



# SAN FRANCISCO PLANNING DEPARTMENT

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## Discretionary Review Abbreviated Analysis HEARING DATE: MARCH 2, 2017

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

*Date:* February 20, 2017  
*Case No.:* 2015-018305DRP  
*Project Address:* 153 CLIPPER STREET  
*Permit Application:* 2015.11.23.3362  
*Zoning:* RH-2 [Residential House, Two-Family]  
40-X Height and Bulk District  
*Block/Lot:* 6552/035  
*Project Sponsor:* Ines Lejarraga  
Lejarraga Studio  
5429 Telegraph  
Oakland, CA 94609  
*Staff Contact:* Natalia Kwiatkowska – (415) 575-9185  
[natalia.kwiatkowska@sfgov.org](mailto:natalia.kwiatkowska@sfgov.org)  
*Recommendation:* **Do not take DR and approve as proposed**

### PROJECT DESCRIPTION

The proposal includes a renovation and addition to an existing two-story, single-family building. The project consists of a one-story vertical addition with a roof deck and an expansion of the first and second floors at the side of the existing two-story, single-family dwelling. The existing building is two-stories and includes a one-story vertical addition resulting in a three-story building. The overall height will increase from approximately 28 feet, measured to the midpoint of the existing pitched roof, to 34 feet, measured to the top of the proposed flat roof. The existing building depth is 51 feet and will not increase as part of this project.

### SITE DESCRIPTION AND PRESENT USE

The project site is located on the south side of Clipper Street between Sanchez and Church Streets in the Noe Valley neighborhood. The subject parcel measures 26.667 feet wide by 114 feet deep with an area of approximately 3,040 square feet. The property is developed with a two-story, single-family dwelling constructed in 1906.

### SURROUNDING PROPERTIES AND NEIGHBORHOOD

This portion of the Noe Valley neighborhood is characterized by two- to three-story, single- and two-family residential buildings. The adjacent properties are also located within the RH-2 Zoning District. There are three clusters of NC-1 (Neighborhood Commercial Cluster) zoned parcels surrounding the subject property at the following intersections: Church and Clipper Streets, Church and 26<sup>th</sup> Streets, and Sanchez and 26<sup>th</sup> Streets.



## BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	July 26, 2016 – August 24, 2016	August 23 & 24, 2016	March 2, 2017	191 days

## HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	February 20, 2017	February 20, 2017	10 days
Mailed Notice	10 days	February 20, 2017	February 20, 2017	10 days

## PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	--	3 (DR requestors)	--
Other neighbors on the block or directly across the street	--	--	--
Neighborhood groups	--	--	--

No other neighborhood comments have been received regarding this project.

## DR REQUESTORS

Sophie & John Stockholm, owners of 144 Clipper Street, across the street from the subject property.

Svea Horton, owner of 142 Clipper Street, across the street from the subject property.

Brian & Genie Donnelly, owners of 143 Clipper Street, two buildings east of the subject property.

## DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Application*, dated August 22, 2016.

See attached *Discretionary Review Application*, dated August 22, 2016.

See attached *Discretionary Review Application*, dated August 23, 2016.

## PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*, dated February 15, 2017.



## ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

## DEPARTMENT REVIEW

The Department reviewed the proposed project which includes an expansion of a single-family dwelling within an RH-2 Zoning District. The project consists of an expansion from approximately 1,004 square feet area to approximately 2,961 square feet of habitable floor area, which includes new habitable floor area at the basement level previously approved by Building Permit Application #2014.04.09.2857. Additionally, the neighborhood notification plan set depicted incorrect existing conditions, specifically the height of the existing parapet, which was not proposed for alteration. The plans have been satisfactorily revised to depict correct existing conditions and are the official plans submitted to the Commission and shared with the DR requestors.

## RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Team (RDT) reviewed the project prior to and following the submittal of the Request for Discretionary Review and found that the proposed project meets the standards of the Residential Design Guidelines (RDGs) and that the project does not present any exceptional or extraordinary circumstances for the following reasons:

1. With respect to light and air concerns, the proposed massing is appropriate as the proposed vertical addition is setback 15 feet from the front building wall and is compatible with the existing developed massing and scale on the block.
2. The proposed flat roof design results in a low profile roof form and is consistent with the mixed roof character on the block. The neighboring houses do not consistently reveal gabled roofs to the right-of-way, as many are hidden behind parapets.
3. The proposed building scale, massing, materials and fenestration pattern are appropriate and blend well with the visual character of the neighborhood.
4. The project does not create any unusual light or privacy effects on the adjacent properties.

Upon further review, RDT instructed the project sponsor to make modifications to the project. The plans have been satisfactorily revised to address RDT's design request listed below and are the official plans submitted to the Commission.

1. Eliminate roof overhang at the third story in order to minimize visibility of the new addition (RDG pg. 25).

Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.

<b>RECOMMENDATION:</b>	<b>Do not take DR and approve project as proposed</b>
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**Attachments:**

Block Book Map

Sanborn Map

Zoning Map

Aerial Photographs

Context Photograph

CEQA Determination

Section 311 Notice

DR Notice

DR Application #1

DR Application #2

DR Application #3

Response to DR Application dated February 15, 2017

Project Sponsor Submittal, including:

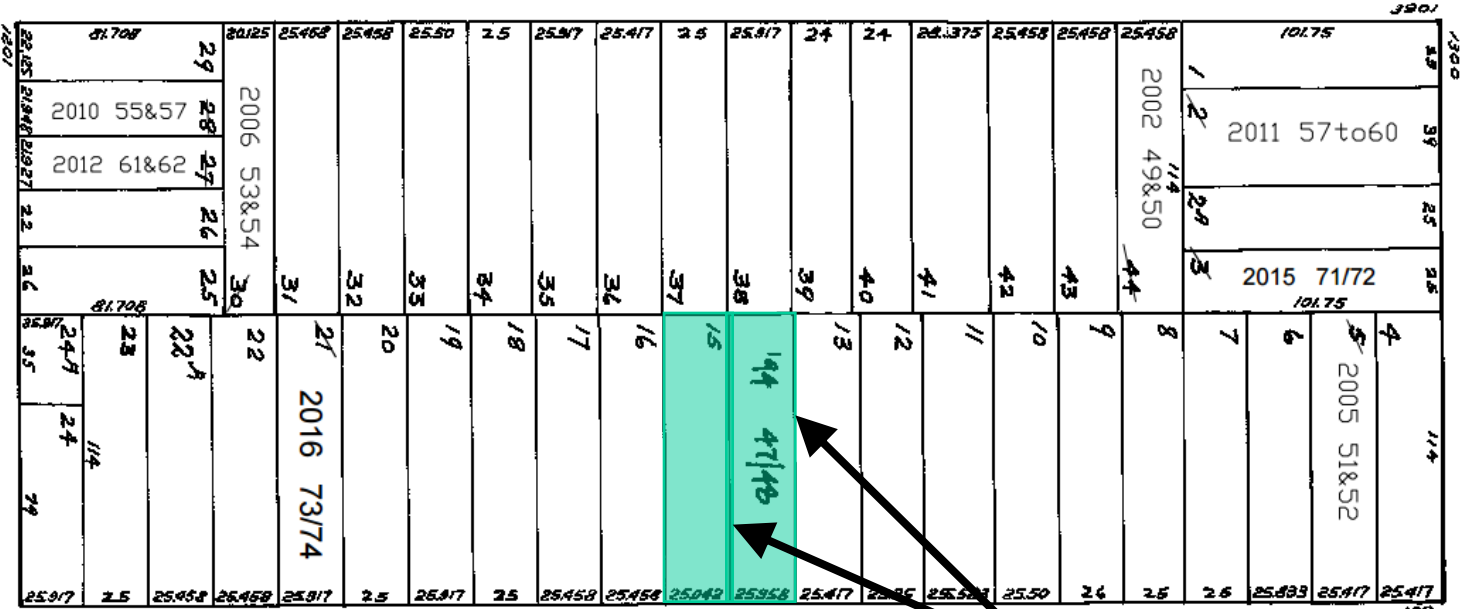
- Timeline for 153 Clipper Project Neighbor Negotiations
- Sponsor's Letter
- Skylight Privacy Diagram
- 3D Model Study
- Reduced Plans



# Parcel Map

25TH

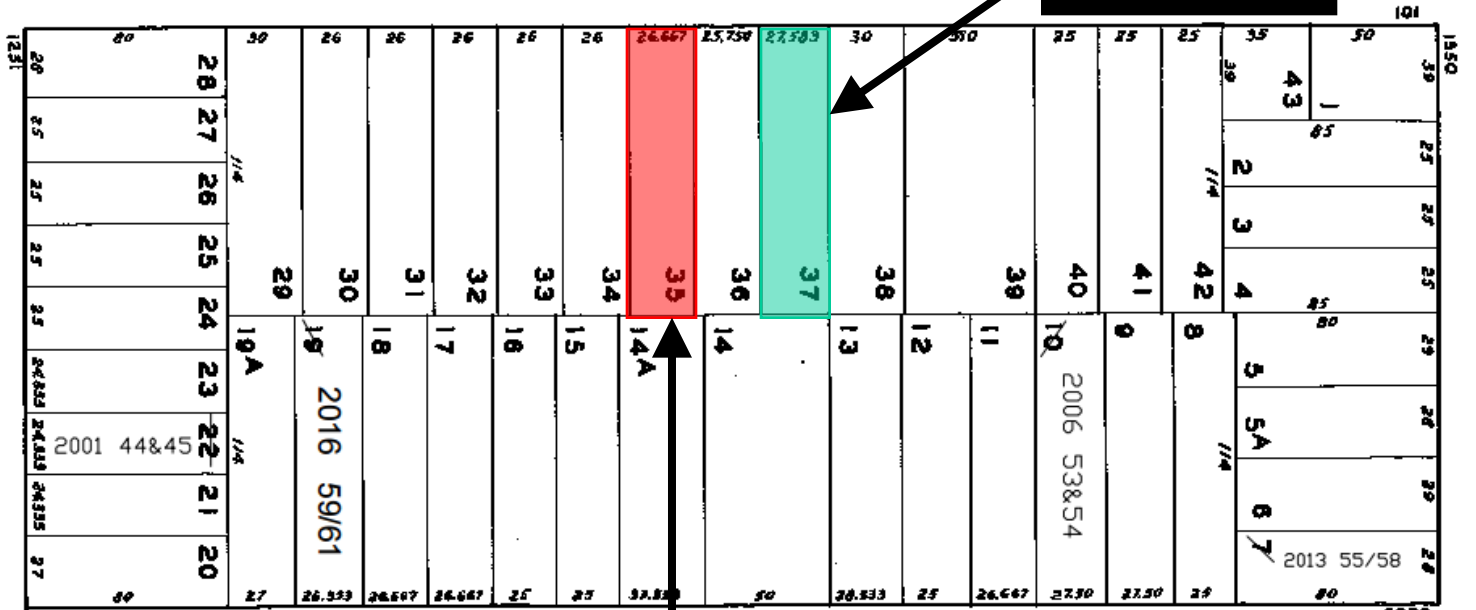
CHURCH



CLIPPER

DR REQUESTORS' PROPERTIES

CHURCH



26TH

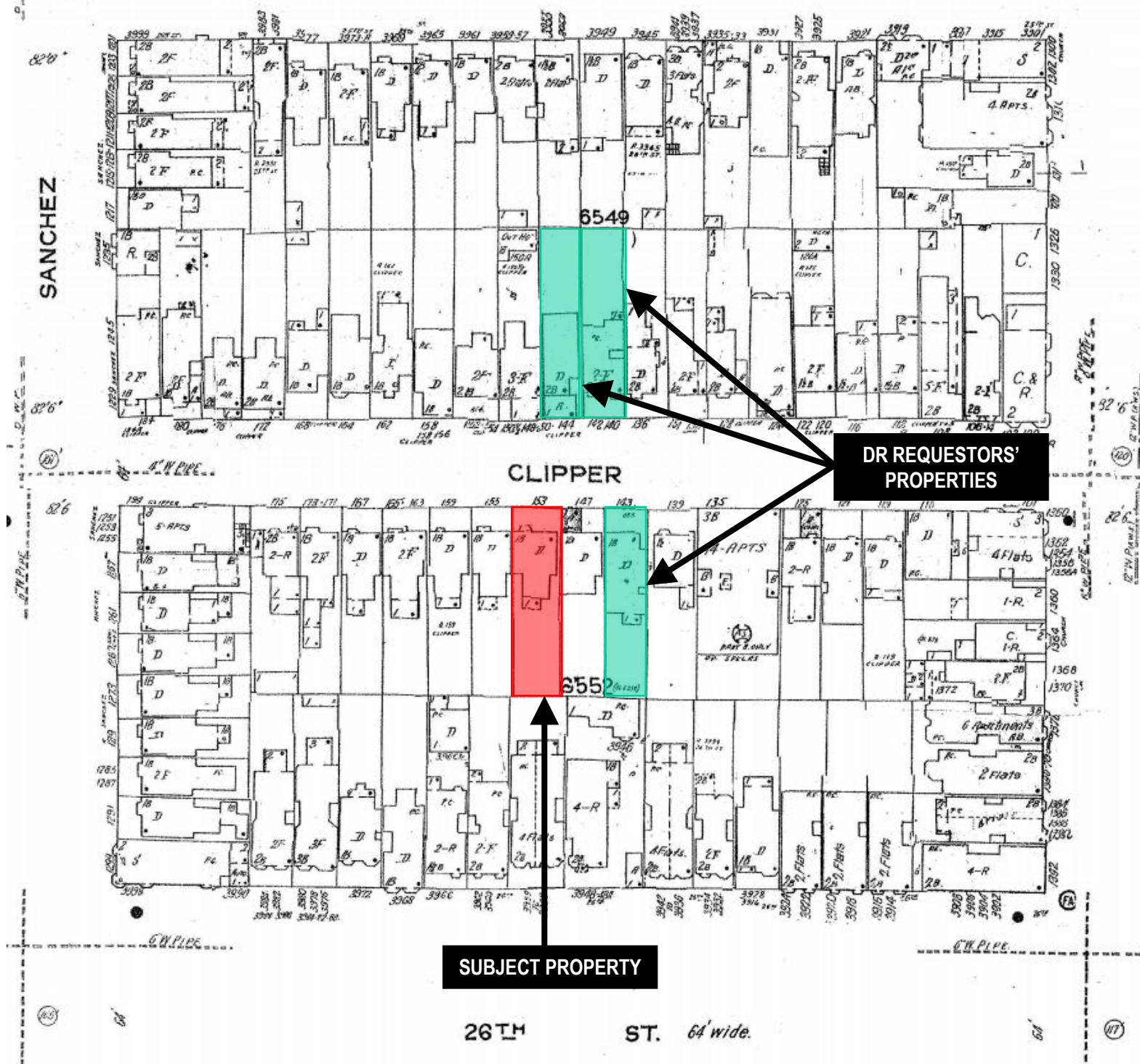
SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2015-018305DRP  
153 Clipper Street



# Sanborn Map\*



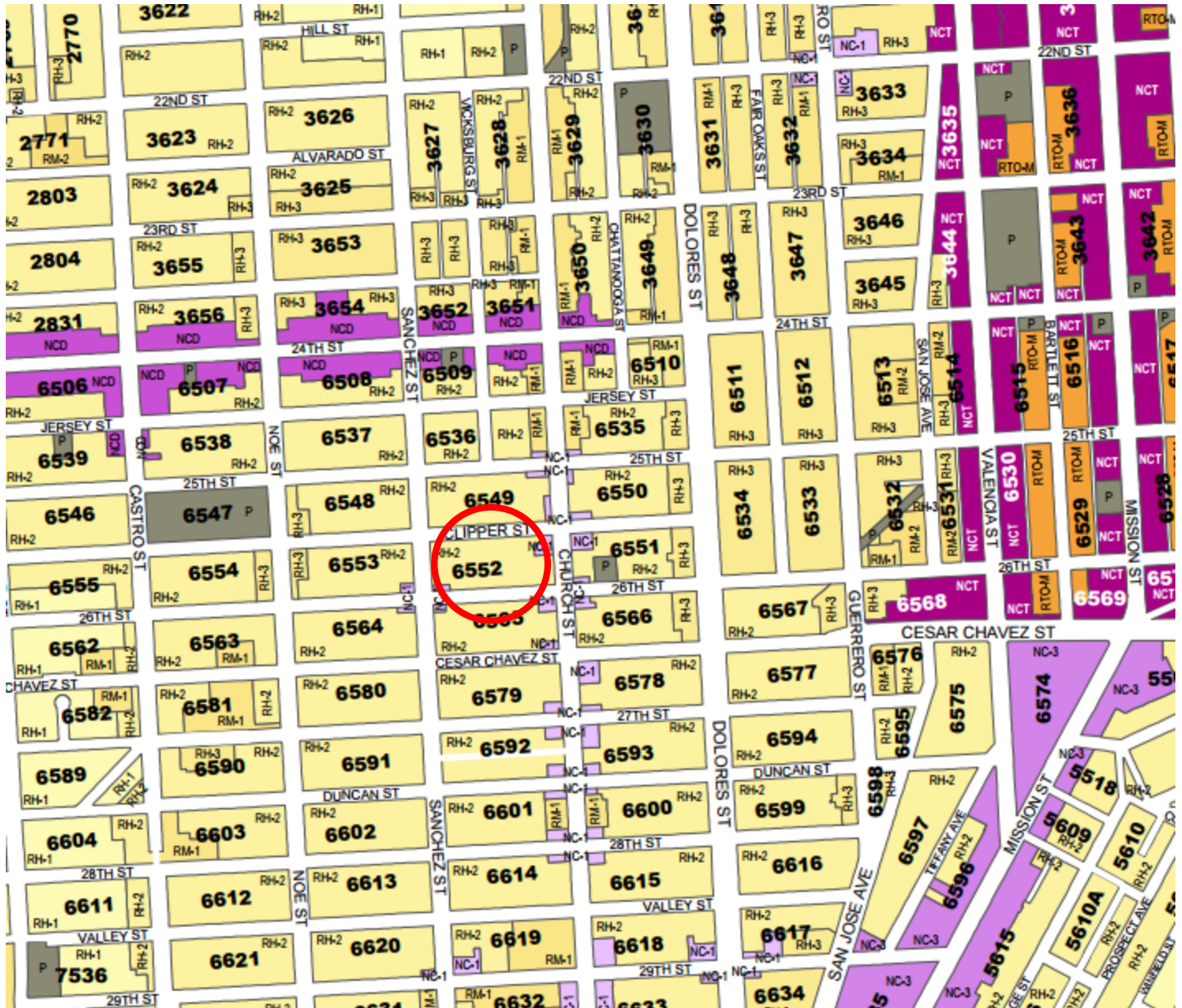
\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing  
Case Number 2015-018305DRP  
153 Clipper Street



# Zoning Map



Discretionary Review Hearing  
Case Number 2015-018305DRP  
153 Clipper Street



# Aerial Photo



DR REQUESTORS'  
PROPERTIES

SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2015-018305DRP  
153 Clipper Street



# Aerial Photo



**DR REQUESTORS'  
PROPERTIES**

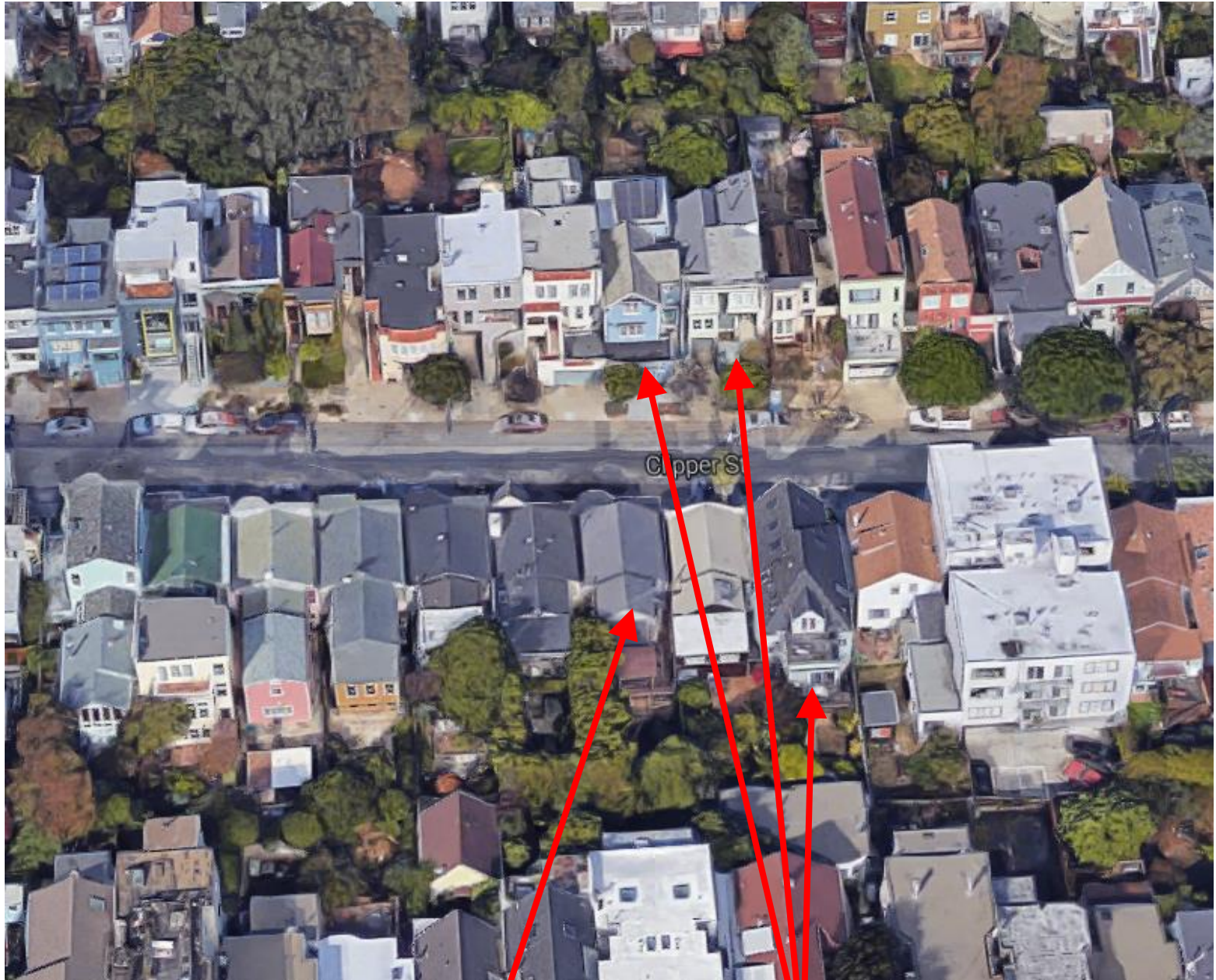
**SUBJECT PROPERTY**



Discretionary Review Hearing  
Case Number 2015-018305DRP  
153 Clipper Street



# Aerial Photo



**SUBJECT PROPERTY**

**DR REQUESTORS'  
PROPERTIES**



Discretionary Review Hearing  
Case Number 2015-018305DRP  
153 Clipper Street



# Aerial Photo



**SUBJECT PROPERTY**

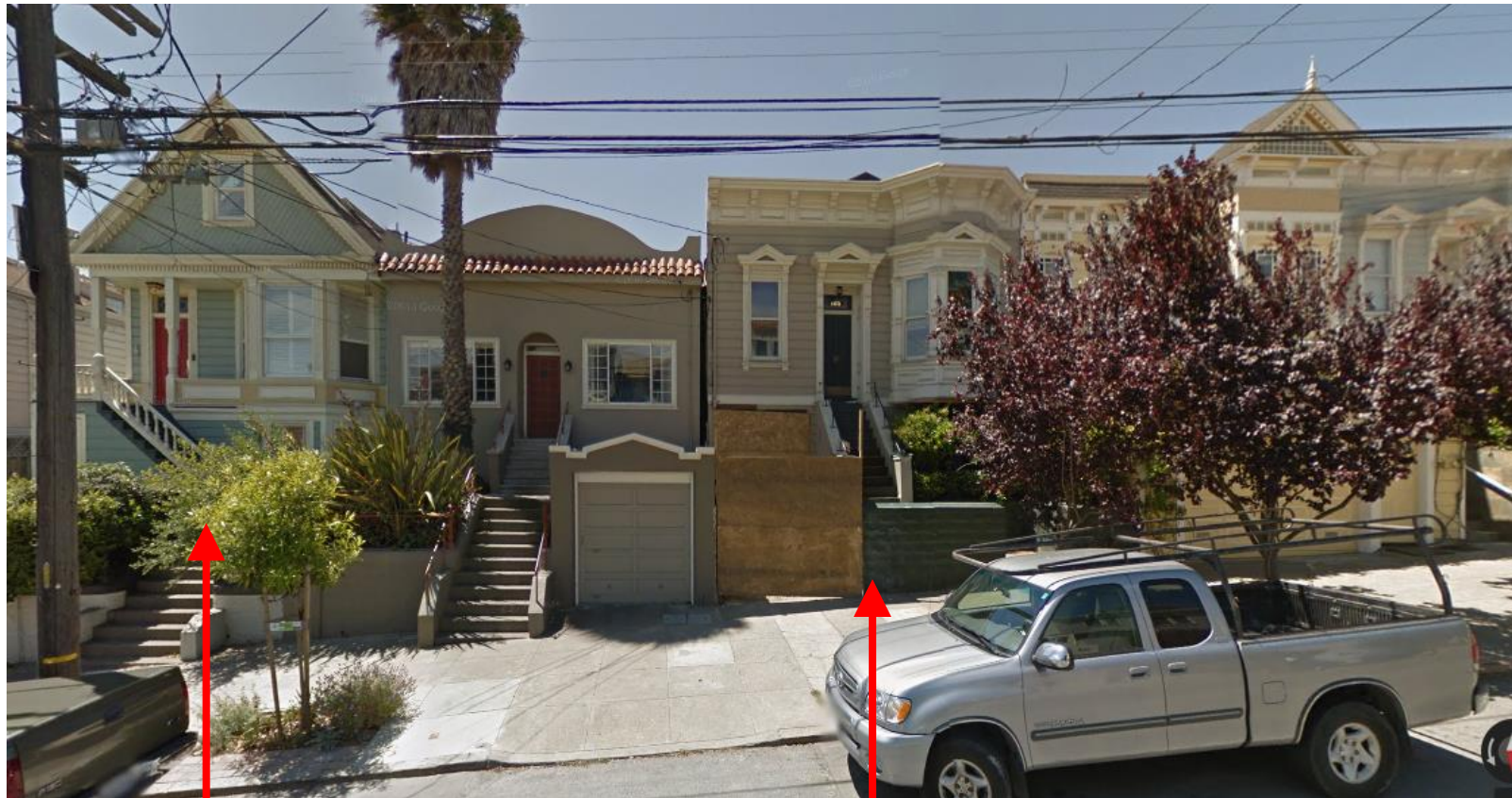
**DR REQUESTORS'  
PROPERTIES**



Discretionary Review Hearing  
Case Number 2015-018305DRP  
153 Clipper Street



# Site Photo



**DR REQUESTOR'S  
PROPERTY**

**SUBJECT PROPERTY**

Discretionary Review Hearing  
**Case Number 2015-018305DRP**  
153 Clipper Street



# Site Photo



**DR REQUESTOR'S  
PROPERTY**

**DR REQUESTOR'S  
PROPERTY**

Discretionary Review Hearing  
**Case Number 2015-018305DRP**  
153 Clipper Street





# SAN FRANCISCO PLANNING DEPARTMENT

## CEQA Categorical Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
153 Clipper Street		6552/035	
Case No.	Permit No.	Plans Dated	
N/A	201511233362	6/24/16	
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 45 years old)	<input type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval. One-story vertical addition with a roof deck atop the existing two-story building, expansion of the existing first and second floors at the side of the building.			

### STEP 1: EXEMPTION CLASS TO BE COMPLETED BY PROJECT PLANNER

<b>*Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.*</b>	
<input checked="" type="checkbox"/>	<b>Class 1 – Existing Facilities.</b> Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	<b>Class 3 – New Construction/ Conversion of Small Structures.</b> Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions.; ; change of use under 10,000 sq. ft. if principally permitted or with a CU. Change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<b>Class</b> ____

### STEP 2: CEQA IMPACTS TO BE COMPLETED BY PROJECT PLANNER

<b>If any box is checked below, an <i>Environmental Evaluation Application</i> is required.</b>	
<input type="checkbox"/>	<b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks)? <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Article 38 program and the project would not have the potential to emit substantial pollutant concentrations. (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Air Pollutant Exposure Zone)</i>
<input type="checkbox"/>	<b>Hazardous Materials:</b> If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the</i>



	<i> Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap &gt; Maher layer).</i>
<input type="checkbox"/>	<b>Transportation:</b> Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	<b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? <i>(refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Archeological Sensitive Area)</i>
<input type="checkbox"/>	<b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? <i>(refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Topography)</i>
<input type="checkbox"/>	<b>Slope = or &gt; 20%:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? <i>(refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Topography)</i> <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Landslide Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? <i>(refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Seismic Hazard Zones)</i> <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Liquefaction Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? <i>(refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Seismic Hazard Zones)</i> <b>If box is checked, a geotechnical report will likely be required.</b>
<b>If no boxes are checked above, GO TO STEP 3. <u>If one or more boxes are checked above, an <i>Environmental Evaluation Application</i> is required, unless reviewed by an Environmental Planner.</u></b>	
<input checked="" type="checkbox"/>	<b>Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.</b>
<b>Comments and Planner Signature (optional):</b>	

### STEP 3: PROPERTY STATUS – HISTORIC RESOURCE TO BE COMPLETED BY PROJECT PLANNER

<b>PROPERTY IS ONE OF THE FOLLOWING:</b> <i>(refer to Parcel Information Map)</i>	
<input checked="" type="checkbox"/>	<b>Category A:</b> Known Historical Resource. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	<b>Category B:</b> Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>
<input type="checkbox"/>	<b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b>



**STEP 4: PROPOSED WORK CHECKLIST  
TO BE COMPLETED BY PROJECT PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. <b>Change of use and new construction.</b> Tenant improvements not included.
<input type="checkbox"/>	2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
<b>Note: Project Planner must check box below before proceeding.</b>	
<input type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project <b>does not conform</b> to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>

**STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW  
TO BE COMPLETED BY PRESERVATION PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. <b>Interior alterations to publicly accessible spaces.</b>
<input type="checkbox"/>	3. <b>Window replacement</b> of original/historic windows that are not “in-kind” but are consistent with existing historic character.
<input type="checkbox"/>	4. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input checked="" type="checkbox"/>	7. <b>Addition(s)</b> , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. <b>Other work consistent</b> with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):



<input type="checkbox"/>	<p>9. <b>Other work</b> that would not materially impair a historic district (specify or add comments):</p> <p style="text-align: right;"><i>(Requires approval by Senior Preservation Planner/Preservation Coordinator)</i> _____</p>
<input type="checkbox"/>	<p>10. <b>Reclassification of property status.</b> <i>(Requires approval by Senior Preservation Planner/Preservation Coordinator)</i></p> <p style="margin-left: 40px;"> <input type="checkbox"/> Reclassify to Category A      <input type="checkbox"/> Reclassify to Category C         </p> <p style="margin-left: 40px;">a. Per HRER dated: _____ <i>(attach HRER)</i></p> <p style="margin-left: 40px;">b. Other <i>(specify)</i>:</p>
<p><b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.</b></p>	
<input type="checkbox"/>	<p><b>Further environmental review required.</b> Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. <b>GO TO STEP 6.</b></p>
<input checked="" type="checkbox"/>	<p><b>Project can proceed with categorical exemption review.</b> The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. <b>GO TO STEP 6.</b></p>
<p><b>Comments (optional):</b></p> <p>Vertical addition is setback 15' from the main building wall and minimally visible. Additions at rear are not visible from the public right-of-way.</p>	
<p><b>Preservation Planner Signature:</b> Natalia Kwiatkowska <small>Digitally signed by Natalia Kwiatkowska DN: dc=sfgov, dc=sfplanning, ou=CityPlanning, ou=Current Planning, cn=Natalia Kwiatkowska, email=Natalia.Kwiatkowska@sfgov.org Date: 2016.09.06 11:46:12 -07'00'</small></p>	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION  
TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	<p><b>Further environmental review required.</b> Proposed project does not meet scopes of work in either <i>(check all that apply)</i>:</p> <p style="margin-left: 40px;"> <input type="checkbox"/> Step 2 – CEQA Impacts  <input type="checkbox"/> Step 5 – Advanced Historical Review         </p> <p><b>STOP! Must file an <i>Environmental Evaluation Application</i>.</b></p>			
<input checked="" type="checkbox"/>	<p><b>No further environmental review is required. The project is categorically exempt under CEQA.</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; padding: 5px; vertical-align: top;"> <p><b>Planner Name:</b> Natalia Kwiatkowska</p> <hr/> <p><b>Project Approval Action:</b></p> <p style="margin-left: 20px;">Building Permit</p> <p style="font-size: small;">If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p> </td> <td style="width: 50%; padding: 5px; vertical-align: top;"> <p><b>Signature:</b></p> <p style="font-size: 2em; margin: 0;">Natalia Kwiatkowska</p> <p style="font-size: small;">Digitally signed by Natalia Kwiatkowska DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Natalia Kwiatkowska, email=Natalia.Kwiatkowska@sfgov.org Date: 2016.09.06 11:46:25 -07'00'</p> </td> </tr> </table> <p style="font-size: small;">Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p style="font-size: small;">In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.</p>		<p><b>Planner Name:</b> Natalia Kwiatkowska</p> <hr/> <p><b>Project Approval Action:</b></p> <p style="margin-left: 20px;">Building Permit</p> <p style="font-size: small;">If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p>	<p><b>Signature:</b></p> <p style="font-size: 2em; margin: 0;">Natalia Kwiatkowska</p> <p style="font-size: small;">Digitally signed by Natalia Kwiatkowska DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Natalia Kwiatkowska, email=Natalia.Kwiatkowska@sfgov.org Date: 2016.09.06 11:46:25 -07'00'</p>
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## STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a “substantial modification” and, therefore, be subject to additional environmental review pursuant to CEQA.

### PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
Case No.	Previous Building Permit No.	New Building Permit No.
Plans Dated	Previous Approval Action	New Approval Action
Modified Project Description:		

### DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required. <b>ATEX FORM</b>	

### DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:





# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

## NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311/312)

On **November 23, 2015**, the Applicant named below filed Building Permit Application No. **2015.11.23.3362** with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	<b>153 Clipper Street</b>	Applicant:	<b>Ines Lejarraga</b>
Cross Street(s):	<b>Sanchez &amp; Church Streets</b>	Address:	<b>5429 Telegraph</b>
Block/Lot No.:	<b>6552 / 035</b>	City, State:	<b>Oakland, CA 94609</b>
Zoning District(s):	<b>RH-2 / 40-X</b>	Telephone:	<b>(510) 325-0213</b>

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input checked="" type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	No Change
Front Setback	+/- 13 feet	No Change
Side Setbacks	None	No Change
Building Depth	+/- 51 feet	No Change
Rear Yard	+/- 50 feet	No Change
Building Height	+/- 29 feet	+/- 36 feet
Number of Stories	2	3
Number of Dwelling Units	1	No Change
Number of Parking Spaces	1	No Change
PROJECT DESCRIPTION		
The project includes a one-story vertical addition with a roof deck atop the existing two-story, single-family dwelling and an expansion of the first and second floors at the side of the existing building. See attached plans.		
The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.		

**For more information, please contact Planning Department staff:**

Planner: Natalia Kwiatkowska  
Telephone: (415) 575-9185  
E-mail: natalia.kwiatkowska@sfgov.org

Notice Date: 7/26/16  
Expiration Date: 8/24/16



# GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at [www.communityboards.org](http://www.communityboards.org) for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at [www.sfplanning.org](http://www.sfplanning.org). You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at [www.sfplanning.org](http://www.sfplanning.org). If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

**Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

## BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

## ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at [www.sfplanning.org](http://www.sfplanning.org). An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.





# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Thursday, March 2, 2017**  
Time: **Not before 12:00 PM (noon)**  
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 400**  
Case Type: **Discretionary Review**  
Hearing Body: **Planning Commission**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>153 Clipper Street</b>	Case No.:	<b>2015-018305DRP</b>
Cross Street(s):	<b>Sanchez &amp; Church St</b>	Building Permit:	<b>2015.11.23.3362</b>
Block /Lot No.:	<b>6552 / 035</b>	Applicant:	<b>Ines Lejarraga</b>
Zoning District(s):	<b>RH-2 / 40-X</b>	Telephone:	<b>(510) 325-0213</b>
Area Plan:	<b>N/A</b>	E-Mail:	<a href="mailto:design@lejastudio.com">design@lejastudio.com</a>

### PROJECT DESCRIPTION

The Request is a for a Discretionary Review of Building Permit Application No. 2015.11.23.3362 proposing construction of a one-story vertical addition with a roof deck atop the existing two-story building and an expansion of the first and second floors at the side of the existing two-story, single-family dwelling.

A Planning Commission approval at the public hearing would constitute the Approval Action for the project for the purposes of CEQA, pursuant to San Francisco Administrative Code Section 31.04(h).

### ADDITIONAL INFORMATION

**ARCHITECTURAL PLANS:** If you are interested in viewing the plans for the proposed project please contact the planner listed below. The plans of the proposed project will also be available prior to the hearing through the Planning Commission agenda at: <http://www.sf-planning.org>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

### FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Natalia Kwiatkowska** Telephone: **(415) 575-9185** E-Mail: [natalia.kwiatkowska@sfgov.org](mailto:natalia.kwiatkowska@sfgov.org)



# GENERAL INFORMATION ABOUT PROCEDURES

## HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Planning Commission at the public hearing.

## APPEAL INFORMATION

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

## ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at [www.sfplanning.org](http://www.sfplanning.org). An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



2015-018305DRP

# APPLICATION FOR Discretionary Review

## 1. Owner/Applicant Information

DR APPLICANT'S NAME: Sophie and John Stockholm

DR APPLICANT'S ADDRESS: 144 Clipper St, San Francisco ZIP CODE: 94114 TELEPHONE: (415) 762-0256

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Suzanne Gleeson and Tara Zorovich

ADDRESS: 237 Dorland st, San Francisco ZIP CODE: 94114 TELEPHONE: (415) 254-4268

CONTACT FOR DR APPLICATION:

Same as Above ☒

ADDRESS: ZIP CODE: TELEPHONE: ( )

E-MAIL ADDRESS: sophiestockholm@gmail.com

## 2. Location and Classification

STREET ADDRESS OF PROJECT: 153 Clipper Street ZIP CODE: 94114

CROSS STREETS: Sanchez &amp; Church Street

ASSESSORS BLOCK/LOT:	LOT DIMENSIONS:	LOT AREA (SQ FT)	ZONING DISTRICT:	HEIGHT/BULK DISTRICT:
6552 / 035	26-8x114	3040	RH-2	40-X

## 3. Project Description

Please check all that apply

Change of Use ☐ Change of Hours ☐ New Construction ☐ Alterations ☒ Demolition ☐ Other ☐Additions to Building: Rear ☒ Front ☐ Height ☒ Side Yard ☒  
Single Family

Present or Previous Use: Single Family

Proposed Use: Single Family

Building Permit Application No. 2015.11.23.3362 Date Filed: November 23, 2015

**RECEIVED**

AUG 22 2016

CITY & COUNTY OF S.F.  
PLANNING DEPARTMENT



#### 4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

#### 5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

No changes were made.

If anything, plans were corrected to reflect real height, which is even higher than what was drawn on the original plans we were shown.

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## Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

ATTACHED

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

ATTACHED

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

ATTACHED

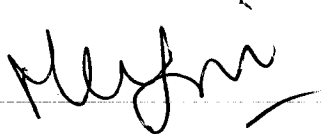


## Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: \_\_\_\_\_



Date: \_\_\_\_\_

8/22/16

Print name, and indicate whether owner, or authorized agent:

**Sophie Stockholm - owner**

Owner / Authorized Agent (circle one)



# Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input checked="" type="checkbox"/>
Covenant or Deed Restrictions	<input checked="" type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input checked="" type="checkbox"/>

**NOTES:**

☐ Required Material.

☒ Optional Material.

☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only

Application received by Planning Department:

By: \_\_\_\_\_

Date: \_\_\_\_\_



**Discretionary Review Application for 153 Clipper Street,  
Permit Application 2015.11.23.3362**

**1. We are requesting Discretionary Review because** the proposed building is out of scale, out of proportion for the neighborhood, violates the pattern of rooflines on the block, will block natural light and air, and disturb privacy to adjacent properties, and replaces an existing small starter home with a nearly tripled sized home without adding any affordable unit.

These are the exceptional and extraordinary circumstances that justify this Discretionary Review:

**a) First and foremost, we need to mention an essential and necessary misleading fact: the Notice of Building Permit Application DOES NOT REFLECT THE ACTUAL DWELLING,** but is rather based on NON IMPLEMENTED PLANS of a NON EXISTING dwelling.

The plans submitted for review use the approved permit #2014-04-09-2857 as a basis for calculations and alterations – which is already a MAJOR ALTERATION of the house – a plan that did not trigger a 311 notification because I) it was within the original footprint of the house II) the neighbors were aware of the project and agreed to the project.

The real current house is one of a row of beautiful Italianate houses, all of them identically constructed in the 1880s, with the following (current) description: **~1000 sqft with 2 bedrooms, 1 bath, 1 kitchen** – leveled with the ground. The front of the house is a 25x25ft square, with the wet room/kitchen extension behind (see aerial photo #3).

From our research, Clipper Street was regraded during the sewage installation, creating a retaining wall in front of all the houses on both sides of the street – which created a convenient “storage lower floor”. Most home owners took advantage of this urbanism change to add the obvious garage.

The property in question has NOT been changed, updated in any major way, and is STILL the 2 bedrooms 1 bath 1 kitchen over storage floor, with NO garage. In that regard, we want to protest the form of the 311 Notification as filed and distributed.

Sometimes “recently”, the front tree disappeared, and the project sponsor dug the garage entrance to make a big muddy slope. On this block, we all agree that having a garage is the right thing to do, so nobody complained. This digging has been approved under the permit #2014-04-09-2857. However, it needs to be noted that beside the current mud slope, the house is still the original house, and the project plans should reflect this, including all the original foundations, original footprint, original backyard with a wrap around deck.

The project as presented is **MISSLEADING**, merely adding a 3<sup>rd</sup> floor to a 2 floors house, while the reality is that the project is transforming a small, quaint row house of **ONE floor** over storage, into a **THREE floors** disproportionate version of the original row house.

Furthermore, the plans do NOT match the description of the permit #2015.11.23.3362 as filed: “REMODEL EXISTING RESIDENCE, IN FILL PORTION OF EXISTING LIGHTWELL, THIRD FLOOR



ADDITION WITH ROOF DECK. **1 NEW BEDROOM, 1 NEW BATHROOM.**" The plans as distributed in the 311 notification are showing without any possible discussion **THREE new bedrooms and TWO new bathrooms** within the third floor addition.

The current proposal is outrageously disconnected with the neighborhood. While the adjacent properties have been upgraded to 3-4 bedrooms and 2-4 bathrooms in maximizing the underfloor potential, the subject property pushes the floor plan to one 35% larger than the largest of the observed designs, and to **7 bedrooms 4 bathrooms**.

The permit #2015-11-23-3362, by riding over the approved permit #2014-04-09-2857 is indeed transforming a 1004sqft house into a 2961sqft – which is extension to **294% of the original surface**. This is NOT a small project, and certainly not a "mere modification" of the house.

General Plan Housing Element: Objective 2: Retain Existing Housing Units, and Promote Safety and Maintenance Standards, without Jeopardizing Affordability.

General Plan Housing Element: Objective 3: Preserve "naturally affordable" housing types, such as smaller and older ownership units.

**b) The proposed home is massively out of character with the entire block, creating unnecessary burden on the visual harmony of the street, and potentially some safety and urbanism challenges.**

The 100 block of Clipper has a strong defined visual character: the odd (south) side of the street hosts a row of small Italianate houses, 12 of those on Clipper Street, and continuing on the same block on Sanchez Street, for 7 more houses. The block has a very strong visual cohesion. The 100 block of Clipper (south side) demonstrates a nice and consistent roof line, with cohesive gable shapes and slopes, only broken by the absurdity of the Clipper Apartments. The maximum heights of each building follows with harmony the slope of the street, creating a gentle descent as one walks from Sanchez Street to Church Street.

Landscaping: Prior to the start of construction, 153 Clipper was in the middle of 6 houses with varied landscaping to beautify the block through plants, flowers, trees and hedges.

The proposed project, being placed on a sloped street, has a roofline very visible from many angles. Clipper street is a major pedestrian artery, with a J-Church stop at the corner, a middle school one block away, as well as a major traffic artery in Noe Valley. Clipper street is one of those odd "small in size, known throughout the Bay Area" streets. The corner of Clipper and Church is further famous throughout Northern California thanks to the presence and fame of Love Joy, a unique High Tea place. Bridal and birthday parties are regularly taking pictures in front of the Clipper Row because of its **authenticity and charm** in line with the spirit of Victorian Tea afternoons.

Rooflines are not just looked at by pedestrians on the curb facing the property, as drawn on the 311 notification, but from the Clipper and Sanchez corner, which looks downward to the subject block of Clipper. The guidelines of set back to hide the additional floor will NOT BE ENOUGH to mask **the obvious blocky cube randomly placed in the middle of a cohesive consistent roofline of gabled roofs** – as view from higher on the street and from an angle.



There is an additional fact that the project sponsor might not be aware of. Clipper street is also a major wind tunnel, as visible on the picture (photo #1) of the tree in front of the adjacent property 159 Clipper: the tree has been pushed about 30 degrees by the wind (all the trees on the block can be assessed and demonstrate the same impact by the wind, including a few trees which did not make it).

There are some major concern about building a 12 feet tall, 35 feet wide set of walls straight in the way of the wind. Currently, trash cans fly from the curb to the middle of the street during each storm, making the street very unsafe to drive, and many a night getting me out of bed to pick them up before a major accident occurs (the screeching of the cars breaking is hard to ignore). I would be crushed to see such a wall creation increase even more the turbulences known on the mid block, to the point of safety issues at the smallest gust of wind.

Neighbors have been working hard at beautifying the block with trees, front garden, planters – it would be **a disaster for the urban forestry** to destroy years of tree growth by changing the wind pattern trees are adjusting to.

Neighborhood Character – Design Principle : Design buildings to be responsive to the overall neighborhood context, in order to preserve the existing visual character.

Site Design - Design Principle : Place the building on its site so it responds to the topography of the site, its position on the block, and to the placement of surrounding buildings.

Rooflines Guideline: Design rooflines to be compatible with those found on surrounding buildings.

Building Scale And Form - Design Principle : Design the building's scale and form to be compatible with that of surrounding buildings, in order to preserve neighborhood character

Topography – Guideline : Provide landscaping in the front setback.

## **2. Our property, and all of our neighbors' properties that are adjacent to the proposed home will be adversely affected from the height of the building, in regard to light, air and privacy.**

**We are extremely concerned about the privacy issues triggered by the proposed plan.** Although we are the DR filers, we want to speak for the interest of the many families in our neighborhood, which include many tenants on limited budget, in rent control apartments and who are not in a position to spend the time and money into filing their own DR.

The proposed plan includes a large deck at the front of the property. Due to the slope of the street and the out of scale dimensions of each of the floors of the project as described (main level with ceiling height at 10ft+), anybody standing on the high-perched deck would have direct line of sight into many bedrooms and bathrooms, creating some major privacy issues. As an example, the floor of the proposed deck is 2 feet higher than the level of our bathroom, creating a direct line of sight into our bathtub and shower. Should such a project be constructed, we would need to modify or cover our windows and **lose much of the light we currently have** for our bathroom.

Furthermore, **privacy preservation would become incompatible with opening the windows to provide appropriate ventilation and air.**



The same goes for many of our neighbors who have original victorian windows in size and placement – not any dispensable oversized windows that can be covered. **Any covering, curtain, privacy screen necessary to protect one's privacy would affect greatly the light available.** The whole block slowly evolved over the past century so each house would have necessary light and air – by negotiating, remodeling and modifying the houses to include enough windows. The project as described impacts so many neighbors on all four sides (North, from the deck across Clipper, East and West by both the new windows, and the new roof deck, and South, from the many decks and windows impacting the many occupants of the multiple units properties across the garden (on 26<sup>th</sup> Street) that we don't see how the project as a whole preserves light, air and privacy of the neighborhood.

Planning Code Section 101 states that one of the purposes of the Planning Code is to provide adequate light, air, privacy and convenience of access to property in San Francisco

Guideline: Articulate the building to minimize impacts on light and privacy to adjacent properties.

**3.** From the first meeting in October 2015, organized by the owners of 153 Clipper Street, we voiced our concerns about the impact and extraordinary character of their project. We have not seen any improvement or change of the design, with no attempt to design a raised gable roof, as discussed during that first meeting. We have not heard back about dropping the ceilings, reducing the ceiling height on each floor to gain precious 2+1 feet of total building height. And the design doesn't mention a front garden, removing one front garden from the block.

**We'd like to state that the original plans #2014-04-09-2857 were approved, valid and are an excellent solid plan to update the current house to a beautiful 4 bedrooms 3 bathrooms home.**

If this is not “fancy” enough, we'd like to remind the property owner and the architect that the sister property at 121 Clipper Street is virtually the perfect remodel, achieved in 2015.

The architect archived the ultimate masterpiece of transforming the original 1100sqft 2 bedrooms 1 bathroom into a 2300sqft 4 bedrooms 3 bathrooms 1 parking home, all within the slightly modified footprint, simply by finishing the basement and **cleaning sensibly and naturally the roofline.**

(see photo #2)

The result is not only stunning (it fetched an outstanding and unheard of 3.7 million dollars), but the new dwelling adds value, visual appeal and cohesion for the block, on all four sides. Although the results is obviously not affordable, **the respect of proportion, scale, style and measure makes it a perfect update for the block and the neighborhood**, creating a home to enjoy for a few generations to come.

Yet, if those options are found unacceptable to the project sponsor, we are asking for the architect to explore **dropping the height of both second and third floor**, taking away 2 feet of height from the main floor, 1 foot from the top floor to drop the outside envelop by the 3 feet – which will make the third floor nearly disappear behind the historic and original decorative knee wall – as well as maintaining the integrity of the front roofline, leaving as is the first 25 feet of gable to preserve the integrity of the row of houses, as viewed from anywhere on the block. (see aerial photo #3 of consistent gable roofs).



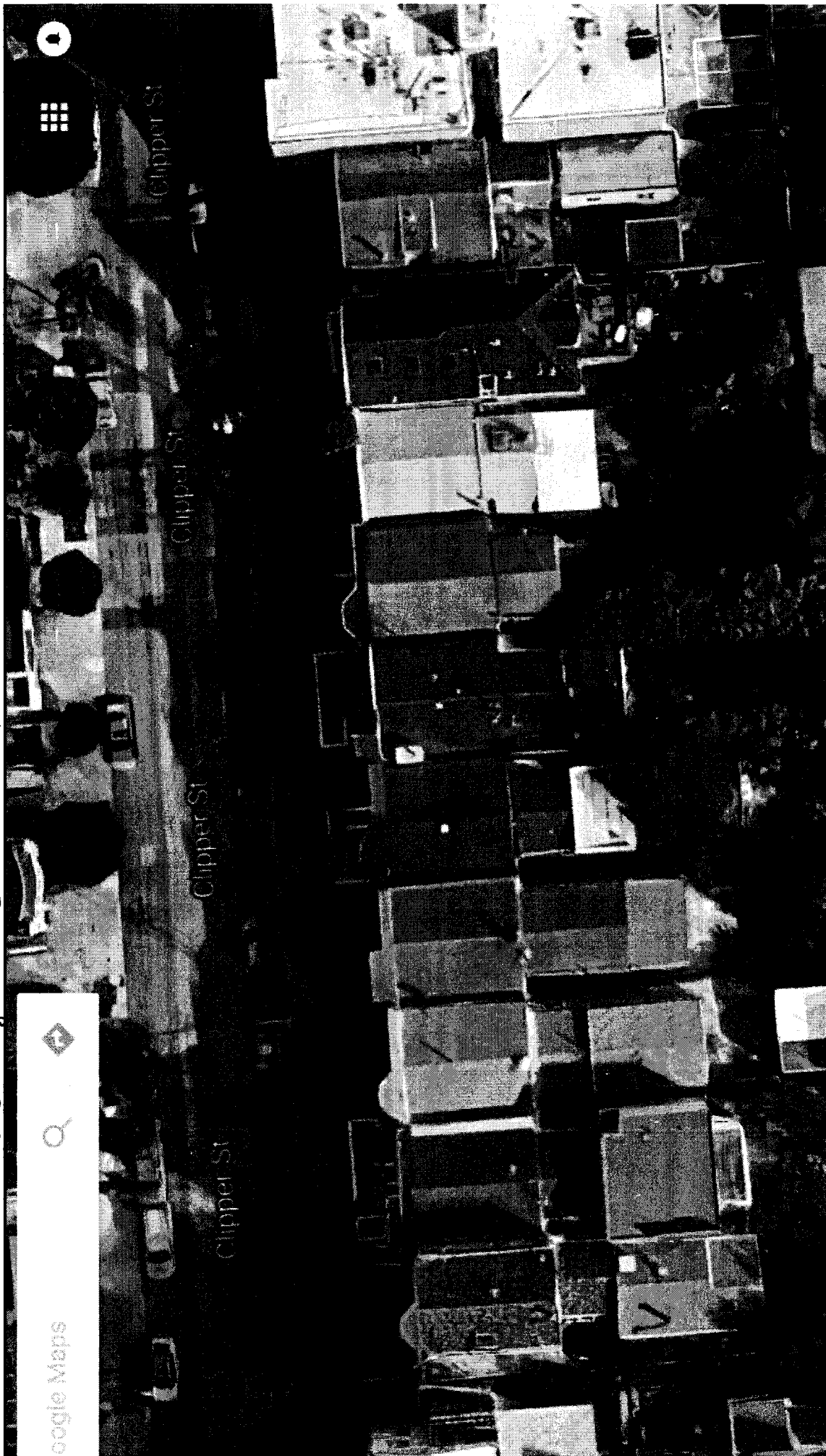
**All three ideas would wipe away most, if not all, the extraordinary circumstances that makes this project unacceptable for the neighborhood.**

Those proposals have already been offered to the property owners and to the architect, with no interest from their side. We kindly request the planning committee to **do the right thing** and let 153 Clipper be a legacy of the BEST our city can create, and not yet another “what we’re they thinking project” as we already suffer from the Clipper Apartments located at 135 Clipper St.

Respectfully.



Aerial view demonstrating the uniformity of the rooflines over the first/front 25 ft of houses behind the facades.

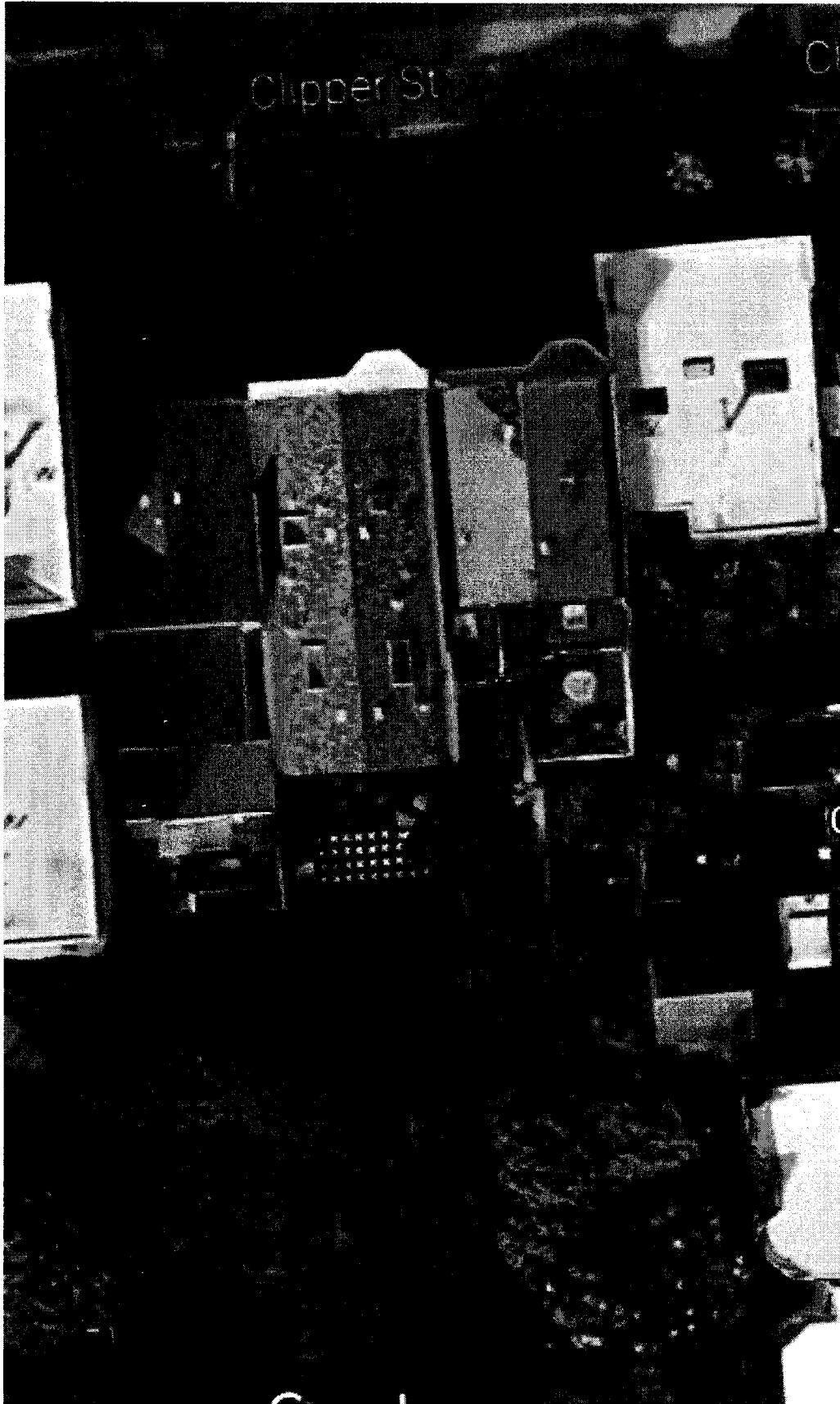


153  
Clipper

photo  
# 3



121 Clipper is one sister house to 153 clipper.  
The Roofline was modified with talent to respect the original design.



121  
Clipper

photo #2



Front of 159 Clipper - with 153 directly on its left.  
Evidence of wind patterns as demonstrated  
by a tree pushed down(hill)ward by about 30°.



photo #1



Application for Discretionary Review

CASE NUMBER  
For Staff Use only

2015-018305DRP-02

RECEIVED

APPLICATION FOR  
**Discretionary Review**

AUG 24 2016

CITY & COUNTY OF S.F.  
PLANNING DEPARTMENT  
P I C

## 1. Owner/Applicant Information

DR APPLICANT'S NAME:		
SUEA HORTON		
DR APPLICANT'S ADDRESS:	ZIP CODE:	TELEPHONE:
142 Clipper Street	94114	(415) 608-0864
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME:		
INES LEJARRAGA		
ADDRESS:	ZIP CODE:	TELEPHONE:
5429 Telegraph	94609	(510) 325-0243
CONTACT FOR DR APPLICATION:		
Same as Above <input checked="" type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE:
		( )
E-MAIL ADDRESS:		

## 2. Location and Classification

STREET ADDRESS OF PROJECT:		ZIP CODE:		
153 Clipper Street		94114		
CROSS STREETS:				
Church Street, Sanchez Street				
ASSESSORS BLOCK/LOT:	LOT DIMENSIONS:	LOT AREA (SQ. FT.):	ZONING DISTRICT:	HEIGHT/BULK DISTRICT:
6652 035	25x113	3040	RH-2	40-X

## 3. Project Description

Please check all that apply

Change of Use ☐ Change of Hours ☐ New Construction ☐ Alterations ☒ Demolition ☐ Other ☐Additions to Building: Rear ☐ Front ☐ Height ☐ Side Yard ☐

Present or Previous Use: Single family

Proposed Use: Single family

Building Permit Application No. 2015.11.23.3362 Date Filed: NOVEMBER 23, 2015



#### 4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

#### 5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

N/A



## Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

*Attached*

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

*Attached*

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

*Attached*



Discretionary Review Application for 153 Clipper Street, permit application  
2015.11.23.3362 [Side and Vertical Addition and Alteration]

**We are requesting Discretionary Review because the proposed vertical addition and alteration is proportionally too large for the neighborhood and does not fit with the vernacular of 100 block of Clipper Street.**

Below are the exceptional and extraordinary circumstances that justify this Discretionary Review:

1. We are extremely concerned with the massing and size of the proposed addition/alteration for 153 Clipper Street. The proposed north elevation with the third floor and roof deck facing the street looks tacked on. This proposed addition/alteration is not thoughtful in regards to the scale of the neighboring houses on the block. The existing ornate wood trim at the roof line is now lost due to the new railing at the roof deck. The proposed design appears to ignore the vernacular of the 100 block of Clipper Street. The design approach for any addition/alteration should reflect the details and incorporate architectural elements of the other houses on the block. The proposed rear elevation looks like a three story apartment building and appears to be significantly out of scale with the adjacent neighbor's houses.

*General Plan Housing Element: Objective 2: Retain Existing Housing Units and promote Safety and Maintenance Standards without jeopardizing Affordability.*

2. Our property and all of our neighbor's properties that are immediately adjacent to the proposed project will be adversely affected from the additional height, depth and overall scale.

Specific impacts of the proposed project include: privacy for neighbors directly across the street and the neighbors on 26<sup>th</sup> street that have rear yards/gardens facing the rear of the proposed project. Anyone on the proposed third floor deck



that is facing the street will be able to see directly into my home. The adjacent neighbor's houses daylight and ventilation will be impacted by the proposed project.

*General Plan Housing Element: Objective 11: Support and respect the Diverse and Distinct Character of San Francisco's Neighborhood.*

*Planning Code Priority Policy #2: That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.*

*Residential Design Principle: Design buildings to be responsive to the overall neighborhood context, in order to preserve the existing visual character [page 7 RDG]*

*Residential Design Principle: Design buildings scale and form to be compatible with that of surrounding buildings, in order to preserve neighborhood character [page 23 RDG]*

*Residential Design Principle: Design the height and depth of the building to be compatible with the existing building scale at the mid- block open space [page 25 RDG]*

**3. What alternatives or changes to the proposed project, beyond the changes [if any] already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?**

The proposed project is extremely out of scale with the neighborhood and we believe that a revision to the proposed design stressing the importance of the vernacular of the 100 block of Clipper Street, modifying the proportions of the proposed project that would be more fitting of the existing houses and an overall thoughtful design approach to the entire proposed project.

We are requesting the Architect to consider changing the proposed flat roof of the third floor to a pitched roof.

We would like to refer to the newly completed remodel at 136 Clipper Street which was sensitive to the vernacular of the block, scale, height and depth. The architect was thoughtful in adding a garage and additional square footage without major modifications to the front elevation.



## Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: \_\_\_\_\_

*Sue S. Horton*

Date: \_\_\_\_\_

*AUGUST 22, 2016*

Print name, and indicate whether owner, or authorized agent:

*SUEA HORTON*

☒ Owner ☐ Authorized Agent (circle one)



# Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input type="checkbox"/>
Covenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input checked="" type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

## NOTES:

☐ Required Material.☒ Optional Material.☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only

Application received by Planning Department:

By: X. KlineDate: 8/24/16



# APPLICATION FOR Discretionary Review

## 1. Owner/Applicant Information

DR APPLICANT'S NAME:  
Brian and Genie Donnelly

DR APPLICANT'S ADDRESS:  
143 Clipper Street

ZIP CODE:  
94114

TELEPHONE:  
(415) 505-4884

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME:  
Tara Zorovich, Susan Gleeson

ADDRESS:  
237 Dorland Street

ZIP CODE:  
94114

TELEPHONE:  
(415) 254-4268

CONTACT FOR DR APPLICATION:

Same as Above ☒

ADDRESS:

ZIP CODE:

TELEPHONE:  
( )

E-MAIL ADDRESS:  
briandonnelysf@gmail.com

## 2. Location and Classification

STREET ADDRESS OF PROJECT:  
153 Clipper Street

ZIP CODE:  
94114

CROSS STREETS:  
Church / Sanchez

ASSESSORS BLOCK/LOT:  
6552 / 035

LOT DIMENSIONS:  
26'8" x 114'

LOT AREA (SQ FT):  
3,040 sq.ft.

ZONING DISTRICT:  
RH-2

HEIGHT/BULK DISTRICT:  
40-X

## 3. Project Description

Please check all that apply

Change of Use ☐ Change of Hours ☐ New Construction ☐ Alterations ☒ Demolition ☐ Other ☐

Additions to Building: Rear ☒ Front ☒ Height ☒ Side Yard ☒  
single family dwelling

Present or Previous Use:  
single family dwelling

Proposed Use:  
Building Permit Application No. 2015.11.23.3362

Date Filed: 7/26/2016

RECEIVED

AUG 2<sup>3</sup> 2016

CITY & COUNTY OF S.F.  
PLANNING DEPARTMENT  
NEIGHBORHOOD PLANNING



#### 4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

#### 5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

We discussed with the owner, and no change was proposed or agreed to by owner. We discussed with planning staff, and they indicated another party was going to (and then subsequently) did file a DR. Planning indicated that the project met "minimum standards."



## Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

See attached

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

See attached

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

See attached



**Discretionary Review Application  
153 Clipper Street  
Permit Application 2015.11.23.3362**

**QUESTION 1:** Brian and Genie Donnelly, owners and residents of 143 Clipper Street, are requesting Discretionary Review because the proposed project is out of scale and proportion for the neighborhood, violates a clear and uniform pattern of rooflines on the block, will block natural light and air, and disturb privacy to adjacent properties.

However, before discussing the exceptional and extraordinary circumstances that justify this Discretionary Review, it is important to emphasize that the project sponsors have already violated the existing Permit 2014-04-09-2857, and that this new Permit 2015.11.23.3362 does not accurately reflect “existing” conditions of the property.

Background

153 Clipper Street is one of a row of beautiful Italianate houses, all of them similarly constructed in or around the 1880s, with the following (current) description: ~1,000 sq.ft. with 2 bedrooms and 1 bath. The front of the house is a 25 x 25 sq.ft, with the wash porch kitchen extension in the rear. There were no garages as originally constructed. The exterior and footprint of the property has not been changed in any major way in the last 130 years, and is currently a 2 bedroom, 1 bath home over a storage floor, with no garage.

From our research, Clipper Street was regraded during the sewage installation, creating a retaining wall in front of all the houses on both sides of the street – which created a convenient “storage lower floor”. Some owners took advantages of this urbanism change to add a garage.

Below are the exceptional and extraordinary circumstances that justify this Discretionary Review:

- a) The Notice Of Building Permit Application Is Inaccurate and Misleading, And Does Not Reflect The Actual Dwelling, But Is Rather Based On A Prior Permit of Uncompleted Work.**

The current Notice of Building Permit Application submitted for review relies upon approved Permit 2014-04-09-2857 as a basis for calculations and alterations, which was already a significant alteration of the existing structure. This 2014 Permit did not trigger a 311 notification because the modifications were to be within the original footprint of the house and the neighbors were aware of the project and agreed to the project.

The project description on the Notice states: ‘The project includes a one-story vertical addition with a roof deck atop an existing two-story, single family dwelling and the expansion of the first and second floors at the side of the existing building. See attached plans.

The attached plans include a section entitled “Project Scope” which states:

- Interior remodel, all floors
- Infill portion existing side yard
- Third story vertical addition with roof deck



Finally, the attached plans do NOT match the description of the Permit 2015.11.23.3362 as filed: "REMODEL EXISTING RESIDENCE, INFILL PORTION OF EXISTING LIGHTWELL, THIRD FLOOR ADDITION WITH ROOF DECK. 1 NEW BEDROOM, 1 NEW BATHROOM."

Violation of Permit 2014-04-09-2857

As clearly visible from the picture below, the "infill" of the light well occurred months before this Notice was distributed to neighbors. The immediate neighbors at 147 Clipper can attest that this framing occurred in late 2015 or early 2016, months before Permit 2015.11.23.3362 was filed.





After violating the 2014 Permit, the project sponsors now seek an additional Permit to add a 3rd story. When questioned about whether there were going to be any additional work done to the property, such as adding a 4th story roof deck and/or penthouse, the response was essentially “no, trust us”. However, considering the current violation of the Permit 2014-04-09-2857, as well as the radical and massive change proposed by this Permit, that trust has not been earned. One can only presume that the third floor addition and other changes proposed by this Permit 2015.11.23.3362 were always planned by the project sponsors.

#### Inaccurate and Misleading Permit Application 2015.11.23.3362

We wish to protest the form of the 311 Notification as filed and distributed. The project as currently presented is misleading, as the project is not merely adding a 3rd floor and infilling a light well to a 2-story house. Rather, the project is a massive transformation of a small row house with 2 bedrooms to a very large 3-story house with arguably 7 bedrooms.

The plans as distributed in the 311 notification are showing without any possible discussion 3 new bedrooms and 2 new bathrooms within the third floor addition. The Master Bedroom on the new first floor as set forth in Permit 2014-04-09-2857 is now referred to as a “Media Room.” This Media Room still has an “on suite” bathroom and closet, which clearly qualifies it as a bedroom. This new media Room bedroom is in addition to a new “Den”, a new “Office” (also with an on suite bathroom, making it look more like a bedroom) “and a new “Storage” room (which was the old “Den” in Permit 2014-04-09-2857. This new “Storage” room has a door directly accessing the first floor bathroom, which seems very odd for a “Storage” room. This new “Storage” room also appears to be an additional bedroom.

The combined approved Permit 2014-04-09-2857, together with this proposed Permit 2015-11-23-3362, transforms 1,004 sq. ft. home into a 2,961 sq.ft. home, a **294% increase**. This is NOT a small project or “mere modification” of the house. It takes a 2 bedroom, 1 bath house and transforms it to a 7 bedroom, 4 bath house. It is effectively a “McMansion”, which is completely out of character with Noe Valley and the Italianates home that the property sponsors purchased. It is not in character with the block or neighborhood, and its scale does not preserve smaller and affordable housing in Noe Valley. This scale of a home is better suited for other neighborhoods such as St. Francis Woods, or even the suburbs.

*GENERAL PLAN HOUSING ELEMENT: OBJECTIVE 11: Support and Respect the Diverse and Distinct Character of San Francisco's Neighborhood;*

*GENERAL PLAN HOUSING ELEMENT: OBJECTIVE 3: Preserve “naturally affordable” housing types, such as smaller and older ownership units.*

- b) The Proposed Home Is Massively Out Of Character With The Entire Block, Creating Unnecessary Burden On The Visual Harmony Of The Street, And Potentially Some Safety And Urbanism Challenges.**

The current proposal is outrageously disconnected with the neighborhood. While some adjacent properties have been upgraded to 3-4 bedrooms and 2-4 bathrooms in maximizing the underfloor potential (the remodel of 121 Clipper completed in late 2015), the subject property pushes the floor plan to one 35% larger than the largest of the observed designs, and to (arguably) 7 bedrooms and 4 bathrooms.



The 100 block of Clipper has a strong defined visual character: the odd numbered (south) side of the street hosts a row of small Italianate houses, 12 of those on Clipper Street, and continuing on the same block on Sanchez Street with 7 more houses. The block has a very strong visual cohesion. The south side of the 100 block of Clipper demonstrates a nice and consistent roof line, with cohesive gable shapes and slopes, only broken by the unfortunate Clipper Apartments (135 Clipper). The maximum heights of each building follows with harmony the slope of the street.

The photo below shows the rooflines. Note that the green home in the rear of the picture is 8 homes away from my property where the photo was taken.





Rooflines are not just looked at by pedestrians on the curb facing the property, as drawn on the 311 notification, but from the Clipper and Sanchez corner, which looks downward to the subject block of Clipper. The 15 foot setback to hide the additional floor will not be sufficient to hide the large addition randomly placed in the middle of a cohesive consistent roofline of gabled roofs – as view from higher on the street and from an angle.

As a separate issue, Clipper Street is also a major wind tunnel, with wind coming down from Diamond Heights and Glen Park Canyon. There are some major concerns about building a 12 feet tall, 35 feet wide set of walls straight in the way of the wind. It is unclear how this new and disproportionate 3rd story might affect the wind on the block, which could have safety issues and issues on landscaping. Neighbors have been working hard at beautifying the block with trees, front gardens, and sidewalk planters. It would be unfortunate for the urban forestry to destroy years of tree growth by changing the wind pattern.

*NEIGHBORHOOD CHARACTER - DESIGN PRINCIPLE: Design buildings to be responsive to the overall neighborhood context, in order to preserve the existing visual character (p.7, RDG).*

*SITE DESIGN - DESIGN PRINCIPLE: Design the height and depth of the building to be compatible with the existing building scale at the mid-block open space (p.25, RDG).*

*ROOFLINES GUIDELINE: Design rooflines to be compatible with those found on surrounding buildings (p 23, RDG).*

*BUILDING SCALE AND FORM - DESIGN PRINCIPLE: Design the building's scale and form to be compatible with that of surrounding buildings, in order to preserve neighborhood character (p. 23, RDG).*

**QUESTION 2:** Our property, and our neighbors' properties adjacent to the proposed project, will be adversely affected from the height of the proposed project, in regard to light, air and privacy.

The proposed plan includes a large deck at the front of the property. Due to the slope of the street and the out of scale dimensions of each of the floors of the project (main level with ceiling height at 10+ feet), a person standing on this deck would have a direct line of sight into our skylights on the west side of our roof, creating major privacy issues. There are no coverings on our skylights, nor any reasonable coverings we could install. Further, as our skylights are operable, our private conversations will now be able to be heard from the proposed front deck.

Our skylights provide valuable light and air to the top floor of our un-air conditioned home. During warm weather, the top floor becomes very warm, and the wind coming down Clipper is a welcomed and necessary relief. The proposed 3rd floor will greatly impact both our light and air, as it will be higher than our skylights. Finally, this new proposed floor will also impact light and air on our rear decks.

*Planning Code Section 101 states that one of the purposes of the Planning Code is to provide adequate light, air, privacy and convenience of access to property in San Francisco Guideline: Articulate the building to minimize impacts on light and privacy to adjacent properties.*



**QUESTION 3:** When we initially learned of the project, everything we were told by neighbors and otherwise provided appeared that the project would be very similar in size and scope to 121 Clipper. That project transformed a 1,100 sq.ft. 2 bedrooms 1 bathroom home into a 2,300 sq.ft. 4 bedroom, 3 bathroom home with a 1 car garage, all within a very slightly modified footprint in the rear of the property. That project was beautifully done, and we were quite pleased that 153 Clipper would receive similar upgrades. We had no objection whatsoever with Permit 2014-04-09-2857. This Permit was a significant renovation, updating the house from 2 bedrooms and 1 bath to 4 bedrooms, 3 bathrooms and a 1 car garage. But it retained the original character of the home, and the small impact on our home seemed reasonable. Permit 2014-04-09-2857 "as is" would be wholly acceptable.

As an alternative, if the project sponsors insist on adding a third floor, we are asking for the architect to explore having this third floor being a roof deck with 42" cable railings. This living space would not have nearly the impact on our light or air as would a fully enclosed, insulated third story. The home modification under Permit 2014-04-09-2857 already provides for 4 bedrooms and 3 bathrooms. If the project sponsors really want or need a 7 bedroom home, purchasing a ~1,000 sq.ft. with 2 bedrooms and 1 bath home built in the 1880's, next to multiple identical small homes, was not prudent. There are many nice neighborhoods even in San Francisco – St. Francis Woods for one – where a home of this scale and proportion that the project sponsors desire, is entirely appropriate and consistent with the neighborhood.

As a second alternative, if the project sponsors insist on adding a fully-enclosed third floor, we are asking for the architect to explore dropping the ceiling heights in the home, taking away an aggregate of 3-4 feet. This will make the third floor nearly invisible behind the original decorative front knee wall, as well as maintaining the integrity of the front roofline.

All three alternatives above would alleviate the exceptional and extraordinary circumstances that makes this project unacceptable to my family, as well as the neighborhood in general.

Those proposals have already been discussed with the project sponsors with no concessions offered to date.

\*\*\*\*\*



## Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: \_\_\_\_\_



Date: \_\_\_\_\_

8-23-16

Print name, and indicate whether owner, or authorized agent:

Brian Donnelly

Owner / Authorized Agent (circle one)



# Discretionary Review Application Submittal Checklist

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REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
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Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input type="checkbox"/>
Covenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent - n/a	<input type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

## NOTES:

- ☐ Required Material.  
☒ Optional Material.

☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only

Application received by Planning Department:

By: \_\_\_\_\_

Date: \_\_\_\_\_



**RESPONSE TO**  
**DISCRETIONARY**  
**REVIEW (DRP)**



**San Francisco**  
**Planning**

SAN FRANCISCO PLANNING DEPARTMENT  
1650 MISSION STREET, SUITE 400  
SAN FRANCISCO, CA 94103-2479  
MAIN: (415) 598-6378 SFPLANNING.ORG

**Project Information**

Property Address: 153 Clipper Street Zip Code: 94114  
Building Permit Application(s): 2015.11.23.3362  
Record Number: \_\_\_\_\_ Assigned Planner: Natalia Kwiatkowska

**Project Sponsor**

Name: Ines Lejarraga Phone: 510-325-0213  
Email: design@lejastudio.com

**Required Questions**

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

See Attached

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

See Attached

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

See Attached



## Project Features

Please provide the following information about the project for both the existing and proposed features. Please attach an additional sheet with project features that are not included in this table.

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)	1	1
Occupied Stories (all levels with habitable rooms)	2	3
Basement Levels (may include garage or windowless storage rooms)	1	1
Parking Spaces (Off-Street)	2	2
Bedrooms	3	4
Height	28'9"	34'10"
Building Depth	64' From Front R	64' From Front R
Rental Value (monthly)	\$6980.00	\$8000.00
Property Value	1,850,000.00	\$2,955,614.00

I attest that the above information is true to the best of my knowledge.

Signature:

*Tara Zerovich*

Date:

2/15/17

Printed Name:

Tara Zerovich



Property Owner  
Authorized Agent

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.



*1. Given the concerns of the DR requester and other concerned parties, why do you feel the project should be approved?*

We feel the project should be approved because we have followed the city's guidelines and we do not feel that the project would have an adverse effect upon the neighborhood. We have in good faith attempted to negotiate with neighbors which has caused us significant expense as described in attached timeline. We will go into detail on the various neighbor concerns in response to questions #2 and #3.

*2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.*

We have previously made the following accommodations based on neighbor input:

--We decided not to expand towards the West side of the property

--We lowered our third floor ceiling height from 10' to 9'-2"

*3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would have not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.*

A number of concerns have been raised by Svea Horton, Brian and Genie Donnelly, and Sophie and John Stockholm. As many of them overlap we will respond to them collectively here. It is our understanding that the most important neighbor concerns are the overall scale of the proposed project and potential effects on neighbor privacy due to the proposed roof deck. We will address these first and then touch on additional concerns.

### **Proposed scale of the project**

This issue can be understood both from the perspective of the view of the building as part of the streetscape and the amount of functional interior space and use.

### ***View of building mass from street:***

--We feel the proposed addition will be minimally visible from the street as represented in the included 3D renderings showing the view of the building from directly across the street and also from across the street 150' to either side of the subject property. The upper level addition is set back from the existing front facade by 15'-1", and the height of the proposed parapet on the addition is only 6'-1" above the existing (to remain) front parapet wall. The addition will be only approximately 4' higher than the existing ridge of the building. This will not be visible from directly in front of the building and only minimally visible from the sides.



--Neighbors have voiced concern that while the addition is minimally visible from the sidewalk, it will be more prominent from their upper level windows. We believe that the impact is minimal given that it is only minimally raised over the height of the parapet.

--Suggestions to reduce the existing 10' ceiling height on the second floor are unfortunately not possible as it would require a reduction in the height of the front facade windows, which would adversely affect the integrity of the existing facade.

***Proposed square feet and layout:***

Neighbors have argued that a third story addition would not be necessary to create a functional dwelling at this address, and that the proposed addition is unnecessary. Please take into consideration the following:

--It is very important to us as a family of four to have our sleeping rooms on the same level. This is normal for families with young children such as ours.

--We have a large extended family in Ireland who come to stay with us for extended periods. It is important to us to have space to host our family in our home when they come to visit.

--We are both working parents and will also be providing space for a live-in nanny or au pair in our home.

--We have considered alternative layouts, and to eliminate the third story would make it impossible to accommodate the needs we have as listed above.

***Single family home versus two-unit building***

Re: the discussion of whether to split this project into two units instead of pursuing it as a single family home, we ask you to consider:

--Our proposed completed project will be under 3,000 SF (2,961 SF), which is not out of scale for a single family home. In fact existing single family homes of similar size are located on the same block. 184 Clipper and 170 Clipper are respectively 2,700SF and 2,863 SF.

--This is a historic property and a new entry for a second unit would compromise the historic facade. There is not a good location for a legal second street entry for a second unit even if it were not an issue historically.

**Privacy Effects on Neighboring Properties of Proposed Roof Deck**

***Visibility from the street***



--The roof deck itself is not visible from the street due to the height of the existing parapet. Any inhabitants of the roof deck will be only minimally visible, see diagrams and renderings produced for assessing the massing of the addition.

### ***Privacy for neighbors across the street***

Neighbors Sophie and John Stockholm at 144 Clipper Street and Svea Horton at 142 Clipper Street (both located across the street) have voiced concern that roof deck users could see into their bathrooms or other rooms at the same level.

--Please consider that other neighbors are already able to see into these windows, notably neighbors directly across from Sophie and John Stockholm at 144 Clipper St.

--We feel there are many options often employed in an urban environment such as sheer curtains, venetian blinds, and shades that open from the top down that could successfully mitigate neighbor privacy issues without an adverse effect on the perceived brightness of a space. These strategies can sometimes even increase the perception of brightness by balancing the overall natural light in the room.

### ***Privacy at neighboring skylights***

Neighbors two doors down to the East, Brian and Genie Donnelly, at 143 Clipper Street have voiced concern that someone on the proposed roof deck would see down into their living space through their existing skylights. Please see the attached photograph that show that because of the elevation of the roof deck relative to the skylights, views down and into activity inside will not be an issue. The view would only be of the interior of their ceiling.

### **Additional concerns**

Other concerns voiced by neighbors include the effect of the addition on local wind patterns, compatibility the addition with the ornament on adjacent properties, roof lines, access to light and air and the fact that the permit builds on a previously approved permit.

### ***Ornament***

Planning guidelines steer designers away from producing ornament that is not authentic. For example, on this project we were asked to eliminate some proposed trim at the top of the proposed addition.

The Secretary of the Interior's Standards for Rehabilitation (Department of Interior regulations, 36 CFR 67) state that:

3. [...] *Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*



*9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

Adding ornament that the neighbor requests would conflict with requirement 3, not to add conjectural features.

Our clean design complies with the spirit of requirement 9, by being proportionately compatible in massing, size, and scale while being clearly differentiated from the historic facade.

### ***Roof lines***

From the street and from the upper floors across the street, a flat roof is visually more consistent. See renderings.

### ***Access to light and air***

--Brian and Genie Donnelly have voiced concern over the light and air for their rear decks. As they are two doors down, any impact to light will be minimal. We do not see any effect to access to air.

--Sophie and John Stockholm have also voiced concern for neighbors to the south of the subject property which cannot be affected by shade from the subject property due to solar geometry. There is some potential impact to the neighbor to the West, which has been accommodated previously by holding the addition away from the West property line to maintain access to light and air.

### ***Permit building on previously approved permit***

We purchased the property with previously-approved, permitted plans which were produced for a former owner of the property. Our needs as a family differ from the previous owners and so we proposed a new project. Our planner directed us to reference the pre-approved permit. We relabeled the drawings for clarity during the process with our planner.

### ***Landscaping at front yard***

The Stockholms have voiced a concern that no landscaping is shown on the drawings. While some existing landscaping has been disturbed for the addition of the previously permitted garage under the prior permit, there is existing landscaping in the front yard that is to remain and has not been detailed due to it not being within the scope of the work.



**ATTACHMENT:****Timeline for 153 Clipper Project Neighbor Negotiations**

We provide this timeline regarding negotiations with neighbors as evidence of attempts to discuss in good faith neighbor concerns about our project. We have spent a lot of time and money making changes to appease the neighbors "in negotiation with neighbors" beginning in October of 2015 as evidenced below.

---

**Aug. 26, 2015** Bought 153 Clipper after a year-long search involving 7 lost bids.

**Oct. 8, 2015** Started construction using existing permit

**Oct. 26, 2015** Held the meeting with neighbors for vertical addition project. The abutting neighbors seemed agreeable but two people said we wouldn't be able to afford what we wanted to do. Sophie Stockholm (142 Clipper) seemed worried about us seeing her in her bathrobe through the window. We showed the ceilings at 10-feet but said we were willing to compromise.

**Early November 2015** Sophie Stockholm came into our house uninvited during a talk with our contractor and scolded us for having nails on the porch. She was concerned her kids could choke on them.

**Dec. 2015** A neighbor who we had met before came by and said that Sophie Stockholm was knocking on doors to try to get neighbors to fight our project

**November 2015-February 2016** Back and forth with planning department and architect/engineer to have plans officially accepted. Had to have historical group review and accept since the building was constructed before the 1906 earthquake.

**March 3, 2016** Architect contacts Sophie Stolkholm to review design.

**March 8, 2016** Architect meets Sophie Stolkholm at their house. She is receptive to their concerns.

**June 1, 2016** Review with Residential Design Team. No major changes were required in our plans. A few small questions and back-and-forths. We redrew the parapet at their request.

**June 29, 2016** Architect contacts Sophie Stolkholm for a meeting to discuss new design ideas. Sophie does not respond.

**Mid July 2016** Neighbors were given official plans with 30 days to respond per 311 notification



requirements.

**July 2016** Brian Donnelly from two houses down (143 Clipper) called to say he was concerned that we were going to build a roof deck on top of the addition. We told him that we only wanted the one roof deck outside the kids' room and didn't want to climb up the addition to an even higher roof deck. I told him the height wasn't that different from the peak of the old roof since that was 6-7 feet above our current ceiling. I told him I didn't have the plans in front of me but I didn't think it was going to be more than a couple or few feet higher. (He had the plans with the exact dimensions already) He also told us that Sophie would complain no matter what we did.

**Aug. 2016** Tara knocked on the Stockholms' door and asked if there was any way to compromise. Tara emphasized what a financial hardship all of these delays have been on our children and us. Tara told her we would rather donate money to charity than waste money on city fees and two mortgages. Sophie Stockholm told her that by losing privacy her home value would drop by \$200,000. Tara asked if we had frosted glass, no roof deck, and shorter ceilings, if she would not protest and she said that she was going "fight us to the very end." She also in a threatening tone warned us that we wouldn't be able to afford the project. Tara replied that we would be able to afford it if she stopped delaying us. She said that was not her problem and I said she has too much time on her hands. Sophie seemed very angry and so was Tara.

**Aug 2016.** Architect Ines Lejarraga emails Sophie Stockholm to set up a meeting to discuss the project changes. This email receives no response.

**Aug 2016.** Donnelly's call Architect Ines Lejarraga the day before DR requests are due to discuss concerns. There is no time for the team to respond to them before the DR request is filed.

**Aug. 2016-Dec. 2016** More back and forth with planning and our architect to make some small changes and then get in line for the meeting on March 2.

#### **Additional Notes:**

--We never heard from Svea Horton about their complaint until it was too late to respond.

--We would like to also put attention to the fact that when in August 2016, Sophie Stockholm told us that she was going to "fight us to the end" regardless of our proposed concessions, we finally realized that negotiation would be impossible. The cost of the DR meeting to our family has been significant as it has delayed the project by over six months, and during this time we have been paying a double mortgage. Sophie wasn't interested in negotiation prior to the DR and didn't care if we had to wait until March 2017 for a DR meeting. In addition, we found her concerns with the architecture of the "quaint street" disingenuous since we learned that she had previously wanted to put a fourth floor on her three-floor Victorian and was denied by the city.



Feb. 16, 2017

Dear Planning Commission,

After an exhaustive 18-month long search for a single family home in Noe Valley, and 8 failed bids on various properties, my partner Suzie Gleeson and I purchased 153 Clipper St., in August of 2015.

We were thrilled with the prospect of getting our two small children out of our two-bedroom condominium and into a home with parking and a nice yard in our favorite neighborhood. Even though we had approved plans to expand the basement, our contractor said the house was a great candidate for expanding even more. Suzie and I both have big families and sometimes work from home, so the idea of more space seemed like a good one. We talked to all of our abutting neighbors and got their support.

The delays that have been caused by mostly the Stockholms across the street have caused a great emotional and financial stress on our family. We have no idea what preschool our three-year-old should attend and we had to cancel our plans for a wedding in Ireland where Suzie is from because we are wasting so much money on two mortgages and two property tax bills.

We just want to get our contractor back to work and finish our home that will be one of the most beautiful on the block and in keeping with the needs of our family. We have the support of the neighbors on either side and at the rear of our property.

We look forward to finishing our new home, starting our children in pre-school and becoming part of our new neighborhood and the community.

Thank you.

Tara Zorovich

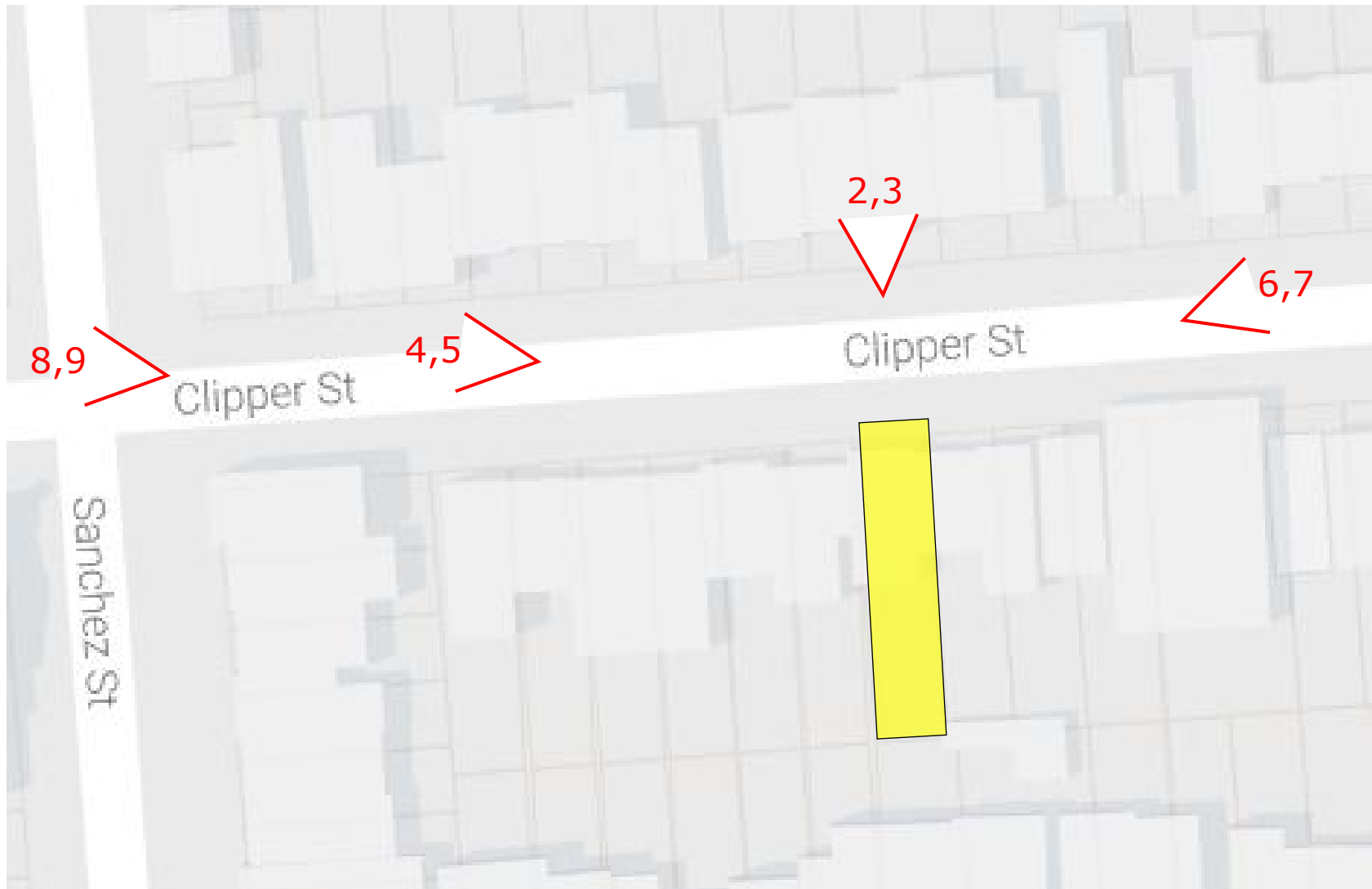


View possible only into  
upper portion of space



5' High eye level, 29'-9"  
Proposed 3rd Floor Level, 24'-9"  
Existing 2nd Floor Ceiling, 23'-10"





SUBJECT PROPERTY

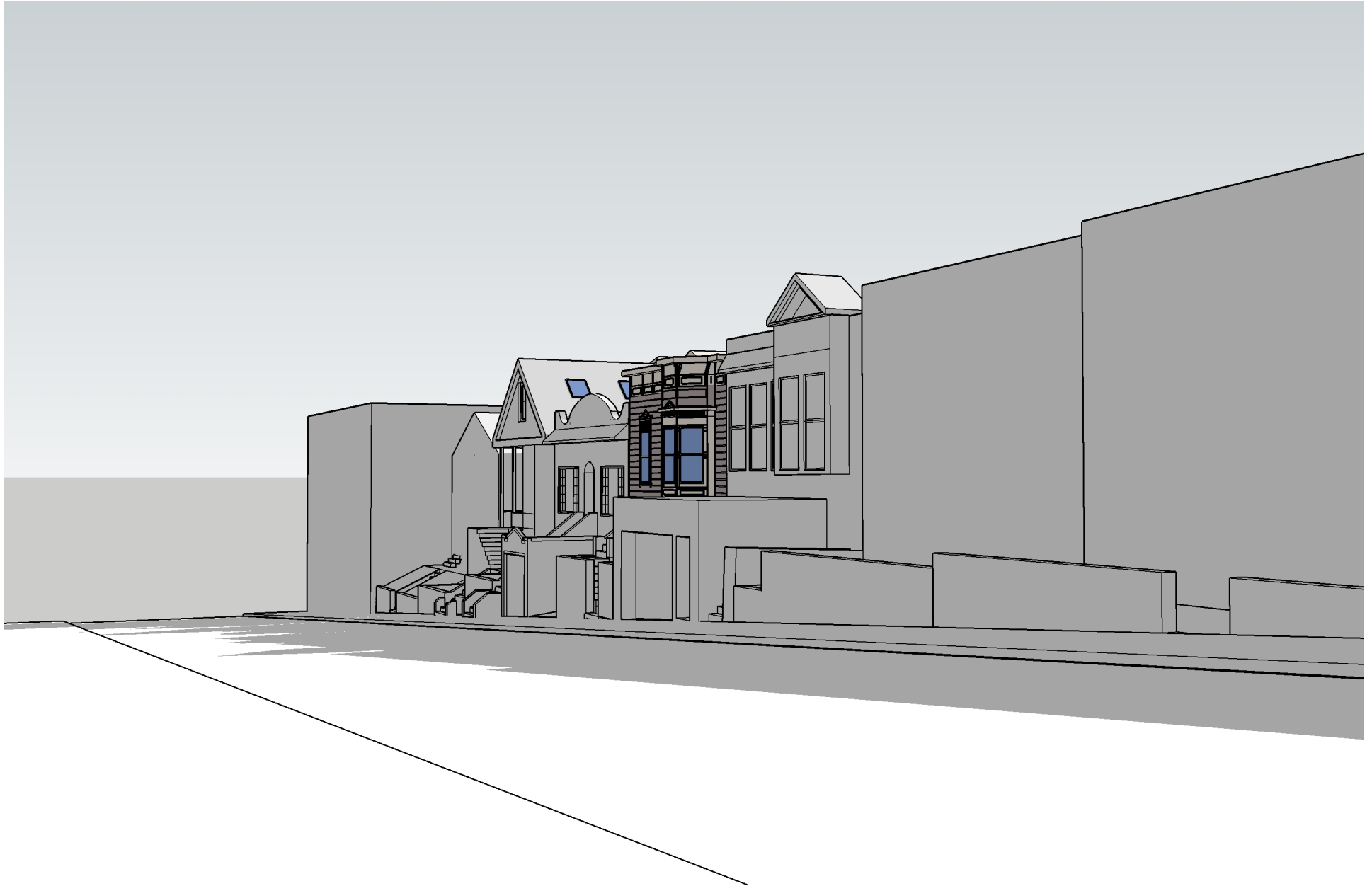




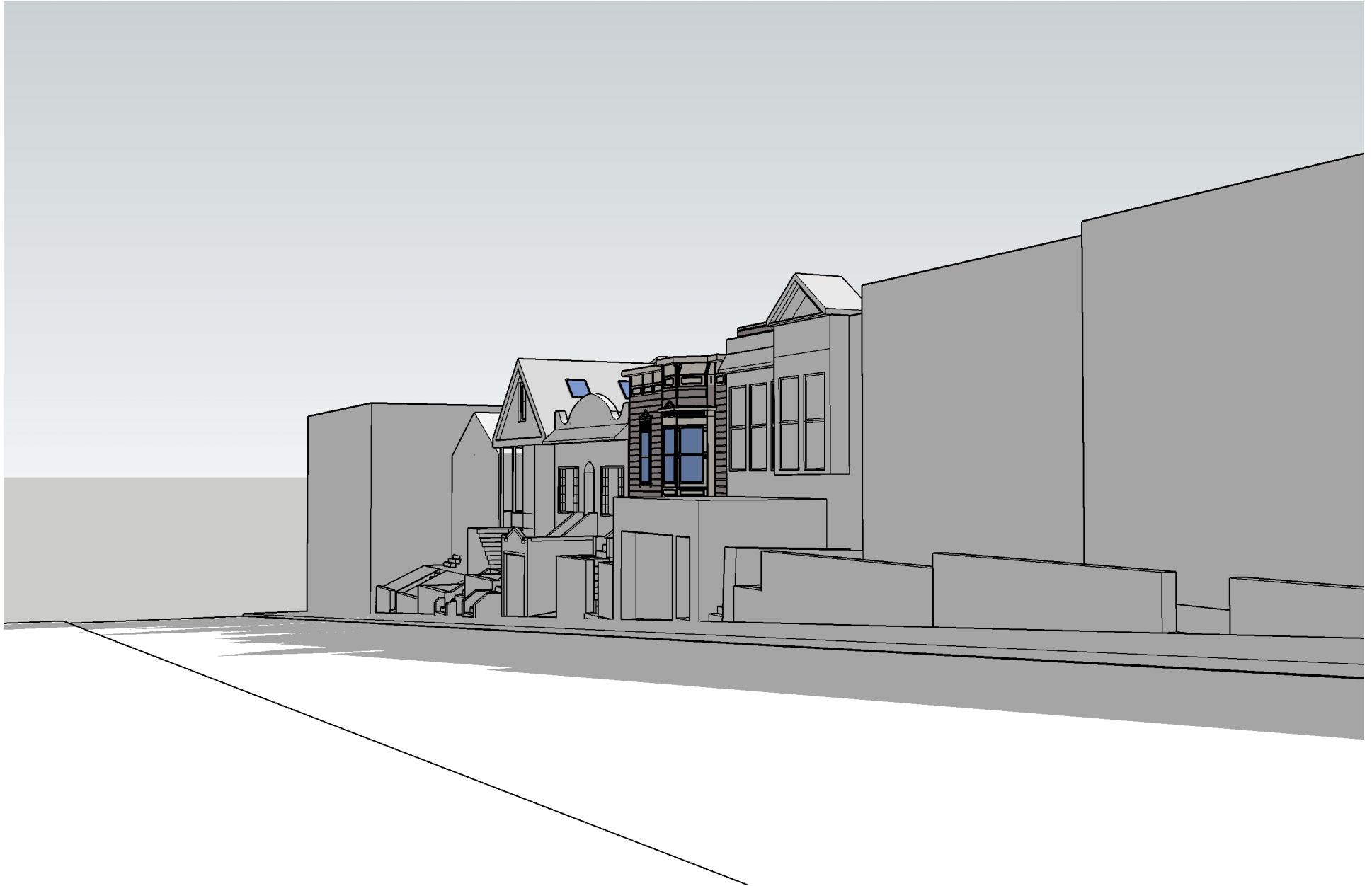














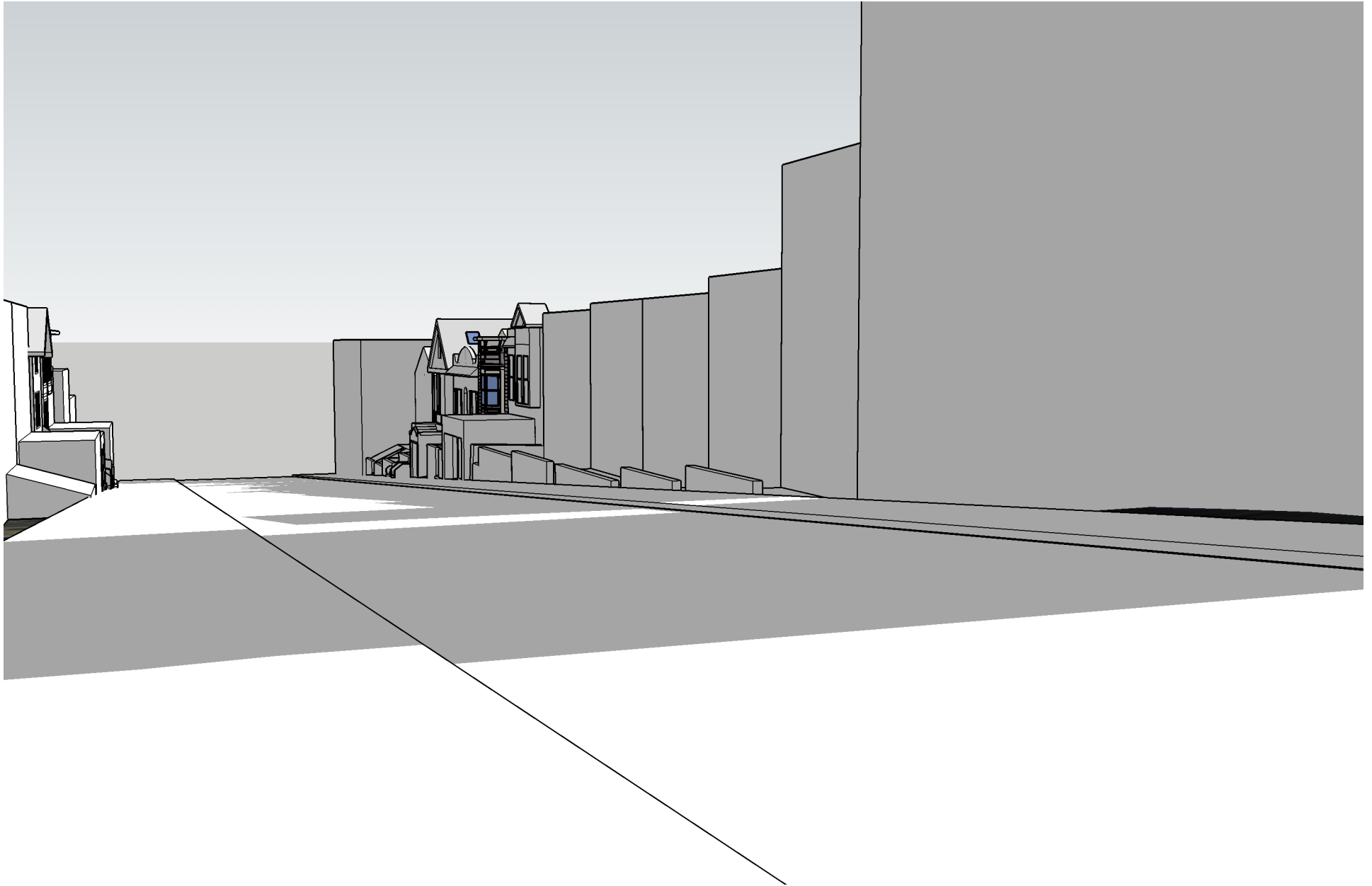




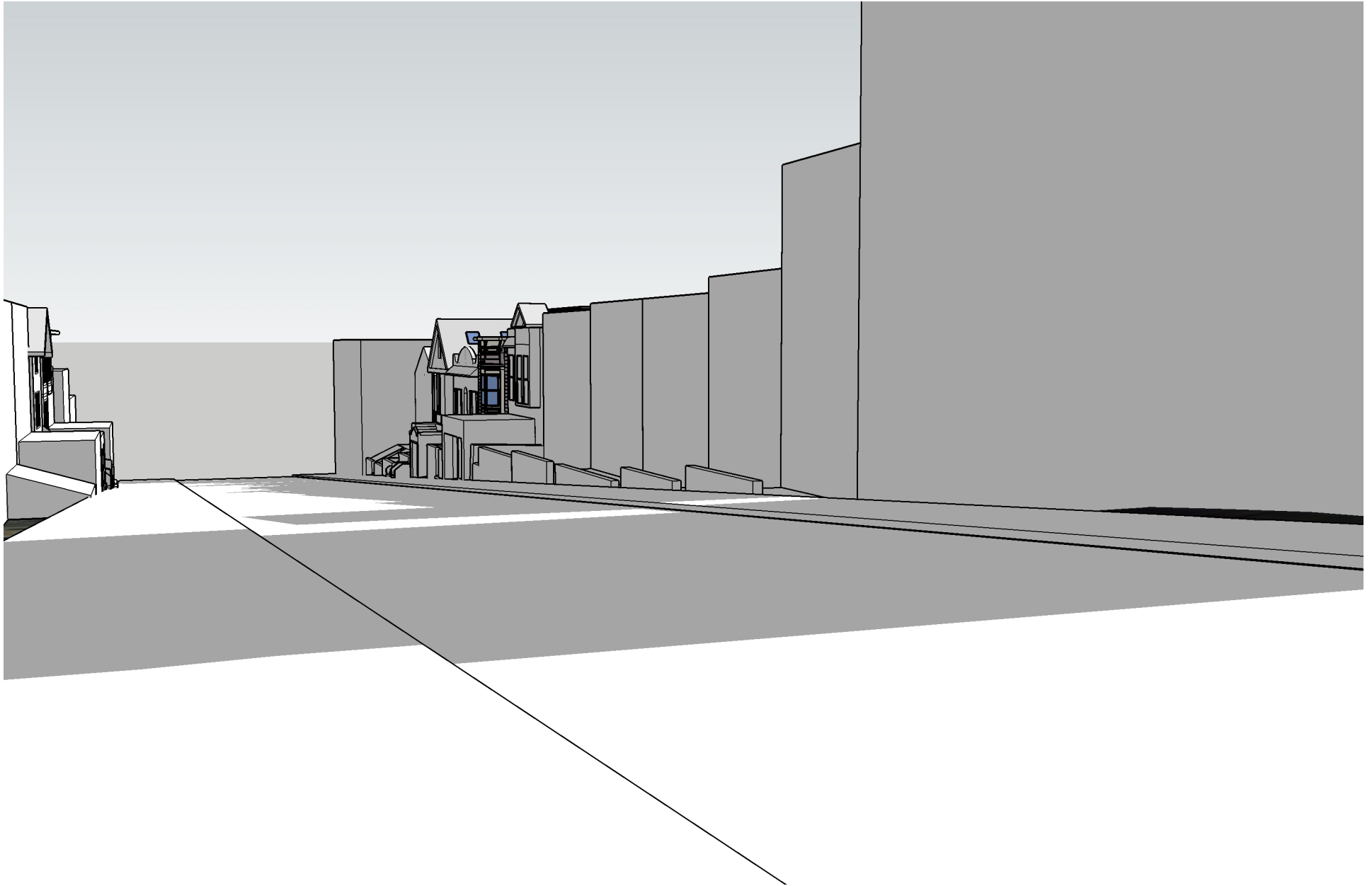


153 Clipper St, San Francisco - 3D model study - View from 150' to the East at eye level (N)

































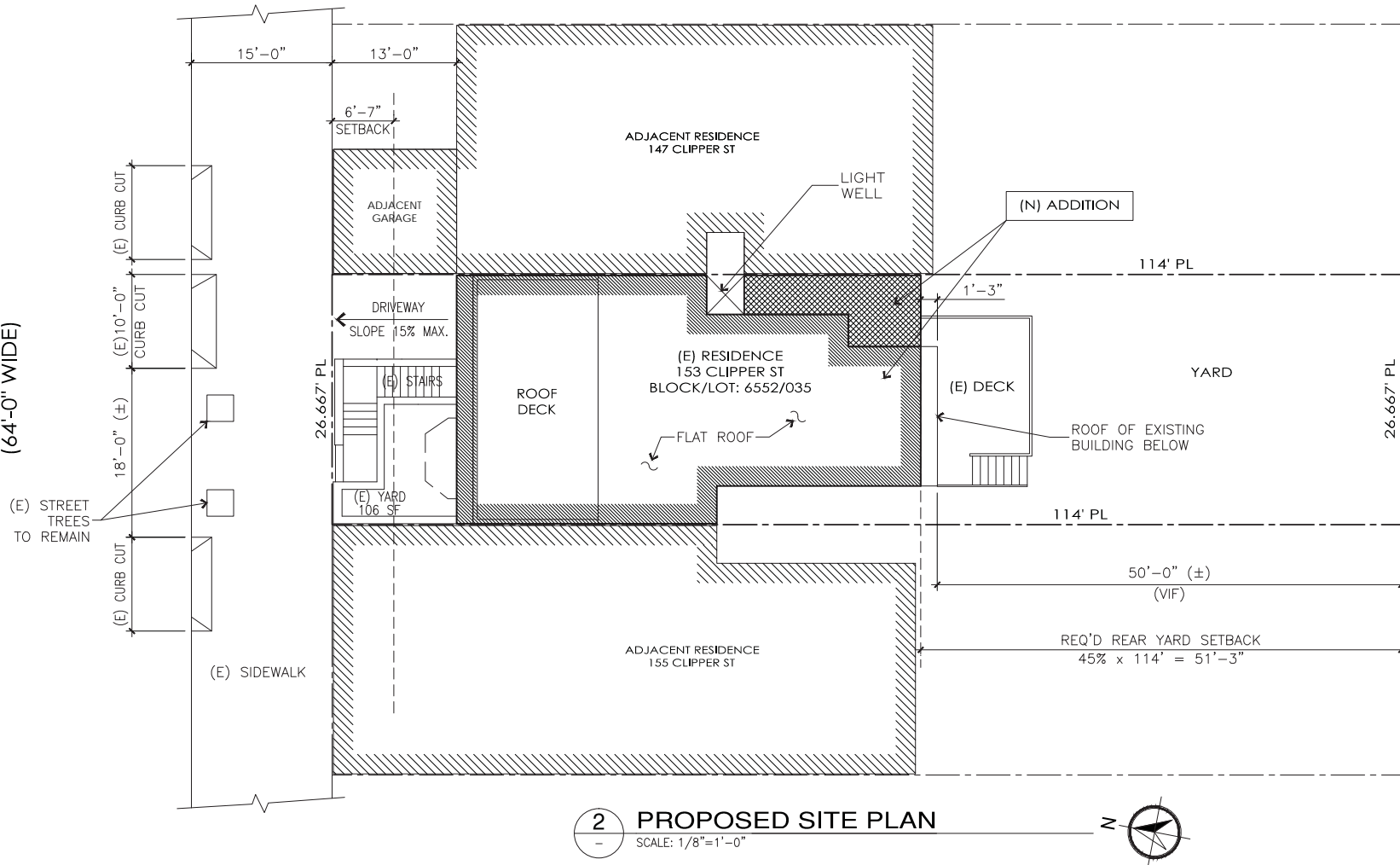
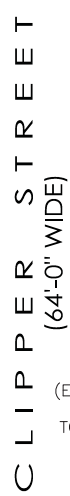















- | PROJECT INFORMATION                          |  |
|--|--|
| 1. BLOCK/LOT                                 | 6552/035   |
| 2. OCCUPANCY                                 | R-3/U  |
| 3. TYPE OF CONSTRUCTION                      | V-B  |
| 4. ZONING                                    | RH-2   |
| 5. NUMBER OF UNITS                           | 1  |
| 6. LOT AREA                                  | 3,040 S.F.   |
| (E) PARKING SPACE PROVIDED                   | 1  |
| (E) BUILDING FOOT PRINT                      | 1,111 S.F.   |
| (E) BUILDING FLOOR AREA                      | 2,244 S.F.   |
| (E) 1ST FLOOR AREA                           | 814 S.F.   |
| (E) GARAGE                                   | 297 S.F.   |
| (E) 2ND FLOOR AREA                           | 1,133 S.F.   |
| TOTAL (E) BUILDING HABITABLE FLOOR AREA      | 1,947 S.F.   |
| PROPOSED BUILDING FOOT PRINT                 | 1,230 S.F.   |
| PROPOSED 1ST FLOOR AREA                      | 933 S.F.   |
| PROPOSED GARAGE                              | 297 S.F.   |
| PROPOSED 2ND FLOOR AREA                      | 1,213 S.F.   |
| PROPOSED 3RD FLOOR AREA                      | 815 S.F.   |
| PROPOSED ROOF DECK                           | 346 S.F.   |
| TOTAL PROPOSED BUILDING HABITABLE FLOOR AREA | 2,961 S.F.   |
| DRAWING INDEX                                |  |
| A1.0   | SITE PLAN AND BUILDING INFORMATION                 |
| A2.0   | EXISTING AND PROPOSED 1ST FLOOR PLANS              |
| A2.1   | EXISTING AND PROPOSED 2ND FLOOR PLANS              |
| A2.2   | PROPOSED 3RD FLOOR PLAN                            |
| A2.3   | EXISTING AND PROPOSED ROOF PLAN                    |
| A3.0   | EXISTING, PROPOSED NORTH ELEVATIONS<br>AND DIAGRAM |

- LEGEND**
- |   |                   |
|---|-------------------|
|  | PROPERTY LINE     |
|  | EXISTING PROPERTY |
|  | NEW ADDITION      |

OWNER(S): TARA ZOROVICH AND  
SUZANNE GLEESON  
153 CLIPPER ST  
SAN FRANCISCO, CA 94114

STRUCTURAL HCG ASSOCIATES  
ENGINEER: (415) 722 9290  
1 EMBARCADERO CENTER  
SUITE 500  
SAN FRANCISCO, CA. 94111

- INTERIOR REMODEL, ALL FLOORS.
- INFILL PORTION EXISTING SIDE YARD.
- THIRD STORY VERTICAL ADDITION WITH ROOF DECK.

FIRE SPRINKLER SYSTEM UNDER SEPARATE PERMIT, NFPA 13R

ANGLE	HB	HOSE BIB
AT	HDWD	HARDWOOD
CENTERLINE	HM	HOLLOW METAL
DIAMETER	HORIZ	HORIZONTAL
PERPENDICULAR	HR	HOUR
POUND OR NUMBER		
PLUS/MINUS	INSUL	INSULATION
	INT	INTERIOR
ABOVE FINISH FLOOR		
ALUMINUM	LAM	LAMINATE
APPROVED	LAV	LAVATORY
ARCHITECTURAL	LT	LIGHT
BUILDING	MAX	MAXIMUM
BOTTOM OF	MFR	MANUFACTURER
	MIN	MINIMUM
CEILING	MTD	MOUNTED
CLEAR		
	(N)	NEW
COUNTER	NTS	NOT TO SCALE
COLUMN		
CONCRETE		
CONTINUOUS	OSB	ORIENTED STRAND BOARD
DOUBLE	P-LAM	PLASTIC LAMINATE
DETAIL	PLY	PLYWOOD
DIAMETER	PT	POINT
DOWN		
DOOR	R	RADIUS
DOWNSPOUT	REF	REFRIGERATOR
DRAWING	REQ	REQUIRED
	RM	ROOM
	R O	ROUGH OPENING
EXISTING		
EACH	S	SOUTH
ELECTRICAL	SCHED	SCHEDULE
EQUAL	SIM	SIMILAR
EXTERIOR	SPEC	SPECIFICATION
FIRE ALARM	SQ	SQUARE
FOUNDATION	STL	STEEL
FINISH	STOR	STORAGE
FLOOR	SSD	SEE STRUCTURAL
FLOURESCENT	SL	SKYLIGHT
FOUNDATION	TV	TELEVISION
FACE OF STUD	TYP	TYPICAL
FEET OR FOOT		
FOOTING		
FURRING	UON	UNLESS
		OTHERWISE NOTED
GALVANIZED	VIF	VERIFY IN FIELD
GALVANIZED STEEL	W	WEST
GYPSUM BOARD	W/	WITH
	WH	WATER HEATER
	WD	WOOD



## ADDITION AND ALTERATIONS

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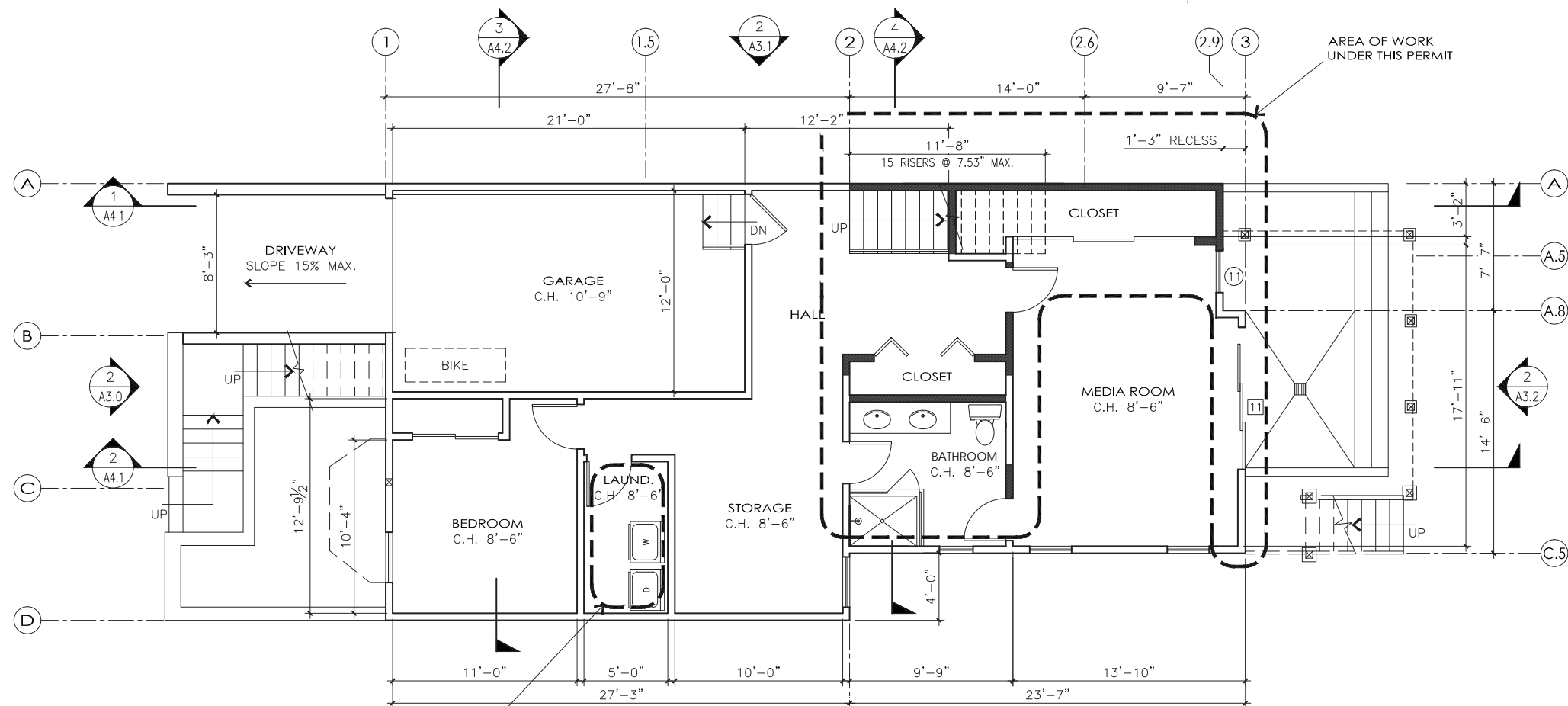
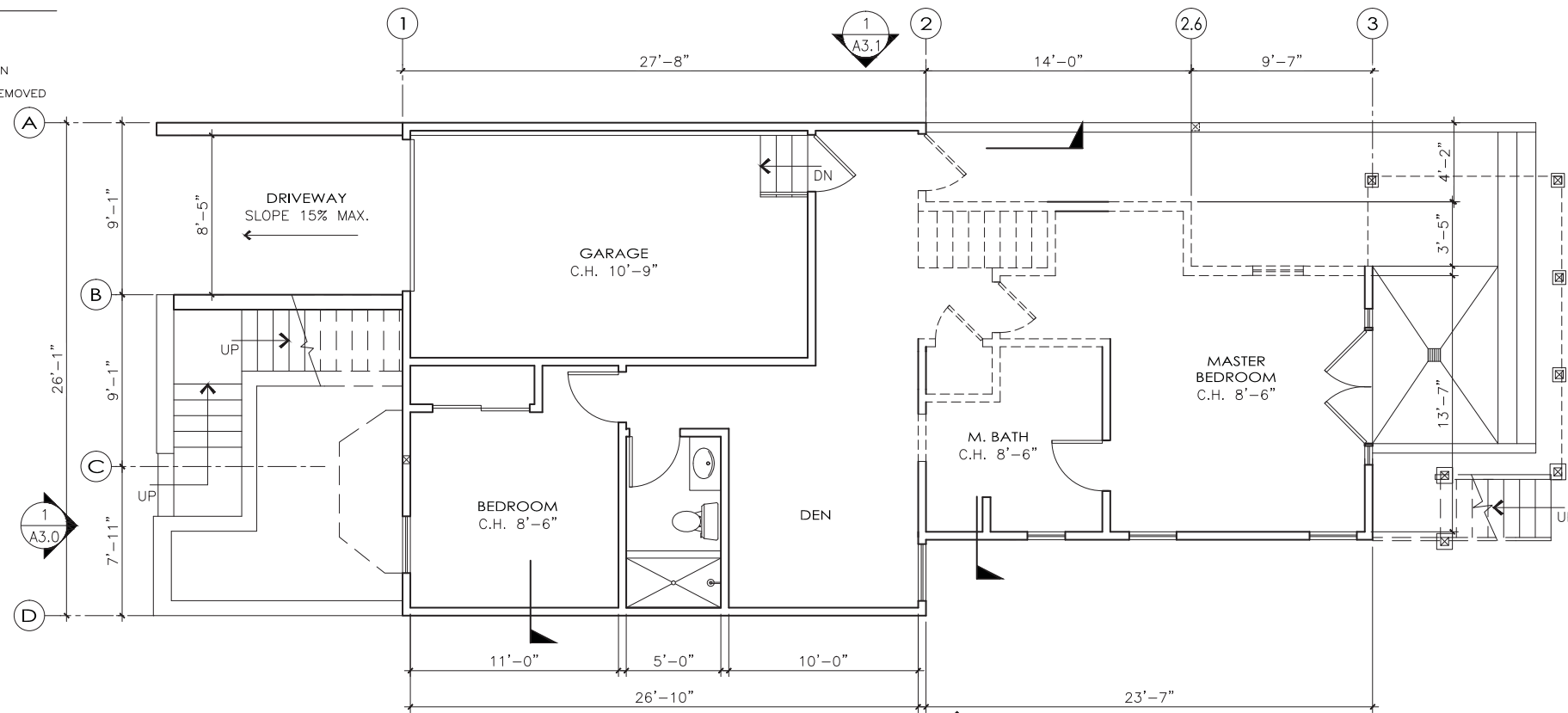
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DATE:

## SITE PLAN AND BUILDING INFORMATION

# A1.0



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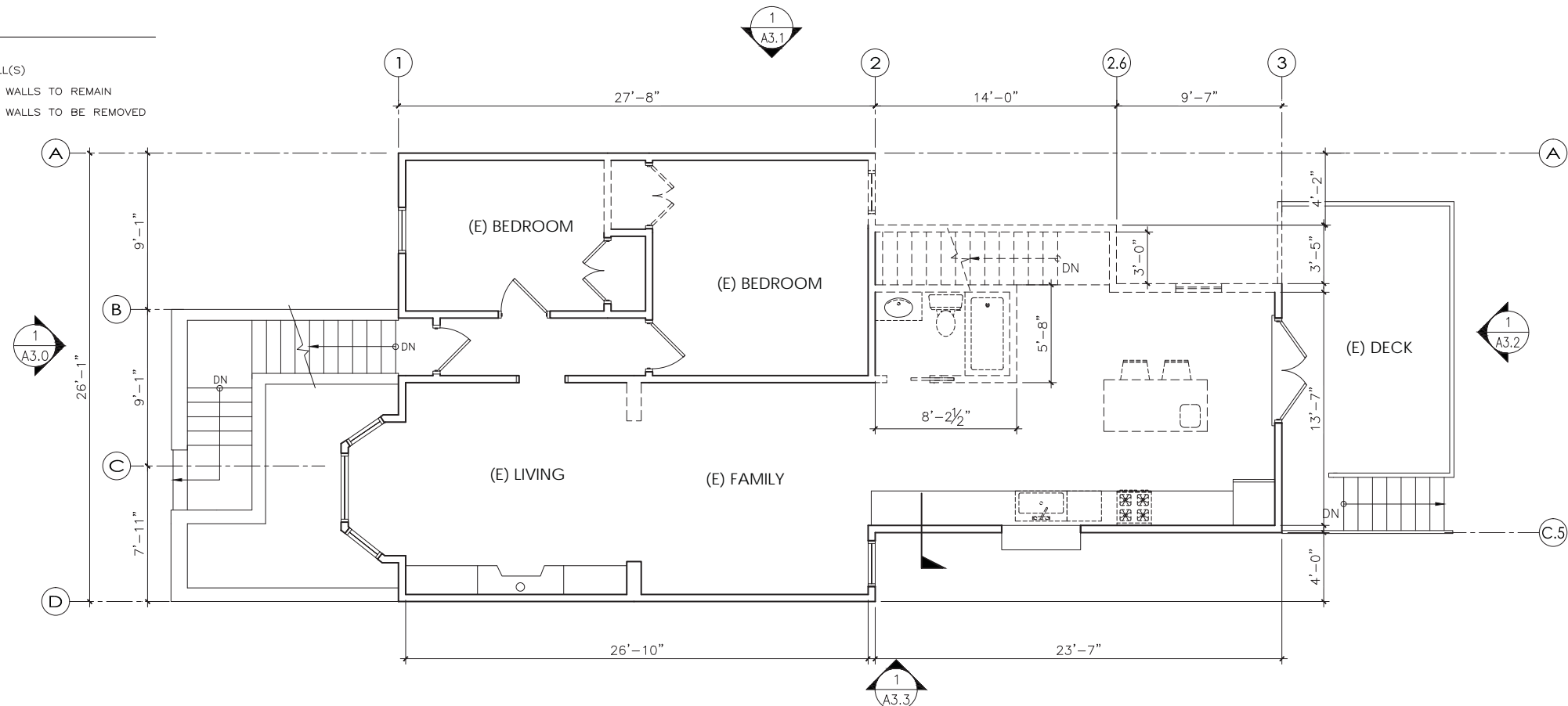
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## A2.0

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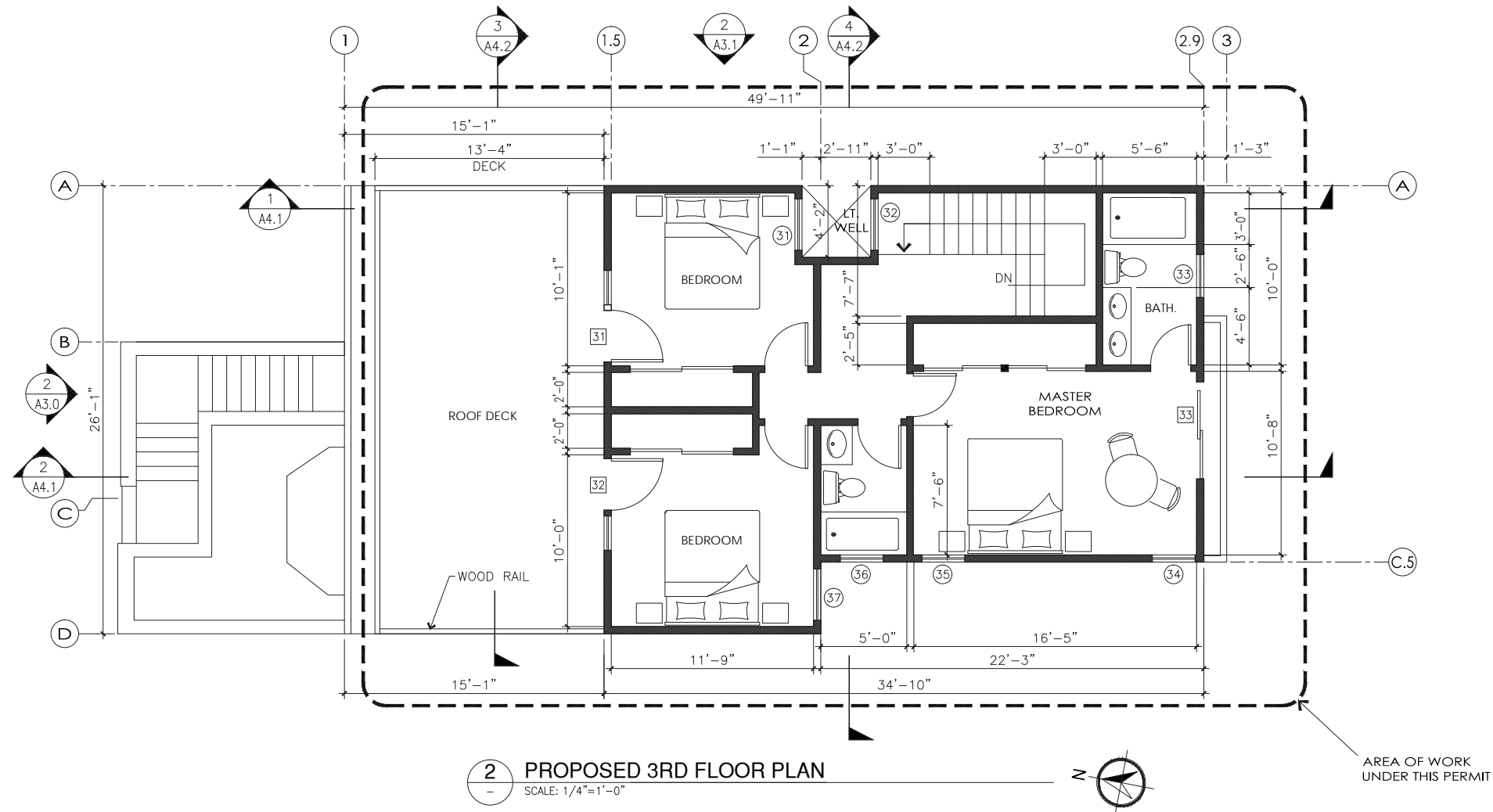
EXISTING AND  
PROPOSED 2ND  
FLOOR PLANS

## A2.1



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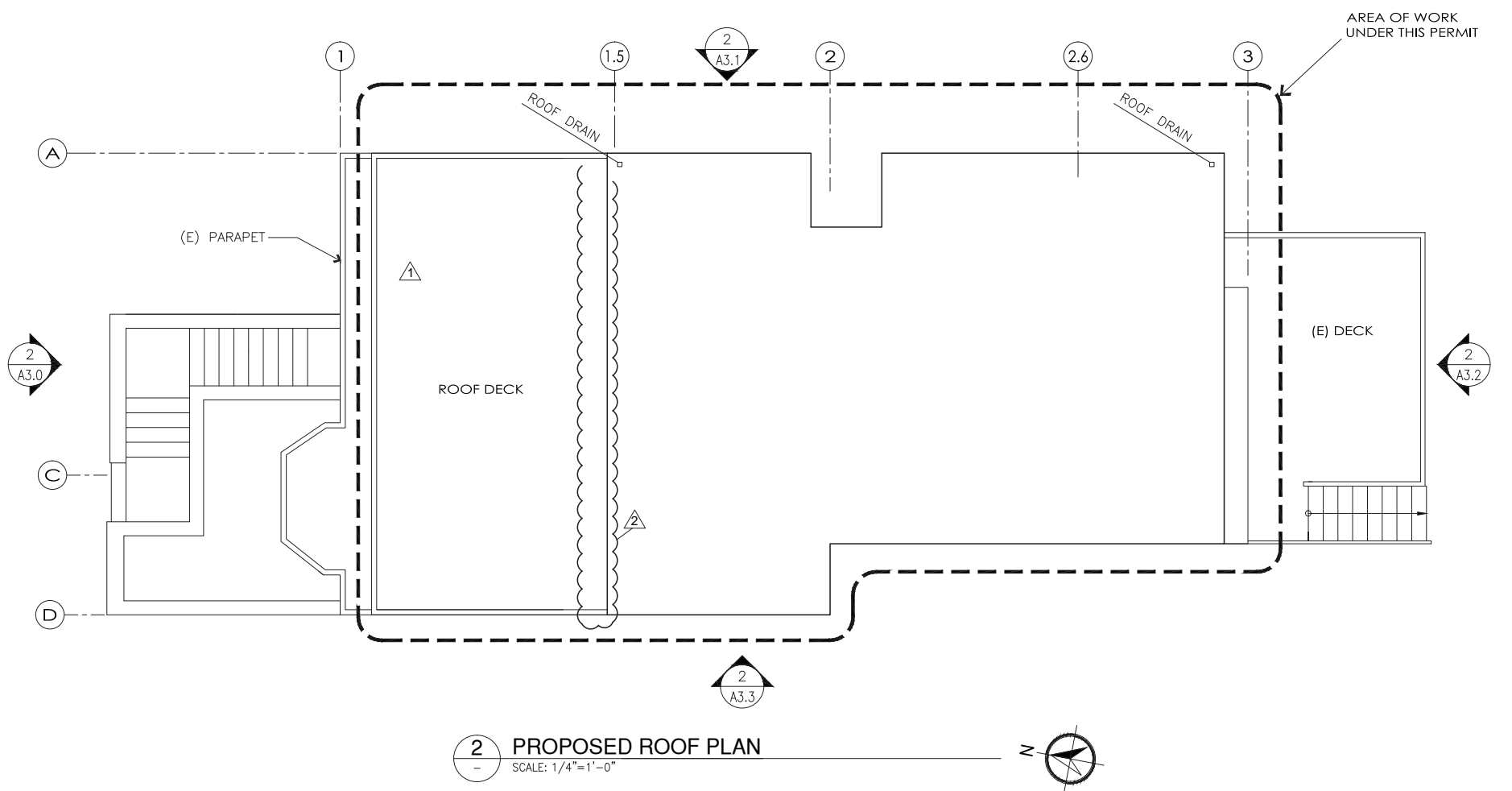
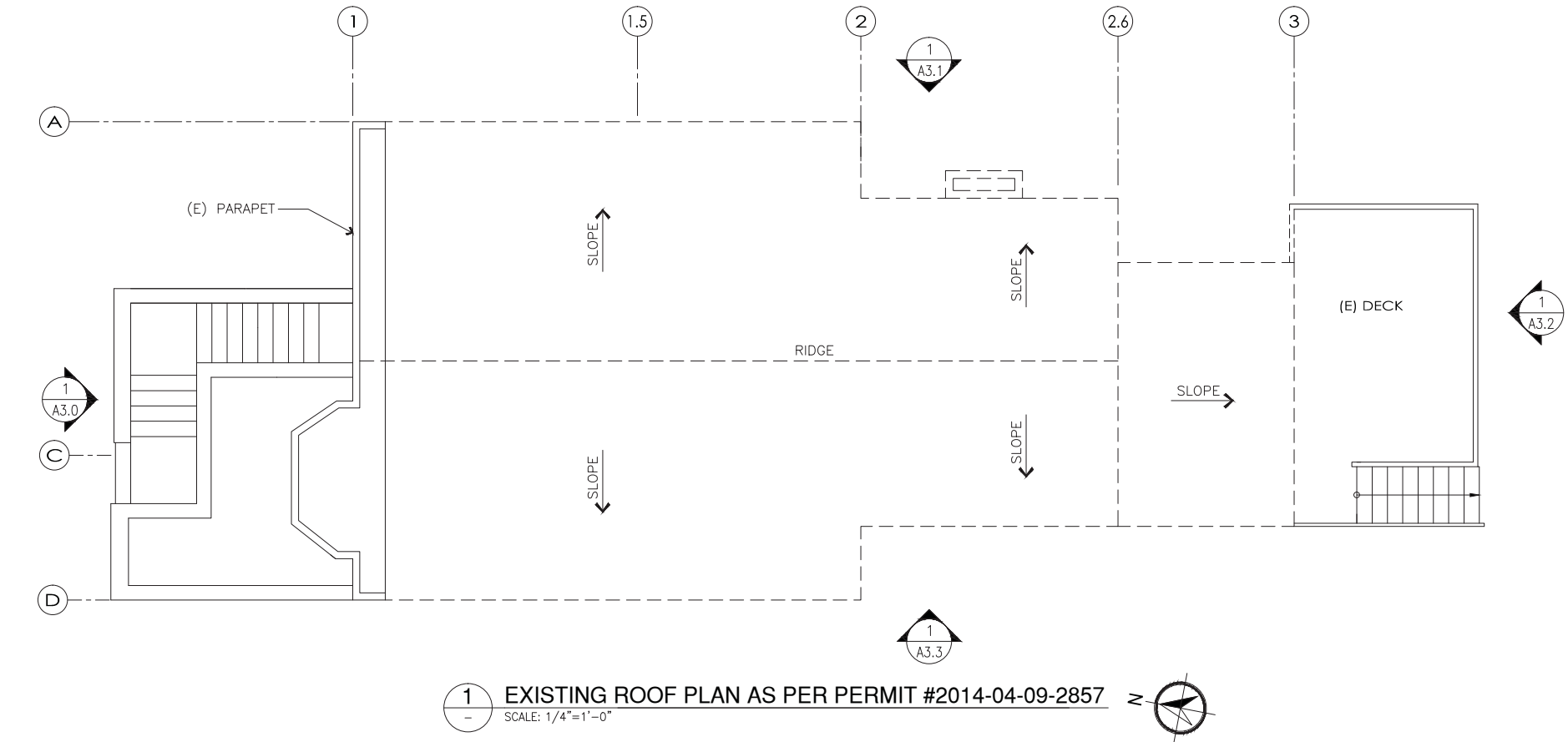
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### PROPOSED 3RD FLOOR PLAN



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(415) 722-9290



Stamp

**ADDITION AND  
ALTERATIONS**

153 Clipper Street  
San Francisco, CA 94114

Issue	Description	Date
1	HEIGHTS REVISION	9-28-2016
2	REMOVE OVERHANG PER CITY PLAN REVIEW	11-11-2016

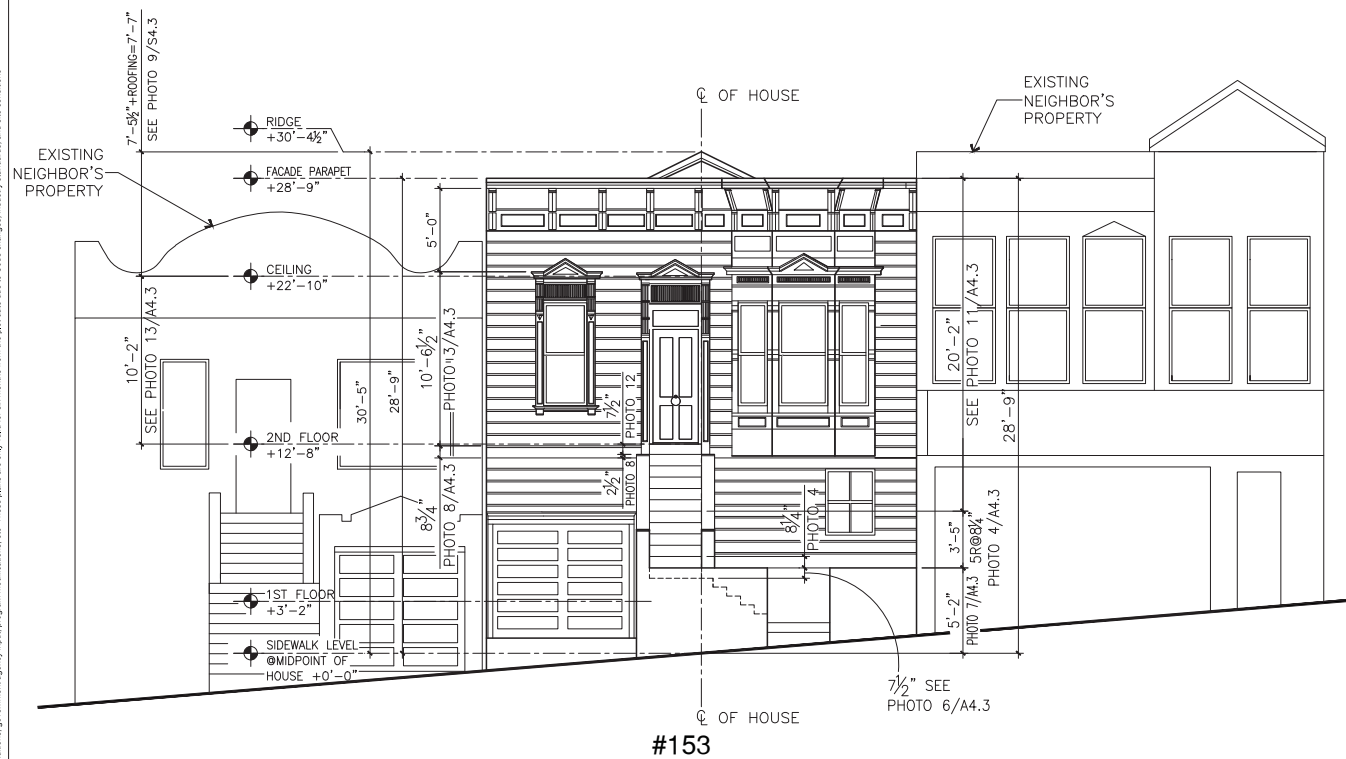
DRAWN BY: L.F.  
CHECKED BY: D.W.H.  
DATE: 7/13/2016

OWNER APPROVAL:  
DATE:

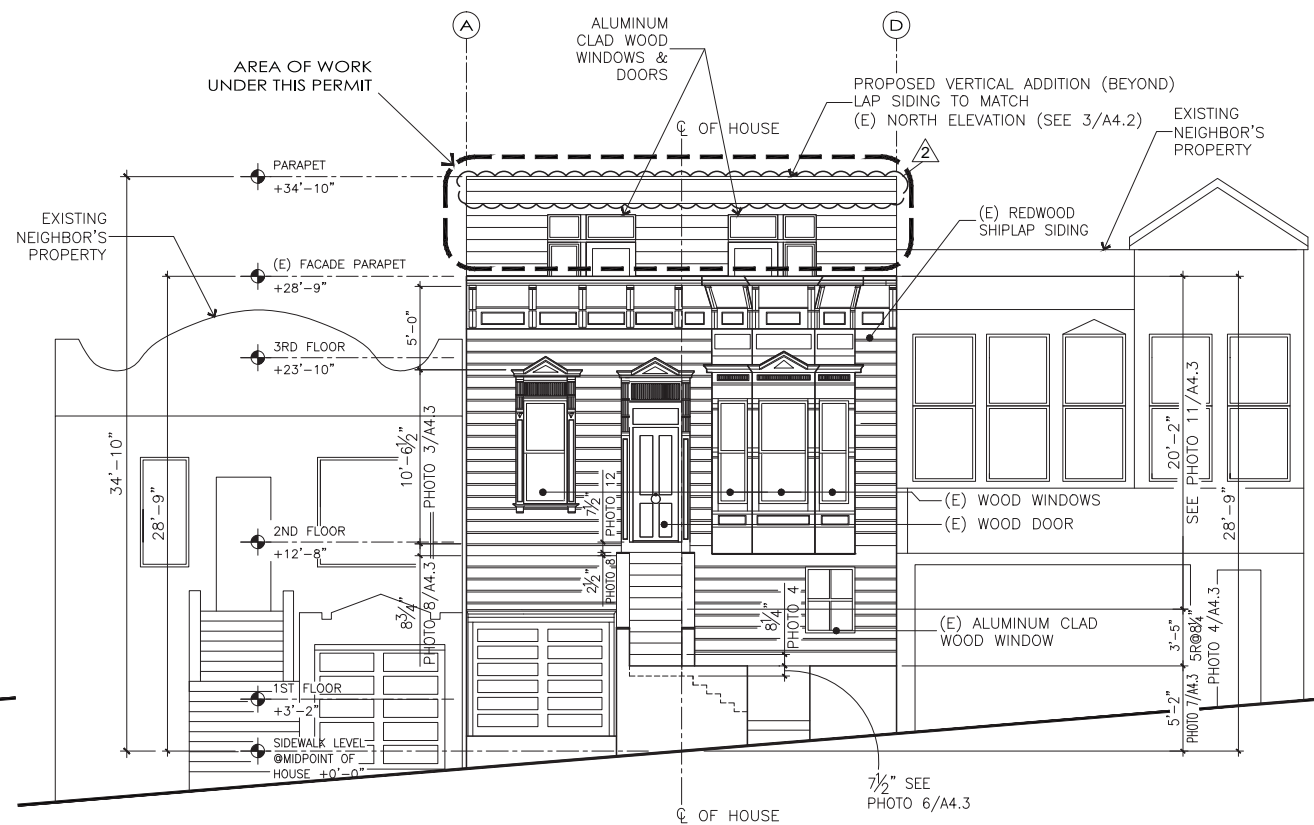
**EXISTING AND  
PROPOSED ROOF  
PLAN**



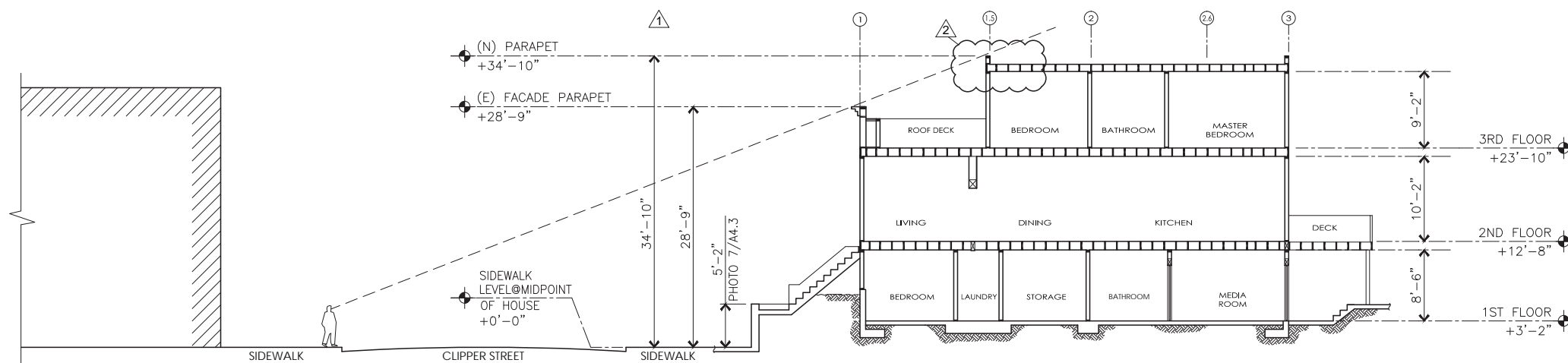
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1 EXISTING NORTH (FRONT) ELEVATION AS PER PERMIT #2014-04-09-2857  
- SCALE: 3/16"=1'-0"



2 PROPOSED NORTH (FRONT) ELEVATION  
- SCALE: 3/16"=1'-0"



3 PROPOSED DIAGRAM  
- SCALE: 1/8"=1'-0"



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## ADDITION AND ALTERATIONS

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San Francisco, CA 94114

[illegible]

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CHECKED BY: D.W.H.  
DATE: 7/13/2016

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DATE:

EXISTING,  
PROPOSED NORTH  
ELEVATIONS AND  
DIAGRAM

### A3.0



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[ ]



SCALE:  $3/16"=1'-0'$



SCALE:  $3/16"=1'-0"$



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San Francisco, CA 94114

DRAWN BY: L.F.  
CHECKED BY: D.W.H.  
DATE: 7/13/2016

OWNER APPROVAL:  
DATE:

### A3.1

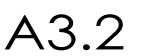


[-----] MATERIAL TO BE REMOVED

OUTLINE OF  
EXISTING  
NEIGHBOR'S  
PROPERTY

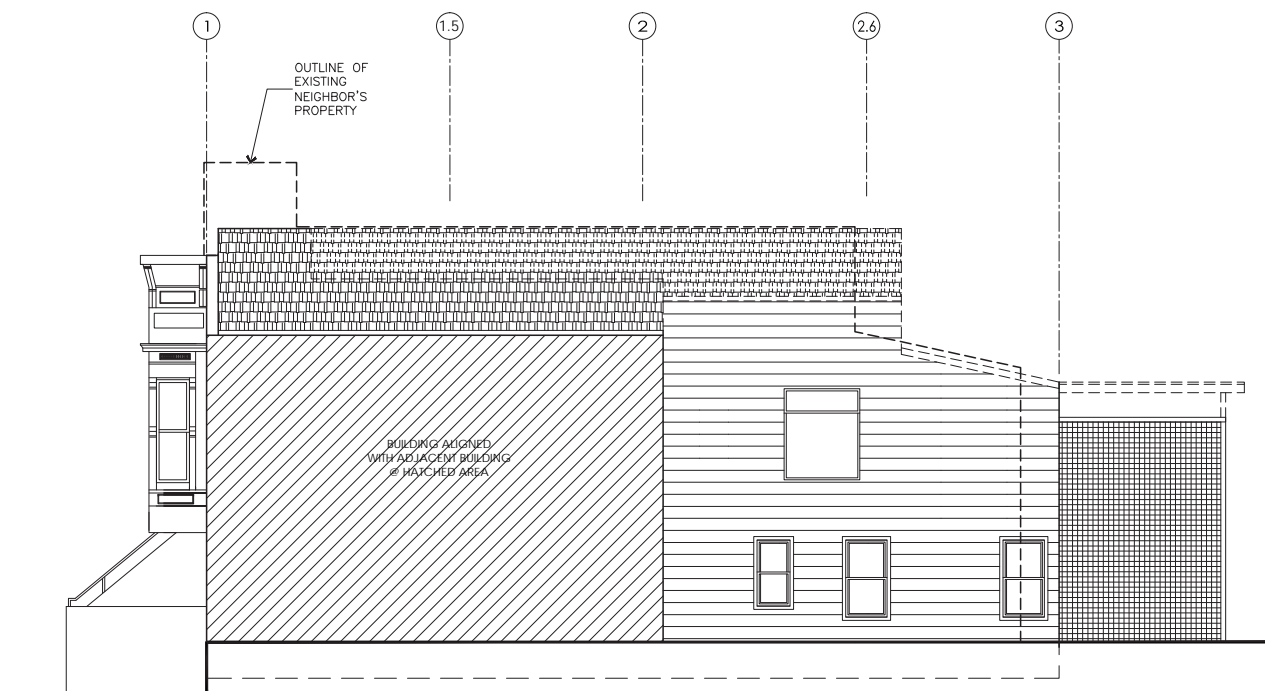
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SCALE: 1/4"=1'-0"

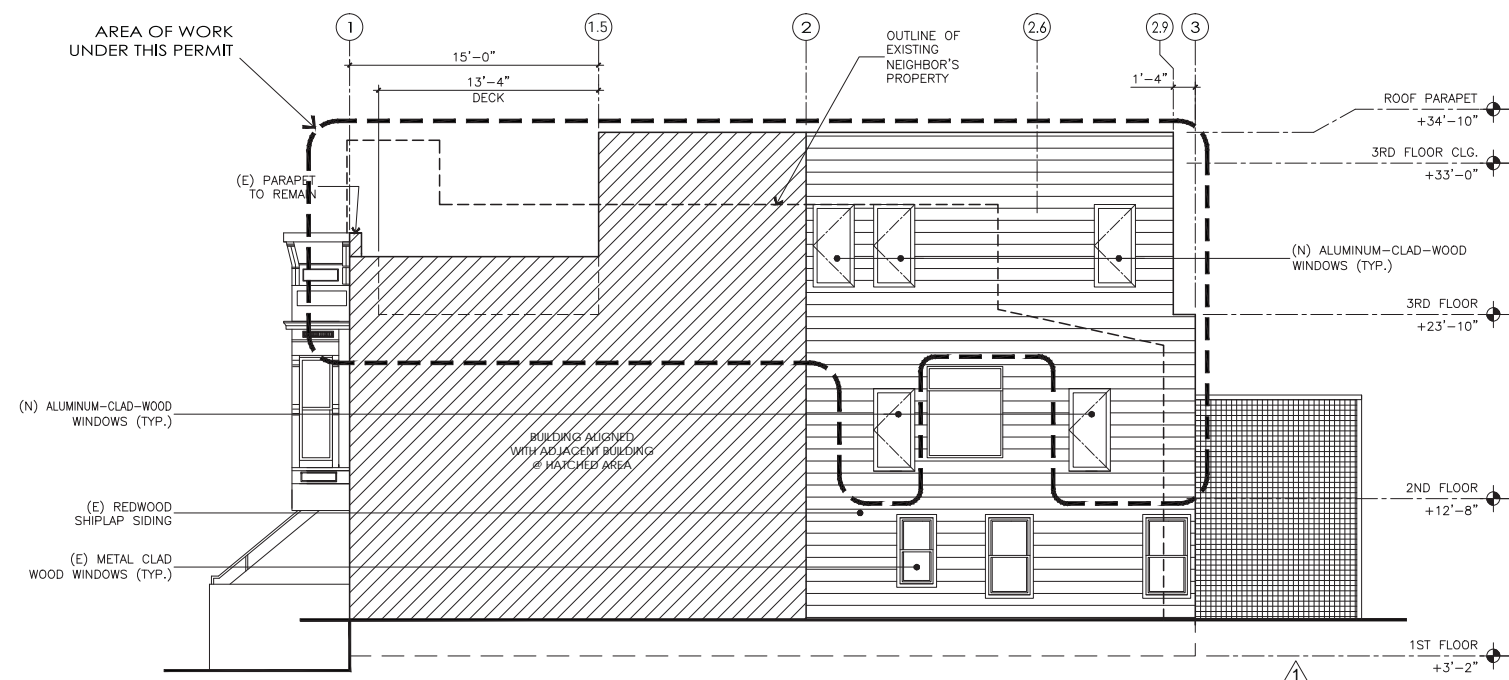




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1 EXISTING WEST ELEVATION AS PER PERMIT #2014-04-09-2857  
- SCALE: 3/16"=1'-0"



2 PROPOSED WEST ELEVATION  
SCALE: 3/16"=1'-0"



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## ADDITION AND ALTERATIONS

153 Clipper Street  
San Francisco, CA 94114

[illegible]

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CHECKED BY: D.W.H.  
DATE: 7/13/2016

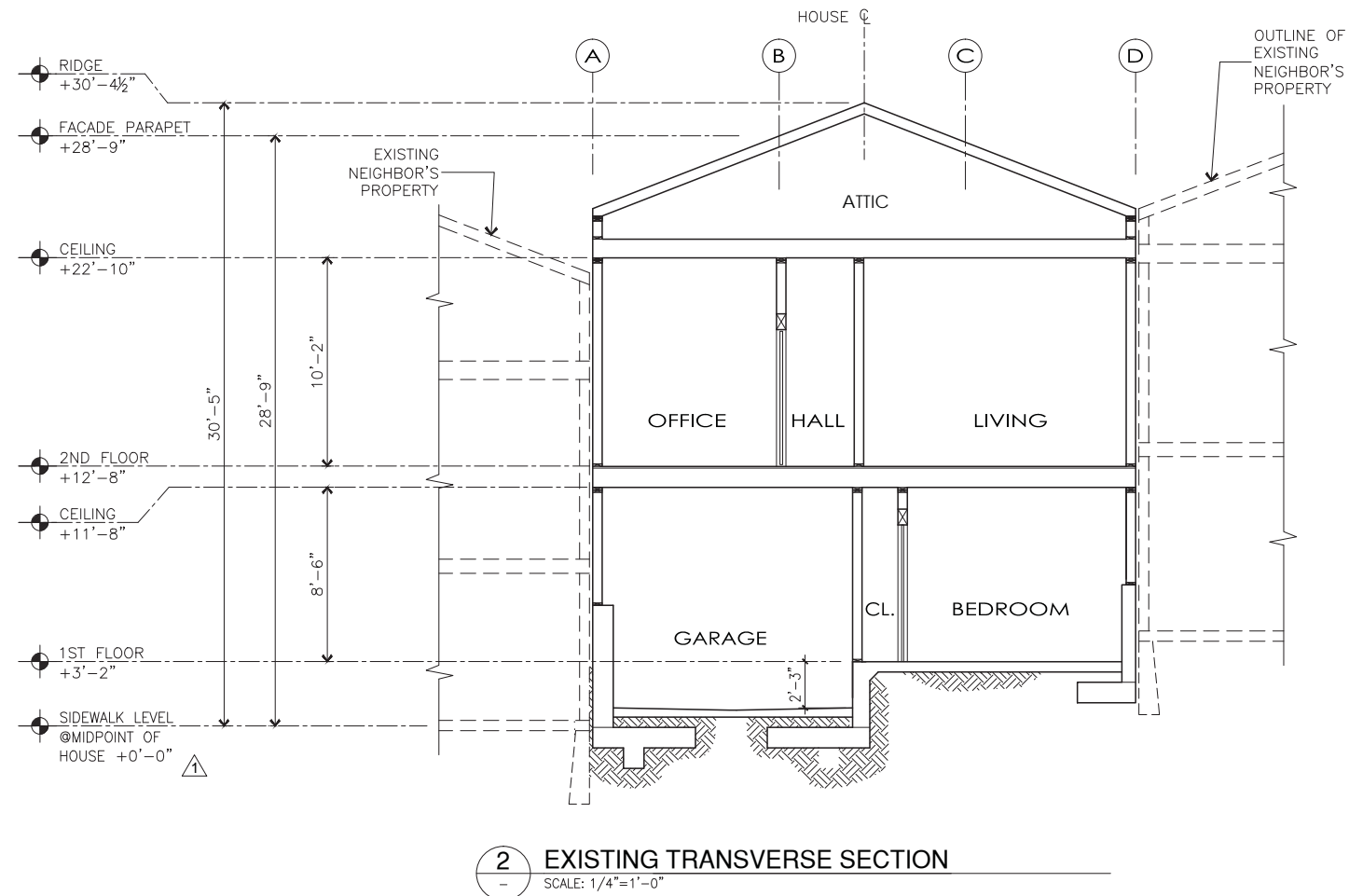
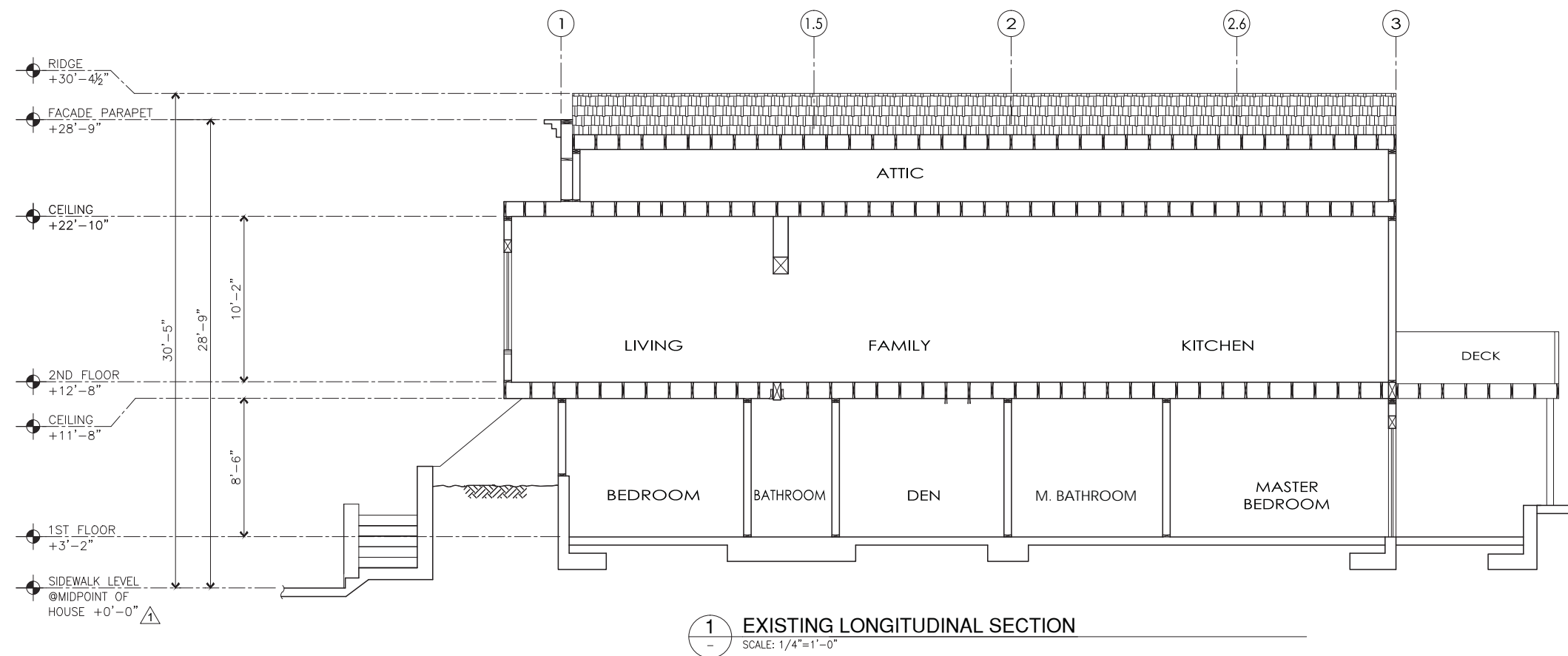
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DATE:

EXISTING AND  
PROPOSED WEST  
ELEVATIONS

### A3.3



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## ADDITION AND ALTERATIONS

153 Clipper Street  
San Francisco, CA 94114

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DATE: 7/13/2016

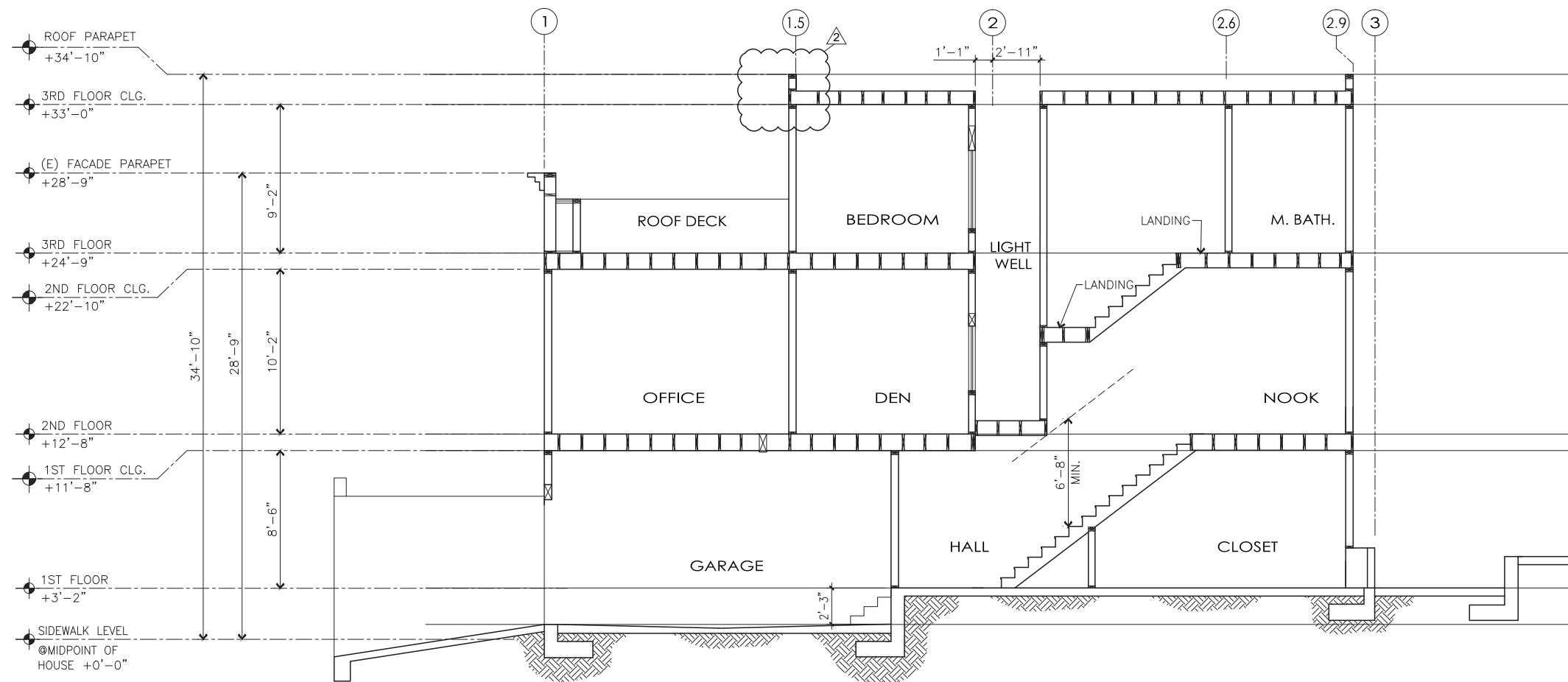
OWNER APPROVAL:  
DATE:

EXISTING  
LONGITUDINAL AND  
TRANSVERSE  
SECTIONS

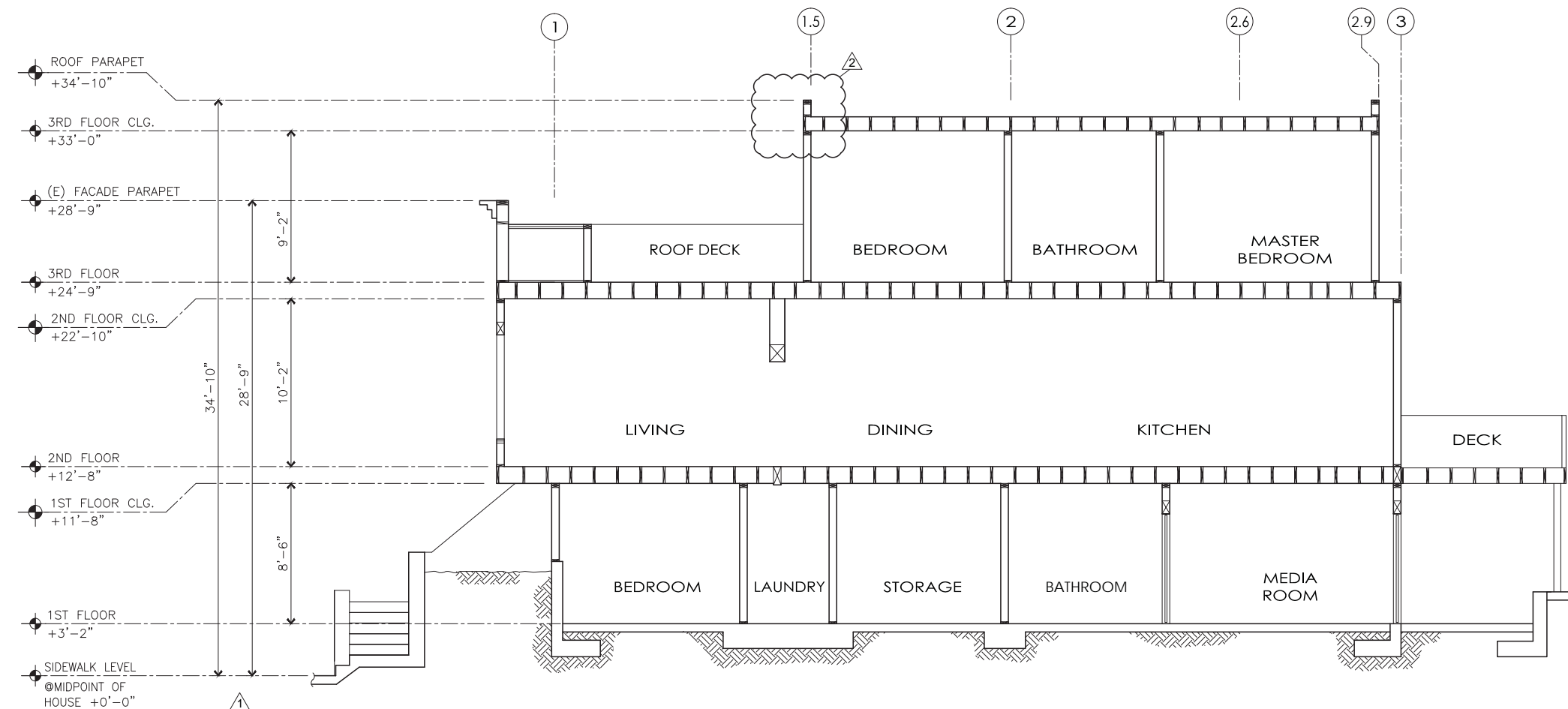
## A4.0



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1 PROPOSED LONGITUDINAL SECTION  
- SCALE: 1/4" = 1'-0"



2 PROPOSED LONGITUDINAL SECTION  
- SCALE: 1/4" = 1'-0"



**HCG ASSOCIATES, INC.**  
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## ADDITION AND ALTERATIONS

153 Clipper Street  
San Francisco, CA 94114

[illegible]

DRAWN BY: L.F.  
CHECKED BY: D.W.H.  
DATE: 7/13/2016

OWNER APPROVAL:  
DATE:

PROPOSED  
LONGITUDINAL  
SECTIONS

### A4.1



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San Francisco, CA 94114

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DATE: 7/13/2016

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DATE:

### PROPOSED TRANSVERSE SECTIONS

## A4.2



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PHOTO 1



PHOTO 2



PHOTO 3

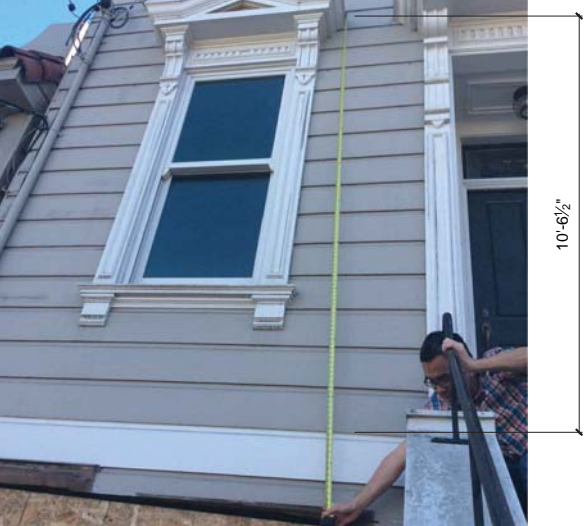


PHOTO 4



PHOTO 5



PHOTO 6

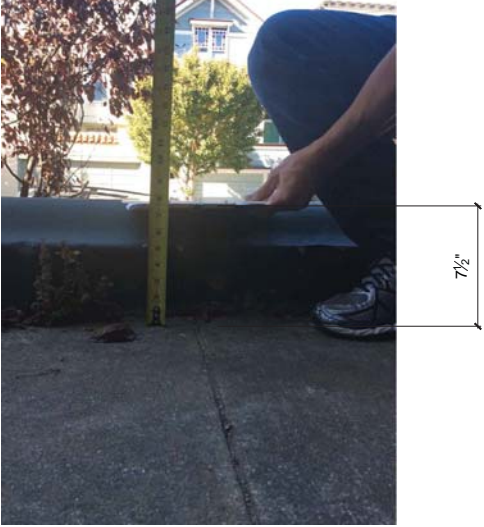


PHOTO 7

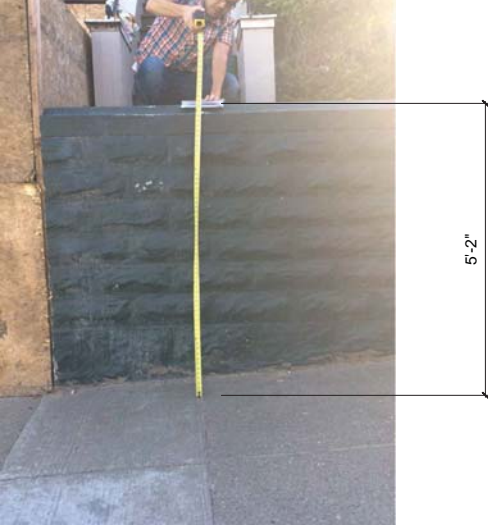


PHOTO 8



PHOTO 9



PHOTO 10

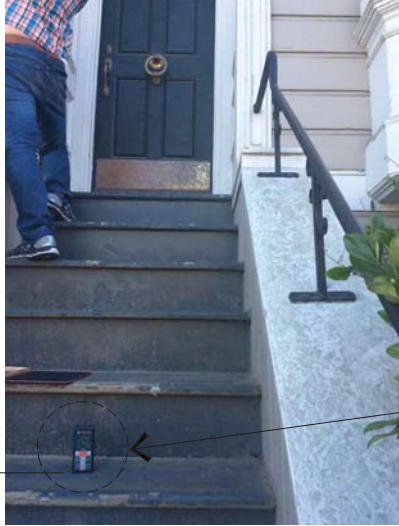


PHOTO 11



PHOTO 12



PHOTO 13



FOR REFERENCE SEE EXISTING NORTH ELEVATION ON SHEET A3.0



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ADDITION AND  
ALTERATIONS

153 Clipper Street  
San Francisco, CA 94114

Issue	Description	Date
1	HEIGHTS REVISION	9-28-2016

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DATE: 7/13/2016

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PHOTOS



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MARK	MANUFACTURE	TYPE	WxH	OPERATION	MATERIAL	GLASS	FINISH	DETAIL	HARDWARE	LIMITERS	NOTES/REMARKS
⑪	MARVIN	CONTEMPORARY	2'-6"x5'-0"	CASEMENT	ALUMINUM-CLAD-WOOD	-	-	2/A5.1	-	-	-
⑫	MARVIN	CONTEMPORARY	2'-6"x5'-0"	CASEMENT	ALUMINUM-CLAD-WOOD	-	-	2/A5.1	-	-	-
⑬	MARVIN	CONTEMPORARY	2'-6"x5'-0"	CASEMENT	ALUMINUM-CLAD-WOOD	-	-	2/A5.1	-	-	-
⑭	MARVIN	CONTEMPORARY	2'-6"x5'-0"	CASEMENT	ALUMINUM-CLAD-WOOD	-	-	2/A5.1	-	-	-
⑮	MARVIN	CONTEMPORARY	2'-6"x5'-0"	AWNING	ALUMINUM-CLAD-WOOD	TRANSLUCENT	-	2/A5.1	-	-	-
⑯	MARVIN	CONTEMPORARY	2'-6"x5'-0"	CASEMENT	ALUMINUM-CLAD-WOOD	-	-	2/A5.1	-	-	-
⑰	MARVIN	CONTEMPORARY	2'-6"x5'-0"	CASEMENT	ALUMINUM-CLAD-WOOD	-	-	2/A5.1	-	YES	-
⑱	MARVIN	CONTEMPORARY	2'-6"x5'-0"	AWNING	ALUMINUM-CLAD-WOOD	TRANSLUCENT	-	2/A5.1	-	-	-
⑲	MARVIN	CONTEMPORARY	2'-6"x5'-0"	CASEMENT	ALUMINUM-CLAD-WOOD	-	-	2/A5.1	-	-	-
⑳	MARVIN	CONTEMPORARY	2'-6"x5'-0"	CASEMENT	ALUMINUM-CLAD-WOOD	-	-	2/A5.1	-	-	-
㉑	MARVIN	CONTEMPORARY	2'-6"x5'-0"	CASEMENT	ALUMINUM-CLAD-WOOD	TEMPERED	-	2/A5.1	-	-	-
㉒	MARVIN	CONTEMPORARY	2'-6"x5'-0"	CASEMENT	ALUMINUM-CLAD-WOOD	TRANSLUCENT	-	2/A5.1	-	YES	-
㉓	MARVIN	CONTEMPORARY	2'-6"x5'-0"	CASEMENT	ALUMINUM-CLAD-WOOD	-	-	2/A5.1	-	YES	-

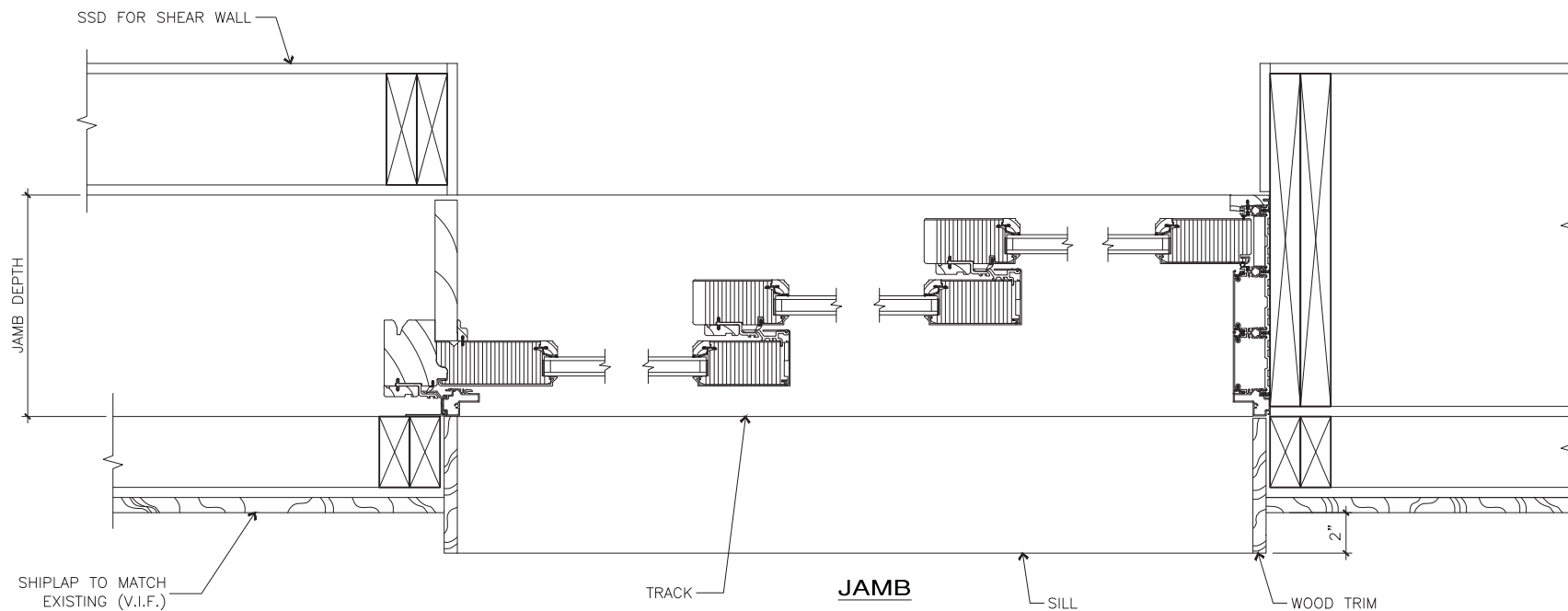
MARK	MANUFACTURE	TYPE	WxH	OPERATION	MATERIAL	GLASS	FINISH	DETAIL	HARDWARE	LIMITERS	NOTES/REMARKS
[11]	MARVIN	SLIDING PATIO DOOR	8'-5"x8'-0"	OMX SLIDING	ALUMINUM-CLAD-WOOD	-	-	2/A5.1 SIM.	-	-	-
[21]	MARVIN	MULTI-SLIDE SCENIC	8'-5"x10'-0"	PXXX	ALUMINUM-CLAD-WOOD	-	-	1/A5.1	-	-	-
[31]	MARVIN	CONTEMPORARY	5'-4"x8'-8"	SWINGING	ALUMINUM-CLAD-WOOD	-	-	1/A5.0, 2A5.0, 3/A5.0 OPP HAND	-	-	-
[32]	MARVIN	CONTEMPORARY	5'-4"x8'-8"	SWINGING	ALUMINUM-CLAD-WOOD	-	-	1/A5.0, 2A5.0, 3/A5.0	-	-	SEE ELEVATION FOR ACCOMPANYING WINDOWS
[33]	MARVIN	SLIDING PATIO DOOR	5'-7"x8'-0"	OX SLIDING	ALUMINUM-CLAD-WOOD	-	-	2/A5.1 SIM.	-	-	-



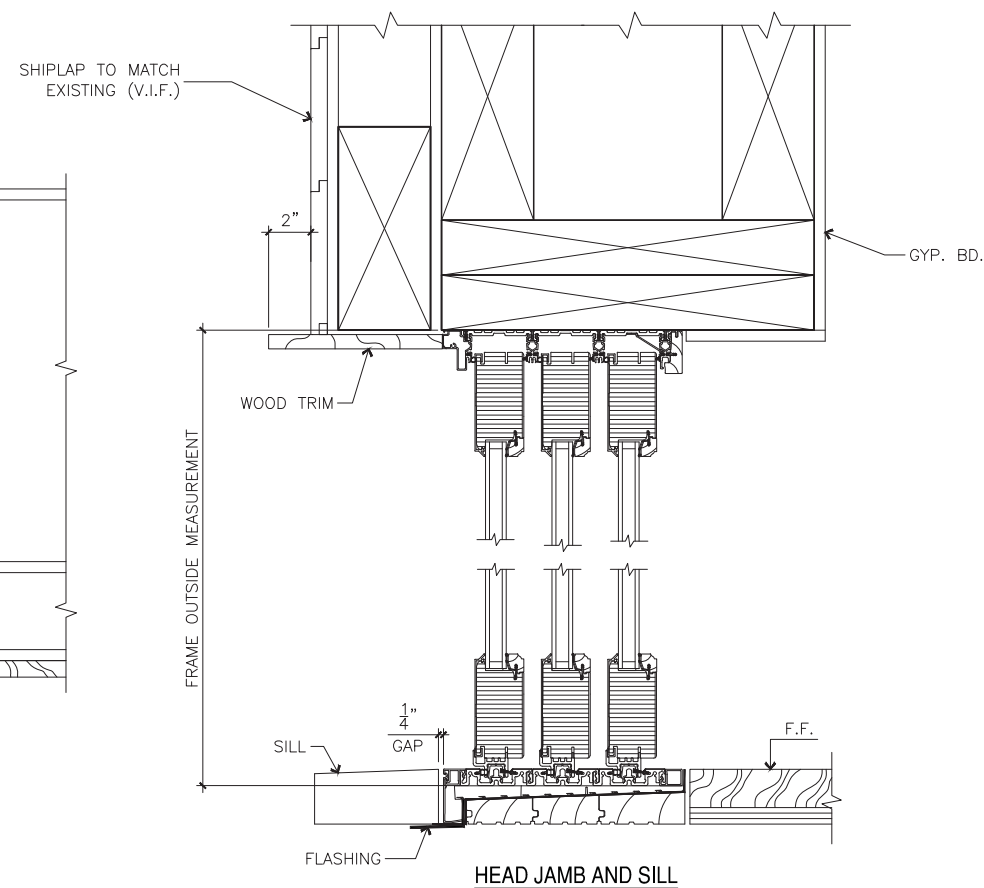
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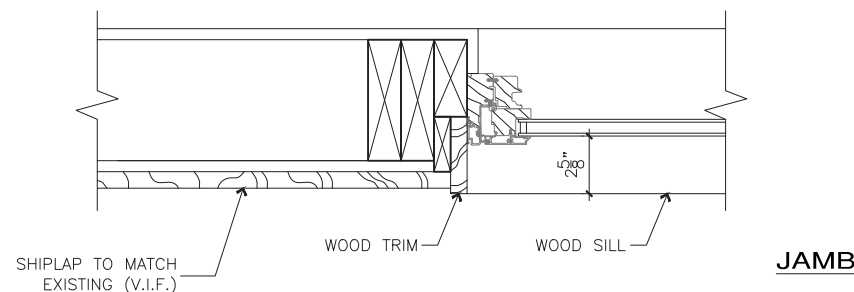
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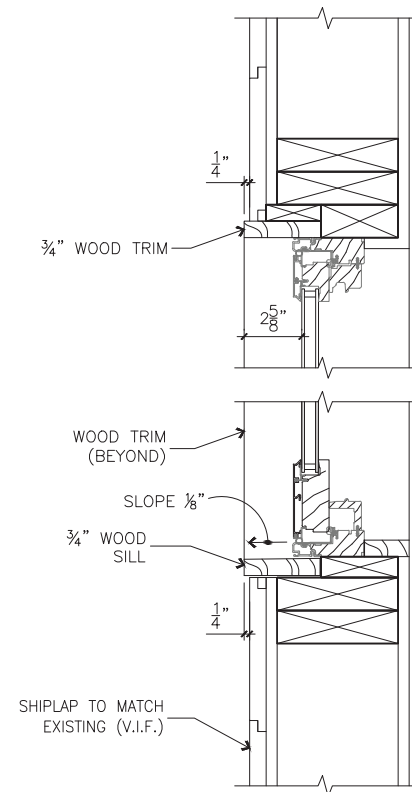
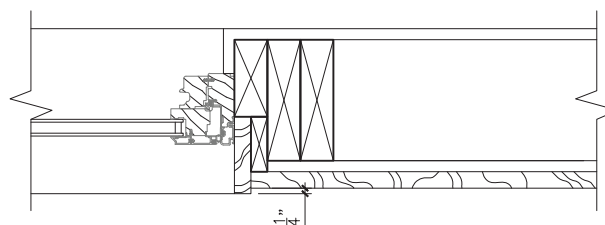
1 CLAD ULTIMATE MULTI-SLIDE POCKET DOOR BY "MARVIN"  
- SCALE: 3"=1'-0"



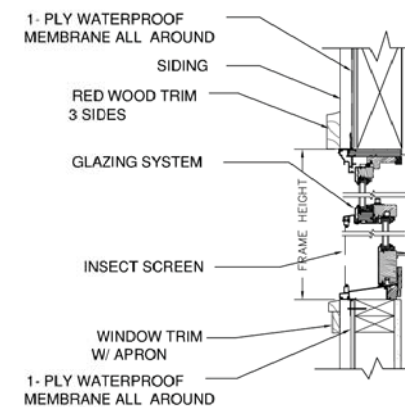
### HEAD JAMB AND SILL



JAMB



### HEAD JAMB AND SILL



### 3 WINDOW SECTION (FOR REFERENCE ONLY)

NOTE  
WINDOW AND DOOR DETAILS FOR  
DESIGN INTENT ONLY. WATERPROOFING  
IS DESIGN-BUILD BY CONTRACTOR

2 CLAD CONTEMPORARY CASEMENT BY "MARVIN"  
- SCALE: 3"=1'-0"



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## ADDITION AND ALTERATIONS

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CHECKED BY: D.W.H.  
DATE: 7/13/2016

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DATE:

## WINDOWS DETAILS