/8" = 1'-0"

ARCHITECTS





PROPOSED FRONT ELEVATION | Revised 44TH AVENUE RESIDENCE | 578 44TH AVENUE, SAN FRANCISCO, CA 94121 March 9, 2017

0' 2' 5' 8' 10'

SCALE: 1/8" = 1'-0"

ARCHITECTS

PO BOX 16721 SF CA 94116 415 361 7641

EXISTING REAR ELEVATION 44TH AVENUE RESIDENCE | 578 44TH AVENUE, SAN FRANCISCO, CA 94121 March 9, 2017

SUBJECT PROPERTY 578 44TH AVENUE





SUBJECT PROPERTY 578 44TH AVENUE



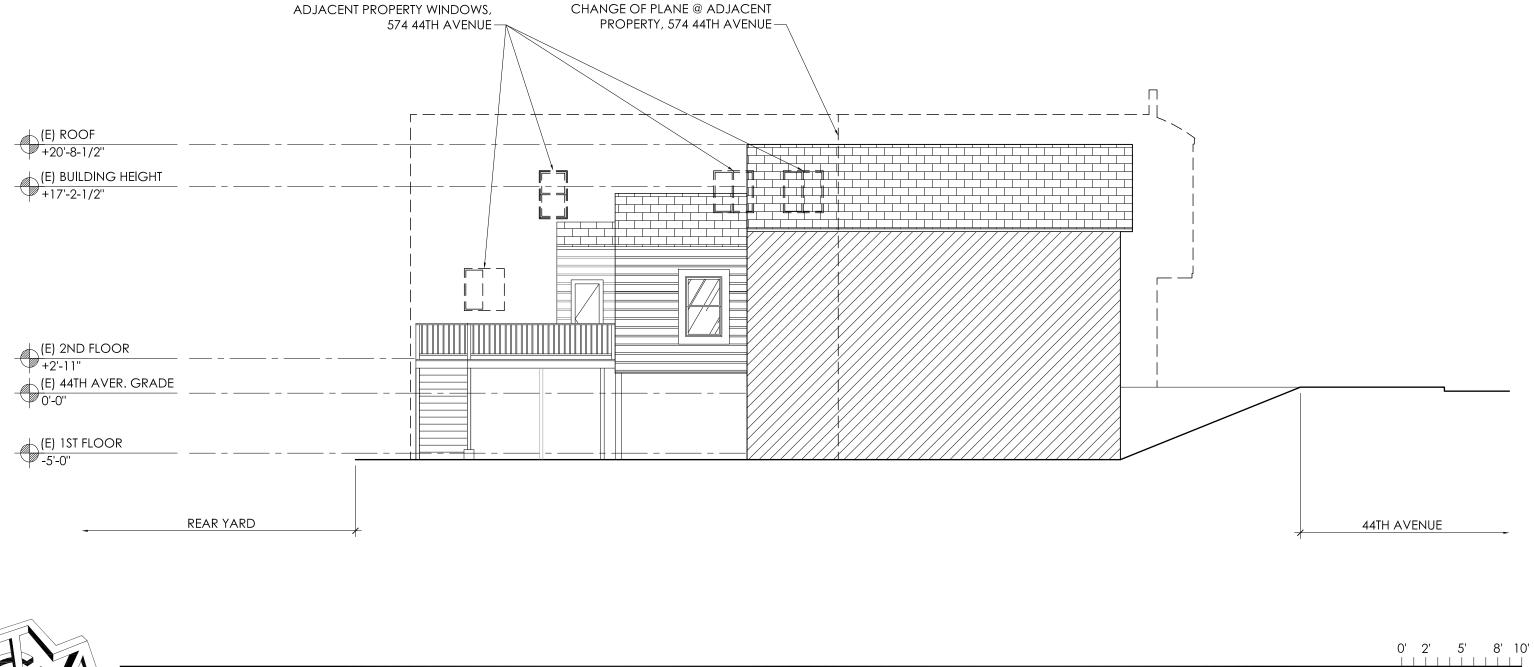
PO BOX 16721 SF CA 94116 415 361 7641

PROPOSED REAR ELEVATION | Revised 44TH AVENUE RESIDENCE | 578 44TH AVENUE, SAN FRANCISCO, CA 94121 March 9, 2017

PO BOX 16721 SF CA 94116 415 361 7641

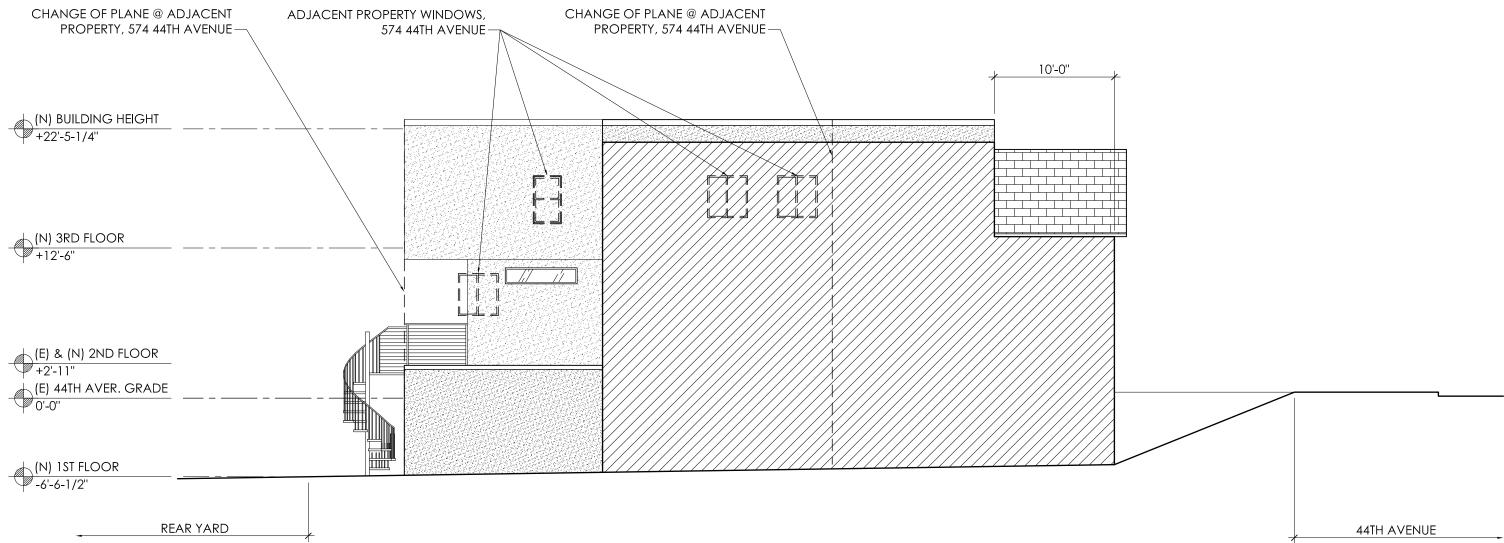
EXISTING NORTH SIDE ELEVATION 44TH AVENUE RESIDENCE | 578 44TH AVENUE, SAN FRANCISCO, CA 94121 March 9, 2017

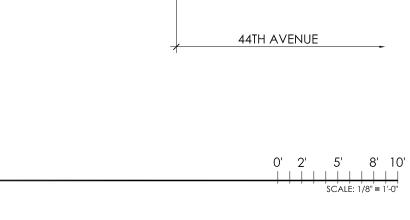
SCALE: 1/8" = 1'-0"

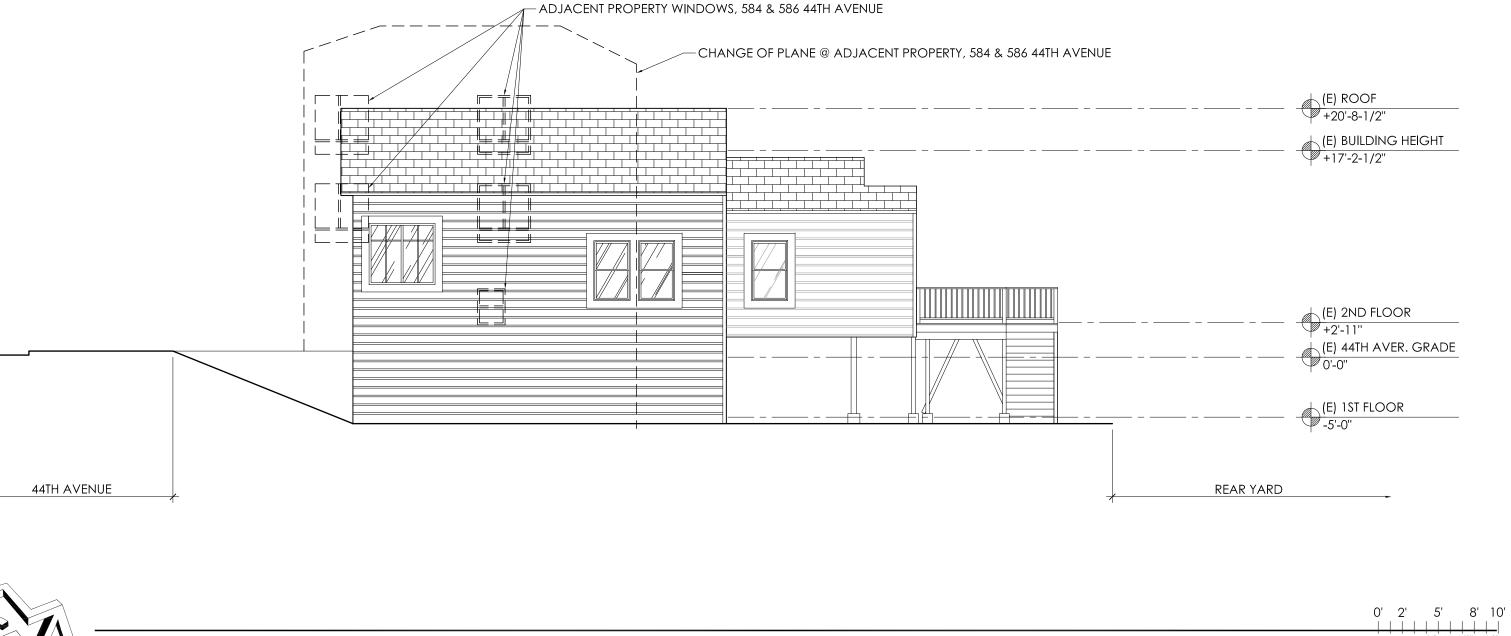


PO BOX 16721 SF CA 94116 415 361 7641

PROPOSED NORTH SIDE ELEVATION | Revised 44TH AVENUE RESIDENCE | 578 44TH AVENUE, SAN FRANCISCO, CA 94121 March 9, 2017









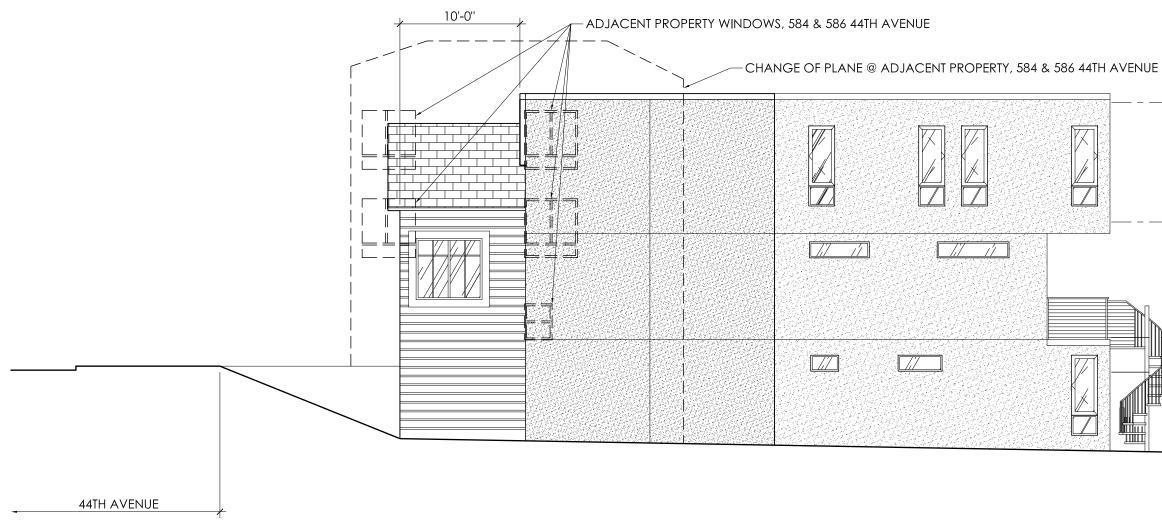
EXISTING SOUTH SIDE ELEVATION 44TH AVENUE RESIDENCE | 578 44TH AVENUE, SAN FRANCISCO, CA 94121 March 9, 2017

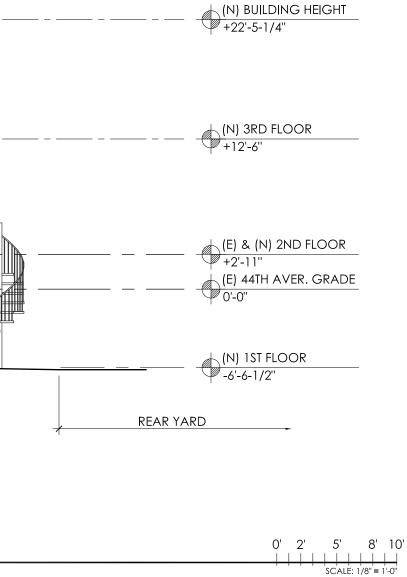
GRANT TAKAHASHI LEE ARCHITECTS

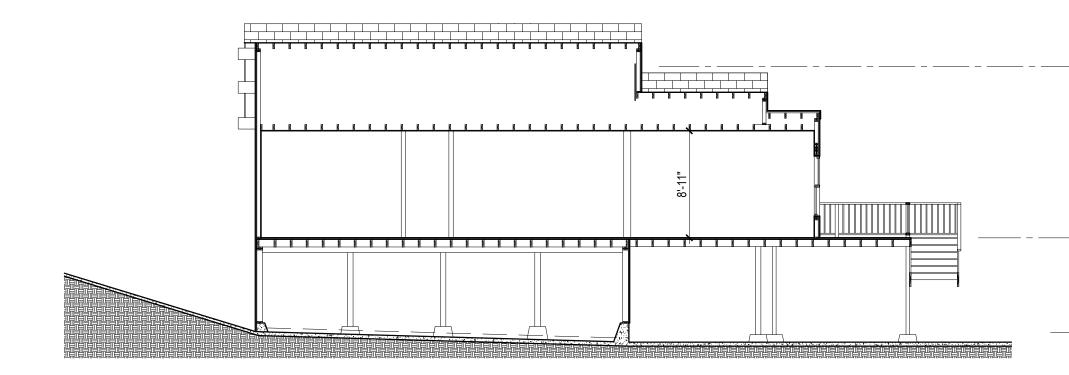
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PROPOSED SOUTH SIDE ELEVATION | Revised 44TH AVENUE RESIDENCE | 578 44TH AVENUE, SAN FRANCISCO, CA 94121 March 9, 2017

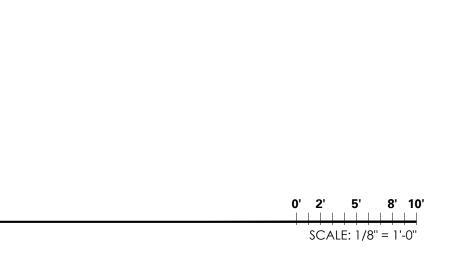








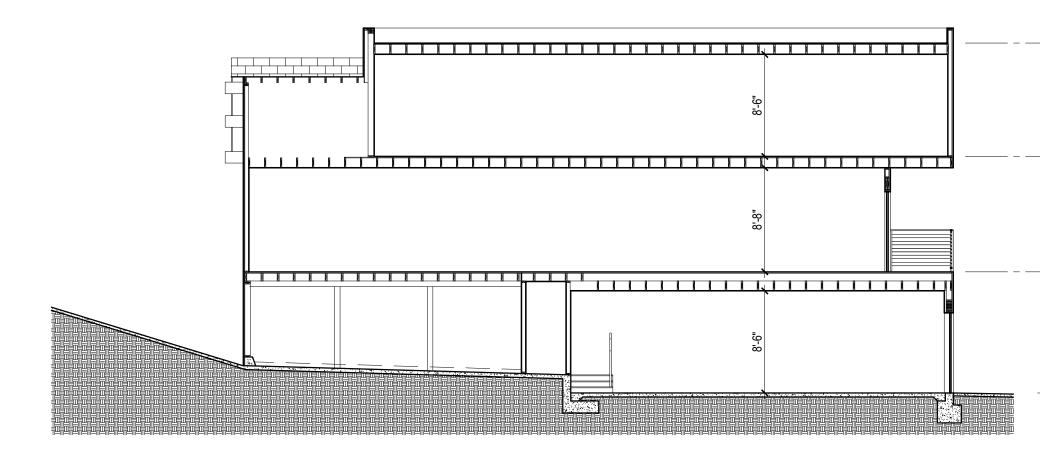
EXISTING SECTION 44TH AVENUE RESIDENCE | 578 44TH AVENUE, SAN FRANCISCO, CA 94121 M arch 3, 2017



(E) 1ST FLOOR (-) 5'-0"

(E) 2ND FLOOR +2'-11"

(E) BUILDING HEIGHT +17'-2 1/2"





PROPOSED SECTION | Revised 44TH AVENUE RESIDENCE | 578 44TH AVENUE, SAN FRANCISCO, CA 94121 M arch 10, 2017

0' 2' 5' 8' 10' SCALE: 1/8" = 1'-0"

(N) 1ST FLOOR (-) 6'-6-1/2"

(E) & (N) 2ND FLOOR +2'-11"

(N) 3RD FLOOR +12'-6"

(N) BUILDING HEIGHT +22'-5-1/4"

