



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Affordable Housing Bonus Program Authorization

HEARING DATE: DECEMBER 1, 2016

REGULAR CALENDAR

Case No.: **2015-018056AHB**
Project Address: **1296 Shotwell Street**
Zoning: Mission Street NCT (Neighborhood Commercial Transit) Zoning District
65-X Height and Bulk District
Block/Lot: 6751/051
Project Sponsor: Bre Jones
Martinez Consulting, Inc.
PO Box 6076
San Raphael, CA 94903
Staff Contact: Christy Alexander – (415) 575-8724
christy.alexander@sfgov.org
Recommendation: **Approval with Conditions**

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PROJECT DESCRIPTION

The Project Site is located in San Francisco's Mission neighborhood, on the block bounded by Shotwell Street to the east, Cesar Chavez Street to the South, South Van Ness Avenue to the west and 26th Street to the north. The proposal is to demolish the existing 10,700-square-foot (sf), one-story industrial/PDR building and construct a new nine-story, 85-foot-tall multi-unit affordable senior housing building with 94 units, including units for formerly homeless seniors. The proposed dwelling units would include 24 studios, 69 one-bedroom units, and one two-bedroom manager unit. Six of the studios and 14 of the one-bedroom units will be allocated for formerly homeless seniors at or below the 20% Average Median Income (AMI). 18 of the studios and 55 of the one-bedroom units will be allocated for seniors at or below the 50% AMI level. The existing building on the 11,666 sf subject lot was constructed in 1948. The proposed new building would include 66,322 sf of residential uses, office space for six on-site property management, clerical, case management and maintenance staff, and indoor community spaces including the community room, mail room, restrooms and laundry room. The Project would include no off-street parking and no curb cuts except for the loading zone in front of the lobby doors along Shotwell Street and 28 bicycle parking spaces. The lobby is accessed from the street via a private entry. The Project would include 5,151 sf of common outdoor usable open spaces located on the ground floor, second floor, 8th and 9th floor roof terraces. Excavation would reach a depth of up to 3 feet and would include approximately 1,100 cubic yards of soil disturbance for remediation and foundation excavation. The Project requests development bonuses through the 100% Affordable Housing Bonus Program Authorization for 1) increased height above that which is principally permitted by the zoning district and 2) reduced dwelling unit exposure pursuant to Planning Code Section 140. The Project also requests an exception for the rear yard requirement pursuant to Planning Code Section 134.

SITE DESCRIPTION AND PRESENT USE

The Project is located on an approximately 11,664 square foot site that is comprised of one lot: 1296 Shotwell Street (Lot 051). The lot is located on the block bounded by Shotwell Street to the east, 26th Street to the north, South Van Ness Avenue to the west, and Cesar Chavez Street to the south in the Mission (Eastern Neighborhoods (EN)) neighborhood. Lot 051 is developed with an approximately 20-foot-tall, one-story industrial building constructed in 1948 that is currently an automotive service and repair shop. Access to the site is via a rolled curb cut off of Shotwell Street. The existing building provides approximately 10,700 gsf of industrial and community spaces.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The Project Site is located in the Mission Street NCT (Neighborhood Commercial Transit) Zoning District to the north of Cesar Chavez Street which is along a mixed-use corridor within the Mission (EN) Area Plan. The Mission Street NCT District is intended to promote neighborhood serving commercial uses on lower floors and housing above. It is also intended to be well served by public transit and aim to maximize residential and commercial opportunities on or near major transit services. Within the Mission Street NCT District, allowed uses include retail sales and services, institutions, light manufacturing, and home and business services. Additional permitted uses include neighborhood agriculture, educational facilities, and nighttime entertainment. Housing is also permitted, and is not subject to density limits by lot area. Family-sized dwelling units are encouraged.

ENVIRONMENTAL REVIEW

The Project was determined to be statutorily exempt from the California Environmental Quality Act ("CEQA") under California Public Resources Code Section 21094.5 and Section 15183.3 of the CEQA Guidelines, as described in the Certificate of Determination contained in the Planning Department files for this Project.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	November 11, 2016	November 9, 2016	20 days
Posted Notice	20 days	November 11, 2016	November 10, 2016	20 days
Mailed Notice	20 days	November 11, 2016	November 11, 2016	20 days

PUBLIC COMMENT/COMMUNITY OUTREACH

As of the publication date of this packet, the Department has received an online petition of support signed by 169 residents and nearby businesses, 349 support letters from 325 residents and 24 organizations, all attached herein. Since February 2016, the Community Outreach team for the Project has conducted two general community meetings with 81 total attendees and 22 focus groups with community-based organizations and stakeholders, and community events in the Mission District with 256 total attendees. The team has also made personal visits in the vicinity of the Project Site to inform business owners and residents about the proposed development and to ask for their support. The

Department has also separately received 12 letters of support for the Project and zero letters in opposition to the Project.

REQUIRED COMMISSION ACTION

In order for the Project to proceed, the Commission must grant Affordable Housing Bonus Program Authorization pursuant to Code Sections 206 and 328 to allow for the demolition of an existing one-story building and construction of a new nine-story 100% affordable residential building for seniors and formerly homeless seniors with 94 units. The Project requests development bonuses for 1) increased height above that which is principally permitted by the zoning district and 2) reduced dwelling unit exposure pursuant to Planning Code Section 140. The Project also requests an exception for the rear yard requirement pursuant to Planning Code Section 134.

BASIS FOR RECOMMENDATION

The Department believes this Project is necessary or desirable for, and compatible with, the neighborhood or the community under Sections 206 and 328 of the Planning Code for the following reasons:

- The Project will not displace any housing and it will provide 94 new 100% affordable housing units to seniors and formerly homeless seniors within the Mission District, thus resulting in a significant increase in the neighborhood housing stock.
- The Project is expressive in design, and relates to the scale and form of the surrounding neighborhood by providing relationships to the mid-to-large-scale industrial, residential, and commercial properties. For these reasons, the proposed Project would protect and preserve the cultural and economic diversity of the neighborhood.
- The proposed Project meets all applicable requirements of the Planning Code, including required findings stipulated in Planning Code Section 328.

RECOMMENDATION: Approval with Conditions
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Attachments:

Draft Motion

Parcel Map

Sanborn Map

Zoning Map

Height and Bulk Map

Aerial Photo

Site Photos

Public Correspondence

Project Sponsor Submittal:

- First Source Hiring Affidavit
- Relocation Compliance Letter
- Inclusionary Affordable Housing Affidavit
- Anti-Discriminatory Housing Affidavit
- Elevations and Renderings (dated November 1, 2016)

Attachment Checklist

- | | |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input checked="" type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel Map | 3-D Renderings (new construction or significant addition) |
| <input checked="" type="checkbox"/> Sanborn Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Aerial Photo | <input type="checkbox"/> Wireless Telecommunications Materials |
| <input type="checkbox"/> Context Photos | <input type="checkbox"/> Health Dept. review of RF levels |
| <input checked="" type="checkbox"/> Site Photos | <input type="checkbox"/> RF Report |
| <input checked="" type="checkbox"/> First Source Hiring Affidavit | <input type="checkbox"/> Community Meeting Notice |
| <input checked="" type="checkbox"/> Relocation Compliance Letter | <input checked="" type="checkbox"/> Housing Documents |
| <input checked="" type="checkbox"/> Public Correspondence | <input checked="" type="checkbox"/> Inclusionary Affordable Housing Program: Affidavit for Compliance |
| | <input checked="" type="checkbox"/> Anti-Discriminatory Housing Affidavit |

Exhibits above marked with an "X" are included in this packet

_____ CA _____

Planner's Initials



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other (EN Impact Fees)

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Planning Commission Motion XXXXX

HEARING DATE: DECEMBER 1, 2016

Case No.: **2015-018056AHB**
 Project Address: **1296 SHOTWELL STREET**
 Zoning: Mission Street NCT (Neighborhood Commercial Transit) Zoning District
 65-X Height and Bulk District
 Block/Lot: 6751/051
 Project Sponsor: Bre Jones
 PO Box 6076
 San Rafael, CA 94903
 Staff Contact: Christy Alexander – (415) 575-8724
Christy.alexander@sfgov.org

ADOPTING FINDINGS RELATING TO A 100% AFFORDABLE HOUSING BONUS PROGRAM AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 206 AND 328, TO ALLOW FOR THE DEMOLITION OF AN EXISTING ONE-STORY BUILDING AND CONSTRUCTION OF A NEW NINE-STORY 100% AFFORDABLE RESIDENTIAL BUILDING FOR SENIORS AND FORMERLY HOMELESS SENIORS WITH 94 UNITS. THE PROJECT REQUESTS DEVELOPMENT BONUSES FOR 1) INCREASED HEIGHT ABOVE THAT WHICH IS PRINCIPALLY PERMITTED BY THE ZONING DISTRICT AND 2) REDUCED DWELLING UNIT EXPOSURE PURSUANT TO PLANNING CODE SECTION 140. THE PROJECT ALSO REQUESTS AN EXCEPTION FOR THE REAR YARD REQUIREMENT PURSUANT TO PLANNING CODE SECTION 134, LOCATED AT 1296 SHOTWELL STREET, LOT 051 IN ASSESSOR'S BLOCK 6751, WITHIN THE MISSION STREET NCT (NEIGHBORHOOD COMMERCIAL TRANSIT-ORIENTED) ZONING DISTRICT, AND A 65-X HEIGHT AND BULK DISTRICT. THE PROJECT IS ALSO LOCATED IN THE MISSION STREET FORMULA RETAIL RESTAURANT SUBDISTRICT AND THE MISSION ALCOHOL RESTRICTED SPECIAL USE DISTRICTS.

PREAMBLE

On August 19 2016, Bre Jones, Martinez Services, Inc. (hereinafter "Project Sponsor") filed Application No. **2015-018056AHB** (hereinafter "Application") with the Planning Department (hereinafter "Department") for a 100% Affordable Housing Bonus Program Authorization to construct a nine-story residential building with 94 dwelling units at 1296 Shotwell St Street (Block 6751 Lot 051) in San Francisco, California.

The Project was determined to be statutorily exempt from the California Environmental Quality Act ("CEQA") under California Public Resources Code Section 21094.5 and Section 15183.3 of the CEQA Guidelines, as described in the Certificate of Determination contained in the Planning Department files for this Project.

On December 1, 2016, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on 100% Affordable Housing Bonus Program Authorization Application Case No. 2015-018056AHB.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the 100% Affordable Housing Bonus Program Authorization requested in Application No. 2015-018056AHB, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The Project is located on an approximately 11,664 square foot site that is comprised of one lot: 1296 Shotwell Street (Lot 051). The lot is located on the block bounded by Shotwell Street to the east, 26th Street to the north, South Van Ness Avenue to the west, and Cesar Chavez Street to the south in the Mission (Eastern Neighborhoods (EN)) neighborhood. Lot 051 is developed with an approximately 20-foot-tall, one-story industrial building constructed in 1948 that is currently an automotive service and repair shop. Access to the site is via a rolled curb cut off of Shotwell Street. The existing building provides approximately 10,700 gsf of industrial and community spaces.
3. **Surrounding Properties and Neighborhood.** The Project Site is located in the Mission Street NCT (Neighborhood Commercial Transit) Zoning District to the north of Cesar Chavez Street which is along a mixed-use corridor within the Mission (EN) Area Plan. The Mission Street NCT District is intended to promote neighborhood serving commercial uses on lower floors and housing above. It is also intended to be well served by public transit and aim to maximize residential and commercial opportunities on or near major transit services. Within the Mission Street NCT District, allowed uses include retail sales and services, institutions, light manufacturing, and home and business services. Additional permitted uses include neighborhood agriculture, educational facilities, and nighttime

entertainment. Housing is also permitted, and is not subject to density limits by lot area. Family-sized dwelling units are encouraged.

4. The immediate neighborhood includes: four-story residential buildings to the east across Shotwell Street; specialist automotive repair use to the south of the Project Site and along the northern side of Cesar Chavez Street; and, a proposal for a mixed-use project six-stories tall, commercial and residential properties to the north at 1515 Van Ness Avenue along 26th Street and Shotwell Street. The subject lot is located within two blocks of the Shotwell Street Historic District, which is located two blocks north and west of the Project Site. The subject lot is also located within three blocks of the Bernal Heights North Historic District, which is located two blocks south and one block east of the Project Site. Other zoning districts in the vicinity of the Project Site include: RH-2 (Residential, House, Two-Family); RH-3 (Residential, House, Three-Family); RM-1 (Residential-Mixed, Low Density), and, RTO-M (Residential Transit Oriented-Mission).
5. **Project Description.** The Project Site is located in San Francisco's Mission neighborhood, on the block bounded by Shotwell Street to the east, Cesar Chavez Street to the south, South Van Ness Avenue to the west and 26th Street to the north. The proposal is to demolish the existing 10,700-square-foot (sf), one-story industrial/PDR building and construct a new nine-story, 85-foot-tall multi-unit affordable senior housing building with 94 units, including units for formerly homeless seniors. The proposed dwelling units would include 24 studios, 69 one-bedroom units, and one two-bedroom manager unit. Six of the studios and 14 of the one-bedroom units will be allocated for formerly homeless seniors at or below the 20% Average Median Income (AMI). 18 of the studios and 55 of the one-bedroom units will be allocated for seniors at or below the 50% AMI level. The existing building on the 11,666 sf subject lot was constructed in 1948. The proposed new building would include 66,322 sf of residential uses, office space for six on-site property management, clerical, case management and maintenance staff, and indoor community spaces including the community room, mail room, restrooms and laundry room. The Project would include no off-street parking and no curb cuts except for the loading zone in front of the lobby doors along Shotwell Street and 28 bicycle parking spaces. The lobby is accessed from the street via a private entry. The Project would include 5,151 sf of common outdoor usable open spaces located on the ground floor, second floor, 8th and 9th floor roof terraces. Excavation would reach a depth of up to 3 feet and would include approximately 1,100 cubic yards of soil disturbance for remediation and foundation excavation. The Project requests development bonuses through the 100% Affordable Housing Bonus Program Authorization for 1) increased height above that which is principally permitted by the zoning district and 2) reduced dwelling unit exposure pursuant to Planning Code Section 140. The Project also requests an exception for the rear yard requirement pursuant to Planning Code Section 134.
6. **Land Dedication Site.** On January 10, 2013, the Planning Commission approved Motion No. 18775 for the Conditional Use Authorization for a Planned Unit Development at 2554-2558 Mission Street for the New Mission Theater. With that approval the project sponsor of the New Mission Theater elected to pursue a land dedication at 1296 Shotwell Street to meet the inclusionary affordable

housing program requirements. The project sponsor of the New Mission Theater conveyed the Project Site to Mayor's Office of Housing and Community Development (MOHCD) and demonstrated that up to 46 dwelling units may be constructed on the dedicated land. The proposed Project is utilizing the 100% Affordable Housing Bonus Program Authorization to achieve the higher density at the Project Site.

7. **Public Comment.** As of the publication date of this packet, the Department has received from the Project Sponsor an online petition of support signed by 169 residents and nearby businesses, 349 support letters from 325 residents and 24 organizations, all attached herein. Since February 2016, the Community Outreach team for the Project has conducted two general community meetings with 81 total attendees and 22 focus groups with community-based organizations and stakeholders, and community events in the Mission District with 256 total attendees. The team has also made personal visits in the vicinity of the Project Site to inform business owners and residents about the proposed development and to ask for their support. The Department has also separately received 12 letters of support for the Project and zero letters in opposition to the Project.
8. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Permitted Uses in NCT Zoning Districts.** Planning Code Section 736.90 states that residential use is principally permitted use within the Mission Street NCT Zoning District.

The Project would construct a new residential development within the Mission Street NCT Zoning District with a ground floor neighborhood serving use; therefore, the Project complies with Planning Code Section 736.

- B. **Rear Yard.** Planning Code Section 134 requires a minimum rear yard equal to 25 percent of the total lot depth of the lot to be provided at every residential level. The lot depth is irregular at 64.83 feet on the northern side and 101.32 at the southern side. The required rear yard depth varies between 16 feet and 26 feet. The lot size is 11,666 sf; therefore, 25% of the lot area measures approximately 2,916 sf.

The Project contains dwellings, community space, offices and mechanical rooms at the ground floor and contains rear yard located along the western property line. The provided rear yard meets the required rear yard depths in most cases except for the northwest corner where there is a proposed one-story mechanical room. The mechanical room is approximately 135 sf in size. The provided rear yard totals 2,724 sf in area which is 192 sf less than 25 % of the lot area.

Since the Project does not provide the required 25% rear yard completely against the rear lot line, the Project is seeking an exception for the rear yard requirement as part of the 100% AHBP Project (See #12 Below).

A conforming rear yard would displace the mechanical room and if placed inside the building the mechanical room would displace an affordable unit. By providing an exception for the rear yard requirement, the Project appropriately holds the number of affordable units as proposed and results in a more favorable design.

- C. **Useable Open Space.** Planning Code Sections 135(d)(3) and 736.93 require a minimum of 50 sf of usable open space per residential dwelling unit if common. For dwellings designed for and occupied by senior citizens the minimum amount of usable open space to be provided for use by each dwelling unit shall be one-half the amount required for each dwelling unit. In the Mission Street NCT zoning district, generally 80 sf is required if private and 100 sf is required if common, making one-half of the common open space requirement to be 50 sf.

For the proposed 94 dwelling units, the Project is required to provide 4,700 sf of usable open space. The Project includes a combination of patios, porches, rear yard, and roof decks to meet the open space requirements. The Project contains a 342 sf entry court, a 161 sf porch, and a 2,724 sf rear yard at the ground floor. There is a 502 sf patio at the 2nd floor and 401 sf and 1,523 sf roof decks on the 8th and 9th floors respectively. The entry court and porch do not meet the 15'x15' dimensional requirements of usable open space. The Project includes a total open space of 5,654 sf and total usable open space of 5,151 sf to comply with the Planning Code requirement.

- D. **Streetscape and Pedestrian Improvements.** Planning Code Section 138.1 requires a streetscape plan, which includes elements from the Better Streets Plan.

The Project includes the new construction of a nine-story residential building on a lot with approximately 141 feet of frontage along Shotwell Street. The Project will include a streetscape plan that will comply with the City's Better Streets Plan and includes streetscape elements, including bicycle parking racks, sidewalk planters, street trees, site furnishings, and 15 feet wide sidewalks on Shotwell Street to incorporate a planting strip and sidewalk furnishings.

Therefore, the Project complies with Planning Code Section 138.1.

- E. **Bird Safety.** Planning Code Section 139 outlines the standards for bird-safe buildings, including the requirements for location-related and feature-related hazards.

The subject lot is not located in close proximity to an Urban Bird Refuge. The Project meets the requirements of feature-related standards and does not include any unbroken glazed segments 24- sf and larger in size; therefore, the Project complies with Planning Code Section 139. Any unbroken glazed segments that meet these requirements would have to be treated appropriately.

- F. **Dwelling Unit Exposure.** Planning Code Section 140 requires that at least one room of all dwelling units face onto a public street, rear yard or other open area that meets minimum requirements for area and horizontal dimensions. To meet exposure requirements, a public street, public alley, side yard or rear yard must be at least 25 feet in width, or an open area (inner court) must be no less than 25 feet in every horizontal dimension for the floor at which the dwelling unit is located.

The Project fronts on Shotwell Street. Units facing this street meet exposure requirements. The units facing the rear would meet the exposure requirements if they faced a required Code-complying rear yard; however the rear yard does not comply and the Project is seeking an exception for the required rear yard. Because the provided rear yard does not meet the 25% requirement, none of the units facing the rear yard meet the exposure requirement as the rear yard is only approximately 16 feet deep at its shallowest location and approximately 25 feet deep at its deepest location. All of the units facing the rear yard will require a development bonus from the exposure requirement. Therefore, the Project is seeking a development bonus for the dwelling unit exposure requirements for 47 dwelling units as part of the 100% Affordable Housing Bonus Program Authorization (See #11 Below).

- G. **Street Frontage.** Planning Code Section 145.1 outlines requirements for street frontages in Neighborhood Commercial Districts to ensure that they are pedestrian-oriented, fine-grained, and are appropriate and compatible with buildings. Ground floor non-residential uses in NCT Districts shall have a minimum floor-to-floor height of 14 feet, as measured from grade.

The Project meets the requirements of Planning Code Section 145.1. The Project features the appropriate amount of active use with the ground floor walk-up dwelling unit, which provides direct, individual pedestrian access to a public sidewalk. Finally, the Project features appropriate street-facing ground level spaces, as well as the ground level transparency and fenestration requirements. The building lobby is well below the 40-foot maximum frontage. The ground floor space has a ceiling height of at least 14 feet, thereby meeting this requirement.

- H. **Off-Street Parking.** Planning Section 151.1 of the Planning Code allows off-street parking at a maximum ratio of .5 per dwelling unit. For dwelling units in the Mission Street NCT Zoning District off-street parking is not required per the criteria under 151.1(g).

The Project includes 94 dwelling units, 93 of which are for seniors and one for the resident manager; therefore, the Project is not required to provide any parking spaces for the dwelling units. The Project is required to provide one car share space.

Currently, the Project does not provide off-street parking spaces as it is in close proximity to various transit corridors. There will be on-street parking provided as well as one car-share parking space along the curb and a loading zone will be provided near the lobby door for vehicle drop-offs. Therefore, the Project complies with Planning Code Section 151.1.

- I. **Off-Street Freight Loading.** Planning Section 152.1 of the Planning Code requires zero off-street freight loading spaces for apartment use between below 100,000 gsf.

The Project includes approximately 66,322 square feet of apartment use, thus no off-street freight loading spaces are required. The Project does not possess any off-street freight loading parking spaces.

- J. **Bicycle Parking.** Planning Section 155.2 of the Planning Code requires at least 1 Class 1 bicycle parking spaces for every 10 dwelling units and two Class 2 bicycle parking spaces for every 50 dwelling units.

The Project includes 94 dwelling units; therefore, the Project is required to provide 9 Class 1 bicycle parking spaces and 2 Class 2 bicycle parking spaces to satisfy the residential requirement. The Project will provide 26 Class 1 spaces indoors and outdoors and 2 Class 2 spaces outdoors for the residential component; therefore the Project is exceeding the requirement and complies with Planning Code Section 155.2.

- K. **Car Share Requirements.** Planning Code Section 166 requires one car-share parking space for every residential project with 50-200 dwelling units.

Since the Project includes 94 dwelling units, it is required to provide a minimum of one car-share parking space. The Project will provide one car-share parking space along the street. Therefore, the proposed Project complies with Planning Code Section 166.

- L. **Shadow Analysis.** Planning Code Section 295 restricts net new shadow, cast by structures exceeding a height of 40 feet, upon property under the jurisdiction of the Recreation and Park Commission. Any project in excess of 40 feet in height and found to cast net new shadow must be found by the Planning Commission, with comment from the General Manager of the Recreation and Parks Department, in consultation with the Recreation and Park Commission, to have no adverse impact upon the property under the jurisdiction of the Recreation and Park Commission.

Based upon a detail shadow analysis, the Project would not cast new shadow upon Precita Park and Garfield Square. Therefore, the Project complies with Planning Code Section 295.

- M. **Inclusionary Affordable Housing Program.** Planning Code Section 415 sets forth the requirements and procedures for the Inclusionary Affordable Housing Program. Under Planning Code Section 415.3, these requirements would apply to projects that consist of ten or more units.

As currently proposed, the Project will be 100 percent affordable, with 93 affordable dwelling units for seniors and one manager's unit. In the event that the Project changes and some or all of the units become market-rate, the Project shall comply with the inclusionary housing requirements set forth in Section 415 of the Code. The Project Sponsor must submit an 'Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415,' to the Planning Department stating that the Project is exempt from the requirements of Planning Code Section 415 because it is a 100% affordable project.

9. **First Source Hiring.** The Project is subject to the requirements of the First Source Hiring Program as they apply to permits for residential development (Section 83.4(m) of the Administrative Code), and the Project Sponsor shall comply with the requirements of this Program as to all construction work and on-going employment required for the Project. Prior to the issuance of any building permit to

construct or a First Addendum to the Site Permit, the Project Sponsor shall have a First Source Hiring Construction and Employment Program approved by the First Source Hiring Administrator, and evidenced in writing. In the event that both the Director of Planning and the First Source Hiring Administrator agree, the approval of the Employment Program may be delayed as needed.

The Project Sponsor submitted a First Source Hiring Affidavit and prior to issuance of a building permit will execute a First Source Hiring Memorandum of Understanding and a First Source Hiring Agreement with the City's First Source Hiring Administration.

10. **100% Affordable Housing Bonus Program Authorization.** Planning Code Section 206 lists eight requirements for applicability for 100% Affordable Housing Bonus Projects.

- A. The Project contains three or more Residential Units, not including any additional units permitted through this Section 206 through a density bonus.

The Project contains 94 residential units.

- B. The Project is located in a zoning district that allows residential uses with the exception of the RH-1, RH-1(D), or RH-2 Zoning District.

The Project is located in the Mission Street NCT zoning district that allows residential uses as a permitted use.

- C. The Project is not seeking and receiving a density or development bonus under the provisions of California Government Code Sections 65915 et seq., Planning Code Sections 207, 124(f), 304, 803.8 or any other state or local program that provides development bonuses;

The Project is not seeking any other density or development bonus outside of the City's 100% Affordable Housing Bonus Program Authorization.

- D. The Project meets the definition of a "100 Percent Affordable Housing Project" in Section 206.2;

A "100 Percent Affordable Housing Project" shall be a project where all of the dwelling units with the exception of the manager's unit are "Affordable Units" as that term is defined in Section 406(b). The Project provides 94 dwelling units which will be 93 affordable housing units for seniors and one unit for the residential manager.

- E. The Project demonstrates to the satisfaction of the Environmental Review Officer that the Project does not cause a substantial adverse change in the significance of an historic resource as defined by California Code of Regulations, Title 14, Section 15064.5; create new shadow in a manner that substantially affects outdoor recreation facilities or other public areas; and alter wind in a manner that substantially affects public areas;

The Project is not considered a historical resource, will not cast shadow on any public areas and will not alter wind patterns surrounding nearby public areas.

- F. The Project does not demolish, remove, or convert any residential units and does not include any other parcel that has any residential units that would be demolished, removed, or converted as part of the Project;

The Project Site does not contain any residential units nor does it include any other parcel that has residential units that will be demolished, removed or converted as part of the Project. MOHCD has discovered that a person has been sleeping at the site without the owner's permission and is working to remedy that situation.

- G. The Project includes, at the ground floor, neighborhood serving uses, including but not limited to general and specialty grocery, health service, institutional, and public facilities, all as defined in Section 102;

Similar to service programs provided in their other senior buildings, Chinatown CDC will work with outside social service providers and community focused organizations to bring in on-site services to residents and the general public only on specific terms. The community room at 1296 Shotwell may be used as a neighborhood service use. Non-profit organizations and/or entities providing a service to the broader community will be eligible to use the community room for that purpose. The service may be free or provided with a charge to participants to cover operating expenses for the service with the understanding that the service is intended for residents and/or the general public and not based on a closed membership process. The services provided are intended to have a positive impact on participants (i.e. health and wellness, educational, or other types of enrichment activities). To ensure that this space is used solely for neighborhood service use, a Memorandum of Understanding will be signed between Chinatown CDC and any interested outside social service provider and/or community focused organization. Currently, Chinatown CDC operates the I-Hotel and has an existing partnership with a neighborhood service provider that offers Nutrition Classes at the property for the residents and the general public.

- H. The Project is not located within the boundaries of the Northeastern Waterfront Area Plan south of the centerline of Broadway;

The Project is within the Mission (EN) area plan.

11. 100% Affordable Housing Bonus Program Development Bonuses and Zoning Modifications.

Pursuant to Planning Code Section 328 certain development bonus and zoning modifications are permitted for 100% Affordable Housing Bonus Program projects.

- A. Height. Additional 30 feet beyond the district limit, additional height may only be used to provide up to three additional 10-foot stories for residential use.

The Project extends 20 feet beyond the district limit which includes two additional 10-foot stories for residential use. The Project Sponsor requests this development bonus to increase the height allowed by the Mission Street NCT zoning district.

- B. Dwelling Unit Exposure. The dwelling unit exposure requirements of Section 140 (a)(2) may be satisfied through qualifying windows facing an unobstructed open area that is no less than 15 feet in every horizontal dimension, and such open area is not required to expand in every horizontal dimension at each subsequent floor.

The Project does not impede access to light and air for the adjacent properties. The Project is not located adjacent to any residential use. The subject block does not possess a pattern of mid-block open space. The Project Sponsor requests this development bonus to reduce the amount of required exposure due to the Project not meeting the 25% required rear yard calculations. Each unit faces an unobstructed area of no less than 15 feet in every horizontal direction.

12. **100% Affordable Housing Bonus Program Exceptions.** As a component of the review process under Planning Code Section 328, the Planning Commission may grant minor exceptions to the provisions of the Planning Code as provided for below, in addition to the development bonuses granted to the project in Section 206.3(c). Such exceptions, however, should only be granted to allow building mass to appropriately shift to respond to surrounding context, and only when the Planning Commission finds that such modifications do not substantially reduce or increase the overall building envelope permitted by the Program under Section 206.3, and also are consistent with the 100% Affordable Housing Bonus Design Guidelines.

- A. Rear Yard. Planning Code Section 134 requires a minimum rear yard equal to 25 percent of the total lot depth of the lot to be provided at every residential level. The lot depth is irregular at 64.83 feet on the northern side and 101.32 feet at the southern side. The required rear yard depth varies between 16 feet and 26 feet. The lot size is 11,666 sf; therefore, 25% of the lot area measures approximately 2,916 sf.

The Project contains dwellings, community space, offices and mechanical rooms at the ground floor and contains rear yard located along the western property line. The provided rear yard meets the required rear yard depths in most cases except for the northwest corner where there is a proposed one-story mechanical room. The mechanical room is approximately 135 sf in size. The provided rear yard totals 2,724 sf in area which is 192 sf deficient of 25 % of the lot area. Since the Project does not provide the required 25% rear yard completely against the rear lot line, the Project is seeking an exception for the rear yard requirement as part of the 100% AHBP Project.

A conforming rear yard would displace the mechanical room and if placed inside the building the mechanical room would displace an affordable unit. By providing an exception for the rear yard requirement, the Project appropriately holds the number of affordable units as proposed and results in a

more favorable design. The approximately 135 sf mechanical room does not substantially increase the overall building envelope. Considering that the Project has requested only two additional stories when the development bonuses listed in Planning Code Section 328 would have permitted three stories, this minor exception may be considered a shift in allowable mass. In addition this minor exception does not result in additional Planning Code inconsistencies.

13. Affordable Housing Bonus Program Planning Commission Findings. In its review of any project pursuant to this Section 328, the Planning Commission shall make the following findings:

- A. The use as proposed will comply with the applicable provisions of this Code and is consistent with the General Plan;

The Project is consistent with the General Plan and conforms to all provisions of the Planning Code except for height, required rear yard and exposure, for which the Project Sponsor is seeking development bonuses and an exception.

- B. The use as proposed will provide development that is in conformity with the stated purpose of the applicable Use District; and,

The Project is providing quality 100% affordable housing that is much needed within the Mission Street NCT zoning district.

- C. The use as proposed will contribute to the City's affordable housing goals as stated in the General Plan;

The Project is providing 94 units of quality 100% affordable housing that is much needed within the Mission Street NCT zoning district to meet the goals of the General Plan.

- D. If an 100% AHBP requires a conditional use authorization due only to (1) a specific land use, (2) use size limit, or (3) requirement adopted by the voters, the Planning Commission shall make all findings and consider all criteria required by this Code for such use or use size as part of the 100% AHBP Authorization.

The Project is not seeking a conditional use authorization for any of the above listed reasons.

14. Affordable Housing Bonus Program Planning Commission Design Considerations. Review shall be limited to Design Issues including the following:

- A. Whether the bulk and massing of the building is consistent with the 100% AHBP Design Guidelines;

The Project's mass and scale are appropriate for a large lot and the surrounding context, which includes small to medium industrial buildings, four-story residential buildings and a future development project adjacent to the Project at 1515 Van Ness Ave that will create varied context along Shotwell Street. The Project expresses one distinct mass along Shotwell Street, which is articulated by different architectural designs. The Project is consistent with the mass and scale of nearby existing and future developed properties and falls at the low end of the grade change along the street. Thus, the Project is appropriate and consistent with the mass and scale of the surrounding neighborhood given the extra two stories. The top of the building contributes to the neighborhood quality, the sidewalls are appropriately articulated, and the architecture expresses complementary design and includes three-dimensional detailing.

- B. Whether the building design elements including but not limited to architectural treatments, façade design, and building materials, are consistent with the 100% AHBP Design Guidelines and any other applicable design guidelines,

The Project includes quality materials that are architecturally consistent with the adjacent neighborhood. The Project's architectural treatments, façade design and building materials include cement plaster, glass veneer, exposed concrete, fiber cement panels, painted aluminum railings, metal sunshades, and aluminum windows and doors which reference the predominantly industrial character of the neighborhood. Overall, the Project offers a high quality architectural treatment, which provides for unique and expressive architectural design that is consistent and compatible with the surrounding industrial and residential character found in the neighborhood.

The top two bonus floors have been integrated with the architecture below and the Project expresses significant façade depth through the use of projections. A strong roof termination has been provided to appropriately complement the surrounding neighborhood context. Along the ground floor, the Project provides a walk-up dwelling unit with individual pedestrian access. This dwelling unit provides activity along the street. The ground floor is further enhanced by the lobby and publically-accessible community room space on Shotwell Street and streetscape improvements along Shotwell Street.

- C. Whether the design of lower floors, including building setback areas, commercial space, residential units, entries, utilities, and parking and loading access is consistent with the 100% AHBP Design Guidelines, and any other applicable design guidelines; and

The Project conforms to the AHBP Design Guidelines as determined by the Urban Design Advisory Team in that it creates a gracious well defined ground floor that promotes active uses at the street front. The residential unit is accessed by an individual stoop accessible from the street front. The utilities are placed within the building and rear yard. No off-street parking or freight loading is required or provided and bicycle parking is maximized. The street wall is held to a minimum of 4 stories along Shotwell St with no setback until the higher floors.

- D. Whether the required streetscape and other public improvements such as tree planting, street furniture, and lighting are consistent with the Better Streets Plan, and any other applicable design guidelines.

The Project conforms to the Better Streets Plan as determined by the Streetscape Design Advisory Team in that it is providing new street trees, planters, lighting, amenities, on-street parking, a loading zone, and 15 feet wide sidewalks.

15. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

OBJECTIVES AND POLICIES

OBJECTIVE 1

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.1

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

The Project is a higher density residential development in an underutilized, transitioning industrial and residential area. The Project Site is an ideal infill site that is currently occupied by an industrial use. The surrounding neighborhood features a wide variety of zoning, including: RH-2 (Residential, House, Two-Family); RH-3 (Residential, House, Three-Family); RM-1 (Residential-Mixed, Low Density), and, RTO-M (Residential Transit Oriented-Mission). The Project will provide 94 affordable units on-site, which will provide immediate opportunities for affordable housing in this area.

OBJECTIVE 4

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.4

Encourage sufficient and suitable rental housing opportunities, emphasizing permanently affordable rental units wherever possible.

The Project meets the affordable housing requirements for the 100% Affordable Housing Bonus Program by providing 94 affordable units on-site. The Project will provide 100% of the units as affordable.

OBJECTIVE 11

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.2

Ensure implementation of accepted design standards in project approvals.

Policy 11.3

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

Policy 11.4

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan.

Policy 11.6

Foster a sense of community through architectural design, using features that promote community interaction.

Policy 11.8

Consider a neighborhood's character when integrating new uses, and minimize disruption caused by expansion of institutions into residential areas.

The architecture of this Project responds to the site's location as a transition between industrial zones and the contemporary and traditional architecture of residential zones. The Project's facades provide a unique expression not commonly found within the surrounding area, while providing for a material palette that draws from the surrounding industrial context. The exterior is designed with modern materials including cement plaster, glass veneer, exposed concrete, fiber cement panels, painted aluminum railings, metal sunshades, and aluminum windows and doors.

RECREATION AND OPEN SPACE ELEMENT

OBJECTIVES AND POLICIES

OBJECTIVE 1:

ENSURE A WELL-MAINTAINED HIGHLY UTILIZED AND INTEGRATED OPEN SPACE SYSTEM.

Policy 1.11:

Encourage private recreational facilities on private land that provide a community benefit, particularly to low and moderate-income residents.

The Project provides a rear yard with a walking path, exercise equipment and labyrinth, patio off the laundry facilities to encourage resident engagement and a community room and kitchen on the ground floor that will be accessible to the public.

OBJECTIVE 2:

INCREASE RECREATION AND OPEN SPACE TO MEET THE LONG-TERM NEEDS OF THE CITY AND BAY REGION.

Policy 2.3:

Provide recreational programs that are responsive to community needs and changing demographics.

Policy 2.8

Consider repurposing underutilized City-owned properties as open space and recreational facilities.

Policy 2.11:

Assure that privately developed residential open spaces are useable, beautiful and environmentally sustainable.

The Project will create common open space areas in a new residential development through porches, patios, rear yard, and roof decks.

TRANSPORTATION ELEMENT

OBJECTIVES AND POLICIES

OBJECTIVE 24:

IMPROVE THE AMBIENCE OF THE PEDESTRIAN ENVIRONMENT.

Policy 24.2:

Maintain and expand the planting of street trees and the infrastructure to support them.

Policy 24.3:

Install pedestrian-serving street furniture where appropriate.

Policy 24.4:

Preserve pedestrian-oriented building frontages.

The Project will install new street trees along Shotwell Street. Further, the Project will provide new site furnishings, amenities, and planting strips on the frontage. Frontages are designed with active spaces oriented at the pedestrian level.

OBJECTIVE 28:

PROVIDE SECURE AND CONVENIENT PARKING FACILITIES FOR BICYCLES.

Policy 28.1:

Provide secure bicycle parking in new governmental, commercial, and residential developments.

Policy 28.3:

Provide parking facilities which are safe, secure, and convenient.

The Project includes 28 bicycle parking spaces in secure, convenient locations, which meets the requirements specified in the Planning Code.

OBJECTIVE 34:

RELATE THE AMOUNT OF PARKING IN RESIDENTIAL AREAS AND NEIGHBORHOOD COMMERCIAL DISTRICTS TO THE CAPACITY OF THE CITY'S STREET SYSTEM AND LAND USE PATTERNS.

Policy 34.1:

Regulate off-street parking in new housing so as to guarantee needed spaces without requiring excesses and to encourage low auto ownership in neighborhoods that are well served by transit and are convenient to neighborhood shopping.

Policy 34.3:

Permit minimal or reduced off-street parking supply for new buildings in residential and commercial areas adjacent to transit centers and along transit preferential streets.

Policy 34.5:

Minimize the construction of new curb cuts in areas where on-street parking is in short supply and locate them in a manner such that they retain or minimally diminish the number of existing on-street parking spaces.

The Project provides zero off-street parking spaces as it is in close proximity to Cesar Chavez Street which is well served by transit. Curb cuts are minimized to solely providing for a loading zone in order to retain a maximum amount of on-street parking spaces.

URBAN DESIGN ELEMENT

OBJECTIVES AND POLICIES

OBJECTIVE 2:

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

Policy 2.6:

Respect the character of older development nearby in the design of new buildings.

The Project is located within the Mission neighborhood, which is characterized by the mix of residential, commercial, and industrial uses. As such, the Project provides expressive street façades, which respond to the form, scale and material palette of the existing neighborhood, while also providing a new contemporary architectural vocabulary.

OBJECTIVE 4:

IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY.

Policy 4.5:

Design walkways and parking facilities to minimize danger to pedestrians.

Policy 4.13:

Improve pedestrian areas by providing human scale and interest.

The Project Site does not provide any vehicular access points for the entire Project, limiting conflicts with pedestrians and bicyclists. Numerous street trees will be planted on Shotwell Street. Ample frontage, common and private open spaces, and a ground floor dwelling unit with direct access to the street will be provided. Along the Project Site, the pedestrian experience will be greatly improved.

The Project includes streetscape elements, bicycle parking racks, sidewalk planters, street trees, site furnishings, and 15 feet wide sidewalks along Shotwell Street to incorporate street lighting and planters.

MISSION (EN) AREA PLAN

OBJECTIVES AND POLICIES

Land Use

OBJECTIVE 1.2

IN AREAS OF THE MISSION WHERE HOUSING AND MIXED-USE IS ENCOURAGED, MAXIMIZE DEVELOPMENT POTENTIAL IN KEEPING WITH NEIGHBORHOOD CHARACTER.

Policy 1.2.1

Ensure that in-fill housing development is compatible with its surroundings.

Policy 1.2.3

In general, where residential development is permitted, control residential density through building height and bulk guidelines and bedroom mix requirements.

The Project is located within the Mission neighborhood, which is characterized by the mix of residential, commercial, and industrial uses. As such, the Project provides expressive street façades, which respond to the form, scale and material palette of the existing neighborhood, while also providing a new contemporary architectural vocabulary.

Housing

OBJECTIVE 2.1

ENSURE THAT A SIGNIFICANT PERCENTAGE OF NEW HOUSING CREATED IN THE MISSION IS AFFORDABLE TO PEOPLE WITH A WIDE RANGE OF INCOMES.

Policy 2.1.1

Require developers in some formally industrial areas to contribute towards the City's very low, low, moderate and middle income needs as identified in the Housing Element of the General Plan.

OBJECTIVE 2.3

REQUIRE THAT NEW RESIDENTIAL DEVELOPMENTS SATISFY AN ARRAY OF HOUSING NEEDS WITH RESPECT TO TENURE, UNIT MIX AND COMMUNITY SERVICES.

Policy 2.3.2

Prioritize the development of affordable family housing, both rental and ownership, particularly along transit corridors and adjacent to community amenities.

Policy 2.3.3

Require that a significant number of units in new developments have two or more bedrooms, except Senior Housing and SRO developments unless all Below Market Rate units are two or more bedrooms.

OBJECTIVE 2.5

PROMOTE HEALTH THROUGH RESIDENTIAL DEVELOPMENT DESIGN AND LOCATION

Policy 2.5.3

Require new development to meet minimum levels of "green" construction.

The Project serves senior residents and formerly homeless seniors in below market rate housing that is an 100% affordable project. The building will contain a mix of studios, one bedroom and two bedroom units.

Built Form

OBJECTIVE 3.1

PROMOTE AN URBAN FORM THAT REINFORCES THE MISSION'S DISTINCTIVE PLACE IN THE CITY'S LARGER FORM AND STRENGTHENS ITS PHYSICAL FABRIC AND CHARACTER.

Policy 3.1.6

New buildings should epitomize the best in contemporary architecture, but should do so with full awareness of, and respect for, the height, mass, articulation and materials of the best of the older buildings that surrounds them.

OBJECTIVE 3.2

PROMOTE AN URBAN FORM AND ARCHITECTURAL CHARACTER THAT SUPPORTS WALKING AND SUSTAINS A DIVERSE, ACTIVE AND SAFE PUBLIC REALM.

Policy 3.2.1

Require high quality design of street-facing building exteriors.

The Project is a new larger-scale residential development. The Project provides the appropriate use encouraged by the Area Plan for this location. In addition, the Project is located within the prescribed height and bulk guidelines. The Project introduces a contemporary architectural vocabulary, which is sensitive to the prevailing scale and neighborhood fabric. The Project provides for a high quality designed exterior, which features a variety of materials, colors and textures, including cement plaster, glass veneer, exposed concrete, fiber cement panels, painted aluminum railings, metal sunshades, and aluminum windows and doors.

Transportation

OBJECTIVE 4.8

ENCOURAGE ALTERNATIVES TO CAR OWNERSHIP AND THE REDUCTION OF PRIVATE VEHICLE TRIPS.

Policy 4.8.1

Continue to require car-sharing arrangements in new residential and commercial developments, as well as any new parking garages.

The Project does not include any off-street parking spaces as it is in close proximity to various transit corridors. The Project will include one car sharing space at the front curb.

Streets and Open Space

OBJECTIVE 5.2

ENSURE THAT NEW DEVELOPMENT INCLUDES HIGH QUALITY, PRIVATE OPEN SPACE.

Policy 5.2.3

Encourage private open space to be provided as common spaces for residents and workers of the building wherever possible.

The Project will create common open space areas in a new residential development through porches, patios, rear yard, and roof decks.

MISSION ACTION PLAN 2020

The subject property falls within the area of the ongoing Mission Action Plan 2020 (MAP2020). MAP 2020 is collaboration, initiated by the community, between community organizations and the City of San Francisco, to create and preserve affordable housing and bring economic stability to the Mission. The goal is to retain and attract low to moderate income residents and community-serving businesses, artists, and nonprofits in order to strengthen and preserve the socioeconomic and cultural diversity of the Mission neighborhood.

Community organizations initiated the plan given the loss and displacement trends of low to moderate income residents, community-serving businesses, artists, and nonprofits affecting the neighborhood due to the affordability crisis.

A draft Action Plan will be available in summer 2016, with potential recommendations for pipeline projects and zoning changes. For more information on the neighborhood trends and the MAP2020 process can be found on:

<http://sf-planning.org/mission-action-plan-2020>

This 100% Affordable housing project advances the goals of MAP2020 by providing 94 affordable units for seniors and formerly homeless seniors.

16. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the Project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The Project would add new residents, visitors, and employees to the neighborhood, which would assist in strengthening nearby retail uses.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

No housing exists on the Project Site. The Project will provide up to 94 new dwelling units, thus resulting in a significant increase in the neighborhood housing stock. The Project is expressive in design, and relates to the scale and form of the surrounding neighborhood by providing relationships to the mid-to-large-scale industrial, residential, and commercial properties. For these reasons, the proposed Project would protect and preserve the cultural and economic diversity of the neighborhood.

- C. That the City's supply of affordable housing be preserved and enhanced.

The Project will not displace any affordable housing because there is currently no housing on the site. The Project will comply with the City's 100% Affordable Housing Bonus Program by providing 94 affordable units on-site.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project Site is well-served by public transportation. The Project is located within ¼ mile of the 12, 14, 14R, 27, 36, 49, and 67 bus lines. In addition the Project is within half mile of the 24th Street and Mission BART Station. Future residents would be afforded close proximity to bus or rail transit. The Project also provides sufficient on-street parking and sufficient bicycle parking for residents and their guests.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project is consistent with the Mission (EN) Area Plan, which provides for a balance between commercial, industrial, retail, residential, and other development. The Project does not include commercial office development, and provides new opportunities for housing, which is a top priority for the City.

- F. That the City achieves the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will be designed and will be constructed to conform to the structural and seismic safety requirements of the Building Code. This Project will not impact the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

There are no landmarks or historic buildings on the Project Site. The Project would not impact the nearby Shotwell Street Historic District or the Bernal Heights North Historic District.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project will not cast additional shadow on the nearby Precita Park and Garfield Square.

17. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.

18. The Commission hereby finds that approval of the 100% Affordable Housing Bonus Program Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES A 100% Affordable Housing Bonus Project Application No. 2015-018056AHB** under Planning Code Sections 206 and 328 to allow for the demolition of an existing one-story building and construction of a new nine-story 100% affordable residential building for seniors and formerly homeless seniors with 94 units. The Project requests development bonuses for 1) increased height above that which is principally permitted by the zoning district and 2) reduced dwelling unit exposure pursuant to Planning Code Section 140. The Project also requests an exception for the rear yard requirement pursuant to Planning Code Section 134. This Project is within the Mission Street NCT (Neighborhood Commercial Transit) Zoning District and 65-X Height and Bulk District. The Project is subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated November 1, 2016, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Section 328 100% Affordable Housing Bonus Program Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of adoption of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Clerk of the Board of Supervisors at (415) 554-5184, 1 Dr. Carlton B. Goodlett Place, Room 244, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the Project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on December 1, 2016.

Motion XXXXX
December 1, 2016

CASE NO. 2015-018056AHB
1296 Shotwell Street

Jonas P. Ionin
Commission Secretary

AYES:

NAYES:

ABSENT:

ADOPTED: December 1, 2016

EXHIBIT A

AUTHORIZATION

This authorization is for a 100% Affordable Housing Bonus Program Authorization to allow for the demolition of an existing 1-story building and construction of a new nine-story 100% affordable residential building for seniors and formerly homeless seniors with 94 units, pursuant to Planning Code Sections 206 and 328. The Project requests development bonuses for 1) increased height above that which is principally permitted by the zoning district and 2) reduced dwelling unit exposure pursuant to Planning Code Section 140. The Project also requests an exception for the rear yard requirement pursuant to Planning Code Section 134. This Project is within the Mission Street NCT (Neighborhood Commercial Transit) Zoning District and 65-X Height and Bulk District; in general conformance with plans, dated November 1, 2016, and stamped "EXHIBIT B" included in the docket for Case No. **2015-018056AHB** and subject to conditions of approval reviewed and approved by the Commission on December 1, 2016 under Motion No. **XXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the Project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on December 1, 2016 under Motion No. **XXXXX**.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference the 100% Affordable Housing Bonus Program Authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for ten (10) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the Project and/or commence the approved use within this ten-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the ten (10) year period has lapsed, the Project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the Project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

3. **Diligent Pursuit.** Once a Site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than ten (10) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the Project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

DESIGN – COMPLIANCE AT PLAN STAGE

6. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

7. **Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the architectural addenda. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

8. **Rooftop Mechanical Equipment.** Pursuant to Planning Code 141, the Project Sponsor shall submit a roof plan to the Planning Department prior to Planning approval of the building permit application for each building. Rooftop mechanical equipment, if any is proposed as part of the Project, is required to be screened so as not to be visible from any point at or below the roof level of the subject building.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

9. **Streetscape Plan.** Pursuant to Planning Code Section 138.1, the Project Sponsor shall continue to work with Planning Department staff, in consultation with other City agencies, to refine the design and programming of the Streetscape Plan so that the plan generally meets the standards of the Better Streets Plan and all applicable City standards. The Project Sponsor shall complete final design of all required street improvements, including procurement of relevant City permits, prior to issuance of first architectural addenda, and shall complete construction of all required street improvements prior to issuance of first temporary certificate of occupancy.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

PARKING AND TRAFFIC

10. **Car Share.** Pursuant to Planning Code Section 166, no fewer than one (1) car share space shall be made available, at no cost, to a certified car share organization for the purposes of providing car share services for its service subscribers.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

11. **Bicycle Parking.** Pursuant to Planning Code Sections 155.1, 155.2, and 155.3, the Project shall provide no fewer than 9 Class 1 bicycle parking spaces and 2 Class 2 bicycle parking spaces.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
12. **Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

PROVISIONS

13. **First Source Hiring.** The Project shall adhere to the requirements of the First Source Hiring Construction and End-Use Employment Program approved by the First Source Hiring Administrator, pursuant to Section 83.4(m) of the Administrative Code. The Project Sponsor shall comply with the requirements of this Program regarding construction work and on-going employment required for the Project.
For information about compliance, contact the First Source Hiring Manager at 415-581-2335, www.onestopSF.org

MONITORING

14. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
15. **Revocation Due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

16. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when

being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-.5810, <http://sfdpw.org>

17. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>

18. **Community Liaison.** Prior to issuance of a building permit to construct the Project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

19. **Lighting.** All Project lighting shall be directed onto the Project Site and immediately surrounding sidewalk area only, and designed and managed so as not to be a nuisance to adjacent residents. Nighttime lighting shall be the minimum necessary to ensure safety, but shall in no case be directed so as to constitute a nuisance to any surrounding property.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

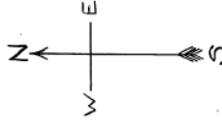
AFFORDABLE UNITS

20. **100% Affordable Project.** As currently proposed, the Project will be 100% affordable, with 94 dwelling units. In the event that the Project changes and some or all of the units become market-rate, the Project shall comply with the inclusionary housing requirements set forth in Section 415 of the Code. This condition of approval shall constitute the written determination and notice of the inclusionary housing requirement pursuant to the procedures set forth in Code Section 415.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing at 415-701-5500, <http://sf-moh.org/index.aspx?page=321>

Parcel Map

© COPYRIGHT SAN FRANCISCO CITY & COUNTY ASSESSOR 1995



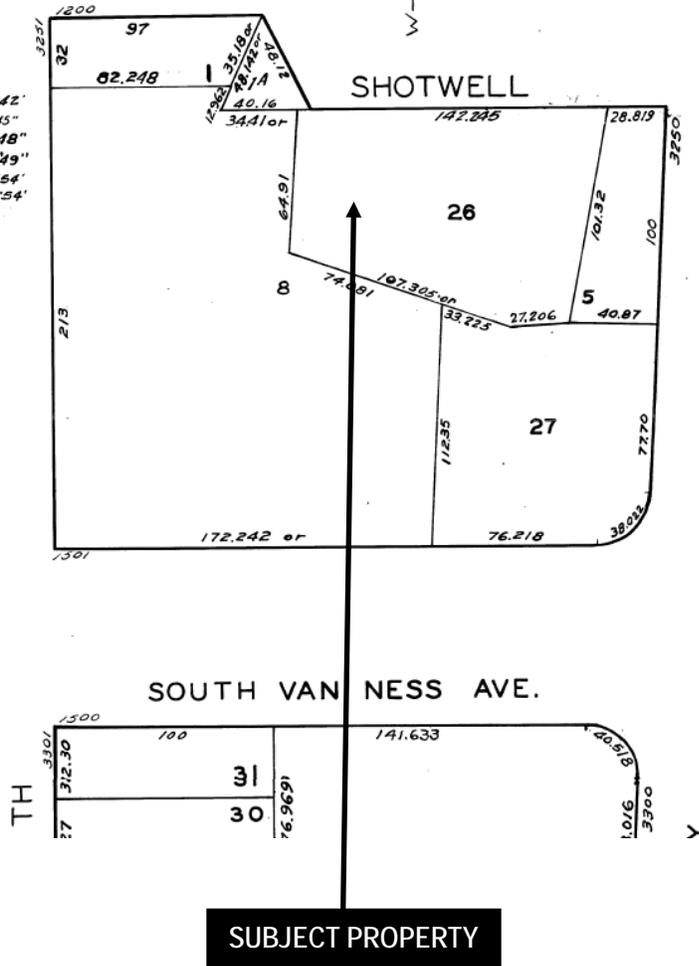
6571

MISSION BLKS 199 & 200 & HILLS MAP OF PVL

REVISED 1961
 " '66
 " '74
 " '79
 " 181

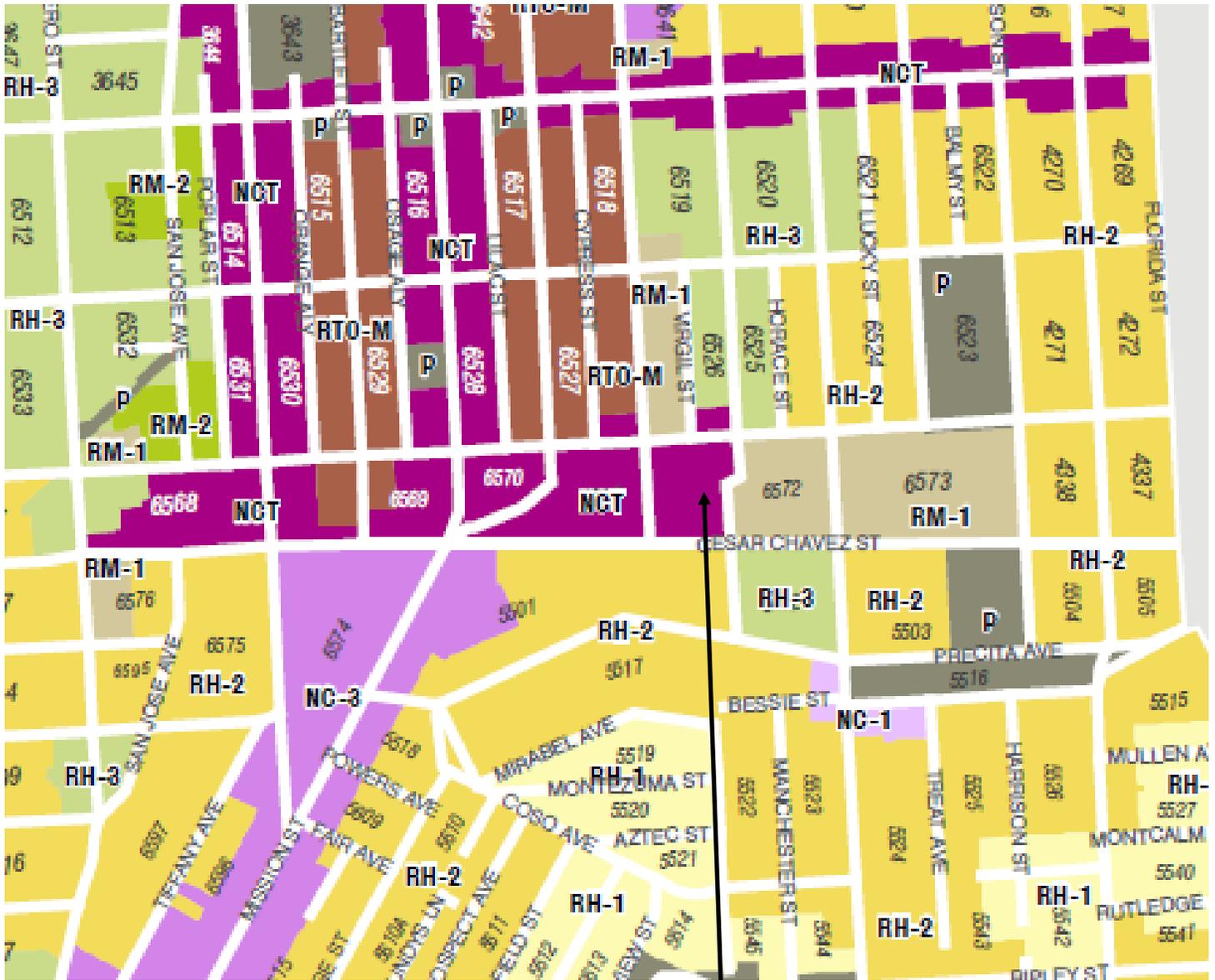
LOTS MERGED

Lot 10 Merged into Lot 7 '42
 Lot 5A Merged into Lot 7 '45
 " 10A " " 11 '48"
 " 9-24-25 " " 2-7/8 '49"
 " 6, 12, 12, 13, 14, 16, 17, 19, 20 " 57 '54"
 " 3/4 " " 2 '54"



Affordable Housing Bonus Program
 Case Number 2015-018056AHB
 1296 Shotwell Street

Zoning Map

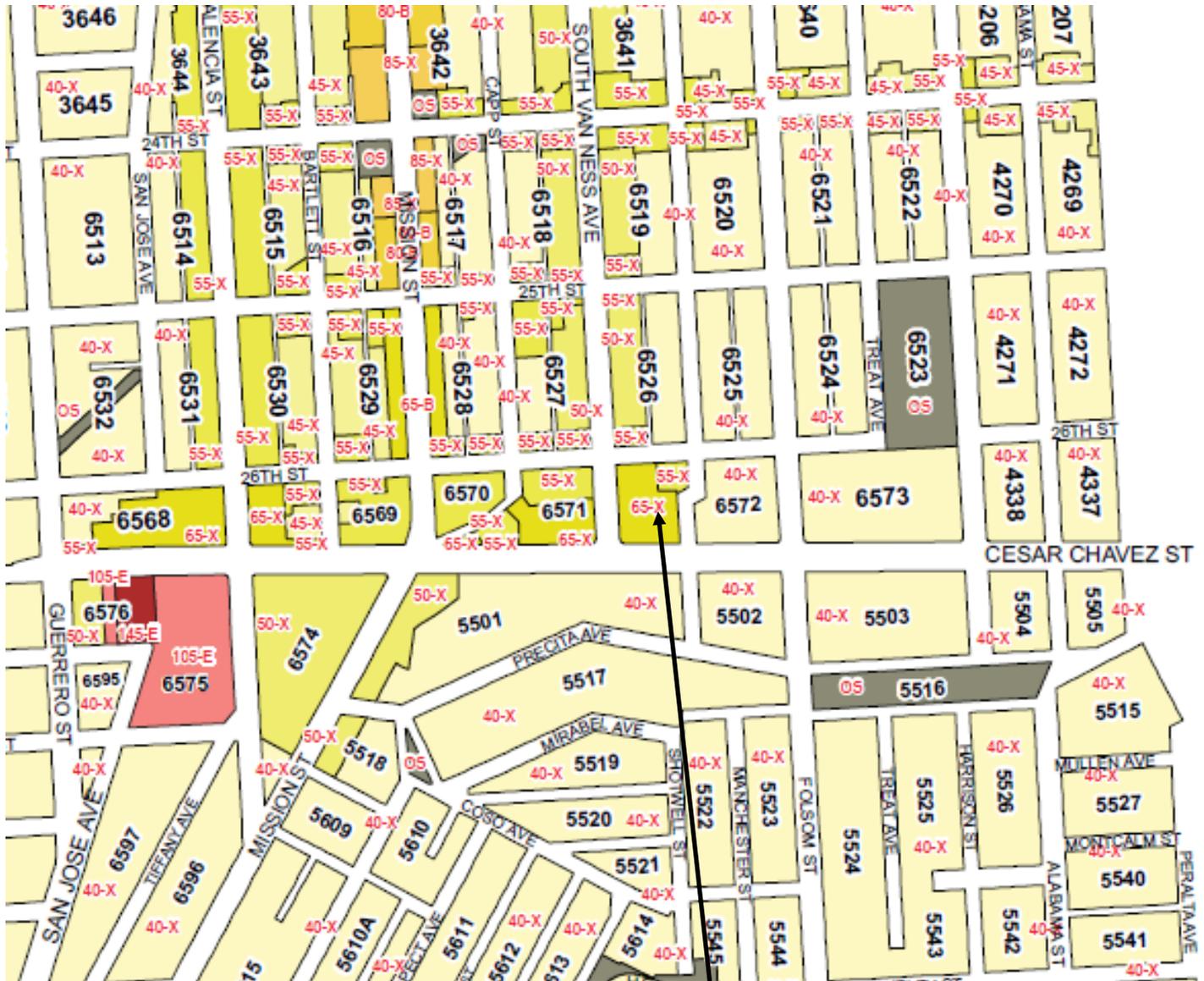


SUBJECT PROPERTY



Affordable Housing Bonus Program
Case Number 2015-018056AHB
1296 Shotwell Street

Height and Bulk Map



SUBJECT PROPERTY



Affordable Housing Bonus Program
Case Number 2015-018056AHB
1296 Shotwell Street

Aerial Photo

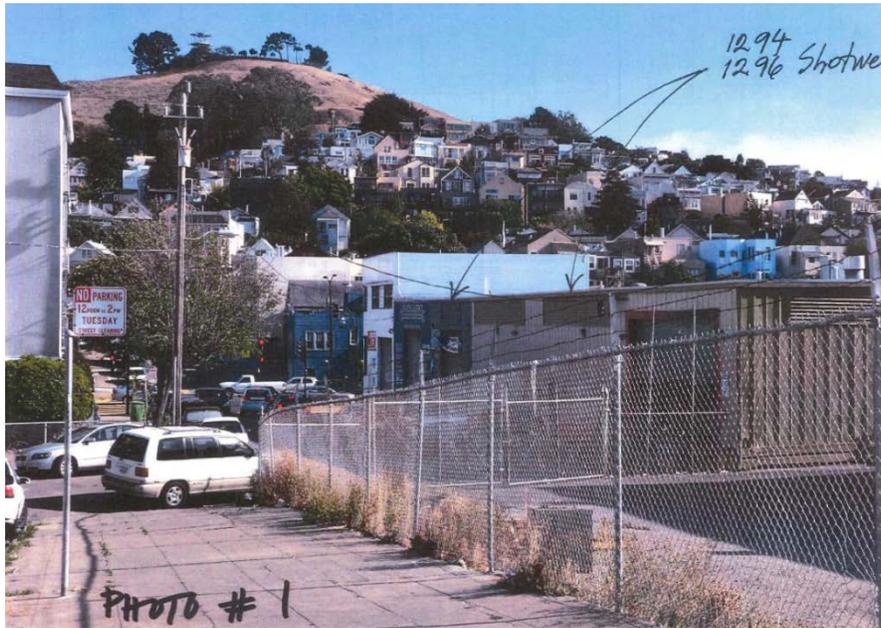
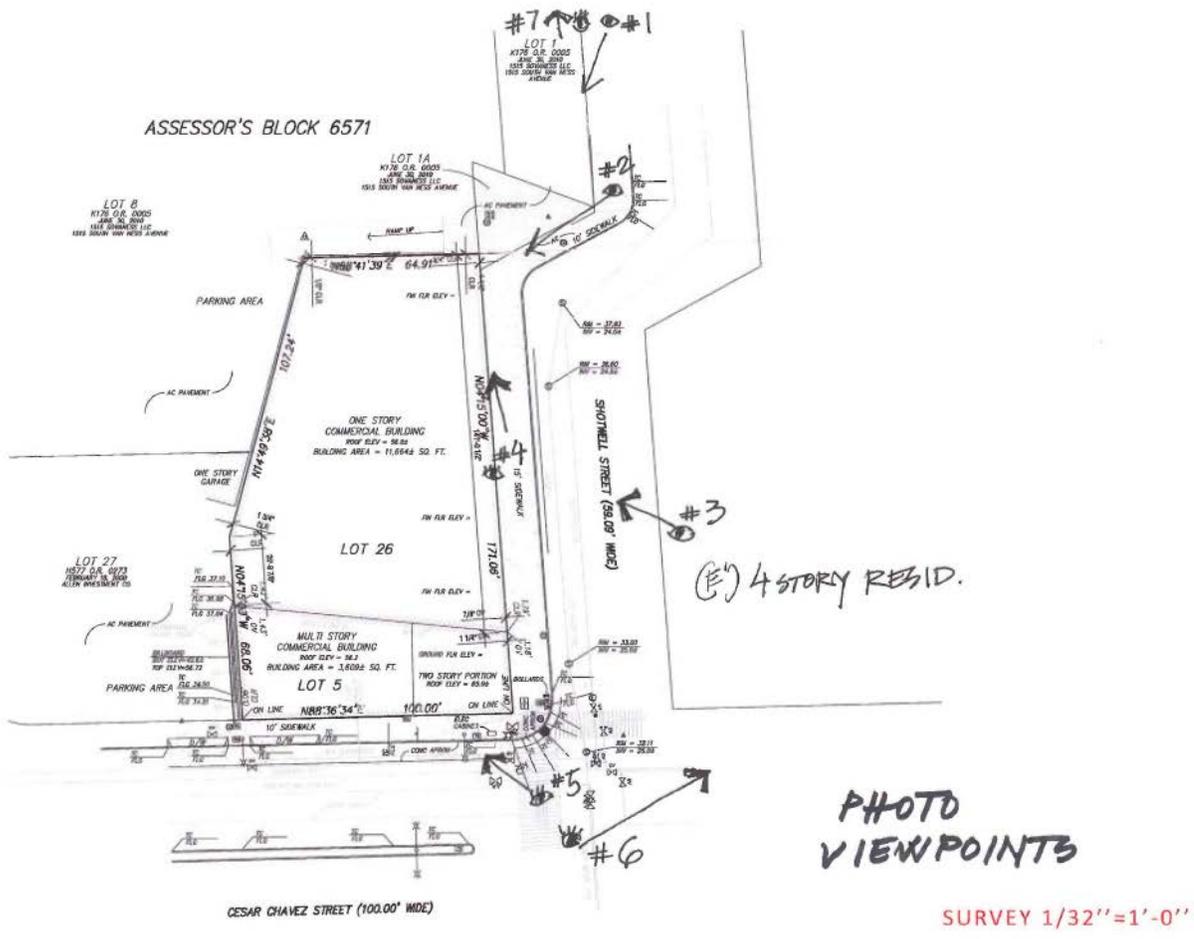


SUBJECT PROPERTY



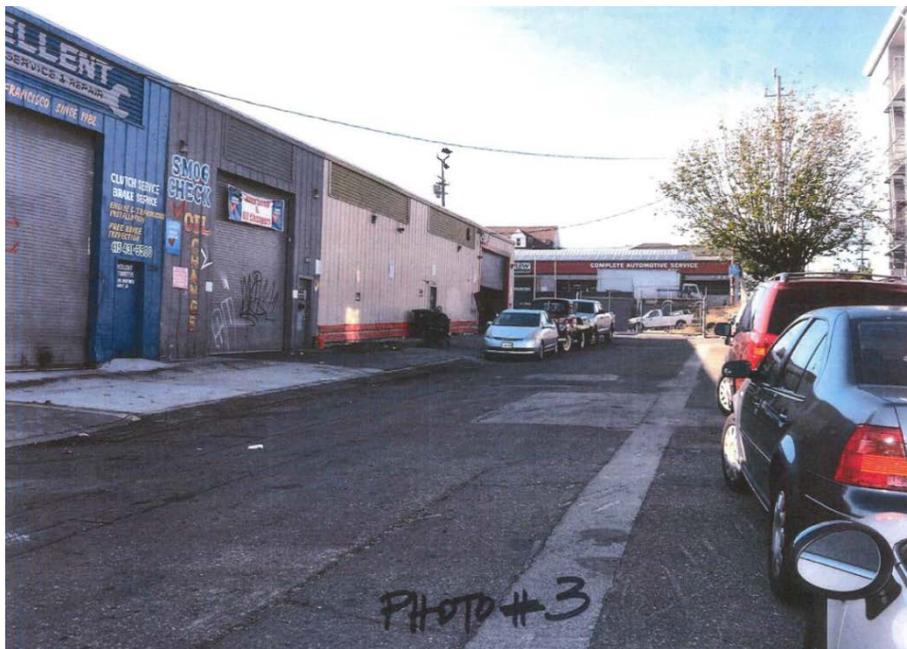
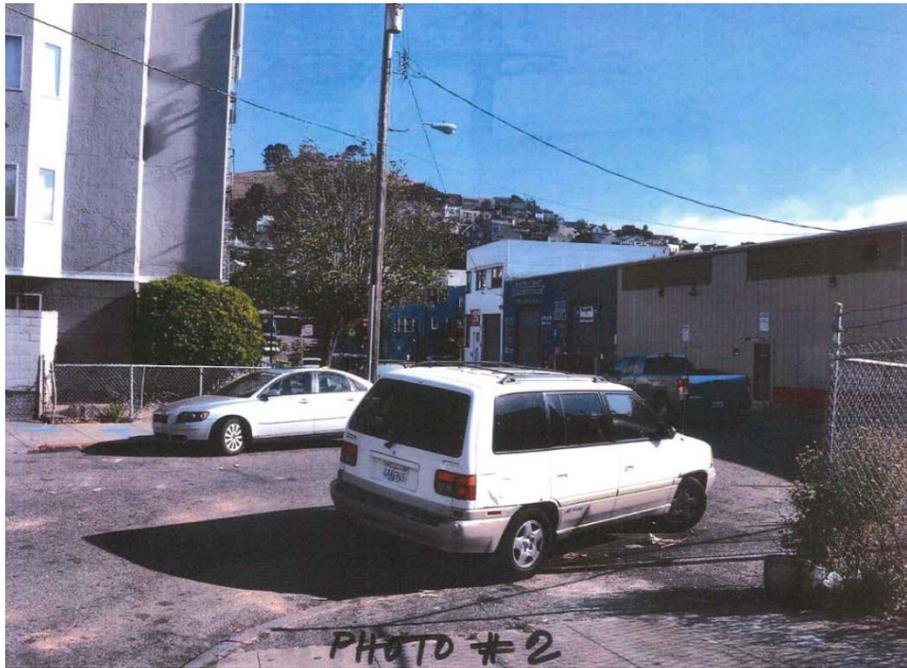
Affordable Housing Bonus Program
Case Number 2015-018056AHB
1296 Shotwell Street

Site Photos



Affordable Housing Bonus Program
Case Number 2015-018056AHB
1296 Shotwell Street

Site Photos



Affordable Housing Bonus Program
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Site Photos



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1296 Shotwell Street

Site Photos



Affordable Housing Bonus Program
Case Number 2015-018056AHB
1296 Shotwell Street



SAN FRANCISCO
PLANNING
DEPARTMENT

AFFIDAVIT FOR FIRST SOURCE HIRING PROGRAM

Administrative Code

Chapter 83

1650 Mission Street, Suite 400 • San Francisco CA 94103-2479 • 415.558.6378 • <http://www.sfplanning.org>

Section 1: Project Information

PROJECT ADDRESS 1296 Shotwell Street		BLOCK/LOT(S) 6571 / 051	
BUILDING PERMIT APPLICATION NO. 201608195545	CASE NO. (IF APPLICABLE)	MOTION NO. (IF APPLICABLE)	
PROJECT SPONSOR 1296 Shotwell Housing, L.P.	MAIN CONTACT Joyce Slen	PHONE 415-935-2470	
ADDRESS 1525 Grant Avenue			
CITY, STATE, ZIP San Francisco, CA 94133		EMAIL jslen@chinatowncdc.org	
ESTIMATED RESIDENTIAL UNITS 94	ESTIMATED SQ FT COMMERCIAL SPACE 0	ESTIMATED HEIGHT/FLOORS 85' / 9 flrs	ESTIMATED CONSTRUCTION COST \$53,927,566
ANTICIPATED START DATE October 2017			

Section 2: First Source Hiring Program Verification

CHECK ALL BOXES APPLICABLE TO THIS PROJECT	
<input checked="" type="checkbox"/>	Project is wholly Residential
<input type="checkbox"/>	Project is wholly Commercial
<input type="checkbox"/>	Project is Mixed Use
<input checked="" type="checkbox"/>	A: The project consists of ten (10) or more residential units;
<input type="checkbox"/>	B: The project consists of 25,000 square feet or more gross commercial floor area.
<input type="checkbox"/>	C: Neither 1A nor 1B apply.
NOTES:	
<ul style="list-style-type: none"> If you checked C, this project is NOT subject to the First Source Hiring Program. Sign Section 4: Declaration of Sponsor of Project and submit to the Planning Department. If you checked A or B, your project IS subject to the First Source Hiring Program. Please complete the reverse of this document, sign, and submit to the Planning Department prior to any Planning Commission hearing. If principally permitted, Planning Department approval of the Site Permit is required for all projects subject to Administrative Code Chapter 83. For questions, please contact OEWD's CityBuild program at CityBuild@sfgov.org or (415) 701-4848. For more information about the First Source Hiring Program visit www.workforcedevelopmentsf.org If the project is subject to the First Source Hiring Program, you are required to execute a Memorandum of Understanding (MOU) with OEWD's CityBuild program prior to receiving construction permits from Department of Building Inspection. 	

Continued...

Section 3: First Source Hiring Program -- Workforce Projection

Per Section 83.11 of Administrative Code Chapter 83, it is the developer's responsibility to complete the following information to the best of their knowledge.

Provide the estimated number of employees from each construction trade to be used on the project, indicating how many are entry and/or apprentice level as well as the anticipated wage for these positions.

Check the anticipated trade(s) and provide accompanying information (Select all that apply):

TRADE/CRAFT	ANTICIPATED JOURNEYMAN WAGE	# APPRENTICE POSITIONS	# TOTAL POSITIONS	TRADE/CRAFT	ANTICIPATED JOURNEYMAN WAGE	# APPRENTICE POSITIONS	# TOTAL POSITIONS		
Abatement Laborer			5	Laborer			15		
Boilermaker			2	Operating Engineer			3		
Bricklayer			0	Painter			8		
Carpenter			10	Pile Driver			0		
Cement Mason			10	Plasterer			5		
Drywall/Latherer			20	Plumber and Pipefitter			12		
Electrician			15	Roofer/Water proofer			6		
Elevator Constructor			3	Sheet Metal Worker			6		
Floor Coverer			6	Sprinkler Fitter			8		
Glazier			6	Taper			6		
Heat & Frost Insulator			2	Tile Layer/ Finisher			4		
Ironworker			6	Other:			0		
			TOTAL:	85				TOTAL:	73

1. Will the anticipated employee compensation by trade be consistent with area Prevailing Wage? YES NO
2. Will the awarded contractor(s) participate in an apprenticeship program approved by the State of California's Department of Industrial Relations? YES NO
3. Will hiring and retention goals for apprentices be established? YES NO
4. What is the estimated number of local residents to be hired? 10

Section 4: Declaration of Sponsor of Principal Project

PRINT NAME AND TITLE OF AUTHORIZED REPRESENTATIVE	EMAIL	PHONE NUMBER
Joyce Sten, Assistant Project Manager	jstern@chinntaunodc.org	(415)935-2470
I HEREBY DECLARE THAT THE INFORMATION PROVIDED HEREIN IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND THAT I COORDINATED WITH OEWD'S CITYBUILD PROGRAM TO SATISFY THE REQUIREMENTS OF ADMINISTRATIVE CODE CHAPTER 83.		
		11/7/16
(SIGNATURE OF AUTHORIZED REPRESENTATIVE)		(DATE)

FOR PLANNING DEPARTMENT STAFF ONLY: PLEASE EMAIL AN ELECTRONIC COPY OF THE COMPLETED AFFIDAVIT FOR FIRST SOURCE HIRING PROGRAM TO OEWD'S CITYBUILD PROGRAM AT CITYBUILD@SFGOV.ORG

Cc: Office of Economic and Workforce Development, CityBuild
 Address: 1 South Van Ness 5th Floor San Francisco, CA 94109 Phone: 415-701-4848
 Website: www.workforcedevelopmentsf.org Email: CityBuild@sfgov.org

**MAYOR'S OFFICE OF HOUSING
AND COMMUNITY DEVELOPMENT
CITY AND COUNTY OF SAN FRANCISCO**



**EDWIN M. LEE
MAYOR**

**OLSON LEE
DIRECTOR**

October 27, 2016

Christy Alexander
Planning Department
City & County of San Francisco
1650 Mission Street, Suite 400
San Francisco, CA 94103

RE: Relocation of Tenants – 1296 Shotwell Street
Planning Case No. 2015-018056AHB

Dear Ms. Alexander:

Please accept this letter as confirmation that 1296 Shotwell Housing, L.P. (“Applicant”), the developer of the above City owned property, will meet any applicable requirements of the California Relocation Assistance Act (Cal. Gov. Code §§ 7260 et seq.) and implementing regulations in Title 25, Chapter 6 of the California Administrative Code in addition to the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970 (42 U.S.C. §§ 4601 et seq.) and implementing regulations at 49 CFR part 24 and similar Laws as documented in the executed funding agreements between the Applicant and the Mayor’s Office of Housing and Community Development. The relocation firm hired by the Applicant has provided General Information Notices to all tenants as of May 2016. A copy of each notice is attached here for your review.

Please feel free to contact Sara Amaral, the MOHCD Project Manager for this project with any questions, at 415-701-5614 or sara.amaral@sfgov.org.

Sincerely,

A handwritten signature in blue ink, appearing to read "Olson Lee".

Olson Lee
Director

d. If the project will comply with the Inclusionary Affordable Housing Program through an **On-site** or **Off-site Affordable Housing Alternative**, please fill out the following regarding how the project is eligible for an alternative and the accompanying unit mix tables on page 4.

- Ownership.** All affordable housing units will be sold as ownership units and will remain as ownership units for the life of the project.
- Rental.** Exemption from Costa Hawkins Rental Housing Act.² The Project Sponsor has demonstrated to the Department that the affordable units are not subject to the Costa Hawkins Rental Housing Act, under the exception provided in Civil Code Sections 1954.50 though one of the following:
 - Direct financial contribution from a public entity.
 - Development or density bonus or other public form of assistance.
 - Development Agreement with the City. The Project Sponsor has entered into or has applied to enter into a Development Agreement with the City and County of San Francisco pursuant to Chapter 56 of the San Francisco Administrative Code and, as part of that Agreement, is receiving a direct financial contribution, development or density bonus, or other form of public assistance.

e. The Project Sponsor acknowledges that failure to sell the affordable units as ownership units or to eliminate the on-site or off-site affordable ownership-only units at any time will require the Project Sponsor to:

- (1) Inform the Planning Department and the Mayor's Office of Housing and, if applicable, fill out a new affidavit;
- (2) Record a new Notice of Special Restrictions; and
- (3) Pay the Affordable Housing Fee plus applicable interest (using the fee schedule in place at the time that the units are converted from ownership to rental units) and any applicable penalties by law.

f. The Project Sponsor must pay the Affordable Housing Fee in full sum to the Development Fee Collection Unit at the Department of Building Inspection for use by the Mayor's Office of Housing prior to the issuance of the first construction document, with an option for the Project Sponsor to defer a portion of the payment to prior to issuance of the first certificate of occupancy upon agreeing to pay a deferral surcharge that would be deposited into the Citywide Affordable Housing Fund in accordance with Section 107A.13.3 of the San Francisco Building Code.

g. I am a duly authorized officer or owner of the subject property.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.
Executed on this day in:

San Francisco, CA
Location

11/9/2016
Date


Signature

Joyce Slen, Assistant Project Manager
Name (Print), Title

(415) 935-2470
Contact Phone Number

cc: Mayor's Office of Housing
Planning Department Case Docket
Historic File, if applicable
Assessor's Office, if applicable

² California Civil Code Section 1954.50 and following.

Unit Mix Tables

NUMBER OF ALL UNITS IN PRINCIPAL PROJECT:					
Total Number of Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units
94		24	69	1	

If you selected an On-site or Off-Site Alternative, please fill out the applicable section below:

- On-site Affordable Housing Alternative (Charter Section 16.110 (g) and Planning Code Section 415.6); calculated at 12% of the unit total.

NUMBER OF AFFORDABLE UNITS TO BE LOCATED ON-SITE					
Total Affordable Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units

- Off-site Affordable Housing Alternative (Planning Code Section 415.7); calculated at 20% of the unit total.

NUMBER OF AFFORDABLE UNITS TO BE LOCATED OFF-SITE					
Total Affordable Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units

Area of Dwellings in Principal Project (in sq. feet)	Off-Site Project Address				
Area of Dwellings in Off-Site Project (in sq. feet)					
Off-Site Block/Lot(s)	Motion No. (if applicable)	Number of Market-Rate Units in the Off-site Project			

- Combination of payment of a fee, on-site affordable units, or off-site affordable units with the following distribution:
Indicate what percent of each option would be implemented (from 0% to 99%) and the number of on-site and/or off-site below market rate units for rent and/or for sale.

1. Fee _____ % of affordable housing requirement.

2. On-Site _____ % of affordable housing requirement.

NUMBER OF AFFORDABLE UNITS TO BE LOCATED ON-SITE					
Total Affordable Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units

3. Off-Site _____ % of affordable housing requirement.

NUMBER OF AFFORDABLE UNITS TO BE LOCATED OFF-SITE					
Total Affordable Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units

Area of Dwellings in Principal Project (in sq. feet)	Off-Site Project Address				
Area of Dwellings in Off-Site Project (in sq. feet)					
Off-Site Block/Lot(s)	Motion No. (if applicable)	Number of Market-Rate Units in the Off-site Project			

Attestation for Compliance with the Inclusionary Affordable Housing Program

CONTACT INFORMATION AND DECLARATION OF SPONSOR OF PRINCIPAL PROJECT	CONTACT INFORMATION AND DECLARATION OF SPONSOR OF OFF-SITE PROJECT (IF DIFFERENT)
Company Name 1296 Shotwell Housing, LP	Company Name
Print Name of Contact Person Joyce Sten	Print Name of Contact Person
Address 1525 GRANT AVENUE	Address
City, State, Zip San FRANCISCO, CA 94133	City, State, Zip
Phone, Fax (415) 984-1450, (415) 362-7992	Phone, Fax
Email jstlen@chinatowncdc.org	Email
I hereby declare that the information herein is accurate to the best of my knowledge and that I intend to satisfy the requirements of Planning Code Section 415 as indicated above.	I hereby declare that the information herein is accurate to the best of my knowledge and that I intend to satisfy the requirements of Planning Code Section 415 as indicated above.
 Signature	Signature
Name (Print), Title Joyce Sten, Assistant Project Manager	Name (Print), Title

SUPPLEMENTAL INFORMATION FOR Anti-Discriminatory Housing Policy

1. Owner/Applicant Information

PROPERTY OWNER'S NAME:	
City and County of San Francisco, c/o Mayor's Office of Housing and Community Development (MOHCD)	
PROPERTY OWNER'S ADDRESS:	TELEPHONE:
1 S Van Ness Ave, San Francisco, CA 94103	(415) 701 - 5500
	EMAIL:

APPLICANT'S NAME:	
1296 Shotwell Housing LP	Same as Above <input type="checkbox"/>
APPLICANT'S ADDRESS:	TELEPHONE:
1525 Grant Ave, San Francisco CA 94133	(415) 984 - 1450
	EMAIL:
	jslen@chinatowncdc.org

CONTACT FOR PROJECT INFORMATION:	
Joyce Slen	Same as Above <input type="checkbox"/>
ADDRESS:	TELEPHONE:
1525 Grant Ave, San Francisco CA 94133	(415) 935 - 2470
	EMAIL:
	jslen@chinatowncdc.org

COMMUNITY LIAISON FOR PROJECT (PLEASE REPORT CHANGES TO THE ZONING ADMINISTRATOR):	
Elaine Yee	Same as Above <input type="checkbox"/>
ADDRESS:	TELEPHONE:
2301 Mission St, #301, San Francisco CA 94110	(415) 282 - 3334 x138
	EMAIL:
	eyee@medasf.org

2. Location and Project Description

STREET ADDRESS OF PROJECT:		ZIP CODE:
1296 Shotwell St		94110
CROSS STREETS:		
Cesar Chavez		
ASSESSORS BLOCK/LOT:	ZONING DISTRICT:	HEIGHT/BULK DISTRICT:
6571 / 051	NCT	65-X

PROJECT TYPE: (Please check all that apply)	EXISTING DWELLING UNITS:	PROPOSED DWELLING UNITS:	NET INCREASE:
<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Demolition <input type="checkbox"/> Alteration <input type="checkbox"/> Other: _____		94	94

Compliance with the Anti-Discriminatory Housing Policy

1. Does the applicant or sponsor, including the applicant or sponsor's parent company, subsidiary, or any other business or entity with an ownership share of at least 30% of the applicant's company, engage in the business of developing real estate, owning properties, or leasing or selling individual dwelling units in States or jurisdictions outside of California? YES NO

1a. If yes, in which States? _____

- 1b. If yes, does the applicant or sponsor, as defined above, have policies in individual States that prohibit discrimination based on sexual orientation and gender identity in the sale, lease, or financing of any dwelling units enforced on every property in the State or States where the applicant or sponsor has an ownership or financial interest? YES NO

- 1c. If yes, does the applicant or sponsor, as defined above, have a national policy that prohibits discrimination based on sexual orientation and gender identity in the sale, lease, or financing of any dwelling units enforced on every property in the United States where the applicant or sponsor has an ownership or financial interest in property? YES NO

If the answer to 1b and/or 1c is yes, please provide a copy of that policy or policies as part of the supplemental information packet to the Planning Department.

Human Rights Commission contact information
Mullane Ahern at (415)252-2514 or mullane.ahern@sfgov.org

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: Other information or applications may be required.

Signature: 

Date: 10-19-2016

Print name, and indicate whether owner, or authorized agent:

ELAINE YEE, SENIOR PROJECT MANAGER,
Owner / Authorized Agent (circle one) MISSION ECONOMIC DEVELOPMENT AGENCY (MEDA)

PLANNING DEPARTMENT USE ONLY

PLANNING DEPARTMENT VERIFICATION:

- Anti-Discriminatory Housing Policy Form is **Complete**
- Anti-Discriminatory Housing Policy Form is **Incomplete**

Notification of Incomplete Information made:

To: _____ Date: _____

BUILDING PERMIT NUMBER(S):

DATE FILED:

~~2015-015054 PRJ~~

2016-08-19-5545

8/19/16

RECORD NUMBER:

DATE FILED:

VERIFIED BY PLANNER:

Signature: Christy Alexander

Date: 10/19/16

Printed Name: Christy Alexander

Phone: 415-575-8724

ROUTED TO HRC:

DATE:

Emailed to: mullane.ahern@sfgov.org

November 10, 2016

San Francisco Planning Commission

Re: 1296 Shotwell Street Affordable Housing for Seniors

Dear Planning Commissioners:

This letter is in reference to the agenda item on the Height Change of 1296 Shotwell Affordable Housing for Seniors through the Affordable Housing Bonus Program. Project co-sponsors, Chinatown Community Development Center (Chinatown CDC) and Mission Economic Development Agency (MEDA), would like to present you with a package **comprising 349 letters from neighbors (businesses and residents) and 169 online petition signatures to date**, all in support of this 100 percent affordable-housing development.

Since February 2016, the Community Outreach team for 1296 Shotwell Street Affordable Housing for Seniors has conducted various activities to present the details of the project, from garnering feedback regarding the design and services at the site to responding to neighbors' concerns and gaining support for the construction of the project.

Community outreach activities in 2016 included:

Two general community meetings (total engaged = 81 attendees)

- February 13th
- April 30th Pre-Application Community Meeting

22 Focus groups with community-based organizations and key stakeholders, and community events in the Mission District (total engaged = 256 attendees)

- June 15th La Colectiva Women's Collective Workers
- June 21st Mission Neighborhood Centers Senior Program
- June 28th Calle 24 Latino Cultural District Council – **organizational letter of support included**
- July 6th John O'Connell High School MoveUp Resource Fair
- July 7th Jamestown Community Center- staff meeting
- July 15th Mission Neighborhood Resource Center
- July 29th Mission Neighborhood Centers – Health Fair
- July 31st Saint Anthony Church - Sunday mass
- August 4th Abel Gonzales Senior Housing – Resident's meeting
- August 11th ACCE Bernal members meeting
- August 23rd Bernal Neighbors at BHNC
- August 29th Bernal Neighbors at Precita Eyes Art Studio
- September 8th Centro Latino – Senior Program
- September 12th Mission Neighborhood Health Center – Clinic Leaders meeting
- September 14th Mission Dolores Neighborhood Association – Member's meeting
- September 23rd Dolores Street Community Services – SRO Family meeting
- October 1st Mission Movie Night at the Neighborhood Park
- October 5th Inner Mission Residents (Shotwell Street neighbors)
- October 12th Mujeres Unidas y Activas
- October 14th 30th Street Senior Center

- October 20th Parents for Public School
- PhotoVoice Exhibition at ¡Si se Puede! Event against domestic violence

The team also made personal visits in the vicinity of the project's site to inform business owners and residents about the proposed development, and to ask for their support. We have received letters of support 24 from business owners, and from 325 residents. In addition, we have received 169 online petition signatures to date in support of the project.

To address neighbors' concerns, the development team launched a [Frequently Asked Questions](#) page.

As evidenced by the positive feedback and support through these outreach efforts -- and from the letters of support and online petition signatures -- members of the Mission community, and the community at large -- are strongly in favor of 1296 Shotwell Street Affordable Housing for Seniors.

We thank you for your careful consideration of this proposal and look forward to answering any questions you may have.

Respectfully submitted,

Elaine Yee
Senior Project Manager
Mission Economic Development Agency (MEDA)

for
1296 Shotwell Senior Affordable Housing Project Sponsors
Chinatown Community Development Center & Mission Economic Development Agency

24 Business Letters of Support

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8-12-2016
From: Pepi's Auto Repair
Jose Gonzalez

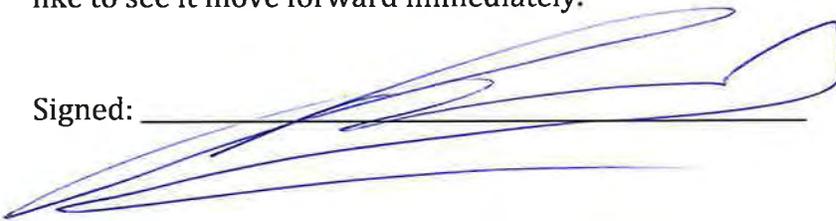
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at 1100 South Van Ness Av. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8-12-16

From: Sun Rise Restaurant.
Alba Guerra

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3126 24th St adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Alba Guerra

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 08-12-16

From: Dosdo Mary
Jana Laurel

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at 2515 mission st
adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Jana Laurel

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 08/12/16

From: Copy Central Mission
Carolina Vallejo

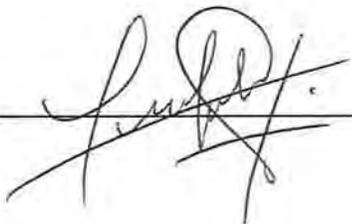
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3181 Mission St S.F. CA 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 09/13/2016

From: Sam, Ko
Save Way Market

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at 3353 26th St
adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Sam, Ko

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/07/16

From: My Corner Cafe
1500 S Van Ness Ave
SF CA 94110

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at 1500 S Van Ness Ave adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: _____

Signed: Anthony Sou

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/07/16
From: Cesar Chavez Auto

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at 3300 Cesar Chavez adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Luis Gonzalez

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 07/11/16

From: 3344 25th St
San Francisco CA 94110

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at Carisma Hair Salon adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

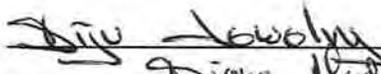
We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11-07-16

From: 
Diana Hedina

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at 3247-24th St.
adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11-07-16

From: EL AJ RESTAURANT

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at 3015 Mission St adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/7/16

From: 3151 Mission.
SF CA 94110
Nina's Cleaners

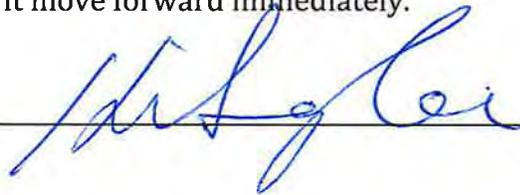
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at 3151 Mission St. CA 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/07/16
From: SWEET CHINITEO

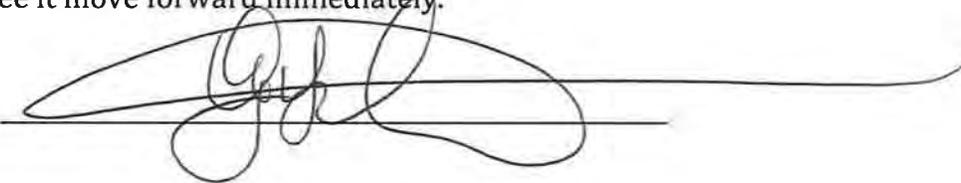
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at 3100 mission ST S.F. CA 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11-7-16

From: San Francisco Car Care

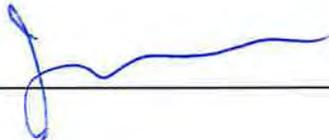
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at 3160 Mission St, SF CA 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 01-07-16

From: ECO Jewellery
3174 MISSION ST SF CA 94110

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at 3174 MISSION ST
adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: NOV 07/18.
From: SATELLITE TRAVEL.

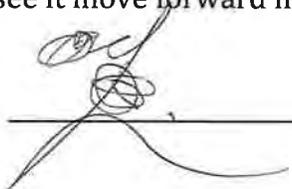
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at 3401 CESAR CHAVEZ, adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11-7-16

From: GUAN Zhang
3168 Mission St

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at T & L Liquor store adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: 

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11-9-2016

From: AVALOS SHOE REPAIR
Adela AVALOS

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at 3404 26th ST
adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/9/16

From: Las Cameras Restaurant
Cecilia Moreno.

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at 2341-C Folsom St.
adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Cecilia Moreno.

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10-08-16

From: LA PLAZA Malicote

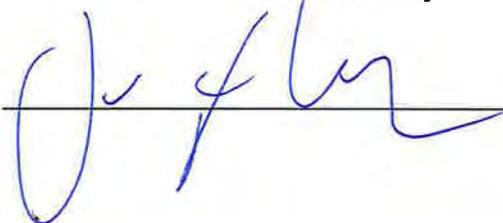
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at 2598 Folsom adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11-09-16

From: NOVEDADES "ANAHEYSER"
HEYDI OCHOA

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at 2974 mission St. S9n Francisco cal. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/9/16

From: JC Hair Studio
Juan I Cadena

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at 2970 Mission St
adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/09/16
From: 2998 Mission St
STOCA 94110

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at TAMARIZ ASSOCIATES
adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/9/2016

From: California Hotpress

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at 2966 Mission Street adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: 

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/10/16

From: R IMAGE MARKET
2898 Folsom St.

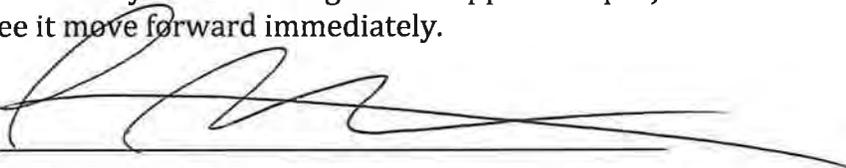
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at 2898 Folsom St. S.F.
adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

325 Resident Letters of Support

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 06/14/2016

From: Gabriela Giron

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 881 San Jose Av San Francisco Ca. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Gabriela Giron

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 06-15-16

From: Mariade Lourdes Dobarganes

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3358 Cesac Chavez adjacent to the above building of affordable housing. S.F. CA. 94110

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Mariade Lourdes Dobarganes

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6/15/2016

From: Erika Yaneht Rodríguez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3358 Cesar Chavez 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6-19-2016

From: ~~3358 Cesar Chavez 94110~~
Hilda Perez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3358 Cesar Chavez 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Hilda Perez

Signed: Hilda Perez

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 06-19-16

From: Karina Gonzalez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3358 Cesar chaves st #110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6/15/2006

From: ~~Seser Chavez 3358~~
Maria Inocencia Benitez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 215 Guerrero St Ap 3 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: ~~Maria Benitez~~

Signed: Maria Inocencia Benitez

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6-13-16

From: MARTHA GARRIDO

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3358 CESAR CHAVEZ adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: 

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6-15-16

From: Veronica

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1511 York St adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Veronica Mendoza

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6-15-16

From: Miriam Gonzalez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1511 York St S-F adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Miriam Gonzalez

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 15-6-16

From: Elizabeth Montiel

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3358 Cesar Chavez SF 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed:  _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6-15-16

From: Ana R MARTINEZ

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3380-21st #7 S.F 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6/15/16

From: Oralia Muñoz

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3265 26th Apt #13 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Oralia Muñoz

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6/15/16

From: 3358 Cesar Chavez
Mayra Alfaro

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at _____ adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Mayra Alfaro

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6-15-16

From: 3225 26ST APT 13
NOVIA CARRANZA

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at _____ adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 06/15/2016

From: Helen Martinez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3358 Cesar Chavez adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Helen M

Signed: Helen M

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6-15-16

From: Hilda Irma Casares

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3358 Cesar Chavez - 9410 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 06-15-2016

From: Alejandra

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3358 Cesar Chavez adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Alejandra

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6-15-10
From: Aida Andino

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3358 Cesar Chavez adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 06/15/16

From: Cecilia Lara

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3358 César Chávez adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Cecilia Lara

Signed: [Signature]

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 06/15/16

From: Marelia Balam

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1941 Mission St. 94103 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: MARELIA BALAM BM

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6/16/16

From: Gloria Ange

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1341 York St 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Gloria Ange

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 06/15/16

From: Elizabeth Salazar

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3358 Cesar Chavez adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 15/6/16

From: Caulota Abad, R

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3249 St. 23 APT 3 SANFCCA ⁹⁴¹¹⁰ adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Caulota Abad, R

Signed: CAR

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 5/15/16
From: Judit Desvallo

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3358 Cesar Chavez adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Judit Desvallo

Signed: Judit Desvallo

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 06/15/16

From: RAQUEL BOTELLO

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3358 CESAR CHAVEZ adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Raquel Botello

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 06/15/2016

From: Anacely Villalobos

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3358 Cesar Chavez St. 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Anacely Villalobos

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6/15/16

From: Yurisma Gonzalez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3235 26 th st #37 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Yurisma Gonzalez

Signed: 

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 15 Junio 2016

From: Esmeralda Cano

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 2688 Folsom St San Francisco adjacent to the above building of affordable housing. C.A. 94110

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Esmeralda Cano

Signed: Esmeralda Cano

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 06/15/16

From: Luz Barragán

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 989 Shotwell St. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 06/15/16

From: Evanonez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 738 Gates St SFO quad adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 06-15-16

From: Consoelo Barragan.

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 2735 Mission St Apt #4 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6-21-2016

From: MARIA RESINOS

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at MISSION adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Maria Resinos

Signed: Maria Resinos

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6-21-2016

From: ELENA RAYGOZA

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at MISSION adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Elena Raygoza

Signed: Elena Raygoza

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6-21-2016

From: ZOILA GARCIA

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at MISSION adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Zoila Garcia

Signed: Zoila Garcia

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6-21-16

From: Maria Navarro

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 197 Precita Ave 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Maria Navarro

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 2/6/16

From: Mercedes Ramirez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at MISSION adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Mercedes Ramirez

Signed: Mercedes Ramirez

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6-21-2016

From: MARY ALVAREZ

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 362 HANOVER STREET adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Mary Alvarez

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6/21/16

From: Adeleida Moreno

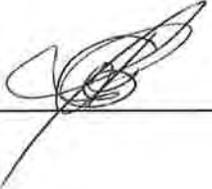
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 2901 Folsom St adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6/21/16

From: ANGELINA ROMERO

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 2960 22nd ST 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Angelina Romero

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6/21/14

From: Anna Miranda, Tatiana Mambel.
530 Potrero Ave Apt 201 S.F. CA 94110

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 530 Potrero Ave. Apt 201 S.F. CA 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Anna Miranda

Signed: Tatiana Mambel

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6/21/16

From: Concepción Paredes

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 200 Presidio 2 N apt 205 adjacent to the above building of affordable housing. Pittsburg CA 94565

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Paredes

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6/21/16

From: Silvia Angelica Lopez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1825 Mission ST adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Silvia A. Lopez

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: Jun. 22, 2016

From: Eugene Allen

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 658 Shotwell St. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Eugene Allen

Signed: Eugene Allen

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 06/21/16

From: PETER TELLERIA
2666 BRYANT ST
S.F., CA 94110

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 2666 BRYANT ST adjacent to the above building of affordable housing. S.F., CA 94110

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Peter Telleria

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 06/21/2016

From: Esperanza Salazar

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 148 Doucebonnie⁹⁴¹¹⁰ Apt #1 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Esperanza Salazar

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6/21/16

From: María Funes

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3172 Mission ST Apt 12 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: María Funes

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6/21/2016
From: Maia Ines Galán

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3168 Mission St #3.S.F. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Maia I. Galán

Signed: Maia I. Galán

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 06-21-16

From: Lilia Duro

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 670 Valencia St #B-105 Feo CA adjacent to the above building of affordable housing. 94110

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Lilia Duro

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6-21-16

From: Lucila Cortez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 20-DuBlen adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Lucila Cortez

Signed: Lucila Cortez

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6/21/2016

From: Mi/Arvo GRANADOS

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 9 CASTRO MANGY AVE APT 4 adjacent to the above building of affordable housing.
SAN FRANCISCO CA 94112

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6-21-16

From: Juan Luis Castro

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 869 ALABAMA ST adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6-21-16

From: Rina Gladys Alvarado

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at _____ adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6-21-16

From: Consuelo Urrutia

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 2264 Briom 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Consuelo URRUTIA

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6-21-16

From: Rosa Margulies

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1996 Chestnut adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Rosa Margulies

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 06/21/2016

From: Sandra Judith Flores Zelidon

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 90 Bartlett St #404 ^{San Francisco, CA 94110} adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Sandra J Flores Zelidon

Signed: Sandra J Flores Zelidon

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6/22/16

From: María A. Balmaçada

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3270 21st. St. # 302 adjacent to the above building of affordable housing. San Francisco, Ca. 94110

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: María Aux. Balmaçada

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6 21 2016

From: Rosa Mia

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 750 Grant Ave #2, SF, CA 94108 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Rosa Mia

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6-21-2016

From: Lilia Costa

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 605 Jones St 32 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Lilia Costa

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 06/27/2006

From: marita aguilera

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1330 San Valientes 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: marita aguilera

Signed: 

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 06-21-16

From: Stora M. Villalobos

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3173-23rd St #3 S#B 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Stora M. Villalobos

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6-21-2016
From: LUICONTRERAS

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 2155 MARIPOSA ST. 7045 FLO CO adjacent to the above building of affordable housing. 94110

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: José Contreras

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6/21/16

From: Leonor Mercedien

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 167 Bryan St. S. #9412 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Leonor Mercedien

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10-21-06

From: Margoth Dubon
195 Strangbrook Ave - 94112

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at _____ adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: MARGOTH DUBON

Signed: M Dubon

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6/21/16

From: Azucena Coronado
492 LISBON ST. SAN FCO
CA 94112

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at _____ adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Azucena Coronado

Signed: Azucena Coronado

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6/30/16

From: Frances Taylor
Fris Biblowitz

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 2982 26th Street adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Frances Taylor

Signed: Fris Biblowitz

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6-30-16
From: Kristen Panti

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 2682 Folsom adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Kristen Panti

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6/30/16
From: MICHAEL KOCH

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3219 23rd ST adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Michael Koch

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6/30/16

From: Thomas Ray

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 742 Treat Ave. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Thomas Ray

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 6/30/2016

From: Mahin H. Charles

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 577 Dolores St. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Mahin H. Charles

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7-6-2016

From: Silvestre Peraza

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 526 Ellis St 5A adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/6/2016

From: Michelle Huang

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 380 Berry St. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/6/16

From: Maria Cruz

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1319 Shafter Ave adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Maria Cruz

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 07/06/2014

From: Jubin Chen

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 247 Olier St adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/6/16

From: Cameron Holmgren

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at John O'Connell High School adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Car Hol

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/6/16

From: DENISE HADKINS

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 2998 25th St adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/6/14

From: Elena Anagn

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1050 Treat Ave adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: M Elena Anagn

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/6/16

From: Mariela Gallardo

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 945 Alabama Street adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Mariela Gallardo

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/7/16

From: Nyma Melgar

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3382 - 26th St adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/7/16

From: ARIEL ESQUEDA

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at Jamestown Community Center ^{3382 26th St} adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: 

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/7/2016

From: Nelly Sapinski

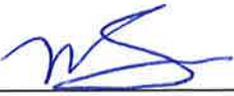
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3382 26th St. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: 

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: July 7, 2016
From: Jessica Linares

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3382 20th St adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Jessica Linares

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/7/16

From: Santiago Lopez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3382 26th St adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/7/16

From: Annie Jupiter-Jones
ISAAC ALCAUTER

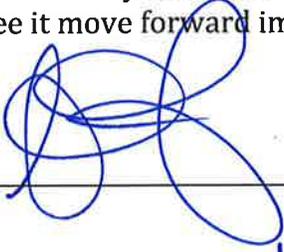
TO WHOM IT MAY CONCERN:

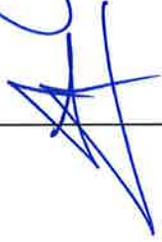
Re: Affordable housing at 1296 Shotwell St.

We are residents at 2166 22nd St SF CA 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed:  _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/7/16

From: PEDRO GOMEZ

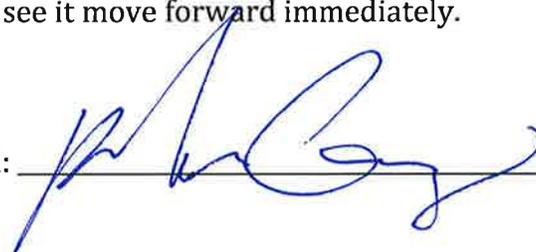
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 4203 SULLIVAN ST PA. 94306 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/7/2016

From: Galenda Navarro

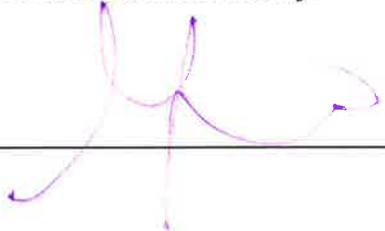
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 884 Alabama St. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/7/16

From: Manfred Chang

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 330 Berry st. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed:  _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/7/16

From: Fengming Li

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 330 Berry St adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/7/16

From: Shao Zhuan Huang

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 330 Berry St. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: SHAO ZHUAN HUANG

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: July 24, 2016

From: Melanie Garcia

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 2937 Harrison St SF CA 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Melanie Garcia

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 07-29-2016

From: Evelyn Gutierrez

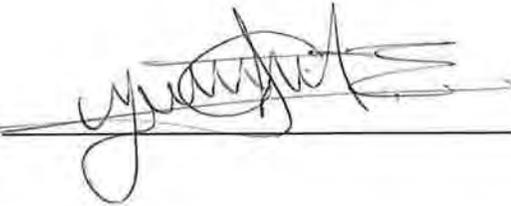
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 30 Lucky St San Fco. CA adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/29

From: Luis De Alba

TO WHOM IT MAY CONCERN:

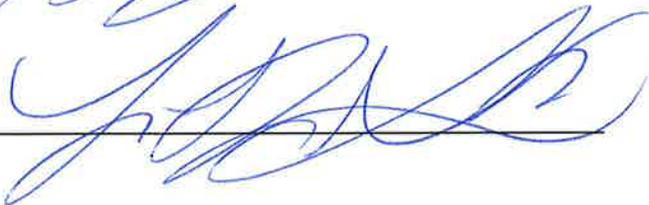
Re: Affordable housing at 1296 Shotwell St.

We are residents at MISSION ST. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: 

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/29/16

From: Tanya Reyes

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 900 Folsom St. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Tanya Reyes

Signed: Tanya Reyes

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/29/16

From: Theresa Sanchez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 66 Shotwell Street adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: July 29/2014

From: Mercedes Ramirez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at Leconte AV-1080 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/29/14
From: Cynthia Melgoza

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at MISSION DIST. SAN FRANCISCO adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Cynthia Melgoza

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7-29-16

From: _____

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 315 cap. 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/29/16

From: 1825 Mission St. 94103

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at Sibila Angelica Lopez adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Sibila A. Lopez

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/29/14

From: Elisa Catalan

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 2303 Ashglen Way San Jose CA 95133 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/29/16

From: ROSA PALAROX

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are ^{work} residents at 363 CAPP ST adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 29 Jan 2018

From: Pacific

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 285 Galesway Dr adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/29

From: Richardo Zapardiel

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1866 Donner Ave SF 94124 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7-29

From: Ana Bonilla

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1929 Pucita Ave S.F. Ca 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Ana Bonilla

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 31-7-16

From: Pedro Arturo Estrada S.
Macaria Estrada

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 346 Alemany Blvd. 94110 San Francisco adjacent to the above building of affordable housing.
CA.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: _____



Signed: _____

Tel. 415 933 1537
415 272 8277

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 07/31/16

From: José E Martínez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 2851 23ST 94110 adjacent to the above building of affordable housing. B. FCO. CD

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: 

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7-31-2016

From: Zoe Priola
COLIA PO

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at Iglesia SAN JOSE FORTO adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Zoe E Priola

Signed: Jane Pol

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 07/31/16

From: JUAN AGUILLO
MARIA AGUILLO

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3317 Mission St #102 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Juan J. Aguilón

Signed: maria J. Aguilón

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 07/31/16

From: Graciela Ramos

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at (go to St. Anthony Church)
1367 Gilman St. SF, CA adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Graciela Ramos

Signed: 7/31/2016

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 07-31-2016

From: Teresa Gutierrez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at San Antonio's adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Teresa Gutierrez

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 07-31/16

From: Glara Ines Paniagua

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

94130

We are residents at 1919 Mariner DR W E St CA adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Glara Ines Paniagua

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 07/31/16

From: Magdalena Cruz

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 945 ELLSWORTH ST - SF 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Magdalena Cruz

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 31/7/2016

From: Jose Enrique Pila E Julia Polo

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 415 St Apt 603. 903. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Jose Enrique Pila E.

Signed: Julia Polo

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8-31-2016

From: SAN FRANCISCO California

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at yes 546 Ellsworth St. 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Maria Teresa Lopez Rodriguez

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7-31-16
From: Jorge Raya
546 Ellsworth St. SAN.
FRANCISCO Ca. 94110

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at SAN FRANCISCO adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Jorge Raya

Signed: Jorge Raya

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 07/31/2016

From: Miriam Madrigal & Brenda Cordoba

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3235 26th St Apt #9 S.F CA adjacent to the above building of affordable housing. 94110

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Miriam Madrigal

Signed: Brenda Cordoba

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 07/31/16

From: 1040 BUSH ST APT 116
SFO Ca 94109

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1040 BUSH ST APT 116 SFO Ca 94109 - adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Maria Lopez R.

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: Julio 31, 2016
From: Jose A Martinez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1415 South Van Ness ^{ave Apto 3} adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: _____

Signed:  _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 07/31/16

From: MARIA LUISA SANDOVAL

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at San Antonia adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Maria J. Sandoval

Signed: Maria J. Sandoval

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/31/16

From: Maria Catalina Trujillo

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at KEITH 1400.A - S.F.C. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: 

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7-31-16

From: Nora Anquetas

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3722 Mission St. #2 S.F. adjacent to
the above building of affordable housing. 94110

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Nora Anquetas

Signed: Nora Anquetas

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7-31-2016

From: Rosa Lopez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at Iglesia San Antonio adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Rosa Lopez

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7-31-2016

From: Emma Beltran Castro

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 347 Precita ave adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Emma Beltran Castro

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7-31 2016

From: Maria Rodriguez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3009 mission Street 10P adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Maria Rodriguez

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7.31.16

From: Lorena Melgarejo

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 146 A Peralta Ave. adjacent to the above building of affordable housing. SF, CA 94110

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: [Signature]

Signed: 7.31.16

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/31/16

From: Adriana Moreno

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 449 Mariposa st Brisbane adjacent to
the above building of affordable housing. CA

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Adriana Moreno

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/31/2016

From: Justa R. Berrios Pleitez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 445 JOHN DALY BLVD
DALY CITY, CA 94014 adjacent to
the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Justa R. Berrios Pleitez

Signed: Justa R. Berrios Pleitez

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 07-31-16

From: maria Bustos Calero
2735 Mission apt 7 94110

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at San Antonio adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: maria Bustos Calero

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 02-31-2016

From: Maria A Bustos Calero
27-35 Mission St SF

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at San Antonio adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Maria Bustos Calero

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7-31-16

From: _____

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1015 shotwell st adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: maria montes

Signed: maria montes

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7-31-16

From: Carlos Valle

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 623 York San Francisco adjacent to the above building of affordable housing. CA 94110.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Carlos Valle

Signed: 

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7-31-16

From: Marta Gorcia.

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 623 YORK ST SAN FRANCISCO adjacent to
the above building of affordable housing. Ca. 94110.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Marta Elena Gorcia

Signed: Marta Elena Gorcia

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 07/31/2016

From: 2735 Mission St APT#7
San Francisco CA 94110 (628) 444-0514

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at San Antonio adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Erica Garcia Franco

Signed: ~~Erica Garcia Franco~~

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/31/2016
From: Rodrigo Bonilla
415-756-3616

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 35 Woodwear, SF, CA 94103 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/31/16

From: 217 Eddy St. Apt. 516
San Francisco Cal. 94102

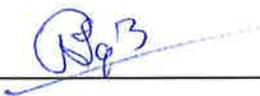
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at _____ adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: Prisciliano Rodriguez

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/31/2016
From: María Giron

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at SAN ANTONIO adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: María Giron

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7/31/16

From: Jose Antonio Dominguez Bercedo.

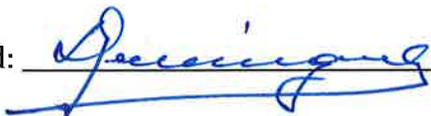
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 225 Berry St #606 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 07-30-2016

From: Doreen Francisco

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1491 Newcomb Ave. S.F. CA 94124 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Doreen Francisco

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 07.31.16

From: Sara Franco

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 149, NEWCOMB AV. SF CA adjacent to
the above building of affordable housing. 94124

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Sara Franco

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 07-30-16

From: CONCEPCION FRANCO

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1491 NEWBOMB AV-SF.ca adjacent to
the above building of affordable housing. 94124

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: _____

Signed: Concepcion Franco

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7-31-2016

From: Patricia De Mejia
72 - Kenton Ave.

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 72 Kenton Ave. 94132 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: _____

Signed: Patricia De Mejia

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 7-31-2016

From: Leticia Mendez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 90 Carmel av. Palo Alto, 94015 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: _____

Signed: L Mendez

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 31 JULY '16

From: ANGELO WONG

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at ST. ANTHONY'S PARISH adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 07-31-16

From: VILMA FRANCO

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1491 NEWCOMB AVE SF. CA adjacent to the above building of affordable housing. 94124

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: _____

Signed: Vilma Franco

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8-31-2016

From: María Reyes Lopez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 546 Ellsworth St. 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: María Reyes Lopez

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8-4-16

From: JAMES ALFARO

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are ~~business owners~~ ^{residents} at 1045 capp st adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: James Alfaro

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8-04-14

From: Luciana V. PEREZ

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are ^{residents} ~~business owners~~ at 1045 Capp St adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Luciana V. Perez

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8-4-16

From: GRACE TONG

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are ^{residents} ~~business owners~~ at 1045 Copp St. #304 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Grace Tong

Signed: GRACE TONG

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 08/04/16
From: Celia Rojas

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are ~~business owners~~ ^{residents} at 1045 Capp St # 401 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Celia Rojas

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8/4/16

From: DOYA CRANTES

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are ^{residents} ~~business owners~~ at 1045 CAPP. ST. APT 106 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8/4/16

From: Tomasa Artiga

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are ^{residents} ~~business owners~~ at 1045 Capp. St. Apt. 405 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Tomasa Artiga

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8-4-2011

From: FRANCISCA BORGES

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are Residing business owners at 1045 Capp St SF CA # 406 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Francisca Borges

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8/4/16

From: Jorge Alberto Palencia

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are ^{residents} ~~business owners~~ at 1045 Capp St #305 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Jorge A Palencia

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 08-04-2016

From: Rosa Mejia Escobar

TO WHOM IT MAY CONCERN:

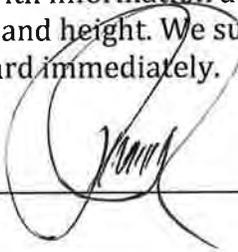
Re: Affordable housing at 1296 Shotwell St.

We are ~~business owners~~ ^{residents} at 34 Bishop St. SF. ca. 94134 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: _____



Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 9-03-16

From: LOURDES T. PEREZ

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are ~~business owners~~ ^{residents} at 1045 CAPP ST APT 302 404 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Lourdes T. Perez

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8-9-16

From: Isabel Yarin

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are ^{residents} ~~business owners~~ at 1045 Capp - apt 207 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: _____

Signed: Isabel Yarin

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8-4-2016

From: Belia Stulzes
1045 Capp St # 205

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are ^{residents} ~~business owners~~ at 1045 Capp # 205
adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Belia Stulzes

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8/4/16

From: Ema Gutierrez #105

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are ^{residents} ~~business owners~~ at 1045 Capjo-105 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Ema Gutierrez

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8-4-16

From: Adela Aliaga

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are ~~business owners~~ ^{Residing} at 1045 Capp St. SF CA #407 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: X Adela Aliaga

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 08-04-2016

From: Rosa Evila Aguilar

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are ^{Residing} ~~business owners~~ at 1045 Capp St. SF. Ca. 94110
adjacent to the above building of affordable housing. Apt. 301

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: R. E. Aguilar

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8-4-16

From: MARIA DELGADILLO

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are ~~business owners~~ ^{Residing/work} at 1045 CAPP ST SF CA adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: f Maria Delgado

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8-4-16

From: Emma Vasquez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are ^{residents} ~~business owners~~ at 11-1045 CAPP adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Emma Vasquez

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8 / 4th / 18

From: Carol Schillinger

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are ~~business owners~~ ^{residents} at Abel Gonzalez Apts 1045 Capp St. San Francisco Ca. 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Carol Schillinger

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8-2-16

From: MARINA SANCHEZ

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 286 Valencia #10 SFeA adjacent to 94103 the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Marina Sanchez

Signed: MARINA SANCHEZ

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 08-09-2016

From: CONSUELO M. VALDES-ALONSO
225 Berry St. #421, S.F. 94158

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

We are the residents at 225 Berry St #421 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see the project moving forward immediately.

Signed: Consuelo M. Valdes-Alonso

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8-10-16

From: Paul Tennant
1045 York St
S.F. CA. 94110

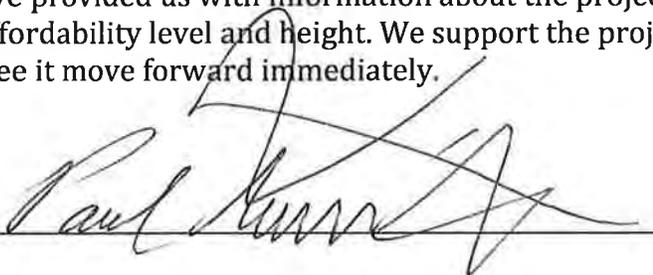
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1045 York St adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8/10/16

From: _____

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3425 23rd St, S.F., CA adjacent to
the above building of affordable housing. 94110

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Sharon York

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8/11/2016

From: Dolly Sithoungolath
Sengthong Sithoungolath

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3640 18th St SE, CA 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: [Signature]

Signed: [Signature]

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8/11/2016

From: John Ball
10 Lundy St, 94110

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at _____ adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: John Ball

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8-11-16

From: Ofelia Bobadelli
3101 21st St SF Ca 94112

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are business owners at _____ adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. Most of the displaced residents have been our clients for many years. As business owners, we are also experiencing rising rents, and we have witnessed the displacement of many businesses that have served this community for years.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: _____

Signed: Ofelia Bobadelli

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8/23/16

From: Buck Biegel
3265 Harrison

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3265 Harrison St ^{near} ~~adjacent to~~
the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Buck Biegel

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8/23/2016

From: Rami H. Bargawi

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 2869 Harrison St., SF, CA 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Rami H. Bargawi

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8/23/16

From: Barbara Bagot-Lopez
Adela Bagot-Lopez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1500 BLOCK OF TRENT ^{NOT FAR FROM} adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: [Signature]

Signed: [Signature]

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8.23.2016

From: Mary Telling

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 386 Richland Ave. Apt. A. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Mary Telling

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 08-29-16 Dorilo Pereira
From: 1116 Potrero Av.

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at San Antonio adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Daida Pereira

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8-29-2016

From: Judith E. Presley
83 Bemis St.
S.F. 94131

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at _____ adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Judith E. Presley

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8/29

From: Chelsea Bailard
137 Anderson Street, SF CA 94110

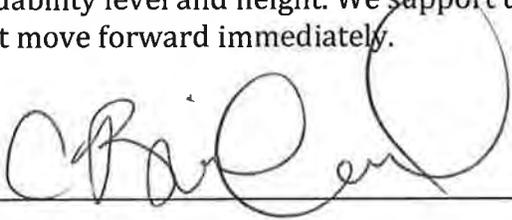
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 137 Anderson St. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8/29/16

From: CORNELIUS MOORE

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 82 MONTEZUMA ST adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Cornelius Moore

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8/29/16

From: Giuliana Milanese Sorio

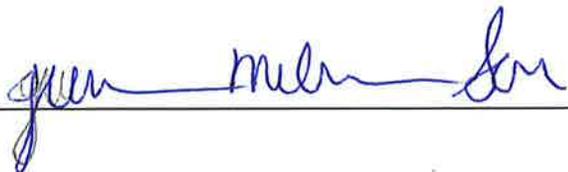
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 137 Anderson Bernal Heights adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: AUG 29, 2016

From: JANE WATTENBERG

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at NORTH Slope Bernal ~~adjacent to~~ ^{NEAR} the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: JANE WATTENBERG

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8/29/16

From: JOYCE OHGI
255 PRECITA AVE
SF, CA 94110

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 255 Precita Ave. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Joyce Ohgi

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 18-29-2016

From: Olinda Orellana
1455 So. Vermont #A5 Feb CA 94110

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at San Antonio adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Olinda Orellana

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 08-29-16 Copp St
From: Deisy Carney

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at San Antonio adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Deisy Carney

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 8/31/16

From: Carl W. Boilard
Susan Speyer-Boilard

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1837 Alabama Street in Bernal Heights and we have serious concerns about the lack of affordable housing for all groups. We attended the community meeting at Precita Eyes and we were very appreciative of the thorough presentation and the fair process for hearing all voices.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Carl W. Boilard

Signed: Susan Speyer-Boilard

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 9/7/2016

From: _____

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1188 SCOTT ST. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: _____


Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 09/08/16

From: ROSA ALFARO

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at _____ adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Rosa

Signed: alfaro

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 9/8/16

From: Samuel Guia

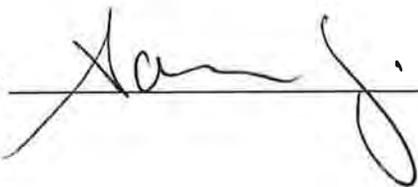
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3311 Mission St # 33 SF adjacent to
the above building of affordable housing. CA 94110

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 9/7/2016.

From: Gisela Venoga

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at Robert Pitts Apartments adjacent to the above building of affordable housing. 1188 Scott St.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 9-8-16

From: ERWIN JUNGMAN

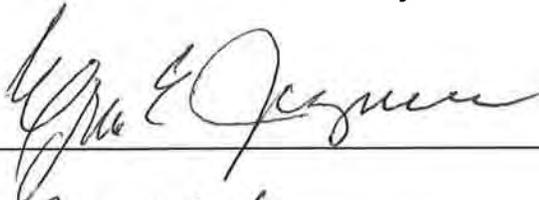
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1009 VALENCIA ST adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: 

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 09/08/16

From: LOUIS RILIO

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at _____ adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Louis

Signed: Louis Rilio

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 09-08-2016

From: MARTHA GRUBER

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 164 FARRAGUT AV adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Martha L. Gruber

Signed: [Signature]

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 09/08/16

From: RUBEN PEREZ

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at _____ adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Ruben o Perez

Signed: R P

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 09/08/16

From: RON RAMOS

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at _____ adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Ron Ramos.

Signed: Ron Ramos.

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 09-08-16

From: MILAGROS CASTAÑEDA
3235 26th St Apt 40 SF CA 94110

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at ^{3235 26th St Apt 40} Milagros Castañeda adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: _____



Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 9-12-16

From: Gerardo Hernandez

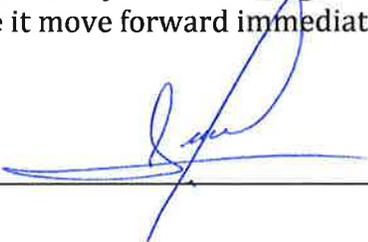
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 100 Font Blvd Apt 4-S. San Francisco adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 09/12/16

From: Eduardo Antonio

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 240 Shotwell st. S.F. CA 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Eduardo Antonio

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 09/12

From: Daniel F. DA SILVA C.

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 2524 Lombard St. San Francisco CA 94123 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 9/13/2016

From: Tom Temprano

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1465 South Van Ness Avenue adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 9/23/16

From: Evelin Alfaro

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at Brazil y Paris St. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/01/16
From: Carlos Gutierrez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1099 S. Vanness #A adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Carlos Gutierrez

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10-1-16

From: Elvira Suizo

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1068 South Van Ness #1 S.F. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/1/16

From: Calderon-Asquiel

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 653 Shotwell St adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/1/2016

From: Swami Espinoza

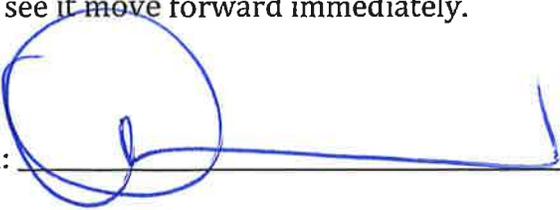
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3192 24th St #7 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/1/2016

From: DHEYANIRA CALAHORRANS

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3101 21 Street Apt 301 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/1/14

From: Jodi Ramos - Austria
Mark Austria

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 51 Ridgewood Ave adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed:  _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10-1-16

From: Ana B. Gutierrez
addsentit@yahoo.com

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 29 Grove St #154 SF CA 94102 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/2/16

From: _____

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at Mission St. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Azucena

Signed: Azucena

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/1/2016

From: Michelle Loya Talamantes

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1022 Shotwell adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/1/2016

From: 117 Ripley St SF CA.
Victor Carrillo

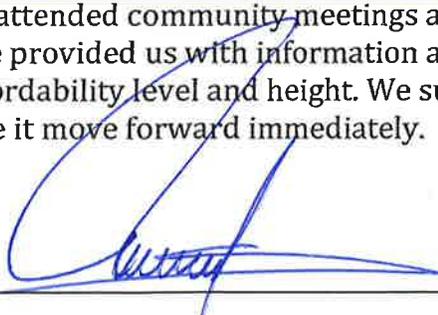
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 117 Ripley St SF CA 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/1/2016

From: Ligia I. Montano

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 2718 San Bruno Ave #2 SF CA 94134 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Ligia I. Montano

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/01/2014

From: Elsa Chavarria

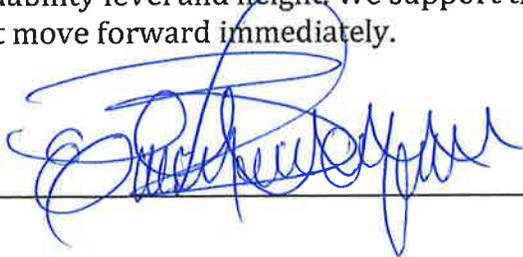
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 2612 Folsom St #2 SF CA 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10-1-16

From: Maria L. Solerzano

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1050 Treat Ave adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Maria L. Solerzano

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/01/16

From: Rafaela Conelo

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1459 So. VANNESS AVE 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Rafaela Conelo

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/01/16

From: Milana Romero

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1851 8th AVE adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Milana Romero

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/01/16

From: Laura Daza
1351 46th Ave
SF CA 94122

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at Sunset B adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Laura E Daza - Housing Case Manager.

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 2016-10-01

From: Chris Bradley

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 159 Tiffany Ave ^{a couple blocks from} adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Chris Bradley

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/5/16

From: Anabelle Bolanos

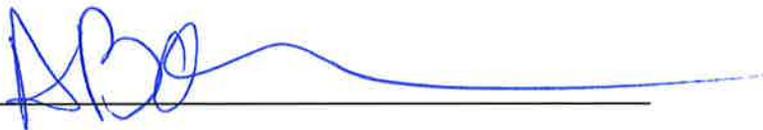
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1446 So. Van Ness Ave adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10-12-16

From: Luz Sampedro

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 649 Banks St SE 099410 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  Luz Sampedro

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10-12-16

From: Maria Luna

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 676 Geary St #410 adjacent to the above building of affordable housing. San Francisco CA 94102

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Maria Luna

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10-12-16

From: 1048 Connecticut St
San Francisco CA 94107

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1048 Connecticut St adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Miriam Guillen

Signed: _____

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10-12-16

From: Nely Tivea Santa
2262 Mission St 4 AP

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

We are the residents at 2262 Mission St 4 AP adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see the project moving forward immediately.

Signed: Nely Santa

Signed: _____

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 12-16

From: M. Lorena Gallardo

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

We are the residents at 86 California Ave. S.F. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see the project moving forward immediately.

Signed: M. Lorena Gallardo

Signed: M. Lorena Gallardo

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/12/16

From: Luz Maribel Manzanaves

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 867 Capp St SF CA adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: _____



Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10-17-2016
From: Mariac Mercado

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at #50 Seville St - S.F. CA - 94112 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Mariac Mercado

Signed: _____

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10-12-16

From: Adriana Ebra

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

We are the residents at 34 Hawkinsly St adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see the project moving forward immediately.

Signed: Adriana Ebra

Signed: Adriana Ebra

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/12/16

From: Cecilia Aguirre

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

We are the residents at 1250 Geneva Ave #2
San Francisco adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see the project moving forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10-12-16

From: Bertha Villalobos
1794 Newcomb Ave

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

We are the residents at 1794 Newcomb Ave adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see the project moving forward immediately.

Signed: Bertha Villalobos

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10-12-2016

From: Irma Lopez
1910 Folsom St SF 94103

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at Irma Lopez adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Irma Lopez

Signed: Irma Lopez

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/4/16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Corazon Seano who lives at 36 Broderick support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: Corazon G. Seano

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10-14-16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, REINALDA REYES who lives at 373 Adams St SFCA
support the 1296 Shotwell Senior housing development. 94112

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: Reinalda Reyes

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/14/16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Jeanne Walker who lives at 76 Lyell Street support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: Jeanne L. Walker

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10-14-16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Lucinda Puicón who lives at 225 30th S.F. CA. support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: Lucinda Puicón

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/14/02

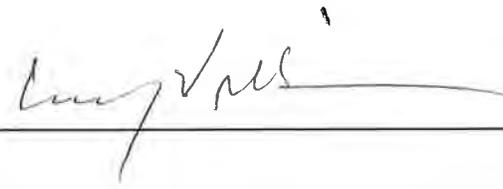
TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, LARRY VILLONAVE who lives at 69 SANTA ROSA SE CA 94112 support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: 

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10-14-06

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Pedro Angeles who lives at 133 - Crocker - Av support the 1296 Shotwell Senior housing development. Daly City S.F.C.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: Pedro Angeles

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10-16-16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Guiller Silva who lives at 921 Hampshire St support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: Guiller Silva

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10-14-16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, ROSA ZARATE who lives at 225-30TH ST. SAN FRANCISCO
support the 1296 Shotwell Senior housing development. CA.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: x ROSA Zarate t

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/14/16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Aura A. Arriola who lives at 225 30th St SF support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: Aura A Arriola

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/14/16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, DORA GARCIA who lives at 3235 26th Apt 11 support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: DORA GARCIA

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10-14-16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Olympia Medun who lives at 126 - Piedmont Ave support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: _____



Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10-14-16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

225 30th St. San Francisco

I, Thelma Monte PAB who lives at San Francisco support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: 

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/14/16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, María Juárez who lives at 225 30th ST CA support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: María Juárez

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10-14-16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, CERIA VILLAGRAN who lives at 413 HOWARD AVE support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: _____



Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 11-14-16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Federico Menendez who lives at 105 Busworth St 94112 support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: F. Menendez

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/14/16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Maria Ana Garcia who lives at 850 Broderick St S^{an} Francisco
support the 1296 Shotwell Senior housing development. C.A. 94115

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: Maria Ana Garcia De Lopez

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/14/16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Petra Villanueva who lives at 66 N.T. Vernon support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: Petra Villanueva

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10-14-16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Cecilia Melendez who lives at 1326 Alabama ST support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: Cecilia Melendez

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/20/16
From: Kellyn Dong
~~262 10th Ave~~ 94118

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 262 10th Ave 94118 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Kellyn M Dong

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/20/16.

From: Carla Martinez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1022 Ingersoll Av. S.F. - CA 94124 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/20/16

From: Nohermi López

TO WHOM IT MAY CONCERN:

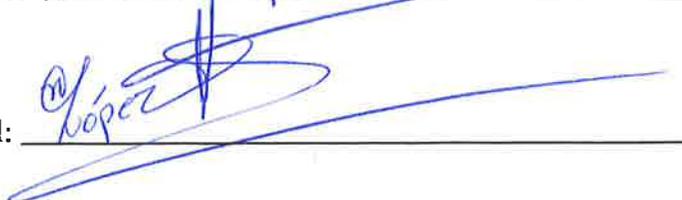
Re: Affordable housing at 1296 Shotwell St.

We are residents at 2106 Edson St Apt 9 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Nohermi López

Signed: 

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10-20-2014

From: Janina Orozco

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 346 Woodsey St. SF. CA 94134 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/20/16

From: Isabel Gtz.

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 772 Anderson st. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Isabel Gtz.

Signed: I-G.

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 08.20.2016

From: Enriqueta Valle

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 2576 Bryant St #A San Fco. CA adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Enriqueta Valle

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: Oct-20-2016

From: Ana De los Santos

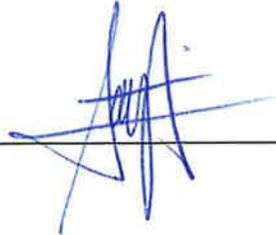
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 106 Parnassus Av #1 SF. CA. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/20/2016

From: Sandra Martinez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1112 D Hutchins Ct adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/20/16

From: Leo Mares

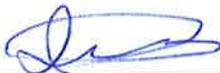
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3000 San Jose Ave adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10-20-2016

From: Martina Ramos

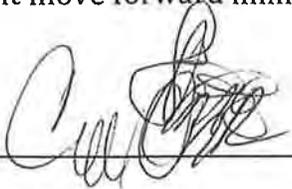
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 70 Farragut Ave. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10-21-2016

From: Blanca M Ramos

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3101 Mission St # 304 S.F. CA 94118 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Blanca M Ramos

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/21/16

From: Julio Avaredo

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3303 Cesar Chavez St adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/22/16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Esther Brambila who lives at 1618 100 Ave OAKland CA support the 1296 Shotwell Senior housing development. 94621

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: Esther Brambila

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10-22-16

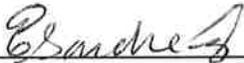
TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Ethelonica Sanchez who lives at 3543 18th St. SF. CA. 94110 support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: 

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10-22-16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Viviana Mejia who lives at 3484 Mission St Apt 213
support the 1296 Shotwell Senior housing development. SF CA 94110

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: 

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10-22-16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Rosario Navarrete who lives at 1014 Hollister Ave ~~San Francisco~~
support the 1296 Shotwell Senior housing development. SAN FRANCISCO

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: 

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/22/16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Ali Lee who lives at 241^{21st} Ave support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: 

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/22/16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Edith Cabrera who lives at 128 Shiplen Ave. Daly City 94015 support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed:  _____

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/22/16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Juana L. Chavero who lives at 665 Eddy St #46 SF CA support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: Juana L. Chavero

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: B. Aguirre

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Concepcion Aguirre who lives at 2027 Mission St support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: B. Aguirre

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10-22-16

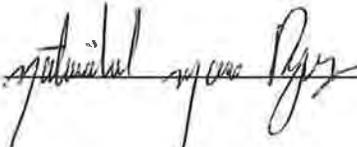
TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Natvudad Moreno Riquelme who lives at Shelter
support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: 

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/22/16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Farina Martinez who lives at 3543 18th Street San Francisco support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: 

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/22/16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Gloria Cortes who lives at 2235 3rd Street. SF. CA. 94107 support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: 

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/22/16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Maria Tirado who lives at 146 McCallister St #307 support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: Maria Tirado

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10.22.16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Olga Roman who lives at 3rd Bayview 72 Mont Lark support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: Olga Roman

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/22/2016

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Edith Aguilar who lives at 2874 24th support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: EA

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/22/14

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Sandra Cervantes ^{Nez} who lives at San Francisco 3543 18th St C support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: _____



Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/22/16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Sylvia Lopez who lives at 3543 18th St. SF support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: Sylvia Lopez

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/22/2016

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, MARTHA SAMM who lives at 3543 CALLE 18 SA FEO. CA 94110 support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: _____



Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/22/16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Angelica R. who lives at 3545 18th street support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: _____



Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10-22-16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Paula Santord who lives at San Francisco 3543 18th support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

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Signed: 

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10-22-16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, MARIA HUERTA who lives at 3543-18th Street S.F. support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: 

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/22/16

TO WHOM IT MAY CONCERN:

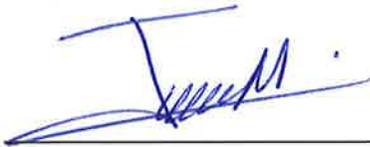
Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Jenny Barragan, who lives at 67 WOODWARD S.T. S.F. Cal.
support the 1296 Shotwell Senior housing development. 94103.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: _____



Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/22/2014

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Maria Costanón who lives at 1081 Leconte Ave #37A support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: 

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10-22-16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Maria del Carmen Hernandez who lives at 760 Geary St apt 307 support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: 

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 22/10/16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Maria DeSiquez, who lives at 3543 15th, support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: M^{rs} Gadge MS.

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/22/16

From: Iris Ramos

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3101 Mission St adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: I. Ramos

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/23/16

From: Martha Guardado

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3101 Mission St, SF CA adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/23/16

From: Eva Hannon

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 477 London ST adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/23/16

From: Hernaldo Argüello

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1234 Shafter Ave adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Hernaldo Argüello

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10-24-16

From: PAULA LEVERMAN

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 56 Florence St. CA 94124 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Paula Leverman

Signed: _____

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/24/16

From: Amalia Andrade

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

We are the residents at 1950 Mission Street adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see the project moving forward immediately.

Signed: Amalia Andrade

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10-25-16

From: MARINA LEPE

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 349 SOUTH VANNESS adjacent to the above building of affordable housing. AU. # 2 San Francisco Ca - 94103

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Marina Lepe

Signed: _____

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/27/16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Juana who lives at 2250 Mission St #305 support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: Juana Corona

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/28/16

From: A#U Luatupu

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 51 seville st. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: 

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10.28.16

From: ARIA WALSH

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 9 ARDATH CT. SF. CA 94124 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10-28-16

From: Chris Lee

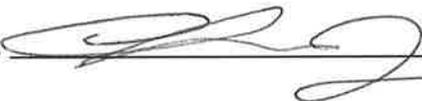
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 2440 Market St. adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 10/28/16

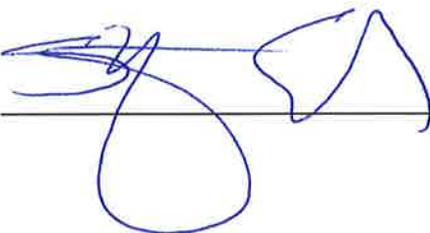
TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Stefanie Eldred who lives at 356 Winfield St., SF, CA support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed:  _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/28/10

From: Marijose Trejos

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3173 26th street adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Marijose Trejos

Signed: _____

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 29/10/2016

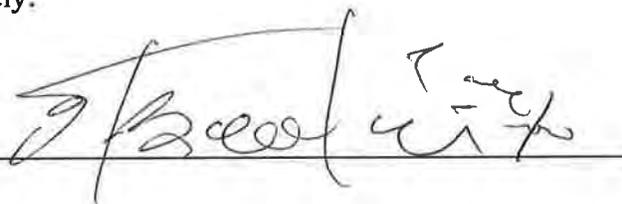
TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, Alfonso Benitez who lives at 1140 Holloway Ave Se CA
support the 1296 Shotwell Senior housing development. 074132-

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: 

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/29/16

From: Isabel González
Leopoldo López

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 1941 #61 mission st. SF. ca. 94103 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: Leopoldo López

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10-29-16

From: Xiomara Lopez
Edgar Isara

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 2735 Mission St SF CA 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: [Signature]

Signed: Edgar Isara

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10-29-2016

From: Noe Rodriguez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 2061 Mission St 24 SF CA 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Noe Rodriguez

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/3/16

From (Name): Jonathan Moralez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3235 26th St S.F CA 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/03/16

From (Name): ANA LUWA

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3265 26th Apt 1 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Ana Chua

Signed: _____



Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/03/16

From (Name): VIVIAN DEI LEON

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3265 26th Apt 1 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/3/16

From (Name): WILLY SANCHEZ

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3225 26 ST APT 23 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Felix Sanchez

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11-03-2016

From (Name): Sergio Cobillo

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3225 26TH ST #21 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Sergio Cobillo

Signed: Sergio A Cobillo T.

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/03/2016

From (Name): Veronica Belgado

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3225 26th St #21 SF CA 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/03/16

From (Name): Eliza Garcia

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3251 26 ST. #10 S.F. CA 94114 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11-03-16

From (Name): Joel Martinez

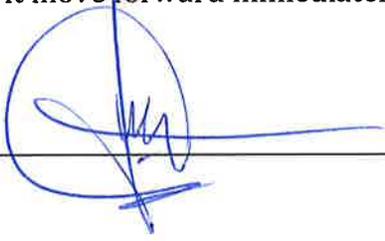
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3225 28th St. 3651. 04110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/03/16

From (Name): Luis Fuentes
Isabel Fuentes

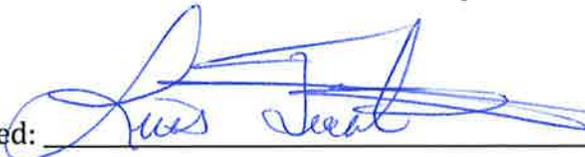
TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3065 26th St, SE, CA 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: Isabel Fuentes

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/03/16

From (Name): Maria D

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3223 26 TH ST APT # 94110 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Maria E Diaz

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: NOV 3, 2016

From (Name): [Signature] OS [Signature]

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3225 # 14 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: [Signature]

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/03/16

From (Name): Lidia Arredondo

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3225 26th APT 34 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Lidia Arredondo

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/3/16

From (Name): Ana Torres

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3225 26th St Apt # 9 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: 

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 10/3/16

From (Name): Carmen Binichano

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3225 26th st apt 15 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/03/16

From (Name): Ernesto Huerta

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3265 26th APT: 11 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/3/14

From (Name): Maria Ordonez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3299 Shotwell St Apt #10 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 11-03-16

From: Mario Garcia

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

We are the residents at 3275. Apt # 24 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see the project moving forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 11/5/2016

From: Jorge Magana

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

We are the residents at 3035 26th St Apt-2A adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see the project moving forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 11/03/16

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

I, BRENDA ORTEGA who lives at 3235 26th Apt 32 support the 1296 Shotwell Senior housing development.

Over the past several years I have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

I have attended a community meeting and met with the development team and they have provided me with information about the project regarding the total number of units (94 units), who will be able to live there, the affordability level, the services would be provide in-site for the residents and the height of 9 stories building. I support the project in its entirety and would like to see the project moving forward immediately.

Signed: Brenda Ortega

Letter of Support for the 100% Affordable Housing for Seniors at 1296 Shotwell Street in the Mission District

Date: 11/03/16

From: Gabriel Hernandez

TO WHOM IT MAY CONCERN:

Re: 100% affordable housing for Seniors at 1296 Shotwell Street

We are the residents at 7235 4th adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see the project moving forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/3/16

From: Susana Serrano

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3235 26st. apt. #23 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Susana Serrano

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/03/16

From: Nektali Martin

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at ³⁹³⁵ AP #4 267 Folsom adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: 

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11-3-16

From: Claudia Ortiz

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3265 26th St #20 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Claudia Mina

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/3/16

From: Sonia Portillo
Sarai Gonzalez

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3225 26th # 16 S.F. Ca adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Javier Ruiz

Signed: Sarai Gonzalez

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/3/18
From: Rafael Covich

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3235 26th st Apt 30 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 3-17-16

From: FERNANDO MARTINEZ

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 3235 26 ST, APT. 27 adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11/3/16

From (Name): Amy Hutzel

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 135 Elsie St, SF adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed:  _____

Signed: _____

Letter of Support for the 100% Senior Affordable Housing at 1296 Shotwell Street in the Mission District

Date: 11-7-2016

From (Name): Japa Rivera

TO WHOM IT MAY CONCERN:

Re: Affordable housing at 1296 Shotwell St.

We are residents at 24 POWERS #B adjacent to the above building of affordable housing.

Over the past several years we have witnessed the displacement of seniors, working-class residents, and entire families due to gentrification and lack of affordable housing in the Mission District. This project is a way to stem that process, and protect the Mission's tight-knit community and vulnerable residents.

We have attended community meetings and met with the development team, and they have provided us with information about the project regarding number of units, affordability level and height. We support the project in its entirety and would like to see it move forward immediately.

Signed: Japa Rivera

Signed: _____

Calle 24 Latino Cultural District Letter of Support



LATINO CULTURAL DISTRICT

To preserve, enhance and advocate for Latino cultural continuity, vitality, and community in San Francisco's touchstone Latino Cultural District and the greater Mission community.

July 24, 2016

Re: Support Letter for 1296 Shotwell Senior Housing

To who it may concern:

This letter is in support of the senior housing development at 1296 Shotwell St. We have met with the development team to discuss the development and design details. We understand the design continues to evolve with community outreach and participation. This project is much needed affordable housing for seniors. The Mission District has been ground zero for displacement and gentrification. This will bring much needed housing for our seniors who are among our most vulnerable.

This housing meets our Mission and Vision for the Latino Cultural District and is vital to its success.

If there are any questions, please feel free to contact me at Erick@calle24sf.org or my cell 415-323-8939.

Sincerely

Erick Arguello

Co-founder, President

www.calle24sf.org

169 Online Petitions Signatures To Date

Online Petition Signatures in Support of 1296 Shotwell Senior Affordable Housing

First Name	Last Name	Email Address	Street Address	Date Signed
1 Gail	Abrams	Sgabrums@pacbell.net	2976 26th Street	11/1/16 17:03
2 Lloyd	Affholter	lafhol@hotmail.com	McCoppin St.	10/26/16 20:15
3 Naveen	Agrawal	theskinnyindian@gmail.com	3435 24th St	10/21/16 11:12
4 Jawana	Aguire	Nicoleharrison89@gmail.com	O Farrell ST	10/25/16 12:09
5 Joel	Ajin	brother1821@gmail.com	country club drive	10/26/16 17:24
6 Ninotchka	Alegre	Alegre.ninotchka@gmail.com	227 11th Ave	10/26/16 5:14
7 Ciró	Andrade	andradeciro10@gmail.com	2005 mission st sf ca 94110	10/25/16 19:11
8 Lucy	Arellano	lucitaarellano@gmail.com		11/2/16 10:14
9 Erick	Arguello	eriq94110@aol.com	1065 Hampshire St.	10/31/16 22:02
10 YakuH	askew	yakuH@yahoo.com	2807 22nd Street	10/27/16 12:11
11 Ana	Avilez	aavilez@medasf.org	1024 Potrero ave, 3	10/25/16 9:23
12 Kimberly	Ayala	kayala@medasf.org		10/27/16 8:36
13 Mark	Baldwin	sachem13@sbcglobal.net	3825 High Street, #202	10/27/16 14:49
14 Jackie	Barshak	jbarshak@hotmail.com	2067 10th avenue, San Francisco, CA 94116	10/31/16 14:58
15 Amy	Beinart	amyb.sf@sbcglobal.net	407 Gates Street	10/28/16 9:37
16 Oscar	Benitez	O_A_Benitez@yahoo.com		11/3/16 0:17
17 Chirag	Bhakta	peacestartswithin@gmail.com	BRYANT ST	10/31/16 11:52
18 Micol	Biagioni	micolbiagioni@gmail.com	1420 Turk St	11/8/16 9:49
19 Jesse	Bie	Steamroller69@hotmail.com	3745 17th St	11/9/16 8:18
20 Thomas	bockmon	jackstraw@gmail.com	1081 Capp Street	10/29/16 12:57
21 Morgan	Buras-Finlay	mfinlay@medasf.org	324 Utah Street	10/26/16 12:50
22 Eduardo	Cabrera	ed.r.cabrera@gmail.com	45 Gambier Street	11/1/16 13:07
23 Carmen	Castillo	carmen19056@yahoo.com	Dolores Street	11/1/16 19:05
24 Juan Diego	Castro	jdcastro@medasf.org	2301 Mission Street	10/27/16 12:13
25 Anna	Cepeda	annapepeda88@gmail.com	112 apollo st	10/25/16 9:41
26 Pauline	Chan	pauline.chan@chinatowncdc.org		10/27/16 14:38
27 Genise	Choy	genise.choy@gmail.com		11/8/16 9:45
28 Michelle	Chung	mpchung@ucla.edu	3609 Keystone Avenue #4	10/25/16 11:30
29 Susan	Cieutat	susan@sfdonors.com	531 Grove St., San Francisco, 94102	10/31/16 12:22
30 Janet	Clyde	janet.clyde@gmail.com	Bryant St	11/2/16 15:52
31 Jocelyn	Colin	Jocelynvaneessacolin@gmail.com	2261 Mission St Apt 8	10/25/16 20:19
32 Alycia	Colvin	acolvin896@gmail.com	6809 New Melones Circle	10/25/16 13:23
33 Janna	Cordeiro	janna.cordeiro@mac.com	501 Andover Street, 94110	10/28/16 11:09
34 Mollie	Crittenden	molliecrittenden@sfuhs.org	Roberts	11/4/16 10:45
35 Yolanda	Davila	Yolanda.davila@bbva.com		10/26/16 21:21
36 Flora	Davis	floradavis@me.com	5020 California Street apt 6	10/31/16 15:53
37 Maritza	De lopez	Maritza.Delopez@yahoo.Com	CAPP	10/25/16 11:14
38 Elizabeth	De Young	Coriacci@sbcglobal.net		10/31/16 12:40
39 Brittany	Dhawan	Henderson.brittany@gmail.com	2514 62nd Ave, Oakland, CA 94605	10/25/16 14:02
40 Shannon	Dodge	mizshan@yahoo.com		10/25/16 14:11
41 Kellyn	Dong	kellynd12@gmail.com		10/31/16 11:32
42 Julia	Dunn	Julesdunn@aol.com	240 Hyde Street	11/1/16 20:38

Online Petition Signatures in Support of 1296 Shotwell Senior Affordable Housing

First Name	Last Name	Email Address	Street Address	Date Signed
43 Manon	Eylenbosch	manoneylenbosch@hotmail.com	580 Mcallister street	10/27/16 12:17
44 Don	Falk	dfalk@tndc.org	201 Eddy Street	10/29/16 17:36
45 Karoleen	Feng	kfeng@medasf.org	280 Lexington Street	10/25/16 11:07
46 Michael	Fernandez	sfmike25@sbcglobal.net		11/1/16 21:02
47 Mark	Ferrer	MK_ferrer@yahoo.com		10/25/16 21:24
48 Diana R.	Flores	diana@cjc.org		10/26/16 15:51
49 Kitty	Fong	kittyfong723@yahoo.com		10/31/16 13:25
50 Michelle	Foy	mich8423@fastmail.fm	3868 23rd St., San Francisco, CA 94114	11/4/16 11:02
51 Erika	Gee	erika_gee@hotmail.com		10/27/16 15:43
52 Rick	Gerharter	rgerharter@igc.org	2940 16th Street	10/31/16 13:15
53 Christopher	Gil	cgil@medasf.org		10/25/16 11:55
54 Grace	Gin	ggin@chinatowncdc.org		10/27/16 17:34
55 Brian	Glassanos	brglassan@gmail.com	551 Fort Laramie Drive	10/25/16 13:56
56 Pedro	gomez	pedro@locobloco.org		11/2/16 13:28
57 Oscar	Grande	ogrande@podersf.org	474 Valencia St. #125	11/3/16 15:47
58 Nato	Green	natocomic@gmail.com	Winfield St	10/29/16 12:55
59 Samuel	Guia	guia.samuel@gmail.com	3311 Mission St #25 San Francisco CA 94110	11/1/16 19:38
60 Roger	Gula	rogerg@mithun.com	19th Avenue	10/28/16 9:37
61 Venex	Guz	venex_93@hotmail.com	Sanchez	10/31/16 16:20
62 Travis	Harris	Travisrharris@gmail.com	post	11/2/16 21:52
63 Roberto	Hernandez	latinzoneprod@aol.com	1333 Florida street	10/31/16 12:21
64 Eva	hernandez	evahernandez71eh@gmail.com		10/26/16 20:18
65 Olivia	Herrera	oliviah313@gmail.com	595A Dolores Street	10/31/16 14:53
66 Erika	Hidalgo	hp1fan93@yahoo.com		11/3/16 22:53
67 Judy	Janec	janec@gmail.com		10/28/16 15:44
68 Ryan	Jang	jang.ryan@gmail.com	Gates & Cortland	10/27/16 12:24
69 Mark	Janzer	mark.janzer@gmail.com	5th St	10/26/16 22:41
70 Linda	Kahn	spikekahn@gmail.com	720 York, #107	10/31/16 11:54
71 Jennifer	Keese-Powell	jkeese_powell@yahoo.com	32 Aztec Street	11/9/16 22:59
72 Gabrielle	Klick	gbmk@capgroup.cpm		10/25/16 12:02
73 Elle	Ko	bb@elleko.net		10/26/16 19:39
74 Susan	Kuehn	smkuehn@earthlink.net		11/9/16 9:01
75 Joanna	Ladd	ladd.joanna@gmail.com		10/25/16 11:55
76 David	Lam	dave_0104@yahoo.com		10/25/16 13:57
77 Tony	Lam	Tony.Lam@chinatowncdc.org		10/25/16 11:33
78 aura	lane	auralane@gmail.com	234 hyde sf,ca 9102	11/9/16 16:15
79 Kevin	Lau	puns210@hotmail.com		10/29/16 17:09
80 Megan	Laurance	megelaur@gmail.com	1367 South Van Ness Ave.	10/25/16 20:02
81 Gordon	Leung	gleung@chinatowncdc.org		10/27/16 15:52
82 Sasha	Levine	sasha@7tepees.org		10/26/16 12:26
83 Matthew	Lew	matthew_lew@yahoo.com		10/27/16 14:39
84 Tony	Li	sentry-sentry@sbcglobal.net		10/31/16 14:02

Online Petition Signatures in Support of 1296 Shotwell Senior Affordable Housing

First Name	Last Name	Email Address	Street Address	Date Signed
85 Serena	Li	serena.twentysix@gmail.com		10/25/16 9:02
86 Itien	Liang	itien.liang@gmail.com		10/30/16 20:12
87 Jerry	Lints	j.lints58@yahoo.com	4550 California St. Apt.#1	10/27/16 1:10
88 salvador	lopez	panditass428@hotmail.com	1664 kirkwood ave apart.b	10/29/16 19:23
89 Arnulfo	Lopez	arnulfoeaglewolf@yahoo.com	782 Treat Ave	10/26/16 20:52
90 Melany	Luu	Meluhneyy@yahoo.com	Ulloa	10/25/16 13:50
91 Tucker	MacLean	tucker@exponentpartners.com		11/9/16 15:03
92 Christopher	Man	fongpaywong@gmail.com		10/25/16 12:43
93 Chelsea	Mariotti	calicasullivan@gmail.com	304 south hill blvd sf 94112	10/28/16 12:53
94 Allie	Markovits	allie.markovits@gmail.com	468 12th Avenue	10/27/16 14:38
95 Jane	martin	janehmm@gmail.com	14a winfeild st sf ca 94110	10/28/16 15:10
96 Allison	Martinez	Martinezallison3@gmail.com	260 wheeler Ave	11/3/16 20:23
97 Paula	Matalana	pmatalan@gmail.com		10/31/16 19:27
98 Dianne	Mena	Diannemena@yahoo.com	connecticut sf ca 94107	10/26/16 18:49
99 Beatriz	Mero	beriboop@yahoo.com	1326 Natoma Street	11/6/16 0:55
100 Catherine	Meyer	Mulkeymeyer@gmail.com	95 S. Hill Blvd.	10/26/16 23:27
101 Angela	Minkin	angieminkin@comcast.net	591 Moscow Street	10/28/16 11:02
102 Julieta	miranda	julietamiranda601@gmail.com	3 a carrizal st san francisco.	10/27/16 21:06
103 Sam	Moss	smoss@missionhousing.org	474 Valencia Street, 280	10/31/16 11:24
104 Ivan	Muccini	muccini.ivan@gmail.com	1420 Turk Street	11/9/16 19:21
105 Laurel	Muniz	lmunizsf@gmail.com	Winfield	10/28/16 15:07
106 Jose	Muniz	1sfmuniz@gmail.com		10/25/16 19:26
107 Sergio	Navarro	Sergio.navarro14@yahoo.com	BRYANT ST.	10/25/16 20:42
108 Lucia	Obregon	Luciao.relay@gmail.com	1818 38th Ave San Francisco, ca	11/2/16 10:36
109 Anna	Oliver	sgtpeppercurrie@yahoo.com	1338 4th ave	11/2/16 9:31
110 Julie	O'Loughlin	jules2578@yahoo.com		10/27/16 18:14
111 Maxie	ORourke	gnorourke.@sbcglobal.net	809 Red Leaf. Court	10/27/16 9:43
112 Christine	Osorio	Christinemarioe@gmail.com	816 Shotwell St	11/2/16 21:49
113 Nathaniel	Owen	nathanjowen@gmail.com	1222 Clayton Street, #34	10/25/16 14:14
114 Leslie	Palaroan	lapalaroan@gmail.com		11/1/16 8:21
115 Martine	Paquin	goldragonfly@hotmail.com	22nd	10/27/16 17:40
116 Cameron	Parsinejad	Camdizzel@gmail.com		10/25/16 13:15
117 Carol	Pasco	pascoyong@gmail.com	2801 mission st	10/25/16 15:55
118 Stephen	Pawley	swpaws@imac.com		10/27/16 14:58
119 Claudia	Perez	cjazzp@hotmail.com		10/25/16 12:49
120 Daniel	Peterson	danielpeterson90@gmail.com		10/25/16 17:29
121 Bertha	Prado	Learn.laugh.live@live.com	Orizaba	10/25/16 17:59
122 Ahmar	Qadir	aqadir@medasf.org	105 Coleridge Street	10/25/16 9:19
123 Sylvia	Ramirez	Paloma165@sbcglobal.net		10/26/16 17:44
124 Rosemarie	Ramirez	ramirez.rosemarie93@gmail.com	2706 Bristol drive San Jose 95127	11/3/16 17:15
125 Michelle	Reiss	mreisslax@gmail.com	3600 25th Street	11/1/16 11:23
126 Natalie	Riccomini	natalericcomini@yahoo.com		10/27/16 15:03

Online Petition Signatures in Support of 1296 Shotwell Senior Affordable Housing

First Name	Last Name	Email Address	Street Address	Date Signed
127	CoCo	Robinson	cocorobinson@gmail.com	11/3/16 21:03
128	hoe	rodriguez	noeroma4444@gmail.com	10/25/16 18:06
129	Hilda	Roe	thenewhlr@mac.com	11/9/16 14:09
130	Nora	Roman	noritaroman@gmail.com	11/5/16 15:12
131	Magdalena	Romero	m_windt@hotmail.com	10/26/16 15:16
132	Janit	Saechao	janitvon@gmail.com	10/27/16 16:45
133	Rosabella	Safont	rsafont@comcast.net	10/25/16 8:58
134	Lia	Salaverry	Lia.azul.salaverry@gmail.com	10/31/16 13:08
135	Raven	Sanchez	rasanchez913@gmail.com	10/25/16 15:35
136	Alicia	Sandoval	lichai13@gmail.com	10/31/16 11:35
137	Patrice	Sandoval	patricesf@earthlink.net	10/26/16 16:52
138	Lisa	Schiff	sfschiff@yahoo.com	11/9/16 15:24
139	John	Sedlander	jsedlander@medasf.org	10/27/16 9:14
140	Jason	Serafino-Agar	jsa41510@gmail.com	11/4/16 15:32
141	Stephen	Severon	siseveron@gmail.com	10/25/16 8:50
142	Steven	Shum	steven_shum@yahoo.com	10/27/16 11:50
143	Carolyn	Sideco	csideco@icademy.org	11/3/16 4:49
144	Joyce	Slen	joyceslen@gmail.com	10/25/16 11:29
145	Sarah	Souza	s.souzasarah@gmail.com	10/31/16 11:27
146	Kevin	Stein	kstein06@sbcglobal.net	10/27/16 11:53
147	Sharon	Steuer	ss@ssteuer.com	10/31/16 11:43
148	Jess	Tello	JesseTello84@gmail.com	10/26/16 2:54
149	Owen	Thompson-Lastad	chicagoowen@gmail.com	10/25/16 9:10
150	Joanne	Tong	Sourgrey@yahoo.com	11/6/16 9:55
151	Tai	Tran	Taitran415@yahoo.com	10/26/16 22:52
152	Linda	Tran	Lindizm@yahoo.com	10/25/16 20:24
153	estery	tun	esterytun@gmail.com	10/26/16 17:24
154	Lauren	Utterback	laurenrayu@hotmail.com	11/1/16 14:09
155	SHARON	Valdez	valshar10@comcast.net	10/28/16 13:56
156	Jen	Valencia	Jva2011@yahoo.com	11/2/16 19:07
157	Gloria	Vasquez	glorianvasquez@gmail.com	11/4/16 11:02
158	Gloria	Vasquez	teo1sf@aol.com	10/27/16 12:11
159	Armando	Vasquez	avarchcm@gmail.com	10/27/16 12:10
160	Edwin	Velasquez	Velasquezedwin242@gmail.com	10/25/16 20:22
161	David	Watterson	davidwatterson@gmail.com	10/26/16 17:55
162	Sarah	White	swhite@tndc.org	10/27/16 11:26
163	Marquita	Williams	Marquita.Williams@chinatowncdc.org	10/27/16 16:15
164	Jackie	Woods	Monet2u2002@yahoo.com	11/2/16 15:08
165	Pei-Un	Yee	payee2@hotmail.com	10/27/16 20:43
166	Susan	Yee	ysee@chinatowncdc.org	10/27/16 16:51
167	TONY	YEE	tonyyee86@yahoo.com	10/27/16 15:02
168	Clifford	Yee	cliffordyee@yahoo.com	10/27/16 11:59

Online Petition Signatures in Support of 1296 Shotwell Senior Affordable Housing

	First Name	Last Name	Email Address	Street Address	Date Signed
169	Michelle	Zeng	mzeng@chinatowncdc.org		10/27/16 14:36

From: [Tony Lam](#)
To: planning@rodnevfong.com; [Richards, Dennis \(CPC\)](#); richhillissf@yahoo.com; [Johnson, Christine \(CPC\)](#); [Koppel, Joel \(CPC\)](#); [Melgar, Myrna \(CPC\)](#); mooreurban@aol.com; [Rahaim, John \(CPC\)](#); [Sucre, Richard \(CPC\)](#); [Alexander, Christy \(CPC\)](#)
Subject: Support housing for seniors in the Mission
Date: Tuesday, October 25, 2016 11:40:45 AM

Dear San Francisco Planning Commission:

San Francisco Planning Commission
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

Dear San Francisco Planning Commission:

I am writing to show my support for the new, nine-story, 100% affordable-housing building at 1296 Shotwell.

Mission Economic Development Agency (MEDA) and Chinatown Community Development Center (Chinatown CDC), partners for this development, will be building the first new housing for seniors in the Mission in more than two decades.

1296 Shotwell will be 85' tall, and at nine stories it will be one of the tallest buildings in the area. The development is made possible by San Francisco's new Affordable Housing Bonus Program. The project will have over 90 units, each dedicated to housing seniors. This project is a crucial one for a neighborhood that has long been facing pressures of gentrification and rising rents.

Offering seniors dignity and the right to stay in the Mission is important to me. Every unit counts! Please support this project in its application to build to 85' and house as many seniors as possible.

--

Tony Lam
Tony.Lam@chinatowncdc.org

From: [Naveen Agrawal](#)
To: planning@rodnevfong.com; [Richards, Dennis \(CPC\)](#); richhillissf@yahoo.com; [Johnson, Christine \(CPC\)](#); [Koppel, Joel \(CPC\)](#); [Melgar, Myrna \(CPC\)](#); mooreurban@aol.com; [Rahaim, John \(CPC\)](#); [Sucre, Richard \(CPC\)](#); [Alexander, Christy \(CPC\)](#)
Subject: Support housing for seniors in the Mission
Date: Friday, October 21, 2016 11:13:44 AM

Dear San Francisco Planning Commission:

San Francisco Planning Commission
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

Dear San Francisco Planning Commission:

I am writing to show my support for the new, nine-story, 100% affordable-housing building at 1296 Shotwell.

Mission Economic Development Agency (MEDA) and Chinatown Community Development Center (Chinatown CDC), partners for this development, will be building the first new housing for seniors in the Mission in more than two decades.

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--

Naveen Agrawal
theskinnyindian@gmail.com
3435 24th St

From: [Michelle Chung](#)
To: planning@rodneyfong.com; [Richards, Dennis \(CPC\)](#); richhillissf@yahoo.com; [Johnson, Christine \(CPC\)](#); [Koppel, Joel \(CPC\)](#); [Melgar, Myrna \(CPC\)](#); mooreurban@aol.com; [Rahaim, John \(CPC\)](#); [Sucre, Richard \(CPC\)](#); [Alexander, Christy \(CPC\)](#)
Subject: Support housing for seniors in the Mission
Date: Tuesday, October 25, 2016 11:40:53 AM

Dear San Francisco Planning Commission:

San Francisco Planning Commission
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

Dear San Francisco Planning Commission:

I am writing to show my support for the new, nine-story, 100% affordable-housing building at 1296 Shotwell.

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Offering seniors dignity and the right to stay in the Mission is important to me. Every unit counts! Please support this project in its application to build to 85' and house as many seniors as possible.

--

Michelle Chung
mpchung@ucla.edu
3609 Keystone Avenue #4

From: [Karoleen Feng](#)
To: planning@rodneyfong.com; [Richards, Dennis \(CPC\)](#); richhillissf@yahoo.com; [Johnson, Christine \(CPC\)](#); [Koppel, Joel \(CPC\)](#); [Melgar, Myrna \(CPC\)](#); mooreurban@aol.com; [Rahaim, John \(CPC\)](#); [Sucre, Richard \(CPC\)](#); [Alexander, Christy \(CPC\)](#)
Subject: Support housing for seniors in the Mission
Date: Tuesday, October 25, 2016 11:15:49 AM

Dear San Francisco Planning Commission:

San Francisco Planning Commission
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

Dear San Francisco Planning Commission:

I am writing to show my support for the new, nine-story, 100% affordable-housing building at 1296 Shotwell.

Mission Economic Development Agency (MEDA) and Chinatown Community Development Center (Chinatown CDC), partners for this development, will be building the first new housing for seniors in the Mission in more than two decades.

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--

Karoleen Feng
kfeng@medasf.org
280 Lexington Street

From: [Anna Cepeda](#)
To: planning@rodnevfong.com; [Richards, Dennis \(CPC\)](#); richhillissf@yahoo.com; [Johnson, Christine \(CPC\)](#); [Koppel, Joel \(CPC\)](#); [Melgar, Myrna \(CPC\)](#); mooreurban@aol.com; [Rahaim, John \(CPC\)](#); [Sucre, Richard \(CPC\)](#); [Alexander, Christy \(CPC\)](#)
Subject: Support housing for seniors in the Mission
Date: Tuesday, October 25, 2016 9:43:11 AM

Dear San Francisco Planning Commission:

San Francisco Planning Commission
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

Dear San Francisco Planning Commission:

I am writing to show my support for the new, nine-story, 100% affordable-housing building at 1296 Shotwell.

Mission Economic Development Agency (MEDA) and Chinatown Community Development Center (Chinatown CDC), partners for this development, will be building the first new housing for seniors in the Mission in more than two decades.

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--

Anna Cepeda
annacepeda88@gmail.com
112 apollo st

From: [Owen Thompson-Lastad](mailto:Owen.Thompson-Lastad)
To: planning@rodneymfong.com; [Richards, Dennis \(CPC\)](#); richhillissf@yahoo.com; [Johnson, Christine \(CPC\)](#); [Koppel, Joel \(CPC\)](#); [Melgar, Myrna \(CPC\)](#); mooreurban@aol.com; [Rahaim, John \(CPC\)](#); [Sucre, Richard \(CPC\)](#); [Alexander, Christy \(CPC\)](#)
Subject: Support housing for seniors in the Mission
Date: Tuesday, October 25, 2016 9:26:43 AM

Dear San Francisco Planning Commission:

San Francisco Planning Commission
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

Dear San Francisco Planning Commission:

I am writing to show my support for the new, nine-story, 100% affordable-housing building at 1296 Shotwell.

Mission Economic Development Agency (MEDA) and Chinatown Community Development Center (Chinatown CDC), partners for this development, will be building the first new housing for seniors in the Mission in more than two decades.

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Offering seniors dignity and the right to stay in the Mission is important to me. Every unit counts! Please support this project in its application to build to 85' and house as many seniors as possible.

--

Owen Thompson-Lastad
chicagoowen@gmail.com

From: [Ahmar Qadir](#)
To: planning@rodnevfong.com; [Richards, Dennis \(CPC\)](#); richhillissf@yahoo.com; [Johnson, Christine \(CPC\)](#); [Koppel, Joel \(CPC\)](#); [Melgar, Myrna \(CPC\)](#); mooreurban@aol.com; [Rahaim, John \(CPC\)](#); [Sucre, Richard \(CPC\)](#); [Alexander, Christy \(CPC\)](#)
Subject: Support housing for seniors in the Mission
Date: Tuesday, October 25, 2016 9:26:13 AM

Dear San Francisco Planning Commission:

San Francisco Planning Commission
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

Dear San Francisco Planning Commission:

I am writing to show my support for the new, nine-story, 100% affordable-housing building at 1296 Shotwell.

Mission Economic Development Agency (MEDA) and Chinatown Community Development Center (Chinatown CDC), partners for this development, will be building the first new housing for seniors in the Mission in more than two decades.

1296 Shotwell will be 85' tall, and at nine stories it will be one of the tallest buildings in the area. The development is made possible by San Francisco's new Affordable Housing Bonus Program. The project will have over 90 units, each dedicated to housing seniors. This project is a crucial one for a neighborhood that has long been facing pressures of gentrification and rising rents.

Offering seniors dignity and the right to stay in the Mission is important to me. Every unit counts! Please support this project in its application to build to 85' and house as many seniors as possible.

--

Ahmar Qadir
aqadir@medasf.org
105 Coleridge Street

From: [Ana Avilez](#)
To: planning@rodnevfong.com; [Richards, Dennis \(CPC\)](#); richhillissf@yahoo.com; [Johnson, Christine \(CPC\)](#); [Koppel, Joel \(CPC\)](#); [Melgar, Myrna \(CPC\)](#); mooreurban@aol.com; [Rahaim, John \(CPC\)](#); [Sucre, Richard \(CPC\)](#); [Alexander, Christy \(CPC\)](#)
Subject: Support housing for seniors in the Mission
Date: Tuesday, October 25, 2016 9:25:55 AM

Dear San Francisco Planning Commission:

San Francisco Planning Commission
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

Dear San Francisco Planning Commission:

I am writing to show my support for the new, nine-story, 100% affordable-housing building at 1296 Shotwell.

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--

Ana Avilez
aavilez@medasf.org
1024 Potrero ave, 3

From: [Serena Li](#)
To: planning@rodnevfong.com; [Richards, Dennis \(CPC\)](#); richhillissf@yahoo.com; [Johnson, Christine \(CPC\)](#); [Koppel, Joel \(CPC\)](#); [Melgar, Myrna \(CPC\)](#); mooreurban@aol.com; [Rahaim, John \(CPC\)](#); [Sucre, Richard \(CPC\)](#); [Alexander, Christy \(CPC\)](#)
Subject: Support housing for seniors in the Mission
Date: Tuesday, October 25, 2016 9:04:08 AM

Dear San Francisco Planning Commission:

San Francisco Planning Commission
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

Dear San Francisco Planning Commission:

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--
Serena Li
serena.twentysix@gmail.com

From: [Stephen Severon](#)
To: planning@rodnevfong.com; [Richards, Dennis \(CPC\)](#); richhillissf@yahoo.com; [Johnson, Christine \(CPC\)](#); [Koppel, Joel \(CPC\)](#); [Melgar, Myrna \(CPC\)](#); mooreurban@aol.com; [Rahaim, John \(CPC\)](#); [Sucre, Richard \(CPC\)](#); [Alexander, Christy \(CPC\)](#)
Subject: Support housing for seniors in the Mission
Date: Tuesday, October 25, 2016 9:01:08 AM

Dear San Francisco Planning Commission:

San Francisco Planning Commission
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

Dear San Francisco Planning Commission:

I am writing to show my support for the new, nine-story, 100% affordable-housing building at 1296 Shotwell.

Mission Economic Development Agency (MEDA) and Chinatown Community Development Center (Chinatown CDC), partners for this development, will be building the first new housing for seniors in the Mission in more than two decades.

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Offering seniors dignity and the right to stay in the Mission is important to me. Every unit counts! Please support this project in its application to build to 85' and house as many seniors as possible.

--
Stephen Severon
slseveron@gmail.com
735 29th Ave

From: [Rosabella Safont](mailto:Rosabella_Safont)
To: planning@rodnevfong.com; [Richards, Dennis \(CPC\)](mailto:Richards_Dennis_CPC); richhillissf@yahoo.com; [Johnson, Christine \(CPC\)](mailto:Johnson_Christine_CPC); [Koppel, Joel \(CPC\)](mailto:Koppel_Joel_CPC); [Melgar, Myrna \(CPC\)](mailto:Melgar_Myrna_CPC); mooreurban@aol.com; [Rahaim, John \(CPC\)](mailto:Rahaim_John_CPC); [Sucre, Richard \(CPC\)](mailto:Sucre_Richard_CPC); [Alexander, Christy \(CPC\)](mailto:Alexander_Christy_CPC)
Subject: Support housing for seniors in the Mission
Date: Tuesday, October 25, 2016 9:00:33 AM

Dear San Francisco Planning Commission:

San Francisco Planning Commission
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

Dear San Francisco Planning Commission:

I am writing to show my support for the new, nine-story, 100% affordable-housing building at 1296 Shotwell.

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--

Rosabella Safont
rsafont@comcast.net
325 teresita blvd SAN FRANCISCO, CALIF

Oct. 31 2016

San Francisco Planning Commission
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

Dear San Francisco Planning Commission:

I am writing to show my support for the new, nine-story, 100% affordable-housing building at 1296 Shotwell.

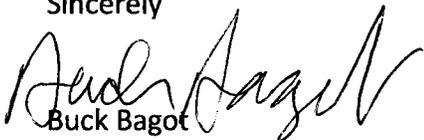
I have lived in Bernal Heights since 1976. I have owned my current home, a few blocks from the development site, since 1990.

Mission Economic Development Agency (MEDA) and Chinatown Community Development Center (Chinatown CDC), partners for this development, will be building the first new housing for seniors in the Mission in more than two decades.

I have worked my entire time in the City to keep Bernal Heights and San Francisco multi-ethnic and mixed income. I am/we are losing that battle with market forces, and the landlords and developers who take advantage of this housing market to make huge profits. We desperately need as much rental housing affordable to lower income people as we can get. I would support far even more affordable units on the Shotwell site. The vast majority of my neighbors in Bernal Heights, including folks who live near to the site, support it enthusiastically. The small NIMBY opposition in no way represents our community. NIMBYs ALWAYS oppose any development, and especially affordable housing. Folks like them opposed every unit of lower income housing the Bernal Heights Neighborhood Center has built in our neighborhood. After the fact, they love it, and maddeningly often forget they ever opposed it. I have tried and failed repeatedly to get one-time NIMBY opponents to testify in support of new affordable housing, and speak to how incorrect their initial impressions of potential negative impacts were. They simply refuse to admit ever fighting against it!

Offering seniors dignity and the right to stay in the Mission is important to me. Every unit counts! MEDA and CCDC are doing a great job and wonderful work. Please support this project in its application to build to 85' and house as many seniors as possible.

Sincerely

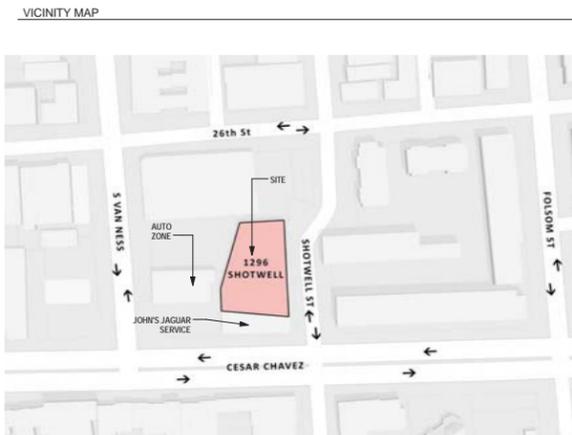


Buck Bagot
3265 Harrison St., SF, CA 94110
415-385-0389
buckbagot@gmail.com

EXHIBIT B

1296 SHOTWELL ST SENIOR AFFORDABLE HOUSING

1296 SHOTWELL ST, SAN FRANCISCO, CA 94110



GENERAL

A0.1 COVER SHEET
A0.2 SURVEY
A0.6 3D VIEWS
GP.1 GREENPOINT SCORESHEET

ARCHITECTURAL

A1.0 SITE PLAN
A2.1 GROUND FLOOR PLAN
A2.2 LEVEL 2 FLOOR PLAN
A2.3 LEVEL 3 FLOOR PLAN
A2.4 LEVEL 4 FLOOR PLAN
A2.5 LEVEL 5 FLOOR PLAN
A2.6 LEVEL 6 FLOOR PLAN
A2.7 LEVEL 7 FLOOR PLAN
A2.8 LEVEL 8 FLOOR PLAN
A2.9 LEVEL 9 FLOOR PLAN
A2.10 ROOF PLAN
A3.1 EXTERIOR ELEVATIONS
A3.2 EXTERIOR ELEVATIONS
A3.3 BUILDING SECTIONS

LANDSCAPE

L0.01 LANDSCAPE MATERIALS
L1.01 LEVEL 1 LANDSCAPE MATERIALS PLAN
L2.01 LEVEL 2 LANDSCAPE MATERIALS PLAN
L3.01 LEVEL 3 LANDSCAPE MATERIALS PLAN
L4.01 LEVEL 4 LANDSCAPE MATERIALS PLAN
L5.01 LANDSCAPE DETAILS

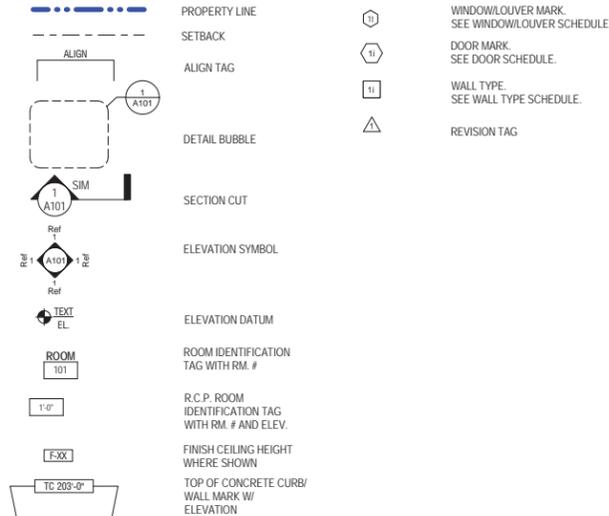
PROJECT DATA

ADDRESS:	1296 SHOTWELL STREET	USABLE OPEN SPACE:	50 SF/UNIT PER SEC. 135 d.3 94 X 50 = 4,700 SF REQUIRED: PROVIDED: 5,654 SF	HOUSING SUMMARY	BUILDING ENCLOSED AREA...
BLOCK/LOT:	6571-051			TYPE	FLOOR
ZONING:	NCT - MISSION STREET NEIGHBORHOOD COMMERCIAL TRANSIT			# OF UNITS	AREA
HEIGHT/BULK:	65'-X" (DENSITY BONUS INCREASE OR ZONING MAP AMENDMENT REQUIRED)	OPEN SPACE SUMMARY		Level 1 24 1 BEDROOM 69 2 BEDROOM 1 TOTAL UNITS: 94	Level 1 8024 SF Level 2 7612 SF Level 3 7706 SF Level 4 7653 SF Level 5 7367 SF Level 6 7450 SF Level 7 7389 SF Level 8 7021 SF Level 9 5498 SF T.O. Roof 602 SF Total Area 66322 SF
PARCEL AREA:	11,666 SF			1 BEDROOM AVERAGE sf. : 532 sf	
REAR YARD:	25% OF THE LOT DEPTH PER SEC. 134: PROVIDED: 2,724 SF			STUDIO AVERAGE sf. : 350 sf	
OFF-STREET PARKING:	NOT REQUIRED PER SEC. 151			UNITS WITH MOBILITY FEATURES:	
BICYCLE PARKING:	PER SEC. 155.2 - MIN. 9 CLASS 1 & 2: 28 SPACES PROVIDED (12 CLASS 1 INSIDE; 14 CLASS 1 OUTSIDE; 2 CLASS 2 OUTSIDE)			PROVIDED: 15% 11 1-BEDROOM UNITS 4 STUDIOS	
TYPE OF CONSTRUCTION:	1A			REQUIRED: 4% PROVIDED: 3 1-BEDROOM UNITS 1 STUDIO	

LIST OF ABBREVIATIONS

@	AT	F.E.C.	FIRE EXTINGUISHER CABINET	PNT.	PAINT
ABV.	ABOVE	F.L.R.	FLOOR	PT.	POINT
A.F.F.	ABOVE FINISH FLOOR	F.O.C.	FACE OF CONCRETE	R.	RISER(S)
ALUM.	ALUMINUM	F.O.F.	FACE OF FINISH	R.W.L.	RAIN WATER LEADER
B.F.F.	BELOW FINISH FLOOR	F.O.S.	FACE OF STUD	RES.	RESILIENT
BD.	BOARD	FIN.	FINISH	RM.	ROOM
BLDG.	BUILDING	FIXT.	FIXTURE	S.D.	STORM DRAIN
BLKG.	BLOCKING	FNDN.	FOUNDATION	S.A.D.	SEE ARCHITECTURAL DRAWINGS
BLW.	BELOW	FT.	FOOT/FEET	S.A.M.	SELF ADHERED MEMBRANE
BOT.	BOTTOM	G.I.	GROUND FAULT INTERRUPTER	S.C.D.	SEE CIVIL DRAWINGS
BM.	BEAM	G.S.M.	GALVANIZED SHEET METAL	S.E.D.	SEE ELECTRICAL DRAWINGS
B.U.R.	BUILT UP ROOFING	GA.	GAUGE	S.L.D.	SEE LANDSCAPE DRAWINGS
CA.	CAMERA	GALV.	GALVANIZED	S.M.D.	SEE MECHANICAL DRAWINGS
CA.	CENTERLINE	GL.	GLASS	S.P.D.	SEE PLUMBING DRAWINGS
C.J.	CONTROL JOINT	GYP. BD.	GYP/SUM BOARD	S.S.D.	SEE STRUCTURAL DRAWINGS
CAB.	CABINET	HT.	HEIGHT	SHT.	SHEET
CLG.	Ceiling	H.P.	HIGH POINT	SIM.	SIMILAR
CLK.	CAULK	INSUL.	INSULATION	STD.	STANDARD
CLR.	CLEAR	JT.	JOINT	ST.	STREET
COL.	COLUMN	L.P.	LOW POINT	STL.	STEEL
CONC.	CONCRETE	MAX.	MAXIMUM	STRUCT.	STRUCTURE
CONT.	CONTINUOUS	MIN.	MINIMUM	T.C.	TOP OF CURB
CPT.	CARPET	MTL.	METAL	T.O.	TOP OF
DET.	DETAIL	(N)	NEW	T.O.C.	TOP OF CONCRETE
DIA.	DIAMETER	N.A.	NOT APPLICABLE	T.O.S.	TOP OF SLAB
DN.	DOWN	N.I.C.	NOT IN CONTRACT	T.O.STL.	TOP OF STEEL
DWG.	DRAWING	N.T.S.	NOT TO SCALE	T.P.	TOILET PAPER
EL.	ELEVATION	NO.	NUMBER	TEL.	TELEPHONE
ELEC.	ELECTRIC(AU)	O.H.	OPPOSITE HAND	TYP.	TYPICAL
EMERG.	EMERGENCY ENCLOSURE	OP.	OPPOSITE	U.O.N.	UNLESS OTHERWISE NOTED
ENCL.	ENCLOSURE	P.L.	PROPERTY LINE	W/	WITH
EQ.	EQUAL	P.LAM.	PLASTIC LAMINATE	W/O	WITHOUT
EQUIP.	EQUIPMENT	P.T.	PRESSURE TREATED	W/O	WHERE OCCURS
F.C.	FIBER CEMENT	PERF.	PERFORATED	WD.	WOOD
F.D.	FLOOR DRAIN	PLYWD.	PLYWOOD	W.A.	WATERPROOF

LEGEND OF SYMBOLS



CONTACTS

CLIENT
Mission Economic Development Agency
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Chinatown CDC's Housing Development Office
1515 Vallejo Street, 4th Floor
San Francisco CA 94109
Tel: (415) 984-1450
Fax: (415) 929-1499
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STRUCTURAL
Mar Structural Design
Contact: David Mar
2629 7th Street, STE C
Berkeley, CA 94710
Tel: 510.991.1101
E: david.mar@marstructuraldesign.com

MECHANICAL/PLUMBING
Engineering 350
Contact: Ray Keane
256 Mullon Street
San Francisco, CA 94123
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E: ray@engineering350.com

ELECTRICAL
Engineering 350
Contact: Ray Keane
256 Mullon Street
San Francisco, CA 94123
Tel: (415) 984-1450
Fax: (415) 929-1499
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LANDSCAPE
Miller Company landscape Architects
Contact: Jeff Miller
1585 Folsom Street
San Francisco, CA 94103
Tel: 415.252.7288
E: info@millercamp.com

ACUSTIC
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1100 Larkspur Landing Circle #354
Larkspur, CA 94939
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ARCHITECT
Herman Coliver Locus Architecture
Contact: Dragana Monson
423 Tehama Street
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415.495.1776
dmonson@hclarchitecture.com

CIVIL
Benjamini Associates, Inc.
Contact: Avi Benjamini
720 York Street, Suite 114
San Francisco, CA 94110
Tel: 415.550.2600
E: avi@benjamini.com

LIGHTING
Architectural Lighting Design
Contact: David Malman
196 Bocana Street
San Francisco, CA 94110
Tel: 415.826.3399
E: dmalmalman@akdsf.com

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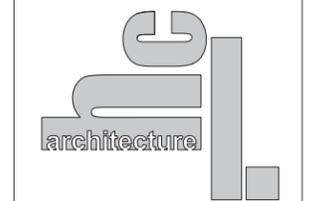
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100% SCHEMATIC DESIGN SET		07/08/2016
SUBMITTAL FOR 100% A.H.D.B.P		08/12/2016
PRE-APP SUBMITTAL		09/15/2016
PROGRESS SET		10/14/2016
SITE PERMIT RE-SUBMITTAL / A.H.D.B.P.		10/31/2016

Project Number: 1504

Project Title:
1296 SHOTWELL ST. SENIOR AFFORDABLE HOUSING

1296 Shotwell St.
San Francisco, CA 94110

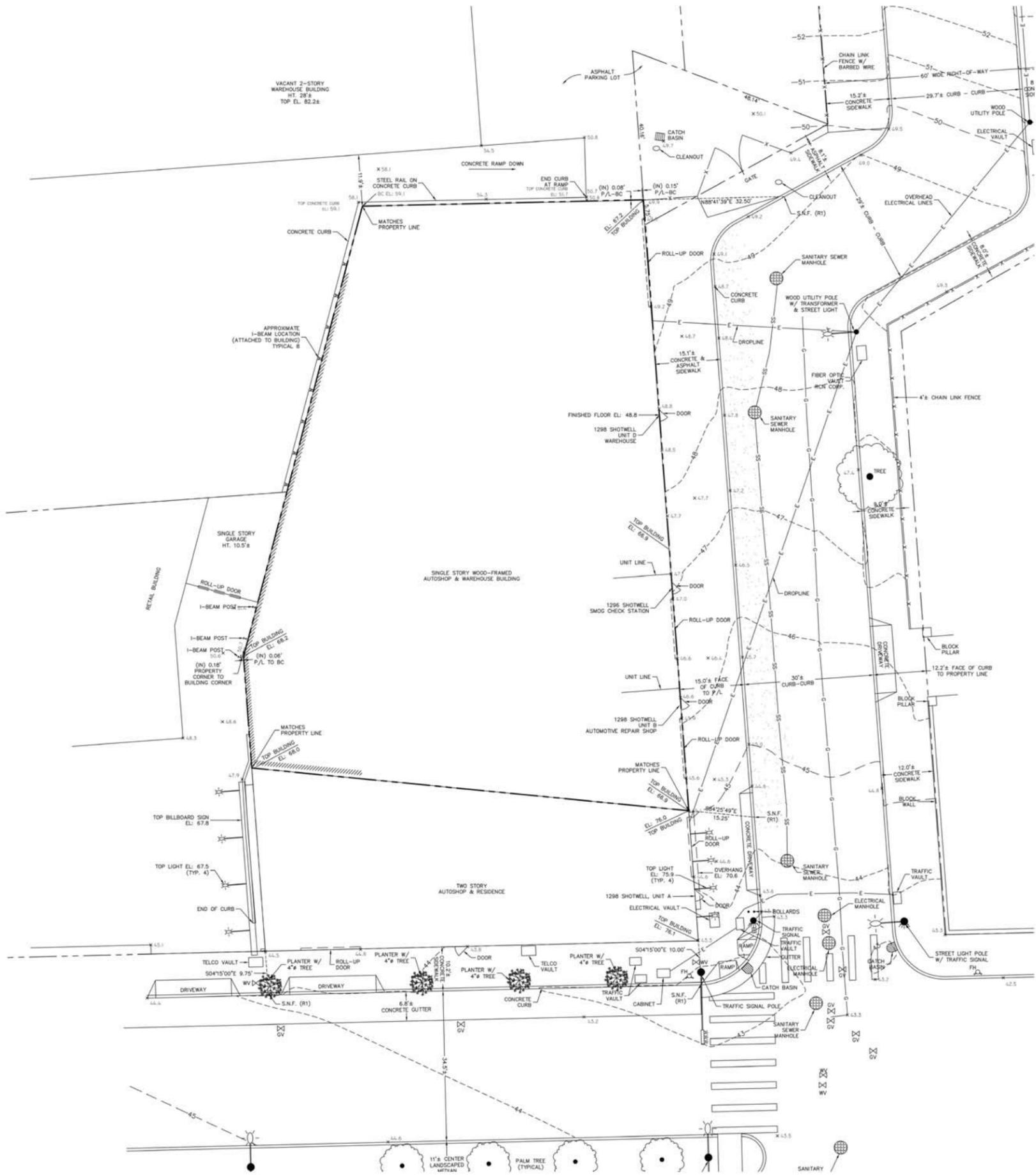
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COVER SHEET



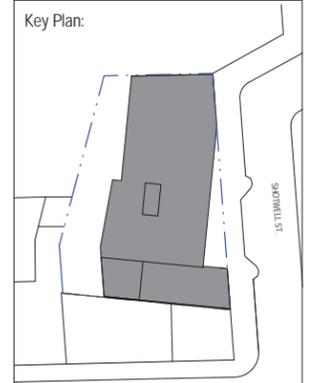
herman coliver locus
423 Tehama Street San Francisco, California 94103
T: 415.495.1776 F: 415.552.9811 E: info@hclarchitecture.com

Drawn By:	Author	Sheet Number:
Checked:		A0.1
Date:	2/24/2016	

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Discussions:
 Within dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for, all dimensions and conditions on the job and this office shall be notified of any conditions from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.



CESAR CHAVEZ

General Notes/Legend:
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Consultant:

Stamp:

Rev. No.	Revision	Date
PROGRESS SET		06/20/2016
100% SCHEMATIC DESIGN SET		07/08/2016
SUBMITTAL FOR 100% A.H.D.B.P.		08/12/2016
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PROGRESS SET		10/14/2016
SITE PERMIT RE-SUBMITTAL / A.H.D.B.P.		10/31/2016

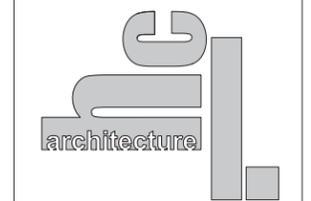
Project Number 1504

Project Title:
1296 SHOTWELL ST. SENIOR AFFORDABLE HOUSING

1296 Shotwell St.
 San Francisco, CA 94110

APN:
 Sheet Title:
SURVEY

Scale:
 1"=10'



herman coliver locus
 423 Tehama Street, San Francisco, California 94103
 T 415-495-1778 F 415-552-9811 E info@hclarchitect.com

Drawn By: **Author** Sheet Number:
 Checked:
 Date: 2/24/2016 **A0.2**

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 Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for, all dimensions and conditions on the job and this office shall be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

Key Plan:

General Notes/Legend:
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Consultant:

Stamp:

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PROGRESS SET		06/20/2016
100% SCHEMATIC DESIGN SET		07/08/2016
SUBMITTAL FOR 100% A.H.D.B.P.		08/12/2016
PRE-APP SUBMITTAL		09/15/2016
PROGRESS SET		10/14/2016
SITE PERMIT RE-SUBMITTAL / A.H.D.B.P.		10/31/2016

Project Number 1504

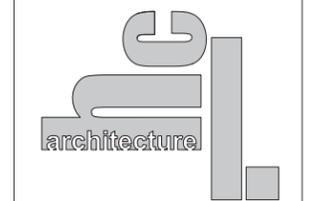
Project Title:
 1296 SHOTWELL ST. SENIOR AFFORDABLE HOUSING

1296 Shotwell St.
 San Francisco, CA 94110

APN:

Sheet Title:
 3D VIEWS

Scale:



herman coliver locus
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 T 415-495-1778 F 415-552-9811 E info@hclarchitecture.com

Drawn By: Author
 Checked:
 Date: 2/24/2016
 Sheet Number:
A0.6



SOUTH-EAST CORNER



VIEW FROM SIDEWALK

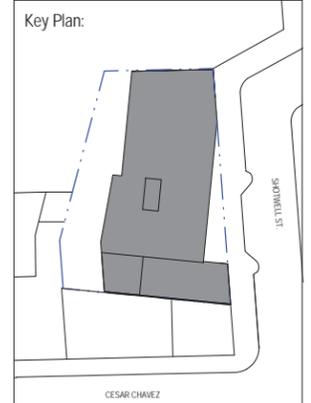


ROOF DECKS 3D MODEL



NOTE: (E) FIRE HYDRANTS ON NE AND NW CORNERS OF 26TH ST.

Disclaimer:
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Consultant:

Stamp:

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PROGRESS SET		10/14/2016
SITE PERMIT RE-SUBMITTAL / A.H.D.B.P.		10/31/2016

Project Number: 1504

Project Title:
1296 SHOTWELL ST. SENIOR AFFORDABLE HOUSING

1296 Shotwell St.
San Francisco, CA 94110

APN:
Sheet Title:
SITE PLAN

Scale:
As indicated



herman coliver locus
423 Tehama Street San Francisco, California 94103
T 415-495-1778 F 415-552-9811 E info@hclarchitecture.com

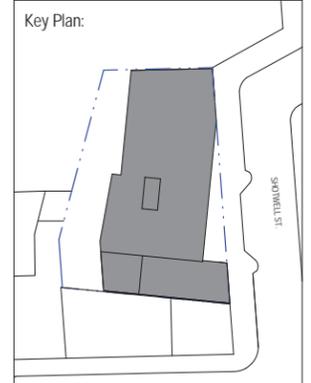
Drawn By: Author
Checked:
Date: 2/24/2016

Sheet Number:
A1.0

1 SITE PLAN
A1.0 1/16" = 1'-0"

SEE C2.0 FOR ADDITIONAL INFORMATION ABOUT SITE

Discussions:
 Within dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for, all dimensions and conditions on the job and this office shall be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.



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 Consultant:
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PROGRESS SET		10/14/2016
SITE PERMIT RE-SUBMITTAL / A.H.D.B.P.		10/31/2016

Project Number 1504

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 1296 SHOTWELL ST. SENIOR AFFORDABLE HOUSING
 1296 Shotwell St.
 San Francisco, CA 94110

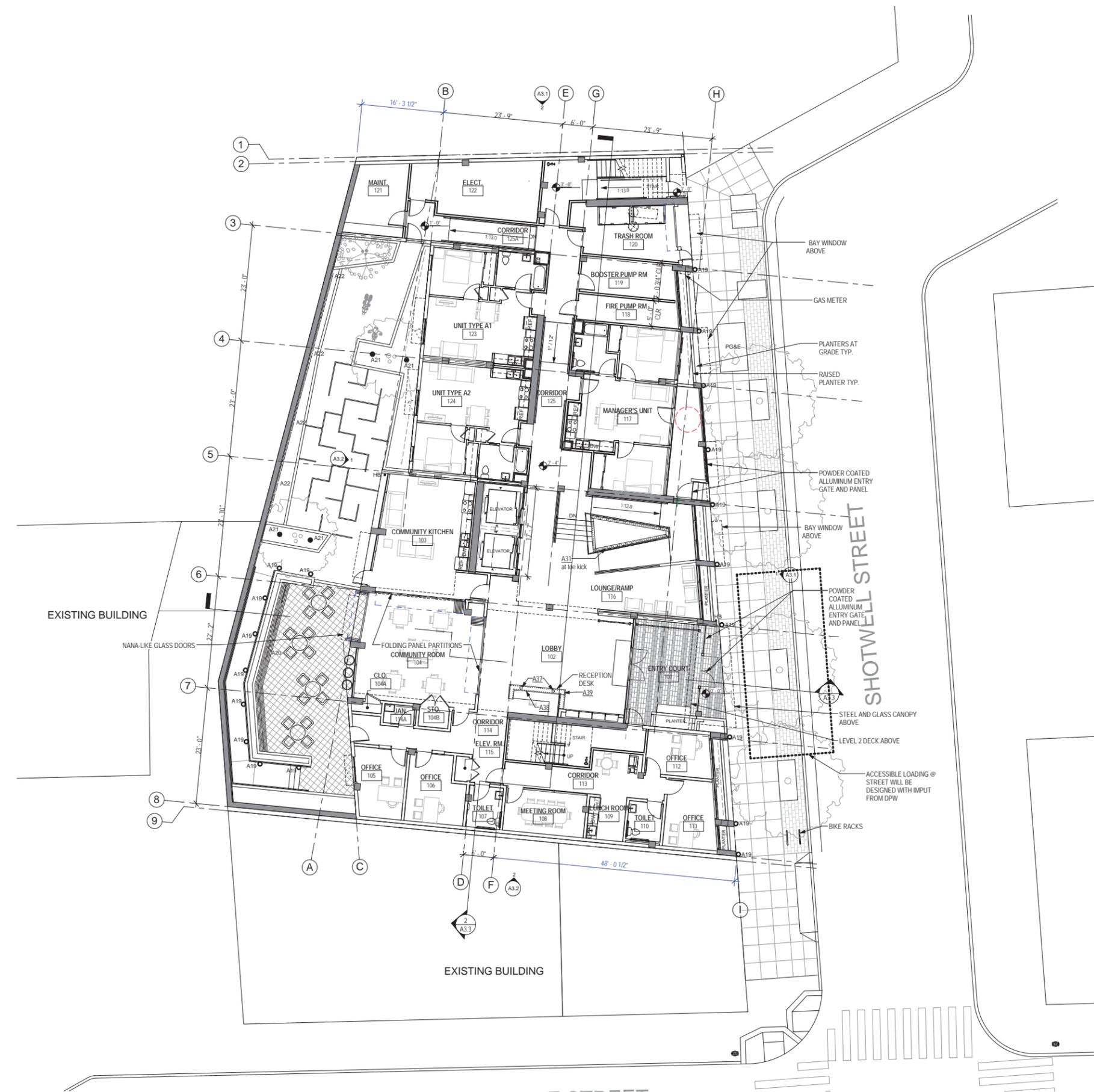
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GROUND FLOOR PLAN

Scale:
 As indicated



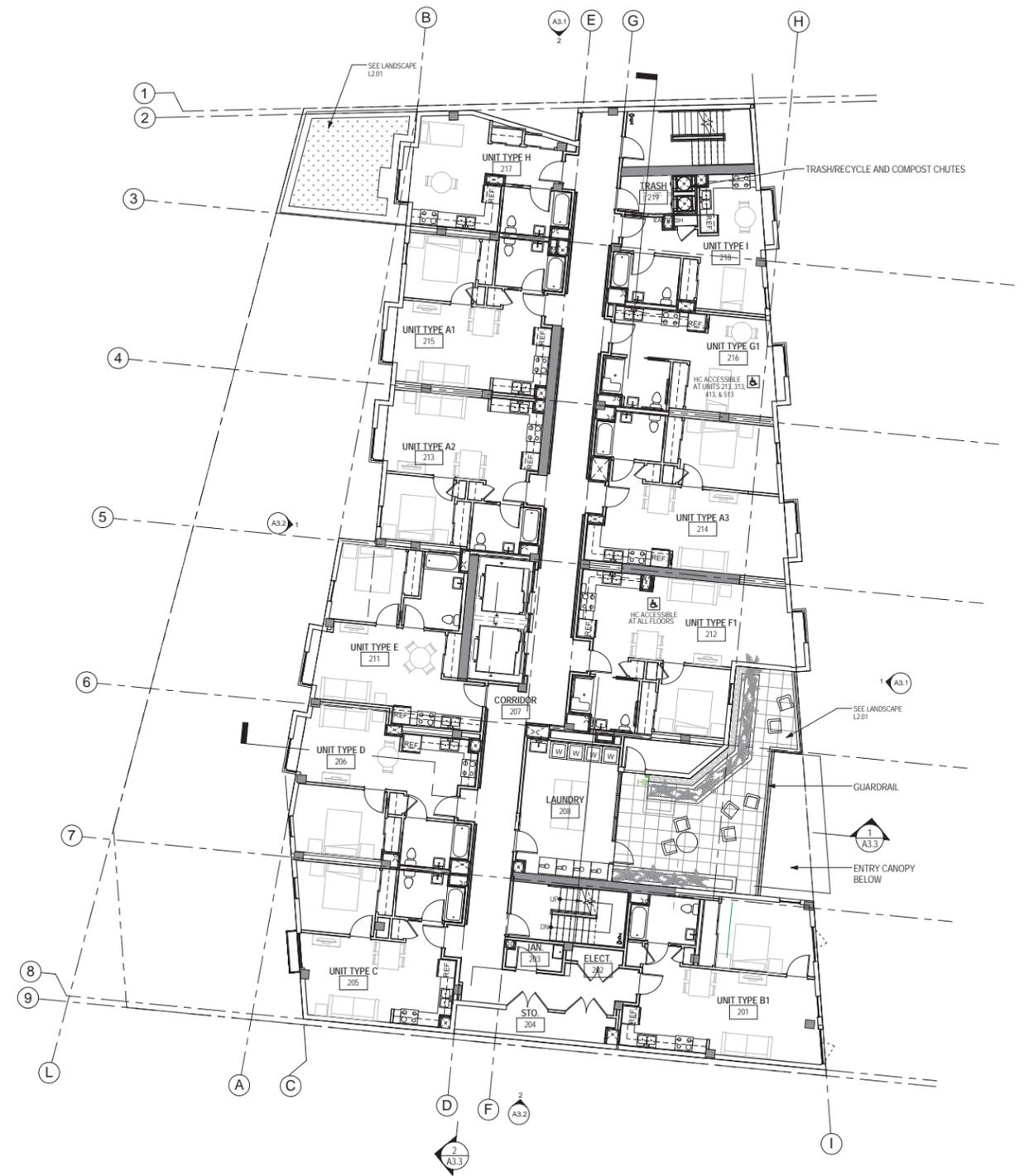
herman coliver locus
 423 Tehama Street San Francisco, California 94103
 T 415-495-1778 F 415-552-9811 E info@hclarchitecture.com

Drawn By: MB
 Checked:
 Date: 2/24/2016
 Sheet Number:
A2.1



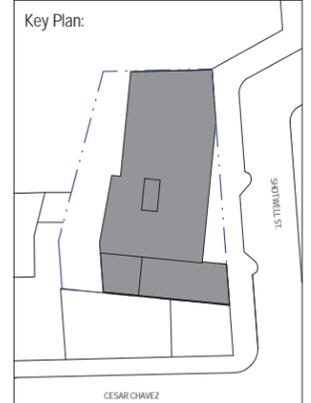
1 GROUND FLOOR
 A2.1
 1/8" = 1'-0"

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1 LEVEL 2
A2.2 1/8" = 1'-0"

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PROGRESS SET		10/14/2016
SITE PERMIT RE-SUBMITTAL / A.H.D.B.P.		10/31/2016

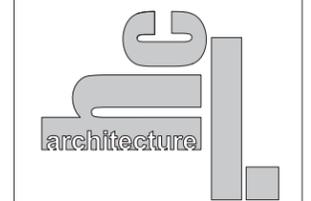
Project Number 1504

Project Title:
1296 SHOTWELL ST. SENIOR AFFORDABLE HOUSING

1296 Shotwell St.
San Francisco, CA 94110

APN:
Sheet Title:
LEVEL 2 FLOOR PLAN

Scale:
As indicated



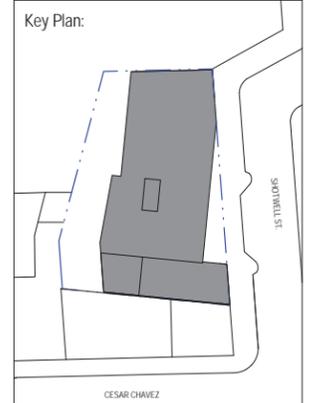
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1 LEVEL 3
A2.3 1/8" = 1'-0"

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Project Number 1504
Project Title:
1296 SHOTWELL ST. SENIOR AFFORDABLE HOUSING
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San Francisco, CA 94110
APN:
Sheet Title:
LEVEL 3 FLOOR PLAN

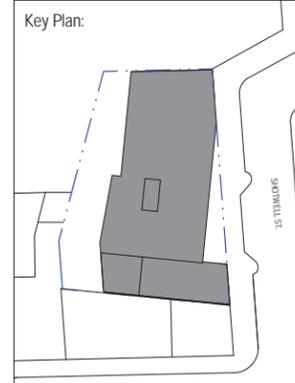
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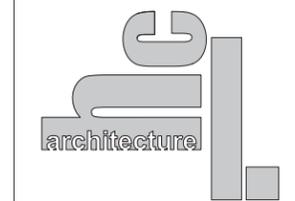
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APN:
 Sheet Title:
LEVEL 4 FLOOR PLAN

Scale:
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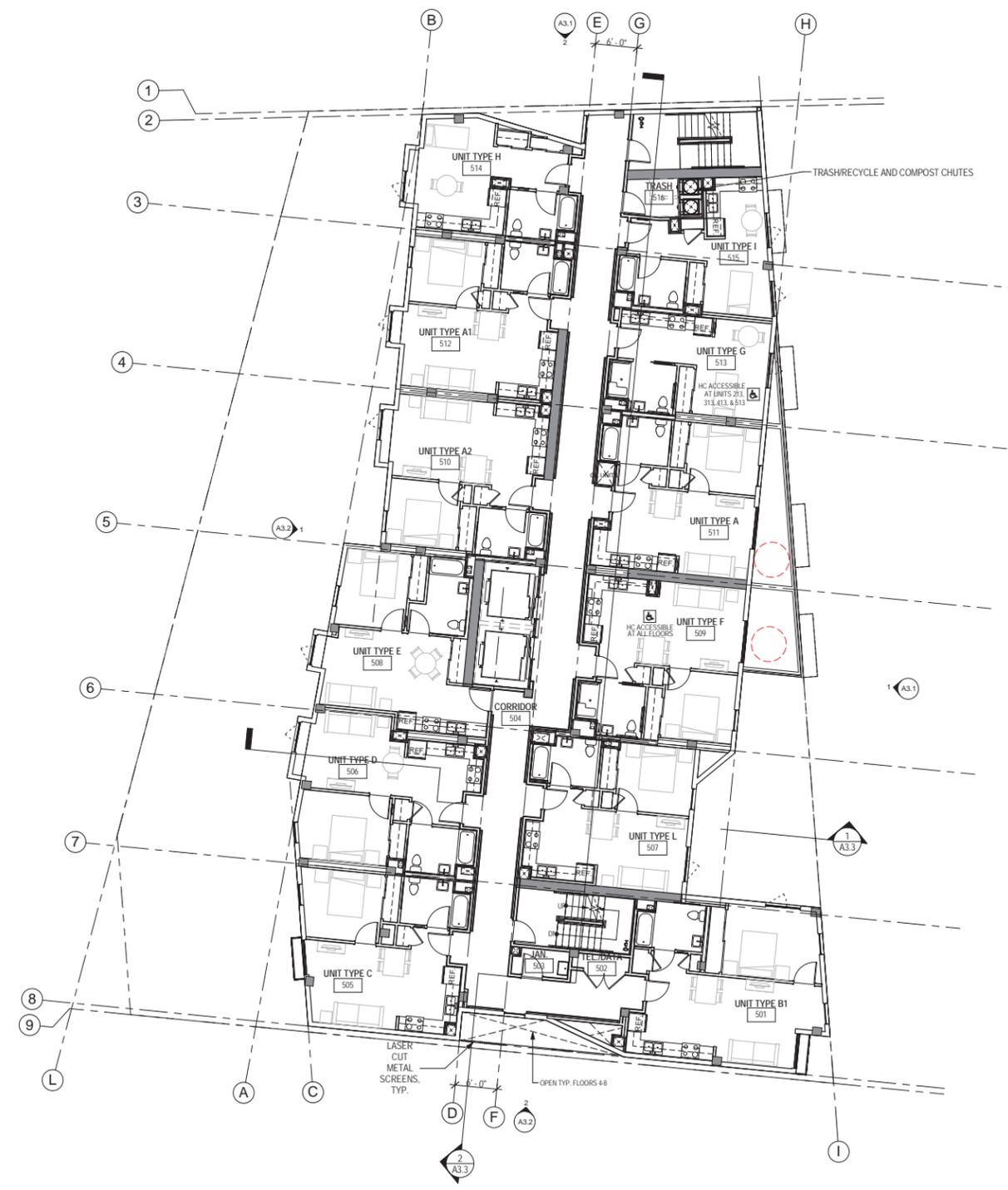


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 Checked: **Author**
 Date: 2/24/2016 **A2.4**

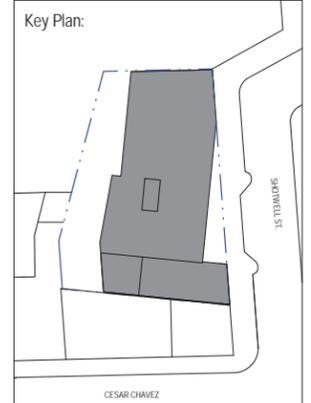


1 Level 4
 A2.4 1/8" = 1'-0"



1 Level 5
A2.5 1/8" = 1'-0"

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APN:
Sheet Title:
LEVEL 5 FLOOR PLAN

Scale:
As indicated



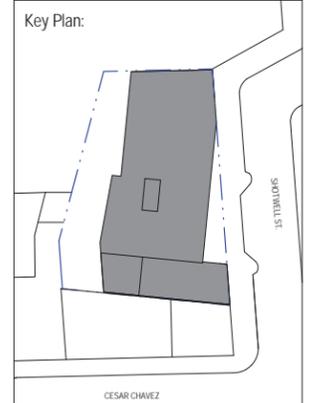
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Date: 2/24/2016	



1 LEVEL 7
A2.7
1/8" = 1'-0"

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1296 SHOTWELL ST. SENIOR AFFORDABLE HOUSING

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Sheet Title:
LEVEL 7 FLOOR PLAN

Scale:
As indicated

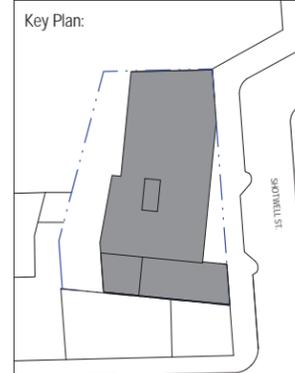


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Sheet Number:
A2.7

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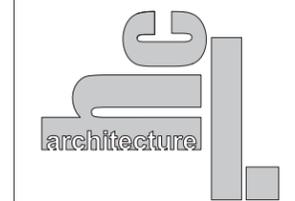
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APN:
 Sheet Title:
LEVEL 8 FLOOR PLAN

Scale:
 As indicated

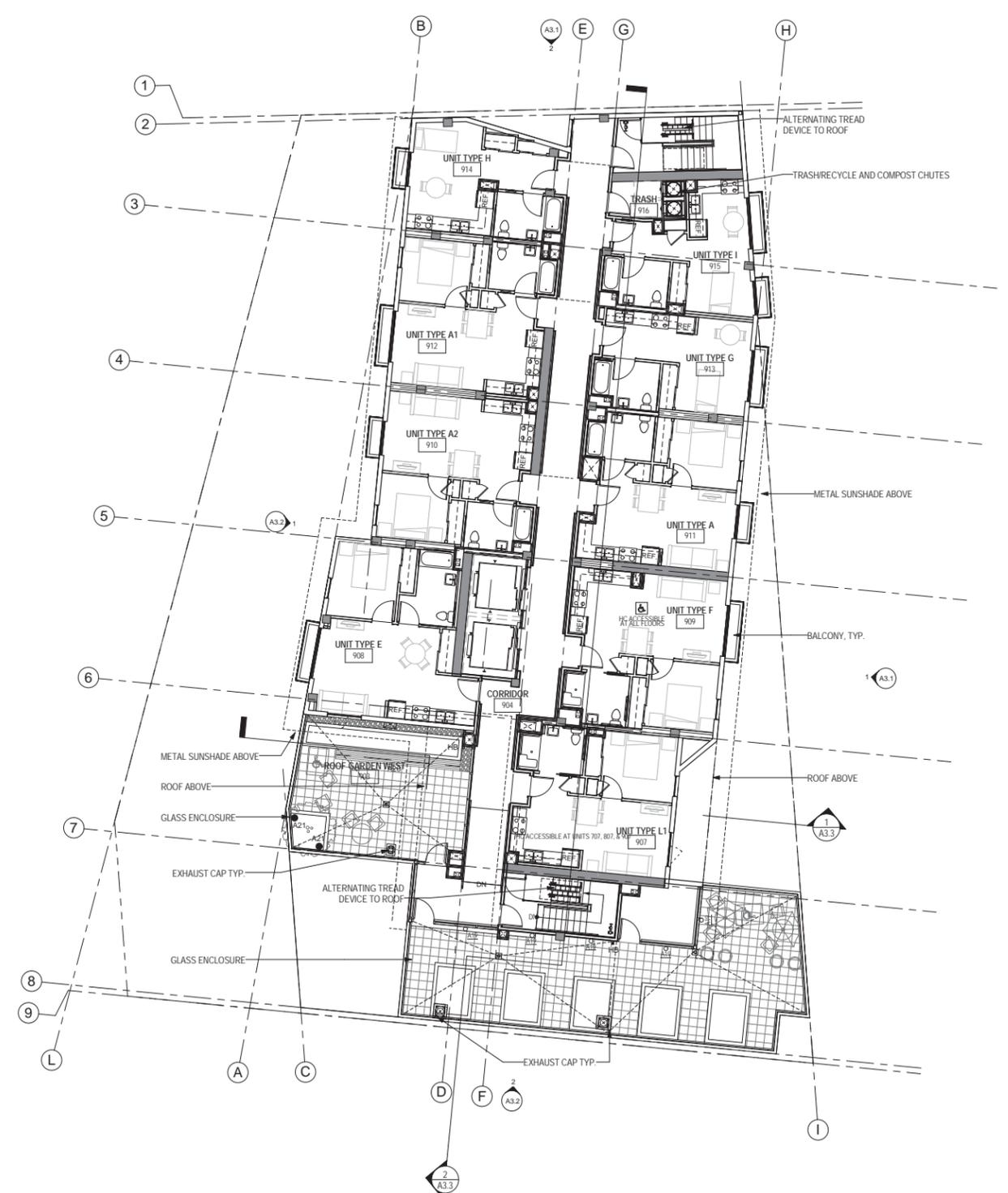


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Date: 2/24/2016	

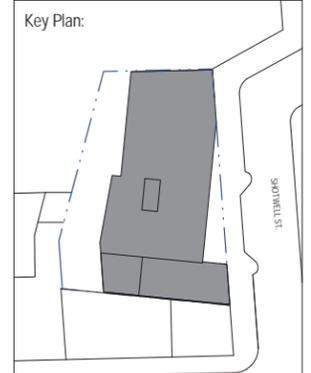


1 LEVEL 8
 A2.8 1/8" = 1'-0"



1 LEVEL 9
A2.9 1/8" = 1'-0"

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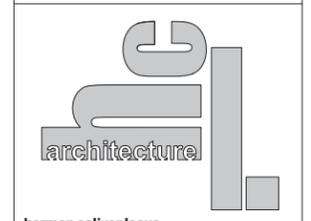
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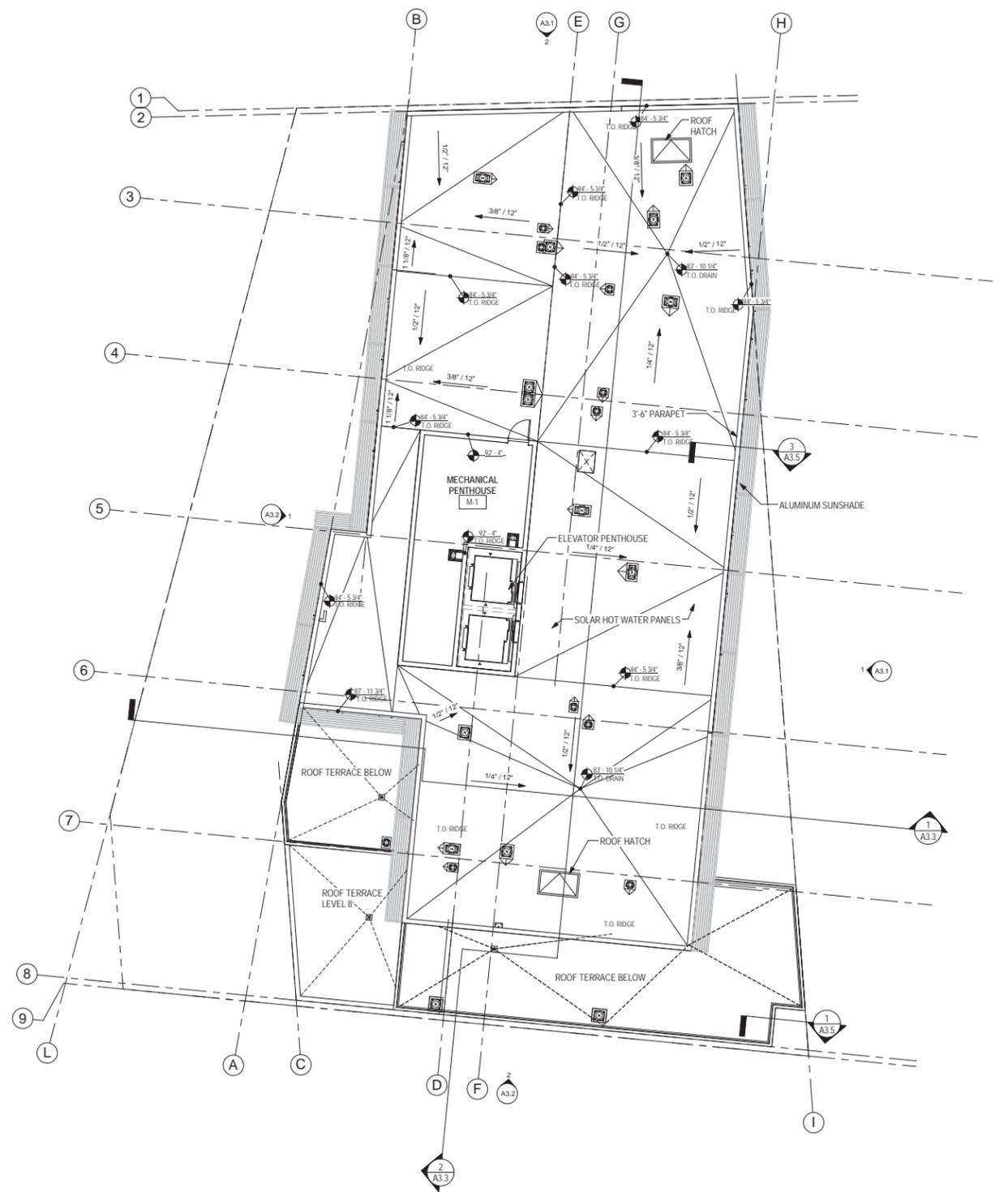
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LEVEL 9 FLOOR PLAN

Scale:
As indicated



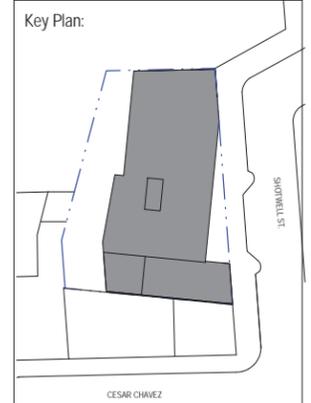
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Checked: Date: 2/24/2016 **A2.9**



1 ROOF
A2.10
1/8" = 1'-0"

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Project Number 1504
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1296 SHOTWELL ST. SENIOR AFFORDABLE HOUSING
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APN:
Sheet Title:
ROOF PLAN

Scale:
As indicated

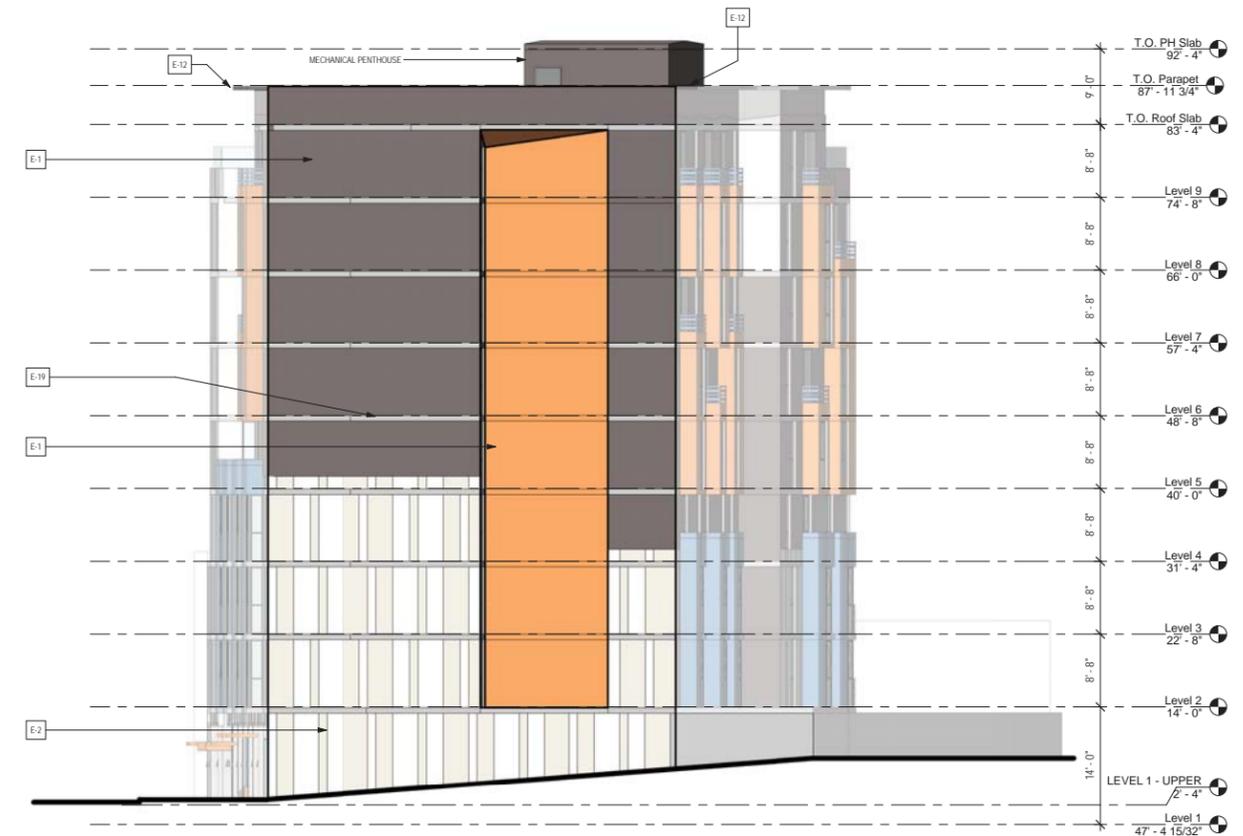


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Date: 2/24/2016	



1
A3.1 ELEVATION-EAST MAIN FACADE
1/8" = 1'-0"



2
A3.1 ELEVATION-NORTH
1/8" = 1'-0"

- TYPICAL SHEET NOTES
DRAWING NOTES - EXTERIOR ELEVATIONS
- E-1 EXTERIOR CEMENT PLASTER, 2 COLORS
 - E-2 FIBER CEMENT PANELS, 2 COLORS
 - E-3 STAINED CONCRETE
 - E-4 CONCRETE PLANTER WALL, SLD
 - E-5 PRE-FINISHED ALUMINUM AND GLASS STOREFRONT SYSTEM
 - E-6 FIBER CEMENT PANELS, ACCENT COLOR
 - E-7 PTD. ALUMINUM WINDOWS & DOORS
 - E-8 PRE-FINISHED ALUMINUM STORE FRONT WINDOW
 - E-9 METAL RAILING AT BALCONY
 - E-10 GLASS ENCLOSURE AT ROOF TERRACES
 - E-11 DECORATIVE METAL FENCE AND ENTRY GATE
 - E-12 METAL SUNSHADE
 - E-13 OVERHEAD COLING DOOR
 - E-14 CUSTOM LASER CUT METAL SCREENS
 - E-15 PNTD. MTL. LOUVER, S.M.D AND STOREFRONT/LOUVER TYPES
 - E-16 WALL MOUNTED LIGHT FIXTURES, S.E.D & R.C.P.S FOR ADDITIONAL INFO
 - E-17 ALUMINUM MULLION @ CORNER WINDOW
 - E-18 PAINTED ALUMINUM RAILING
 - E-19 EXPOSED CONCRETE SLAB
 - E-20 7 X 7 RECESSED WALK-OFF MAT
 - E-21 METAL AND GLASS ENTRY CANOPY

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Key Plan:

General Notes/Legend:
PHASE

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APN:
Sheet Title:
EXTERIOR ELEVATIONS

Scale:
1/8" = 1'-0"



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A3.1



1 ELEVATION-WEST
A3.2 1/8" = 1'-0"



2 ELEVATION-SOUTH
A3.2 1/8" = 1'-0"

TYPICAL SHEET NOTES
DRAWING NOTES - EXTERIOR ELEVATIONS

Discipline: _____

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General Notes/Legend:
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APN:
Sheet Title:
EXTERIOR ELEVATIONS

Scale: 1/8" = 1'-0"

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Key Plan:

General Notes/Legend:
 PHASE

Consultant:

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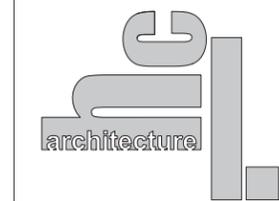
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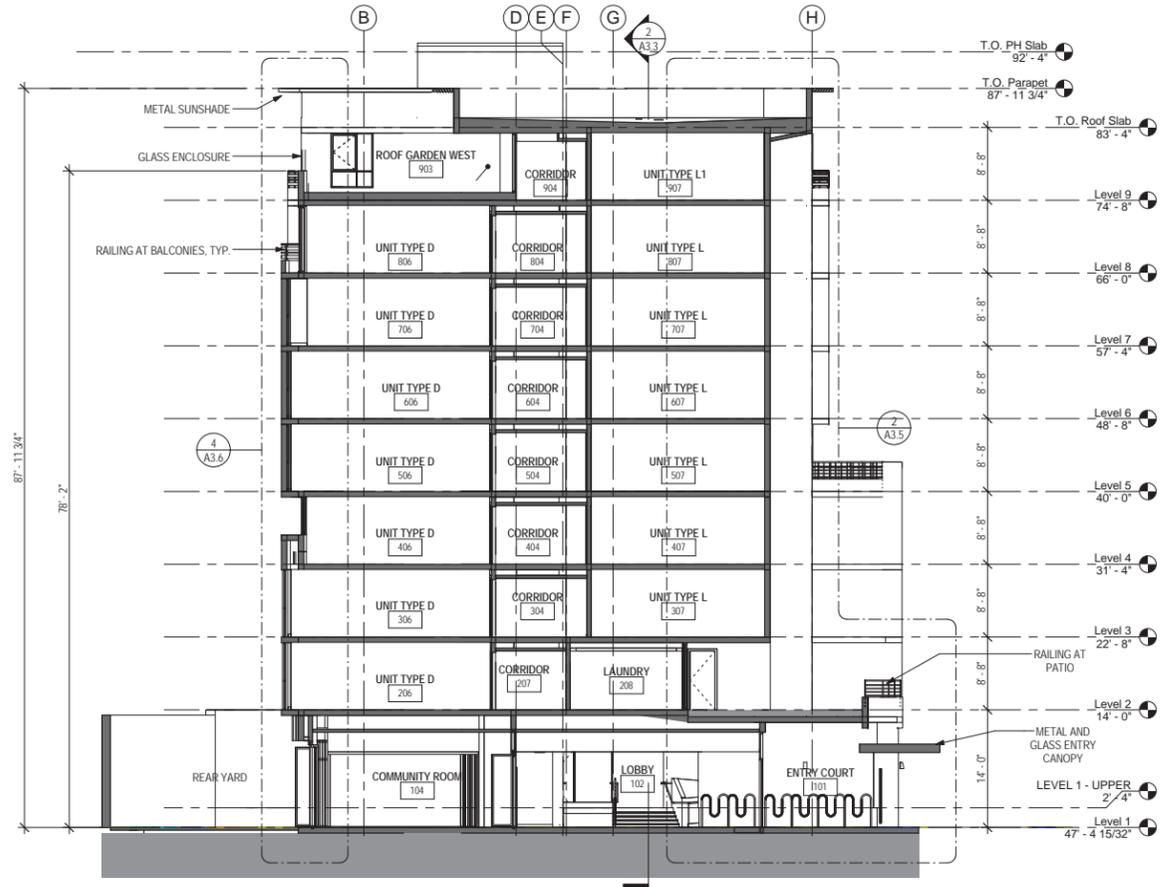
APN:
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BUILDING SECTIONS

Scale:
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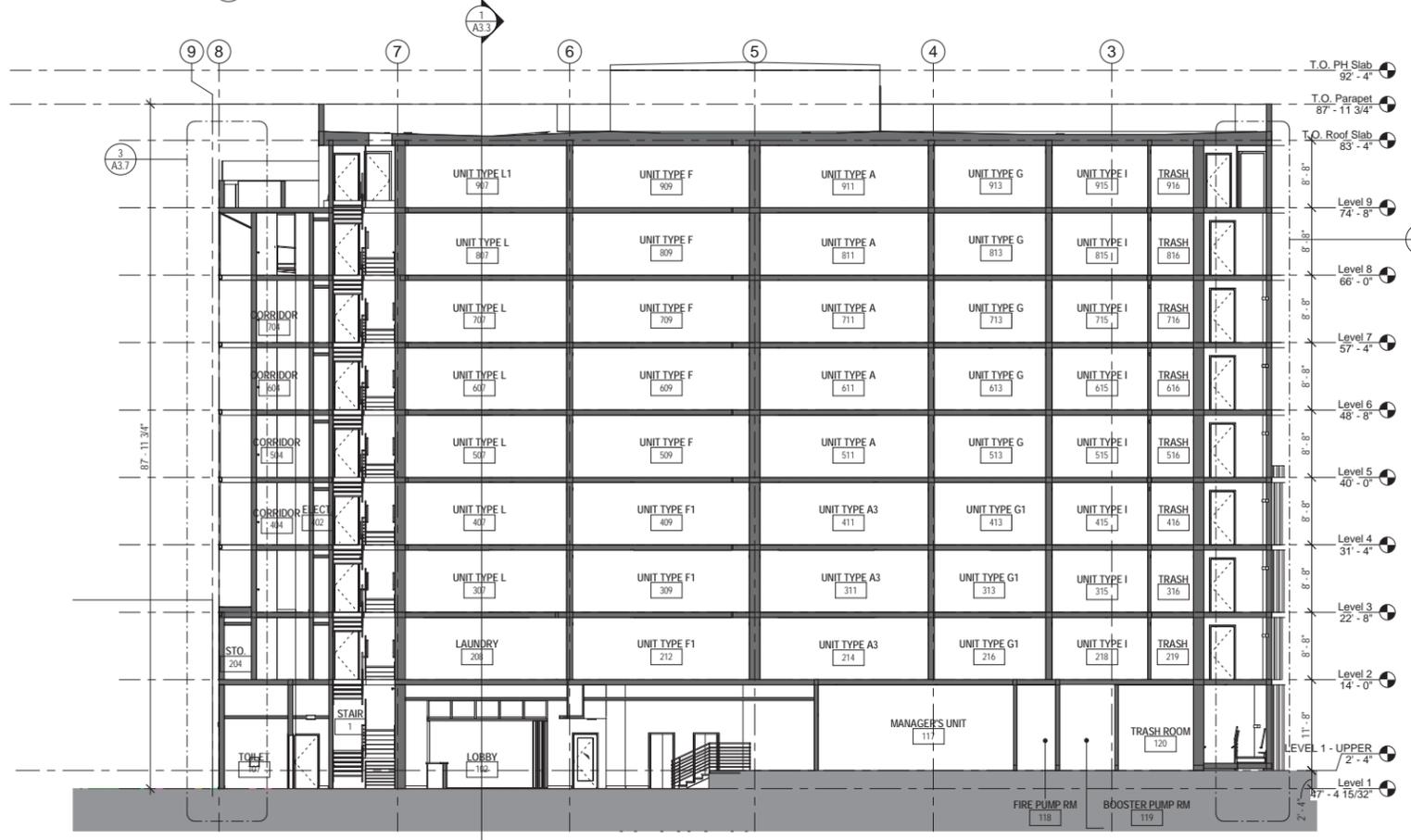


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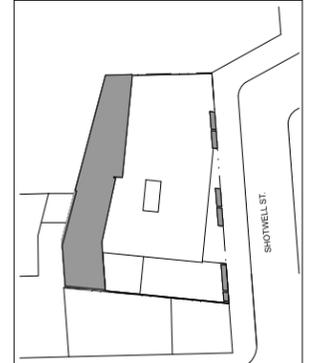


1 Section 1
 A3.3 1/8" = 1'-0"



2 Section 2
 A3.3 1/8" = 1'-0"

Within dimensions on these drawings, the contractor shall be responsible for providing the necessary details and conditions on the job and this office shall be notified of any variations from the dimensions and conditions shown by these drawings. The contractor shall be responsible for submitting all drawings for approval before proceeding with construction.



General Notes/ Legend:

Consultant:
MILLER COMPANY
 landscape architects
 1585 FOLSOM ST. SAN FRANCISCO, CA 94103
 415.252.7288 www.millercomp.com
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Project Number
 Project Title:
**1296 SHOTWELL ST.
 SENIOR AFFORDABLE
 HOUSING**
 1296 Shotwell St.
 San Francisco, CA 94110
 APN: 000 000000000
 Sheet Title:
**LANDSCAPE
 MATERIALS PLAN,
 LEVEL 1**

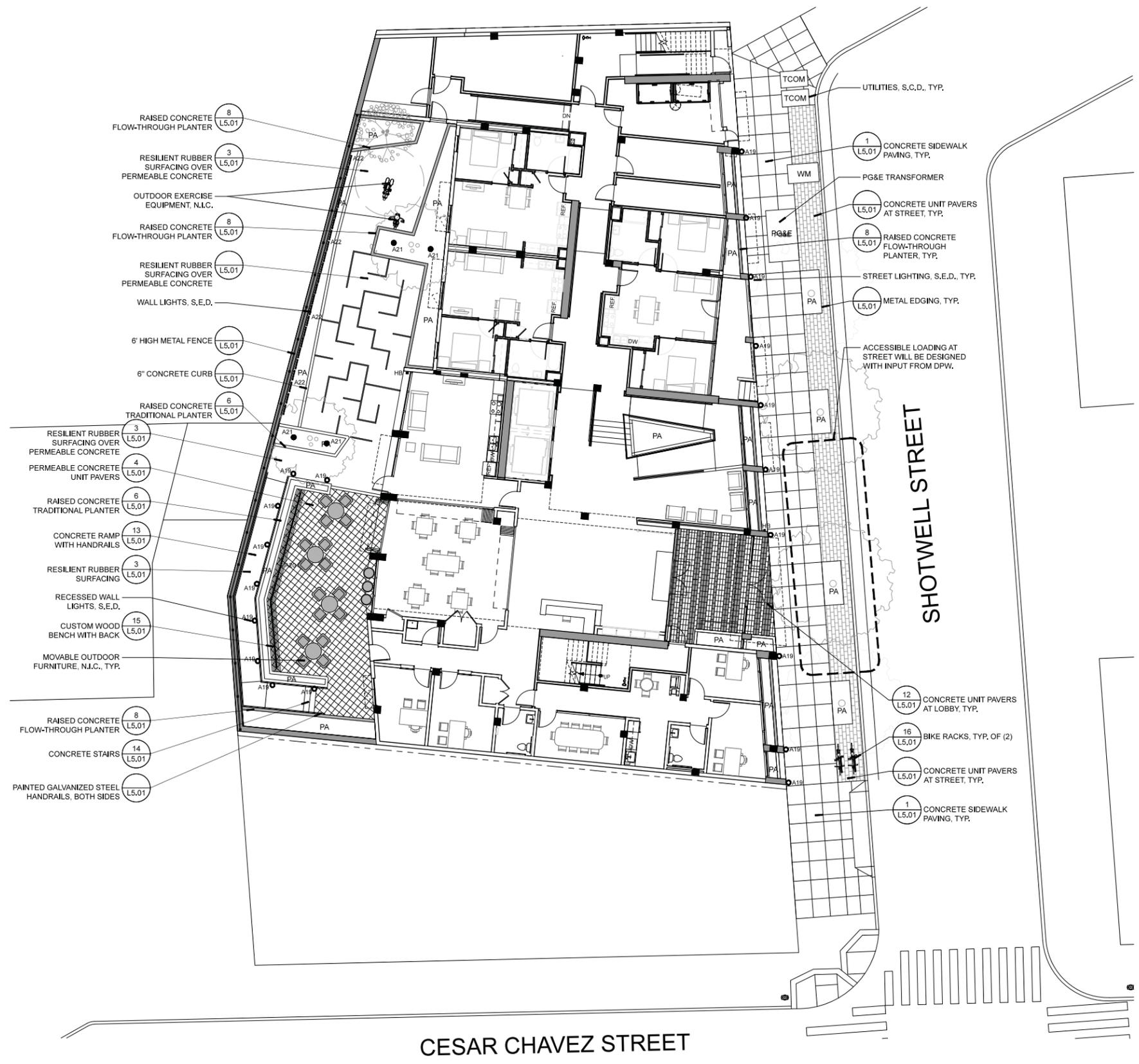
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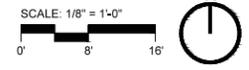
GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL ADA REQUIREMENTS, AND SHALL BE PERFORMED IN CONFORMANCE WITH ALL APPLICABLE LOCAL CODES AND ORDINANCES.
2. ALL PLANTED AREAS WILL BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM, INCLUDING BACKFLOW PREVENTOR(S), IRRIGATION SUBMETER, SMART CONTROLLER(S), WEATHER SENSOR, AND REMOTE CONTROL VALVES.
3. ALL RAISED PLANTERS WILL INCLUDE WATERPROOFING, DRAIN MAT, AREA DRAINS AND CLEANOUTS.
4. ALL PERMEABLE PAVING (UNIT PAVERS AND RESILIENT RUBBER SURFACING) IN LEVEL 1 COURTYARD WILL HAVE PIPED SUBSURFACE DRAINAGE.
5. OUTDOOR LIGHTING NOT SHOWN ON PLANS.
6. PROJECT WILL BE GREEN POINT RATED.
7. PLANTING AND IRRIGATION WILL COMPLY WITH CURRENT WATER EFFICIENT LANDSCAPE ORDINANCE.



CESAR CHAVEZ STREET

SHOTWELL STREET



IF THIS SHEET IS SMALLER THAN 30"x42" THEN IT HAS BEEN REDUCED

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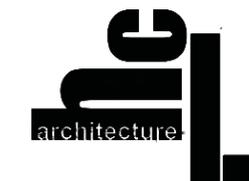
Consultant:
MILLER COMPANY
 landscape architects
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 415.252.7288 www.millercomp.com
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Project Number
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**1296 SHOTWELL ST.
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 HOUSING**
 1296 Shotwell St.
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Sheet Title:
**LANDSCAPE
 MATERIALS PLAN,
 LEVEL 2**

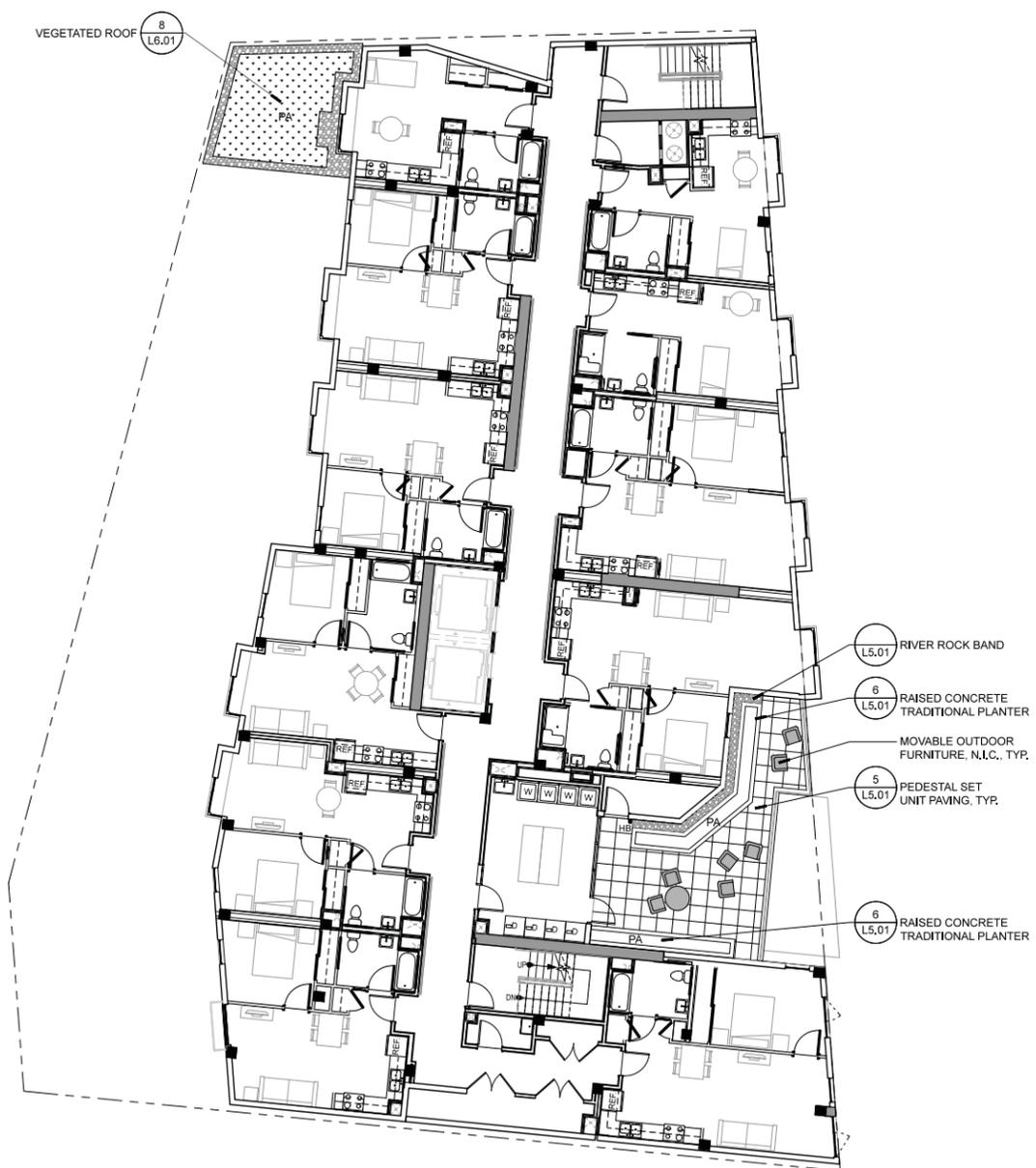
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L1.02



01-10000
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CESAR CHAVEZ

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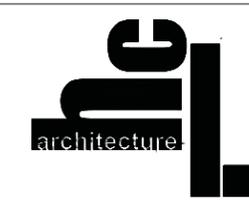
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 San Francisco, CA 94110
 APN: 000 000000000

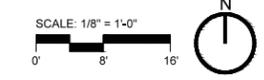
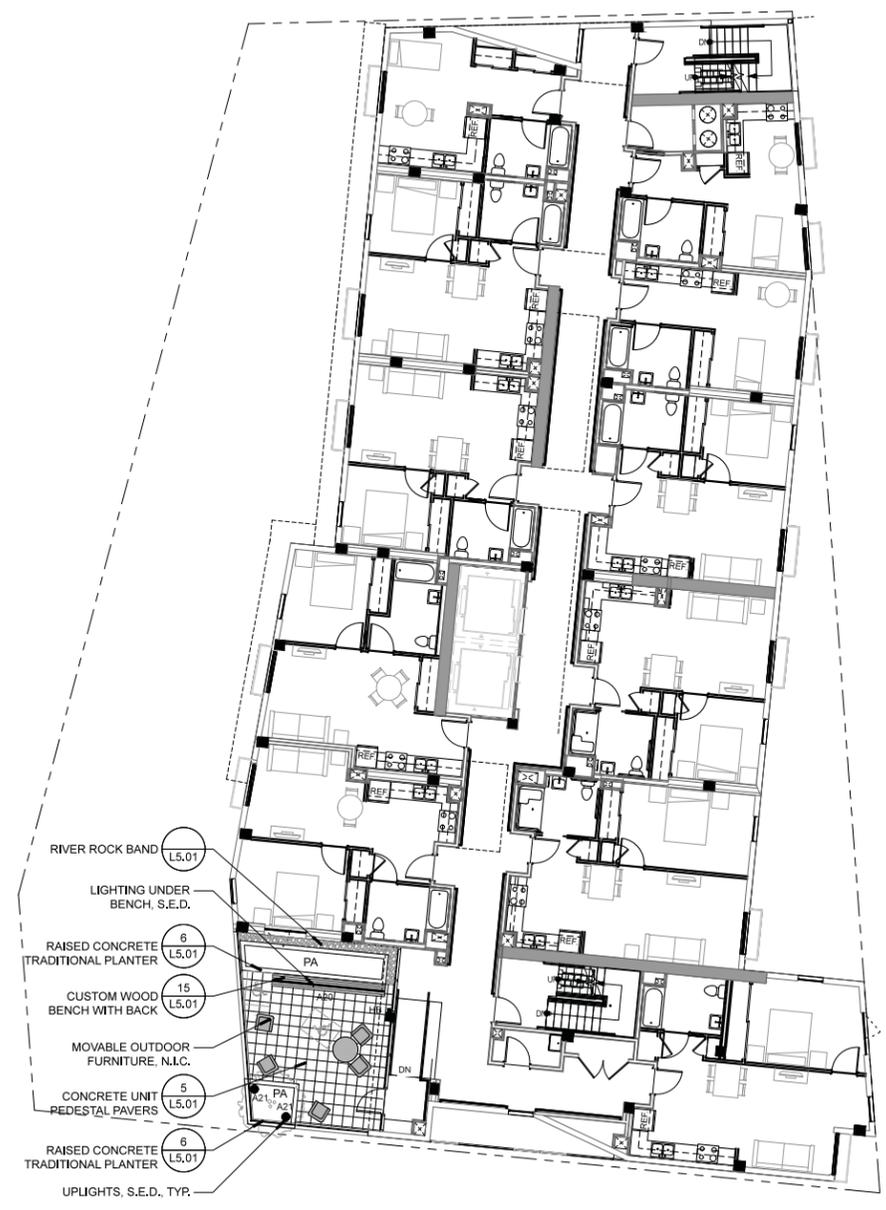
Sheet Title:
**LANDSCAPE
 MATERIALS PLAN,
 LEVEL 8**

Scale:

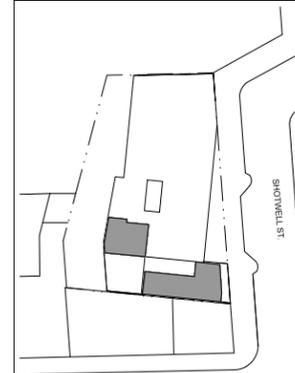


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Drawn By:	Author	Sheet Number:
Checked:		L1.08
Date:	2/24/2016	



Within dimensions on these drawings shall have precedence over section dimensions. Contractors shall verify, and be responsible for, dimensions and conditions on the job and this office shall be notified of any variations from the dimensions and conditions shown by these drawings. Such items shall be submitted to this office for approval before proceeding with fabrication.



CESAR CHAVEZ

General Notes/Legend:

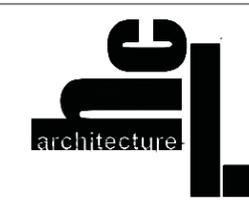
Consultant:
MILLER COMPANY
 landscape architects
 1585 FOLSOM ST. SAN FRANCISCO, CA 94103
 415.252.7288 www.millercomp.com

Rev. No.	Revision	Date
PROGRESS SET		06/09/2016
PROGRESS SET		10/14/2016
SITE PERMIT RE-SUBMITTAL/AHDBP		10/31/2016

Project Number
 Project Title:
**1296 SHOTWELL ST.
 SENIOR AFFORDABLE
 HOUSING**
 1296 Shotwell St.
 San Francisco, CA 94110
 APN: 000 000000000

Sheet Title:
**LANDSCAPE
 MATERIALS PLAN,
 LEVEL 9**

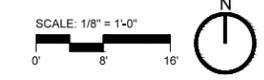
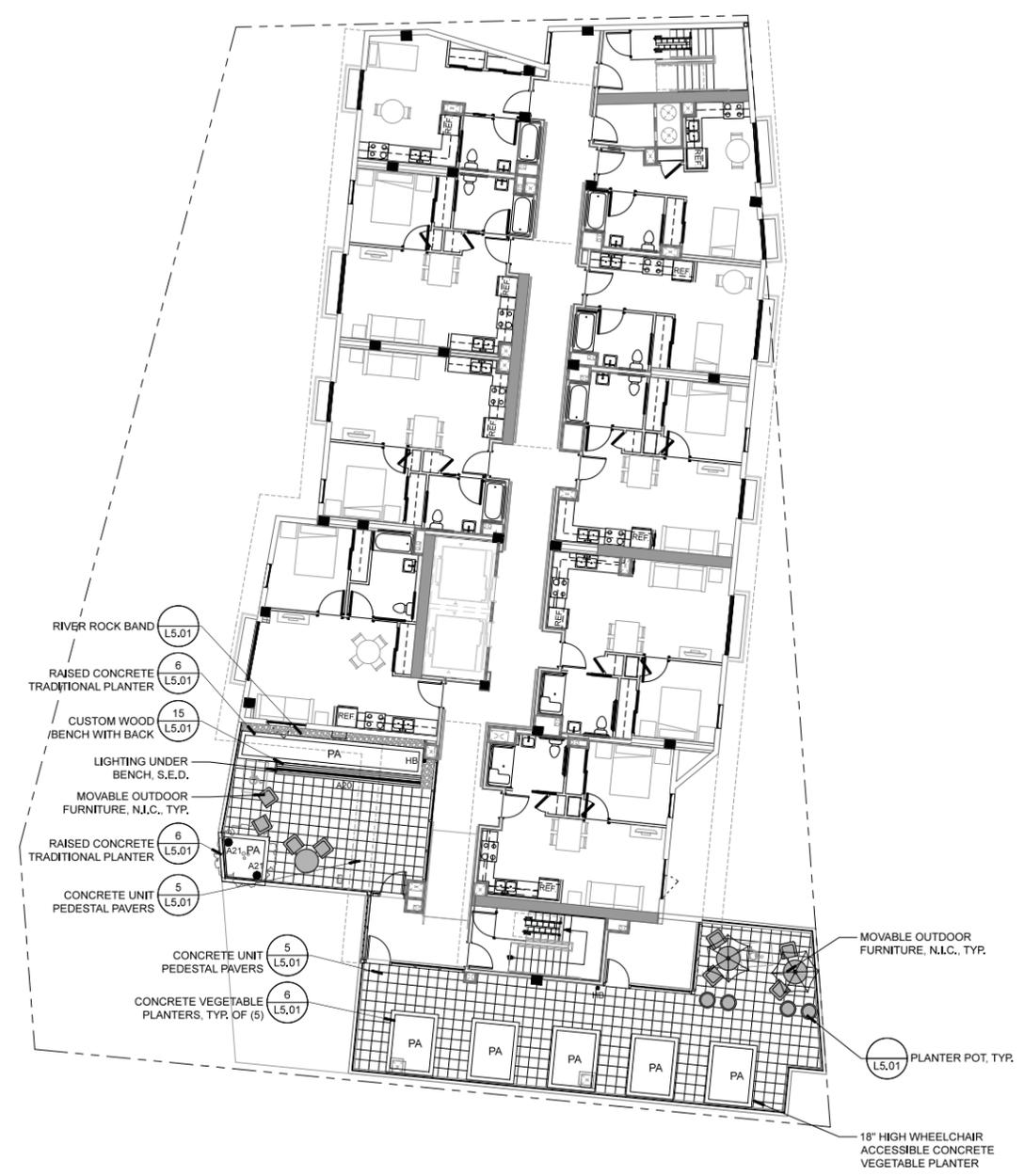
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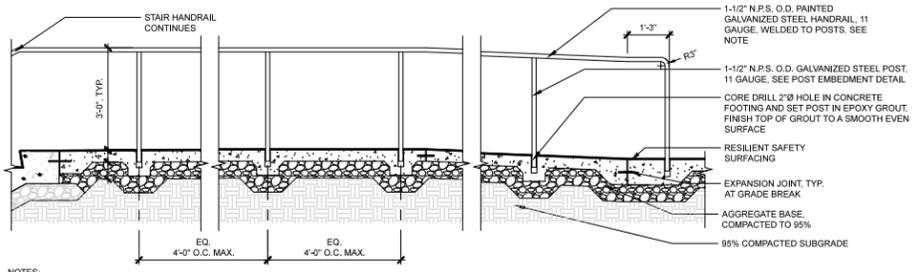


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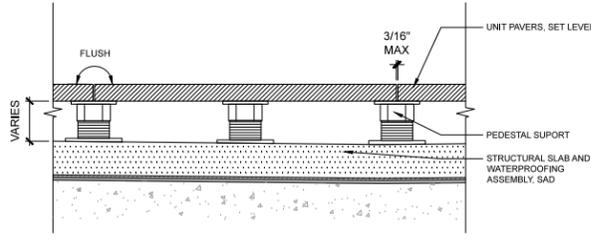
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 Date: 2/24/2016

Sheet Number:
L1.09

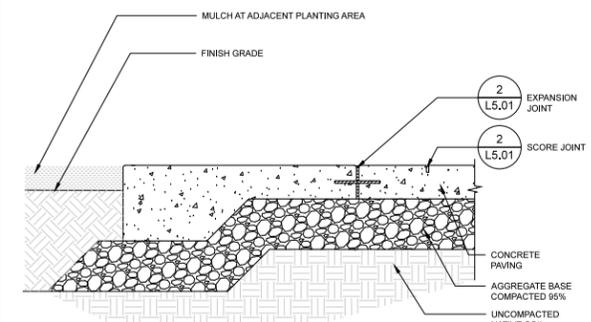




NOTES:
1. SEE GRADING PLAN FOR RAMP AND LANDING SLOPES.



NOTES:
1. SEE SCHEDULE OF MATERIALS FOR PAVER AND PEDESTAL SUPPORT.
2. SEE MEP DRAWINGS FOR DRAIN LOCATIONS.



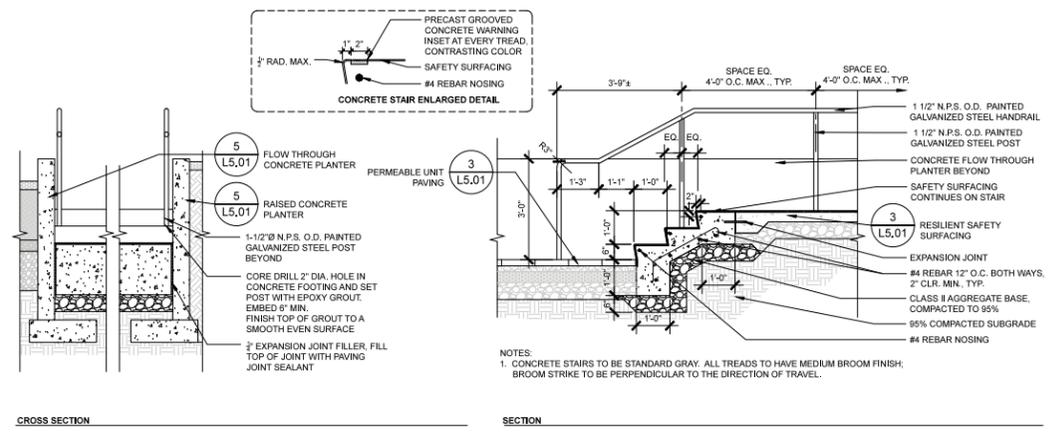
NOTES:
1. CONFORM TO SFDWP STANDARD FOR REINFORCED CONCRETE SIDEWALK CONSTRUCTION.
2. PROVIDE REBAR AS NOTED IN CIVIL DRAWINGS.
3. PROVIDE THICKENED EDGE AS SHOWN AT ALL PAVING AREAS ADJACENT TO PLANTING AREAS, VAULTS AND VERTICAL SURFACES.
4. SEE SCHEDULE OF MATERIALS (L1.0) FOR COLOR AND FINISH.

General Notes/Legend:
Consultant:
MILLER COMPANY
landscape architects
1585 FOLSOM ST. SAN FRANCISCO, CA 94103
415.252.7288 www.millercomp.com
Stamp:
Rev. No. Revision Date
PROGRESS SET 06/09/2016
PROGRESS SET 10/14/2016
SITE PERMIT RE-SUBMITTAL/AHDBP 10/31/2016
Project Number
Project Title:
1296 SHOTWELL ST. SENIOR AFFORDABLE HOUSING
1296 Shotwell St.
San Francisco, CA 94110
APN: 000 000000000
Sheet Title:
LANDSCAPE DETAILS
Scale:
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Drawn By: Author
Checked:
Date: 2/24/2016
Sheet Number:
L5.01

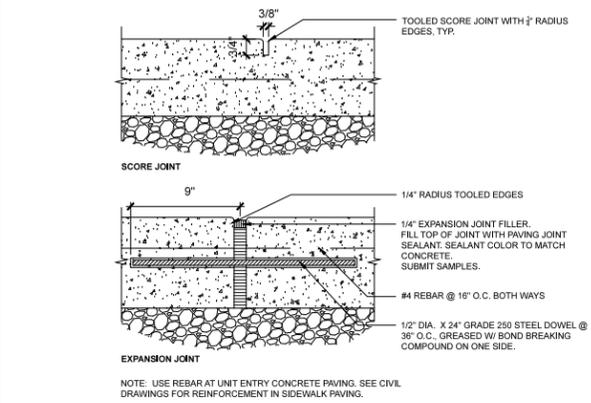
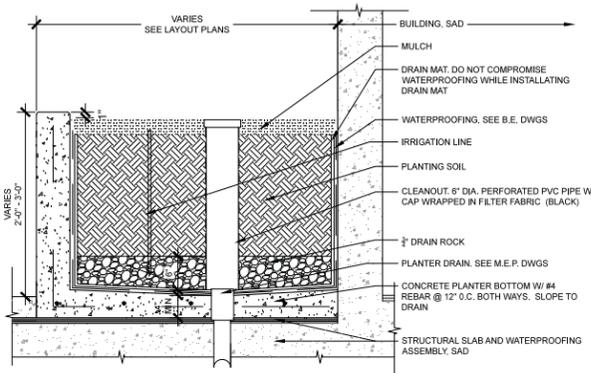
13 CONCRETE RAMP WITH STEEL HANDRAILS
SCALE: 1/2"=1'-0"

5 PEDESTAL SET UNIT PAVING
SCALE: 1-1/2"=1'-0"

1 CONCRETE SIDEWALK PAVING
SCALE: 1-1/2"=1'-0"



NOTES:
1. CONCRETE STAIRS TO BE STANDARD GRAY. ALL TREADS TO HAVE MEDIUM BROOM FINISH. BROOM STRIKE TO BE PERPENDICULAR TO THE DIRECTION OF TRAVEL.

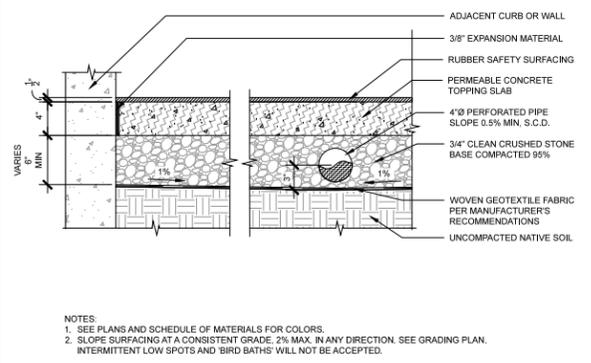
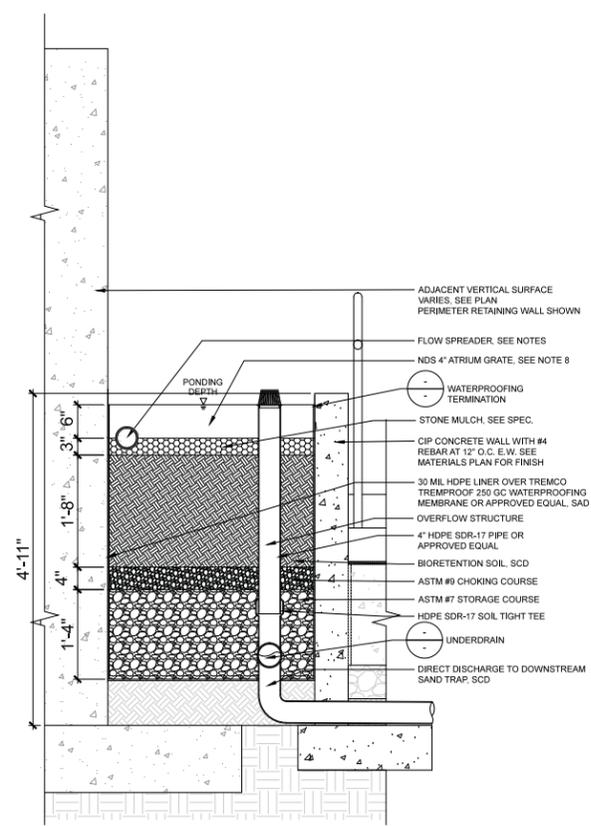
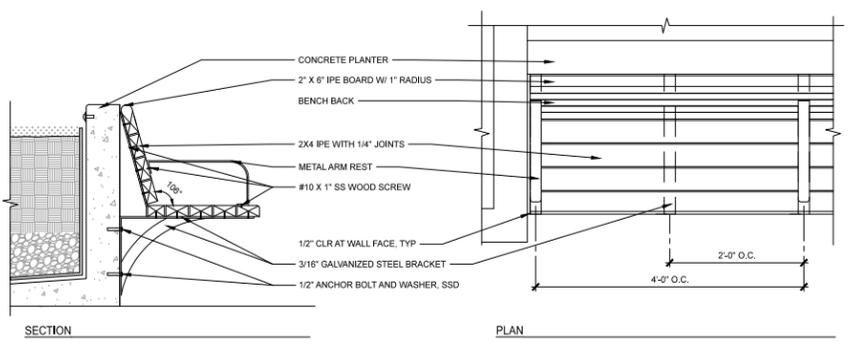


NOTE: USE REBAR AT UNIT ENTRY CONCRETE PAVING. SEE CIVIL DRAWINGS FOR REINFORCEMENT IN SIDEWALK PAVING.

14 CONCRETE STAIRS
SCALE: 1/2"=1'-0"

6 RAISED CONCRETE PLANTER
SCALE: 1"=1'-0"

2 CONCRETE PAVING JOINTS
SCALE: N.T.S.

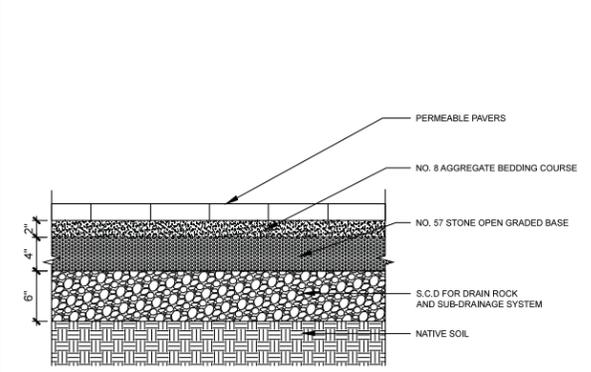
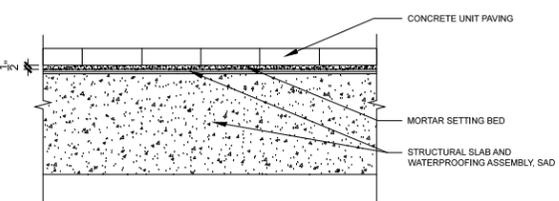
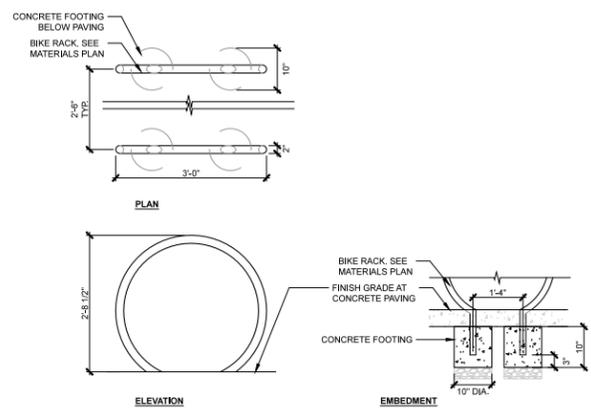


NOTES:
1. SEE PLANS AND SCHEDULE OF MATERIALS FOR COLORS.
2. SLOPE SURFACING AT A CONSISTENT GRADE. 2% MAX. IN ANY DIRECTION. SEE GRADING PLAN. INTERMITTENT LOW SPOTS AND BIRD BATHS WILL NOT BE ACCEPTED.

15 BUILT-IN WOOD BENCH WITH BACK AND ARM RESTS
SCALE: 1"=1'-0"

8 RAISED CONCRETE FLOW THROUGH PLANTER
SCALE: 1"=1'-0"

3 RESILIENT RUBBER SURFACING OVER PERMEABLE CONCRETE
SCALE: 1-1/2"=1'-0"



16 BIKE RACK AT SIDEWALK
SCALE: N.T.S.

12 CONCRETE UNIT PAVING AT LOBBY
SCALE: 1-1/2"=1'-0"

4 PERMEABLE UNIT PAVING
SCALE: 1-1/2"=1'-0"