



# SAN FRANCISCO PLANNING DEPARTMENT

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## Discretionary Review Abbreviated Analysis

HEARING DATE: AUGUST 24, 2017

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

*Date:* August 7, 2017  
*Case No.:* **2015-018225DRP**  
*Project Address:* **171 JUDSON AVENUE**  
*Permit Application:* 2015.11.09.2182  
*Zoning:* RH-1 [Residential House, Single Family]  
40-X Height and Bulk District  
*Block/Lot:* 3182/032  
*Project Sponsor:* Suheil Shatara  
26 Lakeview Drive  
Daly City, CA 94015  
*Staff Contact:* Sylvia Jimenez – (415) 575-9187  
[Sylvia.Jimenez@sfgov.org](mailto:Sylvia.Jimenez@sfgov.org)  
*Recommendation:* **Do not take DR and approve as proposed**

### PROJECT DESCRIPTION

The proposal includes a renovation and addition to an existing two-story, single-family residential building. The project consists of legalizing and constructing a rear horizontal addition at the first and second floors as well as a third story vertical addition. The proposal also includes new roof decks at the front and rear of the residential building. The proposed rear addition has a depth of approximately 17 feet 7 inches and width of 20 feet, and has been redesigned to have a five foot setback along the east (right) side and an approximately 35 foot rear setback. The overall height of the building will be approximately 27 feet 2 inches. The proposed roof decks are proposed to have stainless steel cable railing.

### SITE DESCRIPTION AND PRESENT USE

The project is on the south side of Judson Avenue, between Edna Street and Circular Avenue, Block 3182, Lot 032 and located within the RH-1 (Residential House, Single-Family) Zoning District with 40-X height and Bulk designation. The 2,812.5 sq. ft. lot has 25 feet of frontage, a depth of 112 feet 6 inches and is developed with an existing two-story single-family residence. A two-story rear addition was constructed without the benefit of a permit and is currently proposed to be modified and legalized through this building permit application.

### SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is located in the Outer Mission neighborhood, District 7 and within the RH-1 Zoning District. Parcels within the immediate vicinity consist of residential one and two-story single-family dwellings of varied design and construction dates.

## BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATES	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	March 13, 2017- April 12, 2017	April 12, 2017	August 24, 2017	134 days

## HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	August 14, 2017	August 14, 2017	10 days
Mailed Notice	10 days	August 14, 2017	August 14, 2017	10 days

## PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbors	-	1 (DR requestor)	-
Neighbors on the block or directly across the street	-	-	-
Other neighbors	-	-	-

## DR REQUESTOR

Bryan Cutler, 58 Marston Avenue – rear of subject property, 171 Judson Avenue

## DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Application*, dated April 12, 2017

## PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*, dated August 11, 2017

## ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e)

Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

## **RESIDENTIAL DESIGN TEAM REVIEW**

The Residential Design Team (RDT) reviewed the project following the submittal of the Request for Discretionary Review and found that the proposed project meets the standards of the Residential Design Guidelines (RDGs).

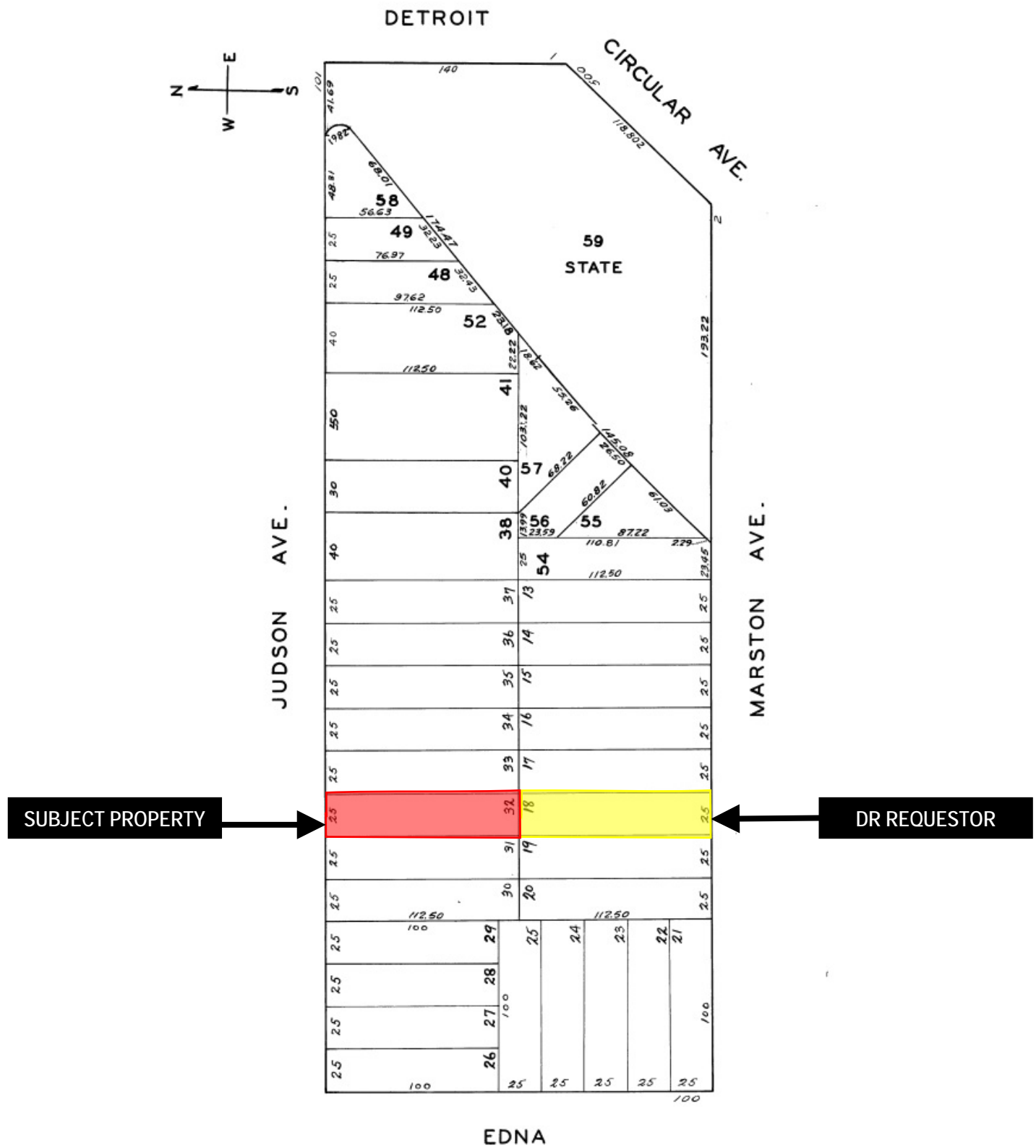
**Under the Commission’s pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.**

<b>RECOMMENDATION:</b> <b>Do not take DR and approve project as proposed</b>
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### **Attachments:**

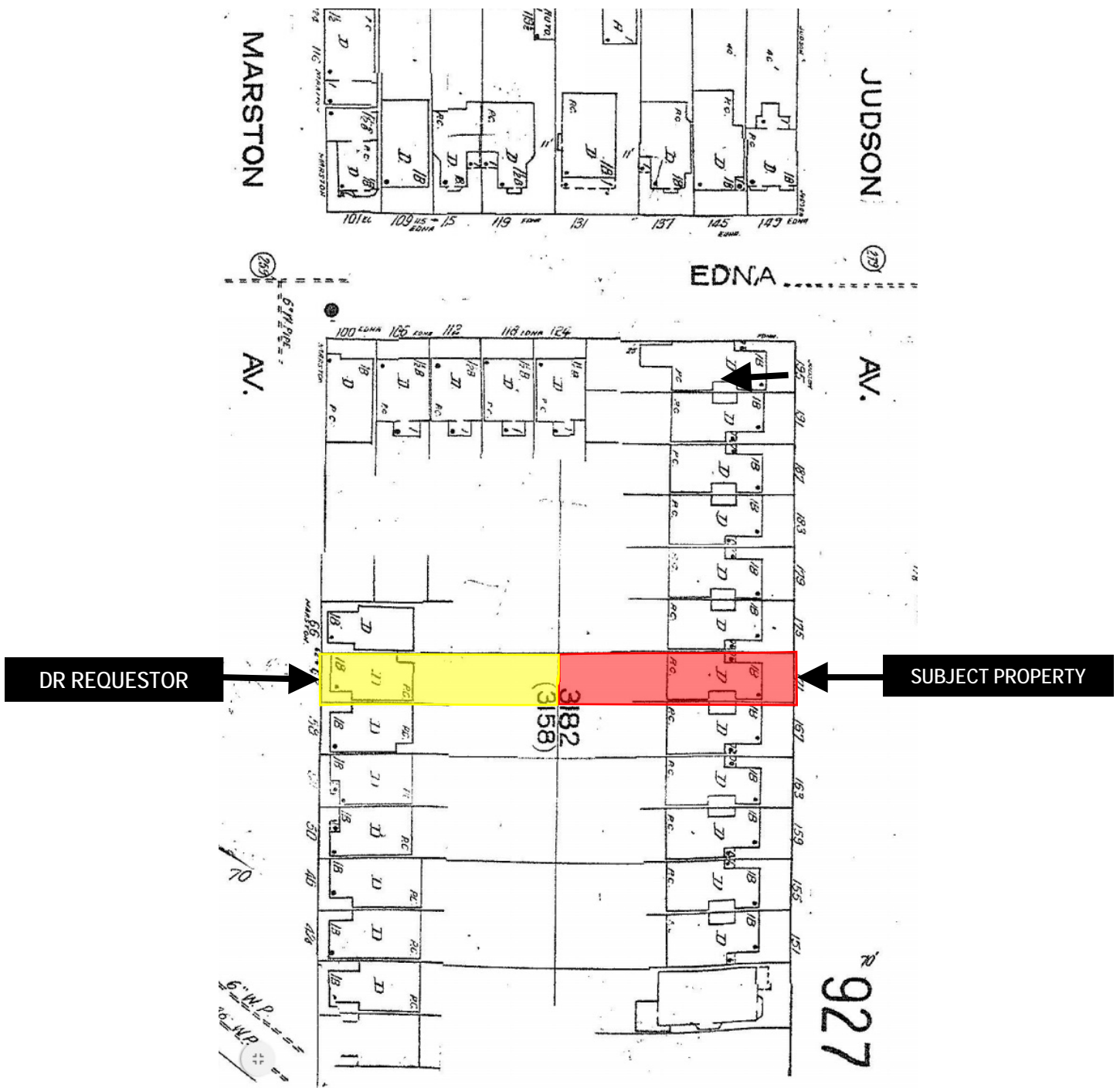
Parcel Map  
Sanborn Map  
Site Context  
Site Photographs  
CEQA Categorical Exemption Determination  
Exhibit A: Section 311 Notice and Plans  
Exhibit C: DR Application  
Exhibit D: Response to DR Application

# Parcel Map



Discretionary Review Hearing  
Case Number 2015-018225DRP  
171 Judson Avenue

# Sanborn Map\*

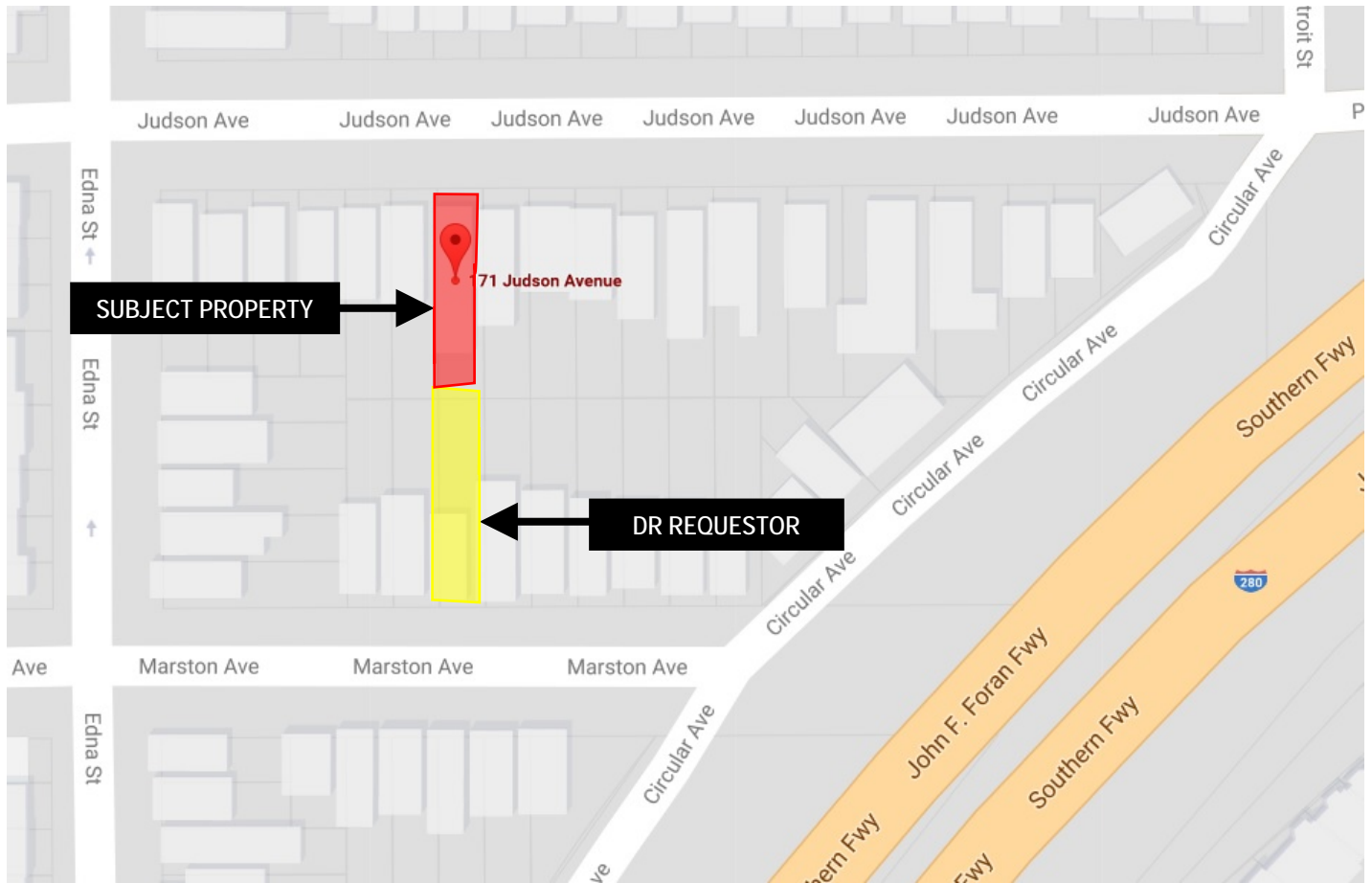


\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing  
Case Number 2015-018225DRP  
171 Judson Avenue

# Site Context



Discretionary Review Hearing  
Case Number 2015-018225DRP  
171 Judson Avenue



# Site Photos



**SUBJECT PROPERTY**



Discretionary Review Hearing  
Case Number 2015-018225DRP  
171 Judson Avenue



# SAN FRANCISCO PLANNING DEPARTMENT

## CEQA Categorical Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
Case No.	Permit No.	Plans Dated	
<input type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 45 years old)	<input type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval.			

### STEP 1: EXEMPTION CLASS TO BE COMPLETED BY PROJECT PLANNER

<b>*Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.*</b>	
	<b>Class 1 – Existing Facilities.</b> Interior and exterior alterations; additions under 10,000 sq. ft.
	<b>Class 3 – New Construction/ Conversion of Small Structures.</b> Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions.; ; change of use under 10,000 sq. ft. if principally permitted or with a CU. Change of use under 10,000 sq. ft. if principally permitted or with a CU.
	<b>Class</b> ____

### STEP 2: CEQA IMPACTS TO BE COMPLETED BY PROJECT PLANNER

<b>If any box is checked below, an <i>Environmental Evaluation Application</i> is required.</b>	
<input type="checkbox"/>	<b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks)? <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Article 38 program and the project would not have the potential to emit substantial pollutant concentrations. (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Air Pollutant Exposure Zone)</i>
<input type="checkbox"/>	<b>Hazardous Materials:</b> If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the</i>



	<i>Mahe program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap &gt; Maher layer).</i>
<input type="checkbox"/>	<b>Transportation:</b> Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	<b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? <i>(refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Archeological Sensitive Area)</i>
<input type="checkbox"/>	<b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? <i>(refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Topography)</i>
<input type="checkbox"/>	<b>Slope = or &gt; 20%:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? <i>(refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Topography)</i> <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Landslide Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? <i>(refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Seismic Hazard Zones)</i> <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Liquefaction Zone:</b> Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? <i>(refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Seismic Hazard Zones)</i> <b>If box is checked, a geotechnical report will likely be required.</b>
<b><u>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an Environmental Evaluation Application is required, unless reviewed by an Environmental Planner.</u></b>	
<input type="checkbox"/>	<b>Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.</b>
<b>Comments and Planner Signature (optional):</b>	

### STEP 3: PROPERTY STATUS – HISTORIC RESOURCE TO BE COMPLETED BY PROJECT PLANNER

<b>PROPERTY IS ONE OF THE FOLLOWING:</b> <i>(refer to Parcel Information Map)</i>	
<input type="checkbox"/>	<b>Category A:</b> Known Historical Resource. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	<b>Category B:</b> Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>
<input type="checkbox"/>	<b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b>

**STEP 4: PROPOSED WORK CHECKLIST  
TO BE COMPLETED BY PROJECT PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. <b>Change of use and new construction.</b> Tenant improvements not included.
<input type="checkbox"/>	2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
<b>Note: Project Planner must check box below before proceeding.</b>	
<input type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project <b>does not conform</b> to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>

**STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW  
TO BE COMPLETED BY PRESERVATION PLANNER**

<b>Check all that apply to the project.</b>	
<input type="checkbox"/>	1. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. <b>Interior alterations to publicly accessible spaces.</b>
<input type="checkbox"/>	3. <b>Window replacement</b> of original/historic windows that are not “in-kind” but are consistent with existing historic character.
<input type="checkbox"/>	4. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. <b>Addition(s)</b> , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. <b>Other work consistent</b> with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):

<input type="checkbox"/>	<p>9. <b>Other work</b> that would not materially impair a historic district (specify or add comments):</p> <p>(Requires approval by Senior Preservation Planner/Preservation Coordinator) _____</p>
<input type="checkbox"/>	<p>10. <b>Reclassification of property status.</b> (Requires approval by Senior Preservation Planner/Preservation Coordinator)</p> <p style="padding-left: 40px;"><input type="checkbox"/> Reclassify to Category A      <input type="checkbox"/> Reclassify to Category C</p> <p>a. Per HRER dated: _____ (attach HRER)</p> <p>b. Other (specify): _____</p>
<p><b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.</b></p>	
<input type="checkbox"/>	<p><b>Further environmental review required.</b> Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. <b>GO TO STEP 6.</b></p>
<input type="checkbox"/>	<p><b>Project can proceed with categorical exemption review.</b> The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. <b>GO TO STEP 6.</b></p>
<p><b>Comments (optional):</b></p>  	
<p><b>Preservation Planner Signature:</b></p> 	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION  
TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	<p><b>Further environmental review required.</b> Proposed project does not meet scopes of work in either (check all that apply):</p> <p style="padding-left: 40px;"><input type="checkbox"/> Step 2 – CEQA Impacts</p> <p style="padding-left: 40px;"><input type="checkbox"/> Step 5 – Advanced Historical Review</p> <p><b>STOP! Must file an <i>Environmental Evaluation Application</i>.</b></p>			
<input type="checkbox"/>	<p><b>No further environmental review is required. The project is categorically exempt under CEQA.</b></p> <table border="1" style="width: 100%;"> <tr> <td style="width: 50%; vertical-align: top;"> <p><b>Planner Name:</b></p>   <p><b>Project Approval Action:</b></p>    <p>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p> </td> <td style="width: 50%; vertical-align: top;"> <p><b>Signature:</b></p>     </td> </tr> </table> <p>Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.</p>		<p><b>Planner Name:</b></p> <p><b>Project Approval Action:</b></p>  <p>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p>	<p><b>Signature:</b></p>   
<p><b>Planner Name:</b></p> <p><b>Project Approval Action:</b></p>  <p>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</p>	<p><b>Signature:</b></p>   			

## STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a “substantial modification” and, therefore, be subject to additional environmental review pursuant to CEQA.

### PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
Case No.	Previous Building Permit No.	New Building Permit No.
Plans Dated	Previous Approval Action	New Approval Action
Modified Project Description:		

### DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
<b>If at least one of the above boxes is checked, further environmental review is required.</b>	

### DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

## NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **November 20, 2015**, the Applicant named below filed Building Permit Application No. **2015.1109.2182** with the City and County of San Francisco.

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	<b>171 Judson Ave</b>	Applicant:	<b>Suheil Shatara, Architect</b>
Cross Street(s):	<b>Between Edna St &amp; Circular Ave</b>	Address:	<b>26 Lakeview Dr</b>
Block/Lot No.:	<b>3182 / 032</b>	City, State:	<b>Daly City, CA 94015</b>
Zoning District(s):	<b>RH-1 / 40-X</b>	Telephone:	<b>(415) 871-1229</b>
Record No.:	<b>2015-018225PRJ</b>	Email:	<a href="mailto:suheil@shataraarch.com">suheil@shataraarch.com</a>

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Façade Alteration(s)	<input checked="" type="checkbox"/> Front Addition
<input checked="" type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	Residential
Front Setback	14 inches (approx.)	No Change
Side Setbacks	None	No Change
Building Depth	63 feet (approx.)	64 feet (approx.)
Rear Yard	50 feet (approx.)	49 feet (approx.)
Building Height	19 feet (approx.)	27 feet (approx.)
Number of Stories	2	No Change
Number of Dwelling Units	1	No Change
Number of Parking Spaces	1	No Change
PROJECT DESCRIPTION		
The proposal includes the legalization and construction of a rear horizontal addition at the first and second floors, and a vertical addition of a new third floor with front and rear roof decks, and facade alterations that include a new door, on an existing single-family two-story residential dwelling. The project also includes interior alterations. See attached plans.		
The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.		

**For more information, please contact Planning Department staff:**

Planner: Colin B. Clarke, AICP  
Telephone: (415) 575-9184  
E-mail: [Colin.Clarke@sfgov.org](mailto:Colin.Clarke@sfgov.org)

Notice Date: 3/13/17  
Expiration Date: 4/12/17



# GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at [www.communityboards.org](http://www.communityboards.org) for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at [www.sfplanning.org](http://www.sfplanning.org). You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at [www.sfplanning.org](http://www.sfplanning.org). If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

**Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

## BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

## ENVIRONMENTAL REVIEW






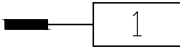

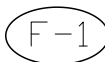
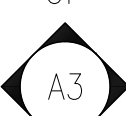



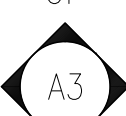

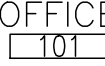
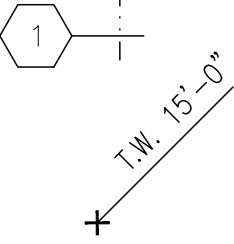
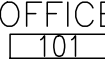


This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at [www.sfplanning.org](http://www.sfplanning.org). An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

## GENERAL NOTES

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1. CONTRACTOR SHALL ADHERE TO ALL CODES, RULES, AND REGULATIONS GOVERNING CONSTRUCTION, BUILDING ACCESS AND THE USE OF FACILITIES AS SET BY LOCAL BUILDING DEPARTMENT AGENCY AND THE BUILDING OWNERS. TITLE 24 C.A.C ESPECIALLY THOSE ABSTRACTS DEALING WITH ENERGY AND HANDICAPPED ACCESS REQUIREMENTS. ANYTHING SHOWN ON THESE DRAWINGS, NOT IN ACCORDANCE WITH THESE RULES AND REGULATIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH ANY WORK.
2. DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONAL INFORMATION.
3. THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE DESIGNER OF ANY CONFLICTS HEREIN, EITHER APPARENT OR OBVIOUS PRIOR TO START OF WORK ON THAT ITEM OR BEAR THE RESPONSIBILITY OF CORRECTING SUCH WORK AS DIRECTED BY THE ARCHITECT.
4. ALL WORK SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER BY MECHANICS SKILLED IN THEIR RESPECTIVE TRADES.
5. THE CONTRACTOR SHALL REVIEW PLANS AND THE AREA OF CONSTRUCTION CAREFULLY TO INSURE FULL UNDERSTANDING OF EXACT SCOPE OF WORK. THE ARCHITECT WILL BE AVAILABLE TO REVIEW ALL WORK ON SITE AND RESOLVE ANY UNCLEAR ITEMS
6. THE CONTRACTOR SHALL CONTACT THE BUILDING MANAGEMENT TO BE ADVISED OF THE RULES OF THE BUILDING WITH RESPECT TO CONSTRUCTION, WHEN AND HOW DELIVERIES AND/OR REMOVALS CAN BE DONE ON REGULAR OR OVERTIME AND IN GENERAL, ANY BUILDING REQUIREMENTS WHICH WILL AFFECT THEIR WORK.
7. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL FABRICATION SHOP DWGS. AND FIXTURE CUTS FOR APPROVAL AFTER HAVING CHECKED AND APPROVED THEM FIRST, WHERE APPLICABLE
8. THE CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS AND WATER THROUGHOUT THE SPACE UNDER CONSTRUCTION, IF REQUIRED.
9. THE CONTRACTOR SHALL REMOVE FROM THE BUILDING ALL RUBBISH AND WASTE MATERIALS, FOR HIS OWN SUBCONTRACTING. IF REQUIRED.
10. NO WORK DEPENDING ON PARTITION LOCATIONS SHALL BE DONE UNTIL THE CONTRACTOR HAS MARKED PARTITION LOCATIONS ON THE FLOOR SLAB IN THE FIELD AND THE ARCHITECT HAS APPROVED THEM.
11. THE CONTRACTOR SHALL LEAVE THE PREMISES IN A CLEAN AND ORDERLY MANNER.
12. THE CONTRACTOR'S PRICE IS TO BE COMPLETE IN ALL WAYS INCLUDING TAXES, OVER-TIME, SHIPPING, ETC.
13. ALL MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S LATEST PRINTED SPECIFICATIONS AND WITH CODE REQUIREMENTS.
14. THE WORK INCLUDED UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH AIA GENERAL CONDITIONS DOCUMENT A-201, 1991 EDITION.
15. CONTRACTORS, SUBCONTRACTORS AND SUPPLIERS SHALL GUARANTEE THAT THE WORK IS FREE FROM ANY DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND BE RESPONSIBLE FOR REPAIR OR REPLACEMENT AT NO ADDITIONAL CHARGE.
16. CONTRACTORS TO CARRY EMPLOYER'S LIABILITY INSURANCE OF NOT LESS THAN \$1,000,000 PER OCCURRENCE, AND COMPREHENSIVE GENERAL LIABILITY OF AT LEAST \$2,000,000 COMBINED SINGLE LIMIT FOR BODILY INJURY, DEATH, OR PROPERTY DAMAGE THE POLICIES TO ALSO COVER LANDLORD AND TENANT AS ADDITIONAL INSURED.

	SECTION DRAWING SHEET NUMBER		EQUIPMENT SYMBOL EQUIPMENT TYPE EQUIPMENT GROUP
	ELEVATION DRAWING SHEET NUMBER		REVISION
	DETAIL DRAWING SHEET NUMBER		WALL TYPE
	UP		FINISH SYMBOL
	LEFT		MATCH LINE SHADED PORTION IS SIDE CONSIDERED
	RIGHT		DATUM POINT
	DOWN		COLUMN GRID
	OFFICE		TOP OF WALL
	ROOM IDENTIFICATION ROOM NAME ROOM NUMBER		
	DOOR NUMBER		
	WINDOW NUMBER		

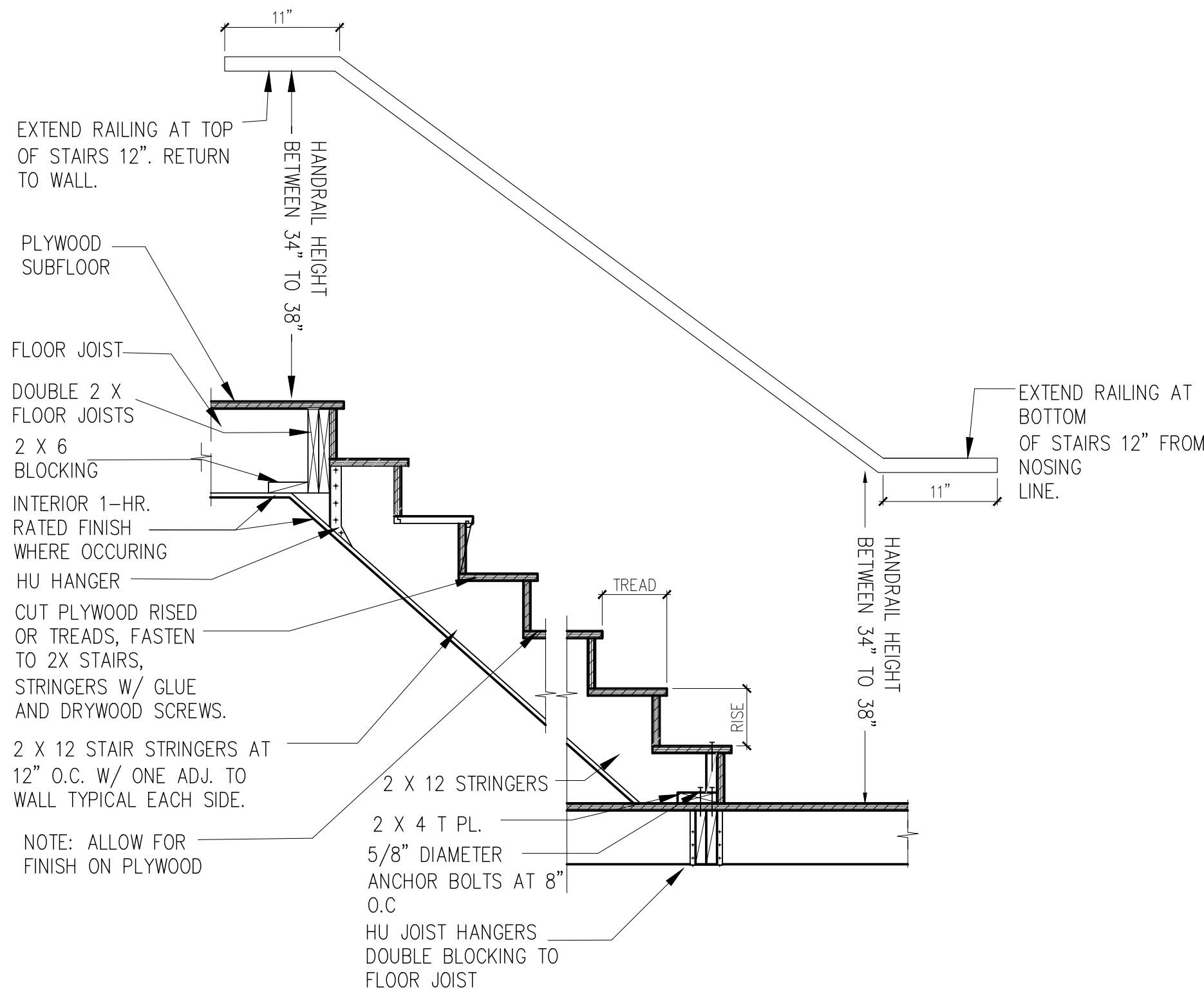
[illegible]

DRAWING INDEX		SCOPE OF WORK	PLANNING INFORMATION	BUILDING INFORMATION																
A0.0	COVER SHEET	COMPLY W/N.O.V # 2015-51401 FOR HORIZONTAL & VERTICAL ADDITION. REMODEL EXISTING 2-STORY SINGLE FAMILY DWELLING. RELOCATE EXISTING BATHROOMS, KITCHEN AND RECONFIGURE FLOOR PLAN. ADD ROOMS DOWN AT GARAGE LEVEL, INFILL ENTRY STAIRS WITH NEW ENTRY ENCLOSURE. ADD ROOF TOP DECK.	ZONING: RH-1, RESIDENTIAL, ONE FAMILY	BUILDING DESCRIPTION:	1 BUILDINGS IN LOT.															
A0.01	GREEN POINTS		HEIGHT LIMIT: 40-X		EXISTING: 2 STORIES TYPE V - B															
A0.1	STAIR DETAILS		EXISTING NUMBER OF UNITS: 1		PROPOSED: SAME															
A1.0	EXISTING & PROPOSED SITE PLANS		PROPOSED NUMBER OF UNITS: 1 - NO CHANGE	(E) OCCUPANCY CLASS.:	R-3 - NO CHANGE															
A1.1	EXISTING/DEMO FLOOR PLANS		LOT SIZE: 25' WIDE X 112.50' LONG	OCCUPANT LOAD:	1 PER 200 SQ.FT.															
A1.2	EXISTING ROOF PLAN & SECTION		<div>GROSS FLOOR AREA:</div> <table><tr><th>LEVEL</th><th>EXISTING</th><th>PROPOSED</th></tr><tr><td>THIRD FLR</td><td>0</td><td>753 SQ.FT</td></tr><tr><td>SECOND FLR</td><td>1022 SQ.FT.</td><td>1473 SQ.FT.</td></tr><tr><td>FIRST FLR</td><td>1099 SQ.FT.</td><td>1478 SQ.FT.</td></tr><tr><td>TOTAL</td><td>2121 SQ.FT.</td><td>3704 SQ.FT.</td></tr></table>	LEVEL	EXISTING	PROPOSED	THIRD FLR	0	753 SQ.FT	SECOND FLR	1022 SQ.FT.	1473 SQ.FT.	FIRST FLR	1099 SQ.FT.	1478 SQ.FT.	TOTAL	2121 SQ.FT.	3704 SQ.FT.	(E) # OF DWELLING UNITS:	1 - NO CHANGE
LEVEL	EXISTING			PROPOSED																
THIRD FLR	0			753 SQ.FT																
SECOND FLR	1022 SQ.FT.			1473 SQ.FT.																
FIRST FLR	1099 SQ.FT.			1478 SQ.FT.																
TOTAL	2121 SQ.FT.	3704 SQ.FT.																		
A1.3	EXISTING ELEVATIONS		YEAR BUILT:	1925																
A1.4	EXISTING ELEVATIONS		(E) BUILDING AREA:	2121 SQ.FT.																
A2.0	PROPOSED FLOOR PLANS		(E) GARAGE:	902 SQ.FT.																
A2.1	PROPOSED FLOOR & ROOF PLANS		(E) NON-CONFORMING HORIZONTAL ADDITION:	864 SQ.FT.																
A2.2	PROPOSED SECTION	CODE CYCLE <ul style="list-style-type: none"><li>- 2016 CALIFORNIA BUILDING CODE</li><li>- 2016 CALIFORNIA ELECTRIC CODE</li><li>- 2016 CALIFORNIA MECHANICAL CODE</li><li>- 2016 CALIFORNIA PLUMBING CODE</li><li>- 2016 GREEN BUILDING CODE</li><li>- 2016 CALIFORNIA FIRE CODE</li><li>- 2016 CALIFORNIA ENERGY CODE</li><li>- 2016 SAN FRANCISCO BUILDING CODE</li></ul>		PROPOSED BUILDING AREA:	3704 SQ.FT.															
A3.1	PROPOSED ELEVATIONS			PROPOSED GARAGE:	302 SQ.FT.															
A3.2	PROPOSED ELEVATIONS																			
A3.3	DEMO CALCULATIONS																			
S1-S2	STRUCTURAL																			
T1	TITLE 24																			

&	AND	DBL.	DOUBLE	F.O.S.	FACE OF STUD	N.I.C.	NOT IN CONTRACT	SPEC.	SPECIFICATION
@	AT	DEPT.	DEPARTMENT	FPRF.	FIREPROOF	NO./#	NUMBER	SQ.	SQUARE
(E)	EXISTING	DIA.	DIAMETER	FT.	FOOT OR FEET	NOM.	NOMINAL	S.ST.	STAINLESS STEEL
ADJ.	ADJUSTABLE	DIM.	DIMENSION	FTG.	FOOTING	N.T.S.	NOT TO SCALE	STL.	STEEL
ALUM.	ALUMINUM	DN.	DOWN	FURR.	FURRING	O.C.	ON CENTER	STOR.	STORAGE
APPROX.	APPROXIMATE	DR.	DOOR	GA.	GAUGE	OPNG.	OPENING	STRL.	STRUCTURAL
ARCH.	ARCHITECTURAL	DS.	DOWNSPOUT	GALV.	GALVANIZED	OPP.	OPPOSITE	SUSP.	SUSPENDED
ASPH.	ASPHALT	D.S.P	DRY STANDPIPE	G.B.	GRAB BAR	P.L.	PROPERTY LINE	SYM.	SYMMETRICAL
BD.	BOARD	DWG.	DRAWING	GYP.	GYPSUM	PL.	PLATE	T.C.	TOP OF CURB
BITUM.	BITUMINOUS	E	EAST	H.B.	HOSE BIB	PLYWD.	PLYWOOD	TEL.	TELEPHONE
BLDG.	BUILDING	EA.	EACH	HWOD.	HARDWOOD	PT.	POINT	TER.	TERRAZZO
BLK.	BLOCK	EL.	ELEVATION	HORIZ.	HORIZONTAL	PTD.	PAINTED	T.&G.	TONGUE AND
BLKG.	BLOCKING	ELEC.	ELECTRICAL	HR.	HOUR	PTN.	PARTITION		GROOVE
BM.	BEAM	ELEV.	ELEVATOR	HGT.	HEIGHT	Q.T.	QUARRY TILE	THK.	THICK
BOT.	BOTTOM	ENCL.	ENCLOSURE	INSUL.	INSULATION	R.	RISER	T.P.	TOP OF
CAB.	CABINET	EQ.	EQUAL	INT.	INTERIOR	RAD.	RADIUS		PAVEMENT
C.B.	CATCH BASIN	EQPT.	EQUIPMENT	JAN.	JANITOR	R.D.	ROOF DRAIN	T.W.	TOP OF WALL
CEM.	CEMENT	(E)	EXISTING	JT.	JOINT	REF.	REFERENCE	TYP.	TYPICAL
CLG.	CEILING	EXPO.	EXPOSED	LAV.	LAVATORY	REFR.	REFRIGERATOR	UNF.	UNFINISHED
CLKG.	CAULKING	EXP.	EXPANSION	LT.	LIGHT	RGTR.	REGISTER	U.O.N.	UNLESS OTHERWISE
CLO.	CLOSET	EXT.	EXTERIOR	MAX.	MAXIMUM	REINF.	REINFORCED		NOTED
CLR.	CLEAR	F.A.	FIRE ALARM	MECH.	MECHANICAL	REQ'D.	REQUIRED	VERT.	VERTICAL
COL.	COLUMN	F.D.	FLOOR DRAIN	MEMB.	MEMBRANE	RM.	ROOM	VEST.	VESTIBULE
CONC.	CONCRETE	FDN.	FOUNDATION	MTL.	METAL	R.O.	ROUGH OPENING	W.	WEST
CONN.	CONNECTION	F.E.	FIRE EXTINGUISHER	MFR.	MANUFACTURER	R.W.L.	RAIN WATER LEADER	W/	WITH
CONSTR.	CONSTRUCTION	FIN.	FINISH	MIN.	MINIMUM	S.	SOUTH	W.C.	WATER CLOSET
CONT.	CONTINUOUS	FL.	FLOOR	MISC.	MISCELLANEOUS	SCHED.	SCHEDULE	WD.	WOOD
CORR.	CORRIDOR	FLASH.	FLASHING	MTD.	MOUNTED	S.D.	SMOKE DETECTOR	W/O	WITHOUT
CTSK.	COUNTERSUNK	FLUOR.	FLUORESCENT	MUL.	MULLION	SECT.	SECTION	WP.	WATERPROOF
CNTR.	COUNTER	F.O.C	FACE OF CONCRETE	(N)	NEW	SHT.	SHEET	WT.	WEIGHT
CTR.	CENTER	F.O.F.	FACE OF FINISH	N.	NORTH	SIM.	SIMILAR		

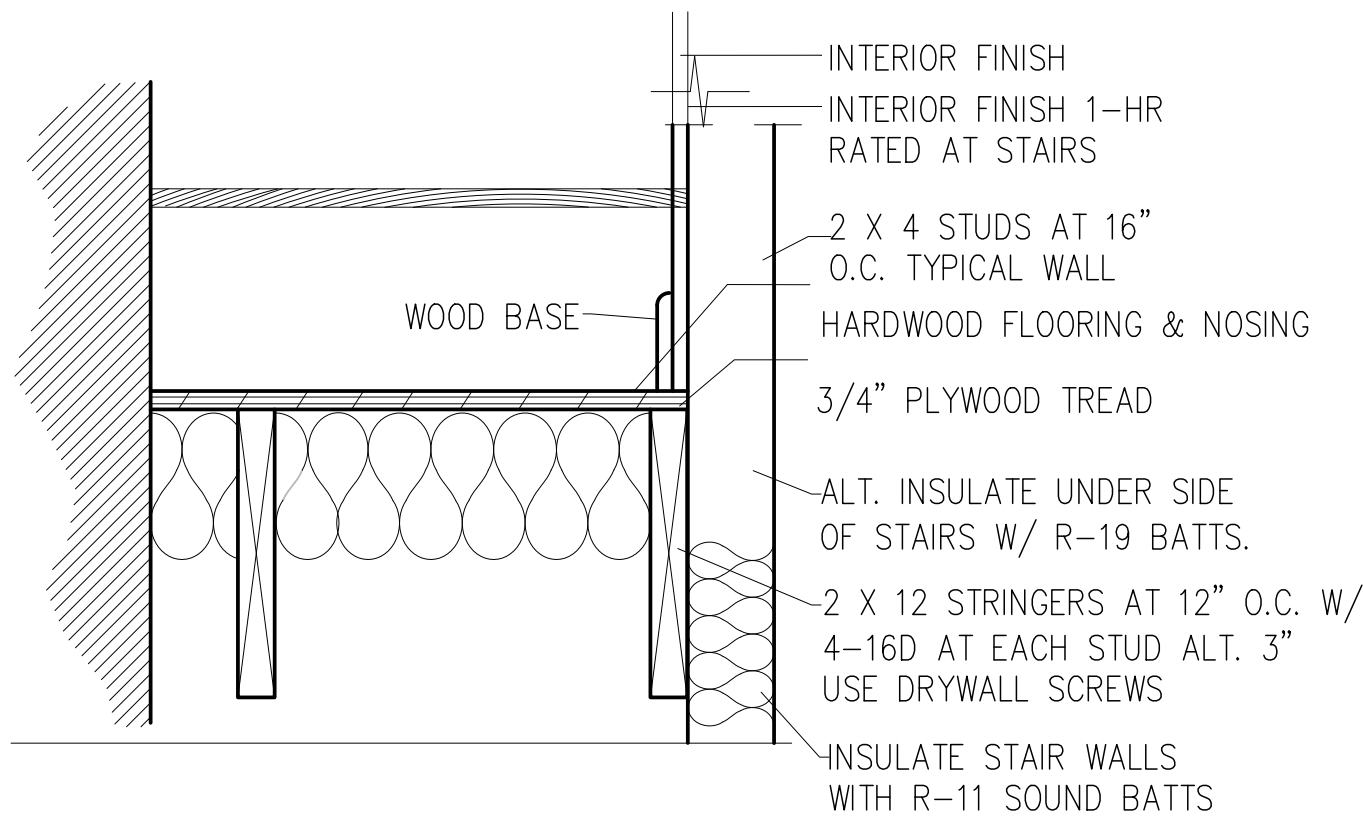
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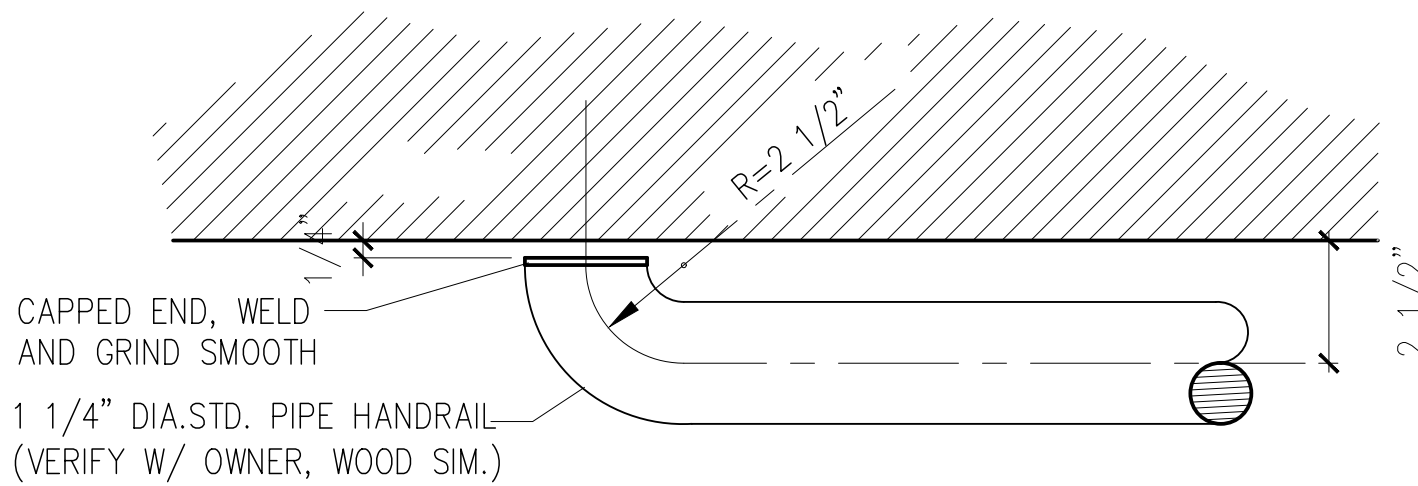
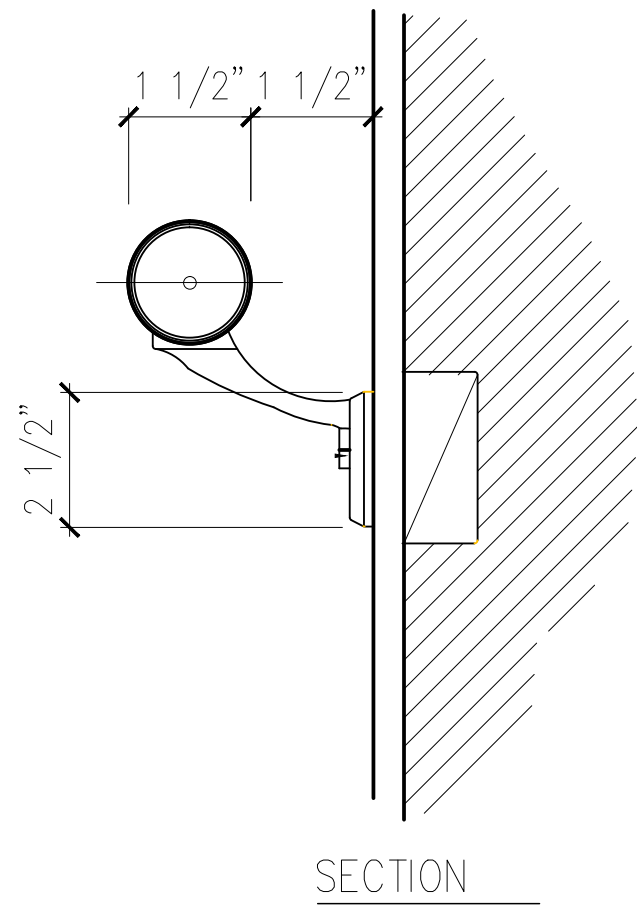
STAIRWAY NOTES:

1. STAIR RISER HEIGHTS 7" MAX & 4" MIN TREAD DEPTHS: 11" MIN (2010CBC, 1009.4.2). EXCEPTION, SINGLE UNIT MAY HAVE 7 3/4" MAX. RISE & 10" MIN. TREAD.
2. STAIRWAY WIDTH FOR <50 OCCUPANTS: 36" MIN (2010CBC, 1009.1).
3. HEADROOM CLEARANCE: MIN 80" (2010CBC, 1009.2).
4. LANDINGS, FLOOR OR LANDING AT THE TOP & BOTTOM OF EACH STAIRWAY, THE WIDTH OF LANDINGS SHALL NOT BE LESS THAN THE WIDTH OF STAIRWAYS THEY SERVE. (2010CBC 1009.5).
5. HANDRAILS ON EACH SIDE. HANDRAIL HEIGHT NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. (2010CBC, 1012.2).
6. HANDRAIL GRASPABILITY. TYPE I HANDRAILS WITH A CIRCULAR CROSS SECTION: OUTSIDE DIA. OF 1/4" MIN & 2" MAX IF THE HANDRAIL IS NOT CIRCULAR: PERIMETER DIMENSION OF 4" MIN & 6 1/4" MAX (2010CBC, 1012.3.1).
7. HANDRAIL EXTENSIONS. HANDRAILS SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE. THE HANDRAILS SHALL EXTEND HORIZONTALLY 12" MIN BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER (2010CBC, 1012.6).



STAIR SECTION AT WALL

SCALE 1 1/2" = 1'

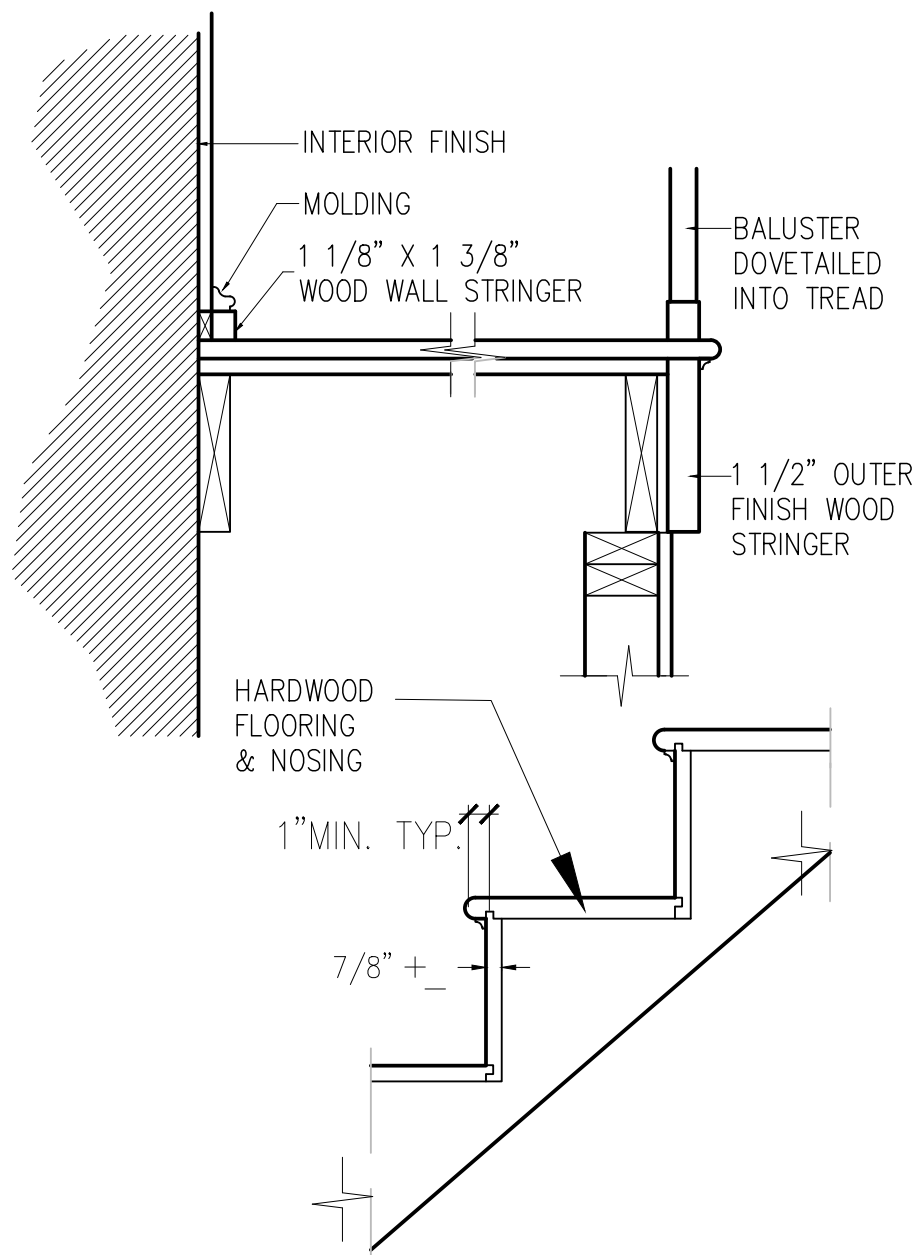


RAIL END RETURN

2

STAIR RAILING

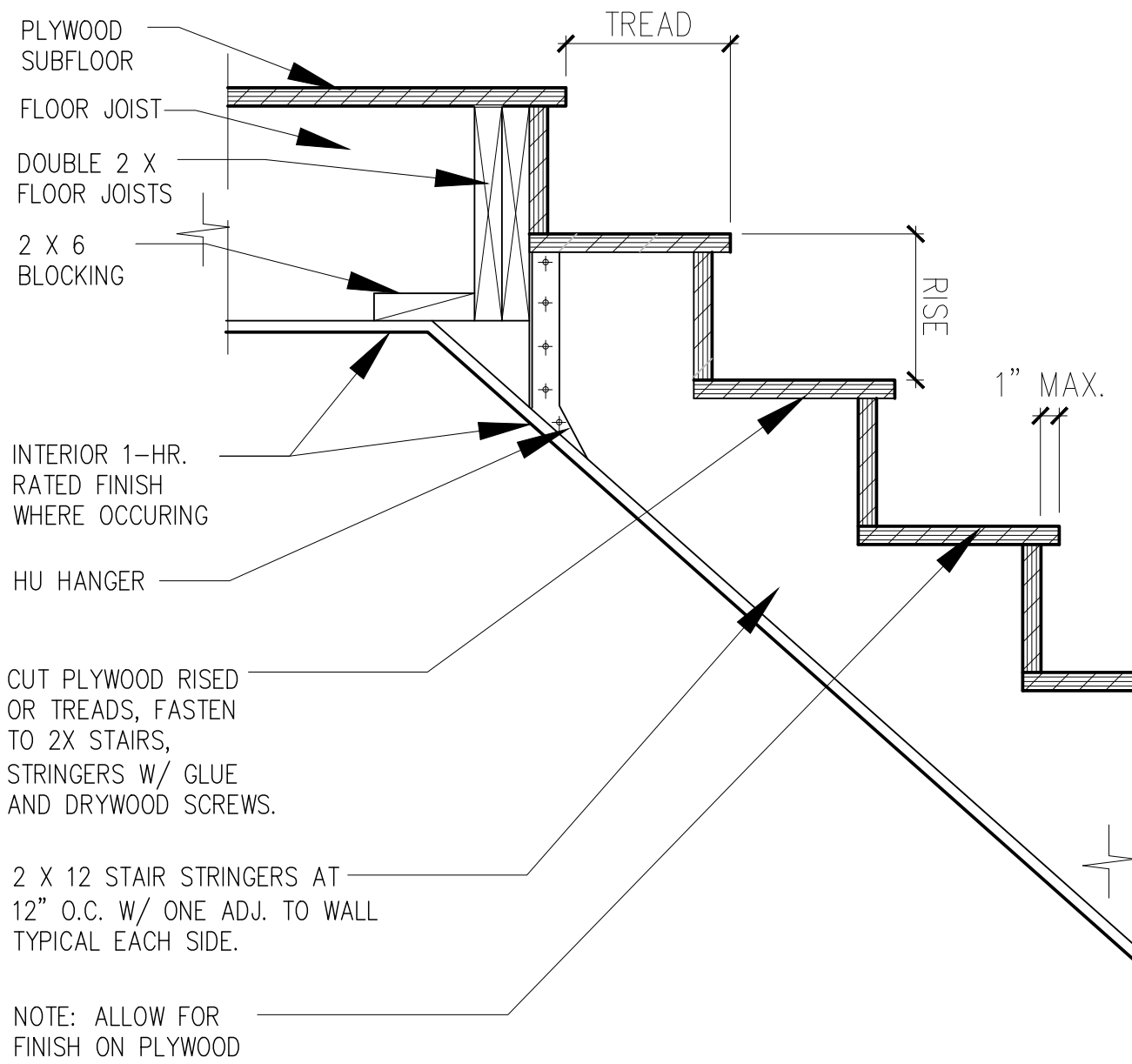
SCALE 3" = 1'



1

WOOD STAIR DETAIL

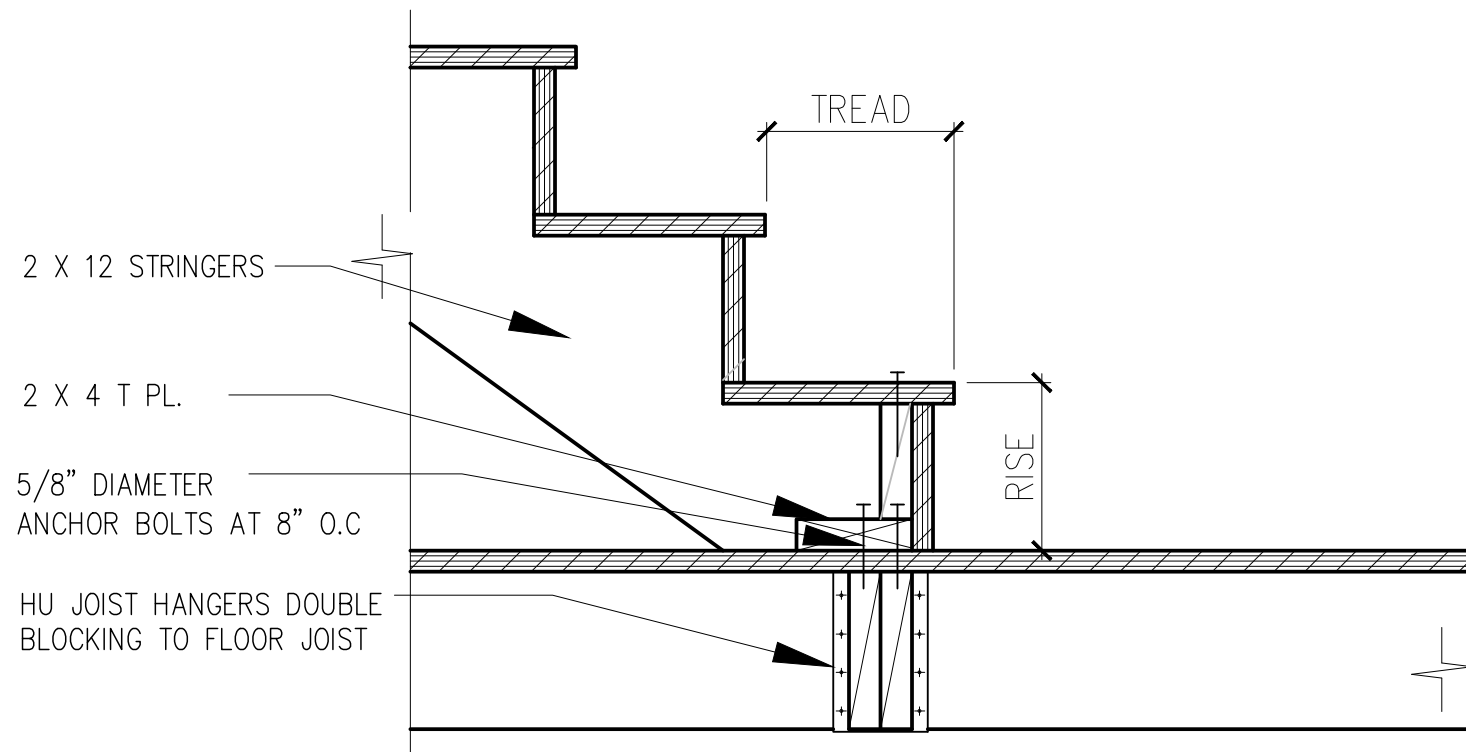
SCALE 1 1/2" = 1'



A

STAIR HEAD

SCALE 1 1/2" = 1'



A

STAIR SILL AT WOOD FLOOR

SCALE 1 1/2" = 1'

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suhel@shataarch.com

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SAN FRANCISCO, CA

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LOT: 032

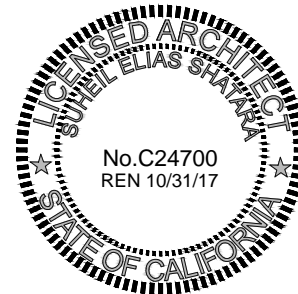
PROJECT DIRECTORY

ARCHITECT

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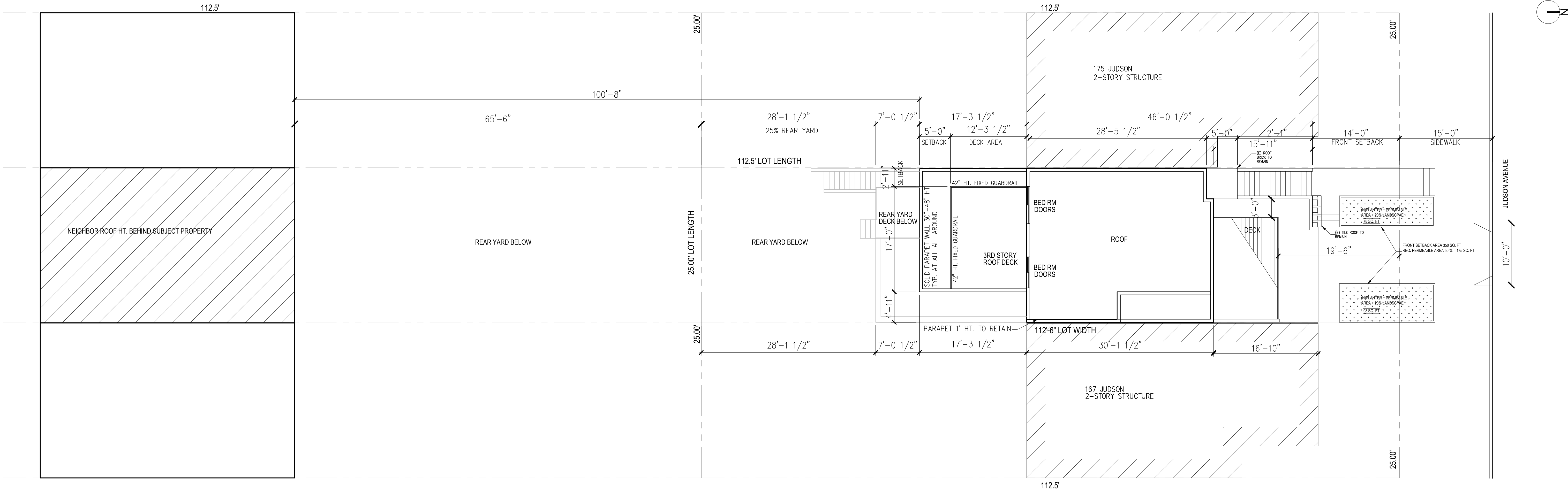
CONTACT: SUHEL SHATARA

ISSUED	DATE	NO.
REVISION	12-19-16	
REVISION	08-11-17	

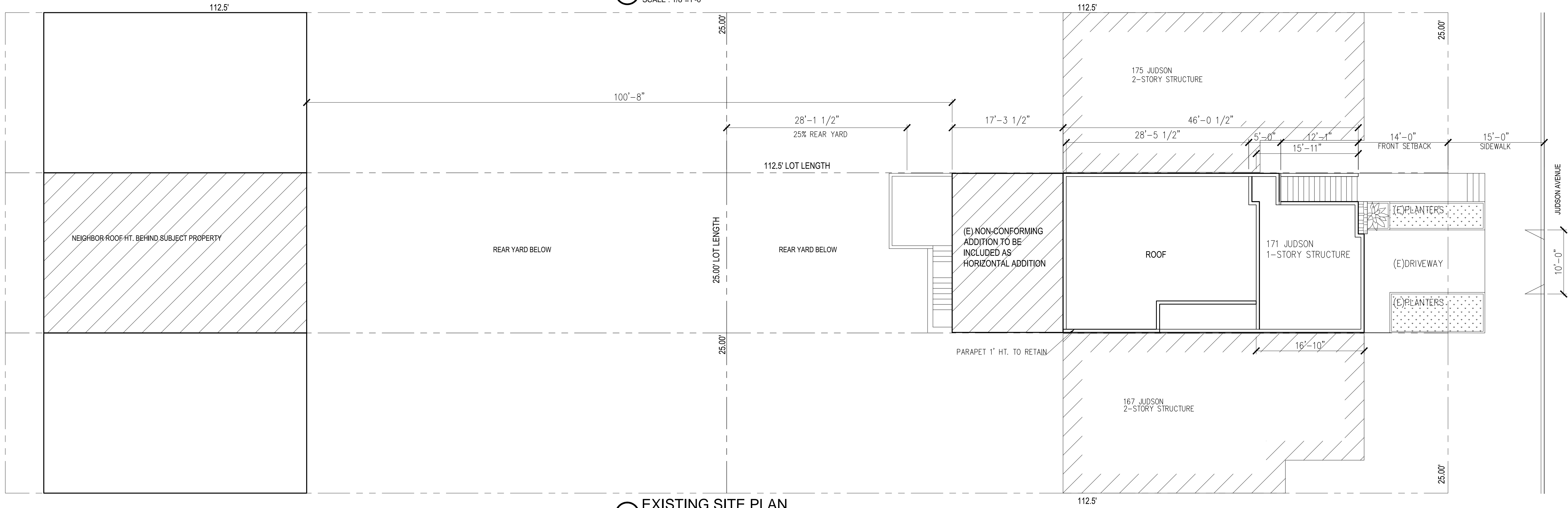


SHEET DESCRIPTION  
STAIR DETAILS

AO. 1



2 PROPOSED SITE PLAN  
SCALE : 1/8"=1'-0"



1 EXISTING SITE PLAN  
SCALE : 1/8"=1'-0"

DETAILS SHEET NOTES

1. WALL TYPES DWGS DO NOT CONVEY STRUCTURAL (SHEAR) REQUIREMENTS. SEE STRUCT. DWGS.
2. FLOOR CEILING ASSEMBLIES DO NOT CONVEY STRUCTURAL REQUIREMENTS. SEE STRUCT. DWGS.

SHEET NOTES

1. ALL PLAN DIMENSIONS TO FACE OF ROUGH FRAMING, FACE OF CONCRETE, OR CENTER LINE OF STEEL, U.O.N.
2. ALL SECTION AND ELEVATION DIMENSIONS TO FINISH FLOOR.
3. ALL WOOD FRAMED EXTERIOR WALLS TO BE FRAMED WITH 2X6 U.O.N. INTERIOR WALLS TO BE FRAMED WITH 2X4 U.O.N. REFER TO WALL TYPES TAGS FOR EXCEPTIONS.

LEGEND

- 9 WALL TYPE
- 999 DOOR NUMBER
- 9A WINDOW NUMBER
- 1 A3.4 SECTION
- 1 A3.4 ELEVATION
- A FLOOR/CEILING ASSEMB. TYPE

- ===== (E) WALL TO BE DEMOLISHED
- ===== (E) WALL TO REMAIN
- ===== (N) WALL
- PROPERTY LINE

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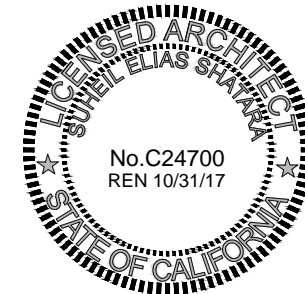
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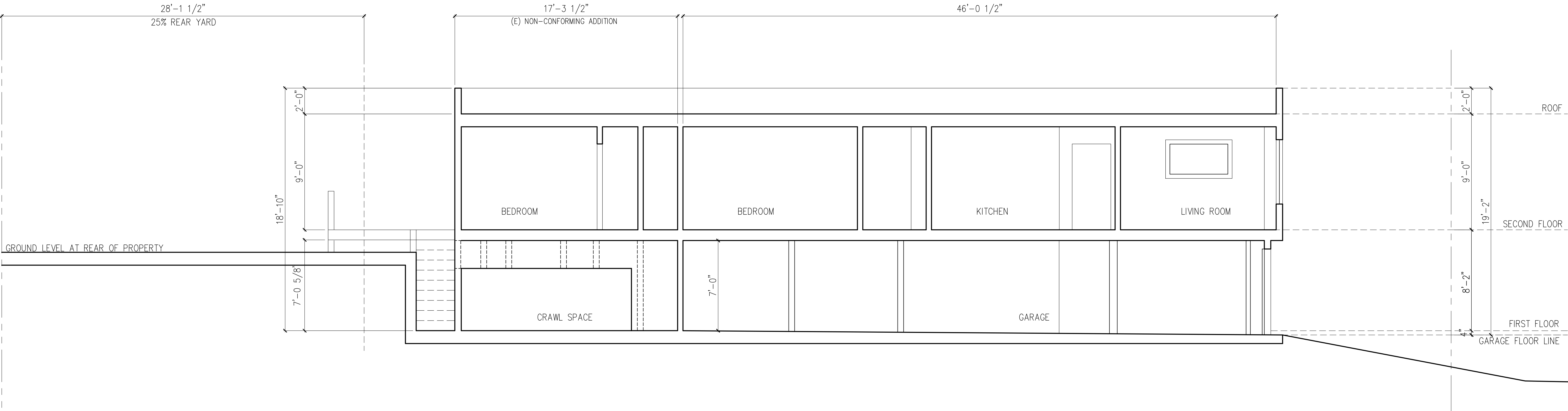
SHEET DESCRIPTION

EXISTING /  
PROPOSED SITE  
PLANS

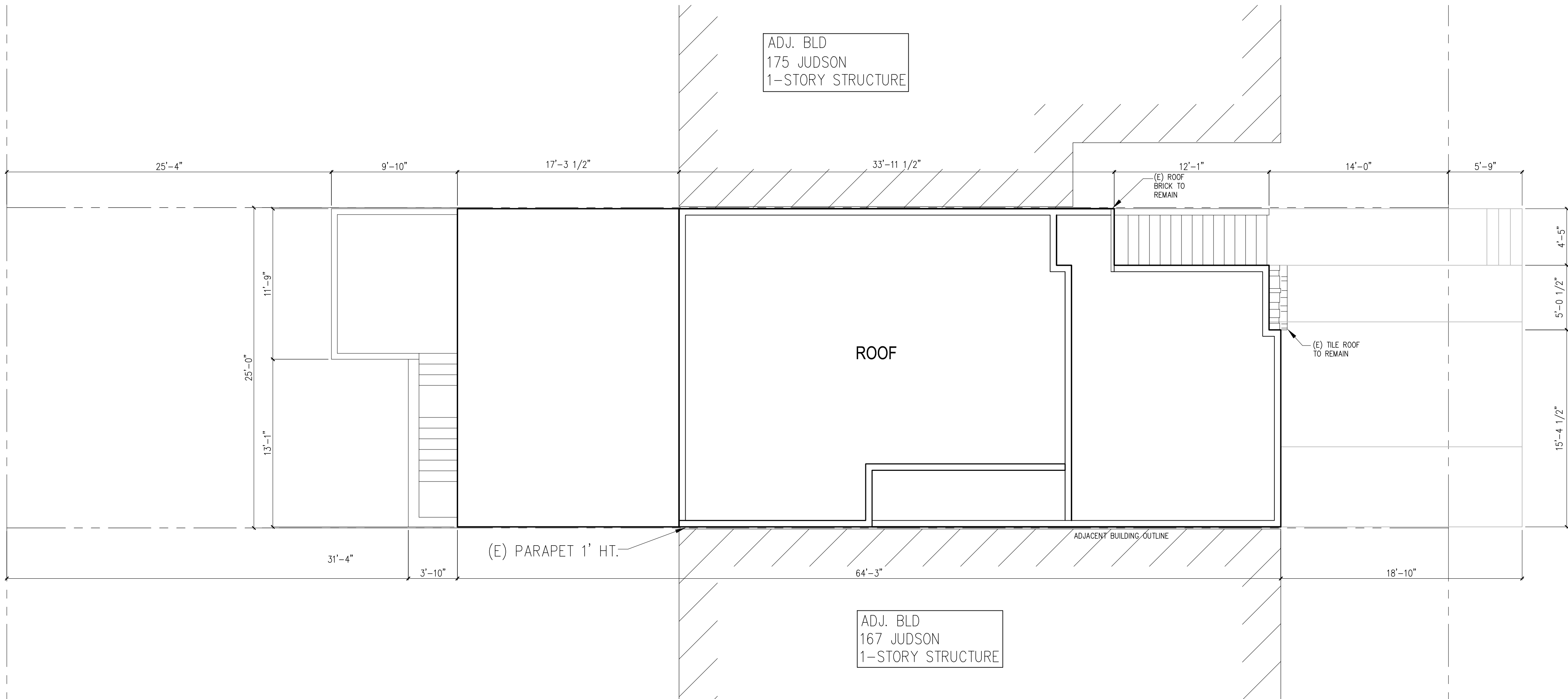
A1.0







2 EXISTING SECTION  
SCALE : 1/4"=1'-0"



1 EXISTING ROOF PLAN  
SCALE : 3/16"=1'-0"

DETAILS SHEET NOTES

- 1 WALL TYPES DWGS DO NOT CONVEY STRUCTURAL (SHEAR) REQUIREMENTS. SEE STRUCT. DWGS.
- 2 FLOOR CEILING ASSEMBLIES DO NOT CONVEY STRUCTURAL REQUIREMENTS. SEE STRUCT. DWGS.

SHEET NOTES

1. ALL PLAN DIMENSIONS TO FACE OF ROUGH FRAMING, FACE OF CONCRETE, OR CENTER LINE OF STEEL, U.O.N.
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LEGEND

- 9 WALL TYPE
- 999 DOOR NUMBER
- 84 WINDOW NUMBER
- A3.4 SECTION
- A3.4 ELEVATION
- A FLOOR/CEILING ASSEMB. TYPE

- (E) WALL TO BE DEMOLISHED
- ===== (E) WALL TO REMAIN
- ===== (N) WALL
- PROPERTY LINE

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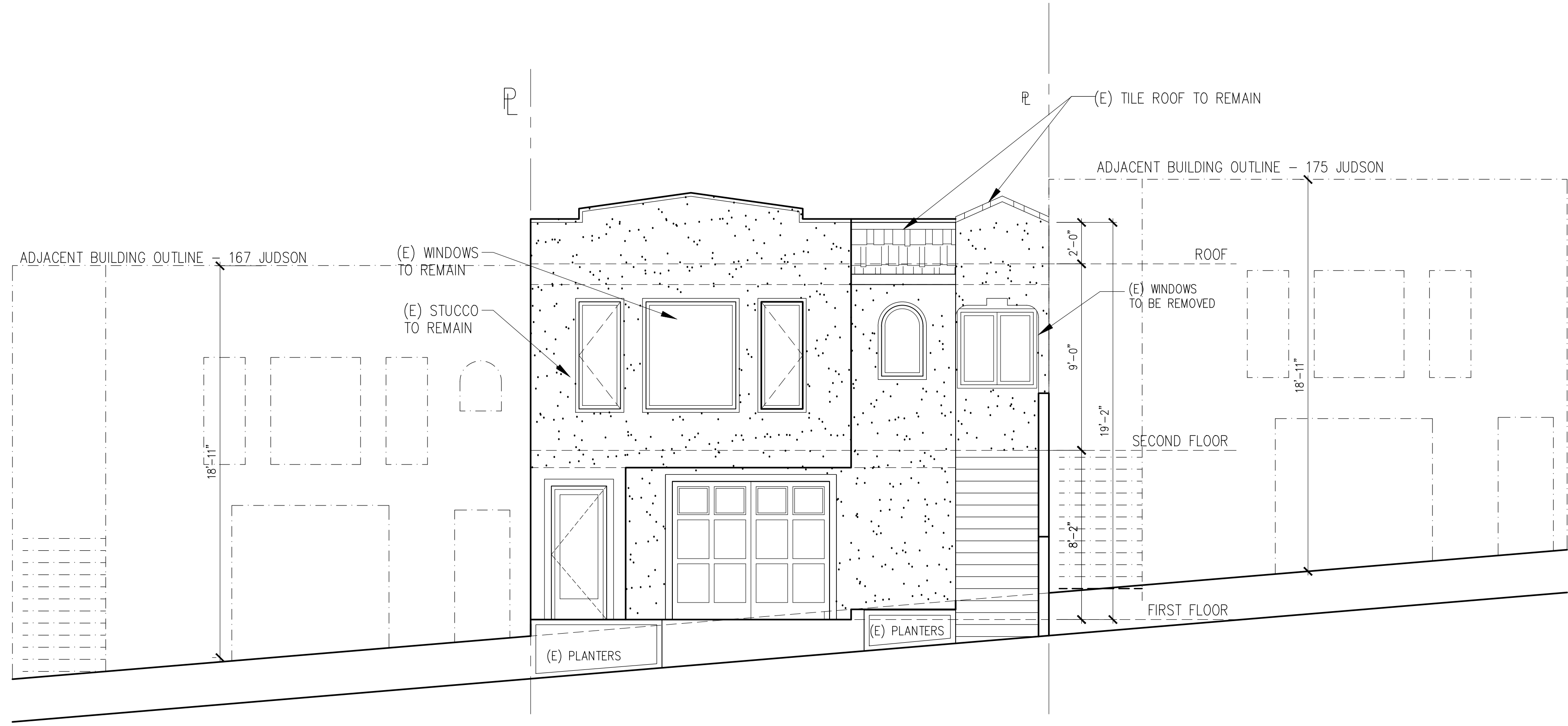
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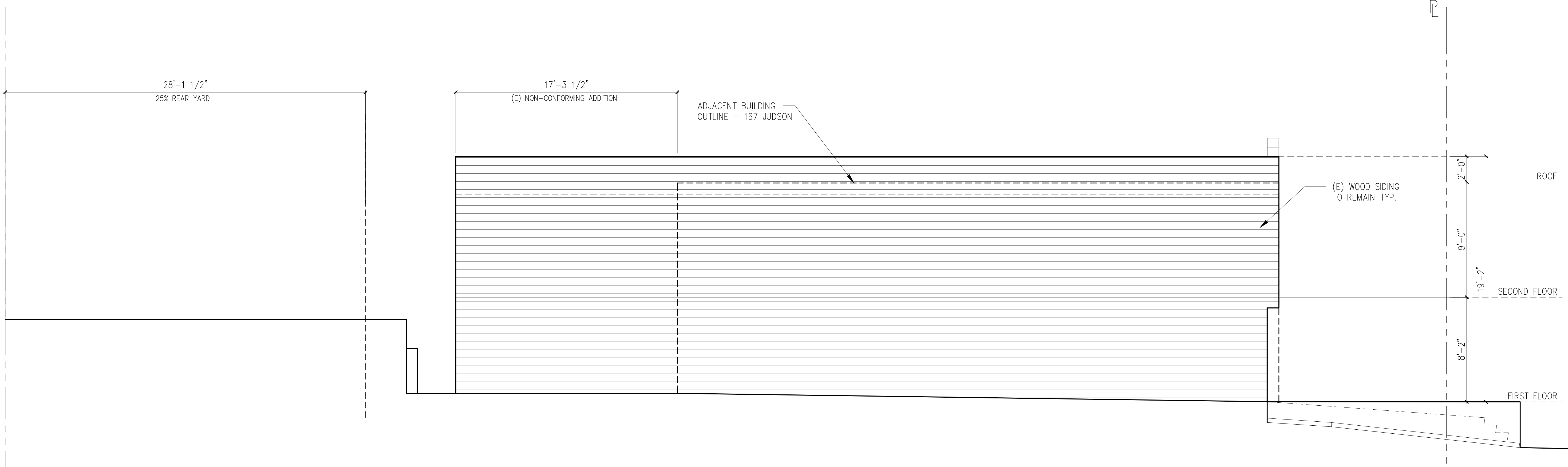
SHEET DESCRIPTION

EXISTING ROOF  
PLAN AND  
SECTION

A1.2



2 EXISTING NORTH ELEVATION  
SCALE : 1/4"=1'-0"



1 EXISTING EAST ELEVATION  
SCALE : 1/4"=1'-0"

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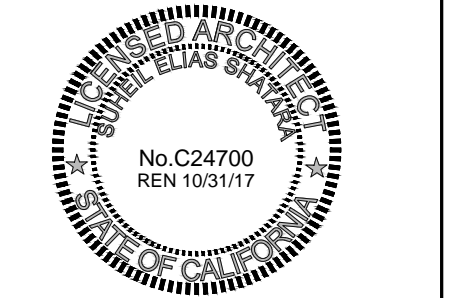
BLOCK: 3182  
LOT: 032

PROJECT DIRECTORY  
ARCHITECT

890 7TH STREET  
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CONTACT: SUHEIL SHATARA

ISSUED	DATE	NO.
REVISION	12-19-16	
REVISION	08-11-17	



SHEET DESCRIPTION  
EXISTING  
ELEVATIONS

A1.3

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PROJECT  
RESIDENTIAL REMODEL

ADDRESS  
171 JUDSON AVE  
SAN FRANCISCO, CA

BLOCK: 3182  
LOT: 032

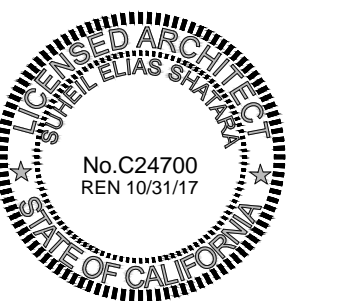
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**ARCHITECT**

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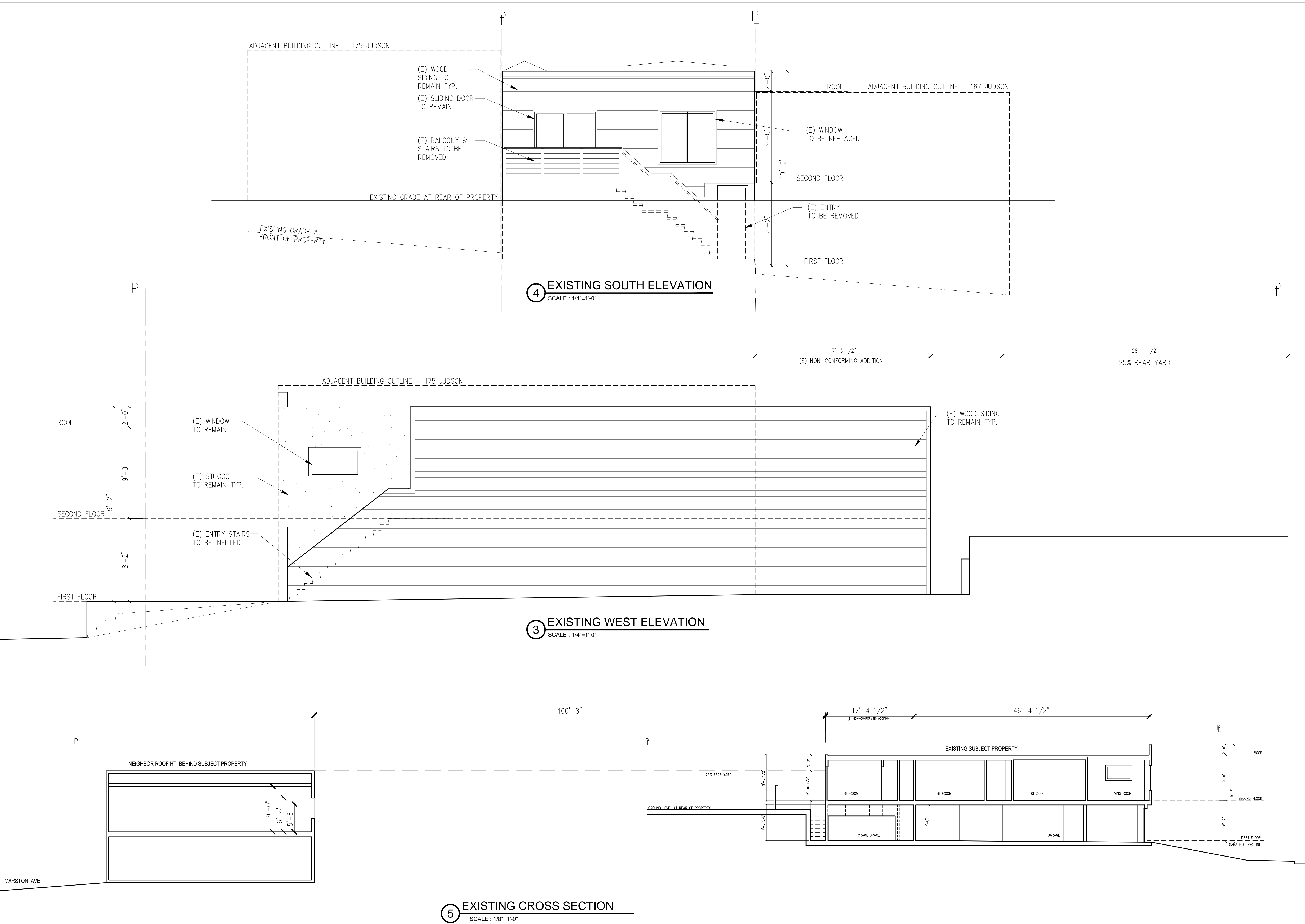
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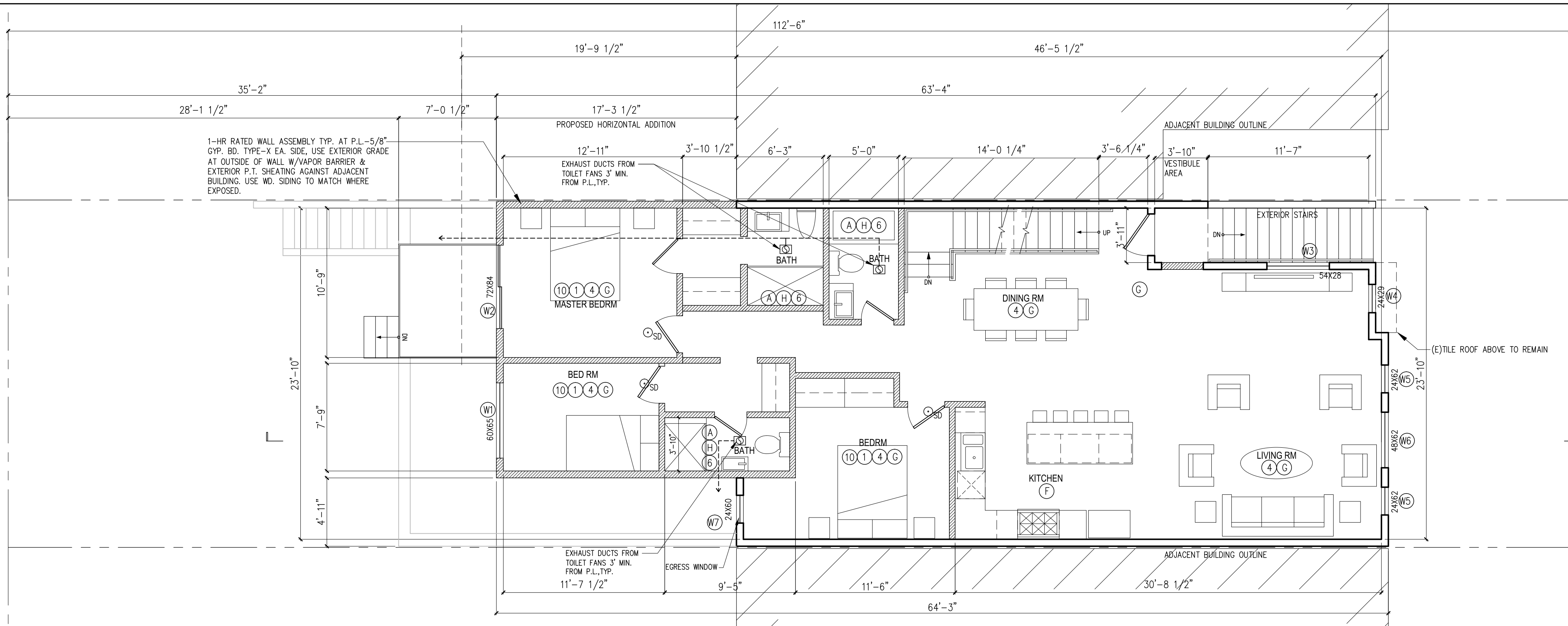
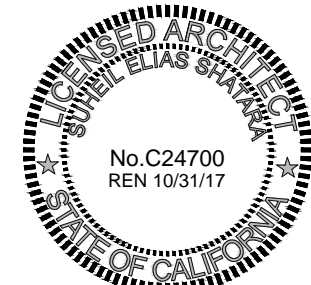


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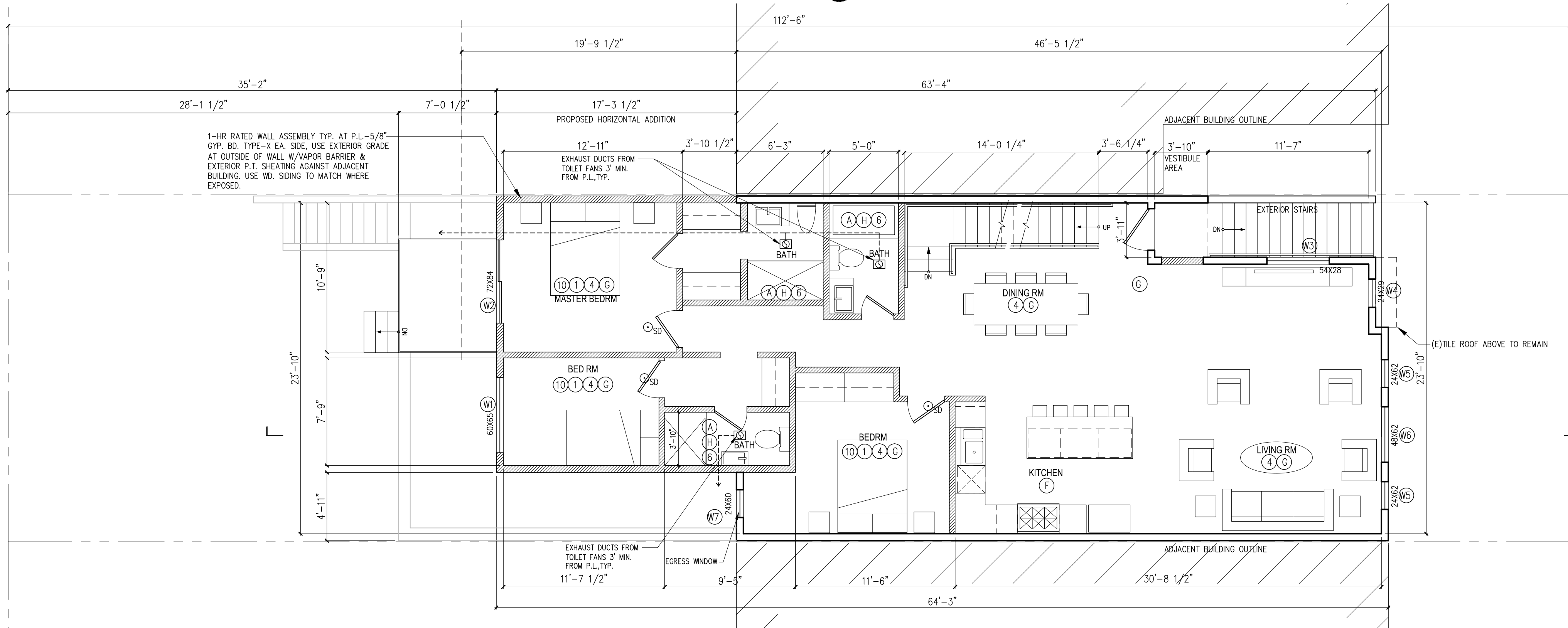
EXISTING  
ELEVATIONS

## A1.4





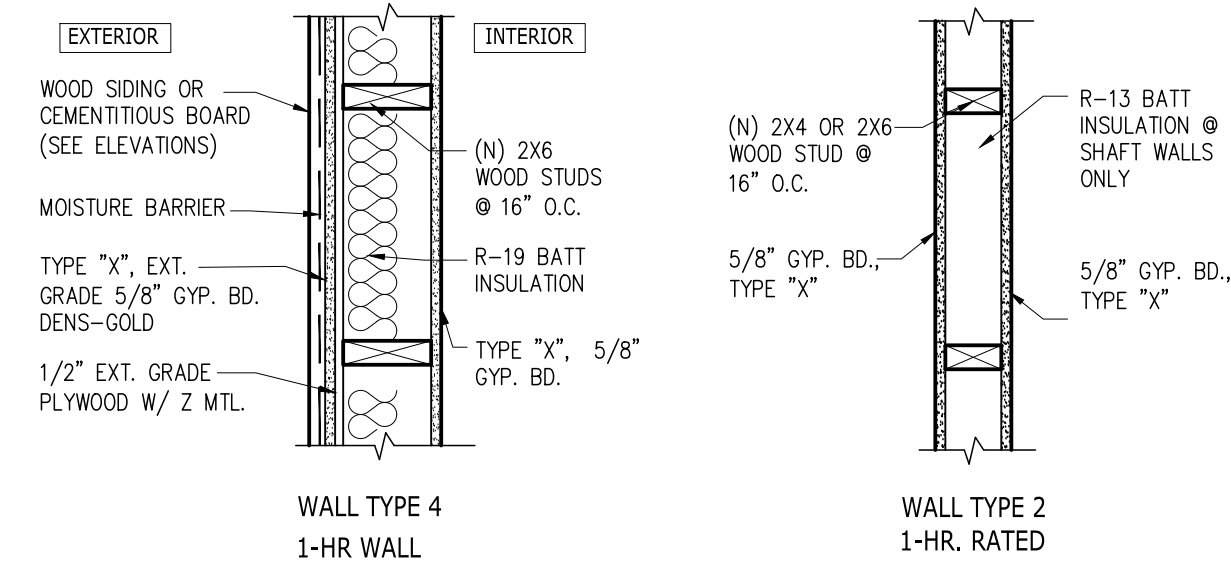
2 PROPOSED SECOND FLOOR PLAN  
SCALE : 3/16"=1'-0"



1 PROPOSED FIRST FLOOR PLAN  
SCALE : 3/16"=1'-0"

WINDOWS SCHEDULE

	DIMENSION	ROOM	TYPE	COUNT	MATERIAL
W1	60 X 65	BEDROOM	SLIDER	2	MILGARD VINYL WINDOW
W2	72 X 84	BEDROOM	SLIDER	4	MILGARD VINYL WINDOW
W3	54 X 28	LIVING RM	FIXED	1	MILGARD VINYL WINDOW
W4	24 X 29	LIVING RM	CASEMENT	1	MILGARD VINYL WINDOW
W5	24 X 62	LIVING RM	CASEMENT	2	MILGARD VINYL WINDOW
W6	60 X 65	BEDROOM	SLIDER	1	MILGARD VINYL WINDOW
W7	24 X 60	BEDROOM	CASEMENT	1	MILGARD VINYL WINDOW
W8	36 X 44	LIVING RM	CASEMENT	1	MILGARD VINYL WINDOW
W9	108 X 84	LIVING RM	SLIDER	1	MILGARD VINYL WINDOW
W10	60 X 84	BEDROOM	SLIDER	1	MILGARD VINYL WINDOW



3 WALL DETAILS  
SCALE : 1'=1'-0"

KEYNOTES

- 1 SMOKE DETECTOR & CARBON MONOXIDE DETECTOR: SMOKE DETECTOR TO BE INSTALLED IN ALL SLEEPING ROOMS AND AREAS SERVING THE SLEEPING ROOMS. MIN. ONE SMOKE DETECTOR ON EACH LEVEL. ALARMS AT BEDROOM TO BE PLACED WITHIN 1'-0" OF THE CENTER OF THE DOOR. INTERCONNECTION: WHERE MORE THAN ONE SMOKE ALARM IS REQ'D WITHIN A DWELLING UNIT, SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE DWELLING UNIT. ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OR BACKGROUND NOISE WITH ALL INTERVENING DOORS CLOSED. CARBON MONOXIDE DETECTOR: ARE REQUIRED ON THE HALLWAY OUTSIDE ALL BEDROOMS: AT LEAST ONE EACH STORY.
- 2 STAIRS: RISE AND RUN 4" MIN. RISER, 7" MAX. RISER AND 11" MIN. TREAD RUN. (EXCEPTION: STEPS MAY BE 7.75" MAX. RISE AND 10" MIN. RUN FOR STAIRS WITHIN INDIVIDUAL DWELLING UNIT IF OCCUPANT LOAD IS <10, OR FOR STAIRS TO UNOCCUPIED ROOF). LARGEST RISE OR RUN IN A FLIGHT MAY NOT EXCEED SMALLEST BY MORE THAN 3/8". HANDRAILS REQ'D ON STAIRS WITH 4 OR MORE RISERS. HANDRAIL HEIGHT BETWEEN 34" & 38" ABOVE LEADING EDGE OF NOSING, WITH 1/2" EXTENSIONS TOP & BOTTOM, RETURNED TO WALL. HANDRAILS REQUIRED AT BOTH SIDES, EXCEPT WITHIN A DWELLING UNIT. PICKETS & BALUSTERS: OPENING LESS THAN 4", 6" MAX. DIAMETER OPENING AT TREAD/RISER/BALUSTER TRIANGLE. GUARDRAIL MIN. HEIGHT 42". (EXCEPTION: WITHIN DWELLING UNIT, 36" MIN. IF HANDRAIL MOUNTED ABOVE GUARDRAIL.) LANDING REQ'D AT EVERY 12 VERTICAL FEET, MAX. LENGTH OF LANDING EQUAL TO WIDTH OF STAIRS. HEADROOM CLEARANCE MIN. 80" THROUGHOUT STAIRS. TREAD ANTI-SLIP: ON EXTERIOR STAIRS, PROVIDE TREAD TREATMENT TO ACHIEVE A COEFFICIENT OF FRICTION OF 1.02 DRY AND 0.98 WET.

- 3 STRUCTURE @ EXTERIOR: SUPPORT STRUCTURE FOR EXTERIOR STAIRS (AND ALL OTHER EXPOSED WOOD, OR WOOD IN CONTACT WITH CONCRETE) TO BE DECAY, TERMITE AND WEATHER RESISTANT WOOD. ALL CUT ENDS TO BE TREATED WITH "COOPER GREEN" OR SIMILAR PRESERVATIVE.
- 4 LIGHT & VENTILATION: LIGHT TO HABITABLE SPACE: 8% OF FLOOR AREA, MIN. 8 SQ. FT. HABITABLE ROOMS SHALL BE NATURALLY VENTILATED WITH AN AREA 1/20 OF THE FLOOR AREA WITH A MIN. 4 SQ. FT. OPENING.
- 5 GARAGE VENTILATION: 200 SQ. INCHES MIN. FOR GARAGE OF UP TO 1,000 SQ. FT. FOR EACH ADDITIONAL 200 SQ. FT. PROVIDE ADDITIONAL 30 SQ. IN. OF CLR. VENT AREA.
- 6 BATHROOM: W.C., MIN. OF 24" CLEARANCE IN FRONT OF W.C. 15" FROM CENTERLINE OF BOWL TO ADJACENT WALL. MAX. ALLOWABLE W.C. FLUSH RATE: 1.28 GALLONS, MAX. SHOWER: 30" MIN. DIA. CIRCLE & 1024 SQ. INCHES MIN. AREA, 32" X 32" INSIDE. THRESHOLD: SHOWERHEAD FLOW RATE TO BE 2.0 GPM MAX. WET AREAS: NO CYPRESS BOARD OR GREENBOARD OR PURPLE BOARD ALLOWED ON WET AREAS. USE 1/2" CEMENTITIOUS BACKERS (HARDIE BACKER OR SIM.) AS TILE OR STONE UNDER LAYMENT. FLOUGETS FLOW RATE TO BE 1.8 GPM MAX.
- 7 LAUNDRY: PROVIDE FLOOR DRAIN IN CENTER OF ROOM, SLOPE 1/4" MIN. PER FOOT.
- 8 SKYLIGHTS, (WITHOUT PARAPETS) LESS THAN 5 FEET FROM PROPERTY LINE TO BE 45 MIN. RATED ASSEMBLY W/ 1-HR. ROOF/CEILING CONSTRUCTION

- BEDROOM WINDOWS AT LEAST ONE PER BEDROOM SHALL MEET EGRESS REQ'S OF MIN. WIDTH 20" (WITH MIN. HEIGHT OF 41") OR MIN. HEIGHT 24" (WITH 34.2" MIN. WIDTH) TOTALING 5.7 SQ. FT. MIN. CLR. OPENING BOTTOM OF CLR. OPENING TO BE 44" MAX ABOVE BEDROOM FLOOR.
- ROOF/PAVEMENTS: AT UNRATED ROOFS: 1-HR RATED PARAPET, 30" MIN. HEIGHT REQ'D.
- ROOFING: CLASS "B" MIN. ROOFING. FLAT ROOF 2% MIN. SLOPE, 1/2" T:48.
- ROOF DECK: W.C., MIN. OF 24" CLEARANCE IN FRONT OF W.C. 15" FROM CENTERLINE OF BOWL TO ADJACENT WALL. MAX. ALLOWABLE W.C. FLUSH RATE: 1.28 GALLONS, MAX. SHOWER: 30" MIN. DIA. CIRCLE & 1024 SQ. INCHES MIN. AREA, 32" X 32" INSIDE. THRESHOLD: SHOWERHEAD FLOW RATE TO BE 2.0 GPM MAX. WET AREAS: NO CYPRESS BOARD OR GREENBOARD OR PURPLE BOARD ALLOWED ON WET AREAS. USE 1/2" CEMENTITIOUS BACKERS (HARDIE BACKER OR SIM.) AS TILE OR STONE UNDER LAYMENT. FLOUGETS FLOW RATE TO BE 1.8 GPM MAX.
- OVERFLOW DRAINS: SAME SIZE AS DRAIN AND 2" ABOVE LOW POINT.
- ATTIC VENTILATION & ACCESS: ENCLOSED ATTIC AND RAFTER SPACES SHALL HAVE CROSS VENTILATION. NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/200 OF ATTIC OR RAFTER SPACE AREA WITH A CLASS 1 OR 2 VAPOR BARRIER PROVIDED ON THE WARM-IN-WINTER SIDE OF CEILING; 40% OF VENT AREA SHALL BE PROVIDED IN UPPER PORTION AND SORT BY EAVES OR CORNICE VENTS. ACCESS: 22"x30" ACCESS REQUIRED WHEN ATTIC HAS CLEAR HEIGHT OF 30" OR MORE. HEADROOM OF 30" MIN. REQ'D ABOVE ACCESS.

- UNDER-FLOOR VENTILATION & ACCESS: CRAWL SPACE UNDER WOOD JOISTS SHALL HAVE CROSS VENTILATION, NOT LESS THAN 1 SQ. FT. FOR EACH 150 SQ. FT. OF CRAWL SPACE. ACCESS: 18"x24" MINIMUM SIZE ACCESS REQUIRED.
- TEMPERED WINDOWS: TEMPERED GLASS REQ'D WITHIN 24" OF THE STRIKE EDGE OF A DOOR, WITHIN 18" OF A FINISH FLOOR LEVEL (WALKING SURFACE), WITHIN SHOWER OR BATHTUB ENCLOSURE.
- ROOF/PAVEMENTS: AT UNRATED ROOFS: 1-HR RATED PARAPET, 30" MIN. HEIGHT REQ'D.
- ROOFING: CLASS "B" MIN. ROOFING. FLAT ROOF 2% MIN. SLOPE, 1/2" T:48.
- ROOF DECK: W.C., MIN. OF 24" CLEARANCE IN FRONT OF W.C. 15" FROM CENTERLINE OF BOWL TO ADJACENT WALL. MAX. ALLOWABLE W.C. FLUSH RATE: 1.28 GALLONS, MAX. SHOWER: 30" MIN. DIA. CIRCLE & 1024 SQ. INCHES MIN. AREA, 32" X 32" INSIDE. THRESHOLD: SHOWERHEAD FLOW RATE TO BE 2.0 GPM MAX. WET AREAS: NO CYPRESS BOARD OR GREENBOARD OR PURPLE BOARD ALLOWED ON WET AREAS. USE 1/2" CEMENTITIOUS BACKERS (HARDIE BACKER OR SIM.) AS TILE OR STONE UNDER LAYMENT. FLOUGETS FLOW RATE TO BE 1.8 GPM MAX.
- OVERFLOW DRAINS: SAME SIZE AS DRAIN AND 2" ABOVE LOW POINT.
- ATTIC VENTILATION & ACCESS: ENCLOSED ATTIC AND RAFTER SPACES SHALL HAVE CROSS VENTILATION. NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/200 OF ATTIC OR RAFTER SPACE AREA WITH A CLASS 1 OR 2 VAPOR BARRIER PROVIDED ON THE WARM-IN-WINTER SIDE OF CEILING; 40% OF VENT AREA SHALL BE PROVIDED IN UPPER PORTION AND SORT BY EAVES OR CORNICE VENTS. ACCESS: 22"x30" ACCESS REQUIRED WHEN ATTIC HAS CLEAR HEIGHT OF 30" OR MORE. HEADROOM OF 30" MIN. REQ'D ABOVE ACCESS.

MECHANICAL & ELECTRICAL KEYNOTES

- ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST ADOPTED EDITION OF THE CALIFORNIA ELECTRICAL CODE. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO THE ITEMS LISTED BELOW:
- 1 BATHROOM: ELECTRICAL: PROVIDE BATH WITH GFCI OUTLETS. LIGHTING: A MIN. OF ONE HIGH EFFICACY LUMINAIRE SHALL BE INSTALLED IN EACH BATHROOM. ALL H.E. LIGHTING UNLESS LIGHTING IS CONTROLLED BY CERTIFIED VACANCY SENSOR(S).
- 2 LAUNDRY: ELECTRICAL: LAUNDRY ROOM, WASHER AND DRYER SHALL HAVE A SEPARATE 20 AMP CIRCUIT. DRYER VENT: RIGID PIPE (NO FLEX DUCT ALLOWED) SHALL TERMINATE OUTSIDE. 4" DIAM PIPE 14" MAX LENGTH WITH MAX 2 - 90 DEGREE TURNS, MINUS 2" FOR EACH ADDITIONAL 90 DEGREE TURN OR PROVIDE BOOSTER FAN. MAKE-UP AIR: VENT FOR GAS OR ELECTRIC DRYERS: 100 SQ. IN. MIN. INTAKE OPENING. LIGHTING: ALL H.E. LIGHTING UNLESS LIGHTING IS CONTROLLED BY VACANCY SENSOR(S) (2013 CEC).
- 3 OUTLETS (ELECTRICAL RECEPTACLES): AT LEAST ONE OUTLET IN HALLWAY. PLACE OUTLETS SO THAT NO POINT ALONG THE WALL SPACE IS MORE THAN 6' HORIZONTALLY FROM ANY OUTLET. ANY WALL OVER 24" WIDE SHALL HAVE AN OUTLET. ALL OUTLETS SHALL BE LISTED TAMPER RESISTANT RECEPTACLES.
- 4 SWITCHES AND CONTROLS SHALL BE PLACED MIN. 36" - MAX 48" ABOVE FINISH FLOOR.
- 5 THERMOSTATS SHALL BE PLACED 60" ABOVE FINISH FLOOR.

- 6 KITCHEN: ELECTRICAL: A MINIMUM OF (2) 20 AMP SMALL APPLIANCE CIRCUITS SHALL BE PROVIDED FOR THE KITCHEN, DINING AND FAMILY ROOM AREAS. CONTRACTOR SHALL PROVIDE FOR FUTURE EXPANSION OF (3) 30 AMP CIRCUITS. OUTLETS: MIN. 1 PER EACH COUNTER SECTION WIDER THAN 12". 4" MAX. DISTANCE BETWEEN OUTLETS. PROVIDE GFCI OUTLETS. LIGHTING: AT LEAST 50% OF INSTALLED LUMINAIRE MUST BE OF HIGH EFFICACY (H.E.) LIGHTING AND MUST BE SWITCHED SEPARATELY FROM NON-H.E. LIGHTING.
- 7 LIGHTING (OTHER ROOMS): BEDROOM, HALLWAY, STAIRS, DINING & CLOSETS BIGGER THAN 70 SQ. FT. ALL HIGH EFFICACY LIGHTING UNLESS LIGHTING THAT IS CONTROLLED BY A DIMMER SWITCH OR CERTIFIED VACANCY SENSOR(S) (TITLE 24).
- 8 EXHAUST FANS: PROVIDE BATH & LAUNDRY W/ MECHANICAL EXHAUST FANS WITH BACKDRAFT DAMPER. EXHAUST DIRECT TO EXTERIOR. NO VENT TERMINATION IN EXTERIOR WALL WITHIN 3 FT. OF PROPERTY LINE OR WINDOW OR OPENING USED FOR VENTILATION.
- 9 HEATING SYSTEM: AS SHOWN IS SCHEMATIC ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR SYSTEM DESIGN AND ITS ADEQUACY. WHERE FURNACE DUCTS PIERCE 1-HR GARAGE WALLS, DUCTS SHALL BE MIN. 26 GAUGE GALVANIZED STEEL.
- 10 WATER HEATER: SEE WATER HEATER DETAIL FOR SEISMIC STRAP AND 18" PLATFORM.
- 11 WATER HEATER: SEE WATER HEATER DETAIL FOR SEISMIC STRAP AND 18" PLATFORM.
- 12 LIGHTING: ALL HIGH EFFICACY LIGHTING UNLESS LIGHTING THAT IS CONTROLLED BY CERTIFIED VACANCY SENSOR(S) (TITLE 24).

DETAILS SHEET NOTES

- 1 WALL TYPES DWGS DO NOT CONVEY STRUCTURAL (SHEAR) REQUIREMENTS. SEE STRUCT. DWGS.
- 2 FLOOR CEILING ASSEMBLIES DO NOT CONVEY STRUCTURAL REQUIREMENTS. SEE STRUCT. DWGS.

SHEET NOTES

1. ALL PLAN DIMENSIONS TO FACE OF ROUGH FRAMING, FACE OF CONCRETE, OR CENTER LINE OF STEEL, U.O.N.
2. ALL SECTION AND ELEVATION DIMENSIONS TO FINISH FLOOR.
3. ALL WOOD FRAMED EXTERIOR WALLS TO BE FRAMED WITH 2X6 U.O.N. INTERIOR WALLS TO BE FRAMED WITH 2X4 U.O.N. REFER TO WALL TYPES TAGS FOR EXCEPTIONS.

LEGEND

- 1 WALL TYPE
- 999 DOOR NUMBER
- 9A WINDOW NUMBER
- SECTION
- ELEVATION
- FLOOR/CEILING ASSEMB. TYPE
- (E) WALL TO BE DEMOLISHED
- (E) WALL TO REMAIN
- (N) WALL
- PROPERTY LINE
- ABOVE



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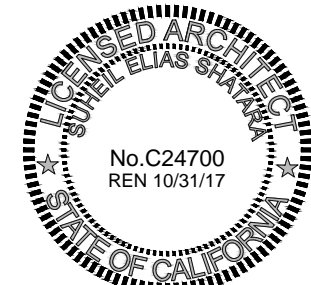
## PROJECT DIRECTORY

## ARCHITECT

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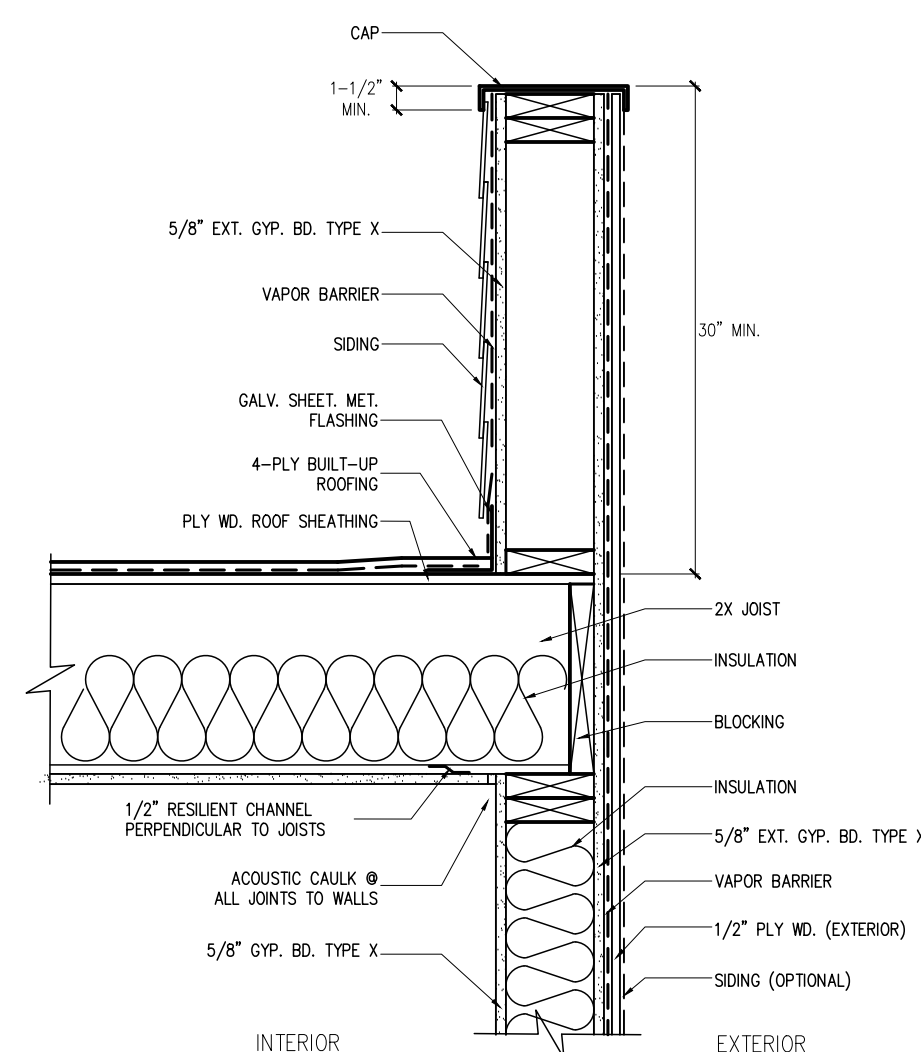
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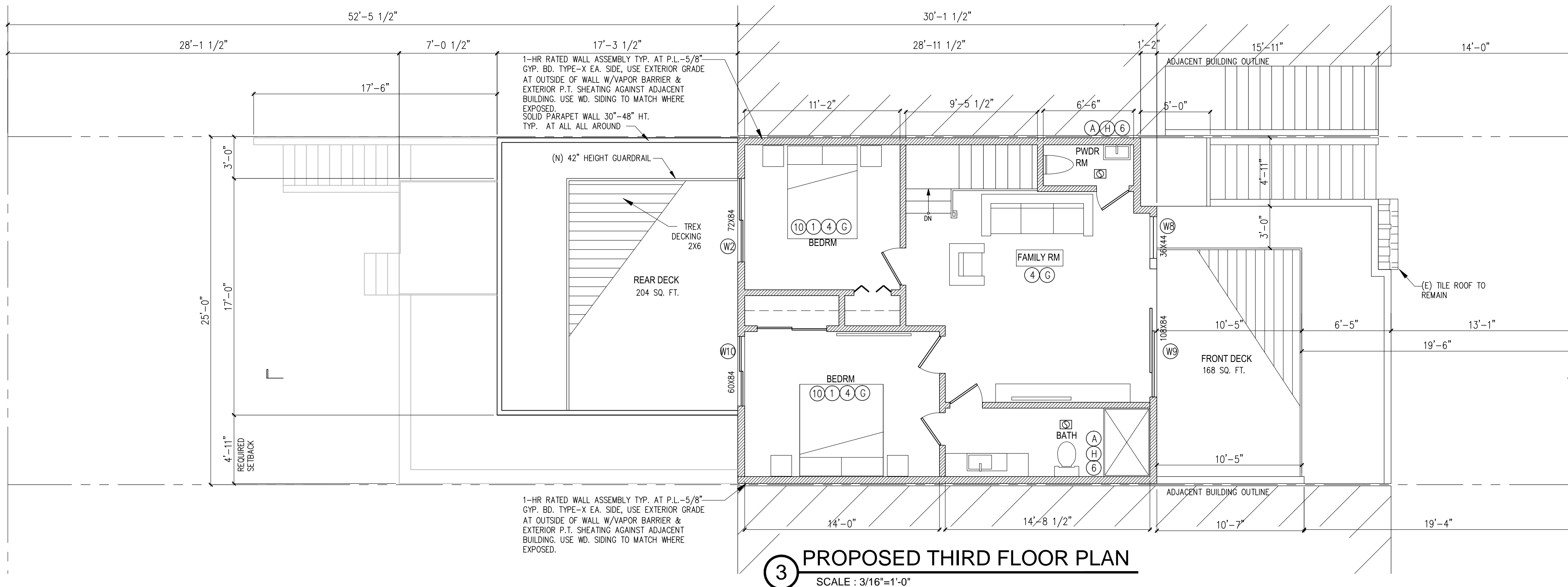
## PROPOSED FLOOR & ROOF PLANS

A2.1



3 1-HR ROOF PARAPET  
DETAIL SCALE : 1"=1'-0"

WINDOWS SCHEDULE					
	DIMENSION	ROOM	TYPE	COUNT	MATERIAL
W1	60 X 65	BEDROOM	SLIDER	2	MILGARD VINYL WINDOW
W2	72 X 84	BEDROOM	SLIDER	4	MILGARD VINYL WINDOW
W3	54 X 28	LIVING RM	FIXED	1	MILGARD VINYL WINDOW
W4	24 X 29	LIVING RM	CASEMENT	1	MILGARD VINYL WINDOW
W5	24 X 62	LIVING RM	CASEMENT	2	MILGARD VINYL WINDOW
W6	60 X 65	BEDROOM	SLIDER	1	MILGARD VINYL WINDOW
W7	24 X 60	BEDROOM	CASEMENT	1	MILGARD VINYL WINDOW
W8	36 X 44	LIVING RM	CASEMENT	1	MILGARD VINYL WINDOW
W9	108 X 84	LIVING RM	SLIDER	1	MILGARD VINYL WINDOW
W10	60 X 84	BEDROOM	SLIDER	1	MILGARD VINYL WINDOW



3 PROPOSED THIRD FLOOR PLAN  
SCALE : 3/16"=1'-0"

## KEYNOTES

1. SMOKE DETECTOR & CARBON MONOXIDE DETECTOR: SMOKE DETECTOR TO BE INSTALLED IN ALL SLEEPING ROOMS AND AREAS SERVING THE SLEEPING ROOMS. ONE SMOKE DETECTOR TO BE INSTALLED ON EACH FLOOR, INCLUDING BASEMENT, WITHIN 1'-0" OF THE CENTER OF THE DOOR. INTERCONNECTION BY MORE THAN ONE SMOKE ALARM IS REQUIRED WITHIN A DWELLING UNIT. SMOKE DETECTOR SHALL BE INSTALLED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE DWELLING UNIT. ALARM SHALL BE CLEARLY IDENTIFIED BY THE MANUFACTURER'S BACKGROUND NOISE WITH ALL INTERVENING DOORS CLOSED. CARBON MONOXIDE DETECTORS ARE REQUIRED ON THE HALLWAY OUTSIDE ALL BEDROOMS AT LEAST ONE EACH STORY.
2. STAIRS  
a. STAIRS TO RUN 4" MIN. RISER, 7" MAX. RISER AND 11" MAX. TREAD. STAIRS TO CONFORM: STEPS MAY BE 7.75" MAX. RISE AND 10" MIN. RUN FOR STAIRS FOR INDIVIDUAL DWELLING UNIT IF OCCUPANT LOAD IS 40; OR FOR STAIRS TO UNOCCUPIED ROOFS OR ATTIC AREAS, STAIRS TO RUN 7" MAX. RISE AND 10" MIN. RUN BY MORE THAN 3/8" HANDRAILS REND ON STAIRS WITH 4 OR MORE RISERS. HANDRAIL HEIGHT BETWEEN 34" & 38" ABOVE LEADING EDGE OF NOSING, WITH 12" EXTENSIONS TOP & BOTTOM OF HANDRAILS TO BE SECURED TO WALLS OR PARTITION WALLS EXCEPT WITHIN A DWELLING UNIT. PICKETS & BALUSTERS: OPENING LESS THAN 4", 6" MAX. DIAMETER OPENING AT BALUSTERS OR PICKETS. MAXIMUM PICKET OR BALUSTER SPACING: WITHIN DWELLING UNIT, 36" MIN. IF HANDRAIL MOUNTED ABOVE GUARDRAIL. LANDING REQ'D AT EVERY 12 VERTICAL FEET, MAX. LENGTH OF LANDING EQUAL TO WIDTH OF STAIRS. STAIRS TO BE CLEAR OF OBSTACLES. STAIRS TO BE TREAD ANTI-SLIP, ON EXTERIOR STAIRS, PROVIDE TREAD TREATMENT TO ACHIEVE A COEFFICIENT OF FRICTION OF 1.02.

- 3. STRUCTURE & EXTERIOR SUPPORT STRUCTURE FOR EXTERIOR STAIRS (AND ALL OTHER EXPOSED WOOD, OR WOOD IN CONTACT WITH CONCRETE) TO BE DECAY, TERMITE AND WEATHER RESISTANT. ALL EXTERIOR WOOD SHALL BE TREATED WITH "COPPER GREEN" OR SIMILAR PRESERVATIVE.
- 4. LIGHT & VENTILATION: LIGHT TO HABITABLE SPACE, 8% OF FLOOR AREA, MIN. 8 SQ. FT. HABITABLE ROOMS SHALL BE NATURALLY VENTILATED WITH AN AREA 4% OF THE FLOOR AREA WITH A MIN. 4 SQ. FT. OPENINGS.
- 5. GARAGE VENTILATION: 20 SQ. INCHES MIN. FOR GARAGE OF UP TO 300 SQ. FT. PER EACH ADDITIONAL 200 SQ. IN. PROVIDE ADDITIONAL 30 SQ. IN. OF CL.R. VENT AREA.
- 6. BATHROOM:  
W.C. MIN. OF 24" CLEARANCE IN FRONT OF W.C. 15" FROM CENTER OF BOWL TO WALL/ CLOSET WALL. MAX. ALLOWABLE W.C. SPACING: 60 GALLONS MAX. SHOWERS: 30" MIN. DIA. ORGLE & 1024 SQ. INCHES MIN. AREA, 32" X 32" INSIDE THRESHOLD; SHOWERHEAD FLOW RATE TO BE 2.0 GPM MAX. WE SHALL PROVIDE 1/2" CEMENTITIOUS GROUT OR FLOOR FINISH ALLOWED ON MET AREAS; USE 1/2" CEMENTITIOUS GROUT (HARDCO BACKER OR SIM.) AS TILE OR STONE UNDER LAYMENT. FAUCETS FLOW RATE TO BE 1.8 GPM MAX.
- 7. LAUNDRY: PROVIDE FLOOR DRAIN IN CENTER OF ROOM, SLOPE MIN. 1/4" PER FOOT.
- 8. SKYLIGHTS (WITHOUT PARAPETS) LESS THAN 5 FEET FROM PROPERTY LINE TO BE 45 MIN. DRAIN ASSEMBLY W/ 1-HR.

- 6. ROOFING WINDOWS AT LEAST ONE PER ROOM SHALL MEET 1)
- 7. GROSS REYS OF MIN. WIDTH 20" (WITH MIN. HEIGHT OF 41")
- 8. MIN. HEIGHT 24" (WITH 34 1/2" MIN. WIDTH) TOTALING 87 SQ. FT.
- 9. MIN. ONE CORNER BOTTLE OF C.L.R. OPENING TO BE 44" MAX ABOVE ROOF FLOOR.
- 10. ROOF PARAPETS AT UNRAISED ROOFS: 1-HR RATED PARAPET.
- 11. 30" MIN. HEIGHT REQ'D.
- 12. ROOFING: CLASS "B" MIN. ROOFING. FLAT ROOF 2% MIN. SLOPE.
- 13. 1-48.
- 14. ROOF DECK:
- 15. 3" 500 SQFT. FOR COMBUSTIBLE DECKING MATERIAL, 1/8"
- 16. SPACING BETWEEN PLANKS, PERMISTION OPENING CLOSED TO
- 17. WITHIN 1" OF PLANKS, CONSTRUCTION IS MIN. 2" NOMINAL HEAVY
- 18. GROUND OR FIRE RESISTANT TREATED WOOD. CURVED MIN.
- 19. HEIGHT 42". OPENING LESS THAN 4".
- 20. OVERFLOW DRAINS: SAME SIZE AS DRAIN AND 2" ABOVE LOW
- 21. POINT.
- 22. ATTIC VENTILATION/ACCESS: ENCLOSED ATTIC AND RAFTER
- 23. SPACES SHALL HAVE CROSS VENTILATION. NET FREE VENTILATION
- 24. AREA SHALL NOT BE LESS THAN 1/300th OF ATTIC OR RAFTER
- 25. SPACE. MIN. 1/2" VENT. OR 2" VAPOR BARRIER PROVIDED
- 26. ON THE WARM-IN-WINTER SIDE OF CEILING. 40% OF VENT AREA
- 27. SHALL BE PROVIDED IN UPPER PORTION AND 50% BY EAVES OR
- 28. CORNICE VENTS. ACCESS: 22" X30" ACCESS REQUIRED WHEN
- 29. CLEAR HEIGHT OF 30" OR MORE. HEADROOM OF 30"
- 30. MIN. REQ'D ABOVE ACCESS.

- UNDER-FLOOR VENTILATION & ACCESS: CRAWL SPACE UNDER WOOD JOISTS SHALL HAVE CROSS VENTILATION, NOT LESS THAN 1 SQ.FT. FOR EACH 150 SQ.FT. OF CRAWL SPACE. ACCESS:  
18"x24" MINIMUM SIZE ACCESS REQUIRED
- TEMPERED WINDOWS: TEMPERED GLASS REQ'D WITHIN 24" OF THE STRIKE EDGE OF A DOOR, WITHIN 18" OF A FINISH FLOOR LEVEL (WALKING SURFACE); WITHIN SHOWER OR BATHTUB ENCLOSURE.

## MECHANICAL &amp; ELECTRICAL KEYNOTES

ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST ADOPTED EDITION OF THE CALIFORNIA ELECTRICAL CODE, THIS SHALL INCLUDE BUT IS NOT LIMITED TO, THE ITEMS LISTED BELOW:

- (A) BATHROOM:**  
**OUTLETS:** PROVIDE BATH WITH GFCI OUTLETS. **LIGHTING:** A MIN. OF ONE HIGH EFFICACY LUMINAIRE SHALL BE INSTALLED IN EACH BATHROOM. ALL H.E. LIGHTING UNLESS LIGHTING IS CONTROLLED BY CERTIFIED VACANCY SENSOR(S)
- (B) LAUNDRY:**  
**ELECTRICAL:** LAUNDRY ROOM, WASHER AND DRYER SHALL HAVE A SEPARATE 20 AMP CIRCUIT. **DRYER VENT:** RIGID PIPE (NO FLEX DUCT ALLOWED) SHALL TERMINATE OUTSIDE. 4" DIAM PIPE 14" MAX LENGTH WITH MAX 2" - 90 DEGREE TURN, MINUS 2" MIN. CLEARANCE TO WALLS. **WASHER VENT:** PROVIDE BOOSTER FAN, MAX 1/4" AIR VENT. FAN FOR GAS OR ELECTRIC DRYERS: 100 SQ. IN. MIN. INTAKE OPENING. **LIGHTING:** ALL THE LIGHTING LAUNDRY LIGHTING IS CONTROLLED BY VACANCY SENSOR(S) (2013 CEC)
- (C) OUTLETS & ELECTRICAL RECEPTACLES:** AT LEAST ONE OUTLET IN HALLWAY. PLACE OUTLETS SO THAT NO POINT ALONG THE WALL, SPACE IS MORE THAN 6" HORIZONTALLY FROM ANY OUTLET. ANY WALL OVER 24" WIDE SHALL HAVE AN OUTLET. ALL OUTLETS SHALL BE LISTED TAMPAR RESISTANT RECEPTACLES.
- (D) SWITCHES AND CONTROLS** SHALL BE PLACED MIN. 36" - MAX 48" ABOVE FINISH FLOOR.
- (E) THERMOSTATS** SHALL BE PLACED 60" ABOVE FINISH FLOOR.

- (7) **KITCHEN:**  
ELECTRICAL: A MINIMUM OF (2) 20 AMP SMALL APPLIANCE CIRCUITS SHALL BE PROVIDED FOR THE KITCHEN, DINING AND BREAKFAST AREAS. CONTRACTOR SHALL PROVIDE FOR FUTURE EXPANSION OF (3) 30 AMP CIRCUITS. OUTLETS, MIN. 1 PER EACH COUNTER SECTION. PROVIDE DOWN AT LEAST 12" 4' MAX. DISTANCE BETWEEN OUTLETS. PROVIDE GFI OUTLETS. LIGHTING: AT LEAST 30% INSTALLED LUMINAIRE MUST BE OF HIGH EFFICIENCY (H.E.L.) LIGHTING AND MUST BE SWITCHED SEPARATELY FROM NON-H.E.L. LIGHTING.
- (8) **LIGHTING (OTHER ROOMS):** BEDROOM, HALLWAY, STAIRS, DINING (LIGHTS BIGGER THAN 70 TO 50 FT-ALL HIGH EFFICIENCY LIGHTING UNLESS LIGHTING THAT IS CONTROLLED BY A DIMMER SWITCH (CERTIFIED VACANCY SENSOR'S) (TITLE 24).
- (9) **EXHAUST FANS:** PROVIDE BATH & LAUNDRY W/ MECHANICAL EXHAUST FANS WITH BACKDRAFT DAMPER. EXHAUST DIRECT TO EXTERIOR. NO VENT TERMINATION IN EXTERIOR WALL WITHIN 3' OF PROPERTY LINE OR WINDOW OR OPENING USED FOR VENTILATION.
- (10) **HEATING SYSTEM:** AS SHOWN IS SCHEMATIC ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR SYSTEM DESIGN AND ITS ADEQUACY. EXISTING FURNACE MUST BE REPLACED WITH HIGH EFFICIENCY (H.E.L.) SHALL BE MIN. 26 GALLONIZED STEEL.
- (X) **COMBUSTION AIR INLET:** OPENING NOT ALLOWED WITHIN 3' OF PROP. LINE 12" DOWN FROM TOP, 12" UP FROM BOTTOM.
- (11) **WATER HEATER:** SEE WATER HEATER DETAIL FOR SEISMIC STRAPPING AND 15" PLATFORM
- (U) **GARAGE:**  
LIGHTING: ALL HIGH EFFICIENCY LIGHTING UNLESS LIGHTING THAT COMPLIES WITH CERTIFIED VACANCY SENSOR'S (TITLE 24)












### DETAILS SHEET NOTES

- ① WALL TYPES DWGS DO NOT CONVEY STRUCTURAL (SHEAR) REQUIREMENTS. SEE STRUCT. DWGS.
- ② FLOOR/CEILING ASSEMBLIES DO NOT CONVEY STRUCTURAL REQUIREMENTS. SEE STRUCT. DWGS.

## SHEET NOTES

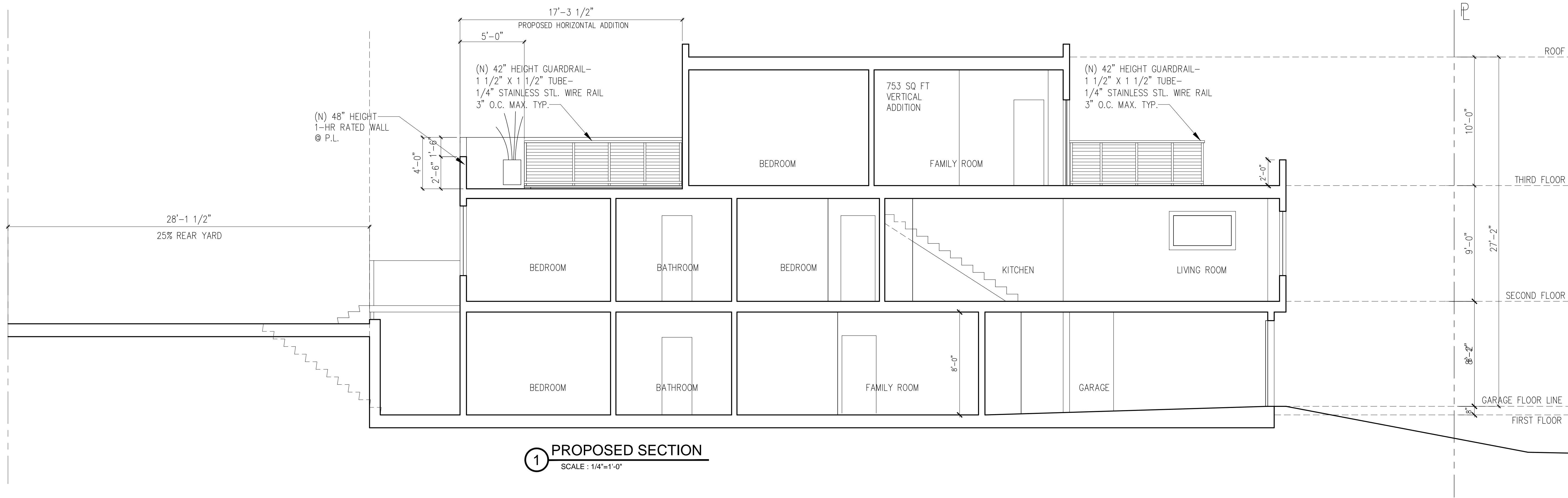
1. ALL PLAN DIMENSIONS TO FACE OF ROUGH FRAMING, FACE OF CONCRETE, OR CENTER LINE OF STEEL, U.O.N.
2. ALL SECTION AND ELEVATION DIMENSIONS TO FINISH FLOOR.
3. ALL WOOD FRAMED EXTERIOR WALLS TO BE FRAMED WITH 2X6 U.O.N. INTERIOR WALLS TO BE FRAMED WITH 2X4 U.O.N. REFER TO WALL TYPES TAGS FOR EXCEPTIONS.

### LEGEND

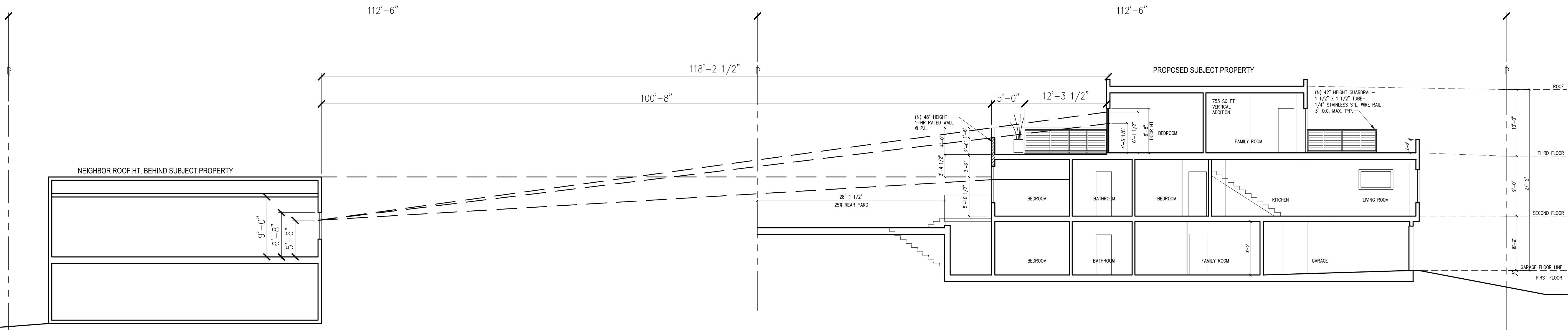
-  WALL TYPE  
 DOOR NUMBER  
 WINDOW NUMBER  
 SECTION  
 ELEVATION  
 FLOOR/CEILING ASSEMBLY TYPE  
 (E) WALL TO BE DEMOLISHED  
 (E) WALL TO REMAIN  
 (N) WALL  
 PROPERTY LINE  
 ABOVE



P



1 PROPOSED SECTION  
SCALE : 1/4"=1'-0"



2 PROPOSED CROSS SECTION  
SCALE : 1/8"=1'-0"

DETAILS SHEET NOTES

- 1 WALL TYPES DWGS DO NOT CONVEY STRUCTURAL (SHEAR) REQUIREMENTS. SEE STRUCT. DWGS.
- 2 FLOOR/CEILING ASSEMBLIES DO NOT CONVEY STRUCTURAL REQUIREMENTS. SEE STRUCT. DWGS.

SHEET NOTES

1. ALL PLAN DIMENSIONS TO FACE OF ROUGH FRAMING, FACE OF CONCRETE, OR CENTER LINE OF STEEL, U.O.N.
2. ALL SECTION AND ELEVATION DIMENSIONS TO FINISH FLOOR.
3. ALL WOOD FRAMED EXTERIOR WALLS TO BE FRAMED WITH 2X6 U.O.N. INTERIOR WALLS TO BE FRAMED WITH 2X4 U.O.N. REFER TO WALL TYPES TAGS FOR EXCEPTIONS.

LEGEND

- |     |               |        |                             |
|-----|---------------|--------|-----------------------------|
| 9   | WALL TYPE     | 1 A3.4 | SECTION                     |
| 999 | DOOR NUMBER   | 1 A3.4 | ELEVATION                   |
| 9A  | WINDOW NUMBER | A      | FLOOR/CEILING ASSEMBLY TYPE |
|     |               | ---    | (E) WALL TO BE DEMOLISHED   |
|     |               | ---    | (E) WALL TO REMAIN          |
|     |               | ---    | (N) WALL                    |
|     |               | ---    | PROPERTY LINE               |
|     |               | ---    | ABOVE                       |

SHATARA  
ARCHITECTURE  
INC.

890 7TH ST.  
SAN FRANCISCO  
CA 94107

TEL (415) 512-7566  
suhel@shataraarch.com

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.  
THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY PROJECTS OR PURPOSES WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF SHATARA ARCHITECTURE INC.

PROJECT  
RESIDENTIAL REMODEL

ADDRESS  
171 JUDSON AVE  
SAN FRANCISCO, CA

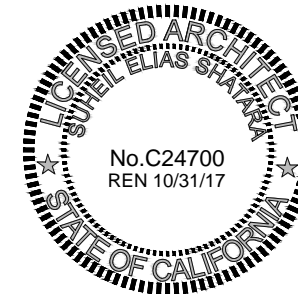
BLOCK: 3182  
LOT: 032

PROJECT DIRECTORY  
ARCHITECT

890 7TH STREET  
SAN FRANCISCO, CA 94107  
TEL: 415-512-7566

CONTACT: SUHEL SHATARA

ISSUED	DATE	NO.
REVISION	12-19-16	
REVISION	08-11-17	



SHEET DESCRIPTION  
PROPOSED  
SECTION

A2.2

890 7TH ST.  
SAN FRANCISCO  
CA 94107

TEL (415) 512-7566  
suheil@shataraarch.com

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IN WHOLE OR IN PART, FOR ANY PROJECTS  
OR PURPOSES WHATSOEVER, WITHOUT THE  
PRIOR SPECIFIC WRITTEN AUTHORIZATION  
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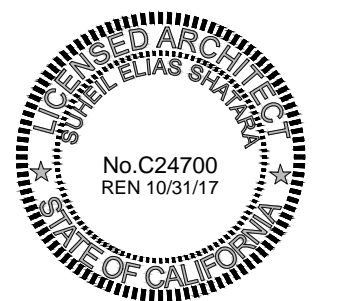
PROJECT  
RESIDENTIAL REMODEL

ADDRESS  
171 JUDSON AVE  
SAN FRANCISCO, CA  
  
BLOCK: 3182  
LOT: 032

PROJECT DIRECTORY

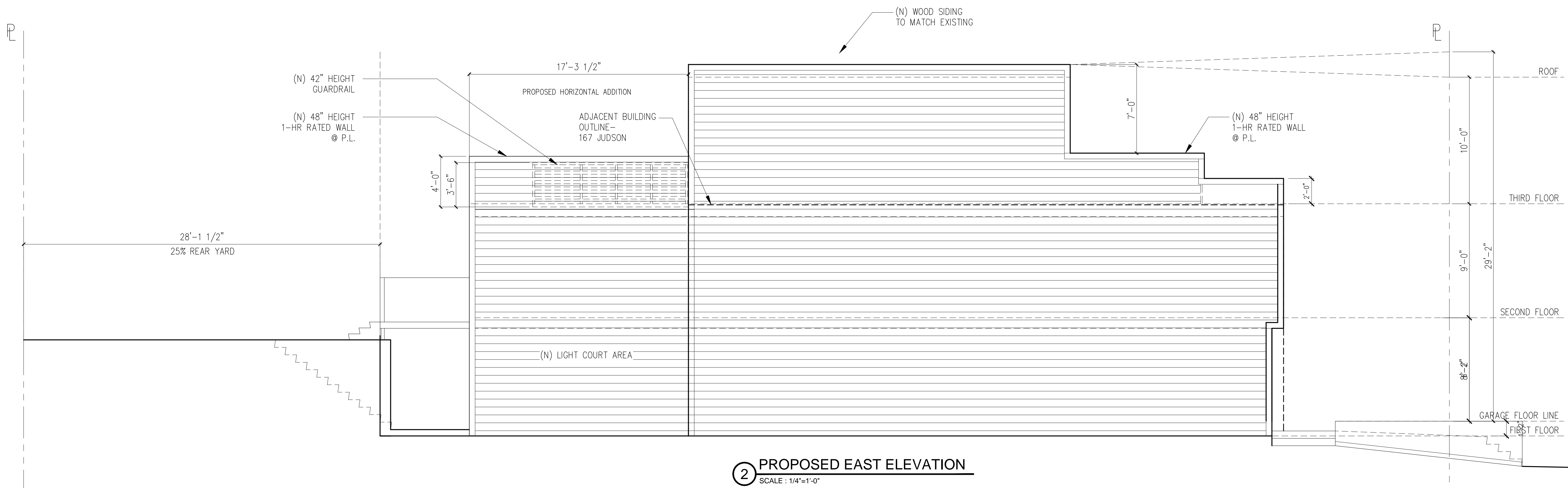
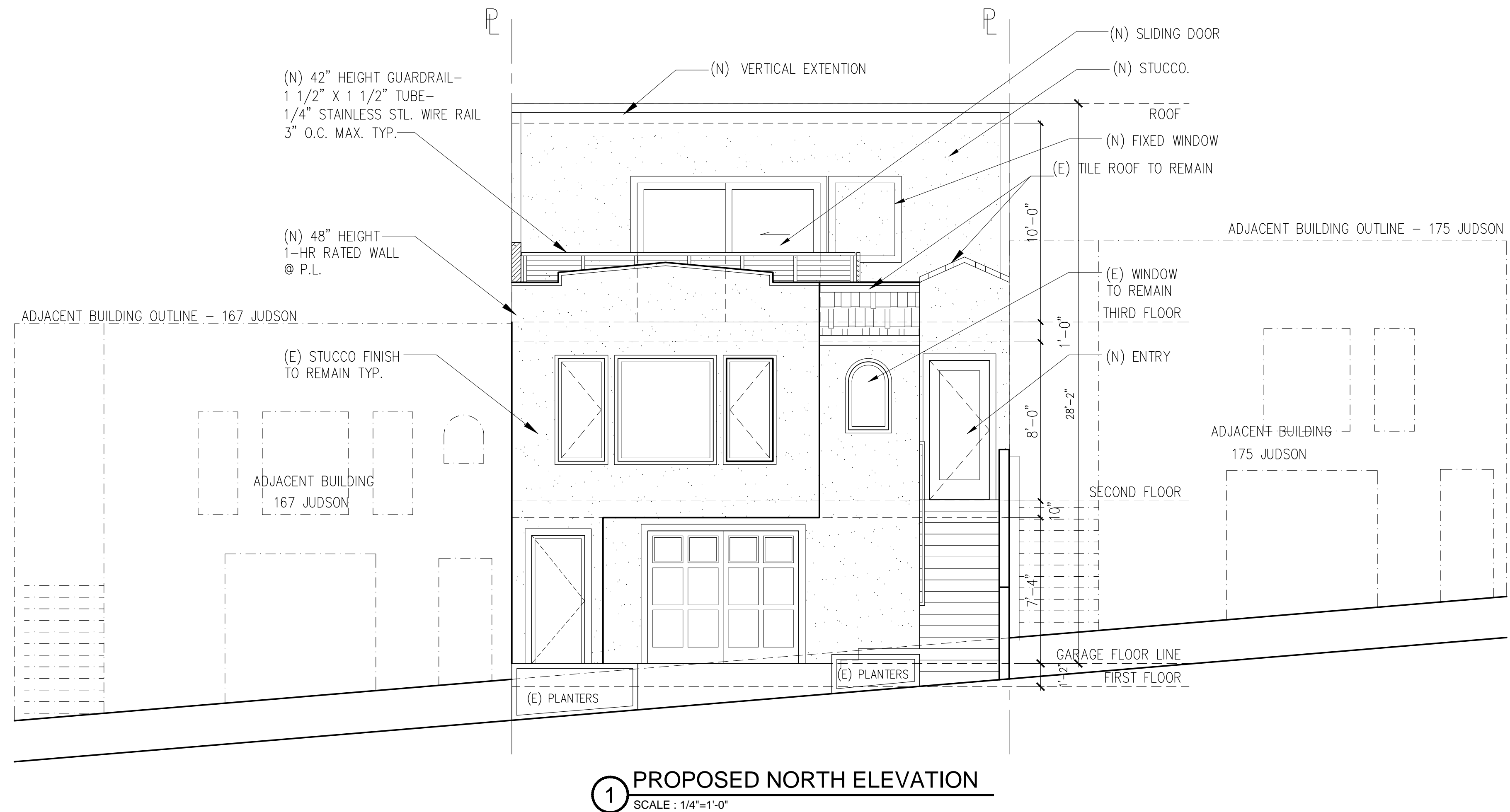
890 7TH STREET  
SAN FRANCISCO, CA 94107  
TEL: 415-512-7566  
CONTACT: SUHEIL SHATARA

ISSUED	DATE	NO.
REVISION	12-19-16	
REVISION	08-11-17	



# PROPOSED ELEVATIONS

### A3.1



890 7TH ST.  
SAN FRANCISCO  
CA 94107

TEL (415) 512-7566  
suheil@shataraarch.com

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RESIDENTIAL REMODEL

ADDRESS  
171 JUDSON AVE  
SAN FRANCISCO, CA

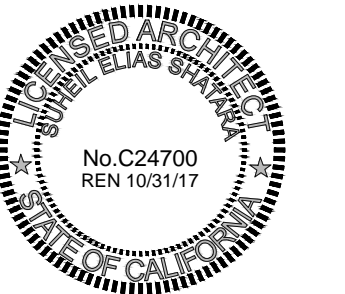
BLOCK: 3182  
LOT: 032

PROJECT DIRECTORY

890 7TH STREET  
SAN FRANCISCO, CA 94107  
TEL: 415-512-7566

CONTACT: SUHEIL SHATARA

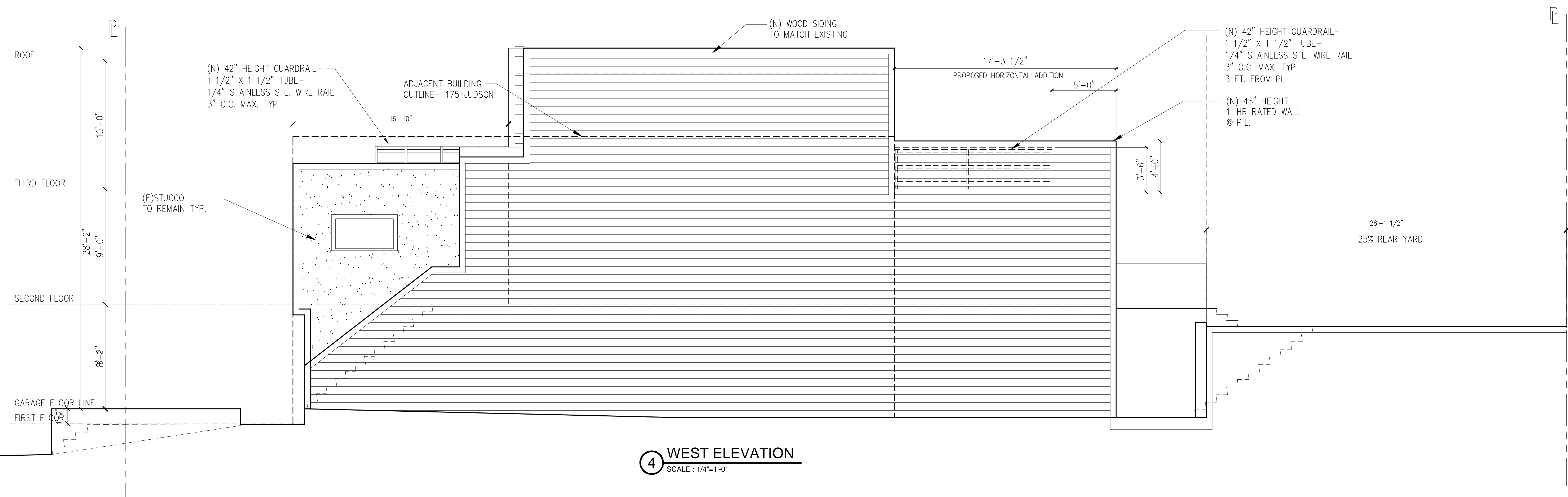
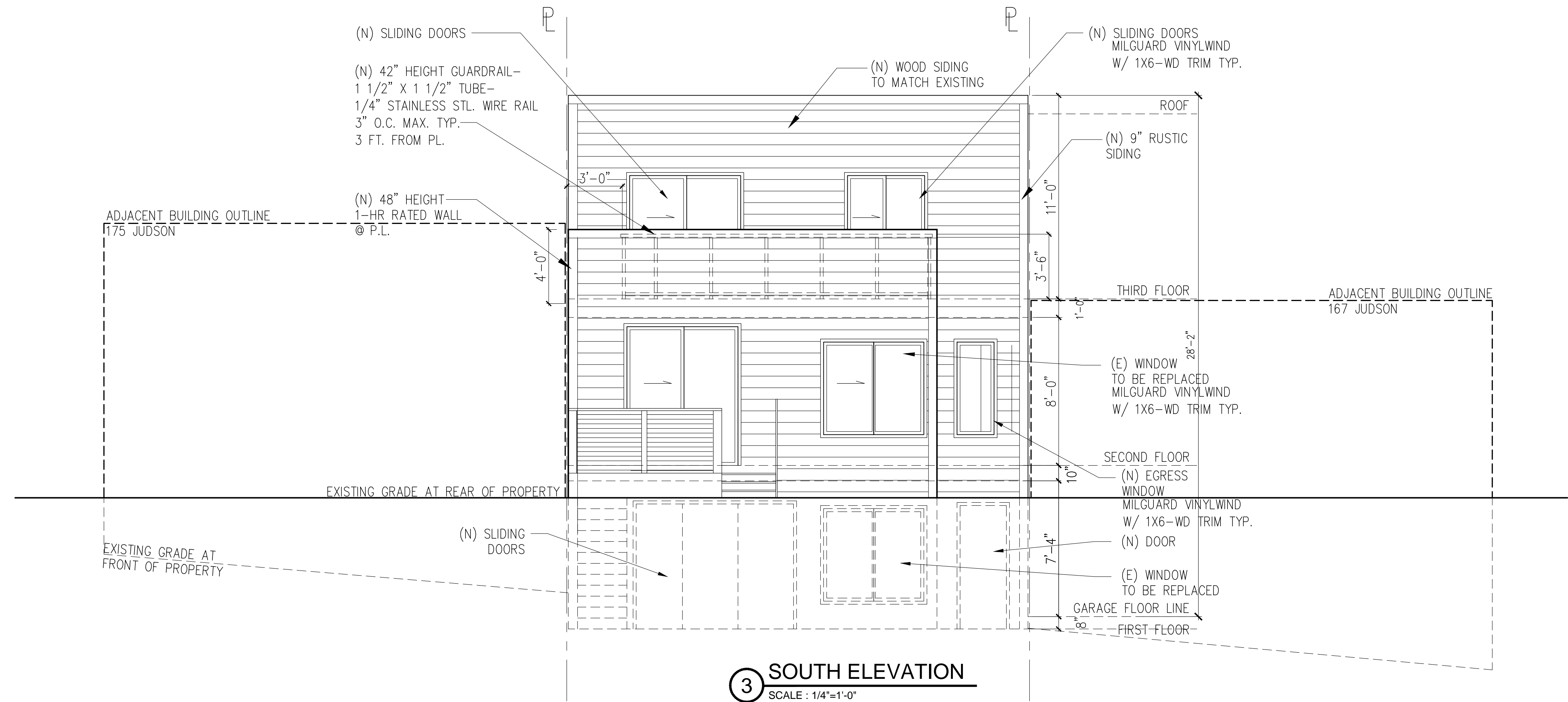
ISSUED	DATE	NO.
REVISION	12-19-16	
REVISION	08-11-17	

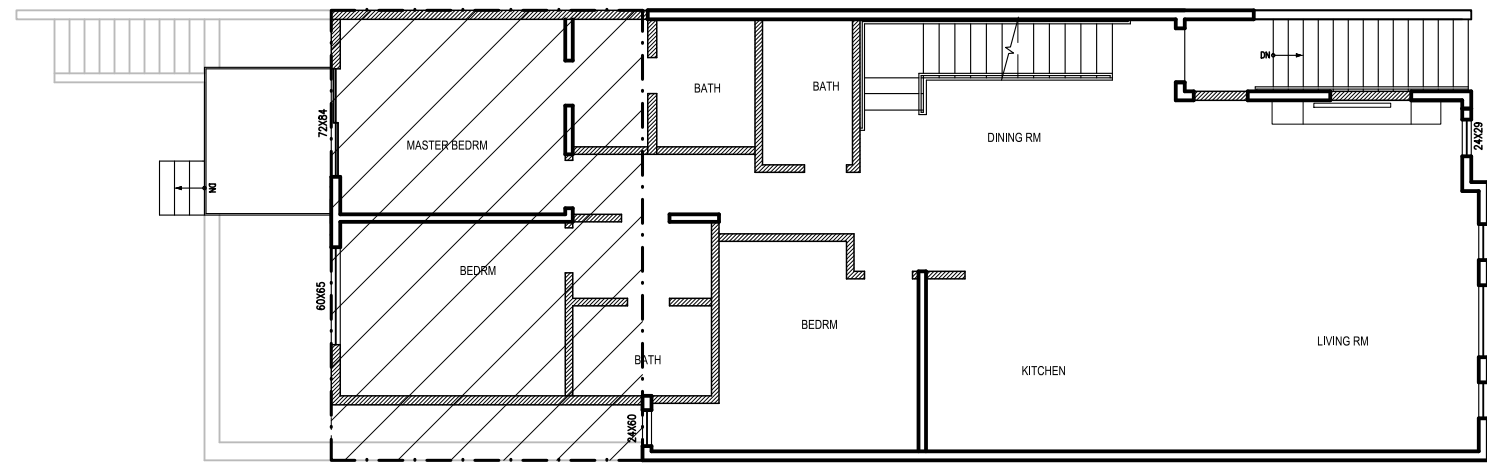


SHEET DESCRIPTION

**PROPOSED  
ELEVATIONS**

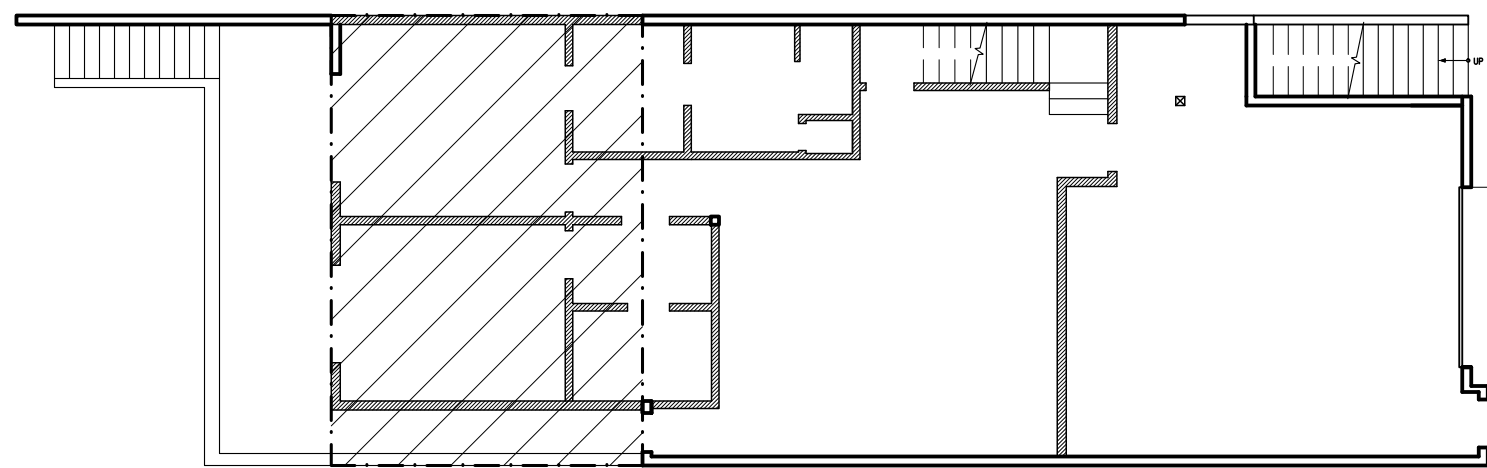
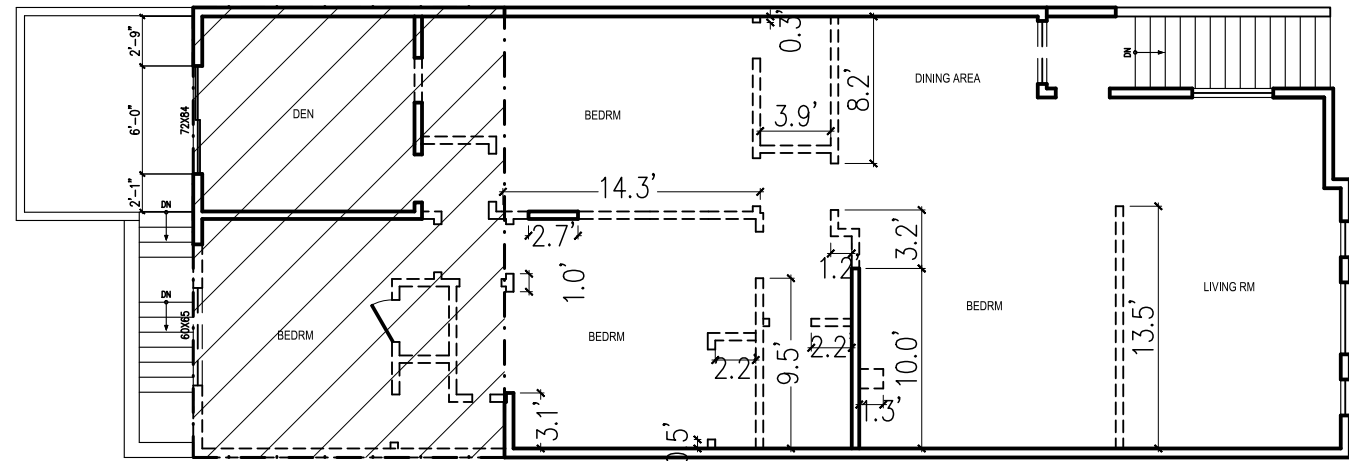
### A3.2





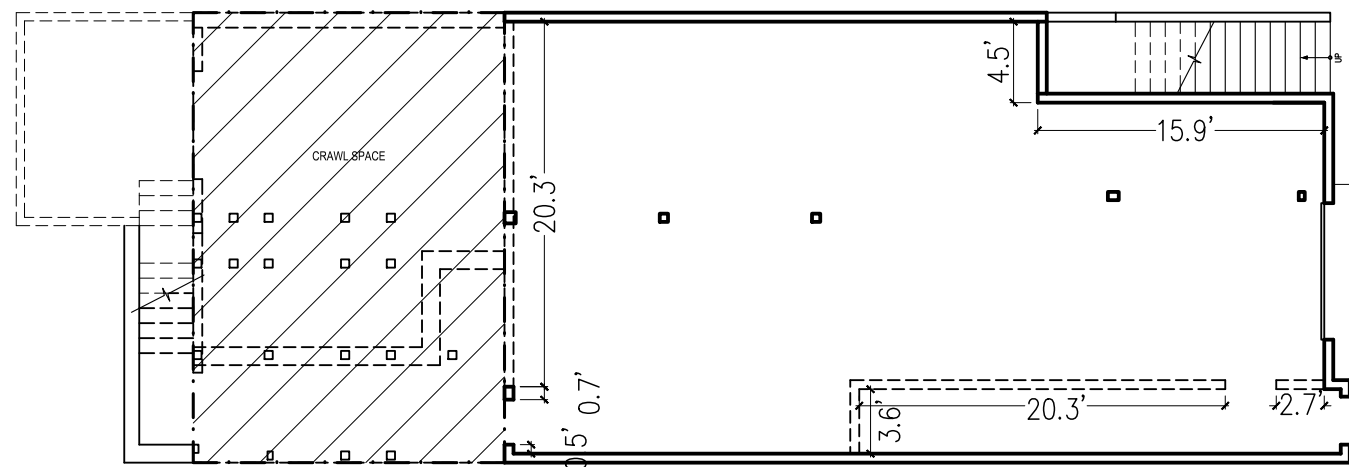
2ND FLOOR INTERIOR:  
EXISTING = 73.7' X 8'= 589.6 SQ. FT.  
DEMO = 57.9' X 8'= 463.2 SQ. FT.

2ND FLOOR EXTERIOR:  
EXISTING = 113' X 8'= 904.0 SQ. FT.  
DEMO = 0' X 8'= 0.0 SQ. FT.



1ST FLOOR INTERIOR:  
EXISTING = 47.0' X 7.3'= 343.1 SQ. FT.  
DEMO = 26.6' X 7.3'= 194.1 SQ. FT.

1ST FLOOR EXTERIOR:  
EXISTING = 106.75' X 7.3'= 779.3 SQ. FT.  
DEMO = 20.30' X 7.3'= 148.2 SQ. FT.



TOTAL INTERIOR WALLS DEMOLISHED IS 70% OF EXISTING INTERIOR WALLS

TOTAL EXTERIOR WALLS DEMOLISHED IS 8% OF EXISTING EXTERIOR WALLS

LEGEND:



NON- COMPLIANT ADDITION

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PROJECT  
RESIDENTIAL REMODEL

ADDRESS  
171 JUDSON AVE  
SAN FRANCISCO, CA

BLOCK: 3182  
LOT: 032

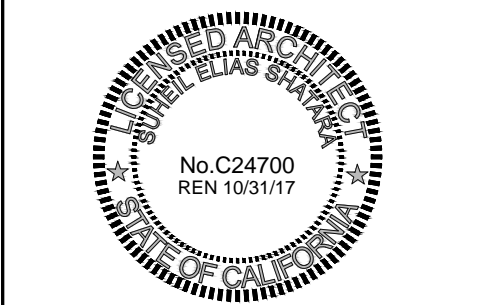
PROJECT DIRECTORY

ARCHITECT

890 7TH STREET  
SAN FRANCISCO, CA 94107  
TEL: 415-512-7566

CONTACT: SUHEIL SHATARA

ISSUED	DATE	NO.
REVISION	12-19-16	
REVISION	08-11-17	



SHEET DESCRIPTION  
DEMO  
CALCULATIONS

A3.3

# APPLICATION FOR Discretionary Review

## 1. Owner/Applicant Information

DR APPLICANT'S NAME: Bryan Cutler		
DR APPLICANT'S ADDRESS: 58 Marston Ave., San Francisco CA	ZIP CODE: 94112	TELEPHONE: (714 )323-6401
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: NAZERI AKBAR MOINI		
ADDRESS: 171 Judson Ave., San Francisco CA	ZIP CODE: 94112	TELEPHONE: ( )
CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/> <input type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE: ( )
E-MAIL ADDRESS: cutlerb@gmail.com		

## 2. Location and Classification

STREET ADDRESS OF PROJECT: 171 Judson Ave.		ZIP CODE: 94112		
CROSS STREETS: Between Edna St. and Circular Ave.				
ASSESSORS BLOCK/LOT: 3182 /032	LOT DIMENSIONS: 12.5 Depth	LOT AREA (SQ FT): 2,812.5	ZONING DISTRICT: RH-1	HEIGHT/BULK DISTRICT: 40-X

## 3. Project Description

Please check all that apply

Change of Use ☐ Change of Hours ☐ New Construction ☒ Alterations ☒ Demolition ☐ Other ☒Additions to Building: Rear ☒ Front ☒ Height ☒ Side Yard ☒

Residential

Present or Previous Use:

Proposed Use: Residential

Building Permit Application No. 2015.1109.2182

Date Filed: 11/9/2015



#### 4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

#### 5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

My neighbors and I had a meeting with permit applicant, Mr. Shatara. We relayed our concerns about the proposed plans to him and were promised additional drawings and measurements of possible changes to the project. We received nothing from him and he stopped responding to our communications and attempts for a resolution.

## Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

We believe the proposed vertical addition with rear deck and total of 7 bedrooms will drastically change the character of our neighborhood. Our block, in particular, has a visual character that is uniform in scale with no homes having a third story addition or rear deck, that I am aware of. The proposed plans will disrupt the existing pattern and be an eye sore, especially with the rear deck that will sit high above the fence line and be visible from nearly every backyard in the block where none currently exist.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

I just recently purchased the property directly behind the project location and a large part of my decision was due to the neighborhood character. It was nice to see a neighborhood that followed a clear pattern of modest single-family homes that did not encroach on each other, where I can feel comfortable raising my daughter. The proposed additions will immediately change this for my property and others on our block as the vertical additions will stick out. They will make it less desirable for families and the unifying character will be lost.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

We were informed that previous plans were submitted that provided a depth expansion but did not change the building height or add a rear deck. Reverting back to these plans should allow expansion that is still in-line with other single-family homes in our block while retaining the character of our neighborhood.

## Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: \_\_\_\_\_

*Bryan Cutler*

Date: \_\_\_\_\_

4/12/17

Print name, and indicate whether owner, or authorized agent:

Bryan Cutler

Owner / Authorized Agent (circle one)

# Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input type="checkbox"/>
Address labels (copy of the above), if applicable	<input type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input type="checkbox"/>
Covenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

## NOTES:

☐ Required Material.☒ Optional Material.☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

*Bryan Cutler* 4/12/17

For Department Use Only

Application received by Planning Department:

By: M. Corrette

Date:

APR 12 2017

CITY & COUNTY OF S.F.  
PLANNING DEPARTMENT

## **171 Judson Ave / 2015-018225PRJ / BPA-2015.1109.2182**

### **Additional Note With Concerned Party Contact**

I, Bryan Cutler, am submitting this DR application on behalf of myself and my neighbors listed below with contact information. We have had many discussions on the proposed plans and the impact it will have on each of our properties and neighborhood as a whole. We all share the same belief that these additions, as is, will drastically change our neighborhood character in a negative way, and we seek a compromise that will allow for expansion while maintaining the character of the neighborhood we care so much about.

Menka and Thomas Quinto  
54 Marston Ave.  
San Francisco, CA 94112

Kristen Tucker and Alfredo Vergara-Lobo  
62 Marston Ave.  
San Francisco, CA 94112

## **171 Judson Ave / 2015-018225PRJ / BPA-2015.1109.2182**

### **Abutting Properties and Those Across the Street**

#3182 / #017

Menka Quinto

54 Marston Ave., San Francisco, CA 94112

#3182 / #018

Bryan Cutler

58 Marston Ave., San Francisco, CA 94112

#3182 / #019

Alfredo Vergara-Lobo

62 Marston Ave., San Francisco, CA 94112

#3182 / #033

Crystal Alvarado, Miguel Cota

167 Judson Ave., San Francisco, CA 94112

#3182 / #031

ALI MOINI

175 Judson Ave., San Francisco, CA 94112

#3156 / #018

Mark Siobal

162 Judson Ave., San Francisco, CA 94112

#3156 / #019

Diana S Prasad

166 Judson Ave., San Francisco, CA 94112

#3156 / #020

Kenny Kwong

170 Judson Ave., San Francisco, CA 94112

#3156 / #021

Cecilia and Martin Lahiff

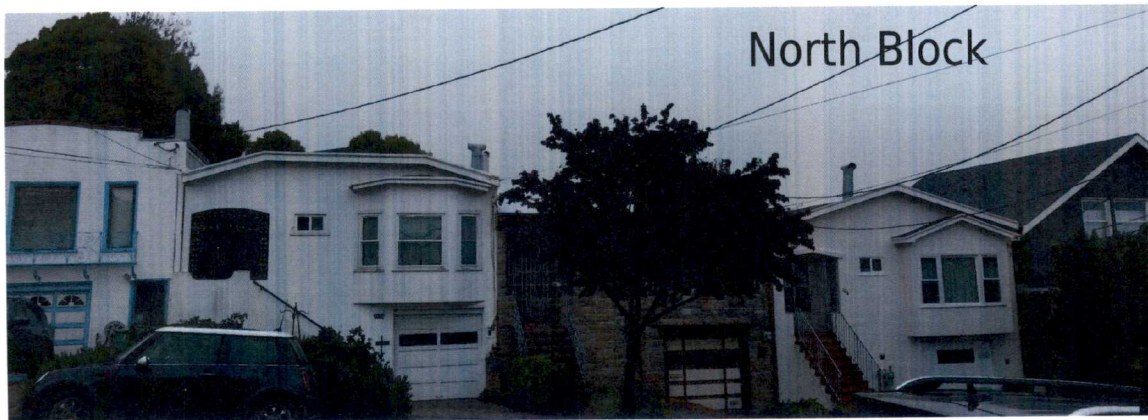
174 Judson Ave., San Francisco, CA 94112

#3156 / #022

Dennis Chan

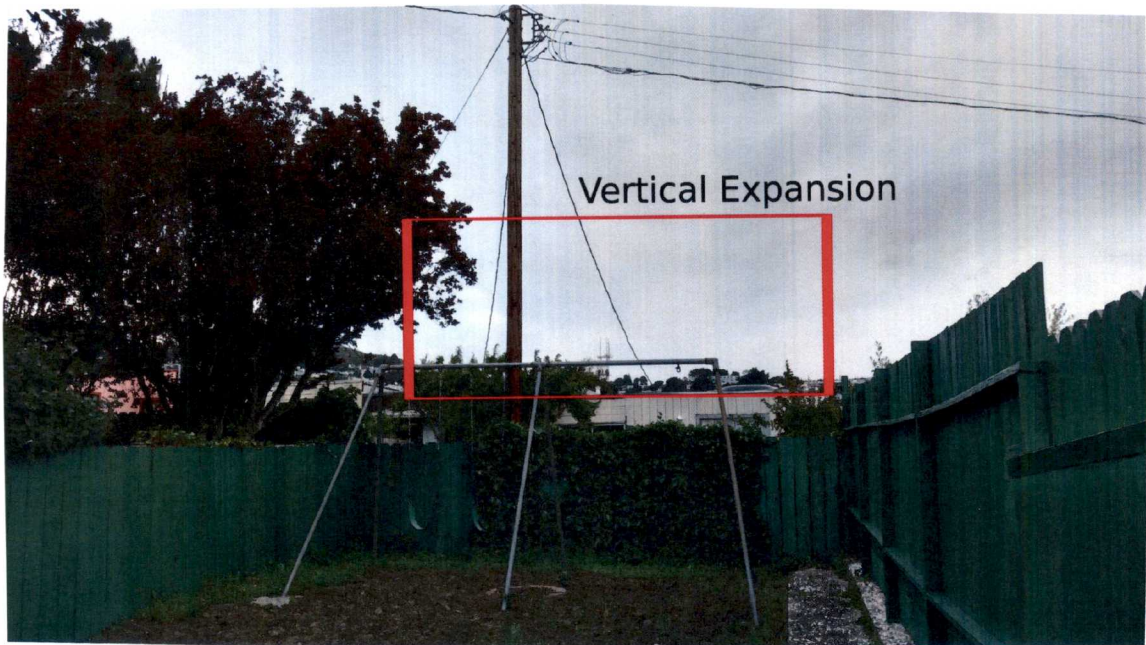
176 Judson Ave., San Francisco, CA 94112



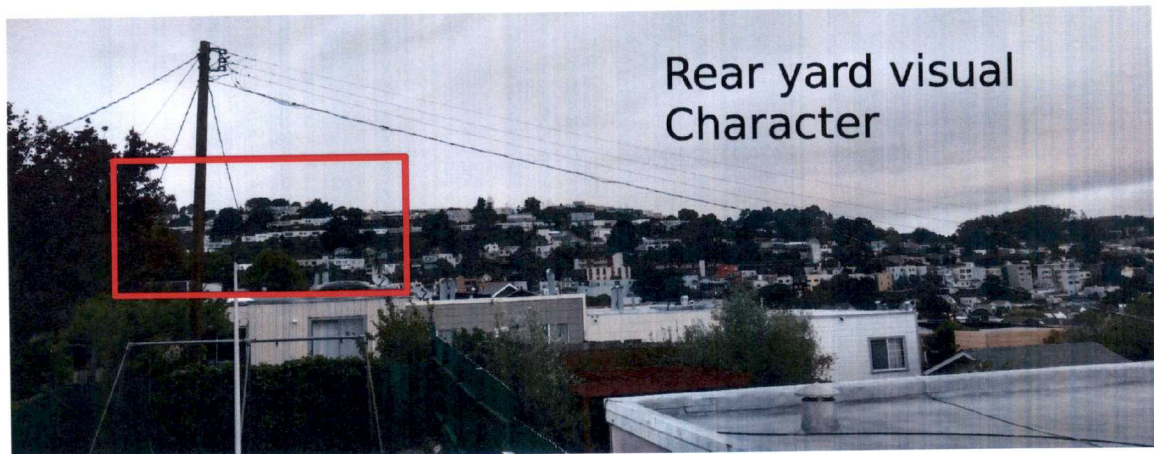


South Block





Vertical Expansion



Rear yard visual  
Character



# RESPONSE TO DISCRETIONARY REVIEW (DRP)



**San Francisco  
Planning**

SAN FRANCISCO PLANNING DEPARTMENT  
1650 MISSION STREET, SUITE 400  
SAN FRANCISCO, CA 94103-2479  
MAIN: (415) 558-6378 SFPLANNING.ORG

## Project Information

---

Property Address: 171 Judson

Zip Code: 94112

Building Permit Application(s): 2015.1109.2182

Record Number:

Assigned Planner: Sylvia Jimenez

## Project Sponsor

---

Name: Suheil Shatara

Phone: (415) 512-7566

Email: suheil@shataraarch.com

## Required Questions

---

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

The project complies with the planning code, neighbors have concern for the privacy even though we are more than 100' away from the neighbors and additional set back the all 3 sides to provide additional privacy to adjacent neighbors and neighbors behind the subject .

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

We made a suggestion to keep the solid wall for the 30" parapet wall around the deck and set back the guardrail 5' back from the back of the building to accommodate additional privacy for the rear neighbor

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

The existing structure at the rear which is the second floor of the project has been there for over 30 years without the benefit of a permit. The intent of the project is to comply with the rear structure and to add additional floor for the family and aging relatives needs

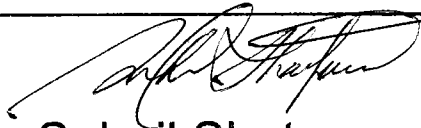
## Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)	1	1
Occupied Stories (all levels with habitable rooms)	1	2
Basement Levels (may include garage or windowless storage rooms)	1	1
Parking Spaces (Off-Street)	1	1
Bedrooms	3	5
Height	23' 2"	33'2"
Building Depth	63'4"	63'4"
Rental Value (monthly)	0	0
Property Value		

I attest that the above information is true to the best of my knowledge.

Signature:



Printed Name: **Suheil Shatara**

Date:

**8/10/17**

- ☐ Property Owner  
☒ Authorized Agent

*If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.*