



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis

HEARING DATE: SEPTEMBER 22, 2016

Date: September 12, 2016
Case No.: **2015-014114DRP**
Project Address: **245 Euclid Avenue**
Permit Application: 2015.10.02.8734
Zoning: RH-1 (Residential, House, One-Family)
40-X Height and Bulk District
Block/Lots: 1069/035
Applicant: Tai Ikegami
Feldman Architecture
1005 Sansome Street, Suite 240
San Francisco, CA 94111
Staff Contact: Chris May – (415) 575-9087
christopher.may@sfgov.org
Recommendation: **Do not take DR and approve as proposed**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The existing single family dwelling is 22 feet in height and is situated on an up-sloping corner lot with two stories at the front of the property and one story at the rear. The proposal includes the construction of a third floor vertical addition above the two-story house and horizontal infill additions at the ground floor front entryway and the area beneath the cantilevered portion of the second floor on the west side of the house. The total proposed building height is 34 feet. The project also proposes to expand the existing terraced patio within the rear yard by demolishing the existing retaining wall, which is located approximately 5 feet from the side lot line abutting Euclid Avenue, and constructing a new retaining wall directly along the side lot line.

Section 134 of the Planning Code requires that the project provide a rear yard equal to 25 percent of the total lot depth. Given the site constraints on the subject property, the Project Sponsor is requesting a rear yard variance to facilitate the expansion of the existing rear terraced patio, as the grade change required to facilitate the relocation of the retaining wall would exceed three feet in height. The associated variance case, 2015-014114VAR, was heard by the Zoning Administrator on April 27, 2016, and will be decided upon pending the outcome of the Discretionary Review hearing. The Zoning Administrator has indicated his inclination to grant the variance.

SITE DESCRIPTION AND PRESENT USE

The project site is an irregularly-shaped lot located on the southeast corner of Euclid Avenue and Collins Street in the Presidio Heights neighborhood, and is developed with a two-story single family dwelling constructed in 1952. The Collins Street frontage is considered to be the front lot line, with the east portion of the lot abutting Euclid Avenue designated as the rear yard. The subject lot is approximately 4,033 square feet and, due to the curve of Collins Street, is somewhat shallower in depth compared with other

lots on the block. The subject site exhibits an elevation change of more than 20 feet from the Collins Street sidewalk to the rear southeast corner of the lot and the existing rear one-story portion of the existing house projects into the required rear yard at an angle by an average of approximately 10 feet.

The rear yard of the subject property is approximately 15-20 feet higher than the lowest portion of the property, at the intersection of Euclid Avenue and Collins Street. As such, a concrete retaining wall set back approximately 5 feet from the north side lot line abutting Euclid Avenue currently maintains the grade for the rear yard. This retaining wall aligns with a retaining wall at the rear of the adjacent property, which is a through lot fronting onto Lupine Avenue with its rear yard fronting onto Euclid Avenue. At sidewalk level, immediately adjacent to the retaining wall on the subject property, is a tall hedge, which almost completely obscures the rear one-story portion of the building from street view. There is a short, approximately 2-foot high wooden fence surrounding the hedge, which projects into the sidewalk right-of-way by approximately 4 feet, resulting in a clear sidewalk width of approximately 6 feet.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

This portion of the Presidio Heights neighborhood, also known as Laurel Heights, is characterized by two- and three-story single family homes, as well as multi-family apartment buildings largely constructed in the late 1940s and early 1950s. Given the up-sloping topography in this particular area, buildings along the east side of Collins Street south of Euclid Avenue generally have a two-story building mass at the front façade and a one- or two-story building mass at the rear. Buildings on the west side of Collins Street across the street from the subject property are generally two stories, but transition to predominantly three-story dwellings further south. Across Euclid Avenue, buildings are also typically two and three stories in height. Directly behind, and uphill from the subject property, are several three-story multi-family apartment buildings fronting onto Lupine Avenue. The elevation of Lupine Avenue and the apartment buildings fronting onto it is approximately 20 feet higher than the corner of Euclid Avenue and Collins Street.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	April 7, 2016 – May 7, 2016	May 7, 2016	September 22, 2016	138 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	September 12, 2016	September 12, 2016	10 days
Mailed Notice	10 days	September 12, 2016	September 12, 2016	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	--	2	--
Other neighbors on the block or directly across the street	--	1	--
Neighborhood groups	--	1 (Laurel Heights Improvement Association of San Francisco, Inc – DR Requestor)	--

No other neighborhood comments have been received regarding this project.

DR REQUESTOR

Kathryn Devincenzi, Vice-President of the Laurel Heights Improvement Association of San Francisco, Inc.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Application*, dated May 7, 2016.

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*, dated September 11, 2016.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Team considered the DR Application on June 16, 2016, and determined that the proposed project is not exceptional or extraordinary. Specifically, the proposed third floor addition is minimal in size and is set back from the front, rear and street side facades. Additionally, it was noted that the proposed removal of the existing hedge and 2-foot high fence which currently project into the public right-of-way will increase the clear sidewalk width adjacent to the subject property from 6 feet to 10 feet.

Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.

RECOMMENDATION:	Do not take DR and approve project as proposed
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Attachments:

Block Book Map

Sanborn Map

Zoning Map

Aerial Photographs

Context Photographs

Section 311 Notice

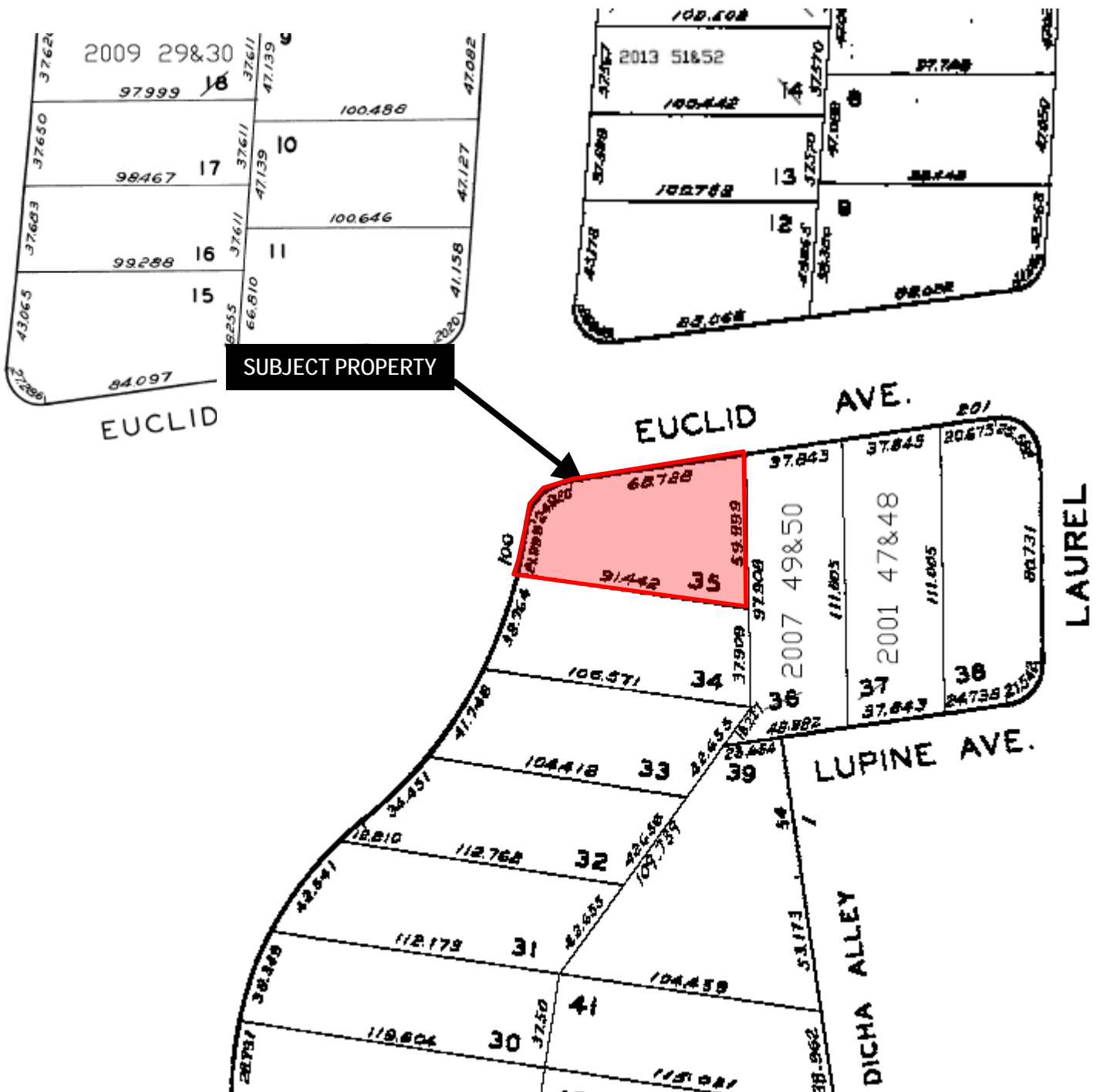
DR Application dated May 7, 2016

Response to DR Application dated September 11, 2016

Reduced Plans

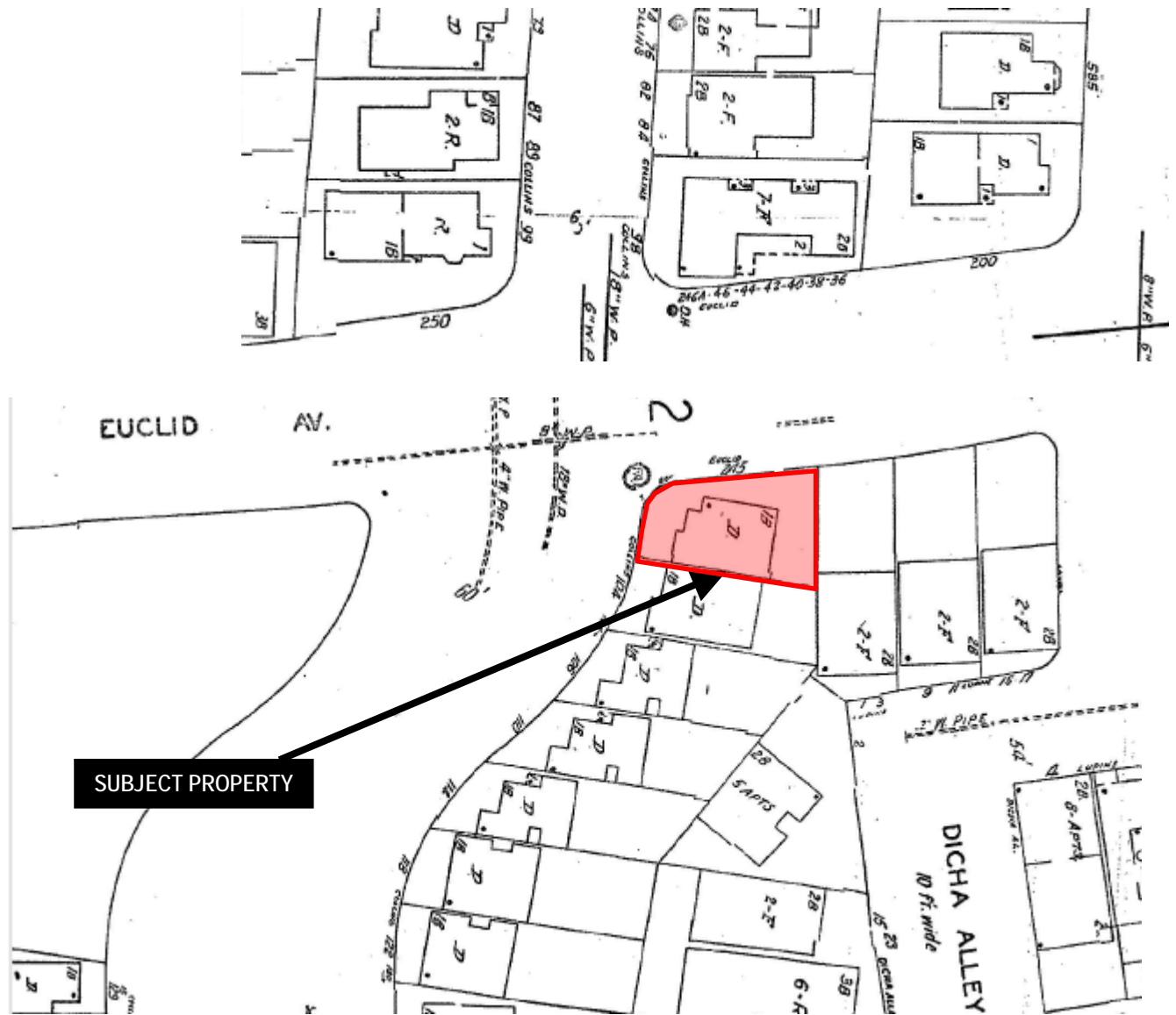
CM: G:\Projects\245 Euclid Ave\DR - Abbreviated Analysis.doc

Parcel Map



Discretionary Review Hearing
Case Number 2015-014114DRP
245 Euclid Avenue

Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing
Case Number 2015-014114DRP
245 Euclid Avenue

Aerial Photo (Facing East)



SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2015-014114DRP
245 Euclid Avenue

Aerial Photo (Facing South)

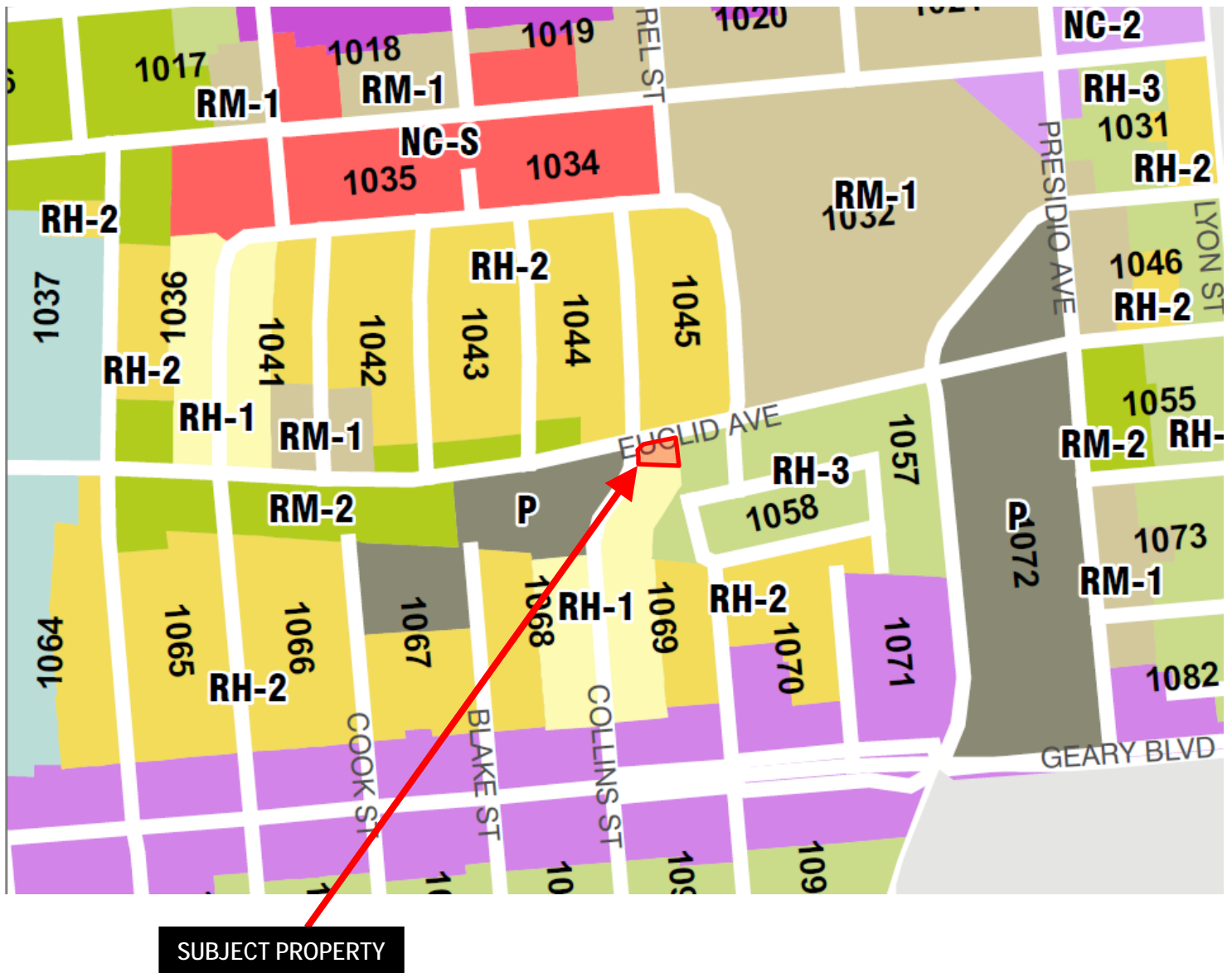


SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2015-014114DRP
245 Euclid Avenue

Zoning Map



Discretionary Review Hearing
Case Number 2015-014114DRP
245 Euclid Avenue

Site Photo



SUBJECT PROPERTY





SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **October 2, 2015**, the Applicant named below filed Building Permit Application No. **2015.10.02.8734** with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	245 Euclid Ave.	Applicant:	Tai Ikegami, Feldman Architects
Cross Streets:	Collins St. & Laurel St.	Address:	1005 Sansom St.
Block/Lot No.:	1069/035	City, State:	San Francisco, CA 94111
Zoning District:	RH-1 / 40-X	Telephone:	(415) 252-1441 Ext. 23

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input checked="" type="checkbox"/> Front Addition
<input checked="" type="checkbox"/> Rear Addition	<input checked="" type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Front Setback	7 feet	No Change
South Side Setback	0 feet	No Change
Building Depth	67 feet	No Change
Rear Yard	9 feet	No Change
Building Height	22 feet	34 feet
Number of Stories	2	3
Number of Dwelling Units	1	No Change
Number of Parking Spaces	1	No Change

PROJECT DESCRIPTION

The proposal involves a third floor vertical addition above the existing two-story dwelling. This addition occupies the center portion of the dwelling and is set back approximately 20 feet from the front of the dwelling and 18 feet from the rear of the dwelling. The project also includes the infill of the ground floor stairwell on the north side and the area beneath the cantilevered portion of the second floor at the front of the dwelling. The proposal also involves the expansion of the existing patio and retaining wall on the north side lot line into the rear yard. The patio expansion requires a Variance for a reduced rear yard depth. Approval of this Building Permit is contingent upon the Variance being granted at a public hearing before the Zoning Administrator, which has been scheduled for April 27, 2016. See attached plans.

The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.

For more information, please contact Planning Department staff:

Planner: Christopher May
Telephone: (415) 575-9087
E-mail: christopher.may@sfgov.org

中文詢問請電: (415) 575-9010

Notice Date: 4/07/2016
Expiration Date: 5/07/2016

Para información en Español llamar al: (415) 575-9010

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME:

Laurel Heights Improvement Association of San Francisco, Inc. and John Atkins (member of LHIA)

DR APPLICANT'S ADDRESS:

22 Iris Avenue and 1 Lupine Avenue, San Francisco, CA

ZIP CODE:

94118

TELEPHONE:

(415) 221-4700

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME:

Dagny Maidman

ADDRESS:

245 Euclid Avenue, San Francisco, CA

ZIP CODE:

94118

TELEPHONE:

(415) 994-2049

CONTACT FOR DR APPLICATION:Same as Above ☐

Kathryn Devincenzi, Vice-President of Laurel Heights Improvement Assn. of SF, Inc.

ADDRESS:

22 Iris Avenue, San Francisco, CA

ZIP CODE:

94118

TELEPHONE:

(415) 221-4700

E-MAIL ADDRESS:

KRDevincenzi@gmail.com

2. Location and Classification

STREET ADDRESS OF PROJECT:

245 Euclid Avenue, San Francisco, CA

ZIP CODE:

94118

CROSS STREETS:

Euclid Avenue and Collins Street

ASSESSORS BLOCK/LOT:

1069 / 035

LOT DIMENSIONS:

See site plan.

LOT AREA (SQ FT):

4,033 sq. ft.

ZONING DISTRICT:

RH-1

HEIGHT/BULK DISTRICT:

40-X

3. Project Description

Please check all that apply

Change of Use ☐ Change of Hours ☐ New Construction ☐ Alterations ☒ Demolition ☐ Other ☐**Additions to Building:**Rear ☒Front ☒Height ☒Side Yard ☐

Single-family dwelling

Present or Previous Use:

Single-family dwelling

Proposed Use:

Building Permit Application No. 2015-10-02-8734

Date Filed: 10-2-2015

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

No changes made to date.

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

See ATTACHMENT A - Reasons for Requesting Discretionary Review and Adverse Effects

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

See ATTACHMENT A - Reasons for Requesting Discretionary Review and Adverse Effects

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

See ATTACHMENT B - ALTERNATIVES

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.


Laurel Heights Improvement Assn. of SF, INC.

Signature: By: Kathryn Devincenzi, Vice-President Date: May 7, 2016

Print name, and indicate whether owner, or authorized agent:

Kathryn Devincenzi, Vice-President of LHIA
Owner ☒ Authorized Agent ☐ (circle one)

I concur in the foregoing application for discretionary review.


John Atkins, Member of
Laurel Heights Improvement Assn. of SF, Inc.



Laurel Heights Improvement Association of San Francisco, Inc.

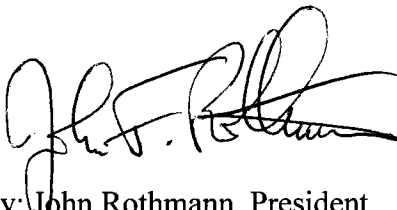
May 4, 2016

Re: 245 Euclid Avenue, San Francisco, CA 94118
Block 1069/ Lot 035
Application for Building Permit No: 2015-10-02-8734

To Whom It May Concern:

As authorized officers and members of the Executive Committee of the Laurel Heights Improvement Association of San Francisco, Inc., we hereby confirm that Kathryn Devincenzi, Vice-President of LHIA, and John Atkins, member of LHIA, are authorized agents of the Laurel Heights Improvement Association of San Francisco, Inc., for the purpose of filing an application for discretionary review of the application for a building permit (and associated application for a variance) for the 245 Euclid Avenue property, application for building permit number 2015-10-02-8734 and the application for discretionary review fee waiver.

LAUREL HEIGHTS IMPROVEMENT
ASSOCIATION OF SAN FRANCISCO, INC.



By: John Rothmann, President
250 Euclid Avenue
San Francisco, CA 94118



By: Kathryn Devincenzi, Vice-President
22 Iris Avenue
San Francisco, CA 94118



MJ Thomas, Treasurer
556 Spruce Street
San Francisco, CA 94118

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

REQUIRED MATERIALS (please check correct column)

- Application, with all blanks completed
- Address labels (original), if applicable
- Address labels (copy of the above), if applicable
- Photocopy of this completed application
- Photographs that illustrate your concerns
- Covenant or Deed Restrictions
- Check payable to Planning Dept.
- Letter of authorization for agent
- Other: Section Plan, Detail drawings (i.e. windows, door entries, trim),
Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new
elements (i.e. windows, doors)

DR APPLICATION

NOTES:

☐ Required Material.

☒ Optional Material.

☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

RECEIVED

MAY 09 2016

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
P I C

For Department Use Only

Application received by Planning Department:

By: M. Corneille

Date: _____



**SAN FRANCISCO
PLANNING
DEPARTMENT**

FOR MORE INFORMATION:
Call or visit the San Francisco Planning Department

Central Reception
1650 Mission Street, Suite 400
San Francisco CA 94103-2479

TEL: **415.558.6378**
FAX: **415 558-6409**
WEB: **<http://www.sfplanning.org>**

Planning Information Center (PIC)
1660 Mission Street, First Floor
San Francisco CA 94103-2479

TEL: **415.558.6377**
*Planning staff are available by phone and at the PIC counter.
No appointment is necessary.*

ATTACHMENT A - Reasons for Requesting Discretionary Review and Adverse Effects

As to this very prominent corner property at Euclid and Collins Streets, the Planning Commission should grant discretionary review and order the following modifications to this aggressive proposal:

1. Eliminate the proposed new 12-foot, 4-inch tall retaining wall/wooden fence or reduce its height to 8-feet, 6-inches tall (second story floor) or 8-feet, 3-inches tall (top of wall/fence of adjacent property).
2. Alternatively, require any fence over elevation 8-feet, 6-inches (second story floor) to be of an *open design* to avoid obscuring the second story facade of this prominent corner building. Such open design should be required on: (i) the two new wooden board fences shown on Sheet A3.2, if allowed, and (ii) the new property line retaining wall/fence, if allowed, contrary to this objection. (Ex. A, Sheets A3.2)
3. Eliminate the proposed new wooden siding to avoid the appearance of a wall wrapping around the entire building and maintain the stucco facade pattern of the Collins Street block face.
4. Deny the additional expansion of the patio 5-feet within the required rear yard and maintain the property's retaining wall/fence in its present position in line with the retaining wall/fences of adjacent properties on Euclid Avenue. Alternatively, reduce the expansion and set back any new wall/fence at least 2-feet, 4-inches from the property line.
5. Deny filling in the notched corner on Collins Street for a fourth bathroom in the garage.
6. Eliminate or reduce in size the proposed third story which would clash with the strong common roofline pattern of Collins Street and shadow adjacent properties.

The proposed new 12-foot, 4-inch tall retaining wall/fence would be an eyesore on this prominent corner, and would not be concealed by a vine or the proposed grasses and trees that the applicant will seek permission to place in four-feet of the public sidewalk. (Ex. A, plan excerpts, Sheets A0.0 and A3.1) Such use of the public sidewalk would impede pedestrian traffic around the property and would need a DPW permit which has not been granted. Also, the wooden siding proposed to be added to the Collins Street facade would create the overall appearance of a wall wrapping around the entire property and would clash with the stucco frontages of the Collins Street block face. (*Ibid.*)

In addition, the proposal would fill in a corner facade notch which now conforms with the Residential Design Guidelines in order to install an unnecessary fourth bathroom in the garage. (Ex. B, Residential Design Guidelines, p. 19)

Also, the proposal would add an unnecessarily large vertical addition that would shadow and adversely impact the privacy of adjacent properties. The 4,033 square foot parcel is very large and has 2,386 buildable square feet. (Ex.—App. for Variance, page numbered 7) The property already has a large playroom, bedroom and patio that encroach into the required rear yard, and further expansion into virtually all of the rear yard would cause adverse effects on adjacent properties and neighborhood character. (Ex. A, plan excerpts, Sheet D2.2) It is not necessary to build on virtually every inch of this large lot and its required rear yard. The 245 Collins Street parcel is larger than adjacent parcels on Collins Street and has larger buildable area than adjacent parcels. (Ex. G, property report excerpts)

The applicant has sought a Variance from the rear yard requirement to expand the existing nonconforming “terraced patio” into the virtually all of the required rear yard “as the grade change needed to facilitate the patio expansion will exceed three-feet in height” (Ex.—, App. for Variance, p. 8)

A Variance is also sought for the 12-foot, 4-inch height of a new perimeter fence atop a new retaining wall to be placed along the edges of the property, which would protrude 5-feet out from the original retaining walls of all the other properties that border this block of Euclid Avenue. (Ex. C, App. for Variance p. 8-9; Ex. D, photographs) This huge new retaining wall/fence would extend to a height of 12-feet, 4-inches and visually block the facade of this corner building from public view, contrary to the requirement of the Residential Design Guidelines that both facades of corner properties be “finished as ‘front’ facades” with open fenestration, rather than as a giant wall. (Ex. B, Residential Design Guidelines, p. 19)

The new wall would also be approximately 4-feet taller than the retaining wall topped with wooden fence of the adjacent 1 Lupine property and would be out of scale with the pattern of retaining wall/fences on this block of Euclid Avenue. (Ex. E, measurements; Ex. D, photos) At its highest point, the existing wooden fence atop retaining wall now exceeds the 10-foot maximum height permitted for an obstruction in the rear yard. This wooden fence-top is constructed of horizontal boards that do not match the pattern of the adjacent vertical wooden boards atop the retaining walls of adjacent properties on Euclid Avenue, so is not original construction. (Ex. D, photos) It is concealed behind a hedge.

Also, an extension of the patio juts out above original grade and is supported by a 75-inch tall wooden column. (Ex. E, measurements; Ex. D, photos) There is no permit for this extension or the stairs leading to the patio.

Even is the Variance is granted, the Planning Commission should grant discretionary review and grant the foregoing modifications to the building permit to avoid significant adverse

effects and bring this aggressive project into conformity with the Residential Design Guidelines and the provisions of the Planning Code.

Exceptional and extraordinary circumstances warranting discretionary review exist due to the complex topography and unusual context of this prominent corner property, which is adjacent to rear yards that slope down to Euclid Avenue. (Ex. D, photos) As explained by planner Christopher May to Ms. Devincenzi, the property's frontage on Euclid Avenue constitutes in part the rear yard and in part a side yard. (Ex. A, Sheet A1.1) The project involves grade issues, strong neighborhood patterns on both sides of this prominent corner property, and new walls and fences which would have such adverse visual impacts that permission would be sought from DPW to install mid-to-tall grasses and trees in the public sidewalk surrounding the site to mitigate the ugly visual impacts. (Ex. C. App. For Variance, p. 9) For the reasons described herein, the staff's application of design standards to the project does not enhance or conserve neighborhood character or balance the right to develop the property with impacts on near-by properties or occupants.

- 1. The New 12'-4" Tall Retaining Wall Topped with Fence Should Be Eliminated or Its Height Should Be Reduced to the Elevation of the Floor of the Second Story of the Building (8-feet, 6-inches) or to the Height of the Retaining Wall/Fence of the Adjacent Property (8-feet, 3-inches), and the Portions of All Fences Taller than 8-feet, 6-inches Should Be Required To Be of an Open Design to Allow the Facade of the Second Level of this Corner Building to be Visible From Euclid Avenue.**

A. New Retaining Wall/Fence Would Be 4 to 5 Feet Taller Than Adjacent Retaining Wall/Fences Along Euclid Avenue.

The proposed 12-foot, 4-inch tall new concrete retaining wall (7'-5" tall or 89 inches tall) topped with wooden fence (4'-11" tall or 59 inches tall) at the Euclid Avenue property line would result in an ugly, solid wall that would obscure the Euclid Avenue facade of this corner building and overwhelm the Euclid Avenue block frontage. (Ex. A, plan excerpts, Sheets A0.0, A3.1)

The height of the proposed 12-foot, 4-inch tall new retaining wall topped with wooden fence would be 4-feet taller (49 inches taller) than the total 8'-3" height (99 inches) of the retaining wall topped with wooden fence of the adjacent property at 1 Lupine Avenue at its highest point. (Ex. E, measurements) From its highest point, the 1 Lupine retaining wall tapers down to 6 feet, 7 inches at its border with 9 Lupine Avenue (34 inch concrete retaining wall topped with 45 inch wooden fence). (Ex. E, measurements) The new 245 Euclid Avenue wall/fence would be 3-feet taller than the 9-foot tall highest point (108 inches) of the concrete retaining wall topped with wooden fence of the 9 Lupine Avenue property (adjacent to 1 Lupine) that fronts on Euclid Avenue and over 5 feet taller than the 7-foot, 3-inch lowest point (87 inches) of that 9 Lupine Avenue retaining wall topped with wooden fence. (Ex. E, measurements) The applications for a Variance and for a building permit do not accurately

describe the adjacent retaining wall/fences that exist along the block face on Euclid Avenue.

As to the 245 Euclid Avenue property itself, the total height of the new retaining wall topped with fence (12'-4") would be about a foot taller than the highest point of the existing retaining wall topped with unpermitted wooden fence, which ranges from 9-feet, 11-inches (119 inches) to 11 feet, 5-inches (137 inches) in height as it slopes down the hill. (Ex. E, measurements) That existing horizontal wooden-board fence atop the retaining wall exceeds the permitted height limit of 10-feet and was installed without a permit and concealed behind a tall shrub. (Ex. C, App. For Variance, p. 8; Ex. D photos)

The project has sought a Variance to permit a retaining wall topped with wooden fence of 12-feet, 4-inches tall, because the maximum height of such a wall/fence is greater than permitted. The variance has not been granted, and the matter is under submission. (Ex. C, App. for Variance, p. 8)

If a Variance for a new retaining wall/fence and patio extension into the rear yard is granted, the Commission should grant discretionary review and eliminate the new wall/fence or reduce the height of the new wall/fence to 8'-6" (second story floor) or 8'-3" (adjacent wall/fence height at border with 1 Lupine). (Ex. A, plans, Sheet A3.1)

B. The New Wall/Fence Combined With the Two New Wooden Fences Would Create a Solid Mass That Would Obscure the Building Facade.

The proposal would also add two new wooden board fences that would wrap around the back of the new retaining wall/fence and extend to the front of the building. (Ex. A, Sheet A3.2) The combination of the new retaining wall/fence at property line, the two new wooden fences, and the new wooden siding to be added to the Collins Street frontage, would create the appearance of an unsightly band of solid wall that wraps around the building. (Ex. A, Sheet A3.2) A new gate to the patio would be installed in one of the new fences. (*Ibid.*)

The proposed new giant retaining wall/fence and interlocking two new wooden fences would obscure the facade of this corner building and extend above the second story of the structure. The Residential Design Guidelines require that both facades of corner buildings be finished as "front" facades, visible and "fenestrated," as they state:

"Provide greater visual emphasis to corner buildings...Corner buildings play a greater role in defining the character of the neighborhood than other buildings along the block face....Corner buildings must recognize their prominent location by embracing the public realm with a greater visual emphasis...In designing corner buildings, consider the following measures; other measures may be appropriate depending on the circumstances of a particular project:

- Design both street facades to be fenestrated, articulated and finished as ‘front’ facades.
- Add emphasis with more architectural detailing than found on other buildings on the block face....
- Design a more complex building form with projecting facade elements and special building features such as towers, cupolas, wrap-around bay windows, balconies, or other architectural embellishments.
- Create a prominent building entrance by notching the corner.

In addition, some corner buildings in residential districts may have rear yards with street frontage, leaving the upper stories of the rear facade visible from the street. In these situations, the buildings’s rear facade must also be finished with appropriate building materials, and have more usual interest than normally seen on a rear facade.” (Ex. B, p. 19-20)

“Fenestrate” is defined as “1 Having windows or windowlike openings. 2 Having transparent spots. Also Fenestrated.” (Britannica World Language Dictionary Edition of Funk & Wagnalls New Practical Standard Dictionary, p. 487-Ex. F) The proposed solid wall/fences would not have any windowlike openings or transparent spots.

The Commission should grant discretionary review and interpret these concepts to preclude walling off the Euclid Avenue facade of this corner building with a giant, solid wall combined with fences. The portions of all fences higher than elevation 8-feet, 6-inches (second story floor) should be required to be of an *open design* to avoid obscuring the second story facade of this prominent corner building. Such open design should be required on: (i) the two new wooden board fences shown on Sheet A3.2, if allowed, and (ii) the new property line retaining wall/fence, if allowed, contrary to this objection. (Ex. A, Sheet A3.2)

Staff appears to be using an overly narrow interpretation that would apply the dual-facade and fenestration requirements to the original construction of this corner building but not to expansions and alterations that would block the facades. Such interpretation would not comport with the clear intent of the Guidelines that both facades of corner buildings be visible, finished with architectural detailing and have transparent spots.

2. The New Wooden Siding Should be Eliminated Because It Would Create the Appearance of a Wall Wrapping Around Both Sides of the Property and Would Clash With Adjacent Stucco Facades.

The subject building and the adjacent two buildings on Collins Street have stucco facades and exhibit a strong modern architectural pattern. (Ex. D, photos) However, the proposal would change a portion of the Collins Street facade of 245 Collins from stucco to horizontal wooden siding. (Ex. A, Sheet A3.2)

The new wooden siding should be eliminated from the plans because the Residential Design Guidelines require that “The type, finish, and quality of a building’s materials must be compatible with those used in the surrounding area....Ensure that the type and finish of these materials complement those used in the surrounding area, and that the quality is compatible to that of surrounding buildings. In neighborhoods with uniform materials, it is best to utilize the same materials. For example, a shingled house would not fit in with a row of stucco houses.” (Ex. B, p. 47)

3. The Illegal Nonconforming Patio and Its Associated Retaining Wall/Fence Should Not Be Extended to the Property Line, But Should Remain in Its Present Location Set Back Approximately 5 Feet from the Property Line, in Line with Adjacent Retaining Walls.

The existing nonconforming brick patio (approximately 297 square feet) already unlawfully encroaches into the required rear yard at an elevation greater than three-feet above grade, and the wooden fence atop its retaining wall extends to elevation 11-foot, 5 inches, which exceeds the 10-foot height limit. (Ex. A, Sheet A2.2, plans showing encroachment; Ex. B. App for Variance, p. 8-9; Planning Code §136(c)(25)(B))

Under Planning Code §136(c)(24(A) the “floor of a deck shall not exceed a height of three feet above grade at any point in the required open area.” Sheet D3.1 shows the elevation of the existing patio as 7-feet, 6-inches. (Ex. A) This is the same elevation as the proposed patio extension, which would require a Variance. (Ex. A, Sheet A3.1; Ex. C, App. for Variance, p. 8) The planner Christopher May told Ms. Devincenzi on May 4, 2016 that there is no permit for construction of the existing “terraced patio.” A portion of the patio juts above grade and is supported by a column, which is clearly not original construction. There is also no building permit for construction of the horizontal wooden board fence that is atop the retaining wall, which extends to elevation 11-foot, 5 inches. The Commission should deny further expansion of this illegal nonconforming patio or deck structure and nonconforming use and its associated illegal nonconforming retaining wall/fence.

At the May 15, 2015 Pre-Application Meeting, the project architect told Ms. Devincenzi that the patio is 5-7 feet above existing grade and is considered a structure because it is more than 3 feet above existing grade, and that the grade change greater than 3 feet is not a permitted encroachment into the required rear yard. The reference to the existing patio as a “terraced patio” which is “largely within the required rear yard” in the Application for Variance corroborates this statement.

At the September 29, 2015 Pre-Application meeting, the project architect again stated to Ms. Devincenzi that the existing patio is a nonconforming condition which cannot be expanded. Notably, the project sponsor has not sought a variance to legalize the existing illegal nonconforming patio/wall structure. Instead, the Application seeks a Variance only for the “horizontal expansion of existing terraced patio within the required rear yard as the grade change

needed to facilitate the patio expansion will exceed three-feet in height.” (Ex. C, App. for Variance, p. 8) Even if a Variance is granted for an expansion of the patio, the existing “terraced patio” would remain illegal since it was constructed without permits and should not be expanded.

Moreover, the plans show that there is no grade change between the existing patio and the proposed expanded patio. Sheets D3.1 and A3.1 show that both the existing patio and the proposed expanded patio would be at the same grade. (Ex. A) Thus, even if a Variance is granted for the expanded portion of the patio, the existing portion of the “terraced patio” would still be an illegal nonconforming structure and use. A Variance was not sought for the grade change needed to legalize the existing illegal nonconforming “terraced patio” or its extension that is supported by a column. Expansion of such a nonconforming structure or use would violate Planning Code §§ 180, 181, and 188.

Thus, even if a Variance is granted for a non-existent grade change, the Commission should grant discretionary review and eliminate the 5-foot patio expansion because further expansion into the required rear yard is not warranted and the existing illegal patio should not be expanded. If the patio expansion is denied, a new retaining wall/fence at property line would not be needed.

Based on the strong pattern of neighboring retaining walls on the Euclid Avenue block face, the Commission should exercise its discretion and order the location of the 245 Euclid retaining wall maintained in its present location, set back approximately 5 feet from the property line, where it lines up with the retaining walls of adjacent properties. (Ex. D, photos). The 245 Euclid property has already built on substantial portions of the required rear yard. (Ex. A, Sheet A2.2, plans showing encroachment in rear yard) The adverse visual impacts to the Euclid Avenue street frontage override the minimal benefit that could be derived from the proposed five-foot expansion of the patio area to the property line.

The Application for Variance admits at page 2 that the existing terraced patio *creates “a usable yard area roughly at the finish floor elevation of the second floor of the building”* and “is largely within the required rear yard.” (Ex. C, emphasis added; See also Ex. D, photos) Thus, the existing patio already creates “a usable rear yard,” as admitted by the Application for Variance. The further expansion of this patio is not necessary and is not warranted because there is already a large playroom and bedroom constructed in the required rear yard.

The Commission should not allow further expansion of this illegal nonconforming patio.

The application for variance explains that:

“Variance is sought for horizontal expansion of existing terraced patio within the required rear yard as the grade change needed to facilitate the patio expansion will exceed three-feet in height. An up-sloping lot with excess of twenty-feet in elevation change from the low (street) to the high (southeast corner), a portion of the yard has been terraced to

reconcile the preexisting grade and to create a usable yard area roughly at the finish floor elevation of the second floor of the building. The terraced patio is largely within the required rear yard, while a portion of it fit within the buildable portion of the lot. Existing concrete retaining wall paralleling the side lot line (along Euclid Ave) is offset five-feet from the said lot line, and is capped with 4'-10" tall wood fence/railing. Currently, overgrown hedge occupies the area between the existing retaining wall and the side lot line, as the area is effectively treated as an extension of the planting strip along the sidewalk. In accordance to §136(c)(17) through (19), Variance is also sought for the height of the new perimeter wood fence/railing atop the portion of the patio expansion requiring Variance as the top of the new fence/railing will exceed the maximum height permissible when measured from the preexisting grade condition. The new wood fence/railing will not be any taller than the existing condition, but will be placed along the edges of the property.” (Ex. C, Application for Variance, excerpts)

This statement is misleading, because the total height of the new retaining wall/fence would be substantially taller than the existing condition. The 89 inch-tall concrete portion of the proposed new retaining wall at property line would be substantially taller than the existing concrete retaining wall, which ranges from 60 to 77 inches tall. (Ex. A, Sheet A3.1; Ex. E, measurements) The horizontal wooden board fence on top of the existing retaining wall ranges from 59 to 61 inches tall, and the wooden fence atop the new retaining wall would be 59 inches. Thus, the combined height of the new wall/fence would be 2 to 4-feet taller than existing conditions.

Under Planning Code §136(c)(13), retaining walls that are necessary to maintain approximately the grade existing at the time of construction of a building are permitted obstructions in the required rear yard, but **“Other retaining walls and the grade maintained by them shall be subject to the same regulations as decks (see Paragraphs (c) (24) and (c)(25) below.”** (Emphasis added) The existing illegal nonconforming patio (with its extension supported by a column) and the 11-foot, 5 inch tall nonconforming wooden fence atop the retaining wall is maintaining the grade of the “terraced patio” that was not part of the original construction and is 7-feet, 6-inches above grade. (Ex. A, Sheet A3.1) Sheets D3.1 and 3.2 show the grade existing at the time of construction of the building as 8-feet, 6 inches at the main level. (Ex. A) Since the new retaining wall would support a “terraced patio” that was not existing at the time of construction of the building, it would not be maintaining the grade existing at the time of construction of the building.

Thus, the Commission should treat the new retaining wall as an “Other retaining wall” subject to the same regulations as decks. Under Planning Code §§136 (c)(24)(A) and (B), the floor of a deck shall not exceed a height of three feet above grade at any point in the required open area if there is a slope of 15 percent or less, or a slope of more than 15 percent and no more than 70 percent. The Commission should deny the patio/wall expansion to make the property conform with these standards.

Under Planning Code §§136(c)(25)(A), decks “shall not extend more than 12 feet into the required open area; and shall not occupy any space within the rear 25 percent of the total depth of the lot, or within the rear 15 feet of the depth of the lot, whichever is greater. Sheet A1.1 shows that the expanded deck would extend more than 12 feet into the required open area. (Ex. A, Sheet A1.1) Planner Christopher May told Ms. Devincenzi on May 4, 2016 that anything within the rear 20-feet, 9½ inch portion of the property to the lot line is the rear yard and anything else from the north edge of the building to the property line along Euclid is considered the side yard.

Under Planning Code §§136(c)(25)(B), “Within all parts of the required open area, the structure shall be limited in height to either: (i) 10 feet above grade, or (ii) A height not exceeding the floor level of the second floor of occupancy, excluding the ground story, at the rear of the building on the subject property, in which case the structure shall be no closer than five feet to any interior side lot line.”

Under Planning Code §§136(c)(25)(C), “Any fence or wind screen extending above the height specified in Subparagraph (c)(25)(B) shall be limited to six feet above such height; shall be no closer to any interior side lot line than one foot for each foot above such height; and shall have not less than 80 percent of its surfaces above such height composed of transparent or translucent materials.” (Emphasis added.)

Under these provisions, the new 12-foot, 4-inch tall retaining wall/topped with wooden fence would have to be set back 2-feet, 4 inches from the side lot line because a fence cannot be located on the lot line if it is taller than 10 feet or the floor level of the second floor of occupancy, which is 8'-6" (Ex. A, plans Sheet D3.1) The Commission should apply these limitations in fence height to the 12-foot, 4-inch tall retaining wall/fence associated with the requested patio/deck expansion and require any new 12-foot, 4-inch tall retaining wall/fence to be set back at least 2-feet, 4 inches from the side lot line. The Planning Code does not permit a new 12-foot, 4-inch tall retaining wall topped with wooden fence to be constructed on the property line.

4. The Notched Corner Should Not Be Filled In.

The Residential Design Guidelines provide “Create a prominent building entrance by notching the corner.” (Ex. B, p. 19) The subject property has a notched corner. (Ex. D, photos) However, the proposal would install in that notched corner a bathroom for the existing guest bedroom in the garage. (Ex. A, Sheet A2.1, point 28, outline of existing building) The Commission should prohibit filling in the notched corner with a bathroom so that the existing detailing of this prominent corner building is maintained. A fourth bathroom to be built in the notch is not needed. The project would have 3 other bathrooms. (Ex. A, Sheets A2.1, 2.2 and 2.3)

5. The New Third Story Would Clash With the Common Rooflines and Should Be Eliminated or Reduced in Size.

The Residential Design Guidelines prescribe "Design rooflines to be compatible with those found on surrounding buildings." (Ex. B, p. 30) The subject building and the two adjacent buildings on Collins Street constitute a "group of buildings that have common rooflines, providing clues to what type of roofline will help tie the composition of the streetscape together." (*Ibid.*; Ex. D, photos)

The proposal would add a third story that would clash with the common rooflines and shatter the composition of the streetscape. (Ex. A, Sheet A3.2) Therefore, the third story should be eliminated to maintain the group of buildings that have common rooflines on this prominent corner.

In the alternative, the third story should be reduced in size or moved to avoid casting shadows on the adjacent properties on Lupine/Euclid Avenue and/or to avoid obstructing the light and privacy of adjacent properties. The large "DRESSING/WORK AREA" and the "STORAGE WARDROBE" of the proposed third story penthouse are not needed, since the Ground Floor already contains a large "GUEST/OFFICE" room and a very large "MECH/STORAGE/WINE" room. (Ex. A, Sheets A2.3 and A2.1)

Conclusion

Wherefore, it is respectfully submitted that the foregoing circumstances applicable to this prominent corner property constitute exceptional and extraordinary circumstances warranting the grant of discretionary review to order the modifications described herein.

Laurel Heights Improvement Assn. of SF, Inc.

Kathryn Devincenzi, Vice-President

By: Kathryn Devincenzi, Vice-President

22 Iris Avenue, San Francisco, CA 94118

Telephone: (415) 221-4700

EXHIBITS:

A - Plan excerpts - Sheets A0.0, A3.1, D2.2, A1.1, A3.2, A2.2, D3.1, D3.2, A2.1, A2.3

[NOTE: Pre-Application Mtg. Plans attached are the same as current Plans]

B - Residential Design Guidelines, excerpts

C - Application for Variance, pp. 7, 8, 9 and notice and App. for Building Permit

D - Photographs

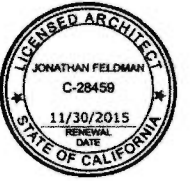
E - Measurements

F - Dictionary, excerpts

G - Property reports for 245 Euclid, 104 and 106 Collins, and 1 and 3 Lupine, excerpts

ATTACHMENT B - ALTERNATIVES

1. Eliminate the proposed new 12-foot, 4-inch retaining wall/wooden fence or reduce its height to 8-feet, 6-inches tall (second story floor) or 8-feet, 3-inches tall (top of wall/fence of adjacent property).
2. Alternatively, require any fence over elevation 8-feet, 6-inches (second story floor) to be of an **open design** to avoid obscuring the second story facade of this prominent corner building. Such open design should be required on: (i) the two new wooden board fences shown on Sheet A3.2, if allowed and (ii) the new property line retaining wall/fence, if allowed, contrary to this objection. (Ex. A, Sheets A3.2)
3. Eliminate the proposed new wooden siding to avoid the appearance of a wall wrapping around the entire building and maintain the stucco facade pattern of the Collins Street block face.
4. Deny the additional expansion of the patio 5-feet within the required rear yard and maintain the property's retaining wall/fence in its present position in line with the retaining wall/fences of adjacent properties on Euclid Avenue. Alternatively, reduce the expansion and set back any new wall/fence at least 2-feet, 4-inches from the property line.
5. Deny filling in the notched corner on Collins Street for a fourth bathroom in the garage.
6. Eliminate or reduce in size the proposed third story which would clash with the strong common roofline pattern of Collins Street and shadow adjacent properties.



PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
**245 EUCLID AVENUE
SAN FRANCISCO, CA
94118**

BLOCK/LOT
1069/035

CLIENT
DAGNY MAIDMAN

FA JOB NO
14-009

ISSUE
**PRE-APPLICATION
MTG.**

DATE
05.19.15

HISTORY
DESC. DATE

TITLE
**PROPOSED
PENTHOUSE FLOOR
PLAN**

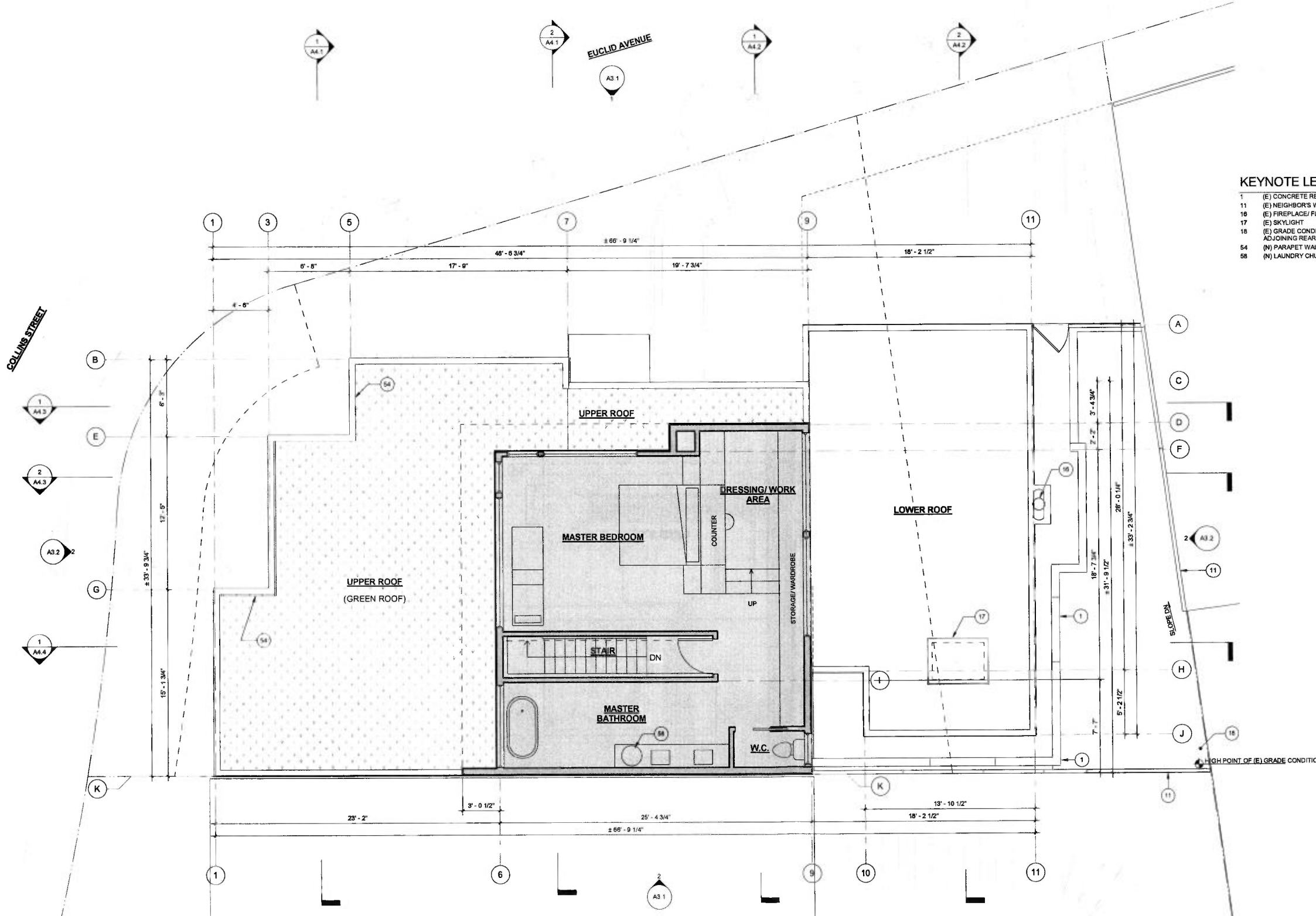
A2.3
SHEET

LEGEND

- PROPERTY BOUNDARY
- - - SETBACK
- == (N) WALL
- ==== 1-HOUR RATED WALL

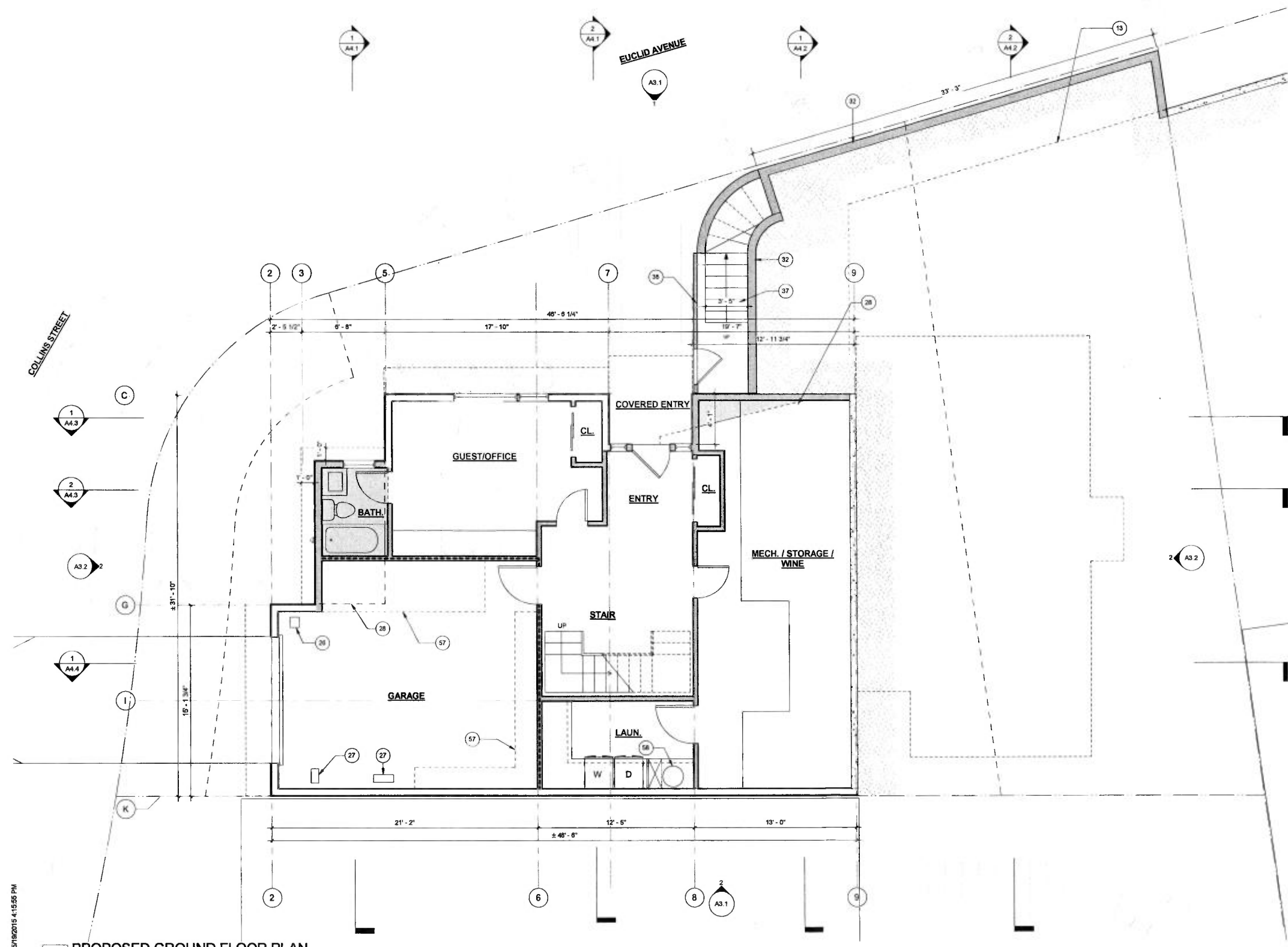
KEYNOTE LEGEND

- 1 (E) CONCRETE RETAINING WALL TO BE DEMOLISHED
- 11 (E) NEIGHBOR'S WD FENCE
- 16 (E) FIREPLACE/FLUE TO REMAIN
- 17 (E) SKYLIGHT
- 18 (E) GRADE CONDITION MATCHES TOPOGRAPHY OF ADJOINING REAR YARDS
- 54 (N) PARAPET WALL
- 58 (N) LAUNDRY CHUTE



1 PROPOSED ROOF PLAN
1/4" = 1'-0"

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1 PROPOSED GROUND FLOOR PLAN
1/4" = 1'-0"

LEGEND

- PROPERTY BOUNDARY
- - - SETBACK
- (N) WALL
- 1-HOUR RATED WALL

KEYNOTE LEGEND

- 13 OUTLINE OF (E) PATIO SHOWN DASHED
- 26 (E) GAS METER
- 27 (E) ELECTRICAL PANELS
- 28 OUTLINE OF (E) BUILDING SHOWN DASHED
- 32 (N) CONCRETE RETAINING WALL
- 37 (N) EXTERIOR WD STAIRS
- 38 (N) VERT. BOARD WOOD FENCE
- 57 (N) STORAGE SHELVES
- 58 (N) LAUNDRY CHUTE

FELDMAN
ARCHITECTURE

1005 Sansome St, Ste 240
San Francisco, CA 94111
p 415 252 1441
f 415 252 1442



PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
**245 EUCLID AVENUE
SAN FRANCISCO, CA
94118**

BLOCK/LOT
1069/035

CLIENT
DAGNY MAIDMAN

FA JOB NO
14-009

ISSUE
**PRE-APPLICATION
MTG.**

DATE
05.19.15

HISTORY
DESC DATE



TITLE
**PROPOSED
GROUND FLOOR
PLAN**

A2.1
SHEET



PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
**245 EUCLID AVENUE
SAN FRANCISCO, CA
94118**

BLOCK/LOT
1068/035

CLIENT
DAGNY MAIDMAN

FAJOS NO
14-009

ISSUE
**PRE-APPLICATION
MTG.**

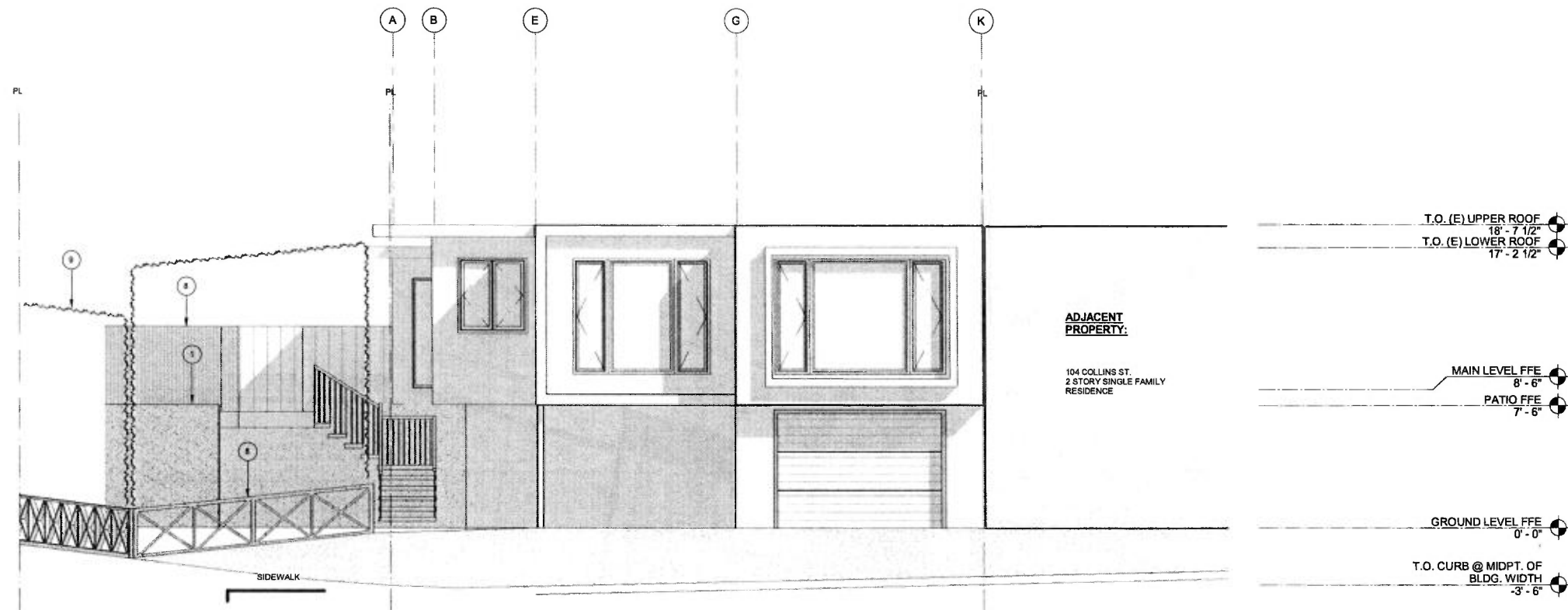
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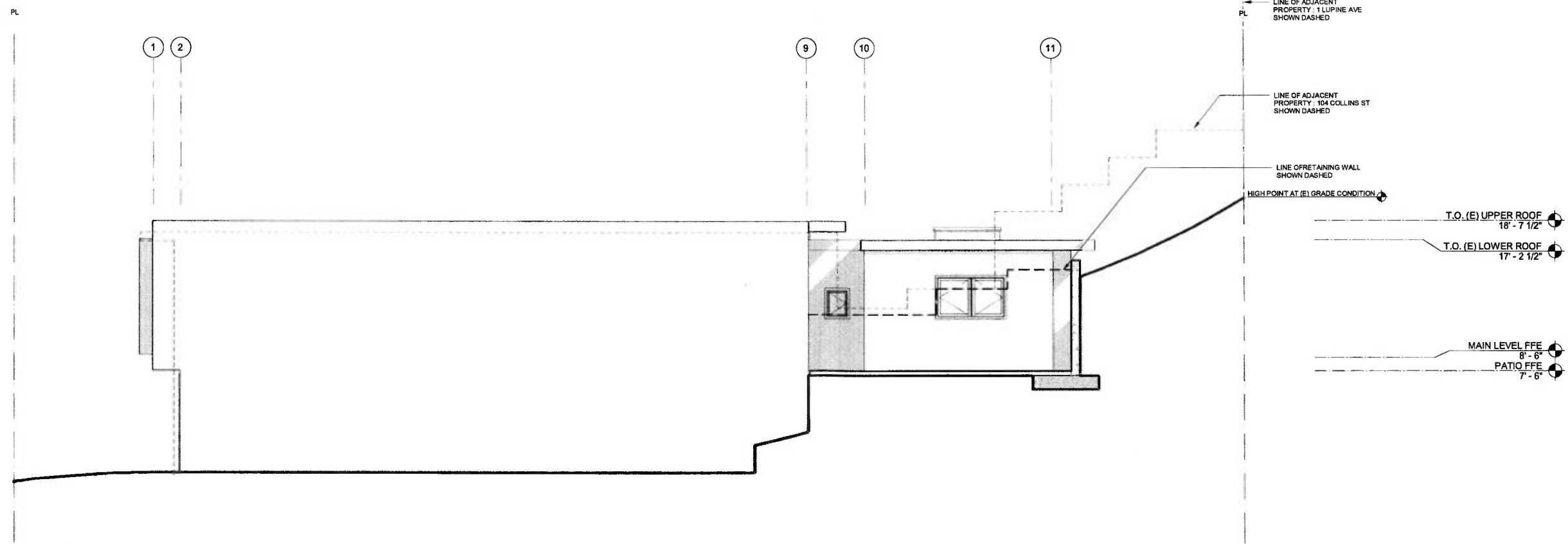


TITLE
**EXISTING
ELEVATIONS**

D3.2
SHEET



2 EXISTING/DEMO WEST ELEVATION
1/4" = 1'-0"



1 EXISTING/DEMO SOUTH ELEVATION
1/4" = 1'-0"



PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
**245 EUCLID AVENUE
SAN FRANCISCO, CA
94118**

BLOCKLOT
1066/035

CLIENT
DAGNY MAIDMAN

FA JOB NO
14-009

ISSUE
**PRE-APPLICATION
MTG.**

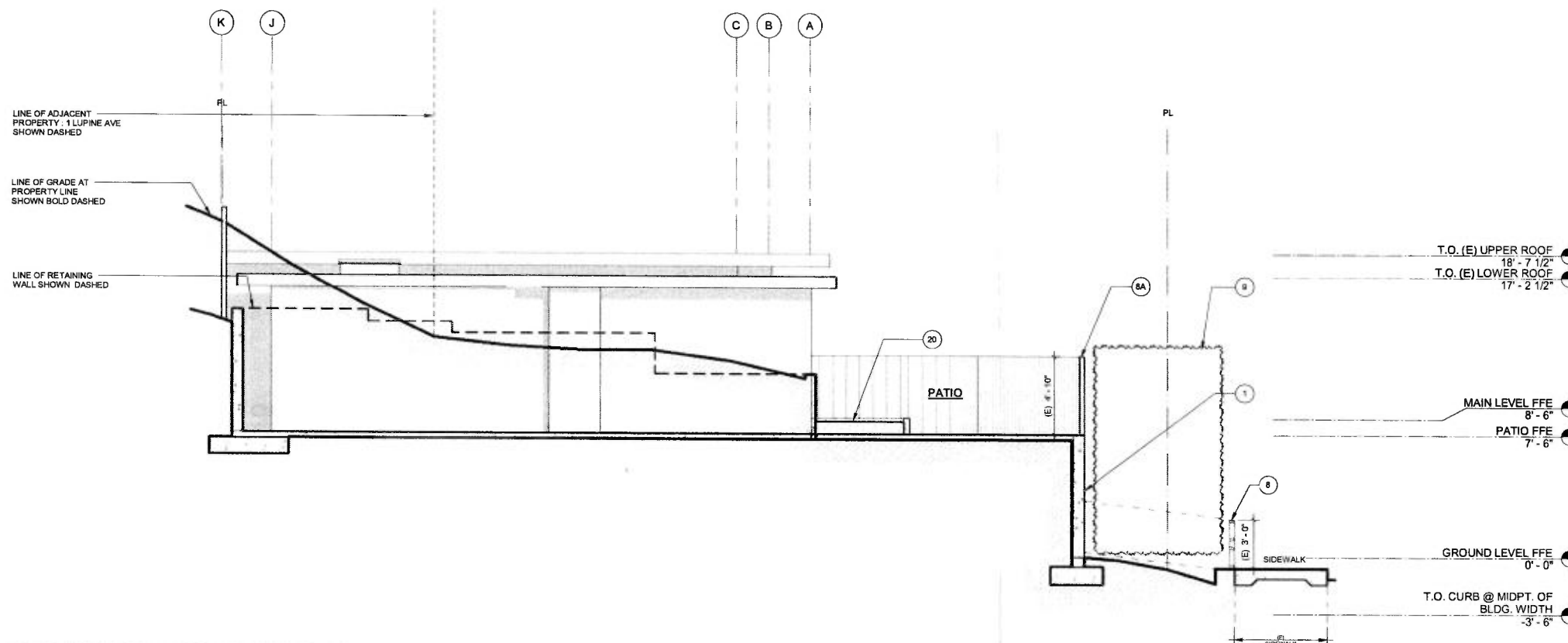
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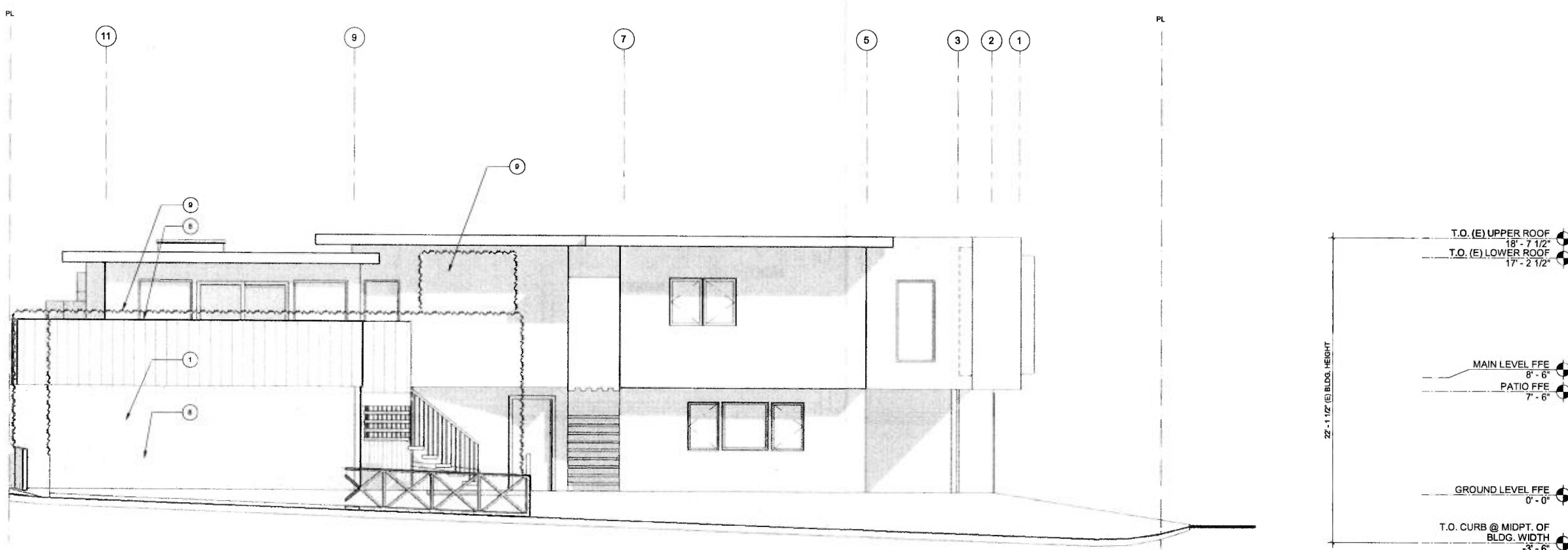
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TITLE
**EXISTING
ELEVATIONS**

D3.1
SHEET



2 EXISTING/DEMO EAST ELEVATION
1/4" = 1'-0"



1 EXSITING/DEMO NORTH ELEVATION
1/4" = 1'-0"



LEGEND

- PROPERTY BOUNDARY
- - - SETBACK
- == (N) WALL
- === 1-HOUR RATED WALL

KEYNOTE LEGEND

- 1 (E) CONCRETE RETAINING WALL TO BE DEMOLISHED
- 12 (E) PATIO DRAIN
- 13 OUTLINE OF (E) PATIO SHOWN DASHED
- 14 (E) STEPS TO PATIO, (N) FINISH TBD
- 16 (E) FIREPLACE/FLUE TO REMAIN
- 32 (N) CONCRETE RETAINING WALL
- 33 (N) VERTICAL BD. WOOD FENCE/GUARD RAIL @ PATIO
- 35 (N) HOT TUB 18" ABOVE DECK W/ STEP & BENCHES
- 37 (N) EXTERIOR WD STAIRS
- 38 (N) VERT. BOARD WOOD FENCE
- 44 (N) RAISED PLANTER 12"-18" HT
- 45 (N) VERTICAL BD. GUARD RAIL @ PATIO
- 55 (N) ENTRY AWNING

PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
**245 EUCLID AVENUE
SAN FRANCISCO, CA
94118**

BLOCKLOT
1066C35

CLIENT
DAGNY MAIDMAN

PA-JOB NO
14-009

ISSUE
**PRE-APPLICATION
MTG.**

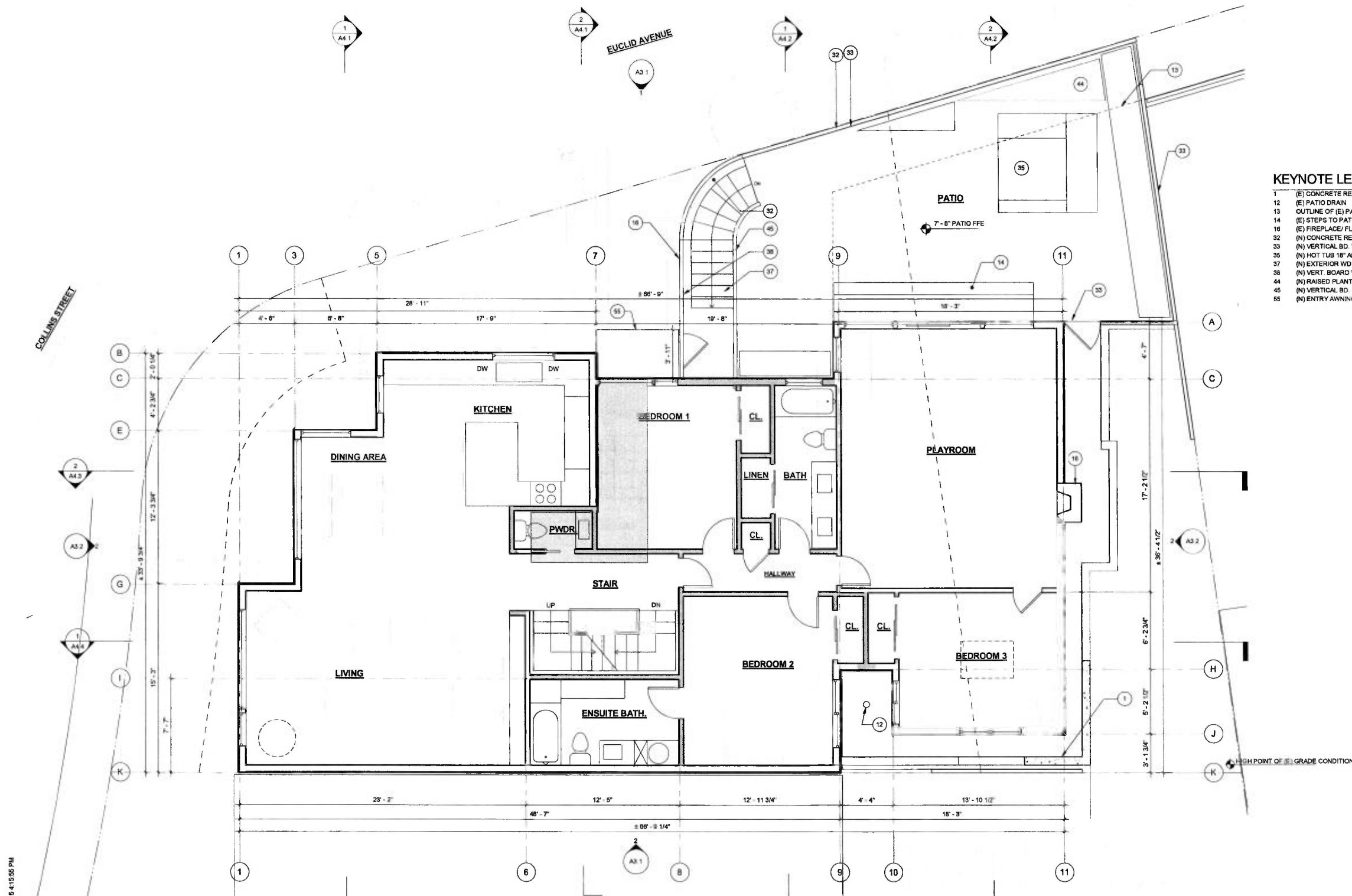
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05.19.15

HISTORY
Δ DESC DATE



TITLE
**PROPOSED MAIN
FLOOR PLAN**

A2.2
SHEET



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1 PROPOSED MAIN FLOOR PLAN
1/4" = 1'-0"



PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
**245 EUCLID AVENUE
SAN FRANCISCO, CA
94118**

BLOCK/LOT
1069/035

CLIENT
DAGNY MAIDMAN

FAJOS NO
14-009

ISSUE
**PRE-APPLICATION
MTG.**

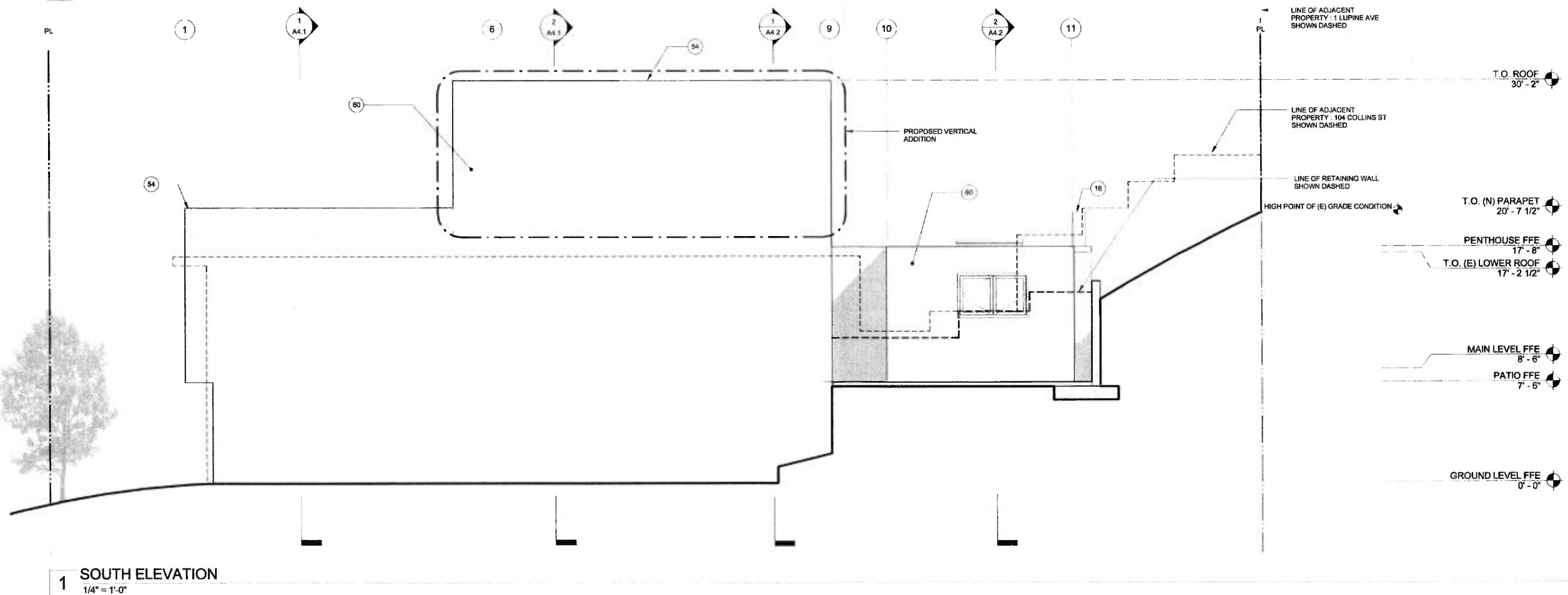
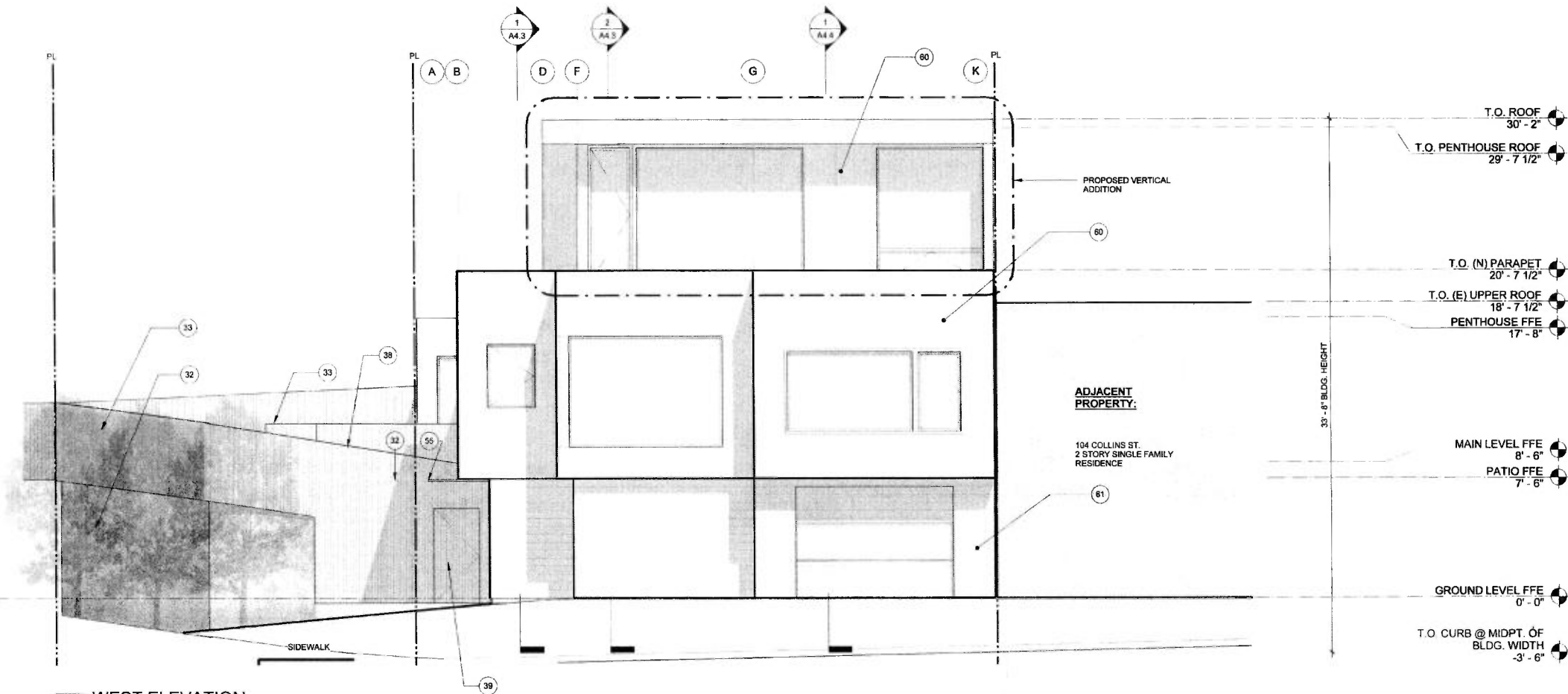
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HISTORY
Δ DESC DATE

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TITLE
**BUILDING
ELEVATIONS**

A3.2
SHEET

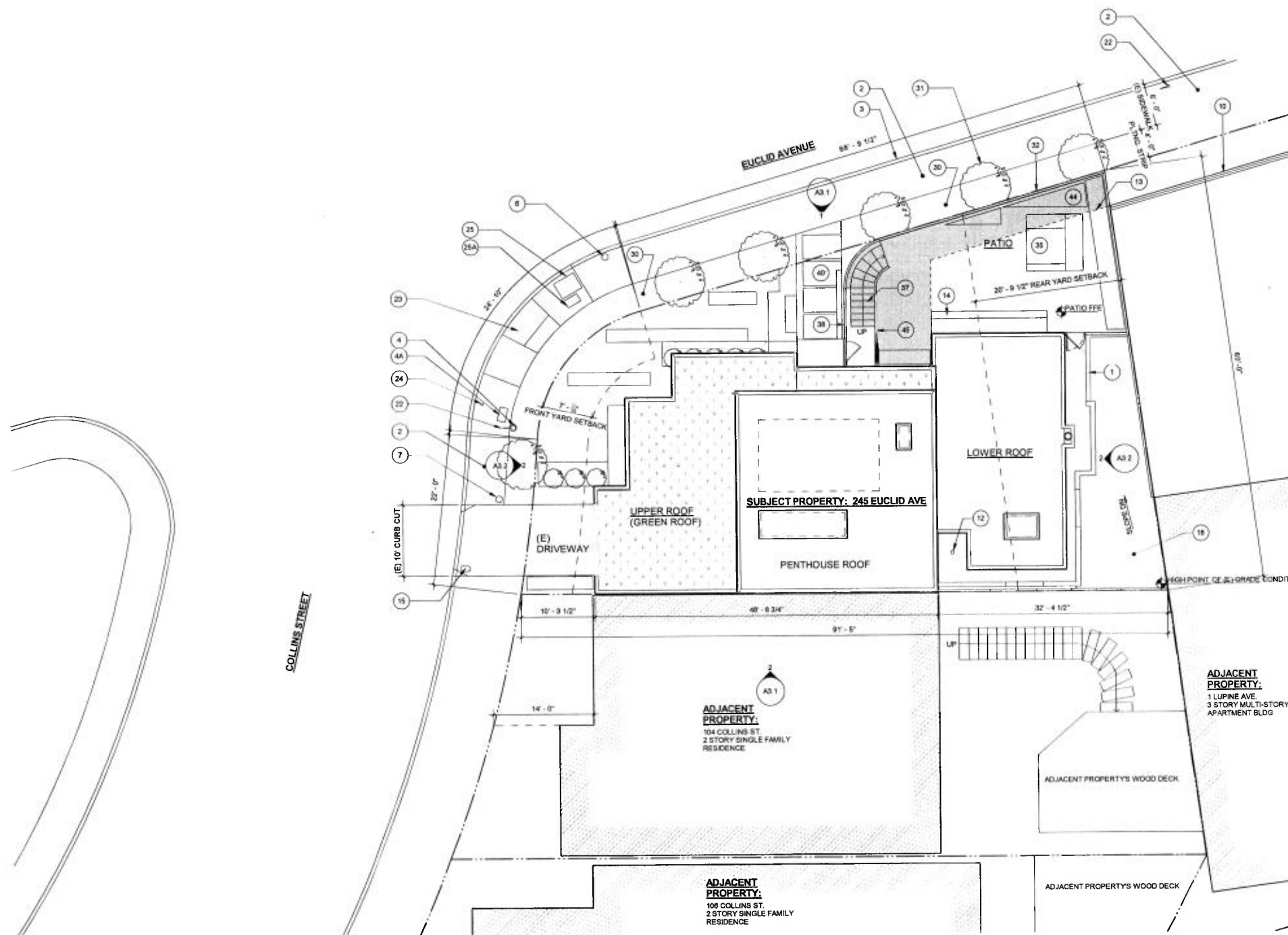


LEGEND

- PROPERTY BOUNDARY
- - - SETBACK LINE
- ADJACENT PROPERTY
- AREA OF PATIO EXPANSION

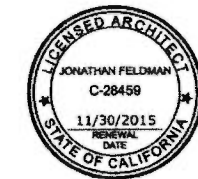
KEYNOTE LEGEND

- 1 (E) CONCRETE RETAINING WALL TO BE DEMOLISHED
- 2 (E) SIDEWALK
- 3 (E) CURB
- 4 (E) STREET LIGHT
- 4A UTILITY BOX - STREET LIGHT
- 6 (E) FIRE ALARM CALL BOX
- 7 UTILITY BOX - GAS
- 10 (E) NEIGHBOR'S CONCRETE RETAINING WALL W/ WD FENCE ABOVE
- 12 (S) PATIO DRAIN
- 13 OUTLINE OF (E) PATIO SHOWN DASHED
- 14 (E) STEPS TO PATIO, (N) FINISH TBD
- 15 (E) WATER METER
- 18 (E) GRADE CONDITION MATCHES TOPOGRAPHY OF ADJOINING REAR YARDS
- 22 (E) PARKING SIGN
- 23 (E) RAMP WITH DETECTABLE WALKWAY
- 24 (E) STOP SIGN
- 25 (E) PG&E UTILITY VAULT
- 25A (E) PG&E UTILITY PUBLIC SAFETY ACCESS
- 30 (N) PLANTING STRIP
- 31 (N) STREET TREE - (8 TOTAL)
- 32 (N) CONCRETE RETAINING WALL
- 35 (N) HOT TUB 18" ABOVE DECK W/ STEP & BENCHES
- 37 (N) EXTERIOR WD STAIRS
- 38 (N) VERT. BOARD WOOD FENCE
- 40 (N) CONC. PAVERS
- 44 (N) RAISED PLANTER 12"-18" HT
- 45 (N) VERTICAL BD. GUARD RAIL @ PATIO



FELDMAN
ARCHITECTURE

1005 Sansome St, Ste 240
San Francisco, CA 94111
p 415 252 1441
f 415 252 1442



PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
**245 EUCLID AVENUE
SAN FRANCISCO, CA
94118**

BLOCK/LOT
1069/035

CLIENT
DAGNY MAIDMAN

PLANNING
14-009

ISSUE
**PRE-APPLICATION
MTG.**

DATE
05.19.15

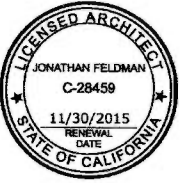
HISTORY
DESC. PROJECT REVIEW DATE 03.24.15



TITLE
**PROPOSED SITE
PLAN**

A1.1
SHEET

1 PROPOSED SITE PLAN
1/8" = 1'-0"



PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
**245 EUCLID AVENUE
SAN FRANCISCO, CA
94118**

BLOCKLOT
1069/035

CLIENT
DAGNY MAIDMAN

FA JOB NO
14-009

ISSUE
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DATE
05.19.15

HISTORY
Δ DESC DATE

0' 2' 4' 8'

TITLE
**BUILDING
ELEVATIONS**

A3.1
SHEET

ELEVATION GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, TYP
2. GRADE FOR ESTABLISHING DAYLIGHT PLANE SHALL BE AN AVERAGE OF THE GRADE AT THE MIDPOINT OF THE BUILDING AND GRADE AT THE CLOSEST POINT ON THE ADJACENT LOT

T.O. ROOF
30' - 2"

T.O. (N) PARAPET
20' - 7 1/2"

PENTHOUSE FFE
17' - 8"

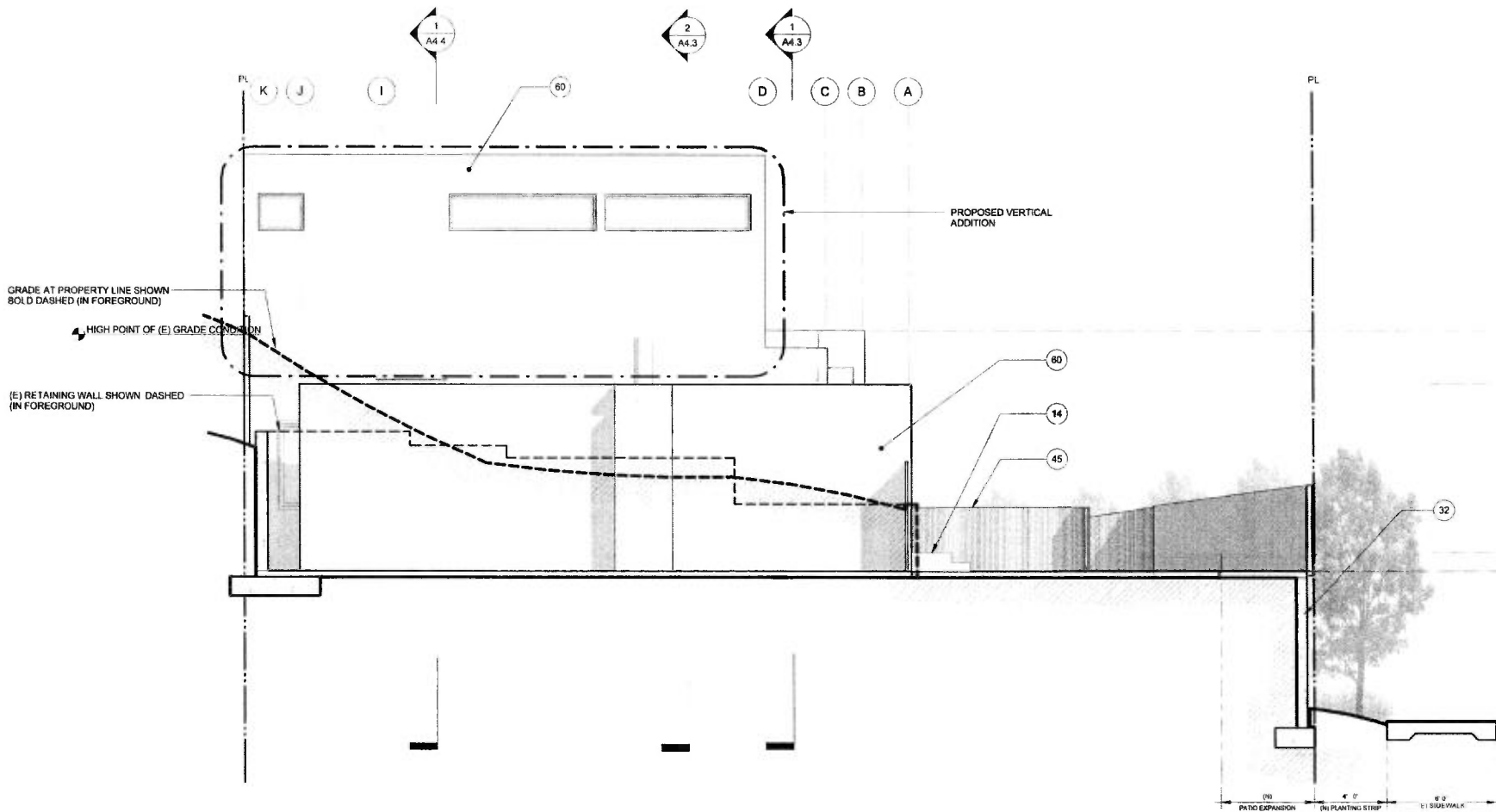
T.O. (E) LOWER ROOF
17' - 2 1/2"

MAIN LEVEL FFE
8' - 6"

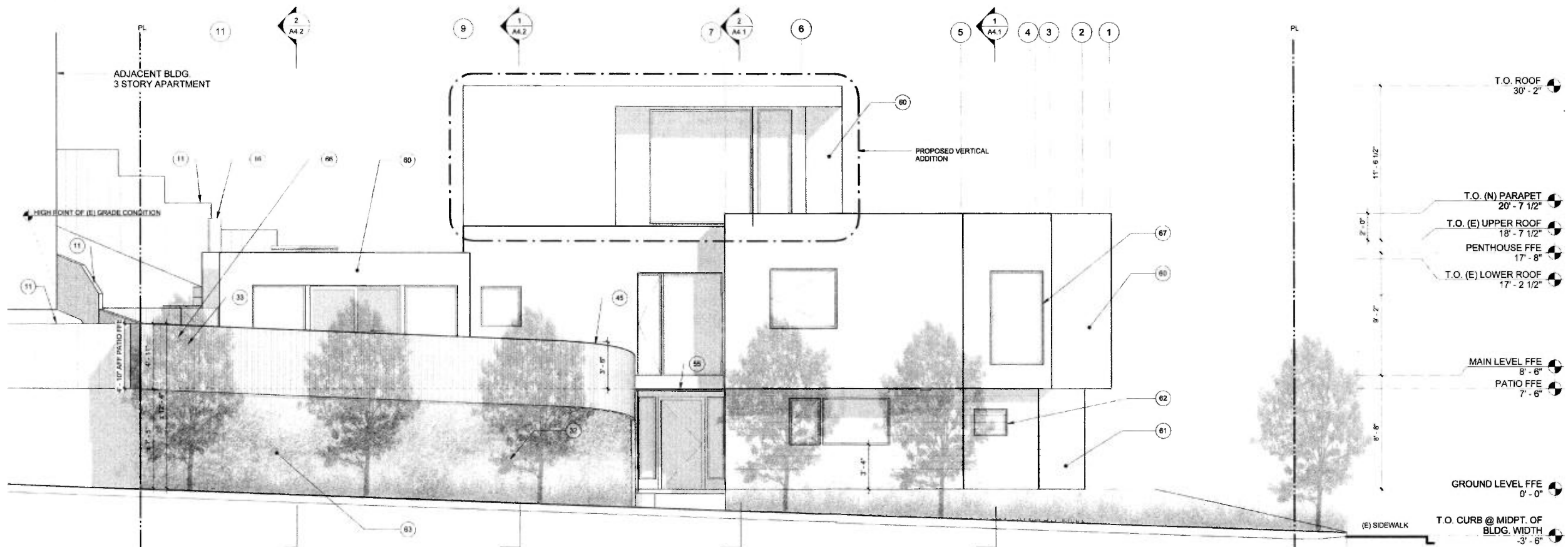
PATIO FFE
7' - 6"

KEYNOTE LEGEND

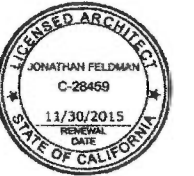
- 11 (E) NEIGHBOR'S WD FENCE
- 14 (E) STEPS TO PATIO, (N) FINISH TBD
- 15 (E) FIREPLACE/ FLUE TO REMAIN
- 32 (N) CONCRETE RETAINING WALL
- 33 (N) VERTICAL BD. WOOD FENCE/GUARD RAIL @ PATIO
- 45 (N) VERTICAL BD. WOOD FENCE/GUARD RAIL @ PATIO
- 55 (N) ENTRY AWNING
- 60 (N) CEMENT PLASTER FINISH
- 61 (N) HORIZONTAL WOOD SIDING
- 62 (N) WOOD LOUVER @ WINDOW
- 63 (N) VINE
- 68 (N) VERTICAL BD. FENCE/ GUARD RAIL, VARIANCE REQ'D FOR FENCE HT. 10'-0" ABOVE (E) GRADE & WITHIN REAR YARD SETBACK
- 67 (N) ALUM CLAD WINDOW, TYP



2 EAST ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"



PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
**245 EUCLID AVENUE
SAN FRANCISCO, CA
94118**

BLOCK/LOT
1055/035

CLIENT
DAGNY MAIDMAN

FAJOS NO
14-009

ISSUE
**PRE-APPLICATION
MTG.**

DATE
05.19.15

HISTORY
△ DESC DATE



TITLE
**EXISTING MAIN
FLOOR PLAN**

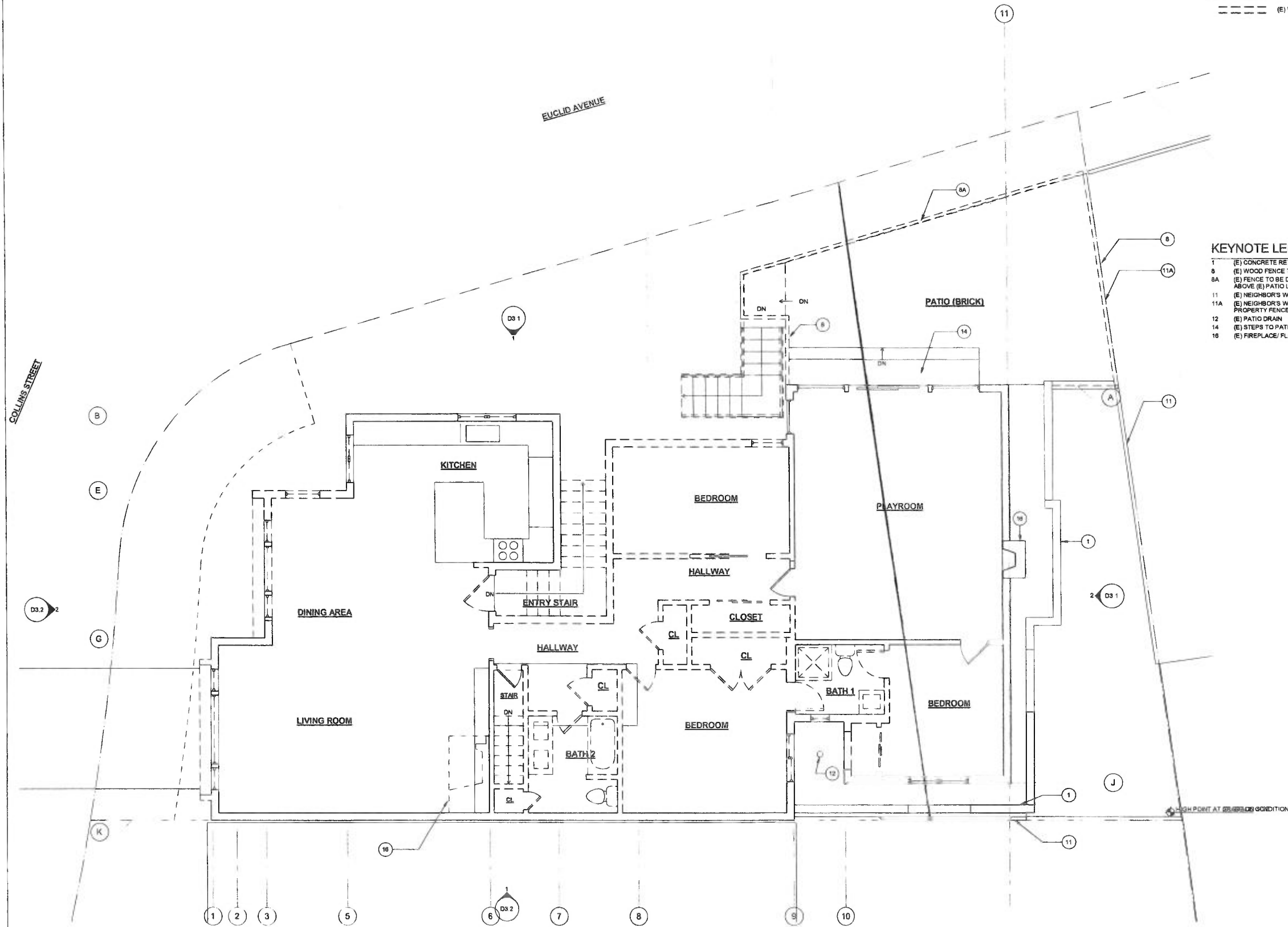
D2.2
SHEET

LEGEND

- PROPERTY BOUNDARY
- - - SETBACK
- - - (E) WALL TO BE DEMOLISHED

KEYNOTE LEGEND

- 1 (E) CONCRETE RETAINING WALL TO BE DEMOLISHED
- 8 (E) WOOD FENCE TO BE REMOVED
- 8A (E) FENCE TO BE DEMOLISHED APPROX. 4'-10" ABOVE (E) PATIO LEVEL
- 11 (E) NEIGHBOR'S WD FENCE
- 11A (E) NEIGHBOR'S WD FENCE ON TOP OF SUBJECT PROPERTY FENCE
- 12 (E) PATIO DRAIN
- 14 (E) STEPS TO PATIO, (N) FINISH TBD
- 16 (E) FIREPLACE/ FLUE TO REMAIN





PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
245 EUCLID AVENUE
SAN FRANCISCO, CA
94118

BLOCK/LOT
1069/035

CLIENT
DAGNY MAIDMAN

FA JOB NO
14-009

MAIDMAN RESIDENCE SAN FRANCISCO, CA

PROJECT DIRECTORY

ARCHITECT

FELDMAN ARCHITECTURE
1005 SANSOME ST, STE 240
SAN FRANCISCO, CA 94111
PHONE: 415 252 1441 x25
FAX: 415 252 1442
CONTACT: HELMINA KIM
EMAIL: HKIM@FELDMANARCH.COM

OWNER

DAGNY MAIDMAN
PHONE: (415) 249-2200
EMAIL:

GENERAL CONTRACTOR

TBD

STRUCTURAL ENGINEER

TBD

LANDSCAPE DESIGN

LORETTA GARGAN LANDSCAPE + DESIGN
PHONE:
FAX:
CONTACT:
EMAIL:

GEOTECHNICAL ENGINEER / SHORING

PHONE:
FAX:
CONTACT:
EMAIL:

ARBORIST

PHONE:
FAX:
CONTACT:
EMAIL:

GREEN POINT RATER

PHONE:
FAX:
CONTACT:
EMAIL:

TITLE 24

PHONE:
FAX:
CONTACT:
EMAIL:

SURVEYOR

PHONE:
FAX:
CONTACT:
EMAIL:

DRAWING INDEX

GENERAL

A0.0 COVER SHEET
A0.1 PROJECT INFO
A0.2 SPECIFICATIONS
A0.3 EXISTING CONDITION IMAGES
A0.4 EXISTING CONDITION IMAGES

ARCHITECTURAL

A1.1 PROPOSED SITE PLAN
A2.1 PROPOSED GROUND FLOOR PLAN
A2.2 PROPOSED MAIN FLOOR PLAN
A2.3 PROPOSED PENTHOUSE FLOOR PLAN
A2.4 PROPOSED ROOF PLAN
A3.1 BUILDING ELEVATIONS
A3.2 BUILDING ELEVATIONS
A4.1 BUILDING SECTIONS
A7.3 DOOR SCHEDULE & LEGEND
A7.4 WINDOW SCHEDULE & LEGEND
D2.1 EXISTING/DEMO GROUND FLOOR PLAN
D2.2 EXISTING/DEMO MAIN FLOOR PLAN
D2.3 EXISTING/DEMO ROOF PLAN
D3.1 EXISTING/DEMO ELEVATIONS
D3.2 EXISTING/DEMO ELEVATIONS

MECHANICAL, ELECTRICAL & PLUMBING

MEP0.0 MEP NOTES
MEP0.1 MEP PLANS
MEP0.3 MEP SCHEDULES

ISSUE
PRE-APPLICATION
MTG.

DATE
05.19.15

HISTORY
DESC DATE

TITLE
COVER SHEET

A0.0

SPECIAL BUILDING LOCATIONS

Corner Buildings

GUIDELINE: Provide greater visual emphasis to corner buildings.

Corner buildings play a stronger role in defining the character of the neighborhood than other buildings along the block face. They can act as informal entryways to the street, setting the tone for the streetscape that follows. Corner buildings must recognize their prominent location by embracing the public realm with a greater visual emphasis. In designing corner buildings, consider the following measures; other measures may be appropriate depending on the circumstances of a particular project:

- Design both street facades to be fenestrated, articulated and finished as “front” facades.
- Add emphasis with more architectural detailing than found on other buildings on the block face.
- Where appropriate, use a greater building height to add emphasis.
- Design a more complex building form with projecting facade elements and special building features such as towers, cupolas, wrap-around bay windows, balconies, or other architectural embellishments.
- Create a prominent building entrance by notching the corner.



This corner building is set back from both streets, allowing for a prominent entry stair that faces the corner. The pedimented projection and balcony at the upper floor gives the building greater visual interest.



This contemporary corner building has wrap-around square bay windows with an overhang at the upper floor giving the building greater visual emphasis at the corner.

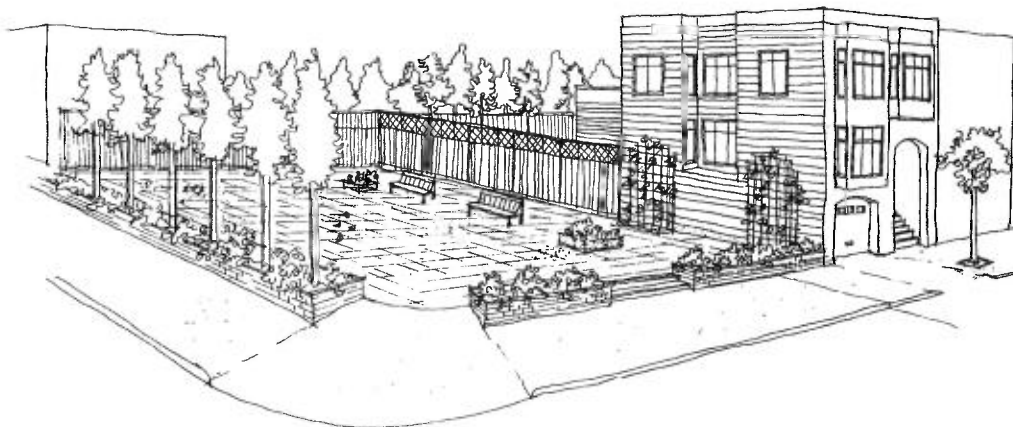
In addition, some corner buildings in residential districts may have rear yards with street frontage, leaving the upper stories of the rear facade visible from the street. In these situations, the building's rear facade must also be finished with appropriate building materials, and have more visual interest than normally seen on a rear facade.

Buildings Abutting Public Spaces

GUIDELINE: Design building facades to enhance and complement adjacent public spaces.

Some buildings abut public spaces such as neighborhood parks, pedestrian or bicycle paths, and school playgrounds. As with corner buildings, they have more than one facade facing a public space.

For more information about property line windows, see the Department of Building Inspection's Administrative Bulletin on "Local Equivalency for Approval of New Openings in New and Existing Building Property Line Walls".



Treatment of a building facade abutting a neighborhood park. Facade articulation and finished materials are used to avoid a dull and unattractive side wall. The fence has also been designed to complement the adjacent space.

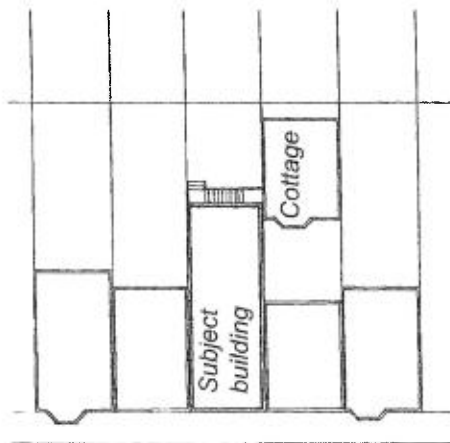
Special attention is necessary to ensure that the building's facades enhance the public realm. Blank walls or fences along public spaces can make these spaces feel isolated. Instead, these building facades must be fenestrated, articulated, ornamented and finished with a level of detail compatible to a front facade. Provide exterior lighting that is energy efficient and is shielded to avoid excess glare.

Rear Yard Cottages

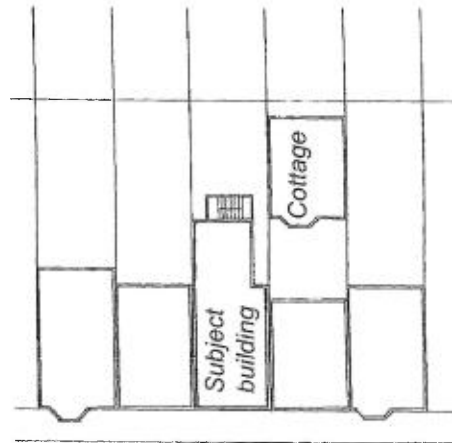
GUIDELINE: Articulate the building to minimize impacts on light to adjacent cottages.

Buildings located in rear yards are non-complying structures under the Planning Code and may themselves have an impact on the rear yard open space. However, when a proposed project is adjacent to a lot that has a cottage used as a dwelling unit at the rear of the lot, modifications to the building's design may be necessary to reduce light impacts to that cottage specifically. Consider the following modifications; other measures may also be appropriate depending on the circumstances of a particular project:

- Provide side setbacks at the rear of the building.
- Minimize rear projections such as decks and stairs.



This illustration shows a new building permitted under the Planning Code. The building's design has not been modified to minimize light impacts to the adjacent cottage, and further restricts the mid-block open space.



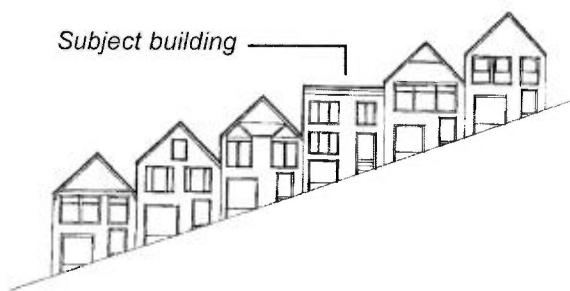
This illustration shows a new building that provides a side setback to reduce the impact on light to the cottage.

Rooflines

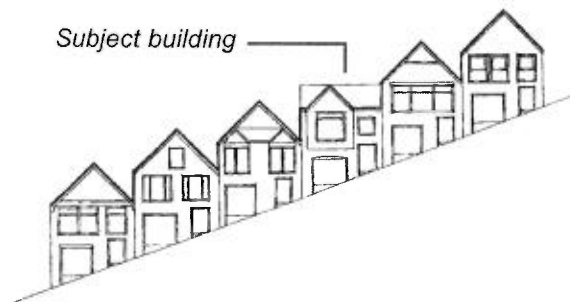
GUIDELINE: Design rooflines to be compatible with those found on surrounding buildings.

Predominant rooflines found on buildings in San Francisco include front gabled, multi-gabled, hipped, or flat. In some cases, a building may have a parapet at the front that obscures a flat or gabled roof behind it. Within a block, the collection of roofs create a “roofline,” which is the profile of the buildings against the sky. When designing a project, consider the types of rooflines found on surrounding buildings. For example, if most buildings have front gables, adding a building with a flat roof may not be consistent with the neighborhood pattern.

In some situations, there may be groups of buildings that have common rooflines, providing clues to what type of roofline will help tie the composition of the streetscape together. In other situations, it may be more appropriate to consider the entire block face to determine the broad pattern of rooflines.



The roofline of the subject building is not compatible with surrounding buildings because it is flat while other rooflines are sloping.



The roofline of the subject building has been modified to include a sloping element to make it more compatible with surrounding buildings.



On a block face with flat rooflines, a vertical addition can incorporate a sloping roof that is designed to be compatible with surrounding buildings.

EXTERIOR MATERIALS

GUIDELINE: The type, finish, and quality of a building's materials must be compatible with those used in the surrounding area.

For more information about green building design and construction, see the "Green Building Guidelines" at www.sfenvironment.org.

For information on sustainable materials and the reuse of building materials as part of new construction, contact the San Francisco Department of the Environment at 355-3700 or www.sfenvironment.org.

When choosing building materials, look at the types of materials that are used in the neighborhood, and how those materials are applied and detailed. Ensure that the type and finish of these materials complement those used in the surrounding area, and that the quality is comparable to that of surrounding buildings. In neighborhoods with uniform materials, it is best to utilize the same materials. For example, a shingled house would not fit in with a row of stucco houses.

Use material finishes that are compatible with those of surrounding buildings. If the materials are predominantly painted wood siding or shingles, a stained finish may not be compatible. Masonry (brick and stone) that is not painted should be left unpainted.

Also consider the visual qualities of a material, such as a smooth or rough texture. For example, in choosing masonry, the color and size of the bricks or stone may be a factor. Wood siding is available in a variety of widths and styles. Stucco may be smooth or rough, or scored to look like stone. Choosing among the varieties of a specific material is as important as choosing among the materials themselves.



This unpainted shingled building is not compatible with the painted stucco of surrounding buildings.

EXHIBIT C

CASE NUMBER:
For Staff Use only

APPLICATION FOR Variance from the Planning Code

1. Owner/Applicant Information

PROPERTY OWNER'S NAME:

Dagny Maidman

PROPERTY OWNER'S ADDRESS:

245 Euclid Ave
SF CA 94118

TELEPHONE:

(415) 994-2049

EMAIL:

thedagster@mac.com

APPLICANT'S NAME:

Taisuke Ikegami, Feldman Architecture

APPLICANT'S ADDRESS:

1005 Sansome St Suite-240
SF CA 94111Same as Above ☐

TELEPHONE:

(415) 252-1441 x23

EMAIL:

tikegami@feldmanarch.com

CONTACT FOR PROJECT INFORMATION:

Same as Above ☒

ADDRESS:

TELEPHONE:

()

EMAIL:

2. Location and Classification

STREET ADDRESS OF PROJECT:

245 Euclid Ave

ZIP CODE:

94118

CROSS STREETS:

Collins St.

ASSESSORS BLOCK/LOT:

1069/ 035

LOT DIMENSIONS:

See site plan

LOT AREA (SQ FT):

4,033-sf

ZONING DISTRICT:

RH-1

HEIGHT/BULK DISTRICT:

40-X

3. Project Description

(Please check all that apply)

- ☐ Change of Use
☐ Change of Hours
☐ New Construction
☒ Alterations
☐ Demolition
☐ Other Please clarify:

ADDITIONS TO BUILDING:

- ☐ Rear
☒ Front
☒ Height
☐ Side Yard

PRESENT OR PREVIOUS USE:

Single-family dwelling

PROPOSED USE:

Single-family dwelling

BUILDING APPLICATION PERMIT NO.:

2015-10-02-8734

DATE FILED:

10.2.2015

4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

	EXISTING USES:	EXISTING USES TO BE RETAINED:	NET NEW CONSTRUCTION AND/OR ADDITION:	PROJECT TOTALS:
PROJECT FEATURES				
Dwelling Units	1	1	0	1
Hotel Rooms	0	0	0	0
Parking Spaces	1	1	0	1
Loading Spaces	0	0	0	0
Number of Buildings	1	1	0	0
Height of Building(s)	18'-8"	18'-8"	12'-6"	30'-2"
Number of Stories	2	2	1	3
Bicycle Spaces	0	0	0	0
GROSS SQUARE FOOTAGE (GSF)				
Residential	2,296-sf	2,270-sf	1,140-sf	3,410-sf
Retail	-	-	-	-
Office	-	-	-	-
Industrial/PDR <i>Production, Distribution, & Repair</i>	-	-	-	-
Parking	690-sf	343-sf	47-sf	390-sf
Other (Specify Use)	-	-	-	-
TOTAL GSF	2,986-sf	2,613-sf	1,187-sf	3,800-sf

Please describe what the variance is for and include any additional project features that are not included in this table. Please state which section(s) of the Planning Code from which you are requesting a variance.

(Attach a separate sheet if more space is needed)

In accordance to §136(c)(13), §136(c)(24) & §136(c)(25); Variance is sought for horizontal expansion of existing terraced patio within the required rear yard as the grade change needed to facilitate the patio expansion will exceed three-feet in height. An up-sloping lot with excess of twenty-feet in elevation change from the low (street) to the high (southeast corner), a portion of the yard has been terraced to reconcile the preexisting grade and to create a usable yard area roughly at the finish floor elevation of the second floor of the building. The terraced patio is largely within the required rear yard, while a portion of it fits within the buildable portion of the lot. Existing concrete retaining wall paralleling the side lot line (along Euclid Ave) is offset five-feet from the said lot line, and is capped with 4'-10" tall wood fence/railing. Currently, overgrown hedge occupies the area between the existing retaining wall and the side lot line, as the area is effectively treated as an extension of the planting strip along the sidewalk. In accordance to §136(c)(17) through (19), Variance is also sought for the height of the new perimeter wood fence/railing atop the portion of the patio expansion requiring Variance, as the top of the new fence/railing will exceed the maximum height permissible when measured from the preexisting grade condition. The new wood fence/railing will not be any taller than the existing condition, but will be placed along the edges of the property.

Variance Findings

Pursuant to Planning Code Section 305(c), before approving a variance application, the Zoning Administrator needs to find that the facts presented are such to establish the findings stated below. In the space below and on separate paper, if necessary, please present facts sufficient to establish each finding.

1. That there are exceptional or extraordinary circumstances applying to the property involved or to the intended use of the property that do not apply generally to other property or uses in the same class of district;
2. That owing to such exceptional or extraordinary circumstances the literal enforcement of specified provisions of this Code would result in practical difficulty or unnecessary hardship not created by or attributable to the applicant or the owner of the property;
3. That such variance is necessary for the preservation and enjoyment of a substantial property right of the subject property, possessed by other property in the same class of district;
4. That the granting of such variance will not be materially detrimental to the public welfare or materially injurious to the property or improvements in the vicinity; and
5. That the granting of such variance will be in harmony with the general purpose and intent of this Code and will not adversely affect the Master Plan.

The subject property is located in a mixed and transitional block of Laurel Heights containing four types of zoning districts (RH-1, RH-2, RH-3 & NC-3). Within one-block radius along Euclid Ave, there are six zoning districts (RH-1, RH-2, RH-3, RM-1, RM-2 & P), and this RH-1 corner lot marks the end to a series of RH-3 lots to the east. Starting from the Masonic Ave intersection two blocks to the east, the streetscape along south side of Euclid Ave consists predominantly of rear elevations of three to four story residential buildings (typically three-units) with upsloping rear yards. Grade change of three feet or more is commonly seen between the edge of these rear yards and the adjacent sidewalk elevation with concrete retaining walls capped by wood fences separating the yards from the sidewalk. Use/scale of the buildings transitions to those typical to RH-1 as the block turns the corner down Collins St.

The fan-shaped corner lot at the end of an irregularly shaped block with substantial grade change is considerably shallower in depth when compared to the other lots on the block. With over 20' in elevation change from the sidewalk to the rear corner of the lot, the rear portion of the existing two-story single-family home is buried against the upsloping grade with the floor of the upper story coming level with the existing higher grade at the rear portion of the lot. The existing encroachment into the rear yard setback by the existing addition limits the usable rear yard with light and privacy to a portion of the rear yard fronting Euclid Ave (i.e. patio along side yard). The retaining wall forming the north edge of the patio to reconcile the severe grade change between the highpoint of the lot (southeast corner) and the street elevation, is currently setback five feet from the property line. The sliver of land between the retaining wall and the sidewalk is at the sidewalk elevation and overgrown with tall hedge in excess of twelve-feet that visually overwhelms the streetscape and renders this marginal space unworkable.

The Variance is sought to help alleviate the lack of open outdoor space typically afforded and protected by the Planning Code through the expansion of the northern boundary of the existing patio by five-feet to the lot line. Because the bulk of the proposed patio expansion with fences along the lot lines will be no greater than the combined perceived bulk of the existing patio, the fences and the overgrown hedge; we do not believe the proposed change will result in negative impact to the neighborhood. In addition to taking the cue from the pre-established pattern of retaining wall capped by wood fence (to break-up the massing), vine will be planted to "green" the wall, and additional layers of green screens (in the forms of new street trees and mid-to-tall native grass in the foreground, planted in the four-foot wide planting strip abutting the retaining wall) will help to soften the visual impact of the proposed change. The native grass will continue along the remaining Euclid Ave frontage (i.e. side yard), wrapping around the corner and onto the Collins St frontage (i.e. front yard). The gradual and intentional landscape design will help to strengthen the design of the corner lot as an effective transition element between two contrasting parts of the block - rears of RH-3 lots with larger structures to streetscape typical to RH-1 neighborhood.



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, April 27, 2016**
Time: **Not before 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 245 Euclid Avenue	Case No.: 2015-014114VAR
Cross Street(s): Collins Street	Building Permit: 2015-10-02-8734
Block /Lot No.: 1069/035	Applicant: Tai Ikegami
Zoning District(s): RH-1 / 40-X	Telephone: (415) 252-1441 Ext. 23
Area Plan: n/a	E-Mail: T Ikegami@feldmanarch.com

PROJECT DESCRIPTION

The proposal is to construct a one-story vertical addition above the existing 2-story, single-family house, horizontal infill additions at the ground floor front entryway and the area beneath the cantilevered portion of the second floor on the west side of the house, and the expansion of the existing patio retaining wall within the rear yard.

PER SECTION 134 OF THE PLANNING CODE, the subject property is required to maintain a rear yard of approximately 21 feet. Retaining walls that are necessary to maintain the grade existing at the time of construction of a building are permitted to project into the required rear yard. The proposed expansion of the rear patio to the north side lot line would require a new retaining wall to be built that would raise the grade at the side lot line by approximately 7.5 feet within the required rear yard. Therefore, the project requires a variance from the Rear Yard requirement of the Planning Code.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2015-014114VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Christopher May** Telephone: **(415) 575-9087** E-Mail: **christopher.may@sfgov.org**

BUILDING ENLARGEMENT
DESCRIPTION
☐ VERTICAL
☐ HORIZONTAL

SITE PERMIT

OCT 02 2015

THIS APPLICATION SUBMITTED FOR
SITE PERMIT ONLY. NO WORK MAY BE
STARTED UNTIL CONSTRUCTION PLANS
HAVE BEEN APPROVED.

BLDG.
FORM 3/8

APPLICATION NUMBER

APPROVAL NUMBER

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRS

FORM 3 ☒ OTHER AGENCIES REVIEW REQUIRED

FORM 8 ☐ OVER-THE-COUNTER ISSUANCE

2 NUMBER OF PLAN SETS

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF
BUILDING INSPECTION OF SAN FRANCISCO FOR
PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS
AND SPECIFICATIONS SUBMITTED HERewith AND
ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE
HEREINAFTER SET FORTH.

DO NOT WRITE ABOVE THIS LINE

DATE FILED 10.02.2015	FILING FEE RECEIPT 1500	(1) STREET ADDRESS OF JOB 245 EUCLID AVE	BLOCK & LOT 1069 / 035
PERMIT NO.	ISSUED	(2A) ESTIMATED COST OF JOB \$750,000	(2B) REVISED COST: BY: DATE:

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. V-B	(5A) NO. OF STORIES OF OCCUPANCY: 2	(6A) NO. OF BASEMENTS AND CELLARS: 0	(7A) PRESENT USE: SINGLE FAMILY HOME	(8A) OCCUP. CLASS R-3	(9A) NO. OF DWELLING UNITS: 1
(4) TYPE OF CONSTR. V-B	(5) NO. OF STORIES OF OCCUPANCY: 3	(6) NO. OF BASEMENTS AND CELLARS: 0	(7) PROPOSED USE (LEGAL USE) SINGLE FAMILY HOME	(8) OCCUP. CLASS R-3	(9) NO. OF DWELLING UNITS: 1

(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
---	---	---	---	---------------------------------------	---	-------------------------------------	---

(14) GENERAL CONTRACTOR TBD	ADDRESS	ZIP	PHONE	CALIF. LIC. NO.	EXPIRATION DATE
--------------------------------	---------	-----	-------	-----------------	-----------------

(15) OWNER - (CHECK ONE) DAGNY C. WARDMAN	ADDRESS 245 EUCLID AVE	ZIP 94118	PHONE (FOR CONTACT BY DEPT.) (415) 249-2200
--	---------------------------	--------------	--

(15) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)

RENOVATE AN EXISTING SINGLE FAMILY RESIDENCE, 3RD STORY VERTICAL
ADDITION AND INFILL ADDITION OF BATH AT GROUND FLOOR, EXPAND (E)
PATIO WITHIN REAR/SIDE YARD. REMOVE (E) SHRUB AND ADD UNDER SIDEWALK
LANDSCAPE PERMIT IN PUBLIC RIGHT OF WAY UNDER SEPARATE PERMIT.

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT 33'-8"	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA SQ. FT.
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN)	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	CALIF. CERTIFICATE NO.			

(25) ARCHITECT OR ENGINEER (DESIGN OR CONSTRUCTION) FELDMAN ARCHITECTURE	ADDRESS 1005 SANSOME ST. STE 240
---	-------------------------------------

(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN") UNKNOWN	ADDRESS SAN FRANCISCO, CA 94111
---	------------------------------------

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction is to be closer than 6'0" to any wire containing more than 750 volts. See Sec 385, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings, all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX

☐ OWNER
☐ LESSEE
☐ CONTRACTOR
☒ ARCHITECT
☐ AGENT
☐ ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERETO WILL BE COMPLIED WITH.

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (I) or (II) designated below, or shall indicate item (III), (IV), or (V), whichever is applicable. If however item (V) is checked, item (IV) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

() I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

() II. I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:

Carrier
Policy Number
() III. The cost of the work to be done is \$100 or less.

() IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply forthwith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.

() V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Signature of Applicant or Agent
Helmina Kim
Date
10.02.15

EXHIBIT D



245 Euclid and common rooflines of

104 and 106 Collins, etc.

taken from Collins looking east



245 Euclid, 104 Collins and 126 Collins

Common rooflines



106 Collins, 104 Collins and 245 Euclid

Taken from Collins, looking northeast



245 Euclid Retaining Wall/Fence
and extension supported by
wooden column, taken from Euclid



245 Euclid Retaining Wall / Horizontal
Wooden Board Fence, showing
extension, column and stairway,
taken from Euclid



245 Euclid Retaining wall /
Horizontal wooden Board Fence,
taken from Euclid.



Existing condition at NE corner of subject property, seen from sidewalk

1 Lupine Vertical Wooden Board
Fence Atop Retaining Wall and
245 Euclid Horizontal Wooden Board
Fence Atop Retaining Wall, taken
from Euclid



1 Lupine Vertical Wooden Board
Fence Atop Retaining Wall and
245 Euclid Horizontal Wooden Board
Fence Atop Retaining Wall, taken
from Euclid



Existing Ratio of 245 Euclid,
taken from 1 Lupine



9 Lupine and 1 Lupine
Retaining Wall / Fence,
taken from Euclid



1 Lupine Rear Yard in Foreground,
With Existing Roof of 245 Euclid
in Back, Taken from 1 Lupine



245 Euclid Existing Hedge and
34-inch Wooden Fence in Public
Sidewalk, taken from Euclid

EXHIBIT E

MEASUREMENTS TAKEN BY KATHRYN DEVINCENZI

ON MAY 5, 2016

NOT TO SCALE

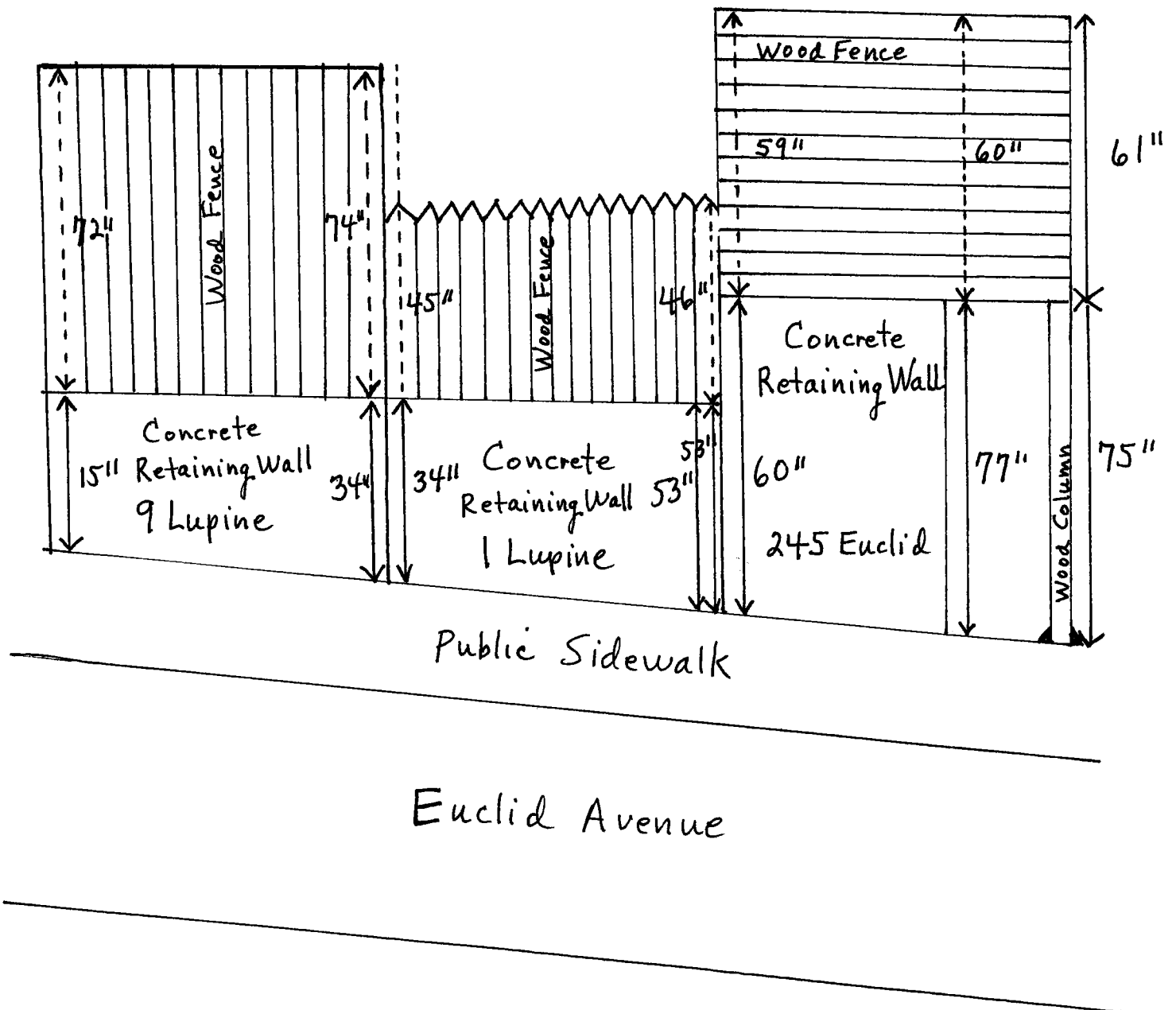


EXHIBIT F

FUNK & WAGNALLS

NEW PRACTICAL

Standard

[Reg. U. S. Pat. Off.]

DICTIONARY

OF THE ENGLISH LANGUAGE

EM'·PHA·TYPE *Method of Pronunciation*

CHARLES EARLE FUNK, LITT.D.
Editor

BRITANNICA WORLD LANGUAGE EDITION



VOLUME ONE A — P

FUNK & WAGNALLS COMPANY

NEW YORK

FELT Past tense and past participle of **FEEL**.

FELT *noun* 1 A fabric made by compacting wool, fur, or hair, or a mixture thereof, by mechanical or chemical action, moisture, and heat. 2 A piece of material so made; also, some article manufactured therefrom. 3 A thick fabric made of asbestos by weaving or other process. 4 In paper-making, one of two woolen or cotton blankets on which the sheet is carried and between which it is pressed on passing through the rolls of the machine.

adj. Made of felt.

verb 1 To compact or be compacted into felt. 2 To overlay with felt. [*OE.*]

FELTING *noun* 1 The process by which, or the materials of which, felt is made. 2 Felt in quantity.

FELUC-CA *noun* A small, swift Mediterranean coast-vessel propelled by lateen sails and by oars. [*It. Ar. fahuka < fahk, ship, fahaka, be round*]

FEMALE *adj.* 1 Of or pertaining to the sex that brings forth young or produces ova. 2 Characteristic of a woman; feminine.

1 Designating a plant which has a pistil but no stamen; pistillate; capable of being fertilized and producing fruit. 4 Denoting some object having a correlative known as the male; specifically, in mechanics, having a hollow or bore into which the correlative may enter. 5 [*Obs.*] Effeminate. See synonyms under **FEMININE**.

noun 1 A person or animal of the female sex. The use of the word to mean a woman is a survival of an old English usage now regarded with disfavor by good speakers and writers. But *female* is correctly used as the correlative of *male*, whether the latter be expressed or not; as, "Statistics of population show that there is an excess of females in many cities." 2 A pistillate plant. [*OF. femelle < L. femella, young woman, < femina, woman*]

FEMALE RIME A feminine rime.

FEMALE SUFFRAGE See under **SUFFRAGE**.

FEME (*fēm*) *noun* 1 A wife; as, a baron and *feme*. 2 [*Obs.*] A woman. [*OF.*]

FEME COY-ERT (*cūv'-urt*) A married woman.

FEME SOLE A single woman, unmarried, widowed, or divorced.

FEME-SOLE TRADER A married woman in business on her own account, independently of her husband. Also **FEME-SOLE MERCHANT**.

FEM-I-NA-CY *noun* Feminine qualities; female nature.

FEM-I-NAL-I-TY *noun* The quality of being female; womanliness. Also **FEM-I-NE-I-TY**.

FEM-I-NIE (*-ni*) *noun* [*Obs.*] The dominion of women; womankind; a class or set of women, as the Amazons. [*OF.*]

FEM-I-NIE *noun* The country of the Amazons.

FEM-I-NINE (*-nin*) *adj.* 1 Belonging to or characteristic of womankind; having qualities, as modesty, delicacy, tenderness, tact, etc., normally characteristic of women. 2 Lacking in manly qualities; effeminate. 3 In grammar, applicable to females only or to objects classified with them.

noun 1 Women, or a woman. 2 A word belonging to the feminine gender. [*L. femininus < femina, woman*]

adj. **FEM-I-NINE-LY**. **FEM-I-NINE-NESS** *noun*.

Synonyms (adj.): effeminate, female, womanish, womanly. We apply *female* to the sex, *feminine* to the qualities, especially the finer physical or mental qualities that distinguish the female sex in the human family, or to the objects appropriate for or especially employed by them. A *female* voice is the voice of a woman; a *feminine* voice may belong to a man. *Womanish* denotes the undesirable, *womanly* the admirable or lovely qualities of woman. *Womanly* tears would suggest respect and sympathy, *womanish* tears a touch of contempt. The word *effeminate* is always used reproachfully, and only of men as possessing *womanish* traits such as are inconsistent with true manliness. *Antonyms:* See synonyms for **MASCULINE**.

FEMININE ENDING The termination of an iambic verse (line of poetry) with an unaccented final syllable. See next entry.

FEMININE RIME Rime of the two final syllables of two or more verses in which the accent falls on the next to the last syllable; as in Keats's *Endymion*.

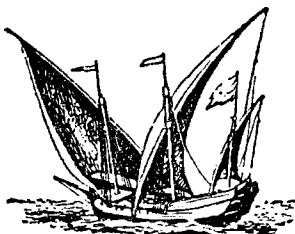
A thing of beauty is a joy forever:
Its loveliness increases; it will never . . .

FEM-I-NIN-I-TY *noun* 1 The quality or state of being feminine. 2 Women collectively. Also **FE-MIN-I-TY**.

FEM-I-NISM (*-nizm*) *noun* 1 The existence of female characteristics in the male. 2 The doctrine that embraces the industrial, mental, political, social, and sexual equality of women with men. — **FEM-I-NISH** *adj.*

FEM-I-NIST *noun* One who advocates feminism. — **FEM-I-NIS-TIC** *adj.*

FEM-I-NIZE *tr. verb* [*NIZED, -NIZ-ING*] To make feminine or womanish. — **FEM-I-NI-ZA-TION** *noun*.



FELUCCA

FEMME (*fām*) *noun* [*F.*] 1 A woman; wife; used in phrases. 2 [*Law*] Same as **FEME**.

FEMME DE CHAM-BRE (*duh shahN'-br*) [*F.*] A chambermaid. **FEM-O-RAL** *adj.* Pertaining to the femur or thigh; as, the femoral artery.

FE-MUR *noun* [*FE-MURS* or *FEM-O-RA pl.*] The long bone that forms the chief support of the thigh; thigh bone; thigh. Compare illustration under **KNEE JOINT**. [*L.*]

FEN *noun* A marsh; bog. — **THE FENS** A low and flat district in Cambridgeshire, Norfolk, Huntingdonshire, and Lincolnshire, England: now drained in some parts. [*OE. fenn*]

FEN [*Scot.*] *verb* To defend; work hard to exist; struggle to live. — *noun* A struggle for one's self; a shift.

FEN *tr. verb* To prohibit; an exclamation in boys' games, especially marbles, to prohibit an opponent from certain advantageous moves. [*FEND*]

FENCE *noun* 1 An enclosing structure of rails, pickets, wires, or the like. 2 A defense; shield; bulwark. 3 The art of using weapons in self-defense; especially, the skillful use of the épée, rapier, or saber; hence, skill in repartee or debate. 4 In machinery, a guard, guide, or gage. 5 A receiver of stolen goods, or the place where such goods are received. See synonyms under **RAMPART**. — **ON THE FENCE** Undecided or non-committal as to opposing opinions, parties, etc.

— **WORM FENCE** A zigzag fence of rails crossed at their ends; varieties of this fence are known as *panel*, *serpent*, *snake*, and *Virginia rail fence*.

— *verb* [**FENCED, FENC-ING**] 1 To enclose with or as with a fence. 2 To keep off by or as by a fence. 3 To ward off danger or attack from; secure or protect; defend. 4 To exclude, as from a game or fish preserve. 5 [*Obs.*] To keep out; repulse. 6 To engage in a contest with foils or swords. 7 To strive in any way by giving and avoiding blows, literally or figuratively; to parry. See synonyms under **CIRCUMSCRIBE**. [*Abbreviation of DEFENSE*]

FENCE-LESS *adj.* Having no fence; unenclosed or unguarded; hence, defenceless. — **NESS** *noun*.

FENCE LIZARD The pine lizard (*Sceloporus undulatus*) of the United States. Also **FENCE SWIFT**.

FENCE MAN A non-committal politician; one refusing to take sides in a political campaign. Also **FENCE POLITICIAN**.

FENCER *noun* 1 One who fences, as with foil or sword. 2 A horse good at leaping fences. 3 One who builds or mends fences.

FENCE-RIDER *noun* 1 One refusing to take sides in a political campaign. 2 One who rides along fences on a cattle ranch to find and repair breaks; also called a *line-rider*.

FENCE-VIEWER *noun* A township official in charge of the inspection and erecting of fences, and the settling of line disputes.

FENC-I-BLE (*fēns'-*) *adj.* Capable of defending or of being defended. — *noun* [*Obs.*] A soldier enlisted for home service only.

FENC-ING *noun* 1 The art of attacking and defending as with a foil or sword; hence, skilful debate or the parrying of prying questions. 2 Material for fences; fences collectively.

FEND *verb* 1 To keep off or away; ward off. 2 To defend; guard. 3 To fence; parry. 4 To take care or provide; also, to struggle; defend. [*DEFEND*]

FEND-ER *noun* 1 One who or that which fends or wards off. 2 A metal guard before an open fire, to keep burning coals from falling on to the floor. 3 Any timber, rope plaiting, or other device hanging against or lying along a vessel's side as a protection from injury. 4 A device in front of street cars, etc., to protect pedestrians from injury. 5 A mud-guard over the wheel of a vehicle.

FE-NE-LON (*fēh-nuh-lōN'*), **FRANÇOIS DE SALIGNAC DE LA MOTHE**, 1651-1715, French ecclesiastic and writer.

FEN-ES-TEL-LA *noun* [*TEL'-LÆ* (*tēl'-ce*) *pl.*] 1 A small window. 2 A niche on the front side of the altar of a Roman Catholic church, containing a piscina and often the credence. [*L.*, diminutive of *fenestra*, window]

FE-NES-TRA *noun* [*TRÆ* (*trec*) *pl.*] 1 A windowlike aperture in the body; as, the **FENESTRA OVALIS**, the opening between the tympanum and the vestibule of the middle ear, closed by the foot of the stapes. See illustration under **EAR**. 2 A transparent, glassy spot, as in the wings of some insects. [*L.*] — **FE-NES-TRAL** *adj.*

FE-NES-TRATE *adj.* 1 Having windows or windowlike openings. 2 Having transparent spots. Also **FE-NES-TRATE**.

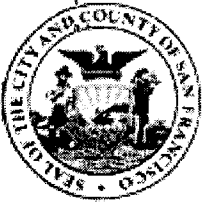
FEN-ES-TRA-TION *noun* 1 The design or arrangement of the windows of a building. 2 A fenestral or fenestrated state. 3 The surgical operation of perforating; as, *fenestration* of the semicircular canals.

FENG-TIEN (*fūng-tiēn*) 1 Former name of **LIAONING**. 2 Same as **MUKDEN**.

FENI-AN *noun* 1 A member of an Irish society called the Fenian Brotherhood, formed in New York in 1857 to seek independence for Ireland. 2 One who sympathizes with the Fenian Brotherhood. 3 One of the Fianna, the warriors of Fionn MacCumal, Irish chieftain of the 2nd and 3rd centuries.

adj. Of or belonging to, composed of, or characteristic of the Fenians or the Fianna. — **FE-NI-AN-ISM** *noun*.

EXHIBIT G



SAN FRANCISCO PLANNING DEPARTMENT

Report for: 245 EUCLID

Property Report: 245 EUCLID

General information related to properties at this location.

PARCELS (Block/Lot):

1069/035

ADDRESSES:

245 EUCLID AVE, SAN FRANCISCO, CA 94118

NEIGHBORHOOD:

Presidio Heights

CURRENT PLANNING TEAM:

NW Team

PLANNING DISTRICT:

District 1: Richmond

SUPERVISOR DISTRICT:

District 2 (Mark Farrell)

CENSUS TRACTS:

2010 Census Tract 015400

TRAFFIC ANALYSIS ZONE:

Traffic Analysis Zone: 687

RECOMMENDED PLANTS:

Would you like to grow plants that create habitat and save water? Check out the plants that we would recommend for this property at SF Plant Finder.

CITY PROPERTIES:

None

PORT FACILITIES:

None

ASSESSOR'S REPORT:

Address:	245 EUCLID AV
Parcel:	1069035
Assessed Values:	
Land:	\$1,261,961.00
Structure:	\$540,840.00
Fixtures:	-
Personal Property:	-
Year Built:	1952
Building Area:	2,386 sq ft
Parcel Area:	4,033 sq ft
Units:	1
Stories:	1

Zoning Report: 245 EUCLID

Planning Department Zoning and other regulations.

ZONING DISTRICTS:

RH-1 - RESIDENTIAL- HOUSE, ONE FAMILY

HEIGHT & BULK DISTRICTS:

40-X

SPECIAL USE DISTRICTS:

Within 1/4 Mile of an Existing Fringe Financial Service

SPECIAL SIGN DISTRICTS:

None

LEGISLATIVE SETBACKS:

None

COASTAL ZONE:

Not in the Coastal Zone

PORT:

Not under Port Jurisdiction

LIMITED AND NONCONFORMING USES:

None

NEIGHBORHOOD-SPECIFIC IMPACT FEE AREAS:

In addition to those impact fees that apply throughout the City, the following neighborhood-specific impact fees apply to this particular property:

None

An overview of Development Impact Fees can be found on the [Impact Fees](#) website.

REDEVELOPMENT AREAS:

None

OTHER INFORMATION:

Control: *Serpentine Rock*

Description: CEQA Impact: an Environmental Evaluation Application may be required for some types of development.

Added: 3/20/2013

Control: *Slope of 20% or greater*

Description: CEQA Impact: an Environmental Evaluation Application may be required for some types of development.

Added: 3/19/2013

Control: *Fringe Financial Service 1/4-mile buffer*

Description: No new fringe financial service shall be permitted as a principal or accessory use within 1/4 mile of an existing fringe financial service

Added: 8/20/2012

PLANNING AREAS:

None

MAYOR'S INVEST IN NEIGHBORHOODS INITIATIVE AREA:

None

COMMUNITY BENEFIT DISTRICT:

None

SCHOOLS:

None within 1,000ft

NOTICE OF SPECIAL RESTRICTIONS:

NSR No.: 3093

Restriction: STIP

Permit No:

NSR Date:

ZONING LETTERS OF DETERMINATION:

Historic Preservation Report: 245 EUCLID

Historic preservation surveys and evaluations. The Historic Resource status shown on this page is tentative, to confirm the status of your property please speak to a Preservation Technical Specialist. Tel: 415-558-6377; Email: pic@sfgov.org

HISTORIC EVALUATION:

Parcel: 1069035

Building Name:

Address: 245 EUCLID AV

Planning Dept. Historic Resource Status: C - No Historic Resource Present / Not Age Eligible

ARTICLE 10 DESIGNATED HISTORIC DISTRICTS AND LANDMARKS:

None

ARTICLE 11 PRESERVATION DESIGNATION:

None

NATIONAL REGISTER HISTORIC DISTRICTS:

None

CALIFORNIA REGISTER HISTORIC DISTRICTS:

None

HISTORIC RESOURCE EVALUATION RESPONSES:

Planning App. No.: 2013.0372E

Date: 8/8/2013

Decision: No Historic Resource Present

Further Information: [View](#)

HISTORIC SURVEYS:

None

HISTORIC CONTEXT STATEMENTS:

None

ARCHITECTURE:

Unknown

Planning Applications Report: 245 EUCLID

Permits are required in San Francisco to operate a businesses or to perform construction activity. The Planning Department reviews most applications for these permits in order to ensure that the projects comply with the Planning Code. The 'Project' is the activity being proposed.

PLANNING APPLICATIONS:**2015-014114VAR**

Christopher May Tel: 415-575-9087

Variance (VAR) 245 EUCLID AVE

Variance request to the rear yard requirements to permit the approval of BPA 2015.10.02.8734: RENOVATE EXISTING SINGLE FAMILY, 3RD STORY VERTICAL ADDITION & INFILL ADDITION OF BATH AT GROUND FLOOR, EXPAND EXISTING PATIO W/ REAR/SIDE YARD, REMOVE EXISTING SHRUB & ADD UNDER SIDEWALK, LANDSCAPE PERMIT IN PUBLIC RIGHT OF WAY UNDER SEPERATE PERMIT.

OPENED	STATUS	ADDRESS	FURTHER INFO
1/6/2016	Under Review 1/19/2016	245 EUCLID AVE 94118	<u>View</u>

RELATED RECORDS: 2015-014114PRJ
- 2015-014114VAR

2015-014114PRJ

Christopher May Tel: 415-575-9087

Project Profile (PRJ) 245 EUCLID AVE

RENOVATE EXISTING SINGLE FAMILY, 3RD STORY VERTICAL ADDITION & INFILL ADDITION OF BATH AT GROUND FLOOR, EXPAND EXISTING PATIO W/ REAR/SIDE YARD, REMOVE EXISTING SHRUB & ADD UNDER SIDEWALK, LANDSCAPE PERMIT IN PUBLIC RIGHT OF WAY UNDER SEPERATE PERMIT.

OPENED	STATUS	ADDRESS	FURTHER INFO
10/21/2015	Under Review 12/14/2015	245 EUCLID AVE 94118	<u>View</u>

RELATED RECORDS: 2015-014114PRJ
- 2015-014114VAR **RELATED BUILDING PERMITS:** 201510028734

2015-007537PRV

Brittany Bendix Tel: 415-575-9114

Project Review Meetings (PRV) 245 Euclid Avenue

245 Euclid Avenue (1069/035); Second Project Review meeting to discuss a proposed vertical addition post 5/19/15 pre-app meeting with neighbors to consider relocating vertical addition into rear yard setback. To minimize impacts to neighbors' views at 14 and 106 Collins and the feasibility of a Variance approval. Applicant is already applying for a Variance for a deck expansion in rear yard setback > 3'-0" above (E) grade.

OPENED	STATUS	ADDRESS	FURTHER INFO
6/16/2015	Under Review 6/23/2015	245 EUCLID AVE 94118	<u>View</u>

RELATED RECORDS: None

2015-002967PRV

SLA Tel: 558-6377

Project Review Meetings (PRV) 245 Euclid Avenue

245 Euclid Avenue (1069/035); Project review meeting to review the following: 1) residential remodel and vertical addition of 710 sf "penthouse" suite with bedroom, bathroom, dressing area on existing roof 11 feet higher than existing roof; 2) rear yard Variance due to expansion of existing patio <36" above existing grade in rear yard; 3) proposed removal of existing shrub, new fence and sidewalk, landscaping proposed.

OPENED	STATUS	ADDRESS	FURTHER INFO
3/11/2015	Under Review 3/24/2015	245 EUCLID AVE 94118	View

RELATED RECORDS: None

2013.0372E

Planning Information Center Tel:
558-6377

Environmental (ENV) 245 EUCLID AV

Add master suite on top of existing structure; no soil excavation involved

OPENED	STATUS	ADDRESS	FURTHER INFO
3/27/2013	Closed - CEQA Clearance Issued 8/8/2013	245 EUCLID AV, SAN FRANCISCO, CA 94118	View

RELATED RECORDS: [2013.0372](#)
- [2013.0372E](#)

2013.0372

Planning Information Center Tel:
558-6377

Project Profile (PRJ) 245 EUCLID AV

Add master suite on top of existing structure; no soil excavation involved

OPENED	STATUS	ADDRESS	FURTHER INFO
3/27/2013	Closed	245 EUCLID AV, SAN FRANCISCO, CA 94118	View

RELATED RECORDS: [2013.0372](#)
- [2013.0372E](#) **RELATED BUILDING PERMITS:** None

10564PRV

David Lindsay Tel: 415-558-6393

Project Review Meetings (PRV) 245 Euclid Avenue (1069/035); Project Review Meeting on proposed vertical addition; including feedback on historical site permit,

245 Euclid Avenue (1069/035); Project Review Meeting on proposed vertical addition; including feedback on historical site permit, other requirements, EE, HRER.

OPENED	STATUS	ADDRESS	FURTHER INFO
7/23/2012	Closed - Informational 8/1/2012	245 EUCLID AV, SAN FRANCISCO, CA 94118	View

RELATED RECORDS: None

SHORT TERM RENTALS:

None

Building Permits Report: 245 EUCLID

Applications for Building Permits submitted to the Department of Building Inspection.

BUILDING PERMITS:

Permit:	<u>201510028734</u>
Form:	3 - Alterations With Plans
Filed:	10/2/2015
Address:	245 EUCLID AV
Parcel:	1069/035
Existing:	1 FAMILY DWELLING
Proposed:	1 FAMILY DWELLING
Existing Units:	1
Proposed Units:	1
Status:	FILED, FILING, TRIAGE
Status Date:	10/2/2015 2:25:59 PM
Description:	RENOVATE EXISTING SINGLE FAMILY, 3RD STORY VERTICAL ADDITION & INFILL ADDITION OF BATH AT GROUND FLOOR, EXPAND EXISTING PATIO W/ REAR/SIDE YARD, REMOVE EXISTING SHRUB & ADD UNDER SIDEWALK, LANDSCAPE PERMIT IN PUBLIC RIGHT OF WAY UNDER SEPERATE PERMIT.
Cost:	\$750,000.00
Permit:	<u>201208288375</u>
Form:	8 - Alterations Without Plans
Filed:	8/28/2012
Address:	245 EUCLID AV
Parcel:	1069/035
Existing:	1 FAMILY DWELLING
Proposed:	1 FAMILY DWELLING
Existing Units:	1
Proposed Units:	1
Status:	APPROVED, ISSUED
Status Date:	8/28/2012 10:08:58 AM
Description:	REPLACE (2) ROTTED WINDOWS SASH, SAME KIND & MATERIAL & LOOK WOOD CASEMENT IN FRONT.
Cost:	\$2,000.00
Permit:	<u>201103242774</u>
Form:	8 - Alterations Without Plans
Filed:	3/24/2011
Address:	245 EUCLID AV
Parcel:	1069/035
Existing:	1 FAMILY DWELLING
Proposed:	1 FAMILY DWELLING
Existing Units:	1
Proposed Units:	1
Status:	COMPLETE
Status Date:	7/5/2011
Description:	REMODEL 2 BATHS, KITCHEN REMOVE WALLS IN DINING ROOM, NEW SKYLIGHT IN MASTER BEDROOM, ASSOC STRUCUTRAL AND SOME NEW LIGHTING
Cost:	\$43,000.00
Permit:	<u>200104025775</u>
Form:	8 - Alterations Without Plans

Filed:	4/2/2001 11:21:01 AM
Address:	245 EUCLID AV
Parcel:	1069/035
Existing:	1 FAMILY DWELLING
Proposed:	1 FAMILY DWELLING
Existing Units:	1
Proposed Units:	1
Status:	COMPLETE
Status Date:	4/9/2001
Description:	REPLACE 1 PATIO DOOR WITH 2 SIDELIGHTS & 1 WINDOW SAME IN KIND TO WHITE VINYL SLIDING PATIO DOOR WIT
Cost:	\$4,000.00
Permit:	<u>9413148</u>
Form:	8 - Alterations Without Plans
Filed:	8/17/1994
Address:	245 EUCLID AV
Existing:	1 FAMILY DWELLING
Proposed:	1 FAMILY DWELLING
Existing Units:	1
Proposed Units:	1
Status:	EXPIRED
Status Date:	12/17/1994
Description:	REROOFING.
Cost:	\$3,900.00

Miscellaneous Permits Report: 245 EUCLID

Depending on the activity being proposed a permit may need to be obtained from the Fire Department, Health Department, Police Department, Alcoholic Beverage Commission or other organization. The Planning Department reviews most applications for these permits in order to ensure compliance with the Planning Code.

MISCELLANEOUS PERMITS REVIEWED BY THE PLANNING DEPT:

None

Complaints Report: 245 EUCLID

The Planning Department and the Department of Building Inspection operate programs that ensure compliance with the San Francisco Planning Code and Building Inspection Commission Codes respectively. Additionally, they respond to customer complaints of potential code violations and initiate fair and unbiased enforcement action to correct those violations and educate property owners to maintain code compliance.

COMPLAINTS - PLANNING DEPT:

None

Appeals Report: 245 EUCLID

Planning Projects, Building Permits and Zoning Determinations appealed to the San Francisco Board of Appeals.

APPEALS:

None

Block Book Notifications Report: 245 EUCLID

A Block Book Notification (BBN) is a request made by a member of the public to be notified of permits on any property that is subject to the San Francisco Planning Code.

BLOCK BOOK NOTIFICATIONS:

None

The Disclaimer: The City and County of San Francisco (CCSF) does not guarantee the accuracy, adequacy, completeness or usefulness of any information. CCSF provides this information on an 'as is' basis without warranty of any kind, including but not limited to warranties of merchantability or fitness for a particular purpose, and assumes no responsibility for anyone's use of the information.

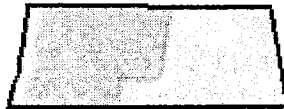
Printed: 4/20/2016

<http://propertymap.sfplanning.org>



SAN FRANCISCO PLANNING DEPARTMENT

Report for: 104 COLLINS



Property Report: 104 COLLINS

General information related to properties at this location.

PARCELS (Block/Lot):

1069/034

ADDRESSES:

104 COLLINS ST, SAN FRANCISCO, CA 94118

NEIGHBORHOOD:

Presidio Heights

CURRENT PLANNING TEAM:

NW Team

PLANNING DISTRICT:

District 1: Richmond

SUPERVISOR DISTRICT:

District 2 (Mark Farrell)

CENSUS TRACTS:

2010 Census Tract 015400

TRAFFIC ANALYSIS ZONE:

Traffic Analysis Zone: 687

RECOMMENDED PLANTS:

Would you like to grow plants that create habitat and save water? Check out the plants that we would recommend for this property at SF Plant Finder.

CITY PROPERTIES:

None

PORT FACILITIES:

None

ASSESSOR'S REPORT:

Address:	104 COLLINS ST
Parcel:	1069034
Assessed Values:	
Land:	\$1,165,323.00
Structure:	\$499,423.00
Fixtures:	-
Personal Property:	-
Year Built:	1954
Building Area:	1,531 sq ft
Parcel Area:	3,702 sq ft
Units:	1
Stories:	1

Zoning Report: 104 COLLINS

Planning Department Zoning and other regulations.

ZONING DISTRICTS:

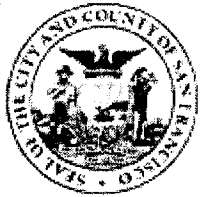
RH-1 - RESIDENTIAL- HOUSE, ONE FAMILY

HEIGHT & BULK DISTRICTS:

40-X

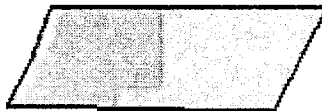
SPECIAL USE DISTRICTS:

Within 1/4 Mile of an Existing Fringe Financial Service



SAN FRANCISCO PLANNING DEPARTMENT

Report for: 106 COLLINS



Property Report: 106 COLLINS

General information related to properties at this location.

PARCELS (Block/Lot):

1069/033

ADDRESSES:

106 COLLINS ST, SAN FRANCISCO, CA 94118

NEIGHBORHOOD:

Presidio Heights

CURRENT PLANNING TEAM:

NW Team

PLANNING DISTRICT:

District 1: Richmond

SUPERVISOR DISTRICT:

District 2 (Mark Farrell)

CENSUS TRACTS:

2010 Census Tract 015400

TRAFFIC ANALYSIS ZONE:

Traffic Analysis Zone: 687

RECOMMENDED PLANTS:

Would you like to grow plants that create habitat and save water? Check out the plants that we would recommend for this property at SF Plant Finder.

CITY PROPERTIES:

None

PORT FACILITIES:

None

ASSESSOR'S REPORT:

Address:	106 COLLINS ST
Parcel:	1069033
Assessed Values:	
Land:	\$710,510.00
Structure:	\$473,671.00
Fixtures:	-
Personal Property:	-
Year Built:	1950
Building Area:	1,649 sq ft
Parcel Area:	3,955 sq ft
Units:	1
Stories:	1

Zoning Report: 106 COLLINS

Planning Department Zoning and other regulations.

ZONING DISTRICTS:

RH-1 - RESIDENTIAL- HOUSE, ONE FAMILY

HEIGHT & BULK DISTRICTS:

40-X

SPECIAL USE DISTRICTS:

Within 1/4 Mile of an Existing Fringe Financial Service



SAN FRANCISCO PLANNING DEPARTMENT

Report for: 1 LUPINE

1069/049



1069/049

1069/050

Property Report: 1 LUPINE

General information related to properties at this location.

PARCELS (Block/Lot):

1069/049-050 (2 lots)

ADDRESSES:

1 LUPINE AVE, SAN FRANCISCO, CA 94118 (parcel 1069/049)

3 LUPINE AVE, SAN FRANCISCO, CA 94118 (parcel 1069/050)

NEIGHBORHOOD:

Presidio Heights

CURRENT PLANNING TEAM:

NW Team

PLANNING DISTRICT:

District 1: Richmond

SUPERVISOR DISTRICT:

District 2 (Mark Farrell)

CENSUS TRACTS:

2010 Census Tract 015400

TRAFFIC ANALYSIS ZONE:

Traffic Analysis Zone: 687

RECOMMENDED PLANTS:

Would you like to grow plants that create habitat and save water? Check out the plants that we would recommend for this property at SF Plant Finder.

CITY PROPERTIES:

None

PORT FACILITIES:

None

ASSESSOR'S REPORT:

Address: 1 LUPINE AV

Parcel: 1069049

Assessed Values:

Land: \$415,748.00

Structure: \$415,748.00

Fixtures: -

Personal Property: -

Year Built: 1950

Building Area: 1,688 sq ft

Parcel Area: -

Units: -

Stories: -

Address: 3 LUPINE AV

Parcel: 1069050

Assessed Values:

Land: \$734,298.00

Structure: \$734,299.00

Fixtures: -

Personal Property: -

Year Built: 1950

Building Area: 1,700 sq ft

Parcel Area: -

Units: -

Stories: -

RESPONSE TO DISCRETIONARY REVIEW (DRP)



San Francisco
Planning

SAN FRANCISCO PLANNING DEPARTMENT
1650 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94103-2479
MAIN: (415) 558-6378 SFPLANNING.ORG

Project Information

Property Address:

Zip Code:

Building Permit Application(s):

Record Number:

Assigned Planner:

Project Sponsor

Name:

Phone:

Email:

Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.


3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)		
Occupied Stories (all levels with habitable rooms)		
Basement Levels (may include garage or windowless storage rooms)		
Parking Spaces (Off-Street)		
Bedrooms		
Height		
Building Depth		
Rental Value (monthly)		
Property Value		

I attest that the above information is true to the best of my knowledge.

Signature: 	Date:
Printed Name:	<input type="checkbox"/> Property Owner <input type="checkbox"/> Authorized Agent

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

September 12th, 2016

Response to Discretionary Review

Project Information:

Address: 245 Euclid Ave

Block/Lot: 1069/035

BPA/Case No.: 2015-10-02-8734

Project Status: DR Filed

- 1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)**
 - a) It is well within the applicable basic zoning controls (with the exceptions of the minor rear yard setback encroachment for which Variance is sought).
 - b) It is in substantial conformance to the Residential Design Guideline as evidenced by the Department's position – the vertical addition placed and sized sensitively to minimize impacts to the neighbors; the cohesive massing design that integrates the vertical addition and the side patio expansion into a holistic whole that responds well to the corner lot condition; the new landscape improvements in support of the design of the house that wraps along the two street frontages to help make the streetscape transition from Collins St to Euclid Ave.
 - c) Throughout our design process, we have worked diligently by soliciting input from the Planning Department and the neighbors through two separate Project Review meetings and two separate Pre-Application meetings. A notable example of our willingness to work with the neighbors includes an exploration of an alternate design scheme. With considerable delay and costs, the new vertical addition was entirely redesigned at one point and evaluated to see if a scheme suggested during a meeting with the neighbors was feasible.
- 2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.**
 - a) **Elevated Patio Retaining Wall:** In response to the Planning Department feedback received through the Project Review meeting prior to the filing of the project application, the design of the retaining wall and the fence along the edges of the elevated patio expansion was refined to visually break-up and soften-up these elements. The proportion of the concrete was reduced and additional layers of green screening (shade-tolerant vine, tall grasses and street trees) were introduced with the help of the landscape architect. While the changes were not made subsequent to the DR request, we feel that we have already devoted sufficient efforts to the design problem and have come up with a successful solution.

- b) **Addition – Alternate Design:** In response to a suggestion raised during the initial Pre-Application meeting, the placement of the vertical addition was entirely redesigned and its feasibility evaluated through additional round of Project Review meeting. The alternate design would require an additional Variance (as the vertical addition sits largely within the rear yard setback) but would help to alleviate the concern of the neighbors. With considerable delay and costs, the alternate design was drafted and presented. The alternate design was ultimately abandoned as it was concluded through the Project Review meeting that the original design was far more sensible, and in keeping with both the zoning controls and the Residential Design Guidelines.
 - c) **Elevated Patio Railing/Fence:** Subsequent to the filing of the DR request, the design of the railing/fence along the elevated patio was redesigned to lend a level of transparency and openness along the west-facing portion. The vertical wood boards along this section of the railing/fence were turned (made co-planer to those boards along north-facing portion) so that the railing/patio starts to visually dissolve through the openings between the boards when seen from the Collins St side, and as one approaches the building entry.
 - d) **Ground Level Corner In-fill Addition:** Subsequent to the filing of the DR request, a new window was introduced to visually articulate this section of the façade and to add a level of transparency.
3. **If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.**

A home to a growing family with three young children, additional bedrooms and bathrooms are needed to turn the existing house into a long-term home to support their growing needs. The existing second bedroom is substandard in size, while the ground-level bonus room was a quick conversion of a previously unfinished space and not desirable as a permanent bedroom. A sensitively sized and placed vertical addition is the least impactful way to add floor area without needing to redesign the entire house from a scratch. The proposed vertical addition is just large enough to fit the master suite and the vertical circulation; and is substantially recessed from the Collins St frontage so as to keep its impact to the streetscape along Collins St to a minimal. This allowed us to avoid the need to awkwardly expand the building footprint horizontally towards Euclid Ave – which would have been more impactful to the Euclid Ave streetscape, and likely would have resulted with a design in conflict with the Residential Design Guideline. There are no windows at the new third-level that will have impact on the neighbor's privacy, and the massing will have no impact to the neighbors' access to light and air.

Owning to the pre-existing site constraints, the small elevated side patio is the only private outdoor open space currently afforded to the family. The expansion of the northern boundary of the existing patio by five-feet to the lot line will help alleviate the lack of open outdoor space typically afforded and protected by the Planning Code. An up-sloping lot with excess of twenty-feet in elevation change from the low (street) to the high (southeast corner), a portion of the yard has been terraced to reconcile the preexisting grade and to create a usable yard area roughly at the finish floor elevation of the second floor of the building when the house was originally constructed. The existing concrete retaining wall paralleling the side lot line (along Euclid Ave) is currently offset five-feet from the said lot line, and is capped

with 4'-10" tall wood fence/railing. Currently, overgrown hedge occupies the area between the existing retaining wall and the side lot line, as the area is effectively treated as an extension of the 4'-0" wide planting strip along the sidewalk in the public R.O.W.

The new wood fence/railing will be no taller than the existing condition, and placed along the edges of the property. Because the bulk of the proposed patio expansion with fences along the lot lines will be no greater than the combined perceived bulk of the existing patio, the fences and the overgrown hedge; we do not believe the proposed change will result in negative impact to the neighborhood. The patio extension will not only have lesser visual bulk than that of the existing overgrown hedge, but it will also contribute to the beautification of the streetscape with the layers of new green screening elements (consisting of vine, tall grasses and series of street trees) employed along the remaining 4'-0" swath of planting strip to soften the visual impact of the retaining wall and the fence. The native grass will continue along the remaining Euclid Ave frontage (i.e. side yard), wrapping around the corner and onto the Collins St frontage (i.e. front yard). The gradual and intentional landscape design will help to strengthen the design of the corner lot as an effective transition element between two contrasting parts of the block - rears of RH-3 lots with larger structures to streetscape typical to RH-1 neighborhood. The usable clear width of the sidewalk will remain unchanged.

SITE CONTEXT OVERVIEW: The subject property is located in a mixed and transitional block of Laurel Heights containing four types of zoning districts (RH-1, RH-2, RH-3 & NC-3). Within one-block radius along Euclid Ave, there are six zoning districts (RH-1, RH-2, RH-3, RM-1, RM-2 & P), and this RH-1 corner lot marks the end to a series of RH-3 lots to the east. Starting from the Masonic Ave intersection two blocks to the east, the streetscape along south side of Euclid Ave consists predominantly of rear elevations of three to four story residential buildings (typically three-units) with upsloping rear yards. Grade change of three feet or more is commonly seen between the edge of these rear yards and the adjacent sidewalk elevation with concrete retaining walls capped by wood fences separating the yards from the sidewalk. Use/scale of the buildings transitions to those typical to RH-1 as the block turns the corner down Collins St.

A fan-shaped corner lot at the end of an irregularly shaped block with substantial grade change, the lot is considerably shallower in depth when compared to the other lots on the block. With over 20' in elevation change from the sidewalk to the rear corner of the lot, the rear portion of the existing two-story single-family home is buried against the upsloping grade with the floor of the upper story coming level with the existing higher grade at the rear portion of the lot. The existing encroachment into the rear yard setback by the existing addition limits the usable rear yard with proper light and privacy.

All of the residentially zoned lots with either Collins St or Wood St frontages are able to enjoy the benefit of the mid-block open space, while the residentially zoned lots with Lupine Ave frontages are able to enjoy appropriately sized rear yards fronting Euclid Ave. Unlike the rest of the residentially zoned lots on the block, the subject property is afforded with very limited opportunity for proper open outdoor space, owing both to the unique characters of the site (corner lot, severe grade changes) and the footprint of the existing development.

Because the edge of the existing patio was held five-feet away from the property line when it was originally constructed, this five-foot sliver of the property between the edge of the sidewalk along the Euclid Ave and the existing retaining wall is currently rendered unusable unless. The sliver of land between the retaining wall and the sidewalk is at the sidewalk elevation and overgrown with tall hedge in excess of twelve-feet that visually overwhelms the streetscape and renders this marginal space unworkable.



Prevailing pattern of Euclid Ave streetscape at 100 block



NE corner condition of 200-300 block of Euclid Ave



Prevailing pattern of Euclid Ave streetscape at 200-300 block



Existing condition at NE corner of subject property, seen from sidewalk



View from existing raised patio showing height of overgrown hedge relative to existing fence/railing



View of neighboring structures, looking east from existing roof











PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
245 EUCLID AVENUE
SAN FRANCISCO, CA
94118

BLOCK/LOT
1069/035

CLIENT
DAGNY MAIDMAN

FA JOB NO.
14-009

MAIDMAN RESIDENCE SAN FRANCISCO, CA

PROJECT DIRECTORY

ARCHITECT
FELDMAN ARCHITECTURE
1005 SANSOME ST, STE 240
SAN FRANCISCO, CA 94111
PHONE: 415 252 1441 X25 (HELMINA)
X23 (TAI)
FAX: 415 252 1442
CONTACT: HELMINA KIM, TAI IKEGAMI
EMAIL: HKIM@FELDMANARCH.COM
TIKEGAMI@FELDMANARCH.COM

OWNER
DAGNY MAIDMAN
PHONE: (415) 994-2049
EMAIL: THEDAGSTER@MAC.COM

GENERAL CONTRACTOR
TBD

PHONE:
FAX:
CONTACT:
EMAIL:

STRUCTURAL ENGINEER
TBD

PHONE:
FAX:
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LANDSCAPE DESIGN
LORETTA GARGAN LANDSCAPE + DESIGN
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GEOTECHNICAL ENGINEER / SHORING

PHONE:
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CONTACT:
EMAIL:

ARBORIST

PHONE:
FAX:
CONTACT:
EMAIL:

GREEN POINT RATER

PHONE:
FAX:
CONTACT:
EMAIL:

TITLE 24

PHONE:
FAX:
CONTACT:
EMAIL:

SURVEYOR

PHONE:
FAX:
CONTACT:
EMAIL:

DRAWING INDEX

GENERAL		ARCHITECTURAL	
A0.1	PROJECT INFO	A1.1	PROPOSED SITE PLAN
A0.3	GREEN BUILDING	A2.1	PROPOSED GROUND FLOOR PLAN
A0.4	EXISTING CONDITION IMAGES	A2.2	PROPOSED MAIN FLOOR PLAN
A0.5	EXISTING CONDITION IMAGES	A2.3	PROPOSED PENTHOUSE FLOOR PLAN
		A2.4	PROPOSED ROOF PLAN
		A3.1	BUILDING ELEVATIONS
		A3.2	BUILDING ELEVATIONS
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		A4.1	BUILDING SECTIONS
		A4.2	BUILDING SECTIONS
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		D3.1	EXISTING ELEVATIONS
		D3.2	EXISTING ELEVATIONS

ISSUE
SITE PERMIT & VARIANCE, RDT RESPONSE

DATE
08.12.2016

HISTORY

Δ	DESC.	DATE
1	SITE PERMIT REVISION	12.22.15

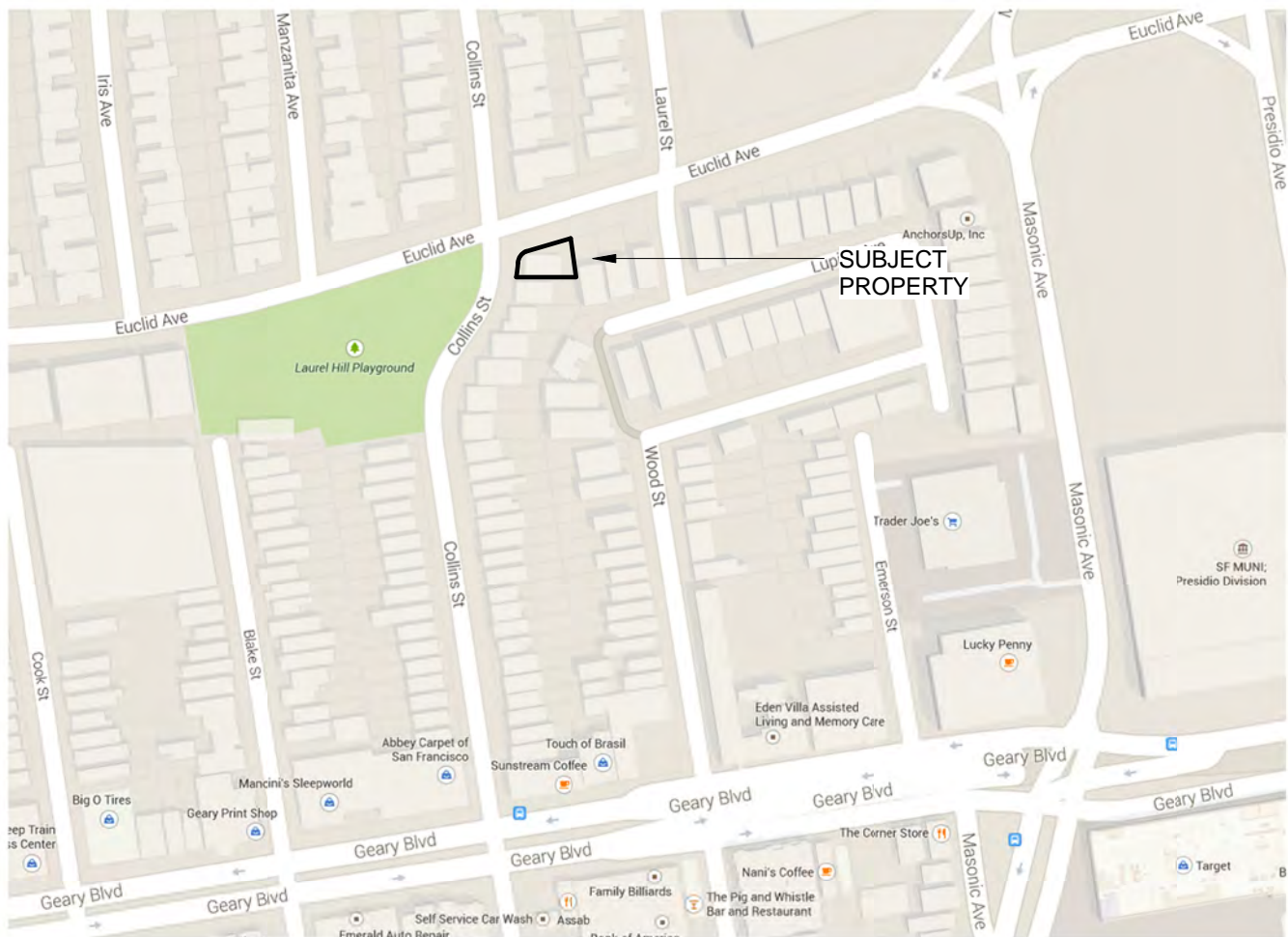
TITLE
COVER SHEET

A0.0
SHEET

VICINITY MAPS



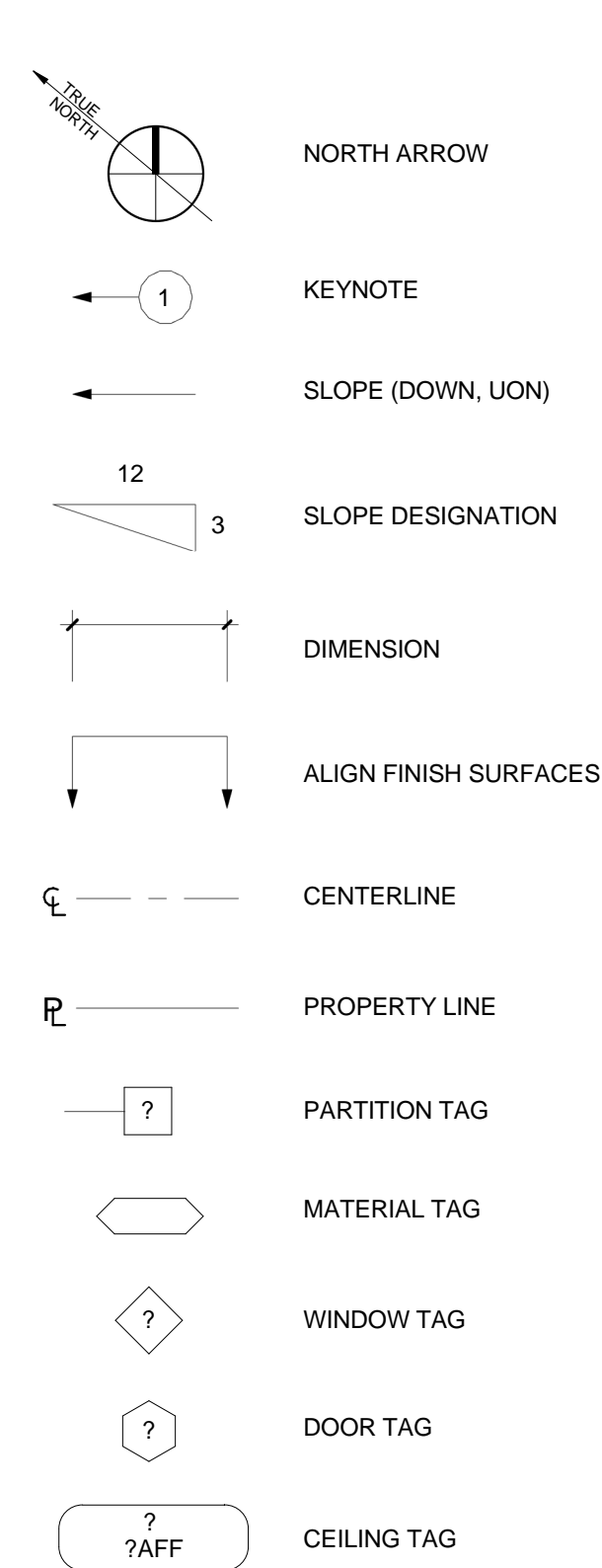
NEIGHBORHOOD PLAN



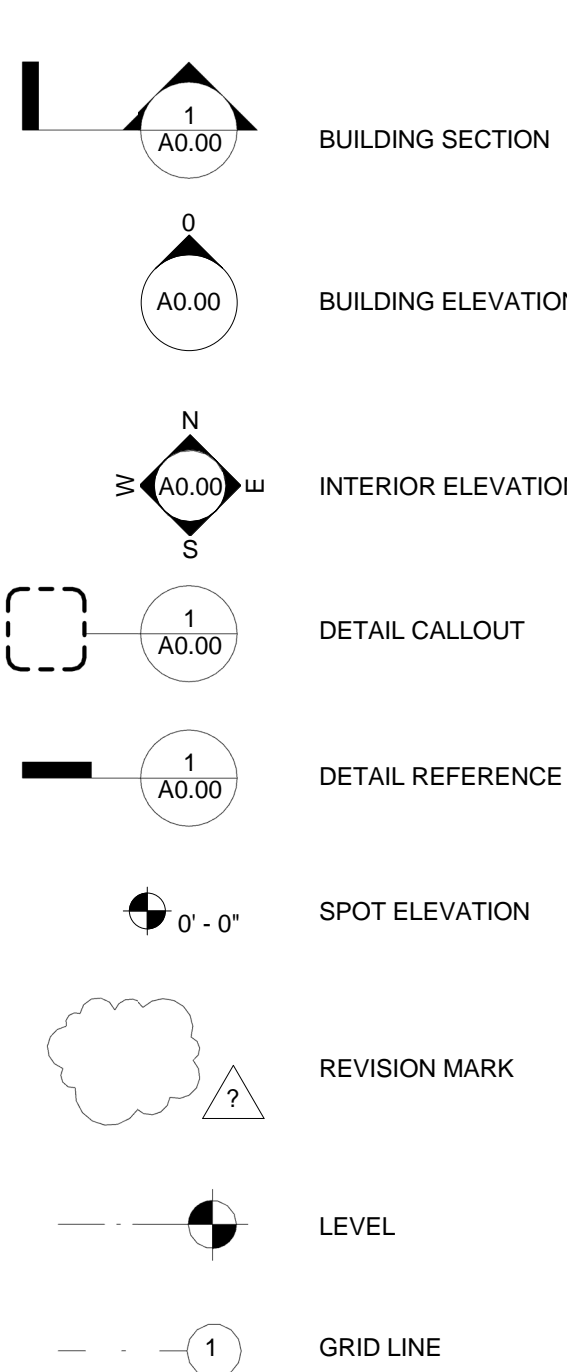
NEIGHBORHOOD PLAN

ARCHITECTURAL SYMBOLS

DRAWING SYMBOLS



REFERENCE SYMBOLS



ABBREVIATIONS

A	AB.	ANCHOR BOLT	J	JAN.	JANITOR
	ABV.	ABOVE		J-BOX	JUNCTION BOX
	A.C.	AIR CONDITIONING		J.H.	JOIST HANGER
	ADJUST.	ADJUST.		JNT.	JOINT
	AD.	AREA DRAIN		JST.	JOIST
	ADJ.	ADJUSTABLE	K	K.D.	KILN DRIED
	A.F.F.	ABOVE FINISHED FLOOR		KIT.	KITCHEN
	AGGR.	AGGREGATE	L	L	LONG LENGTH
	ALT.	ALTERNATE		LAM.	LAMINATE
	ALUM.	ALUMINUM		LAV.	LAVATORY
	ANOD.	ANODIZED		LB.	POUND
	AP	ACCESS PANEL		LCQ.	LACQUER
	APPROX.	APPROXIMATE		LP	LOW POINT
	ARCH.	ARCHITECTURAL		LT.	LIGHT
	BD.	BOARD		LTG.	LIGHTING
	BITUM.	BITUMINOUS	M	MACH.	MACHINE
	BLK.	BLOCK		MAT.	MATERIAL
	BLKG	BLOCKING		MAX.	MAXIMUM
	BLW.	BELOW		MECH.	MECHANICAL
	BLM.	BEAM		MEMB.	MEMBRANE
	BOT.	BOTTOM		MEZZ.	MEZZANINE
	BRKT.	BRACKET		MFR.	MANUFACTURER
	BTWN.	BETWEEN		MID.	MIDDLE
	B.U.R.	BUILT UP ROOFING		MIN.	MINIMUM/MINUTE
	C.	CENTER TO CENTER		MIRR.	MIRROR
C	C.B.	CATCH BASIN		MISC.	MISCELLANEOUS
	CEM.	CEMENT		M.O.	MASONRY OPENING
	CER.	CERAMIC		M.P.	METAL PANEL
	C.J.	CONCRETE JOINT		M.S.	MOTION SENSOR
	CLG.	CEILING		MTD.	MOUNTED
	CLKG.	CAULKING		MTG.	MOUNTING
	CLR.	CLEAR		MTL.	METAL
	C.M.U.	CONCRETE MASONRY UNIT		MUL.	MULLION
	COL.	COLUMN		MW.	MICROWAVE
	COMB.	COMBINATION	N	(N)	NEW
	CONC.	CONCRETE		N	NORTH
	CONN.	CONNECTION		N.I.C.	NOT IN CONTRACT
	CONSTR.	CONSTRUCTION		NO.	NUMBER
	CONT.	CONTINUOUS		NOM.	NOMINAL
	CONTR.	CONTRACTOR		N.T.S.	NOT TO SCALE
	CPT.	CARPET	O	O/	OVER
	C.T.	CERAMIC TILE		O.A.	OVERALL
	CTR.	CENTER		O.C.	ON CENTER
	CW	COLD WATER		O.D.	OUTSIDE DIMENSION
	D	DEEP/DEPTH		OH.	OVERHEAD
	DBL.	DOUBLE		OPG.	OPENING
	DEG.	DEGREE		OPP.	OPPOSITE
	DEMO	DEMOTITION	P	PCT.	PRE-CAST
	DEPT.	DEPARTMENT		PERF.	PERFORATED
	DETD.	DETAIL		P.L.P.	PERPENDICULAR
	D.F.	DRINKING FOUNTAIN		P.L.	PROPERTY LINE
	DIAG.	DIAGONAL		P.LAM.	PLASTIC LAMINATE
	DIA.	DIAMETER		PLAS.	PLASTER
	DIM.	DIMENSION		PLYWD.	PLYWOOD
	DN.	DOWN		PNT.	PAINT
	DR.	DOOR		PTD	PAINTED
	DS.	DOWNSPOUT		PR	PAIR
	DW.	DISHWASHER		PT.	POINT/PRESSURE TREATED
	DRAWING.	DRAWING		PWR.	POWER
	DWR.	DRAWER		Q.T.	QUANTITY
	(E)	EXISTING	Q	QTY.	QUANTITY
	E	EAST		(R)	REMODELED
	E.A.	EACH		R.	RISER
	E.B.	EXPANSION BOLT		RAD.	RADIUS
	E.J.	EXPANSION JOINT		R.B.	RUBBER BASE
	EL.	ELEVATION		RCP	REFLECTED CEILING PLAN
	ELEC.	ELECTRICAL		R.D.	ROOF DRAIN
	ELEV.	ELEVATOR		RECEP.	RECEPTACLE
	EMER.	EMERGENCY		RECT.	RECTANGULAR
	ENCL.	ENCLOSURE		REF.	REFERENCE
	ENGR.	ENGINEER		REFR.	REFRIGERATOR
	E.P.B.	ELECTRICAL PANEL BOARD		REINF.	REINFORCED
	EQ.	EQUAL		REOD.	REQUIRED
	EQ.	EQUIPMENT		RESIL.	RESILIENT
	EQ.	EACH WAY		RETG.	RETAINING
	EXP.	EXPANSION/EXPOSED		REV.	REVISION
	EXT.	EXTERIOR		RM	ROOM
	(F)	FUTURE		RND.	ROUND
	F.A.	FIRE ALARM		R.O.	ROUGH OPENING
	FABR.	FABRICATE		RWL	RAINWATER LEADER
	F.A.R.	FLOOR AREA RATIO		S	SOUTH
	F.B.	FLAT BAR		S.C.	SOLID CORE
	F.D.	FLOOR DRAIN		S.C.D.	SEE CIVIL DRAWINGS
	F.D.C.	FIRE DEPARTMENT CONNECTION		SCHED	SCHEDULE
	FDN/FND	FOUNDATION		SCR.	SCREEN
	F.E.	FIRE EXTINGUISHER		SCWD.	SOLID CORE WOOD DOOR
	F.E.C.	FIRE EXTINGUISHER CABINET		SECT.	SECTION
	F.F.	FINISH FLOOR		S.F.	SQUARE FOOT
	F.F.E.	FINISH FLOOR ELEVATION		SHT.	SHEET
	F.G.	FINISH GRADE		SHTG.	SHEATHING
	F.H.	FULL HEIGHT		SHWR.	SHOWER
	F.H.C.	FIRE HOSE CABINET		SIM.	SIMILAR
	F.H.M.S.	FLAT HEAD MACHINE SCREW		SKYL.T.	SKYLIGHT
	F.H.W.S.	FLAT HEAD WOOD SCREW		S.L.D.	SEE LANDSCAPE DRAWINGS
	FIN.	FINISH		S.M.D.	SEE MECHANICAL DRAWINGS
	FIXT.	FIXTURE		SMS.	SHEET METAL SCREW
	FL	FLOW LINE		S.M.W.P.	SHEET MEMBRANE
	FLR.	FLASHING		WATERPROOFING	
	FLUOR.	FLUORESCENT		SPEC.	SPECIFICATION
	F.O.	FINISHED OPENING		S.R.	SUPPLY REGISTER
	F.O.B.	FACE OF BRICK		SO.	SQUARE
	F.O.C.	FACE OF CONCRETE		S.S.	STAINLESS STEEL
	F.O.F.	FACE OF FINISH		S.S.D.	SEE STRUCTURAL DRAWINGS
	F.O.M.	FACE OF MASONRY		STD.	STANDARD
	F.O.S.	FACE OF STUD		STL.	STEEL
	FRFP.	FIREPROOFING		STOR.	STORAGE
	FT.	FOOT OR FEET		STRUC.	STRUCTURAL
	FTG.	FOOTING		SUR.	SURFACE
	FURR.	FURRING		SUSP.	SUSPENDED
G	G	GAS		SVC.	SERVICE
	GA.	GAUGE		SVY.	SURVEY
	GALV.	GALVANIZED		SYM.	SYMMETRICAL
	G.B.	GRAB BAR		TR	TREAD
	G.C.	GENERAL CONTRACTOR		T&B	TOP AND BOTTOM
	GD.	GARBAGE DISPOSAL		T&G	TONGUE AND GROOVE
	GEN.	GENERAL		T.B.	TOWEL BAR
	GFCl.	GROUND FAULT CIRCUIT INTERRUPTED		T.C.	TRASH CAN
	GL.	GLASS		T.D.	TRENCH DRAIN
	GLAZ.	GLAZED		TEMP.	TEMPERED
	GLB.	GLUE LAM BEAM		TER.	TERRAZZO
	GND.	GROUND		TG.	TEMPERED GLAZING
	GR.	GRADE		THK.	THICK
	GSM.	GALVANIZED SHEET METAL		THRES.	THRESHOLD
	GYP.	GYPSON		T.O.C.	TOP OF CONCRETE
	GYP BD.	GYPSON BOARD		T.O.P.	TOP OF PAVEMENT
H	H.B.	HIGH		TOPO.	TOPOGRAPHY
	H.C.	HANDICAPPED		T.O.S.	TOP OF STEEL
	H.C.	HOLLOW CORE		T.O.W.	TOP OF WALL
	HCWD.	HOLLOW CORE WOOD DOOR		TPO	THERMOPLASTIC OLEFIN
	HDWD.	HARDWOOD		U	TYPICAL
	HDWR.	HARDWARE		UNF.	UNFINISHED
	H.M.	HOLLOW METAL		V	UNLESS OTHERWISE NOTED
	HORIZ.	HORIZONTAL		VCT.	VINYL COMPOSITION TILE
	HP.	HIGH POINT		VER.	VERTICAL
	HR.	HOUR		VERT.	VERTICAL
	HT.	HEIGHT		VEST.	VESTIBULE
	HVAC	HEATING VENTILATION AIR CONDITIONING		VG.	VERTICAL GRAIN
	HW	HOT WATER		V.I.F.	VERIFY IN FIELD
I	I.D.	INSIDE DIAMETER		W	WEST/WIDE/WIDTH
	IN.	INCH		W/	WITH
	INCD.	INCANDESCENT		W.C.	WATER CLOSET
	INFO.	INFORMATION		WD.	WOOD
	INSUL.	INSULATION		WH.	WATER HEATER
	INT.	INTERIOR		WN.	WINDOW
				W/O	WITHOUT
				WP.	WATERPROOFING
				W.R.	WATER RESISTANT
				WT.	WEIGHT
				W.V.	WOOD VENEER

GENERAL NOTES

- ALL CONSTRUCTION AND INSTALLATION SHALL CONFORM TO THE FOLLOWING CODES: 2013 CALIFORNIA BUILDING, RESIDENTIAL, PLUMBING, MECHANICAL, ELECTRICAL CODE, STATE ENERGY STANDARDS, AND ANY OTHER GOVERNING CODES AND ORDINANCES.
- IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS OF BUILDING AND SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE REASONABLY BEEN INFERRED FROM SUCH AN EXAMINATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, LANDSCAPE, CIVIL, MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH SAME DISCIPLINES.
- ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.
- WHEN SHOWN IN PLAN, ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE, CENTERLINE OF COLUMNS, OR CENTERLINE OF STUD WITHIN WALL ASSEMBLIES, UNLESS OTHERWISE NOTED.
- WHEN SHOWN IN SECTION OR ELEVATION, ALL DIMENSIONS ARE TO TOP OF PLATE OR TOP OF CONCRETE UNLESS OTHERWISE NOTED.
- DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES.
- PROVIDE AND INSTALL 2x FLAT WOOD BLOCKING FOR ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.
- ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENINGS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND THE REQUIREMENTS OF THE CODES. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.
- VERIFY CLEARANCES FOR FLUES, VENTS, CHAGES, SOFFITS, FIXTURES, FIREPLACES, ETC., BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
- PROVIDE FIRE-BLOCKING @ ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL), AS PER 2013 CBC 717 & R302.11, FIRE-BLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
 - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT MIN. 10-FOOT INTERVALS.
 - IN CONCEALED INTERCONNECTIONS SUCH AS SOFFITS, DROP CEILINGS, COVE CEILINGS.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
 - IN OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, AND WIRES AT CEILING & FLR. LEVEL W/ AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME & PRODUCTS OF COMBUSTION.
- PROVIDE DRAFT-STOPPING @ ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL), AS PER 2013 CBC 717.3.4 & R302.11. DRAFT-STOPPS SHALL BE INSTALLED SO THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQ. FT. AND IS BELOW, DRAFT-STOPPING SHOULD BE PROVIDED IN THE FOLLOWING CIRCUMSTANCES:
 - SUSPENDED CEILING UNDER FLOOR FRAMING
 - OPEN WEB TRUSS OR PERFORATED FLOOR FRAMING MEMBERS.
- PRESSURE TREATED LUMBER TO BE USED IF IN DIRECT CONTACT WITH CONCRETE WALLS IF THERE IS NO PROVIDED AIR GAP.
- ALL EARTHWORK AND SITE DRAINAGE INCLUDING BASEMENT AND PIER EXCAVATION, PREPARATION OF THE SUBGRADE BENEATH HARDSCAPE, PLACEMENT AND COMPACTION OF ENGINEERED FILL BENEATH HARDSCAPE, BASEMENT RETAINING WALL BACKFILL, AND FINAL SURFACE DRAINAGE INSTALLATION SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. THE GEOTECHNICAL ENGINEER SHOULD BE PRESENT TO OBSERVE AND TEST, AS NECESSARY, THE EARTHWORK AND FOUNDATION INSTALLATION PHASES OF THE PROJECT.
- AN OPERATION AND MAINTENANCE MANUAL COMPACT DISC, WEB-BASED REFERENCE, OR OTHER MEDIA ACCEPTABLE TO THE CITY OF PALO ALTO INCLUDING, AT MINIMUM, THE ITEMS LISTED IN SECTION 4.410.1, SHALL BE COMPLETED AND PLACES IN THE BUILDING AT THE TIME OF FINAL INSPECTION.
- ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 4.504.1-4.504.3.
- STRUCTURAL OBSERVATION SHALL BE REQUIRED BY THE ENGINEER FOR STRUCTURAL CONFORMANCE TO THE APPROVED PLANS.

APPLICABLE CODES

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:

- 2013 CALIFORNIA RESIDENTIAL CODE
- 2013 CALIFORNIA BUILDING CODE
- 2013 CALIFORNIA MECHANICAL CODE
- 2013 CALIFORNIA ELECTRICAL CODE
- 2013 CALIFORNIA PLUMBING CODE
- 2010 CALIFORNIA ENERGY CODE (TITLE-24)
- 2013 CALIFORNIA FIRE CODE
- 2013 CALIFORNIA GREEN CODE
- ALL OTHER APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.

IN THE EVENT OF CONFLICTS IN CODE REQUIREMENTS, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. ANY CONFLICTS BETWEEN THE CONSTRUCTION DOCUMENTS AND THE ABOVE LISTED CODES AND ORDINANCES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR RESOLUTION BEFORE COMMENCING WITH THE WORK.

PROJECT DATA

WORK DESCRIPTION:		RENOVATE AN EXISTING SINGLE FAMILY RESIDENCE, 3RD STORY VERTICAL ADDITION AND INFILL ADDITION OF BATH AT GROUND FLOOR.	
		EXPAND EXISTING PATIO WITHIN REAR/ SIDE YARD.	
		REMOVE EXISTING SHRUB AND ADD PLANTING STRIP UNDER SIDEWALK LANDSCAPE PERMIT IN PUBLIC RIGHT OF WAY.	
APN:			
BLOCK/LOT:		1069/035	
OCCUPANCY GROUP:		R-3	
CONSTRUCTION TYPE:		V-B	
ZONING DISTRICT:		RH-1	
PERMITTED USE:		SINGLE FAMILY RESIDENCE	
EXISTING USE:		SINGLE FAMILY RESIDENCE	
PROPOSED USE:		SINGLE FAMILY RESIDENCE	
SETBACKS:			
REAR:		20'-9 1/2" (25% LOT DEPTH, 15' - 0" MIN.)	
FRONT:		7'-0" (AVG. OF (E) ADJ. BLDGS., FRONT SETBACK IS AT COLLINS ST. BY ZONING ADMINISTRATOR DETERMINATION.)	
SIDE:		N/A	
BUILDING HEIGHT:			
EXISTING:		18' - 8"	
PROPOSED:		29' - 8"	
PERMITTED:		35' - 0" HEIGHT LIMIT, AT FRONT PROPERTY LINE HEIGHT LIMIT IS 30'-0" INCREASED BY AN ANGLE OF 45 DEGREES FROM THE HORIZONTAL TOWARDS THE REAR OF LOT UNTIL 35'-0" IS REACHED.	
THE			
# OF STORIES:			
EXISTING:		2	
PROPOSED:		3	
SITE AREA:		4,033SF (PER SAN FRANCISCO ASSESSOR)	
FLOOR AREA (GROSS):			
	EXISTING	ADDITION	PROPOSED
LEVEL 1:	280 + 390 GARAGE	45	715
LEVEL 2:	2040	0	2040
LEVEL 3:	0	710	
TOTAL:	2710SF	755SF	3465SF
OFF STREET PARKING:			
REQUIRED:		1 PARKING SPACE	
EXISTING:		1 PARKING SPACE	
PROPOSED:		1 PARKING SPACE	

SPECIAL INSPECTIONS

VARIANCES

- EXPANSION OF (E) PATIO WITHIN REAR YARD, >36" ABOVE EXISTING GRADE
- FENCE HEIGHT @ REAR YARD >10' - 0"

DEFERRED SUBMITTALS



PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
**245 EUCLID AVENUE
SAN FRANCISCO, CA
94118**

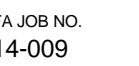
BLOCK/LOT
1069/035

CLIENT
DAGNY MAIDMAN

FA JOB NO.
14-009

ISSUE
**SITE PERMIT &
VARIANCE, RDT
RESPONSE**
DATE
08.12.2016
HISTORY
DESC. DATE
SITE PERMIT SUBMITTAL 10.02.15
1 SITE PERMIT REVISION 12.22.15

TITLE
PROJECT INFO



DESC.	DATE
SITE PERMIT SUBMITTAL	10.02.15



A1.1

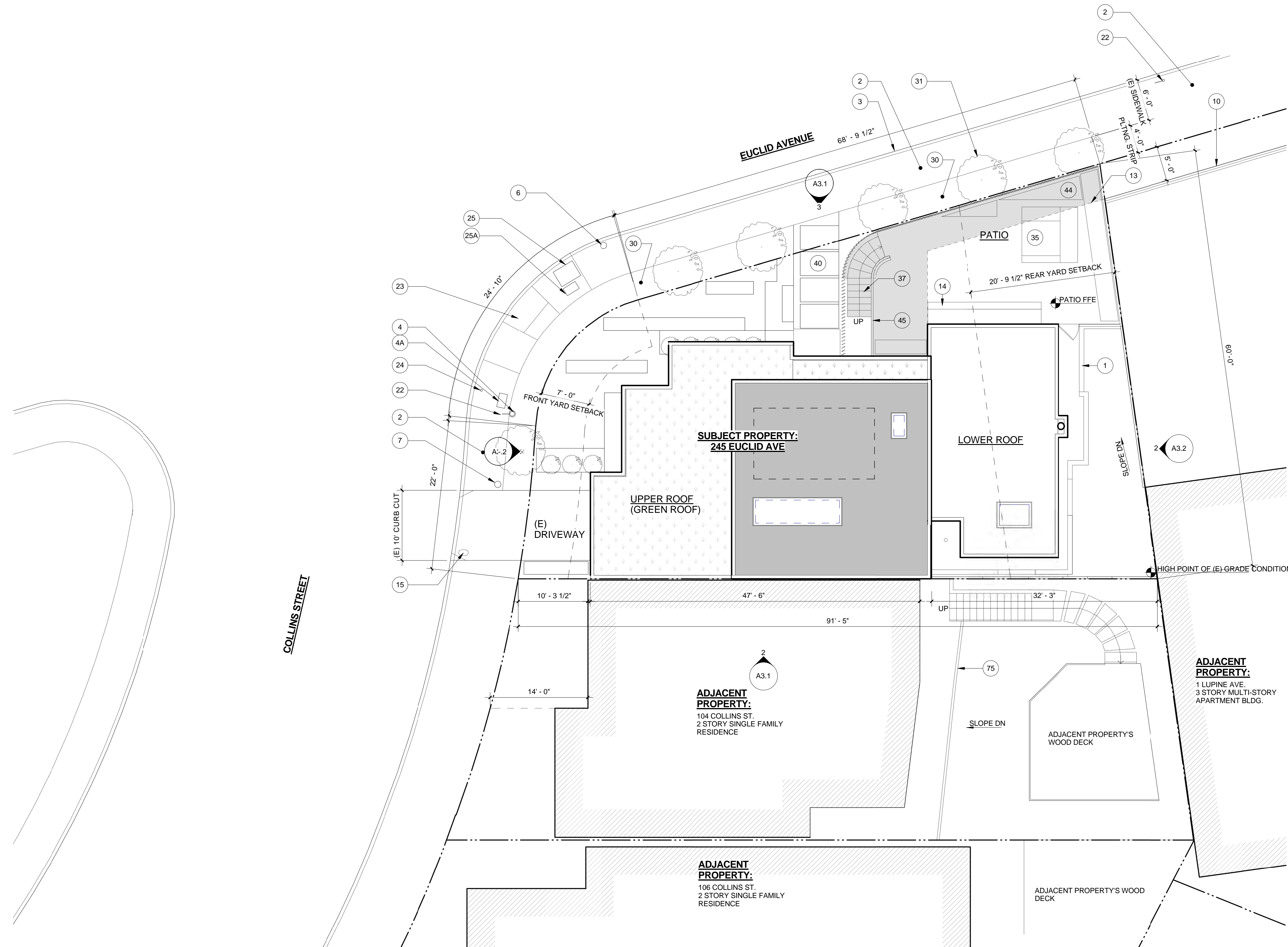
— . . . — PROPERTY BOUNDARY

- - - - - SETBACK LINE

 ADJACENT PROPERTY

 AREA OF PATIO EXPANSION

- 1 (E) CONCRETE RETAINING WALL TO BE DEMOLISHED
- 2 (E) SIDEWALK
- 3 (E) CURB
- 4 (E) STREET LIGHT
- 4A UTILITY BOX - STREET LIGHT
- 6 (E) FIRE ALARM CALL BOX
- 7 UTILITY BOX - GAS
- 10 (E) NEIGHBOR'S CONCRETE RETAINING WALL W/ WD
ACCESS ABOVE
- 13 OUTLINE OF (E) PATIO SHOWN DASHED
- 14 (E) STEPS TO PATIO, (N) FINISH TBD
- 15 (E) WATER METER
- 22 (E) PARKING SIGN
- 23 (E) RAMP WITH DETECTABLE WALKWAY
- 24 (E) STOP SIGN
- 25 (E) PG&E UTILITY VAULT
- 25A (E) PG&E UTILITY PUBLIC SAFETY ACCESS
- 30 (N) PLANTING STRIP
- 31 (N) STREET TREE - (6 TOTAL)
- 33 (N) HOT TUB 18" ABOVE DECK W/ STEP & BENCHES
- 37 (E) EXTERIOR W/ D STAIRS
- 40 (C) CONC. PAVERS
- 44 (N) RAISED PLANTER 12"-18" HT
- 45 (N) VERTICAL BD. GUARD RAIL @ PATIO
- 75 (E) NEIGHBOR'S LANDSCAPE RTG. WALL (30" HT
ABOVE REAR YARD)





PROJECT NAME
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BLOCK/KLOT
1069/035

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14-009

ISSUE
SITE PERMIT &
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RESPONSE
DATE
08.12.2016

HISTORY
DESC. DATE
SITE PERMIT SUBMITTAL 10.02.15
1 SITE PERMIT REVISION 12.22.15
2 SITE PERMIT & VARIANCE, RDT RESPONSE 08.12.16



TITLE
PROPOSED
GROUND FLOOR
PLAN

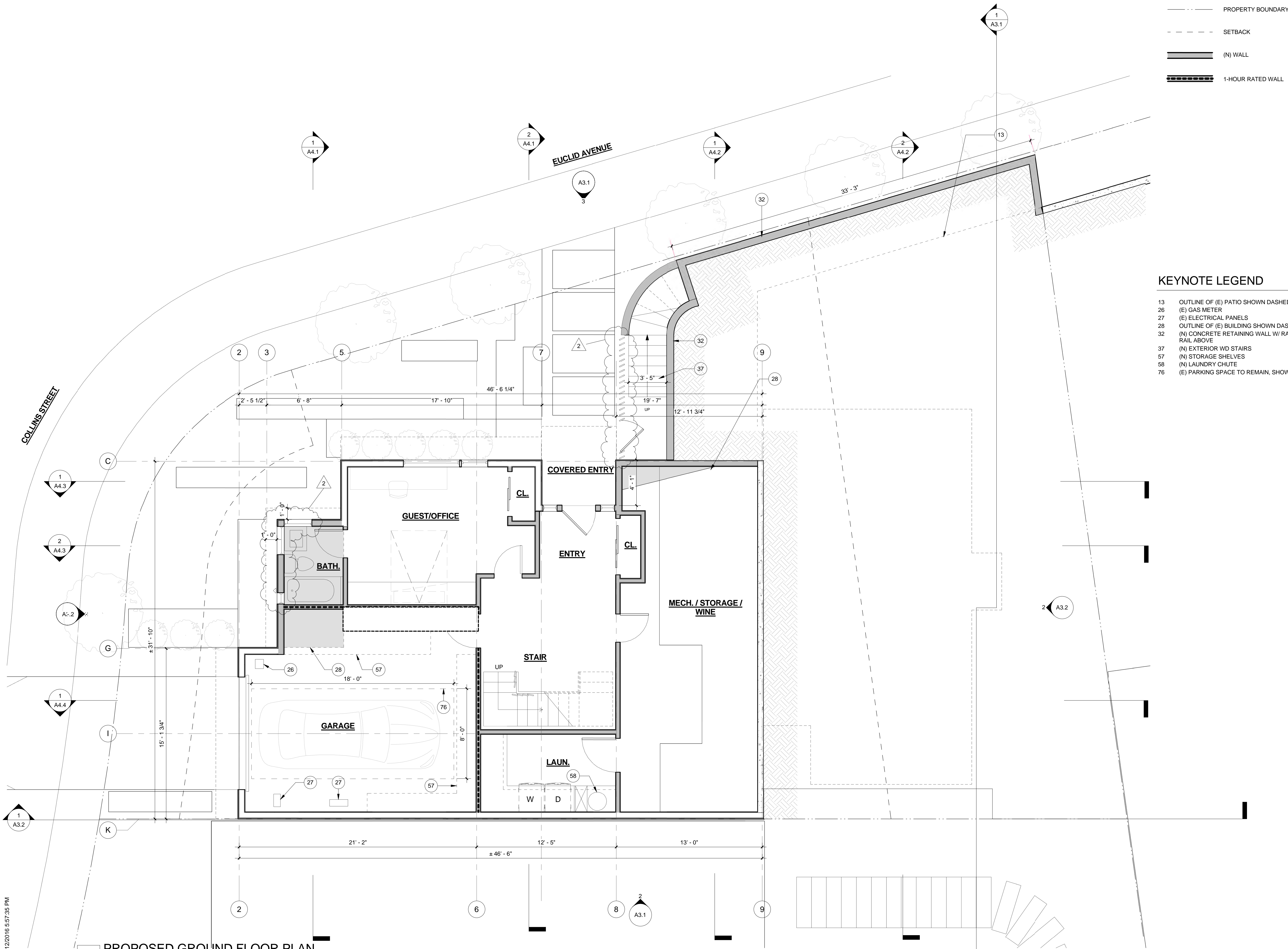
A2.1
SHEET

LEGEND

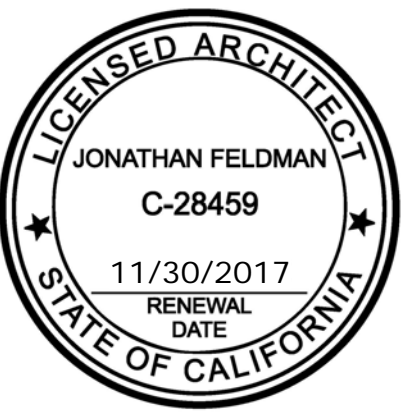
- PROPERTY BOUNDARY
- SETBACK
- (N) WALL
- 1-HOUR RATED WALL

KEYNOTE LEGEND

- 13 OUTLINE OF (E) PATIO SHOWN DASHED
- 26 (E) GAS METER
- 27 (E) ELECTRICAL PANELS
- 28 OUTLINE OF (E) BUILDING SHOWN DASHED
- 32 (N) CONCRETE RETAINING WALL W/ RAILING/GUARD RAIL ABOVE
- 37 (N) EXTERIOR WD STAIRS
- 57 (N) STORAGE SHELVES
- 58 (N) LAUNDRY CHUTE
- 76 (E) PARKING SPACE TO REMAIN, SHOWN DASHED



2 PROPOSED GROUND FLOOR PLAN
1/4" = 1'-0"



PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
245 EUCLID AVENUE
SAN FRANCISCO, CA
94118

BLOCKLOT
1069/035

CLIENT
DAGNY MAIDMAN

FA JOB NO.
14-009

ISSUE
SITE PERMIT &
VARIANCE, RDT
RESPONSE
DATE
08.12.2016

HISTORY
DESC. DATE
1 SITE PERMIT SUBMITTAL 10.02.15
2 SITE PERMIT & VARIANCE, RDT RESPONSE 08.12.16

TITLE
PROPOSED MAIN
FLOOR PLAN

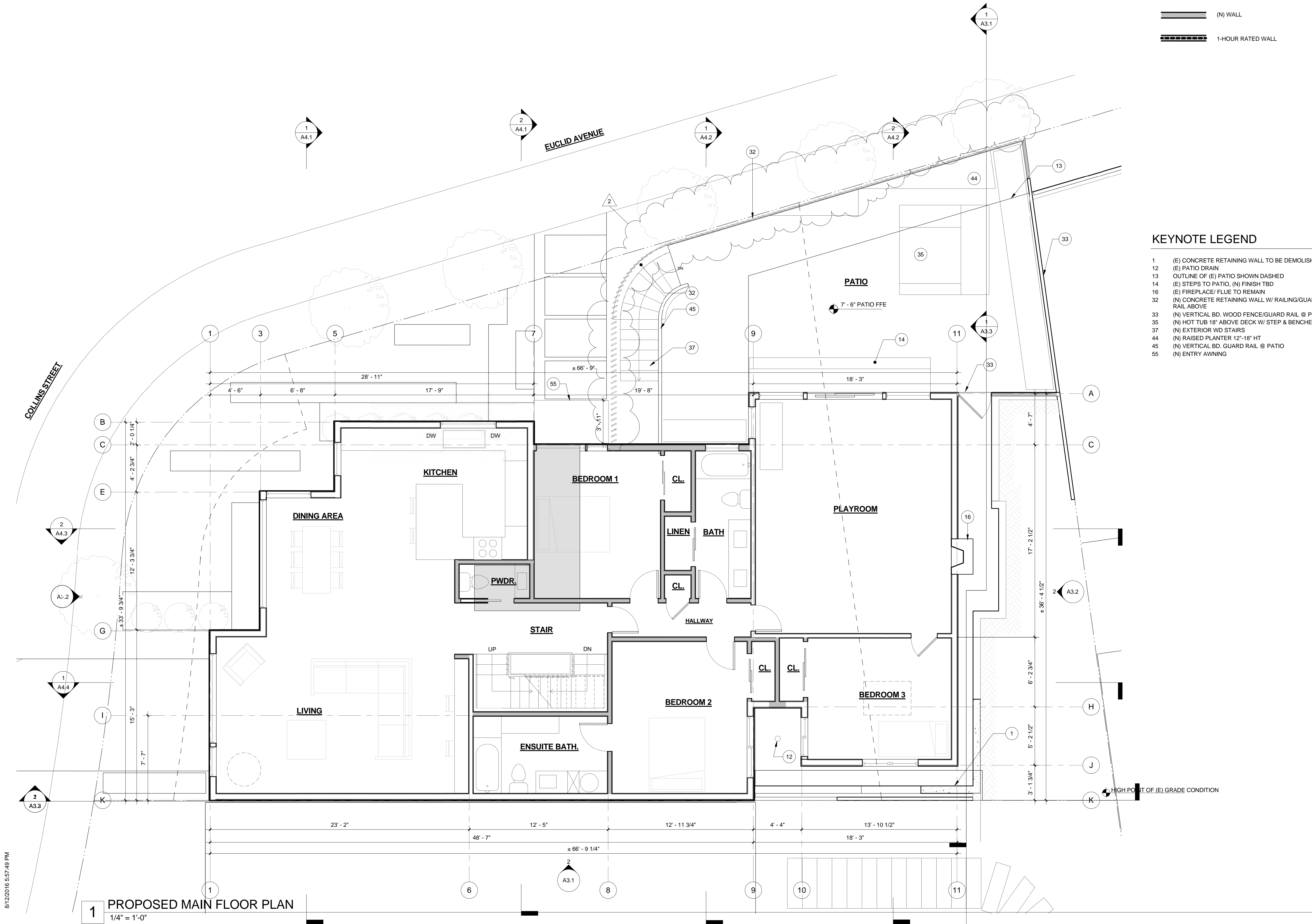
A2.2
SHEET

LEGEND

- PROPERTY BOUNDARY
SETBACK
(N) WALL
1-HOUR RATED WALL

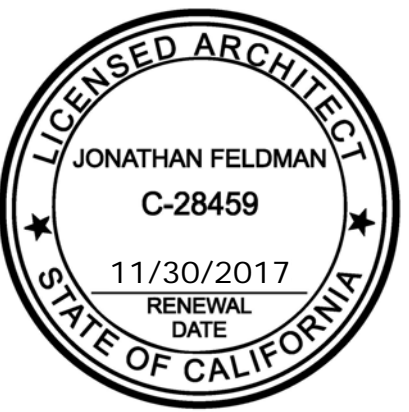
KEYNOTE LEGEND

- 1 (E) CONCRETE RETAINING WALL TO BE DEMOLISHED
12 (E) PATIO DRAIN
13 OUTLINE OF (E) PATIO SHOWN DASHED
14 (E) STEPS TO PATIO, (N) FINISH TBD
16 (E) FIREPLACE/ FLUE TO REMAIN
32 (N) CONCRETE RETAINING WALL W/ RAILING/GUARD RAIL ABOVE
33 (N) VERTICAL BD. WOOD FENCE/GUARD RAIL @ PATIO
35 (N) HOT TUB 18" ABOVE DECK W/ STEP & BENCHES
37 (N) EXTERIOR WD STAIRS
44 (N) RAISED PLANTER 12"-18" HT
45 (N) VERTICAL BD. GUARD RAIL @ PATIO
55 (N) ENTRY AWNING



1 PROPOSED MAIN FLOOR PLAN
1/4" = 1'-0"

8/12/2016 5:57:49 PM



PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
**245 EUCLID AVENUE
SAN FRANCISCO, CA
94118**

BLOCK/LOT
1069/035

CLIENT
DAGNY MAIDMAN

FA JOB NO.
14-009

ISSUE
**SITE PERMIT &
VARIANCE, RDT
RESPONSE**

DATE
08.12.2016

HISTORY
△ DESC. DATE
1 SITE PERMIT SUBMITTAL 10.02.15
2 SITE PERMIT & VARIANCE, RDT RESPONSE 08.12.16

TITLE
**PROPOSED
PENTHOUSE FLOOR
PLAN**

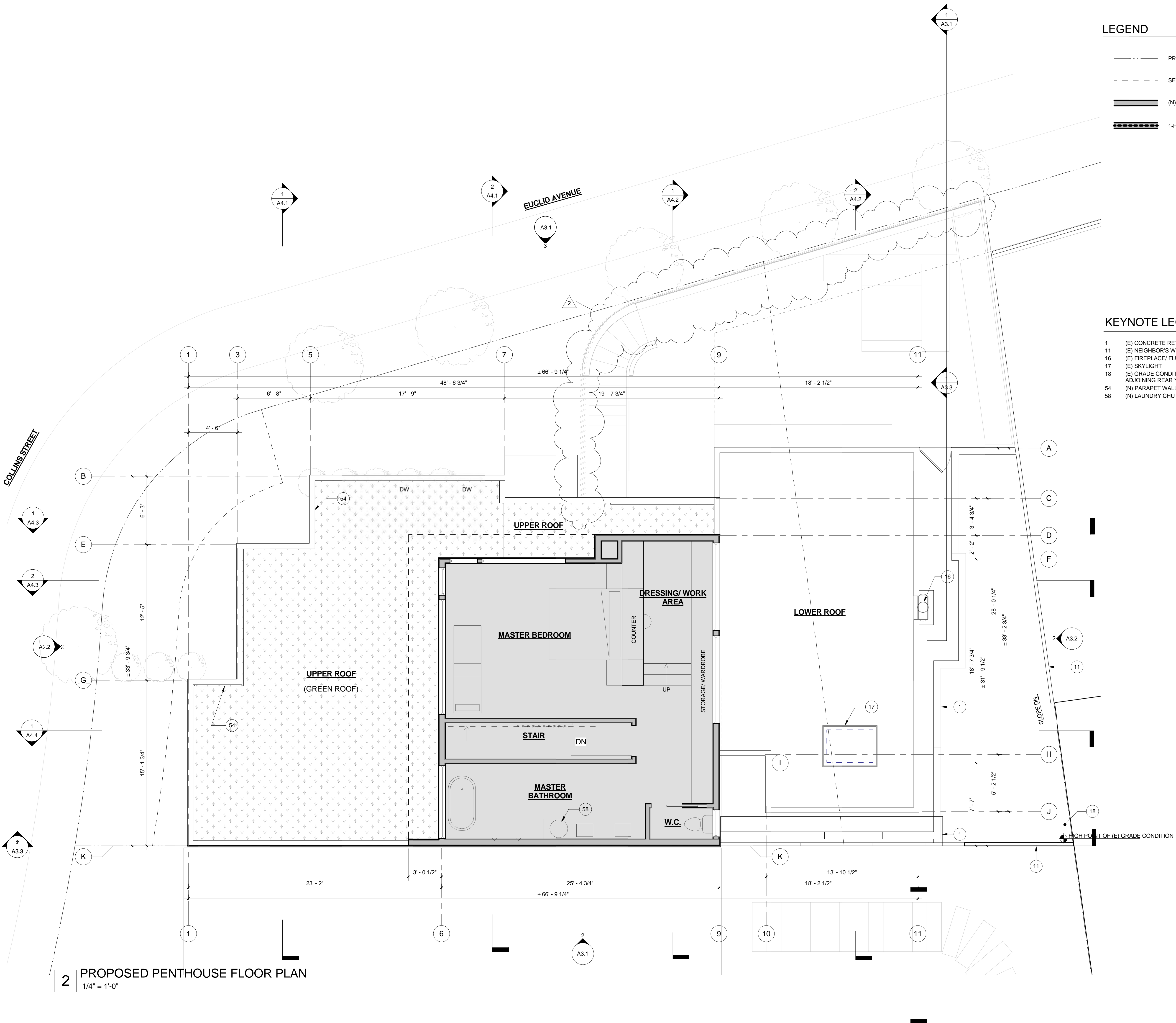
A2.3
SHEET

LEGEND

- — — — — PROPERTY BOUNDARY
- - - - - SETBACK
—— (N) WALL
===== 1-HOUR RATED WALL

KEYNOTE LEGEND

- 1 (E) CONCRETE RETAINING WALL TO BE DEMOLISHED
11 (E) NEIGHBOR'S WD FENCE
16 (E) FIREPLACE/ FLUE TO REMAIN
17 (E) SKYLIGHT
18 (E) GRADE CONDITION MATCHES TOPOGRAPHY OF
ADJOINING REAR YARDS
54 (N) PARAPET WALL
58 (N) LAUNDRY CHUTE





PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
245 EUCLID AVENUE
SAN FRANCISCO, CA
94118

BLOCKLOT
1069/035

CLIENT
DAGNY MAIDMAN

FA JOB NO.
14-009

ISSUE
SITE PERMIT &
VARIANCE, RDT
RESPONSE
DATE
08.12.2016

HISTORY
DESC. DATE
1 SITE PERMIT SUBMITTAL 10.02.15
2 SITE PERMIT & VARIANCE, RDT RESPONSE 08.12.16

TITLE
PROPOSED ROOF
PLAN

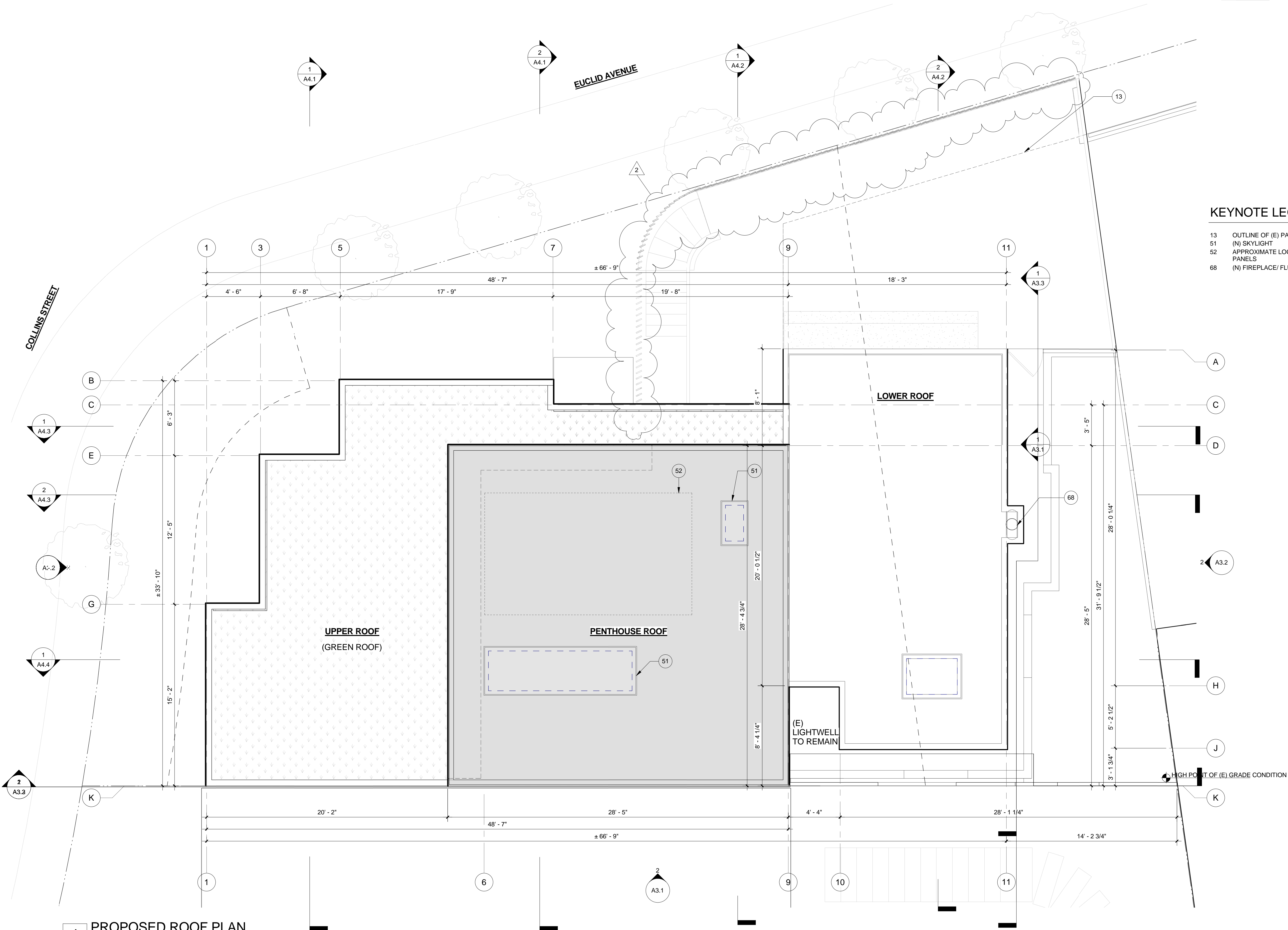
A2.4
SHEET

LEGEND

- PROPERTY BOUNDARY
SETBACK
(N) WALL
1-HOUR RATED WALL

KEYNOTE LEGEND

- 13 OUTLINE OF (E) PATIO SHOWN DASHED
51 (N) SKYLIGHT
52 APPROXIMATE LOCATION OF (N) PHOTOVOLTAIC
PANELS
68 (N) FIREPLACE/ FLUE



1 PROPOSED ROOF PLAN
1/4" = 1'-0"



PROJECT ADDRESS
2245 EUCLID AVENUE
SAN FRANCISCO, CA
94118

LOCK/LOT
069/035

CLIENT
DAGNY MAIDMAN

4-009

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, TYP.
2. GRADE FOR ESTABLISHING DAYLIGHT PLANE SHALL BE AN AVERAGE OF THE GRADE AT THE MIDPOINT OF THE BUILDING AND GRADE AT THE CLOSEST POINT ON THE ADJACENT LOT.

11 (F) NEIGHBOR'S W/D FENCE
12 (E) STEPS TO PATIO, (N) FINISH TBD
16 (E) FIREPLACE FLUE TO REMAIN
32 (N) CONCRETE RETAINING WALL W/ RAILING/GUARD
RAIL ABOVE
45 (N) VERTICAL BD. GUARD RAIL @ PATIO
55 (N) ENTRY AWNING
60 (N) CEMENT PLASTER FINISH
61 (N) HORIZONTAL WOOD SIDING
62 (N) WOOD LOUVER @ WINDOW
63 (N) VINE
66 (N) VERTICAL BD. FENCE/GUARD RAIL. VARIANCE
REQ'D FOR FENCE HT. 10'-0" ABOVE (E) GRADE &
WITHIN REAR YARD SETBACK
67 (N) ALUM. CLAD WINDOW, TYP.

DATE
08.12.2016

HISTORY	
Δ	DESC.
	SITE PERMIT SUBMITTAL
2	SITE PERMIT & VARIANCE, RDT RESPONSE

A3.1



8/12/2016 5:52:41 PM



PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
**245 EUCLID AVENUE
SAN FRANCISCO, CA
94118**

BLOCK/LOT
1069/035

CLIENT
DAGNY MAIDMAN

FA-JOB NO.
14-009

ISSUE
**SITE PERMIT &
VARIANCE, RDT
RESPONSE**

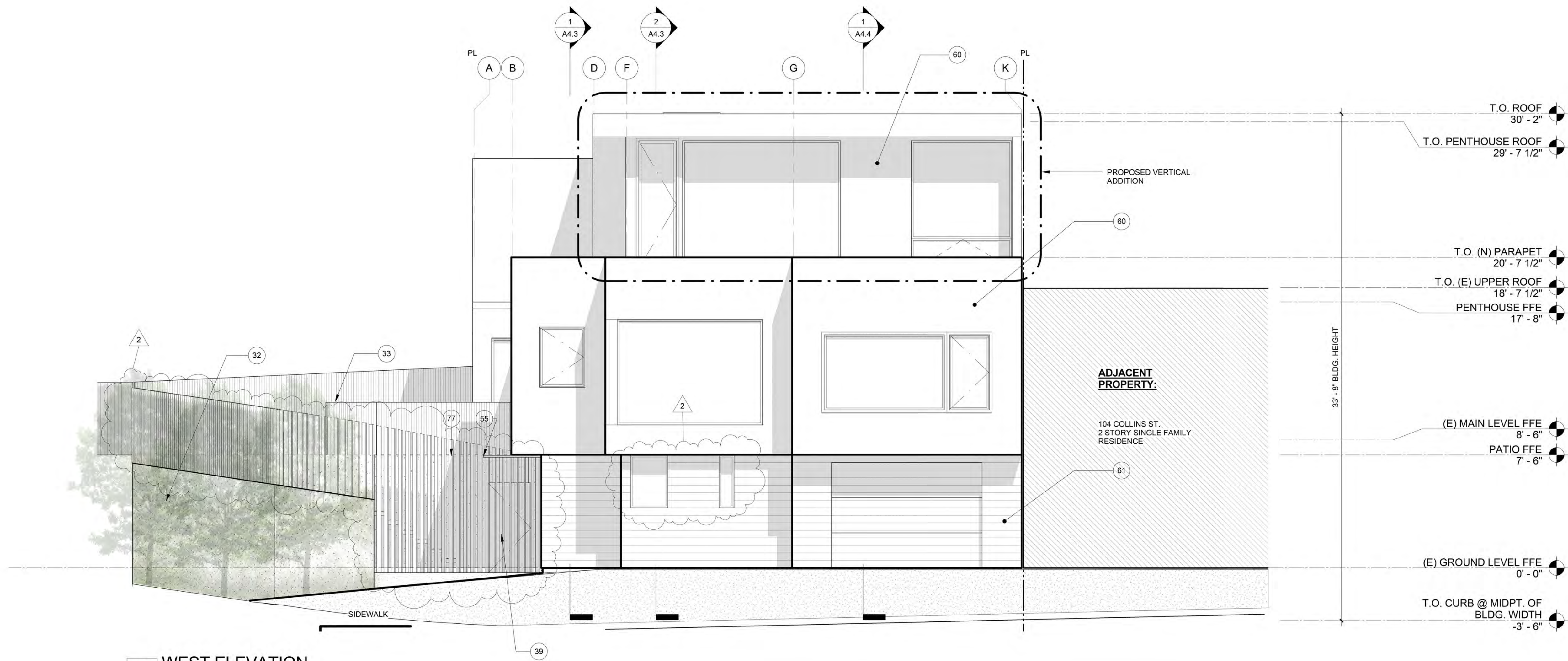
DATE
08.12.2016

HISTORY
 Δ DESC. DATE
 1 SITE PERMIT SUBMITTAL 10.02.15
 2 SITE PERMIT & VARIANCE, 08.12.16
 RDT RESPONSE

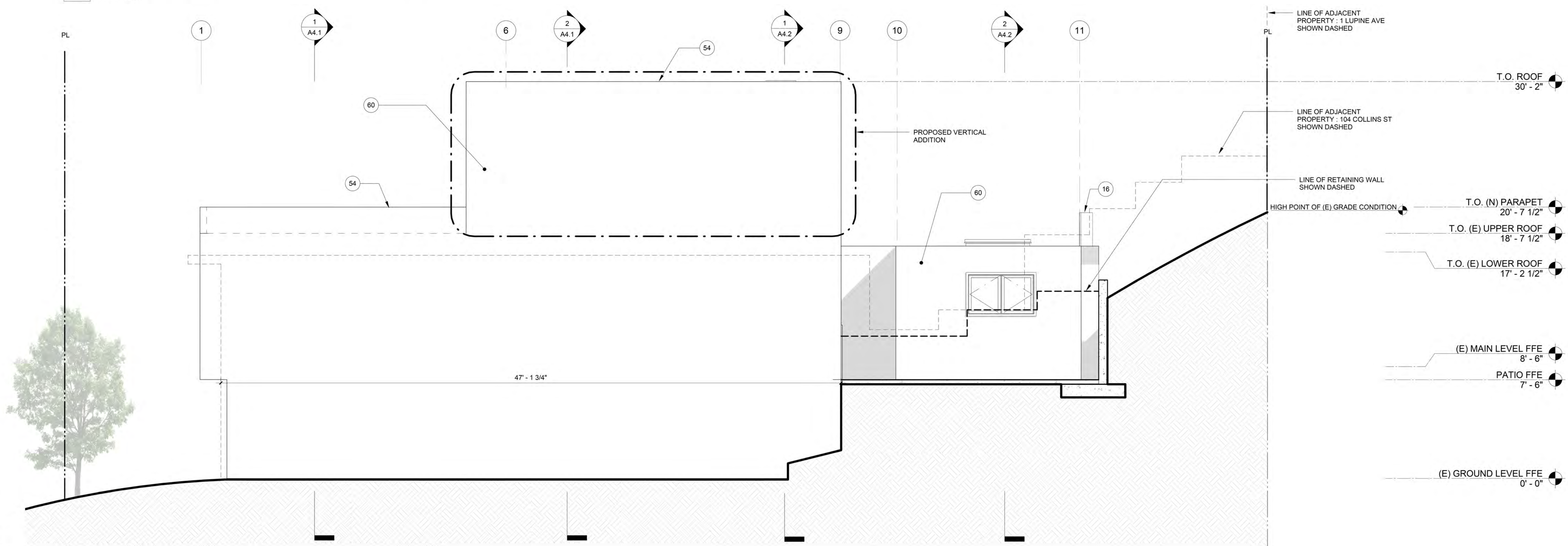
0' 2' 4' 8'

TITLE
**BUILDING
ELEVATIONS**

A3.2
SHEET



2 WEST ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"



PROJECT ADDRESS
2245 EUCLID AVENUE
SAN FRANCISCO, CA
94118

LOCK/LOT
069/035

CLIENT
DAGNY MAIDMAN

4-009

ISSUE
SITE PERMIT &
VARIANCE, RDT
RESPONSE
DATE
08.12.2016

DESC.	DATE
SITE PERMIT SUBMITTAL	10.02.15

BUILDING SECTIONS

A4.1





PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
**245 EUCLID AVENUE
SAN FRANCISCO, CA
94118**

BLOCK/LOT
1069/035

CLIENT
DAGNY MAIDMAN

FA JOB NO.
14-009

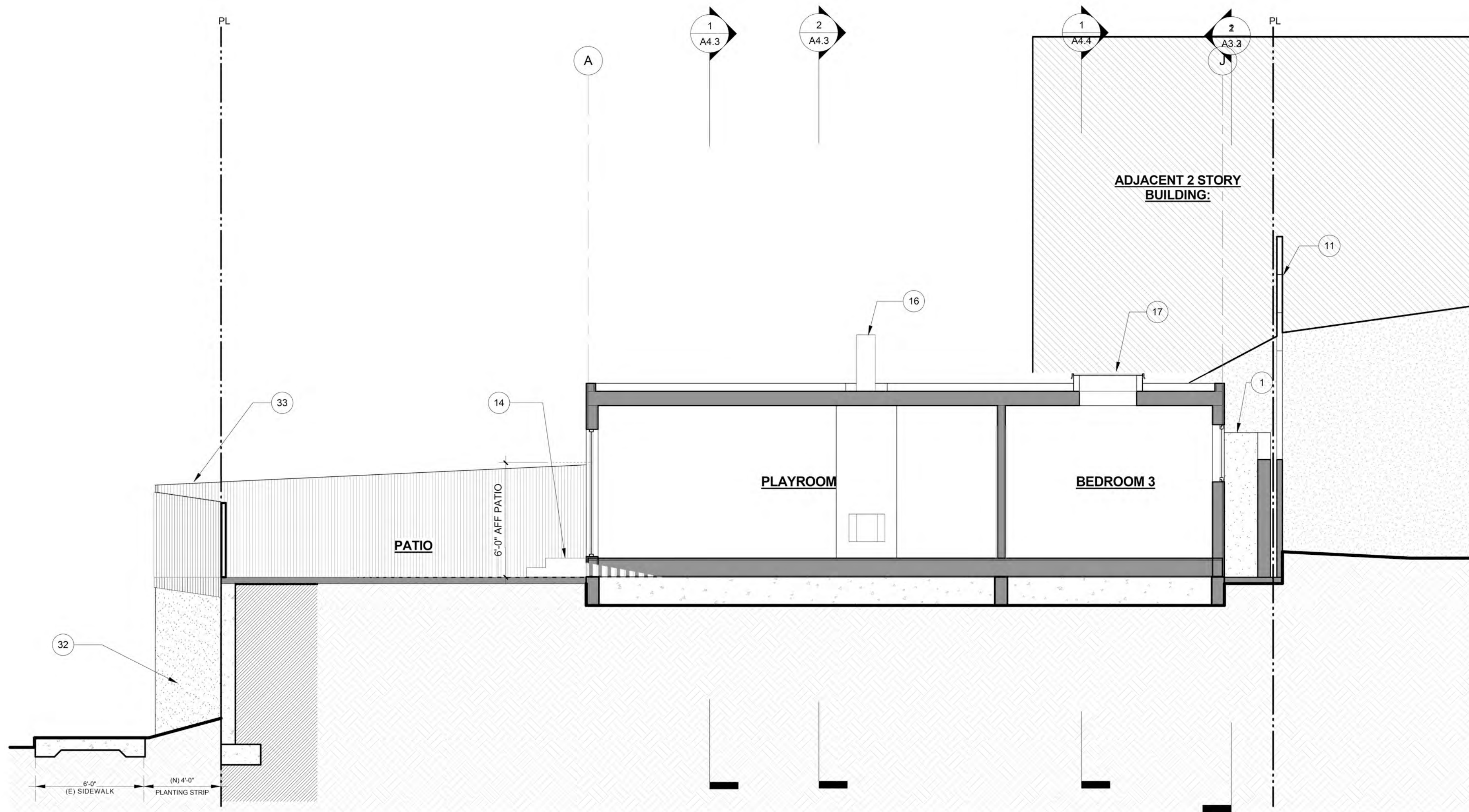
ISSUE
**SITE PERMIT &
VARIANCE**

DATE
08.11.2016

HISTORY
DESC. DATE

TITLE
**BUILDING
SECTIONS**

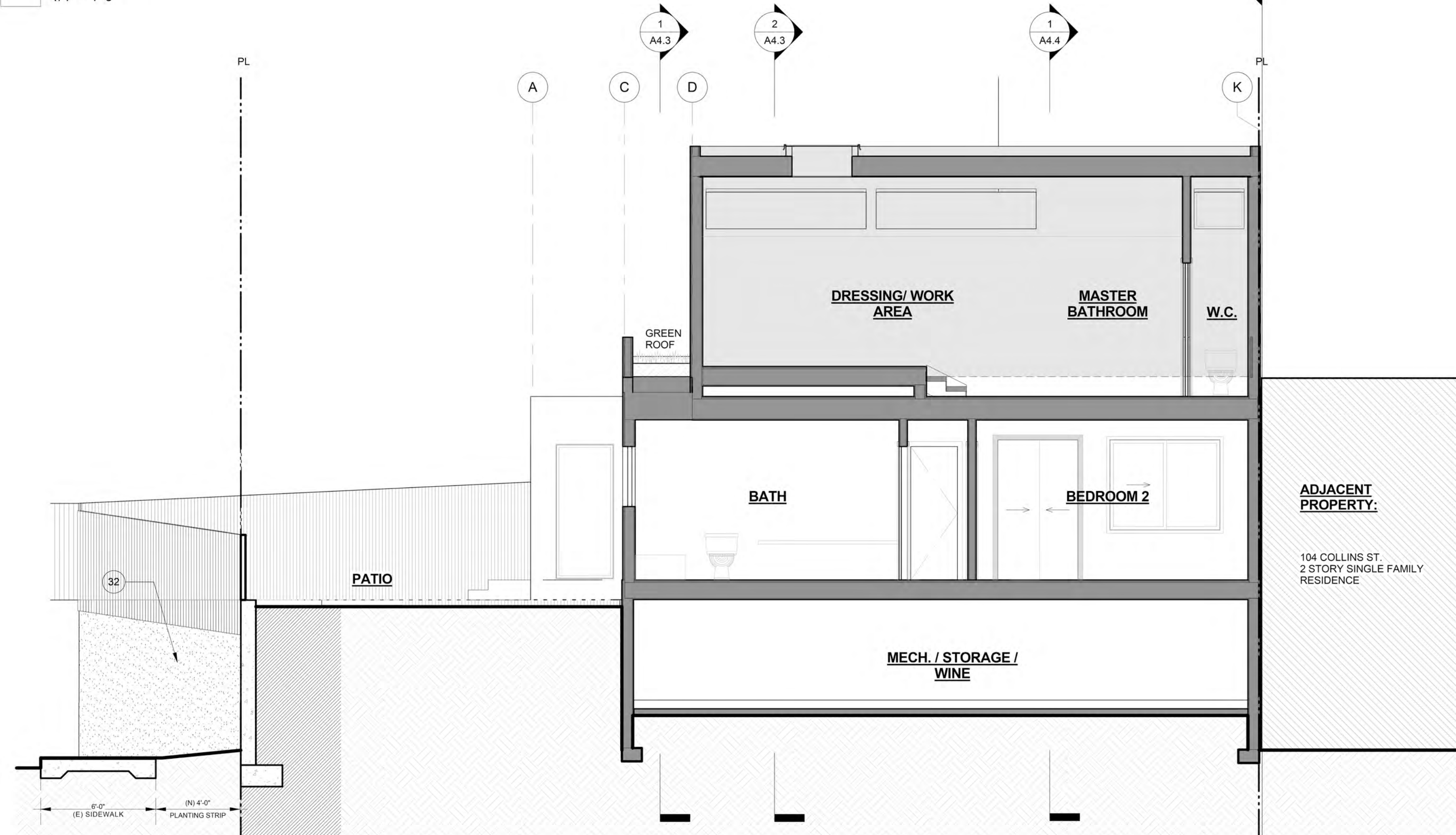
A4.2
SHEET



2 SECTION D
1/4" = 1'-0"

T.O. (E) LOWER ROOF
17' - 2 1/2"

(E) MAIN LEVEL FFE
8' - 6"
PATIO FFE
7' - 6"



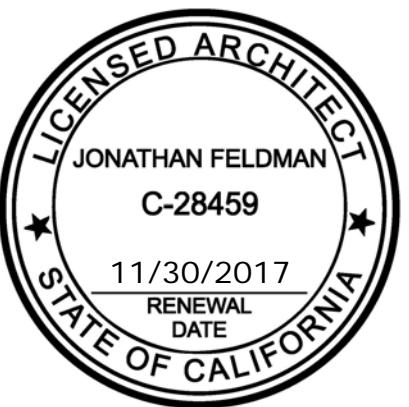
1 SECTION C
1/4" = 1'-0"

T.O. ROOF
30' - 2"
T.O. PENTHOUSE ROOF
29' - 7 1/2"

T.O. (N) PARAPET
20' - 7 1/2"
T.O. (E) UPPER ROOF
18' - 7 1/2"
PENTHOUSE FFE
17' - 8"

(E) MAIN LEVEL FFE
8' - 6"
PATIO FFE
7' - 6"

(E) GROUND LEVEL FFE
0' - 0"



PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
**245 EUCLID AVENUE
SAN FRANCISCO, CA
94118**

BLOCK/LOT
1069/035

CLIENT
DAGNY MAIDMAN

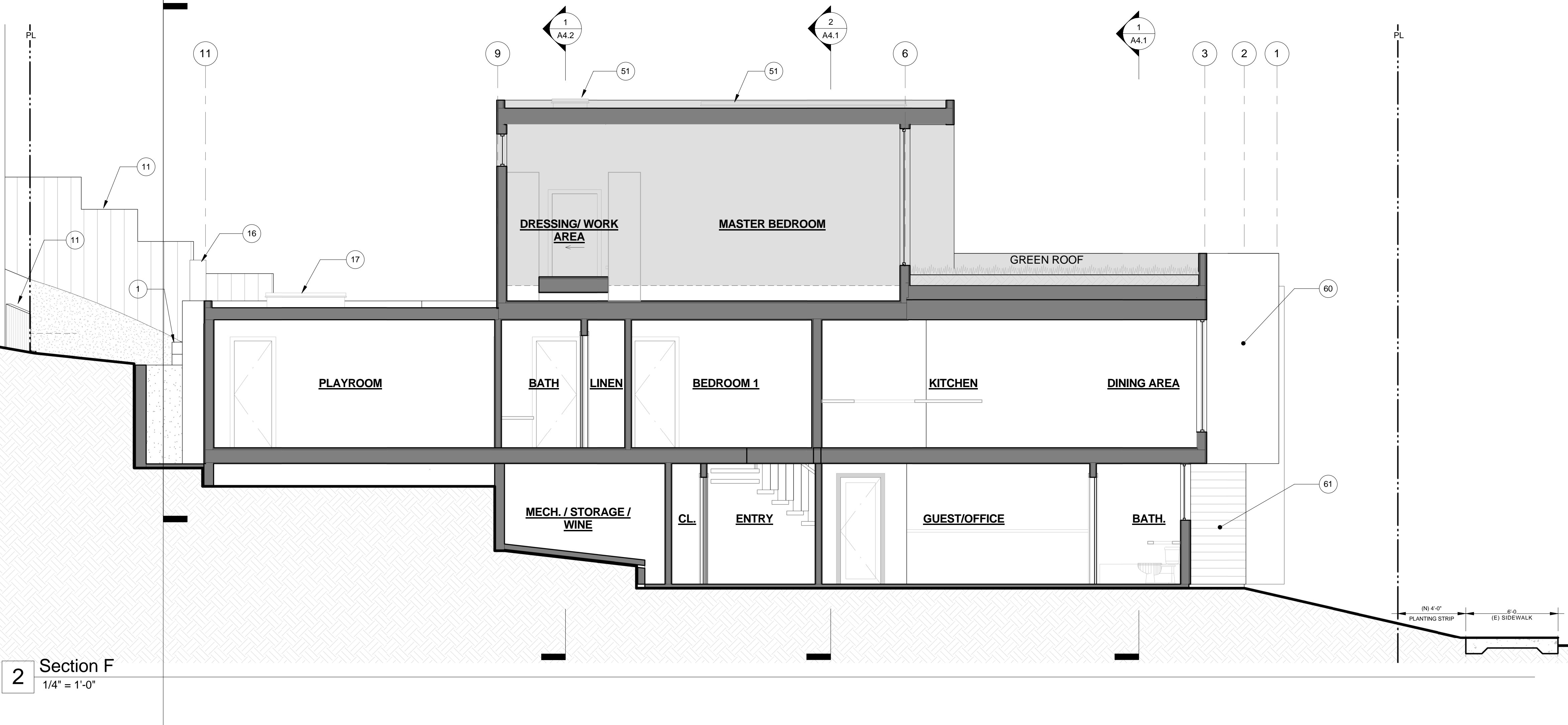
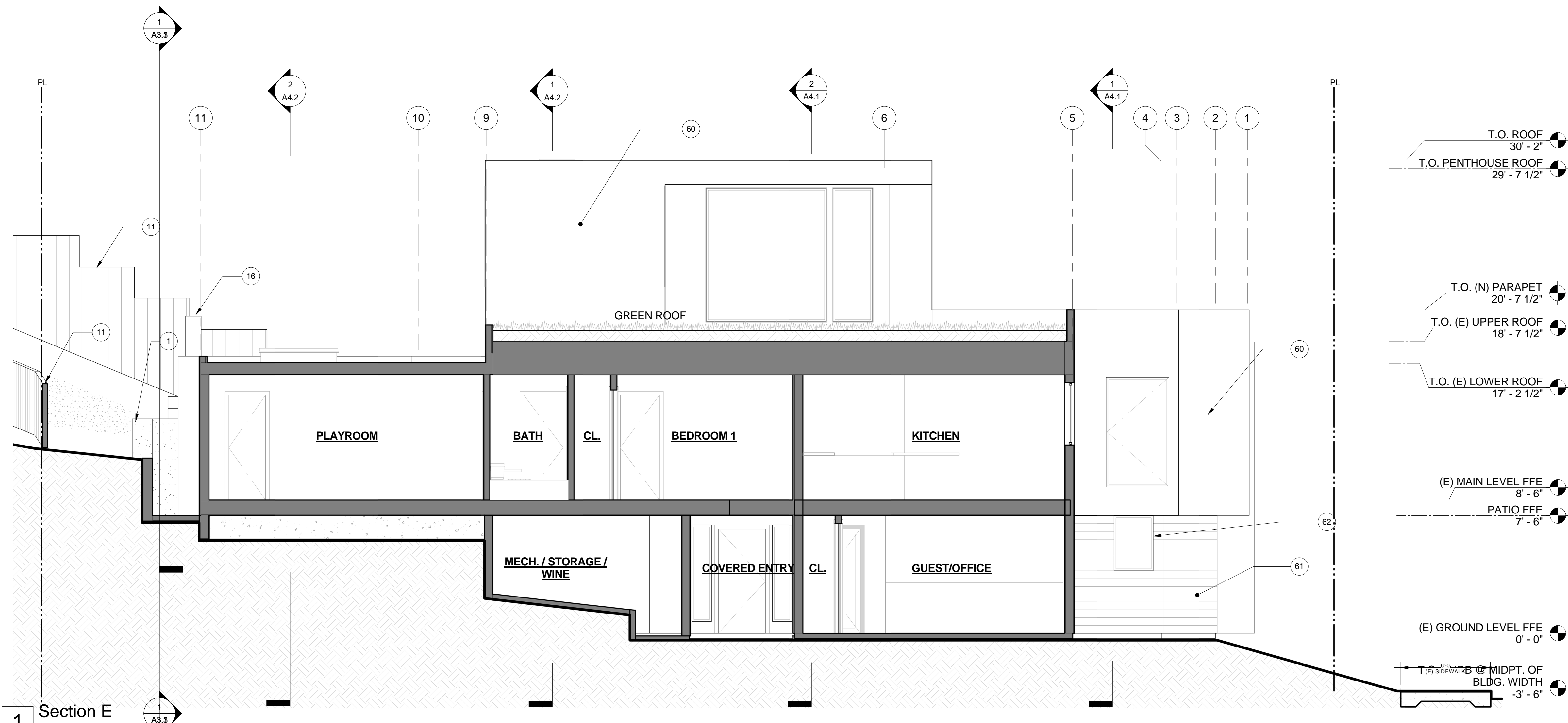
FA JOB NO.
14-009

ISSUE
**SITE PERMIT &
VARIANCE, RDT
RESPONSE**
DATE
08.12.2016

HISTORY
DESC. DATE
SITE PERMIT SUBMITTAL 10.02.15

TITLE
**BUILDING
SECTIONS**

A4.3
SHEET



8/12/2016 5:59:59 PM



PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
245 EUCLID AVENUE
SAN FRANCISCO, CA
94118

BLOCKLOT
1069/035

CLIENT
DAGNY MAIDMAN

FA JOB NO.
14-009

ISSUE
SITE PERMIT &
VARIANCE, RDT
RESPONSE
DATE
08.12.2016

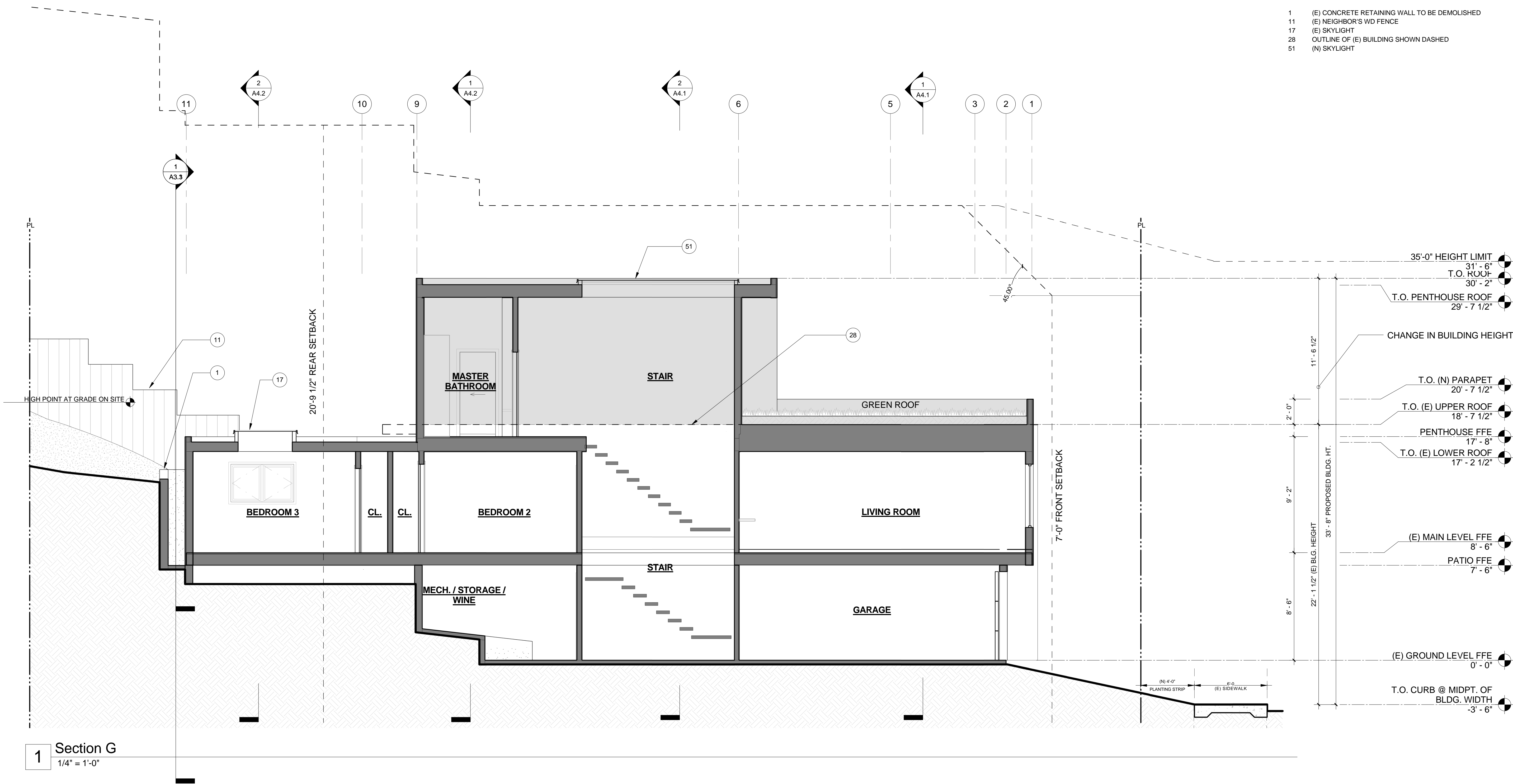
HISTORY
DESC. DATE
SITE PERMIT SUBMITTAL 10.02.15

TITLE
BUILDING
SECTIONS

A4.4
SHEET

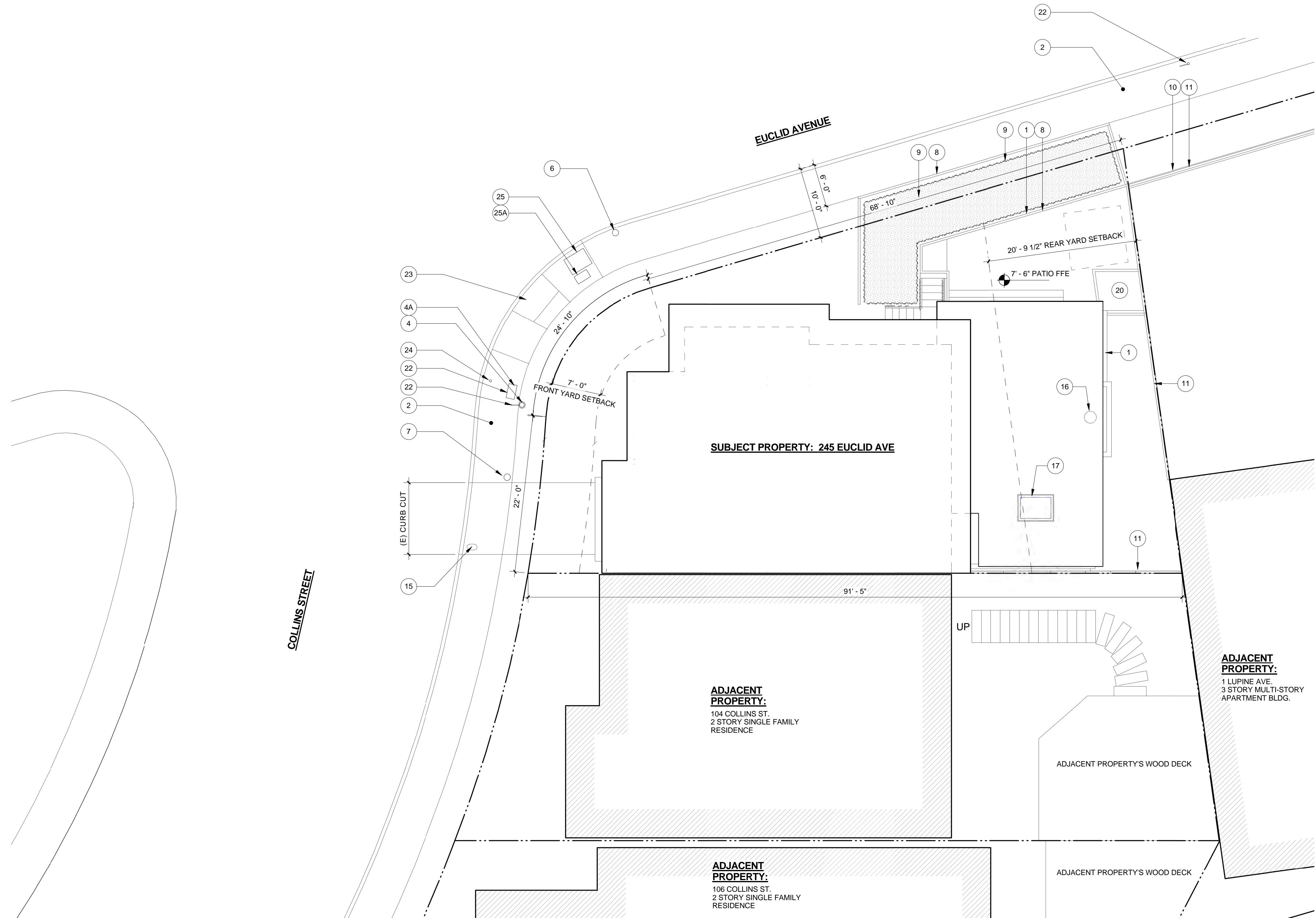
KEYNOTE LEGEND

- 1 (E) CONCRETE RETAINING WALL TO BE DEMOLISHED
11 (E) NEIGHBOR'S WD FENCE
17 (E) SKYLIGHT
28 OUTLINE OF (E) BUILDING SHOWN DASHED
51 (N) SKYLIGHT



8/12/2016 6:00:13 PM

8/15/2016 9:20:20 AM



LEGEND

- PROPERTY BOUNDARY
- SETBACK LINE
- ADJACENT PROPERTY
- AREA OF PATIO EXPANSION

KEYNOTE LEGEND

- 1 (E) CONCRETE RETAINING WALL TO BE DEMOLISHED
- 2 (E) SIDEWALK
- 4 (E) STREET LIGHT
- 4A UTILITY BOX - STREET LIGHT
- 6 (E) FIRE ALARM CALL BOX
- 7 UTILITY BOX - GAS
- 8 (E) WD FENCE TO BE DEMOLISHED, 4'-10" ABOVE (E) PATIO LEVEL.
- 9 (E) HEDGE TO BE REMOVED
- 10 (E) NEIGHBOR'S CONCRETE RETAINING WALL W/ WD FENCE ABOVE
- 11 (E) NEIGHBOR'S WD FENCE
- 15 (E) WATER METER
- 16 (E) FIREPLACE/ FLUE TO REMAIN
- 17 (E) SKYLIGHT
- 20 (E) PLANTER
- 22 (E) PARKING SIGN
- 23 (E) RAMP WITH DETECTABLE WALKWAY
- 24 (E) STOP SIGN
- 25 (E) PG&E UTILITY VAULT
- 25A (E) PG&E UTILITY PUBLIC SAFETY ACCESS



PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
245 EUCLID AVENUE
SAN FRANCISCO, CA
94118

BLOCKLOT
1069/035

CLIENT
DAGNY MAIDMAN

FA JOB NO.
14-009

ISSUE
SITE PERMIT &
VARIANCE, RDT
RESPONSE
DATE
08.12.2016

HISTORY
DESC. DATE



TITLE
EXISTING SITE
PLAN

D1.1
SHEET



PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
245 EUCLID AVENUE
SAN FRANCISCO, CA
94118

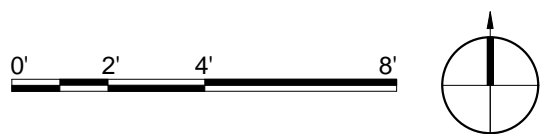
BLOCKLOT
1069/035

CLIENT
DAGNY MAIDMAN

FA JOB NO.
14-009

ISSUE
SITE PERMIT &
VARIANCE, RDT
RESPONSE
DATE
08.12.2016

HISTORY
DESC. DATE
SITE PERMIT SUBMITTAL 10.02.15
1 SITE PERMIT REVISION 12.22.15



TITLE
EXISTING GROUND
FLOOR PLAN

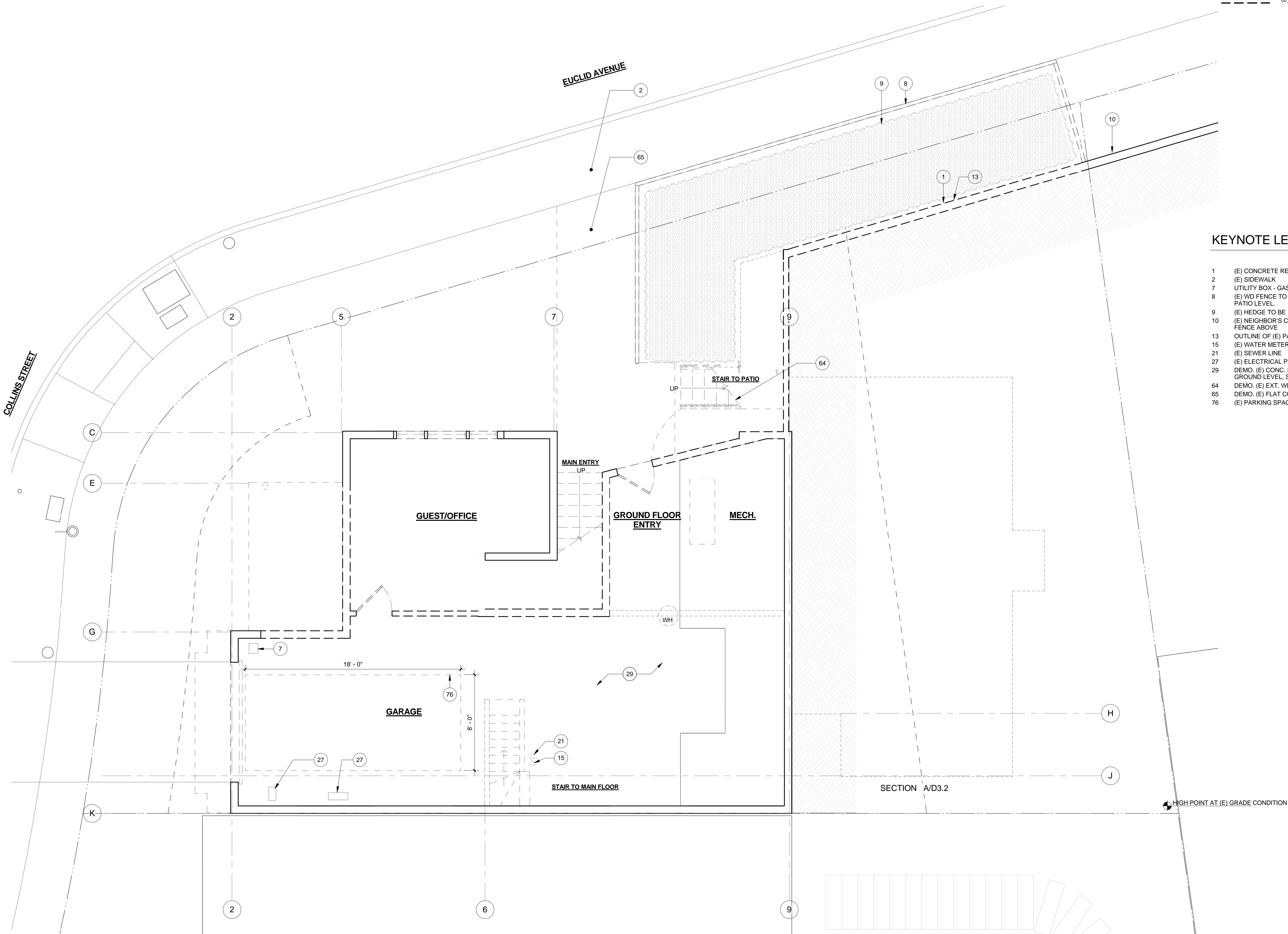
D2.1

LEGEND

- — — — — PROPERTY BOUNDARY
- - - - - SETBACK
- - - - - (E) ROOF TO BE DEMOLISHED

KEYNOTE LEGEND

- 1 (E) CONCRETE RETAINING WALL TO BE DEMOLISHED
2 (E) SIDEWALK
7 UTILITY BOX - GAS
8 (E) WD FENCE TO BE DEMOLISHED. 4'-10" ABOVE (E)
PATIO LEVEL.
9 (E) HEDGE TO BE REMOVED
10 (E) NEIGHBOR'S CONCRETE RETAINING WALL W/ WD
FENCE ABOVE
13 OUTLINE OF (E) PATIO SHOWN DASHED
15 (E) WATER METER
21 (E) SEWER LINE
27 (E) ELECTRICAL PANELS
29 DEMO. (E) CONC. SLAB @ CONDITIONED AREAS OF
GROUND LEVEL. SEE PROPOSED FLOOR PLAN
64 DEMO. (E) EXT. WD. STAIRS TO PATIO
65 DEMO. (E) FLAT CONC. ENTRY PATH
76 (E) PARKING SPACE TO REMAIN, SHOWN DASHED





PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
245 EUCLID AVENUE
SAN FRANCISCO, CA
94118

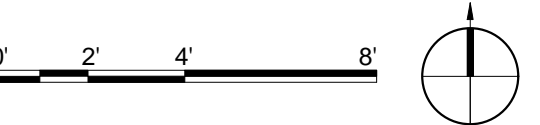
BLOCK/LOT
1069/035

CLIENT
DAGNY MAIDMAN

FA JOB NO.
14-009

ISSUE
SITE PERMIT &
VARIANCE, RDT
RESPONSE
DATE
08.12.2016

HISTORY
DESC. DATE
SITE PERMIT SUBMITTAL 10.02.15



TITLE
EXISTING MAIN
FLOOR PLAN

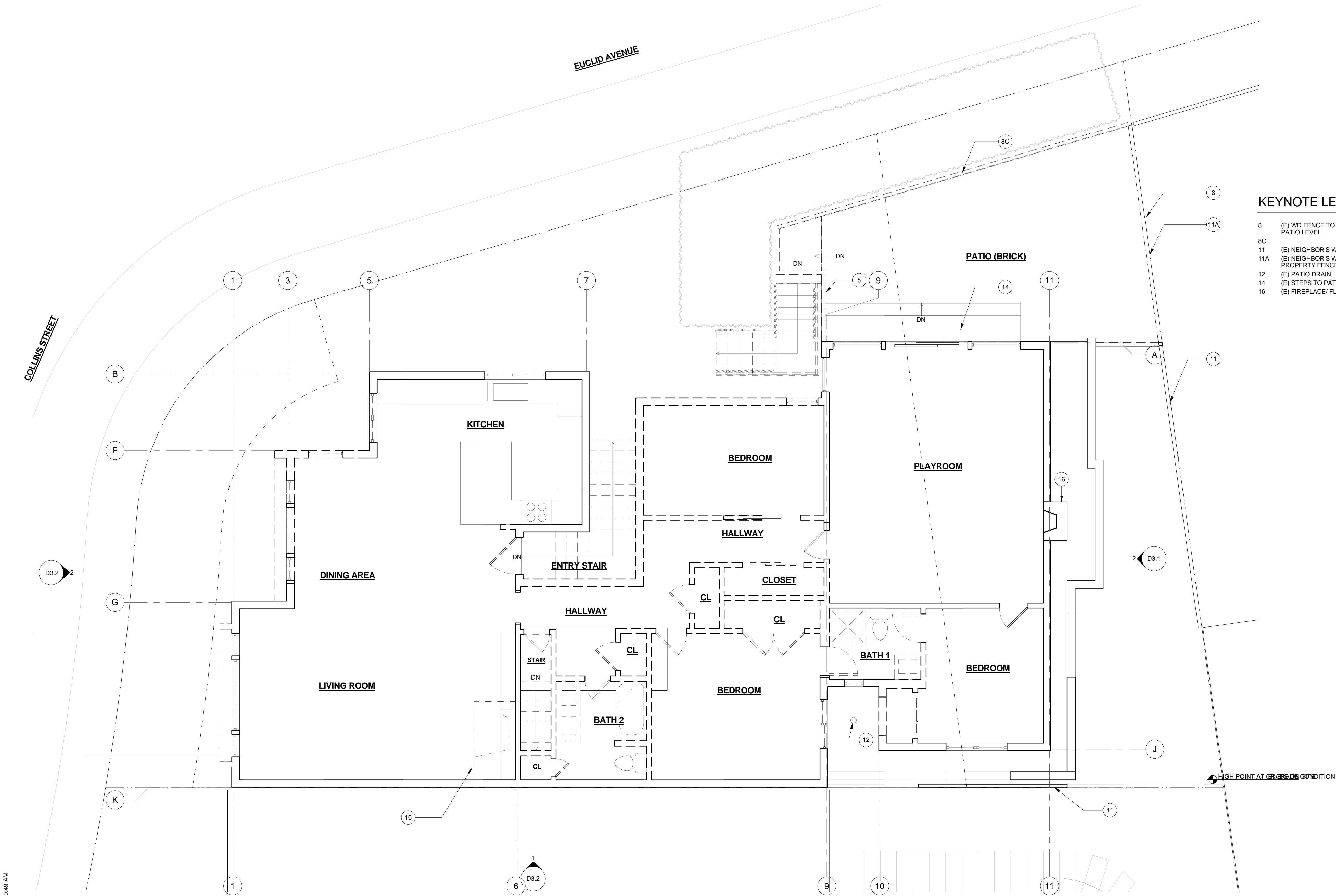
D2.2
SHEET

LEGEND

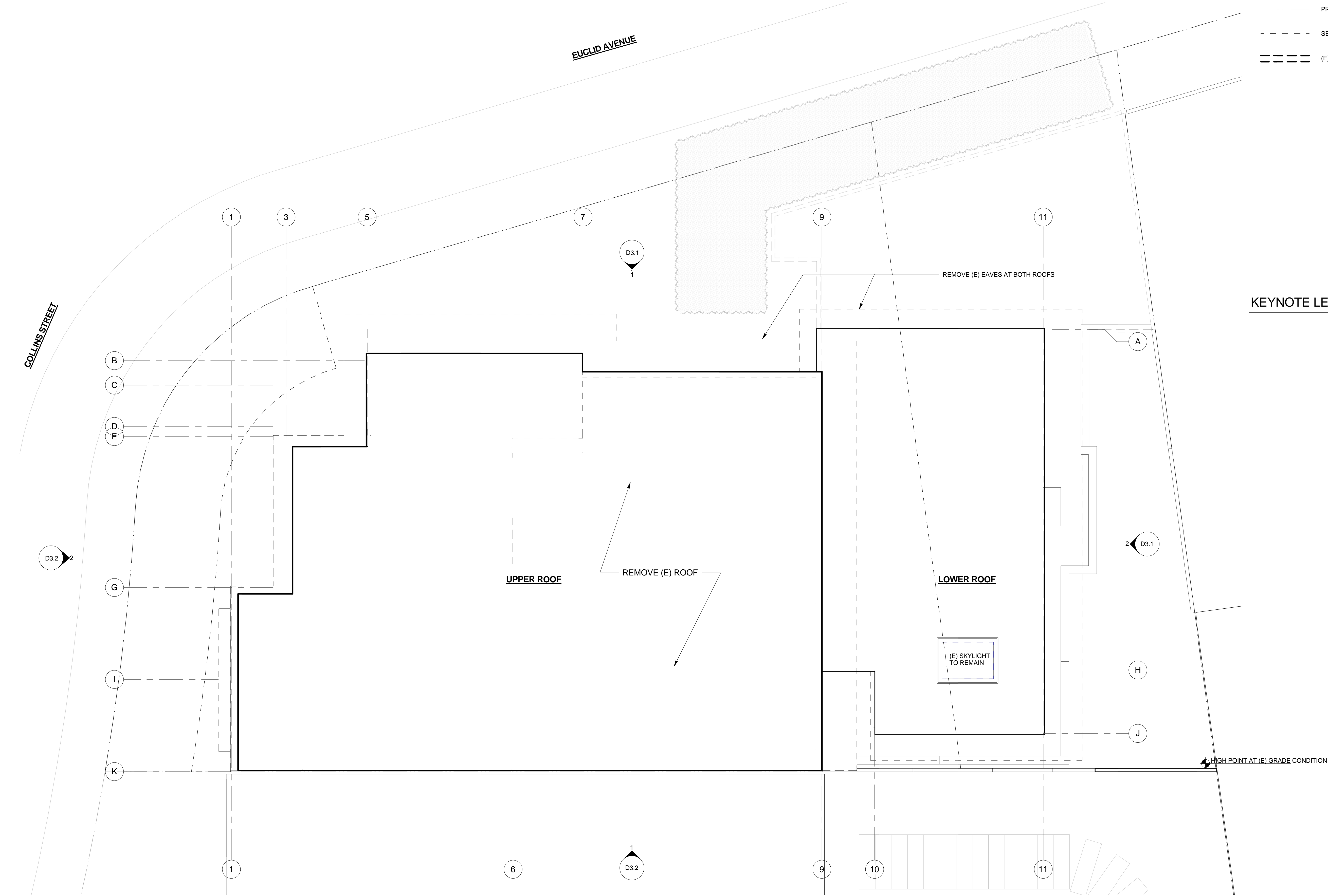
- PROPERTY BOUNDARY
SETBACK
(E) ROOF TO BE DEMOLISHED

KEYNOTE LEGEND

- 8 (E) WD FENCE TO BE DEMOLISHED. 4'-10" ABOVE (E)
PATIO LEVEL.
8C (E) NEIGHBOR'S WD FENCE
11 (E) NEIGHBOR'S WD FENCE ON TOP OF SUBJECT
11A PROPERTY FENCE
12 (E) PATIO DRAIN
14 (E) STEPS TO PATIO, (N) FINISH TBD
16 (E) FIREPLACE/ FLUE TO REMAIN



8/15/2016 9:20:49 AM



LEGEND

- PROPERTY BOUNDARY
- SETBACK
- (E) ROOF TO BE DEMOLISHED

KEYNOTE LEGEND

1 EXISTING ROOF PLAN
1/4" = 1'-0"



PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
245 EUCLID AVENUE
SAN FRANCISCO, CA
94118

BLOCK/LOT
1069/035

CLIENT
DAGNY MAIDMAN

FA JOB NO.
14-009

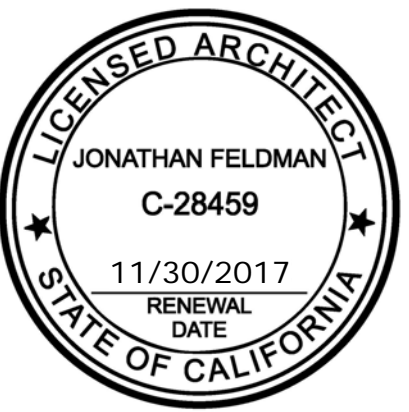
ISSUE
SITE PERMIT &
VARIANCE, RDT
RESPONSE
DATE
08.12.2016

HISTORY
DESC. DATE
SITE PERMIT SUBMITTAL 10.02.15



TITLE
EXISTING ROOF
PLAN





PROJECT NAME
MAIDMAN RESIDENCE

PROJECT ADDRESS
245 EUCLID AVENUE
SAN FRANCISCO, CA
94118

BLOCKLOT
1069/035

CLIENT
DAGNY MAIDMAN

FA JOB NO.
14-009

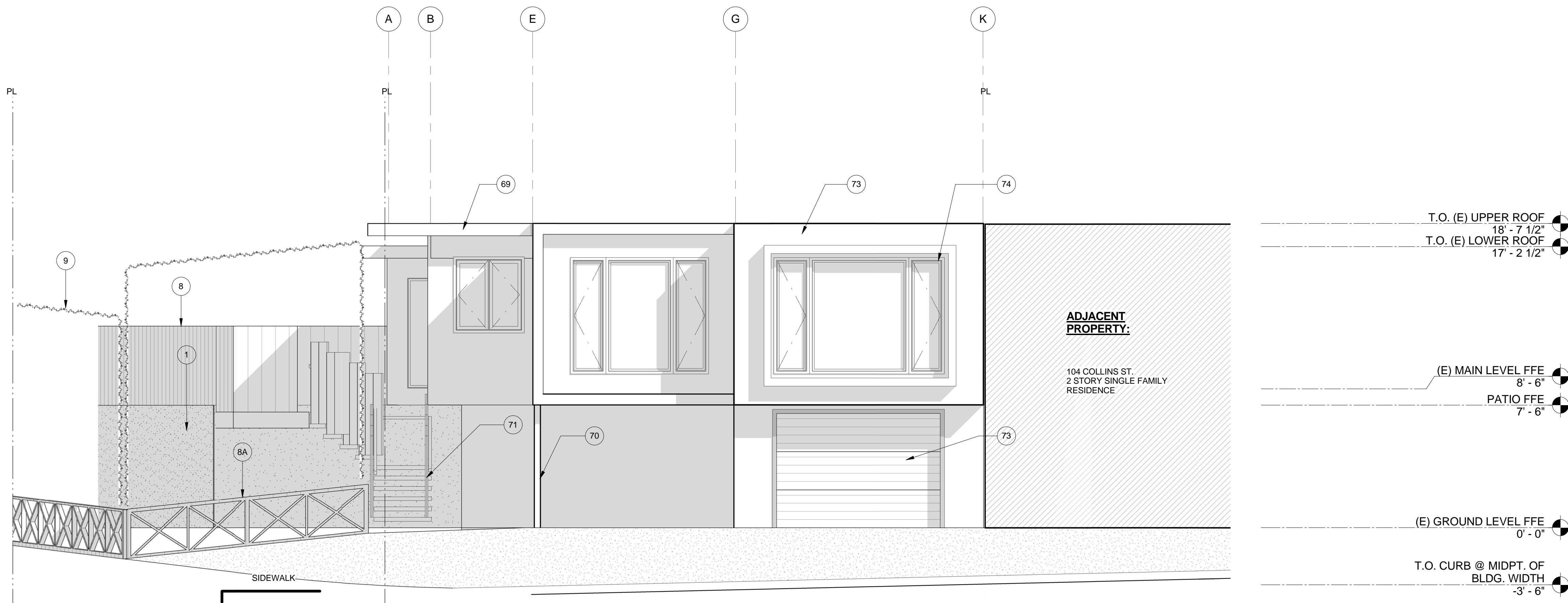
ISSUE
SITE PERMIT &
VARIANCE, RDT
RESPONSE
DATE
08.12.2016

HISTORY
DESC. DATE
SITE PERMIT SUBMITTAL 10.02.15

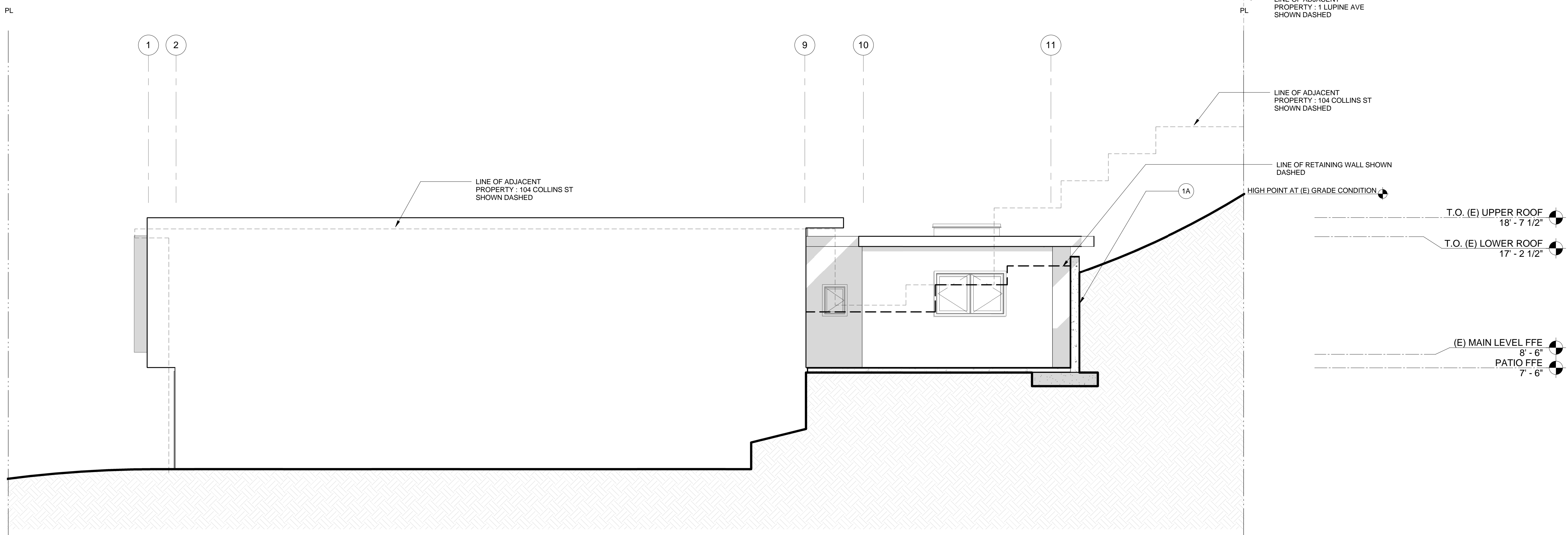
0' 2' 4' 8'

TITLE
EXISTING
ELEVATIONS

D3.2
SHEET



2 EXISTING WEST ELEVATION
1/4" = 1'-0"



1 EXISTING SOUTH ELEVATION
1/4" = 1'-0"