



# SAN FRANCISCO PLANNING DEPARTMENT

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## Discretionary Review Full Analysis

HEARING DATE OCTOBER 27, 2016

*Date:* September 22, 2016  
*Case No.:* 2015-007313DRP-05VAR  
*Project Address:* 870-872 UNION STREET  
*Permit Applications:* 2015.11.13.2622 &  
2015.11.13.2623  
*Zoning:* RM-1 (Residential-Mixed, Low Density)  
40-X Height and Bulk District  
*Block/Lot:* 0100/020, 085-087  
*Project Sponsor:* Brian Milford  
Martinkovic Milford Architects  
101 Montgomery Street, Suite 650  
San Francisco, CA 94104  
*Staff Contact:* Nicholas Foster – (415) 575-9167  
[nicholas.foster@sfgov.org](mailto:nicholas.foster@sfgov.org)  
*Recommendation:* **Do not take DR and approve the project as proposed.**

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

### PROJECT DESCRIPTION

The proposed project ("Project") includes a vertical and horizontal addition of the existing residential structure containing 3 dwelling units and the construction of a new, 4-story residential structure containing 1 dwelling unit on a through lot. The subject lot is a through lot which allows for the development of a second residential structure on the lot. The project proposes an extensive remodel of the existing 2,745 gross square foot building, adding 1,682 gross square feet for a total of 4,428 square feet of living space distributed amongst three (3) dwelling units. To accommodate the one-story vertical addition to the existing structure fronting Union Street, the structure would be lowered approximately 3'-2" (1'-8" each, on both floors 2 and 3). The new 2,877 gross square foot residential structure would front onto Aladdin Terrace. Three (3) Class I bicycle spaces would be added to the existing residential structure while one (1) Class I bicycle space and two (2) off-street parking spaces would be included in the new structure fronting Aladdin Terrace. The new structure would encroach into the required rear yard by approximately 12'-3/4"; therefore, the Project requires a variance for: 1) rear yard (Planning Code Section 134); open space (Planning Code Section 135); and dwelling unit exposure (Planning Code 140). A variance was scheduled for July 27, 2016; upon filing of the Discretionary Review applications, that variance hearing was continued to October 27, 2016, to coincide with the Discretionary Review hearing.

### SITE DESCRIPTION AND PRESENT USE

The Project Site ("Site"), located on Lots 020, 085-087 of Assessor's Block 0100, is a 3,315 square foot lot measuring approximately 25'-9" wide by 128'-9" deep. The Site is located on a through lot, with the southern frontage on Union Street and the northern frontage on Aladdin Terrace, between Taylor and Mason Streets. The Site is located within a RM-1 Zoning District and a 40-X Height and Bulk District.

The Site is improved with a three-story structure containing 2,745 gross square feet that measures 64'-7" long by 25'-9" wide with no front setback from Union Street. The subject lot slopes laterally (west to east) approximately 12 percent, as well as from front to back (south to north), approximately 10 percent.

## SURROUNDING PROPERTIES AND NEIGHBORHOOD

The Project Site ("Site") is located within the eastern portion of the Russian Hill neighborhood, within an established residential area primarily comprised of low- to medium-density housing. The buildings on the block face range from three to four stories and most are multi-family unit buildings. The block face contains a high concentration of architecturally-unified buildings with shared architectural characteristics, form, historic context and period. The mid-block open space is minimal in the location of the subject block as several of the similarly-sized lots as that of the subject lot that front onto Union Street contain two structures (most are through lots).

## BUILDING PERMIT APPLICATION NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	June 20, 2016 – July 19, 2016	July 18-19, 2016	October 27, 2016	99 days

## HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	October 17, 2016	October 17, 2016	10 days
Mailed Notice	10 days	October 17, 2016	October 17, 2016	10 days

## PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	X	X	
Other neighbors on the block or directly across the street	X	X	
Neighborhood groups			

The Department received eleven (11) letters in support of the project and nine (9) letters in opposition to the proposed Project. Letters in support of the Project generally speak to the general support for the Project Sponsor whereas letters in opposition to the Project speak to concerns over loss of access to light and air and impacts on privacy for adjacent residential structures. Several letters in opposition to the Project also make reference to the degradation of the midblock open space in light of the request for the variance to encroach into the required rear yard on the subject lot. In addition, a petition was circulated by the Discretionary Review filers; the petition has 59 signatories. The petition requests the Planning



Commission and the Zoning Director to require further design modifications to ensure an improved project, balancing the opportunity for developing a new unit of housing with a respectful acknowledgement of the existing context, retaining access to light, air and mid-block open space for adjacent residences. The petition submittal includes a neighborhood map indicating the property location of 58 neighbors who have signed the petition, who all live within a 300-foot radius of the proposed development. One of the neighbors who signed the petition lives 560 feet away on Union Street, beyond the limits of the map.

## **DR REQUESTORS**

DR Requestor #1: Discretionary Review Application 2015-007313DRP was filed by John Perri and Myra Strojny, of 866 Union Street (located directly east of the subject property along Union Street).

DR Requestor #2: Discretionary Review Application 2015-007313DRP-02 was filed by Kenneth Tateno, of 864 Union Street (located directly east of the subject property along Union Street).

DR Requestor #3: Discretionary Review Application 2015-007313DRP-03 was filed by Kenneth Tateno (on behalf of Trudi Muller and Allan Paul), of 868 Union Street (located directly east of the subject property along Union Street).

DR Requestor #4: Discretionary Review Application 2015-007313DRP-04 was filed by Chris Bigelow, of 22 Aladdin Terrace (located north and slightly east of the subject property along the north side of Aladdin Terrace).

DR Requestor #5: Discretionary Review Application 2015-007313DRP-05 was filed by Rick Levine (on behalf of the ("Little House Committee"), of 839 Union Street (located along the south side of Union Street, south and east from the subject property).

## **DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES**

### **DR REQUESTOR #1:**

#### **Issue #1:**

The Project does not meet the minimum standards of the Planning Code as the new structure fronting Aladdin Terrace requires a variance from the Code to achieve its intended mass and bulk. Approving the variance would allow for loss of light and air to the mid-block open space.

#### **Issue #2:**

The Project's demonstration of hardships or extraordinary circumstances fail to meet the requirements of the Planning Code Section 305 and therefore the variance should be denied.

#### **Issue #3:**

The alterations to the existing structure fronting Union Street constitute a tantamount to demolition (Planning Code Section 317) based upon the plans submitted.

See attached *Discretionary Review Application*, received July 19, 2016.

### **DR REQUESTOR #2:**

**Issue #1:**

The Project does not meet the minimum standards of the Planning Code as the new structure fronting Aladdin Terrance requires a variance from the Code to achieve its intended mass and bulk. Approving the variance would allow for loss of light and air to the mid-block open space.

**Issue #2:**

The alterations to the existing structure fronting Union Street constitute a tantamount to demolition (Planning Code Section 317) based upon the plans submitted. Due to the fact the Project should be treated as a de facto demolition, the Project should therefore match the lightwell located along adjacent building at 864-868 Union Street.

**Issue #3:**

The scale of the Project is not in keeping with the character of the neighborhood. The proposed new structure along the Aladdin frontage should be reduced in bulk and mass to not impact access to light and air for adjacent properties.

See attached *Discretionary Review Application*, received July 19, 2016.

**DR REQUESTOR #3:**

**Issue #1:**

The construction associated with the proposed Project could have negative impacts on adjacent buildings, including the structure immediately to the east of the subject lot (864-868 Union Street).

**Issue #2:**

The addition of the fourth floor to the existing structure at 870-872 Union Street will reduce light to the existing lightwell located along the structure located immediately to the east of the subject lot (864-868 Union Street). The Project should be modified to eliminate the proposed fourth floor to the existing structure at 870-872 Union Street, thereby reducing potential construction impacts to adjacent structures.

**Issue #3:**

The Project will negatively impact access to light and air for the mid-block open space, a feature shared by adjacent properties, not just the subject property.

See attached *Discretionary Review Application*, received July 19, 2016.

**DR REQUESTOR #4:**

**Issue #1:**

The height and mass of the proposed new construction structure along the Aladdin Terrance frontage will severely limit visual access to mid-block open space and the associated light and air that it provides for adjacent properties.

**Issue #2:**

The Project does not meet the minimum standards of the Planning Code as the new structure fronting Aladdin Terrance requires a variance from the Code to achieve its intended mass and bulk.

**Issue #3:**

The introduction of a new garage at the mid-point of Aladdin Terrace would cause a significant negative impact on a quiet, pedestrian oriented environment. Therefore, it would be reasonable to reconfigure the Project to provide entry for all required parking spaces via the existing garage entry on Union Street.

See attached *Discretionary Review Application*, received July 18, 2016.

**DR REQUESTOR #5:**

**Issue #1:**

The alterations to the existing structure fronting Union Street constitute a tantamount to demolition (Planning Code Section 317) based upon the plans submitted.

**Issue #2:**

The Project's demonstration of hardships or extraordinary circumstances fail to meet the requirements of the Planning Code Section 305 and therefore the variance should be denied.

**Issue #3:**

The Project should provide setbacks up on the upper floors to minimize impacts on light and privacy to adjacent properties. The new structure fronting Aladdin Terrace could be constructed without the need for variances from Code; the new structure should retain the existing retaining wall along Aladdin Terrace.

See attached *Discretionary Review Application*, received July 19, 2016.

**PROJECT SPONSOR'S RESPONSE**

The Project Sponsor submits that Discretionary Review ("DR") is granted only if exceptional or extraordinary circumstances exist. Because the DR Requestors fail to establish the existence of any exceptional or extraordinary circumstance in this case, therefore, the DR requests are without merit and the Planning Commission should not take Discretionary Review and approve the Project as proposed.

In response to concerns raised by the DR requestors, the Project Sponsor has made the following design changes to the existing structure (Union Street frontage): 1) incorporated the bay window into the upper two stories of the building; 2) removed of the vinyl siding from the façade and restore the original siding treatment; 3) provided a modern interpretation of a strong roof cap/termination to be compatible with the adjacent properties; 4) restored wood windows; and 5) provided open railing on the roof deck. Additionally, the Project Sponsor has made the following design changes to the existing structure (Aladdin Street frontage): 6) used of wood siding instead of smooth plaster stucco on the building's facade; 7) eliminated the wood paneling detailing adjacent to the garage door opening; 8) reduced the size of the window openings on the second and third floors to 10 feet in width to be more compatible with the adjacent properties; and 9) used open railing along decks.

See attached *Response to Discretionary Review*, dated October 13, 2016.

**PROJECT ANALYSIS**

The Project proposes new construction on a through lot, which, is a common development pattern found within the subject block. Despite the fact that the new structure properly averages the depths of the rear

building walls of the adjacent buildings fronting Aladdin Terrace, the new structure encroaches into the required rear yard (25 percent of lot depth) by approximately 12 feet; therefore the variance for rear yard encroachment is required. With the exception of the rear yard encroachment, the project is otherwise Code-compliant and the scale and massing of both the vertical addition to the existing structure fronting onto Union Street and the new structure fronting Aladdin Terrace is compatible with the existing neighborhood context. A Variance was originally scheduled for July 27, 2016. Upon receipt of the DR Applications filed during the 311 Neighborhood Notification period, the Zoning Administrator continued the Variance hearing until October 27, 2016, to coincide with the Planning Commission hearing for the DR Applications.

## ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Sections 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet) and 15303 (Class Three – New Construction/Conversion of Small Structure, up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU). See CEQA Categorical Exemption Determination, dated June 6, 2016, attached to the case report.

## RESIDENTIAL DESIGN TEAM REVIEW

On August 4, 2016, the Residential Design Team (RDT) reviewed the Project in light of the DR requestors' Applications for Discretionary Review. The RDT did not find there to be exceptional or extraordinary circumstances associated with the Project and found that the Project met the criteria established within the Residential Design Guidelines (RDG). The RDT reiterated that the scale and massing of the proposed Project was compatible with the scale and massing of buildings found along the subject streets (both Union Street and Aladdin Terrace). Specifically, the RDT found that the proposed vertical and horizontal additions to the existing structure fronting Union Street were not unusual or extraordinary; Union Street is primarily comprised of 3 story and 3-story-over-garage structures and the proposed vertical addition would appropriately step down the street, following the topography, from west to east. Moreover, the RDT found that the proposed new structure fronting Aladdin Terrace, with a 15' setback of the fourth (top) floor from Aladdin Terrace, was compatible with the adjacent structures. RDT recommends the Planning Commission not take DR and approve the project as proposed (Full Analysis due to new construction).

**Under the Commission's pending DR Reform Legislation, this project would be referred to the Commission, as this project involves new construction on a partially vacant lot.**

## BASIS FOR RECOMMENDATION

- The Project will add one dwelling unit to the city's supply of housing and maximizes the allowable density under the Planning Code.
- The vertical addition to the existing structure fronting Union Street respects the topography of the site and is designed to complement the adjacent residential structures.

- The new construction structure fronting Aladdin Terrace is placed within the average depths of the adjacent structures; the development is in keeping with the pattern of through lot development found within the subject block.

<b>RECOMMENDATION:</b> <b>Do not take DR and approve the project as proposed.</b>
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**Attachments:**

Block Book Map

Sanborn Map

Zoning Map

Map showing lot size development pattern

Aerial Photographs

Context Photos

NOPDR #1 & RDT Comments (3/2/16; 5/14/16; 8/14/16) and Project Sponsor Responses (4/27/16; 5/18/16; 9/20/16)

Section 311 Notice

Variance Notice

CEQA Determination

DR Applications

Response to DR Application, dated October 13, 2016

Project Sponsor Letter to the Planning Commission, dated October 13, 2016

Letters of Support

Letters in Opposition

Reduced Plans (including 3-D Renderings)

## Design Review Checklist

### NEIGHBORHOOD CHARACTER (PAGES 7-10)

QUESTION	
The visual character is: (check one)	
Defined	X
Mixed	

**Comments:** The buildings on the block face range from three to four stories and most are multi-family unit buildings. The block face contains a high concentration of architecturally-unified buildings with shared architectural characteristics, form, historic context and period. The mid-block open space is minimal in the location of the subject block as several of the similarly-sized lots as that of the subject lot that front onto Union Street contain two structures (most are through lots).

### SITE DESIGN (PAGES 11 - 21)

QUESTION	YES	NO	N/A
<b>Topography (page 11)</b>			
Does the building respect the topography of the site and the surrounding area?	X		
Is the building placed on its site so it responds to its position on the block and to the placement of surrounding buildings?	X		
<b>Front Setback (pages 12 - 15)</b>			
Does the front setback provide a pedestrian scale and enhance the street?	X		
In areas with varied front setbacks, is the building designed to act as transition between adjacent buildings and to unify the overall streetscape?			
Does the building provide landscaping in the front setback?			X
<b>Side Spacing (page 15)</b>			
Does the building respect the existing pattern of side spacing?			X
<b>Rear Yard (pages 16 - 17)</b>			
Is the building articulated to minimize impacts on light to adjacent properties?	X		
Is the building articulated to minimize impacts on privacy to adjacent properties?	X		
<b>Views (page 18)</b>			
Does the project protect major public views from public spaces?			X
<b>Special Building Locations (pages 19 - 21)</b>			
Is greater visual emphasis provided for corner buildings?			X
Is the building facade designed to enhance and complement adjacent public spaces?			X
Is the building articulated to minimize impacts on light to adjacent cottages?			X

**Comments:** The vertical addition to the existing structure fronting Union Street as well as the new construction structure fronting Aladdin Terrace respect the topography of the streets (Union Street and Aladdin Terrace, respectively) by stepping down to the street(s) (from west to east).

## BUILDING SCALE AND FORM (PAGES 23 - 30)

QUESTION	YES	NO	N/A
<b>Building Scale (pages 23 - 27)</b>			
Is the building's height and depth compatible with the existing building scale at the street?	X		
Is the building's height and depth compatible with the existing building scale at the mid-block open space?	X		
<b>Building Form (pages 28 - 30)</b>			
Is the building's form compatible with that of surrounding buildings?	X		
Is the building's facade width compatible with those found on surrounding buildings?	X		
Are the building's proportions compatible with those found on surrounding buildings?	X		
Is the building's roofline compatible with those found on surrounding buildings?	X		

**Comments:** The Union Street vertical addition maintains the predominate street wall of 3-4 stories along Union Street while the 15-foot setback along the Aladdin Terrace allows for relief from the narrow street conditions of Aladdin Terrace. The new construction structure fronting Aladdin Terrace encroaches into the required rear yard (Code), however, the depth of the encroachment is averaged off the adjacent properties and is in keeping with rear yard averaging procedures.

## ARCHITECTURAL FEATURES (PAGES 31 - 41)

QUESTION	YES	NO	N/A
<b>Building Entrances (pages 31 - 33)</b>			
Does the building entrance enhance the connection between the public realm of the street and sidewalk and the private realm of the building?			X
Does the location of the building entrance respect the existing pattern of building entrances?	X		
Is the building's front porch compatible with existing porches of surrounding buildings?	X		
Are utility panels located so they are not visible on the front building wall or on the sidewalk?	X		
<b>Bay Windows (page 34)</b>			
Are the length, height and type of bay windows compatible with those found on surrounding buildings?	X		
<b>Garages (pages 34 - 37)</b>			
Is the garage structure detailed to create a visually interesting street frontage?	X		
Are the design and placement of the garage entrance and door compatible with the building and the surrounding area?	X		
Is the width of the garage entrance minimized?	X		
Is the placement of the curb cut coordinated to maximize on-street parking?	X		
<b>Rooftop Architectural Features (pages 38 - 41)</b>			
Is the stair penthouse designed to minimize its visibility from the street?			X

Are the parapets compatible with the overall building proportions and other building elements?			X
Are the dormers compatible with the architectural character of surrounding buildings?			X
Are the windscreens designed to minimize impacts on the building's design and on light to adjacent buildings?			X

**Comments:** The entryway to the existing structure fronting Union Street is maintained while the garage door is reduced from 13'-4" to 10-feet (Code-compliant); meanwhile, the entryway to the new structure fronting Aladdin Terrace is designed to create a more gracious, formal entry to the unit located above.

#### BUILDING DETAILS (PAGES 43 - 48)

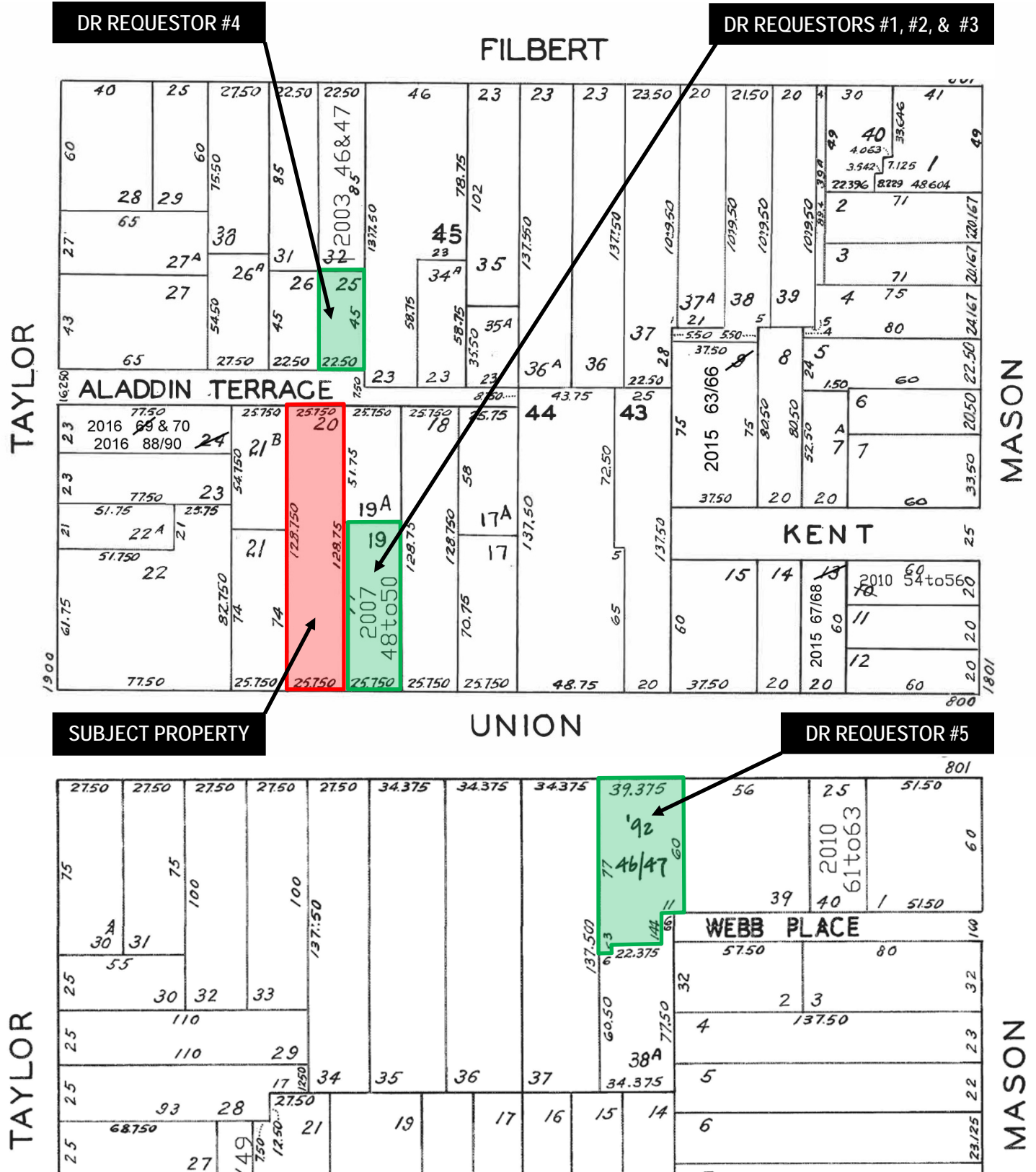
QUESTION	YES	NO	N/A
<b>Architectural Details (pages 43 - 44)</b>			
Are the placement and scale of architectural details compatible with the building and the surrounding area?	X		
<b>Windows (pages 44 - 46)</b>			
Do the windows contribute to the architectural character of the building and the neighborhood?	X		
Are the proportion and size of the windows related to that of existing buildings in the neighborhood?	X		
Are the window features designed to be compatible with the building's architectural character, as well as other buildings in the neighborhood?	X		
Are the window materials compatible with those found on surrounding buildings, especially on facades visible from the street?	X		
<b>Exterior Materials (pages 47 - 48)</b>			
Are the type, finish and quality of the building's materials compatible with those used in the surrounding area?	X		
Are the building's exposed walls covered and finished with quality materials that are compatible with the front facade and adjacent buildings?	X		
Are the building's materials properly detailed and appropriately applied?	X		

**Comments:** The existing one-story bay window (projection) located along the Union Street frontage has been maintained and extruded vertically to create a 3-story bay window, which, is in keeping with the neighborhood context. Along the Aladdin Terrace frontage, the window pattern is vertically-aligned and is uniformly located above the entryway and garage openings located below (street level).

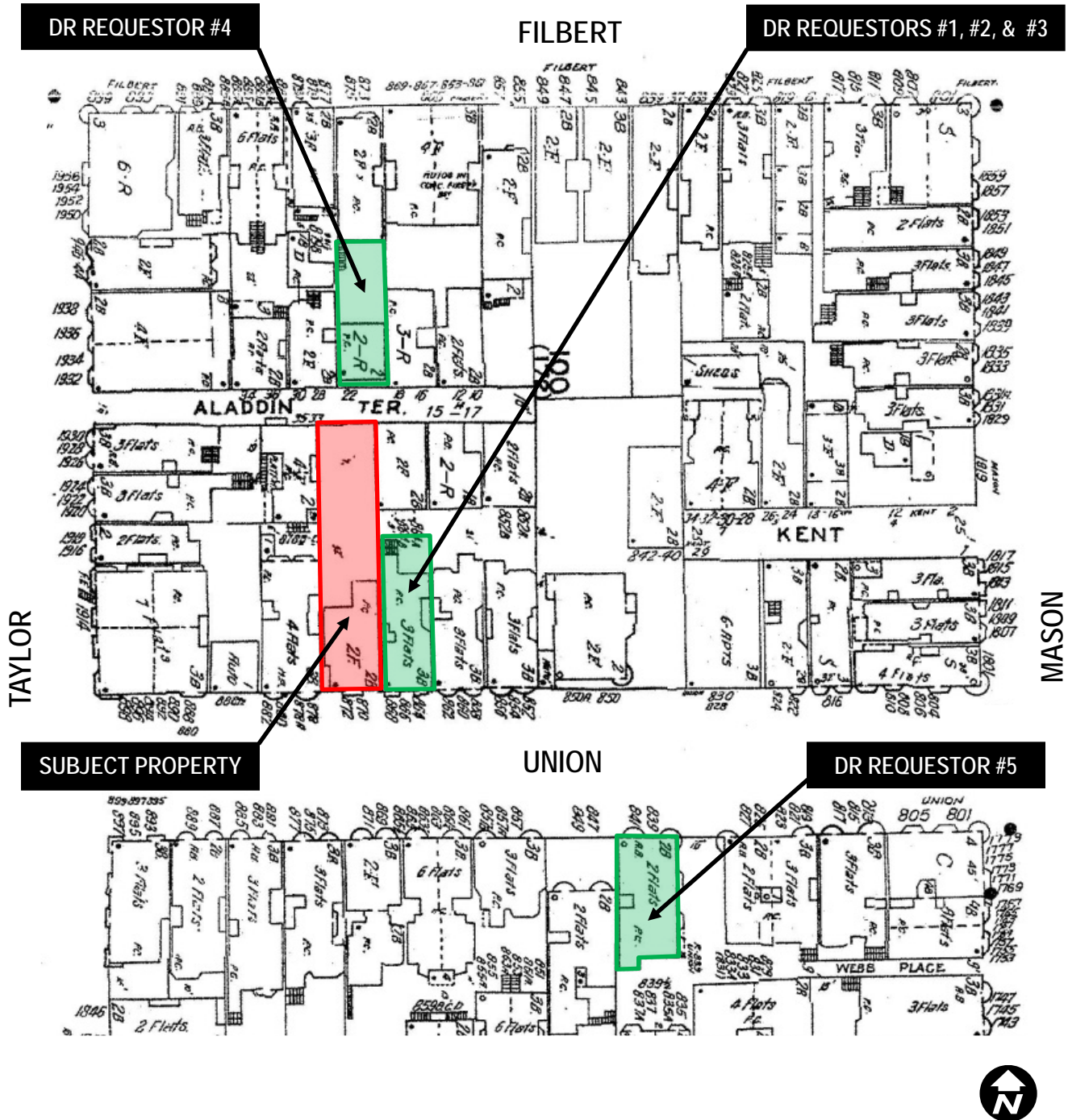


# Exhibits

# Parcel Map



# Sanborn Map\*



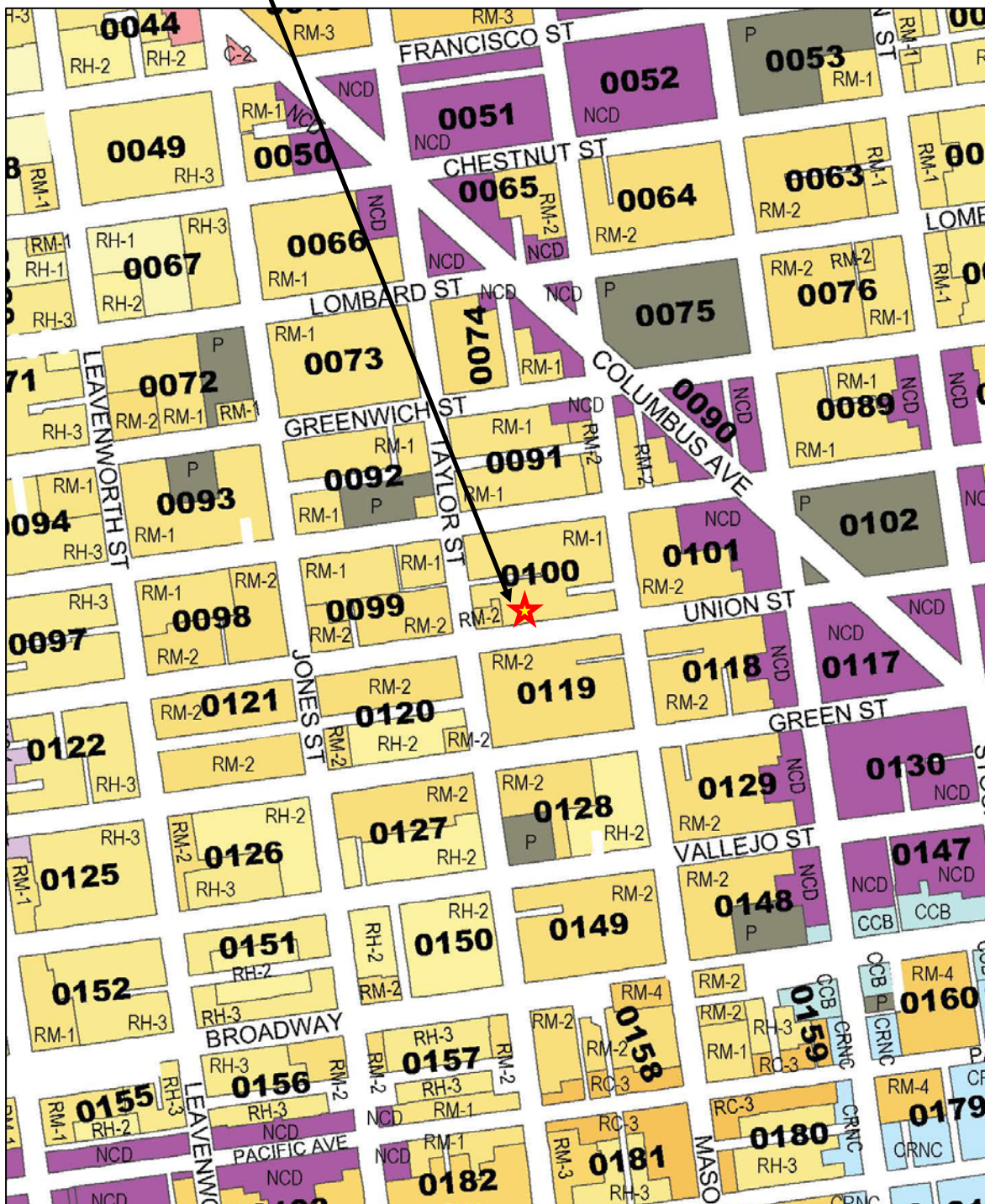
\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

Discretionary Review Hearing  
Case Number 2015-007313DRP-05  
870-872 Union Street



# Zoning Map

SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2015-007313DRP-05  
870-872 Union Street



# Aerial Photo



Discretionary Review Hearing  
Case Number 2015-007313DRP-05  
870-872 Union Street



# Aerial Photos

SUBJECT PROPERTY



SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2015-007313DRP-05  
870-872 Union Street



# Site Photos

SUBJECT PROPERTY



Street View of 870 Union Street (in front of subject property).



Discretionary Review Hearing  
Case Number 2015-007313DRP-05  
870-872 Union Street

# Site Photos

SUBJECT PROPERTY



Street View of 870 Union Street (upsloping from subject property).



Discretionary Review Hearing  
Case Number 2015-007313DRP-05  
870-872 Union Street



# Site Photos

SUBJECT PROPERTY



Street View of 870 Union Street (from Aladdin Terrace).



Discretionary Review Hearing  
Case Number 2015-007313DRP-05  
870-872 Union Street



# Site Photos

SUBJECT PROPERTY



Street View of 870 Union Street (from Aladdin Terrace).



Discretionary Review Hearing  
Case Number 2015-007313DRP-05  
870-872 Union Street



# Site Photos



View of (existing) rear yard at 870 Union Street (towards Aladdin Terrace) with story poles outlining proposed massing of new structure fronting Aladdin Terrace.



Discretionary Review Hearing  
Case Number 2015-007313DRP-05  
870-872 Union Street



# Site Photos



View from the roof of 870 Union, with story poles outlining proposed vertical addition to the existing structure fronting Union Street.



Discretionary Review Hearing  
Case Number 2015-007313DRP-05  
870-872 Union Street

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# SAN FRANCISCO PLANNING DEPARTMENT

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## Notice of Planning Department Requirements #1

March 10, 2016

Brian Milford  
Martinkovic Milford Architects  
1010 Montgomery Street, Suite 650  
San Francisco, CA 94104

**RE: 870 Union Street** (Address of Permit Work)  
**0100/020** (Assessor's Block/Lot)  
**2015.11.13.2622** (Building Permit Application Numbers)  
**2015.11.13.2623**

Your Building Permit Applications #2015.11.13.2622 and #2015.11.13.2623 have been received by the Planning Department and has been assigned to planner Nicholas Foster. Nicholas has begun review of your applications but the following information is required before it is accepted as complete and/or is considered Code-complying. Time limits for review of your project will not commence until we receive the requested information or materials and verify their accuracy.

In order to proceed with our review of your Building Permit Application, the following is required:

**1. Variances:**

- A. Useable Open Space (Section 135).** 100 SF of open space is required for each dwelling unit if all private, or 133 SF if common. As depicted on the plan set, only Unit #3 has private open space (located on roof decks at the new 4<sup>th</sup> floor). The rear yard cannot be used for common open in conjunction with the Variance application. That is, with the granting of the Variance, the rear yard becomes substandard (non-Code-compliant) and the rear yard is therefore in violation of Code Section 135(g).
- B. Exposure (Section 140).** As depicted on the plan set, only Units #2 and #3 meet Code Section 140, as they face a Code-complying street (Union Street). Units #1 and #4 face a substandard rear yard (with the application of the Variance for the rear yard reduction) and Aladdin Terrace does not constitute as a Street per Code (the alley is only 17'-6", and Code requires a width of 20').

- 2.** What are the dimensions of the existing vs. proposed garage door along both frontages (Union and Aladdin)?
- 3.** What is the exact width of the existing bay window (at second floor, Union Street frontage)?

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
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4. Please provide demolition calculations pursuant to Section 317. (See attached PDF on tantamount to demolition calculations.)
5. Please provide matching light wells to the abutting properties. This is a requirement per the Residential Design Guidelines (RDGs; page 17), and supported by Code Section 311. As depicted in the plans, the new 4<sup>th</sup> floor requires a setback on both sides of the abutting light wells (minimum 3' in depth) for the front building ("Building A"). Additionally, a matching light well is required for the rear building ("Building B"). Per the plans, it appears that a matching light well is only provided at floors 3 and 4. Light wells must be provided beginning at 10' above grade. Lastly, please clarify the existing conditions/proposed conditions for the front building ("Building A") along the western elevation; it's unclear if the stairwell is exterior to the building walls or if it's an interior stairwell.
6. **Street Trees (Section 138.1(c)(1)).** One tree of 24-inch box size is required for each 20 feet of frontage of the property along each street or alley, with any remaining fraction of 10 feet or more of frontage requiring an additional tree. Such trees shall be located either within a setback area on the lot or within the public right-of-way along such lot. Per the Site Plan, the linear footage subject to the street tree requirement would be 51'-6" (both the Union Street and Aladdin Terrace frontages). **Two (2)** street trees are required; see Street Tree Referral.
7. **Standards for Bird-Safe Buildings (PC§139(2)). Feature-Related Standards.** Feature-related hazards include free-standing glass walls, wind barriers, skywalks, balconies, and greenhouses on rooftops that have unbroken glazed segments 24 square feet and larger in size. Feature-related hazards can occur throughout the City. Any structure that contains these elements shall treat 100% of the glazing on Feature-Specific hazards. Please show compliance with Feature-Related Standards.

**Please provide the requested information within thirty (30) days.** The application will be sent back to the Department of Building Inspection for cancellation if we do not receive the requested information in this time. Please contact the assigned planner if you need more time to prepare the requested information.

**All plans submitted must be to an appropriate scale: site plan 1/8" = 1'; floor plans 1/4" = 1'. Plans should be clearly labeled.**

**All plan revisions must be filed at the Department of Building Inspection, Permit Processing Center, 1660 Mission Street, 2<sup>nd</sup> Floor.** Do not submit plans directly to the Planning Department. Plans will not be accepted by mail or messenger, and all plans must be signed by preparer, architect or engineer.

Please respond fully with all requested information and/or plan revisions as described above. You may file any plan revisions responding to this notice at no extra charge. However, please be advised that failure to address all the items listed above, leading to additional requests for revisions beyond those filed in response to this notice, will require a Back-Check Fee for Permit Revisions (\$208 per hour, Planning

Code Sections 355(a)2). If you file additional plan revisions in the future, those plan revisions will be subject to the Back-Check Fee.

Planning Department Applications and Publications are available at the Planning Information Center, 1660 Mission Street, 1<sup>st</sup> floor or via the Department website: [www.sfplanning.org](http://www.sfplanning.org).

Please direct any questions concerning this notice to the assigned planner, **Nicholas Foster at (415) 575-9167 or [nicholas.foster@sfgov.org](mailto:nicholas.foster@sfgov.org)**. Contact the assigned planner to set up any meeting, should one be necessary. Please do not come to the Planning Department to discuss this notice without an appointment.

Thank you for your attention to this notice. An early and complete response on your part will help expedite our review of your permit application.





# SAN FRANCISCO PLANNING DEPARTMENT

## RESIDENTIAL DESIGN TEAM REVIEW

DATE: 2/14/16 RDT MEETING DATE: 3/2/16

### PROJECT INFORMATION:

Planner:	Nick Foster
Address:	870 Union Street
Cross Streets:	Taylor/Mason Streets
Block/Lot:	0100/020
Zoning/Height Districts:	RM-1/40-X
BPA/Case No.	2015.11.13.2622/2623
Project Status	<input checked="" type="checkbox"/> Initial Review <input type="checkbox"/> Post NOPDR <input type="checkbox"/> DR Filed
Amount of Time Req.	<input type="checkbox"/> 5 min (consent) <input checked="" type="checkbox"/> 15 minutes <input type="checkbox"/> 30 minutes (required for new const.)

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

### Project Description:

The subject lot is a through lot with one existing structure at the front (fronting Union Street) that contains 3 dwelling units. The project proposes a vertical and horizontal addition to said front structure (adding a fourth floor), and construction a new, 4-story structure in the rear of the lot (fronting Aladdin Terrace) containing 1 dwelling unit.

### Project Concerns (If DR is filed, list each concern.):

- Support for overall bulk and massing of rear structure?
- Support for alteration of front structure?

### RDT Comments

#### Aladdin terrace building:

RDT supports excavating for garage only. RDT does not support additional excavation for residential space as it compromises the exposure in a non-code complying rear yard condition.

The prevailing street wall on Aladdin terrace is primarily 2 and 3-stories. Please setback the fourth floor to match upper story of existing neighbor to the east.

Reduce the garage door to a maximum of 10' wide as required by Code.

Revise the façade design to reflect a solid to glazing ratio more in keeping with the vertical proportions of the neighboring buildings.

Provide exterior materials compatible with neighboring buildings.

Provide a more open and invitational entry.

Provide more information on the green wall system. Specifically RDT questions how architecturally integral, permanent and sustainable it will be.

Design a projecting roof termination that is compatible with the existing neighboring buildings.

Union St Building:

Please consider extending the bay projection to upper floors.

RDТ would support eliminating the upper setback and pulling the upper story to front of building face.

Provide a strong roof cap / termination compatible with neighboring buildings.

Improve the solid to glazing ratio and proportions compatible with context.



# SAN FRANCISCO PLANNING DEPARTMENT

## RESIDENTIAL DESIGN TEAM REVIEW

DATE: 5/4/16 RDT MEETING DATE: 5/4/16

### PROJECT INFORMATION:

Planner:	<u>Nick Foster</u>
Address:	<u>870 Union Street</u>
Cross Streets:	<u>Taylor/Mason Streets</u>
Block/Lot:	<u>0100/020</u>
Zoning/Height Districts:	<u>RM-1/40-X</u>
BPA/Case No.	<u>2015.11.13.2622/2623</u>
Project Status	<input type="checkbox"/> Initial Review <input checked="" type="checkbox"/> Post NOPDR <input type="checkbox"/> DR Filed
Amount of Time Req.	<input type="checkbox"/> 5 min (consent) <input checked="" type="checkbox"/> 15 minutes <input type="checkbox"/> 30 minutes (required for new const.)

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Information:  
**415.558.6377**

### Project Description:

The subject lot is a through lot with one existing structure at the front (fronting Union Street) that contains 3 dwelling units. The project proposes a vertical and horizontal addition to said front structure (adding a fourth floor), and construction a new, 4-story structure in the rear of the lot (fronting Aladdin Terrace) containing 1 dwelling unit.

### Project Concerns (If DR is filed, list each concern.):

- PS has complied with nearly all NOPDR #1 and RDT (#1) comments; except for :
  - Garage width along Aladdin Terrace
  - 4<sup>th</sup> floor setback along Aladdin Terrace

### RDT Comments

- Provide a 15 foot setback along Aladdin Terrace. (RDGs pgs. 23-25)
- Limit the garage door width to 10 feet as required by Code, RDT does not support a request for a garage door width variance. (RDGs pgs. 34-36)



# SAN FRANCISCO PLANNING DEPARTMENT

## RESIDENTIAL DESIGN TEAM REVIEW

DATE: 8/2/16 RDT MEETING DATE: 8/4/16

### PROJECT INFORMATION:

Planner:	Nick Foster
Address:	870 Union Street
Cross Streets:	Taylor/Mason Streets
Block/Lot:	0100/020
Zoning/Height Districts:	RM-1/40-X
BPA/Case No.	2015.11.13.2622/2623
Project Status	<input type="checkbox"/> Initial Review <input type="checkbox"/> Post NOPDR <input checked="" type="checkbox"/> DR Filed
Amount of Time Req.	<input type="checkbox"/> 5 min (consent) <input checked="" type="checkbox"/> 15 minutes
	<input type="checkbox"/> 30 minutes (required for new const.)

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### Project Description:

The subject lot is a through lot with one existing structure at the front (fronting Union Street) that contains 3 dwelling units. The project proposes a vertical and horizontal addition to said front structure (adding a fourth floor), and construction a new, 4-story structure in the rear of the lot (fronting Aladdin Terrace) containing 1 dwelling unit.

### Project Concerns (If DR is filed, list each concern.):

5 DRs filed: (839 Union; 864-866 Union; 22 Aladdin)

- Issues with 3 variance requests; remove variances, project would be supportable.
- Impacts to light, air, and open space directly related to new construction (building B).
- Match light well against 864-866 Union Street building?

### RDT Comments

- RDT does not support the elimination of the 4<sup>th</sup> floor, either on the existing structure fronting onto Union Street, or the new construction structure fronting onto Aladdin Terrace.
- RDT supports the request for variances.
- RDT supports deeper window recesses for windows fronting onto Aladdin Terrace (the suggested depth is 2-3").
- RDT supports the introduction of a more pronounced entryway along the Aladdin Terrace frontage (e.g. widen the entryway and add trim or other design features to reinforce a human-scaled experience along the alley).
- RDT recommends the Commission to not take DR and approve the project as proposed (Full Analysis, due to the new construction structure).

PROJECT NAME 870 Union Street Residence Addition and Remodel

PERMIT APPLICATION # 2015.11.13.2622  
2015.11.12.2623

BLOCK/LOT 0100/020

DATE 04.27.2016

FROM Martinkovic Milford Architects (MMA)

PLANNER Nicholas Foster

RESPONSE TO NOTICE OF PLANNING DEPARTMENT REQUIREMENTS #1 AND RESIDENTIAL DESIGN TEAM REVIEW

Residential Design Team Comments				
NO.	SHEET	COMMENT	RESPONSE	RESPONSE BY
<b>Aladdin Terrace Building</b>				
1.	A111 A114 A301	RDT supports excavating for garage only. RDT does not support additional excavation for residential space as it compromises the exposure in non-compliant rear yard condition.	See sheets A111, A114, and A301 for the revised proposed excavation at the rear. The proposed excavation has been reduced to only the footprint of the proposed new structure fronting Aladdin Terrace.	MMA
2.	A116 A206	The prevailing street wall on Aladdin Terrace is primarily 2 and 3-stories. Please setback the fourth floor to match upper story of existing neighbor to the east.	See sheet A206 and A116 for proposed setback at the upper story. The proposed new structure has been designed to be consistent with the existing buildings to either side of it. Both properties adjoining our proposed project are the same relative height as our proposal. The property located to the west, has no setback at the top story and the other property located to the east has a setback of approximately 15' from the front building wall. We are proposing to average the setbacks between the 2 adjacent structures with a setback approximately 7'-6" from the property line along Aladdin Terrace for the 4 <sup>th</sup> story only.	MMA

3.	A114	Reduce the garage door to a maximum of 10' wide as required by Code.	See sheet A114 for our proposed garage door width. The typical garage door located along Aladdin Terrace on the adjacent properties is larger than 10' wide. The property at 15 Aladdin has a garage width of 12'-4" and the property at 1926 Taylor has 3 garages on Aladdin Terrace measuring 14'-8". Restricting the garage door width to a maximum of 10' compromises the ability to successfully and safely park a vehicle inside the garage because the width of the street is 16'-3". Referring to the planning department's guidelines for adding garages and curb cuts, there are instances particular to the street constraints that warrant the possibility of a larger garage given that such maneuverability is prohibited due to the street being too narrow. Please see the attached diagrams for the turning radius for an average sized vehicle into the proposed garage on Aladdin Terrace. The standards used in the diagrams are part of the Graphic Standards for Residential Construction by the AIA.	MMA
4.	A206	Revise the façade design to reflect a solid to glazing ratio more in keeping with the vertical proportions of the neighboring buildings.	See sheet A206 for the revised proposal of the front façade design.	MMA
5.	A206	Provide Exterior materials compatible with neighboring buildings.	See sheets A205 and A206 for the proposed exterior materials. The primary exterior façade materials of the immediate neighboring buildings are painted wood siding, painted plaster, wood shingles, and concrete. See the attached photos of the existing neighboring buildings.	MMA
6.	A114 A206	Provide a more open and invitational entry.	See sheets A114 and A206 for proposed more open and invitational entry. The proposed entry is to be set back from the front building.	MMA
7.	A206	Provide more information on the green wall system. Specifically RDT questions how architecturally integral, permanent, and sustainable it will be.	See sheet A206 for the revised front façade. The green wall system has been removed from the scope of work.	MMA
8.	A206 A301	Design a projecting roof termination that is compatible with the existing neighboring buildings.	See sheets A206 and A901 for the proposed roof cap termination that is more compatible with the existing neighboring buildings.	MMA
<b>Union Street Building</b>				
9.	A112 A201	Please consider extending the bay projection to upper floors.	See sheet A201 for the new proposed front façade. The existing bay window has now been extended to upper floors.	MMA

10.	A112 A201	RDT would support eliminating the upper setback and pulling the upper story to the front of the building face.	See sheet A112, A113, and A201 for the revised floor plans and front elevation to eliminate the front set back at top floor.	MMA
11.	A201 A301	Provide a strong roof cap/termination compatible with neighboring buildings.	See sheets A201 for the new proposed roof cap and termination to be more compatible with the neighboring buildings.	MMA
12.	A201	Improve the solid to glazing ratio and proportions compatible with context.	See sheet A201 for the revised front façade design proposal with proportions to be more in context with the neighboring buildings.	MMA

### Planning Department Requirements

NO.	SHEET	COMMENT	RESPONSE	RESPONSE BY
1.		<p>Variances:</p> <p>A. Useable open space (section 135). 100 SF of open space is required for each dwelling unit if all private, or 133SF if common. As depicted on the plan set, only Unit #3 has private open space (located on roof decks at the new 4<sup>th</sup> floor). The rear yard cannot be used for common open in conjunction with the Variance application. That is, with the granting of the Variance, the rear yard becomes substandard (non-code-compliant) and the rear yard is therefore in violation of Code Section 135(g).</p> <p>B. Exposure (Section 140). As depicted on the plan set, only Units #2 and #3 meet code section 140, as they face code-complying street (Union Street). Unit #1 and #4 face a substandard rear yard (with the application of the Variance for the rear yard reduction) and Aladdin Terrace does not constitute as a street per Code (the alley is only 17'-6", and code requires a width of 20').</p>	See the attached Variance Appendix's to be added to the Variance application.	MMA
2.	A101 A111 A114	What are the dimensions of the existing vs. proposed garage door along both frontages (Union and Aladdin)?	See sheet A101, A111, and A114 for the dimensions of the existing and proposed garage doors along both Union street and Aladdin Terrace.	MMA
3.	A111 A201	What is the exact width of the existing bay window (at second floor, Union street frontage)?	See sheet A111 and A201 for the width of the existing bay window on the Union street facade.	MMA
4.	A005	Please provide demolition calculation pursuant to Section 317.	See sheet A005 for the illustrated demolition calculations as derived from the required method described in Section 317.	MMA

5.	A112 A113 A114 A115 A116 A203 A204	Please provide matching light wells to the abutting properties. This is a requirement per the Residential Design Guidelines (RDGs; page 17), and supported by code section 311. As depicted in the plans, the new 4 <sup>th</sup> floor requires a setback on both side of the abutting light wells (minimum 3' in depth) for the front building ("building A"). Additionally, a matching light well is required for the rear building ("building B"). Per the plans, it appeared that a matching light well is only provided at floors 3 and 4. Light wells must be provided beginning at 10' above grade. Lastly, please clarify the existing conditions/proposed conditions for the front building ("building A") along the western elevation; it's unclear if the stairwell is exterior to the building walls or if it's an interior stairwell.	See sheets A112, A113, A114, A115, A116, A203, and A204 for the proposed light wells at both buildings. For the front building (building A) we have revised the light wells at the 4 <sup>th</sup> floor to comply with the RDG. For the rear building (building B) the matching light well is proposed to be provided at the 3 <sup>rd</sup> and 4 <sup>th</sup> floors only. The neighboring property's light well at 33 Aladdin starts at the 2 <sup>nd</sup> floor of our proposed new structure along Aladdin Terrace. See the floor plans and elevations for the correct backgrounds of the adjacent neighboring building.  The existing conditions of the front building (building A) consist of a light well with a property line wall. The proposed conditions are an exterior stair behind the property line wall.	MMA
6.	A002B	Street Trees. One tree of 24-inch box size is required for each 20 feet of frontage of the property along each street or alley, with any remaining fraction of 10 feet or more of frontage requiring an additional tree. Such trees shall be located either within a setback area on the lot or within the public right-of-way along such lot. Per the site plan, the linear footage subject to the street tree requirement would be 51'-6" (both Union street and Aladdin Terrace frontages). Two (2) street trees are required; see Street tree referral.	See sheet A002B. The San Francisco Public Works Department has determined minimum restrictions on the planting of new trees in relation to each other. Trees are not to be planted within 12' to 15' of each other if both are small mature-sized trees. The first street tree is located as close to the side property line as possible and the separation distance between the tree and the (e) driveway is 12'-0". Therefore another street tree cannot fit of the street frontage on the Union street public right-of-way. The Aladdin Terrance alley does not have a sidewalk on our side of the street, so a street tree cannot be planted on the street frontage along Aladdin Terrace.	MMA
7.	N/A	Standards for Bird-Safe Buildings. Feature-Related Standards. Feature-related hazards include free-standing glass walls, wind barriers, skywalks, balconies, and greenhouses on rooftops that have unbroken glazed segments 24 square feet and larger in size. Feature-related hazards can occur throughout the city. Any structural that contains these elements shall treat 100% of the glazing on feature-specific hazards. Please show compliance with Feature-related standards.	Our proposed project does not contain any feature-related bird safety hazards containing unbroken glazed segments greater than 24 square feet in size.	MMA



PROJECT NAME 870 Union Street Residence Addition and Remodel

PERMIT APPLICATION # 2015.11.13.2622  
2015.11.12.2623

BLOCK/LOT 0100/020

DATE 05.18.2016

FROM Martinkovic Milford Architects (MMA)

PLANNER Nicholas Foster

## RESPONSE TO NOTICE OF PLANNING DEPARTMENT REQUIREMENTS #2

Residential Design Team Comments				
NO.	SHEET	COMMENT	RESPONSE	RESPONSE BY
<b>Aladdin Terrace Building</b>				
1.	A116 A206	Provide a 15 foot setback along Aladdin Terrace.	See sheet A206 and A116 for proposed 15' setback at the upper story along the Aladdin Terrace street frontage.	MMA
2.	A114	Limit the garage door width to 10 feet as required by Code, RDT does not support a request for a garage door width variance.	See sheet A114 for our proposed garage door width to be maximum 10' wide.	MMA



**PROJECT NAME** 870 Union Street Residence Addition and Remodel

**PERMIT APPLICATION #** 2015.1113.2622  
2015.1113.2623

**BLOCK/LOT** 0100/020

**DATE** 09.20.2016

**FROM** Martinkovic Milford Architects (MMA)

**PLANNER** Nicholas Foster

**RESPONSE TO RESIDENTIAL DESIGN TEAM OF THE PLANNING DEPARTMENT REVIEW**

NO.	SHEET	COMMENT	RESPONSE	RESPONSE BY
1.	N/A	RDT does not support the elimination of the 4 <sup>th</sup> floor, either on the existing structure front onto Union street, of the new construction structure fronting onto Aladdin Terrace.	N/A	N/A
2.	N/A	RDT supports the request for variances.	N/A	N/A
3.	A114 A115 A116	RDT support deeper window recesses for windows fronting onto	See sheets A114, A115, and A116. The windows fronting Aladdin Terrace have been	MMA

		Aladdin Terrace (the suggested depth is 2-3"	recessed from the front of the façade.	
4.	A114 A206	RDT supports the introduction of a more pronounced entryway along the Aladdin Terrace frontage (e.g. widen the entryway and add trim or other design features to reinforce a human-scaled experience along the alley).	See sheets A114 and A206. The entryway along Aladdin Terrace has been revised to be wider to reinforce a human-scaled experience.	MMA
5.	N/A	RDT recommends the Commission to not take DR and approve the project as proposed (Full analysis, due to the new construction structure).	N/A	N/A



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

## NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **November 13, 2015**, the Applicant named below filed Building Permit Application Nos. **2015.11.13.2622** and **2015.11.13.2623** with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	<b>870 Union Street</b>	Applicant:	<b>Blake Evans</b>
Cross Street(s):	<b>Taylor/Mason Streets</b>	Address:	<b>101 Montgomery Street, Ste. 650</b>
Block/Lot Nos.:	<b>0100/085-087</b>	City, State:	<b>San Francisco, CA 94104</b>
Zoning District(s):	<b>RM-1 / 40-X</b>	Telephone:	<b>(415) 346-9990</b>

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input checked="" type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input checked="" type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	No Change
Front Setback	None	No Change
Side Setbacks	None	No Change
Building Depth	64'-7" (front bldg.)	64'-7" (front bldg.) + 43"-10 1/2" (rear bldg.)
Rear Yard	61'-1/2"	20'-1 1/2"
Building Height	35'-2 1/2" (front bldg.)	40'-0" (front bldg.) + 40'-0" (rear bldg.)
Number of Stories	3 (front bldg.)	4 (front bldg.) + 4 (rear bldg.)
Number of Dwelling Units	3 (front bldg.)	3 (front bldg.) + 1 (rear bldg.) = 4 total
Number of Parking Spaces	3 (front bldg.)	3 (front bldg.) + 2 (rear bldg.) = 5 total
PROJECT DESCRIPTION		
<p>The proposal is twofold: 1) a one-story vertical addition atop the existing 3-story residential structure fronting Union Street, and 2) the construction of a (new) 4-story residential structure fronting Aladdin Terrace. The subject lot is a through lot which allows for the development of a second residential structure on the lot. The new structure would encroach into the required rear yard by approximately 12'-3/4"; therefore, the project requires a variance for: 1) rear yard encroachment; dwelling unit exposure; and open space.</p> <p>The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.</p>		

**For more information, please contact Planning Department staff:**

Planner: Nicholas Foster

Telephone: (415) 575-9167

E-mail: nicholas.foster@sfgov.org

**Notice Date: 6/20/2016**

**Expiration Date: 7/19/2016**

# GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at [www.communityboards.org](http://www.communityboards.org) for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at [www.sfplanning.org](http://www.sfplanning.org). You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at [www.sfplanning.org](http://www.sfplanning.org). If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

**Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

## BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

## ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at [www.sfplanning.org](http://www.sfplanning.org). An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 27, 2016**

Time: **Not before 9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>870 Union Street</b>	Case No.:	<b>2015-007313VAR</b>
Cross Street(s):	<b>Taylor/Mason Streets</b>	Building Permit:	<b>2015.11.13.2622 &amp; 2623</b>
Block /Lot No.:	<b>0100/085-087</b>	Applicant:	<b>Brian Milford</b>
Zoning District(s):	<b>RM-1 / 40-X</b>	Telephone:	<b>(415) 346-9990</b>
Area Plan:	<b>N/A</b>	E-Mail:	<b><a href="mailto:brian@martinkovicmilford.com">brian@martinkovicmilford.com</a></b>
PROJECT DESCRIPTION			
<p>The subject lot is a through lot with one existing residential structure at the front (fronting Union Street), containing 3 dwelling units. The project proposes a vertical and horizontal addition to said front structure (adding a fourth floor), and construction a new, 4-story residential structure in the rear of the lot (fronting Aladdin Terrace), containing 1 dwelling unit.</p> <p><b>SECTION 134 OF THE PLANNING CODE</b> requires a minimum rear yard of approximately 32'-3/16" for the subject property. Because the subject lot is a through lot, the required rear yard shall be located in the central portion of the lot, between the two structures on such lot. The project proposes a new structure in the rear of the lot (fronting Aladdin Terrace) that would encroach into the required rear yard by approximately 12'-3/16"; therefore the project requires a variance.</p> <p><b>SECTION 135 OF THE PLANNING CODE</b> requires useable open space be provided for each dwelling unit according to standards set forth in the Code. Two of the four units (Units #1 and #2 in the front structure) do not provide useable open space meeting the requirements of the Code; therefore the project requires a variance.</p> <p><b>SECTION 140 OF THE PLANNING CODE</b> requires units to face directly on an open area as defined by Code. Two of the four units (Unit #1 in the front structure, and Unit #4 in the rear structure) do not face directly on an open area as defined by Code; therefore the project requires a variance.</p>			
ADDITIONAL INFORMATION			
<p><b>ARCHITECTURAL PLANS:</b> The site plan and elevations of the proposed project are available on the Planning Department's website at: <a href="http://notice.sfplanning.org/2015-007313VAR.pdf">http://notice.sfplanning.org/2015-007313VAR.pdf</a></p> <p>Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.</p>			
<p><b>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</b></p> <p>Planner: <b>Nicholas Foster</b> Telephone: <b>(415) 575-9167</b> E-Mail: <b><a href="mailto:nicholas.foster@sfgov.org">nicholas.foster@sfgov.org</a></b></p>			

# GENERAL INFORMATION ABOUT PROCEDURES

## HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **On 6/20/16, the Department issued the required Section 311 notification for this project (expires 7/19/16).**

## APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.



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# SAN FRANCISCO PLANNING DEPARTMENT

## CEQA Categorical Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
870 & 872 Union Street		0100/020	
Case No.	Permit No.	Plans Dated	
2015-007313ENV	201511132622; 201511132623	11/13/2015; revised 5/26/2016	
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 45 years old)	<input type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval. Interior remodel and vertical and horizontal rear additions to existing three-story, three-dwelling-unit building with two vehicle parking spaces. Add fourth story and roof deck. Excavate to add two vehicle parking spaces and to expand habitable area. Add one new dwelling unit in a new four-story building at the rear of the lot.			

### STEP 1: EXEMPTION CLASS

TO BE COMPLETED BY PROJECT PLANNER

<b>Note: If neither Class 1 or 3 applies, an <i>Environmental Evaluation Application</i> is required.</b>	
<input checked="" type="checkbox"/>	<b>Class 1 – Existing Facilities.</b> Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	<b>Class 3 – New Construction/ Conversion of Small Structures.</b> Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<b>Class__</b>

### STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

<b>If any box is checked below, an <i>Environmental Evaluation Application</i> is required.</b>	
<input type="checkbox"/>	<b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks)? <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Article 38 program and the project would not have the potential to emit substantial pollutant concentrations. (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Air Pollutant Exposure Zone)</i>
<input type="checkbox"/>	<b>Hazardous Materials:</b> If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I

	Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap &gt; Maher layer).</i>
<input type="checkbox"/>	<b>Transportation:</b> Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input checked="" type="checkbox"/>	<b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	<b>Noise:</b> Does the project include new noise-sensitive receptors (schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Noise Mitigation Area)
<input type="checkbox"/>	<b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	<b>Slope = or &gt; 20%:</b> Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Landslide Zone:</b> Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) <b>If box is checked, a geotechnical report is required.</b>
<input type="checkbox"/>	<b>Seismic: Liquefaction Zone:</b> Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) <b>If box is checked, a geotechnical report will likely be required.</b>
<b>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <u>Environmental Evaluation Application</u> is required, unless reviewed by an Environmental Planner.</b>	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.
<b>Comments and Planner Signature (optional):</b> Jean Poling No archeological effects	

### STEP 3: PROPERTY STATUS – HISTORIC RESOURCE TO BE COMPLETED BY PROJECT PLANNER

<b>PROPERTY IS ONE OF THE FOLLOWING:</b> (refer to Parcel Information Map)	
<input type="checkbox"/>	<b>Category A:</b> Known Historical Resource. <b>GO TO STEP 5.</b>
<input checked="" type="checkbox"/>	<b>Category B:</b> Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>
<input type="checkbox"/>	<b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b>

**STEP 4: PROPOSED WORK CHECKLIST**  
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. <b>Change of use and new construction.</b> Tenant improvements not included.
<input type="checkbox"/>	2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
<b>Note: Project Planner must check box below before proceeding.</b>	
<input checked="" type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project <b>does not conform</b> to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>

**STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW**  
TO BE COMPLETED BY PRESERVATION PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. <b>Interior alterations to publicly accessible spaces.</b>
<input type="checkbox"/>	3. <b>Window replacement</b> of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. <b>Addition(s)</b> , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .

<input type="checkbox"/>	8. <b>Other work consistent</b> with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input checked="" type="checkbox"/>	9. <b>Other work</b> that would not materially impair a historic district (specify or add comments): Project was reviewed by RDT and found to be consistent with the Residential Design Guidelines and compatible with the neighborhood. (Requires approval by Senior Preservation Planner/Preservation Coordinator) <u><i>Tina Tam</i></u>
<input type="checkbox"/>	10. <b>Reclassification of property status</b> to Category C. (Requires approval by Senior Preservation Planner/Preservation Coordinator) a. Per HRER dated: _____ (attach HRER) b. Other (specify):
<b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.</b>	
<input type="checkbox"/>	<b>Further environmental review required.</b> Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. <b>GO TO STEP 6.</b>
<input checked="" type="checkbox"/>	<b>Project can proceed with categorical exemption review.</b> The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. <b>GO TO STEP 6.</b>
Comments (optional):	
Preservation Planner Signature: <u><i>Tina Tam</i></u> <small>Digitally signed by Tina Tam DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Tina Tam, email=tina.tam@sfgov.org Date: 2016.06.07 09:45:30 -07'00'</small>	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION**  
**TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 – CEQA Impacts <input type="checkbox"/> Step 5 – Advanced Historical Review <b>STOP! Must file an <i>Environmental Evaluation Application</i>.</b>	
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA.	
	Planner Name: <b>Tina Tam</b>	Signature: <u><i>Tina Tam</i></u> <small>Digitally signed by Tina Tam DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Tina Tam, email=tina.tam@sfgov.org Date: 2016.06.07 09:45:40 -07'00'</small>
	Project Approval Action: <b>Building Permit</b> If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.		

**STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT****TO BE COMPLETED BY PROJECT PLANNER**

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

**PROPERTY INFORMATION/PROJECT DESCRIPTION**

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
Case No.	Previous Building Permit No.	New Building Permit No.
Plans Dated	Previous Approval Action	New Approval Action
Modified Project Description:		

**DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION**

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?

If at least one of the above boxes is checked, further environmental review is required **CATEX FORM**

**DETERMINATION OF NO SUBSTANTIAL MODIFICATION**

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:

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## APPLICATION FOR

## Discretionary Review

RECEIVED

JUL 19 2016

CITY & COUNTY OF S.F.  
PLANNING DEPARTMENT  
PIC

## 1. Owner/Applicant Information

DR APPLICANT'S NAME:

JOHN N PERRI

DR APPLICANT'S ADDRESS:

866 UNION ST, SAN FRANCISCO CA

ZIP CODE:

94133

TELEPHONE:

(415 ) 867-9319

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME:

DANIEL MERCHANT &amp; JACKIE LUK

ADDRESS:

870 UNION ST, SAN FRANCISCO CA

ZIP CODE:

94133

TELEPHONE:

(415 ) 346-9990

CONTACT FOR DR APPLICATION:

Same as Above ☒

ADDRESS:

ZIP CODE:

TELEPHONE:

( )

E-MAIL ADDRESS:

johnperri@gmail.com

## 2. Location and Classification

STREET ADDRESS OF PROJECT:

870 UNION ST, SAN FRANCISCO CA

ZIP CODE:

94133

CROSS STREETS:

MASON &amp; TAYLOR

ASSESSORS BLOCK/LOT:

0100 /085

LOT DIMENSIONS:

LOT AREA (SQ FT):

3315

ZONING DISTRICT:

RM-1

HEIGHT/BULK DISTRICT:

40-X

## 3. Project Description

Please check all that apply

Change of Use ☐ Change of Hours ☐ New Construction ☒ Alterations ☒ Demolition ☒ Other ☐Additions to Building: Rear ☒ Front ☐ Height ☒ Side Yard ☐

RESIDENTIAL

Present or Previous Use:

Proposed Use: RESIDENTIAL

Building Permit Application No. 2015.11.13.2622

Date Filed: NOVEMBER 13, 2015



#### 4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

#### 5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

Changes have been made to the plans, since the time of the original Building Permit Application. However, none of the changes have addressed our concerns, which are specifically related to the three (3) Planning Code variances associated with this project. Adherence to the Planning Code would resolve our primary concerns. However, the project sponsors have been unwilling to concede and the Planning Department has included the variances in the 311 notice, in spite of our objections and without providing any affirmations per Section 305(c).

## Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

This project does not meet the minimum standards of the planning code. According to the Section 311 Notice, there are three (3) variances from the code: Section 134 - rear yard, Section 135 - useable open space, and Section 140 - exposure. Our concerns about detrimental impact to light, air, and privacy are directly related to, and exacerbated by, the proposed variances to the Planning Code.

PLEASE SEE SEPARATE, ATTACHED LETTER WHICH INCLUDES ADDITIONAL DETAILS

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

In addition to a NEW rear unit which is out of scale for the neighborhood and requires three (3) variances to accommodate its mass, this project also includes substantial alterations to the EXISTING dwelling which are "tantamount to demolition." Given that our property is downhill and adjoining, the impacts of such an extensive alteration (a 'de facto' demolition) are considerable. At the very least, we ask for more detailed demolition calculations. PLEASE SEE SEPARATE, ATTACHED LETTER WHICH INCLUDES ADDITIONAL DETAILS

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

The alternatives or changes proposed are as follows;

- 1) Adherence to the Planning Code without the variances to Section 134 - rear yard, Section 135 - useable open space, and Section 140 - exposure, which exacerbate the detrimental impact to our light, air, and privacy.
- 2) Detailed demolition calculations, to ensure a full understanding for the scope of the "alterations" required for this project and the potential impacts to our adjacent property from a 'de facto' demolition.

## Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: \_\_\_\_\_



Date: \_\_\_\_\_

7/18/2012

Print name, and indicate whether owner, or authorized agent:

John N. Perri

Owner / Authorized Agent (circle one)

# Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input type="checkbox"/>
Address labels (original), if applicable	<input type="radio"/>
Address labels (copy of the above), if applicable	<input type="radio"/>
Photocopy of this completed application	<input type="checkbox"/>
Photographs that illustrate your concerns	
Covenant or Deed Restrictions	
Check payable to Planning Dept.	<input type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	

## NOTES:

- ☐ Required Material.  
☐ Optional Material.

☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

**RECEIVED**

JUL 19 2016

CITY & COUNTY OF S.F.  
PLANNING DEPARTMENT  
P I C

For Department Use Only

Application received by Planning Department:

By: Kurt Botn

Date: 7/19/16

**Central Reception**

1650 Mission Street, Suite 400  
San Francisco CA 94103-2479

TEL: **415.558.6378**

FAX: **415 558-6409**

WEB: **<http://www.sfplanning.org>**

**Planning Information Center (PIC)**

1660 Mission Street, First Floor  
San Francisco CA 94103-2479

TEL: **415.558.6377**

*Planning staff are available by phone and at the PIC counter.  
No appointment is necessary.*



John Perri and Myra Strojny  
866 Union Street, San Francisco CA 94133

July 18, 2016

Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103-9425

**Subject: Request for Discretionary Review, Building Permit Application No. 2015.11.13.2622**

Dear Planning Department:

A request for Discretionary Review of the subject project is hereby submitted for the following reasons;

1. This project does not meet the minimum standards of the planning code (3 variances)
2. This project includes substantial alterations to the existing dwelling "tantamount to demolition"

**1) This project does not meet the minimum standards of the planning code**

The Notice of Building Permit Application (Section 311) states, *the new structure would encroach into the required rear yard by approximately 12'-3/4"; therefore, the project requires a variance for... rear yard encroachment; dwelling unit exposure; and open space.*

According to the Planning Department's Project Description, the project requires three (3) variances;

- Section 134 - rear yard
- Section 135 - useable open space
- Section 140 - exposure

Our residence at 866 Union St is directly adjacent to the 870 Union St project site. Members of the Home Owners Association (HOA) for our three-unit, Edwardian building met with the project sponsors on several occasions to voice our concerns. We also expressed those same concerns to the Planning Department.

Our primary concern, from the outset, has been the detrimental impact to light, air, and privacy caused by the construction of a new 5,200 ft<sup>2</sup>, 4-story residential structure, fronting Aladdin Terrace, where there is currently open space with trees and shrubbery. This concern is directly related to, and exacerbated by, the proposed variances to the Planning Code.

As noted above, we have communicated our concerns to the project sponsors. We have met several times in person (Oct 13, Nov 22, Jul 17) and exchanged numerous emails. We also voiced our concerns to Planning Department staff (Nicholas Foster). The project sponsors have been unwilling to alter the plans with respect to the concerns we raised. Planning Department staff has issued a 311 notice including the variances cited above, without any explanation or apparent consideration of our stated concerns.

To be clear, the sponsors have made changes to their plans since the initial filing. However, despite feeble attempts to characterize those changes as a response to our concerns, none have actually addressed our stated objections. For example, lowering the planned height of the Union St building from 43' to 40' is not a concession to neighborhood concerns, but compliance with a strict requirement of the Planning Code.

Meanwhile, the Planning Department staff has apparently ignored our concerns as well. The Notice of Building Permit Application (Section 311) states, "If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department..." Apparently, the only option for materially impacted neighbors to ensure enforcement of the Planning Code is to file for a Discretionary Review. It does not seem appropriate that we must incur significant time, effort, and expense (personal and taxpayer), just to argue for the Planning Code to be enforced.

**2) This project includes substantial alterations to the existing dwelling "tantamount to demolition"**

"Under requirements of the General Plan, the Department is predisposed to discourage the demolition of sound housing."

The project sponsors are proposing a major alteration to the existing building, fronting Union Street. By any reasonable assessment, the proposed alterations constitute a 'de facto' demolition. All existing floors of the new building on Union Street are proposed to be lower by nearly two feet (removal of horizontal elements). An additional story is proposed to be added to the top. Kitchens and bathrooms are to be relocated. It defies common sense that this can be achieved without effectively demolishing the existing, perfectly sound, structure. If allowed, this demolition will remove several units of housing from the market for well over a year and ultimately replace typically sized and relatively affordable housing units with uncharacteristically large, exorbitantly expensive housing units.

At the very least, we ask that more detailed demolition calculations be provided and that the Planning Commission conduct an adequate review of those calculations. Also, given the significant alterations to the existing building (whether formally deemed a demolition or a major alteration) we are requesting that the light wells in the new building be aligned with our light wells, in accordance with the Residential Design Guidelines. This would mitigate adverse impacts on air and light to our adjacent building, resulting from the proposed additional story.

**Requested alternatives / changes to the proposed project**

**1) We respectfully ask that the proposed project not be granted any exceptions (i.e. variances) to the Planning Code in the absence of legitimate hardship or extraordinary circumstances.**

The project site currently has no building on the back of the lot. The existing building on the front of the lot is proposed to be stripped down to the studs and altered so dramatically that it is tantamount to demolition. With no building in the back and an effectively demolished building in the front, the project sponsors will have a clean slate, a blank canvass on which to build. As such, it is highly improbable that they can legitimately claim or satisfy all five criteria required for a variance, according to Planning Code Section 305(c).

- What practical difficulty or unnecessary hardships have been asserted?
- What exceptional or extraordinary circumstances have been determined?
- How can the project sponsors' desire for variances to build 'out of scale' property on an effectively vacant lot supersede their neighbors' rights to be protected by the Planning Code from materially injurious impacts (light, air, privacy)?

Ironically, the Discretionary Review Application asks that we provide the "exceptional and extraordinary circumstances" that justify a Discretionary Review of this project. Meanwhile, we have received no legitimate explanation from the project sponsors for their requested variances, nor from the Planning Department staff, who issued a 311 notice indicating that the project would be approved with variances unless there was a request for a Discretionary Review.

**2) We ask that more detailed demolition calculations be provided and that the Planning Commission conduct an adequate review of those calculations, as well as aligned light wells.**

If it is determined that the subject project is, in fact, a demolition, the project sponsors should be required to adhere to the relevant regulations for a demolition. There should also be an opportunity to determine if the proposed project is a demolition that is merely disguised as an alteration. It is clear that neither will be possible until more detailed demolition calculations have been provided.

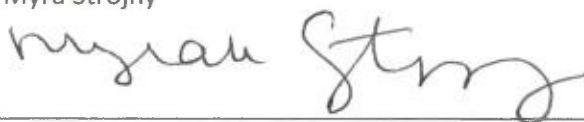
The Building and Planning Codes exist for a reason. Our expectation is that they will be properly reviewed and enforced. We expect that demolitions will be classified appropriately. We expect that variances will be denied, barring legitimate external hardships and/or truly exceptional circumstances. We expect a process that is legitimate, fair, and in service to project sponsors and community at large. Hopefully, that is not too much to expect.

Thank you for your consideration.



John Perri

Myra Strojny





0100/017  
Baron Story and Petra Davis  
852 Union Street  
San Francisco, CA 94133

0100/019A  
Occupant  
15 Aladdin Terrace  
San Francisco, CA 94133

001/087  
Occupant  
872A Union Street  
San Francisco, CA 94133

0100/021  
Cynthia Cristilli  
Lance Manderville  
878 Union Street  
San Francisco, CA

0100/021B  
Steven Bayne  
35 Aladdin Terrace  
San Francisco, CA 94133

0100/026  
Occupant  
28A Aladdin Terrace  
San Francisco, CA 94133

0100/045  
Occupant  
865 Filbert Street  
San Francisco, CA 94133

0100/026  
Occupant  
865 Filbert Street #4  
San Francisco, CA 94133

0100/045  
Phil Warton  
16 Aladdin Terrace  
San Francisco, CA 94133

0100/023  
Mike Hill  
Dorris Delucca  
1920 Taylor Street  
San Francisco, CA 94133

001/004  
Martinkovic Milford Architects  
101 Montgomery Street  
San Francisco, CA 94104

0100/086  
Jackie Luk  
Daniel Merchant  
872 Union Street  
San Francisco, CA 94133

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Liana Pella Trs  
880 Union Street  
San Francisco, CA 94133

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Fritts Golden  
Catherine Gasparini  
882 Union Street  
San Francisco, CA 94133

0100/025  
Christopher Bigelow Trs  
22 Aladdin Terrace  
San Francisco, CA 94133

00100/026  
Peter Karel  
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0119/035  
Occupant  
859D Union Street  
San Francisco, CA

0119/035  
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863 Union Street  
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0119/035  
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Lombard Hill Improvement Assn.  
1000 Lombard Street  
San Francisco, CA 94109-3809

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34 Aladdin Terrace  
San Francisco, CA 94133

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Russian Hill Community Assn.  
1158 Greet Street  
San Francisco, CA 94109

Robyn Tucker  
Pacific Avenue Neighborhood Assn.  
(PANA)  
7 McCormick  
San Francisco, CA 94109

Emily Harrold, President  
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0100/021  
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0119/035  
Occupant  
861 ½ Union Street  
San Francisco, CA 9433

0119/035  
Occupant  
865 Union Street  
San Francisco, CA 94133

Aaron Peskin  
Board of Supervisors  
1 Dr. Carlton B. Goodlett Pl Rm. 244  
San Francisco, CA 94102-4689

0100/060  
Carrie Davis  
36 Aladdin Terrace  
San Francisco, CA 94133

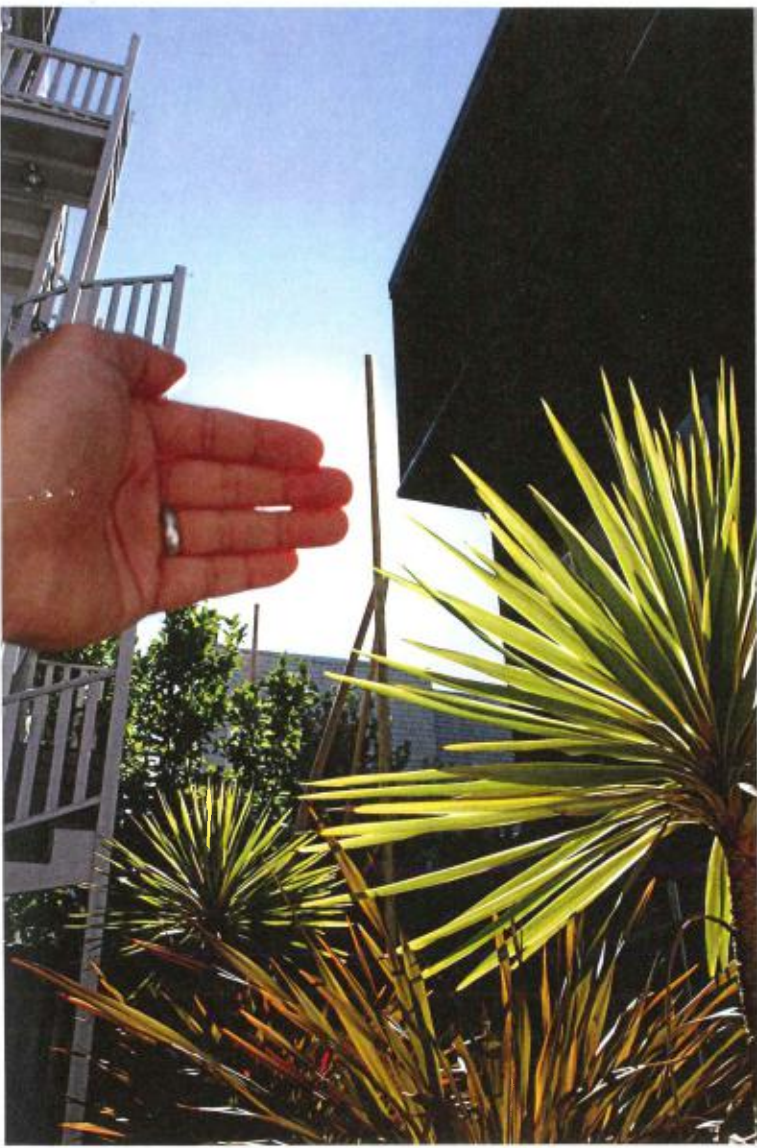
Coalition of San Francisco  
Neighborhoods  
P.O. Box 320098  
San Francisco, Ca 94132-0098

Stephanie Greenburg  
SoTel Neighbors  
455 Vallejo Street  
San Francisco, CA 94109

Riaz Inc  
2427 17<sup>th</sup> Street  
San Francisco, CA 94110







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# APPLICATION FOR Discretionary Review

## RECEIVED

JUL 19 2016

CITY &amp; COUNTY OF S.F.

PLANNING DEPARTMENT  
P I C

## 1. Owner/Applicant Information

DR APPLICANT'S NAME: Kenneth Tateno		
DR APPLICANT'S ADDRESS: 864 Union Street	ZIP CODE: 94133	TELEPHONE: ( 714 ) 757 - 7038

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Daniel Merchant and Jackie Luk		
ADDRESS: 870 Union	ZIP CODE: 94133	TELEPHONE: ( 510 ) 919-8911

CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE: (     )
E-MAIL ADDRESS:		

## 2. Location and Classification

STREET ADDRESS OF PROJECT: 870 Union Street	ZIP CODE: 94133
CROSS STREETS: Union and Taylor	

ASSESSORS BLOCK/LOT: 0100 / 085	LOT DIMENSIONS: 25.75'x128.7 5'	LOT AREA (SQ FT): 3315	ZONING DISTRICT: RM-1	HEIGHT/BULK DISTRICT: 40-X
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## 3. Project Description

Please check all that apply

Change of Use ☐ Change of Hours ☐ New Construction ☒ Alterations ☒ Demolition ☒ Other ☐Additions to Building: Rear ☒ Front ☒ Height ☒ Side Yard ☐

Present or Previous Use: 3 story residential building

Proposed Use: 4 story residential on Union Street and a new 4 story residential building on Aladdin Terrace

Building Permit Application No. 201511132622, 201511132623

Date Filed: 11/13/2015

#### 4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

#### 5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

Please see attached.

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# Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

Please see attached.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

Please see attached.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

Please see attached.

## Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: \_\_\_\_\_



Date: \_\_\_\_\_

July 19, 2016

Print name, and indicate whether owner, or authorized agent:

Kenneth Tateno

Owner / Authorized Agent (circle one)

# Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input type="checkbox"/>
Address labels (original), if applicable	<input type="radio"/>
Address labels (copy of the above), if applicable	<input type="radio"/>
Photocopy of this completed application	<input type="checkbox"/>
Photographs that illustrate your concerns	<input checked="" type="checkbox"/>
Covenant or Deed Restrictions	<input checked="" type="checkbox"/>
Check payable to Planning Dept.	<input type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input checked="" type="checkbox"/>

## NOTES:

☐ Required Material.☒ Optional Material.☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

## RECEIVED

JUL 19 2016

CITY & COUNTY OF S.F.  
PLANNING DEPARTMENT  
PIC

For Department Use Only

Application received by Planning Department:

By: Kurt BohnDate: 7/19/16

low, 2 story  
elevation

o elevation



higher  
elevation

higher  
elevation

Delevation

## **Location of our building in relation to project**

My wife and I reside at 864 Union. We are in the bottom floor of the 3 flat building that is adjacent to the subject property on Union Street on the east and downhill side.

## **If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.**

We reached out the project sponsors right after they submitted their application and met the project sponsors on 11/22/2015. Our concerns then were the same as our concerns now - the scope of the renovation of the existing building is too large and the new building is too close to our existing building.

They did not make any changes.

We requested storey polls to help us understand the scope of the project. They were non-committal and indicated it was not a requirement. They did not erect storey polls until 7 months after our initial request.

We reached out to them after we received the 311 notice. My initial email was sent to both project sponsors on 6/26/2016. They did not reply back for over a week. And in that response, they replied that they were unable to meet until at most 5 days before the end of the 311 notification period.

So, in the span of the 30 day notification period, the project sponsors limited our contact with them to 5 days. This is not inline with the spirit of the 311, where the city of San Francisco encourages meetings with the sponsors and community.

Also, in that response from the sponsors, they claimed they made concessions to the proposed excavation and light availability. These were not concessions. The reduction of excavation and the setbacks to allow more light were mandated by the Planning Department. This is a requirement of the project, not a concession to the neighbors.

The meeting during the 311 notification period took place on July 17. We provided them a list of 10 items that articulated our concerns and requests, which the emphasis on items 1 and 2:

1. 25% legal rear yard, 32' and change.
2. 3 story front building, i.e. no demolition of existing building
3. 3 story alley building
4. Move lightwell back to overlap 864-868 without privacy intrusion
5. Excavate on the other side of the tradesman if at all.
6. No weekend work, 8-5 weekdays.



7. Name HOA and owners as additional insured.
8. Remove vinyl siding, restore wood windows and rustic siding, add second story to bay window.
9. Secure construction site
10. Enhanced sound-proofing and acoustic isolation at the garage party line wall construction

The meeting with ended with no concessions being made and no alterations to the plans.

**What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.**

***Reason 1 for DR: this project does NOT meet the minimum standards of the planning code due to variances***

The project is requesting no less than three variances. This itself should be a strong indicator that the proposed project is attempting to defy several sections of the code. The three variances are:

Section 134 - rear yard

Section 135 - useable open space

Section 140 - exposure

These three variances in total result in a significant loss of ambient light to our north facing windows. This new building will also impact the air circulation around our mid-block open space since the circulation is now cut off from that inlet.

***Reason 2 for DR: lack of detailed demolition calculations / defacto demolition***

Section 310.b.2.c - definition of demolition

The existing building on Union will be lowered by 1' 8". This means 100% of the second floor, 100% of the third floor, and 100% of the roof, are all subject to removal. This satisfies the 50% horizontal elements removal clause of a demolition.

However, we are unable to determine correct response to the 50% of the vertical envelope removal clause because the demolition calculations in the application are not detailed enough. They do not actually represent the reality of moving the entire building down 1'8". Since only

part of the first floor is retained, that means the rest of the vertical envelope is removed, which should trigger the 50% of the vertical envelope removal clause.

Since the Sponsors cannot accurately record the elements that they intend to remove and relocate, we request more detailed demolition calculations and a review of those calculations by a Staff person familiar with their enforcement.

The reality of moving floors will also trigger significant changes to the foundation. This will have an impact to our building since we are abutting properties and we are downhill from the project on the east side. The impact of excavating and shoring and pouring a new foundation will cause stress to our building and possibly cause damage. Our building is over 100 years old and should be treated with respect and care.

***Reason 3 for DR: this project does NOT meet the minimum stands of the planning code due to violations of the Residential Design Guidelines***

The RDG requires matching lightwells to the abutting properties. Since this project is actually a demolition, the new structure on Union Street (new being the 4 floors of new construction after the existing building has been demolished) should have matching lightwells.

***Reason 4 for DR: not in character with existing neighborhood***

The scale of the proposed project is not in character with the rest of the neighborhood. For example, the current elevations on Aladdin Terrace are staggered in height. 1 Aladdin Terrace is a two story building, a very low elevation. The current project lot has no elevation. And the lot in between 33 Aladdin Terrace and the corner building has no elevation. The pattern here is that every other lot on Aladdin Terrace has a low elevation. The proposed 35' elevation is not in character with the existing pattern.

**The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:**

The new project will erect a new building in the northern half of the lot. The change from no building to a 4 story building is unreasonable and unexpected. Again, this is a change from an open air mid block rear yard space to a 4 story building. From trees and greenery and open space to a 30 ft, 5200 square foot building. This change is abrupt and evasive and significantly impactful to light, air and privacy.

The impact to light, air, and privacy will adversely affect the residents of the lots adjacent to the property.

The impact to light and air will adversely affect all residents connected to the mid-block open space. The airflow through the current open space will be significantly limited if a new building is constructed.

With respect to air, the new proposed building will also have a negative impact on air quality due to use of cars in the garage. Aladdin Terrace will potentially have two new vehicles creating emissions that did not exist before.

The changes to the existing building by adding a fourth floor will be most impactful to us because we live on the bottom floor of the adjacent building. We will be the most impacted by the noise and debris of the construction. We will be the most impacted due to the increased traffic due to construction vehicles on Union. The additional traffic congestion due to the construction on a transit preferential street like Union Street will impact us the most due to the additional noise and emissions.

And once the construction is complete, the increased elevation of the building will have a detrimental impact our access to light and air quality.

**What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exception and extraordinary circumstances and reduce the adverse effects noted above in question #1?**

A non-variant project plan would be the best way forward. If they leave a required 25% rear yard, the need for Variances is eliminated. The infill provision of the Code allows for the infill site on a through lot to be developed if the other through lots adjacent are so developed, and if the new building meets all other of the provisions of the Planning Code. No mention of Variances allowed in that formula.

And if existing build is classified as a demolition, then a reduction in scope so that the plan does not go beyond alteration to a demolition of the existing building would reduce the possibility of damage to our building.

0100/017  
Baron Story and Petra Davis  
852 Union Street  
San Francisco, CA 94133

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Occupant  
857A Union Street  
San Francisco, CA 94133

0119/033  
Occupant  
881 Union Street  
San Francisco, CA 94133

0100/027  
Horvath, Spiegel & Carranza  
1934 Taylor Street  
San Francisco, CA

0119/032  
Richard Harris Deans  
1938 Taylor Street  
San Francisco, CA 94133

0100/018  
Angela & Jack Hirschman  
858A Union Street  
San Francisco, CA 94133

0099/043  
Michael Fay & Linda Doty  
908 Union Street  
San Francisco, CA 94133

0100/023  
Jenny Hill  
1922 Taylor Street  
San Francisco, CA 94133

0123/058  
Matt Borruso  
1243A Union Street  
San Francisco, CA 94133

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Occupant  
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0119/032  
Occupant  
883 Union Street  
San Francisco, CA 94133

0119/032  
Cathy Soden  
1932 Taylor Street  
San Francisco, CA 94133

0099/003  
Paul Smith  
Eileen Coleman  
1949 Taylor Street  
San Francisco, CA 94133

0100/018  
Scott & Alicia Williams  
858 Union Street  
San Francisco, CA 94133

00119/030A  
David & Sharry Wright  
893 Union Street  
San Francisco, CA 94133

0099/003  
Michele King  
1951 Taylor Street  
San Francisco, CA 94133

0119/036  
Occupant  
855A Union Street  
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Occupant  
885 Union Street  
San Francisco, CA 94133

0119/032  
Susan Watson  
1936 Taylor Street  
San Francisco, CA 9433

0099/003  
Deanna Abney  
1955 Taylor Street  
San Francisco, CA 94133

0132/055  
Sherry O'Donnell  
1205 Kearney Street  
San Francisco, CA 94133

0119/030A  
Wade Right/Liz Keim  
897 Union Street  
San Francisco, CA 94133

0123/058  
John Borruso  
1243 Union Street  
San Francisco, CA 94109





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# APPLICATION FOR Discretionary Review

## 1. Owner/Applicant Information

DR APPLICANT'S NAME: Trudi Muller		
DR APPLICANT'S ADDRESS: 868 Union Street	ZIP CODE: 94133	TELEPHONE: ( 415 ) 412-9106
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Daniel Merchant and Jackie Luk		
ADDRESS: 870 - 872 Union Street	ZIP CODE: 94133	TELEPHONE: ( 510 ) 919-8911
CONTACT FOR DR APPLICATION: Same as Above <input type="checkbox"/> Kenneth Tateno		
ADDRESS: 864 Union Street	ZIP CODE: 94133	TELEPHONE: ( 714 ) 757-7038
E-MAIL ADDRESS: kaytat@hotmail.com		

## 2. Location and Classification

STREET ADDRESS OF PROJECT: 870 Union Street		ZIP CODE: 94133		
CROSS STREETS: Union and Taylor				
ASSESSORS BLOCK/LOT: 0100 / 085	LOT DIMENSIONS: 25.75'x128.7 5'	LOT AREA (SQ FT): 3315	ZONING DISTRICT: RM-1	HEIGHT/BULK DISTRICT: 40-x

## 3. Project Description

Please check all that apply

Change of Use ☐ Change of Hours ☐ New Construction ☒ Alterations ☒ Demolition ☒ Other ☐Additions to Building: Rear ☒ Front ☒ Height ☒ Side Yard ☐

3 story residential

Present or Previous Use:

Proposed Use: 4 story residential and new 4 story residential

Building Permit Application No. 201511132622, 201511132623

Date Filed: 11/13/2015

#### 4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

#### 5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

Please see attached

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## Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

...Please see attached...

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

...Please see attached...

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

...Please see attached...

## Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: 

Date: July 19, 2016

Print name, and indicate whether owner, or authorized agent:

Kenneth Tateno  
Owner / Authorized Agent (circle one)



**Proximity to subject site:**

We are owners of 868 Union. The 864-868 Union building is a 3 flat building adjacent to the subject property on Union Street on the east and downhill side.

**Changes made as a result of mediation**

Our HOA has represented us in meetings with the project sponsors. The two face-to-face meetings the HOA has had with the sponsors since the application submittal have resulted in no changes to the plans.

**What are the reasons for requesting discretionary review?**

The proposed renovation of the existing building on 870 Union involves lowering  $\frac{2}{3}$  of the existing building by 20 inches to make room for the new fourth floor. It is extraordinary that such a massive construction project is taking place on an existing building when there is an entirely new building being constructed on the other half of the lot.

We would like the Planning Commission to use its discretionary power to re-examine the magnitude of the total construction proposal and not just the front demolition/renovation or just the new construction.

We are also concerned about the integrity of our 100+ old building and specifically our flat. Being on the top floor, the vibrations from any lower level construction activity can be amplified by the vertical distance and have adverse effects more so than the lower levels. The bigger the project, the bigger the risk to our flat.

**What are adverse effects?**

The addition of the fourth floor will reduce our exposure to light since the new fourth floor will directly be overlooking our light well. And the new building will reduce the air circulation in the mid-block open space.

The proposed new building will also significantly reduce the direct sunlight our common garden area will receive. We have attached photos that show a reduction of approximately one hour of direct sunlight due to the new building.

And as stated above, there are risks during the construction phase that are of concern to us.

**What alternatives would respond to the extraordinary circumstances and reduce the adverse effects?**

Due to the clean slate afforded to the project sponsors of building an entirely new dwelling on the northern half of the lot, our alternative suggestion is to not move the floors and roof of the existing building and not add an extra fourth floor. We support the right of the sponsors to build and invest on their property but we request the commission to review the current proposals and consider the integrity of the neighboring buildings and character of the neighborhood.

# Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input type="checkbox"/>
Address labels (original), if applicable	<input type="radio"/>
Address labels (copy of the above), if applicable	<input type="radio"/>
Photocopy of this completed application	<input type="checkbox"/>
Photographs that illustrate your concerns	<input checked="" type="checkbox"/>
Covenant or Deed Restrictions	<input checked="" type="checkbox"/>
Check payable to Planning Dept.	<input type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input checked="" type="checkbox"/>

## NOTES:

☐ Required Material.☒ Optional Material.☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

**RECEIVED**

JUL 19 2016

CITY & COUNTY OF S.F.  
PLANNING DEPARTMENT  
P I C

For Department Use Only

Application received by Planning Department:

By: Kurt BotnDate: 7/19/16

0100/017  
Baron Story and Petra Davis  
852 Union Street  
San Francisco, CA 94133

0100/019A  
Occupant  
15 Aladdin Terrace  
San Francisco, CA 94133

001/087  
Occupant  
872A Union Street  
San Francisco, CA 94133

0100/021  
Cynthia Cristilli  
Lance Manderville  
878 Union Street  
San Francisco, CA

0100/021B  
Steven Bayne  
35 Aladdin Terrace  
San Francisco, CA 94133

0100/026  
Occupant  
28A Aladdin Terrace  
San Francisco, CA 94133

0100/045  
Occupant  
865 Filbert Street  
San Francisco, CA 94133

0100/026  
Occupant  
865 Filbert Street #4  
San Francisco, CA 94133

0100/045  
Phil Warton  
16 Aladdin Terrace  
San Francisco, CA 94133

0100/023  
Mike Hill  
Dorris Delucca  
1920 Taylor Street  
San Francisco, CA 94133

001/004  
Martinkovic Milford Architects  
101 Montgomery Street  
San Francisco, CA 94104

0100/086  
Jackie Luk  
Daniel Merchant  
872 Union Street  
San Francisco, CA 94133

0100/021  
Liana Pella Trs  
880 Union Street  
San Francisco, CA 94133

0100/021  
Fritts Golden  
Catherine Gasparini  
882 Union Street  
San Francisco, CA 94133

0100/025  
Christopher Bigelow Trs  
22 Aladdin Terrace  
San Francisco, CA 94133

00100/026  
Peter Karel  
Dallas Jones  
28 Aladdin Terrace  
San Francisco, CA 94133

0100/026  
Occupant  
865 Filbert Street #2  
San Francisco, CA 94133

0100/026  
Occupant  
865 Filbert Street #1A  
San Francisco, CA 94133

0100/045  
Lena Meneguzzi  
18 Aladdin Terrace  
San Francisco, CA 94133

0100/50  
Muller & Allen  
3900 Celadine Drive  
Plano, TX 75093-7217

0100/019A  
Pinsky Trs  
17 Aladdin Terrace  
San Francisco, CA 94133

0100/085  
Occupant  
870 Union Street  
San Francisco, CA 94133

0100/021  
Occupant 878 Union Street  
San Francisco, CA 94133

00100/021B  
Astor Trs  
33 Aladdin Terrace  
San Francisco, CA 9433

0100/026  
Jim Nikas  
Maryann Brady  
30 Aladdin Terrace  
San Francisco, CA 94133

0100/045  
Lena Meneguzzi Trs  
18 Aladdin Terrace  
San Francisco, CA 94133

0100/026  
Occupant  
865 Filbert Street #3  
San Francisco, CA 94133

0100/045  
Jennifer Dobrowolski  
14 Aladdin Terrace  
San Francisco, CA 94133

0100/048  
Ken Tateno  
Lizehte Garcia  
864 Union Street  
San Francisco, CA 94133

0100/050  
John Perri  
Myra Strojny  
866 Union Street  
San Francisco, CA 94133

0100/033  
Gim Gee Trs  
877 Union Street  
San Francisco, CA 94133

0119/033  
Occupant  
873 Union Street  
San Francisco, CA 94133

00119/033  
Occupant  
875 Union Street  
San Francisco, CA 94133

0119/034  
Ngan Lew  
869 Union Street  
San Francisco, CA 94133

0119/034  
Occupant  
871 Union Street  
San Francisco, CA 94133

0119/035  
Eddie Chan  
863 Union Street  
San Francisco, CA 94133

0119/035  
Occupant  
859A Union Street  
San Francisco, CA 94133

0119/035  
Occupant  
859B Union Street  
San Francisco, CA 94133

0100/021  
Occupant  
859C Union Street  
San Francisco, CA 94133

0119/035  
Occupant  
859D Union Street  
San Francisco, CA

0119/035  
Occupant  
861 Union Street  
San Francisco, CA 94133

0119/035  
Occupant  
861 ½ Union Street  
San Francisco, CA 9433

0119/035  
Occupant  
863 Union Street  
San Francisco, CA 94133

0119/035  
Occupant  
863 ½ Union Street  
San Francisco, CA 94133

0119/035  
Occupant  
865 Union Street  
San Francisco, CA 94133

0119/035  
Occupant  
865 ½ Union Street  
San Francisco, CA 94133

Arthur Alrecht  
Lombard Hill Improvement Assn.  
1000 Lombard Street  
San Francisco, CA 94109-3809

Aaron Peskin  
Board of Supervisors  
1 Dr. Carlton B. Goodlett Pl Rm. 244  
San Francisco, CA 94102-4689

0100/059  
Marc Lewis  
505 Montgomery Street  
San Francisco, CA 94111

0100/059  
Stace Gressel  
Lindsay Anderson  
34 Aladdin Terrace  
San Francisco, CA 94133

0100/060  
Carrie Davis  
36 Aladdin Terrace  
San Francisco, CA 94133

Russian Hill Improvement Assn.  
P.O. Box 475874  
San Francisco, CA 94147

Kathleen Courtney  
Russian Hill Community Assn.  
1158 Greet Street  
San Francisco, CA 94109

Coalition of San Francisco  
Neighborhoods  
P.O. Box 320098  
San Francisco, Ca 94132-0098

Nancy Shanahan  
Telegraph Hill Dwellers – Planning &  
Zoning Committee  
224 Filbert Street  
San Francisco, CA 94133

Robyn Tucker  
Pacific Avenue Neighborhood Assn.  
(PANA)  
7 McCormick  
San Francisco, CA 94109

Stephanie Greenburg  
SoTel Neighbors  
455 Vallejo Street  
San Francisco, CA 94109

Richard Cardello  
Russian Hill Neighbors  
1819 Polk Street #221  
San Francisco, CA 94109

Emily Harrold, President  
Russian Hill Neighbors  
1819 Polk Street #221  
San Francisco, CA

Riaz Inc  
2427 17<sup>th</sup> Street  
San Francisco, CA 94110



0119/036  
Occupant  
851 Union Street  
San Francisco, CA 94133

0119/036  
Occupant  
857A Union Street  
San Francisco, CA 94133

0119/033  
Occupant  
881 Union Street  
San Francisco, CA 94133

0100/027  
Horvath, Spiegel & Carranza  
1934 Taylor Street  
San Francisco, CA

0119/032  
Richard Harris Deans  
1938 Taylor Street  
San Francisco, CA 94133

0100/018  
Angela & Jack Hirschman  
858A Union Street  
San Francisco, CA 94133

0099/043  
Michael Fay & Linda Doty  
908 Union Street  
San Francisco, CA 94133

0100/023  
Jenny Hill  
1922 Taylor Street  
San Francisco, CA 94133

0123/058  
Matt Borruso  
1243A Union Street  
San Francisco, CA 94133

0119/036  
Occupant  
853 Union Street  
San Francisco, CA 94133

0119/036  
Occupant  
857B Union Street  
San Francisco, CA 94133

0119/032  
Occupant  
883 Union Street  
San Francisco, CA 94133

0119/032  
Cathy Soden  
1932 Taylor Street  
San Francisco, CA 94133

0099/003  
Paul Smith  
Eileen Coleman  
1949 Taylor Street  
San Francisco, CA 94133

0100/018  
Scott & Alicia Williams  
858 Union Street  
San Francisco, CA 94133

00119/030A  
David & Sharry Wright  
893 Union Street  
San Francisco, CA 94133

0099/003  
Michele King  
1951 Taylor Street  
San Francisco, CA 94133

0119/036  
Occupant  
855A Union Street  
San Francisco, CA 94133

0119/036  
Occupant  
857 Union Street  
San Francisco, CA 94133

0100/032  
Occupant  
885 Union Street  
San Francisco, CA 94133

0119/032  
Susan Watson  
1936 Taylor Street  
San Francisco, CA 9433

0099/003  
Deanna Abney  
1955 Taylor Street  
San Francisco, CA 94133

0132/055  
Sherry O'Donnell  
1205 Kearney Street  
San Francisco, CA 94133

0119/030A  
Wade Right/Liz Keim  
897 Union Street  
San Francisco, CA 94133

0123/058  
John Borruso  
1243 Union Street  
San Francisco, CA 94109



July 18, 2016

Trudi Muller  
868 Union St.  
SF, CA 94133

To whom it may concern,

Trudi Muller and Allan Paul, the owners of 868 Union Street, SF, Ca 94133, authorize Ken Tatenos of 864 Union Street, SF, Ca 94133, to file a DR on our behalf in regards to the proposed residential project at 870 Union Street. We can be reached at the below contact number if necessary to contact us in regards this.

Trudi Muller and Allan Paul  
415-412-9106

Handwritten signatures of Trudi Muller and Allan Paul. The signature of Trudi Muller is written in a cursive script, and the signature of Allan Paul is written below it in a similar cursive style.

July 18, 2016

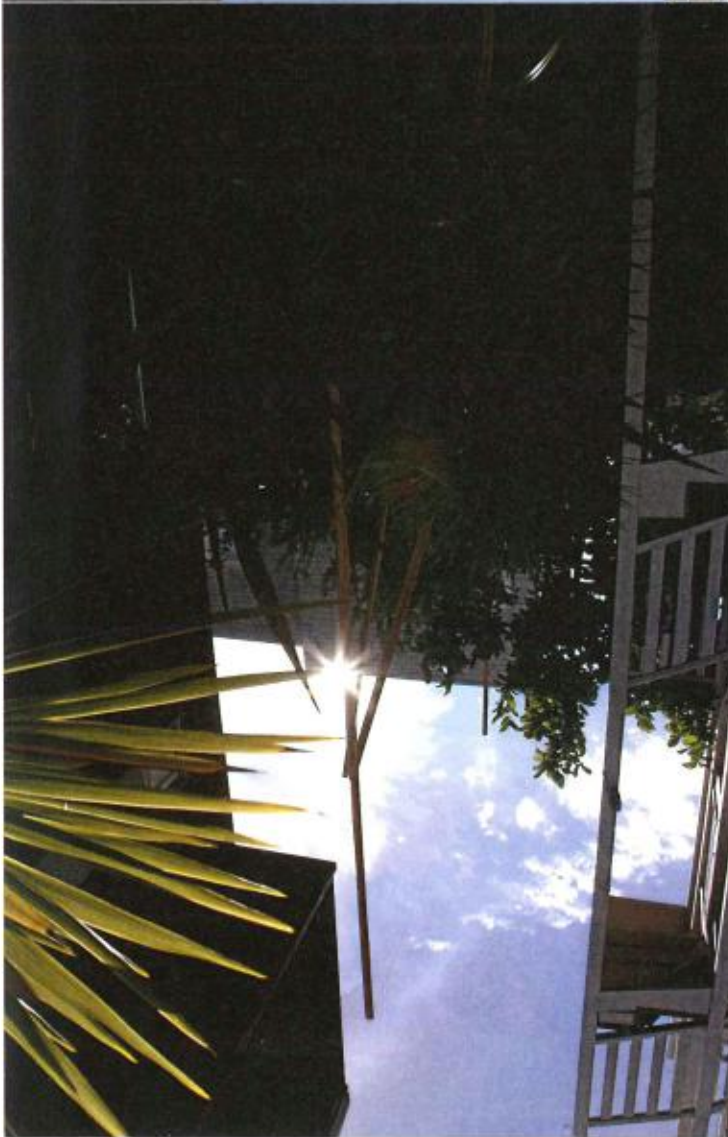
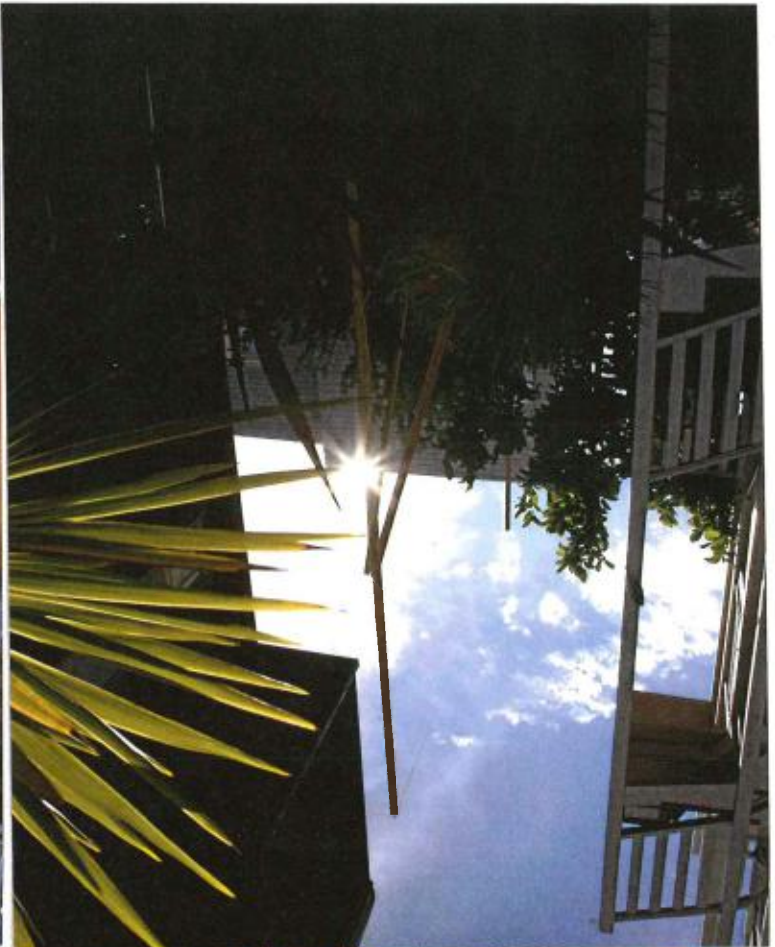
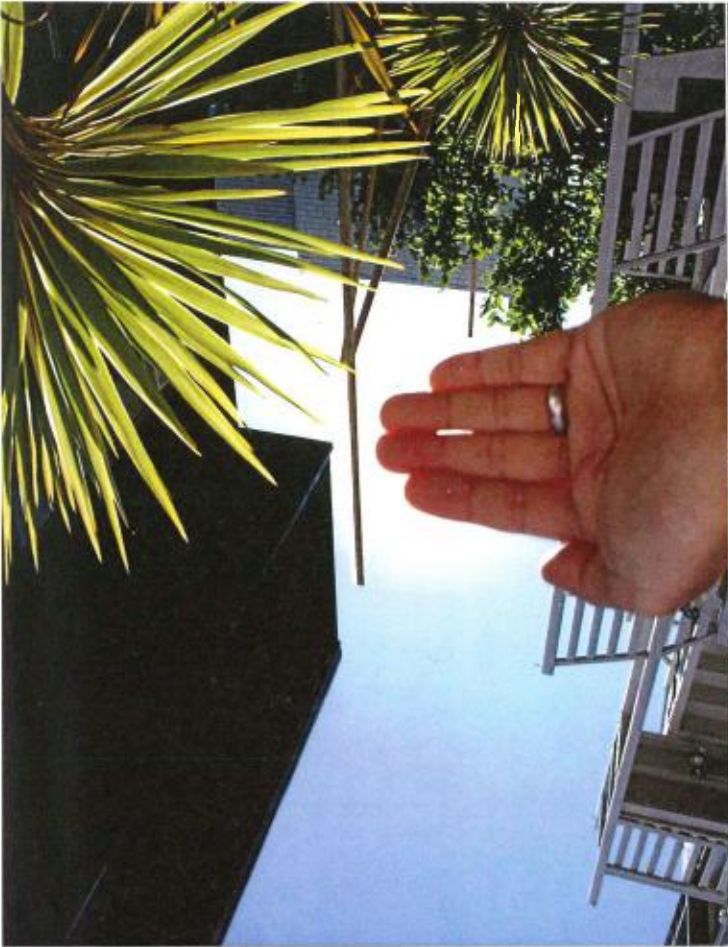
Trudi Muller  
868 Union St.  
SF, CA 94133

To whom it may concern,

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Trudi Muller and Allan Paul  
415-412-9106

The block contains two handwritten signatures in cursive. The top signature is 'Trudi Muller' and the bottom signature is 'Allan Paul'. Both are written in dark ink.



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RECEIVED

JUL 18 2015

CITY & COUNTY OF S.F.  
PLANNING DEPARTMENT

Application for **Discretionary Review**

CASE NUMBER:  
For Staff Use only

2015-007313 DRP-04

## APPLICATION FOR Discretionary Review

### 1. Owner/Applicant Information

DR APPLICANT'S NAME: <b>CHRIS BIGELOW</b>		
DR APPLICANT'S ADDRESS: <b>22 ALADDIN TERRACE, SAN FRANCISCO</b>	ZIP CODE: <b>94133</b>	TELEPHONE: <b>( 415 ) 928-8041</b>
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: <b>DANIEL MERCHANT</b>		
ADDRESS: <b>870-872 UNION STREET, SAN FRANCISCO</b>	ZIP CODE: <b>94133</b>	TELEPHONE: <b>( 310 ) 422-3931</b>
CONTACT FOR DR APPLICATION: Same as Above <input type="checkbox"/> <input checked="" type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE: <b>(     )</b>
E-MAIL ADDRESS: <b>cgbigelow@gmail.com</b>		

### 2. Location and Classification

STREET ADDRESS OF PROJECT: <b>870 UNION STREET, SAN FRANCISCO CA</b>		ZIP CODE: <b>94133</b>		
CROSS STREETS: <b>UNION &amp; TAYLOR</b>				
ASSESSORS BLOCK/LOT: <b>0100 / 020</b>	LOT DIMENSIONS: <b>25.75x128.75</b>	LOT AREA (SQ FT): <b>3,315 SF</b>	ZONING DISTRICT: <b>RM-1</b>	HEIGHT/BULK DISTRICT: <b>40-X</b>

### 3. Project Description

Please check all that apply

Change of Use ☐ Change of Hours ☐ New Construction ☒ Alterations ☒ Demolition ☒ Other ☐

Additions to Building: Rear ☒ Front ☒ Height ☒ Side Yard ☐

~~THREE-UNIT RESIDENTIAL DWELLING~~

Present or Previous Use:

**FOUR-UNIT RESIDENTIAL DWELLING**

Proposed Use:

Building Permit Application No. 2015.1113.2622 / 2015.1113.2623

Date Filed: 11/13/15

#### 4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

#### 5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

Please see Attachment to Application Requesting Discretionary Review, page 1.

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## Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

Please see Attachment to Application Requesting Discretionary Review, page 4.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

Please see Attachment to Application Requesting Discretionary review, page 6.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

Please see Attachment to Application Requesting Discretionary Review, page 20.

## Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: Chris Bigelow Date: 7/10/16

Print name, and indicate whether owner, or authorized agent:

Chris Bigelow, Owner  
Owner / Authorized Agent (circle one)

# Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input type="checkbox"/>
Covenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

## NOTES:

☐ Required Material.☒ Optional Material.☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only

Application received by Planning Department:

By: \_\_\_\_\_

Date: \_\_\_\_\_

**ATTACHMENT TO APPLICATION REQUESTING DISCRETIONARY REVIEW**

Property Address: 870 Union Street  
Assessor's Parcel Number: Block 0100, Lot 020  
Zoning District: RM-1  
Permit Application Numbers: 2015.11.13.2622 and 2015.11.13.2623

***Item 5. Changes Made to the Project as a Result of Mediation.***

***If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.***

**A. ACTIONS PRIOR TO REQUEST FOR DISCRETIONARY REVIEW**

A Pre-Application Meeting was held on October 18, 2015, attended by approximately 17 neighbors from Union Street and Aladdin Terrace. The topics discussed are included in the meeting notes prepared by the Project Sponsors.

Several separate follow-up meetings with various neighbors took place in the subsequent weeks, including one on December 1, 2015 with representatives of Project Sponsors and three neighbors from Aladdin Terrace, including the DR requester. In this particular meeting, discussion topics included the proposed green wall on the north façade of the new building, design of glazing at the new building, and the placement of a new garage entry on Aladdin Terrace. No changes were introduced as a direct result of discussion at this meeting.

Project Sponsors prepared 3D images and a shadow study and distributed them to neighbors on November 26, 2015. Certain changes have been made to the project in response to Notice of Planning Department Requirements #1, dated March 10, 2016, and two Project Reviews by the Residential Design Team on March 2, 2016 and May 4, 2016. Story poles were installed during the week of June 13th. On June 16th the Sponsor replied to an inquiry from the DR requester asking for clarification as to the elevation represented by the horizontal cords representing the 4th floor roof. It was stated that the cords represent the official height of the building, meaning the roof surface at 40'-0" above Aladdin, rather than the parapet at 41'-6" above Aladdin.

Comments by the DR requester on changes initiated in response to the NOPDR and RDT are noted below.

**RDT: Aladdin Terrace Building**

- a. *RDT supports excavating for garage only. RDT does not support additional excavation for residential space as it compromises the exposure in a non-code complying rear yard condition. Comment:* Excavation at the inner court has been limited to an area directly beneath the rear building at Aladdin Terrace for a garage and storage, and does not include residential space.

**Attachment to Application Requesting Discretionary Review re: 870 Union Street**

- b. *The prevailing street wall on Aladdin Terrace is primarily 2 and 3-stories. Please setback the fourth floor to match upper story of existing neighbor to the east.* Comment: After making a counter-proposal for a setback of half the required distance, the Sponsors have modified the fourth floor setback to 15', matching the upper story of the existing neighbor to the east. However, is a setback to the 4th floor sufficient? Limiting the structure to 3 floors above Aladdin would provide more meaningful correlation to the surrounding context.
- c. *Reduce the garage door to a maximum of 10 feet wide as required by Code.* Comment: Project Sponsors submitted a counter-proposal to maintain the 14-foot width of the garage door. RDT re-iterated the direction, and the garage door opening on Aladdin Terrace has now been reduced from 14' to 10'. However, the 10-foot wide door is flanked by wood panels 2' in width, matching the wood of the door, and providing the appearance of a 14-foot wide opening. The intent appears to be to maintain vertical alignment with the 14-foot wide windows at Floors 2 and 3 directly above the garage door. The wood paneling should be deleted, and the horizontal dimension of windows at Floors 2 and 3 should be reduced to 10', aligning with the 10-foot width of the garage door. See discussion on RDT comments regarding these same windows, in item d. below.
- d. *Revise the façade design to reflect a solid to glazing ratio more in keeping with the vertical proportions of the neighboring buildings.* Comment: The response to this comment is less than satisfactory. The initial design showed 2nd and 3rd floor window openings measuring 14' wide by 7.5' tall, including a large fixed pane abutting a casement window above a small fixed pane. The revised design maintains the overall dimensions of the opening, adds a slender vertical mullion to the large fixed pane, with a minor adjustment to the location of the horizontal mullion between the adjacent fixed and casement window. The ratio of solid to glazing has not been modified. The width of these window openings should be reduced to 10', aligning with the 10-foot width of the garage door below, thereby providing a satisfactory modification of the ratio of solid to glazing on this façade.
- e. *Provide exterior materials compatible with neighboring buildings.* Comment: No apparent changes, other than removal of green wall system; see item (g) below.
- f. *Provide a more open and invitational entry.* Comment: a flat rectangular metal louver has been added above the door, projecting about 2 feet from the wall; and a solid core wood door, inset by 6 inches has been replaced by a louvered wood gate, recessed by 24 inches. The gate opens to a 40" wide x 40' long interior passage and stairs leading up one level to a landing at the first floor of occupancy. Site Permit drawings do not include details of the louver, the gate or the passage; it remains to be seen if an "open and invitational" entry sequence has been provided.
- g. *Provide more information on the green wall system. Specifically RDT questions how architecturally integral, permanent and sustainable it will be.* Comment: Appropriately, the proposed green living wall has been deleted.

**Attachment to Application Requesting Discretionary Review re: 870 Union Street**

- h. *Design a projecting roof termination that is compatible with the existing neighboring buildings.* Comment: Wood roof trim has been added, about 15 inches high with a projection of about 4 inches, matching that which has been proposed for the Union Street building. However, the dominating vertical dimension of the assembly provides an appearance more akin to a large-scale, flat, interior crown molding instead of a “projecting” element. Corresponding elements at adjacent buildings on Aladdin have a much stronger, projecting horizontal aspect. Accordingly, this is an inadequate response to the comment from RDT.

**RDT: Union Street Building**

- a. *Please consider extending the bay projection to upper floors.* Comment: This modification has been incorporated in the design.
- b. *RDT would support eliminating the upper setback and pulling the upper story to front of building face.* Comment: This modification has been incorporated in the design.
- c. *Provide a strong roof cap / termination compatible with neighboring buildings.* Comment: wood roof trim has been added to the design, approximately 15 inches high with a projection of approximately 4 inches, matching that which has been proposed for the Aladdin Terrace building. Corresponding elements at adjacent buildings on Union Street have a much stronger, projecting horizontal aspect. This is an inadequate response to the comment from RDT.
- d. *Improve the solid to glazing ratio and proportions compatible with context.* Comment: Vertical mullions have been added to the window openings at the front of the bay, modifying them from one fixed pane and one casement window to one central fixed pane and two flanking casement windows. The width of the overall window openings at the front of the bays appears to be unchanged, and the height of the overall window openings has been increased from approximately 5 feet to 7 feet. In addition, Site Permit Revision #3 adds windows to the side of the bay at each floor level. This appears to address the concerns expressed by RDT.



**B. REQUEST FOR DISCRETIONARY REVIEW**

***In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.***

***1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.***

Residents of adjacent buildings on Union Street, Aladdin Terrace and the surrounding community have significant concerns regarding this project, in particular, the proposed rear yard construction. We would not object to a reasonable development, and recognize that the project represents a benefit not only to the Project Sponsors, but to the City as well, in the form of an additional unit of housing. However, the proposed project has requested three substantial Variances; therefore, at the present time it does not meet the minimum standards of the Planning Code.

Concepts informing our objections to the project can be found in city standards and policies, a set of guiding principles that challenges us to honor the past, celebrate the present, and plan for the future. These principles remind us that a proposed construction project does not exist solely as a moment in the year 2016, or as a specific lot within Block 100 on Russian Hill. The true context for any proposed construction project is an extended continuity of time and place, expressed in the City's guiding principles, as noted below.

- a. Quantitative standards and restrictions of the city's Planning Code;
- b. The City's Master Plan Priority Policy #2: That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;
- c. Objectives and policies for "...coordinated and harmonious development..." in accordance with the qualitative criteria found in the Housing and the Urban Design Elements of the General Plan;
- d. Qualitative objectives for "cohesive neighborhood identity" in the Residential Design Guidelines, which support and implement the General Plan, and "...articulate expectations regarding the character of the built environment and are intended to promote design that will protect neighborhood character, enhancing the attractiveness and quality of life in the City."

The requested Variances are discussed on the following page.

**Variance #1: Section 134(c)(4)(C). Reduction of Rear Yard Requirements.**

*(C) Through Lots Abutting Properties that Contain Two Buildings.*

This section allows an existing through lot to construct a building in the rear yard provided that the required rear yard *"...shall be located in the central portion of the lot between the two buildings..."* and, *"In no case, however, shall the total minimum rear yard for the subject lot be thus reduced to less than a depth equal to 25 percent of the total depth of the subject lot, or to less than 15 feet, whichever is greater...."* and *"...provided **all** the other requirements of this Code are met."*

The depth of Lot 20 is 128.75 feet. Per the requirements of this section of the Planning Code, the minimum depth of the inner court would be 25% x 128.75 feet or approximately 32'-2". The Site Permit drawings show a depth of only 20'-1", or 37.5% less than the minimum, thus a Variance is required.

**Variance #2: Section 135(g)(2)(g). Usable Open Space for Dwelling Units**

*(g) Common Usable Open Space Additional Standards (2) Use of Inner Courts.*

*"The area of an inner court, as defined by this Code, may be credited as common usable open space, if....the height of the walls and projections above the court on at least three sides (or 75 percent of the perimeter, whichever is greater) is such that no point on any such wall or projection is higher than one foot for each foot that such point is horizontally distant from the opposite side of the clear space in the court"*

The site permit drawings shows that the required exposure is provided at only portions of two sides of the inner court and approximately 28% of the perimeter. Thus a Variance would be required for the lack of required exposure.

**Variance #3: Section 140(a). All Dwelling Units to Face an Open Area**

This section states that required windows (per Housing Code Section 503 and 504)

*"...face directly on an open area of one of the following types: (1) A public street, public alley at least 20 feet in width, side yard at least 25 feet in width, or rear yard meeting the requirements of this Code;.. or (2) An open area (whether an inner court or a space between separate buildings on the same lot) which is unobstructed...and is no less than 25 feet in every horizontal dimension for the floor at which the dwelling unit in question is located and the floor immediately above it, with an increase of five feet in every horizontal dimension at each subsequent floor..."*

The proposed depth of the inner court is only 20'-1", less than the 25' minimum. A variance from Section 140(a) is required, as the exposure to a conforming open area is not provided for Unit #1 in the existing building or Unit #4 in the new building.

The request for Variances is clearly based on a desire for building the largest possible structure. Would there be, in fact, a substantial practical difficulty or unnecessary hardship imposed on the Sponsors if the height and massing of the proposed rear yard structure building were to be reduced? In the past families, have raised as many as three children on Aladdin Terrace in a building with three bedrooms and less than 2,100 gross square feet. Is it a necessity for a new structure in this location to include over 3,500 gross sq. ft.?

## Attachment to Application Requesting Discretionary Review re: 870 Union Street

In March 2010, four months after the property was purchased, attorneys for the owner submitted a request for a Letter of Determination related to an earlier version of the project, merger of two units in the existing building and construction of a new building in the rear yard. The attorney's request stated that the proposed project "...by constructing a new home along Aladdin Terrace, would bring the Property's usage into conformance with the surrounding area on the block and enhance the narrow, residential property-line development character of Aladdin Terrace." The more recent application for multiple Variances suggests that the project will "...bring the property up to its highest and best use..."

These assertions fails to differentiate between the context and character of Union and Aladdin, ignoring an intimate pattern of development on Aladdin that is appropriately fine-grained and well suited to its surroundings. The concept that "...conformance with the surrounding area on the block..." may be applicable to construction that fronts on wide streets with ample public transportation, such as Union. Small-scale residential alleys such as Aladdin are decidedly not the place for such concepts to be imposed.

Urban form in alleys often has an inviting aspect of improvisation. Street-walls are modulated by varied heights and massing, and the narrow dimensions support a fine-grained pattern of development. We have serious concerns that the rear-yard construction will negatively impact visual access to mid-block open space for neighbors on both Union and Aladdin, permanently disrupt the character of Aladdin, and thereby diminish, rather than "enhance" the unique aspects of the setting. It is precisely because Aladdin Terrace is such a narrow alley and the existing mid-block space for properties on Union is so confined that maximum height, mass and property-line development should be discouraged. Accordingly, variances for rear yard encroachment, dwelling unit exposure, and common open space should be denied.

***2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:***

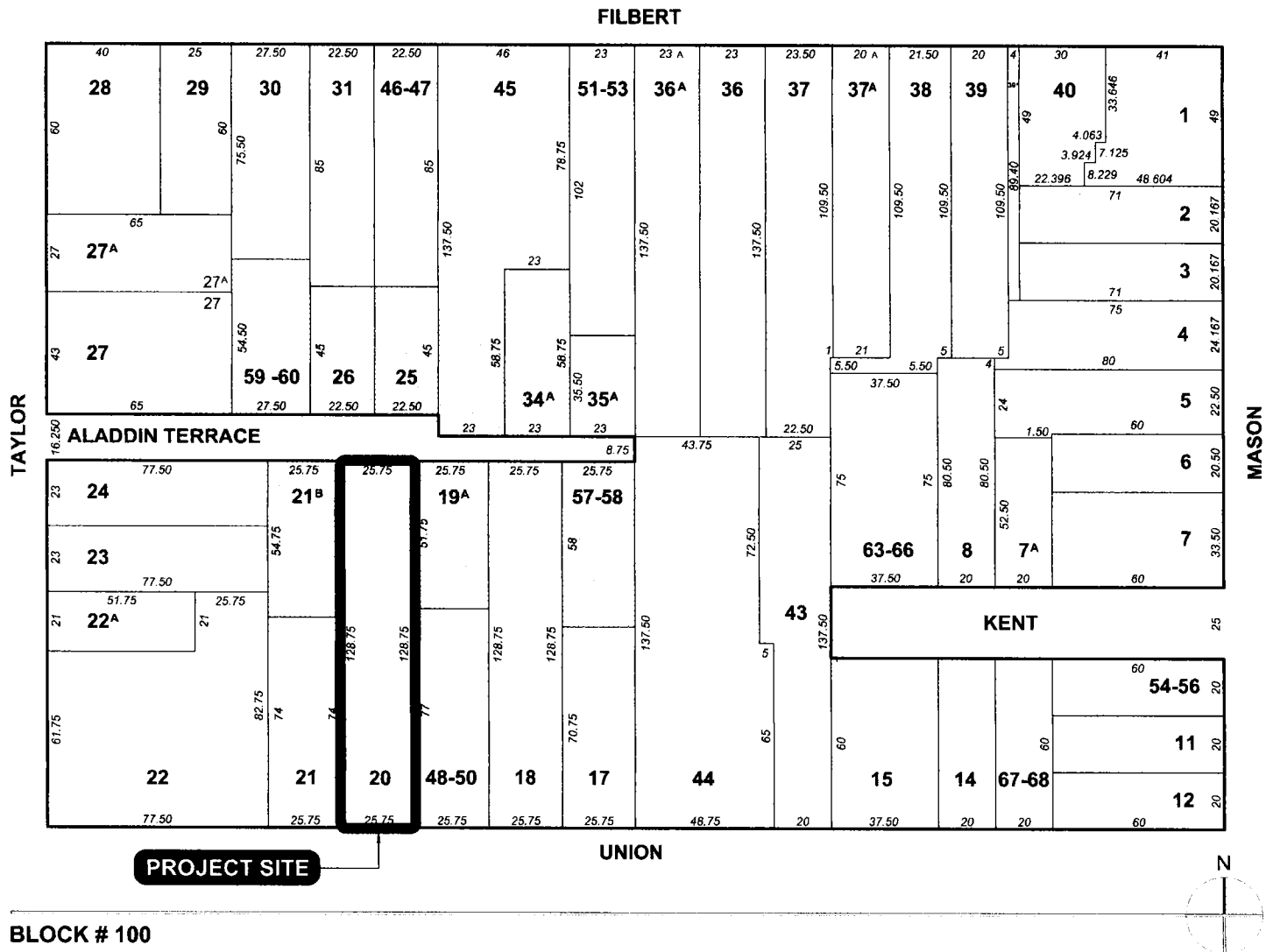
### **A. Qualitative Concerns**

The proposal seeks to maximize development potential for the site, claiming "highest and best use", while demonstrating less than sufficient consideration of negative three-dimensional impacts it will have on neighboring properties. Such projects do not exist as singular locations, which is why we have controls on building height and lot coverage for entire zoning districts. Accordingly, concepts for "highest and best use" must acknowledge and respond to the neighborhood context. Existing non-conforming conditions at adjoining properties should not serve as justification for new construction that imposes such adverse effects on the surrounding community. The insufficient depth of the inner court is but one example of what the Project Sponsors have defined as "...conformance with the surrounding area on the block...". The result of this rationale is a bulky, intrusive, and aggressive building that will exacerbate existing non-conforming conditions. It is not a positive outcome.

## B. Pattern of Development

The project site is a through lot running north from Union Street to the approximate mid-point of Aladdin Terrace. At this location, the public right-of-way is only 16 feet wide, with a 3'-1" sidewalk on the north side, a curb to curb dimension of 12'- 4", and a 7" wide curb (no sidewalk) on the south side.

Residential buildings lining both sides of the alley were constructed between 1907 and 1939, presenting an informal, and unpretentious blend of architectural styles, exterior materials and details. The street space is defined by eleven buildings, including two on Taylor framing the entry to Aladdin, containing a total of 24 units. Eight of the lots (shaded in the block map below) have entries from Aladdin, with a total of seventeen units, eleven on the north side and six on the south side. Other than condominium conversions, the pattern of lot configuration and coverage on the Block appears to have been unchanged since approximately 1959.

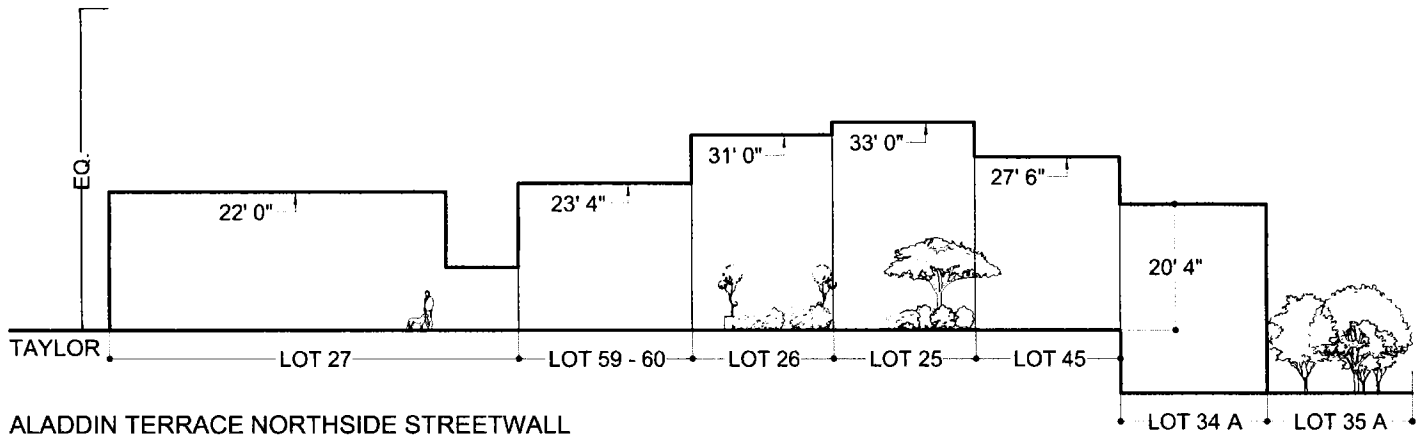


BLOCK # 100

## Block 100 / Lot Configuration

**Attachment to Application Requesting Discretionary Review re: 870 Union Street**

The north side of the alley reads as a continuous wave of two and three story building walls and entries, with no garage doors and no side yards. There are two minor deviations: a low privacy wall at the rear yard of the building on Taylor abuts the side-wall of the adjacent building on Aladdin; further along there is a shallow front-yard setback at Lot 25. Roof elevations vary from about 20'-4" to 33' above Aladdin.

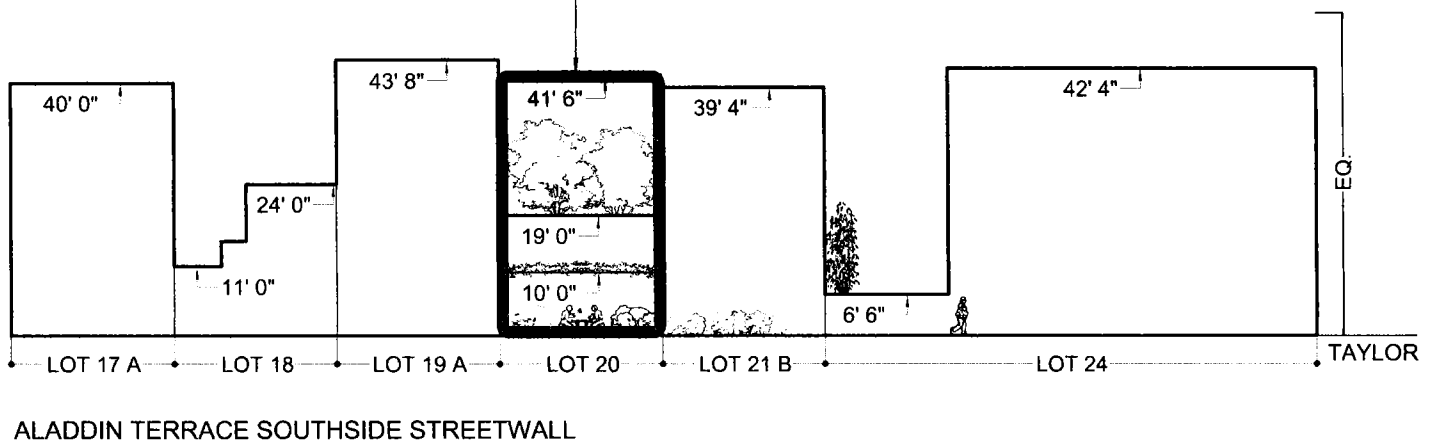


Buildings on the south side vary from two to four stories, with elevations at four lots ranging from just over 39' (taller than any building on the north side) to about 43'-8". These roof lines alternate with structures at much lower elevations; a rear yard privacy wall at Lot 24, a rustic 9-foot wood fence atop a 10-foot weathered concrete retaining wall at the project site; a stepped wall and 24-foot roof elevation at Lot 18.

As a group, these elements are perceived as an alternating, rhythmic sequence of high and low structures. Openings between them provide access to sunlight and sky for residences on the north side and the street space along the alley. This is an essential character defining aspect of Aladdin. The rear yard for 870 Union is at the center of this sequence. The proposed construction, with a parapet height of 41'-6" would completely fill this central opening, disrupting the rhythmic variation in roof lines, blocking access to light and mid-block open space, and diminishing the quality of life on Aladdin Terrace.

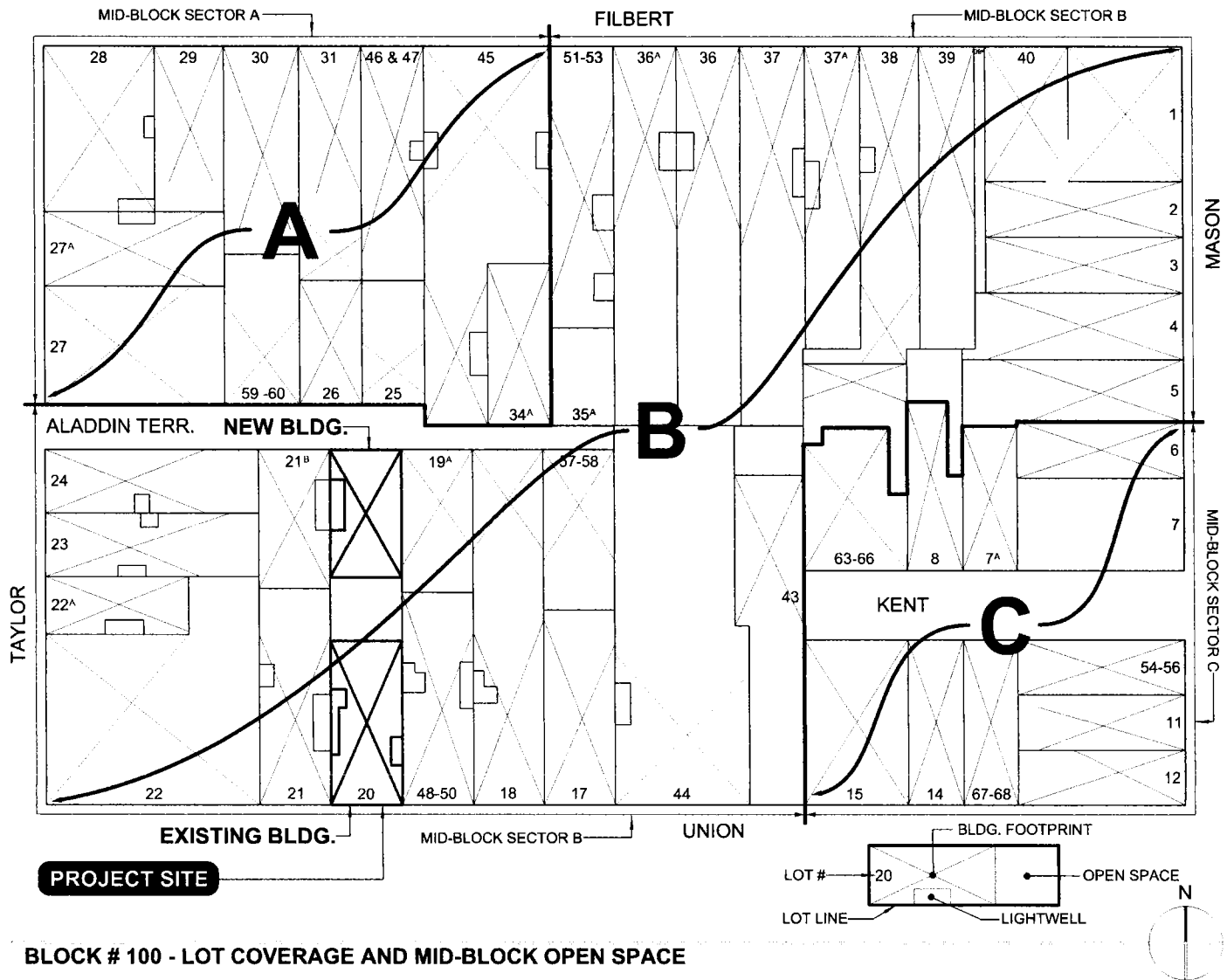
**870 UNION STREET**

**PROPOSED REAR YARD CONSTRUCTION**



### C. Building Height and Mass / Mid Block Open Space / Adverse Impacts

The building height and mass will severely limit visual access to mid-block open space as well the associated light and air that space provides for neighbors on Union Street and Aladdin Terrace. Mid-block open space on Block 100 has been shaped by dense re-building and development since the 1906 earthquake and fire, and two east-west cul-de-sac alleys, Kent on the east and Aladdin on the west. The mid-block space is irregular in pattern, highly compressed, and is effectively allocated to three sectors, with street space on Aladdin experientially included in sector B, extending from the northeast to the southwest corners of the block.



BLOCK # 100 - LOT COVERAGE AND MID-BLOCK OPEN SPACE

The rear yard for 870 Union, a significant component of mid-block space in the southwest corner of the block, is at the mid-point of Aladdin. Rear yard and mid-block space are vital components of the City's urban design policies. As shown on the following images, neighbors on Union and Aladdin experience visual access to this yard as well as the street space of Aladdin where the cul-de-sac configuration and low volume of automobile traffic has encouraged residents to add plants and seating at the mid-point of the alley.



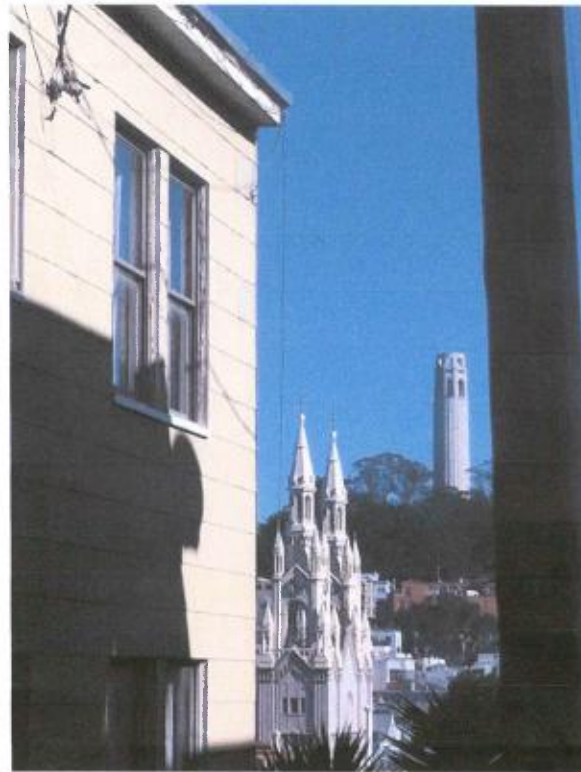


Existing rear yard, 870 Union Street



The east-west orientation of Aladdin and the alternating rhythm of structures and openings on the south side are important aspects of the location, providing strong natural light, creating a pleasing pedestrian experience, with visual access to mid-block space enjoyed by residents of Aladdin and adjacent Union Street properties.

Mid-block open space is already severely constrained, especially for residences on Union Street. The height and mass of the proposed rear-yard construction would exacerbate this condition.



**View from seating on Aladdin  
mid-day November**



**Union Street, Lot 18  
mid-block space**



**Aladdin Terrace  
south facing plantings**



**Mid-day sunlight on Aladdin Terrace, south facing facades, November**



**Mid-day sunlight on Aladdin Terrace, June**

The height and mass of the rear yard building will block access to sunlight from mid-block space on Union Street, and Aladdin Terrace, permanently disrupt the character of Aladdin and thereby diminish, rather than “enhance” the unique aspects of the setting. Although it is a narrow urban space, Aladdin Terrace contributes to the overall experience of mid-block open space for surrounding residents.





Retaining walls, seating and planting at south side of Aladdin Terrace

The Residential Design Guidelines include the following statements regarding the importance of protecting and maintaining mid-block open space:

*(Page 3): a single building **out of context with its surroundings** can be disruptive to the neighborhood character and, if repeated often enough, to the image of the City as a whole."*

*(Page 25) "Rear yards.... collectively contribute to the mid-block open space that is visible to most residents of the block. **This visual open space can be a significant community amenity.**"*

*(Page 26) The height and depth of a building expansion into the rear yard can impact the mid-block open space. Even when permitted by the Planning Code, building expansions into the rear yard **may not be appropriate** if they are uncharacteristically deep or tall..."*

*The following **design modifications** may reduce the impacts of rear yard expansions..."*

- Set back upper floors to provide larger rear yard setbacks.
- Notch the building at the rear or provide setbacks from side property lines.
- Reduce the footprint of the proposed building or addition.

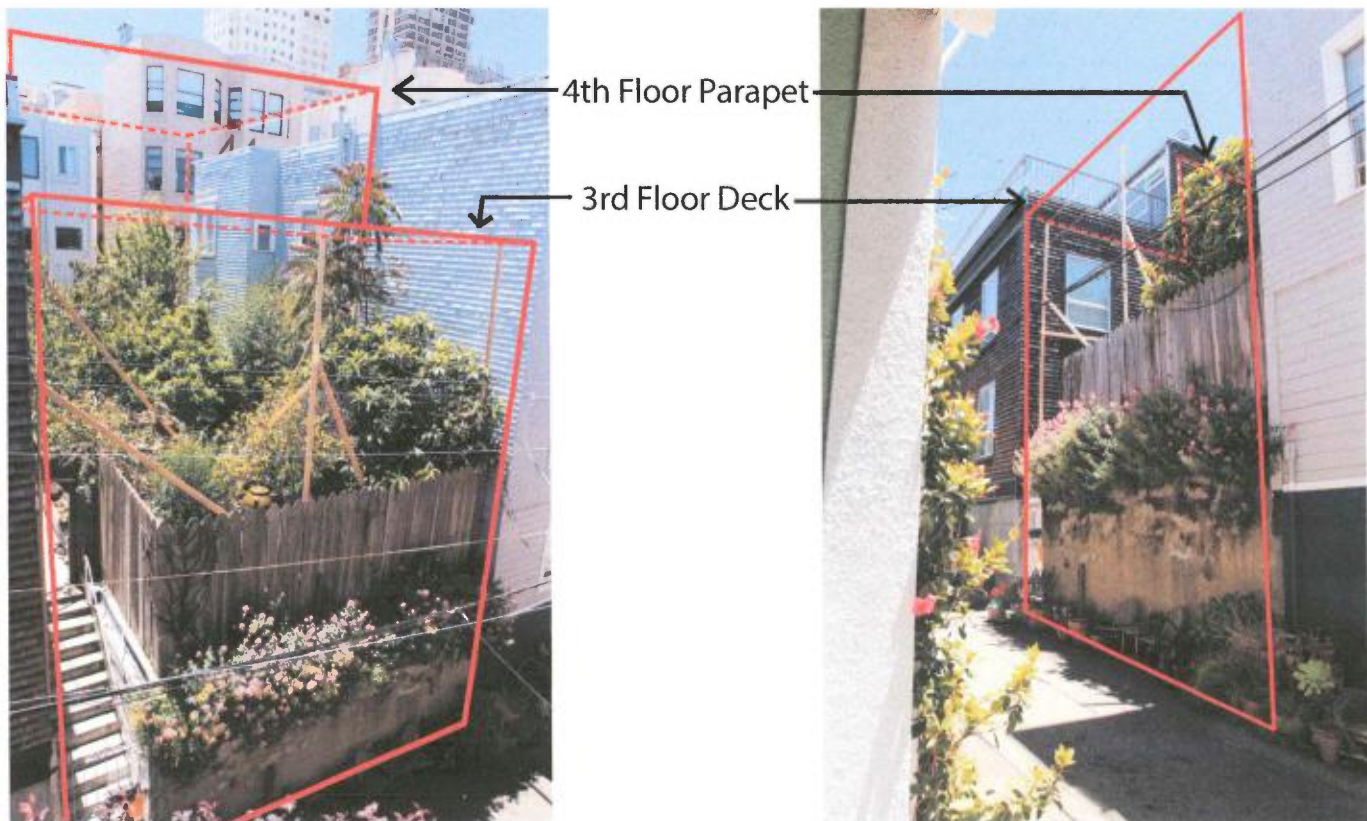


## Attachment to Application Requesting Discretionary Review re: 870 Union Street

The requested Letter of Determination was issued in May, 2010, including the admonition that “...any new building must comply with all applicable Planning Code standards.” Hopefully this statement is something more than boilerplate language and instead conveys meaningful intent. By requesting three substantial variances, the project demonstrates its failure to meet this expectation.

We believe that change can be accommodated in a manner that balances the desires of property owners, with the need for consideration and protection of neighborhood character, and the City’s aspirations for coordinated development. With but three exceptions, the context of building scale and lot coverage on Block 100, including the subject property, has been unchanged since 1939, pre-dating regulations for property development that have been in effect since adoption of the SF Planning Code in the mid-1970’s. The Sponsor purchased the property in 2009 and now seeks to be excused from compliance with these same regulations. This is equivalent to arriving at a theater during the third act of a play, with an entitled expectation that the performance will be halted and started again for one’s personal convenience.

The intrusive massing of the proposed rear yard building is shown below by an outline of the structure superimposed on images of the existing rear yard, as viewed from Aladdin Terrace and adjacent Union Street residences.



Visual access to the sky, and mid-block open space from Aladdin Terrace



**Attachment to Application Requesting Discretionary Review re: 870 Union Street**

Union Street mid-block space

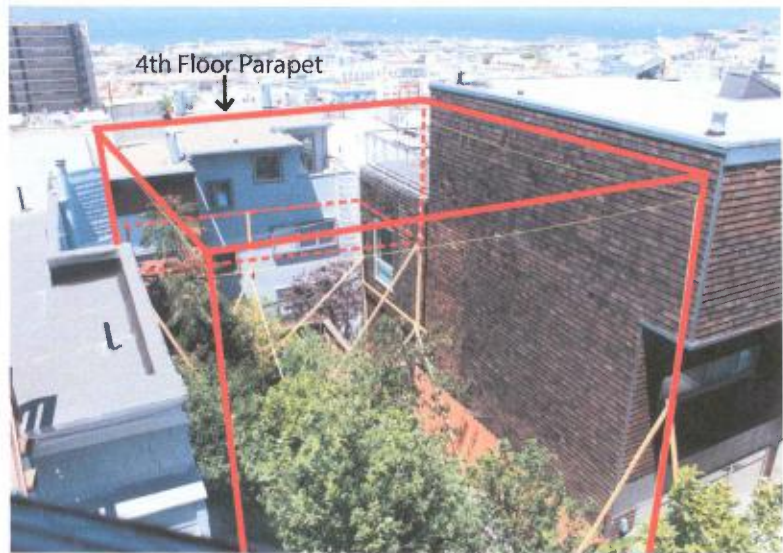
Residents in adjacent Union Street buildings experience two very different types of mid-block open space:

confined, non-conforming spaces between their buildings and the buildings directly behind them facing Aladdin Terrace;

– and –

the existing rear yard for the subject property, extending over 80' from the north façade of the existing building to facades of buildings on the north side of Aladdin Terrace.

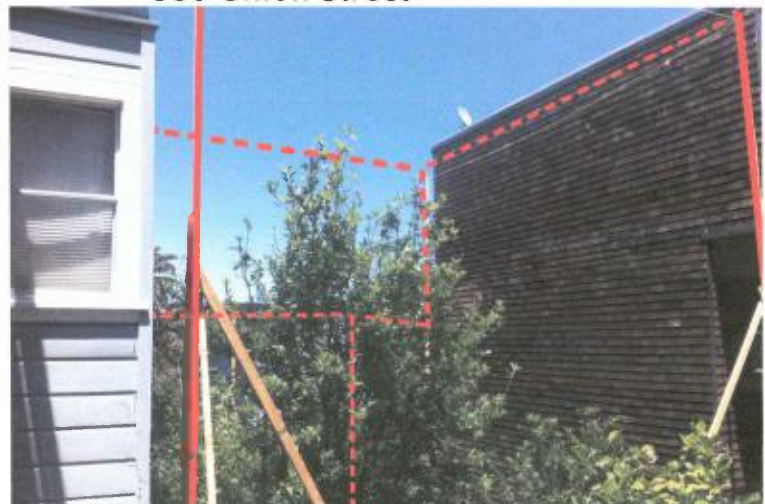
The proposed rear-yard building will reduce the open space to non-conforming inner court with a depth of only 20' – 1".



882 Union Street



880 Union Street



878 Union Street



**D. Glazed door and window openings.**

The RDT provided specific direction to *“Revise the façade design to reflect a solid to glazing ratio more in keeping with the vertical proportions of the neighboring buildings.”* However, the only revision to the new building made by the Sponsor was to add slender mullions within the span of the window glazing. The overall dimensions of the openings have not been modified.

Excessively large glazed openings (both doors and windows) at the north façade of the existing building and the north and south facades of the new building, in such close proximity to each other and to adjoining residences on Union and Aladdin, will introduce serious privacy concerns. The aggressive proportions of these punched openings and their lack of detail in the relationship of glazing to frame and frame to exterior finish are significantly at odds with the proportion, size and orientation of window openings at adjacent buildings.

The largest existing window opening on the north side of Aladdin, directly opposite the proposed new building, is 57 square feet in area. By contrast, the area of 2<sup>nd</sup> and 3<sup>rd</sup> Floor window openings at the new building facing Aladdin are both 105 square feet or 84% larger;



Opposite building



Rear yard with story poles

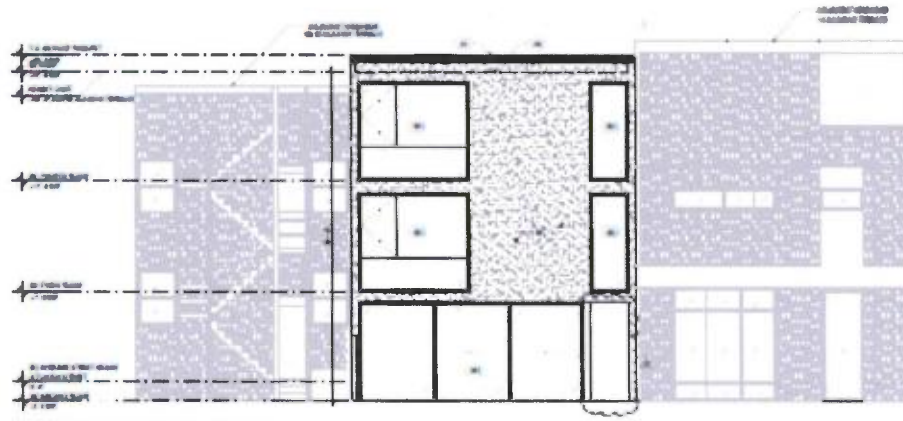
The rear yard, with story poles in place, is shown above on the right, viewed from an upper floor bedroom on the opposite side of Aladdin, shown on the left. The pole and horizontal ropes at the center of the image indicate the very close 16-foot proximity of the proposed 7'-6" x 14'-0" (105 sq. ft.) windows at 2<sup>nd</sup> and 3<sup>rd</sup> Floors facing Aladdin. Again, privacy is an issue.

Openings facing the inner court at Unit #1 in the existing building and the 2nd Floor Living Room at the new building are particularly disturbing. These glazed openings extend from wall to wall and floor to ceiling, and are comparable to department store display windows. One has to wonder: has the project been designed as a single-family home or as a terrarium. Please see Sponsor's elevation drawings on the following page.

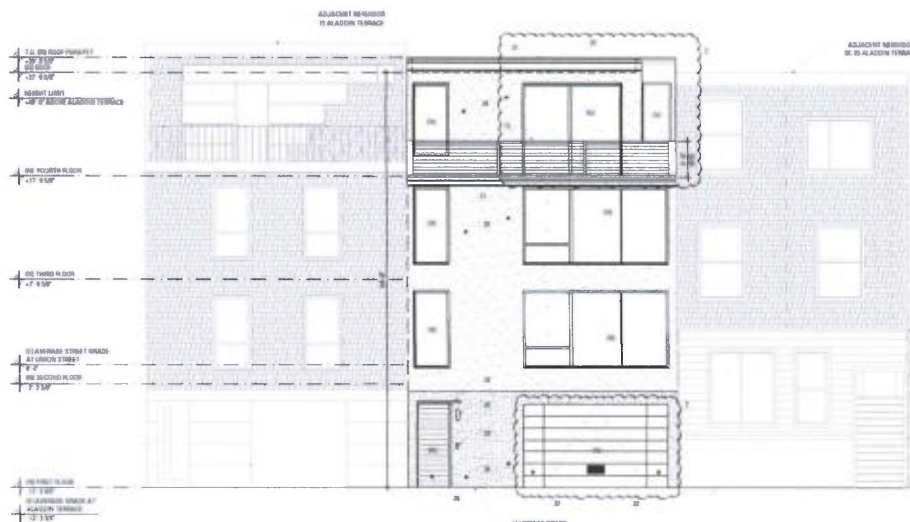
**Attachment to Application Requesting Discretionary Review re: 870 Union Street**



Existing building, north elevation facing inner court



Proposed building, south elevation facing inner court



Proposed building, north elevation facing Aladdin Terrace



**E. Automobile traffic.**

Previously, the level of automobile traffic on Aladdin was very low and could be characterized as occasional. There is no through traffic, as Aladdin is a cul-de-sac, and there were no garages. However, in the last ten years two projects introduced garages where there previously had been none. A two car garage was excavated at Lot 19A in 2005 and in 2008 a project at Lot 24 increased the automobile count by 400% by altering a four-car garage with entry from Taylor to a six-car garage with entry from Aladdin, including two spaces allocated to Lot 17A at the eastern end of the alley.

In spite of these garages, pedestrians and cars have negotiated a successful coexistence, and since these garages are located at the eastern and western ends of the alley, the mid-point of Aladdin has remained open for pedestrian uses. However, the level of automobile traffic has reached the saturation point for this narrow alley. Many cars entering and exiting the garages cannot do so in a single attempt, jockeying back and forth, searching for the correct angle of entry or departure, resulting in more noise and exhaust for residents, and delay to anyone passing through the alley on foot. Cars at the western end of the narrow alley have struck the opposite building. In addition, there is the frequent frustration of service vehicles and visitor's cars blocking access for those residents who do have private garages.

It is a reality that many streets in San Francisco are narrow, and were never intended to support higher volume automobile traffic let alone private garages. The proposed project would increase the vehicle count by another 22% from nine to eleven, adding yet another garage door, the cumulative impact further eroding the character and pedestrian use of the alley, as the garage entry would necessarily eliminate approximately 50% of the planting, sculptures and the seating as well as the historic element of the concrete wall on the south side of Aladdin.

The Planning Department's "Better Neighborhoods Program" has this to say about parking: *It degrades the quality of urban places, generates traffic, takes up valuable space, and makes housing less affordable. Today, we are designing places as much for parking as for people and funneling more and more traffic onto our streets. The result is a city that is becoming more about cars and congestion and less about the character and human comfort that makes San Francisco so special.*

Introduction of a new parking structure at the mid-point of Aladdin would be a significant negative impact on a quiet, pedestrian oriented environment where, over time, children have used the alley as a play-space after school and on weekends; residents and visitors enjoy the opportunity to gather and converse, observe and photograph the view to Coit Tower, and rest on their way to and from the City's attractions. Such uses are very much in keeping with Objective 4 of the City's General Plan Urban Design Element: recognizing that *"Measures must be taken to stabilize and improve the health and safety of the local environment, the psychological feeling of neighborhood, the opportunities for recreation and other fulfilling activities, and the small-scale visual qualities that make the city a comfortable and often exciting place in which to live."* The greenery on Aladdin, its natural light and seating spaces help to uplift the spirit. More garages, more cars and over-sized development do not serve this purpose.

## Attachment to Application Requesting Discretionary Review re: 870 Union Street

The neighborhood is very well served by public transit. There are 7 bus lines and 2 cable car lines within a 3-block distance. Given the specific character of the location, it would be reasonable to reconfigure the project to provide entry for all required parking spaces via the existing garage entry on Union Street. Concentrating vehicular access from this side of the site, which is already a traffic corridor, would result in far less impact than adding another garage entry to Aladdin.

A neighbor at the Pre-Application meeting asked if the project could excavate the grade at the Union Street side to provide more parking. The reply from the Sponsor, recorded in the meeting notes, was: *"Providing parking for the Aladdin residence from a Union Street entry is impractical."*

Please note: (a) the initial project scope anticipated excavating the entire rear yard (over 22,600 cubic feet) down to the level of Aladdin Terrace, until directed not to do so by the RDT; and (b) the scope of work at the existing building now includes lowering the entire 2<sup>nd</sup> and 3<sup>rd</sup> floors by 20" each in order to comply with the 40' height limit. Apparently, the Sponsor's concept of practicality is flexible and circumstantially defined, applied at will to a range of issues, yielding markedly convenient conclusions.

### **F. Negative Impacts**

Absent the project modifications listed in response to Question #3, below, neighboring residents on Union Street and Aladdin Terrace will experience significant negative and permanent impacts:

1. The height and massing of the new construction will block visual access to mid-block open space from surrounding residences on Union Street and Aladdin, as well as access to sunlight and sky from Aladdin, and will diminish the perception and the use of Aladdin Terrace as an inviting public mid-block open space;
2. The architectural concept is incompatible with and will disrupt the modest, informal character of the local built environment, neither complementing nor enhancing existing rhythms and elements found at adjacent structures.
3. Everyday automobile traffic to private garages will be intensified, to the detriment of pedestrian activity and public safety;
4. Excavation required to accommodate a garage entry from Aladdin would demolish the concrete retaining wall at 870 Union Street's rear property line. Although it is not a protected historic structure, it provides warmth of color and materials, and is definitely part of the network of landscape design elements that articulate the topography of Russian Hill, which is noted in the City's Urban Design Element, Policy 2.7 as one of five "Outstanding and Unique Areas" within the city.
5. Architectural details, particularly the type and size of windows at the north façade of the existing building and the north and south facades of the new building do not complement or contribute to the low-key and understated architecture of the neighborhood;
6. The neighborhood and the City will suffer the loss of a small, quiet and sunlit place of refuge from the busy vehicular settings of wider streets. In alley settings such as Aladdin it is less critical, and in fact it can be detrimental, to impose strict conformity of height and alignment of building facades. It is deserving of protection.



Due to circumstances of topography, existing development, and established neighborhood character, it is clearly evident that the totality of these impacts qualifies as exceptional and extraordinary circumstances as defined by the Planning Commission, and cautioning against *"...the common-place application of adopted design standards to a project that does not enhance or conserve neighborhood character, or balance the right to develop the property with impacts on near-by properties or occupants."*

***3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?***

The new structure appears to be simply a bulky vertical extrusion of the building footprint, lacking nuance and articulation of volume and material relationships, a stark architectural anomaly in the midst of low-key and understated architecture in the surrounding area.

- a. Variances. Revise the design of the new building to provide compliance with Planning Code requirements for rear yards; dwelling unit exposure; and exposure to sky for common outdoor space. Do not grant the requested variances.
- b. Automobile Traffic. Modify the overall project design to provide all vehicular entry to the site from the Union Street side of the property. Do not permit a new garage entry from Aladdin Terrace. This neighborhood is very well served by public transit; the existing garage already contains three parking spaces and it has been observed that it can accommodate four vehicles. Accordingly, and given the specific character of the project location, would it not be appropriate to limit parking for the project to a 1:1 ratio for either a three unit project, per the March 2010 request for a Letter of Determination, or a four unit project per the current proposal?
- c. Historic Elements. Protect the existing retaining wall and its informal, weathered finish during the process of construction; stabilize, preserve and retain the wall in place as an element of the finished project.
- d. Building Mass. Limit the roof elevation of the new building to 30'-0" above the top of curb at Aladdin; articulating the north façade of the new building as noted below:
  - (i) Provide a 15'-0" setback from the property line on Aladdin at the 3<sup>rd</sup> Floor.
  - (ii) Allow a "pop-out" extension of interior space into this setback provided that:
    - (a) no part of such an extension will penetrate a view plane extended between the northern-most edge of the 2nd floor elevation and the northern-most edge of the roof and (b) no part of such an extension shall be closer than 4'-0" from the side property lines of the subject lot.
  - (iii) Require the use of code compliant fire-rated roof assemblies such that parapets can be reduced from the proposed height of 1'-6";
- e. Glazed Doors and Windows: Revise the design of glazed openings to comply with direction by the RDT to reflect a solid to glazing ratio more in keeping with the proportions of the neighboring buildings.
- f. Rooftop Installations. Although the Site Permit drawings do not include construction details and mechanical equipment, require rooftop mechanical installations at both buildings to be organized and placed in a manner that will minimize visibility from surrounding residences. Enforce the installation of open railings at roof decks. Do not allow glass, or solid panel (opaque) materials other than for screening of rooftop equipment.



Attachment to Application Requesting Discretionary Review re: 870 Union Street

This is not a one-time event. Certain infill projects can be likened to (pick your metaphor) a steamroller, a freight train, a tidal wave, a cancerous growth of development, densification, and loss of rent-controlled housing that is threatening vulnerable neighborhoods throughout the City. There is no shortage of past and present examples. 30 Edith Street (2004 / 2010), 479 Douglass (2010 / 2011), 125 Crown terrace (2012), 155 27<sup>th</sup> Avenue (2015), 437 Hoffman Avenue (2008 / 2016) and 60 Russell Street (2016), to name but a few. Add to this list the subject project at 870 Union.

Please do not reinforce expectations that multiple variances and maximum build-out are either necessary or desirable. The City has the ability, and in certain instances must be willing, to say “**No**”.

Finally, we would like to reference another item in the Residential Design Guidelines regarding Mixed Visual Character: Page 10: *In areas with a mixed visual character, design buildings to help define, unify and contribute positively to the existing visual context. Some block faces do not have an apparent overriding visual character, or the character may be mixed or changing. When no clear pattern is evident on a block face, a designer has a greater opportunity and responsibility to help define, unify, and contribute positively to the existing visual context. Designs should draw on the best features of surrounding buildings. Existing incompatible or poorly designed buildings on the block face do not free the designer from the obligation to enhance the area through sensitive development.*

We respectfully request that you take Discretionary Review of the project and require appropriate modifications of the construction. The scope of this project may be tiny by comparison to other developments that are currently under review by the Planning Department. Aladdin Terrace is a small component of the City's fabric of streets and open spaces. However, it is small-scale components such as these that accrue, combine and contribute in forming the whole of the City, and for which our planning policies have been developed to protect and preserve.

Thank you for your consideration of this matter.



Chris Bigelow

0100/017  
BARON STORY and  
PETRA DAVIS  
852 UNION STREET  
SAN FRANCISCO CA 94133

001/004  
MARTINKOVIC MILFORD ARCHITECTS  
101 MONTGOMERY STREET  
SAN FRANCISCO CA 94104

0100/019A  
PINSKY TRS  
17 ALADDIN TERRACE  
SAN FRANCISCO CA 94133

0100/019A  
OCCUPANT  
15 ALADDIN TER  
SAN FRANCISCO CA 94133

0100/086  
JACKIE LUK  
DANIEL MERCHANT  
872 UNION STREET  
SAN FRANCISCO, CA 94133

0100/085  
OCCUPANT  
870 UNION STREET  
SAN FRANCISCO CA 94133

0100/087  
OCCUPANT  
872A UNION STREET  
SAN FRANCISCO CA 94133

0100/021  
LIANA PELLA TRS  
880 UNION STREET  
SAN FRANCISCO CA 94133

0100/021  
OCCUPANT  
878A UNION STREET  
SAN FRANCISCO CA 94133

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PETRA DAVIS  
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MARTINKOVIC MILFORD ARCHITECTS  
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# APPLICATION FOR Discretionary Review

## 1. Owner/Applicant Information

DR APPLICANT'S NAME: <b>RICK LEVINE for the LITTLE HOUSE COMMITTEE</b>		
DR APPLICANT'S ADDRESS: <b>839 UNION ST. SF CA 94133</b>	ZIP CODE: <b>94133</b>	TELEPHONE: <b>(415) 990 6021</b>
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: <b>JACKIE &amp; DANIEL MERCHANT</b>		
ADDRESS: <b>870 Union St.</b>	ZIP CODE: <b>94133</b>	TELEPHONE: <b>( )</b>
CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE: <b>(415) 990 6021</b>
E-MAIL ADDRESS: <b>levine@sbcglobal.net</b>		

## 2. Location and Classification

STREET ADDRESS OF PROJECT: <b>870 Union Street</b>		ZIP CODE: <b>94133</b>
CROSS STREETS: <b>TAYLOR / ALADDIN</b>		
ASSESSORS BLOCK/LOT: <b>0100 1020</b>	LOT DIMENSIONS: <b>25.75 x 128.75</b>	LOT AREA (SQ FT): <b>3,315</b>
ZONING DISTRICT: <b>RM-1</b>		HEIGHT/BULK DISTRICT: <b>40 X</b>

## 3. Project Description

Please check all that apply

 Change of Use ☐ Change of Hours ☐ New Construction ☒ Alterations ☒ Demolition ☒ Other ☐

 Additions to Building: Rear ☒ Front ☐ Height ☒ Side Yard ☐
Present or Previous Use: **APARTMENTS**Proposed Use: **APARTMENTS + SF Residence**
 Building Permit Application No. **2015 1113 2623**  
**2015 1113 2622**
Date Filed: **19 July '16**

#### 4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

#### 5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

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## Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

*see attached*

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

*see attached*

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

*See attached*

## Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: Richard E. Lavine  
839 Union St., SF

Date: 7/19/2016

Print name, and indicate whether owner, or authorized agent:

Richard E. Lavine  
☒ Owner ☐ Authorized Agent (circle one)

# Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input checked="" type="checkbox"/>
Convenant or Deed Restrictions	<input checked="" type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input checked="" type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input checked="" type="checkbox"/>

## NOTES:

☐ Required Material.☒ Optional Material.☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only

Application received by Planning Department:

By: S. YoungDate: 7/19/15  
**RECEIVED**

JUL 19 2015

CITY & COUNTY OF S.F.  
PLANNING DEPARTMENT  
P.O.

Attachments

870 Union Street



Aladdin Terrace frontage.

## The Little House Committee

We want to write to request Discretionary Review, and to oppose Variances sought for the property 870 Union Street.

1/. We are requesting Discretionary Review to reduce the scale of a development that will disrupt neighborhood character, result in the demolition of sound existing housing, and infill without accounting for the context in which they are fortunate to build.

As an advocacy organization opposed to the demolition of sound existing housing, we find the application set of plans for 870 Union Street less than forthcoming as to the required demolition calculations.

### Horizontal plates demolition calculation

The scope of work required to squeeze a new fourth floor out of a 36 foot high building is all about relocation. "Proposed Alterations" to the existing building indicate that 100 % of the first and second floors will be removed from their present positions, and relocated permanently from their existing locations. The entire roof will be demolished.

\* Nothing of the existing building's horizontal plates will remain in the same place. 100 % Removal.

footnote: The on grade floor level slab, which is not required to be included in the Section 317 calculation, is also 100 percent removed, then poured with all new foundations at a new lower position than the existing slabs on grade.

### Walls

The addition of a 40' height compliant fourth floor will require all new wall framing at the garage to first floor level, by its changed height dimension, and per the CABC standards for four stories of wood framing. The exterior walls between the first and second, and second to roof will be relocated lower on the site, in order



to add a story of construction above. That vertical addition will trigger a seismic upgrade to the entire structure.

\*Nothing of the existing building's vertical elements will remain in the same place. 100% Removal.

The Sponsor's own documentation of Code Compliance with Section 317 is false in its assumptions as to what to include. The Planning Department affirms that the building is code compliant when the 311 Notice issues, but in truth they Department has looked the other way on enforcement of Section 317 (b) (2).

No oversight/acknowledgement to the reality of total demolitions applied for, approved, in the works, we don't know the extent of the problem!

Neither the Planner for this application, his Supervisor or the Quadrant leader, nor the RDT (assembly of Senior Planners) bother to check, or correct the demolition calculations submitted with these applications over the six months of their review.

It had better be exceptional and extraordinary that this lack of oversight has occurred. If it is an exceptional circumstance, take DR and correct it. If it is part of a larger pattern, it should end with this application.

870 Union 2015.11.13.2622

This three unit building is two flats plus a garden level unit at the rear of the garage. The building is three stories of wood frame construction, and could be the oldest on the block.

Scope of Work:

(FRONT) DEMOLISH (E)WALL, WINDOWS, DOORS, FINISHES & FIXTURES. LOWER TOP 2 FLOORS OF(E)STRUCTURE TO ACCOMODATE(N)WORK ON ROOF. BUILD(N) WALLS, DOORS, FINISHES & FIXTURES. BUILD(E)BLDG W/ ADDITION 4TH FL & DECKS. BUILD REAR ADDITION @ ALL 3 LEVELS. BUILD (N)REAR YARD STRUCTURE FACING ALADDIN TERRACE.

### 317(b)(2)(B and (C)

(B) A major alteration of a Residential Building that proposes the Removal of more than 50% of the sum of the Front Facade and Rear Facade and also proposes the Removal of more than 65% of the sum of all exterior walls, measured in lineal feet at the foundation level, or

(C) A major alteration of a Residential Building that proposes the Removal of more than 50% of the Vertical Envelope Elements and more than 50% of the Horizontal Elements of the existing building, as measured in square feet of actual surface area.

As is, the project is not triggering both criteria since less than 50% for the vertical envelope elements are not slated for removal. Both conditions have to be met in either B or C (above) in order for the project to be considered demolition.

The Planner admitted in a Hearing that he did not know how to check the demolition calculations, even as the 870 Union Street set of plans was readied for 311 Notice.

Masterplan Section 101.1 of the San Francisco Planning Code

This building is sound existing housing. Proposition M calls for its retention as the most affordable housing in San Francisco, not turned into its most exclusive price tag of the month.

### Variances

The type of infill in this application is allowed only when adjacent to other through lots, or as by interpretation, another through lot. But this application seeks to do what no Code permits, infill when not adjacent to any other through lot. The first Variance, or Interpretation, should be sought and justified to simply qualify to

build on an isolated through lot facing streets or alleys on both sides.

The infill if adjacent to other through lot(s), is permitted only if it meets all of the other provisions of this Code. The permit application's second Variance should be from that requirement that it other wise meet the Code.

If and only if those two Variances are both sought and justified, heard and granted, could the third, Rear Yard Variance, which triggers the fourth Exposure Variance, and the fifth common usable open Space Variances all be decided, thus enabling this project proposal. Really, Five Variances seem excessive for New Construction projects!

There would have to be some powerful hardship to degrade 11 contiguous units of housing to create only one more new one, and on the rear yard of the next to the last house here to have one. The only possible community benefit to the addition of the housing unit stops at a code complying building on grade at Aladdin. Each Variance exacts more light and air losses, lot coverage losses, and historic alley features losses. They are fortunate to build here, but they need to fit in by leaving the Code minimums in place for the neighbors, in exchange for the opportunity to build.

It is exceptional and extraordinary to have such a choice site in which to build. The well developed neighborhood context and its attributes need to be discussed as well as the rights of the Owner or the five variances.

This through lot is at no hardship as to the other properties within the same class or district. The lot already has three units, and is larger than average lot size, for the block. They can, with Variance 1 alone, as described above, construct a rear yard building fronting on Aladdin Terrace. We would support Variance 1 to build on grade.

We do not support any of the other Variances: Rear yard: No hardship can be demonstrated for this favored site on the block. The yard must be 25% of the lot depth, from the qualifying rear wall of 870 Union, in order to be found in compliance with all other provisions of this Code. Exposure, and common usable open space Variances are not needed for a compliant building on existing grade



with an existing stairway and retaining wall at Aladdin Terrace.

## Preservation

### 870 Union

The three unit building is two flats plus a garden level unit at the rear of the garage. The building is three stories of wood frame construction, and could be the oldest on the block. The RDT asked that the facade of the building be altered to include a taller bay window, but this may be a building in a historic district. It may not be appropriate to make the vertical addition either.

Removing the vinyl siding and restoring the underlying exterior sheathing is the preferred alternative:

0100020

Survey Name: DCP 1976 Survey

Evaluation Date: 1/1/1976

Survey Rating: 2

Rating Description: Rated 0-5 with 5 as the highest rating for architecture. Some are listed as 'Y'.

Someone liked it for one reason or another. Was it rebuilt soon after the Fire? If before 1920 then its connection to the event known as post-fire rebuilding, and pretty much what we see here today.

The Aladdin Terrace neighbors don't accept that in the potential historic District here, they should get a curb cut, and a garage door. The Sponsor ignores that the retaining wall at the Aladdin Terrace frontage of 870 Union Street is probably a contributing feature in a potential historic district.

2/. Residential Design guidelines advise to use the context to design the massing of the building. A few improvements consistent with the Guidelines would include:

### 2a/. TOPOGRAPHY

Guideline: Respect the topography of the site and

the surrounding area. Limit new building to 30' above Aladdin Terrace sidewalk.

#### 2b/. REAR YARD

GUIDELINE: Articulate the building to minimize impacts on light and privacy to adjacent properties.

2c/. Provide shared light wells to maximize light to both properties. They could not move their light well.

2d/. •Provide setbacks on the upper floors of the building. Staff got a set back for Aladdin, how about one for the rear yards between the buildings?

3/. Build two stories at Grade without rear yard Variances at the Aladdin Terrace frontage. Retain the existing retaining wall and stair onto Aladdin. Remove vinyl siding from the facade of 870 Union Street, restore original siding. Remodel interiors, no vertical or horizontal addition.



0100/017  
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852 Union Street  
San Francisco, CA 94133

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15 Aladdin Terrace  
San Francisco, CA 94133

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Occupant  
872A Union Street  
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0100/021  
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0100/021B  
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0100/045  
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0100/50  
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Plano, TX 75093-7217

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505 Montgomery Street  
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Russian Hill Improvement Assn.  
P.O. Box 475874  
San Francisco, CA 94147

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224 Filbert Street  
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P.O. Box 320098  
San Francisco, Ca 94132-0098

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455 Vallejo Street  
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# RESPONSE TO DISCRETIONARY REVIEW (DRP)



**San Francisco**  
**Planning**

**SAN FRANCISCO PLANNING DEPARTMENT**  
1650 MISSION STREET, SUITE 400  
SAN FRANCISCO, CA 94103-2479  
MAIN: (415) 558-6378 SFPLANNING.ORG

## Project Information

Property Address: 870 Union Street

Zip Code: 94133

Building Permit Application(s): 2015.2223.2622

Record Number: 2015.007313DRP Nos. 01 - 05

Assigned Planner: Nick Foster

## Project Sponsor

Name: John Kevlin, Reuben, Junius & Rose, LLP

Phone: (415) 567-9000

Email: jkevin@reubenlaw.com

## Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

There are no exceptional or extraordinary circumstances associated with the Project which merits the exercise of the Commission's discretionary review authority. The proposal is for the modification of the Union Street building, specifically, the construction of a horizontal and vertical addition and redesign of the facades, and the construction of a new dwelling on the rear of the lot facing Aladdin Terrace where the Project Sponsor intends to reside. It is well within the zoning permitted on the Property and meets the height limit of 40 feet. The Project is consistent with the land use, residential density, height, and bulk controls within the RM-1 Zoning District in this portion of Union Street and Aladdin Terrace. Lastly, the Project will complement the character and scale of development on North Beach and adjacent blocks.

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

The Project Sponsor has spent a considerable amount of time and effort to gather and respond to concerns from the DR Requestor and neighbors. On the Union Street Building the following changes have been made: 1) incorporate bay window into the upper two stories of the building; 2) the removal of the vinyl siding from the façade and restore the original siding treatment; 3) provide a strong roof cap/termination to be compatible with the adjacent properties; 4) restore wood windows; and 5) use open railing along decks.

On the Aladdin Street Building the following changes have been made: 1) use of wood siding as a façade treatment instead of a smooth plaster finish treatment; 2) eliminate the wood paneling detailing adjacent to the garage door opening; 3) reduce the size of the window openings on the second and third floors to 10 feet in width to be more compatible with the adjacent properties; and 4) use open railing along decks.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

The Project Sponsor has been sensitive to concerns about how the Project fits into the neighborhood as well as the Planning Department staff's design guidance. The Project has been modified multiple times, demonstrating the Project Sponsor's willingness to work to design a project that is compatible with the existing neighborhood. The DR requests would unreasonably restrict development at the Property as they want a Code-complying project which would preclude the addition of a fourth dwelling unit at the rear of the Property.

## Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)	3	4
Occupied Stories (all levels with habitable rooms)	3	4
Basement Levels (may include garage or windowless storage rooms)	1	1
Parking Spaces (Off-Street)	4	6
Bedrooms	5	7
Height	35' / n/a	40' / 40'
Building Depth	64'-7' / 0'	64'-7" / 43'-10"
Rental Value (monthly)	n/a	n/a
Property Value	n/a	n/a

I attest that the above information is true to the best of my knowledge.

<b>Signature:</b> <i>John Kevlin</i>	<b>Date:</b> 10/13/16
<b>Printed Name:</b> John Kevlin	<input type="checkbox"/> Property Owner <input checked="" type="checkbox"/> Authorized Agent

*If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.*

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# REUBEN, JUNIUS & ROSE, LLP

October 13, 2016

## Delivered via Messenger

President Rodney Fong  
San Francisco Planning Commission  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

**Re: 870 Union Street (0100/020)**  
**Brief in Opposition of a DR Request**  
**Planning Department Case No. 2015.007313DRP/Nos. 01 - 05**  
**Hearing Date: October 27, 2016**  
**Our File No.: 5828.14**

Dear President Fong and Commissioners:

Our office represents Daniel Merchant and Jackie Luk (“**Project Sponsor**”), the owners of the property at 870 Union Street, (“**Property**”). We write regarding Discretionary Review 2015.007313DRP Nos. 01 - 05 on Building Permit No. 2015.2223.2622 and respectfully request that the Planning Commission not take discretionary review and approve the permit as proposed. The project proposes (1) the modification of the existing Union Street building, specifically, the construction of a horizontal and vertical addition and redesign of the facades, and (2) the construction of a new single family on the rear of the lot facing Aladdin Terrace where the Project Sponsor intends to reside (“**Project**”).

Discretionary Review (“DR”) Requests were filed by was filed by John Perri (866 Union Street/DR No. 01), Kenneth Tateno (864 Union Street/DR No. 2), Trudi Miller (868 Union Street/DR No. 3), Chris Bigelow (22 Aladdin Terrace/DR No. 4), and Rick Levine on behalf of the Little House Committee (839 Union Street/DR No. 5) (collectively the “**DR Requestors**”; map of DR Requestors is attached as **Exhibit B**).

The DR requests should be denied and the Project approved as designed because:

- The project is fully consistent with the existing pattern of development on this block. Nowhere is the project larger, deeper or more massive than its neighbors, and in fact provides a natural transition between the adjacent two buildings.
- The project sponsor has agreed to virtually every request for project modification or other action by the DR requestors, with the exception of removing a floor from each building and reducing the depth of the Aladdin Street building.

James A. Reuben | Andrew J. Junius | Kevin H. Rose | Daniel A. Frattin | John Kevlin  
Tuija I. Catalano | Jay F. Drake | Lindsay M. Petrone | Sheryl Reuben<sup>1</sup> | Thomas Tunny  
David Silverman | Melinda A. Sarjapur | Mark H. Loper | Jody Knight | Stephanie L. Haughey  
Chloe V. Angelis | Louis J. Sarmiento | Jared Eigerman<sup>2,3</sup> | John McInerney III<sup>2</sup>

1. Also admitted in New York 2. Of Counsel 3. Also admitted in Massachusetts

**San Francisco Office**  
One Bush Street, Suite 600, San Francisco, CA 94104  
tel: 415-567-9000 | fax: 415-399-9480

**Oakland Office**  
827 Broadway, Suite 205, Oakland, CA 94607  
tel: 510-257-5589

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- The project creates a new single family home on Aladdin Street that completes the block and maintains the existing pattern of mid-block open space.

The Project Sponsor has been sensitive to concerns about how the Project fits into the neighborhood on both Union Street and Aladdin Terrace as well as the Planning Department staff's design guidance. The project has been modified multiple times, demonstrating the Project Sponsor's willingness to work to design a project that is compatible with the existing neighborhood.

#### **A. Project Description**

The Property is located on the north side of Union Street between Taylor and Mason Streets, a block-and-a-half to the west from Washington Square Park in the North Beach neighborhood. The Property is a through lot from Union Street to Aladdin Terrace and is 128 feet deep with 25.75 feet of street frontage along both streets. The Property is improved with a two-story-over-garage, 3,671 gross square foot three family home that was constructed in 1909 and fronts Union Street. This structure is 64-feet 7-inches deep. There is a garage with a dwelling unit at the rear on the ground floor and a unit on each of the second and third floors (three units total). The rear of the building features a series of exterior stairs and deck structures. On Aladdin Street, there is a one-story concrete retaining wall with a one-story wood fence at the property line and an access staircase along the eastern side of the lot. The rear 61 feet of the property is open space with landscaping. Aerial images are attached as **Exhibit C**.

On Union Street, the Project proposes the construction of a partial floor vertical addition and horizontally expanding the existing structure, resulting in a squared-off building envelope at the rear. The façade of the building will be renovated with new rustic siding and wood windows. The square-sided bay window will be extended to the third and fourth floors, regularizing this component, and the garage door will be reduced in width from 13 feet to 10 feet. The new rear yard at 870 Union Street will be located in the center of lot between the two structures. It will be roughly 20 feet deep and be accessed from the ground floor. In addition, there will be a new deck at the rear above the third story.

The Aladdin Terrace portion of the Project consists of the construction of a new three-story-over-garage single family home. It will be roughly 44 feet deep, with the top floor set back 15 feet from the front façade. It will feature a two-vehicle garage with a 10 foot wide garage door, the main building entrance on the east side of the building, and a deck on the third floor roof.

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tel: 510-257-5589

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Due to the construction of the new dwelling unit along Aladdin Terrace, the Project must obtain rear yard, exposure, and open space variances. For through lots with buildings on each frontage, the required 25% rear yard must be located between two buildings. Strictly complying with the 25% rear yard requirement would result in unnecessarily shallow single family home on Aladdin Terrace (32 feet) and a site configuration that is inconsistent with the existing development pattern on this block. Since the proposed rear yard wouldn't be strictly code-compliant, variances from dwelling unit exposure and open space requirement are required as well.

**B. The Project Continues the Existing Pattern of Development on This Block**

The entire premise of the proposed site configuration is based upon continuing the existing pattern of development on this block. The photograph below shows the existing development on the block:

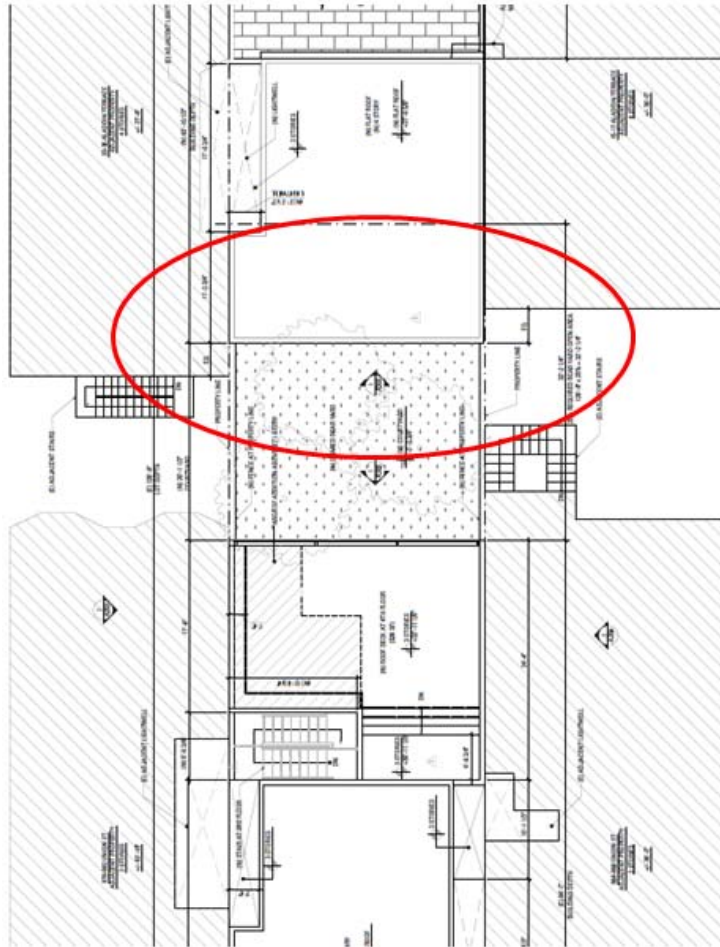


The block is characterized by separate residential structures facing Union Street and Aladdin Terrace, with a narrow mid-block open space between. None of the existing development provides a code-compliant 25% rear yard. The proposed new building on Aladdin Terrace extends to the average depth of the two adjacent buildings, as shown here:

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With regard to the proposed building heights along Union Street and Aladdin Terrace, the project also provides a natural transition between the adjacent buildings:

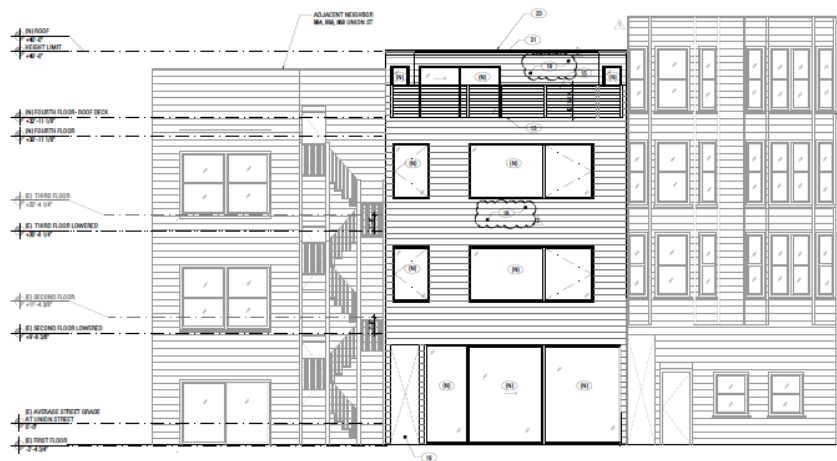
**San Francisco Office**  
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Union Street



Aladdin Terrace



Further, along Aladdin Terrace, the fourth floor is set back from the street by 15 feet. As a result, when walking along this narrow street, the building reads as three stories, shorter than both adjacent buildings.

Photographs of the Property and adjacent buildings are attached as **Exhibit D**.

Images of the block are attached as **Exhibit E**.

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**C. Neighborhood Outreach and Design Development**

The Project Sponsor has spent a considerable amount of time and effort to gather and respond to concerns from the DR Requestors. Efforts were made early in the process to modify the project in response to neighbor's issues.

Following the filing of the subject Discretionary Review applications in July, the Project Sponsor worked with the Planning Department to modify the Project to address concerns that were raised by the DR Requestors. Design changes in response to the DR Requestors concerns include:

**Union Street Building:**

1. Incorporate the bay window into the upper two stories of the building;
2. Removal of the vinyl siding from the façade and restore the original siding treatment;
3. Provide a modern interpretation of a strong roof cap/termination to be compatible with the adjacent properties;
4. Restore wood windows; and
5. Provide open railing on roof deck.

**Aladdin Terrace Building:**

1. Limited excavation to only the rear of the building.
2. Use of wood siding instead of smooth plaster stucco on the building's facade;
3. Eliminate the wood paneling detailing adjacent to the garage door opening;
4. Reduce the size of the window openings on the second and third floors to 10 feet in width to be more compatible with the adjacent properties; and
5. Provide open railing on roof deck.

Other Requests Granted

1. Both buildings' garages will be enhanced with sound-proofing and acoustic isolation at the party walls to reduce vehicular noise.
2. Construction activities will be limited from 8:00 a.m. to 5:00 p.m. Monday through Friday.
3. The project sponsor will provide the adjacent HOA at 864 – 868 Union Street additional insurance during construction and to provide a secure construction site.

Throughout this process, the Project Sponsor has made efforts to communicate with the DR Requestors. The development of the Project design demonstrates the Project Sponsors' willingness to be flexible and work with both Planning Department staff and neighborhood.

**D. Reponses to DR Requestors Concerns**

The DR Requestors raises multiple concerns about the Project, several of them overlapping. They have been consolidated and are discussed below.

1. *Provide a code-compliant rear yard and avoid any variances*

The Planning Code would require a 32 foot deep open area in between the two buildings at the property, and the project proposes roughly 20 feet of depth. Since the building at Union Street already exists, the additional 12 feet to meet the rear yard requirement would need to be removed from the Aladdin Terrace building. This would reduce the building depth from 43 feet to 31 feet. This would significantly restrict the ability to design a functional home here. Further, the home would be more shallow than both its neighbors. Finally, it would be completely out of place within the context of the existing built environment

A Sanborn Map of the block is attached as **Exhibit F**. Every effort has been made by the Project Sponsor to minimize the footprint of the new dwelling unit and it is compatible with the small structures along Aladdin Terrace. However, in order to provide a structure that is usable and practical, it must extend into the required rear yard area of the lot. Fortunately, this is completely consistent with the existing pattern of development on this block.

*2. Remove a floor from each building*

The DR Requestors all suggest that the Project is out of scale with surrounding neighborhood and that both structures should be limited to three stories in height so that they are more compatible with the neighborhood. This inaccurately portrays the existing scale of development in the neighborhood.

As discussed above, the heights of both buildings are completely consistent with the existing heights on both Union Street and Aladdin Terrace. The Union Street building will follow the natural grade of the street, and its height is in between the heights of the two adjacent buildings. Further, only a partial floor addition is proposed, leaving the rear 24 feet of the building at three stories, to maintain the existing light reaching the central courtyard.

The Aladdin Terrace building also has a height that is in between the heights of the two adjacent buildings and follows the natural grade of the street. Further, the fourth floor is set back by 15 feet, so the building will read as three stories from the street, shorter than both adjacent buildings.

The heights of the new buildings are clearly consistent with the existing development on this block.

*3. There should be no parking at the Aladdin Terrace unit.*

The Project proposes a new single family home on Aladdin Terrace. It proposes one 10-foot-wide garage door with space for two off-street parking spaces. The proposed three bedroom single family home cannot access the off-street parking spaces at the Union Street building, and those three spaces serve the three units in that building anyway. As a result, the two car garage is proposed to be accessed from Aladdin Terrace.

Aladdin Terrace is a short, dead end street, currently with access to a single two-car garage. While the street is primarily pedestrian in nature, it does currently have this minimal parking access. The addition of the proposed garage would add spaces for two more cars on this street. The potential for increased automobile access is hugely limited. An additional 2 to 4 automobile trips a day will be almost imperceptible on this street and the character of the street will be unaffected. The alternative is that two additional automobiles will take up the limited available on-street parking in the area.

**E. Conclusion**

The proposed project will renovate the existing 3-unit building on Union Street and create a new, single family home on Aladdin Terrace. The project is completely consistent with the existing pattern of development on this block. The Project will add a new unit to the

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city's housing stock. The Project will constitute smart development which is consistent with the land use, residential density, height, and bulk controls in this portion of North Beach.

We respectfully ask that the Planning Commission deny the Discretionary Review(s) and approve the Project as proposed. Thank you for your consideration.

Very truly yours,

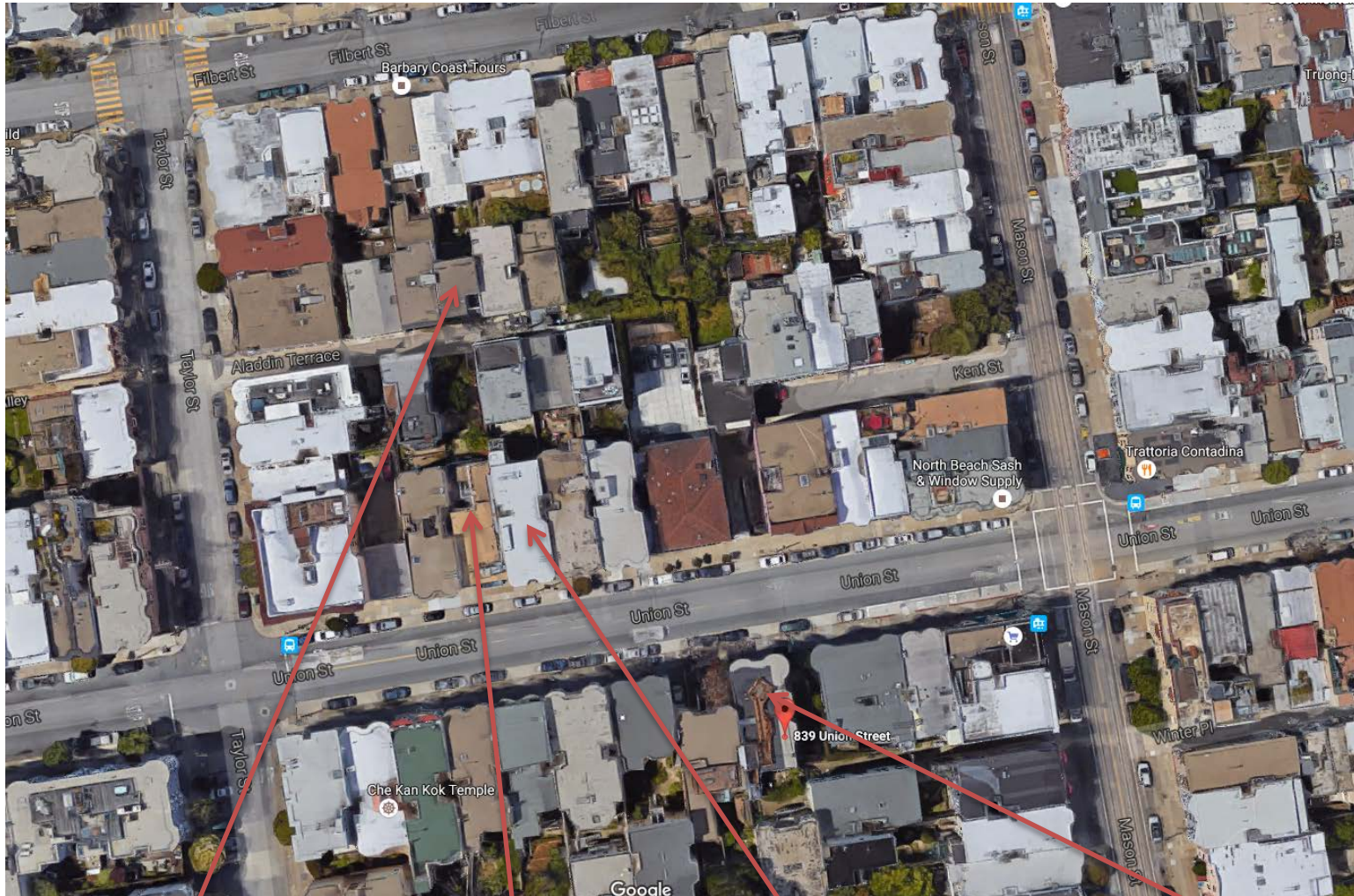
**REUBEN, JUNIUS & ROSE, LLP**



John Kevlin

cc: Vice President Dennis Richards  
Commissioner Rich Hillis  
Commissioner Christine Johnson  
Commissioner Joel Koppel  
Commissioner Myrna Meglar  
Commissioner Kathrin Moore  
John Rahaim – Planning Director  
Scott Sanchez – Zoning Administrator  
Jonas Ionin – Commission Secretary  
Nicholas Foster – Project Planner

## Exhibit B: DR Requestor's Locations



870 Union Street: Project Sponsor

22 Aladdin Terrace: DR Requestor #4

864 Union Street: DR Requestor #2  
866 Union Street: DR Requestor #1  
868 Union Street: DR Requestor #3

839 Union Street: DR Requestor #5

2015.007313DRP: 870 Union Street





Exhibit C: Aerial View of 870 Union Street

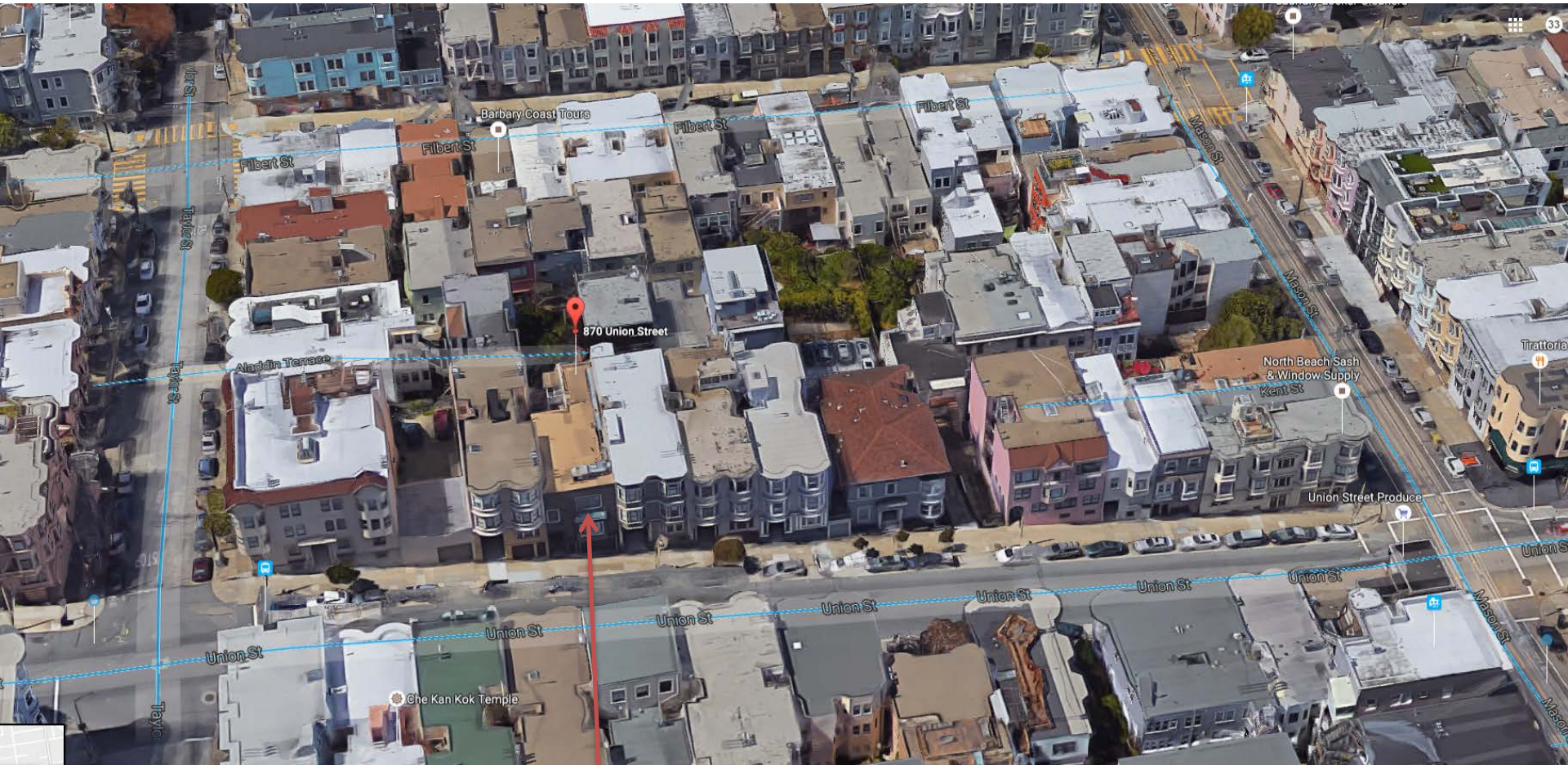


870 Union Street





Exhibit C: Ariel View of Block 0100

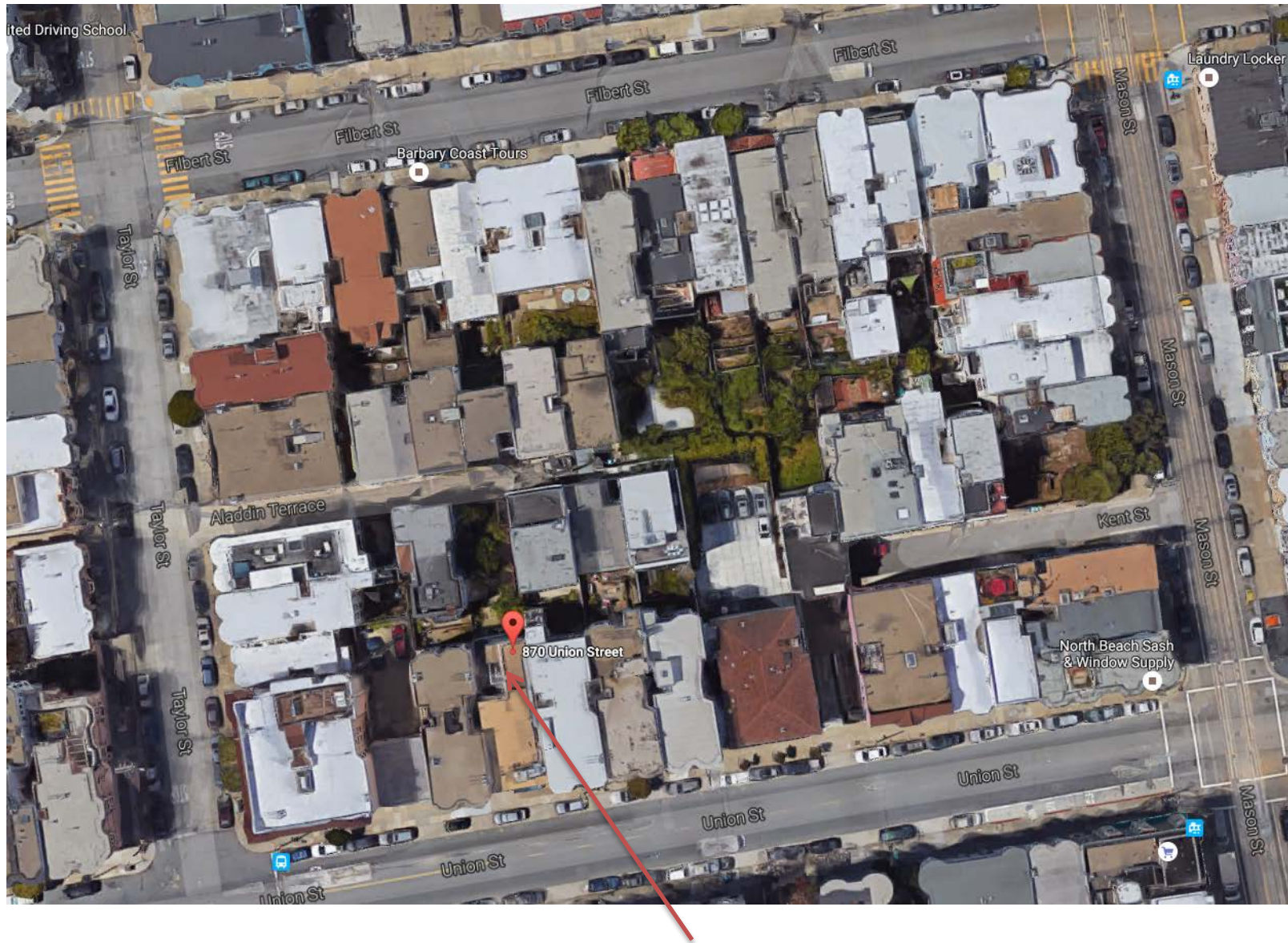


870 Union Street





Exhibit C: Aerial View of Block 0100



2015.007313DRP: 870 Union Street

870 Union Street



Exhibit D: Photographs of 870 Union Street



2015.007313DRP: 870 Union Street

870 Union Street





Exhibit D: Photographs of 870 Union Street



870 Union Street





Exhibit E: Photographs of 870 Union Street – Aladdin Terrace Frontage

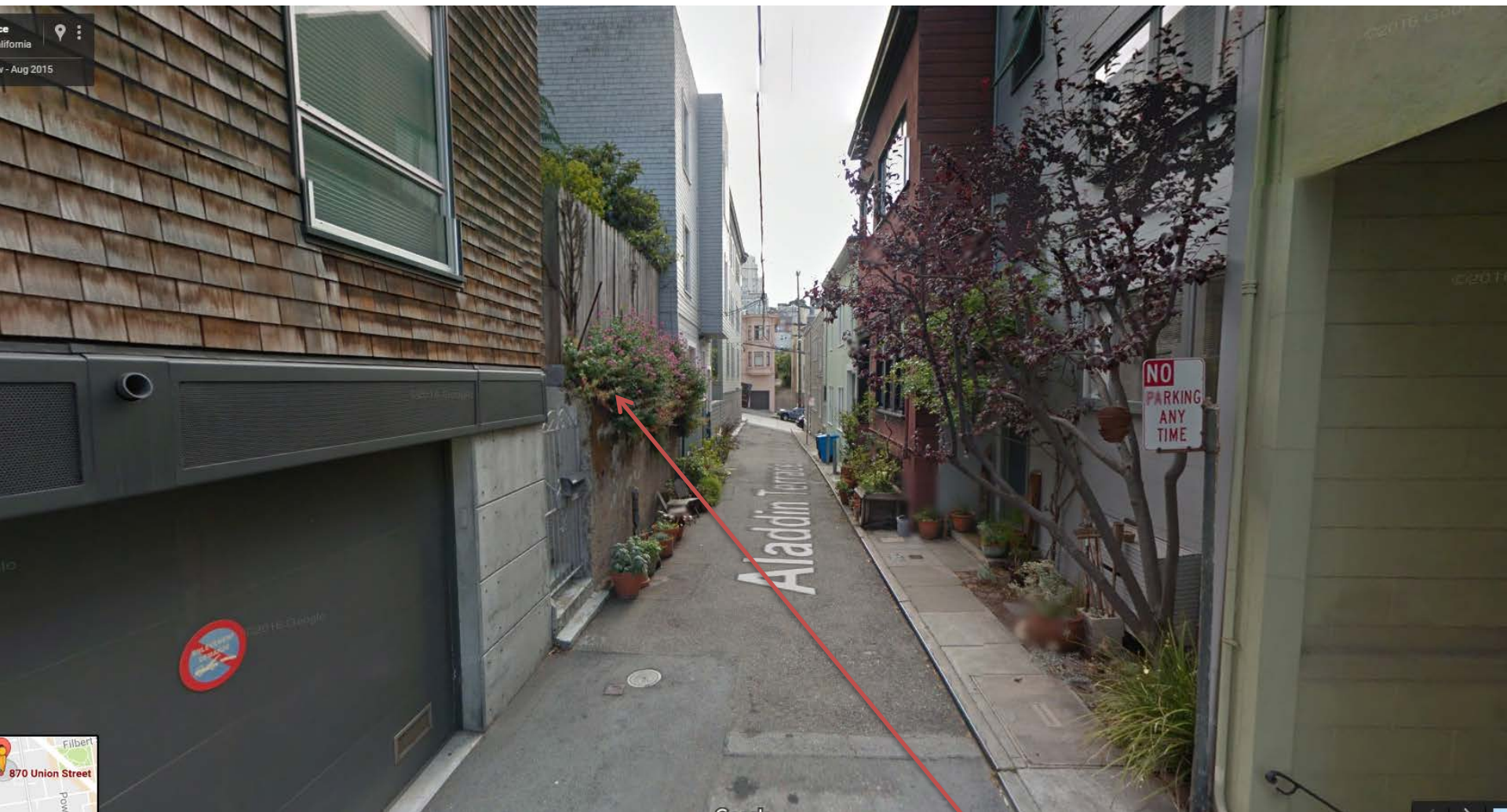


Exhibit E: Photographs of 870 Union Street – Aladdin Terrace Frontage

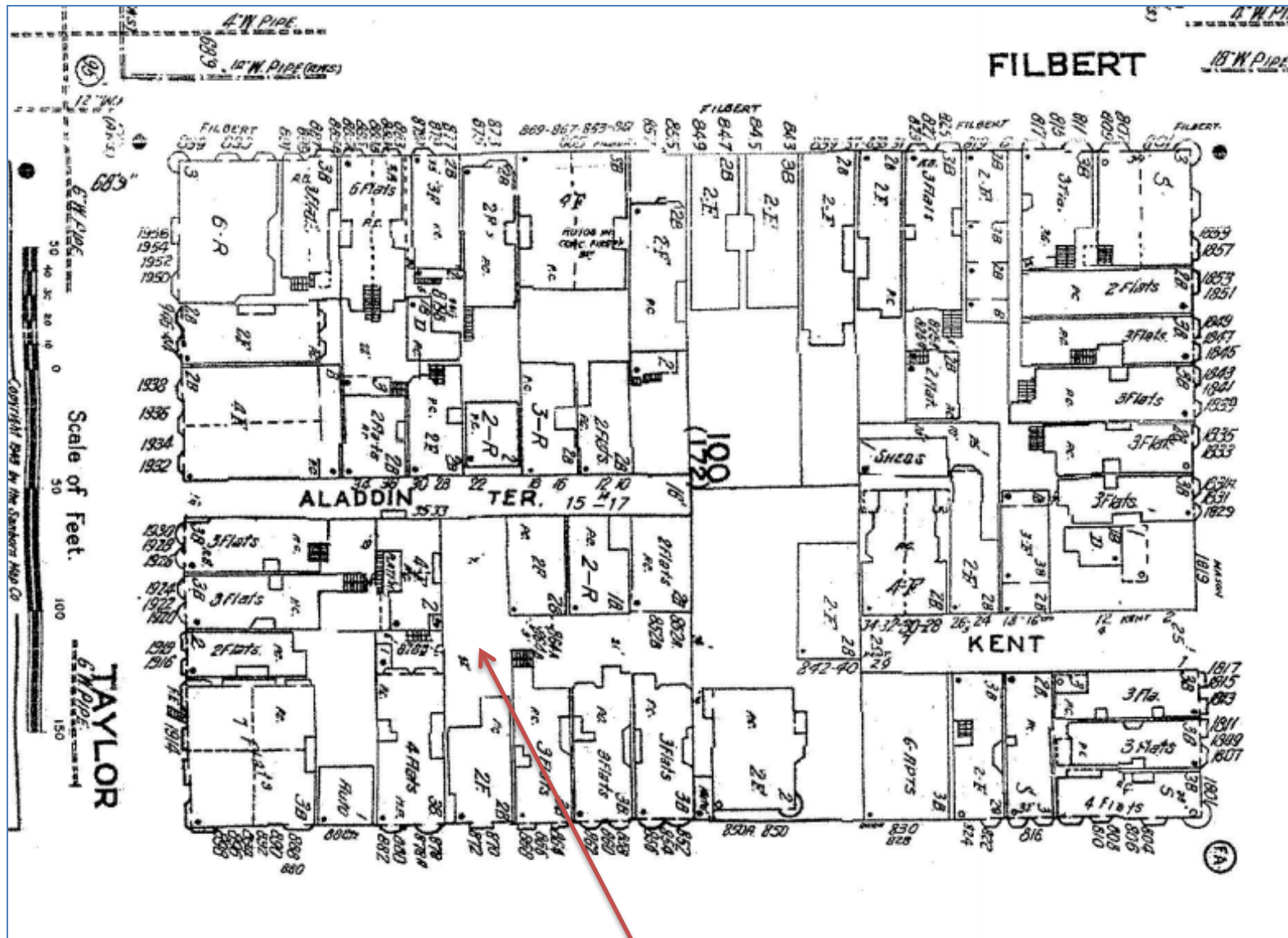


870 Union Street





# Exhibit F: Photographs of 870 Union Street – Aladdin Terrace Frontage



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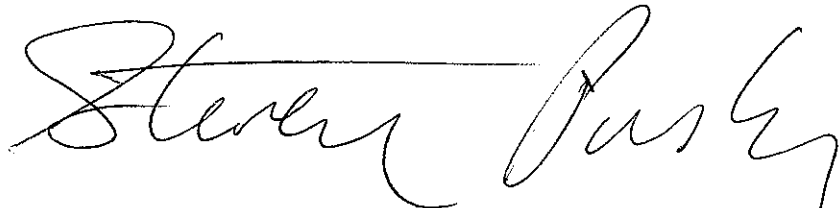
Babette and Steven Pinsky  
17 Aladdin Terrace  
San Francisco, CA 94133

July 15, 2016

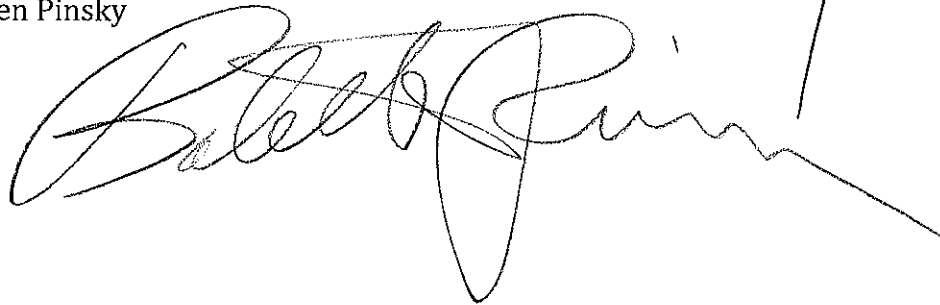
To Whom It May Concern:

We are the owners of 15-17 Aladdin Terrace. We are in full support of the plans for the renovation of 870-872 Union Street and the new unit addition at the rear of the lot. The owners, Jackie Luck and Danny Merchant have been extraordinarily gracious and cooperative in listening to and adopting some of our suggestions that we discussed as they developed their plans. We have reviewed their plans and give them our full support for their application.

Respectfully,

A handwritten signature in cursive script, reading "Steven Pinsky". The signature is written in dark ink and is positioned above the second signature.

Babette and Steven Pinsky

A handwritten signature in cursive script, reading "Babette Pinsky". The signature is written in dark ink and is positioned below the first signature.





March 18, 2016

San Francisco Planning Department  
1650 Mission St, Suite 400  
San Francisco, CA 94103

To Whom It May Concern,

As the current tenant of 870 UNION ST., I have reviewed the design put forth by Riaz Design and Martinkovic Milford Architects on behalf of Danny Merchant for the renovation of the existing building at 870-872 Union St and the new unit addition at the rear of the lot. As an occupant living in the immediate vicinity of the proposed project, I support the proposed design represented in the Site Permit Set, dated 10/13/2015 and I believe this project will be positive for the neighborhood.

Sincerely,

A handwritten signature in blue ink, appearing to read "Brent Tam", written over a horizontal line.

Name: BRENT TAM

6/28/16

Date



March 18, 2016

San Francisco Planning Department  
1650 Mission St, Suite 400  
San Francisco, CA 94103

To Whom It May Concern,

As the current tenant of 870 Union Street, I have reviewed the design put forth by Riaz Design and Martinkovic Milford Architects on behalf of Danny Merchant for the renovation of the existing building at 870-872 Union St and the new unit addition at the rear of the lot. As an occupant living in the immediate vicinity of the proposed project, I support the proposed design represented in the Site Permit Set, dated 10/13/2015 and I believe this project will be positive for the neighborhood.

Sincerely,

  
Name: Kathryn Simpson

6/28/16  
Date



September 8, 2015

San Francisco Planning Department  
1650 Mission St, Suite 400  
San Francisco, CA 94103

To Whom It May Concern,

As the current owners of the property at 1930 TAYLOR ST., I have been contacted by Riaz Design, owner's representative for Daniel Merchant, to review the design for the renovation of the existing building at 870-872 Union St and new unit addition at the rear of the lot. As a neighbor in the immediate vicinity of the proposed project, I have reviewed the design represented in the attached "Neighbor Set", dated 8/27/2015. I support the proposed renovation, addition to the existing house, and the new rear yard unit addition.

Sincerely,

A handwritten signature in blue ink, appearing to read "Riaz Taplin", written over a horizontal line.

Name: RIAZ TAPLIN

9/27/15  
Date



March 18, 2016

San Francisco Planning Department  
1650 Mission St, Suite 400  
San Francisco, CA 94103

To Whom It May Concern,

As the current tenant of 872-A UNION ST, I have reviewed the design put forth by Riaz Design and Martinkovic Milford Architects on behalf of Danny Merchant for the renovation of the existing building at 870-872 Union St and the new unit addition at the rear of the lot. As an occupant living in the immediate vicinity of the proposed project, I support the proposed design represented in the Site Permit Set, dated 10/13/2015 and I believe this project will be positive for the neighborhood.

Sincerely,

A handwritten signature in blue ink, appearing to read "Thomas J. Cunningham".

THOMAS J. CUNNINGHAM

04/28/16  
Date

Name:




September 8, 2015

San Francisco Planning Department  
1650 Mission St, Suite 400  
San Francisco, CA 94103

To Whom It May Concern,

As the current owners of the property at 1928 Taylor st, I have been contacted by Riaz Design, owner's representative for Daniel Merchant, to review the design for the renovation of the existing building at 870-872 Union St and new unit addition at the rear of the lot. As a neighbor in the immediate vicinity of the proposed project, I have reviewed the design represented in the attached "Neighbor Set", dated 8/27/2015. I support the proposed renovation, addition to the existing house, and the new rear yard unit addition.

Sincerely,

DocuSigned by:  
  
5800E797E6BA46A...

Name: Sean Collins

10/29/2015

Date





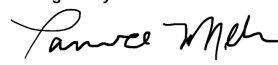
September 8, 2015

San Francisco Planning Department  
1650 Mission St, Suite 400  
San Francisco, CA 94103

To Whom It May Concern,

As the current owners of the property at Tanvee Mehra 1928 Taylor, I have been contacted by Riaz Design, owner's representative for Daniel Merchant, to review the design for the renovation of the existing building at 870-872 Union St and new unit addition at the rear of the lot. As a neighbor in the immediate vicinity of the proposed project, I have reviewed the design represented in the attached "Neighbor Set", dated 8/27/2015. I support the proposed renovation, addition to the existing house, and the new rear yard unit addition.

Sincerely,

DocuSigned by:  
  
8F066042A2C04A3...

Name: Tanvee Mehra

9/10/2015

Date



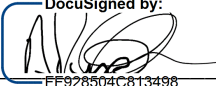
September 8, 2015

San Francisco Planning Department  
1650 Mission St, Suite 400  
San Francisco, CA 94103

To Whom It May Concern,

As the current owners of the property at 10-12 Aladdin Terrace, I have been contacted by Riaz Design, owner's representative for Daniel Merchant, to review the design for the renovation of the existing building at 870-872 Union St and new unit addition at the rear of the lot. As a neighbor in the immediate vicinity of the proposed project, I have reviewed the design represented in the attached "Neighbor Set", dated 8/27/2015. I support the proposed renovation, addition to the existing house, and the new rear yard unit addition.

Sincerely,

DocuSigned by:  
  
FF928504C813498...

Name: Russ Taplin

9/16/2015

Date



November 6, 2015

San Francisco Planning Department  
1650 Mission St, Suite 400  
San Francisco, CA 94103

To Whom It May Concern,

As the current owners of the property at 33 Aladdin Terrace, I have been contacted by Riaz Design, owner's representative for Daniel Merchant, to review the design for the renovation of the existing building at 870-872 Union St and new unit addition at the rear of the lot. As a neighbor directly adjacent to the proposed project, I have reviewed the design displayed in the attached "Neighbor Set", dated 8/27/2015. I support the proposed renovation and addition to the existing house and the new rear yard unit addition.

Sincerely,

X   
E9D747C0EB01436...  
Name: Andy Astor

11/6/2015

Date



November 6, 2015

San Francisco Planning Department  
1650 Mission St, Suite 400  
San Francisco, CA 94103

To Whom It May Concern,

As the current owners of the property at 33 Aladdin Terrace, I have been contacted by Riaz Design, owner's representative for Daniel Merchant, to review the design for the renovation of the existing building at 870-872 Union St and new unit addition at the rear of the lot. As a neighbor directly adjacent to the proposed project, I have reviewed the design displayed in the attached "Neighbor Set", dated 8/27/2015. I support the proposed renovation and addition to the existing house and the new rear yard unit addition.

Sincerely,

DocuSigned by:  
  
x \_\_\_\_\_  
E4A5C6872F07400...  
Name: Lisa Bayne Astor

11/6/2015

\_\_\_\_\_  
Date



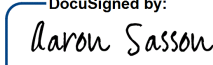
September 8, 2015

San Francisco Planning Department  
1650 Mission St, Suite 400  
San Francisco, CA 94103

To Whom It May Concern,

As the current owners of the property at 850 Union, I have been contacted by Riaz Design, owner's representative for Daniel Merchant, to review the design for the renovation of the existing building at 870-872 Union St and new unit addition at the rear of the lot. As a neighbor in the immediate vicinity of the proposed project, I have reviewed the design represented in the attached "Neighbor Set", dated 8/27/2015. I support the proposed renovation, addition to the existing house, and the new rear yard unit addition.

Sincerely,

DocuSigned by:  
  
0737A3E548E24A7...

Name: Aaron Sasson

10/13/2015

Date



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President Rodney Fong  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

cc: Commissioners Dennis Richards, Rich Hillis, Christine Johnson, Joel Koppel, Myra Melgar, Kathrin Moore, Jonas Ionin - Commission Secretary, Scott Sanchez - Zoning Director, Mark Luellenn - Quadrant 3 Team Leader, Nicholas Foster - Quadrant 3 Project Planner

Re: Discretionary Review Hearing for 870 Union Street / Lot 020 / Block 0100  
Permit Application Numbers: #2015.11.13.2622 and #2015.11.13.2623  
Discretionary Review Request: 2015-007313 DRP-04

Dear President Fong and Commissioners:

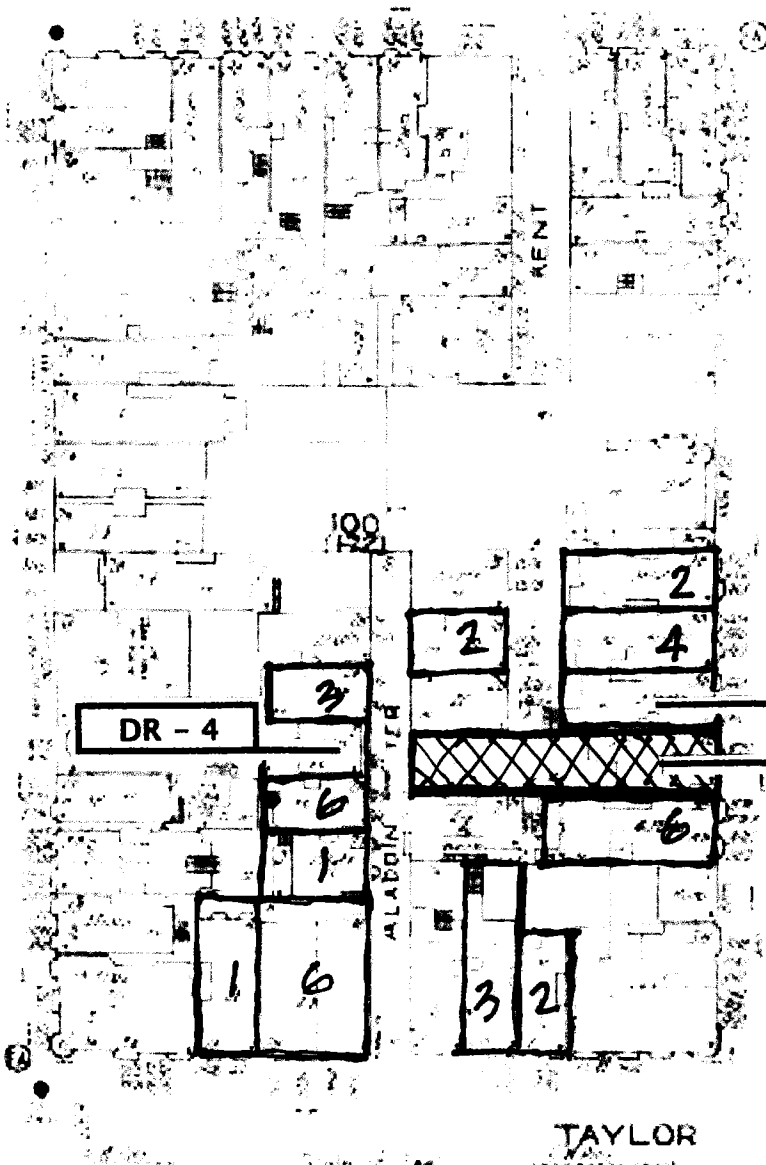
Russian Hill residents and neighbors have signed this letter in order to express support for and agreement with the applicant for Discretionary Review of the proposed construction project at 870 Union Street. We are requesting that design modifications be required to bring the project into greater conformance with the Residential Guidelines, and compliance with Planning Code dimensional criteria for yards, common open space, and unit exposure such that there will be no necessity for Variances.

It is important to recognize the context of the existing built environment in this location. Development on the block is very dense, due to intense re-building after the 1906 earthquake and fire, and the additional circumstance that the overall block is partially sub-divided by two east-west dead-end alleys, Kent Street and Aladdin Terrace. Open space within the confines of the block is severely compressed and substandard as compared to current code requirements. The result is a tightly packed, fine-grained residential neighborhood, a mix of unassuming architectural expression, and a friendly pedestrian-oriented setting on Aladdin Terrace.

The Residential Design Team and a Notice of Planning Dept. Requirements have directed the developers to make certain changes to the proposed design. However, these modifications are not sufficient with respect to balancing the opportunity for building a new unit of housing with a respectful acknowledgement of the surrounding intimate, small-scale neighborhood. We are requesting further modifications in order to retain a reasonable degree of visual access to the very limited mid-block open space, access to light and air, and to address privacy concerns resulting from the proposed project's incongruously large glazed openings in such close proximity to neighboring residences.

In addition, we share the DR requestor's concern that destruction of the existing weathered concrete retaining wall, on Aladdin at the northern property line of 870 Union, for installation of a garage entry at the mid-point of the alleyway will erode the pedestrian-friendly character of the setting. Existing garage spaces located at the eastern and western ends of Aladdin were permitted in 2005 and 2008; they should be seen as examples of recent, unfortunate, and negative precedents, not as justification for further automotive intrusion. The subject property is a through-lot, with the unusual opportunity to provide parking access to the entire site for all vehicles by means of the existing garage entry at the Union Street side of the property. Please do not allow this charming and intimate space to be turned completely into a driveway.

FILBERT



DR - 5

DR - 1  
DR - 2  
DR - 3

SUBJECT  
PROPERTY  
870  
UNION ST.

UNION

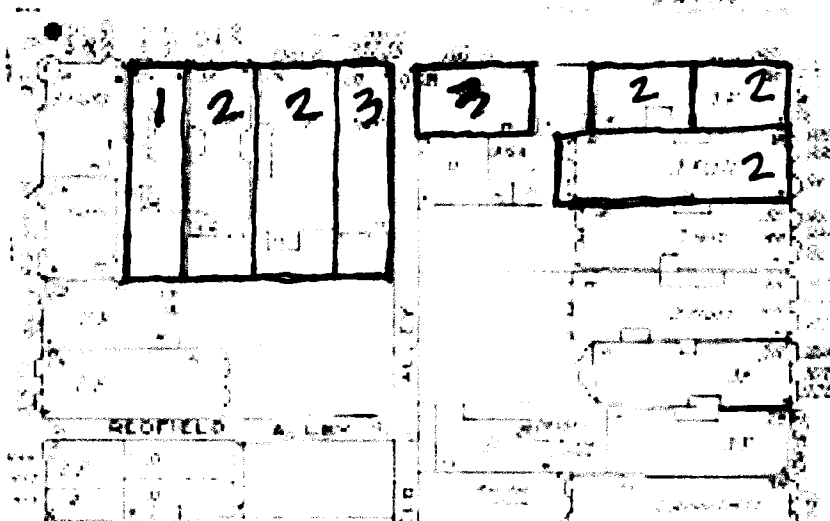
TAYLOR

ALADDIN TER

3

Indicates number  
of signatures  
per property

**Neighborhood Map**  
showing location of  
Subject Property,  
DR Requestors, and  
neighbors who have  
signed the petition  
opposing the project


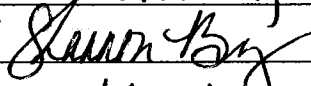
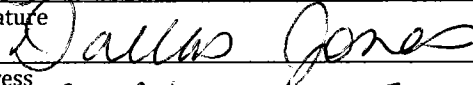
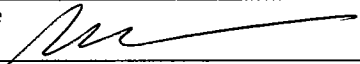
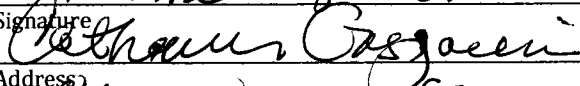
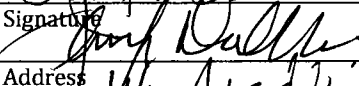




**Petition re: Discretionary Review Hearing for 870 Union Street / Lot 020 / Block 0100**

Neighbors and residents on Russian Hill have signed this letter in order to express support for and agreement with the applicants for Discretionary Review of the proposed construction project at 870 Union Street. We are asking that further design modifications be required in order to bring the project into greater conformance with the Residential Guidelines, and compliance with Planning Code criteria such that there will be no necessity for Variances. We respectfully request the Planning Commission and the Zoning Director to take the actions noted below, thus ensuring an improved project: one that balances the opportunity for developing a new unit of housing with appropriate consideration of existing context, retaining access to light, air and mid-block open space for adjacent residences, and protecting the pedestrian-friendly setting on Aladdin Terrace.

- (1) deny the requested Variances for the rear yard, common open space, and unit exposure;
- (2) require setbacks or articulation at the south façade of the new building in order to reduce privacy impacts on adjacent properties;
- (3) require the size and proportions of new glazed door and window openings to be reduced;
- (4) require the existing Union Street garage entry to be used for all auto access to the site;
- (5) require the existing retaining wall on Aladdin to be incorporated in the finished project.

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1	Print Name <b>PETER KAREL</b>	2	Print Name <b>Shannon Brady</b>
	Signature 		Signature 
	Address <b>28 Aladdin Terrace</b>		Address <b>28 Aladdin Terrace</b>
	Email or Phone <b>415-944-0291</b>		Email or Phone <b>705-342-6234</b>
3	Print Name <b>Dallas Jones</b>	4	Print Name <b>B. Fritz Golden</b>
	Signature 		Signature 
	Address <b>28 Aladdin Terrace</b>		Address <b>882 Union St</b>
	Email or Phone <b>415-608-9036</b>		Email or Phone <b>415-346-7007</b>
5	Print Name <b>Catherine Gasparini</b>	6	Print Name <b>Jennifer Dobronowski</b>
	Signature 		Signature 
	Address <b>882 Union Street</b>		Address <b>14 Aladdin Terrace</b>
	Email or Phone <b>(415) 346-7007</b>		Email or Phone <b>415-378-7664</b>
7	Print Name <b>Sharry Wright</b>	8	Print Name <b>DAVID WRIGHT</b>
	Signature 		Signature 
	Address <b>893 Union Street</b>		Address <b>893 Union St.</b>
	Email or Phone <b>Sharry.Wright@gmail.com</b>		Email or Phone <b>DWRITE@SBCGLOBAL.NET</b>

**Petition re: Discretionary Review Hearing for 870 Union Street / Lot 020 / Block 0100**

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1	Print Name <i>Scott Williams</i>	2	Print Name <i>Alma Williams</i>
	Signature <i>[Signature]</i>		Signature <i>[Signature]</i>
	Address <i>858 Union St</i>		Address <i>858 Union St.</i>
	Email or Phone <i>swilliams@soti.com</i>		Email or Phone <i>chenhugh@comcast.net</i>
3	Print Name <i>Chandler Williams</i>	4	Print Name <i>HUGH WILLIAMS</i>
	Signature <i>[Signature]</i>		Signature <i>[Signature]</i>
	Address <i>858 Union St.</i>		Address <i>858 Union St.</i>
	Email or Phone <i>415 407 4004</i>		Email or Phone <i>415 652-8484</i>
5	Print Name <i>PAUL SKALDIN</i>	6	Print Name <i>Carla Pauli</i>
	Signature <i>[Signature]</i>		Signature <i>[Signature]</i>
	Address <i>1901 TAYLOR ST</i>		Address <i>1901 Taylor St.</i>
	Email or Phone <i>(415) 462-6241</i>		Email or Phone <i>(415) 462-6241</i>
7	Print Name <i>RICHARD HARRIS-DEANS</i>	8	Print Name <i>KEITH WAINSCHEL</i>
	Signature <i>[Signature]</i>		Signature <i>[Signature]</i>
	Address <i>1938 TAYLOR ST</i>		Address <i>1935 TAYLOR ST.</i>
	Email or Phone <i>(415) 673 7071</i>		Email or Phone <i>(973) 714-1107</i>



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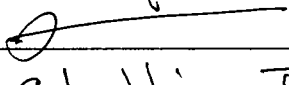
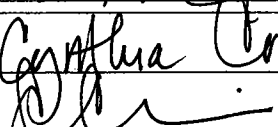
1	Print Name <i>William Hill</i>	2	Print Name <i>Jennifer Hill</i>
	Signature <i>William Hill</i>		Signature <i>Jennifer Hill</i>
	Address <i>1922 Taylor</i>		Address <i>1920 Taylor St</i>
	Email or Phone <i>HILLPRIMANAGER@SEAGRAM</i>		Email or Phone <i>JenniferHill@gmail.com</i>
3	Print Name <i>Doris DeLuca-Hill</i>	4	Print Name <i>Eileen Coleman</i>
	Signature <i>Doris DeLuca-Hill</i>		Signature <i>Eileen Coleman</i>
	Address <i>1922 Taylor St</i>		Address <i>1949 Taylor St</i>
	Email or Phone <i>ddcrafts@ymail.com</i>		Email or Phone
5	Print Name <i>SUZANNE Klotz</i>	6	Print Name <i>PAUL D SMITH</i>
	Signature <i>Suzanne Klotz</i>		Signature <i>Paul D Smith</i>
	Address <i>992 Union St, SF CA</i>		Address <i>1949 TAYLOR ST</i>
	Email or Phone <i>415 6738649</i>		Email or Phone
7	Print Name <i>Lynnet Spinks</i>	8	Print Name <i>Miguel Carranza</i>
	Signature <i>Lynnet Spinks</i>		Signature <i>Miguel Carranza</i>
	Address <i>1934 TAYLOR ST.</i>		Address <i>1934 Taylor St.</i>
	Email or Phone <i>Lynnet mince jessup st. hill</i>		Email or Phone

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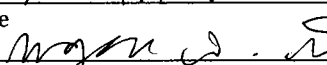
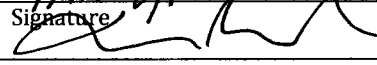
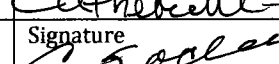
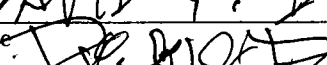
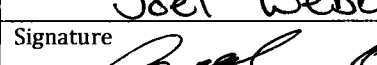
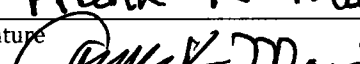

1	Print Name Susan E Watson	2	Print Name Philip Warton
	Signature Susan E Watson		Signature 
	Address 1936 Taylor St SF		Address 16 Aladdin Terrace SF CA 94132
	Email or Phone sewatsonSF@yahoo.com		Email or Phone philwarton@gmail.com
3	Print Name Cynthia Cristilli	4	Print Name Lance Maderville
	Signature 		Signature Lance Maderville
	Address 878 Union		Address 878 Union St
	Email or Phone 415 359-4905		Email or Phone 415 433-3753
5	Print Name NICOLAS FIGONE	6	Print Name ROSE ALICE COLEMAN
	Signature Nicolas Figone		Signature Rose Coleman
	Address 1937 Taylor		Address 1943 TAYLOR ST. SF 94133
	Email or Phone 415 420 2807		Email or Phone
7	Print Name BARRON STOREY	8	Print Name Petra Davis
	Signature Barron Storey		Signature Petra Davis
	Address 852 Union Street.		Address 852 UNION
	Email or Phone rossbarronstorey@aol.com.		Email or Phone 415-673-0580

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1	Print Name MAYA ROT	2	Print Name MARYANNE BRADY, RN
	Signature 		Signature 
	Address 1935 Taylor St.		Address 30 ALADDIN TR. SF
	Email or Phone 510.690.5205		Email or Phone mbrady.consulting@gmail.com
3	Print Name Catherine Soden	4	Print Name A. James Nikas AF
	Signature 		Signature A. James Nikas AF
	Address 1932 Taylor		Address 30 Aladdin Terrace
	Email or Phone casoden@yahoo.com		Email or Phone jimnikas@gmail.com
5	Print Name DAVID V. DUNK	6	Print Name Joel Webber
	Signature 		Signature 
	Address 1544 TAYLOR ST.		Address 28 A Aladdin Terrace
	Email or Phone 415-775-2574		Email or Phone web 540 798 3625
7	Print Name Frank K Mari	8	Print Name DEANNA ABNEY
	Signature 		Signature 
	Address 18 Aladdin Terrace		Address 1955 Taylor St.
	Email or Phone (415) 699-8903		Email or Phone DeannaAbney@SBCglobal.net

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1	Print Name WADE S. WRIGHT	2	Print Name Elizabeth M. Keim
	Signature [Signature]		Signature [Signature]
	Address 897 UNION ST 94133		Address 897 Union Street SFCA
	Email or Phone 415 775-6420		Email or Phone 415. 775. 6420
3	Print Name GARRIE DAVIS	4	Print Name JACK HIRSCHMAN
	Signature [Signature]		Signature [Signature]
	Address 36 Aladdin Terrace 94133		Address 858A Union St. 94133
	Email or Phone 415. 335. 9420		Email or Phone 415-361-8095
5	Print Name AGNETA FALK HIRSCHMAN	6	Print Name ALEXANDRA LEE CEFALO
	Signature [Signature]		Signature [Signature]
	Address 858A UNION STREET. 94133		Address 904 UNION ST
	Email or Phone 415 - 931 - 2127		Email or Phone 415 673 3756
7	Print Name Edward Bensi	8	Print Name JORIE CRAIG
	Signature [Signature]		Signature [Signature]
	Address 904 UNION ST SFCA 94133		Address 878 A UNION ST.
	Email or Phone ebonsi@beart.com		Email or Phone urkding@gmail.com 415 244 7556

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<b>1</b> Print Name LIANA G. PELLA	<b>2</b> Print Name Robert HORVATH
Signature <i>Liana G. Pella</i>	Signature <i>Robert Horvath</i>
Address 880 Union St	Address 1934 Taylor St.
Email or Phone 415-771-4420	Email or Phone 415 601 8853
<b>3</b> Print Name ED CAUTERIS JR	<b>4</b> Print Name EVAN WADDELL
Signature <i>Ed Cauteris Jr</i>	Signature <i>E. Waddell</i>
Address 1941 Taylor St	Address 1916 Taylor St.
Email or Phone 415-889-3914	Email or Phone (310) 418-6870
<b>5</b> Print Name Henry Dillon Berrey	<b>6</b> Print Name Matthew Mitchell
Signature <i>Henry Berrey</i>	Signature <i>Matthew Mitchell</i>
Address 1917 Taylor St	Address 1917 Taylor St.
Email or Phone 253-732-9665	Email or Phone 650-279-7331
<b>7</b> Print Name LINDA DOTY	<b>8</b> Print Name Michael Foy
Signature <i>Linda Doty</i>	Signature <i>M. Foy</i>
Address 908 Union St.	Address 908 Union St.
Email or Phone 415-990-1992	Email or Phone aracoda@earthlink.net



**Re: Discretionary Review Hearing for 870 Union Street / Lot 020 / Block 0100**

Approval of the project as currently designed will (a) intensify negative impacts resulting from the existing deficient and non-conforming mid-block open space; and (b) undermine decades of professional consideration and sound reasoning which form the basis of our planning guidelines and regulations for new development.

We respectfully request the Planning Commission and the Zoning Director to require modifications that will result in an improved project, balancing the opportunity for developing a new unit of housing with a respectful acknowledgement of the existing context, as noted below.

- (1) deny the requested Variances for the rear yard, common open space, and unit exposure;
- (2) require the height of the proposed rear-yard building to be reduced in height by one floor;
- (3) direct the developers to reduce the size and proportion of glazed openings at the south façade of the existing building and the north and south facades of the new building;
- (4) require the existing Union Street garage entry to be used for all automobile access to the site.

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<b>1</b>	Print Name <i>Raymond Lew</i>	<b>2</b>	Print Name <i>MAUREEN McCaffrey</i>
	Signature <i>Raymond Lew</i>		Signature <i>Maureen McCaffrey</i>
	Address <i>669 Union St. San Francisco 94133</i>		Address <i>1919 Taylor St.</i>
	Email / Phone Optional		Email / Phone Optional <i>415-819-7160</i>
<b>3</b>	Print Name <i>Alexandra McAleer</i>	<b>4</b>	Print Name
	Signature <i>Alexandra McAleer</i>		Signature
	Address <i>1916 Taylor St, SF 94133</i>		Address
	Email / Phone Optional <i>310-572-3031</i>		Email / Phone Optional
<b>5</b>	Print Name	<b>6</b>	Print Name
	Signature		Signature
	Address		Address
	Email / Phone Optional		Email / Phone Optional
<b>7</b>	Print Name	<b>8</b>	Print Name
	Signature		Signature
	Address		Address
	Email / Phone Optional		Email / Phone Optional

**From:** [Jes Berg](#)  
**To:** [Foster, Nicholas \(CPC\)](#)  
**Subject:** 311 for 870 Union: resident concerns for proposed project  
**Date:** Tuesday, July 19, 2016 5:13:48 PM

---

Hi Nicholas,

I am a long time resident at 868 Union Street and I am writing to voice my concern about the proposed project at 870 Union. The permit number for the existing building is 201511132622 and the permit number for the new building is 201511132623.

The addition of a fourth floor to the existing building will have a direct negative impact to our current access to light and air. My floor will now be dwarfed by the addition level and the new floor will impact the light comes into our light well. An addition of a fourth floor seems unnecessary when there is an entirely new building being constructed on the northern half of the lot.

The new construction brings additional concerns of light and air. The mid-block open space will now be cut off by the new building. There will be reduced air circulation and an overall drop in ambient light. Our common garden area on the 1st floor will have significant reductions in light due to the new building.

The new building also brings privacy concerns. The proposed new building feels very close and this was made very clear by the story poles that were put in place. The new building does not have to be this close and the planning code agrees because the project applicants have filed three variances to reduce the distance between our building and the proposed new building.

The owners have a right to build and invest on their property and I am supportive of that, but I am asking for some consideration be given to the negative impact the two permits will have on the quality of life for all of the neighbors.

Thank you,

Jessica Berg

Resident, 868 Union Street, SF

805.390.2020

[jberg365@gmail.com](mailto:jberg365@gmail.com)

**From:** [Jim Nikas](#)  
**To:** [Foster, Nicholas \(CPC\)](#); [Luellen, Mark \(CPC\)](#)  
**Subject:** Request for Redesign and Rejection of Proposed Development of 870 Union Street for Existing Building Permit Number 201511132622 and New Building Permit Number 201511132623  
**Date:** Wednesday, December 02, 2015 6:47:29 AM  
**Attachments:** [870 Union Street Request 28-30 Aladdin Terrace.pdf](#)

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Dear Nicholas Foster and Mark Luellen:

I live at and co-own 28-30 Aladdin Terrace. San Francisco, CA 94133. We are very concerned about the recent development proposal at 870 Union Street. From our perspective it seems that general expansion of the 870 Union Street property could be accomplished by a reasonable horizontal addition of the existing three unit building. Further, there is existing parking for the existing three units and no compelling need to add an additional garage for additional parking.

The proposed development under permit applications, Existing Building Permit Number 201511132622 and New Building Permit Number 201511132623, compromises the safety and quality of life to residents and visitors of Aladdin Terrace. It is not in keeping with the historical character of the little alley. I offer the following review in support of my position and ask that you disallow the placement of a garage in Aladdin Terrace as per proposed and ask that the owners of 870 Union consider a less intrusive and threatening alternative to their building proposal.

For the record I support the right of the 870 Union Street owners to develop their property. I am simply asking that there be reasonable consideration given to that development such that its impact is minimal on Aladdin Terrace residents and visitors regarding safety, quality of life, and historical preservation.

Thank you.

Sincerely,

Jim Nikas  
30 Aladdin Terrace

--

"This email and the information it contains are confidential and may be privileged. If you have received this email in error please notify me immediately. You should not copy it for any purpose, or disclose its contents to any other person. Internet communications are not secure and, therefore, GeoVerde Corp. does not accept legal responsibility for the contents of this message as it has been transmitted over a public network. If you suspect the message may have been intercepted or amended please call me."

## **Review Request for 870 Union Street Proposed Development Elements Affecting Residents of Aladdin Terrace**

### **Proposed Development of 870 Union Street for Existing Building Permit Number 201511132622 and New Building Permit Number 201511132623**

#### **1) Loss of Light**

A) There is a precedent in other areas of San Francisco for height districts of 85 feet or less, regardless of alley orientation, that street wall height at property line should be no greater than 1.25x alley width. *Aladdin Terrace Alley width is approximately 16' 4", this allows for a 20.41 wall height with set back of about 15 feet above that.*

B) Aladdin is an East - West aligned alley and is height district of 85 feet or less. Development on the south side of the alley (the proposed 870 Union Street project) should be sculpted to retain sunlight on the north sidewalk of the alley, assuming a 5 foot walkway. Putting in the proposed building would significantly block sunlight to the already compromised North side of the East-West aligned alley. **Please consider the precedent of other areas in San Francisco along with the historical nature of the neighborhood. Please do not allow it to be built as proposed.**

#### **2) Garage History**

When construction of buildings on Aladdin Terrace began over 100 years ago there were few cars on the road. Over the last 12 years, garages have been added and or modified to provide off-street spaces for eight cars. In addition a single non-garage space was identified at the end of the alley resulting in nine cars utilizing the alley (please recall that Aladdin Terrace has a narrow width of approximately 16' 4" measured at the approximate center point between 22 Aladdin Terrace and the Aladdin Terrace property side of 870 Union Street.

Drivers of cars coming and going out of the garages have obstructed views in a very narrow alley and in part because the alley is narrow vehicles have struck property on buildings opposite the garages and have had near collisions with pedestrian using the alley for ingress and egress. In addition, most of the cars entering and exiting the existing garages cannot do so in one attempt. They must jockey back and forth to enter and exit the garages. This results in idle time, noise for residents, exhaust and delay in access to anyone wanting to enter the alley on foot or for a pick up or delivery.

Further, the introduction of short term rental uses for property on Aladdin Terrace have increased pedestrian and traffic usage of the alley by people who are unfamiliar with the confined space thus creating additional potential safety issues due to the vehicular traffic usage by persons unfamiliar with the alley.

There are an estimated four to six units out of the eleven existing buildings on the south and north sides of the alley used for short term rentals. Irregardless, the endangerment to

property and potential threat to property damage will only increase if more garages are allowed to be added to the alley.

The reality is that many of the streets in San Francisco are narrow and were never meant to support higher volume automobile traffic let alone the garages that would house them. Again, Aladdin Terrace is only 16' 4" wide, adding yet another garage reduces quality of life, increases the chances of injury to pedestrians and property.

Adding more garages to an already congested small street that never meant to have garages added does not make sense. It not only poses threats to public safety for residents and visitors but it also negatively impacts a quality of life by adding traffic, noise, pollution and the inconvenience of traffic congestion to a confined space.

The alley has reached a saturation point regarding garages and vehicular traffic. Further development will place an undue hardship on residents quality of life and threaten pedestrian as well as property safety

Lastly, the garage for 870 Union **already exists** on the Union Street side. Union Street is a heavily trafficked street with a bus line. Access to newly created parking spaces if absolutely needed could be made from Union Street and would have little increased percentage impact on Union Street. Interior garage sound proofing could be added to the design so that Union Street neighbors on either side of 870 Union would not be impacted by noise. Again, if a garage were placed on Aladdin Terrace, it would present a significant detrimental increase in traffic and safety risk to Aladdin residents and visitors. **Please disallow it.**

### **3) Green Open Space**

For decades people living on and visiting Aladdin Terrace have enjoyed the existing open space and greenery of the quaint little alley. Proposed development of 870 Union Street will remove light and greenery from the alley. It will also remove the little parklet sitting spaces that have been created and used for decades by residents and visitors alike.

**4) Historical Integrity-** There are few if any other alleys like Aladdin Terrace in the area. The charm and green spaces such as the parklets created by micro-interventions in San Francisco, more specifically the greenery of Aladdin Terrace, its light and little sitting spaces help uplift the spirit of residents, visitors and even the short-term renters using Aladdin Terrace. The center block of Aladdin Terrace contains a parklet that although unofficial has been in place for over twenty years adding a green respite and sense of open space enjoyed by all who live and visit Aladdin Terrace. More garages, more cars and development do not add to the quality of life but subtract from it and would destroy the parklet and the little open space it provides.

Many of the building in the alley are over 100 years in age, some have unique architectural elements that when all totaled create a special quality to the alley. The modern look of the proposed new building is not in keeping with the historical character



of Aladdin Terrace. The uniqueness of Aladdin Terrace has resulted in its being used for film locations *Contagion* and *So I married an Axe Murderer* to name a couple.

**REQUEST:** Please disallow any Aladdin Terrace placement of a proposed garage for 870 Union Street. They have plenty of parking and access already from the existing Union Street garage. There is no need to compromise the safety and quality of life for dozens of people and property owners on Aladdin Terrace for the sake of one property owner. Secondly, please do not allow a light blocking structure to be built when there are less obstructive alternatives to expanding the size of 870 Union Street.

January 15, 2015

Via Email: [nicholas.foster@sfgov.org](mailto:nicholas.foster@sfgov.org) and [mark.luellen@sfgov.org](mailto:mark.luellen@sfgov.org)

Nicholas Foster and Mark Luellen  
San Francisco Planning Department

RE: Concerns about the propose renovation and construction at 870 Union Street (Block 0100/Lot #20);

- Variance application 2015-007313VAR.
- Building Permit applications 201511132622 and 201511132623;

Dear Mr. Foster and Mr. Luellen:

My wife and I are residents at 882 Union Street, immediately adjacent to the 870 Union Street property subject to various applications before you. We have lived in the third floor flat of the building for 13+ years.

As outlined below, we are concerned with several aspects of the project being proposed on the 870 Union property, a through lot extending from Union to Aladdin Terrace, a narrow dead end street on the north side of the property.

1. The existing 3-unit building facing Union Street (Units 1, 2, and 3 in plans) currently garages 4 vehicles. As there already is parking for 4 vehicles on the property, it is not clear why there would be a need to add a garage to the additional structure (Unit 4 on plans) proposed at the rear of the lot. Sufficient parking is available and easily accessible to all current and future residents of all units via the existing garage. Or it can be configured to allow sufficient parking. The space designated in the applicant's plans for parking at Unit 4 would better be used as part of the living space. Eliminating the garage at Unit 4 allows the proposed addition space to better occupy the lot without a loss of square footage or the need for the sunken rear courtyard.
2. It is proposed to excavate the existing rear yard as well the ground under a portion of the existing building, lowering the lot by about 12 feet to accommodate Unit 4 and add an additional subterranean level as part of Unit 1.
  - a. The resulting shared 'courtyard' between the units on Union Street and the proposed house at the rear of the lot would be well below the adjacent properties. If the existing yard is lowered so as to accommodate the proposed construction, this will establish a precedent for other property owners in the area seeking to excavate downward to add or expand units. Where would that end?
  - b. A shadow analysis provided by the applicant is inaccurate. The proposed courtyard would rarely, if ever, have direct sunlight, but would be in deep shadow virtually all of the time. Specifically, the shadow analysis did not consider that the rear yard of the property to the west of the site (i.e., where we live) is approximately 5 feet higher than the existing elevation of the yard behind 870 Union. Lowering the applicant's yard by 12 feet, as proposed, would increase the ground elevation difference to 17 feet at a minimum. Then, adding a fence at the top of the retaining wall (say 6 feet) for safety and privacy at our property would result in the courtyard have an effective depth of at least 23 feet as measured on the west side, the only place where any sun penetration is possible. The effect of this 23-foot wall should be considered when evaluating light in the courtyard. Also, the shadow analysis appears to have failed to consider the existing wooden fire escape/external

stairs on the building behind us that faces Aladdin. This stair structure also would block sunlight in the afternoon.

- c. If the Department approves the application, you must advise the applicant of the need to obey a number of laws: the Federal Migratory Bird Treaty Act (e.g., section 703), California State Code (e.g., Title 14, Chapter 1, Section 251.1), and the San Francisco County Municipal Code (Sec. 5.08) – all of which address and prohibit impact to birds. The existing rear yard has a substantial number of trees and shrubs (inaccurately illustrated in the plan drawings), providing mid-block open space as well as habitat. Every year we have observed numbers of birds using the vegetation for both roosting and nesting. Removing or disturbing an occupied nest or one under construction is subject to several laws, including the Migratory Bird Treaty Act, a federal law administered by the US Fish and Wildlife Service (USFWS). This law limits disturbance to the period outside of nesting season – when young birds have fledged and nests are no longer occupied or being built. Prohibitions include harassment and disturbance due to activities in the vicinity of the nest. This would include construction, excavation, use of noisy equipment and vehicles, etc. The effects considered apply to both the subject property as well as any adjacent areas where birds may be nesting, typically out to a distance of 50 feet. The law is followed in San Francisco. For example, recently, PG&E had to establish a no-work/disturbance buffer around a street tree on Folsom Street where the utility was working, because there was a hummingbird nest in the tree. After the nest was no longer occupied, the restriction was lifted. As you know, San Francisco is particularly sensitive about birds, to the extent of even taking on liability for trees used for nesting and roosting on Telegraph Hill. Also, the City received a \$70,000 grant from the USFWS in 2011 to help develop and implement bird conservation projects. It would be ironic if quality bird habitat in the city were eliminated, after the city accepted funds to achieve the opposite outcome.
- d. On Construction Plan sheet A112, it is not clear where the second means of egress is for Unit 2, but perhaps I am not reading the drawings correctly or perhaps it is not required as a second floor unit; however, this would be a third floor unit viewed from the rear if the courtyard were sunk and Unit 1 were two stories high. This would mean anyone trapped at the rear of the unit would have to drop out a window three stories above the courtyard.
- e. The existing roof at 870 Union has large air handling or heating units extending 5 feet or so above the roof line. Plans for the proposed project do not indicate if there will be any appurtenances on the proposed roof after construction. This is an important consideration for views from other properties and the existence of any elements above the roof should be confirmed and reported to neighbors. We live uphill from the locally notorious Crystal Tower apartments at 2140 Taylor, which were slipped past the neighbors many years ago and continues to blight the neighborhood (and to violate the city code with regard to light spillage off the property from its exterior lighting). This planning mistake was an important impetus to establishing current City standards and expectations for building heights and character. It is important to know exactly what the finished product at 870 Union would look like, including elements above the roofline.
- f. The loss of mid-block open space will have an adverse effect on the neighborhood, and especially the immediate neighbors. That would include all of the 7 or 8 units in the buildings to each side of 870 Union as well as the homes on both sides of the lot at Aladdin as well as the several units across Aladdin from the rear of the property. While one can

understand the applicant's desire to maximize the value of the property for future sale by adding a unit and renovating units, the addition of a single-family abode in the City needs to be balanced against the adverse effects to a score of neighbors. For 70 or more years this has been an open space and sequential owners have maintained it as such.

- g. It is my understanding that the proposed project requires that the lot be more than 3,000 sq. ft. in order to do what is proposed. The applicant represents that it meets this standard by having 3015 sq. ft., putting them .005% over the standard. Given this very slight amount and that the lot dimensions on public records were determined many decades ago by unknown methods and may not be accurate, I trust that a proper survey will be required to ensure all dimension are as represented in the application and meet code requirements.

I appreciate your attention to these concerns. I was a decades-long member of AICP and am a planner by training and have 40 years of professional experience. Therefore, I recognize the difficulties inherent in evaluating and considering projects in an urban environment. I am sure that you will provide a thoughtful and fair assessment of the project, considering both the applicant and the affected neighbors.

Would you also be sure I am on any mailing or notification list regarding the project to receive any distributed information? Thank you.

Best Regards,

Fritts Golden  
882 Union Street  
San Francisco, CA 94133  
fgolden@aspeneg.com

**From:** [Jen Dobrowolski](#)  
**To:** [Foster, Nicholas \(CPC\)](#)  
**Cc:** [Luellen, Mark \(CPC\)](#)  
**Subject:** Resident Concerns re: 870 Union Street Construction Plan  
**Date:** Sunday, November 22, 2015 8:07:28 PM

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Greetings!

I am a long-time resident at 14 Aladdin Terrace, SF 94133 and am writing to voice my concerns about the proposed project at 870 Union.

Existing Bldg. permit number: [201511132622](#)

New Bldg. Permit Number: [201511132623](#)

Impact of construction of the residents of Aladdin Terrace:

If allowed, the equipment and materials will block access for the duration of construction. As the street is a dead-end, cul-de-sac, we have only one way in/one way out and crews and materials will be a hinderance to access to our homes.

Additionally, this would be a public safety concern. Emergency vehicles would not be able to access our residences if needed. Bear in mind that there is an elderly resident with home health care assistants located in the top unit of my building (#18 Aladdin) and if she had an emergency medical situation, which has happened, she would not be able to be reached in a timely manner.

Environmental Safety:

Has an environmental impact report on this building and the Aladdin Terrace facing wall been completed? The potential release of any number of hazardous materials that would have been used in the original construction would be released into the air and have a negative impact on residents.

Impact on Open Space:

Aladdin Terrace is considered an 'open space' that provides community space for all of the residents. Not only would the proposed construction impact this, but the proposed garage and the vehicle activity and traffic on the street would basically end the functionality and use of the space for ALL residents.

Residents' safety and vehicles:

The layout of this street is not wide enough to SAFELY accommodate cars. The two garages that have been added to the street in the past few years have created unsafe situations with drivers attempting to turn their vehicles around in this cramped space that was never intended to accommodate cars. This results in a dangerous environment for any of us that are walking to and from our homes; any pets that live on the street; and any children running around. Additionally, the buildings that are directly opposite where the garages are located are in jeopardy of being hit (and indeed the building located on the corner of Taylor and Aladdin has been damaged by vehicles exiting the garage at 1828/1830 Union multiple times.)

Additionally, the idling vehicles create air pollution on our street. I am located in the bottom flat of the building and the minute I open my front door I am very often confronted with the idling back-end of a car attempting to pull out of the garage across the street from my residence. This impacts the health of residents on Aladdin Terrace.

Issues with the height of the proposed building:

The proposed height of the building would block out the sun that currently comes through to Aladdin. This would negatively impact the entire street, and most especially the residences that are directly across the street from the proposed project.

I am highly concerned about this plan for the reasons listed above and am hopeful that you will take my comments into consideration while reviewing this plan. I am opposed to a garage being added to 870 Union that has access from Aladdin Terrace, as well as the height of the building ruining the experience on Aladdin. While I understand and am completely in favor of the owner(s) of a building investing in their property and reconfiguring their space, I am opposed to the negative impact that this would have on so many neighborhood residents, as well as the character of the neighborhood itself. This is a very special part of San Francisco, and this plan would detract from the charm, uniqueness and quality of life on our street.

Thank you,

Jennifer Dobrowolski  
resident at 14 Aladdin Terrace, SF CA 94133



**From:** [kathryn tomlinson](#)  
**To:** [Foster, Nicholas \(CPC\)](#)  
**Subject:** Resending Opposition to Variance 870 Union St. Case 2015-007313VAR Brian Milford  
**Date:** Saturday, July 23, 2016 7:24:00 AM

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July 20, 2016

Nicholas Foster  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco 94103

Re: Case No. 2015-007313VAR Applicant: Brian Milford

To Whom It May Concern,

We are writing to oppose a variance requested for 870 Union Street. Our home is located on Green Street behind the subject property.  
The planning department notified us of this hearing due to the proximity of the property to our location.

The zoning regulations on our neighborhoods in San Francisco need to be adhered to by property owners. These codes were enacted for the purpose of controlling growth in an already dense area. The applicants should be required to follow the planning restrictions and requirements that are in place for the good of all San Francisco homeowners.

The green space requirements, height requirements, and particularly open space for each property are essential elements to maintaining a healthy balance of buildings, concrete and green space for our city.

This request for several variances involving increasing density and reducing green space should be denied. We would appreciate our objection being included in the public hearing scheduled for Wednesday, July 27, 2016.

Thank you for your consideration in this matter. Please send us notification that our objection to this variance has been received and will be included in the hearing.

James and Kathryn Granoff  
856 Green St. 5A  
San Francisco, CA 94133

**From:** [susan lam](#)  
**To:** [Foster, Nicholas \(CPC\)](#)  
**Subject:** building permit app. 2015.11.13.2622 and 2015.11.13.2623  
**Date:** Thursday, July 28, 2016 10:06:33 AM

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(870 Union St. SF 94133)

We oppose the building permit applications for the above construction because of noise, light, privacy and traffic concerns. The construction of the one story add on to the existing 3-story structure will affect residents on either side of the structure, and also result in loss of valuable (and scarce) street parking. Perhaps the developer could ensure that these problems could be mitigated by a less extensive project.

Concerned resident

Nicholas Foster and Mark Luellen  
San Francisco Planning Department

RE: Concerns about the proposed renovation and construction  
at 870 Union Street (Block 0100/Lot #20);  
Variance application 2015-007313VAR.  
Building Permit applications 201511132622 and 201511132623;

Dear Mr. Foster and Mr. Luellen,

As a long time resident of Aladdin Terrace (12 years as of this writing), I am deeply concerned about the proposed project. Aladdin terrace is a small, quaint setting, enjoyed by its residents as well as tourists for its quiet and slow paced use as a walkway to the views of Telegraph Hill and North Beach at the end of the alley, as well as a setting to sit and commune with neighbors, and with the many potted plants there.

My concerns have to do with the impact, both long term and short term, that this proposed project will have on life on the alley.

The proposal introduces the prospect of having another garage with the entrance on the alley. This will severely impact pedestrian use, and create dangers to children, dogs, and the other residents and visitors who use the alley. A very real example of one of my concerns is my landlady, Lena Meneguzzi, who is 99 years old, requires full time help, and frequently requires medical personnel to rush her to the hospital. Both during construction of this project, and after its completion, the end of this alley (where I live) would be much less accessible to emergency services. There are no other entrances to the alley than Taylor Street, which would effectively be blocked during construction and any time a car was entering or leaving the proposed garage.

Aside from the impact on the way of life we have on Aladdin, this proposed garage has the very real potential to damage buildings across the street, as evidenced from the continuous and repeated damage inflicted upon the building across from the existing garages. The alley is, in all respects, too narrow to have a garage.

Another impact would be from the proposed depth of the inner court between the new building and the existing building. If the three requested Variances are granted the project will simply add another non-conforming space to the already very confined mid-block space between buildings on Union and Aladdin. At the very least, the height of the new building should be reduced, which would lessen the negative impacts on mid-block space for residents in Union Street buildings and maintain access to sunlight for residents on Aladdin. Sunlight is a very real and obvious benefit that adds to the pleasure of living on Aladdin.

The proposal also includes installation of very large, ugly windows facing Aladdin. My bedroom windows face Aladdin, and in addition to the very poor stylistic choices the architects have chosen for these windows, which do not fit stylistically with the other buildings on Aladdin, there are serious privacy concerns.

Lastly I am concerned about the construction itself, especially if any contraction vehicles will be used on Aladdin. The noise, pollutants, and the blocking of the alley is something we have all experienced on previous project on Aladdin. No one here wants to see this again. Especially, for me, is the concern again about safely getting emergency vehicles in and out of the alley, which construction equipment, vehicles and personnel would effectively block.

Very sincerely yours,



Philip Warton  
16 Aladdin Terrace  
San Francisco, CA 94133

**Review Request for 870 Union Street Proposed Development Elements Affecting  
Residents of Aladdin Terrace  
Proposed Development of 870 Union Street for Existing Building Permit Number  
201511132622 and New Building Permit Number 201511132623**

**Variances**

After reviewing the San Francisco building codes and meeting multiple times with the project sponsor; it is apparent that this project as currently proposed will require numerous variances. Granting variances towards this project will undoubtedly change the spirit of our neighborhood. I would ask that no variances be granted for this project for the following reasons.

- a. Having rented in numerous locations throughout the city, from single family homes to multi-unit buildings I have never experienced a sense of community in San Francisco such as that on Aladdin Terrace. This narrow alley way serves as the social backbone for this neighborhood. Private stoop gardens have expanded into the alley creating open areas and green spaces for social gathering with vistas of Coit tower and beyond. Preserving this green, open, and light filled space makes for a more useful and attractive neighborhood. The narrow, dead end ally way of Aladdin Terrace is a part of the very fabric that knits together the Aladdin neighbors. It is a distinguishing and noteworthy landmark when describing Russian Hill as a whole. As are the small alleys of Macondray Lane and Fallon Place.
- b. As a part of your Priority Policies, "That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods." I would argue that the construction of this single family home will diminish the culture of our neighborhood. The proposal of a four story structure with garage shows no effort to neither preserve nor enhance the characteristics of Aladdin Terrace or the neighborhood as a whole. On any given day San Franciscans and tourists alike venture down Aladdin Terrace due to the gardens and vistas. Adding a four story single family home with garage in a back yard will greatly reduce light, green space to less than half, and add a significant amount of traffic via additional parking.
- c. My apartment is situated closest to this proposed structure (a mere 16' 4" away). A four story building will impact both air and light quality for my unit as well as other upper and lower units along Aladdin Terrace. I realize that there is no code pertaining directly to my concern regarding the preservation of light. However, when a project is seeking multiple variances I would hope the impact and subsequent result of granting these variances be reviewed in earnest and from a perspective of those who will endure future hardship and loss of quality of life.

- d. When the proposed project lot was purchased the codes for which variances need to be granted were in effect. To purchase a property with the future intent of applying for multiple variances in hopes of building a structure in a rear yard seems counter intuitive. Granting multiple variances for seemingly foreknown hardships seems in direct conflict with the purpose of the variance process.

### **Living Alley**

As per your current Market Octavia Program, "A Living Alley may be defined as a narrow, low-volume traffic street that is designed to focus on livability, instead of parking and traffic."

*"The main goal of Market and Octavia Living Alleys Program is to enable residents to engage in place making -- to create a public realm that strengthens the community, creates a sense of identity, and makes a more useful, safe, and attractive neighborhood."*

- a. As I touched on briefly above this is one of the reasons Aladdin Terrace is so unique within the cosmopolitan structure of San Francisco. The neighbors of Aladdin Terrace have created a space that is almost perfectly defined by your program. I am in admiration of your Market Octavia program as I think it will accomplish livability, interaction between neighbors, and result in a sense of community. I would ask that in conjunction with this project that it be a priority to preserve those "Living Alleys" already in existence.



From: mike hill <hillpropmanager@sbcglobal.net>  
Subject: 870 Union Project  
Date: December 10, 2015 at 7:50:23 PM PST  
To: <mark.luellen@sfgov.org>  
Reply-To: mike hill <hillpropmanager@sbcglobal.net>

To: Mark Luellen regarding Project 870 Union St, SF, CA 94133  
Permit # 201511132622  
# 201511132623

I am the owner of the property at 1920-22-24 Taylor St, SF, CA . My name is Doris DeLuca and I'm 3rd generation granddaughter of the person who originally owned this property that is 104 years old. I am a native San Franciscan and for most of my life grew-up and lived at this property. I have strong feelings about the ever changing area I grew-up in and now live. We are losing our great neighborhood.

I try to maintain my property in good condition. However because of the age of the property, I am very concerned about the possible damage that could impact my building (foundation, interior cracks) that may occur due to the force of construction to surrounding structures. Not to say the least of possible unsafe particles that may unearth into the air.

I strongly oppose the height issue due to possible loss of natural light into my property. I am concerned about the back of my house (and backyard) becoming dark. I now enjoy great light and open air space. I believe that a reduction of light into my property would lessen the market value for either future sale or for any of my rentals.

There are also major noise and traffic issues of allowing construction trucks the use of Aladdin Terrace as well as increased vehicle traffic going in/out due to additional persons living at the new property. There is also the safety issue of children who may play in the alley. I myself played there as a child.

Our area has always been a quiet residential area of neighbors. Since more tenants have been offering AirBnB's, there has definitely been an increase in usage of Aladdin Terrace. If more living space is created at the proposed site, I am sure it will increase pedestrian and vehicle traffic, noise levels and AirBnB situations.

I am reaching out to you to please take my issues into consideration. In the past few years a small area has had investors come into the neighborhood, disturb our peace with construction for months/yr at a

time and then many move on leaving the area more congested with more people and less parking spaces.

I would appreciate a vm letting me know you received this.

(415)441-2183

Thank you,

Doris DeLuca

Mike Hill – DRE lic#1047402

William Hill Property Management

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415 817-9915 Fax

Property management & leasing

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"Procrastination is failure on the installment plan"

<https://www.youtube.com/watch?v=Ttk8QIDHyhc> Video

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<https://www.youtube.com/watch?v=Ttk8QIDHyhc> Video

F. JOSEPH BUTLER  
ARCHITECT

17 October 2016

Rodney Fong, President  
San Francisco Planning Commission  
1650 Mission Street, Suite 400  
San Francisco, CA 94133

324 Chestnut Street  
San Francisco  
California 94133

415 990 6021  
fjoseph1butler@gmail.com

Re: 870 Union Street P.A.#2015.11.13.2623VDDDDD

Dear President Fong:

Both a Major Alteration Site Permit and a Variance application have been requested by this project. The resulting building envelopes of these combined applications will create unnecessary negative light and air effects on dozens of its neighboring units, both at the front and the rear of the lot. The applications seek extra buildable envelope by Variance for new construction, while it demolishes *de facto* the front building as the only way to add another story of construction.

What we would like:

These applications have been pared back in scope by the RDT, but not yet in a way that makes the project respect the existing neighborhood character, or to conserve the City's supply of affordable housing.

- Aladdin Terrace is a narrow pedestrian alley, with only two fronting properties that have off street parking, and a dozen others content with its pedestrian scale and character. The Subject lot is a through lot fronting on both Union and Aladdin, keep all of its parking off Union Street.
- The subject lot is currently code complying, with three units of housing and off street parking on three floors in 870 Union Street (1909), originally built as a single family home. "...the subject through lot may also have two buildings according to such established pattern, each fronting at one end of the lot, provided all other requirements of the Code are met." Provide 25% required rear yard.
- allowing a vertical expansion of the three unit 870 Union Street is NOT retaining "the existing supply of housing". The project makes over the existing housing in such a way as to remove it from rental stock, and even though a TIC the three units have one owner and are still subject to the eviction rules of the San Francisco Rent Control Ordinance. Prohibit the vertical expansion of 870 Union Street as a *de facto* demolition.

These units are the existing housing and Aladdin provides the neighborhood character described in Objective 11 of the Housing

Element: In Increasing the supply of Housing, pursue place making and neighborhood building principles and practices to maintain San Francisco's desirable Urban Fabric and enhance Livability in all Neighborhoods."

How would you do that?

The Commission should take Discretionary Review and limit the new construction to three stories on grade at the rear, if the 25% rear yard is provided, and the front setback on Aladdin remains at the top floor. However the Commission should limit the rear building to two stories above grade, only if the Variance is granted. As off street parking is already available in the Union Street building, no demolition should be allowed of the retaining wall, or its stair to the yard from Aladdin Terrace. Finally, the Commission should recognize the de facto demolition of the front building, and disallow the vertical expansion which causes it.

The Through Lot

The Subject lot is the fourth largest of all of its neighbors on this Block (EXH 1) of 50 lots, and a through lot with a rear yard facing onto Aladdin Terrace, a 16 foot wide alley. The lot fronts onto Union Street, which is a Transit Preferential Street in the City's Transportation Element of the Master Plan. The lot is within two blocks of Columbus Avenue, unarguably a transit rich environment.

The exceptional circumstance in this case is the lot, so much larger than its neighbors. The extraordinary circumstance is that for all of this lot's benefits, its relative size, an existing three unit building, with parking off street, and a vacant rear yard fronting on an alley; it is portrayed as deficient, somehow deserving of hardship, as a pretext for Variance. The resulting project with the Commission's conditions as noted above would result in approximately 4800 sq ft in the front building, and 2055 sq ft in the new, for 6,855 sq ft. Project total.

Lot size/RM-1 Buildable envelope vs. Rear Yard requirements OR Variance?

There is plenty of yard for construction of the new building and a legal rear yard as the Planning code requires for infill buildings for through lots facing streets or alley on two sides. The Variance seeks to justify allowing for this larger lot some equity? with the smaller building footprints. No equity is required, as all of the abutting properties have less gross square footage, and less lot size. Some of the properties abutting have no off street parking.

What does the Code say about the rear yard space between buildings:

See Section 134 (c) 4 (C): **Through Lots abutting Properties that contain two buildings:** Where a lot is a through lot...In such cases...the depth of the rear wall of each building from the street or alley on with the building fronts shall be established by the average depths...in NO CASE, HOWEVER, shall the total minimum rear yard for the subject lot be thus reduced to less than a depth equal to 25% of the total depth of the subject lot, or to less than 15', whichever is greater."

"In no case, however," means just that, this is not the starting line for such lots, this is the end line if there is not 25% of the lot depth saved for the yard. To apply to build the infill based on these rules, and then seek to bend the rules that allowed you to build in the first place is double dipping. To say that to build you need to meet the Code, then grant a Variance to the code you won't meet, makes no sense to the plain language of the Section.

Ah, but what of the Interpretations to the Code?

Code Section: 134(c)(4)(C)

**Subject: Rear yard required between buildings**

**Effective Date:** 8/90

**Interpretation:**

**This Section states that where the subject lot is a through lot having street or alley frontage at both ends and where the two adjacent lots are also through lots both having buildings at both ends, the subject lot may likewise have a building at either end with the required rear yard located between them.** In the case where the subject lot met the above criteria except that it was a corner lot with only one adjacent lot a through lot with a building at each end, the subject lot could be developed in the manner allowed by this Section.

Code Section: 134 (c)(4)(C)

The neighbors agree that infill is a right of the property owner, but the Interpretations are clear that the reward is new construction, but the price is the required rear yard, and compliance with other provisions of the Code:

- the subject lot may likewise have a building at either end with the **required rear yard** located between them"
- An earlier interpretation determined that the provisions of this Section would apply even though adjacent lots are not through lots but rather four (or fewer) independent lots developed as described in this subparagraph. (5/95)



**Subject: Rear yards, two buildings on a lot**

**Effective Date: 11/86**

**Interpretation:**

Section 134(c)(4)(C) indicates that a through lot **surrounded by through lots** that are developed with buildings on both ends can also have a building on either end but that the depths of the adjacent buildings shall determine the depth of a yard which is to exist between the two buildings on the subject lot and that this yard shall be at least as deep as 25 percent of the subject lot's depth or 15 feet, whichever is greater. There is nothing in the Planning Code which addresses the yard requirements **when a dwelling legally exists at the rear of a lot that is not a through lot and there is a proposal to build another structure in the "buildable area" of this lot.** The Code places a greater requirement on a through lot than on a lot that is not a through lot. A minimum rear yard depth is required for the subject situation to correct this inequity and to fulfill the intent of the rear yard provisions. The minimum rear yard required for any residential development under the Planning Code is 25 percent of the subject lot's depth or 15 feet, whichever is greater. Therefore, **the minimum depth of a yard between two buildings on a lot in the subject situation is 25 percent of the subject lot's depth or 15 feet whichever is greater.** (It is noted that Section 140 of the Planning Code [titled, "All Dwelling Units In All Use Districts To Face On An Open Area"] will normally require a minimum of 25 feet in most situations that conform to the description of the subject situation.)

If we just take this first part of it:

**“Subject: Rear yards, two buildings on a lot**

**Effective Date: 11/86**

**Interpretation:**

Section 134(c)(4)(C) indicates that a through lot **surrounded by through lots** that are developed with buildings on both ends can also have a building on either end but that the depths of the adjacent buildings shall determine the depth of a yard which is to exist between the two buildings on the subject lot and that this yard shall be at least as deep as 25 percent of the subject lot's depth or 15 feet, whichever is greater.”

The rear yards described here are opposite to the one requested by the Sponsor. This would indicate that you must a). line up with your neighbors, or b). provide 25% of the lot depth between the buildings, or c). provide a minimum 15 feet; which ever of these three are GREATER. In both these Interpretations the ZA is careful to emphasize the rear yard impacts of this hemming in of existing adjacent units.

The Sponsor is allowed to exceed the 45% rear yard requirement as the adjacent neighbors uphill and down hill, both have buildings which

exceed the 55% depth on their lots. That is fortunate for the Sponsor. Amidst smaller lots on the rest of the block, they also own a unique through lot, which by definition gives them multiple street frontages. That too is fortunate for the Sponsor (EXH 2). When infilling in its vacant rear yard, as the Code anticipates, they get to the next rear yard line requirement, that of 25% on the lot. The Sponsor gets more development, some of it new construction, on their uniquely larger through lot, with buildings fronting two streets.

Because they are making infill, Sponsor argues that they get to be at the same line with their neighbors buildings both at the front building lines, as well as at the rear building lines. But those rear building lines are at 85% lot coverage already, and they are buildings on tiny lots that can only function with such Variances to the required rear yards. These lots are one third the size of the Sponsor's lots, the hardship of the smaller lots is clear to understand.

The Code expects the through lot developed with two buildings to have a 25% of the lot length required rear yard, or 15 feet, which ever is greater (EXH 3). A Variance to exceed the 75% lot coverage as required by the Code, should go to the smallest lots in the District, not the larger lots. This is new construction at the rear, there is no need to grant a Variance to make some existing envelope conform to the Code. On this empty rear yard there is no need to exceed the intent of the Code, and no hardship by this lot to justify it. The intent of the Code is to maintain the rear yard to the standards of the Code. In this case it would be 25% of 128.9' or 32.23'.

The Interpretation continues:

The Code places a greater requirement on a through lot than on a lot that is not a through lot. **A minimum rear yard depth is required for the subject situation to correct this inequity and to fulfill the intent of the rear yard provisions.** The minimum rear yard required for any residential development under the Planning Code is 25 percent of the subject lot's depth or 15 feet, whichever is greater. Therefore, **the minimum depth of a yard between two buildings on a lot in the subject situation is 25 percent of the subject lot's depth or 15 feet whichever is greater.** (It is noted that Section 140 of the Planning Code [titled, "All Dwelling Units In All Use Districts To Face On An Open Area"] will normally require a minimum of 25 feet in most situations that conform to the description of the subject situation.)

Again the Interpretations language defers to the rear yard, "with a greater requirement on a through lot" in the apportionment of buildable envelope on such parcels. The RDT ignored this, actually supports the Variance and ignores the Codes in place to protect the rear yard space

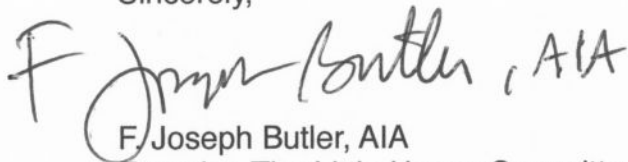
in established neighborhoods.

But under this application the balance is tipped in the opposite way, toward maximizing building envelope at the expense of the existing adjacent buildings and their yards' light and air.

The neighboring yards have already been encroached upon beyond the average by Pre 1976 Planning Code construction, whose building footprints are non Code complying. Both in the front and rear buildings, on separate parcels the spaces left between the buildings are smaller than the Code requires be provided. To arrive post 1976, on a unique through lot, with three existing units in a front building, and claim hardship denies the common sense of development (this lot is incredibly desirable, certainly not at a disadvantage), as well as the intent of decades of Interpretations regarding through lots and the yards between buildings.

Please take Discretionary Review and limit the new construction to three stories on grade at the rear, if the 25% rear yard is provided, and the front setback on Aladdin remains at the top floor. Or limit the rear building to two stories above grade, only if the Variance is granted. Parking is available in the Union Street building, so instruct that no demolition shall be allowed of the retaining wall (EXH 4,5), or its stair to the yard from Aladdin Terrace. Finally, recognize the de facto demolition of the front building, and disallow the vertical expansion which causes it.

Sincerely,

A handwritten signature in dark ink, appearing to read "F. Joseph Butler, AIA". The signature is fluid and cursive, with the first letter "F" being particularly large and stylized.

F. Joseph Butler, AIA  
Founder, The Little House Committee

cc. Members of the Commission

att. 5 Exhibits

EXHIBITS 1-5

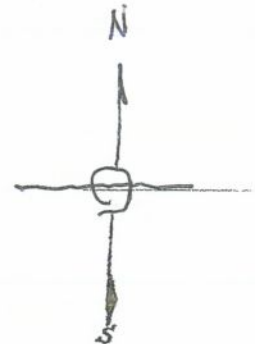
LOTS MERGED

Lot	into lot	Date
21A	22	'42
35B	35A	'50
34	33	'55

lot 32 into lots 46 & 47 for 2003 roll  
lot 19 into lots 48 to 50 for 2007 roll  
lot 10 into lots 54 to 56 for 2010 roll  
lot 9 into lots 63 to 66 for 2015 roll  
lot 13 into lots 67 & 68 for 2015 roll  
Lot 24 into lots 69 & 70 for 2016 roll  
Lot 69 into lots 88 to 90 for 2016 roll

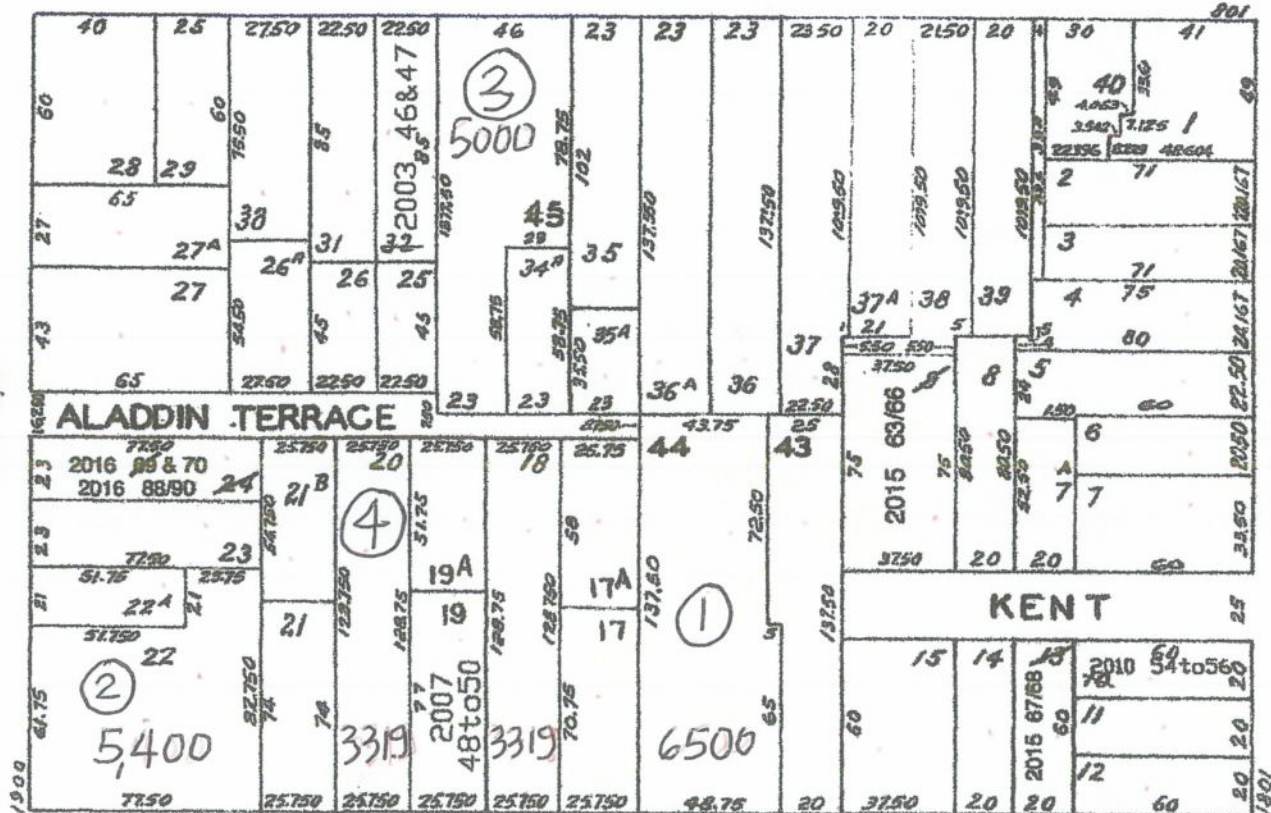
REVISED	'58
2	'61
2	'67

Revised 2003  
Revised 2007  
Revised 2010  
Revised 2015  
REVISED 2016



FILBERT

TAYLOR



MASON

UNION

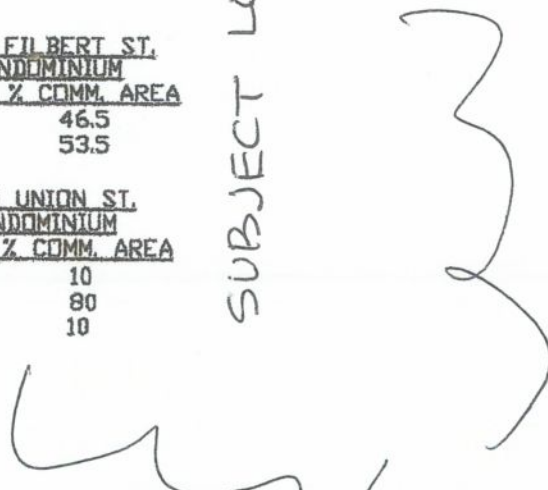
873-875 FILBERT ST.  
A CONDOMINIUM

LOT	UNIT	% COMM. AREA
46	873	46.5
47	875	53.5

864-868 UNION ST.  
A CONDOMINIUM

LOT	UNIT	% COMM. AREA
48	864	10
49	866	80
50	868	10

SUBJECT LOT





53

MASON

EXH 2

UNION

FILBERT

KENT

100  
(172)

ALADDIN TER. 15-17

TAYLOR

Scale of Feet.

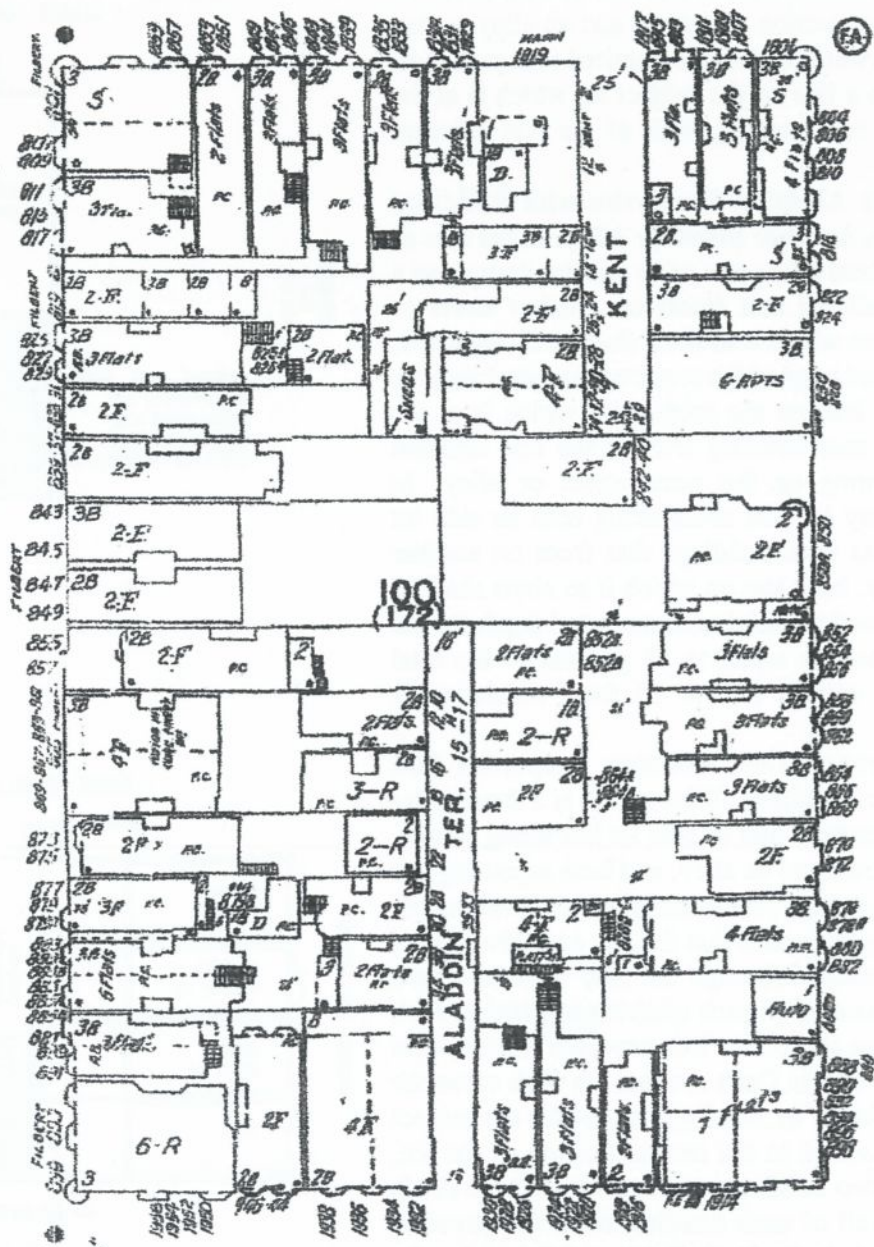
68



SUBJECT LOT

68'9"

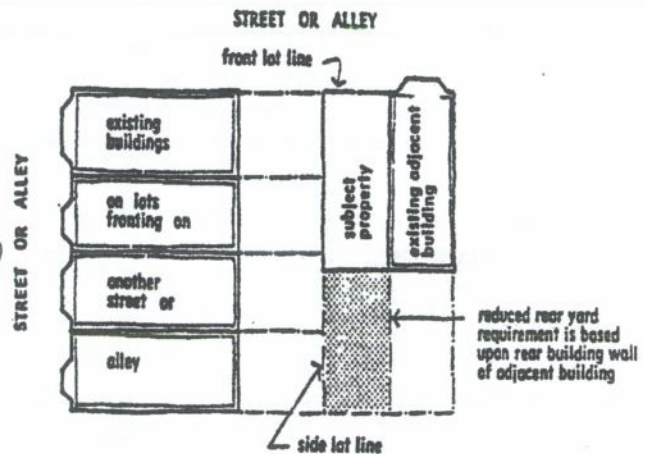
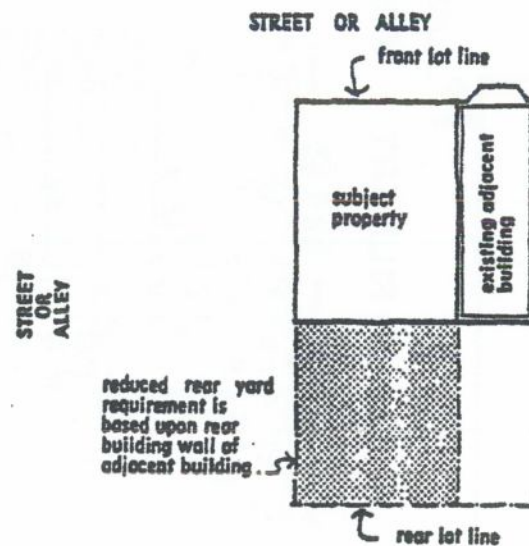
68'9"



(A) **Corner Lots and Lots at Alley Intersections.** On a corner lot as defined by this Code, or a lot at the intersection of a street and an alley or two alleys, the forward edge of the required rear yard shall be reduced to a line on the subject lot which is at the depth of the rear building wall of the one adjacent building.

(B) **Lots Abutting Properties with Buildings that Front on Another Street or Alley.** In the case of any lot that abuts along one of its side lot lines upon a lot with a building that fronts on another street or alley, the lot on which it so abuts shall be disregarded, and the forward edge of the required rear yard shall be reduced to a line on the subject lot which is at the depth of the rear building wall of the one adjacent building fronting on the same street or alley. In the case of any lot that abuts along both its side lot lines upon lots with buildings that front on another street or alley, both lots on which it so abuts shall be disregarded, and the minimum rear yard depth for the subject lot shall be equal to 25 percent of the total depth of the subject lot, or 15 feet, whichever is greater.

(C) **Through Lots Abutting Properties that Contain Two Buildings.** Where a lot is a through lot having both its front and its rear lot line along streets, alleys, or a street and an alley, and both adjoining lots are also through lots, each containing two dwellings or group housing structures that front at opposite ends of the lot, the subject through lot may also have two buildings according to such established pattern, each fronting at one end of the lot, provided all the other requirements of this Code are met. In such cases the rear yard required by this Section 134 for the subject lot shall be located in the central portion of the lot, between the two buildings on such lot, and the depth of the rear wall of each building from the street or alley on which it fronts shall be established by the average of the depths of the rear building walls of the adjacent buildings fronting on that street or alley. In no case, however, shall the total minimum rear yard for the subject lot be thus reduced to less than a depth equal to 25 percent of the total depth of the subject lot, or to less than 15 feet, whichever is greater. Furthermore, in all cases in which this Subparagraph (c)(4)(C) is applied, the requirements of Section 132



"IN NO CASE, HOWEVER,"





EXH 4

RETAINING WALL AND STAIR  
AT ITS REAR YARD ON ALADDIN TER.

870 UNION STREET



EXH 5

# ALADDIN TERRACE

RETAINING WALLS



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## SYMBOLS

	ALIGN (SURFACES, PLANES OR OBJECTS ARE IN ALIGNMENT)
	AREA OF DETAIL
	CENTERLINE
	CENTERLINE
	DETAIL TAG DETAIL NUMBER SHEET NUMBER
	DOOR TAG
	DOOR AND HARDWARE TAG DOOR NUMBER HARDWARE NUMBER
	ELEVATION ELEVATION NUMBER ELEVATION SHEET NUMBER
	ELEVATION MARKER
	EQUIPMENT TAG
	FINISH TAG
	FIXTURE TAG
	KEYNOTE
	NORTH ARROW
	PARTITION TYPE
	REVISION CLOUD AND REVISION NUMBER. RED OR BLACK INDICATES CURRENT REVISION SET. GRAY CLOUD INDICATES PRIOR REVISION.
	ROOM TAG ROOM NAME ROOM NUMBER
	WINDOW TAG
	ELEVATION SECTION NUMBER SHEET NUMBER

## PROJECT TEAM

OWNER:  
DANIEL MERCHANT  
870 UNION STREET  
SAN FRANCISCO, CA 94133  
PHONE:

DESIGNER:  
RIAZ INC.  
2417 17TH STREET  
SAN FRANCISCO, CA 94110  
CONTACT: CASEY RAMIREZ  
PHONE: 415.657.1775

ARCHITECT:  
MARTINKOVIC MILFORD ARCHITECTS  
101 MONTGOMERY STREET - SUITE 650  
SAN FRANCISCO, CA 94104  
CONTACT: BRIAN MILFORD  
PHONE: 415.346.9990  
FAX: 415.398.0116

STRUCTURAL ENGINEER:  
T.B.D.

GENERAL CONTRACTOR:  
T.B.D.

## LOCATION MAP

870 UNION STREET RESIDENCE  
ADDITION AND REMODEL

870 UNION STREET  
SAN FRANCISCO, CALIFORNIA 94133

## PROJECT DATA

ADDRESS: 870 UNION STREET  
SAN FRANCISCO, CA 94133

BLOCK / LOT: 0100/020

YEAR BUILT: 1909

STORIES: EXISTING 3 STORIES  
PROPOSED 4 STORIES

ZONING: RM-1

HEIGHT & BULK DISTRICT: 40-X

CONSTRUCTION TYPE: BUILDING A: V-A  
BUILDING B: V-B

FULLY SPRINKLERED: BUILDING A: (E) NO  
FULLY SPRINKLERED: BUILDING A & B: (PROPOSED) YES

OCCUPANCY TYPE: BUILDING A: R-2 (3 UNITS)  
BUILDING B: R-3 (1 UNIT)

LOT AREA: 3,315 SF

EXISTING USE: BUILDING A: THREE-FAMILY RESIDENTIAL DWELLING

PROPOSED USE: BUILDING A: THREE-FAMILY RESIDENTIAL DWELLING  
BUILDING B: SINGLE-FAMILY RESIDENTIAL DWELLING

AREA OF WORK: ±8,229 S.F.

## SCOPE OF WORK

SCOPE OF WORK INCLUDES THE DEMOLITION OF EXISTING WALLS, WINDOWS, DOORS, FINISHES AND FIXTURES. SCOPE TO INCLUDE LOWERING TOP 2 FLOORS OF (E) STRUCTURE TO ACCOMMODATE (N) WORK ON ROOF. CONSTRUCTION OF NEW WALLS, DOORS, FINISHES AND FIXTURES. CONSTRUCTION AT EXISTING BUILDING WITH AN ADDITIONAL 4TH FLOOR AND DECKS. CONSTRUCTION OF REAR ADDITION AT ALL THREE FLOORS WITH COURTYARD ON GROUND FLOOR. EXTERIOR WORK INCLUDES NEW WINDOW, DOOR, AND FINISHES. CONSTRUCTION OF (N) REAR YARD STRUCTURE FACING ALADDIN TERRACE.

SCOPE OF WORK TO INCLUDE A FULLY AUTOMATIC SPRINKLER SYSTEM. NFPA STANDARD SYSTEM TYPE TO BE DETERMINED BY SFDD.

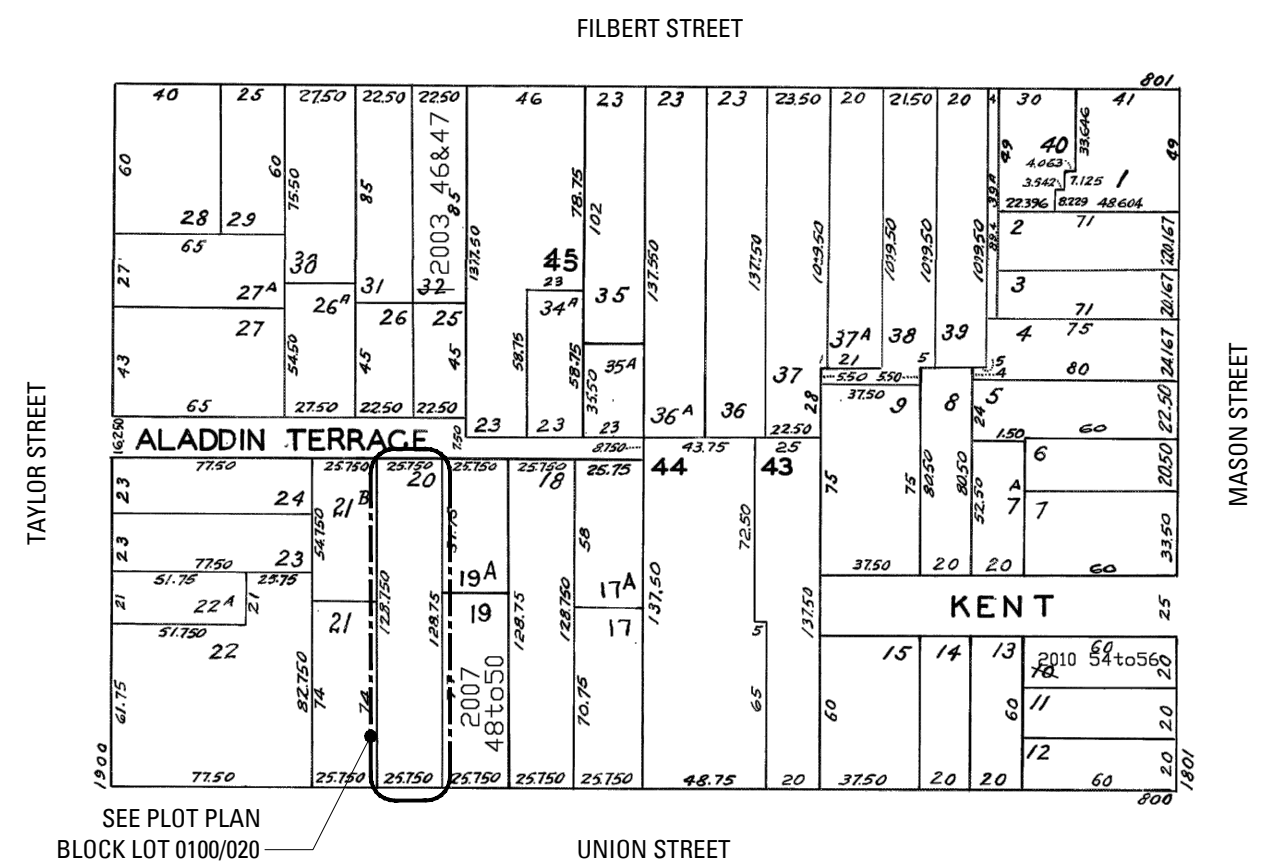
## DEFERRED SUBMITTALS

DEFERRED SUBMITTALS (DESIGN/BUILD) MAY INCLUDE, BUT NOT LIMITED TO THE FOLLOWING:

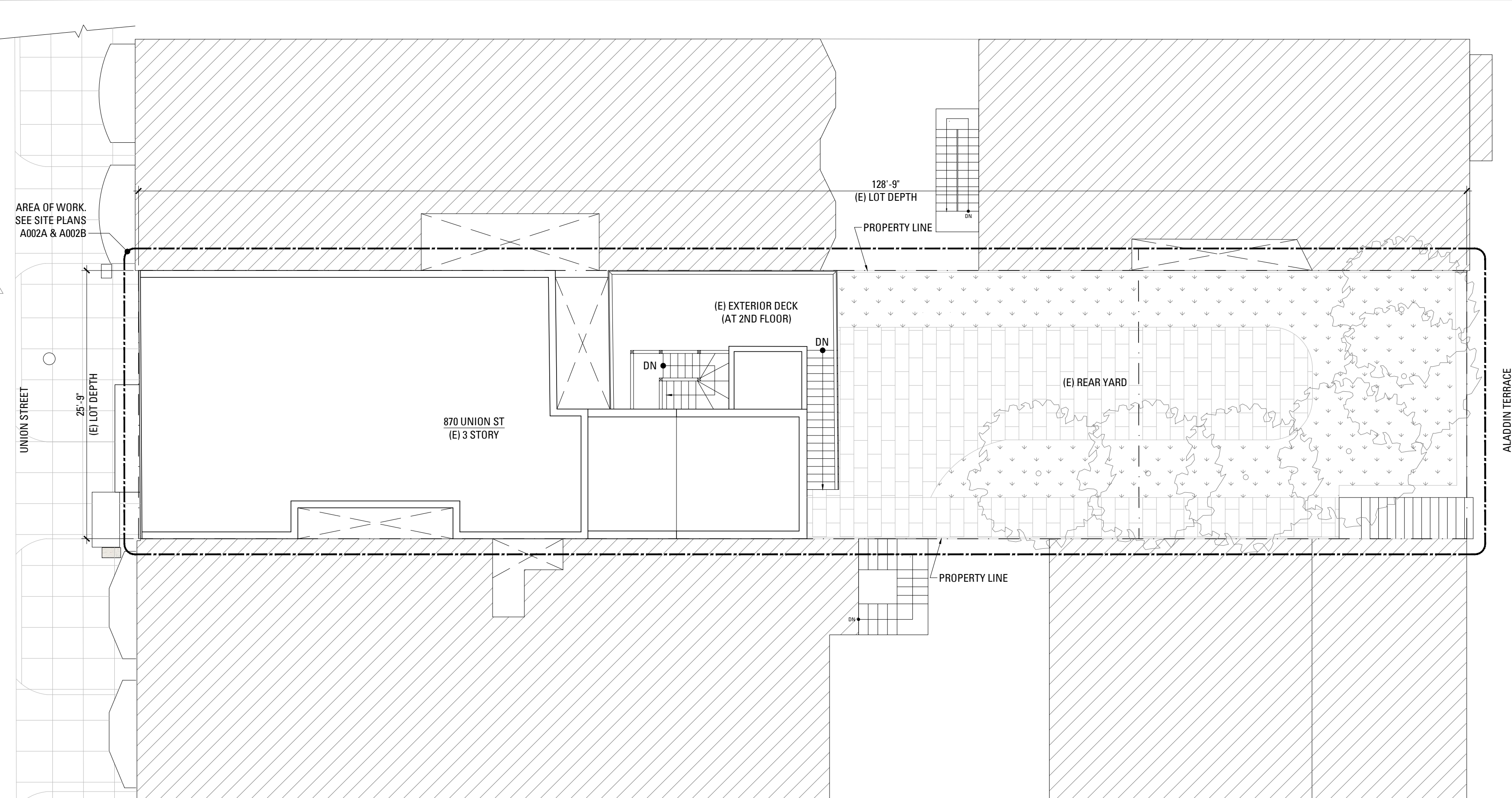
MECHANICAL  
PLUMBING  
LIFE SAFETY  
LANDSCAPING  
SHORING AND/OR UNDERPINNING  
FIRE ALARM AND/OR LIFE SAFETY

ELECTRICAL  
FIRE SPRINKLER  
CIVIL ENGINEERING  
STRUCTURAL  
TITLE 24

## BLOCK PLAN



## EXISTING PLOT PLAN



## DRAWING INDEX

LEGEND	REV.	DATED	NAME OF SET	PRE-APPLICATION MEETING	SITE PERMIT SET	SITE PERMIT SET REVISION	SITE PERMIT SET REVISION 2	SITE PERMIT SET REVISION 3	SITE PERMIT SET REVISION 4	SITE PERMIT SET REVISION 5
<input checked="" type="checkbox"/> INCLUDED										
<input checked="" type="checkbox"/> INCLUDED AND REVISED										
DRAWING SERIES										
DRAWING NUMBER										
DRAWING TITLE										
A001			TITLE SHEET							
C001			BOUNDARY SURVEY							
A002A			EXISTING SITE PLAN							
A002B			PROPOSED SITE PLAN							
A003A			EXISTING CONDITIONS - PHOTOGRAPHS							
A003B			EXISTING CONDITIONS - PHOTOGRAPHS							
A005			SECTION 317B CALCULATIONS							
A101			BASEMENT & FIRST FLOOR EXISTING & DEMOLITION PLAN							
A102			SECOND & THIRD FLOOR EXISTING & DEMOLITION PLAN							
A103			ROOF EXISTING & DEMOLITION PLAN							
A111			BASEMENT & FIRST FLOOR CONSTRUCTION PLAN							
A112			SECOND & THIRD FLOOR CONSTRUCTION PLAN							
A113			FOURTH FLOOR & ROOF CONSTRUCTION PLAN							
A114			REAR BUILDING FIRST & SECOND FLOOR CONSTRUCTION PLAN							
A115			REAR BUILDING THIRD & FOURTH FLOOR CONSTRUCTION PLAN							
A116			REAR BUILDING ROOF CONSTRUCTION PLAN							
A201			EXTERIOR ELEVATIONS							
A202			EXTERIOR ELEVATIONS							
A203			EXTERIOR ELEVATIONS							
A204			EXTERIOR ELEVATIONS							
A205			EXTERIOR ELEVATIONS							
A206			EXTERIOR ELEVATIONS							
A301			BUILDING SECTIONS							
A901			SCHEDULES							
A902			SCHEDULES							

## ABBREVIATIONS

&	AND	EQPT	EQUIPMENT	O.A.	OVERALL
@	AT	(E)	EXISTING	O.C.	ON CENTER
CL	CENTERLINE	EXT.	EXTERIOR	OFF.	OFFICE
+	PLUS OR MINUS	EXTR.	EXTRUSION	O.F.S.	OUTSIDE FACE OF STUD
PL	PROPERTY LINE	F.A.	FIRE ALARM	P.LAM.	PLASTIC LAMINATE
#	POUND OR NUMBER	FAU.	FORCED AIR UNIT	PLYWD.	PLYWOOD
A.F.F.	ABOVE FINISHED FLOOR	F.E.	FIRE EXTINGUISHER	PR.	PAIR
AL	ALUMINUM	F.E.C.	FIRE EXTINGUISHER CABINET	P.L.F.	POUNDS PER LINEAR FOOT
ALUM.	ALUMINUM	F.H.C.	FIRE HOSE CABINET	P.S.F.	POUNDS PER SQUARE FEET
ANOD.	ANODIZED	FIN.	FINISH	PTN.	PARTITION
APPROX.	APPROXIMATE	FL	FLOOR	R.	RISER
A.R.	AS REQUIRED	FLUOR.	FLUORESCENT		
A.F.R.	AT FINISHED ROOF				
ARCH.	ARCHITECTURAL	F.O.C.	FACE OF CONCRETE	REF.	REFERENCE
A/V	AUDIOVISUAL	F.O.F.	FACE OF FINISH	REFR.	REFRIGERATOR
BD.	BOARD	F.O.P.	FACE OF PLYWOOD	REQ.	REQUIRED
BLDG.	BUILDING	F.O.S.	FACE OF STUD	R.F.P.	REINFORCED FIBERGLASS PANEL
BLK.	BLOCK	F.R.	FIRE RETARDANT OR FIRE RATED	RM.	ROOM
BLKG.	BLOCKING	FT.	FOOT OR FEET	R.O.	ROUGH OPENING
B.O.	BOTTOM OF	FURR.	FURRING	S.	SOUTH
BTWN.	BETWEEN	FUT.	FUTURE	S.C.D.	SEE CIVIL DRAWINGS
CAB.	CABINET	F.V.	FIELD VERIFY	SCHED.	SCHEDULE
CBC	CALIFORNIA BUILDING CODE	GA.	GAUGE	SECT.	SECTION
CEC	CALIFORNIA ELECTRICAL CODE	GALV.	GALVANIZED	S.E.D.	SEE ELECTRICAL DRAWINGS
CF	CALIFORNIA FIRE CODE	GSM.	GALVANIZED SHEET METAL	SF	SQUARE FEET
CG	CALIFORNIA GREEN BUILDING CODE	G.C.	GENERAL CONTRACTOR	S.I.D.	SEE INTERIOR DRAWINGS
CLG.	CEILING	GEN.	GENERAL	SM	SIMILAR
CLKG.	CAULKING	GWB	GYPSUM WALL BOARD	S.M.D.	SEE MECHANICAL DRAWINGS
CLOS.	CLOSET	GYP.	GYPSUM	SPEC.	SPECIFICATION
CLR	CLEAR	H.B.	HOSEBIB	SD	SQUARE
CMC	CALIFORNIA MECHANICAL CODE	H.C.	HANDICAPPED	S.S.D.	SEE STRUCTURAL DRAWINGS
CMU	CONCRETE MASONRY UNIT	H.M.	HOLLOW METAL	S.S.	STAINLESS STEEL
C.O.	CLEANOUT	HORIZ.	HORIZONTAL	STD.	STANDARD
COL.	COLUMN	HR	HEIGHT	STL.	STEEL
CONC.	CONCRETE	HT.	HEIGHT	STOR.	STORAGE
CONN.	CONNECTION	H.W.D.	HOT WATER DISPENSER	STRUCT.	STRUCTURAL
CONSTR.	CONSTRUCTION	H.W.H.	HOT WATER HEATER	T.	TREAD
CONT.	CONTINUOUS	INSUL.	INSULATION	TCA	TILE COUNCIL OF AMERICA
CORR.	CORRIDOR	INT.	INTERIOR	T.B.D.	TO BE DETERMINED
CP	CALIFORNIA PLUMBING CODE	JAN.	JANITOR	T&G	TONGUE AND GROOVE
CRC	CALIFORNIA RESIDENTIAL CODE	J.C.	JANITOR'S CLOSET	TEL.	TELEPHONE
CTR.	CENTER	JOINT	JOINT	TEMP.	TEMPORARY
CTSK.	COUNTERSUNK	KIT.	KITCHEN	THK.	THICK
DBL.	DOUBLE	LAM.	LAMINATE	T.O.	TOP OF
DEPT.	DEPARTMENT	LAV.	LAVATORY	T.O.S.	TOP OF SLAB
DET.	DETAIL	MAX.	MAXIMUM	T.O.W.	TOP OF WALL
D.F.	DRINKING FOUNTAIN	MDF.	MEDIUM DENSITY FIBERBOARD	TYP.	TYPICAL
DIA. OR Ø	DIAMETER	MECH.	MECHANICAL	U.L.	UNDERWRITERS LABORATORY
DIM.	DIMENSION	MEMB.	MEMBRANE	U.O.N.	UNLESS OTHERWISE NOTED
DISP.	DISPENSER	MET.	METAL	UTIL.	UTILITY
DN	DOWN	MEZZ.	MEZZANINE	VAR.	VARIABLE
D.O.	DOOR OPENING	MFR.	MANUFACTURER	V.C.T.	VINYL COMPOSITION TILE
DR.	DOOR	MIN.	MINIMUM	VERT.	VERTICAL
DS	DOWNSPOUT	MISC.	MISCELLANEOUS	V.I.F.	VERIFY IN FIELD
DWG.	DRAWING	M.O.	MASONRY OPENING	VOL.	VOLUME
DWR.	DRAWER	MTD.	MOUNTED	W.	WEST OR WIDTH
E.	EAST	MTG.	MOUNTING	W.	WITH
EA.	EACH	MUL.	MULLION	W.C.	WATER CLOSET
E.J.	EXPANSION JOINT	(N)	NEW	WD.	WOOD
ELEC.	ELECTRICAL	N.	NORTH	W.O.	WHERE OCCURS
EMER.	EMERGENCY	N.I.C.	NOT IN CONTRACT	W/O	WITHOUT
ENGR.	ENGINEER	NO.	NUMBER	WP	WATERPROOF
E.P.	ELECTRICAL PANEL BOARD	NOM.	NOMINAL	WT.	WEIGHT
EQ	EQUAL	N.T.S.	NOT TO SCALE	YD	YARD
		o/	OVER	X OR x	BY

## APPLICABLE CODES

2013 CALIFORNIA BUILDING CODE  
2013 CALIFORNIA ELECTRICAL CODE  
2013 CALIFORNIA MECHANICAL CODE  
2013 CALIFORNIA PLUMBING CODE  
2013 CALIFORNIA FIRE CODE  
2013 CALIFORNIA ENERGY CODE  
2013 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS  
2013 CALIFORNIA GREEN BUILDING CODE

2013 SAN FRANCISCO BUILDING CODE AMENDMENTS  
2013 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS  
2013 SAN FRANCISCO MECHANICAL CODE AMENDMENTS  
2013 SAN FRANCISCO PLUMBING CODE AMENDMENTS  
2013 SAN FRANCISCO FIRE CODE AMENDMENTS  
2013 SAN FRANCISCO GREEN BUILDING CODE AMENDMENTS  
2013 SAN FRANCISCO HOUSING CODE AMENDMENTS

EXISTING & PROPOSED  
UNIT AREAS

EXISTING BUILDING A:  
UNIT 1 EXISTING : 345 SF  
UNIT 1 PROPOSED: 390 SF  
UNIT 2 EXISTING: 1,141 SF  
UNIT 2 PROPOSED: 1,313 SF  
UNIT 3 EXISTING: 1,259 SF  
UNIT 3 PROPOSED: 2,232 SF  
EXISTING COMMON AREAS AND COMMON STAIRS: 926 SF  
PROPOSED COMMON AREAS AND COMMON STAIRS: 746 SF  
PROPOSED ROOF DECK: 459 SF

PROPOSED BUILDING B:  
UNIT 4 EXISTING: N/A  
UNIT 4 PROPOSED: 2,503 SF  
EXISTING GARAGE AND CORRIDORS: N/A  
PROPOSED GARAGE AND CORRIDORS: 850 SF  
PROPOSED ROOF DECK: 355 SF

TOTAL EXISTING (FRONT STRUCTURE) BUILDING AREA: 3,671 SF  
TOTAL PROPOSED (FRONT STRUCTURE) BUILDING AREA: 5,100 SF  
TOTAL EXISTING (REAR STRUCTURE) BUILDING AREA: 0 SF  
TOTAL PROPOSED (REAR STRUCTURE) BUILDING AREA: 3,708 SF

EXISTING BUILDING A:  
UNIT 1 EXISTING BEDROOMS: 1  
UNIT 1 PROPOSED BEDROOMS: 1  
UNIT 2 EXISTING BEDROOMS: 2  
UNIT 2 PROPOSED BEDROOMS: 1  
UNIT 3 EXISTING BEDROOMS: 2  
UNIT 3 PROPOSED BEDROOMS: 2

PROPOSED BUILDING B:  
UNIT 4 EXISTING BEDROOMS: N/A  
UNIT 4 PROPOSED BEDROOMS: 3

TOTAL EXISTING BEDROOMS: 5  
TOTAL PROPOSED BEDROOMS: 7

870 Union Street  
Residence Addition  
and Remodel

870 UNION STREET,  
SAN FRANCISCO, CA 94133

MARTINKOVIC MILFORD ARCHITECTS

101 Montgomery Street Suite 650  
San Francisco, CA 94104  
T 415 346 9990



## RECORD OF DRAWING ISSUANCE

PRE-APP MEETING	10.13.2015
SITE PERMIT SET	11.13.2015
SITE PERMIT SET REV. 1	04.27.2016
SITE PERMIT SET REV. 2	05.26.2016
SITE PERMIT SET REV. 3	06.10.2016
SITE PERMIT SET REV. 4	09.20.2016
SITE PERMIT SET REV. 5	10.11.2016

SITE PERMIT SET  
REVISION 5

Drawn By:	S.A.
Checked By:	B.M.
Project Number:	1554.1

## Title Sheet

## SHEET NUMBER

A001



870 Union Street  
Residence Addition  
and Remodel

870 UNION STREET,  
SAN FRANCISCO, CA 94133

MARTINKOVIC MILFORD ARCHITECTS

101 Montgomery Street Suite 650  
San Francisco, CA 94104  
T 415 346 9990



RECORD OF DRAWING ISSUANCE	
PRE-APP MEETING	10.13.2015
SITE PERMIT SET	11.13.2015
SITE PERMIT SET REV. 1	04.27.2016
SITE PERMIT SET REV. 2	05.26.2016
SITE PERMIT SET REV. 3	06.10.2016
SITE PERMIT SET REV. 4	09.20.2016
SITE PERMIT SET REV. 5	10.11.2016



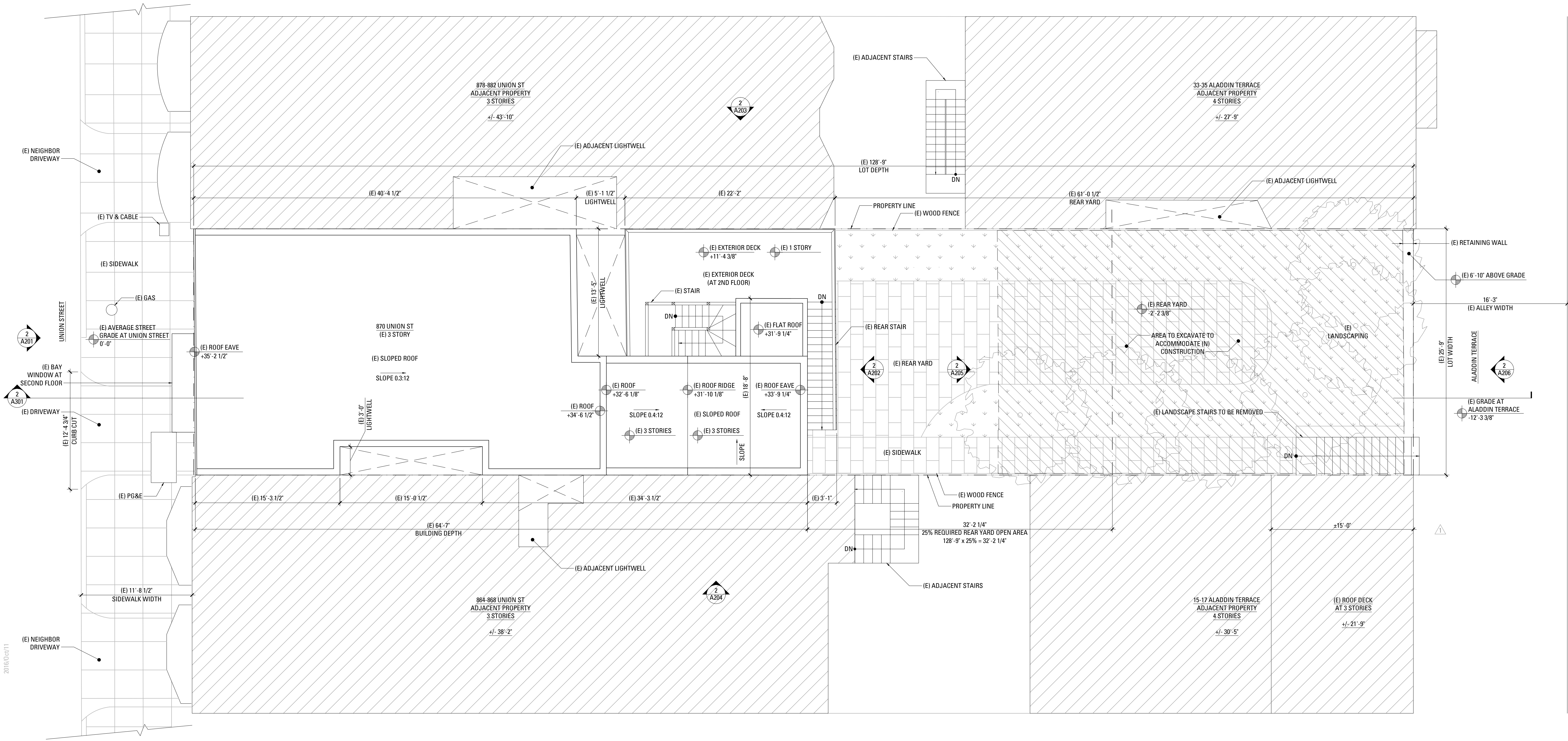
SITE PERMIT SET  
REVISION 5

Drawn By:	S.A.
Checked By:	B.M.
Project Number:	1554.1

Existing Site Plan

SHEET NUMBER

A002A



2016/04/11

A002A-SITE PLANNING

870 UNION STREET,  
SAN FRANCISCO, CA 94133

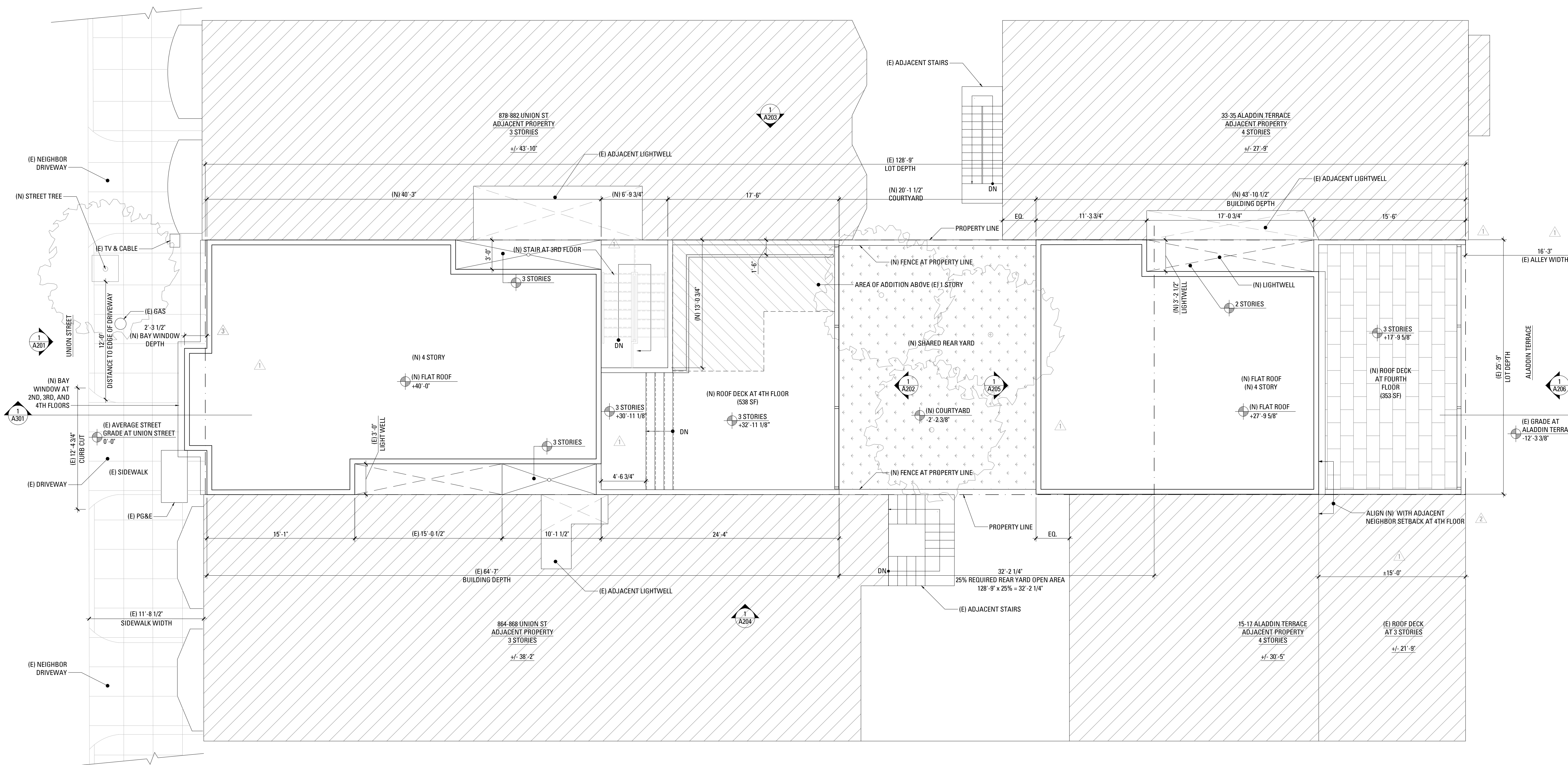
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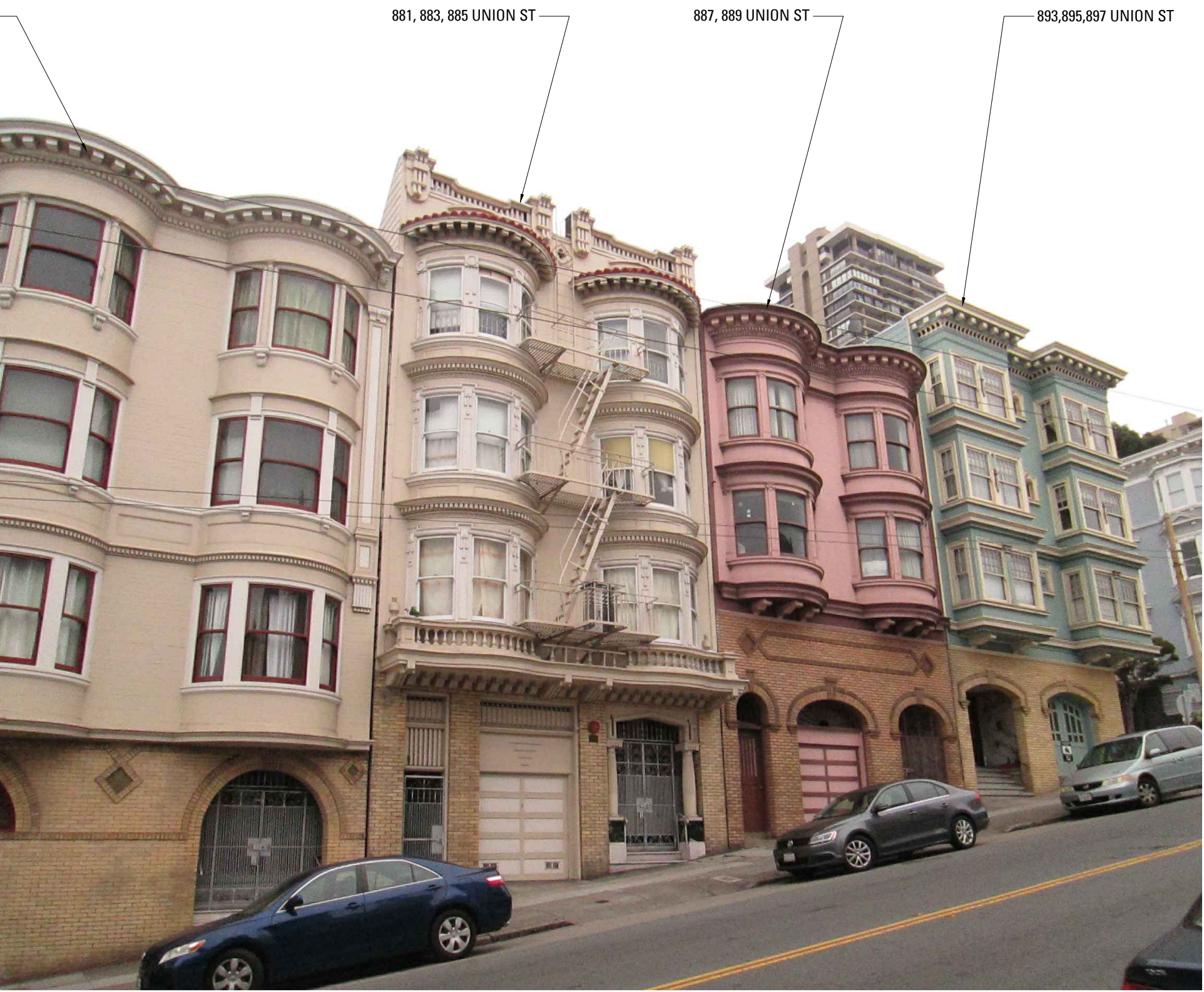
Drawn By:	S.A.
Checked By :	B.M.
Project Number:	1554.1

SHEET NUMBER

**A002B**







2 SOUTH SIDE OF UNION STREET (ACROSS THE STREET FROM SUBJECT PROPERTY)  
SCALE: NTS



1 NORTH SIDE OF UNION STREET (SUBJECT PROPERTY)  
SCALE: NTS

870 Union Street  
Residence Addition  
and Remodel

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RECORD OF DRAWING ISSUANCE	
PRE-APP MEETING	10.13.2015
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SITE PERMIT SET REV. 2	05.26.2016
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SITE PERMIT SET REV. 5	10.11.2016

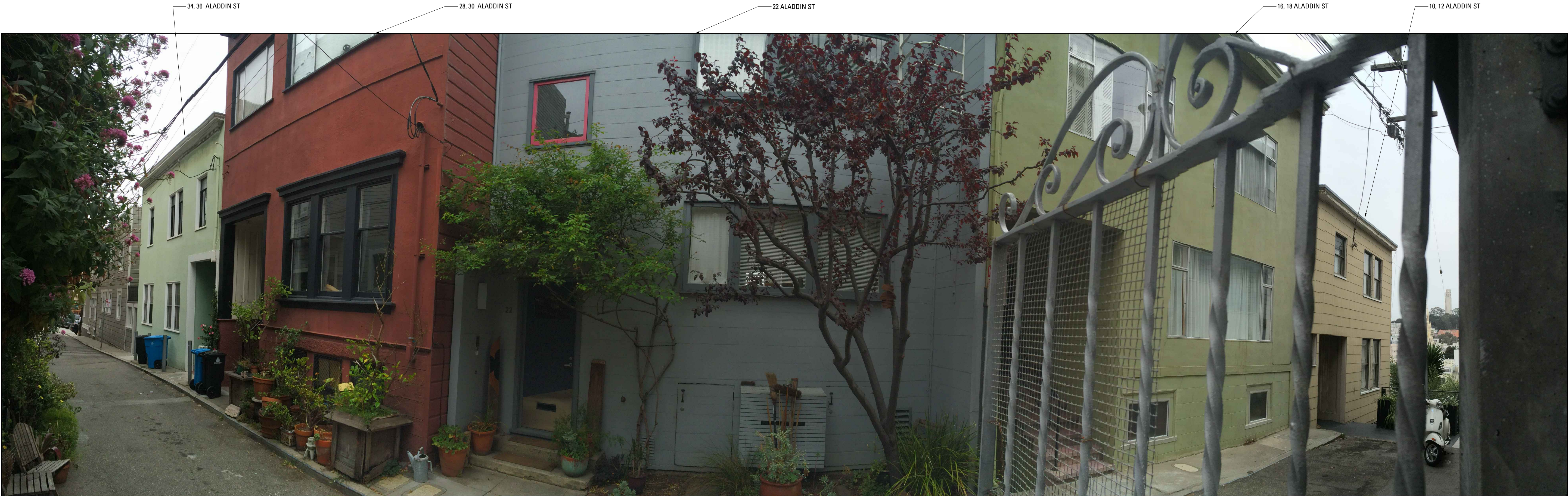
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Drawn By:	S.A.
Checked By:	B.M.
Project Number:	1554.1

Existing Photographs

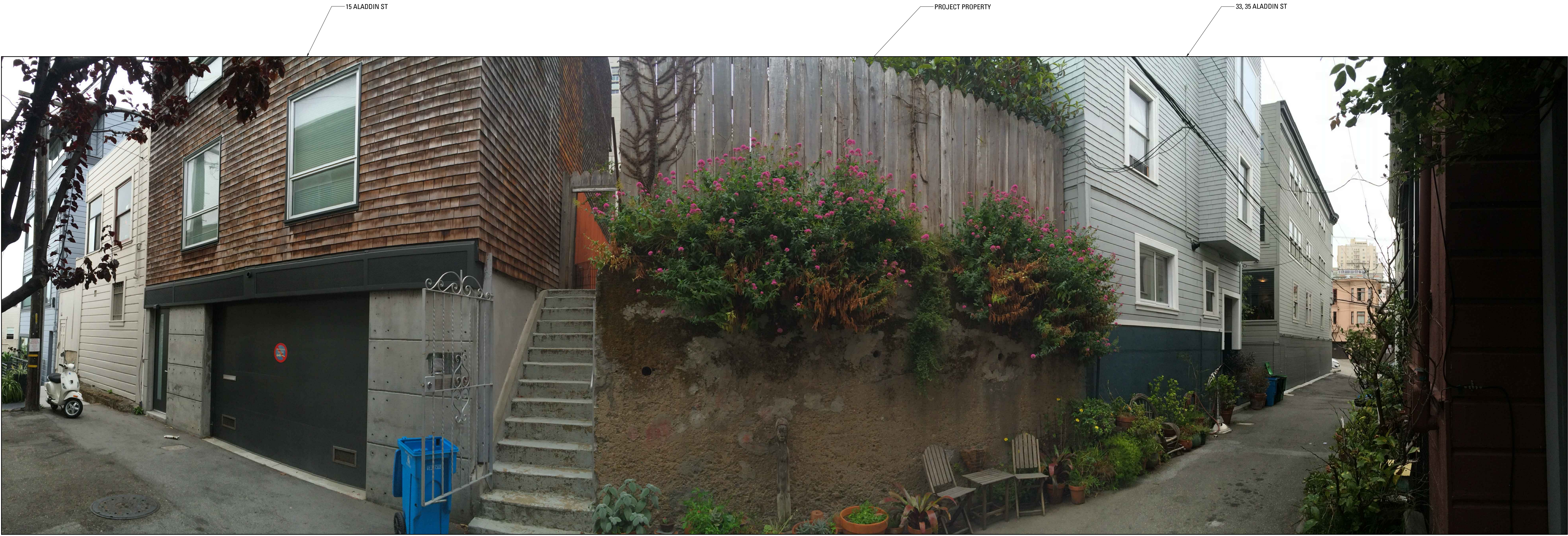
SHEET NUMBER

A003A





**2** NORTH SIDE OF ALADDIN STREET (ACROSS THE STREET FROM SUBJECT PROPERTY)  
SCALE: NTS



**1** SOUTH SIDE OF ALADDIN STREET (SUBJECT PROPERTY)  
SCALE: NTS

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RECORD OF DRAWING ISSUANCE	
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SITE PERMIT SET REV. 1	04.27.2016
SITE PERMIT SET REV. 2	05.26.2016
SITE PERMIT SET REV. 3	06.10.2016
SITE PERMIT SET REV. 4	09.20.2016
SITE PERMIT SET REV. 5	10.11.2016

SITE PERMIT SET REVISION 5	
Drawn By:	S.A.
Checked By:	B.M.
Project Number:	1554.1

Existing Photographs

SHEET NUMBER

A003B

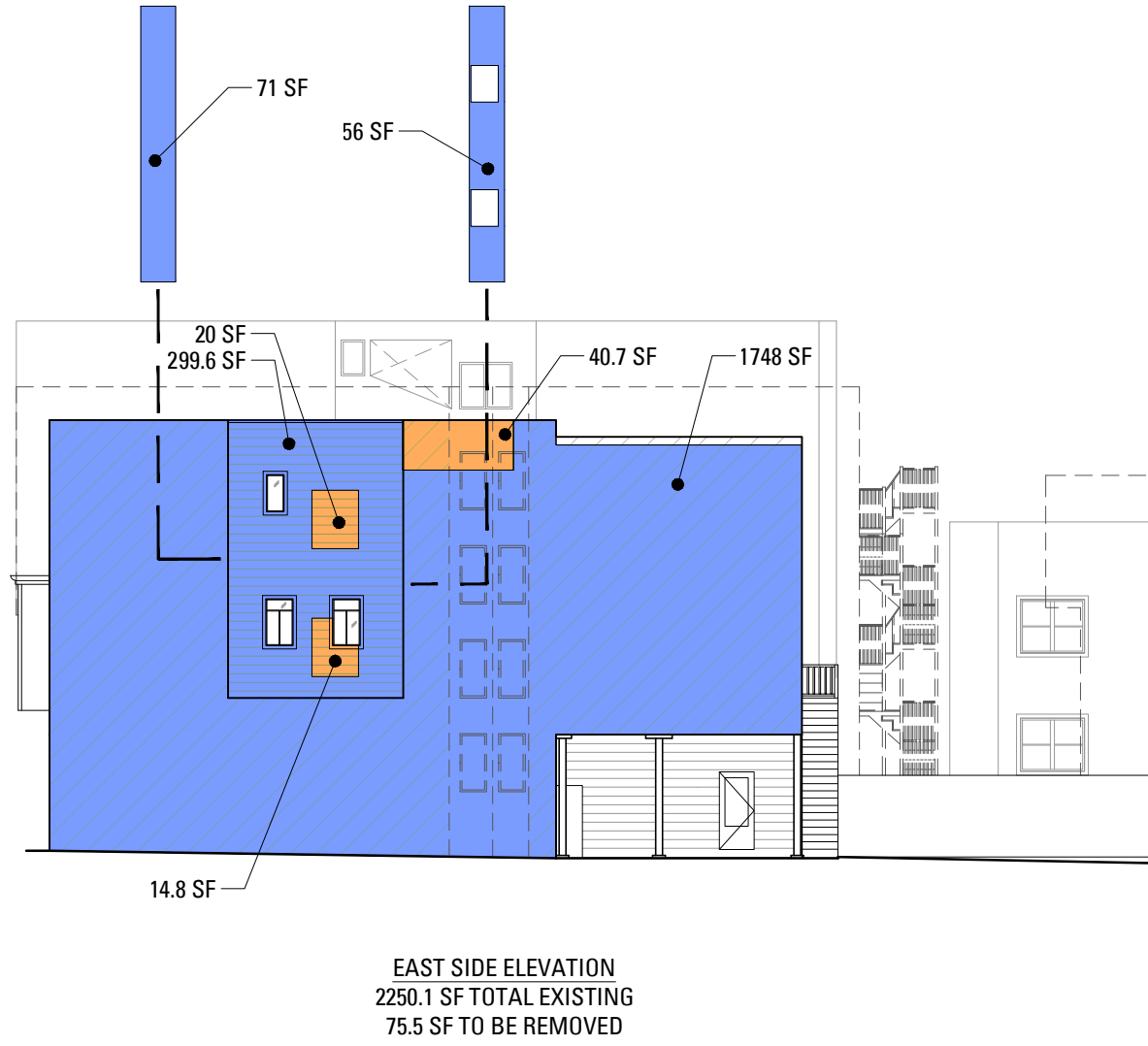
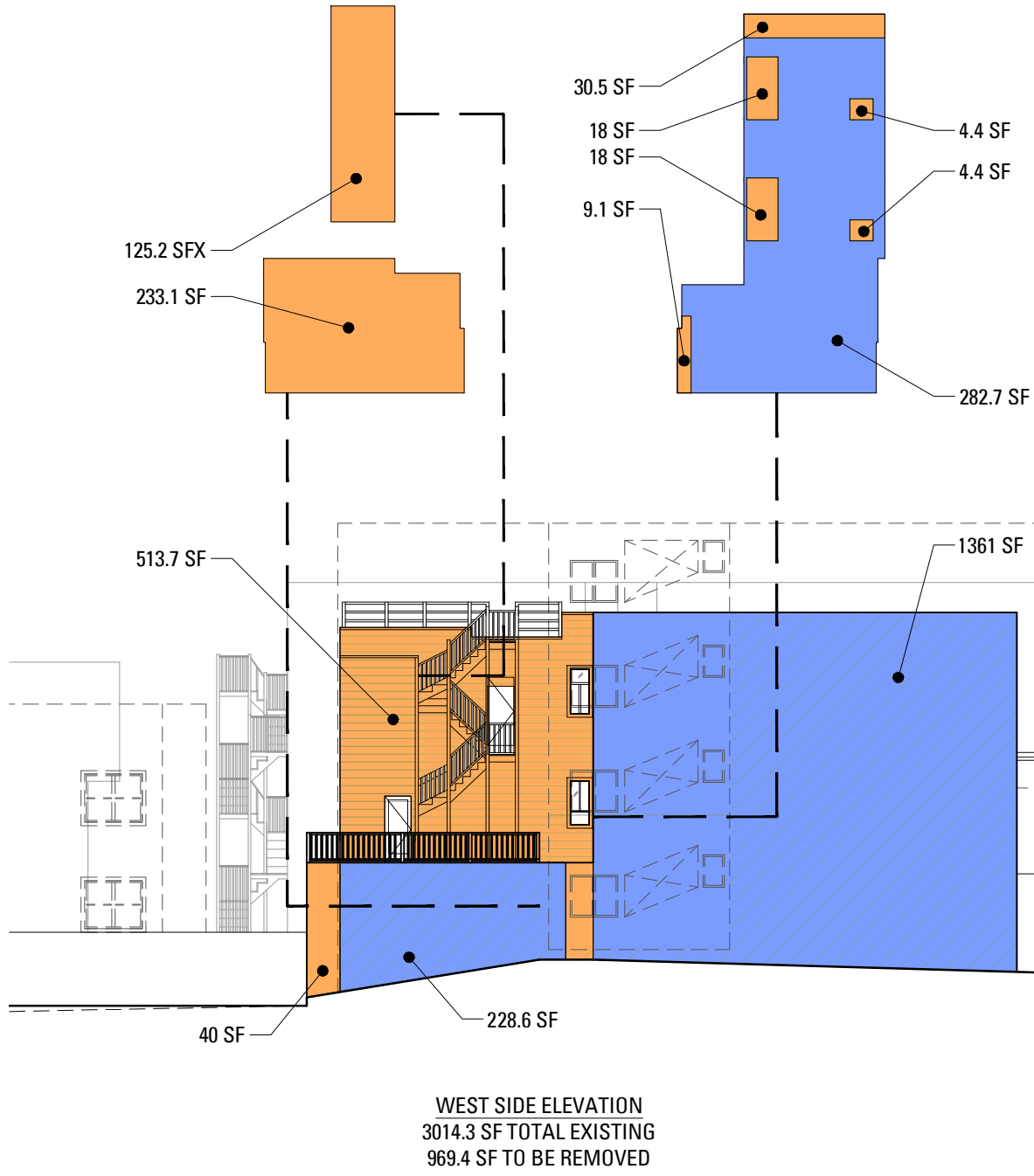
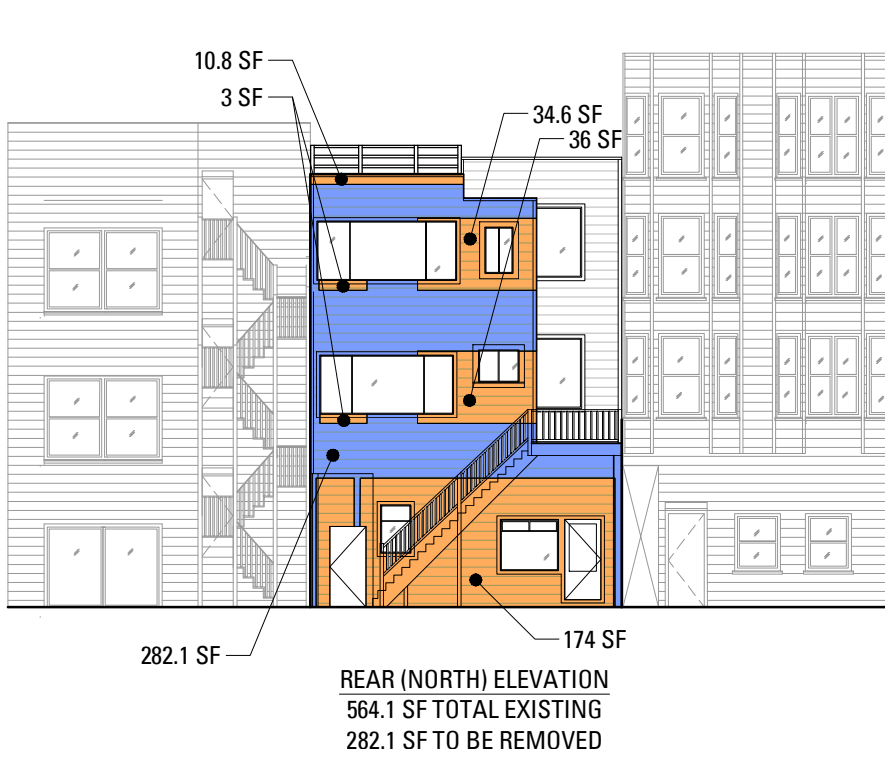
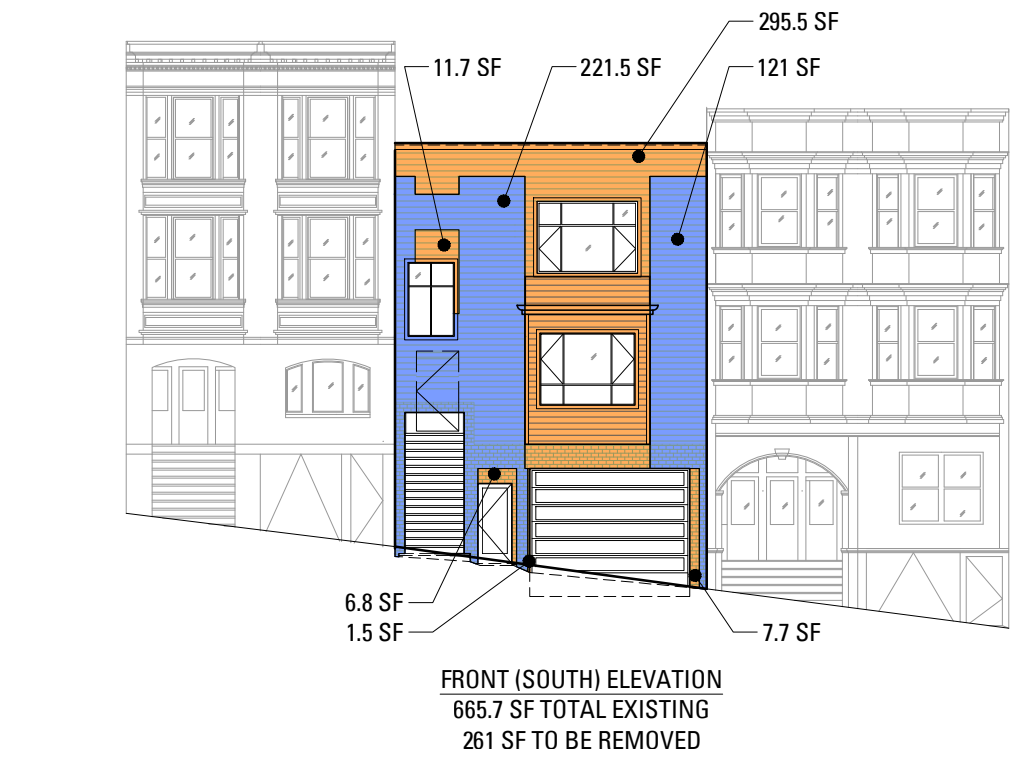


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and Remodel

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MARTINKOVIC MILFORD ARCHITECTS

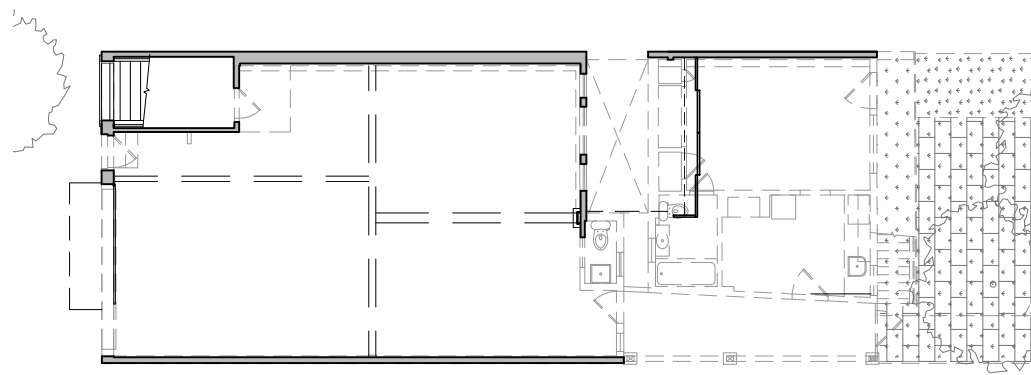
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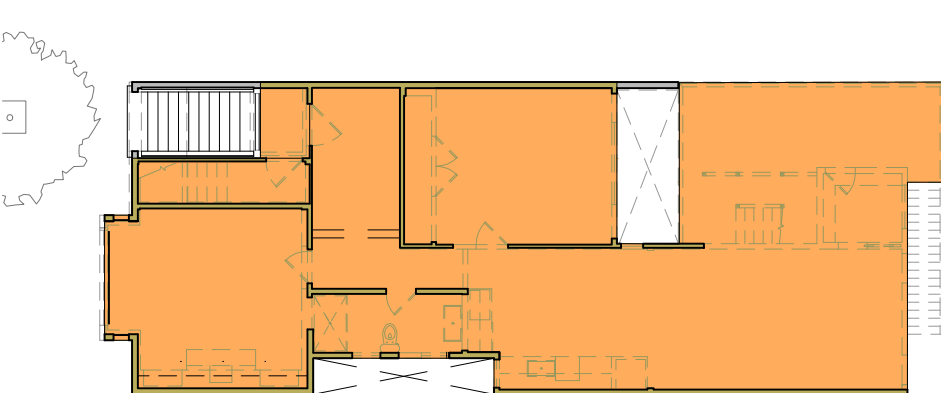
VERTICAL ENVELOPE ELEMENT LEGEND

- VERTICAL ENVELOPE ELEMENT TO BE REMOVED
- VERTICAL ENVELOPE ELEMENT TO REMAIN

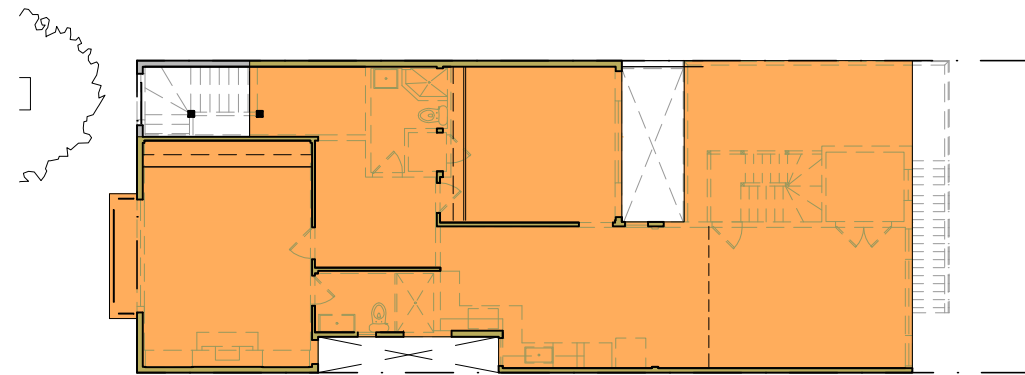
4 VERTICAL AREA CALCULATIONS  
SCALE: N.T.S.



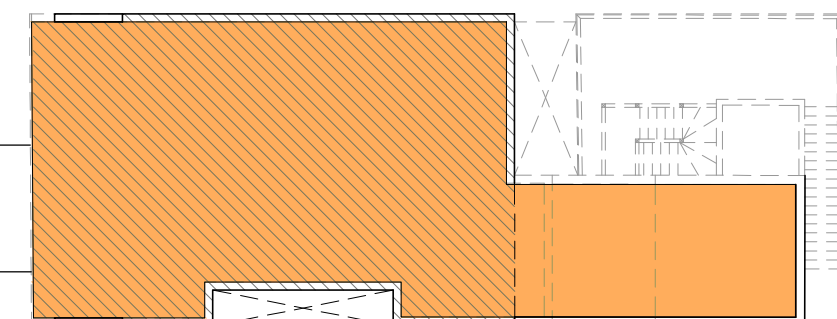
FIRST FLOOR (SLAB ON GRADE) - NOT APPLICABLE  
EXISTING HORIZONTAL AREA: 1494 SF



SECOND FLOOR  
EXISTING HORIZONTAL AREA: 1515 SF  
REMOVED HORIZONTAL AREA: 45 SF



THIRD FLOOR  
EXISTING HORIZONTAL AREA: 1298 SF  
REMOVED HORIZONTAL AREA: 20 SF

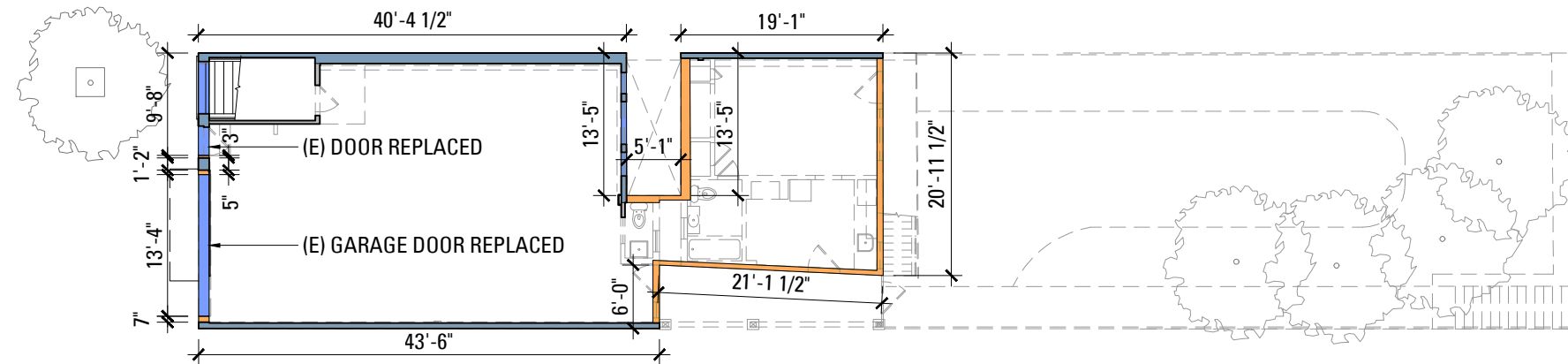


ROOF PLAN  
EXISTING HORIZONTAL AREA: 1306 SF  
REMOVED HORIZONTAL AREA: 1191 SF

HORIZONTAL ELEMENT LEGEND

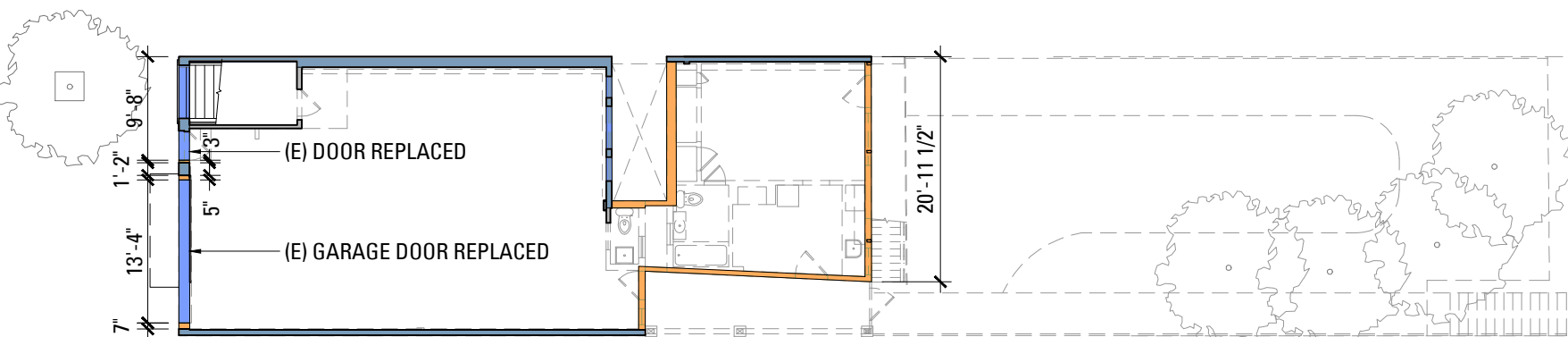
- HORIZONTAL ELEMENT TO BE REMOVED
- HORIZONTAL ELEMENT TO REMAIN

3 HORIZONTAL AREA CALCULATIONS  
SCALE: N.T.S.



TOTAL REMOVED PERIMETER = 67'-10"  
TOTAL EXISTING PERIMETER = 208'-4 1/2"

2 PERIMETER WALLS - LINEAR FEET  
SCALE: N.T.S.



TOTAL REMOVED FRONT & REAR = 22'-2 1/2"  
TOTAL EXISTING FRONT & REAR = 46'-2 1/2"

1 FRONT AND REAR - LINEAR FEET  
SCALE: N.T.S.

EXTERIOR WALL LEGEND

- PORTION OF WALL TO BE REMOVED
- PORTION OF WALL TO REMAIN

SECTION 317 (C) DEMOLITION CALCULATIONS - METHOD 2

VERTICAL AREA CALCULATIONS. SEE DRAWINGS 4/A003

ABOVE GRADE VERTICAL ELEMENTS IN SQUARE FEET	EXISTING	PROPOSED REMOVAL	PERCENT REMOVAL	PERCENT BY CODE	COMPLIES?
FRONT (SOUTH) ELEVATION	665.7	261	--	--	--
WEST SIDE ELEVATION	3014.3	969.4	--	--	--
REAR (NORTH) ELEVATION	564.1	282.1	--	--	--
EAST SIDE ELEVATION	2250.1	75.5	--	--	--
TOTAL	6494.2	1588	24.4 %	50 %	YES

HORIZONTAL AREA CALCULATIONS. SEE DRAWING 3/A003

HORIZONTAL ELEMENTS IN SQUARE FEET	EXISTING	PROPOSED REMOVAL	PERCENT REMOVAL	PERCENT BY CODE	COMPLIES?
FIRST FLOOR (SLAB ON GRADE) NOT APPLICABLE	1494	--	--	--	--
SECOND FLOOR	1515	1515	--	--	--
THIRD FLOOR	1298	1298	--	--	--
ROOF ABOVE THIRD FLOOR	1306	1306	--	--	--
TOTAL	4,119	4,119	100 %	50 %	NO

METHOD 2 COMPLIANCE

YES

SECTION 317 (B) DEMOLITION CALCULATIONS - METHOD 1

FRONT AND REAR FACADE CALCULATIONS. SEE DRAWING 1/A003

SUM OF FRONT AND REAR FACADES MEASURED IN LINEAL FEET	EXISTING	PROPOSED REMOVAL	PERCENT REMOVAL	PERCENT BY CODE	COMPLIES?
FRONT FACADE	25'-3"	1'-3"	--	--	--
REAR FACADE	20'-11 1/2"	20'-11 1/2"	--	--	--
TOTAL	46'-2 1/2"	22'-2 1/2"	48 %	50.00 %	YES

PERIMETER WALL CALCULATIONS. SEE DRAWING 2/A002

SUM OF EXTERIOR WALLS MEASURED AT FOUNDATION LEVEL	EXISTING	PROPOSED REMOVAL	PERCENT REMOVAL	PERCENT BY CODE	COMPLIES?
PERIMETER	208'-4 1/2"	67'-10"	32.6 %	65.00 %	YES

METHOD 1 COMPLIANCE

YES

RECORD OF DRAWING ISSUANCE

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SITE PERMIT SET REV. 4	09.20.2016



SITE PERMIT SET  
REVISION 4

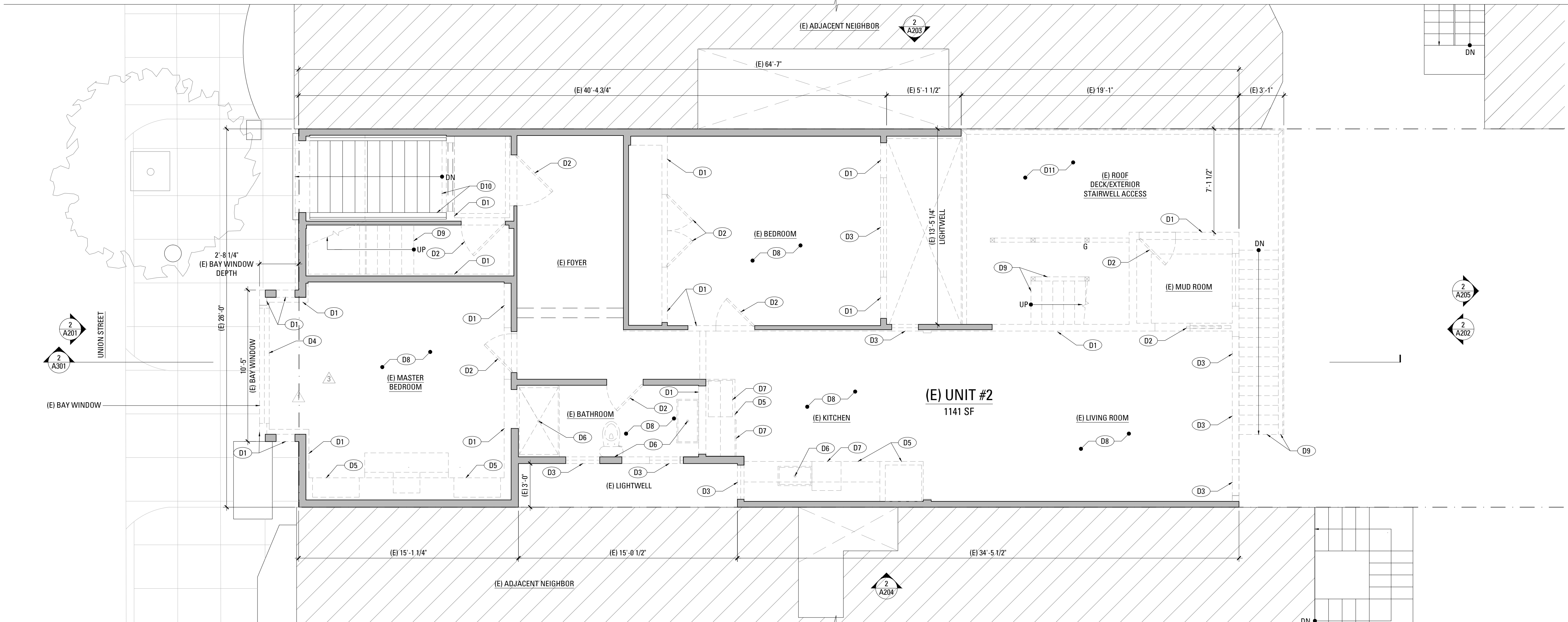
Drawn By: S.A.  
Checked By: B.M.  
Project Number: 1554.1

Section 317B Calculations

SHEET NUMBER

A005





**2** SECOND FLOOR EXISTING/DEMOLITION PLAN : BUILDING A  
SCALE: 1/4" = 1'-0"

**LEGEND**

- (E) CONSTRUCTION TO BE REMOVED
- ===== (E) WALL CONSTRUCTION
- (N) SCHEDULED WALL OR FINISH ASSEMBLY. SEE SHEET A901.
- (N) INDICATES RATED ASSEMBLY. SEE SHEET A901.
- ~~~~~ (N) SOUND ATTENUATION BATT INSULATION
- G (N) GAS SHUT OFF. LOCATE IN ACCESSIBLE AREA IN CABINET [CMC 1312.3]

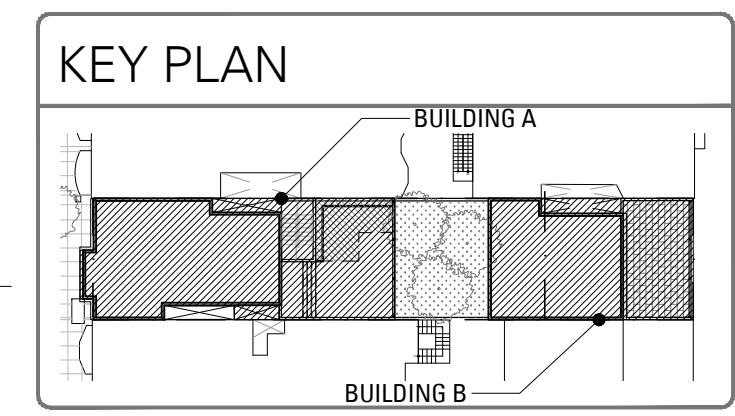
NOTE: ALL (N) WALLS TYPE 'A' U.O.N.

**EXISTING & DEMOLITION NOTES**

- CONTRACTOR SHALL COORDINATE THE EXTENT OF THE DEMOLITION WITH CONSTRUCTION PLANS AND PROTECT ALL PORTIONS OF (E) STRUCTURE TO REMAIN
- REMOVE ALL (E) FINISHES, HARDWARE, EQUIPMENT, CONDUIT, PLUMBING, AND FRAMING NECESSARY TO ACCOMMODATE ALL NEW WORK
- CAP OFF ALL PLUMBING, GAS, & ELECTRICAL LINES AS REQUIRED.
- CONTRACTOR SHALL ENSURE THE STABILITY OF ALL (E) STRUCTURE, FRAMING AND FOUNDATIONS TO REMAIN DURING DEMOLITION AND CONSTRUCTION OF NEW WORK
- CONTRACTOR SHALL REPLACE ALL DAMAGED OR DECAYED EXISTING WOOD FRAMING, FLOOR, OR SHEATHING IN AREAS OF REMODEL AND REPAIR. NOTIFY ARCHITECT IF DAMAGED OR DECAYED CONDITIONS ARE ENCOUNTERED PRIOR TO COMMENCING REPAIR WORK.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFE REMOVAL AND DISPOSAL OF ALL MATERIALS NOT FOR RE-USE ON THIS PROJECT. RECYCLE AND HAUL ALL DEBRIS IN ACCORDANCE WITH LOCAL JURISDICTION REQUIREMENTS & APPLICABLE LAWS.
- DOCUMENTATION HEREIN DOES NOT AUTHORIZE, DESCRIBE, REQUIRE OR INCLUDE THE REMOVAL OF ANY HAZARDOUS MATERIALS OR ELEMENTS, INCLUDING, BUT NOT LIMITED TO LEAD PAINT, ASBESTOS AND PCB'S. GENERAL CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES AND RULES RELATING TO ANY HAZARDOUS OR TOXIC MATERIALS. IF GENERAL CONTRACTOR DISCOVERS ANY SUCH MATERIALS ON THE PROPERTY, GENERAL CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER. ANY REMOVAL OF HAZARDOUS MATERIALS SHALL BE DOCUMENTED SEPARATELY, AND SHALL OCCUR AS REQUIRED BY CODE AND REGULATORY REQUIREMENTS.

**EXISTING & DEMOLITION KEYNOTES**

D1	REMOVE (E) WALL TO ACCOMMODATE (N) WORK (S.S.D.)
D2	REMOVE (E) DOOR
D3	REMOVE (E) WINDOW TO ACCOMMODATE (N) WORK
D4	(E) WINDOW TO BE REPLACED IN KIND
D5	REMOVE (E) CASEWORK/CABINETRY
D6	REMOVE (E) PLUMBING FIXTURE ; CAP OFF /RE-ROUTE UTILITY LINES, AS REQUIRED
D7	REMOVE (E) APPLIANCE/EQUIPMENT; CAP OFF /RE-ROUTE UTILITY LINES, AS REQUIRED
D8	REMOVE (E) FINISHES IN THIS AREA TO ACCOMMODATE (N) WORK
D9	REMOVE (E) STAIRS AND (E) HANDRAIL
D10	(E) STAIRS AND HANDRAIL TO BE REPAIRED TO MAINTAIN (E) CONDITIONS.
D11	REMOVE (E) ROOF TO ACCOMMODATE (N) WORK
D12	PREPARE (E) ROOF FOR (N) ROOF DECK
D13	(E) REAR YARD TO BE EXCAVATED TO ACCOMMODATE (N) WORK IN REAR YARD
D14	REMOVE (E) PARAPETS TO ACCOMMODATE (N) WORK
D15	REMOVE (E) LANDSCAPING TO ACCOMMODATE (N) WORK



**870 Union Street  
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SAN FRANCISCO, CA 94133

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San Francisco, CA 94104  
T 415 346 9990

**SEAL OF ARCHITECT  
MILFORD T. MARTINKOVIC  
No. C28490  
Exp. 6/30/2017  
STATE OF CALIFORNIA**

RECORD OF DRAWING ISSUANCE

PRE-APP MEETING	10.13.2015
SITE PERMIT SET	11.13.2015
SITE PERMIT SET REV.	04.27.2016
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SITE PERMIT SET REV. 4	09.20.2016
SITE PERMIT SET REV. 5	10.11.2016

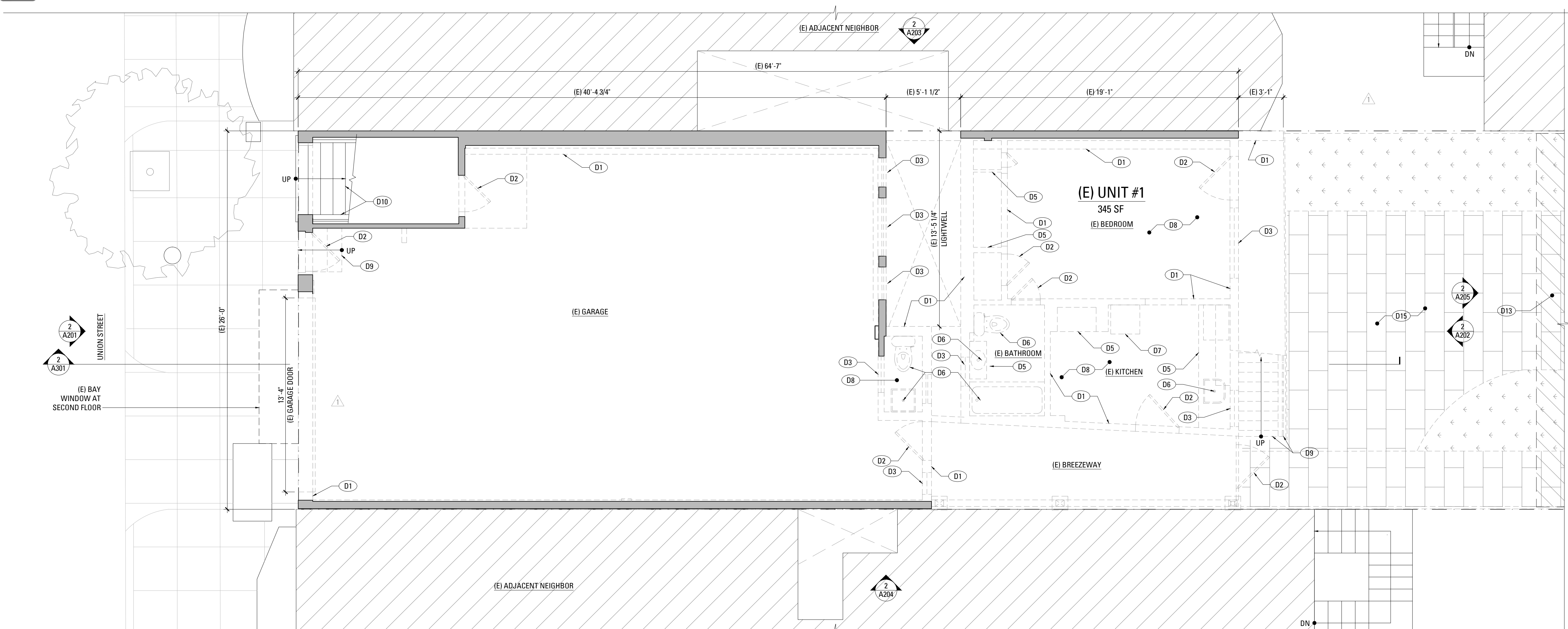
**SITE PERMIT SET  
REVISION 5**

Drawn By:	S.A.
Checked By:	B.M.
Project Number:	1554.1

**Existing & Demolition Plan**

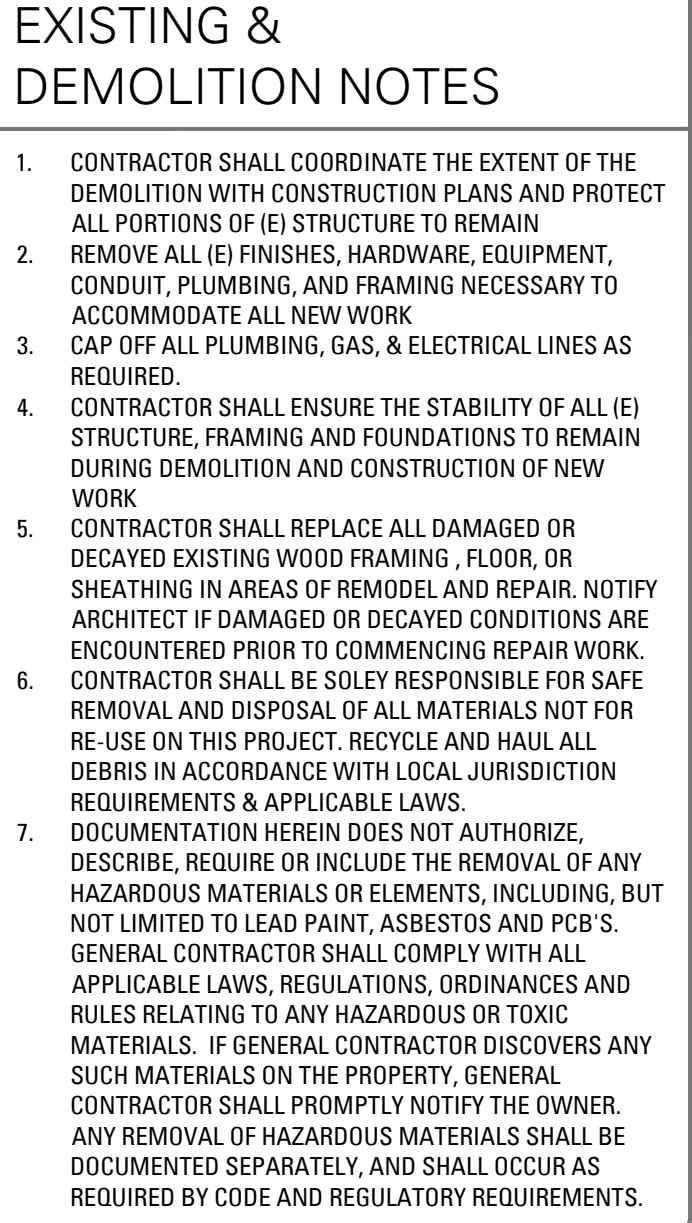
**SHEET NUMBER**

**A101**



**1** FIRST FLOOR EXISTING/DEMOLITION PLAN : BUILDING A  
SCALE: 1/4" = 1'-0"





### KEY PLAN

The key plan shows the layout of the site. Building A is a large rectangular structure with a central courtyard. Building B is a smaller rectangular structure to the right of Building A. The site is bounded by a road to the north and a road to the south. The plan shows the layout of the buildings, the courtyard, and the surrounding roads.

A102-EXISTING &amp; DEMOLITION PLAN.DWG



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----- (E) CONSTRUCTION TO BE REMOVED

===== (E) WALL CONSTRUCTION

□ PARTITION TYPE SYMBOL

||||| (N) SCHEDULED WALL OR FINISH ASSEMBLY. SEE SHEET A901.

--- INDICATES RATED ASSEMBLY. SEE SHEET A901.






~~~~~ (N) SOUND ATTENUATION BATT INSULATION

G (N) GAS SHUT OFF; LOCATE IN ACCESSIBLE AREA IN CABINET (CMC 1312.3)

NOTE: ALL (N) WALLS TYPE "A" U.O.N.

1. CONTRACTOR SHALL COORDINATE THE EXTENT OF THE DEMOLITION WITH CONSTRUCTION PLANS AND PROTECT ALL PORTIONS OF (E) STRUCTURE TO REMAIN
2. REMOVE ALL (E) FINISHES, HARDWARE, EQUIPMENT, CONDUIT, PLUMBING, AND FRAMING NECESSARY TO ACCOMMODATE ALL NEW WIRING, GAS, AND PLUMBING
3. CAP OFF ALL NEW WIRING, GAS, & ELECTRICAL LINES AS REQUIRED.
4. CONTRACTOR SHALL ENSURE THE STABILITY OF ALL (E) STRUCTURE, FRAMING AND FOUNDATIONS TO REMAIN DURING DEMOLITION AND CONSTRUCTION OF NEW WORK
5. CONTRACTOR SHALL REPLACE ALL DAMAGED OR DECAYED EXISTING WORK, FLOOR, FLOOR, OR SHEATHING IN AREAS OF REMODEL AND REPAIR. NOTIFY ARCHITECT IF DAMAGED OR DECAYED CONDITIONS ARE ENCOUNTERED PRIOR TO COMMENCING REPAIR WORK.
6. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFE REMOVAL AND DISPOSAL OF ALL MATERIALS. CONTRACTOR FOR RE-USE ON THIS PROJECT. RECYCLE AND HAILL ALL DEBRIS IN ACCORDANCE WITH LOCAL JURISDICTION REQUIREMENTS & APPLICABLE LAWS.
7. DOCUMENTATION HEREIN DOES NOT AUTHORIZE, DESCRIBE, REQUIRE OR INCLUDE THE REMOVAL OF ANY HAZARDOUS MATERIALS OR ASBESTOS. INCLUDING, BUT NOT LIMITED TO LEAD PAINT, ASBESTOS AND PCB'S. GENERAL CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES AND RULES RELATING TO ANY HAZARDOUS OR TOXIC MATERIALS. IF GENERAL CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIALS OR ASBESTOS, GENERAL CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER. ANY REMOVAL OF HAZARDOUS MATERIALS SHALL BE DOCUMENTED SEPARATELY, AND SHALL OCCUR AS REQUIRED BY CODE AND REGULATORY REQUIREMENTS.

|     |                                                                                 |
|-----|---------------------------------------------------------------------------------|
| D1  | REMOVE (E) WALL TO ACCOMMODATE (N) WORK (I.S.S.D.)                              |
| D2  | REMOVE (E) DOOR                                                                 |
| D3  | REMOVE (E) WINDOW TO ACCOMMODATE (N) WORK                                       |
| D4  | (E) WINDOW TO BE REPLACED IN KIND                                               |
| D5  | REMOVE (E) CASEWORK/CABINETS                                                    |
| D6  | REMOVE (E) PLUMBING FIXTURE ;<br>CAP OFF /RE-ROUTE UTILITY LINES, AS REQUIRED   |
| D7  | REMOVE (E) APPLIANCE/EQUIPMENT;<br>CAP OFF /RE-ROUTE UTILITY LINES, AS REQUIRED |
| D8  | REMOVE (E) FINISHES IN THIS AREA<br>TO ACCOMMODATE (N) WORK                     |
| D9  | REMOVE (E) STAIRS AND (E) HANDRAIL                                              |
| D10 | (E) STAIRS AND HANDRAIL TO BE REPAIRED TO<br>MAINTAIN (E) CONDITIONS.           |
| D11 | REMOVE (E) ROOF TO ACCOMMODATE (N) WORK                                         |
| D12 | PREPARE (E) ROOF FOR (N) ROOF DECK                                              |
| D13 | (E) REAR YARD TO BE EXCAVATED TO<br>ACCOMMODATE (N) WORK IN REAR YARD           |
| D14 | REMOVE (E) PARAPETS TO ACCOMMODATE (N) WORK                                     |
| D15 | REMOVE (E) LANDSCAPING TO ACCOMMODATE (N)<br>WORK                               |

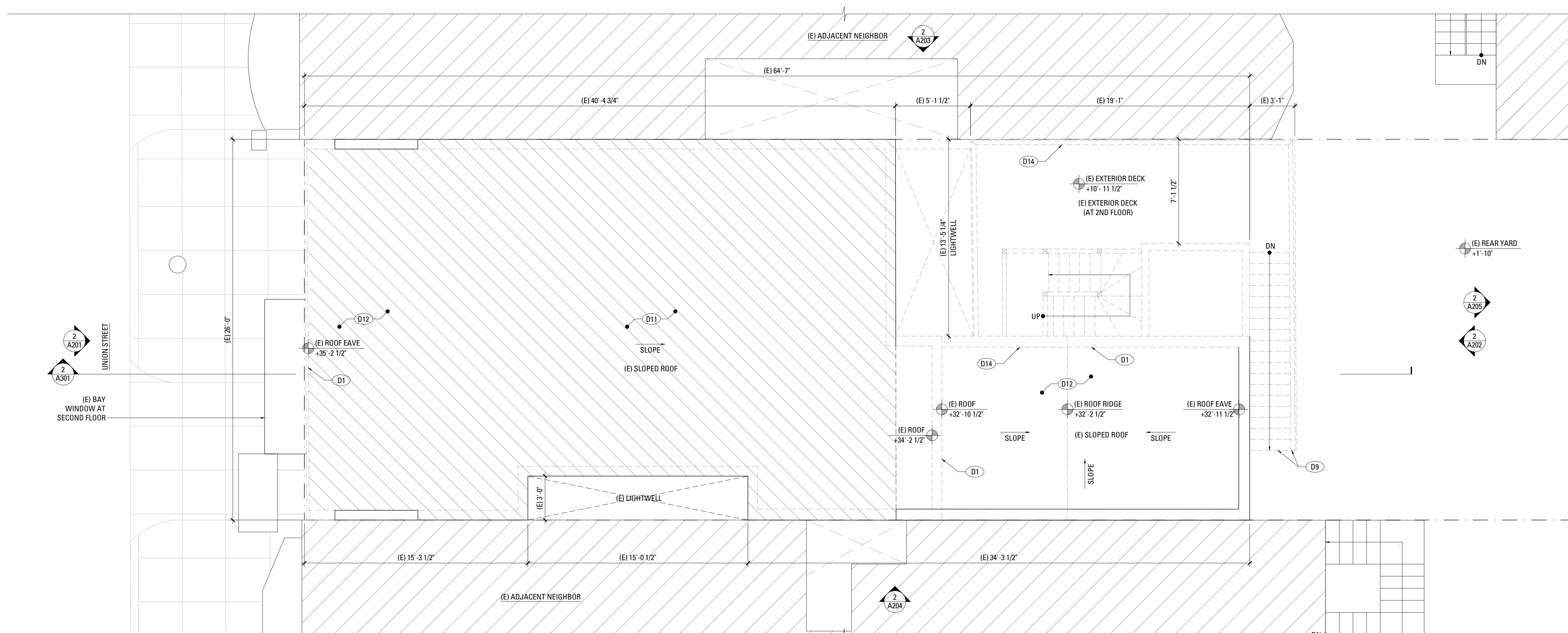
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| PRE-APP MEETING        | 10.13.2015                                                                                       |
| SITE PERMIT SET        | 11.13.2015                                                                                       |
| SITE PERMIT SET REV.   |  04.27.2016 |
| SITE PERMIT SET REV. 2 |  05.26.2016 |
| SITE PERMIT SET REV. 3 |  06.10.2016 |
| SITE PERMIT SET REV. 4 |  09.20.2016 |
| SITE PERMIT SET REV. 5 |  10.11.2016 |



|                 |        |
|-----------------|--------|
| Drawn By:       | S.A.   |
| Checked By :    | B.M.   |
| Project Number: | 1554.1 |

SHEET NUMBER

A103



**1** ROOF LEVEL EXISTING/DEMOLITION PLAN : BUILDING A

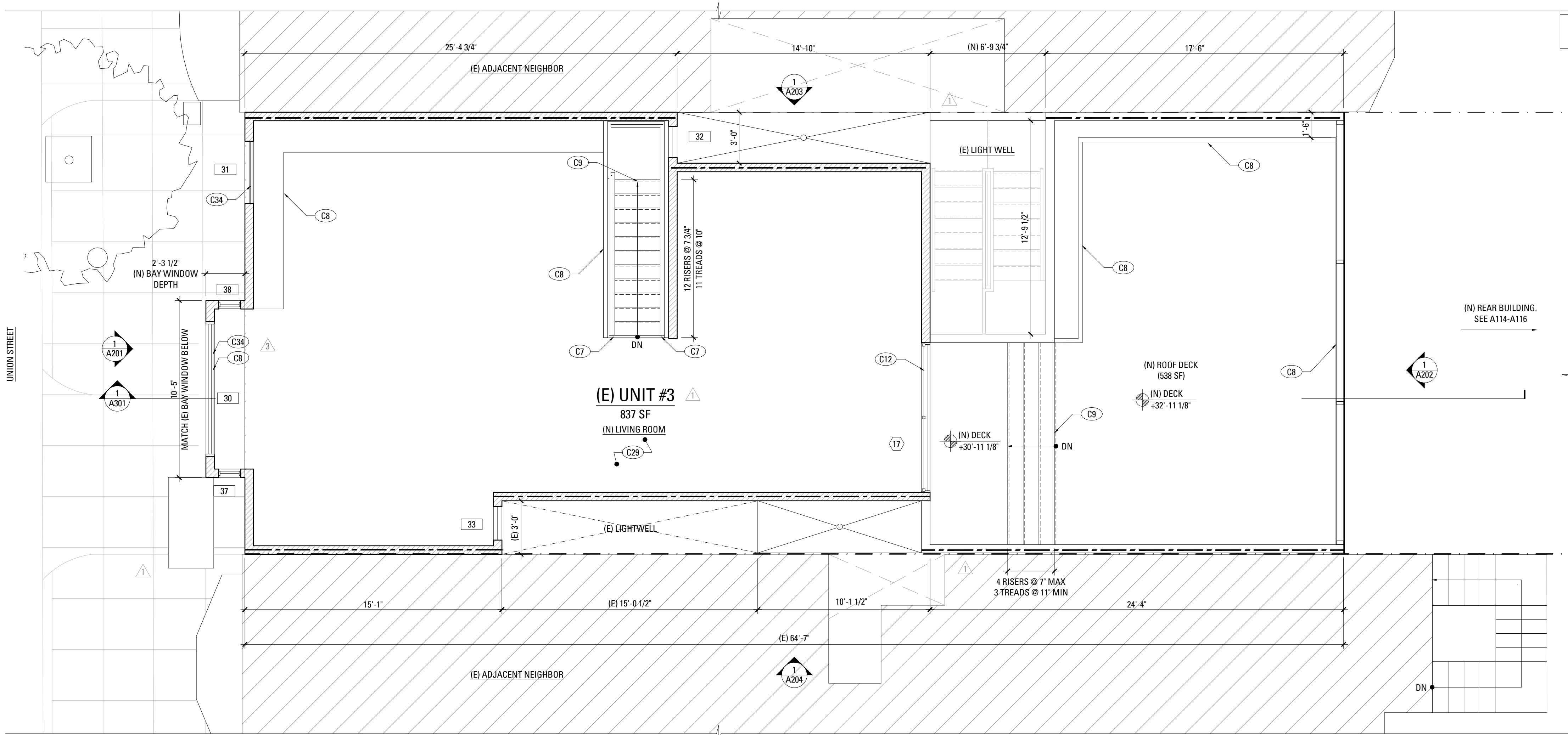
SCALE:  $1/4" = 1'-0"$

A103-EXISTING &amp; DEMOLITION PLAN.DWG

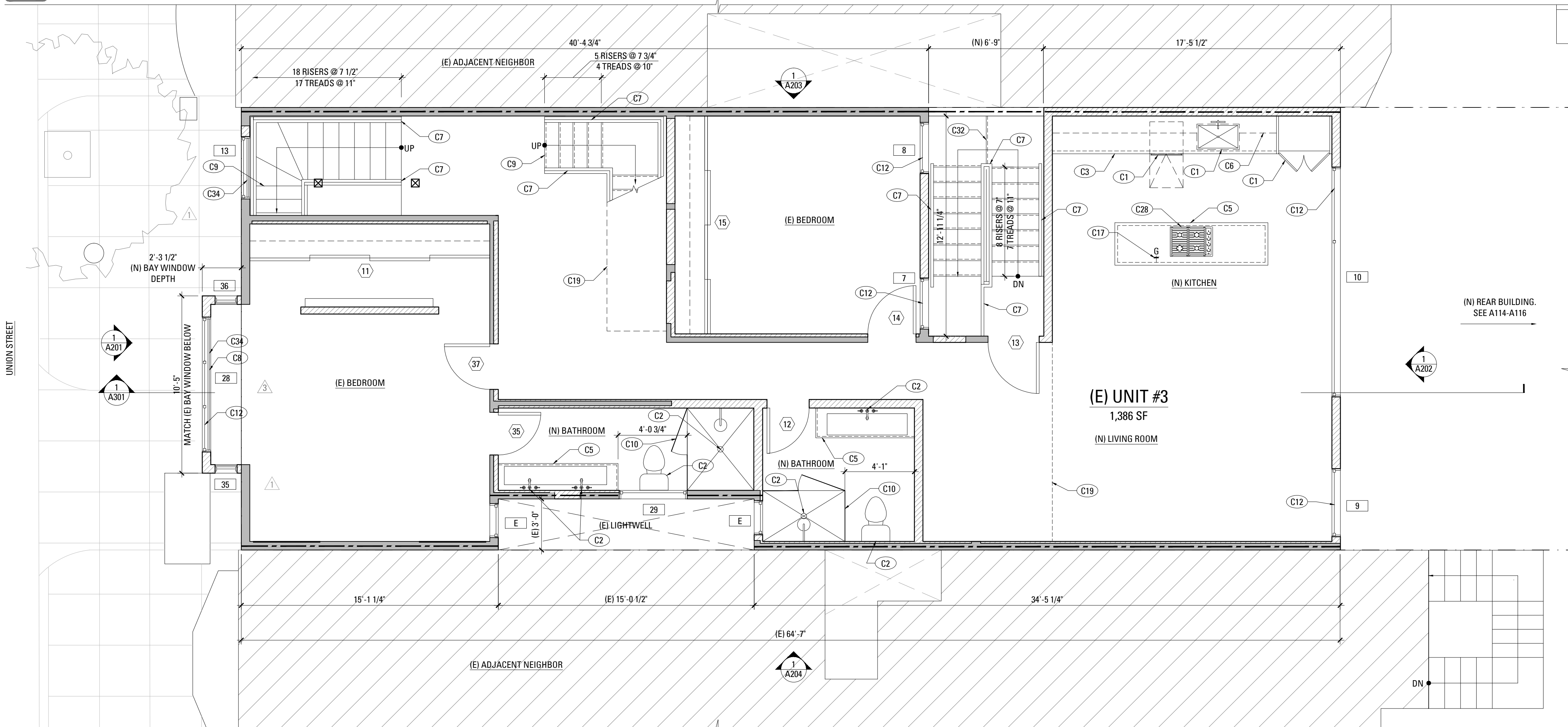








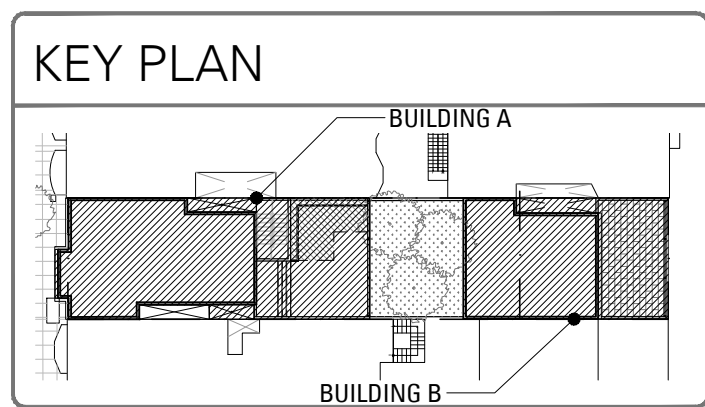
2 FOURTH FLOOR CONSTRUCTION PLAN : BUILDING A  
SCALE: 1/4" = 1'-0"



1 THIRD FLOOR CONSTRUCTION PLAN : BUILDING A  
SCALE: 1/4" = 1'-0"

| CONSTRUCTION KEYNOTES |                                                                                                                                                                                                                       |
|-----------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| C1                    | (N) APPLIANCES AND EQUIPMENT. SEE SCHEDULE                                                                                                                                                                            |
| C2                    | (N) PLUMBING FIXTURES, TYP. SEE SCHEDULE                                                                                                                                                                              |
| C3                    | (N) BUILT-IN CASEWORK. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                                       |
| C4                    | (N) FULL HEIGHT BUILT-IN CASEWORK. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                           |
| C5                    | (N) BASE CABINETS AND COUNTER. SEE INTERIOR ELEVATIONS                                                                                                                                                                |
| C6                    | (N) UPPER CABINETS. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                                          |
| C7                    | (N) GRIPPABLE HANDRAIL @ 36" ABOVE NOSING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1; GLASS HANDRAIL ASSEMBLIES SHALL ALSO COMPLY WITH CBC 2407          |
| C8                    | (N) GUARDRAIL AT 42" A.F.F. WITH 4" MAX. OPENING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1; GLASS GUARDRAIL ASSEMBLIES SHALL ALSO COMPLY WITH CBC 2407. |
| C9                    | (N) STAIR                                                                                                                                                                                                             |
| C10                   | (N) TEMPERED GLASS SHOWER ENCLOSURE                                                                                                                                                                                   |
| C11                   | (N) SKYLIGHT ABOVE. SEE SCHEDULE                                                                                                                                                                                      |
| C12                   | (N) OR REPLACEMENT WINDOW TO BE OPERABLE AND COMPLY WITH EGRESS REQUIREMENTS PER CBC 1029                                                                                                                             |
| C13                   | PROVIDE MIN. 1/2" TYPE "X" GWB. TO WALLS & MIN. 5/8" TYPE "X" GWB. TO THE CEILING ON THE GARAGE SIDE PER CBC 406.3.4                                                                                                  |
| C14                   | (N) FAU. HEAT SYSTEM BY G.C.                                                                                                                                                                                          |
| C15                   | (N) HOT WATER HEATER BY G.C.                                                                                                                                                                                          |
| C16                   | (N) WASHER/DRYER AND HOOK UPS. VENT DRYER TO EXTERIOR                                                                                                                                                                 |
| C17                   | (N) GAS SHUT-OFF                                                                                                                                                                                                      |
| C18                   | (N) CARPENTER-BUILT STAIR; (3) 2X12 WD. STRINGERS MIN. W/ 3/4" PLYWD. TREADS & RISERS; P.T. LUMBER AT ALL EXTERIOR CONDITIONS                                                                                         |
| C19                   | (N) STAIR SOFFIT ABOVE                                                                                                                                                                                                |
| C20                   | (N) FLOOR ABOVE                                                                                                                                                                                                       |
| C21                   | LOCATION OF EQUAL ACCESS FOR STORAGE COLLECTION AND LOADING OF RECYCLABLE, COMPOSTABLE, AND LANDFILL MATERIALS.                                                                                                       |
| C22                   | 144 SQ. FT. REQUIRED PARKING CLEARANCE                                                                                                                                                                                |
| C23                   | (N) DEDICATED CLASS 1 BICYCLE PARKING SPOT                                                                                                                                                                            |
| C24                   | REPAIRED (E) STAIRS TO MATCH (E) CONDITIONS                                                                                                                                                                           |
| C25                   | WALLS AND CEILING OF PASSAGE SHALL BE RATED AND CONSTRUCTED PER CBC 707 & 711 (CBC TABLE 721.1 (3) 13-1.4)                                                                                                            |
| C26                   | PROVIDE 5/8" GYPSUM BOARD ON UNDERSIDE OF STAIRS                                                                                                                                                                      |
| C27                   | (N) CONCRETE RETAINING WALL                                                                                                                                                                                           |
| C28                   | (N) EXHAUST HOOD COMPLIANT WITH CBC 2013, EXTERIOR VENT                                                                                                                                                               |
| C29                   | (N) CONTINUOUS HOUSE FAN FOR AREA GREATER THAN 20'-0" FROM EXTERIOR OPENING FOR REQUIRED VENTILATION                                                                                                                  |
| C30                   | (N) GLASS PARTITION                                                                                                                                                                                                   |
| C31                   | MINIMUM 200 SQ. INCH LOUVER FOR GARAGE VENTILATION                                                                                                                                                                    |
| C32                   | 1 RISER AT 7" MAXIMUM                                                                                                                                                                                                 |
| C33                   | (E) PROPERTY LINE WALL TO RECEIVE ACOUSTIC OPEN-FACED BATT INSULATION                                                                                                                                                 |
| C34                   | (N) FIXED GLASS PANEL UP TO 3'-0" A.F.F. INSIDE WINDOW FRAME                                                                                                                                                          |

| MECHANICAL GENERAL NOTES |                                                                                   |
|--------------------------|-----------------------------------------------------------------------------------|
| 1.                       | ENVIRONMENTAL AIR DUCTS TERMINATE 3' FROM PROPERTY LINE & OPENINGS INTO BUILDING. |
| 2.                       | PROVIDE GAS VENT TERMINATIONS PER CMC 802.6 & 802.6.2                             |
| 3.                       | PROVIDE COMBUSTION AIR PER CMC CHAPTER 7.                                         |
| 4.                       | PROVIDE SPACE HEATING TO ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY.        |



| LEGEND                              |                                                                     |
|-------------------------------------|---------------------------------------------------------------------|
| -----                               | (E) CONSTRUCTION TO BE REMOVED                                      |
| =====                               | (E) WALL CONSTRUCTION                                               |
| +                                   | PARTITION TYPE SYMBOL                                               |
|                                     | (N) SCHEDULED WALL OR FINISH ASSEMBLY. SEE SHEET A901.              |
| ---                                 | INDICATES RATED ASSEMBLY. SEE SHEET A901.                           |
|                                     | (N) SOUND ATTENUATION BATT INSULATION                               |
| G                                   | (N) GAS SHUT OFF; LOCATE IN ACCESSIBLE AREA IN CABINET [CMC 1312.3] |
| NOTE: ALL (N) WALLS TYPE 'A' U.O.N. |                                                                     |

| CONSTRUCTION GENERAL NOTES |                                                                                                                                                                                                                                                                                                                                           |
|----------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1.                         | ALL (N) WALLS TYPE 'A' U.O.N. SEE SCHEDULE, A901.                                                                                                                                                                                                                                                                                         |
| 2.                         | ALL DIMENSIONS ARE TO FACE OF FINISH, CENTERLINE OF OPENING OR EDGE OF JAMB FRAME, U.O.N.                                                                                                                                                                                                                                                 |
| 3.                         | DOORS NOT LOCATED BY DIMENSION SHALL BE PLACED 3" OFF JAMB, U.O.N.                                                                                                                                                                                                                                                                        |
| 4.                         | ALL REQUIRED HANDRAILS SHALL COMPLY WITH HANDRAIL GRASPABILITY PER CBC 102.3.                                                                                                                                                                                                                                                             |
| 5.                         | PROVIDE & INSTALL FLASHING, COUNTERFLASHING, CAP FLASHING, METAL TRIM, OTHER FABRICATED ITEMS AND MISCELLANEOUS SHEET METALWORK AT JUNCTIONS OF A ROOF AND WALL, AT CHIMNEYS, OVER EXPOSED DOORS AND WINDOWS, AT CHANGES OF SIDING MATERIAL IN ROOF VALLEYS OR WHERE REQUIRED TO PROVIDE COMPLETE WATERTIGHT AND WATERPROOF CONSTRUCTION. |
| 6.                         | PROVIDE & INSTALL ONE PIECE GSM PAN FLASHING AT ALL NEW AND REPLACEMENT EXTERIOR DOORS. COMPLY WITH ASTM E212-07, STANDARD PRACTICE FOR INSTALLATION OF EXTERIOR WINDOWS, DOORS, AND SKYLIGHTS.                                                                                                                                           |
| 7.                         | WATERPROOFING SHALL OVERLAP FLASHINGS FOR POSITIVE DRAINAGE AT ALL CONDITIONS.                                                                                                                                                                                                                                                            |
| 8.                         | FLASHING & SHEET METALWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH SHEET METAL & AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA) ARCHITECTURAL SHEET METAL MANUAL. COMPLY WITH MINIMUM THICKNESS OR GAGE REQUIREMENTS AS SPECIFIED IN SMACNA ARCHITECTURAL SHEET METAL MANUAL.                                    |
| 9.                         | ISOLATE AND PROTECT DISSIMILAR METALS FROM CONTACT WITH EACH OTHER BY APPLYING SPECIFIED ISOLATION MATERIAL TO CONTACT SURFACES. PROTECT SURFACES OF SHEET METAL IN CONTACT WITH CONCRETE, TREATED WOOD, OR ALUMINUM WITH A HEAVY COATING OF BITUMINOUS PAINT AS RECOMMENDED BY MANUFACTURER/FABRICATOR.                                  |
| 10.                        | FLASHING & SHEET METALWORK WILL NOT BE MEASURED SEPARATELY FOR PAYMENT BUT WILL BE PAID FOR AS PART OF THE CONTRACT LUMP SUM PRICE FOR ARCHITECTURAL WORK.                                                                                                                                                                                |
| 11.                        | PROVIDE MINIMUM OF R-13 BATT INSULATION IN EXTERIOR WALLS ADJACENT TO (N) AND (E) LIVING SPACE, IN AREAS NOT ALREADY INSULATED.                                                                                                                                                                                                           |
| 12.                        | PROVIDE CEMENT BOARD BACKING IN AREAS TO RECEIVE TILE FINISH                                                                                                                                                                                                                                                                              |
| 13.                        | WOOD LOCATED NEARER THAN 6" TO EARTH SHALL BE TREATED WOOD                                                                                                                                                                                                                                                                                |
| 14.                        | ALL DOORS AND WINDOWS NOT TAGGED ARE EXISTING TO REMAIN U.O.N.                                                                                                                                                                                                                                                                            |
| 15.                        | ALL TOILETS TO HAVE A MINIMUM CLEARANCE OF 24" IN FRONT AND 15" FROM CENTERLINE OF THE TOILET TO EACH SIDE                                                                                                                                                                                                                                |
| 16.                        | STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES ABOVE THE FRONT EDGE OF THE NOSING.                                                                                                                                                                                                                                        |
| 17.                        | ALL APPLIANCES WITH QUICK-ACTING VALVES, INCLUDING BUT NOT LIMITED TO DISHWASHERS & CLOTHES WASHERS, SHALL HAVE WATER HAMMER ARRESTORS (CPC 609.10)                                                                                                                                                                                       |
| 18.                        | ALL EXISTING NON-COMPLIANT AND NEW PLUMBING FIXTURES SHALL COMPLY WITH CALIFORNIA SB-407 (2009)                                                                                                                                                                                                                                           |
| 19.                        | WATER HEATERS SHALL HAVE SEISMIC STRAPPING AT A POINT WITHIN THE UPPER 1/3 AND THE LOWER 1/3 OF THE WATER HEATER'S VERTICAL DIMENSIONS. AT THE LOWER POINT, A MINIMUM DISTANCE OF FOUR (4) INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS TO THE STRAP. (CPC 507.2)                                                                        |
| 20.                        | KITCHEN RANGES SHALL BE PROVIDED WITH A METAL VENTILATING HOOD. A VERTICAL CLEARANCE OF 24" MINIMUM BETWEEN THE COOKTOP & METAL VENTILATING HOOD SHALL BE MAINTAINED. THE HOOD SHALL BE AS WIDE AS THE RANGE AND CENTERED OVER THE UNIT. THE METAL HOOD SHALL BE 0.0122" MINIMUM THICK (2013 CMC 920.3)                                   |
| 21.                        | EACH KITCHEN IS REQUIRED TO HAVE AN EXHAUST FAN DUCTED TO THE OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM.                                                                                                                                                                                                                         |
| 22.                        | ALL EXHAUST FAN DUCTING, INCLUDING BUT NOT LIMITED TO TO KITCHEN AND BATHROOM EXHAUST FANS, SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1.                                                                                                                                                                                   |
| 23.                        | APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY AT LEAST AS LARGE AS THE LARGEST COMPONENT OF THE APPLIANCE, AND NOT LESS THAN 22 INCHES BY 30 INCHES. (CPC 508.4)                                                                                                                       |
| 24.                        | APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A SOLID FLOOR PASSAGEWAY OF NOT LESS THAN 24 INCHES AND A WORK PLATFORM OF NOT LESS THAN 30 INCHES BY 30 INCHES IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. (CPC 508.4.2 & 508.4.3)                                                                                              |
| 25.                        | APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A PERMANENT 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE NEAR THE APPLIANCE. (CPC 508.4.4)                                                                                                                                                                                     |

870 Union Street  
Residence Addition  
and Remodel

870 UNION STREET,  
SAN FRANCISCO, CA 94133

MARTINKOVIC MILFORD ARCHITECTS

101 Montgomery Street Suite 650  
San Francisco, CA 94104  
T 415 346 9990

RECORD OF DRAWING ISSUANCE

|                        |            |
|------------------------|------------|
| PRE-APP MEETING        | 10.13.2015 |
| SITE PERMIT SET        | 11.13.2015 |
| SITE PERMIT SET REV.   | 04.27.2016 |
| SITE PERMIT SET REV. 2 | 05.26.2016 |
| SITE PERMIT SET REV. 3 | 06.10.2016 |
| SITE PERMIT SET REV. 4 | 09.20.2016 |
| SITE PERMIT SET REV. 5 | 10.11.2016 |

SITE PERMIT SET  
REVISION 5

|                 |        |
|-----------------|--------|
| Drawn By:       | S.A.   |
| Checked By:     | B.M.   |
| Project Number: | 1554.1 |

Construction Plan

SHEET NUMBER

A112



|     |                                                                                                                                                                                                                      |
|-----|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| C1  | (N) APPLIANCES AND EQUIPMENT. SEE SCHEDULE                                                                                                                                                                           |
| C2  | (N) PLUMBING FIXTURES, TYP. SEE SCHEDULE                                                                                                                                                                             |
| C3  | (N) BUILT-IN CASEWORK. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                                      |
| C4  | (N) FULL HEIGHT BUILT-IN CASEWORK. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                          |
| C5  | (N) BASE CABINETS AND COUNTER. SEE INTERIOR ELEVATIONS                                                                                                                                                               |
| C6  | (N) UPPER CABINETS. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                                         |
| C7  | (N) GRIPABLE HANDRAIL @ 36" ABOVE NOISING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1; GLASS HANDRAIL ASSEMBLIES SHALL ALSO COMPLY WITH CBC 2407.        |
| C8  | (N) GUARDRAIL AT 42" A.F.F. WITH 4" MAX. OPENING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1;GLASS GUARDRAIL ASSEMBLIES SHALL ALSO COMPLY WITH CBC 2407. |
| C9  | (N) STAIR                                                                                                                                                                                                            |
| C10 | (N) TEMPERED GLASS SHOWER ENCLOSURE                                                                                                                                                                                  |
| C11 | (N) SKYLIGHT ABOVE. SEE SCHEDULE                                                                                                                                                                                     |
| C12 | (N) OR REPLACEMENT WINDOW TO BE OPERABLE AND COMPLY WITH EGRESS REQUIREMENTS PER CBC 1029                                                                                                                            |
| C13 | PROVIDE MIN. 1/2" TYPE "X" GWB. TO WALLS & MIN. 5/8" TYPE "X" GWB. TO THE CEILING ON THE GARAGE SIDE PER CBC 406.3.4                                                                                                 |
| C14 | (N) FAU. HEAT SYSTEM BY G.C.                                                                                                                                                                                         |
| C15 | (N) HOT WATER HEATER BY G.C.                                                                                                                                                                                         |
| C16 | (N) WASHER/DRYER AND HOOK UPS. VENT DRYER TO EXTERIOR                                                                                                                                                                |
| C17 | (N) GAS SHUT-OFF                                                                                                                                                                                                     |
| C18 | (N) CARPENTER-BUILT STAIR; (3) 2X12 WD. STRINGERS MIN. W/ 3/4" PLYWD. TREADS & RISERS; P.T. LUMBER AT ALL EXTERIOR CONDITIONS                                                                                        |
| C19 | (N) STAIR SOFFIT ABOVE                                                                                                                                                                                               |
| C20 | (N) FLOOR ABOVE                                                                                                                                                                                                      |
| C21 | LOCATION OF EQUAL ACCESS FOR STORAGE COLLECTION AND LOADING OF RECYCLABLE, COMPOSTABLE, AND LANDFILL MATERIALS.                                                                                                      |
| C22 | 144 SQ FT. REQUIRED PARKING CLEARANCE                                                                                                                                                                                |
| C23 | (N) DEDICATED CLASS 1 BICYCLE PARKING SPOT                                                                                                                                                                           |
| C24 | REPAIRED (E) STAIRS TO MATCH (E) CONDITIONS                                                                                                                                                                          |
| C25 | WALLS AND CEILING OF PASSAGE SHALL BE RATED AND CONSTRUCTED PER CBC 707 & 711 (CBC TABLE 721.1 (9) 13-14)                                                                                                            |
| C26 | PROVIDE 5/8" GYPSUM BOARD ON UNDERSIDE OF STAIRS                                                                                                                                                                     |
| C27 | (N) CONCRETE RETAINING WALL                                                                                                                                                                                          |
| C28 | (N) EXHAUST HOOD COMPLIANT WITH CBC 2013, EXTERIOR VENT                                                                                                                                                              |
| C29 | (N) CONTINUOUS HOUSE FAN FOR AREA GREATER THAN 20'-0" FROM EXTERIOR OPENING FOR REQUIRED VENTILATION                                                                                                                 |
| C30 | (N) GLASS PARTITION                                                                                                                                                                                                  |
| C31 | MINIMUM 200 SQ. INCH LOUVER FOR GARAGE VENTILATION                                                                                                                                                                   |
| C32 | 1 RISER AT 7" MAXIMUM                                                                                                                                                                                                |
| C33 | (E) PROPERTY LINE WALL TO RECEIVE ACOUSTIC OPEN-FACED BATT INSULATION                                                                                                                                                |
| C34 | (N) FIXED GLASS PANEL UP TO 3'-0" A.F.F. INSIDE WINDOW FRAME                                                                                                                                                         |

(E) CONSTRUCTION TO BE REMOVED

(E) WALL CONSTRUCTION

PARTITION TYPE SYMBOL

(N) SCHEDULED WALL OR FINISH ASSEMBLY. SEE SHEET A901.

INDICATES RATED ASSEMBLY. SEE SHEET A901.

(N) SOUND ATTENUATION BATT INSULATION

(N) GAS SHUT OFF; LOCATE IN ACCESSIBLE AREA IN COMBINATION 1312.3

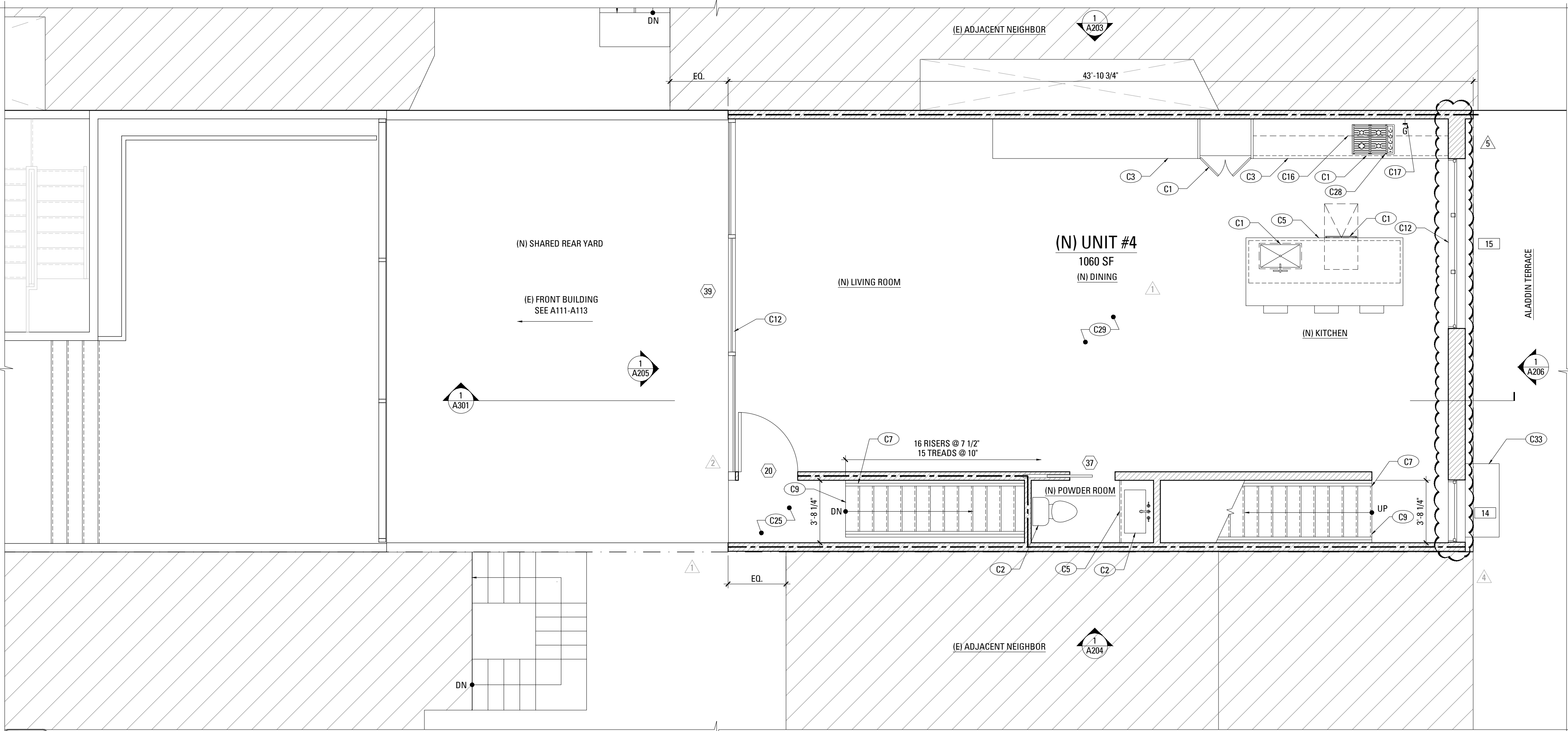
NOTE: ALL (N) WALLS TYPE "A" U.O.N.

1. ALL (N) WALLS TYPE "A" U.O.N. SEE SCHEDULE, 9091.
2. ALL DIMENSIONS ARE TO FACE OF FINISH, CEMENTITE OF OPENING OR EDGE OF JAMB FRAME, U.O.N.
3. DOORS NOT LOCATED BY DIMENSION SHALL BE PLACED 5' OFF JAMB.
4. ALL REQUIRED HANDRAILS SHALL COMPLY WITH HANDRAIL GRASPABILITY PER CBC 1012.3.
5. PROVIDE & INSTALL FLASHING, COUNTERFLASHING, CAP FLASHING, METAL TRIM, OTHER FABRICATED ITEMS AND MISCELLANEOUS SHEET METALWORK AT JUNCTIONS OF A ROOF AND VERTICAL CHIMNEYS, CORNER JOINTS OF ROOF WINDOWS, STANDARD PRACTICE OF SIDING MATERIAL IN ROOF VALLEYS OR WHERE REQUIRED TO PROVIDE COMPLETE WATERTIGHT AND WATERPROOF CONSTRUCTION.
6. PROVIDE & INSTALL ONE PIECE GSM PAN FLASHING AT ALL NEW AND REPLACEMENT EXTERIOR DOORS. COMPLY WITH ASTM D2178 STANDARD PRACTICE FOR INSTALLATION OF EXTERIOR WINDOWS, DOORS, AND SKYLIGHTS.
7. WATERPROOFING SHALL OVERLAP FLASHINGS FOR POSITIVE DRAINAGE AT ALL CONDITIONS.
8. FLASHING & SHEET METALWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH SHEET METAL & AIR CONDITIONING CONTRACTORS' NATIONAL ASSOCIATION (SMACNA) ARCHITECTURAL SHEET METAL MANUAL. COMPLY WITH MINIMUM THICKNESS OR GAGE REQUIREMENTS AS SPECIFIED IN SMACNA ARCHITECTURAL SHEET METAL MANUAL.
9. ISOLATE AND PROTECT DISSIMILAR METALS FROM CONTACT WITH EACH OTHER BY APPLYING SPECIFIED ISOLATION MATERIAL TO CONTACT SURFACES. PROTECT SURFACES OF SHEET METAL IN CONTACT WITH CONCRETE, TREATED WOOD, OR ALUMINUM WITH A HEAVY COATING OF BITUMINOUS PAINT AS RECOMMENDED BY MANUFACTURER/FABRICATOR.
10. FLASHING & SHEET METALWORK WILL NOT BE MEASURED SEPARATELY FOR PAYMENT BUT WILL BE PAID FOR AS PART OF THE CONTRACT LUMP SUM PRICE FOR ARCHITECTURAL WORK.
11. PROVIDE MINIMUM OF R-13 BATT INSULATION IN EXTERIOR WALLS ADJACENT TO (N) AND (E) LIVING SPACES. IN AREAS NOT ALREADY INSULATED.
12. PROVIDE CEMENT BOARD BACKING IN AREAS TO RECEIVE TILE FINISH.
13. WOOD LOCATED NEARER 6" TO EARTH SHALL BE TREATED WOOD.
14. ALL DOORS AND WINDOWS NOT TAGGED ARE EXISTING TO REMAIN U.O.N.
15. ALL FIXTURES TO HAVE MINIMUM CLEARANCE OF 24" IN FRONT AND 15" FROM CENTERLINE OF THE TOILET TO EACH SIDE.
16. STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES ABOVE THE FRONT EDGE OF THE NOSING.
17. ALL APPLIANCES WITH QUICK ACTING VALVES, INCLUDING BUT NOT LIMITED TO DISHWASHERS & CLOTHES WASHERS, SHALL HAVE WATER HAMMER ARRESTORS (CPC 609.10).
18. ALL EXISTING NON-COMPLIANT AND NEW PLUMBING FIXTURES SHALL COMPLY WITH CALIFORNIA SB-407 (2009).
19. WATER HEATERS SHALL HAVE SEISMIC STRAPPING AT A POINT WITHIN THE UPPER 1/3 AND THE LOWER 1/3 OF THE WATER HEATER'S VERTICAL DIMENSIONS. AT THE LOWER POINT, A MINIMUM DISTANCE OF FOUR (4) INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS TO THE STRAP. (CPC 507.2)
20. ALL EXHAUST FANS SHALL BE PROVIDED WITH A METAL VENTILATING HOOD. A VERTICAL CLEARANCE OF 24" MINIMUM BETWEEN THE COOKTOP & METAL VENTILATING HOOD SHALL BE MAINTAINED. THE HOOD SHALL BE AS WIDE AS THE RANGE AND CENTERED OVER THE UNIT. THE METAL HOOD SHALL BE 1/2" MINIMUM THICK (2013 CMC §20.3)
21. EACH KITCHEN IS REQUIRED TO HAVE AN EXHAUST FAN DUCTED TO THE OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM.
22. ALL EXHAUST FAN DUCTING, INCLUDING BUT NOT LIMITED TO KITCHEN AND BATHROOM EXHAUST FANS, SHALL BE SIZED ACCORDING TO ASHRAE APPENDIX 6.2 TABLE 6.2.1.
23. APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY AT LEAST AS LARGE AS THE LARGEST COMPONENT OF THE APPLIANCE, AND NOT LESS THAN 22 INCHES BY 30 INCHES. (CPC 508.4)
24. APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A SOLID FLOOR PASSAGEWAY OF NOT LESS THAN 24 INCHES AND A WORK PLATFORM OF NOT LESS THAN 30 INCHES BY 30 INCHES IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. (CPC 508.4.2 & 508.4.3)
25. APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A PERMANENT 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE NEAR THE APPLIANCE. (CPC 508.4.4)

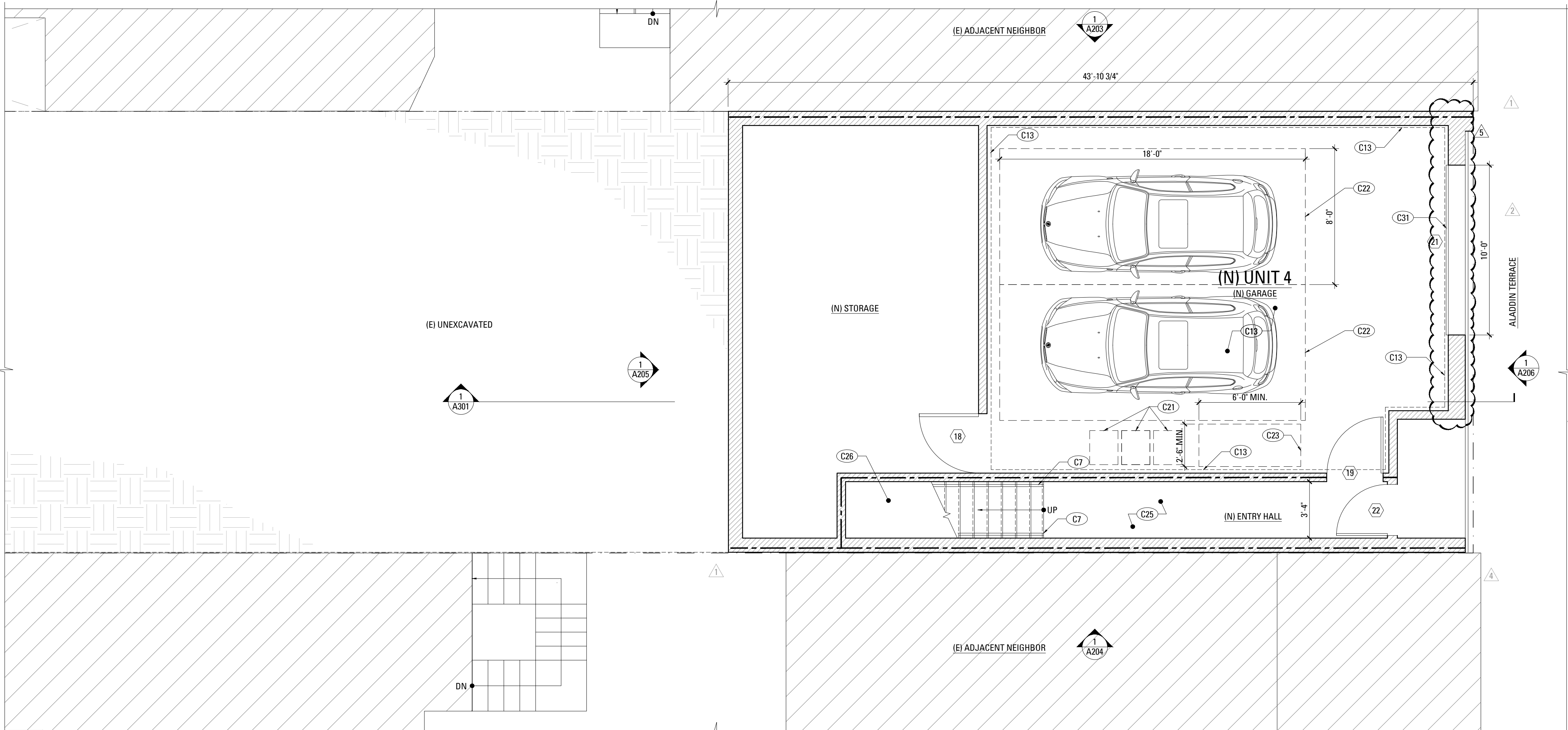
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**1** ROOF CONSTRUCTION PLAN : BUILDING A  
SCALE: 1/4" = 1'-0"





**2** SECOND FLOOR REAR YARD CONSTRUCTION PLAN : BUILDING B  
SCALE: 1/4" = 1'-0"



**1** FIRST FLOOR REAR YARD CONSTRUCTION PLAN : BUILDING B  
SCALE: 1/4" = 1'-0"

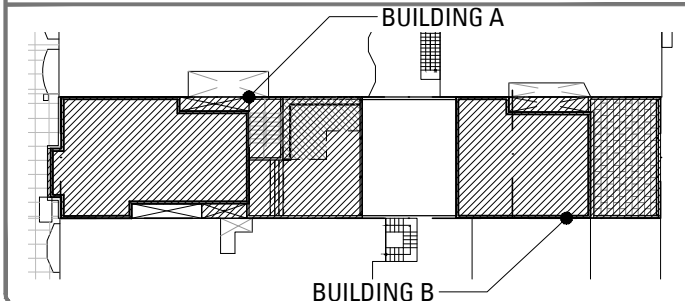
## CONSTRUCTION KEYNOTES

|     |                                                                                                                                                                                                                       |
|-----|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| C1  | (N) APPLIANCES AND EQUIPMENT. SEE SCHEDULE                                                                                                                                                                            |
| C2  | (N) PLUMBING FIXTURES, TYP. SEE SCHEDULE                                                                                                                                                                              |
| C3  | (N) BUILT-IN CASEWORK. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                                       |
| C4  | (N) FULL HEIGHT BUILT-IN CASEWORK. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                           |
| C5  | (N) BASE CABINETS AND COUNTER. SEE INTERIOR ELEVATIONS                                                                                                                                                                |
| C6  | (N) UPPER CABINETS. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                                          |
| C7  | (N) GRIPPABLE HANDRAIL @ 36" ABOVE NOSING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1; GLASS HANDRAIL ASSEMBLIES SHALL ALSO COMPLY WITH CBC 2407          |
| C8  | (N) GUARDRAIL AT 42" A.F.F. WITH 4" MAX. OPENING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1; GLASS GUARDRAIL ASSEMBLIES SHALL ALSO COMPLY WITH CBC 2407. |
| C9  | (N) STAIR                                                                                                                                                                                                             |
| C10 | (N) TEMPERED GLASS SHOWER ENCLOSURE                                                                                                                                                                                   |
| C11 | (N) SKYLIGHT ABOVE. SEE SCHEDULE                                                                                                                                                                                      |
| C12 | (N) OR REPLACEMENT WINDOW TO BE OPERABLE AND COMPLY WITH EGRESS REQUIREMENTS PER CBC 1029                                                                                                                             |
| C13 | PROVIDE MIN. 1/2" TYPE "X" GWB. TO WALLS & MIN. 5/8" TYPE "X" GWB. TO THE CEILING ON THE GARAGE SIDE PER CBC 406.3.4                                                                                                  |
| C14 | (N) FAU. HEAT SYSTEM BY G.C.                                                                                                                                                                                          |
| C15 | (N) HOT WATER HEATER BY G.C.                                                                                                                                                                                          |
| C16 | (N) WASHER/DRYER AND HOOK UPS. VENT DRYER TO EXTERIOR                                                                                                                                                                 |
| C17 | (N) GAS SHUT-OFF                                                                                                                                                                                                      |
| C18 | (N) CARPENTER-BUILT STAIR; (3) 2X12 WD. STRINGERS MIN. W/ 3/4" PLYWD. TREADS & RISERS; P.T. LUMBER AT ALL EXTERIOR CONDITIONS                                                                                         |
| C19 | (N) STAIR SOFFIT ABOVE                                                                                                                                                                                                |
| C20 | (N) FLOOR ABOVE                                                                                                                                                                                                       |
| C21 | LOCATION OF EQUAL ACCESS FOR STORAGE COLLECTION AND LOADING OF RECYCLABLE, COMPOSTABLE, AND LANDFILL MATERIALS.                                                                                                       |
| C22 | 144 SQ. FT. REQUIRED PARKING CLEARANCE                                                                                                                                                                                |
| C23 | (N) DEDICATED CLASS 1 BICYCLE PARKING SPOT                                                                                                                                                                            |
| C24 | REPAIRED (E) STAIRS TO MATCH (E) CONDITIONS                                                                                                                                                                           |
| C25 | WALLS AND CEILING OF PASSAGE SHALL BE RATED AND CONSTRUCTED PER CBC 707 & 711 (CBC TABLE 721.1) (3) 13-1.4)                                                                                                           |
| C26 | PROVIDE 5/8" GYPSUM BOARD ON UNDERSIDE OF STAIRS                                                                                                                                                                      |
| C27 | (N) CONCRETE RETAINING WALL                                                                                                                                                                                           |
| C28 | (N) EXHAUST HOOD COMPLIANT WITH CBC 2013, EXTERIOR VENT                                                                                                                                                               |
| C29 | (N) CONTINUOUS HOUSE FAN FOR AREA GREATER THAN 20'-0" FROM EXTERIOR OPENING FOR REQUIRED VENTILATION                                                                                                                  |
| C30 | (N) GLASS PARTITION                                                                                                                                                                                                   |
| C31 | MINIMUM 200 SQ. INCH LOUVER FOR GARAGE VENTILATION                                                                                                                                                                    |
| C32 | 1 RISER AT 7" MAXIMUM                                                                                                                                                                                                 |
| C33 | (E) PROPERTY LINE WALL TO RECEIVE ACOUSTIC OPEN-FACED BATT INSULATION                                                                                                                                                 |
| C34 | (N) FIXED GLASS PANEL UP TO 3'-0" A.F.F. INSIDE WINDOW FRAME                                                                                                                                                          |

## MECHANICAL GENERAL NOTES

- ENVIRONMENTAL AIR DUCTS TERMINATE 3' FROM PROPERTY LINE & OPENINGS INTO BUILDING.
- PROVIDE GAS VENT TERMINATIONS PER CMC 802.6 & 802.6.2
- PROVIDE COMBUSTION AIR PER CMC CHAPTER 7.
- PROVIDE SPACE HEATING TO ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY.

## KEY PLAN



## LEGEND

|       |                                                                     |
|-------|---------------------------------------------------------------------|
| ----- | (E) CONSTRUCTION TO BE REMOVED                                      |
| ===== | (E) WALL CONSTRUCTION                                               |
| +     | PARTITION TYPE SYMBOL                                               |
|       | (N) SCHEDULED WALL OR FINISH ASSEMBLY. SEE SHEET A901.              |
| ---   | INDICATES RATED ASSEMBLY. SEE SHEET A901.                           |
|       | (N) SOUND ATTENUATION BATT INSULATION                               |
| G     | (N) GAS SHUT OFF. LOCATE IN ACCESSIBLE AREA IN CABINET [CMC 1312.3] |

NOTE: ALL (N) WALLS TYPE 'A' U.O.N.

## CONSTRUCTION GENERAL NOTES

- ALL (N) WALLS TYPE 'A' U.O.N. SEE SCHEDULE, A901.
- ALL DIMENSIONS ARE TO FACE OF FINISH, CENTERLINE OF OPENING OR EDGE OF JAMB FRAME, U.O.N.
- DOORS NOT LOCATED BY DIMENSION SHALL BE PLACED 3" OFF JAMB, U.O.N.
- ALL REQUIRED HANDRAILS SHALL COMPLY WITH HANDRAIL GRASPABILITY PER CBC 1012.3.
- PROVIDE & INSTALL FLASHING, COUNTERFLASHING, CAP FLASHING, METAL TRIM, OTHER FABRICATED ITEMS AND MISCELLANEOUS SHEET METALWORK AT JUNCTIONS OF A ROOF AND WALL, AT CHIMNEYS, OVER EXPOSED DOORS AND WINDOWS, AT CHANGES OF SIDING MATERIAL IN ROOF VALLEYS OR WHERE REQUIRED TO PROVIDE COMPLETE WATERTIGHT AND WATERPROOF CONSTRUCTION.
- PROVIDE & INSTALL ONE PIECE GSM PAN FLASHING AT ALL NEW AND REPLACEMENT EXTERIOR DOORS. COMPLY WITH ASTM E2112-07, STANDARD PRACTICE FOR INSTALLATION OF EXTERIOR WINDOWS, DOORS, AND SKYLIGHTS.
- WATERPROOFING SHALL OVERLAP FLASHINGS FOR POSITIVE DRAINAGE AT ALL CONDITIONS.
- FLASHING & SHEET METALWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH SHEET METAL & AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA) ARCHITECTURAL SHEET METAL MANUAL. COMPLY WITH MINIMUM THICKNESS OR GAGE REQUIREMENTS AS SPECIFIED IN SMACNA ARCHITECTURAL SHEET METAL MANUAL.
- ISOLATE AND PROTECT DISSIMILAR METALS FROM CONTACT WITH EACH OTHER BY APPLYING SPECIFIED ISOLATION MATERIAL TO CONTACT SURFACES. PROTECT SURFACES OF SHEET METAL IN CONTACT WITH CONCRETE, TREATED WOOD, OR ALUMINUM WITH A HEAVY COATING OF BITUMINOUS PAINT AS RECOMMENDED BY MANUFACTURER/FABRICATOR.
- FLASHING & SHEET METALWORK WILL NOT BE MEASURED SEPARATELY FOR PAYMENT BUT WILL BE PAID FOR AS PART OF THE CONTRACT LUMP SUM PRICE FOR ARCHITECTURAL WORK.
- PROVIDE MINIMUM OF R-13 BATT INSULATION IN EXTERIOR WALLS ADJACENT TO (N) AND (E) LIVING SPACE, IN AREAS NOT ALREADY INSULATED.
- PROVIDE CEMENT BOARD BACKING IN AREAS TO RECEIVE TILE FINISH
- WOOD LOCATED NEARER THAN 6" TO EARTH SHALL BE TREATED WOOD
- ALL DOORS AND WINDOWS NOT TAGGED ARE EXISTING TO REMAIN U.O.N.
- ALL TOILETS TO HAVE A MINIMUM CLEARANCE OF 24" IN FRONT AND 15" FROM CENTERLINE OF THE TOILET TO EACH SIDE
- STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES ABOVE THE FRONT EDGE OF THE NOSING.
- ALL APPLIANCES WITH QUICK-ACTING VALVES, INCLUDING BUT NOT LIMITED TO DISHWASHERS & CLOTHES WASHERS, SHALL HAVE WATER HAMMER ARRESTORS (CPC 609.10)
- ALL EXISTING NON-COMPLIANT AND NEW PLUMBING FIXTURES SHALL COMPLY WITH CALIFORNIA SB-407 (2009)
- WATER HEATERS SHALL HAVE SEISMIC STRAPPING AT A POINT WITHIN THE UPPER 1/3 AND THE LOWER 1/3 OF THE WATER HEATER'S VERTICAL DIMENSIONS. AT THE LOWER POINT, A MINIMUM DISTANCE OF FOUR (4) INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS TO THE STRAP. (CPC 507.2)
- KITCHEN RANGES SHALL BE PROVIDED WITH A METAL VENTILATING HOOD. A VERTICAL CLEARANCE OF 24" MINIMUM BETWEEN THE COOKTOP & METAL VENTILATING HOOD SHALL BE MAINTAINED. THE HOOD SHALL BE AS WIDE AS THE RANGE AND CENTERED OVER THE UNIT. THE METAL HOOD SHALL BE 0.0122" MINIMUM THICK (2013 CMC 920.3)
- EACH KITCHEN IS REQUIRED TO HAVE AN EXHAUST FAN DUCTED TO THE OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM.
- ALL EXHAUST FAN DUCTING, INCLUDING BUT NOT LIMITED TO TO KITCHEN AND BATHROOM EXHAUST FANS, SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1.
- APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY AT LEAST AS LARGE AS THE LARGEST COMPONENT OF THE APPLIANCE, AND NOT LESS THAN 22 INCHES BY 30 INCHES. (CPC 508.4)
- APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A SOLID FLOOR PASSAGEWAY OF NOT LESS THAN 24 INCHES AND A WORK PLATFORM OF NOT LESS THAN 30 INCHES BY 30 INCHES IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. (CPC 508.4.2 & 508.4.3)
- APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A PERMANENT 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE NEAR THE APPLIANCE. (CPC 508.4.4)

870 Union Street  
Residence Addition  
and Remodel

870 UNION STREET,  
SAN FRANCISCO, CA 94133

MARTINKOVIC MILFORD ARCHITECTS

101 Montgomery Street Suite 650  
San Francisco, CA 94104  
T 415 346 9990



| RECORD OF DRAWING ISSUANCE |            |
|----------------------------|------------|
| PRE-APP MEETING            | 10.13.2015 |
| SITE PERMIT SET            | 11.13.2015 |
| SITE PERMIT SET REV.       | 04.27.2016 |
| SITE PERMIT SET REV. 2     | 05.26.2016 |
| SITE PERMIT SET REV. 3     | 06.10.2016 |
| SITE PERMIT SET REV. 4     | 09.20.2016 |
| SITE PERMIT SET REV. 5     | 10.11.2016 |

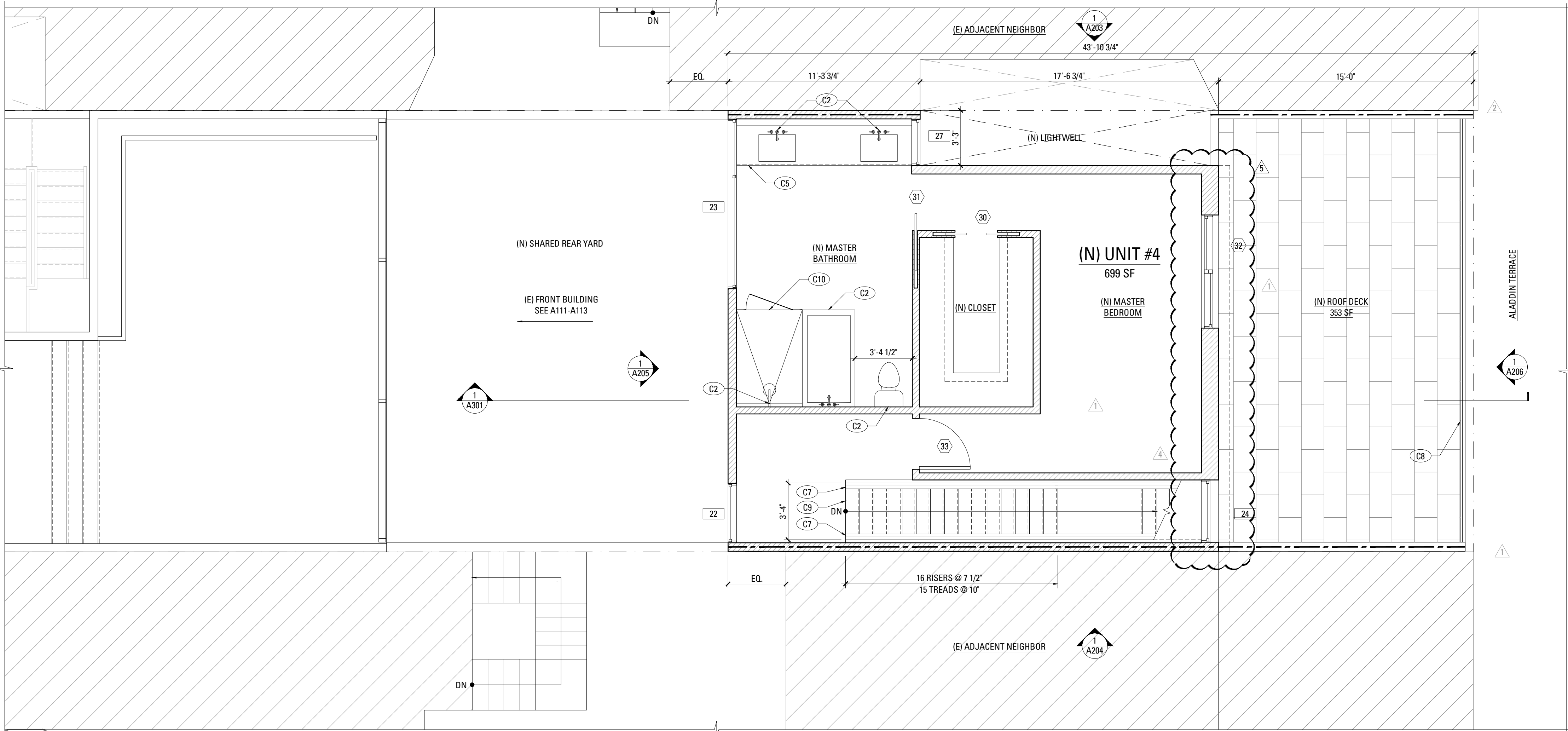
| SITE PERMIT SET<br>REVISION 5 |        |
|-------------------------------|--------|
| Drawn By:                     | S.A.   |
| Checked By:                   | B.M.   |
| Project Number:               | 1554.1 |

Construction Plan

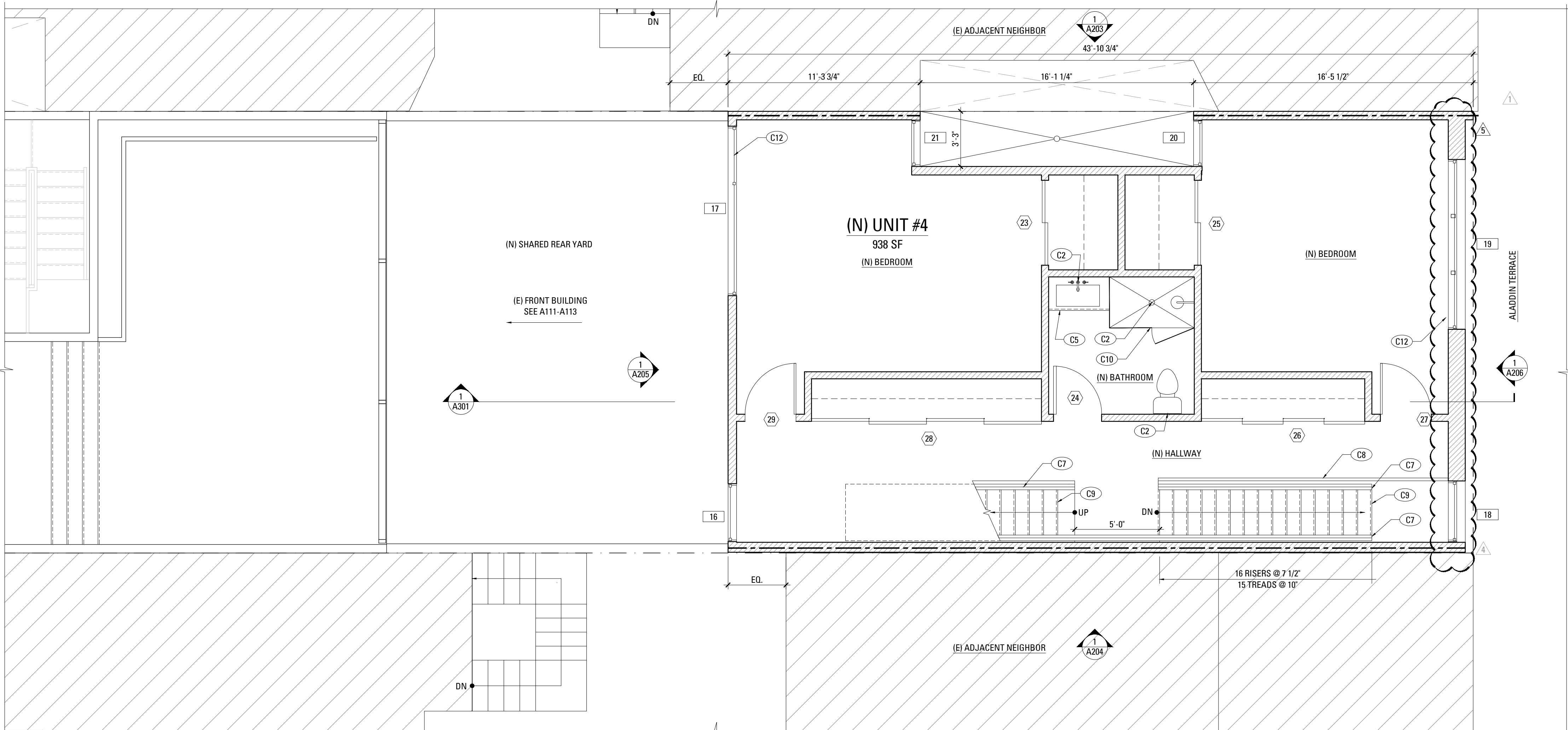
SHEET NUMBER

A114





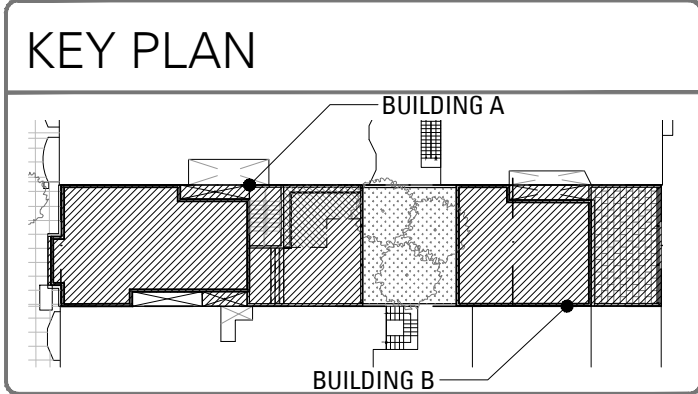
**2** FOURTH FLOOR REAR YARD CONSTRUCTION PLAN : BUILDING B  
SCALE: 1/4" = 1'-0"



**1** THIRD FLOOR REAR YARD CONSTRUCTION PLAN : BUILDING B  
SCALE: 1/4" = 1'-0"

| CONSTRUCTION KEYNOTES |                                                                                                                                                                                                                       |
|-----------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| C1                    | (N) APPLIANCES AND EQUIPMENT. SEE SCHEDULE                                                                                                                                                                            |
| C2                    | (N) PLUMBING FIXTURES, TYP. SEE SCHEDULE                                                                                                                                                                              |
| C3                    | (N) BUILT-IN CASEWORK. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                                       |
| C4                    | (N) FULL HEIGHT BUILT-IN CASEWORK. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                           |
| C5                    | (N) BASE CABINETS AND COUNTER. SEE INTERIOR ELEVATIONS                                                                                                                                                                |
| C6                    | (N) UPPER CABINETS. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                                          |
| C7                    | (N) GRIPPABLE HANDRAIL @ 36" ABOVE NOSING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1; GLASS HANDRAIL ASSEMBLIES SHALL ALSO COMPLY WITH CBC 2407          |
| C8                    | (N) GUARDRAIL AT 42" A.F.F. WITH 4" MAX. OPENING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1; GLASS GUARDRAIL ASSEMBLIES SHALL ALSO COMPLY WITH CBC 2407. |
| C9                    | (N) STAIR                                                                                                                                                                                                             |
| C10                   | (N) TEMPERED GLASS SHOWER ENCLOSURE                                                                                                                                                                                   |
| C11                   | (N) SKYLIGHT ABOVE. SEE SCHEDULE                                                                                                                                                                                      |
| C12                   | (N) OR REPLACEMENT WINDOW TO BE OPERABLE AND COMPLY WITH EGRESS REQUIREMENTS PER CBC 1029                                                                                                                             |
| C13                   | PROVIDE MIN. 1/2" TYPE "X" GWB. TO WALLS & MIN. 5/8" TYPE "X" GWB. TO THE CEILING ON THE GARAGE SIDE PER CBC 406.3.4                                                                                                  |
| C14                   | (N) FAU. HEAT SYSTEM BY G.C.                                                                                                                                                                                          |
| C15                   | (N) HOT WATER HEATER BY G.C.                                                                                                                                                                                          |
| C16                   | (N) WASHER/DRYER AND HOOK UPS. VENT DRYER TO EXTERIOR                                                                                                                                                                 |
| C17                   | (N) GAS SHUT-OFF                                                                                                                                                                                                      |
| C18                   | (N) CARPENTER-BUILT STAIR; (3) 2X12 WD. STRINGERS MIN. W/ 3/4" PLYWD. TREADS & RISERS; P.T. LUMBER AT ALL EXTERIOR CONDITIONS                                                                                         |
| C19                   | (N) STAIR SOFFIT ABOVE                                                                                                                                                                                                |
| C20                   | (N) FLOOR ABOVE                                                                                                                                                                                                       |
| C21                   | LOCATION OF EQUAL ACCESS FOR STORAGE COLLECTION AND LOADING OF RECYCLABLE, COMPOSTABLE, AND LANDFILL MATERIALS.                                                                                                       |
| C22                   | 144 SQ. FT. REQUIRED PARKING CLEARANCE                                                                                                                                                                                |
| C23                   | (N) DEDICATED CLASS 1 BICYCLE PARKING SPOT                                                                                                                                                                            |
| C24                   | REPAIRED (E) STAIRS TO MATCH (E) CONDITIONS                                                                                                                                                                           |
| C25                   | WALLS AND CEILING OF PASSAGE SHALL BE RATED AND CONSTRUCTED PER CBC 707 & 711 (CBC TABLE 721.1 (3) 13-1.4)                                                                                                            |
| C26                   | PROVIDE 5/8" GYPSUM BOARD ON UNDERSIDE OF STAIRS                                                                                                                                                                      |
| C27                   | (N) CONCRETE RETAINING WALL                                                                                                                                                                                           |
| C28                   | (N) EXHAUST HOOD COMPLIANT WITH CBC 2013, EXTERIOR VENT                                                                                                                                                               |
| C29                   | (N) CONTINUOUS HOUSE FAN FOR AREA GREATER THAN 20'-0" FROM EXTERIOR OPENING FOR REQUIRED VENTILATION                                                                                                                  |
| C30                   | (N) GLASS PARTITION                                                                                                                                                                                                   |
| C31                   | MINIMUM 200 SQ. INCH LOUVER FOR GARAGE VENTILATION                                                                                                                                                                    |
| C32                   | 1 RISER AT 7" MAXIMUM                                                                                                                                                                                                 |
| C33                   | (E) PROPERTY LINE WALL TO RECEIVE ACOUSTIC OPEN-FACED BATT INSULATION                                                                                                                                                 |
| C34                   | (N) FIXED GLASS PANEL UP TO 3'-0" A.F.F. INSIDE WINDOW FRAME                                                                                                                                                          |

| MECHANICAL GENERAL NOTES |                                                                                   |
|--------------------------|-----------------------------------------------------------------------------------|
| 1.                       | ENVIRONMENTAL AIR DUCTS TERMINATE 3' FROM PROPERTY LINE & OPENINGS INTO BUILDING. |
| 2.                       | PROVIDE GAS VENT TERMINATIONS PER CMC 802.6 & 802.6.2                             |
| 3.                       | PROVIDE COMBUSTION AIR PER CMC CHAPTER 7.                                         |
| 4.                       | PROVIDE SPACE HEATING TO ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY.        |



| LEGEND                              |                                                                     |
|-------------------------------------|---------------------------------------------------------------------|
| -----                               | (E) CONSTRUCTION TO BE REMOVED                                      |
| =====                               | (E) WALL CONSTRUCTION                                               |
| +                                   | PARTITION TYPE SYMBOL                                               |
|                                     | (N) SCHEDULED WALL OR FINISH ASSEMBLY. SEE SHEET A901.              |
| ---                                 | INDICATES RATED ASSEMBLY. SEE SHEET A901.                           |
|                                     | (N) SOUND ATTENUATION BATT INSULATION                               |
| G                                   | (N) GAS SHUT OFF. LOCATE IN ACCESSIBLE AREA IN CABINET [CMC 1312.3] |
| NOTE: ALL (N) WALLS TYPE 'A' U.O.N. |                                                                     |

| CONSTRUCTION GENERAL NOTES |                                                                                                                                                                                                                                                                                                                                           |
|----------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1.                         | ALL (N) WALLS TYPE 'A' U.O.N. SEE SCHEDULE, A901.                                                                                                                                                                                                                                                                                         |
| 2.                         | ALL DIMENSIONS ARE TO FACE OF FINISH, CENTERLINE OF OPENING OR EDGE OF JAMB FRAME, U.O.N.                                                                                                                                                                                                                                                 |
| 3.                         | DOORS NOT LOCATED BY DIMENSION SHALL BE PLACED 3" OFF JAMB, U.O.N.                                                                                                                                                                                                                                                                        |
| 4.                         | ALL REQUIRED HANDRAILS SHALL COMPLY WITH HANDRAIL GRASPABILITY PER CBC 1012.3.                                                                                                                                                                                                                                                            |
| 5.                         | PROVIDE & INSTALL FLASHING, COUNTERFLASHING, CAP FLASHING, METAL TRIM, OTHER FABRICATED ITEMS AND MISCELLANEOUS SHEET METALWORK AT JUNCTIONS OF A ROOF AND WALL, AT CHIMNEYS, OVER EXPOSED DOORS AND WINDOWS, AT CHANGES OF SIDING MATERIAL IN ROOF VALLEYS OR WHERE REQUIRED TO PROVIDE COMPLETE WATERTIGHT AND WATERPROOF CONSTRUCTION. |
| 6.                         | PROVIDE & INSTALL ONE PIECE GSM PAN FLASHING AT ALL NEW AND REPLACEMENT EXTERIOR DOORS. COMPLY WITH ASTM E212-07, STANDARD PRACTICE FOR INSTALLATION OF EXTERIOR WINDOWS, DOORS, AND SKYLIGHTS.                                                                                                                                           |
| 7.                         | WATERPROOFING SHALL OVERLAP FLASHINGS FOR POSITIVE DRAINAGE AT ALL CONDITIONS.                                                                                                                                                                                                                                                            |
| 8.                         | FLASHING & SHEET METALWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH SHEET METAL & AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA) ARCHITECTURAL SHEET METAL MANUAL. COMPLY WITH MINIMUM THICKNESS OR GAGE REQUIREMENTS AS SPECIFIED IN SMACNA ARCHITECTURAL SHEET METAL MANUAL.                                    |
| 9.                         | ISOLATE AND PROTECT DISSIMILAR METALS FROM CONTACT WITH EACH OTHER BY APPLYING SPECIFIED ISOLATION MATERIAL TO CONTACT SURFACES. PROTECT SURFACES OF SHEET METAL IN CONTACT WITH CONCRETE, TREATED WOOD, OR ALUMINUM WITH A HEAVY COATING OF BITUMINOUS PAINT AS RECOMMENDED BY MANUFACTURER/FABRICATOR.                                  |
| 10.                        | FLASHING & SHEET METALWORK WILL NOT BE MEASURED SEPARATELY FOR PAYMENT BUT WILL BE PAID FOR AS PART OF THE CONTRACT LUMP SUM PRICE FOR ARCHITECTURAL WORK.                                                                                                                                                                                |
| 11.                        | PROVIDE MINIMUM OF R-13 BATT INSULATION IN EXTERIOR WALLS ADJACENT TO (N) AND (E) LIVING SPACE, IN AREAS NOT ALREADY INSULATED                                                                                                                                                                                                            |
| 12.                        | PROVIDE CEMENT BOARD BACKING IN AREAS TO RECEIVE TILE FINISH                                                                                                                                                                                                                                                                              |
| 13.                        | WOOD LOCATED NEARER THAN 6" TO EARTH SHALL BE TREATED WOOD                                                                                                                                                                                                                                                                                |
| 14.                        | ALL DOORS AND WINDOWS NOT TAGGED ARE EXISTING TO REMAIN U.O.N.                                                                                                                                                                                                                                                                            |
| 15.                        | ALL TOILETS TO HAVE A MINIMUM CLEARANCE OF 24" IN FRONT AND 15" FROM CENTERLINE OF THE TOILET TO EACH SIDE                                                                                                                                                                                                                                |
| 16.                        | STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES ABOVE THE FRONT EDGE OF THE NOSING.                                                                                                                                                                                                                                        |
| 17.                        | ALL APPLIANCES WITH QUICK-ACTING VALVES, INCLUDING BUT NOT LIMITED TO DISHWASHERS & CLOTHES WASHERS, SHALL HAVE WATER HAMMER ARRESTORS (CPC 609.10)                                                                                                                                                                                       |
| 18.                        | ALL EXISTING NON-COMPLIANT AND NEW PLUMBING FIXTURES SHALL COMPLY WITH CALIFORNIA SB-407 (2009)                                                                                                                                                                                                                                           |
| 19.                        | WATER HEATERS SHALL HAVE SEISMIC STRAPPING AT A POINT WITHIN THE UPPER 1/3 AND THE LOWER 1/3 OF THE WATER HEATER'S VERTICAL DIMENSIONS. AT THE LOWER POINT, A MINIMUM DISTANCE OF FOUR (4) INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS TO THE STRAP. (CPC 507.2)                                                                        |
| 20.                        | KITCHEN RANGES SHALL BE PROVIDED WITH A METAL VENTILATING HOOD. A VERTICAL CLEARANCE OF 24" MINIMUM BETWEEN THE COOKTOP & METAL VENTILATING HOOD SHALL BE MAINTAINED. THE HOOD SHALL BE AS WIDE AS THE RANGE AND CENTERED OVER THE UNIT. THE METAL HOOD SHALL BE 0.0122" MINIMUM THICK (2013 CMC 920.3)                                   |
| 21.                        | EACH KITCHEN IS REQUIRED TO HAVE AN EXHAUST FAN DUCTED TO THE OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM.                                                                                                                                                                                                                         |
| 22.                        | ALL EXHAUST FAN DUCTING, INCLUDING BUT NOT LIMITED TO TO KITCHEN AND BATHROOM EXHAUST FANS, SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1.                                                                                                                                                                                   |
| 23.                        | APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY AT LEAST AS LARGE AS THE LARGEST COMPONENT OF THE APPLIANCE, AND NOT LESS THAN 22 INCHES BY 30 INCHES. (CPC 508.4)                                                                                                                       |
| 24.                        | APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A SOLID FLOOR PASSAGEWAY OF NOT LESS THAN 24 INCHES AND A WORK PLATFORM OF NOT LESS THAN 30 INCHES BY 30 INCHES IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. (CPC 508.4.2 & 508.4.3)                                                                                              |
| 25.                        | APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A PERMANENT 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE NEAR THE APPLIANCE. (CPC 508.4.4)                                                                                                                                                                                     |

870 Union Street  
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870 UNION STREET,  
SAN FRANCISCO, CA 94133

MARTINKOVIC MILFORD ARCHITECTS

101 Montgomery Street Suite 650  
San Francisco, CA 94104  
T 415 346 9990

|                        |            |
|------------------------|------------|
| PRE-APP MEETING        | 10.13.2015 |
| SITE PERMIT SET        | 11.13.2015 |
| SITE PERMIT SET REV.   | 04.27.2016 |
| SITE PERMIT SET REV. 2 | 05.26.2016 |
| SITE PERMIT SET REV. 3 | 06.10.2016 |
| SITE PERMIT SET REV. 4 | 09.20.2016 |
| SITE PERMIT SET REV. 5 | 10.11.2016 |

|                               |        |
|-------------------------------|--------|
| SITE PERMIT SET<br>REVISION 5 |        |
| Drawn By:                     | S.A.   |
| Checked By:                   | B.M.   |
| Project Number:               | 1554.1 |

Construction Plan

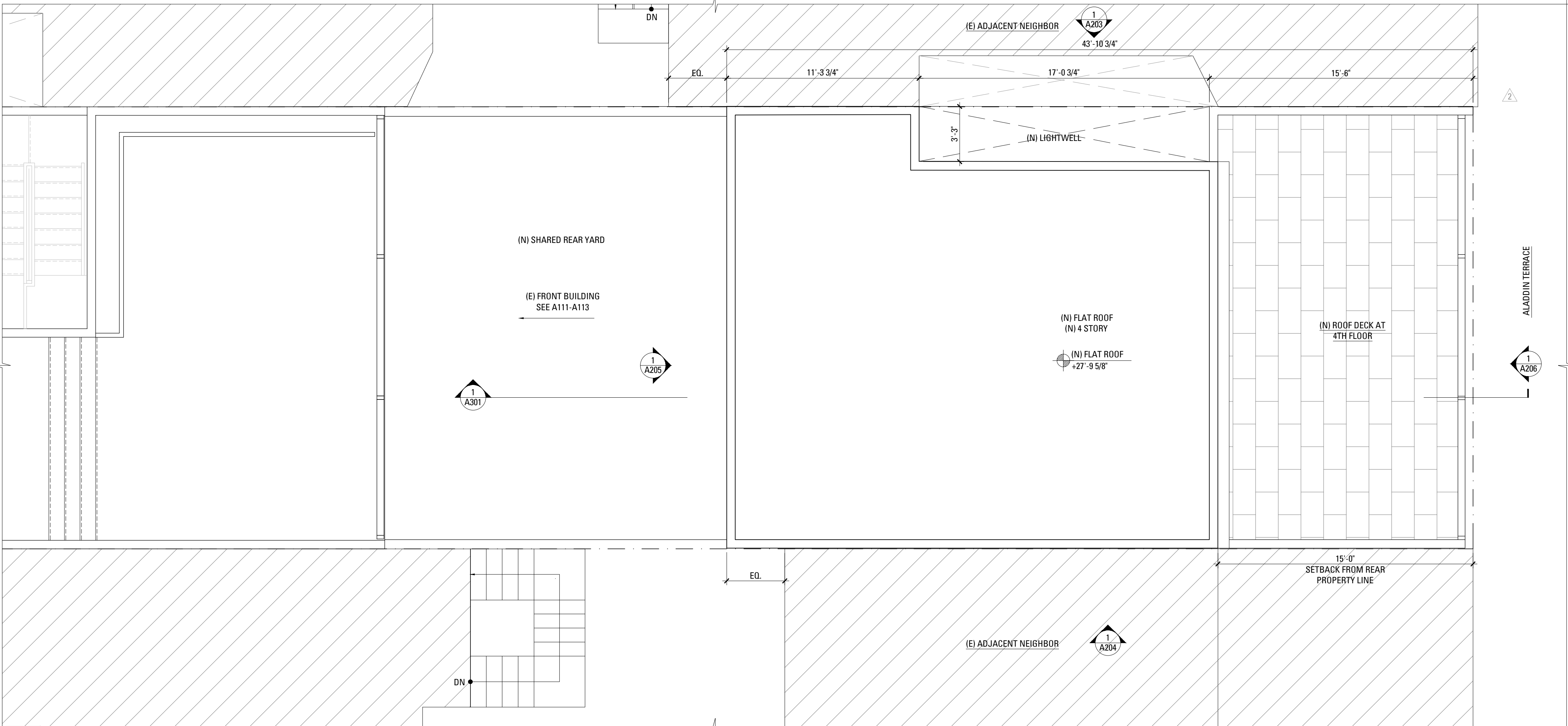
SHEET NUMBER

A115



2016/06/11

A116-CONSTRUCTION PLAN.DWG



**1** ROOF REAR YARD CONSTRUCTION PLAN : BUILDING B  
SCALE: 1/4" = 1'-0"

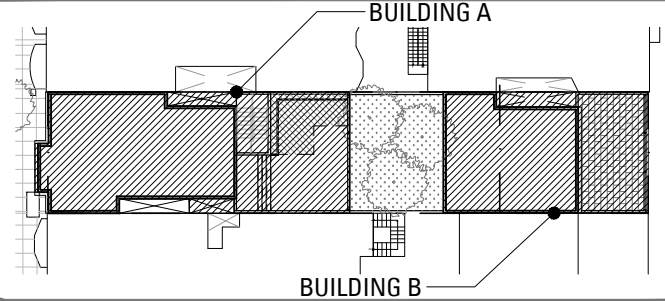
### CONSTRUCTION KEYNOTES

|     |                                                                                                                                                                                                                      |
|-----|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| C1  | (N) APPLIANCES AND EQUIPMENT. SEE SCHEDULE                                                                                                                                                                           |
| C2  | (N) PLUMBING FIXTURES, TYP. SEE SCHEDULE                                                                                                                                                                             |
| C3  | (N) BUILT-IN CASEWORK. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                                      |
| C4  | (N) FULL HEIGHT BUILT-IN CASEWORK. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                          |
| C5  | (N) BASE CABINETS AND COUNTER. SEE INTERIOR ELEVATIONS                                                                                                                                                               |
| C6  | (N) UPPER CABINETS. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                                         |
| C7  | (N) GRIPPABLE HANDRAIL @ 36" ABOVE NOSING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1; GLASS HANDRAIL ASSEMBLIES SHALL ALSO COMPLY WITH CBC 2407         |
| C8  | (N) GUARDRAIL AT 42" A.F.F. WITH 4" MAX. OPENING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1;GLASS GUARDRAIL ASSEMBLIES SHALL ALSO COMPLY WITH CBC 2407. |
| C9  | (N) STAIR                                                                                                                                                                                                            |
| C10 | (N) TEMPERED GLASS SHOWER ENCLOSURE                                                                                                                                                                                  |
| C11 | (N) SKYLIGHT ABOVE. SEE SCHEDULE                                                                                                                                                                                     |
| C12 | (N) OR REPLACEMENT WINDOW TO BE OPERABLE AND COMPLY WITH EGRESS REQUIREMENTS PER CBC 1029                                                                                                                            |
| C13 | PROVIDE MIN. 1/2" TYPE "X" GWB. TO WALLS & MIN. 5/8" TYPE "X" GWB. TO THE CEILING ON THE GARAGE SIDE PER CBC 406.3.4                                                                                                 |
| C14 | (N) FAU. HEAT SYSTEM BY G.C.                                                                                                                                                                                         |
| C15 | (N) HOT WATER HEATER BY G.C.                                                                                                                                                                                         |
| C16 | (N) WASHER/DRYER AND HOOK UPS. VENT DRYER TO EXTERIOR                                                                                                                                                                |
| C17 | (N) GAS SHUT-OFF                                                                                                                                                                                                     |
| C18 | (N) CARPENTER-BUILT STAIR; (3) 2X12 WD. STRINGERS MIN. W/ 3/4" PLYWD. TREADS & RISERS; P.T. LUMBER AT ALL EXTERIOR CONDITIONS                                                                                        |
| C19 | (N) STAIR SOFFIT ABOVE                                                                                                                                                                                               |
| C20 | (N) FLOOR ABOVE                                                                                                                                                                                                      |
| C21 | LOCATION OF EQUAL ACCESS FOR STORAGE COLLECTION AND LOADING OF RECYCLABLE, COMPOSTABLE, AND LANDFILL MATERIALS.                                                                                                      |
| C22 | 144 SQ. FT. REQUIRED PARKING CLEARANCE                                                                                                                                                                               |
| C23 | (N) DEDICATED CLASS 1 BICYCLE PARKING SPOT                                                                                                                                                                           |
| C24 | REPAIRED (E) STAIRS TO MATCH (E) CONDITIONS                                                                                                                                                                          |
| C25 | WALLS AND CEILING OF PASSAGE SHALL BE RATED AND CONSTRUCTED PER CBC 707 & 711 (CBC TABLE 721.1 (3) 13-1.4)                                                                                                           |
| C26 | PROVIDE 5/8" GYPSUM BOARD ON UNDERSIDE OF STAIRS                                                                                                                                                                     |
| C27 | (N) CONCRETE RETAINING WALL                                                                                                                                                                                          |
| C28 | (N) EXHAUST HOOD COMPLIANT WITH CBC 2013, EXTERIOR VENT                                                                                                                                                              |
| C29 | (N) CONTINUOUS HOUSE FAN FOR AREA GREATER THAN 20'-0" FROM EXTERIOR OPENING FOR REQUIRED VENTILATION                                                                                                                 |
| C30 | (N) GLASS PARTITION                                                                                                                                                                                                  |
| C31 | MINIMUM 200 SQ. INCH LOUVER FOR GARAGE VENTILATION                                                                                                                                                                   |
| C32 | 1 RISER AT 7" MAXIMUM                                                                                                                                                                                                |
| C33 | (E) PROPERTY LINE WALL TO RECEIVE ACOUSTIC OPEN-FACED BATT INSULATION                                                                                                                                                |
| C34 | (N) FIXED GLASS PANEL UP TO 3'-0" A.F.F. INSIDE WINDOW FRAME                                                                                                                                                         |

### MECHANICAL GENERAL NOTES

- ENVIRONMENTAL AIR DUCTS TERMINATE 3' FROM PROPERTY LINE & OPENINGS INTO BUILDING.
- PROVIDE GAS VENT TERMINATIONS PER CMC 802.6 & 802.6.2
- PROVIDE COMBUSTION AIR PER CMC CHAPTER 7.
- PROVIDE SPACE HEATING TO ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY.

### KEY PLAN



### LEGEND

- (E) CONSTRUCTION TO BE REMOVED
- ===== (E) WALL CONSTRUCTION
- +--- PARTITION TYPE SYMBOL
- ===== (N) SCHEDULED WALL OR FINISH ASSEMBLY. SEE SHEET A901.
- +--- INDICATES RATED ASSEMBLY. SEE SHEET A901.
- ===== (N) SOUND ATTENUATION BATT INSULATION
- G (N) GAS SHUT OFF. LOCATE IN ACCESSIBLE AREA IN CABINET [CMC 1312.3]

NOTE: ALL (N) WALLS TYPE 'A' U.O.N. SEE SCHEDULE, A901.

### CONSTRUCTION GENERAL NOTES

- ALL (N) WALLS TYPE 'A' U.O.N. SEE SCHEDULE, A901.
- ALL DIMENSIONS ARE TO FACE OF FINISH, CENTERLINE OF OPENING OR EDGE OF JAMB FRAME, U.O.N.
- DOORS NOT LOCATED BY DIMENSION SHALL BE PLACED 3" OFF JAMB, U.O.N.
- ALL REQUIRED HANDRAILS SHALL COMPLY WITH HANDRAIL GRASPABILITY PER CBC 1012.3.
- PROVIDE & INSTALL FLASHING, COUNTERFLASHING, CAP FLASHING, METAL TRIM, OTHER FABRICATED ITEMS AND MISCELLANEOUS SHEET METALWORK AT JUNCTIONS OF A ROOF AND WALL, AT CHIMNEYS, OVER EXPOSED DOORS AND WINDOWS, AT CHANGES OF SIDING MATERIAL IN ROOF VALLEYS OR WHERE REQUIRED TO PROVIDE COMPLETE WATERTIGHT AND WATERPROOF CONSTRUCTION.
- PROVIDE & INSTALL ONE PIECE GSM PAN FLASHING AT ALL NEW AND REPLACEMENT EXTERIOR DOORS. COMPLY WITH ASTM E2112-07, STANDARD PRACTICE FOR INSTALLATION OF EXTERIOR WINDOWS, DOORS, AND SKYLIGHTS.
- WATERPROOFING SHALL OVERLAP FLASHINGS FOR POSITIVE DRAINAGE AT ALL CONDITIONS.
- FLASHING & SHEET METALWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH SHEET METAL & AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA) ARCHITECTURAL SHEET METAL MANUAL. COMPLY WITH MINIMUM THICKNESS OR GAGE REQUIREMENTS AS SPECIFIED IN SMACNA ARCHITECTURAL SHEET METAL MANUAL.
- ISOLATE AND PROTECT DISSIMILAR METALS FROM CONTACT WITH EACH OTHER BY APPLYING SPECIFIED ISOLATION MATERIAL TO CONTACT SURFACES. PROTECT SURFACES OF SHEET METAL IN CONTACT WITH CONCRETE, TREATED WOOD, OR ALUMINUM WITH A HEAVY COATING OF BITUMINOUS PAINT AS RECOMMENDED BY MANUFACTURER/FABRICATOR.
- FLASHING & SHEET METALWORK WILL NOT BE MEASURED SEPARATELY FOR PAYMENT BUT WILL BE PAID FOR AS PART OF THE CONTRACT LUMP SUM PRICE FOR ARCHITECTURAL WORK.
- PROVIDE MINIMUM OF R-13 BATT INSULATION IN EXTERIOR WALLS ADJACENT TO (N) AND (E) LIVING SPACE, IN AREAS NOT ALREADY INSULATED
- PROVIDE CEMENT BOARD BACKING IN AREAS TO RECEIVE TILE FINISH
- WOOD LOCATED NEARER THAN 6" TO EARTH SHALL BE TREATED WOOD
- ALL DOORS AND WINDOWS NOT TAGGED ARE EXISTING TO REMAIN U.O.N.
- ALL TOILETS TO HAVE A MINIMUM CLEARANCE OF 24" IN FRONT AND 15" FROM CENTERLINE OF THE TOILET TO EACH SIDE
- STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES ABOVE THE FRONT EDGE OF THE NOSING.
- ALL APPLIANCES WITH QUICK-ACTING VALVES, INCLUDING BUT NOT LIMITED TO DISHWASHERS & CLOTHES WASHERS, SHALL HAVE WATER HAMMER ARRESTORS (CPC 609.10)
- ALL EXISTING NON-COMPLIANT AND NEW PLUMBING FIXTURES SHALL COMPLY WITH CALIFORNIA SB-407 (2009)
- WATER HEATERS SHALL HAVE SEISMIC STRAPPING AT A POINT WITHIN THE UPPER 1/3 AND THE LOWER 1/3 OF THE WATER HEATER'S VERTICAL DIMENSIONS. AT THE LOWER POINT, A MINIMUM DISTANCE OF FOUR (4) INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS TO THE STRAP. (CPC 507.2)
- KITCHEN RANGES SHALL BE PROVIDED WITH A METAL VENTILATING HOOD. A VERTICAL CLEARANCE OF 24" MINIMUM BETWEEN THE COOKTOP & METAL VENTILATING HOOD SHALL BE MAINTAINED. THE HOOD SHALL BE AS WIDE AS THE RANGE AND CENTERED OVER THE UNIT. THE METAL HOOD SHALL BE 0.0122" MINIMUM THICK (2013 CMC 920.3)
- EACH KITCHEN IS REQUIRED TO HAVE AN EXHAUST FAN DUCTED TO THE OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM.
- ALL EXHAUST FAN DUCTING, INCLUDING BUT NOT LIMITED TO TO KITCHEN AND BATHROOM EXHAUST FANS, SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1.
- APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY AT LEAST AS LARGE AS THE LARGEST COMPONENT OF THE APPLIANCE, AND NOT LESS THAN 22 INCHES BY 30 INCHES. (CPC 508.4)
- APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A SOLID FLOOR PASSAGEWAY OF NOT LESS THAN 24 INCHES AND A WORK PLATFORM OF NOT LESS THAN 30 INCHES BY 30 INCHES IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. (CPC 508.4.2 & 508.4.3)
- APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A PERMANENT 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE NEAR THE APPLIANCE. (CPC 508.4.4)

### 870 Union Street Residence Addition and Remodel

870 UNION STREET,  
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T 415 346 9990



#### RECORD OF DRAWING ISSUANCE

|                        |            |
|------------------------|------------|
| PRE-APP MEETING        | 10.13.2015 |
| SITE PERMIT SET        | 11.13.2015 |
| SITE PERMIT SET REV.   | 04.27.2016 |
| SITE PERMIT SET REV. 2 | 05.26.2016 |
| SITE PERMIT SET REV. 3 | 06.10.2016 |
| SITE PERMIT SET REV. 4 | 09.20.2016 |
| SITE PERMIT SET REV. 5 | 10.11.2016 |
|                        |            |
|                        |            |

#### SITE PERMIT SET REVISION 5

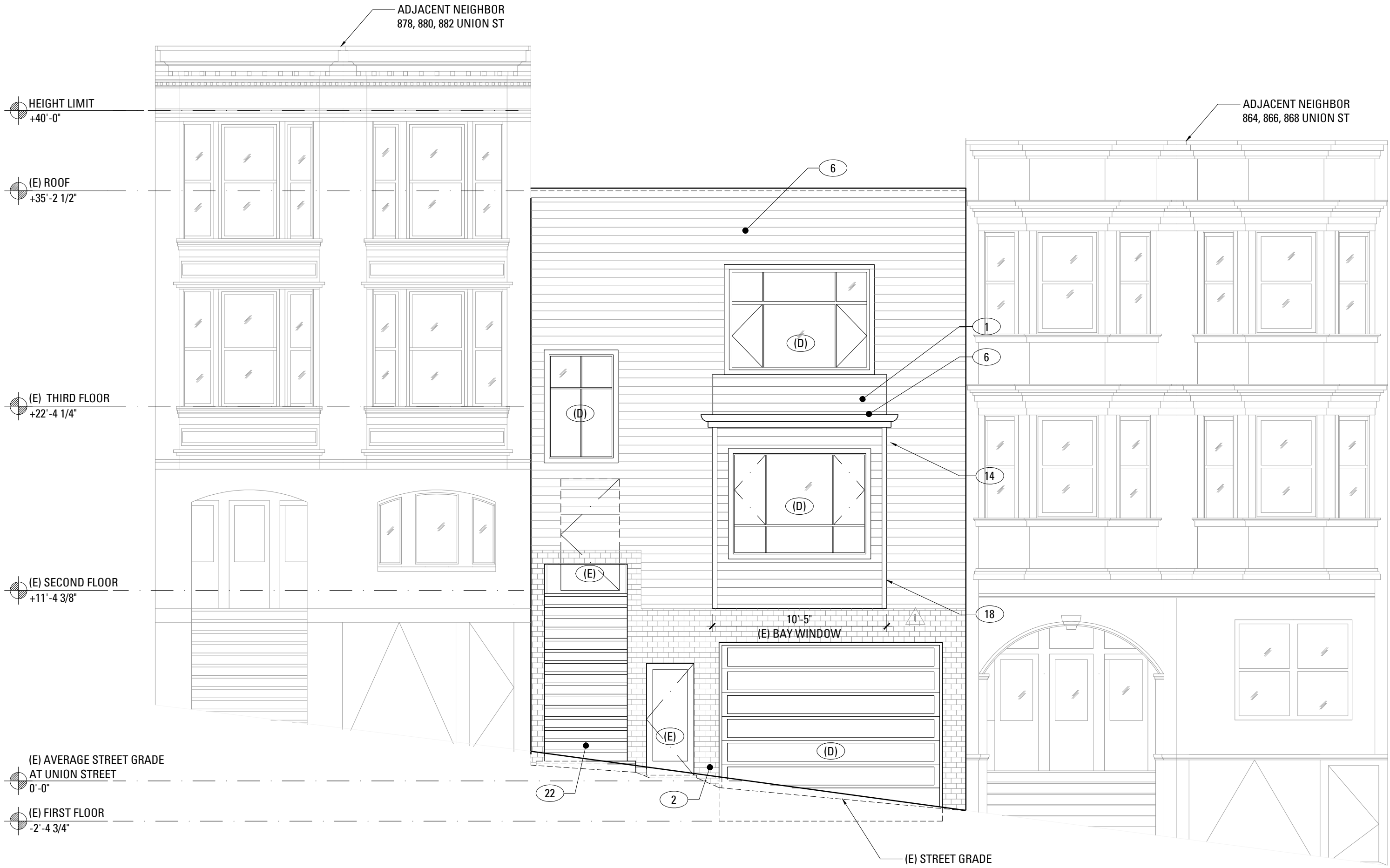
|                 |        |
|-----------------|--------|
| Drawn By:       | S.A.   |
| Checked By:     | B.M.   |
| Project Number: | 1554.1 |

#### Construction Plan

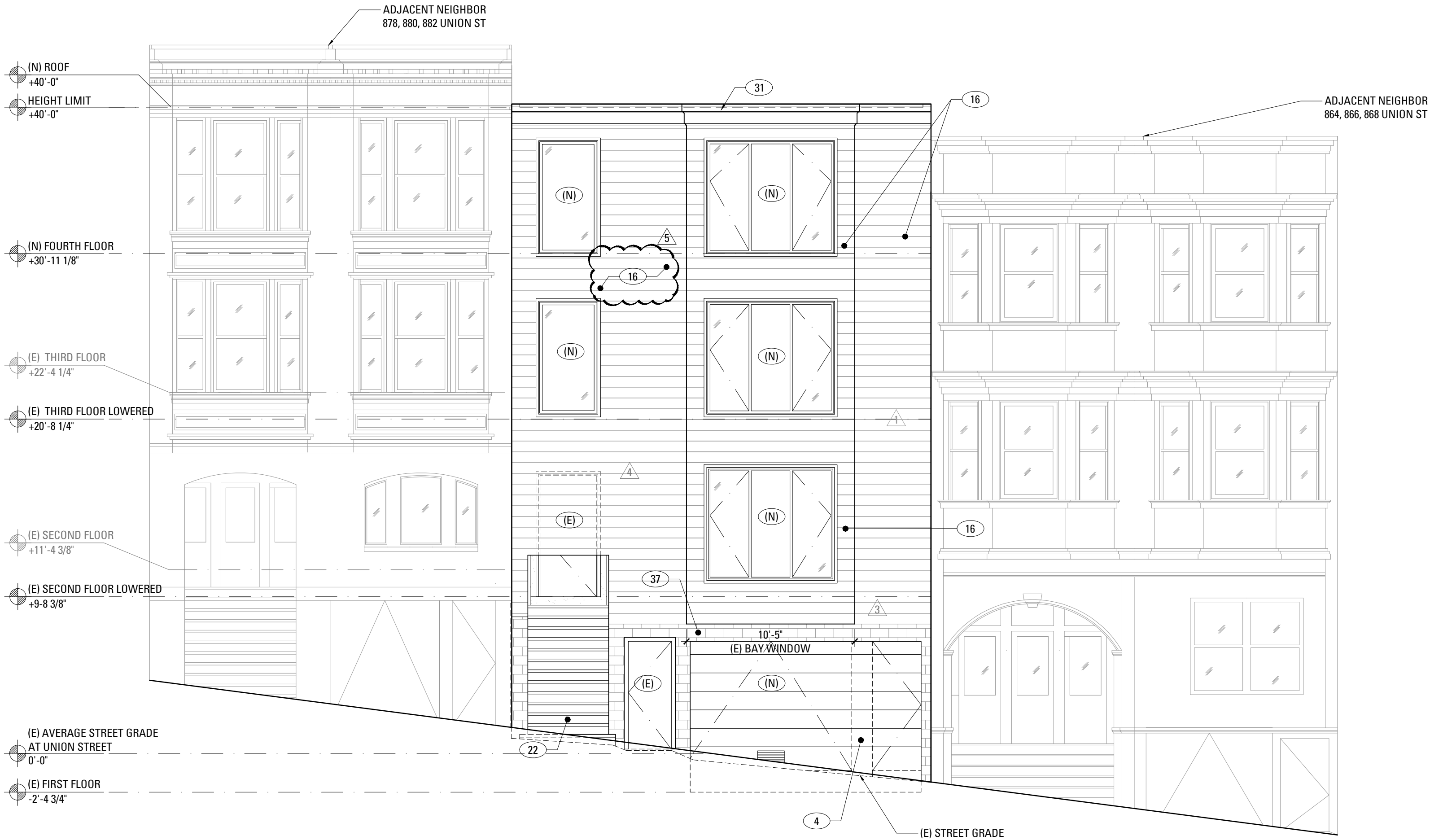
SHEET NUMBER

A116





**2** EXISTING FRONT ELEVATION : BUILDING A (SOUTH)  
SCALE: 3/16" = 1'-0"

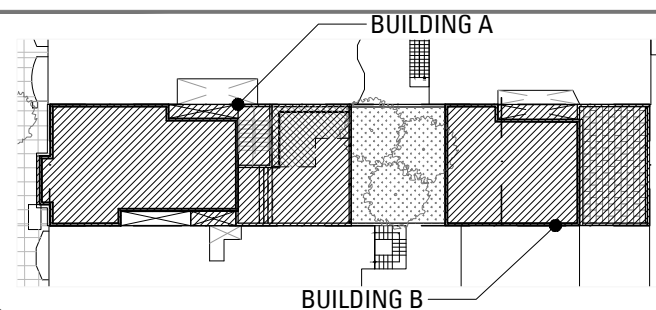


**1** PROPOSED FRONT ELEVATION : BUILDING A (SOUTH)  
SCALE: 3/16" = 1'-0"

## EXTERIOR ELEVATION KEYNOTES

- (E) (E) DOOR OR WINDOW, TO REMAIN
- (D) (E) DOOR OR WINDOW, TO BE REMOVED
- (N) (N) DOOR OR WINDOW, SEE SCHEDULE A901 AND A902
- (R) REPLACE (E) WINDOW OR DOOR IN KIND, SEE SCHEDULE A901 AND A902
- 1 (E) PARTIAL HEIGHT WALL TO BE REMOVED
- 2 (E) PAINTED BRICK FINISH TO BE REMOVED
- 3 (E) WOOD FENCE
- 4 (N) WOOD SIDING
- 5 (N) CONCRETE RETAINING WALL
- 6 (E) WOOD SIDING TO BE REMOVED
- 7 (E) WOOD FENCE TO BE REMOVED TO ACCOMMODATE (N) WORK
- 8 (E) LANDSCAPE RETAINING WALL TO BE REMOVED TO ACCOMMODATE (N) WORK
- 12 (E) WOOD STAIRS TO BE REMOVED
- 13 (N) WOOD DECK
- 14 (E) WOOD TRIM TO BE REMOVED
- 15 (N) GUARDRAIL
- 16 (N) PAINTED WOOD SIDING, TO MATCH (E) FINISH
- 17 (E) OPENING TO BE ENCLOSED
- 18 (E) BAY TO REMAIN
- 19 (N) EXIT CORRIDOR, OPEN TO BEYOND
- 20 (E) WOOD GUARDRAIL TO BE REMOVED
- 21 (E) AREA TO BE EXCAVATED TO ACCOMMODATE (N) WORK, SEE SECTIONS SHEET A301
- 22 REPAIR (E) EXTERIOR STAIRS TO MATCH (E) CONDITIONS
- 23 (N) ROOF LINE BEYOND PARAPET
- 24 (E) WOOD TRIM TO BE REMOVED TO PREPARE FOR (N) WORK
- 25 (E) EXTERIOR STAIRS TO BE REMOVED
- 26 (N) CONCRETE WALL
- 27 (E) RETAINING WALL TO BE REMOVED TO ACCOMMODATE (N) WORK
- 28 (N) PAINTED WOOD SIDING
- 29 (E) LIGHT WELL BEYOND PROPERTY LINE WALL TO BE ALTERED OR REMOVED, SEE CONSTRUCTION PLANS FOR DETAILS
- 30 (E) COLUMN TO BE REMOVED
- 31 (N) WOOD ROOF TRIM
- 32 (N) WOOD SIDING TO MATCH THE GARAGE DOOR FINISH
- 33 (N) DOORBELL
- 34 (N) RECESSED PEDESTRIAN ENTRANCE
- 35 TRIM AT ENTRY OPENING
- 36 NOT USED
- 37 (N) PAINTED BRICK FINISH

## KEY PLAN



870 Union Street  
Residence Addition  
and Remodel

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SAN FRANCISCO, CA 94133

MARTINKOVIC MILFORD ARCHITECTS

101 Montgomery Street Suite 650  
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T 415 346 9990



## RECORD OF DRAWING ISSUANCE

|                        |            |
|------------------------|------------|
| PRE-APP MEETING        | 10.13.2015 |
| SITE PERMIT SET        | 11.13.2015 |
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| SITE PERMIT SET REV. 5 | 10.11.2016 |

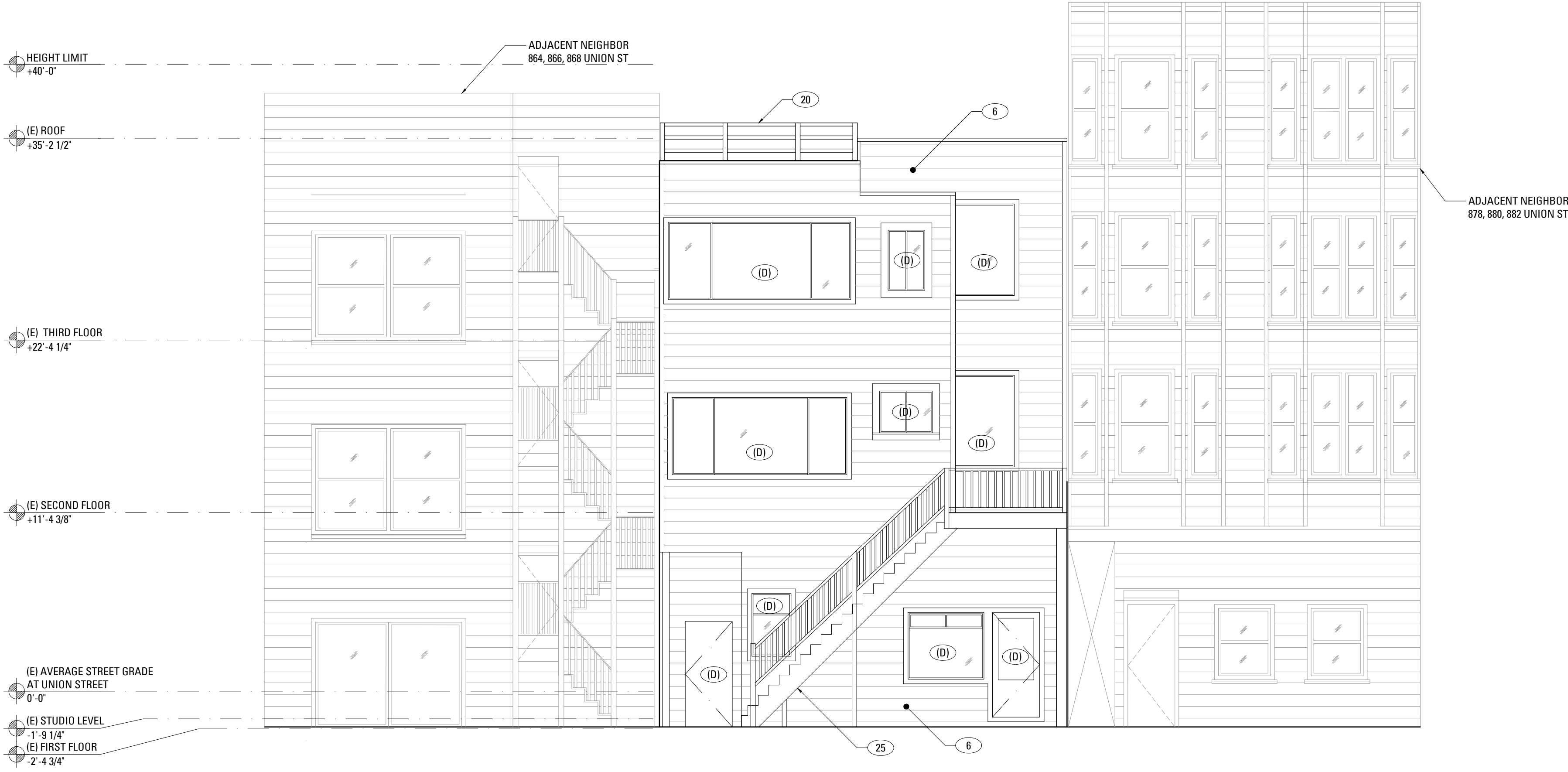
## SITE PERMIT SET REVISION 5

|                 |        |
|-----------------|--------|
| Drawn By:       | S.A.   |
| Checked By:     | B.M.   |
| Project Number: | 1554.1 |

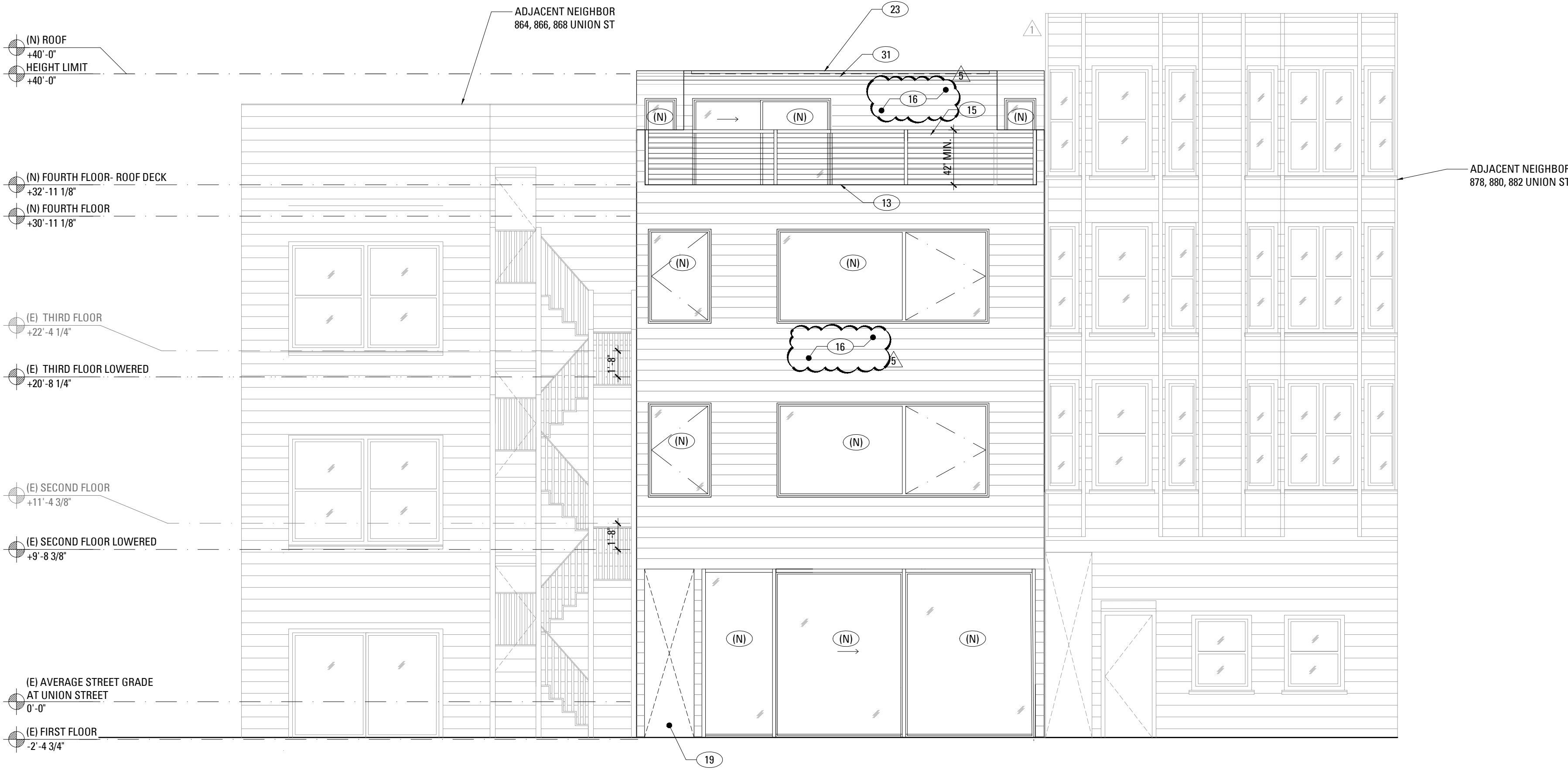
Exterior Elevations

SHEET NUMBER

A201



**2** EXISTING REAR ELEVATION : BUILDING A (NORTH)  
SCALE: 3/16" = 1'-0"

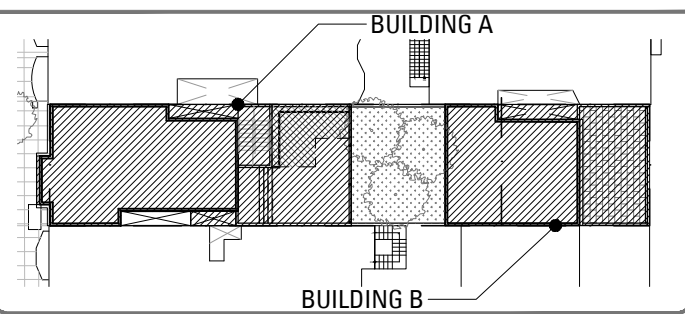


**1** PROPOSED REAR ELEVATION : BUILDING A (NORTH)  
SCALE: 3/16" = 1'-0"

### EXTERIOR ELEVATION KEYNOTES

- (E) (E) DOOR OR WINDOW, TO REMAIN
- (D) (E) DOOR OR WINDOW, TO BE REMOVED
- (N) (N) DOOR OR WINDOW, SEE SCHEDULE A901 AND A902
- (R) REPLACE (E) WINDOW OR DOOR IN KIND, SEE SCHEDULE A901 AND A902
- 1 (E) PARTIAL HEIGHT WALL TO BE REMOVED
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- 14 (E) WOOD TRIM TO BE REMOVED
- 15 (N) GUARDRAIL
- 16 (N) PAINTED WOOD SIDING, TO MATCH (E) FINISH
- 17 (E) OPENING TO BE ENCLOSED
- 18 (E) BAY TO REMAIN
- 19 (N) EXIT CORRIDOR, OPEN TO BEYOND
- 20 (E) WOOD GUARDRAIL TO BE REMOVED
- 21 (E) AREA TO BE EXCAVATED TO ACCOMMODATE (N) WORK, SEE SECTIONS SHEET A301
- 22 REPAIR (E) EXTERIOR STAIRS TO MATCH (E) CONDITIONS
- 23 (N) ROOF LINE BEYOND PARAPET
- 24 (E) WOOD TRIM TO BE REMOVED TO PREPARE FOR (N) WORK
- 25 (E) EXTERIOR STAIRS TO BE REMOVED
- 26 (N) CONCRETE WALL
- 27 (E) RETAINING WALL TO BE REMOVED TO ACCOMMODATE (N) WORK
- 28 (N) PAINTED WOOD SIDING
- 29 (E) LIGHT WELL BEYOND PROPERTY LINE WALL TO BE ALTERED OR REMOVED, SEE CONSTRUCTION PLANS FOR DETAILS
- 30 (E) COLUMN TO BE REMOVED
- 31 (N) WOOD ROOF TRIM
- 32 (N) WOOD SIDING TO MATCH THE GARAGE DOOR FINISH
- 33 (N) DOORBELL
- 34 (N) RECESSED PEDESTRIAN ENTRANCE
- 35 TRIM AT ENTRY OPENING
- 36 NOT USED
- 37 (N) PAINTED BRICK FINISH

### KEY PLAN



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Residence Addition  
and Remodel

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MARTINKOVIC MILFORD ARCHITECTS

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| RECORD OF DRAWING ISSUANCE |            |
|----------------------------|------------|
| PRE-APP MEETING            | 10.13.2015 |
| SITE PERMIT SET            | 11.13.2015 |
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| SITE PERMIT SET REV. 5     | 10.11.2016 |

SITE PERMIT SET  
REVISION 5

|                 |        |
|-----------------|--------|
| Drawn By:       | S.A.   |
| Checked By:     | B.M.   |
| Project Number: | 1554.1 |

Exterior Elevations

SHEET NUMBER

A202





|     |                                                                    |
|-----|--------------------------------------------------------------------|
| (E) | (E) DOOR OR WINDOW, TO REMAIN                                      |
| (D) | (E) DOOR OR WINDOW, TO BE REMOVED                                  |
| (N) | (N) DOOR OR WINDOW, SEE SCHEDULE A901 AND A902                     |
| (R) | REPLACE (E) WINDOW OR DOOR IN KIND, SEE SCHEDULE A901 AND A902     |
| 1   | (E) PARTIAL HEIGHT WALL TO BE REMOVED                              |
| 2   | (E) PAINTED BRICK FINISH TO BE REMOVED                             |
| 3   | (E) WOOD FENCE                                                     |
| 4   | (N) WOOD SIDING                                                    |
| 5   | (N) CONCRETE RETAINING WALL                                        |
| 6   | (E) WOOD SIDING TO BE REMOVED                                      |
| 7   | (E) WOOD FENCE TO BE REMOVED TO ACCOMMODATE (N) WORK               |
| 8   | (E) LANDSCAPE RETAINING WALL TO BE REMOVED TO ACCOMMODATE (N) WORK |
| 12  | (E) WOOD STAIRS TO BE REMOVED                                      |
| 13  | (N) WOOD DECK                                                      |
| 14  | (E) WOOD TRIM TO BE REMOVED                                        |
| 15  | (N) GUARDRAIL                                                      |
| 16  | (N) PAINTED WOOD SIDING, TO MATCH (E) FINISH                       |
| 17  | (E) OPENING TO BE ENCLOSED                                         |

A key plan diagram showing the layout of the site. It features two main buildings, Building A and Building B, which are shaded with diagonal lines. Building A is located on the left side of the plan, and Building B is on the right. A central area, likely the pond, is shown with a stippled pattern. The plan includes various boundary lines, including a dashed line representing the proposed road, and labels for 'BUILDING A' and 'BUILDING B' with leader lines pointing to their respective locations. The plan is oriented with North at the top, as indicated by a north arrow in the top right corner.

# A203

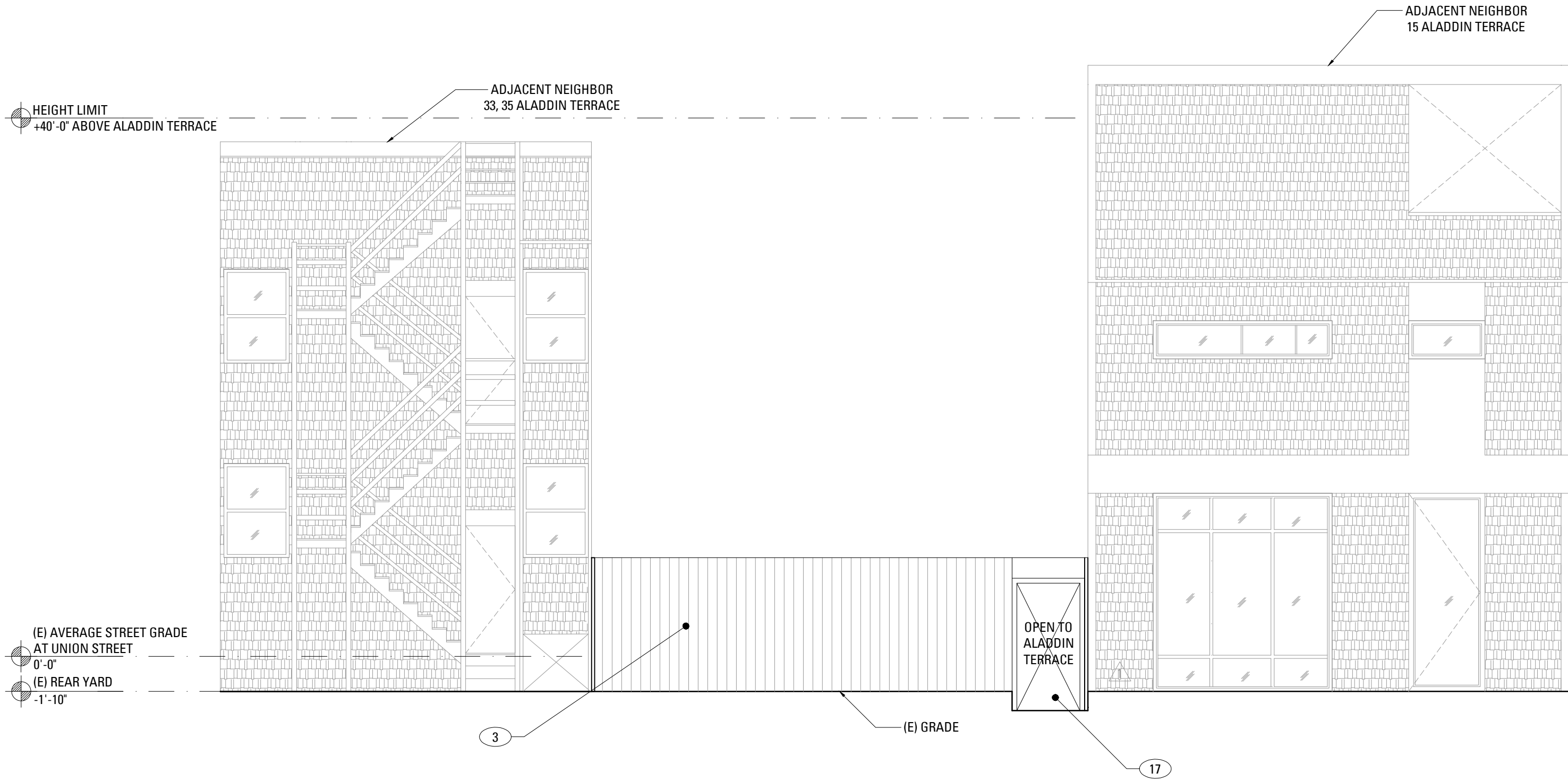




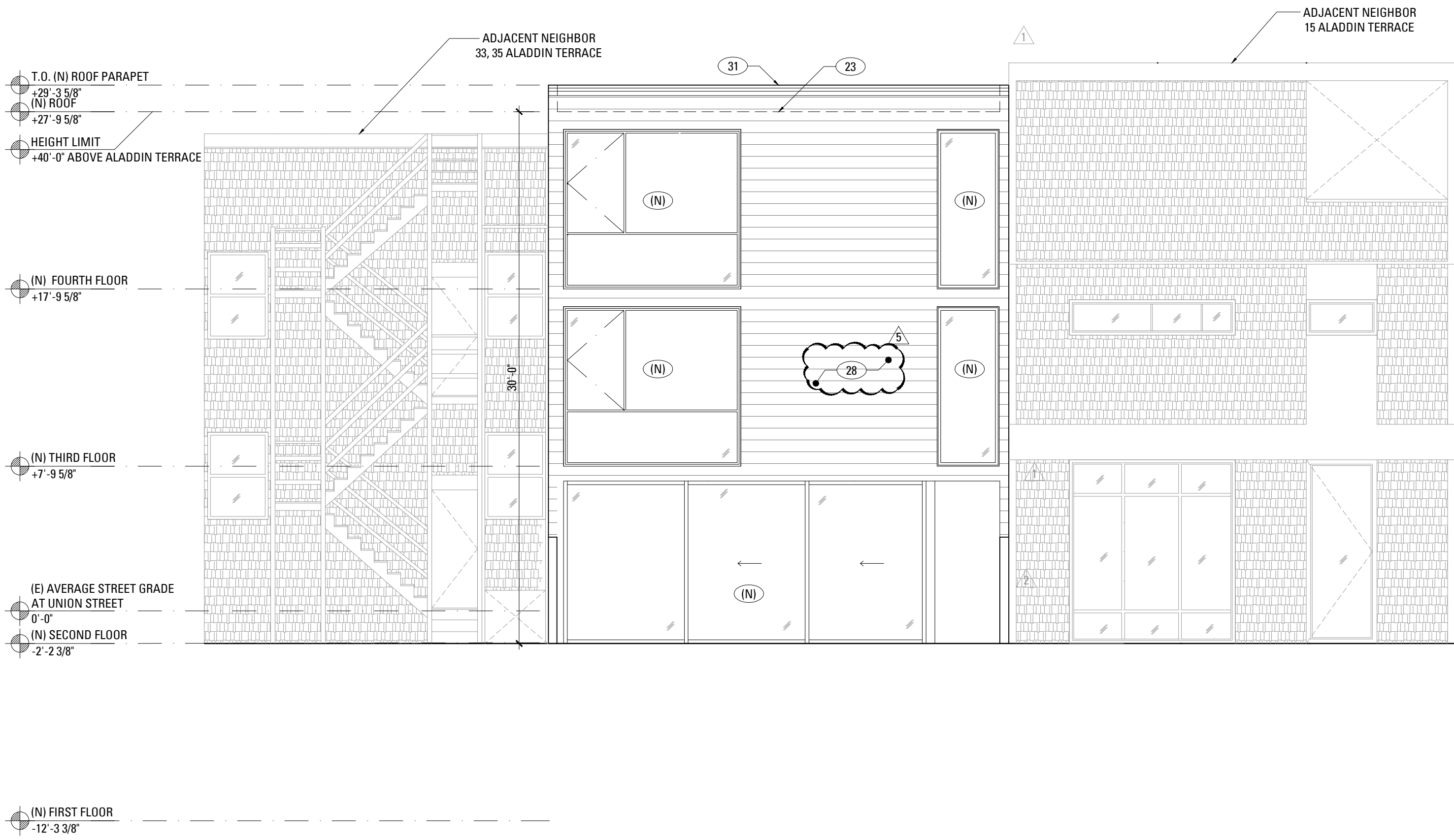
### KEY PLAN

|                 |        |
|-----------------|--------|
| SITE PERMIT SET |        |
| REVISION 5      |        |
| Drawn By:       | S.A.   |
| Checked By:     | B.M.   |
| Project Number: | 1554.1 |



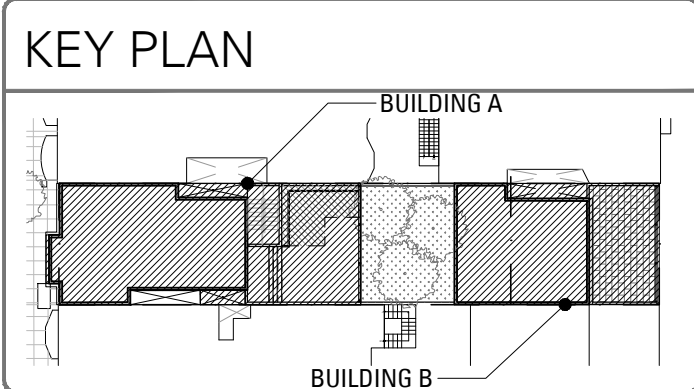


**2** EXISTING REAR YARD BACK ELEVATION (SOUTH)  
SCALE: 3/16" = 1'-0"



**1** PROPOSED REAR YARD BACK ELEVATION : BUILDING B (SOUTH)  
SCALE: 3/16" = 1'-0"

| EXTERIOR ELEVATION KEYNOTES |                                                                                                      |
|-----------------------------|------------------------------------------------------------------------------------------------------|
| (E)                         | (E) DOOR OR WINDOW, TO REMAIN                                                                        |
| (D)                         | (E) DOOR OR WINDOW, TO BE REMOVED                                                                    |
| (N)                         | (N) DOOR OR WINDOW, SEE SCHEDULE A901 AND A902                                                       |
| (R)                         | REPLACE (E) WINDOW OR DOOR IN KIND, SEE SCHEDULE A901 AND A902                                       |
| 1                           | (E) PARTIAL HEIGHT WALL TO BE REMOVED                                                                |
| 2                           | (E) PAINTED BRICK FINISH TO BE REMOVED                                                               |
| 3                           | (E) WOOD FENCE                                                                                       |
| 4                           | (N) WOOD SIDING                                                                                      |
| 5                           | (N) CONCRETE RETAINING WALL                                                                          |
| 6                           | (E) WOOD SIDING TO BE REMOVED                                                                        |
| 7                           | (E) WOOD FENCE TO BE REMOVED TO ACCOMMODATE (N) WORK                                                 |
| 8                           | (E) LANDSCAPE RETAINING WALL TO BE REMOVED TO ACCOMMODATE (N) WORK                                   |
| 12                          | (E) WOOD STAIRS TO BE REMOVED                                                                        |
| 13                          | (N) WOOD DECK                                                                                        |
| 14                          | (E) WOOD TRIM TO BE REMOVED                                                                          |
| 15                          | (N) GUARDRAIL                                                                                        |
| 16                          | (N) PAINTED WOOD SIDING, TO MATCH (E) FINISH                                                         |
| 17                          | (E) OPENING TO BE ENCLOSED                                                                           |
| 18                          | (E) BAY TO REMAIN                                                                                    |
| 19                          | (N) EXIT CORRIDOR, OPEN TO BEYOND                                                                    |
| 20                          | (E) WOOD GUARDRAIL TO BE REMOVED                                                                     |
| 21                          | (E) AREA TO BE EXCAVATED TO ACCOMMODATE (N) WORK, SEE SECTIONS SHEET A301                            |
| 22                          | REPAIR (E) EXTERIOR STAIRS TO MATCH (E) CONDITIONS                                                   |
| 23                          | (N) ROOF LINE BEYOND PARAPET                                                                         |
| 24                          | (E) WOOD TRIM TO BE REMOVED TO PREPARE FOR (N) WORK                                                  |
| 25                          | (E) EXTERIOR STAIRS TO BE REMOVED                                                                    |
| 26                          | (N) CONCRETE WALL                                                                                    |
| 27                          | (E) RETAINING WALL TO BE REMOVED TO ACCOMMODATE (N) WORK                                             |
| 28                          | (N) PAINTED WOOD SIDING                                                                              |
| 29                          | (N) HIGH WALL BEYOND PROPERTY LINE WALL TO BE ALTERED OR REMOVED, SEE CONSTRUCTION PLANS FOR DETAILS |
| 30                          | (E) COLUMN TO BE REMOVED                                                                             |
| 31                          | (N) WOOD ROOF TRIM                                                                                   |
| 32                          | (N) WOOD SIDING TO MATCH THE GARAGE DOOR FINISH                                                      |
| 33                          | (N) DOORBELL                                                                                         |
| 34                          | (N) RECESSED PEDESTRIAN ENTRANCE                                                                     |
| 35                          | TRIM AT ENTRY OPENING                                                                                |
| 36                          | NOT USED                                                                                             |
| 37                          | (N) PAINTED BRICK FINISH                                                                             |



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SITE PERMIT SET  
REVISION 5

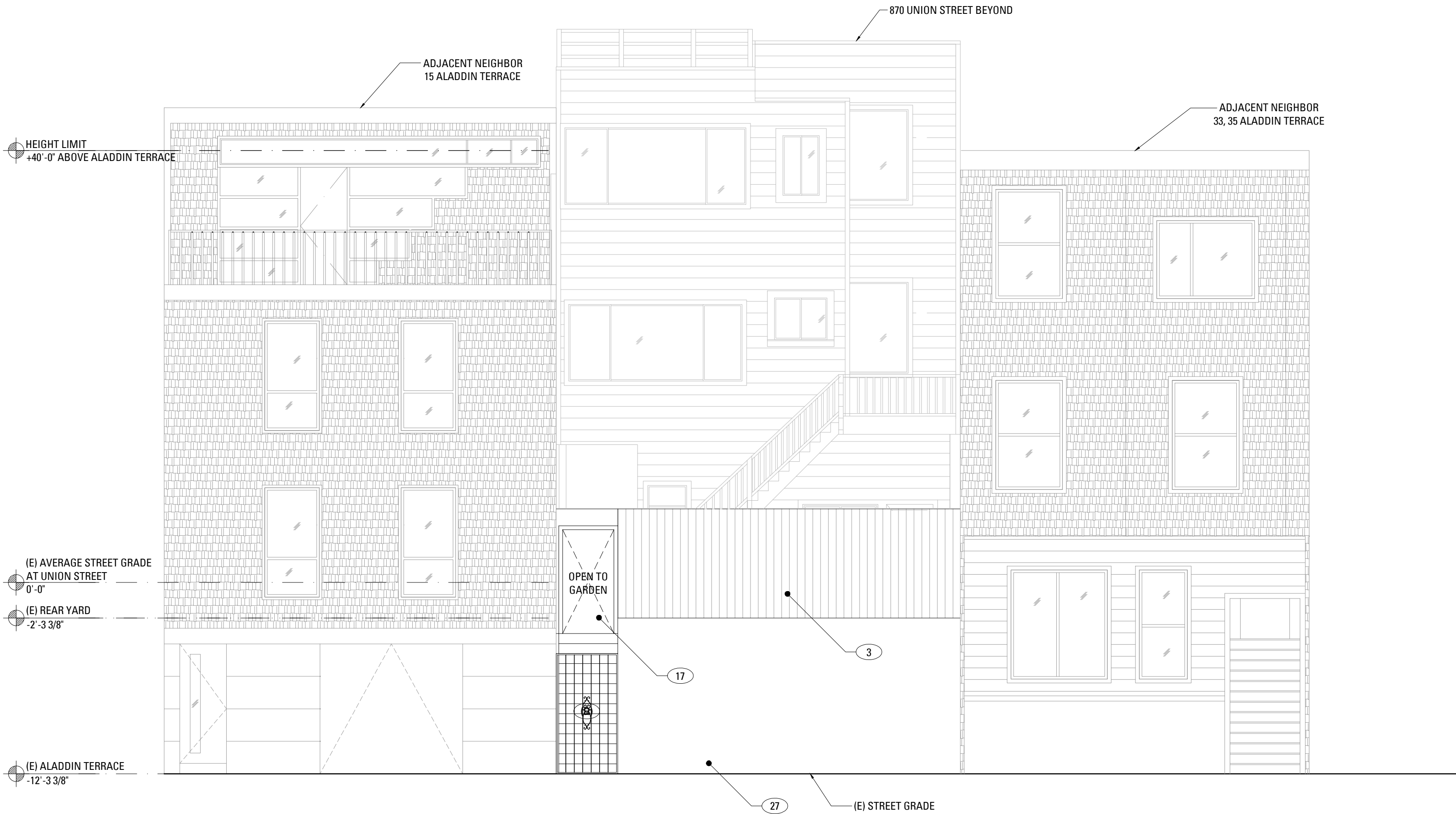
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|-----------------|--------|
| Drawn By:       | S.A.   |
| Checked By:     | B.M.   |
| Project Number: | 1554.1 |

Exterior Elevations

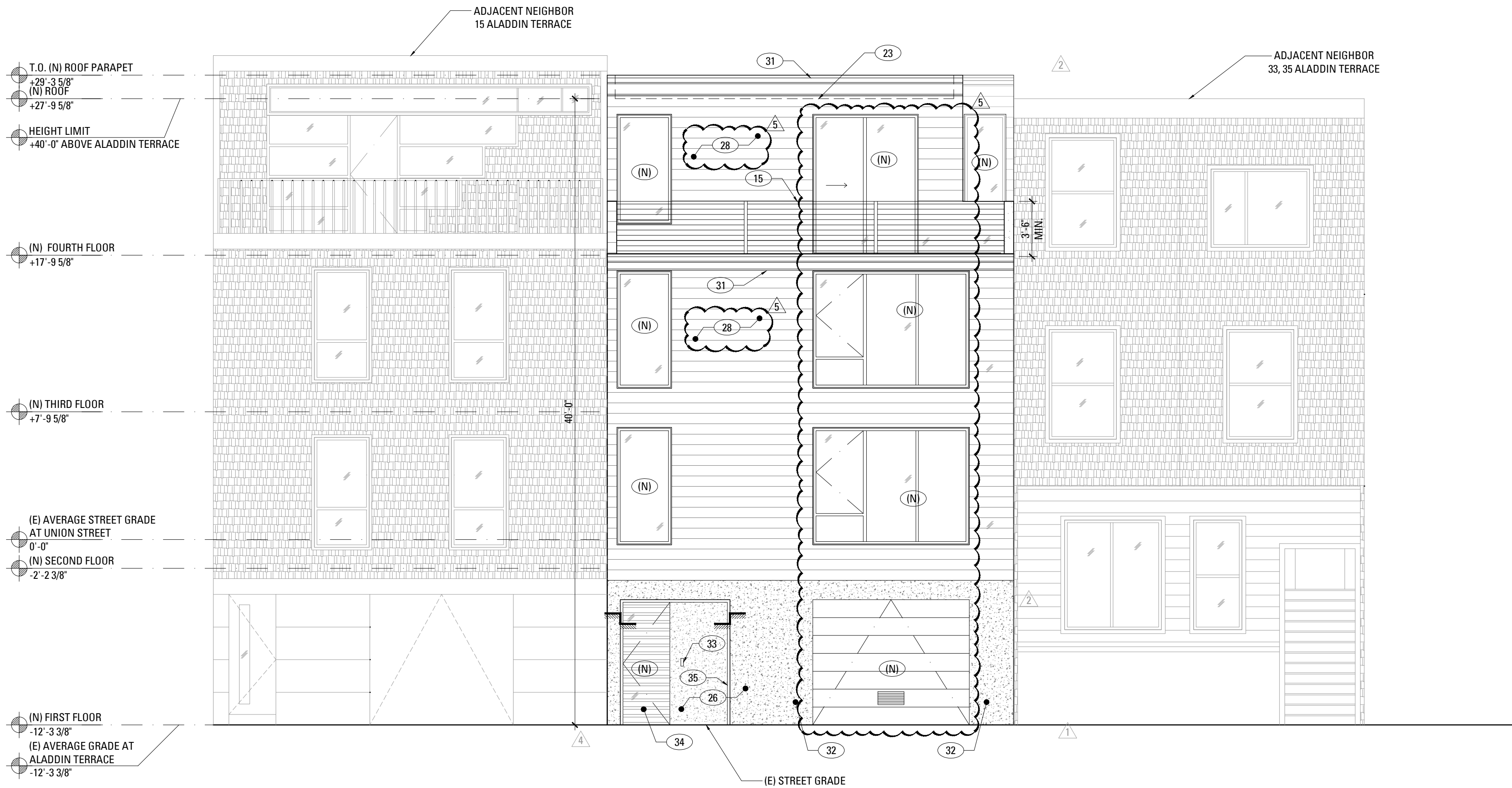
SHEET NUMBER

**A205**





2 EXISTING REAR YARD FRONT ELEVATION (NORTH)  
SCALE: 3/16" = 1'-0"

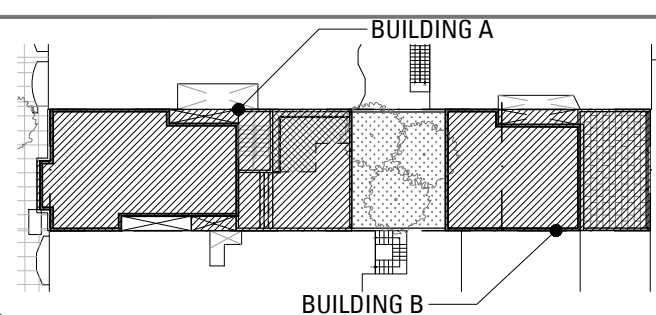


1 PROPOSED REAR YARD FRONT ELEVATION : BUILDING B (NORTH)  
SCALE: 3/16" = 1'-0"

## EXTERIOR ELEVATION KEYNOTES

- (E) (E) DOOR OR WINDOW, TO REMAIN
- (D) (E) DOOR OR WINDOW, TO BE REMOVED
- (N) (N) DOOR OR WINDOW, SEE SCHEDULE A901 AND A902
- (R) REPLACE (E) WINDOW OR DOOR IN KIND, SEE SCHEDULE A901 AND A902
- 1 (E) PARTIAL HEIGHT WALL TO BE REMOVED
- 2 (E) PAINTED BRICK FINISH TO BE REMOVED
- 3 (E) WOOD FENCE
- 4 (N) WOOD SIDING
- 5 (N) CONCRETE RETAINING WALL
- 6 (E) WOOD SIDING TO BE REMOVED
- 7 (E) WOOD FENCE TO BE REMOVED TO ACCOMMODATE (N) WORK
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- 17 (E) OPENING TO BE ENCLOSED
- 18 (E) BAY TO REMAIN
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- 25 (E) EXTERIOR STAIRS TO BE REMOVED
- 26 (N) CONCRETE WALL
- 27 (E) RETAINING WALL TO BE REMOVED TO ACCOMMODATE (N) WORK
- 28 (N) PAINTED WOOD SIDING TO BE REMOVED TO ACCOMMODATE (N) WORK
- 29 (E) NON-WALL BEYOND PROPERTY LINE SHALL BE ALTERED OR REMOVED, SEE CONSTRUCTION PLANS FOR DETAILS
- 30 (E) COLUMN TO BE REMOVED
- 31 (N) WOOD ROOF TRIM
- 32 (N) WOOD SIDING TO MATCH THE GARAGE DOOR FINISH
- 33 (N) DOORBELL
- 34 (N) RECESSED PEDESTRIAN ENTRANCE
- 35 TRIM AT ENTRY OPENING
- 36 NOT USED
- 37 (N) PAINTED BRICK FINISH

## KEY PLAN



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## RECORD OF DRAWING ISSUANCE

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## SITE PERMIT SET REVISION 5

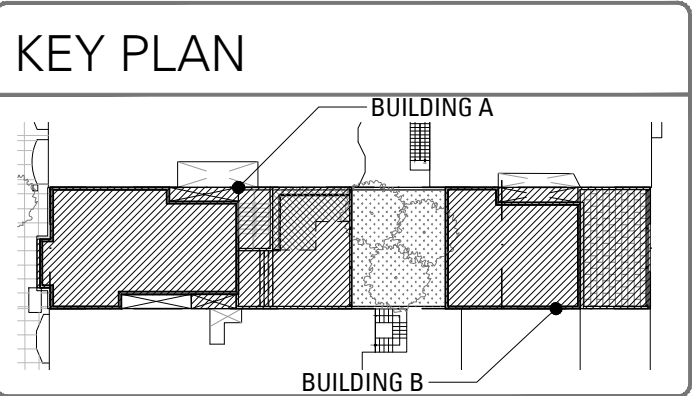
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| Drawn By:       | S.A.   |
| Checked By:     | B.M.   |
| Project Number: | 1554.1 |

Exterior Elevations

SHEET NUMBER

A206





870 UNION STREET,  
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SCALE: 3/16" = 1'-0"



SCALE: 3/16" = 1'-0"

SHEET NUMBER

# A301



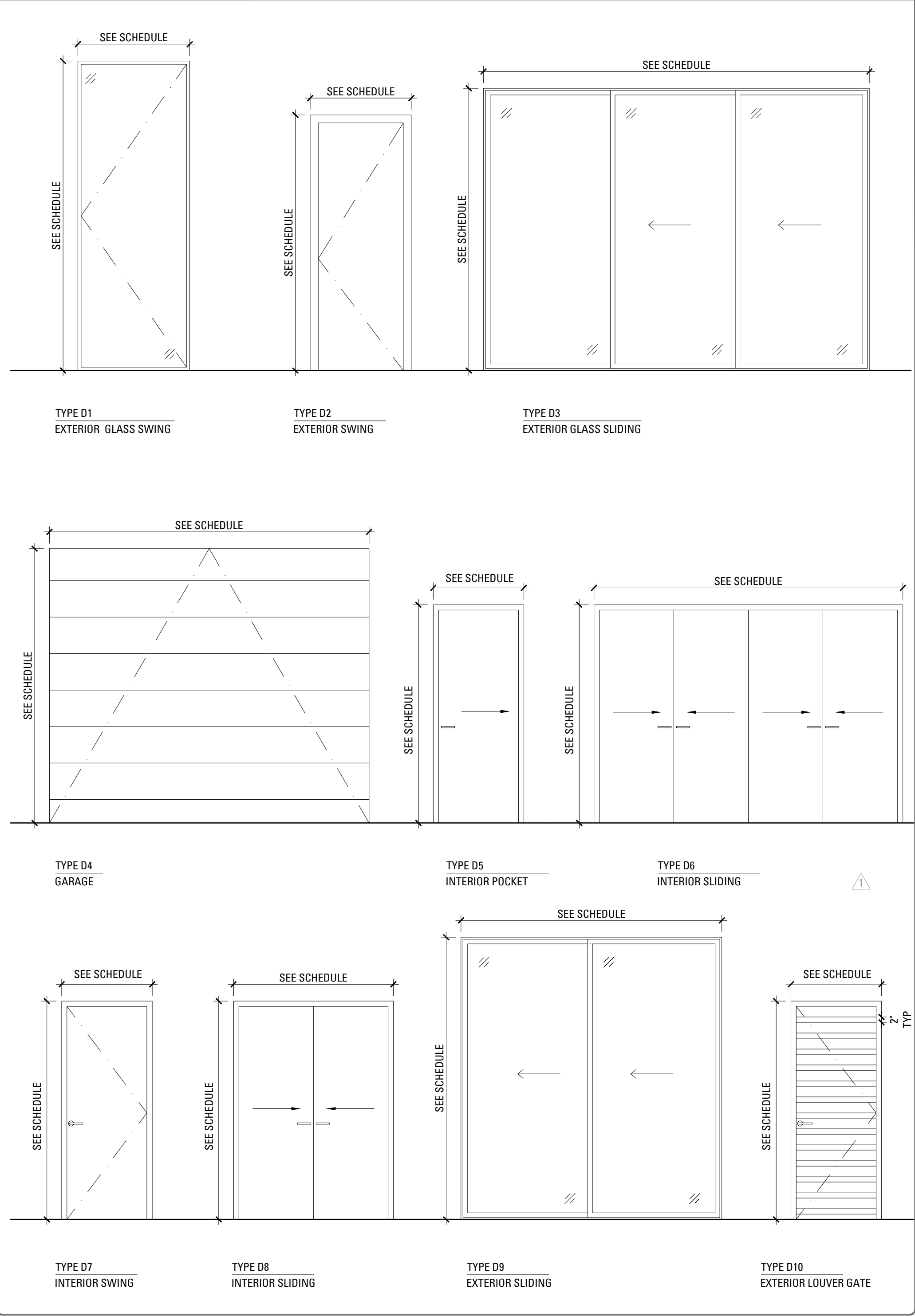
DOOR SCHEDULE

| TYPE                                                                              | DOOR                 |      |        |          | FRAME  |          |        | COMMENTS |
|-----------------------------------------------------------------------------------|----------------------|------|--------|----------|--------|----------|--------|----------|
|                                                                                   | W x H<br>DIM. U.O.N. | TYPE | THICK  | MATERIAL | FINISH | MATERIAL | FINISH |          |
|  | NOT USED             |      |        |          |        |          |        |          |
|  | 16'-6" x 9'-2"       | D3   | 1 3/4" | GLASS    | T.B.D. | ALUMINUM | T.B.D. | --       |








































DOOR NOTES

1. HARDWARE ON RATED DOORS SHALL BEAR UL LABEL
2. GENERAL CONTRACTOR TO PROVIDE CODE COMPLIANT SAFETY GLAZING WHERE REQUIRED
3. GENERAL CONTRACTOR TO VERIFY SIZE OF DOORS TO FIT IN (E) OPENINGS.
4. EXTERIOR DOORS TO BE GLAZED WITH DOUBLE PANE, LOW-E CLEAR GLASS WITH U.V. PROTECTION
5. PROVIDE MASTER BEDROOM & ALL BATHROOMS W/ PRIVACY LOCKS.

DOOR TYPES



DOOR SCHEDULE

| TYPE                                                                                  | DOOR                 |           |           |                  | FRAME     |           |           | COMMENTS                                               |
|---------------------------------------------------------------------------------------|----------------------|-----------|-----------|------------------|-----------|-----------|-----------|--------------------------------------------------------|
|                                                                                       | W x H<br>DIM. U.O.N. | TYPE      | THICK     | MATERIAL         | FINISH    | MATERIAL  | FINISH    |                                                        |
|    | EXISTING             | E         | E         | EXISTING         | EXISTING  | EXISTING  | EXISTING  | --                                                     |
|    | MATCH (E)            | MATCH (E) | MATCH (E) | MATCH (E)        | MATCH (E) | MATCH (E) | MATCH (E) | DOOR TO BE REPLACED IN KIND                            |
|    | 14'-0" x 8'-0"       | D4        | 2"        | ALUMINUM         | T.B.D.    | ALUMINUM  | T.B.D.    | MINIMUM 200 SQ INCH LOUVER FOR VENTILATION             |
|    | 3'-0" x 9'-4"        | D2        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | ALUMINUM  | T.B.D.    | --                                                     |
|    | 3'-6" x 7'-4"        | D2        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | 1-HOUR FIRE RATED DOOR AND FRAME WITH SMOKE GASKETING  |
|    | 3'-6" x 7'-4"        | D2        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | 1-HOUR FIRE RATED DOOR AND FRAME WITH SMOKE GASKETING  |
|    | 2'-8" x 6'-8"        | D5        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|    | 3'-6" x 8'-0"        | D2        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|    | 14'-1 1/4" x 6'-8"   | D6        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|    | 2'-8" x 6'-8"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|    | 2'-10" x 6'-8"       | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|    | NOT USED             | --        | --        | --               | --        | --        | --        | --                                                     |
|    | 2'-10" x 7'-4"       | D2        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|    | 2'-6" x 6'-8"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|    | 3'-0" x 7'-0"        | D2        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|    | 2'-10" x 6'-8"       | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|    | 12'-9 3/4" x 6'-8"   | D6        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|    | 2'-8" x 6'-8"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|    | 8'-9" x 7'-0"        | D9        | 1 3/4"    | GLASS            | T.B.D.    | ALUMINUM  | T.B.D.    | --                                                     |
|    | 3'-6" x 6'-8"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | ALUMINUM  | T.B.D.    | 45-MIN. FIRE RATED DOOR AND FRAME WITH SMOKE GASKETING |
|   | 3'-3" x 6'-8"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | 1-HOUR FIRE RATED DOOR AND FRAME WITH SMOKE GASKETING  |
|  | 3'-6" x 8'-0"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | 1-HOUR FIRE RATED DOOR AND FRAME WITH SMOKE GASKETING  |
|  | 10'-0" x 8'-0"       | D4        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | ALUMINUM  | T.B.D.    | --                                                     |
|  | 3'-0" x 8'-0"        | D10       | 1 3/4"    | WOOD LOUVER GATE | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 5'-0" x 6'-8"        | D8        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 2'-10" x 6'-8"       | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 5'-0" x 6'-8"        | D8        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 10'-7 1/2" x 6'-8"   | D6        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 3'-0" x 6'-8"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 13'-6 1/2" x 6'-8"   | D6        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 3'-0" x 6'-8"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 3'-0" x 6'-8"        | D5        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 3'-6" x 6'-8"        | D5        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 6'-9" x 8'-9"        | D9        | 1 3/4"    | GLASS            | T.B.D.    | ALUMINUM  | T.B.D.    | 2 EQUAL PANELS                                         |
|  | 3'-0" x 6'-8"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 2'-8" x 6'-8"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 2'-6" x 6'-8"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 16'-6" x 10'-8"      | D9        | 1 3/4"    | GLASS            | T.B.D.    | ALUMINUM  | T.B.D.    | --                                                     |
|  | 2'-8" x 6'-8"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |

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870 Union Street  
Residence Addition  
and Remodel

870 UNION STREET,  
SAN FRANCISCO, CA 94133

MARTINKOVIC MILFORD ARCHITECTS

101 Montgomery Street Suite 650  
San Francisco, CA 94104  
T 415 346 9990



RECORD OF DRAWING ISSUANCE

|                        |            |
|------------------------|------------|
| PRE-APP MEETING        | 10.13.2015 |
| SITE PERMIT SET        | 11.13.2015 |
| SITE PERMIT SET REV. 1 | 04.27.2016 |
| SITE PERMIT SET REV. 2 | 05.26.2016 |
| SITE PERMIT SET REV. 3 | 06.10.2016 |
| SITE PERMIT SET REV. 4 | 09.20.2016 |
| SITE PERMIT SET REV. 5 | 10.11.2016 |

SITE PERMIT SET  
REVISION 5

|                 |        |
|-----------------|--------|
| Drawn By:       | S.A.   |
| Checked By :    | B.M.   |
| Project Number: | 1554.1 |

Schedule

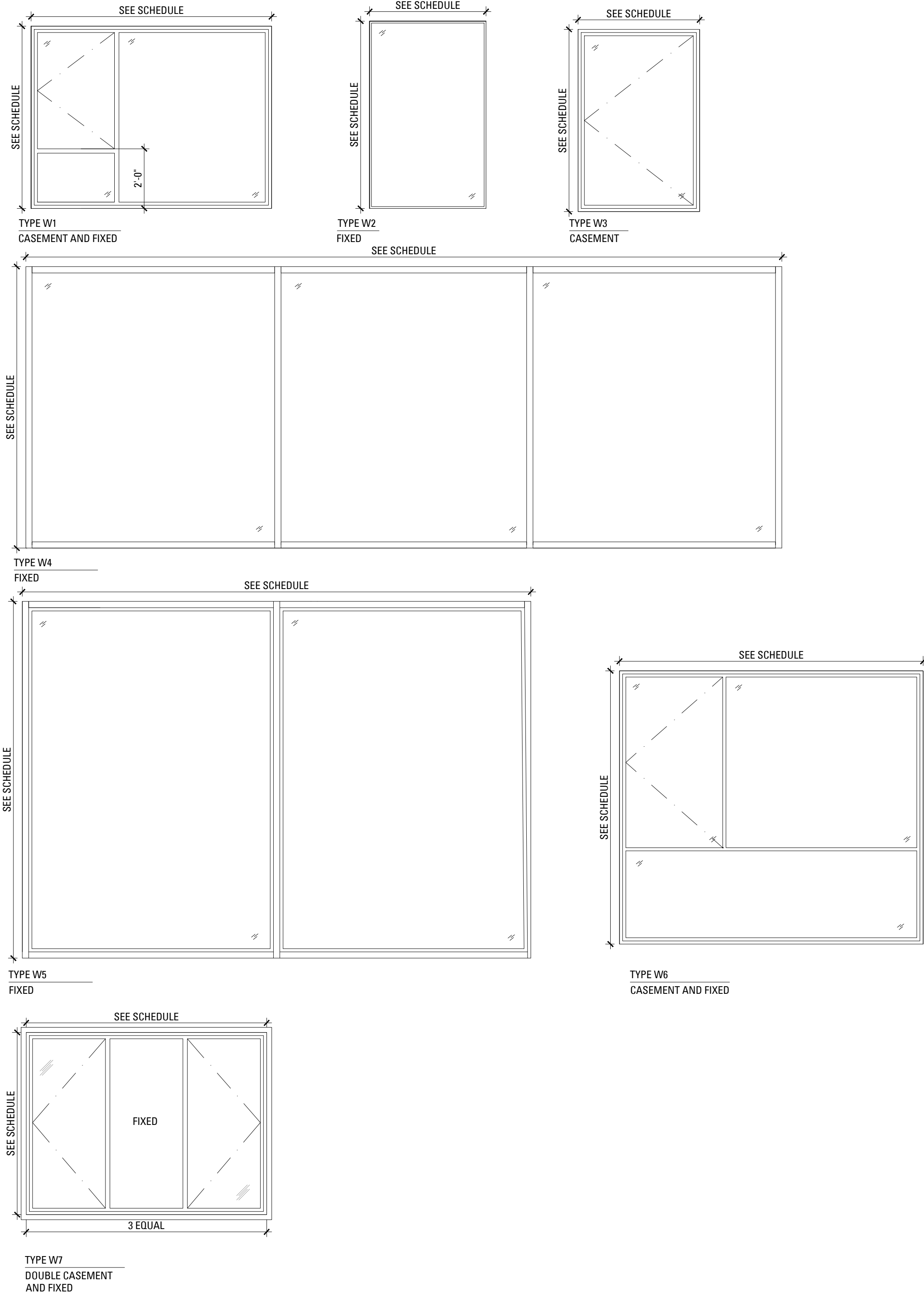
SHEET NUMBER

A901

WINDOW SCHEDULE

| NO. | LOCATION |                    | WINDOW |                            | HEAD HEIGHT<br>A.F.F. | MATERIAL | INTERIOR<br>FINISH | EXTERIOR<br>FINISH | MFR.                                                | COMMENTS |
|-----|----------|--------------------|--------|----------------------------|-----------------------|----------|--------------------|--------------------|-----------------------------------------------------|----------|
|     | FLOOR    | ROOM               | TYPE   | W x H<br>FRAME DIM. U.O.N. |                       |          |                    |                    |                                                     |          |
| 36  | 03       | (E) BEDROOM        | W2     | 1'-3" x 7'-0"              | 7'-3 1/2"             | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --       |
| 37  | 04       | (N) LIVING<br>ROOM | W2     | 1'-3" x 7'-0"              | 7'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --       |
| 38  | 04       | (E) BEDROOM        | W2     | 1'-3" x 7'-0"              | 7'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --       |

WINDOW & SKYLIGHT TYPES



WINDOW SCHEDULE

| NO. | LOCATION |                        | WINDOW |                                   | HEAD HEIGHT<br>A.F.F. | MATERIAL | INTERIOR<br>FINISH | EXTERIOR<br>FINISH | MFR.                                                | COMMENTS       |
|-----|----------|------------------------|--------|-----------------------------------|-----------------------|----------|--------------------|--------------------|-----------------------------------------------------|----------------|
|     | FLOOR    | ROOM                   | TYPE   | W x H<br>FRAME DIM. U.O.N.        |                       |          |                    |                    |                                                     |                |
| E   | --       | --                     | E      | EXISTING                          | EXISTING              |          |                    |                    | --                                                  |                |
| 1   | 01       | (N) KITCHEN            | W2     | 4'-6" x 10'-8"                    | 10'-8"                | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 2   | 02       | (E) MASTER<br>BEDROOM  | W7     | EXISTING<br>7'-11" x 7'-0" V.I.F. | 8'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 3   | 02       | (N) OFFICE             | W2     | 3'-0" x 6'-0"                     | 8'-7 1/2"             | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 4   | 02       | (N) OFFICE             | W2     | 3'-0" x 2'-0"                     | 4'-7 1/2"             | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 5   | 02       | (N) LIVING<br>ROOM     | W3     | 4'-0" x 6'-0"                     | 9'-4"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 6   | 02       | (N) KITCHEN            | W1     | 13'-6" x 6'-0"                    | 9'-4"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 7   | 03       | (E) BEDROOM            | W2     | 3'-0" x 6'-0"                     | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 8   | 03       | (E) BEDROOM            | W2     | 3'-0" x 2'-0"                     | 5'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 9   | 03       | (N) LIVING<br>ROOM     | W3     | 4'-0" x 6'-0"                     | 9'-5"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 10  | 03       | (N) KITCHEN            | W1     | 13'-8" x 6'-0"                    | 9'-5"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 11  | 04       | (N) LIVING<br>ROOM     | W7     | 7'-11" x 5'-0"                    | 7'-8"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 12  | 02       | (N) MASTER<br>BATHROOM | W3     | 4'-0 X 5'-0"                      | 8'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | SAFETY GLAZING |
| 13  | 03       | (E) STAIRS             | W2     | 3'-8" x 7'-0"                     | 7'-3 1/2"             | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 14  | 02       | (N) KITCHEN            | W2     | 3'-5" x 7'-6"                     | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 15  | 02       | (N) KITCHEN            | W1     | 10'-0" x 7'-6"                    | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 16  | 03       | (N) HALLWAY            | W2     | 3'-5" x 9'-0"                     | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 17  | 03       | (N) BEDROOM            | W6     | 10'-0" x 9'-0"                    | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 18  | 03       | (N) HALLWAY            | W2     | 3'-6" x 7'-6"                     | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 19  | 03       | (E) BEDROOM            | W1     | 10'-0" x 7'-5"                    | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 20  | 03       | (E) BEDROOM            | W2     | 2'-9" x 9'-0"                     | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 21  | 03       | (E) BEDROOM            | W2     | 2'-9" x 9'-0"                     | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 22  | 04       | (N) HALLWAY            | W2     | 3'-5" x 9'-0"                     | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 23  | 04       | (N) MASTER<br>BATHROOM | W6     | 10'-0" x 9'-0"                    | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | SAFETY GLAZING |
| 24  | 04       | (N) HALLWAY            | W2     | 3'-5" x 7'-0"                     | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 25  | --       | NOT USED               |        |                                   |                       |          |                    |                    |                                                     |                |
| 26  | 02       | (E) MASTER<br>BEDROOM  |        | 1'-3" x 7'-0"                     | 8'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL |                |
| 27  | 04       | (N) MASTER<br>BATHROOM | W2     | 2'-9" x 9'-0"                     | 7'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 28  | 03       | (E) BEDROOM            | W7     | 7'-11" x 7'-0"                    | 7'-3 1/2"             | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 29  | 03       | (N) BATHROOM           | W3     | 4'-0" x 5'-0"                     | 8'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | SAFETY GLAZING |
| 30  | 04       | (N) LIVING<br>ROOM     | W2     | 7'-11" x 7'-0"                    | 7'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | SAFETY GLAZING |
| 31  | 04       | (N) LIVING<br>ROOM     | W2     | 3'-8" x 7'-0"                     | 7'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | SAFETY GLAZING |
| 32  | 04       | (N) LIVING<br>ROOM     | W2     | 1'-10" x 5'-0"                    | 7'-8"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | SAFETY GLAZING |
| 33  | 03       | (E) STAIRS             | W2     | 3'-10" x 6'-0"                    | 8'-2"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | SAFETY GLAZING |
| 34  | 02       | (E) MASTER<br>BEDROOM  | W2     | 1'-3" x 7'-0"                     | 8'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 35  | 03       | (E) BEDROOM            | W2     | 1'-3" x 7'-0"                     | 7'-3 1/2"             | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |

WINDOW & SKYLIGHT NOTES

- ALL DIMENSIONS ARE UNIT SIZES TO OUTSIDE FRAME DIMENSIONS, U.O.N.
- SILL OR HEAD HEIGHTS GIVEN ARE TO INSIDE OF UNIT OR INSIDE OF FRAME, U.O.N.
- GENERAL CONTRACTOR TO PROVIDE CODE COMPLIANT SAFETY GLAZING WHERE REQUIRED
- EGRESS WINDOWS TO COMPLY WITH 2013 CBC SECTION 1029 AND SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET, A MINIMUM NET CLEAR OPENING HEIGHT OF 24" AND MINIMUM NET OPENING WIDTH OF 20" AS A RESULT OF NORMAL OPERATION OF THE OPENING. THE BOTTOM OF THE OPENING SHALL NOT BE GREATER THAN 44" ABOVE FINISHED FLOOR.
- WINDOW TO BE GLAZED WITH DOUBLE PANE, LOW-E CLEAR GLASS, 0.32 U-FACTOR OR BETTER, WITH U.V. PROTECTION, U.O.N.
- PER 2013 CBC SECTION 1013.8, AT OPERABLE EXTERIOR WINDOWS LOCATED MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE AT A HEIGHT NOT LESS THAN 36" ABOVE THE FINISHED FLOOR SURFACE OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND A HEIGHT OF 36" SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4" DIAMETER SPHERE CANNOT PASS. EXCEPTION: OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2006, F 2090 OR 1013.8.1
- ALL GLAZED EXTERIOR DOORS AND WINDOWS TO HAVE THERMAL SEAL GASKETING, U.O.N.
- ALL EXTERIOR DOORS AND WINDOWS TO HAVE GALVANIZED SHEET METAL PAN FLASHING AND GALVANIZED METAL HEAD FLASHING, U.O.N.
- ALL EXTERIOR DOOR AND WINDOW OPENINGS SHALL HAVE SELF-ADHERED FLASHING
- ALL GAPS BETWEEN FRAMING AND EXTERIOR DOOR & WINDOW FRAMES TO BE FILLED WITH EXPANDING FOAM INSULATION

870 Union Street  
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and Remodel

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SAN FRANCISCO, CA 94133

MARTINKOVIC MILFORD ARCHITECTS

101 Montgomery Street Suite 650  
San Francisco, CA 94104  
T 415 346 9990



RECORD OF DRAWING ISSUANCE

|                        |            |
|------------------------|------------|
| PRE-APP MEETING        | 10.13.2015 |
| SITE PERMIT SET        | 11.13.2015 |
| SITE PERMIT SET REV.   | 04.27.2016 |
| SITE PERMIT SET REV. 2 | 05.26.2016 |
| SITE PERMIT SET REV. 3 | 06.10.2016 |
| SITE PERMIT SET REV. 4 | 09.20.2016 |
| SITE PERMIT SET REV. 5 | 10.11.2016 |

SITE PERMIT SET

REVISION 5

|                 |        |
|-----------------|--------|
| Drawn By:       | S.A.   |
| Checked By:     | B.M.   |
| Project Number: | 1554.1 |

Schedule

SHEET NUMBER

A902





**1** RENDERING - UNION STREET BUILDING  
SCALE: NTS

2016/01/19

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| SITE PERMIT SET REV. 4 | 09.20.2016 |
| SITE PERMIT SET REV. 5 | 10.11.2016 |
|                        |            |
|                        |            |

SITE PERMIT SET  
REVISION 5

|                 |        |
|-----------------|--------|
| Drawn By:       | S.A.   |
| Checked By:     | B.M.   |
| Project Number: | 1554.1 |

Renderings

SHEET NUMBER

A006A





**1** RENDERING - ALADDIN TERRACE BUILDING  
SCALE: NTS

2016/01/19

870 Union Street  
Residence Addition  
and Remodel

870 UNION STREET,  
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RECORD OF DRAWING ISSUANCE

|                        |            |
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| PRE-APP MEETING        | 10.13.2015 |
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| SITE PERMIT SET REV. 5 | 10.11.2016 |
|                        |            |
|                        |            |

SITE PERMIT SET  
REVISION 5

|                 |        |
|-----------------|--------|
| Drawn By:       | S.A.   |
| Checked By:     | B.M.   |
| Project Number: | 1554.1 |

Renderings

SHEET NUMBER

**A006B**