



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: DECEMBER 21, 2017

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: December 14, 2017
Case No.: **2016-000260CUA**
Project Address: **1010 STANYAN STREET**
Zoning: RH-3 (Residential House, Three-Family) District
40-X Height and Bulk District
Block/Lot: 1273/017
Project Sponsor: Jonathan Pearlman
Elevation Architects
1159 Green Street, Suite 4
San Francisco, CA 94109
Staff Contact: Brittany Bendix – (415) 575-9114
brittany.bendix@sfgov.org
Recommendation: **Approval with Conditions**

PROJECT DESCRIPTION

The project proposes construction of a four-story 40-foot tall four-unit dwelling of approximately 6,984 square feet. The residential building will contain three three-bedroom units and one two-bedroom unit ranging in size from 1,323 sf to 1,861 sf and resulting in 11 bedrooms total. The project includes eight Class 1 bicycle parking spaces. There is also an active Tentative Map application proposed under Case No. 2016-005235SUB that will adjust the lot lines shared with the adjacent neighbors at 199 Cole Street and 1022 Stanyan Street. These neighboring properties are under the same ownership as the subject property. The lot line adjustment would increase the subject property to a width of 39 feet and a total lot area of 3,900 square feet.

SITE DESCRIPTION AND PRESENT USE

The project site is located on the east side of Stanyan Street, between Carl Street and Parnassus Avenue; Lot 017 in Assessor's Block 1273. The property is vacant with 37.5 feet of frontage on Stanyan Street, a depth of 100 feet and a total lot area of 3,750 square feet. The property slopes diagonally upwards from the lot's northwest corner to its southeast corner. As noted above, there is an active Tentative Map application proposed under Case no. 2016-005235SUB that would increase the property to a width of 39 feet, resulting in a total lot area of 3,900 square feet.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is located in the center of the Cole Valley neighborhood and the contiguous RH-3 Zoning District. The immediate vicinity varies in density from single-family dwellings to 28-unit apartment buildings, and in height from three to five stories. The higher density properties are characteristic of corner buildings, and the variation in height reflects the topographic conditions of the neighborhood.

Immediately north and downhill from the subject property is a three-story with attic five-family dwelling. Immediately east and downhill from the subject property is a three-story with attic three-family dwelling. Immediately south and uphill from the subject property is a three-story with attic single-family dwelling. And finally, immediately west of the property and across Stanyan Street is a three-story eight-unit building with a ground floor retail grocery use (d.b.a. The Real Food Company).

ENVIRONMENTAL REVIEW

On December 13, 2017, the Project was determined to be exempt from the California Environmental Quality Act ("CEQA") as a Class 3 Categorical Exemption.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	December 1, 2017	November 29, 2017	22 days
Posted Notice	20 days	December 1, 2017	December 1, 2017	20 days
Mailed Notice	10 days	December 1, 2017	December 1, 2017	20 days

The proposal requires a Section 311-neighborhood notification, which was conducted in conjunction with the Conditional Use Authorization process.

PUBLIC COMMENT/COMMUNITY OUTREACH

As of the drafting of this motion, the Department has not received any public comment on the proposal.

ISSUES AND OTHER CONSIDERATIONS

- Per Planning Code Section 207, when calculating the number of dwelling units allowed on a site, a remaining fraction of one-half or more of the minimum of lot area per Dwelling Unit may be "rounded up." Therefore, the minimum lot size required to provide four units in an RH-3 District is 3,500 square feet. Both the existing lot size of 3,750 sf and the 3,900 sf lot size proposed under the active Tentative Map application exceed the area required for four dwelling units. Therefore, the project is seeking Conditional Use authorization to construct four dwelling units on a 3,900 square foot lot within an RH-3 District.
- The scale and siting of the proposed residential building are compatible with the neighborhood context. The project includes side setbacks and applies a pitched roof form at the front of the building; together these elements facilitate a successful transition between the two immediate neighbors.
- The project proposes new construction of four family sized units, providing three three-bedroom units and one two-bedroom unit with access to useable open space and exposure onto open areas that comply with the requirements of the Planning Code.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant conditional use authorization to construct a four-story four-unit dwelling within the RH-3 Zoning District and a 40-X Height and Bulk District, pursuant to Planning Code Sections 207, 209.1 and 303(c).

BASIS FOR RECOMMENDATION

- The project will add four dwelling units and 11 bedrooms to the city's housing stock.
- The siting, massing and design of the project is compatible with the existing neighborhood context.
- The project complies with the applicable requirements of the Planning Code.
- The project is consistent with the objectives and policies of the General Plan.
- The project is desirable for, and compatible with the surrounding neighborhood.

RECOMMENDATION: Approval with Conditions
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Attachments:

Block Book Map
Sanborn Map
Aerial Photographs
Categorical Exemption
Project Sponsor Submittal

Attachment Checklist

- | | |
|---|--|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input checked="" type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input checked="" type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel Map | 3-D Renderings (new construction or significant addition) |
| <input checked="" type="checkbox"/> Sanborn Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Aerial Photo | <input type="checkbox"/> Wireless Telecommunications Materials |
| <input checked="" type="checkbox"/> Context Photos | <input type="checkbox"/> Health Dept. review of RF levels |
| <input checked="" type="checkbox"/> Site Photos | <input type="checkbox"/> RF Report |
| | <input type="checkbox"/> Community Meeting Notice |
| | <input type="checkbox"/> Housing Documents |
| | <input type="checkbox"/> Inclusionary Affordable Housing Program: Affidavit for Compliance |

Exhibits above marked with an "X" are included in this packet

_____BB_____
Planner's Initials

BB: G:\DOCUMENTS\Conditional Use\1010 Stanyan - RH-3 Density\Packet\1 ExecutiveSummary.doc



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- | | |
|--|---|
| <input type="checkbox"/> Affordable Housing (Sec. 415) | <input type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 413) | <input checked="" type="checkbox"/> Child Care Requirement (Sec. 414) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 412) | <input type="checkbox"/> Other (TSF) |

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Planning Commission Draft Motion

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ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 207, 209.1, AND 303(c) OF THE PLANNING CODE TO CONSTRUCT A 40-FOOT TALL FOUR-UNIT DWELLING ON AN APPROXIMATELY 3,900 SQUARE FOOT VACANT LOT WITHIN THE RH-3 (RESIDENTIAL HOUSE, THREE-FAMILY) DISTRICT AND 40-X HEIGHT AND BULK DISTRICT; AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PREAMBLE

On June 21, 2016, Jonathan Perlman (hereinafter "Project Sponsor") filed an application with the Planning Department (hereinafter "Department") for Conditional Use Authorization under Planning Code Section(s) 207, 209.1 and 303(c) to construct a 40-foot tall four-unit dwelling on an approximately 3,900 square foot vacant lot within the RH-3 (Residential House, Three-Family) District and 40-X Height and Bulk District.

On December 13, 2017, the Project was determined to be exempt from the California Environmental Quality Act ("CEQA") as a Class 3 Categorical Exemption;

On December 21, 2017, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2016-000260CUA.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2016-000260CUA, subject to the conditions contained in “EXHIBIT A” of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project site is located on the east side of Stanyan Street, between Carl Street and Parnassus Avenue; Lot 017 in Assessor’s Block 1273. The property is vacant with 37.5 feet of frontage on Stanyan Street, a depth of 100 feet, and a total lot area of 3,750 square feet. The property slopes diagonally upwards from the lot’s northwest corner to its southeast corner. There is an active Tentative Map application proposed under Case No. 2016-005235SUB for a lot line adjustment that increases the property to a width of 39 feet and results in a total lot area of 3,900 square feet. The proposed lot line adjustment is accommodated by shifting the side property lines shared with the adjacent neighbors at 199 Carl Street and 1022 Stanyan Street; both of which are under the same ownership as the subject property.
3. **Surrounding Properties and Neighborhood.** The project site is located in the center of the Cole Valley neighborhood and the contiguous RH-3 Zoning District. The immediate vicinity varies in density from single-family dwellings to 28-unit apartment buildings, and in height from three to five stories. The higher density properties are characteristic of corner buildings, and the variation in height reflects the topographic conditions of the neighborhood. Immediately north and downhill from the subject property is a three-story with attic five-family dwelling. Immediately east and downhill from the subject property is a three-story with attic three-family dwelling. Immediately south and uphill from the subject property is a three-story with attic single-family dwelling. And finally, immediately west of the property and across Stanyan Street is a three-story eight-unit building with a ground floor retail grocery use (d.b.a. The Real Food Company).
4. **Project Description.** The project proposes construction of a four-story 40-foot tall four-unit dwelling of approximately 6,984 square feet. The residential building will contain three three-bedroom units and one two-bedroom unit ranging in size from 1,323 sf to 1,861 sf and resulting in 11 bedrooms total. The project includes eight Class 1 bicycle parking spaces. As previously noted, there is also an active Tentative Map application proposed under Case No. 2016-005235SUB that will adjust the lot lines shared with the adjacent neighbors at 199 Cole Street and 1022 Stanyan Street.

5. **Public Comment.** As of the drafting of this motion, the Department has not received any public comment on the proposal.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Lot Size and Area.** Planning Code Section 121 requires that every lot in an RH-3 District has a minimum street frontage of 16 feet, a minimum width of 25 feet and a minimum lot area of 2,500.

The proposal includes a lot line adjustment proposed under Case No. 2016-005235SUB that involves the two adjacent properties at 199 Carl Street and 1022 Stanyan Street, both of which are under the same ownership as 1010 Stanyan Street. As proposed, the lot width/frontage and area for each property would change as follows: 199 Carl Street would increase in width from 37.5 feet to 38.5 feet, and increase in area from 3,750 sf to 3,850 sf; 1010 Stanyan Street would increase in width from 37.5 feet to 39 feet, and increase in area from 3,750 sf to 3,900 sf; and, 1022 Stanyan Street would decrease in width from 50 feet to 49.50 feet, and decrease in area from 5,000 sf to 4,950 sf. Therefore, all properties remain in compliance with the Planning Code.

- B. **Residential Use and Density.** Pursuant to Planning Code Section 209.1, the maximum principally permitted density in RH-3 Districts is three units per lot. However, with Conditional Use Authorization from the Planning Commission, the maximum density may be increased up to one unit per 1,000 square feet of lot area.

Per Planning Code Section 207, when calculating the number of dwelling units allowed on a site, a remaining fraction of one-half or more of the minimum of lot area per Dwelling Unit may be "rounded up." Therefore, the minimum lot size required to provide four units in an RH-3 District is 3,500 square feet. Both the existing lot size of 3,750 sf and the 3,900 sf lot size proposed under the active Tentative Map application exceed the area required for four dwelling units. Therefore, the project is seeking Conditional Use authorization to construct four dwelling units on a 3,900 square foot lot within an RH-3 District.

- C. **Front Setback.** Planning Code Section 132 requires that properties in the RH-3 District provide a front setback equal to the average front setback of the two adjacent properties. Further, Section 132 also requires that the project must provide landscaping in 20 percent of the required front setback area and that 50 percent of the front setback area must have permeable surfaces.

The property at 199 Carl Street has a front setback of 8.29 feet and the property at 1022 Stanyan Street has a front setback of 12.21 feet. Therefore, the subject property has a required front setback of 10.25 feet, which is currently proposed and results in a total area of 400 square feet. Within the required front setback area, the project includes 190 square feet of landscaping (47.5 percent) and 324 square feet of permeable surfaces (81 percent). This complies with the Planning Code requirements.

- D. **Rear Yard.** Planning Code Section 134 requires that the project provide a rear yard equal to 45 percent of the lot depth, or the average depth of the two adjacent neighbors. If the

proposal relies on averaging, then the last 10 feet of the building depth, up to the 45 percent requirement, must not exceed a height of 30 feet. Further, a projection into the rear yard, such as a two story extension that provides five foot side setbacks on each side, is permitted per Planning Code Section 136(c)(25)(B)(ii).

The subject property has a depth of 100 feet and a general rear yard requirement of 45 feet. However, based on averaging of the neighbors' rear yards, the required rear yard for the subject property is reduced to 37.94 feet. The proposal complies with this requirement and is below the applicable 30 foot height limit for the portion of the rear yard reduced through averaging. The project also includes a Code-complying two-story extension with five-foot setbacks on each side.

- E. **Open Space.** Planning Code Section 135 requires that the project provide 100 square feet of useable open space per unit if privately accessible, or 133 square feet of useable open space per unit if shared.

The project proposes four dwelling units, all of which have access to Code-complying open space. Units 1 and 2 both have access to the rear yard area of approximately 1,016 sf. Unit 3 has access to a 245 sf roof deck above the fourth floor. And Unit 4 has access to two decks at the rear of the structure above the 2nd and 3rd floors, providing 525 sf of open space.

- F. **Exposure.** Planning Code Section 140 requires that each dwelling unit have at least one room with a window that meets the 120 sf minimum floor area requirements of the Housing Code that has exposure onto one of the following open areas: a public street; a public alley of at least 20 feet in width; a side yard of at least 25 feet in width; or a rear yard meeting the requirements of the Planning Code.

The project proposes four dwelling units, all of which have exposure onto at least one of the required open areas. Units 1 and 2 have exposure onto both Stanyan Street and the Code-complying rear yard. Unit 3 has exposure onto Stanyan Street and Unit 4 has exposure onto the Code-complying rear yard.

- G. **Off-Street Parking.** Planning Code Section 151 requires that one off-street parking space is provided for each dwelling unit in an RH District. However, Section 150 allows for the replacement of such required spaces by bicycle parking spaces.

The project proposes four dwelling units. In addition to the required bicycle parking noted below, the project proposes an additional four Class 1 bicycle parking spaces as a replacement for the off-street parking spaces required by Section 151.

- H. **Bicycle Parking.** Planning Code Section 155.2 requires one Class 1 bicycle parking space per dwelling unit and one Class 2 bicycle parking space per every 20 units.

The project proposes four dwelling units and therefore requires four Class 1 and zero Class 2 bicycle parking spaces. The proposal includes a bike storage area on the ground floor level that accommodates up to eight Class 1 bicycle parking spaces, satisfying both the bicycle and off-street parking requirements.

- I. **Bird Safety.** Planning Code Section 139 outlines the standards for bird-safe buildings, including the requirements for location-related and feature-related hazards.

The subject lot is not located in close proximity to an Urban Bird Refuge and is not a location-related hazard. To comply with the Planning Code's bird-safe standards any glazed segments greater than 24 square feet will be treated in compliance with Bird Safe standards.

- J. **Residential Child Care Fee.** Per Planning Code Section 414A, projects that include at least one net new residential unit must comply with the requirements of the Residential Child Care Impact Fee.

The Project Sponsor will comply with the requirements of this section prior to the issuance of the first construction document.

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood of the community.

The project provides a four-unit building on a lot that is appropriately sized to accommodate such density while meeting the requirements of the Planning Code. Further, the scale and siting of the proposed residential building is compatible with the neighborhood context. The project includes side setbacks and applies a pitched roof form at the front of the building; together these elements facilitate a successful transition between the two immediate neighbors.

- B. That the use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:

- i. The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures.

Given the mixed density of the transit-friendly neighborhood, as well as the project's appropriate form, the proposal will not be detrimental to the residents and workers of the neighborhood.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading and of proposed alternatives to off-street parking, including provisions of car-share parking spaces, as defined in Section 166 of this Code;

The project does not include off-street parking spaces, and instead substitutes bicycle parking for vehicular parking spaces. The project provides a total of eight Class 1 bicycle parking spaces and is within an area well-served by public transit.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The project will adhere to the standard conditions of approval for this type of proposal, such as maintenance of sidewalks in a clean and sanitary condition, and enclosed location of garbage and recycling storage.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The proposal includes more landscaping than required by the Planning Code, adequate open space for all units, sufficient storage spaces for bicycle parking, and preserves the walkability of the sidewalk directly in front of the lot.

- C. That the use or feature as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the RH-3 District.

The RH-3 District is characterized by a predominant form of large flats (rather than apartments) with 25 foot wide lots, moderate scale and individual entrances for each unit, complementary building styles, and outdoor space at the ground level or decks/balconies for individual units. The proposed project is on a 39 foot lot and reflects all of the aforementioned characteristics while enabling the accommodation of one additional dwelling unit. Given the diversity of dwelling unit density within the immediate neighborhood, the fourth unit conforms to the stated purpose of the subject district.

- 8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 4:

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.1:

Develop new housing, and encourage the remodeling of existing housing, for families with children.

The project proposes new construction of a family friendly four-unit dwelling that provides three three-bedroom units and one two-bedroom unit with Code-complying access to useable open space and exposure onto open areas.

OBJECTIVE 11:

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS

Policy 11.1:

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility and innovative design, and respects existing neighborhood character.

Policy 11.2:

Ensure implementation of accepted design standards in project approvals.

Policy 11.3:

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

The proposed residential building is well-designed and compatible with the neighborhood character. The project complies with the accepted residential design standards while accommodating additional growth beyond the principally permitted density.

OBJECTIVE 12:

BALANCE HOUSING GROWTH WITH ADEQUATE INFRASTRUCTURE THAT SERVES THE CITY'S GROWING POPULATION

Policy 12.1:

Encourage new housing that relies on transit use and environmentally sustainable patterns of movement.

The project does not provide off-street vehicular parking spaces, instead providing twice the required amount of Class 1 bicycle parking and is in close proximity to transit lines.

TRANSPORTATION

Objectives and Policies

OBJECTIVE 28:

PROVIDE SECURE AND CONVENIENT PARKING FACILITIES FOR BICYCLES

Policy 28.1:

Provide secure bicycle parking in new governmental, commercial, and residential developments.

OBJECTIVE 30:

PROVIDE SECURE AND CONVENIENT PARKING FACILITIES FOR BICYCLES

Policy 30.8:

Consider lowering the number of automobile parking spaces required in buildings where Class 1 bicycle parking is provided.

The project provides eight secure Class 1 bicycle parking spaces within the building.

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The project includes residential uses on a lot that does not permit retail uses, and therefore, will not affect existing neighborhood-serving uses.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

No housing will be removed by the Project. The project is proposed on a vacant lot.

- C. That the City's supply of affordable housing be preserved and enhanced,

No housing is removed for this Project.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The subject property is well-served by public transit and within a block of the N-Judah Muni line and the 37-Corbett and 43-Masonic Muni bus lines.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project will not displace any service or industry establishment.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project is designed and will be constructed to conform to the structural and seismic safety requirements of the City Building Code. This proposal will not impact the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

A landmark or historic building does not occupy the Project site.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The project will not diminish the access to sunlight and vistas for parks and public open spaces.

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2016-000260CUA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated November 28, 2017, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on December 21, 2017.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: December 21, 2017

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to construct a 40-foot tall four-unit dwelling on an approximately 3,900 square foot vacant lot within the RH-3 (Residential House, Three-Family) Zoning District and 40-X Height and Bulk District; in general conformance with plans, dated **November 28, 2017**, and stamped "EXHIBIT B" included in the docket for Case No. **2016-000260CUA** and subject to conditions of approval reviewed and approved by the Commission on **December 21, 2017**, under Motion No **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **December 21, 2017**, under Motion No **XXXXXX**.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the date that the Planning Code text amendment(s) and/or Zoning Map amendment(s) become effective. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

3. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since the date that the Planning Code text amendment(s) and/or Zoning Map amendment(s) became effective.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

DESIGN – COMPLIANCE AT PLAN STAGE

6. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

7. **Garbage, composting and recycling storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

PARKING AND TRAFFIC

8. **Bicycle Parking.** Pursuant to Planning Code Sections 155.1 and 155.2, the Project shall provide no fewer than **eight** Class 1 bicycle parking spaces.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

PROVISIONS

9. **Anti-Discriminatory Housing.** The Project shall adhere to the requirements of the Anti-Discriminatory Housing policy, pursuant to Administrative Code Section 1.61.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

10. **Child Care Fee - Residential.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

MONITORING

11. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

12. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

13. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

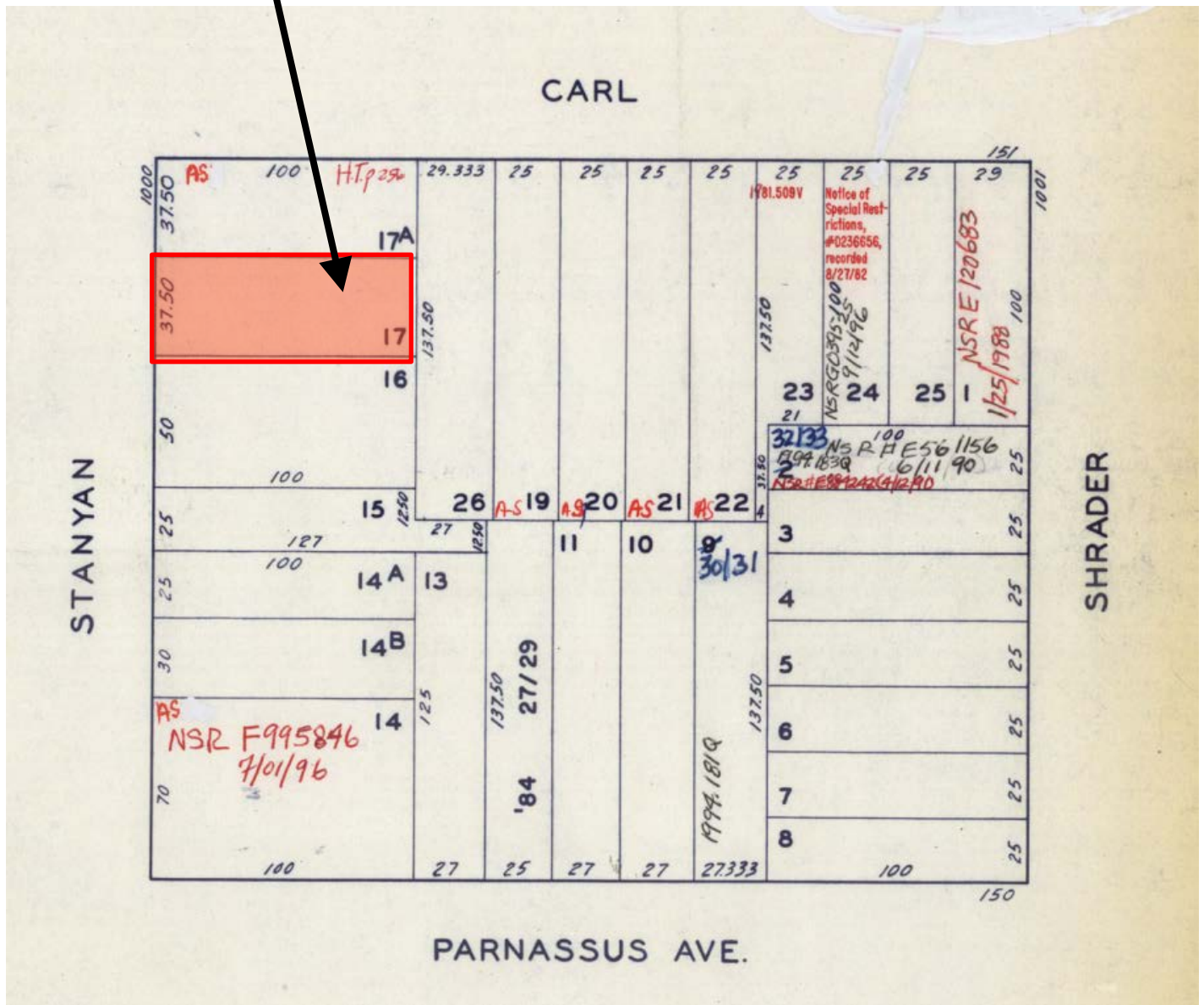
For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>

14. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

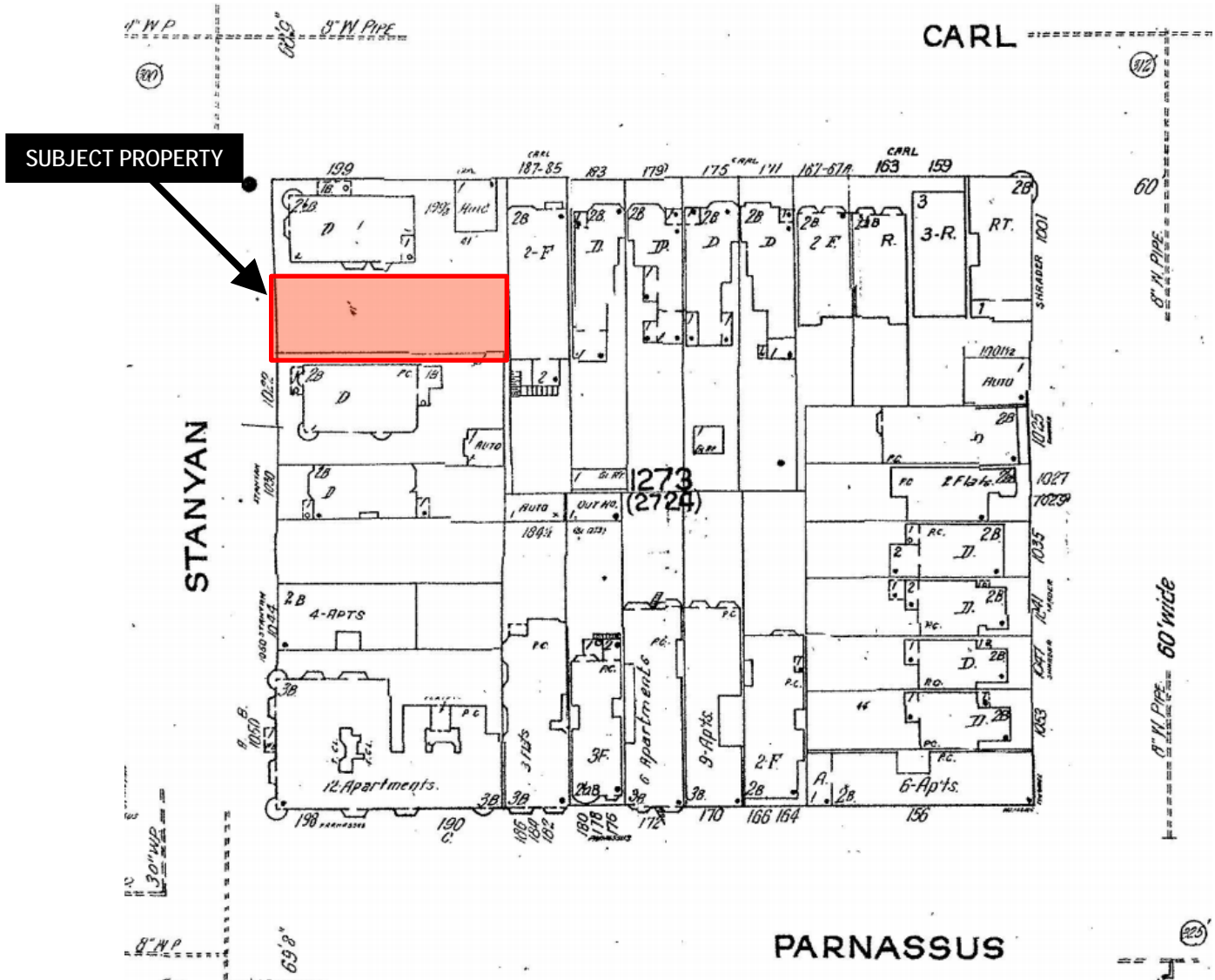
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Parcel Map

SUBJECT PROPERTY



Sanborn Map*

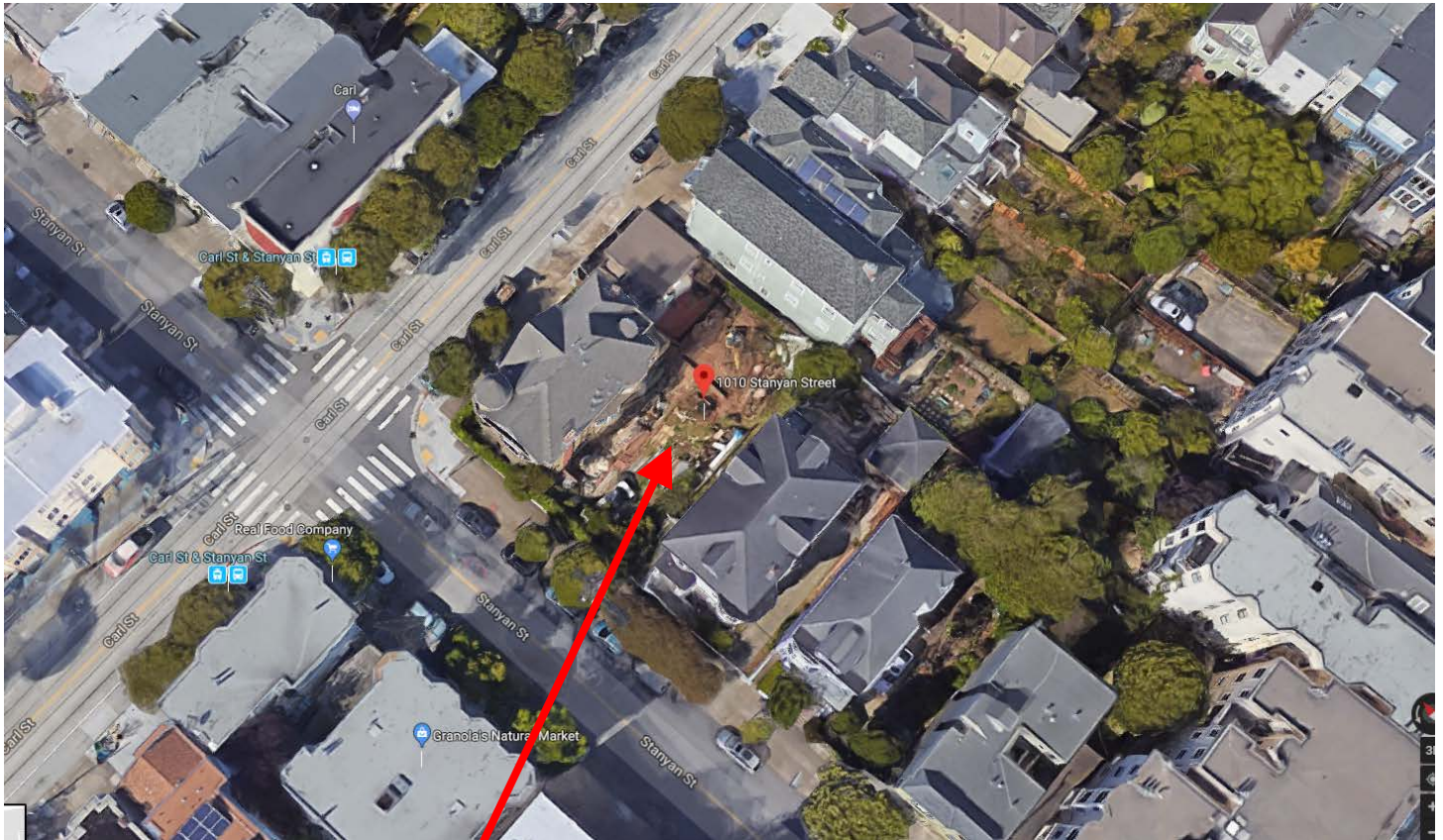


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Conditional Use Authorization
Case Number 2016-000260CUA
1010 Stanyan Street

Aerial Photo

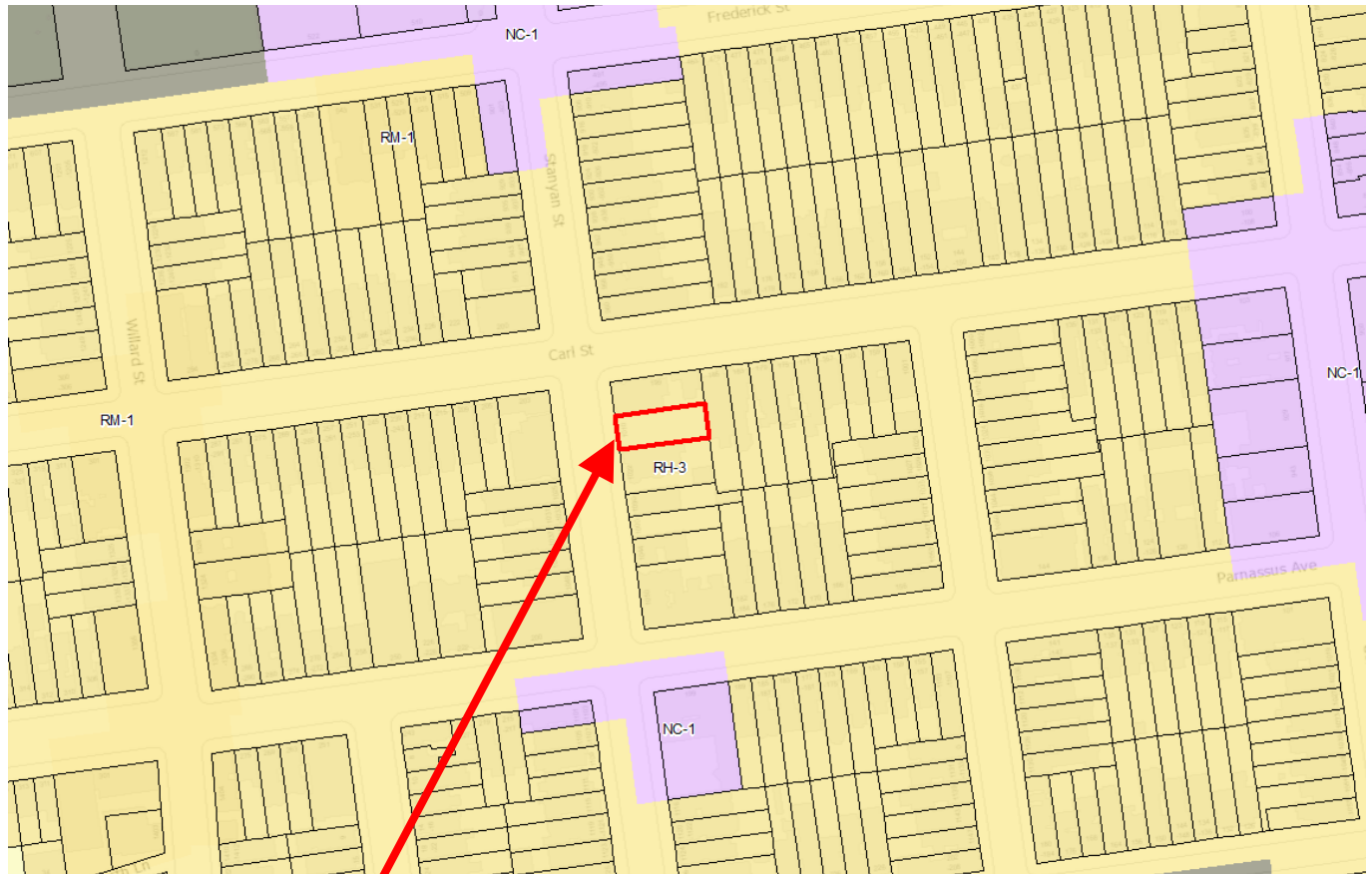


SUBJECT PROPERTY



Conditional Use Authorization
Case Number 2016-000260CUA
1010 Stanyan Street

Zoning Map

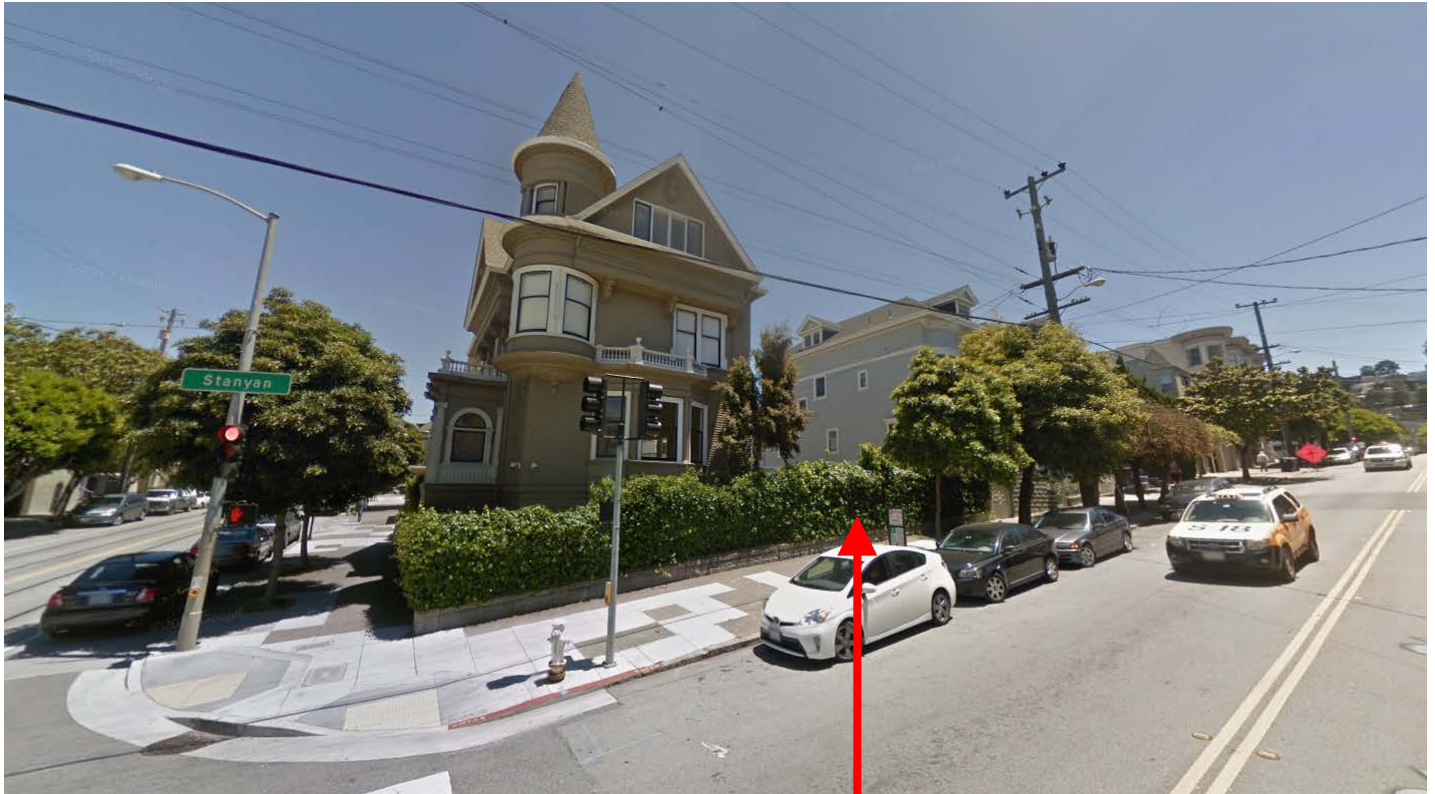


SUBJECT PROPERTY



Conditional Use Authorization
Case Number 2016-000260CUA
1010 Stanyan Street

Site Photo



SUBJECT PROPERTY

Conditional Use Authorization
Case Number 2016-000260CUA
1010 Stanyan Street



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
1010 Stanyan Street		1273/017	
Case No.	Permit No.	Plans Dated	
2016-000260CUA	to be filed	11/28/17	
<input type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 45 years old)	<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval. New construction of a four unit dwelling.			

STEP 1: EXEMPTION CLASS TO BE COMPLETED BY PROJECT PLANNER

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input type="checkbox"/>	Class 1 – Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	Class 3 – New Construction/ Conversion of Small Structures. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions.; ; change of use under 10,000 sq. ft. if principally permitted or with a CU. Change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an <i>Environmental Evaluation Application</i> is required.	
<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks)? <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Article 38 program and the project would not have the potential to emit substantial pollutant concentrations. (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollutant Exposure Zone)</i>
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the</i>

	<i>Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i>
<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	Slope = or > 20%: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required.
If no boxes are checked above, GO TO STEP 3. <u>If one or more boxes are checked above, an Environmental Evaluation Application is required, unless reviewed by an Environmental Planner.</u>	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.
Comments and Planner Signature (optional): Brittany Bendix <div style="float: right; font-size: small;"> Digitally signed by Brittany Bendix DN: c=us, o=City of San Francisco, ou=City Planning, ou=City Planning, ou=City Planning, email=brittany.bendix@sf.gov, email=brittany.bendix@sf.gov, Date: 2016.10.26 11:15:28 -0700 </div>	

STEP 3: PROPERTY STATUS – HISTORIC RESOURCE TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input checked="" type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not “in-kind” but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input checked="" type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments): The subject building will be constructed on a vacant site within the Cole Valley eligible district. The proposed design was reviewed by the Residential Design Team for compatibility with the surrounding context.

<input checked="" type="checkbox"/>	<p>9. Other work that would not materially impair a historic district (specify or add comments): See above. New building will be contemporary yet compatible with district.</p> <p>(Requires approval by Senior Preservation Planner/Preservation Coordinator) _____</p>
<input type="checkbox"/>	<p>10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation Coordinator)</p> <p><input type="checkbox"/> Reclassify to Category A <input type="checkbox"/> Reclassify to Category C</p> <p>a. Per HRER dated: _____ (attach HRER)</p> <p>b. Other (specify): _____</p>
<p>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.</p>	
<input type="checkbox"/>	<p>Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.</p>
<input checked="" type="checkbox"/>	<p>Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.</p>
<p>Comments (optional):</p>	
<p>Preservation Planner Signature: Alexandra Kirby</p> <p><small>Digitally signed by Alexandra Kirby DN: cn=sg, o=sdg, ou=sdgplanning, ou=CityPlanning, ou=Current Planning, ou=Alexandra Kirby, email=Alexandra.Kirby@sf.gov.org Date: 2017.12.13 15:27:02 -0800</small></p>	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	<p>Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply):</p> <p><input type="checkbox"/> Step 2 – CEQA Impacts</p> <p><input type="checkbox"/> Step 5 – Advanced Historical Review</p> <p>STOP! Must file an <i>Environmental Evaluation Application</i>.</p>					
<input checked="" type="checkbox"/>	<p>No further environmental review is required. The project is categorically exempt under CEQA.</p> <table border="1"> <tr> <td> <p>Planner Name: Brittany Bendix</p> </td> <td> <p>Signature:</p> </td> </tr> <tr> <td> <p>Project Approval Action:</p> <p>Building Permit</p> <p>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p> </td> <td> <p>Brittany Bendix</p> <p>Digitally signed by Brittany Bendix Date: 2017.12.13 16:29:01 -08'00'</p> </td> </tr> </table> <p>Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.</p>		<p>Planner Name: Brittany Bendix</p>	<p>Signature:</p>	<p>Project Approval Action:</p> <p>Building Permit</p> <p>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p>	<p>Brittany Bendix</p> <p>Digitally signed by Brittany Bendix Date: 2017.12.13 16:29:01 -08'00'</p>
<p>Planner Name: Brittany Bendix</p>	<p>Signature:</p>					
<p>Project Approval Action:</p> <p>Building Permit</p> <p>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p>	<p>Brittany Bendix</p> <p>Digitally signed by Brittany Bendix Date: 2017.12.13 16:29:01 -08'00'</p>					

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a “substantial modification” and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
Case No.	Previous Building Permit No.	New Building Permit No.
Plans Dated	Previous Approval Action	New Approval Action
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required. ATEX FORM	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:



WEST ELEVATION
STANYAN STREET

NORTH ELEVATION

EAST ELEVATION

1010 STANYAN STREET

CONDITIONAL USE APPLICATION PLANNING COMMISSION HEARING
DECEMBER 21, 2017



The project is a new 4-unit residential building to be built on a vacant lot on the east side of Stanyan Street between Carl and Parnassus Streets. With a lot size of 3,900 sq. ft., the project is seeking to take advantage of the allowable density as described in Table 209.1 that allows one dwelling unit for each 1,000 sq. ft. of lot area in this RH-3 district.

The new building features:

- Unit 1, a fully accessible flat with 3-bedrooms and 2 1/2 baths with 1,755 sq. ft. on the 1st floor
- Unit 2, a flat with 3-bedroom, 2 1/2 bath, with 1,861 sq. ft. on the 2nd floor
- Unit 3, a 2-story townhouse-style 3-bedroom and 2 1/2 bath of 1,729 sq. ft. at the 3rd and 4th floors
- Unit 4, a 2-story townhouse-style 2-bedroom and 2 bath of 1,323 sq. ft. at the 3rd and 4th floors

1010 STANYAN STREET

CONDITIONAL USE APPLICATION PLANNING COMMISSION HEARING
DECEMBER 21, 2017



CU Finding I:

That The Proposed Use Or Feature, At The Size And Intensity Contemplated And At The Proposed Location Will Provide A Development That Is Necessary Or Desirable For, And Compatible With, The Neighborhood Or Community.

Overall, the proposed project is desirable and compatible with the existing neighborhood because:

1. At this vacant lot, the proposed project provides four new quality family-sized housing units;
2. The proposed project does not displace any existing rental housing;
3. The mass and form of the building is consistent with the large, free-standing neighboring buildings that are unique in this Cole Valley neighborhood;
4. The form of the building reinforces the stepping pattern of the roofs along this block face;
5. The project has no parking and therefore does not create a new curb cut along Stanyan Street;
6. By not needing a new curb cut, the proposed project preserves the existing stone wall along the Stanyan Street sidewalk and the existing mature trees that line this side of the street.

1010 STANYAN STREET

CONDITIONAL USE APPLICATION PLANNING COMMISSION HEARING
DECEMBER 21, 2017

CU Finding 2:

That Such Use Or Feature Proposed Will Not Be Detrimental To The Health, Safety, Convenience Or General Welfare Of Persons Residing Or Working In The Vicinity, Or Injurious To Property, Improvements Or Potential Development In The Vicinity, With Respect To Aspects Including But Not Limited To The Following:

(a) The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The form and massing of the proposed project and its location on the property all reinforce the prevailing pattern of large, free-standing homes along the east side of Stanyan Street.

(b) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The project proposes no new car parking and only bicycle parking, therefore there is no increase of the type and volume of traffic or alteration of traffic patterns. The site is well served by mass transit. There is frequent service of the N-Judah Muni Metro with a stop at the corner of Stanyan at Carl Street. The 37 and 43 line buses run one block away on Cole Street.

(c) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

As a residential building, there will be no noxious or offensive emissions, noise or dust emanating from the building. During construction, the general contractor will follow all applicable laws to prevent dust and odor from emanating from the site.

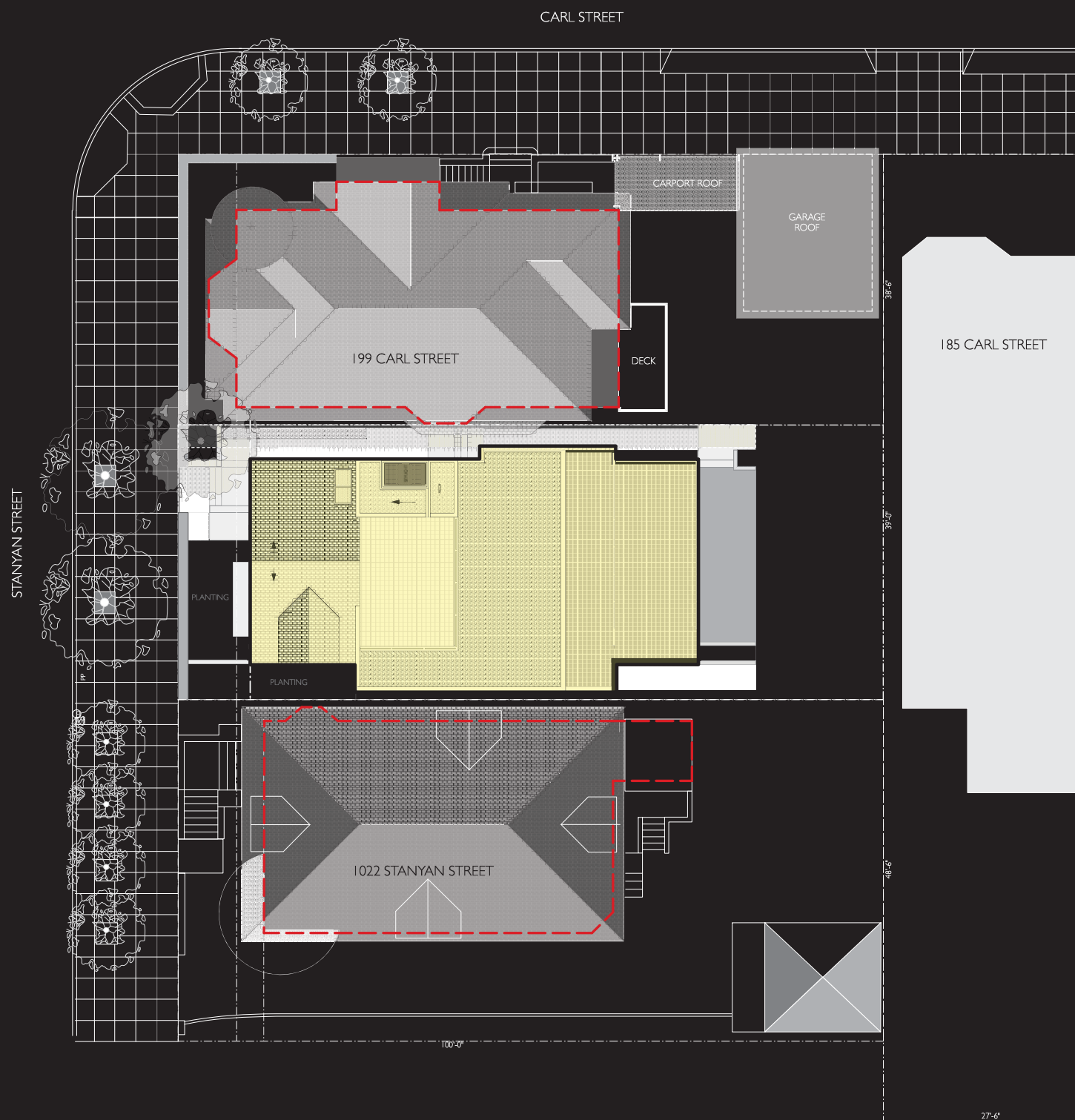
(d) Treatment Given, As Appropriate, To Such Aspects As Landscaping, Screening, Open Spaces, Parking And Loading Areas, Service Areas, Lighting And Signs;

Without the need for a new curb cut, the proposed project will have no effect on the mature street trees along this side of Stanyan Street. As is common to other homes in this neighborhood, open space is provided in the rear yard and on decks on the rear and roof of the building.



1010 STANYAN STREET

CONDITIONAL USE APPLICATION PLANNING COMMISSION HEARING
DECEMBER 21, 2017



CU Finding 3:

That such use and feature will comply with the applicable provisions of the code and will not adversely affect the Master Plan.

The design of the new four dwelling unit building at 1010 Stanyan Street complies with all code provisions and its dimensions, mass and form are at or below code maximums allowed in this RH-3 district. As an infill project on a vacant lot in a developed neighborhood, there is no impact of the proposed project on the Master Plan Priorities. The detailed answers are outlined in the CU Application on pages 10 and 11.

Sec. 132: Front Setback Area in RH District:

The front setback for the proposed project is an average between the two neighboring buildings at 199 Carl Street and 1022 Stanyan Street

Sec. 134(a)(2)(c)(1): Rear Yard Setback: 45% of total depth of the lot: Reduction of requirements:

The proposed project rear yard setback is defined by the averaging of the rear wall of the two neighboring buildings at 199 Carl and 1022 Stanyan Street. With the reduction, the rear portion of the building that is within the reduction area is lower than 30'-0".

Sec. 138.1 (c)(1)(B)(i)(cc): Streetscape and Pedestrian Improvements

There will be no modifications to the sidewalk for this proposed project at 1010 Stanyan Street since no new curb cut will be required. The street is lined with mature street trees so no new trees will be required for the proposed project.

Sec. 150(e): Reduction and Replacement of Off- Street Parking Spaces.

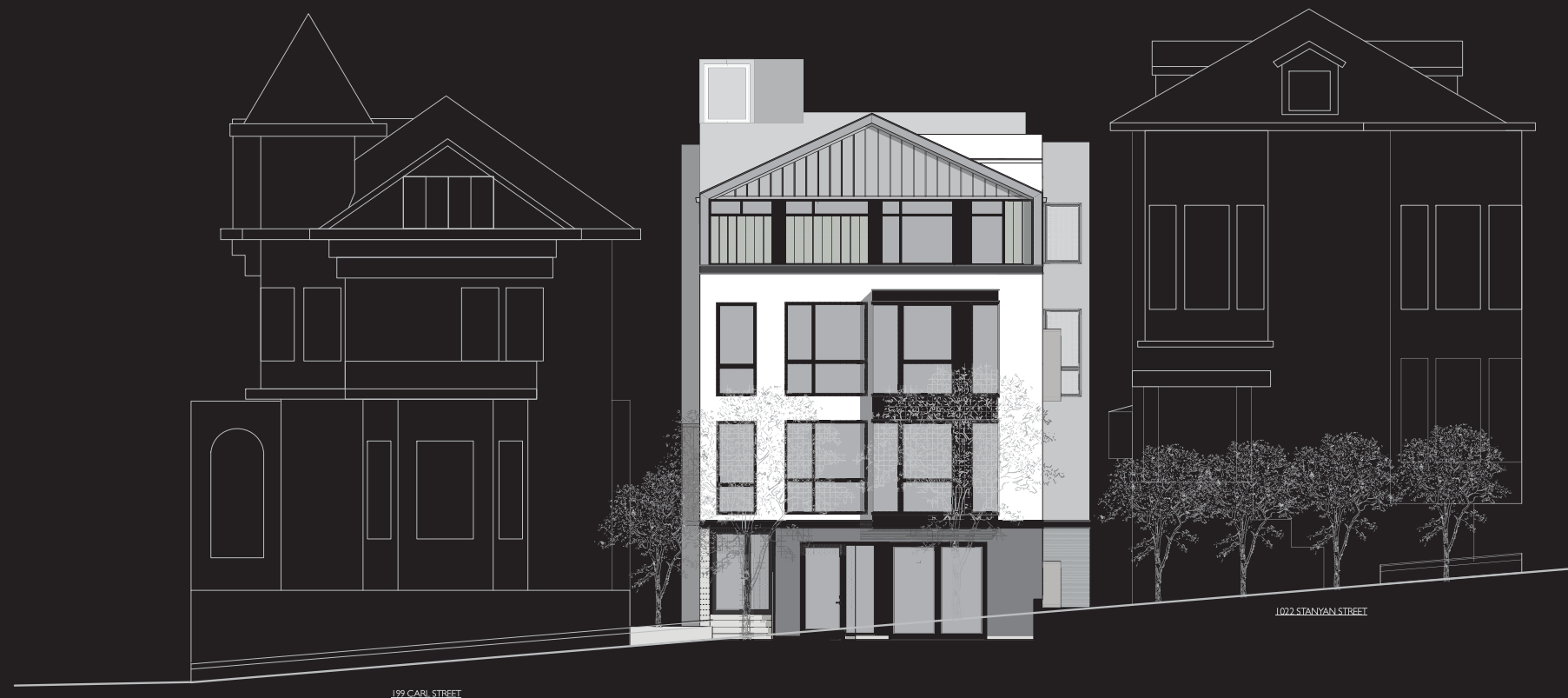
The proposed project requires one off-street parking space for each dwelling unit. At the request of the Planning Department, no new parking is proposed for this project. Four additional bicycle spaces are added to the required four (4) for a total of eight (8) bicycle parking spaces provided in lieu of the car parking.

Sec. 209.I. RH (Residential House) Districts

For maximum density, table 209.I identifies that for RH-3 districts, there is an allowance of one unit per 1,000 sq. ft. of lot area with conditional use authorization. The lot of 1010 Stanyan is currently 3,750 square feet. A Tentative Parcel Map has been filed to move the lot line to increase the lot width from 37.5 feet to 39 feet for a total of 3,900 square feet. Therefore, this project is seeking the authorization to build 4 residential units on this parcel.

1010 STANYAN STREET

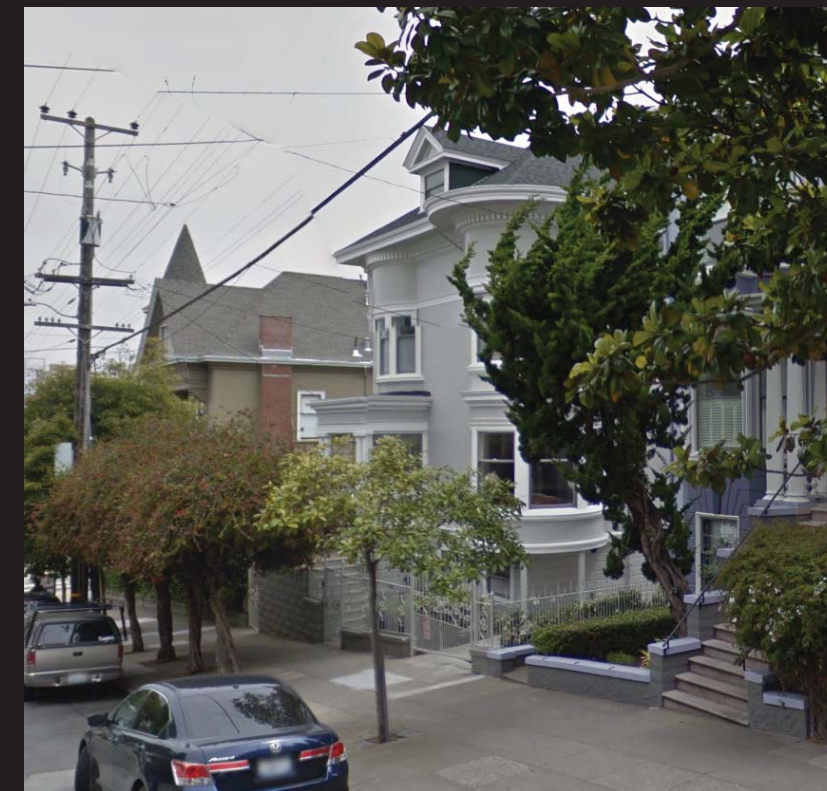
CONDITIONAL USE APPLICATION PLANNING COMMISSION HEARING
DECEMBER 21, 2017



Design has similar massing to its neighboring homes. The massing is similar with bay windows, gable roof forms, and stepped form.

1010 STANYAN STREET

CONDITIONAL USE APPLICATION PLANNING COMMISSION HEARING
DECEMBER 21, 2017



1010 STANYAN STREET

CONDITIONAL USE APPLICATION PLANNING COMMISSION HEARING
DECEMBER 21, 2017



The proposed project is desirable and compatible with the existing neighborhood because:

- Creates four new quality family-sized housing units;
- Does not displace any existing rental housing;
- The building is consistent with neighboring buildings
- The mass and form reinforces the pattern of the neighboring houses
- The project has no parking and does not create a new curb cut along Stanyan Street;
- The proposed project preserves the existing stone wall along the Stanyan Street sidewalk and the existing mature street trees

1010 STANYAN STREET

CONDITIONAL USE APPLICATION PLANNING COMMISSION HEARING
DECEMBER 21, 2017

Condominiums
STANYAN RESIDENCES

1010 Stanyan Street
San Francisco, CA 94117

GENERAL NOTES

1.THESE DRAWINGS CONSTITUTE A PORTION OF THE CONTRACT DOCUMENTS AS DEFINED IN AIA DOCUMENT A201,THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION. REFER TO PROJECT MANUAL.

2. IN BEGINNING WORK, CONTRACTOR ACKNOWLEDGES THOROUGH FAMILIARITY WITH THE BUILDING SITE CONDITIONS, WITH THE DRAWINGS AND SPECIFICATIONS, WITH THE DELIVERY FACILITIES AND ALL OTHER MATTERS AND CONDITIONS WHICH MAY AFFECT THE OPERATIONS AND COMPLETION OF THE WORK AND ASSUMES ALL RISK. CONTRACTOR TO VERIFY SURVEY DIMENSIONS BEFORE COMMENCING WORK. CONTRACTOR SHALL REPORT, AT ONCE, TO THE ARCHITECT ANY ERROR, INCONSISTENCY OR OMISSION THAT MAY BE DISCOVERED AND CORRECT AS DIRECTED, IN WRITING, BY THE ARCHITECT.

3. BY ACCEPTING AND USING THESE DRAWINGS, CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE SAFETY CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, THE ARCHITECT OR ANY UNAUTHORIZED PERSON ON THE SITE WITHOUT PERMISSION OF THE CONTRACTOR.

4. ARCHITECT AND OWNER WILL NOT BE RESPONSIBLE FOR ANY CHANGES IN PLANS, DETAILS OR SPECIFICATIONS UNLESS APPROVED IN WRITING IN ADVANCE OF CONSTRUCTION.

5. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE MADE COMPLETELY RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN AND A WRITTEN CHANGE ORDER REQUEST SHALL BE ISSUED BEFORE MAKING ANY CHANGES AT THE JOB SITE.

6. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ANY AND ALL EXISTING UNDERGROUND UTILITIES. ALL DAMAGE TO SUCH SHALL BE REPAIRED AT CONTRACTOR EXPENSE.

7. CONTRACTOR TO PROVIDE BRACING AND SUPPORT AS REQUIRED TO MAINTAIN THE INTEGRITY AND SAFETY OF THE EXISTING STRUCTURE AND ADJACENT STRUCTURE(S) AS NECESSARY.

8. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CMU OR CENTERLINE OF STEEL, UNLESS OTHERWISE NOTED.

9. ALL EXISTING WALLS, FLOORS AND CEILING AT REMOVED, NEW OR MODIFIED CONSTRUCTION SHALL BE PATCHED AS REQUIRED TO MAKE SURFACES WHOLE, SOUND AND TO MATCH EXISTING ADJACENT CONSTRUCTION, EXCEPT AS OTHERWISE NOTED.

10. ALL WORK SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL BUILDING CODES AND SAFETY ORDINANCES IN EFFECT AT THE PLACE OF BUILDING.

11. ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE COPYRIGHTED DOCUMENTS. THESE DOCUMENTS ARE THE INSTRUMENTS OF SERVICE AND AS SUCH, SHALL REMAIN THE PROPERTY OF ELEVATION ARCHITECTS AND THE PROPERTY OWNER WHETHER THE PROJECT FOR WHICH THEY ARE INTENDED IS EXECUTED OR NOT. THESE DOCUMENTS SHALL NOT BE USED BY ANYONE OTHER THAN THE PROPERTY OWNER FOR OTHER PROJECTS, ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT AS AGREED IN WRITING BY ELEVATION ARCHITECTS AND WITH APPROPRIATE COMPENSATION.

SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUED AS PUBLICATION IN DEROGATION OF THE ARCHITECT'S COMMON LAW COPYRIGHT OR OTHER RESERVED RIGHTS.

12. THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS THROUGHOUT THE EXECUTION OF THE PROJECT TO PREVENT AIRBORNE DUST DUE TO THE WORK. MAINTAIN WORK AREAS CLEAN AND FREE FROM UNDUE ENCUMBRANCES AND REMOVE SURPLUS MATERIALS AND WASTE AS THE WORK PROGRESSES.

13. IT IS THE INTENT OF THESE DOCUMENTS TO FULLY COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS. WHERE A REQUIREMENT IS IN CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL GOVERN. WHERE DIMENSIONS, SLOPE GRADIENTS AND OTHER CRITICAL CRITERIA ARE NOTED, THEY ARE TO BE ADHERED TO EXACTLY, UNLESS NOTED AS APPROXIMATE. CONTRACTOR'S FAILURE TO COMPLY WITH ANY PROVISION DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS RELATED TO THESE ACCESSIBILITY LAWS AND CODES WILL REQUIRE CORRECTION AT CONTRACTOR'S EXPENSE. WHERE MAXIMUM DIMENSIONS AND SLOPE GRADIENTS ARE NOTED, NO EXCEPTION WILL BE MADE FOR EXCEEDING THESE REQUIREMENTS.



ELEVATION KEY



DETAIL KEY



SECTION KEY



WALL TYPE KEY



DOOR NUMBER KEY



WINDOW TYPE KEY



REVISION CLOUD & KEY

GLOSSARY

ABV. ABOVE
A.D. AREA DRAIN
ADJ. ADJACENT
ACT. ACOUSTIC CEILING TILE
AFF. ABOVE FINISH FLOOR
ALUM. ALUMINUM

BLKG. BLOCKING
BLDG. BUILDING
BD. BOARD

C. CENTERLINE
CLR. CLEAR
CONC. CONCRETE
CONT. CONTINUOUS
CPT. CARPET
CT. CERAMIC TILE

DIA. DIAMETER
DIM. DIMENSION
DIMS. DIMENSIONS
DN. DOWN
DWG. DRAWING

(E), EX. EXISTING
EA. EACH
BJ. EXPANSION JOINT
ELEC. ELECTRIC
ELEV. ELEVATION
EQ. EQUAL
EXT. EXTERIOR

FA. FIRE ALARM
FD. FLOOR DRAIN
FF. FINISH FLOOR
FLR. FLOOR
F.O.S. FACE OF STUD
F.O.M. FACE OF MASONRY

GA. GAUGE
GALV. GALVANIZED
GL. GLASS
GND. GROUND
GSM. GALVANIZED SHEET METAL
GYB.BD. GYPSUM BOARD
GWB. GYPSUM WALLBOARD

HB. HOSE BIB
HC. HANDICAPPED
HM. HOLLOW METAL
HP. HOUSE PANEL
HT. HEIGHT

INSUL. INSULATION
INT. INTERIOR

JAN. JANITOR CLOSET

KIT. KITCHEN

LAV. LAVATORY
LT. LIGHT

MAX. MAXIMUM
MED. MEDICINE CABINET
MECH. MECHANICAL
MIN. MINIMUM
MTL. METAL
MV. MICROWAVE

(N). NEW
N.I.C. NOT IN CONTRACT
NTS. NOT TO SCALE

O.C. ON CENTER
O. OVER
OD. OVERFLOW DRAIN
OH. OPPOSITE HAND

PLAM. PLASTIC LAMINATE
PLY. PLYWOOD
PTD. PAINTED

REF. REFRIGERATOR
REQ. REQUIRED
RB. RUBBER BASE
RM. ROOM
RO. ROUGH OPENING
RDWD. REDWOOD

SC. SOLID CORE
SHTG. SHEETING
SHT. SHEET
SIM. SIMILAR
SQ. SQUARE
S.S.D. SEE STRUCTURAL DWGS
STL. STEEL
ST-STL. STAINLESS STEEL
STOR. STORAGE
STRL. STRUCTURAL

T&G. TONGUE AND GROOVE
T.C. TOP OF CURB
TEL. TELEPHONE
T.O.S. TOP OF STEEL
T.O.W. TOP OF WALL
TYP. TYPICAL

U.O.N. UNLESS OTHERWISE NOTED

VERT. VERTICAL
V.I.F. VERIFY IN FIELD

WD. WOOD
WD. WASHER AND DRYER
WI. WITH
WC. WATER CLOSET
WH. WATER HEATER
WP. WATERPROOF

PERMITS

- SITE PERMIT
- ADDENDUM #1: STRUCTURAL BUILDING PERMIT
- ADDENDUM #2: ARCHITECTURAL AND MECHANICAL BUILDING PERMIT
- ADDENDUM #3: FIRE SPRINKLER

APPLICABLE CODES

BUILDING: 2013 CBC
MECHANICAL: 2013 CMC
PLUMBING: 2013 CPC
ELECTRICAL: 2013 CEC
FIRE: 2013 CFC
ENERGY: 2013 CEC (TITLE 24, PART 6)
WITH SAN FRANCISCO BUILDING CODE AMENDMENTS
FIRE SPRINKLER: NFPA 13 (CURRENT)

SCOPE OF WORK

- NEW CONSTRUCTION OF 4 UNIT BUILDING

PLANNING DEPARTMENT NOTES

LOCATION: 1010 STANYAN STREET
BLOCK/LOT: 1273/017
ZONING: RH-3
UNITS: EXISTING: NONE
PROPOSED: 4
BUILDING USE: RESIDENTIAL HOUSE, FOUR-FAMILY
SETBACKS: FRONT: AVERAGE
SIDE: NONE REQUIRED
REAR: AVERAGE
25% OF LOT: NOT < 15'-0" OR AVERAGE

HEIGHT & BULK: 40-X
PARKING: AUTOMOBILE: NONE PROVIDED
PARKING: BICYCLE: 4 CLASS 1 SPACES PROVIDED

BUILDING DEPARTMENT NOTES

OCCUPANCY CLASS: R-2
OCCUPANCY SEPARATION: 1-HR BETWEEN UNITS
CONSTRUCTION TYPE: V-A
NUMBER OF FLOORS: 4 STORIES

SQUARE FOOTAGE CALCULATIONS

FLOOR	PROPOSED
1ST FLOOR:	1,900 SF
2ND FLOOR:	1,988 SF
3RD FLOOR:	1,695 SF + 310 SF DECK
4TH FLOOR:	1,401 SF + 215 SF DECK
ROOF:	545 SF DECK
TOTAL:	6,984 SF + 1,070 SF DECK

UNIT	AREA
UNIT 1	1,755 SF
UNIT 2	1,861 SF
UNIT 3	1,739 SF
UNIT 4	1,323 SF

TOTAL: 6,678 SF

PROJECT TEAM

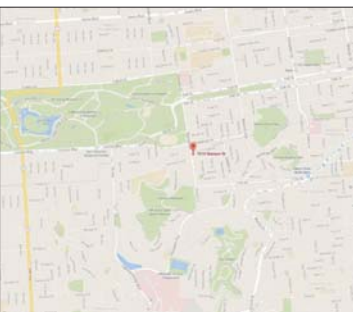
Building Owner:
M-J SF Investments LLC
2501 Mission Street
San Francisco, CA 94110
Contact: James Nunemacher
415.519.7772
jn@vanguardsf.com

Architect:
Elevation Architects
1159 Green Street, Suite 4
San Francisco, CA 94109
Contact: Jonathan Pearlman
415.537.1125
jonathan@elevationarchitects.com

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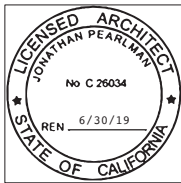
VICINITY MAP



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1010 STANYAN STREET
San Francisco, CA

APP #: 2015.1217.5322 SR

date issue

11.28.17 NOPDR#2 RESPONSE

Cover Sheet

project: 14.09

drawn by: JP

checked by:

date: 12.15.16

scale:

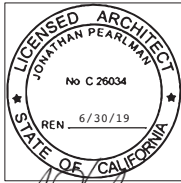
A-0.1



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Jonathan Pearlman

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San Francisco, CA

GREEN BUILDING
ATTACHMENT: C-2

project: 14.09
drawn by: JP
checked by:
date: 12.15.16
scale:

A-0.2

Green Building: Site Permit Checklist

BASIC INFORMATION:

These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

Project Name 1STANYAN STREET RESIDENCES	Block/Lot 1273 / 017	Address 1010 STANYAN STREET
Gross Building Area 6,795 SF	Primary Occupancy MULTI-FAMILY RESIDENTIAL	Design Professional/Applicant: Sign & Date <i>Jonathan Pearlman</i> 12.15.15
# of Dwelling Units 4	Height to highest occupied floor 31'-0"	Number of occupied floors 4

Instructions:

As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Building Code Chapter 13C, California Title 24 Part 11, and related local codes. Attachment C3, C4, or C5 will be due with the applicable addendum. To use the form:

(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply. AND

(b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but such tools are strongly recommended to be used.

Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. This form is a summary; see San Francisco Building Code Chapter 13C for details.

ALL PROJECTS, AS APPLICABLE		LEED PROJECTS							OTHER APPLICABLE NON-RESIDENTIAL PROJECTS		
			New Large Commercial	New Residential Mid-Rise ¹	New Residential High-Rise ¹	Commercial Interior	Commercial Alteration	Residential Alteration		Other New Non-Residential	Addition >2,000 sq ft OR Alteration >500,000 ²
Construction activity stormwater pollution prevention and site runoff controls - Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.		Type of Project Proposed (Indicate at right)									
Stormwater Control Plan: Projects disturbing 2-5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines		Overall Requirements:									
Water Efficient Irrigation - Projects that include >1,000 square feet of new or modified landscape must comply with the SFPUC Water Efficient Irrigation Ordinance		LEED certification level (includes prerequisites):									
Construction Waste Management - Comply with the San Francisco Construction & Demolition Debris Ordinance		Base number of required points:									
Recycling by Occupants - Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. See Administrative Bulletin 088 for details.		Adjustment for retention / demolition of historic features / building:									
		Final number of required points (base number +/- adjustment)									
		Specific Requirements: (n/r indicates a measure is not required)									
		Construction Waste Management - 75% Diversion AND comply with San Francisco Construction & Demolition Debris Ordinance LEED MR 2, 2 points									
		15% Energy Reduction Compared to Title-24 2008 (or ASHRAE 90.1-2007) LEED EA 1, 3 points									
		Renewable Energy or Enhanced Energy Efficiency Effective 1/1/2012: Generate renewable energy on-site ≥1% of total annual energy cost (LEED EA2), OR Demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR Purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA6).									
		Enhanced Commissioning of Building Energy Systems LEED EA 3									
		Water Use - 30% Reduction LEED WE 3, 2 points									
		Enhanced Refrigerant Management LEED EA 4									
		Indoor Air Quality Management Plan LEED IEQ 3.1									
		Low-Emitting Materials LEED IEQ 4.1.4.2, 4.3, and 4.4									
		Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater, or meet LEED credit SSC4.2, (13C.5.106.4)									
		Designated parking: Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles. (13C.5.106.5)									
		Water Meters: Provide submeters for spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in building over 50,000 sq ft. (13C.5.504.3)									
		Air Filtration: Provide at least MERV-13 filters in regularly occupied spaces of mechanically ventilated buildings (or LEED credit IEQ 5), (13C.5.504.5.3)									
		Air Filtration: Provide at least MERV-13 filters in residential buildings in air-quality hot-spots (or LEED credit IEQ 5), (SF Health Code Article 38 and SF Building Code 1203.5)									
		Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40. (13C.5.507.4)									
		Renewable Energy or Enhanced Energy Efficiency Effective January 1, 2012: Generate renewable energy on-site equal to ≥1% of total annual energy cost (LEED EA2), OR Demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR Purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA6).									
		Additional Requirements for New A, B, I, OR M Occupancy Projects 5,000 - 25,000 Square Feet									
		Construction Waste Management: Divert 75% of construction and demolition debris (i.e. 10% more than required by the San Francisco Construction & Demolition Debris Ordinance)									
		Resilient flooring systems: For 50% of floor area receiving resilient flooring, install resilient flooring complying with the VOC-emission limits defined in the 2009 Collaborative for High Performance Schools (CHPS) criteria or certified under the Resilient Floor Covering Institute (RFCI) FloorScore program. (13C.5.504.4.6)									
		Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows. (13C.5.504.7)									
		Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings. (13C.5.504.5.3)									
		Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceiling STC 40. (13C.5.507.4)									
		CFCs and Halons: Do not install equipment that contains CFCs or Halons. (13C.5.508.1)									
		Additional Requirements for New A, B, I, OR M Occupancy Projects 5,000 - 25,000 Square Feet									
		Construction Waste Management: Divert 75% of construction and demolition debris (i.e. 10% more than required by the San Francisco Construction & Demolition Debris Ordinance)									
		Renewable Energy or Enhanced Energy Efficiency Effective January 1, 2012: Generate renewable energy on-site equal to ≥1% of total annual energy cost (LEED EA2), OR Demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR Purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA6).									

Attachment C-2 -
Green Building:
Site Permit Submittal
Version: July 18, 2012

STANYAN STREET RESIDENCES

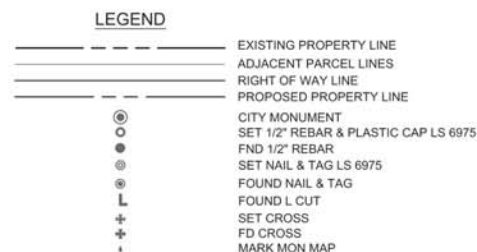
date issue

11.28.17 NOPDR#2 RESPONSE

GREEN BUILDING
ATTACHMENT: C-2

project: 14.09
drawn by: JP
checked by:
date: 12.15.16
scale:

A-0.2



[]	ASSessor's PLAT INFORMATION
AC	ASPHALT CONCRETE
BLDG	BUILDING
BOW	BOTTOM OF WALL
CLR	CLEAR
CONC	CONCRETE
COR	CORNER
D/W	DRIVEWAY
ELEV	ELEVATION
(E)	EXISTING
FND	FOUND
FL	FLOW LINE
OV	OVER
MEAS	MEASURED
(UO)	UNKNOWN ORIGIN
LPBT	LEAD PLUG / BRASS TAG
OR	OFFICIAL RECORDS
MENT	MENTIONED
MM	MONUMENT MAP
ML	MONUMENT LINE
()	RECORD DATA
M-M	MON-MON
P/L	PROPERTY LINE
PROJ	PROJECTED
TC	TOP OF CURB
TW	TOP OF WALL

1. MAP A-10-17, ON FILE IN OFFICE OF THE CITY AND COUNTY SURVEYOR.



BARRY A. PIERCE, L.S. 6975
MY LICENSE EXPIRES SEPTEMBER 30, 2017

TENTATIVE PARCEL MAP

		Approved by:	
	Revisions	Chief Engineer License No.	EXP.
	05/25/17		
	08/23/17	Approved by:	
	By:	Chief Surveyor License No. 6975	
	BP	Expires: 9/30/2017	
	BP		



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Jonathan Pearlman

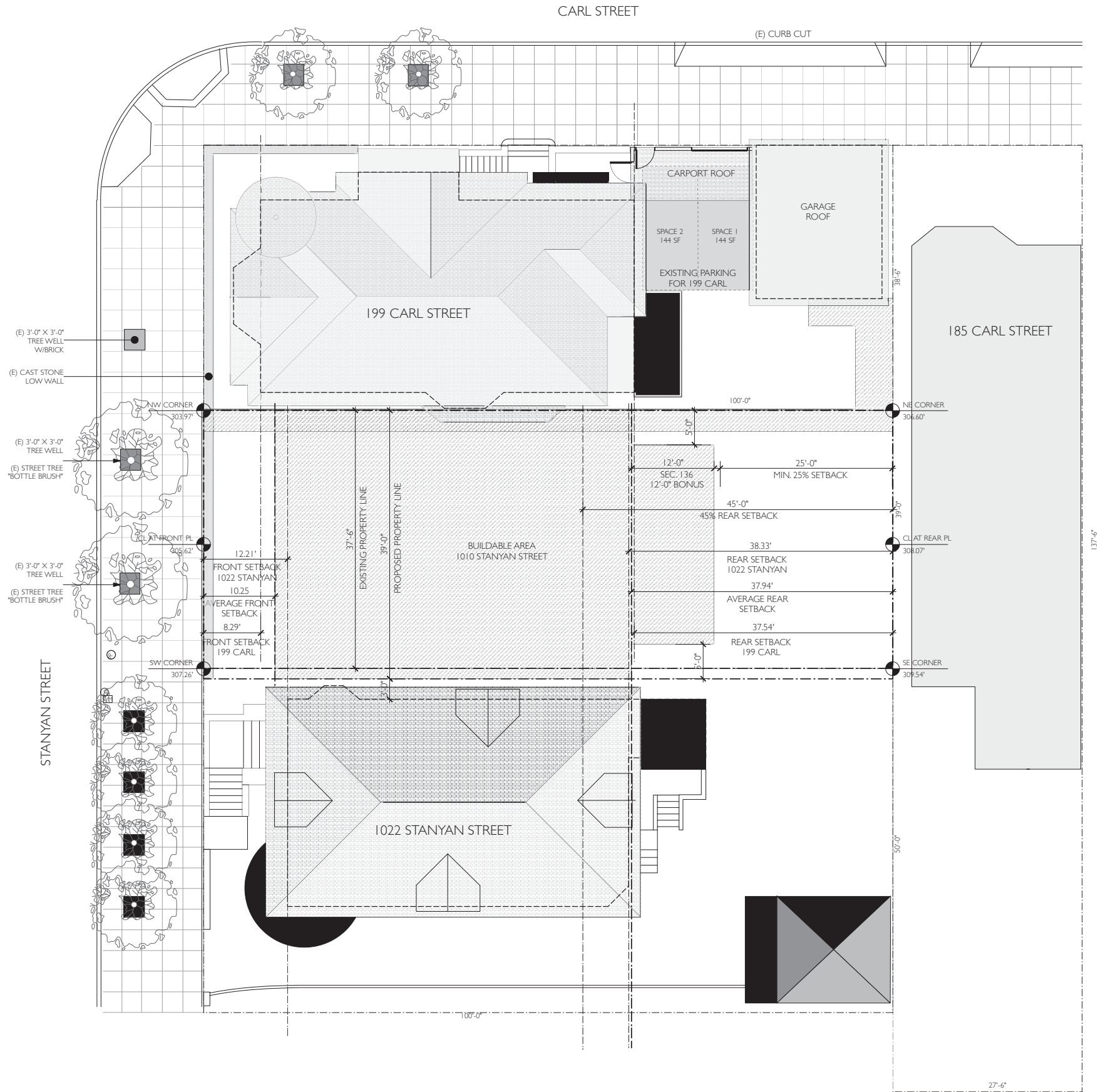
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#	date	issue
11.28.17		NOPDR#2 RESPONSE

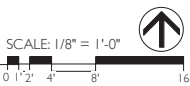
Existing Site Plan

project:	14.09
drawn by:	JP
checked by:	
date:	12.15.16
scale:	

A-1.1



(E) SITE PLAN
Scale: 1/8" = 1'-0"

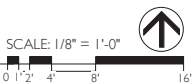




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drawn by: JP

date: 12.15.16

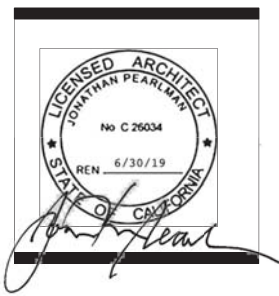




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date issue

11.28.17 CU HEARING

1st & 2nd Floor Plan

project: 14.09

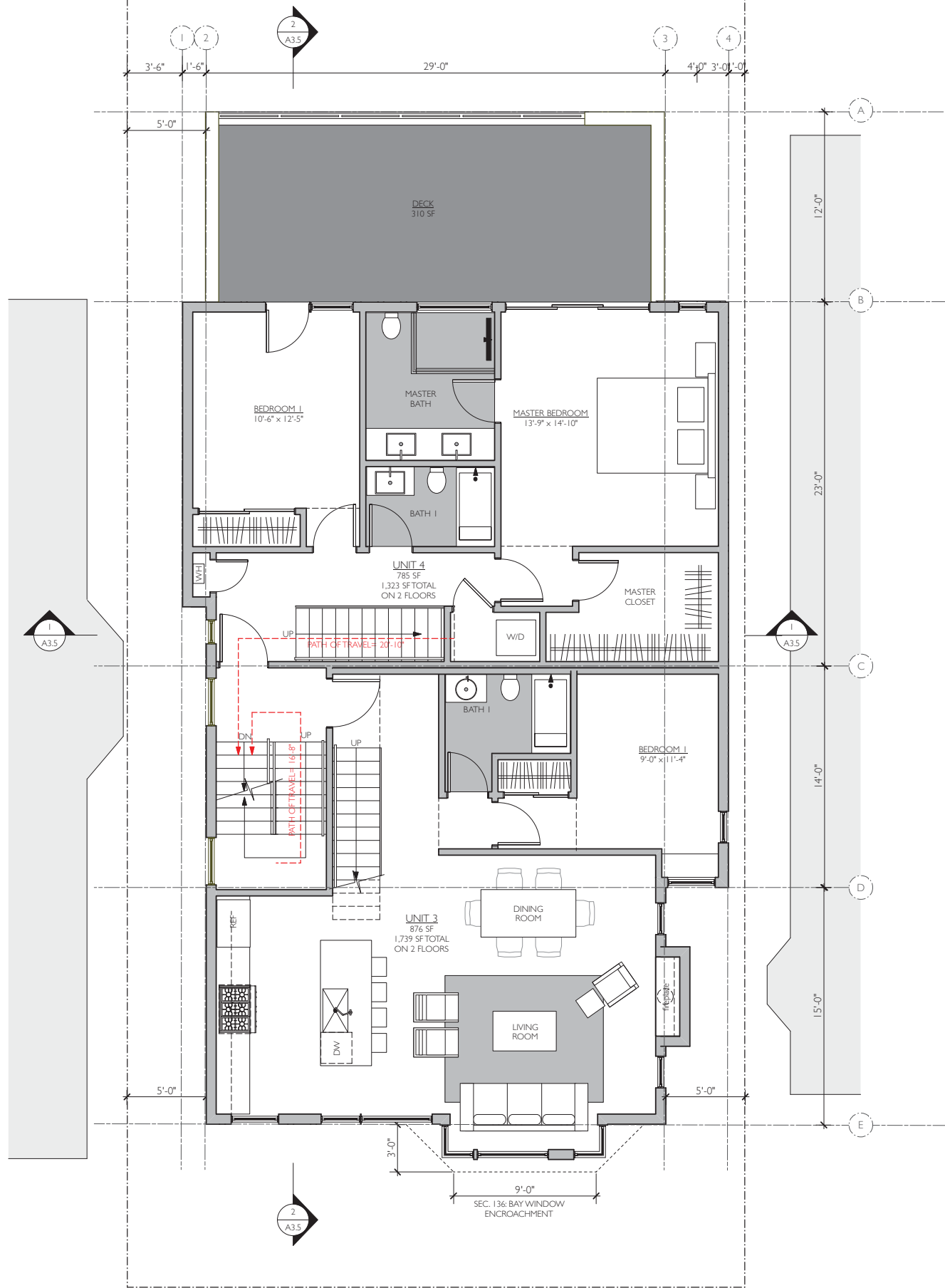
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date: 12.15.15

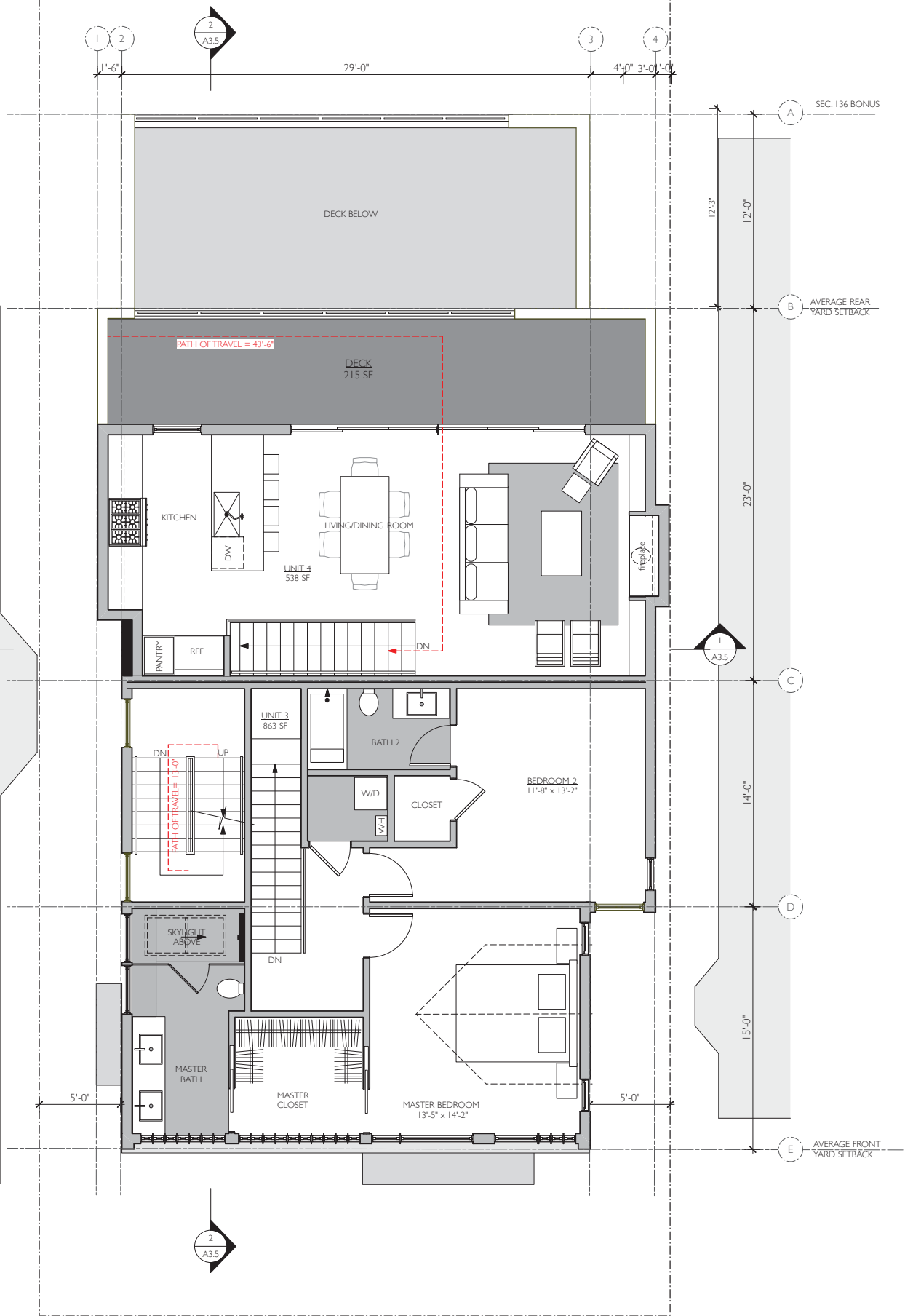
scale:

A-2.1



1 3RD FLOOR
Scale: 1/4" = 1'-0"

UNIT 3: 876 SF
UNIT 4: 785 SF
TOTAL: 1,661 SF



2 4TH FLOOR
Scale: 1/4" = 1'-0"

UNIT 3: 863 SF
UNIT 4: 538 SF
TOTAL: 1,401 SF

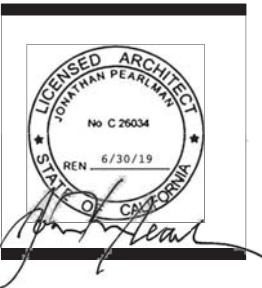
KEY	
	(N) WALL: ALL EXTERIOR WALLS TO BE 1-HR RATED
	1 HR RATED GUARD RAIL



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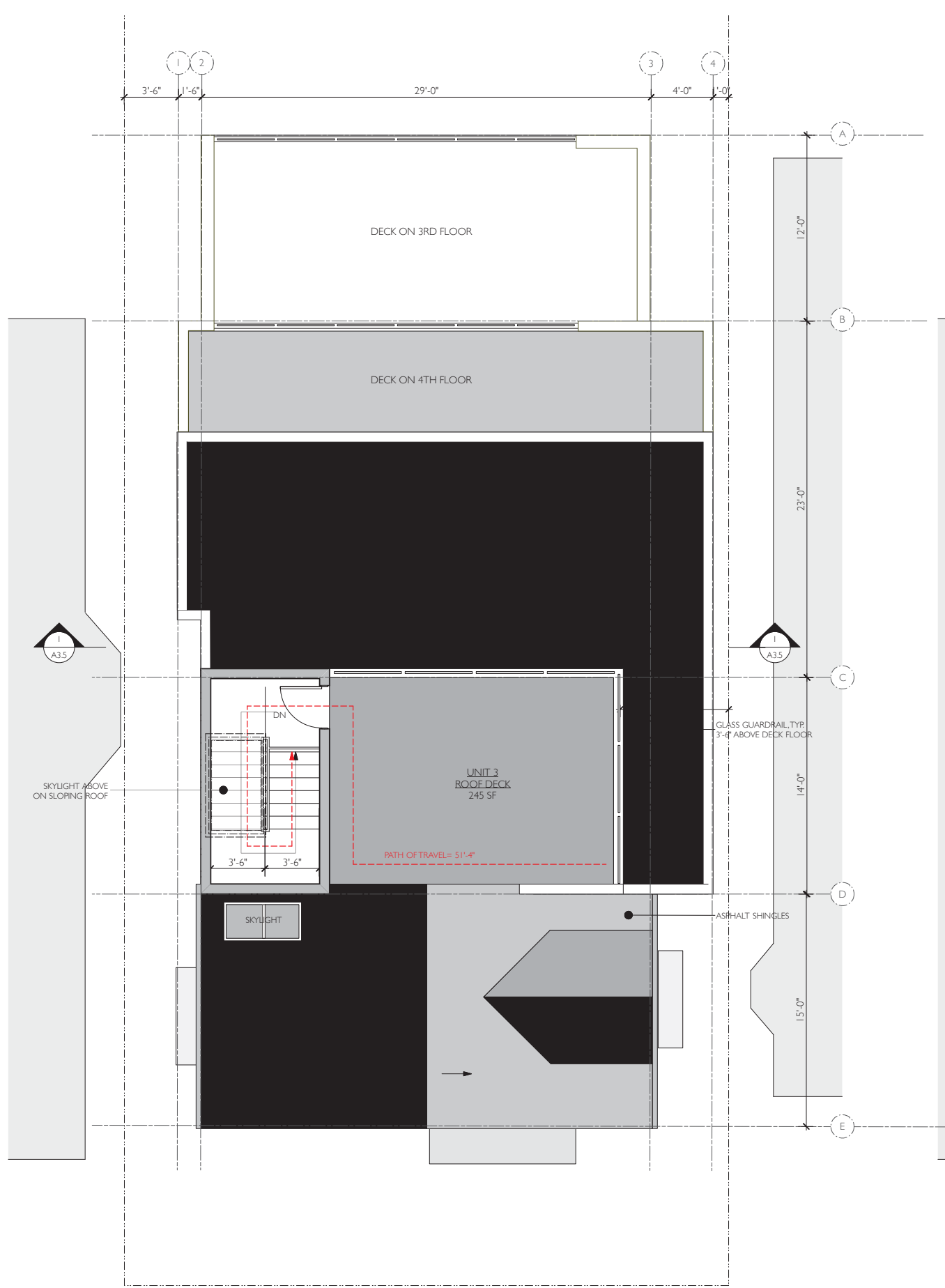


Condominiums
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San Francisco, CA

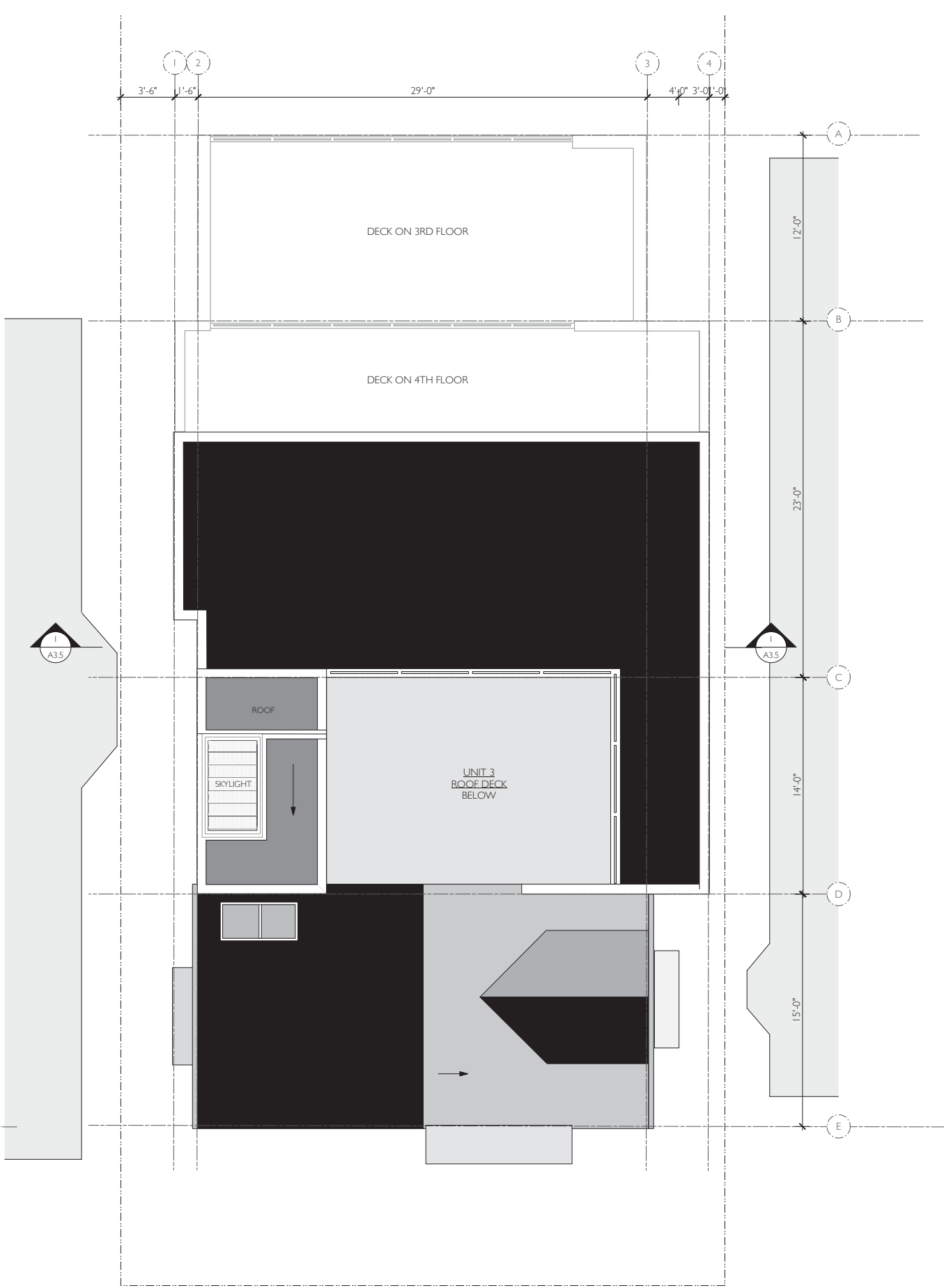
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3rd & 4th Floor Plan

A-2.2



1 ROOF PLAN
Scale: 1/4" = 1'-0"



2 PENTHOUSE ROOF PLAN
Scale: 1/4" = 1'-0"

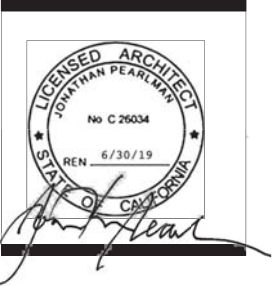
KEY	
	(N) WALL: ALL EXTERIOR WALLS TO BE 1-HR RATED
	1-HR RATED GUARD RAIL



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Condominiums
1010 STANYAN STREET
San Francisco, CA

#	date	issue
1	11.28.17	CU HEARING

Roof Plan

project:	14.09
drawn by:	JP
checked by:	
date:	12.15.15
scale:	



1 WEST ELEVATION
Scale: 1/4" = 1'-0"

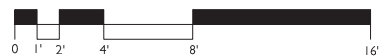
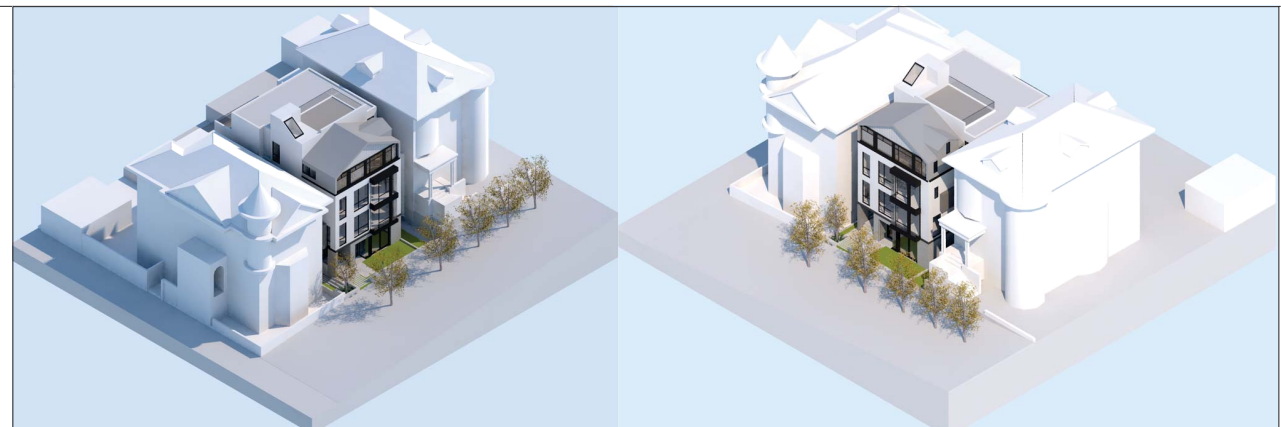
7/8" HYDRAULIC LIME
PLASTER OVER METAL
LATH OVER 2 LAYERS
TYVEK WRAP OVER
(E) 2X WOOD STUDS, R-21
BLOWN-IN CELLULOSE &
5/8" GYP BD ON THE
INTERIOR SIDE.
PLYWOOD SHEATHING PER
STRUCTURAL DRAWINGS.

HEADER, S.S.D.
LAP BUILDING WRAP
OVER NAILFIN
"FORTIFLASH" WRAP AT
WINDOW OPENING
GALV. SHT. MTL.
HEAD FLASHING
ALUM CLAD WOOD WINDOW
CAULK AS PER WINDOW MFR'S
REQUIREMENTS.
MARVIN WINDOW OR SIMILAR

ALUM CLAD WOOD WINDOW
CAULK AS PER WINDOW MFR'S
REQUIREMENTS.
MARVIN WINDOW OR SIMILAR

"FORTIFLASH" WRAP AT
WINDOW OPENING
SMOOTH FINISH 7/8"
HYDRAULIC LIME PLASTER
OVER METAL LATH OVER
2 LAYERS BUILDING
PAPERS OVER (E) 2X
WOOD STUDS, R-21 SPRAY IN
CELLULOSE INSULATION AND
5/8" TYPE "X" GYP BD ON
THE INTERIOR SIDE.
PLYWOOD SHEATHING PER
STRUCTURAL DRAWINGS.

2 WINDOW DETAIL - ALUM CLAD WOOD FRAME
Scale: 3/8" = 1'-0"



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San Francisco, CA 94109

415.537.1125
www.elevationarchitects.com



Condominiums
1010 STANYAN STREET
San Francisco, CA

date issue

11.28.17 NOPDR #2

West Elevation

project: 14.09

drawn by: JP

checked by:

date: 12.15.16

scale:

A-3.1



1 EAST ELEVATION
Scale: 1/4" = 1'-0"



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#	date	issue
11.28.17		NOPDR #2

East Elevation

project: 14.09

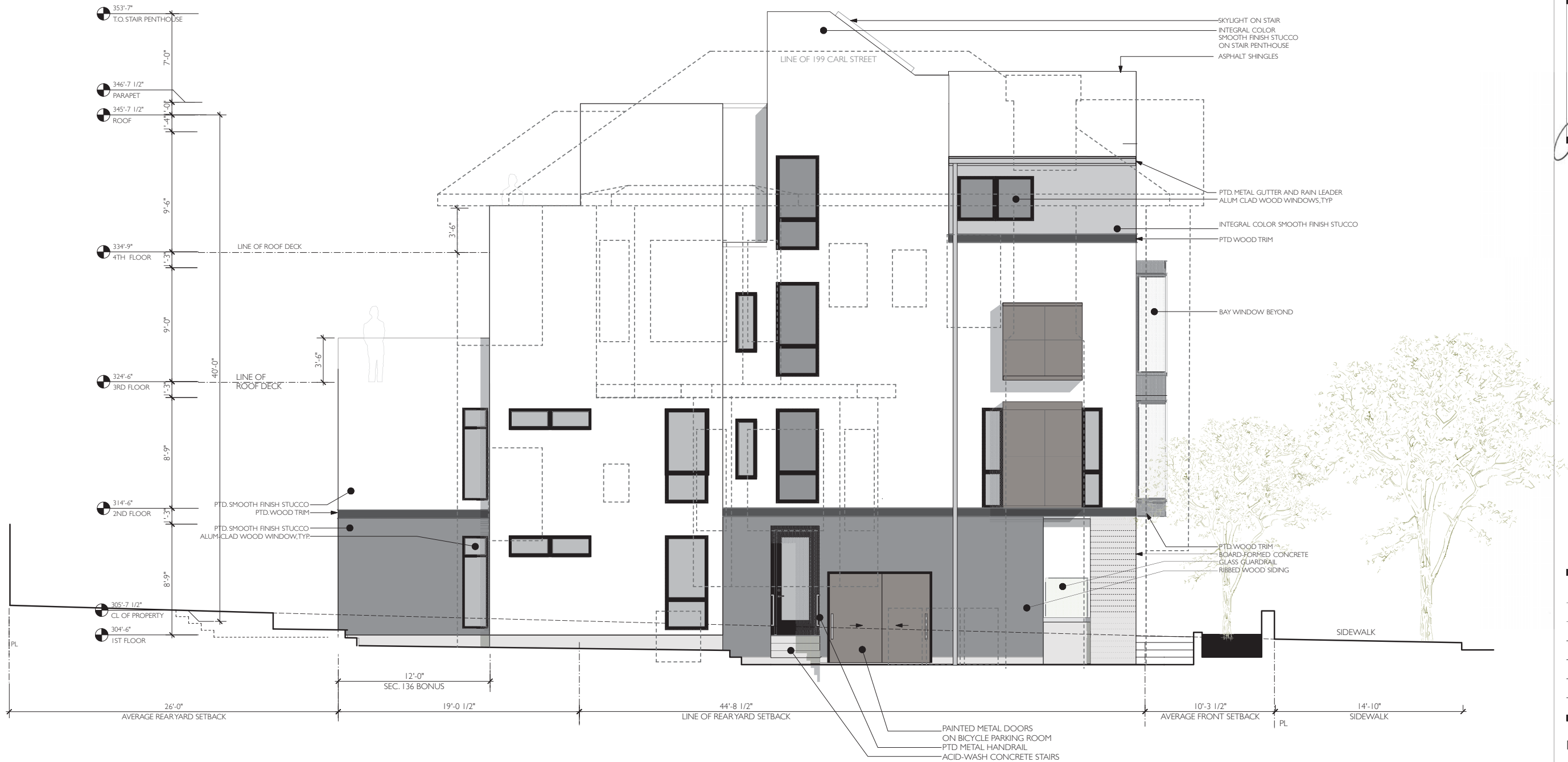
drawn by: JP

checked by:

date: 12.15.16

scale:

A-3.2



NORTH ELEVATION
Scale: 1/4" = 1'-0"



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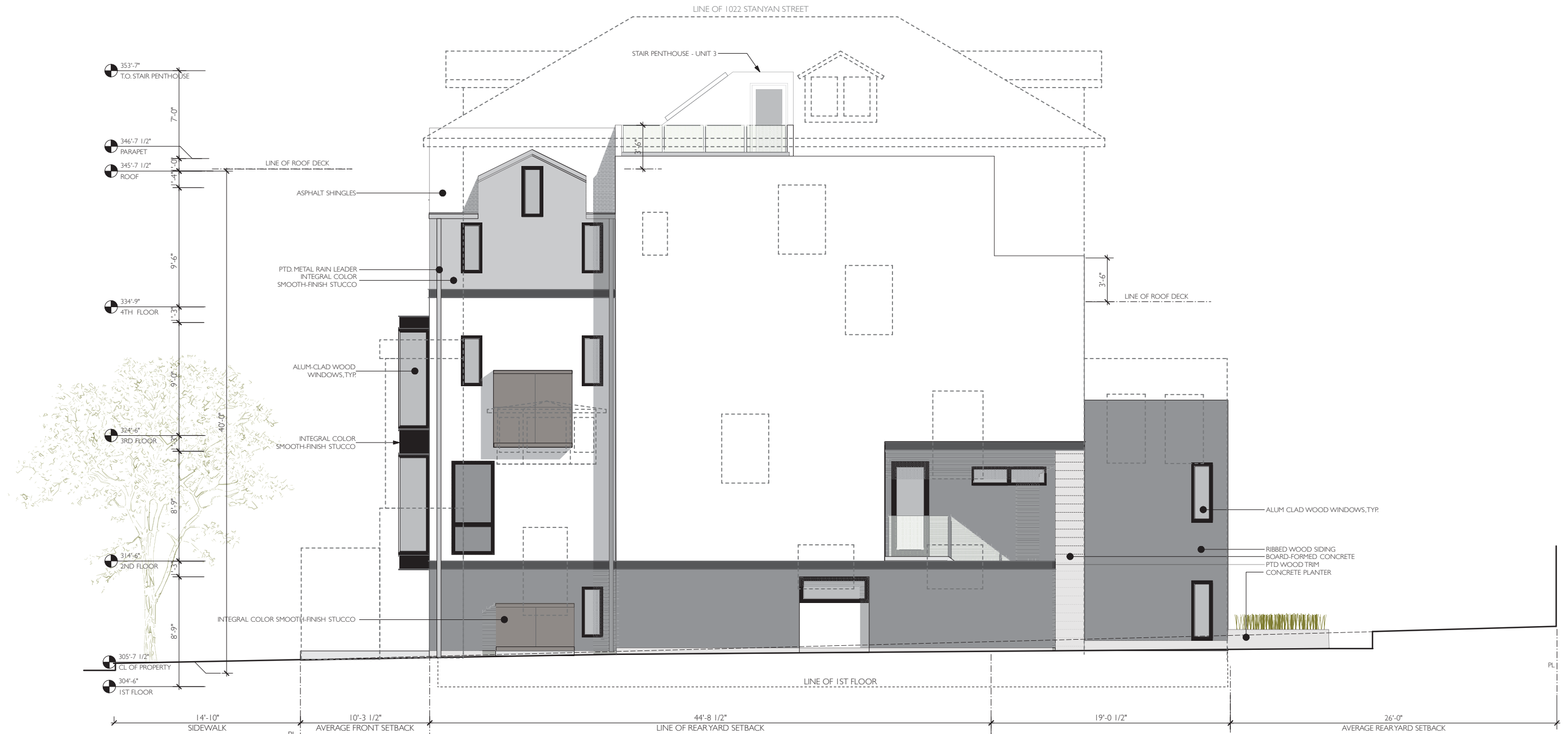
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#	date	issue
1	11.28.17	NOPDR #2

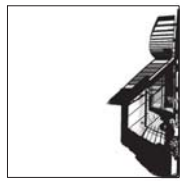
North Elevation

project:	14.09
drawn by:	JP
checked by:	
date:	12.15.16
scale:	

A-3.3



SOUTH ELEVATION
Scale: 1/4" = 1'-0"



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#	date	issue
1	11.28.17	NOPDR #2

South Elevation

project:	14.09
drawn by:	JP
checked by:	
date:	12.15.16
scale:	

A-3.4



2 EAST-WEST SECTION
Scale: 1/4" = 1'-0"



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#	date	issue
1	11.28.17	NOPDR #2

Building Section

project:	14.09
drawn by:	JP
checked by:	
date:	12.15.16
scale:	

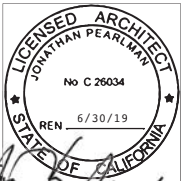
A-3.5



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#	date	issue
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11.28.17	NOPDR #2
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N-S Section

project:	14.09
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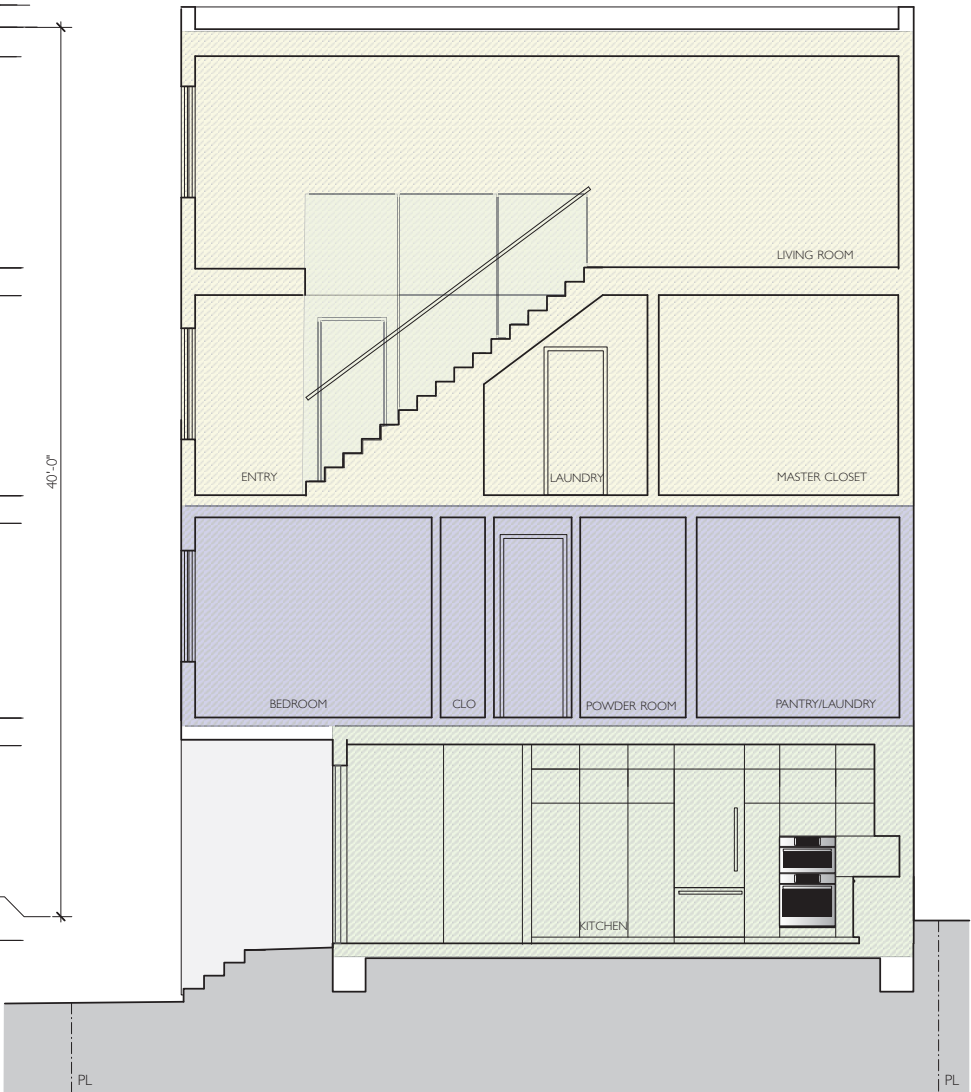
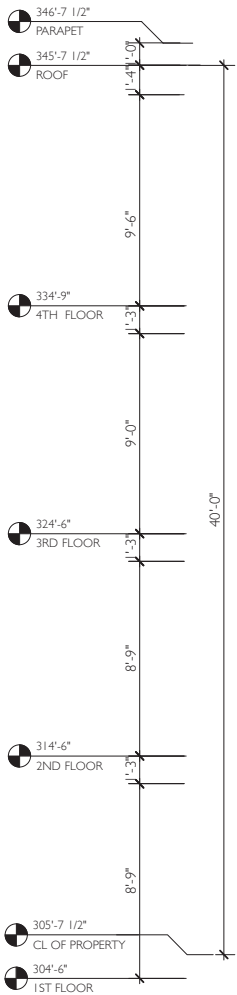
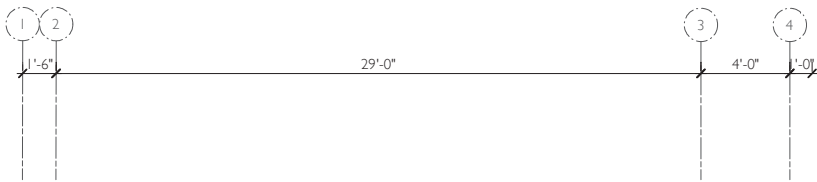
drawn by:	JP
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checked by:	
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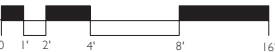
date:	12.15.16
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scale:	
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A-3.6



KEY	
	UNIT 4
	UNIT 3
	UNIT 2
	UNIT 1



1 NORTH-SOUTH SECTION
Scale: 1/4" = 1'-0"