



# SAN FRANCISCO PLANNING DEPARTMENT

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## Discretionary Review Abbreviated Analysis

HEARING DATE: JANUARY 19, 2017

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

*Date:* January 5, 2017  
*Case No.:* **2015-015904DRP**  
*Project Address:* **1825 Webster Street**  
*Permit Application:* 2015.11.12.2215  
*Zoning:* RH-2 (Residential, House, Two-Family)  
40-X Height and Bulk District  
*Block/Lot:* 0660/060  
*Applicant:* Illeana Figueroa  
Sutro Architects  
1005 Post Street  
San Francisco, CA 94109  
*Staff Contact:* Chris May – (415) 575-9087  
[christopher.may@sfgov.org](mailto:christopher.may@sfgov.org)  
*Recommendation:* **Do not take DR and approve as revised**

### PROJECT DESCRIPTION

The existing two-story single-family dwelling is approximately 19 feet in height and is situated on a laterally-sloping corner lot fronting Webster Street. The proposal includes the construction of a 3-story horizontal rear addition, 3- and 4-story horizontal additions on the north side, and a two-story vertical addition. New roof decks above the 3<sup>rd</sup> floor are proposed at the front and rear of the new 4<sup>th</sup> story. Façade changes to the front and side of the building are proposed, including a new two-story bay window at the 2<sup>nd</sup> and 3<sup>rd</sup> floors, and new windows, doors and cladding materials. Modifications to the interior of the dwelling are also proposed. The 4<sup>th</sup> floor is proposed to be set back 3 feet from the south side lot line. A 2<sup>nd</sup> floor balcony is proposed at the rear of the building with stairs into the rear yard. Planning Department staff reviewed the demolition calculation statistics and determined that the project is not considered tantamount to demolition, per Section 317 of the Planning Code. The project is not seeking any variances or modifications to the requirements of the Planning Code.

### SITE DESCRIPTION AND PRESENT USE

The project site is a rectangular-shaped lot located on the southwest corner of Webster and Wilmot Streets in the Western Addition neighborhood, and is developed with a two-story single-family dwelling constructed in 1945. The lot is approximately 27.5 feet wide and 58 feet deep. The Webster Street frontage is considered to be the front lot line, with the north side of the lot abutting Wilmot Street, which is approximately 20 feet in width. The subject lot is approximately 1,602 square feet and, due to a lot subdivision in 1992, is somewhat shallower in depth compared with other lots in the neighborhood. The subdivision of the subject property, which required a variance to the minimum lot area requirements of the Planning Code, facilitated the transfer of the detached rear garage to the abutting property at 2104 Bush Street.

## SURROUNDING PROPERTIES AND NEIGHBORHOOD

This portion of the Western Addition neighborhood is characterized primarily by three- and four-story single family homes and multi-family apartment buildings largely constructed shortly before and after the Great Earthquake and Fire of 1906. Buildings on the east side of Webster Street directly across from the subject property are generally three stories, transitioning to a four-story multi-family building at the southeast corner of Webster and Pine Streets. Uphill to the north, directly across Wilmot Street, is a three-unit, four-story residential building. To the south, and downhill from the subject property, are several three- and four-story single-family dwellings fronting onto Bush Street. To the west of the subject property, abutting its rear lot line, is a three-story, two-unit building constructed in 2013.

## BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	August 3, 2016 – September 1, 2016	August 31, 2016	December 8, 2016	99 days

## HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	November 28, 2016	November 28, 2016	10 days
Mailed Notice	10 days	November 28, 2016	November 28, 2016	10 days

## PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	--	1 (2100 Bush St)	--
Other neighbors on the block or directly across the street	--	3 (1837-1841 Webster St) - DR Requestor represents 3-unit HOA	--
Neighborhood groups	--	-	--

No other neighborhood comments have been received regarding this project.

## DR REQUESTOR

Jason Lund, President of the 1837-1839-1841 Webster Street HOA.

## DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Application*, dated August 31, 2016.

## **PROJECT SPONSOR'S RESPONSE TO DR APPLICATION**

See attached *Response to Discretionary Review*, dated November 24, 2016.

## **ENVIRONMENTAL REVIEW**

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class 1 - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

## **RESIDENTIAL DESIGN TEAM REVIEW**

The Residential Design Team considered the DR Application on October 27 2016, and recommended that the size and placement of the proposed stairwell windows, which would face the DR Requestor's property, be reduced in order to mitigate the privacy concerns raised in the DR application. The project sponsor reduced the size and placement of the windows on this portion of the building accordingly, and the Planning Department staff therefore determined that the revised project does not contain or create exceptional or extraordinary circumstances. Specifically, the DR Requestor's issues regarding the loss of light and privacy are neither extraordinary nor exceptional as the width of Wilmot Street provides a substantial buffer from the side façade of the requestor's property. Furthermore, the project's side elevation is articulated, with the majority of the Wilmot Street façade set back more than 2 ½ feet from the side property line, thus providing additional separation from the DR Requestor's property. In addition, the windows on the 4-story stairwell portion that faces the DR Requestor's property have been reduced in size and are proposed to be partially obscured by means of a decorative metal screen, which will mitigate privacy-related concerns.

**Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.**

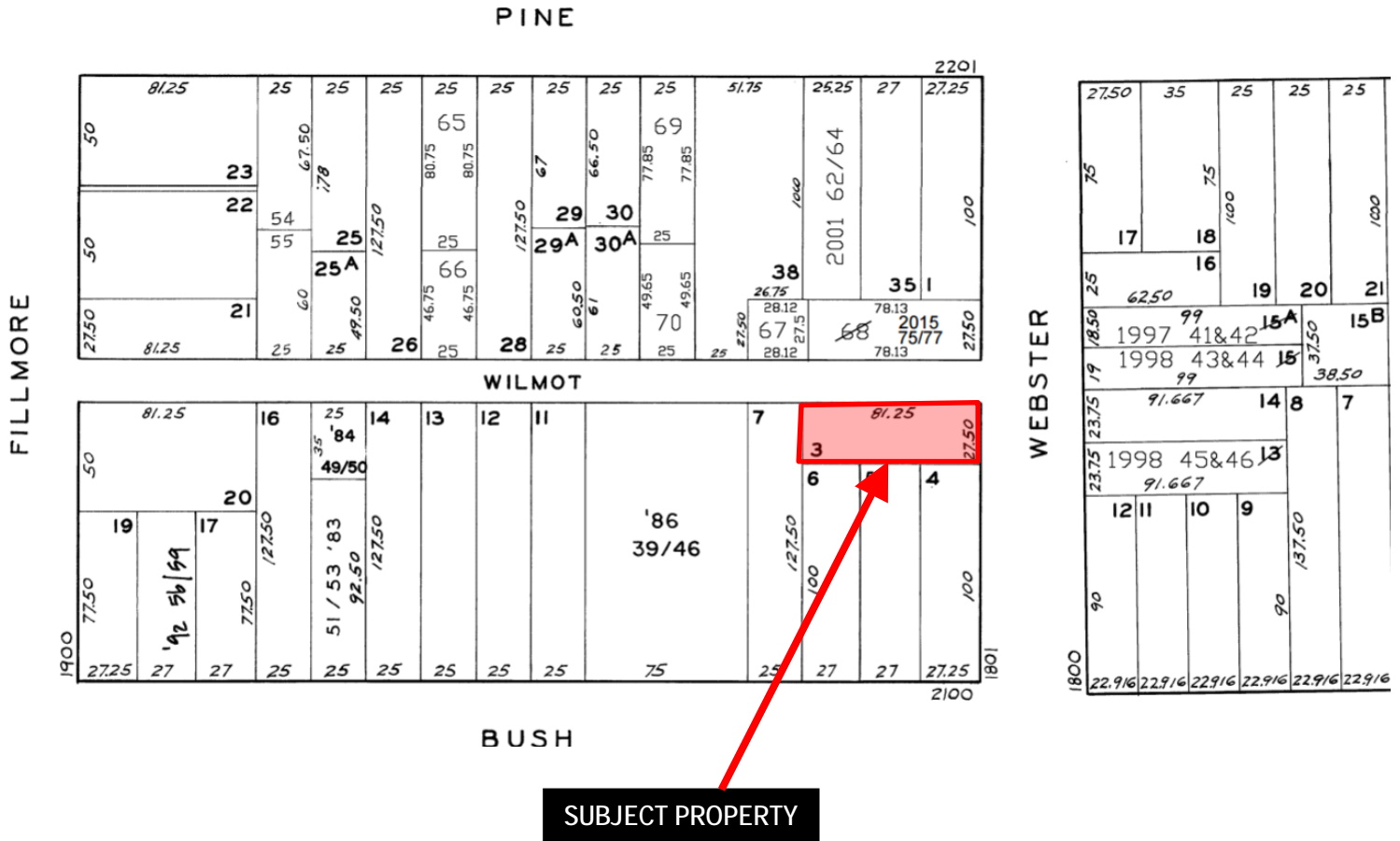
<b>RECOMMENDATION:</b>	<b>Do not take DR and approve project as revised</b>
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### **Attachments:**

Block Book Map  
Sanborn Map  
Zoning Map  
Aerial Photographs  
Context Photographs  
Section 311 Notice  
DR Application dated August 31, 2016  
Response to DR Application dated November 24, 2016  
Reduced Plans

CM: G:\Projects\1825 Webster St\DR - Abbreviated Analysis.doc

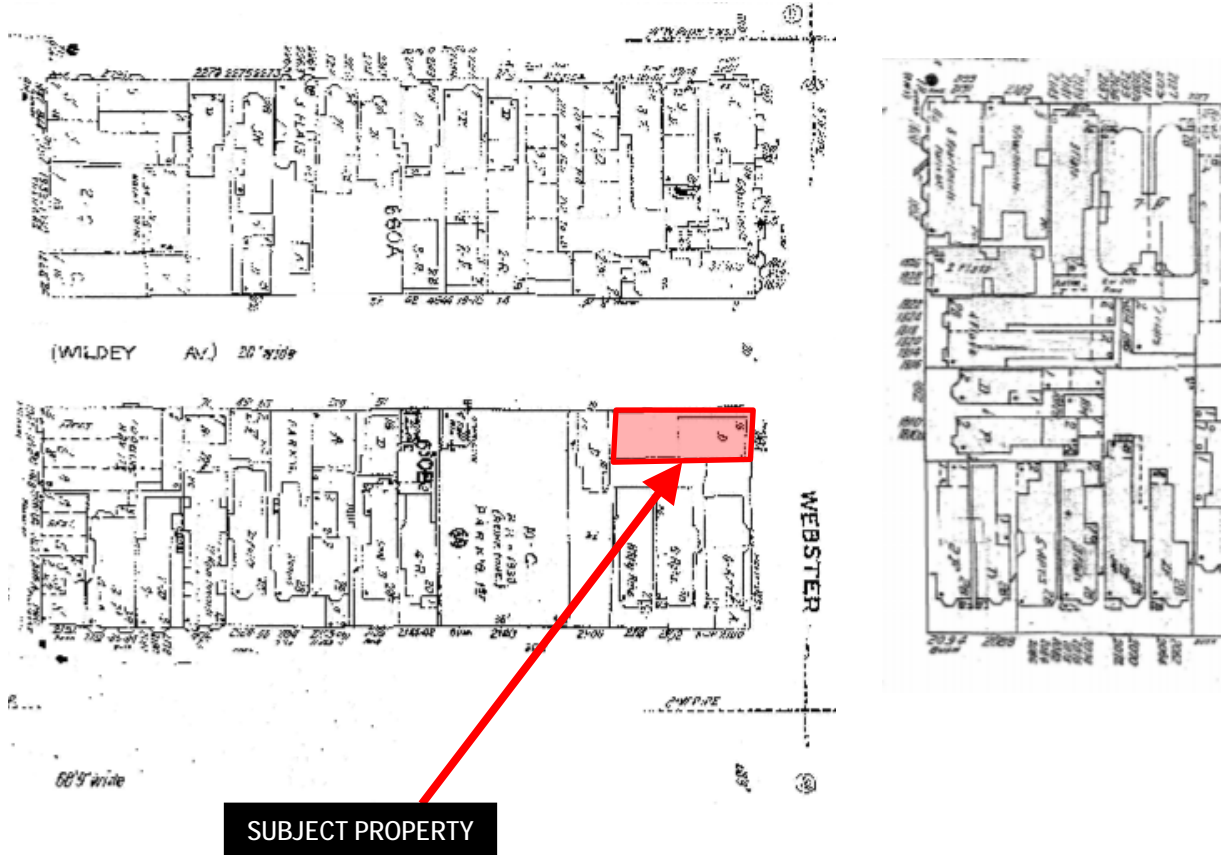
# Parcel Map



Discretionary Review Hearing  
**Case Number 2015-012110DRP**  
 1825 Webster Street



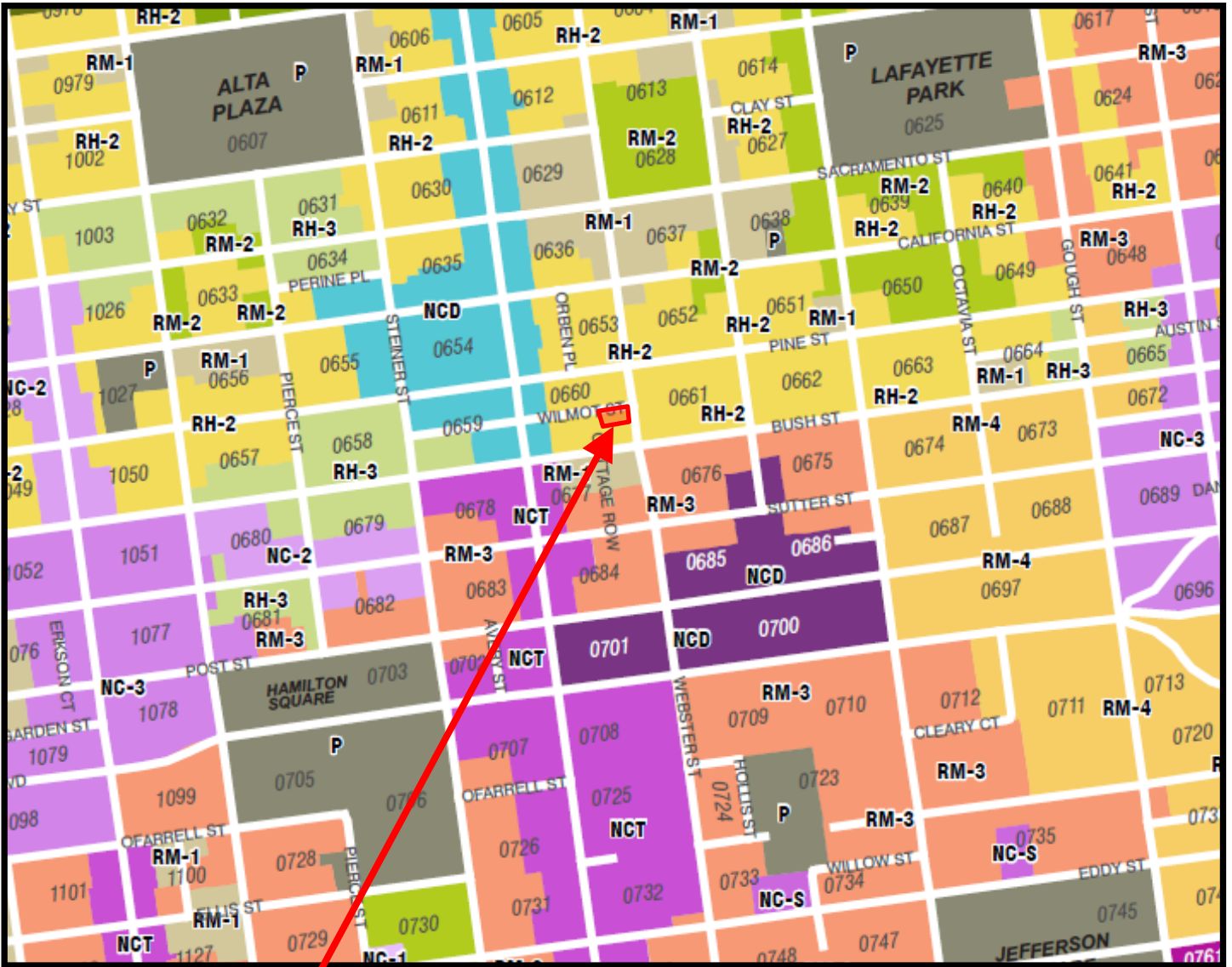
# Sanborn Map\*



\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



# Zoning Map

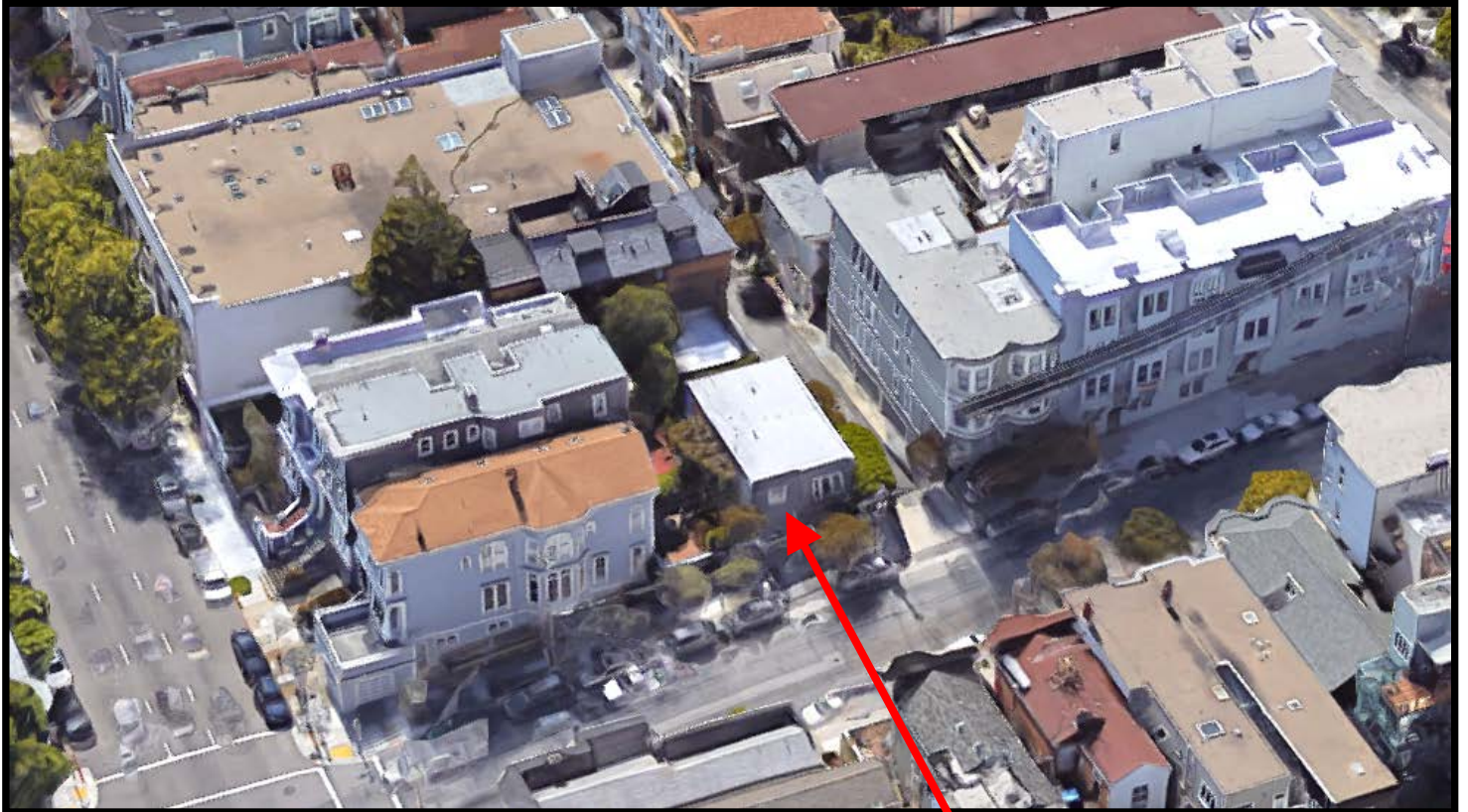


## SUBJECT PROPERTY



Discretionary Review Hearing  
**Case Number 2015-012110DRP**  
 1825 Webster Street

# Aerial Photo (Facing West)



SUBJECT PROPERTY





# Site Photo



SUBJECT PROPERTY





# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

## NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311/312)

On **November 12, 2015**, the Applicant named below filed Building Permit Application No. **2015.11.12.2458** with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	<b>1825 Webster Street</b>	Applicant:	<b>Illeana Figueroa, Sutro Architects</b>
Cross Street:	<b>Wilmont Street</b>	Address:	<b>1055 Post Street</b>
Block/Lot No.:	<b>0660/060</b>	City, State:	<b>San Francisco, CA 94109</b>
Zoning District(s):	<b>RH-2 / 40-X</b>	Telephone:	<b>(415) 956-2445</b>

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input checked="" type="checkbox"/> Rear Addition	<input checked="" type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	No Change
Front Setback	1 foot	No Change
South Side Setback	0 feet	3 feet (at proposed 4 <sup>th</sup> floor)
Building Depth	39 feet	42 feet
Rear Yard	18 feet	15 feet
Building Height	19 feet	38 feet
Number of Stories	2	4
Number of Dwelling Units	1	No Change
Number of Parking Spaces	1	No Change
PROJECT DESCRIPTION		
<p>The proposal is to construct a 3-story rear horizontal addition, 3- and 4-story north side horizontal additions, and 3<sup>rd</sup> and 4<sup>th</sup> floor vertical additions to the existing two-story, single-family dwelling. New roof decks above the 3<sup>rd</sup> floor are proposed at the front and rear of the dwelling. Façade changes to the front and side of the building are proposed, including a new two-story bay window addition at the 2<sup>nd</sup> and 3<sup>rd</sup> floors, and new windows, doors and cladding materials. Modifications to the interior of the dwelling are also proposed. The proposed 4<sup>th</sup> floor vertical addition is proposed to be set back 3 feet from the south side lot line. A 2<sup>nd</sup> floor balcony is proposed at the rear of the building with stairs into the rear yard. See attached plans.</p> <p>The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.</p>		

**For more information, please contact Planning Department staff:**

Planner: Christopher May

Telephone: (415) 575-9087

E-mail: christopher.may@sfgov.org

**Notice Date: 8/03/2016**

**Expiration Date: 9/01/2016**

# GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at [www.communityboards.org](http://www.communityboards.org) for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at [www.sfplanning.org](http://www.sfplanning.org). You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at [www.sfplanning.org](http://www.sfplanning.org). If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

**Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

## BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

## ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at [www.sfplanning.org](http://www.sfplanning.org). An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



## Application for Discretionary Review

CASE NUMBER:  
For Staff Use

SUBMIT TO  
PLANNING DEPT  
FOR TRANSMITTAL  
TO PERMIT  
APPLICANT

# APPLICATION FOR Discretionary Review

## 1. Owner/Applicant Information

DR APPLICANT'S NAME: JASON LUND, PRESIDENT 1837-1839-1841 WEBSTER STREET HOA		
DR APPLICANT'S ADDRESS: 1837 WEBSTER ST, SAN FRANCISCO CA	ZIP CODE: 94115	TELEPHONE: (650) 704 7982

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Ileana Figueroa, Sutro Architects		
ADDRESS: 1055 Post St, San Francisco CA	ZIP CODE: 94109	TELEPHONE: 415 956 3445

CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE: ( )
E-MAIL ADDRESS: lundjason1@gmail.com		

## 2. Location and Classification

STREET ADDRESS OF PROJECT: 1825 Webster St		ZIP CODE: 94115 94109
CROSS STREETS: Wilmot St / Bush St		
ASSESSORS BLOCK/LOT: /	LOT DIMENSIONS:	LOT AREA (SQ FT):
ZONING DISTRICT:		HEIGHT/BULK DISTRICT:

## 3. Project Description

Please check all that apply

☐ Office ☐ Change of Hours ☐ New Construction ☐ Alterations ☒ Demolition ☐ Other ☐

<b>RECEIPT</b>		DATE	10/31/14	No. 907661
RECEIVED FROM		Jason Lund		
FOR		Five hundred - fifty - two -		
FOR		DR Application 1825 Webster St		
DOLLARS		\$ 562.00		
ACCOUNT				
PAYMENT				
BAL. DUE				
<input checked="" type="radio"/> CASH <input type="radio"/> CHECK <input type="radio"/> MONEY ORDER <input type="radio"/> CREDIT CARD		FROM TO		
BY		F. Lopez, Planner		

#### 4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

#### 5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

**NO CHANGE**



## Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

PLEASE REFER TO ATTACHMENT  
TO DISCRETIONARY REVIEW  
APPLICATION" (PG 1, 2)

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code Priority Policies or Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

**Exceptional and extraordinary circumstances:**

- **Neighboring building on north side of Wilmot Street (1837-1841 Webster Street) contains three identical flats, each one depending solely on windows facing south to Wilmot Street for natural light in second bedroom and bathroom, and partially on windows facing south to Wilmot Street for natural light in living room.**
- **Wilmot Street runs east/west and, at 20 feet, is unusually narrow.**
- **Neighboring buildings facing Bush Street (2100 and 2102) face sidewall of proposed project, which contains windows, over shallow rear yards, averaging less than 20 feet, whereas in typical midblock development, the depth of back-to-back rear yards separates facing walls with windows.**

**Conflicts with City codes, policies or guidelines:**

- **Residential Design Guidelines pp. 16-17: Articulate the building to minimize impacts on light and privacy to adjacent properties**
  - a) **Project's height, which is greater than double the height of existing building, with that increase exacerbated by expansion of 2'-7" northward toward Wilmot Street, blocks morning sun to windows described above on two floors for  $\frac{3}{4}$  of the year and on all three floors for  $\frac{1}{4}$  of the year. (According to shadow study provided by project architect, this is substantially worse than the present condition, in which morning sun is blocked only for  $\frac{1}{4}$  of the year, and only to the two lowest floors.)**
  - b) **Large windows in family room, bedroom 3, and main stair all face windows of 1837-1841 Webster Street, described above, separated by 20-foot-wide Wilmot Street, compromising privacy.**
  - c) **Windows on south elevation face rear yards and windows of 2100 and 2102 Bush Street, compromising privacy.**
- **San Francisco's Alleys (Part of the Planning Department's Citywide Action Plan for Housing)**
  - a) **For alleys in height districts of 85 feet or less, regardless of orientation, streetwall height at the property line should be no greater than about 1.25 times alley width. (In the present case, that would be 25 feet.)**
  - b) **Additionally, in east/west alleys in height districts of 85 feet or less, development on the south side of an alley should be further sculpted to retain sunlight on the north sidewalk of the alley, assuming a 5-foot walkway. (In the present case, that would be slightly less than 18 feet.)**

- c) **Even though this document is a draft proposal and not officially part of Residential Design Guidelines, it should be considered because the proposed building so egregiously exceeds its criteria. (Please refer to attached elevation diagram.)**
2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected and how.

**Unreasonable impacts on 1837-1841 Webster Street**

- **Loss of morning sun in critical rooms**
- **Compromise of privacy**

**Unreasonable impacts on 2100 and 2102 Bush Street**

- **Compromise of privacy**
3. What alternatives or changes to the proposed project, beyond changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in Question #1?

**Alternatives**

- **Reduce overall height**
- **Eliminate windows facing neighbors to north and south or substitute obscure glass for clear glass**

## Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: \_\_\_\_\_



Date: \_\_\_\_\_

8/31/16

Print name, and indicate whether owner, or authorized agent:

JASON LUND, PRESIDENT 1837-1839-1841 WEBSTER ST HOA

☒ Owner ☐ Authorized Agent (circle one)

## 2

Architectural drawing of the rear elevation of a building. The drawing shows a multi-story structure with a central entrance, windows, and a balcony. The drawing includes floor level markers (1st Floor, 2nd Floor, 3rd Floor, 4th Floor, 5th Floor, 6th Floor, 7th Floor, 8th Floor, 9th Floor, 10th Floor, 11th Floor, 12th Floor) and a section cut line labeled 'SECTION 1-1'.

## 4

 $1/16" = 1'-0"$ 

BLOCK 0660 LOT 060 | PROJECT NO. 2014.034















# Application for Discretionary Review

CASE NUMBER  
For Staff Use only

## Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input checked="" type="checkbox"/>
Covenant or Deed Restrictions	<input type="checkbox"/> NA
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/> NA
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input checked="" type="checkbox"/> X

NOTIFICATION &  
PHOTO VIEW MAP

### NOTES:

- ☐ Required Material.
- ☐ Optional Material

- ☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street

For Department Use Only

Application received by Planning Department:

By: 

8/31/16 Date:

RECEIVED

AUG 31 2016

CITY & COUNTY OF S.F.  
PLANNING DEPARTMENT  
PIC

January 5<sup>th</sup>, 2017

President Rodney Fong  
Members of the Planning Commission  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

Reference: DR Hearing Date: 01/19/2017  
Permit Application # 2015.1112.2458

Dear President Fong & Members of the Planning Commission,

We are writing to introduce ourselves, we are the Finn family and live at 1825 Webster Street. We have been working with our architects for a few years now in the hopes to remodel our home to expand with our growing family. We see this as an opportunity to add value to our neighborhood and have worked closely with the Planning Department and taken all of their feedback into consideration in the planning process.

When we purchased this home in 2010 we were a married couple with a baby on the way. Now we have two children and three adults living in our 1600 sq. ft. home, and have really worked hard with our architects to create an expanded home that will meet our needs long-term. We have very close relationships with other families within our neighborhood and have received supportive feedback from them. We believe they understand that we hope to live in our home long-term and be committed community members and neighbors.

Thank you,

Kelly and Patrick Finn

1825 Webster Street  
San Francisco, CA 94115

# RESPONSE TO DISCRETIONARY REVIEW (DRP)



**San Francisco**  
**Planning**

**SAN FRANCISCO PLANNING DEPARTMENT**  
1650 MISSION STREET, SUITE 400  
SAN FRANCISCO, CA 94103-2479  
MAIN: (415) 558-6378 SFPLANNING.ORG

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## Project Information

Property Address:

Zip Code:

Building Permit Application(s):

Record Number:

Assigned Planner:

---

## Project Sponsor

Name:

Phone:

Email:

---

## Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

---
2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

---
3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

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## Project Features

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Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

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	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)		
Occupied Stories (all levels with habitable rooms)		
Basement Levels (may include garage or windowless storage rooms)		
Parking Spaces (Off-Street)		
Bedrooms		
Height		
Building Depth		
Rental Value (monthly)		
Property Value		

I attest that the above information is true to the best of my knowledge.

<b>Signature:</b>	<b>Date:</b>
<b>Printed Name:</b>	<input type="checkbox"/> Property Owner <input type="checkbox"/> Authorized Agent

*If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.*

# SUTRO ARCHITECTS

November 24<sup>th</sup>, 2016

Illeana Figueroa-Mills  
Sutro Architects  
1055 Sutro Architects  
San Francisco, CA 94109  
415.956.3445  
Email: [ifigueroa@sutroarchitects.com](mailto:ifigueroa@sutroarchitects.com)

## RESPONSE TO DISCRETIONARY REVIEW

Building Permit No: 2015.1112.2458  
Project Address: 1825 Webster Street, San Francisco, CA 94115  
Block/Lot: 0660/060

### **1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved?**

The proposed project meets the San Francisco Planning Code and the Residential Design Guidelines. The mass and form of the proposed project blend in well with the immediately adjacent neighbors and with the remainder of the block. In addition, the proposal preserves 15'-0" of open space. Light and air is provided to the abutting properties and to the northern neighbor in the form of a "front" set back of 2'-7", in addition to the 20'-6" of the width of the alley, for a total of 23'-1". **(See SP-001)**

All improvements will occur on the property site and the proposed design is sensitive to the public right-of-way and all street and neighbor frontages. It does not significantly impact light, air, views, or privacy of the public or property in the vicinity.

### **2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes. Indicate whether the changes were made before filing your application with the City or after filing the application.**

# SUTRO ARCHITECTS

In addition to the Pre-Application meeting, during the 30-day notice we met with the neighbors from 2100 Bush St, 1837 & 1841 Webster St and 1822 Webster St and exchanged several phone calls/emails with the neighbor on 1839 Webster St.

Having heard their concerns, since then, we removed one of the two proposed windows facing south and reduced the amount of glass on the north façade by 40%. In addition, following the Residential Design Guideline of minimizing light and privacy to the adjacent properties, we articulated the proposed north window configuration, such that it breaks the line of sight between 1837-1841 Webster St and the subject property, 1825 Webster St. **(See SP-002 & SP-003)**

There are exceptional and extraordinary circumstances applying to the subject property that justify the approval of the site permit application. The subject lot, with dimensions of 27.5-feet wide by 58.17-feet deep, is the smallest within the area and the proposed project will provide the owners with a functional living space, creating at the same time usable open space.

**(See SP-004)**

**3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Please explain your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.**

As mentioned above, the subject lot with dimensions of 27.5-feet wide by 58.17-feet deep, is the smallest within the area, therefore the current proposed project is necessary to accomplish the enjoyment of the subject property. By reducing the amount of proposed glass on the north façade by 40% it will provide the occupants at 1873-1841 Webster St additional privacy.

**(See SP-001, SP-002 & SP-003)**

The project is compliant with the San Francisco Planning Code and does not extend to the maximum height, bulk, or buildable area as allowed by the code. The project is also in conformity with the Residential Design Guidelines; taken in consideration RDT measures to reduce light and privacy to the adjacent neighbors by:

## LIGHT

- The proposed top floor provides setbacks on three sides, east, south and west.
- Eliminating the need of solid fire-rated parapet walls.
- Open railing is proposed for the 4<sup>th</sup> floor deck.

# SUTRO ARCHITECTS

## PRIVACY

- Privacy screens are incorporated on the staircase windows, facing north.
- Frosted glass is being proposed for window facing south.
- Window configuration breaks the line of sight between 1837-1841 Webster St and 1825 Webster St.

The proposed project will provide the owners with a functional living space and mid-block open space is preserved to create usable open space to raise their family and live there for a long time.

# SUTRO ARCHITECTS

November 24<sup>th</sup>, 2016

Illeana Figueroa-Mills  
Sutro Architects  
1055 Sutro Architects  
San Francisco, CA 94109  
415.956.3445  
Email: [ifigueroa@sutroarchitects.com](mailto:ifigueroa@sutroarchitects.com)

## RESPONSE TO REQUESTER'S DISCRETIONARY REVIEW APPLICATION

Building Permit No: 2015.1112.2458  
Project Address: 1825 Webster Street, San Francisco, CA 94115  
Block/Lot: 0660/060

**1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines?**

### REQUESTER'S ANSWER:

Exceptional and extraordinary circumstances:

- Neighboring building on north side of Wilmot Street (1837-1841 Webster Street) contains three identical flats, each one depending solely on windows facing south to Wilmot Street for natural light in second bedroom and bathroom, and partially on windows facing south to Wilmot Street for natural light in living room.
- Wilmot Street runs east/west and, at 20 feet, is unusually narrow.
- Neighboring buildings facing Bush Street (2100 and 2102) face sidewall of proposed project, which contains windows, over shallow rear yards, averaging less than 20 feet, whereas in typical midblock development, the depth of back-to-back rear yards separates facing walls with windows.

**SPONSOR'S RESPONSE:** There are exceptional and extraordinary circumstances applying to the subject property that justify the approval of the site permit application. The subject lot, with dimensions of 27.5-feet wide by 58.17-feet deep, is the smallest within the area. **(See SP-004)**

Moreover, the subject lot RH-2 zoning has no adjacent neighbors to calculate the rear yard based on average of rear building walls of adjacent buildings. The alley width on Wilmot Street is 20'-6" wide and the proposed project is proposing an additional 2'-6" of landscaping set back, making it 23'-0" wide, providing light and air to 1837-1841 Webster St and creating visual character.



# SUTRO ARCHITECTS

## Conflicts with City codes, policies or guidelines:

- Residential Design Guidelines pp. 16-17: Articulate the building to minimize impacts on light and privacy to adjacent properties
  - a) Project's height, which is greater than double the height of existing building, with that increase exacerbated by expansion of 2'-7" northward toward Wilmot Street, blocks morning sun to windows described above on two floors for  $\frac{3}{4}$  of the year and on all three floors for  $\frac{1}{4}$  of the year. (According to shadow study provided by project architect, this is substantially worse than the present condition, in which morning sun is blocked only for of the year, and only to the two lowest floors.)
  - b) Large windows in family room, bed room 3, and main stair all face windows of 1837-1841 Webster Street, described above, separated by 20-foot-wide Wilmot Street, compromising privacy.
  - c) Windows on south elevation face rear yards and windows of 2100 and 2102 Bush Street, compromising privacy.
- San Francisco's Alleys (Part of the Planning Department's Citywide Action Plan for Housing)
  - a) For alleys in height districts of 85 feet or less, regardless of orientation, streetwall height at the property line should be no greater than about 1.25 times alley width. (In the present case, that would be 25 feet.)
  - b) Additionally, in east/west alleys in height districts of 85 feet or less, development on the south side of an alley should be further sculpted to retain sunlight on the north sidewalk of the alley, assuming a 5-foot walkway. (In the present case, that would be slightly less than 18 feet.)
  - c) Even though this document is a draft proposal and not officially part of Residential Design Guidelines, it should be considered because the proposed building so egregiously exceeds its criteria. (Please refer to attached elevation diagram.)

**SPONSOR'S RESPONSE:** The proposed project is fully compliant with the San Francisco Planning Code and with the Residential Design Guidelines. The mass and form of the proposed project was reviewed and designed based on Planning and RDT comments. The existing 2-story structure, does not blend well with the existing visual character of the neighborhood.  
(See SP-005)

The proposed project will blend in well with the immediately adjacent neighbors and with the remainder of the block. It respects the topography of the site and the scale & form is compatible with the surrounding buildings, preserving the neighborhood character.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how.

**REQUESTER'S ANSWER:**

Unreasonable impacts on 1837-1841 Webster Street

- Loss of morning sun in critical rooms
- Compromise of privacy

Unreasonable impacts on 2100 and 2102 Bush Street

- Compromise of privacy

**SPONSOR'S RESPONSE:** No privacy is being compromised to the abutting structures.

The south window will be replaced with frosted glass and the windows located facing north, are mainly located at the staircase. These will have a perforated metal mesh on the exterior, serving as a privacy screen to the neighbors. The other two window located at the bay, one is a bedroom and the family room which will both have window shades. (See SP-003)

The proposed project respects light and privacy RDT guideline by:

LIGHT

- The proposed top floor provides setbacks on three sides, east, south and west;
- Eliminating the need of solid fire-rated parapet walls.
- Open railing is proposed for the 4<sup>th</sup> floor deck.

PRIVACY

- Privacy screens are incorporated on all staircase windows facing north.
- Frosted glass is being proposed for windows facing south.
- Window configuration breaks the line of sight between properties.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

**REQUESTER'S ANSWER:**

Alternatives

- Reduce overall height
- Eliminate windows facing neighbors to north and south or substitute obscure glass for clear glass

# SUTRO ARCHITECTS

**SPONSOR'S RESPONSE:** The proposed project is fully compliant with the San Francisco Planning Code and with the Residential Design Guidelines. The overall building scale is uniform with the width and height of the buildings on the block.

By reducing the amount of proposed glass on the north façade by 40% it will provide the occupants at 1873-1841 Webster St additional privacy. **(See SP-003)**

The proposed project respects light and privacy RDT guidelines

## LIGHT

- The proposed top floor provides setbacks on three sides, east, south and west;
- Eliminating the need of solid fire-rated parapet walls.
- Open railing is proposed for the 4<sup>th</sup> floor deck.

## PRIVACY

- Privacy screens are incorporated on all staircase windows facing north.
- Frosted glass is being proposed for windows facing south.
- Window configuration breaks the line of sight between properties

November 12, 2016

President Cindy Wu  
Members of the Planning Commission  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

Reference: DR Hearing Date: 12/8/16  
Permit Application # 2015.1112.2458

Dear President Wu & Members of the Planning Commission,

We, Shan & Anjee Mehta, are in full support of the Finn family remodel at 1825 Webster Street. We do not find their remodel unreasonable in any way and we have no objections or issues with the proposed plans as they appear to be within planning and building guidelines for the neighborhood.

The Finn family is an example of a great family with young children trying to stay in the city and raise their family.

Please approve their project and let it move along without further delay.

Thank you,

The Mehtas

Shan & Anjee Mehta  
46 Wilmot Street  
San Francisco, CA 94115

November 7, 2016

President Cindy Wu  
Members of the Planning Commission  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

Reference: DR Hearing Date: 12/8/16  
Permit Application # 2015.1112.2458

Dear President Wu & Members of the Planning Commission,

We, Kathryn and Pete van Praag, entirely support the Finn family remodel at 1825 Webster Street. We find their remodel proposal reasonable and consistent with the scale and approach of the surrounding residences, and have no objections or issues with their proposed plans - they appear squarely within planning and building guidelines for the neighborhood.

Furthermore, the Finn family is an prime example of a young family trying to stay in San Francisco. They are respectful and conscientious members of our neighborhood, and are an important asset to the community.

Please approve their project as proposed.

Sincerely,  
Kathryn and Pete van Praag

2140 Bush Street, Studio 8  
San Francisco, CA 94115  
415-806-4822  
pvanpraag@rootbrands.com

November 7, 2016

President Cindy Wu  
Members of the Planning Commission  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

Reference: DR Hearing Date: 12/8/16  
Permit Application # 2015.1112.2458

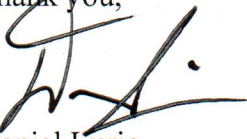
Dear President Wu & Members of the Planning Commission,

We, Daniel Lurie and Rebecca Prowda, are in full support of the Finn family remodel at 1825 Webster Street. We do not find their remodel unreasonable in any way and we have no objections or issues with the proposed plans as they appear to be within planning and building guidelines for the neighborhood.

The Finn family is a wonderful example of a family with young children trying to stay in the city and raise their family.

Please approve their project and let it move along without further delay.

Thank you,

A handwritten signature in black ink, appearing to be 'D. Lurie', with a stylized flourish at the end.

Daniel Lurie

Daniel Lurie  
80 Wilmot Street  
San Francisco, CA 94115

**Fred & Hilary Baldi**  
**16 Wilmot Street**  
**San Francisco, California 94115**

November 4, 2016

President Cindy Wu  
Members of the Planning Commission  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

Reference: DR Hearing Date: 12/8/16  
Permit Application # 2015.1112.2458

Dear President Wu & Members of the Planning Commission,

We Fred and Hilary Baldi who have lived at 16 Wilmot since 1988 are in full support of the Finn family remodel at 1825 Webster Street. We do not find their remodel unreasonable in any way within its context and we have no objections or issues with the proposed plans as they appear to be within planning and building guidelines for the neighborhood.

The Finn family is a fine example of a family with young children trying to stay in the city and raise their family.

Please approve their project and let it move along without further delay.

Thank you,



Fred and Hilary Baldi

Fred and Hilary Baldi  
16 Wilmot, San Francisco  
415-424-2448



Eric and Erika Edelson  
2255 Pine St.  
San Francisco, CA 94115

---

November 6, 2016

President Cindy Wu  
Members of the Planning Commission  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

Reference: DR Hearing Date: 12/8/16  
Permit Application # 2015.1112.2458

Dear President Wu & Members of the Planning Commission,

We, Eric and Erika Edelson, are in full support of the Finn family remodel at 1825 Webster Street. We do not find their remodel unreasonable in any way and we have no objections or issues with the proposed plans as they appear to be within planning and building guidelines for the neighborhood.

Numerous other residences in the exact same area have been able to do similar projects, and there is no reason the Finn's project should be delayed.

The Finn family is an example of a family with young children trying to stay in the city and raise their family.

Please approve their project and let it move along without further delay.

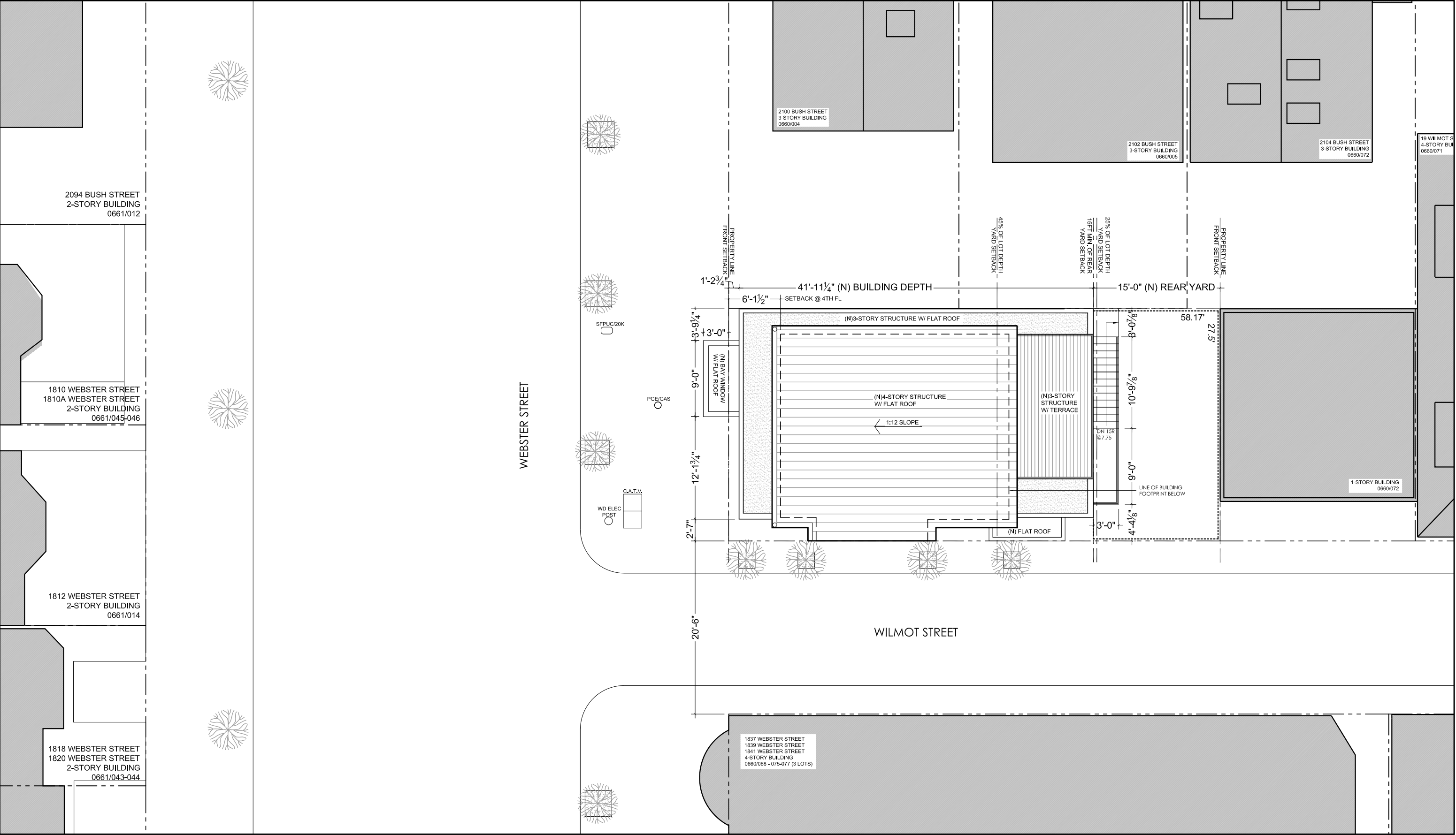
Thank you,

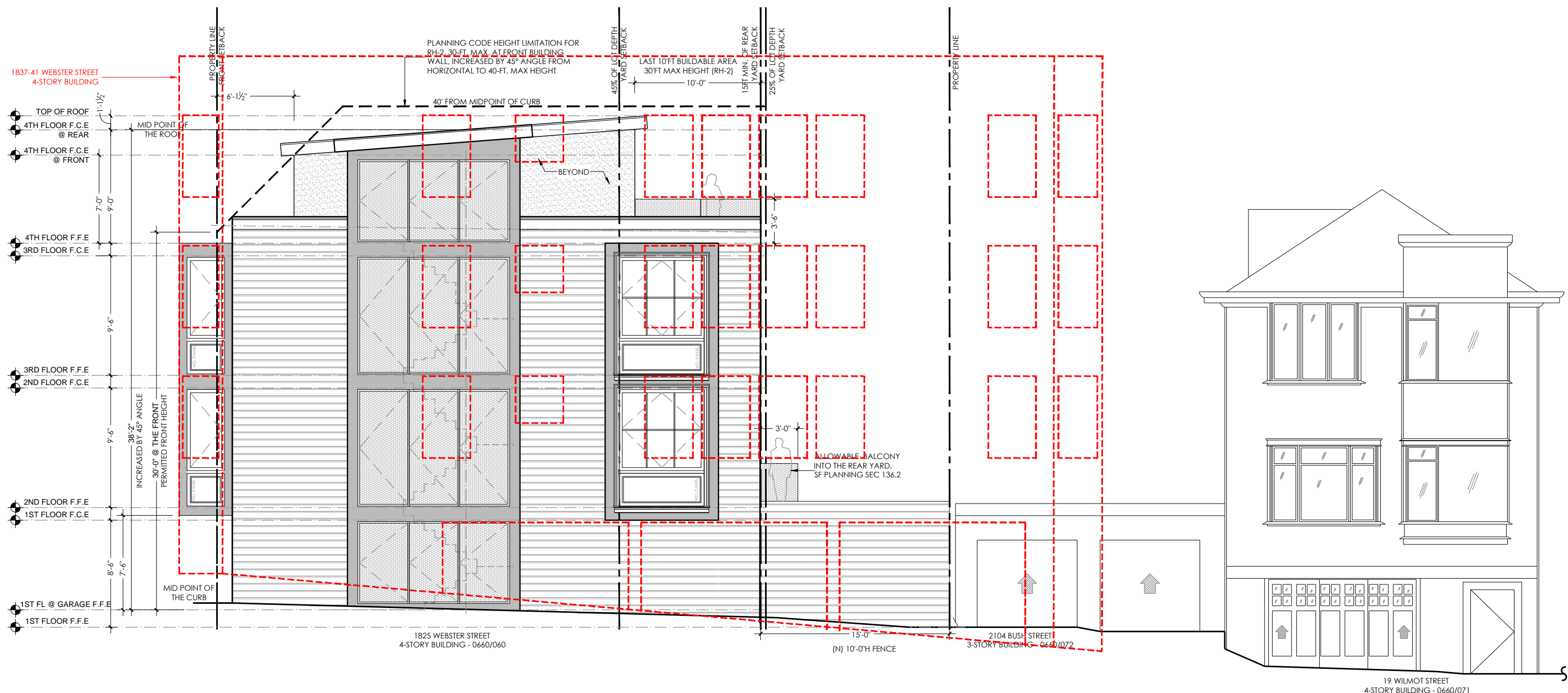
The block contains two handwritten signatures. The signature on the left is written in dark ink and appears to be 'E. S. Edelson'. The signature on the right is also in dark ink and appears to be 'E. Potter'.

Eric and Erika Edelson

Eric Edelson: (917) 941-5493 / ericedelson@gmail.com  
Erika Edelson: (415) 596-2927 / erika.potter@gmail.com







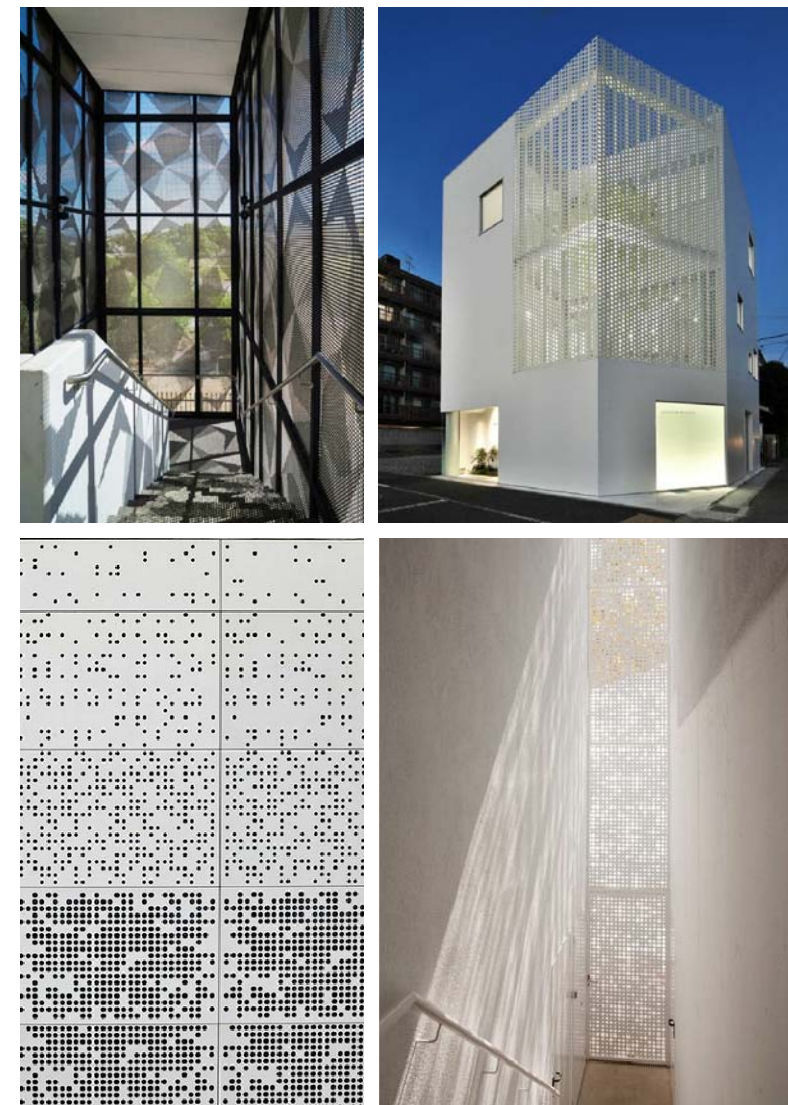
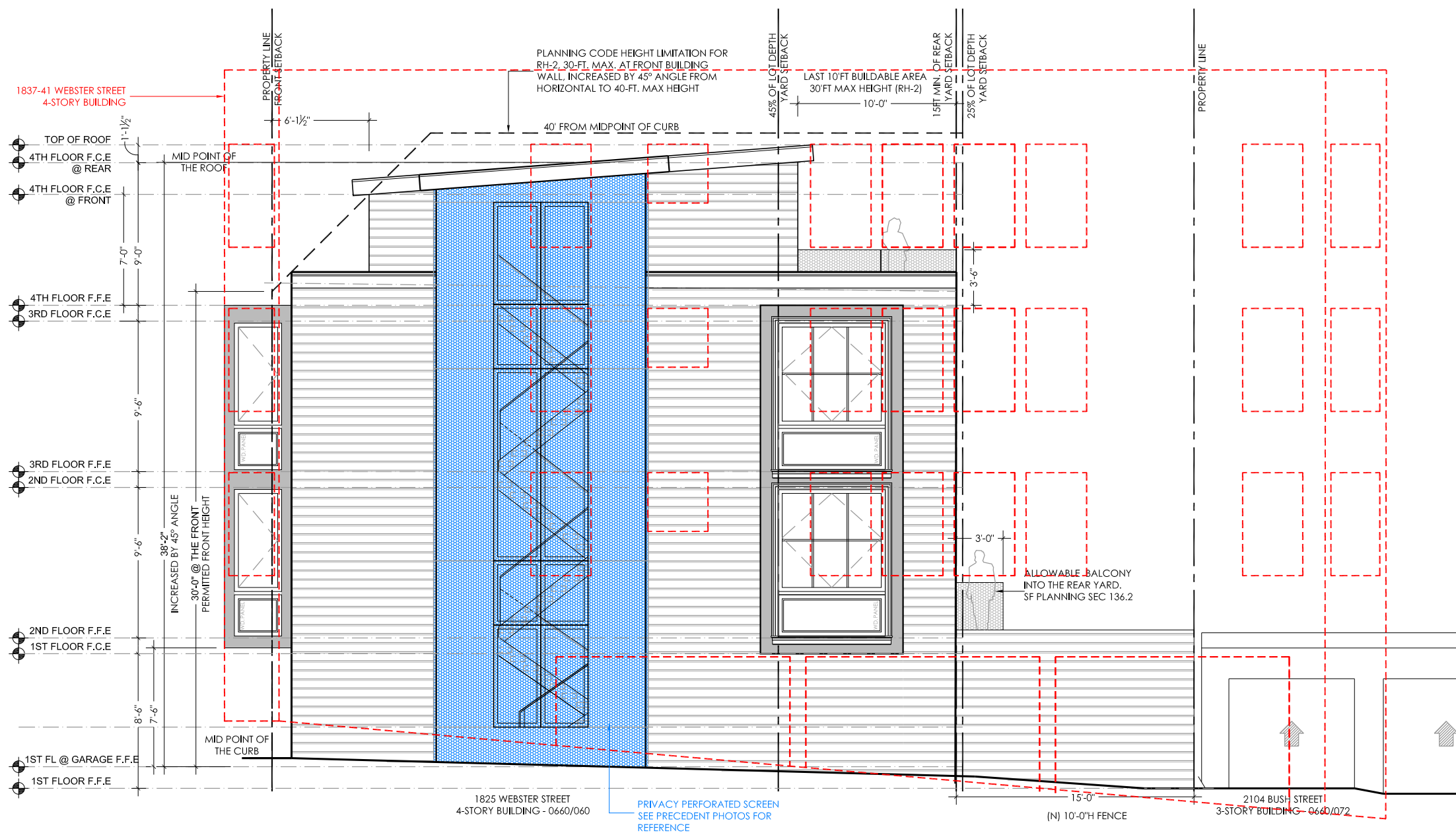
SUTRO ARCHITECTS

415.956.3445  
sutroarchitects.com  
1055 Post Street, San Francisco, CA 94109

1 PROPOSED NORTH EXTERIOR ELEVATION  
3/32" = 1'-0"

**FINN RESIDENCE**  
1825 WEBSTER STREET  
SAN FRANCISCO, CA 94115  
BLOCK 0660 LOT 060 | PROJECT NO. 2014.034

DATE: 11.08.2016  
(P) EXTERIOR ELEV  
AS NOTED  
**SP 002**



2 PRECEDENT PHOTOS @ PERFORATED SCREEN @ STAIRCASE  
NTS

SUTRO ARCHITECTS

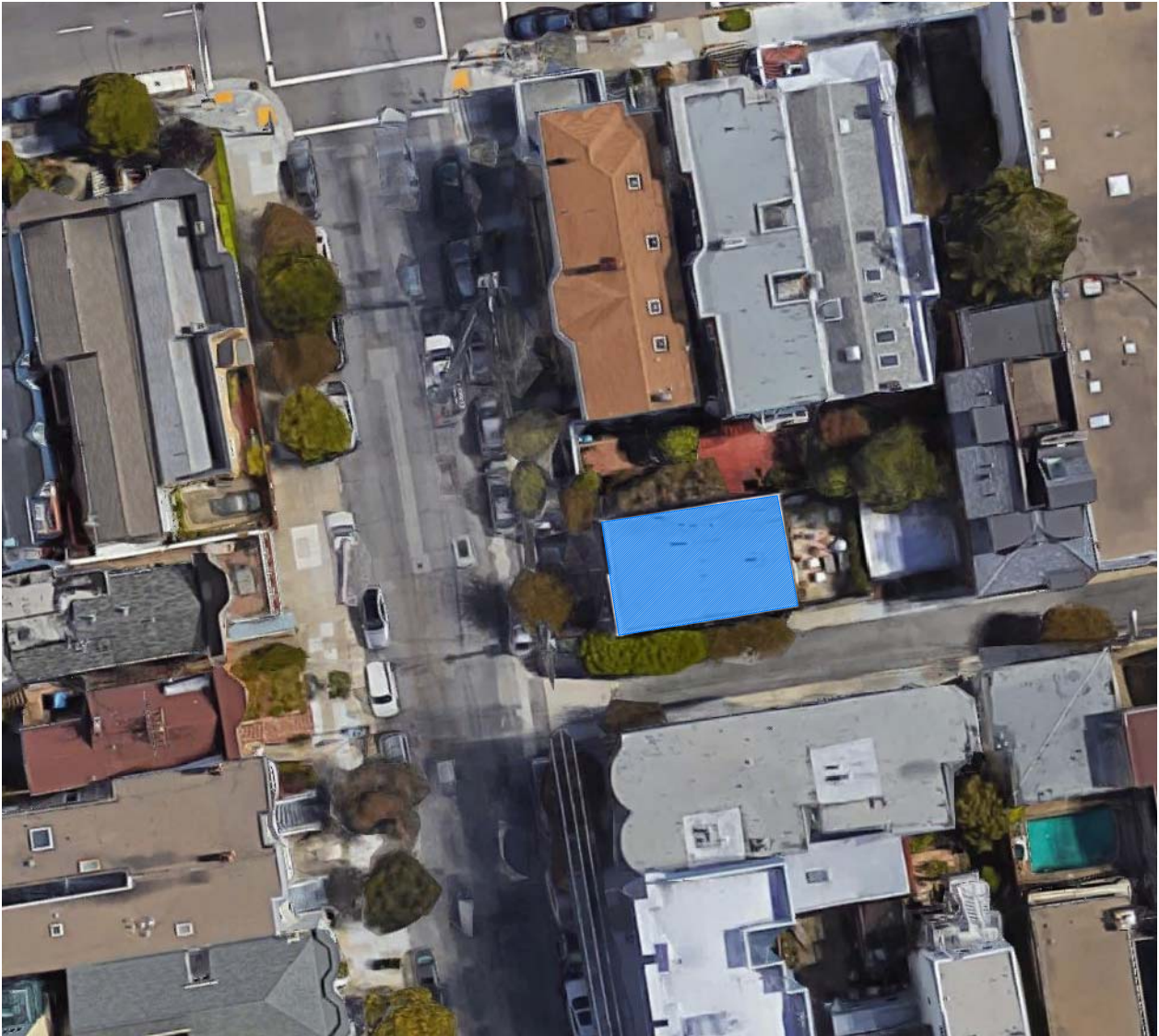
415.956.3445  
sutroarchitects.com  
1055 Post Street, San Francisco, CA 94109

1 REVISED NORTH EXTERIOR ELEVATION  
3/32" = 1'-0"

**FINN RESIDENCE**  
1825 WEBSTER STREET  
SAN FRANCISCO, CA 94115  
BLOCK 0660 LOT 060 | PROJECT NO. 2014.034

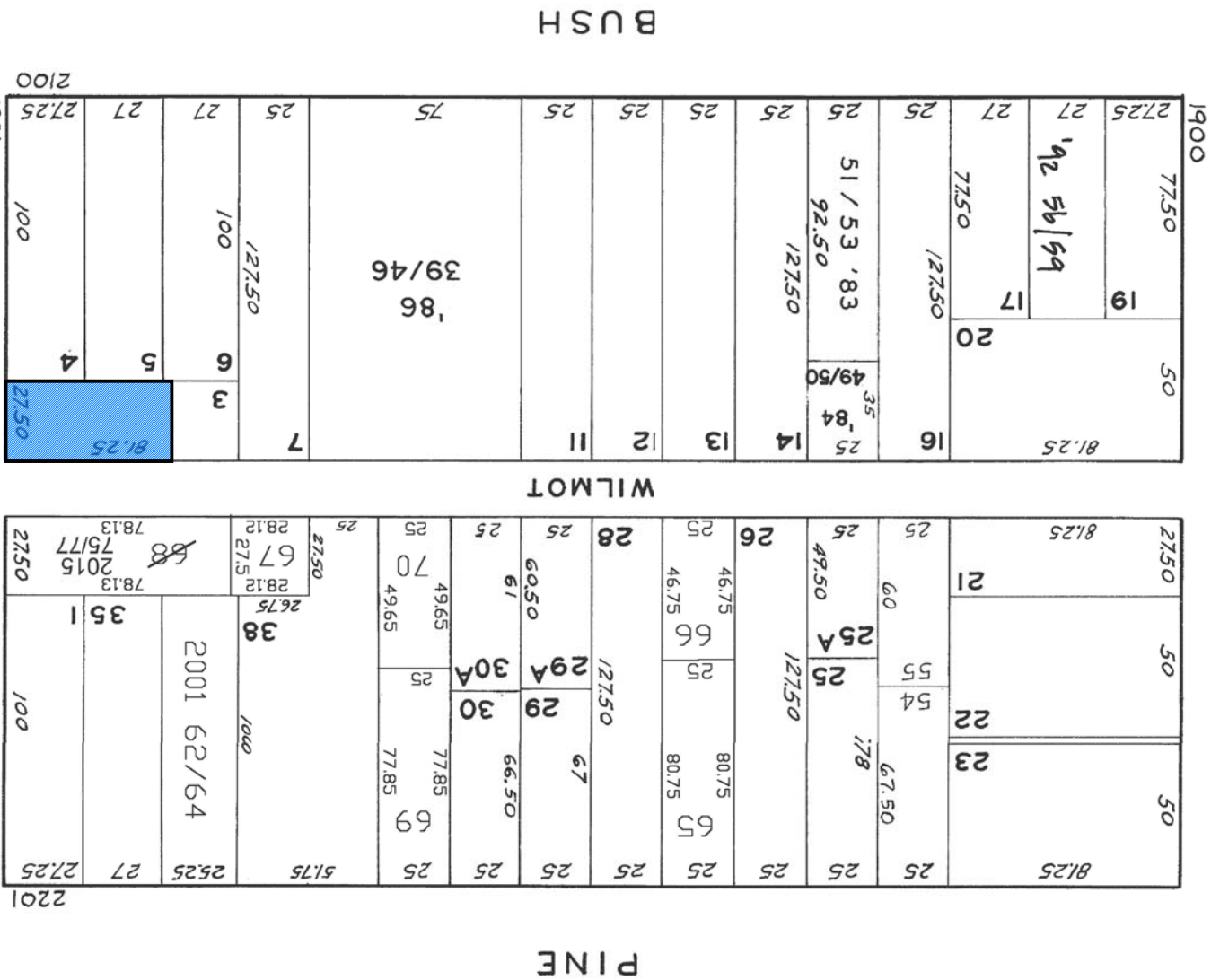
DATE: 11.08.2016  
REV EXTERIOR ELEV  
AS NOTED  
**SP 003**





2 VICINITY MAP  
NTS

FILLMORE



1 ASSESSOR'S MAP  
NTS



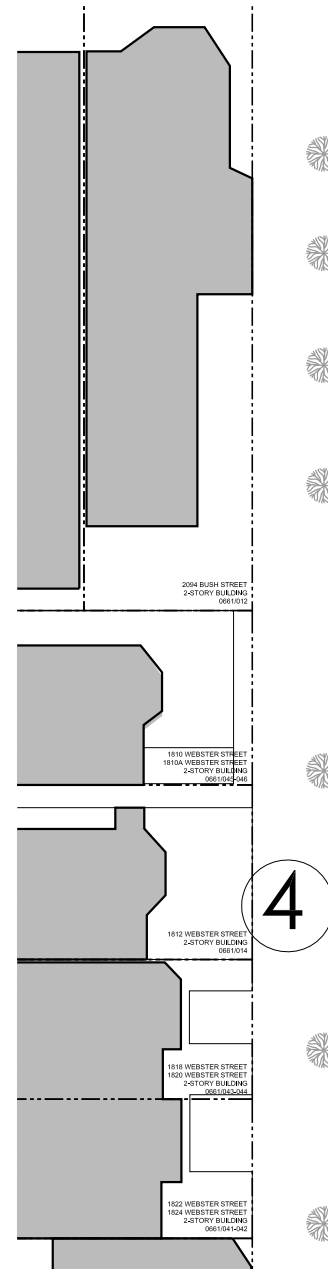
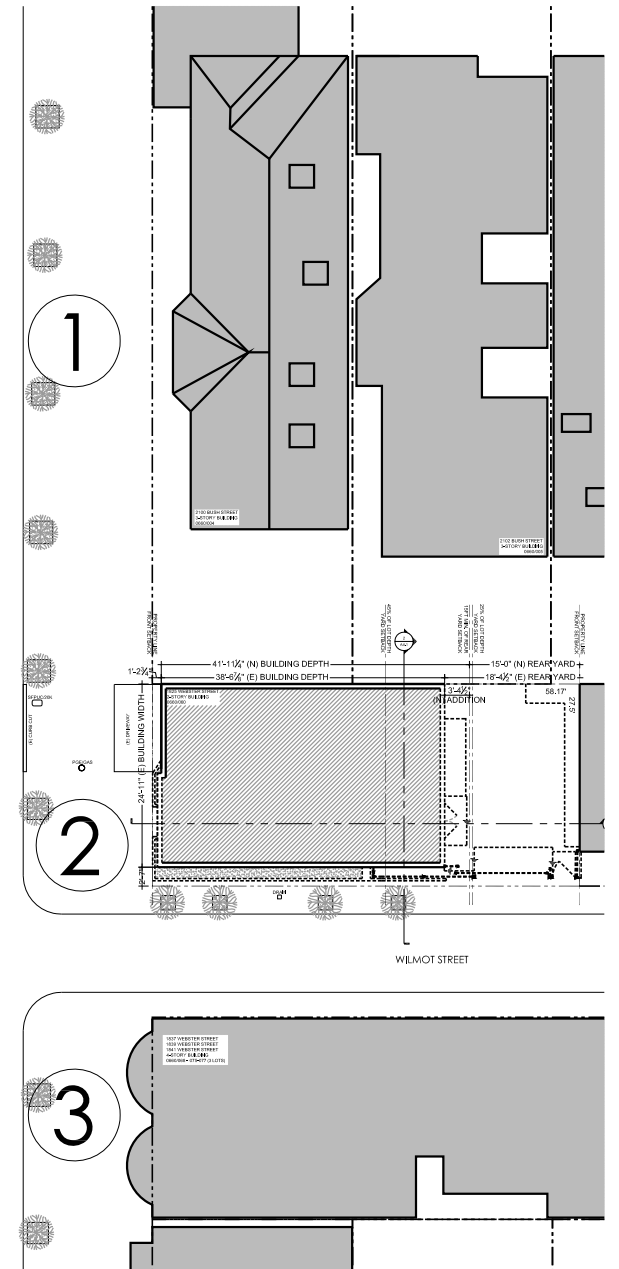
1 2100 BUSH STREET  
SOUTH ADJACENT NEIGHBOR



2 1825 WEBSTER STREET  
SUBJECT PROPERTY



3 1837-41 WEBSTER STREET  
ACROSS THE ALLEY NEIGHBOR



4 IMMEDIATE NEIGHBORS ACROSS THE STREET

SUTRO ARCHITECTS

415.956.3445  
sutroarchitects.com  
1055 Post Street, San Francisco, CA 94109

1 VICINITY EXITING PHOTOS  
3/32" = 1'-0"

**FINN RESIDENCE**  
1825 WEBSTER STREET  
SAN FRANCISCO, CA 94115  
BLOCK 0660 LOT 060 | PROJECT NO. 2014.034

DATE: 01.03.2017  
PHOTOS  
AS NOTED  
**SP 005**





**SUTRO ARCHITECTS**

415.956.3445  
sutroarchitects.com  
1055 Post Street, San Francisco, CA 94109

1 PROPOSED EAST EXTERIOR ELEVATION  
NTS

**FINN RESIDENCE**  
1825 WEBSTER STREET  
SAN FRANCISCO, CA 94115  
BLOCK 0660 LOT 060 | PROJECT NO. 2014.034

DATE: 01.03.2017  
EXTERIOR ELEV

AS NOTED

**SP 006**





**SUTRO ARCHITECTS**

415.956.3445  
sutroarchitects.com  
1055 Post Street, San Francisco, CA 94109

1

PROPOSED NORTH EXTERIOR ELEVATION  
NTS

**FINN RESIDENCE**  
1825 WEBSTER STREET  
SAN FRANCISCO, CA 94115  
BLOCK 0660 LOT 060 | PROJECT NO. 2014.034

DATE: 01.03.2017  
EXTERIOR ELEV

AS NOTED

**SP 007**





**SUTRO ARCHITECTS**

415.956.3445  
sutroarchitects.com  
1055 Post Street, San Francisco, CA 94109

1

PERSPECTIVE VIEW  
NTS

**FINN RESIDENCE**  
1825 WEBSTER STREET  
SAN FRANCISCO, CA 94115  
BLOCK 0660 LOT 060 | PROJECT NO. 2014.034

DATE: 01.03.2017  
PERSPECTIVE VIEW  
AS NOTED  
**SP 008**



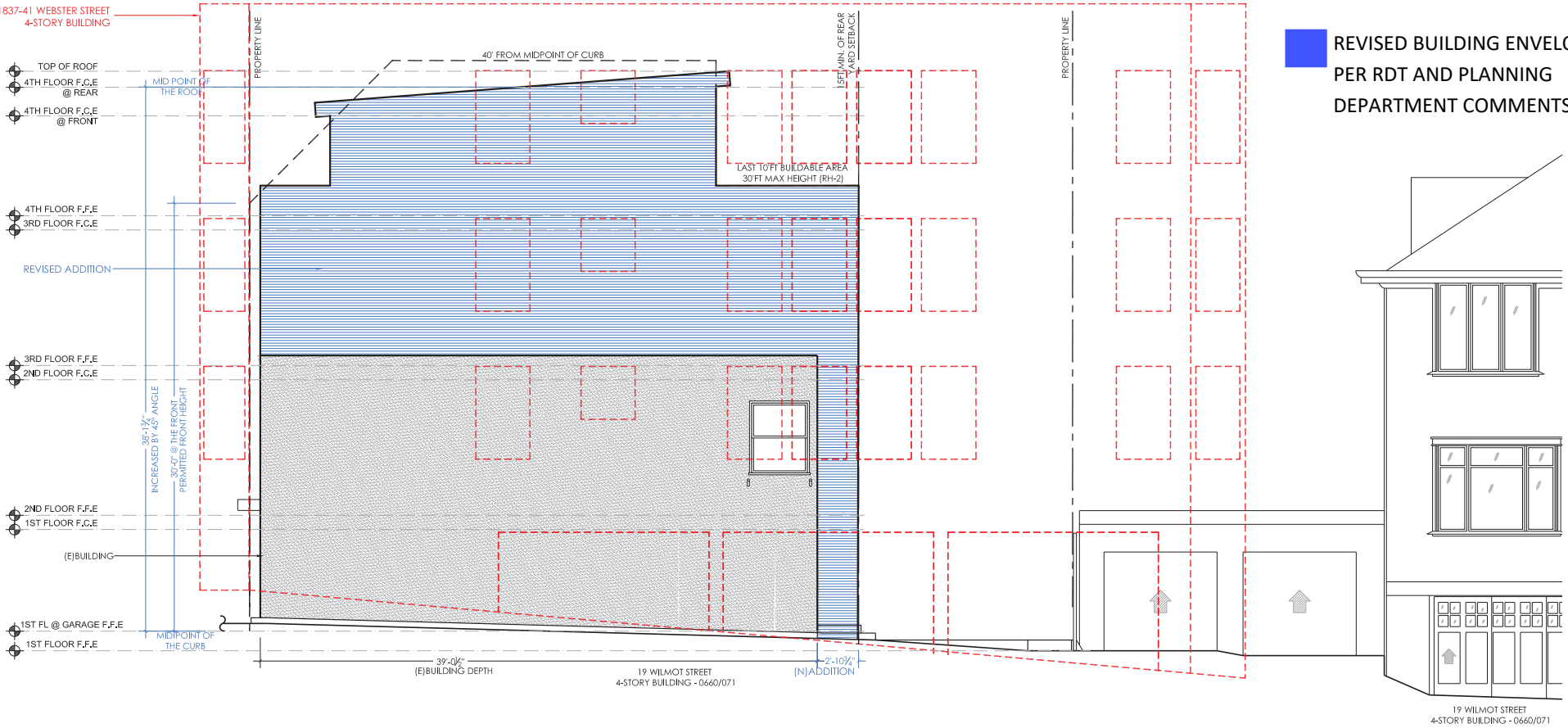
ORIGINAL DESIGN SUBMITTED

NORTH EXTERIOR ELEVATION



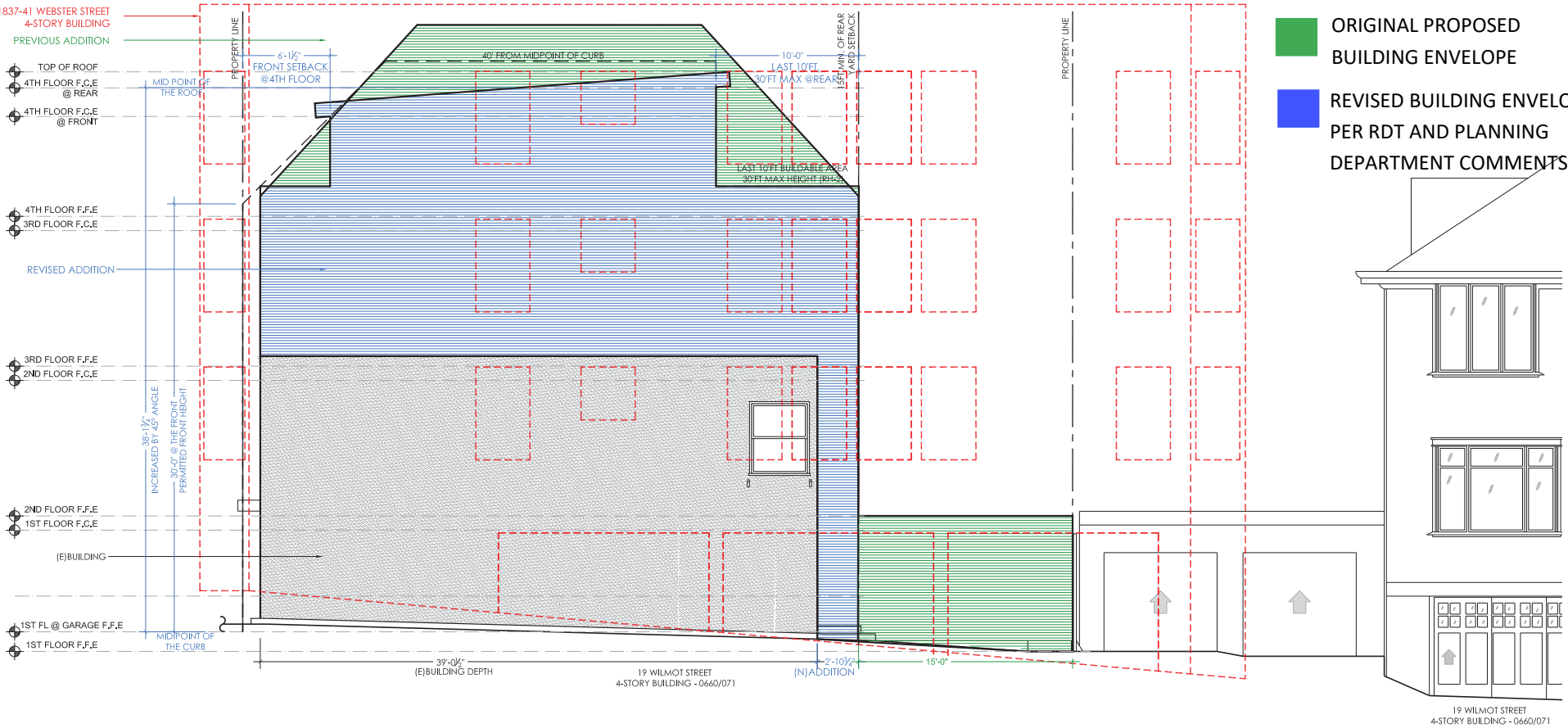
REVISED DESIGN PER RESIDENTIAL DESIGN TEAM & PLANNING DEPARTMENT COMMENTS

NORTH EXTERIOR ELEVATION



OVERLAP OF THE TWO PROPOSED DESIGNS

NORTH EXTERIOR ELEVATION



DISCRETIONARY REVIEW  
1825 WEBSTER STREET

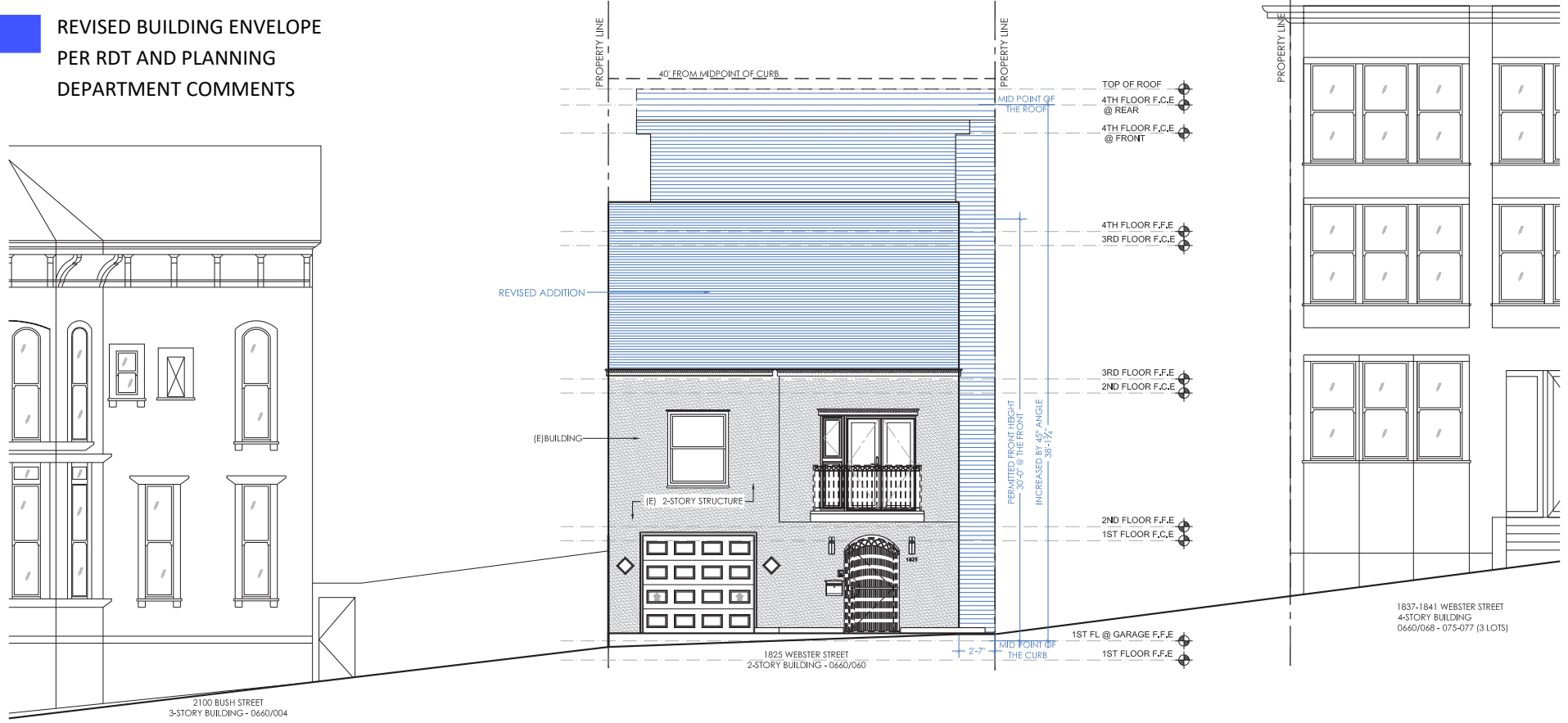
ORIGINAL DESIGN SUBMITTED

EAST EXTERIOR ELEVATION



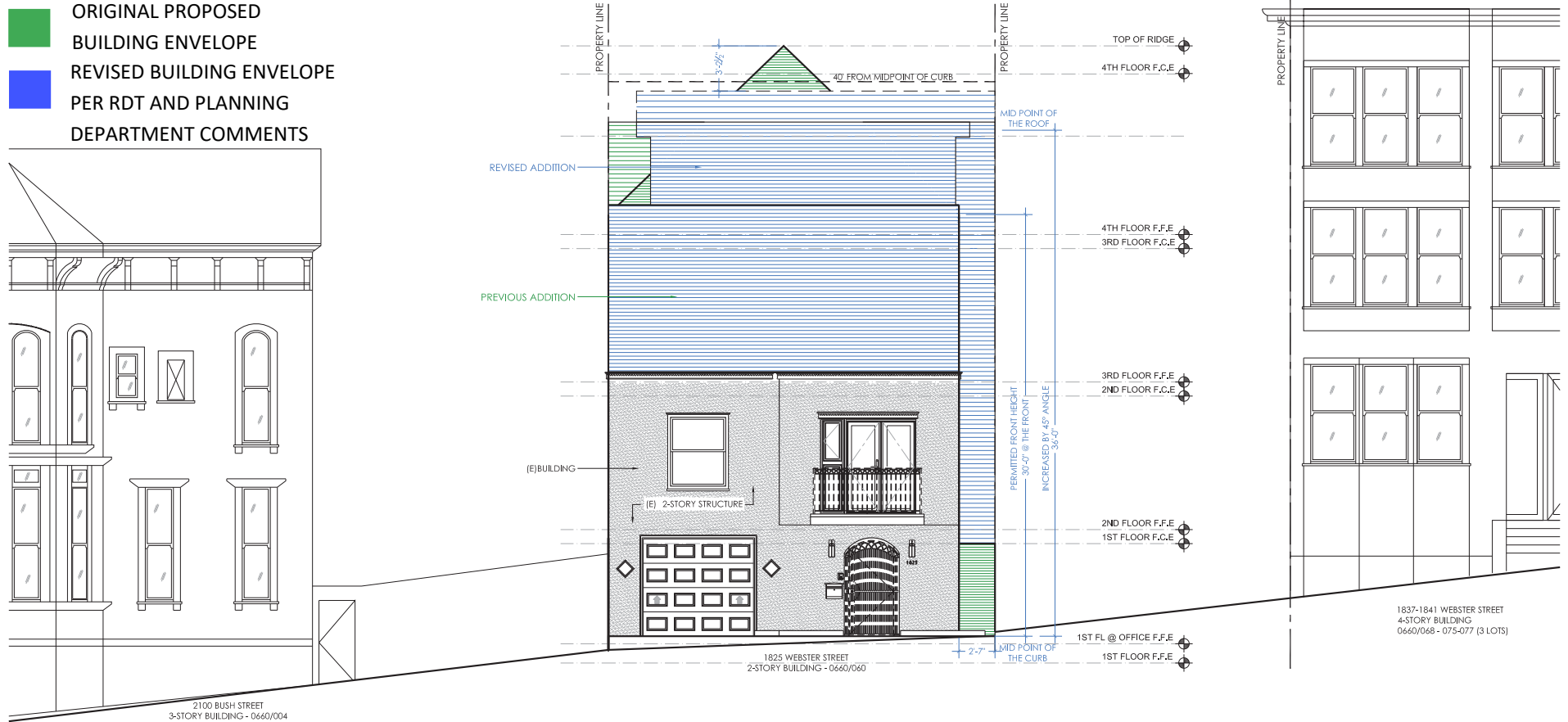
REVISED DESIGN PER RESIDENTIAL DESIGN TEAM & PLANNING DEPARTMENT COMMENTS

EAST EXTERIOR ELEVATION



OVERLAP OF THE TWO PROPOSED DESIGNS

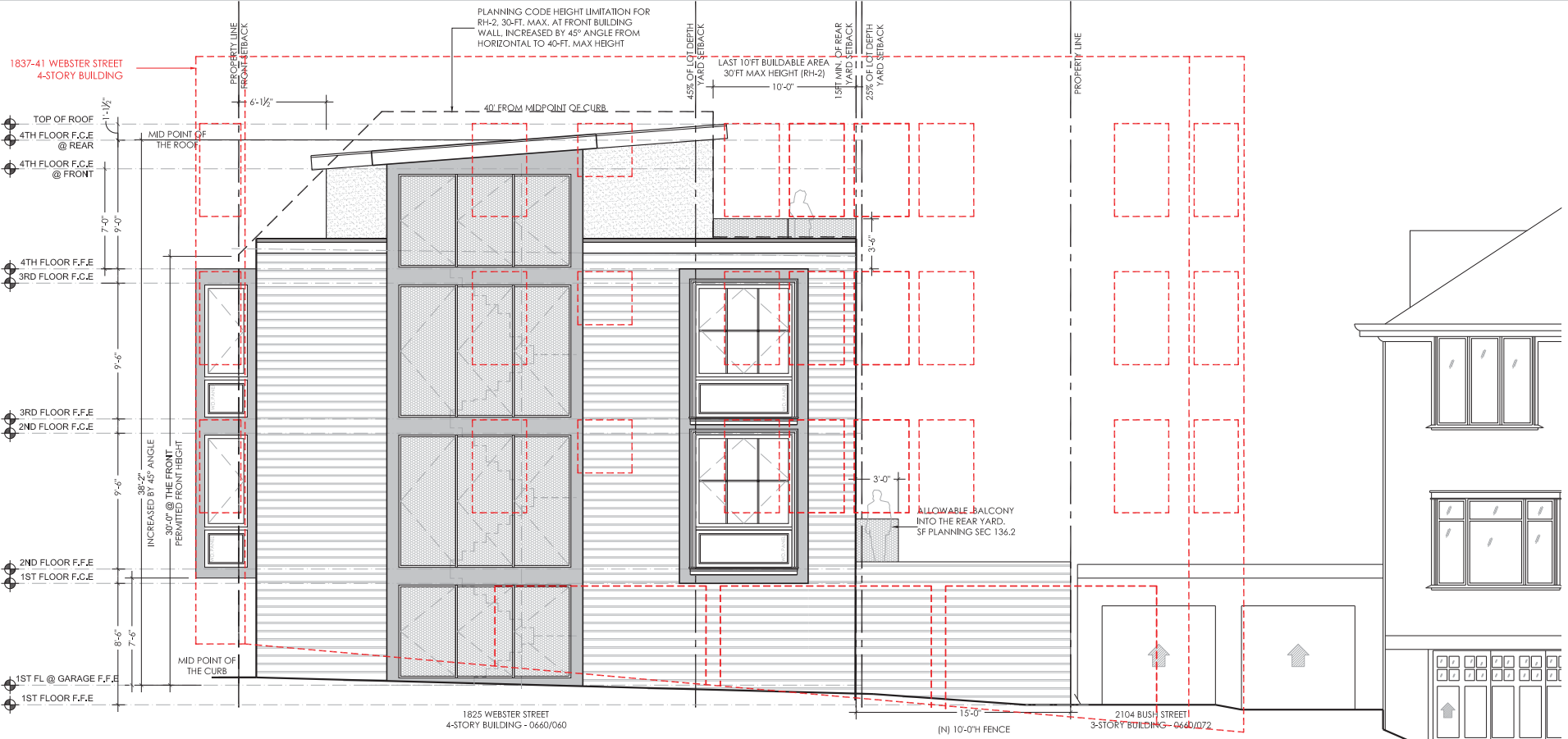
EAST EXTERIOR ELEVATION





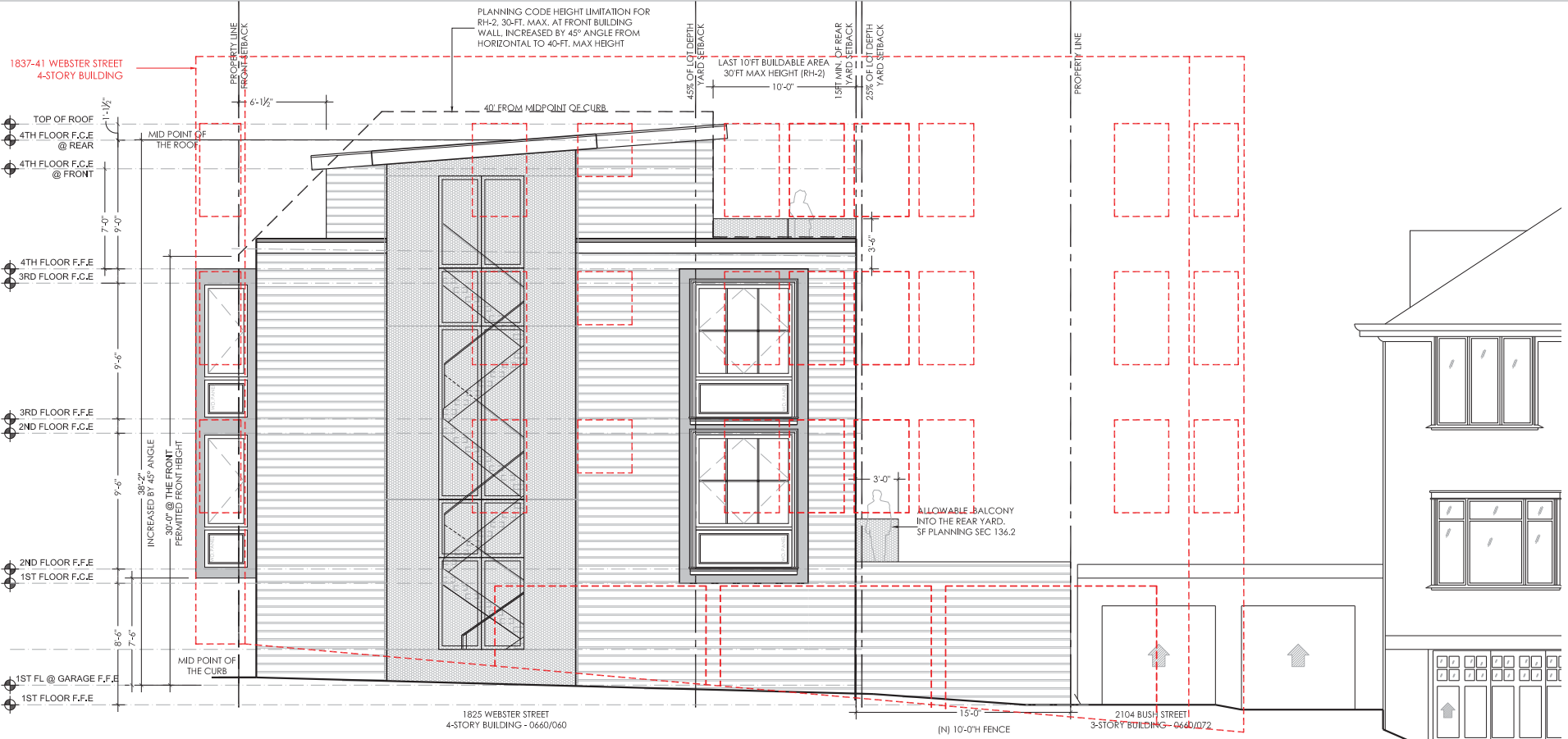
CURRENT PROPOSED DESIGN

NORTH EXTERIOR ELEVATION

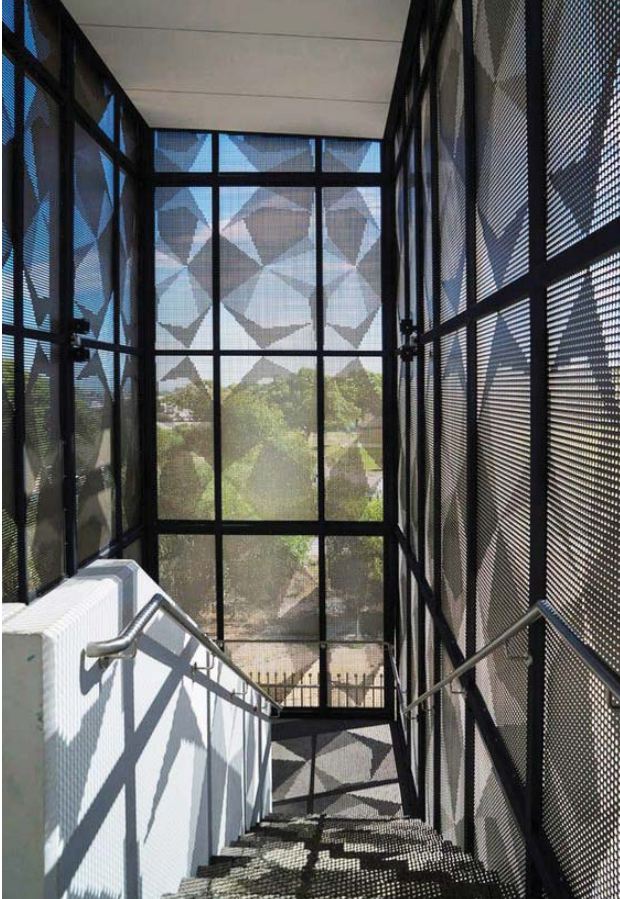


REVISED GLASS CONFIGURATION DESIGN @ STAIRCASE PER DR REQUESTOR'S CONCERNS

NORTH EXTERIOR ELEVATION



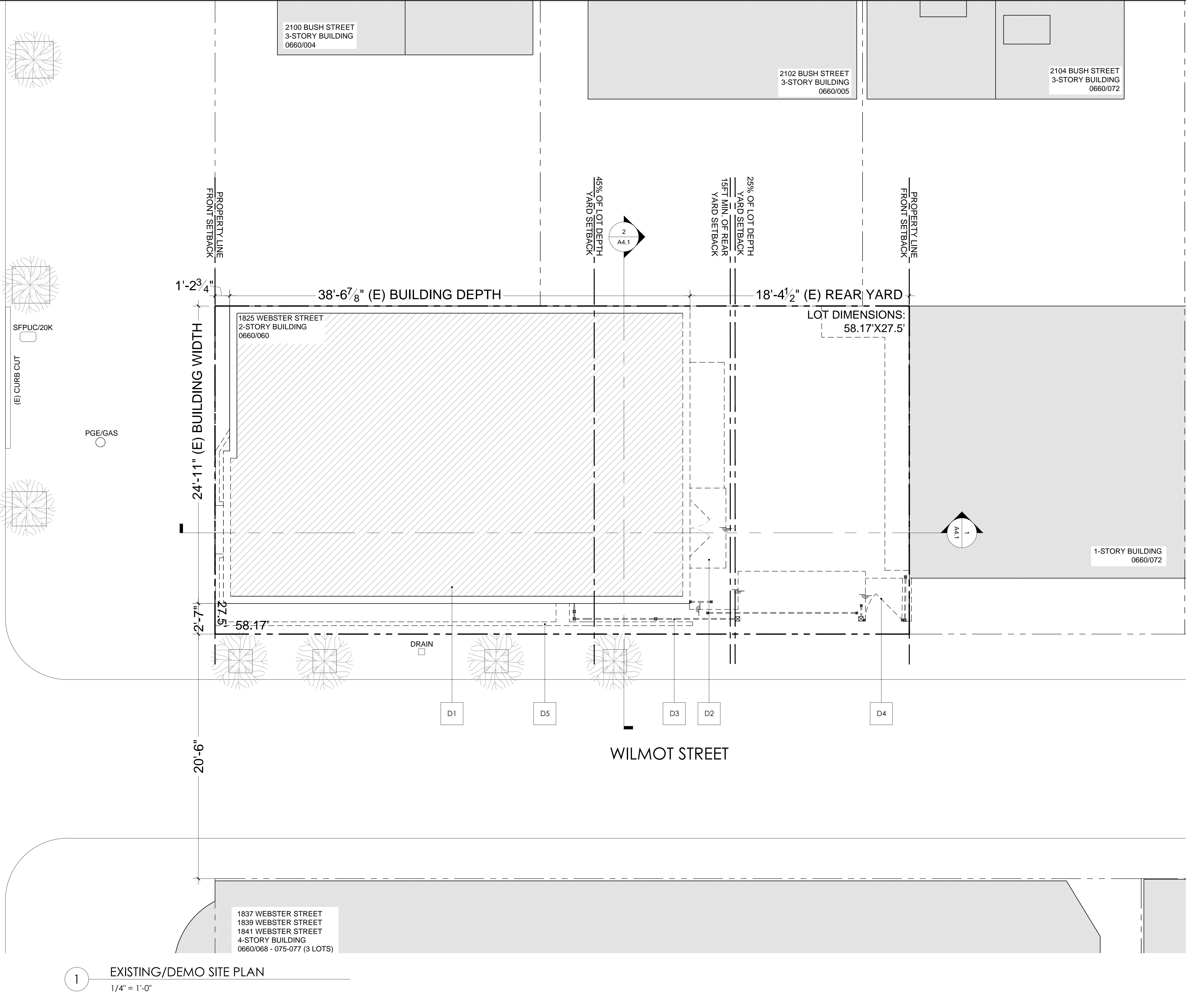
PRIVACY SCREEN PRECEDENT PHOTOS @ STAIRCASE



DISCRETIONARY REVIEW  
1825 WEBSTER STREET



Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



1 EXISTING/DEMO SITE PLAN  
1/4" = 1'-0"

GENERAL DEMO NOTES:

1. CONTRACTOR IS ENCOURAGED TO PERFORM ECO-DEMOLITION AND SALVAGE AS MUCH AS POSSIBLE.
2. REMOVED MATERIALS SUCH AS FIXTURES, APPLIANCES, AND OTHER ELEMENTS SUITABLE FOR RE-CYCLING TO BE SOLD OR DONATED FOR SUCH PURPOSE.
3. DASHES ITEMS ARE USED TO DENOTE ITEMS TO BE REMOVED. NOTE THAT OTHER LINES SUCH AS SOFFITS ABOVE, EAVES AND HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINE. IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING.

- DEMO PLAN KEY NOTES:
- |    |   |
|----|---|
| D1 | (E) FLAT ROOF TO BE REMOVED IN PREPARATION FOR (N) VERTICAL EXPANSION |
| D2 | (E) STEPS TO BE REMOVED.  |
| D3 | (E) FENCE TO BE REMOVED   |
| D4 | (E) GATE TO BE REMOVED  |
| D5 | (E) PLANTER TO BE REMOVED.  |

WALL LEGEND:

---	PROPERTY LINE
—	(E) WALLS TO REMAIN. UPGRADE TO MIN. 5/8" THK. FIRE CODE TYPE X FINISH IF WALL IS REMOVED AND REPLACED
	(E) WALLS TO BE REMOVED
- - - -	(E) ELEMENTS TO BE REMOVED
XXXXX	(N) WALLS
—+—+—+—	(E) FENCE
- . - . - .	(N) FIRE RATED WALL

1/4" = 1'-0"

FINN RESIDENCE SUTRO ARCHITECTS

1825 WEBSTER ST  
BLOCK 0660 LOT 060 | PROJECT NO. 2014.034

415.966.3445  
sutroarchitects.com  
1055 Post Street, San Francisco, CA 94109

ISSUED  
SITE PERMIT: 11.12.2015  
SITE PERMIT: 01.15.2016  
SITE PERMIT: 05.27.2016  
SITE PERMIT: 06.16.2016

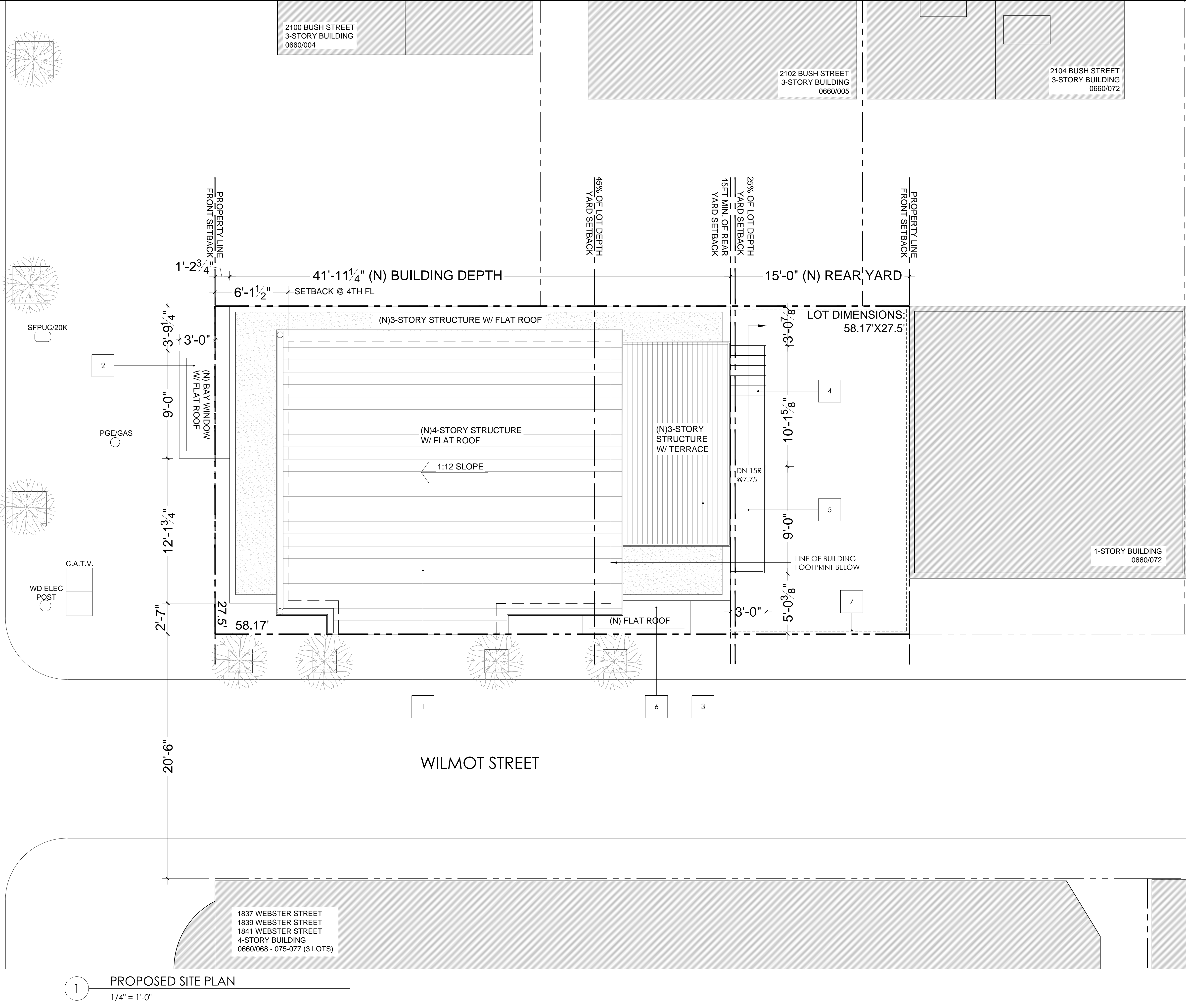
EXISTING/DEMO SITE PLAN

1/4" = 1'-0"

A1.0



Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



GENERAL DEMO NOTES:

1. CONTRACTOR IS ENCOURAGED TO PERFORM ECO-DEMOLITION AND SALVAGE AS MUCH AS POSSIBLE.
2. REMOVED MATERIALS SUCH AS FIXTURES, APPLIANCES, AND OTHER ELEMENTS SUITABLE FOR RE-CYCLING TO BE SOLD OR DONATED FOR SUCH PURPOSE.
3. DASHES ITEMS ARE USED TO DENOTE ITEMS TO BE REMOVED. NOTE THAT OTHER LINES SUCH AS SOFFITS ABOVE, EAVES AND HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINE. IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING.

- PROPOSED KEY NOTES:
- 1 (N) SLOPED ROOF.
  - 2 (N) BAY WINDOW W/FLAT ROOF
  - 3 (N) EXTERIOR TERRACE W/ GLASS GUARDRAIL AT 42" FROM F.F. GLASS SEGMENTS IN GUARDRAIL, DIVIDED BY 1/2" GAP, TO BE LESS THAN 24 SQ FT. CAP RAIL TO BE 3/4" STAINLESS STEEL.
  - 4 ALLOWABLE ENCROACHMENT FOR UNCOVERED STAIRS LESS THAN 3'-0" ABOVE GRADE AND 6'-0" INTO THE REAR YARD. SF PLANNING SEC. 136.(C)14
  - 5 ALLOWABLE BALCONY INTO THE REAR YARD. SF PLANNING SEC 136(c)
  - 6 (N) FLAT ROOF
  - 7 (N) 10'-0"H FENCE @PL

WALL LEGEND:

---	PROPERTY LINE
—	(E) WALLS TO REMAIN. UPGRADE TO MIN. 5/8" THK. FIRE CODE TYPE X FINISH IF WALL IS REMOVED AND REPLACED
	(E) WALLS TO BE REMOVED
- - - - -	(E) ELEMENTS TO BE REMOVED
	(N) WALLS
—+—+—+—	(E) FENCE
- - - - -	(N) FIRE RATED WALL

1/4" = 1'-0"

FINN RESIDENCE

SUTRO ARCHITECTS

415.966.3445  
sutroarchitects.com  
1055 Park Street, San Francisco, CA 94109

STEPHEN S SUTRO

C-30702

02.28.17

RENEWAL DATE

STATE OF CALIFORNIA

ISSUED

SITE PERMIT: 11.12.2015

SITE PERMIT: 01.15.2016

SITE PERMIT: 05.27.2016

SITE PERMIT: 06.16.2016

PROPOSED SITE PLAN

1/4" = 1'-0"

A1.1



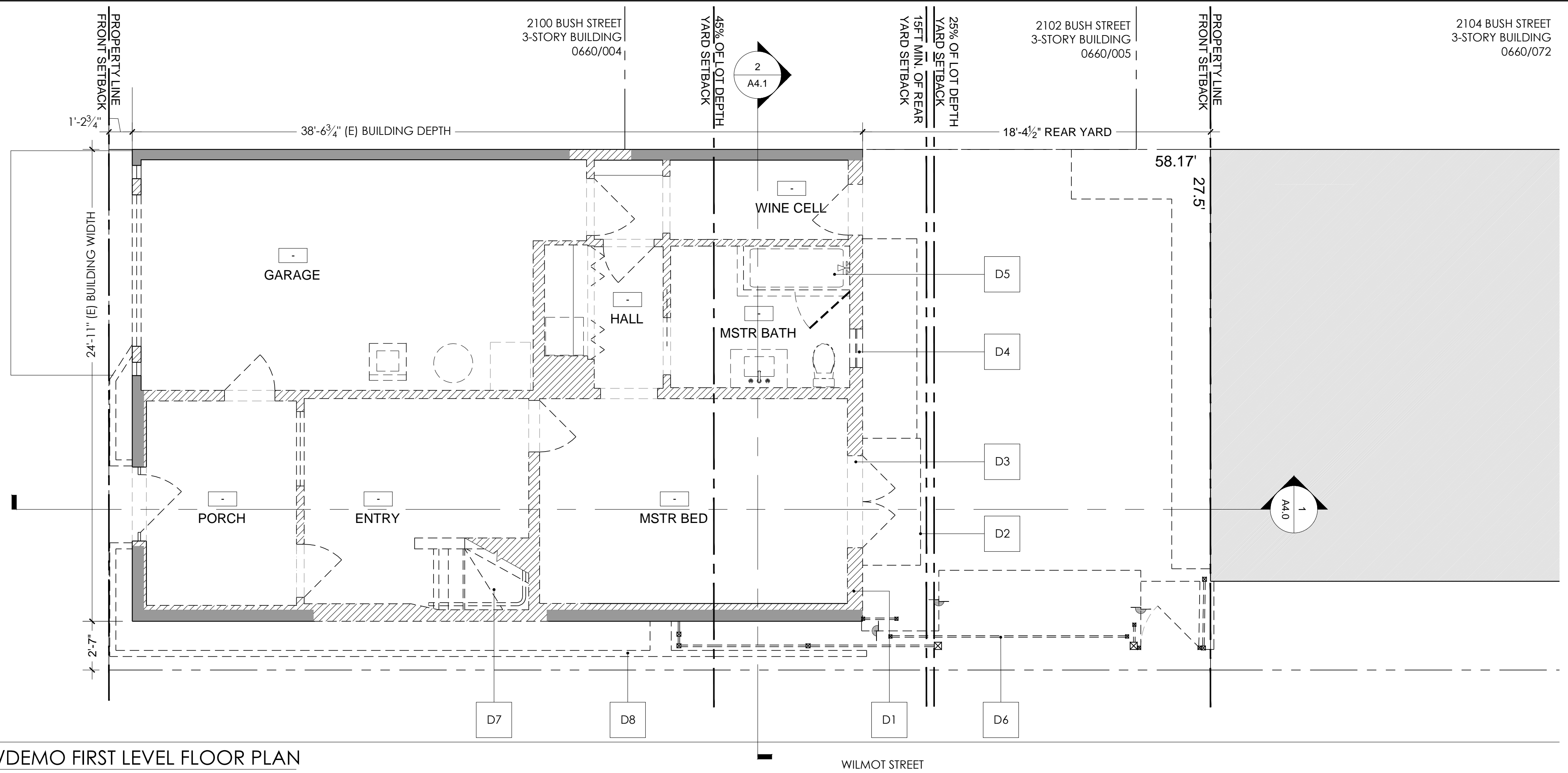
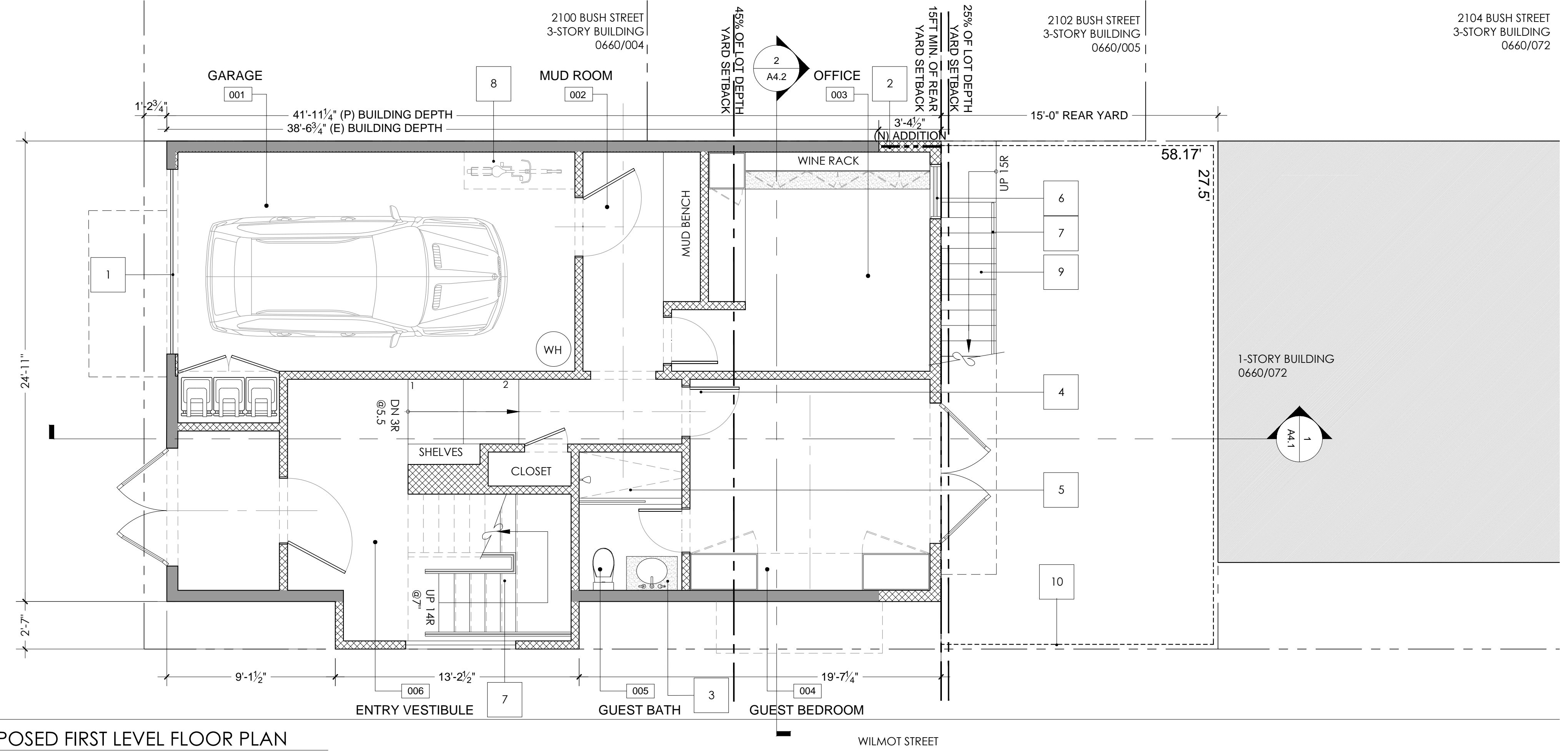
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WEBSTER STREET

WEBSTER STREET

1 EXISTING/DEMO FIRST LEVEL FLOOR PLAN  
1/4" = 1'-0"

2 PROPOSED FIRST LEVEL FLOOR PLAN  
1/4" = 1'-0"



GENERAL DEMO NOTES:

- CONTRACTOR IS ENCOURAGED TO PERFORM ECO-DEMOLITION AND SALVAGE AS MUCH AS POSSIBLE.
- REMOVED MATERIALS SUCH AS FIXTURES, APPLIANCES, AND OTHER ELEMENTS SUITABLE FOR RE-CYCLING TO BE SOLD OR DONATED FOR SUCH PURPOSE.
- DASHES ITEMS ARE USED TO DENOTE ITEMS TO BE REMOVED. NOTE THAT OTHER LINES SUCH AS SOFFITS ABOVE, EAVES AND HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINE. IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING.

DEMO PLAN KEY NOTES:

D1	(E) WALLS TO BE REMOVED WHERE INDICATED AS DASHED LINES, TYP.
D2	(E) STEPS TO BE REMOVED.
D3	(E) DOORS TO BE REMOVED WHERE INDICATED AS DASHED LINES, TYP.
D4	(E) WINDOWS & TRIM TO BE REMOVED, TYP. PATCH EXTERIOR WALLS AS REQUIRED.
D5	(E) PLUMBING FIXTURES, CABINETRY, AND FINISHES TO BE REMOVED, TYP. IN ALL BATHS.
D6	(E) FENCE TO BE REMOVED.
D7	(E) STAIR STRUCTURE AND LANDING TO BE REMOVED.
D8	(E) PLANTER TO BE REMOVED.

PROPOSED KEY NOTES:

1	(N) STAINED WD. SECTIONAL GARAGE DOOR, 10FT WIDE.
2	ALL (N) GWB PARTITION AT PROPERTY LINE TO BE 1 HR. RATED PARTITION, TYP.
3	(N) FIXTURES, CABINETS, ALL FINISHES TYP. IN ALL BATHS.
4	(N) 1 3/4" THK. SOLID CORE PTD. WD. DOORS, WITH (N) DOOR HARDWARE TYP.
5	(N) 1/2" THK. STAR PHIRE TEMPERED SHOWER GLASS DOOR W/ CR LAURENCE "ANNEHEIM" SQUARE CORNER HINGE P.C. FINISH, TYP. AT ALL SHOWER LOCATIONS
6	(N) ANODIZE ALUMINUM OR PAINTED WOOD WINDOWS, TYP.
7	(N) HANDRAIL TO MEET 2013 CBC 1012. 36" ABOVE NOSING AT TREADS, (N) GUARDRAILS TO BE 42" A.F.F.
8	(N) BICYCLE PARKING TO COMPLY WITH SEC.155.1-155.5 OF THE PLANNING CODE, BULLETIN #9
9	ALLOWABLE ENCROACHMENT FOR UNCOVERED STAIRS LESS THAN 3'-0" ABOVE GRADE AND 6'-0" INTO THE REAR YARD. SF PLANNING SEC 136.(C)14
10	(N) 10'-0"H FENCE @PL

WALL LEGEND:

---	PROPERTY LINE
---	(E) WALLS TO REMAIN. UPGRADE TO MIN. 5/8" THK. FIRE CODE TYPE X FINISH IF WALL IS REMOVED AND REPLACED
	(E) WALLS TO BE REMOVED
- - - - -	(E) ELEMENTS TO BE REMOVED
	(N) WALLS
---	(E) FENCE
---	(N) FIRE RATED WALL

1/4" = 1'-0"

FINN RESIDENCE SUTRO ARCHITECTS

415.956.3445  
sutroarchitect.com  
1555 Post Street, San Francisco, CA 94109

1825 WEBSTER ST  
BLOCK 0660 LOT 060 | PROJECT NO. 2014.034

ISSUED  
SITE PERMIT: 11.12.2015  
SITE PERMIT: 01.15.2016  
SITE PERMIT: 05.27.2016  
SITE PERMIT: 06.16.2016

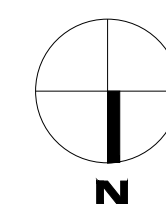
EXISTING/DEMO & PROPOSED FIRST LEVEL FLOOR PLAN

1/4" = 1'-0"

A2.0



WEBSTER STREET




## A2.1



WEBSTER STREET


$$1/4'' = 1'-0''$$

$$1/4'' = 1'-0''$$


## A2.2

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DEMO KEY NOTES:

- D1

(E) STEPS TO BE REMOVED
- D2

(E) EXTERIOR WALL TO REMAIN.
- D3

(E) WINDOWS & TRIM TO BE REMOVED, TYP.  
PATCH EXTERIOR WALLS AS REQUIRED.
- D4

(E) EXTERIOR WALL TO BE REMOVED.
- D5

(E) FENCE TO BE REMOVED
- D6

(E) GUARD RAILS AND TERRACE TO BE REMOVED

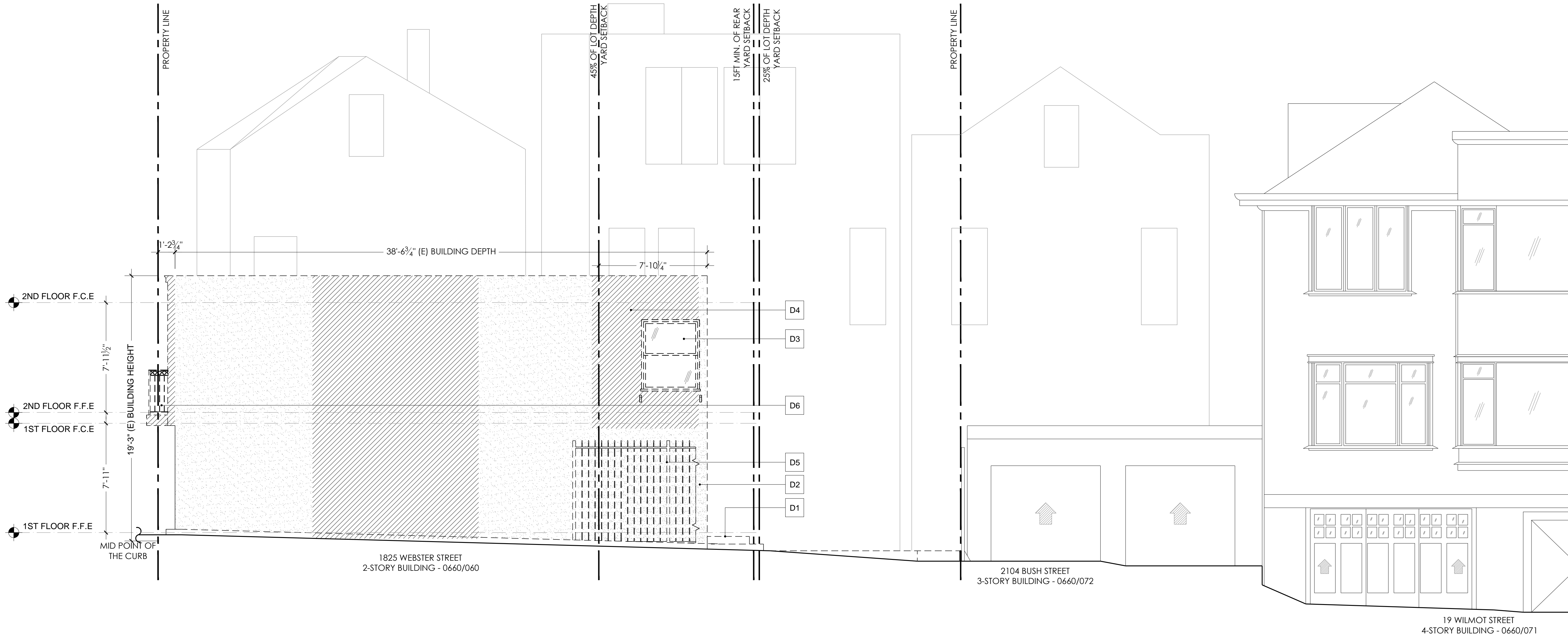
WALL LEGEND:

- PROPERTY LINE
- (E) WALLS TO REMAIN.  
UPGRADE TO MIN. 5/8" THK. FIRE  
CODE TYPE X FINISH IF WALL IS  
REMOVED AND REPLACED
- ///

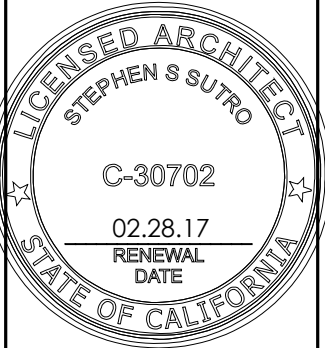
(E) WALLS TO BE REMOVED
- - -

(E) ELEMENTS TO BE REMOVED
- xxx

(N) WALLS
- (E) FENCE
- (N) FIRE RATED WALL



1 EXISTING/DEMO EXTERIOR NORTH ELEVATION  
1/4" = 1'-0"



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EXISTING/DEMO  
EXTERIOR NORTH  
ELEVATION

1/4" = 1'-0"



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PROPOSED KEY NOTES:

- 1

(N) INTEGRAL STUCCO FINISH.
- 2

(N) ANODIZE ALUMINUM OR PAINTED WOOD WINDOWS, TYP.
- 3

(N) EXTERIOR DECK W/ GLASS GUARDRAIL AT 42" FROM F.F.; GLASS SEGMENTS IN GUARDRAIL, DIVIDED BY 1/2" CAP, TO BE LESS THAN 24 SQ FT. CAP RAIL TO BE 3/4" STAINLESS STEEL.
- 4

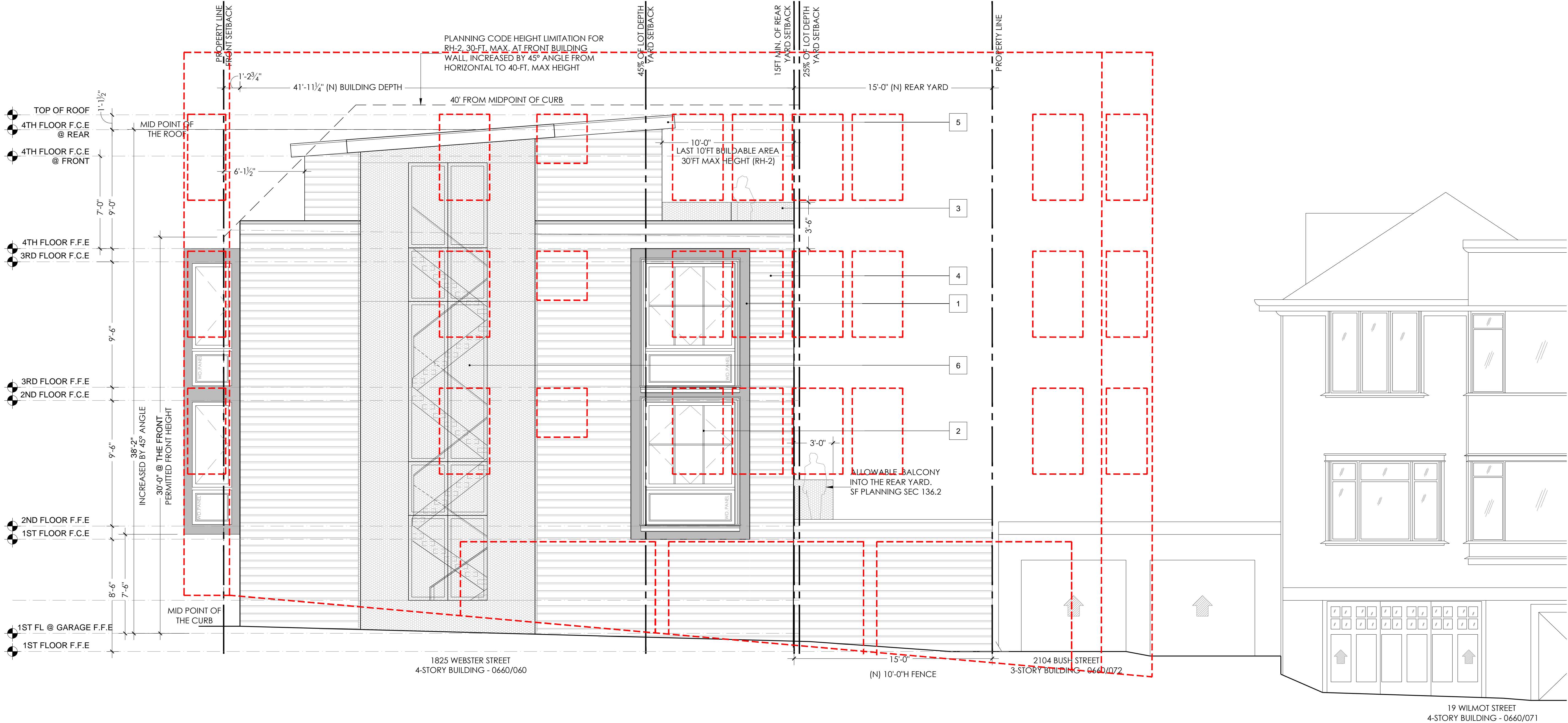
(N) WOOD SIDING.
- 5

(N) ROOF.
- 6

PERFORATED PRIVACY SCREEN @ STAIRCASE

WALL LEGEND:

- PROPERTY LINE
- (E) WALLS TO REMAIN.  
UPGRADE TO MIN. 5/8" THK. FIRE  
CODE TYPE X FINISH IF WALL IS  
REMOVED AND REPLACED
- (E) WALLS TO BE REMOVED
- (E) ELEMENTS TO BE REMOVED
- (N) WALLS
- (E) FENCE
- (N) FIRE RATED WALL



1 PROPOSED EXTERIOR NORTH ELEVATION  
1/4" = 1'-0"

FINN RESIDENCE

SUTRO ARCHITECTS

1825 WEBSTER ST  
BLOCK 0660 LOT 060 | PROJECT NO. 2014.034

ISSUED

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SITE PERMIT: 01.15.2016

SITE PERMIT: 05.27.2016

PROPOSED EXTERIOR  
NORTH ELEVATION

1/4" = 1'-0"

A3.1

LICENSED ARCHITECT

STEPHEN S SUTRO

C-30702

02.28.17

RENEWAL  
DATE

STATE OF CALIFORNIA

415.956.3445

sutroarchitect.com

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PROPOSED EXTERIOR EAST ELEVATION  
1/4" = 1'-0"



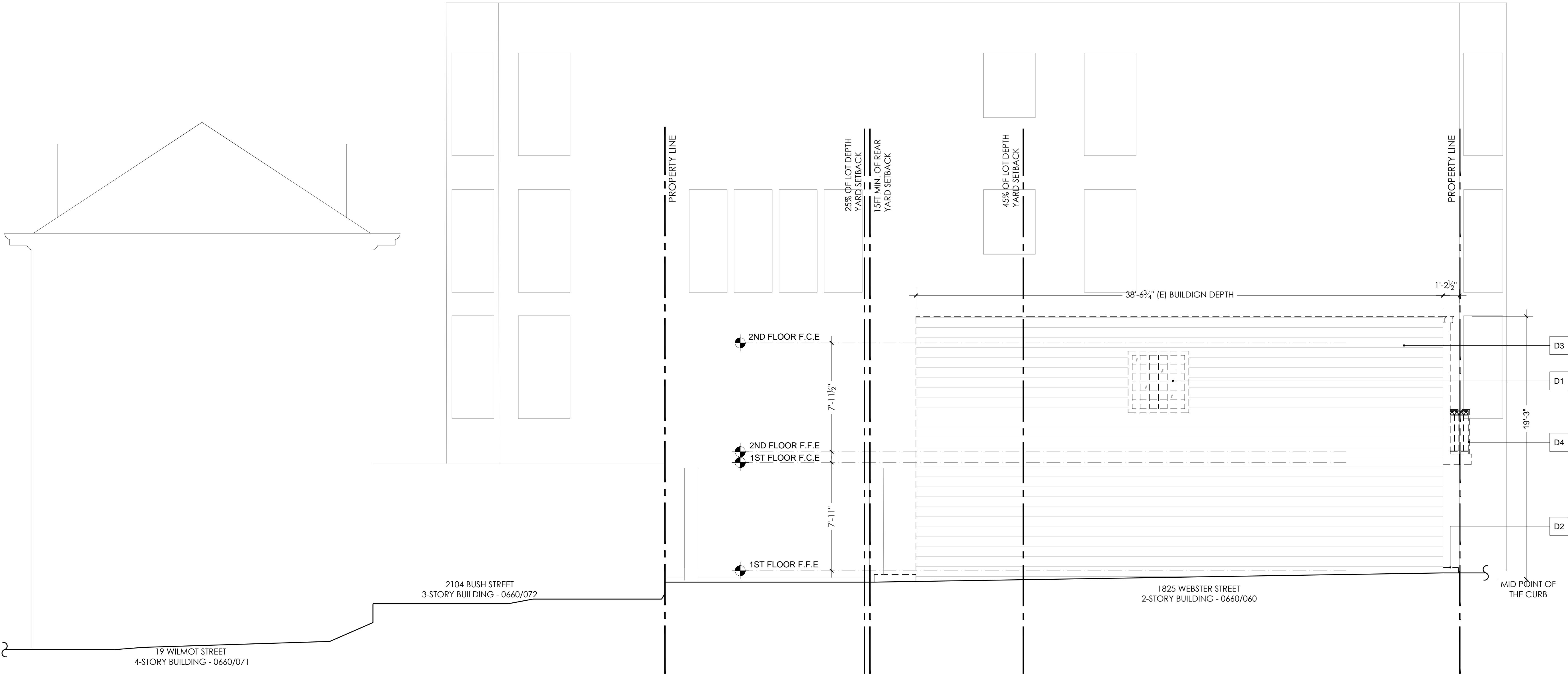
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DEMO KEY NOTES:

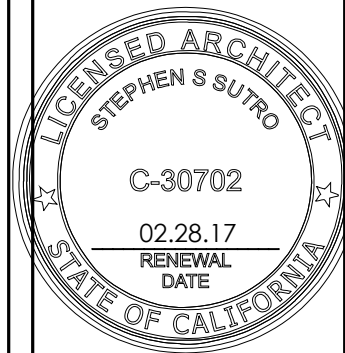
- D1
- (E) WINDOWS & TRIM TO BE REMOVED, TYP.  
PATCH EXTERIOR WALLS AS REQUIRED.
- D2
- (E) STEPS TO BE REMOVED
- D3
- (E) EXTERIOR WALL TO REMAIN. (E) SIDING  
TO BE REPLACED WITH NEW.
- D4
- (E) GUARD RAILS AND TERRACE TO BE REMOVED

WALL LEGEND:

- PROPERTY LINE
- (E) WALLS TO REMAIN.  
UPGRADE TO MIN. 5/8" THK. FIRE  
CODE TYPE X FINISH IF WALL IS  
REMOVED AND REPLACED
- (E) WALLS TO BE REMOVED
- (E) ELEMENTS TO BE REMOVED
- (N) WALLS
- (E) FENCE
- (N) FIRE RATED WALL



1 EXISTING/DEMO EXTERIOR SOUTH ELEVATION  
1/4" = 1'-0"



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EXISTING/DEMO  
EXTERIOR  
SOUTH ELEVATION

1/4" = 1'-0"

A3.3

FINN RESIDENCE SUTRO ARCHITECTS

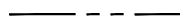






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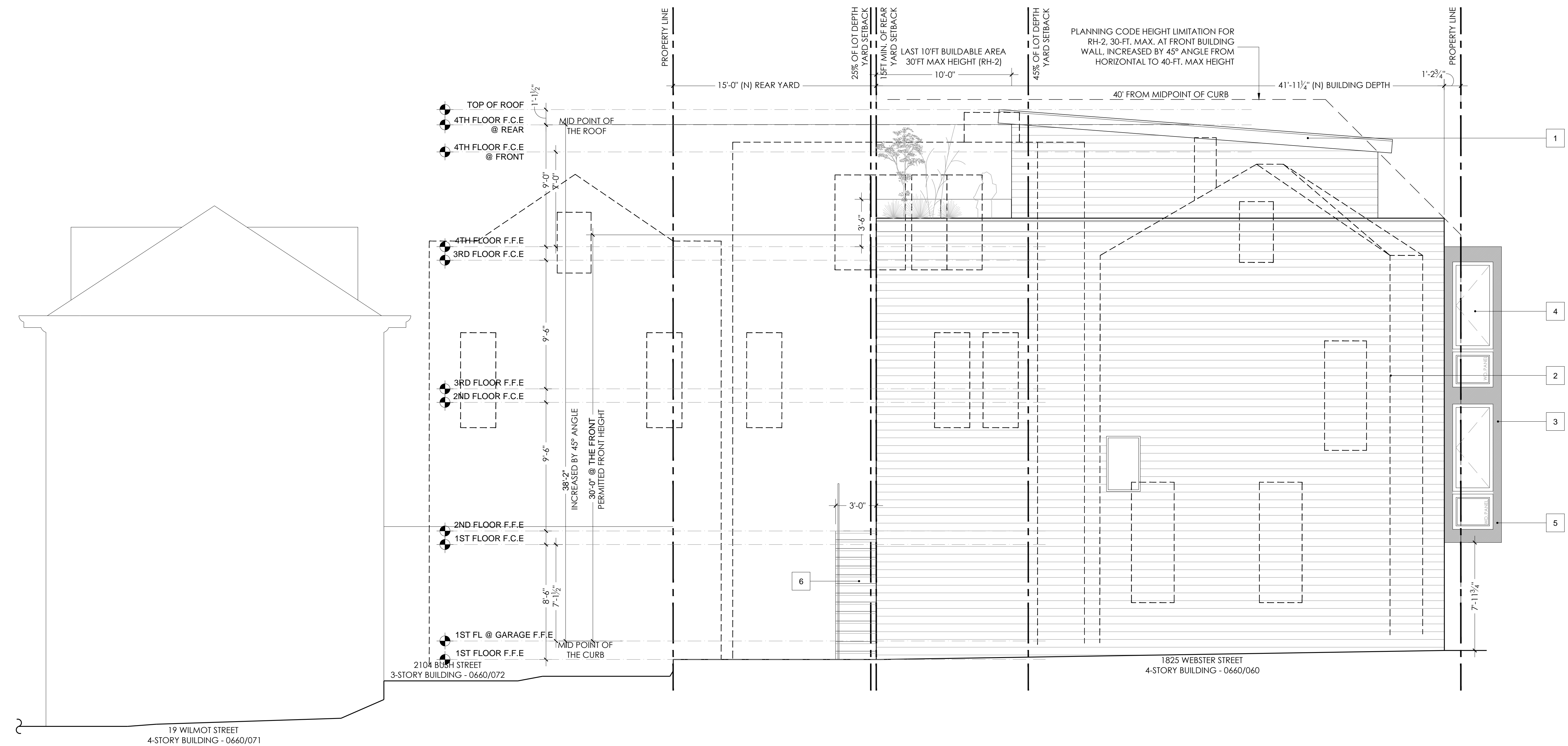


## PROPOSED KEY NOTES:

1	(N) ROOF.
2	(N) WOOD SIDING.
3	(N) INTEGRAL STUCCO FINISH.
4	(N) ANODIZE ALUMINUM OR PAINTED WOOD WINDOWS, TYP.
5	(N) BAY WINDOW TO COMPLY W/ PLANNING CODE SECTION 136(c)(2)
6	ALLOWABLE ENCROACHMENT FOR UNCOVERED STAIRS LESS THAN 3'-0" ABOVE GRADE AND 6'-0" INTO THE REAR YARD. SF PLANNING SEC 136.(c)14

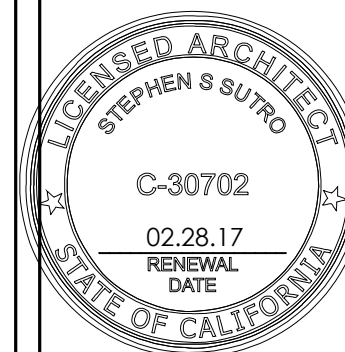
### WALL LEGEND:

	PROPERTY LINE
	(E) WALLS TO REMAIN. UPGRADE TO MIN. 5/8" THK. FIRE CODE TYPE X FINISH IF WALL IS REMOVED AND REPLACED
	(E) WALLS TO BE REMOVED
	(E) ELEMENTS TO BE REMOVED
	(N) WALLS
	(E) FENCE
	(N) FIRE RATED WALL



1 PROPOSED EXTERIOR SOUTH ELEVATION  
1/4" = 1'-0"

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**PROPOSED EXTERIOR  
SOUTH ELEVATION**

$$1/4'' = 1'-0''$$

### A3.4

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DEMO KEY NOTES:

- D1 (E) WEST FACADE TO BE REMOVED FOR (N) REAR ADDITION
- D2 (E) STEPS TO BE REMOVED
- D3 (E) DOORS & TRIM TO BE REMOVED, TYP. PATCH EXTERIOR WALLS AS REQUIRED.
- D4 (E) WINDOWS & TRIM TO BE REMOVED, TYP. PATCH EXTERIOR WALLS AS REQUIRED.
- D5 (E) FENCE TO BE REMOVED

PROPOSED KEY NOTES:

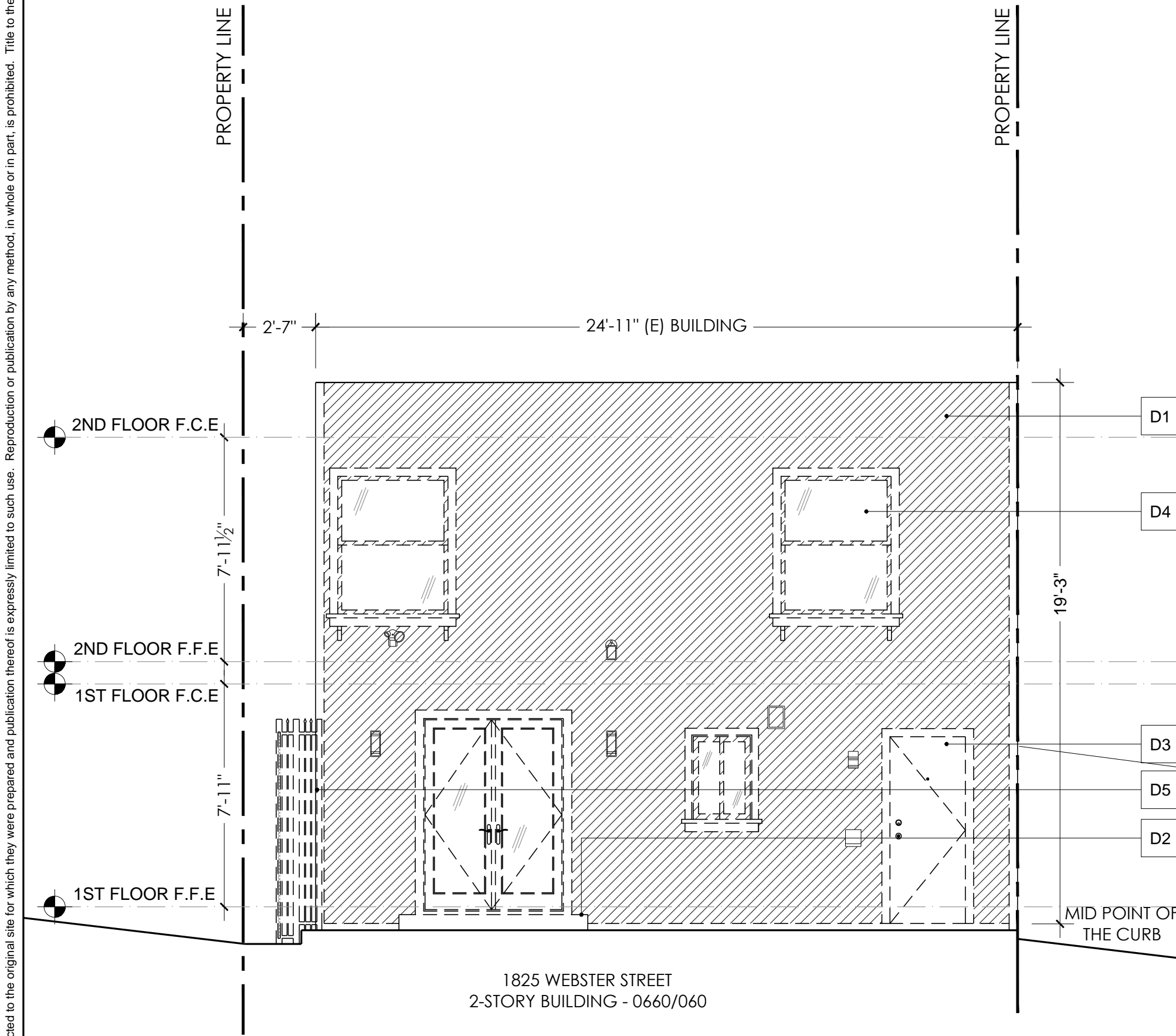
- 1 (N) WOOD SIDING.
- 2 (N) ANODIZE ALUMINUM OR PAINTED WOOD WINDOWS, TYP.
- 3 (N) ANODIZE ALUMINUM OR PAINTED WOOD & GLASS DOORS.
- 4 (N) EXTERIOR DECK W/ GLASS GUARDRAIL AT 42" FROM F.F. GLASS SEGMENTS IN GUARDRAIL, DIVIDED BY 1/2" GAP, TO BE LESS THAN 24 SQ. FT.
- 5 (N) ROOF.
- 6 ALLOWABLE ENCROACHMENT FOR UNCOVERED STAIRS LESS THAN 3'-0" ABOVE GRADE AND 6'-0" INTO THE REAR YARD. SF PLANNING SEC 136.(C)14

WALL LEGEND:

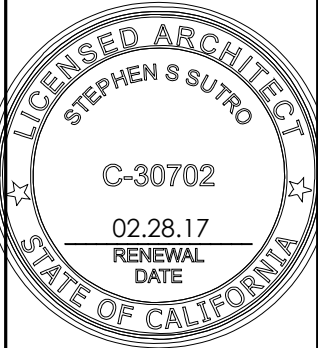
- PROPERTY LINE
- (E) WALLS TO REMAIN. UPGRADE TO MIN. 5/8" THK. FIRE CODE TYPE X FINISH IF WALL IS REMOVED AND REPLACED
- ///

(E) WALLS TO BE REMOVED
- (E) ELEMENTS TO BE REMOVED
- (N) WALLS
- (E) FENCE
- (N) FIRE RATED WALL

1 EXISTING/DEMO WEST ELEVATION  
1/4" = 1'-0"



2 PROPOSED EXTERIOR WEST ELEVATION  
1/4" = 1'-0"



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SITE PERMIT: 01.15.2016  
SITE PERMIT: 05.27.2016

EXISTING/DEMO &  
PROPOSED EXTERIOR  
WEST ELEVATION

1/4" = 1'-0"

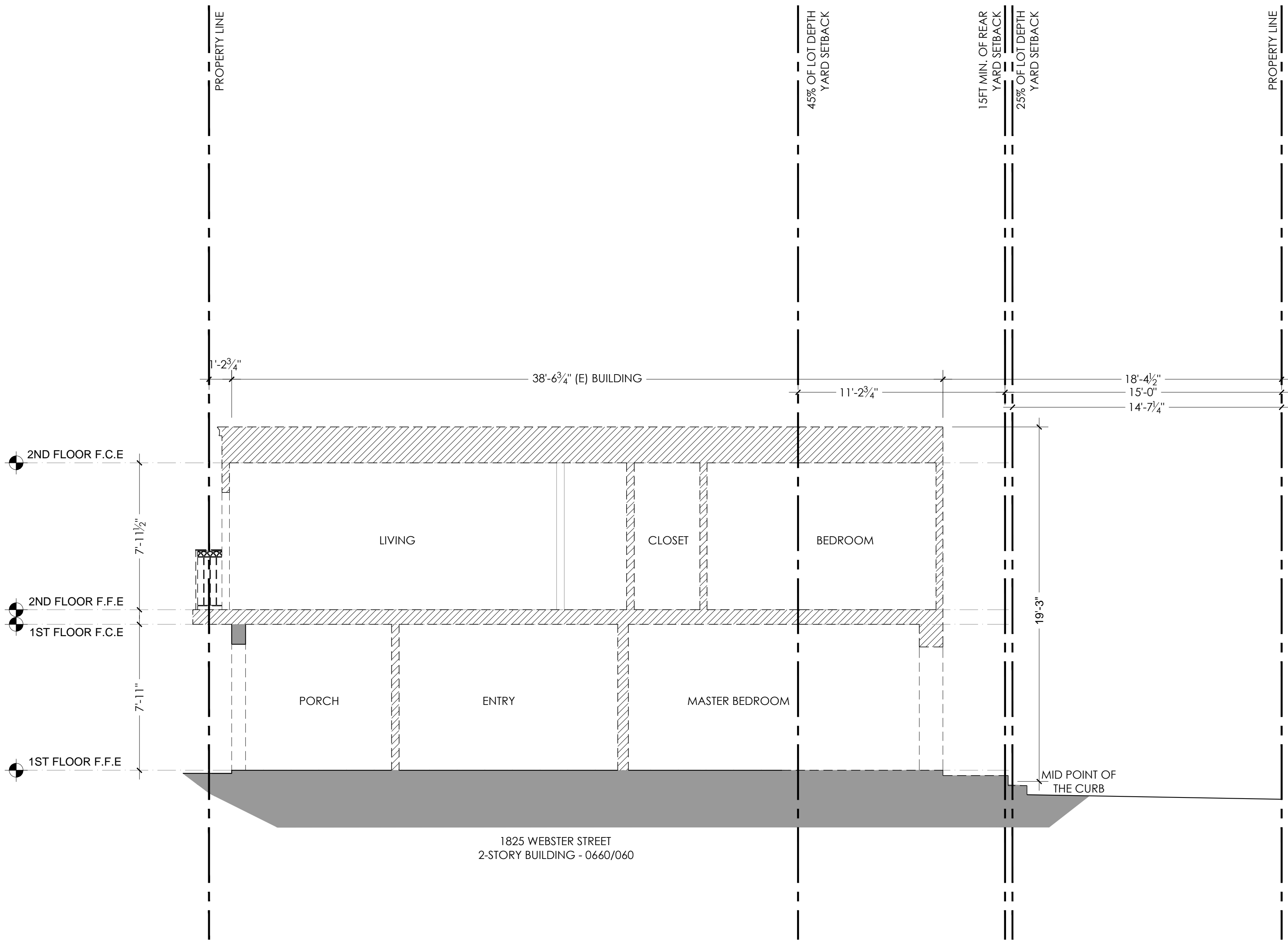
A3.5

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DEMO KEY NOTES:

WALL LEGEND:

- PROPERTY LINE
- (E) WALLS TO REMAIN. UPGRADE TO MIN. 5/8" THK. FIRE CODE TYPE X FINISH IF WALL IS REMOVED AND REPLACED
- (E) WALLS TO BE REMOVED
- (E) ELEMENTS TO BE REMOVED
- (N) WALLS
- (E) FENCE
- (N) FIRE RATED WALL

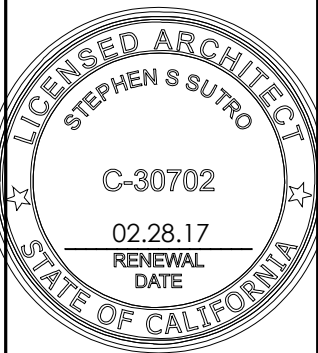


1 EXISTING/DEMO SECTION  
1/4" = 1'-0"

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SITE PERMIT: 05.27.2016

EXISTING/DEMO  
SECTION

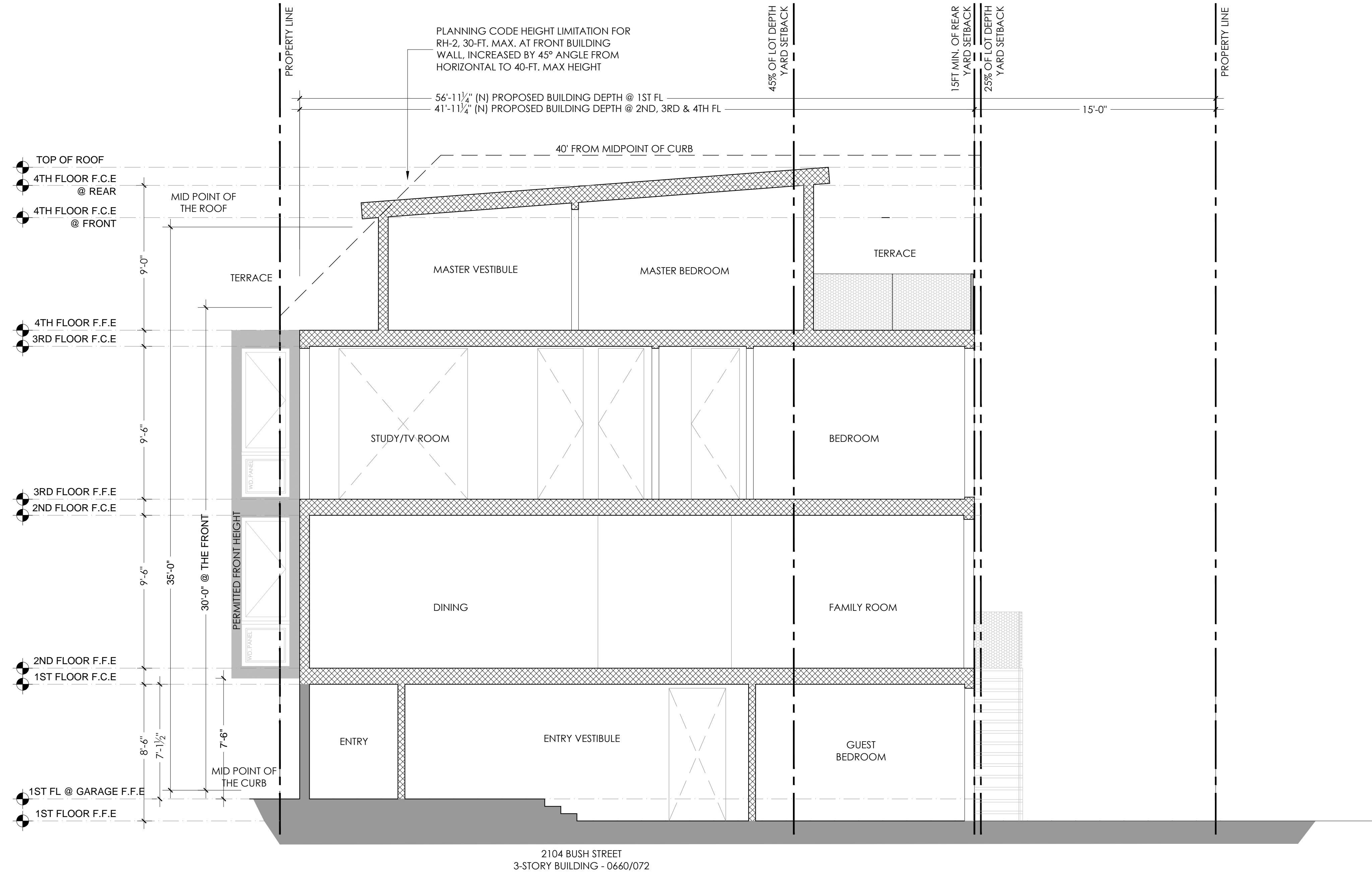
1/4" = 1'-0"

A4.0



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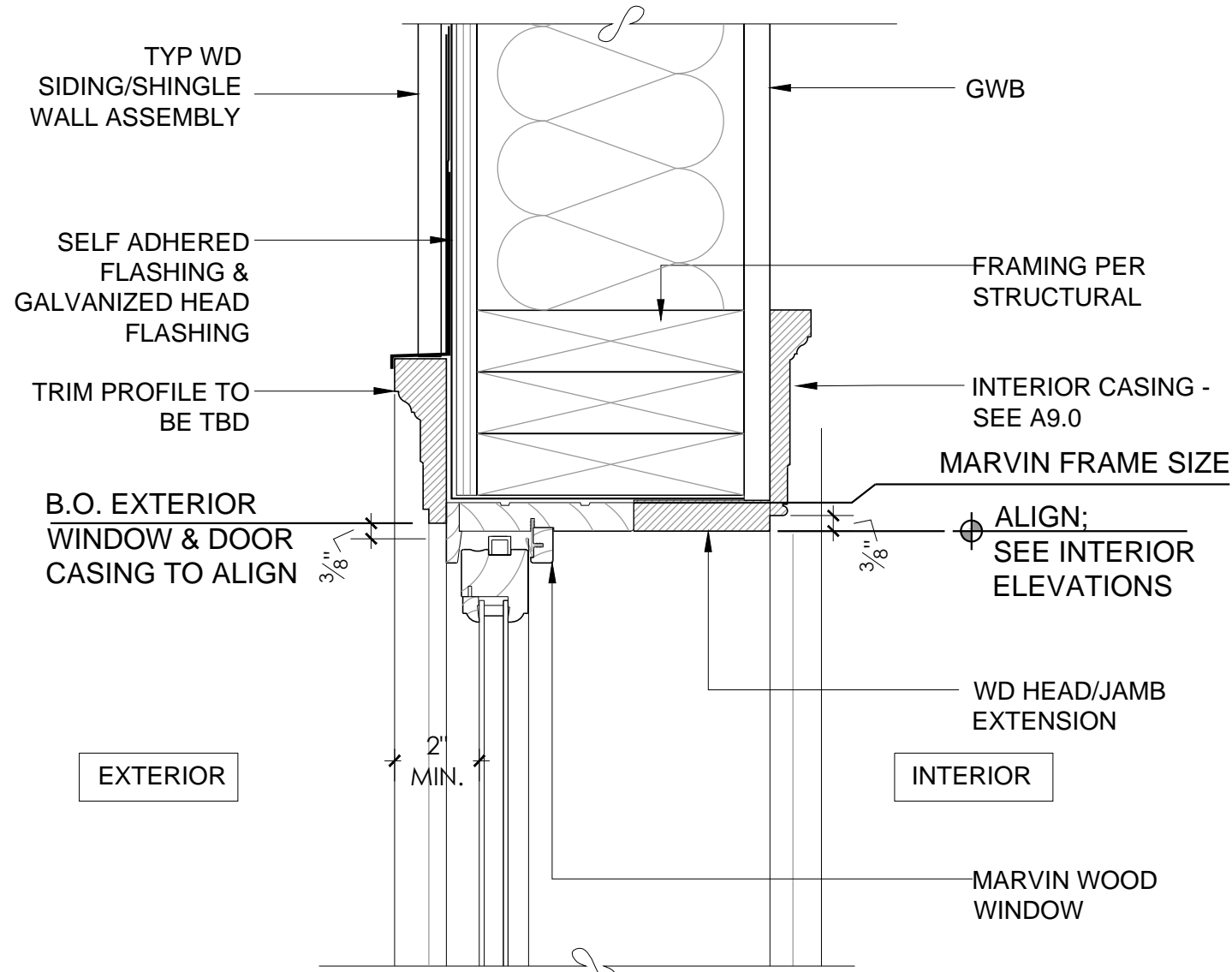
PROPOSED KEY NOTES:



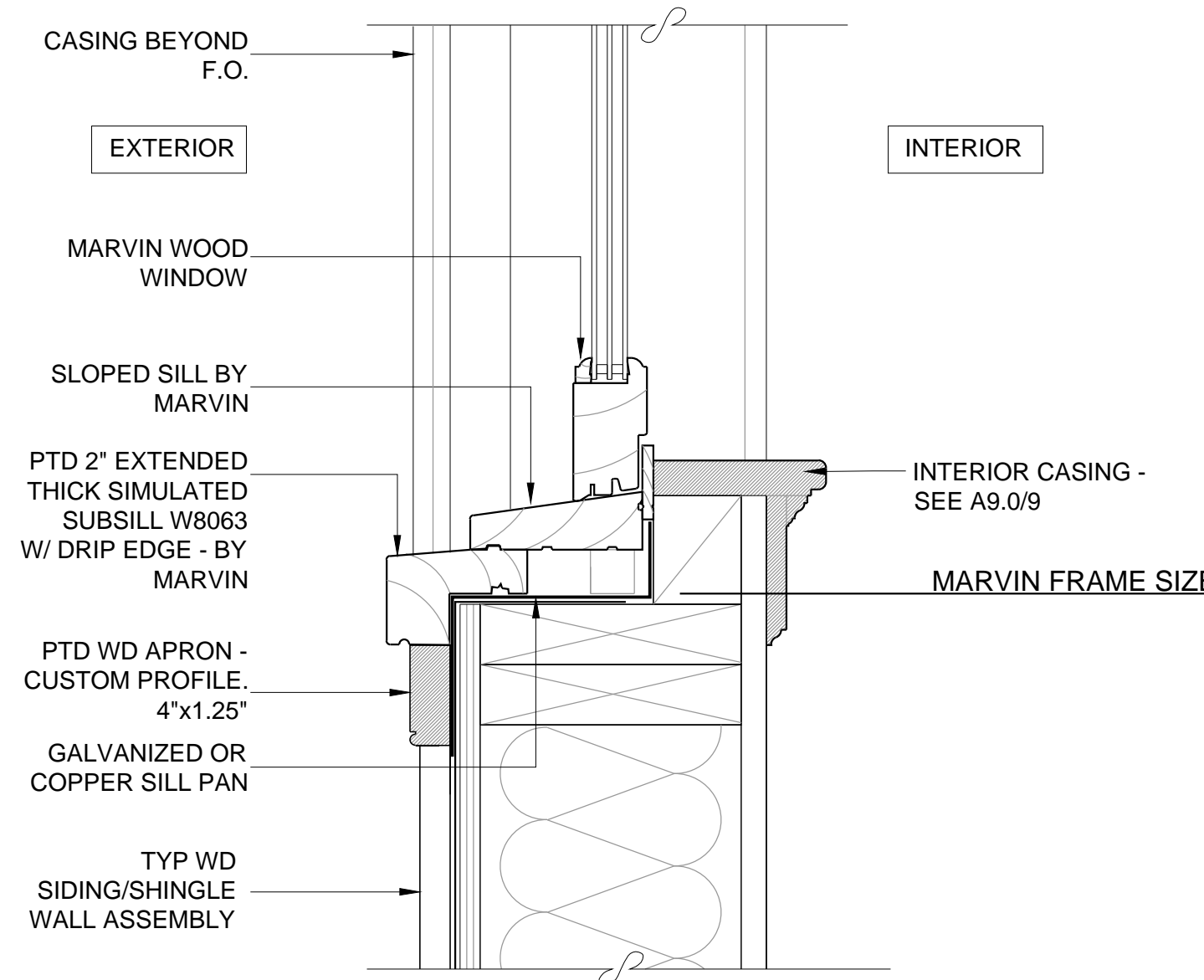
1 PROPOSED SECTION  
1/4" = 1'-0"

WALL LEGEND:

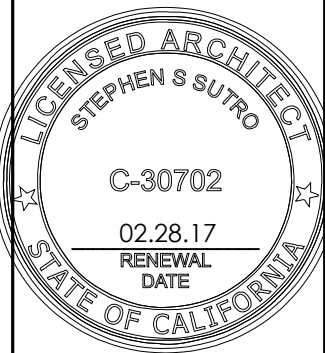
- PROPERTY LINE
- (E) WALLS TO REMAIN. UPGRADE TO MIN. 5/8" THK. FIRE CODE TYPE X FINISH IF WALL IS REMOVED AND REPLACED
- (E) WALLS TO BE REMOVED
- (E) ELEMENTS TO BE REMOVED
- (N) WALLS
- (E) FENCE
- (N) FIRE RATED WALL



2 WINDOW HEAD, JAMB SIM, TYP.  
3" = 1'-0"



3 WINDOW SILL, TYP.  
3" = 1'-0"



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SITE PERMIT: 05.27.2016

PROPOSED SECTION

1/4" = 1'-0"



