



# SAN FRANCISCO PLANNING DEPARTMENT

---

## Discretionary Review Abbreviated Analysis

HEARING DATE: JANUARY 21, 2016

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

*Date:* January 11, 2016  
*Case No.:* **2015-003768DRP**  
*Project Address:* **2462 Filbert Street**  
*Permit Application:* 2015.03.25.1848  
*Zoning:* RH-1 (Residential House, One-Family)  
40-X Height and Bulk District  
*Block/Lot:* 0513/009B  
*Project Sponsor:* Federico Engel  
Butler Armsden Architects  
First Floor, 1420 Sutter Street  
San Francisco, CA 94109  
*Staff Contact:* Brittany Bendix – (415) 575-9114  
brittany.bendix@sfgov.org  
*Recommendation:* **Do not take DR and approve as proposed**

### PROJECT DESCRIPTION

The existing 32-foot tall building is a single family dwelling situated on a down-sloping lot with three stories at the front of the property and four stories at the rear. The proposal includes a three-story horizontal addition at the rear, interior alterations and an elevator penthouse. The proposed open 19-foot tall rear exterior staircase on the eastern portion of the lot will extend 7 feet into the required rear yard and requires a variance from Planning Code Section 134. The variance case, 2015-003768VAR, was heard by the Zoning Administrator on July 22, 2015, and the Zoning Administrator has indicated his intention to grant the rear yard variance. The proposed interior alterations accommodate programming for new habitable space, in addition to an expansion of the existing elevator shaft. The proposed elevator will now be able to access the basement and rooftop levels. The top of the elevator penthouse is set back 37 feet from the front building wall, is limited to the size of the elevator cab, and will have a height of 9 feet above the existing finished roof. The total height above curb at the location of the elevator penthouse will be 41 feet, where the Planning Code would otherwise allow up to 51 feet – there is a 35 foot height limit, but elevator penthouses may be exempt for an additional 16 feet.

### SITE DESCRIPTION AND PRESENT USE

The project site is located on the north side of Filbert Street between Scott and Pierce Streets in the Cow Hollow neighborhood. The lot is approximately 3,635 square feet and slopes downward from the front of the property. At the front façade, the subject building is 32 feet tall and set back 20 feet from the front property line. The subject property is a standard width of 25 feet, but varies in regard to lot depth. The western portion of the lot is 11.25 feet wide with a depth of 155 feet, and the eastern portion of the lot is 13.75 feet wide with a depth of 137.5. The property is developed with a four-story single family dwelling constructed circa 1923.



## SURROUNDING PROPERTIES AND NEIGHBORHOOD

This portion of the Cow Hollow neighborhood is characterized by three- to four-story single family homes, as well as multi-family flats and apartments. Given the down-sloping topography across Filbert Street, buildings on the north side of Filbert Street generally have a three-story building mass at the front façade and a four-story building mass at the rear. Buildings on the south side of Filbert Street generally have a four-story massing at the front, which then becomes smaller as it follows the upward sloping terrain. An exception to this characterization is the five-story four-unit apartment building, directly across from the subject property at 2465 Filbert Street. The DR Requestor is the eastern neighbor of this property at 2453 Filbert Street. Directly behind, and downhill from, the subject property is the North End Police Station and a four-story 15-unit apartment building. Finally, with regard to penthouses, two buildings on the north side of Filbert Street, including the immediate neighbor at 2468 Filbert Street, have fourth story additions at the rear of their buildings.

## BUILDING PERMIT NOTIFICATION

| TYPE       | REQUIRED PERIOD | NOTIFICATION DATES                  | DR FILE DATE      | DR HEARING DATE  | FILING TO HEARING TIME |
|------------|-----------------|-------------------------------------|-------------------|------------------|------------------------|
| 311 Notice | 30 days         | August 10, 2015 – September 9, 2015 | September 9, 2015 | January 21, 2016 | 134 days               |

## HEARING NOTIFICATION

| TYPE          | REQUIRED PERIOD | REQUIRED NOTICE DATE | ACTUAL NOTICE DATE | ACTUAL PERIOD |
|---------------|-----------------|----------------------|--------------------|---------------|
| Posted Notice | 10 days         | January 11, 2016     | January 11, 2016   | 10 days       |
| Mailed Notice | 10 days         | January 11, 2016     | January 11, 2016   | 10 days       |

## PUBLIC COMMENT

|  | SUPPORT | OPPOSED                    | NO POSITION |
|--|---------|----------------------------|-------------|
| Adjacent neighbor(s)                                       | --      | 1                          | --          |
| Other neighbors on the block or directly across the street | --      | 1 (DR Requestor) + 3       | --          |
| Neighborhood groups  | --      | 1 (Cow Hollow Association) | --          |

No other neighborhood comments have been received regarding this project.

## DR REQUESTOR

Stephanie and Paul Riehle, residents and owners of 2453 Filbert Street, the three-story above garage, single family dwelling located uphill and southeast of the subject property.



## DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Application*, dated September 9, 2015.

## PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*, dated December 30, 2015.

## ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

## RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Team considered the DR Application on September 30, 2015, and determined that the proposed project is not exceptional or extraordinary. Specifically, the elevator penthouse is minimal in size to allow access to the roof deck and is set back from the rear and front facades and away from any adjacent lightwells. Additionally, it was noted that the adjacent building to the west features a large penthouse structure containing habitable space.

**Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.**

|                        |   |
|------------------------|---|
| <b>RECOMMENDATION:</b> | <b>Do not take DR and approve project as proposed</b> |
|------------------------|---|

### Attachments:

Block Book Map  
Sanborn Map  
Zoning Map  
Aerial Photographs  
Context Photographs  
Section 311 Notice  
DR Application  
Cow Hollow Association Letter  
Response to DR Application dated December 30, 2015  
Reduced Plans

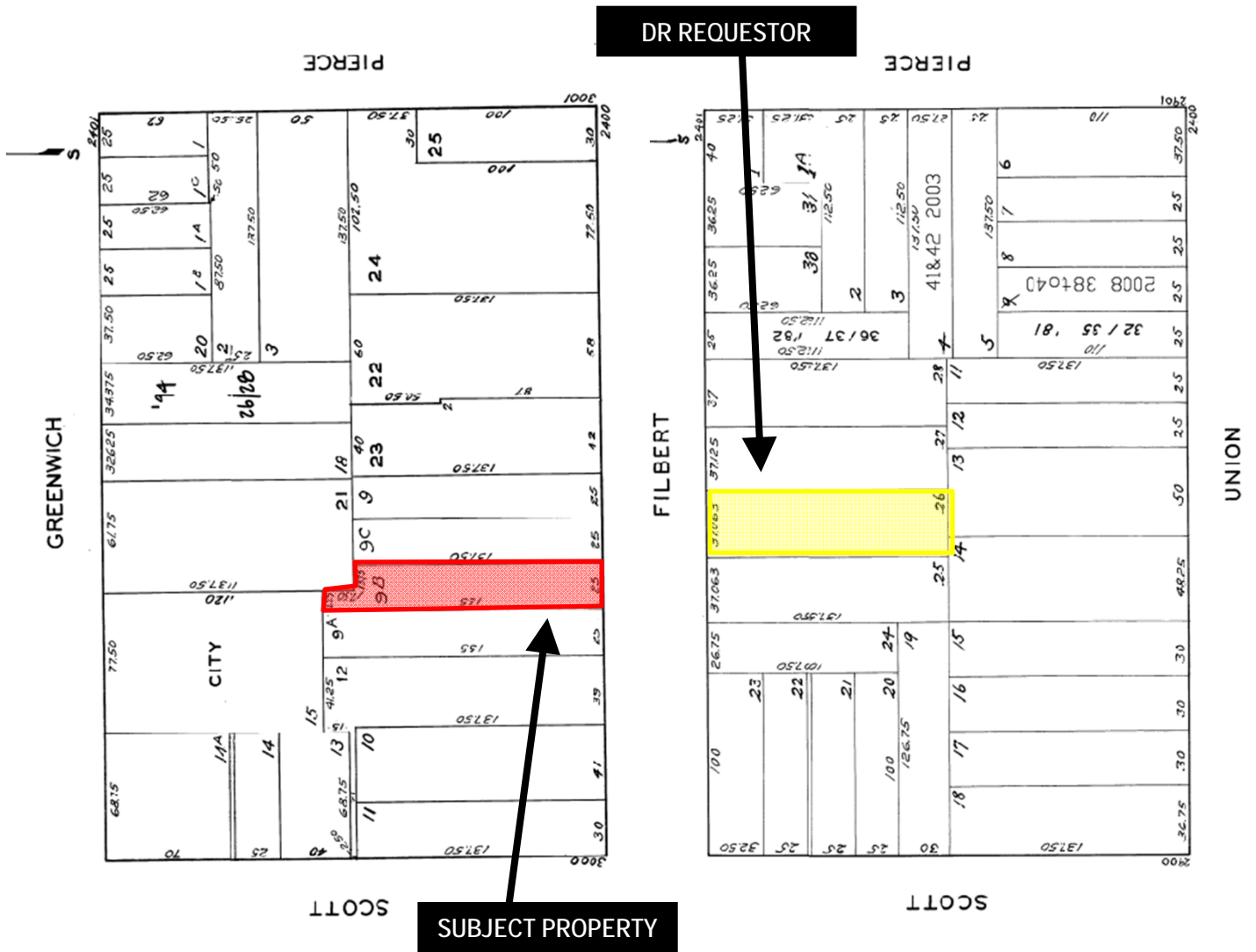
BB: G:\DOCUMENTS\Building Permits\2462 Filbert Street\DR - Abbreviated Analysis.doc







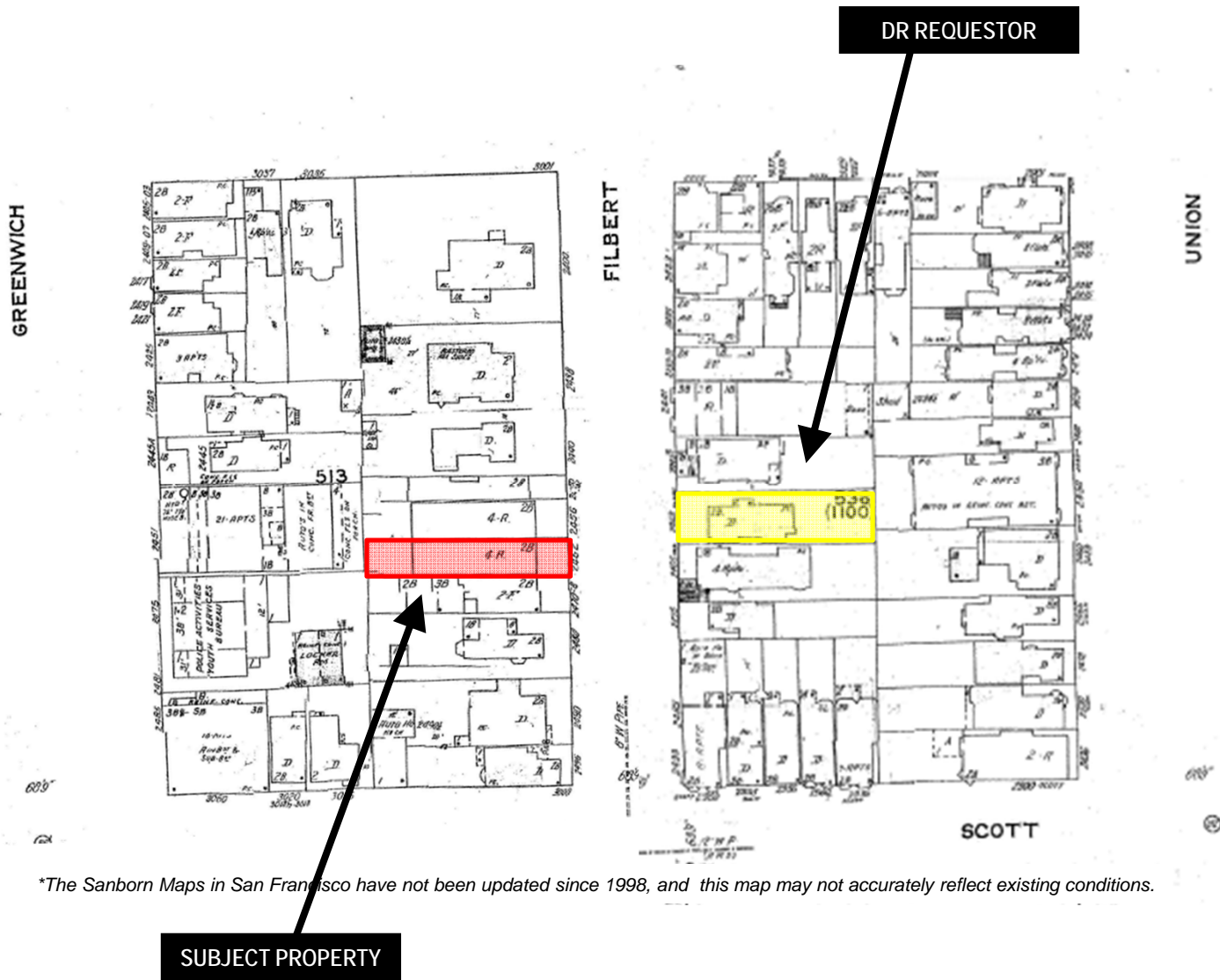
# Parcel Map



Discretionary Review Hearing  
Case Number 2015-003768DRP  
2462 Filbert Street



# Sanborn Map\*



\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

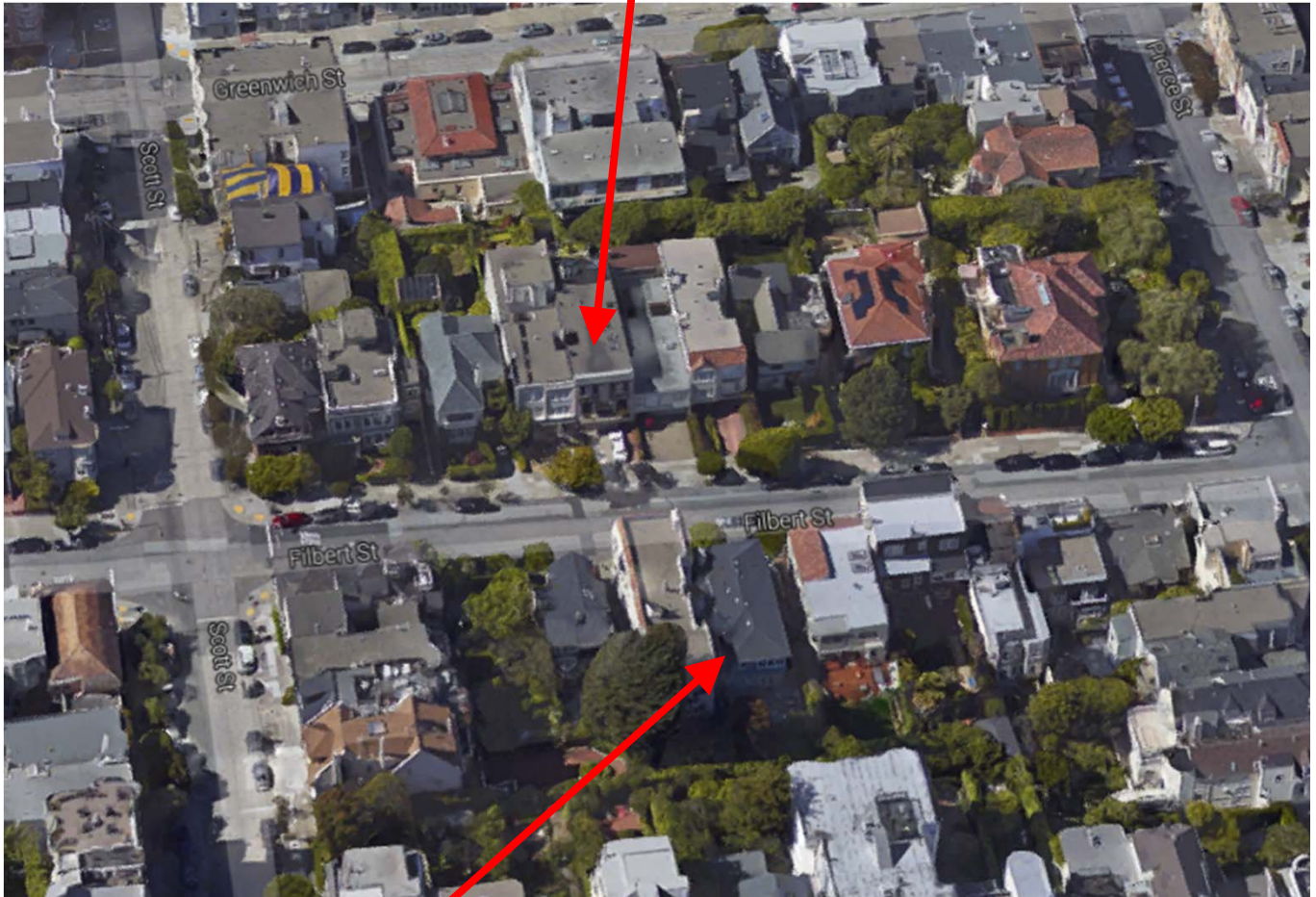


Discretionary Review Hearing  
Case Number 2015-003768DRP  
2462 Filbert Street



# Aerial Photo (Facing North)

SUBJECT PROPERTY



DR REQUESTOR



Discretionary Review Hearing  
Case Number 2015-003768DRP  
2462 Filbert Street



# Aerial Photo (Facing West)

SUBJECT PROPERTY



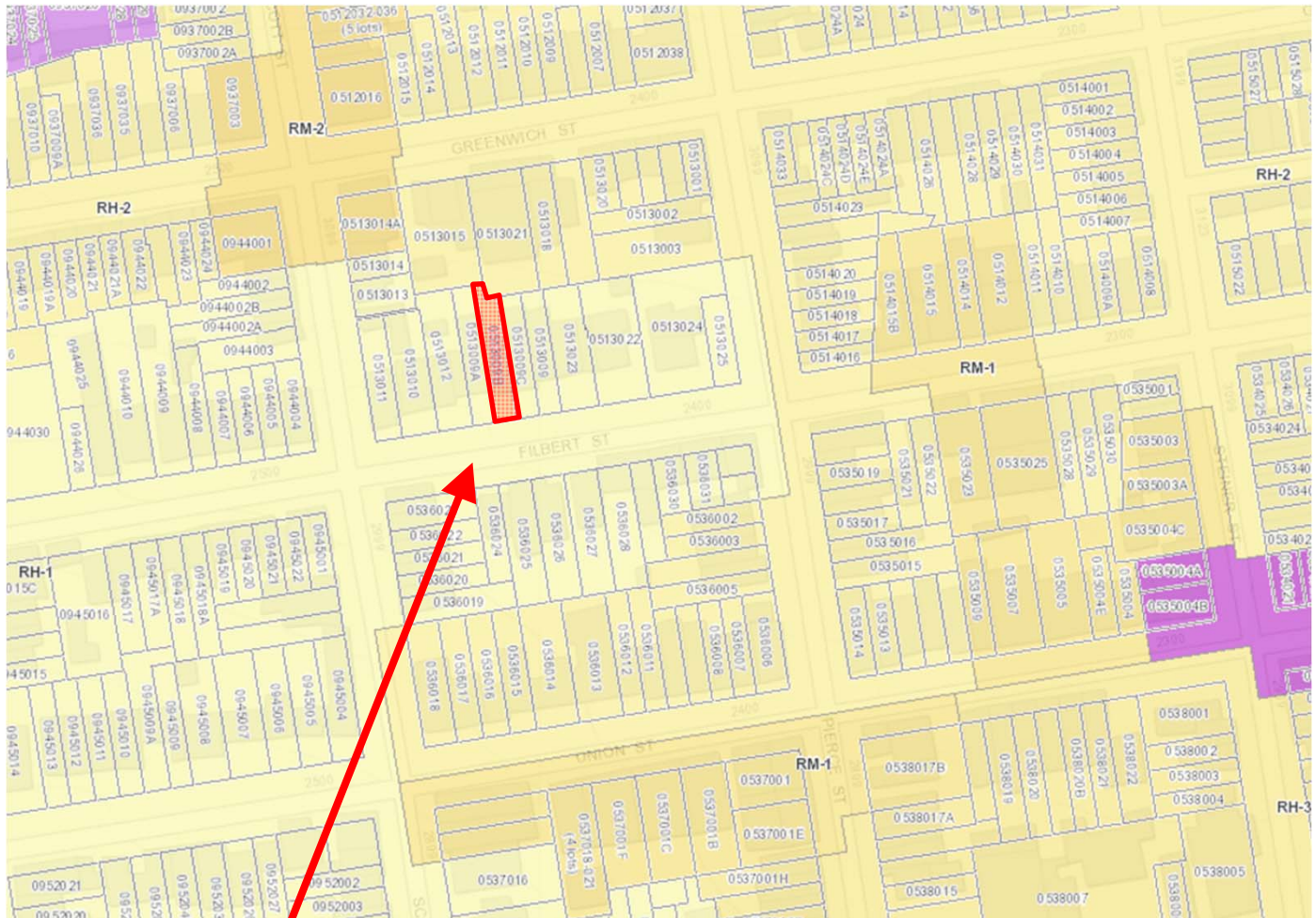
DR REQUESTOR



Discretionary Review Hearing  
Case Number 2015-003768DRP  
2462 Filbert Street



# Zoning Map



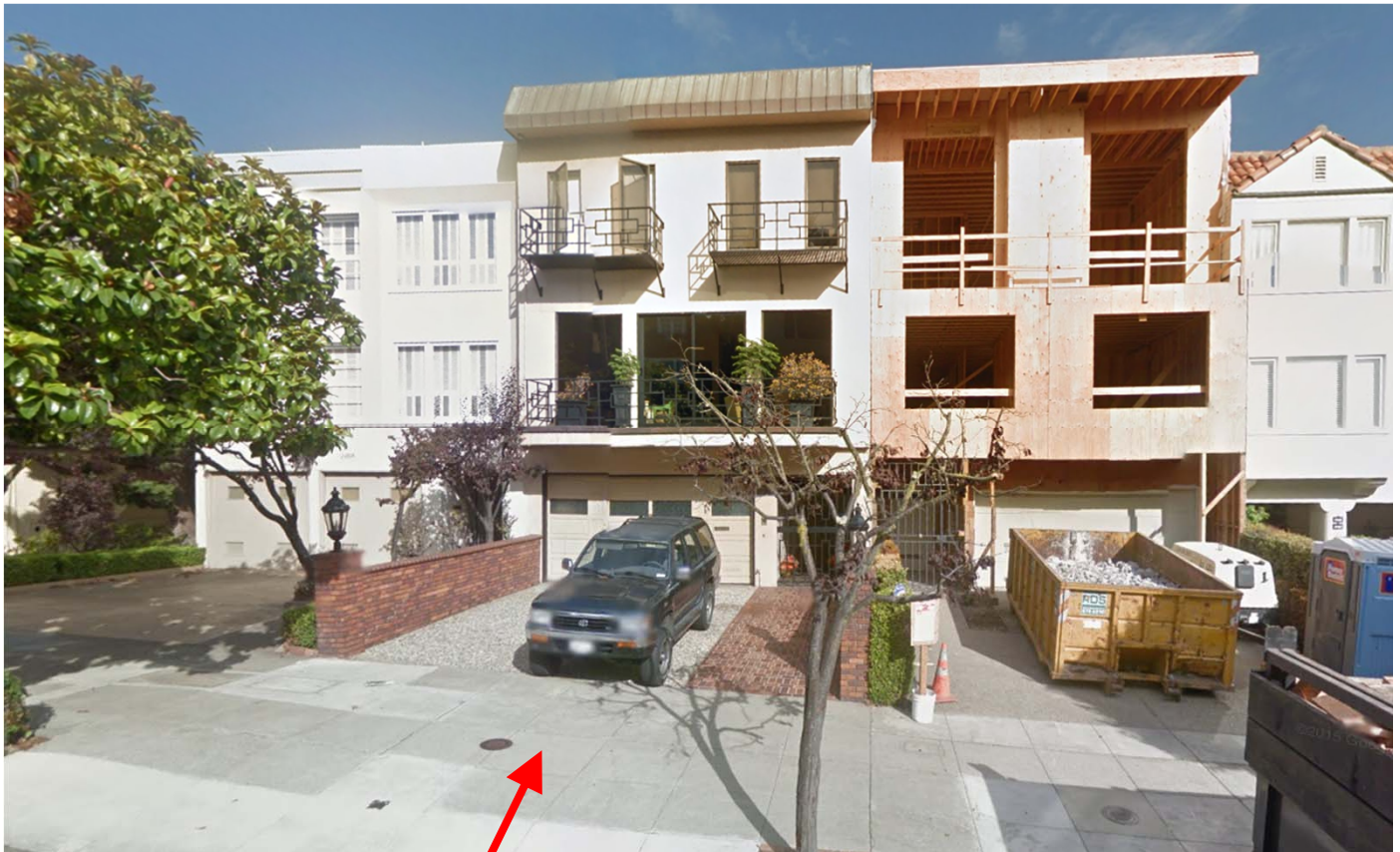
**SUBJECT PROPERTY**



Discretionary Review Hearing  
Case Number 2015-003768DRP  
2462 Filbert Street



# Site Photo



SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2015-003768DRP  
2462 Filbert Street





# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

## NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **March 25, 2015**, the Applicant named below filed Building Permit Application No. **2015.03.25.1848** with the City and County of San Francisco.

| PROPERTY INFORMATION |                                 | APPLICANT INFORMATION |                                     |
|----------------------|---------------------------------|-----------------------|-------------------------------------|
| Project Address:     | <b>2462 Filbert Street</b>      | Applicant:            | <b>Federico Engel</b>               |
| Cross Street(s):     | <b>Scott and Pierce Streets</b> | Address:              | <b>1420 Sutter St., First Floor</b> |
| Block/Lot No.:       | <b>0513/009B</b>                | City, State:          | <b>San Francisco, CA 94109</b>      |
| Zoning District(s):  | <b>RH-1/40-X</b>                | Telephone:            | <b>(415) 674-5554</b>               |

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

| PROJECT SCOPE  |   |   |
|--|---|---|
| <input type="checkbox"/> Demolition  | <input type="checkbox"/> New Construction     | <input checked="" type="checkbox"/> Alteration        |
| <input type="checkbox"/> Change of Use   | <input type="checkbox"/> Façade Alteration(s) | <input type="checkbox"/> Front Addition               |
| <input checked="" type="checkbox"/> Rear Addition  | <input type="checkbox"/> Side Addition        | <input checked="" type="checkbox"/> Vertical Addition |
| PROJECT FEATURES   | EXISTING                                      | PROPOSED  |
| Building Use   | Residential                                   | No Change   |
| Front Setback  | 20 feet                                       | No Change   |
| Side Setbacks  | None  | No Change   |
| Building Depth (deepest portion)   | 78.5 feet                                     | 96 feet   |
| Rear Yard (western portion)  | 56.5 feet                                     | 39 feet   |
| Rear Yard (eastern portion)  | 39 feet                                       | 34.5 feet   |
| Building Height  | 32 feet                                       | No Change   |
| Number of Stories  | 4   | No Change   |
| Number of Dwelling Units   | 1   | No Change   |
| Number of Parking Spaces   | 1   | No Change   |
| PROJECT DESCRIPTION  |   |   |
| <p>The proposal includes a rear three-story addition, interior alterations, and the addition of a rooftop elevator penthouse. The open 19-foot tall rear exterior staircase on the eastern portion of the lot will extend 7 feet into the required rear yard area and requires a variance from Planning Code Section 134. The variance case, 2015-003768VAR, is currently scheduled to be heard on July 22, 2015.</p> <p>The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.</p> |   |   |

**For more information, please contact Planning Department staff:**

Planner: Brittany Bendix  
Telephone: (415) 575-9114  
E-mail: [brittany.bendix@sfgov.org](mailto:brittany.bendix@sfgov.org)

**Notice Date: 8/10/2015**

**Expiration Date: 9/09/2015**

**中文詢問請電: (415) 575-9010**

**Para información en Español llamar al: (415) 575-9010**



# GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at [www.communityboards.org](http://www.communityboards.org) for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at [www.sfplanning.org](http://www.sfplanning.org). You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at [www.sfplanning.org](http://www.sfplanning.org). If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

**Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

## BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

## ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at [www.sfplanning.org](http://www.sfplanning.org). An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



COPY

Application for **Discretionary Review**

CASE NUMBER:  
For Staff Use only

RECEIVED

SEP 09 2015

CITY & COUNTY OF S.F.  
PLANNING DEPARTMENT  
100

APPLICATION FOR

**Discretionary Review**

1. Owner/Applicant Information

DR APPLICANT'S NAME:

STEPHANIE & PAUL RIEHLE

DR APPLICANT'S ADDRESS:

2453 FILBERT STREET

ZIP CODE:

94123

TELEPHONE:

(415) 244-2643

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME:

DOUGLAS & RAYMONDE KRANLICH

ADDRESS:

2462 FILBERT STREET

ZIP CODE:

94123

TELEPHONE:

(415) 794-8504

CONTACT FOR DR APPLICATION

Same as Above ☒

FEDRICO ENGEL (415) 674-5554

ADDRESS:

2462 FILBERT STREET

ZIP CODE:

94123

TELEPHONE:

(415) 794-8504

E-MAIL ADDRESS:

raymonde@kranlich.com

2. Location and Classification

STREET ADDRESS OF PROJECT:

2462 FILBERT STREET

ZIP CODE:

94123

CROSS STREETS:

Scott & Pierce STREETS

ASSESSORS BLOCK/LOT:

0513 / 0093

LOT DIMENSIONS:

LOT AREA (SQ FT):

ZONING DISTRICT:

RH-1/40-X

HEIGHT/BULK DISTRICT:

RH-1, RH-2

3. Project Description

Please check all that apply

Change of Use ☐

Change of Hours ☐

New Construction ☒

Alterations ☒

Demolition ☐

Other ☒

ELEVATOR  
BOX

Additions to Building:

Rear ☒

Front ☐

Height ☒

Side Yard ☐

Present or Previous Use:

RESIDENTIAL

Proposed Use:

RESIDENTIAL

Building Permit Application No.

2015.03.25.1848

Date Filed:

March 25, 2015

COPY



#### 4. Actions Prior to a Discretionary Review Request

| Prior Action  | YES                                 | NO                       |
|---|-------------------------------------|--------------------------|
| Have you discussed this project with the permit applicant?                      | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Did you discuss the project with the Planning Department permit review planner? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Did you participate in outside mediation on this case?                          | <input type="checkbox"/> X          | <input type="checkbox"/> |

Prelim  
Meeting

APPLIED ASKED FOR MEDIATION  
NO RESPONSE AS OF  
THIS FILING

#### 5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

N/A

2015.03.25.1848



## Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

SEE ATTACHED Exhibit 1

CHA Zoning Committee Elevator and Stairway  
Penthouse Guidelines Exhibit 2

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

SEE ATTACHED Exhibit 3

neighbor letters Exhibit 4

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

SEE ATTACHED Exhibit 5

Photos Exhibit 6

Labels

2015.03.25.1848



## Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: \_\_\_\_\_

*Stephanie*

Date: \_\_\_\_\_

*9/8/15*

Print name, and indicate whether owner, or authorized agent:

*Stephanie & Paul Riehle*

Owner Authorized Agent (circle one)

☒

*Paul R*

*2015.03.25.1848*



# Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

| REQUIRED MATERIALS (please check correct column)  | DR APPLICATION                      |
|---|-------------------------------------|
| Application, with all blanks completed  | <input checked="" type="checkbox"/> |
| Address labels (original), if applicable  | <input checked="" type="checkbox"/> |
| Address labels (copy of the above), if applicable   | <input checked="" type="checkbox"/> |
| Photocopy of this completed application   | <input checked="" type="checkbox"/> |
| Photographs that illustrate your concerns   | <input checked="" type="checkbox"/> |
| Covenant or Deed Restrictions   | <input checked="" type="checkbox"/> |
| Check payable to Planning Dept.   | <input checked="" type="checkbox"/> |
| Letter of authorization for agent   | <input type="checkbox"/>            |
| Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors) | <input checked="" type="checkbox"/> |

## NOTES:

☐ Required Material.

☒ Optional Material.

☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only

Application received by Planning Department:

By: \_\_\_\_\_

Date: \_\_\_\_\_

2015.03.25.1848



# 1. Reasons for Requesting Discretionary Review: Exhibit No. 1

The property owners of 2462 Filbert Street, Douglas and Raymonde Kramlich ("Applicant"), through their architect, Louis Butler of Butler Armsden Architects, are proposing to add an elevator penthouse roof box to the structure. The Cow Hollow Association Zoning Committee Elevator and Stairway Penthouse guidelines, updated in April 2015 (Exhibit 2), share the concern stated by the Department of Building Inspection in Administrative Bulletin No. AB-057 that the installation of roof penthouses throughout the City is an issue of serious concern to the public and the Planning Department, including because such penthouses may expand structures to larger than may be compatible with surrounding structures.

The Cow Hollow Neighborhood Design Guidelines were adopted by the Planning Commission in 2001 to assist in determining whether the renovation or expansion of an existing building is visually and physically compatible with the neighborhood character. The guidelines state that, in addition to the perception of roofs from street level, in Cow Hollow -- where steep slopes expose the design and appearance of the roof of buildings -- the roofline refers to the perception of roofs from seen by neighbors and higher elevations. "At the residential level (RH-1, RH-2) the need for large mechanical roof-top equipment is rarely necessary." The guidelines conclude that to provide roof-top access for a roof deck, alternative means such as open stairs, open stair lifts, or open elevator lifts are available. "These systems are currently in use in Cow Hollow and do not require unsightly roof-top housing."

Applicant's virtually identical application for a roof-top elevator penthouse box was denied 10 years ago. The neighbors of Cow Hollow respectfully ask that a the roof-top elevator penthouse box again be denied and an alternative means of access, in addition to what currently can be used on the property to access the roof deck, be included in the rear addition being proposed under this permit application.

2015.03.25.1848



## **CHA Zoning Committee Elevator and Stairway Penthouse (Housing) Guideline – April 2015**

The Cow Hollow Association (CHA) has seen a rise in building permit applications that incorporate Elevator and Stairway Penthouses (Housings) with potential negative impacts. The **Department of Building Inspection** in their July 19, 2004, Administrative Bulletin NO. AB-057 entitled "Local Equivalency for Approval of Roof Hatches in Lieu of Stairway Penthouses in Designated Buildings," presented serious concerns for the construction of penthouses to access roofs. Under DISCUSSION it states: "The installation of roof penthouses throughout the City is an issue of serious concern to the public and the Planning Department inasmuch as such penthouses may expand structures to larger than may be compatible with surrounding structures and may block sunlight and views."

The CHA shares these concerns and provides the following **Elevator and Stairway Penthouse (Housing) Guideline** for new construction and alterations in our neighborhood.

The Planning and Building Codes establish basic limitations on the size of a building. A building built out to the legal limits established for height and setbacks and rear yards may, however, result in a building which is not compatible with the character of its neighborhood. To address this problem, Section 311 of the Planning Code establishes procedures for review of building permit applications in Residential Districts in order to determine compatibility of the proposal with the neighborhood.

The **Cow Hollow Neighborhood Design Guidelines** (CHNDG) were adopted by the Planning Commission in 2001 to assist in determining whether the renovation or expansion of an existing building...is visually and physically compatible with the neighborhood character of Cow Hollow. Under **2. BUILDING ENVELOPE, A. Roofline** (Adopted Section: pgs. 36-37), it states:

The roofline refers to the profile of the building against the sky. In the case of Cow Hollow, where steep slopes expose the design, and appearance of the roof of buildings downhill, roofline also refers to the perception of roofs as seen from higher elevations.

### **Respect Roofline Patterns**

In general, a strong repetition of consistent rooflines calls for similar design for new construction and alteration.

As important as the pattern of rooflines seen from the street level, is the perception of the roofs of buildings as seen from higher places. A flat roof, the choice of bright and reflective roof materials, the random placement of skylights, the construction of **elevator and stair penthouses**, or the design of a bulky roof, can greatly affect the neighborhood character as perceived from higher locations within the neighborhood.

To clarify, the **Cow Hollow Neighborhood Policy** (Appendix) states: **The overriding policy established in these Cow Hollow Neighborhood Design Guidelines is a 35 foot height for RH-1(D), RH-1 and RH-2.**

Height policies include lower heights for some lot configurations, where appropriate to help preserve neighborhood views, and access to light and air.

At the residential level (RH-1, RH-2 Districts), the need for large mechanical roof-top equipment is rarely necessary. Most all present-day residential elevators are hydraulic driven with equipment at the ground or basement level. To provide roof-top access for a roof deck, alternative means such as open stairs, open stair-lifts, or open elevator lifts are available. These systems are currently in use in Cow Hollow and do not require unsightly roof-top housing.



# 2. Unreasonable Impact and Adverse Affect to Neighborhood: Exhibit No. 3

\* Please see Exhibit No. 4, Neighbor/Management Co. Letters

Ruel Baker

Norman Hall (Chandler Properties)

Richard Oppenheimer

Linda Dalton

Neil Smith

Joseph Niehaus

\* As reflected in the Cow Hollow Association's updated guidelines, elevator penthouse boxes do not fit the character of the Cow Hollow Neighborhood. Please see Exhibit No. 2, Cow Hollow Association Zoning Committee Elevator and Stairway Penthouse guidelines, updated April 2015.

\* The addition of a penthouse roof box to 2462 Filbert Street in San Francisco will affect all neighbors within a 2-block vicinity.

\* All neighbors on the South side of the street have their main living areas of their homes facing the proposed penthouse roof box. Applicant's living area is on the opposite side of the house facing North and to the Bay view. Also prominently impacted are neighbors on the South side of the block of Filbert Street who are on the slight uphill looking directly at the applicant's top floor and roof area. Please note the plans Butler Armsden Architects have produced have incorrectly label the Applicant's existing and proposed elevations as "South." In fact, they are North-facing elevations.

\* Neighbors primarily affected by the proposed additional box:

- Ruel Baker, who has two rental units directly across the street that just finished being remodeled and are on the rental market. He is elderly, in assisted care and relies on the attractiveness of these units for his livelihood.
- Stephanie and Paul Riehle (Discretionary Review Applicants)
- John and Rich Lacampagne

2015.03.25.1848



- Richard Oppenhiemer and Linda Dalton
- Nick Fox and Maria Shim
- Minette Lehmann
- Neil and Gina Smith
- Charles Uehrke
- Joseph and Karen Niehaus (owners of 2456 Filbert who will look at the side of the "box placed right on the common property line)
- John Schrader and Nyra Krystovich (2456 owners)

\* Neighbors Secondarily impacted looking down on roof box:

- Jeanne Pellegrini
- Larry and Linda Goodman
- Elio Minucciani
- Lydia Hansen

Peter Solari

- Larry Kaufman
- Noyes Family
- Borgonovo Family
- John Scully
- Robert and Jenny Theleen
- Jason and Rachel Gailes

\* The general public will be impacted by the box as it will be seen from Filbert Street and pedestrians walking from East to West. The box is close to the street side of the applicant's house, which makes the obstruction of a mechanical structure even more evident.

\* Applicant sought the same structural in June 1994. That application which was denied by the San Francisco Planning Department. Except for the Cow Hollow Zoning

2015.03.25.1848



Committee guidelines against such structures, the circumstances of the elevator penthouse box have not changed since then.

- \* There is currently a furnished roof deck with access at the Applicant's property. The surrounding neighbors are in agreement that in the past 10 plus years no one has seen a single person using the roof deck.

- \* There are currently 3 additional furnished living areas decks off each level of the North side of the Applicant's property of which a variance was recently granted to expand.

- \* Applicant's architect has argued that Douglas and Raymonde Kramlich are elderly and have a "caregiver." In fact, both are in good health and simply have a housekeeper who comes to the home once per week to clean. It is neither reasonable nor necessary to have an elevator for health reasons.

2015.03.25, 1048



Richard Oppenheimer  
2475 Filbert Street  
San Francisco, CA 94123  
(415) 474- 2003  
dickoppenheimer@me.com

August 20, 2015

Brittany Bendix, Planner  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, California 94103

Re: Proposed Elevator Penthouse Structure at 2462 Filbert Street (Kramlich)

Dear Ms. Bendix:

In May of this year, I attended a neighborhood meeting to review architectural plans for a proposed remodel of Douglas and Raymonde Kramlich's home at 2462 Filbert St. San Francisco. The plans also included an elevator penthouse on the roof of their home which I and many other neighbors strongly object to. There is a Variance application (Case 2015-003768VAR) and a related Building Permit Application (#2015.03.25.1848). At that meeting neighbors also discussed alternative ways to gain access to the Kramlich's roof deck. Since that meeting the Kramlich's architect, Lewis Butler, has made no effort to discuss any alternatives with me or other neighbors which he said he would do. Instead he simply went forward with his original plans.

About 10 years ago, the Kramlich's proposed a similar structure which the Planning Department did not authorize. It was my understanding that the reason the project was not authorized was the planning department felt an elevator penthouse structure did not fit the architectural character of the neighborhood. Nothing has changed and an elevator penthouse doesn't fit with the architectural character of the neighborhood.

I purchased my house at 2475 Filbert St. in 1991 and have not seen any of the neighbors build elevator penthouse structures to gain access to their roof decks.

There are other methods of accessing roof decks such as stair chairs, open lifts and stairs. These are the methods currently used by most Cow Hollow residents. The addition of an elevator penthouse is not necessary for rooftop access and affects light and air of the neighborhood.

In the 24 years I've lived in my house, I can recall seeing Kramlich's only one time on the roof deck which has a seating area with chairs and tables and I look upon their roof many times a day. Living in Cow Hollow, it is almost impossible to use a roof deck due to the prevailing cool, foggy, windy weather which makes the use of roof decks very uncomfortable.

It is my understanding that the Cow Hollow Association is NOT in favor of rooftop elevator enclosures for many of the same reasons I've already listed.

I want to express my strong objection, along with our neighbors, to the Kramlich's proposed

2015.03.25.1848



elevator penthouse structure on their roof as it imposes an unsightly and unnecessary addition to the roof lines of the neighborhood.

Best regards,

Richard Oppenheimer

2015.03.25. 1848



Linda Dalton  
2475 Filbert Street  
San Francisco, CA 94123  
(415) 505-1365

August 20, 2015

Brittany Bendix, Planner  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, California 94103

Re: Proposed Elevator Penthouse Structure 2462 Filbert St. (Kramlich)

Dear Ms. Bendix:

Douglas and Raymonde Kramlich who reside at 2462 Filbert St. San Francisco have applied for a building permit (Building Permit Application #2015.03.25.1848) which includes a proposed elevator penthouse on the roof of their house. Ten years ago they proposed a similar structure and were denied due to strong neighborhood objections. I along with many of the current neighbors continue to have strong objections to the penthouse.

I object to the proposed elevator penthouse since such a structure is unnecessary, unsightly, and out of character for the Cow Hollow Neighborhood. Given the cold, windy and foggy weather in our part of San Francisco rooftop access is rarely, if ever, needed. In the 6 years I've lived at 2475 Filbert Street I've never once seen anyone access the Kramlich's roof deck and I see their deck from the living areas of 2475 Filbert. The elevator penthouse will also be visible from the street and from living areas of many neighbors on the south side of the street.

There are viable alternatives to this intrusive penthouse structure including an interior stairway with the potential to add a chair lift that would provide convenient access for Mr. & Mrs. Kramlich. The adjoining property (2456 Filbert) directly east of the Kramlich property will be undergoing construction of an additional story and roof deck with an interior staircase to be built that will provide easy access to the roof deck.

This past May Mr. & Mrs. Kramlich and their architect, Lewis Butler, held a neighborhood meeting to review their architectural plans and at that time several neighbors presented alternatives to the elevator penthouse. Mr. Butler said he would follow up but has not contacted any of the neighbors to discuss possible alternatives. Instead he has filed his original plans with no changes.

The Cow Hollow Association also objects to the construction of rooftop penthouses and are in the process of drafting new guidelines and alternatives.

I strongly urge you to direct the Kramlicks to forgo building the elevator penthouse and access their roof deck with one of the alternatives available to them.

Best regards,

Linda Dalton

2015.03.25.1848



6

Planning Dept (cont'd)

9/4/15

I do feel it would be an eyesore to me, tenants, neighbors & those passing on the street. It would negatively impact the value of my home & rents which I am very dependent upon.

A request for the same (elevator box - penthouse) <sup>on</sup> ~~at~~ the roof) was turned down by the Planning Department ten years ago.

There is currently a roof deck, with access, it was approved by

the Planning Department ten years ago.

2015.03.25.1848



Planning Department (cont'd)

9/4/65

Since the installation of the  
 roof deck (ten years ago) I have never  
 seen a person using the deck, including  
 the Kramlich children. I greatly  
 object to any further installation of  
 the roof deck or the installation of  
 a roof elevator box (penthouse).

Very Sincerely

Paul L. Kramlich

2015.03.25.1848





Since 1979

## CHANDLER PROPERTIES

9/5/2015

Brittany Bendix, Planner  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, Ca 94103


Subject: Concern about decreased rental value at 2465 Filbert Street due to elevator parapet at 2462 Filbert Street

Chandler Properties manages the apartment building located at 2465 Filbert and the owner has just invested over \$200,000 to upgrade and remodel the 2 top floor apartments and we are very concerned that if the planning department allows the owner at 2462 Filbert Street to install the boxy elevator parapet it will decrease the rental value of these two units and thus decrease the value of his property.

We strongly request that you deny the requested variance that would allow the elevator to be installed. There are internal stair assist options that could be employed that would not impact the property values of this apartment as well as that of our neighbors.

Thank you for your consideration on our concern.

Sincerely,

  
Norman Hall  
Property Manager  
Chandler Properties

2015.03.25.1848

Property Management

2799 California Street San Francisco, California 94115 Tel 415.921.5733 Fax 415.921.0841

[www.chandlerproperties.com](http://www.chandlerproperties.com)



Joseph M. Niehaus  
2456 Filbert Street  
San Francisco, CA 94123

(415) 955-9019

[jniehaus@housatonicpartners.com](mailto:jniehaus@housatonicpartners.com)

September 8, 2015

Brittany Bendix, Planner  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

Re: Proposed Elevator Rooftop Box at 2462 Filbert St. (Kramlich) Permit  
Application No. 2015.03.25.1848

Dear Ms. Bendix,

I write in opposition to the proposed elevator rooftop box at 2462 Filbert Street. I am an owner of the adjacent property to the East at 2456 Filbert Street, which is currently under construction.

At 2456 Filbert Street, we also wanted rooftop access. Out of consideration for the neighbors who look directly at the roof, we are using an elevator to the top floor of the house and an interior staircase to the roof wide enough to incorporate a lift should someone later in life physically be unable to access the roof deck by walking. This same solution should be used at 2462 Filbert Street, giving rooftop access without an unaesthetic rooftop box.

Thank you for your consideration.

Sincerely,



Joseph Niehaus

2015.03.25.1848



# 3. Alternatives or Changes in Response to Adverse Affects: Exhibit 5

\* Applicant has recently been awarded a Variance by the Planning Department to extend the back of the structure and add an exterior staircase to the roof deck.

\* With the expansion of the North side of the house, an interior staircase could be utilized to accommodate access to the roof deck.

\* Should health issues arise with a desire to access the roof, an interior staircase lift could easily be added in the future. (See Exhibit photo of interior stairs).

\* New construction in Cow Hollow, including the property next door to Applicant, has set a precedent for interior roof access open to the environment in respect and consideration of all neighbors.

\* The new construction currently underway at 2456 Filbert Street shares a common property line with the Applicant's structure. The developers have incorporated a roof deck with interior access wide enough to accommodate a stair lift should one be needed. This was designed with consultation and consideration of all neighbors.

\* The Cow Hollow Neighborhood Association has updated its guidelines to state that elevator penthouses boxes are not necessary, particularly in light of more modern solutions available. "These systems are currently in use in Cow Hollow and do not require unsightly roof-top housing." Such boxes also do not fit the character of the Cow Hollow neighborhood.

\* The neighbors did not oppose Applicant's request for a Variance for the rear vertical addition and alteration to the subject property, which makes the addition of an interior staircase even more viable.

2015.03.25.1848





-View From 2443 Filbert

NEW CONSTRUCTION  
WEST DOOR

2015.03.25.1848



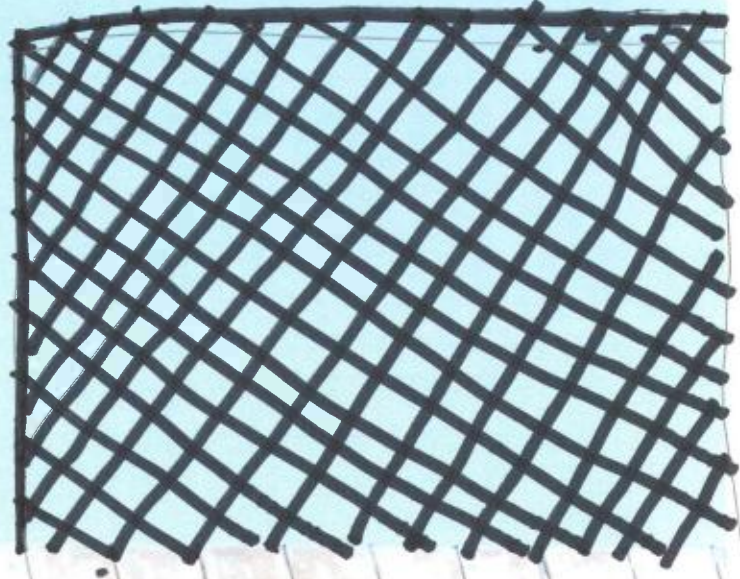
View from 2475 Filbert



2015.03.25.1848



View From 2465 Filbert



2015.03.25.1848



South Facing View

Elevator box

VIEW CONSTRUCTION

2015.03.25.1848



- Sidewalk/Street View

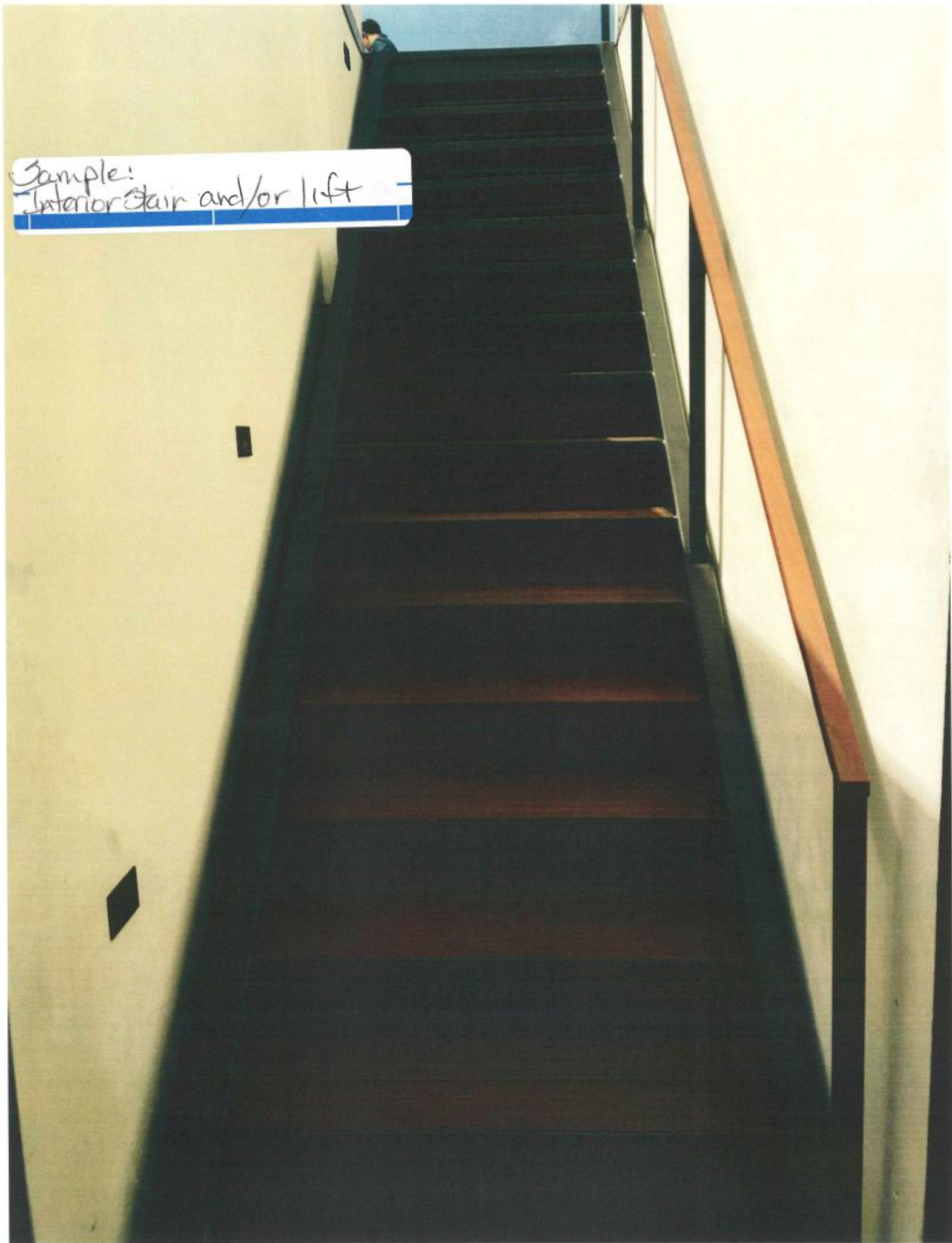
STREET VIEW OF  
ELEVATOR BOX

NEW CONSTRUCTION

2015.03.25.1848



Sample:  
Interior Stair and/or lift





**From:** [Cynthia Gissler](#)  
**To:** [Sanchez, Scott \(CPC\)](#)  
**Cc:** [Bendix, Brittany \(CPC\)](#); [engel@butlerarmsden.com](mailto:engel@butlerarmsden.com)  
**Subject:** 2015-003768VAR 2462 Filbert Street  
**Date:** Wednesday, July 22, 2015 10:18:32 AM

---

Dear Mr. Sanchez,

The Cow Hollow Association (CHA) attended the March 10, 2015 Pre-Application Meeting for the proposed project at 2462 Filbert Street.

While the subject of the July 22, 2015 Variance Hearing is the proposed staircase in the required rear yard, the other components of the proposed project - roof deck with elevator penthouse - is of concern to the CHA as well as neighbors who attended the March 10 meeting.

The CHA opposes the elevator penthouse, as we had done under a previous submittal, and want to notify the Planning Department and Project Sponsor that the granting of the proposed rear yard variance will not alter our position on the balance of the proposed project.

The CHA's opposes the new construction of elevator and staircase penthouses. They offer no architectural benefit to the block-face nor the nearby residents. They are an industrial addition for commercial and larger residential projects—not single or two-family residential structures. On p. 37 of the adopted section of the Cow Hollow Neighborhood Design Guidelines, under Building Envelope: Rooflines it states:

As important as the pattern of rooflines seen from the street level, is the perception of the roofs of buildings as seen from higher places. A flat roof, the choice of bright and reflective roof materials, the random placement of skylights, the construction of elevator and stair penthouses, or the design of a bulky roof, can greatly affect the neighborhood character as perceived from higher locations within the neighborhood.

There are other means to reach residential rooftops such as stairs, stair chair-lifts, and open electro-mechanical lifts that can be used by residents that must avoid stairs.

While the CHA does not oppose the rear yard variance, we do oppose the proposed elevator penthouse at 2462 Filbert Street.

Cynthia Gissler  
Cow Hollow Association  
Zoning Committee







# REUBEN, JUNIUS & ROSE, LLP

December 30, 2015

President Rodney Fong  
San Francisco Planning Commission  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

**Re: 2462 Filbert Street (0513/009B)**  
**Brief in Opposition to Discretionary Review Request**  
**Planning Department Case No. 2015-003768DRP**  
**Hearing Date: January 21, 2016**  
**Our File No.: 8997.01**

Dear President Fong and Commissioners:

We are working with Raymonde and Douglas Kramlich, residents of the property located at 2462 Filbert Street (Assessor's Block 0513, Lot 009B; the "Property"). Raymonde and Douglas have proposed a modest rear addition and elevator penthouse for their existing residence at the Property (the "Project"). The neighbors across the street from the Property, Stephanie and Paul Riehle of 2453 Filbert Street, have requested Discretionary Review ("DR") of the Project.

The DR request should be denied for the following reasons:

- The DR request does not establish exceptional or extraordinary circumstances that are necessary to justify the Commission's use of special discretionary review powers;
- The Project is Code-compliant and consistent with the Residential Design Guidelines and Cow Hollow Neighborhood Design Guidelines;
- The DR request objects to the proposed elevator penthouse, but the penthouse has been reduced in scope and impact to the smallest dimension possible and provides access only to the elevator cab, with no stair access. The penthouse is scarcely visible from the public right-of-way and has minimal impact on the DR requester's property, neighborhood character, privacy, light or air;
- The elevator penthouse is consistent in scale and design with other elevator penthouses in the neighborhood and those recently approved by the Planning Commission. The elevator will give Raymonde and Douglas, both in their 70's and experiencing great difficulty with stairs (Douglas has had a hip replacement), full access in their home from the basement to the roof deck;

James A. Reuben | Andrew J. Junius | Kevin H. Rose | Daniel A. Frattin | John Kevlin  
Jay F. Drake | Lindsay M. Petrone | Sheryl Reuben<sup>1</sup> | Tuija I. Catalano | Thomas Tunny  
David Silverman | Melinda A. Sarjapur | Mark H. Loper | Jody Knight | Stephanie L. Haughey  
Chloe V. Angelis | Louis J. Sarmiento | Jared Eigerman<sup>2,3</sup> | John McInerney III<sup>2</sup>

1. Also admitted in New York 2. Of Counsel 3. Also admitted in Massachusetts

One Bush Street, Suite 600  
San Francisco, CA 94104

tel: 415-567-9000  
fax: 415-399-9480

[www.reubenlaw.com](http://www.reubenlaw.com)



- The DR requester's demands concerning the elevator penthouse are disguised attempts to achieve no more than the preservation of their views and neighborhood status quo. Views, however, are not protected by the Planning Code or any applicable design guidelines, and, even if views were a consideration, the fact that the penthouse may be visible to the DR requester does not make it a view obstruction; and
- The DR requester's opposition is particularly surprising given the fact that Raymonde and Douglas supported the DR requester's recently proposed project next door to Raymonde and Douglas's home, even though the DR requester's project has a significant impact on Raymonde and Douglas's views.

#### **A. PROPERTY AND PROJECT DESCRIPTION**

Raymonde and Douglas have resided at the Property for nearly 40 years. The Project consists of a rear horizontal addition at the basement, first and second levels; a new exterior stair at the rear, and an elevator penthouse that will allow the elevator to extend from the basement to the roof deck. The purpose of the elevator and penthouse is to give Raymonde, in her 70's, and Douglas, in his 80's access to the roof deck. Using stairs simply is not feasible for them.

The elevator penthouse is minimal in size, measuring 6'-11" in the east-west dimension, and 6'-4" in the north-south dimension, with a flat roof and stucco walls. The height of the penthouse is 7' above the existing parapet. The penthouse is located at the east property line and set back from the front property line by 37 feet. Project plans are attached hereto as **Exhibit A**.

#### **B. THE STANDARD FOR DISCRETIONARY REVIEW HAS NOT BEEN MET**

Discretionary review is a "special power of the Commission, outside of the normal building permit approval process. It is intended to be used only when there are exceptional and extraordinary circumstances associated with the proposed project."<sup>1</sup> The discretionary review authority is based on Section 26(a) of the San Francisco Business & Tax Regulations Code and, moreover, pursuant to the City Attorney's advice, it is a "sensitive discretion ... which must be exercised with the utmost restraint". Exceptional or extraordinary circumstances have been defined as complex topography, irregular lot configuration, unusual context, or other circumstances not addressed in the design standards.

Discretionary review is not proper in this case because there are no exceptional or extraordinary circumstances present – there is no complex topography, no irregular lot

---

<sup>1</sup> Planning Department publication for the Application Packet for Discretionary Review.



configuration, nor an unusual context. In fact, the Planning Code anticipates the utilization of elevator penthouses by allowing them as exceptions to the height limit. (Plan. Code § 261(b)(1)(B).)

Moreover, the proposed penthouse is similar in size to others in the neighborhood, including one recently approved by the Planning Commission pursuant to a discretionary review request. On October 15, 2015, the Planning Commission approved an elevator penthouse at 2720 Lyon Street based on the penthouse being reduced in size to accommodate only the elevator, and elevator access being provided at all levels of the residence. In the present case, the Project's proposed elevator penthouse meets all of these conditions.

At 2582 Filbert Street, one block away from the Property, a recently-approved elevator penthouse measures 6'-6" above the height limit. The proposed penthouse at the Property is similarly 6' above the height limit. The two penthouses also are comparable in length and width.

There are numerous examples of much larger elevators/enclosures throughout the Cow Hollow neighborhood, as evidenced by the map and photos attached as **Exhibit B**. The reality is that there are penthouses, enclosures and/or roof decks located throughout the neighborhood. The City's rules and standards do not vary in one neighborhood from one block to another, and our modest proposal should not be subjected to different standards simply because of some neighbors on our particular block.

**C. NONE OF THE DR REQUESTER'S CONCERNS CONSTITUTE EXCEPTIONAL OR EXTRAORDINARY CIRCUMSTANCES.**

The DR requester raises the following concerns with the elevator penthouse, none of which constitutes an exceptional or extraordinary circumstance.

First, the DR requester criticizes the penthouse for being too large and not visually and physically compatible with neighborhood character. This concern has no merit because, as stated, the proposed penthouse is consistent with other penthouses in the neighborhood and meets the conditions for a penthouse recently imposed by the Planning Commission.

Moreover, in an attempt to show alleged incompatibility with neighborhood character, the DR requester submitted renderings of the proposed penthouse to Planning Department Staff that are grossly distorted and misleading. Those renderings are shown in **Exhibit C**.

In contrast, we have provided accurate renderings of the penthouse attached as **Exhibit C**. Views "B" and "E" show that the penthouse will not be visible from Filbert Street after the new construction is completed at the adjacent property (2456 Filbert Street).. Views "C", "D" and "F" show that the penthouse is scarcely visible.



Second, the DR requester states that the penthouse should be denied because the Planning Commission previously denied an elevator penthouse at the Property 20 years ago. The reasons for that denial 20 years ago, however, do not apply today. The penthouse was denied 20 years ago because: (1) that penthouse was much larger and included an elevator and stair – here, no stair is included in the penthouse; and (2) at that time, the City was considering eliminating the height exemption for elevator penthouses and the Planning Commission was concerned about allowing a penthouse under those circumstances – however, the City never removed the height exemption for elevator penthouses and penthouses have been approved on a regular basis since that time.

The DR requester's other reasons for opposing the penthouse – that Raymonde and Douglas do not use the roof deck and do not need the elevator for "health" reasons – are both irrelevant and easily refuted. First, Raymonde and Douglas have not used the roof deck as much as they would like because they have not had a reasonable means of access to the roof. This is why the elevator is being proposed. Second, Raymonde and Douglas are in their 70's and Doug has had a hip replacement. Their need for an elevator rather than stairs speaks for itself.

The DR requester's reason for opposing the penthouse is simple: the protection of their views. However, views are not protected in San Francisco, nor by California law, and neither views, nor precedence for protection of views, are regarded as exceptional or extraordinary circumstances. The proposed elevator penthouse will have only a minimal, if any, impact on the DR requester's property or the neighborhood.

#### **D. CONCLUSION**

The DR request should be denied. The DR requester is required to show exceptional or extraordinary circumstances to justify the Commission's exercise of its special discretionary review powers. They have not. The proposed elevator penthouse has been designed to be as small and unobtrusive as possible. Raymonde and Douglas have submitted a modest proposal to accommodate an aging family's needs. It has been carefully designed to be Code-compliant and consistent with the Residential Design Guidelines, Cow Hollow Neighborhood Design Guidelines and the character of the neighborhood. Further, Planning Department Staff has concluded that the DR requester has not presented exceptional or extraordinary circumstances, and no revisions or modifications to the elevator penthouse have been requested by Planning Department Staff.

For all of the above reasons, we respectfully request the Planning Commission not take discretionary review, and allow Raymonde and Douglas's Project to move forward.



Thank you for your consideration.

Very truly yours,

**REUBEN, JUNIUS & ROSE, LLP**



Thomas Tunny

Enclosures

cc: Vice President Cindy Wu  
Commissioner Michael Antonini  
Commissioner Rich Hillis  
Commissioner Christine Johnson  
Commissioner Kathrin Moore  
Commissioner Dennis Richards  
John Rahaim – Planning Director  
Scott Sanchez – Zoning Administrator  
Jonas Ionin – Commission Secretary  
Brittany Bendix – Project Planner  
Raymonde and Douglas Kramlich







## **EXHIBIT A**































Volumes/bas-projects/projects-folder/Projects - Active/Jobs 1400/1431. Kramlich v8. ArchiCAD/8.02 Project Drawings/A2 - Plans/Schematic Design/1431 Kramlich. SD Option 2A.pln

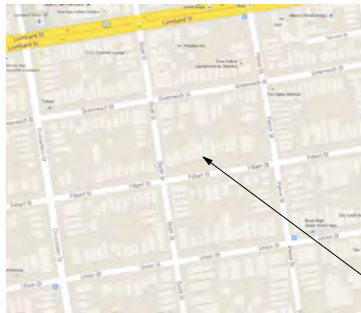
| ABBREVIATIONS   |  |   |   |  |   |
|---|--|---|---|--|---|
| &<br>#<br>(D)<br>(E)<br>(N)<br>(R)  | AND<br>ANGLE<br>AT<br>CENTERLINE<br>DIAMETER<br>NUMBER<br>DEMOLISH<br>EXISTING<br>NEW<br>REMOVE  | F.D.<br>F.F. & E.<br>F.F.<br>FIN.<br>FLR.<br>FLUOR.<br>FIXT.<br>F.O.<br>F.O.C.<br>F.O.F.<br>F.O.S.<br>FNDN.<br>FT.<br>FTG.<br>FURR. | FLOOR DRAIN<br>FURNITURE, FIXTURES &<br>EQUIP.<br>FINISH FLOOR<br>FINISH FLOOR<br>FLUORESCENT<br>FIXTURE<br>FACE OF<br>FACE OF CONCRETE<br>FACE OF FINISH<br>FACE OF STUD<br>FOUNDATION<br>FOOT OR FEET<br>FOOTING<br>FURRING | P.G.<br>PL.<br>PLAM.<br>PLYWD.<br>PR.<br>PROP.LN.<br>P.T.  | PAINT GRADE<br>PLASTIC LAMINATE<br>PLYWOOD<br>PAIR<br>PROPERTY LINE<br>PRESSURE TREATED   |
| A.B.<br>ABV.<br>ADJ.<br>A.F.F.<br>AGGR.<br>ALN.<br>ALUM.<br>APPROX.<br>ARCH.<br>AV. | ANCHOR BOLT<br>ABOVE<br>ADJACENT<br>ABOVE FINISHED FLOOR<br>AGGREGATE<br>ALIGN<br>ALUMINUM<br>APPROXIMATE<br>ARCHITECTURAL<br>AUDIO VISUAL | GALV.<br>GA.<br>G.F.I.C.<br>GL.<br>GR.<br>GRND.<br>GSM.<br>GYP.   | GALVANIZED<br>GAGE<br>GROUND FAULT<br>INTERCEPTOR CIRCUIT<br>GLASS<br>GRADE<br>GROUND<br>GALVANIZED SHEET METAL<br>GYPSUM   | R.<br>RAD.<br>R.D.<br>RDWD.<br>REF.<br>REFR.<br>REINFOR.<br>REQ.<br>RESIL.<br>R.L.<br>RM.<br>R.O.              | RISER<br>RADIUS<br>ROOF DRAIN<br>REDWOOD<br>REFERENCE<br>REFRIGERATOR<br>REINFORCED<br>REQUIRED<br>RESILIENT<br>RAIN LEADER<br>ROOM<br>ROUGH OPENING  |
| BD.<br>BLDg.<br>BLK.<br>BLKG.<br>BM.<br>B.O.<br>B.U.R.<br>B/W                       | BOARD<br>BUILDING<br>BLOCK<br>BLOCKING<br>BEAM<br>BOTTOM OF<br>BUILT UP ROOFING<br>BETWEEN   | H.B.<br>H.C.<br>HDWD.<br>HDWR.<br>HT.<br>HORIZ.<br>HR.  | HOSE BIB<br>HOLLOW CORE<br>HARDWOOD<br>HARDWARE<br>HEIGHT<br>HORIZONTAL<br>HOUR   | S.<br>S.C.<br>SCHED.<br>SD<br>SECT.<br>SHR.<br>SHR.<br>SHR.<br>SIM.<br>SL.<br>S.L.D.<br>SPEC.<br>SQ.<br>S.S.D. | SOUTH<br>SOLID CORE<br>SCHEDULE<br>SMOKE DETECTOR<br>SECTION<br>SHOWER<br>SHEET<br>SIMILAR<br>SLOPE<br>SEE LANDSCAPE DRAWINGS<br>SPECIFICATION<br>SQUARE<br>SEE STRUCTURAL<br>DRAWINGS<br>STAINLESS STEEL<br>STANDARD<br>STEEL<br>STOR.<br>STRUC.<br>SYM. |
| DBL.<br>DTL.<br>DIA.<br>DIM.<br>DN<br>DR.<br>DS.<br>DWG.<br>DWR.                    | DOUBLE<br>DETAIL<br>MECH.<br>DIMENSION<br>DOWN<br>DOOR<br>DOWNSPOUT<br>DRAWING<br>DRAWER   | INSUL.<br>INT.<br>LAM.<br>LAV.<br>L.O.<br>LT.   | INSULATION<br>INTERIOR<br>LAMINATE<br>LAVATORY<br>LINE OF<br>LIGHT  | T.<br>T.B.<br>TEL.<br>T.G.<br>THK.<br>TMPR.<br>T.O.<br>T.O.P.<br>T.O.W.<br>T.S.<br>T.V.<br>TYP.                | TREAD<br>TOWEL BAR<br>TELEPHONE<br>TONGUE AND GROVE<br>THICK<br>TEMPERED<br>TOP OF<br>TOP OF PAVEMENT<br>TOP OF WALL<br>TUBULAR STEEL<br>TELEVISION<br>TYPICAL  |
| E.<br>E.A.<br>ELEC.<br>ELEV.<br>ENCL.<br>EQ.<br>EQUIP.<br>EXT.                      | EAST<br>EACH<br>ELECTRICAL<br>ELEVATION<br>ENCLOSURE<br>EQUAL<br>EQUIPMENT<br>EXTERIOR   | N.<br>N.I.C.<br>NO.<br>NOM.<br>N.T.S.<br>O/<br>O.A.<br>OBS.<br>O.C.<br>O.D.<br>OPNG.<br>OPP.  | NORTH<br>NOT IN CONTRACT<br>NUMBER<br>NOMINAL<br>NOT TO SCALE<br>OVER<br>OVERALL<br>OBSOLETE<br>ON CENTER<br>OUTSIDE DIAMETER<br>OPENING<br>OPPOSITE  | U.O.N.<br>V.C.T.<br>VERT.<br>V.I.F.<br>W.<br>W/<br>WD.<br>W/O<br>W.P.<br>WT.                                   | UNLESS OTHERWISE NOTED<br>VINYL COMPOSITION TILE<br>VERTICAL<br>VERIFY IN FIELD<br>WEST<br>WITH<br>WOOD<br>WITHOUT<br>WATERPROOFING<br>WEIGHT   |

| SYMBOLS   |   |
|---|---|
|     | DRAWING/DETAIL REFERENCE TAG<br>DRAWING OR DETAIL<br>SHEET WHERE DRAWING/DETAIL OCCURS          |
|     | SECTION REFERENCE TAG<br>BUILDING SECTION<br>SHEET WHERE SECTION OCCURS                         |
|     | INTERIOR ELEVATION REFERENCE TAG<br>INTERIOR ELEVATION<br>SHEET WHERE INTERIOR ELEVATION OCCURS |
|     | ALIGN   |
|     | HIDDEN LINE   |
|     | STUD WALL (UNLESS NOTED OTHERWISE)  |
|     | CONCRETE STRUCTURE, S.S.D.  |
|     | INSULATION IN SECTION (BATT)  |
|     | INSULATION IN SECTION (RIGID)   |
|     | LATH AND PLASTER IN SECTION   |
|     | GYPSUM BOARD IN SECTION   |
|     | PLYWOOD IN SECTION  |
|     | FINISH WOOD IN SECTION  |
|     | GLASS IN SECTION  |
|    | DOOR TAG  |
|    | WINDOW TAG  |
|  | PLUMBING FIXTURE TAG<br>PLUMBING FITTING TAG  |
|  | APPLIANCE TAG   |
|  | EQUIPMENT TAG   |
|  | REVISION TAG  |
|   | MATCHLINE   |
|  | WORKPOINT OR DATUM  |
|  | WALL TYPE TAG   |
|  | THRESHOLD   |

| GENERAL NOTES  |   |
|--|---|
| 1.   | ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.  |
| 2.   | CONTRACTOR WILL HAVE EXAMINED THE PREMISES AND SITE SO AS TO COMPARE THEM WITH THE DRAWINGS AND WILL HAVE SATISFIED HIMSELF AS TO THE CONDITION OF EXISTING WORK AND ADJACENT PROPERTY PRIOR TO SUBMISSION OF BID. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON BEHALF OF THE CONTRACTOR BY REASON OF ANY OMISSION ON HIS PART TO INCLUDE THE COSTS OF ALL ITEMS OF WORK, EITHER LABOR OR MATERIALS, WHETHER THEY ARE OR ARE NOT ESPECIALLY OR PARTICULARLY SHOWN OR NOTED BUT WHICH ARE IMPLIED OR REQUIRED TO ATTAIN THE COMPLETED CONDITIONS PROPOSED IN THE DRAWINGS. |
| 3.   | ALL SUBCONTRACTORS TO THE GENERAL CONTRACTOR SHALL INSPECT THE SITE AND SHALL CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND SCOPE OF WORK TO THE ARCHITECT PRIOR TO SUBMITTING BID AND PRIOR TO COMMENCING WORK.   |
| 4.   | CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OF PERSONS DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.   |
| 5.   | CONTRACTOR TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.  |
| 6.   | CONTRACTOR TO CONFORM TO HOMEOWNERS ASSOCIATION RULES AND GUIDELINES.   |
| 7.   | CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD ITEMS AND OF APPROXIMATE DELIVERY DATES.  |
| 8.   | ALL CONSTRUCTION MATERIALS AND SUPPLIES TO BE STORED, HANDLED, AND INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.   |
| 9.   | IF ERRORS OR OMISSIONS ARE FOUND IN THE DRAWINGS THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.   |
| 10.  | DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION. THE CONTRACTOR SHOULD ANTICIPATE, BASED ON EXPERIENCE, A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND SHOULD CONSIDER SUCH ADJUSTMENTS AS INCLUDED IN THE SCOPE OF WORK.  |
| 11.  | WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.   |
| 12.  | ALL DIMENSIONS TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED OFF DRAWINGS.  |
| 13.  | THESE NOTES TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE SPECIFIC REQUIREMENTS ARE INDICATED APPLICABLE TO PARTICULAR DIVISIONS OF THE WORK. SEE SPECIFICATIONS AND GENERAL NOTES IN THE SUBSECTIONS OF THESE DRAWINGS.  |
| 14.  | ALL DIMENSIONS ARE TO FACE OF FINISH, U.O.N.  |
| 15.  | WEATHER STRIP ALL DOORS LEADING FROM HEATED TO UNHEATED AREAS. PROVIDE VINYL BEAD TYPE WEATHER STRIPPING AT THESE DOORS AND WINDOWS. ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED, INCLUDING THE THRESHOLD.  |
| 16.  | CAULK AND SEAL OPENINGS IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION.   |
| 17.  | WINDOWS TO BE OPERABLE AND CLEANED, U.O.N.  |
| 18.  | ALL WALL FRAMING SHALL BE 2x4 @ 16" O.C. MINIMUM. U.O.N.  |
| 19.  | ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.  |
| 20.  | ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.   |
| 21.  | STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE 'D' BUILDING PAPER.  |
| 22.  | STRUCTURAL WOOD MEMBERS ADJACENT TO CONCRETE ARE TO BE PRESSURE TREATED DOUGLAS FIR.  |
| NOTE: DESIGN BASED ON THE CBC 2013 & SAN FRANCISCO BUILDING CODE 2013 AMENDMENTS. CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE SECTIONS. |   |

| PROJECT TEAM   |  |
|--|--|
| <b>ARCHITECT:</b><br>BUTLER ARMSDEN ARCHITECTS<br>2849 CALIFORNIA STREET<br>SAN FRANCISCO, CA 94115<br>T 415-674-5554<br>F 415-674-5558  |  |
| <b>SURVEYOR:</b><br>FORESIGHT LAND SURVEYING<br>1537 FRANKLIN STREET, SUITE #102<br>SAN FRANCISCO, CA 94109<br>T 415-735-6180  |  |
| <b>GEOTECH:</b><br>H. ALLEN GRUEN<br>360 GRAND AVE., #262<br>OAKLAND, CA 94610<br>T 510-839-0765   |  |
| CODES  |  |
| 2013 CA BLDG. CODE<br>2013 S.F. BLDG. CODE & AMENDMENTS<br>2013 CA ENERGY CODE<br>2013 S.F. ELECTRICAL CODE<br>2013 S.F. MECHANICAL CODE<br>2013 S.F. PLUMBING CODE<br>2013 S.F. FIRE CODE |  |

VICINITY MAP



PROJECT DATA

BLOCK: 0513  
LOT: 009B  
LOT SIZE: 3,632

ZONED: RH-1  
HEIGHT LIMIT: 40-X  
OCCUPANCY: R-3

UNCONDITIONED SPACE

EXISTING

PROPOSED

GARAGE

--

sqft.

--

sqft.

BASEMENT

--

sqft.

--

sqft.

FIRST FLOOR

--

sqft.

--

sqft.

SECOND FLOOR

--

sqft.

--

sqft.

THIRD FLOOR

--

sqft.

--

sqft.

TOTAL:

--

sqft.

--

sqft.

CONDITIONED SPACE

EXISTING

PROPOSED

GARAGE

314

sqft.

314

sqft.

BASEMENT

390

sqft.

1,190

sqft.

FIRST FLOOR

1,341

sqft.

1,625

sqft.

SECOND FLOOR

1,914

sqft.

2,023

sqft.

THIRD FLOOR

1,717

sqft.

1,717

sqft.

TOTAL:

5,676

sqft.

6,869

sqft.

TOTAL:

--

sqft.

--

sqft.

EXISTING

PROPOSED

CONSTRUCTION CLASSIFICATION

V

--

EXISTING

PROPOSED

FIRE SPRINKLER


N/A

N/A

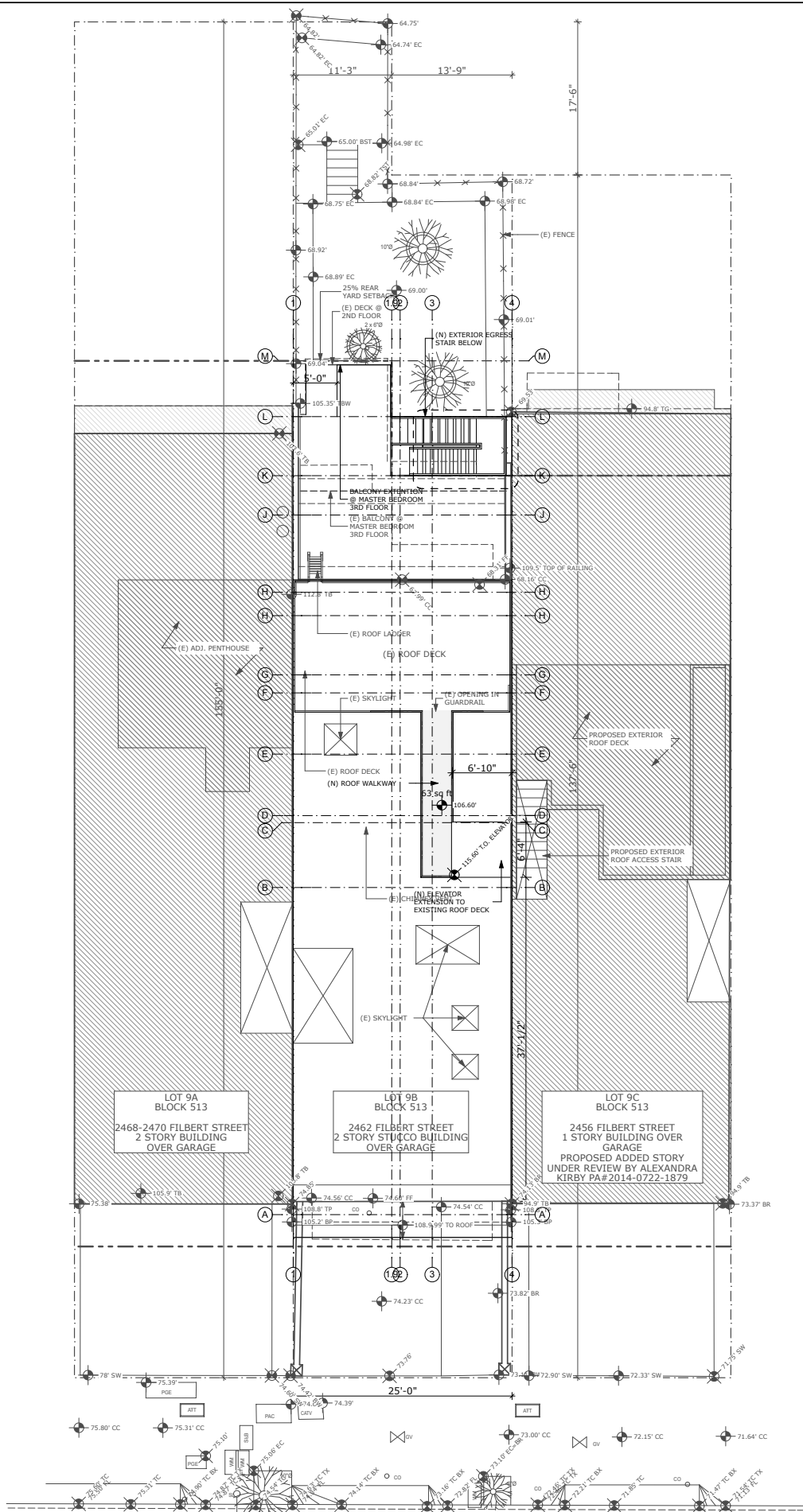
SCOPE OF WORK

HORIZONTAL ADDITION AT REAR FACADE AT LEVELS: BASEMENT, FIRST & SECOND. NEW EXTERIOR STAIR AT REAR YARD FROM SECOND FLOOR TO YARD. EXTEND ELEVATOR TO EXISTING ROOF DECK. EXTEND BALCONY @ MASTER BEDROOM.

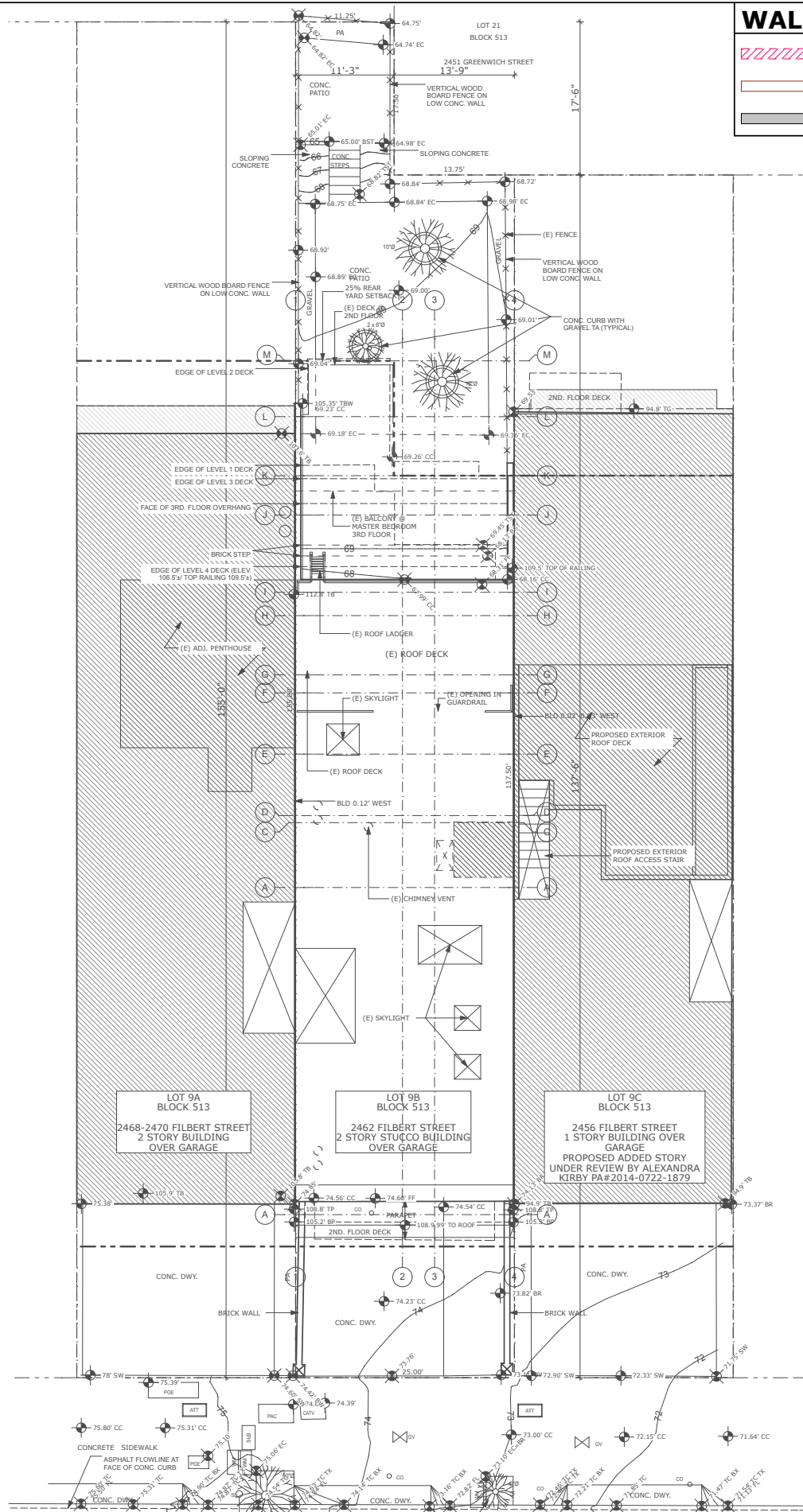
| SHEET INDEX   |                                     |                                     |                                     |                                     |
|---|-------------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|
| ARCHITECTURAL:                                      |                                     |                                     |                                     |                                     |
| A0.0 TITLE SHEET                                    | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A0.1 SITE PLAN                                      | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A0.2 PHOTO SHEET                                    | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A0.3 DESIGN RENDERINGS                              | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A0.4 EGRESS DRAWINGS                                | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A1.1 DEMOLITION PLAN - BASEMENT & FIRST FLOOR       | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A1.2 DEMOLITION PLAN - SECOND & THIRD FLOOR         | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A1.3 DEMOLITION PLAN - ROOF                         | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A1.4 EXISTING EXTERIOR ELEVATIONS - NORTH AND SOUTH | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A1.5 EXISTING EXTERIOR ELEVATIONS - WEST            | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A1.6 EXISTING EXTERIOR ELEVATIONS - EAST            | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A1.7 EXISTING LONGITUDINAL SECTION                  | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A1.8 EXISTING CROSS SECTION                         | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A2.1 PROPOSED PLAN - BASEMENT AND FIRST FLOOR       | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A2.2 PROPOSED PLAN - SECOND AND THIRD FLOOR         | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A2.3 PROPOSED PLAN - ROOF                           | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A2.4 SCHEDULES                                      | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A3.1 PROPOSED EXTERIOR ELEVATIONS                   | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A3.2 PROPOSED EXTERIOR ELEVATIONS                   | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A3.3 PROPOSED EXTERIOR ELEVATIONS                   | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A3.4 PROPOSED EXTERIOR ELEVATIONS                   | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A3.5 PROPOSED SECTION                               | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |

| BUTLER ARMSDEN ARCHITECTS  |          |
|--|----------|
| 1420 SUTTER STREET 1ST FLOOR<br>SAN FRANCISCO, CA 94109<br>BUTLERARMSDEN.COM<br>E INFO@BUTLERARMSDEN.COM<br>T 415-674-5554<br>F 415-674-5558 |          |
| KRAMLICH RESIDENCE   |          |
| 2462 FILBERT STREET, SAN FRANCISCO, CA 94123   |          |
| SITE PERMIT  |          |
| REVISIONS:   | BY:      |
|  REVISIONS 04/30/15                                     | JJ/FE    |
|  |          |
|  |          |
|  |          |
|  |          |
|  |          |
| JOB#:  | 1431     |
| DATE:  | 7/1/15   |
| DRAWN:   | JJ       |
| CHECKED:   | FE       |
| SCALE:   | AS NOTED |
| TITLE SHEET  |          |
| A0.0   |          |





# 1 PROPOSED SITE PLAN



## 2 EXISTING SITE PLAN

## WALL LEGEND



**BUTLER ARMSDEN**  
ARCHITECTS

1420 SUTTER STREET 1ST FLOOR  
SAN FRANCISCO, CA 94109  
BUTLERARMSDEN.COM  
E INFO@BUTLERARMSDEN.COM  
T 415-674-5554  
F 415-674-5558

**KRAMLICH RESIDENCE**  
2462 FILBERT STREET, SAN FRANCISCO, CA 94123

## SITE PERMIT

| REVISIONS: |                    | BY:   |
|------------|--------------------|-------|
| ①          | REVISIONS 04/30/15 | JJ/FE |
| ③          | REVISIONS 06/30/15 | JJ/FE |
|            |                    |       |
|            |                    |       |
|            |                    |       |
|            |                    |       |
|            |                    |       |

|          |          |
|----------|----------|
| JOB#:    | 1431     |
| DATE:    | 7/1/15   |
| DRAWN:   | JJ       |
| CHECKED: | FE       |
| SCALE:   | AS NOTED |

# PROPOSED SITE PLAN

## A0.1



Volumes/baa-projects/projects - Active/Jobs 1400/1431 Kramlichv8 - ArchiCAD/8.02 Project Drawings/A2 - Plans/Schematic Design/1431 Kramlich - SD Option 2A.pln



5 FILBERT STREET - SOUTH ELEVATION



4 FIBERT STREET - NORTH ELEVATION



3 REAR VIEW @ TERRACE



2 REAR VIEW



1 STREET VIEW

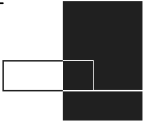
**SITE PERMIT**

| REVISIONS: | BY: |
|------------|-----|
|            |     |
|            |     |
|            |     |
|            |     |
|            |     |
|            |     |

|          |          |
|----------|----------|
| JOB#:    | 1431     |
| DATE:    | 7/1/15   |
| DRAWN:   | JJ       |
| CHECKED: | FE       |
| SCALE:   | AS NOTED |



Volumes\baa-projects\projects-folder\Projects - Active\Jobs 1400\1431\_Kramlich\8\_Arch\CAD\8.02 Project Drawings\A2 - Plans\Schematic Design\1431\_Kramlich\_SD Option 2A.pln



BUTLER ARMSDEN  
ARCHITECTS

1420 SUTTER STREET 1ST FLOOR  
SAN FRANCISCO, CA 94109  
BUTLERARMSDEN.COM  
E INFO@BUTLERARMSDEN.COM  
T 415-674-5554  
F 415-674-5558

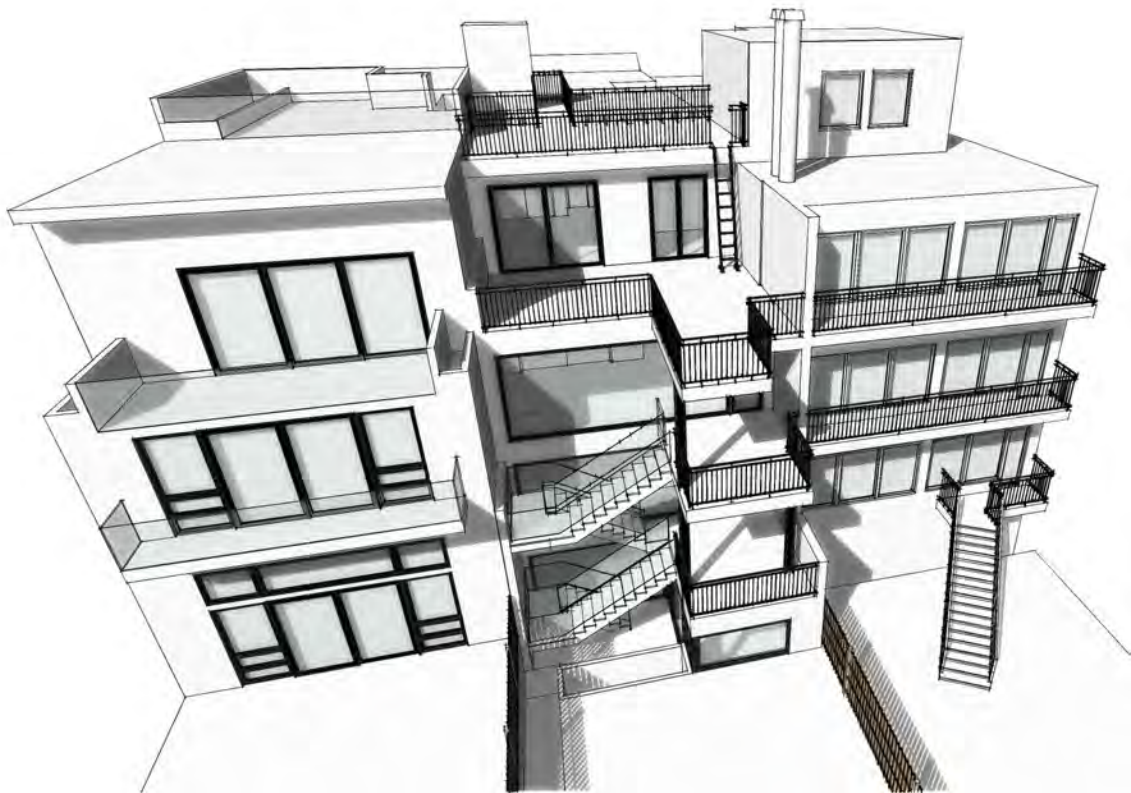
KRAMLICH RESIDENCE  
2462 FILBERT STREET, SAN FRANCISCO, CA 94123



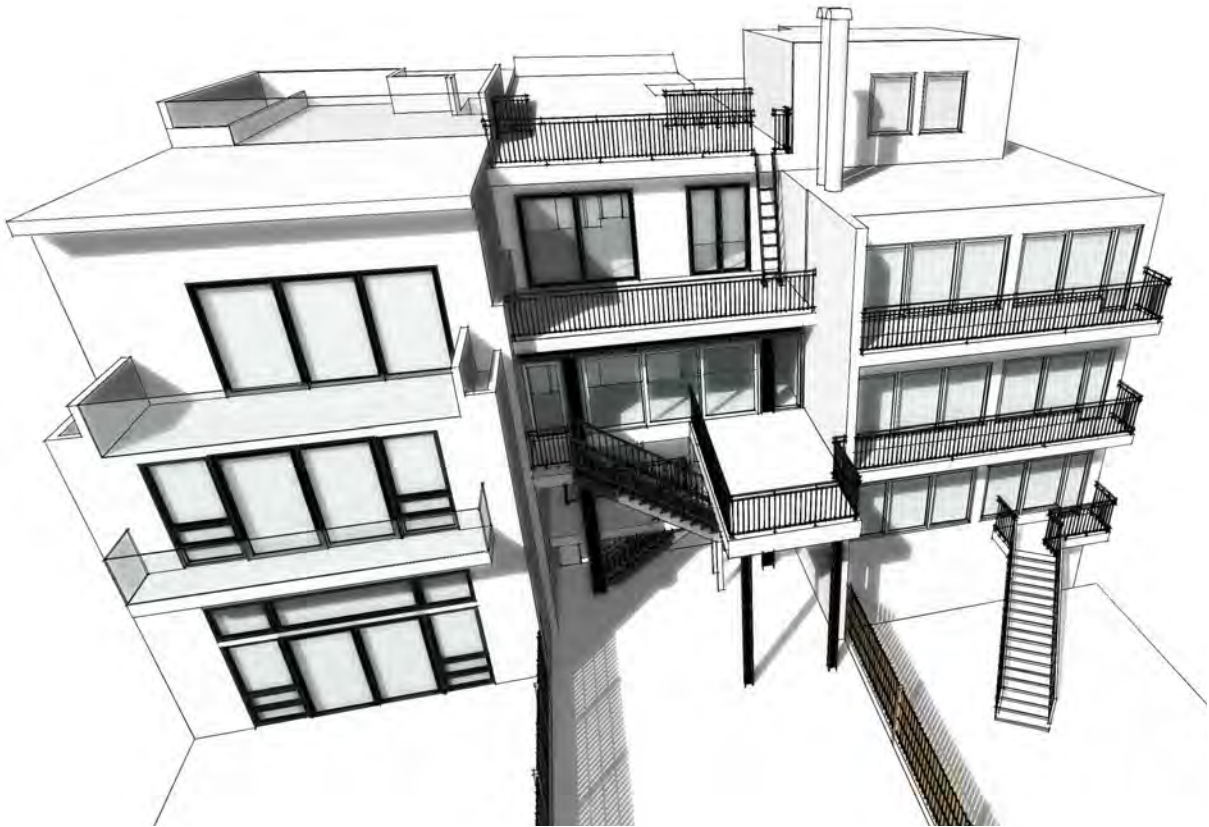
③ PROPOSED REAR YARD



② PROPOSED REAR YARD



④ EXISTING AERIAL



① PROPOSED REAR YARD

SITE PERMIT

| REVISIONS:           | BY:   |
|----------------------|-------|
| △ REVISIONS 04/30/15 | JJ/FE |
| △ REVISIONS 05/07/15 | JJ/FE |
| △ REVISIONS 06/30/15 | JJ/FE |
|                      |       |
|                      |       |

|          |          |
|----------|----------|
| JOB#:    | 1431     |
| DATE:    | 7/1/15   |
| DRAWN:   | JJ       |
| CHECKED: | FE       |
| SCALE:   | AS NOTED |

DESIGN  
RENDERINGS



Volumes/bas-projects/projects-folder/Projects - Active/Jobs 1400/1431 Kramlich V8\_Arch/CAD/8.02 Project Drawings/A2 - Plans/Schematic Design/1431 Kramlich SP Option 2A.pln

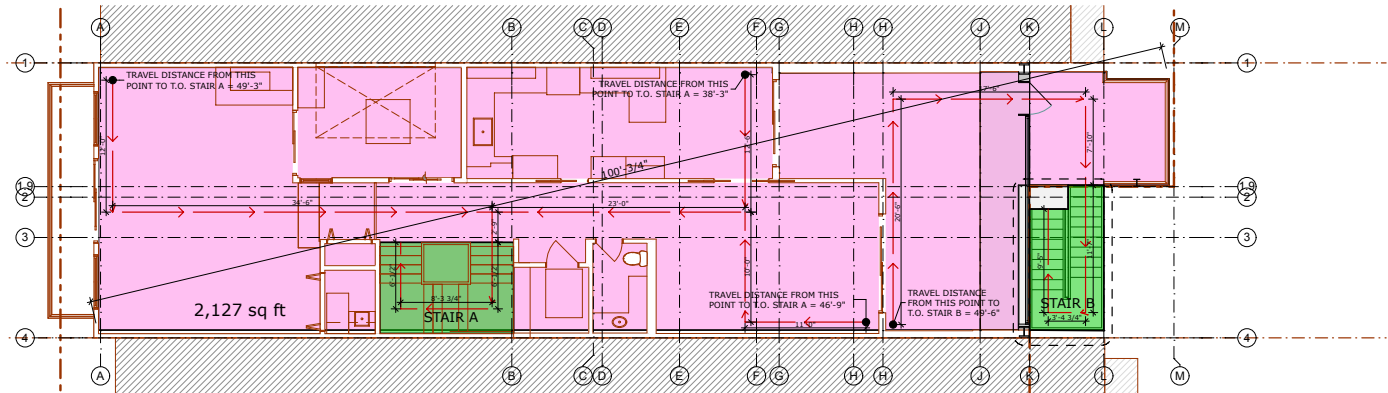
## WALL LEGEND

|   |                             |
|---|-----------------------------|
|  | EXISTING WALL TO BE REMOVED |
|  | EXISTING WALL               |
|  | NEW WALL                    |

BUTLER ARMSDEN  
ARCHITECTS

1420 SUTTER STREET 1ST FLOOR  
SAN FRANCISCO, CA 94109  
BUTLERARMSDEN.COM  
E INFO@BUTLERARMSDEN.COM  
T 415-674-5554  
F 415-674-5558

KRAMLICH RESIDENCE  
2462 FILBERT STREET, SAN FRANCISCO, CA 94123



### 3 SECOND FLOOR EGRESS

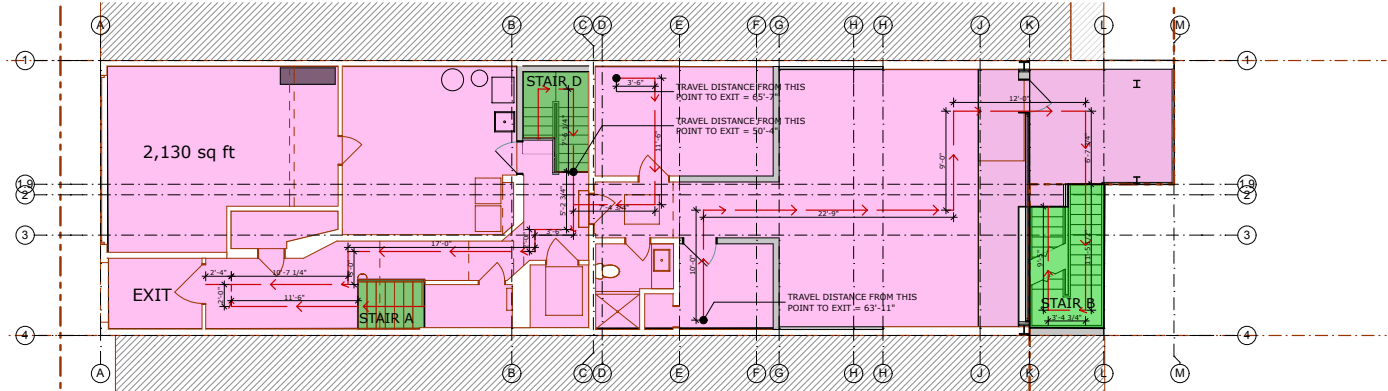
SCALE: 1/8" = 1'-0"

NUMBER OF EXITS REQUIRED: 2  
NUMBER OF EXITS PROVIDED: 2<sup>1</sup>

$$\text{SECOND FLOOR OCCUPANT LOAD} = \frac{2,127 \text{ SQFT. (HABITABLE + BALCONY)}}{200 \text{ OCCUPANT LOAD FACTOR (TABLE 1004.1.2)}} = 10.635$$

<sup>1</sup> SECOND EXIT IS PROVIDED BUT REQUIRES A VARIANCE

SPRINKLERS THIS STORY: NO



### 2 GROUND FLOOR EGRESS

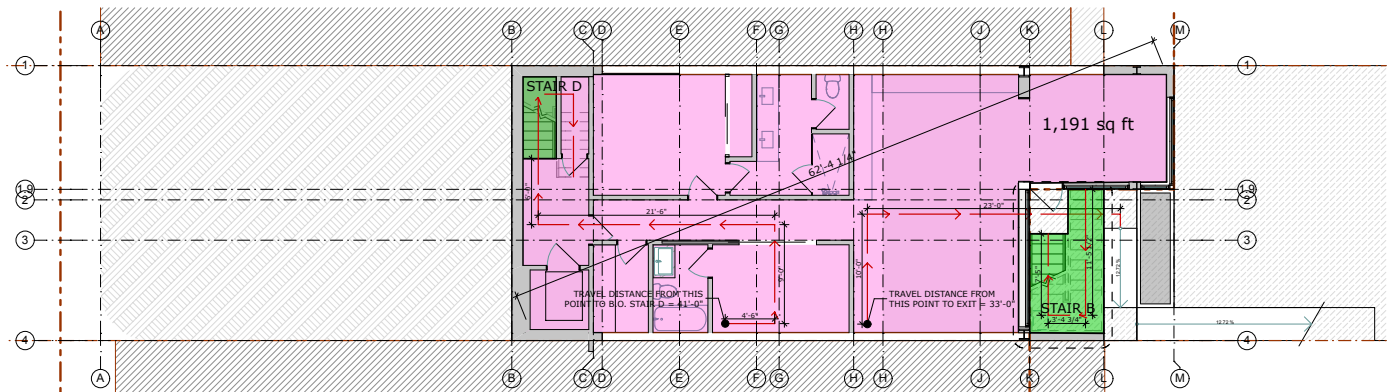
SCALE: 1/8" = 1'-0"

NUMBER OF EXITS REQUIRED: 2  
NUMBER OF EXITS PROVIDED: 2<sup>1</sup>

$$\text{GROUND FLOOR OCCUPANT LOAD} = \frac{2,130 \text{ SQFT. (HABITABLE + BALCONY)}}{200 \text{ OCCUPANT LOAD FACTOR (TABLE 1004.1.2)}} = 10.65$$

<sup>1</sup> SECOND EXIT IS PROVIDED BUT REQUIRES A VARIANCE

SPRINKLERS THIS STORY: NO



### 1 BASEMENT EGRESS

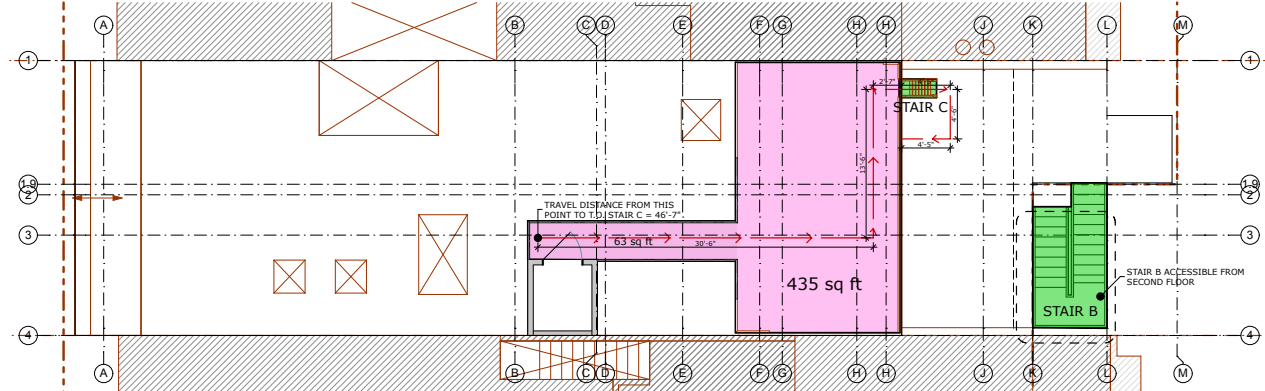
SCALE: 1/8" = 1'-0"

NUMBER OF EXITS REQUIRED: 1  
NUMBER OF EXITS PROVIDED: 2<sup>1</sup>

$$\text{BASEMENT OCCUPANT LOAD} = \frac{1,191 \text{ SQFT. (HABITABLE)}}{200 \text{ OCCUPANT LOAD FACTOR (TABLE 1004.1.2)}} = 5.955$$

<sup>1</sup> SECOND EXIT IS PROVIDED BUT REQUIRES A VARIANCE

SPRINKLERS THIS STORY: NO



### 5 ROOF EGRESS

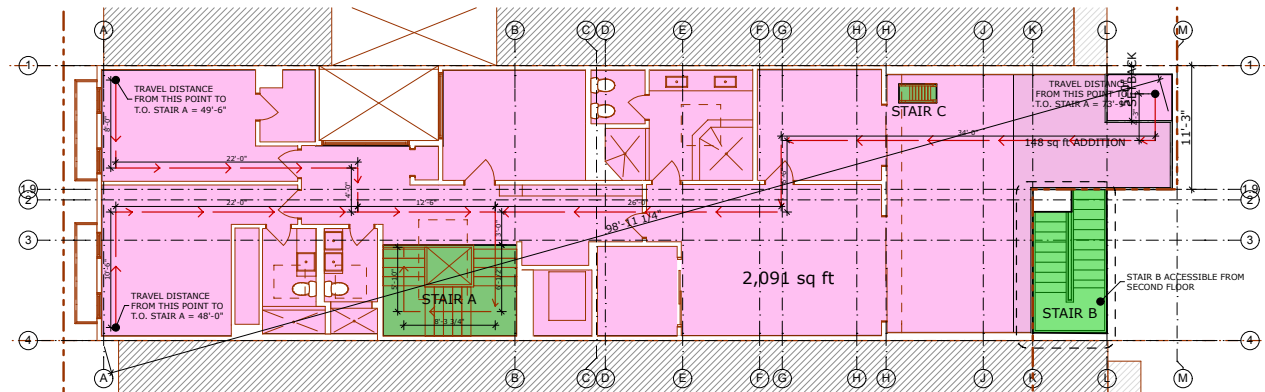
SCALE: 1/8" = 1'-0"

NUMBER OF EXITS REQUIRED: 1  
NUMBER OF EXITS PROVIDED: 1<sup>1</sup>

$$\text{ROOF OCCUPANT LOAD} = \frac{435 \text{ SQFT. (ROOF DECK)}}{200 \text{ OCCUPANT LOAD FACTOR (TABLE 1004.1.2)}} = 2.175$$

<sup>1</sup> EXIT IS A EXISTING NON-CONFORMING SHIP LADDER

SPRINKLERS THIS STORY: NO



### 4 THIRD FLOOR EGRESS

SCALE: 1/8" = 1'-0"


NUMBER OF EXITS REQUIRED: 2  
NUMBER OF EXITS PROVIDED: 2<sup>1</sup>

$$\text{THIRD FLOOR OCCUPANT LOAD} = \frac{2,091 \text{ SQFT. (HABITABLE + BALCONY)}}{200 \text{ OCCUPANT LOAD FACTOR (TABLE 1004.1.2)}} = 10.095$$

<sup>1</sup> SECOND EXIT IS PROVIDED BUT REQUIRES A VARIANCE

SPRINKLERS THIS STORY: NO

## SITE PERMIT

|  |       |
|--|-------|
| REVISIONS:   | BY:   |
|  REVISIONS 04/30/15 | JJ/FE |
|  |       |
|  |       |
|  |       |
|  |       |

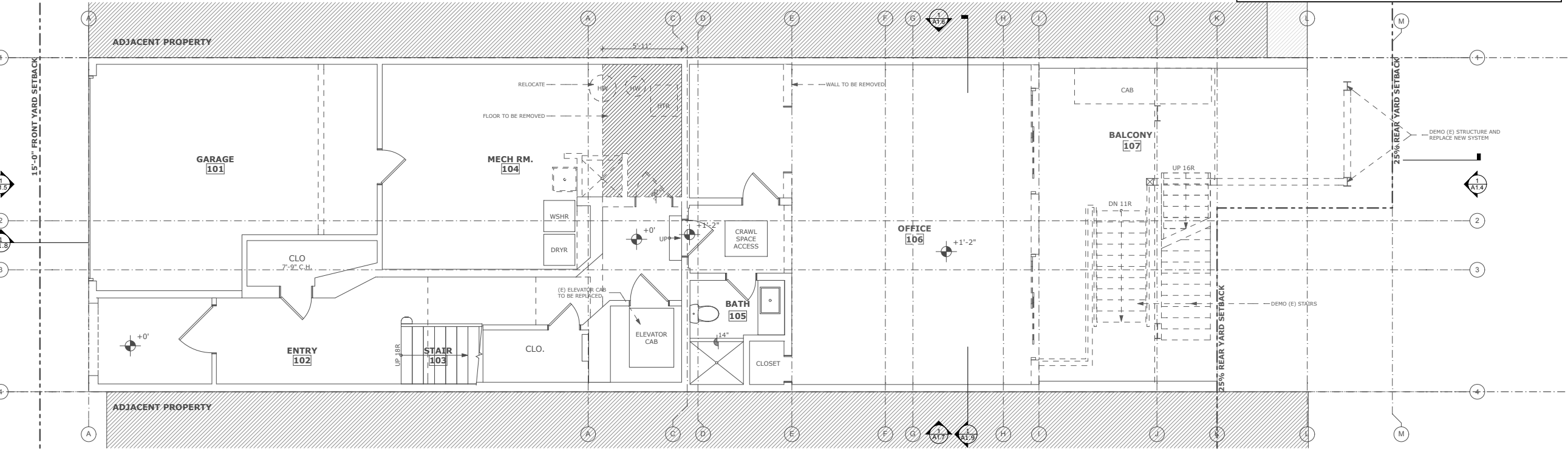
|          |          |
|----------|----------|
| JOB#:    | 1431     |
| DATE:    | 7/1/15   |
| DRAWN:   | JJ       |
| CHECKED: | FE       |
| SCALE:   | AS NOTED |

EGRESS  
DRAWINGS

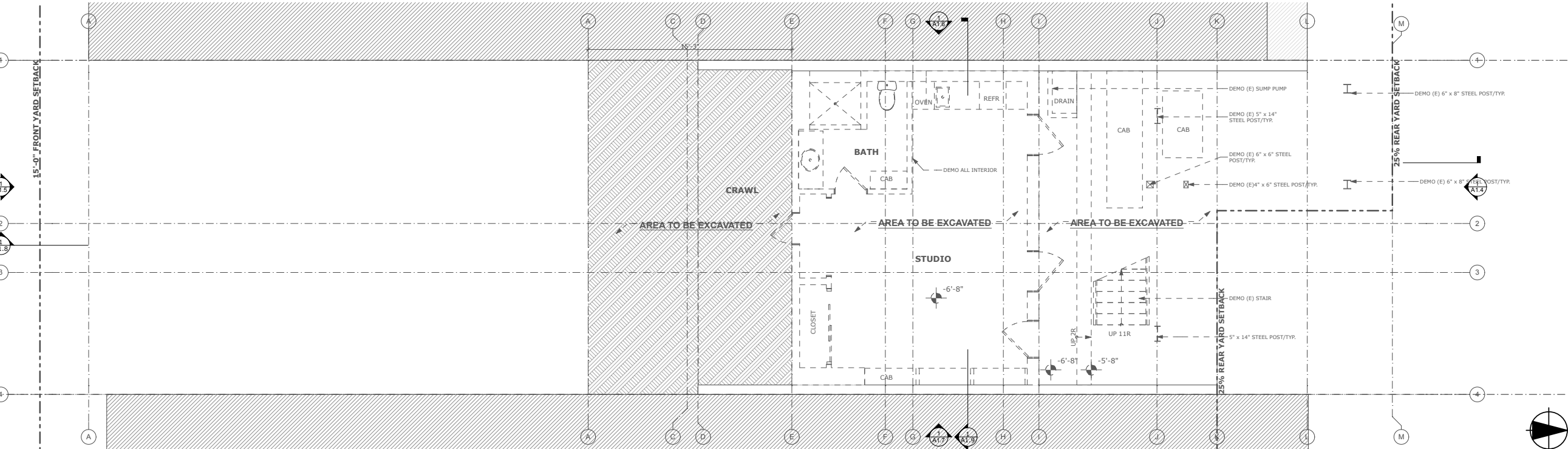
A0.4



Volumes/bas-projects/projects-folder/Projects - Active/Jobs 1400/1431 Kramlich v8 - ArchiCAD/8.02 Project Drawings/A2 - Plans/Schematic Design/1431 Kramlich - SD Option 2A.pln



2 GROUND FLOOR DEMO PLAN  
SCALE: 1/4" = 1'-0"



1 BASEMENT DEMO PLAN  
SCALE: 1/4" = 1'-0"

## WALL LEGEND

- EXISTING WALL TO BE REMOVED
- EXISTING WALL
- NEW WALL

## GENERAL DEMOLITION NOTES

- ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ADJACENT PROPERTY AND LANDSCAPE PLANTING TO REMAIN.
- ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
- LEAD PAINTED MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
- DEMOLISH ALL REDUNDANT HVAC EQUIPMENT, INCLUDING PIPING, DUCTWORK, RADIANT PANELS, AND BASEBOARD HEATERS. SAVE AND CATALOGUE DECORATIVE GRILLES FOR STORAGE AND RE-USE.
- DEMOLISH REDUNDANT PLUMBING IN WALL OR FLOOR CAVITIES OPENED FOR CONSTRUCTION.
- DEMOLISH ALL ABANDON INTERIOR ELECTRICAL THROUGHOUT.
- DEMOLISH ALL WINDOW COVERINGS AND RELATED HARDWARE., REMOVE WINDOW HARDWARE, U.O.N.
- AT DOORS TO BE DEMOLISHED OR REMOVED, REMOVE DOOR, HARDWARE, AND FRAME, U.O.N. AND SAVE FOR RE-USE.
- DEMOLISH ALL FLOOR FINISHES, INCLUDING CARPET, VINYL, AND TILE. WOOD FLOORS TO REMAIN, U.O.N. PROTECT DURING CONSTRUCTION.
- DEMOLISH ALL ABANDON GAS LINES TO MAIN POINT OF ENTRY, U.O.N.
- CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.

BUTLER ARMSDEN  
ARCHITECTS

1420 SUTTER STREET 1ST FLOOR  
SAN FRANCISCO, CA 94109  
BUTLERARMSDEN.COM  
E INFO@BUTLERARMSDEN.COM  
T 415-674-5554  
F 415-674-5558

KRAMLICH RESIDENCE  
2462 FILBERT STREET, SAN FRANCISCO, CA 94123

## SITE PERMIT

| REVISIONS: | BY: |
|------------|-----|
|            |     |
|            |     |
|            |     |
|            |     |
|            |     |
|            |     |

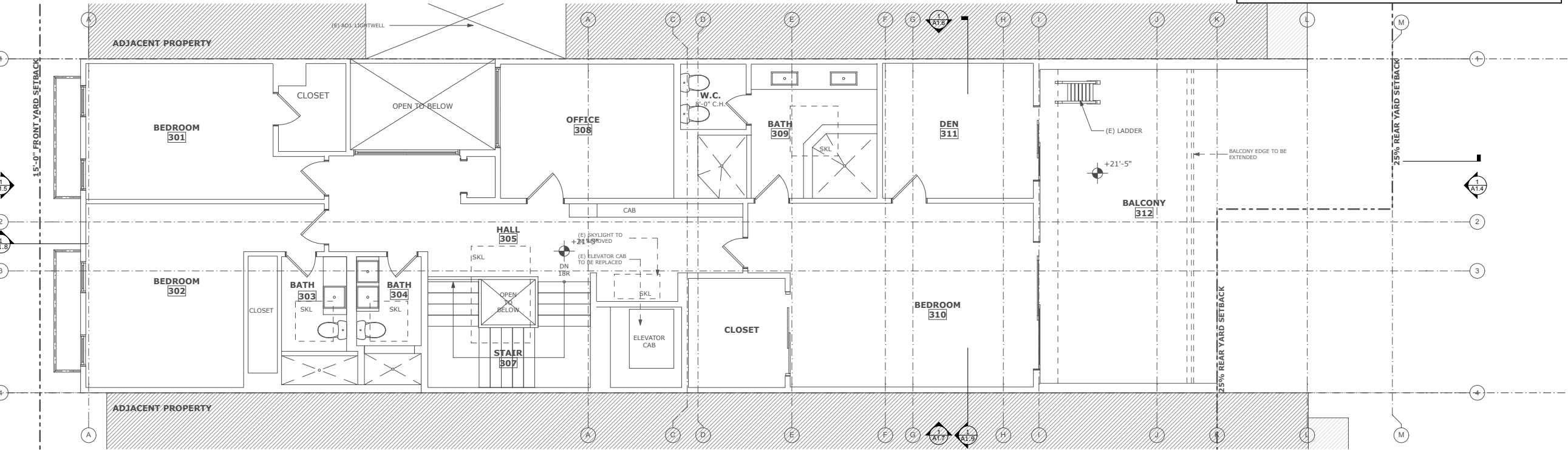
|          |          |
|----------|----------|
| JOB#:    | 1431     |
| DATE:    | 7/1/15   |
| DRAWN:   | JJ       |
| CHECKED: | FE       |
| SCALE:   | AS NOTED |

BASEMENT &  
FIRST FLOOR  
DEMO PLAN

A1.1

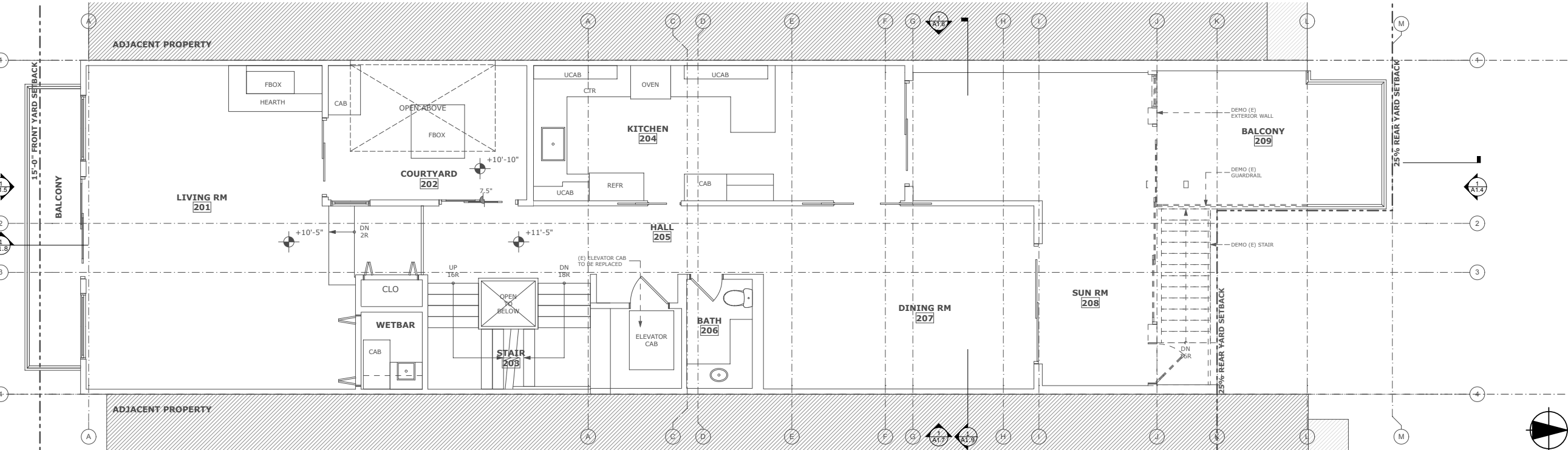


Volumes/bas-projects/projects-folder/Projects - Active/Jobs 1400/1431 Kramlich v8 ArchiCAD/8.02 Project Drawings/A2 - Plans/Schematic Design/1431 Kramlich SD Option 2A.pln



2 THIRD FLOOR DEMO PLAN

SCALE: 1/4" = 1'-0"



1 SECOND FLOOR DEMO PLAN

SCALE: 1/4" = 1'-0"

SITE PERMIT

|            |     |
|------------|-----|
| REVISIONS: | BY: |
|            |     |
|            |     |
|            |     |
|            |     |
|            |     |

|          |          |
|----------|----------|
| JOB#:    | 1431     |
| DATE:    | 7/1/15   |
| DRAWN:   | JJ       |
| CHECKED: | FE       |
| SCALE:   | AS NOTED |

SECOND & THIRD FLOOR DEMO PLAN





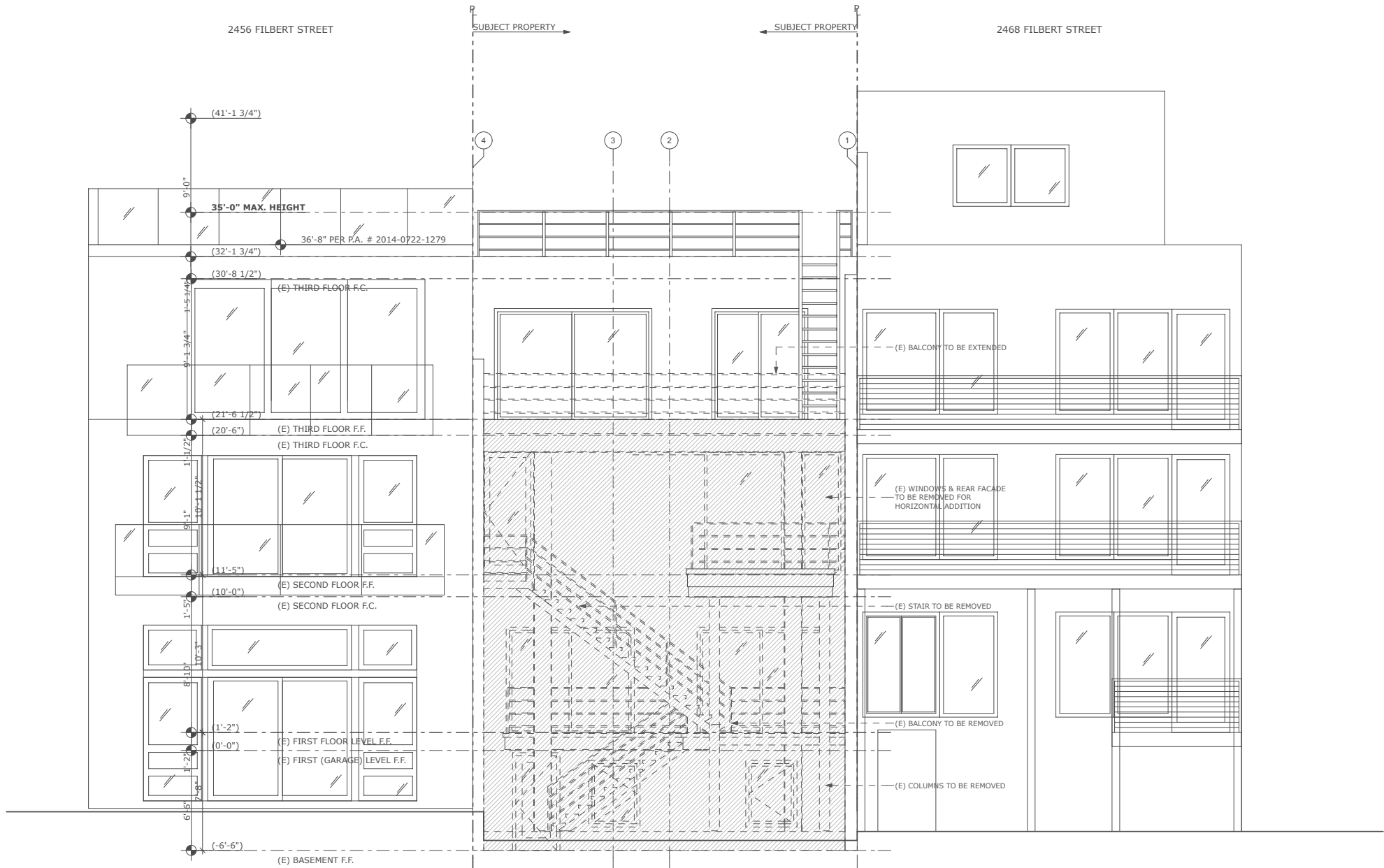


Volumes/bas-projects/projects-folder/Projects - Active/Jobs 1400/1431 Kramlich v8\_Arch/CAD/8.02 Project Drawings/A2 - Plans/Schematic Design/1431 Kramlich\_SD Option 2A.pln

1

EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"



WALL LEGEND



EXISTING WALL TO BE REMOVED



EXISTING WALL



NEW WALL

GENERAL DEMOLITION NOTES

1. ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ADJACENT PROPERTY AND LANDSCAPE PLANTING TO REMAIN.
2. ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
3. LEAD PAINTED MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
4. DEMOLISH ALL REDUNDANT HVAC EQUIPMENT, INCLUDING PIPING, DUCTWORK, RADIANT PANELS, AND BASEBOARD HEATERS. SAVE AND CATALOGUE DECORATIVE GRILLES FOR STORAGE AND RE-USE.
5. DEMOLISH REDUNDANT PLUMBING IN WALL OR FLOOR CAVITIES OPENED FOR CONSTRUCTION.
6. DEMOLISH ALL ABANDON INTERIOR ELECTRICAL THROUGHOUT.
7. DEMOLISH ALL WINDOW COVERINGS AND RELATED HARDWARE,, REMOVE WINDOW HARDWARE, U.O.N.
8. AT DOORS TO BE DEMOLISHED OR REMOVED, REMOVE DOOR, HARDWARE, AND FRAME, U.O.N. AND SAVE FOR RE-USE.
9. DEMOLISH ALL FLOOR FINISHES, INCLUDING CARPET, VINYL, AND TILE. WOOD FLOORS TO REMAIN, U.O.N. PROTECT DURING CONSTRUCTION.
10. DEMOLISH ALL ABANDON GAS LINES TO MAIN POINT OF ENTRY, U.O.N.
11. CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.

BUTLER ARMSDEN  
ARCHITECTS

1420 SUTTER STREET 1ST FLOOR  
SAN FRANCISCO, CA 94109  
BUTLERARMSDEN.COM  
E INFO@BUTLERARMSDEN.COM  
T 415-674-5554  
F 415-674-5558

SITE PERMIT

| REVISIONS: | BY: |
|------------|-----|
|            |     |
|            |     |
|            |     |
|            |     |
|            |     |
|            |     |

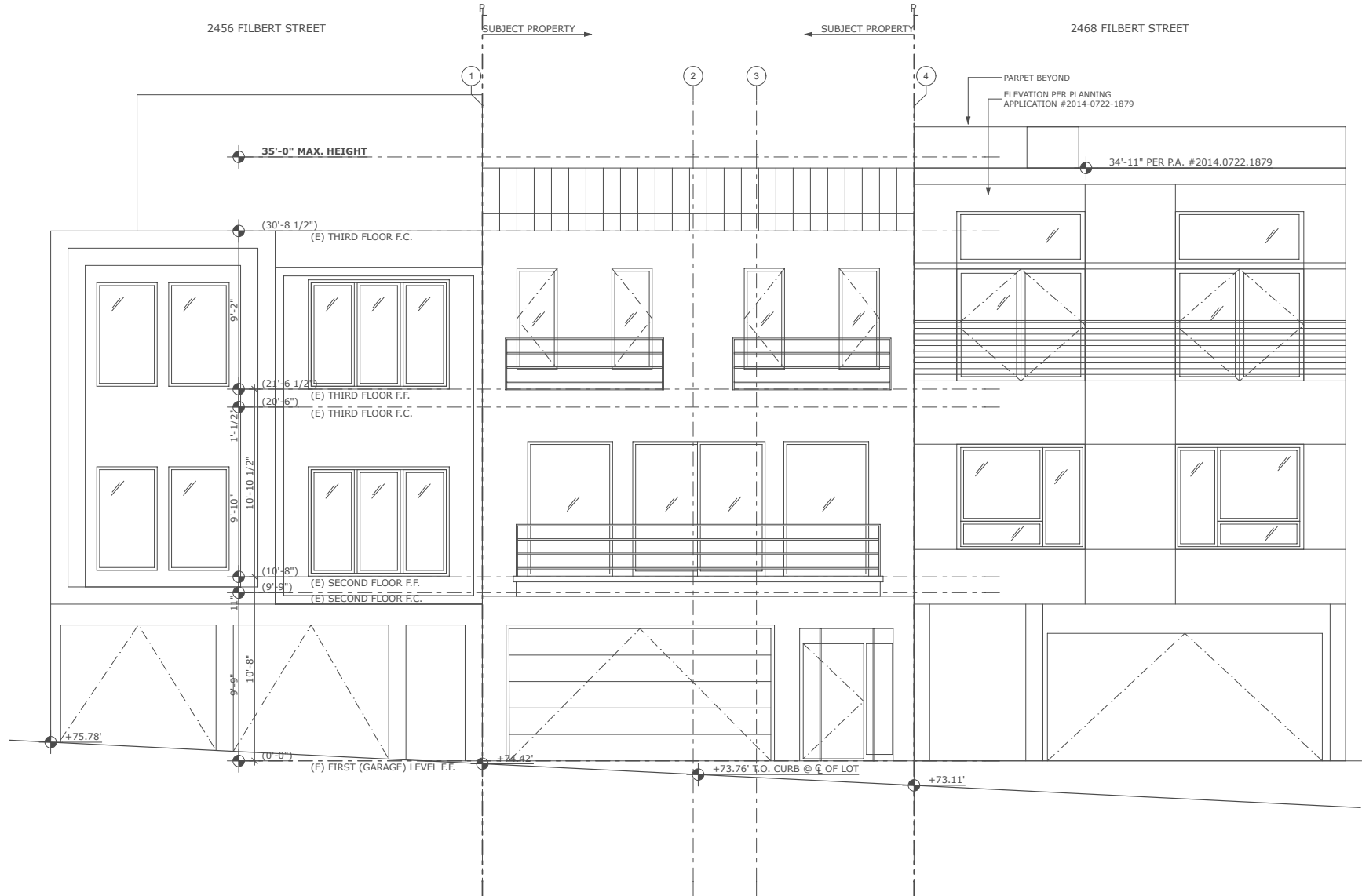
|          |          |
|----------|----------|
| JOB#:    | 1431     |
| DATE:    | 7/1/15   |
| DRAWN:   | JJ       |
| CHECKED: | FE       |
| SCALE:   | AS NOTED |

EXISTING  
ELEVATION -  
NORTH

KRAMLICH RESIDENCE  
2462 FILBERT STREET, SAN FRANCISCO, CA 94123

A1.4





1 EXISITING SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

SITE PERMIT

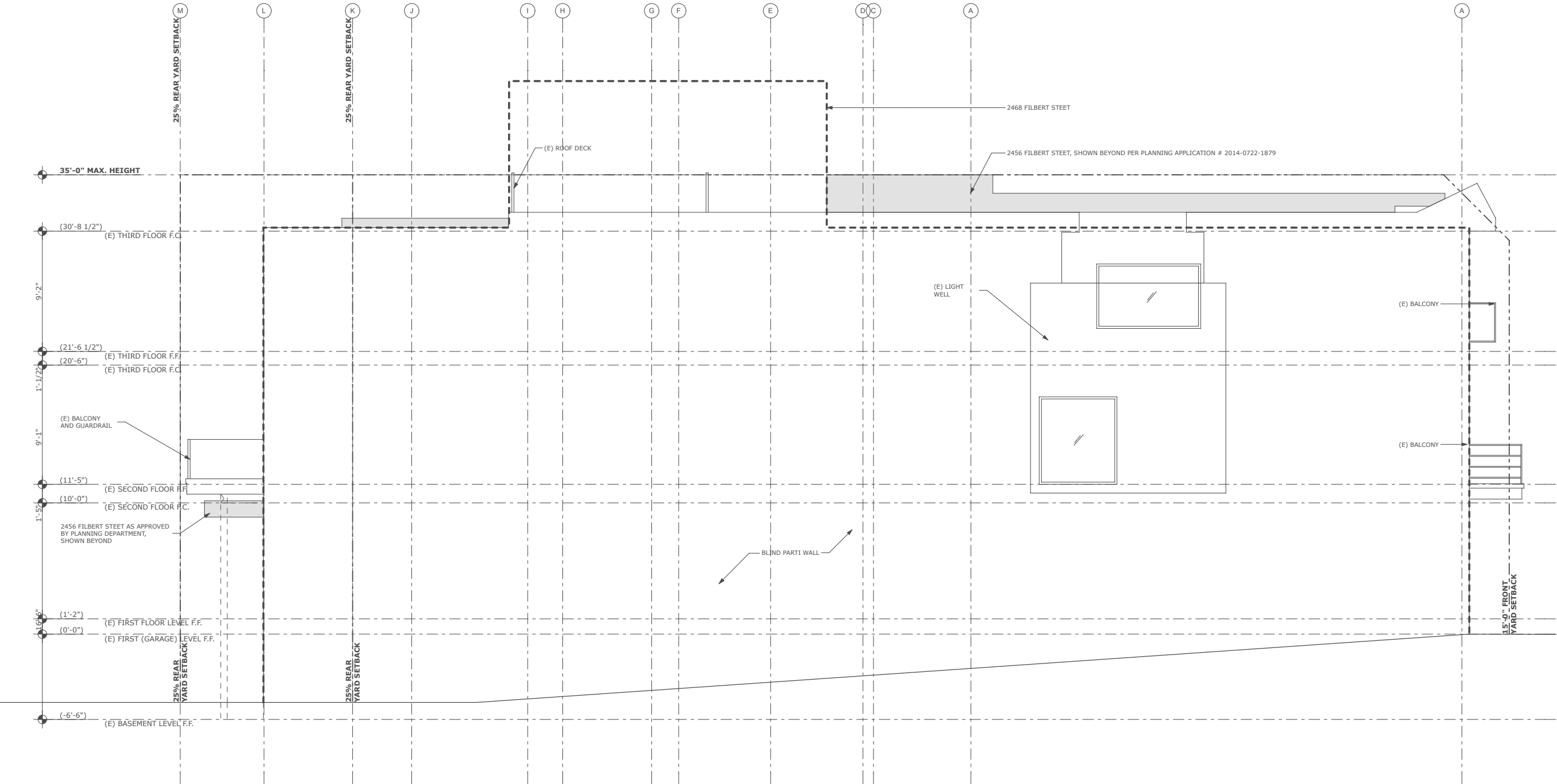
| REVISIONS: | BY: |
|------------|-----|
|            |     |
|            |     |
|            |     |
|            |     |
|            |     |
|            |     |

|          |          |
|----------|----------|
| JOB#:    | 1431     |
| DATE:    | 7/1/15   |
| DRAWN:   | JJ       |
| CHECKED: | FE       |
| SCALE:   | AS NOTED |

EXISTING  
ELEVATIONS -  
SOUTH



Volumes/bas-projects/projects-folder/Projects - Active/Jobs 1400/1431 Kramlich/V8\_Arch/CAD/8.02 Project Drawings/A2 - Plans/Schematic Design/1431 Kramlich\_SD Option 2A.pln



1 EXISTING WEST ELEVATION  
SCALE: 1/4" = 1'-0"

## WALL LEGEND

|  |                             |
|--|-----------------------------|
|  | EXISTING WALL TO BE REMOVED |
|  | EXISTING WALL               |
|  | NEW WALL                    |

## GENERAL DEMOLITION NOTES

1. ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ADJACENT PROPERTY AND LANDSCAPE PLANTING TO REMAIN.
2. ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
3. LEAD PAINTED MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
4. DEMOLISH ALL REDUNDANT HVAC EQUIPMENT, INCLUDING PIPING, DUCTWORK, RADIANT PANELS, AND BASEBOARD HEATERS. SAVE AND CATALOGUE DECORATIVE GRILLES FOR STORAGE AND RE-USE.
5. DEMOLISH REDUNDANT PLUMBING IN WALL OR FLOOR CAVITIES OPENED FOR CONSTRUCTION.
6. DEMOLISH ALL ABANDON INTERIOR ELECTRICAL THROUGHOUT.
7. DEMOLISH ALL WINDOW COVERINGS AND RELATED HARDWARE., REMOVE WINDOW HARDWARE, U.O.N.
8. AT DOORS TO BE DEMOLISHED OR REMOVED, REMOVE DOOR, HARDWARE, AND FRAME, U.O.N. AND SAVE FOR RE-USE.
9. DEMOLISH ALL FLOOR FINISHES, INCLUDING CARPET, VINYL, AND TILE. WOOD FLOORS TO REMAIN, U.O.N. PROTECT DURING CONSTRUCTION.
10. DEMOLISH ALL ABANDON GAS LINES TO MAIN POINT OF ENTRY, U.O.N.
11. CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.

**BUTLER ARMSDEN**  
ARCHITECTS

1420 SUTTER STREET 1ST FLOOR  
SAN FRANCISCO, CA 94109  
BUTLERARMSDEN.COM

E INFO@BUTLERARMSDEN.COM  
T 415-674-5554  
F 415-674-5558

**KRAMLICH RESIDENCE**  
2462 FILBERT STREET, SAN FRANCISCO, CA 94123

## SITE PERMIT

| REVISIONS: | BY: |
|------------|-----|
|            |     |
|            |     |
|            |     |
|            |     |
|            |     |
|            |     |
|            |     |

|          |          |
|----------|----------|
| JOB#:    | 1431     |
| DATE:    | 7/1/15   |
| DRAWN:   | JJ       |
| CHECKED: | FE       |
| SCALE:   | AS NOTED |

EXISTING  
ELEVATION -  
WEST







Volumes/bas-projects/projects-folder/Projects - Active/Jobs 1400/1431 Kramlich v8\_Arch/CAD/8.02 Project Drawings/A2 - Plans/Schematic Design/1431 Kramlich\_SD Option 2A.pln

### WALL LEGEND



EXISTING WALL  
TO BE REMOVED



EXISTING WALL



NEW WALL

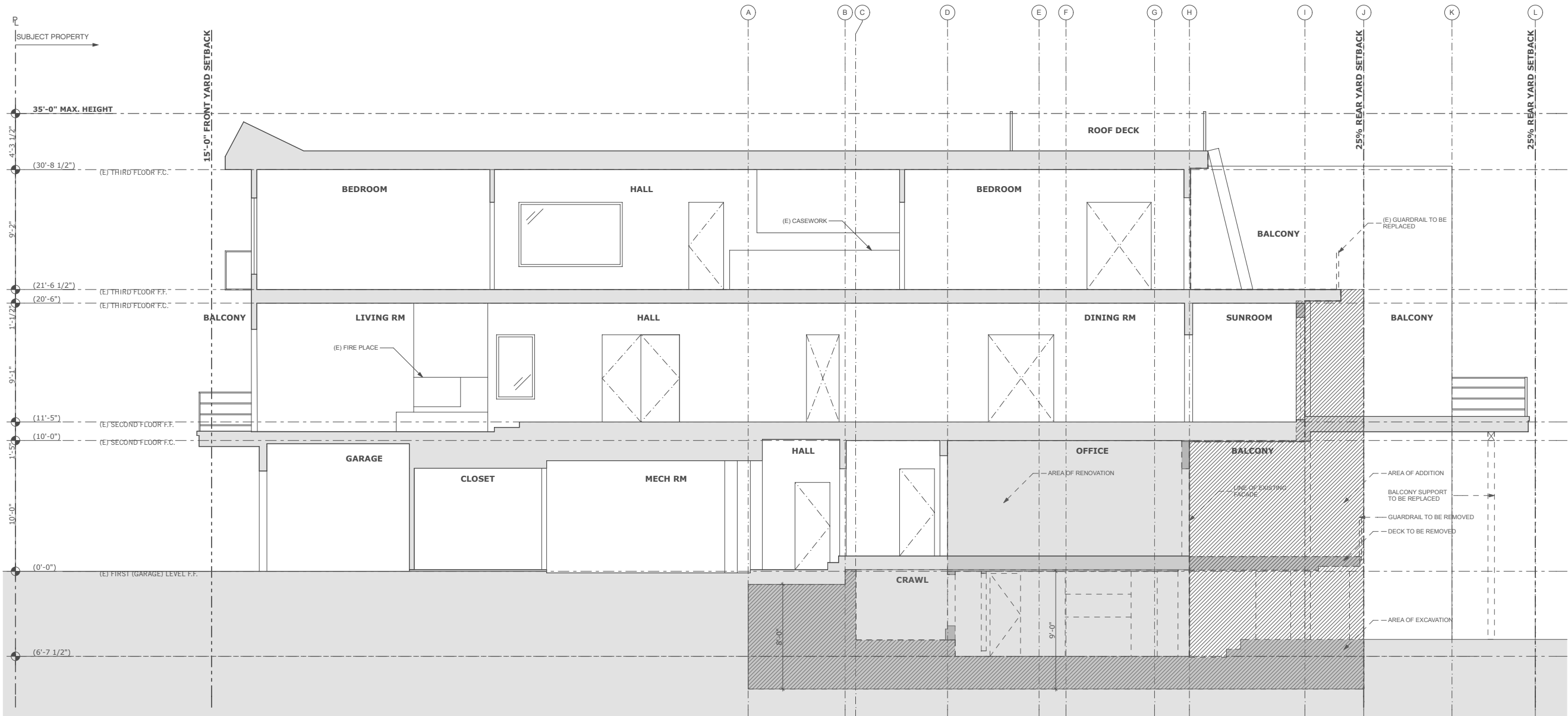
### GENERAL DEMOLITION NOTES

1. ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ADJACENT PROPERTY AND LANDSCAPE PLANTING TO REMAIN.
2. ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
3. LEAD PAINTED MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
4. DEMOLISH ALL REDUNDANT HVAC EQUIPMENT, INCLUDING PIPING, DUCTWORK, RADIANT PANELS, AND BASEBOARD HEATERS. SAVE AND CATALOGUE DECORATIVE GRILLES FOR STORAGE AND RE-USE.
5. DEMOLISH REDUNDANT PLUMBING IN WALL OR FLOOR CAVITIES OPENED FOR CONSTRUCTION.
6. DEMOLISH ALL ABANDON INTERIOR ELECTRICAL THROUGHOUT.
7. DEMOLISH ALL WINDOW COVERINGS AND RELATED HARDWARE., REMOVE WINDOW HARDWARE, U.O.N.
8. AT DOORS TO BE DEMOLISHED OR REMOVED, REMOVE DOOR, HARDWARE, AND FRAME, U.O.N. AND SAVE FOR RE-USE.
9. DEMOLISH ALL FLOOR FINISHES, INCLUDING CARPET, VINYL, AND TILE. WOOD FLOORS TO REMAIN, U.O.N. PROTECT DURING CONSTRUCTION.
10. DEMOLISH ALL ABANDON GAS LINES TO MAIN POINT OF ENTRY, U.O.N.
11. CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.

BUTLER ARMSDEN  
ARCHITECTS

1420 SUTTER STREET 1ST FLOOR  
SAN FRANCISCO, CA 94109  
BUTLERARMSDEN.COM  
E INFO@BUTLERARMSDEN.COM  
T 415-674-5554  
F 415-674-5558

KRAMLICH RESIDENCE  
2462 FILBERT STREET, SAN FRANCISCO, CA 94123



### SITE PERMIT

| REVISIONS: | BY: |
|------------|-----|
|            |     |
|            |     |
|            |     |
|            |     |
|            |     |
|            |     |
|            |     |

|          |          |
|----------|----------|
| JOB#:    | 1431     |
| DATE:    | 7/1/15   |
| DRAWN:   | JJ       |
| CHECKED: | FE       |
| SCALE:   | AS NOTED |

EXISTING  
LONGITUDINAL  
SECTION

1

### DEMO LONGITUDINAL SECTION

SCALE: 1/4" = 1'-0"

A1.8



Volumes/bas-projects/projects-folder/Projects - Active/Jobs 1400/1431\_Kramlich/8.02 Project Drawings/A2 - Plans/Schematic Design/1431\_Kramlich\_SD Option 2A.pln

WALL LEGEND

EXISTING WALL  
TO BE REMOVED

EXISTING WALL

NEW WALL

GENERAL DEMOLITION NOTES

1. ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ADJACENT PROPERTY ADN LANDSCAPE PLANTING TO REMAIN.

2. ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.

3. LEAD PAINTED MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.

4. DEMOLISH ALL REDUNDANT HVAC EQUIPMENT, INCLUDING PIPING, DUCTWORK, RADIANT PANELS, AND BASEBOARD HEATERS. SAVE AND CATALOGUE DECORATIVE GRILLES FOR STORAGE AND RE-USE.

5. DEMOLISH REDUNDANT PLUMBING IN WALL OR FLOOR CAVITIES OPENED FOR CONSTRUCTION.

6. DEMOLISH ALL ABANDON INTERIOR ELECTRICAL THROUGHOUT.

7. DEMOLISH ALL WINDOW COVERINGS AND RELATED HARDWARE,, REMOVE WINDOW HARDWARE, U.O.N.

8. AT DOORS TO BE DEMOLISHED OR REMOVED, REMOVE DOOR, HARDWARE, AND FRAME, U.O.N. AND SAVE FOR RE-USE.

9. DEMOLISH ALL FLOOR FINISHES, INCLUDING CARPET, VINYL, AND TILE. WOOD FLOORS TO REMAIN, U.O.N. PROTECT DURING CONSTRUCTION.

10. DEMOLISH ALL ABANDON GAS LINES TO MAIN POINT OF ENTRY, U.O.N.

11. CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.

BUTLER ARMSDEN

ARCHITECTS

1420 SUTTER STREET 1ST FLOOR

SAN FRANCISCO, CA 94109

BUTLERARMSDEN.COM

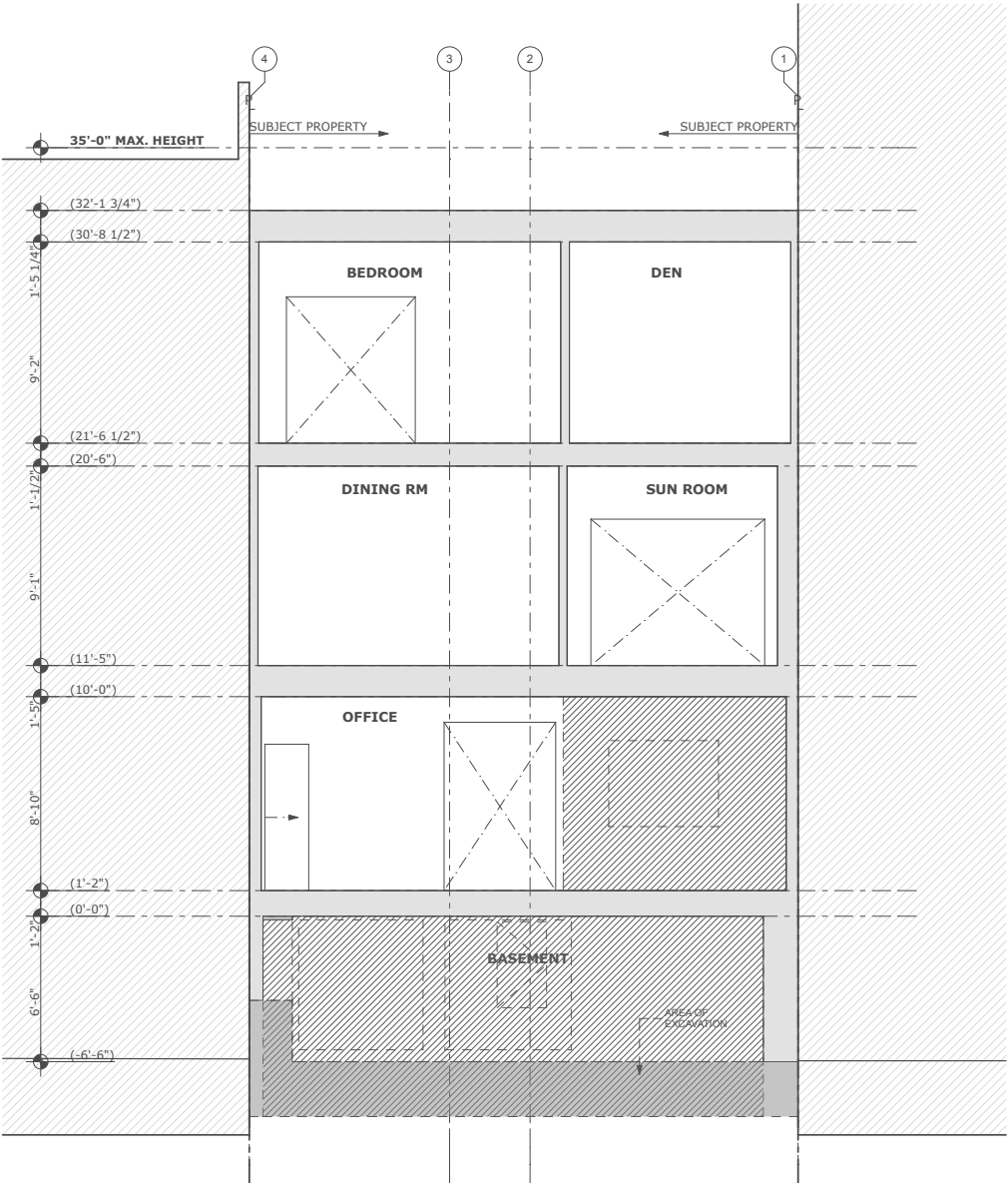
E INFO@BUTLERARMSDEN.COM

T 415-674-5554

F 415-674-5558

KRAMLICH RESIDENCE

2462 FILBERT STREET , SAN FRANCISCO , CA 94123



1

EXISTING CROSS SECTION

SCALE: 1/4" = 1'-0"

SITE PERMIT

| REVISIONS: | BY: |
|------------|-----|
|            |     |
|            |     |
|            |     |
|            |     |
|            |     |
|            |     |




|          |          |
|----------|----------|
| JOB#:    | 1431     |
| DATE:    | 7/1/15   |
| DRAWN:   | JJ       |
| CHECKED: | FE       |
| SCALE:   | AS NOTED |

EXISTING  
CROSS SECTION



Volumes/bas-projects/projects-folder/Projects - Active/D08.02 Project Drawings/A2 - Plans/Schematic Design/1431 Kramlich, SD Option 2A.pln

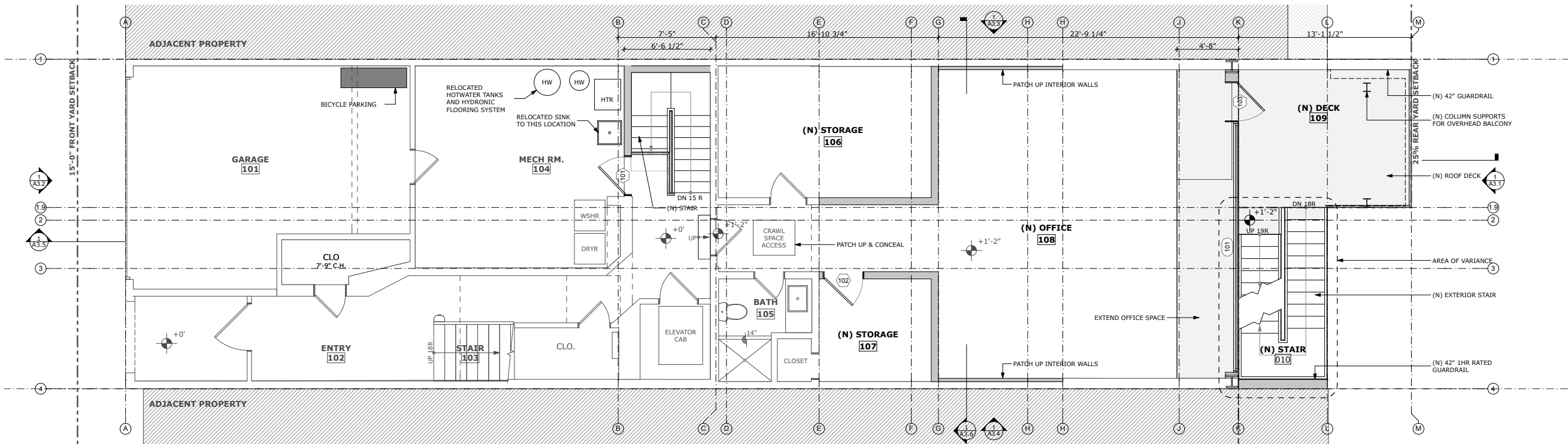
## WALL LEGEND

|   |                             |
|---|-----------------------------|
|  | EXISTING WALL TO BE REMOVED |
|  | EXISTING WALL               |
|  | NEW WALL                    |

BUTLER ARMSDEN  
ARCHITECTS

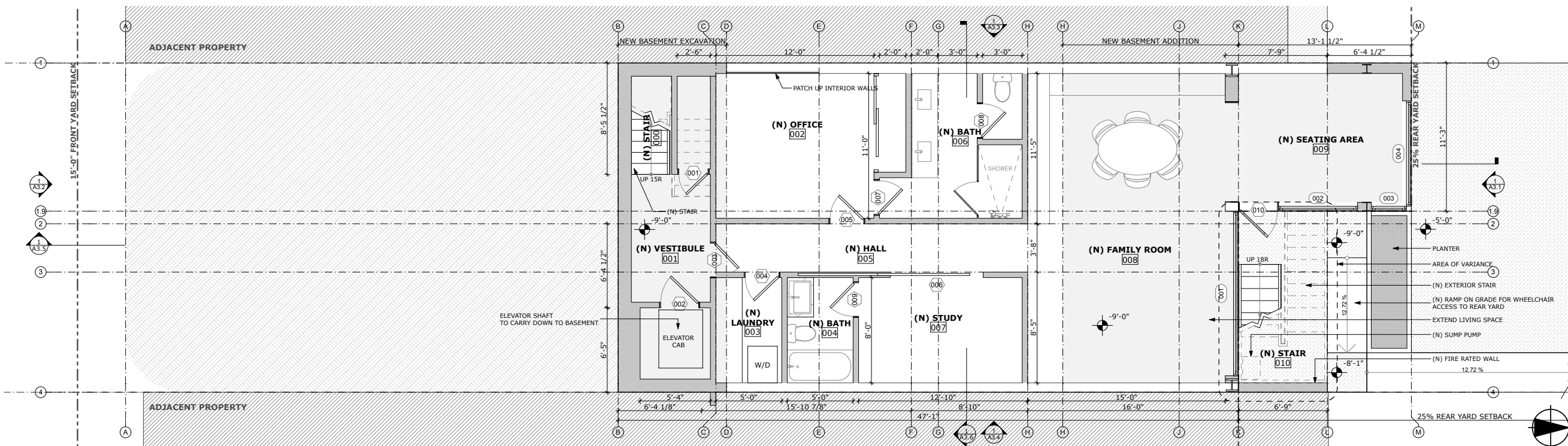
1420 SUTTER STREET 1ST FLOOR  
SAN FRANCISCO, CA 94109  
BUTLERARMSDEN.COM  
E INFO@BUTLERARMSDEN.COM  
T 415-674-5554  
F 415-674-5558

**KRAMLICH RESIDENCE**  
2462 FILBERT STREET, SAN FRANCISCO, CA 94123



**1 PROPOSED GROUND FLOOR PLAN**



SCALE: 1/4" = 1'-0"



**2 PROPOSED BASEMENT PLAN**

SCALE: 1/4" = 1'-0"

## SITE PERMIT

|  |          |
|--|----------|
| REVISIONS:   | BY:      |
|  REVISIONS 04/30/15 | JJ/FE    |
|  REVISIONS 06/30/15 | JJ/FE    |
|  |          |
|  |          |
|  |          |
|  |          |
| JOB#:  | 1431     |
| DATE:  | 7/1/15   |
| DRAWN:   | JJ       |
| CHECKED:   | FE       |
| SCALE:   | AS NOTED |




**BASEMENT & FIRST FLOOR  
PROPOSED PLAN**

**A2.1**



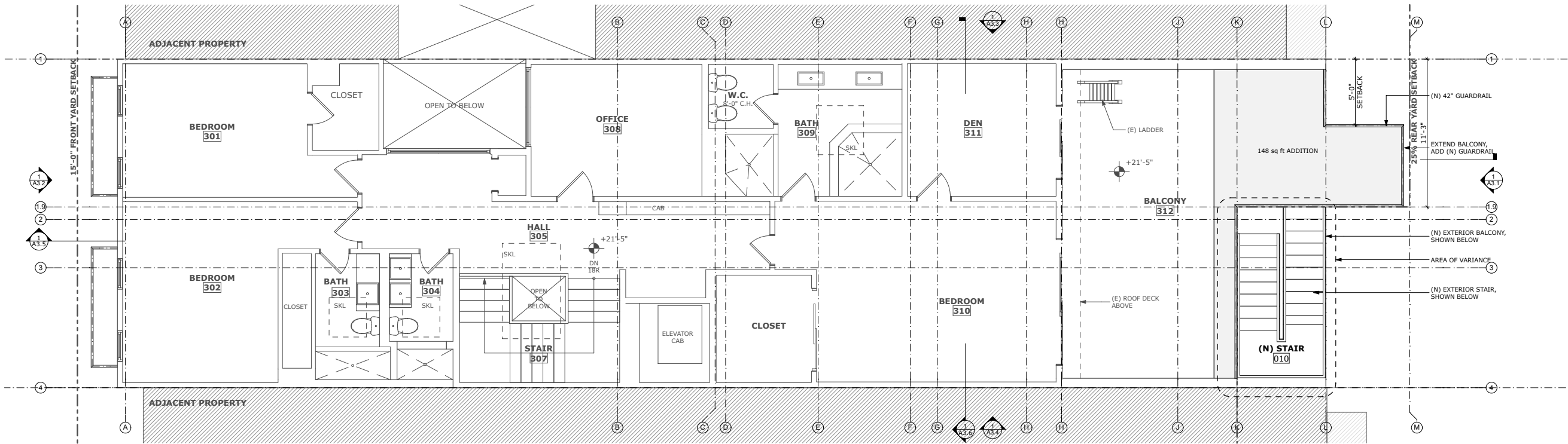
Volumes/bas-projects/projects-folder/Projects - Active/Jobs 1400/1431 Kramlich v8\_Arch/CAD/8.02 Project Drawings/A2 - Plans/Schematic Design/1431 Kramlich\_SD Option 2A.pln

## WALL LEGEND

|   |                             |
|---|-----------------------------|
|  | EXISTING WALL TO BE REMOVED |
|  | EXISTING WALL               |
|  | NEW WALL                    |

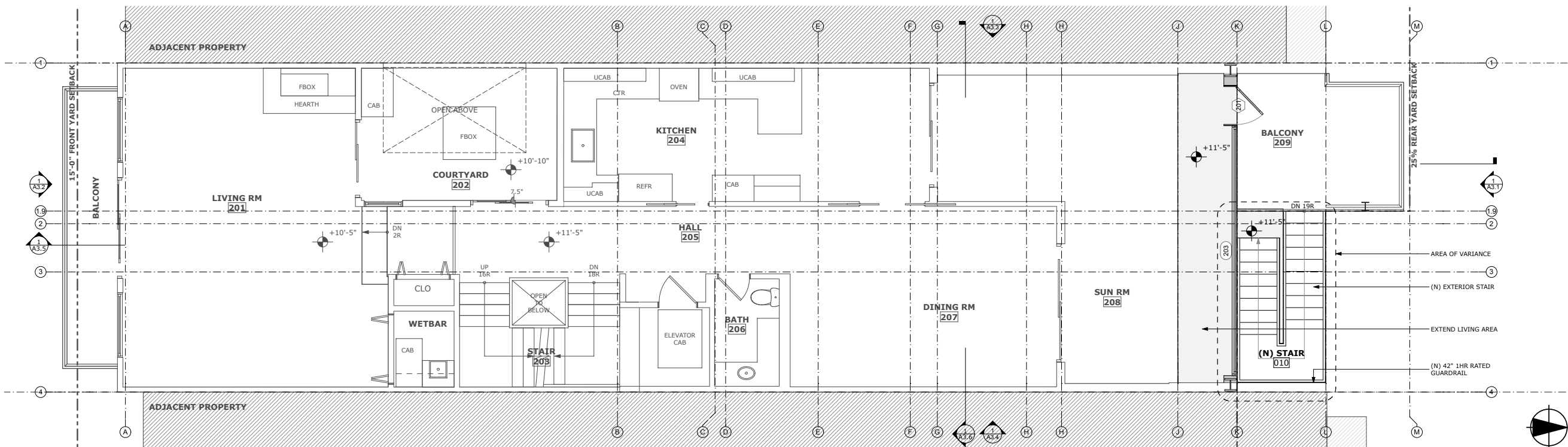
BUTLER ARMSDEN  
ARCHITECTS

1420 SUTTER STREET 1ST FLOOR  
SAN FRANCISCO, CA 94109  
BUTLERARMSDEN.COM  
E INFO@BUTLERARMSDEN.COM  
T 415-674-5554  
F 415-674-5558



## 2 PROPOSED THIRD FLOOR PLAN



SCALE: 1/4" = 1'-0"



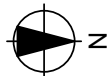
## 1 PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

## SITE PERMIT

|  |       |
|--|-------|
| REVISIONS:   | BY:   |
|  REVISIONS 04/30/15 | JJ/FE |
|  REVISIONS 06/30/15 | JJ/FE |
|  |       |
|  |       |
|  |       |

|          |          |
|----------|----------|
| JOB#:    | 1431     |
| DATE:    | 7/1/15   |
| DRAWN:   | JJ       |
| CHECKED: | FE       |
| SCALE:   | AS NOTED |



SECOND &  
THIRD FLOOR  
PROPOSED PLAN

KRAMLICH RESIDENCE  
2462 FILBERT STREET, SAN FRANCISCO, CA 94123

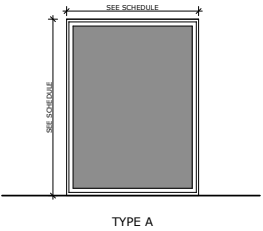
A2.2







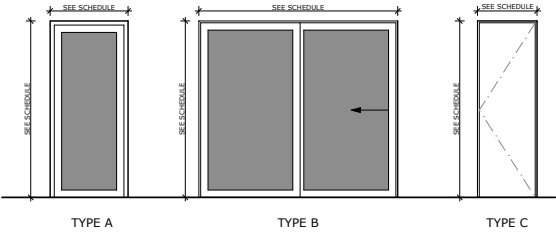
/Volumes/baa-projects/projects-folder/Projects - Active/Jobs 1400/1431\_Kramlich/8\_Arch/CAD/8.02 Project Drawings/A2 - Plans/Schematic Design/1431\_Kramlich\_SD Option 2A.pln



| WINDOW SCHEDULE |      |              |                  |           |       |          |        |          |               |
|-----------------|------|--------------|------------------|-----------|-------|----------|--------|----------|---------------|
| MARK            | TYPE | MANUFACTURER | W x H            | OPERATION | GLASS | MATERIAL | FINISH | HARDWARE | NOTES/REMARKS |
| 001             | A    | FLEETWOOD    | 12'-6"x8'-0"     | FIXED     |       | ALUM.    |        |          |               |
| 002             | A    | FLEETWOOD    | 6'-0"x8'-0"      | FIXED     |       | ALUM.    |        |          |               |
| 003             | A    | FLEETWOOD    | 2'-8"x4'-0"      | FIXED     |       | ALUM.    |        |          |               |
| 004             | A    | FLEETWOOD    | 8'-0"x4'-0"      | FIXED     |       | ALUM.    |        |          |               |
| 101             | A    | FLEETWOOD    | 3'-9"x8'-0"      | FIXED     |       |          |        |          |               |
| 101             | A    | FLEETWOOD    | 3'-9"x8'-0"      | FIXED     |       |          |        |          |               |
| 101             | A    | FLEETWOOD    | 3'-9"x8'-0"      | FIXED     |       |          |        |          |               |
| 101             | A    | FLEETWOOD    | 3'-9"x8'-0"      | FIXED     |       |          |        |          |               |
| 101             | A    | FLEETWOOD    | 3'-9"x2'-11 3/4" | FIXED     |       |          |        |          |               |
| 101             | A    | FLEETWOOD    | 9'-6"x2'-11 3/4" | FIXED     |       |          |        |          |               |
| 101             | A    | FLEETWOOD    | 3'-9"x2'-11 3/4" | FIXED     |       |          |        |          |               |
| 101             | A    | FLEETWOOD    | 19'-0"x8'-0"     | FIXED     |       | ALUM.    |        |          |               |
| 203             | A    | FLEETWOOD    | 19'-0"x8'-0"     | FIXED     |       | ALUM.    |        |          |               |

2

WINDOW SCHEDULE



| DOOR SCHEDULE |      |              |        |        |           |          |        |       |              |             |         |
|---------------|------|--------------|--------|--------|-----------|----------|--------|-------|--------------|-------------|---------|
| MARK          | TYPE | MANUFACTURER | WIDTH  | HEIGHT | THK.      | MATERIAL | FINISH | GLASS | HARDWARE SET | ORIENTATION | REMARKS |
| 001           | C    | TBD          | 2'-4"  | 6'-0"  | 0'-1 3/4" | WOOD     |        |       |              | L           |         |
| 002           | C    | TBD          | 3'-0"  | 7'-6"  | 0'-1 3/4" | WOOD     |        |       |              | R           |         |
| 003           | C    | TBD          | 2'-8"  | 7'-6"  | 0'-1 3/4" | WOOD     |        |       |              | L           |         |
| 004           | C    | TBD          | 2'-8"  | 8'-0"  | 0'-1 3/4" | WOOD     |        |       |              | L           |         |
| 005           | C    | TBD          | 2'-8"  | 8'-0"  | 0'-1 3/4" | WOOD     |        |       |              | R           |         |
| 006           | C    | TBD          | 7'-0"  | 8'-0"  | 0'-2"     | WOOD     |        |       |              | L           |         |
| 007           | C    | TBD          | 2'-8"  | 8'-0"  | 0'-1 3/4" | WOOD     |        |       |              | R           |         |
| 008           | C    | TBD          | 2'-8"  | 8'-0"  | 0'-1 3/4" | WOOD     |        |       |              | R           |         |
| 009           | C    | TBD          | 2'-8"  | 8'-0"  | 0'-1 3/4" | WOOD     |        |       |              | R           |         |
| 010           | C    | TBD          | 3'-0"  | 8'-0"  | 0'-1 3/4" | WOOD     |        |       |              | R           |         |
| 101           | C    | TBD          | 2'-10" | 6'-8"  | 0'-1 3/8" | WOOD     |        |       |              | L           |         |
| 102           | C    | TBD          | 2'-11" | 6'-8"  | 0'-1 3/8" | WOOD     |        |       |              | R           |         |
| 103           | C    | TBD          | 3'-0"  | 8'-0"  | 0'-1 3/8" | WOOD     |        |       |              | L           |         |
| 201           | C    | TBD          | 3'-0"  | 8'-0"  | 0'-1 3/8" | WOOD     |        |       |              | L           |         |
| 401           | C    | FLEETWOOD    | 3'-6"  | 6'-8"  | 0'-1 3/8" | ALUM.    |        |       |              | L           |         |

1

DOOR SCHEDULE

WALL LEGEND

|  |                             |
|--|-----------------------------|
|  | EXISTING WALL TO BE REMOVED |
|  | EXISTING WALL               |
|  | NEW WALL                    |

BUTLER ARMSDEN  
ARCHITECTS

1420 SUTTER STREET 1ST FLOOR  
SAN FRANCISCO, CA 94109  
BUTLERARMSDEN.COM

E INFO@BUTLERARMSDEN.COM  
T 415-674-5554  
F 415-674-5558

KRAMLICH RESIDENCE  
2462 FILBERT STREET, SAN FRANCISCO, CA 94123

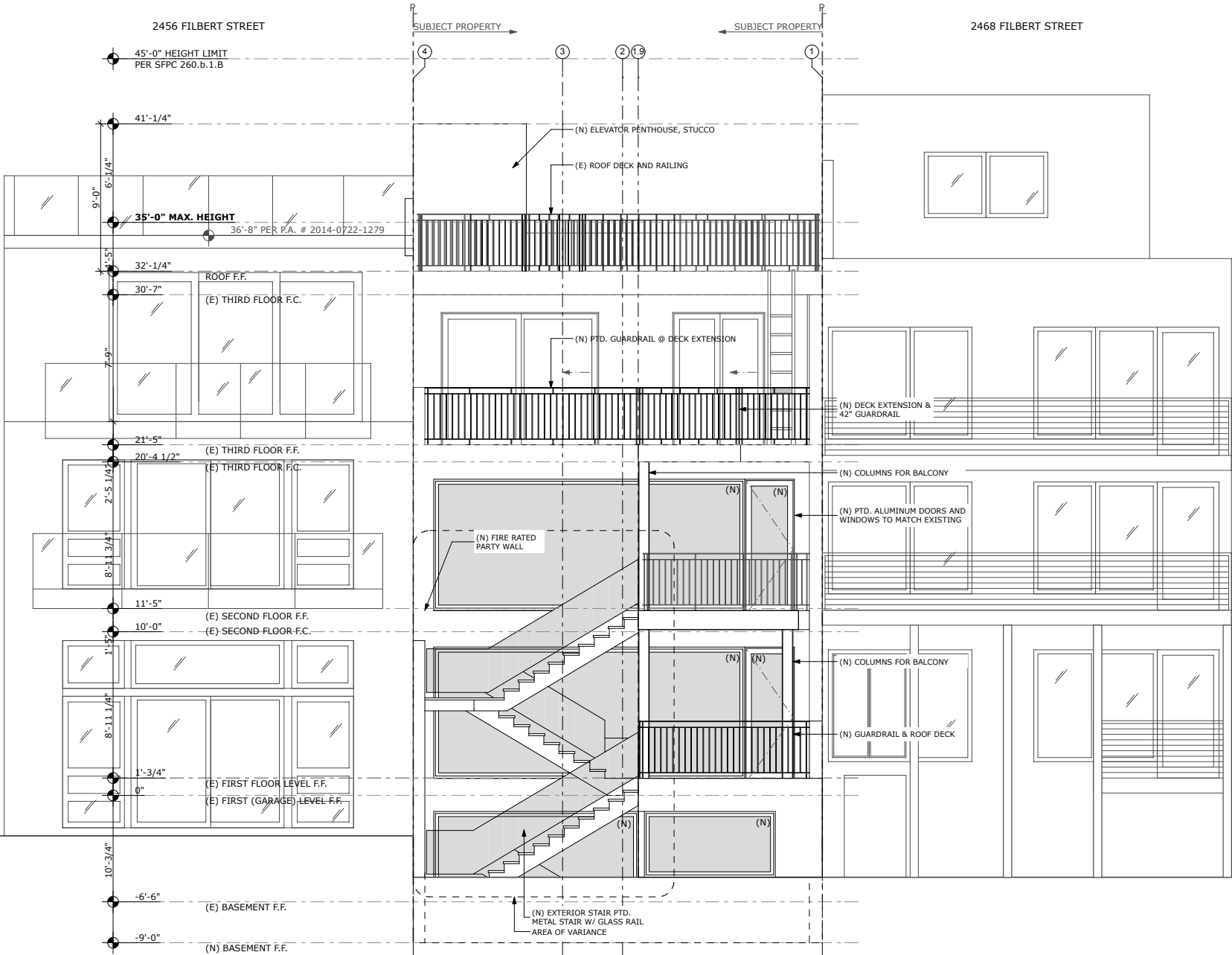
SITE PERMIT

|                    |       |
|--------------------|-------|
| REVISIONS:         | BY:   |
| REVISIONS 04/30/15 | JJ/FE |
|                    |       |
|                    |       |
|                    |       |
|                    |       |
|                    |       |

|          |          |
|----------|----------|
| JOB#:    | 1431     |
| DATE:    | 7/1/15   |
| DRAWN:   | JJ       |
| CHECKED: | FE       |
| SCALE:   | AS NOTED |

SCHEDULES





**1 PROPOSED NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**SITE PERMIT**

| REVISIONS:           | BY:   |
|----------------------|-------|
| △ REVISIONS 04/30/15 | JJ/FE |
| △ REVISIONS 06/30/15 | JJ/FE |
|                      |       |
|                      |       |
|                      |       |
|                      |       |

|          |          |
|----------|----------|
| JOB#:    | 1431     |
| DATE:    | 7/1/15   |
| DRAWN:   | JJ       |
| CHECKED: | FE       |
| SCALE:   | AS NOTED |

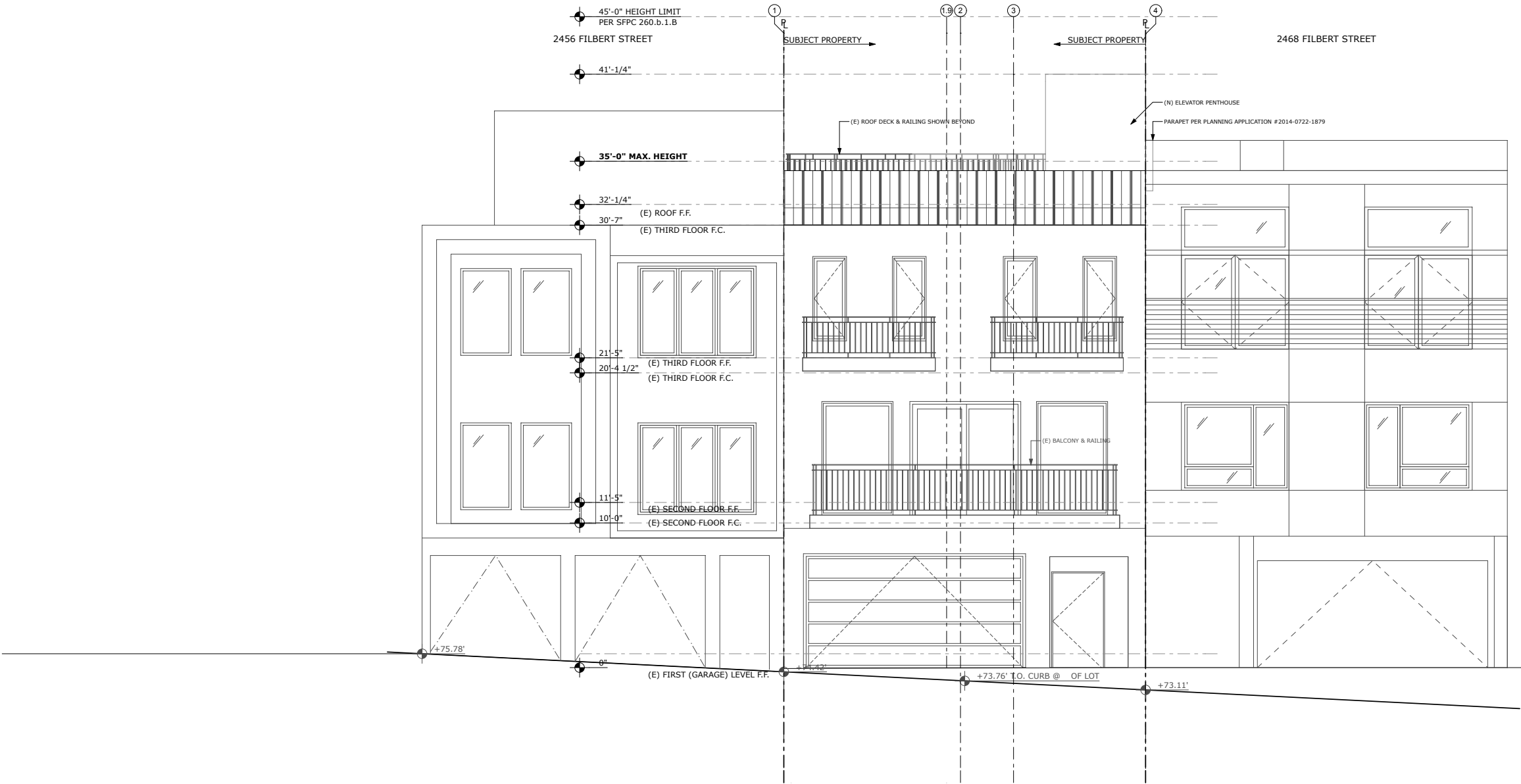
**EXTERIOR  
ELEVATIONS**



Volumes/bas-projects/projects-folder/Projects - Active/Jobs 1400/1431 Kramlich/8.02 Project Drawings/A2 - Plans/Schematic Design/1431 Kramlich\_SD Option 2A.pln

1420 SUTTER STREET 1ST FLOOR  
SAN FRANCISCO, CA 94109  
BUTLERARMSDEN.COM  
E INFO@BUTLERARMSDEN.COM  
T 415-674-5554  
F 415-674-5558

KRAMLICH RESIDENCE  
2462 FILBERT STREET, SAN FRANCISCO, CA 94123



1 PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

SITE PERMIT

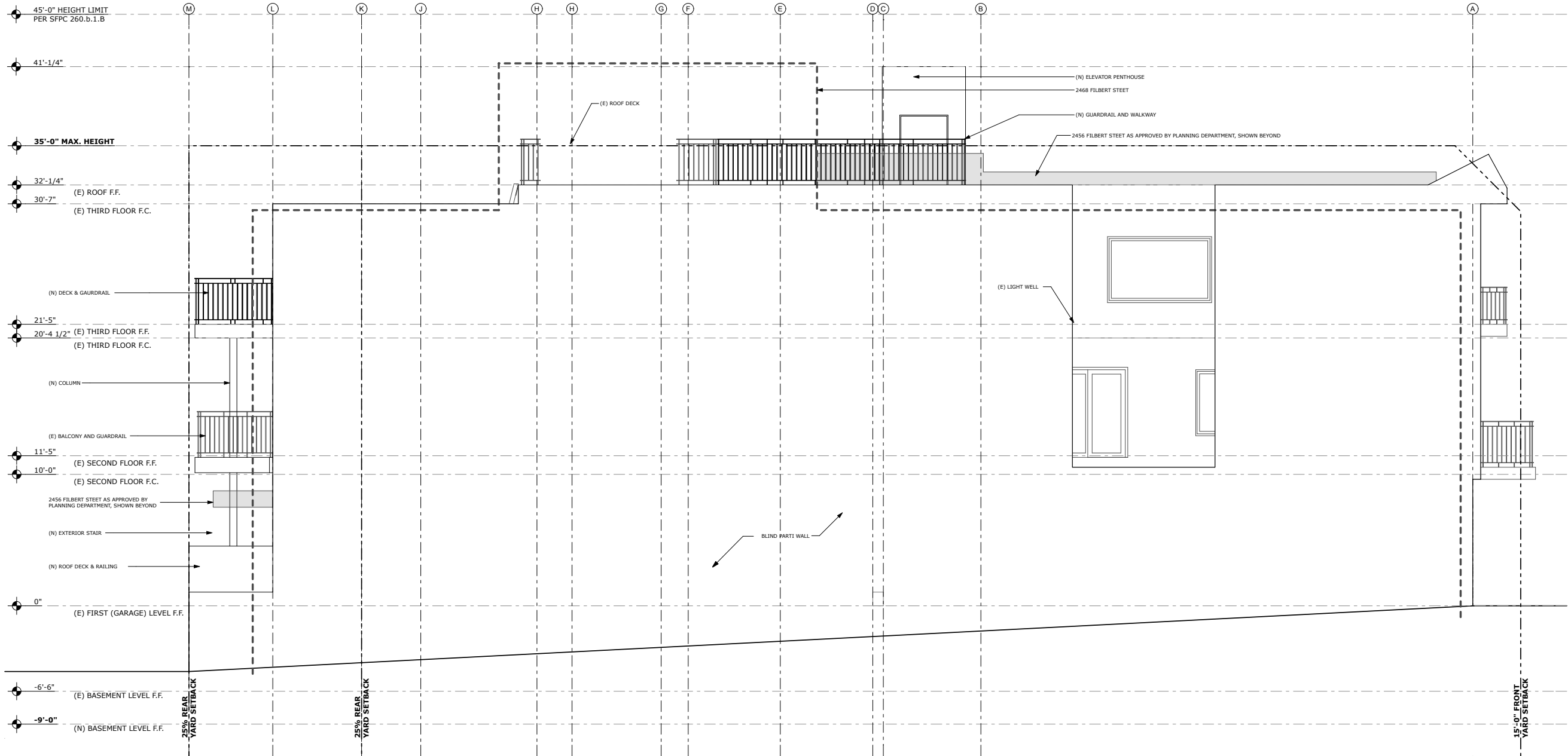
| REVISIONS: | BY: |
|------------|-----|
|            |     |
|            |     |
|            |     |
|            |     |
|            |     |
|            |     |

|          |          |
|----------|----------|
| JOB#:    | 1431     |
| DATE:    | 7/1/15   |
| DRAWN:   | JJ       |
| CHECKED: | FE       |
| SCALE:   | AS NOTED |

EXTERIOR  
ELEVATIONS



Volumes/bas-projects/projects-folder/Projects - Active/Jobs 1400/1431 Kramlich/8. Arch/CAD/8.02 Project Drawings/A2 - Plans/Schematic Design/1431 Kramlich\_SD Option 2A.pln



SITE PERMIT

| REVISIONS:         | BY:   |
|--------------------|-------|
| REVISIONS 04/30/15 | JJ/FE |
| REVISIONS 06/30/15 | JJ/FE |
|                    |       |
|                    |       |
|                    |       |
|                    |       |

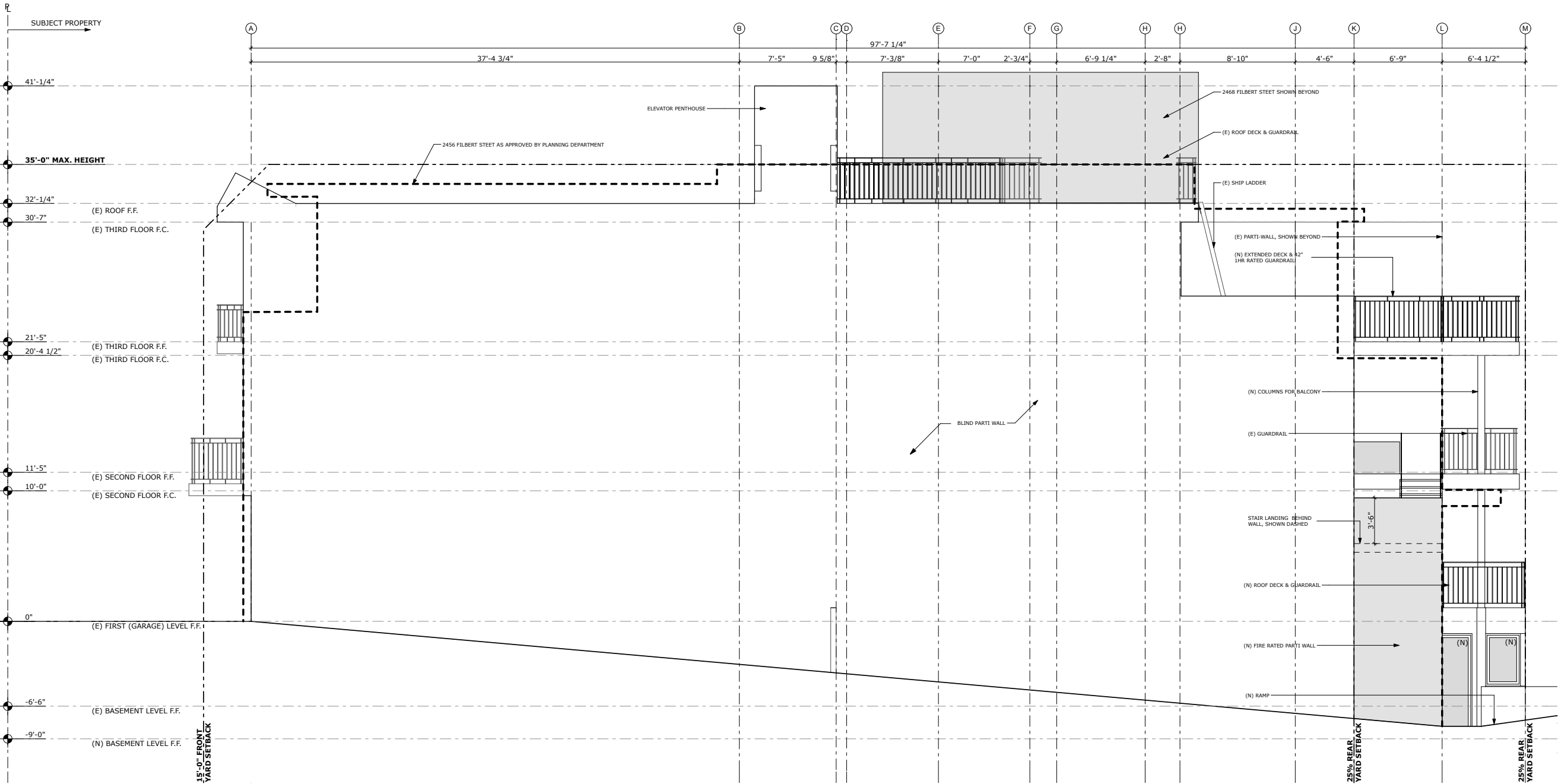
|          |          |
|----------|----------|
| JOB#:    | 1431     |
| DATE:    | 7/1/15   |
| DRAWN:   | JJ       |
| CHECKED: | FE       |
| SCALE:   | AS NOTED |

EXTERIOR  
ELEVATIONS

1 PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"





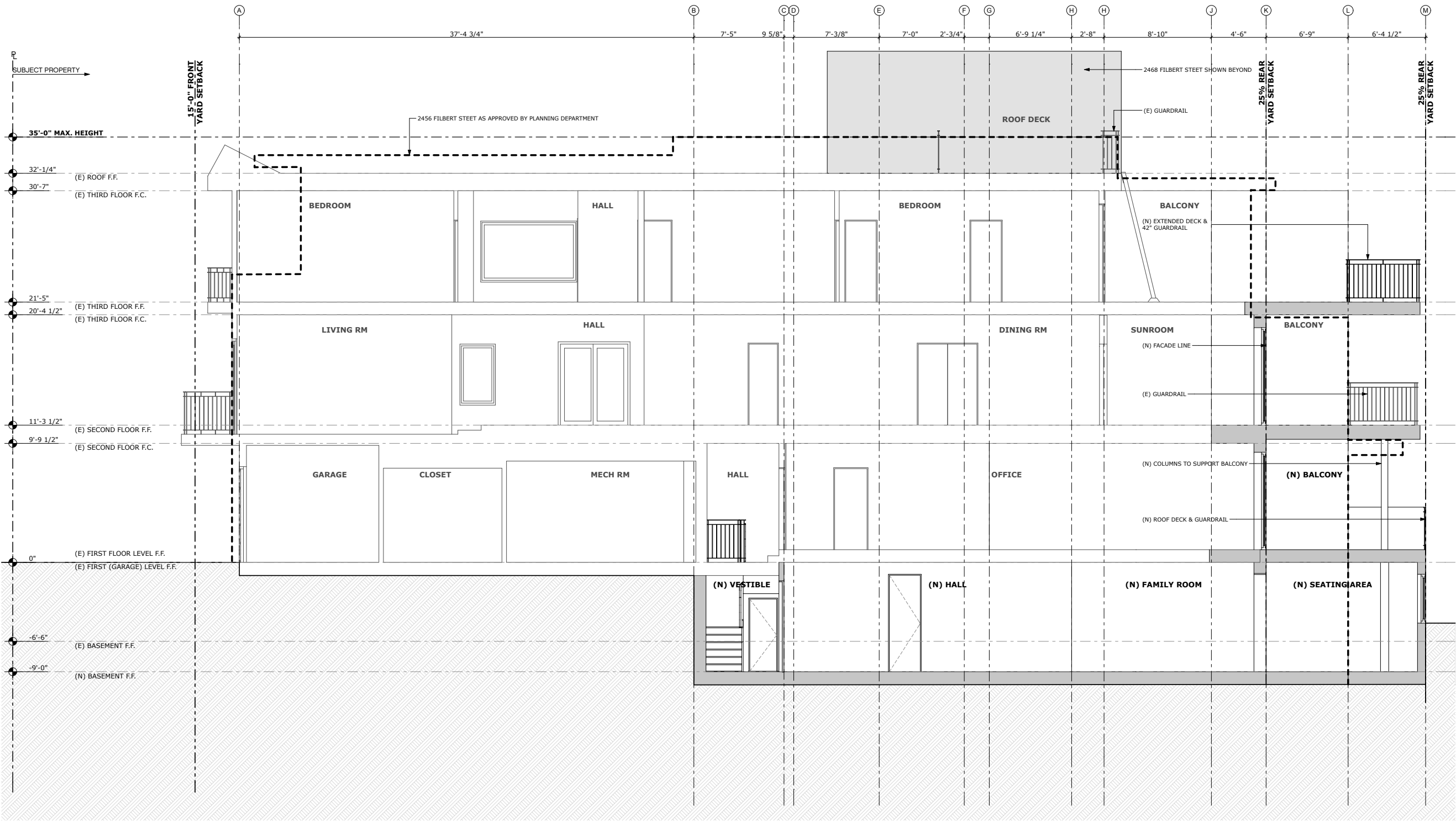
SITE PERMIT

| REVISIONS:           | BY:   |
|----------------------|-------|
| Δ REVISIONS 04/30/15 | JJ/FE |
|                      |       |
|                      |       |
|                      |       |
|                      |       |

|          |          |
|----------|----------|
| JOB#:    | 1431     |
| DATE:    | 7/1/15   |
| DRAWN:   | JJ       |
| CHECKED: | FE       |
| SCALE:   | AS NOTED |

EXTERIOR  
ELEVATIONS





SITE PERMIT

| REVISIONS:         | BY:   |
|--------------------|-------|
| REVISIONS 04/30/15 | JJ/FE |
| REVISIONS 06/30/15 | JJ/FE |
|                    |       |
|                    |       |
|                    |       |
|                    |       |

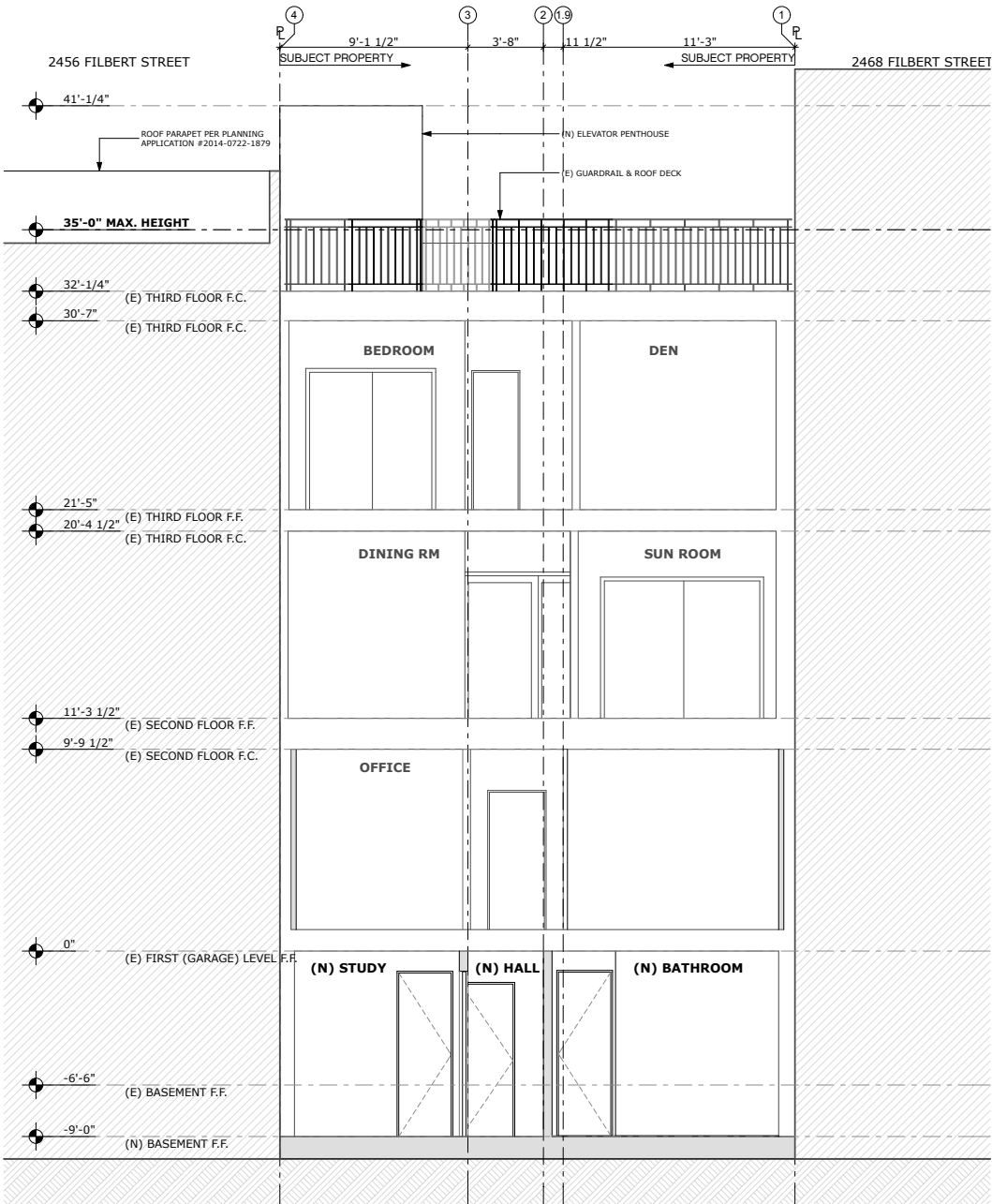
|          |          |
|----------|----------|
| JOB#:    | 1431     |
| DATE:    | 7/1/15   |
| DRAWN:   | JJ       |
| CHECKED: | FE       |
| SCALE:   | AS NOTED |

LONGITUDINAL  
SECTION

1 PROPOSED LONGITUDINAL SECTION  
SCALE: 1/4" = 1'-0"



Volumes/bas-projects/projects-folder/Projects - Active/Jobs 1400/1431 Kramlich/8. ArchiCAD/8.02 Project Drawings/A2 - Plans/Schematic Design/1431 Kramlich\_SD Option 2A.pln



1 PROPOSED CROSS SECTION

SCALE: 1/4" = 1'-0"

SITE PERMIT

| REVISIONS: | BY: |
|------------|-----|
|            |     |
|            |     |
|            |     |
|            |     |
|            |     |
|            |     |

|          |          |
|----------|----------|
| JOB#:    | 1431     |
| DATE:    | 7/1/15   |
| DRAWN:   | JJ       |
| CHECKED: | FE       |
| SCALE:   | AS NOTED |

CROSS SECTION



## **EXHIBIT B**













**2462 FILBERT STREET**

EXAMPLE OF NEIGHBORHOOD PENTHOUSE  
@ 2468 FILBERT ST. (ADJACENT PROPERTY)





**2462 FILBERT STREET**

EXAMPLE OF NEIGHBORHOOD PENTHOUSES @ STEINER ST. AND MOULTON ST. (2 BLOCKS NORTHEAST OF SITE)





**2462 FILBERT STREET**

EXAMPLE OF NEIGHBORHOOD PENTHOUSE  
@ UNION ST. AND SCOTT ST. (1 BLOCK FROM SITE)





**2462 FILBERT STREET**

EXAMPLE OF NEIGHBORHOOD PENTHOUSE  
@ 2437 FILBERT ST. (ACROSS FROM SITE)





**2462 FILBERT STREET**

EXAMPLE OF NEIGHBORHOOD PENTHOUSE @  
FILBERT ST. NEAR PIERCE ST. (TO EAST OF SITE)





**2462 FILBERT STREET**

EXAMPLE OF NEIGHBORHOOD PENTHOUSE @  
FILBERT ST. NEAR STEINER ST. (TO EAST OF SITE)





**2462 FILBERT STREET**

EXAMPLE OF NEIGHBORHOOD PENTHOUSE  
@ UNION ST. AND PIERCE ST.







**2462 FILBERT STREET**

EXAMPLE OF NEIGHBORHOOD PENTHOUSE @  
GREEN ST. NEAR SCOTT ST. (2 BLOCKS SOUTH)







## **EXHIBIT C**













2456 WITHOUT VERTICAL  
ADDITION

PROPOSED PENTHOUSE

DISTORTED SKETCH BY DESIGN  
REVIEW REQUESTER

2462

2456

A

2462 FILBERT STREET

PHOTO A





VERTICAL ADDITION  
UNDER CONSTRUCTION

PENTHOUSE NOT VISIBLE



DISTORTED SKETCH BY DESIGN  
REVIEW REQUESTER

2462

2456

B

2462 FILBERT STREET

PHOTO B





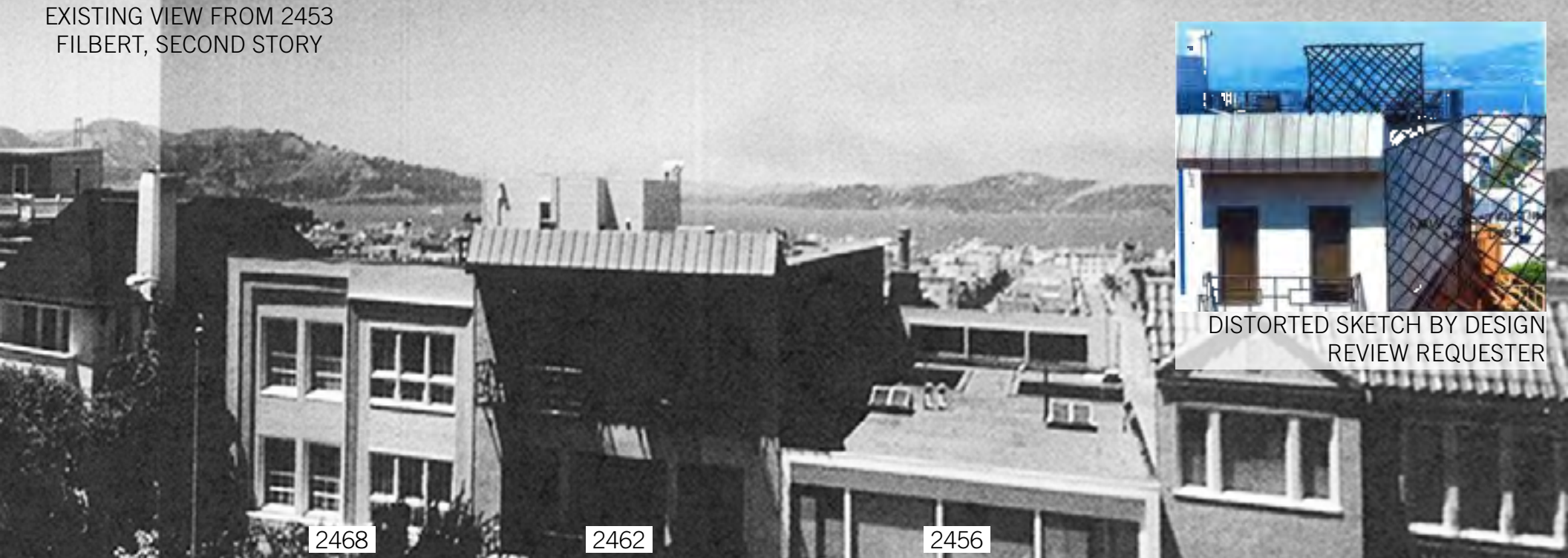
C

2462 FILBERT STREET

PHOTO C



EXISTING VIEW FROM 2453  
FILBERT, SECOND STORY



DISTORTED SKETCH BY DESIGN  
REVIEW REQUESTER



(E) PENTHOUSE @  
2468 FILBERT STREET

PROPOSED  
PENTHOUSE

VERTICAL ADDITION CURRENTLY  
UNDER CONSTRUCTION

D

2462 FILBERT STREET

PHOTO D





PROPOSED PENTHOUSE SHOWN  
BEHIND (E) NEIGHBOR

E

2462 FILBERT STREET

PHOTO E



PROPOSED PENTHOUSE SHOWN  
BEHIND (E) NEIGHBOR



F