



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis

HEARING DATE: DECEMBER 7, 2017

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: November 15, 2017
Case No.: **2015-018225DRP**
Project Address: **171 JUDSON AVENUE**
Permit Application: 2015.11.09.2182
Zoning: RH-1 [Residential House, Single Family]
40-X Height and Bulk District
Block/Lot: 3182/032
Project Sponsor: Suheil Shatara
26 Lakeview Drive
Daly City, CA 94015
Staff Contact: Sylvia Jimenez – (415) 575-9187
Sylvia.Jimenez@sfgov.org
Recommendation: **Do not take DR and approve as proposed**

PROJECT DESCRIPTION

The proposal includes a renovation and addition to an existing two-story, single-family residential building. The project consists of legalizing and constructing a rear horizontal addition at the first and second floors as well as a third story vertical addition. The proposal also includes new roof decks at the front and rear of the residential building. The proposed rear addition has a depth of approximately 17 feet 7 inches and width of 20 feet, and has been redesigned to have a five foot setback along the east (right) side and an approximately 35 foot rear setback. The overall height of the building will be approximately 27 feet 2 inches. The proposed roof decks are proposed to have stainless steel cable railing.

SITE DESCRIPTION AND PRESENT USE

The project is on the south side of Judson Avenue, between Edna Street and Circular Avenue, Block 3182, Lot 032 and located within the RH-1 (Residential House, Single-Family) Zoning District with 40-X height and Bulk designation. The 2,812.5 sq. ft. lot has 25 feet of frontage, a depth of 112 feet 6 inches and is developed with an existing two-story single-family residence. A two-story rear addition was constructed without the benefit of a permit and is currently proposed to be modified and legalized through this building permit application.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is located in the Outer Mission neighborhood, District 7 and within the RH-1 Zoning District. Parcels within the immediate vicinity consist of residential one and two-story single-family dwellings of varied design and construction dates.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATES	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	March 13, 2017- April 12, 2017	April 12, 2017	August 24, 2017	134 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	August 14, 2017	August 14, 2017	10 days
Mailed Notice	10 days	August 14, 2017	August 14, 2017	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbors	-	1 (DR requestor)	-
Neighbors on the block or directly across the street	-	-	-
Other neighbors	-	-	-

DR REQUESTOR

Bryan Cutler, 58 Marston Avenue – rear of subject property, 171 Judson Avenue

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Application*, dated April 12, 2017

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*, dated August 11, 2017

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e)

Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Team (RDT) reviewed the project following the submittal of the Request for Discretionary Review and found that the proposed project meets the standards of the Residential Design Guidelines (RDGs).

Under the Commission’s pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.

RECOMMENDATION:	Do not take DR and approve project as proposed
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Attachments:

Project Plans
Site Photographs
3D Renderings
Parcel Map
Sanborn Map
Site Context
311 Notice
CEQA Categorical Exemption Determination
Exhibit A: DR Application
Exhibit B: Response to DR Application

SHATARA
ARCHITECTURE
INC.

890 7TH ST.
SAN FRANCISCO
CA 94107

TEL (415) 512-7566
suhel@shataarch.com

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.
THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY PROJECTS OR PURPOSES WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF SHATARA ARCHITECTURE INC.

PROJECT
RESIDENTIAL REMODEL

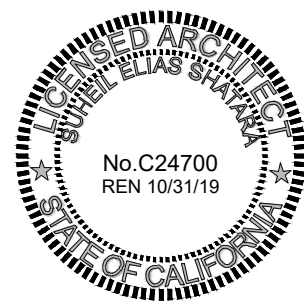
ADDRESS
**171 JUDSON AVE
SAN FRANCISCO, CA**

**BLOCK: 3182
LOT: 032**

**PROJECT DIRECTORY
OWNER**

ARCHITECT
SHATARA ARCHITETURE INC.
890 7TH STREET
SAN FRANCISCO, CA 94107
TEL: 415-512-7566
CONTACT: SUHEIL SHATARA

ISSUED	DATE	NO.
REVISION	12-19-16	
REVISION	08-11-17	
REVISION	11-20-17	



SHEET DESCRIPTION
**ADMIN.
BULLETIN -057**

A0.01

2001 SAN FRANCISCO BUILDING CODE AB-057

ADMINISTRATIVE BULLETIN

NO. AB-057

DATE : July 19, 2004

SUBJECT : Plan Review and Permit Process

TITLE : Local Equivalency for Approval of Roof Hatches in Lieu of Stairway Penthouses in Designated Buildings

PURPOSE : The purpose of this Administrative Bulletin is to provide standards and procedures for the application, case-by-case review and approval of requests for a modification based on Local Equivalency to allow the use of roof hatches as alternates to stairway penthouses in R-3 buildings where the stairway access to the roof does not strictly comply with the provisions of Section 1003.3.3.1.1 of the San Francisco Building Code.

REFERENCES : San Francisco Building Code
Section 104.2.1 General, rules and regulations
Section 104.2.7 Modifications
Section 104.2.8 Alternate materials, alternate design and methods of construction
Section 503.2 Fire Resistance of Walls
Section 709.4 Parapets
Section 1003.3.3 Stairways
Section 1003.3.3.1.1 Stairway to roof

DISCUSSION : The installation of roof penthouses throughout the City is an issue of serious concern to the public and the Planning Department inasmuch as such penthouses may expand structures to larger than may be compatible with surrounding structures and may block sunlight and views. Roof penthouses are often a basis of extensive Planning and Building Department review, permit appeals and reconsideration during construction. The use of roof hatches in lieu of stair penthouses under certain conditions can do much to resolve the problems related to roof penthouses, could permit rapid processing and issuance, and, if installed in accordance with the following conditions, would not impair the code-mandated suitability, strength, effectiveness, fire resistance, durability, safety or sanitation of the standard method of roof access.

This bulletin does not apply to buildings under the jurisdiction of the San Francisco Fire Department, although requests to apply alternates and equivalencies to the regular code will be considered by the Fire Department on a case-by-case basis.

9/01/2005

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ATTACHMENT A



DEPARTMENT OF BUILDING INSPECTION
City & County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION
OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION

DATE SUBMITTED _____ [Note: This form shall be recorded as part of the permanent construction records of the property]

If no permit application has been filed, a Preapplication Review Fee is required for review of a request for local equivalency or modification, per SFBC Table I-B, Item 8. Additional fees may be required by Fire Department and other City review agencies.

If a permit application has been filed, no additional fees are required for this review.

Permit Application # _____

Property Address: _____

Block and Lot: _____ / _____ Occupancy Group: _____ Type of Construction: _____ No. of Stories: _____

Describe Use of Building: _____

Under the authority of the 2001 San Francisco Building Code, Sections 104.2.7 and 104.2.8, the 2001 San Francisco Mechanical Code, Section 105, the 2001 San Francisco Electrical Code, Section 089-16 and the 2001 San Francisco Plumbing Code, Section 105, the undersigned requests modifications of the provisions of these codes and/or approval of alternate materials, designs or methods of construction. Two copies of supporting documents, including plans showing the proposed modifications or alternate materials, design or methods of construction, are attached.

Regular Code Requirement (specify Code and Sections)

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2001 SAN FRANCISCO BUILDING CODE

The use of roof hatches under this Administrative Bulletin is limited to the following applications:

- Where proposed roof hatches provide access to the roof of buildings under the jurisdiction of the Department of Building Inspection, and
- Where a stairway to the roof is either required by code or voluntarily proposed, and
- Where the roof hatch and its appurtenances are approved and constructed as detailed below, and
- When the roof hatch is served by a stairway.

Other applications for roof hatches in lieu of required fully complying stairways will be considered on a case-by-case basis under the review and approval procedures in the California Building Code regarding "Modifications" and "Alternative materials, alternate designs and methods of construction."

Procedure For Application of Local Equivalency

Project sponsors wishing to apply Local Equivalencies must fill out and submit the request for Approval of Local Equivalencies on a standard form (Attachment A). Fees to be paid and scheduling of review of requests are as noted on that form. Following Department of Building Inspection and, as appropriate, other agency review, each request will be approved, approved with conditions, disapproved, or placed on "Hold" pending submittal of additional information.

Further details of procedures for the review of Local Equivalencies and appeal of departmental determinations may be found in AB-005, Request for Approval of Local Equivalencies.

Conditions of Local Equivalency

Roof hatches in lieu of stairway penthouses may be permitted when the following approved equivalent provisions are met. This Local Equivalency allows roof hatches to be used in lieu of stairway penthouses and for such roof hatch to be considered as meeting the code requirements for a stairway to the roof if the below listed standard provisions are met:

- Applicant shall submit drawings showing details of the proposed roof hatch, stairway, stair handrail, and other details as needed to demonstrate compliance, insofar as is practical, with the stairway requirements of the San Francisco Building Code. Submittal documents shall include a plan view showing the location of the roof hatch and stairway and shall include sections and/or elevations detailing the proposed installation.
- Stairways shall have handrails on at least one side. At least one handrail shall extend at least 34 inches above the roof surface. Such handrail may be attached to the underside of the operable hatch so that it is in the correct position for handrails when the hatch is in the open position, or it may be secured to the roof or other construction. Minor breaks in the continuity of the handrail are permitted; handrail sections must be generally aligned.
- If the opening for the stairway to the roof is within the distance where protection of openings is required, then parapets extending along the parapet wall at least the length of the opening shall be provided per Section 709.4.

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Proposed Modification or Alternate

Case-by-Case Basis of Request - Describe the practical difficulties presented in meeting the specific conditions of the code and how the proposed modification or alternate meets the intent of the code. A separate form should be filled for each requested modification or alternate. Attach copies of any Administrative Bulletin, Code Ruling, reference, test reports, expert opinions, etc., which support this request. The Department may require that an approved consultant be hired by the applicant to perform tests or analysis and to submit an evaluation report to the Department for consideration.

Requested by: PROJECT SPONSOR ARCHITECT/ENGINEER

Print Name: _____

Signature: _____ [PROFESSIONAL STAMP HERE]

Telephone: _____

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4. The curb at the roof opening for the roof hatch on the side where the stairs emerge from the interior shall extend above the roof surface no more than nine inches, the curb at the roof hatch on other sides of the hatch shall not exceed 24 inches above the roof surface, and the maximum height of any portion of the hatch in a closed position shall not exceed 36 inches above the roof surface.

5. The rise and run of stairs to the roof shall meet regular code requirements.

6. The width of a stairway to a roof and the clear width of a roof hatch in its open position shall be not less than 30 inches, except that when serving an occupied roof with an occupant load of 10 or more or serving an occupied roof area greater than 400 square feet the width shall meet the specific requirements of the San Francisco Building Code. Handrails, lifting mechanisms and other equipment may encroach into the required width up to 1 1/2" when the roof hatch is in a fully open position.

7. When the roof hatch serves an occupied roof, the hatch latching mechanism shall be operable from the exterior.

A permit application and related submittal documents shall detail all construction that is approved as a result of this Request for Approval of Local Equivalency. No work to install roof hatches in lieu of stairway penthouses shall be done prior to approval of such Permit Application and issuance of a permit.

Approved by the Building Inspection Commission on July 18, 2004

Originally signed by:
Frank Y. Chiu, Director
July 18, 2004

Attachment A: Request for Approval of Local Equivalency

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PLAN REVIEWER COMMENTS:			

RECOMMENDATIONS:			
[signed off dated by:]	Approve	Approve with conditions	Disapprove
Plan Reviewer:	_____	_____	_____
Division Manager:	_____	_____	_____
for Director of Bldg. Inspection	_____	_____	_____
for Fire Marshal:	_____	_____	_____
CONDITIONS OF APPROVAL or OTHER COMMENTS			

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GREEN BUILDING

GREEN BUILDING NOTES:

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RESIDENTIAL REMODEL

ADDRESS
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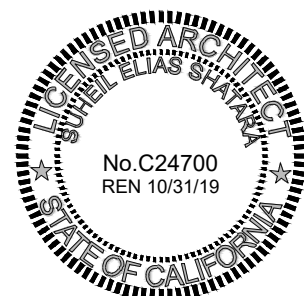
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ISSUED DATE NO.

REVISION 12-19-16

REVISION 08-11-17

REVISION 11-20-17



SHEET DESCRIPTION
GREEN POINTS

A0.02

City and County of San Francisco Green Building Submittal:
Residential Additions and Alterations

REQUIREMENTS

Instructions:
This form is for additions and alterations to residential occupancy which increase conditioned area, volume, or size of a residential building. See Administrative Bulletin 93, Attachment A, Table 1 for applicability. An abbreviated summary of each requirement is included for reference. Projects required to meet a LEED standard must use C-3 "Submittal for LEED Projects", and projects required to meet GreenPoint Rated must use the C-4 "Submittal for GreenPoint Rated Projects." Projects seeking certification may use the C-3 "Submittal for LEED Projects" or C-4 "Submittal for GreenPoint Rated" as alternatives to this form.

Check the box by each measure to indicate that you intend to comply with the listed requirement. For each requirement, use the "Plan Set Location" column to indicate where in the submittal documents compliance with the requirement can be verified. Requirements apply to areas and systems within the scope of addition and alteration. Where items are not applicable, indicate "N/A" in the "Reference" column.

Required Measures				Reference (Indicate Plan Set Sheet & Detail, or Specification, where applicable)	
Type of Project:			Residential Addition & Alteration		
Construction and Demolition Debris: 100% of mixed debris must be transported by a registered hauler to a registered facility and be processed for recycling, in compliance with the San Francisco Construction & Demolition Debris Ordinance			<input checked="" type="checkbox"/>	A1.1	
Recycling by Occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. See Administrative Bulletin 088.			<input checked="" type="checkbox"/>	A1.1	
Water Efficient Irrigation: Projects that include ≥ 1,000 square feet of new or modified landscape must comply with the San Francisco Water Efficient Irrigation Ordinance. (See the guide at www.sfwater.org/landscape)			<input checked="" type="checkbox"/>	N/A	
Stormwater Control Plan: Projects disturbing ≥ 5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines. (See www.sfwater.org/sdg)			<input checked="" type="checkbox"/>	N/A	
Grading and paving: Construction plans shall indicate how the site grading or drainage system will manage surface water flows to keep water from entering the building, such as swales, drains, or water retention gardens. (CalGreen 4.106.3)			<input checked="" type="checkbox"/>	A2.0 & A2.1	
Smart Irrigation Controller: Automatically adjust irrigation based on weather and soil moisture. Controllers must have either an integral or separate rain sensors that connects or communicates with the controller.			<input checked="" type="checkbox"/>	T-24	
Indoor Water Efficiency: Install water-efficient fixtures and fittings as summarized in CalGreen 4.303 (See "Indoor Water Efficiency" at left.) Replace all noncompliant fixtures in project area (CalGreen 3.301.1.1, San Francisco Housing Code 12A)			<input checked="" type="checkbox"/>	N/A	
Energy Efficiency: Comply with California Energy Code (Title 24, Part 6 2013)			<input checked="" type="checkbox"/>	T-24	
Pest Protection: Annular spaces around pipes, electric cables, conduits, or other openings in sole/bottom plates at exterior walls shall be closed with cement mortar, concrete masonry, or a similar method acceptable to DBI for protection against rodents			<input checked="" type="checkbox"/>	N/A	
Moisture content of building materials: Verify wall and floor framing does not exceed 19% moisture content prior to enclosure. Materials with visible signs of moisture damage shall not be installed. Moisture content shall be verified in compliance with the following: (CalGreen 4.505.3) 1) Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 101.8. 2) Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade-stamped end of each piece to be verified. 3) At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers' drying recommendations shall be followed for wet-applied insulation products prior to enclosure. Capillary break for concrete slab on grade: Concrete slab on grade foundations required to have a vapor retarder must also have a capillary break, including at least one of the following: (CalGreen 4.505.2) 1) A 4-inch (101.6 mm) thick base of 1/2-inch (12.7 mm) or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design which will address bleeding, shrinkage and curling shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06. 2) A slab design specified by a licensed design professional.			<input checked="" type="checkbox"/>	N/A	
Fireplaces and woodstoves: Install only direct-vent or sealed-combustion appliances; comply with US EPA A Phase II limits. (CalGreen 4.503.1)			<input checked="" type="checkbox"/>	N/A	
Design and Install HVAC System to ACCA Manual J, D, and S (CalGreen 4.507.2)			<input checked="" type="checkbox"/>	N/A	
HVAC Installer Qualifications: HVAC system installers must be trained and certified in the proper installation of HVAC systems, such as via a state certified apprenticeship program, public utility training program (with certification as installer qualification), or other program acceptable to the Department of Building Inspection. (CalGreen 702.1)			<input checked="" type="checkbox"/>	N/A	
Covering duct openings and protecting mechanical equipment during construction: Duct openings and other air distribution component openings shall covered during all phases of construction with tape, plastic, sheetmetal, or other acceptable methods to reduce the amount of water, dust, and debris entering the system.			<input checked="" type="checkbox"/>	N/A	
Bathroom exhaust fans: Must be ENERGY STAR compliant, ducted to terminate outside the building, and controlled by humidistat capable of adjustment between relative humidity of less than 50% to maximum of 80%. Humidity control may be a separate component from the exhaust fan.			<input checked="" type="checkbox"/>	A2.1 / A2.2	
Carpet: All carpet must meet one of the following: (CalGreen 4.504.3) 1. Carpet and Rug Institute Green Label Plus Program, 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350), 3. NSF/ANSI 140 at the Gold level, 4. Scientific Certifications Systems Sustainable Choice, OR 5. California Collaborative for High Performance Schools EQ 2.2 and listed in the CHPS High Performance Product Database AND carpet cushion must meet Carpet and Rug Institute Green Label, AND indoor carpet adhesive & carpet pad adhesive must not exceed 50 g/L VOC content.			<input checked="" type="checkbox"/>	N/A	
Resilient flooring systems: For 80% of floor area receiving resilient flooring, install resilient flooring complying with: 1. Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program, 2. Compliant with the VOC-emission limits and testing requirements of California Department of Public Health 2010 Standard Method for the Testing and Evaluation Chambers v.1.1, 3. Compliant with the Collaborative for High Performance Schools (CHPS) EQ2.2 and listed in the CHPS High Performance Product Database, OR 4. Certified under the Greenguard Children & Schools Program to comply with California Department of Public Health criteria.			<input checked="" type="checkbox"/>	N/A	
Composite wood products: Hardwood plywood, particleboard, and medium density fiberboard composite wood products used on interior or exterior shall meet CARB Air Toxics Control Measure for Composite Wood. See CalGreen Table 4.504.5.			<input checked="" type="checkbox"/>	N/A	
Interior paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. See CalGreen Table 4.504.3.			<input checked="" type="checkbox"/>	WILL MEET REQUIREMENT A0.004	
Low-VOC aerosol paints and coatings: Meet BAAQMD VOC limits (Regulation 8, Rule 49) and Product-Weighted MIR Limits for ROC. (CalGreen 4.504.2.3.)			<input checked="" type="checkbox"/>	N/A	
Low VOC Caulks, Construction adhesives, and Sealants: Meet SCAQMD Rule 1168. See CalGreen Tables 4.504.1 and 4.504.2. (CalGreen 4.504.2.1)			<input checked="" type="checkbox"/>	WILL MEET REQUIREMENT A0.004	

VERIFICATION

Instructions:
Indicate below who is responsible for ensuring green building requirements are met.
Projects that increase total conditioned floor area by ≥1,000 square feet are required to have a Green Building Compliance Professional of Record as described in Administrative Bulletin 93. For projects that increase total conditioned floor area by <1,000 square feet, the applicant or design professional may sign below, and no license or special qualifications are required.

FINAL COMPLIANCE VERIFICATION form will be required prior to Certificate of Completion.

Project Name RESID. REMODEL

Block/Lot 3182/ 032

Address 171 JUDSON AVE

Primary Occupancy PRIMARY RESIDENCE

Gross Building Area 3704 SQ FT

Increase In Conditioned Floor Area 1583 SQ. FT.

Projects that increase total conditioned floor area by ≥1,000 square feet: The Green Building Compliance Professional of Record for this project is:

Name Janet Mackinnon – 415.286.3570

Firm AE DESIGN

Architectural or Engineering License

☐ I am a LEED Accredited Professional

☒ I am a GreenPoint Rater

☐ I am an ICC Certified CalGreen Inspector

I will assure that approved construction documents and construction fulfill the requirements of San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, if I am no longer the Green Building Compliance Professional of Record for the project, or if I am otherwise no longer responsible for assuring the compliance of the project with the San Francisco Green Building Code.

Licensed Professional: Sign & Date
(May be signed by the applicant when less than 1,000 square feet is added.)

Affix professional stamp:

INDOOR WATER USE

PREScriptive APPROACH

All fixtures must not exceed flow rates summarized below (from CalGreen Tables 5.303.2.2. & 5.303.2.3):

Fixture Type	Maximum Prescriptive Flow Rate	Referenced Standard from California Plumbing Code Table 1401.1
Showerheads ²	2 gpm @ 80 psi	n/a
Lavatory faucets - nonresidential	0.4 gpm @ 60 psi	ASME A112.18.1/CSA B125.1
Kitchen faucets	1.8 gpm @ 60 psi	n/a
Wash fountains	1.8 [rim space (in.)/20 gpm @ 60 psi]	n/a
Metering faucets	20 gallons/cycle	ASME A112.18.1/CSA B125.1
Metering faucets for wash fountains	20 [rim space (in.)/20 gpm @ 60 psi]	n/a
Tank-type water closets	1.28 gallons/flush¹ and EPA WaterSense Certified	U.S. EPA WaterSense Tank-Type High-Efficiency Toilet Specification
Flushometer valve water closets	1.28 gallons/flush¹	ASME A112.19.2/CSA B45.1 - 1.28 gal (4.8 L)
Urinals	0.5 gallons/flush	ASME A112.19.2/CSA B45.1 – 0.5 gal (1.9 L)

Notes:
1) For dual flush toilets, effective flush volume is defined as the average volume of two reduced flushes and one full flush. The referenced standard is ASME A112.19.14 and USEPA WaterSense Tank-Type High Efficiency Toilet Specification – 1.28 gal (4.8 L).
2) The combined flow rate of all showerheads in one shower stall not exceed the maximum flow rate for one showerhead, or the shower shall be designed to allow only one showerhead to be in operation at a time (5.303.2.1).

OR

PERFORMANCE APPROACH

Instructions to applicant:
Fill in all blank cells in both tables below. The number of occupants using each fixture type must be the same in both the Baseline and Design cases. If there are no fixtures of a type in your project, enter "0" for number of occupants. Multiply each row to determine the amount of water used in each fixture type, then sum the last column to determine the total daily water use. Take 80% of this baseline case to be the maximum allowable water use (corresponding to the required 20% reduction). The Total Design Case Daily Water Usage use from Worksheet WS-2 must not exceed the Total Allowable Daily Water Usage from Worksheet WS-1.

Worksheet WS-1 (summary) - Baseline & Allowable Water Use						
Fixture Type	Daily use	Occupants ²	Baseline Flow Rate	Baseline Usage (gallons per day)		
Showerhead	5 min.	x	x	2.0 gpm	=	
Showerhead - residential	8 min.	x	x	2.5 gpm	=	
Lavatory faucets	0.25 min.	x	x	0.5 gpm	=	
Lavatory faucets - residential	0.25 min.	x	x	2.2 gpm	=	
Kitchen faucets	4 min.	x	x	2.2 gpm	=	
Metering faucets	3	x	x	0.25 gal	=	
Water closets (all types)	1 male¹	x	x	1.28 gal	=	
Urinals	3 female	x	x	0.5 gal	=	
	2 male	x	x	0.5 gal	=	
Total Baseline Case Daily Usage:						
Total Allowable Daily Water Usage (Baseline Usage x 80%):						

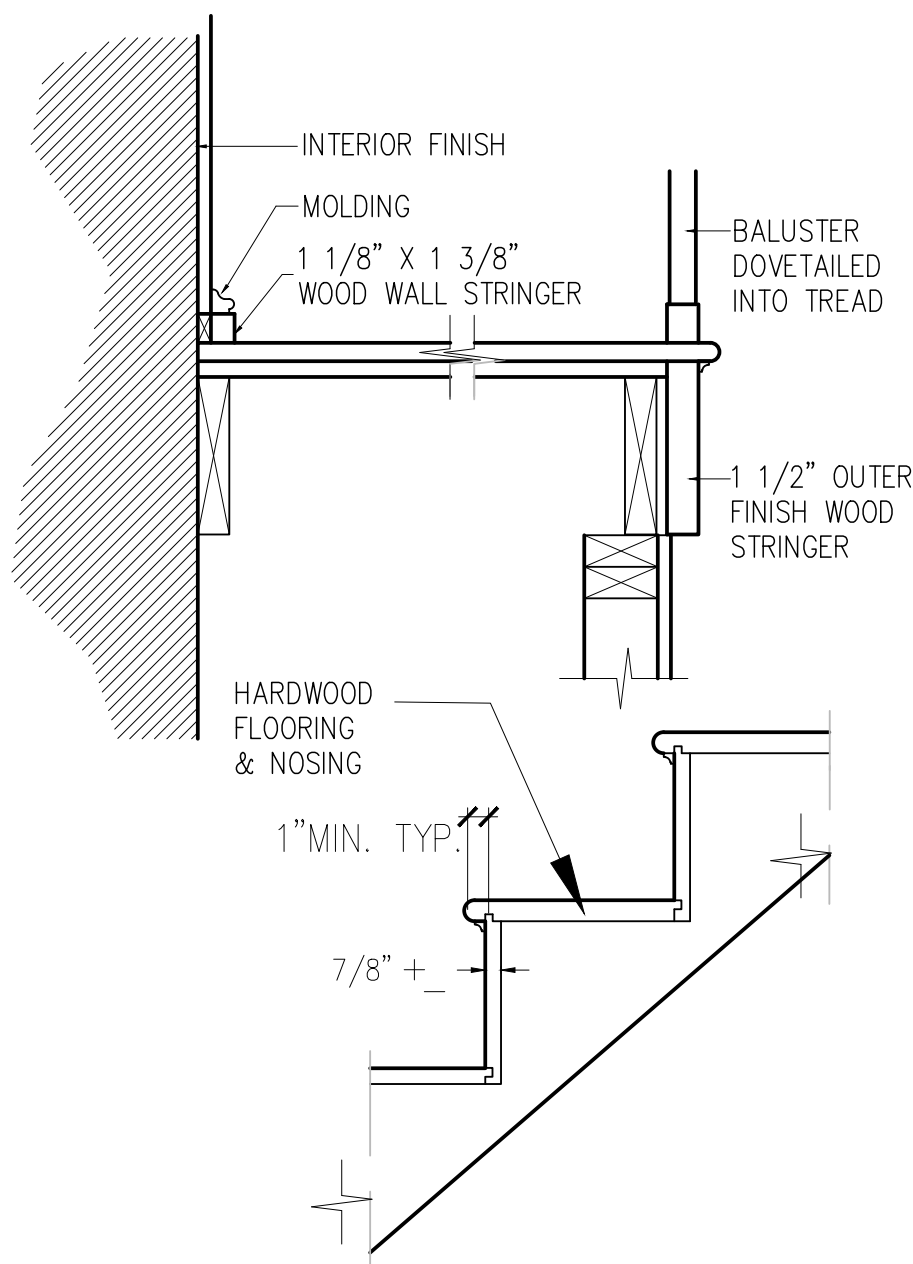
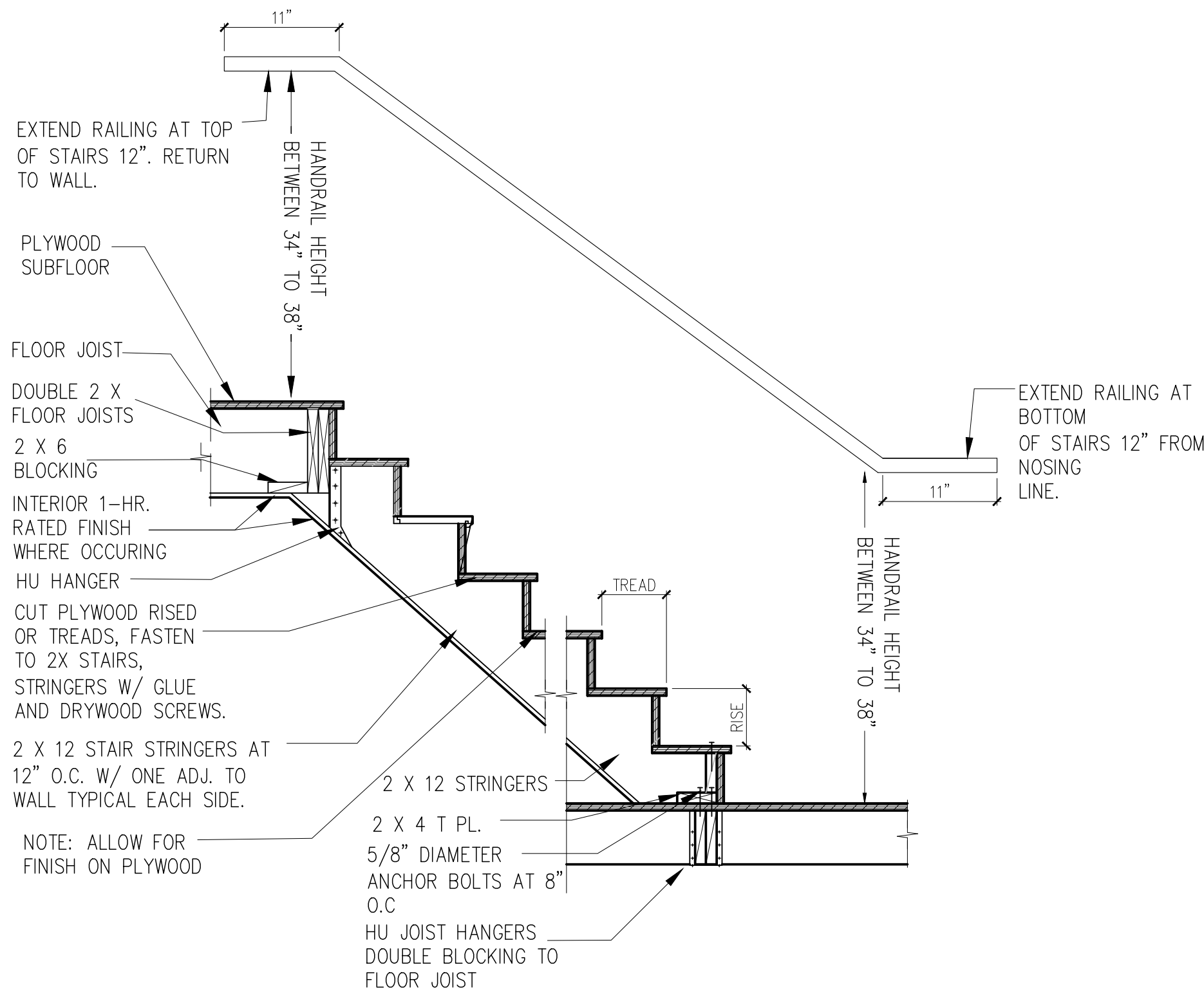
Notes:
1) The daily use number shall be increased to three if urinals are not installed in the room.
2) For non-residential occupancies, refer to table A, Chapter 4, 2010 California Plumbing Code for occupant load factors.
3) Fixtures and fittings must meet the standards referenced in California Plumbing Code Table 1401.1, see above.

Worksheet WS-2 (summary) - Design Water Use

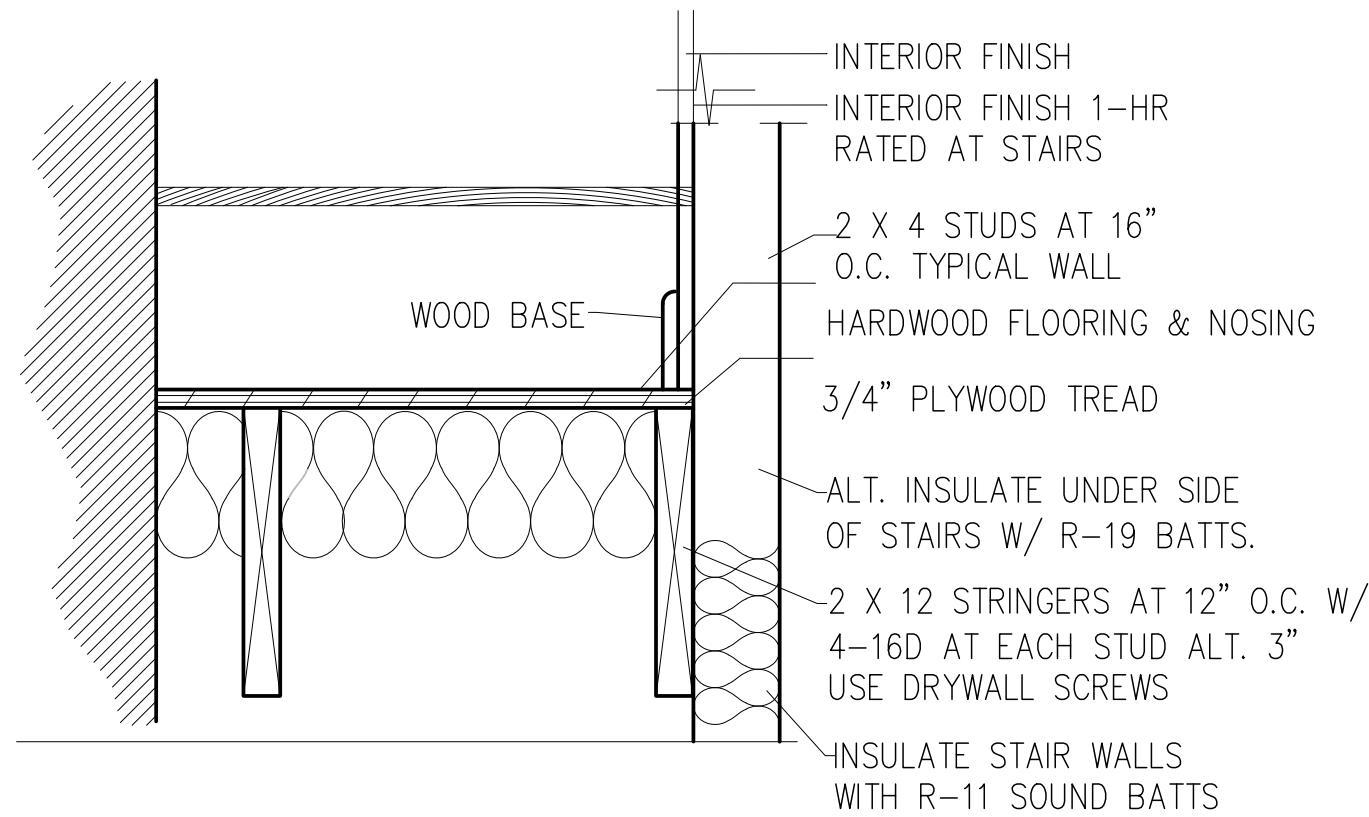
Fixture Type	Daily use	Occupants ²	Design Flow Rate	Design Usage (gallons per day)
Showerhead	5 min.	x	x	=
Showerhead - residential	8 min.	x	x	=
Lavatory faucets	0.25 min.	x	x	=
Lavatory faucets - residential	0.25 min.	x	x	=
Kitchen faucets	4 min.	x	x	=
Metering faucets	3	x	x	=
Water closets (all types)	1 male¹	x	x	=
Urinals	3 female	x	x	=
	2 male	x	x	=
Total Design Case Daily Usage:				

EXISTING NONCOMPLIANT FIXTURES

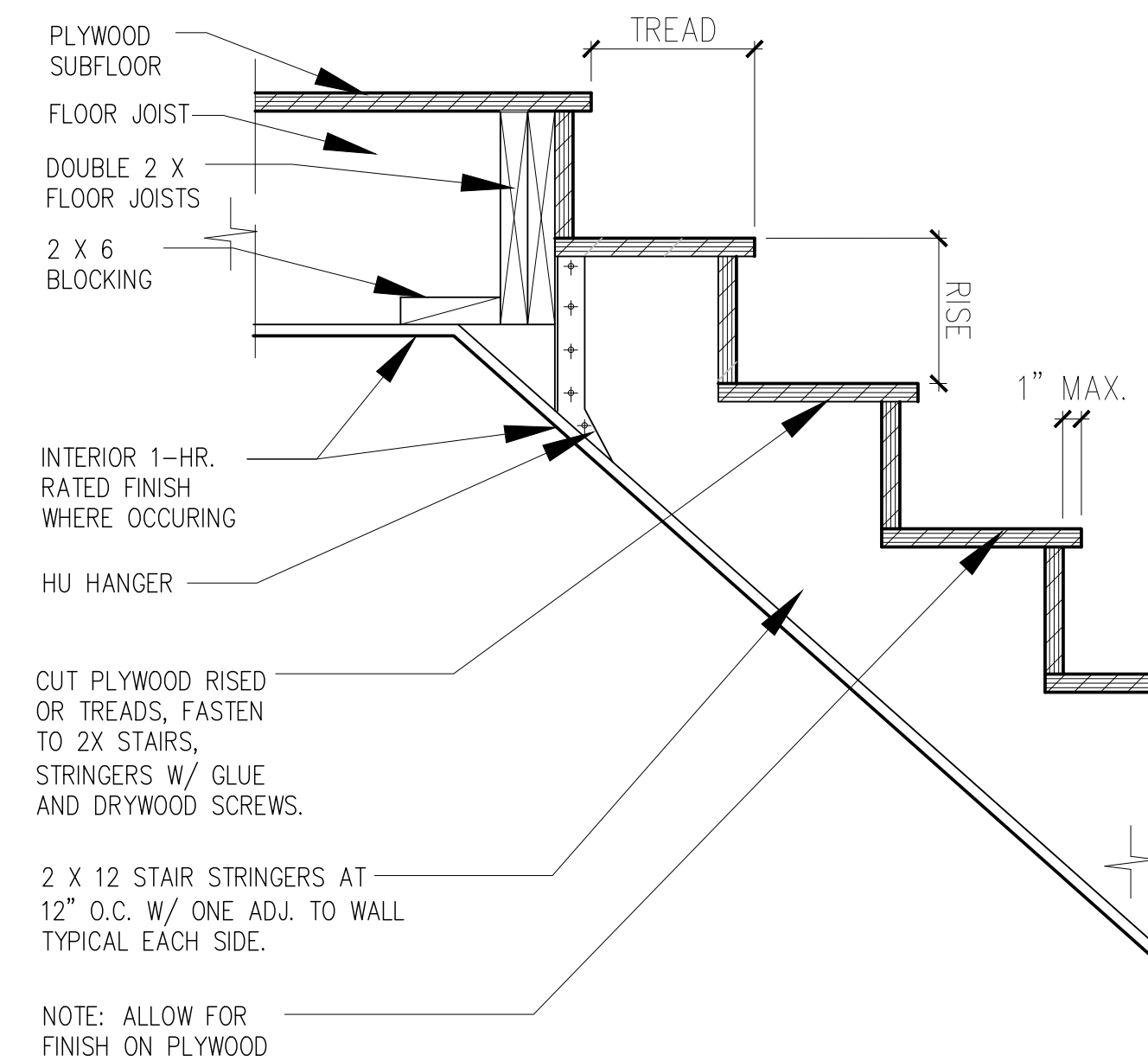
All fixtures that are not compliant with the San Francisco Residential Water Conservation Ordinance that serve or are located within the project area must be replaced with fixtures or fittings meeting the maximum flow rates and standards referenced above. For more information, see the Commercial Water Conservation Program Brochure, available at SFDPI.org. Noncompliant plumbing fixtures include:
(1) Any toilet manufactured for use more than 1.6 gallons of water per flush.
(2) Any urinal manufactured for use more than 1 gallon of water per flush.
(3) Any showerhead manufactured to have a flow capacity of more than 2.5 gallons of water per minute.
(4) Any interior faucet that emits more than 2.2 gallons of water per minute.
Exceptions to this requirement are limited to situations where replacement of fixture(s) would detract from the historic integrity of the building, as determined by the Department of Building Inspection pursuant to San Francisco Building Code Chapter 13A.



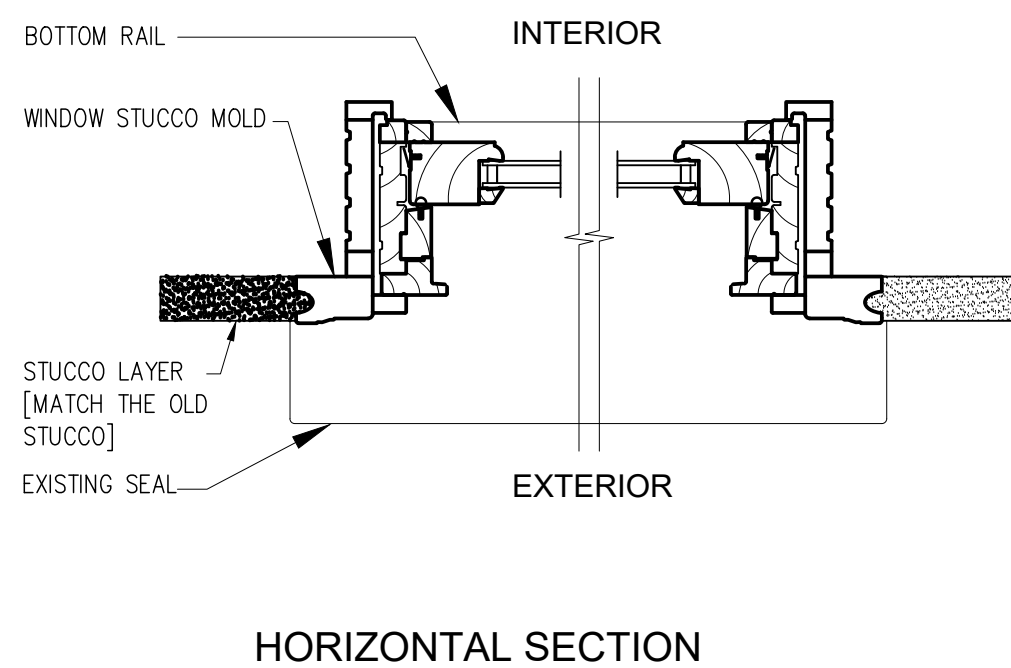
1 WOOD STAIR DETIAL
SCALE 1 1/2" = 1'



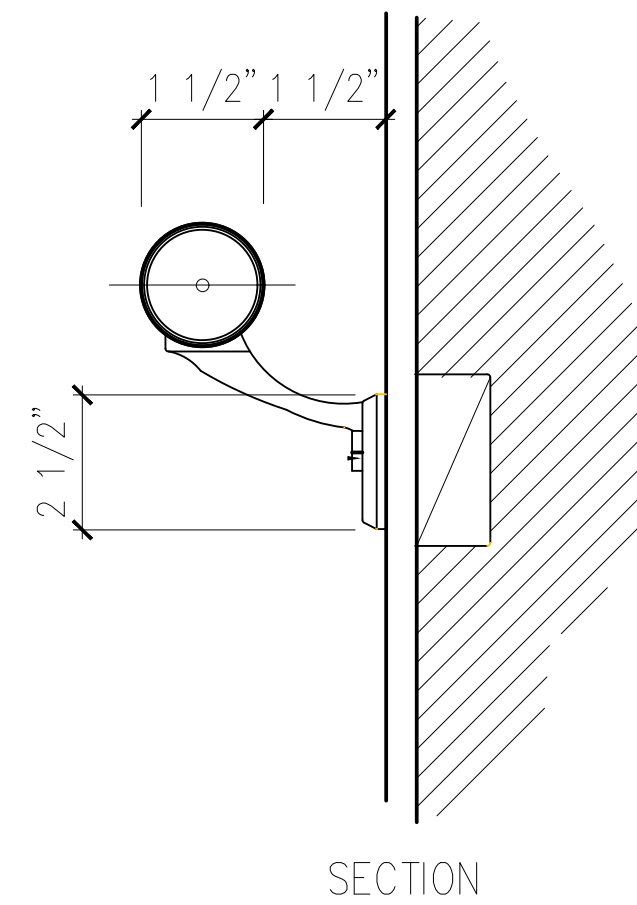
STAIR SECTION AT WALL
SCALE 1 1/2" = 1'



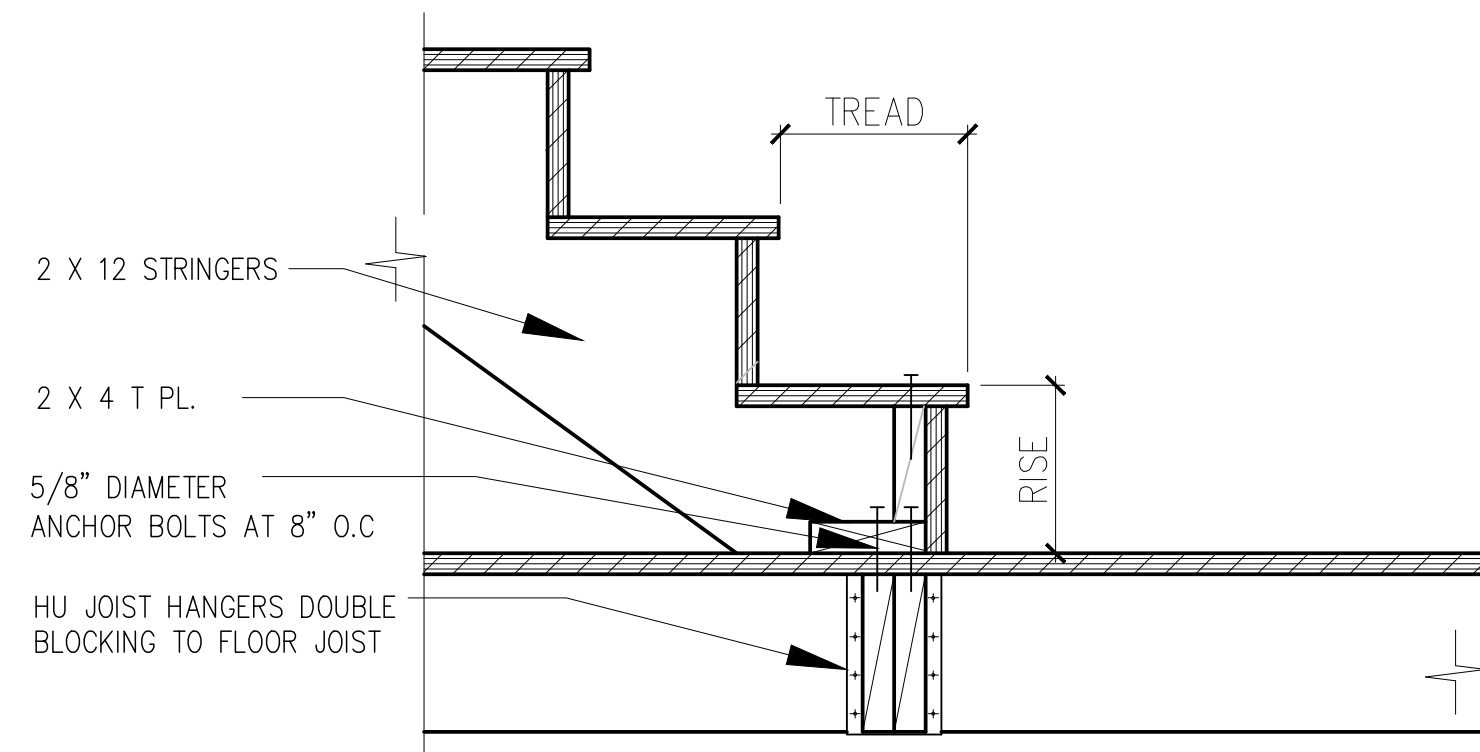
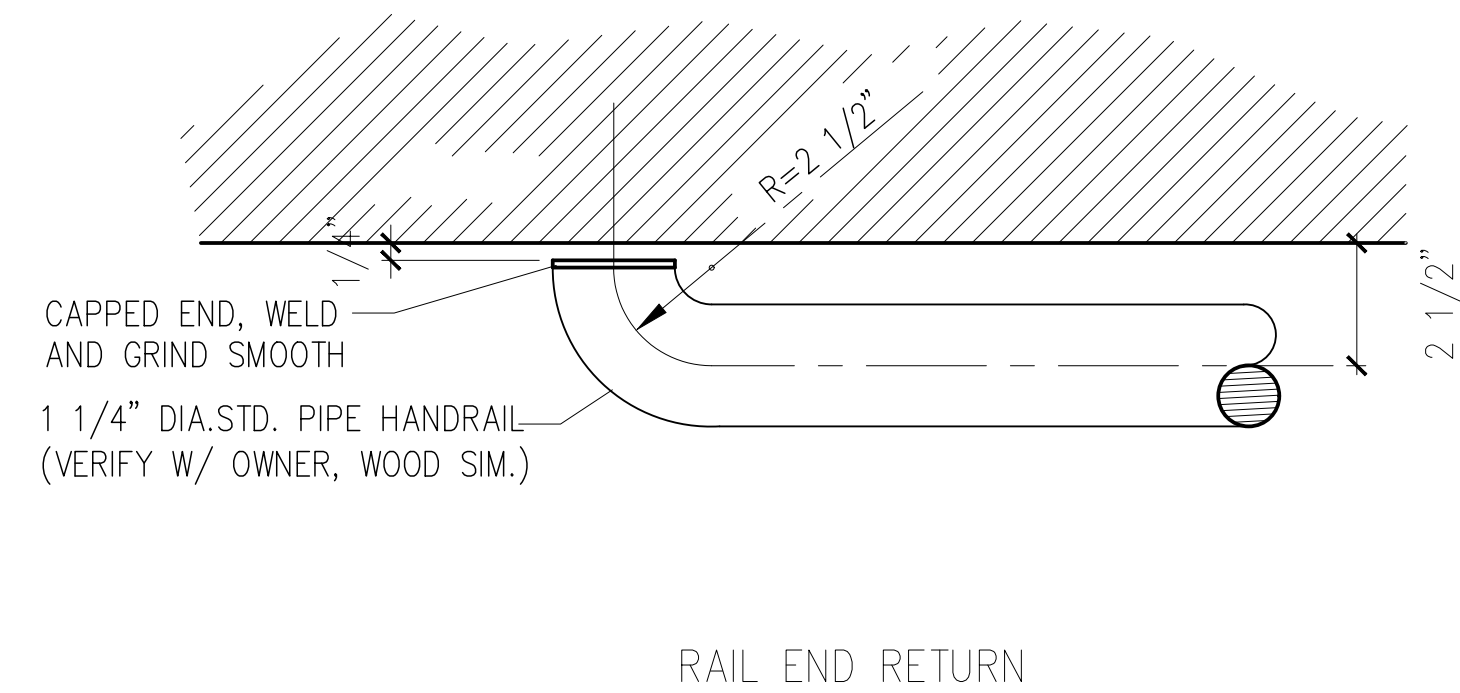
A STAIR HEAD
SCALE 1 1/2" = 1'



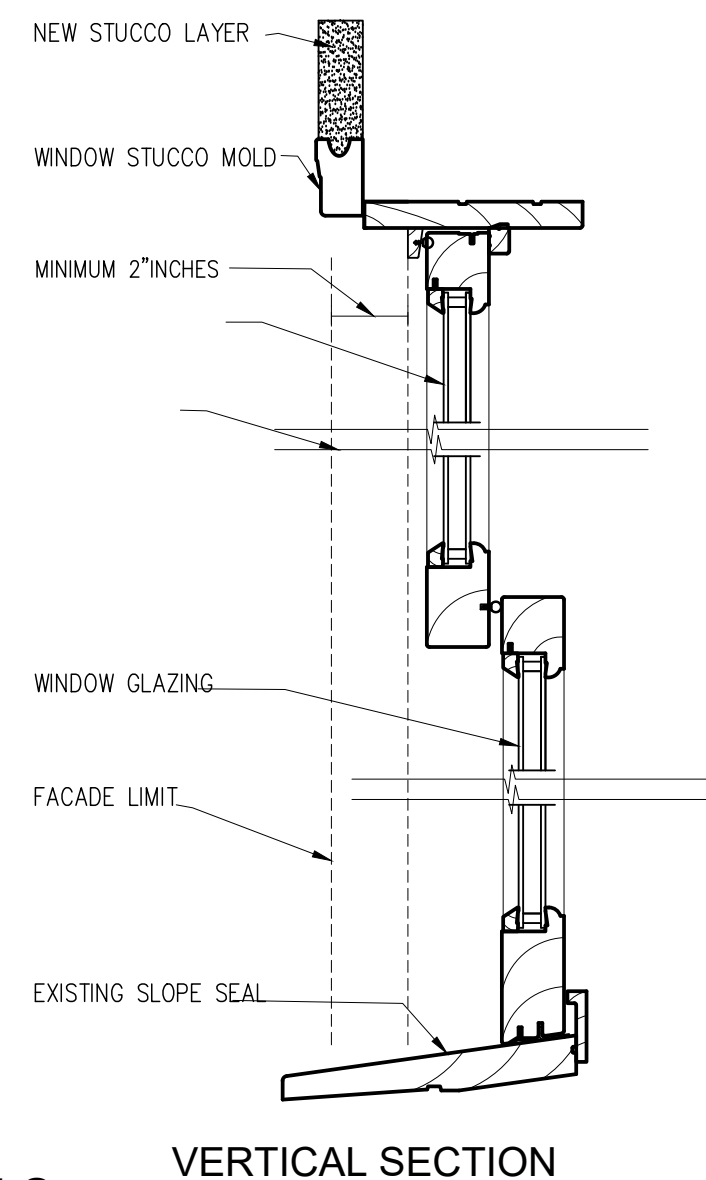
WINDOW DETAILS



2 STAIR RAILING
SCALE 3" = 1'



A STAIR SILL AT WOOD FLOOR
SCALE 1 1/2" = 1'



SHATARA ARCHITECTURE INC.

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suhel@shataraarch.com

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PROJECT RESIDENTIAL REMODEL

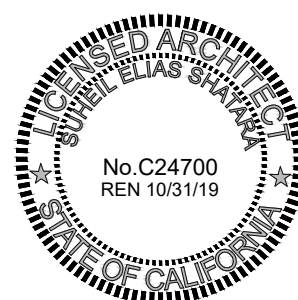
ADDRESS
171 JUDSON AVE
SAN FRANCISCO, CA

BLOCK: 3182
LOT: 032

PROJECT DIRECTORY OWNER

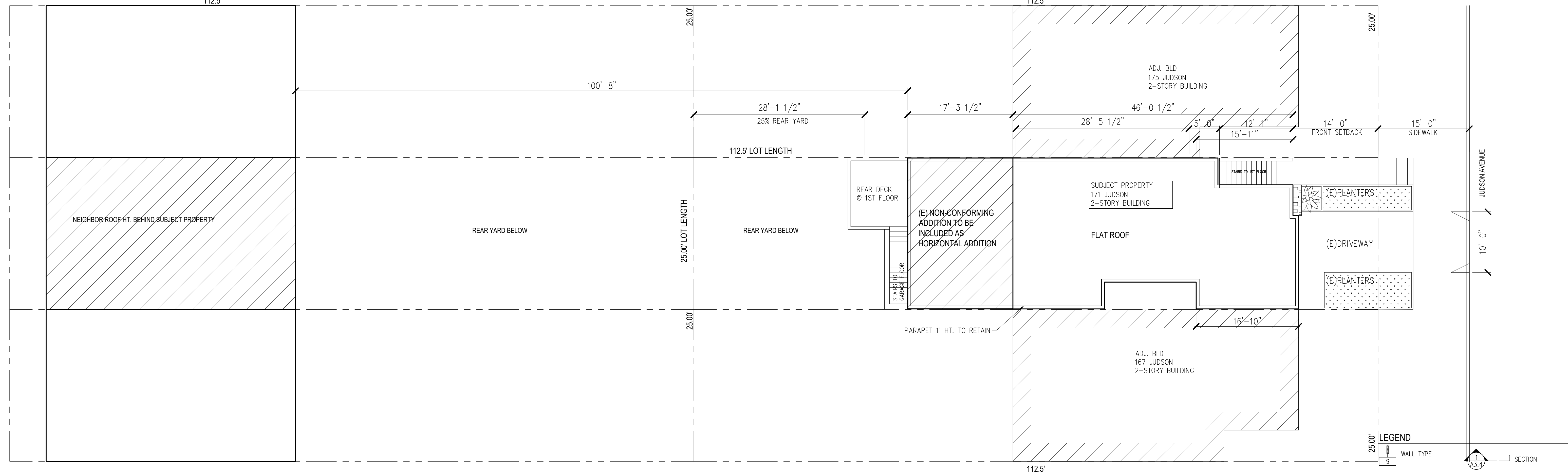
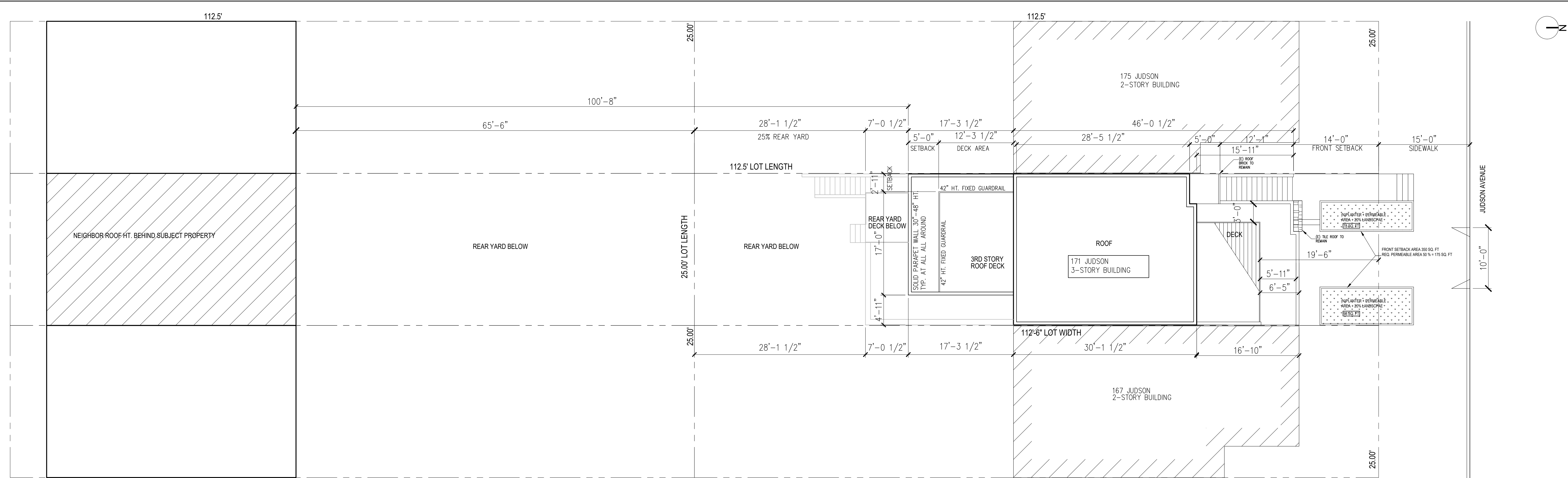
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SHEET DESCRIPTION
STAIR/
WINDOW
DETAILS

A0.1



DETAILS SHEET NOTES

1. WALL TYPES DWGS DO NOT CONVEY STRUCTURAL (SHEAR) REQUIREMENTS. SEE STRUCT. DWGS.
2. FLOOR CEILING ASSEMBLIES DO NOT CONVEY STRUCTURAL REQUIREMENTS. SEE STRUCT. DWGS.

SHEET NOTES

1. ALL PLAN DIMENSIONS TO FACE OF ROUGH FRAMING, FACE OF CONCRETE, OR CENTER LINE OF STEEL, U.O.N.
2. ALL SECTION AND ELEVATION DIMENSIONS TO FINISH FLOOR.
3. ALL WOOD FRAMED EXTERIOR WALLS TO BE FRAMED WITH 2X6 U.O.N. INTERIOR WALLS TO BE FRAMED WITH 2X4 U.O.N. REFER TO WALL TYPES TAGS FOR EXCEPTIONS.

- (E) WALL TO BE DEMOLISHED
- (E) WALL TO REMAIN
- (N) WALL
- PROPERTY LINE

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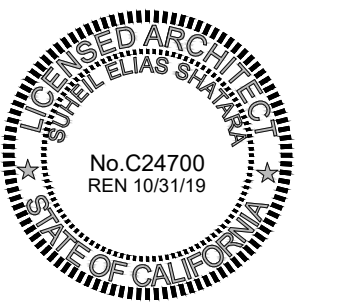
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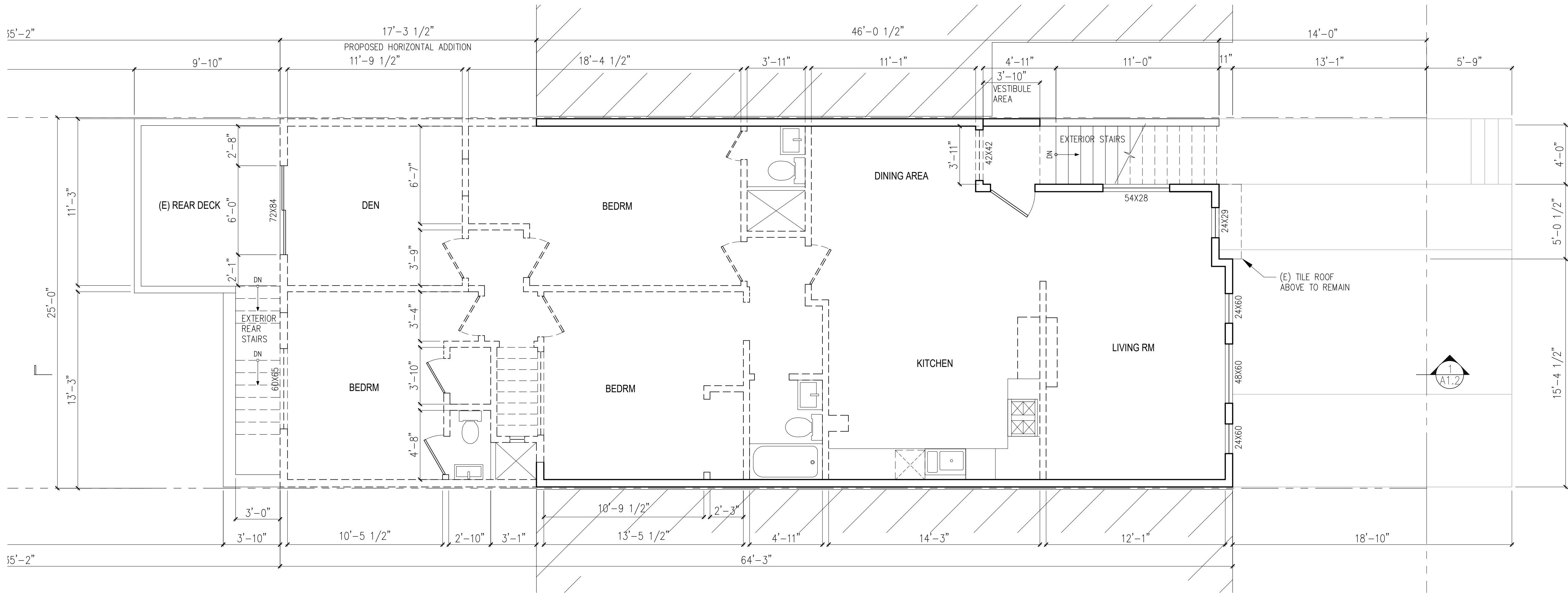
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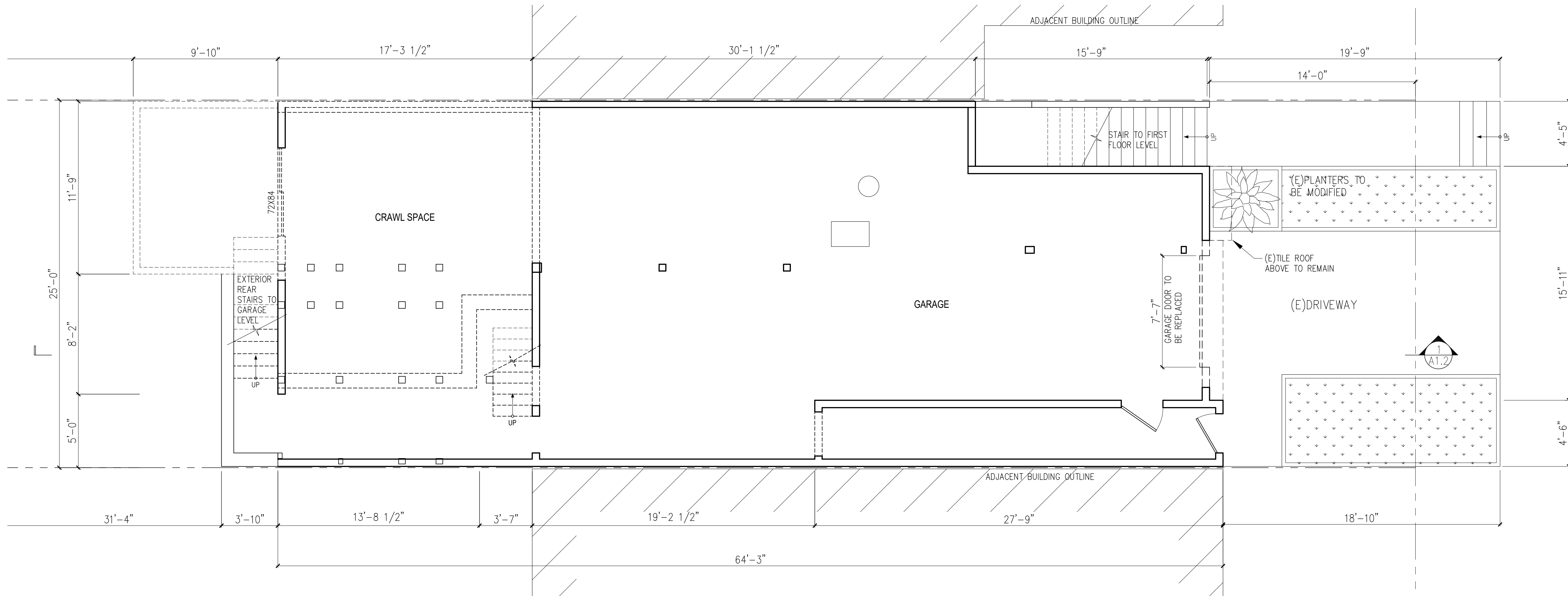


SHEET DESCRIPTION
**EXISTING /
PROPOSED SITE
PLANS**

A1.0



2 EXISTING SECOND FLOOR PLAN
SCALE : 1/4"=1'-0"



1 EXISTING FIRST FLOOR PLAN
SCALE : 1/4"=1'-0"

DETAILS SHEET NOTES

- 1 WALL TYPES DWGS DO NOT CONVEY STRUCTURAL (SHEAR) REQUIREMENTS. SEE STRUCT. DWGS.
- 2 FLOOR CEILING ASSEMBLIES DO NOT CONVEY STRUCTURAL REQUIREMENTS. SEE STRUCT. DWGS.

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LEGEND

- 9 WALL TYPE
999 DOOR NUMBER
9A WINDOW NUMBER
- 1/3.3 SECTION
1/3.3 ELEVATION
A FLOOR/CEILING ASSEMB. TYPE
- (E) WALL TO BE DEMOLISHED
(E) WALL TO REMAIN
(N) WALL
PROPERTY LINE

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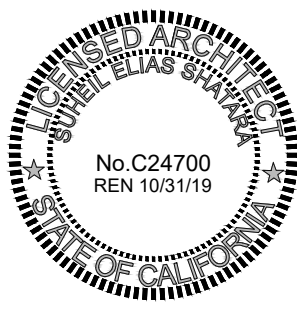
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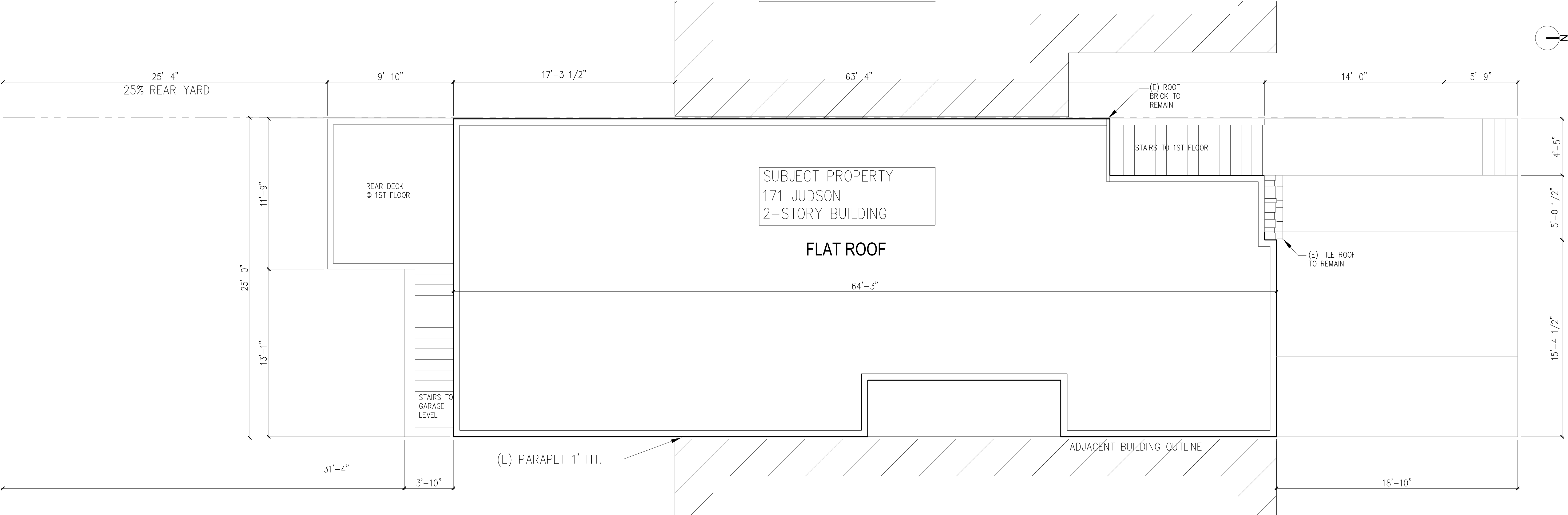
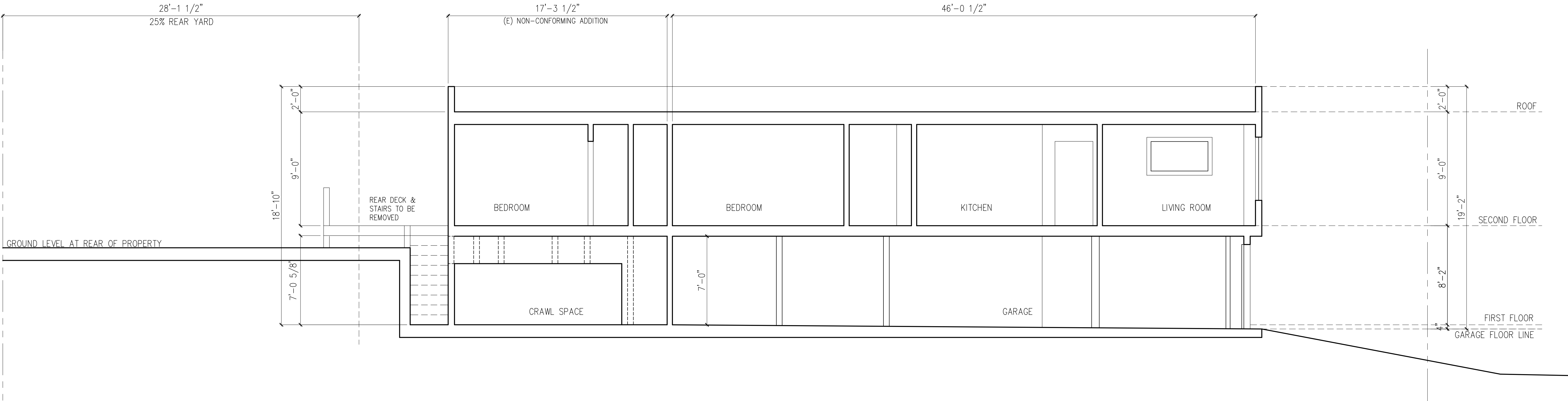
REVISION 11-20-17



SHEET DESCRIPTION

EXISTING
PLANS

A1.1



DETAILS SHEET NOTES

- WALL TYPES DWGS DO NOT CONVEY STRUCTURAL (SHEAR) REQUIREMENTS. SEE STRUCT. DWGS.
- FLOOR/CEILING ASSEMBLIES DO NOT CONVEY STRUCTURAL REQUIREMENTS. SEE STRUCT. DWGS.

SHEET NOTES

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LEGEND

- WALL TYPE
9
- DOOR NUMBER
999
- WINDOW NUMBER
9A
- SECTION
A3.4
- ELEVATION
A3.4
- FLOOR/CEILING ASSEMB. TYPE
A
- (E) WALL TO BE DEMOLISHED
(E) WALL TO REMAIN
(N) WALL
PROPERTY LINE

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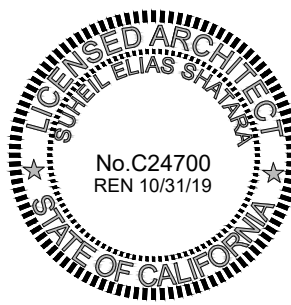
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OWNER**

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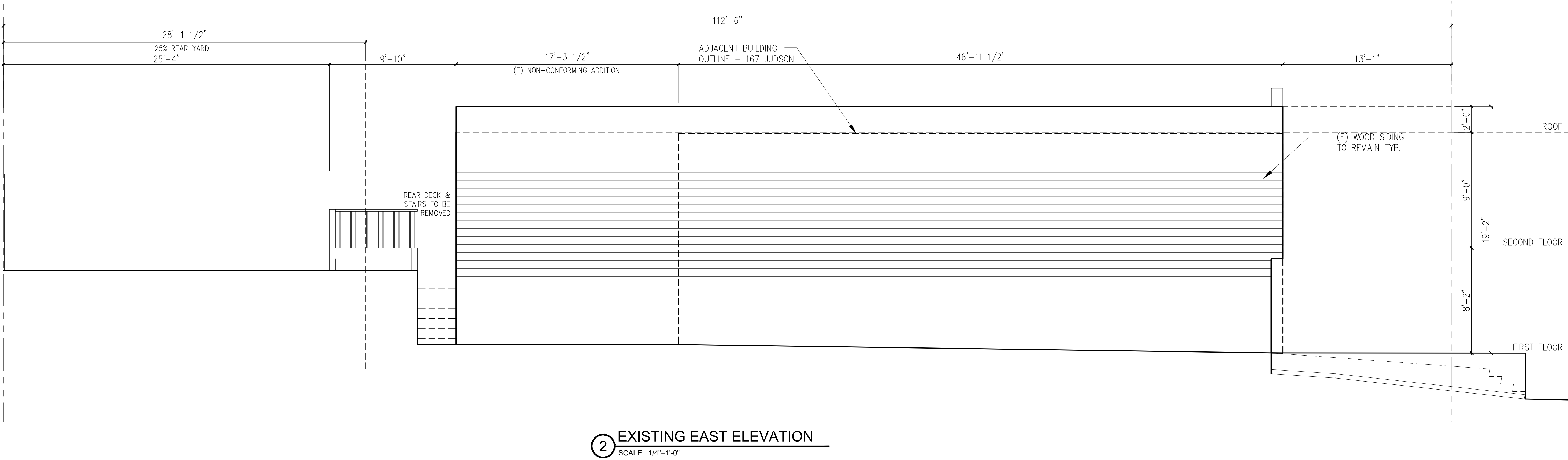
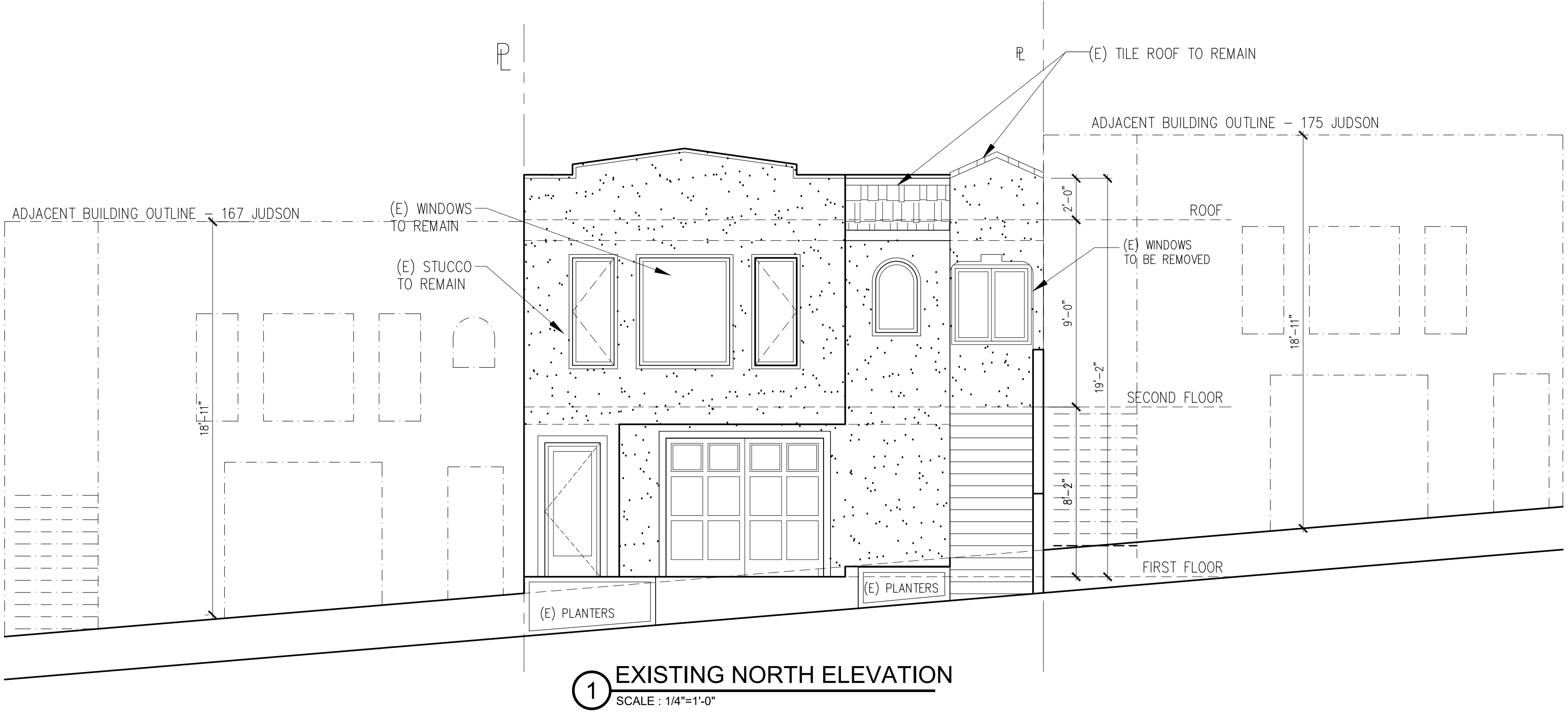
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SHEET DESCRIPTION

**EXISTING ROOF
PLAN AND
SECTION**

A1.2



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No. C24700
REN 10/31/19

SHEET DESCRIPTION
EXISTING
ELEVATIONS

A1.3

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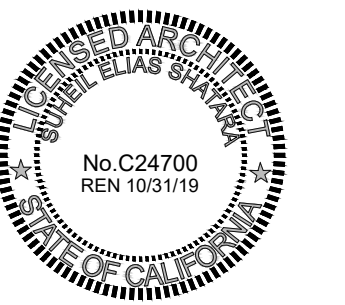
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LOT: 032

PROJECT DIRECTORY	
OWNER	

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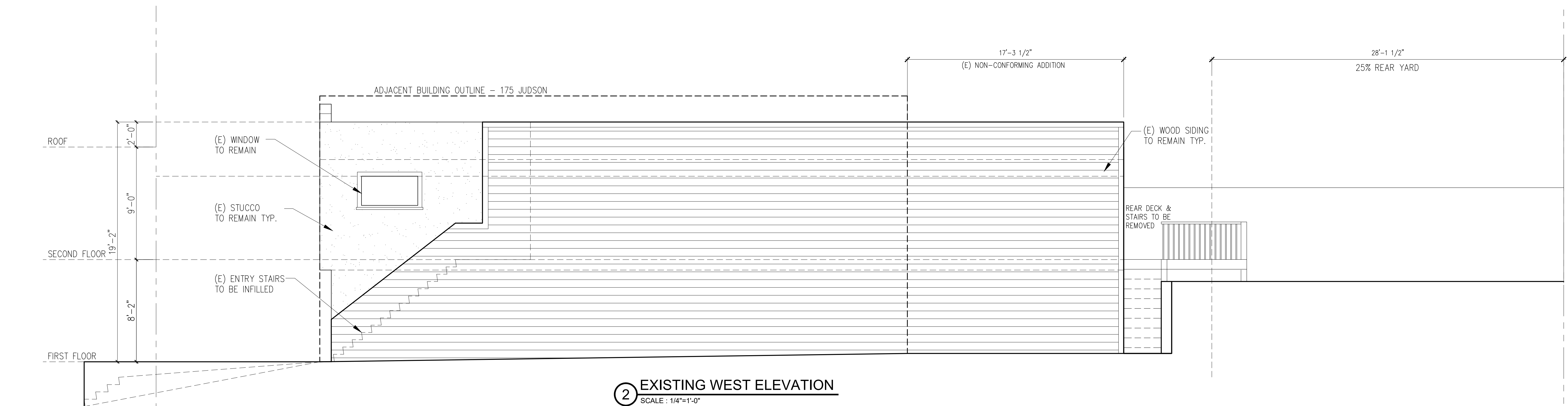
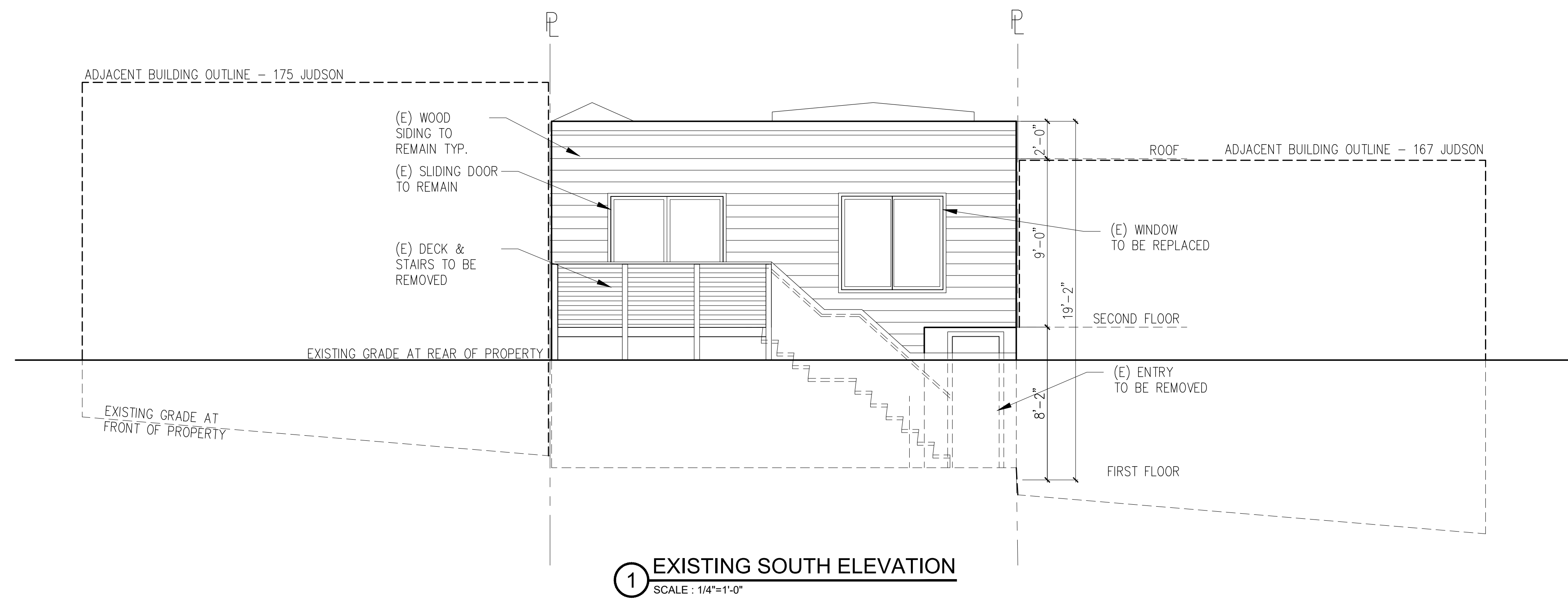
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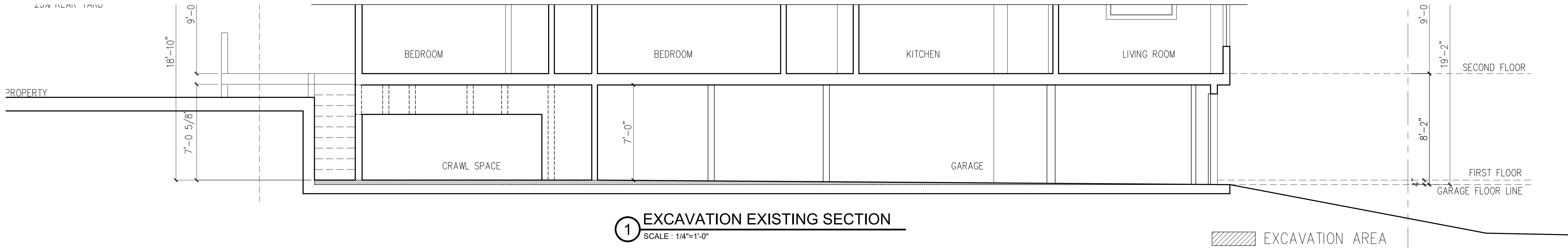


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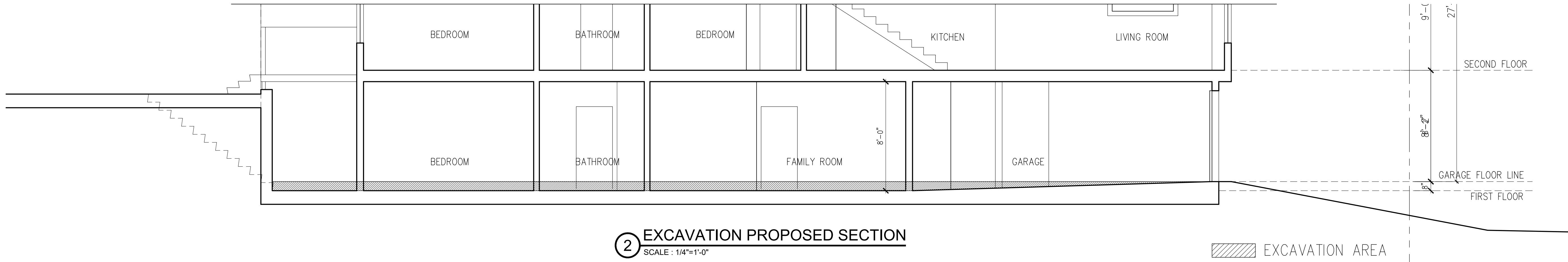
**EXISTING
ELEVATIONS**

A1.4

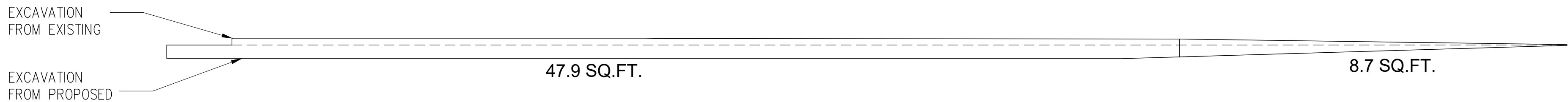




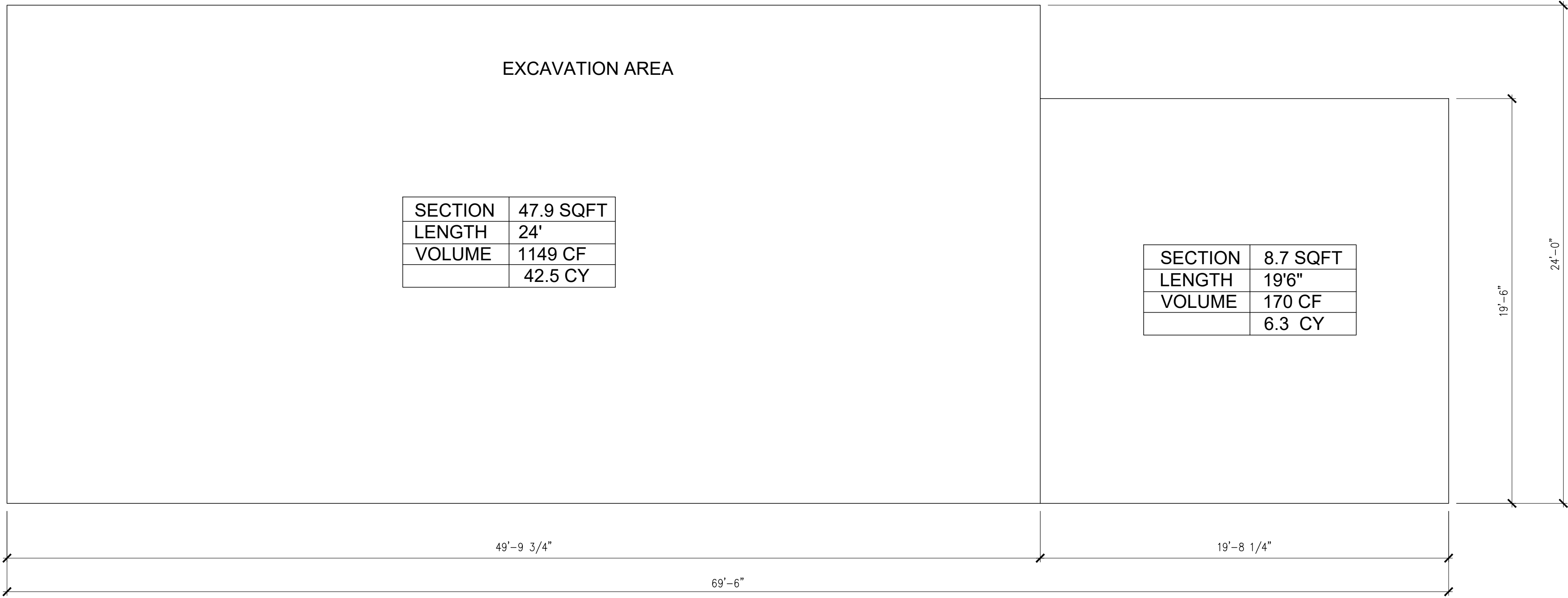
1 EXCAVATION EXISTING SECTION
SCALE : 1/4"=1'-0"



2 EXCAVATION PROPOSED SECTION
SCALE : 1/4"=1'-0"



3 EXCAVATION SECTION
SCALE : 1/4"=1'-0"



TOTAL EXCAVATION 1,319 CF 48.8 CY

4 EXCAVATION PLAN
SCALE : 1/4"=1'-0"

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PROJECT
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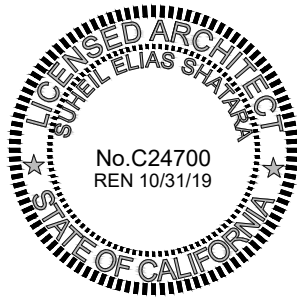
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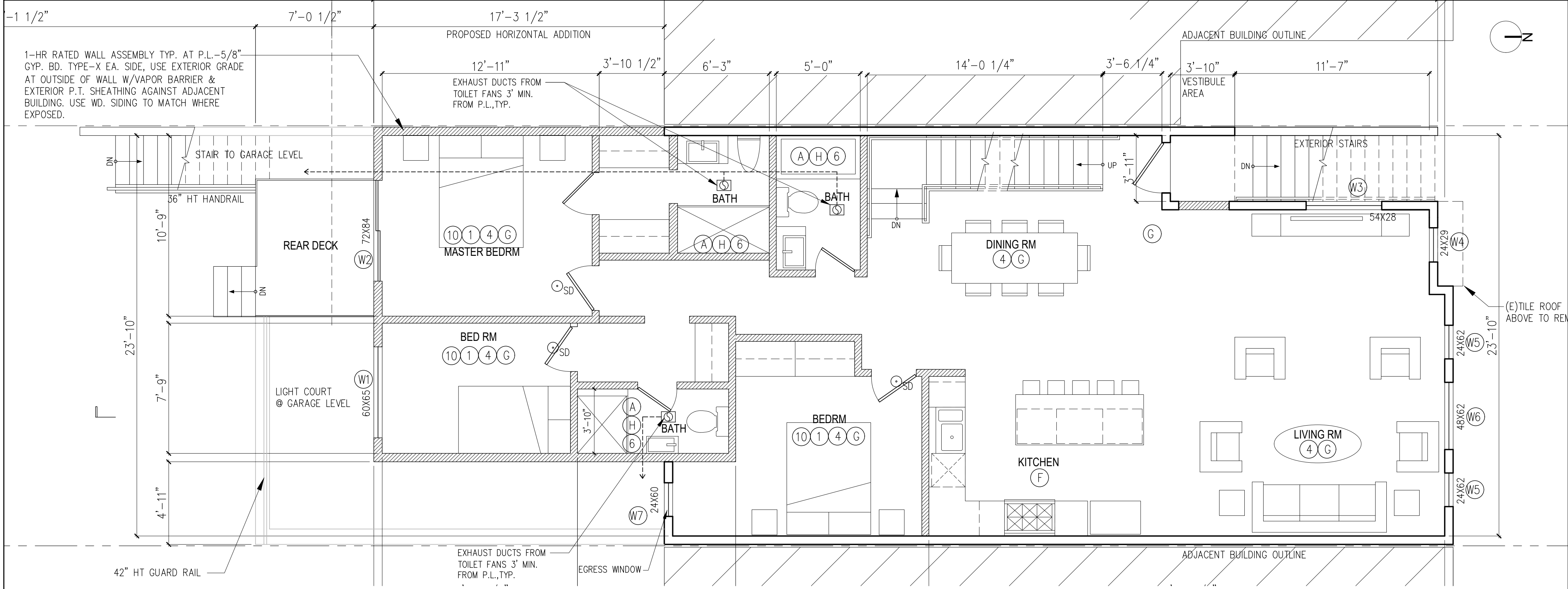
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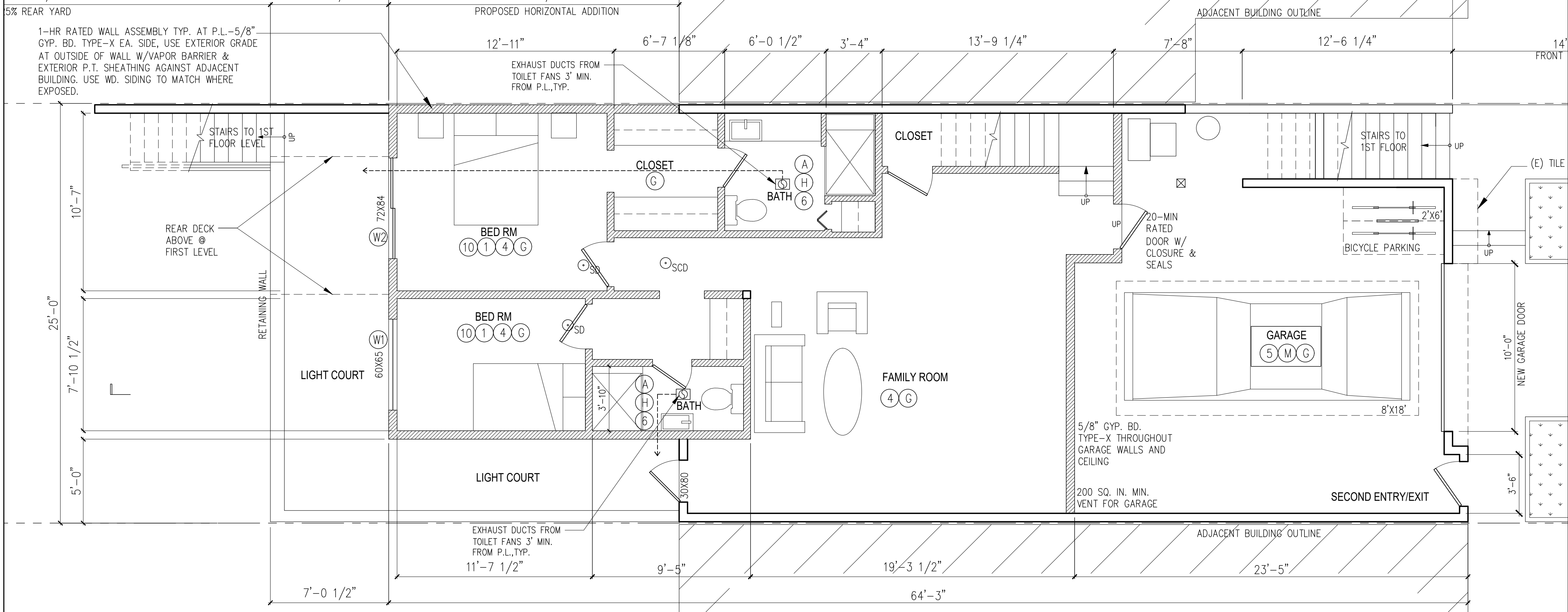


SHEET DESCRIPTION
EXCAVATION
PLANS

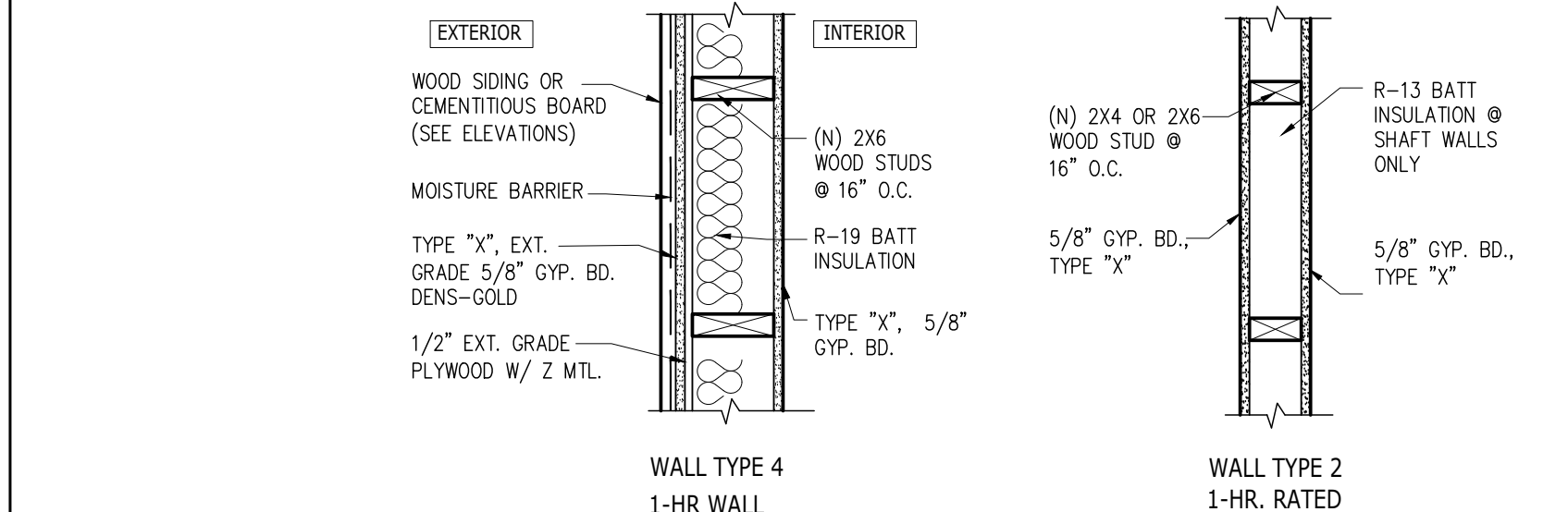
A1.4



2 PROPOSED SECOND FLOOR PLAN
SCALE : 1/4"=1'-0"



1 PROPOSED FIRST FLOOR PLAN
SCALE : 1/4"=1'-0"



3 WALL DETAILS
SCALE : 1"=1'-0"

MECHANICAL & ELECTRICAL KEYNOTES

ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST ADOPTED EDITION OF THE CALIFORNIA ELECTRICAL CODE. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO, THE ITEMS LISTED BELOW:

- (A) BATHROOM: PROVIDE BATH WITH GFI OUTLETS. LIGHTING: A MIN. OF ONE HIGH EFFICACY LUMINAIRE SHALL BE INSTALLED IN EACH BATHROOM. ALL H.E. LIGHTING UNLESS LIGHTING IS CONTROLLED BY CERTIFIED VACANCY SENSOR(S)
- (B) LAUNDRY: ELECTRICAL: LAUNDRY ROOM, WASHER AND DRYER SHALL HAVE A SEPARATE 20 AMP CIRCUIT. DRYER VENT: RIGID PIPE (NO FLEX DUCT ALLOWED) SHALL TERMINATE OUTSIDE. 4" DIAM PIPE 14' MAX LENGTH WITH MAX 2 - 90 DEGREE TURNS, MINUS 2' FOR EACH ADDITIONAL 90 DEGREE TURN OR PROVIDE BOOSTER FAN. MAKE-UP AIR: VENT FOR GAS OR ELECTRIC DRIERS: 100 SQ. IN. MIN. INTAKE OPENING. LIGHTING: ALL H.E. LIGHTING UNLESS LIGHTING IS CONTROLLED BY VACANCY SENSOR(S) (2013 CEC)
- (C) OUTLETS (ELECTRICAL RECEPTACLES): AT LEAST ONE OUTLET IN HALLWAY. PLACE OUTLETS SO THAT NO POINT ALONG THE WALL SPACE IS MORE THAN 6' HORIZONTALLY FROM ANY OUTLET. ANY WALL OVER 24" WIDE SHALL HAVE AN OUTLET. ALL OUTLETS SHALL BE LISTED TAMPER RESISTANT RECEPTACLES.
- (D) SWITCHES AND CONTROLS SHALL BE PLACED MIN. 36" - MAX 48" ABOVE FINISH FLOOR.
- (E) THERMOSTATS SHALL BE PLACED 60" ABOVE FINISH FLOOR.
- (F) KITCHEN: ELECTRICAL: A MINIMUM OF (2) 20 AMP SMALL APPLIANCE CIRCUITS SHALL BE PROVIDED FOR THE KITCHEN, DINING AND FAMILY ROOM AREAS. CONTRACTOR SHALL PROVIDE FOR FUTURE EXPANSION OF (3) 30 AMP CIRCUITS. OUTLETS: MIN. 1 PER EACH COUNTER SECTION WIDER THAN 12". 4' MAX. DISTANCE BETWEEN OUTLETS. PROVIDE GFCI OUTLETS. LIGHTING: AT LEAST 50% OF INSTALLED LUMINAIRE MUST BE OF HIGH EFFICACY (H.E.) LIGHTING AND MUST BE SWITCHED SEPARATELY FROM NON-H.E. LIGHTING.
- (G) LIGHTING (OTHER ROOMS): BEDROOM, HALLWAY, STAIRS, DINING & CLOSETS BIGGER THAN 70 SQ. FT. ALL HIGH EFFICACY LIGHTING UNLESS LIGHTING THAT IS CONTROLLED BY A DIMMER SWITCH OR CERTIFIED VACANCY SENSOR(S) (TITLE 24).
- (H) EXHAUST FANS: PROVIDE BATH & LAUNDRY W/ MECHANICAL EXHAUST FANS WITH BACKDRAFT DAMPER. EXHAUST DIRECT TO EXTERIOR. NO VENT TERMINATION IN EXTERIOR WALL WITHIN 3 FT. OF PROPERTY LINE OR WINDOW OR OPENING USED FOR VENTILATION.
- (J) HEATING SYSTEM: AS SHOWN IS SCHEMATIC ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR SYSTEM DESIGN AND ITS ADEQUACY. WHERE FURNACE DUCTS PIERCE 1-HR GARAGE WALLS, DUCTS SHALL BE MIN. 26 GAUGE GALVANIZED STEEL.
- (K) COMBUSTION AIR INLET: OPENING NOT ALLOWED WITHIN 3' OF PROP. LINE. 12" DOWN FROM TOP, 12" UP FROM BOTTOM.
- (L) WATER HEATER: SEE WATER HEATER DETAIL FOR SEISMIC STRAP AND 16" PLATFORM
- (M) GARAGE: LIGHTING: ALL HIGH EFFICACY LIGHTING UNLESS LIGHTING THAT IS CONTROLLED BY CERTIFIED VACANCY SENSOR(S) (TITLE 24) (2013 CEC). BOLLARDS: PROVIDE TO PROTECT GAS EQUIPMENT FROM IMPACT. (CMC308.1) VENTILATION: 200 SQ. INCHES MIN. FOR GARAGE OF UP TO 1,000 SQ. FT. FOR EACH ADDITIONAL 200 SQ. FT. PROVIDE ADDITIONAL 30 SQ. IN. OF CLR. VENT AREA.
- (N) CIRCUITS INTERRUPTER (BREAKERS): ALL 120 VOLT SINGLE PHASE, 15 AND 20 AMP CIRCUITS SUPPLYING OUTLETS IN A DWELLING UNIT'S BEDROOMS, LIVING, DINING, KITCHENS, HALLWAYS, CLOSETS AND SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED AFCI-FAULT CIRCUIT INTERRUPTER. AFCI-PROTECTION FOR KITCHENS

ALL NEW LIGHTS SHOULD BE HIGH EFFICACY

KEYNOTES

- (1) SMOKE DETECTOR & CARBON MONOXIDE DETECTOR: SMOKE DETECTOR TO BE INSTALLED IN ALL SLEEPING ROOMS AND AREAS SERVING THE SLEEPING ROOMS. MIN. ONE SMOKE DETECTOR ON EACH LEVEL. ALARMS AT BEDROOM TO BE PLACED WITHIN 1'-0" OF THE CENTER OF THE DOOR. INTERCONNECTION: WHERE MORE THAN ONE SMOKE ALARM IS REQ'D WITHIN A DWELLING UNIT, SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE DWELLING UNIT. ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE WITH ALL INTERVENING DOORS CLOSED. CARBON MONOXIDE DETECTOR: ARE REQUIRED ON THE HALLWAY OUTSIDE ALL BEDROOMS: AT LEAST ONE ONE EACH STORY.
- (2) STAIRS: RISE AND RUN 4" MIN. RISER, 7" MAX. RISER AND 11" MIN. TREAD RUN. (EXCEPTION: STEPS MAY BE 7.75" MAX. RISE AND 10" MIN. RUN FOR STAIRS WITHIN INDIVIDUAL DWELLING UNIT IF OCCUPANT LOAD IS <10; OR FOR STAIRS TO UNOCCUPIED ROOF). LARGEST RISE OR RUN IN A FLIGHT MAY NOT EXCEED SMALLEST BY MORE THAN 3/8". HANDRAILS: REQ'D ON STAIRS WITH 4 OR MORE RISERS. HANDRAIL HEIGHT BETWEEN 34" & 38" ABOVE LEADING EDGE OF NOSING. WITH 12" EXTENSIONS TOP & BOTTOM, RETURNED TO WALL. HANDRAILS REQUIRED AT BOTH SIDES, EXCEPT WITHIN A DWELLING UNIT. PICKETS & BALUSTERS: OPENING LESS THAN 4". 6" MAX. DIAMETER OPENING AT TREAD/RISER/BALUSTER TRIANGLE. GUARDRAIL MIN. HEIGHT 42". (EXCEPTION: WITHIN DWELLING UNIT, 36" MIN. IF HANDRAIL MOUNTED ABOVE GUARDRAIL.) LANDING REQ'D AT EVERY 12 VERTICAL FEET, MAX. LENGTH OF LANDING EQUAL TO WIDTH OF STAIRS. HEADROOM CLEARANCE MIN. 8'0" THROUGHOUT STAIRS. TREAD ANTI-SLIP: ON EXTERIOR STAIRS, PROVIDE TREAD TREATMENT TO ACHIEVE A COEFFICIENT OF FRICTION OF 1.02 DRY AND 0.98 WET.
- (3) STRUCTURE @ EXTERIOR SUPPORT STRUCTURE FOR EXTERIOR STAIRS (AND ALL OTHER EXPOSED WOOD, OR WOOD IN CONTACT WITH CONCRETE) TO BE DECAY, TERMITE AND WEATHER RESISTANT WOOD. ALL CUT ENDS TO BE TREATED WITH "COPPER GREEN" OR SIMILAR PRESERVATIVE.
- (4) LIGHT & VENTILATION: LIGHT TO HABITABLE SPACE: 8% OF FLOOR AREA, MIN. 8 SQ. FT. HABITABLE ROOMS SHALL BE NATURALLY VENTILATED WITH AN AREA 4% OF THE FLOOR AREA WITH A MIN. 4 SQ. FT. OPENINGS.
- (5) GARAGE VENTILATION: 200 SQ. INCHES MIN. FOR GARAGE OF UP TO 1,000 SQ. FT. FOR EACH ADDITIONAL 200 SQ. FT. PROVIDE ADDITIONAL 30 SQ. IN. OF CLR. VENT AREA.
- (6) BATHROOM: W.C.: MIN. OF 24" CLEARANCE IN FRONT OF W.C. 16" FROM CENTERLINE OF BOWL TO ADJACENT WALL. MAX. ALLOWABLE W.C. FLUSH RATE: 1.2 GPM @ 60 PSI GALLONS. MAX. SHOWER: 30" MIN. DIA. CIRCLE & 1024 SQ. INCHES MIN. AREA. 32" X 32" INSIDE THRESHOLD: SHOWERHEAD FLOW RATE TO BE 2.0 GPM MAX. WET AREAS: NO GYPSUM BOARD OR GREENBOARD OR PURPLE BOARD ALLOWED ON WET AREAS; USE 1/2" CEMENTITIOUS BACKERS (HARDIE BACKER OR SIM.) AS TILE OR STONE UNDER LAYMENT. FAUCETS FLOW RATE TO BE 1.8 GPM MAX.
- (7) LAUNDRY: PROVIDE FLOOR DRAIN IN CENTER OF ROOM, SLOPE MIN. 1/4" PER FOOT.
- (8) SKYLIGHTS: (WITHOUT PARAPETS) LESS THAN 5 FEET FROM PROPERTY LINE TO BE 45 MIN. RATED ASSEMBLY W/ 1-HR. ROOF/CEILING CONSTRUCTION
- (10) BEDROOM WINDOWS AT LEAST ONE PER BEDROOM SHALL MEET EGRESS REQ'S OF MIN. WIDTH 20" (WITH MIN. HEIGHT OF 41") OR MIN. HEIGHT 24" (WITH 34.2" MIN. WIDTH) TOTALING 5.7 SQ. FT. MIN. CLR. OPENING. BOTTOM OF CLR. OPENING TO BE 44" MAX ABOVE BEDROOM FLOOR.
- (11) ROOF PARAPETS: AT UNRATED ROOFS: 1-HR RATED PARAPET, 30" MIN. HEIGHT REQ'D.
- (12) ROOFING: CLASS "B" MIN. ROOFING. FLAT ROOF 2% MIN. SLOPE, 1:48.
- (13) ROOF DECK: < 500 SQ.FT. FOR COMBUSTIBLE DECKING MATERIAL. 1/8" SPACING BETWEEN PLANKS, PERIMETER OPENING CLOSED TO WITHIN 1" OF ROOF. CONSTRUCTION IS MIN. 2" NOMINAL HEART REDWOOD OR FIRE RESISTANT TREATED WOOD. GUARDRAIL MIN. HEIGHT 42". OPENING LESS THAN 4".
- (14) OVERFLOW DRAINS: SAME SIZE AS DRAIN AND 2" ABOVE LOW POINT.

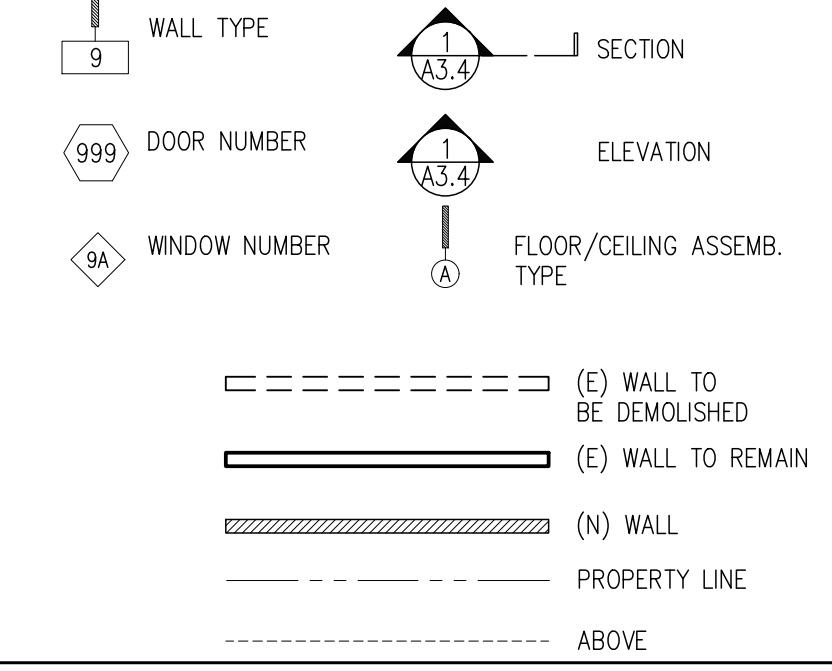
DETAILS SHEET NOTES

- (1) WALL TYPES DWGS DO NOT CONVEY STRUCTURAL (SHEAR) REQUIREMENTS. SEE STRUCT. DWGS.
- (2) FLOOR CEILING ASSEMBLIES DO NOT CONVEY STRUCTURAL REQUIREMENTS. SEE STRUCT. DWGS.

SHEET NOTES

- 1. ALL PLAN DIMENSIONS TO FACE OF ROUGH FRAMING, FACE OF CONCRETE, OR CENTER LINE OF STEEL, U.O.N.
- 2. ALL SECTION AND ELEVATION DIMENSIONS TO FINISH FLOOR.
- 3. ALL WOOD FRAMED EXTERIOR WALLS TO BE FRAMED WITH 2X6 U.O.N. INTERIOR WALLS TO BE FRAMED WITH 2X4 U.O.N. REFER TO WALL TYPES TAGS FOR EXCEPTIONS.

LEGEND



SHATARA
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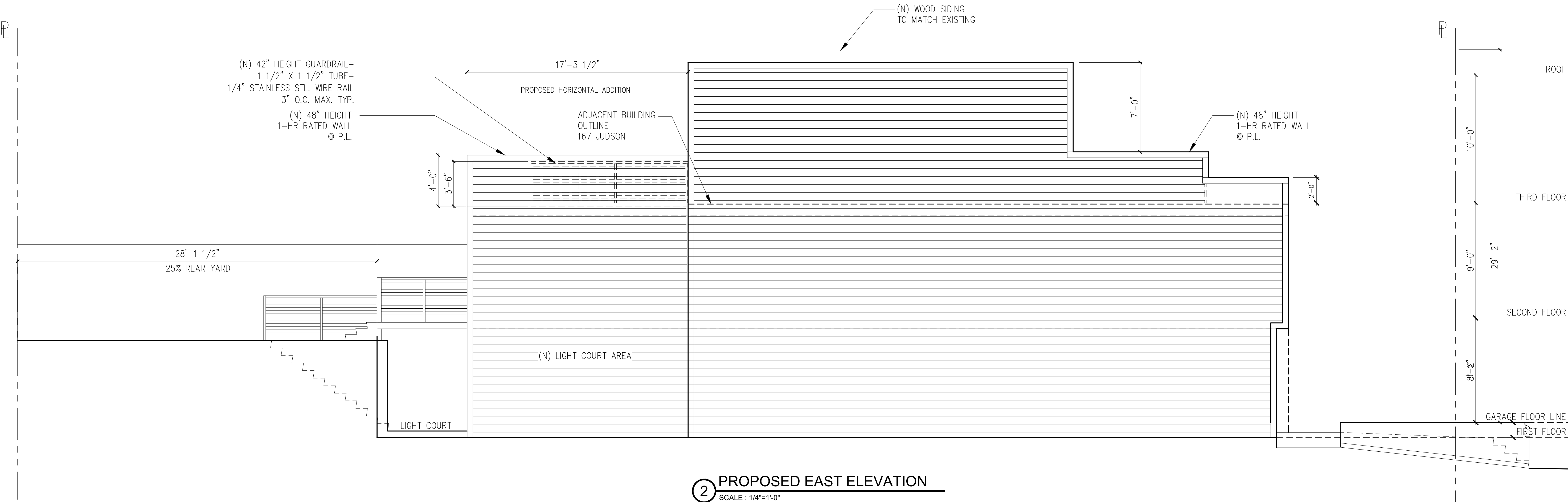
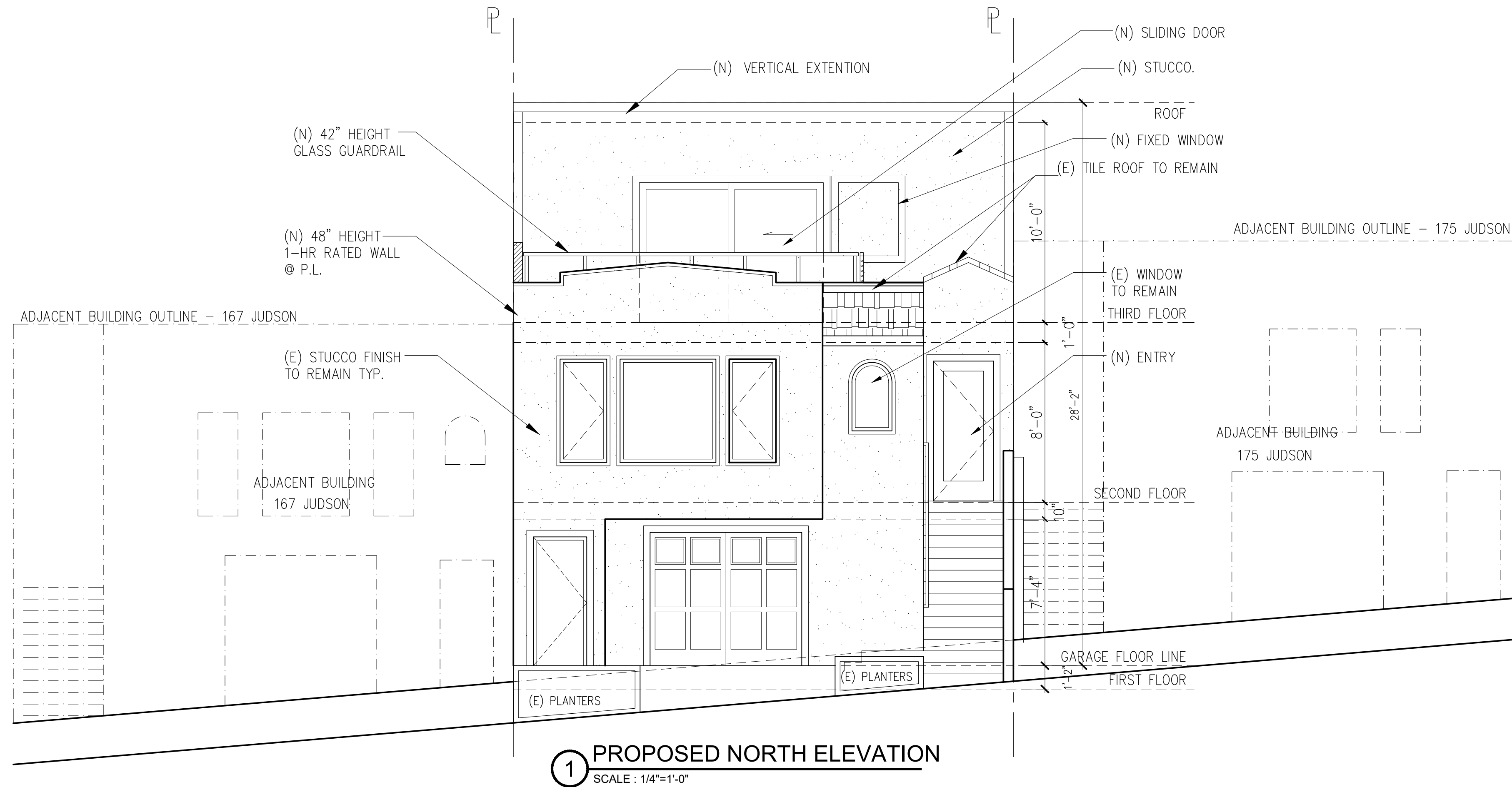
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CONTACT: SUHEIL SHATARA

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REVISION	12-19-16	
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Professional Architect Seal: No. C24700, REN 10/31/19, State of California.

SHEET DESCRIPTION
PROPOSED PLANS
A2.0



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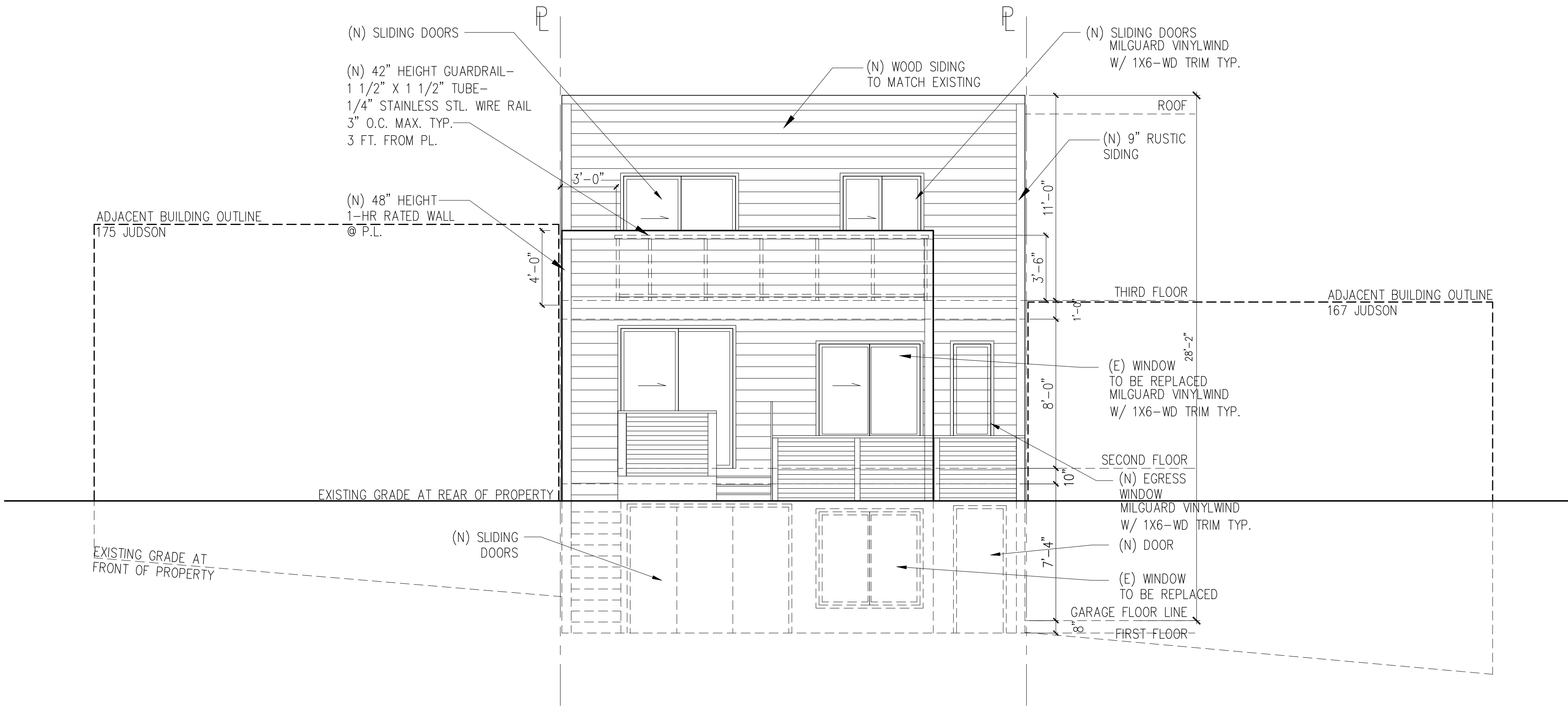
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REN 10/31/19

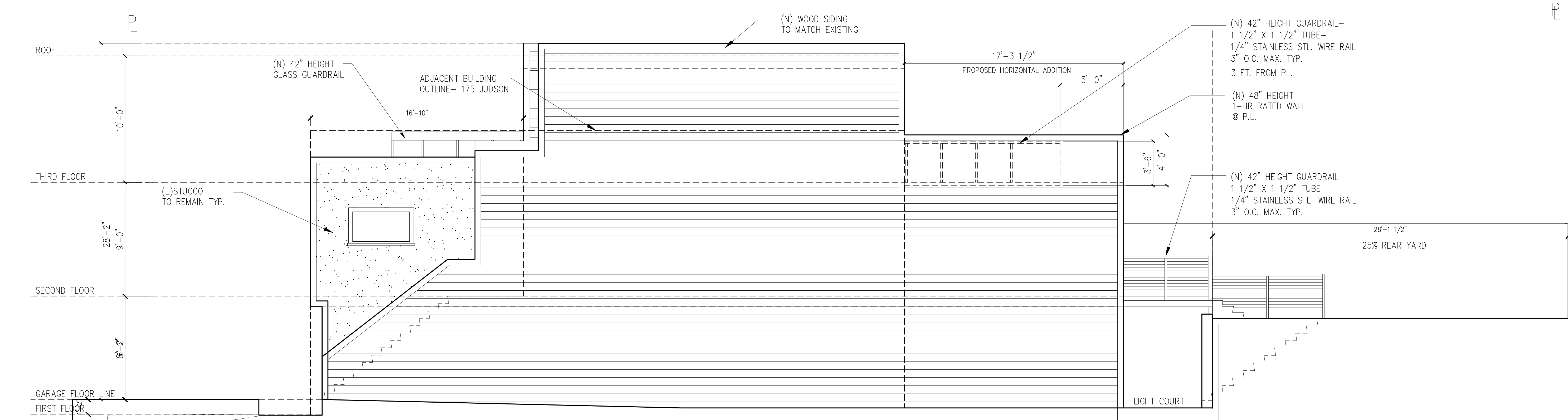
SHEET DESCRIPTION

PROPOSED
ELEVATIONS

A3.1



1 PROPOSED SOUTH ELEVATION
SCALE : 1/4"=1'-0"



2 PROPOSED WEST ELEVATION
SCALE : 1/4"=1'-0"

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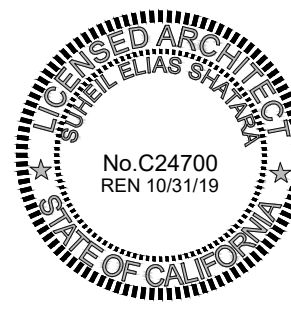
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SHEET DESCRIPTION
PROPOSED
ELEVATIONS

A3.2

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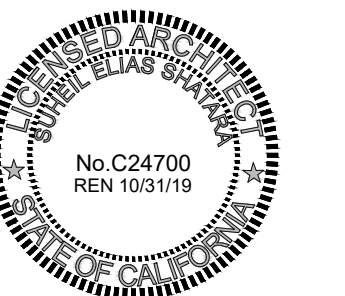
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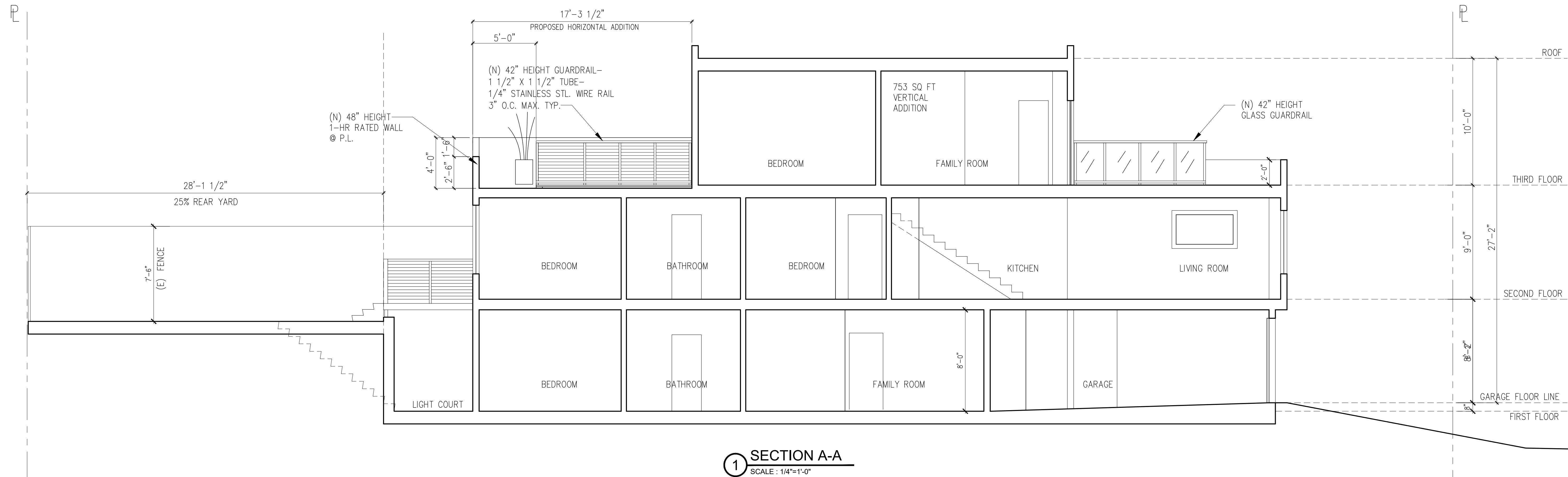
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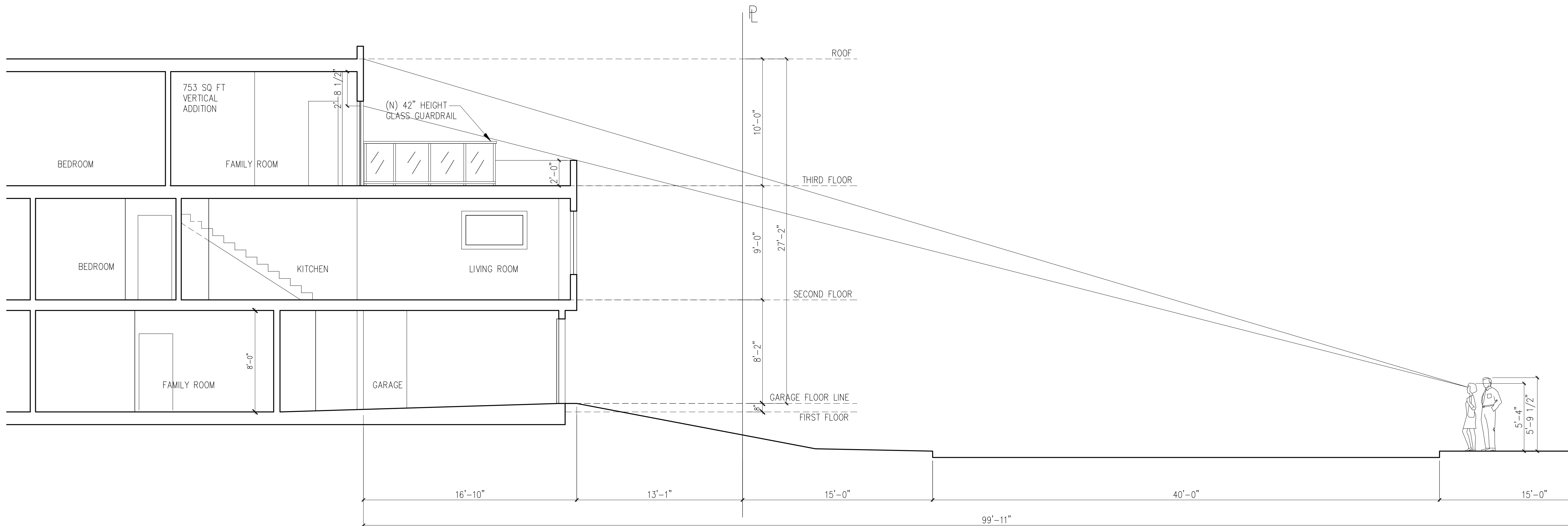
SHEET DESCRIPTION

**PROPOSED
SECTION /
VISIBILITY
ANALYSIS**

A3.3



1 SECTION A-A
SCALE : 1/4"=1'-0"



2 VERTICAL ADDITION VISIBILITY ANALYSIS

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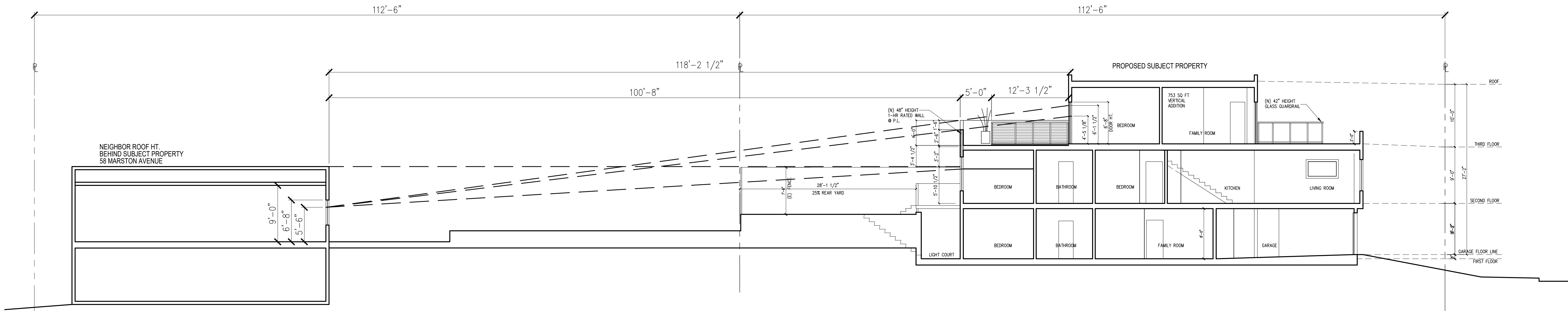
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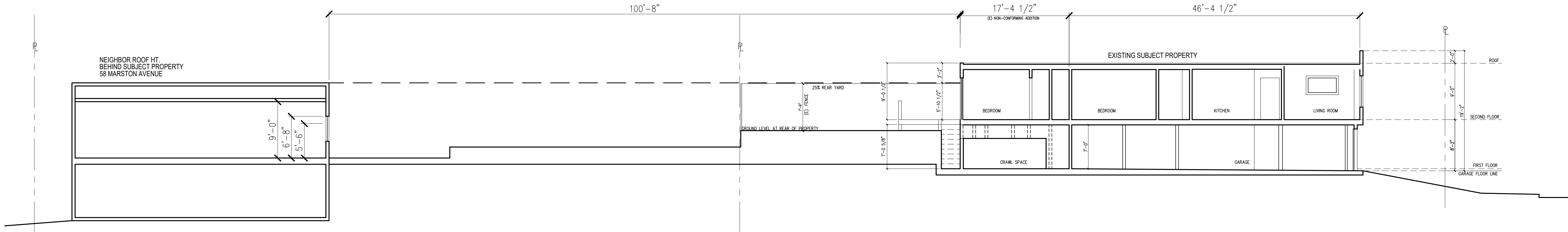
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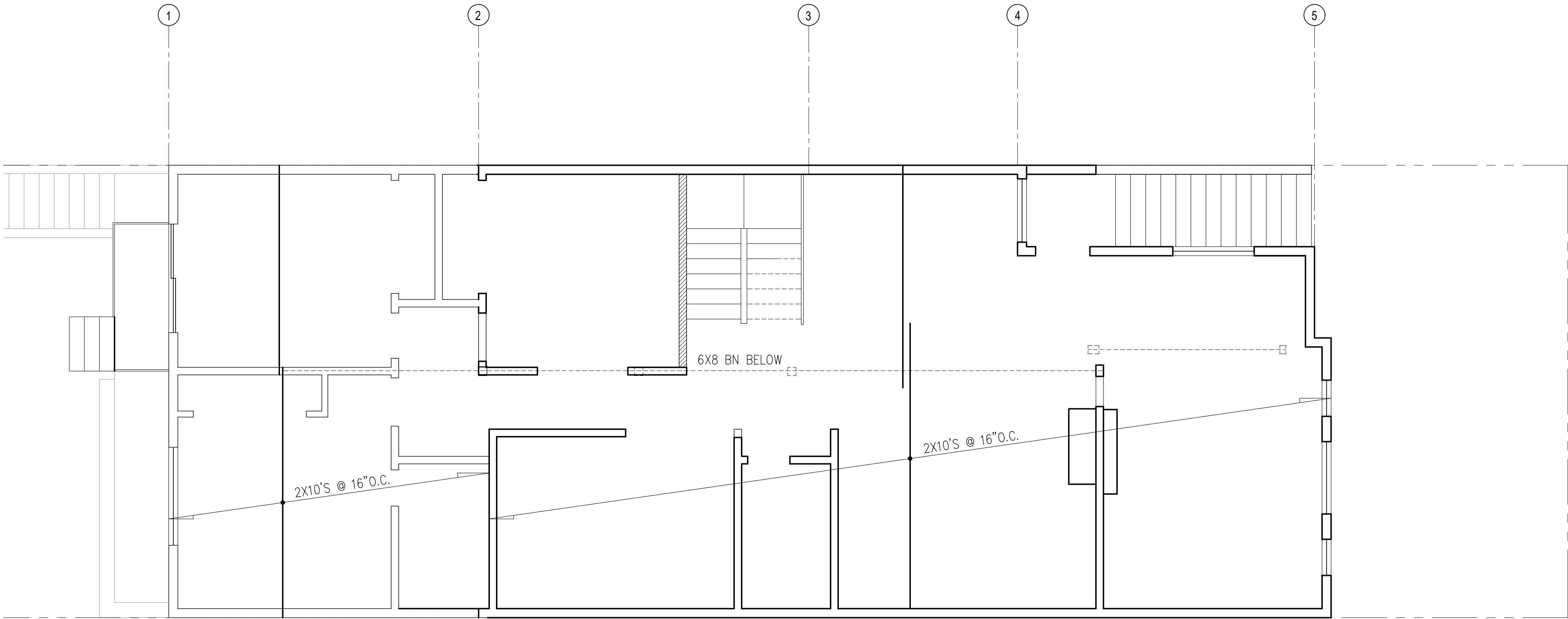
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SECTION



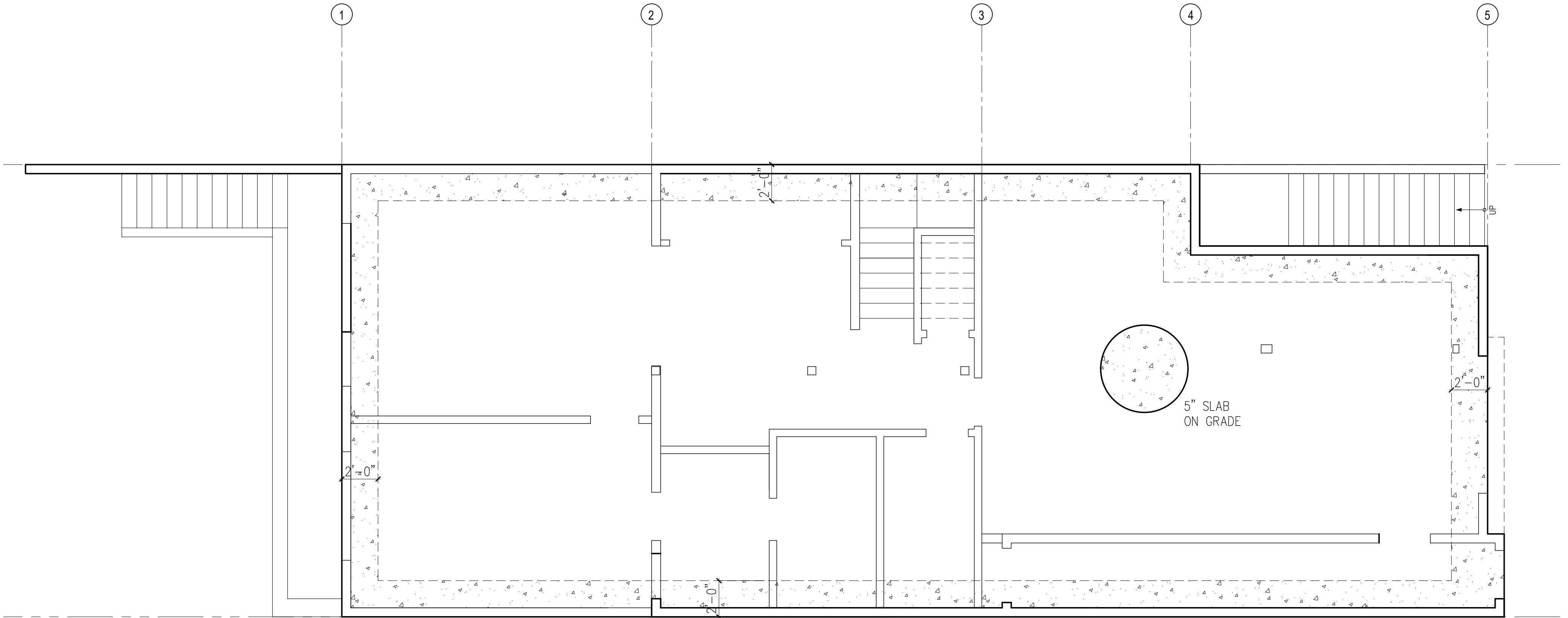
2 VERTICAL ADDITION VISIBILITY ANALYSIS
SCALE : 1/8"=1'-0"



1 EXISTING VISIBILITY ANALYSIS
SCALE : 1/8"=1'-0"



2 FIRST FLOOR FRAMING PLAN
SCALE : 1/4"=1'-0"



1 GROUND FLOOR FOUNDATION PLAN
SCALE : 1/4"=1'-0"

STRUCTURAL NOTES

NOTES & SPECIFICATIONS

1) CONCRETE

A. SELECTION OF MATERIALS , MIXING AND PLACING OF CONCRETE SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODE AND ACI REQUIREMENTS.

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WALLS: 3,000 PSI 4" SLUMP 3/4" AGGREGATE
SLAB ON GRADE: 2,500 PSI 4" SLUMP 3/4" AGGREGATE

NOTE: 3/8" PEA GRAVEL MAY BE SUBSTITUTED FOR 3/4" AGGREGATE WHERE NEEDED FOR PUMPING.

C. MINIMUM CONCRETE COVER FOR REINFORCING STEEL:

SURFACE POURED AGAINST GROUND: 3"

FRAMED SURFACES BELOW GRADE: 2"

SURFACES EXPOSED TO WEATHER: 2"

CONCRETE BEAM BARS: 1-1/2"

ALL OTHERS: 1"

D. REINFORCING STEEL. USE ASTM A615, GRADE 40 FOR #4 BARS AND SMALLER, GRADE 60 FOR #5 BARS AND LARGER. TACK WELDING HEATING OR CUTTING OF BARS IS NOT PERMITTED. STAGGER ALL SPLICES A MINIMUM OF 5 FEET.

E. ANCHOR BOLTS SHALL CONFORM TO ASTM-A36 FOR HOOKED ANCHOR BOLTS. HEADED ANCHOR BOLTS SHALL CONFORM TO ASTM A-307.

F. CONSTRUCTION JOINTS SHALL BE PREPARED BY WIRE BRUSHING AND CLEANING PREVIOUS POUR. PROVIDE 1/4 INCH AMPLITUDE MINIMUM OR KEYED JOINTS. ADD A PASTE OF CEMENT MORTAR IMMEDIATELY PRIOR TO POURING . ALL EXISTING CONCRETE SURFACES WHICH ARE TO RECEIVE NEW CONCRETE SHALL BE ROUGHENED AND WASHED CLEAN OF DUST PRIOR TO CONCRETE PLACEMENT. WAIT 48 HOURS BETWEEN POURS.

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POSTS AND BEAMS: NO. 1
STUDS AND BLOCKING: NO. 2

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C. PLYWOOD SHEATHING

ROOF SHEATHING 5/8" CD EXTERIOR APA RATED 32/16, PS1

FLOOR SHEATHING: 3/4" CD EXTERIOR APA RATED 48/24, PS1

WALL SHEATHING: 1/2" EXTERIOR APA RATED PS1

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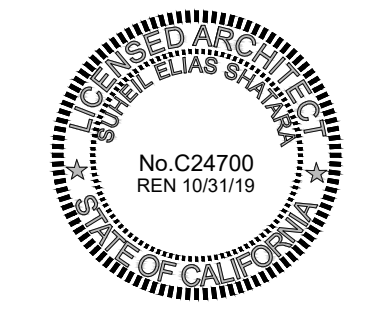
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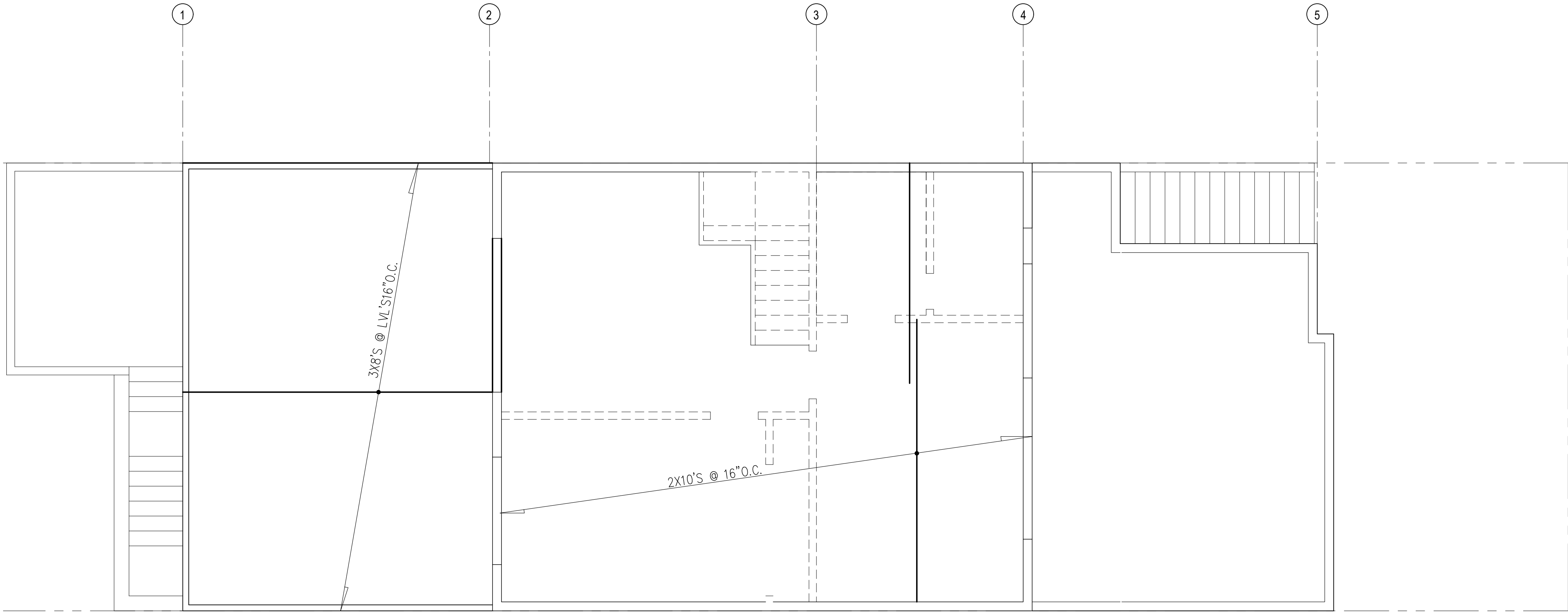
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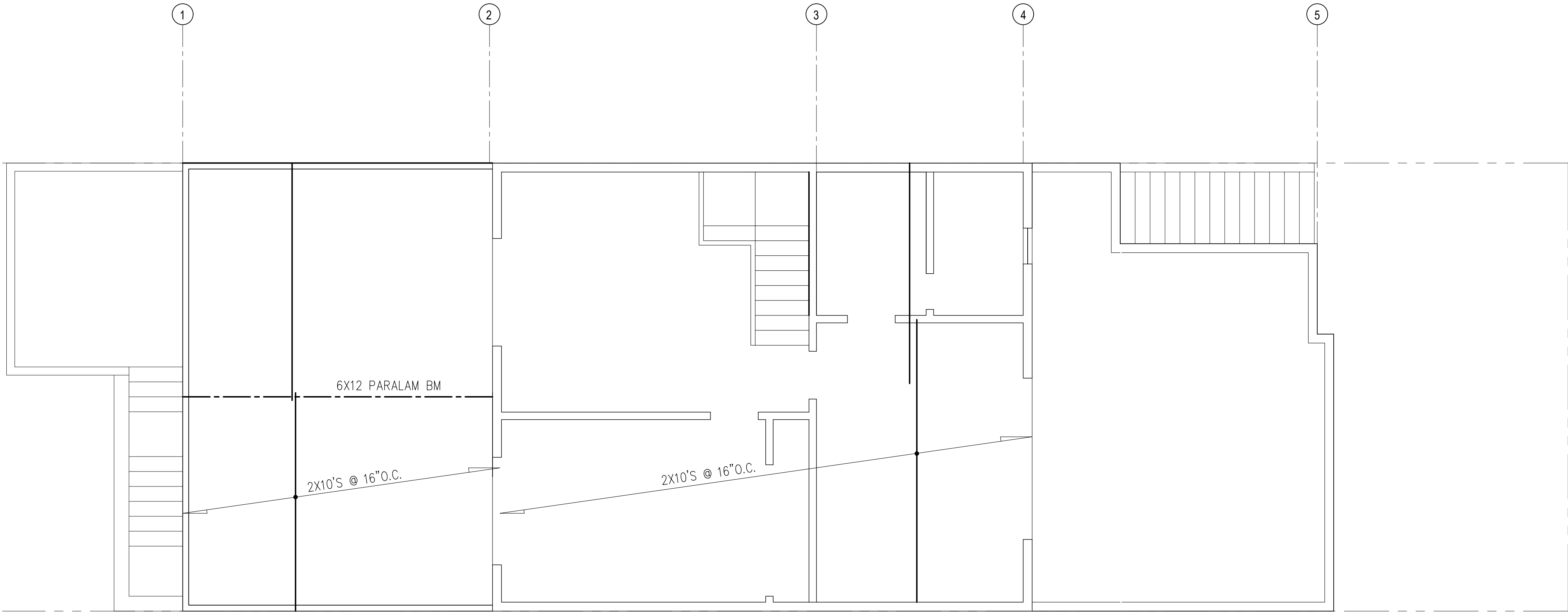


SHEET DESCRIPTION
STRUCTURAL

S1



2 ROOF FRAMING PLAN
SCALE : 1/4"=1'-0"



1 SECOND FLOOR FRAMING PLAN
SCALE : 1/4"=1'-0"

STRUCTURAL NOTES

NOTES & SPECIFICATIONS

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SHEET DESCRIPTION

STRUCTURAL

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PROJECT RESIDENTIAL REMODEL

Address
**171 JUDSON AVE
SAN FRANCISCO, CA**

**BLOCK: 3182
LOT: 032**

PROJECT DIRECTORY OWNER

ARCHITECT

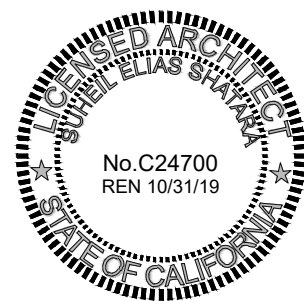
SHATARA ARCHITECTURE INC.
890 7TH STREET
SAN FRANCISCO, CA 94107
TEL: 415-512-7566
CONTACT: SUHEIL SHATARA

ISSUED DATE NO.

REVISION 12-19-16

REVISION 08-11-17

REVISION 11-20-17



SHEET DESCRIPTION

TITLE 24

T 1

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
Project Name: RESIDENCE
Calculation Date/Time: 11:51, Wed, Sep 30, 2015
Calculation Description: Title 24 Analysis
Input File Name: 126903 Shatara.xml

CF1R-PRF-01
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GENERAL INFORMATION									
01	Project Name		RESIDENCE						
02	Calculation Description		Title 24 Analysis						
03	Project Location		60 College Avenue						
04	City		San Francisco						
05	Zip Code		94112						
06	Climate Zone		C23						
07	Building Type		Single Family						
08	Project Scope		Addition and/or Alteration						
09	Total Cond. Floor Area (ft²)		1627						
10	Slab Area (ft²)		726						
11	Addition Cond. Floor Area		726						
12	Addition Slab Area (ft²)		726						

COMPLIANCE RESULTS									
01	Building Complies with Computer Performance								
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.								
03	This building incorporates one or more Special Features shown below								

ENERGY USE SUMMARY				
04	05	06	07	08
Energy Use (kWh/ft²-yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement
Space Heating	38.61	34.04	4.57	11.8%
Space Cooling	2.23	4.01	-1.78	-79.8%
IAQ Ventilation	0.00	0.00	0.00	0.0%
Water Heating	16.30	16.08	0.22	1.3%
Photovoltaic Offset	---	0.00	0.00	---
Compliance Energy Total	57.14	54.13	3.01	5.3%

Registration Number: 215-A6355702A-00000000-0000
Registration Date/Time: 2015-10-13 11:51:24
Calculation Description: Title 24 Analysis
Report Version: CF1R-08252015-744
HERS Provider: CalCERTS, Inc.
Report Generated at: 2015-09-30 11:53:05

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ATTIC										
01	02	03	04	05	06	07	08	09	10	11
Name	Construction	Type	Roof Rise	Roof Reflectance	Roof Emittance	Exterior Barrier	Cool Roof	Status	Verified Existing Condition	
Attic_Garage_---	Attic Garage Roof Cons	Ventilated	1	0.1	0.85	No	No	Existing	No	
Attic Second Floor Existing	Attic Roof/Second Floor Existing	Ventilated	5	0.1	0.85	No	No	Existing	No	

WINDOWS										
01	02	03	04	05	06	07	08	09	10	11
Name	Surface (Orientation-Azimuth)	Width(ft)	Height (ft)	Multiple r	U-factor	SHGC	Exterior Shading	Status	Verified Existing Condition	
Windows 1	North Wall (Left-0)	---	---	1	26.5	0.32	0.50	Insect Screen (default)	New	N/A
Glass Doors	South Wall (Right-180)	---	---	1	33.4	0.32	0.50	Insect Screen (default)	New	N/A
Windows 2	South Wall (Right-180)	---	---	1	25.0	0.32	0.50	Insect Screen (default)	New	N/A
Glass Doors 2	East Wall (Back-90)	---	---	1	60.0	0.32	0.50	Insect Screen (default)	New	N/A
Windows 3	West Wall (Front-270)	---	---	1	42.0	0.32	0.50	Insect Screen (default)	New	N/A
Windows 4	North Wall (Left-0)	---	---	1	62.4	0.32	0.50	Insect Screen (default)	Altered	N/A
Windows 5	North Wall 2 (Left-0)	---	---	1	77.0	0.32	0.50	Insect Screen (default)	New	N/A
Windows 6	South Wall 2 (Right-180)	---	---	1	32.0	0.32	0.50	Insect Screen (default)	Altered	N/A
Glass Doors 3	East Wall 2 (Back-90)	---	---	1	60.0	0.32	0.50	Insect Screen (default)	New	N/A
Windows 7	East Wall 2 (Back-90)	---	---	1	14.2	0.32	0.50	Insect Screen (default)	Altered	N/A
Windows 8	West Wall 2 (Front-270)	---	---	1	60.8	0.32	0.50	Insect Screen (default)	Altered	N/A
Skylight	Roof (Left-0)	---	---	1	16.0	0.32	0.50	None	New	N/A

DOORS					
01	02	03	04	05	06
Name	Side of Building	Area (ft²)	U-factor	Status	Verified Existing Condition
Door	North Wall	16.8	0.50	New	No
Door 2	Interior Surface	17.9	0.50	New	No
Door 3	South Wall 2	20.0	0.50	Existing	No

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SPACE CONDITIONING SYSTEMS								
01	02	03	04	05	06	07	08	09
Name	System Type	Name	Ducted	Name	Ducted	Distribution System	Fan System	Floor Area Served
Res HVAC1	Other Heating and Cooling System	Heating Component 1	Yes	Cooling Component 1	No	Air Distribution System 1	HVAC Fan 1	1627

HVAC - HEATING SYSTEMS								
01	02	03	04	05	06	07	08	09
Name	System Type	Name	Ducted	Name	Ducted	Distribution System	Fan System	Floor Area Served
Heating Component 1	NoCooling - No cooling equipment	CtrlPurfnace - Fuel-fired central furnace	---	---	---	---	---	---

HVAC - COOLING SYSTEMS						
01	02	03	04	05	06	07
Name	System Type	EER	SEER	Zoneally Controlled	Multi-speed Compressor	HERS Verification
Cooling Component 1	NoCooling - No cooling equipment	N/A	N/A	No	No	HERS Verification

HVAC - DISTRIBUTION SYSTEMS									
01	02	03	04	05	06	07	08	09	10
Name	Type	Duct Leakage	Insulation R-value	Supply Duct Location	Return Duct Location	Bypass Duct	Status	Verified Existing Condition	HERS Verification
Air Distribution System 1	Ducts located in attic	Sealed and tested	6.0	Attic	Attic	None	Existing + New	No	Air Distribution System 1-HERS-dist

HVAC DISTRIBUTION - HERS VERIFICATION					
01	02	03	04	05	06
Name	Duct Leakage Verification	Duct Leakage Target (%)	Verified Duct Location	Verified Duct Design	Supply
Air Distribution System 1-HERS-dist	Required	6.0	---	---	---

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REQUIRED SPECIAL FEATURES									
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.									
• Cathedral Ceiling									

HERS FEATURE SUMMARY									
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building components tables below.									
Building-level Verifications:									
• -- None --									
Cooling System Verifications:									
• -- None --									
HVAC Distribution System Verifications:									
• Duct Sealing									
Domestic Hot Water System Verifications:									
• -- None --									

ENERGY DESIGN RATING				
This is the sum of the annual TDV energy consumption for energy use components included in the performance compliance approach for the Standard Design Building (Energy Budget) and the annual TDV energy consumption for lighting and components not regulated by Title 24, Part 6 (such as domestic appliances and consumer electronics) and accounting for the annual TDV energy offset by an on-site renewable energy system.				
Reference Energy Use	Energy Design Rating	Margin	Percent Improvement	
Total Energy (kWh/ft²-yr)	110.83	107.82	3.01	2.7%

* Includes calculated Appliances and Miscellaneous Energy Use (AMEU)

BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
RESIDENCE	1627	1	3	2	0	1

ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft²)	Avg. Ceiling Height	Water Heating System 1	Water Heating System 2
First Floor Addition	Conditioned	Res HVAC1	726	9.5	DHW Sys 1	
Second Floor Existing	Conditioned	Res HVAC1	901	8.67	DHW Sys 1	

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OPAQUE SURFACE CONSTRUCTIONS						
01	02	03	04	05	06	07
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Winter Design U-value	Assembly Layers
Garage Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	none	0.302	• Inside Finish: Gypsum Board • Cavity / Frame: R-11 / 2x4 • Exterior Finish: Wood Siding/insulating/decking
Existing Garage Roof	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 16 in. O.C.	R 11	0.083	• Inside Finish: Gypsum Board • Cavity / Frame: R-11 / 2x4 • Over Floor Joists: R-11.9 insul.
Between Floors	Interior Ceilings	Wood Framed Ceiling	2x4 @ 16 in. O.C.	none	0.202	• Ceiling Below Finish: Gypsum Board • Cavity / Frame: no insul. / 2x4 • Floor Deck: Wood Siding/insulating/decking / Floor Surface: Carpeted
Attic Garage Roof Cons	Attic Roofs	Wood Framed Ceiling	2x4 Top Chord of Roof Truss @ 24 in. O.C.	none	0.644	• Cavity / Frame: no insul. / 2x4 Top Chrd • Roof Deck: Wood Siding/insulating/decking • Roofing: Light Roof (Asphalt Shingle)
R-13 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	R 13	0.095	• Inside Finish: Gypsum Board • Cavity / Frame: R-13 / 2x4 • Exterior Finish: Wood Siding/insulating/decking
R-13 Wall	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	R 13	0.092	• Inside Finish: Gypsum Board • Cavity / Frame: R-13 / 2x4 • Other Side Finish: Gypsum Board
Attic Roof/Second Floor Existing	Attic Roofs	Wood Framed Ceiling	2x4 Top Chord of Roof Truss @ 24 in. O.C.	none	0.644	• Cavity / Frame: no insul. / 2x4 Top Chrd • Roof Deck: Wood Siding/insulating/decking • Roofing: Light Roof (Asphalt Shingle)
Existing Wall Before 1978	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	none	0.302	• Inside Finish: Gypsum Board • Cavity / Frame: R-11 / 2x4 • Over Floor Joists: R-11.9 insul.
Existing Roof Before 1978	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 16 in. O.C.	R 11	0.083	• Inside Finish: Gypsum Board • Cavity / Frame: R-11 / 2x4 • Over Floor Joists: R-11

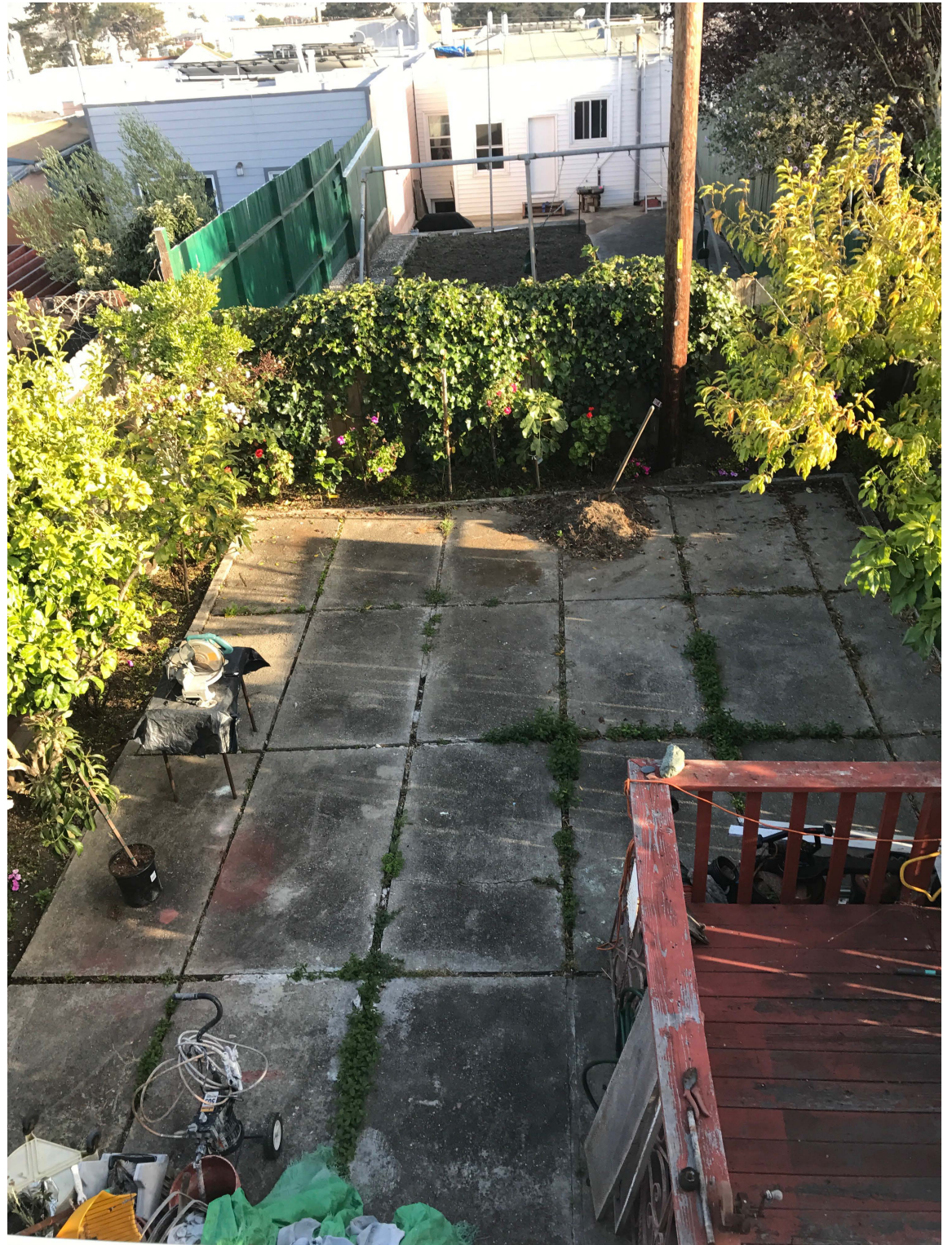
171 JUDSON AVENUE

VIEW FROM THE SUBJECT PROPERTY REAR DECK LOOKING SOUTH



171 JUDSON AVENUE

PICTURE FROM THE ROOF OF SUBJECT
PROPERTY LOOKING SOUTH



171 JUDSON AVENUE

PICTUER OF SOUTH NEIGHBOR PROPERTY



171 JUDSON AVENUE

PICTURE OF REAR EAST SOUTH NEIGHBOR PROPERTIES



171 JUDSON AVENUE

PICTURE OF REAR WEST SOUTH NEIGHBOR PROPERTIES



171 JUDSON AVENUE

PICTURE OF REAR WESTSOUTH NEIGHBOR PROPERTIES FROM THE ROOF



171 JUDSON AVENUE

PICTURE OF SOUTH ELEVATION OF SUBJECT PROPERTY

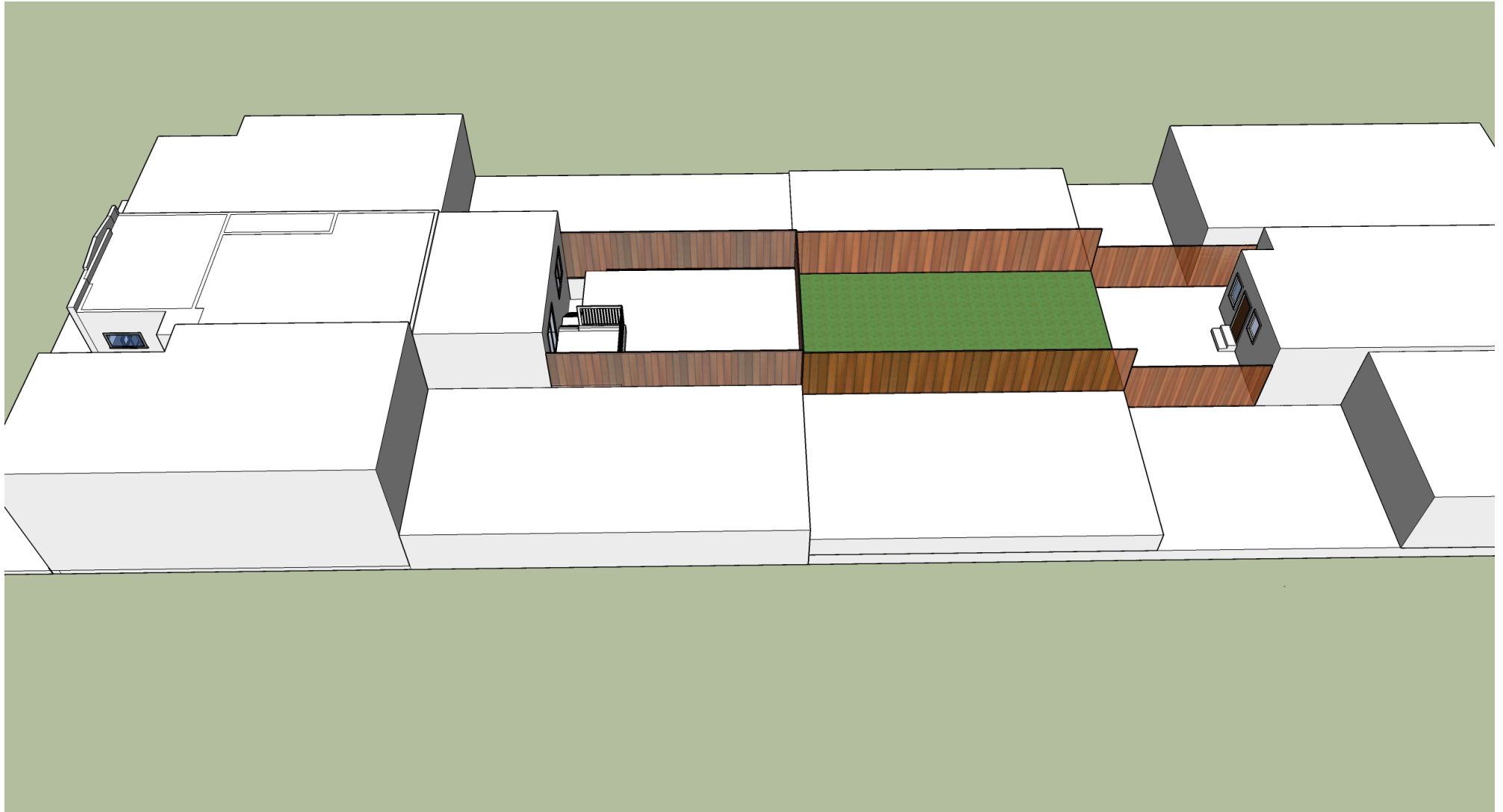


171 JUDSON AVENUE

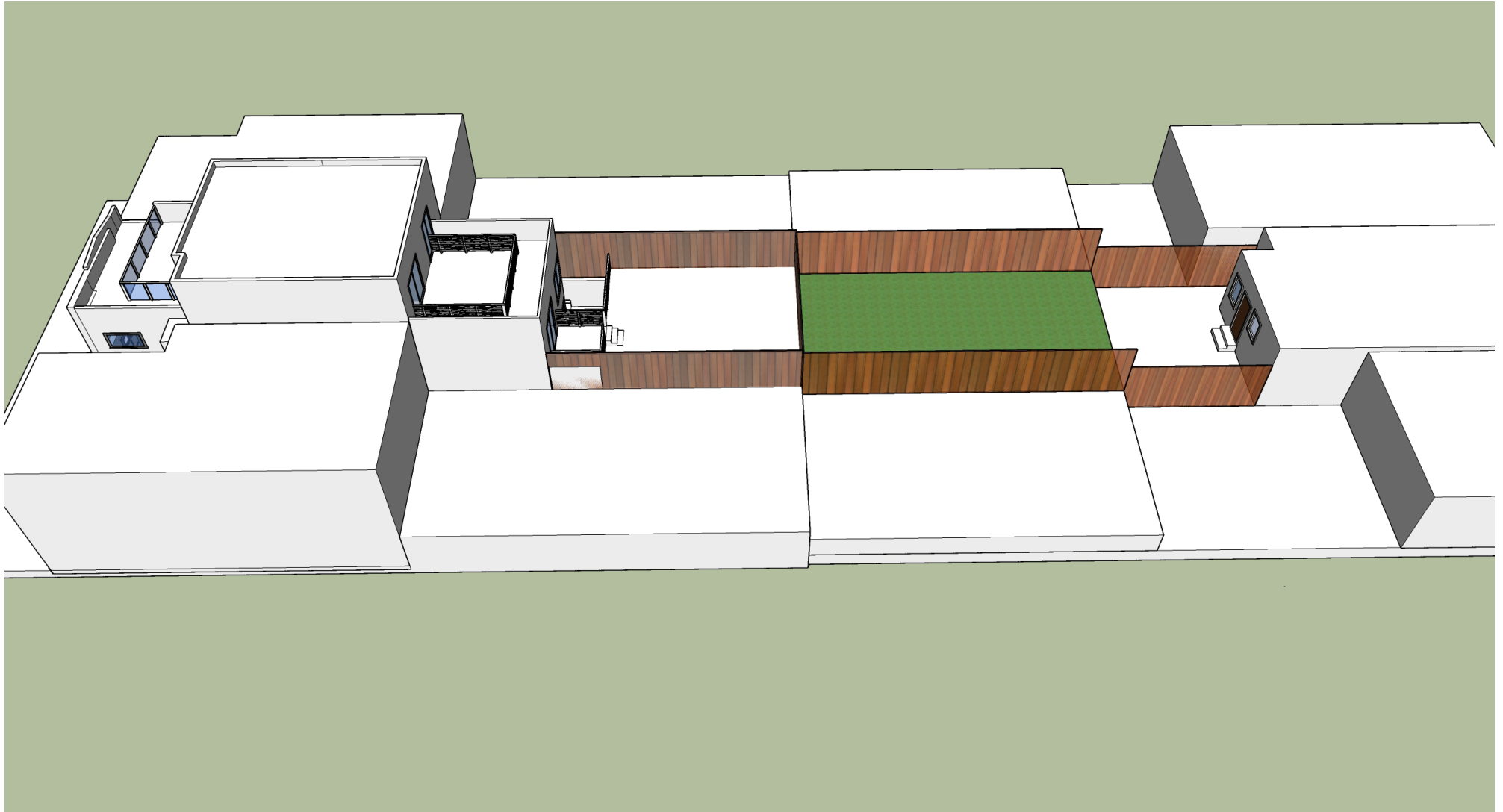
PICTURE OF NORTH ELEVATION OF SUBJECT PROPERTY



171 JUDSON AVENUE
3D VIEW (EXISITNG)



171 JUDSON AVENUE
3D VIEW (PROPOSED)



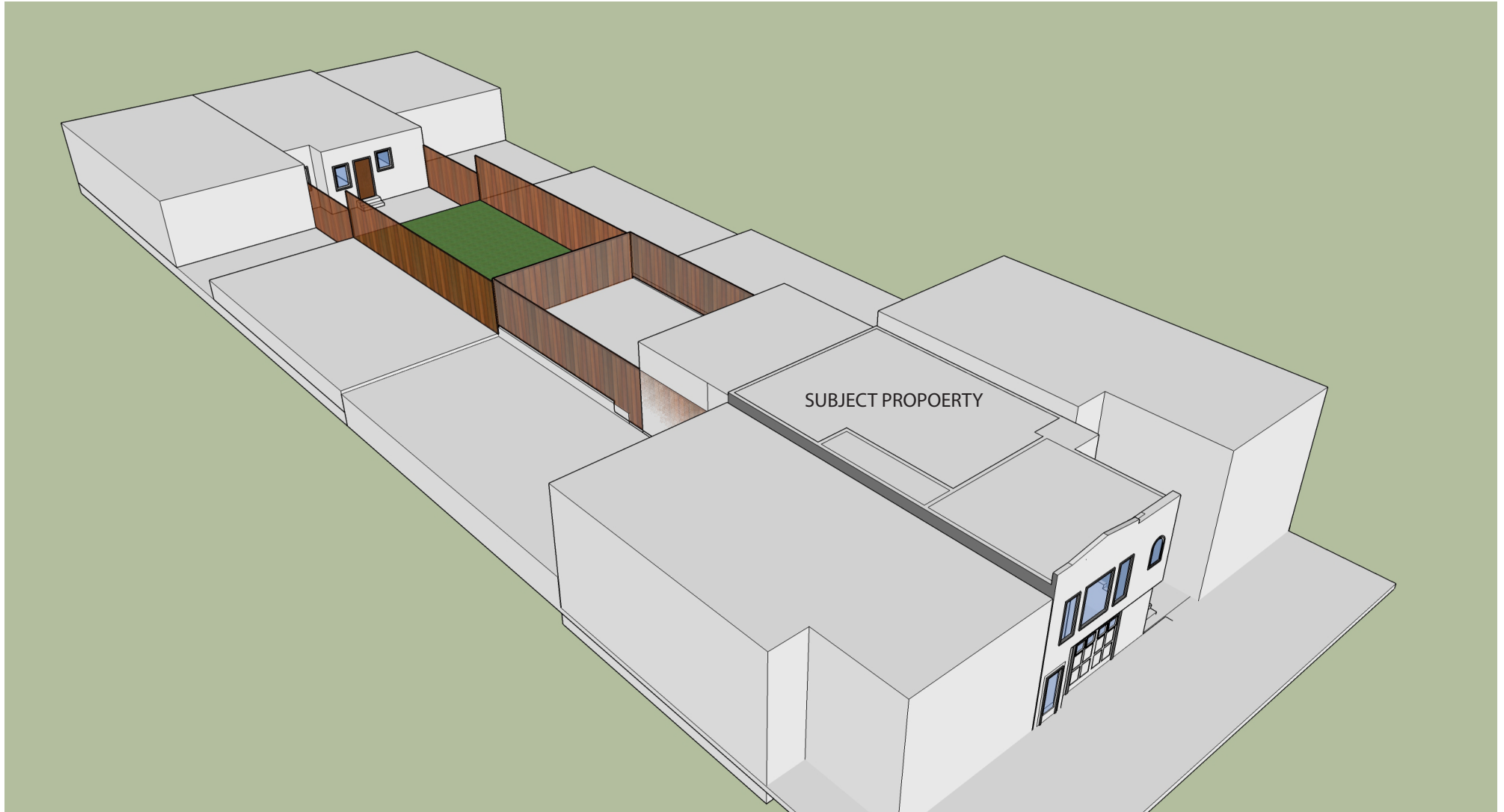
171 JUDSON AVENUE
EXISTING NORTH ELEVATION



171 JUDSON AVENUE
PROPOSED NORTH ELEVATION



171 JUDSON AVENUE
3D VIEW (EXISTING)



171 JUDSON AVENUE
3D VIEW (PROPOSED)



171 JUDSON AVENUE
EXISTING SOUTH ELEVATION

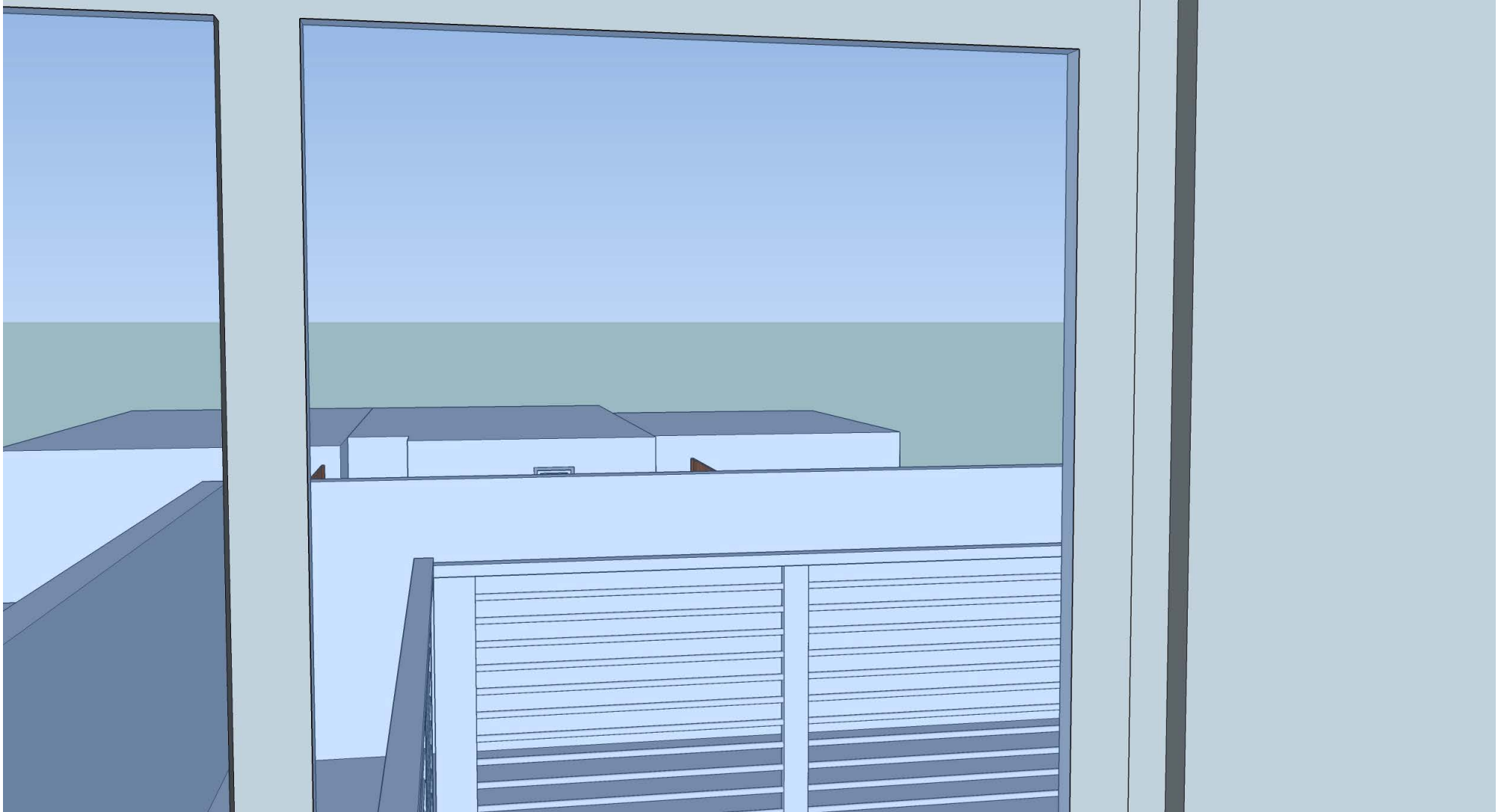


171 JUDSON AVENUE
PROPOSED SOUTH ELEVATION



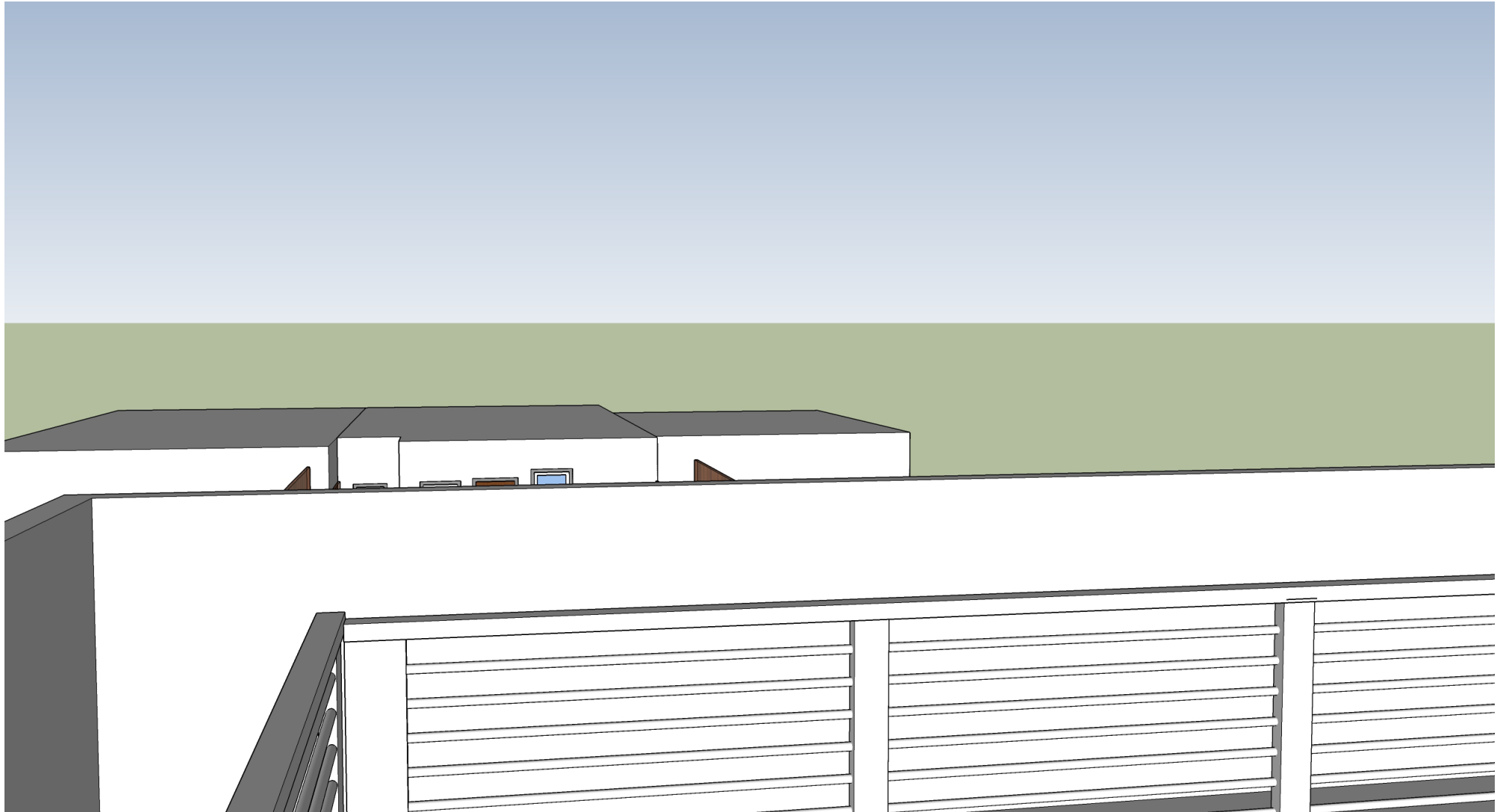
171 JUDSON AVENUE

VIEW FROM INSIDE THE BED ROOM ON SECOND FLOOR LOOKING AT NEIGHBOR REAR YARD



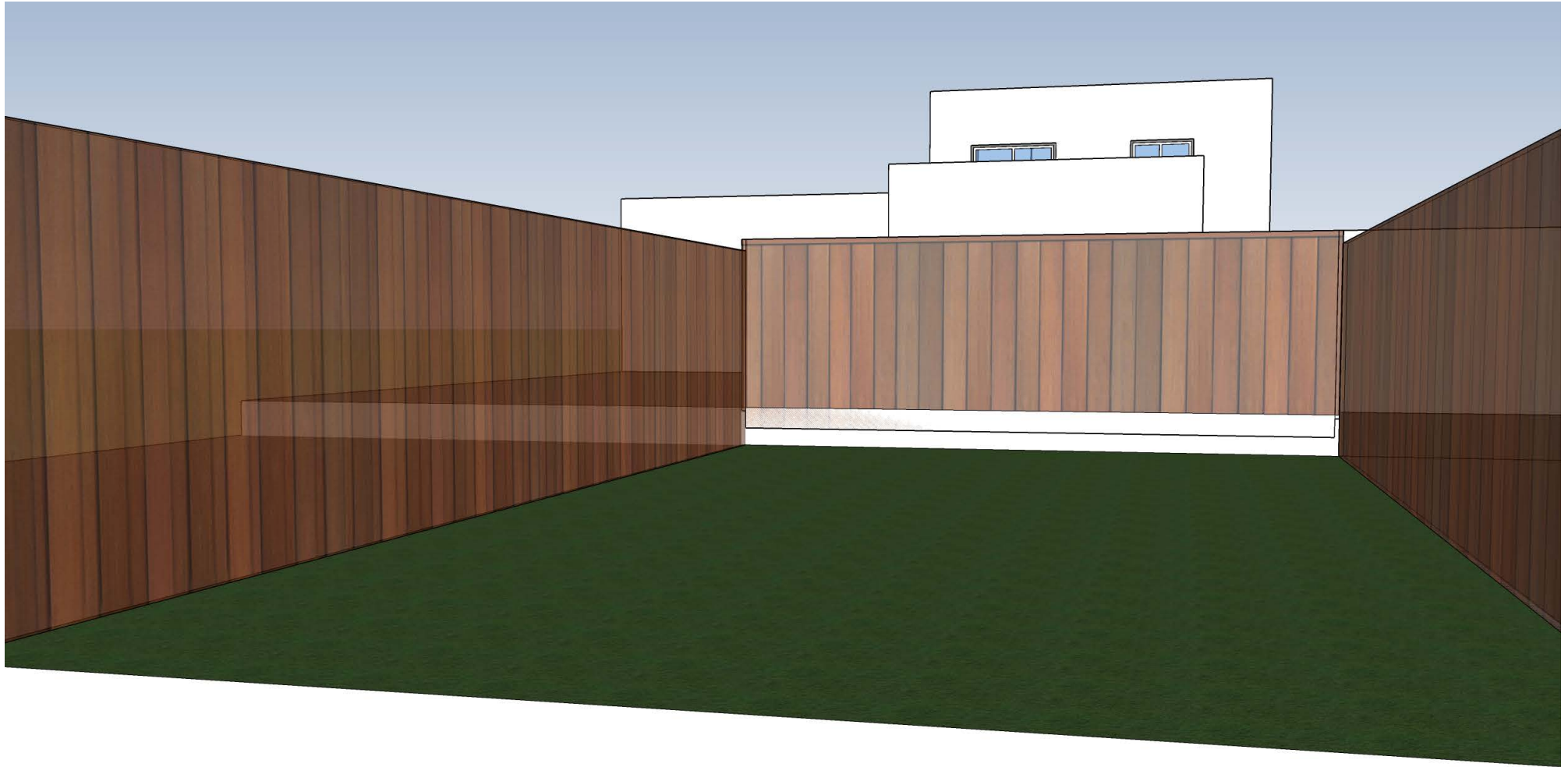
171 JUDSON AVENUE

3D VIEW FROM THE BALCONY ON SECOND FLOOR LOOKING AT NEIGHBOR REAR YARD

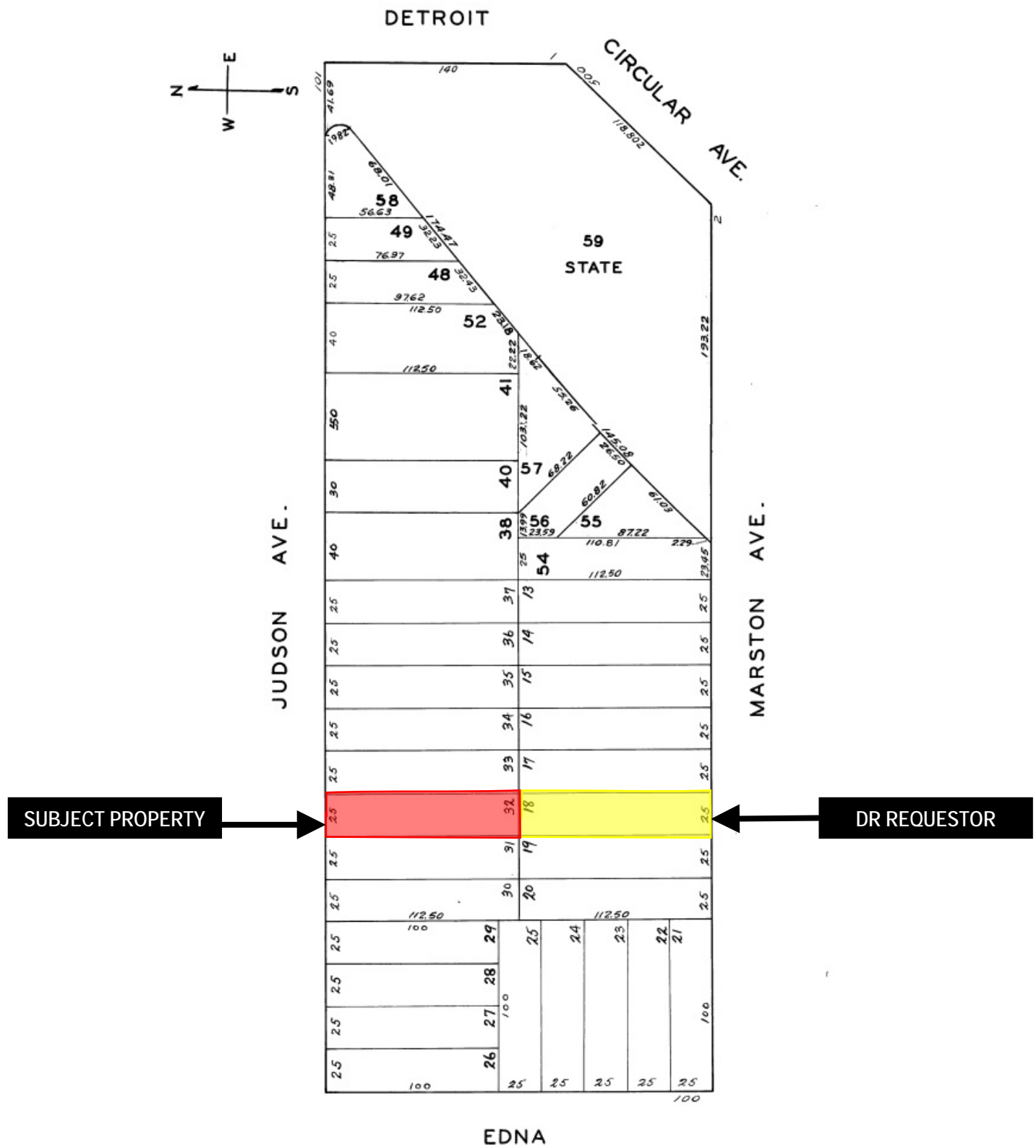


171 JUDSON AVENUE

3D VIEW FROM NEIGHBOR REAR YARD LOOKING AT THE SUBJECT PROPERTY



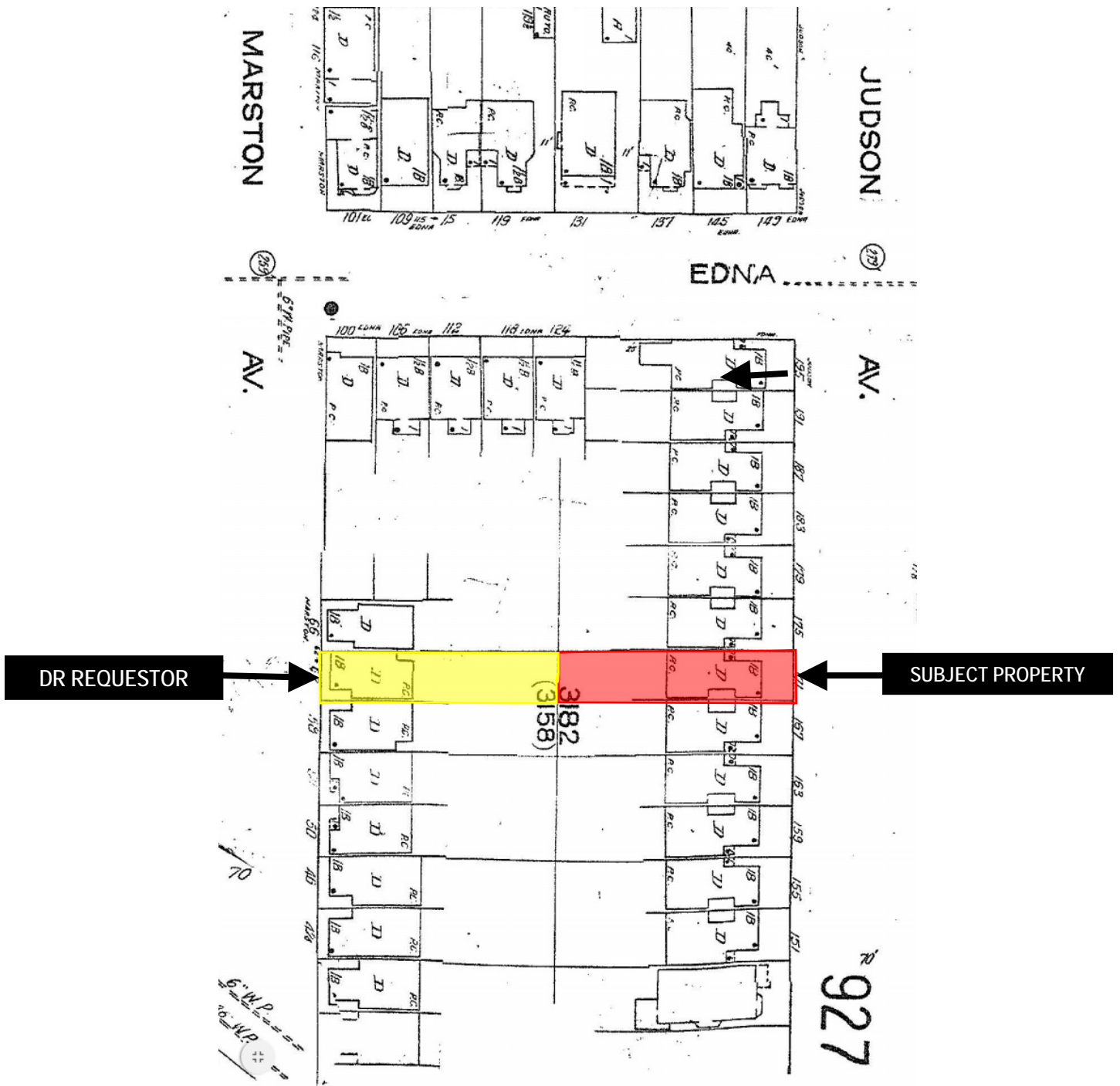
Parcel Map



Discretionary Review Hearing
Case Number 2015-018225DRP
171 Judson Avenue



Sanborn Map*

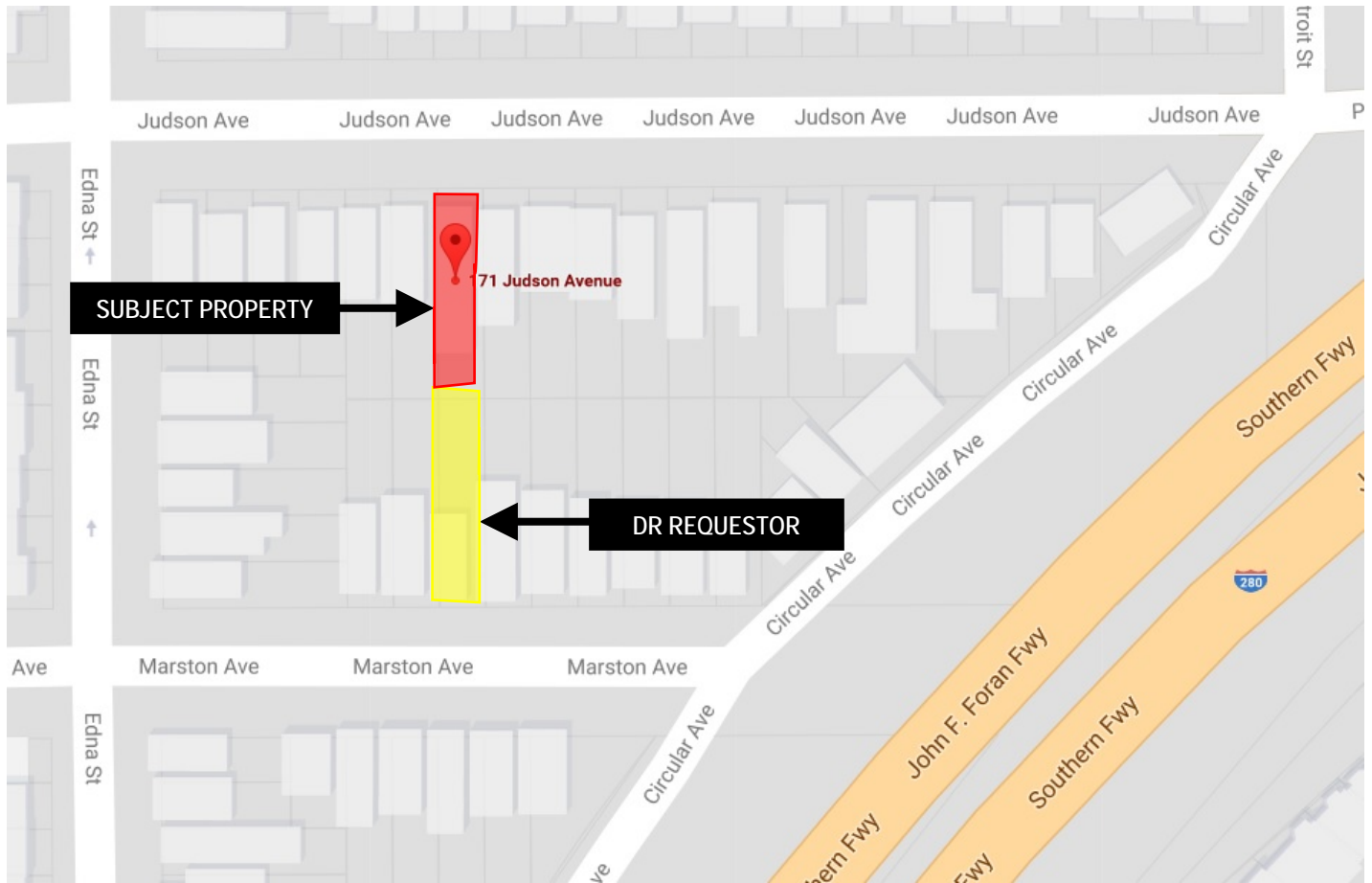


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing
Case Number 2015-018225DRP
171 Judson Avenue

Site Context



Discretionary Review Hearing
Case Number 2015-018225DRP
171 Judson Avenue

Site Photos



SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2015-018225DRP
171 Judson Avenue



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
Case No.	Permit No.	Plans Dated	
<input type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 45 years old)	<input type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval.			

STEP 1: EXEMPTION CLASS TO BE COMPLETED BY PROJECT PLANNER

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
	Class 1 – Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
	Class 3 – New Construction/ Conversion of Small Structures. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions.; ; change of use under 10,000 sq. ft. if principally permitted or with a CU. Change of use under 10,000 sq. ft. if principally permitted or with a CU.
	Class ____

STEP 2: CEQA IMPACTS TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an <i>Environmental Evaluation Application</i> is required.	
<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks)? <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Article 38 program and the project would not have the potential to emit substantial pollutant concentrations. (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollutant Exposure Zone)</i>
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the</i>

	<i>Mahe program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i>
<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)</i>
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)</i>
<input type="checkbox"/>	Slope = or > 20%: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)</i> If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones)</i> If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones)</i> If box is checked, a geotechnical report will likely be required.
<u>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an Environmental Evaluation Application is required, unless reviewed by an Environmental Planner.</u>	
<input type="checkbox"/>	Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.
Comments and Planner Signature (optional):	

STEP 3: PROPERTY STATUS – HISTORIC RESOURCE TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: <i>(refer to Parcel Information Map)</i>	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not “in-kind” but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):

<input type="checkbox"/>	<p>9. Other work that would not materially impair a historic district (specify or add comments):</p> <p style="text-align: right;"><i>(Requires approval by Senior Preservation Planner/Preservation Coordinator)</i> _____</p>
<input type="checkbox"/>	<p>10. Reclassification of property status. <i>(Requires approval by Senior Preservation Planner/Preservation Coordinator)</i></p> <p style="margin-left: 40px;"> <input type="checkbox"/> Reclassify to Category A <input type="checkbox"/> Reclassify to Category C </p> <p style="margin-left: 40px;">a. Per HRER dated: _____ <i>(attach HRER)</i></p> <p style="margin-left: 40px;">b. Other <i>(specify)</i>:</p>
<p>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.</p>	
<input type="checkbox"/>	<p>Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.</p>
<input type="checkbox"/>	<p>Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.</p>
<p>Comments (optional):</p> 	
<p>Preservation Planner Signature:</p> 	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	<p>Further environmental review required. Proposed project does not meet scopes of work in either <i>(check all that apply)</i>:</p> <p style="margin-left: 40px;"> <input type="checkbox"/> Step 2 – CEQA Impacts <input type="checkbox"/> Step 5 – Advanced Historical Review </p> <p>STOP! Must file an <i>Environmental Evaluation Application</i>.</p>			
<input type="checkbox"/>	<p>No further environmental review is required. The project is categorically exempt under CEQA.</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; padding: 5px; vertical-align: top;"> <p>Planner Name:</p> <p>Project Approval Action:</p> <p style="font-size: small;">If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p> </td> <td style="width: 50%; padding: 5px; vertical-align: top;"> <p>Signature:</p> </td> </tr> </table> <p style="font-size: small;">Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p style="font-size: small;">In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.</p>		<p>Planner Name:</p> <p>Project Approval Action:</p> <p style="font-size: small;">If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p>	<p>Signature:</p>
<p>Planner Name:</p> <p>Project Approval Action:</p> <p style="font-size: small;">If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p>	<p>Signature:</p> 			

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a “substantial modification” and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
Case No.	Previous Building Permit No.	New Building Permit No.
Plans Dated	Previous Approval Action	New Approval Action
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **November 20, 2015**, the Applicant named below filed Building Permit Application No. **2015.1109.2182** with the City and County of San Francisco.

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	171 Judson Ave	Applicant:	Suheil Shatara, Architect
Cross Street(s):	Between Edna St & Circular Ave	Address:	26 Lakeview Dr
Block/Lot No.:	3182 / 032	City, State:	Daly City, CA 94015
Zoning District(s):	RH-1 / 40-X	Telephone:	(415) 871-1229
Record No.:	2015-018225PRJ	Email:	suheil@shataraarch.com

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Façade Alteration(s)	<input checked="" type="checkbox"/> Front Addition
<input checked="" type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	Residential
Front Setback	14 inches (approx.)	No Change
Side Setbacks	None	No Change
Building Depth	63 feet (approx.)	64 feet (approx.)
Rear Yard	50 feet (approx.)	49 feet (approx.)
Building Height	19 feet (approx.)	27 feet (approx.)
Number of Stories	2	No Change
Number of Dwelling Units	1	No Change
Number of Parking Spaces	1	No Change
PROJECT DESCRIPTION		
The proposal includes the legalization and construction of a rear horizontal addition at the first and second floors, and a vertical addition of a new third floor with front and rear roof decks, and facade alterations that include a new door, on an existing single-family two-story residential dwelling. The project also includes interior alterations. See attached plans.		
The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.		

For more information, please contact Planning Department staff:

Planner: Colin B. Clarke, AICP
Telephone: (415) 575-9184
E-mail: Colin.Clarke@sfgov.org

Notice Date: 3/13/17
Expiration Date: 4/12/17

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME: Bryan Cutler		
DR APPLICANT'S ADDRESS: 58 Marston Ave., San Francisco CA	ZIP CODE: 94112	TELEPHONE: (714)323-6401
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: NAZERI AKBAR MOINI		
ADDRESS: 171 Judson Ave., San Francisco CA	ZIP CODE: 94112	TELEPHONE: ()
CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/> <input type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE: ()
E-MAIL ADDRESS: cutlerb@gmail.com		

2. Location and Classification

STREET ADDRESS OF PROJECT: 171 Judson Ave.		ZIP CODE: 94112		
CROSS STREETS: Between Edna St. and Circular Ave.				
ASSESSORS BLOCK/LOT: 3182 /032	LOT DIMENSIONS: 12.5 Depth	LOT AREA (SQ FT): 2,812.5	ZONING DISTRICT: RH-1	HEIGHT/BULK DISTRICT: 40-X

3. Project Description

Please check all that apply

Change of Use ☐ Change of Hours ☐ New Construction ☒ Alterations ☒ Demolition ☐ Other ☒Additions to Building: Rear ☒ Front ☒ Height ☒ Side Yard ☒

Residential

Present or Previous Use:

Proposed Use: Residential

Building Permit Application No. 2015.1109.2182

Date Filed: 11/9/2015

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

My neighbors and I had a meeting with permit applicant, Mr. Shatara. We relayed our concerns about the proposed plans to him and were promised additional drawings and measurements of possible changes to the project. We received nothing from him and he stopped responding to our communications and attempts for a resolution.

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

We believe the proposed vertical addition with rear deck and total of 7 bedrooms will drastically change the character of our neighborhood. Our block, in particular, has a visual character that is uniform in scale with no homes having a third story addition or rear deck, that I am aware of. The proposed plans will disrupt the existing pattern and be an eye sore, especially with the rear deck that will sit high above the fence line and be visible from nearly every backyard in the block where none currently exist.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

I just recently purchased the property directly behind the project location and a large part of my decision was due to the neighborhood character. It was nice to see a neighborhood that followed a clear pattern of modest single-family homes that did not encroach on each other, where I can feel comfortable raising my daughter. The proposed additions will immediately change this for my property and others on our block as the vertical additions will stick out. They will make it less desirable for families and the unifying character will be lost.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

We were informed that previous plans were submitted that provided a depth expansion but did not change the building height or add a rear deck. Reverting back to these plans should allow expansion that is still in-line with other single-family homes in our block while retaining the character of our neighborhood.

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: Bryan Cutler

Date: 4/12/17

Print name, and indicate whether owner, or authorized agent:

Bryan Cutler
☒ Owner ☐ Authorized Agent (circle one)

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input type="checkbox"/>
Covenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

NOTES:

☐ Required Material.☒ Optional Material.☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

Bryan Cutler 4/12/17

For Department Use Only

Application received by Planning Department:

By: M. Corrette

Date:

APR 12 2017

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT

171 Judson Ave / 2015-018225PRJ / BPA-2015.1109.2182

Additional Note With Concerned Party Contact

I, Bryan Cutler, am submitting this DR application on behalf of myself and my neighbors listed below with contact information. We have had many discussions on the proposed plans and the impact it will have on each of our properties and neighborhood as a whole. We all share the same belief that these additions, as is, will drastically change our neighborhood character in a negative way, and we seek a compromise that will allow for expansion while maintaining the character of the neighborhood we care so much about.

Menka and Thomas Quinto
54 Marston Ave.
San Francisco, CA 94112

Kristen Tucker and Alfredo Vergara-Lobo
62 Marston Ave.
San Francisco, CA 94112

171 Judson Ave / 2015-018225PRJ / BPA-2015.1109.2182

Abutting Properties and Those Across the Street

#3182 / #017

Menka Quinto

54 Marston Ave., San Francisco, CA 94112

#3182 / #018

Bryan Cutler

58 Marston Ave., San Francisco, CA 94112

#3182 / #019

Alfredo Vergara-Lobo

62 Marston Ave., San Francisco, CA 94112

#3182 / #033

Crystal Alvarado, Miguel Cota

167 Judson Ave., San Francisco, CA 94112

#3182 / #031

ALI MOINI

175 Judson Ave., San Francisco, CA 94112

#3156 / #018

Mark Siobal

162 Judson Ave., San Francisco, CA 94112

#3156 / #019

Diana S Prasad

166 Judson Ave., San Francisco, CA 94112

#3156 / #020

Kenny Kwong

170 Judson Ave., San Francisco, CA 94112

#3156 / #021

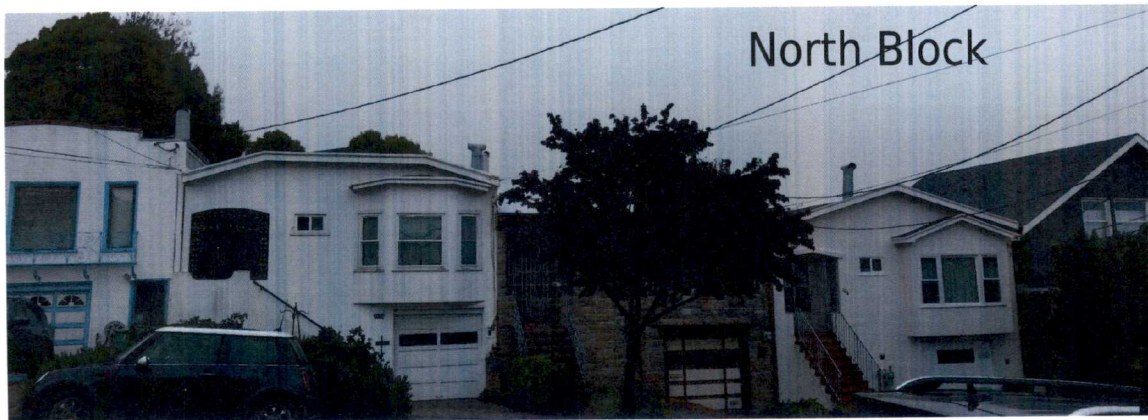
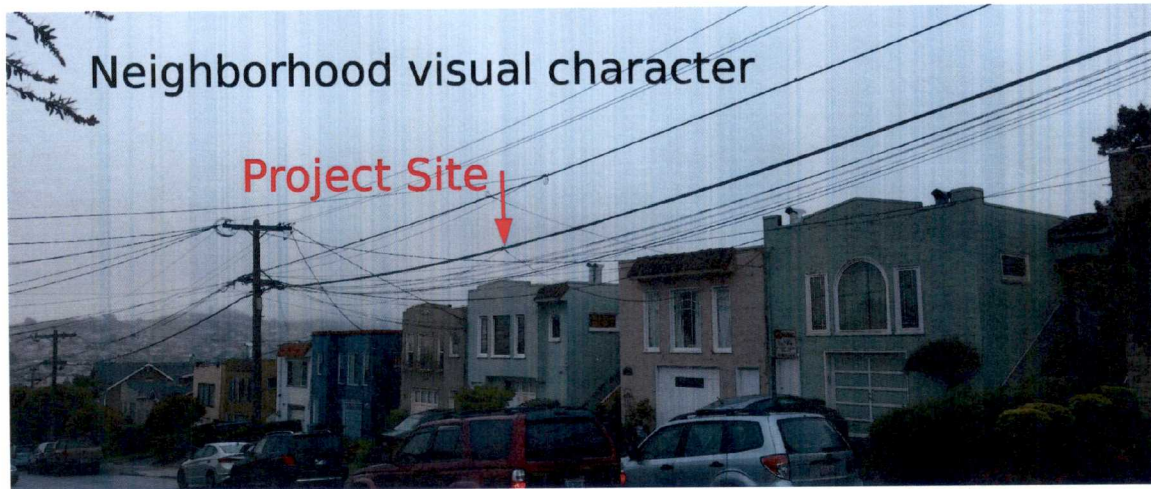
Cecilia and Martin Lahiff

174 Judson Ave., San Francisco, CA 94112

#3156 / #022

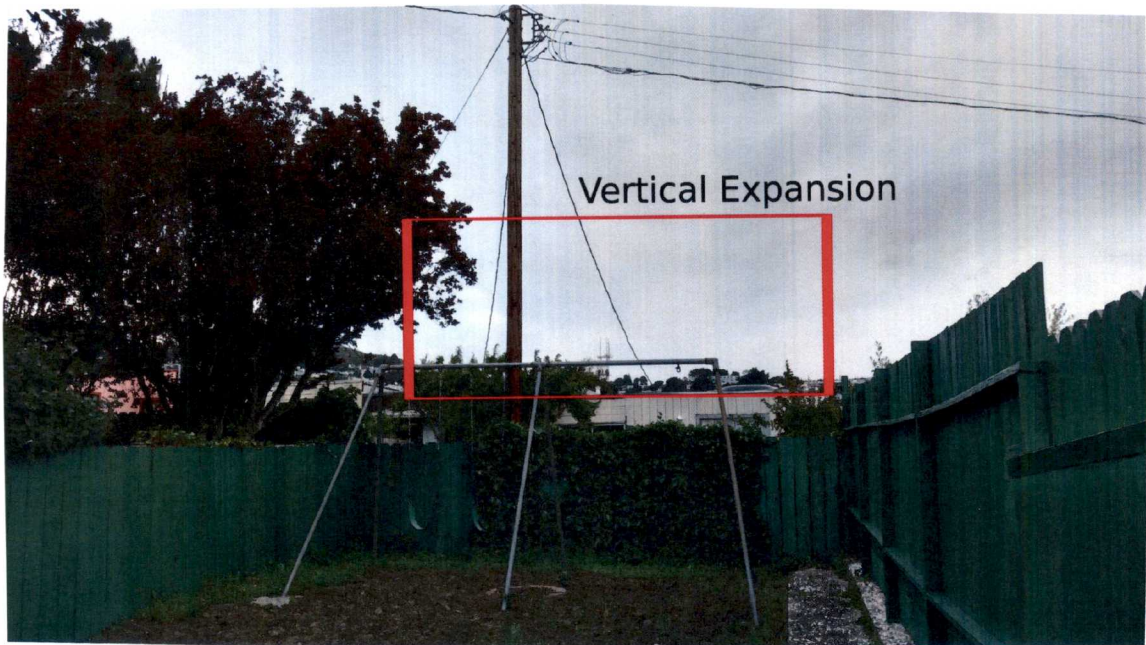
Dennis Chan

176 Judson Ave., San Francisco, CA 94112

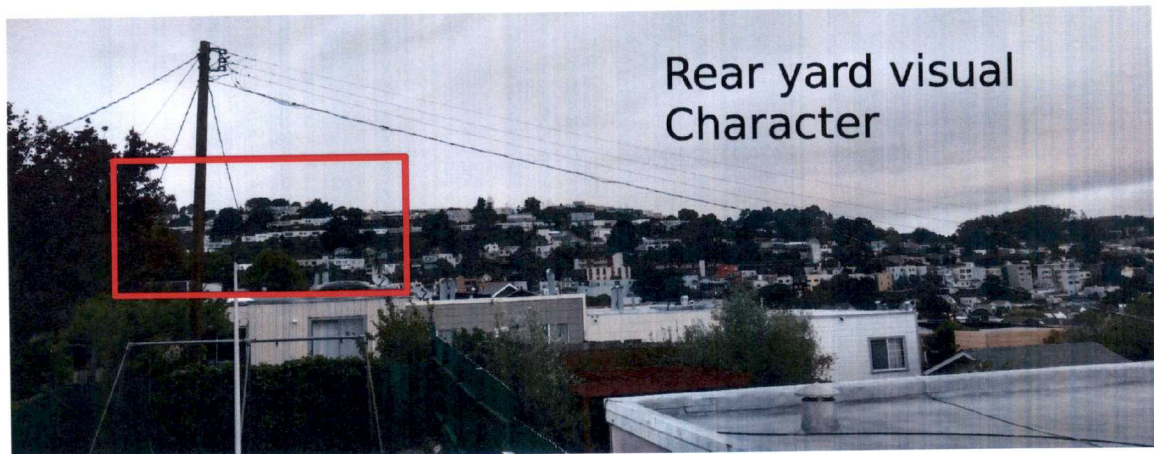


South Block





Vertical Expansion



Rear yard visual
Character

RESPONSE TO DISCRETIONARY REVIEW (DRP)



**San Francisco
Planning**

SAN FRANCISCO PLANNING DEPARTMENT
1650 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94103-2479
MAIN: (415) 558-6378 SFPLANNING.ORG

Project Information

Property Address: 171 Judson

Zip Code: 94112

Building Permit Application(s): 2015.1109.2182

Record Number:

Assigned Planner: Sylvia Jimenez

Project Sponsor

Name: Suheil Shatara

Phone: (415) 512-7566

Email: suheil@shataraarch.com

Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

The project complies with the planning code, neighbors have concern for the privacy even though we are more than 100' away from the neighbors and additional set back the all 3 sides to provide additional privacy to adjacent neighbors and neighbors behind the subject .

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

We made a suggestion to keep the solid wall for the 30" parapet wall around the deck and set back the guardrail 5' back from the back of the building to accommodate additional privacy for the rear neighbor

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

The existing structure at the rear which is the second floor of the project has been there for over 30 years without the benefit of a permit. The intent of the project is to comply with the rear structure and to add additional floor for the family and aging relatives needs

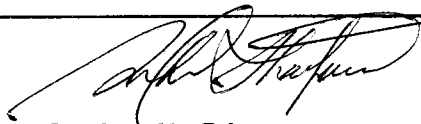
Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)	1	1
Occupied Stories (all levels with habitable rooms)	1	2
Basement Levels (may include garage or windowless storage rooms)	1	1
Parking Spaces (Off-Street)	1	1
Bedrooms	3	5
Height	23' 2"	33'2"
Building Depth	63'4"	63'4"
Rental Value (monthly)	0	0
Property Value		

I attest that the above information is true to the best of my knowledge.

Signature:



Printed Name: **Suheil Shatara**

Date:

8/10/17

- ☐ Property Owner
☒ Authorized Agent

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.