



SAN FRANCISCO PLANNING DEPARTMENT

Memo to the Planning Commission

HEARING DATE: MAY 11, 2017
Continued from the March 23, 2017 Hearing

Date Prepared: May 1, 2017
Case No.: 2015-009140DRP
Project Address: 3009 CALIFORNIA STREET
Permit Application: 2015.07.06.0723
Zoning: RH-2 [Residential House, Two-Family]
40-X Height and Bulk District
Block/Lot: 1030/037
Project Sponsor: William Pashelinsky
1937 Hayes Street
San Francisco, CA 94110
Staff Contact: Laura Ajello – (415) 575-9142 or laura.ajello@sfgov.org
Recommendation: **Take DR and Approve as Revised**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

BACKGROUND

The proposal consists of a two-story vertical addition, a one-story horizontal addition with a deck above at the rear of the building, alteration of the front façade and widening of the garage door and driveway curb cut to 10 feet on a two-story, single-family residential building.

A request for Discretionary Review was filed on Building Permit Application No. 2015.07.06.0723, which was heard at the March 23, 2017 hearing. After considering the facts of the case and hearing public testimony, the Planning Commission voted 5-0 (Melgar, Hillis absent) to continue the item so that revised plans could be prepared for the Commission's consideration. Plans of the revised proposal dated April 28, 2017 are attached.

CURRENT PROPOSAL

The revised proposal incorporates the following changes to the original plan, per direction by the Planning Commission at the March 23 hearing:

- Plans "cleaned up" and made easier to read;
- Second dwelling unit added;
- Light well depth increased from three feet to five feet at east side of 3rd floor;
- Unoccupied roof area notated at front of 4th floor;
- Ventilation information depicted at light well at east side of 3rd floor; and
- 3-D renderings provided.

REQUIRED COMMISSION ACTION

The Department recommends that the Commission take DR and approve the project as revised.

BASIS FOR RECOMMENDATION

- The project sponsor has addressed the Commission's previous comments.
- The proposed Project meets all applicable requirements of the Planning Code.

RECOMMENDATION: Take DR and Approve as Revised
--

Attachments:

Project Sponsor Submittal, including:

- Revised Plans
- 3-D Renderings
- Photographs

GENERAL NOTES:

INTENT OF DOCUMENTS:

It is the intent of these Contract Documents to establish a high quality of material and workmanship, but not necessarily to note and call for every last item of work to be done. Any item not specifically covered but deemed necessary for satisfactory completion of the work shall be accomplished by the Contractor in a manner consistent with the quality of the work without additional cost to the Owner. All materials and methods of installation shall be in accordance with industry standards and manufacturers recommendations.

A. All materials and workmanship shall conform to the requirements of the following codes and regulations and any other local and state laws and regulations:

San francisco Building Code 2013 Edition
San franciscoFire Code 2013 Edition
San francisco Plumbing Code 2013 Edition
San francisco Electrical Code 2013 Edition
San francisco Mechanical Code 2013 Edition

Verify all existing conditions and dimensions at the project site. Notify the Architect and/or Engineer of any discrepancies before beginning construction.

B. Provide adequate and proper shoring and bracing to maintain safe conditions at all times. The contractor shall be solely responsible for providing adequate shoring and bracing as required for protection of life and property during the construction of the project.

C. At all times the Contractor shall be solely and completely responsible for all conditions at the jobsite, including safety of persons and property, and all necessary independent engineering reviews of these conditions. The Architects jobsite reviews are not intended nor shall they be construed to include a review of the adequacy of the contractors safety measures.

D. Unless otherwise shown or noted, all typical details shall used where applicable.

E. All details shall be constued typical at similar conditions.

F. All Drawing conflicts shall be brought to the attention of the Architect and/or Consulting Engineer for clarification before work proceeds.

G. The Contractor shall supply all labor, materials, equipment and services, including water and power, necessary for the proper execution of the work shown on these drawings. All materials shall be new and workmanship shall be good quality. All workman and subcontractors shall be skilled in their trade. Any inspections, special or otherwise, that are required by the building codes, local builing departments, on these plans shall be done by an independent inspection company.

H. Finishes: Replace patch, repair and refinish all existing surfaces affected by the new work. All new finishes shall match the adjacent surface. all surfaces shall align.

I. The General Contractor shall visit the site and familiarize themselves with the existing site conditions prior to finalizing of any proposal to the owner. The general Contractor shall be respnsible to inform the owner or Architect of potential existing conditions that need to be addressed and or modified inorder to complete the work as herein described in these Drawings.

J. The General Contractor shall be reponsible for all means and methods of construction including but not limited to leveling, shiming, and blocking. The General Contractor shall make specific note of such items that can not be known prior to the commencement of construction.

.

BUILDING TO BE FULLY FIRE SPRINKLERED PER NFPA 13 R.
WORK TO BE DONE BY SEPERATE PERMIT

DRAWING INDEX:

- A 1.01 SITE AND ROOF PLAN, GENERAL NOTES, AND DRAWING INDEX
- A 1.02 SITE AND ROOF PLAN
- A 1.03 DEMO ANALYSIS
- A 2.01 FLOOR PLANS EXISTING
- A 2.02 FLOOR PLANS PROPOSED
- A 2.03 FLOOR PLANS PROPOSED
- A 3.01 EXTERIOR ELEVATIONS
- A 3.02E EXTERIOR ELEVATIONS
- A 3.02N EXTERIOR ELEVATIONS
- A 3.03 EXTERIOR ELEVATIONS
- A 3.04 EXTERIOR ELEVATIONS
- A 4.01 BUILDING SECTIONS

PROJECT INFORMATION:

ZONING: RH-2/40-X HGT BULK DISTRICT

OCCUPANCY R-3
EXISTING USE: SINGLE FAMILY DWELLING
PROPOSED USE: TWO FAMILY DWELLING

CONSTRUCTION TYPE: 5-B

EXISTING: 2 STORORYS
PROPOSED: 4 STORYS

BLOCK 1030 LOT 037

SCOPE OF WORK:

2 STORY VERTICAL ADDITION
ADDITION AT REAR
REMODEL KITCHEN AND ADD 4 BATHROOMS AND VANITY
PROVIDE 2ND UNIT BEHIND GARAGE WITH SEPARATE ENTRY

PROJECT STATISTICS

EXISTING	
1ST FLOOR:	1,247 SQ FT
2ND FLOOR:	1,247 SQ FT
TOTAL:	2,494 SQ FT











PROPOSED	
1ST FLOOR:	
GARAGE:	579 SQ FT
UNIT 1:	
1ST FLOOR:	838 SQ FT
UNIT 2	
1ST FLOOR:	193 SQ FT
1ST FLOOR TOTAL:	1,610 SQ FT
2ND FLOOR:	1,229 SQ FT
3RD FLOOR:	1,260 SQ FT
4TH FLOOR:	565 SQ FT
TOTAL HABITABLE:	4,085 SQ FT
TOTAL GARAGE/STORAGE:	579 SQ FT

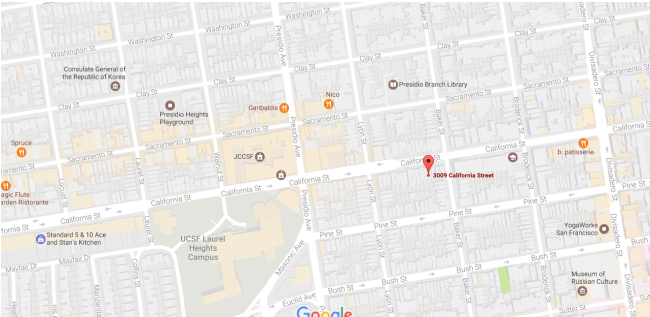
UNIT 1: 838 SQ FT
UNIT 2: 3,497.5 SQ FT

ABBREVIATIONS:

@	AT	HGT./HT.	HEIGHT
CL	CENTERLINE	INSUL.	INSULATION
Ø	DIAMETER OR ROUND	MFG.	MANUFACTURING
(E)	EXISTING	MAX.	MAXIMUM
(N)	NEW	MTL.	METAL
(R)	REPLACE	MIN.	MINIMUM
AFF	ABOVE FINISH FLOOR	O.C.	ON CENTER
BM.	BEAM	PR.	PAIR
BLDG.	BUILDING	PKT.	POCKET
CBC	CALIFORNIA BUILDING CODE	P.T.	PRESSURE TREATED
CLR.	CLEAR	REF.	REFRIGERATOR
CLOS.	CLOSET	REQ'D	REQUIRED
CONC.	CONCRETE	REQ'T	REQUIREMENT
DECK'G	DECKING	RTG.	RETAINING
DET.	DETAIL	R & S	ROD AND SHELF
DIA.	DIAMETER	RM.	ROOM
DISP.	DISPOSAL	SIM.	SIMILAR
DW.	DISHWASHER	S.C.	SOLID CORE
DR.	DOOR	SQ. FT.	SQUARE FOOT/FEET
DBL.	DOUBLE	STOR.	STORAGE
DN.	DOWN	STRUCT.	STRUCTURAL
DRWG5.	DRAWINGS	TEMP.	TEMPERED
D	DRYER	TRANS.	TRANSPARENT
EA.	EACH	TYP.	TYPICAL
F	FAHRENHEIT	U.O.N.	UNLESS OTHERWISE NOTED
FIN.	FINISH	V.I.F.	VERIFY IN FIELD
F.R.	FIRE RATED	W	WASHER
FLR.	FLOOR	WH.	WATER HEATER
FT.	FOOT OR FEET	WP	WATERPROOF
FR.	FRENCH	WDO.	WINDOW
FURN.	FURNISH	W/	WITH
FURR.	FURRING	WD.	WOOD
GA.	GAUGE		
GL.	GLAZING		
GYP.	GYP SUM		
GYP.BD.	GYP SUM BOARD		

DRAWING SYMBOLS

-  DOOR NUMBER
-  WINDOW NUMBER
-  SKYLIGHT NUMBER
-  DRAWING REVISION
-  DETAIL NUMBER AND DRAWING REFERENCE
-  NOTE/ITEM NUMBER
-  GRADE
-  PROPERTY LINE
-  ELEV. NO.
-  DRAWING REFERENCE



VIICINITY MAP

WILLIAM PASHELINSKY ARCHITECT
1937 HAYES STREET
SAN FRANCISCO, CA 94117
415 379 3576
billpash@gmail.com

ADDITION AND ALTERATIONS







3009 CALIFORNIA STREET
SAN FRANCISCO, CA.

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS AS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF WILLIAM PASHELINSKY ARCHITECT AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS SPECIFIC PROJECT. NONE OF THESE IDEAS, DESIGNS, ARRANGEMENTS OF PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF WILLIAM PASHELINSKY ARCHITECT

NO.	DATE	DESCRIPTION
1	01/21/16	REV
6	03/29/17	REV

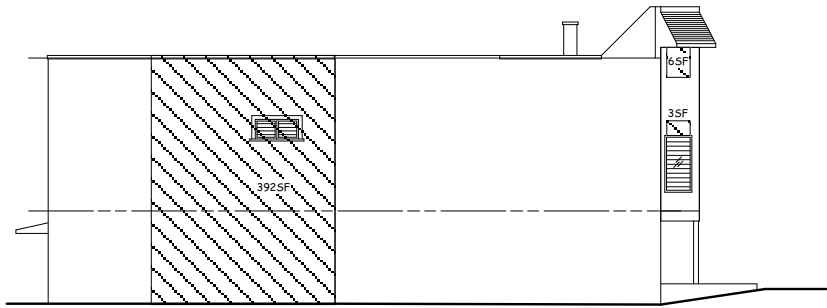
PROJECT NO. 2014.43
SHEET



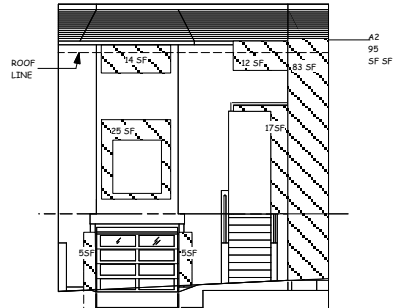
1ST FLOOR ROOF	
2ND FLOOR ROOF	
3RD FLOOR ROOF	
4TH FLOOR ROOF	
ROOF DECK	
ADJACENT BUILDINGS	

NO.	DATE	DESCRIPTION
1	01/21/16	REV
2	03/25/16	REV
4	08/15/16	REV
5	03/22/17	REV
6	03/29/17	REV

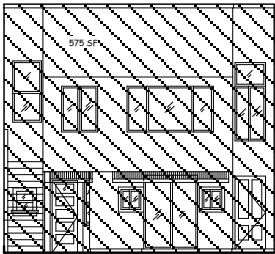
ADDITION AND
ALTERATIONS
3009 CALIFORNIA STREET
SAN FRANCISCO, CA.



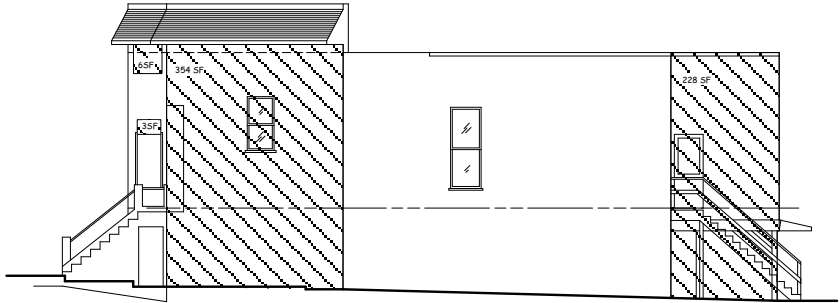
EAST ELEVATION (E)
1/8"=1'-0"



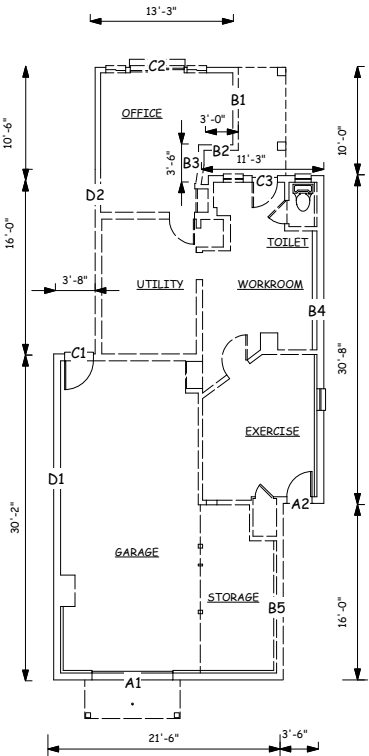
NORTH ELEVATION (E)
1/8"=1'-0"



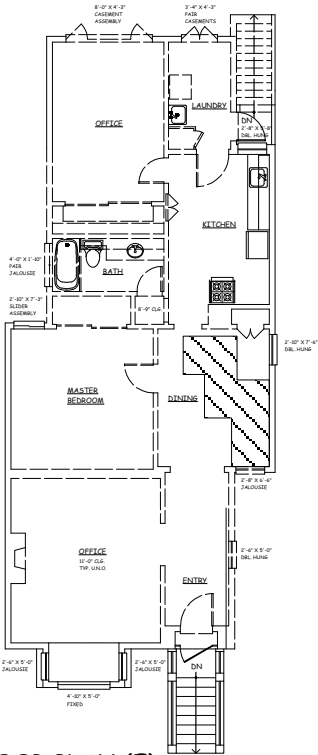
SOUTH ELEVATION (E)
1/8"=1'-0"



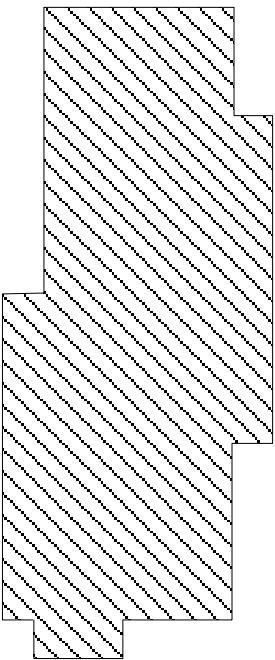
WEST ELEVATION (E)
1/8"=1'-0"



FOUNDATION LEVEL PLAN (E)
1/8"=1'-0"



1ST FLOOR PLAN (E)
1/8"=1'-0"



ROOF PLAN (E)
1/8"=1'-0"

LEGEND

- EXISTING TO REMAIN
DEMOLISH

DEMOLITION ANALYSIS

TABULATION FOR
LINEAR FOOTAGE MEASUREMENT

WALL	TOTAL LENGTH	REMOVED
A1	21'-6"	0'-0"
A2	3'-6"	3'-6"
B1	10'-0"	10'-0"
B2	3'-0"	3'-0"
B3	3'-6"	3'-6"
B4	30'-8"	0'-0"
B5	16'-0"	16'-0"
C1	3'-8"	0'-0"
C2	13'-3"	13'-3"
C3	11'-3"	11'-3"
D1	30'-2"	0'-0"
D2	26'-6"	16'-0"
TOTAL	226'-0"	104'-6"

LINEAR FOOTAGE
MEASUREMENT

ELEMENT	LENGTH	REMOVED	PERCENT
A FRONT FACADE	25'-0"	3'-6"	14%
C REAR FACADE	28'-1"	24'-6"	87%
TOTAL (B,C)	53'-1"	28'-0"	52% >50%
B SIDE FACADE 1	63'-2"	32'-6"	51%
D SIDE FACADE 2	56'-8"	16'-0"	28%
GRAND TOTAL (A,B,C,D,)	226'-0"	104'-6"	46% <65%

AREA MEASUREMENTS
VERTICAL ELEMENTS

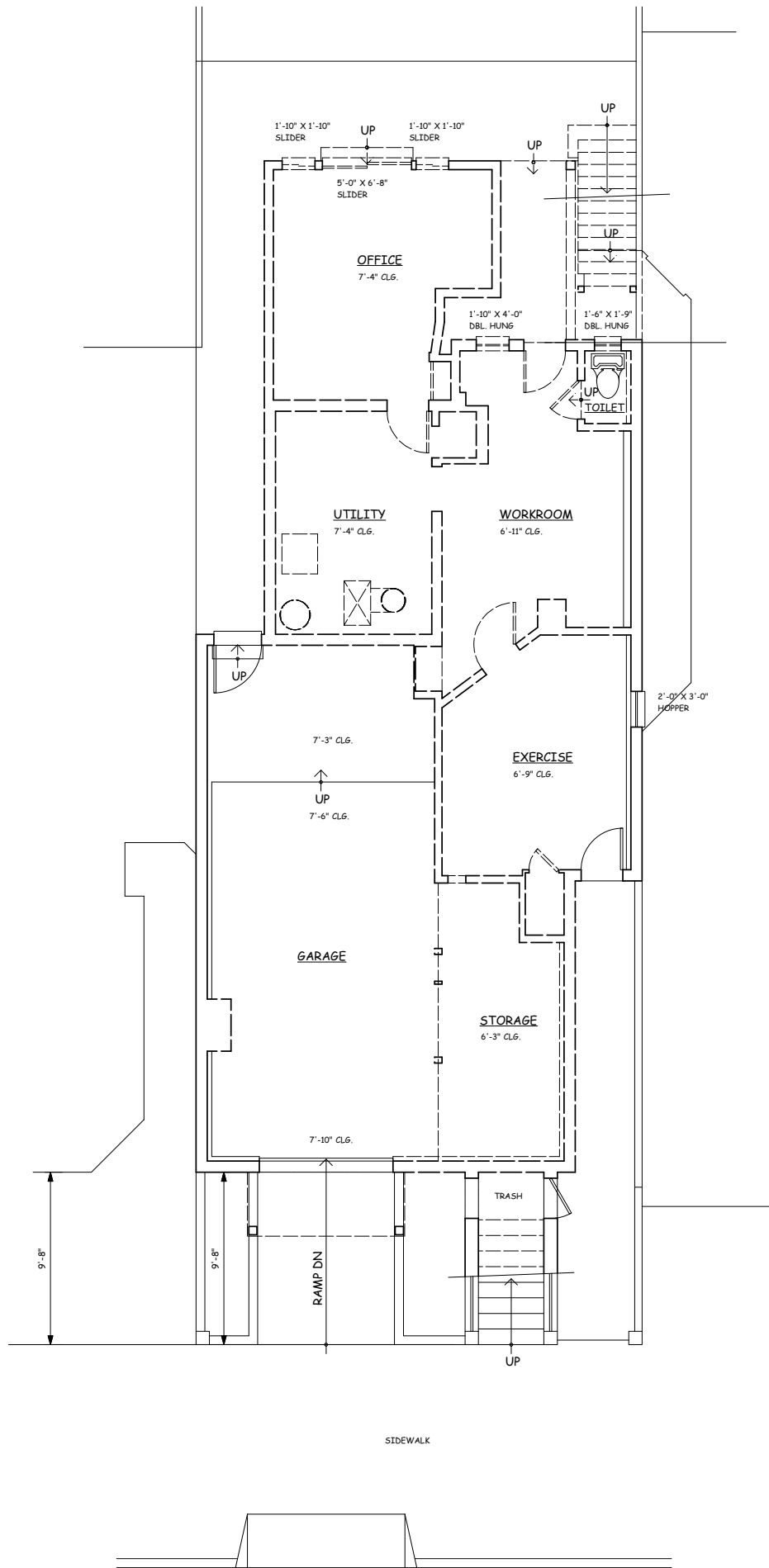
ELEVATION	EXISTING	DEMOLISH	PERCENT
FRONT NORTH	649 SQ FT	161 SQ FT	
REAR SOUTH	575 SQ FT	575 SQ FT	
SIDE 1 WEST	1,372 SQ FT	591 SQ FT	
SIDE 2 EAST	1,386 SQ FT	401 SQ FT	
VERTICAL TOTAL	3,982 SQ FT	1,728 SQ FT	43.5% < 50%

HORIZONTAL ELEMENTS

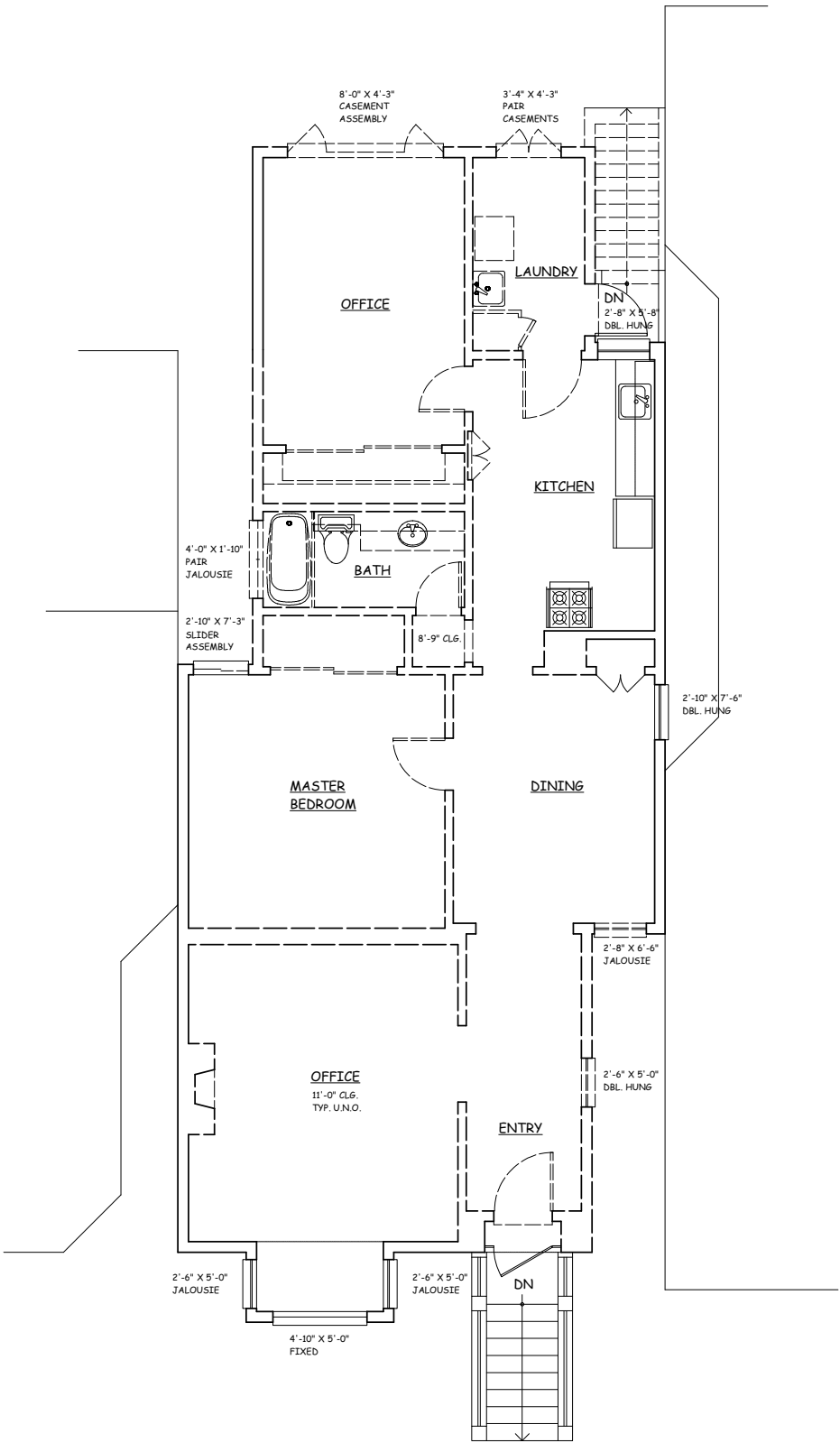
FLOOR	EXISTING	DEMOLISH	
2ND FLOOR	1,247 SQ FT	56 SQ FT	
ROOF	1,247 SQ FT	1,247 SQ FT	
HORIZONTAL TOTAL	2,494 SQ FT	1,303 SQ FT	52% >50%

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS AS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF WILLIAM PASHELINSKY ARCHITECT AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS SPECIFIC PROJECT. NONE OF THESE IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF WILLIAM PASHELINSKY ARCHITECT

NO.	DATE	DESCRIPTION
1	01/21/16	REV
2	03/25/16	REV
3	05/15/16	REV
4	08/15/16	REV



1ST FLOOR PLAN (E)
1/4"=1'-0"



2ND FLOOR PLAN (E)
1/4"=1'-0"

WALL LEGEND

- EXISTING WALL:
- DEMOLISH:

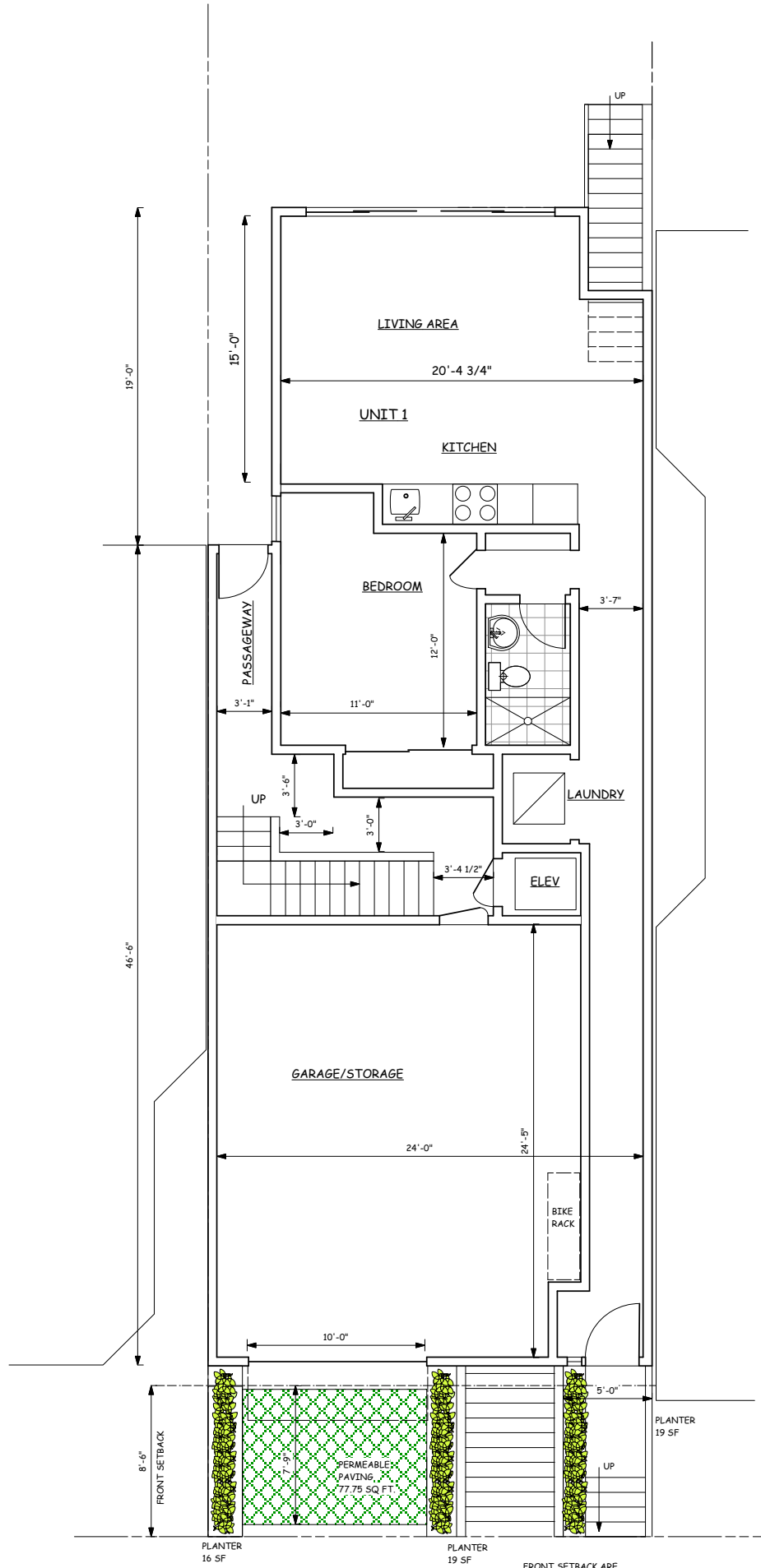
**WILLIAM PASHELINSKY
ARCHITECT**
1937 HAVES STREET
SAN FRANCISCO, CA 94117
415 379 3676
BILLPASH@GMAIL.COM

**ADDITION AND
ALTERATIONS**
3009 CALIFORNIA STREET
SAN FRANCISCO, CA.

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS AS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF WILLIAM PASHELINSKY ARCHITECT AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS SPECIFIC PROJECT. NONE OF THESE IDEAS, DESIGNS, ARRANGEMENTS OF PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE. WHAT SO EVER WITHOUT THE WRITTEN PERMISSION OF WILLIAM PASHELINSKY ARCHITECT

NO.	DATE	DESCRIPTION
1	01/21/16	REV

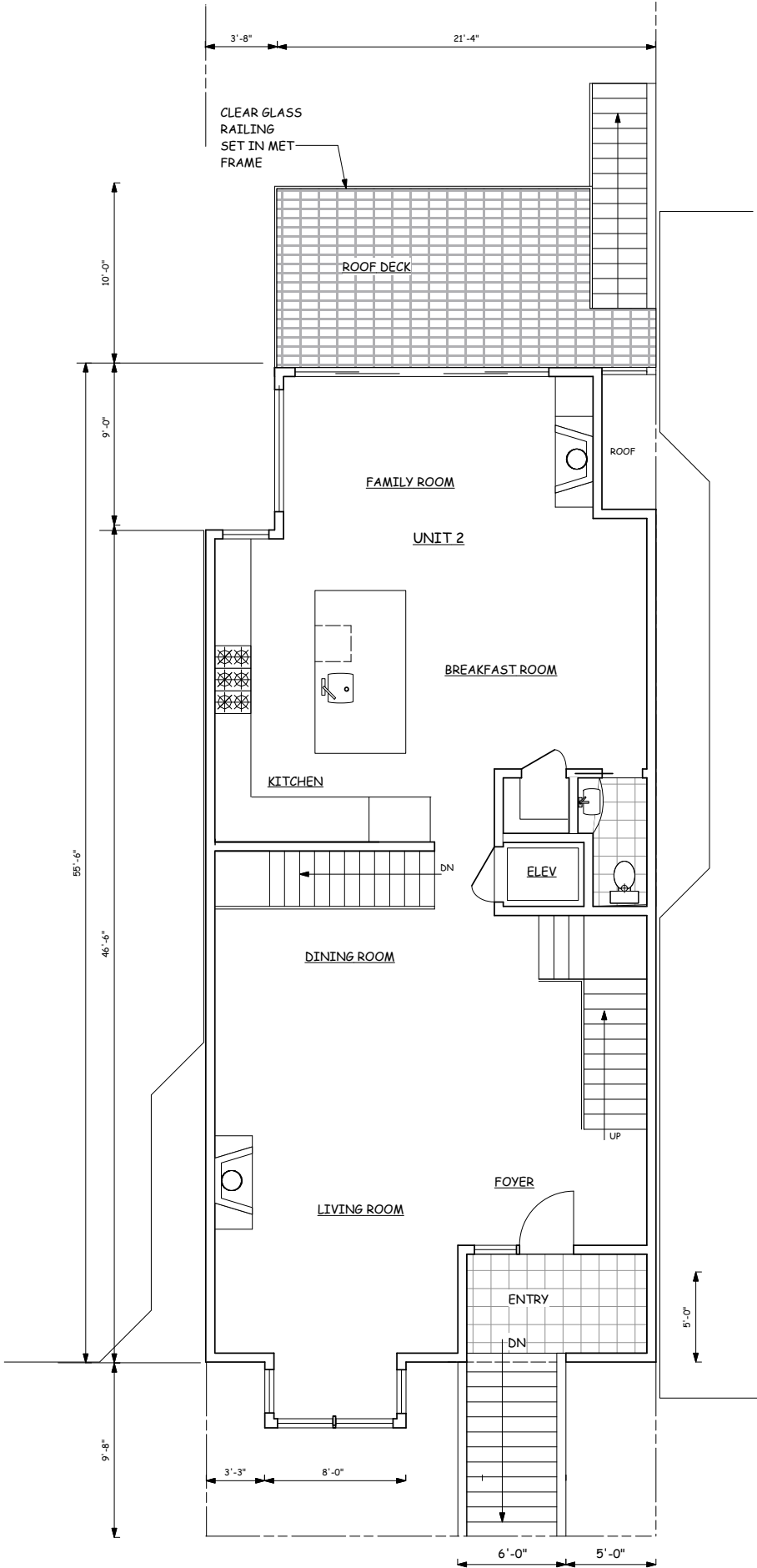
PROJECT NO. 2014.43
SHEET



1ST FLOOR PLAN (N)
1/4"=1'-0"

FRONT SETBACK ARE
EXCLUDING STAIRS:
PLANTING:
PERMEABLE PAVERS:

155.125 SF
54 SF EXCEEDS
20% REQUIREMENT
31.025 SF
77.75 SF EXCEEDS
50% REQUIRMENT
77.5625 SF



2ND FLOOR PLAN (N)
1/4"=1'-0"

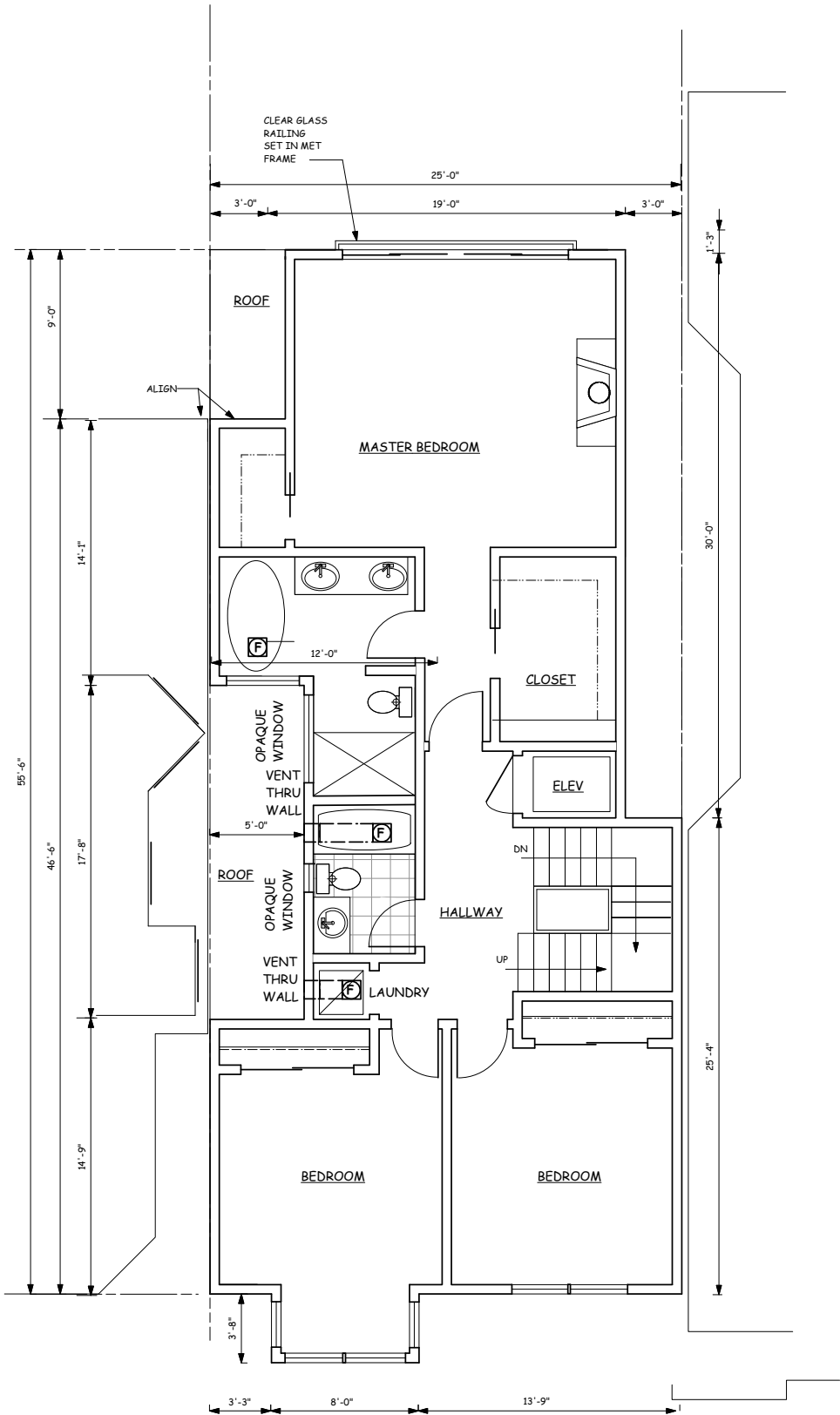
ADDITION AND
ALTERATIONS
3009 CALIFORNIA STREET
SAN FRANCISCO, CA.

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS
AS INDICATED OR REPRESENTED BY THIS
DRAWING ARE OWNED BY AND ARE THE
PROPERTY OF WILLIAM PASHELINSKY ARCHITECT
AND WERE CREATED, EVOLVED AND DEVELOPED
FOR USE ON, AND IN CONNECTION WITH THIS
SPECIFIC PROJECT. NONE OF THESE IDEAS,
DESIGNS, ARRANGEMENTS OF PLANS SHALL BE
USED BY OR DISCLOSED TO ANY PERSON, FIRM,
OR CORPORATION FOR ANY PURPOSE
WHAT SO EVER WITHOUT THE WRITTEN
PERMISSION OF WILLIAM PASHELINSKY ARCHITECT

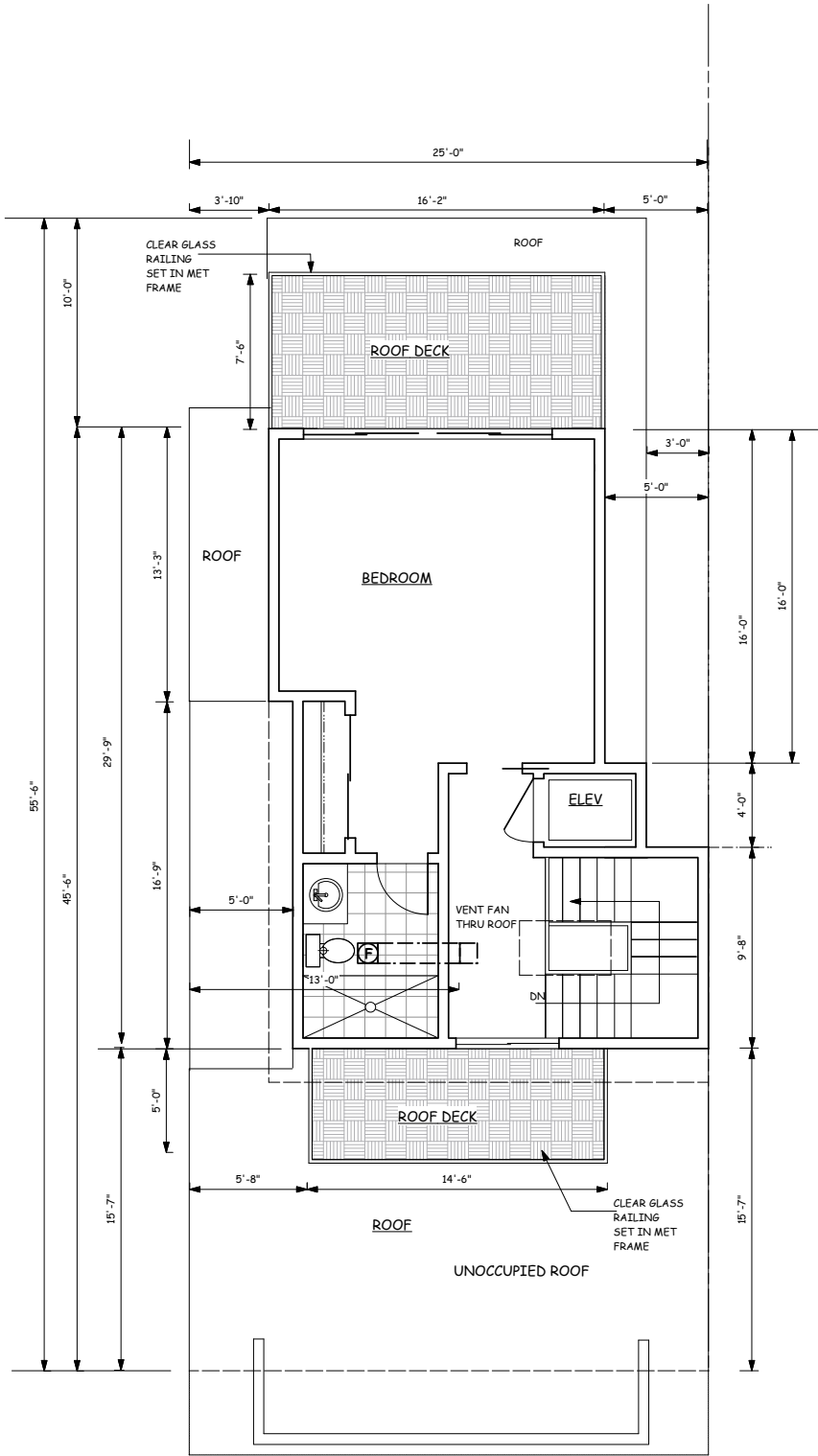
NO.	DATE	DESCRIPTION
1	01/21/16	REV
2	03/25/16	REV
6	03/29/17	REV

PROJECT NO. 2014.43
SHEET

ADDITION AND
ALTERATIONS
3009 CALIFORNIA STREET
SAN FRANCISCO, CA.



3RD FLOOR PLAN (N)
1/4"=1'-0"



4TH FLOOR PLAN (N)
1/4"=1'-0"

ALL IDEAS, DESIGNS ARRANGEMENTS AND PLANS AS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF WILLIAM PASHELINSKY ARCHITECT AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS SPECIFIC PROJECT. NONE OF THESE IDEAS, DESIGNS, ARRANGEMENTS OF PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF WILLIAM PASHELINSKY ARCHITECT

NO.	DATE	DESCRIPTION
1	01/21/16	REV
2	03/25/16	REV
4	08/15/16	REV
5	03/22/17	REV
6	03/29/17	REV

PROJECT NO. 2014.43
SHEET



**WILLIAM PASHELINSKY
ARCHITECT**
1937 HAYES STREET
SAN FRANCISCO, CA 94117
415 379 3676
BILLPASH@GMAIL.COM

**ADDITION AND
ALTERATIONS**
3009 CALIFORNIA STREET
SAN FRANCISCO, CA.

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS AS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF WILLIAM PASHELINSKY ARCHITECT AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS SPECIFIC PROJECT. NONE OF THESE IDEAS, DESIGNS, ARRANGEMENTS OF PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF WILLIAM PASHELINSKY ARCHITECT

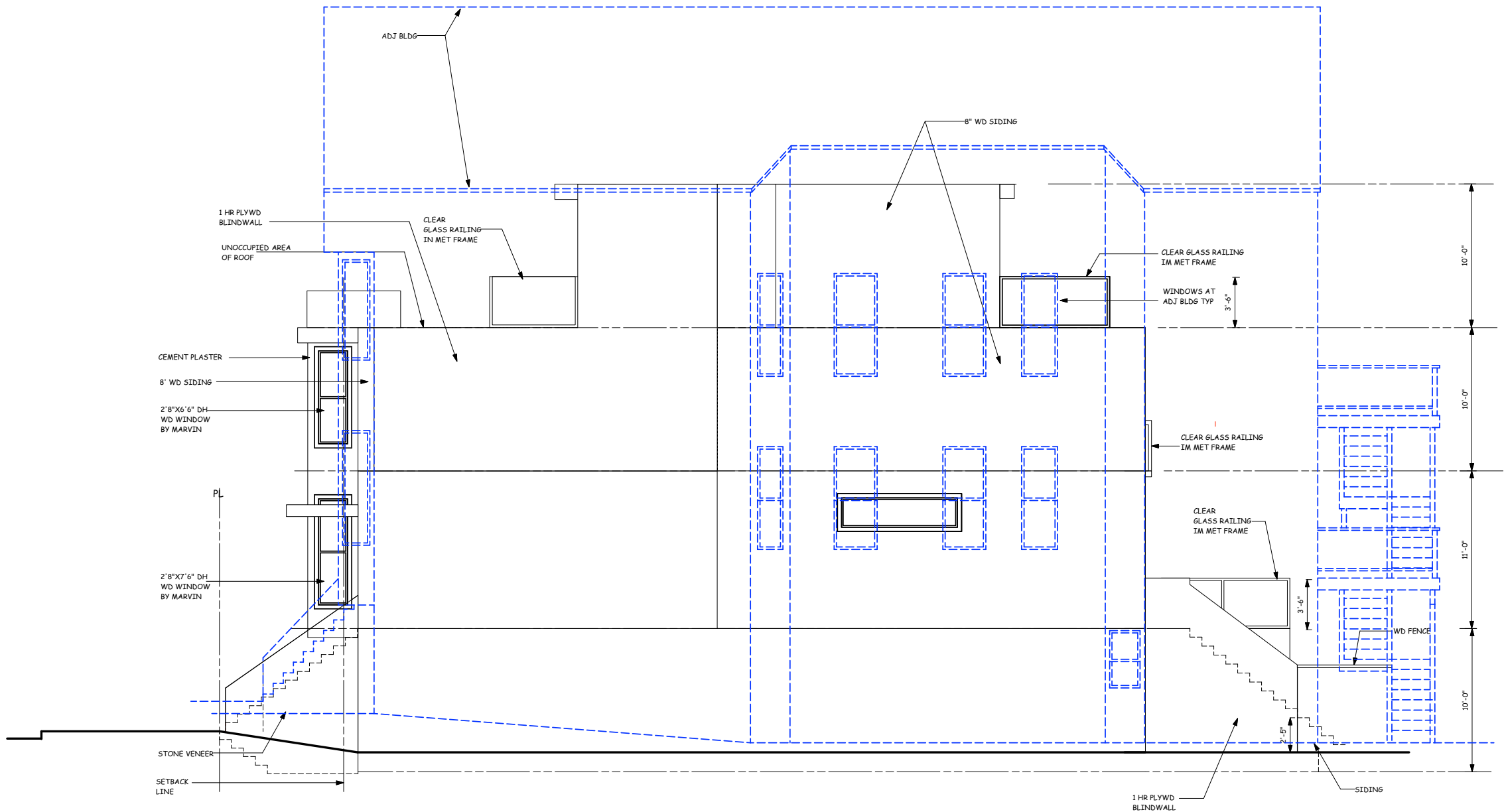
NO.	DATE	DESCRIPTION
1	01.21/16	REV
2	03.25/16	REV
3	05/15/16	REV
4	08/15/16	REV
6	03/29/17	REV

PROJECT NO. 2014.43
SHEET

A-3.01

ADDITION AND
ALTERATIONS

3009 CALIFORNIA STREET
SAN FRANCISCO, CA.



WEST ELEVATION (N)
1/4"=1'-0"

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS AS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF WILLIAM PASHELINSKY ARCHITECT AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS SPECIFIC PROJECT. NONE OF THESE IDEAS, DESIGNS, ARRANGEMENTS OF PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF WILLIAM PASHELINSKY ARCHITECT

NO.	DATE	DESCRIPTION
1	01/21/16	REV
2	05/15/16	REV
3	08/15/16	REV
5	03/22/17	REV
6	03/29/17	REV

PROJECT NO. 2014.43
SHEET

A-3.02N

3009 CALIFORNIA STREET
SAN FRANCISCO, CA.



SOUTH ELEVATION (N)
— 1/4"=1'-0"

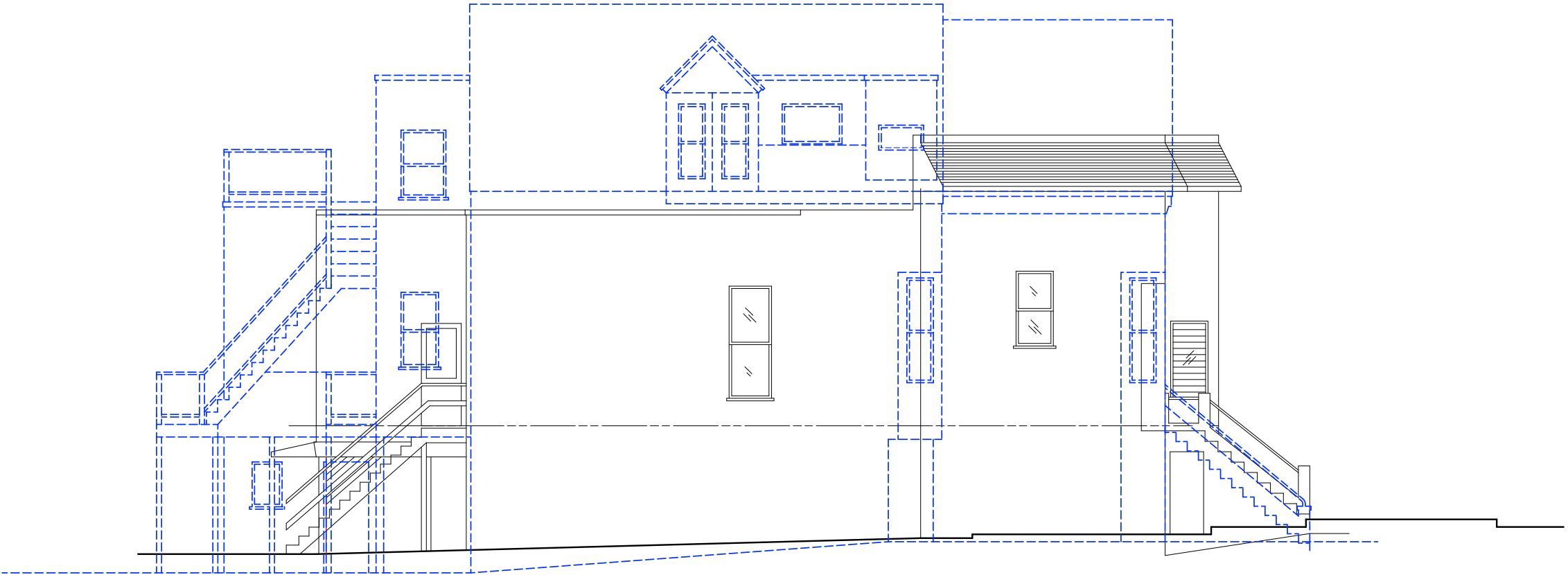
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS AS INDICATED OR REPRESENTED BY THIS DRAWING ARE RESERVED BY AND ARE THE PROPERTY OF WILLIAM PASHELINSKY ARCHITECT AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS SPECIFIC PROJECT. NONE OF THESE IDEAS, DESIGNS, ARRANGEMENTS OF PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF WILLIAM PASHELINSKY ARCHITECT

[illegible]

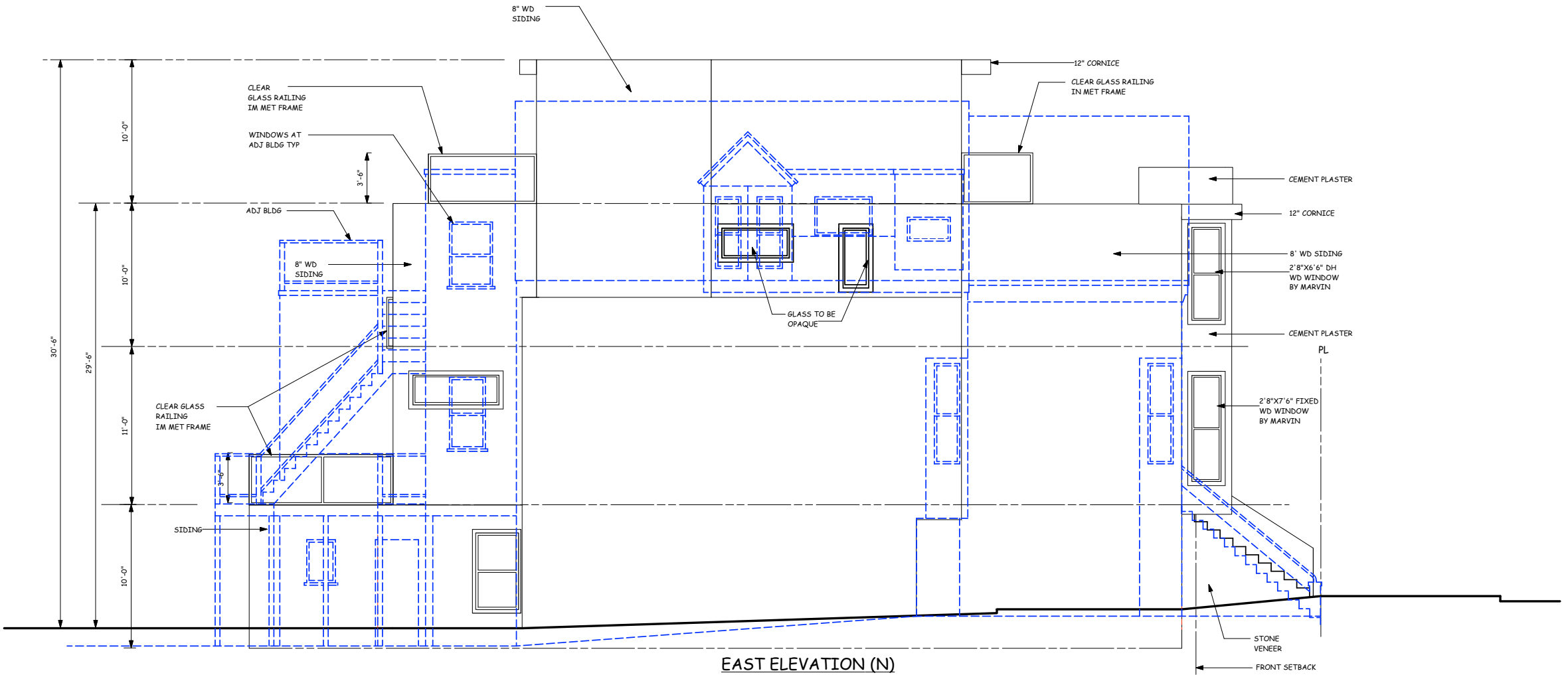
PROJECT NO. 2014.43
SHEET

ADDITION AND
ALTERATIONS

3009 CALIFORNIA STREET
SAN FRANCISCO, CA.



EAST ELEVATION (E)
1/4"=1'-0"

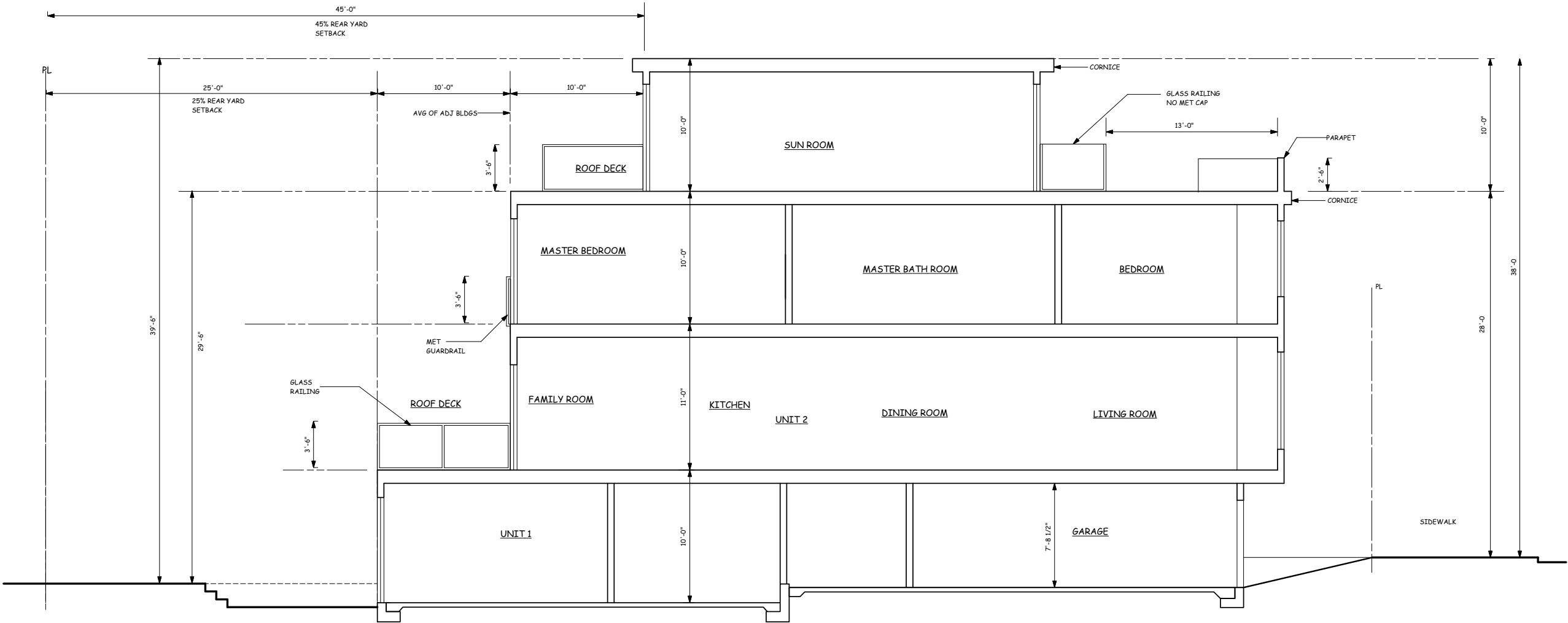


EAST ELEVATION (N)
1/4"=1'-0"

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS AS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF WILLIAM PASHELINSKY ARCHITECT AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS SPECIFIC PROJECT. NONE OF THESE IDEAS, DESIGNS, ARRANGEMENTS OF PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF WILLIAM PASHELINSKY ARCHITECT

NO.	DATE	DESCRIPTION
2	03/25/16	REV
3	05/15/16	REV
4	08/25/16	REV
5	03/22/17	REV

PROJECT NO. 2014.43
SHEET



SECTION A-A
1/4"=1'-0"

SECTION IS AT
MIDPOINT OF SITE

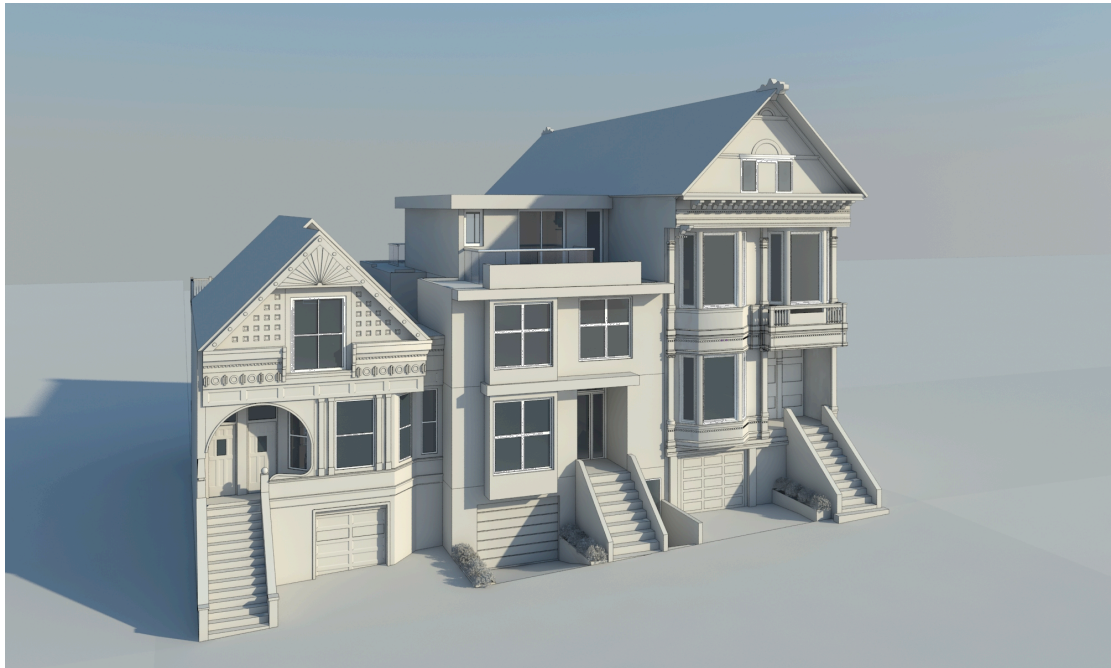
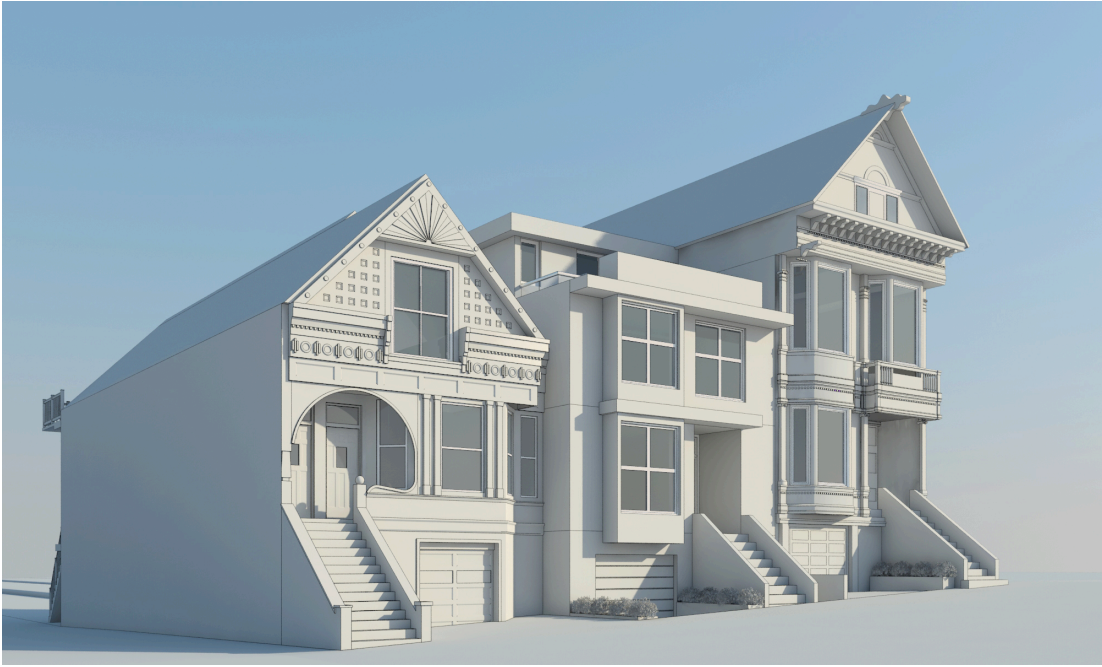
**WILLIAM PASHELINSKY
ARCHITECT**
1937 HAYES STREET
SAN FRANCISCO, CA 94117
415 379 3676
BILLPASH@GMAIL.COM

**ADDITION AND
ALTERATIONS**
3009 CALIFORNIA STREET
SAN FRANCISCO, CA.

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS AS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF WILLIAM PASHELINSKY ARCHITECT AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS SPECIFIC PROJECT. NONE OF THESE IDEAS, DESIGNS, ARRANGEMENTS OF PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF WILLIAM PASHELINSKY ARCHITECT

NO.	DATE	DESCRIPTION
1	01/21/16	REV
5	03/22/17	REV

PROJECT NO. 2014.43
SHEET



FRONT VIEW

**WILLIAM PASHELINSKY
ARCHITECT**
1937 HAYES STREET
SAN FRANCISCO, CA.94117
415 379 3676

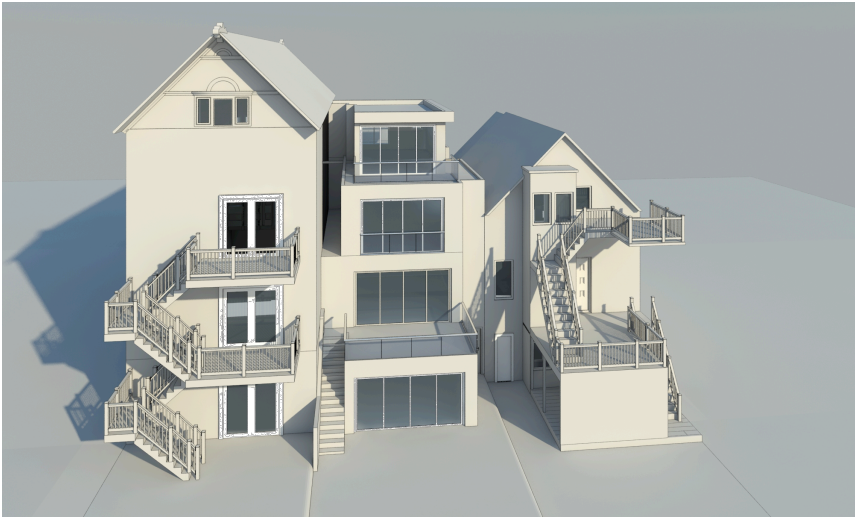
ADDITION AND ALTERATIONS
3009 CALIFORNIA STREET
SAN FRANCISCO, CA.

ALL IDEAS, DESIGNS ARRANGEMENTS AND PLANS
AS INDICATED OR REPRESENTED BY THIS
DRAWING ARE OWNED BY AND ARE THE
PROPERTY OF WILLIAM PASHELINSKY ARCHITECT
AND WERE CREATED, EVOLVED AND DEVELOPED
FOR USE ON, AND IN CONNECTION WITH THIS
SPECIFIC PROJECT. NONE OF THESE IDEAS,
DESIGNS, ARRANGEMENTS OF PLANS SHALL BE
USED BY OR DISCLOSED TO ANY PERSON, FIRM,
OR CORPORATION FOR ANY PURPOSE
WHAT SO EVER WITHOUT THE WRITTEN
PERMISSION OF WILLIAM PASHELINSKY ARCHITECT

NO.	DATE	DESCRIPTION

PROJECT NO. 2014.42
SHEET

R 1.01



REAR VIEW

ADDITION AND ALTERATIONS
3009 CALIFORNIA STREET
SAN FRANCISCO, CA.

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS AS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF WILLIAM PASHELINSKY ARCHITECT AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THIS SPECIFIC PROJECT. NONE OF THESE IDEAS, DESIGNS, ARRANGEMENTS OF PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF WILLIAM PASHELINSKY ARCHITECT

NO.	DATE	DESCRIPTION









