



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use Authorization

HEARING DATE: NOVEMBER 7, 2019

CONTINUED FROM: JULY 11, 2019 AND SEPTEMBER 12, 2019

Record No.: 2015-006825CUA
Project Address: 367 Hamilton Street
Zoning: RH-1 (Residential – House, One Family) Zoning District
40-X Height and Bulk District
Block/Lot: 5987/002
Project Sponsor: Derek Vinh
Ice Design Inc.
90 S. Spruce Avenue Suite K
South San Francisco, CA 94080
Property Owner: 367 Hamilton Street
San Francisco, CA 94134
Staff Contact: Veronica Flores – (415) 575-9173
veronica.flores@sfgov.org
Recommendation: **Approval with Conditions**

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PROJECT DESCRIPTION

The Project includes demolition of an existing single-family residence and an unauthorized dwelling unit and new construction of a three-story, 30-foot-10-inches tall, single-family residence with an Accessory Dwelling Unit (approximately 3,115 square feet combined). The Project includes one dwelling unit with three bedrooms on the second and third floors, and an Accessory Dwelling Unit with two bedrooms on the ground floor. The Project includes 1,275 square feet of common open space via ground floor courtyard, in addition to private balconies/decks for each unit.

REQUIRED COMMISSION ACTION

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization, pursuant to Planning Code Sections 303 and 317, to allow demolition of an existing single-family residence and removal of an unauthorized dwelling unit within the RH-1 Zoning District.

ISSUES AND OTHER CONSIDERATIONS

- **Public Comment & Outreach.** The Department has received four letters in opposition to the project with concerns related to overall massing, design, and parking. The Project Sponsor held a community meeting on October 16, 2019; however, there were no attendees at this meeting.

- **Existing Tenant:** The property owner currently occupies the lower unit since purchasing the property circa 2012. The upper unit was previously rented out to a family friend, who is on a month-to-month lease and will be vacating the property before the end of the year.
- **Planning Code Compliance.** The Project is fully compliant with the Planning Code and is not seeking any variances or waivers.
- **Design Review Comments:** The project has changed in the following significant ways since the original submittal to the Department:
 - Providing a 10' side setback along the south property line
 - Reducing the proposed garage door from 12' to 10'
 - Minimizing front deck so that it is not visible from the street

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

BASIS FOR RECOMMENDATION

The Department finds that the Project is, on balance, consistent with the Objectives and Policies of the General Plan. The proposal is will result in one net new legal unit. The new construction building will also increase the number of bedrooms on the project site resulting in more family-sized units. The Department also finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

ATTACHMENTS:

Draft Motion – Conditional Use Authorization with Conditions of Approval
Exhibit B – Plans and Renderings
Exhibit C – Environmental Determination
Exhibit D – Land Use Data
Exhibit E – Maps and Context Photos
Exhibit F – Appraisal of Real Property
Exhibit G – Construction Cost to Legalize
Exhibit H - Public Correspondence



SAN FRANCISCO PLANNING DEPARTMENT

Planning Commission Draft Motion

HEARING DATE: NOVEMBER 7, 2019

Record No.: 2015-006825CUA
Project Address: 367 HAMILTON STREET
Zoning: RH-1 (Residential House, One Family) Zoning District
40-X Height and Bulk District
Block/Lot: 5987/002
Project Sponsor: Derek Vinh
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ADOPTING FINDINGS RELATING TO A CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 303 AND 317, TO ALLOW DEMOLITION OF AN EXISTING SINGLE-FAMILY RESIDENCE AND AN UNAUTHORIZED DWELLING UNIT AND NEW CONSTRUCTION OF A THREE-STORY, 30-FOOT-10-INCH TALL, SINGLE-FAMILY RESIDENCE WITH AN ACCESSORY DWELLING UNIT (APPROXIMATELY 3,115 SQUARE FEET COMBINED), LOCATED AT 367 HAMILTON STREET, LOT 002 IN ASSESSOR'S BLOCK 5987, WITHIN THE RH-1 (RESIDENTIAL, HOUSE, ONE-FAMILY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PREAMBLE

On September 5, 2018, Derek Vinh of Ice Design (hereinafter "Project Sponsor") filed Application No. 2015-006825CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization to allow demolition of an existing single-family residence and unauthorized dwelling unit and new construction of a three-story, 30-foot-10-inch tall, single-family residence with an Accessory Dwelling Unit (approximately 3,115 square feet combined) (hereinafter "Project") at 367 Hamilton Street, Block 5987 Lot 002 (hereinafter "Project Site").

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

On July 11, 2019, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Authorization Application No. 2015-006825CUA. The item was continued without discussion to the September 12, 2019 public hearing. The Project Sponsor requested an additional continuance to conduct more community outreach. A community meeting was held at the project site on October 16, 2019 however no attendees were present.

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2015-006825CUA is located at 1650 Mission Street, Suite 400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use Authorization as requested in Application No. 2015-006825CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Project Description.** The Project includes demolition of an existing single-family residence and an unauthorized dwelling unit and new construction of a three-story, 30-foot-10-inches tall, single-family residence with an Accessory Dwelling Unit (approximately 3,115 square feet combined). The Project includes one dwelling unit with three bedrooms on the second and third floors, and an Accessory Dwelling Unit with two bedrooms on the ground floor. The Project includes 1,275 square feet of common open space via ground floor courtyard, in addition to private balconies/decks for each unit.
3. **Site Description and Present Use.** The Project Site has a lot area of approximately 3,000 square feet and approximately 25 feet of frontage along Hamilton Street. The Project Site contains a two-story single-family residence and an unauthorized dwelling unit. The current owner purchased the property circa 2012 and currently lives in the downstairs unit. The upper floor residential unit was previously rented out on a month-to-month basis with the tenant vacating this summer.
4. **Surrounding Properties and Neighborhood.** The Project Site is located within RH-1 (Residential – House, One Family) Zoning District. The immediate neighborhood includes two-story residential development to the north, south, and east; tiered four-story residential development and the North Basin to the west, and Alta Vista School a block east. Other zoning districts in the vicinity of the project site include: P (Public), NC-3 (Neighborhood Commercial-Moderate Scale), and the 24th-Mission NCT (Neighborhood Commercial Transit) Zoning District.
5. **Public Outreach and Comments.** The Department has received four letters in opposition to the project with concerns related to overall massing, design, and parking. The Project Sponsor held a community meeting on October 16, 2019; however, there were no attendees at this meeting.

6. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Use and District.** Planning Code Section 209.1 states that single-family residences are permitted within the RH-1 District. Additionally, Planning Code Section 207 permits Accessory Dwelling Units within single-family residences.

The Project proposed a single-family residence on the upper floors and an Accessory Dwelling Unit on the ground floor. Accessory Dwelling Units are permitted in new construction building per Ordinance No. 116-19; therefore, the Project complies.

- B. **Rear Yard.** Planning Code Section 134 requires that projects in the RH-1 Zoning District provide a minimum rear yard depth shall be equal to 25% of the total depth of the lot on which the building is situated, but in no case less than 15 feet.

The Project Site has a lot depth of 120 feet and requires a minimum rear yard of 30 feet. The Project proposes to maintain the existing rear yard of 69 feet 6 inches; therefore, the Project complies.

- C. **Residential Open Space.** Planning Code Section 135 requires 400 square feet of private usable open space per dwelling unit and 400 square feet of common usable open space per dwelling unit within the RH-1 Zoning District. Common usable open space shall be at least 15 feet in every horizontal dimension and shall have a minimum area of 300 square feet

The Project Site has a rear yard with more than 1,200 square feet of common usable open space. Additionally, each unit has at least one private deck located directly and immediately accessible from the residential unit; therefore, the Project complies.

- D. **Dwelling Unit Exposure.** Planning Code Section 140 requires that at least one room of all dwelling units face directly onto a public street, public alley at least 20 feet in width, side yard at least 25 feet in width or Code-compliant rear yard.

The Project proposes two dwelling units. The primary unit on the upper floors meets the exposure requirement by facing out onto a public street. The Accessory Dwelling Unit on the ground floor meets the exposure requirement by facing onto a Code-complaint rear yard with the upper unit's overhang extending less than nine feet from the rear structural wall; therefore, the Project complies.

- E. **Height.** Planning Code Section 260 requires that all structures be no taller than the height prescribed in the subject height and bulk district. The proposed Project is located in a 40-X Height and Bulk District.

The proposal measures 30 feet 10 inches to the top of the roof and therefore complies.

- F. **Residential Demolition.** Pursuant to Planning Code Section 317, Conditional Use Authorization is required for any application for a permit that would result in the removal of one or more residential units. This Code Section establishes a checklist of criteria that the Planning Commission shall consider in review of the application.

The Project will demolish an existing, vacant dwelling unit and unauthorized dwelling unit and therefore requires Conditional Use Authorization per Section 317. The additional criteria specified under Section 317(g)(5) have been incorporated as findings as a part of this Motion. See Section 7, below, "Additional Findings Pursuant to Section and 317 – Residential Demolition".

- G. **Child Care Requirements for Residential Projects.** Planning Code Section 414A requires that any residential development project that adds at least one net new residential unit or results in additional space in an existing residential unit of more than 800 gross square feet shall comply with the imposition of the Residential Child Care Impact Fee requirement.

The Project proposes an addition of one net legal unit; therefore, the Project is subject to the Residential Child Care Impact Fee and must comply with the requirements outlined in Planning Code Section 414A.

7. **Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use Authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The use and size of the proposed Project is compatible with the immediate neighborhood, which is comprised of mostly two- and three-story single-family residences on the east side of Hamilton Street. The west side of Hamilton is comprised mostly of four-unit, five-story buildings where the succeeding level is setback than the lower level. While the Project proposes demolition of existing housing, the replacement building is proposed within the buildable area of the lot, and is also designed to be in keeping with the existing development pattern and the neighborhood character. The proposal results in a net gain of one additional legal unit at the project site, additional bedrooms, and improved interior layouts.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The Project is designed to be compatible with the surrounding neighborhood and specifically with both adjacent buildings, which are both two-story, single-family residences located at the front of their respective lots. The Project proposes demolishing the existing structure located in the middle of the subject property. The replacement building would retain a 69 foot-6-inch-deep rear yard, thus maintaining landscaped area in the mid-block open space.

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Planning Code permits two parking spaces for the replacement building. Two spaces are proposed, where currently one space is provided for the existing building.

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

As the proposed Project is residential in nature, unlike commercial or industrial uses, the proposed residential use is not considered to have the potential to produce noxious or offensive emissions.

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

Although designed in a contemporary aesthetic, the facade treatment and materials of the replacement buildings have been appropriately selected to be harmonious with the existing surrounding neighborhood. Additionally, the east side of Hamilton Street has a handful of street trees. This, combined with the proposed landscaping, provide appropriate landscaping and green elements for the street.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

The proposed Project is consistent with the stated purpose of the RH-1 Zoning District. Per Planning Code Section 209.1, the RH-1 Zoning District is described as:

These Districts are characterized by lots of greater width and area than in other parts of the City, and by single-family houses with side yards. The structures are relatively large, but rarely

exceed 35 feet in height. Ground level open space and landscaping at the front and rear are usually abundant. Much of the development has been in sizable tracts with similarities of building style and narrow streets following the contours of hills. In some cases, private covenants have controlled the nature of development and helped to maintain the street areas.

8. **Additional Findings pursuant to Section 317** establishes criteria for the Planning Commission to consider when reviewing applications to demolish residential buildings and to merge dwelling units.

A. **Residential Demolition Criteria.** On balance, the Project complies with said criteria in that:

- i. Whether the property is free of a history of serious, continuing code violations;

A review of the Department of Building Inspection and the Planning Department databases showed enforcement cases related to unpermitted work. These enforcement cases have since been abated.

- ii. Whether the housing has been maintained in a decent, safe, and sanitary condition;

The structure appeared to have been in decent condition, with no major deficiencies documented.

- iii. Whether the property is an “historic resource” under CEQA;

The Planning Department reviewed the Supplemental Information Form and Historic Resource Evaluation submitted by the Project Sponsor and provided a historic resource determination in a Preservation Team Review (PTR) Form. The historic resource determination concluded that the subject property is not eligible for listing in the California Register of Historical Resources (CRHR) individually or as a contributor to a historic district. Therefore, the existing structure is not a historic resource under CEQA.

- iv. Whether the removal of the resource will have a substantial adverse impact under CEQA;

The Planning Department determined that the existing structure is not a historic resource. Therefore, the removal of the structure would not result in a significant adverse impact on historic resources under CEQA.

- v. Whether the Project converts rental housing to other forms of tenure or occupancy;

The Project does not currently convert rental housing to other forms of tenure or occupancy. The proposal maintains one owner-occupied unit and adds one legal, rent-controlled rental unit. The owner does have the opportunity in the future to apply for a condominium conversion for Public Works and Planning to review, separate from the current application.

- vi. Whether the Project removes rental units subject to the Rent Stabilization and Arbitration Ordinance;

The building was constructed circa 1908 as a single-family residence. It is the Planning Department's position to assume that every unit is subject to the Residential Rent Stabilization and Arbitration Ordinance unless we receive a finding from an appropriate agency or body to the contrary. Although Planning Staff does not have the authority to make a determination on the rent control status of a property, it is to be assumed that the units to be demolished are subject to the Residential Rent Stabilization and Arbitration Ordinance.

- vii. Whether the Project conserves existing housing to preserve cultural and economic neighborhood diversity;

Although the Project proposes demolition of the existing single-family home and unauthorized dwelling unit, the Project results in one net new legal residential unit. The replacement structure includes a three-bedroom unit on the upper floors and a two-bedroom unit on the ground floor.

- viii. Whether the Project conserves neighborhood character to preserve neighborhood cultural and economic diversity;

The replacement building compliments the neighborhood character with appropriate mass, scale, design, and materials. Additionally, the project improves cultural and economic diversity by appropriately increasing the number of bedrooms, which provide family-sized housing. The Project would yield a net gain of one legal residential unit and two bedrooms (five total) to the City's housing stock.

- ix. Whether the Project protects the relative affordability of existing housing;

The Project does not protect the relative affordability of existing housing, as the Project proposes demolition of the existing building and construction of a replacement building.

- x. Whether the Project increases the number of permanently affordable units as governed by Section 415;

The Project is not subject to the provisions of Planning Code Section 415, as the Project proposes less than ten units.

- xi. Whether the Project locates in-fill housing on appropriate sites in established neighborhoods;

The Project has been designed to be in keeping with the scale and development pattern of the established neighborhood character. The proposal proposes a new construction building located entirely within the buildable area of the development lot.

- xii. Whether the Project increases the number of family-sized units on-site;

The Project increases the number of family-sized homes.

- xiii. Whether the Project creates new supportive housing;

The Project does not create supportive housing.

- xiv. Whether the Project is of superb architectural and urban design, meeting all relevant design guidelines, to enhance existing neighborhood character;

The overall scale, design, and materials of the proposed building is consistent with the block face of Hamilton Street and compliments the neighborhood character with a contemporary design. The Project involves demolishing the existing structure and replacing it with a new construction building within the buildable area of the project site.

- xv. Whether the Project increases the number of on-site dwelling units;

The Project would result in one net new legal residential unit on the project site.

- xvi. Whether the Project increases the number of on-site bedrooms;

The Project proposes five bedrooms: two additional bedrooms than the existing building.

- xvii. Whether or not the replacement project would maximize density on the subject lot; and;

The Project proposes to maximize and exceed the density on the subject lot as the proposal includes two units on a lot in the RH-1 Zoning District. The second unit is proposed as an Accessory Dwelling Unit, which may exceed the permitted density.

- xviii. If replacing a building not subject to the Residential Rent Stabilization and Arbitration Ordinance, whether the new project replaces all of the existing units with new Dwelling Units of a similar size and with the same number of bedrooms.

The Project proposes replacing a unit the Department assumes is subject to the Residential Rent Stabilization and Arbitration Ordinance. The replacement unit will be larger than the existing unit adding an additional 190 feet.

B. Removal of Unauthorized Dwelling Unit Criteria. On balance, the Project complies with said criteria in that:

- i. Whether the Unauthorized Unit or Units are eligible for legalization under Section 207.3 of this Code;

The Unauthorized Unit is eligible for legalization under this Planning Code Section. The Planning Department reviewed Rent Board records and did not find any eviction records that would preclude the Project from legalizing the existing Unauthorized Unit.

- ii. Whether the costs to legalize the Unauthorized Unit or Units under the Planning, Building, and other applicable Codes is reasonable based on how such cost compares to the average cost of legalization per unit derived from the cost of projects on the Planning Department's Master List of Additional Dwelling Units Approved required by Section 207.3(k) of this Code;

Based on the existing conditions and building deficiencies required to bring the Unauthorized Unit into compliance with the Building Code, the cost to legalize would cost approximately \$135,000. This figure is more than two times as much as the average cost to legalize Unauthorized Units, which is approximately \$65,000.

- iii. Whether it is financially feasible to legalize the Unauthorized Unit or Units. Such determination will be based on the costs to legalize the Unauthorized Unit(s) under the Planning, Building, and other applicable Codes in comparison to the added value that legalizing said Units would provide to the subject property. The gain in the value of the subject property shall be based on the current value of the property with the Unauthorized Unit(s) compared to the value of the property if the Unauthorized Unit(s) is/are legalized. The calculation of the gain in value shall be conducted and approved by a California licensed property appraiser. Legalization would be deemed financially feasible if gain in the value of the subject property is equal to or greater than the cost to legalize the Unauthorized Unit;

After consultation with the Department of Building Inspection, the Project Sponsor solicited a bid from a licensed contractor to legalize the Unauthorized Unit. In their subsequent review, the contractor revised the estimated the construction costs, including soft costs such as design professional fees, to be approximately \$145,000. Additionally, the Project Sponsor hired John Tam Appraisal Services (JTAS) to determine the property values both with the Unauthorized Unit and if it were to be legalized. JTAS opines that legalization of the Unauthorized Unit would decrease the property value by \$135,000. (This figure is based on sale comparisons of buildings with two legal units and a single-family home with an Unauthorized Unit.) The decrease reflects the current trend of the market for single-family homes in the Portola neighborhood. Additionally, legalizing

the Unauthorized Unit in its current form will result in two smaller units (approximately 480 square feet in size each) that is not as desirable in this neighborhood.

- iv. If no City funds are available to assist the property owner with the cost of legalization, whether the cost would constitute a financial hardship.

Currently there are no City funds available to assist the property owner with the cost of legalization.

- 9. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 2:

RETAIN EXISTING HOUSING UNITS, AND PROMOTE SAFETY AND MAINTENANCE STANDARDS, WITHOUT JEOPARDIZING AFFORDABILITY.

Policy 2.4

Promote improvements and continued maintenance to existing units to ensure long term habitation and safety.

OBJECTIVE 3:

PROTECT THE AFFORDABILITY OF THE EXISTING HOUSING STOCK, ESPECIALLY RENTAL UNITS.

Policy 3.4

Preserve "naturally affordable" housing types, such as smaller and older ownership units.

OBJECTIVE 4:

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFESTYLES.

Policy 4.1

Develop new housing, and encourage the remodeling of existing housing, for families with children.

Policy 4.4

Encourage sufficient and suitable rental housing opportunities, emphasizing permanently affordable rental units wherever possible.

Policy 4.5

Ensure that new permanently affordable housing is located in all of the City's neighborhoods, and encourage integrated neighborhoods, with a diversity of unit types provided at a range of income levels.

OBJECTIVE 11:

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

Policy 11.5:

Ensure densities in established residential areas promote compatibility with prevailing neighborhood character.

URBAN DESIGN ELEMENT

Objectives and Policies

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

While the proposal includes demolition of an existing single-family home and an unauthorized dwelling unit, the proposal will result in one net new legal unit. The new construction building will increase the number of bedrooms on the project site. Additionally, the massing of the replacement building's primary front facade has been designed to be compatible with the prevailing street wall pattern as it reduces the 30-foot front setback and aligns more closely with the adjacent buildings. Although interpreted in a contemporary architectural style, the proposed building proportions and exterior materials have been selected to be compatible with the adjacent buildings and the immediate neighborhood character.

10. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The project site does not possess any neighborhood-serving retail uses. The Project provides a net addition of one legal unit, which will enhance the nearby retail uses by providing new residents, who may patron and/or own these businesses.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The Project as approved would result in a well-designed residence that restores and preserves neighborhood character and diversity by appropriately fitting into the surrounding neighborhood context.

- C. That the City's supply of affordable housing be preserved and enhanced,

The Project proposes demolition of an existing single-family residence and a one-bedroom Unauthorized Unit, which is presumed to be subject to the Residential Rent Stabilization and Arbitration Ordinance. The replacement units will increase the number of bedrooms on site from two to five. Thus, the affordability of the existing housing on the project site are not preserved. However, the replacement building will provide a well-designed dwelling unit that contains additional bedrooms.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project would not have a significant adverse effect on automobile traffic congestion or create parking problems in the neighborhood. The Project would enhance neighborhood parking by providing two off-street parking spaces, where only one currently exists. Additionally, the project is within walking distance to the 9-Bayshore Boulevard, 44-Bayview District, and 54-Daly City BART Muni bus lines.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project is a residential project in a RH-1 Zoning District; therefore the Project does not include commercial office development and would not affect industrial or service sector uses or related employment opportunities.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will be designed and will be constructed to conform to the structural and seismic safety requirements of the Building Code. This proposal will not impact the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

Currently, the Project Site does not contain any City Landmarks or historic buildings.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project will have no negative impact on existing parks and open spaces. The Project does not exceed the 40-foot height limit and is thus not subject to the requirements of Planning Code Section 295 – Height Restrictions on Structures Shadowing Property Under the Jurisdiction of the Recreation and Park Commission. The height of the proposed structure is compatible with the established neighborhood development.

11. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
12. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Authorization Application No. 2015-006825CUA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated May 13, 2019, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on November 7, 2019.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: November 7, 2019

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to allow a proposal that is tantamount to demolition located at 367 Hamilton Street, Block, and Lot] pursuant to Planning Code Sections 303 and 317 within the RH-1 (Residential – House, One Family) District and a 40-X Height and Bulk District; in general conformance with plans, dated May 13, 2019, and stamped “EXHIBIT B” included in the docket for Record No. 2015-006825CUA and subject to conditions of approval reviewed and approved by the Commission on November 7, 2019 under Motion No XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **November 7, 2019** under Motion No **XXXXXX**.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. “Project Sponsor” shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

- 1. Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
- 2. Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
- 3. Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
- 4. Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
- 5. Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

DESIGN – COMPLIANCE AT PLAN STAGE

6. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org
7. **Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org
8. **Landscaping.** Pursuant to Planning Code Section 132, the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that 50% of the front setback areas shall be surfaced in permeable materials and further, that 20% of the front setback areas shall be landscaped with approved plant species. The size and specie of plant materials and the nature of the permeable surface shall be as approved by the Department of Public Works.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

PARKING AND TRAFFIC

9. **Bicycle Parking.** The Project shall provide no fewer than **two (2)** Class 1 bicycle parking spaces as required by Planning Code Sections 155.1 and 155.2.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
10. **Parking Maximum.** Pursuant to Planning Code Section 151 or 151.1, the Project shall provide no more than **two (2)** off-street parking spaces.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

PROVISIONS

11. **Residential Child Care Impact Fee.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

MONITORING - AFTER ENTITLEMENT

12. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

13. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

14. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

EXHIBIT B

ABBREVIATIONS	
ABV.	ABOVE
A.D.	AREA DRAIN
ADJ.	ADJUSTABLE
A.F.F.	ABOVE FINISH FLOOR
BD.	BOARD
BEL.	BELOW
BLK.	BLOCK
BLKG.	BLOCKING
BM.	BEAM
B.O.	BY OTHERS
BOT.	BOTTOM
BSMT.	BASEMENT
CAB.	CABINET
C.B.	CATCH BASIN
CEM.	CEMENT
C.I.	CAST IRON
CLG.	CEILING
CLO.	CLOSED
CLR.	CLEAR
CONC.	CONCRETE
CONT.	CONTINUOUS
CNTR.	COUNTER
CTR.	CENTER
D.	DRYER
DBL.	DOUBLE
DET.	DETAIL
DIA.	DIAMETER
DIM.	DIMENSION
DISP.	DISPOSAL
D.W.	DISH WASHER
DR.	DOOR
D.S.	DOWN SPOUT
DWG.	DRAWING
DRWR.	DRAWER
'E' OR (E)	EXISTING
EA.	EACH
EL.	ELEVATION
ELEC.	ELECTRICAL
EQ.	EQUAL
EXP.	EXPANSION
F.	FURNACE
F.D.	FLOOR DRAIN
FDN.	FOUNDATION
FIN.	FINISH
F.F.E.	FINISH FLOOR ELEVATION
F.F.C.	FINISH CEILING ELEVATION
FLR.	FLOOR
F.O.C.	FACE OF CONCRETE
FT.	FOOT OR FEET
FTG.	FOOTING
FURR.	FURRING
G.B.	GRAB BAR
GL.	GLASS
GRND.	GROUND
GRD.	GRADE
GYP.	GYPSUM
H.B.	HOSE BIB
HDWD.	HARDWOOD
HORIZ.	HORIZONTAL
HGT.	HEIGHT
I.D.	INSIDE DIAMETER
INSUL.	INSULATION
INT.	INTERIOR
JT.	JOINT
KIT.	KITCHEN
LAM.	LAMINATE
LAV.	LAVATORY
LT.	LIGHT
MAX.	MAXIMUM
M.C.	MEDICINE CABINET
MECH.	MECHANICAL
MIN.	MINIMUM
MIR.	MIRROR
MISC.	MISCELLANEOUS
MTL.	METAL
MDF	MEDIUM DENSITY FIBERBOARD
'N' OR (N)	NEW
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
O.D.	OVERFLOW DRAIN
OPNG.	OPENING
OPP.	OPPOSITE
PERF.	PERFORATED
P.G.	PAINT GRADE
PL.	PLATE
PLYWD.	PLYWOOD
PR.	PAIR
PT.	POINT
R.	RADIUS
REF.	REFRIGERATOR
REINF.	REINFORCED
R.D.	ROOF DRAIN
REQ'D.	REQUIRED
RESIL.	RESILIENT
RET.	RETAINING
RM.	ROOM
R.O.	ROUGH OPENING
S.	SINK
SCHED.	SCHEDULE
SHWR.	SHOWER
SHT.	SHEET
SHTH.	SHEATHING
SIM.	SIMILAR
S.D.	SMOKE DETECTOR
SPEC.	SPECIFICATION
SQ.	SQUARE
S.L.D	SEE LANDSCAPE DRAWINGS
S.S.	STAINLESS STEEL
S.S.D.	SEE STRUCTURAL DRAWINGS
STD.	STANDARD
STL.	STEEL
STOR.	STORAGE
SYM.	SYMMETRICAL
T.	TREAD
TBD.	TO BE DESIGNED
TEL.	TELEPHONE
T&G	TONGUE AND GROOVE
TYP.	TYPICAL
T.O.	TOP OF
T.O.S.	TOP OF SLAB
U.O.N.	UNLESS OTHERWISE NOTED
VERT.	VERTICAL
VEST.	VESTIBULE
V.I.F.	VERIFY IN FIELD
W.	WASHER
W/	WITH
W.H.	WATER HEATER
W.C.	WATER CLOSET
WD.	WOOD
W.I.	WROUGHT IRON
W.I.C.	WALK-IN CLOSET
W/O	WITHOUT
W.O.	WHERE OCCURS
WP.	WATERPROOF
WT.	WEIGHT
<	ANGLE
@	AT
Ø	DIAMETER
#	POUND OF NUMBER

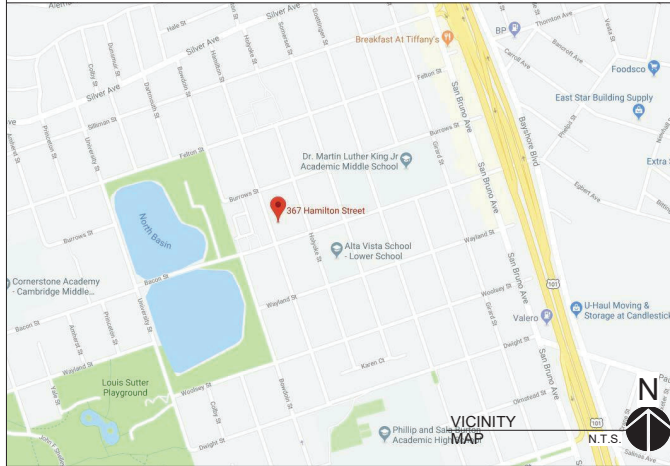
PROJECT DATA				
OWNER:	MEI HUA LIANG			
ADDRESS:	367 HAMILTON ST., SAN FRANCISCO, CA 94134			
BLOCK/LOT:	5987/022			
ZONING DISTRICT:	RH-1			
OCCUPANCY:	R-3			
CONSTRUCTION TYPE:	TYPE V NON-RATED			
SPRINKLERED:	NO			
LOT AREA:	3,000 SQ. FT.			
SCOPE OF WORK:	TWO STORY BUILDING VERTICAL & HORIZONTAL ADDITION			
	EXISTING	ALLOWABLE	PROPOSED	TOTAL
BUILDING HEIGHT:	14'-1.5"	40'-0"	16'-5"	30'-6.5"
NUMBER OF UNITS:	2	2	0	2
NUMBER OF STORIES:	2	3	1	3
OFF STREET PARKING:	0	UNLIMITED	1	1
BICYCLE PARKING:	0	UNLIMITED	2	2
F.A.R.:	0	UNLIMITED	2,736 S.F.	2,736 S.F.
FRONT SET BACK:	30'-7"	0	-30'-7"	0
REAR SET BACK:	69'-6"	30'-0"	0	69'-6"
	EXISTING	PROPOSED	TOTAL	
FLOOR AREA:				
1ST FLOOR	475 S.F.	680 S.F.	1,155 S.F.	
2ND FLOOR	475 S.F.	697 S.F.	1,172 S.F.	
3RD FLOOR	0 S.F.	788 S.F.	788 S.F.	
TOTALS	950 S.F.	2,165 S.F.	3,115 S.F.	
GOVERNING CODES				
2013 CALIFORNIA BUILDING CODE (W/ SAN FRANCISCO AMENDMENT)				
2013 CALIFORNIA MECHANICAL CODE				
2013 CALIFORNIA PLUMBING CODE				
2013 CALIFORNIA ELECTRICAL CODE				
2013 CALIFORNIA FIRE CODE				
2013 CALIFORNIA RESIDENTIAL CODE				
2013 CALIFORNIA GREEN BUILDING STANDARDS CODE				
2013 CALIFORNIA ENERGY CODE				



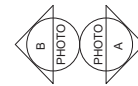
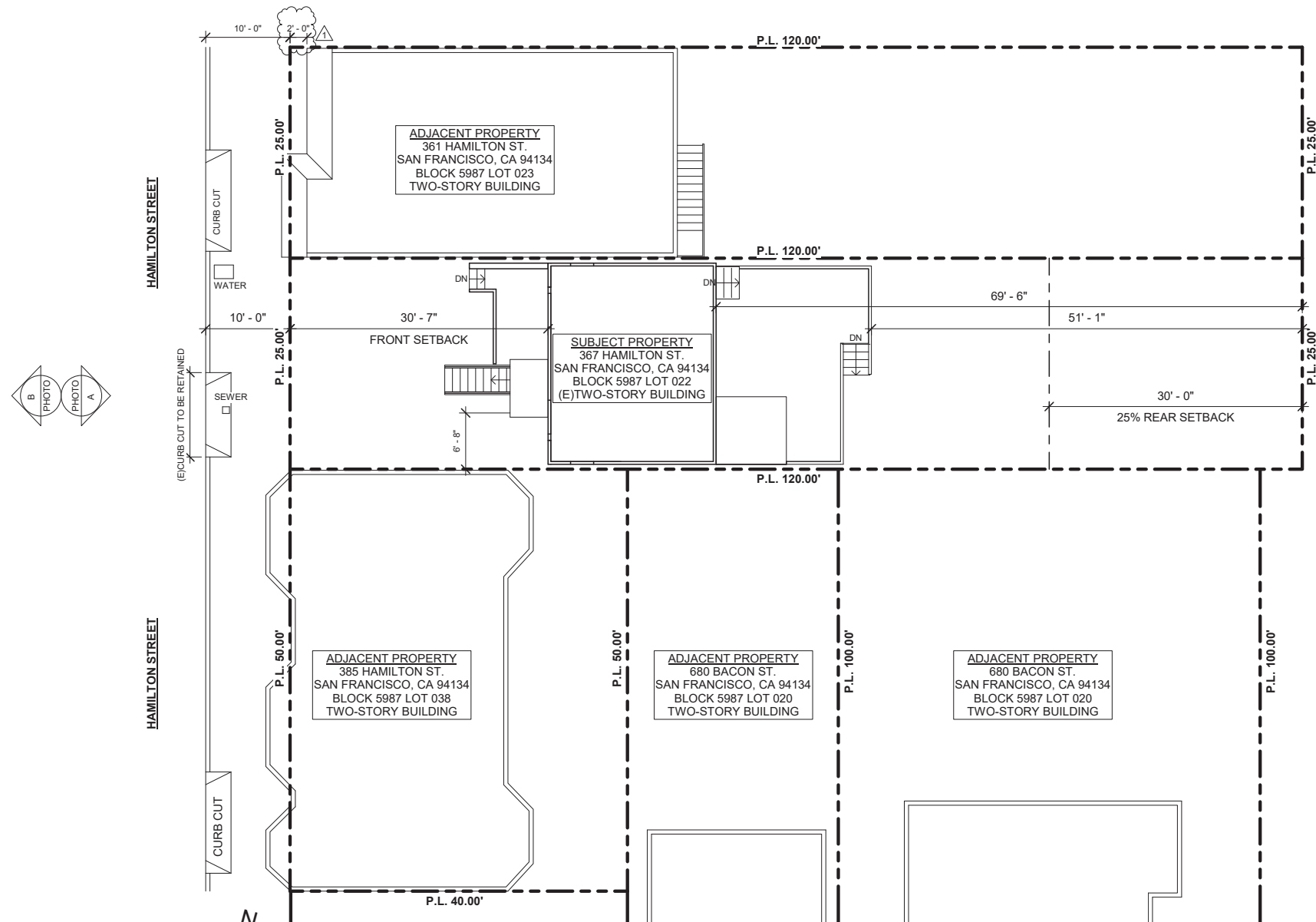
GENERAL NOTES	
1.	ALL CONSTRUCTION TO CONFORM TO 2016 CALIFORNIA BUILDING, ELECTRICAL, MECHANICAL, AND PLUMBING CODES AND ALL OTHER STATE, COUNTY, AND CITY ORDINANCE AND REGULATIONS PERTAINING HERETO.
2.	CONTRACTOR SHALL EXAMINE AND VERIFY EXISTING CONDITIONS OF THE JOB SITE. ANY DISCREPANCY BETWEEN DRAWINGS AND EXISTING CONDITIONS SHALL BE RECORDED AND REPORTED WITH A SUBMITTAL COPY TO THE ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF WORK. ALL EXISTING CONDITION DIMENSIONS PROVIDED BY OWNER AND ARE NOT VERIFIED BY SURVEYOR OR ARCHITECT.
3.	DO NOT SCALE THE DRAWINGS.
4.	PERFORM EXCAVATION AND FOUNDATION WORK IN CONFORMANCE WITH THE REQUIREMENTS OF THE SOILS REPORTS.
5.	ALL DIMENSIONS ARE TO THE FACE OF STUD, FACE OF CONCRETE, OR FACE OR FRAMING UNLESS NOTES OTHERWISE.
6.	COMPLY WITH CERTIFICATION REQUIREMENTS OF THE CALIFORNIA ENERGY COMMISSION FOR MECHANICAL EQUIPMENT, PLUMBING TRIM AND FITTINGS, WATER HEATERS, FURNACES, AND APPLIANCES.
7.	INSTALL ALL MATERIALS, EQUIPMENT, FIXTURES, AND APPLIANCES IN CONFORMANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS OF THE MANUFACTURER AND THE REQUIREMENTS OF ALL APPLICABLE CODES.
8.	ALL SITE-CONSTRUCTED DOORS, SKYLIGHTS, AND WINDOWS, INCLUDING BUT NOT LIMITED TO FIELD MANUFACTURED DOORS, SKYLIGHTS, AND WINDOWS SHALL BE CAULKED BETWEEN THE DOOR, SKYLIGHTS, OR WINDOW AND THE BUILDING, AND SHALL BE WEATHER-STRIPPED.
9.	ALL WOOD, INCLUDING POSTS WITHIN 8" OF GROUND TO BE PRESSURE TREATED, FOR SILL PLATES, SLEEPERS OR BLOCKING IN CONTACT WITH CONCRETE OR MASONRY FOUNDATIONS PER C.B.C. 2306.4
10.	VERIFY EXACT LOCATION OF PLUMBING AND PIPING WITH THE PLUMBING SUBCONTRACTOR. BRING ANY INCONSISTENCIES TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
11.	VERIFY EXACT LOCATION OF MECHANICAL EQUIPMENT, DUCTS, GRILLES, REGISTERS, FLUES, AND VENTS WITH THE MECHANICAL SUBCONTRACTOR.
12.	MECHANICAL, HVAC WORK TO BE DESIGN-BUILD AND UNDER SEPARATE PERMIT.
13.	ELECTRICAL WORK TO BE DESIGN-BUILD AND UNDER SEPARATE PERMIT.
14.	PLUMBING WORK TO BE DESIGN-BUILD AND UNDER SEPARATE PERMIT.
15.	THE CONTRACTOR SHALL PROVIDE THE BUILDING OWNER WITH THE LIST OF HEATING, COOLING, AND LIGHTING SYSTEMS FEATURES, MATERIALS, COMPONENTS AND DEVICES IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM.
16.	AFTER INSTALLING THE WALL AND CEILING INSULATION THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATED SIGNED BY THE INSTALLER STATING THE INSTALLATION IS CONSISTENT WITH THE PLANS. THE CERTIFICATE SHALL ALSO STATE THE MANUFACTURER'S NAME, MATERIAL IDENTIFICATION , AND INSTALLED R-VALUE.
17.	THE CENTER OF RECEPTACLES/OUTLETS SHALL BE MOUNTED NOT LESS THAN 15" A.F.F. TYPICAL.
18.	LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS, AND OTHER ENVIRONMENTAL CONTROLS SHALL NOT BE LESS THAN 15" OR MORE THAN 48" A.F.F.
19.	STRUCTURAL OBSERVATION SHALL BE REQUIRED BY THE [X] ARCHITECT OR [X] ENGINEER FOR STRUCTURAL CONFORMANCE TO THE APPROVED PLANS.
20.	CONTRACTOR SHALL BE RESPONSIBLE FOR FILING/RECEIVING OF ALL REQUIRED PERMITS.
21.	CONTRACTOR SHALL VERIFY THE SITE CONDITION & DIMENSION BEFORE ORDER ANY BUILDING MATERIAL.

SHEET INDEX	
A0.0	PROJECT DATA, DRAWING INDEX, DRAWING ABBREVIATIONS, SYMBOLS AND GENERAL NOTES
ARCHITECTURAL	
A1.0	(E) SITE PLANS & PHOTOGRAPHS
A1.1	(N) SITE PLAN
A2.0	FLOOR PLANS
A2.1	FLOOR PLANS
A2.2	FLOOR PLANS
A2.3	ROOF PLANS
A4.0	ELEVATIONS
A4.1	ELEVATIONS
A4.2	ELEVATIONS
A4.3	ELEVATIONS
A4.4	RENDERINGS
A5.0	SECTIONS
A5.1	SECTIONS
A6.0	WINDOW & DOOR SCHEDULE
A7.0	DEMOLITION CALCULATION

CONTRACTOR SHALL VERIFY THE SITE CONDITION & DIMENSION BEFORE ORDER ANY MATERIALS.	
HVAC SYSTEMS, SUCH AS VIA A STATE CERTIFIED APPRENTICESHIP PROGRAM, PUBLIC UTILITY TRAINING PROGRAM (WITH CERTIFICATION AS INSTALLER QUALIFICATION), OR OTHER PROGRAM ACCEPTABLE TO THE DEPARTMENT OF BUILDING INSPECTION. (CALGREEN 702.1)	
COVERING DUCT OPENINGS AND PROTECTING MECHANICAL EQUIPMENT DURING CONSTRUCTION: DUCT OPENINGS AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL COVERED DURING ALL PHASES OF CONSTRUCTION WITH TAPE, PLASTIC, SHEETMETAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS ENTERING THE SYSTEM.	
BATHROOM EXHAUST FANS: MUST BE ENERGY STAR COMPLIANT, DUCTED TO TERMINATE OUTSIDE THE BUILDING, AND CONTROLLED BY HUMIDISTAT CAPABLE OF ADJUSTMENT BETWEEN RELATIVE HUMIDITY OF LESS THAN 50% TO MAXIMUM OF 80%. HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT FROM THE EXHAUST FAN.	
CARPET: ALL CARPET MUST MEET ONE OF THE FOLLOWING: (CALGREEN 4.504.3) 1. CARPET AND RUG INSTITUTE GREEN LABEL PLUS PROGRAM, 2. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD PRACTICE FOR THE TESTING OF VOCs (SPECIFICATION 01350), 3. NSF/ANSI 140 AT THE GOLD LEVEL, 4. SCIENTIFIC CERTIFICATIONS SYSTEMS SUSTAINABLE CHOICE, OR 5. CALIFORNIA COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS EQ 2.2 AND LISTED IN THE CHPS HIGH PERFORMANCE PRODUCT DATABASE AND CARPET CUSHION MUST MEET CARPET AND RUG INSTITUTE GREEN LABEL, AND INDOOR CARPET ADHESIVE & CARPET PAD ADHESIVE MUST NOT EXCEED 50 GL VOC CONTENT.	
RESILIENT FLOORING SYSTEMS: FOR 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING, INSTALL RESILIENT FLOORING COMPLYING WITH: 1. CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM, 2. COMPLIANT WITH THE VOC-EMISSION LIMITS AND TESTING REQUIREMENTS OF CALIFORNIA DEPARTMENT OF PUBLIC HEALTH 2010 STANDARD METHOD FOR THE TESTING AND EVALUATION CHAMBERS V.1.1, 3. COMPLIANT WITH THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) EQ2.2 AND LISTED IN THE CHPS HIGH PERFORMANCE PRODUCT DATABASE, OR 4. CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOLS PROGRAM TO COMPLY WITH CALIFORNIA DEPARTMENT OF PUBLIC HEALTH	
COMPOSITE WOOD PRODUCTS: HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON INTERIOR OR EXTERIOR SHALL MEET CARB AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD. SEE CALGREEN TABLE 4.504.5.	
INTERIOR PAINTS, COATINGS LOW-VOC AEROSOL PAINTS, COATING ARE COMPLY WITH CALIFORNIA GREEN BUILDING CODE.	
LOW VOC CAULKS, CONSTRUCTION ADHESIVES, AND SEALANTS ARE COMPLY WITH CALIFORNIA GREEN BUILDING CODE.	



APPLICANT:	MEI HUA LIANG 367 HAMILTON STREET SAN FRANCISCO, CA 94134 415-926-1558
SHEET TITLE:	COVER SHEET
PROJECT ADDRESS:	367 HAMILTON STREET SAN FRANCISCO, CA 94134 BLOCK:5987 LOT:022
NOTES	BY
1 03/11/19 PLAN CHECK #2	T.Y.
2 05/13/19 PLAN CHECK #3	T.Y.
SCALE	AS NOTED
JOB	150109
SHEET	A0.0



(E) SITE PLAN
1/8" = 1'-0"



APPLICANT:

MEI HUA LIANG
367 HAMILTON STREET
SAN FRANCISCO, CA 94134
415-926-1558

SHEET TITLE:

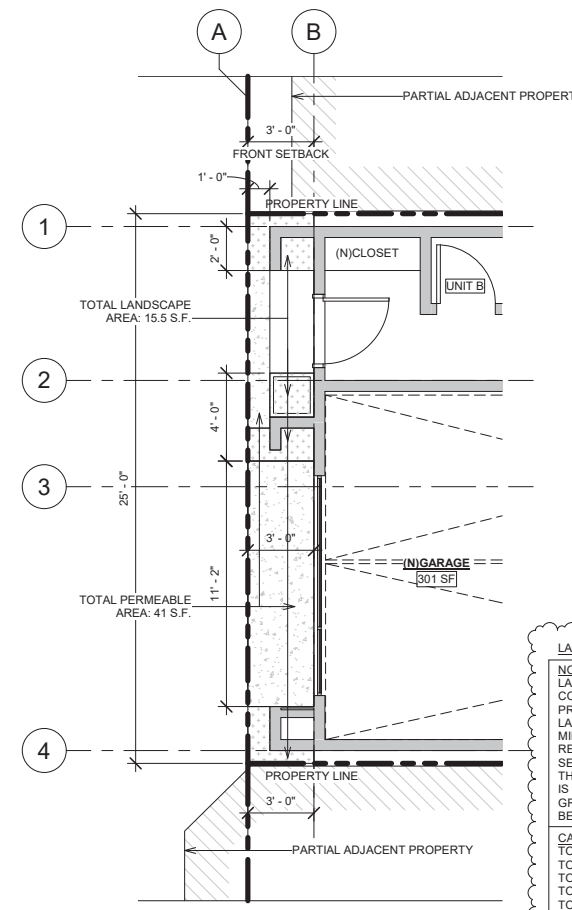
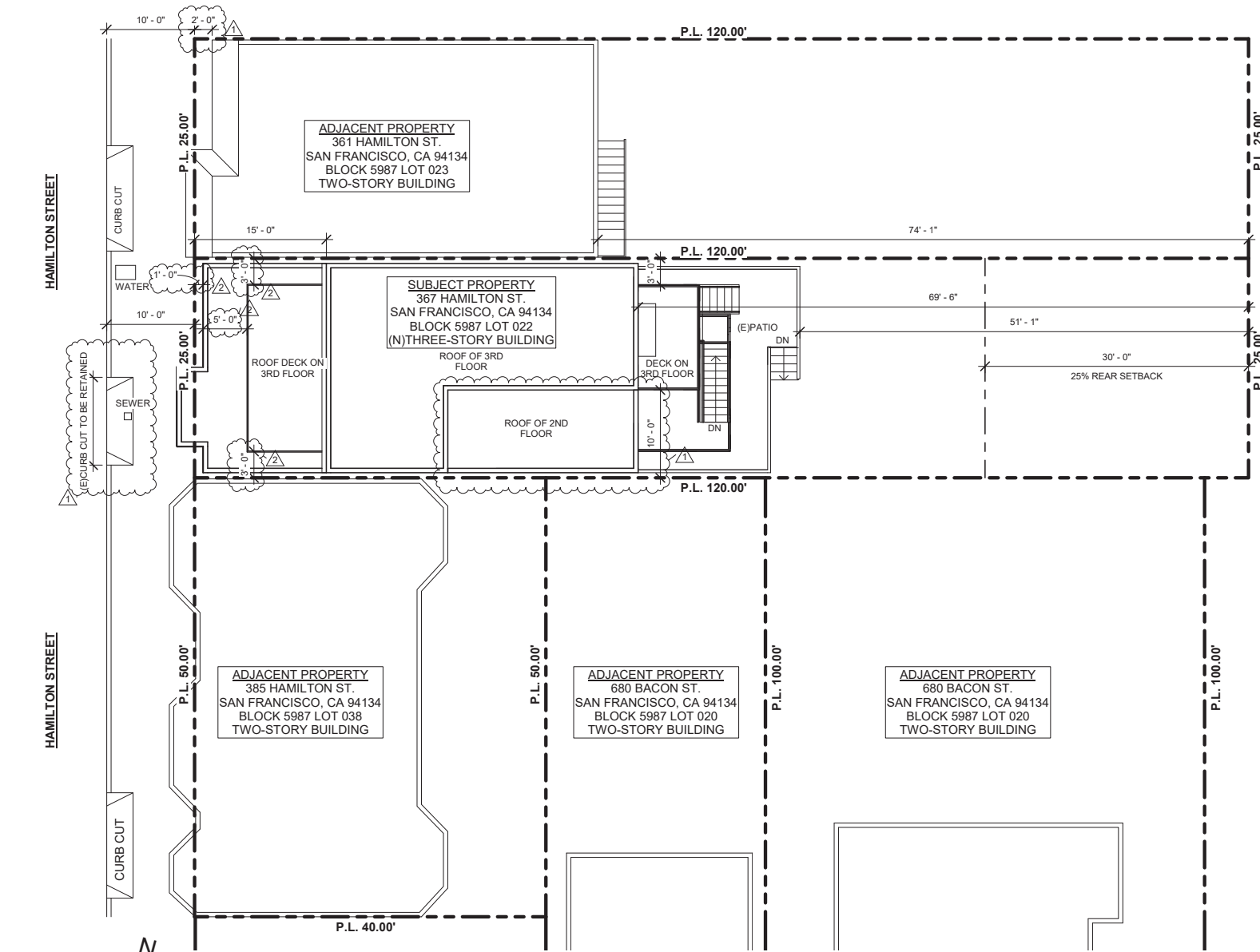
(E) SITE PLAN

PROJECT ADDRESS:

367 HAMILTON STREET
SAN FRANCISCO, CA 94134
BLOCK:5987 LOT:022

NOTES	BY
1 03/11/19 PLAN CHECK #2	T.Y.
2 05/13/19 PLAN CHECK #3	T.Y.

SCALE AS NOTED
JOB 150109
SHEET



LANDSCAPE CALCULATION

NOTE:
 LANDSCAPING:
 COMPLY WITH PLANNING CODE 132. (G)
 PROVIDE 50 PERCENT OF UNPAVED AND
 LANDSCAPE OF THE FRONT SETBACK WITH
 MINIMUM OF 20 PERCENT LANDSCAPING
 REQUIREMENT COUNTED TOWARDS THE
 SETBACK AREA
 THE SETBACK AREA FOR THE SUBJECT SITE
 IS 75 SQUARE FEET, AND THE REQUIRED
 GREEN LANDSCAPING REQUIREMENT WOULD
 BE 37.5 SQUARE FEET.

CALCULATION:
 TOTAL FRONT SETBACK AREA = 75 S.F.
 TOTAL LANDSCAPE AREA = 15.5 S.F. >20%
 TOTAL PERMEABLE AREA = 41 S.F. >50%
 TOTAL GREEN LANDSCAPE AREA = 56.5 S.F.
 TOTAL PERCENT = G.L. AREA / F.SB. AREA
 TOTAL PERCENT = 56.5 S.F. / 75 S.F.
 TOTAL PERCENT = 75.3% ≥ REQUIRED

(C) ENLARGED 1ST FLOOR PLAN
 1/4" = 1'-0"

APPLICANT:
 MEI HUA LIANG
 367 HAMILTON STREET
 SAN FRANCISCO, CA 94134
 415-926-1558

SHEET TITLE:

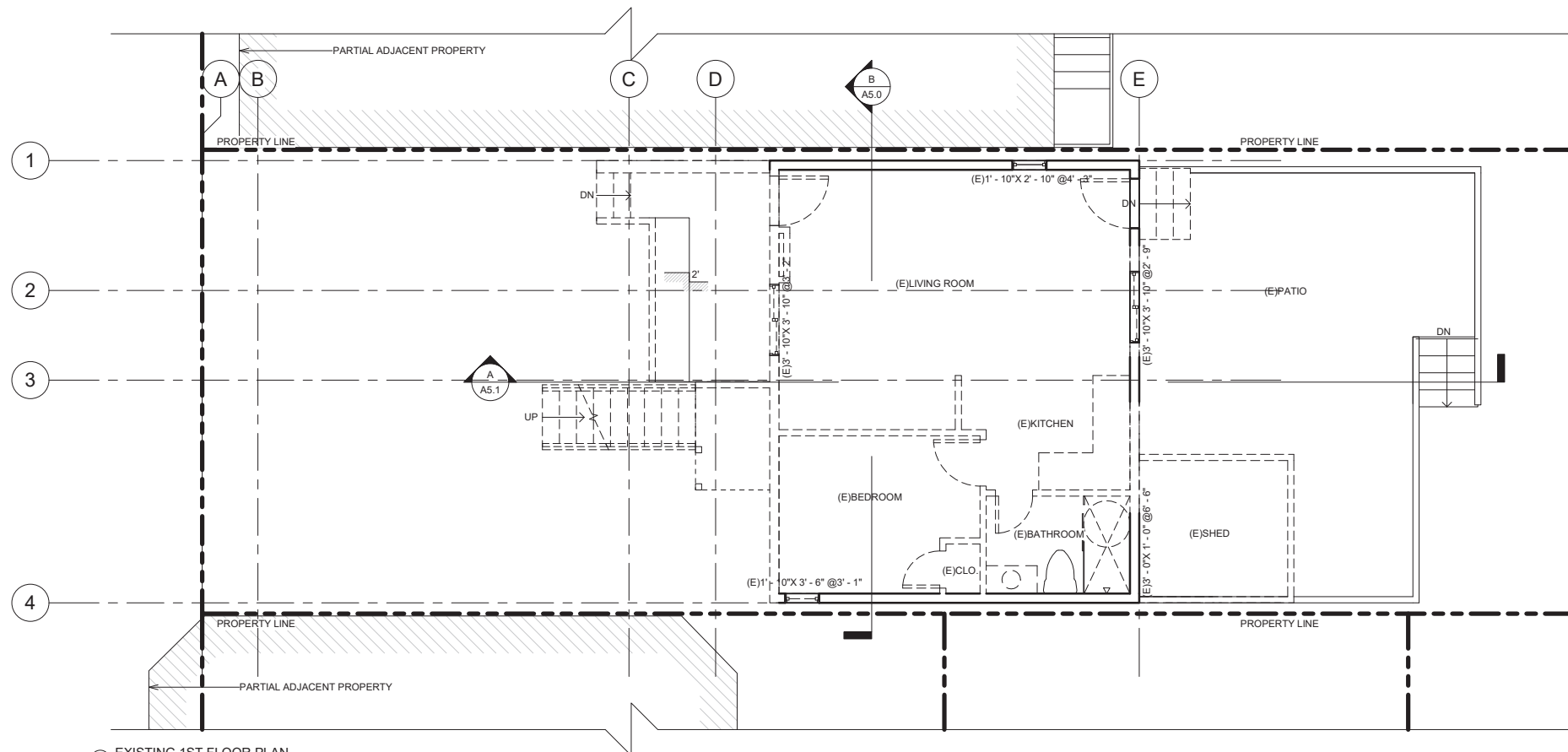
(N) SITE PLAN

PROJECT ADDRESS:
 367 HAMILTON STREET
 SAN FRANCISCO, CA 94134
 BLOCK:5987 LOT:022

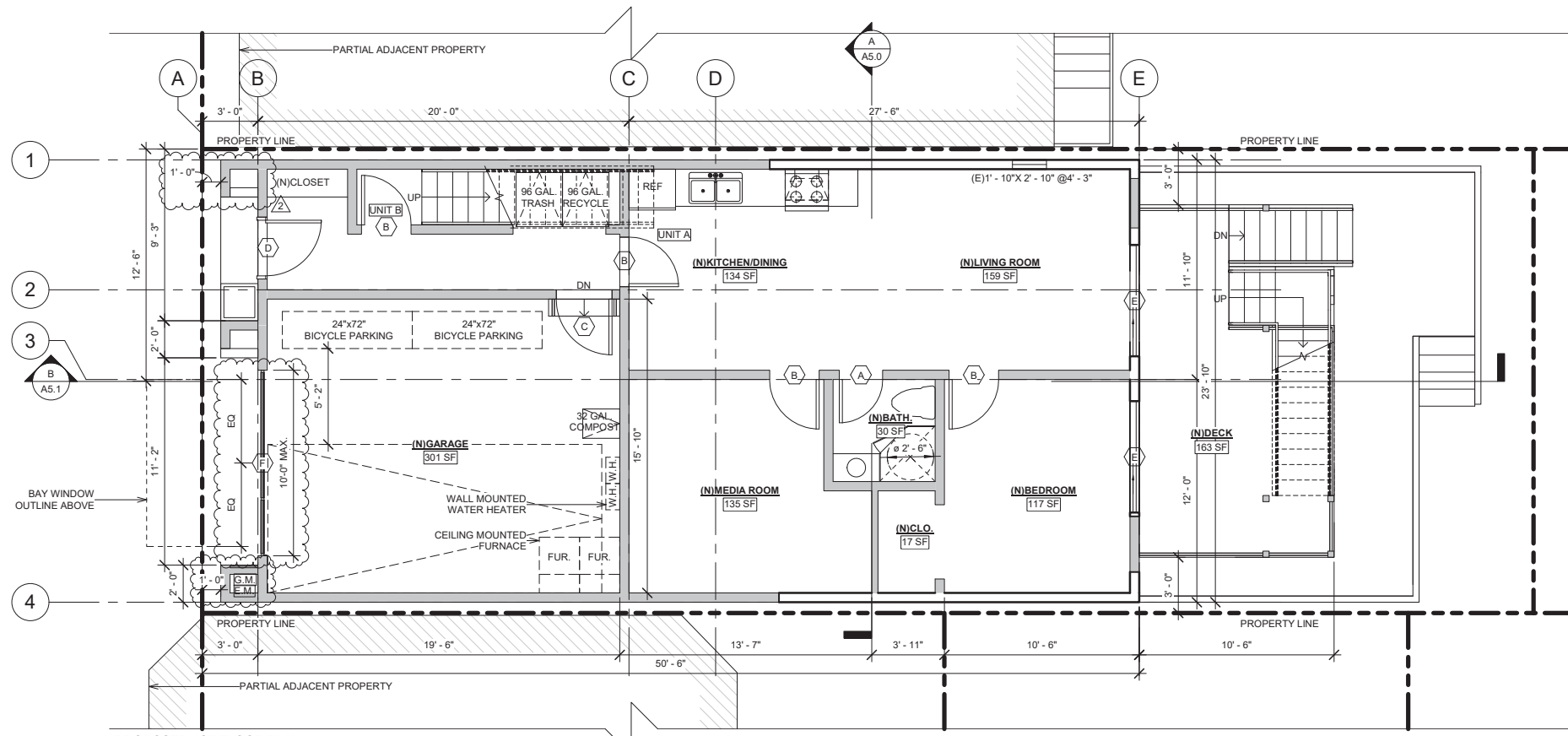
NOTES	BY
1 03/11/19 PLAN CHECK #2	T.Y.
2 05/13/19 PLAN CHECK #3	T.Y.

SCALE AS NOTED
 JOB 150109
 SHEET

A1.1



(A) EXISTING 1ST FLOOR PLAN
1/4" = 1'-0"



(B) PROPOSED 1ST FLOOR PLAN
1/4" = 1'-0"

DRAWING LEGEND

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW PARTITION WALL
	NEW CONCRETE WALL
	1 HR. RATED WALL
	WALL WITH INSULATION



APPLICANT:

MEI HUA LIANG
367 HAMILTON STREET
SAN FRANCISCO, CA 94134
415-926-1558

SHEET TITLE:

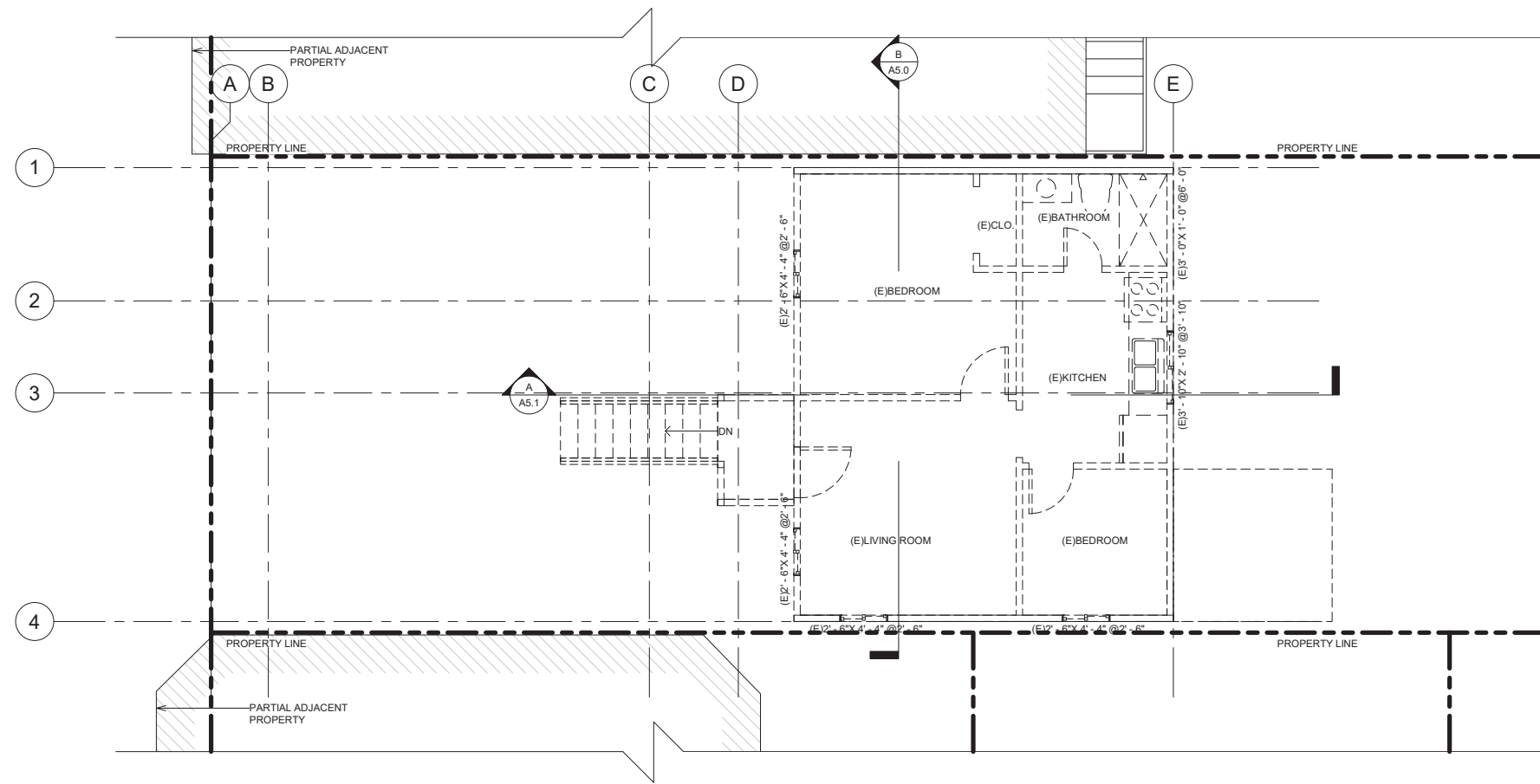
FLOOR PLANS

PROJECT ADDRESS:

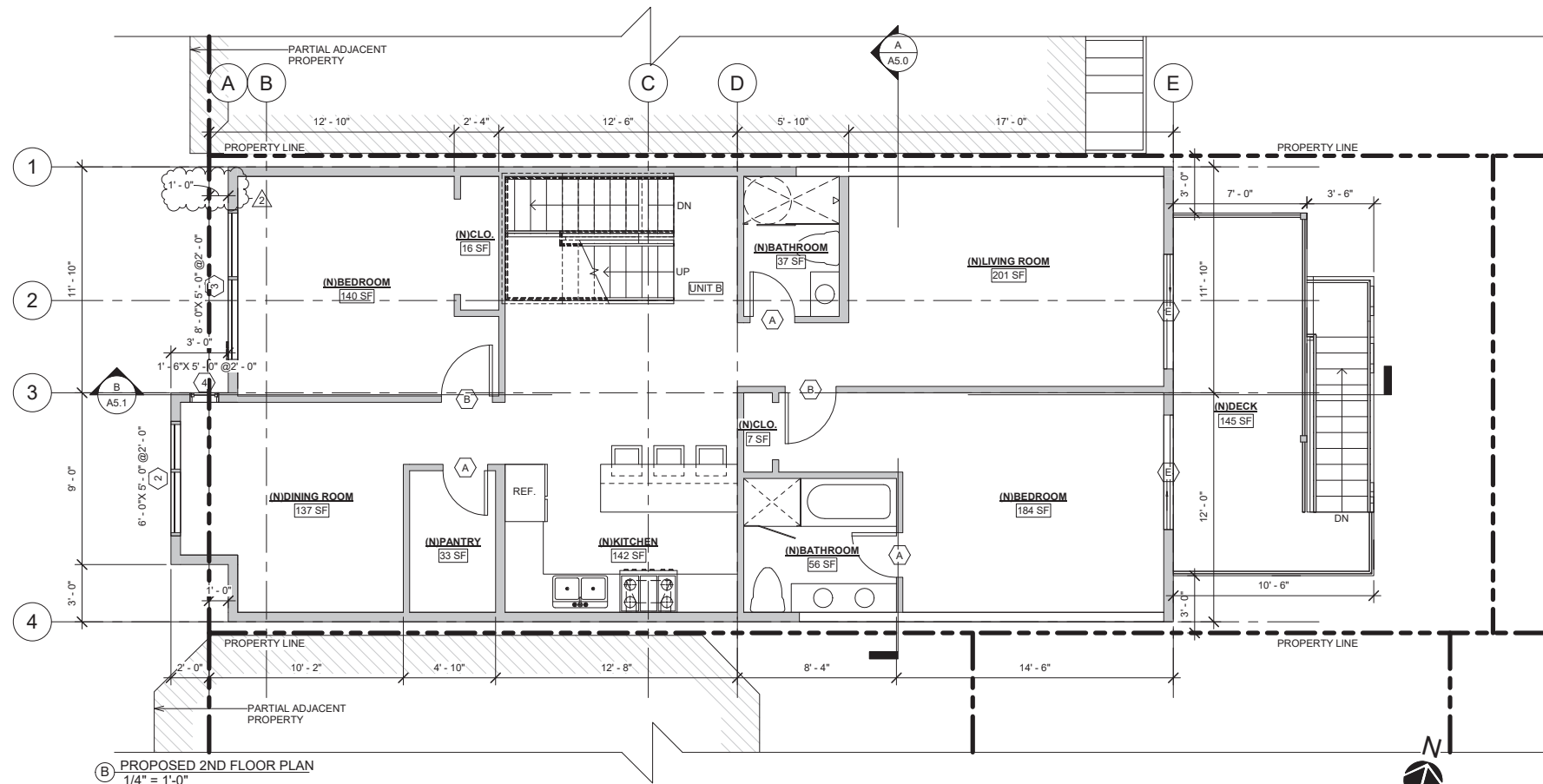
367 HAMILTON STREET
SAN FRANCISCO, CA 94134
BLOCK:5987 LOT:022

NOTES	BY
1 03/11/19 PLAN CHECK #2	T.Y.
2 05/13/19 PLAN CHECK #3	T.Y.

SCALE AS NOTED
JOB 150109
SHEET



(A) EXISTING 2ND FLOOR PLAN
1/4" = 1'-0"



(B) PROPOSED 2ND FLOOR PLAN
1/4" = 1'-0"

DRAWING LEGEND

[Solid line]	EXISTING WALL TO REMAIN
[Dashed line]	EXISTING WALL TO BE REMOVED
[Thin solid line]	NEW PARTITION WALL
[Thick solid line]	NEW CONCRETE WALL
[Dotted line]	1 HR. RATED WALL
[Hatched pattern]	WALL WITH INSULATION

APPLICANT:

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367 HAMILTON STREET
SAN FRANCISCO, CA 94134
415-926-1558

SHEET TITLE:

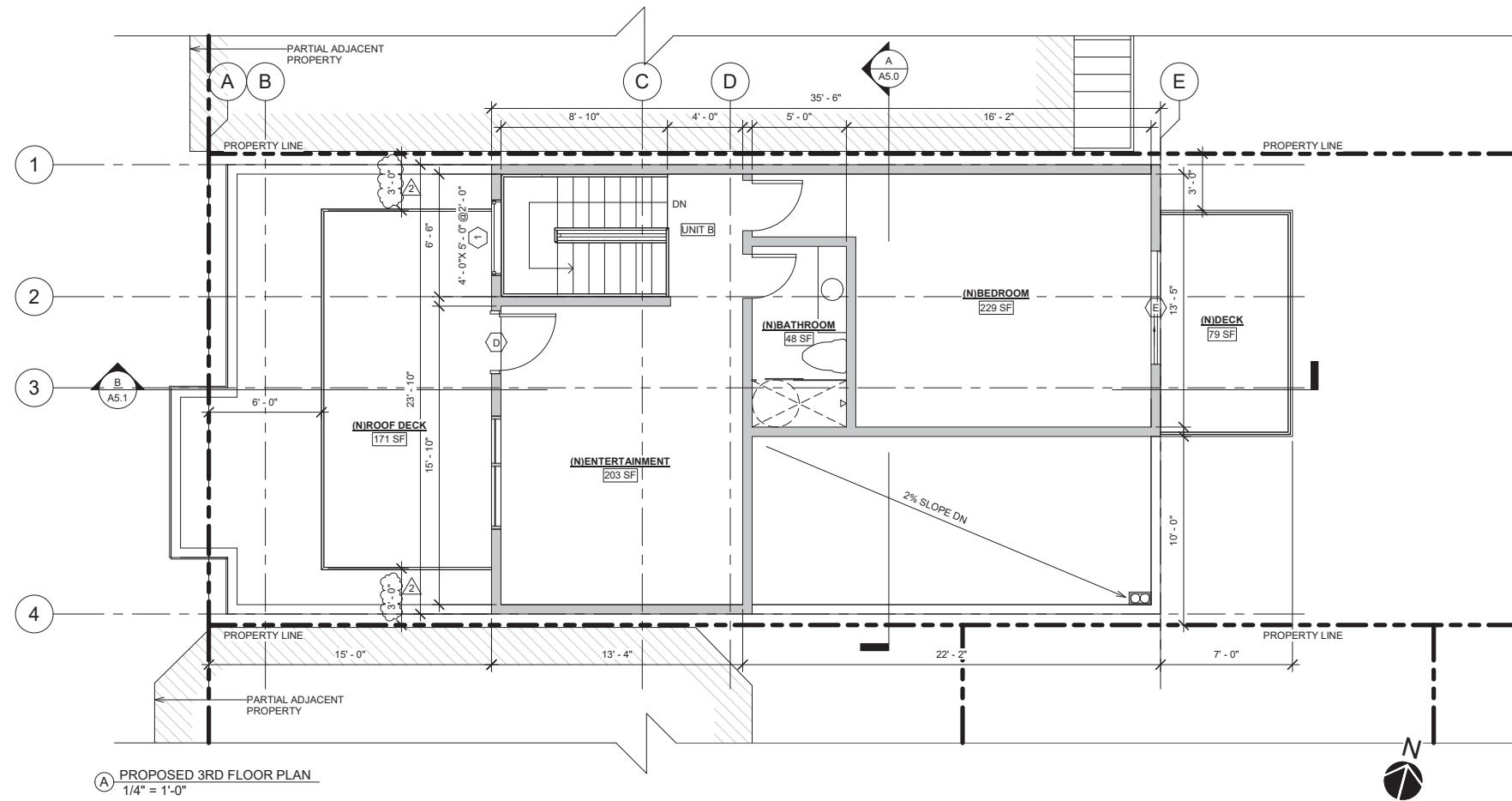
FLOOR PLANS

PROJECT ADDRESS:

367 HAMILTON STREET
SAN FRANCISCO, CA 94134
BLOCK:5987 LOT:022

NOTES	BY
1 03/11/19 PLAN CHECK #2	T.Y.
2 05/13/19 PLAN CHECK #3	T.Y.

SCALE AS NOTED
JOB 150109
SHEET



APPLICANT:
MEI HUA LIANG
367 HAMILTON STREET
SAN FRANCISCO, CA 94134
415-926-1558

SHEET TITLE:

FLOOR PLANS

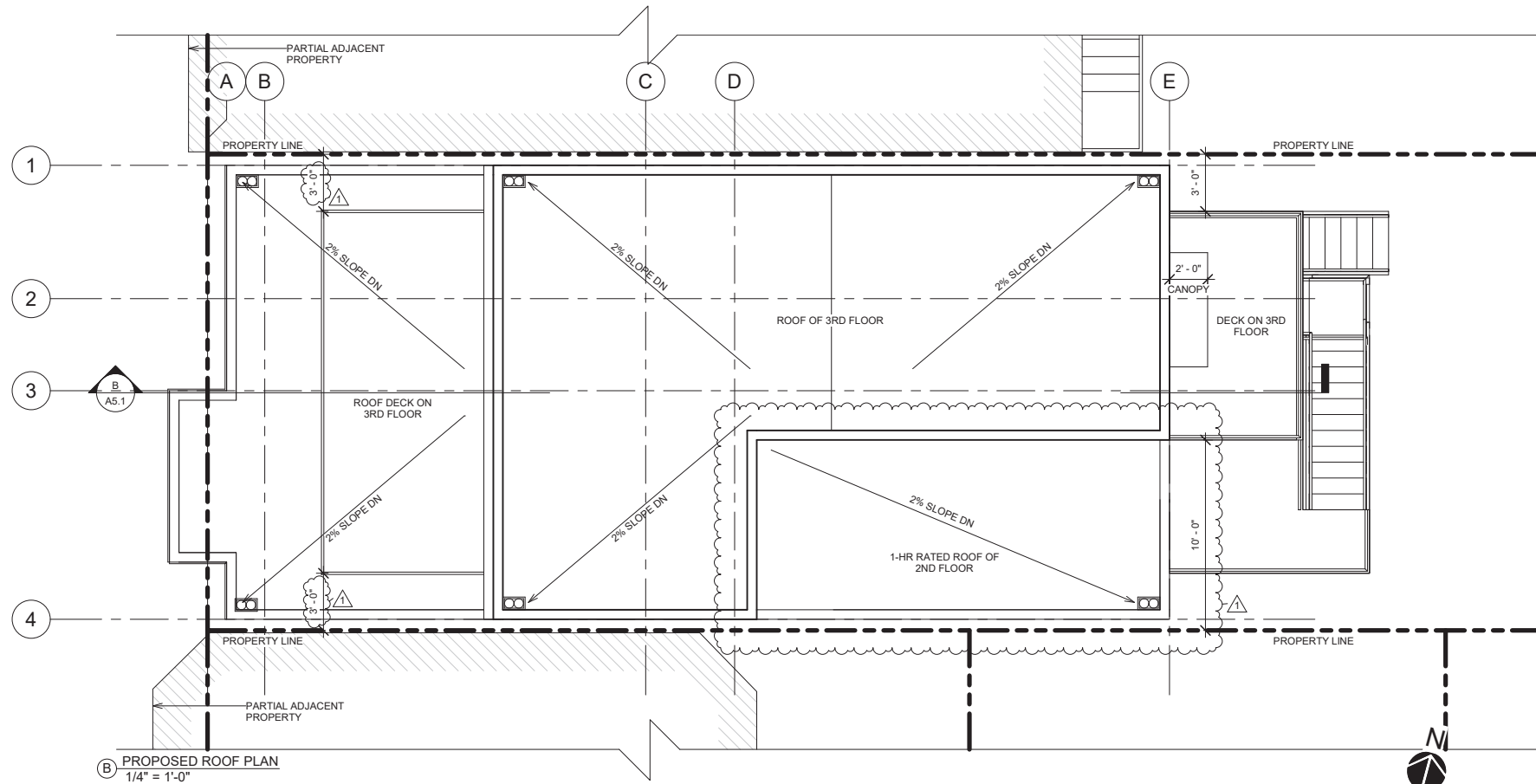
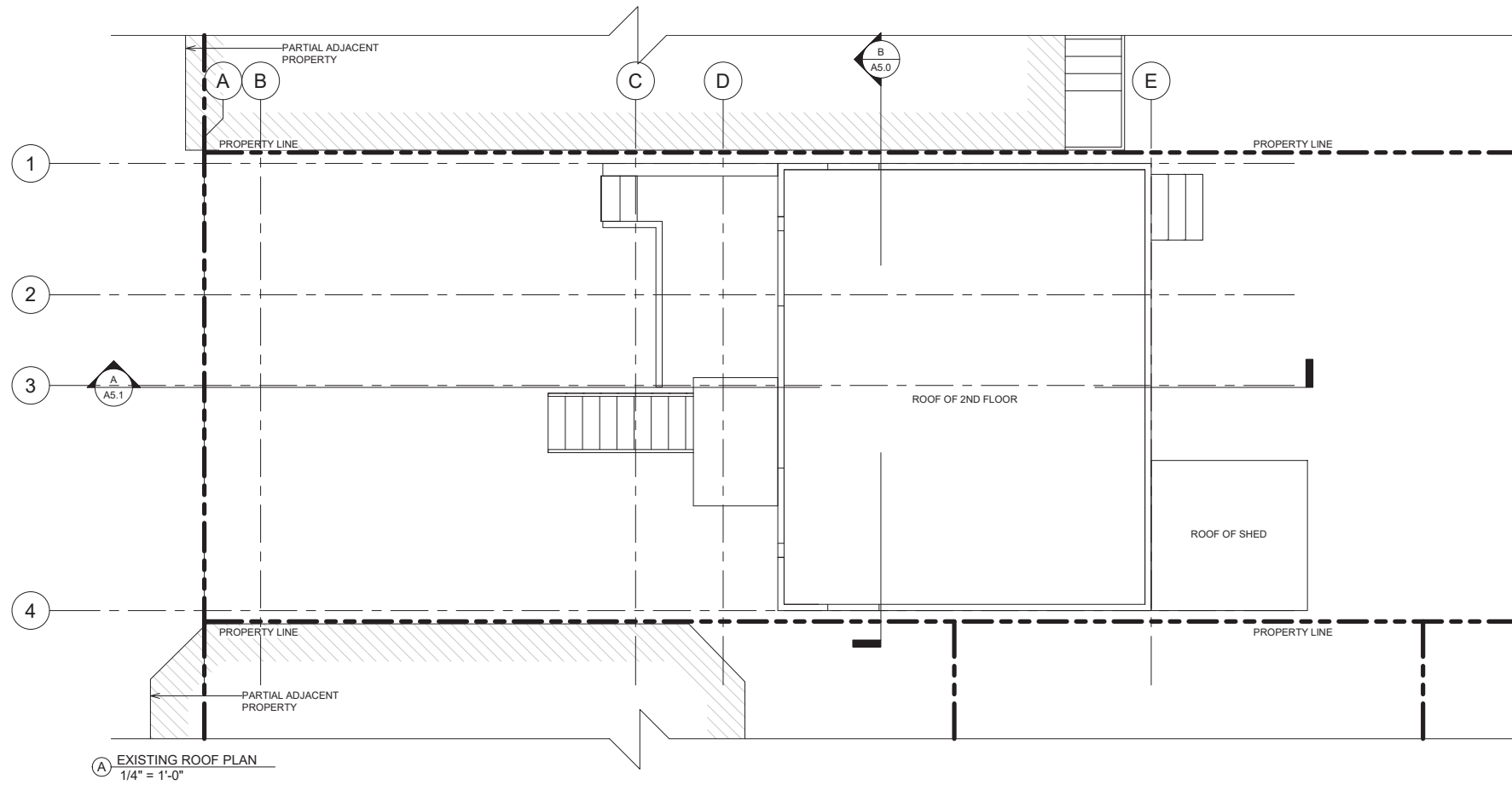
PROJECT ADDRESS:
367 HAMILTON STREET
SAN FRANCISCO, CA 94134
BLOCK:5987 LOT:022

DRAWING LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW PARTITION WALL
	NEW CONCRETE WALL
	1 HR. RATED WALL
	WALL WITH INSULATION

NOTES	BY
1 03/11/19 PLAN CHECK #2	T.Y.
2 05/13/19 PLAN CHECK #3	T.Y.

SCALE AS NOTED
JOB 150109
SHEET

A2.2



APPLICANT:

MEI HUA LIANG
367 HAMILTON STREET
SAN FRANCISCO, CA 94134
415-926-1558

SHEET TITLE:

ROOF PLANS

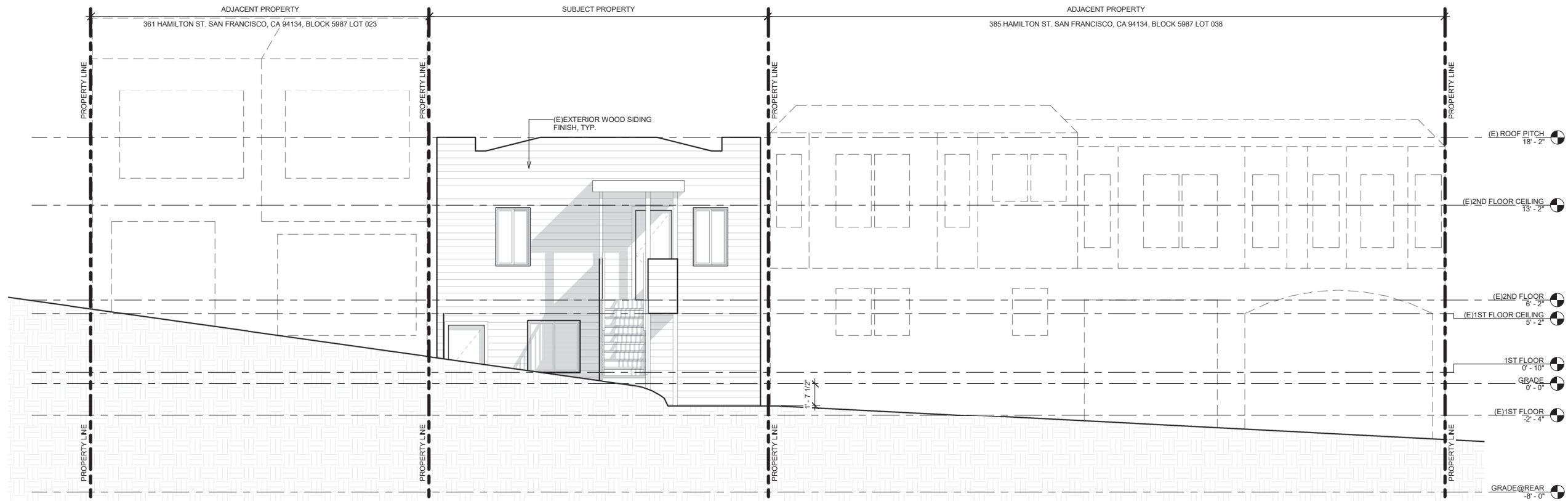
PROJECT ADDRESS:

367 HAMILTON STREET
SAN FRANCISCO, CA 94134
BLOCK:5987 LOT:022

NOTES	BY
1 03/11/19 PLAN CHECK #2	T.Y.
2 05/13/19 PLAN CHECK #3	T.Y.

SCALE AS NOTED
JOB 150109
SHEET

A2.3



(A) EXISTING FRONT(WEST) ELEVATION
1/4" = 1'-0"



(B) PROPOSED FRONT(WEST) ELEVATION
1/4" = 1'-0"

APPLICANT:

MEI HUA LIANG
367 HAMILTON STREET
SAN FRANCISCO, CA 94134
415-926-1558

SHEET TITLE:

ELEVATIONS

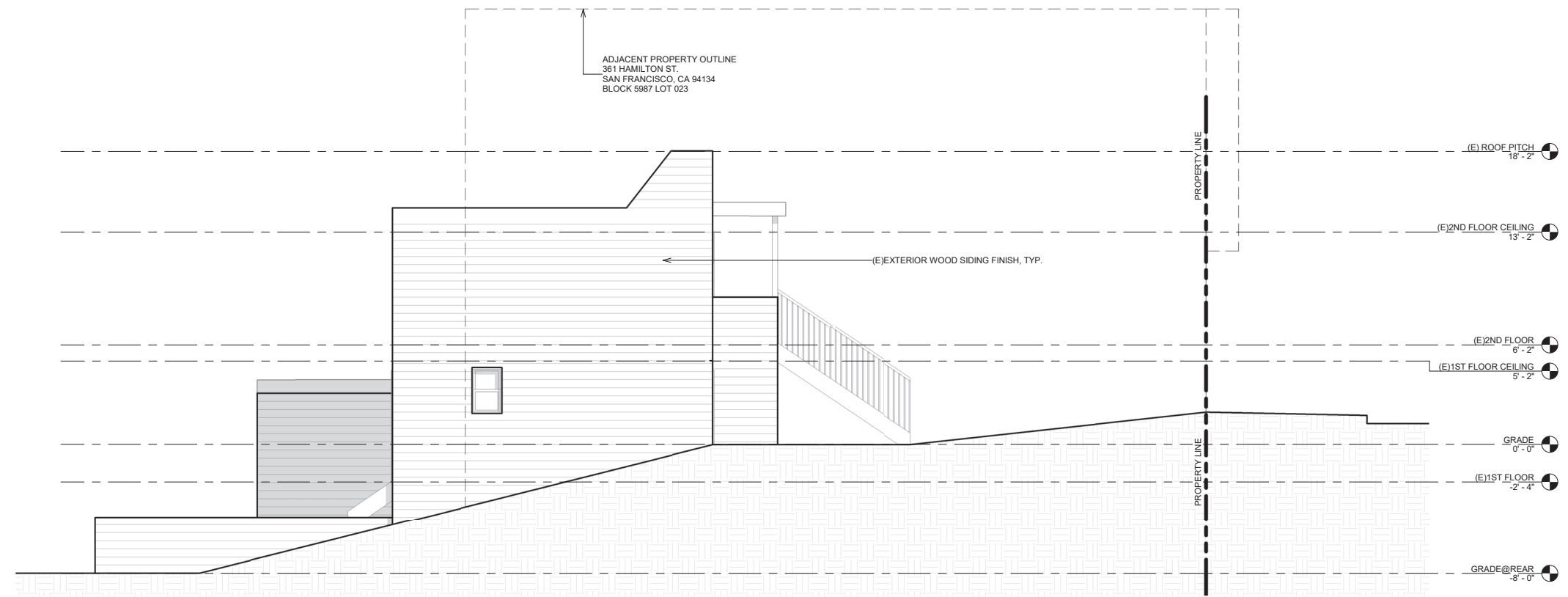
PROJECT ADDRESS:

367 HAMILTON STREET
SAN FRANCISCO, CA 94134
BLOCK:5987 LOT:022

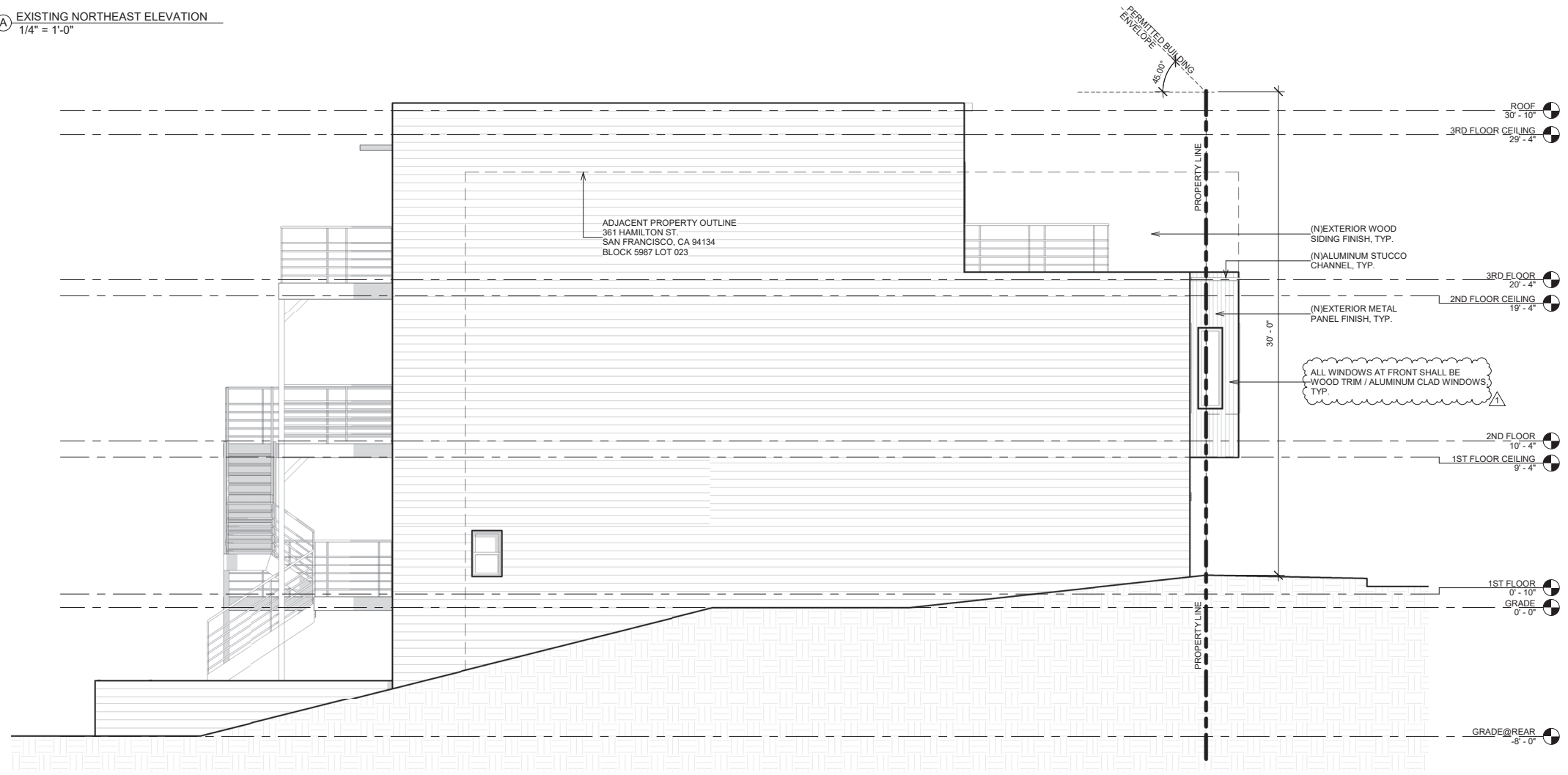
NOTES	BY
1 03/11/19 PLAN CHECK #2	T.Y.
2 05/13/19 PLAN CHECK #3	T.Y.

SCALE AS NOTED
JOB 150109
SHEET

A4.0



A EXISTING NORTHEAST ELEVATION
1/4" = 1'-0"



B PROPOSED NORTHEAST ELEVATION
1/4" = 1'-0"

APPLICANT:

MEI HUA LIANG
367 HAMILTON STREET
SAN FRANCISCO, CA 94134
415-926-1558

SHEET TITLE:

ELEVATIONS

PROJECT ADDRESS:

367 HAMILTON STREET
SAN FRANCISCO, CA 94134
BLOCK:5987 LOT:022

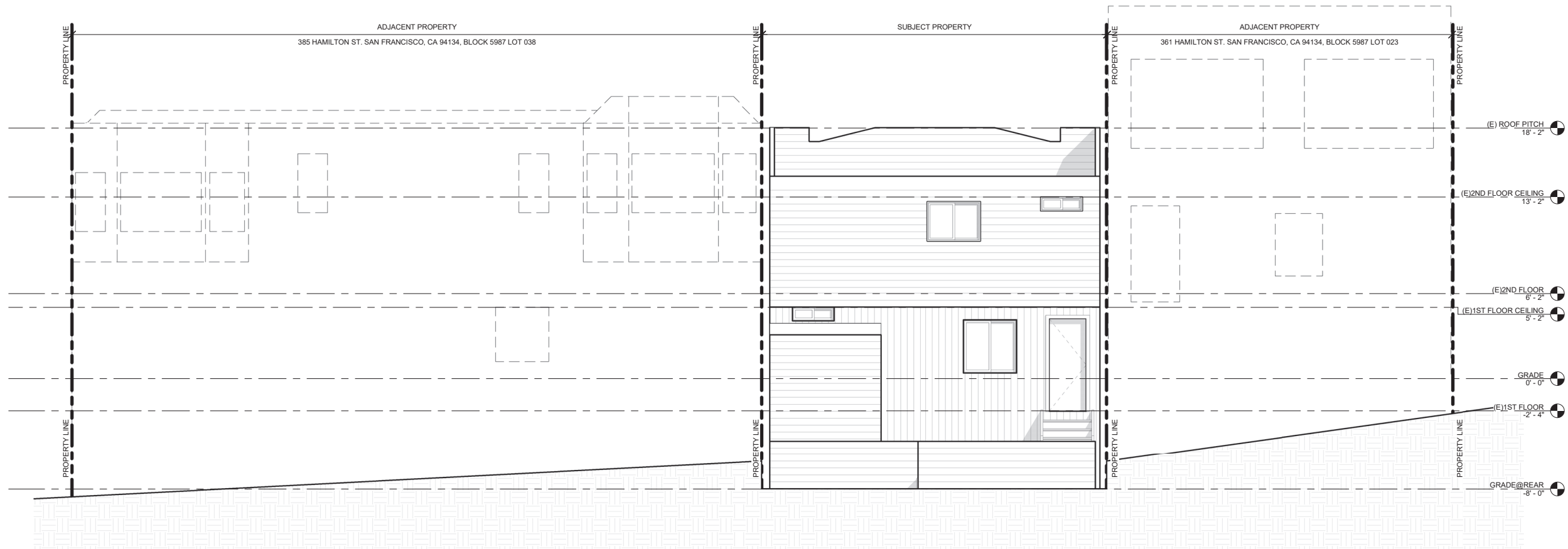
NOTES	BY
1 03/11/19 PLAN CHECK #2	T.Y.
2 05/13/19 PLAN CHECK #3	T.Y.

SCALE AS NOTED

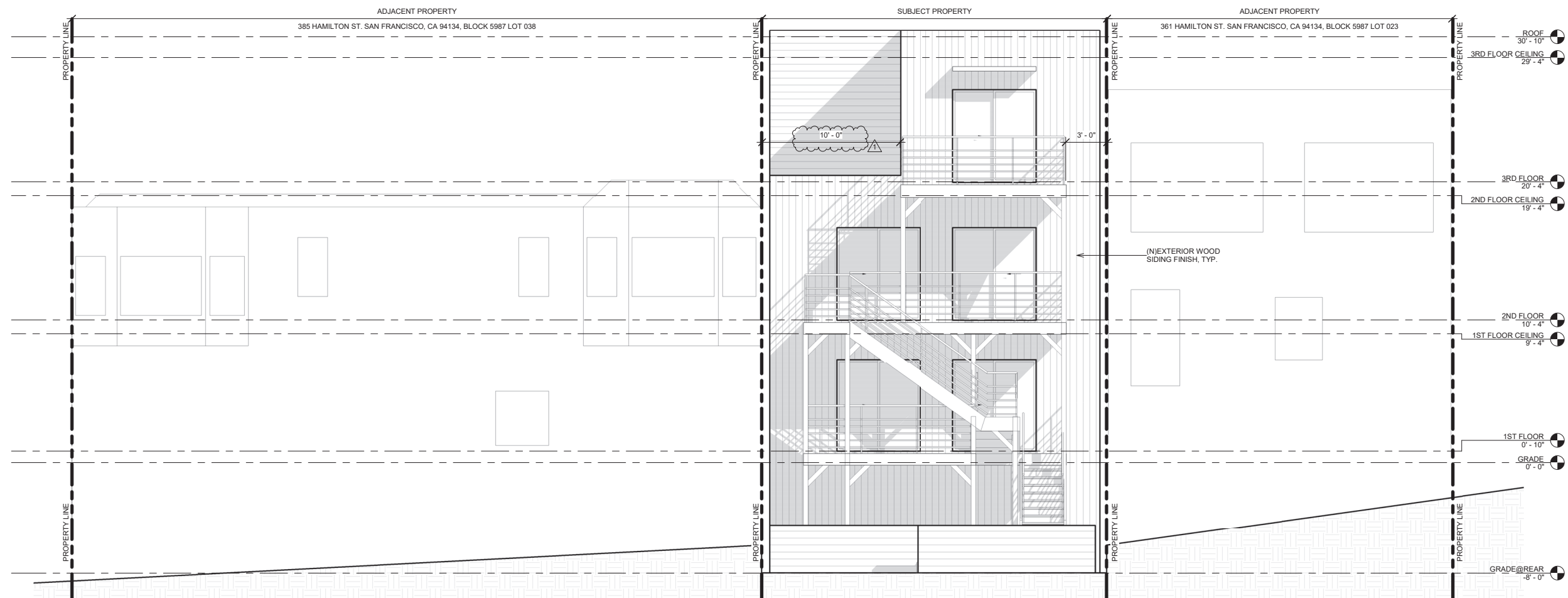
JOB 150109

SHEET

A4.1



(A) EXISTING REAR(EAST) ELEVATION
1/4" = 1'-0"



(B) PROPOSED REAR(EAST) ELEVATION
1/4" = 1'-0"

APPLICANT:

MEI HUA LIANG
367 HAMILTON STREET
SAN FRANCISCO, CA 94134
415-926-1558

SHEET TITLE:

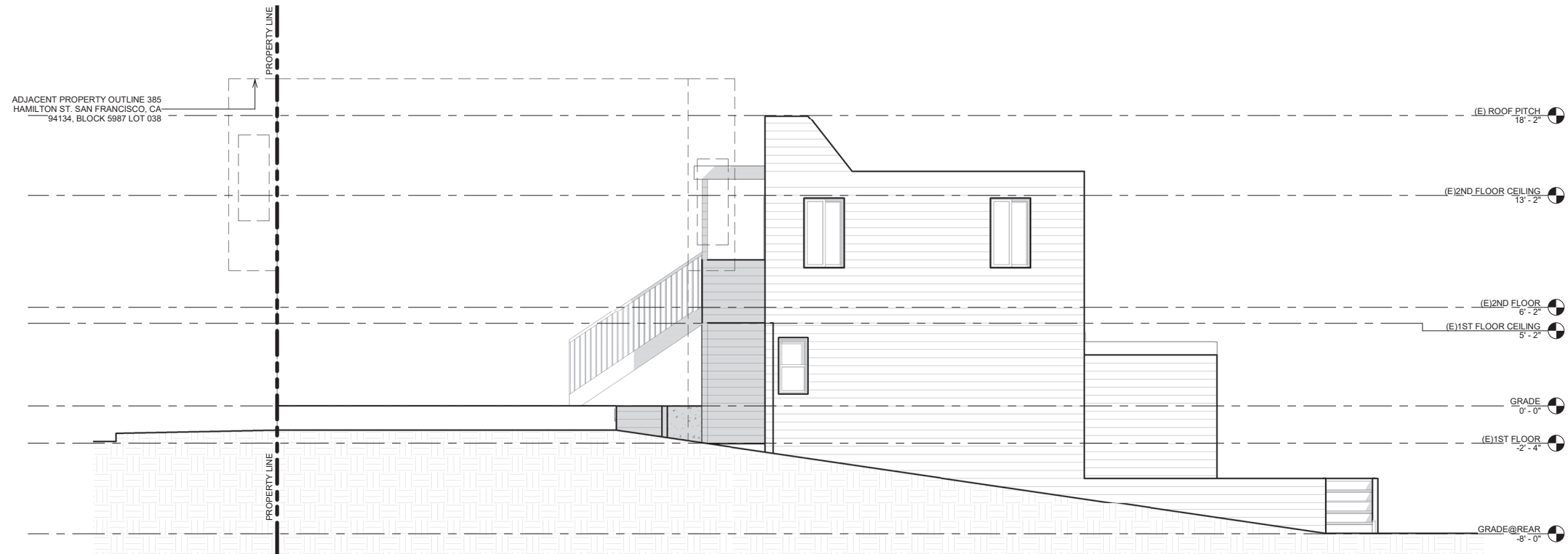
ELEVATIONS

PROJECT ADDRESS:

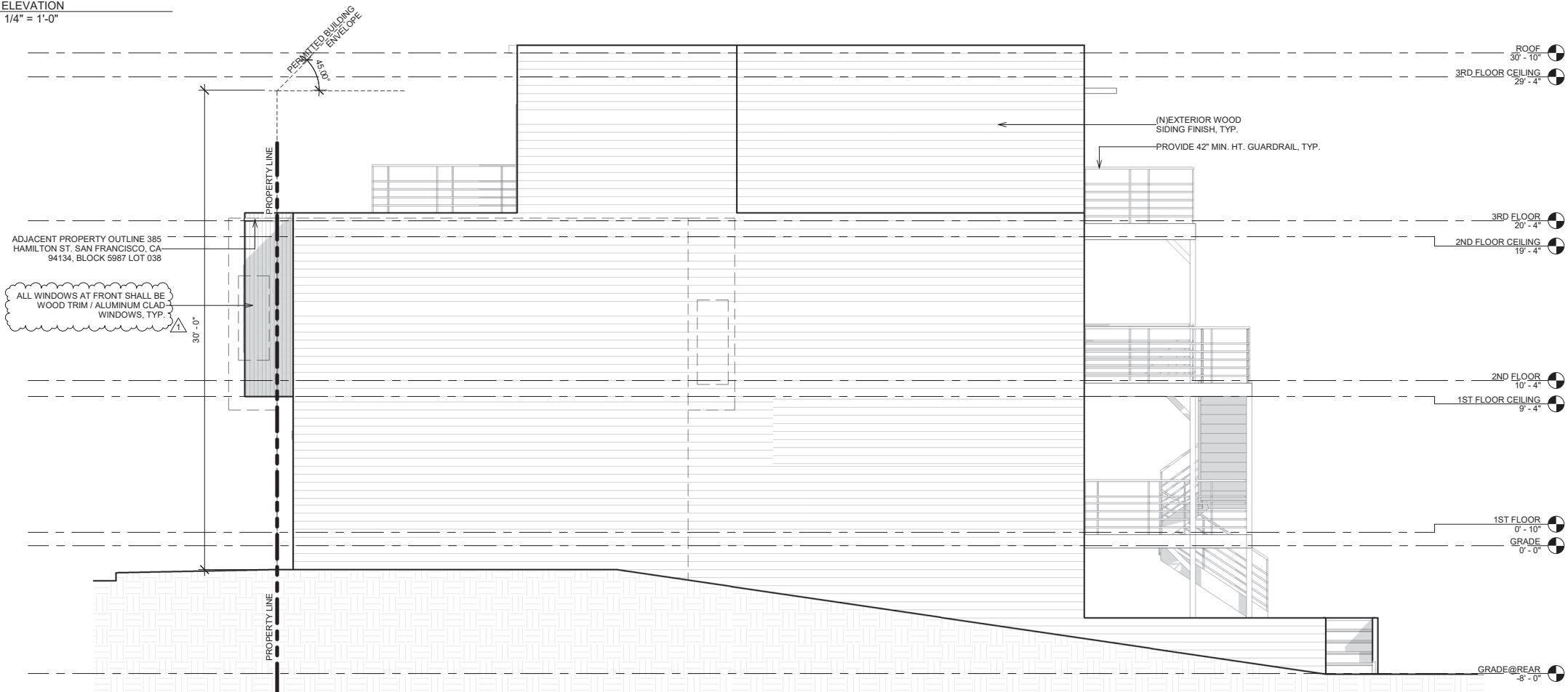
367 HAMILTON STREET
SAN FRANCISCO, CA 94134
BLOCK:5987 LOT:022

NOTES	BY
1 03/11/19 PLAN CHECK #2	T.Y.
2 05/13/19 PLAN CHECK #3	T.Y.

SCALE	AS NOTED
JOB	150109
SHEET	



EXISTING SOUTHWEST SIDE ELEVATION
1/4" = 1'-0"



PROPOSED SOUTHWEST SIDE ELEVATION
1/4" = 1'-0"

APPLICANT:

MEI HUA LIANG
367 HAMILTON STREET
SAN FRANCISCO, CA 94134
415-926-1558

SHEET TITLE:

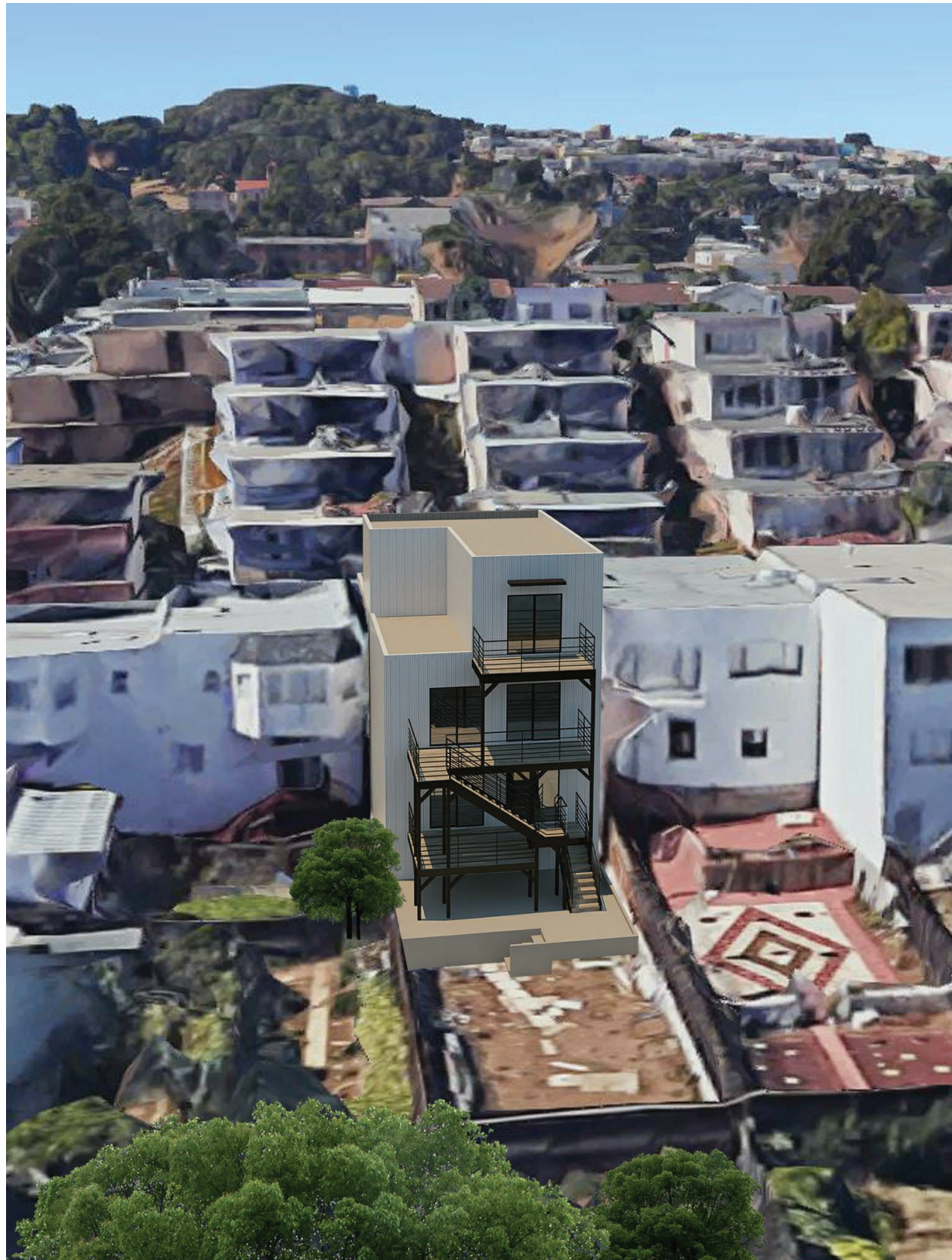
ELEVATIONS

PROJECT ADDRESS:

367 HAMILTON STREET
SAN FRANCISCO, CA 94134
BLOCK:5987 LOT:022

NOTES	BY
1 03/11/19 PLAN CHECK #2	T.Y.
2 05/13/19 PLAN CHECK #3	T.Y.

SCALE AS NOTED
JOB 150109
SHEET



APPLICANT:

MEI HUA LIANG
 367 HAMILTON STREET
 SAN FRANCISCO, CA 94134
 415-926-1558

SHEET TITLE:

RENDERING

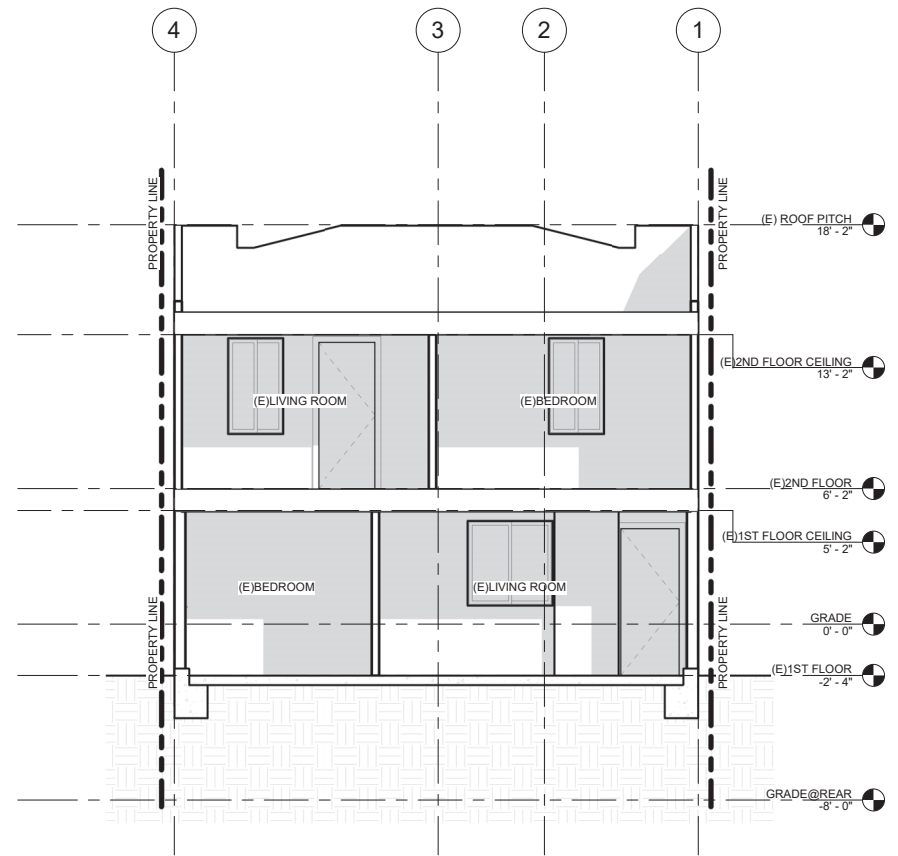
PROJECT ADDRESS:

367 HAMILTON STREET
 SAN FRANCISCO, CA 94134
 BLOCK:5987 LOT:022

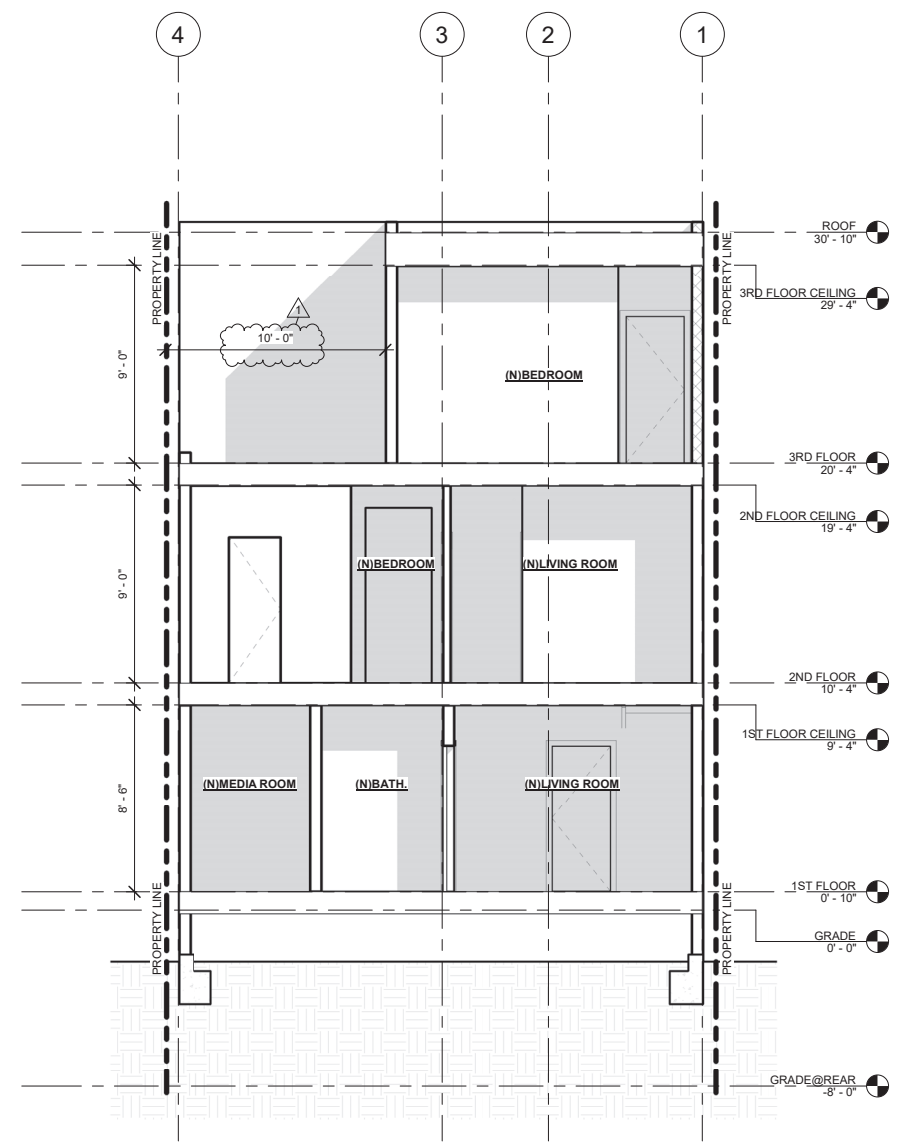
NOTES	BY
1 03/11/19 PLAN CHECK #2	T.Y.
2 05/13/19 PLAN CHECK #3	T.Y.

SCALE AS NOTED
 JOB 150109
 SHEET

A4.4



(A) EXISTING LATITUDINAL SECTION
1/4" = 1'-0"



(B) PROPOSED LATITUDINAL SECTION
1/4" = 1'-0"

APPLICANT:

MEI HUA LIANG
367 HAMILTON STREET
SAN FRANCISCO, CA 94134
415-926-1558

SHEET TITLE:

SECTIONS

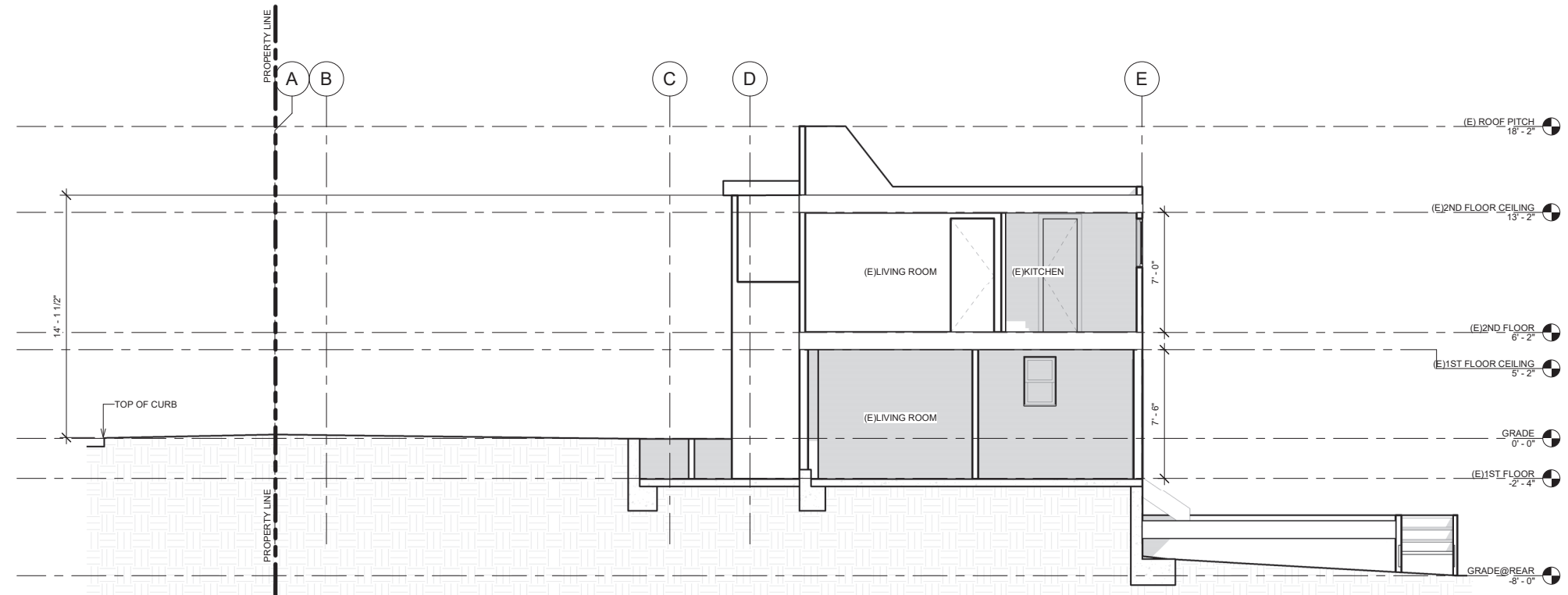
PROJECT ADDRESS:

367 HAMILTON STREET
SAN FRANCISCO, CA 94134
BLOCK:5987 LOT:022

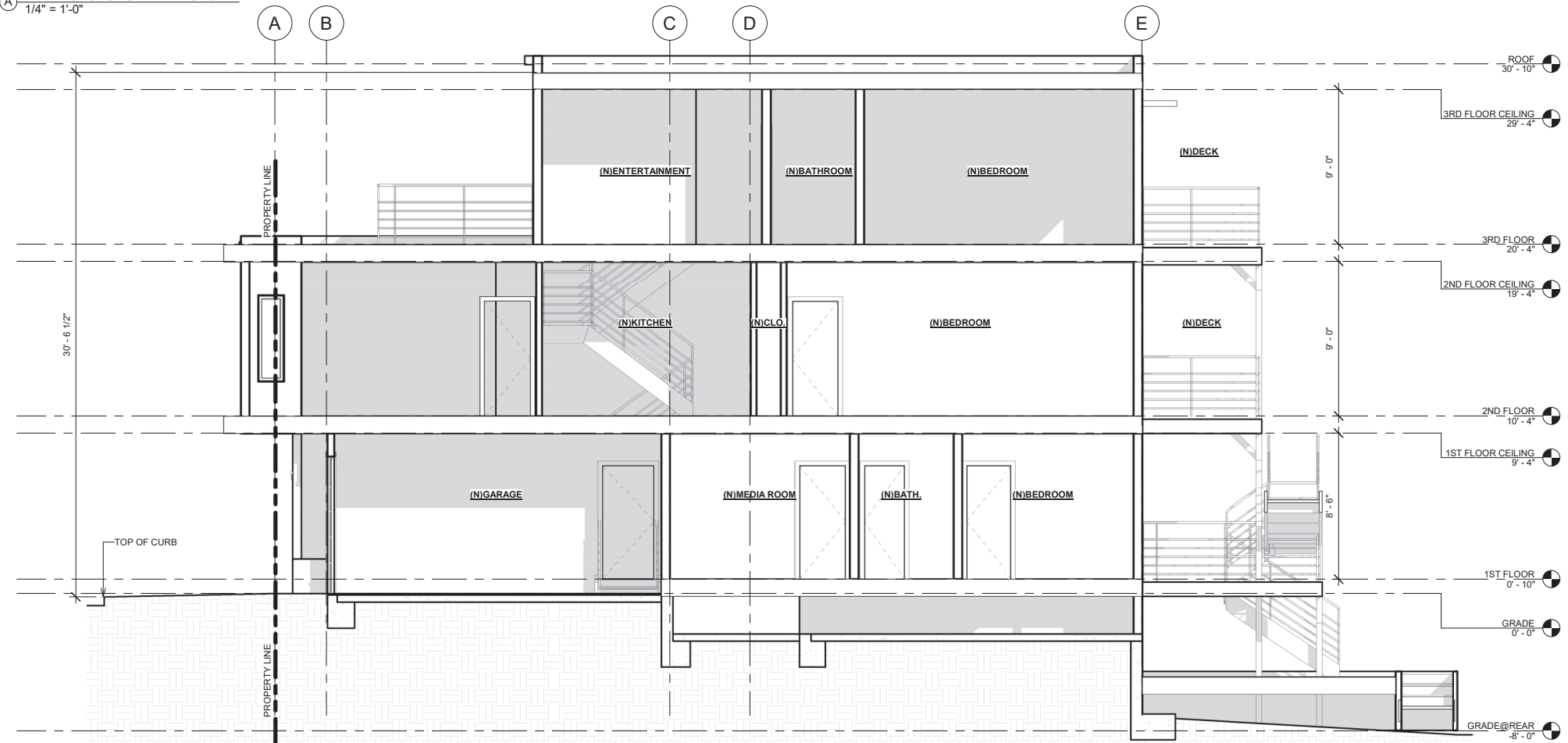
NOTES	BY
1 03/11/19 PLAN CHECK #2	T.Y.
2 05/13/19 PLAN CHECK #3	T.Y.

SCALE AS NOTED
JOB 150109
SHEET

A5.0



(A) EXISTING LONGITUDINAL SECTION
1/4" = 1'-0"



(B) PROPOSED LONGITUDINAL SECTION
1/4" = 1'-0"

APPLICANT:

MEI HUA LIANG
367 HAMILTON STREET
SAN FRANCISCO, CA 94134
415-926-1558

SHEET TITLE:

SECTIONS

PROJECT ADDRESS:

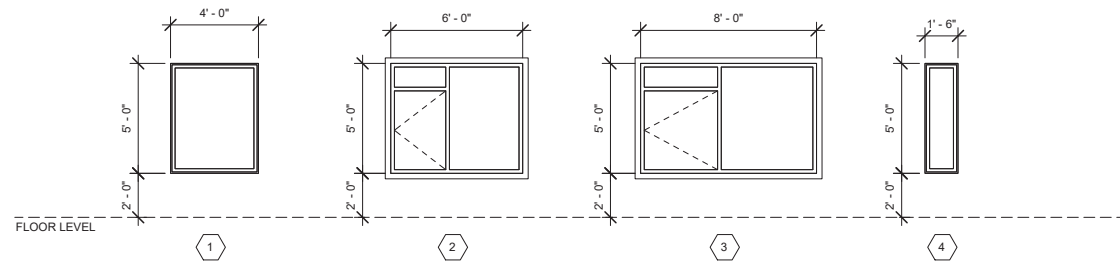
367 HAMILTON STREET
SAN FRANCISCO, CA 94134
BLOCK:5987 LOT:022

NOTES	BY
1 03/11/19 PLAN CHECK #2	T.Y.
2 05/13/19 PLAN CHECK #3	T.Y.

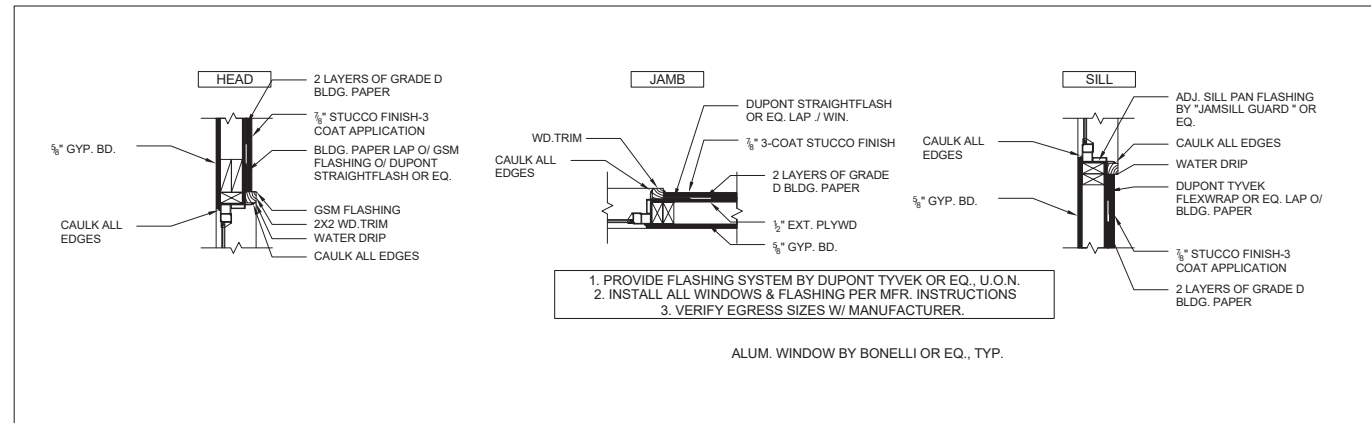
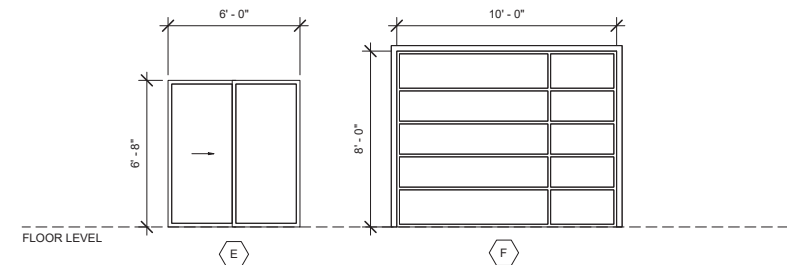
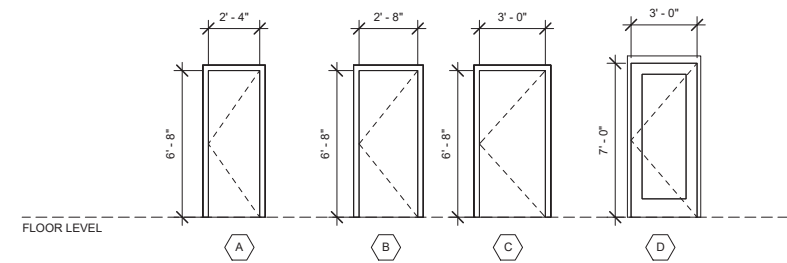
SCALE	AS NOTED
JOB	150109
SHEET	

A5.1

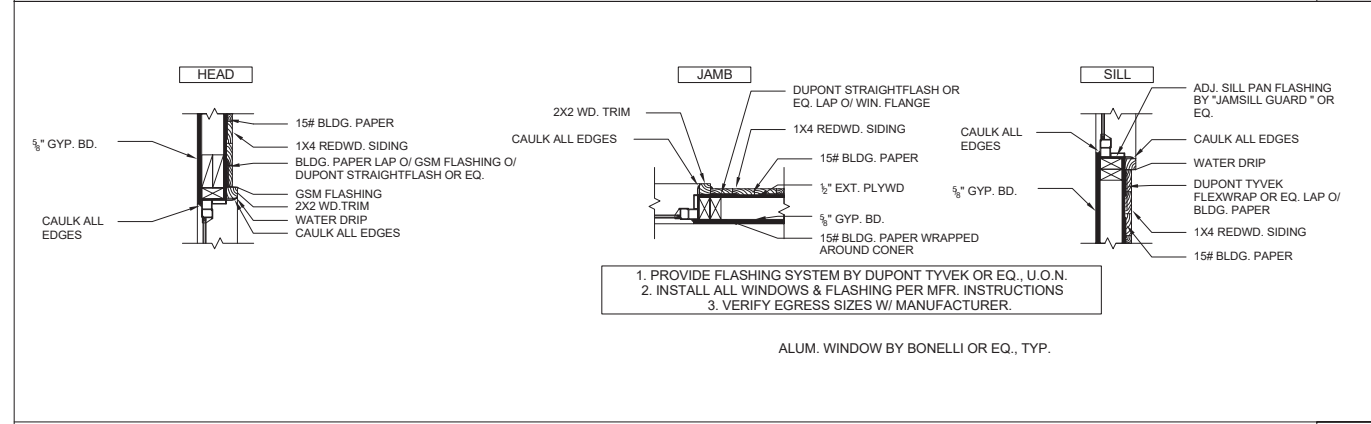
Window Schedule							
Type Mark	Type	Width	Height	Sill Height	U-Factor	Fire Rated	Description
1	4'0X5'0@2'0	4' - 0"	5' - 0"	2' - 0"	0.32		FIXED
2	6'0X5'0@2'0	6' - 0"	5' - 0"	2' - 0"			FIXED W/ C.S.
3	8'0X5'0@2'0	8' - 0"	5' - 0"	2' - 0"	0.32		FIXED W/ C.S.
4	1'6X5'0@2'0	1' - 6"	5' - 0"	2' - 0"	0.32		FIXED



Door Schedule						
Type Mark	Width	Height	Fire Rating	Finish	Function	Description
A	2' - 4"	6' - 8"			Interior	
B	2' - 8"	6' - 8"			Interior	
C	3' - 0"	6' - 8"	45 MINS		Exterior	
D	3' - 0"	7' - 0"			Exterior	
E	6' - 0"	6' - 8"		ALUMINUM/GLASS	Exterior	
F	10' - 0"	8' - 0"		ALUMINUM/GLASS	Exterior	



WINDOW DETAIL - STUCCO 1
SCALE 3/4" = 1'-0"



WINDOW DETAIL - SIDING 2
SCALE 3/4" = 1'-0"

APPLICANT:

MEI HUA LIANG
367 HAMILTON STREET
SAN FRANCISCO, CA 94134
415-926-1558

SHEET TITLE:

WINDOW & DOOR SCHEDULE

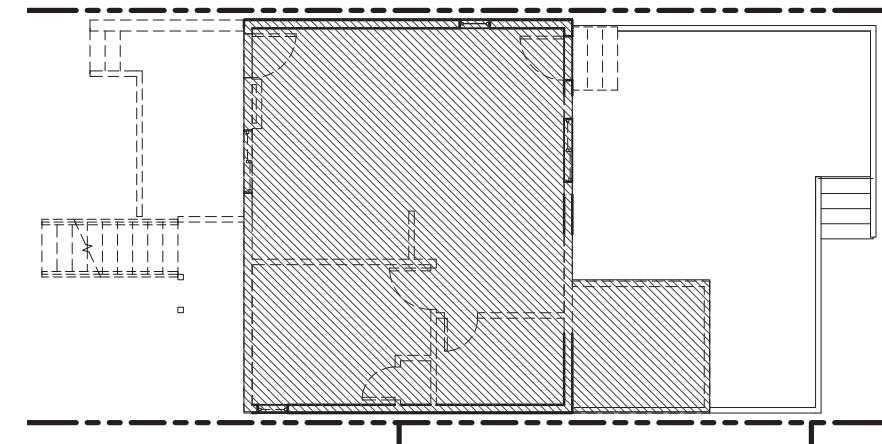
PROJECT ADDRESS:

367 HAMILTON STREET
SAN FRANCISCO, CA 94134
BLOCK:5987 LOT:022

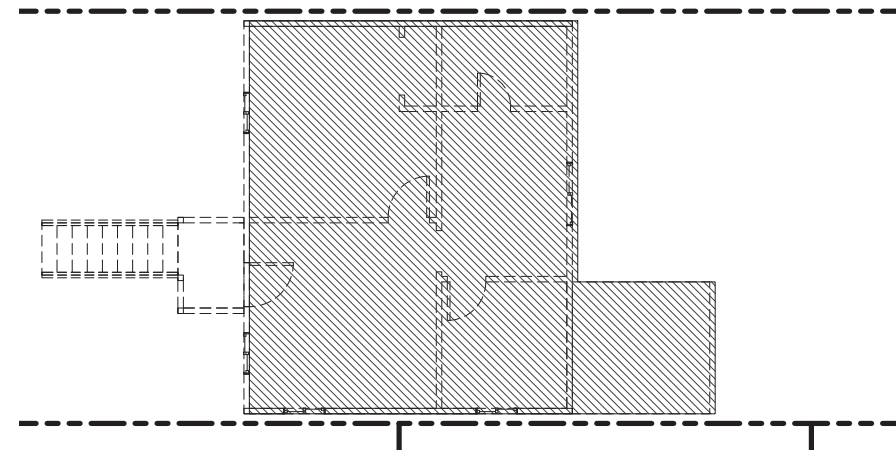
NOTES	BY
1 03/11/19 PLAN CHECK #2	T.Y.
2 05/13/19 PLAN CHECK #3	T.Y.

SCALE AS NOTED
JOB 150109
SHEET

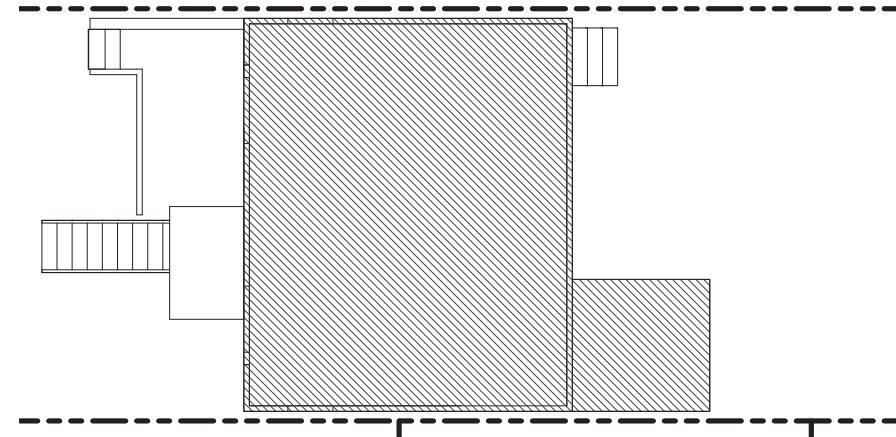
A6.0



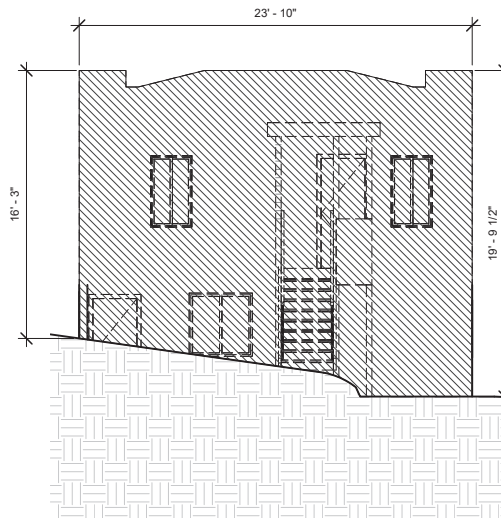
A DEMO - EXISTING 1ST FLOOR PLAN
3/16" = 1'-0"



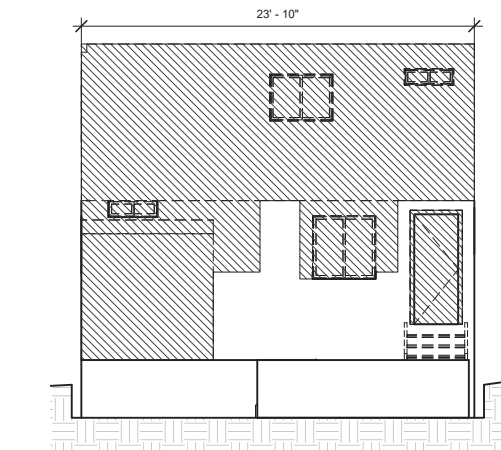
B DEMO - EXISTING 2ND FLOOR PLAN
3/16" = 1'-0"



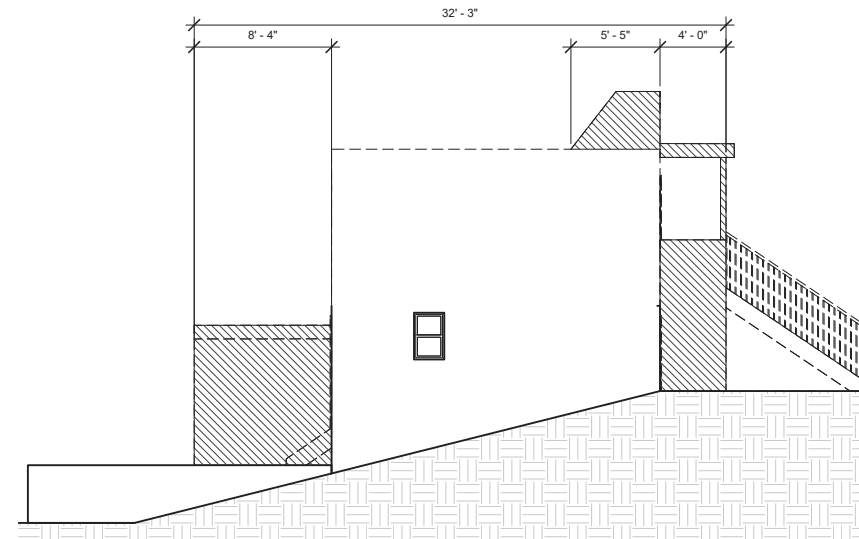
C DEMO - EXISTING ROOF PLAN
3/16" = 1'-0"



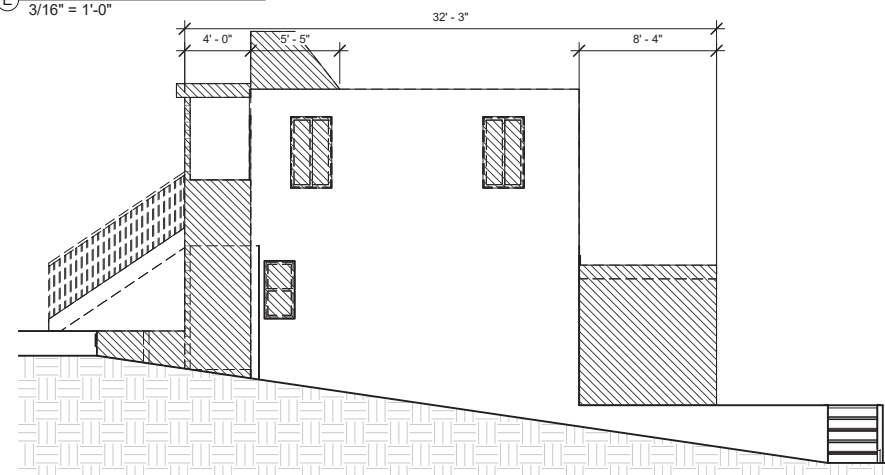
D DEMO - EXISTING FRONT(WEST)
ELEVATION
3/16" = 1'-0"



F DEMO - EXISTING REAR(EAST)
ELEVATION
3/16" = 1'-0"



E DEMO - EXISTING NORTHEAST
ELEVATION
3/16" = 1'-0"



G DEMO - EXISTING SOUTHWEST SIDE
ELEVATION
3/16" = 1'-0"

DEMOLITION:
PROJECTS THAT PROPOSED MAJOR ALTERATIONS TO THE EXISTING STRUCTURE MAY BE CONSIDERED TANTAMOUNT TO A DEMOLITION, AND SUBJECT TO THE PROVISIONS OF PLANNING CODE SECTION 317. IF THE SUBJECT PROPERTY IS DETERMINED NOT TO BE HISTORICAL RESOURCE UNDER CEQA, THE PROJECT IS DEEMED TANTAMOUNT TO A DEMOLITION IF IT INCLUDES:

- 1)REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT FACADE AND REAR FACADE, AND ALSO REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS, MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL, OR
- 2)REMOVAL OF MORE THAN 50% OF THE ABOVE GRADE VERTICAL ENVELOPE ELEMENTS AND MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.
- 3)REMOVAL OF MORE THAN 75 PERCENT OF THE BUILDING'S EXISTING INTERNAL STRUCTURAL FRAMEWORK OR FLOOR PLATES UNLESS THE CITY DETERMINES THAT SUCH REMOVAL IS THE ONLY FEASIBLE MEANS TO MEET THE STANDARDS FOR SEISMIC LOAD AND FORCES OF THE LATEST ADOPTED VERSION OF THE SAN FRANCISCO BUILDING CODE AND THE STATE HISTORICAL BUILDING CODE.

LINEAR FOOTAGE MEASUREMENT			
ELEMENT	(E)LENGTH	REMOVE	% REMOVE
FRONT FACADE	23'-10"	23'-10"	100%
REAR FACADE	23'-10"	23'-10"	100%
TOTAL	47'-8"	47'-8"	100%
NORTHEAST	32'-3"	17'-9"	55%
SOUTHWEST	32'-3"	17'-9"	55%
TOTAL	112'-2"	83'-2"	74%
AREA MEASUREMENT VERTICAL ELEMENT			
ELEMENT	(E) S.F.	REMOVE	% REMOVE
FRONT FACADE	427 S.F.	427 S.F.	100%
REAR FACADE	540 S.F.	365 S.F.	67.5%
NORTHEAST	514 S.F.	126 S.F.	24.5%
SOUTHWEST	573 S.F.	147 S.F.	25.6%
VERTICAL TOTAL	2,054 S.F.	1,065 S.F.	51.8%
AREA MEASUREMENT HORIZONTAL ELEMENT			
ELEMENT	(E) S.F.	REMOVE	% REMOVE
1ST FLOOR	475 S.F.	475 S.F.	100%
2ND FLOOR	475 S.F.	475 S.F.	100%
ROOF	541 S.F.	541 S.F.	100%
HORIZ. TOTAL	1,491 S.F.	1,491 S.F.	100%
CALCULATION:			
LINEAR FOOTAGE MEASUREMENT:		100% > 50%	
FRONT & REAR:		74% > 65%	
ALL EXTERIOR WALLS:			
AREA MEASUREMENT OF VERTICAL ELEMENT:		51.8% > 50%	
AREA MEASUREMENT OF HORIZONTAL ELEMENT:		100% > 50%	

AREA TO BE REMOVED

APPLICANT:
MEI HUA LIANG
367 HAMILTON STREET
SAN FRANCISCO, CA 94134
415-926-1558

SHEET TITLE:

**DEMOLITION
CALCULATION**

PROJECT ADDRESS:
367 HAMILTON STREET
SAN FRANCISCO, CA 94134
BLOCK:5987 LOT:022

NOTES	BY
1 03/11/19 PLAN CHECK #2	T.Y.
2 05/13/19 PLAN CHECK #3	T.Y.

SCALE AS NOTED
JOB 150109
SHEET



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
367 HAMILTON ST		5987022
Case No.		Permit No.
2015-006825ENV		201505146359
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
<p>Project description for Planning Department approval.</p> <p>The existing project site consists of an approximately 950 square foot, 14'-1.5" tall residential building with two units. The proposed work would be considered tantamount to a demolition of the existing residential building. The proposed project would create an approximately 3,200 square foot, 31" tall residential building with two units. The proposed project will consist of two off street parking spaces.</p>		

STEP 1: EXEMPTION CLASS

The project has been determined to be categorically exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)</p>
<input type="checkbox"/>	<p>Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential?</p> <p><i>if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i></p>
<input type="checkbox"/>	<p>Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? If yes, archeo review is required (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography). If yes, Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Slope = or > 25%: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 500 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required and Environmental Planning must issue the exemption.</p>
<p>Comments and Planner Signature (optional): Laura Lynch</p>	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Property Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input checked="" type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <input type="checkbox"/> Reclassify to Category A a. Per HRER or PTR dated b. Other (specify): Per PTR form signed on October 13, 2015 <input checked="" type="checkbox"/> Reclassify to Category C (attach HRER or PTR)
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional): Project includes demolition of a Category C building.	
Preservation Planner Signature: Stephanie Cisneros	

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Planning Commission Hearing	Signature: Laura Lynch
	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	07/16/2019
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.		

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
367 HAMILTON ST		5987/022
Case No.	Previous Building Permit No.	New Building Permit No.
2015-006825PRJ	201505146359	
Plans Dated	Previous Approval Action	New Approval Action
	Planning Commission Hearing	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed within 10 days of posting of this determination.	
Planner Name:	Date:

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SAN FRANCISCO PLANNING DEPARTMENT

Land Use Information

PROJECT ADDRESS: 367 HAMILTON ST
RECORD NO.: 2015-006825CUA

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

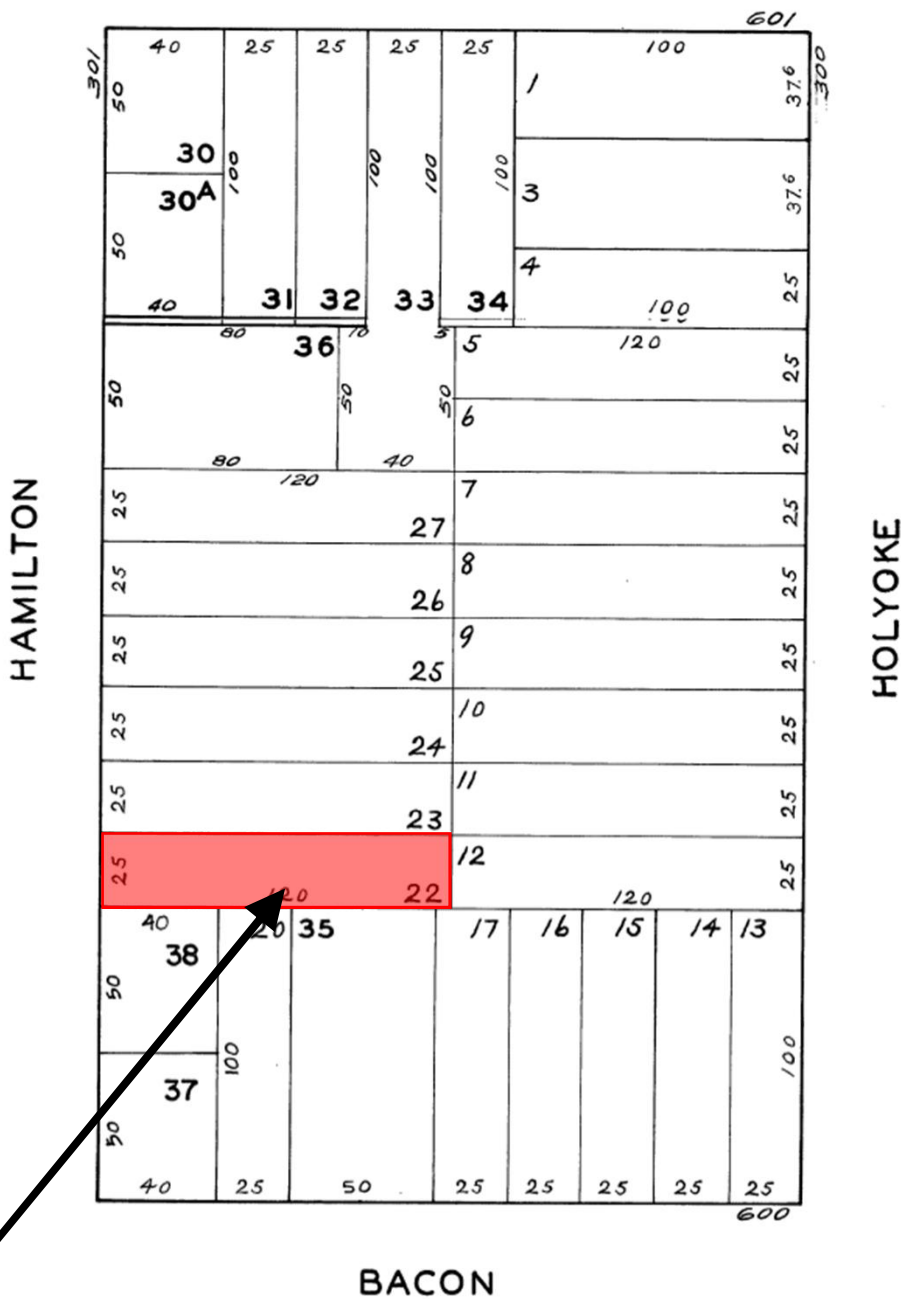
	EXISTING	PROPOSED	NET NEW
GROSS SQUARE FOOTAGE (GSF)			
GSF	950	3,115	2,165
Usable Open Space	1,275	1,275	0
Other ()			
TOTAL GSF			
	EXISTING	NET NEW	TOTALS
PROJECT FEATURES (Units or Amounts)			
Dwelling Units - Market Rate	1	1	2
Dwelling Units - Total	1	1	2
Number of Buildings	1	0	1
Number of Stories	2	1	3
Parking Spaces	1	0	1
Bicycle Spaces	0	2	2

	EXISTING	PROPOSED	NET NEW
LAND USE - RESIDENTIAL			
Studio Units	0	0	0
One Bedroom Units	1	0	0
Two Bedroom Units	1	1	1
Three Bedroom (or +) Units	0	1	1
Accessory Dwelling Units	0	1	1

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Parcel Map

BURROWS

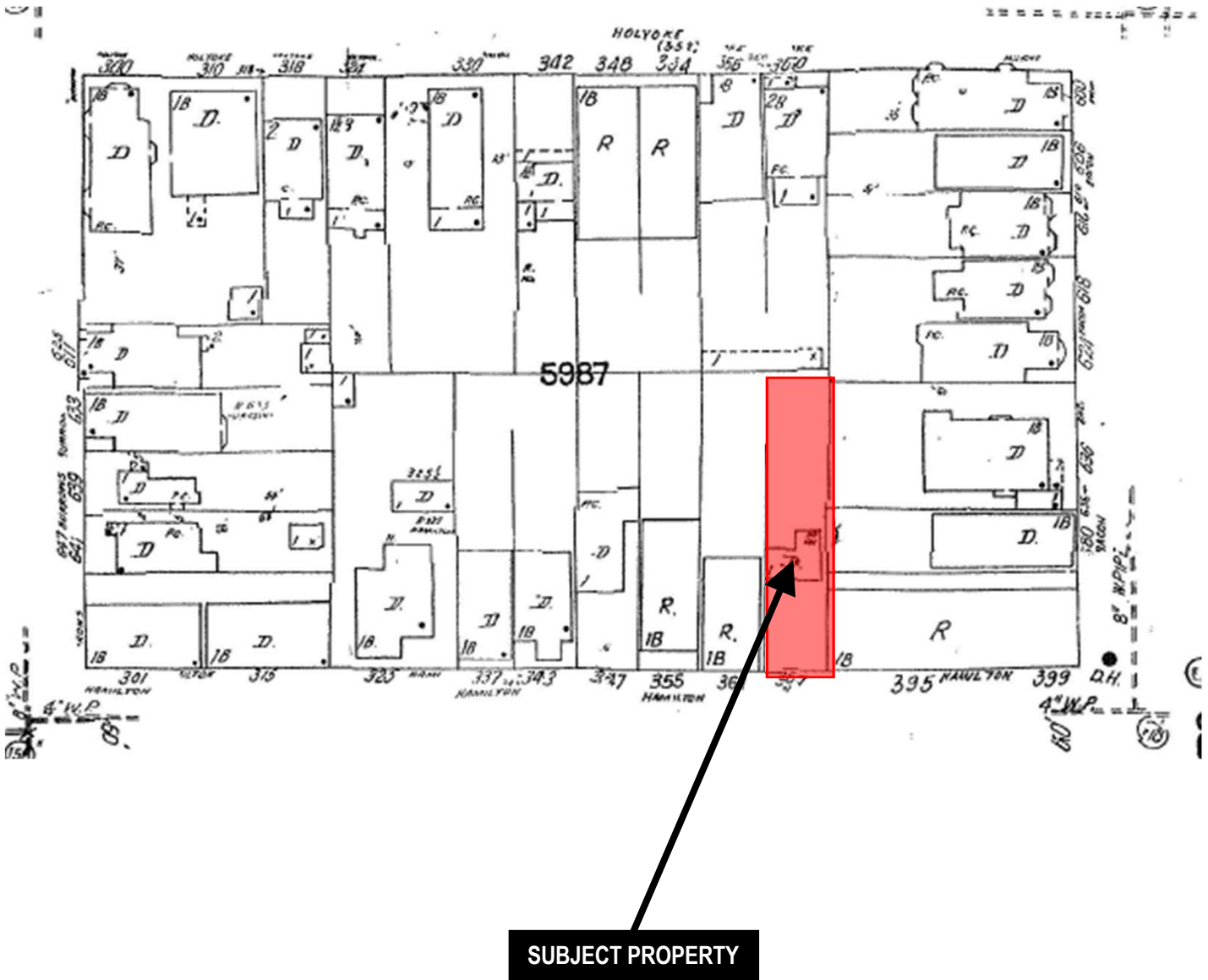


SUBJECT PROPERTY



Conditional Use Authorization Hearing
Case Number 2016-003825CUA
367 Hamilton Street

Sanborn Map*

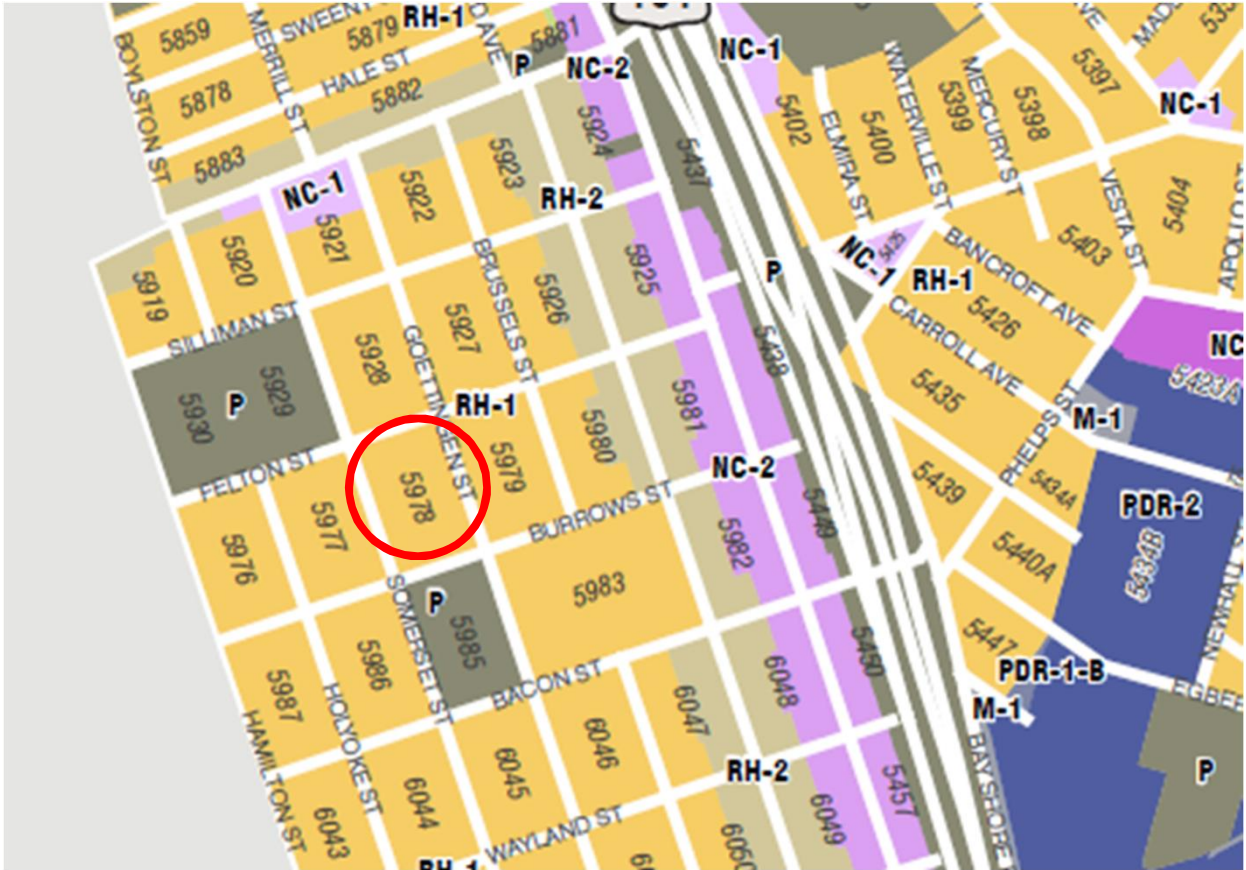


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



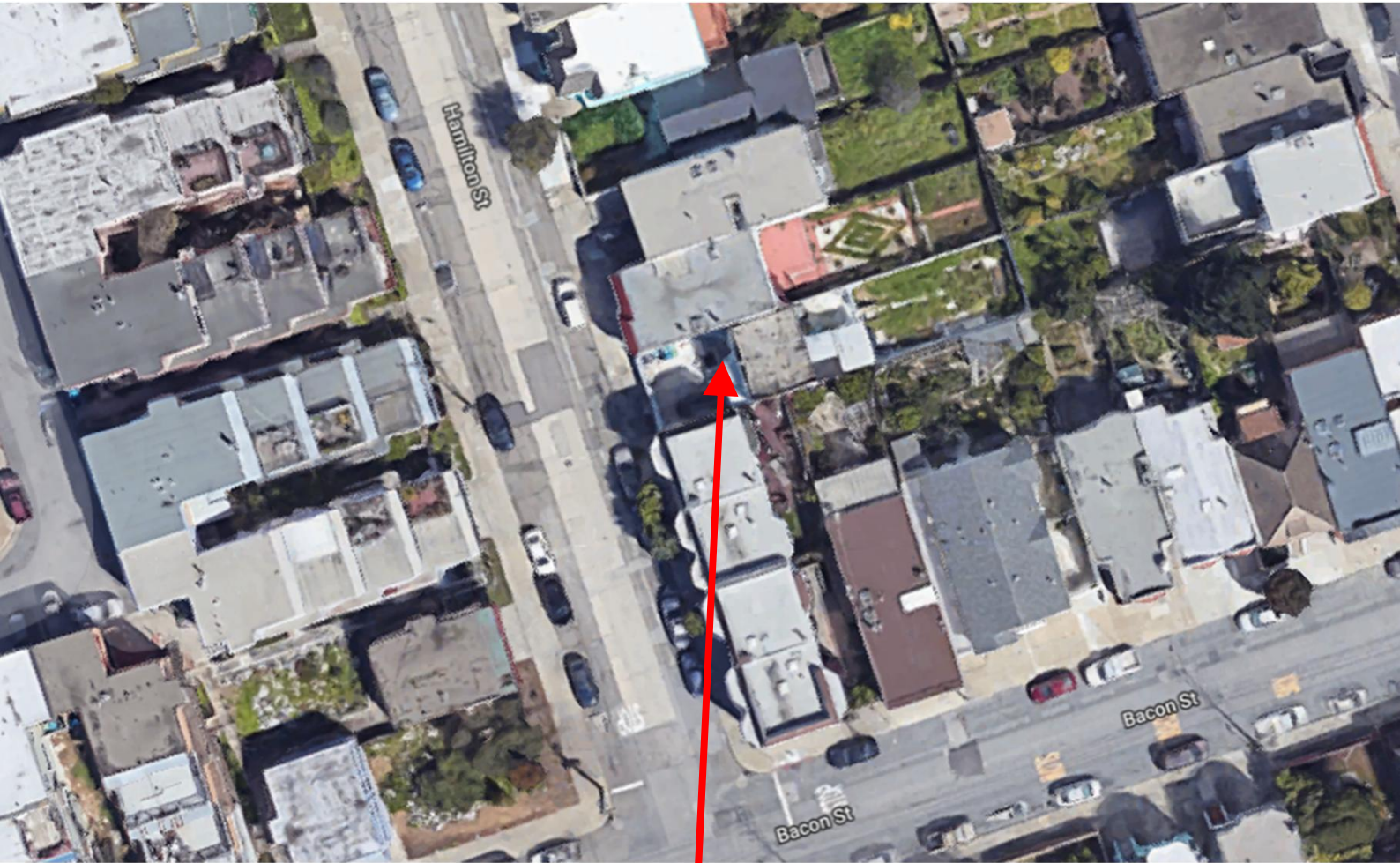
Conditional Use Authorization Hearing
Case Number 2016-003825CUA
367 Hamilton Street

Zoning Map



Conditional Use Authorization Hearing
Case Number 2016-003825CUA
367 Hamilton Street

Aerial Photo



SUBJECT PROPERTY



Conditional Use Authorization Hearing
Case Number 2016-003825CUA
367 Hamilton Street

Aerial Photo

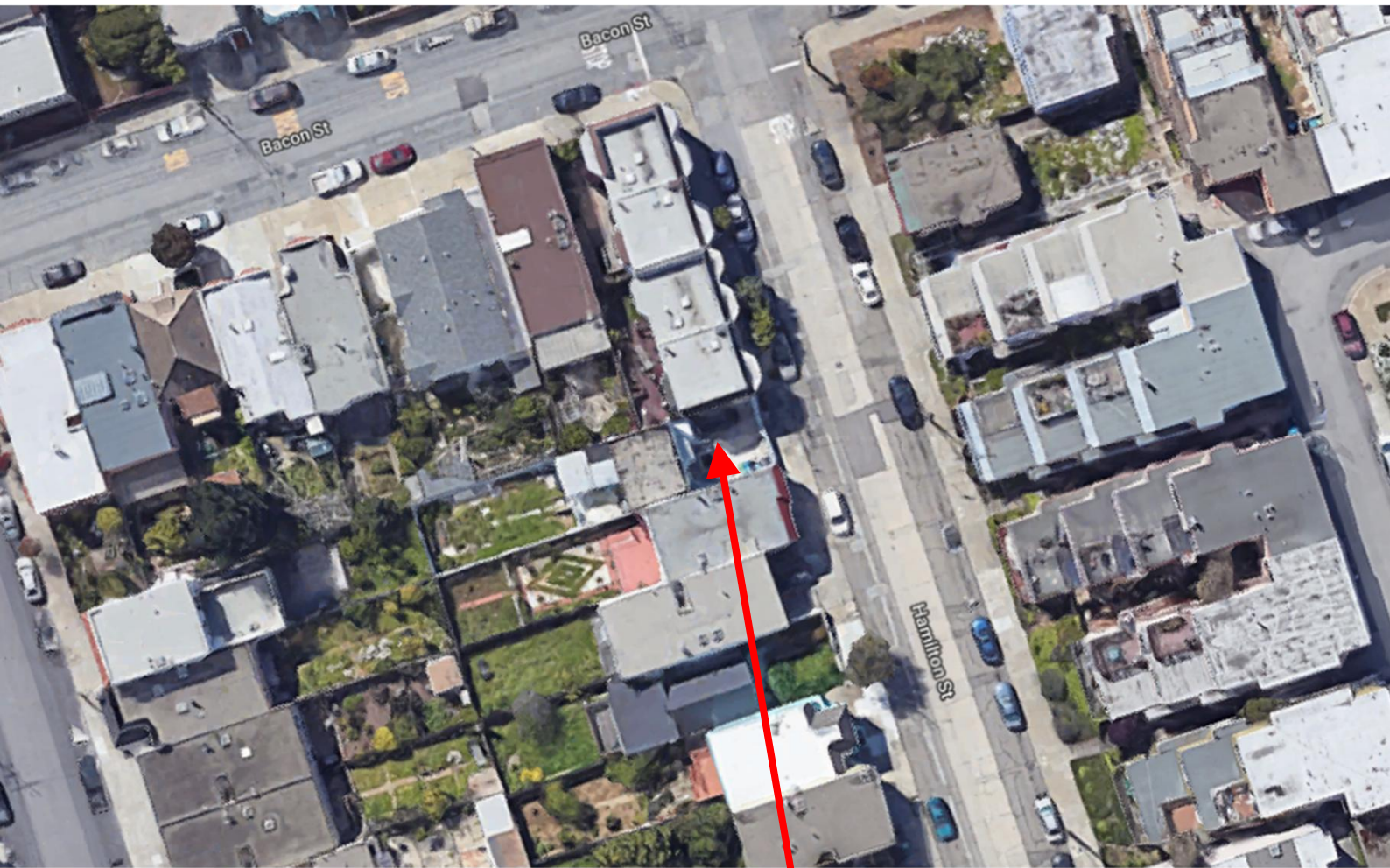


SUBJECT PROPERTY



Conditional Use Authorization Hearing
Case Number 2016-003825CUA
367 Hamilton Street

Aerial Photo



SUBJECT PROPERTY



Conditional Use Authorization Hearing
Case Number 2016-003825CUA
367 Hamilton Street

Aerial Photo

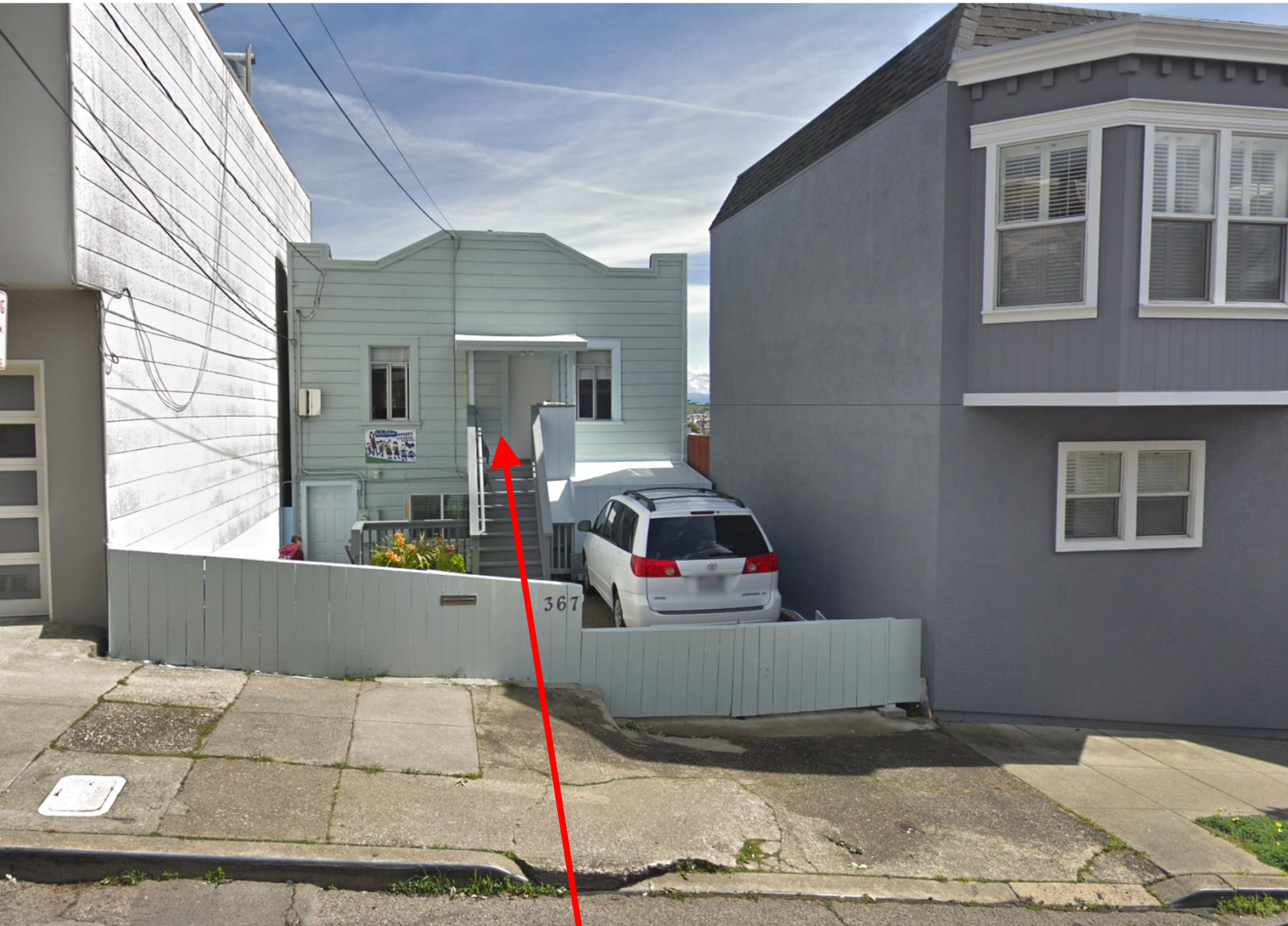


SUBJECT PROPERTY



Conditional Use Authorization Hearing
Case Number 2016-003825CUA
367 Hamilton Street

Site Photo



SUBJECT PROPERTY

Conditional Use Authorization Hearing
Case Number 2016-003825CUA
367 Hamilton Street

***** INVOICE *****

File Number: 367 Hamilton St

August 19, 2019

Jian X. & Mei H. Liang
367 Hamilton Street
San Francisco, CA. 94134 - 1437

Invoice # :
Order Date : 08/17/2019
Reference/Case # :
PO Number :

Jian X. & Mei H. Liang

367 Hamilton St
San Francisco, CA 94134 - 1437

1004/URAR SFR - Amended Report	\$	250.00
Not For Lending	\$	

Invoice Total	\$	250.00
State Sales Tax @	\$	0.00
Deposit	(\$)
Deposit	(\$)

Amount Due	\$	250.00

Terms: Bill For \$250.00

Please Make Check Payable To:

John Tom
2333 Turk Blvd.
San Francisco, CA. 94118

Fed. I.D. #: In File.

APPRAISAL OF



LOCATED AT:

367 Hamilton St
San Francisco, CA 94134 - 1437

CLIENT:

Derek Vinh/I.C.E. Design Team
90 South Spruce Ave., Ste K
South San Francisco, CA, 94080

AS OF:

July 29, 2019

BY:

John Tom
AR004372

August 19, 2019

Jian X. & Mei H. Liang

Derek Vinh/I.C.E. Design Team
90 South Spruce Ave., Ste K
South San Francisco, CA, 94080

File Number: 367 Hamilton St

Dear Derek.

In accordance with your request, I have appraised the real property at:

367 Hamilton St
San Francisco, CA 94134 - 1437

The purpose of this appraisal is to develop an opinion of the defined value of the subject property, as improved. The property rights appraised are the fee simple interest in the site and improvements.

In my opinion, the defined value of the property as of July 29, 2019 is:

\$930,000
Nine Hundred Thirty Thousand Dollars

The attached report contains the description, analysis and supportive data for the conclusions, final opinion of value, descriptive photographs, assignment conditions and appropriate certifications.



John Tom
AR004372

John Tom Appraisal Services
Residential Appraisal Report

File No. 367 Hamilton St

The purpose of this appraisal report is to provide the client with a credible opinion of the defined value of the subject property, given the intended use of the appraisal.

PURPOSE
Client Name/Intended User **Derek Vinh/I.C.E. Design Team** E-mail **info@icedesigninc.com**
Client Address **90 South Spruce Ave., Ste K** City **South San Francisco** State **CA** Zip **94080**
Additional Intended User(s) **None**
Intended Use **Fair Market Value, Not For Lending Propose.**

SUBJECT
Property Address **367 Hamilton St** City **San Francisco** State **CA** Zip **94134 - 1437**
Owner of Public Record **Liang, Jian X. & Mei H.** County **San Francisco**
Legal Description **See Prelim. Title Report For Full Legal Description.**
Assessor's Parcel # **Block#5987 Lot#022** Tax Year **2019** R.E. Taxes \$ **6,190**
Neighborhood Name **Portola** Map Reference **667-J7** Census Tract **0257.02**
Property Rights Appraised Fee Simple Leasehold Other (describe)

SALES HISTORY
My research did did not reveal any prior sales or transfers of the subject property for the three years prior to the effective date of this appraisal.
Prior Sale/Transfer: Date **10/10/2018** Price **SP:\$Unknown** Source(s) **NDCData: Doc#K68100485**
Analysis of prior sale or transfer history of the subject property (and comparable sales, if applicable) **Subject has had title history within the past 36 months.**
COE:10/10/20018, SP:\$Unknown, Doc#K68100485. Previous known COE: 02/19/2013, SP:\$220,000, Doc#J60300900;
COE:08/12/2010, SP:\$228,000, Doc#J01800676. All comps has had no title history within the past 36 months.

Offerings, options and contracts as of the effective date of the appraisal **N/A**

Neighborhood Characteristics		One-Unit Housing Trends		One-Unit Housing		Present Land Use %	
Location	<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban <input type="checkbox"/> Rural	Property Values	<input type="checkbox"/> Increasing <input checked="" type="checkbox"/> Stable <input type="checkbox"/> Declining	PRICE	AGE	One-Unit	65 %
Built-Up	<input checked="" type="checkbox"/> Over 75% <input type="checkbox"/> 25-75% <input type="checkbox"/> Under 25%	Demand/Supply	<input checked="" type="checkbox"/> Shortage <input type="checkbox"/> In Balance <input type="checkbox"/> Over Supply	\$(000)	(yrs)	2-4 Unit	29 %
Growth	<input type="checkbox"/> Rapid <input checked="" type="checkbox"/> Stable <input type="checkbox"/> Slow	Marketing Time	<input checked="" type="checkbox"/> Under 3 mths <input type="checkbox"/> 3-6 mths <input type="checkbox"/> Over 6 mths	550 Low	15	Multi-Family	2 %
Neighborhood Boundaries	Subject neighborhood is South of Silver Avenue, East of University Avenue, North of Mansel Street and West of San Bruno Avenue.		1,715 High	90	Commercial	2 %	
			1,190 Pred.	75	Other Sch/Pk	2 %	

Neighborhood Description **Subject is located in the Portola neighborhood within the City of San Francisco. Average access to local employment centers, Average to public transportation, neighborhood shoppings, schools & average freeway access. The demand for properties in this above average to good quality single family homes is average. Subject neighborhood consisted of mostly similar appeal, similar quality and age SFRs.**

Market Conditions (including support for the above conclusions) **Subject market condition is currently stable with slightly upswing in market value trend. Subject market exhibits limited known REO and short sales within the area. Properties listed at market often sold within 2 - 4 weeks of marketing period.. There is no significant pervalence or impact regarding discount, buydown.**

SITE
Dimensions **See Plat Map Attached** Area **3000 sf** Shape **Rectangular** View **Street View**
Specific Zoning Classification **RH-1** Zoning Description **Residential Housing, 1 Unit**
Zoning Compliance Legal Legal Nonconforming (Grandfathered Use) No Zoning Illegal (describe)
Is the highest and best use of the subject property as improved (or as proposed per plans and specifications) the present use? Yes No If No, describe. _____

Utilities	Public	Other (describe)	Public	Other (describe)	Off-site Improvements—Type	Public	Private
Electricity	<input checked="" type="checkbox"/>		Water	<input checked="" type="checkbox"/>	Street	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Gas	<input checked="" type="checkbox"/>		Sanitary Sewer	<input checked="" type="checkbox"/>	Alley	<input type="checkbox"/>	<input type="checkbox"/>

Site Comments **Subject is located on a typical size, interior location lot. No apparent easements, encroachments or environmental condition noted. See Prelim. title report for any easements. Prelim. title report not reviewed by this appraiser.**

GENERAL DESCRIPTION		FOUNDATION		EXTERIOR DESCRIPTION materials		INTERIOR materials	
Units	<input type="checkbox"/> One <input checked="" type="checkbox"/> One w/Acc. unit <input type="checkbox"/>	<input checked="" type="checkbox"/> Concrete Slab <input type="checkbox"/> Crawl Space	Foundation Walls	Concrete	Floors	Carpet/Wd/Avg	
# of Stories	2	<input type="checkbox"/> Full Basement <input type="checkbox"/> Partial Basement	Exterior Walls	Wood/Average	Walls	Plaster/Avg.	
Type	<input type="checkbox"/> Det. <input checked="" type="checkbox"/> Att. <input type="checkbox"/> S-Det./End Unit	Basement Area	0 sq. ft.	Roof Surface	Bitumen	Trim/Finish	Painted/Wd/Avg
<input checked="" type="checkbox"/> Existing <input type="checkbox"/> Proposed <input type="checkbox"/> Under Const.		Basement Finish	0 %	Gutters & Downspouts	Galv.Steel	Bath Floor	Ceramic/Avg
Design (Style)	Bungalow	<input type="checkbox"/> Outside Entry/Exit <input type="checkbox"/> Sump Pump	Window Type	Alum. Casement	Bath Wainscot	Ceramic/Avg	
Year Built	1908		Storm Sash/Insulated	None	Car Storage	<input checked="" type="checkbox"/> None	
Effective Age (Yrs)	20		Screens	Partial	Driveway	# of Cars	
Attic	<input checked="" type="checkbox"/> None	Heating	<input type="checkbox"/> FWA <input type="checkbox"/> HW <input type="checkbox"/> Radiant	Amenities	<input type="checkbox"/> WoodStove(s) #0	Driveway Surface	Concrete
<input type="checkbox"/> Drop Stair <input type="checkbox"/> Stairs		<input checked="" type="checkbox"/> Other None	Fuel	<input type="checkbox"/> Fireplace(s) #	<input checked="" type="checkbox"/> Fence Wood	Garage	# of Cars
<input type="checkbox"/> Floor <input type="checkbox"/> Scuttle		Cooling	<input type="checkbox"/> Central Air Conditioning	<input checked="" type="checkbox"/> Patio/Deck Conc	<input type="checkbox"/> Porch None	Carport	# of Cars
<input type="checkbox"/> Finished <input type="checkbox"/> Heated		<input type="checkbox"/> Individual <input checked="" type="checkbox"/> Other None	<input type="checkbox"/> Pool None	<input checked="" type="checkbox"/> Other Rear Yd	<input type="checkbox"/> Att. <input type="checkbox"/> Det. <input type="checkbox"/> Built-in		
Appliances	<input checked="" type="checkbox"/> Refrigerator <input type="checkbox"/> Range/Oven <input type="checkbox"/> Dishwasher <input checked="" type="checkbox"/> Disposal <input type="checkbox"/> Microwave <input type="checkbox"/> Washer/Dryer <input type="checkbox"/> Other (describe)						
Finished area above grade contains:	6 Rooms	2 Bedrooms	2 Bath(s)	960 Square Feet of Gross Living Area Above Grade			
Additional Features	See Attached Addendum						
Comments on the Improvements	No apparent major deferred maintenance noted. Subject overall improvements is in average condition.						

John Tom Appraisal Services
Residential Appraisal Report

File No. 367 Hamilton St

FEATURE	SUBJECT	COMPARABLE SALE NO. 1	COMPARABLE SALE NO. 2	COMPARABLE SALE NO. 3
367 Hamilton St Address San Francisco, CA 94134		1156 Bowdoin St San Francisco, CA 94134	751 Goettingen St San Francisco, CA 94134	628 Sweeny St San Francisco, CA 94134
Proximity to Subject		0.35 miles SE	0.38 miles SE	0.45 miles NW
Sale Price	\$ 0	\$ 1,040,000	\$ 910,000	\$ 880,000
Sale Price/Gross Liv. Area	\$ 0.00 sq. ft.	\$ 1,125.54 sq. ft.	\$ 997.81 sq. ft.	\$ 1,035.29 sq. ft.
Data Source(s)		MLS/SFAR#482427	MLS/SFAR#484095	MLS/SFAR#481112
Verification Source(s)		NDADData/Doc#K76000969	NDADData/Doc#K76100109	Verified By Listing Office
VALUE ADJUSTMENTS	DESCRIPTION	DESCRIPTION	DESCRIPTION	DESCRIPTION
Sale or Financing		ArmLth	ArmLth	ArmLth
Concessions		Conv;0	Conv;0	Conv;0
Date of Sale/Time		COE:04/29/2019	COE:04/29/2019	COE:04/04/2019
Location	Average	Average	Similar	Similar
Leasehold/Fee Simple	Fee	Fee	Fee	Fee
Site	3000 sf	3000 sf	2996 sf	2269 sf
View	Neighborhood/Avg.	Superior/City Vw	Superior/City Vw	Neighborhood/Avg.
Design (Style)	Bungalow	Traditional	Traditional	Traditional
Quality of Construction	Average	Average+	Average (-)	Average
Actual Age	111 Years	68 Yrs	68 Yrs	77 Yrs
Condition	Average	Average+	Average (-)	Average
Above Grade	Total Bdrms Baths	Total Bdrms Baths	Total Bdrms Baths	Total Bdrms Baths
Room Count	6 2 2	5 3 2	4 2 1	5 2 1
Gross Living Area 125	960 sq. ft.	924 sq. ft.	912 sq. ft.	850 sq. ft.
Basement & Finished	None	Bonus Rm/Bath	Bonus Fin. Rm	Bonus Rm/.5Ba
Rooms Below Grade		Legal/Permitted	Not Warranted	Not Warranted
Functional Utility	Average	Similar	Similar	Similar
Heating/Cooling	None	FAU/None	FAU/None	FAU/None
Energy Efficient Items	Average	Average	Similar	Similar
Garage/Carport	None	1 Car Garage	1 Car Garage	1 Car Garage
Porch/Patio/Deck	Concrete Patio	Similar	Similar	Similar
Fireplace	No Fireplace	1 Fireplace	1 Fireplace	No Fireplace
Rear Amenities	Fence,Rear Yd	Similar	Similar	Similar
DOM	N/A	DOM:17 Days	DOM:0 Days	DOM:30 Days
Net Adjustment (Total)		\$ 108,000	\$ 13,600	\$ 14,800
Adjusted Sale Price of Comparables		Net Adj. -10.4% Gross Adj. 11.3%	Net Adj. 1.5% Gross Adj. 13.0%	Net Adj. 1.7% Gross Adj. 7.4%
Summary of Sales Comparison Approach A thorough 6 months search of all databases available to this appraiser, it was concluded that the employed comparables sales and current active listings were the most similar to the subject overall, and are good substitutes for the subject property. An attempt was made by this appraiser to bracket the subject in terms of quality, room count and size. When warranted, adjustments for age, condition, room count, GLA, available garage parking and other amenities based on their contributory value as reflected in the market.				
COST APPROACH TO VALUE				
Site Value Comments Cost approach omitted due to lack of available information.				
COST APPROACH				
ESTIMATED <input type="checkbox"/> REPRODUCTION OR <input type="checkbox"/> REPLACEMENT COST NEW		OPINION OF SITE VALUE = \$		
Source of cost data		Dwelling 960 Sq. Ft. @ \$ = \$ 0		
Quality rating from cost service Effective date of cost data		Sq. Ft. @ \$ = \$		
Comments on Cost Approach (gross living area calculations, depreciation, etc.)		Garage/Carport Sq. Ft. @ \$ = \$		
The cost approach was not developed due to the difficulty in determining the accrued depreciation of older homes and the lack of available land sales in this market area.		Total Estimate of Cost-New = \$ 0		
		Less Physical Functional External		
		Depreciation = \$ (0)		
		Depreciated Cost of Improvements = \$ 0		
		"As-is" Value of Site Improvements = \$		
		INDICATED VALUE BY COST APPROACH = \$ 0		
INCOME APPROACH TO VALUE				
Estimated Monthly Market Rent \$ 0 X Gross Rent Multiplier 0 = \$ 0 Indicated Value by Income Approach				
Summary of Income Approach (including support for market rent and GRM) Income approach omitted due to lack of available rental data and does not best reflect the attitudes of buyers and sellers in this market place for single family home.				
Indicated Value by: Sales Comparison Approach \$ 930,000 Cost Approach (if developed) \$ 0 Income Approach (if developed) \$ 0				
The cost approach omitted; most weights is given toward the sales comparison approach as it is best reflect the attitudes of buyers and sellers in this market place. Income approach omitted due to lack of available rental data.				
RECONCILIATION				
This appraisal is made <input checked="" type="checkbox"/> "as is," <input type="checkbox"/> subject to completion per plans and specifications on the basis of a hypothetical condition that the improvements have been completed, <input type="checkbox"/> subject to the following repairs or alterations on the basis of a hypothetical condition that the repairs or alterations have been completed <input type="checkbox"/> subject to the following:				
Based on the scope of work, assumptions, limiting conditions and appraiser's certification, my (our) opinion of the defined value of the real property that is the subject of this report is \$ 930,000 as of 07/29/2019, which is the effective date of this appraisal.				

John Tom Appraisal Services
Residential Appraisal Report

File No. 367 Hamilton St

FEATURE	SUBJECT	COMPARABLE SALE NO. 4		COMPARABLE SALE NO. 5		COMPARABLE SALE NO. 6	
367 Hamilton St		875 Colby St		130 Hamilton St			
Address	San Francisco, CA 94134	San Francisco, CA 94134		San Francisco, CA 94134			
Proximity to Subject		0.48 miles SW		0.20 miles NW			
Sale Price	\$ 0	\$ 925,000		\$ 1,425,000		\$	
Sale Price/Gross Liv. Area	\$ 0.00 sq. ft.	\$ 1,106.46 sq. ft.		\$ 887.85 sq. ft.		\$	sq. ft.
Data Source(s)		MLS/SFAR#482371		MLS/SFAR#483351/Trust Sale			
Verification Source(s)		NDADData/Doc#K76000603		NDADData/Doc#K78500954			
VALUE ADJUSTMENTS	DESCRIPTION	DESCRIPTION	+() \$ Adjustment	DESCRIPTION	+() \$ Adjustment	DESCRIPTION	+() \$ Adjustment
Sale or Financing		Armlth		Armlth			
Concessions		Conv;0		Conv;0			
Date of Sale/Time		COE:04/26/2019		COE:06/25/2019			
Location	Average	Similar		Average			
Leasehold/Fee Simple	Fee	Fee		Fee			
Site	3000 sf	1875 sf	16,900	3600 sf			
View	Neighborhood/Avg.	Superior/City Vw	-25,000	Neighborhood/Avg.			
Design (Style)	Bungalow	Traditional	0	Traditional			
Quality of Construction	Average	Average+	-25,000	Average			
Actual Age	111 Years	68 Yrs	0	90 Yrs			
Condition	Average	Average+	-10,000	Average+	-10,000		
Above Grade	Total Bdrms Baths	Total Bdrms Baths		Total Bdrms Baths		Total Bdrms Baths	
Room Count	6 2 2	4 2 1	15,000	6 2 1	30,000		
Gross Living Area 125	960 sq. ft.	836 sq. ft.	15,500	1,605 sq. ft.	-80,600		sq. ft.
Basement & Finished	None	Bonus In-Law Ut	0	None Known			
Rooms Below Grade		Not Warranted	0				
Functional Utility	Average	Similar	0	Similar	0		
Heating/Cooling	None	BaseBd/None	-5,000	FAU/None	-5,000		
Energy Efficient Items	Average	Similar	0	Average			
Garage/Carport	None	1 Car Garage	-20,000	1 Car Acc/2 Tan	-40,000		
Porch/Patio/Deck	Concrete Patio	Similar	0	Similar	0		
Fireplace	No Fireplace	No Fireplace		1 Fireplace	-2,500		
Rear Amenities	Fence,Rear Yd	Similar	0	Similar	0		
DOM	N/A	DOM:30 Days	0	DOM:12 Days			
Net Adjustment (Total)		<input type="checkbox"/> + <input checked="" type="checkbox"/> -	\$ 37,600	<input type="checkbox"/> + <input checked="" type="checkbox"/> -	\$ 108,100	<input type="checkbox"/> + <input type="checkbox"/> -	\$
Adjusted Sale Price of Comparables		Net Adj. -4.1%		Net Adj. -7.6%		Net Adj. %	
		Gross Adj. 14.3%	\$ 887,400	Gross Adj. 11.8%	\$ 1,316,900	Gross Adj. %	\$
Summary of Sales Comparison Approach See Addendum...							

SALES COMPARISON APPROACH

Scope of Work, Assumptions and Limiting Conditions

Scope of work is defined in the Uniform Standards of Professional Appraisal Practice as "the type and extent of research and analyses in an assignment." In short, scope of work is simply what the appraiser did and did not do during the course of the assignment. It includes, but is not limited to: the extent to which the property is identified and inspected, the type and extent of data researched, the type and extent of analyses applied to arrive at opinions or conclusions.

The scope of this appraisal and ensuing discussion in this report are specific to the needs of the client, other identified intended users and to the intended use of the report. This report was prepared for the sole and exclusive use of the client and other identified intended users for the identified intended use and its use by any other parties is prohibited. The appraiser is not responsible for unauthorized use of the report.

The appraiser's certification appearing in this appraisal report is subject to the following conditions and to such other specific conditions as are set forth by the appraiser in the report. All extraordinary assumptions and hypothetical conditions are stated in the report and might have affected the assignment results.

1. The appraiser assumes no responsibility for matters of a legal nature affecting the property appraised or title thereto, nor does the appraiser render any opinion as to the title, which is assumed to be good and marketable. The property is appraised as though under responsible ownership.
 2. Any sketch in this report may show approximate dimensions and is included only to assist the reader in visualizing the property. The appraiser has made no survey of the property.
 3. The appraiser is not required to give testimony or appear in court because of having made the appraisal with reference to the property in question, unless arrangements have been previously made thereto.
 4. Neither all, nor any part of the content of this report, copy or other media thereof (including conclusions as to the property value, the identity of the appraiser, professional designations, or the firm with which the appraiser is connected), shall be used for any purposes by anyone but the client and other intended users as identified in this report, nor shall it be conveyed by anyone to the public through advertising, public relations, news, sales, or other media, without the written consent of the appraiser.
 5. The appraiser will not disclose the contents of this appraisal report unless required by applicable law or as specified in the Uniform Standards of Professional Appraisal Practice.
 6. Information, estimates, and opinions furnished to the appraiser, and contained in the report, were obtained from sources considered reliable and believed to be true and correct. However, no responsibility for accuracy of such items furnished to the appraiser is assumed by the appraiser.
 7. The appraiser assumes that there are no hidden or unapparent conditions of the property, subsoil, or structures, which would render it more or less valuable. The appraiser assumes no responsibility for such conditions, or for engineering or testing, which might be required to discover such factors. This appraisal is not an environmental assessment of the property and should not be considered as such.
 8. The appraiser specializes in the valuation of real property and is not a home inspector, building contractor, structural engineer, or similar expert, unless otherwise noted. The appraiser did not conduct the intensive type of field observations of the kind intended to seek and discover property defects. The viewing of the property and any improvements is for purposes of developing an opinion of the defined value of the property, given the intended use of this assignment. Statements regarding condition are based on surface observations only. The appraiser claims no special expertise regarding issues including, but not limited to: foundation settlement, basement moisture problems, wood destroying (or other) insects, pest infestation, radon gas, lead based paint, mold or environmental issues. Unless otherwise indicated, mechanical systems were not activated or tested.
- This appraisal report should not be used to disclose the condition of the property as it relates to the presence/absence of defects. The client is invited and encouraged to employ qualified experts to inspect and address areas of concern. If negative conditions are discovered, the opinion of value may be affected.
- Unless otherwise noted, the appraiser assumes the components that constitute the subject property improvement(s) are fundamentally sound and in working order.
- Any viewing of the property by the appraiser was limited to readily observable areas. Unless otherwise noted, attics and crawl space areas were not accessed. The appraiser did not move furniture, floor coverings or other items that may restrict the viewing of the property.
9. Appraisals involving hypothetical conditions related to completion of new construction, repairs or alteration are based on the assumption that such completion, alteration or repairs will be competently performed.
 10. Unless the intended use of this appraisal specifically includes issues of property insurance coverage, this appraisal should not be used for such purposes. Reproduction or Replacement cost figures used in the cost approach are for valuation purposes only, given the intended use of the assignment. The Definition of Value used in this assignment is unlikely to be consistent with the definition of Insurable Value for property insurance coverage/use.
 11. The ACI General Purpose Appraisal Report (GPAR™) is not intended for use in transactions that require a Fannie Mae 1004/Freddie Mac 70 form, also known as the Uniform Residential Appraisal Report (URAR).

Additional Comments Related To Scope Of Work, Assumptions and Limiting Conditions

Not for lending propose. Estimated market value based mostly on sales comparison approach only. Cost and Income approach omitted due to lack of available informations.

Appraiser's Certification

The appraiser(s) certifies that, to the best of the appraiser's knowledge and belief:

1. The statements of fact contained in this report are true and correct.
2. The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions and are the appraiser's personal, impartial, and unbiased professional analyses, opinions, and conclusions.
3. Unless otherwise stated, the appraiser has no present or prospective interest in the property that is the subject of this report and has no personal interest with respect to the parties involved.
4. The appraiser has no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
5. The appraiser's engagement in this assignment was not contingent upon developing or reporting predetermined results.
6. The appraiser's compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
7. The appraiser's analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice.
8. Unless otherwise noted, the appraiser has made a personal inspection of the property that is the subject of this report.
9. Unless noted below, no one provided significant real property appraisal assistance to the appraiser signing this certification. Significant real property appraisal assistance provided by:

Additional Certifications:

Not For Lending Purpose.

Definition of Value: Market Value Other Value: _____

Source of Definition: _____

Not for lending propose. Estimated market value based mostly on sales comparison approach only. Cost and Income approach omitted due to lack of available informations.

ADDRESS OF THE PROPERTY APPRAISED:

367 Hamilton St

San Francisco, CA 94134 - 1437

EFFECTIVE DATE OF THE APPRAISAL: 07/29/2019

APPRAISED VALUE OF THE SUBJECT PROPERTY \$ 930,000

APPRAISER

SUPERVISORY APPRAISER

Signature: 

Signature: _____

Name: John Tom

Name: _____

State Certification # AR004372

State Certification # _____

or License # N/A

or License # _____

or Other (describe): _____ State #: _____

State: _____

State: California

Expiration Date of Certification or License: _____

Expiration Date of Certification or License: 09/29/2020

Date of Signature: _____

Date of Signature and Report: 08/01/2019

Date of Property Viewing: _____

Date of Property Viewing: 07/29/2019

Degree of property viewing: _____

Degree of property viewing: Interior and Exterior Exterior Only Did not personally view

Interior and Exterior Exterior Only Did not personally view

ADDENDUM

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 Hamilton St	
Property Address: 367 Hamilton St	Case No.:	
City: San Francisco	State: CA	Zip: 94134 - 1437

Neighborhood Description

Subject is located in the Portola neighborhood within the City of San Francisco. Average access to local employment centers, Average to public transportation, neighborhood shoppings, schools & average freeway access. The demand for properties in this average to above average quality single family homes is average. Subject neighborhood consisted of mostly similar appeal, similar quality and age SFRs.

Property Conform Comments

Subject is 1908 construction, 2 stories, Traditional appeal, fully attached design property. Subject is located on a typical size, level interior lot. From standard physical appraisal interior/exterior inspection and inputs from owner, subject appears overall to be in average condition with adequate maintenance procedure Subject overall improvements is considered to be in average condition. Subject improvement is considered to be legal and conforming to current area zoning code, RH-1, Single Family Residence..

Additional Features

Hardwood flooring throughout, updates to kitchen and bath over the years. Additional bonus 2nd kitchen in the lower level. Legality not warranted. Addressed in this report for information only. No value given. Per client, scope of this report is to appraise subject property as a SFR with an unwarranted 2nd kitchen in the lower level. Bonus storage shed attached main dwelling. Physical measurement of subject property is similar to that reflected in public record, NDCData of 960 SF. No City's 3rs report or other documents was made available for appraiser review.

Analysis of Current Agreements

Subject has had title history within the past 36 months. COE:10/10/20018, SP:\$Unknown, Doc#K68100485. Previous known COE: 02/19/2013, SP:\$220,000, Doc#J60300900; COE:08/12/2010, SP:\$228,000, Doc#J01800676. All comps has had no title history within the past 36 months.

Subject Current Market Condition:

Subject market condition in the City of San Francisco market is currently considered to be stable with supply /demands in balance. Similar properties listed at market often sold within 2 - 4 weeks of marketing period. There is no significant prevalence or impact regarding discount, buydowns, or other concessions. Residences generally well with conventional financing or for cash.

Sales Comparison Analysis:

All comps are verified closed sales located within the subject's Portola neighborhood within the City of San Francisco.

Comp#1 is a newer in actual age, Traditonal design, attached appeal property. Superior in overall update level, superior in maintained improvements condition, (MLS/SFAR interior photos). Superior in city view amenities, similar in total legal bedrooms/baths count and slightly inferior in total legal GLA. Per MLS/SFAR, comp#4 has bonus finished room and bath in the garage level. Legality not warranted. Addressed in this report for information only. No value given. Superior in FAU heating system, superior in fireplace amenity and superior in 1 car garage parking. Comp#1 was listed for LP:\$959,999 and sold for SP:\$1,040,000 within DOM: 17 Days.

Comp#2 is a newer in actual age, Traditonal design, attached appeal, Trust sale property. Assumed to be inferior in overall update level, inferior in maintained improvements condition, (No MLS/SFAR interior photos included in listing report). Superior in city view amenities, similar in total legal bedrooms, inferior in total legal bath count and inferior in total legal GLA. Per MLS/SFAR, comp#3 has bonus finished room in the garage level. Legality not warranted. Addressed in this report for information only. No value given. Superior in FAU heating system, superior in fireplace amenity and superior in 1 car garage parking. Comp#2 was listed for LP:\$900,000 and sold for SP:\$910,000 within DOM: 0 Days.

Comp#3 is a newer in actual age, Traditonal design, attached appeal property. Similar in overall update/maintained improvements condition, (MLS/SFAR interior photos). Similar in total legal bedrooms, inferior in total legal bath count and inferior in total legal GLA. Per MLS/SFAR, comp#2 has bonus finished room and half bath in the garage level. Legality not warranted. Addressed in this report for information only. No value given. Superior in FAU heating system and superior in 1 car garage parking. Comp#3 was listed for LP:\$899,000 and sold for SP:\$880,000 within DOM: 30 Days. Comp#2 closing verified by Listing Office:Prime Metropolis Prop., Inc (415) 731-0303.

ADDENDUM

Client: Derek Vinh/I.C.E. Design Team

File No.: 367 Hamilton St

Property Address: 367 Hamilton St

Case No.:

City: San Francisco

State: CA

Zip: 94134 - 1437

Comp#4 is a newer in actual age, Traditional design, attached appeal property. Superior in overall update level, superior in maintained improvements condition, (MLS/SFAR interior photos). Superior in city view amenities, similar in total legal bedrooms, inferior in total legal bath count and inferior in total legal GLA. Per MLS/SFAR, Comp#1 has bonus in-law in the garage level. Legality not warranted. Addressed in this report for information only. No value given. Superior in baseboard electric heating system and superior in 1 car garage parking. Comp#4 was listed for LP:\$950,000 and sold for SP:\$925,000 within DOM: 30 Days.

Comp#5 is a newer in actual age, Traditional design, semi-detached appeal, trust sale property located on the same street location. Similar in overall update level, superior in maintained improvements condition, (MLS/SFAR interior photos). Similar in total legal bedrooms/baths count, superior in total legal GLA. Superior in FAU heating system, superior in fireplace amenity and superior in 2 cars tandem garage parking. Comp#5 was listed for LP:\$998,000 and sold for SP:\$1,425,000 within DOM: 12 Days.

My Comparable Search and Results.

All comps are the best available recent sales with similar in total legal bedroom/bath count and closest in total legal size properties located within the subject's Portola neighborhood in the City of San Francisco.

All comps has been considered; however, most weights is placed toward Sales#1 & 2 for support and bracket final estimated assignment result value for subject. Recent sales of similar total bedrooms/bath count and closet in overall size properties located within the neighborhood proximity.

Subject final result report value is below the predominate SFR value for the immediate market area is due to subject's overall size and inferior no enclosed car car parking garage area.

Comments on Sales Comparison

Thorough 6 months search of all databases available to this appraiser, it was concluded that the employed comparable sales were most similar to the overall subject property, and are considered to be good substitutes for the subject property. An attempt was made to bracket the subject in terms of quality, legal size and legal room count. Adjustments for age, improvement condition, room count and GLA, garage parking and other amenities based on their contributory value as reflected in the subject market. Where possible they have been based on data extracted from the market as well as opinions of realtors and other appraisers active in this market. Due to a lack of relevant comparables of similar legal room count and size, the necessity to utilize comparable dissimilar to the subject in one aspect or another.

Appraiser Independence Statement:

This appraiser has not performed any appraisal valuation service/s (including appraising, reviewing, BPOs, inspecting or updating) on the subject property within the past 36 months of the effective date of the current assignment.

The appraiser has prepared this limited, retro dated appraisal in full compliance with the Appraiser Independence Requirements as set by FNMA on 10/15/2010 and has not performed, participated in, or been associated with any activity in violation of these requirements.

The intended user of this report is the Client. The Intended use is to evaluate the property that is the subject of this limited, retro dated appraisal report is "NOT" to be use for a mortgage finance transaction, subject to the stated Scope of work, purpose of the appraisal report requirement of this appraisal report form and definition of Market Value. No additional intended users are identified by the appraiser.

This appraisal report has been completed utilizing digital transfer of information including signatures and photographs. The digitally transferred signature is protected and controlled by the appraiser through electronic password.

Additional Comments

ADDENDUM

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 Hamilton St	
Property Address: 367 Hamilton St	Case No.:	
City: San Francisco	State: CA	Zip: 94134 - 1437

This appraisal report is not a replacement for a "home inspection" report, Appraiser has conducted an exterior and interior inspection of the subject property for purposes of arriving at an opinion of value. Only health and safety conditions apparent at the property at the time of inspection, items for which disclosure is required, and matters bearing on value are identified in this report. The appraiser offers no opinion as to whether the subject property is in compliance with all applicable building code; such a determination is beyond the scope of this appraisal. The intended user should engage a home inspector or other appropriate, licensed professional to address matters of concern that are beyond the scope of this appraisal.

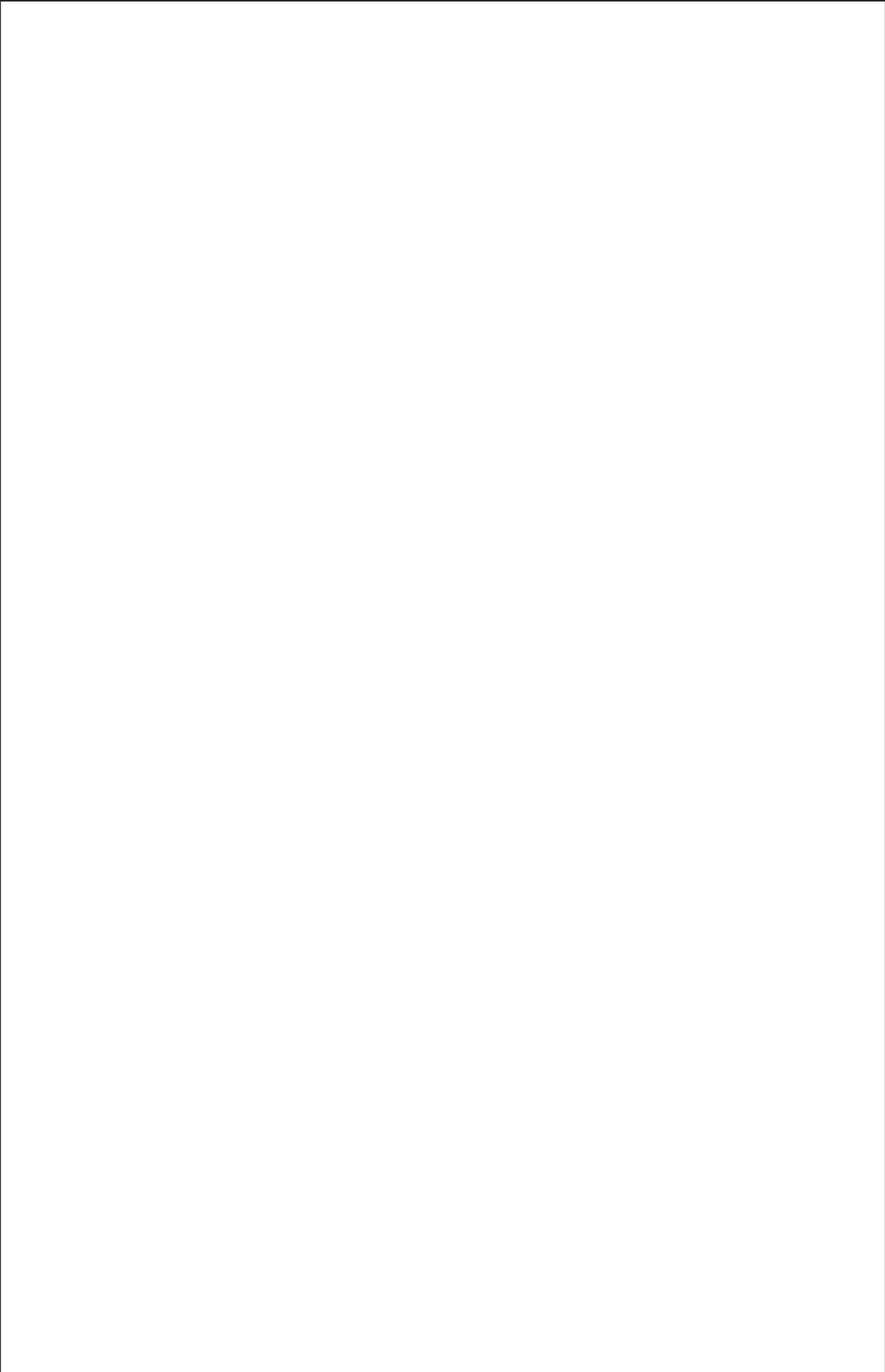
Site Comments

Subject is located on a level, typical size, interior location lot. No apparent easements, encroachments or environmental condition noted. See Prelim. title report for any easements. Prelim. title report not reviewed by this appraiser. Present improvements are in compliance to current zoning requirements. "San Francisco/San Francisco": FEMA has not completed a study to determine flood hazard for the selected location; therefore, a flood map has not been published at this time. There is no flood panel information available for this area.

John Tom
Appraiser/AR004372

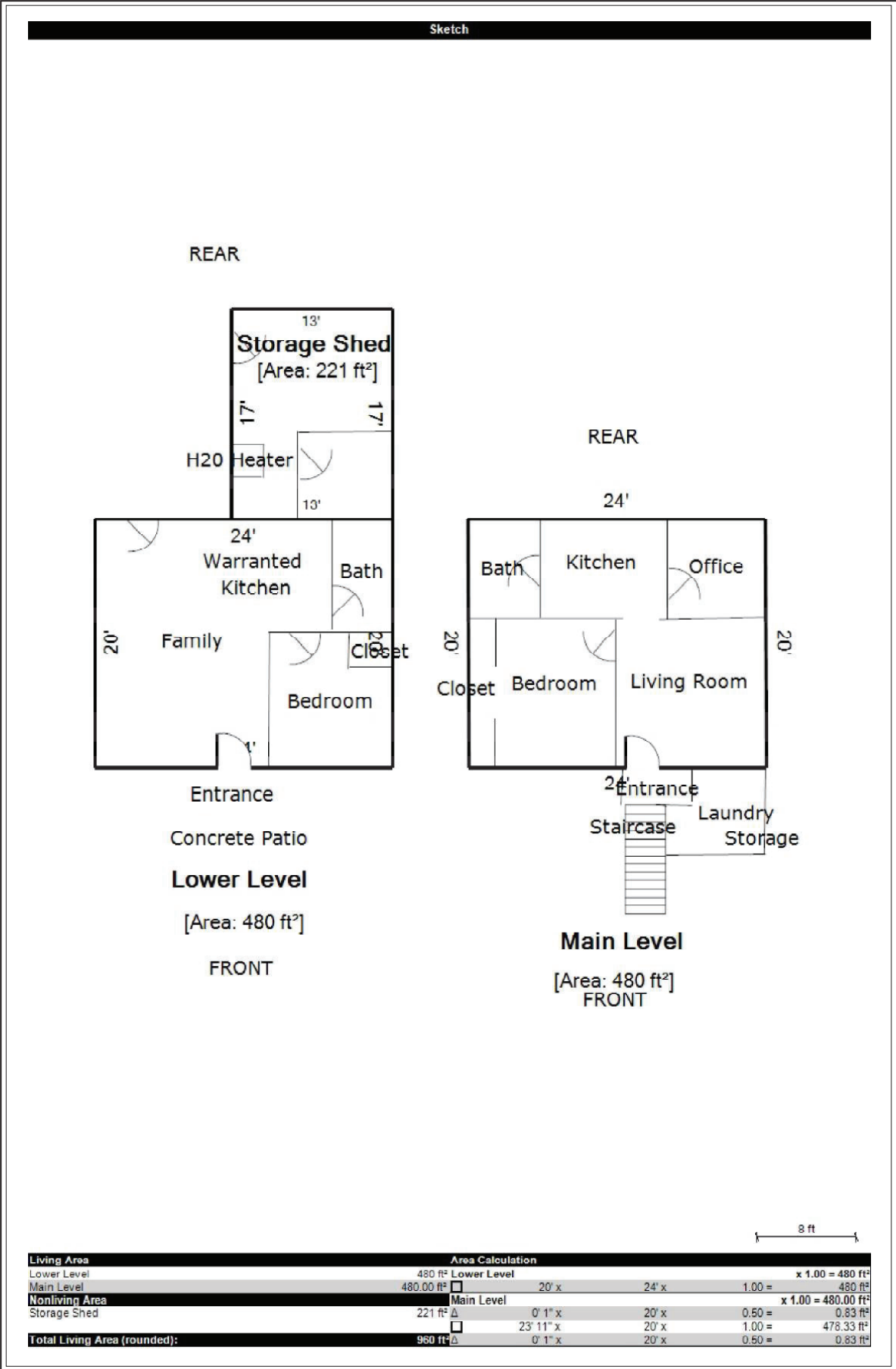
ADDENDUM

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 Hamilton St	
Property Address: 367 Hamilton St	Case No.:	
City: San Francisco	State: CA	Zip: 94134 - 1437



FLOORPLAN SKETCH

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 Hamilton St
Property Address: 367 Hamilton St	Case No.:
City: San Francisco	State: CA Zip: 94134 - 1437



DIMENSION LIST ADDENDUM

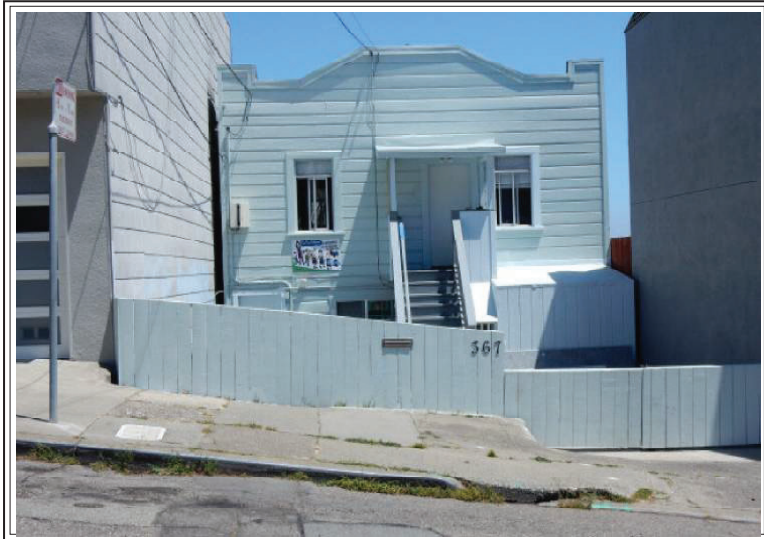
Client: Derek Vinh/I.C.E. Design Team File No.: 367 Hamilton St
Property Address: 367 Hamilton St Case No.: _____
City: San Francisco State: CA Zip: 94134 - 1437

GROSS BUILDING AREA (GBA)				960
GROSS LIVING AREA (GLA)				960
Area(s)	Area	% of GLA	% of GBA	
Living	960		100.00	
Level 1	0	0.00	0.00	
Level 2	0	0.00	0.00	
Level 3	0	0.00	0.00	
Other	960	100.00	100.00	
Basement <input type="checkbox"/>				
Garage <input type="checkbox"/>				
Other <input type="checkbox"/>	221			

Area Measurements			Area Type					
Measurements	Factor	Total	Level 1	Level 2	Level 3	Other	Bsmt.	Garage
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SUBJECT PROPERTY PHOTO ADDENDUM

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 Hamilton St
Property Address: 367 Hamilton St	Case No.:
City: San Francisco	State: CA Zip: 94134 - 1437



FRONT VIEW OF
SUBJECT PROPERTY

Appraised Date: July 29, 2019
Appraised Value: \$ 930,000



REAR VIEW OF
SUBJECT PROPERTY



STREET SCENE

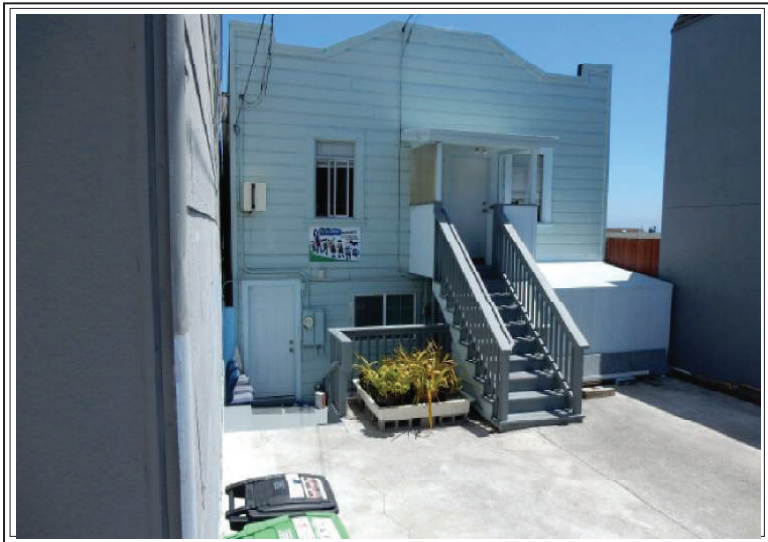
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North Direction/Street Scene



Left Side/Frontal View

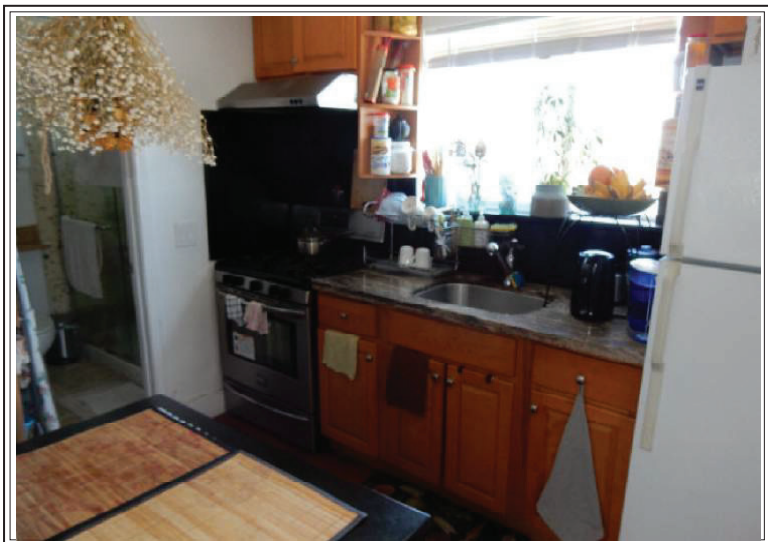


Right Side/Frontal View

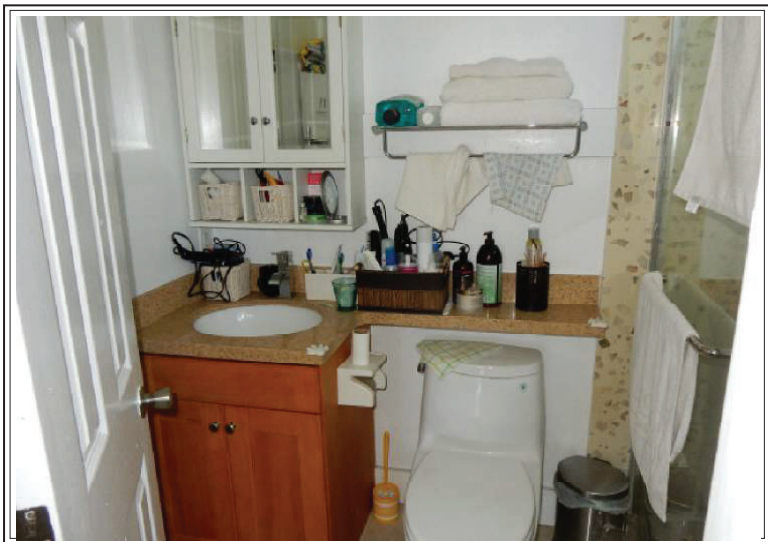
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Living Room

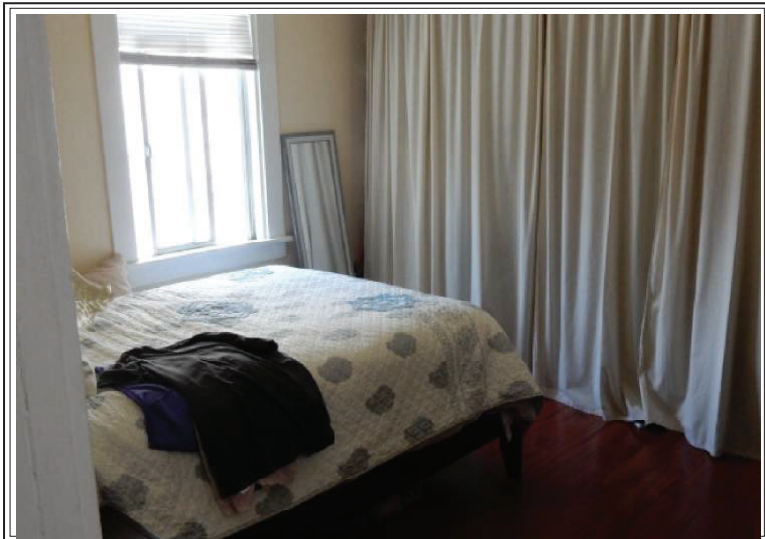


Kitchen

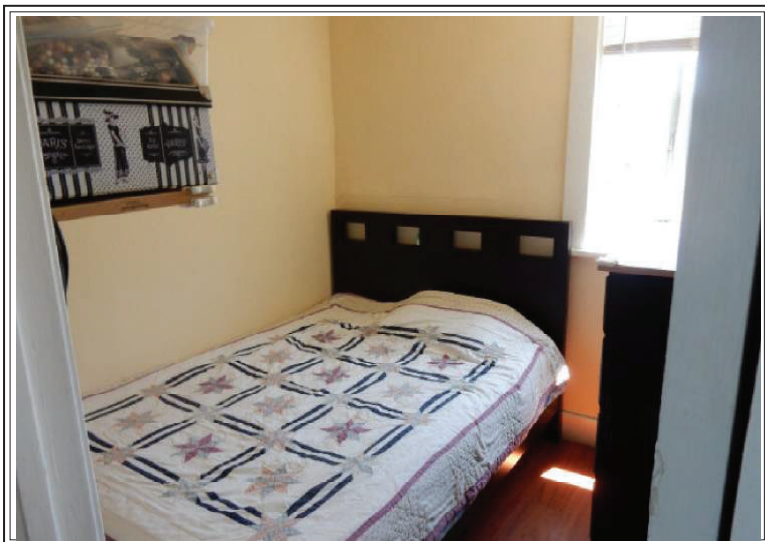


Bathroom

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 Hamilton St
Property Address: 367 Hamilton St	Case No.:
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Bedroom

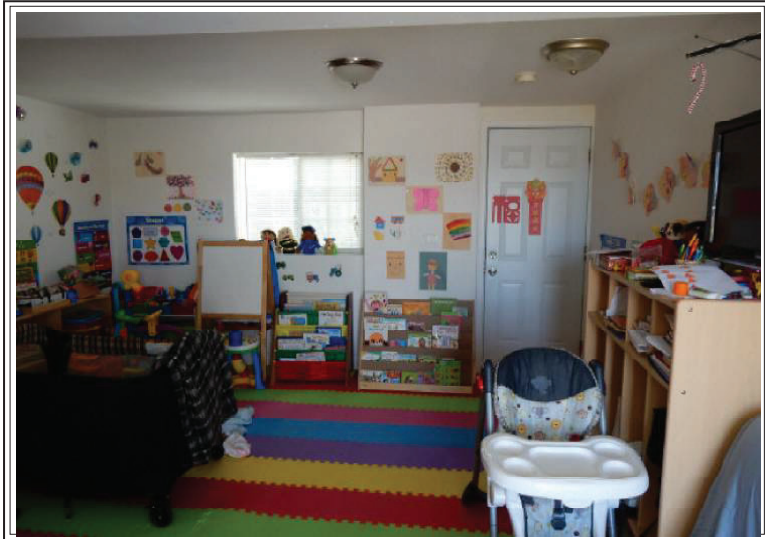


Bedroom



Smoke And Carbon Monoxide Detector

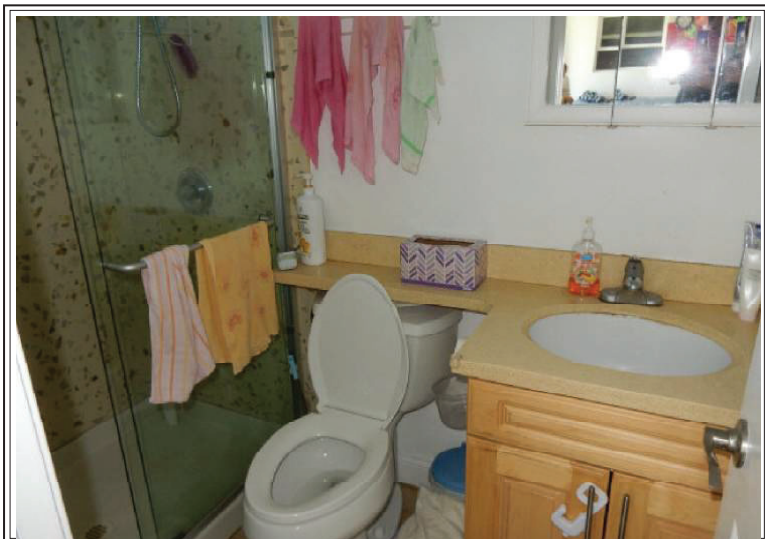
Client: Derek Vinh/I.C.E. Design Team	File No.: 367 Hamilton St
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City: San Francisco	State: CA Zip: 94134 - 1437



Family Room



2nd Kitchen
Non-Warranted 2nd Kitchen



Bathroom

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 Hamilton St	
Property Address: 367 Hamilton St	Case No.:	
City: San Francisco	State: CA	Zip: 94134 - 1437



Bedroom

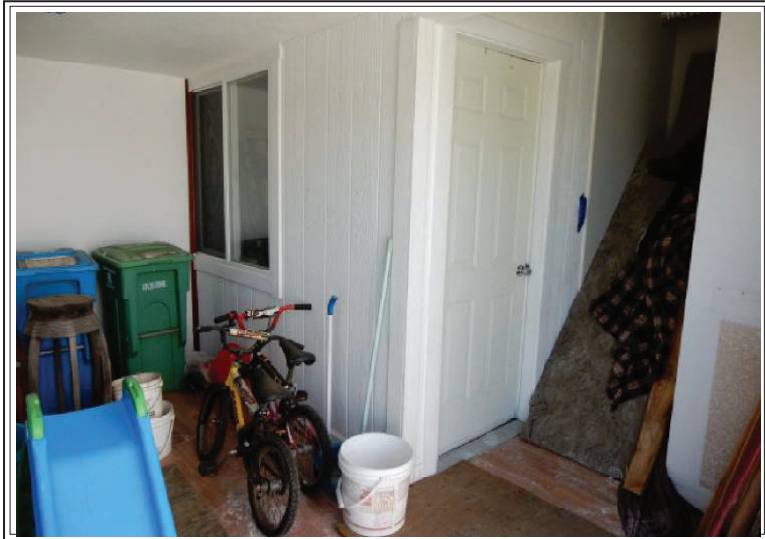


Smoke And Carbon Monoxide Detector

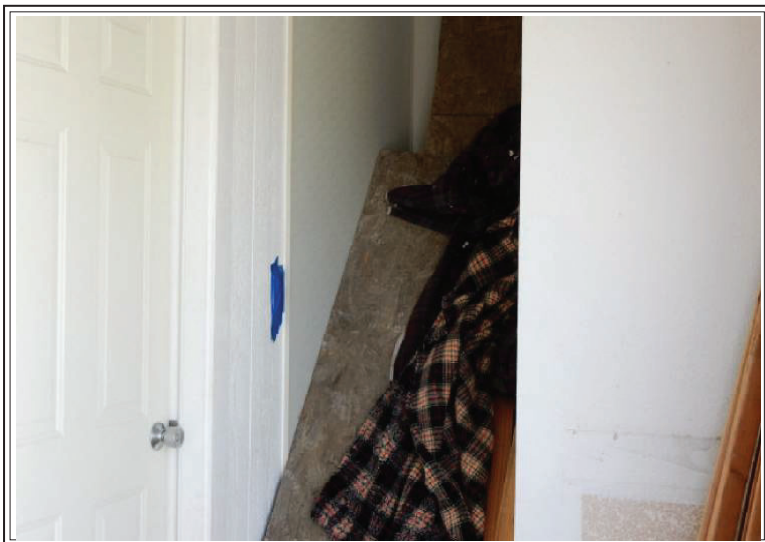


Rear Bonus Storage Shed

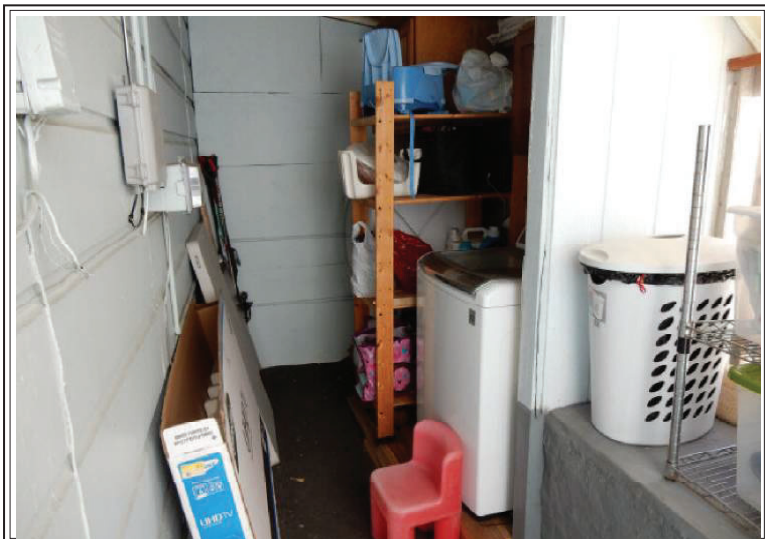
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Bonus Storage Room in Shed



Bonus Storage Shed



Exterior Laundry Hook-Up And Storage

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 Hamilton St
Property Address: 367 Hamilton St	Case No.:
City: San Francisco	State: CA Zip: 94134 - 1437



Front Concrete Patio Area

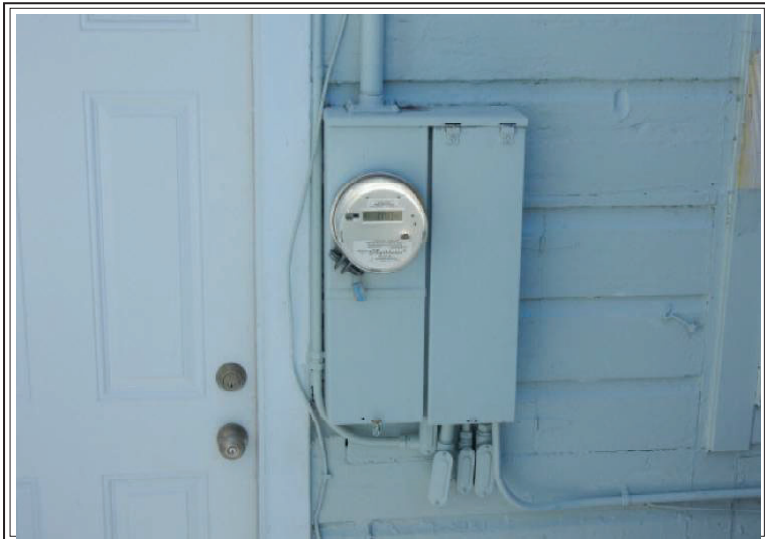


Rear Yard



Hot H2O Heater
Behind Tight Door

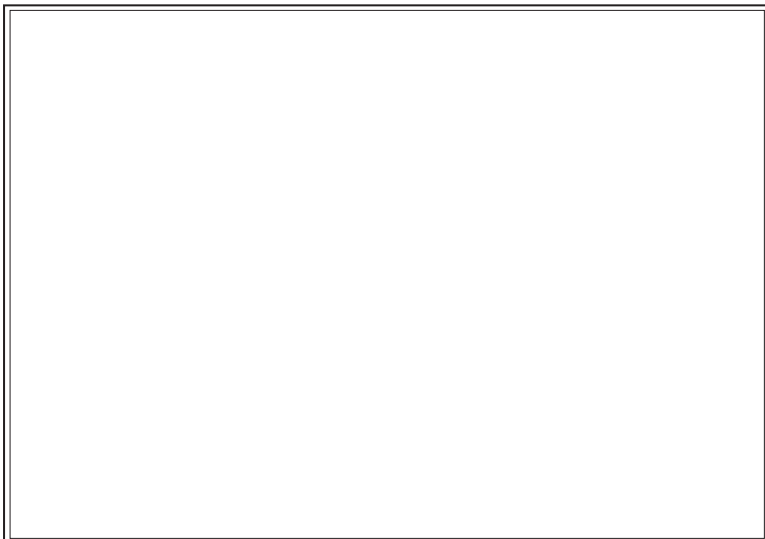
Client: Derek Vinh/I.C.E. Design Team	File No.: 367 Hamilton St
Property Address: 367 Hamilton St	Case No.:
City: San Francisco	State: CA
	Zip: 94134 - 1437



PG & E Meter



Gas Meter



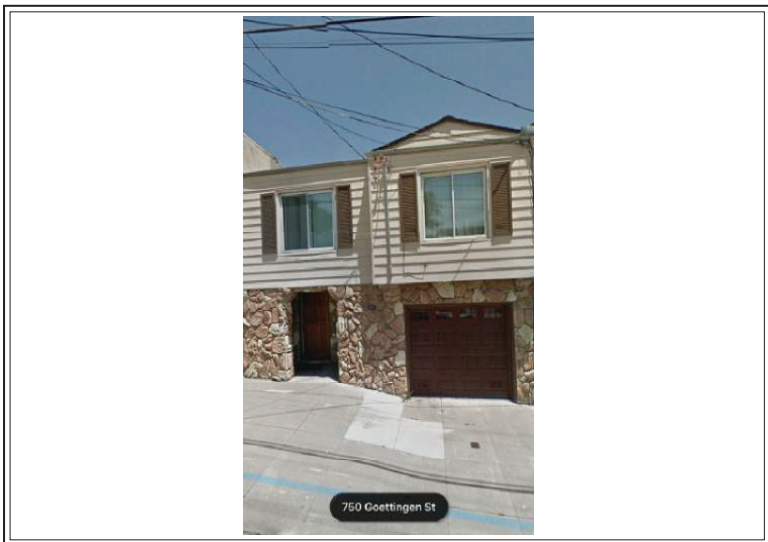
COMPARABLE PROPERTY PHOTO ADDENDUM

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 Hamilton St
Property Address: 367 Hamilton St	Case No.:
City: San Francisco	State: CA Zip: 94134 - 1437



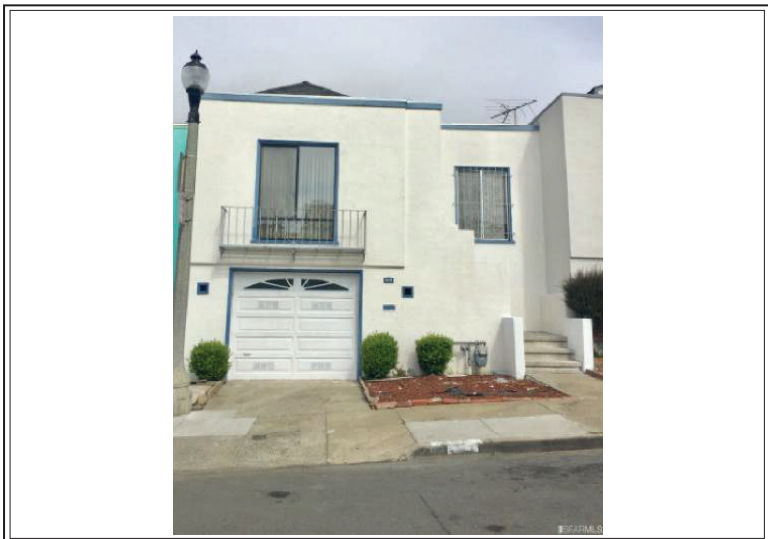
COMPARABLE SALE #1

1156 Bowdoin St
San Francisco, CA 94134
Sale Date: COE:04/29/2019
Sale Price: \$ 1,040,000



COMPARABLE SALE #2

751 Goettingen St
San Francisco, CA 94134
Sale Date: COE:04/29/2019
Sale Price: \$ 910,000



COMPARABLE SALE #3

628 Sweeny St
San Francisco, CA 94134
Sale Date: COE:04/04/2019
Sale Price: \$ 880,000

COMPARABLE PROPERTY PHOTO ADDENDUM

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 Hamilton St
Property Address: 367 Hamilton St	Case No.:
City: San Francisco	State: CA Zip: 94134 - 1437



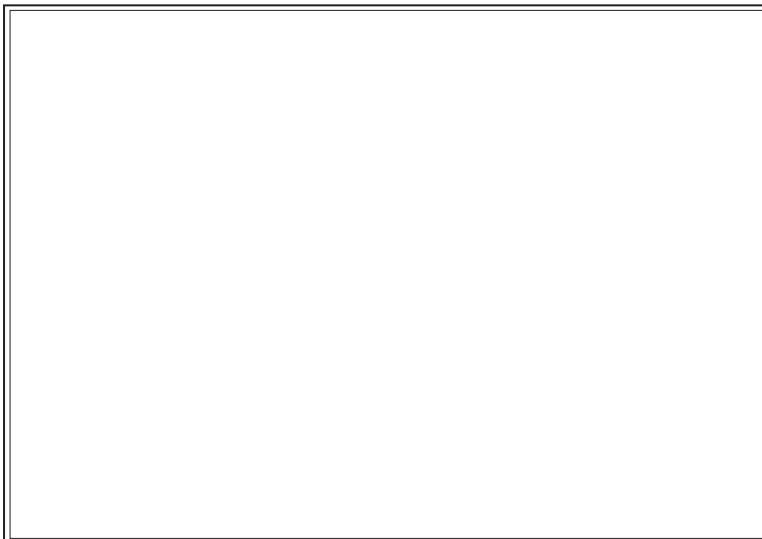
COMPARABLE SALE #4

875 Colby St
San Francisco, CA 94134
Sale Date: COE:04/26/2019
Sale Price: \$ 925,000



COMPARABLE SALE #5

130 Hamilton St
San Francisco, CA 94134
Sale Date: COE:06/25/2019
Sale Price: \$ 1,425,000



COMPARABLE SALE #6

Sale Date:
Sale Price: \$

PLAT MAP

Client: Derek Vinh/I.C.E. Design Team
Property Address: 367 Hamilton St
City: San Francisco

File No.: 367 Hamilton St
Case No.:
State: CA Zip: 94134 - 1437

6/13/2019

06075_5987_0Pq.png (1800*2105)

© COPYRIGHT SAN FRANCISCO
CITY & COUNTY ASSESSOR 1995

5987

UNIV MD TRACT SUR
BLK 34

LOTS MERGED
Map merged into Galt 1-3 map

REVISED '87
REVISED '82
'88



BURROWS

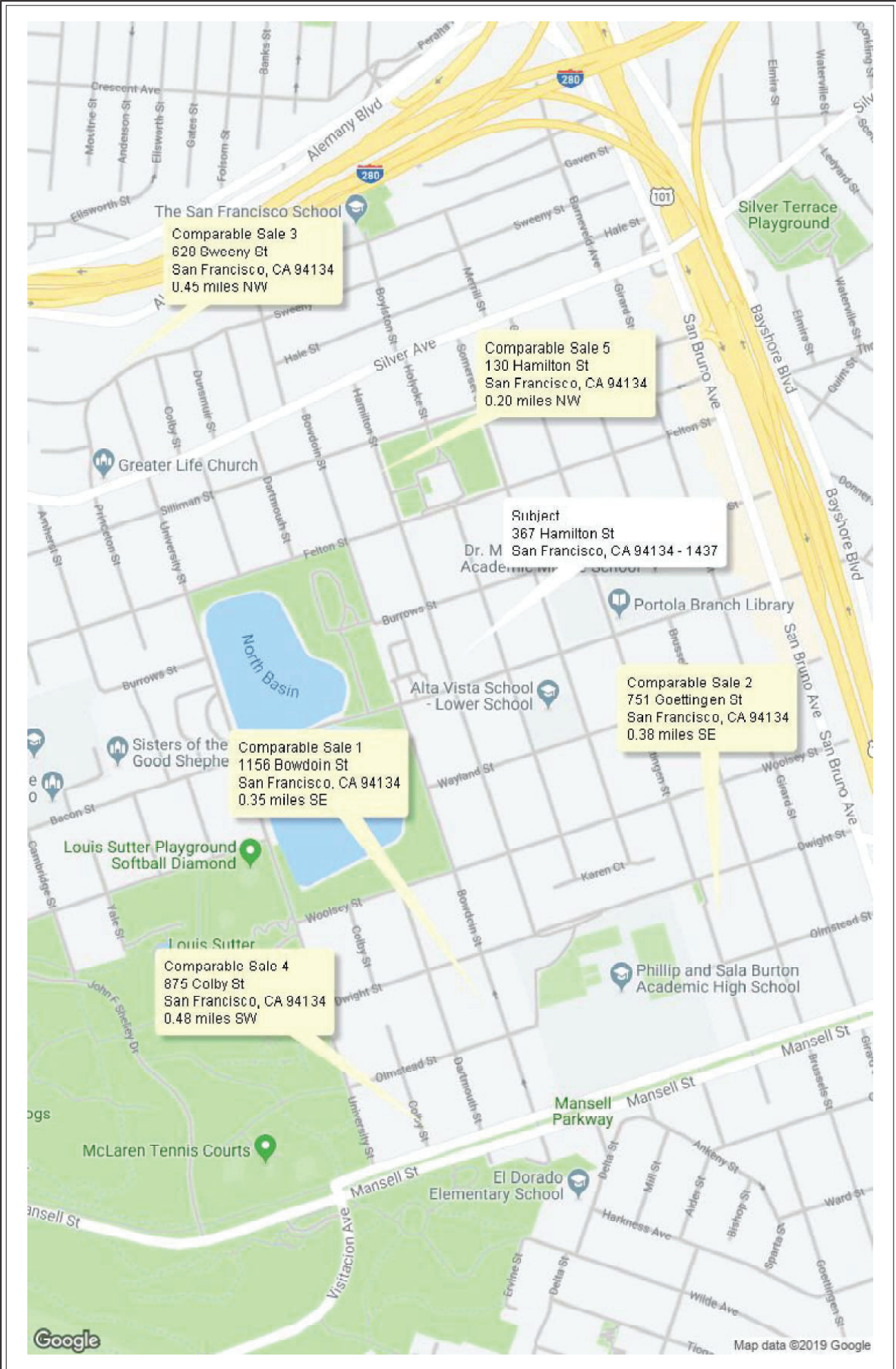


https://www.parcelquest.com/search/maps/06075_5987_0Pq.png

LOCATION MAP

Client: Derek Vinh/I.C.E. Design Team
Property Address: 367 Hamilton St
City: San Francisco

File No.: 367 Hamilton St
Case No.:
State: CA
Zip: 94134 - 1437



Scope of Work, Assumptions and Limiting Conditions

Scope of work is defined in the Uniform Standards of Professional Appraisal Practice as "the type and extent of research and analyses in an assignment." In short, scope of work is simply what the appraiser did and did not do during the course of the assignment. It includes, but is not limited to: the extent to which the property is identified and inspected, the type and extent of data researched, the type and extent of analyses applied to arrive at opinions or conclusions.

The scope of this appraisal and ensuing discussion in this report are specific to the needs of the client, other identified intended users and to the intended use of the report. This report was prepared for the sole and exclusive use of the client and other identified intended users for the identified intended use and its use by any other parties is prohibited. The appraiser is not responsible for unauthorized use of the report.

The appraiser's certification appearing in this appraisal report is subject to the following conditions and to such other specific conditions as are set forth by the appraiser in the report. All extraordinary assumptions and hypothetical conditions are stated in the report and might have affected the assignment results.

1. The appraiser assumes no responsibility for matters of a legal nature affecting the property appraised or title thereto, nor does the appraiser render any opinion as to the title, which is assumed to be good and marketable. The property is appraised as though under responsible ownership.
2. Any sketch in this report may show approximate dimensions and is included only to assist the reader in visualizing the property. The appraiser has made no survey of the property.
3. The appraiser is not required to give testimony or appear in court because of having made the appraisal with reference to the property in question, unless arrangements have been previously made thereto.
4. Neither all, nor any part of the content of this report, copy or other media thereof (including conclusions as to the property value, the identity of the appraiser, professional designations, or the firm with which the appraiser is connected), shall be used for any purposes by anyone but the client and other intended users as identified in this report, nor shall it be conveyed by anyone to the public through advertising, public relations, news, sales, or other media, without the written consent of the appraiser.
5. The appraiser will not disclose the contents of this appraisal report unless required by applicable law or as specified in the Uniform Standards of Professional Appraisal Practice.
6. Information, estimates, and opinions furnished to the appraiser, and contained in the report, were obtained from sources considered reliable and believed to be true and correct. However, no responsibility for accuracy of such items furnished to the appraiser is assumed by the appraiser.
7. The appraiser assumes that there are no hidden or unapparent conditions of the property, subsoil, or structures, which would render it more or less valuable. The appraiser assumes no responsibility for such conditions, or for engineering or testing, which might be required to discover such factors. This appraisal is not an environmental assessment of the property and should not be considered as such.
8. The appraiser specializes in the valuation of real property and is not a home inspector, building contractor, structural engineer, or similar expert, unless otherwise noted. The appraiser did not conduct the intensive type of field observations of the kind intended to seek and discover property defects. The viewing of the property and any improvements is for purposes of developing an opinion of the defined value of the property, given the intended use of this assignment. Statements regarding condition are based on surface observations only. The appraiser claims no special expertise regarding issues including, but not limited to: foundation settlement, basement moisture problems, wood destroying (or other) insects, pest infestation, radon gas, lead based paint, mold or environmental issues. Unless otherwise indicated, mechanical systems were not activated or tested.

This appraisal report should not be used to disclose the condition of the property as it relates to the presence/absence of defects. The client is invited and encouraged to employ qualified experts to inspect and address areas of concern. If negative conditions are discovered, the opinion of value may be affected.

Unless otherwise noted, the appraiser assumes the components that constitute the subject property improvement(s) are fundamentally sound and in working order.

Any viewing of the property by the appraiser was limited to readily observable areas. Unless otherwise noted, attics and crawl space areas were not accessed. The appraiser did not move furniture, floor coverings or other items that may restrict the viewing of the property.

9. Appraisals involving hypothetical conditions related to completion of new construction, repairs or alteration are based on the assumption that such completion, alteration or repairs will be competently performed.
10. Unless the intended use of this appraisal specifically includes issues of property insurance coverage, this appraisal should not be used for such purposes. Replacement or cost figures used in the cost approach are for valuation purposes only, given the intended use of the assignment. The Definition of Value used in this assignment is unlikely to be consistent with the definition of Insurable Value for property insurance coverage/use.
11. The ACI General Purpose Appraisal Report (GPAR™) is not intended for use in transactions that require a Fannie Mae 1004/Freddie Mac 70 form, also known as the Uniform Residential Appraisal Report (URAR).

Additional Comments Related To Scope Of Work, Assumptions and Limiting Conditions

Scope of Work: Fair market value. Not for lending proposes.

Appraiser's Certification

The appraiser(s) certifies that, to the best of the appraiser's knowledge and belief:

1. The statements of fact contained in this report are true and correct.
2. The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions and are the appraiser's personal, impartial, and unbiased professional analyses, opinions, and conclusions.
3. Unless otherwise stated, the appraiser has no present or prospective interest in the property that is the subject of this report and has no personal interest with respect to the parties involved.
4. The appraiser has no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
5. The appraiser's engagement in this assignment was not contingent upon developing or reporting predetermined results.
6. The appraiser's compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
7. The appraiser's analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice.
8. Unless otherwise noted, the appraiser has made a personal inspection of the property that is the subject of this report.
9. Unless noted below, no one provided significant real property appraisal assistance to the appraiser signing this certification. Significant real property appraisal assistance provided by:

Additional Certifications:

Not for lending propose. Estimated market value based mostly on sales comparison approach only. Cost and Income approach omitted due to lack of available informations.

Definition of Value: Market Value Other Value: Fair Market Value. Not For Lending Propose.
 Source of Definition: _____

ADDRESS OF THE PROPERTY APPRAISED:

367 Hamilton St

San Francisco, CA 94134 - 1437

EFFECTIVE DATE OF THE APPRAISAL: July 29, 2019

APPRAISED VALUE OF THE SUBJECT PROPERTY \$ 930,000

APPRAISER

Signature: 

Name: John Tom

Company Name: John Tom Appraisal Services

Company Address: 2333 Turk Blvd.

San Francisco, CA. 94118

Telephone Number: (415) 751-5530

Email Address: turkit@aol.com

State Certification # AR004372

or License # N/A

or Other (describe): _____ State #: _____

State: California

Expiration Date of Certification or License: 09/29/2020

Date of Signature and Report: 08/01/2019

Date of Property Viewing: 07/29/2019

Degree of property viewing:

Interior and Exterior Exterior Only Did not personally view

SUPERVISORY APPRAISER

Signature: _____

Name: _____

Company Name: _____

Company Address: _____

Telephone Number: _____

Email Address: _____

State Certification # _____

or License # _____

State: _____

Expiration Date of Certification or License: _____

Date of Signature: _____

Date of Property Viewing: _____

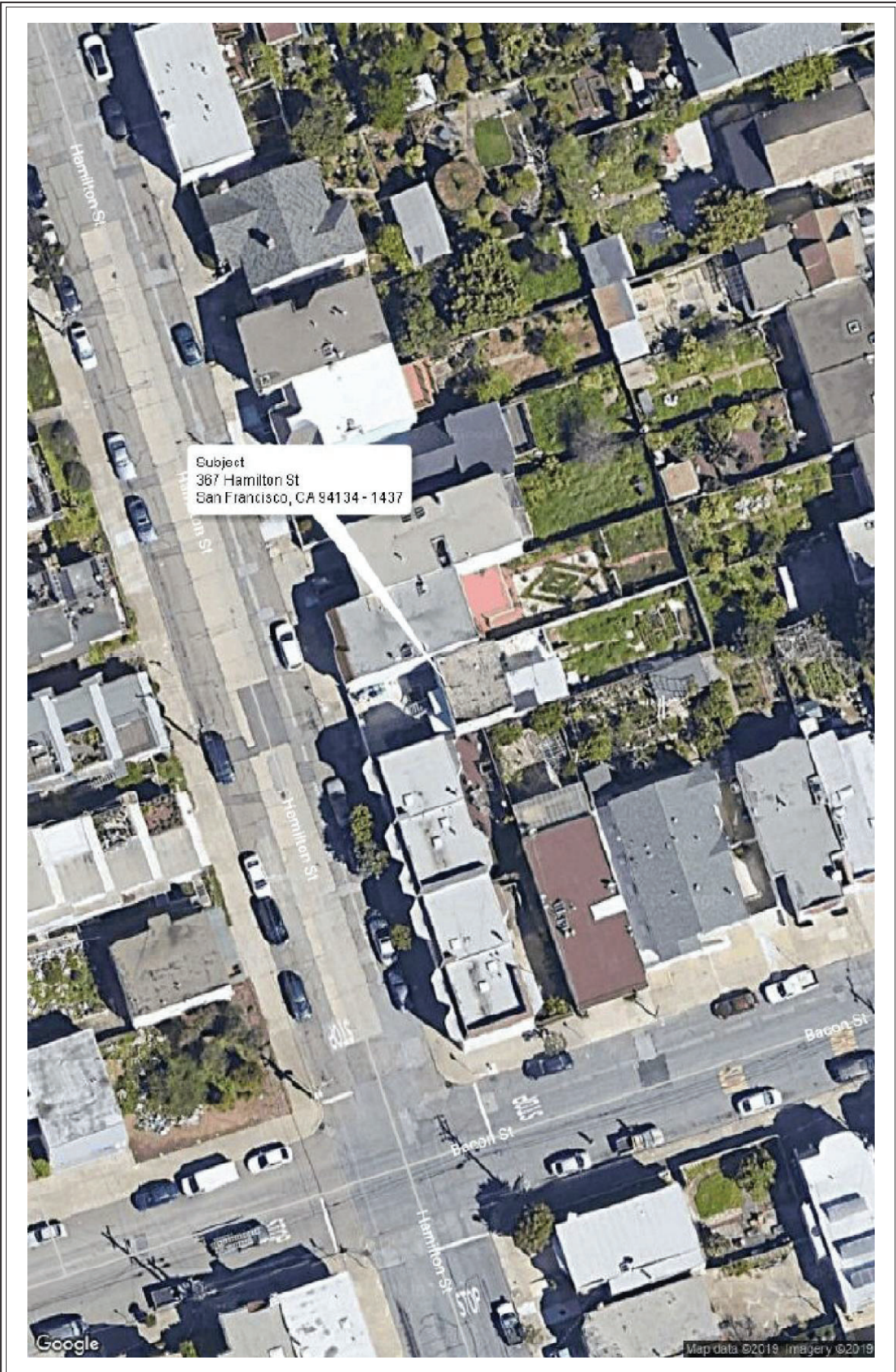
Degree of property viewing:

Interior and Exterior Exterior Only Did not personally view

AERIAL MAP

Client: Derek Vinh/I.C.E. Design Team
Property Address: 367 Hamilton St
City: San Francisco

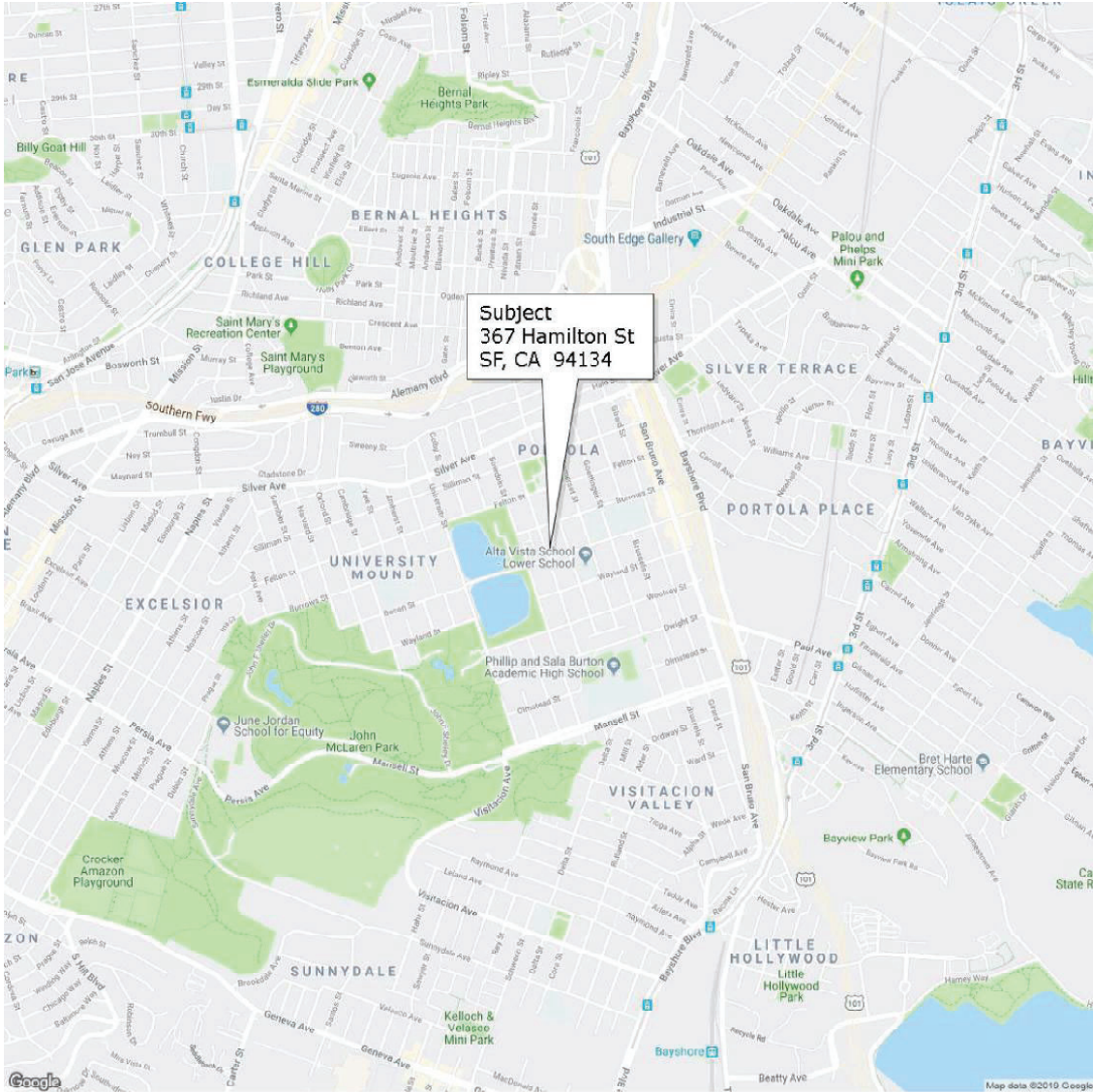
File No.: 367 Hamilton St
Case No.:
State: CA Zip: 94134 - 1437



FLOOD MAP

Client: Derek Vinh/I.C.E. Design Team
 Property Address: 367 Hamilton St
 City: San Francisco

File No.: 367 Hamilton St
 Case No.:
 State: CA
 Zip: 94134 - 1437



FLOOD INFORMATION

Community:
 FEMA Data is unavailable for this area
 FIPS: 06075

LEGEND

- = FEMA Special Flood Hazard Area – High Risk
- = Moderate and Minimal Risk Areas
- Road View:**
- = Forest
- = Water

Sky Flood™

No representations or warranties to any party concerning the content, accuracy or completeness of this flood report, including any warranty of merchantability or fitness for a particular purpose is implied or provided. Visual scaling factors differ between map layers and are separate from flood zone information at marker location. No liability is accepted to any third party for any use or misuse of this flood map or its data.

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 Hamilton St	
Property Address: 367 Hamilton St	Case No.:	
City: San Francisco	State: CA	Zip: 94134 - 1437



1438-F West Main Street
Ephrata, PA 17522-1345

Phone 717-721-3500
Fax 717-721-3515

07/24/18

John Tom d/b/a
John Tom Appraisal Services
2333 Turk Blvd
San Francisco CA 94118

Email turkjt@aol.com

Re: Errors & Omissions for Real Estate Appraisers
Insurance Company: Lexington Insurance Company
Certificate #: 013648626-06 Certificate Period: 09/01/18 to 09/01/19

This note is to confirm that the application on file for the above named insured shows the following appraisers listed:

Licensed Appraisers
John Tom

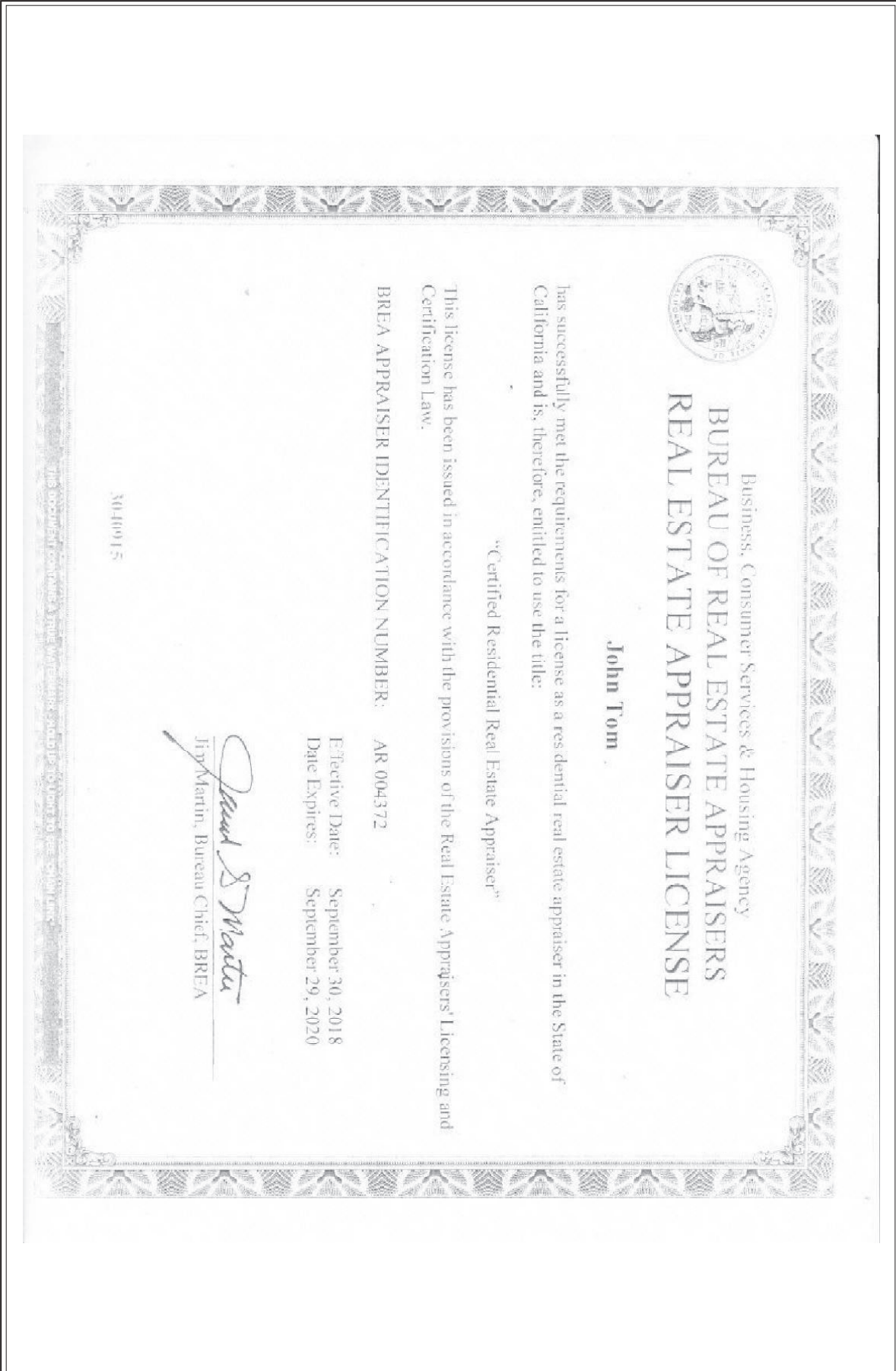
Allen G. Barry III

Client: Derek Vinh/I.C.E. Design Team
Property Address: 367 Hamilton St
City: San Francisco

File No.: 367 Hamilton St
Case No.:

State: CA

Zip: 94134 - 1437



Property Profile

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 Hamilton St
Property Address: 367 Hamilton St	Case No.:
City: San Francisco	State: CA Zip: 94134 - 1437



County Last Updated: 06/07/2019

Property Location

Address: 367 HAMILTON ST # 367A	City: SAN FRANCISCO	Zip: 94134-1437
APN#: 5987 -022	Use Code: Duplex	County: San Francisco
Tract: UNIVERSITY MOUND	Census Tract: 257.02	Zone: RH1
Map Page/Grid: 667/ 37	Legal Desc: BLK 34 LOT 6	
Total Assessed Value: 459,956	Tax Amount: 6,189.76	
Percent Improvement: 29.00	Tax Year / Assessor Year: 2018 / 2018	

Current Owner Information

Current Owner: LIANG, JIAN X & MEI H	Owner Address: 367 HAMILTON ST
City, State, Zip: SAN FRANCISCO, CA, 94134-1437	Owner Occupied: No
Last Transaction: 10/10/2018	Deed Type:
Amount:	Document: 0K68100485

Last Sale Information

Transferred From: TAM, KEN S K	Seller Address:
Recording / Sale Date: 02/19/2013 / 09/11/2012	Prior Recording / Sale Date: 08/12/2010 / 07/28/2010
Most Recent Sale Price: 220,000	Prior Sale Price: 228,000
Document Number: 0260300900	Prior Document No.: 0J01800676
Document Type: grant deed/deed of trust	Prior Document Type:

Lender Information

Lender:	Full/Partial: F
Loan Amount / 2nd Trust Deed: 0 / 0	Loan Type: conventional

Physical Information

Building Area: 960	# of Bedrooms: 2	Lot Size: sqft / acreage: 3,000 / 0.07
Additional: 0	# of Bathrooms: 2.00	Year Built / Effective: 1908 / 0
Garage: 0	# of Stories: 2	Heating:
First Floor: 0	Total Rooms: 6	Cooling:
Second Floor: 0	# of Units: 2	Roof Type:
Third Floor: 0	Garage/Carport: /	Construction/Quality: Wood Frame / 0
Basement Finished: 0	Fireplaces: 0	Building Shape:
Basement Unfinished: 0	Pool/Spa: No	View:

Borrower: Greg Hsu
 Property Address: 367 Hamilton St
 City: San Francisco County: San Francisco State: CA Zip Code: 94134 - 1437
 Lender/Client: Derek Vinh/I.C.E. Design Team

APPRAISAL AND REPORT IDENTIFICATION
 This appraisal report is one of the following types:
 Appraisal Report This report was prepared in accordance with the requirements of the Appraisal Report option of USPAP Standards Rule 2-2(a).
 Restricted Appraisal Report This report was prepared in accordance with the requirements of the Restricted Appraisal Report option of USPAP Standards Rule 2-2(b). The intended user of this report is limited to the identified client. This is a Restricted Appraisal Report and the rationale for how the appraiser arrived at the opinions and conclusions set forth in the report may not be understood properly without the additional information in the appraiser's workfile.

ADDITIONAL CERTIFICATIONS
 I certify that, to the best of my knowledge and belief:

- The statements of fact contained in this report are true and correct.
- The report analyses, opinions, and conclusions are limited only by the reported assumptions and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.
- I have no (or the specified) present or prospective interest in the property that is the subject of this report and no (or specified) personal interest with respect to the parties involved.
- I have no bias with respect to the property or the parties involved with this assignment.
- My engagement in this assignment was not contingent upon developing or reporting predetermined results.
- My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
- My analyses, opinions, and conclusions were developed and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice.
- This appraisal report was prepared in accordance with the requirements of Title XI of FIRREA and any implementing regulations.

PRIOR SERVICES

I have NOT performed services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.

I HAVE performed services, as an appraiser or in another capacity, regarding the property that is subject of this report within the three-year period immediately preceding acceptance of this assignment. Those services are described in the comments below.

PROPERTY INSPECTION

I have NOT made a personal inspection of the property that is the subject of this report.

I HAVE made a personal inspection of the property that is the subject of this report.


APPRAISAL ASSISTANCE
 Unless otherwise noted, no one provided significant real property appraisal assistance to the person signing this certification. If anyone did provide significant assistance, they are hereby identified along with a summary of the extent of the assistance provided in the report.

ADDITIONAL COMMENTS
 Additional USPAP related issues requiring disclosure and/or any state mandated requirements:
 Not for lending propose. Estimated market value based mostly on sales comparison approach only. Cost and Income approach omitted due to lack of available informations.

MARKETING TIME AND EXPOSURE TIME FOR THE SUBJECT PROPERTY

A reasonable marketing time for the subject property is _____ day(s) utilizing market conditions pertinent to the appraisal assignment.

A reasonable exposure time for the subject property is 15+/- day(s).

<p>APPRAISER:</p> <p>Signature: <u></u> Name: <u>John Tom</u> Date Signed: <u>08/01/2019</u> State Certification #: <u>AR004372</u> or State License #: <u>N/A</u> or Other (describe): _____ State #: _____ State: <u>California</u> Expiration Date of Certification or License: <u>09/29/2020</u> Effective Date of Appraisal: <u>July 29, 2019</u></p>	<p>SUPERVISORY APPRAISER (only if required):</p> <p>Signature: _____ Name: _____ Date Signed: _____ State Certification #: _____ or State License #: _____ State: _____ Expiration Date of Certification or License: _____ Supervisory Appraiser inspection of Subject Property: <input type="checkbox"/> Did Not <input type="checkbox"/> Exterior-only from street <input type="checkbox"/> Interior and Exterior</p>
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

***** INVOICE *****

File Number: 367 - 367A Hamilton Street

August 19, 2019

Jian X. & Mei H. Liang
367 Hamilton Street
San Francisco, CA. 94134 - 1437

Invoice # :
Order Date : 08/17/2019
Reference/Case # :
PO Number :

Jian X. & Mei H. Liang
367 - 367A Hamilton St
San Francisco, CA 94134 - 1437

Form 1025/ 2 - 4 Units	\$	400.00
Not For Lending	\$	

Invoice Total	\$	400.00
State Sales Tax @	\$	0.00
Deposit	(\$)
Deposit	(\$)

Amount Due	\$	400.00

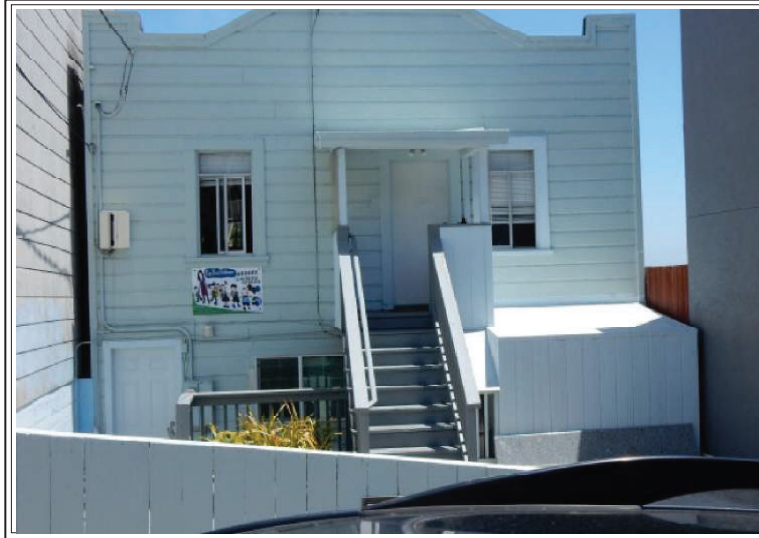
Terms: Bill For \$400.00

Please Make Check Payable To:

John Tom
2333 Turk Blvd.
San Francisco, CA. 94118

Fed. I.D. #: In File.

APPRAISAL OF



LOCATED AT:

367 - 367A Hamilton St
San Francisco, CA 94134 - 1437

CLIENT:

Derek Vinh/I.C.E. Design Team
90 South Spruce Ave., Ste K
South San Francisco, CA, 94080

AS OF:

June 14, 2019

BY:

John Tom
AR004372

August 19, 2019

Jian X. & Mei H. Liang

Derek Vinh/I.C.E. Design Team
90 South Spruce Ave., Ste K
South San Francisco, CA, 94080

File Number: 367 - 367A Hamilton Street

Dear Derek.

In accordance with your request, I have appraised the real property at:

367 - 367A Hamilton St
San Francisco, CA 94134 - 1437

The purpose of this appraisal is to develop an opinion of the defined value of the subject property, as improved. The property rights appraised are the fee simple interest in the site and improvements.

In my opinion, the defined value of the property as of June 14, 2019 is:

\$795,000
Seven Hundred Ninety-Five Thousand Dollars

The attached report contains the description, analysis and supportive data for the conclusions, final opinion of value, descriptive photographs, assignment conditions and appropriate certifications.



John Tom
AR004372

John Tom Appraisal Services
Small Residential Income Property Appraisal Report

File No. 367 - 367A Hamilton :

PURPOSE	The purpose of this appraisal report is to provide the client with a credible opinion of the defined value of the subject property, given the intended use of the appraisal.								
	Client Name/Intended User Derek Vinh/I.C.E. Design Team		E-mail info@icedesigninc.com						
	Client Address 90 South Spruce Ave., Ste K		City South San Francisco	State CA	Zip 94080				
Additional Intended User(s) None									
Intended Use Fair Market Value, Not For Lending Propose.									
SUBJECT	Property Address 367 - 367A Hamilton St		City San Francisco	State CA	Zip 94134 - 1437				
	Owner of Public Record Liang, Jian X. & Mei H.		County San Francisco						
	Legal Description See Prelim. Title Report For Full Legal Description.								
SALES HISTORY	Assessor's Parcel # Block#5987 Lot#022		Tax Year 2019	R.E. Taxes \$ 6,190					
	Neighborhood Name Portola		Map Reference 667-J7	Census Tract 0257.02					
	Property Rights Appraised <input checked="" type="checkbox"/> Fee Simple <input type="checkbox"/> Leasehold <input type="checkbox"/> Other (describe)								
My research <input checked="" type="checkbox"/> did <input type="checkbox"/> did not reveal any prior sales or transfers of the subject property for the three years prior to the effective date of this appraisal.									
Prior Sale/Transfer: Date 10/10/2018 Price SP:\$Unknown Source(s) NDCData: Doc#K68100485									
Analysis of prior sale or transfer history of the subject property (and comparable sales, if applicable) Subject has had title history within the past 36 months.									
COE:10/10/20018, SP:\$Unknown, Doc#K68100485. Previous known COE: 02/19/2013, SP:\$220,000, Doc#J60300900;									
COE:08/12/2010, SP:\$228,000, Doc#J01800676. All comps has had no sales history within the past 36 months.									
Offerings, options and contracts as of the effective date of the appraisal N/A									
NEIGHBORHOOD	Neighborhood Characteristics		2-4 Unit Housing Trends		2-4 Unit Housing	Present Land Use %			
	Location <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban <input type="checkbox"/> Rural	Property Values <input type="checkbox"/> Increasing <input checked="" type="checkbox"/> Stable <input type="checkbox"/> Declining	PRICE	AGE	One-Unit	65 %			
	Built-Up <input checked="" type="checkbox"/> Over 75% <input type="checkbox"/> 25-75% <input type="checkbox"/> Under 25%	Demand/Supply <input checked="" type="checkbox"/> Shortage <input type="checkbox"/> In Balance <input type="checkbox"/> Over Supply	\$(000)	(yrs)	2-4 Unit	29 %			
	Growth <input type="checkbox"/> Rapid <input checked="" type="checkbox"/> Stable <input type="checkbox"/> Slow	Marketing Time <input checked="" type="checkbox"/> Under 3 mths <input type="checkbox"/> 3-6 mths <input type="checkbox"/> Over 6 mths	560 Low	25	Multi-Family	2 %			
	Neighborhood Boundaries Subject neighborhood is South of Silver Avenue, East of University Avenue, North of Mansel Street and West of San Bruno Avenue.		1,700 High	125	Commercial	2 %			
	Neighborhood Description See Addendum....		1,210 Pred.	85	Other Sch/Pk	2 %			
	Market Conditions (including support for the above conclusions) Subject market condition is currently stable with slightly upswing in market value trend. Subject market exhibits limited known REO and short sales within the area. Properties listed at market often sold within 2 - 4 weeks of marketing period.. There is no significant pervalence or impact regarding discount, buydown.								
	Dimensions See Plat Map Attached		Area 3000 sf	Shape Rectangular	View Street View				
	Specific Zoning Classification RH-1		Zoning Description Residential Housing, 1 Unit						
	Zoning Compliance <input checked="" type="checkbox"/> Legal <input type="checkbox"/> Legal Nonconforming (Grandfathered Use) <input type="checkbox"/> No Zoning <input type="checkbox"/> Illegal (describe)		Is the highest and best use of the subject property as improved (or as proposed per plans and specifications) the present use? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe: _____						
SITE	Utilities	Public	Other (describe)	Public	Other (describe)	Off-site Improvements—Type	Public	Private	
	Electricity	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Water	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Street Asphalt	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Gas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Sanitary Sewer	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Alley None	<input type="checkbox"/>	<input type="checkbox"/>
Site Comments Subject is located on a typical size, interior location lot. No apparent easements, encroachments or environmental condition noted. See Prelim. title report for any easements. Prelim. title report not reviewed by this appraiser.									
IMPROVEMENTS	GENERAL DESCRIPTION		FOUNDATION		EXTERIOR DESCRIPTION		INTERIOR		
	Units <input checked="" type="checkbox"/> Two <input type="checkbox"/> Three <input type="checkbox"/> Four	<input checked="" type="checkbox"/> Concrete Slab <input type="checkbox"/> Crawl Space	Foundation Walls	Concrete		Floors	Carpet/Wd/Avg		
	<input type="checkbox"/> Accessory Unit (describe below)	<input type="checkbox"/> Full Basement <input type="checkbox"/> Partial Basement	Exterior Walls	Wood/Average		Walls	Plaster/Avg.		
	# of Stories 2	# of bldgs.	Roof Surface	Bitumen		Trim/Finish	PaintedWd/Avg		
	Type <input type="checkbox"/> Det. <input type="checkbox"/> Att. <input checked="" type="checkbox"/> S-Det./End Unit	Basement Finish	Gutters & Downspouts	Galv.Steel		Bath Floor	Ceramic/Avg		
	<input checked="" type="checkbox"/> Existing <input type="checkbox"/> Proposed <input type="checkbox"/> Under Const.	<input type="checkbox"/> Outside Entry/Exit <input type="checkbox"/> Sump Pump	Window Type	Alum. Casement		Bath Wainscot	Ceramic/Avg		
	Design (Style) Bungalow	Evidence of <input type="checkbox"/> Infestation	Storm Sash/Insulated	None		Car Storage			
	Year Built 1908	<input type="checkbox"/> Dampness <input type="checkbox"/> Settlement	Screens	Partial		<input checked="" type="checkbox"/> None			
	Effective Age (Yrs) 20	Heating/Cooling		Amenities		<input type="checkbox"/> Driveway	# of Cars		
	Attic <input checked="" type="checkbox"/> None	<input type="checkbox"/> FWA <input type="checkbox"/> HW <input type="checkbox"/> Radiant	<input type="checkbox"/> Fireplace(s) #	<input type="checkbox"/> WoodStove(s) #0		Driveway Surface	Concrete		
	<input type="checkbox"/> Drop Stair <input type="checkbox"/> Stairs	<input checked="" type="checkbox"/> Other None Fuel	<input checked="" type="checkbox"/> Patio/Deck Conc	<input checked="" type="checkbox"/> Fence Wood	<input type="checkbox"/> Garage	# of Cars			
	<input type="checkbox"/> Floor <input type="checkbox"/> Scuttle	<input type="checkbox"/> Central Air Conditioning	<input type="checkbox"/> Pool None	<input type="checkbox"/> Porch None	<input type="checkbox"/> Carport	# of Cars			
	<input type="checkbox"/> Finished <input type="checkbox"/> Heated	<input type="checkbox"/> Individual <input checked="" type="checkbox"/> Other None	<input checked="" type="checkbox"/> Other Rear Yd			<input type="checkbox"/> Att.	<input type="checkbox"/> Det.	<input type="checkbox"/> Built-in	
	# of Appliances	Refrigerator 2	Range/Oven 2	Dishwasher -	Disposal P	Microwave P	Washer/Dryer	Other (describe)	
	Unit # 1 contains:	4 Rooms	1 Bedroom(s)	1 Bath(s)	480 Square feet of Gross Living Area				
Unit # 2 contains:	3 Rooms	1 Bedroom(s)	1 Bath(s)	480 Square feet of Gross Living Area					
Unit # 3 contains:	Rooms	Bedroom(s)	Bath(s)	Square feet of Gross Living Area					
Unit # 4 contains:	Rooms	Bedroom(s)	Bath(s)	Square feet of Gross Living Area					
Additional features See Attached Addendum									
Comments on the Improvements No apparent major deferred maintenance noted. Subject overall improvements is in average condition.									

John Tom Appraisal Services
Small Residential Income Property Appraisal Report

File No. 367 - 367A Hamilton :

The following properties represent the most current, similar, and proximate comparable rental properties to the subject property. This analysis is intended to support the opinion of the market rent for the subject property.

FEATURE	SUBJECT	COMPARABLE RENTAL NO. 1	COMPARABLE RENTAL NO. 2	COMPARABLE RENTAL NO. 3															
367 - 367A Hamilton St Address San Francisco, CA. 94134		305 Russia St San Francisco, CA. 94112	139 Paris St San Francisco, CA. 94112	61 - 63 Desmond St San Francisco, CA. 94134															
Proximity to Subject		1.43 miles SW	1.18 miles SW	1.12 miles SE															
Current Monthly Rent	\$ 2500/Owner	\$ 2,305	\$ 3,500	\$ 2,831															
Rent/Gross Bldg. Area	\$ 2.60 sq. ft.	\$ 1.54 sq. ft.	\$ 1.35 sq. ft.	\$ 1.13 sq. ft.															
Rent Control	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No															
Data Source(s)	Inspection/Owner	MLS/SFAR#481433	MLS/SFAR#480917	MLS/SFAR#484883															
Date of Lease(s)	M - M	M - M	M - M	M - M															
Location	Average	Similar	Similar	Similar															
Actual Age	111 Yrs	114 Yrs	119 Yrs	91 Yrs															
Condition	Average	Similar	Similar	Similar															
Gross Building Area	960 sq.ft.	1,500	2,589	2,500															
Unit Breakdown	Rm Count		Size		Monthly Rent	Rm Count		Size		Monthly Rent	Rm Count		Size		Monthly Rent				
	Tot	Br	Ba	Sq. Ft.		Tot	Br	Ba	Sq. Ft.		Tot	Br	Ba	Sq. Ft.		Tot	Br	Ba	Sq. Ft.
Unit # 1	4	1	1	480	4	2	1	750	\$ 1,153	5	2	2	1,299	\$ 3,000	4	1	1	750	\$ 1,400
Unit # 2	3	1	1	480	4	2	1	750	\$ 1,153	5	2	2	1,290	\$ 1,500	4	1	1	750	\$ 1,431
Unit # 3									\$					\$				\$	
Unit # 4									\$					\$				\$	
Utilities Included	None	Similar	Similar	Similar															
Garage Parking	No Garage Pkings	No Garage Parkings	No Garage Parkings	2 Car Garage Parkings															
Price Per SF	\$5.10/SF	\$1.54/SF - \$ 1.54/SF	\$1.16/SF - \$2.31/SF	\$1.87/SF - \$1.91/SF															

Analysis of rental data and support for estimated market rents for the individual subject units reported below (including the adequacy of the comparables, rental concessions, etc.)
See Addendum....

Rent Schedule: The appraiser must reconcile the applicable indicated monthly market rents to provide an opinion of the market rent for each unit in the subject property.

Unit #	Leases		Actual Rents			Opinion Of Market Rent		
	Lease Date		Per Unit		Total	Per Unit		Total
	Begin Date	End Date	Unfurnished	Furnished	Rents	Unfurnished	Furnished	Rents
1	M - M	M - M	\$ 2,500		\$ 2,500	\$ 2,500		\$ 2,500
2	Owner	Owner	Owner		Owner	1,080		1,080
3								
4								
Comment on lease data			Total Actual Monthly Rent		\$ 2,500	Total Gross Monthly Rent		\$ 3,580
			Other Monthly Income (Itemize)		\$	Other Monthly Income (Itemize)		\$
			Total Actual Monthly Income		\$ 2,500	Total Estimated Monthly Income		\$ 3,580
Utilities included in estimated rents <input type="checkbox"/> Electric <input type="checkbox"/> Water <input type="checkbox"/> Sewer <input type="checkbox"/> Gas <input type="checkbox"/> Oil <input type="checkbox"/> Cable <input type="checkbox"/> Trash collection <input checked="" type="checkbox"/> Other (describe) None								
Comments on actual or estimated rents and other monthly income (including personal property) See Addendum..								

COST APPROACH TO VALUE
Site Value Comments Cost approach omitted due to lack of available information.

ESTIMATED <input type="checkbox"/> REPRODUCTION OR <input type="checkbox"/> REPLACEMENT COST NEW	OPINION OF SITE VALUE
Source of cost data	Dwelling 960 Sq. Ft. @ \$ = \$ 0
Quality rating from cost service Effective date of cost data	Sq. Ft. @ \$ = \$
Comments on Cost Approach (gross living area calculations, depreciation, etc.)	
The cost approach was not developed due to the difficulty in determining the accrued depreciation of older homes and the lack of available land sales in this market area.	Garage/Carport Sq. Ft. @ \$ = \$
	Total Estimate of Cost-New = \$ 0
	Less Physical Functional External
	Depreciation = \$ (0)
	Depreciated Cost of Improvements = \$ 0
	"As-is" Value of Site Improvements = \$
	INDICATED VALUE BY COST APPROACH = \$ 0

ADDITIONAL COMMENTS

John Tom Appraisal Services
Small Residential Income Property Appraisal Report

File No. 367 - 367A Hamilton :

FEATURE	SUBJECT	COMPARABLE SALE NO. 1			COMPARABLE SALE NO. 2			COMPARABLE SALE NO. 3					
367 - 367A Hamilton St Address San Francisco, CA 94134		1715 - 1717 Mckinnon Ave San Francisco, CA 94124			305 Russia St San Francisco, CA 94112			139 Paris St San Francisco, CA 94112					
Proximity to Subject		1.21 miles NE			1.43 miles SW			1.18 miles SW					
Sale Price	\$ 795,000	\$ 865,000			\$ 595,000			\$ 960,000					
Sale Price/Gross Bldg. Area	\$ 828.13 sq. ft.	\$ 600.69 sq. ft.			\$ 396.67 sq. ft.			\$ 370.80 sq. ft.					
Gross Monthly Rent	\$ 3580 (Econ.)	\$ 3240 (Econ.)			\$ 2305 (Actual)			\$ 4500 (Actual)					
Gross Rent Multiplier	222.07	266.98			258.13			213.33					
Price Per Unit	\$ 397,500	\$ 432,500			\$ 297,500			\$ 480,000					
Price Per Room	\$ 113,571	\$ 108,125			\$ 74,375			\$ 96,000					
Price Per Bedroom	\$ 397,500	\$ 432,500			\$ 148,750			\$ 240,000					
Rent Control	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No					
Data Source(s)		MLS/SFAR#484726			MLS/SFAR#481433			MLS/SFAR#480917/REO					
Verification Source(s)		NDADData/Doc#K76500362			NDADData/Doc#K75200029			NDADData/Doc#K75700539					
VALUE ADJUSTMENTS	DESCRIPTION	DESCRIPTION			+(-) Adjustment			DESCRIPTION			+(-) Adjustment		
Sale or Financing		ArmLth						ArmLth					
Concessions		Conv;0						Conv;0					
Date of Sale/Time		COE:05/10/2019						COE:04/09/2019					
Location	Average	Similar						Similar					
Leasehold/Fee Simple	Fee	Fee						Fee					
Site	3000 sf	3824 sf			-12,400			1750 sf			18,800		
View	Neighborhood/Avg.	Neighborhood/Avg.						Neighborhood/Avg.					
Design (Style)	Bungalow	Edwardian			0			Traditional			0		
Quality of Construction	Average	Average						Average(-)			30,000		
Actual Age	111 Years	119 Yrs			0			114 Yrs			0		
Condition	Average	Average						Average(-)			15,000		
Gross Building Area	125 960 sq.ft.	1,440			-60,000			1,500			-67,500		
Unit Breakdown	Total Bdrms. Baths	Total Bdrms. Baths						Total Bdrms. Baths					
Unit # 1	4 1 1	4 1 1						4 2 1			-15,000		
Unit # 2	3 1 1	4 1 1						4 2 1			-15,000		
Unit # 3													
Unit # 4													
Basement Description	3rd/In-Law Unit	None Known						None Known					
Basement Finished Rooms	Not Warranted												
Functional Utility	Average	Similar			0			Similar			0		
Heating/Cooling	None	Wall/None			1,500			Wall/None			1,500		
Energy Efficient Items	Average	Similar			0			Similar			0		
Parking On/Off Site	No Gar Parking	No Gar Parking						No Gar Parking					
Porch/Patio/Deck	Concrete Patio	Similar			0			Similar			0		
Fireplace	No Fireplace	No Fireplace						No Fireplace					
Rear Amenities	Fence,Rear Yd	Similar						Similar			0		
DOM	N/A	DOM:0 Days			0			DOM:11 Days			0		
DOM		DOM:71 Days			0			DOM:71 Days			0		
Net Adjustment (Total)		<input type="checkbox"/> + <input checked="" type="checkbox"/> -			\$ 70,900			<input type="checkbox"/> + <input checked="" type="checkbox"/> -			\$ 32,200		
Adjusted Sale Price of Comparables		Net Adj. -8.2 %						Net Adj. -5.4 %					
Adj. Price Per Unit (Adj. SP Comp / # of Comp Units)	\$ 397,050							Gross Adj. 27.4 %			\$ 562,800		
Adj. Price Per Room ((Adj. SP Comp / # of Comp Rooms)	\$ 99,263										\$ 281,400		
Adj. Price Per Bdrm. (Adj. SP Comp / # of Comp Bedrooms)	\$ 397,050										\$ 70,040		
Summary of Sales Comparison Approach	A thorough 6 months search of all databases available to this appraiser, it was concluded that the employed comparables sales and current active listings were the most similar to the subject overall, and are good substitutes for the subject property. An attempt was made by this appraiser to bracket the subject in terms of quality, room count and size. When warranted, adjustments for age, condition, room count, GLA, available garage parking and other amenities based on their contributory value as reflected in the market.												
INCOME APPROACH TO VALUE													
Estimated Monthly Market Rent \$	3,580	X Gross Rent Multiplier	222	= \$	794,760	Indicated Value by Income Approach							
Summary of Income Approach (including support for market rent and GRM) Income approach given limited consideration due to forecasted rent value.													
Indicated Value by: Sales Comparison Approach \$ 795,000 Cost Approach (if developed) \$ 0 Income Approach (if developed) \$ 794,760													
The cost approach omitted; most weights is given toward the sales comparison approach as it best reflect the attitudes of buyers and sellers in this market place. Income approach omitted due to lack of available rental data.													
This appraisal is made <input checked="" type="checkbox"/> "as is," <input type="checkbox"/> subject to completion per plans and specifications on the basis of a hypothetical condition that the improvements have been completed, <input type="checkbox"/> subject to the following repairs or alterations on the basis of a hypothetical condition that the repairs or alterations have been completed <input type="checkbox"/> subject to the following:													
Based on the scope of work, assumptions, limiting conditions and appraiser's certification, my (our) opinion of the defined value of the real property that is the subject of this report is \$ 795,000 as of 06/14/2019, which is the effective date of this appraisal.													

SALES COMPARISON APPROACH

INCOME

RECONCILIATION

John Tom Appraisal Services
Small Residential Income Property Appraisal Report File No. 367 - 367A Hamilton :

FEATURE	SUBJECT	COMPARABLE SALE NO. 4	COMPARABLE SALE NO. 5	COMPARABLE SALE NO. 6			
367 - 367A Hamilton St Address San Francisco, CA 94134		175 - 177 Leland Ave San Francisco, CA 94134					
Proximity to Subject		1.00 miles SE					
Sale Price	\$ 795,000	\$ 998,000		\$			
Sale Price/Gross Bldg. Area	\$ 828.13 sq. ft.	\$ 505.32 sq. ft.	\$ sq. ft.	\$ sq. ft.			
Gross Monthly Rent	\$ 3580 (Econ.)	\$ 4444 (Econ.)	\$	\$			
Gross Rent Multiplier	222.07	224.57					
Price Per Unit	\$ 397,500	\$ 499,000	\$	\$			
Price Per Room	\$ 113,571	\$ 99,800	\$	\$			
Price Per Bedroom	\$ 397,500	\$ 249,500	\$	\$			
Rent Control	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No			
Data Source(s)	MLS/SFAR#483860						
Verification Source(s)	NDADData/Pending						
VALUE ADJUSTMENTS	DESCRIPTION	DESCRIPTION	+(-) Adjustment	DESCRIPTION	+(-) Adjustment	DESCRIPTION	+(-) Adjustment
Sale or Financing		0% Negot.	0				
Concessions		N/A					
Date of Sale/Time		Pending					
Location	Average	Average					
Leasehold/Fee Simple	Fee	Fee					
Site	3000 sf	2500 sf	7,500				
View	Neighborhood/Avg.	Neighborhood/Avg.					
Design (Style)	Bungalow	Traditional	0				
Quality of Construction	Average	Average					
Actual Age	111 Years	43 Yrs	0				
Condition	Average	Average					
Gross Building Area	125 960 sq.ft.	1,975	-126,900				
Unit Breakdown	Total Bdrms. Baths	Total Bdrms. Baths		Total Bdrms. Baths		Total Bdrms. Baths	
Unit # 1	4 1 1	6 3 1.5	-37,500				
Unit # 2	3 1 1	4 1 1	0				
Unit # 3							
Unit # 4							
Basement Description	3rd/In-Law Unit	Bonus In-Law Ut					
Basement Finished Rooms	Not Warranted	Not Warranted					
Functional Utility	Average	Similar	0				
Heating/Cooling	None	FAU/None	-3,500				
Energy Efficient Items	Average	Average					
Parking On/Off Site	No Gar Parking	2 Car S/S Gar.	-30,000				
Porch/Patio/Deck	Concrete Patio	Similar	0				
Fireplace	No Fireplace	1 Fireplace	-2,500				
Rear Amenities	Fence,Rear Yd	Similar					
DOM	N/A	DOM:15 Days	0				
Net Adjustment (Total)		<input type="checkbox"/> + <input checked="" type="checkbox"/> -	\$ 192,900	<input type="checkbox"/> + <input type="checkbox"/> -	\$	<input type="checkbox"/> + <input type="checkbox"/> -	\$
Adjusted Sale Price of Comparables		Net Adj. -19.3 % Gross Adj. 20.8 %	\$ 805,100	Net Adj. % Gross Adj. %	\$	Net Adj. % Gross Adj. %	\$
Adj. Price Per Unit (Adj. SP Comp / # of Comp Units)		\$ 402,550		\$		\$	
Adj. Price Per Room ((Adj. SP Comp / # of Comp Rooms)		\$ 80,510		\$		\$	
Adj. Price Per Bdrm. (Adj. SP Comp / # of Comp Bedrooms)		\$ 201,275		\$		\$	
Summary of Sales Comparison Approach. <u>See Addendum...</u>							



Scope of Work, Assumptions and Limiting Conditions

Scope of work is defined in the Uniform Standards of Professional Appraisal Practice as "the type and extent of research and analyses in an assignment." In short, scope of work is simply what the appraiser did and did not do during the course of the assignment. It includes, but is not limited to: the extent to which the property is identified and inspected, the type and extent of data researched, the type and extent of analyses applied to arrive at opinions or conclusions.

The scope of this appraisal and ensuing discussion in this report are specific to the needs of the client, other identified intended users and to the intended use of the report. This report was prepared for the sole and exclusive use of the client and other identified intended users for the identified intended use and its use by any other parties is prohibited. The appraiser is not responsible for unauthorized use of the report.

The appraiser's certification appearing in this appraisal report is subject to the following conditions and to such other specific conditions as are set forth by the appraiser in the report. All extraordinary assumptions and hypothetical conditions are stated in the report and might have affected the assignment results.

1. The appraiser assumes no responsibility for matters of a legal nature affecting the property appraised or title thereto, nor does the appraiser render any opinion as to the title, which is assumed to be good and marketable. The property is appraised as though under responsible ownership.
 2. Any sketch in this report may show approximate dimensions and is included only to assist the reader in visualizing the property. The appraiser has made no survey of the property.
 3. The appraiser is not required to give testimony or appear in court because of having made the appraisal with reference to the property in question, unless arrangements have been previously made thereto.
 4. Neither all, nor any part of the content of this report, copy or other media thereof (including conclusions as to the property value, the identity of the appraiser, professional designations, or the firm with which the appraiser is connected), shall be used for any purposes by anyone but the client and other intended users as identified in this report, nor shall it be conveyed by anyone to the public through advertising, public relations, news, sales, or other media, without the written consent of the appraiser.
 5. The appraiser will not disclose the contents of this appraisal report unless required by applicable law or as specified in the Uniform Standards of Professional Appraisal Practice.
 6. Information, estimates, and opinions furnished to the appraiser, and contained in the report, were obtained from sources considered reliable and believed to be true and correct. However, no responsibility for accuracy of such items furnished to the appraiser is assumed by the appraiser.
 7. The appraiser assumes that there are no hidden or unapparent conditions of the property, subsoil, or structures, which would render it more or less valuable. The appraiser assumes no responsibility for such conditions, or for engineering or testing, which might be required to discover such factors. This appraisal is not an environmental assessment of the property and should not be considered as such.
 8. The appraiser specializes in the valuation of real property and is not a home inspector, building contractor, structural engineer, or similar expert, unless otherwise noted. The appraiser did not conduct the intensive type of field observations of the kind intended to seek and discover property defects. The viewing of the property and any improvements is for purposes of developing an opinion of the defined value of the property, given the intended use of this assignment. Statements regarding condition are based on surface observations only. The appraiser claims no special expertise regarding issues including, but not limited to: foundation settlement, basement moisture problems, wood destroying (or other) insects, pest infestation, radon gas, lead based paint, mold or environmental issues. Unless otherwise indicated, mechanical systems were not activated or tested.
- This appraisal report should not be used to disclose the condition of the property as it relates to the presence/absence of defects. The client is invited and encouraged to employ qualified experts to inspect and address areas of concern. If negative conditions are discovered, the opinion of value may be affected.
- Unless otherwise noted, the appraiser assumes the components that constitute the subject property improvement(s) are fundamentally sound and in working order.
- Any viewing of the property by the appraiser was limited to readily observable areas. Unless otherwise noted, attics and crawl space areas were not accessed. The appraiser did not move furniture, floor coverings or other items that may restrict the viewing of the property.
9. Appraisals involving hypothetical conditions related to completion of new construction, repairs or alteration are based on the assumption that such completion, alteration or repairs will be competently performed.
 10. Unless the intended use of this appraisal specifically includes issues of property insurance coverage, this appraisal should not be used for such purposes. Reproduction or Replacement cost figures used in the cost approach are for valuation purposes only, given the intended use of the assignment. The Definition of Value used in this assignment is unlikely to be consistent with the definition of Insurable Value for property insurance coverage/use.
 11. The ACI General Purpose Appraisal Report (GPAR™) is not intended for use in transactions that require a Fannie Mae 1025/Freddie Mac 72 form, also known as the Small Residential Income Property Appraisal Report (2-4 Family).

Additional Comments Related To Scope Of Work, Assumptions and Limiting Conditions

Not for lending propose. Estimated market value based mostly on sales comparison approach only. The cost approach was not developed due to the difficulty in determining the accrued depreciation of older homes and the lack of available land sales in this market area. Income approach given limited consideration due to forecasted rent value.

Appraiser's Certification

The appraiser(s) certifies that, to the best of the appraiser's knowledge and belief:

1. The statements of fact contained in this report are true and correct.
2. The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions and are the appraiser's personal, impartial, and unbiased professional analyses, opinions, and conclusions.
3. Unless otherwise stated, the appraiser has no present or prospective interest in the property that is the subject of this report and has no personal interest with respect to the parties involved.
4. The appraiser has no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
5. The appraiser's engagement in this assignment was not contingent upon developing or reporting predetermined results.
6. The appraiser's compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
7. The appraiser's analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice.
8. Unless otherwise noted, the appraiser has made a personal inspection of the property that is the subject of this report.
9. Unless noted below, no one provided significant real property appraisal assistance to the appraiser signing this certification. Significant real property appraisal assistance provided by:

Additional Certifications:

Not For Lending Purpose.


Definition of Value: Market Value Other Value: _____

Source of Definition: _____
Not for lending propose. Not for lending propose. Estimated market value based mostly on sales comparison approach only. The cost approach was not developed due to the difficulty in determining the accrued depreciation of older homes and the lack of available land sales in this market area. Income approach given limited consideration due to forecasted rent value.

ADDRESS OF THE PROPERTY APPRAISED:
367 - 367A Hamilton St
San Francisco, CA 94134 - 1437
EFFECTIVE DATE OF THE APPRAISAL: 06/14/2019
APPRAISED VALUE OF THE SUBJECT PROPERTY \$ 795,000

APPRAISER

SUPERVISORY APPRAISER

Signature: 
Name: John Tom
State Certification # AR004372
or License # N/A
or Other (describe): _____ State #: _____
State: California
Expiration Date of Certification or License: 09/29/2020
Date of Signature and Report: 06/18/2019
Date of Property Viewing: 06/14/2019
Degree of property viewing:
 Interior and Exterior Exterior Only Did not personally view

Signature: _____
Name: _____
State Certification # _____
or License # _____
State: _____
Expiration Date of Certification or License: _____
Date of Signature: _____
Date of Property Viewing: _____
Degree of property viewing:
 Interior and Exterior Exterior Only Did not personally view

ADDENDUM

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 - 367A Hamilton Street	
Property Address: 367 - 367A Hamilton St	Case No.:	
City: San Francisco	State: CA	Zip: 94134 - 1437

Neighborhood Description

Subject is located in the Portola neighborhood within the City of San Francisco. Average access to local employment centers, Average to public transportation, neighborhood shoppings, schools & average freeway access. The demand for properties in this above average to good quality single family homes is average. Subject neighborhood consisted of mostly similar appeal, similar quality and age SFRs.

Site Comments

Subject is located on a typical size, interior location lot. No apparent easements, encroachments or environmental condition noted. See Prelim. title report for any easements. Prelim. title report not reviewed by this appraiser. Present improvements is considered to be legal and conforming to current zone, RH-1 (Residential Housing, 1 Unit) District .

Additional Features

Both units has update kitchen and bath over the years. Hardwood floorings to both units. Front and rear concrete patio area, rear open yard. Bonus attached rear bonus storage shed. Legal cannot be warranted. Addressed in this report for information only. No value given. Both units has no builtin heating source. All units exhibit average level of maintenance by tenants and owner. Overall subject improvements is considered to be in average condition. Physical measurement of subject legal GLA reflects that of public record, NCCData, 960 SF.

Single PG&E meter and single Gas meter, (See photos attach).

Analysis of Rental Data

Unit sizes for rental comps are from MLS/SFAR listing data and estimated from public record gross building area, number of rooms from the MLS, when the actual sizes are not available. All rental are current reflected by the data as published by MLS. All rental comps are legal 2 units properties similar market appeal and are represent of units available within the subject's neighborhood rental area. Units with enclosed garage parking, able command premium rent. All rental comps have similar demand and residential units. show a range of rents from \$1.16/SF to \$2.31/SF, depending on their overall improvements condition, location, amenities and size of the units. There is current good demands for rental units within the City of San Francisco.

Subject Rent Schedule Comments

Subject has additional bonus rear attach studio unit. Legality not warranted. For the propose of this report. Subject is appraised as a 2 separate units. Forecasted residential rents is approximated to be in the range of \$2.25+/- per SF. Tenants typically pay their own utilities expenses. Units with enclosed garage parking can command premium rents in the area. Currently there is no vacancy control. However, rent control do apply for 2-4 units property built before 1978 within the City of San Francisco. No apparent rental concessions currently being offered for residential units in the subject's rental market as current demands for rental units is good and stable.

Sale/Transfer History Research Comments

Subject has had title history within the past 36 months. COE:10/10/20018, SP:\$Unknown, Doc#K68100485. Previous known COE: 02/19/2013, SP:\$220,000, Doc#J60300900; COE:08/12/2010, SP:\$228,000, Doc#J01800676. All comps has had no sales history within the past 36 months.

Comments on Sales Comparison

Due to lack similar size, recent legal 2 units sales within the last 12 months. A thorough expanded 12 months search of all databases available to this appraiser, it was concluded that the employed comparables sales and current pending/listing were the most similar to the subject overall, and are good substitutes for the subject property. An attempt was made by this appraiser to bracket the subject in terms of quality, room count and size. When warranted, adjustments for age, condition, room count, GLA, available garage parking and other amenities based on their contributory value as reflected in the subject's market area.

ADDENDUM

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 - 367A Hamilton Street	
Property Address: 367 - 367A Hamilton St	Case No.:	
City: San Francisco	State: CA	Zip: 94134 - 1437

Comp#1 is a very recent sale, similar in actual age, Edwardian design, attached appeal, Similar legal 2 units property located in the immediate connecting Bayview neighborhood. Assumed to be similar in overall update/maintained improvements condition. (No MLS/SFAR interior photos included in listing report). Similar in total legal bedrooms, similar in total legal baths count, superior in total legal GLA. Superior in builtin wall heating source. Comp#1 was listed for LP:\$868,000 and sold for SP:\$865,000 within DOM: 0 Days.

Comp#2 is a similar in actual age, Traditional design, attached appeal, Similar legal 2 units property located in the immediate connecting Excelsior neighborhood. Apparent overall inferior known update, inferior in maintained improvements condition. Per MLS/SFAR, based on frontal picture, comp#2 appears to be is a fixer upper sale, (No MLS/SFAR interior photos included in listing report). Superior in total legal bedrooms, superior in total legal baths count, and superior in total legal GLA. Superior in builtin wall heating source. Comp#2 was listed for LP:\$618,000 and sold for SP:\$595,000 within DOM: 11 Days. Due to superior in total legal bedrooms/baths count and overall size. Gross adjustments exceeded the recommended 25% Gross.

Comp#3 is a similar in actual age, Traditional design, attached appeal, Similar legal 2 units property located in the immediate connecting Excelsior neighborhood. Similar in overall update/maintained improvements condition, (MLS/SFAR interior photos). Superior in total legal bedrooms, superior in total legal baths count and superior in total legal GLA. Superior in FAU heating system. Comp#3 was listed for LP:\$980,000 and sold for SP:\$960,000 within DOM: 71 Days. Due to much superior in total size. Line adjustment exceeded 10% of total sale value. Due to superior in total legal bedrooms/baths count and overall size. Net and Gross adjustments exceeded the recommended 15% Net and 25% Gross.

Comp#4 is a current pending listing, newer in actual age, Traditional design, semi-detached appeal, similar in legal 2 units property located on the immediate connecting Visitation Valley neighborhood. Similar in overall update, similar in maintained improvements condition. (MLS/SFAR interior photos). Superior in total legal bedrooms, superior in legal half bath count and superior in total legal GLA. Superior FAU heating system, superior in 2 cars S/S garage s parking and superior in fireplace amenity. Per MLS/SFAR, bonus 3rd unit in the garage level. Legality not warranted. Addressed in this report for information only. No value given. Comp#4 was listed for LP:\$998,000, LD: 05/17/2019. Approximately 0% adjusted for new contract negotiations as current market trends is that property listed at market usually sold at listing value or higher. Due to superior in total legal bedrooms/baths count and overall size. Due to much superior in total size. Line adjustment exceeded 10% of total sale value. Net adjustments exceeded the recommended 15% Net.

Due to subject's inferior in total legal size, across line adjustment for inferior total GLA.

All attempts has been made by this appraiser to locate a similar legal room count and size, legal 2 units sales within the subject's Portola neighborhood. Due to lack of similar legal total bedrooms/baths count and size, recent legal 2 units sales. Search parameter has be expanded into the similar, immediate connecting Bayview, Excelsior and the Visitation Valley neighborhoods within the past 12 months period for support and bracket fair market value for subject property.

Subject appraised value is supported toward the market current lower end range due to subject is a inferior legal size, total bedrooms/baths count, legal 2 units property.

My Comparable Search and Results.

All comps are the best available recent, legal 2 units sales and current pending listing property located within the immediate connecting Bayview, Excelsior and the Visitation Valley neighborhoods.

All comps has been considered; however, most weights is placed toward Comp#1 in support and bracketing a fair market value. Best available similar legal 2 units sale of similar actual age, appeal, total legal bedrooms/baths count and closest in overall legal size property.

Subject final assignment result value is below 10% of the predominate 2-4 units value for the area is due to subject is a legal 2 units, inferior total bedrooms/baths count and overall size property.

Appraiser Independence Statement:

This appraiser has not performed any appraisal valuation service/s (including appraising, reviewing, BPOs. inspecting or updating) on the subject property within the past 36 months of the effective date of the current assignment.

ADDENDUM

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 - 367A Hamilton Street	
Property Address: 367 - 367A Hamilton St	Case No.:	
City: San Francisco	State: CA	Zip: 94134 - 1437

This appraiser has prepared the appraisal in full compliance with the Appraiser Independence Requirements as set by FNMA on 10/15/2010 and has not performed, participated in or been associated with any activity in violation of these requirements.

The intended user of this report is the Client . The intended use is to evaluate the property that is the subject of this appraisal is NOT for a mortgage finance transaction, subject to the state Scope of work, purpose of the appraisal report requirement of this appraisal report form and definition of Market Value. No additional intended users are identified by the appraiser.

This summary appraisal report has been completed utilizing digital transfer of information including signatures and photographs. The digitally transferred signature is protected and controlled by the appraiser through electronic password.

Additional Comments

This appraisal report is not a replacement for a "home inspection" report, Appraiser has conducted an exterior and interior inspection of the subject property for purposes of arriving at an opinion of value. Only health and safety conditions apparent at the property at the time of inspection, items for which disclosure is required, and matters bearing on value are identified in this report. The appraiser offers no opinion as to whether the subject property is in compliance with all applicable building code; such a determination is beyond the scope of this appraisal. The intended user should engage a home inspector or other appropriate, licensed professional to address matters of concern that are beyond the scope of this appraisal.

John Tom
AR004372

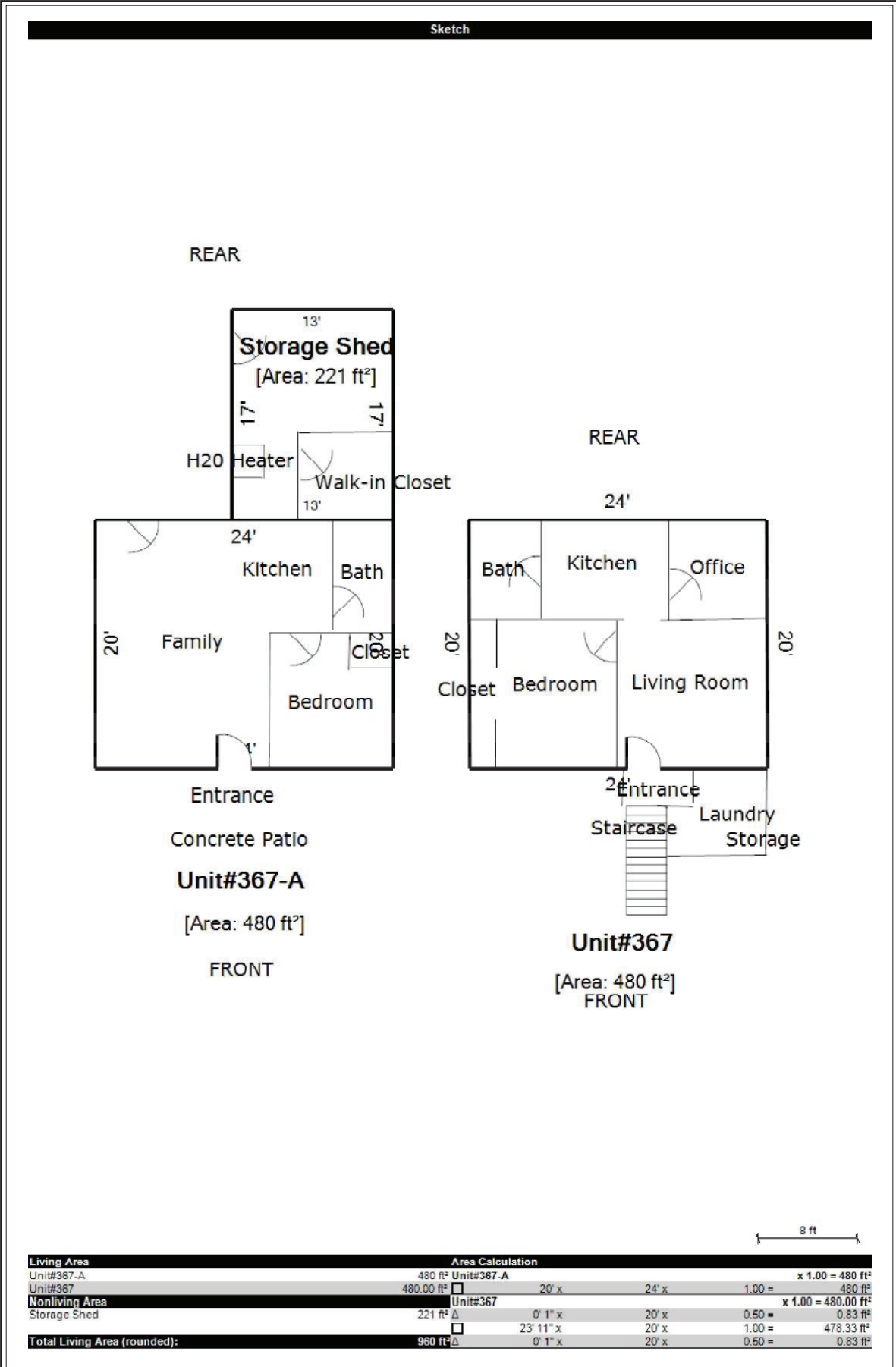
ADDENDUM

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 - 367A Hamilton Street	
Property Address: 367 - 367A Hamilton St	Case No.:	
City: San Francisco	State: CA	Zip: 94134 - 1437



FLOORPLAN SKETCH

Client: Derek Vinh/I.C.E. Design Team File No.: 367 - 367A Hamilton Street
 Property Address: 367 - 367A Hamilton St Case No.:
 City: San Francisco State: CA Zip: 94134 - 1437



DIMENSION LIST ADDENDUM

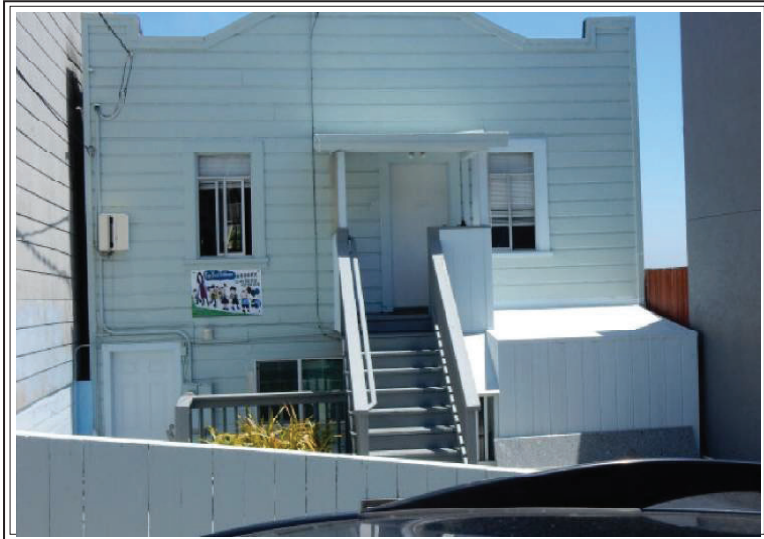
Client: Derek Vinh/I.C.E. Design Team	File No.: 367 - 367A Hamilton Street
Property Address: 367 - 367A Hamilton St	Case No.:
City: San Francisco	State: CA Zip: 94134 - 1437

GROSS BUILDING AREA (GBA) _____		960	
GROSS LIVING AREA (GLA) _____		960	
Area(s)	Area	% of GLA	% of GBA
Living	960		100.00
Level 1	0	0.00	0.00
Level 2	0	0.00	0.00
Level 3	0	0.00	0.00
Other	960	100.00	100.00
Basement	_____		_____
Garage	_____		_____
Other	221		_____

Area Measurements				Area Type				
Measurements	Factor	Total	Level 1	Level 2	Level 3	Other	Bsmt.	Garage
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SUBJECT PROPERTY PHOTO ADDENDUM

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 - 367A Hamilton Street
Property Address: 367 - 367A Hamilton St	Case No.:
City: San Francisco	State: CA
	Zip: 94134 - 1437



FRONT VIEW OF
SUBJECT PROPERTY

Appraised Date: June 14, 2019
Appraised Value: \$ 795,000



REAR VIEW OF
SUBJECT PROPERTY



STREET SCENE

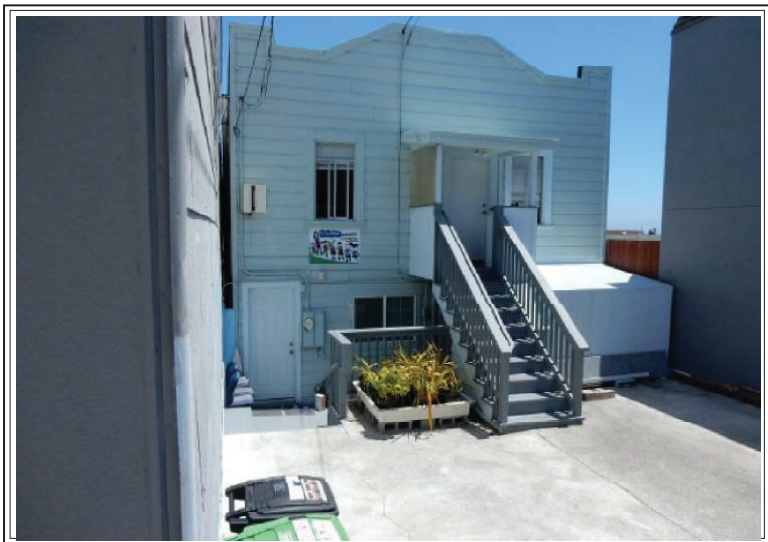
Client: Derek Vinh/I.C.E. Design Team	File No.: 367 - 367A Hamilton Street
Property Address: 367 - 367A Hamilton St	Case No.:
City: San Francisco	State: CA Zip: 94134 - 1437



North Direction/Street Scene



Left Side/Frontal View

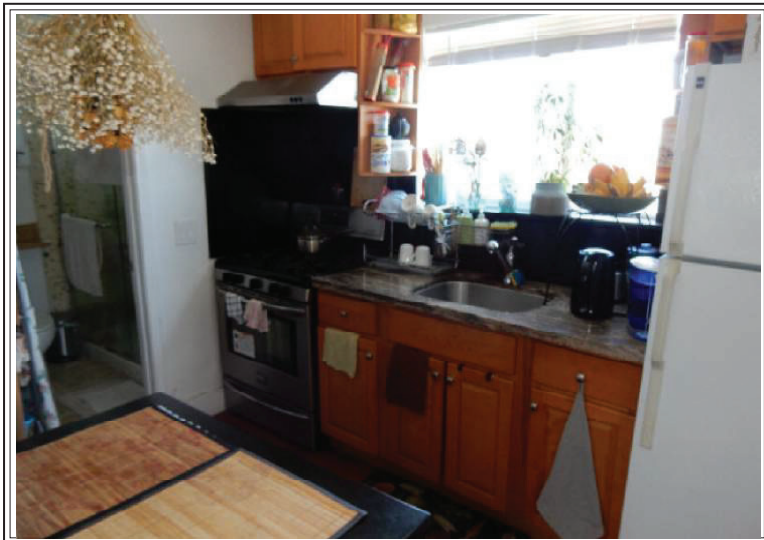


Right Side/Frontal View

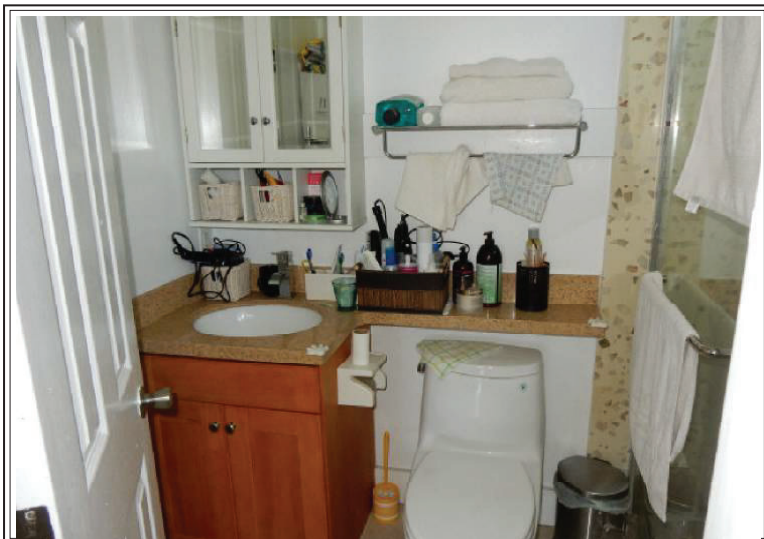
Client: Derek Vinh/I.C.E. Design Team	File No.: 367 - 367A Hamilton Street	
Property Address: 367 - 367A Hamilton St	Case No.:	
City: San Francisco	State: CA	Zip: 94134 - 1437



Unit#367/Living Room

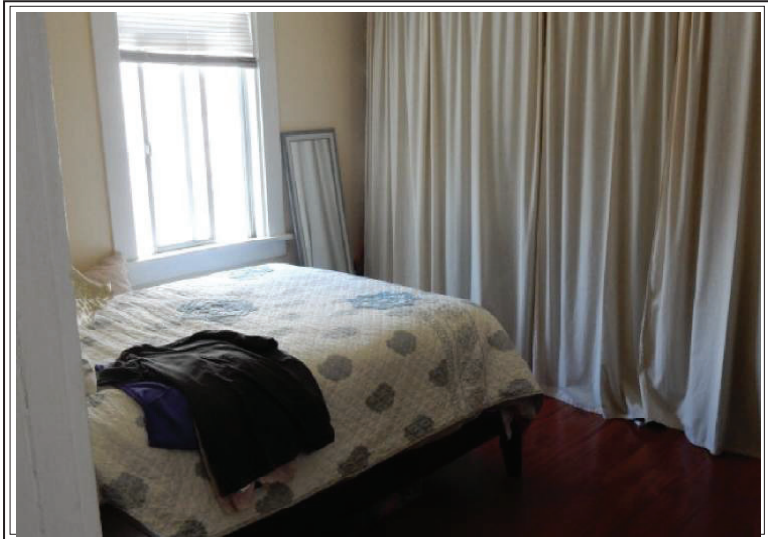


Unit#367/Kitchen



Unit#367/Bathroom

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 - 367A Hamilton Street	
Property Address: 367 - 367A Hamilton St	Case No.:	
City: San Francisco	State: CA	Zip: 94134 - 1437



Unit#367/Bedroom

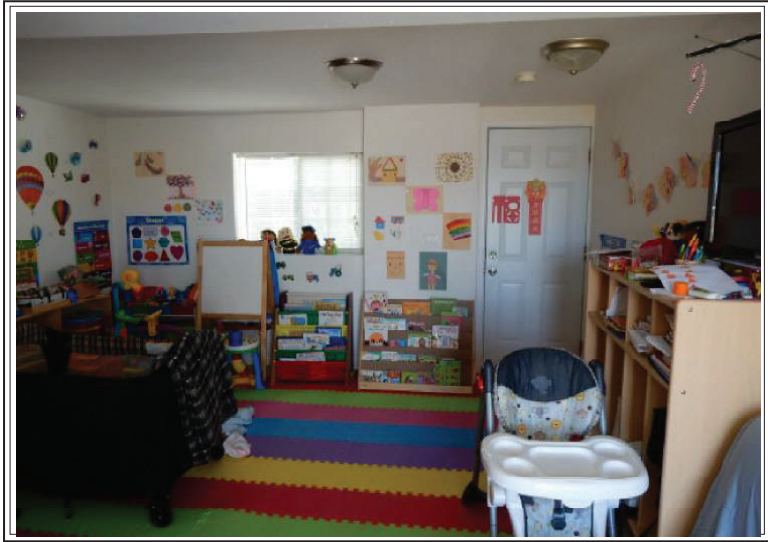


Unit#367/Office



Smoke And Carbon Monoxide Detector

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 - 367A Hamilton Street
Property Address: 367 - 367A Hamilton St	Case No.:
City: San Francisco	State: CA
	Zip: 94134 - 1437



Unit#367-A/Family Room



Unit#367-A/Kitchen



Unit#367-A/Bathroom

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 - 367A Hamilton Street	
Property Address: 367 - 367A Hamilton St	Case No.:	
City: San Francisco	State: CA	Zip: 94134 - 1437



Unit#367-A/Bedroom

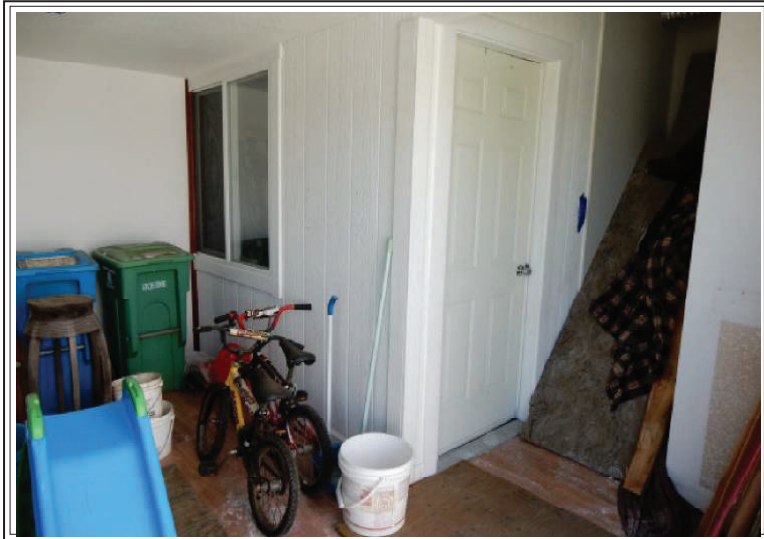


Unit#376-A
Smoke And Carbon Monoxide Detector



Rear Storage Shed

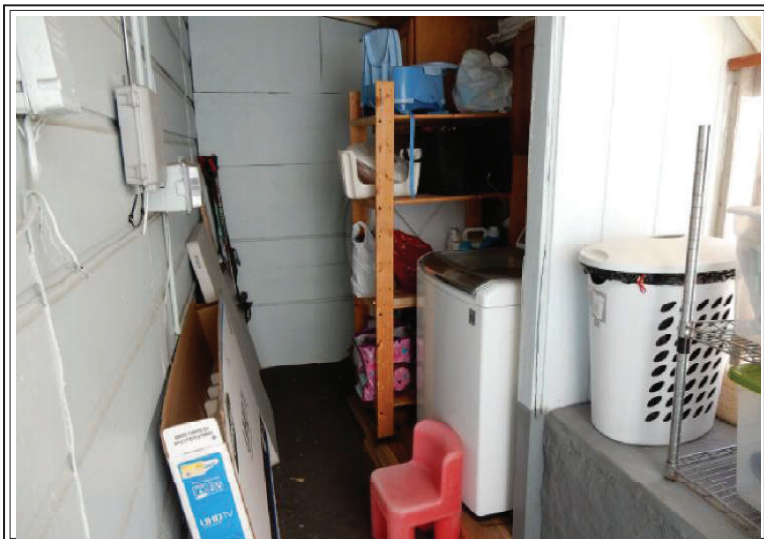
Client: Derek Vinh/I.C.E. Design Team	File No.: 367 - 367A Hamilton Street
Property Address: 367 - 367A Hamilton St	Case No.:
City: San Francisco	State: CA Zip: 94134 - 1437



Rear Storage Shed

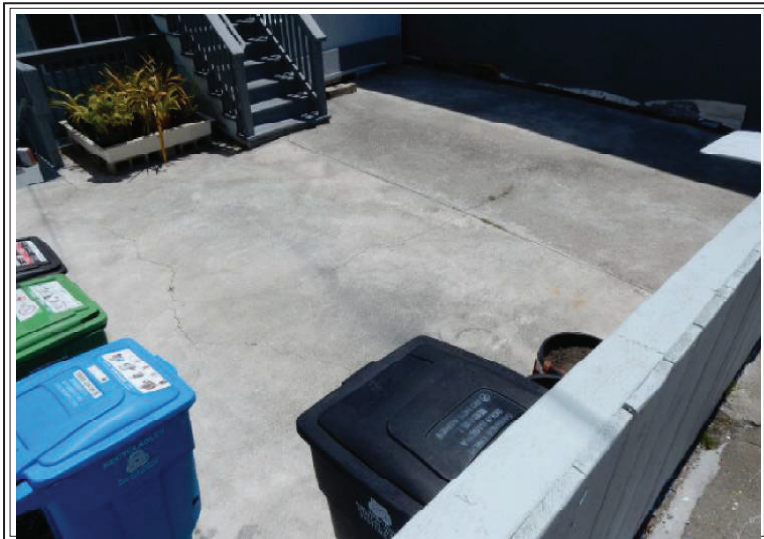


Rear Storage Shed



Exterior Laundry Hook-Up And Storage

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 - 367A Hamilton Street
Property Address: 367 - 367A Hamilton St	Case No.:
City: San Francisco	State: CA
	Zip: 94134 - 1437



Front Concrete Patio Area

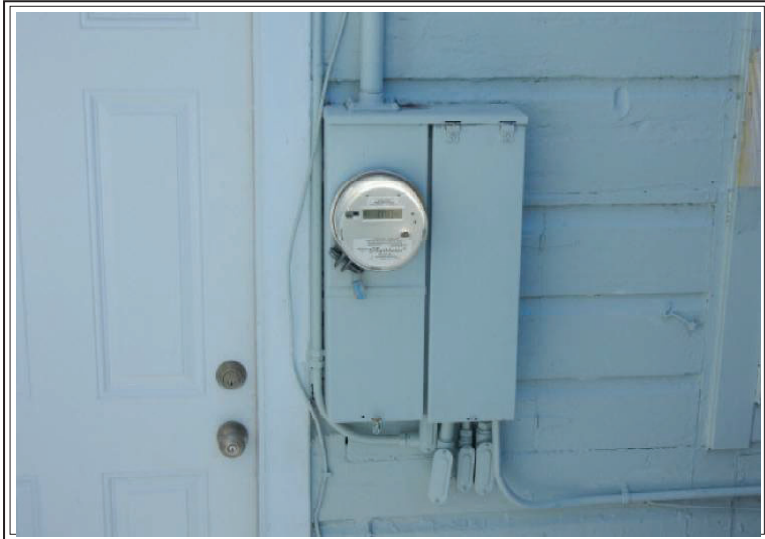


Rear Yard



Hot H2O Heater
Behind Tight Door

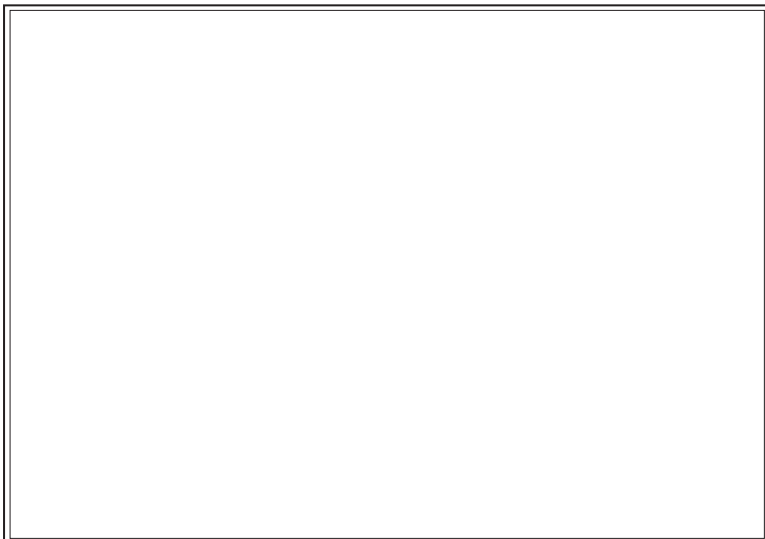
Client: Derek Vinh/I.C.E. Design Team	File No.: 367 - 367A Hamilton Street	
Property Address: 367 - 367A Hamilton St	Case No.:	
City: San Francisco	State: CA	Zip: 94134 - 1437



PG & E Meter

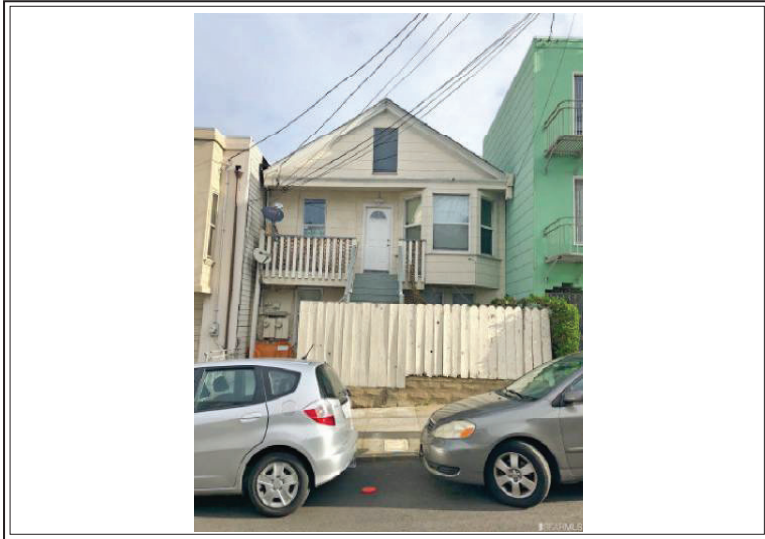


Gas Meter



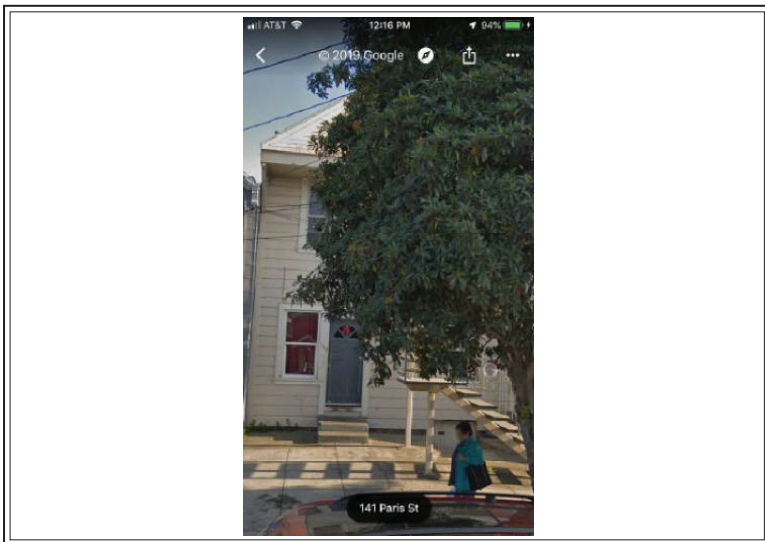
COMPARABLE RENTALS PHOTO ADDENDUM

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 - 367A Hamilton Street
Property Address: 367 - 367A Hamilton St	Case No.:
City: San Francisco	State: CA Zip: 94134 - 1437



COMPARABLE RENTAL #1

305 Russia St
San Francisco, CA. 94112



COMPARABLE RENTAL #2

139 Paris St
San Francisco, CA. 94112



COMPARABLE RENTAL #3

61 - 63 Desmond St
San Francisco, CA. 94134

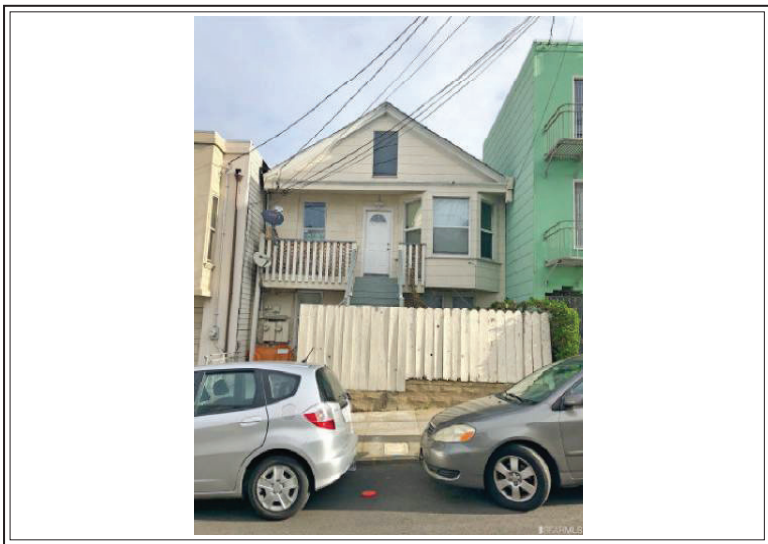
COMPARABLE PROPERTY PHOTO ADDENDUM

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 - 367A Hamilton Street
Property Address: 367 - 367A Hamilton St	Case No.:
City: San Francisco	State: CA Zip: 94134 - 1437



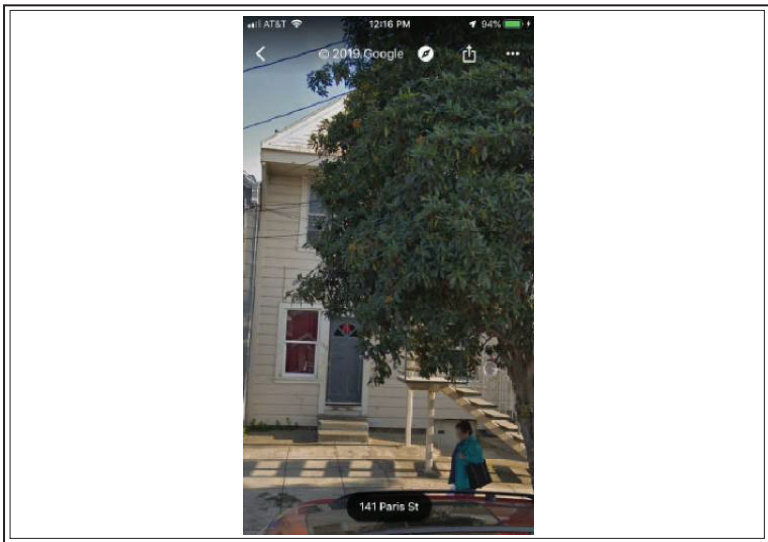
COMPARABLE SALE #1

1715 - 1717 Mckinnon Ave
San Francisco, CA 94124
Sale Date: COE:05/10/2019
Sale Price: \$ 865,000



COMPARABLE SALE #2

305 Russia St
San Francisco, CA 94112
Sale Date: COE:04/09/2019
Sale Price: \$ 595,000

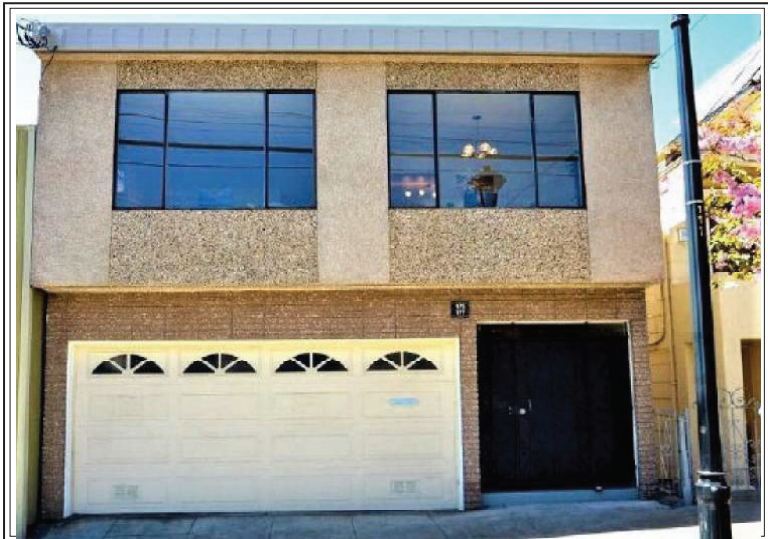


COMPARABLE SALE #3

139 Paris St
San Francisco, CA 94112
Sale Date: COE:04/23/2019
Sale Price: \$ 960,000

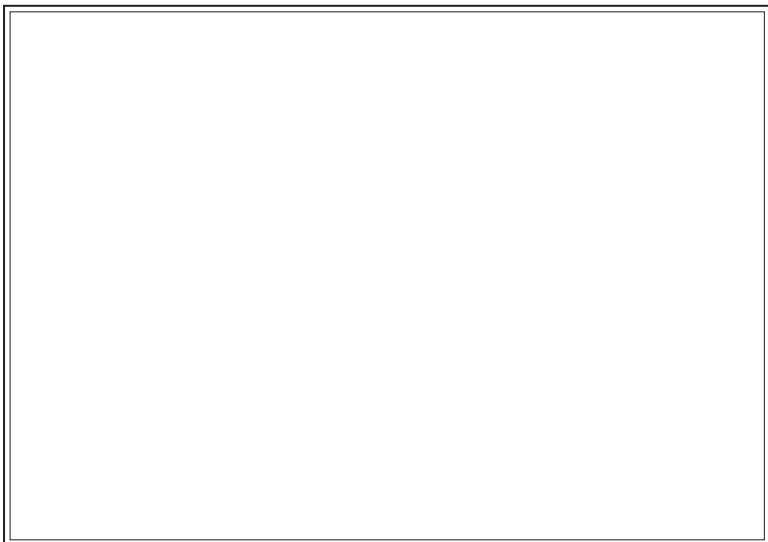
COMPARABLE PROPERTY PHOTO ADDENDUM

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 - 367A Hamilton Street
Property Address: 367 - 367A Hamilton St	Case No.:
City: San Francisco	State: CA Zip: 94134 - 1437



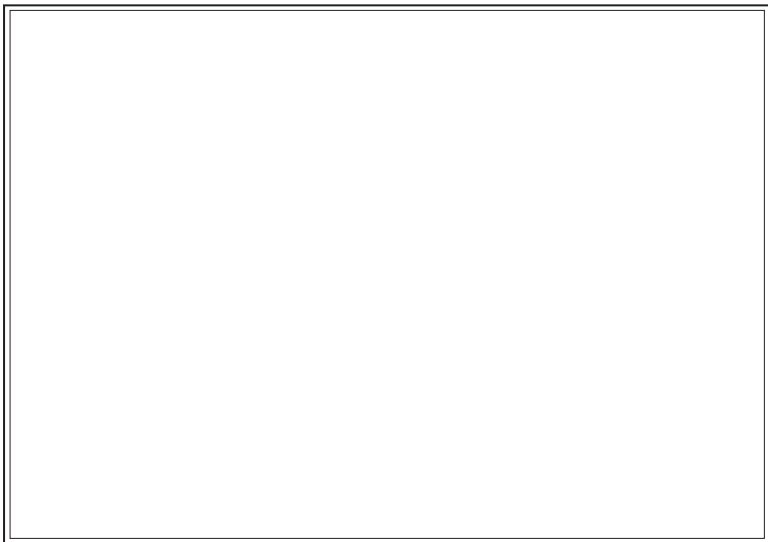
COMPARABLE SALE #4

175 - 177 Leland Ave
San Francisco, CA 94134
Sale Date: Pending
Sale Price: \$ 998,000



COMPARABLE SALE #5

Sale Date:
Sale Price: \$



COMPARABLE SALE #6

Sale Date:
Sale Price: \$

PLAT MAP

Client: Derek Vinh/I.C.E. Design Team
Property Address: 367 - 367A Hamilton St
City: San Francisco

File No.: 367 - 367A Hamilton Street
Case No.:
State: CA
Zip: 94134 - 1437

6/13/2019

06075_5987_0Pq.png (1800*2105)

© COPYRIGHT SAN FRANCISCO
CITY & COUNTY ASSESSOR 1995

5987

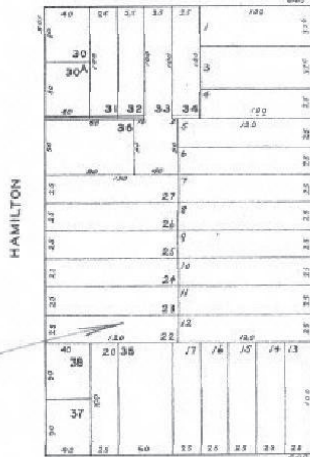
UNIV MD TRACT SUR
BLK 34

LOTS MERGED
Map 2 merged into Map 1-3 "app"

REVISED '87
REVISED '82
'88



BURROWS



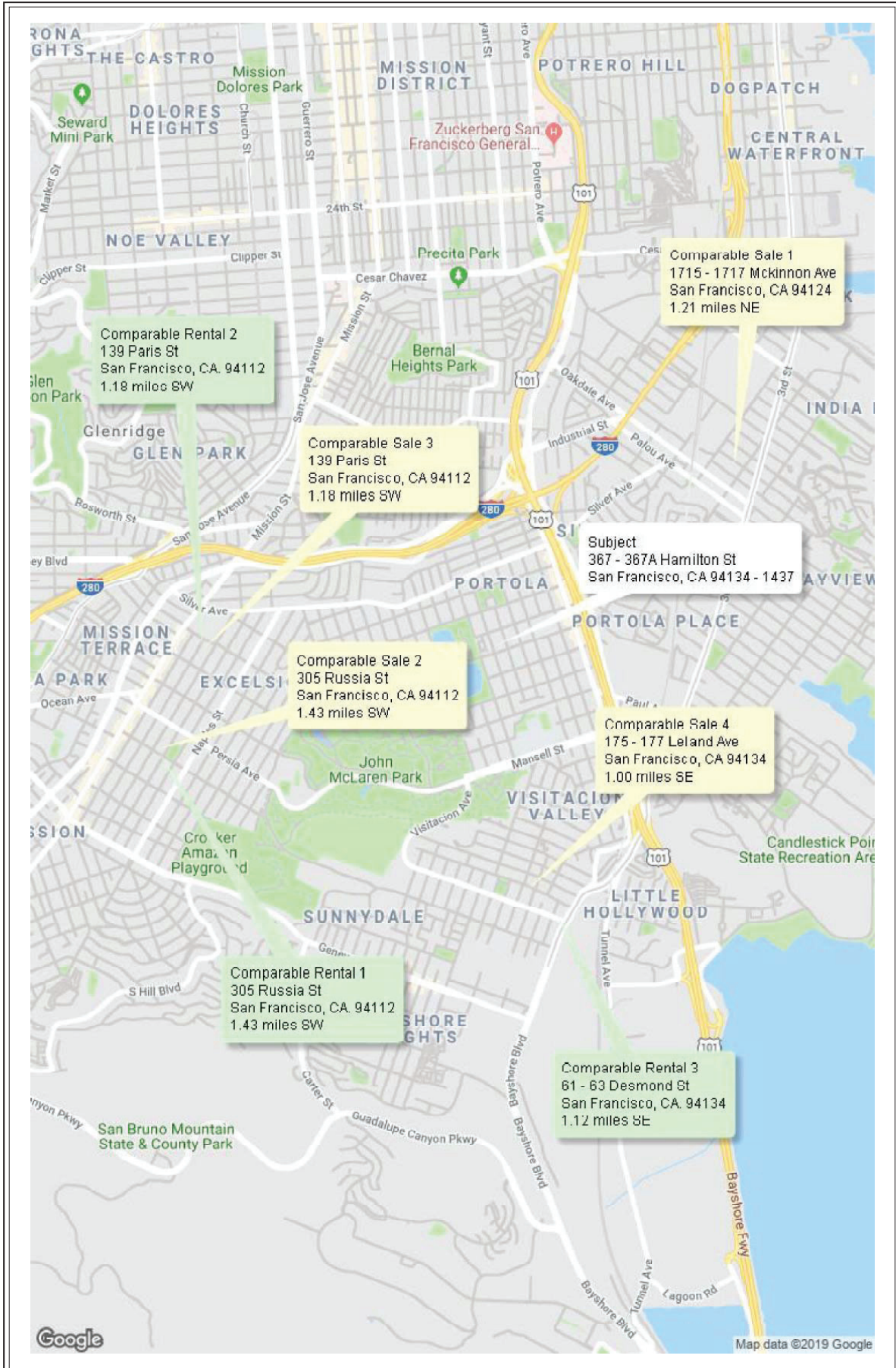
SUBJECT

https://www.parcelquest.com/search/maps/06075_5987_0Pq.png

LOCATION MAP

Client: Derek Vinh/I.C.E. Design Team
Property Address: 367 - 367A Hamilton St
City: San Francisco

File No.: 367 - 367A Hamilton Street
Case No.:
State: CA
Zip: 94134 - 1437



AERIAL MAP

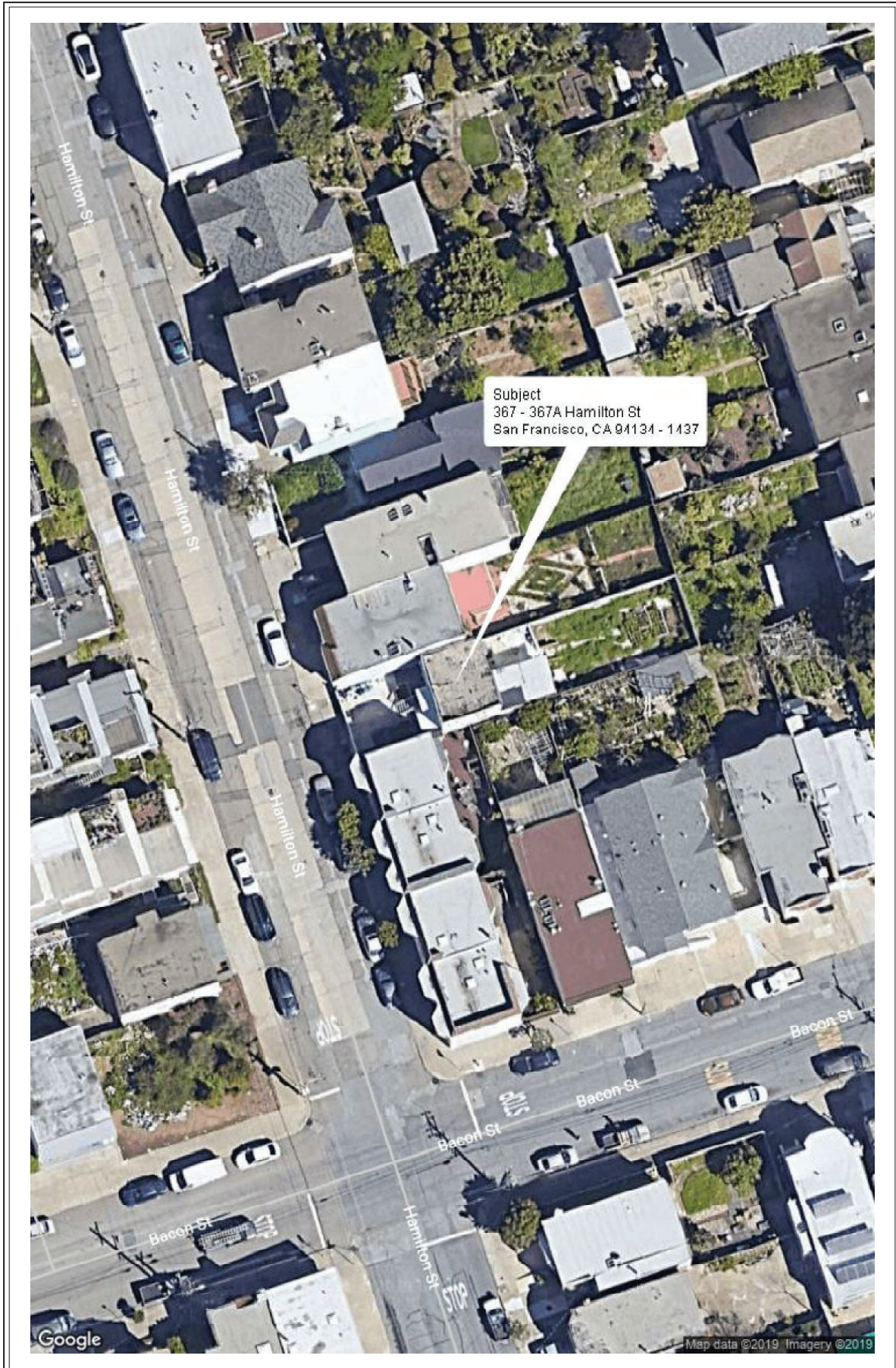
Client: Derek Vinh/I.C.E. Design Team
Property Address: 367 - 367A Hamilton St
City: San Francisco

File No.: 367 - 367A Hamilton Street

Case No.:

State: CA

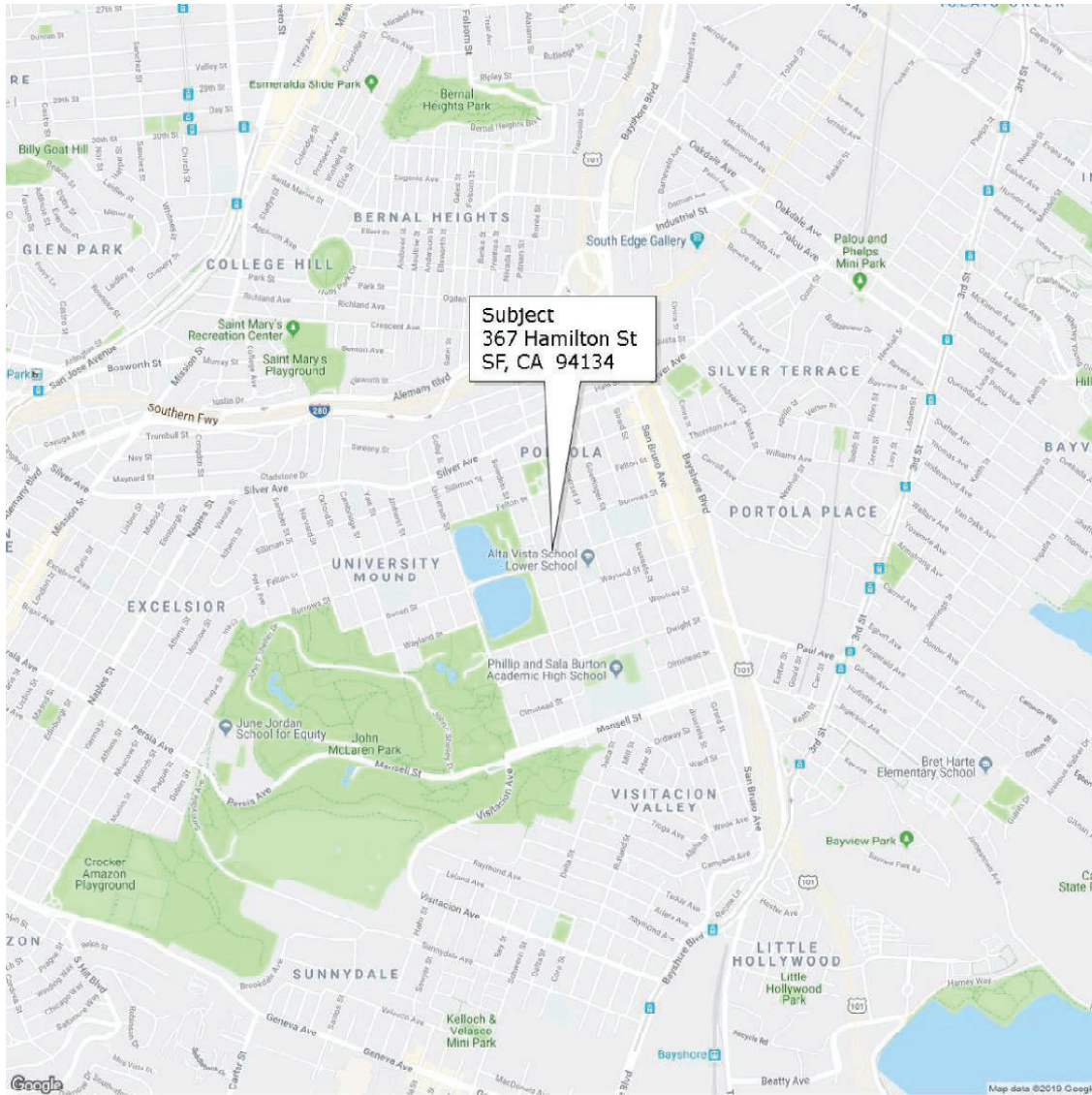
Zip: 94134 - 1437



FLOOD MAP

Client: Derek Vinh/I.C.E. Design Team
 Property Address: 367 - 367A Hamilton St
 City: San Francisco

File No.: 367 - 367A Hamilton Street
 Case No.:
 State: CA
 Zip: 94134 - 1437



FLOOD INFORMATION

Community:
 FEMA Data is unavailable for this area
 FIPS: 06075

LEGEND

- = FEMA Special Flood Hazard Area – High Risk
- = Moderate and Minimal Risk Areas
- Road View:**
- = Forest
- = Water

Sky Flood™

No representations or warranties to any party concerning the content, accuracy or completeness of this flood report, including any warranty of merchantability or fitness for a particular purpose is implied or provided. Visual scaling factors differ between map layers and are separate from flood zone information at marker location. No liability is accepted to any third party for any use or misuse of this flood map or its data.

Client: Derek Vinh/I.C.E. Design Team File No.: 367 - 367A Hamilton Street
Property Address: 367 - 367A Hamilton St Case No.:
City: San Francisco State: CA Zip: 94134 - 1437



1438-F West Main Street
Ephrata, PA 17522-1345

Phone 717-721-3500
Fax 717-721-3515

07/24/18

John Tom d/b/a
John Tom Appraisal Services
2333 Turk Blvd
San Francisco CA 94118

Email turkjt@aol.com

Re: Errors & Omissions for Real Estate Appraisers
Insurance Company: Lexington Insurance Company
Certificate #: 013648626-06 Certificate Period: 09/01/18 to 09/01/19

This note is to confirm that the application on file for the above named insured shows the following appraisers listed:

Licensed Appraisers
John Tom

Allen G. Barry III

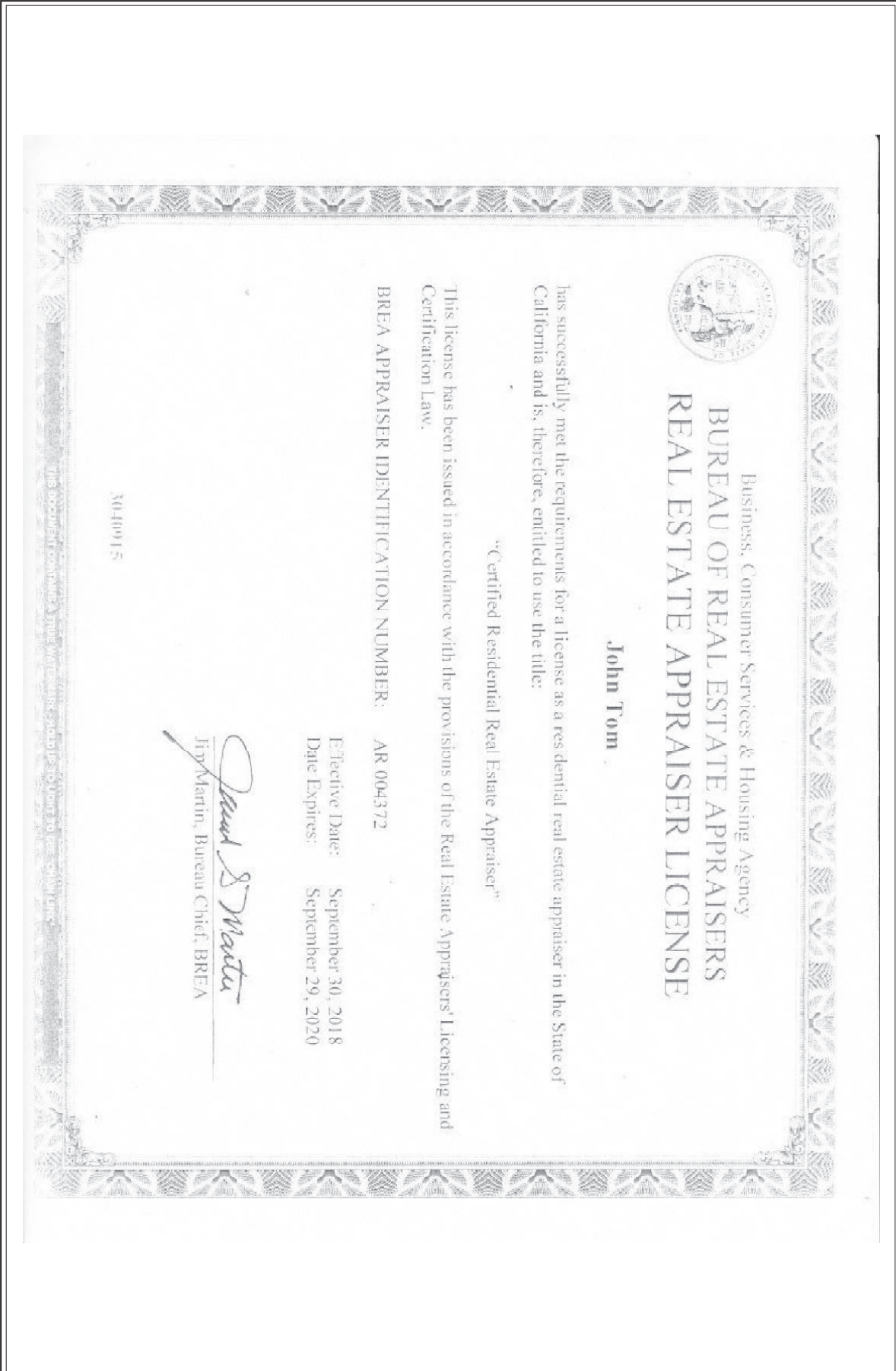
Client: Derek Vinh/I.C.E. Design Team
Property Address: 367 - 367A Hamilton St
City: San Francisco

File No.: 367 - 367A Hamilton Street

Case No.:

State: CA

Zip: 94134 - 1437



Business, Consumer Services & Housing Agency
BUREAU OF REAL ESTATE APPRAISERS
REAL ESTATE APPRAISER LICENSE

John Tom

has successfully met the requirements for a license as a residential real estate appraiser in the State of California and is, therefore, entitled to use the title:

“Certified Residential Real Estate Appraiser”

This license has been issued in accordance with the provisions of the Real Estate Appraisers' Licensing and Certification Law.

BREA APPRAISER IDENTIFICATION NUMBER: AR 004372

Effective Date: September 30, 2018
Date Expires: September 29, 2020

Jim Martin
Jim Martin, Bureau Chief, BREA

3040915

This document contains confidential information. It is to be used only for the purposes stated on the document.

Property Profile

Client: Derek Vinh/I.C.E. Design Team	File No.: 367 - 367A Hamilton Street
Property Address: 367 - 367A Hamilton St	Case No.:
City: San Francisco	State: CA Zip: 94134 - 1437



County Last Updated: 06/07/2019

Property Location

Address: 367 HAMILTON ST # 367A	City: SAN FRANCISCO	Zip: 94134-1437
APN#: 5987 -022	Use Code: Duplex	County: San Francisco
Tract: UNIVERSITY MOUND	Census Tract: 257.02	Zone: RH1
Map Page/Grid: 667/ 37	Legal Desc: BLK 34 LOT 6	
Total Assessed Value: 459,956	Tax Amount: 6,189.76	
Percent Improvement: 29.00	Tax Year / Assessor Year: 2018 / 2018	

Current Owner Information

Current Owner: LIANG, JIAN X & MEI H	Owner Address: 367 HAMILTON ST
City, State, Zip: SAN FRANCISCO, CA, 94134-1437	Owner Occupied: No
Last Transaction: 10/10/2018	Deed Type:
Amount:	Document: 0K68100485

Last Sale Information

Transferred From: TAM, KEN S K	Seller Address:
Recording / Sale Date: 02/19/2013 / 09/11/2012	Prior Recording / Sale Date: 08/12/2010 / 07/28/2010
Most Recent Sale Price: 220,000	Prior Sale Price: 228,000
Document Number: 0260300900	Prior Document No.: 0J01800676
Document Type: grant deed/deed of trust	Prior Document Type:

Lender Information

Lender:	Full/Partial: F
Loan Amount / 2nd Trust Deed: 0 / 0	Loan Type: conventional

Physical Information

Building Area: 960	# of Bedrooms: 2	Lot Size: sqft / acreage: 3,000 / 0.07
Additional: 0	# of Bathrooms: 2.00	Year Built / Effective: 1908 / 0
Garage: 0	# of Stories: 2	Heating:
First Floor: 0	Total Rooms: 6	Cooling:
Second Floor: 0	# of Units: 2	Roof Type:
Third Floor: 0	Garage/Carpport: /	Construction/Quality: Wood Frame / 0
Basement Finished: 0	Fireplaces: 0	Building Shape:
Basement Unfinished: 0	Pool/Spa: No	View:

USPAP ADDENDUM

Borrower: Greg Hsu
 Property Address: 367 - 367A Hamilton St
 City: San Francisco County: San Francisco State: CA Zip Code: 94134 - 1437
 Lender/Client: Derek Vinh/I.C.E. Design Team

APPRAISAL AND REPORT IDENTIFICATION
 This appraisal report is one of the following types:
 Appraisal Report This report was prepared in accordance with the requirements of the Appraisal Report option of USPAP Standards Rule 2-2(a).
 Restricted Appraisal Report This report was prepared in accordance with the requirements of the Restricted Appraisal Report option of USPAP Standards Rule 2-2(b). The intended user of this report is limited to the identified client. This is a Restricted Appraisal Report and the rationale for how the appraiser arrived at the opinions and conclusions set forth in the report may not be understood properly without the additional information in the appraiser's workfile.

ADDITIONAL CERTIFICATIONS
 I certify that, to the best of my knowledge and belief:

- The statements of fact contained in this report are true and correct.
- The report analyses, opinions, and conclusions are limited only by the reported assumptions and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.
- I have no (or the specified) present or prospective interest in the property that is the subject of this report and no (or specified) personal interest with respect to the parties involved.
- I have no bias with respect to the property or the parties involved with this assignment.
- My engagement in this assignment was not contingent upon developing or reporting predetermined results.
- My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
- My analyses, opinions, and conclusions were developed and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice.
- This appraisal report was prepared in accordance with the requirements of Title XI of FIRREA and any implementing regulations.

PRIOR SERVICES

I have NOT performed services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.

I HAVE performed services, as an appraiser or in another capacity, regarding the property that is subject of this report within the three-year period immediately preceding acceptance of this assignment. Those services are described in the comments below.

PROPERTY INSPECTION

I have NOT made a personal inspection of the property that is the subject of this report.

I HAVE made a personal inspection of the property that is the subject of this report.


APPRAISAL ASSISTANCE
 Unless otherwise noted, no one provided significant real property appraisal assistance to the person signing this certification. If anyone did provide significant assistance, they are hereby identified along with a summary of the extent of the assistance provided in the report.

ADDITIONAL COMMENTS
 Additional USPAP related issues requiring disclosure and/or any state mandated requirements:

MARKETING TIME AND EXPOSURE TIME FOR THE SUBJECT PROPERTY

A reasonable marketing time for the subject property is _____ day(s) utilizing market conditions pertinent to the appraisal assignment.

A reasonable exposure time for the subject property is 60+/- day(s).

<p>APPRAISER:</p> <p>Signature: </p> <p>Name: <u>John Tom</u></p> <p>Date Signed: <u>06/18/2019</u></p> <p>State Certification #: <u>AR004372</u></p> <p>or State License #: <u>N/A</u></p> <p>or Other (describe): _____ State #: _____</p> <p>State: <u>California</u></p> <p>Expiration Date of Certification or License: <u>09/29/2020</u></p> <p>Effective Date of Appraisal: <u>06/14/2019</u></p>	<p>SUPERVISORY APPRAISER (only if required):</p> <p>Signature: _____</p> <p>Name: _____</p> <p>Date Signed: _____</p> <p>State Certification #: _____</p> <p>or State License #: _____</p> <p>State: _____</p> <p>Expiration Date of Certification or License: _____</p> <p>Supervisory Appraiser inspection of Subject Property:</p> <p><input type="checkbox"/> Did Not <input type="checkbox"/> Exterior-only from street <input type="checkbox"/> Interior and Exterior</p>
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Flores, Veronica (CPC)

From: turkjt@aol.com
Sent: Tuesday, August 27, 2019 1:59 PM
To: Flores, Veronica (CPC)
Subject: 367 Hamilton Street

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear Veronica.

It has been a pleasure speaking to you on regarding the concern that you had with the 2 appraisal reports on 367 Hamilton Street. As I had stated in our conversation over the phone, single family homes in the current Portola neighborhood appears to command a higher range in value as compared to current similar age converted, 2 unit properties for the immediate market place. Current trend of the market for single family properties in subject's neighborhood is for the intention of owner use and enjoyment. The current Portola neighborhood appears to be quite attractive for first time home buyers due to the affordability of homes in this fairly desirable, mostly residential neighborhood. Current trend of the market in the Portola neighborhood is stable to a slightly upswing of property value range.

1st Report: Appraise subject as a SFR (single family residential) home. Subject's current legal 960 SF, 2 bedrooms, 2 baths appears to be within the normal and considered to be typical for the immediate market area.

2nd Report: Appraise subject as a legal converted 2 unit property. Legal converted 2 unit properties with similar subject appeal appear to be lower in value range as compared to a SFR home in the immediate subject market area. Subject, a SFR converted to a 2 unit property with one unit above the other appeal. The legal use of the property may have legally changed, however; the size of the original improvements has remained the same. Due to the size of each unit, 480 SF appears to be limited in tenant appeal and the command of higher end rent value is minimal.

Thank you for your time

John Tom
Appraiser/AR004372

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Flores, Veronica (CPC)

Subject: FW: 367 Hamilton St 2015.0514.6359

From: ICE Design Team <info@icedesigninc.com>

Sent: Friday, June 7, 2019 3:17 PM

To: Flores, Veronica (CPC) <Veronica.Flores@sfgov.org>

Subject: Re: 367 Hamilton St 2015.0514.6359

Hi Veronica,

Here is a breakdown of the cost to legalize the unit.

Plumbing for kitchen and bathroom (including material) \$ 35,000.

Electrical (lights, outlets, rewiring) \$25,000.

Foundation repair - \$30,000.

Fire rating construction for ceiling and walls fire protection - \$30,000.

Windows replacement - \$5,000.

Construction plans and special inspection - \$20,000.

Thank you.

Warm Regards,

Derek Vinh

I.C.E. Design Team

90 South Spruce Ave, Ste. K

South San Francisco, CA 94080

Tel: 650.741.6968 Fax: 650.741.6966

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EXHIBIT H

360 Hamilton St #3
San Francisco, CA 94134
July 7, 2019

Ms. Veronica Flores, Planner
San Francisco Planning Department
1650 Mission St, Suite 400
San Francisco, CA 94103

Re: 367 Hamilton Street project: #215-006825CUA

Dear Ms. Flores:

I have not heard back from you regarding my telephone inquiries. Therefore, I am writing to present my concerns about the above project. The project is for large multi residential units to be built in a predominantly 2 story single family residential neighborhood. This project has been modified from the original 2015 submission and has expanded significantly. It now includes the demolition of a 1908 building that is original to one of the oldest neighborhoods in San Francisco. The project sponsor, ICE Design met only one time with the neighbors years ago. This was only a pre-application meeting. Everyone present requested to be notified of any changes. We have heard nothing about this project until a mailing for a hearing from your office June 21st which I received June 27th. The sponsors did not notify the neighborhood. There were no postings of the hearing in the neighborhood or on the property. I called in a complaint about the lack of posted notification this but it was never rectified. Given the short notification period, I will do my best to bring forth my concerns for this completely changed and expanded project.

Plan Changes: The current plan presented for approval is radically different from the one presented to the neighbors on April 25, 2015. It is significantly larger. It requires a zoning change. It no longer retains the façade of the 1908 building. The set back and open space are greatly reduced. It will require excavation. It now displaces rent controlled renters and an unlicensed day care. The design is not consistent with the neighborhood character. This is not an infill project in a single family home, it is an apartment building that does not necessarily accommodate more occupants. There are 3 units, it is not a single family home with an accessory unit. I am very disappointed that the project sponsors do not follow notification requirements for the neighborhood. Due to this red flag behavior, this plan needs close scrutiny.

Project Size: The site is zoned RH1, as is almost the entire neighborhood. The little house 900 sq ft was never a legal 2 unit building. When it was sold in 2010, the useage was transformed. It is really a 1 ½ story building which is not uncommon for its age. I called planning to inform the planner that it was not a 2 unit building. I was told that the 2 unit status could not be confirmed. I know first hand that the downstairs did not have a bathroom or kitchen when sold in 2010. The upstairs was basically a studio. The property was expanded without permits. The current owner always used the property as 2 units.

The 2015 building plans were for a partial "basement", and two units with separate entrances. The façade and setback would be retained. The "basement" would have a window and exterior door in the

rear. Every person present suspected that this project would be later made into 3 units. The proposed building height was 23 feet. Everyone felt that the project was oversized for the neighborhood's small house character. Mr. Vinh was advised that the neighbors wanted the project scaled down. This was ignored.

The current plan is very different and is even larger! Now there are three units. The height is 40 feet which towers over both adjacent buildings. It is a monster in a single family residence zone where buildings typically do not exceed 35 feet. It will block light and air, cast shadow and invades neighbor privacy. Unfortunately, the sponsor submitted pictures which depict the singular exceptions. Across the street, are multifamily residential units. This unique development is the only one of this size in the entire Portola district. The height of the project will definitely obstruct apartment tenant views. The proposed project windows will allow direct visualization into the apartments across the street because of its height (see pg 12 of rendering). Nextdoor to the proposed project and throughout the surrounding blocks are properties which are *all* two story single family residences. There will be no preservation of the original house. This project does not preserve the existing character of the neighborhood because it is not to scale. This project will be out of place and a monstrosity rising between little stucco houses.

CEQA & Dwelling Removal Supplement: In addition to the increase in size, now there is demolition. The Ceqa available to the public is from 2015 and out of date but was approved March 11, 2019. There are numerous misrepresentations on both signed forms due to the significant expansion of the project.

- Now there is demolition and likely excavation. Over 1,000 sq feet have been added and the footprint will increase over 50% of the original house envelope. The number of units is increased
- The plan changes also effect the environmental evaluation due to the excavation and demolition. There are likely lead hazards which were not disclosed. The soil disturbance and lead dust will greatly impact the neighborhood which has two elementary schools nearby.
- The property has always been rented and is governed by San Francisco Rent Stabilization Board including just-cause eviction controls. There is an unlicensed Day Care at the premises. This substantial rehabilitation project will remove rent ordinance protections for this property and likely cause the displacement of a single household mother with a toddler. Affordability is not protected with this project.
- The owner of 367 Hamilton, Liang Mei Hua lives at 252 Cambridge Street and has not resided at the project site for years.
- The original house was over 45 years old. The Portola district is one of the oldest neighborhoods in San Francisco. The little simple western style was likely original or perhaps an earthquake shack transplanted. This house may have historical impact and a second look for this is in order.

Plan Check: The sponsor declares the project is an R3 occupancy status. This is disturbing as that designation is only for RH2 dwellings. RH2 has not been verified for this lot. R3 could also indicate a change of use such as a rooming house, or group home. This would be a distinct change of use for this property. Additionally, I do not see fire sprinklers in the plan.

Parking: The curb cuts for the original driveway were a total of 2 sidewalk squares wide making the driveway only 6 feet wide in total. The owners have deliberately enlarged the area. (see picture). The driveway location was very close to the south lot line. The proposed plan enlarges the driveway and moves the curb cuts north. This will result in the loss of a full street parking space. There has been a bundle of auxiliary unit infill built in our neighborhood. Every in-law unit displaces a garage and every unit will each have at least one car. As a consequence, there is a critical shortage of street parking. The current project will negatively impact the neighborhood by eliminating a full length parking space. The original plan was for bicycle parking only and would have contributed the 6 foot driveway into street frontage curb space. The new plan for the driveway needs revisions that reduce and relocate the driveway to conform with the original driveway specifications or the garage should be eliminated altogether. We no longer have a low density neighborhood. The new plan imposes an unfair burden on the community by removing street parking which is a public asset.

Setback and Bay Windows: The proposed plan's front location is almost on the lot line. The minimal setback landscaping is confined to enclosed spaces of the design. This is dangerous as it cannot catch rainwater and will only contribute to increased sidewalk storm water runoff on the steep slope. Compounding this debacle, the new design has front bay windows which project significantly over the lot line into the public realm. The project sponsor's picture showed the only twin houses on the corner which have a similar but less dramatic projection. These corner houses are unique and are on 40 X 50 foot lots. To compensate for the taking of public space, both the garage door and entryway are deeply recessed. The current plan does not offer this relief and promotes a negative claustrophobic pedestrian experience. Additionally, the bay windows have side panes which will look directly into the house next door. This is simply a bad design for earthquake country in general as falling glass will strike directly on the sidewalk. Only 4 houses, (two at each corner) do not have setbacks, the other 6 homes on the block are set back. Across the street, 100% are setback. The baywindow in this project is purely a bad design for public safety and privacy. It encroaches and erodes on the public realm unnecessarily. This window design feature needs revision. The entire project needs more setback due to its massive size and ineffective permeable landscape.

Design: The Portola district is known for the Mediterranean style single family stucco homes. It is fairly homogeneous and tidy. The proposed oversized project will feature barn materials! Metal deck fencing visible from the street is similar to livestock fencing and not appropriate for this neighborhood or humans. The modern style metal siding in this project is not in character with the earthy materials used in the neighborhood. It is cheap and looks it. It deteriorates rapidly and becomes unsightly with rust as can be seen in the SoMa. It is a poor choice as an architectural feature. Stucco and wood are the materials of choice and I see new buildings using these materials with exceptionally fine results. The metal is very objectionable and is not responsive to the neighborhood context. An alternate material should be used to maintain and enhance the character of the neighborhood. Metal is a change in neighborhood building pattern.

Third Floor: This level contributes to the oversizing of this project. Additional habitation space is available with two floors originally planned. The design setback mitigates the mass of the project somewhat but it will still cast shadow, reduce light and air flow. This level is objectionable and out of proportion to surrounding buildings and for the neighborhood common scale.

Third Floor Front Deck and Windows: The third floor is at a level on par with the multifamily residential apartments *across* the street. The loss of neighbor privacy with a front deck at this elevation needs to be mitigated. It is unacceptable to allow this privacy invasion for multiple residences when it is not

necessary. The size of the deck invites socialization. The front deck can also add noxious noise which easily transmits without impediments. The previously mentioned deck fencing is intolerably distasteful and not in keeping with the character of the neighborhood. This is a second deck for this level. The large rear deck should be adequate for this project.

The third floor windows present the same problem. They allow a look directly into the neighbor's living spaces. It is unreasonable to keep shades constantly drawn to maintain privacy due to the oversize of this project. Clerestory windows or obscure glass would help to mitigate this repugnant situation created by this oversized project. The holistic solution would be to eliminate the 3rd floor level altogether and return to the original plan height size.

Complaints: The properties owned by Liang Mei Hua at both 367 Hamilton (subject location) and 252 Cambridge (primary residence) have had several building complaints for work without permits. Many neighbor complaints for building code violations are not in the on-line view. The Day Care sign remains in a location not allowed by city code. My complaint about failure to post the July 11th planning hearing unfortunately was not followed up. The sponsor has demonstrated a persistent pattern of surreptitious building practices. The sponsor and the sponsor's representative, ICE Design engage in actions that ignore codes and procedures. This has adversely impacted the neighborhood for a long time and many people have given up reporting these system abuses. For these reasons, I request this project receive more attention to reviews to protect the public safety and maintain the peaceful quiet enjoyment of the neighborhood.

Thank you for your attention,

Tala Montoya
360 Hamilton St
San Francisco, CA

Flores, Veronica (CPC)

From: yaya smith <yayasaidok@gmail.com>
Sent: Thursday, August 29, 2019 1:51 PM
To: Flores, Veronica (CPC)
Subject: 367 Hamilton review

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Dear Ms Flores,

This is about case 210-006825CUA. Our family moved to the Portola district from the Haight because of the openness and peacefulness. We've enjoyed being here for five years now. We have a house on Hamilton Street and did not hear about this building plan until a neighbor informed us. This plan is being called "the hotel" by all the neighbors. The design for this single family house is not a single family home at all. This idea is way over-scale and will tower over and above the other houses. Incredibly, the plan takes up the whole lot. We call it design gentrification chaos.

The planned house is just too big and is a great over-reach for our street and neighborhood. Please reduce the size of this hotel-house so that it fits into our neighborhood. It is a quality of life issue for us and the entire neighborhood.

Sincerely,
Hamilton Street Home Owners



Virus-free. www.avg.com