



# SAN FRANCISCO PLANNING DEPARTMENT

## Discretionary Review Abbreviated Analysis

HEARING DATE: MAY 18, 2017

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

*Date:* May 11, 2017  
*Case No.:* **2015-012407DRP**  
*Project Address:* **75 Bronte Street**  
*Permit Application:* 2016.0711.2014  
*Zoning:* RH-1 [Residential House, One-Family]  
Bernal Heights Special Use District  
40-X Height and Bulk District  
*Block/Lot:* 5689/024  
*Project Sponsor:* Vincent Labiano Abello  
1117 Neilson Street  
Albany, CA 94706  
*Staff Contact:* Michael Christensen – (415) 575-8742  
[Michael.Christensen@sfgov.org](mailto:Michael.Christensen@sfgov.org)  
*Recommendation:* **Do not take DR and approve as proposed**

### PROJECT DESCRIPTION

The project includes construction of a one-story vertical addition to the existing single-family home with a roof deck.

### SITE DESCRIPTION AND PRESENT USE

The project site is a 25 foot wide by 70 foot deep lot containing 1,750 square feet, located on the east side of Bronte Street between Mojave Street and Jarboe Avenue. The lot contains a two-story, one-family dwelling that was originally constructed in 1937, per City records. The lot slopes slightly upward through the lot and laterally across the lot.

### SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is located in the Bernal Heights neighborhood. The subject block is within a RH-1 Zoning District and residential in character. The subject block face contains residences that are primarily one to two stories in height, although there are a few three-story buildings. The adjacent lot to the south (85 Bronte Street) contains a two-story, single-family residence, and the adjacent lot to the north (71 Bronte Street) contains a one-story over half-story garage, single-family residence.

### BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	January 4, 2017 – February 3, 2017	February 1, 2017	May 18, 2017	106 days

## HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	May 8, 2017	May 8, 2017	10 days
Mailed Notice	10 days	May 8, 2017	May 8, 2017	10 days

## PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	0	1	0
Other neighbors on the block or directly across the street	0	0	0
Neighborhood groups	0	0	0

## DR REQUESTOR

The request for Discretionary Review was received from Blake Simmons and Carrie Ann Plank, who reside at 71 Bronte Street, directly adjacent to the north of the project site.

## DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Application*, dated February 2, 2017.

## PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*, dated May 2, 2017.

## ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

## RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Team reviewed the project on April 25<sup>th</sup>, 2017 and found that the vertical addition is appropriate and consistent with the Residential Design Guidelines and that no exceptional or extraordinary circumstance exists with the project or subject property.

**Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.**

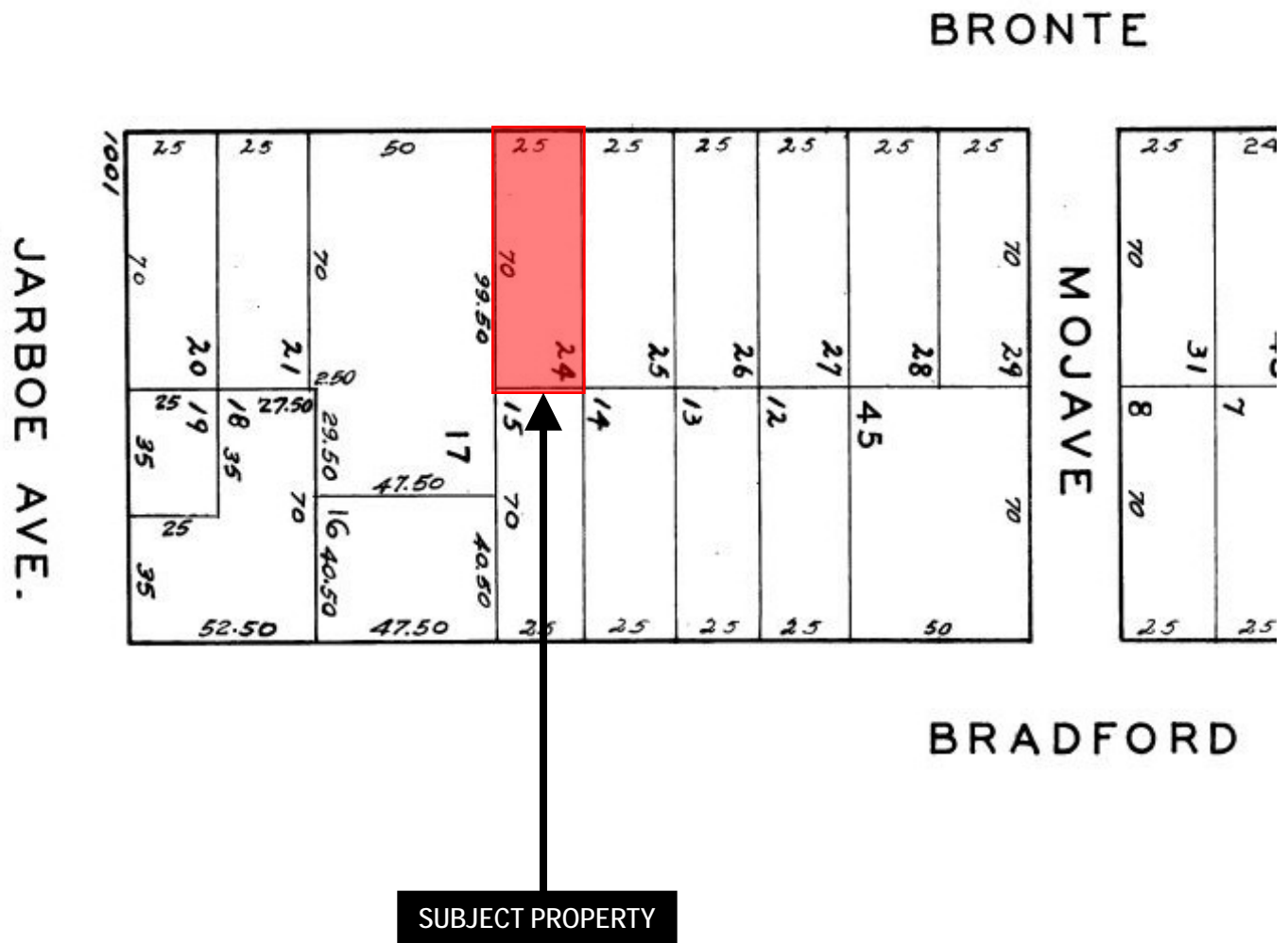
<b>RECOMMENDATION:</b> Do not take DR and approve project as proposed
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**Attachments:**

Parcel Map  
Sanborn Map  
Zoning Map  
Height and Bulk District Map  
Aerial Photograph  
Site Photograph  
Section 311 Notice  
DR Application  
Response to DR Application  
Reduced Plans

MC: I:\Cases\2015\2015-012407DRP - 75 Bronte Street\Hearing\75 Bronte.docx

# Parcel Map



Discretionary Review Hearing  
**Case Number 2015-012407DRP**  
 75 Bronte Street

# Sanborn Map\*

SUBJECT PROPERTY

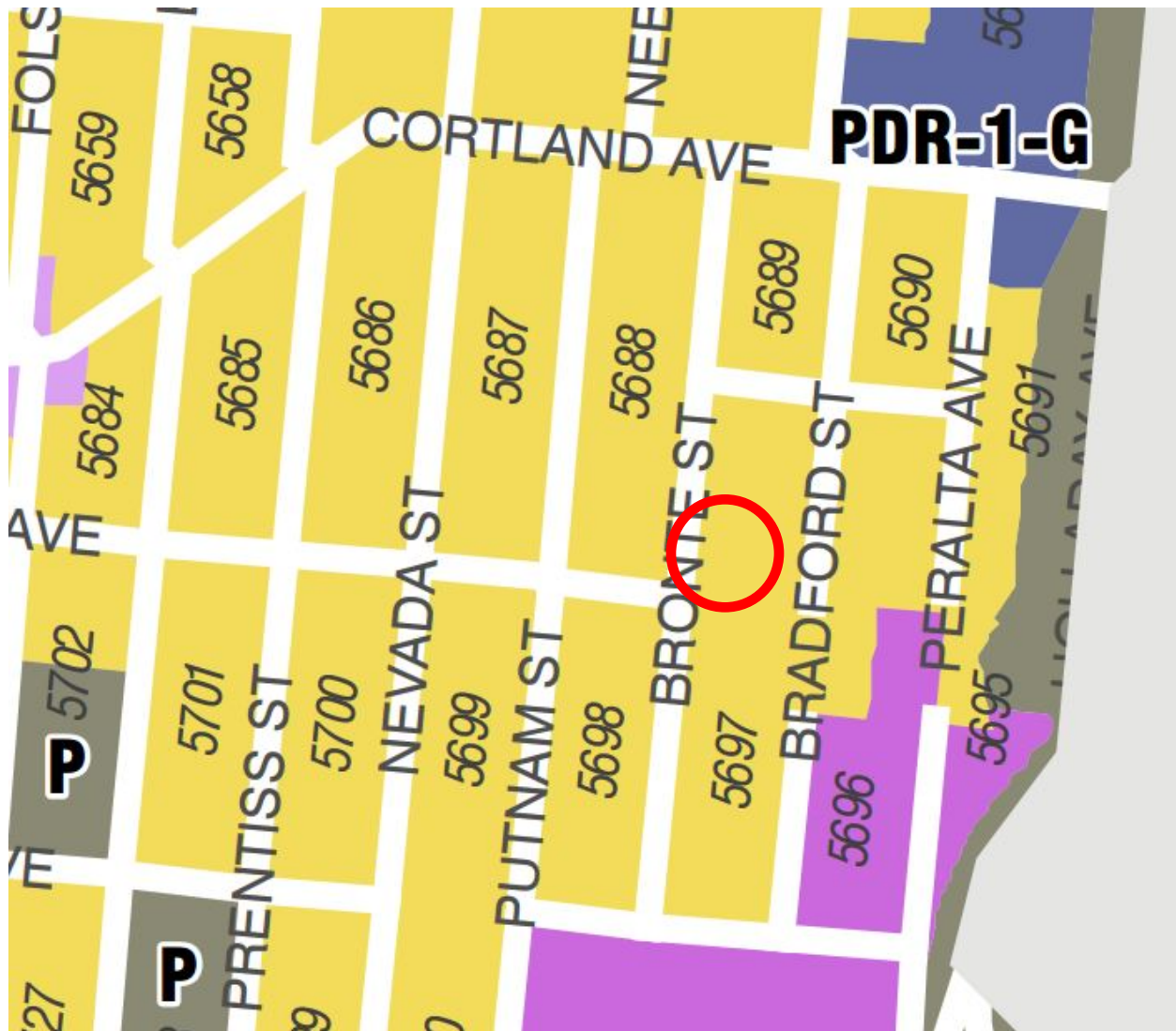


\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



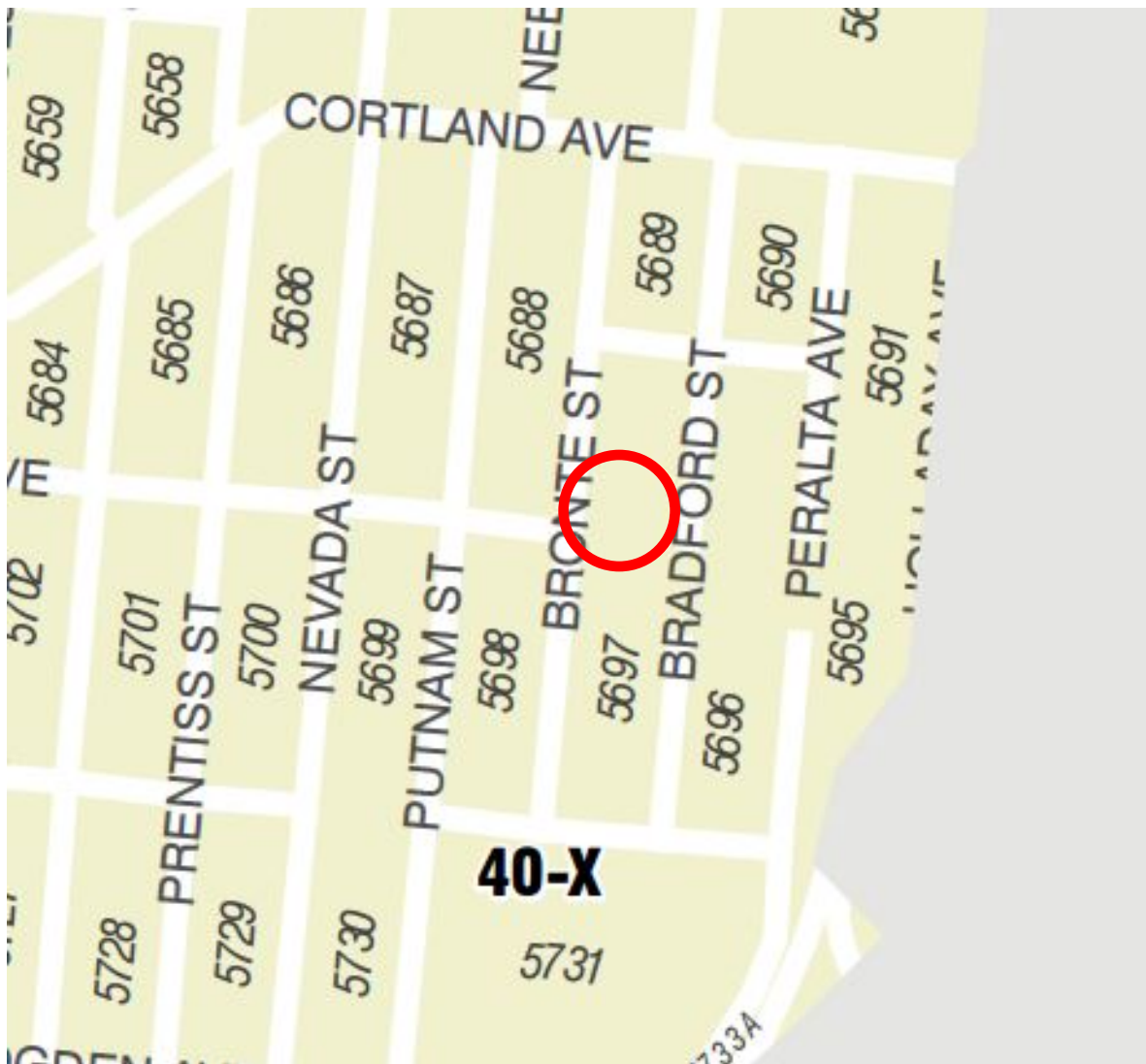
Discretionary Review Hearing  
Case Number 2015-012407DRP  
75 Bronte Street

# Zoning Map



Discretionary Review Hearing  
Case Number 2015-012407DRP  
75 Bronte Street

# Height and Bulk District Map



Discretionary Review Hearing  
Case Number 2015-012407DRP  
75 Bronte Street



# Aerial Photo



SUBJECT PROPERTY





# Site Photo



Google Maps November 2016

Discretionary Review Hearing  
**Case Number 2015-012407DRP**  
75 Bronte Street



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

## NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **July 1, 2016**, the Applicant named below filed Building Permit Application No. **2016.07.11.2014** with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	<b>75 Bronte Street</b>	Applicant:	<b>Vincent Labiano Abello</b>
Cross Street(s):	<b>Mojave Street/Jarobe Avenue</b>	Address:	<b>1117 Neilson St</b>
Block/Lot No.:	<b>5689/024</b>	City, State:	<b>Albany, CA 94706</b>
Zoning District(s):	<b>RH-1/40-X/Bernal Heights SUD</b>	Telephone:	<b>415-819-3990</b>

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Single-Family Home	No Change
Front Setback	9' 10.5"	No Change
Side Setbacks	None	No Change
Building Depth	45' 6"	No Change
Rear Yard	14' 9"	No Change
Building Height	21' 6"	30'
Number of Stories	2	3
Number of Dwelling Units	1	No Change
Number of Parking Spaces	1	No Change
PROJECT DESCRIPTION		
The proposal is a vertical addition to the existing single-family home. The proposed additional floor would be set back 16'-4.5" from the existing front wall and would have a depth of 18'-2".		
The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.		

**For more information, please contact Planning Department staff:**

Planner: Michael Christensen  
Telephone: (415) 575-8742  
E-mail: michael.christensen@sfgov.org

Notice Date: 1/4/17  
Expiration Date: 2/3/17

# APPLICATION FOR Discretionary Review

## 1. Owner/Applicant Information

DR APPLICANT'S NAME: <b>Blake Simmons &amp; Carrie Ann Plank</b>		
DR APPLICANT'S ADDRESS: <b>71 Bronte Street, San Francisco, CA</b>	ZIP CODE: <b>94110</b>	TELEPHONE: <b>(415 )425 1419</b>

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: <b>Robert Bozzini</b>		
ADDRESS: <b>75 Bronte Street, San Francisco, CA</b>	ZIP CODE: <b>94110</b>	TELEPHONE: <b>(415 ) 595-8838</b>

CONTACT FOR DR APPLICATION: Same as Above <input type="checkbox"/> <b>Will Henderson</b>		
ADDRESS: <b>981 Shotwell Street, San Francisco, CA</b>	ZIP CODE: <b>94110</b>	TELEPHONE: <b>(415 ) 420-0131</b>
E-MAIL ADDRESS: <b>wdhenderson@gmail.com</b>		

## 2. Location and Classification

STREET ADDRESS OF PROJECT: <b>71 Bronte Street, San Francisco, CA</b>	ZIP CODE: <b>94110</b>
CROSS STREETS: <b>Mojave Street/Jarboe Avenue</b>	

ASSESSORS BLOCK/LOT: <b>5689 /024</b>	LOT DIMENSIONS: <b>25' x 70'</b>	LOT AREA (SQ FT): <b>1,750</b>	ZONING DISTRICT: <b>RH-1</b>	HEIGHT/BULK DISTRICT: <b>40-X</b>
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## 3. Project Description

Please check all that apply

Change of Use ☐ Change of Hours ☐ New Construction ☐ Alterations ☒ Demolition ☐ Other ☐Additions to Building: Rear ☐ Front ☐ Height ☒ Side Yard ☐  
Single family home

Present or Previous Use: \_\_\_\_\_

Proposed Use: Single family homeBuilding Permit Application No. 2016.07.11.2014 Date Filed: July 1, 2016

#### 4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

#### 5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

Yes, we have met several times with the neighbor to discuss the our project at 71 Bronte St, which they were  
not satisfied with, and resulted in their filing for a building permit for this project. They had initially asked if we  
would each agree to not file a Discretionary Review request on each other's project, which we said we would do  
after we got notification of their project. Subsequently, we have also offered to cut down the trees in our  
backyard that are obstructing the view from 75 Bronte to the bay/downtown.

# Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

The proposed project does not attempt to conform with the Residential Design Guidelines in regards to privacy (p.17) to develop window configurations that break the line of sight between houses, and to use translucent glazing such as glass block or frosted glass on windows and doors facing openings on abutting structures. The proposed project will continue to have windows on the side property line between our homes that have direct line of sight into our existing and new windows and skylights located in our bathrooms and bedrooms.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

Our property would be adversely affected by allowing the proposed project to construct additional windows on the side property line between our homes which creates privacy concerns and makes it unreasonably difficult to secure Planning Department approval for a proposed expansion of our home, which would build a second floor (on part of the first floor footprint) that would be directly adjacent to the proposed project's existing and proposed windows located on the property line.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

The proposed project could be altered to remove the windows located on the property line between our homes. We do not have windows on our side property lines, nor do the vast majority of the homes in our neighborhood. The proposed project appears to have numerous rear windows and a large front roof deck from which to take in the many, varied views and enjoy ample light.



## Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: William D. Henderson

Date: 2/1/17

Print name, and indicate whether owner, or authorized agent:

William Henderson, ARCHITECT  
Owner / Authorized Agent (circle one)

# RESPONSE TO DISCRETIONARY REVIEW (DRP)



**San Francisco  
Planning**

**SAN FRANCISCO PLANNING DEPARTMENT**  
1650 MISSION STREET, SUITE 400  
SAN FRANCISCO, CA 94103-2479  
MAIN: (415) 558-6378 SFPLANNING.ORG

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## Project Information

Property Address: 75 Bronte Street San Francisco, CA

Zip Code: 94110

Building Permit Application(s): 201607112014

Record Number: 2015-016132DRP

Assigned Planner: Micheal Christensen

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## Project Sponsor

Name: Robert Bozzini

Phone: (415) 821-4037

Email: bozzini@me.com

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## Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

DR requester is concerned about the impact of two proposed property line windows on their privacy, particularly "direct line of sight into our existing and new windows and skylights located in our bathroom and bedrooms."

We feel (and demonstrate in the attached pages) that the two proposed windows will have absolutely no impact on their privacy. There will be absolutely no direct line of sights into any skylights or window (neither existing nor proposed).

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

Normally, one is happy to make changes to accommodate a neighbor's concern.  
In this case, we can not because there is already absolutely no impact.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

See attached

## Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)	1	same
Occupied Stories (all levels with habitable rooms)	1	same
Basement Levels (may include garage or windowless storage rooms)	0	same
Parking Spaces (Off-Street)	1	same
Bedrooms	2	same
Height	21'6"	30'
Building Depth	46'	same
Rental Value (monthly)	n/a	n/a
Property Value	n/a	n/a

I attest that the above information is true to the best of my knowledge.

Signature: 	Date: 3/24/17
Printed Name: Robert Bozzini	<input checked="" type="checkbox"/> Property Owner <input type="checkbox"/> Authorized Agent

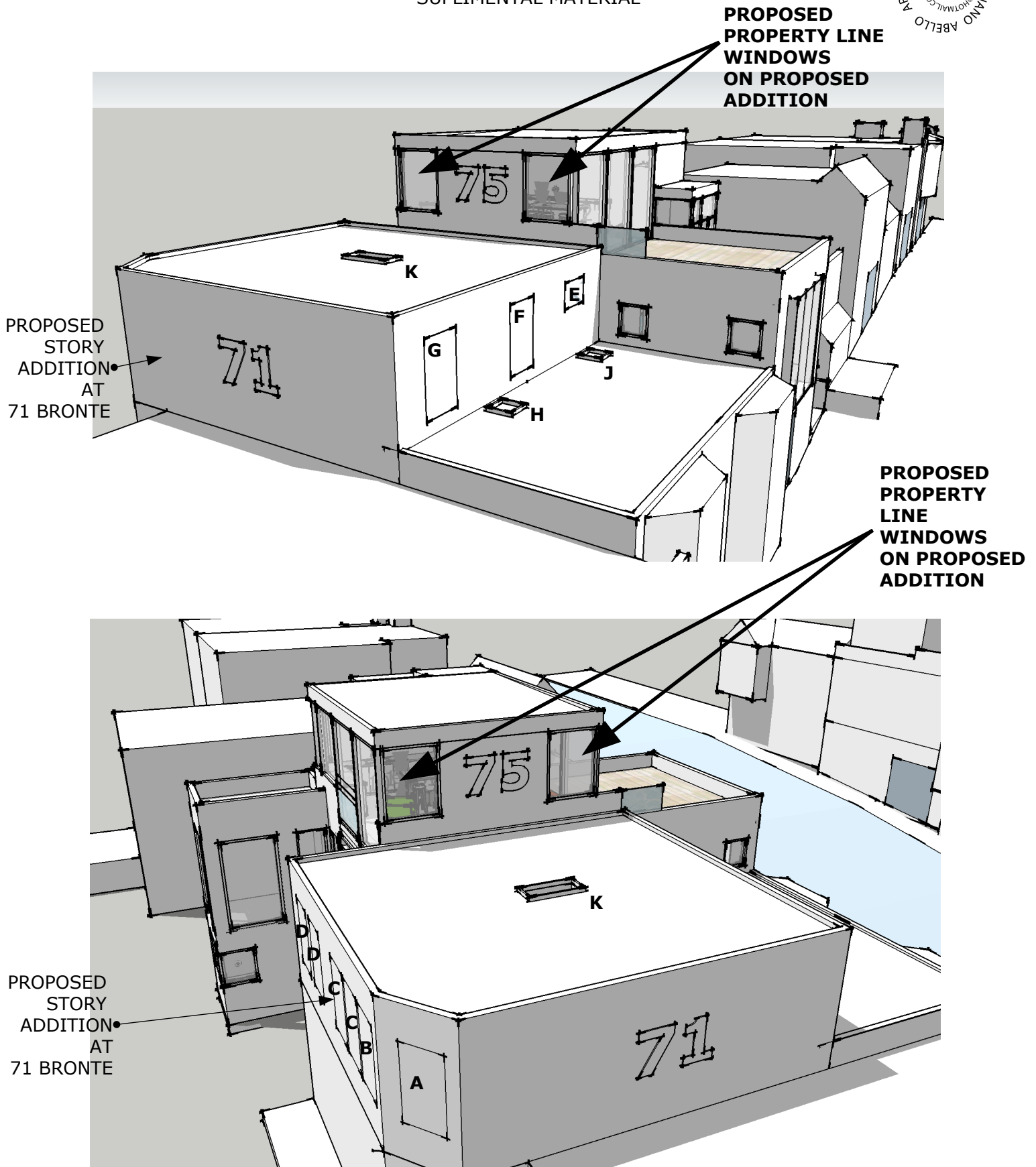
*If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.*

03.24.2017

75 BRONTE STREET, SAN FRANCISCO, CA 94110

RESPONSE TO DISCRETIONARY REVIEW

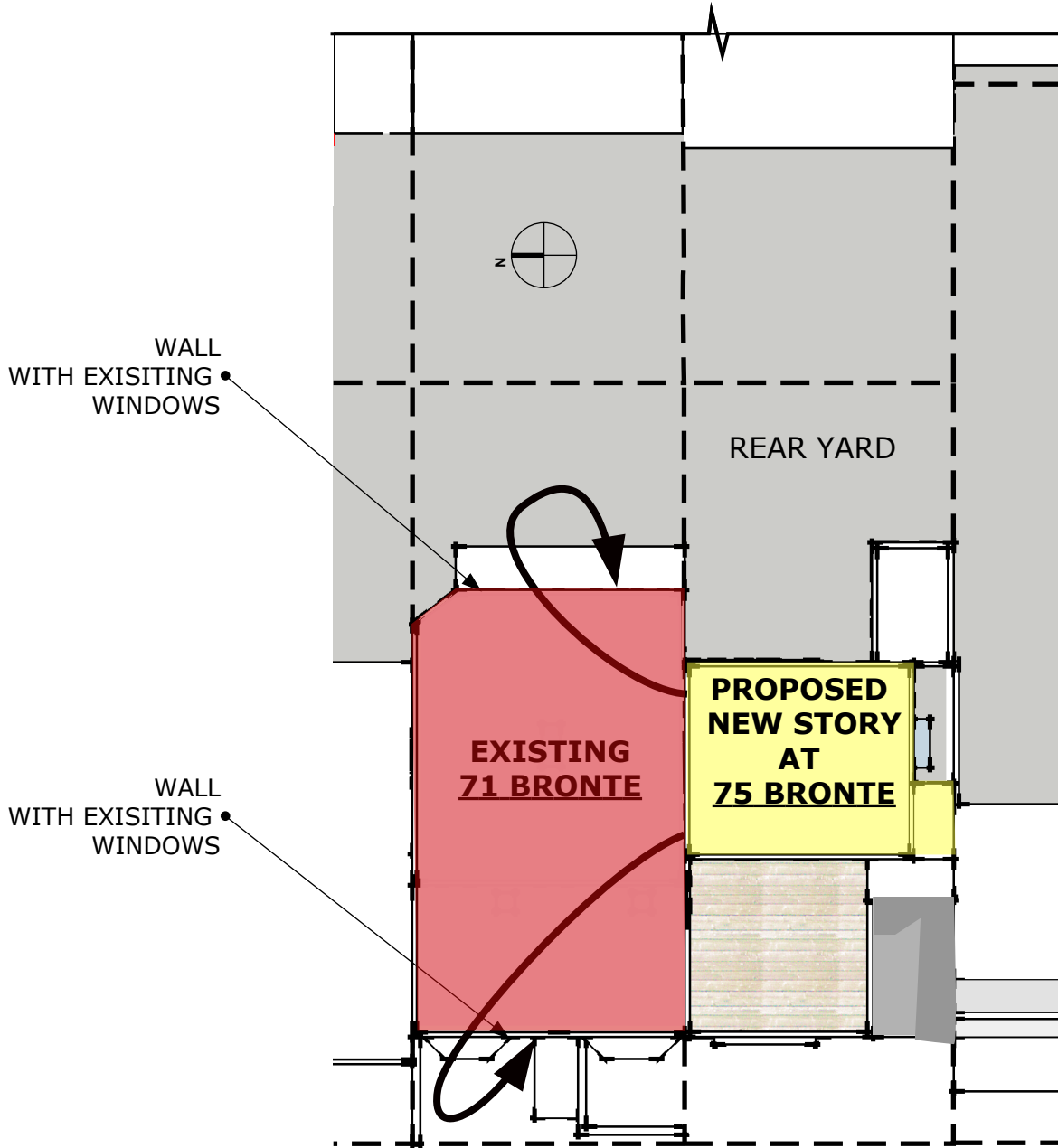
SUPLIMENTAL MATERIAL



LOCATION OF PROPERTY LINE WINDOWS OF CONCERN  
TO DISCRETIONARY REVIEW REQUESTER

03.24.2017

**75 BRONTE STREET, SAN FRANCISCO, CA 94110**  
RESPONSE TO DISCRETIONARY REVIEW  
SUPPLEMENTAL MATERIAL



Privacy impact on **Existing Windows** at 71 Bronte:

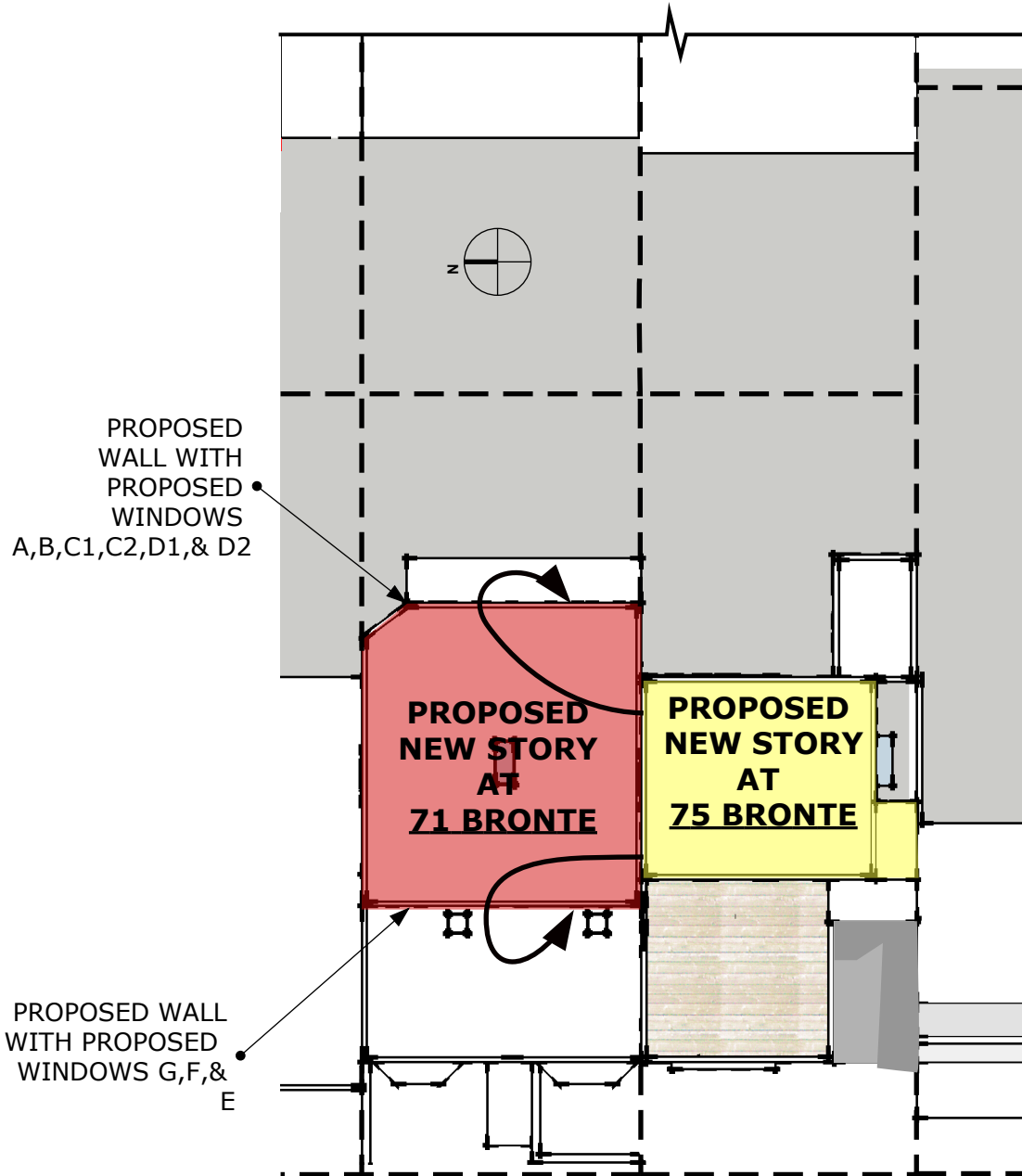
From the two property line windows proposed at 75 Bronte, one will not be able to see any of the existing windows on 71 Bronte. The windows are on planes 6'8 and 16'4" beyond the edge of our proposed addition.

There will be no "direct line of sight into our existing and new windows and skylights located in our bathrooms and bedrooms" from the proposed property line windows.



03.24.2017

**75 BRONTE STREET, SAN FRANCISCO, CA 94110**  
RESPONSE TO DISCRETIONARY REVIEW  
SUPPLEMENTAL MATERIAL



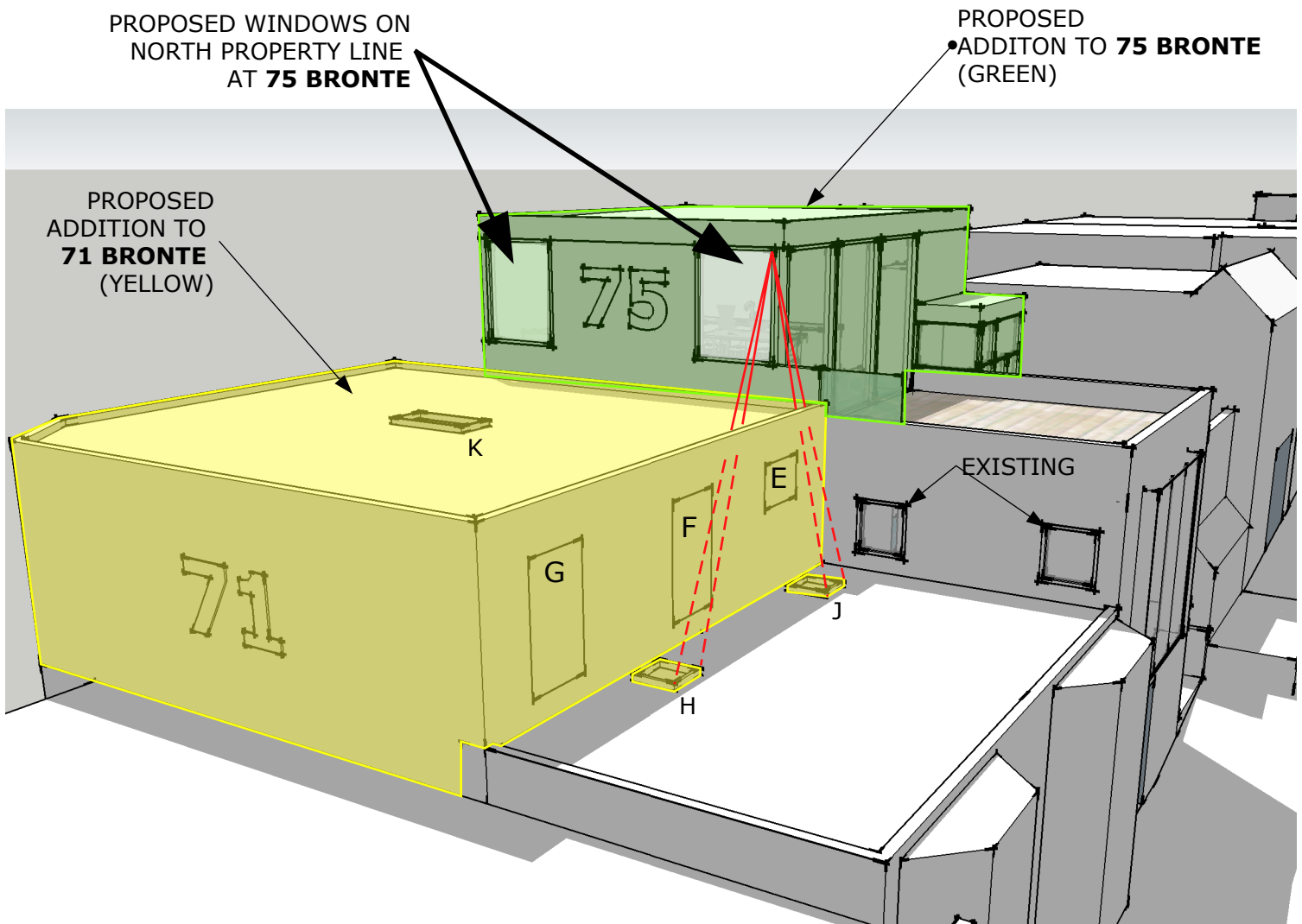
Privacy impact on **Proposed Windows** at 71 Bronte:

From the two property line windows proposed at 75 Bronte, one will not be able to see any of the proposed windows on 71 Bronte. The windows are on planes 6'8 and 2'4" beyond the edge of our proposed addition.

There will be no "direct line of sight into our existing and new windows and skylights located in our bathrooms and bedrooms" from the proposed property line windows.

03.24.2017

**75 BRONTE STREET, SAN FRANCISCO, CA 94110**  
RESPONSE TO DISCRETIONARY REVIEW  
SUPPLEMENTAL MATERIAL



Privacy impact on Proposed Skylights at 71 Bronte:

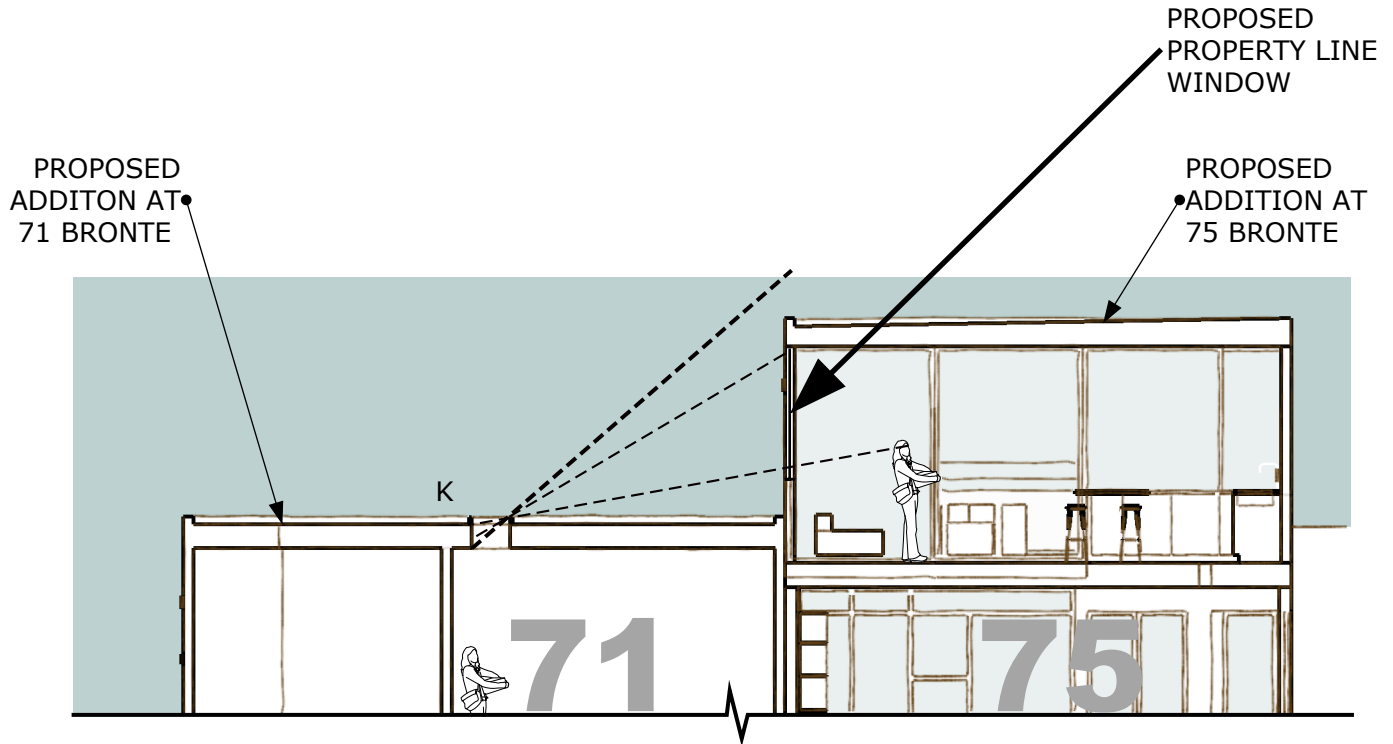
71 Bronte has proposed three skylights. Two are on the existing roof (H in a bedroom and J in a bathroom ) and one on the proposed roof (K in a hallway).

From the two property line windows proposed at 75 Bronte, one will not be able to see the proposed skylights H & J at all, as they will be blocked by their own building.

There will be no "direct line of sight into our existing and new windows and skylights located in our bathrooms and bedrooms" from the proposed property line windows.

03.24.2017

**75 BRONTE STREET, SAN FRANCISCO, CA 94110**  
RESPONSE TO DISCRETIONARY REVIEW  
SUPPLEMENTAL MATERIAL



Privacy impact on Proposed Skylights at 71 Bronte:

Proposed skylight K at 71 Bronte will be visible from the two proposed property line windows. Because they are over 11' away, one would only see the top of the skylight and a small part of the inside of the curb (standing on a ladder with one's eye on the ceiling level) with no direct line of sight into the proposed hall way.

There will be no "direct line of sight into our existing and new windows and skylights in our bathrooms and bedrooms" from the two proposed property line windows.



ALL WORK TO CONFORM WITH: 2013 CALIFORNIA BUILDING CODE, & CURRENT CALIFORNIA PLUMBING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, CALIFORNIA ENERGY EFFICIENCY STANDARDS, AND LOCAL AMMENDMENTS.

1. A.I.A. DOCUMENT A201-GENERAL CONDITIONS FOR THE PERFORMANCE OF A CONTRACT, IS HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF WORK.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH THE APPLICABLE UBC, HANDICAP ACCESS CODE & ALL APPLICABLE ORDINANCES, INCLUDING STATE AND LOCAL BUILDING CODES AND REQUIREMENTS.

3. KEYING SHALL BE AS DIRECTED BY THE OWNER.

4. PRIOR TO CONSTRUCTION, DISCREPANCIES BETWEEN THE DESIGN AND ENGINEERING DRAWINGS SHALL BE REPORTED TO THE DESIGNER BY THE CONTRACTOR.

5. FOR ADDITIONAL INFORMATION ON ITEMS INDICATED ON THESE DRAWINGS, REFER TO SPECIFICATIONS.

6. IF NECESSARY THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE DESIGNER AND THE OWNER DUE TO PARTIAL OCCUPANCY THROUGHOUT THE COURSE OF CONSTRUCTION.

7. THE CONTRACTOR SHALL CONFIRM IN WRITING APPROXIMATE ON-SITE-DELIVERY DATES FOR ALL CONSTRUCTION ITEMS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS, AND SHALL NOTIFY THE DESIGNER IN WRITING OF ANY POSSIBLE DELAYS AFFECTING OCCUPANCY.

8. THE CONTRACTOR SHALL PROVIDE A SCHEDULE FOR CONSTRUCTION AS REQUIRED TO MEET THE OWNER'S PHASING REQUIREMENTS AND ULTIMATE COMPLETION DATE.

9. THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN THE LOCATION OF ANY AND ALL MECHANICAL, ELECTRICAL, TELEPHONE, LIGHTING, PLUMBING AND FIRE SPRINKLER WORK (INCLUDING PIPING, DUCTWORK AND CONDUIT), AND THAT ALL CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.

10. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENT OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR DESIGNER'S FAILURE TO DISCOVER OF POINT OUT DEFICIENCIES OR DEFECTS DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITHIN THE TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING TO THE INTENT OF THE CONTRACT. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS ACCEPTANCE OF DEFECTIVE OR IMPROPER WORK.

11. WHERE APPLICABLE THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES CAUSED BY THE CONTRACTOR OR SUB-CONTRACTORS.

12. THE CONTRACTOR SHALL REVIEW, APPROVE, STAMP AND SUBMIT WITH REASONABLE PROMPTNESS AND IN SUCH SEQUENCES AS TO CAUSE NO DELAY IN THE WORK, PRODUCT DATA, SHOP DRAWINGS AND SAMPLES FOR THE PROJECT.

13. BY APPROVING, STAMPING AND SUBMITTING SHOP DRAWINGS, PRODUCT DATA AND SAMPLES, THE CONTRACTOR REPRESENTS THAT HE HAS DETERMINED AND VERIFIED MATERIALS, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION CRITERIA RELATED THERETO, AND THAT HE HAS CHECKED AND COORDINATED THE INFORMATION WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND CONTRACT DOCUMENTS.

14. THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE DESIGNER'S REVIEW OF THE SHOP DRAWINGS, PRODUCT DATA OR SAMPLES, UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE DESIGNER IN WRITING OF SUCH DEVIATION AT THE TIME OF SUBMISSION AND THE DESIGNER HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.

15. THE CONTRACTOR SHALL SUBMIT TO THE DESIGNER ONE TWO (2) PRINTS, TYPICALLY, OF EACH SHOP DRAWING SUBMITTAL PLUS TWO (2) COPIES OF EITHER PRODUCT DATA OR SAMPLES. CONTRACTOR TO COORDINATE WITH DESIGNER ON PROVISION OF ADDITIONAL SUBMITTALS TO CONSULTANTS.

16. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR DIMENSIONS OR QUANTITIES ON REVIEWED SUBMITTALS.

17. SUBSTITUTIONS, REVISIONS AND/OR CHANGES MUST HAVE PRIOR WRITTEN APPROVAL BY THE DESIGNER.

18. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS AND REPORT IMMEDIATELY TO THE DESIGNER ANY DISCREPANCIES FOR CORRECTION OR ADJUSTMENT.

19. THE CONTRACTOR SHALL PROVIDE COMPLETE PRODUCT DATA AND RELATED INFORMATION APPROPRIATE FOR THE OWNER'S MAINTENANCE & OPERATION OF PRODUCTS FURNISHED UNDER THE CONTRACT.

20. THE WORK UNDER THIS CONTRACT SHALL BE WARRANTED BY THE CONTRACTOR AGAINST ALL DEFECTS FOR ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK OR DESIGNATED PORTIONS THEREOF OR FOR ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER OF DESIGNATED EQUIPMENT OR AS GIVEN BY MANUFACTURER IF GREATER THAN ONE YEAR. IN CASE OF ITEMS REMAINING UNCOMPLETED AFTER THE DATE OF SUBSTANTIAL COMPLETION, THE ONE-YEAR WARRANTY PERIOD SHALL BE FROM DATE OF ACCEPTANCE OF SUCH ITEMS.

21. EACH TRADE SHALL EXAMINE THE PREMISES TO INSURE THAT CONDITIONS ARE APPROPRIATE FOR HIS WORK TO COMMENCE, PRIOR TO COMMENCING HIS WORK. AREAS NOT APPROPRIATE SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER. COMMENCING WORK IMPLIES ACCEPTANCE OF EXISTING CONDITIONS.

22. THE GENERAL CONTRACTOR SHALL ASSIST IN THE COORDINATION OF NIC ITEMS, INCLUDING FURNITURE INSTALLATION, EQUIPMENT INSTALLATION, ETC.

23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE INSTALLATION AS REQUIRED FOR ACCESSORY ITEMS.

24. ALL DRAWINGS & NOTES ARE CONSIDERED COMPLEMENTARY, & WHAT IS CALLED FOR BY EITHER WILL BE AS BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE SET OF DRAWINGS SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DRAWINGS.

25. 'TYPICAL' OR 'TYP.' MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS.

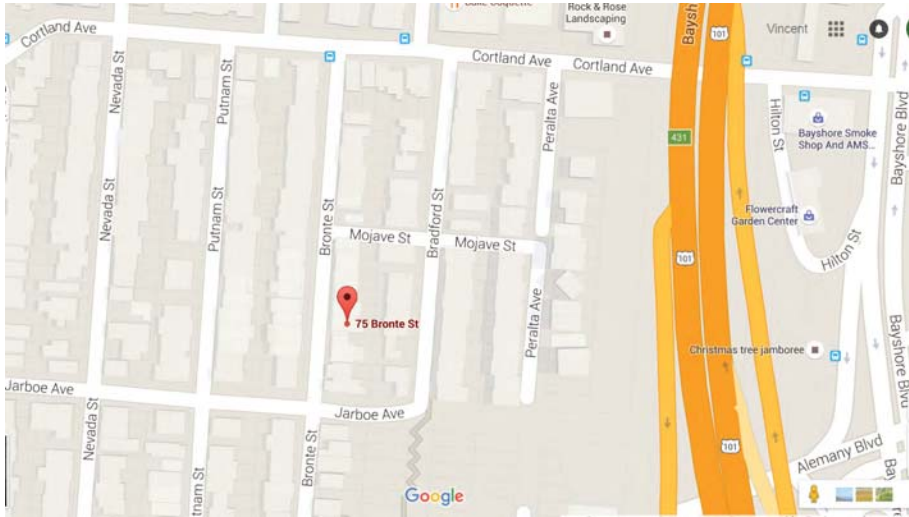
26. SIMILAR OR 'SIM' MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION WITH DRAWINGS.

27. DO NOT SCALE FROM DRAWINGS.

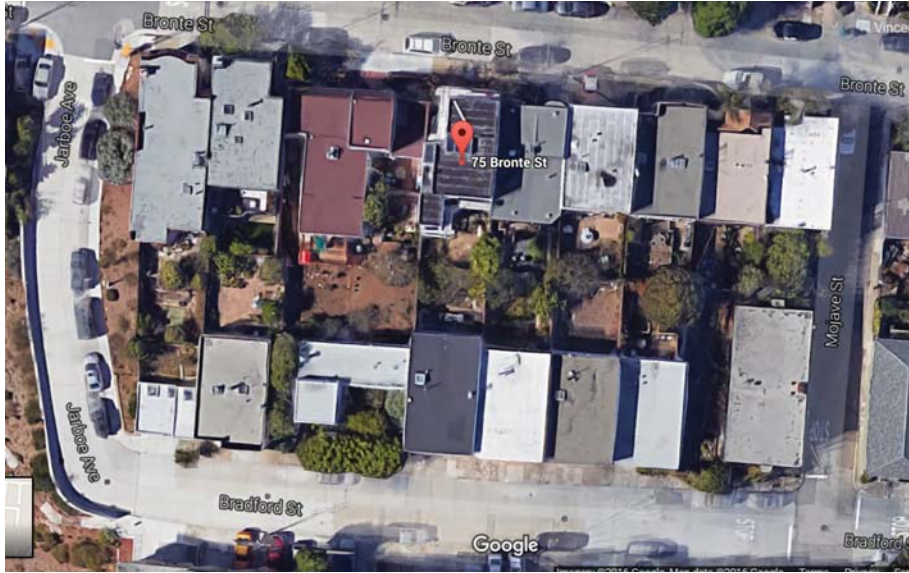
## PROJECT NOTES

LESSER THAN	GALV	GALVANIZED	REFR	REFRIGERATOR
GREATER THAN	GD	GARBAGE DISPOSAL	REINF	REINFORCE
&	GEN	GENERAL	RM	ROOM
AND	GFI	GROUND FAULT INTERRUPTOR OUTLET	RO	ROUGH OPENING
ANGLE	GL	GLASS	SC	SOLID CORE
@	GYP	GYPSUM	SCHED	SCHEDULE
CL	HC	HOLLOW CORE	SECT	SECTION
ADJ	HDWD	HARDWARE	SIM	SIMILAR
AFF	HGT	HEIGHT	SLD	SEE LANDSCAPE DRAWINGS
ALT	HT	HEIGHT	SSD	SEE STRUCTURAL DRAWING
APP	HM	HOLLOW METAL	SPEC	SPECIFICATION
ARCH	HW	HOT WATER	SST	STAINLESS STEEL
BD	IN	INCH	STD	STANDARD
BLDG	INSUL	INSULATION	STL	STEEL
CAB	INT	INTERIOR	STN	STAIN
CBC	JT	JOINT	STOR	STORAGE
CEM	KIT	KITCHEN	STRUC	STRUCTURAL
CER	MTL	METAL	SUSP	SUSPENDED
CLG	MFR	MANUFACTURER	SYM	SYMMETRICAL
CLO	MIN	MINIMUM	T	TREAD
CLR	MIR	MIRROR	TF	TRANSPARENT FINISH
CLC	MISC	MISCELLANEOUS	TEL	TELEPHONE
CONC	MSRY	MASONRY	TEL	TELEPHONE
CON	MTD	MOUNTED	TOW	TOP OF WALL
CTR	(N)	NEW, PROPOSED	TV	TELEVISION
CT	NIC	NOT IN CONTRACT	TYP	TYPICAL
DET	NO/#	NUMBER	UBC	UNIFORM BUILDING CODE
DEM	NON	NOMINAL	UC	UNDER COUNTER
DIA	NTS	NOT TO SCALE	UNF	UNFINISHED
DIM	OC	ON CENTER	UON	UNLESS OTHERWISE NOTED
DR	OD	OUTSIDE DIAMETER (DIM)	VAR	VARIES
DNG	OH	OPPOSITE HAND	VEN	VENER
(E)	OPNG	OPENING	VEST	VESTIBULE
EA	OPP	OPPOSITE	VIF	VERIFY IN FIELD
EL	O/	OVER	VP	VENER PLASTER
EL	O/S	OUTSIDE	W/	WITH
ELEV	PART	PARTITION	WC	WATER CLOSET
ELEC	PL	PROPERTY LINE	WD	WOOD
EQL	PLAM	PLASTIC LAMINATE	WH	WATER HEATER
EXT	PLAS	PLASTER	W/O	WITHOUT
FAB	LAV	LAVATORY	WT	WEIGHT
FD	PLYWD	PLYWOOD		
FF	MC	MATERIAL		
FIN	MAT	MEDICINE CABINET		
FIX	MECH	MECHANICAL		
FL	PNL	PANEL		
FOF	PNT	PAINT		
FOS	PT	PRESSURE TREATED		
FT	R	RADIUS		
FURR	RB	RUBBER		
GA	REF	REFERENCE		

## ABBREVIATIONS








































### VICINITY MAP



## AERIAL PHOTOGRAPH



AERIAL PHOTOGRAPH

	ABOVE OR BELOW OR BEYOND (NOT SEEN)		CEILING MOUNTED LIGHT FIXTURE
	(E) TO BE REMOVED		WALL WASHER
	(N) WALL		RECESSED DOWNLIGHT
	RATED WALL		ACCENT LIGHT
	(E) WALL TO REMAIN		FLUORESCENT UPLIGHT
	TILE OR STONE		WALL SCONCE
	GRANITE OR MARBLE		UNDERCOUNTER LIGHT
	TEXTURED WALL FINISH		FLUORESCENT LIGHT FIXTURE - SEE FIXTURE SCHEDULE FOR ADDITIONAL FLUORESCENT FIXTURES
	DOOR SYMBOL		CEILING JUNCTION BOX
	REVISION		WALL MOUNTED JUNCTION BOX
	DETAIL NO. SHEET NO.		CLOCK OUTLET
	ELEVATION NO. SHEET NO.		SWITCH
	PARTITION TYPE RATING HOUR RESISTIVE RATING INDICATES HOUR RATING REQUIRED. DASH INDICATES NO RATING REQUIRED		CONTINUOUS CIRCUIT
	PARTITION TYPE RATING. INDICATES FULL HEIGHT PARTITION- FLOOR SLAB TO UNDERSIDE OF STRUCTURE ABOVE. NO RATING REQUIRED		WALL MOUNTED TELEPHONE/ PEDESTAL TELEPHONE/DATA OUTLET
	ALIGN		FAN
	CEILING MOUNTED SMOKE DETECTOR		RETURN
	CEILING MOUNTED LIFE SAFETY FLASHING STROBE		SUPPLY
	LIFE SAFETY SPEAKER		AIRBAR
	CEILING MOUNTED LIFE SAFETY STROBE & SPEAKER		EXIT SPRINKLER
	MANUAL FIRE ALARM PULL SYSTEM		WALL MOUNTED DOUBLE DUPLEX
	WALL MOUNTED LIFE SAFETY STROBE LIGHT		DOUBLE DUPLEX POWER RECEPTACLES IN FLOOR MONUMENT
	WALL MOUNTED BUILDING STANDARD OCCUPANCY SENSOR		TRACK LIGHTING
	DIMMER SWITCH		WALL MOUNTED DOUBLE DUPLEX OUTLET SWITCH
	THERMOSTAT		

## SYMBOLS

<p>OWNER: ROBERT BOZZINI 75 BRONTE STREET SAN FRANCISCO CA 94110</p> <p>DESIGNER: V. LABIANO ABELLO ARCHITECTS 1117 NEILSON STREET ALBANY, CA 94706 TEL. 415 819 3990 E: VPLA@HOTMAIL.COM</p>	<p><u>SITE ADDRESS</u></p> <p>75 BRONTE STREET SAN FRANCISCO CA 94110</p> <p><u>DESCRIPTION OF SCOPE OF WORK:</u></p> <p>384 SF NEW STORY ADDITION 57 SF NEW INTERIOR STAIR ADDITION RELOCATE KITCHEN TO NEW STORY</p> <p><u>BASIC BUILDING CODE DATA:</u></p> <p>LOT: 5689 BLOCK: 024 ZONING: RH1</p>		
<p><b>PROJECT INFORMATION</b></p>			
<p>CS COVER SHEET A1.1 EXISTING SITE PLAN A1.2 EXISTING STORY &amp; ROOF PLANS A1.3 EXISTING SECTIONS A1.4 EXISTING ELEVATIONS A2.1 PROPOSED SITE PLAN A2.2 PROPOSED STORY &amp; ROOF PLANS A2.3 PROPOSED SECTIONS A2.4 PROPOSED ELEVATIONS A2.5 PROPOSED PERSPECTIVE STUDIES A2.6 PLANNING CODE DIAGRAMS A2.7 WINDOW SCHEDULE A2.8 WINDOW DETAILS</p>	<p>NO. OF UNITS: OCCUPANCY: CONSTRUCTION TYPE: BUILDING HEIGHT: NO. OF STORIES/BASEMENT:</p>	<p>1 R3 VB 21'6" 2/0</p>	<p>NO CHANGE NO CHANGE NO CHANGE 30' 3/0</p>
<p><b>INDEX</b></p>		<p><b>SITE INFORMATION &amp; BASIC CODE DATA</b></p>	



**ARCHITECT**  
VINCENT LABIANO ABELLO  
SAN FRANCISCO, CA  
+1 (415) 819 3990

## PROJECT

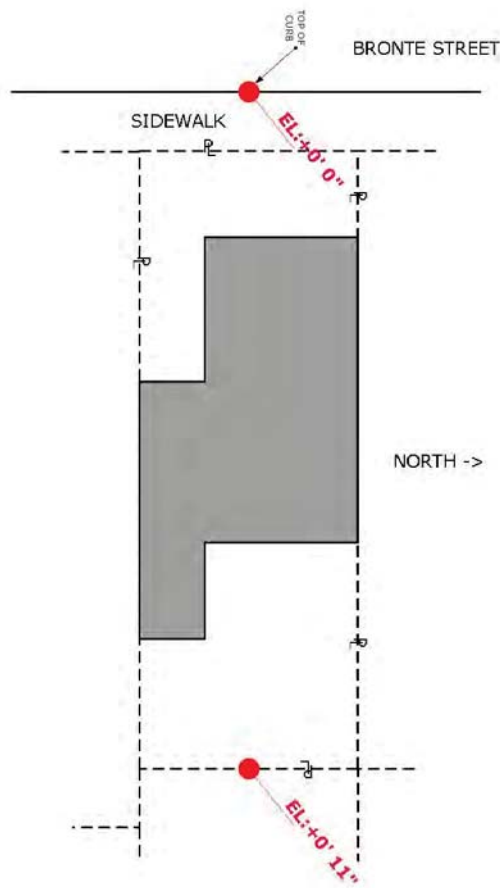
NEW STORY ADDITION  
75 BRONTE STREET  
SAN FRANCISCO, CA 94110

**DATE**  
10.26.2016

10.26.2016

# COVER SHEET

CS



DATE  
010.05.2016

GRADE ELEVATION SURVEY  
75 BRONTE STREET  
SAN FRANCISCO, CA  
94110

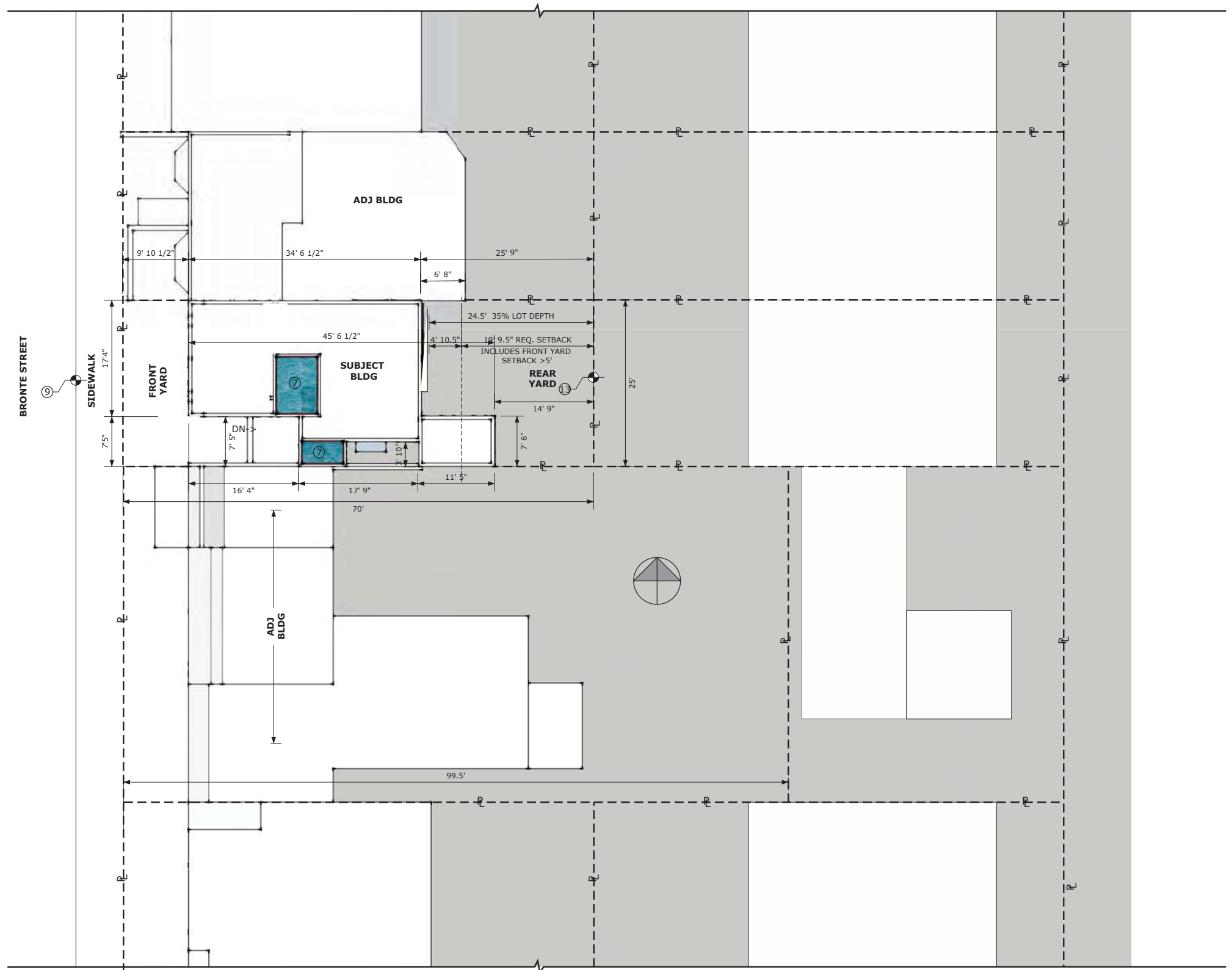
ARCHITECT  
VINCENT LABIANO ABELLO  
VLAB@HOTMAIL.COM  
+1 (415) 819 3990



#### NOTES

- 7. (E) SKYLIGHT
- 9. (E) ELEVATION OF CURB AT MID WIDTH OF LOT: +/- 0'-0"
- 13. (E) ELEVATION OF GRADE AT MID WIDTH OF LOT AT REAR PROPERTY LINE: +0'-11.5"

ALL EXISTING DIMENSION TO BE VERIFIED IN THE FIELD



**SITE PLAN**  
SCALE 1/8"=1'



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VINCENT LABIANO ABELLO  
SAN FRANCISCO, CA  
+1 (415) 819 3990

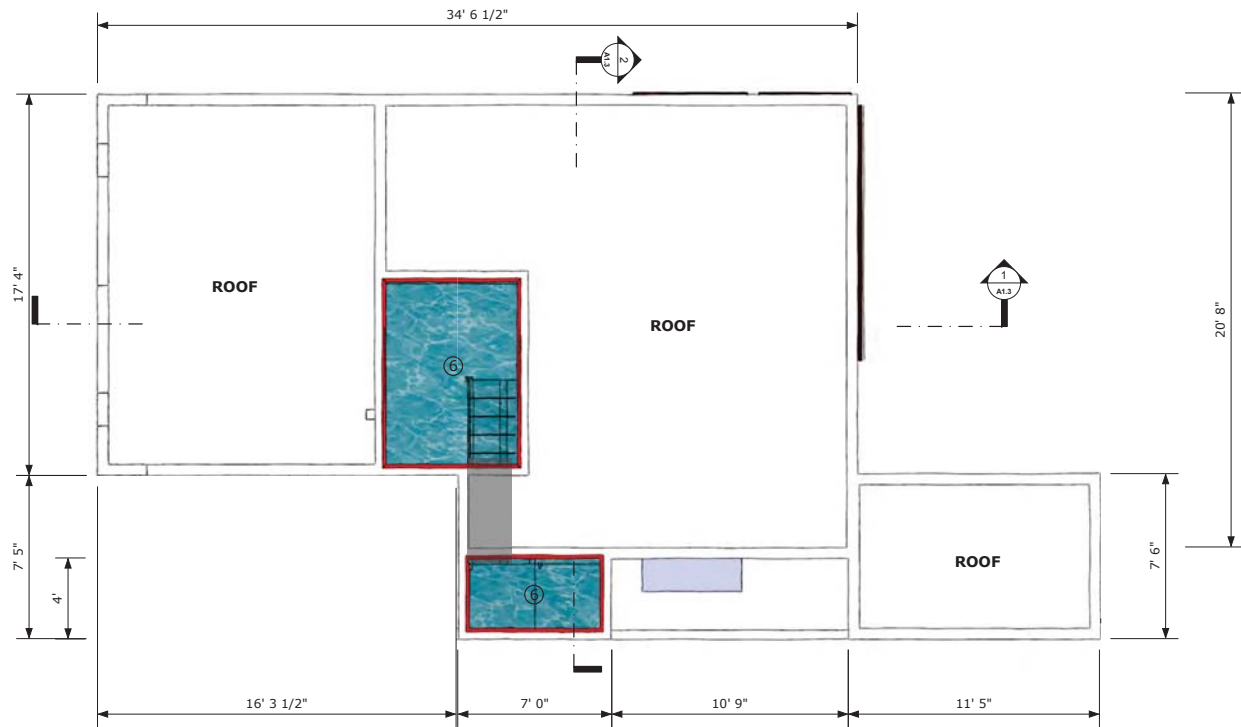
PROJECT  
NEW STORY ADDITION  
75 BRONTE STREET  
SAN FRANCISCO, CA 94110

DATE  
10.26.2016

EXISTING  
SITE PLAN

**A1.1**

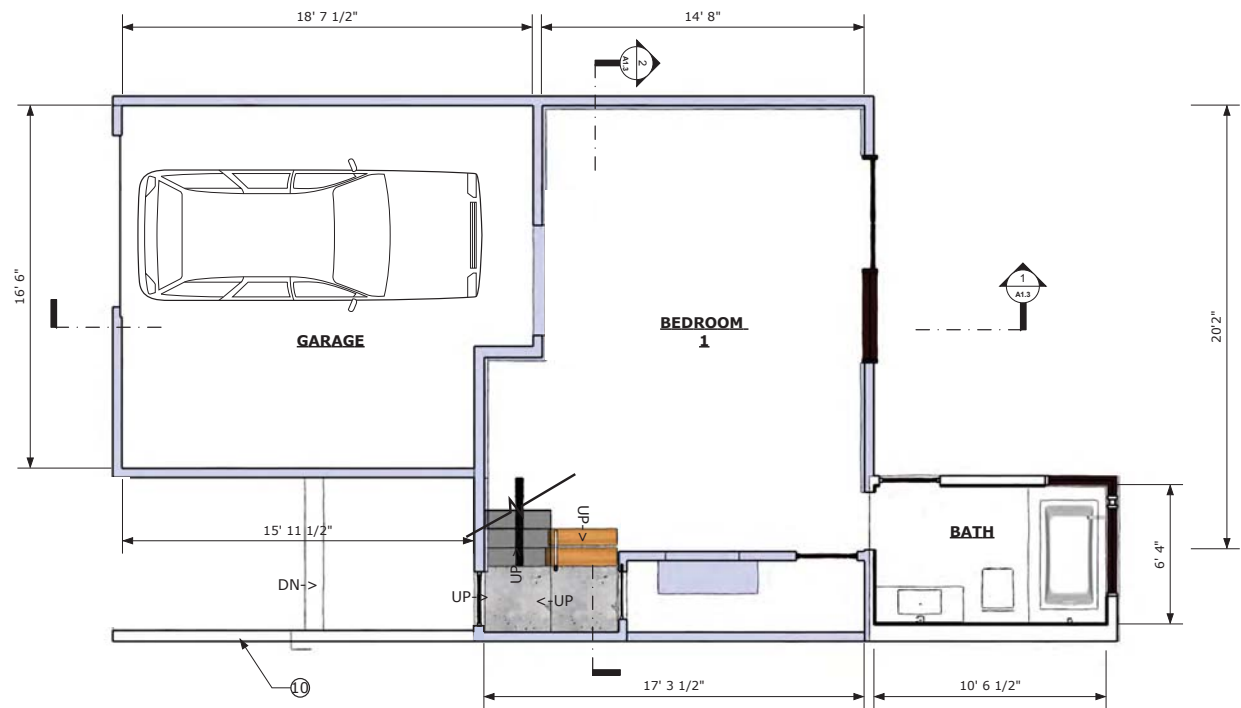




**ROOF PLAN**  
SCALE 1/4"=1'



**SECOND STORY**  
SCALE 1/4"=1'



- NOTES
1. (E) ALUMINIUM WINDOW TO BE REPLACED
  2. (E) ALUMINIUM WINDOW TO BE REMOVED
  3. (E) ELEVATION AT CURB OF MID-LOT
  7. (E) SKYLIGHT
  10. (E) RETAINING WALL

ALL EXISTING DIMENSIONS TO BE VERIFIED IN THE FIELD

**FIRST STORY**  
SCALE 1/4"=1'



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SAN FRANCISCO, CA  
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NEW STORY ADDITION  
75 BRONTE STREET  
SAN FRANCISCO, CA 94110

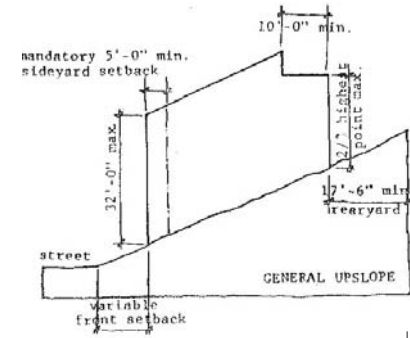
**DATE**  
10.26.2016

**EXISTING  
FLOOR & ROOF  
PLANS**

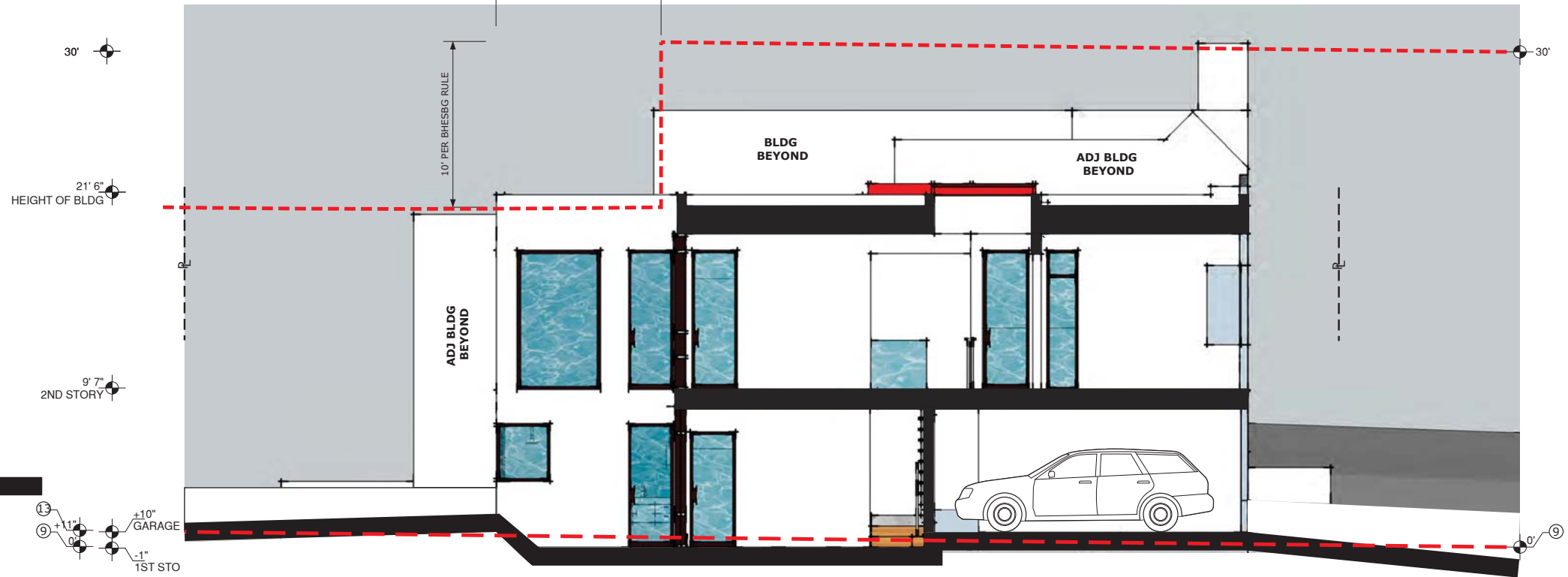
**A1.2**

**BERNAL HEIGHTS EAST SLOPE BUILDING GUIDELINES  
RULE:**

**IN ADDITION, NO POINT OF THE LAST 10'0" DEPTH OF  
THE BUILDING MAY EXCEED 2/3 OF THE HEIGHT OF  
THE HIGHEST POINT OF THE STRUCTURE.**



**TRANSVERSAL SECTION**  
SCALE 1/4"=1'



**LONGITUDINAL SECTION**  
SCALE 1/4"=1'

--- AVERAGE GRADE PLANE & 30' ABOVE AVERAGE  
GRADE PLANE @ SECTION CUT

--- AVERAGE GRADE PLANE & 30' ABOVE AVERAGE GRADE PLANE

NOTES  
9. (E) ELEVATION OF CURB AT MID WIDTH OF LOT: +/- 0'-0"  
13. (E) ELEVATION OF GRADE AT MID WIDTH OF LOT AT REAR OF PROPERTY: +0'-11"

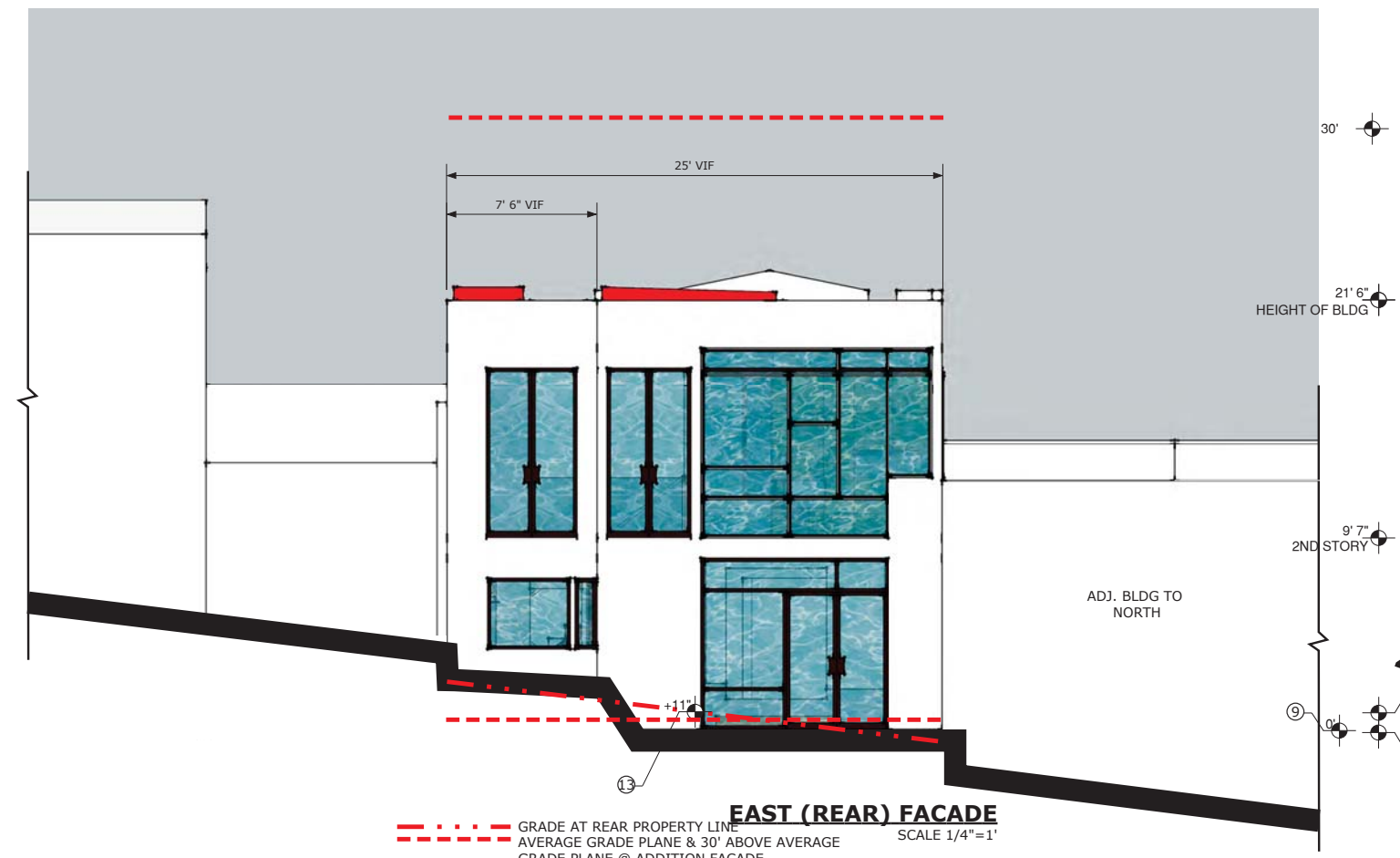


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VINCENT LABIANO ABELLO  
SAN FRANCISCO, CA  
+1 (415) 819 3990

**PROJECT**  
NEW STORY ADDITION  
75 BRONTE STREET  
SAN FRANCISCO, CA 94110

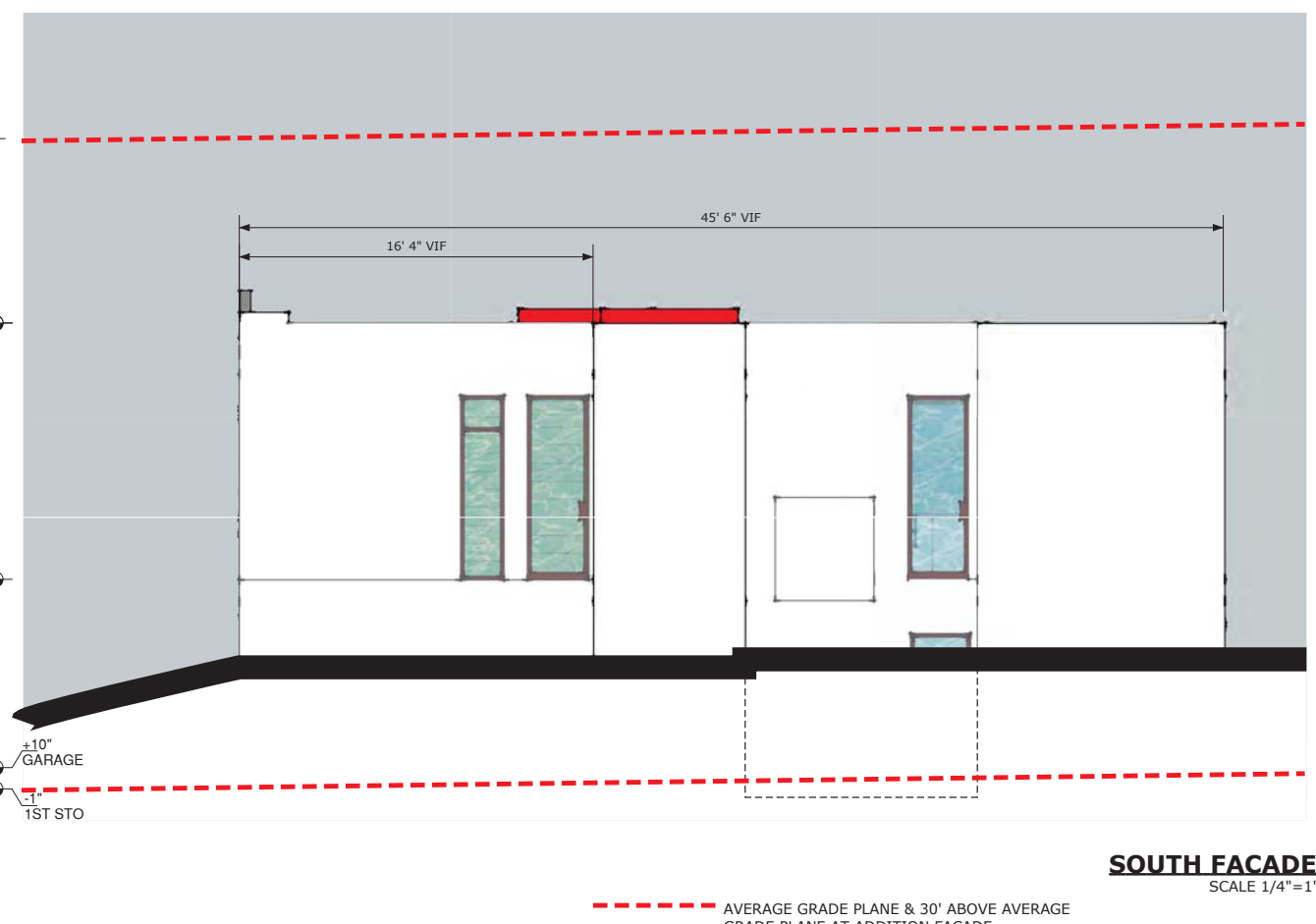
**DATE**  
10.26.2016

**EXISTING  
ELEVATIONS**  
SEE PLAN FOR ALL PLAN DIMENSIONS.  
PLAN DIMENSION GIVEN ON ELEVATIONS ARE APPROXIMATE



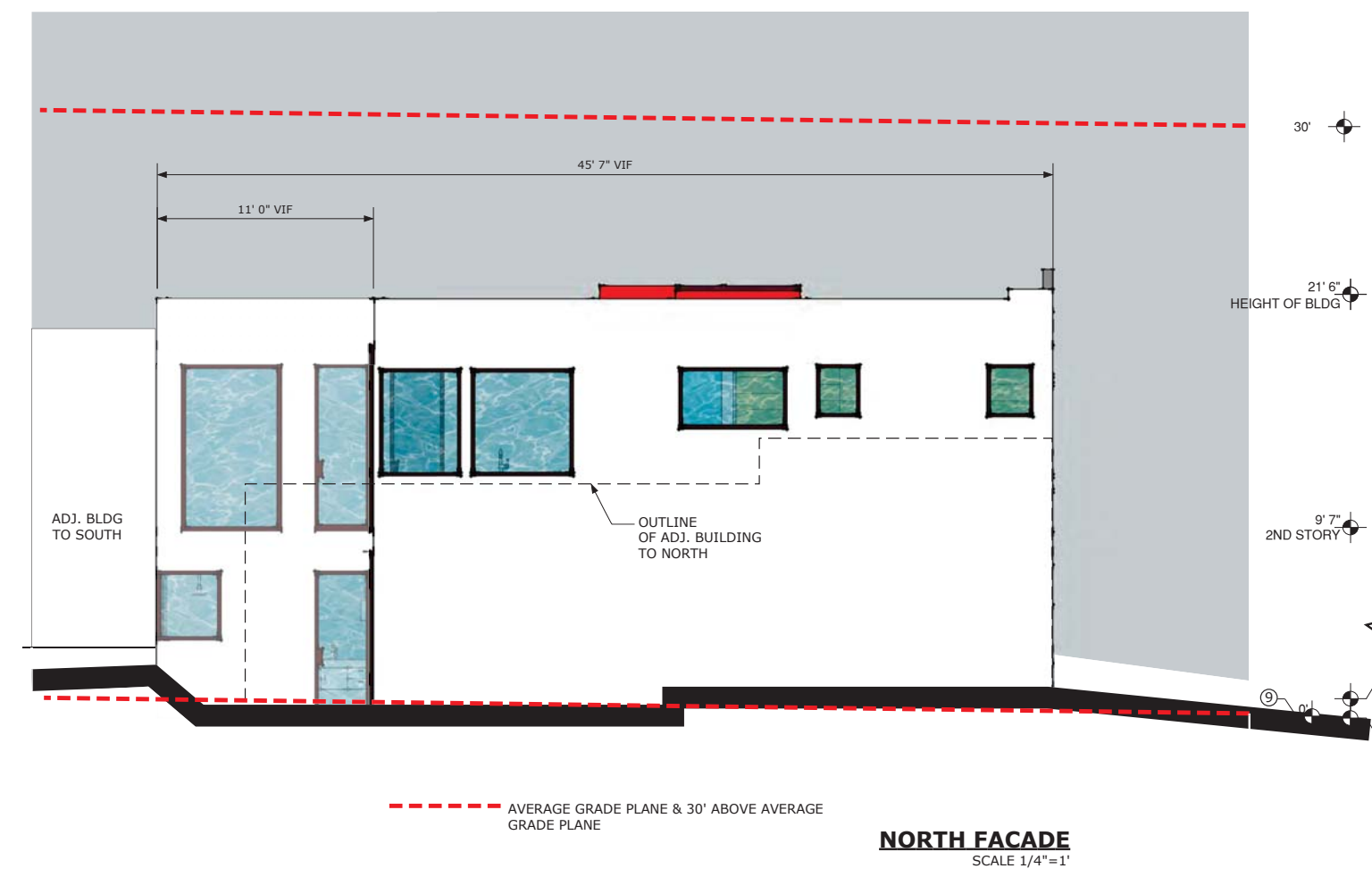
--- GRADE AT REAR PROPERTY LINE  
--- AVERAGE GRADE PLANE & 30' ABOVE AVERAGE  
GRADE PLANE @ ADDITION FACADE

**EAST (REAR) FACADE**  
SCALE 1/4"=1'



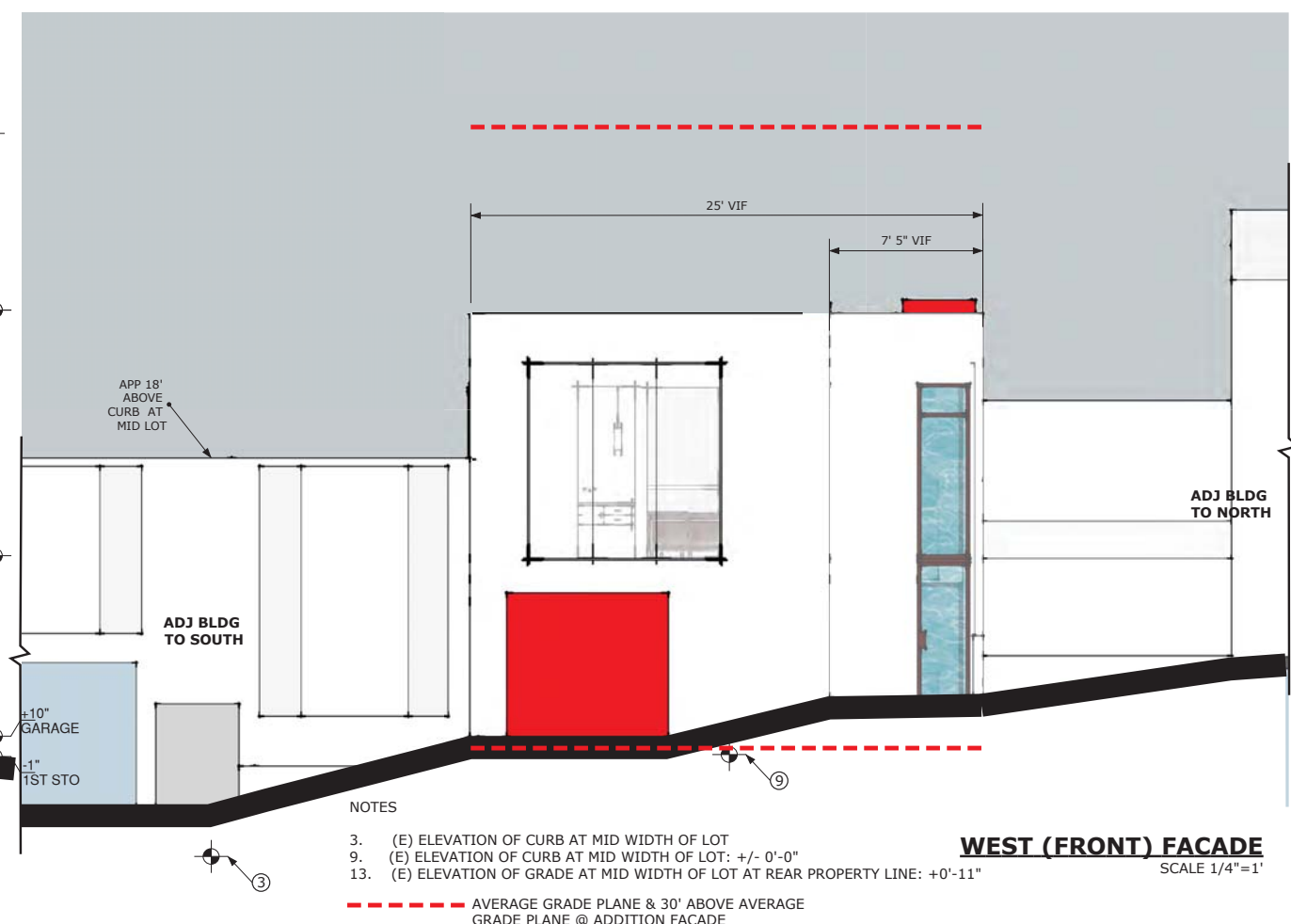
--- AVERAGE GRADE PLANE & 30' ABOVE AVERAGE  
GRADE PLANE AT ADDITION FACADE

**SOUTH FACADE**  
SCALE 1/4"=1'



--- AVERAGE GRADE PLANE & 30' ABOVE AVERAGE  
GRADE PLANE

**NORTH FACADE**  
SCALE 1/4"=1'



**NOTES**

3. (E) ELEVATION OF CURB AT MID WIDTH OF LOT  
9. (E) ELEVATION OF CURB AT MID WIDTH OF LOT: +/- 0'-0"  
13. (E) ELEVATION OF GRADE AT MID WIDTH OF LOT AT REAR PROPERTY LINE: +0'-11"

--- AVERAGE GRADE PLANE & 30' ABOVE AVERAGE  
GRADE PLANE @ ADDITION FACADE

**WEST (FRONT) FACADE**  
SCALE 1/4"=1'



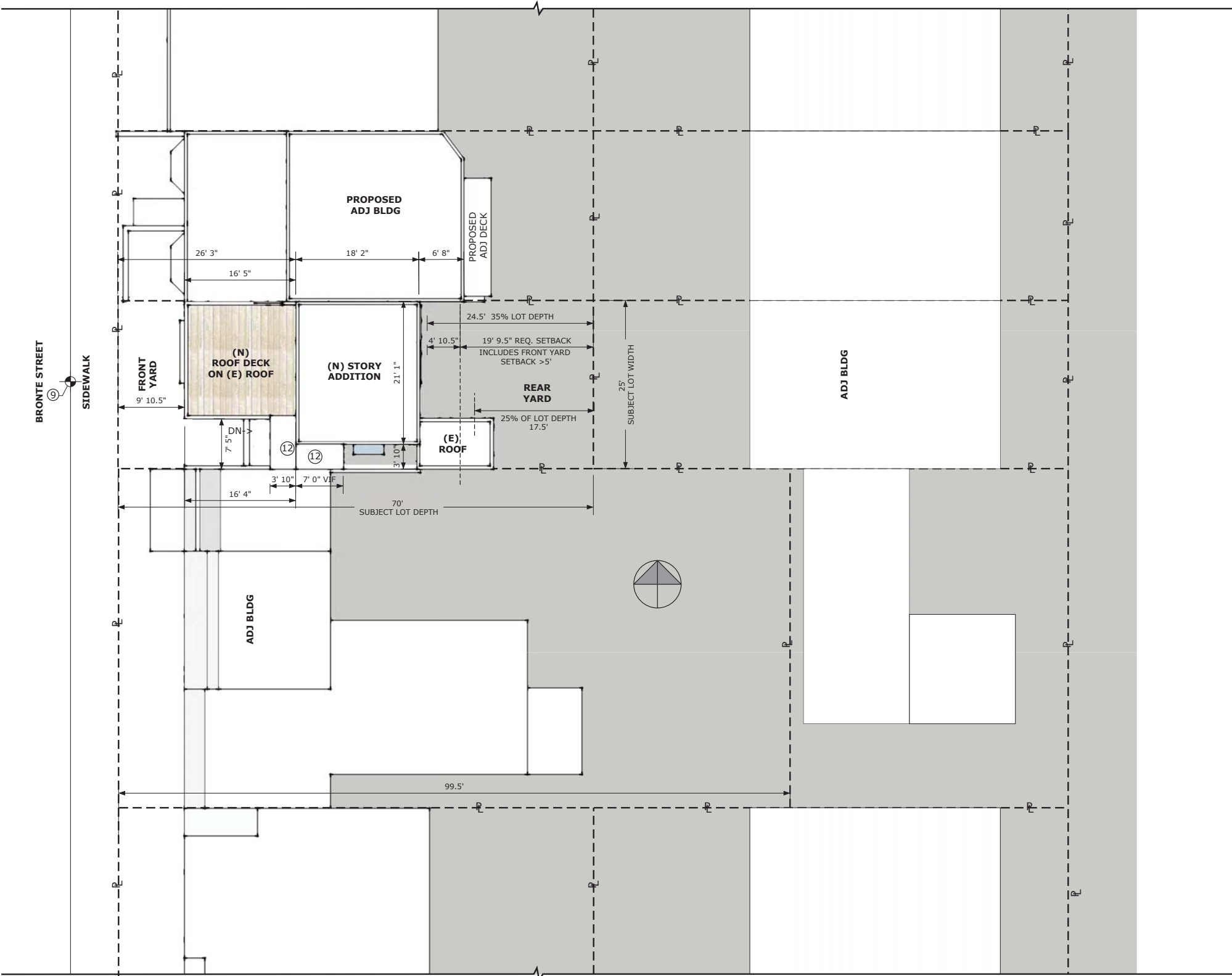
ARCHITECT  
VINCENT LABIANO ABELLO  
SAN FRANCISCO, CA  
+1 (415) 819 3990

PROJECT  
NEW STORY ADDITION  
75 BRONTE STREET  
SAN FRANCISCO, CA 94110

DATE  
10.26.2016

PROPOSED  
SITE PLAN

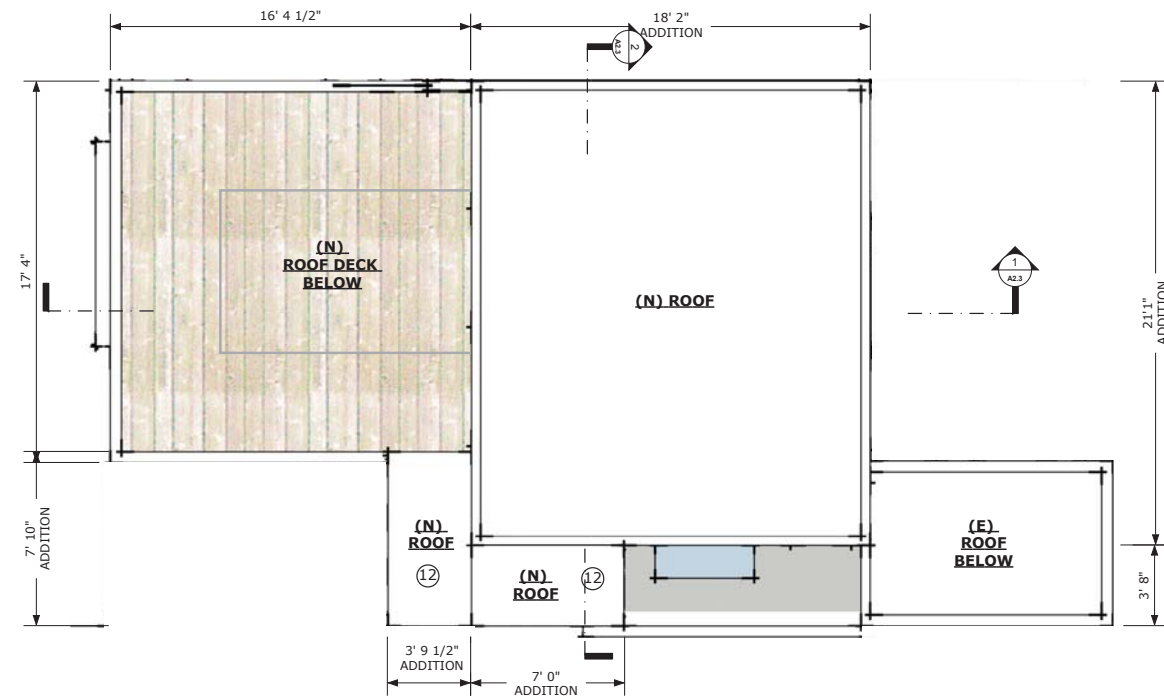
A2.1



NOTES

1. (N) STORY ADDITION
2. (N) ROOF DECK ON (E) ROOF
3. (N) STAIRS
4. (N) ADDITION
8. (N) GUARDRAIL
9. (E) ELEVATION OF CURB AT MID WIDTH OF LOT
10. (N) WALL
11. (N) WINDOW
12. (N) ADDITION, INTERIOR STAIRS
13. (E) ELEVATION OF GRADE AT MID WIDTH OF LOT AT REAR PROPERTY LINE

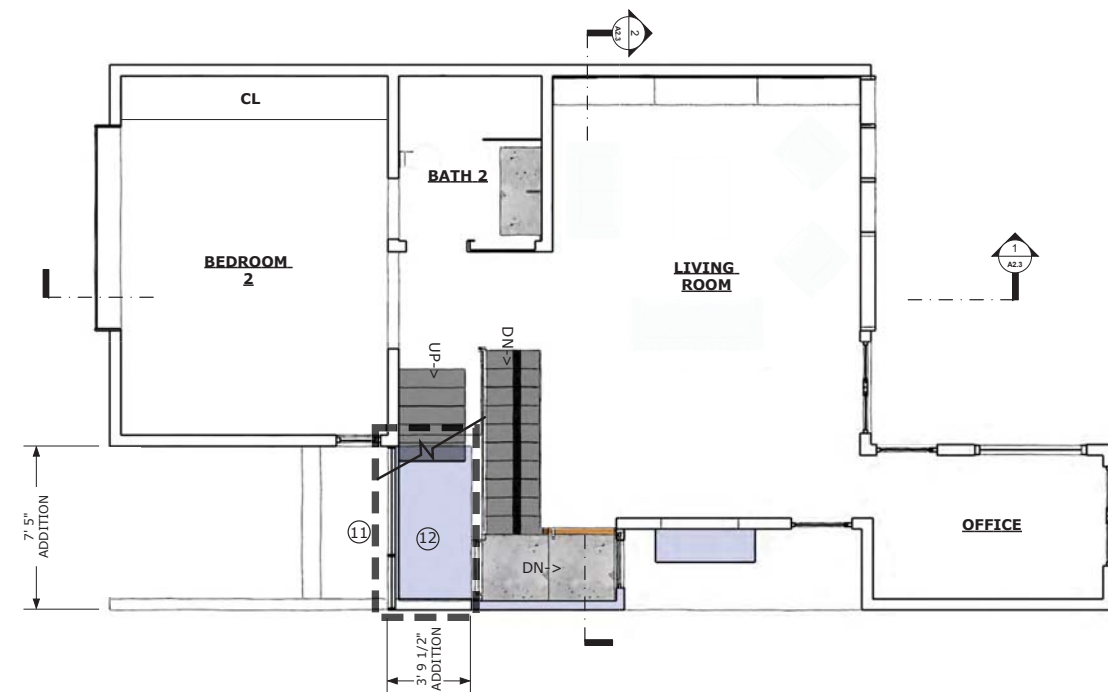
SITE PLAN  
SCALE 1/8"=1'



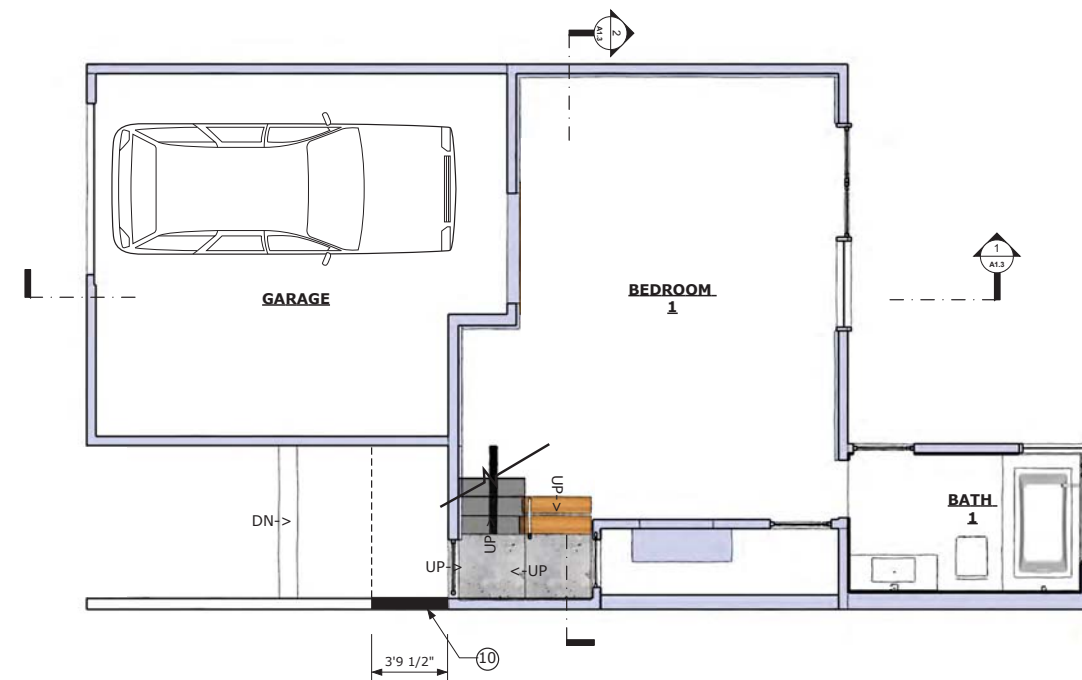
**ROOF PLAN**  
SCALE 1/4"=1'



**THIRD STORY PLAN**  
SCALE 1/4"=1'



**SECOND STORY PLAN**  
SCALE 1/4"=1'



**FIRST STORY PLAN**  
SCALE 1/4"=1'

**NOTES**

1. (N) STORY ADDITION
2. (N) ROOF DECK ON (E) ROOF
3. (N) STAIRS
4. (N) ADDITION
8. (N) GUARDRAIL
9. (E) ELEVATION OF CURB AT MID WIDTH OF LOT
10. (N) WALL
11. (N) WINDOW
12. (N) ADDITION, INTERIOR STAIRS
13. (E) ELEVATION OF GRADE AT MID WIDTH OF LOT AT REAR PROPERTY LINE



**ARCHITECT**  
VINCENT LABIANO ABELLO  
SAN FRANCISCO, CA  
+1 (415) 819 3990

**PROJECT**  
NEW STORY ADDITION  
75 BRONTE STREET  
SAN FRANCISCO, CA 94110

**DATE**  
10.26.2016

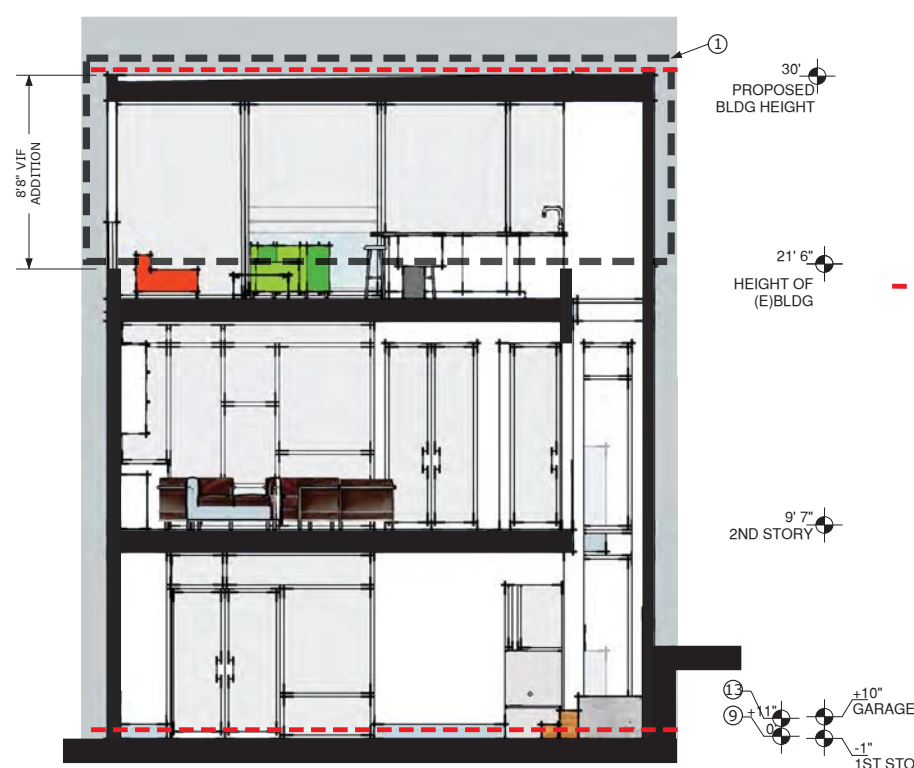
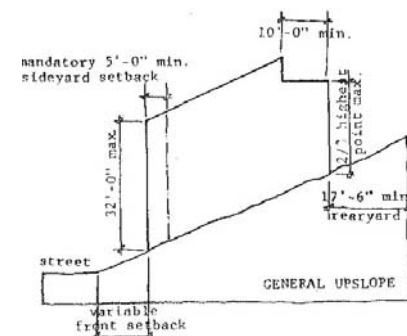
**PROPOSED  
FLOOR & ROOF  
PLANS**

**A2.2**

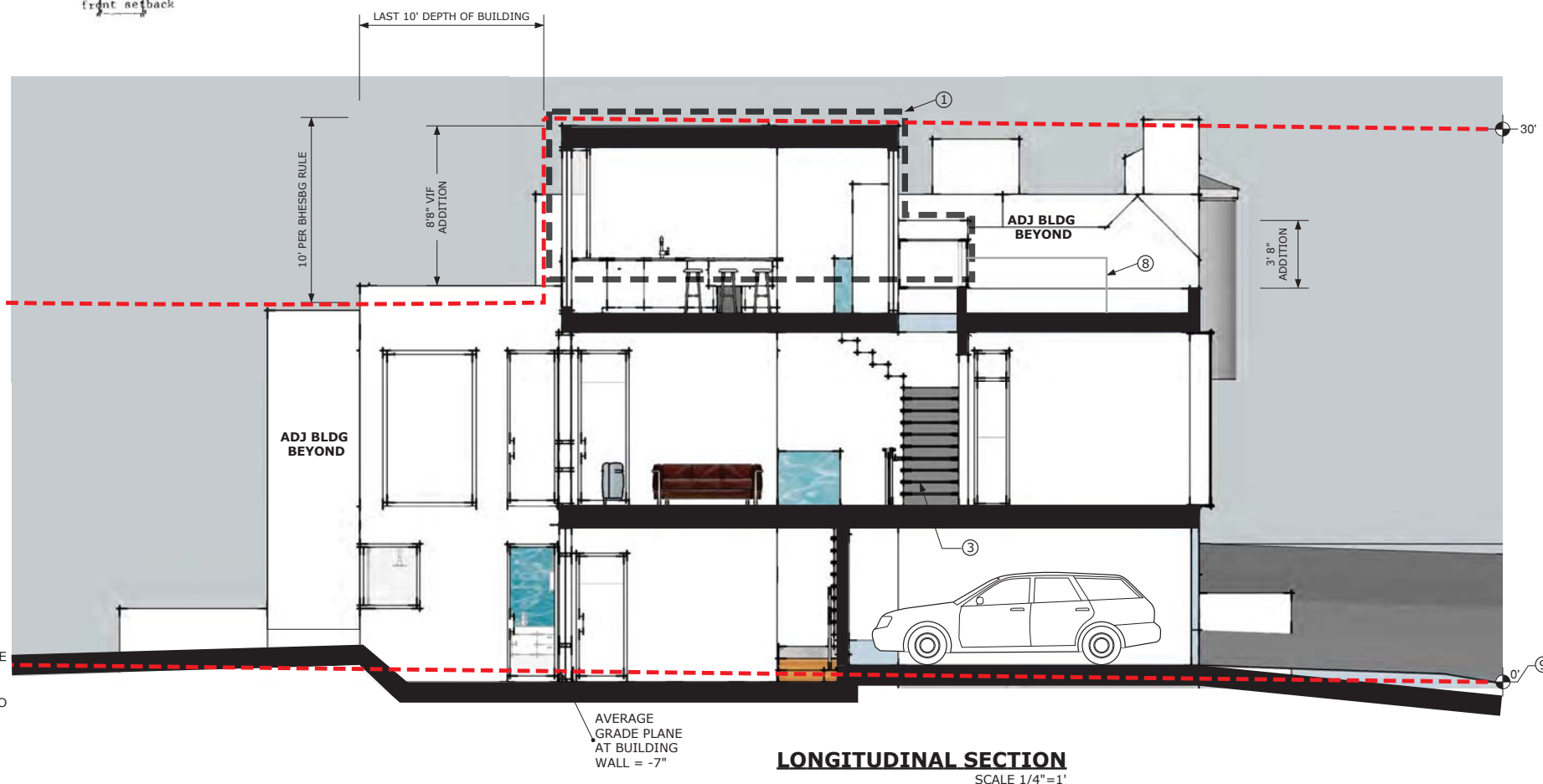




**IN ADDITION, NO POINT OF THE LAST 10'0" DEPTH OF THE BUILDING MAY EXCEED 2/3 OF THE HEIGHT OF THE HIGHEST POINT OF THE STRUCTURE.**



**TRANSVERSAL SECTION**  
SCALE 1/4"=1'



**LONGITUDINAL SECTION**  
SCALE 1/4"=1'

— — — — — AVERAGE GRADE PLANE & 30' ABOVE AVERAGE GRADE PLANE @ SECTION CUT

— — — — — AVERAGE GRADE PLANE & 30' ABOVE AVERAGE GRADE PLANE

## NOTES

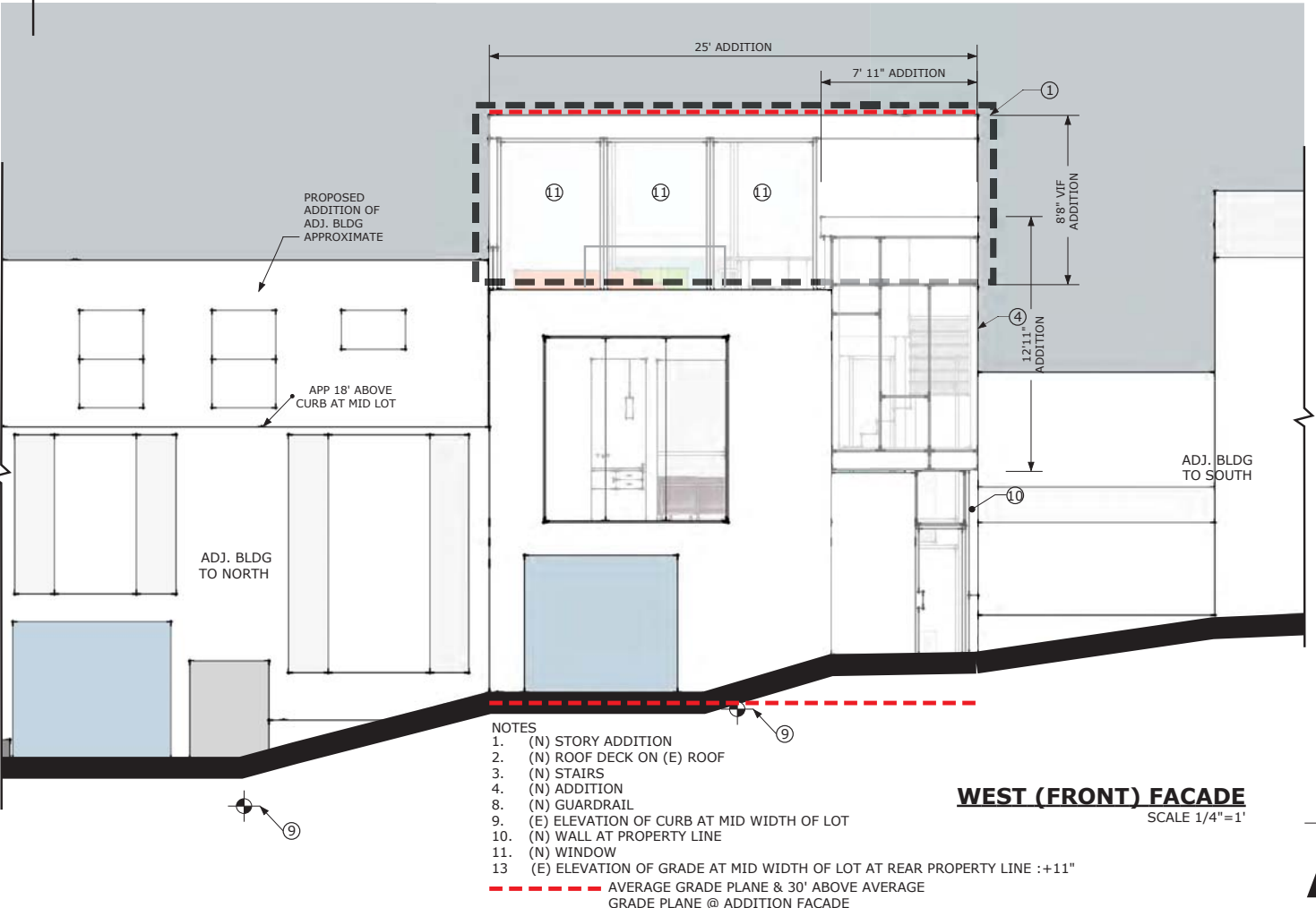
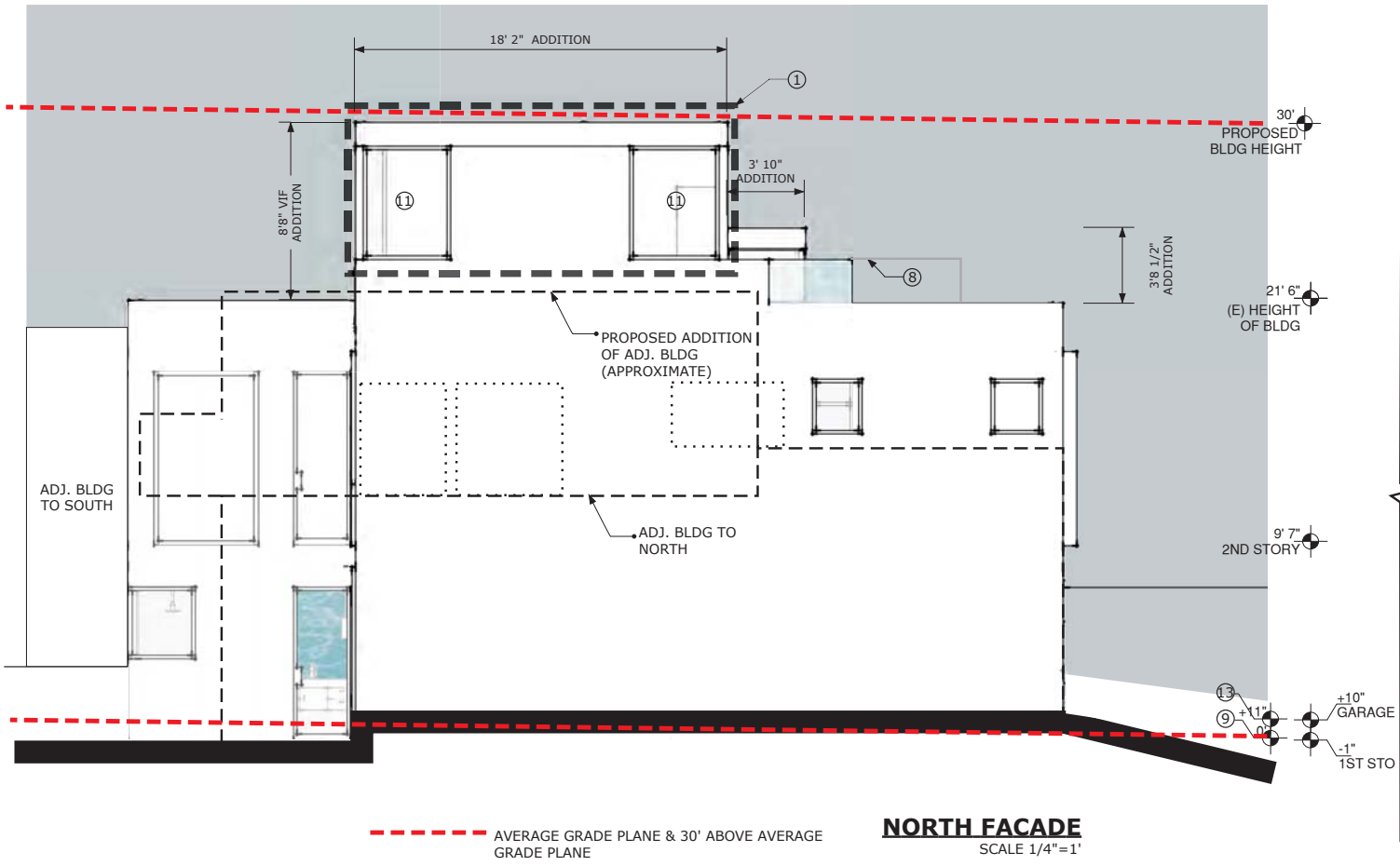
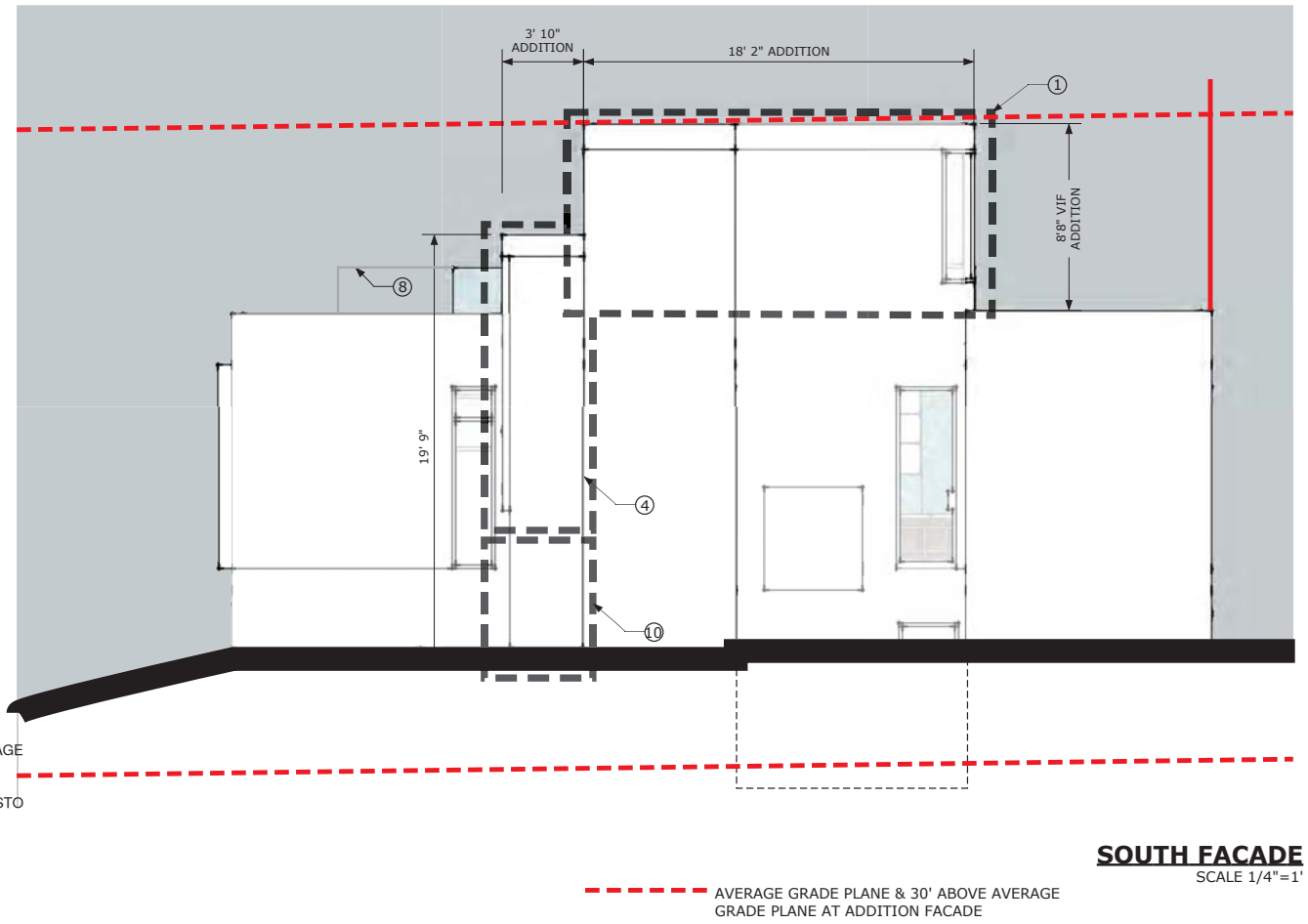
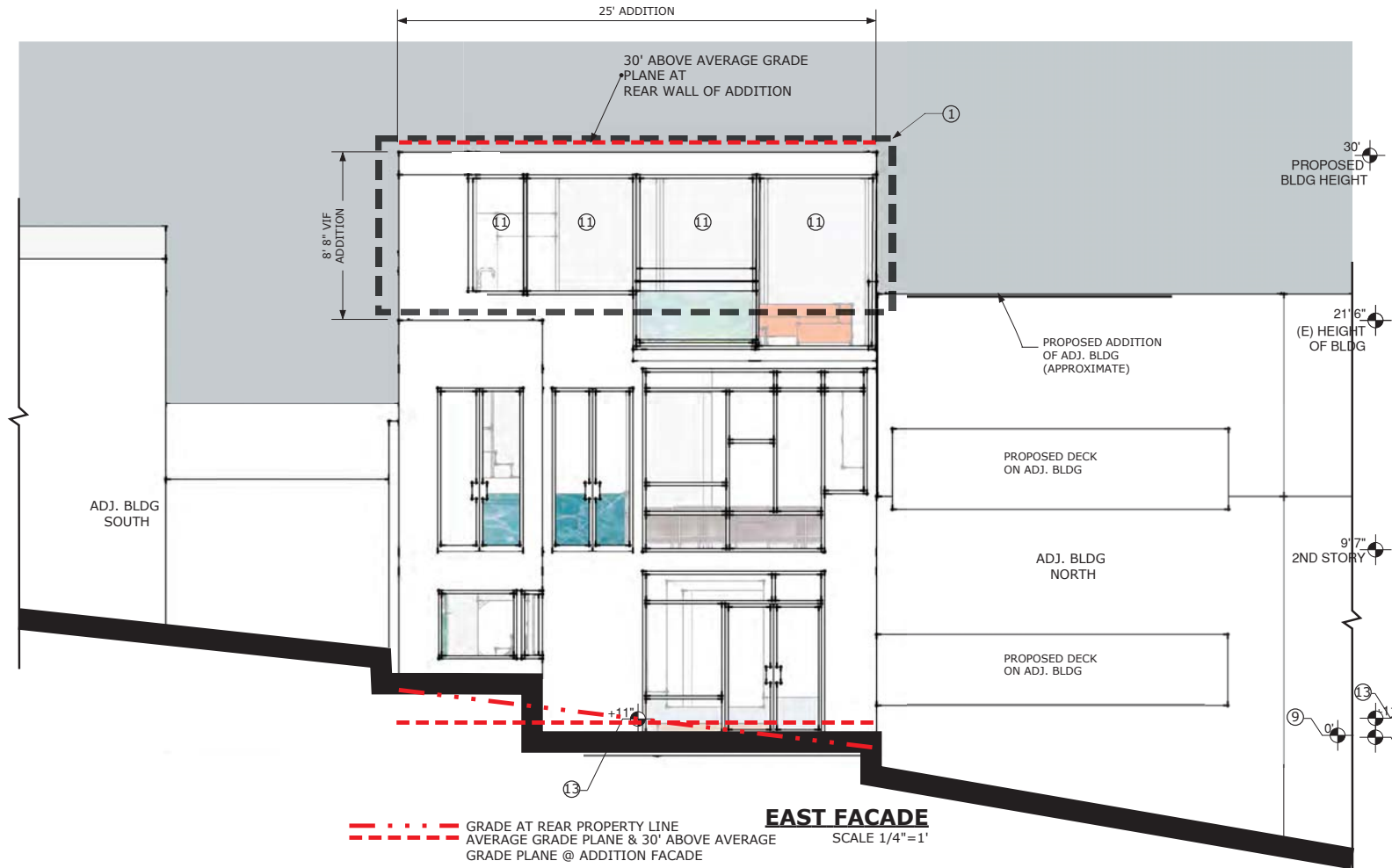
1. (N) STORY ADDITION
3. (N) STAIRS
4. (N) ADDITION
8. (N) GUARDRAIL
9. (E) ELEVATION OF CURB AT MID WIDTH OF LOT: 0'-0"
10. (N) WALL
11. (N) WINDOW
13. (E) ELEVATION OF GRADE AT MID WIDTH OF LOT AT REAR OF PROPERTY: +0'-11"

## PROJECT

NEW STORY ADDITION  
75 BRONTE STREET  
SAN FRANCISCO, CA 94110

**DATE**  
10.26.2016

## PROPOSED SECTIONS



ARCHITECTS VINCENT LABIANO ABELLO  
ARCHITECT  
VINCENT LABIANO ABELLO  
SAN FRANCISCO, CA  
+1 (415) 819 3990

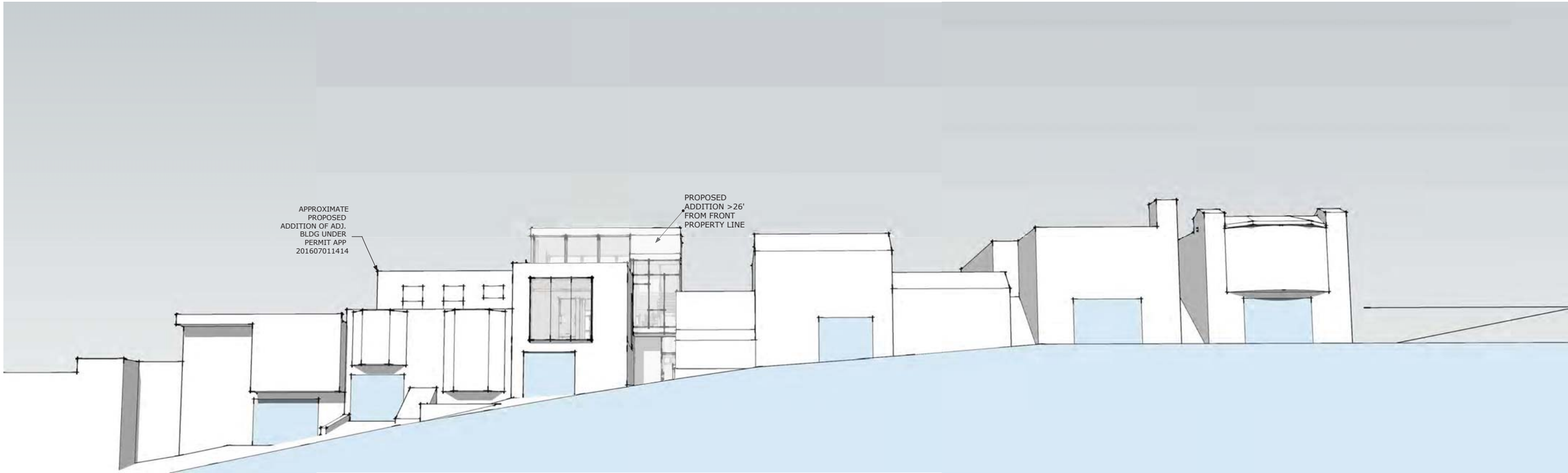
MATERIAL BOARD:  
WHITE SMOOTH STUCCO WALLS  
BLACK ANODIZED ALUMINUM WINDOW FRAMES

PROJECT  
NEW STORY ADDITION  
75 BRONTE STREET  
SAN FRANCISCO, CA 94110

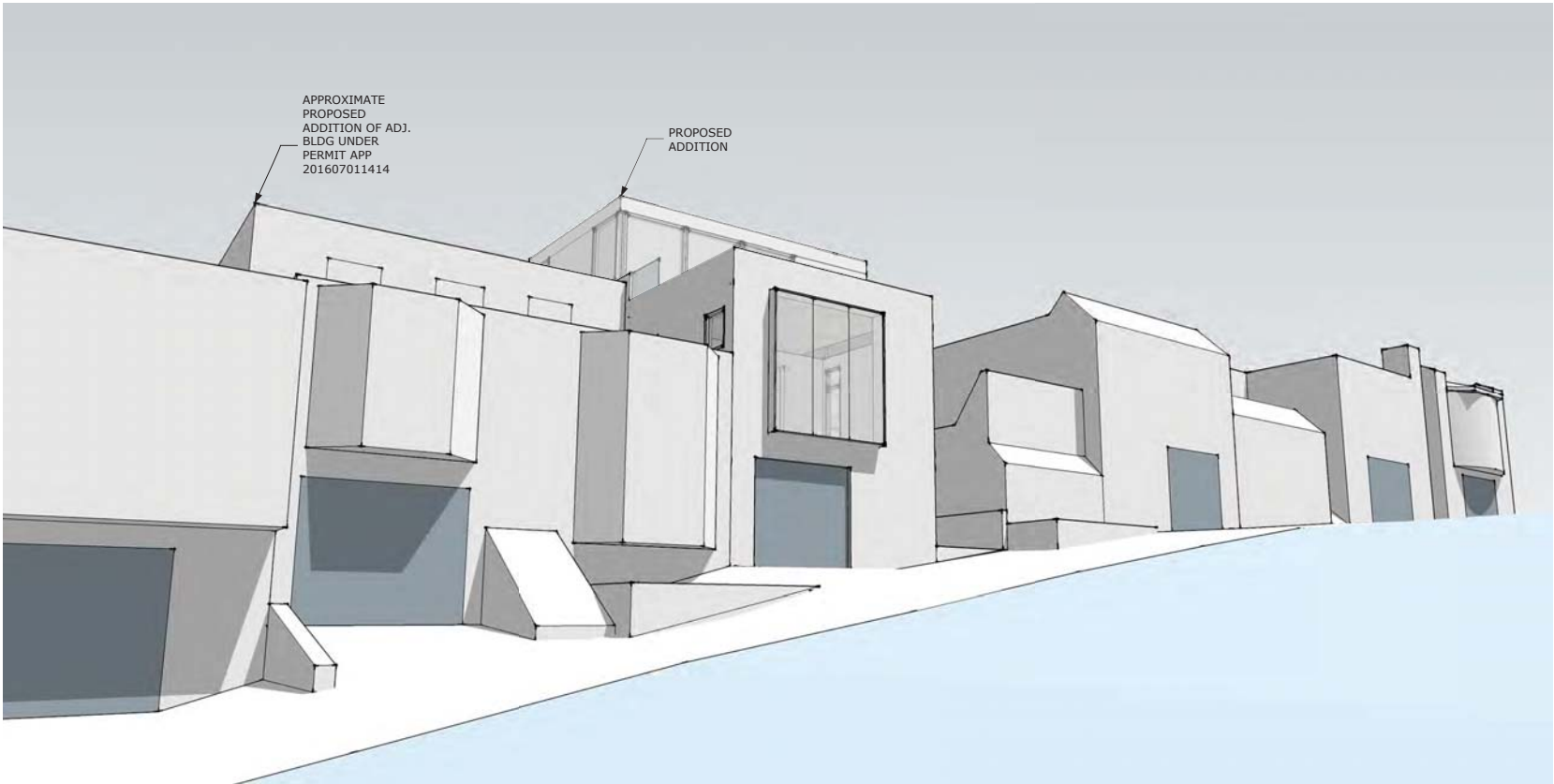
DATE  
10.26.2016

PROPOSED ELEVATIONS

A2.4



**WEST BLOCK FACE**



**WEST ( FRONT) FACADE**  
SCALE 1/4"=1'



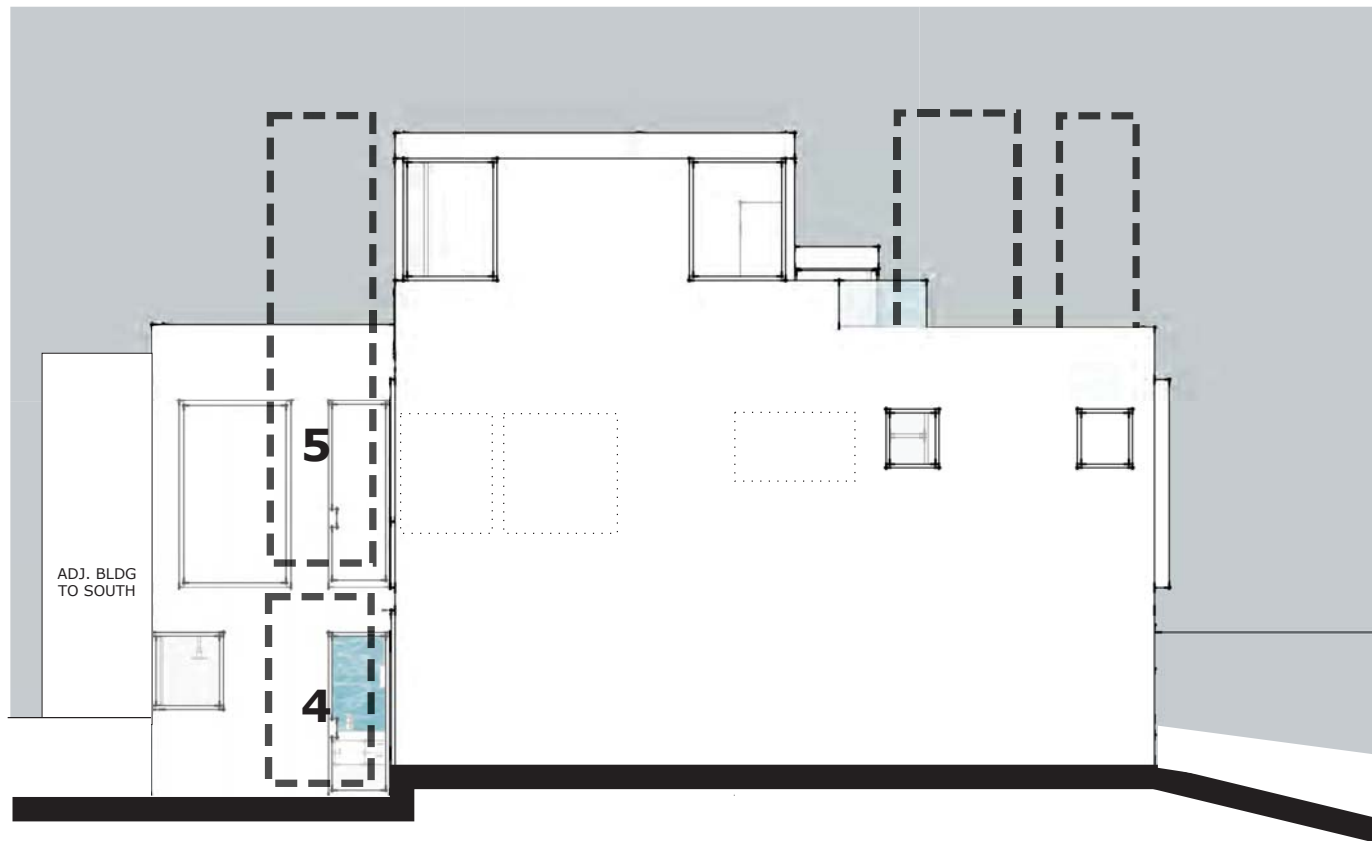
**ARCHITECT**  
VINCENT LABIANO ABELLO  
SAN FRANCISCO, CA  
+1 (415) 819 3980

**PROJECT**  
NEW STORY ADDITION  
75 BRONTE STREET  
SAN FRANCISCO, CA 94110

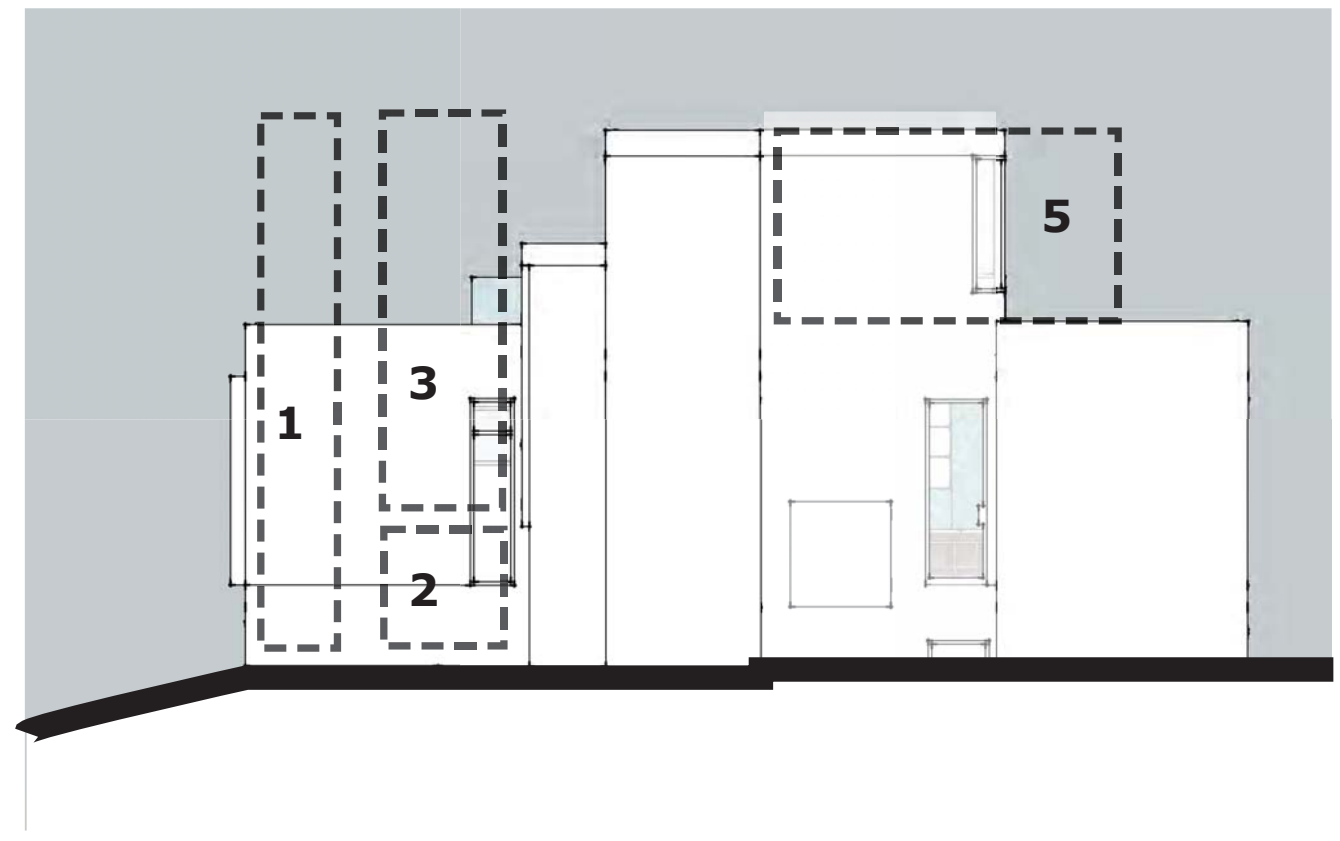
**DATE**  
10.26.2016

**PROPOSED  
PERSPECTIVE  
STUDIES**

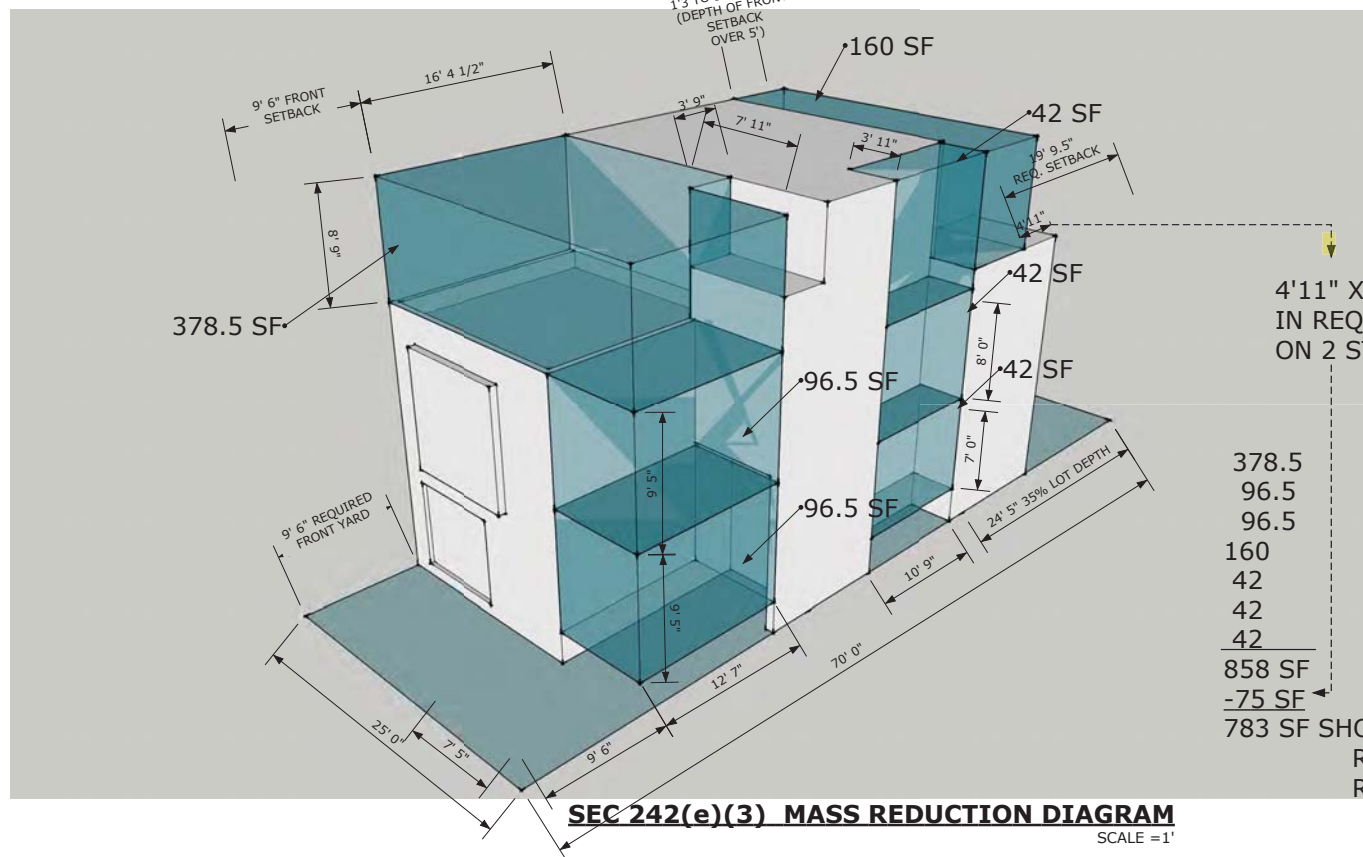




**NORTH FACADE SIDE SET BACK DIAGRAM**  
SCALE 1/4"=1'



**SOUTH FACADE SIDE SETBACK DIAGRAM**  
SCALE 1/4"=1'



**SEC 242(e)(3) MASS REDUCTION DIAGRAM**  
SCALE = 1'

4'11" X 7'6" = 37.5 SF  
IN REQ. REAR SETBACK  
ON 2 STORIES = 75 SF

378.5  
96.5  
96.5  
160  
42  
42  
42  
858 SF  
-75 SF  
783 SF SHOWN > 650 SF  
REQUIRED MASS  
REDUCTION

DIAGRAM  
17.5' X 6' IN NORTH  
EAST CORNER NOT  
BUILT ON TWO

ADDITIONAL REDUCTION OF **105 SF** (17.5' X 6'  
ON NORTH EAST CORNER) NOT SHOWN IN  
DIAGRAM NOR INCLUDED IN CALCULATION

#### RULE:

A four-foot wide sideyard is required on one side of each 25 foot lot. The first five feet back from the street facade shall be left completely open. Beyond that, two of the four additional sideyard zones must be left open. (Zone explanation follows.)

#### SIDEYARD ZONES

The required 4-foot sideyard is divided into five zones:

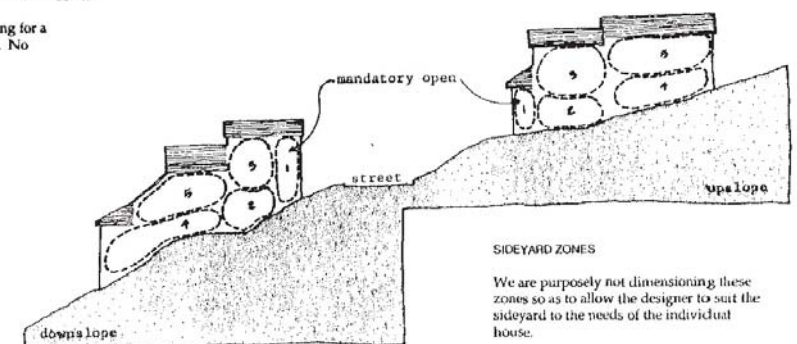
**Zone 1** runs the full height of the building for a depth of five feet from the street facade. No part of the building shall project into this zone.

**Zone 2** is the bottom from directly behind zone 1.

**Zone 3** is the top front directly behind zone 1. It must be at least 7'-6" above grade for its entire depth.

**Zone 4** is the bottom rear directly behind zone 2 and extending to the rear of the building.

**Zone 5** is the top rear directly behind zone 3 and extending to the rear of the building. It must be at least 7'-6" above grade for its entire length.

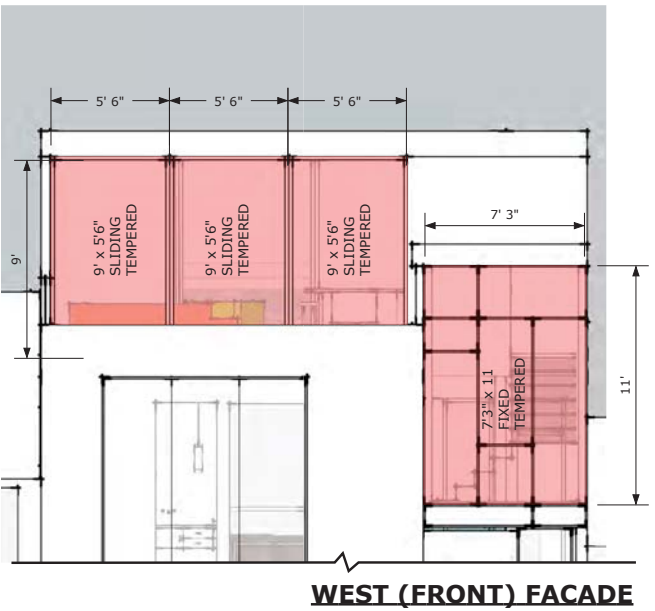
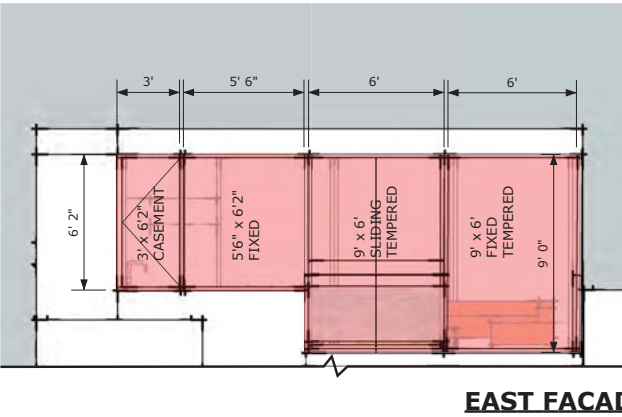
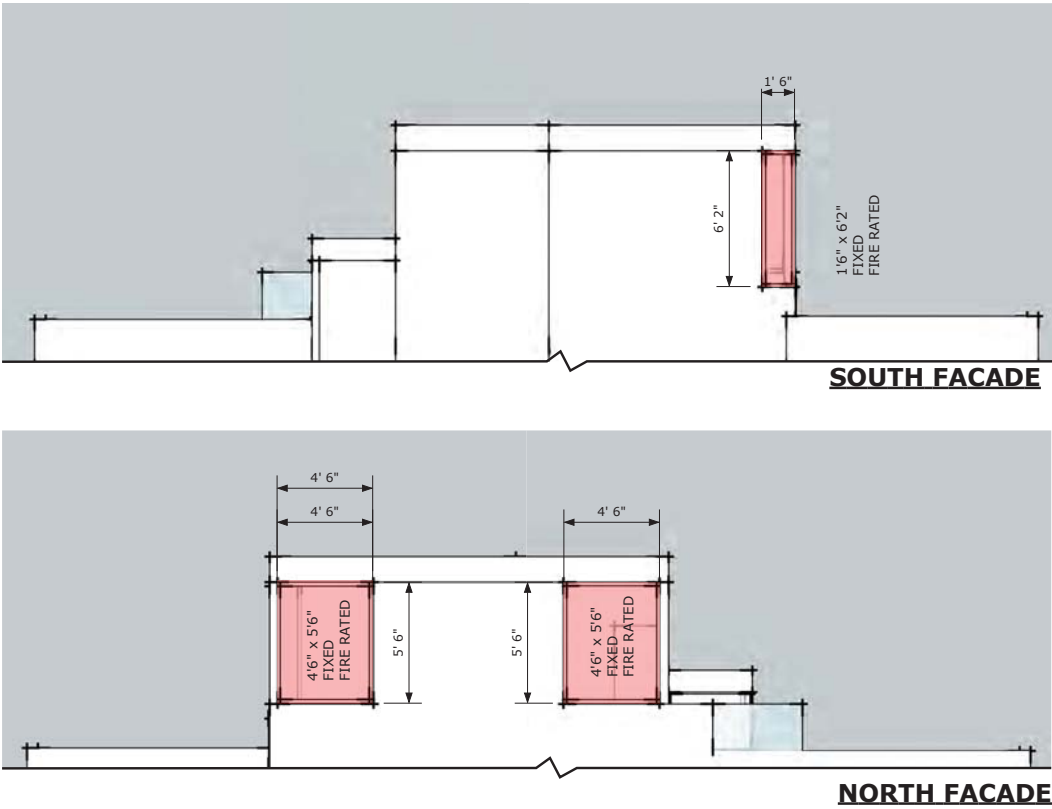


Page 19

#### 5. SIDEYARDS

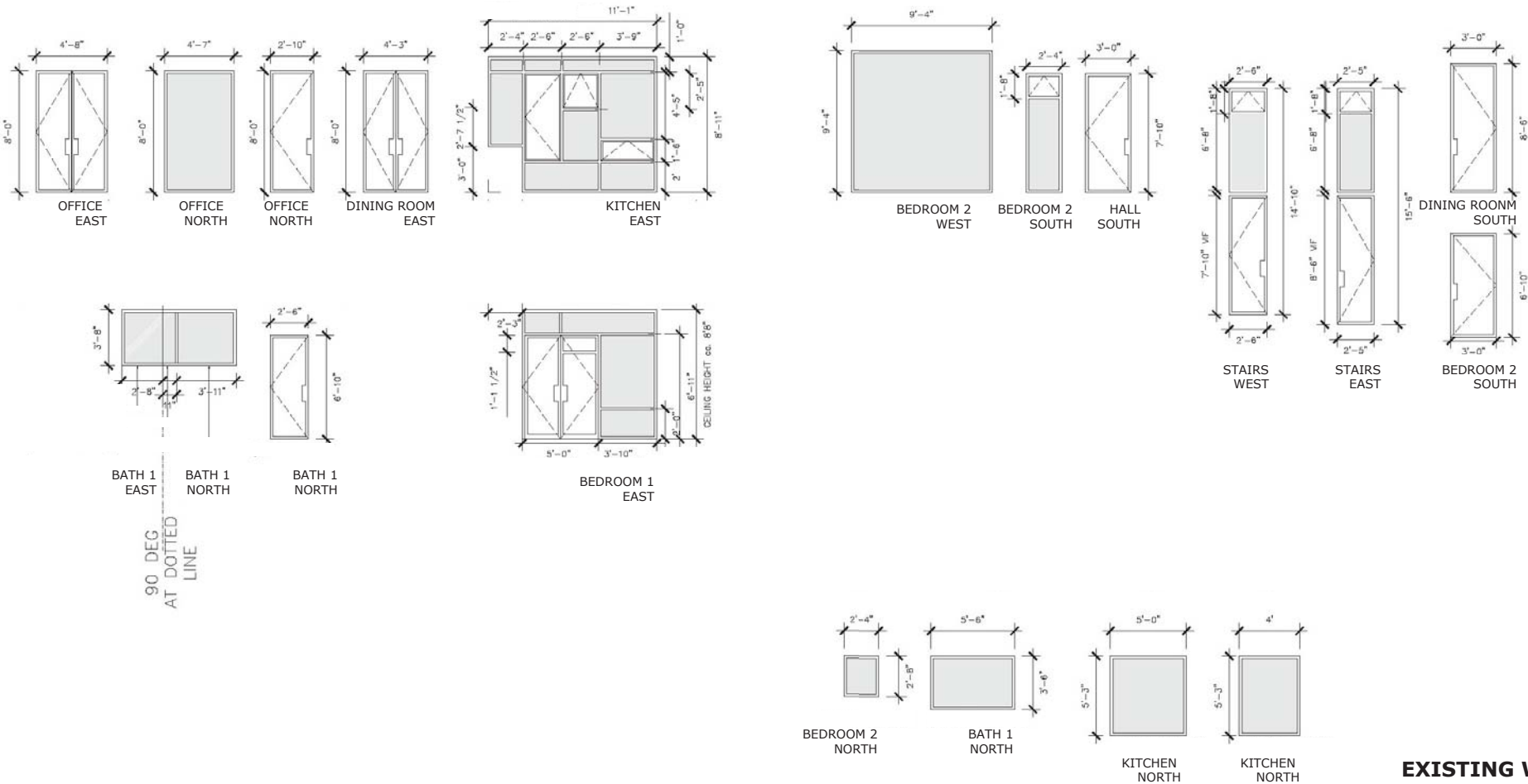
A 4'-0" sideyard is required on one side of each 25'-0" lot. The first 5'-0" back from the street facade shall be completely open. Beyond that, two of the four additional sideyard zones must be left open (See Guideline for discussion of "zones".)

**EAST SLOPE DESIGN GUIDELINES  
SIDE SETBACK DIAGRAM**  
SCALE 1/4"=1'

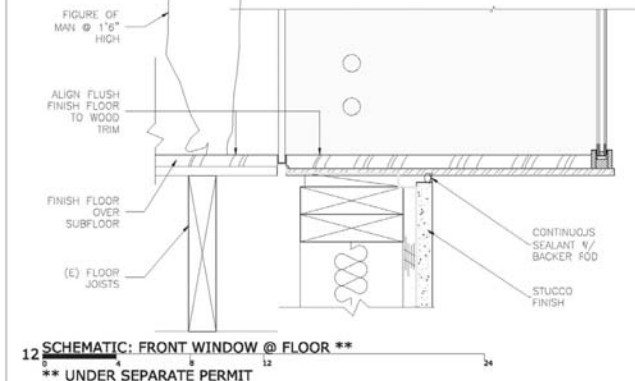
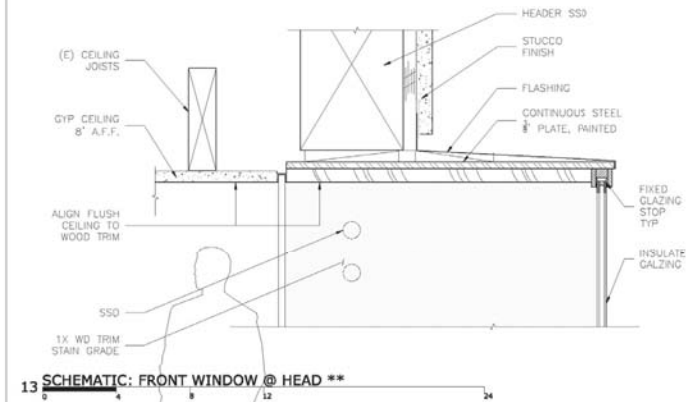
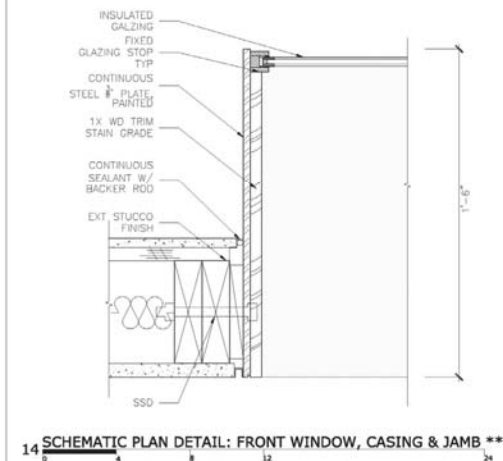


**MATERIAL & FINISH NOTE:**  
ALL NEW WINDOWS AND DOORS TO MATCH  
EXISTING METAL FRAMED WINDOWS AND  
DOORS IN BOTH MATERIAL AND COLOR. SEE  
PAGE A2.9 FOR DETAILS  
  
RED ON DRAWING IS FOR DRAWING CLARITY  
ONLY

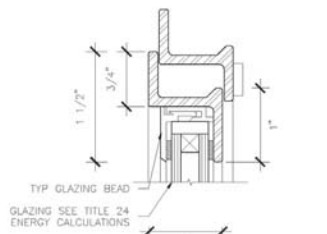
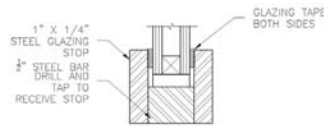
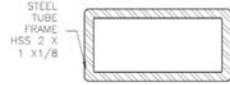
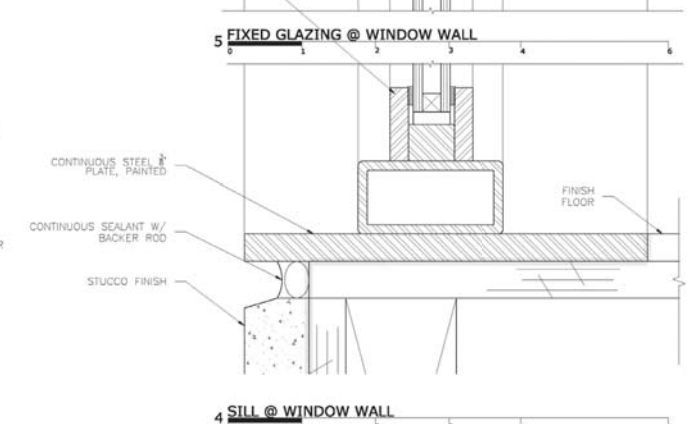
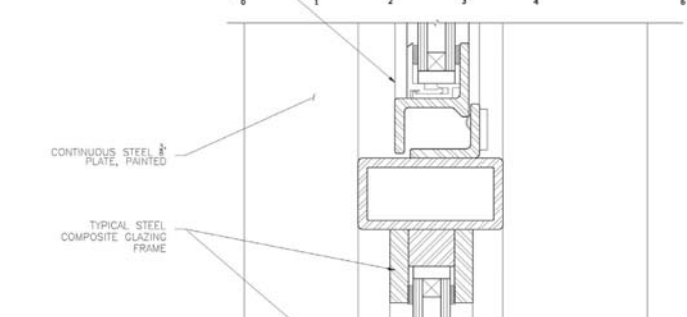
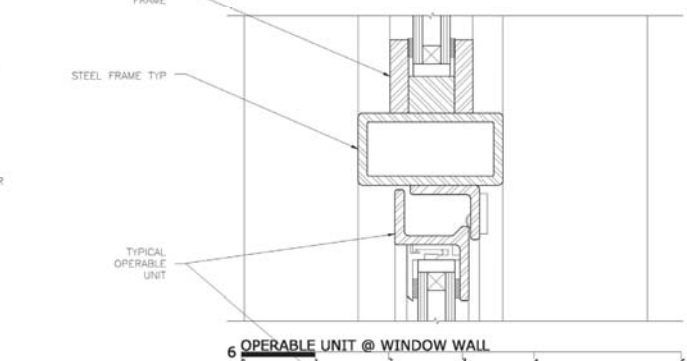
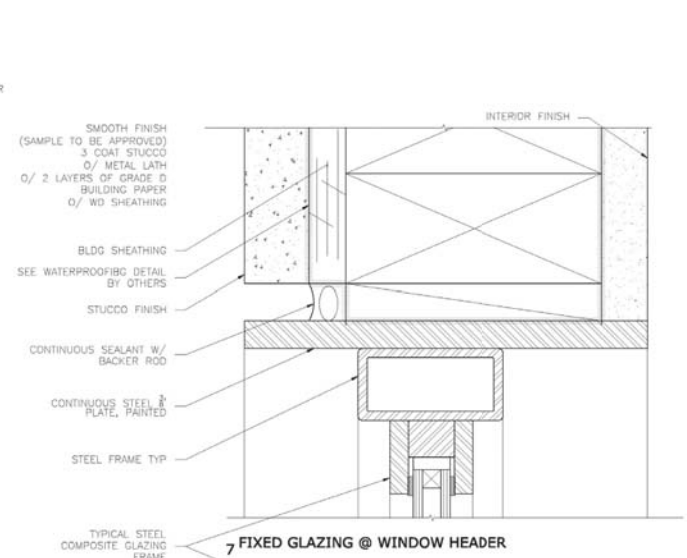
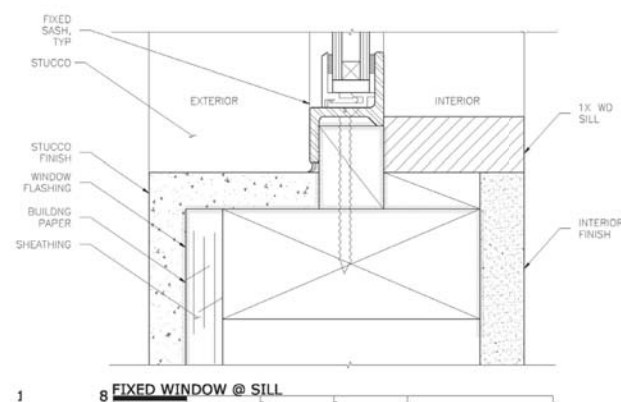
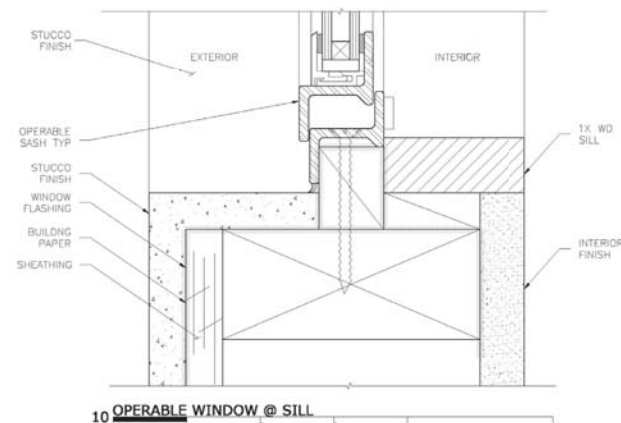
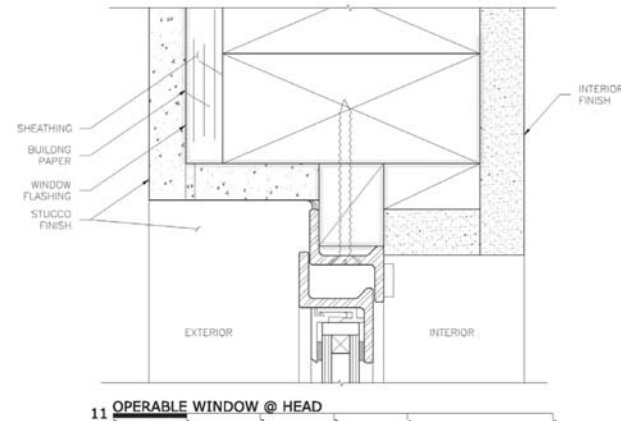
NEW WINDOW & DOOR SCHEDULE



EXISTING WINDOW & DOOR SCHEDULE



\*\* UNDER SEPARATE PERMIT



KEY:  
WINDOW FLASHING: DETAILED BY OTHERS  
WATERPROOFING: DETAILED BY OTHERS

STUCCO FINISH:  
SMOOTH FINISH  
(SAMPLE TO BE APPROVED)  
3 COAT STUCCO  
O/ METAL LATH