



SAN FRANCISCO PLANNING DEPARTMENT

Memo to the Planning Commission

HEARING DATE: AUGUST 11, 2016

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: February 14, 2017
Case No.: 2015-015721DRM
Project Address: 1276 Market Street
Zoning: C-3-G (Downtown General Commercial) District
80-X Height and Bulk District
Civic Center & Downtown Plan Areas
Block/Lot: 0022/014
Project Sponsor: Brendan Hallinan
345 Franklin Street
San Francisco, CA 94102
Staff Contact: Nicholas Foster – (415) 575-9167
nicholas.foster@sfgov.org

BACKGROUND

On August 11, 2016, the Planning Commission, through Discretionary Review Action Memo No. 0479, approved Building Permit Application No. 2015.12.18.5457, proposing to establish a new Medical Cannabis Dispensary (MCD) (d.b.a. "Moe Greens") at 1276 Market Street. The proposal would make interior tenant improvements to the existing 4,121 square foot, ground floor commercial space.

CURRENT PROPOSAL

Since the August 11, 2016 Planning Commission Hearing, the Project Sponsor has proposed adding an additional 3,429 square feet of tenant space to the project, located at basement level. With the inclusion of the basement space, the total area to be utilized by the subject MCD would therefore be 7,429 square feet.

ISSUES AND OTHER CONSIDERATIONS

- The proposed increase of use size (from 4,121 square feet to 7,429 square feet) remains well below the established use size limits for the C-3 Districts (90,000 square feet);
- The location of the proposed addition (basement level) is not publically-visible and the overall storefront programming at the ground (street) level remains unchanged;
- Medical Cannabis Dispensaries (an Institutional Use) are principally permitted uses in the C-3 Districts, subject to Planning Commission review of the Building Permit Application (Mandatory Discretionary Review); and
- The proposed Project meets all applicable requirements of the Planning Code.

Attachments:

- Discretionary Review Action (DRA) Memo No. 0479
- Updated Site Plans

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SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Action DRA-0479

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ADOPTING FINDINGS RELATED TO TAKING DISCRETIONARY REVIEW OF CASE NO. 2015-015721DRM AND THE APPROVAL OF BUILDING PERMIT APPLICATION NO. 2015.12.18.5457, PROPOSING TO ESTABLISH A MEDICAL CANNABIS DISPENSARY AT THE SUBJECT PROPERTY WITHIN THE C-3-G (DOWNTOWN GENERAL COMMERCIAL) ZONING DISTRICT AND A 80-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On December 18, 2015, Brendan Hallinan (hereafter "Project Sponsor") filed Building Permit Application No. 2015.12.18.5457 proposing to establish a Medical Cannabis Dispensary (d.b.a. "Moe Greens"), located at 1276 Market Street. The proposal would make tenant improvements to the existing 4,121 square foot, ground floor commercial storefront. No parking is required and no physical expansion is proposed for the structure.

On December 18, 2015, Project Sponsor filed an application packet to operate a Medical Cannabis Dispensary (d.b.a. "Moe Greens"), located at 1276 Market Street. The proposal would allow for the following at the subject property: on-site sales of medical cannabis and/or medical cannabis edibles; medication of medical cannabis (e.g. smoking, vaporizing, and consumption of medical cannabis edibles); and on-site cultivation (e.g. live marijuana plants would be kept on the premises for purposes of harvesting medical product).

On July 1, 2016, the Project was issued a Categorical Exemption, Class 1 (California Environmental Quality Act (CEQA) Guidelines Section 15301).

On August 11, 2016, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Discretionary Review Application 2015-015721DRM.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

ACTION

The Commission hereby does take Discretionary Review requested in Application No. 2015-015721DRM and approves the Building Permit Application 2015.12.18.5457, subject to the following conditions:

1. **Garbage, Recycling, and Composting Receptacles.** **Garbage**, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.
2. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.
3. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.
4. **Notice.** Posted notice urging patrons to leave the establishment and neighborhood in a quiet, peaceful, and orderly fashion and to not litter or block driveways in the neighborhood, shall be well-lit and prominently displayed at all entrances to and exits from the establishment. Notices shall be incorporated into the plan elevations.
5. **Signage.** All exterior signage shall be designed to complement, not compete with the existing architectural character and architectural features of the building. Signage for the medical cannabis dispensary shall be limited to one wall sign not to exceed ten square feet in area, and one identifying sign not to exceed two square feet in area; such signs shall not be directly illuminated. Any wall sign, or the identifying sign if the medical cannabis dispensary has no exterior wall sign, shall include the following language: "Only individuals with legally recognized Medical Cannabis Identification Cards or a verifiable, written recommendation from a physician for medical cannabis may obtain cannabis from medical cannabis dispensaries." The required text shall be a minimum of two inches in height.

The reasons that the Commission took the action described above include:

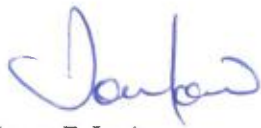
1. There are extraordinary or exceptional circumstances in the case. Based on its consideration of written materials and oral testimony presented at the August 11, 2016 Planning Commission hearing, the Commission determined that the proposed Medical Cannabis Dispensary (d.b.a. "Moe Greens") would be a compatible Use within the Civic Center and Downtown Plan Areas.

APPEAL AND EFFECTIVE DATE OF ACTION: Any aggrieved person may appeal this Building Permit Application to the Board of Appeals within fifteen (15) days after the date the permit is issued. For further information, please contact the Board of Appeals at (415) 575-6881, 1650 Mission Street # 304, San Francisco, CA, 94103-2481.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission did take Discretionary Review and approved the building permit as referenced in this action memo on August 11, 2016.



Jonas P. Ionin
Commission Secretary

AYES: Hillis, Fong, Moore, Richards

NAYS: Antonini

ABSENT: Johnson, Wu

ADOPTED: August 11, 2016

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GENERAL NOTES

ALL CONSTRUCTION AND INSTALLATION SHALL CONFIRM TO THE FOLLOWING CODES:
 2013 TITLE 24 & CALIFORNIA BUILDING CODE (CBC) & SAN FRANCISCO AMENDMENTS
 2013 CALIFORNIA MECHANICAL CODE (CMC) & CALIFORNIA PLUMBING CODE (CPC)
 2013 CALIFORNIA ELECTRICAL CODE (CED) & 2010 CALIFORNIA ENERGY CODE (CEC)
 2013 CALIFORNIA FIRE CODE WITH SAN FRANCISCO AMENDMENTS
 2002 MFPA 13 INSTALLATION OF SPRINKLER SYSTEMS, 2002 MFPA13R SPRINKLER SYSTEMS FOR RESIDENTIAL OCCUPANCIES UP TO 4 STORIES IN HT. & 2002 MFPA 72 NATIONAL FIRE ALARM CODE AS APPLICABLE, AND ANY OTHER GOVERNING CODES & ORDINANCES.
 IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.

THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS OF BUILDING AND SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.

THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE REASONABLY BEEN INFERRED FROM SUCH AN EXAMINATION.

CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, LANDSCALE, CIVIL, MECHANICAL, PLUMBING, ELECTRICAL AND FIRE PROTECTION. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH SAME DISCIPLINES.

ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSION GOVERN.

ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.

WHEN SHOWN IN PLAN, ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD, CONCRETE, CENTERLINE OF COLUMNS, OR CENTERLINE OF STUD WITHIN WALL ASSEMBLIES, UNLESS OTHERWISE NOTED.

WHEN SHOWN IN SECTION OR ELEVATION, ALL DIMENSIONS ARE TO TOP OF PLATE OR TOP OF CONCRETE UNLESS OTHERWISE NOTED.

DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFIRM WITH LOCAL BUILDING AND FIRE CODES.

PROVIDE AND INSTALL 2x FLAT WOOD BLOCKING FOR ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.

ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENINGS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND THE REQUIREMENTS OF THE CODES. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.

VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, FIREPLACES, ETC., BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.

PROVIDE FIRE-BLOCKING AND DRAFTSTOPPING AT ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL). AS PER 1997/98 UBC 708, FIREBLOCKING & DRAFTSTOPS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:

- 1) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
- 2) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
- 3) IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.

WINDOW SIZES ON DRAWINGS ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER FOR ACTUAL ROUGH OPENING SIZES.

MECHANICAL, PLUMBING, ELECTRICAL, AND OTHER PENETRATIONS OF FLOORS, WALLS AND CEILINGS SHALL BE SEALED AIRTIGHT WITH ACOUSTICAL SEALANT AND FIRESAFING AS REQUIRED.

ALL EXTERIOR DOORS AND WINDOWS ARE TO BE WEATHERSTRIPPED PER TITLE 24 REQUIREMENTS.

ALL WALL, FLOOR, ROOF, AND SHAFT CONSTRUCTION TO BE RATED, U.O.N.

DISCREPANCIES: WHERE A CONFLICT IN REQUIREMENTS OCCURS BETWEEN THE SPECIFICATIONS AND DRAWINGS, OR ON THE DRAWINGS, AND A RESOLUTION IS NOT OBTAINED FROM THE ARCHITECT BEFORE THE BIDDING DTAE, THE MORE STRINGENT ALTERNATE WILL BECOME THE CONTRACTUAL REQUIREMENTS.

CONTRACTOR SHALL NOTIFY GEOTECHNICAL ENGINEER FOR INSPECTION OF COMPRESSION GROUTING, BUILDING PAD, FOUNDATION EXCAVATION, DEPTH, BACK FILL MATERIALS, AND DRAINAGE AS APPLICABLE.

CONTRACTOR SHALL ENSURE THAT GUIDELINES SET FORTH ON SHEET NO.6 ARE MAINTAINED DURING CONSTRUCTION, INSTALLATION, AND FINISHING OF ALL ASPECTS OF THIS PROJECT.

ALL CONCEALED SPACES UNDER RAISED SLEEPING PLATFORMS MUST BE SPRINKLERED.

PROVIDE I.C.B.O. EVALUATION SERVICES INC. REPORT ON TEST DATA FOR ALL SKYLIGHTS.

PROVIDE SAFETY GLAZING AT ALL HAZARDOUS LOCATIONS, INCLUDING, BUT NOT LIMITED TO GLAZING WITHIN 18" OF A WALKING SURFACE. GLAZING IN DOORS AND WINDOWS ADJACENT TO DOORS IN ACCORDANCE WITH SECTION 2406.4.

ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER UBC 2406.2.

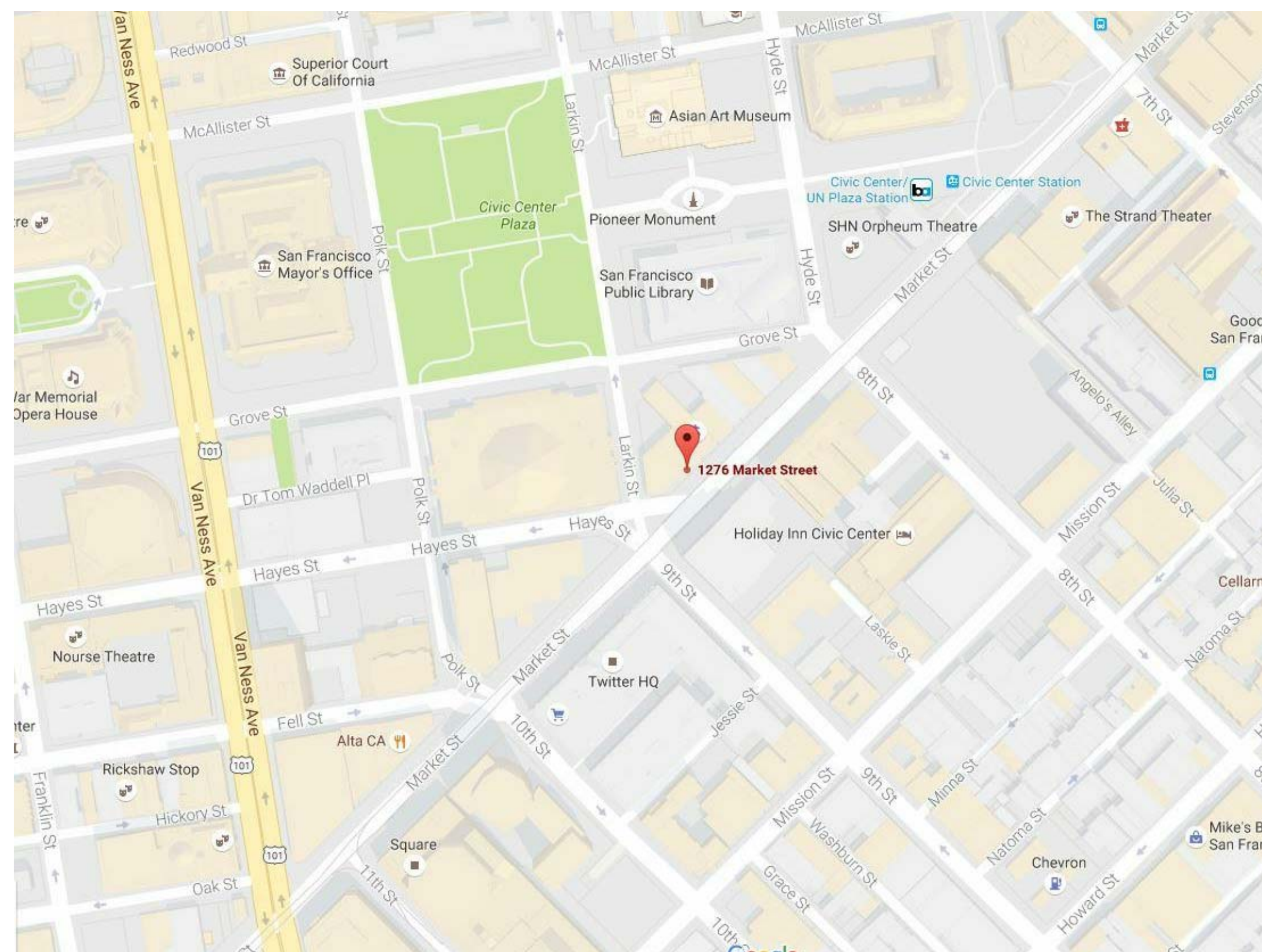
ALL SMOKE DETECTORS TO BE HARD WIRED.

OPENINGS IN 1, 2, OR 3-HOUR RATED ASSEMBLIES SHOULD BE PROTECTED WITH (1), (2), OR (3)-HOUR RATED ASSEMBLIES, RESPECTIVELY.

ALL ASSEMBLIES SHOULD BE APPROVED.

ALL DUCT PENETRATIONS THROUGH RATED WALLS SHOULD BE PROTECTED WITH SMOKE AND FIRE DAMPERS.

PROJECT LOCATION MAP

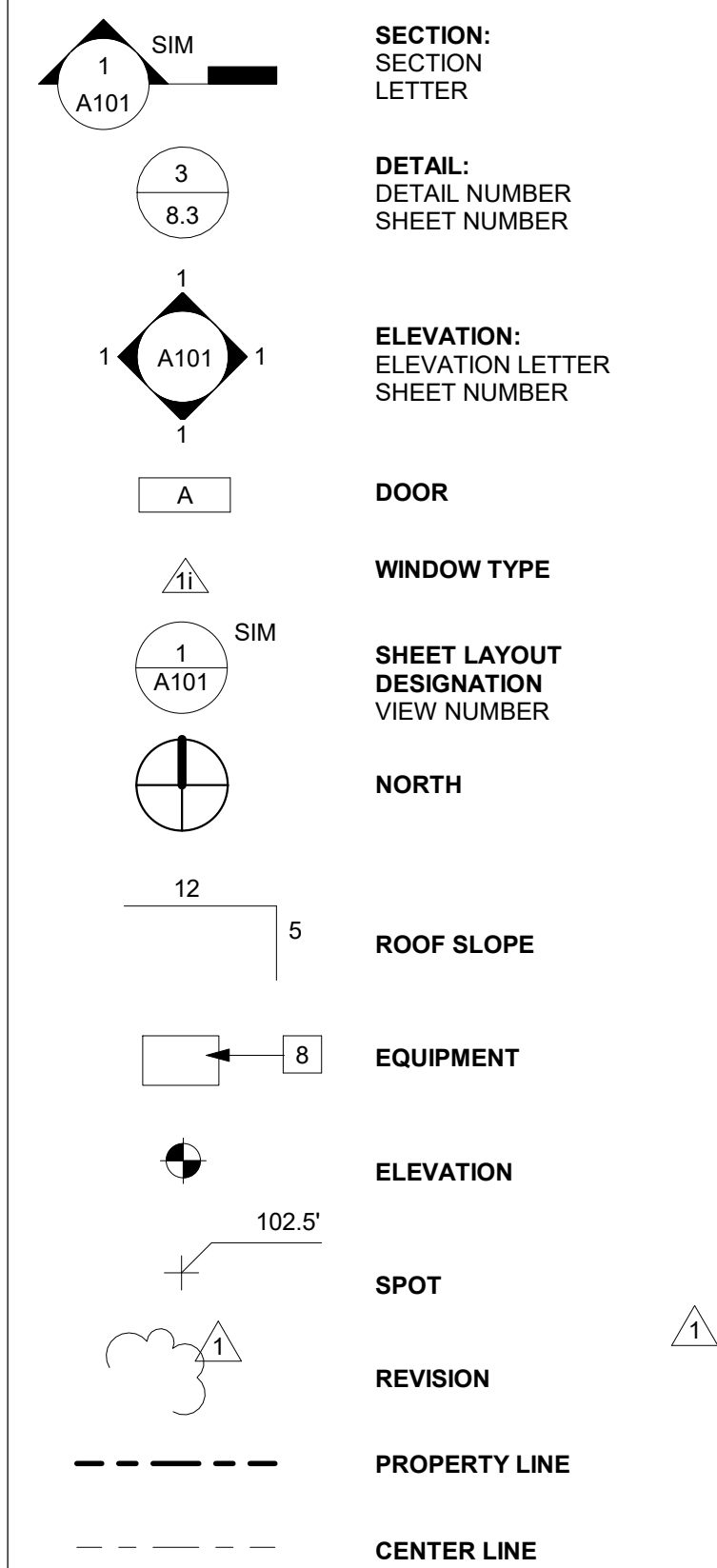


ABBREVIATIONS

| | | | | | |
|-----------|---------------------------------------|----------|----------------------------|--------|------------------------|
| AB. | ANCHOR BOLT | ELEV. | ELEVATION | (R) | REMODELED OR RELOCATED |
| A.F.F. | ABOVE FINISHED FLOOR | EMER. | EMERGENCY | R.D. | ROOF DRAIN |
| AGGR. | AGGREGATE | ENCL. | ENCLOSURE | RE: | REFER TO ... |
| AL. | ALUMINUM | EQ. | EQUAL | HT. | REFRIGERATOR |
| ALT. | ALTERNATE | EQUIP. | EQUIPMENT | REINF. | REINFORCED |
| APPROX. | APPROXIMATE | E.W. | EACH WAY | REQ'D | REQUIRED |
| ARCH. | ARCHITECTURAL | W.E.C. | ELECTRIC WATER COOLER | RM | ROOM |
| BD. | BOARD | EXP. | EXPANSION | R.D. | ROUGH OPENING |
| BLDG. | BUILDING | EXT. | EXTERIOR | S | SOUTH |
| BLK. | BLOCK | F.A. | FIRE ALARM | S.C. | SOLID CORE |
| BLK'G. | BLOCKING | F.D. | FLOOR DRAIN | SCHED. | SCHEDULE |
| BM. | BEAM | F.D.C. | FIRE DEPARTMENT CONNECTION | SECT. | SECTION |
| BOT. | BOTTOM | FDN. | FOUNDATION | S.F. | SQUARE FOOT |
| BTWN. | BETWEEN | F.A. | FIRE EXTINGUISHER | SHT. | SHEET |
| B.U.R. | BUILT UP ROOFING | F.A.C. | FIRE EXTINGUISHER CABINET | SIM. | SIMILAR |
| B.W. | BOTH WAYS | F.B. | FINISH FLOOR | SPEC. | SPECIFICATION |
| C.J. | CONTROL JOINT | F.H.C. | FIRE HOSE CABINET | SQ. OR | SQUARE |
| CLG. | CEILING | FIN. | FINISH | S.S. | STAINLESS STEEL |
| CLKG. | CAULKING | F.L. | FLOW LINE | STAGG. | STAGGERED |
| CLR. | CLEAR | FLR. | FLOOR | STD. | STANDARD |
| C.M.U. | CONCRETE MASONRY UNIT | FLUOR. | FLUORESCENT | STIFF. | STIFFENER |
| COL. | COLUMN | FND. | FOUNDATION | STL. | STEEL |
| CONC. | CONCRETE | F.O.B. | FACE OF BRICK | STRUC. | STRUCTURAL |
| CONN. | CONNECTION | F.O.C. | FACE OF CONCRETE | SUSP. | SUSPENDED |
| CONSTR. | CONSTRUCTION | F.S. | FULL SIZE | TR. | TREAD |
| CONT. | CONTINUOUS | FT. | FOOT OR FEET | T & B | TOP AND BOTTOM |
| C.T. | CERAMIC TILE | FTG. | FOOTING | TER. | TERRAZZO |
| DEG. | DEGREE | FURR. | FURRING | T & G | TONGUE AND GROOVE |
| DET./DTL. | DETAIL | GA. | GAUGE | THK. | THICK |
| D.F. | DRINKING FOUNTAIN | GALV. | GALVANIZED | T/ | TOP OF |
| DIAG. | DIAGONAL | G.C. | GENERAL CONTRACTOR | TYP. | TYPICAL |
| DIA. Ø | DIAMETER | G.L. | GLASS | U.O.N. | UNLESS OTHERWISE NOTED |
| DN. | DOWN | GR. | GRADE | VCT. | VINYL COMPOSITION TILE |
| DS. | DOWNSPOUT | GYP. | GYPSUM | VER. | VERIFY |
| DWG. | DRAWING | GYP. BD. | GYPSUM BOARD | VERT. | VERTICAL |
| E | EAST | H.B. | HOSE BIBB | W | WEST |
| (E) | EXISTING | H.C. | HOLLOW CORE | W/ | WITH |
| EA. | EACH | H/C | HANDICAPPED | W.C. | WATER CLOSET |
| E.J. | EXPANSION JOINT | HDWD. | HARDWOOD | WD. | WOOD |
| E.I.F.S. | EXTERIOR INSULATION AND FINISH SYSTEM | HDWE. | HARDWARE | W/O | WITHOUT |
| EL. | ELEVATION | H.M. | HOLLOW METAL | P | PAINTED |
| ELEC. | ELECTRICAL | HR. | HOUR | PTD. | POINTED |
| | | | | C | CENTERLINE |

NOTE: CLARIFY WITH ARCHITECT - ALL ABBREVIATIONS NOT LISTED

GENERAL SYMBOLS



PROJECT INFORMATION

PROJECT ADDRESS: 1276 MARKET ST. SAN FRANCISCO, CA 94102
 BLOCK/LOT: 0355/009
 ZONING: C-3-G DOWNTOWN- GENERAL
 HEIGHT/BULK DISTRICT: 80X
 CONSTRUCTION TYPE: V
 EXISTING OCCUPANCY: M / RETAIL (R1 ABOVE)
 PROPOSED OCCUPANCY: M / RETAIL (R1 ABOVE)

EXISTING # OF FLOORS: 4 (ABOVE BASEMENT)
 PROPOSED # OF FLOORS: 4 (ABOVE BASEMENT)

AREA OF CONSTRUCTION: BASEMENT: 3429 SF
 EXISTING/PROPOSED SF: GROUND: 4030 SF
TOTAL: 7429 SF

SPRINKLERS: YES

PROJECT DESCRIPTION:
 INTERIOR RENOVATION OF BASEMENT AND GROUND LEVELS FOR MEDICINAL MARIJUANA DISPENSARY. RENOVATION OF EXISTING STAIR AND ADDITION OF (1) NEW STAIR. NEW EQUIPMENT INCLUDING FURNACE, ELEVATOR, AND DUMBWAITER. NEW EXTERIOR STAIR @ EXTERIOR ENTRYWAY. STRUCTURAL FRAMING AND 1HR RATED CEILING ASSEMBLY BETWEEN OCCUPANCIES. NEW EXTERIOR OPENING @ REAR. INTERIOR RENOVATION TO INCLUDE NEW PARTITIONS, INTERIOR FINISHES, FIXTURES, AND CABINERY. NOT SITE WORK IS TO BE INCLUDED AS PART OF PERMIT.

APPLICABLE BUILDING CODES:
 2013 TITLE 24 & CALIFORNIA BUILDING CODE "INTERVENING CYCLE" (CBC) & SAN FRANCISCO AMENDMENTS
 2013 CALIFORNIA MECHANICAL CODE (CMC) & CALIFORNIA PLUMBING CODE (CPC)
 2013 CALIFORNIA ELECTRICAL CODE (CED) & 2010 CALIFORNIA ENERGY CODE (CEC)
 2013 CALIFORNIA FIRE CODE WITH SAN FRANCISCO AMENDMENTS
 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

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PROJECT DIRECTORY

PROJECT ARCHITECT
 ANDY RODGERS ARCHITECTURE
 156 SOUTH PARK
 SF CA 94107
 P: 415.309.9612
 E: ardesign@att.net

STRUCTURAL ENGINEER
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 E: lwong@lwongengineering.com

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 ECOBAY SERVICES
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TENANT
 MOE GREENS
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 952 MISSION STREET
 SAN FRANCISCO, CA 94103
 P: 415.243.4400
 E: nate@barbarycoastsf.org

ISSUES:
 1_12/13/2016 MOD PLAN CHECK
 2_12/29/16 MOD PLAN CHECK #2

rodgers architecture
 www.rodgersarchitecture.com
 415 309 9612

ALTERATIONS
1276 MARKET ST.
 SAN FRANCISCO, CA 94102

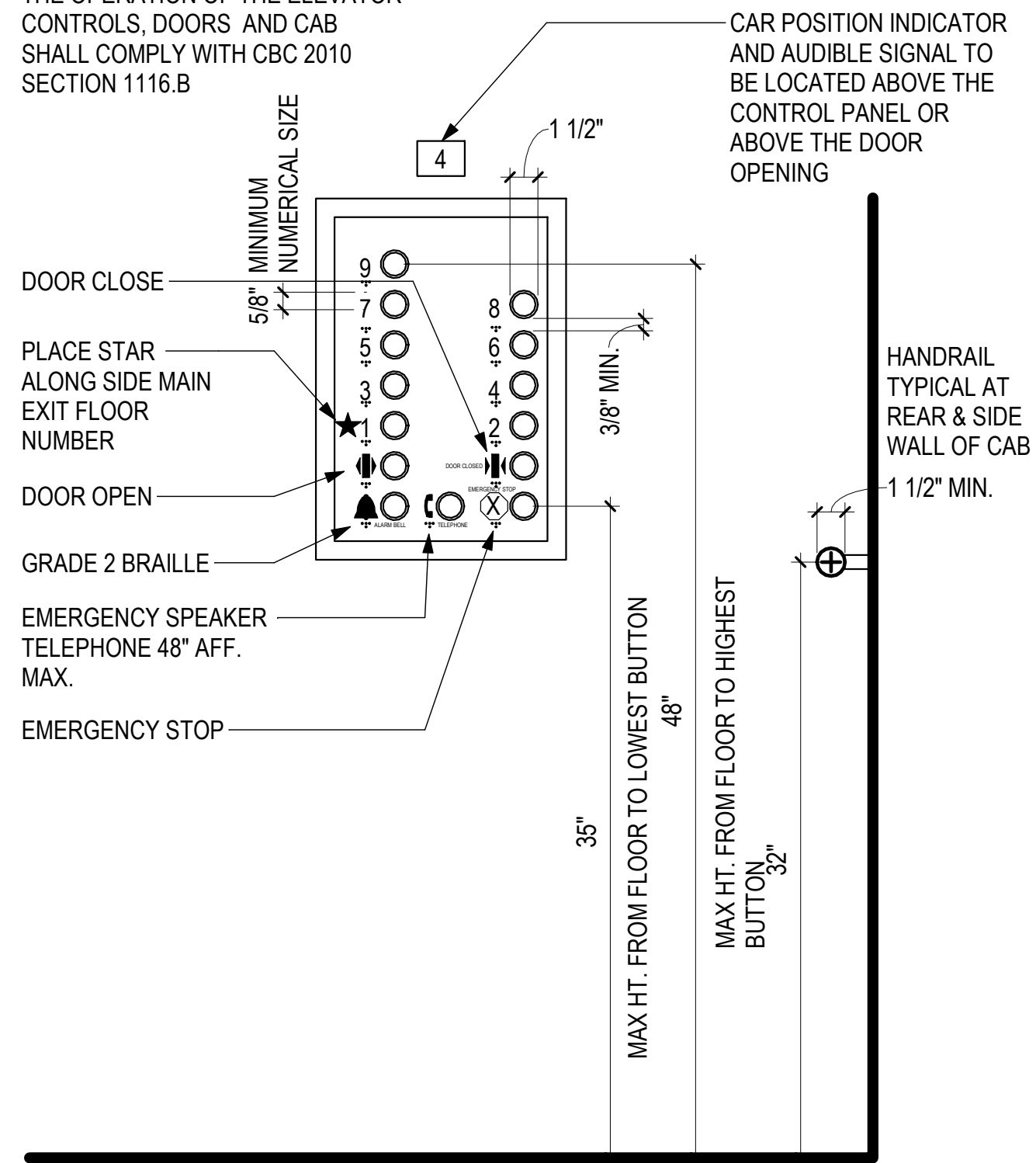
ISSUE FOR PERMIT

PROJECT INFO, ABBREVIATIONS, GENERAL NOTES

DATE 12/29/2016
 SCALE N/A
 DRAWN SMH
 SHEET

A0.1

THE OPERATION OF THE ELEVATOR CONTROLS, DOORS AND CAB SHALL COMPLY WITH CBC 2010 SECTION 1116.B

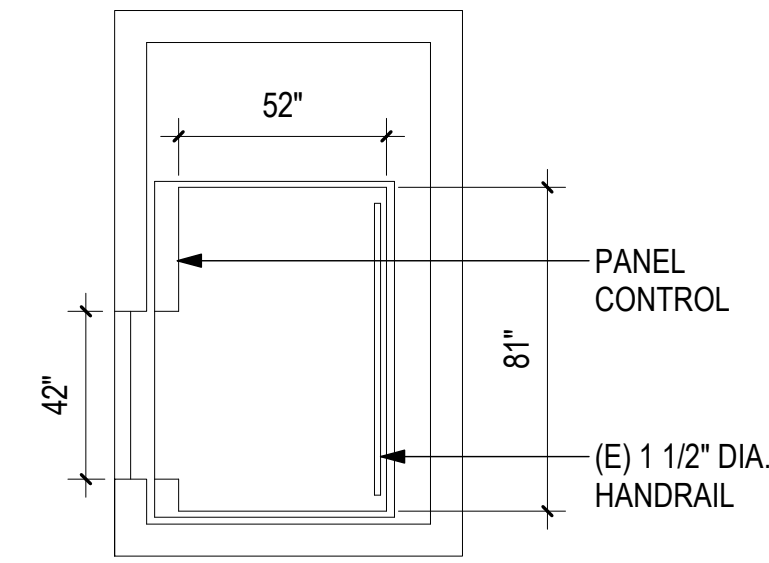


ELEVATOR CAR CONTROLS GENERAL NOTES

- FLOOR BUTTONS SHALL BE PROVIDED WITH VISUAL INDICATORS TO SHOW WHEN EACH CALL IS REGISTERED. THE VISUAL INDICATORS SHALL BE EXTINGUISHED WHEN EACH CALL IS ANSWERED AND AN AUDIBLE INDICATOR WILL OCCUR.
- THE EMERGENCY TELEPHONE HANDSET SHALL BE POSITION NO HIGHER THAN 48" ABOVE THE FLOOR AND THE HANDSET CORD SHALL BE A MINIMUM OF 2'-5" IN LENGTH. IF THE TELEPHONE IS LOCATED IN A CLOSED COMPARTMENT, THE COMPARTMENT DOOR HARDWARE SHALL BE LEVER TYPE CONFORMING TO THE PROVISIONS OF SECTION 1008.1.8 TYPE OF LOCK OR LATCH. EMERGENCY INTERCOMMUNICATION SHALL NOT REQUIRE VOICE COMMUNICATION.
- CAR CONTROLS: PASSENGER ELEVATOR CAR CONTROLS SHALL HAVE A MINIMUM DIMENSION OF 3/4" AND SHALL BE RAISED 1/8" PLUS OR MINUS 1/32" ABOVE THE SURROUNDING SURFACE.
- CONTROL BUTTONS SHALL BE ILLUMINATED, SHALL HAVE SQUARE SHOULDERS AND SHALL BE ACTIVATED BY A MECHANICAL MOTION THAT IS DETECTABLE.
- ALL CONTROL BUTTONS SHALL BE DESIGNATED BY 5/8" MINIMUM STANDARD RAISED SYMBOL IMMEDIATELY TO THE LEFT OF THE CONTROL BUTTON. GRADE 2 BRAILLE THAT CONFORMS TO SECTION 1117B.5.6 CBC SHALL BE LOCATED IMMEDIATELY BELOW THE CHARACTER OR SYMBOL. A MINIMUM CLEAR SPACE OF 3/8" SHALL BE PROVIDED BETWEEN ROWS OF CONTROL BUTTONS. THE RAISED CHARACTERS SHALL BE WHITE ON A BLACK BACKGROUND.
- CONTROLS AND EMERGENCY EQUIPMENT IDENTIFIED BY RAISED SYMBOLS SHALL INCLUDE, BUT NOT LIMITED TO, DOOR OPEN, DOOR CLOSE, ALARM BELL, EMERGENCY STOP AND TELEPHONE. THE CALL BUTTON FOR THE MAIN ENTRY FLOOR SHALL BE DESIGNATED BY A RAISED STAR AT THE LEFT OF THE FLOOR DESIGNATION.
- THE MINIMUM ILLUMINATION AT THE CAR CONTROLS THRESHOLD AND THE LANDING WHEN THE CAR AND LANDING DOORS ARE OPEN SHALL NOT BE LESS THAN 5 FOOT-CANDELES.

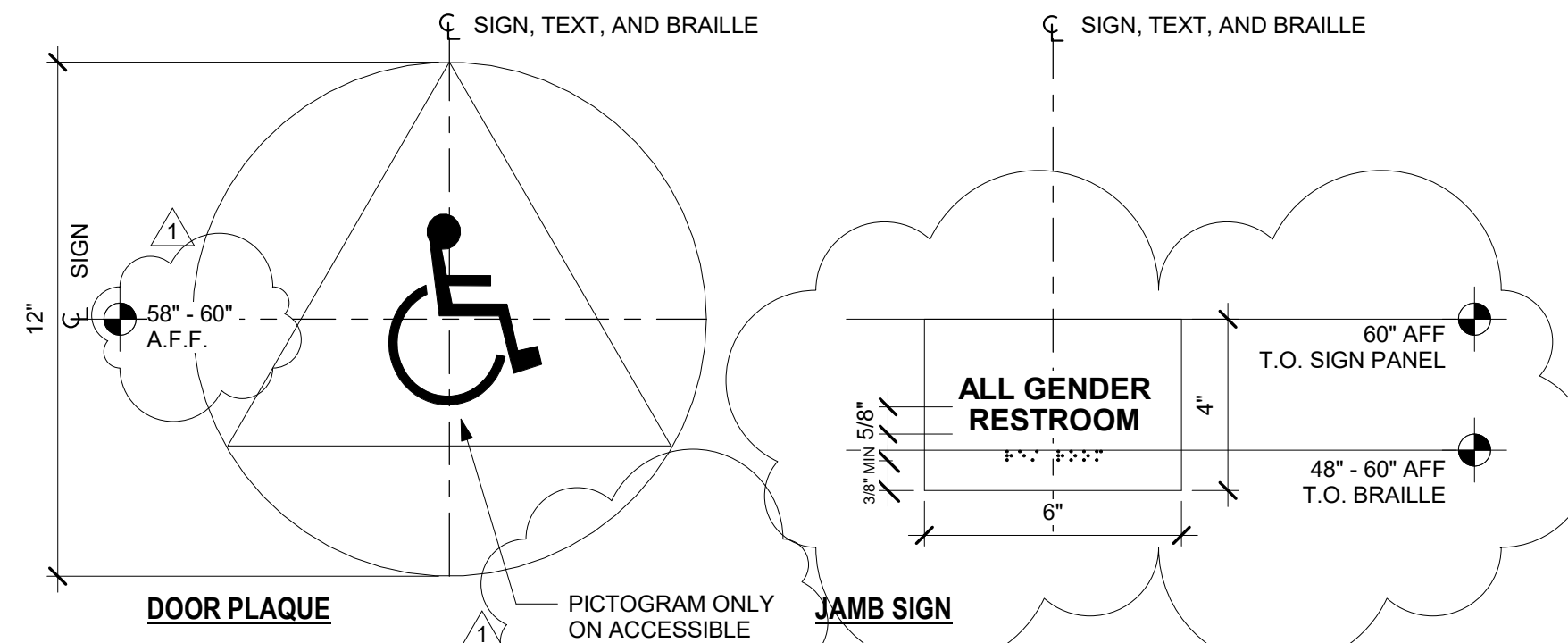
EXISTING ELEVATOR COMPONENTS

- CAB SIZE IS 44" X 81"
- CONSISTS OF FULLY ILLUMINATED CONTROLS, BRAILLE WITH RAISED CHARACTERS, AND STAR ALONG SIDE EXIT FLOOR NUMBER.
- BOTTOM OF PANEL AT 35" AND TOP OF PANEL AT 39" 1 1/2" DIA. HANDRAIL MOUNTED AT 32" AFF.
- ADD (N) DOOR JAMB MARKING WITH BRAILLE AND STAR AT 60" AFF. SEE DET 4/-
- REMOVE (E) P-LAM PANEL IN BACK AND REPLACE WITH NEW P-LAM WILSON ART PIONITE
- REPLACE (E) ELEVATOR CAB CEILING WITH (N) SUSPENDED CEILING WITH RECESSED DOWNLIGHTING
- SEE 1/- & 4/- FOR ADDITIONAL CAB CONTROL AND ACCESSIBILITY INFORMATION



(E) BLDG 14 ELEVATOR - 2500LB CAPACITY

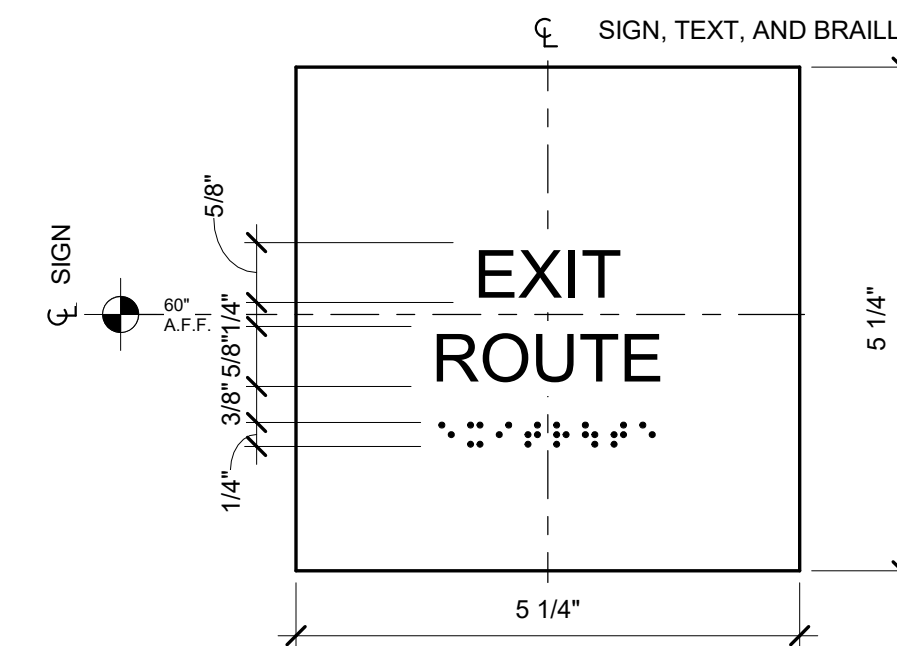
(E) ELEVATOR COMPLIANCE
1/4" = 1'-0"



RESTROOM SIGNAGE NOTES:

- 3D LASER INK PRINTING, 1/4" THICK TYP. COLOR TO CONTRAST DOOR COLOR. COLOR TO BE SELECTED BY ARCHITECT.
- PLAQUES SHALL BE ADHERED TO TOILET ROOM DOORS @ 60" EXACTLY FROM FINISH FLOOR TO CENTER OF PLAQUE.
- TACTILE CHARACTERS ON SIGNS SHALL BE LOCATED 48" MIN. A.F.F. TO BASELINE OF LOWEST BRAILLE CELLS AND 60" MAX. A.F.F. TO BASELINE OF HIGHEST LINE OF RAISED CHARACTERS AND 6" FROM THE STRIKE SIDE OF THE DOOR. BRAILLE PLAQUE TO BE ACRYLIC, COLOR TO MATCH ADJ. SIGN.
- RESTROOM SIGNAGE SHALL COMPLY WITH CBC SECTION 11B-703.7.2.6
- SIGNAGE VENDOR REQUIRED TO SUBMIT SIGNAGE COMP'S, SIGN PROOFS (IF REQUIRED BY SPECIFICATIONS), AND SIGNS FOR INSPECTION BY LIGHTHOUSE FOR THE BLIND, PRIOR TO INSTALLATION. SIGNAGE VENDOR'S BID SHALL INCLUDE FEES FOR LIGHTHOUSE REQUIRE OF TACTILE SIGNAGE.

(4) RESTROOM SIGNAGE NOTES
1/2" = 1'-0"



(1) EXIT ROUTE SIGNAGE
6" = 1'-0"

ELEVATOR CONTROLS GENERAL NOTES

- OPERATION AND LEVELING: THE ELEVATOR SHALL BE AUTOMATIC AND PROVIDED WITH A SELF-LEVELING FEATURE THAT WILL AUTOMATICALLY BRING THE CAR TO THE FLOOR LANDINGS WITHIN A TOLERANCE OF PLUS OR MINUS 1/2" UNDER NORMAL LOADING AND UNLOADING conditions. THIS SELF-LEVELING SHALL, WITHIN ITS ZONE, BE ENTIRELY AUTOMATIC AND INDEPENDENT OF THE OPERATING DEVICE AND SHALL CORRECT THE OVERTRAVEL OR UNDERTRAVEL. THE CAR SHALL BE MAINTAINED APPROXIMATELY LEVEL WITH THE LANDING, IRRESPECTIVE OF LOAD. THE CLEARANCE BETWEEN THE CAR PLATFORM SILL AND THE EDGE OF THE HOISTWAY LANDING SHALL BE NO GREATER THAN 1 1/4".
- DOOR OPERATION: POWER-OPERATED HORIZONTALLY SLIDING CAR AND HOISTWAY DOORS OPENED AND CLOSED BY AUTOMATIC MEANS SHALL BE PROVIDED. MINIMUM CLEAR WIDTH FOR ELEVATOR DOORS SHALL BE 36".
- DOOR PROTECTIVE AND REOPENING DEVICE: DOORS CLOSED BY AUTOMATIC MEANS SHALL BE PROVIDED WITH A DOOR-REOPENING DEVICE THAT WILL FUNCTION TO STOP AND REOPEN A CAR DOOR AND ADJACENT HOISTWAY DOOR IN CASE THE CAR DOOR IS OBSTRUCTED WHILE CLOSING. THIS REOPENING DEVICE SHALL ALSO BE CAPABLE OF SENSING AN OBJECT OR PERSON IN THE PATH OF A CLOSING DOOR WITHOUT REQUIRING CONTACT OR ACTIVATION AT A NOMINAL 5" AND 29" A.F.F. DOOR-REOPENING DEVICES SHALL REMAIN EFFECTIVE FOR A PERIOD OF NOT LESS THAN 20 SECONDS. AFTER SUCH INTERVAL THE DOORS MAY CLOSE IN ACCORDANCE WITH THE REQUIREMENTS OF ANSI 17.1-86, ASME DOCUMENT ASME 17.1-1990.
- HALL CALL: THE MINIMUM ACCEPTABLE TIME FROM NOTIFICATION THAT A CAR IS ANSWERING A CALL (LANTERN AND AUDIBLE SIGNAL) UNTIL THE DOORS OF THE CAR START TO CLOSE SHALL BE CALCULATED BY THE FOLLOWING EQUATION: $T = D / (1.5 \text{ FTS})$, WHERE T IS THE TOTAL TIME IN SECONDS AND D IS THE DISTANCE FROM A POINT IN THE LOBBY OR LANDING AREA 60 INCHES DIRECTLY IN FRONT OF THE FARTHEST CALL BUTTON CONTROLLING THAT CAR TO THE CENTERLINE OF ITS HOISTWAY DOOR.
- CAR CALL: THE MINIMUM ACCEPTABLE TIME FOR DOORS TO REMAIN FULLY OPEN SHALL NOT BE LESS THAN 5 SECONDS.
- MINIMUM ILLUMINATION AT THE CAR CONTROLS THRESHOLD AND THE LANDING WHEN THE CAR AND LANDING DOORS ARE OPEN SHALL NOT BE LESS THAN 5 FOOT-CANDELES.
- HALL CALL BUTTONS: DIRECTION BUTTONS, EXCLUSIVE OF BORDER, SHALL BE A MINIMUM OF 3/4" IN SIZE, RAISED 1/8" (+/- 1/32") ABOVE THE SURROUNDING SURFACE. VISUAL INDICATION SHALL BE PROVIDED TO SHOW EACH CALL REGISTERED AND EXTINGUISHED WHEN THE CALL IS ANSWERED. HALL CALL BUTTONS SHALL BE INTERNALLY ILLUMINATED WITH A WHITE LIGHT OVER THE ENTIRE SURFACE OF THE BUTTON.
- HALL LANTERN: A VISUAL AND AUDIBLE SIGNAL SHALL BE PROVIDED AT EACH HOISTWAY ENTRANCE INDICATING THE PROSPECTIVE PASSENGER THE CAR ANSWERING THE CALL AND ITS DIRECTION OF TRAVEL AS FOLLOWS:

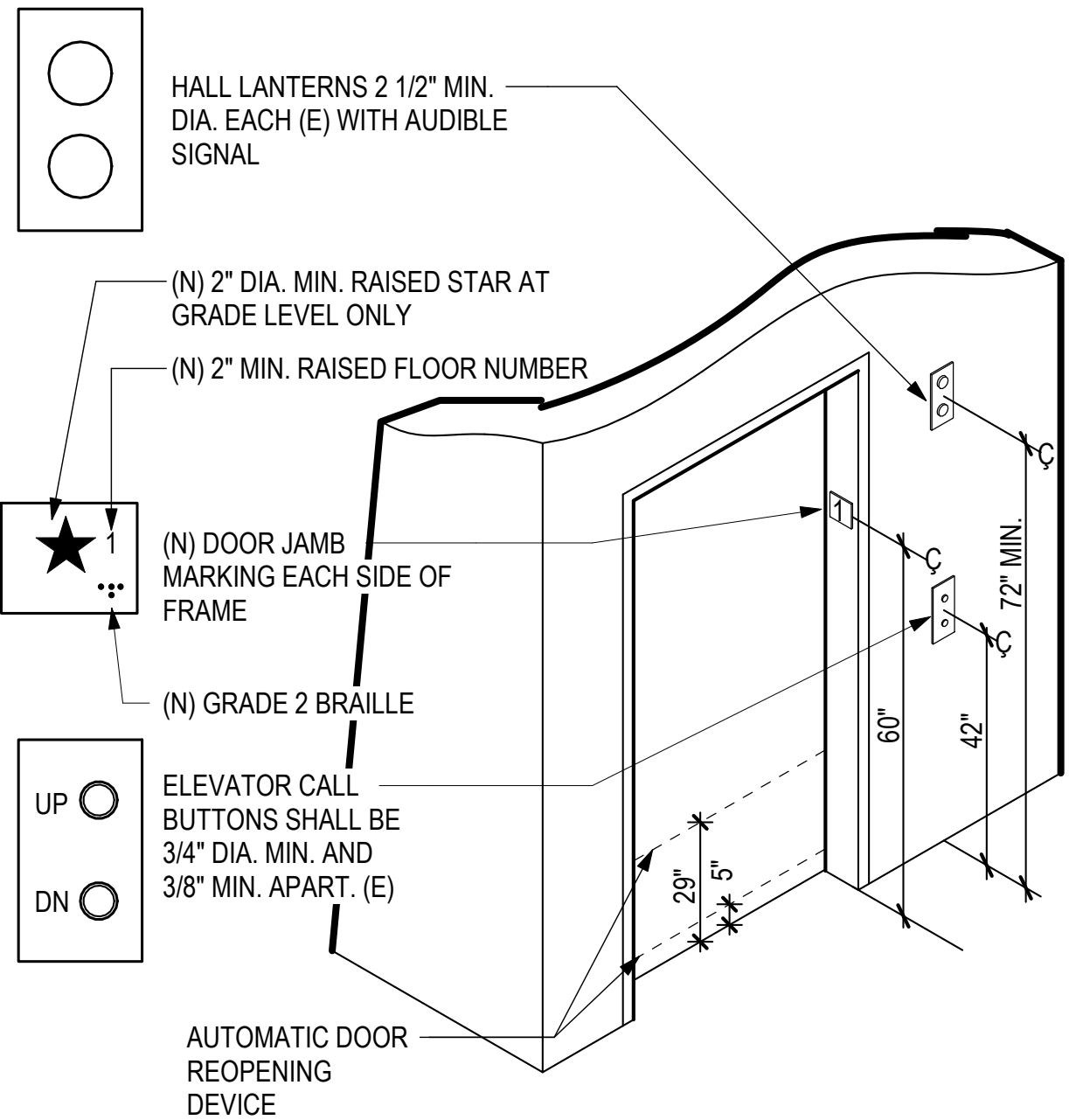
THE VISUAL SIGNAL FOR EACH DIRECTION SHALL BE A MINIMUM OF 2 1/2" HIGH BY 2 1/2" WIDE AND VISIBLE FROM THE PROXIMITY OF THE HALL CALL BUTTON.

THE VERBAL SIGNAL SHALL SOUND FOR THE UP AND DOWN DIRECTION.

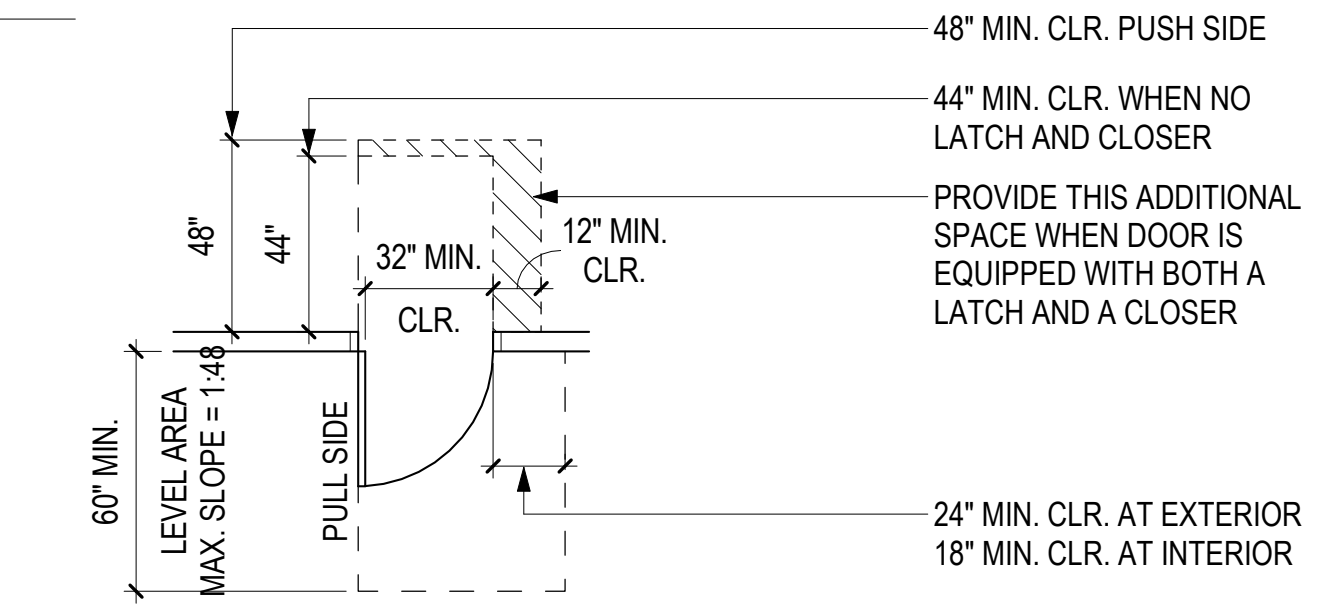
(8) ELEVATOR CAB CONTROLS
1 1/2" = 1'-0"

- (N) DOOR JAMB MARKING: PASSENGER ELEVATOR LANDING JAMBS ON ALL ELEVATOR FLOORS SHALL HAVE THE NUMBER OF THE FLOOR ON WHICH THE JAMB IS LOCATED DESIGNATED BY RAISED CHARACTERS THAT ARE MIN. 2" IN HEIGHT AND CONFORM TO SECTION 1117B.5.5 AND GRADE 2 BRAILLE THAT CONFORMS TO SECTION 1117B.5.6. LOCATED 60" ON CENTER ABOVE THE FLOOR ON THE JAMB PANELS ON BOTH SIDES OF THE DOOR SO THAT THEY ARE VISIBLE FROM WITHIN THE ELEVATOR. ON THE GRADE LEVEL, A RAISED FIVE POINTED STAR SHALL BE PLACED TO THE LEFT OF THE RAISED CHARACTER. THE OUT SIDE DIA. OF THE STAR SHALL BE 2". BRAILLE SHALL BE PLACED BELOW THE CORRESPONDING RAISED CHARACTERS.

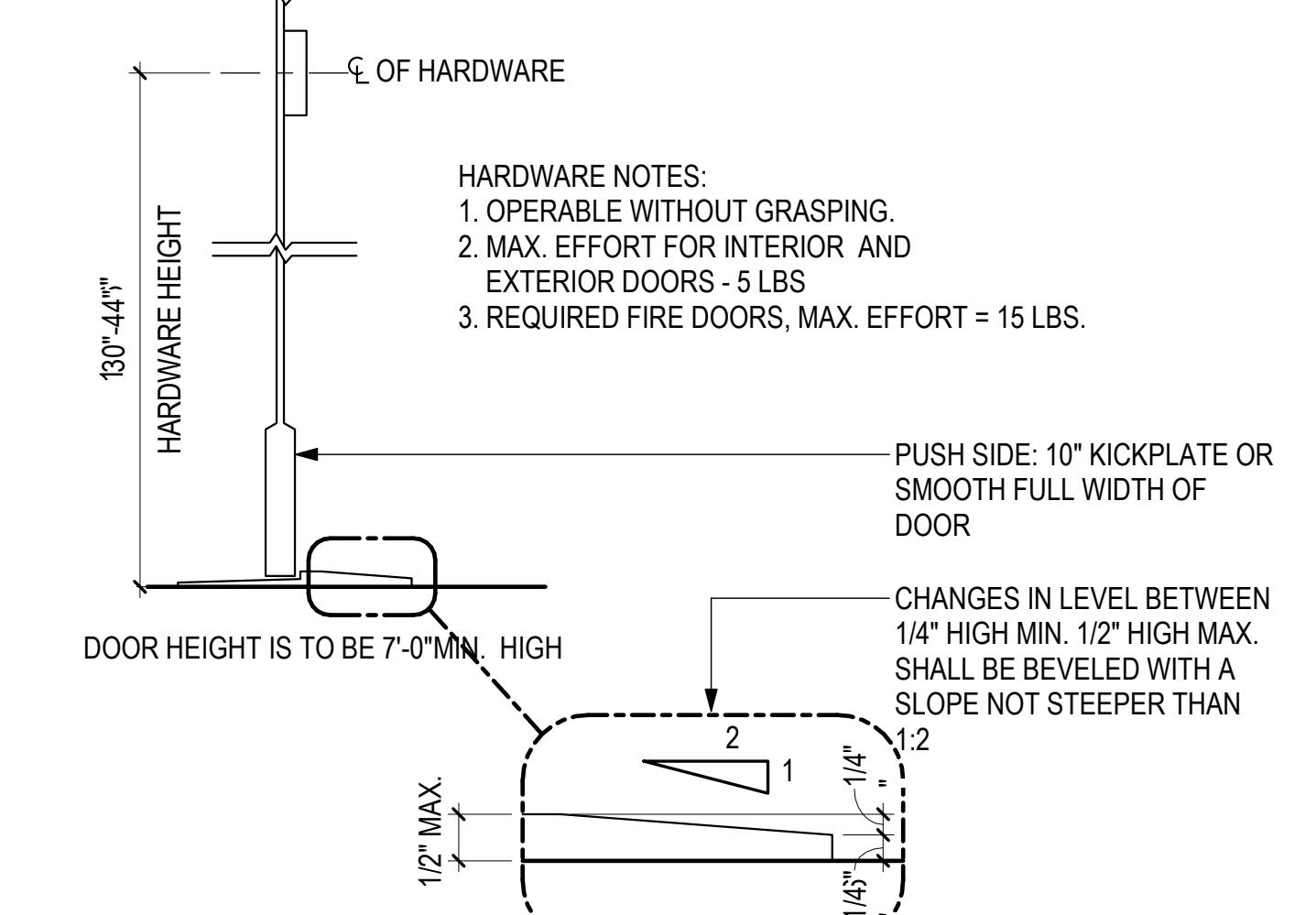
THE RAISED CHARACTERS SHALL OTHERWISE COMPLY WITH SECTIONS 1117B.5.3, 1117B.5.2, AND 1117B.5.4.



(7) TYP. ELEVATOR ENTRANCE ACCESSIBILITY INFORMATION
1/4" = 1'-0"



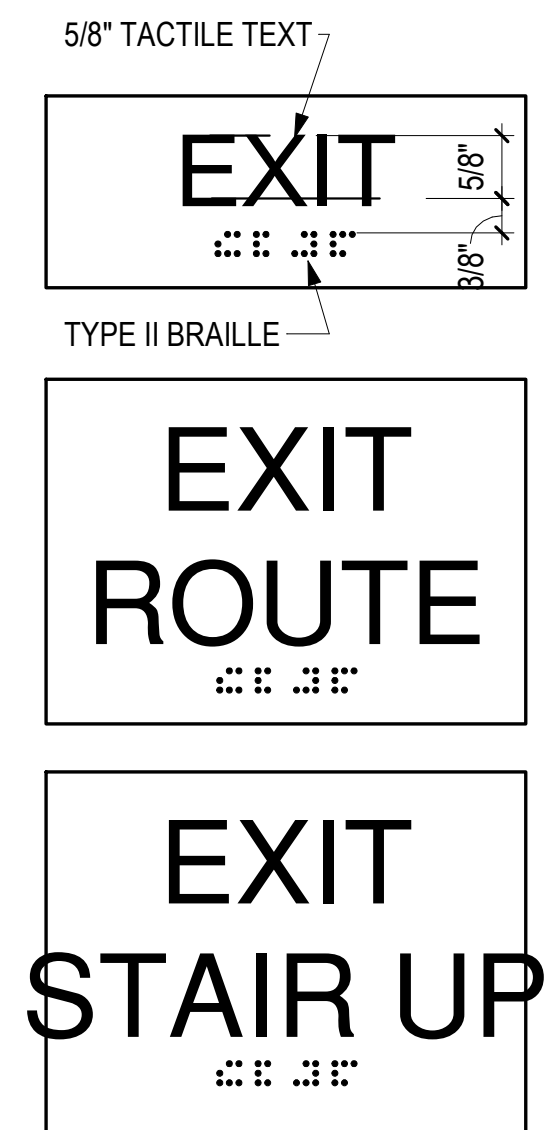
(3) DISABLED ACCESS REQUIREMENTS - DOORS
1/4" = 1'-0"



(2) DISABLED ACCESS REQUIREMENTS - DOOR THRESHOLDS
3" = 1'-0"

SIGNAGE NOTES:

- EACH GRADE-LEVEL EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORD "EXIT"
- EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE: A. "EXIT STAIR DOWN", B. "EXIT RAMP DOWN", C. "EXIT STAIR UP", D. "EXIT RAMP UP"
- EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE THAT DOES NOT UTILIZE A STAIR OR RAMP, OR AN EXIT PASSAGEWAY SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS, "EXIT ROUTE."
- EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS, "EXIT ROUTE."
- EACH EXIT DOOR THROUGH A HORIZONTAL EXIT SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS, "TO EXIT."
- ALL SIGNS SHALL COMPLY WITH 11B-7 OF THE 2013 CBC.



Mayor's Office on Disability



Edwin M. Lee
Mayor

Naomi Kelly
City Administrator

Arfaraz Khambatta, CASp
Interim Director

DISABILITY ACCESS COMPLIANCE FOR CITY FUNDED PROJECTS

Permit applicant: Fill in project name and address and then scan onto plans.

PROJECT: MOE GREENS

Project Address: 1276 MARKET ST.

Leave Area Below Blank – For MOD Staff Use Only

PLAN REVIEW STAGE: MOD has approved:

- Unreasonable Hardship / technically infeasible Date: _____
- Playground ADA Inventory Form Date: _____
- Pre-application review / site permit Date: _____
- Final Construction Plans Date: _____

INSPECTION STAGE: The following inspections are required, if selected. Call MOD at 554-6789 to schedule:

- Pre-Construction Conference
- Rough framing, after plumbing and electrical rough is complete
- Mock up inspection of bathrooms / kitchens
- Demonstration of adaptable cabinetry
- Signage, including proofs and color samples prior to fabrication
- Door closer pressure and timing
- Power door operator testing per BHMA A156.19
- Playground equipment, surface, and path of travel
- Final Signoff of Project**

The following additional documents are required:

- Reasonable Accommodation Notices
- Signage approval from Lighthouse for the Blind
- Illustrated instruction manual to adapt unit interiors
- Inspection matrix listing each covered dwelling unit or common space

By: Jim Whipple / Thomas Venizelos / Arfaraz Khambatta/ Roxana Vargas-Greenan Date: _____

D.A. CHECKLIST (p. 1 of 2): The address of the project is: 1276 MARKET ST.

For ALL tenant improvement projects in commercial use spaces, both pages of this checklist are required to be reproduced on the plan set and signed.

- The proposed use of the project is RETAIL (e.g. Retail, Office, Restaurant, etc.)
- Describe the area of remodel, including which floor: BASEMENT AND GROUND LEVELS APPROX. 7500SF
- The construction cost of this project excluding disabled access upgrades to the path of travel is \$400,000 which is (check one) more than / less than the Accessibility Threshold amount of \$150,244.00 based on the "2013 ENR Construction Cost Index" (The cost index & threshold are updated annually).
- Is this a City project and/or does it receive any form of public funding? Check one: Yes / No. Note: If Yes, then see Step 3 on the Instructions page of the Disabled Access Upgrade Compliance Checklist package for additional forms required.

Conditions below must be fully documented by accompanying drawings

- All existing conditions serving the area of remodel fully comply with access requirements. No further upgrades are required. Fill out page 2 of D.A. Checklist
- Project Adjusted cost of construction is greater than the current valuation threshold: Fill out and attach page 2 of D.A. Checklist and any other required forms to plans
- Project adjusted cost of construction is less than or equal to the current valuation threshold: List items that will be upgraded on Form C. All other items shall be checked on page 2 of the D.A. Checklist in the "Not required by code" column.
- Proposed project consists entirely of Barrier removal: Fill out and attach Barrier removal form to Plans
- Proposed project is minor revision to previously approved permit drawings only. (Note: This shall NOT be used for new or additional work) Provide previously approved permit application here: _____, Description of revision: _____

CBC chapter 2 section 202 Definitions:

Technically Infeasible. An alteration of a building or a facility, that has little likelihood of being accomplished because the existing structural conditions require the removal or alteration of a load-bearing member that is an essential part of the structural frame, or because other existing physical or site constraints prohibit modification or addition of elements, spaces or features that are in full and strict compliance with the minimum requirements for new construction and which are necessary to provide accessibility.

Unreasonable Hardship. When the enforcing agency finds that compliance with the building standard would make the specific work of the project affected by the building standard infeasible, based on an overall evaluation of the following factors:

- The cost of providing access.
- The cost of all construction contemplated.
- The impact of proposed improvements on financial feasibility of the project.
- The nature of the accessibility which would be gained or lost.
- The nature of the use of the facility under construction and its availability to persons with disabilities

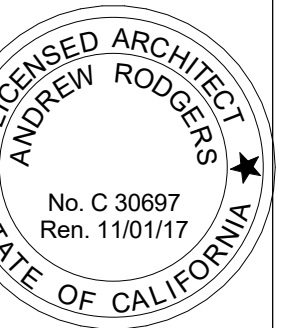
The details of any Technical Infeasibility or Unreasonable Hardship shall be recorded and entered into the files of the Department. All Unreasonable Hardships shall be ratified by the AAC.

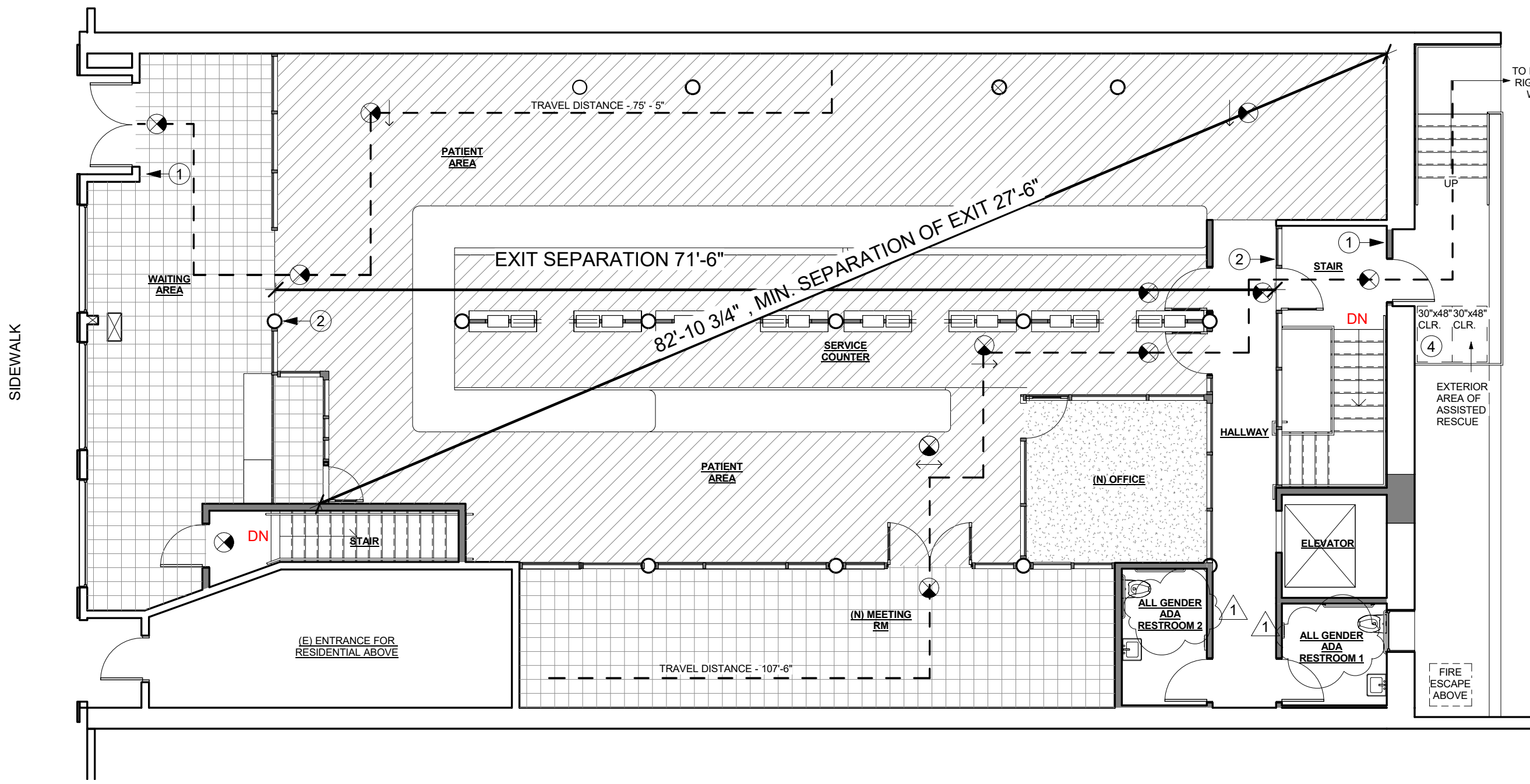
D.A. CHECKLIST (p. 2 of 2): The address of the project is: 1276 MARKET ST.

Check all applicable boxes and specify where on the drawings the details are shown:

| | Existing Fully Complying | Will be Upgraded to Full Compliance | Equivalent facilitation will provide full access | Compliance is Technically Infeasible | Approved in compliance with immediately preceding code | Not required by Code (and/or none existing) | Non-compliant request URH Must be ratified by AAC | Location of detail(s) include detail no. & drawing sheet (do not leave this part blank)? Also clarification comments can be written here. |
|---|--------------------------|-------------------------------------|--|--------------------------------------|--|---|---|---|
| A. One accessible entrance including: approach walk, vertical access, platform (landings), door / gate and hardware for door/gate | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A0.2, A1.1, A1.5 |
| B. An accessible route to the area of remodel including: Parking/access aisles and curb ramps Curb ramps and walks Corridors, hallways, floors Ramps elevators, lifts | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A1.1, A1.4, A1.5 |
| C. At least one accessible restroom for each sex or a single unisex restroom serving the area of remodel. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A1.1, A2.1 |
| D. Accessible public pay phone. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| E. Accessible drinking fountains. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| F. Additional accessible elements such as parking, stairways, storage, alarms and signage. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A0.2, A1.1, A1.5 |
| See the requirements for additional forms listed below | 1. | 2. | 3. | 4. | 5. | 6. | 7. | |

- No additional forms required
- No additional forms required
- Fill out Request for Approval of Equivalent Facilitation form for each item checked and attach to plan.
- Fill out Request for Approval of Technical Infeasibility form for each item checked and attach to plans.
- Provide details from a set of City approved reference drawings, provide its permit application number here: _____ and list reference drawing number on plans.
- No additional forms required
- Fill out Request for an Unreasonable Hardship form for each item checked and attach to plan. All UHR must be ratified by the Access Appeals Commission (see UHR form for details)

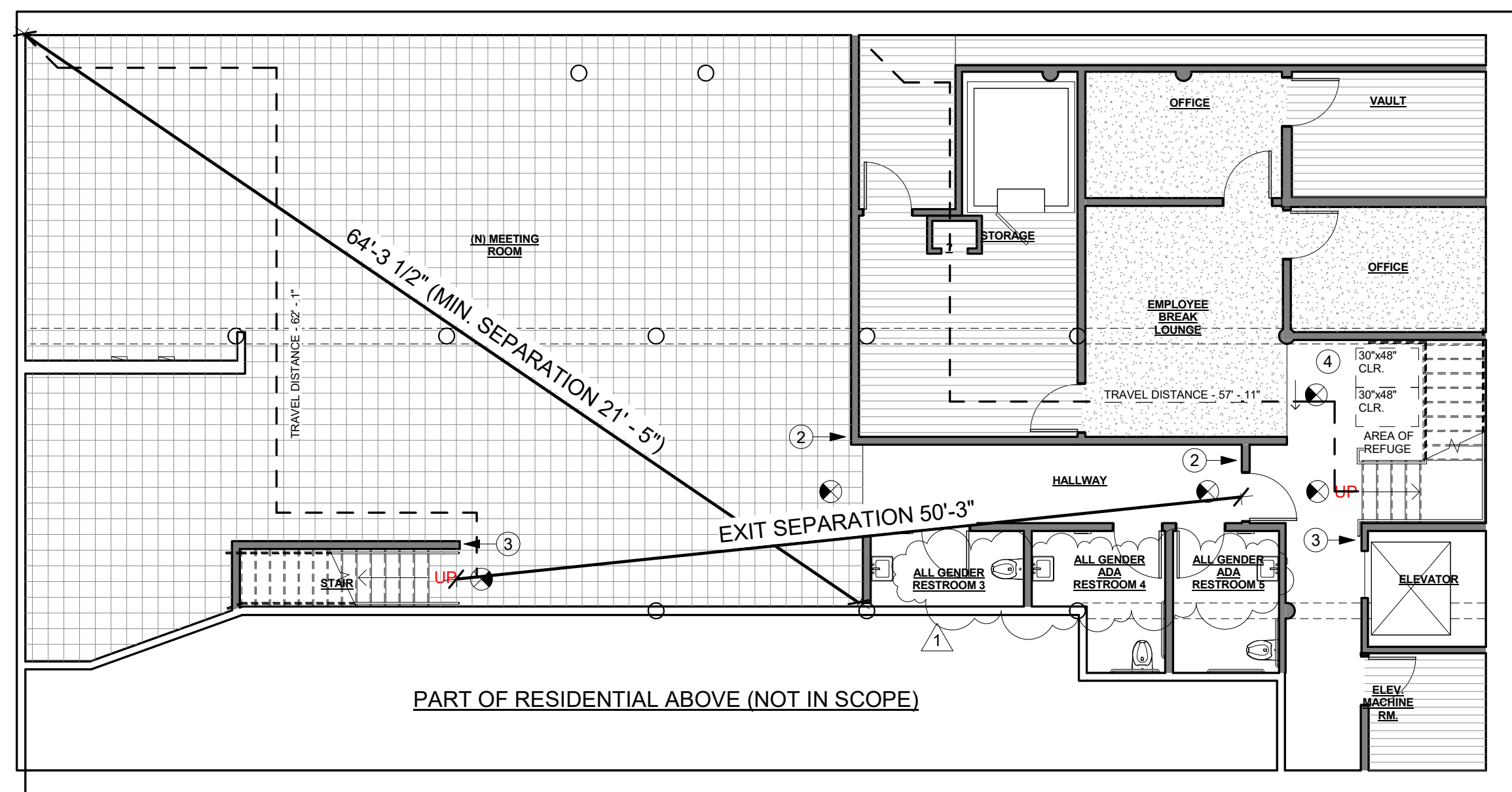




LEGEND

- ASSEMBLY (UNCONCENTRATED)
- BUSINESS
- EXEMPT
- M - MERCANTILE
- EXIT SIGN

2 GROUND LEVEL - OCCUPANCY AND EXISTING
1/8" = 1'-0"



3 BASEMENT LEVEL - OCCUPANCY AND EXISTING
1/8" = 1'-0"

| OCCUPANCY - BASEMENT LEVEL | | | |
|----------------------------|-----------------------|------|----------------|
| v | Occupancy Load Factor | Area | Occupancy Load |

| BASEMENT LEVEL | | | |
|---------------------|-----|--------|---|
| ACCESSORY (STORAGE) | | | |
| ELEV. MACHINE RM. | 300 | 56 SF | 1 |
| WALK-IN COOLER | 300 | 45 SF | 1 |
| STORAGE | 300 | 197 SF | 1 |
| VAULT | 300 | 98 SF | 1 |
| MECH. | 300 | 68 SF | 1 |
| MECH. SHAFT | 300 | 65 SF | 1 |
| | | | 4 |

| ASSEMBLY (CONCENTRATED) | | | |
|-------------------------|---|---------|-----|
| (N) MEETING ROOM | 7 | 1887 SF | 270 |
| | | | 270 |

| BUSINESS | | | |
|-----------------------|-----|--------|---|
| OFFICE | 100 | 100 SF | 1 |
| OFFICE | 100 | 99 SF | 1 |
| EMPLOYEE BREAK LOUNGE | 100 | 187 SF | 2 |
| | | | 5 |

| | | | |
|----------------|--|--|-----|
| BASEMENT LEVEL | | | 280 |
|----------------|--|--|-----|

| OCCUPANCY - GROUND LEVEL | | | |
|--------------------------|-----------------------|------|----------------|
| Name | Occupancy Load Factor | Area | Occupancy Load |

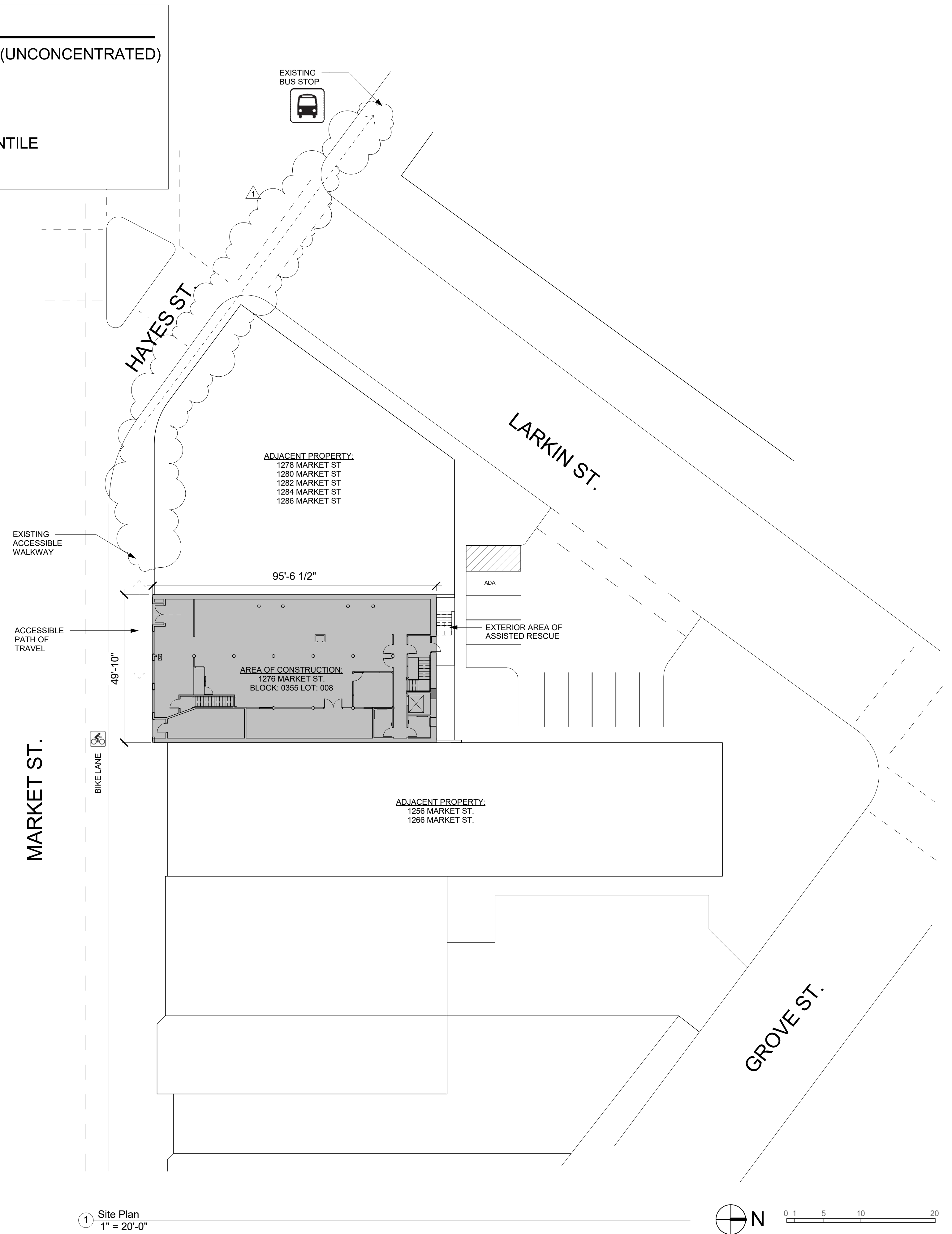
| GROUND LEVEL | | | |
|---------------------------|----|--------|----|
| ASSEMBLY (UNCONCENTRATED) | | | |
| (N) MEETING RM | 15 | 429 SF | 29 |
| WAITING AREA | 15 | 488 SF | 33 |
| | | | 63 |

| BUSINESS | | | |
|------------|-----|--------|---|
| (N) OFFICE | 100 | 159 SF | 2 |
| | | | 2 |

| M - MERCANTILE | | | |
|-----------------|----|---------|----|
| SERVICE COUNTER | 30 | 518 SF | 18 |
| PATIENT AREA | 30 | 1559 SF | 53 |
| | | | 71 |

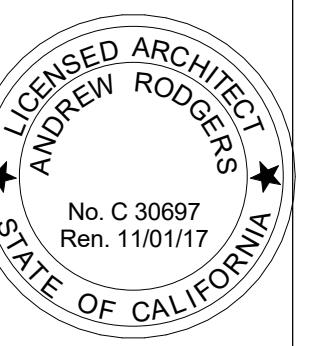
| | | | |
|--------------|--|--|-----|
| GROUND LEVEL | | | 135 |
|--------------|--|--|-----|

| | | | |
|-------------|--|--|-----|
| BOTH LEVELS | | | 414 |
|-------------|--|--|-----|



ISSUES:
1 12/13/2016 MOD PLAN CHECK
2 12/29/16 MOD PLAN CHECK #2

rogers
architecture
415 309 9612
www.rogersarchitecture.com



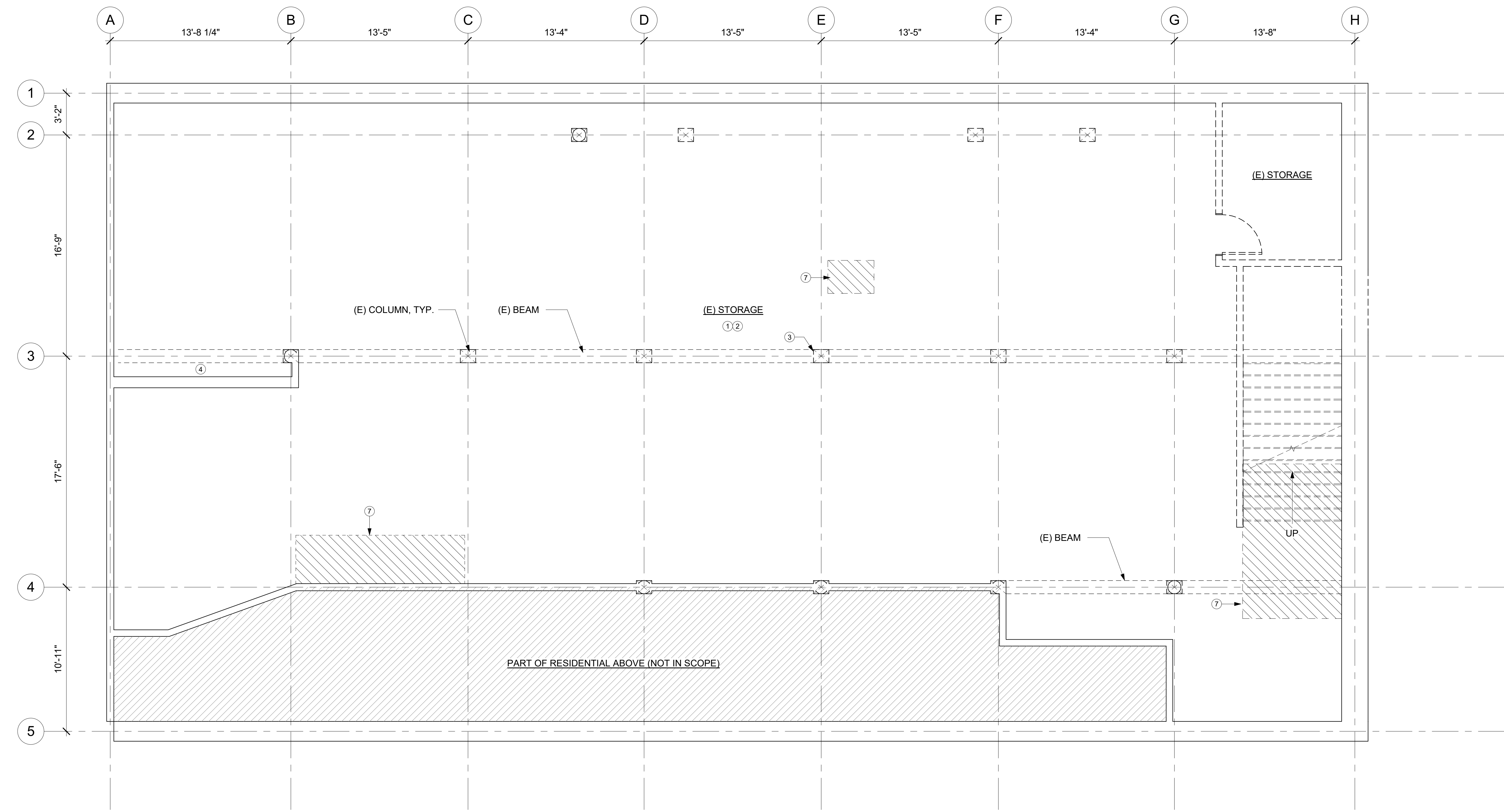
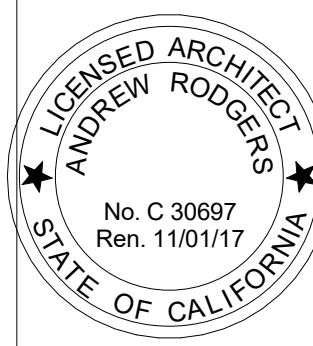
ALTERATIONS
1276 MARKET ST.
SAN FRANCISCO, CA 94102

ISSUE FOR PERMIT

SITE PLAN, OCCUPANCY, & EGRESS

DATE 12/29/2016
SCALE As indicated
DRAWN SMH
SHEET

A1.1



1 BASEMENT LEVEL - DEMOLITION PLAN
 1/4" = 1'-0"

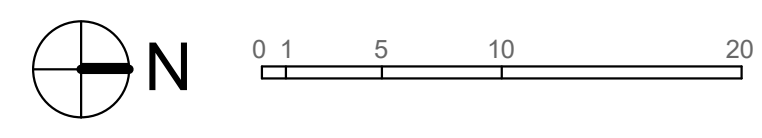
DEMOLITION SHEET NOTES

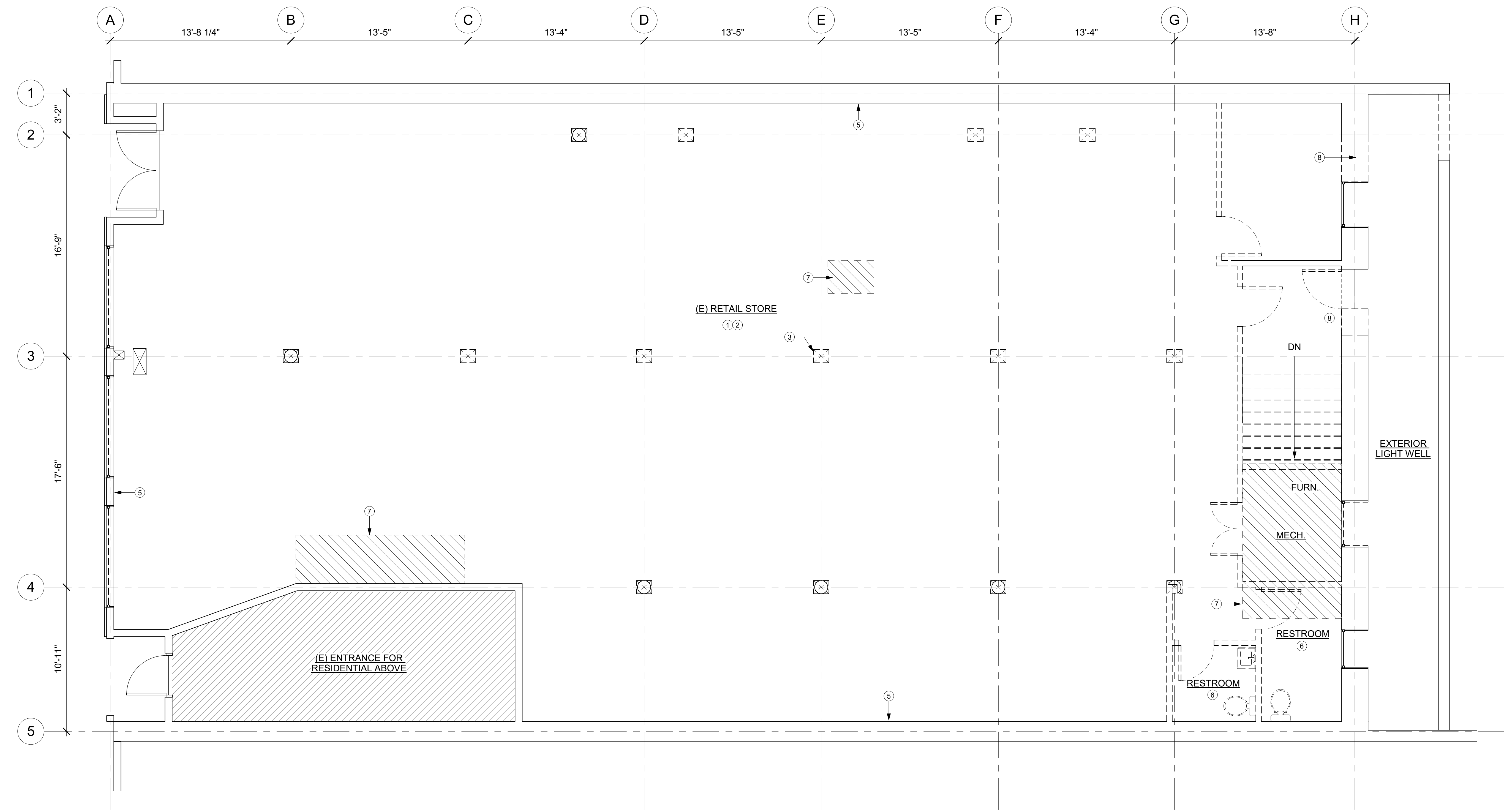
1. DASHED LINES INDICATE ITEMS TO BE REMOVED/DEMOLISHED, U.O.N.
2. PRESERVE AND PROTECT ELEMENTS AND AREAS NOT TO BE REMOVED OR ITEMS SET ASIDE FOR RELOCATION AND REUSE
3. EXISTING LIGHTING AND ELECTRICAL TO REMAIN, U.O.N. EXISTING TO REMAIN ELECTRICAL NOT SHOWN UNLESS IT IS NOTED TO BE REMOVED OR RELOCATED AS SHOWN.
4. EXISTING EXTERIOR DOORS AND WINDOWS TO REMAIN, U.O.N.
4. REMOVE ALL CASEWORK, APPLIANCES, PLUMBING FIXTURES, TYP. U.O.N.
5. REMOVE ALL BASE AND CROWN MOLDING, U.O.N.

DEMOLITION PLAN NOTES

- 1 REMOVE ALL (E) INTERIOR FINISHES INCLUDING CARPET, ACOUSTICAL CEILING AND TRIM, AND GYP. BOARD @ WALLS AND SOFFITS
- 2 ELECTRICAL AND LIGHTING CONNECTIONS TO REMAIN, U.O.N.
- 3 REMOVE ALL (E) COLUMN COVERS DOWN TO STRUCTURAL COLUMN, TYP.
- 4 ELECTRICAL PANELS TO REMAIN
- 5 REMOVE (E) GYP. BOARD AT ALL EXTERIOR WALLS, EXPOSE BRICK TO BE PROTECTED FOR NEW CONSTRUCTION
- 6 REMOVE ALL INTERIOR FINISHES AND PLUMBING FIXTURES, PLUMBING CONNECTIONS TO REMAIN
- 7 (N) FLOOR OPENING @ GROUND LEVEL, COORDINATE WITH PROPOSED PLAN FOR EXTENT
- 8 (N) OPENING, COORDINATE WITH PROPOSED PLAN FOR EXTENT

NOT IN SCOPE
 EXISTING WALL TO REMAIN
 WALL TO BE REMOVED
 NEW CONSTRUCTION





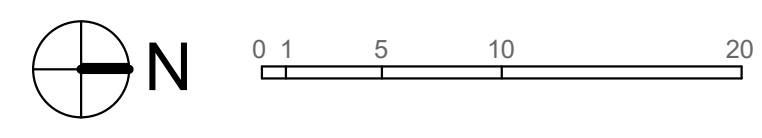
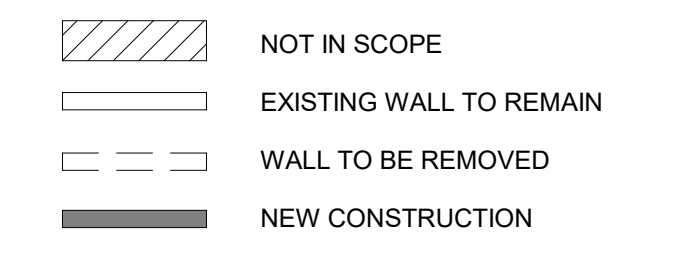
1 GROUND LEVEL - DEMOLITION PLAN
 1/4" = 1'-0"

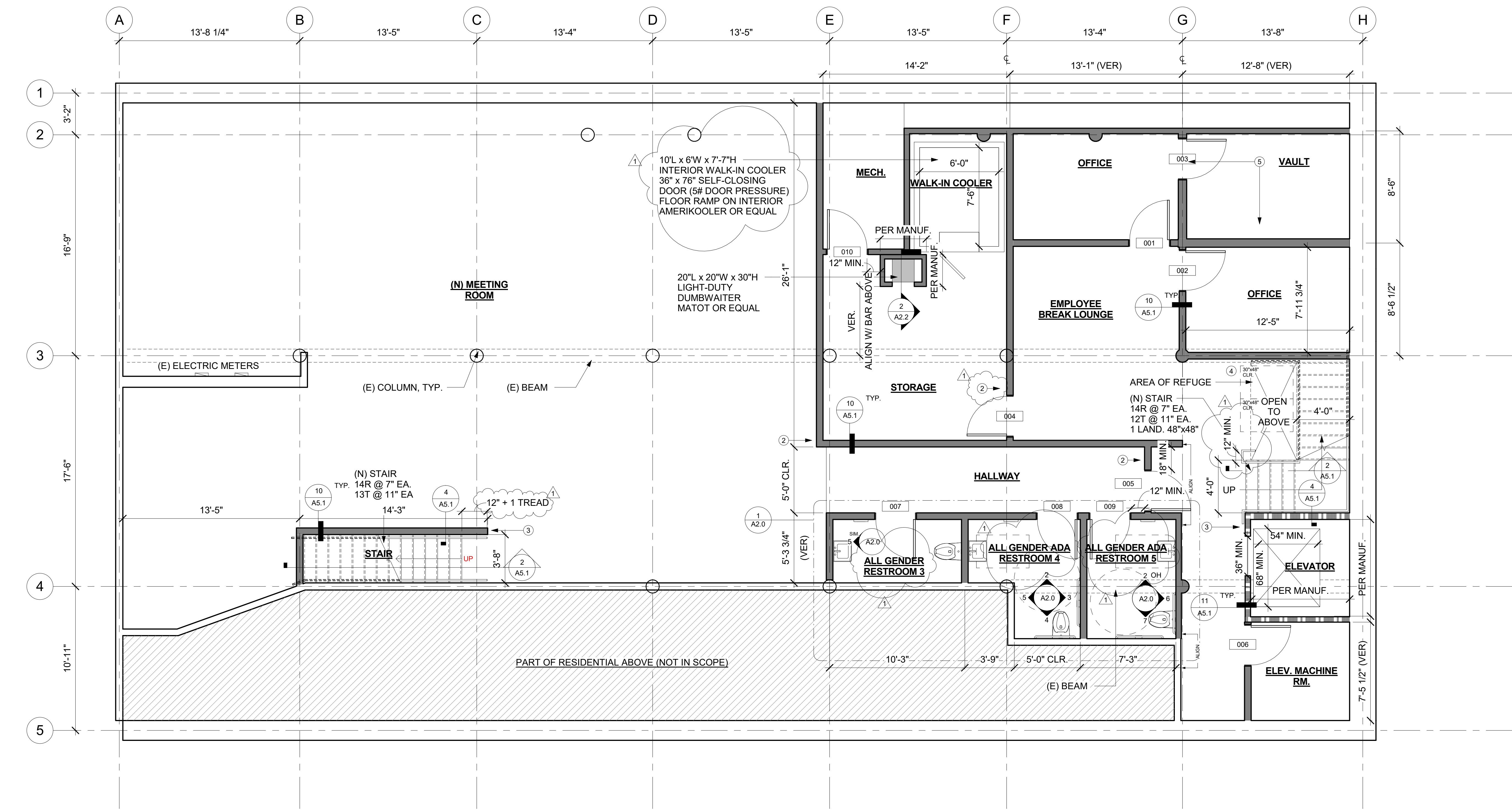
DEMOLITION SHEET NOTES

- 1. DASHED LINES INDICATE ITEMS TO BE REMOVED/DEMOLISHED, U.O.N.
- 2. PRESERVE AND PROTECT ELEMENTS AND AREAS NOT TO BE REMOVED OR ITEMS SET ASIDE FOR RELOCATION AND REUSE
- 3. EXISTING LIGHTING AND ELECTRICAL TO REMAIN, U.O.N. EXISTING TO REMAIN ELECTRICAL NOT SHOWN UNLESS IT IS NOTED TO BE REMOVED OR RELOCATED AS SHOWN.
- 4. EXISTING EXTERIOR DOORS AND WINDOWS TO REMAIN, U.O.N.
- 4. REMOVE ALL CASEWORK, APPLIANCES, PLUMBING FIXTURES, TYP. U.O.N.
- 5. REMOVE ALL BASE AND CROWN MOLDING, U.O.N.

DEMOLITION PLAN NOTES

- 1 REMOVE ALL (E) INTERIOR FINISHES INCLUDING CARPET, ACOUSTICAL CEILING AND TRIM, AND GYP. BOARD @ WALLS AND SOFFITS
- 2 ELECTRICAL AND LIGHTING CONNECTIONS TO REMAIN, U.O.N.
- 3 REMOVE ALL (E) COLUMN COVERS DOWN TO STRUCTURAL COLUMN, TYP.
- 4 ELECTRICAL PANELS TO REMAIN
- 5 REMOVE (E) GYP. BOARD AT ALL EXTERIOR WALLS, EXPOSE BRICK TO BE PROTECTED FOR NEW CONSTRUCTION
- 6 REMOVE ALL INTERIOR FINISHES AND PLUMBING FIXTURES, PLUMBING CONNECTIONS TO REMAIN (N) FLOOR OPENING @ GROUND LEVEL, COORDINATE WITH PROPOSED PLAN FOR EXTENT
- 7 (N) FLOOR OPENING @ GROUND LEVEL, COORDINATE WITH PROPOSED PLAN FOR EXTENT
- 8 (N) OPENING, COORDINATE WITH PROPOSED PLAN FOR EXTENT





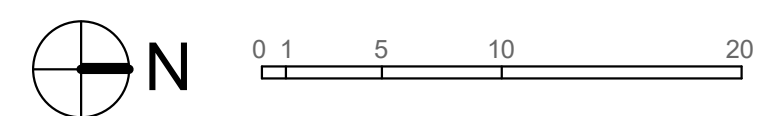
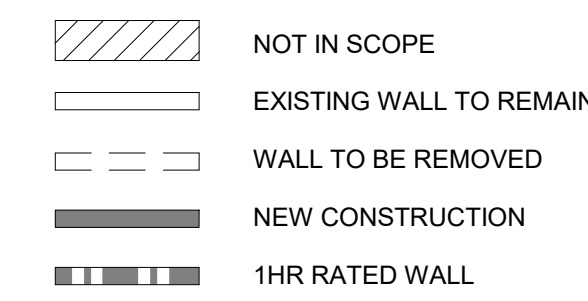
1 BASEMENT LEVEL - PROPOSED PLAN
 1/4" = 1'-0"

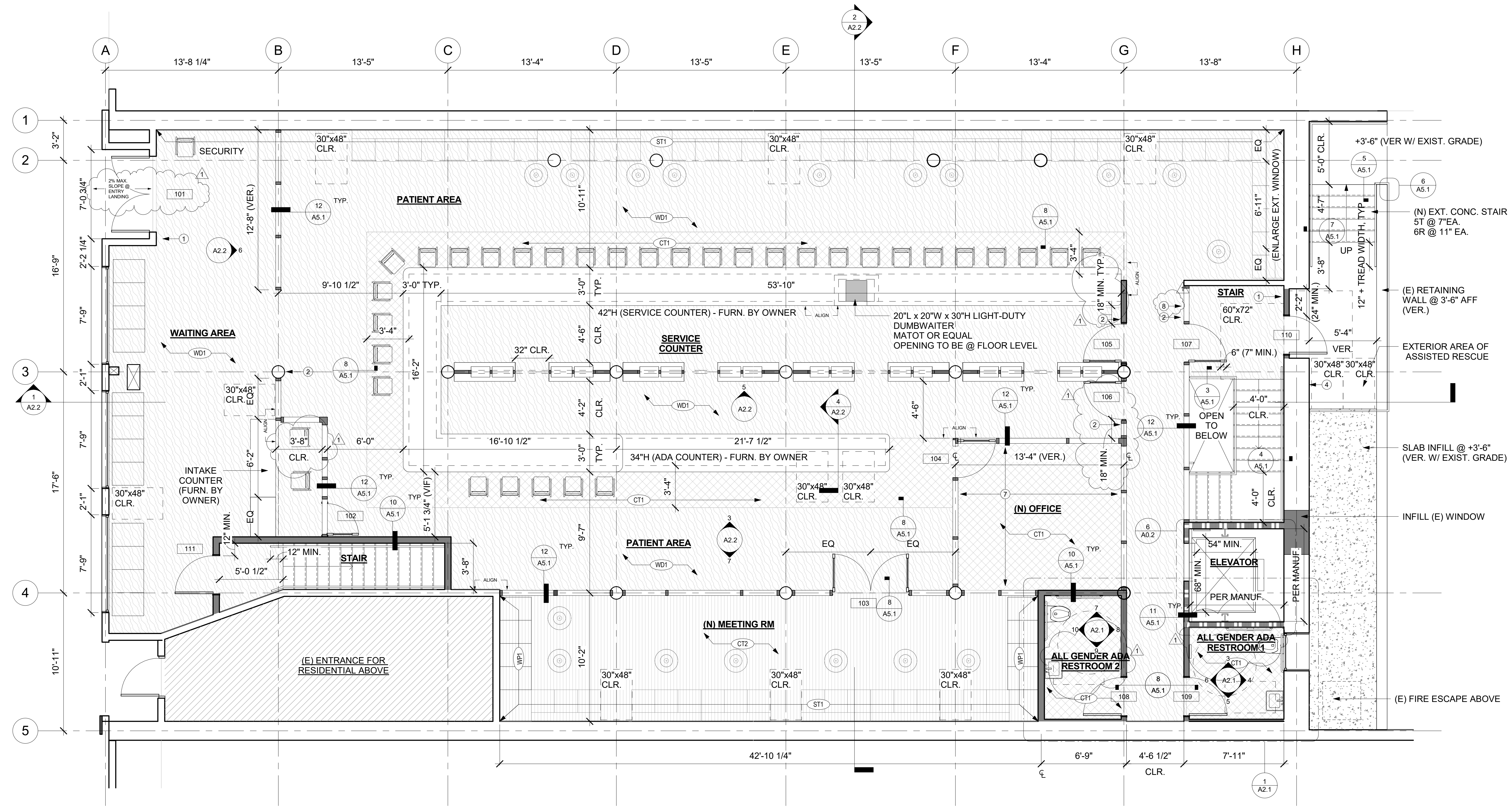
FLOOR PLAN SHEET NOTES

- REFER TO SHEET A0.2 FOR ADA COMPLIANT DETAILS
- REFER TO SHEET A5.0 FOR FINISH SCHEDULE AND INTERIOR DOOR SCHEDULE

FLOOR PLAN NOTES

- PROVIDE TACTILE EXIT SIGN WITH THE WORD "EXIT" PER 2013 CBC (GROUND LEVEL ONLY). SEE SHEET A0.2.
- PROVIDE TACTILE EXIT SIGN WITH THE WORD "EXIT ROUTE" PER 2013 CBC (GROUND LEVEL ONLY). SEE SHEET A0.2.
- PROVIDE TACTILE EXIT SIGN WITH THE WORDS "EXIT STAIR UP" PER 2013 CBC. SEE SHEET A0.2 FOR DETAILS
- PROVIDE TACTILE SIGNAGE WITH "AREA OF REFUGE" INCL. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. PROVIDE A TWO-WAY COMMUNICATION SYSTEM W/ AUDIBLE AND VISIBLE SIGNALS
- CMU BLOCK WALL, TYP. @ ALL INTERIOR WALLS
- REFLECTIVE GLASS, ONE-SIDED MIRROR @ ALL GLAZING
- PROVIDE TACTILE SIGNAGE WITH "NOT AN ACCESSIBLE EXIT." PROVIDE DIRECTIONAL INFORMATION TO THE FRONT ENTRY AS THE ACCESSIBLE ROUTE.





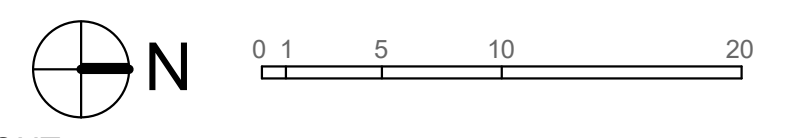
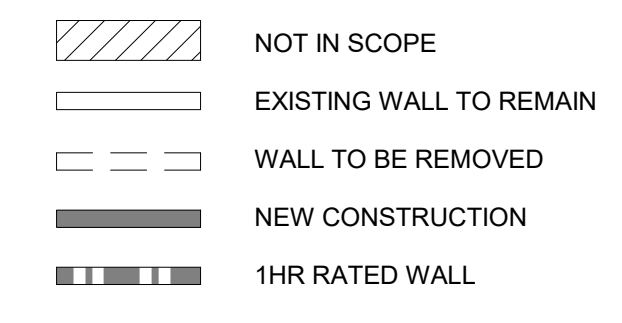
1 GROUND LEVEL - PROPOSED PLAN
 1/4" = 1'-0"

FLOOR PLAN SHEET NOTES



































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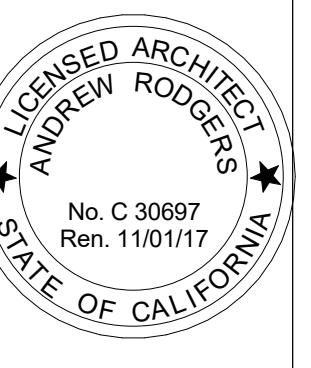


LEGEND

-  RECESSED DOWNLIGHT - LED
-  CEILING MOUNT FIXTURE - CFL
-  WALL MOUNT FIXTURE - LED
-  PENDANT
-  SPOTLIGHT
-  LED LINEAR LIGHT
-  EXTERIOR WALL SCONCE
-  TRACK LIGHT
-  SWITCH
-  DIMMER SWITCH
-  3-WAY SWITCH
-  VACANCY SWITCH
-  CEILING FAN/LIGHT
-  EXHAUST FAN
-  SMOKE DETECTOR
-  SMOKE & CARBON MONOXIDE DETECTOR
-  SPRINKLER
-  DUPLEX OUTLET
-  220 OUTLET
-  GFI OUTLET
-  USB OUTLET
-  CABLE OUTLET
-  INTERNET/ CAT 6
-  PHONE JACK
-  GAS CONNECTION
-  THERMOSTAT
-  HVAC RETURNS
-  HVAC SUPPLY
-  HVAC REGISTERS
-  HVAC UNIT
-  MAIN ELECTRICAL PANEL
-  WATER HEATER
-  FURNACE
-  EXIT SIGN

ISSUES:
 1 12/13/2016 MOD PLAN CHECK
 2 12/29/16 MOD PLAN CHECK #2

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 415 309 9612



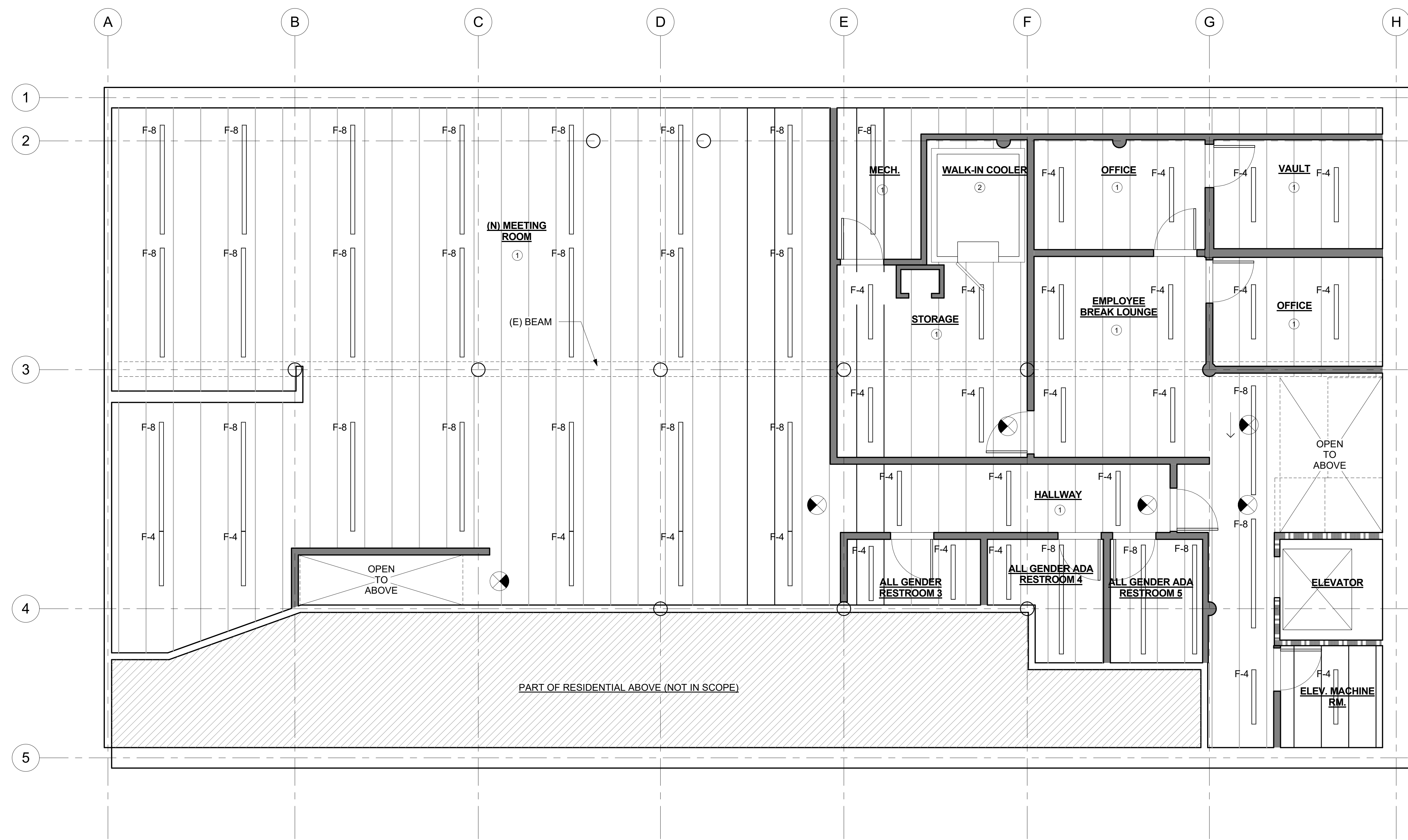
ALTERATIONS
1276 MARKET ST.
 SAN FRANCISCO, CA 94102

ISSUE FOR PERMIT

BASEMENT LEVEL REFLECTED CEILING PLAN

DATE 12/29/2016
 SCALE 1/4" = 1'-0"
 DRAWN SMH
 SHEET

A1.6

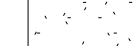





1 BASEMENT LEVEL - PROPOSED REFLECTED CEILING PLAN
 1/4" = 1'-0"

REFLECTED CEILING PLAN SHEET NOTES

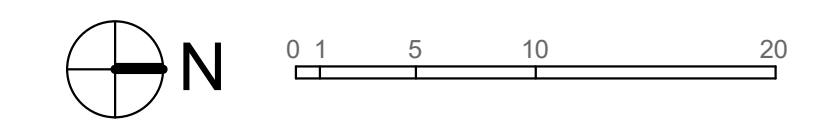
1. ALL LIGHTING SHALL COMPLY WITH 2013 CALIFORNIA ENERGY CODES SECTION 150K
2. ALL PERMANENTLY INSTALLED HIGH EFFICACY LUMINAIRES SHALL BE SWITCHED SEPARATELY FROM LOW EFFICACY LUMINAIRES
3. REFER TO SHEET A5.2 FOR (N) 1HR RATED CEILING ASSEMBLY
4. REFER TO SHEET A5.0 FOR FINISH SCHEDULE AND INTERIOR DOOR SCHEDULE

CEILING LEGEND:

-  5/8" GYP. BD. CEILING (CL1)
-  COFFER CEILING (CL2) - SEE FINISH SCHEDULE FOR SPECIFICATION
-  2x2 TEGULAR GRID CEILING W/ LUMINOUS TILES (CL3) - SEE FINISH SCHEDULE FOR SPECIFICATION
-  EXPOSED (E) FLOOR JOISTS

| LIGHTING SCHEDULE | | | | | |
|-------------------|-----------------------------------|--------------------------------|--------------------------------|--------|---------------------|
| MARK | DESCRIPTION | MANUFACTURER/NAME | ITEM # | FINISH | REMARKS / ALLOWANCE |
| A | 6" RECESSED DOWNLIGHT - LED | TBD | | | |
| B | 3" PINLIGHT - LED | TBD | | | |
| C | DECORATIVE CHANDELIER - LED | OCL OR EQUAL | CAMELOT SIGNATURE PENDANT, LED | | |
| D | DECORATIVE PENDANT - LED | MOOOI | RAYMOND 40"DIA. | | |
| E | RECESSED LINEAR WALL WASHER - LED | TBD | | | |
| F | LINEAR LED SUSPENDED LINEAR | FINELITE, HE WILLIAMS OR EQUAL | 2FT, 4FT, AND 8FT LENGTH | | |

- 1 PAINT (E) EXPOSED FLOOR JOISTS. (N) LINEAR LIGHTING TO BE MOUNTED FLUSH TO UNDERSIDE OF FLOOR JOISTS
- 2 LIGHTING BY MANUF.
- 3 LED LINEAR LIGHTING 18" ABOVE FINISHED CEILING @ 4'-0" O.C.

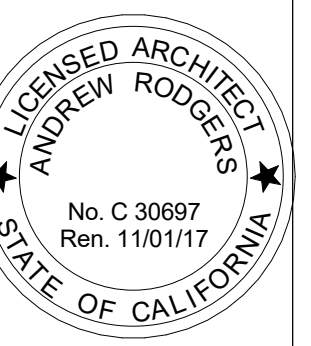


LEGEND

- RECESSED DOWNLIGHT - LED
- CEILING MOUNT FIXTURE - CFL
- WALL MOUNT FIXTURE - LED
- PENDANT
- SPOTLIGHT
- LED LINEAR LIGHT
- EXTERIOR WALL SCONCE
- TRACK LIGHT
- SWITCH
- DIMMER SWITCH
- 3-WAY SWITCH
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- CEILING FAN/LIGHT
- EXHAUST FAN
- SMOKE DETECTOR
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- GFI OUTLET
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- GAS CONNECTION
- THERMOSTAT
- HVAC RETURNS
- HVAC SUPPLY
- HVAC REGISTERS
- HVAC UNIT
- MAIN ELECTRICAL PANEL
- WATER HEATER
- FURNACE
- EXIT SIGN

ISSUES:
 1 12/13/2016 MOD PLAN CHECK
 2 12/29/16 MOD PLAN CHECK #2

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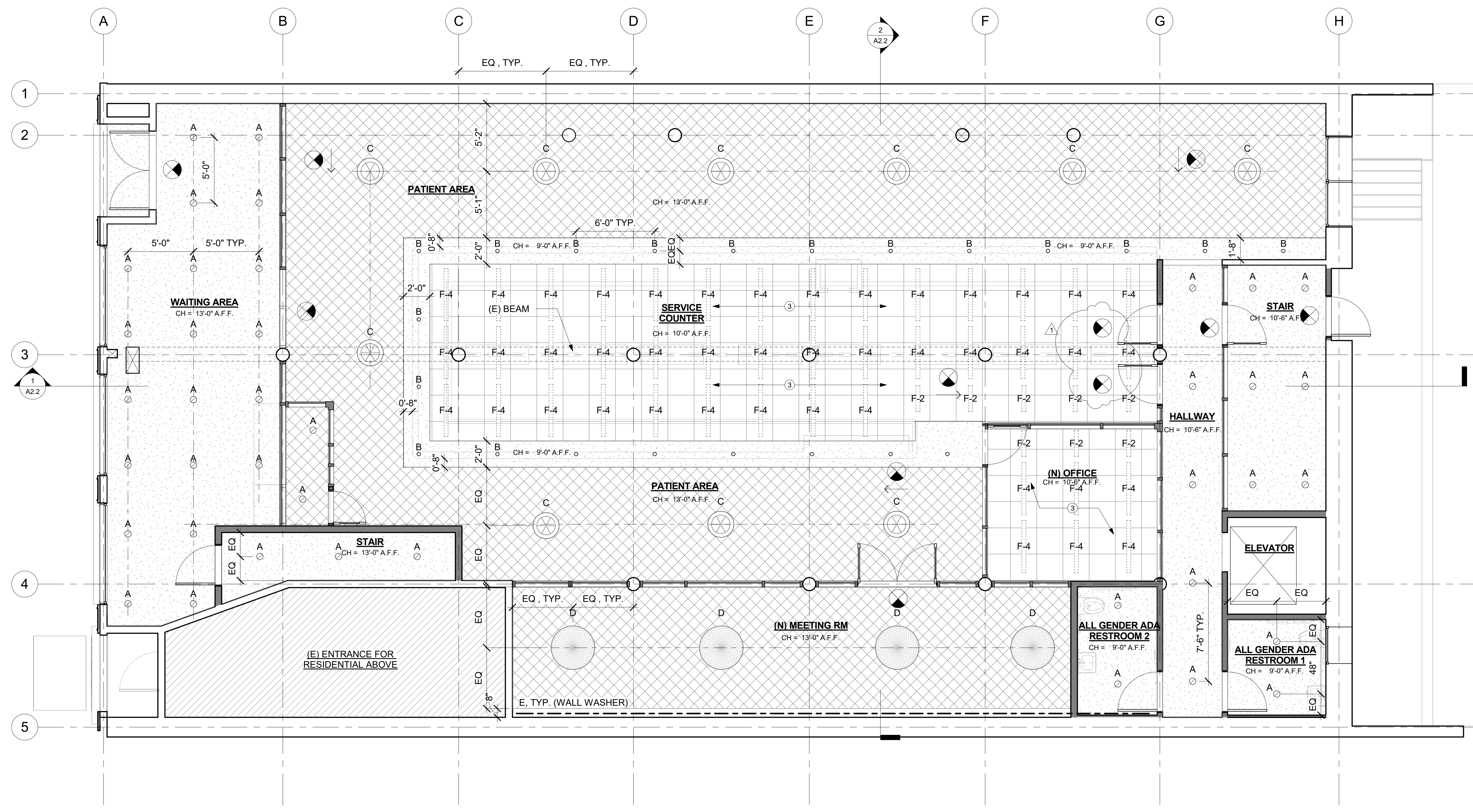
ALTERATIONS
1276 MARKET ST.
 SAN FRANCISCO, CA 94102

ISSUE FOR PERMIT

GROUND LEVEL REFLECTED CEILING PLAN

DATE 12/29/2016
 SCALE 1/4" = 1'-0"
 DRAWN SMH
 SHEET

A1.7



1 GROUND FLOOR - PROPOSED REFLECTED CEILING PLAN
 1/4" = 1'-0"

REFLECTED CEILING PLAN SHEET NOTES

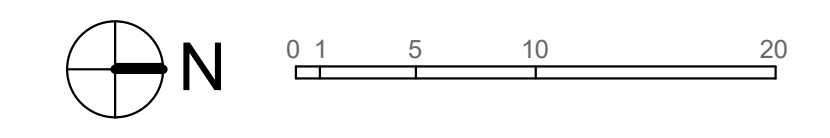
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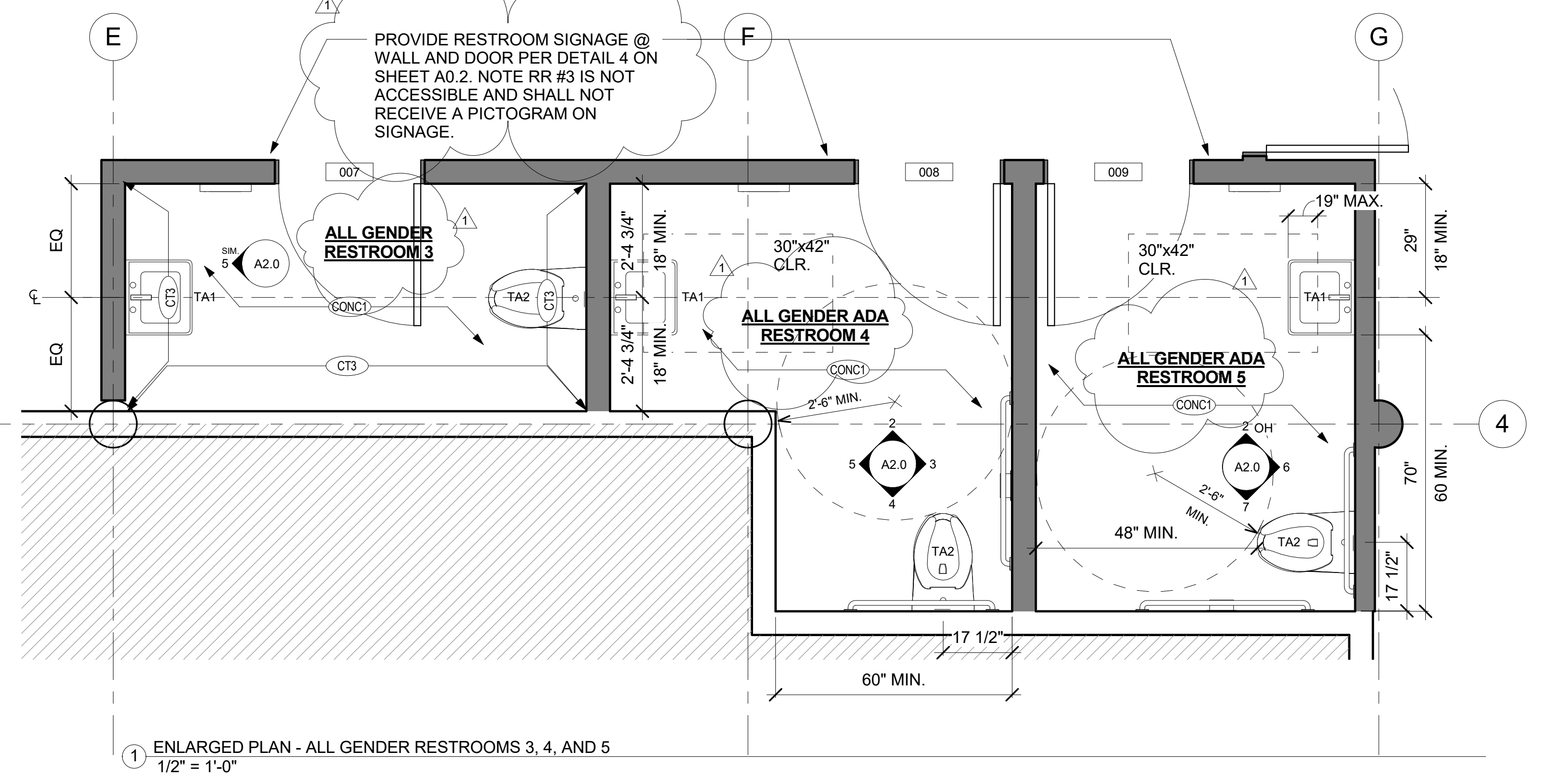
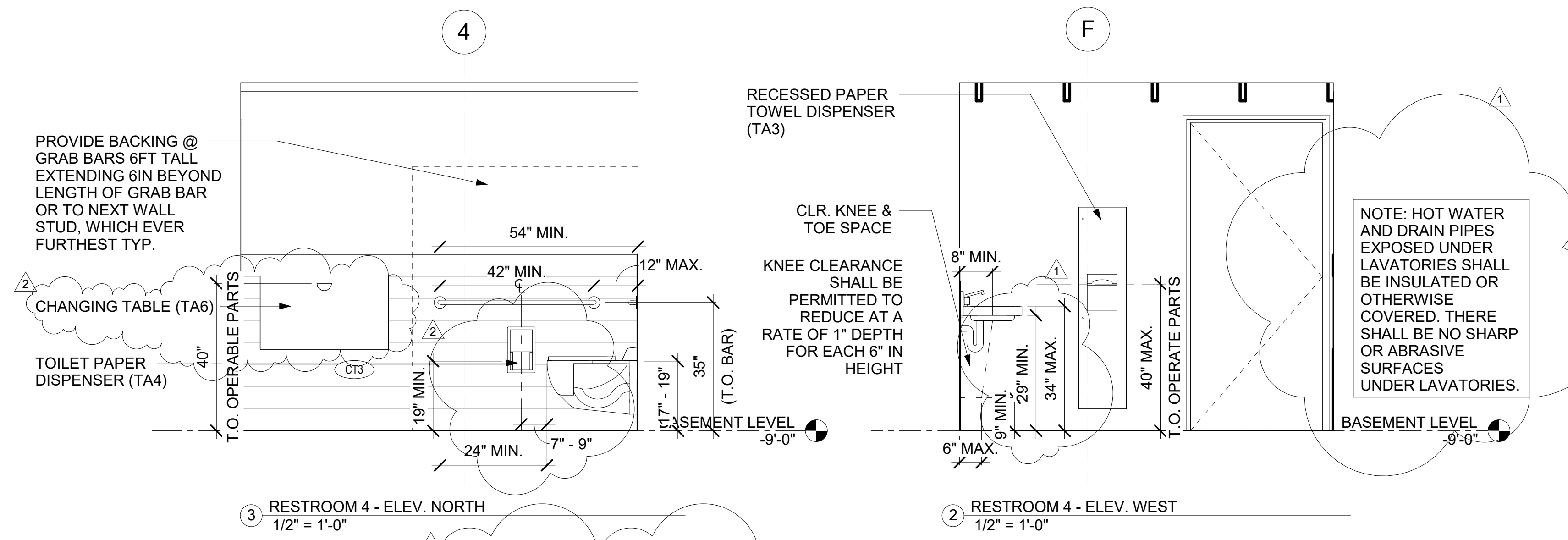
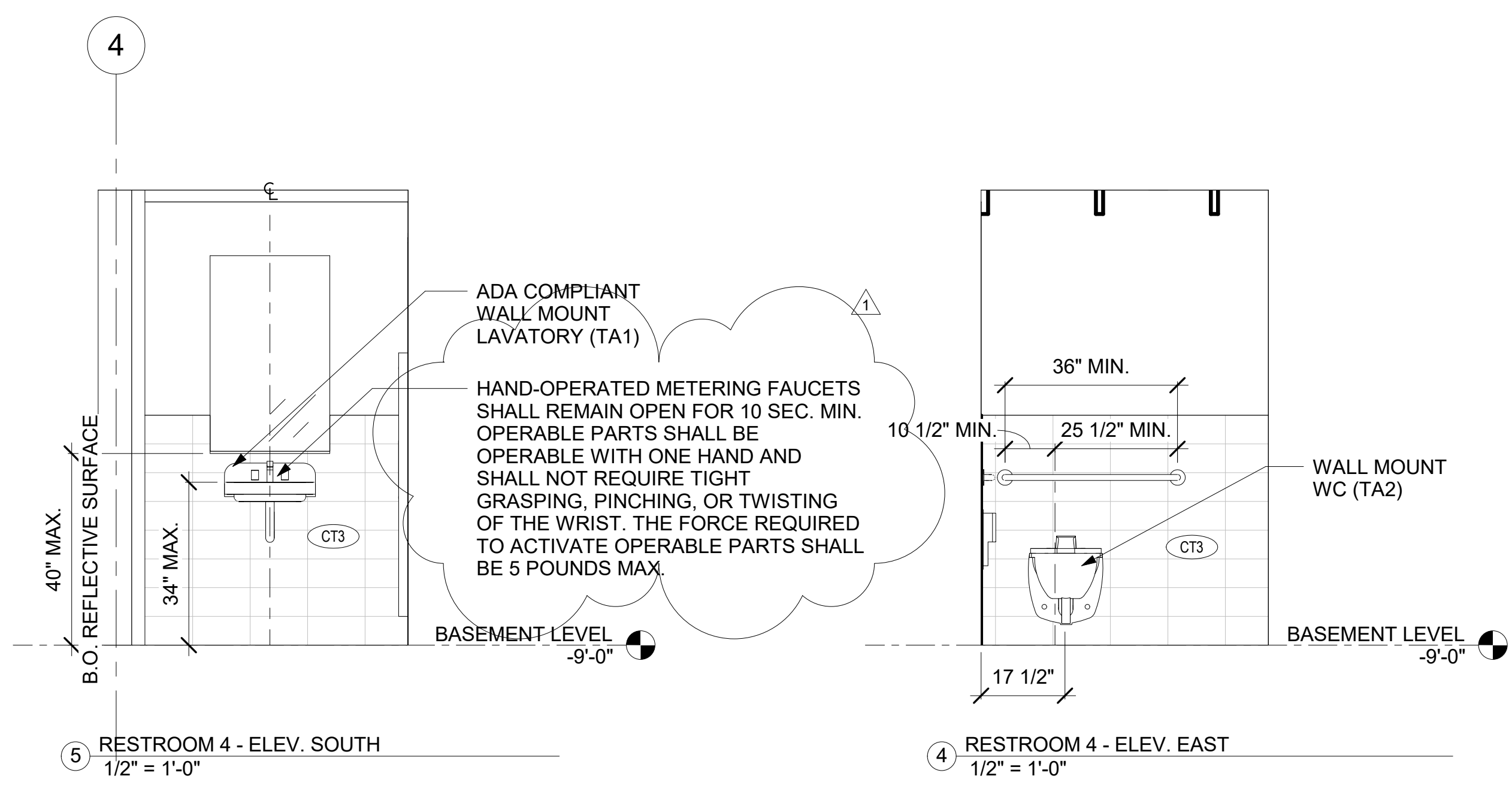
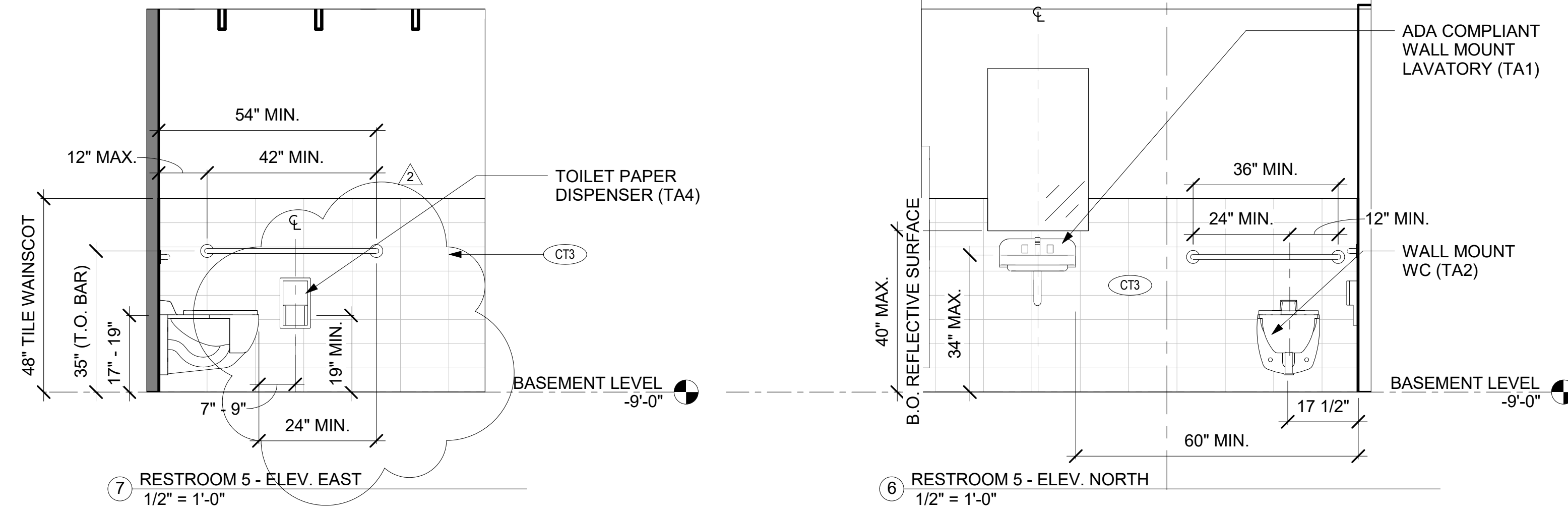
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TOILET ACCESSORIES:

- TA1 **COMMERCIAL WALL MOUNT LAVATORY:** AMERICAN STANDARD, LUCERNE WALL HUNG LAVATORY 0356 3 HOLE FAUCET INSTALLATION. FAUCET: AMERICAN STANDARD, MONTERREY TWO-HANDLE 8" WIDESPREAD LAVATORY FAUCET
- TA2 **WALL MOUNT WATER CLOSET:** AMERICAN STANDARD, AFWALL FLOWISE ADA RETROFIT ELONGATED FLUSHOMETER TOILET. TOILET SEAT: AMERICAN STANDARD, COMMERCIAL TOILET SEAT 5901
- TA3 **SEMI RECESSED PAPER TOWEL DISPENSER AND WASTE COMBO,** BOBRICK B38032
- TA4 **TOILET TISSUE DISPENSER:** BOBRICK RECESSED MULTI-ROLL TOILET TISSUE DISPENSER, B-3888
- TA5 **GRAB BAR:** BOBRICK, 1 1/4" DIA. STAINLESS STEEL GRAB BAR WITH SNAP FLANGE, 36" AND 42" LENGTHS, B-5806 SERIES
- TA6 **CHANGING STATION:** KOALA KARE PRODUCTS, KB110-SSWM HORIZONTAL WALL MOUNTED STN. STL. CHANGING STATION. MOUNT HANDLE @ 40" AFF.

ADDITIONAL NOTES

- 1 PROVIDE BACKING @ GRAB BARS 6FT TALL EXTENDING 6IN BEYOND LENGTH OF GRAB BAR OR TO NEXT WALL STUD, WHICH EVER FURTHEST TYP.

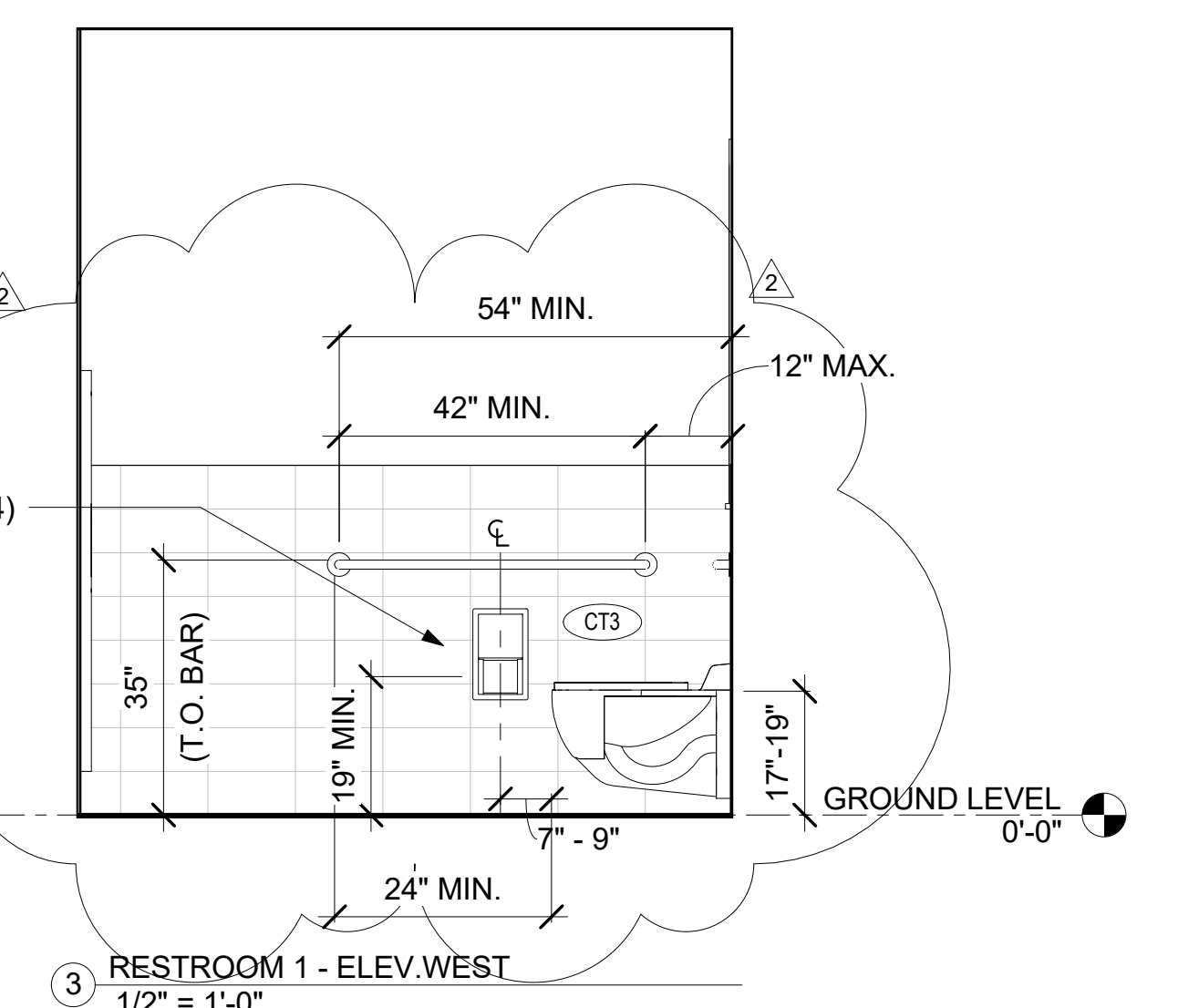
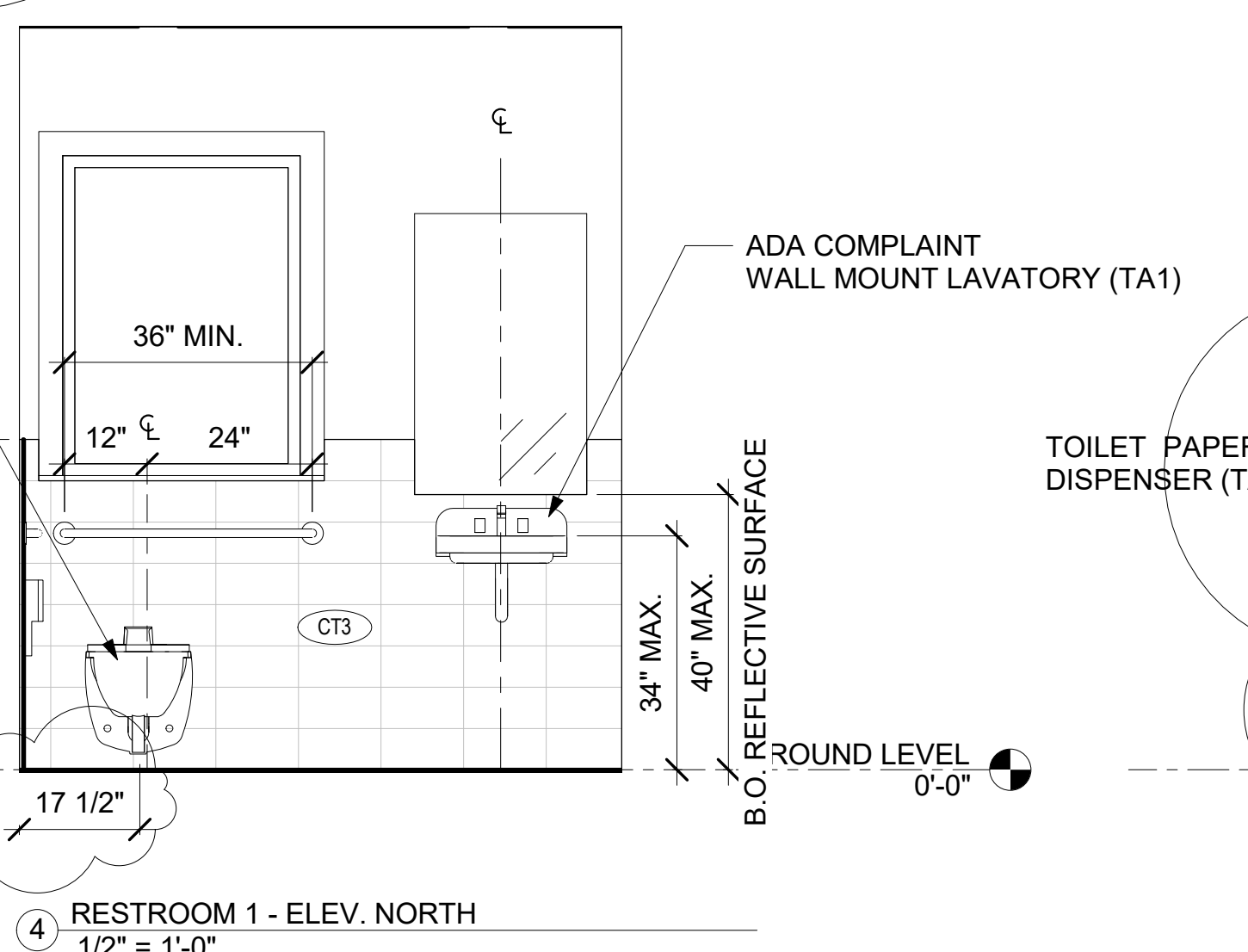
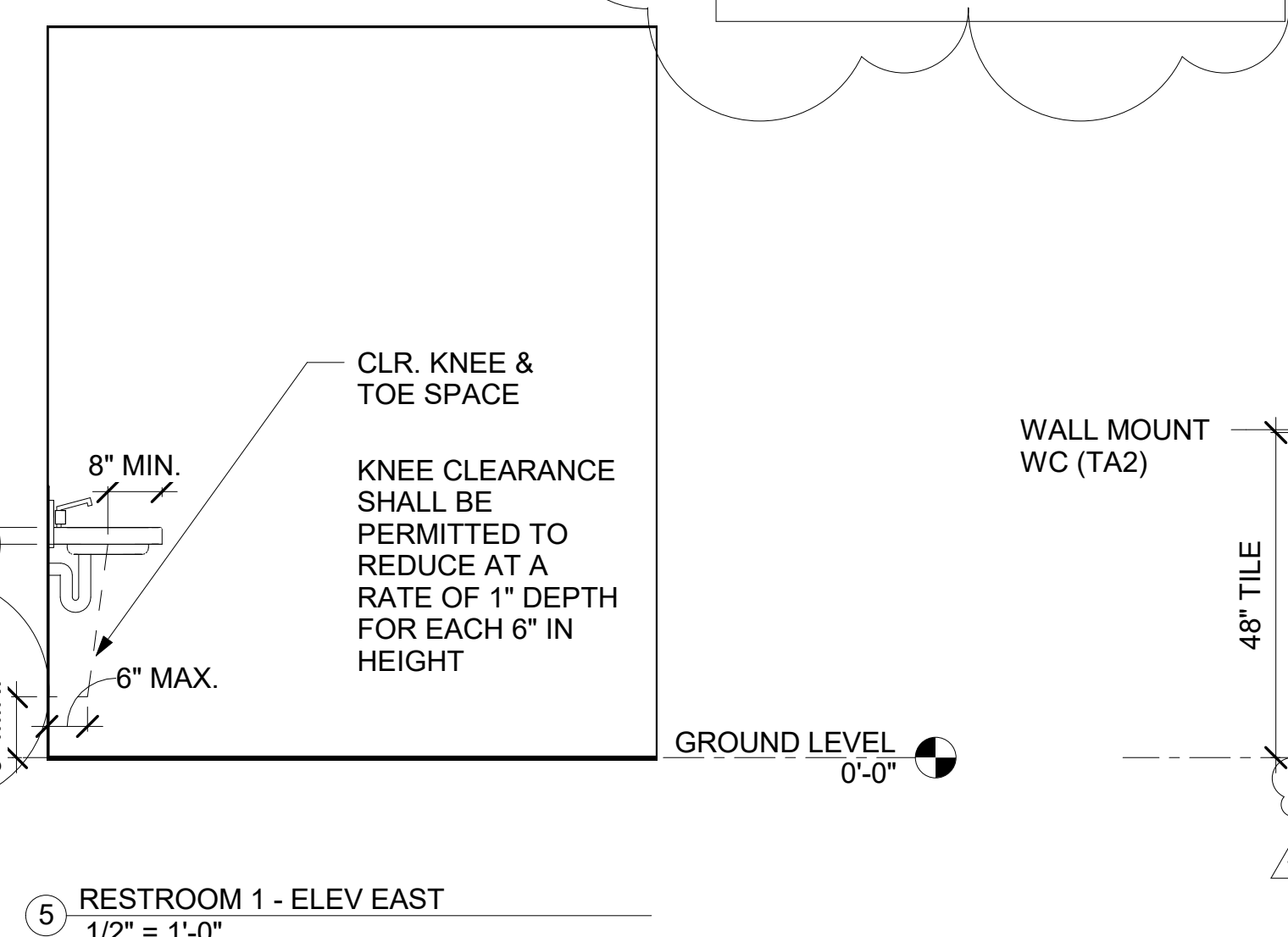
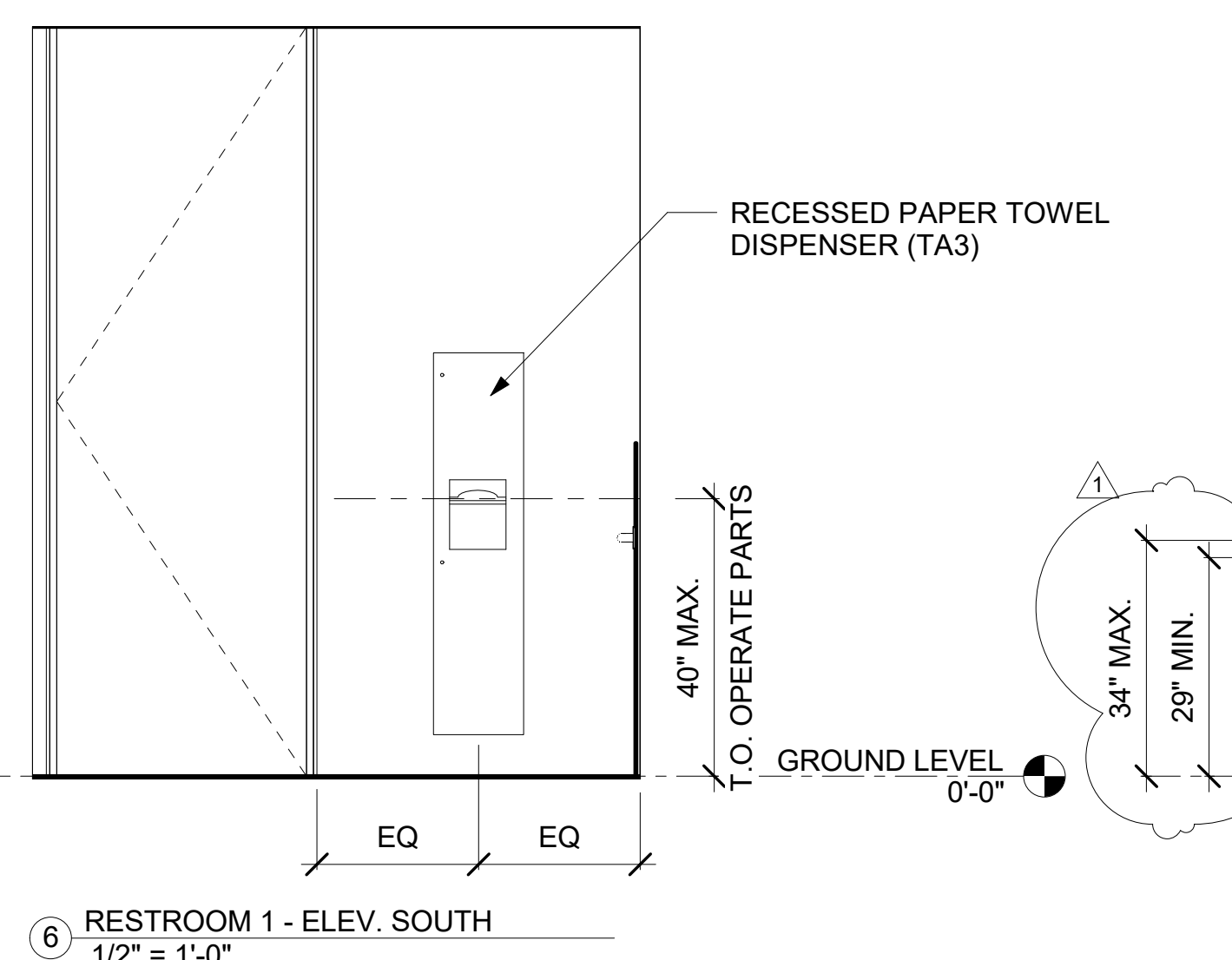
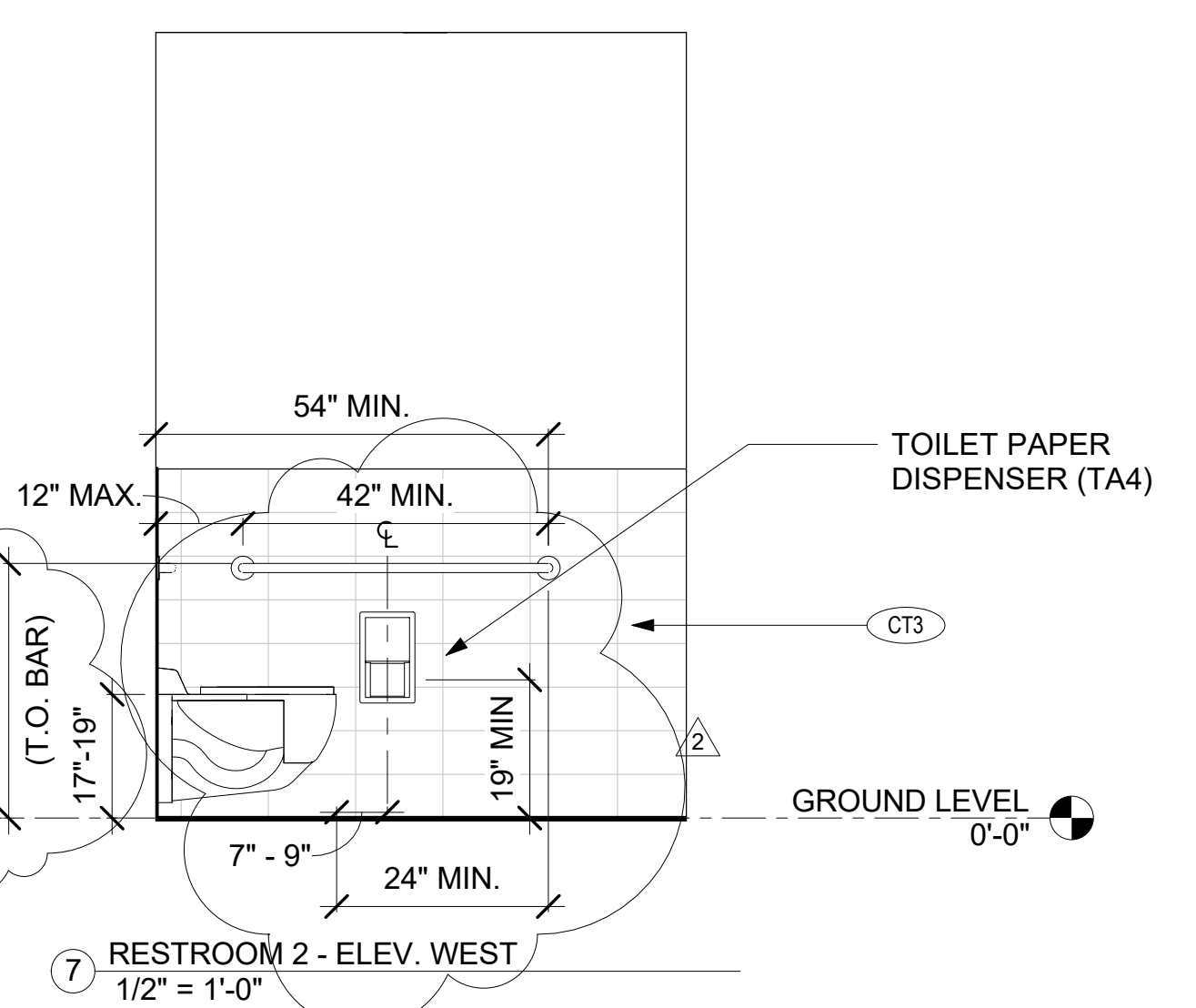
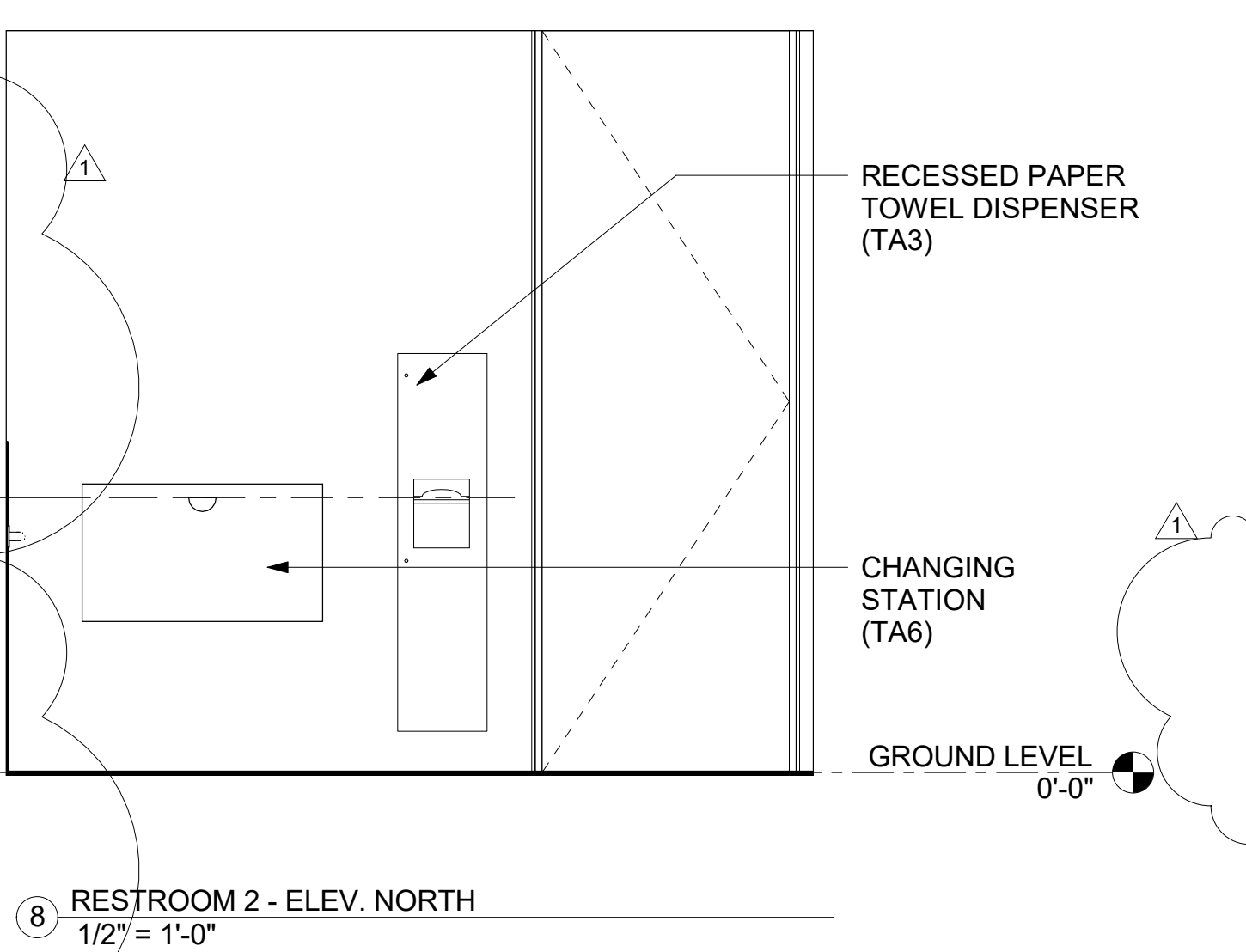
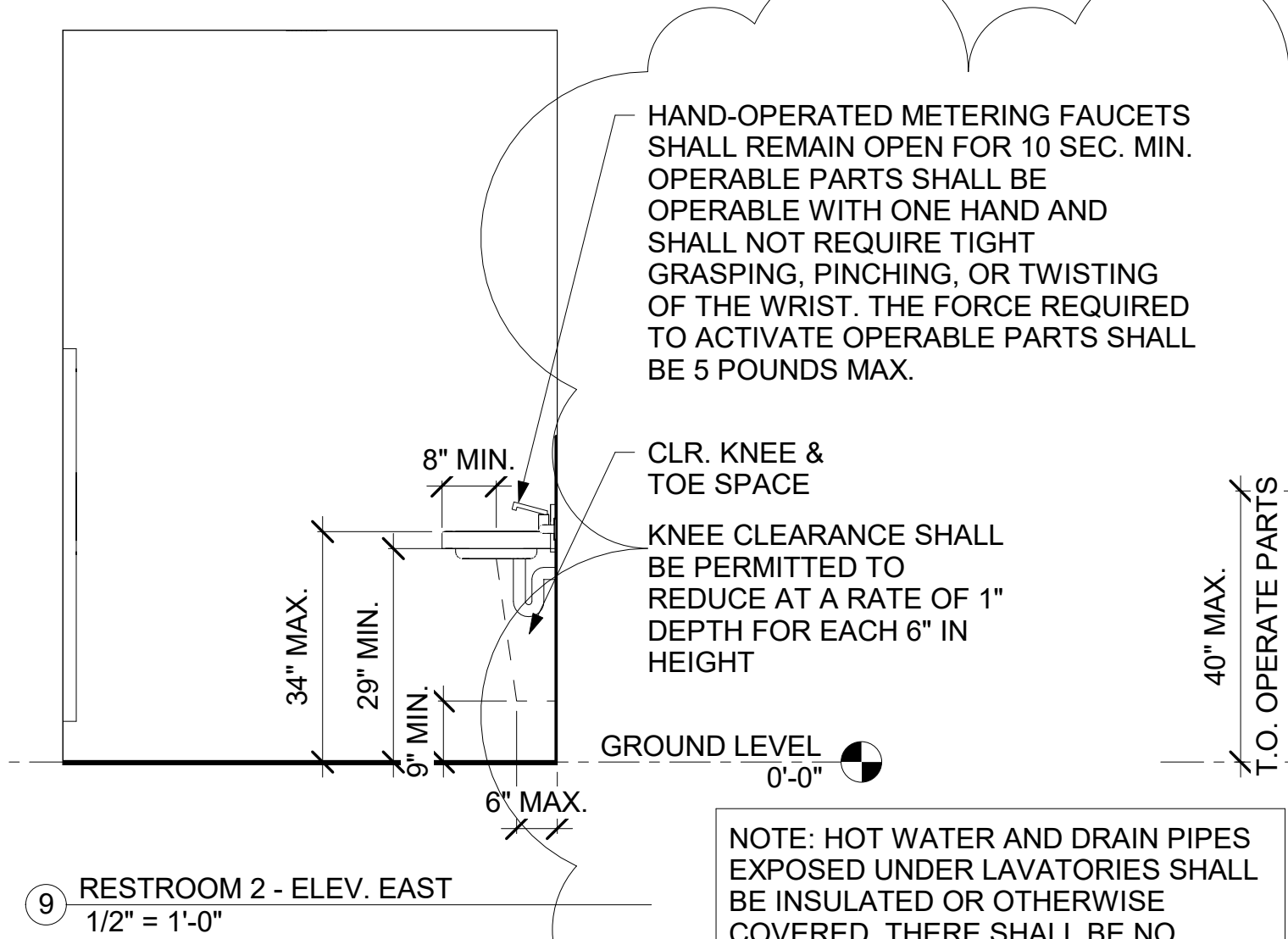
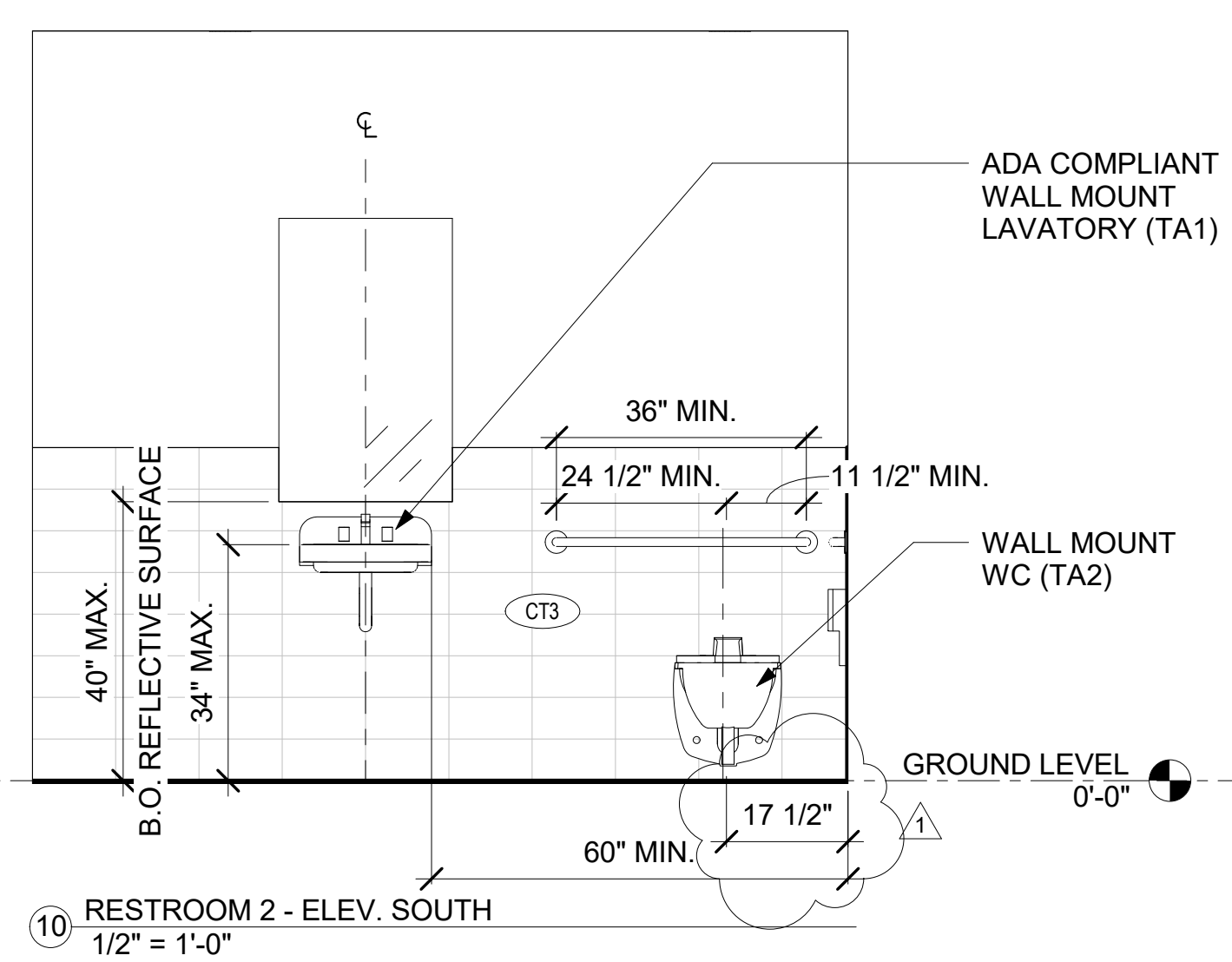
ADA COMPLIANT WALL MOUNT LAVATORY (TA1)
 HAND-OPERATED METERING FAUCETS SHALL REMAIN OPEN FOR 10 SEC. MIN. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAX.

PROVIDE BACKING @ GRAB BARS 6FT TALL EXTENDING 6IN BEYOND LENGTH OF GRAB BAR OR TO NEXT WALL STUD, WHICH EVER FURTHEST TYP.

RECESSED PAPER TOWEL DISPENSER (TA3)
 CLR. KNEE & TOE SPACE
 KNEE CLEARANCE SHALL BE PERMITTED TO REDUCE AT A RATE OF 1" DEPTH FOR EACH 6" IN HEIGHT

NOTE: HOT WATER AND DRAIN PIPES EXPOSED UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.

PROVIDE RESTROOM SIGNAGE @ WALL AND DOOR PER DETAIL 4 ON SHEET A0.2. NOTE RR #3 IS NOT ACCESSIBLE AND SHALL NOT RECEIVE A PICTOGRAM ON SIGNAGE.



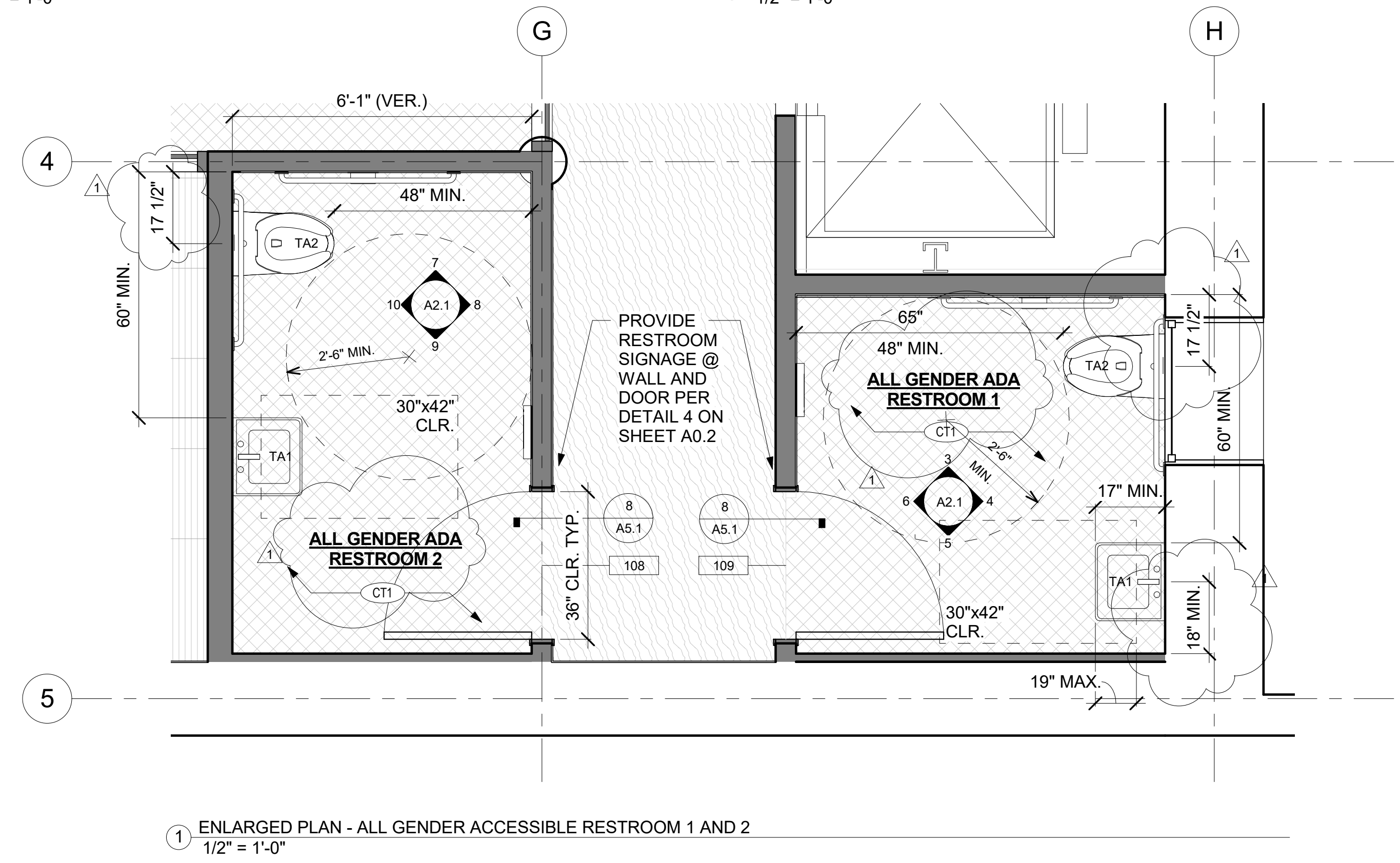
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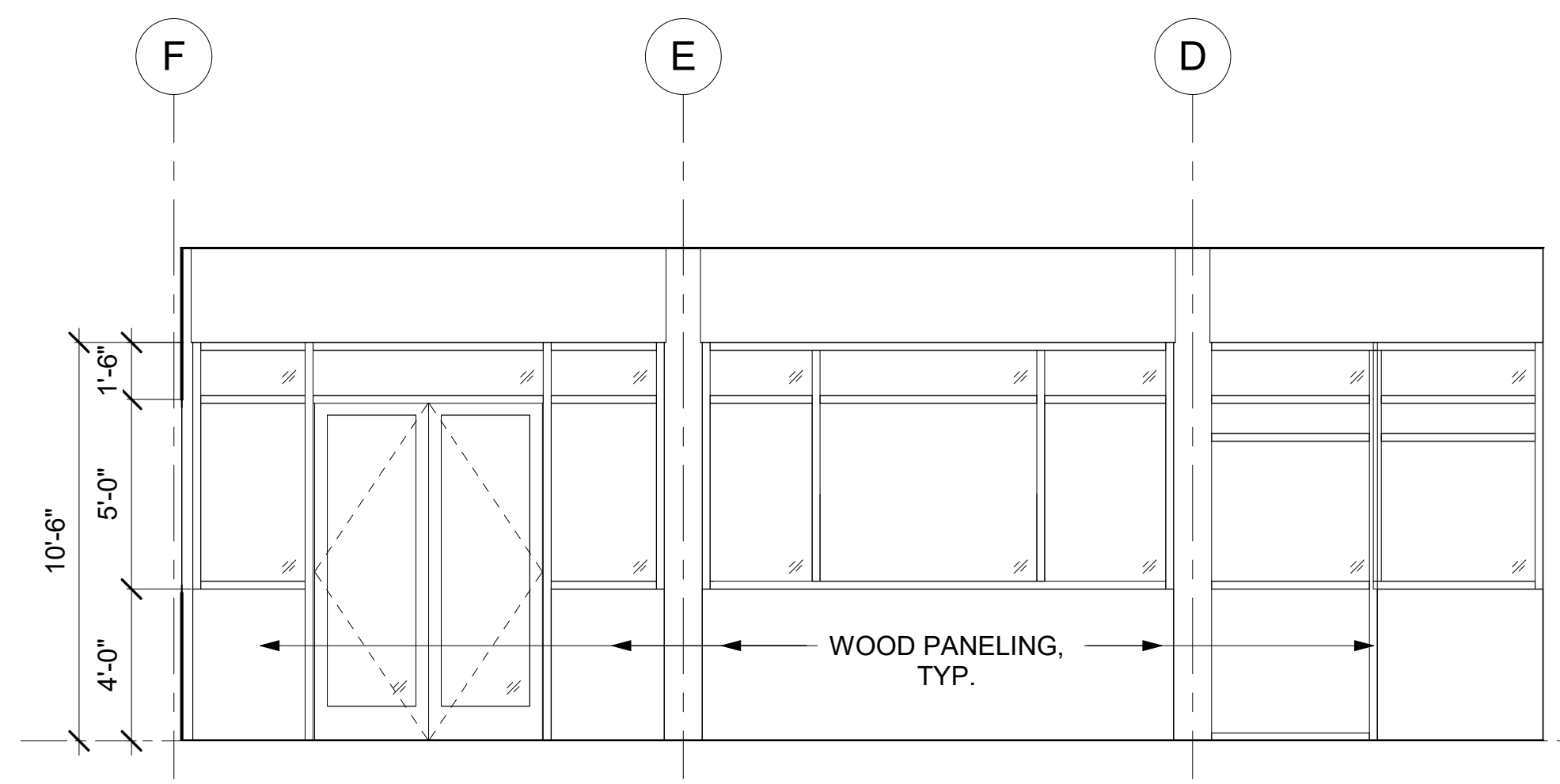
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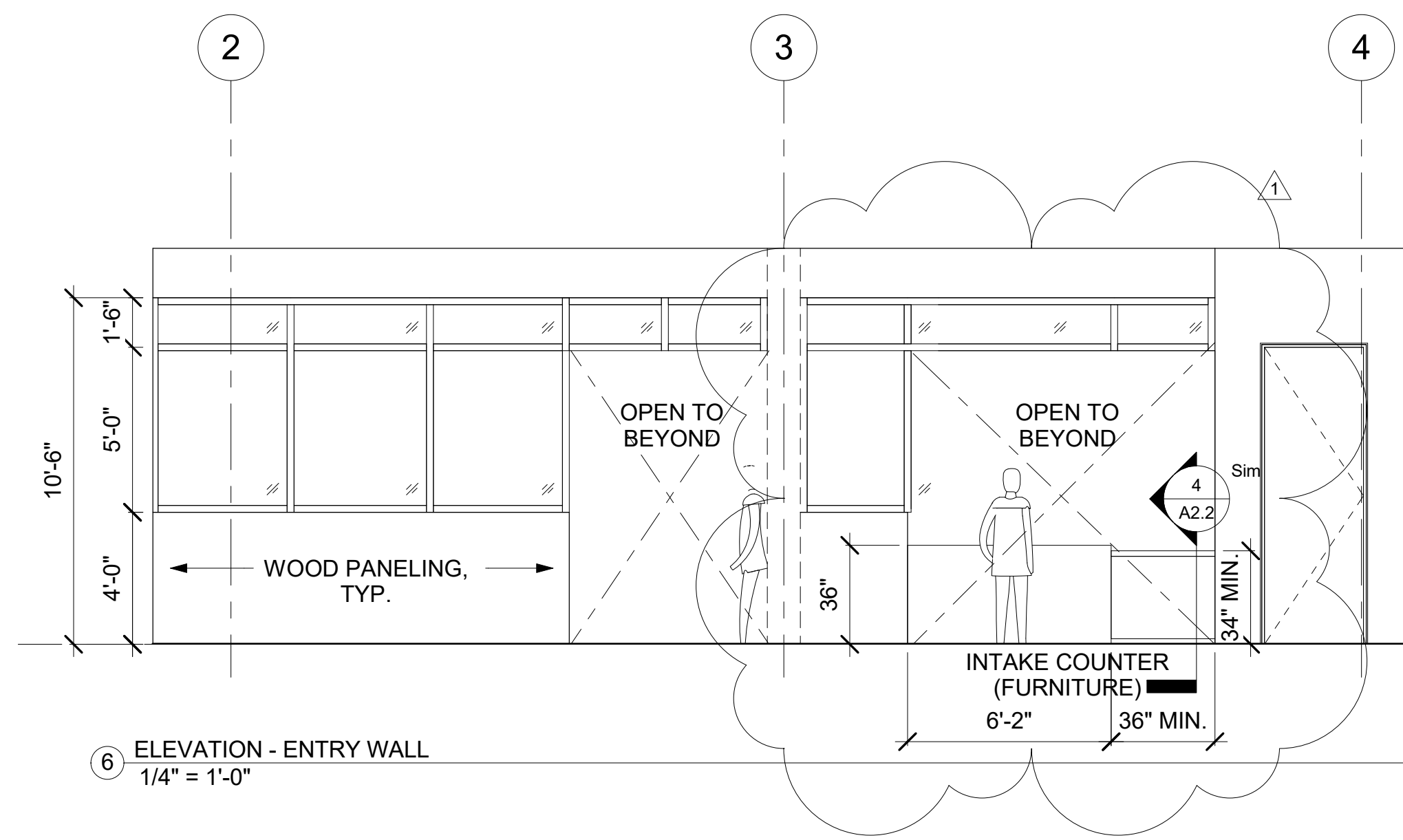


1 ENLARGED PLAN - ALL GENDER ACCESSIBLE RESTROOM 1 AND 2
 1/2" = 1'-0"

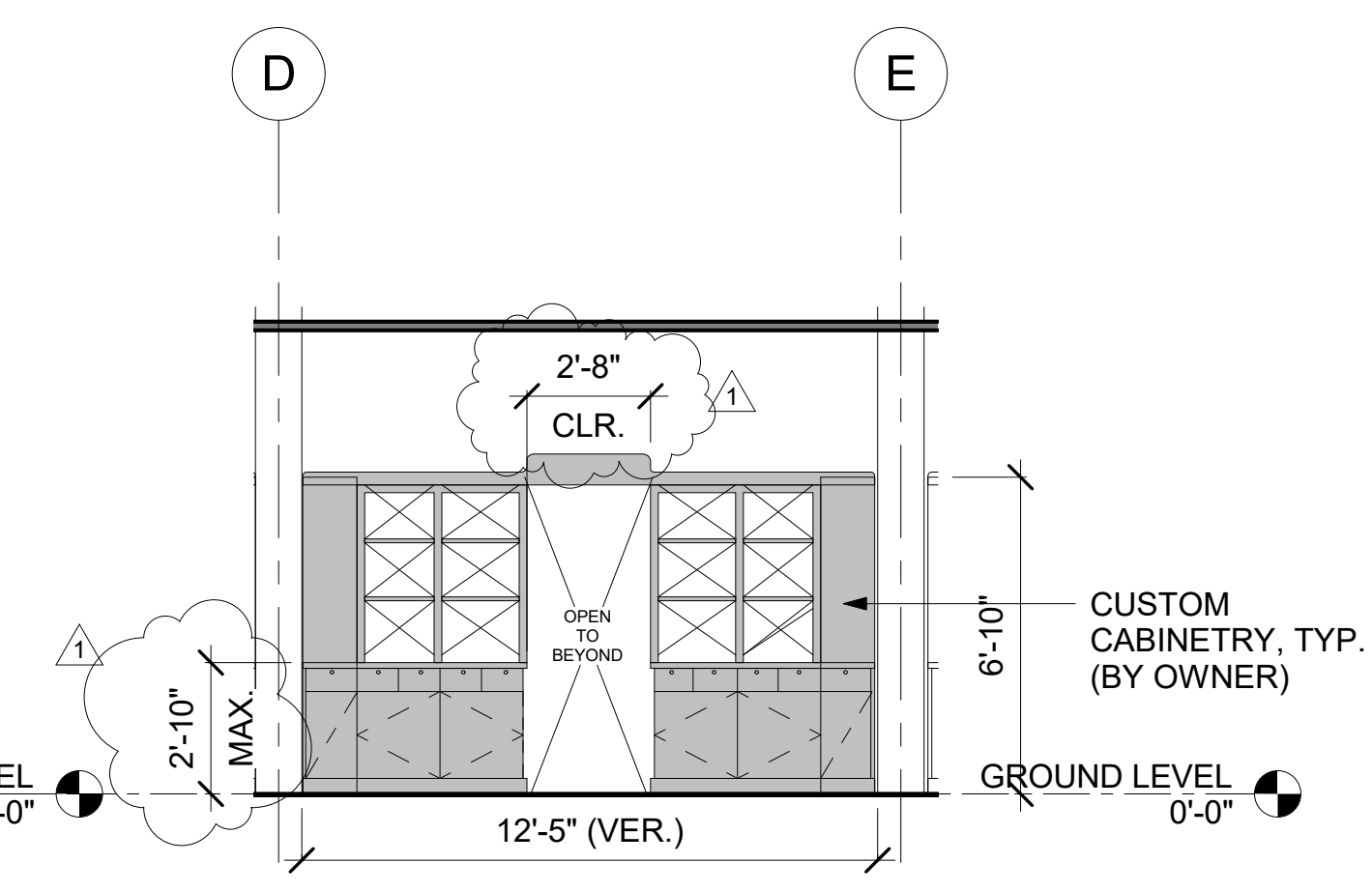
ISSUES:
 1 12/13/2016 MOD PLAN CHECK
 2 12/29/16 MOD PLAN CHECK #2



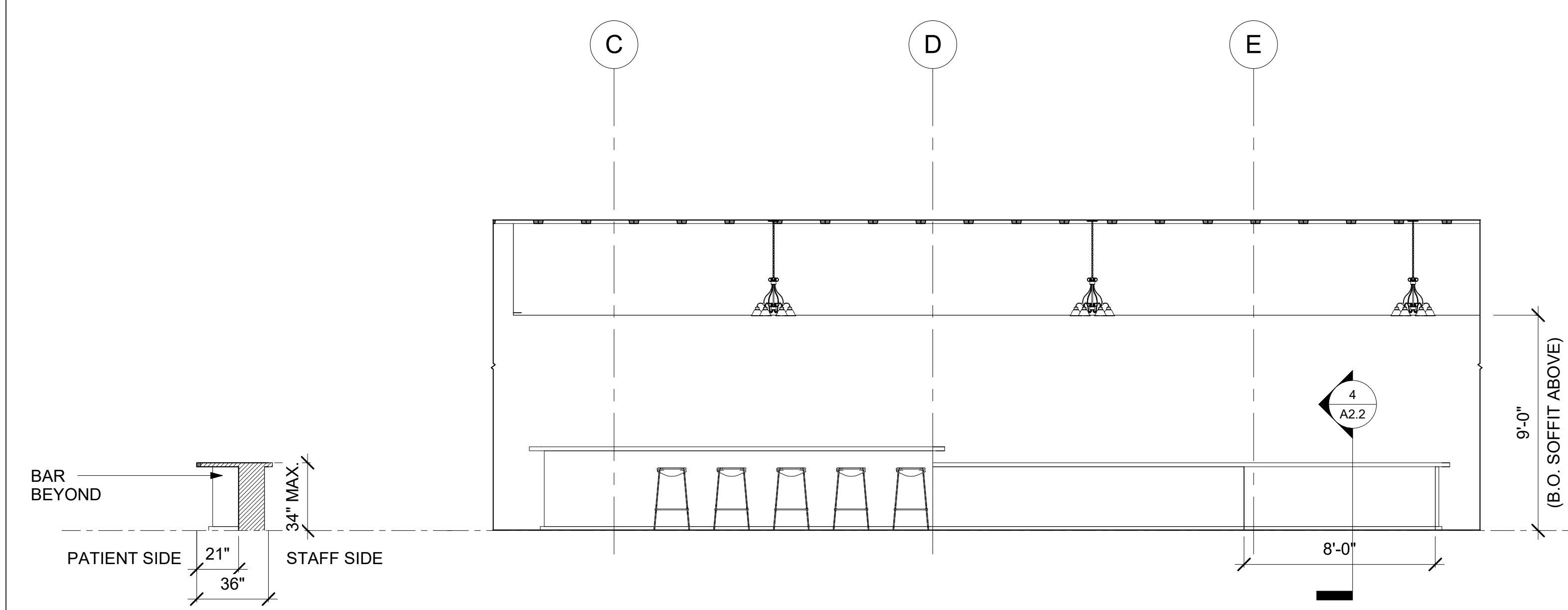
7 ELEVATION - PARTITION @ MEETING ROOM
 1/4" = 1'-0"



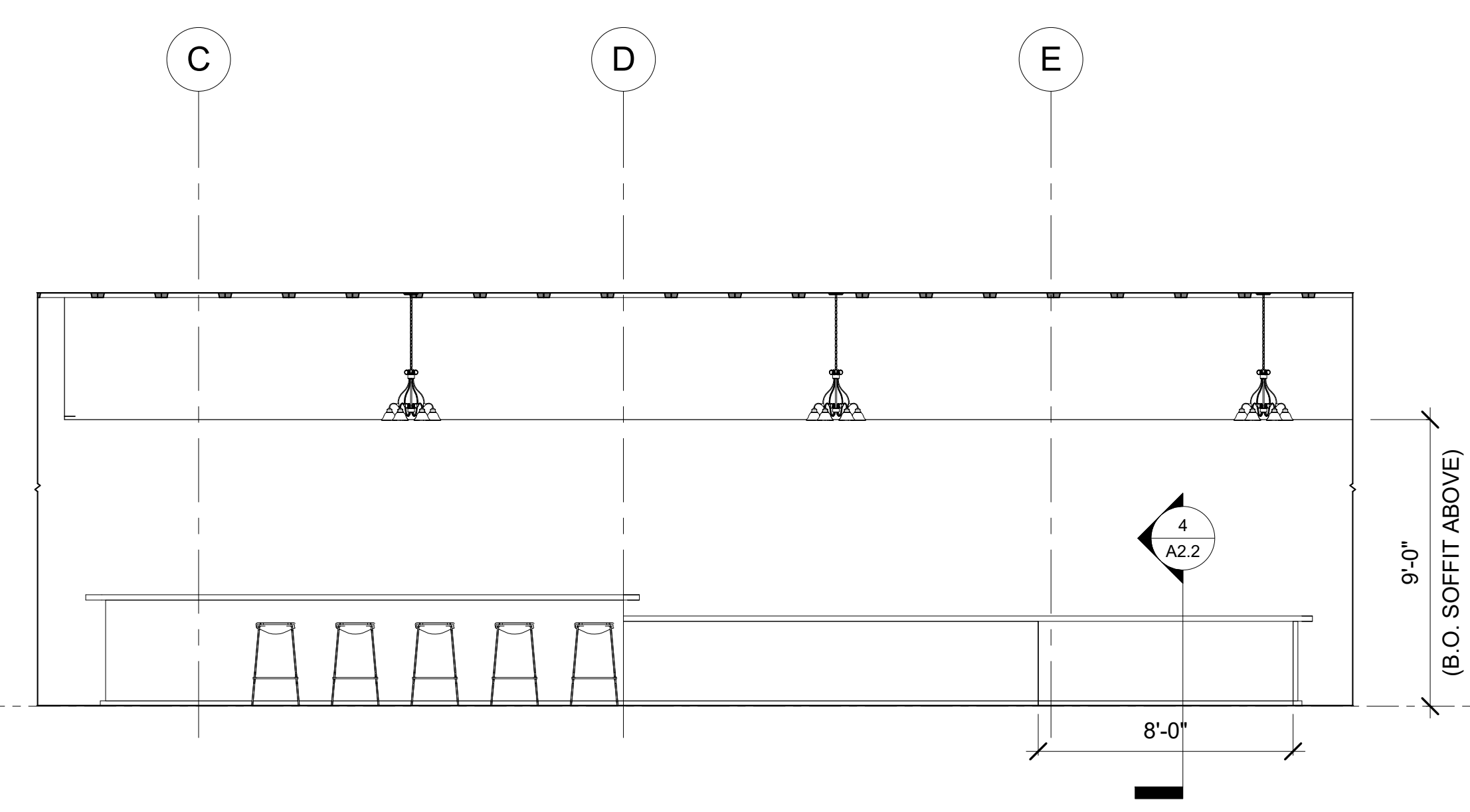
6 ELEVATION - ENTRY WALL
 1/4" = 1'-0"



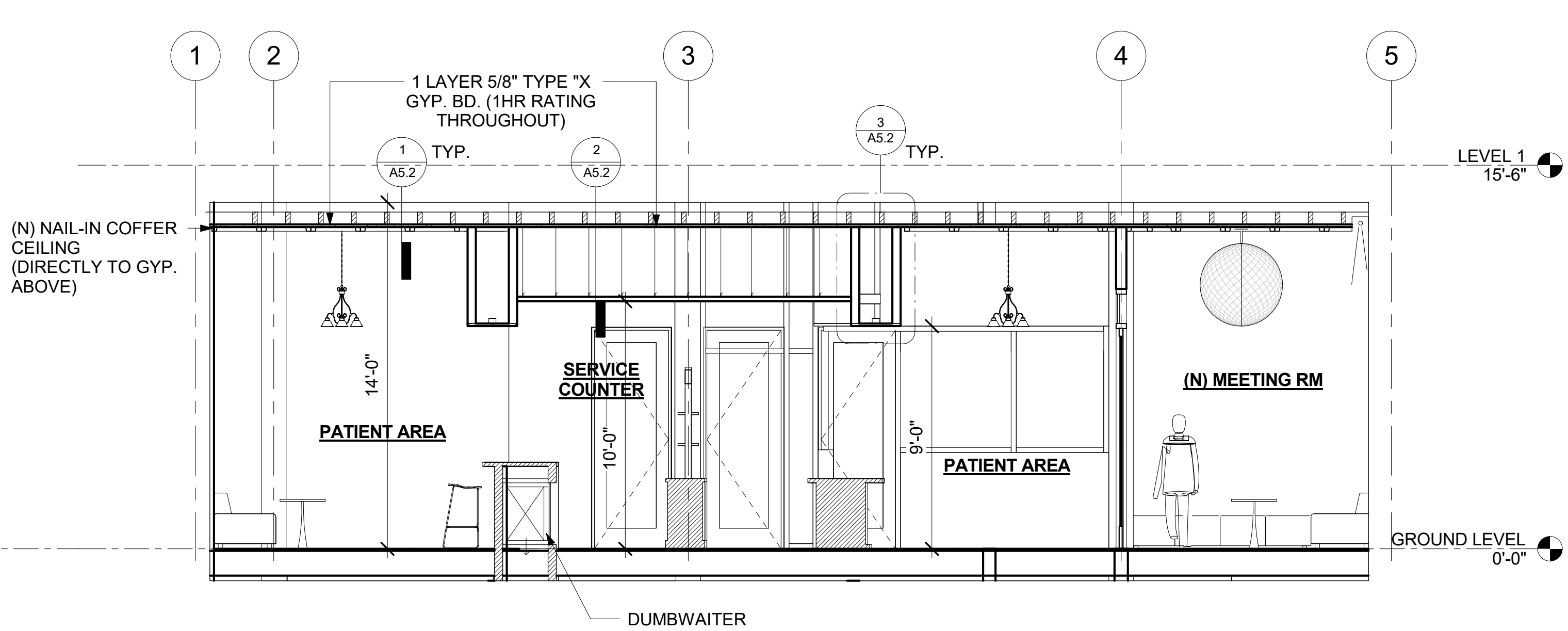
5 ELEVATION - CUSTOM CABINERY @ BAR
 1/4" = 1'-0"



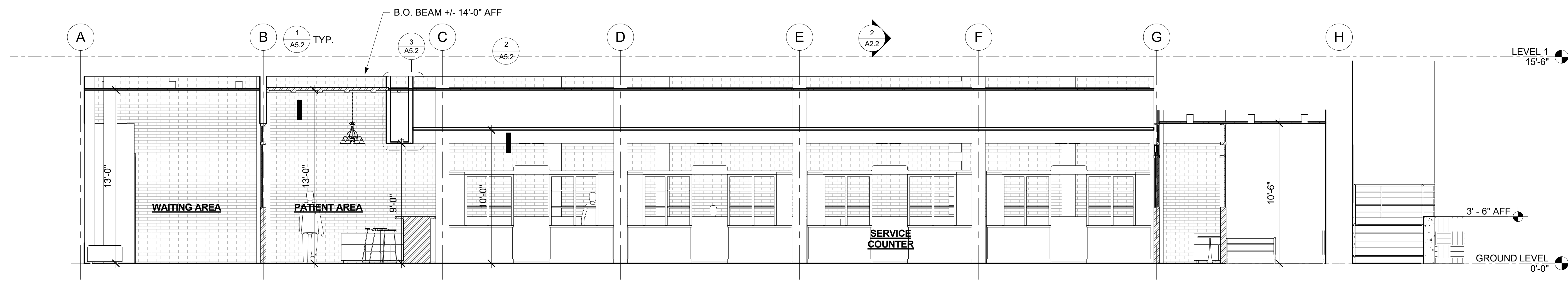
4 SECTION @ ADA HEIGHT BAR
 1/4" = 1'-0"



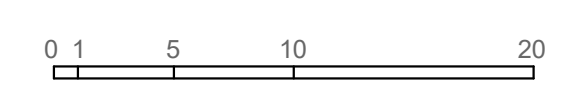
3 ELEVATION - ADA HEIGHT @ BAR
 1/4" = 1'-0"



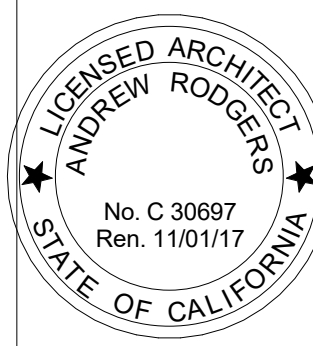
2 SECTION @ BAR - (EAST WEST)
 1/4" = 1'-0"



1 SECTION @ BAR (NORTH-SOUTH)
 1/4" = 1'-0"



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ALTERATIONS
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INTERIOR ELEVATIONS AND SECTIONS

DATE 12/29/2016
 SCALE 1/4" = 1'-0"
 DRAWN SMH

SHEET
 A2.2

| DOOR SCHEDULE | | | | | | | | | | | | | | |
|-----------------------|------|---------------------------|--------------|--------|------|------------|------------|-------|------------|-------------|---------|------|----------------|--|
| Exterior/Interior | Mark | Room | Opening Size | | Type | Frame Type | MTL/Finish | | Glass Type | Fire Rating | Details | | Hardware Group | Remarks |
| | | | Width | Height | | | Door | Frame | | | Head | Jamb | | |
| EXTERIOR | | | | | | | | | | | | | | |
| GROUND LEVEL | | | | | | | | | | | | | | |
| EXTERIOR | 101 | WAITING AREA | 6'-0" | 8'-0" | SD | ALUM | WD | CLR. | | | | | 2 | PROVIDE PANIC HARDWARE, OPEN FORCE NOT TO EXCEED 5 POUNDS OF FORCE |
| EXTERIOR | 110 | STAIR | 3'-0" | 9'-0" | SS | HM | HM/PTD | PTD | | | | | 1 | PROVIDE PANIC HARDWARE |
| INTERIOR | | | | | | | | | | | | | | |
| BASEMENT LEVEL | | | | | | | | | | | | | | |
| INTERIOR | 001 | OFFICE | 3'-0" | 7'-0" | SS | HM | HM/PTD | PTD | | | | | | |
| INTERIOR | 002 | OFFICE | 3'-0" | 7'-0" | SS | HM | HM/PTD | PTD | | | | | | |
| INTERIOR | 003 | VAULT | 3'-0" | 7'-0" | SS | MTL | MTL | PTD | | | | | | PROVIDE VAULT DOOR, PER OWNER SPECIFICATIONS |
| INTERIOR | 004 | STORAGE | 3'-0" | 7'-0" | SS | HM | HM/PTD | PTD | | | | | | |
| INTERIOR | 005 | HALLWAY | 3'-0" | 7'-0" | SS | HM | HM/PTD | PTD | | | | | 3 | PROVIDE PANIC HARDWARE |
| INTERIOR | 006 | ELEV. MACHINE RM. | 3'-0" | 7'-0" | SS | HM | HM/PTD | PTD | | | | | | |
| INTERIOR | 007 | ALL GENDER RESTROOM 3 | 3'-0" | 7'-0" | SS | HM | HM/PTD | PTD | | | | | | PROVIDE LATCH AND CLOSER, TYP. |
| INTERIOR | 008 | ALL GENDER ADA RESTROOM 4 | 3'-0" | 7'-0" | SS | HM | HM/PTD | PTD | | | | | | PROVIDE LATCH AND CLOSER, TYP. |
| INTERIOR | 009 | ALL GENDER ADA RESTROOM 5 | 3'-0" | 7'-0" | SS | HM | HM/PTD | PTD | | | | | | PROVIDE LATCH AND CLOSER, TYP. |
| INTERIOR | 010 | STORAGE | 3'-0" | 7'-0" | SS | | | | | | | | | |
| GROUND LEVEL | | | | | | | | | | | | | | |
| INTERIOR | 102 | PATIENT AREA | 2'-6" | 8'-10" | SS | ALUM | ALUM/GL. | CLR. | T | | | | | |
| INTERIOR | 103 | (N) MEETING RM | 6'-0" | 8'-10" | SD | ALUM | ALUM/GL. | CLR. | T | | | | | |
| INTERIOR | 104 | (N) OFFICE | 3'-0" | 8'-10" | SS | ALUM | ALUM/GL. | CLR. | T | | | | | |
| INTERIOR | 105 | SERVICE COUNTER | 3'-0" | 8'-10" | SS | ALUM | ALUM/GL. | CLR. | T | | | | | |
| INTERIOR | 106 | SERVICE COUNTER | 3'-0" | 8'-10" | SS | ALUM | ALUM/GL. | CLR. | T | | | | | |
| INTERIOR | 107 | STAIR | 3'-0" | 8'-10" | SS | ALUM | ALUM/GL. | CLR. | T | | | | 3 | PROVIDE PANIC HARDWARE |
| INTERIOR | 108 | ALL GENDER ADA RESTROOM 2 | 3'-0" | 9'-0" | SS | HM | HM/PTD | PTD | | | | | | PROVIDE LATCH AND CLOSER, TYP. |
| INTERIOR | 109 | ALL GENDER ADA RESTROOM 1 | 3'-0" | 9'-0" | SS | HM | HM/PTD | PTD | | | | | | PROVIDE LATCH AND CLOSER, TYP. |
| INTERIOR | 111 | WAITING AREA | 3'-0" | 9'-0" | SS | HM | HM/PTD | PTD | | | | | 3 | PROVIDE PANIC HARDWARE |

| FINISH LEGEND | | | | |
|---------------|--------------------------|-----------------------------|--|---------------------|
| TYPE | DESCRIPTION | MANUFACTURER | ITEM/COLOR/FINISH/SIZE | REMARKS |
| CONC1 | SEALED CONCRETE | | TOPPING SLAB, SEALED CONCRETE ON EXISTING | |
| CL1 | GYP. BD CEILING | | | |
| CL2 | 24x24 COFFER CEILING | AMERICAN TIN CEILING OR EQ. | PATTERN #6, FINISH TBD | |
| CL2 ALT. | 24x24 COFFER CEILING | WESTMINISTER OR EQ. | COFFERED CEILING TILES, METALIC FINISH TBD | |
| CL3 | 24x24 LUMINOUS CEILING | USG | USG TRANSLUCENTS LUMINOUS INFILL PANELS, CLEAR MAT | 15/16" TEGULAR GRID |
| CT1 | CERAMIC TILE | CROSSVILLE OR EQUAL | HEXAGONAL MOSAIC - OFF WHITE | SLIP RESISTANCE |
| CT2 | CERAMIC TILE | EUROWEST TILE | BLOCKS 5.0, 8x48 PAVIMENTO WOOD, GRAY, AND DARK, HONED | |
| CT3 | CERAMIC TILE | CROSSVILLE OR EQUAL | WHITE SUBWAY TILE | |
| ST1 | EXISTING BRICK TO REMAIN | -- | EXISTING TO REMAIN, PROTECTIVE COATING | |
| WP1 | WALL PANEL - LEATHER | TBD | | |
| WD1 | WOOD FLOOR | TBD | | |

WINDOW/DOOR TYPE ABBREVIATIONS

AWN= AWNING
 HP = HOPPER
 FX = FIXED
 GB = GLASS BLOCK
 SL = SLIDER
 CS = CASEMENT
 FC = FRENCH CASE
 DH = DOUBLE HUNG
 SH = SINGLE HUNG
 OSKY = OPER. SKYLIT.
 FSKY = FIXED SKYLIT.
 PV = PIVOT
 SS = SWING SIMPLE
 SD = SWING DBL.
 BF = BI-FOLD
 PK = POCKET
 OH = OVERHEAD
 BD = BARN DR.

GLASS TYPES

T = TEMPERED
 R = DOUBLE GLAZED W/
 45 MIN. RATED GLASS &
 ASSEMBLY
 I = INSULATED (DBL GLAZED)
 S = SINGLE GLAZED
 F = FROSTED
 L = LOW-E DOUBLE GLAZED
 LAM = LAMINATED GLASS

HARDWARE GROUP:

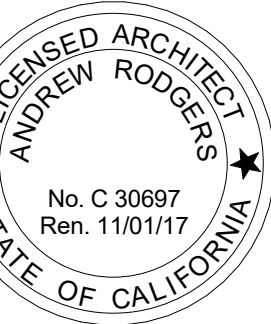
- EXTERIOR SINGLE DOOR
 PANIC HARDWARE AS REQUIRED
 ACCESSIBLE LEVER
 BOTTOM 10" SMOOTH, CONTINUOUS SURFACE
- EXTERIOR DOUBLE DOOR
 PANIC HARDWARE AS REQUIRED
 ACCESSIBLE LEVER
 BOTTOM 10" SMOOTH, CONTINUOUS SURFACE
- INTERIOR SINGLE DOOR
 PANIC HARDWARE AS REQUIRED
 ACCESSIBLE LEVER
 BOTTOM 10" SMOOTH, CONTINUOUS SURFACE

WINDOW/DOOR NOTES

- ALL DOORS WITH DOOR CLOSERS ARE TO BE ADJUSTED TO 5 POUND FORCE AND CLOSING SPEED OF 10 SECTIONS FROM THE 90 TO 12 DEGREE POSITION.

ISSUES:
 1. 12/13/2016 MOD PLAN CHECK
 2. 12/29/16 MOD PLAN CHECK #2

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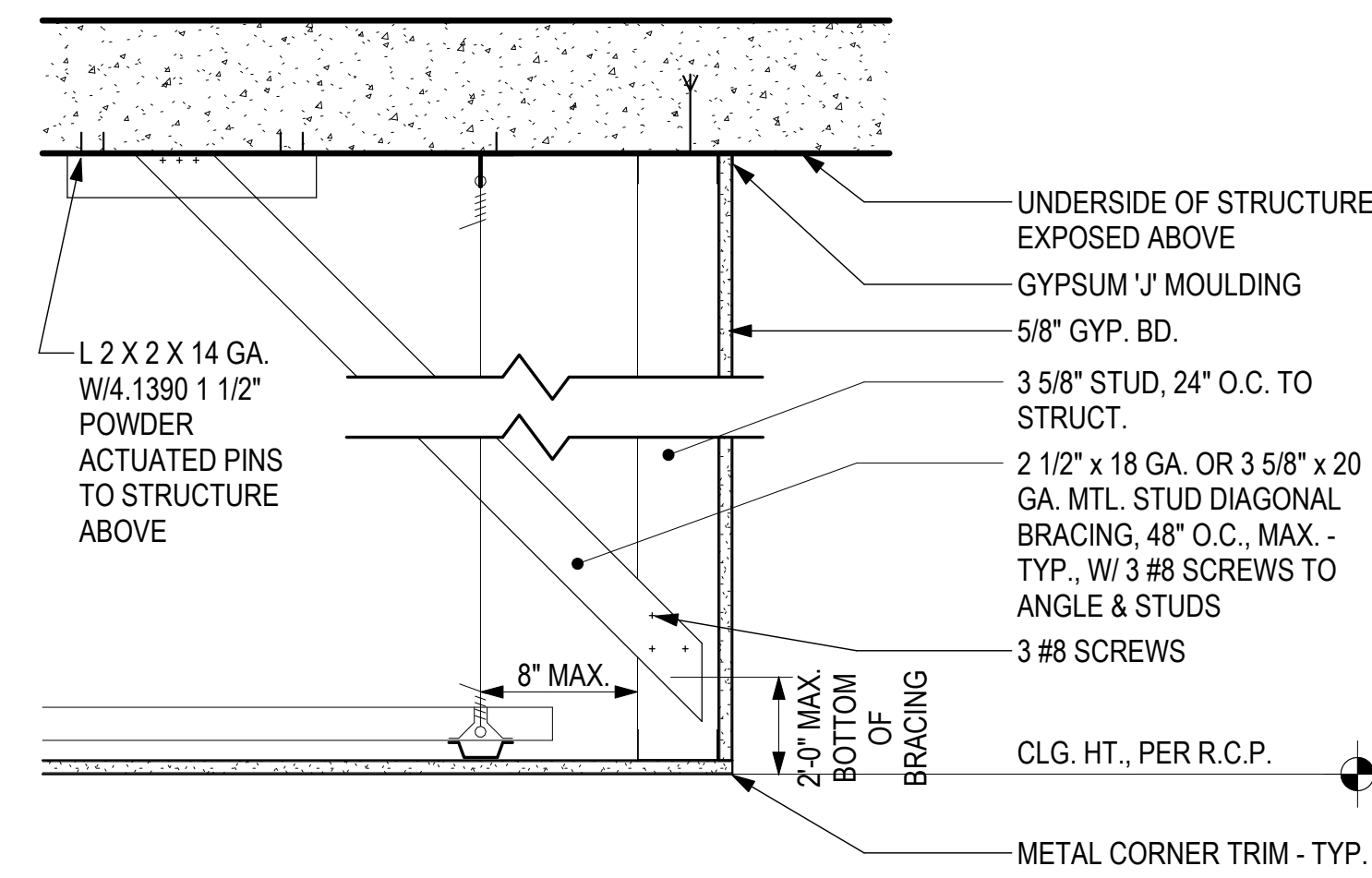
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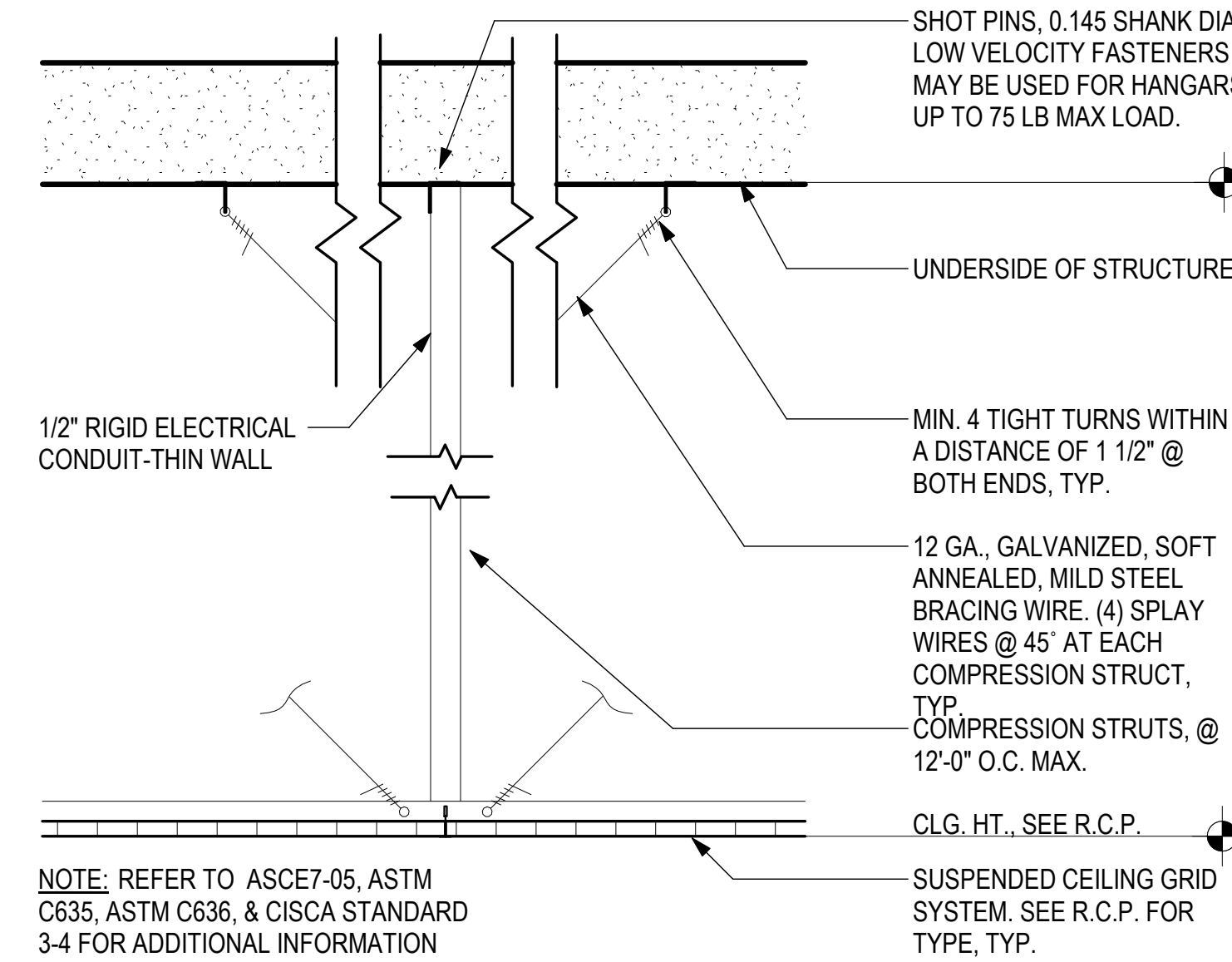
SCHEDULES

DATE 12/29/2016
 SCALE 1/4" = 1'-0"
 DRAWN SMH
 SHEET

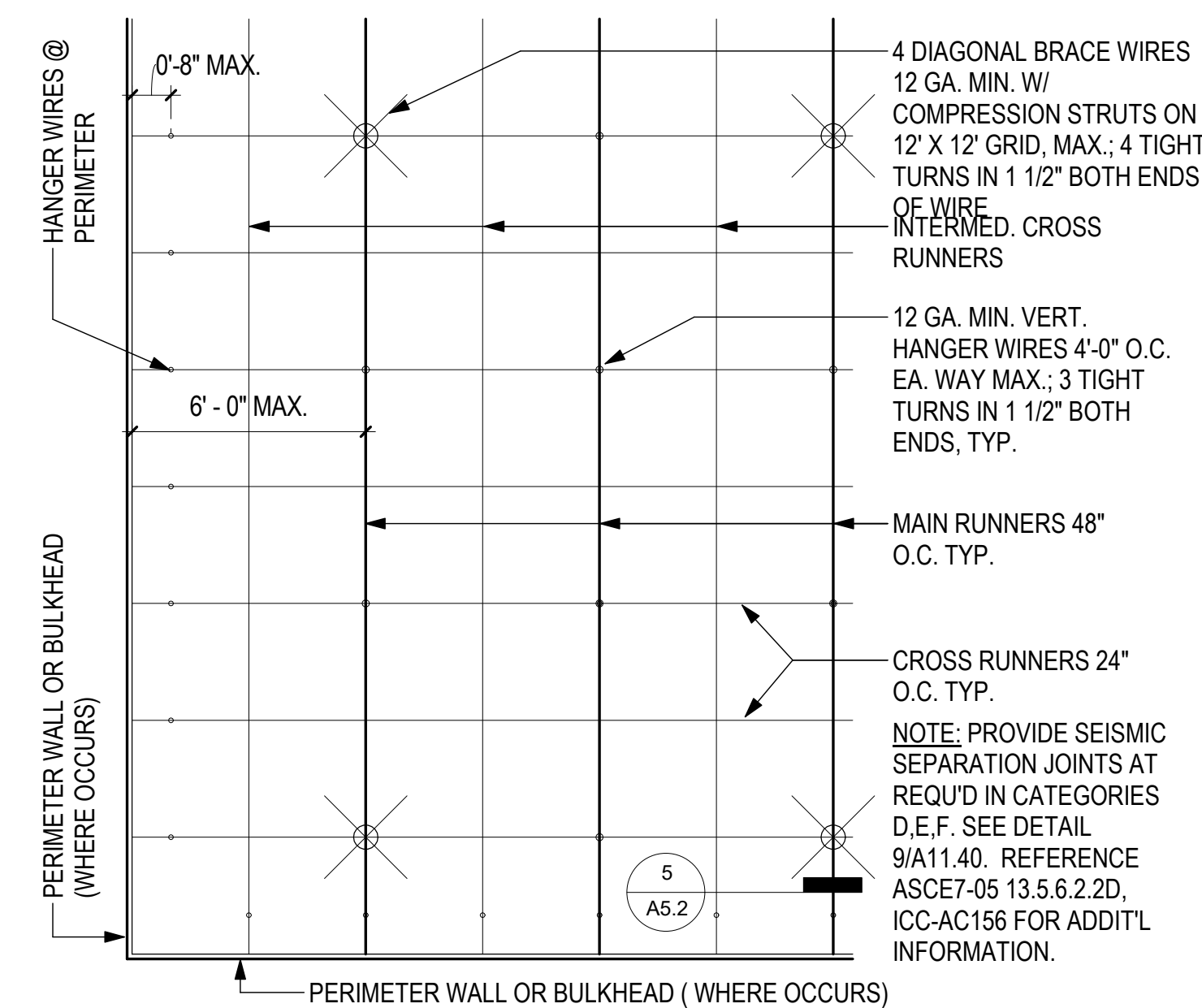
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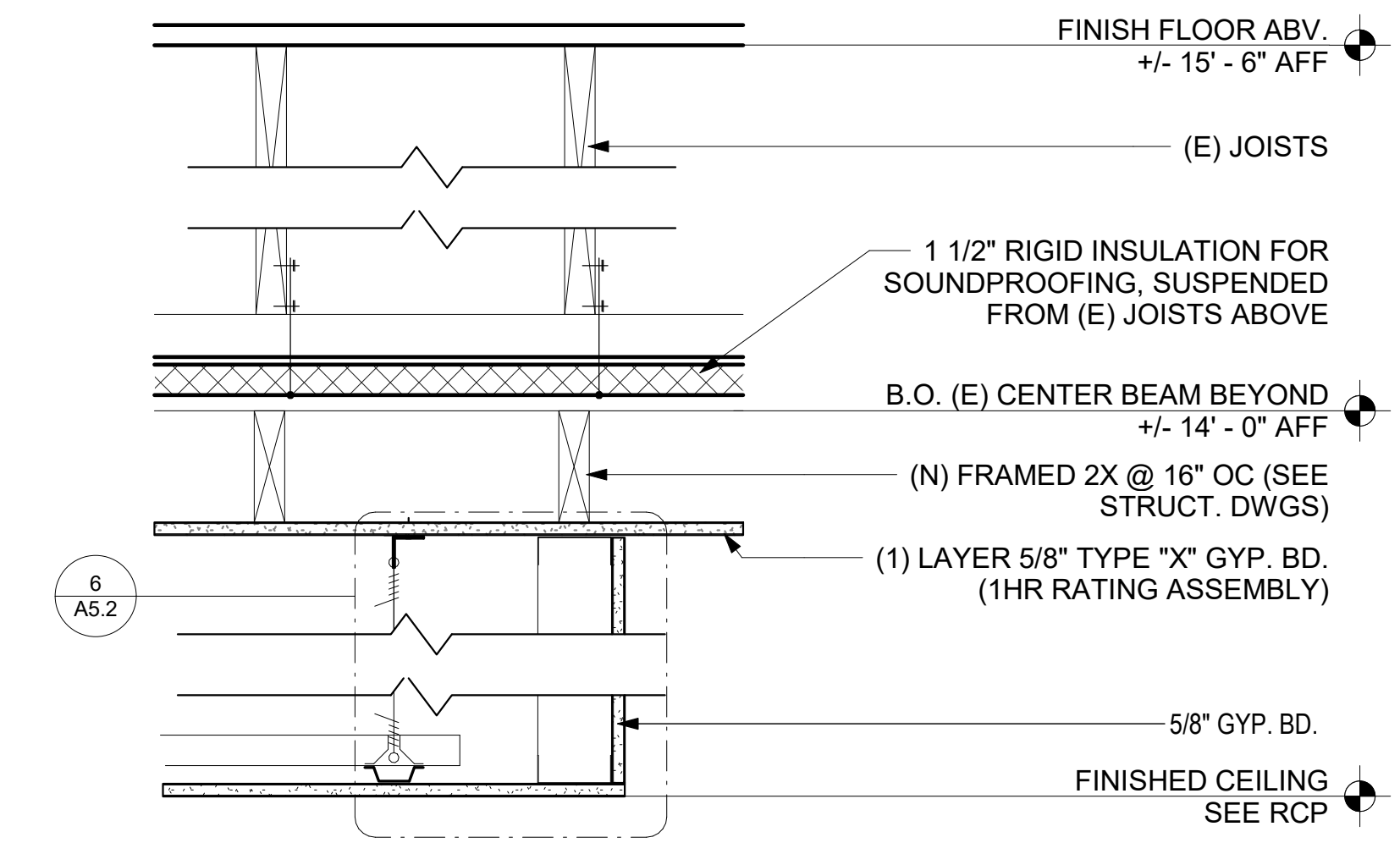
6 TYP. GYP. BD. CEILING / BULKHEAD
1 1/2" = 1'-0"



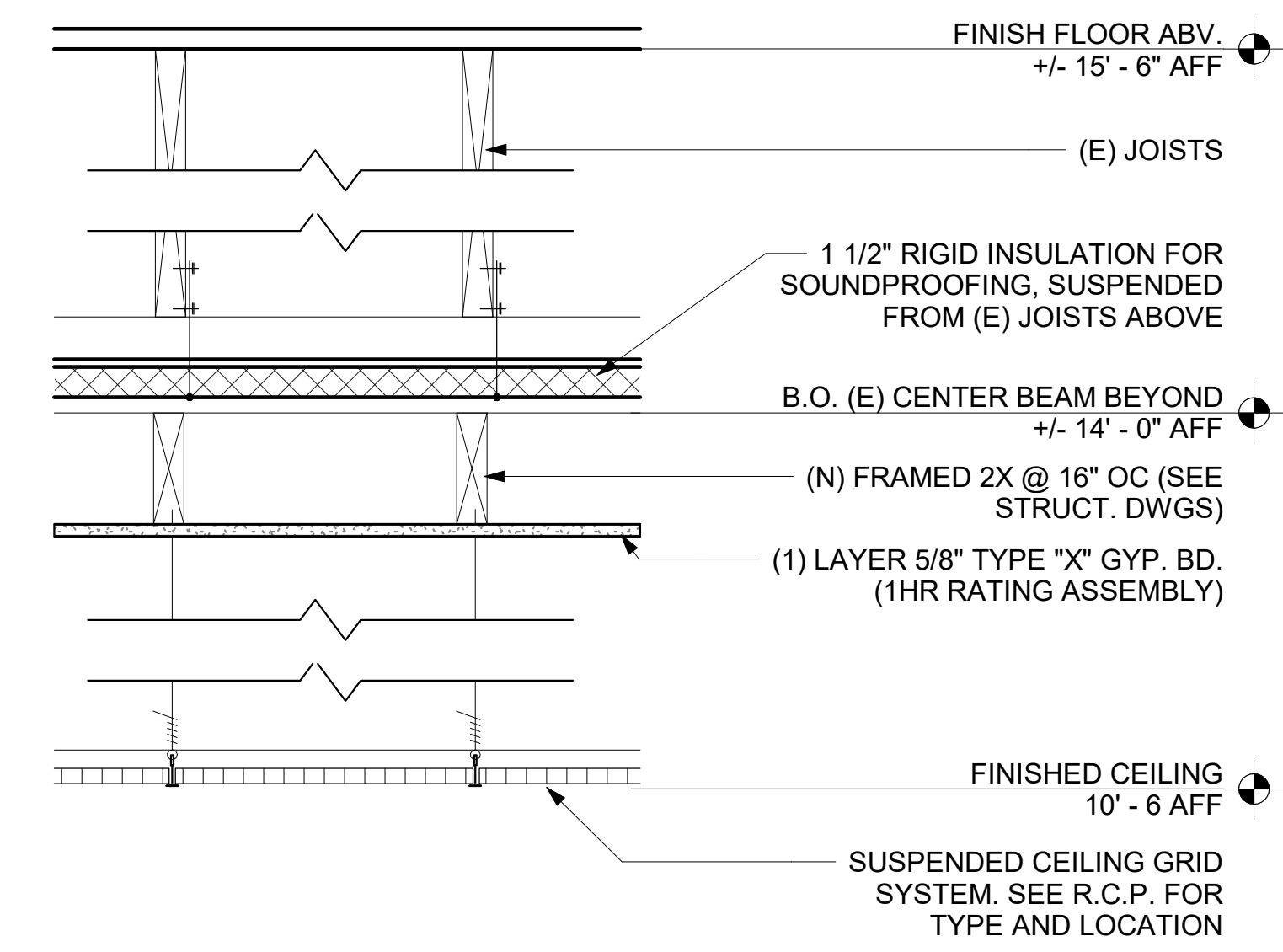
5 TYP. ACOUS. TILE SUSP. CLG. COMPRESSION STRUT
1 1/2" = 1'-0"



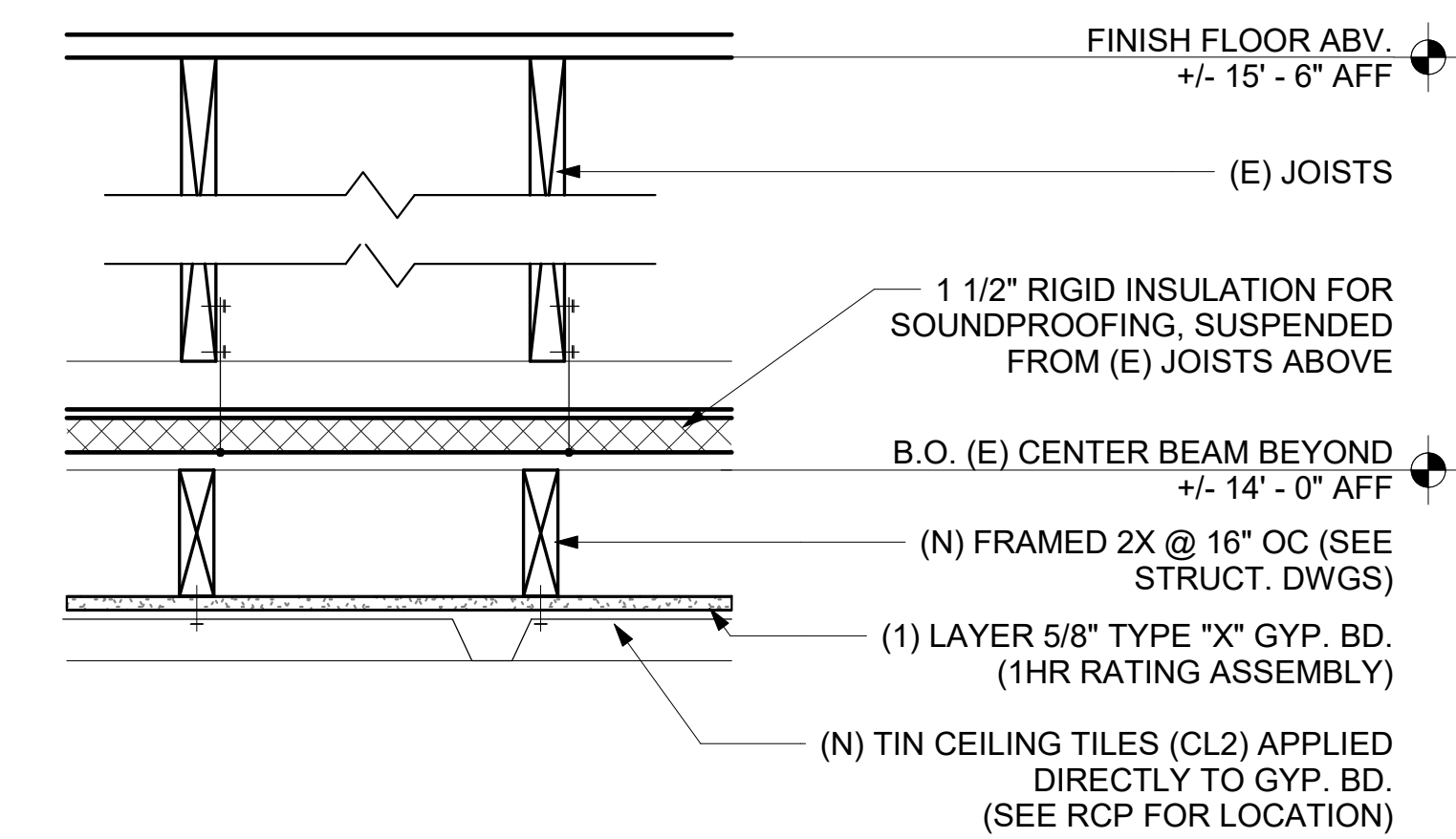
4 TYP. ACOUSTICAL TILE CEILING FRAMING
3/8" = 1'-0"



3 1HR RATED CEILING ASSEMBLY W/ GYP. BULKHEAD
1 1/2" = 1'-0"



2 1HR RATED CEILING ASSEMBLY W/ SUSPENDED CEILING
1 1/2" = 1'-0"



1 1HR RATED CEILING ASSEMBLY
1 1/2" = 1'-0"