



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: JUNE 27, 2019

Record No.: 2015-005763CUA
Project Address: 247 17th Avenue
Zoning: RH-2 (Residential, House, Two-Family) Zoning District
40-X Height and Bulk District
Block/Lot: 1416 / 009
Project Sponsor: Derek Vinh
I.C.E. Design Team
90 South Spruce Ave, Ste. K
South San Francisco, CA 94080
Property Owner: Michael Su
247 17th Avenue
San Francisco, CA 94121
Staff Contact: Laura Ajello – (415) 575-9142
laura.ajello@sfgov.org
Recommendation: **Approval with Conditions**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The Project includes (tantamount to) demolition of a 2,675 square foot two-family dwelling through a major alteration. The proposal includes renovation of the front façade and vertical and horizontal additions. The resulting building will contain two three-bedroom dwelling units (each approximately 2,337 and 2,405 square feet), two off-street parking spaces, and two Class 1 bicycle parking spaces. The project site is located within the RH-2 (Residential, House, Two-Family) Zoning District, and 40-X Height and Bulk District.

REQUIRED COMMISSION ACTION

In order for the Project to proceed, the Commission must grant a Conditional Use Authorization, pursuant to Planning Code Sections 317 and 303 to demolish an existing two-story-over-basement, two-family residence and construct a new four-story, two-unit residence at 247 17th Avenue.

ISSUES AND OTHER CONSIDERATIONS

- **Public Comment & Outreach.** To date the Department has not received any correspondence related to the project.
- **Existing Tenant & Eviction History:** One of the two existing units is occupied by tenants. There was an eviction on the property in 1992. See below for documentation of Eviction History.

- **Design Review Comments:** The project has changed in the following significant ways since the original submittal to the Department:
 - Front façade: Single bay window with balcony above changed to double-bay window and window proportions changed to better match the neighborhood character;
 - Fiber cement siding changed to combination of wood siding and stucco; and
 - Spiral stair removed from rear of building.

ENVIRONMENTAL REVIEW

On June 13, 2019, the Project was determined to be exempt from the California Environmental Quality Act ("CEQA") as Class 1 and Class 3 Categorical Exemptions under CEQA as described in the determination contained in the Planning Department files for this Project.

BASIS FOR RECOMMENDATION

The Department finds that the Project is, on balance, consistent with the Objectives and Policies of the General Plan. The Project will allow construction of a four-story two-family dwelling on the subject property currently occupied by a two-story, two-family residential building. The project represents a sensitive infill within the allowable residential density applicable to the RH-2 Zoning District. The Department also finds the project to be necessary, desirable, and compatible with the surrounding neighborhood, and not to be detrimental to persons or adjacent properties in the vicinity.

ATTACHMENTS:

Draft Motion – Conditional Use Authorization with Conditions of Approval
Exhibit B – Plans and Renderings
Exhibit C – Environmental Determination
Exhibit D – Land Use Data
Exhibit E – Maps and Context Photos
Exhibit F - Project Sponsor Brief
Exhibit G – Eviction History Documentation



SAN FRANCISCO PLANNING DEPARTMENT

Planning Commission Draft Motion

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ADOPTING FINDINGS RELATING TO A CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 303 AND 317, TO DEMOLISH AN EXISTING TWO-STORY-OVER-BASEMENT, 2,675 SQUARE FOOT TWO-FAMILY RESIDENCE AND CONSTRUCT A NEW FOUR-STORY, TWO-FAMILY RESIDENCE (APPROXIMATELY 6,466 SQUARE FEET IN SIZE) WITH THREE-BEDROOMS PER DWELLING UNIT, LOCATED AT 247 17TH AVENUE, LOT 009 IN ASSESSOR'S BLOCK 1416, WITHIN THE RH-2 (RESIDENTIAL, HOUSE, TWO-FAMILY) AND A 40-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PREAMBLE

On January 25, 2017, Derek Vinh of I.C.E. Design Team (hereinafter "Project Sponsor") filed Application No. 2015-005763CUA (hereinafter "Application") with the Planning Department (hereinafter "Department") for a Conditional Use Authorization to allow demolition of an existing two-family residence and new construction of a four-story, 30-foot-10-inch tall, two-family residence (approximately 6,466 square feet combined) at 247 17th Avenue, Block 1416 Lot 009 (hereinafter "Project Site").

On June 13, 2019, the Project was determined to be exempt from the California Environmental Quality Act ("CEQA") as Class 1 and Class 3 Categorical Exemptions under CEQA as described in the determination contained in the Planning Department files for this Project.

On June 27, 2019, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2015-005763CUA.

The Planning Department Commission Secretary is the custodian of records; the File for Record No. 2015-005763CUA is located at 1650 Mission Street, Suite 400, San Francisco, California.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use as requested in Application No. 2015-005763CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Project Description.** The Project includes (tantamount to) demolition of the existing two-story-over-basement two-family residence and construction of a new four-story (40-foot tall), 6,466 square foot residential structure containing two dwelling units and two off-street parking spaces. The proposed dwelling units are a three-bedroom unit of 2,337 square feet and a three-bedroom unit of 2,405 square feet in size.
3. **Site Description and Present Use.** The Project is located on a 3,000 square-foot lot with 25 feet of street frontage and a depth of 120 feet. The Project Site contains one existing building, approximately 43 feet in length, containing a two-family residence. One unit is vacant and the other is tenant occupied.
4. **Surrounding Properties and Neighborhood.** The Project Site is located within the RH-2 Zoning District. The immediate context is primarily residential in character and is comprised primarily of multi-family structures. The adjacent building to the north is a three-story two-family residence, while the adjacent building to the south is a three-story, one-family residence. Other zoning districts near the project site include: RM-1 (Residential, Mixed, Low Density) and NC-1 (Neighborhood Commercial, Cluster).
5. **Public Outreach and Comments.** The Department has not received any correspondence related to the project.

6. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Residential Demolition.** Pursuant to Planning Code Section 317, Conditional Use Authorization is required for applications proposing to remove one or more residential units.

As the project requires Conditional Use Authorization, the additional criteria specified under Section 317 for residential demolition have been incorporated as findings a part of this Motion. See Item 8, "Additional Findings Pursuant to Planning Code Section 317," below.

- B. **Residential Density, Dwelling Units.** Planning Code Section 209.1 states that states that two-family residences are permitted within the RH-2 District.

The Project will demolish one existing two-family dwelling and will construct two residential units within a new four-story building; therefore, the Project complies.

- C. **Rear Yard.** Planning Code Section 134 states properties in the RH-2 Zoning District must maintain a rear yard equal to 45% of the depth of the lot, subject to averaging based on adjacent neighbors. If averaged the rear yard can be no less than 25% of the lot depth.

The Project provides a rear yard equal to 45% of the depth of the lot which is encroached by a two-story extension with five-foot side setbacks as permitted by Planning Code Section 136(c)(25)(ii). Therefore, the Project complies.

- D. **Open Space.** Planning Code Section 135 states that 125 square feet of usable open space must be provided per unit if private to each unit, or 167 square feet of usable open space must be provided if common between multiple units.

Both units have access to the rear yard, and each unit will have private roof decks. In total, these areas meet the usable open space requirements for size and dimensions.

- E. **Front Setback Landscaping and Permeability Requirements.** Planning Code Section 132 requires that the required front setback be at least 20% unpaved and devoted to plant material and at least 50% permeable to increase storm water infiltration.

The subject property has a two-foot, two inch required front setback and the Project will provide the minimum required landscaping and permeability.

- F. **Dwelling Unit Exposure.** Planning Code Section 140 states that all dwelling units in all districts must face onto an open area meeting the requirements of the Section.

Both new units face onto 17th Avenue and a conforming rear yard. Therefore, the Project meets dwelling unit exposure requirements of the Planning Code.

- G. **Off-Street Parking.** Planning Code Section 151.1 permits up to two parking spaces per dwelling unit in the RH-2 Zoning District.

The Project provides an at-grade garage with two off-street parking spaces; therefore, the Project complies with this requirement.

- H. **Bicycle Parking.** Planning Code Section 155.1 requires one Class One bicycle parking space per dwelling unit.

The Project provides two Class One bicycle parking spaces within the garage at the ground level. Thus, the project complies with this requirement.

- I. **Height.** Planning Code Section 260 requires that all structures be no taller than the height prescribed in the subject height and bulk district. The proposed Project is in a 40-X Height and Bulk District.

The proposal measures 38 feet 8 inches to the top of the roof and therefore complies.

- J. **Residential Demolition.** Pursuant to Planning Code Section 317, Conditional Use Authorization is required for any application for a permit that would result in the removal of one or more residential units. This Code Section establishes a checklist of criteria that the Planning Commission shall consider in review of the application.

As the Project requires Conditional Use Authorization per the requirements of the Section 317, the additional criteria specified under Section 317(g)(5) have been incorporated as findings as a part of this Motion. See Section 8, below, "Additional Findings Pursuant to Section and 317 – Residential Demolition".

- K. **Residential Child-Care Impact Fee.** Planning Code Section 414A requires that any residential development project that results in additional space in an existing residential unit of more than 800 gross square feet shall comply with the imposition of the Residential Child Care Impact Fee requirement.

The Project proposes adding more than 800 gross square feet to each dwelling unit. Therefore, the Project is subject to the Residential Child Care Impact Fee and must comply with the requirements outlined in Planning Code Section 414A This square footage shall be subject to the Residential Child-Care Impact Fee, as outlined in Planning Code Section 411A.

7. **Conditional Use Findings.** Planning Code Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use authorization. On balance, the project complies with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The use and size of the proposed project is compatible with the immediate neighborhood, which exhibits a mixture of houses, duplexes and apartment buildings of two to four stories. The proposal would demolish an existing two-family dwelling that contains one bedroom each and has approximately 2,324 total square feet of gross floor area. The new building will contain two three-bedroom dwelling units with approximately 5,673 total gross floor area.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (1) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The proposed massing is appropriate given the context of the immediate neighborhood and block face. The proposed four-story building sets back the fourth floor, creating a three-story appearance from the street. The new construction is within the buildable area and provides front and rear yards comparable to adjacent properties.

- (2) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Planning Code does not require a minimum number of vehicle parking spaces. The proposed garage is designed to accommodate the two off-street parking spaces and the two required Class 1 bicycle parking spaces. The Project would not interfere or unduly burden traffic patterns within the surrounding transit rich neighborhood

- (3) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

As the Project is residential in nature, unlike commercial or industrial uses, the proposed residential use is not expected to produce noxious or offensive emissions.

- (4) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

Although designed in a more contemporary aesthetic, the façade treatment and materials of the new building have been appropriately selected to be compatible with the surrounding neighborhood. New landscape and permeable paving are proposed in the front yard.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable RH-2 District.

The proposed project is consistent with the stated purpose of RH-2 Districts which are devoted to one- and two-family buildings that are finely scaled and usually do not exceed 25 feet in width or 40 feet in height. Building styles are often more varied than in single-family areas.

8. **Additional Findings pursuant Planning Code Section 317** establishes additional criteria for the Planning Commission when reviewing applications for the Loss of Residential and Unauthorized Units, Through Demolition, Merger and Conversion. On balance, the project complies with said criteria in that:

- i. Whether the property is free of a history of serious, continuing code violations;

A review of the Department of Building Inspection and the Planning Department databases showed no active enforcement cases or notices of violation for the subject property.

- ii. Whether the housing has been maintained in a decent, safe, and sanitary condition;

The existing structure appears to have been maintained in a decent, safe and sanitary condition.

- iii. Whether the property is an “historic resource” under CEQA;

The existing structure is not a historical resource.

- iv. Whether the removal of the resource will have a substantial adverse impact under CEQA;

The Project qualifies for a categorical exemption and would not result in a substantial adverse impact under CEQA.

- v. Whether the Project converts rental housing to other forms of tenure or occupancy;

The existing structure is a two-family residence which has one vacant and one tenant-occupied unit. The new building will consist of one tenant- and one owner-occupied unit. As such, the project does entail conversion of rental housing to other forms of tenure or occupancy.

- vi. Whether the Project removes rental units subject to the Rent Stabilization and Arbitration Ordinance;

The Planning Department cannot definitively determine whether the two-family home is subject to the Rent Stabilization and Arbitration Ordinance. This is the purview of the Rent Board. Currently, one dwelling unit is vacant and the other is tenant-occupied.

- vii. Whether the Project conserves existing housing to preserve cultural and economic neighborhood diversity;

Although the Project proposes the (tantamount to) demolition of an existing two-family residence, the new construction proposes two family-sized dwelling units, thus adding diversity to the City's housing stock.

- viii. Whether the Project conserves neighborhood character to preserve neighborhood cultural and economic diversity;

The replacement building conserves neighborhood character with appropriate scale, design, and materials; and improves cultural and economic diversity by appropriately increasing the number of bedrooms for family-sized units.

- ix. Whether the Project protects the relative affordability of existing housing;

The Project removes an older structure, which is generally considered more affordable than a more recently constructed building. However, the Project will maintain the existing quantity of dwelling units on site and will create two family-sized dwelling units.

- x. Whether the Project increases the number of permanently affordable units as governed by Section 415;

The Project is not subject to the provisions of Planning Code Section 415, as the project proposes less than ten units.

- xi. Whether the Project locates in-fill housing on appropriate sites in established neighborhoods;

The Project has been designed to be in keeping with the scale and development pattern of the mixed neighborhood character. The surrounding neighborhood is an established residential neighborhood and the proposed massing and use are consistent with other properties in the area.

- xii. Whether the project increases the number of family-sized units on-site;

The Project proposes to convert two one-bedroom dwelling units into two three-bedroom dwelling units. Thus, creating two family-sized units where none currently exist.

- xiii. Whether the Project creates new supportive housing;

The Project will not create new supportive housing.

- xiv. Whether the Project is of superb architectural and urban design, meeting all relevant design guidelines, to enhance existing neighborhood character;

The overall scale, design, and materials of the proposed building complements the neighborhood character with a contemporary design. The Project was reviewed by the Residential Design Advisory Team, which determined that the Project was consistent with the Residential Design Guidelines and enhances the existing neighborhood character.

- xv. Whether the Project increases the number of on-site dwelling units;

The Project will maintain the existing number of on-site units.

- xvi. Whether the Project increases the number of on-site bedrooms.

The existing building contains a total of two bedrooms. The Project will contain a total of six bedrooms across the two dwelling units.

- xvii. Whether or not the replacement project would maximize density on the subject lot; and,

The property is conforming with respect to density as it presently contains two units. The project proposes tantamount to demolition of the existing two-family structure and construction of both dwelling units on the 3,000 square foot parcel. The Project will maintain the existing quantity of dwelling units on site.

- xviii. If replacing a building not subject to the Residential Rent Stabilization and Arbitration Ordinance, whether the new project replaces all the existing units with new Dwelling Units of a similar size and with the same number of bedrooms.

The Planning Department cannot definitively determine whether the two-family home is subject to the Rent Stabilization and Arbitration Ordinance. The two existing one-bedroom units are proposed to be replaced with two three-bedroom dwelling units. As such, the Project replaces the existing dwelling units with family-sized units.

9. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 1:

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.1

Plan for the full range of housing needs in the City and County of San Francisco, especially affordable housing.

Policy 1.10

Support new housing projects, especially affordable housing, where households can easily rely on public transportation, walking and bicycling for the majority of daily trips.

OBJECTIVE 3:

PROTECT THE AFFORDABILITY OF THE EXISTING HOUSING STOCK, ESPECIALLY RENTAL UNITS.

Policy 3.1:

Preserve rental units, especially rent controlled units, to meet the City's affordable housing needs.

Policy 3.3:

Maintain balance in affordability of existing housing stock by supporting affordable moderate ownership opportunities.

OBJECTIVE 4:

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.1

Develop new housing, and encourage the remodeling of existing housing, for families with children.

The Project proposes two three-bedroom (family-sized) units.

OBJECTIVE 11:

SUPPORT AND RESPECT THE DIVERSE AND DISTINCT CHARACTER OF SAN FRANCISCO'S NEIGHBORHOODS.

Policy 11.1

Promote the construction and rehabilitation of well-designed housing that emphasizes beauty, flexibility, and innovative design, and respects existing neighborhood character.

The overall scale, design, and materials of the proposed building are consistent with the block face and complement the neighborhood character.

Policy 11.3

Ensure growth is accommodated without substantially and adversely impacting existing residential neighborhood character.

Policy 11.4:

Continue to utilize zoning districts which conform to a generalized residential land use and density plan and the General Plan.

URBAN DESIGN ELEMENT

Objectives and Policies

OBJECTIVE 1:

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

The proposed replacement building reflects the existing mixed architectural character and development pattern of the neighborhood. The overall scale, design, and materials of the proposed building are consistent with the block face and complement the neighborhood character.

10. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project complies with said policies in that:
 - A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The project site does not possess any neighborhood-serving retail uses. The proposed residential building would house more individuals who may patronize and/or own local businesses.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The Project would result in a home that preserves neighborhood character and diversity. Additionally, the replacement building is well design to complement and enhance the character of the neighborhood.

- C. That the City's supply of affordable housing be preserved and enhanced,

The existing two-family dwelling is not designated as an inclusionary affordable housing unit.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project would not have a significant adverse effect on automobile traffic congestion or create parking problems in the neighborhood. The Project would enhance neighborhood parking by providing two off-street parking spaces, where none currently exists. Additionally, the project is within walking distance to the 1-California, 1AX-California A Express, 2-Clement, 28-19th Avenue, 38-Geary, 38AX-Geary A Express, 38BX-Geary B Express, and 38R-Geary Rapid Muni bus lines.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project is a residential project in an RH-2 District; therefore the Project would not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses would not be affected by the Project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will be designed and will be constructed to conform to the structural and seismic safety requirements of the Building Code. This proposal will not impact the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

Currently, the Project Site does not contain any City Landmarks or historic buildings.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project will have no negative impact on existing parks and open spaces. The Project does not exceed the 40-foot height limit and is thus not subject to the requirements of Planning Code Section 295 – Height Restrictions on Structures Shadowing Property Under the Jurisdiction of the Recreation and Park Commission. The height of the proposed structure is compatible with the established neighborhood development.

11. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
12. The Commission hereby finds that approval of the Conditional Use would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2015-005763CUA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated April 16, 2019, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on June 27, 2019.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: June 27, 2019

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to allow a proposal that is tantamount to demolition located at 478 17th Avenue, Block 1416, and Lot 009 pursuant to Planning Code Sections **303 and 317** within the **RH-2 (Residential, House, Two-Family)** District and a **40-X** Height and Bulk District; in general conformance with plans, dated **April 16, 2019**, and stamped "EXHIBIT B" included in the docket for Record No. **2015-005763CUA** and subject to conditions of approval reviewed and approved by the Commission on **June 27, 2019** under Motion No **XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **June 27, 2019** under Motion No **XXXXXX**.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

3. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

DESIGN – COMPLIANCE AT PLAN STAGE

6. **Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

PROVISIONS

7. **Residential Child Care Impact Fee.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

MONITORING - AFTER ENTITLEMENT

8. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

9. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

10. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator and all registered neighborhood groups for the area with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator and registered neighborhood groups shall be made aware of such change. The community liaison shall report to

the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

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Exhibit B



ABBREVIATIONS

ABV.

A.D.

ADJ.

A.F.F.

BD.

BEL.

BLK.

BLKG.

BM.

B.O.

BOT.

BSMT.

CAB.

C.B.

CEM.

C.I.

CLG.

CLO.

CLR.

CONC.

CONT.

CNTR.

CTR.

D.

DBL.

DET.

DIA.

DIM.

DISP.

D.W.

DR.

D.S.

DWG.

DRWR.

'E' OR (E)

EA.

EL.

ELEC.

EQ.

EXP.

F.

F.D.

FDN.

FIN.

F.F.E.

F.F.C.

FLR.

F.O.C.

FT.

FTG.

FURR.

G.B.

GL.

GRND.

GRD.

GYP.

H.B.

HDWD.

HORIZ.

HGT.

I.D.

INSUL.

INT.

JT.

KIT.

LAM.

LAV.

LT.

MAX.

M.C.

MECH.

MIN.

MIR.

MISC.

MTL.

MDF.

'N' OR (N)

N.I.C.

NO.

N.T.S.

O.C.

O.D.

O.D.

OPNG.

OPP.

ABOVE

AREA DRAIN

ADJUSTABLE

ABOVE FINISH FLOOR

BOARD

BELOW

BLOCK

BLOCKING

BEAM

BY OTHERS

BOTTOM

BASEMENT

CABINET

CATCH BASIN

CEMENT

CAST IRON

CEILING

CLOSET

CLEAR

CONCRETE

CONTINUOUS

COUNTER

CENTER

DRYER

DOUBLE

DETAIL

DIAMETER

DIMENSION

DISPOSAL

DISH WASHER

DOOR

DOWN SPOUT

DRAWING

DRAWER

EXISTING

EACH

ELEVATION

DLECTRICAL

EQUAL

EXPANSION

FURNACE

FLOOR DRAIN

FOUNDATION

FINISH

FINISH FLOOR ELEVATION

FINISH CEILING ELEVATION

FLOOR

FACE OF CONCRETE

FOOT OR FEET

FOOTING

FURRING

GRAB BAR

GLASS

GROUND

GRADE

GYPSUM

HOSE BIB

HARDWOOD

HORIZONTAL

HEIGHT

INSIDE DIAMETER

INSULATION

INTERIOR

JOINT

KITCHEN

LAMINATE

LAVATORY

LIGHT

MAXIMUM

MEDICINE CABINET

MECHANICAL

MINIMUM

MIRROR

MISCELLANEOUS

METAL

MEDIUM DENSITY FIBERBOARD

NEW

NOT IN CONTRACT

NUMBER

NOT TO SCALE

ON CENTER

OUTSIDE DIAMETER

OVERFLOW DRAIN

OPENING

OPPOSITE

PERF.

P.G.

PL.

PLYWD.

PR.

PT.

R.

REF.

REINF.

R.D.

REQ'D.

RESIL

RET.

RM.

R.O.

S.

SCHED.

SHWR.

SHT.

SHTH.

SIM.

S.D.

SPEC.

SQ.

S.L.D

S.S.

S.S.D.

STD.

STL.

STOR.

SYM.

T.

TBD.

TEL.

T&G

TYP.

T.O.

T.O.S.

U.O.N.

VERT.

VEST.

V.I.F.

W.

W/

W.H.

W.C.

WD.

W.I.

W.I.C.

W/O

W.O.

WP.

WT.

<

@

Ø

#

PERFORATED

PAINT GRADE

PLATE

PLYWOOD

PAIR

POINT

RADIUS

REFRIGERATOR

REINFORCED

ROOF DRAIN

REQUIRED

RESILIENT

RETAINING

ROOM

ROUGH OPENING

SINK

SCHEDULE

SHOWER

SHEET

SHEATHING

SIMILAR

SMOKE DETECTOR

SPECIFICATION

SQUARE

SEE LANDSCAPE DRAWINGS

STAINLESS STEEL

SEE STRUCTURAL DRAWINGS

STANDARD

STEEL

STORAGE

SYMMETRICAL

TREAD

TO BE DESIGNED

TELEPHONE

TONGUE AND GROOVE

TYPICAL

TOP OF

TOP OF SLAB

UNLESS OTHERWISE NOTED

VERTICAL

VESTIBULE

VERIFY IN FIELD

WASHER

WITH

WATER HEATER

WATER CLOSET

WOOD

WROUGHT IRON

WALK-IN CLOSET

WITHOUT

WHERE OCCURS

WATERPROOF

WEIGHT

ANGLE

AT

DIAMETER

POUND OF NUMBER

GENERAL NOTES

1.

ALL CONSTRUCTION TO CONFORM TO 2013 CALIFORNIA BUILDING, ELECTRICAL, MECHANICAL, AND PLUMBING CODES AND ALL OTHER STATE, COUNTY, AND CITY ORDINANCE AND REGULATIONS PERTAINING HERETO.

2.

CONTRACTOR SHALL EXAMINE AND VERIFY EXISTING CONDITIONS OF THE JOB SITE. ANY DISCREPANCY BETWEEN DRAWINGS AND EXISTING CONDITIONS SHALL BE RECORDED AND REPORTED WITH A SUBMITTAL COPY TO THE ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF WORK. ALL EXISTING CONDITION DIMENSIONS PROVIDED BY OWNER AND ARE NOT VERIFIED BY SURVEYOR OR ARCHITECT.

3.

DO NOT SCALE THE DRAWINGS.

4.

PERFORM EXCAVATION AND FOUNDATION WORK IN CONFORMANCE WITH THE REQUIREMENTS OF THE SOILS REPORTS.

5.

ALL DIMENSIONS ARE TO THE FACE OF OF STUD, FACE OF CONCRETE, OR FACE OR FRAMING UNLESS NOTES OTHERWISE.

6.

COMPLY WITH CERTIFICATION REQUIREMENTS OF THE CALIFORNIA ENERGY COMMISSION FOR MECHANICAL EQUIPMENT, PLUMBING TRIM AND FITTINGS, WATER HEATERS, FURNACES, AND APPLIANCES.

7.

INSTALL ALL MATERIALS, EQUIPMENT, FIXTURES, AND APPLIANCES IN CONFORMANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS OF THE MANUFACTURER AND THE REQUIREMENTS OF ALL APPLICABLE CODES.

8.

ALL SITE-CONSTRUCTED DOORS, SKYLIGHTS, AND WINDOWS, INCLUDING BUT NOT LIMITED TO FIELD MANUFACTURED DOORS, SKYLIGHTS, AND WINDOWS SHALL BE CAULKED BETWEEN THE DOOR, SKYLIGHTS, OR WINDOW AND THE BUILDING, AND SHALL BE WEATHER-STRIPPED.

9.

ALL WOOD, INCLUDING POSTS WITHIN 8" OF GROUND TO BE PRESSURE TREATED, FOR SILL PLATES, SLEEPERS OR BLOCKING IN CONTACT WITH CONCRETED OR MASONRY FOUNDATIONS PER C.B.C. 2306.4

10.

VERIFY EXACT LOCATION OF PLUMBING AND PIPING WITH THE PLUMBING SUBCONTRACTOR, BRING ANY INCONSISTENCIES TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

11.

VERIFY EXACT LOCATION OF MECHANICAL EQUIPMENT, DUCTS, GRILLES, REGISTERS, FLUES, AND VENTS WITH THE MECHANICAL SUBCONTRACTOR.

12.

MECHANICAL, HVAC WORK TO BE DESIGN-BUILD AND UNDER SEPARATE PERMIT.

13.

ELECTRICAL WORK TO BE DESIGN-BUILD AND UNDER SEPARATE PERMIT.

14.

PLUMBING WORK TO BE DESIGN-BUILD AND UNDER SEPARATE PERMIT.

15.

THE CONTRACTOR SHALL PROVIDE THE BUILDING OWNER WITH THE LIST OF HEATING, COOLING, AND LIGHTING SYSTEMS FEATURES, MATERIALS, COMPONENTS AND DEVICES IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM.

16.

AFTER INSTALLING THE WALL AND CEILING INSULATION THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATED SIGNED BY THE INSTALLER STATING THE INSTALLATION IS CONSISTENT WITH THE PLANS. THE CERTIFICATE SHALL ALSO STATE THE MANUFACTURER'S NAME, MATERIAL IDENTIFICATION, AND INSTALLED R-VALUE.

17.

THE CENTER OF RECEPTACLES/OUTLETS SHALL BE MOUNTED NOT LESS THAN 15" A.F.F., TYPICAL.

18.

LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS, AND OTHER ENVIRONMENTAL CONTROLS SHALL NOT BE LESS THAN 15" OR MORE THAN 48" A.F.F.

19.

STRUCTURAL OBSERVATION SHALL BE REQUIRED BY THE [X] ARCHITECT OR [X] ENGINEER FOR STRUCTURAL CONFORMANCE TO THE APPROVED PLANS.

20.

CONTRACTOR SHALL BE RESPONSIBLE FOR FILING/RECEIVING OF ALL REQUIRED PERMITS.

21.

CONTRACTOR SHALL VERIFY THE SITE CONDITION & DIMENSION BEFORE ORDER ANY BUILDING MATERIAL.

22.

GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS (WHERE APPLICABLE) AT THE JOB SITE AS WELL AS THE PROVISIONS OF THE ENTIRE CONSTRUCTION DOCUMENTS AND BRING TO THE ARCHITECT'S AND ENGINEER'S ATTENTION ANY DISCREPANCY.

DRAWING LEGEND:

EXISTING WALL TO REMAIN

EXISTING WALL TO BE REMOVED

NEW WALL

NEW CONCRETE WALL

1 HR. RATED WALL

WALL WITH INSULATION

KEY NOTES

SYMBOLS

DETAIL

SHEET NO.

DETAIL

SHEET NO.

KEY NOTES NO.

VICINITY MAP

N.T.S.

PROJECT DATA

OWNER:

SEONG TAN

ADDRESS:

247 17TH AVE, SAN FRANCISCO, CA 94121

BLOCK/LOT:

1416/009

ZONING DISTRICT:

RH-2

OCCUPANCY:

R-3

CONSTRUCTION TYPE:

TYPE V-B

SPRINKLERED:

YES (UNDER SEPARATE PERMIT)

LOT AREA:

3,000 SQ. FT.

HEIGHT LIMIT:

40'-0"

FRONT SET BACK:

2'-2"

(E)DWELLING UNITS:

2

(N)DWELLING UNITS:

2

SCOPE OF WORK:

VERTICAL AND HORIZONTAL BUILDING ADDITION; REPLACE TWO EXISTING UNITS WITH TWO NEW DWELLING UNITS.

FLOOR AREA

EXISTING

ADDITION

PROPOSED

(EXTERIOR WALL INCLUDED)

BASEMENT FLOOR

842 S.F.

-842 S.F.

NO BASEMENT

GARAGE

0 S.F.

607 S.F.

607 S.F.

1ST FLOOR

967 S.F.

208 S.F.

1,175 S.F.

2ND FLOOR

866 S.F.

812 S.F.

1,678 S.F.

3RD FLOOR

0 S.F.

1,503 S.F.

1,503 S.F.

4TH FLOOR (PENTHOUSE)

0 S.F.

1,503 S.F.

1,503 S.F.

TOTALS

2,675 S.F.

3,791 S.F.

6,466 S.F. (w/ GARAGE)

5,859 S.F. (w/o GARAGE)

GROSS FLOOR AREA

EXISTING

ADDITION

PROPOSED

COMMON AREA

0 S.F.

931 S.F.

931 S.F.

UNIT A

1,582 S.F.

755 S.F.

2,337 S.F.

UNIT B

742 S.F.

1,663 S.F.

2,405 S.F.

TOTALS

2,324 S.F.

3,349 S.F.

5,673 S.F.

UNIT A # OF BEDROOM

1

2

3

UNIT B # OF BEDROOM

1

2

3

WATER CONSERVATION REQUIREMENT

1.

THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GPF.

2.

SHOWERHEADS SHALL HAVE MAXIMUM FLOW RATE OF 2 GPM AT 80 PSI.

3.

THE MAX. FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GPM AT 60 PSI.

4.

THE MAX. FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS NOT EXCEED 1.2 GPM AT 60 PSI. THE MIN. FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GPM AT 20 PSI.

WALLS ENCLOSING CONDITIONED SPACE

R-VALUES ON THE PLAN VIEW SHALL MATCH THE R-VALUES ON CF-1R FORM. VALUES SHALL BE: (FOR PRESCRIPTIVE PACKAGE D, CF-1R FORMS)

R-13 IN 2x4 STUDS

R-19 IN 2x6 STUDS

R-22 IN 2x8 STUDS

R-30 IN 2x10 STUDS

R-38 IN 2x12 STUDS

OR SPECIFY THE R-VALUE ON THE COMPUTER GENERATED CF-1R FORM (PERFORMANCE METHOD) (CNC STD 151 (f) 1 & TABLES 151-B, C OR D AND REFERENCE APPENDICES TABLE 4.3.1).

CEILINGS BETWEEN GARAGE AND ROOMS ABOVE, AND AT FLOORS WITH CRAWL SPACES

R-VALUES ON THE PLAN VIEW SHALL MATCH THE R-VALUES ON CF-1R FORM. VALUES SHALL BE: (FOR PRESCRIPTIVE PACKAGE D, CF-1R FORMS)

R-13 IN 2x4 JOISTS

R-19 IN 2x6 JOISTS

R-22 IN 2x8 JOISTS

R-30 IN 2x10 JOISTS

R-38 IN 2x12 JOISTS

OR SPECIFY THE R-VALUE ON THE COMPUTER GENERATED CF-1R FORM (PERFORMANCE METHOD) (CNC STD 151 (f) 1 & TABLES 151-B, C OR D AND REFERENCE APPENDICES TABLE 4.3.1).

SHEET INDEX

A0.0 PROJECT DATA, DRAWING INDEX, DRAWING ABBREVIATIONS, SYMBOLS AND GENERAL NOTES

ARCHITECTURAL

A1.0 SITE PLAN

A1.1 SITE PLAN

A2.0 FLOOR PLANS & NOTES

A2.1 FLOOR PLANS & NOTES

A2.2 FLOOR PLANS & NOTES

A4.0 ELEVATIONS

A4.1 ELEVATIONS

A4.2 ELEVATIONS

A4.3 ELEVATIONS

A5.0 SECTIONS

A5.1 SECTIONS

A6.0 SCHEDULE

A7.0 DEMOLITION CALCULATION

GOVERNING CODES (w/ SAN FRANCISCO AMENDMENT)

2013 CALIFORNIA BUILDING CODE

2013 CALIFORNIA MECHANICAL CODE

2013 CALIFORNIA PLUMBING CODE

2013 CALIFORNIA ELECTRICAL CODE

2013 CALIFORNIA FIRE CODE

2013 CALIFORNIA RESIDENTIAL CODE

2013 CALIFORNIA GREEN BUILDING STANDARDS CODE

2013 CALIFORNIA ENERGY CODE

OWNER / REPRESENTATIVE:

SEONG TAN

247 17TH AVENUE
SAN FRANCISCO, CA 94121

415.531.7988

SHEET TITLE:

COVER SHEET,
GENERAL
NOTES,
ABBREVIATIONS
& PROPERTY
INFORMATION

PROJECT ADDRESS:

247 17TH AVENUE
SAN FRANCISCO, CA 94121

BLOCK/LOT: 1416/009

PROJECT DESCRIPTION:

ADDITION

NOTES

BY

DATE

03/18/2015

SCALE

AS NOTED

DRAWN

J.C.

JOB

140910

SHEET

A1.0

OF

SHEETS

PRINT DATE:

Apr 16, 2019

-

3:37pm



PHOTO A - WEST OF 17TH AVE.

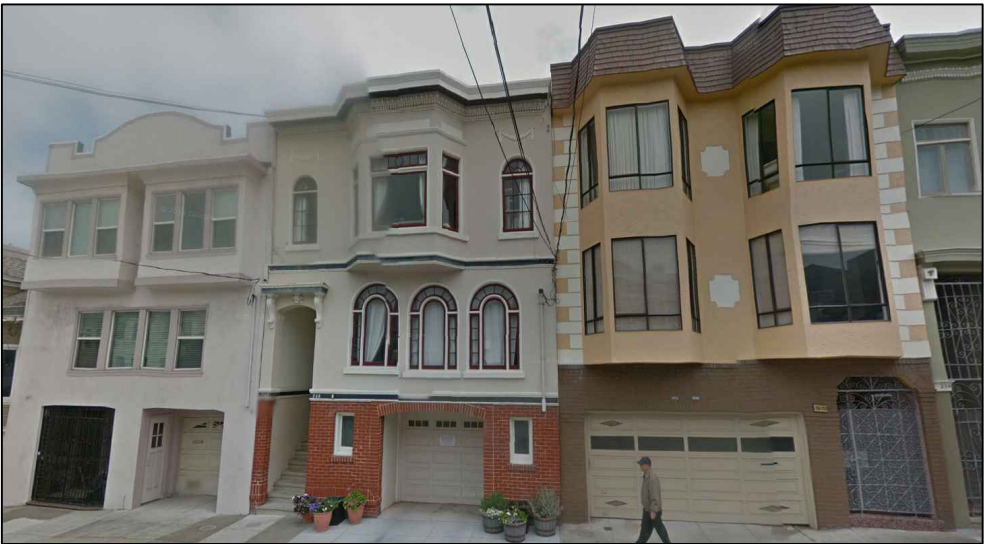
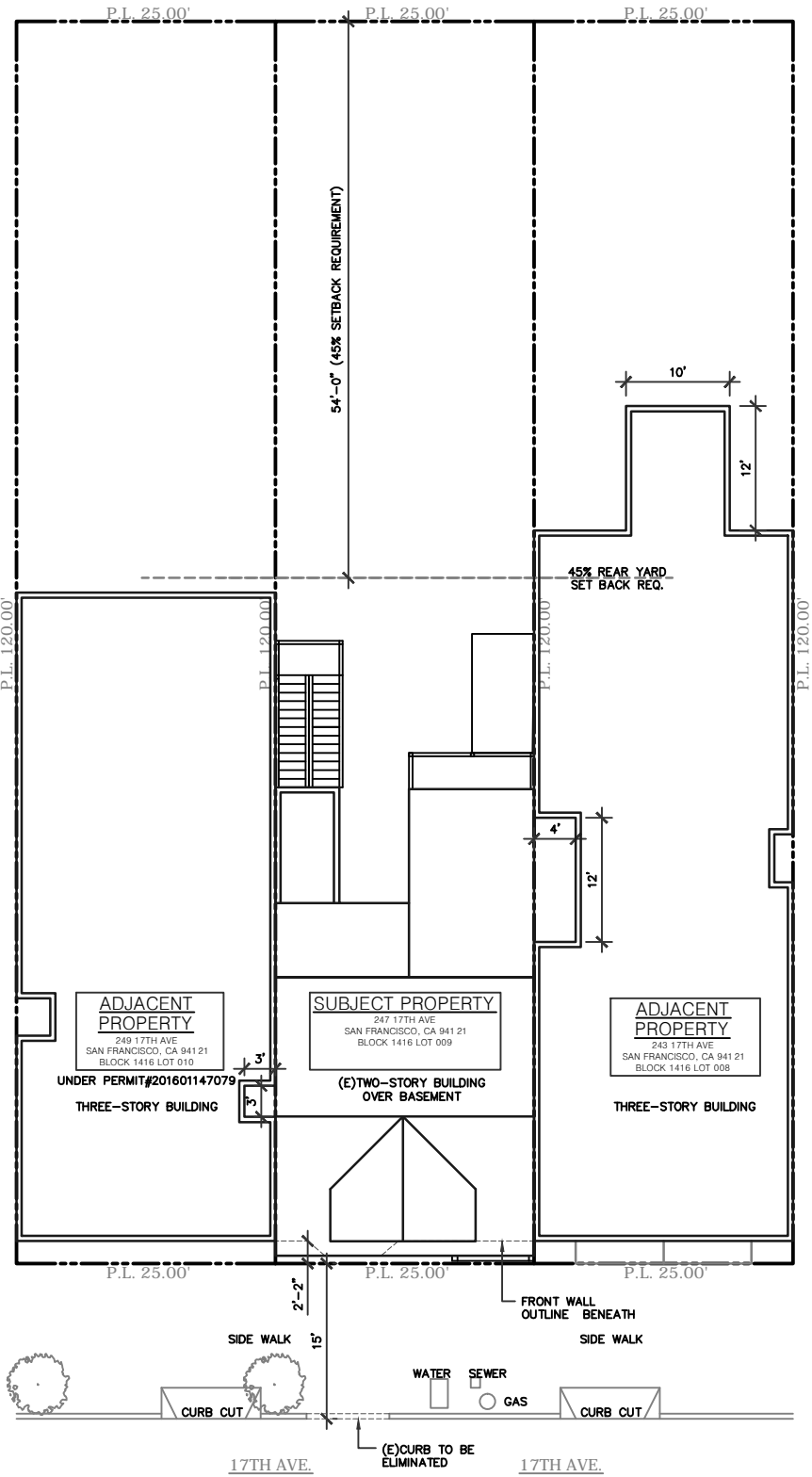
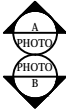


PHOTO B - EAST OF 17TH AVE.



(E) SITE PLAN

1/8" = 1'-0"



OWNER / REPRESENTATIVE:

SEONG TAN
247 17TH AVENUE
SAN FRANCISCO, CA 94121
415.531.7988

SHEET TITLE:

SITE PLAN

PROJECT ADDRESS:

247 17TH AVENUE
SAN FRANCISCO, CA 94121
BLOCK/LOT: 1416/009

PROJECT DESCRIPTION:

ADDITION

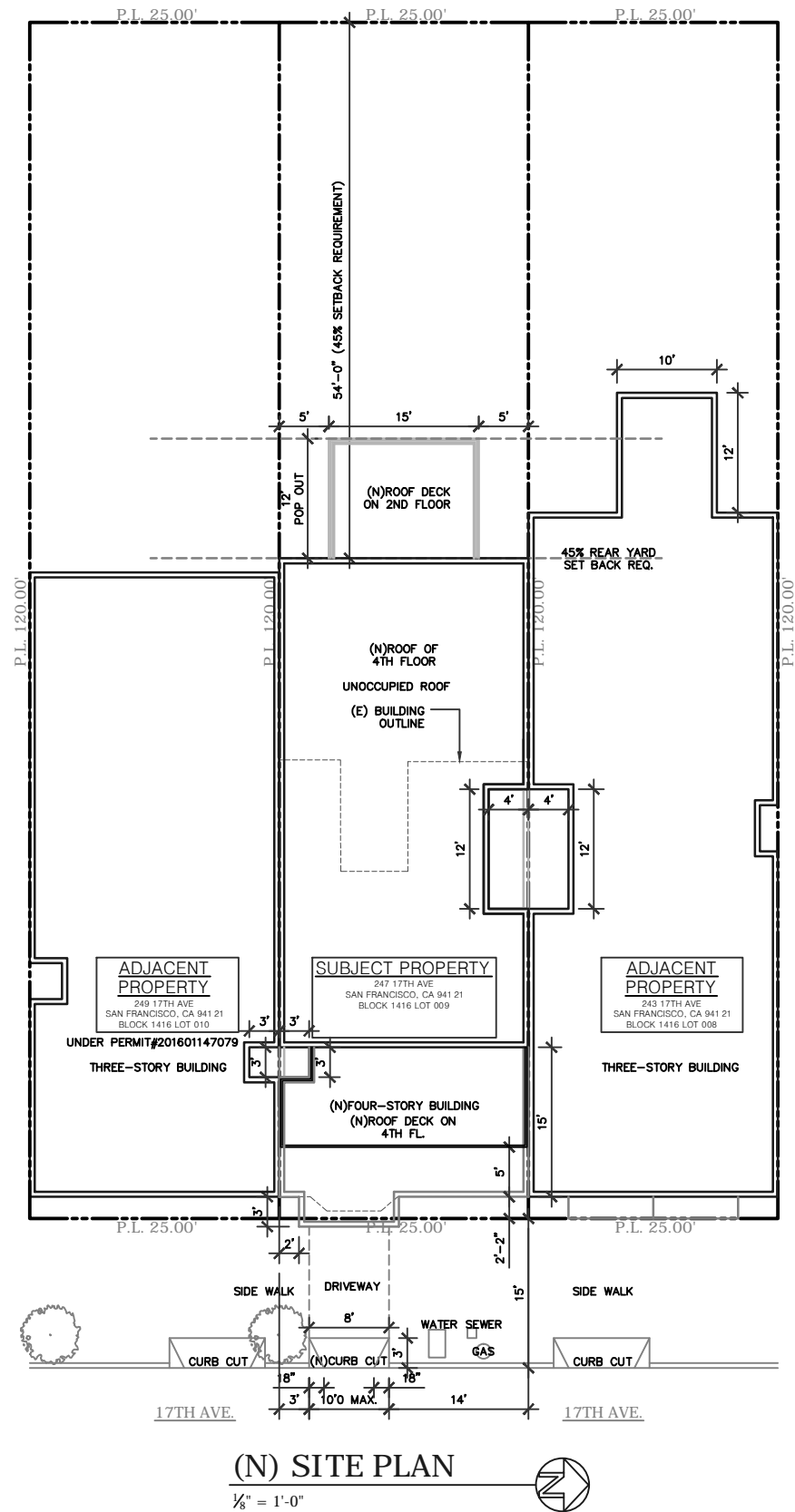
NOTES	BY

DATE	03/18/2015
SCALE	AS NOTED
DRAWN	J.C.
JOB	140910
SHEET	

A1.0

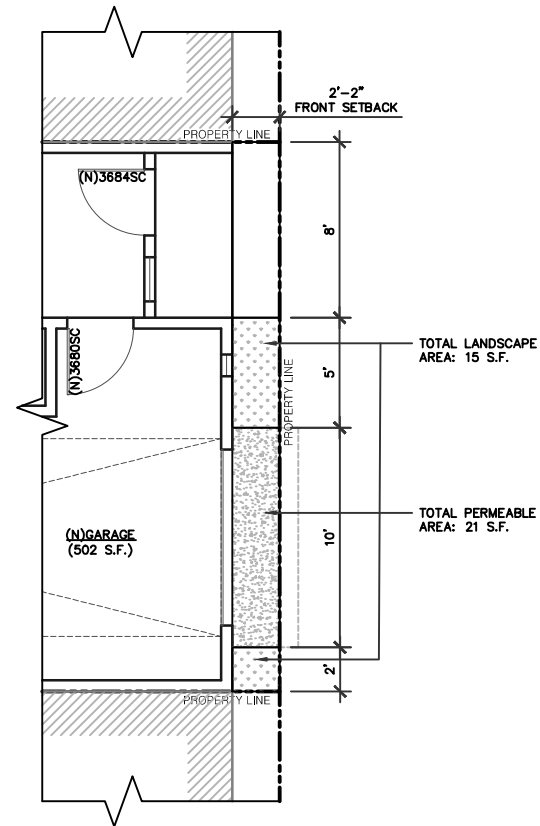
OF SHEETS

PRINT DATE: Apr 16, 2019 - 3:37pm



(N) SITE PLAN

1/8" = 1'-0"



ENLARGED 1ST FLOOR PLAN

1/4" = 1'-0"



NOTE:

LANDSCAPING:
COMPLY WITH PLANNING CODE 132. (G)
PROVIDE 50 PERCENT OF UNPAVED AND
LANDSCAPE OF THE FRONT SETBACK WITH
MINIMUM OF 20 PERCENT LANDSCAPING
REQUIREMENT COUNTED TOWARDS THE
SETBACK AREA.
THE SETBACK AREA FOR THE SUBJECT SITE
IS 54 SQUARE FEET, AND THE REQUIRED
GREEN LANDSCAPING REQUIREMENT WOULD
BE 27 SQUARE FEET.

CALCULATION:

TOTAL FRONT SETBACK AREA = 54 S.F.
TOTAL LANDSCAPE AREA = 15 S.F.
TOTAL PERMEABLE AREA = 21 S.F.

TOTAL GREEN LANDSCAPE AREA = 36 S.F.
TOTAL PERCENT = G.L. AREA / F.SB. AREA
TOTAL PERCENT = 36 S.F. / 54 S.Q.
TOTAL PERCENT = 66.6% ≥ REQUIRED

OWNER / REPRESENTATIVE:

SEONG TAN

247 17TH AVENUE
SAN FRANCISCO, CA 94121

415.531.7988

SHEET TITLE:

SITE PLAN

PROJECT ADDRESS:

247 17TH AVENUE
SAN FRANCISCO, CA 94121

BLOCK/LOT: 1416/009

PROJECT DESCRIPTION:

ADDITION

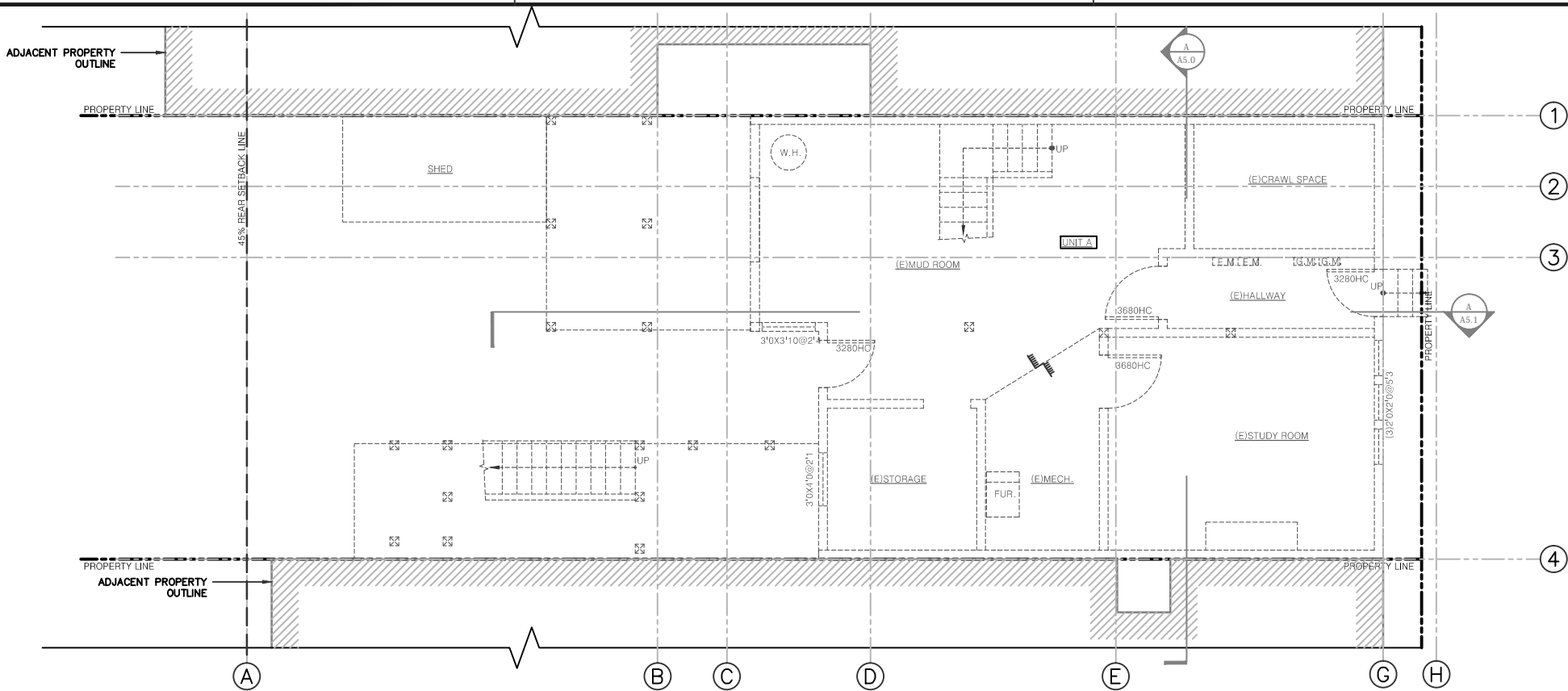
NOTES	BY

DATE	03/18/2015
SCALE	AS NOTED
DRAWN	J.C.
JOB	140910
SHEET	

A1.1

OF SHEETS

PRINT DATE: Apr 16, 2019 - 3:38pm



EXISTING BASEMENT FLOOR PLAN
1/4" = 1'-0"

247 17TH AVE



DRAWING LEGEND:	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW PARTITION WALL
	NEW CONCRETE WALL
	1 HR. RATED WALL
	WALL WITH INSULATION
	KEY NOTES

OWNER / REPRESENTATIVE:

SEONG TAN
247 17TH AVENUE
SAN FRANCISCO, CA 94121
415.531.7988

SHEET TITLE:

FLOOR PLANS & NOTES

PROJECT ADDRESS:

247 17TH AVENUE
SAN FRANCISCO, CA 94121
BLOCK/LOT: 1416/009

PROJECT DESCRIPTION:

ADDITION

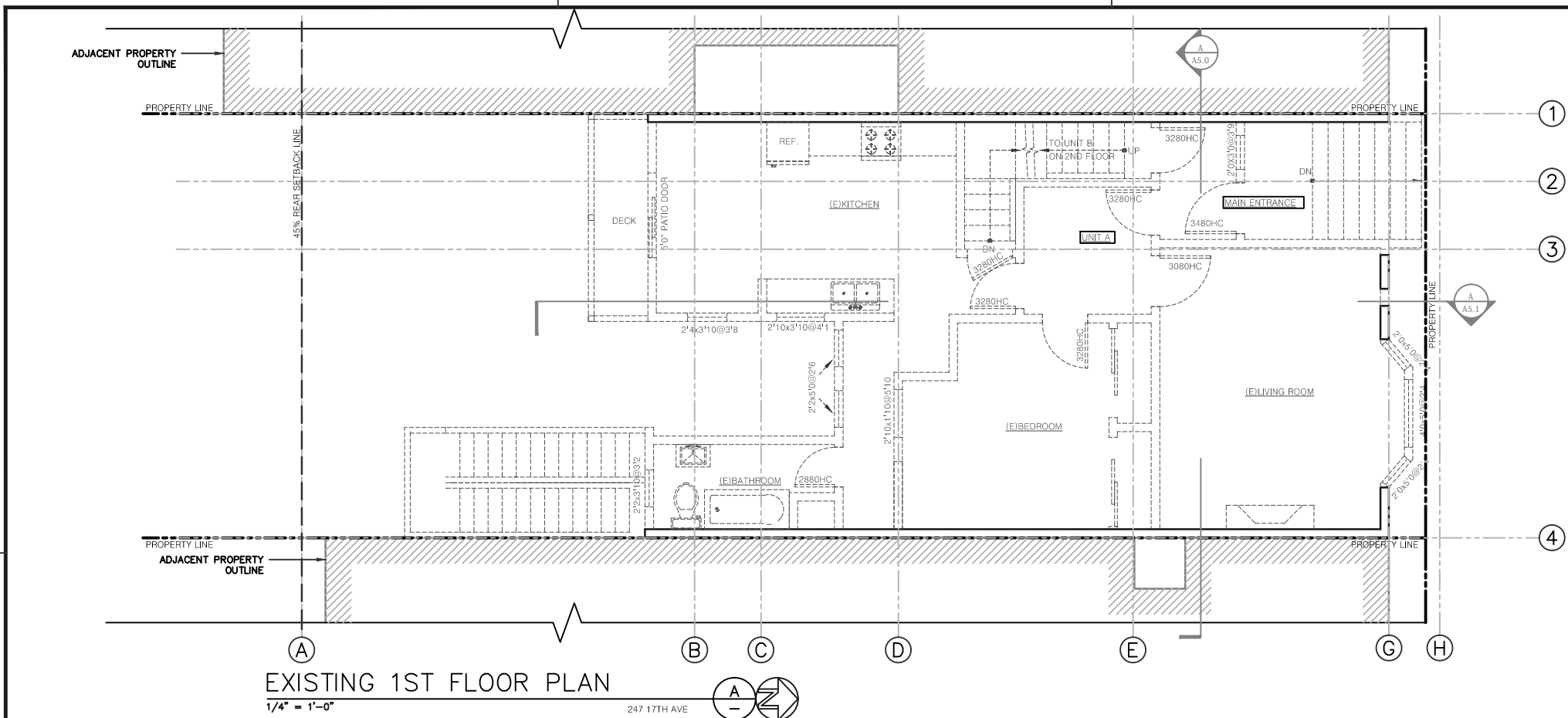
NOTES	BY

DATE	03/18/2015
SCALE	AS NOTED
DRAWN	J.C.
JOB	140910
SHEET	

A2.0

OF SHEETS

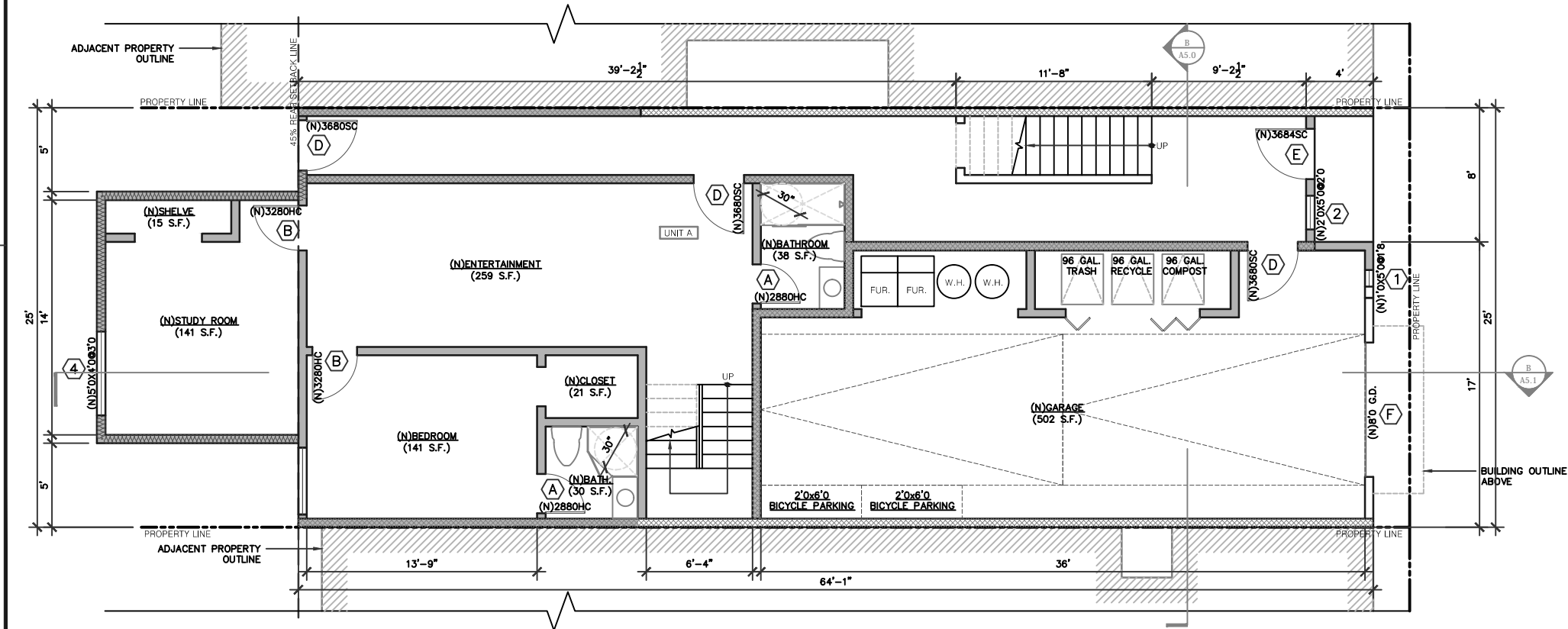
PRINT DATE: Apr 16, 2019 -- 3:45pm



EXISTING 1ST FLOOR PLAN

1/4" = 1'-0"

247 17TH AVE



PROPOSED 1ST FLOOR PLAN

1/4" = 1'-0"

247 17TH AVE

DRAWING LEGEND:	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW PARTITION WALL
	NEW CONCRETE WALL
	1 HR. RATED WALL
	WALL WITH INSULATION
	KEY NOTES

OWNER / REPRESENTATIVE:

SEONG TAN

247 17TH AVENUE
SAN FRANCISCO, CA 94121

415.531.7988

SHEET TITLE:

FLOOR PLANS & NOTES

PROJECT ADDRESS:

247 17TH AVENUE
SAN FRANCISCO, CA 94121

BLOCK/LOT: 1416/009

PROJECT DESCRIPTION:

ADDITION

NOTES	BY

DATE 03/18/2015

SCALE AS NOTED

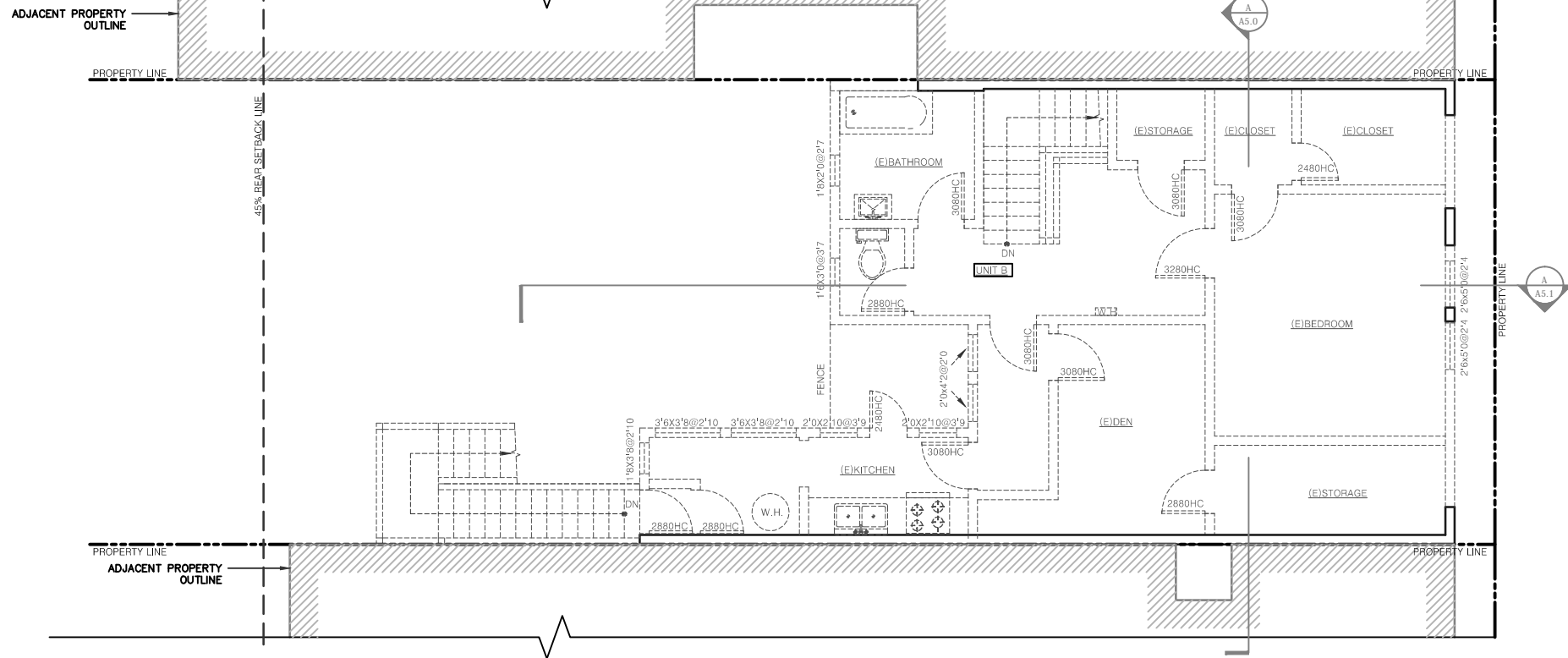
DRAWN J.C.

JOB 140910

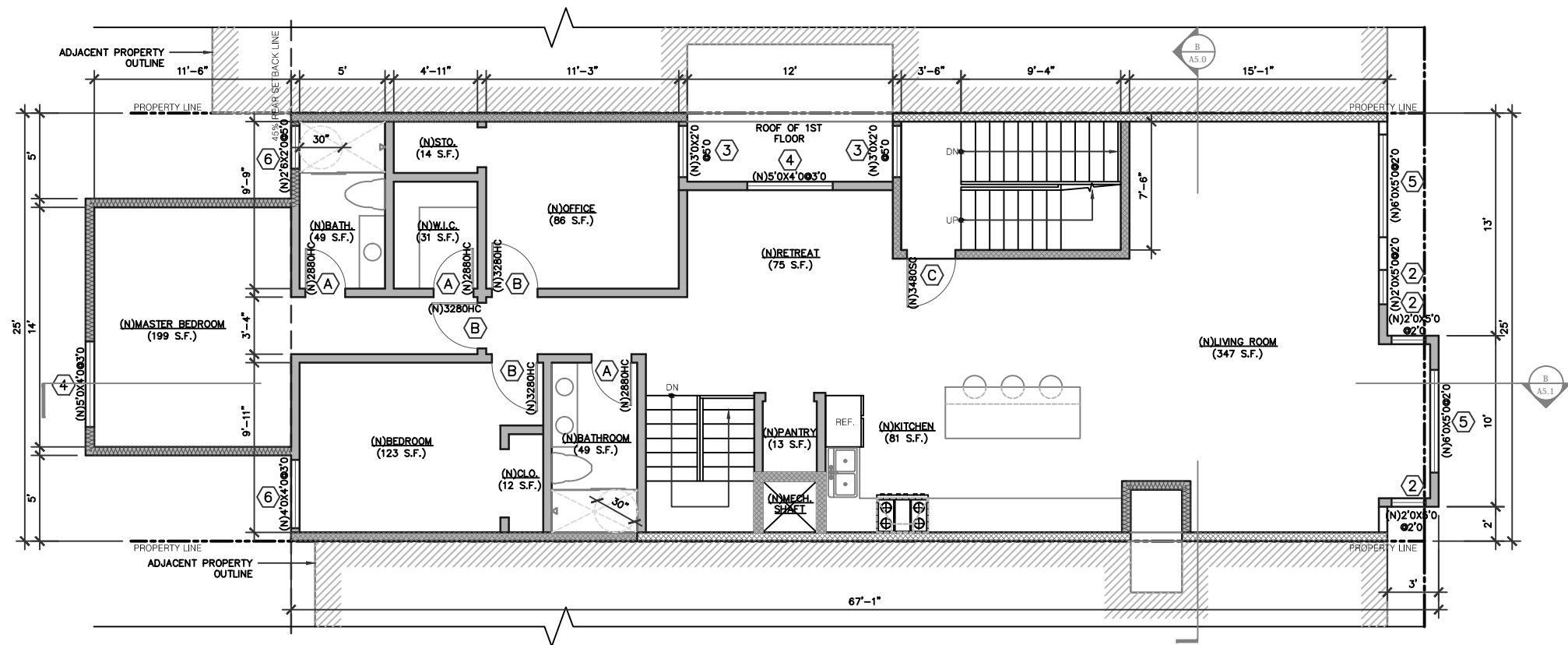
SHEET

A2.1
OF SHEETS

PRINT DATE: Apr 16, 2019 - 3:45pm



EXISTING 2ND FLOOR PLAN
1/4" = 1'-0"



PROPOSED 2ND FLOOR PLAN
1/4" = 1'-0"

DRAWING LEGEND:	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW PARTITION WALL
	NEW CONCRETE WALL
	1 HR. RATED WALL
	WALL WITH INSULATION
	KEY NOTES

OWNER / REPRESENTATIVE:

SEONG TAN

247 17TH AVENUE
SAN FRANCISCO, CA 94121

415.531.7988

SHEET TITLE:

FLOOR PLANS &
NOTES

PROJECT ADDRESS:

247 17TH AVENUE
SAN FRANCISCO, CA 94121

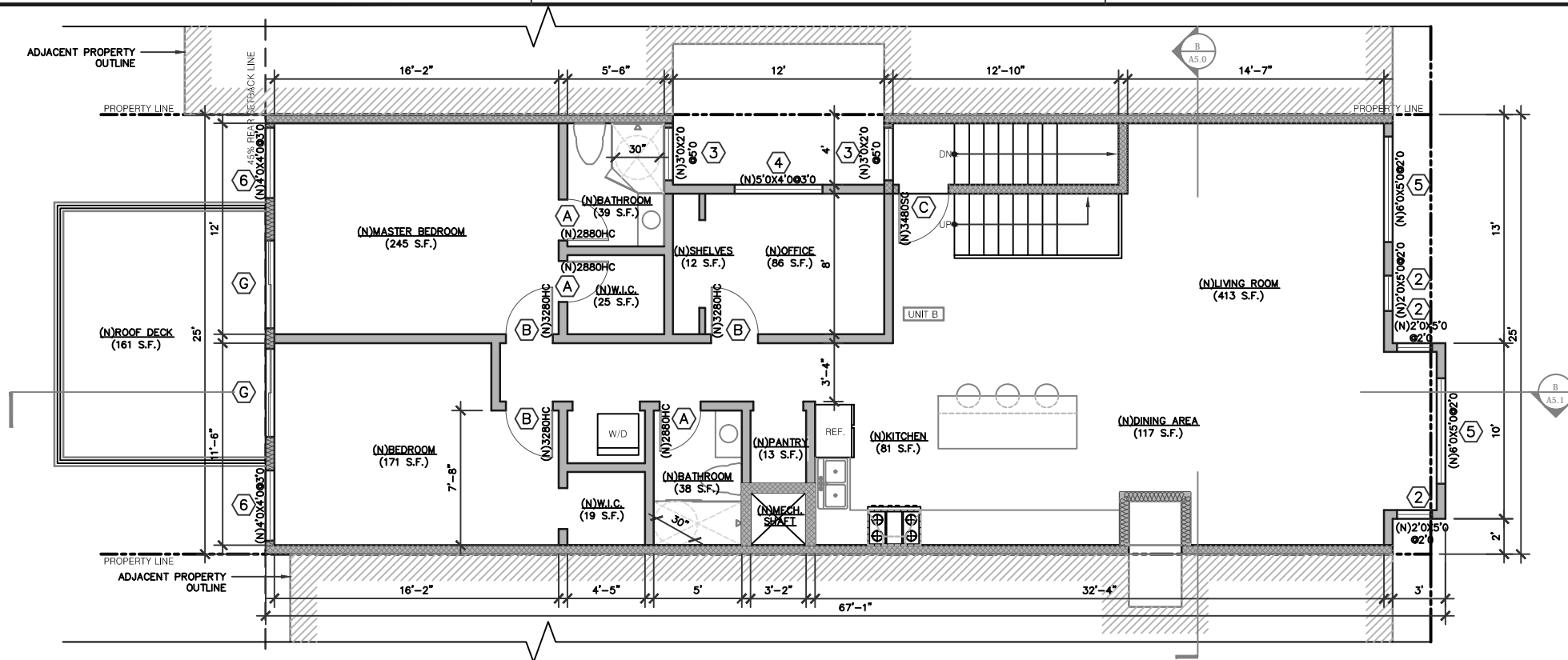
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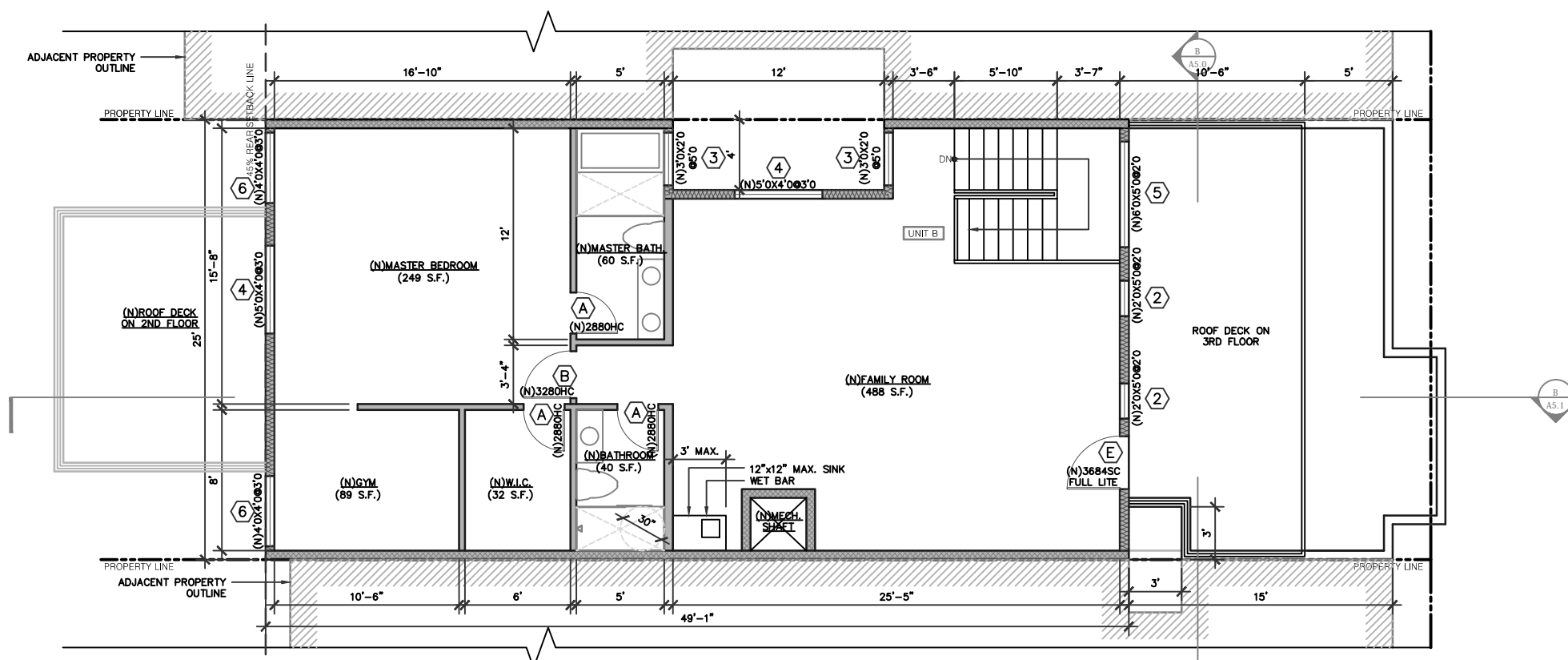
ADDITION

NOTES	BY

DATE 03/18/2015
SCALE AS NOTED
DRAWN J.C.
JOB 140910
SHEET



PROPOSED 3RD FLOOR PLAN
1/4" = 1'-0" 247 17TH AVE



PROPOSED 4TH FLOOR PLAN
1/4" = 1'-0" 247 17TH AVE

DRAWING LEGEND:

[Solid Line]	EXISTING WALL TO REMAIN
[Dashed Line]	EXISTING WALL TO BE REMOVED
[Thin Solid Line]	NEW PARTITION WALL
[Thick Solid Line]	NEW CONCRETE WALL
[Hatched Pattern]	1 HR. RATED WALL
[Cross-hatched Pattern]	WALL WITH INSULATION
[Circle with X]	KEY NOTES

OWNER / REPRESENTATIVE:
SEONG TAN
247 17TH AVENUE
SAN FRANCISCO, CA 94121
415.531.7988

SHEET TITLE:
FLOOR PLANS & NOTES

PROJECT ADDRESS:
247 17TH AVENUE
SAN FRANCISCO, CA 94121
BLOCK/LOT: 1416/009

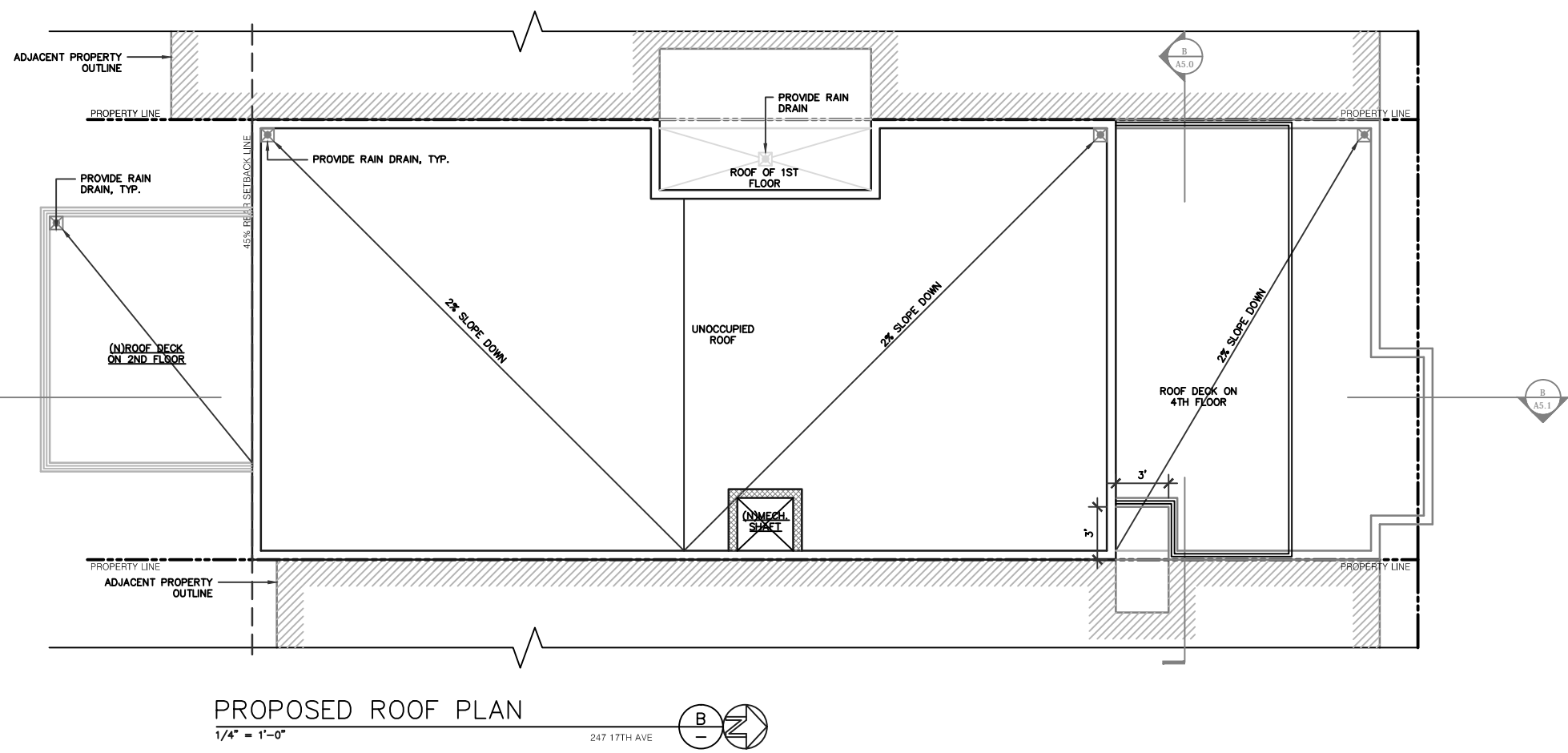
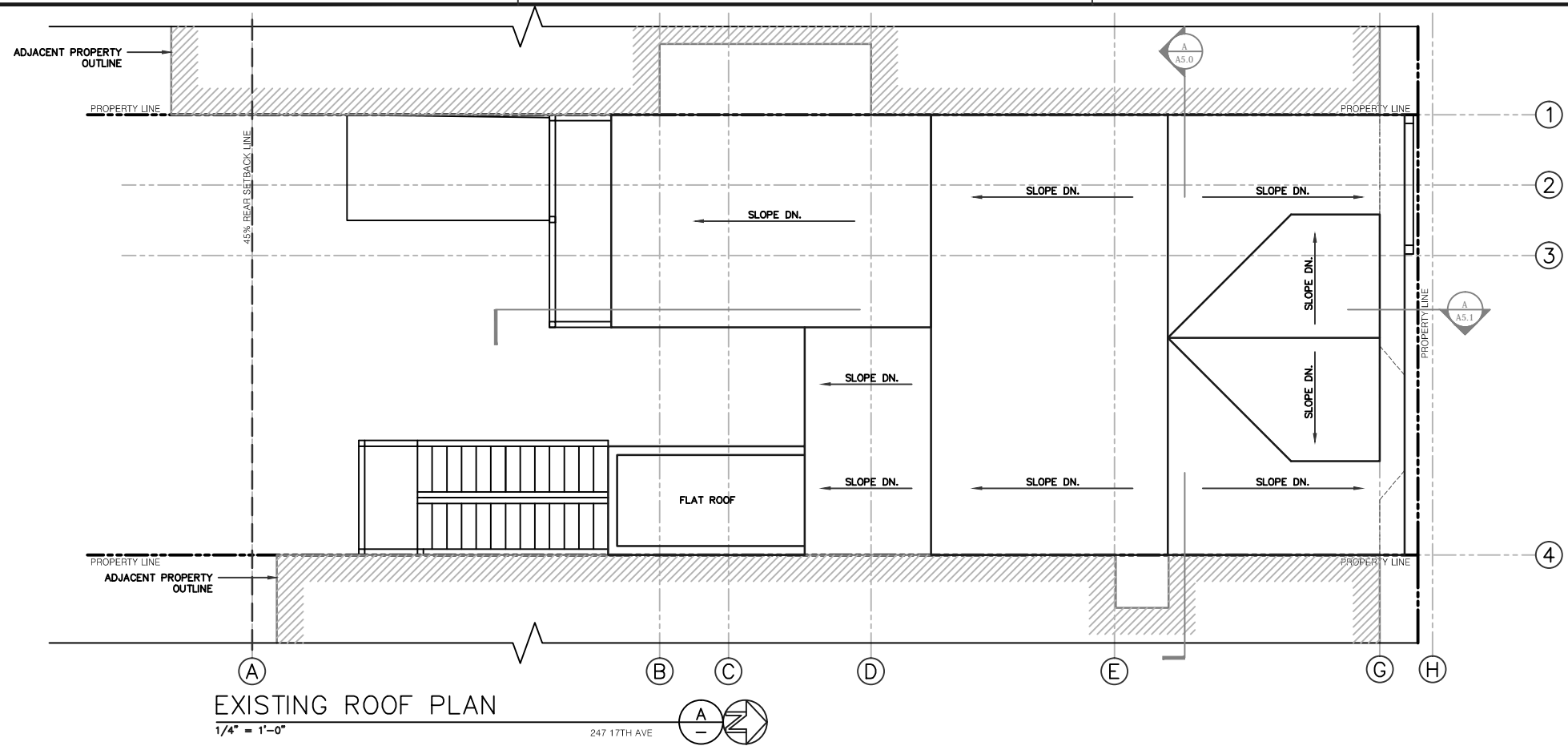
PROJECT DESCRIPTION:
ADDITION

NOTES	BY

DATE	03/18/2015
SCALE	AS NOTED
DRAWN	J.C.
JOB	140910
SHEET	A2.3

OF SHEETS

PRINT DATE: Apr 16, 2019 - 3:46pm



OWNER / REPRESENTATIVE:

SEONG TAN
247 17TH AVENUE
SAN FRANCISCO, CA 94121
415.531.7988

SHEET TITLE:

ROOF PLANS & NOTES

PROJECT ADDRESS:

247 17TH AVENUE
SAN FRANCISCO, CA 94121
BLOCK/LOT: 1416/009

PROJECT DESCRIPTION:

ADDITION

NOTES	BY

DATE 03/18/2015
SCALE AS NOTED
DRAWN J.C.
JOB 140910
SHEET

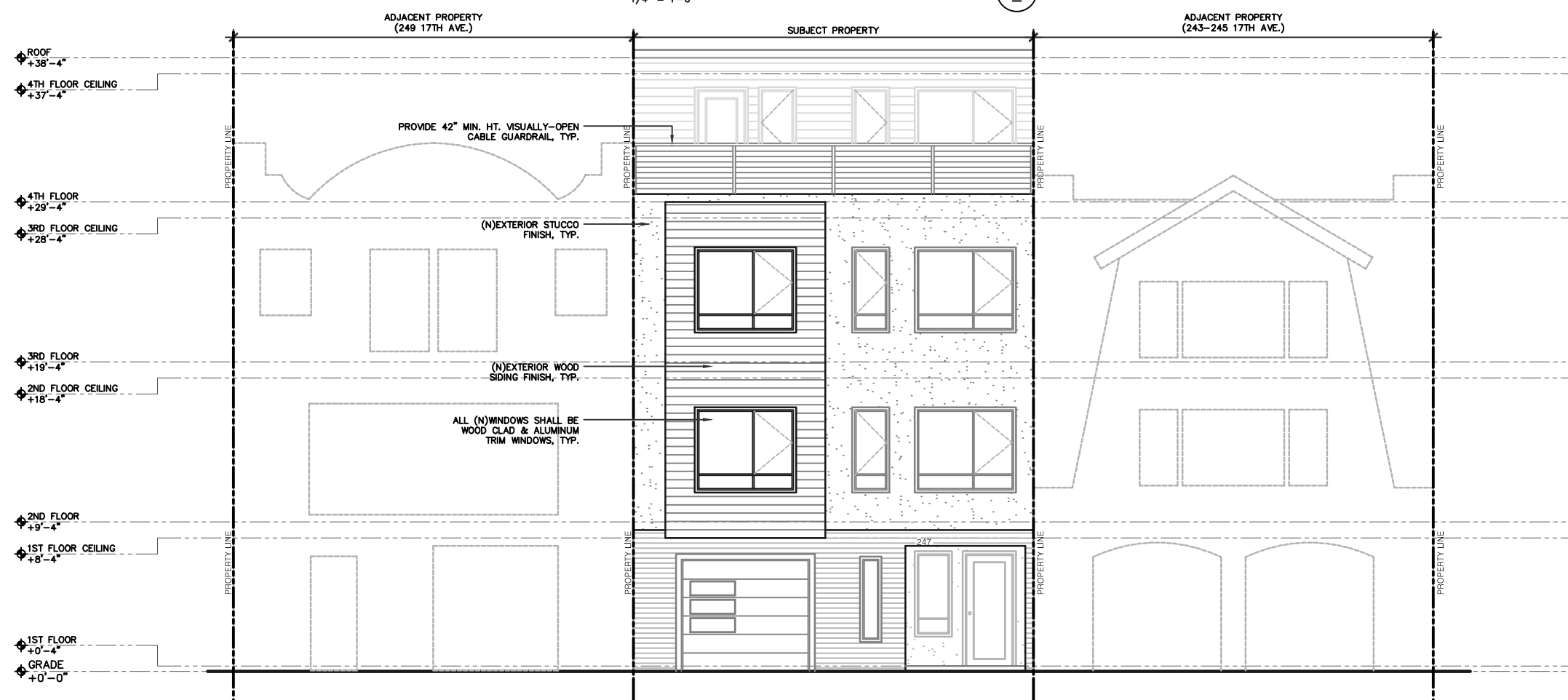
A2.4
OF SHEETS



EXISTING FRONT ELEVATION

1/4" = 1'-0"

A



PROPOSED FRONT ELEVATION

1/4" = 1'-0"

B

OWNER / REPRESENTATIVE:

SEONG TAN

247 17TH AVENUE
SAN FRANCISCO, CA 94121

415.531.7988

SHEET TITLE:

ELEVATIONS

PROJECT ADDRESS:

247 17TH AVENUE
SAN FRANCISCO, CA 94121

BLOCK/LOT: 1416/009

PROJECT DESCRIPTION:

ADDITION

NOTES	BY

DATE 03/18/2015

SCALE AS NOTED

DRAWN J.C.

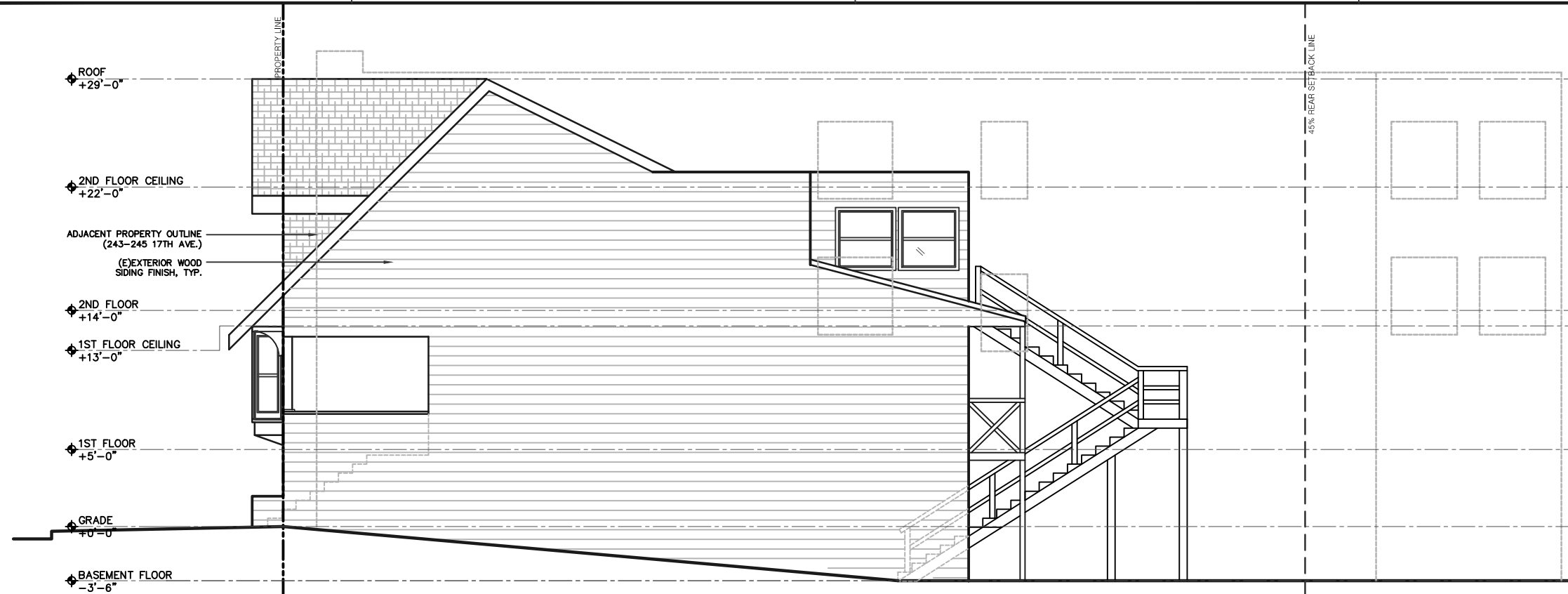
JOB 140910

SHEET

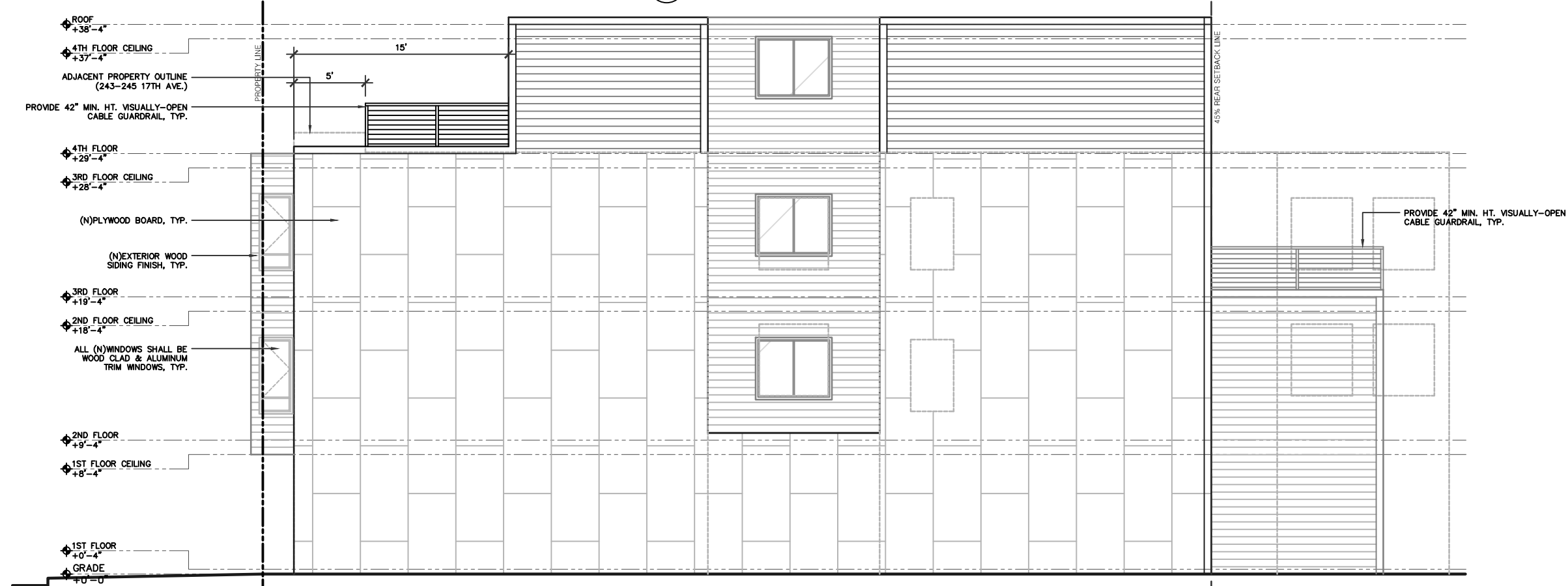
A4.0

OF SHEETS

PRINT DATE: Apr 16, 2019 - 3:40pm



EXISTING NORTH SIDE ELEVATION (A)
1/4" = 1'-0"



PROPOSED NORTH SIDE ELEVATION (B)
1/4" = 1'-0"

OWNER / REPRESENTATIVE:

SEONG TAN

247 17TH AVENUE
SAN FRANCISCO, CA 94121

415.531.7988

SHEET TITLE:

ELEVATIONS

PROJECT ADDRESS:

247 17TH AVENUE
SAN FRANCISCO, CA 94121

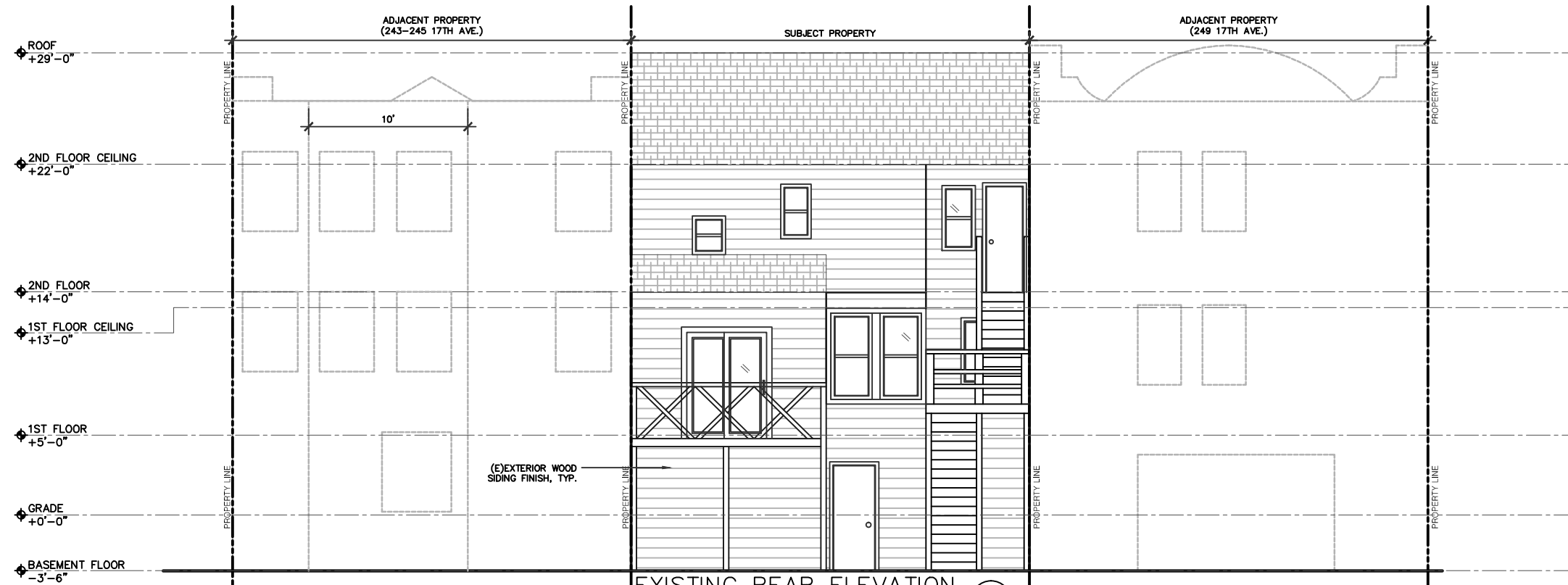
BLOCK/LOT: 1416/009

PROJECT DESCRIPTION:

ADDITION

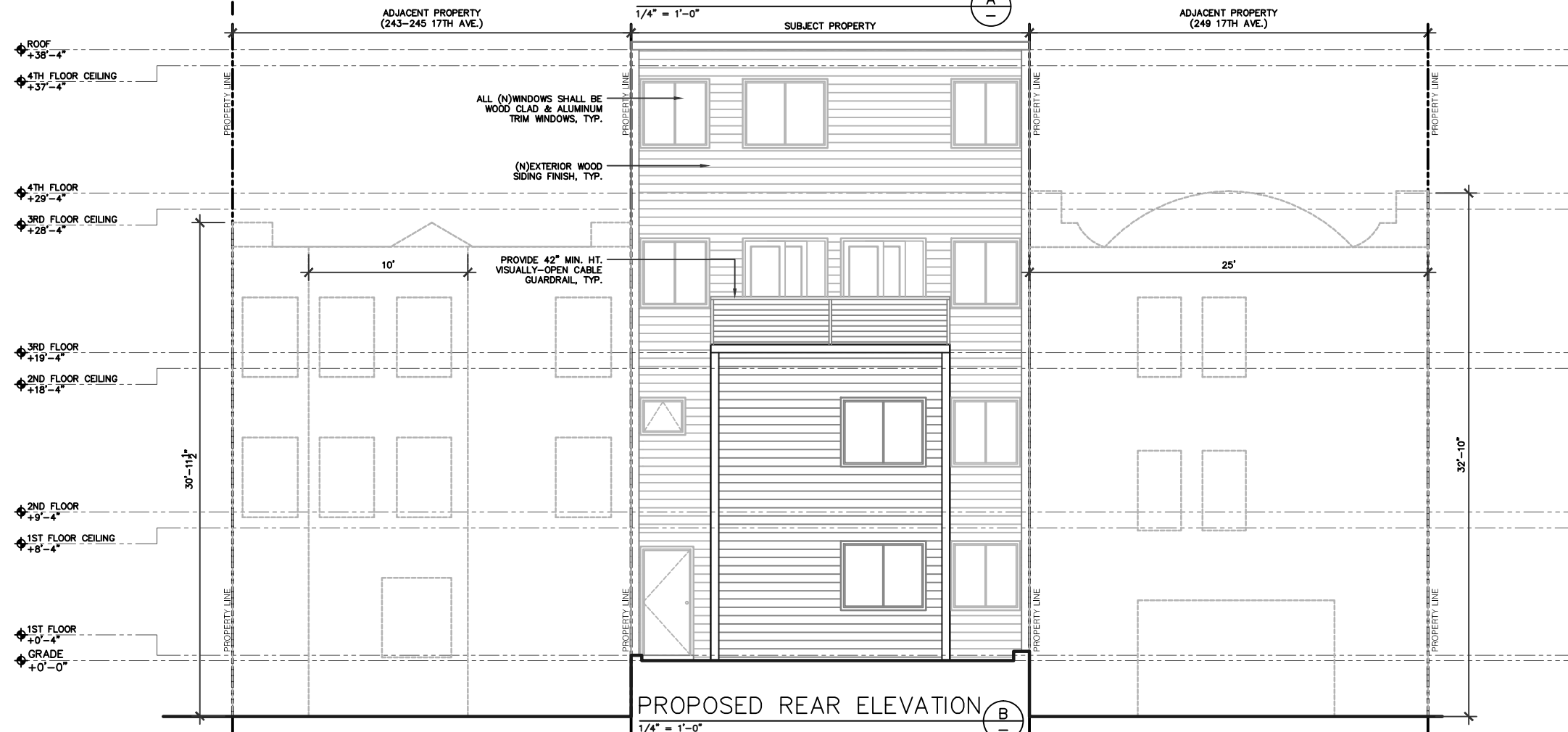
NOTES	BY

DATE 03/18/2015
SCALE AS NOTED
DRAWN J.C.
JOB 140910
SHEET



EXISTING REAR ELEVATION

A



PROPOSED REAR ELEVATION

B

OWNER / REPRESENTATIVE:

SEONG TAN

247 17TH AVENUE
SAN FRANCISCO, CA 94121

415.531.7988

SHEET TITLE:

ELEVATIONS

PROJECT ADDRESS:

247 17TH AVENUE
SAN FRANCISCO, CA 94121

BLOCK/LOT: 1416/009

PROJECT DESCRIPTION:

ADDITION

NOTES	BY

DATE 03/18/2015

SCALE AS NOTED

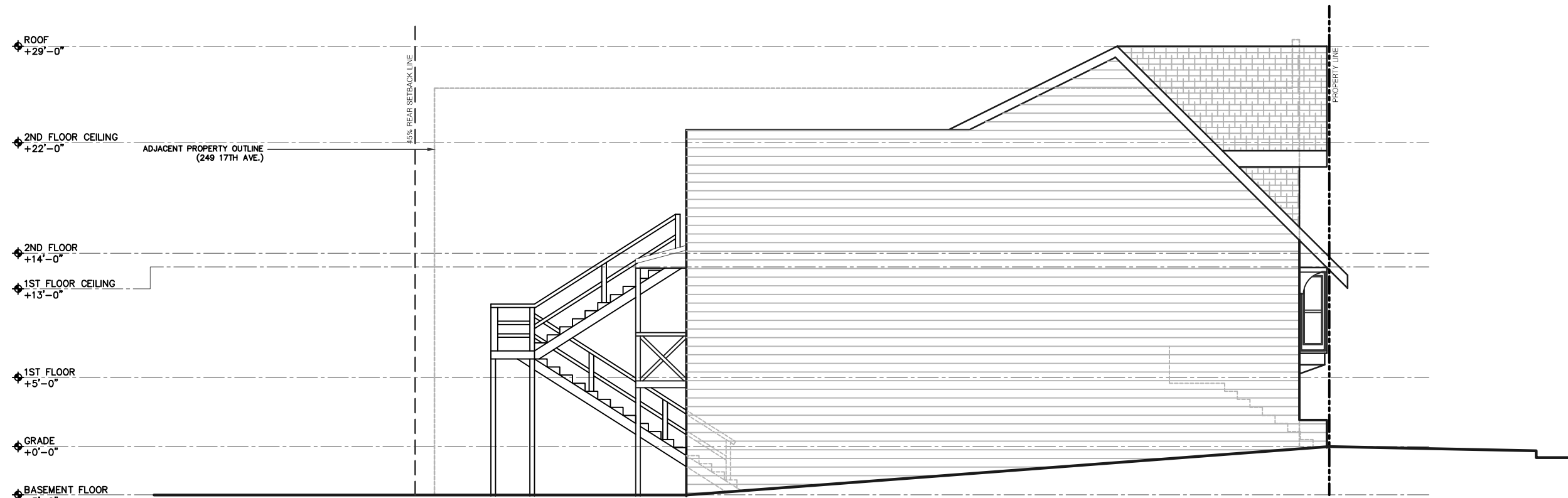
DRAWN J.C.

JOB 140910

SHEET

A4.2
OF
SHEETS

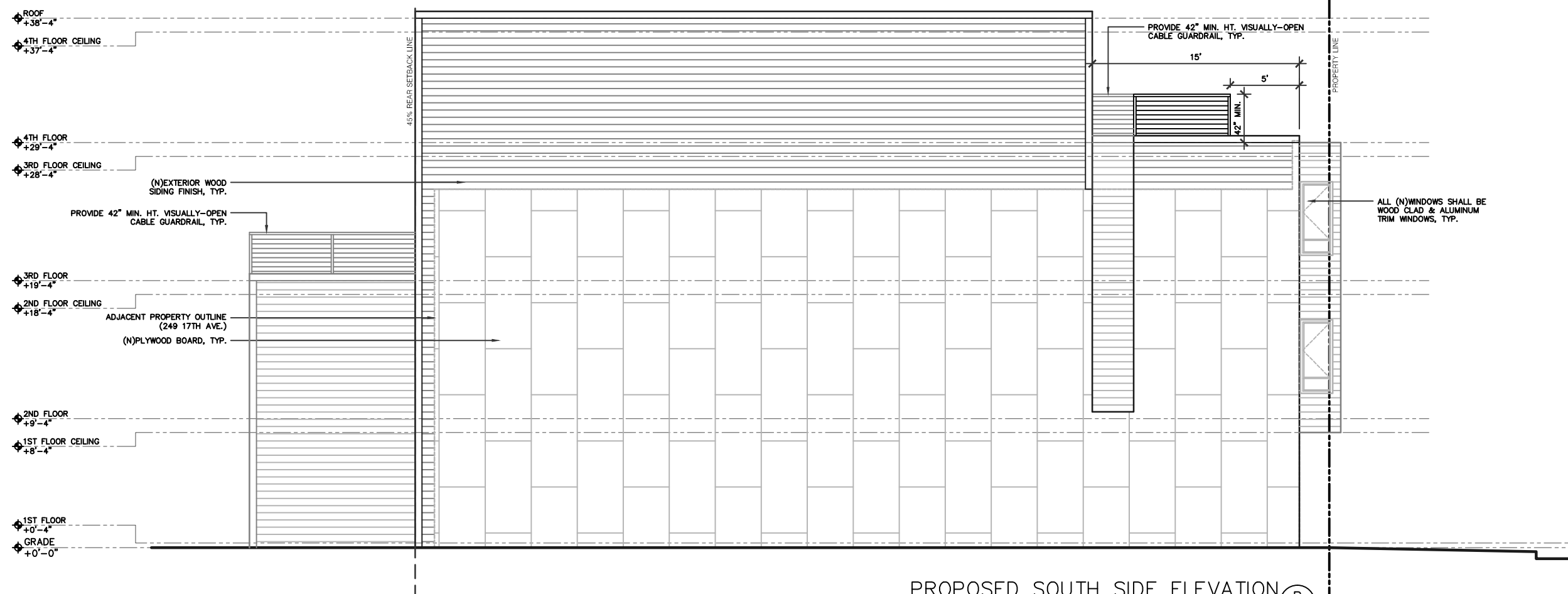
PRINT DATE: Apr 16, 2019 - 3:41pm



EXISTING SOUTH SIDE ELEVATION

1/4" = 1'-0"

A



PROPOSED SOUTH SIDE ELEVATION

1/4" = 1'-0"

B

OWNER / REPRESENTATIVE:

SEONG TAN

247 17TH AVENUE
SAN FRANCISCO, CA 94121

415.531.7988

SHEET TITLE:

ELEVATIONS

PROJECT ADDRESS:

247 17TH AVENUE
SAN FRANCISCO, CA 94121

BLOCK/LOT: 1416/009

PROJECT DESCRIPTION:

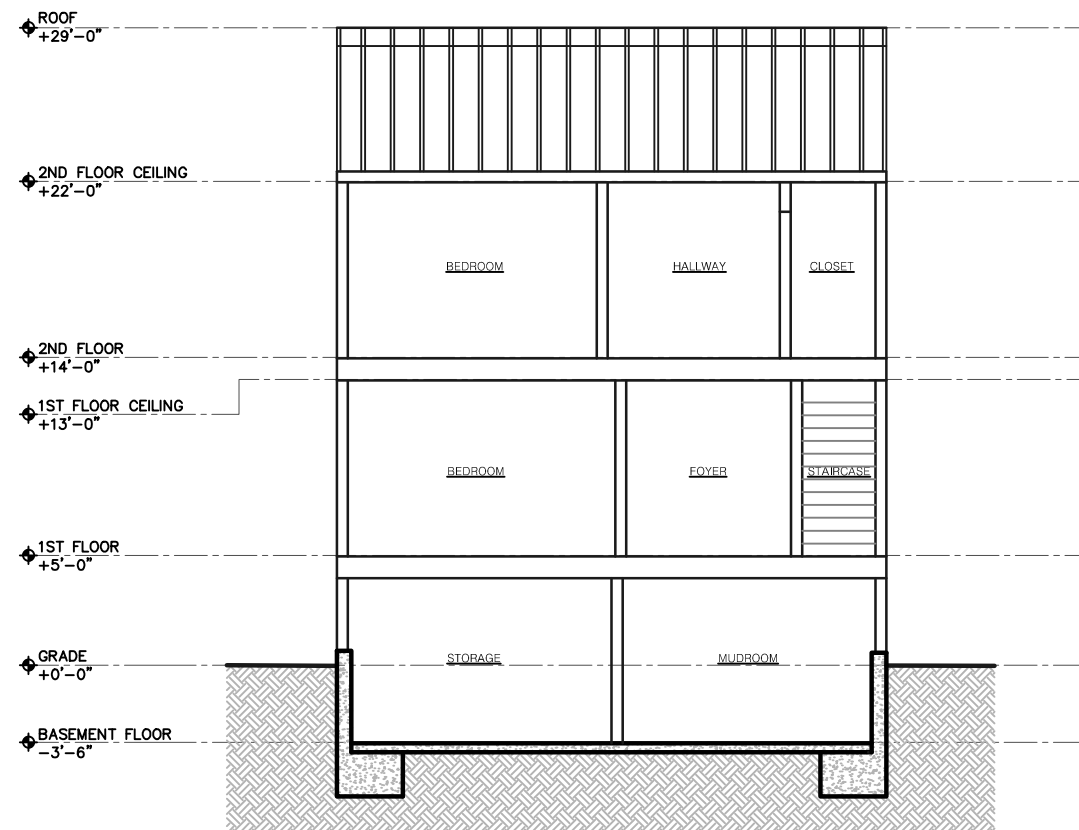
ADDITION

NOTES	BY

DATE	03/18/2015
SCALE	AS NOTED
DRAWN	J.C.
JOB	140910
SHEET	

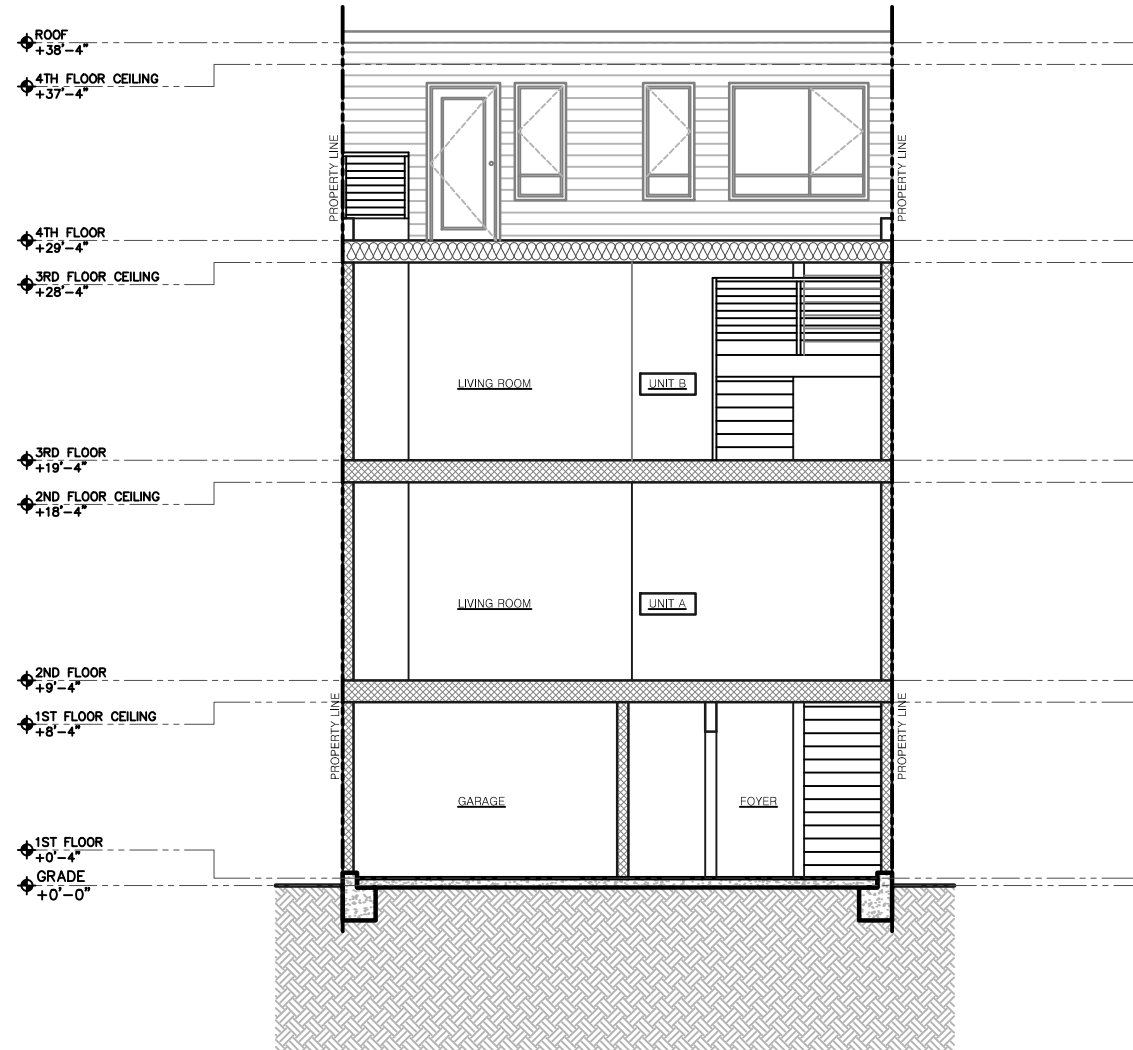
A4.3
OF SHEETS

PRINT DATE: Apr 16, 2019 - 3:41pm



EXISTING LATITUDINAL SECTION
1/4" = 1'-0"

A



PROPOSED LATITUDINAL SECTION
1/4" = 1'-0"

B

OWNER / REPRESENTATIVE:
SEONG TAN
247 17TH AVENUE
SAN FRANCISCO, CA 94121
415.531.7988

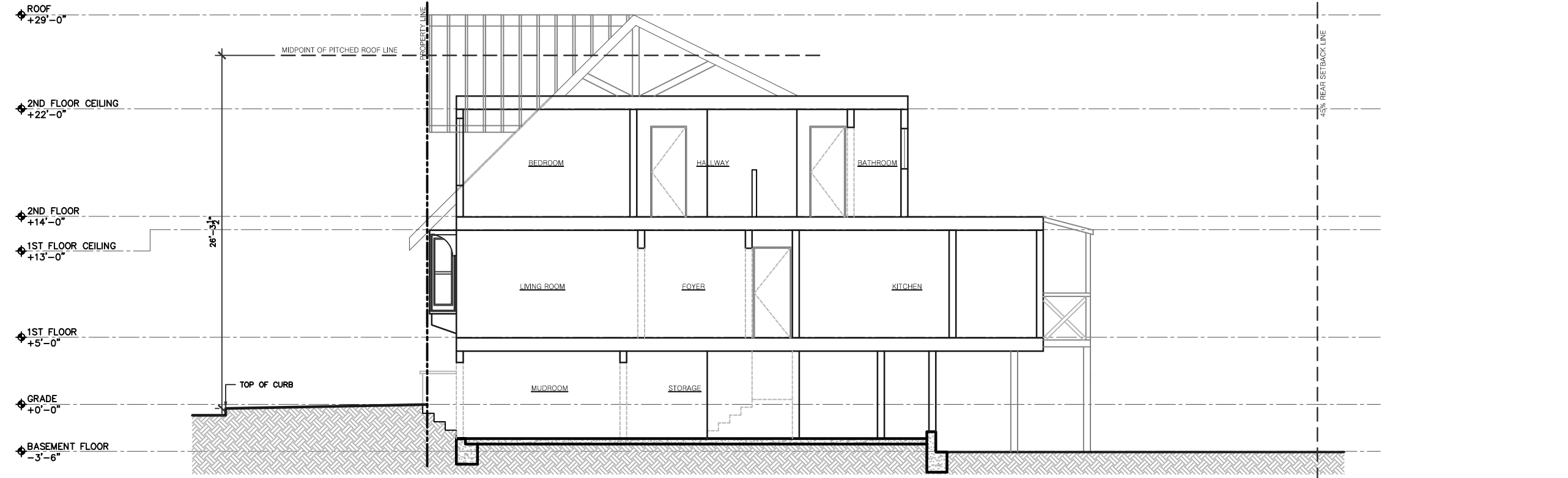
ELEVATIONS

PROJECT ADDRESS:
247 17TH AVENUE
SAN FRANCISCO, CA 94121
BLOCK/LOT: 1416/009
PROJECT DESCRIPTION:
ADDITION

NOTES	BY

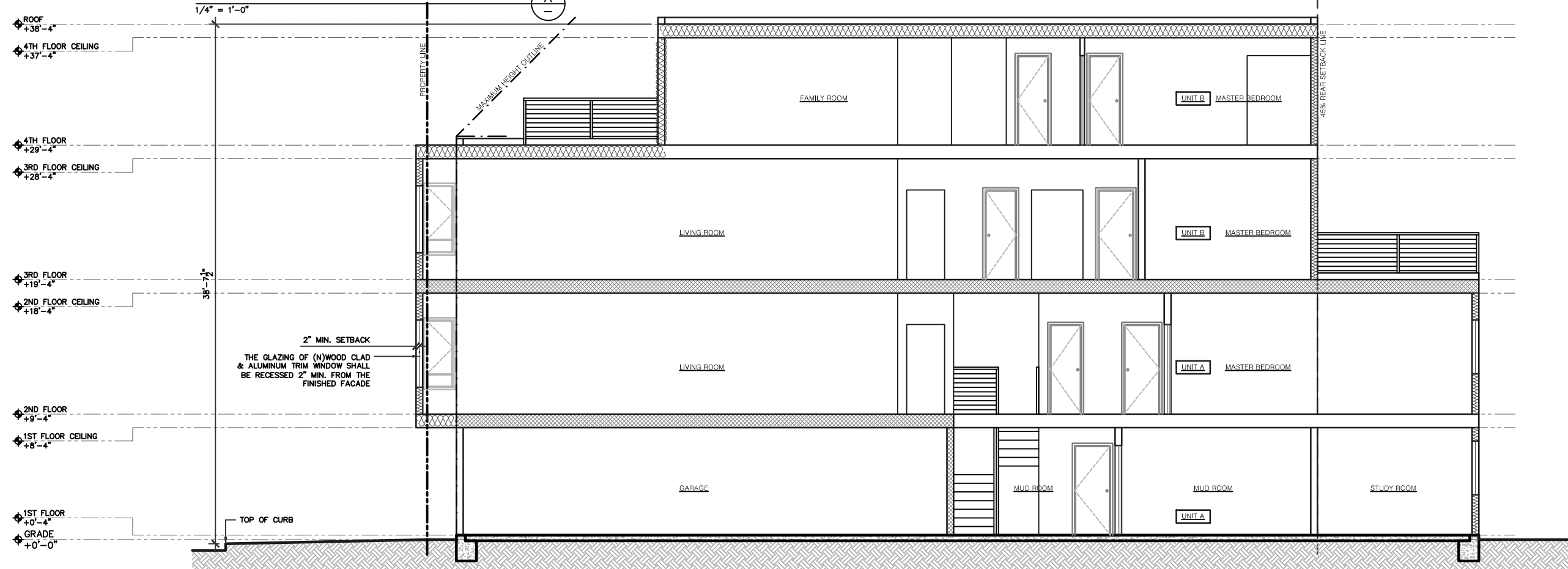
DATE 03/18/2015
SCALE AS NOTED
DRAWN J.C.
JOB 140910
SHEET

A5.0
OF SHEETS



EXISTING LONGITUDINAL SECTION

A
—



PROPOSED LONGITUDINAL SECTION

B
—

OWNER / REPRESENTATIVE:

SEONG TAN

247 17TH AVENUE
SAN FRANCISCO, CA 94121

415.531.7988

SHEET TITLE:

ELEVATIONS

PROJECT ADDRESS:

247 17TH AVENUE
SAN FRANCISCO, CA 94121

BLOCK/LOT: 1416/009

PROJECT DESCRIPTION:

ADDITION

NOTES	BY

DATE 03/18/2015
SCALE AS NOTED
DRAWN J.C.
JOB 140910
SHEET

A5.1
OF SHEETS

DOOR SCHEDULE

FLOOR LEVEL				
SYMBOL	A	B	C	D
EXT./INT.	INT.	INT.	INT.	EXT.
DOOR TYPE	SWING	SWING	SWING	SWING
W" X H" SIZE	28" X 80"	32" X 80"	34" X 80"	36" X 80"
FLOOR LEVEL				
SYMBOL	E	F	G	
EXT./INT.	EXT.	EXT.	EXT.	
DOOR TYPE	SWING	GARAGE DOOR	SLIDER	
W" X H" SIZE	36" X 84"	96" X 84"	60" X 84"	

WINDOW SCHEDULE

FLOOR LEVEL				
SYMBOL	1	2	3	4
WINDOW TYPE	FIXED	CASEMENT	SLIDER	SLIDER
W" X H" SIZE	12" X 60"	24" X 60"	36" X 24"	60" X 48"
SILL HEIGHT	20" A.F.F.	24" A.F.F.	60" A.F.F.	36" A.F.F.
DESCRIPTION	WOOD CLAD,ALUMINUM TRIM	WOOD CLAD,ALUMINUM TRIM	WOOD CLAD,ALUMINUM TRIM	WOOD CLAD,ALUMINUM TRIM
FLOOR LEVEL				
SYMBOL	5	6	7	
WINDOW TYPE	CASEMENT	SLIDER	CASEMENT	
W" X H" SIZE	72" X 60"	48" X 48"	30" X 24"	
SILL HEIGHT	24" A.F.F.	36" A.F.F.	60" A.F.F.	
DESCRIPTION	WOOD CLAD,ALUMINUM TRIM	WOOD CLAD,ALUMINUM TRIM	WOOD CLAD,ALUMINUM TRIM	

OWNER / REPRESENTATIVE:

SEONG TAN

247 17TH AVENUE
SAN FRANCISCO, CA 94121

415.531.7988

SHEET TITLE:

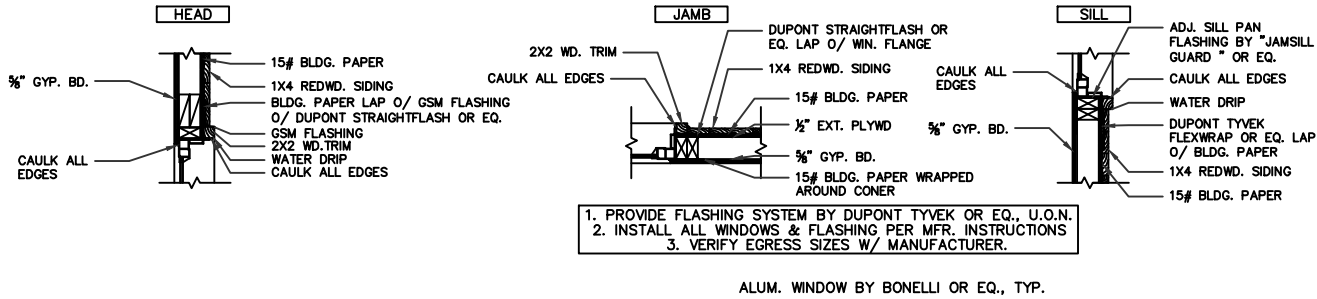
SCHEDULES

DOOR SCHEDULE

NO	LOCATION			SIZE	FRAME	RATING	FACE	HARDWARE	FRAME FINISH	DR FINISH
	FLOOR				ALUMINUM WOOD METAL	NOT RATED 20 MIN 45 MIN 1 HOUR 90 MIN	ALUMINUM / GLASS WOOD WOOD W/ VISION PANEL METAL W/ VISION PANEL WOOD / GLASS PANEL	METAL PANIC WEATHERSTRIPPING THRESHOLD CLOSER SIGNAGE LOCKSET SMOKE & DRAFT CONTROL ASSEMBLY PUSH PLATE, PULL HANDLE	ANODIZED PAINT STAINED ANODIZED / BAKED ENAMEL PAINT STAINED	
1	1ST	ENTRY-EXT.	F	96" X 84"						
2		ENTRY-EXT.	E	36" X 84"						
3		GARAGE-INT.	D	36" X 80"						
4		BACK DOOR-EXT.	D	36" X 80"						
5		BATHROOM-INT.	A	28" X 80"						
6		BEDROOM-INT.	B	32" X 80"						
7		STUDY ROOM-INT.	B	32" X 80"						
8	2ND	STAIR-INT.	C	34" X 80"						
9		BATHROOM-INT.	A	28" X 80"						
10		BEDROOM-INT.	B	32" X 80"						
11		OFFICE-INT.	B	32" X 80"						
12		MASTER BEDROOM-INT.	B	32" X 80"						
13		W.I.C.-INT.	A	28" X 80"						
14	3RD	STAIR-INT.	C	34" X 80"						
15		BATHROOM-INT.	A	28" X 80"						
16		BEDROOM-INT.	B	32" X 80"						
17		MASTER BEDROOM-INT.	B	32" X 80"						
18		W.I.C.-INT.	A	28" X 80"						
19	4TH	BATHROOM-INT.	A	28" X 80"						
20		MASTER BEDROOM-INT.	B	32" X 80"						
21		ROOF DECK-INT.	D	36" X 84"						

- THRESHOLD AT DOORWAYS SHALL NOT EXCEED 0.75 INCH IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 0.5 INCH FOR OTHER DOORS.
- THRESHOLD HEIGHT SHALL BE LIMITED TO 7.75 INCHES (RESIDENTIAL) WHEN THE DOOR IS AN EXTERIOR DOOR THAT IS NOT A COMPONENT OF THE REQUIRED MEANS OF EGRESS; THE DOOR, OTHER THAN AN EXTERIOR STORM OR SCREEN DOOR DOES NOT SWING OVER THE LANDING OR STEP.
- ALL EXTERIOR DOOR TO BE INSTALLED WITH WOOD TRIM, U.O.N

WINDOW DETAIL – STUCCO



WINDOW DETAIL – SIDING



PROJECT ADDRESS:

247 17TH AVENUE
SAN FRANCISCO, CA 94121

BLOCK/LOT: 1416/009

PROJECT DESCRIPTION:

ADDITION

NOTES

BY

DATE 03/18/2015

SCALE AS NOTED

DRAWN J.C.

JOB 140910

SHEET

A6.0
OF SHEETS

PRINT DATE: Apr 16, 2019 - 3:42pm

Exhibit C



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
247 17TH AVE		1416009
Case No.		Permit No.
2015-005763ENV		201504153699
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
Project description for Planning Department approval. The Project includes (tantamount to) demolition of a 2,675 square foot two-family dwelling through a major alteration. The proposal includes renovation of the front façade and vertical and horizontal additions. The resulting building will contain two three-bedroom dwelling units (each approximately 2,337 and 2,405 square feet), two off-street parking spaces, and two Class 1 bicycle parking spaces.		

STEP 1: EXEMPTION CLASS

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input checked="" type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. FOR ENVIRONMENTAL PLANNING USE ONLY
<input type="checkbox"/>	Class ____

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an *Environmental Evaluation Application* is required.

<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i>
<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non -archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	Slope = or > 20%: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required.
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required.

If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an *Environmental Evaluation Application* is required, unless reviewed by an Environmental Planner.

Comments and Planner Signature (optional): Laura Lynch

STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS - ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.

<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .
<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator)
<input checked="" type="checkbox"/>	10. Reclassification of property status. (Requires approval by Senior Preservation Planner/Preservation <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category A a. Per HRER dated _____ b. Other (specify): Per PRT form dated 1.21.2016 </div> <div style="width: 45%;"> <input checked="" type="checkbox"/> Reclassify to Category C (attach HRER) </div> </div>
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional): Reclass existing two unit building	
Preservation Planner Signature: Allison Vanderslice	

STEP 6: CATEGORICAL EXEMPTION DETERMINATION

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 - CEQA Impacts <input type="checkbox"/> Step 5 - Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.	
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Planning Commission Hearing If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	Signature: Laura Lynch 06/13/2019
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.	

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
247 17TH AVE		1416/009
Case No.	Previous Building Permit No.	New Building Permit No.
2015-005763PRJ	201504153699	
Plans Dated	Previous Approval Action	New Approval Action
	Planning Commission Hearing	
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required.	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Date:



SAN FRANCISCO PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW FORM

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Preservation Team Meeting Date:	1/21/2016	Date of Form Completion	1/21/2016
--	-----------	--------------------------------	-----------

PROJECT INFORMATION:		
Planner:	Address:	
Allison Vanderslice	247 17th Ave	
Block/Lot:	Cross Streets:	
1416/009	California and Clement streets	
CEQA Category:	Art. 10/11:	BPA/Case No.:
B		2015-005763ENV

PURPOSE OF REVIEW:			PROJECT DESCRIPTION:	
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input checked="" type="radio"/> Alteration	<input checked="" type="radio"/> Demo/New Construction

DATE OF PLANS UNDER REVIEW:	03/18/2015
------------------------------------	------------

PROJECT ISSUES:	
<input checked="" type="checkbox"/>	Is the subject Property an eligible historic resource?
<input type="checkbox"/>	If so, are the proposed changes a significant impact?
Additional Notes:	
The proposed project consists of a vertical and horizontal addition, interior remodel, and complete front facade remodel. The proposed project triggers the thresholds for de facto demolition under Section 317 of the Planning Code. An Historical Resource Evaluation (HRE) report by Tim Kelley Consulting (dated 07/2015) for 247 17th Avenue was submitted by the project sponsor to aid this review.	

PRESERVATION TEAM REVIEW:			
Historic Resource Present		<input type="radio"/> Yes	<input checked="" type="radio"/> No *
		<input type="radio"/> N/A	
Individual		Historic District/Context	
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:		Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:	
Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No
Period of Significance:	n/a	Period of Significance:	n/a
		<input type="radio"/> Contributor <input type="radio"/> Non-Contributor	

Complies with the Secretary's Standards/Art 10/Art 11:	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
CEQA Material Impairment:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Needs More Information:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Requires Design Revisions:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Defer to Residential Design Team:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	

* If No is selected for Historic Resource per CEQA, a signature from Senior Preservation Planner or Preservation Coordinator is required.

PRESERVATION TEAM COMMENTS:


Based on the HRE report completed for the subject property and additional research by Department staff, the subject property at 247 17th Avenue is not an historical resource under CEQA.

Constructed in 1911, the building was built after the initial development of the neighborhood and during the post-earthquake expansion of the Inner Richmond area and western portions of the City generally. As many properties were constructed during this period, the subject building does not appear to be significant for its association with post-earthquake development or with any other significant events or trends in the local area or San Francisco generally. Therefore, the subject property is not significant under Criterion 1. Based on the HRE prepared for the subject property, photographer Daniel J. Foley owned and resided part-time at the property during the 1920s and 1930s. Foley is significant for his contribution to early Yosemite photography and tourism in the late 19th century. However, the subject property is not associated with Foley's work in Yosemite. Therefore, the subject property is not significant under Criterion 2.

The subject building is an one-and-half-story-over-basement, multiple-family residential building clad with wood shingle and rustic siding and topped with a side-facing gable-roof featuring a large gable dormer. The subject building has elements of the Craftsmen Style but is not a distinguished example of this style. Alterations to the building include window replacement. The building was constructed by local builder Alton R. Lapham. Based on the HRE report, Lapham is not a master builder. Therefore, the subject property is not significant under Criterion 3.

The subject building is not significant under Criterion 4, since this significance criteria typically applies to rare construction types when involving the built environment. The subject building is not an example of a rare construction type.

The subject property does not appear to contribute to an eligible or identified historical district. The range of residential buildings types and styles with varying setbacks surrounding the subject property on 17th Avenue do not appear to contain sufficient coherence to qualify as an eligible district. Previous historical reviews by Department staff found that the immediate area does not appear to be an historic district (2014.0843E and 2009.0175E).

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
	1/25/2016

247 17th Avenue



Exhibit D



SAN FRANCISCO PLANNING DEPARTMENT

Land Use Information

PROJECT ADDRESS: 247 17TH AVE
RECORD NO.: 2015-005763CUA

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

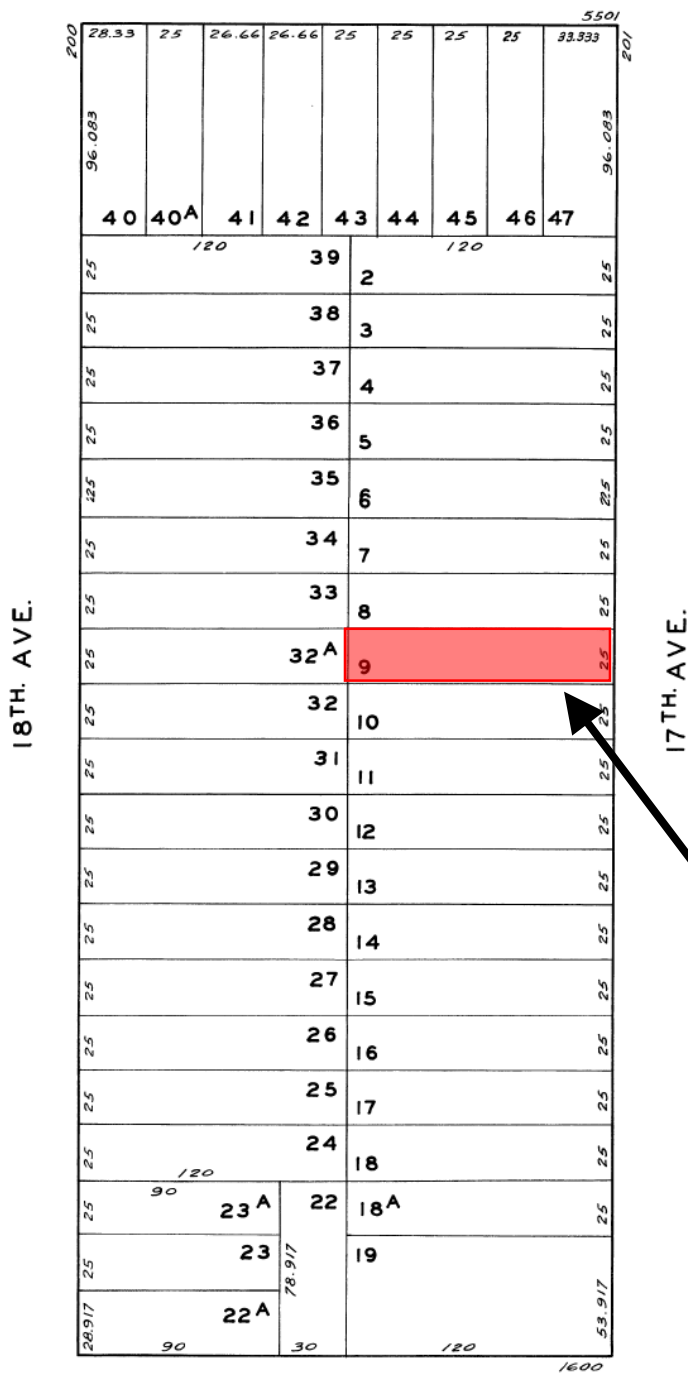
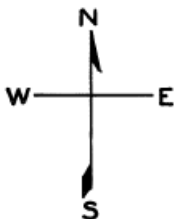
	EXISTING	PROPOSED	NET NEW
GROSS SQUARE FOOTAGE (GSF)			
Parking GSF	0	607	607
Residential GSF	2,324	5,673	3,349
Retail/Commercial GSF	N/A	0	0
Office GSF	N/A	0	0
Industrial/PDR GSF <i>Production, Distribution, & Repair</i>	N/A	0	0
Medical GSF	N/A	0	0
Visitor GSF	N/A	0	0
CIE GSF	N/A	0	0
Usable Open Space	1,500	1,516	16
Public Open Space	N/A	0	0
Other ()			
TOTAL GSF	2,675	6,466	3,791
	EXISTING	NET NEW	TOTALS
PROJECT FEATURES (Units or Amounts)			
Dwelling Units - Affordable	N/A	0	0
Dwelling Units - Market Rate	2	0	2
Dwelling Units - Total	2	0	2
Hotel Rooms	N/A	0	0
Number of Buildings	1	0	1
Number of Stories	2	4	4
Parking Spaces	0	2	2
Loading Spaces	N/A	0	0
Bicycle Spaces	0	2	2
Car Share Spaces	N/A	0	0
Other ()			

	EXISTING	PROPOSED	NET NEW
LAND USE - RESIDENTIAL			
Studio Units	0	0	0
One Bedroom Units	2	0	0
Two Bedroom Units	0	0	0
Three Bedroom (or +) Units	0	2	2
Group Housing - Rooms	0	0	0
Group Housing - Beds	0	0	0
SRO Units	0	0	0
Micro Units	0	0	0
Accessory Dwelling Units	0	0	0

Exhibit E

Parcel Map

CALIFORNIA



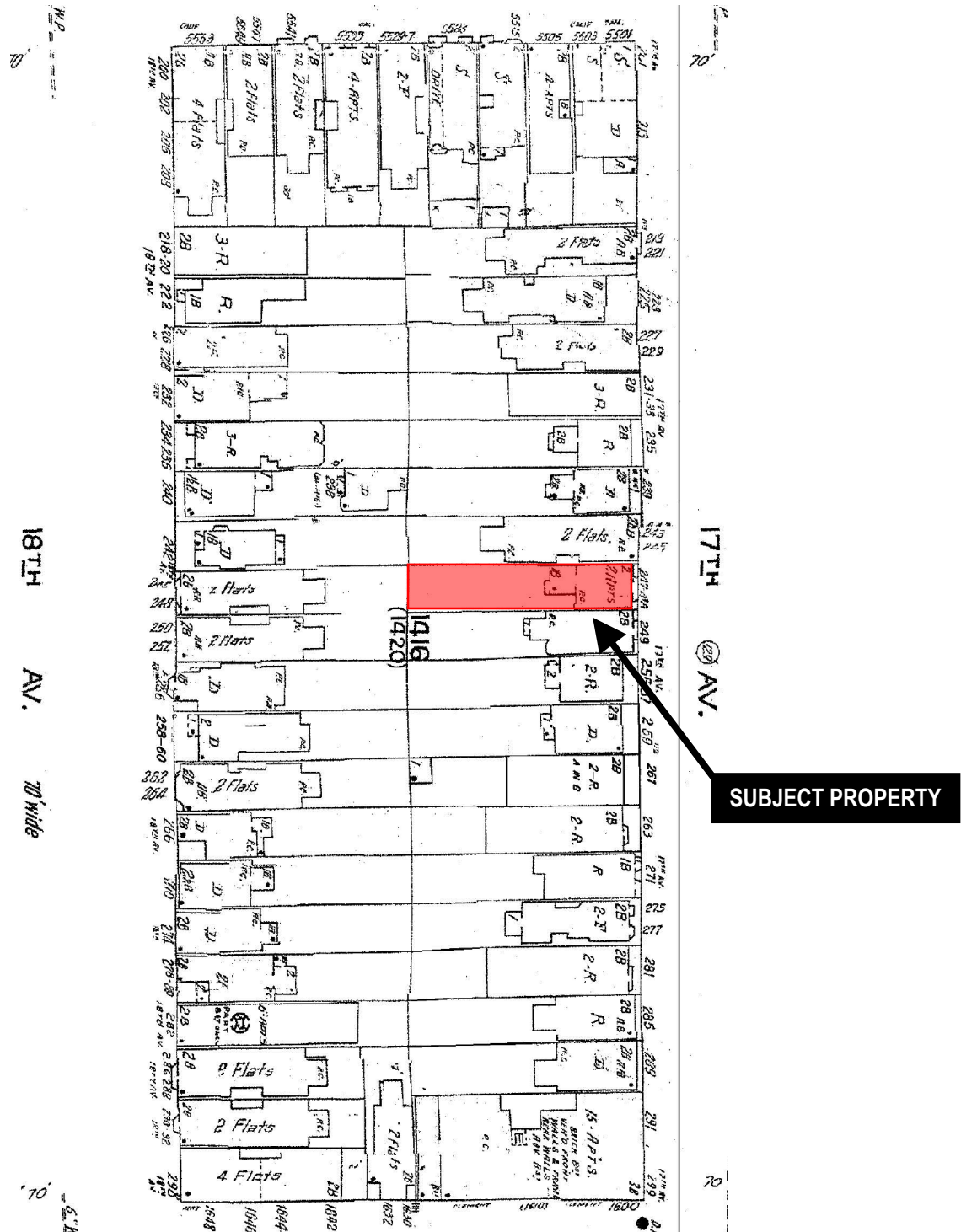
SUBJECT PROPERTY

CLEMENT



Conditional Use Hearing
Case Number 2015-005763CUA
247 17th Avenue

Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Conditional Use Hearing
Case Number 2015-005763CUA
247 17th Avenue

Aerial Photo – View 1



SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2015-005763CUA
247 17th Avenue

Aerial Photo – View 2

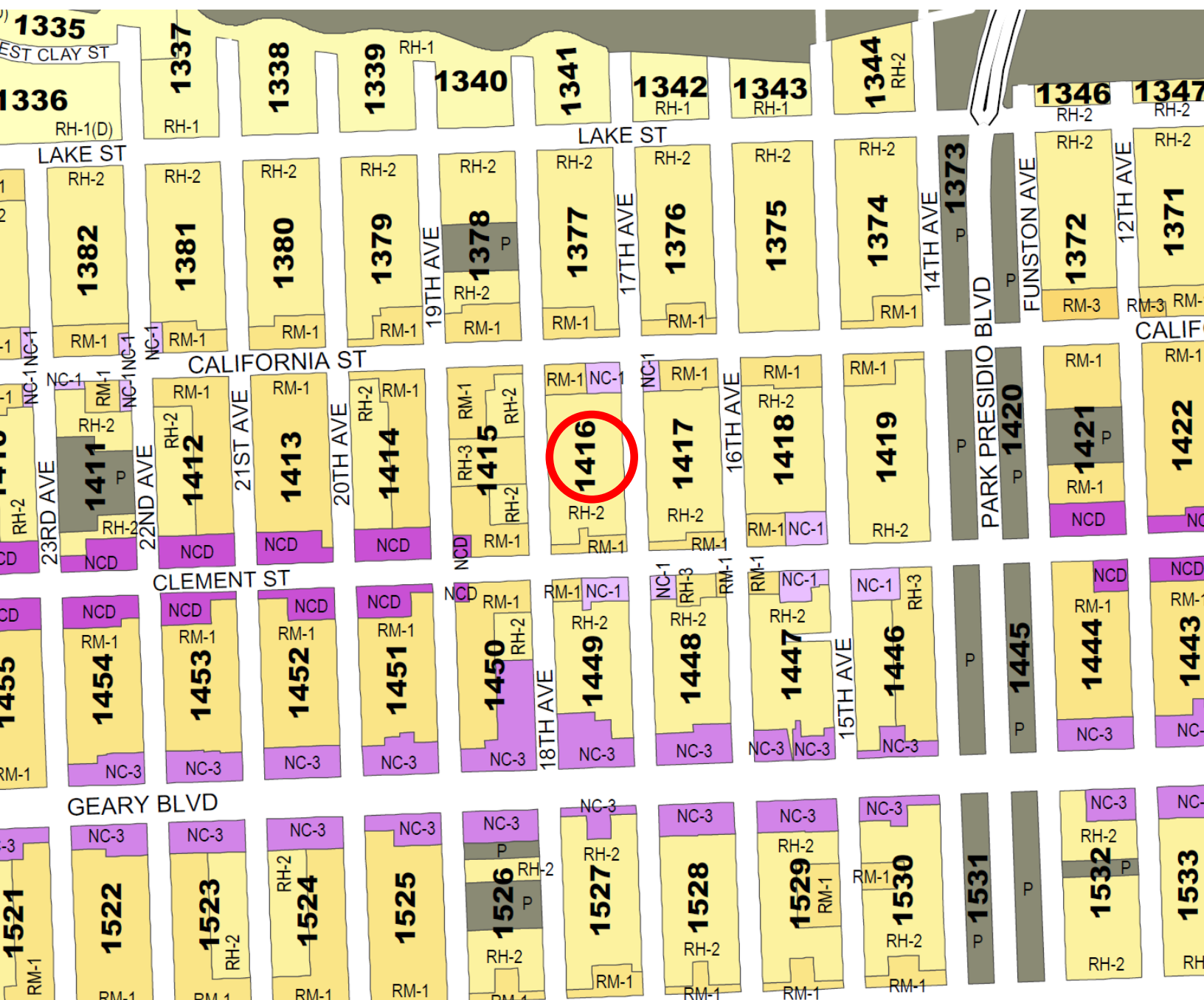


SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2015-005763CUA
247 17th Avenue

Zoning Map



Conditional Use Hearing
Case Number 2015-005763CUA
247 17th Avenue

Site Photo



Conditional Use Hearing
Case Number 2015-005763CUA
247 17th Avenue

Exhibit F

247 17th Avenue

1416 / 009

2015.04.15.3699

Project Description

Subject property 247 17th Avenue is proposing to add two additional story to existing two-story two family home. The proposed project is to raise the existing building to accommodate a two cars off street parking. The property will remain as a two unit building. The project's demolition of exceed the amount allow by planning code. A conditional use permit therefore is request for this project. The property is currently occupied by one tenant. A family friend who will be moving out of the property by December 2019. The property will then be vacant until contraction and will re-occupied by the property owners.

Exhibit G



SAN FRANCISCO PLANNING DEPARTMENT

Planning Department Request for Rent Board Documentation

(Date) 9/19/17

ATTN: Van Lam
Rent Stabilization and Arbitration Board
25 Van Ness Avenue, Suite 320
San Francisco, CA 94102-6033

RE: Address of Permit Work: 247 17th Avenue
Assessor's Block/Lot: 1416/009
BPA # / Case #: 2015-005763CUA

Project Type:

- ☒ Determination of Unauthorized Unit – Planning Code Section 317(g)(6)
☐ Other _____

Please provide information from the Rent Board's database records regarding possible evidence of residential use at the above referenced unit(s) on or after: *(enter date)*

Sincerely,
Brittany
Bendix
Planner

Digitally signed by Brittany Bendix
DN: cn=Brittany Bendix, ou=City Planning, ou=Current Planning,
email=Brittany.Bendix@sfplanning.org
Date: 2017.09.19 13:32:35 -0700

cc: Jennifer Rakowski- Rent Board Supervisor

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Rent Board Response to Request for Planning Department Records Search

Re: 247 17th Ave.

This confirms that the undersigned employee of the San Francisco Rent Board has reviewed its database records pertaining to the above-referenced unit(s) to provide records that may demonstrate evidence of residential use. All searches are based upon the street addresses provided.

☐ No database records were identified.

There are no Rent Board records in our database related to your search request for the property address requested. However, it is important to note that the absence of records for some or all of the residential units at a property does not mean there is or has been no residential use. Property owners are not required by law to provide any information or file any documents with the Rent Board unless they are seeking to take a certain action such as an eviction, a rent increase, or a buyout. Thus, there are many properties and many residential units for which the Rent Board has no records.

☒ Yes, the following records were identified:

- o See attached documents.

Pursuant to your request, we have searched the Rent Board's database for records related to the property requested. Attached are some Rent Board records resulting from our search. These records can be used as evidence of prior and/or current residential use of the property. However, it is important to note that the absence of records for some or all of the residential units at a property does not mean there is or has been no residential use. Property owners are not required by law to provide any information or file any documents with the Rent Board unless they are seeking to take a certain action such as an eviction, a rent increase, or a buyout. Thus, there are many properties and many residential units for which the Rent Board has no records.

Regarding the records provided, please note that the data in the "# of units" field was imported from another department's database in 2002 and may not be accurate. It does not represent a determination by the Rent Board of the number of units at the property.

Signed:



Dated:

9-20-17

Van Lam
Citizens Complaint Officer

The Rent Board is the originating custodian of these records; the applicability of these records to Planning permit decisions resides with the Planning Department.

9/20/2017

Cause For Eviction

<input type="checkbox"/> Non-payment of Rent	<input type="checkbox"/> Unapproved Subtenant	<input type="checkbox"/> Lead Remediation
<input type="checkbox"/> Habitual Late Payment of Rent	<input type="checkbox"/> Owner Move In	<input type="checkbox"/> Development Agreement
<input type="checkbox"/> Breach of Lease Agreement	<input type="checkbox"/> Condo Conversion	<input type="checkbox"/> Good Samaritan Tenancy Ends
<input type="checkbox"/> Nuisance	<input type="checkbox"/> Demolition	<input type="checkbox"/> Roommate Living in Same Unit
<input type="checkbox"/> Illegal Use of Unit	<input type="checkbox"/> Capital Improvement	<input type="checkbox"/> Other
<input type="checkbox"/> Failure to Sign Lease Renewal	<input type="checkbox"/> Substantial Rehabilitation	
<input type="checkbox"/> Denial of Access to Unit	<input type="checkbox"/> Ellis Act Withdrawal	<input type="checkbox"/> Severance of Housing Service

[illegible]

9/20/2017

247	17th	Avenue		NE00148	09/01/92	
Number	Street Name	Suffix	Unit#	Eviction_ID	File Date	Rent Paid
247 17th Avenue		2	94121	<input type="checkbox"/> OMI 37.9(i) Estoppel Filed?		
Building		# of Units	Zip	<input type="checkbox"/> Protected Status Claimed		
			1911	<input type="checkbox"/> OMI Constraints Until		
Complex			Yr Built	Date:		
				<input type="checkbox"/> OMI Proof of Service Filed?		
				<input type="checkbox"/> Additional 37.9C Relocation Claim Filed?		

<input type="checkbox"/> Non-payment of Rent	<input type="checkbox"/> Unapproved Subtenant	<input type="checkbox"/> Lead Remediation
<input type="checkbox"/> Habitual Late Payment of Rent	<input type="checkbox"/> Owner Move In	<input type="checkbox"/> Development Agreement
<input type="checkbox"/> Breach of Lease Agreement	<input type="checkbox"/> Condo Conversion	<input type="checkbox"/> Good Samaritan Tenancy Ends
<input type="checkbox"/> Nuisance	<input type="checkbox"/> Demolition	<input type="checkbox"/> Roommate Living in Same Unit
<input type="checkbox"/> Illegal Use of Unit	<input type="checkbox"/> Capital Improvement	<input type="checkbox"/> Other
<input type="checkbox"/> Failure to Sign Lease Renewal	<input type="checkbox"/> Substantial Rehabilitation	
<input type="checkbox"/> Denial of Access to Unit	<input type="checkbox"/> Ellis Act Withdrawal	<input type="checkbox"/> Severance of Housing Service

[illegible]

9/20/2017

[illegible]

9/20/2017

247 Number		17th Street Name		Avenue Suffix		Unit#		N001-42E Petition		9/14/92 Date Filed		Eviction Priority	
247 17th Avenue Building				2 # of Units		94121 Zip						<input type="checkbox"/> Prop I <input type="checkbox"/> Sec 8 <input type="checkbox"/> ADR <input type="checkbox"/> Interpreter	
Complex						1911 Yr Built				Date Assigned			
<input type="checkbox"/> Decrease in Service <input type="checkbox"/> Failure to Repair <input type="checkbox"/> Passthrough Challenge <input type="checkbox"/> Res. Hotel Visitor Policy <input type="checkbox"/> R&R 6.15C(3) <input type="checkbox"/> Unlawful Rent Increase <input type="checkbox"/> Tenant Hardship App <input type="checkbox"/> CI <input type="checkbox"/> O&M <input type="checkbox"/> WRB <input type="checkbox"/> UPT				<input type="checkbox"/> Summary Petition <input type="checkbox"/> Other Ground <input checked="" type="checkbox"/> Wrongful Eviction <input type="checkbox"/> Wrongful Severance Z Eviction Date Sept-June <input type="checkbox"/> # of Kids				A L J: Hearing Date: Start Time: End Time: Tenant Record Closed: Landlord Record Closed: Decision Sent: Move-in Date:					
Eviction Screens													

[illegible]



**Residential Rent Stabilization and Arbitration Board
City & County Of San Francisco**

Action Log

***Petition # N001-42E
247 17th Avenue***

Date	Action	By
1/25/10	Historical Data (entered 1/25/2010) - Eviction Documents Sent: (8) Owner-Occ 0615d, 0631d, 0632d, 0621d	SFRB Staff



SAN FRANCISCO PLANNING DEPARTMENT

Planning Department Request for Rent Board Documentation

(Date) May 15, 2019

ATTN: Van Lam
Rent Stabilization and Arbitration Board
25 Van Ness Avenue, Suite 320
San Francisco, CA 94102-6033

RE: Address of Permit Work: 247 17th Avenue
Assessor's Block/Lot: 1416/009
BPA # / Case #: 2015-005763CUA

Project Type:

- ☐ Determination of Unauthorized Unit – Planning Code Section 317(g)(6)
☒ Other residential demo/new construction

Please provide information from the Rent Board's database records regarding possible evidence of residential use at the above referenced unit(s) on or after: *(enter date)*

Sincerely,

Laura Ajello

Planner

Digitally signed by Laura
Ajello
Date: 2019.05.15
12:56:58 -07'00'

cc: Jennifer Rakowski- Rent Board Supervisor

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

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Regarding the records provided, please note that the data in the "# of units" field was imported from another department's database in 2002 and may not be accurate. It does not represent a determination by the Rent Board of the number of units at the property.

Signed:



Dated:

5-15-19

Van Lam
Citizens Complaint Officer

5/15/2019

<input type="checkbox"/> Non-payment of Rent	<input type="checkbox"/> Unapproved Subtenant	<input type="checkbox"/> Lead Remediation
<input type="checkbox"/> Habitual Late Payment of Rent	<input type="checkbox"/> Owner Move In	<input type="checkbox"/> Development Agreement
<input type="checkbox"/> Breach of Lease Agreement	<input type="checkbox"/> Condo Conversion	<input type="checkbox"/> Good Samaritan Tenancy Ends
<input type="checkbox"/> Nuisance	<input type="checkbox"/> Demolition	<input type="checkbox"/> Roommate Living in Same Unit
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<input type="checkbox"/> Failure to Sign Lease Renewal	<input type="checkbox"/> Substantial Rehabilitation	
<input type="checkbox"/> Denial of Access to Unit	<input type="checkbox"/> Ellis Act Withdrawal	<input type="checkbox"/> Severance of Housing Service

[illegible]

5/15/2019

[illegible]

5/15/2019

<input type="checkbox"/> Non-payment of Rent	<input type="checkbox"/> Unapproved Subtenant	<input type="checkbox"/> Lead Remediation
<input type="checkbox"/> Habitual Late Payment of Rent	<input type="checkbox"/> Owner Move In	<input type="checkbox"/> Development Agreement
<input type="checkbox"/> Breach of Lease Agreement	<input type="checkbox"/> Condo Conversion	<input type="checkbox"/> Good Samaritan Tenancy Ends
<input type="checkbox"/> Nuisance	<input type="checkbox"/> Demolition	<input type="checkbox"/> Roommate Living in Same Unit
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<input type="checkbox"/> Failure to Sign Lease Renewal	<input type="checkbox"/> Substantial Rehabilitation	
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[illegible]

5/15/2019

[illegible]



**Residential Rent Stabilization and Arbitration Board
City & County Of San Francisco**

Action Log

***Petition # N001-42E
247 17th Avenue***

Date	Action	By
1/25/10	Historical Data (entered 1/25/2010) - Eviction Documents Sent: (8) Owner-Occ 0615d, 0631d, 0632d, 0621d	SFRB Staff