



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Full Analysis

HEARING DATE: JUNE 15, 2017

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: June 5, 2017
Case No.: **2015-003686DRP-04,-05,-06,-07**
Project Address: **437 Hoffman Avenue**
Permit Application: 2014.04.11.3029
Zoning: RH-2 [Residential House, Two-Family]
40-X Height and Bulk District
Block/Lot: 6503/024
Project Sponsor: Kelly Condon
443 Joost Avenue
San Francisco, CA 94127
Staff Contact: Nancy Tran – (415) 575-9174
Nancy.H.Tran@sfgov.org
Recommendation: **Do not take DR and approve as proposed**

PROJECT DESCRIPTION

The proposal is to construct additions to the existing single-family residence and increase the dwelling count from one to two units. The project includes extensive interior remodeling and exterior changes such as lifting the building to install a two car garage, front porch, entry stairs and rear terraces. The project does not constitute tantamount to demolition per the thresholds outlined in Planning Code Section 317.

BACKGROUND

In December 2015, three public-initiated Discretionary Reviews were filed for the proposed addition to expand the existing single-family dwelling at 437 Hoffman Avenue. Upon further review, the Project was determined to be tantamount to demolition. The Project Sponsor subsequently submitted a Conditional Use Authorization application for tantamount to demolition with revised plans introducing a second unit on site. The Discretionary Review applications were closed and superseded by the Conditional Use Authorization.

On June 2, 2016, the Planning Commission continued the Conditional Use hearing to June 30, 2016. On June 30, 2016, the Commission deliberated on the proposed tantamount to demolition and directed the Project Sponsor to revisit the design based on suggestions from the Commission and neighbors. The Commission made a motion to continue the item to October 20, 2016 but did not specify directives requiring certain project changes.

Prior to the scheduled October 20, 2016 hearing, the Project Sponsor requested an indefinite continuance to consider design alternatives and understand how pending Planning Code Section 317 changes will affect the Project. Instead of an indefinite continuance, the Commission continued the project to January 19, 2017.

Following formal submittal of revised plans, staff determined that Conditional Use Authorization was no longer required as the Project was modified to not exceed Planning Code Section 317 demolition thresholds. Upon the request of the Project Sponsor, the Conditional Use Authorization was officially withdrawn at the Commission's January 19, 2017 hearing.

Since Section 311 neighborhood notification in 2015, the following plan changes have been made:

- Introduce second dwelling unit to maximize density
 - Unit one: approx. 3,300 sq. ft., 4 bed with terrace open space
 - Unit two: approx. 1,500 sq. ft., 1 bed + study with rear yard open space
- Retain greater amount of existing building (previously tantamount to demolition)
- Preserve existing street tree by relocating proposed garage
- Reduce building massing and gross floor area
 - Remove rear yard projections allowed under Section 136 (terraces at basement & 1st levels), proposing planter to prevent future construction in the area
 - Revise proposed rear roof form on addition from flat to sloping
 - Expand lightwell to maximize light along northerly property line
 - Decrease building envelope at 3rd level, providing side setback from northerly building
 - Match rear building wall of northerly property
 - Increase side setback at rear along southerly property line
- Modify window arrangement and introduce frosted glass to reduce privacy impacts

ISSUES AND OTHER CONSIDERATIONS

On September 25, 2008, the Planning Commission approved a Dwelling Unit Merger for property located at 437 Hoffman Avenue. The project merged two legal dwelling units (one 1,400 sq. ft. unit on the upper level and the second, a 715 sq. ft. lower unit with existing substandard headroom clearance) into a single-family house with three bedrooms and two baths. The Commission determined that no modifications to the projects were necessary and instructed staff to approve the project per plans as the proposal complied with Planning Code, General Plan and conformed to the Residential Design Guidelines.

On October 28, 2013, the Department of Public Works approved an application for the removal and replacement of one street tree adjacent to 437 Hoffman Avenue. The applicant proposed to construct a driveway at the existing tree location leading to a new garage on the subject address.

As of April 2016, the appraised property value of 437 Hoffman was \$2,000,000. Per the San Francisco Rent Board, single-family homes do not have limits on rent increases and thus, alteration of the subject property will not cause a loss in rent-controlled housing.

SITE DESCRIPTION AND PRESENT USE

The project site is on the east side of Hoffman Avenue, between 24th and 25th Streets, Lot 024 in Assessor's Block 6503 and is located within the RH-2 (Residential House, Two-Family) Zoning District with a 40-X Height and Bulk designation. The 3,375 SF downward sloping lot (from front and right side) has 27' of frontage and a depth of 125'. On site is an existing ~2,500 gross floor area, three-story over basement single-family dwelling with no off-street parking that was constructed circa 1905.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The subject property is located on the eastern side of Noe Valley and District 8. Parcels within the immediate vicinity consist of residential single-, two- and three-family dwellings of varied design and construction dates. Most properties on the east side of Hoffman Avenue slope down from the street at 20% or more in grade in addition to laterally sloping up toward 25th Street. Nearby architectural styles include Marina, Craftsman, in-fill mid-century modern and some recent eclectic constructions. Building heights, depths, presence of garage openings and front/rear setbacks differ within the subject property neighborhood.

BUILDING PERMIT NOTIFICATION

| TYPE | REQUIRED PERIOD | NOTIFICATION DATES | DR FILE DATE | DR HEARING DATE | FILING TO HEARING TIME |
|------------|-----------------|-------------------------|---------------|-----------------|------------------------|
| 311 Notice | 30 days | Feb. 15 – Mar. 17, 2017 | Mar. 17, 2017 | June 15, 2017 | 90 days |

HEARING NOTIFICATION

| TYPE | REQUIRED PERIOD | REQUIRED NOTICE DATE | ACTUAL NOTICE DATE | ACTUAL PERIOD |
|---------------|-----------------|----------------------|--------------------|---------------|
| Posted Notice | 10 days | June 5, 2017 | June 2, 2017 | 13 days |
| Mailed Notice | 10 days | June 5, 2017 | June 5, 2017 | 10 days |

PUBLIC COMMENT

| | SUPPORT | OPPOSED | NO POSITION |
|--|---------|---------|-------------|
| Adjacent neighbor(s) | - | 3 | - |
| Other neighbors on the block or directly across the street | - | 5 | - |
| Neighbors from other blocks | - | 5 | - |
| Neighborhood groups | 1 | 1 | - |

- The Project Sponsor held four pre-application meetings, including one facilitated at the Planning Department. The Project Sponsor also conducted additional outreach and has extensively communicated one-on-one with neighbors and other interested parties to discuss the project.
- The Department received one (1) letter from Progress Noe Valley in support of the proposed project citing its code compliance and the need for more housing. The Department received 14 comments from Noe Neighborhood Council, neighbors adjacent, within and outside the block with concerns over the proposed Project's: scale (height/depth), setbacks, design, impacts to light/privacy, neighborhood character and mid-block open space.

DR REQUESTORS

DR #4 – Janet Fowler, 434 Hoffman Avenue, San Francisco, CA 94114

Requestor is the abutter located across the street (west) of the subject property.

DR #5 – Ernie Beffel, 70 Homestead Street, San Francisco, CA 94114

Requestor is located within the same block of the subject property

DR #6 – R. Gene Geisler, 433 Hoffman Avenue, San Francisco, CA 94114

Requestor is the abutter located directly north of the subject property.

DR #7 – Paul Lefebvre & Stephen Baskerville, 439 Hoffman Avenue, San Francisco, CA 94114

Requestor is the abutter located directly south of the subject property.

DR applications #1-3 submitted in response to Section 311 neighborhood notification in 2015 were withdrawn. Due to the Project's scope change, new neighborhood notification was required and subsequently four DR applications (#4-7) were filed.

See attached *Discretionary Review Applications*.

DR #4 - Dated March 17, 2017

DR #5 - Dated March 17, 2017

DR #6 - Dated March 17, 2017

DR #7 - Dated March 16, 2017

DR REQUESTORS' CONCERNS AND PROPOSED ALTERNATIVES

Issue #1: The project is out-of-scale, does not maintain the side spacing pattern and will box in adjacent neighbors.

Issue #2: The project does not respect the roofline progression and is incompatible with the neighborhood character.

Issue #3: The project will significantly reduce the mid-block open space.

Issue #4: The project will impact light and privacy.

Alternative Proposed: The DR Requestors recommend reducing the project's scale, eliminating the garage, providing a sloped roof for the entirety of the building and terracing the rear massing. The requestors also propose maintaining existing side spacing along the northerly property line as well as retaining more building elements such as the façade.

Reference the attached *Discretionary Review Applications* for additional information.

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

Issue #1: The project "is a full story lower than several buildings directly across the street" and below the allowable height limit per Planning Code. The project's scale has been reduced by decreasing the ceiling height, removing proposed massing at the top story, aligning the depth with the northerly neighbor's rear wall and recessing the building away from the southerly property. As designed, "the building is as low as it can be in order to accommodate a driveway without a car bottoming out." The proposed side expansion is in context with surrounding properties as the majority of buildings on this street do not provide breezeways. The subject property is one of three buildings on the east side of Hoffman Avenue that provide a breezeway; none are provided on the opposite side of the street. The "breezeway is neither part of neighborhood character – nor is it a matched feature" with the adjacent northerly property.

Issue #2: Building height and style vary on both sides of Hoffman Avenue. As designed, the project will maintain a historic look and "will look almost identical to other buildings on this same block." The presence of garages also vary; 7 out of 16 buildings (44%) on the east side and all 18 (100%) on the west side of Hoffman Avenue have garages.

Issue #3: The site design meets the 45% rear yard requirement per Planning Code. Reducing the project depth to the average of adjacent rear walls would limit the depth 9' – 6 ¼" before the standard 45% setback line. The Residential Design Team had no issue with the structure's proposed depth as it meets Residential Design Guidelines.

Issue #4: To minimize light impacts, the rear roof changed from flat to sloped and the project matches the adjacent enclosed lightwell, removing massing at the top story to provide an opening "all the way to the rearmost wall – so that light is less impeded than it would be by a closed lightwell condition." The building will "not cast a shadow" on the southerly lot. With respect to privacy, the Project Sponsor has addressed massing at the rear through the following changes: removed two lower rear decks, reduced building depth and decks to align with rear wall of the northerly property, stepped back the top story rear wall from lower floors, increased building and deck recess from the southerly property line as well as introduced frosted railing/glass facing adjacent northerly and southerly properties.

See attached *Response to Discretionary Review*, dated June 1, 2016.

PROJECT ANALYSIS

The subject property is a developed downsloping mid-block lot located in an area of mixed visual character and scale. Buildings on the west side of Hoffman Avenue range from one to three levels while those on the block face range from three to four levels at the rear as the topography slopes steeply from the street. Building depths in the vicinity are also varied: some as shallow as 45', others extending upwards to 80' and one with nearly 100% lot coverage. The project will be approximately 28' – 3" in height as measured from the building centerline at the curb (per Section 260) with three stories over basement. The building will be approximately seven feet below the 35 foot height maximum allowed per Planning Code Section 261 since the ground elevation slopes down approximately 20 feet from the front to rear property lines. Its rear wall will align with the adjacent northerly property but the proposed depth will be less as the subject property is setback further from the front property line.

Side setbacks existing between properties also vary; on the same block face, there are buildings constructed to the maximum lot width, others are setback for a portion then extend to the side lot line toward the structure's rear, and few provide a setback for the entire lot length. In the immediate context, the two structures north of 437 Hoffman Avenue are built to both side lot lines while the two located south provide a shared side setback. There does not appear to be an established, consistent side pattern of an open breezeway extending from front to rear property lines along the block face or Hoffman Avenue.

Building heights vary and the roofline on the block face is a mix of flat, flat with parapet, gable and hip. The project maintains the existing sloped roof form and will incorporate the same form on its rear addition. The project would not be disruptive to the laterally sloping topography as it will continue the stepped pattern of building forms along the block-face.

Like building depth, existing rear yards contributing to the mid-block open space vary. Distances between buildings and rear property lines range from 12' to 85' and those with similarly setback dimensions appear to be clustered together. The project provides a rear yard setback of nearly 57' and complies with the minimum 45% rear yard setback as required by Planning Code Section 134. Rear yard averaging is a method used to reduce rear yards required by Code, not to require increased rear yard size.

The project is appropriately configured to respond to adjacent building conditions. The adequate setbacks, changes to a sloped roof form, reduction in rear massing and proposed frosted railing/glass contribute to preserving adjacent light and privacy. Both Planning Code and the Residential Design Guidelines state "with any building expansion or new construction, some loss of light and privacy to existing neighboring structures is to be expected." Upon review of the DR Requestors' concerns, the Residential Design Team does not believe that the proposal presents extraordinary or exceptional circumstances with respect to light and privacy as ample side spacing is provided.

ENVIRONMENTAL REVIEW

On July 7, 2014, the Department determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet). Upon review of Environmental Application No. 2014.0329E, historic preservation staff concluded that the subject property is not eligible for listing in the California Register under any criteria individually or as part of a historic district. Preservation staff comments associated with the exemption are included in the attached CEQA Categorical Determination document.

The July 7, 2014 Determination was later rescinded and replaced on July 24, 2014 due to an error in the project description (incorrect raise in height 4.5" instead of 4'5"). Following review of proposed scope changes submitted by the project sponsor, the Department issued new CEQA Categorical Exemption Determinations on May 5, 2015 and most recently on June 1, 2017. The latter Determination reflects the change in building height and addition of a dwelling unit (Class Three – New Construction. Up to six dwelling units in one building).

RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Team (RDT) reviewed the project following the submittal of the Request for Discretionary Review and found that the proposed project meets the standards of the Residential Design Guidelines (RDGs) and that the project does not present any exceptional or extraordinary circumstances for the following reasons:

1. Neighborhood character, scale, massing, and site design: The immediate neighborhood is of mixed architectural character, with building scale and massing ranging from one- to three-stories in height on the block-face with some four-story residences directly across the street. The site design of the block-face has a building pattern that slopes up with the lateral topography. The project would not be disruptive to these neighborhood patterns as the project minimally lifts the building to provide a garage access that is appropriately located and subordinate to the existing building façade. The proposed main floor as viewed from the front façade will continue the stepped pattern of building forms along the block-face. Preservation of the existing sloped roof form (at the front façade) is in keeping with the varied roof forms in the neighborhood. RDT commends that the proposal preserves the existing building character even though not considered a historic resource.
2. Privacy, Light and Mid-Block Open Space: Privacy, light and the mid-block open space are protected as the project's depth and proposed rear and side setbacks appropriately responds to the adjacent building conditions. The deeper portion of the rear addition is located against the deeper adjacent building to the north, and setbacks are provided in response to the building conditions to the south. Due to the mixed character of the neighborhood, there is no predominant pattern of side spacing. RDT notes that the project only needs to match the existing adjacent lightwell with where the windows are – it also appears that part of the adjacent lightwell is covered with a shed roof and skylights. The project is within the privacy tolerances to be expected when living in a dense, urban environment such as San Francisco.

Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.

BASIS FOR RECOMMENDATION

- The project will reintroduce a second dwelling unit of reasonable size (1,500 sq. ft.), maximizing the density on site.
- The proposed garage has been relocated to save the existing street tree.
- Given the scale of the project, there will be no significant impact on the existing capacity of the local street system or MUNI.
- The project is residential and has no impact on neighborhood-serving retail uses.
- The proposed project meets all applicable requirements of the Planning Code.

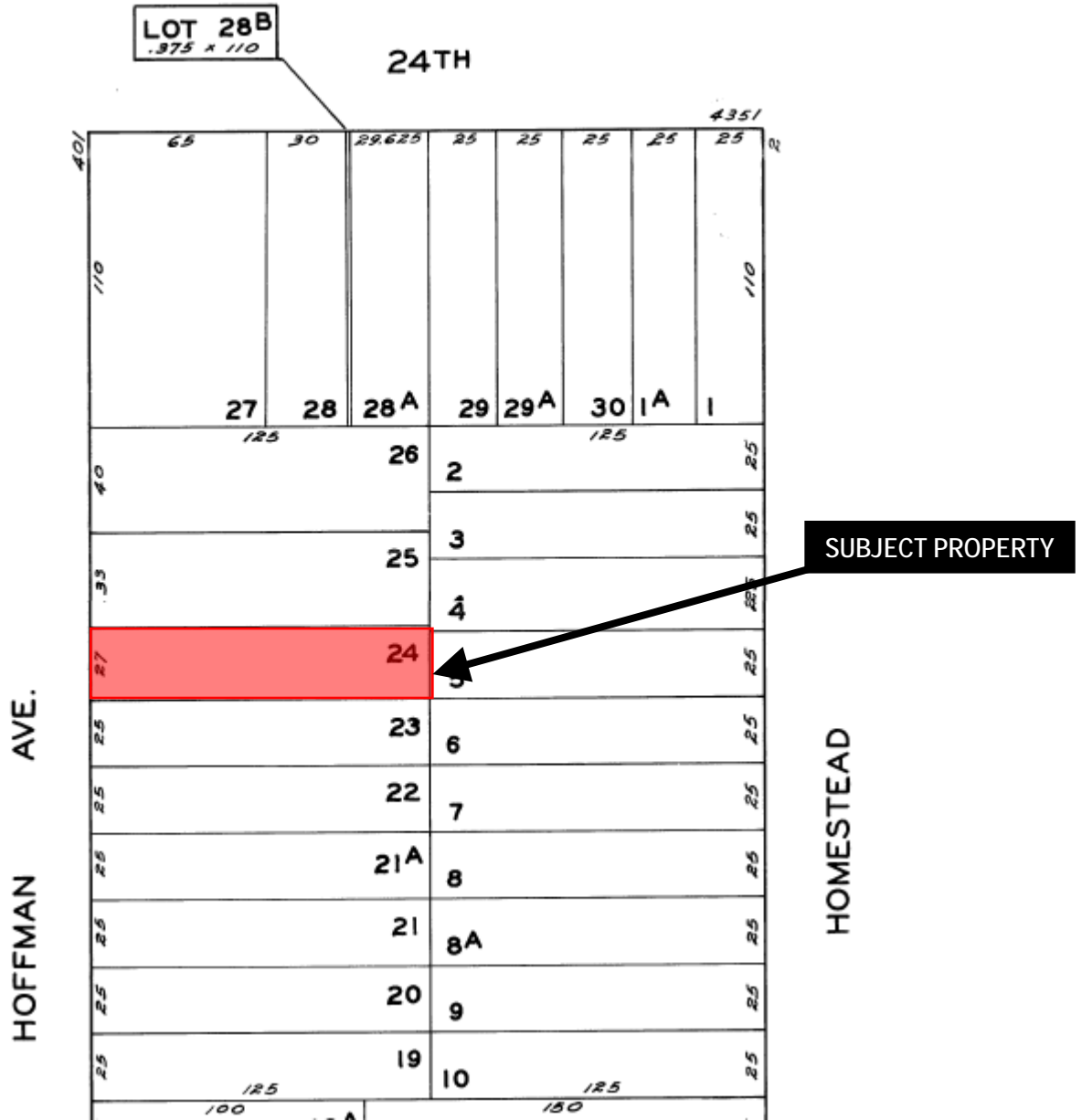
| | |
|------------------------|---|
| RECOMMENDATION: | Do not take DR and approve project as proposed |
|------------------------|---|

Attachments:

Parcel Map
Sanborn Map
Aerial Photographs
Zoning Map
Height & Bulk Map
Context Photographs
Planning Commission Action 0024 – Mandatory Discretionary Review for Dwelling Unit Merger
Department of Public Works Order No. 182066 – Tree Removal/Replacement
CEQA Categorical Exemption Determination
Section 311 Notice
Project Plans
DR Notice
DR Applications dated March 16 & 17, 2017
Response to DR Applications dated June 1, 2017
Appraisal
Public Comments

NHT: I:\Cases\2015\2015-003686DRP - 437 Hoffman Ave\DR_Part III\1_DR - Full Analysis.doc

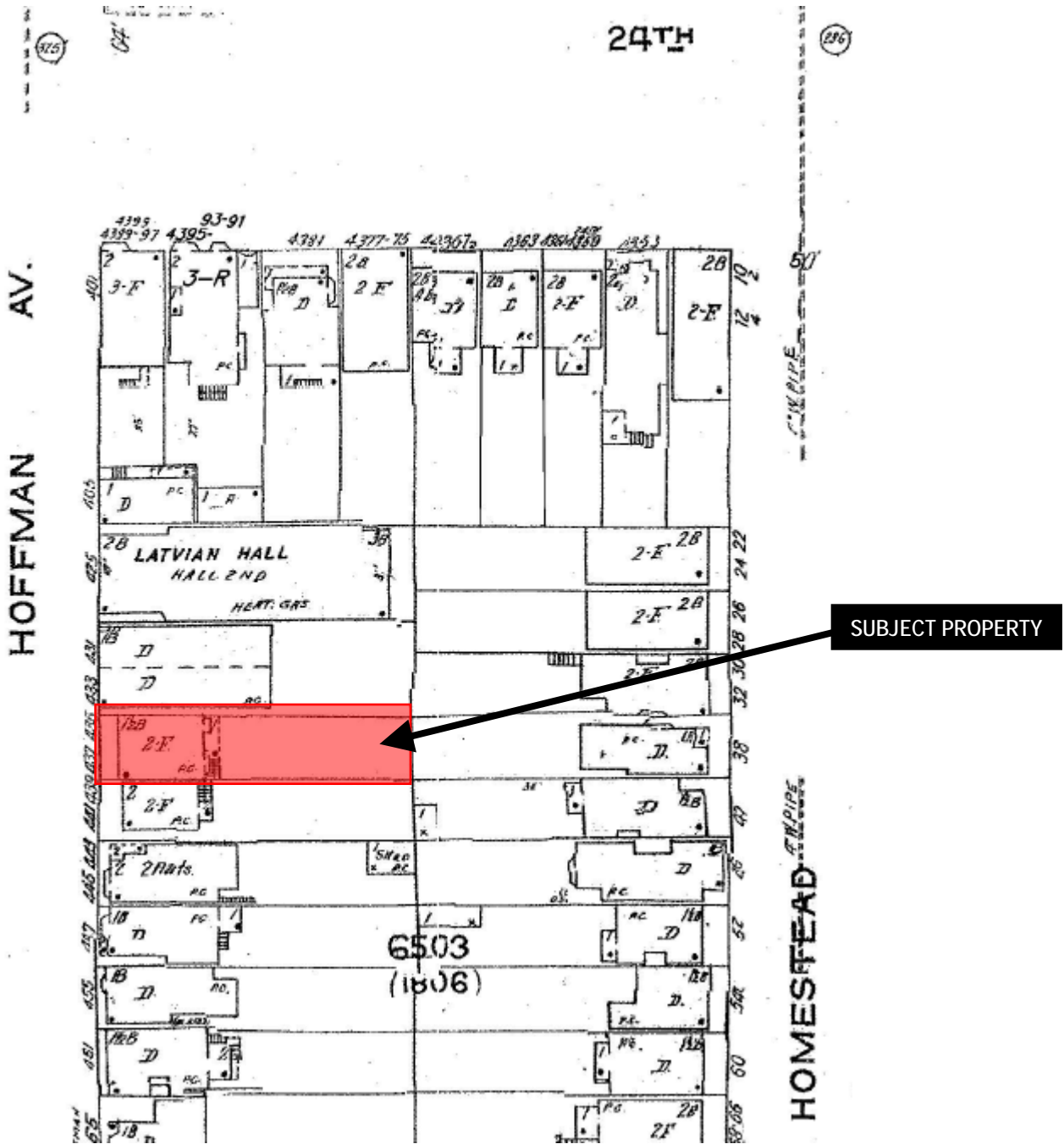
Parcel Map



Discretionary Review Hearing
 Case Numbers 2015-003686DRP-04, -05, -06, -07
 437 Hoffman Avenue



Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing
Case Numbers 2015-003686DRP-04, -05, -06, -07
437 Hoffman Avenue

Aerial Photo



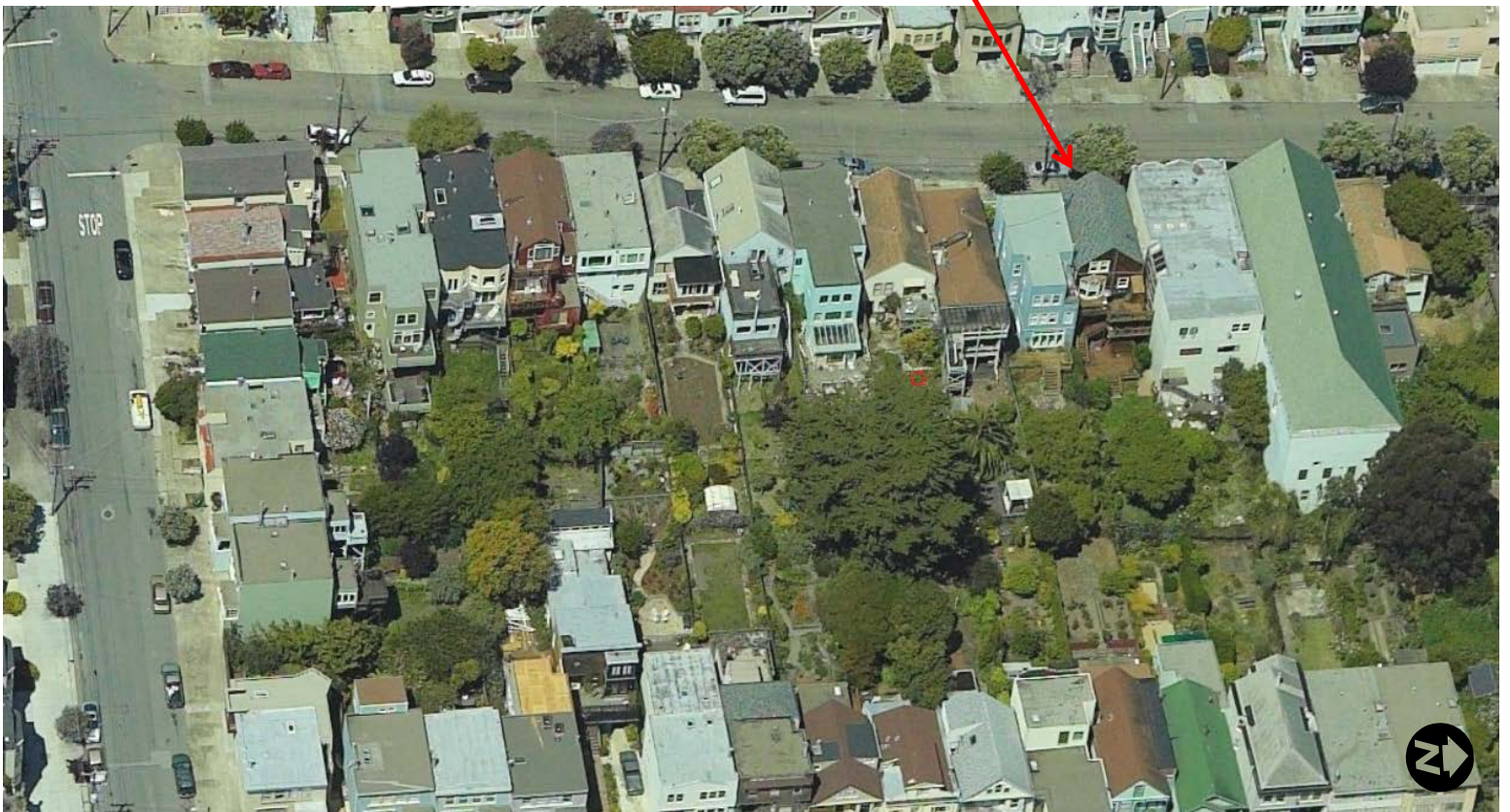
SUBJECT PROPERTY



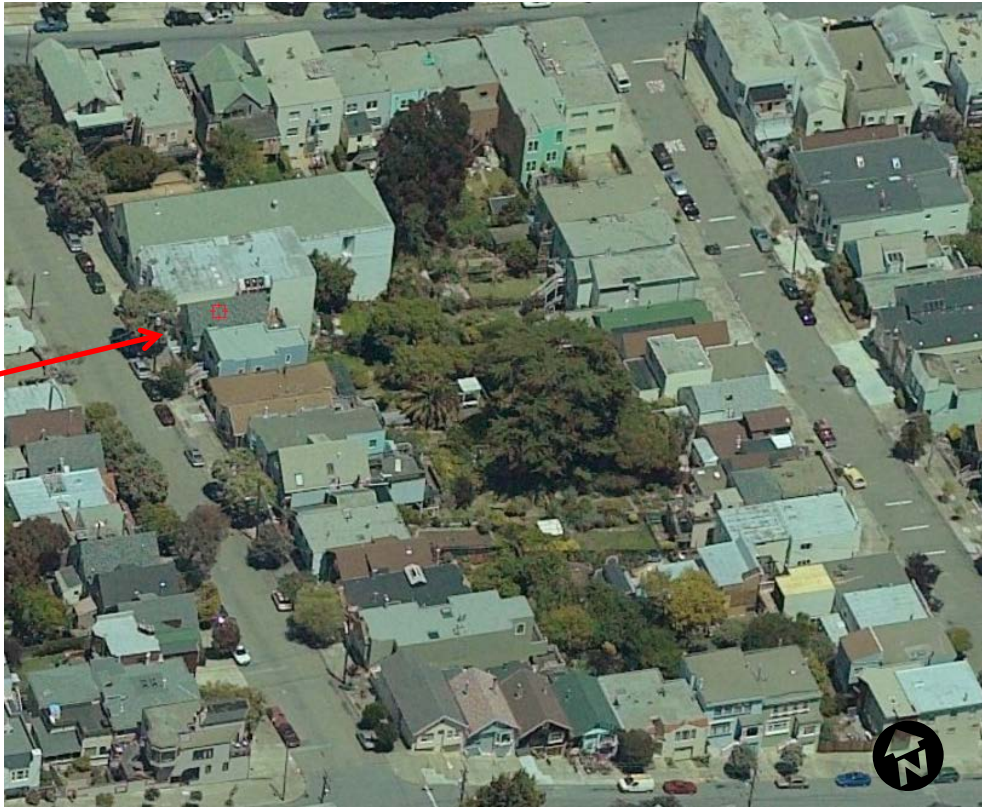
Discretionary Review Hearing
Case Numbers 2015-003686DRP-04, -05, -06, -07
437 Hoffman Avenue



437 Hoffman Ave



Discretionary Review Hearing
Case Numbers 2015-003686DRP-04, -05, -06, -07
437 Hoffman Avenue



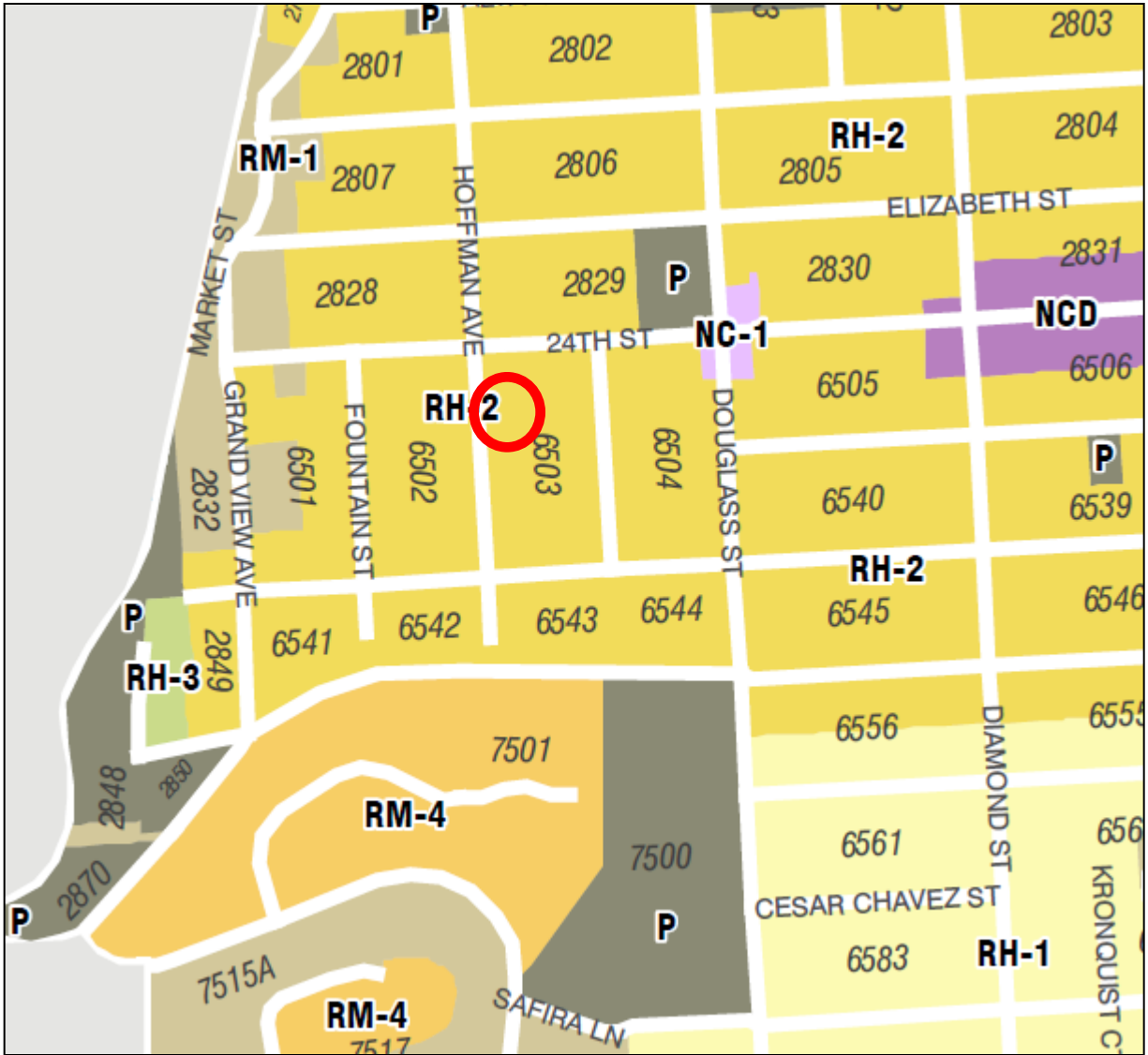
437 Hoffman Ave



437 Hoffman Ave

Discretionary Review Hearing
Case Numbers 2015-003686DRP-04, -05, -06, -07
437 Hoffman Avenue

Zoning Map



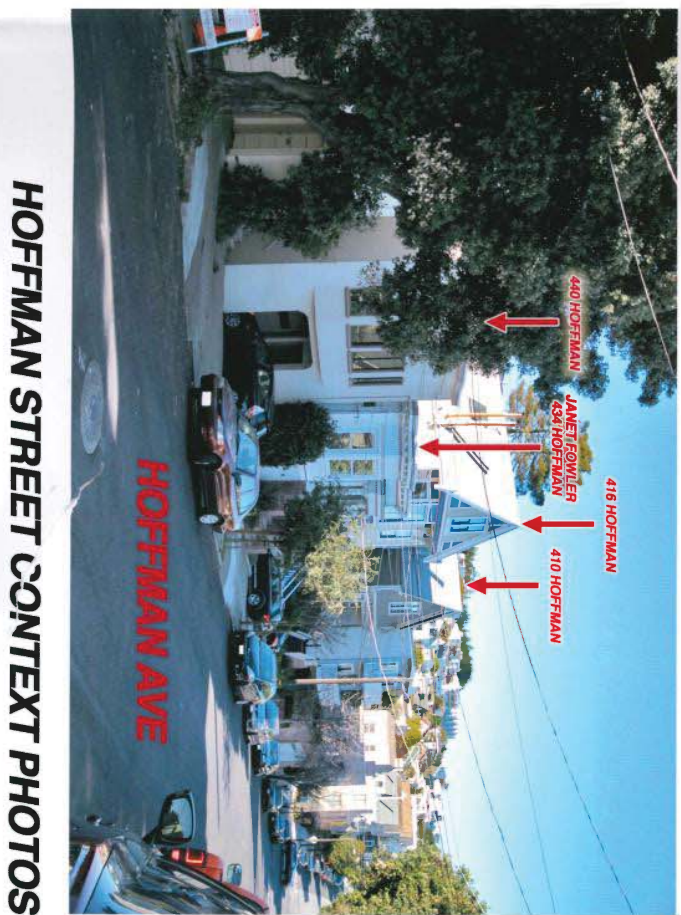
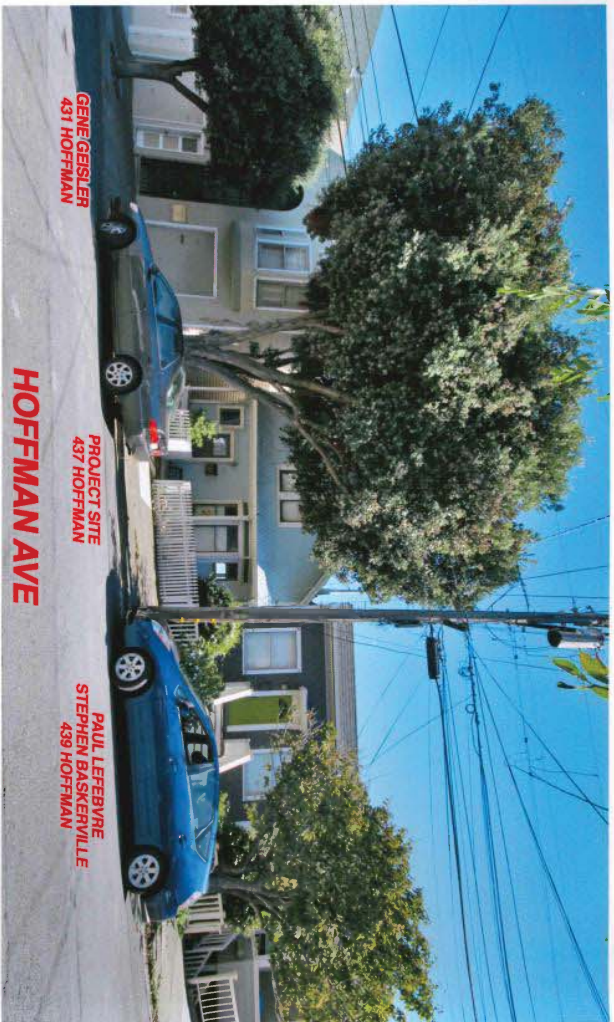
Discretionary Review Hearing
Case Numbers 2015-003686DRP-04, -05, -06, -07
437 Hoffman Avenue

Height & Bulk Map

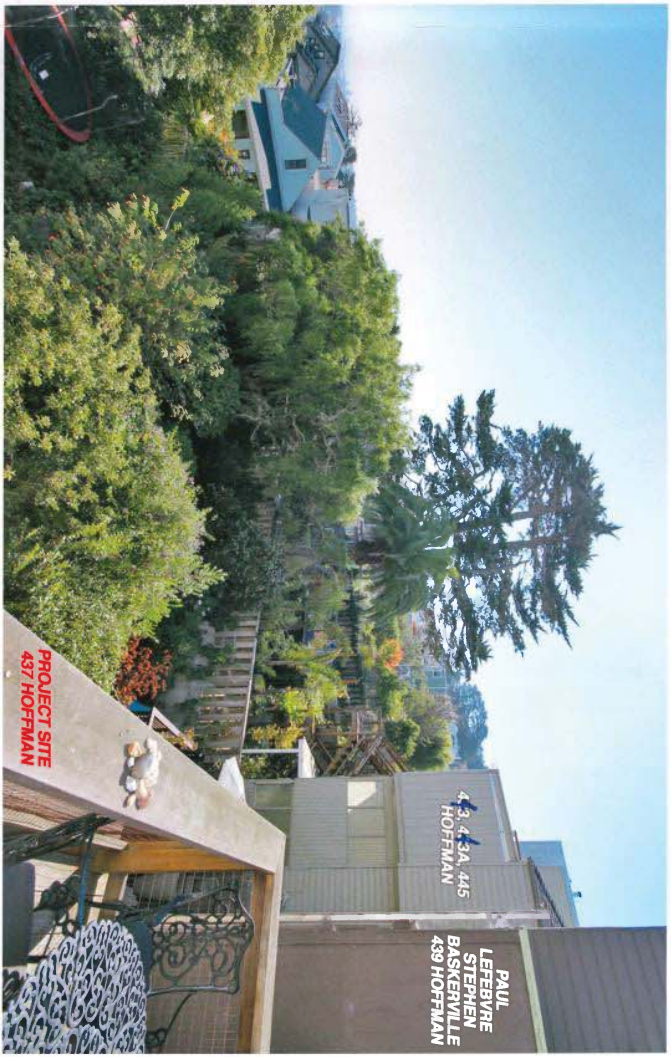
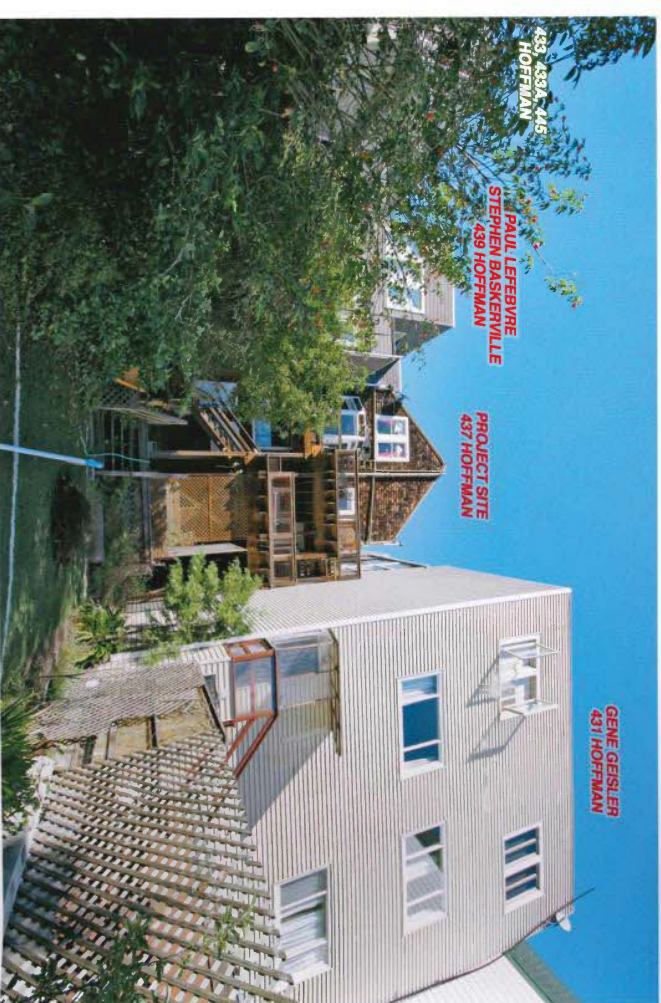
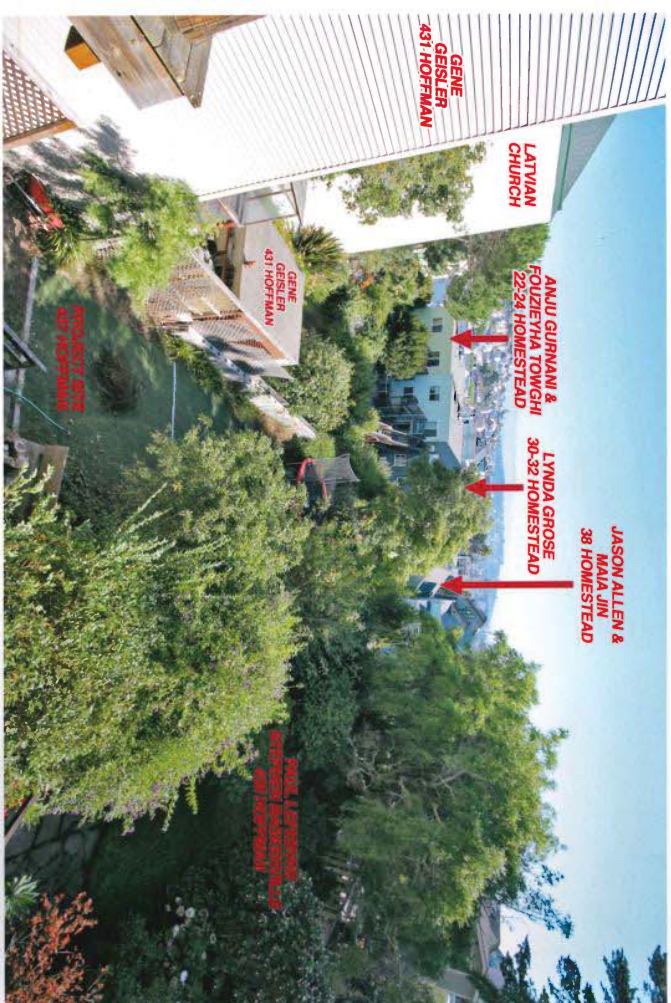


Discretionary Review Hearing
Case Numbers 2015-003686DRP-04, -05, -06, -07
437 Hoffman Avenue

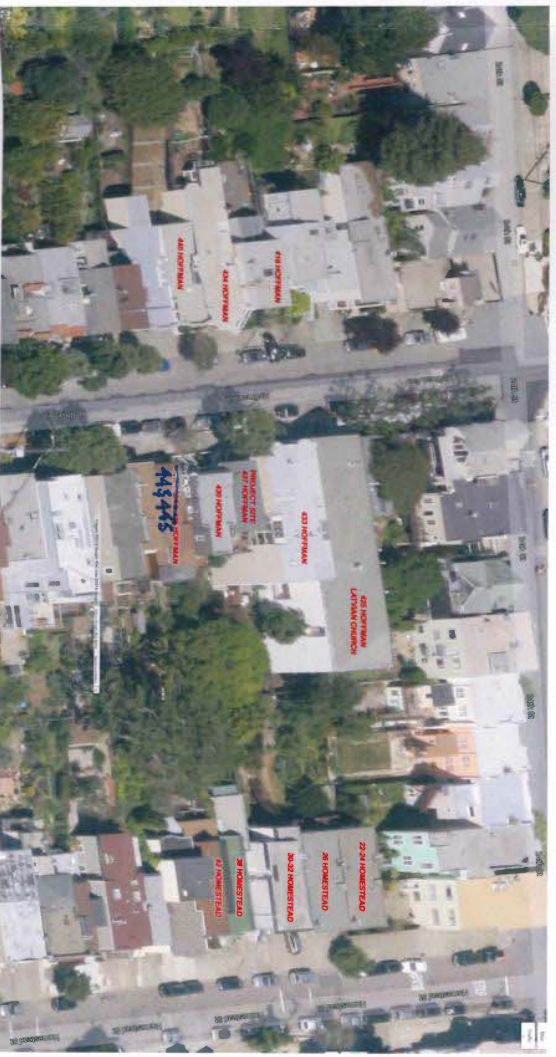
CONTEXT PHOTOGRAPHS



HOFFMAN STREET CONTEXT PHOTOS



REAR YARDS & ARIAL VIEW OF ALL ADJACENT LOTS





SAN FRANCISCO PLANNING DEPARTMENT

MEMO

DATE: October 10, 2008
TO: Interested Parties
FROM: Linda Avery
Planning Commission Secretary
RE: Planning Commission Action

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Property Address: 437 Hoffman Avenue
Building Permit Application No.: 2008.06.27.5494
Discretionary Review Case No.: 2008.0572D
Discretionary Review Action No.: 0024

On September 25, 2008, the Planning Commission conducted a Discretionary Review hearing to consider the following project:

437 Hoffman AVENUE - east side between 24th and 25th Streets, Lots 024, in Assessor's Block 6503 - Mandatory Discretionary Review, pursuant to Planning Code Section 317, of Building Permit Application No. 2008.06.27.5494 proposing the dwelling unit merger from two dwelling units into one single-family home. The property is located within a RH-2 (Residential House, Two-Family) District and a 40-X Height and Bulk District.

ACTION

The Commission determined that no modifications to the project were necessary and they instructed staff to approve the project as revised per plans marked Exhibit C on file with the Planning Department.

FINDINGS

There are no extraordinary or exceptional circumstances exist in the case. The proposal complies with the Planning Code, the General Plan, and conforms to the Residential Design Guidelines.

Speakers at the hearing included:

| |
|--------------------------------|
| In support of the project |
| Dane Riley, Owner |
| Michelle Rile, Owner |
| William Pashelinsky, Architect |

Ayes: Commissioners Lee and Antonini.

Nayes: Commissioners Olague and Moore.

Absent: Commissioner Moore

Case Planner: Sharon Lai, (415) 575.9087

You can appeal the Commission's action to the Board of Appeals by appealing the issuance of the permit. Please contact the Board of Appeals at (415) 575-6880 for further information regarding the appeals process.

cc: Linda Avery

**DEPT OF PUBLIC WORKS ORDER ORDER NO. 182066 - TREE
REMOVAL/REPLACEMENT**

City and County of San Francisco

San Francisco Department of Public Works



GENERAL - DIRECTOR'S OFFICE
City Hall, Room 348
1 Dr. Carlton B. Goodlett Place, S.F., CA 94102
(415) 554-6920 ■ www.sfdpw.org



**Edwin M. Lee, Mayor
Mohammed Nuru, Director**

DPW Order No: 182066

The Director of Public Works held a Public Hearing on Monday, October 28, 2013 commencing at 5:30 PM at City Hall, Room 416, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102. The hearing was to consider Order No. 181756 To consider the removal with replacement of one (1) street tree adjacent to the property at 437 Hoffman Avenue.

Finding:

Applicant plans to construction a driveway at the existing tree location. Department received 6 protest letters and 2 protest testimonies at the hearing.

Recommendation:

After consideration of letters from the neighbors, testimonies presented at the hearing and a field visit, the recommendation is to approve this application with replacement location and species (36" box min.) agreeable to Bureau of Urban Forestry, subject to approval of new garage project from SFDBI at this address.

Appeal:

This Order may be appealed to the Board of Appeals within 15 days of December 31, 2013.

Board of Appeals
1650 Mission, Room 304
San Francisco, CA 94103
(between Van Ness and Duboce Avenues)
Phone: 415.575.6880 Fax: 415.575.6885

Regular office hours of the Board of Appeals are Monday through Friday from 8am to 5pm. Appointments may be made for filing an appeal by calling 415-575-6880. All appeals must be filed in person. For additional information on the San Francisco Board of Appeals and to view the Appeal Process Overview, please visit their website at <http://www.sfgov3.org/index.aspx?page=763>



12/30/2013

X Mohammed Nuru

Nuru, Mohammed
Approver 2



San Francisco Department of Public Works
Making San Francisco a beautiful, livable, vibrant, and sustainable city.



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

| | | | |
|---|---|--|--|
| Project Address | | Block/Lot(s) | |
| 437 Hoffman Ave | | 6503/024 | |
| Case No. | Permit No. | Plans Dated | |
| 2014.0329E | 2014.04.11.3029 | 2/7/17 | |
| <input checked="" type="checkbox"/> Addition/ Alteration | <input type="checkbox"/> Demolition (requires HRER if over 45 years old) | <input type="checkbox"/> New Construction | <input type="checkbox"/> Project Modification (GO TO STEP 7) |
| Project description for Planning Department approval. | | | |
| Interior remodel and exterior expansion of an existing single-family home. Convert into a two-unit building. Excavate to create habitable space and two-vehicle garage. Expand horizontally at rear. Raise building to fit garage and driveway. Reconfigure/replace windows and doors. Fill in at north side. | | | |

STEP 1: EXEMPTION CLASS TO BE COMPLETED BY PROJECT PLANNER

| | |
|--|---|
| *Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.* | |
| <input checked="" type="checkbox"/> | Class 1 – Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft. |
| <input checked="" type="checkbox"/> | Class 3 – New Construction/ Conversion of Small Structures. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions.; ; change of use under 10,000 sq. ft. if principally permitted or with a CU. Change of use under 10,000 sq. ft. if principally permitted or with a CU. |
| <input type="checkbox"/> | Class ___ |

STEP 2: CEQA IMPACTS TO BE COMPLETED BY PROJECT PLANNER

| | |
|---|---|
| If any box is checked below, an <i>Environmental Evaluation Application</i> is required. | |
| <input type="checkbox"/> | Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks)? <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Article 38 program and the project would not have the potential to emit substantial pollutant concentrations. (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollutant Exposure Zone)</i> |
| <input type="checkbox"/> | Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the</i> |

| | |
|--|---|
| | <i>Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i> |
| <input type="checkbox"/> | Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities? |
| <input type="checkbox"/> | Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)</i> |
| <input type="checkbox"/> | Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)</i> |
| <input checked="" type="checkbox"/> | Slope = or > 20%: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)</i> If box is checked, a geotechnical report is required. |
| <input type="checkbox"/> | Seismic: Landslide Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones)</i> If box is checked, a geotechnical report is required. |
| <input type="checkbox"/> | Seismic: Liquefaction Zone: Does the project involve any of the following: (1) square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint, (2) excavation of 50 cubic yards or more of soil, (3) new construction? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones)</i> If box is checked, a geotechnical report will likely be required. |
| <u>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an Environmental Evaluation Application is required, unless reviewed by an Environmental Planner.</u> | |
| <input checked="" type="checkbox"/> | Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above. |
| Comments and Planner Signature (optional): No archeological effects. Project will follow recommendations of 5/19/16 Gruen geotech letter and 1/16/14 Gruen geotech report. Catexes issued on 9/24/14, 5/5/15 and 5/20/16 rescinded because project changed. PTR form attached. | |

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

| | |
|---|--|
| PROPERTY IS ONE OF THE FOLLOWING: <i>(refer to Parcel Information Map)</i> | |
| <input type="checkbox"/> | Category A: Known Historical Resource. GO TO STEP 5. |
| <input type="checkbox"/> | Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4. |
| <input checked="" type="checkbox"/> | Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6. |

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

| Check all that apply to the project. | |
|--|--|
| <input type="checkbox"/> | 1. Change of use and new construction. Tenant improvements not included. |
| <input type="checkbox"/> | 2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building. |
| <input type="checkbox"/> | 3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations. |
| <input type="checkbox"/> | 4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines. |
| <input type="checkbox"/> | 5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way. |
| <input type="checkbox"/> | 6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way. |
| <input type="checkbox"/> | 7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> . |
| <input type="checkbox"/> | 8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features. |
| Note: Project Planner must check box below before proceeding. | |
| <input type="checkbox"/> | Project is not listed. GO TO STEP 5. |
| <input type="checkbox"/> | Project does not conform to the scopes of work. GO TO STEP 5. |
| <input type="checkbox"/> | Project involves four or more work descriptions. GO TO STEP 5. |
| <input type="checkbox"/> | Project involves less than four work descriptions. GO TO STEP 6. |

**STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER**

| Check all that apply to the project. | |
|---|---|
| <input type="checkbox"/> | 1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4. |
| <input type="checkbox"/> | 2. Interior alterations to publicly accessible spaces. |
| <input type="checkbox"/> | 3. Window replacement of original/historic windows that are not “in-kind” but are consistent with existing historic character. |
| <input type="checkbox"/> | 4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features. |
| <input type="checkbox"/> | 5. Raising the building in a manner that does not remove, alter, or obscure character-defining features. |
| <input type="checkbox"/> | 6. Restoration based upon documented evidence of a building’s historic condition, such as historic photographs, plans, physical evidence, or similar buildings. |
| <input type="checkbox"/> | 7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior’s Standards for Rehabilitation</i> . |
| <input type="checkbox"/> | 8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments): |

| | |
|---|--|
| <input type="checkbox"/> | <p>9. Other work that would not materially impair a historic district (specify or add comments):</p> <p style="text-align: right;"><i>(Requires approval by Senior Preservation Planner/Preservation Coordinator)</i> _____</p> |
| <input type="checkbox"/> | <p>10. Reclassification of property status. <i>(Requires approval by Senior Preservation Planner/Preservation Coordinator)</i></p> <p style="padding-left: 40px;"> <input type="checkbox"/> Reclassify to Category A <input type="checkbox"/> Reclassify to Category C a. Per HRER dated: _____ <i>(attach HRER)</i> b. Other <i>(specify)</i>: _____ </p> |
| <p>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.</p> | |
| <input type="checkbox"/> | <p>Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.</p> |
| <input type="checkbox"/> | <p>Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.</p> |
| <p>Comments (optional):</p> | |
| <p>Preservation Planner Signature:</p> | |

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

| | | |
|---|---|---|
| <input type="checkbox"/> | <p>Further environmental review required. Proposed project does not meet scopes of work in either <i>(check all that apply)</i>:</p> <p style="padding-left: 40px;"> <input type="checkbox"/> Step 2 – CEQA Impacts <input type="checkbox"/> Step 5 – Advanced Historical Review </p> <p>STOP! Must file an <i>Environmental Evaluation Application</i>.</p> | |
| <input checked="" type="checkbox"/> | <p>No further environmental review is required. The project is categorically exempt under CEQA.</p> | |
| | <p>Planner Name:</p> <hr/> <p>Project Approval Action:</p> <p>Building Permit</p> <p><small>If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</small></p> | <p>Signature:</p> <p style="font-size: 2em; font-weight: bold;">Jean Poling</p> <p>Digitally signed by Jean Poling Date: 2017.06.01 16:11:35 -07'00'</p> |
| <p>Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code.</p> <p>In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.</p> | | |

**STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT
TO BE COMPLETED BY PROJECT PLANNER**

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a “substantial modification” and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

| | | |
|--|------------------------------|---|
| Project Address (If different than front page) | | Block/Lot(s) (If different than front page) |
| | | |
| Case No. | Previous Building Permit No. | New Building Permit No. |
| | | |
| Plans Dated | Previous Approval Action | New Approval Action |
| | | |
| Modified Project Description: | | |
| | | |

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

| | |
|---|--|
| Compared to the approved project, would the modified project: | |
| <input type="checkbox"/> | Result in expansion of the building envelope, as defined in the Planning Code; |
| <input type="checkbox"/> | Result in the change of use that would require public notice under Planning Code Sections 311 or 312; |
| <input type="checkbox"/> | Result in demolition as defined under Planning Code Section 317 or 19005(f)? |
| <input type="checkbox"/> | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |
| If at least one of the above boxes is checked, further environmental review is required. ATEX FORM | |

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

| | |
|--|---|
| <input type="checkbox"/> | The proposed modification would not result in any of the above changes. |
| If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. | |
| Planner Name: | Signature or Stamp: |
| | |



SAN FRANCISCO PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW FORM

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

| | | | |
|--|--|--------------------------------|-----------|
| Preservation Team Meeting Date: | | Date of Form Completion | 5/16/2014 |
|--|--|--------------------------------|-----------|

| | | |
|-----------------------------|-----------------------|----------------------|
| PROJECT INFORMATION: | | |
| Planner: | Address: | |
| Gretchen Hilyard | 437 Hoffman Avenue | |
| Block/Lot: | Cross Streets: | |
| 6503/024 | 24th Street | |
| CEQA Category: | Art. 10/11: | BPA/Case No.: |
| B | n/a | 2014.0329E |

| | | | | |
|---------------------------------------|-------------------------------------|---------------------------------------|---|---|
| PURPOSE OF REVIEW: | | | PROJECT DESCRIPTION: | |
| <input checked="" type="radio"/> CEQA | <input type="radio"/> Article 10/11 | <input type="radio"/> Preliminary/PIC | <input checked="" type="radio"/> Alteration | <input type="radio"/> Demo/New Construction |

| | |
|------------------------------------|-----------|
| DATE OF PLANS UNDER REVIEW: | 1/27/2014 |
|------------------------------------|-----------|

| | |
|--|--|
| PROJECT ISSUES: | |
| <input checked="" type="checkbox"/> | Is the subject Property an eligible historic resource? |
| <input type="checkbox"/> | If so, are the proposed changes a significant impact? |
| Additional Notes: | |
| Submitted: Supplemental Information Form prepared by KDI Land Use Planning (April 2, 2012). | |
| Proposed project: to raise the existing building by 4'-5" to convert 257 sf of existing residential space at the lower level into a one-car garage. Also included is a 1,511 sf three story addition at the side and rear. | |

| | | | | |
|---|---|---|---|---------------------------|
| PRESERVATION TEAM REVIEW: | | | | |
| Historic Resource Present | | <input type="radio"/> Yes | <input checked="" type="radio"/> No * | <input type="radio"/> N/A |
| Individual | | Historic District/Context | | |
| Property is individually eligible for inclusion in a California Register under one or more of the following Criteria: | | Property is in an eligible California Register Historic District/Context under one or more of the following Criteria: | | |
| Criterion 1 - Event: | <input type="radio"/> Yes <input checked="" type="radio"/> No | Criterion 1 - Event: | <input type="radio"/> Yes <input checked="" type="radio"/> No | |
| Criterion 2 -Persons: | <input type="radio"/> Yes <input checked="" type="radio"/> No | Criterion 2 -Persons: | <input type="radio"/> Yes <input checked="" type="radio"/> No | |
| Criterion 3 - Architecture: | <input type="radio"/> Yes <input checked="" type="radio"/> No | Criterion 3 - Architecture: | <input type="radio"/> Yes <input checked="" type="radio"/> No | |
| Criterion 4 - Info. Potential: | <input type="radio"/> Yes <input checked="" type="radio"/> No | Criterion 4 - Info. Potential: | <input type="radio"/> Yes <input checked="" type="radio"/> No | |
| Period of Significance: | <input type="text"/> | Period of Significance: | <input type="text"/> | |
| | | <input type="radio"/> Contributor <input type="radio"/> Non-Contributor | | |

| | | | |
|--|--------------------------------------|-------------------------------------|--------------------------------------|
| Complies with the Secretary's Standards/Art 10/Art 11: | <input type="radio"/> Yes | <input type="radio"/> No | <input checked="" type="radio"/> N/A |
| CEQA Material Impairment: | <input type="radio"/> Yes | <input checked="" type="radio"/> No | |
| Needs More Information: | <input type="radio"/> Yes | <input checked="" type="radio"/> No | |
| Requires Design Revisions: | <input type="radio"/> Yes | <input checked="" type="radio"/> No | |
| Defer to Residential Design Team: | <input checked="" type="radio"/> Yes | <input type="radio"/> No | |

* If No is selected for Historic Resource per CEQA, a signature from Senior Preservation Planner or Preservation Coordinator is required.


PRESERVATION TEAM COMMENTS:

According to the Supplemental Information Form for Historic Resource Determination prepared by KDI Land Use Planning (dated April 2, 2012) and information found in the Planning Department files, the subject property at 437 Hoffman Avenue contains a 1-1/2-story-over basement; wood frame multi-family residence constructed in 1905 in the Queen Anne architectural style with some Craftsman style elements. The original architect is unknown, but the original owners were Neil W. Getty and Wilmot R. Getty, who were builders/contractors and likely constructed the building. The building has undergone very few alterations over time. Known alterations to the property include: legalization of the second unit and installation of a fire suppression system (1970), interior seismic upgrades (1989), reroofing and new shingles (1995).

No known historic events occurred at the property (Criterion 1). None of the owners or occupants have been identified as important to history (Criterion 2). The subject building is a non-descript example of a Queen Anne style multi-family property. The building is not architecturally distinct such that it would qualify individually for listing in the California Register under Criterion 3.

The subject property is not located within the boundaries of any identified historic districts. The subject property is located within the Noe Valley neighborhood on a block that exhibits a great variety of architectural styles, construction dates, and subsequent alterations that compromise historic integrity. The area surrounding the subject property does not contain a significant concentration of historically or aesthetically unified buildings.

Therefore, the subject property is not eligible for listing in the California Register under any criteria individually or as part of a historic district.

| | |
|---|---------|
| Signature of a Senior Preservation Planner / Preservation Coordinator: | Date: |
|  | 5-23-14 |



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **April 11, 2014**, the Applicant named below filed Building Permit Application No. 2014.04.11.3029 with the City and County of San Francisco.

| PROJECT INFORMATION | | APPLICANT INFORMATION | |
|---------------------|-------------------------------|-----------------------|--------------------------------|
| Project Address: | 437 Hoffman Avenue | Applicant: | Kelly Condon |
| Cross Street(s): | 24th Street | Address: | 443 Joost Avenue |
| Block/Lot No.: | 6503/024 | City, State: | San Francisco, CA 94127 |
| Zoning District(s): | RH-2 / 40-X | Telephone: | (415)240-8328 |
| Record No.: | 2015-003686PRJ | Email: | kellymcondon@gmail.com |

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

| PROJECT SCOPE | | |
|---|--|---|
| <input type="checkbox"/> Demolition | <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Alteration |
| <input type="checkbox"/> Change of Use | <input checked="" type="checkbox"/> Façade Alteration(s) | <input checked="" type="checkbox"/> Front Addition |
| <input checked="" type="checkbox"/> Rear Addition | <input checked="" type="checkbox"/> Side Addition | <input checked="" type="checkbox"/> Vertical Addition |
| PROJECT FEATURES | EXISTING | PROPOSED |
| Building Use | Residential | Residential |
| Front Setback | 5 feet – 9 ¼ inches | No Change |
| Side Setbacks | None | No Change |
| Building Depth | 59 feet – 6 ½ inches | 62 feet – 3 inches |
| Rear Yard | 59 feet – 8 ¼ inches (to deck) | 56 feet 11 ¼ inches |
| Building Height | 21 feet (midpoint of sloped roof) | 28 feet – 3 inches (midpoint of sloped roof) |
| Number of Stories | 3 + basement | 3 + basement |
| Number of Dwelling Units | 1 | 2 |
| Number of Parking Spaces | 0 | 2 |
| PROJECT DESCRIPTION | | |
| <p>The proposal is to construct additions to the existing single family residence and increase the dwelling count from one to two dwelling units. The project includes extensive interior remodeling and exterior changes such as lifting the building to install a new garage door with curbut, front porch and entry stairs. See attached plans.</p> <p>The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.</p> | | |

For more information, please contact Planning Department staff:

Planner: Nancy Tran
 Telephone: (415) 575-9174
 E-mail: nancy.h.tran@sfgov.org

Notice Date: 2/15/17
 Expiration Date: 3/17/17

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

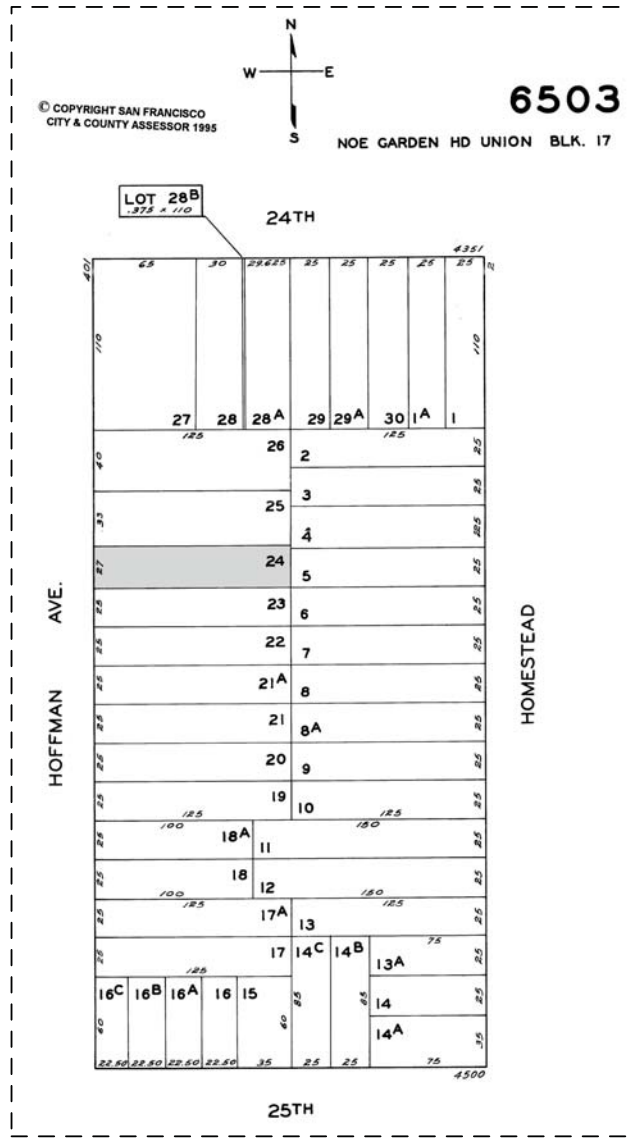
BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



Location Map from Planning Department Files
Not to Scale

Drawing Index

- A1: Project Info, Scope of Work, Lot Plan, Drawing Index
- A2: Site Survey
- A3: Existing Site Plan
- A4: Proposed Site Plan
- A5: Existing & Proposed Basement Level Plans
- A6: Existing & Proposed First Level Plans
- A7: Existing & Proposed Second Level Plans
- A8: Existing & Proposed Third Level Plans
- A9: Existing & Proposed Roof Level Plans
- A10: Existing & Proposed Front Elevations
- A11: Existing & Proposed Rear Elevations
- A12: Existing Northern facing Elevation
- A13: Proposed Northern facing Elevation
- A14: Existing Southern facing Elevation
- A15: Proposed Southern facing Elevation
- A16: Existing Section
- A17: Proposed Section

Planning Data - Planning Dept. Use Only

| Entire Envelope | Existing | Addition | Proposed |
|----------------------|------------------|------------------|------------------|
| Basement Level | 720 s.f. | 716 s.f. | 1463 s.f. |
| First Level | 712 s.f. | 771 s.f. | 1483 s.f. |
| Second (Entry) Level | 774 s.f. | 472 s.f. | 1246 s.f. |
| Third Level | 786 s.f. | 382 s.f. | 1168 s.f. |
| Total | 2992 s.f. | 2341 s.f. | 5360 s.f. |

Includes Garage & areas under overhangs that are enclosed on 3 sides by walls taller than 48"

Building Data - Building Dept. Use Only

| Conditioned Space | Existing | Renovated | Addition | Proposed |
|----------------------|------------------|------------------|------------------|------------------|
| Basement Level | 241 s.f. | 241 s.f. | 1114 s.f. | 1355 s.f. |
| First Level | 712 s.f. | 712 s.f. | 299 s.f. | 1011 s.f. |
| Second (Entry) Level | 766 s.f. | 766 s.f. | 480 s.f. | 1246 s.f. |
| Third Level | 786 s.f. | 786 s.f. | 382 s.f. | 1168 s.f. |
| Total | 2505 s.f. | 2505 s.f. | 2275 s.f. | 4780 s.f. |

Measured to outer face of framed walls at conditioned spaces. Does not include Garage

Fire & Sound Rated Wall & Ceiling Assembly Notes:

- At new interior or exterior 1-hour fire-rated walls framed with combustible 2x4 lumber - assemble wall per CBC 721.1(2) 15-1.15^o
- At new interior or exterior 1-hour fire-rated walls framed with combustible 2x6 lumber - assemble wall per CBC 721.1(2) 15-1.13^o
- At existing blind walls where 1-hour fire-rating is required & where combustible 2x4 lumber is used - assemble wall per CBC 721.1(2) 16-1.1^o
- At existing blind walls where 1-hour fire-rating is required & where combustible 2x6 lumber is used - assemble wall per CBC 721.1(2) 16-1.3^o
- For non-insulated / interior 2 hour walls framed with combustible 2x4 lumber - assemble wall per CBC 721.1(2) 14-1.5^{LM}
- For insulated interior or exterior 2 hour walls framed with combustible 2x6 lumber - assemble wall per CBC 721.1(2) 15-1.16^o
- At 1-hour fire-rated walls between residential units - where STC 50 or better sound rating is required - assemble walls per GA600 WP 3260.
- At ceilings between residential units where STC 50 or better sound rating is required & where 1-hour fire-rating is required - assemble ceiling per GA600 FC5107.
- At 1-hour fire-rated ceilings within a residential unit that are not required to be sound rated - use CBC 721.1(3) 13-1.4
- At exterior stairs that are required to have 1-hour fire-rating - assemble ceiling under stair per CBC 721.1(3) 14-1.1
- At 1-hour fire-rated roofs (that do not use CBC 705.11 exception 5) - assemble ceiling to roof using CBC 721.1(3) 21-1.1

Code Notes:
 Gas Appliance vents terminate minimum 24" above vertical surfaces within 10'-0" / 12" minimum above roof. B-vented flues terminate 12" min. above roof penetrations & 12" above vertical surfaces within 8'-0".
 Spaces containing gas fired mechanical equipment must be vented at 1 square inch per 3000 BTU
 Hydronic Heat vent terminates min. 4' from property lines.
 Environmental Air Ducts terminate min. 3' from Property Line per CMC 504.2 & 3' from building openings per CMC 504.5.
 Gas vent terminations per CMC 802.6. Combustion Air per CMC Chapter 7.
 Provide with backdraft dampers per CMC 504.1
 Hydronic Heater has integral temperature relief - supply pressure relief valve & drain line. First 5'-0" of cold & hot water piping must be insulated except at vent connector (requires 6" clearance). Unit must be seismically strapped.
 Drain line to be equal to outlet size & 3/4" or larger copper line. Piping must be strapped and end must point downward.
 Direct Vent Gas Fireplace per CMC 908.0
 Gas supply lines must have accessible shut off valve adjacent to gas appliances.
 At new Bath Fans - install compatible self-flashing exit caps with flapper dampers & felt seal. Insulate metal exhaust piping at unconditioned spaces with compatible foam insulation. Bathroom fan exhaust ducts max. 4" diameter per CBC 716.6.1 (fan locations shown on electrical plans)
 Windows, Doors & Walls to be insulated per Energy Code Calculations. Skylights to be NFRC rated.
 Per CBC 1018.8 - Operable windows with sills higher than 72" above grade to have either 36" sills or constrained open areas of 4". Egress Windows with sills higher than 72" above grade to have either 36" high sills or to have 36" high guardrails at non-swing side & guardrail to have no open area larger than 4".
 Air Retardant wrap must be tested, labeled and installed according to ASTM E 1677-95 (2000).
 Install 1/2 gypsum board at Garage side of walls (if plaster is not existing) & 5/8" type 'X' at ceilings common to unit.
 Install 1/2" gypsum board at underside of stairs.
 Maintain 1-hr rating at all newly constructed areas within 5'-0" from property lines (includes railings)
 Smoke Detectors & Carbon Monoxide Detectors to be interconnected, hardwired with battery back up.
 Ensure 1/4" per 1'-0" slope to drains. Install over/low (secondary) drains within 2 feet of low point of roof.
 Downspouts must connect to sanitary sewer when they serve areas larger than 200 s.f. per SFBC 1503
 All glazed guardrails shall meet CBC 2407.1 & comply with either CPSC 16 CFR 1201 or Class A of ANSI Z97.1

Project Info

Owner: Hoffman TIC (includes Kelly Condon: Designer / Partial Owner) Contact Phone: 415-240-8328 (Kelly Condon) Address: 443 Joost Ave SF, CA 94127 (Kelly Condon)
 Block 6503 Lot 024 Zoning: RH-2 Year Built: 1905
 Existing Occupancy: R3 / Single Family Proposed Occupancy: R3 / Two Family + U (Garage)
 Existing Building Type: VB Proposed Building Type: VA
 Existing Number of Stories: 3 + basement Proposed Number of Stories: 3 + basement
 Lot Size: 27' x 125' Height Limit: 40'
 Zoning Controls: 20% slope zone (actual slope of site from front to rear lot line = 13.68% (in degrees - that is the average of 13.01° at the northern side & 11.63° at the southern side).

Scope of Work - per 2013 CBC & CMC, 2013 Energy Codes, SF Building Code & SF Amendments:

NEW CURB CUT. NEW DRIVEWAY. NEW GARAGE. BUILDING TO BE LIFTED IN ORDER TO ACCOMMODATE GARAGE & DRIVEWAY.

Reconfigure / Replace exterior windows & doors throughout with insulated, double paned, energy efficient aluminum clad wood windows & doors per Plans & Elevations. Front door to be wood. New insulated windows, doors, building insulation, Energy Code compliant electrical / lighting throughout.

CONVERT SINGLE FAMILY HOME INTO 2 UNIT BUILDING. UPPER UNIT 1: 3292 SF. & LOWER UNIT 2: 1487 SF. (CONDITIONED)

ADDITIONS / SUBTRACTIONS TO ENVELOPE / VISIBLE EXTERIOR WORK:

Front Addition: Infill under existing front porch to add garage.

Northern Side Addition: Infill portion of 3'-0" gap between northern neighboring building on all levels (length, size & enclosure of light well varies by floor)
 Rear Addition: to align with northern neighbor (ends before 45% setback) with layering of mass at upper levels & away from neighbors to reduce impact.
 Vertical Addition: Building raises in order to add Garage & Driveway. Mass added at rear will extend to top story of the building.

BASEMENT WILL INCLUDE:

(1) Bedroom, (1) Study, (1) Full Bathroom, (1) Kitchen, (1) Dining, (1) Laundry, (1) Family Room
 Interior Stairs up to First Level. Exterior Stairs down to yard.

FIRST LEVEL / GARAGE WILL INCLUDE:

(1) Garage, (1) Entry to Lower Unit with coat closet, (1) Family Room, (1) Bedroom, (1) Full Bath
 Interior Stairs up to 2nd Level

SECOND LEVEL WILL INCLUDE:

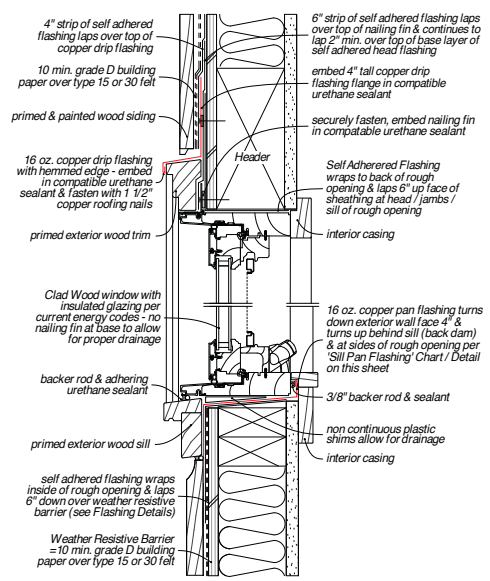
(1) Living room with fireplace, (1) Wine Closet, (1) Kitchen, (1) Dining, (1) Powder Room, (1) Coat closet
 Roof Terrace over level below at southern side of rear (creates layering against shallow southern neighbor).
 Interior Stairs up to 3rd Level & down to 1st level

THIRD LEVEL WILL INCLUDE:

(3) Bedrooms, (3) Full Bathrooms, (1) Laundry Closet, (1) Hall Closet, (1) Rear Terrace over level below

ROOF WILL INCLUDE:

(4) skylights, flues / vents



Flashing at Clad Wood Window (wood siding)

scale: 3" = 1'-0"



remodel
 for
Hoffman TIC Group
 437
Hoffman
 san francisco
 9 4 1 1 4

June 1, 2017

Project Info,
 Drawing Index,
 Scope, Location
 Map
 scale: as noted
A1

LEGEND

| | |
|---------|------------------------|
| --- | SUBJECT PROPERTY LINE |
| - - - | ADJOINER PROPERTY LINE |
| □ | WOOD FENCE |
| X | WIRE FENCE |
| ▨ | BUILDING LINE |
| CONC | CONCRETE |
| BCB | BACK OF CURB |
| EL | ELEVATION |
| FC | FACE OF CURB |
| FL | FLOW LINE |
| FF | FINISH FLOOR |
| GV | GAS VALVE |
| GM | GAS METER |
| MH | MANHOLE |
| OE | OVERHEAD ELECTRIC |
| PP | POWER POLE |
| WM | WATER METER |
| WV | WATER VALVE |
| FL | DESCRIPTION |
| 111.96' | ELEVATION |

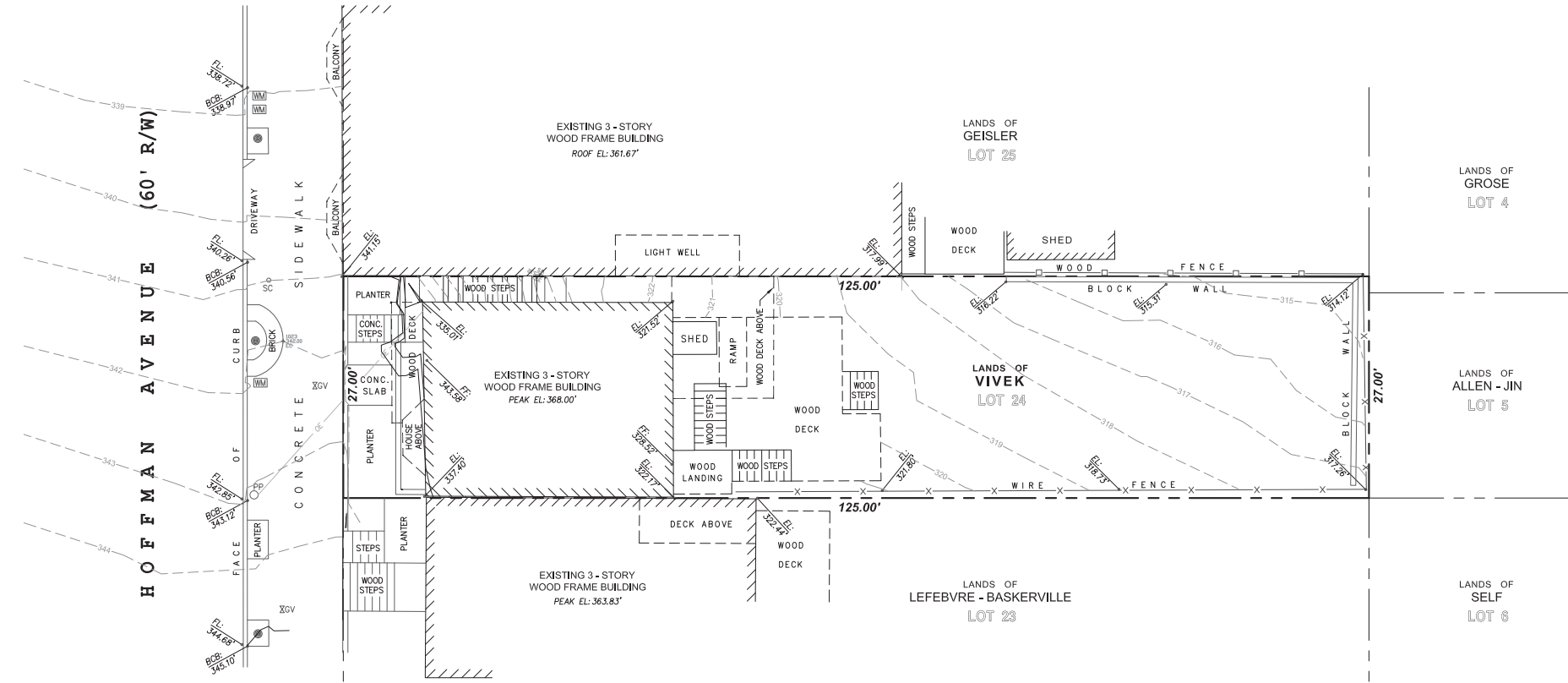


BASIS OF SURVEY
 THIS BASIS OF MEASUREMENTS FOR THIS SURVEY FROM POUND MONUMENT MARKS ALONG HOFFMAN ST AT THE INTERSECTION OF 23RD ST AND 24TH ST PER MONUMENT MAP NO. 231 FILED IN THE OFFICE OF THE CITY AND COUNTY OF SAN FRANCISCO ENGINEER.

GENERAL NOTES
 1) REFERENCED MAPS PER COUNTY RECORDER.
 2) ALL ANGLES ARE 90°00' UNLESS NOTED OTHERWISE.
 3) DISTANCES SHOWN IN FEET AND DECIMALS THEREOF.

UTILITY NOTE
 UNDERGROUND UTILITIES SHOWN WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THUS, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.

BENCHMARK NOTE
 ELEVATIONS SHOWN HEREON WERE OBTAINED FROM A CITY AND COUNTY OF SAN FRANCISCO BENCHMARK FOUND AT THE INTERSECTION OF HOFFMAN AVE AND 24TH STREET, A CROW CUT IN THE OUTER RIM OF A STORM WATER INLET AN ELEVATION OF 324.508'.



Michael S. Lemke, L.S. No. 3602, Expires 6/30/2014

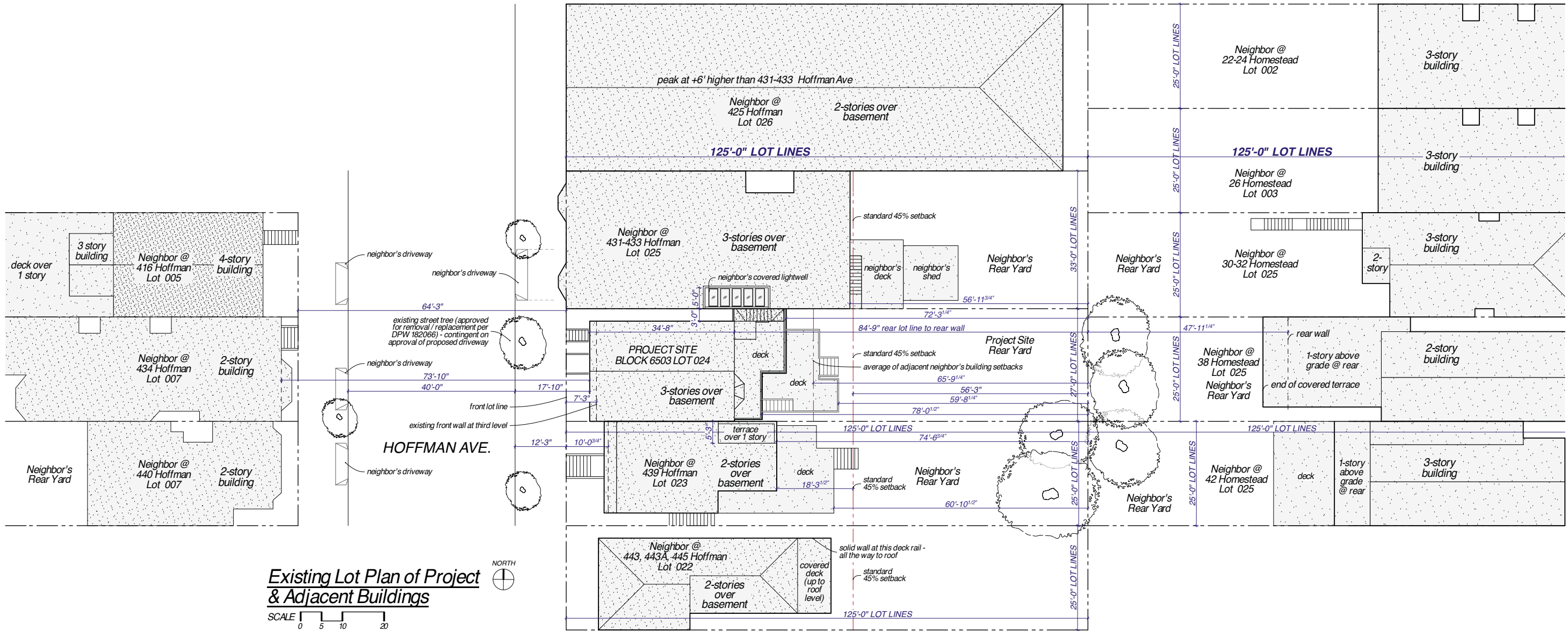
| | | | | | |
|-------------|-----------|-----|----|------|----------|
| DATE | 5/30/2013 | | | | |
| FILE# | ALS1907 | | | | |
| DRAWN BY | JE | | | | |
| APPROVED BY | ML | No. | BY | DATE | REVISION |



AMERICAN LAND SURVEYING, INC.
 1390 MARKET ST, SUITE 112, SAN FRANCISCO, CA 94102
 PH: (415) 888-8580 FAX: (866) 260-5454

TOPOGRAPHIC MAP
 473 HOFFMAN AVENUE
 SAN FRANCISCO, CA

SHEET NO.
 1 of 1



Existing Lot Plan of Project & Adjacent Buildings

NORTH

SCALE 0 5 10 20

remodel
 for
Hoffman
TIC Group

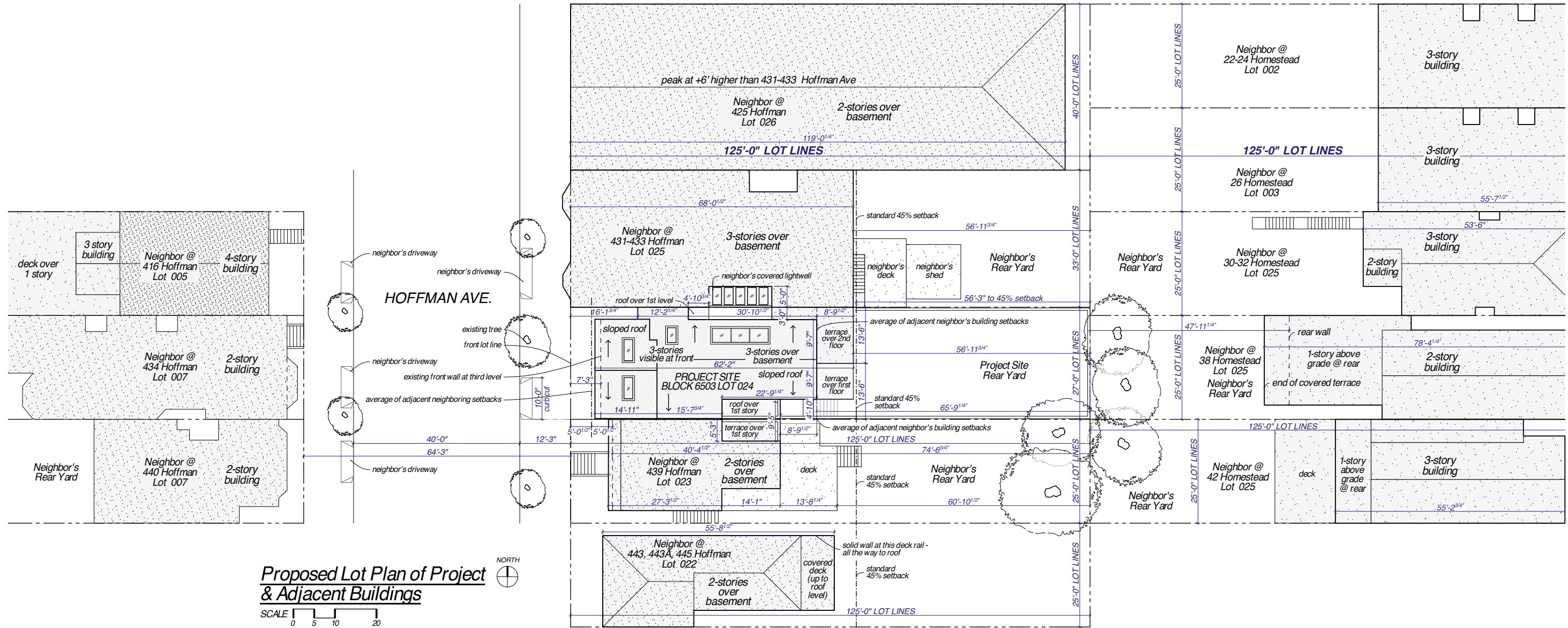
437
Hoffman
 san francisco
 9 4 1 1 4

June 1, 2017



Existing Site Plan

scale: as noted
A3

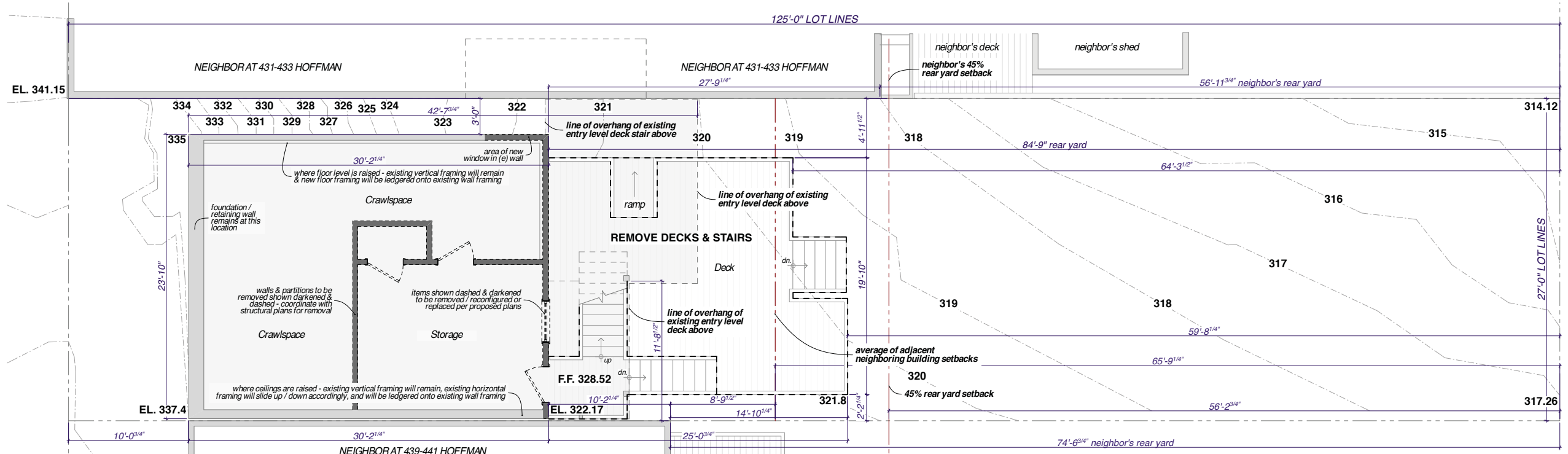


remodel
 for
Hoffman
TIC Group

437
Hoffman
 san francisco
 9 4 1 1 4

June 1, 2017

Proposed Site Plan
 scale: as noted
A4

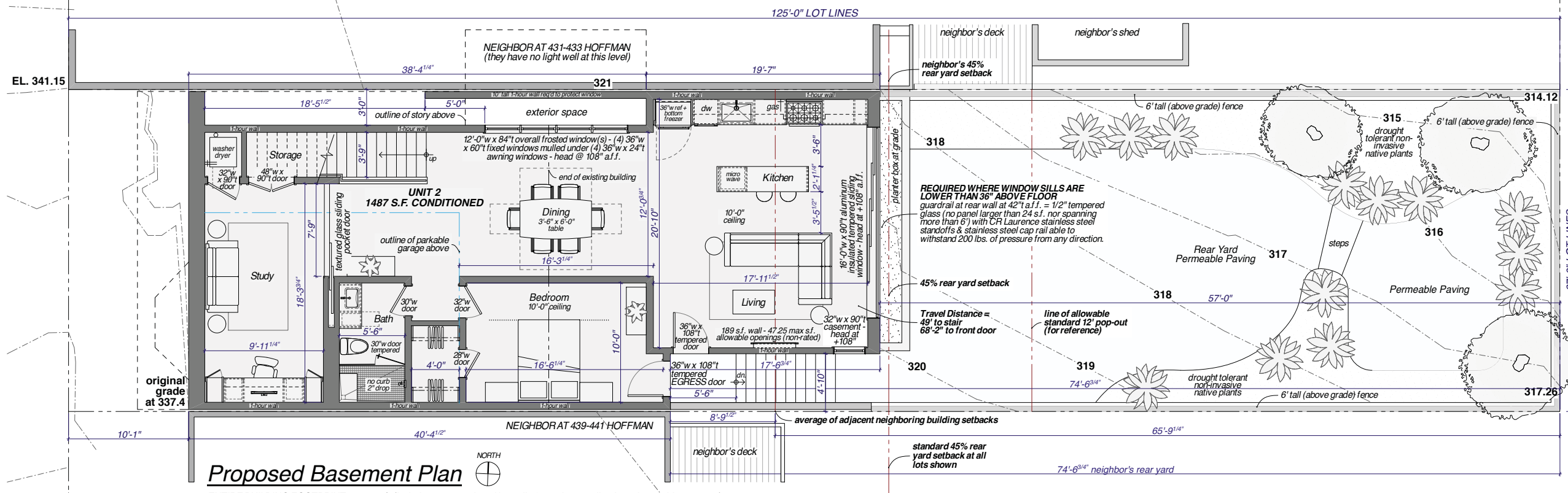


Existing Basement Plan

ENTIRE BUILDING FOOTPRINT = 720 s.f.
 CONDITIONED SPACE = 241 s.f. (measured to exterior face of perimeter walls)
 Existing to remain shown as light gray. Areas to be demolished shown darkened with dashed lines.
 Text remains black for the sake of clarity.

Wall Type Legend

- EXISTING PLAN: existing walls / partitions to remain
- EXISTING PLAN: existing walls / partitions to be removed
- Neighbor's Walls & Mid Height Walls at Project Site
- PROPOSED PLAN: Low Height Walls
- PROPOSED PLAN: Existing & Proposed Full Height Walls at Project Site



Proposed Basement Plan

ENTIRE BUILDING FOOTPRINT = 1463 s.f. (includes areas enclosed by walls & overhangs taller than 4' on 3 sides or more)
 CONDITIONED SPACE = 1355 s.f. (measured to exterior face of perimeter walls - per SFBC definition of 'Conditioned Space')

remodel
for Hoffman
TIC Group

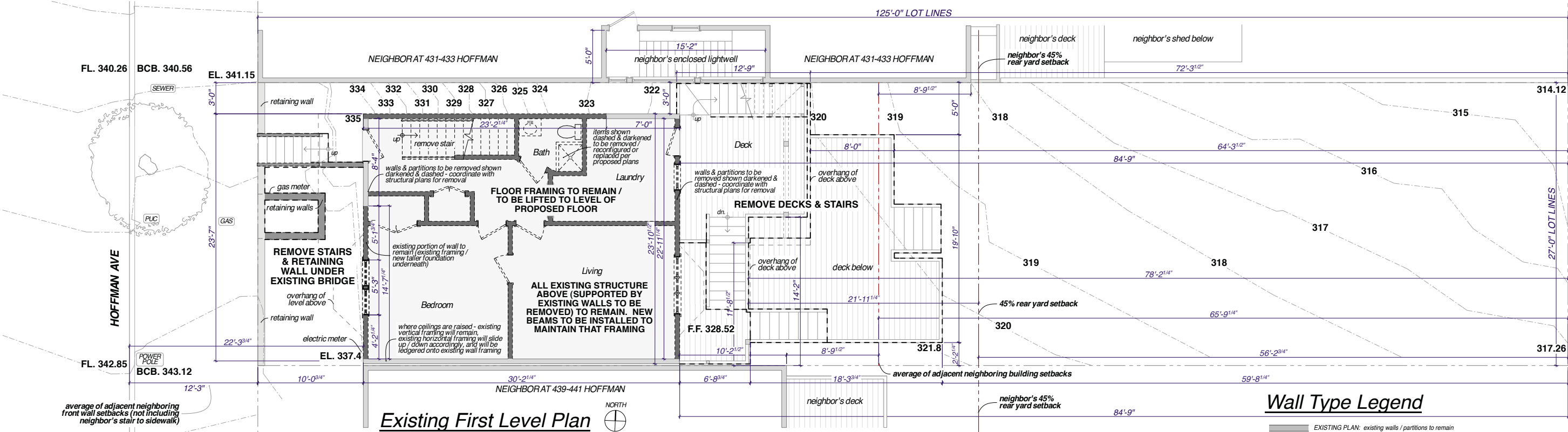
437 Hoffman
 san francisco
 9 4 1 1 4

June 1, 2017

Existing & Proposed Basement Level

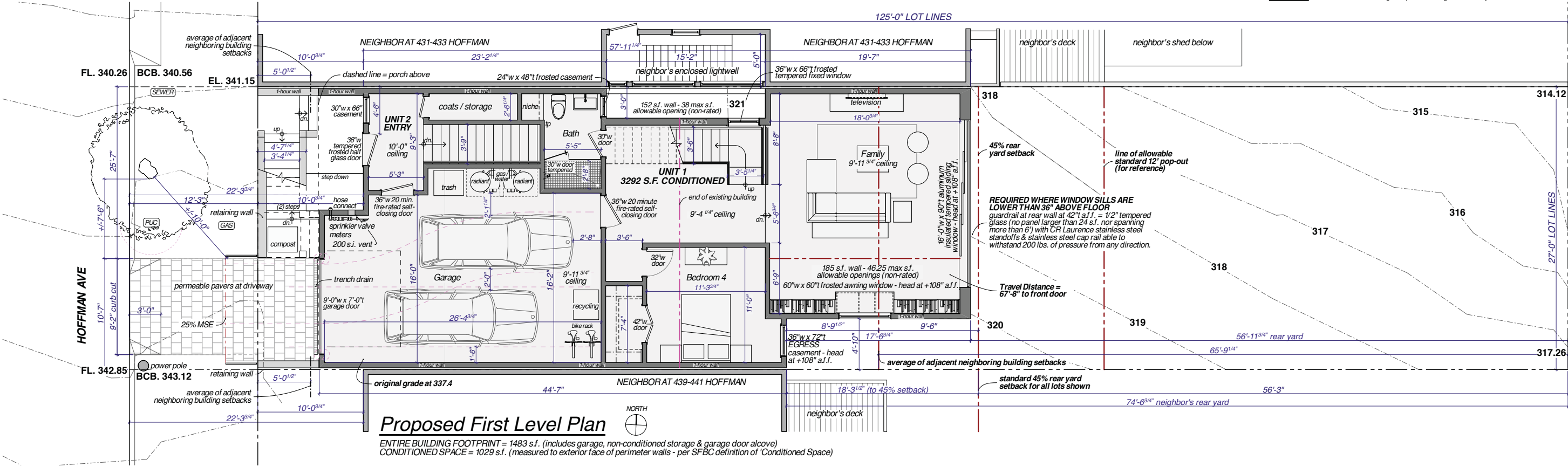
scale: 1/4" = 1'-0"

A5



Wall Type Legend

- EXISTING PLAN: existing walls / partitions to remain
- EXISTING PLAN: existing walls / partitions to be removed
- Neighbor's Walls & Mid Height Walls at Project Site
- PROPOSED PLAN: Low Height Walls
- PROPOSED PLAN: Existing & Proposed Full Height Walls at Project Site



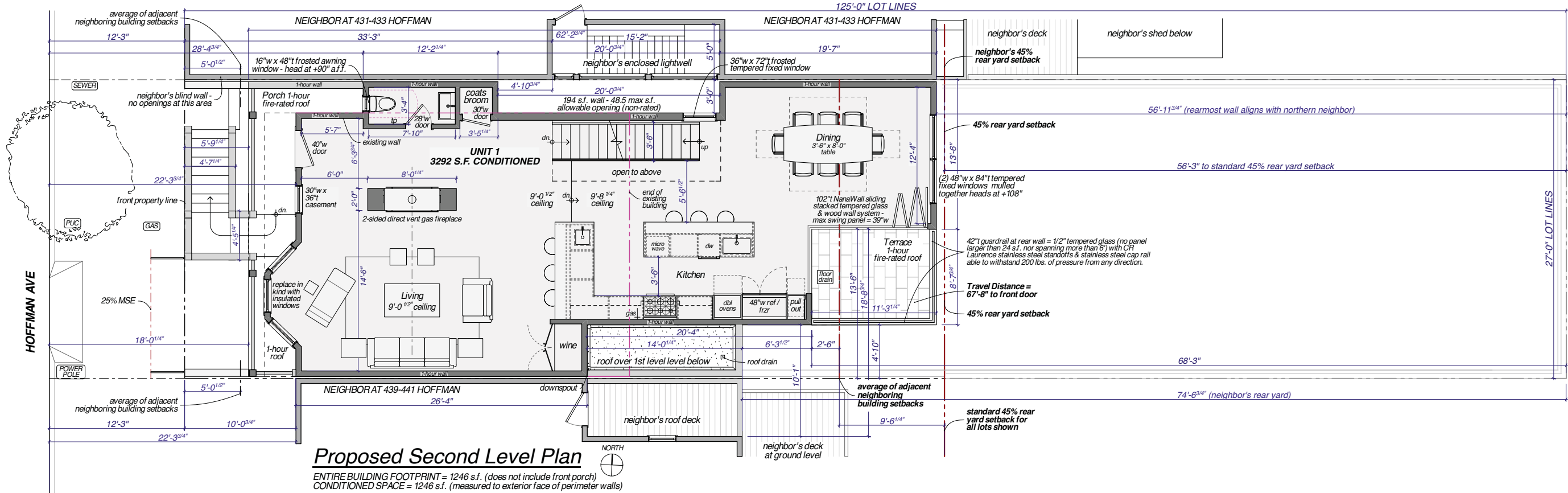
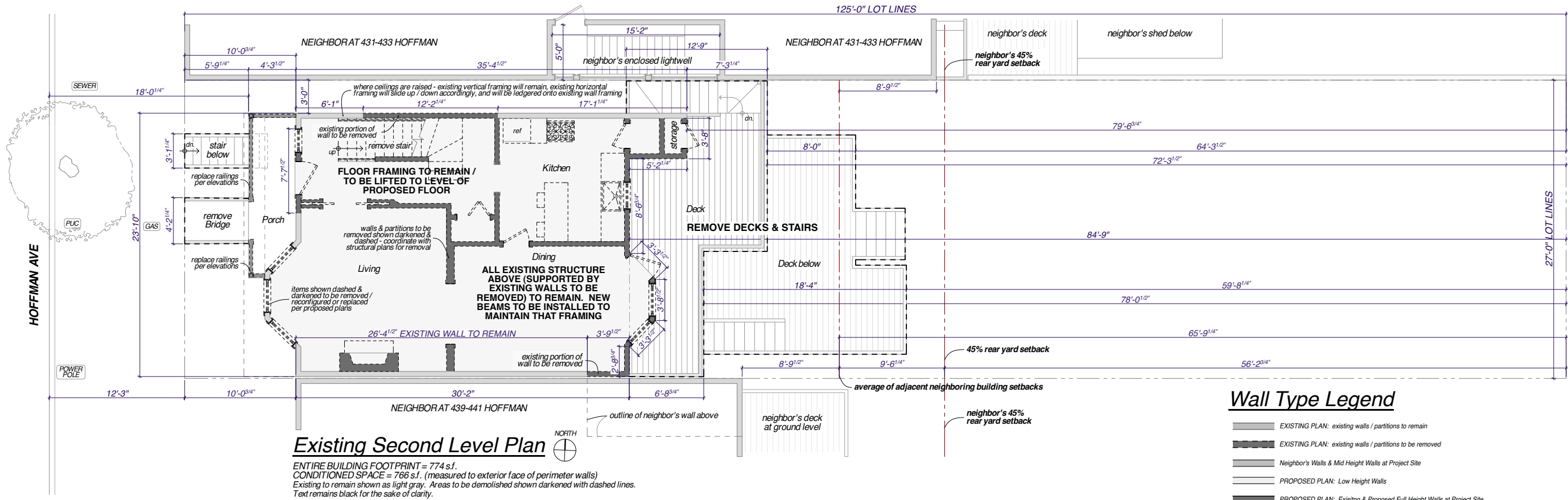
June 1, 2017



Existing & Proposed Second Level

scale: 1/4" = 1'-0"

A7



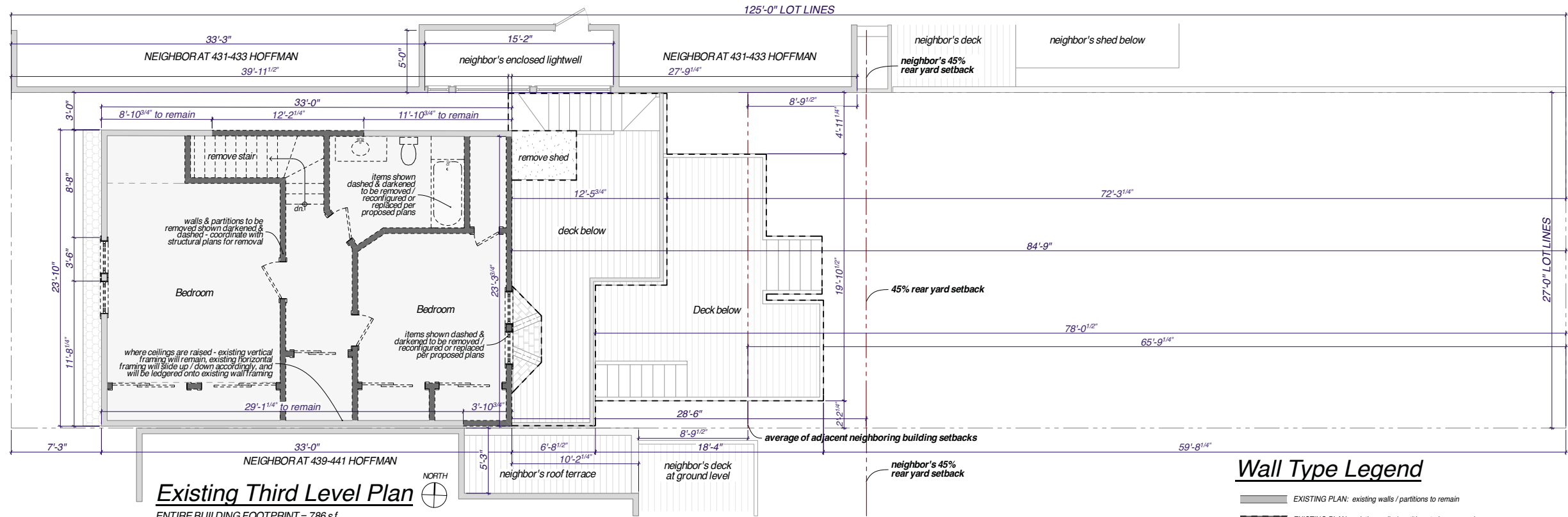
June 1, 2017



Existing &
 Proposed Third
 Level

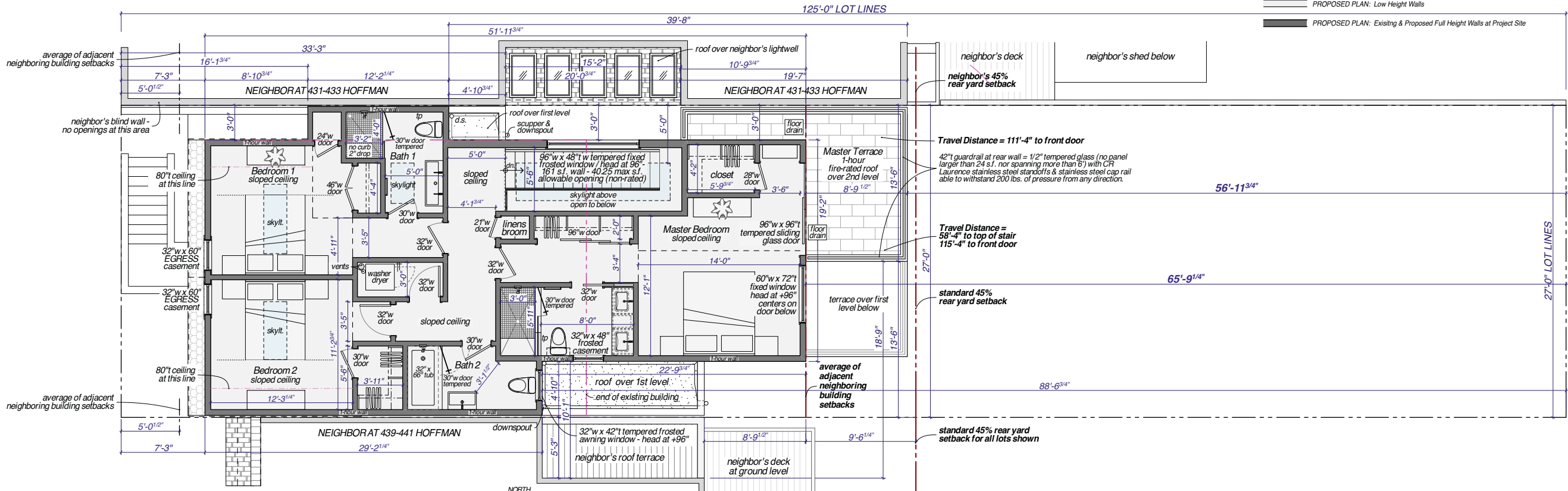
scale: 1/4" = 1'-0"

A8



Wall Type Legend

- EXISTING PLAN: existing walls / partitions to remain
- EXISTING PLAN: existing walls / partitions to be removed
- Neighbor's Walls & Mid Height Walls at Project Site
- PROPOSED PLAN: Low Height Walls
- PROPOSED PLAN: Existing & Proposed Full Height Walls at Project Site



remodel
for Hoffman
TIC Group

437 Hoffman
 san francisco
 94114

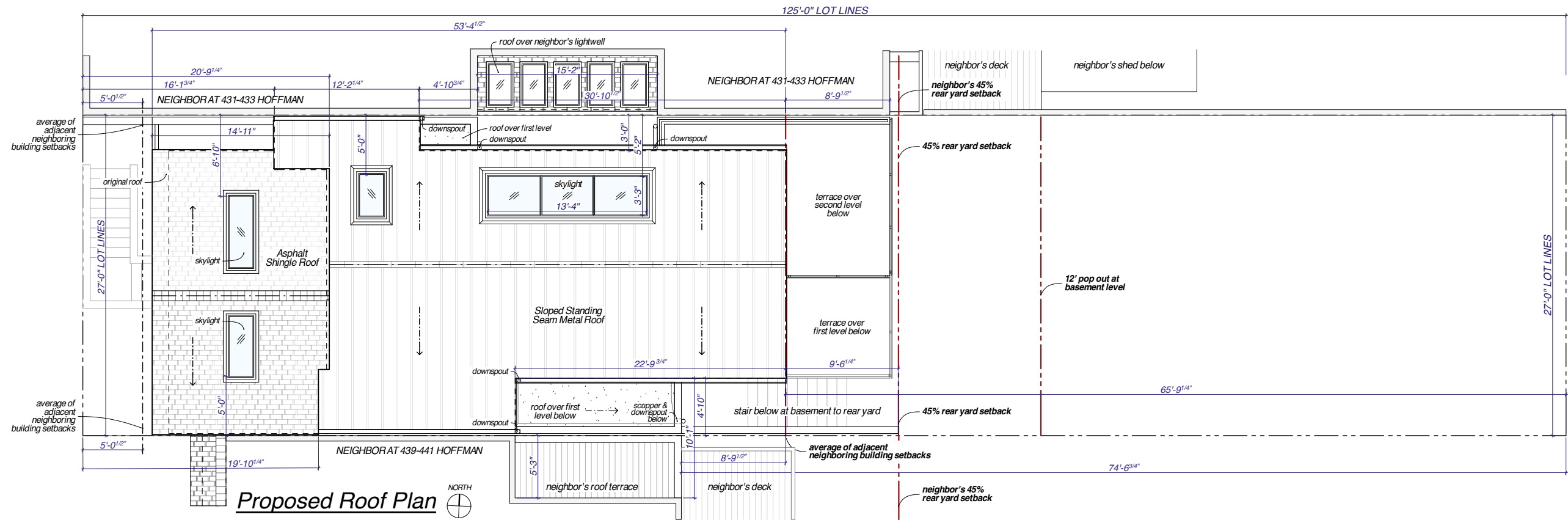
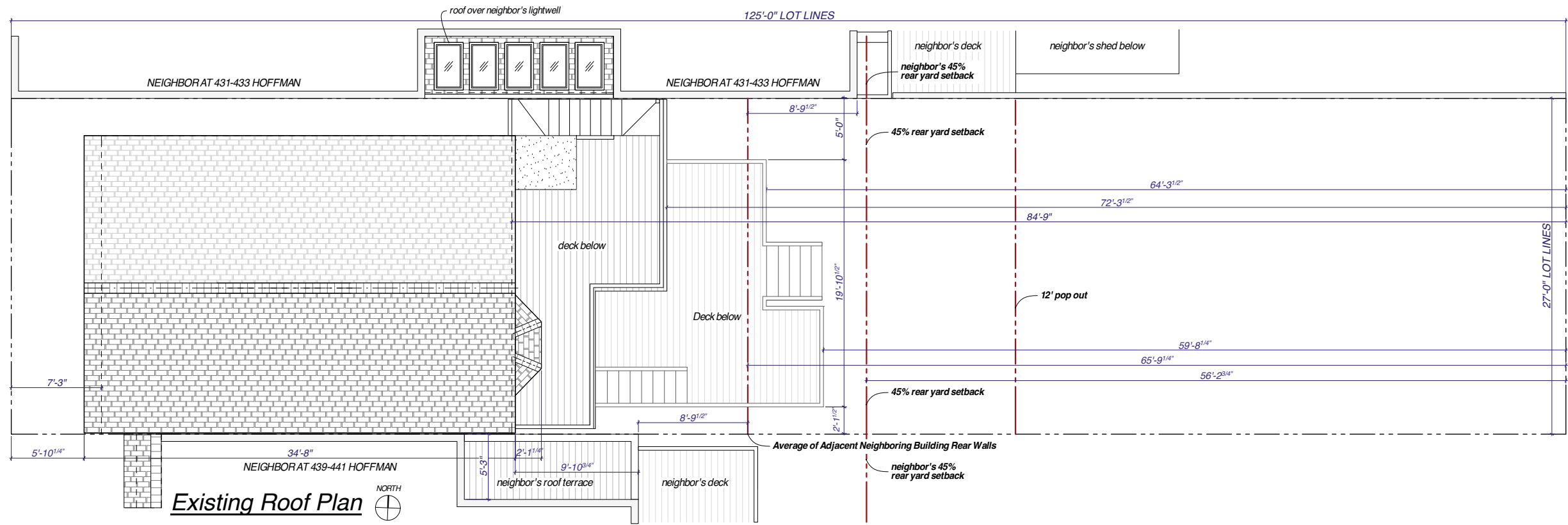
June 1, 2017



Existing &
 Proposed Roof Plan

scale: 1/4" = 1'-0"

A9

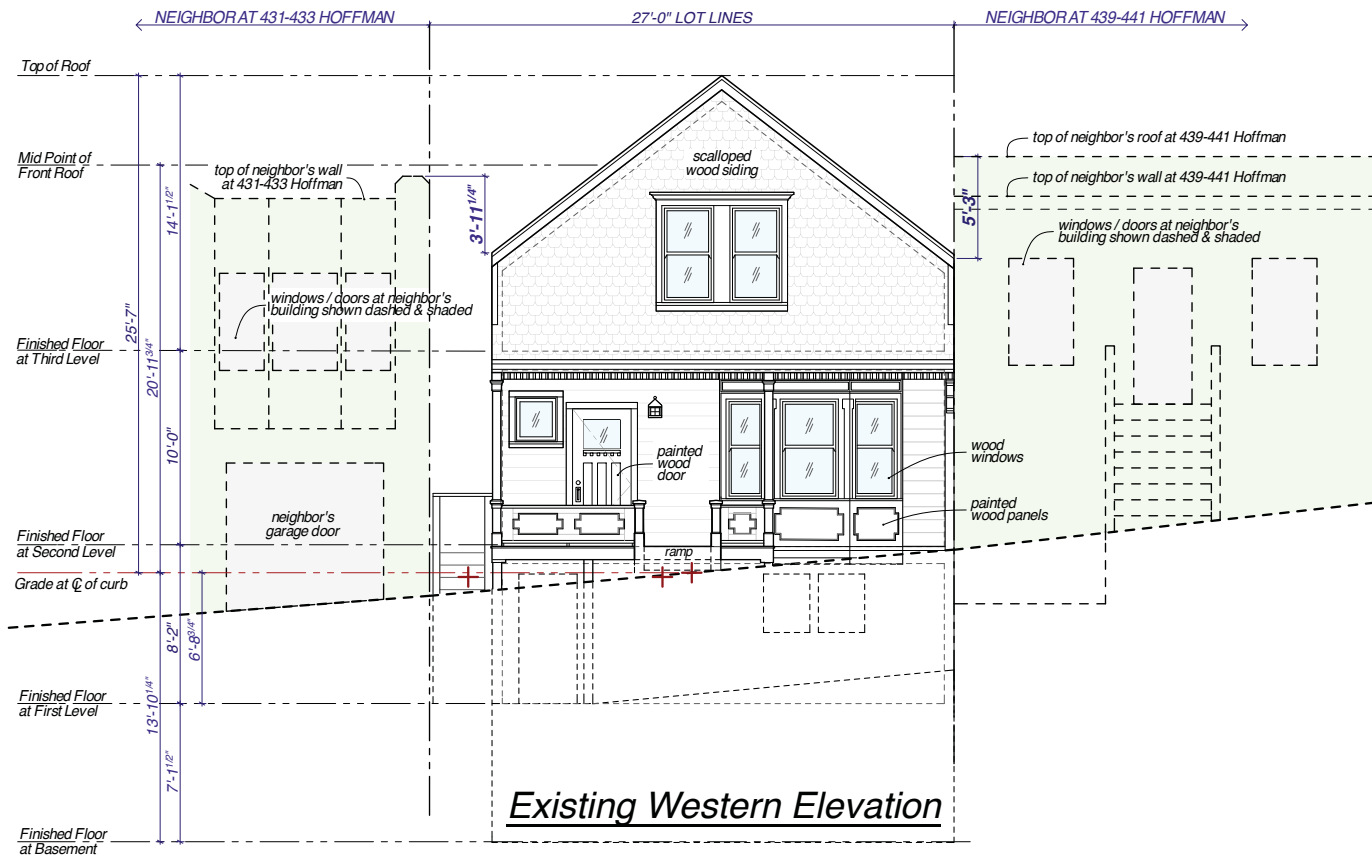


40' Height Limit

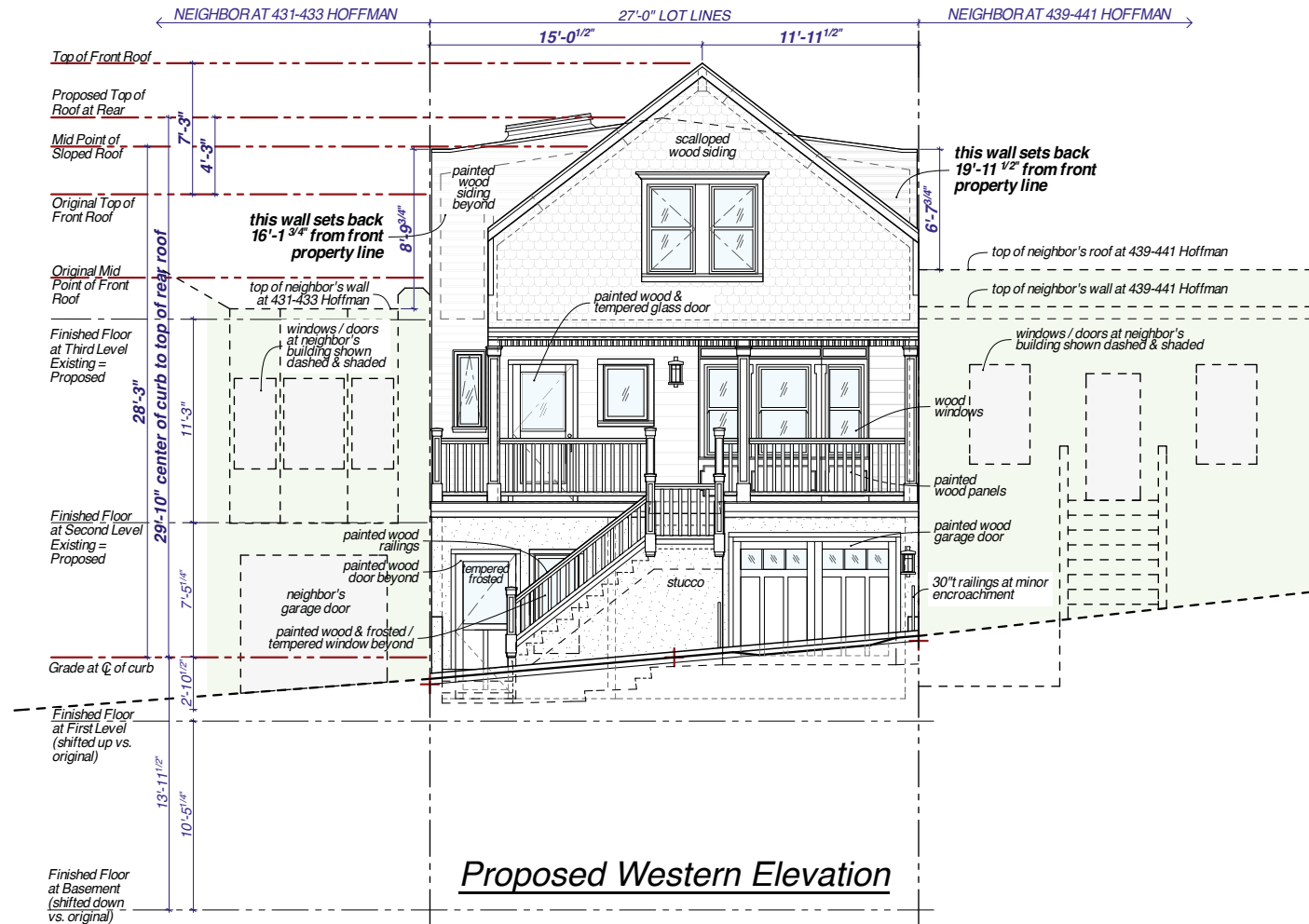
40' Height Limit

40' Height Limit

40' Height Limit



Existing Western Elevation



Proposed Western Elevation



remodel
for
**Hoffman
TIC Group**

**437
Hoffman**
san francisco
9 4 1 1 4

June 1, 2017

Existing &
Proposed Front
Elevations

scale: 1/4" = 1'-0"

A10

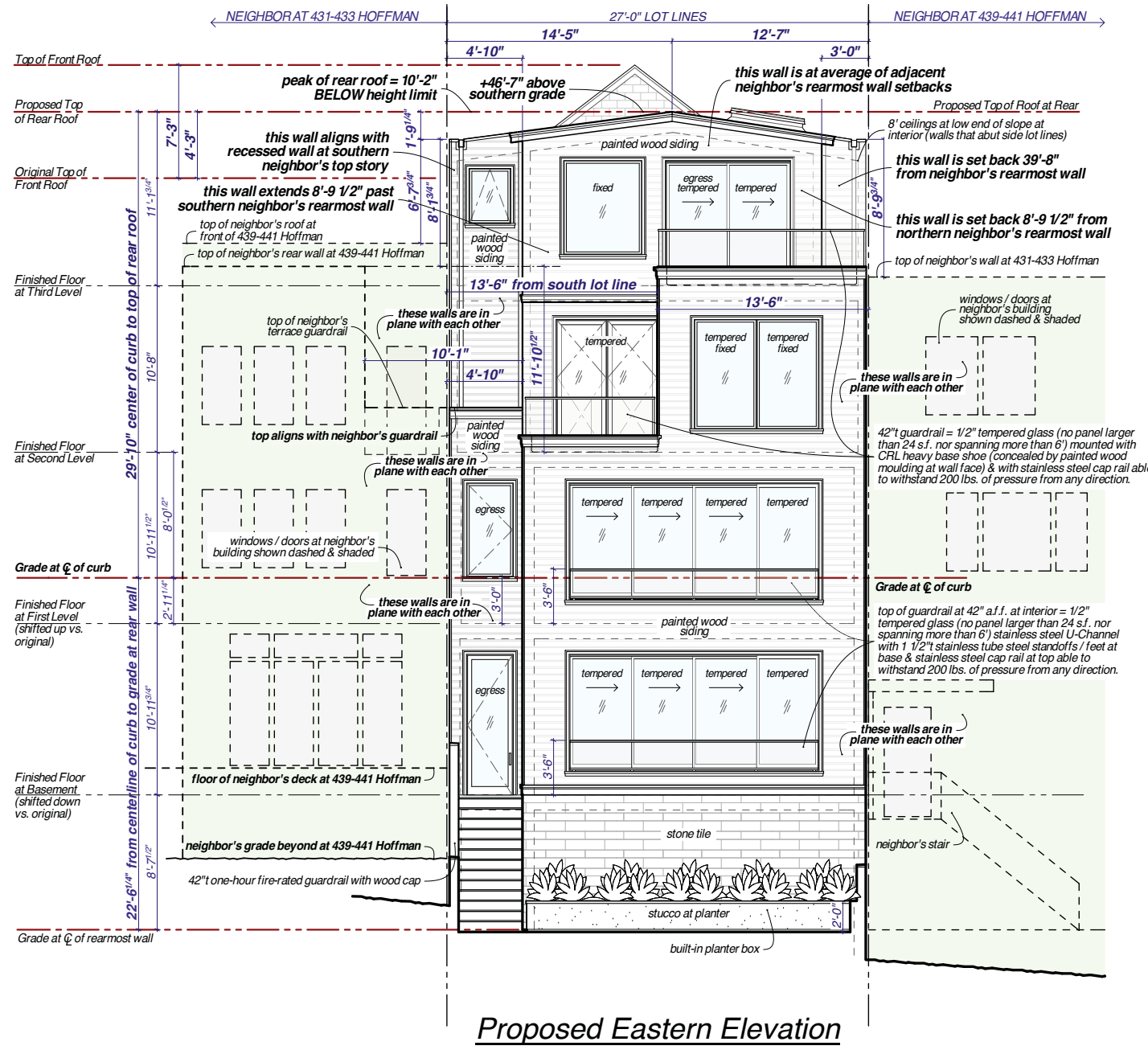
40' Height Limit

40' Height Limit



40' Height Limit

40' Height Limit



remodel
for
**Hoffman
TIC Group**

**437
Hoffman
san francisco
9 4 1 1 4**

June 1, 2017

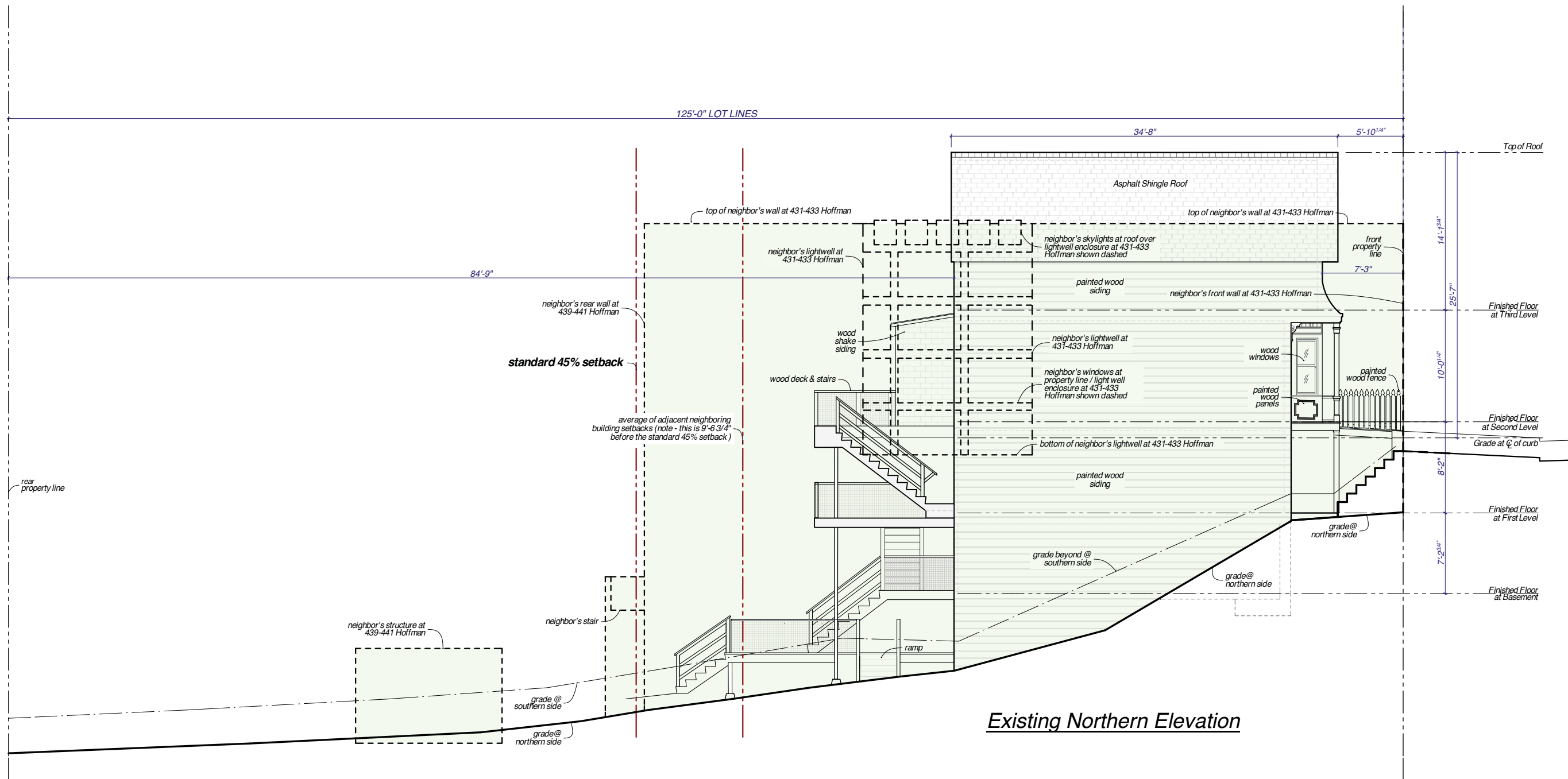
Existing & Proposed Rear Elevations

scale: 1/4" = 1'-0"

A11

40' Height Limit

40' Height Limit



remodel
 for
Hoffman
TIC Group

437
Hoffman
 san francisco
 9 4 1 1 4

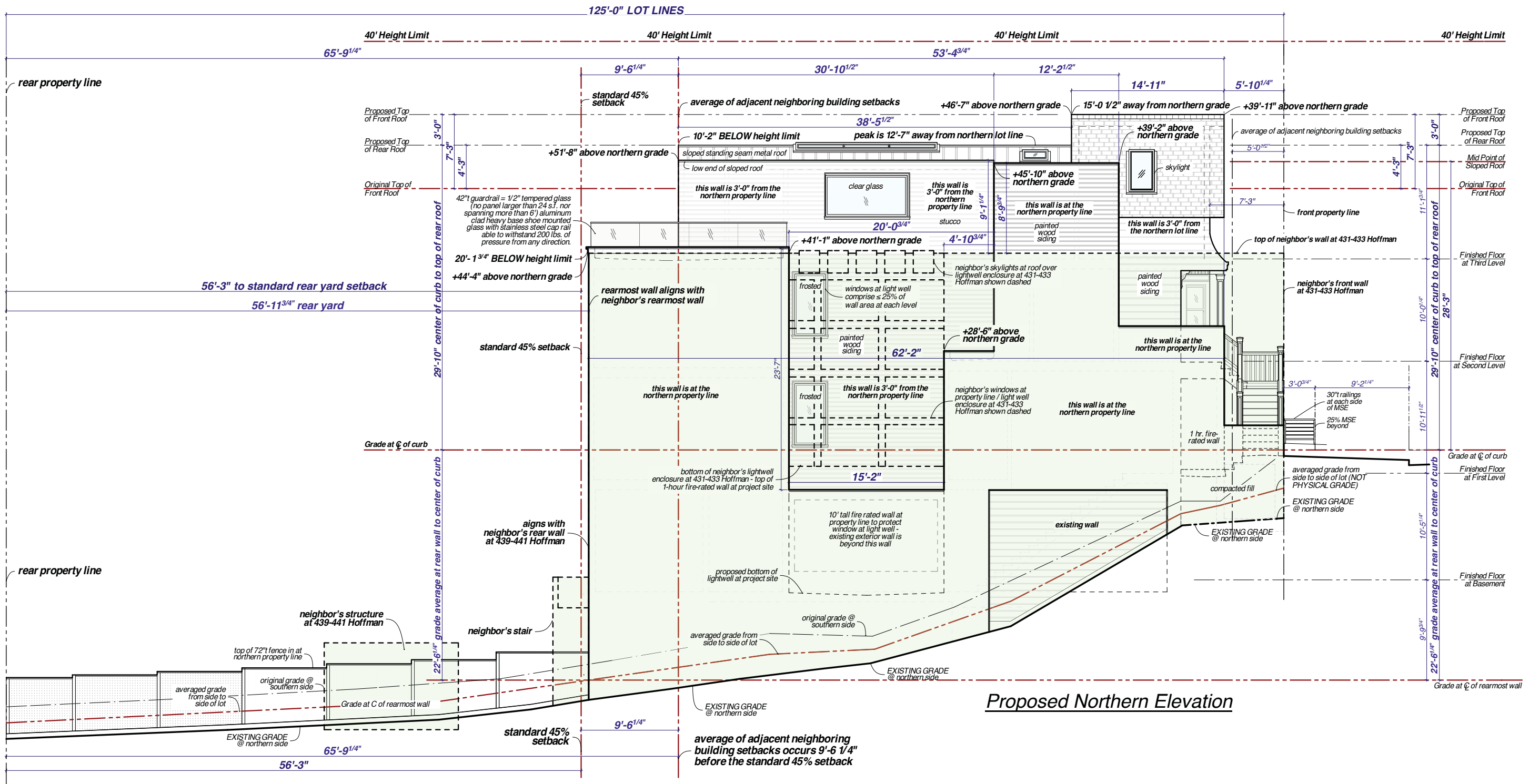
June 1, 2017



Existing Northern Elevation

scale: 1/4" = 1'-0"

A12



Proposed Northern Elevation

remodel
 for
**Hoffman
 TIC Group**

**437
 Hoffman**
 san francisco
 9 4 1 1 4

June 1, 2017

REGISTERED PROFESSIONAL ENGINEER
 MICHAEL A. HOY
 NO. 71450
 Exp. 12/31/17
 CIVIL
 STATE OF CALIFORNIA

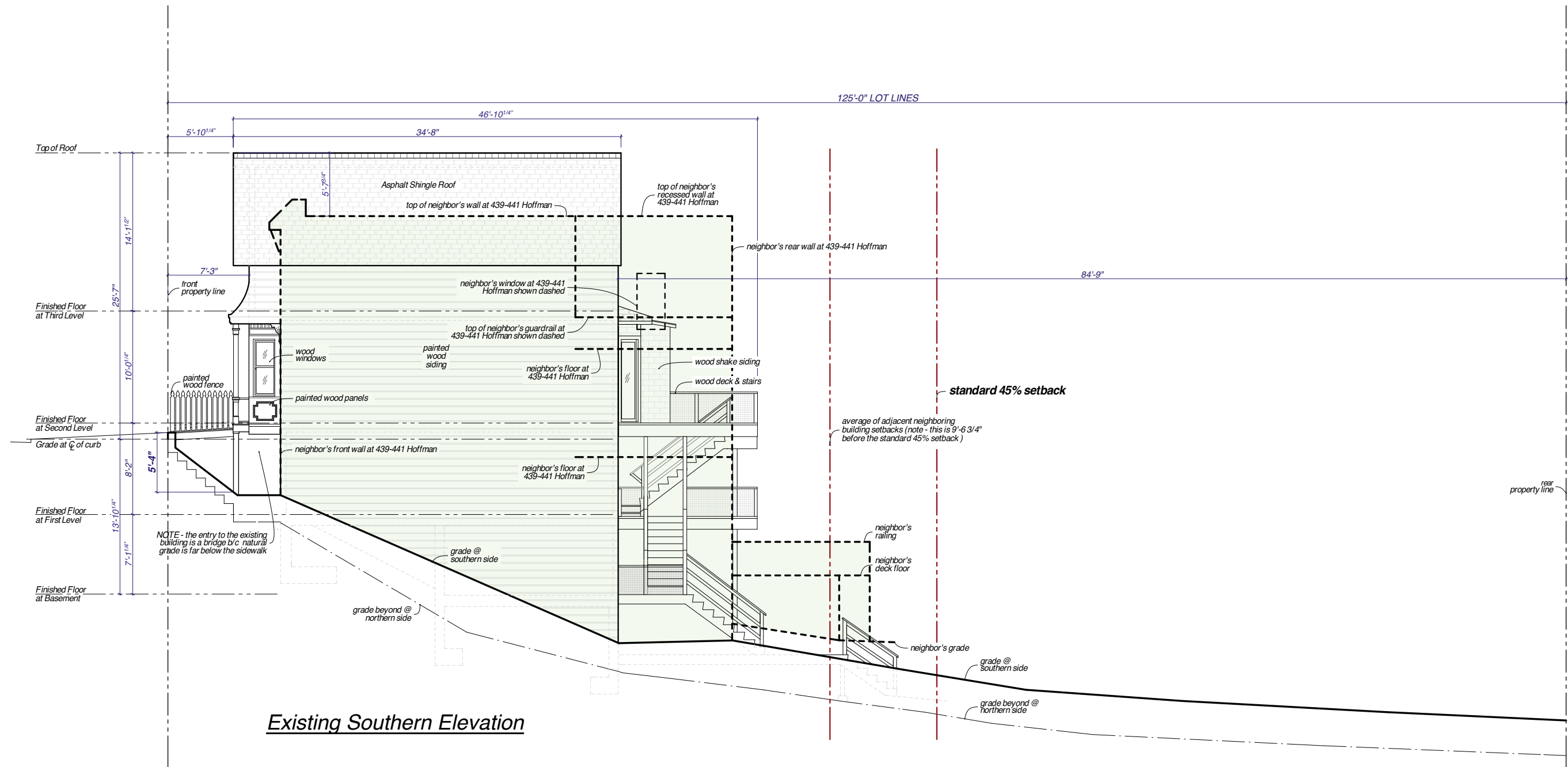
Proposed
 Northern
 Elevation

scale: 1/4" = 1'-0"

A13

40' Height Limit

40' Height Limit

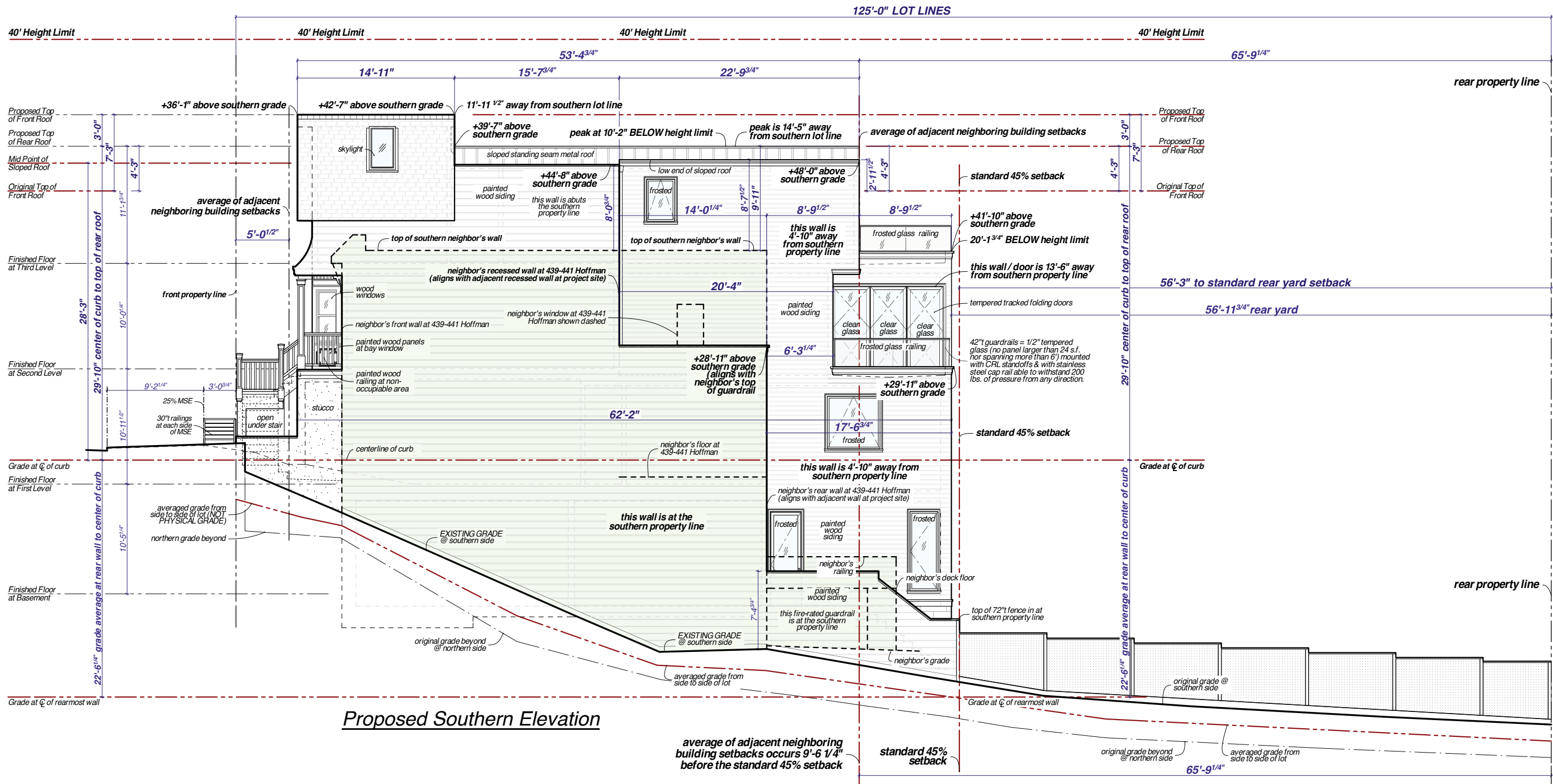


Existing Southern Elevation

remodel
for Hoffman TIC Group
 437 Hoffman
 san francisco
 94114

June 1, 2017

Existing Southern Elevation
 scale: 1/4" = 1'-0"
A14



remodel

for Hoffman TIC Group

437 Hoffman san francisco 94114

June 1, 2017

REGISTERED PROFESSIONAL ENGINEER
 MICHAEL A. HORN
 NO. 71450
 Exp. 12/31/17
 CIVIL
 STATE OF CALIFORNIA

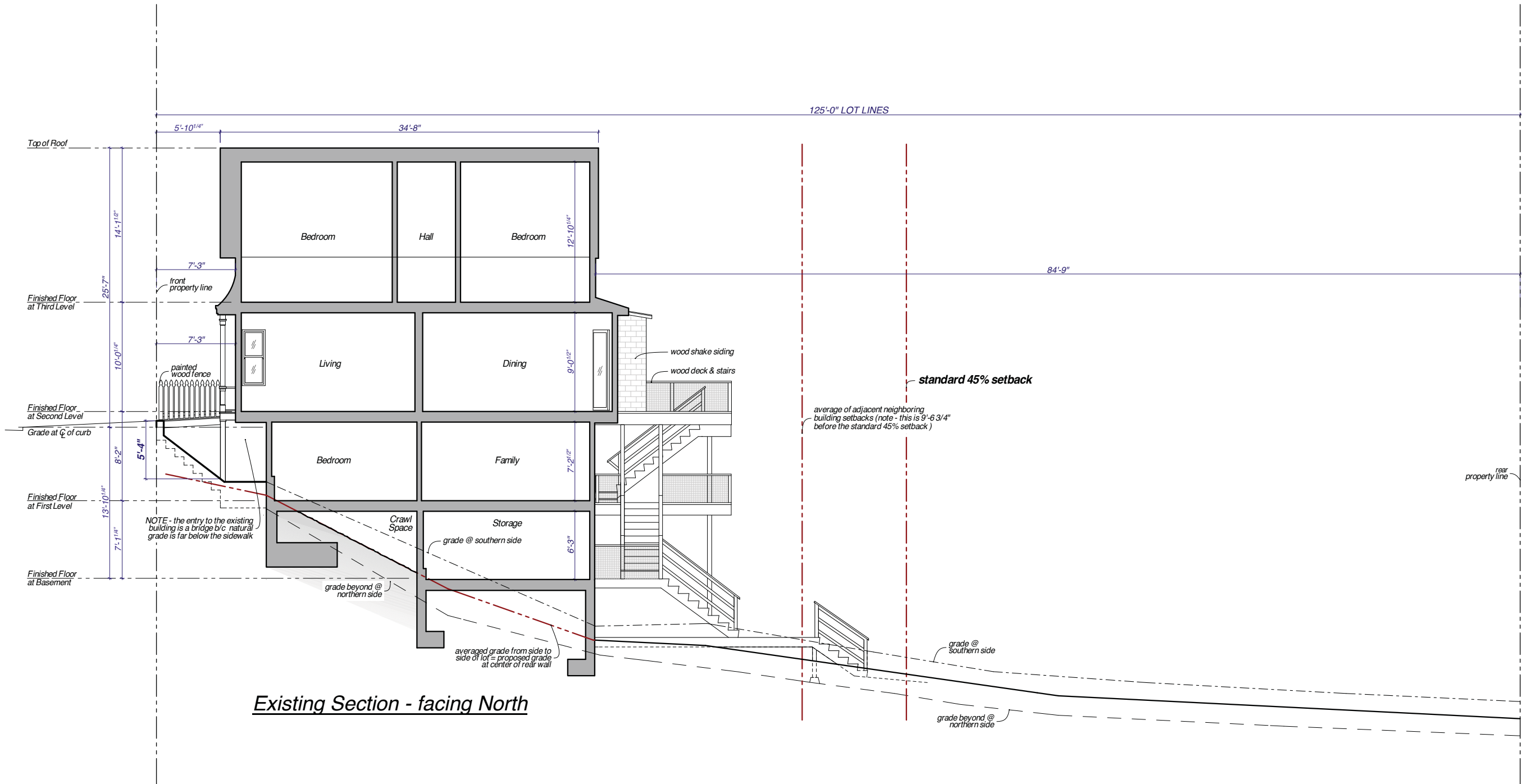
Proposed Southern Elevation

scale: 1/4" = 1'-0"

A15

40' Height Limit

40' Height Limit



remodel

for Hoffman TIC Group

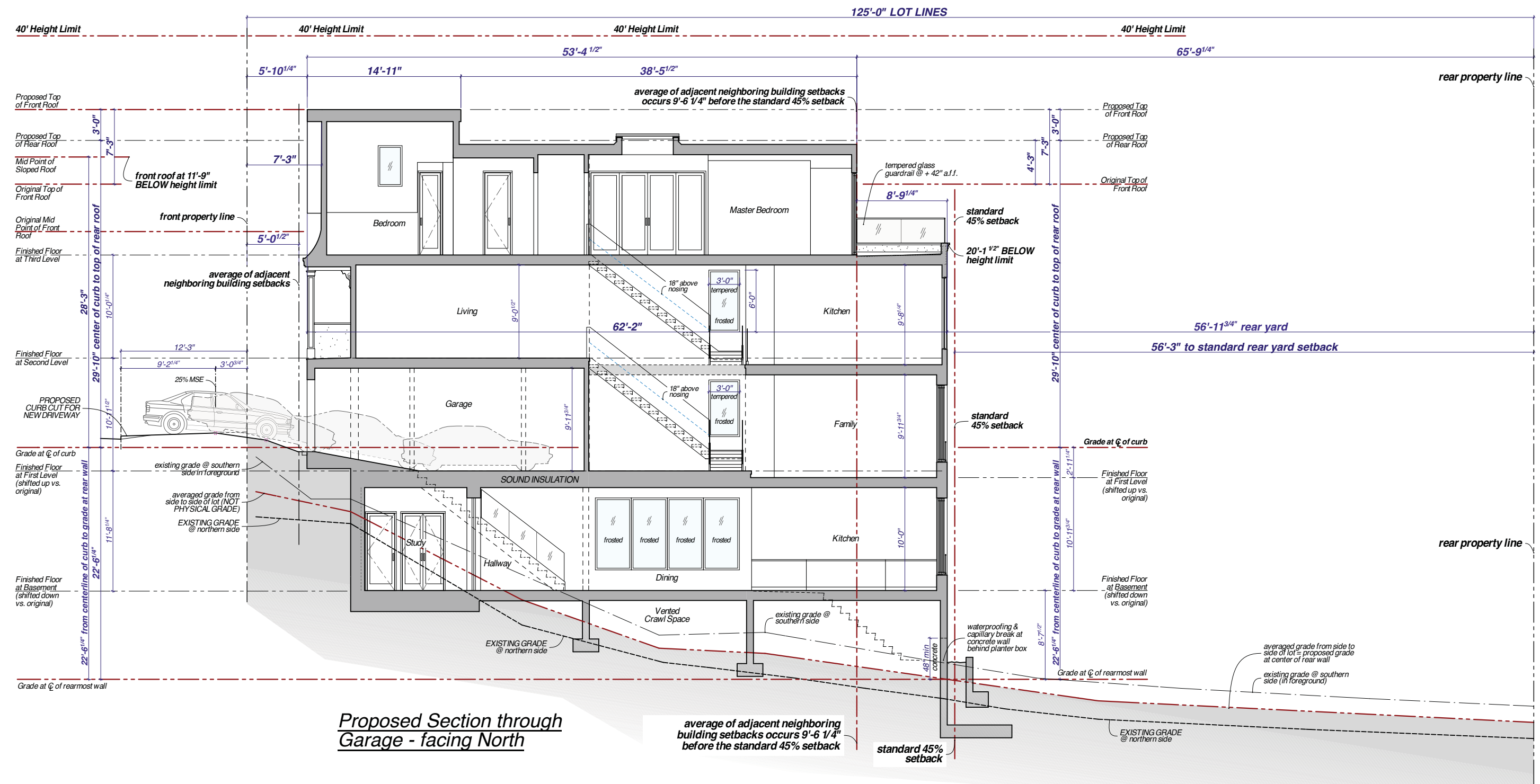
437 Hoffman san francisco 94114

June 1, 2017

Existing Section

scale: 1/4" = 1'-0"

A16



**Proposed Section through
 Garage - facing North**

remodel
**for Hoffman
 TIC Group**

**437
 Hoffman
 san francisco
 9 4 1 1 4**

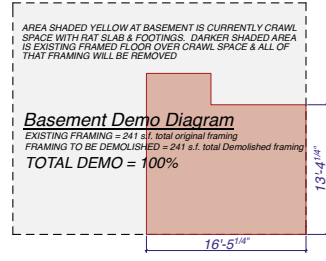
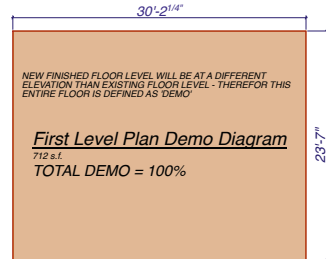
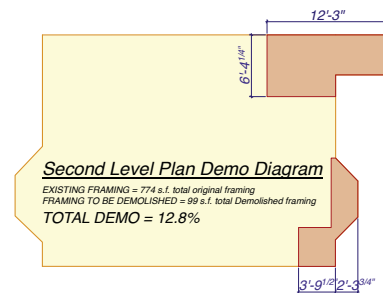
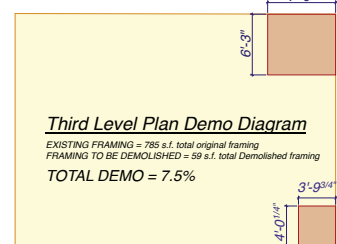
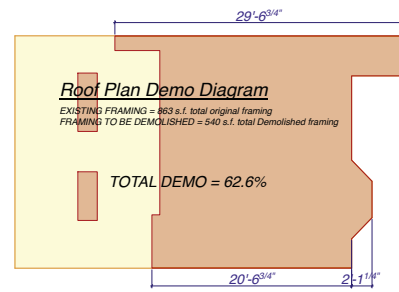
June 1, 2017

REGISTERED PROFESSIONAL ENGINEER
 MICHAEL A. HOE
 NO. 71450
 Exp. 12/31/17
 CIVIL
 STATE OF CALIFORNIA

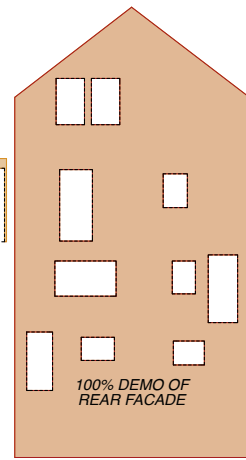
Proposed Section

scale: 1/4" = 1'-0"

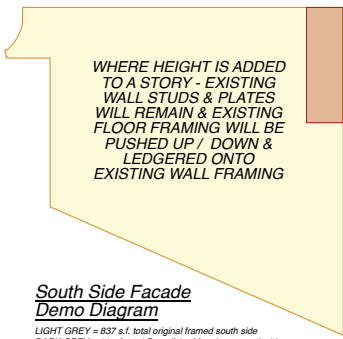
A17



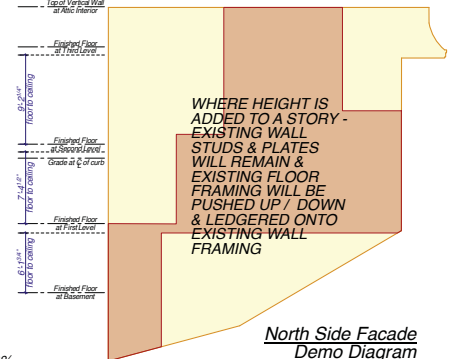
Front Facade Demo Diagram
 LIGHT GREY = 533 s.f. total original front facade (includes windows & doors)
 DARK GREY = 103 s.f. total Demolished framing at front facade
 TOTAL DEMO OF FRONT FACADE = 19.3%



Rear Facade Demo Diagram
 LIGHT GREY = 851 s.f. total original framed rear facade
 DARK GREY = 851 s.f. total Demolished framing at rear facade
 Entire Facade to be removed



South Side Facade Demo Diagram
 LIGHT GREY = 837 s.f. total original framed south side
 DARK GREY = 44 s.f. total Demolished framing at south side
 TOTAL DEMO OF SOUTH SIDE FACADE = 5.3%



North Side Facade Demo Diagram
 LIGHT GREY = 950 s.f. total original framed north side
 DARK GREY = 484 s.f. total Demolished framing at north side
 TOTAL DEMO OF NORTH SIDE FACADE = 51%

LIGHT GREY = 1664 s.f. total combined original front & rear facades
 DARK GREY = 1205 s.f. total combined DEMO of original front & rear facades
 TOTAL DEMO OF FRONT & REAR FACADES COMBINED = 72%

TOTAL DEMO OF VERTICAL ELEMENTS COMBINED = 46.7%

LIGHT GREY = 3172 s.f. total original Vertical Elements
 DARK GREY = 1482 s.f. total Demolished Vertical Elements

**TOTAL HORIZONTAL S.F. DEMO COMBINED = 42.84% DEMO OF ACTUAL FRAMING
 BUT PER SECTION 317 THIS = 100% DEMO ONLY BECAUSE THE BUILDING IS BEING LIFTED UP IN THE AIR**

LIGHT GREY = 3854 s.f. total original Horizontal Elements
 DARK GREY = 1651 s.f. total Demolished Horizontal Elements

| Demolition Calcs - Lineal Feet at Foundation | | | | |
|--|----------------|----------------|---------------|-------------------------|
| Facade | (E) Length | Removed | % Removed | Combined |
| West Facade - Front | 23'-10 1/4" | 15'-7 1/2" | 65.5% | 82.2% front & rear only |
| East Facade - Rear | 23'-10 1/4" | 23'-10 1/4" | 100% | |
| South Facade | 30'-2 1/4" | 0' | 0% | |
| North Facade | 30'-2 1/4" | 5'-5 1/4" | 18% | |
| Combined Totals | 108'-1" | 44'-11" | 41.56% | |

| Demo Qualifiers | | |
|---|--|---|
| Removal of more than 50% of the sum of Front & Rear Facades AND Removal of more than 65% Lineal Feet at Foundation | 72% = demo 41.56% = not demo | doesn't do both therefor NOT DEMO |
| OR | | |
| Removal of more than 50% Vertical Envelope Elements AND Removal of more than 50% Horizontal Framing Elements | 46.7% = not demo 100% = demo (b/c building lifts) | doesn't do both therefor NOT DEMO |

remodel
 for
Hoffman
TIC Group

437
Hoffman
 san francisco
 9 4 1 1 4

June 1, 2017

Demo Calculations

scale: 1/8" = 1'-0"

A18



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Thursday, June 15, 2017**
 Time: **Not before 12:00 PM (noon)**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 400**
 Case Type: **Discretionary Review**
 Hearing Body: **Planning Commission**

| PROPERTY INFORMATION | | APPLICATION INFORMATION | |
|----------------------|--|-------------------------|---|
| Project Address: | 437 Hoffman Avenue | Case No.: | 2015-003686DRP-04,-05,-06,-07 |
| Cross Street(s): | 24th & 25th Streets | Building Permit: | 2014.04.11.3029 |
| Block /Lot No.: | 6503 / 024 | Applicant: | Kelly Condon |
| Zoning District(s): | RH-2 / 40-X | Telephone: | (415) 240-8328 |
| Area Plan: | N/A | E-Mail: | kellymcondon@gmail.com |

PROJECT DESCRIPTION

The four Requests are for a Discretionary Review of Building Permit Application No. 2014.04.11.3029 proposing to construct additions to the existing single-family residence and increase the dwelling count from one to two units. The project includes extensive interior remodeling and exterior changes such as lifting the building to install a new garage door, front porch, entry stairs and rear terraces.

A Planning Commission approval at the public hearing would constitute the Approval Action for the project for the purposes of CEQA, pursuant to San Francisco Administrative Code Section 31.04(h).

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: If you are interested in viewing the plans for the proposed project please contact the planner listed below. The plans of the proposed project will also be available prior to the hearing through the Planning Commission agenda at: [**http://www.sf-planning.org**](http://www.sf-planning.org)

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Nancy Tran** Telephone: **(415) 575-9174** E-Mail: [**nancy.h.tran@sfgov.org**](mailto:nancy.h.tran@sfgov.org)

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Planning Commission at the public hearing.

APPEAL INFORMATION

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

Application for Discretionary Review

CASE NUMBER:
For Staff Use only

RECEIVED

MAR 17 2017

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

| | | |
|---|--------------------|-------------------------------|
| DR APPLICANT'S NAME: JANET FOWLER | | |
| DR APPLICANT'S ADDRESS: 434 HOFFMAN AVENUE | ZIP CODE: 94114 | TELEPHONE: (415)648-8780 |
| PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: KELLY CONDON (DESIGNER/REPRESENTATIVE) FOR PERFERO PROPERTIES LLC (OWNER) | | |
| ADDRESS: 443 JOOST AVENUE | ZIP CODE: 94127 | TELEPHONE: (415) 240-8328 |
| CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/> <input type="checkbox"/> | | |
| ADDRESS: | ZIP CODE: | TELEPHONE: () |
| E-MAIL ADDRESS: jfowlers@aol.com | | |

2. Location and Classification

| | | |
|--|-------------------------------|-------------------------------|
| STREET ADDRESS OF PROJECT: 437 HOFFMAN AVENUE | | ZIP CODE: 94114 |
| CROSS STREETS: BETWEEN 24th and 25th STREETS | | |
| ASSESSORS BLOCK/LOT: 6503 /024 | LOT DIMENSIONS: 27' x 125; | LOT AREA (SQ.FT): 3,375 |
| ZONING DISTRICT: RH-2 | | HEIGHT/BULK DISTRICT: 40-X |

3. Project Description

Please check all that apply
 Change of Use Change of Hours New Construction Alterations Demolition Other

Additions to Building: Rear Front Height Side Yard
 Single Family Dwelling (previous two-family dwelling - merger granted 2008)

Present or Previous Use: _____
 Proposed Use: 2-unit dwelling consisting of a big 3-story unit-no yard access & a fake 1-story unit below garage

Building Permit Application No. 2014.04.11.3029 Date Filed: April 11, 2014

4. Actions Prior to a Discretionary Review Request

| Prior Action | YES | NO |
|---|-------------------------------------|-------------------------------------|
| Have you discussed this project with the permit applicant? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Did you discuss the project with the Planning Department permit review planner? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Did you participate in outside mediation on this case? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

No substantial changes were made. In the project sponsors' words, there was some notching or chipping away.

This project was heard on June 30th, 2016 as a (tantamount to demolition) CUA. The Commission gave strong suggestions to the Project Sponsor to work with the neighbors and to redesign the project in a site specific way, using the topography, etc. This was ignored by the Project Sponsor. The project sponsor came back with a DR, hoping to escape the Commissioners' directives, I suppose. The project is out of scale to the neighborhood.

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

See attachment

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

See Attachment

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

See attachment

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: Janet Fowler

Date: March 17, 2017

Print name, and indicate whether owner, or authorized agent:

Janet Fowler
 Owner Authorized Agent (circle one)

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and signed by the applicant or authorized agent.

| REQUIRED MATERIALS (please check correct column) | DR APPLICATION |
|---|-------------------------------------|
| Application, with all blanks completed | <input checked="" type="checkbox"/> |
| Address labels (original), if applicable | <input checked="" type="checkbox"/> |
| Address labels (copy of the above), if applicable | <input checked="" type="checkbox"/> |
| Photocopy of this completed application | <input checked="" type="checkbox"/> |
| Photographs that illustrate your concerns | <input checked="" type="checkbox"/> |
| Convenant or Deed Restrictions | <input type="checkbox"/> |
| Check payable to Planning Dept. | <input checked="" type="checkbox"/> |
| Letter of authorization for agent | <input type="checkbox"/> |
| Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors) | <input type="checkbox"/> |

NOTES:

Required Material.

Optional Material.

Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____



**SAN FRANCISCO
PLANNING
DEPARTMENT**

FOR MORE INFORMATION:
Call or visit the San Francisco Planning Department

Central Reception
1650 Mission Street, Suite 400
San Francisco CA 94103-2479

TEL: 415.558.6378
FAX: 415.558-6409
WEB: <http://www.sfplanning.org>

Planning Information Center (PIC)
1660 Mission Street, First Floor
San Francisco CA 94103-2479

TEL: 415.558.6377
*Planning staff are available by phone and at the PIC counter.
No appointment is necessary.*

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

Overall Concerns:

This proposed project is unrestrainedly out of scale for the neighborhood and surrounding homes. It sticks up in the front more than a full-story higher than the neighboring homes on that side of the street. The building does not step down with the topography and is more than 50 feet above grade at the rear. From the front pedestrian view, it will have an exceptionally relentless roofline that can be seen front to back. From the rear and the neighbors below, this project looms over the neighbors below and has the look of a large office building. It takes away almost all the sunshine from the neighbor to the north, and even casts a shadow over that neighbor's skylight for almost the entire year. For the neighbor to the south, it will bring a massive and oppressive wall next to the home and garden that takes away privacy and rips away the feeling of midblock open space in his yard.

This project has a profoundly negative impact for 3 blocks of neighbors. On Hoffman Avenue, it will set a precedent for over-sized facades along on the upside of a steep grade. It will set the same precedent for Fountain Street on the block above Hoffman. On Homestead Street, a block below, neighboring backyards will be facing at a mammoth wall stretching between 24th and 25th streets. The same precedent will be set for neighbors on the west side of Hoffman Avenue for developments on the downhill slope of Fountain Street on the hill behind their backyards. This is directly counter to the General Plan and Priority Policy No. 2, which requires that "existing housing and neighborhood character be conserved and protected in order to preserved the cultural and economic diversity of our neighborhoods." A building such as the proposed project at 437 Hoffman would fundamentally change the character of this neighborhood.

The loss of the existing home represents the loss of affordable housing while the proposed structure perpetuates a pattern of excessive remodeling and flipping of market-rate homes into very extraordinarily unaffordable homes.

Note: Please see my first DR Request for an April 7, 2016 hearing is attached and has other detail. The plans were withdrawn. This project was eventually heard before the Planning Commission on June 30th, 2016 as a CUA (Tantamount to Demolition).

The first plans were for a four or five-story 5000 to nearly 6000sf single-family home with a gym below the garage. The current plans show a four or five story two-unit dwelling with a unit below the garage.

Conflicts with Residential Design Guidelines:

These were detailed in my first DR application. Please see the attachment for more detail.

- **Topography of the Hill and the Block's Roofline Progression, page 11**
The two houses adjacent to this project are considerably lower in height than the proposed construction and as such, this building will not be in line with the block's roofline progression.
- **Side Spacing Between Buildings; Breezeway, p15**
There is a strong side spacing pattern present at the adjacent houses on this side of the block. The proposed project should respect this existing pattern as stated in the RDG (p15) instead of abolishing it altogether. This breezeway is source of the treasured sunshine for the elderly professor who lives in the home on the north side
- **Encroaching on Neighbors' Privacy p16-p17**
Regardless of frosted glass, the number of windows proposed for both Northern and Southern elevations pose a huge privacy issue for the adjacent neighbors. The problem is even worse for the back neighbors on Homestead Street due to the numerous windows proposed for the Eastern elevation.
- **Rear Yard Guideline, p16**
Articulate the building to minimize impacts on light and privacy to adjacent properties. The height and depth of the proposed project is excessive. The property to the north 431-433 Hoffman will lose all its sunshine. The property to the south 439-441 Hoffman is all walled in and there are large windows that excessively impact privacy.
- **Building Scale, p23 - p26**
The proposed construction is wildly out of scale in both overall mass and its specific dimensions. The RDG specifically calls for the "scale of the building to be compatible with the height and depth of its surrounding buildings," (p23) but the proposed project is a far cry from the houses in its immediate periphery with regards to scale. This type of expansion is precisely what the RDG refers to as inappropriate since it leaves the surrounding residents feeling "boxed-in and cut-off from the mid-block open space." (p26)

More Shenanigans (My April 2016 details how this project is the result of taking advantage of the system beginning after the 2008 unit-merger of this historic home.)

- **June 30th, 2016 CUA Hearing on 437 Hoffman Project**
At the June 30th Hearing, Commissioners gave the directives regarding redesign and working with the neighbors to resolve these fundamental issues: the tree, the garage, the roofline, the breezeway, and the massing on the rear. Based on the comments from the Commission the neighbors have placed a priority on:

- (1) maintaining the breezeway between Mr. Geisler's property and the project;
- (2) saving the existing tree;
- (3) eliminating the garage so as to reduce the addition of mass at the rear;
- (4) reducing the height and continuing the peaked roof as it is all the way back to allow sunlight to adjacent buildings;
- (5) reducing the size and/or eliminating the terraces;
- (6) "stepping down" the building with the others at the rear and on the street-scape;
- (7) retaining the façade and more of the building to avoid a demolition; and,
- (8) abiding by the Residential Design Guidelines to reduce and shape the proposal to fit the neighboring buildings and topography

The Project Sponsor was given four months, until October 20, 2016 to redesign and work with the neighbors. Instead the project sponsor has come back with an "alteration" and a new 311-Notice. Despite numerous requests by neighbors, the project sponsor refused to meet with us to work on a redesign that would make a more comfortable living environment for the neighbors.

Commissioner Moore's Motion:

I believe I want to use the discretion of this Commission, particularly as a CU, to say that this project has to back and really get into a serious dialog with the site and the existing conditions. That involves looking at topography, looking at Residential Design Guidelines, how to sculpt a building, and then, if at all possible, still engage in a dialog with the neighbors about very specific issues; that includes the breezeway and leaving a comfortable living environment, even if the home is larger, for the adjoining neighbors.

So I move that we continue the project and look for the architect to work with the Planning Department and with adjoining neighbors.

(June 30th Hearing, 437 Hoffman Avenue, #2015-003686CUA, (Building Permit: 2014.04.11.3029; transcribed by Janet Fowler from hearing video)

PLEASE SEE EXHIBIT 1: Timeline of what occurred between June 30th and October 20th (when the Project Sponsor was supposed to come back to the Commission with that redesign.)

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how.

This huge structure violates the character of the neighborhood and jeopardizes economic diversity. For this project, mass does not equal density since this home has

been a two-unit home for most of its history. All the neighbors on this block of Hoffman Avenue and all the neighbors on the west side of Homestead Street will be impacted.

The proposed project adds more than a full story of height to the front of the building, and that is unreasonably out of scale with the neighborhood and is disturbing to the scale of the existing roofline on the east side of the block. It sticks up higher than any other roof on the east side of the block. On the northern side at 431-433 Hoffman, there will be an unreasonably negative sunlight impact created for Professor Geisler, an exceptional and extraordinary elderly neighbor, who wants only to live out his last years in the sunshine that floods into the back portion of his unit.

The neighbors to the south will be lose their privacy and feeling of open space and greenery by the looming and mammoth wall that fails to step down with the topography.

The loss of the existing home represents the loss of affordable housing while the proposed structure perpetuates an emerging pattern of remodeling newly acquired hillside homes to extraordinarily massive and unaffordable homes.

And the losses will continue because each development that is overdone and sells for about a million over asking brings another remodel or demolition and the increase of more homes that are even more unaffordable – astronomically unaffordable! Our block on Hoffman Avenue as well as corresponding blocks on Homestead and Fountain Streets are now on a very precarious path because families who want a relatively modest home will not be able to compete with the investors and developers who have no qualms about tearing down a beautiful home to build something extravagant.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

- (1) maintain the breezeway between Mr. Geisler's property and the project;
- (2) eliminate the garage so as to reduce the addition of mass at the rear;
- (3) reduce the height (no additional top story) and continue the peaked roof as it is all the way back to allow sunlight to adjacent buildings;
- (4) "step down" the building so that the rear doesn't create massive walls for neighbors;
- (5) retain the façade and more of the building to avoid a demolition; and,
- (6) abide by the Residential Design Guidelines to reduce and shape the proposal to fit the neighboring buildings and topography

2015-003686CUA for 437 Hoffman Avenue originally submitted for October 20, 2016

I urge denial of a continuance of the project located at 437 Hoffman Avenue.

At the June 30th Hearing, Commissioners gave the directives regarding redesign and working with the neighbors to resolve these fundamental issues:

***the tree *the garage *the breezeway * the roofline *the mass on the rear**

The Project Sponsor was given four months to redesign and work with the neighbors; Now they are asking for a continuance to wait for more advantageous building codes to be put in place in order to avoid what the Commission told them to do.

THE FOLLOWING TIMELINE DEMONSTRATES THE DEPTH TO WHICH THE COMMISSIONS' DIRECTIVES HAVE BEEN COMPLETELY IGNORED:

- **July 11th: Silverman Email to Delvin Washington:** "Would you be willing to meet with me and Nancy and Kelly Condon to review? I think some of the neighbors have been bullying the Commissioners into denying the CU on the grounds that it is not "necessary and desirable" (for the neighbors, nothing is desirable), meaning we may need to go back to the DR format to do anything with this property."
- **July 19th: Surveyors and Project Sponsor spend day at 437 Hoffman.** They also survey my driveway
- **July 29th: Steve Williams emails the Project Sponsor** on behalf of neighbors "to see when the parties can get together to try and come to an agreement to avoid more conflict at the Planning Commission in October. **Reply from Condon:** "We will contact you when we are ready & before the October 20th hearing date."
- **Aug 4th: Email (from me) to Tran & Washington** asking them to a dialog between the developers and neighbors. **Reply from Condon:** "...we are not yet ready to meet with you. ...Your rhetoric with regard to us throughout this process has been unfair & frankly quite scheming."
- **Aug 19th: Condon, Tran, Washington make site visit** that includes sidewalk visit to 465 or 471 Hoffman
- **Sept 20th: Emails from G. Schuttish** to Washington inquiring whether there will still be a hearing on Oct. 20th. **Sept 22nd Reply from Tran:** "It will be continued. The project sponsor and neighbors do not need to attend."
- **Oct 13th: Email (attached) from Condon:** "...no hearing on October 20th... The department is in the midst of revising the planning code regarding demolition & residential thresholds."
- **Oct 17th: Official Continuance Notification from Tran:** "The Project Sponsor informed me that the project will be redesigned to fall below Section 317 thresholds and as a courtesy, will conduct another meeting to discuss revisions with neighbors."

Email from Project Sponsor Expansion thresholds: Recalculating, not Redesigning

From: Kelly Condon <kellymcondon@gmail.com>

To: Janet Fowler <jfowlers@aol.com>

Cc: R Gene Geisler <geneg@sfsu.edu>; Stephen Baskerville <rufnikhound@gmail.com>; PAUL LEFEBVRE <paul.lef123@gmail.com>; Paul K <paulusk12@gmail.com>; Alek Juretic <alek@citidev.com>; Jason Lindley <jason@citidev.com>

Subject: 437 Hoffman Update

Date: Thu, Oct 13, 2016 9:50 am

Hello All -

I'm writing to let you know there will be no hearing on October 20th for 437 Hoffman. We are not sure of the new hearing date but it will be in the first quarter of next year at the earliest.

The planning department is in the midst of revising the planning code regarding demolition & residential expansion thresholds.

We thought this code 'change' was going to take place internally to the department months ago and we thought it was just going to be a clarification of the demo calculation methods (since there has been a lot of confusion & contradiction surrounding this code section for years). We were waiting for that internal meeting to provide a definitive definition for demo so that we could be sure we still met the standards.

But it turns out that the change is an actual revision of code that has to be reviewed on a wider scale & reviewed through numerous commission hearings & through feedback meetings with the public. There are several versions of the new code being debated at those hearings & meetings & whichever version the department lands on will apply to this project - and it will apply retroactively if we are still in process with permits when the code is formalized.

We want to limit the number of revisions to the plans since as you know - there have already been many - so we are waiting to see what the final version of this new code will be before holding the next neighbor meeting.

The new code is supposed to be in place some time in the first quarter of next year.

We will keep you posted as we move forward & we will be sure to schedule a meeting date that works for everyone & that gives plenty of time for us all to process any changes.

Kelly Condon
415-240-8328

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME:

Janet Fowler

ZIP CODE:

94114

TELEPHONE:

(415) 648-8780

DR APPLICANT'S ADDRESS:

434 Hoffman Avenue

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME:

ADDRESS:

437 Hoffman Avenue

ZIP CODE:

94114

TELEPHONE:

()

CONTACT FOR DR APPLICATION:

Same as Above

ADDRESS:

ZIP CODE:

TELEPHONE:

()

E-MAIL ADDRESS:

RECEIVED
 DEC 19 2014
 CIVIL SERVICE DIVISION

2. Location and Classification

STREET ADDRESS OF PROJECT:

437 Hoffman Avenue

ZIP CODE:

94114

CROSS STREETS:

Between 24th and 25th Streets

ASSESSOR'S BLOCK/LOT:

6503 /024

LOT DIMENSIONS:

27' x 125'

LOT AREA (SQ. FT.):

3,375

ZONING DISTRICT:

RH-2

HEIGHT/BULK DISTRICT:

40-X

3. Project Description

Please check all that apply

Change of Use

Change of Hours

New Construction

Alterations

Demolition

Other

Additions to Building:

Rear

Front

Height

Side Yard

R3 1 Family Dwelling

Present or Previous Use:

R3 1 Family Dwelling

Proposed Use:

Building Permit Application No. 201404113029

Date Filed: 4-11-2014

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

Please see attached pages.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

Please see attached pages.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

Please see attached pages.

Applicant's Affidavit

- Under penalty of perjury the following declarations are made:
- a: The undersigned is the owner or authorized agent of the owner of this property.
 - b: The information presented is true and correct to the best of my knowledge.
 - c: The other information or applications may be required.

Signature: Janet Fowler

Date: 12-16-15

Print name, and indicate whether owner, or authorized agent:
Janet Fowler, owner
Owner / Authorized Agent (circle one)

4. Actions Prior to a Discretionary Review Request

| Prior Action | YES | NO |
|---|-------------------------------------|-------------------------------------|
| Have you discussed this project with the permit applicant? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Did you discuss the project with the Planning Department permit review planner? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Did you participate in outside mediation on this case? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

The size of the project will negatively impact neighbors on all sides and negatively impact the character of this quaint neighborhood. It is out of scale with neighboring homes, it impacts the mid-block open space with its excessive dimensions, and it encroaches on neighbors' privacy.

This project came into existence through a set of exceptional and extraordinary circumstances that have resulted in an excessively different outcome than what the Planning Commission intended when they approved the unit merger of this home from 2 units to a single-family residence. The Mandatory Discretionary Review for the merger is attached, and it details the conflict with the City's General Plan and Priority policies.

The loss of the existing home represents the loss of affordable housing while the proposed structure perpetuates a pattern of excessive remodeling and flipping of market-rate homes into very extraordinarily unaffordable homes.

TAKING ADVANTAGE OF THE SYSTEM

437 Hoffman Avenue is a modest 1905 home. It was the first home built on the east side of the block. It stood through the earthquake and became a temporary home for as many as 17 earthquake refugees, and a place for many to get water. No one was turned away by the Getty family, the shipbuilders who built and lived in this home -**see Exhibit 1 & 2.**

1. Irregularities of the unit merger and unintended consequences

In September 2008, the Planning Commission approved a permit for the Riley family to merge two units into a single-family home - **see Exhibits 3 and 3a.** The permission to merge was based on that family's situation and plans. The Planning Department recommended against the merger, and there was great concern about potential loss of affordable housing -**see Exhibit 3.** The DR Action stipulated no expansion and no right-of-way for a garage -**see Exhibit 4.**

In July 2010, Rileys sold the house to the Mittals) without having merged the units. In 2011, the Mittals "*retained Toby Long Designs to explore the addition of a garage and rear addition to [the] existing structure.*"

On April 3, 2012, the Mittals reviewed the expansion and garage design with SF Planner, Michael Smith, who entered into discussions with them on how to proceed with the scope of the new project -- garage and rear addition -- relative to the unit merger permit that stipulated no expansion and no garage -**see Exhibit 5.**

On April 19, 2012, the Mittals invited neighbors to a pre-Application meeting where they presented a massive rear addition. The proposed project would also remove a large street tree, raise the height of the structure, add a garage, and eliminate some street parking. A second pre-Application meeting showed the proposed project moving from 3,460 sf to 3,809 sf –see Exhibit 7. A Notice of Planning Department Requirements required the completion of the merger before the expansion plans could be approved – **unable to attach Exhibit at this time.**

On May 16, 2013, the Mittals filed plans to complete the unit merger – see Exhibit 6. A complaint was filed stating that the merger was exceeding the scope of the permit; the neighbors knew, of course, that the goal was not a unit merger, but a large rear addition and a garage –see Exhibit 6a.

2. Lack of transparency

On May 11, 2014, the Mittals submitted their plans for a \$900,000 “triage” expansion –see Exhibit 6. The neighbors heard nothing except that 437 Hoffman was being sold off-market. We did not know that the Mittal’s expansion plans had been submitted and approved.

In October 2014, 437 Hoffman was bought by Counts Gold LLC, which seems to be an investment group that includes a developer, a builder, the project sponsor, and others.

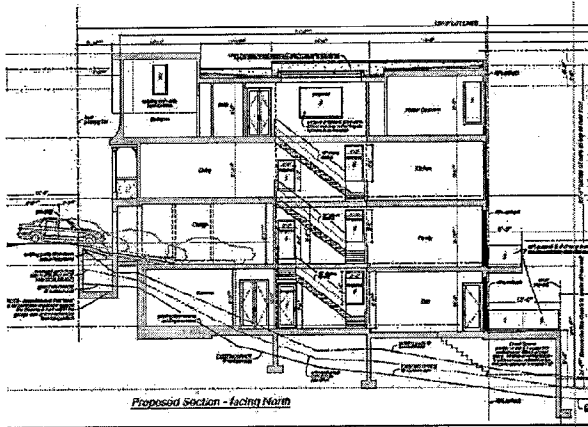
In February 2015, we were invited to the first pre-Application meeting, where we were shown *different* plans of a “remodel” that the project sponsor said was a demolition. She showed a contemporary façade that was very out-of-character and scale for the neighborhood and an even more massive rear addition and structure that was totaled over 6000 sf. The developer said that he wanted something to showcase his portfolio, and the project sponsor said that she couldn’t provide three bedrooms on the top floor without adding additional height. We all objected to the excessive ceiling height of all the floors. At the second pre-Application meeting, we were presented a less boxy-looking façade, and a very minor setback was presented to mitigate loss of privacy to the neighbors to the south –see Exhibit 7.

On March 10, 2015, the project sponsor then submitted the new plans to the Planning Department, and it was assigned case #201503100426. Soon afterward, however, it was reassigned under the Mittal’s case # 201404113029 –see Exhibit 6.

Re-emerging plans: The Mittal’s plans and the Counts Gold LLC plans were merged in terms of approval. The project sponsor, Ms. Condon, adds a handwritten note on the Mittal’s April 5, 2012 pre-Application notice that states, “*These records are for the meetings held by the previous building owner. We took these neighbor comments into account with our first design. So in essence - our permit submittal is a fourth attempt to address the neighbor’s issues – THAT SAID – the previous owner enlarged their proposal at their 2nd meeting. – Kelly Condon 3/9/15.*” On the Mittal’s 2nd Pre-Application Notice (Feb 12, 2014), there is a note that the Mittals “*had the building extending all the way to the 45% line on all stories. We scaled back against the south side in response to neighbor’s concerns w/ that approach*” –see Exhibit 7.

The Counts Gold proposed project, however, was 6053 sf at the 1st pre-Application meeting and 6,029 sf at the 2nd pre-Application meeting.

Blind-sided: On October 14 or 15, 2015, we received the 311-Notice. The neighborhood was blind-sided by the contradiction between what was shown to the neighbors in the pre-app meetings and what was finally approved by the Planning Department. The plans were different and too dinky to decipher. The project sponsor sent us the plan set electronically, and we also asked for her to meet with us to walk us through them, which she did. She explained that she was keeping the façade "so as not to trigger a demo permit" –see **Exhibit 8**. The demo statistics were not included in the electronic set. The plans also had many inaccuracies, including not showing windows of neighboring homes and the relative positions of the openings and windows on the neighboring homes to the Project Site. Ms. Condon states (**Exhibit 8**) that the plans are the same except they're keeping the façade and how the



driveway comes into the house. There are many unanswered questions, but it is clear that the proposed project is still massive and doesn't retain the character of the existing house.

Is this really 3 stories?

Missing Case Files: I tried to look at all the case files pertaining to the project. Some of the files were archived, and when I finally got them, they did not include the missing

Residential Design Team review. I wanted to see all the emails and memos pertaining to the case, but Michael Smith's computer had been disabled after leaving the Department. In spite of repeated requests, I never got them. I especially wanted to know if my email would have been included since I never got a response the Planner.

3. Contradictions in what was presented to the Preservation Team and in the HRE and the absence of Residential Design Team Review

- a. **The Categorical Exemption** related to the Mittal's plans was reissued for the Counts Gold LLC revised plans without comment or review of the new plans. The proposed project referred to in the Categorical Exemption and the Preservation Team Comments is not the same project as the current project. Both the Preservation Team's Comments and the HRE cite that the house is being raised 4'5", but the current plans are raising the house by 6'. All stories have 9' or 10' ceilings, and the house will rise a full story higher than the neighboring adjacent homes. It will stick up from the others -see **Exhibit 9**.
- b. **No RDT review** was done for the project and instead, a sole planner took it upon himself to deem the project compliant with the RDG –see **Exhibit 10**.

4. Neighborhood/Historical Preservation or Historic Neighborhood Character

The loss of the existing home represents the loss of affordable housing while the proposed structure perpetuates an emerging pattern of remodeling newly acquired hillside homes to extraordinarily massive and unaffordable homes.

Retention of the existing home is consistent with Section 101.1 Priority Policy 2: "That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

5. Lack of Compliance with Residential Design Guidelines

Topography of the Hill and the Block's Roofline Progression, page 11

The two houses adjacent to this project are considerably lower in height than the proposed construction and as such, this building will not be in line with the block's roofline progression. The final height of the proposed building is over 12' higher than 431-433 Hoffman and over 10' higher than 439-441 Hoffman when measured to the proposed top of the front roof. This is a significant interruption of the block's roofline progression and should not be allowed. The RDG clearly states that the height of a new building or addition CANNOT disregard or significantly alter the existing topography of a site (p11). Being a full story taller than its adjacent buildings, the proposed project ignores this guideline and therefore, it should be sent back for re-design. (**Roofline photo to be submitted later.**)

Side Spacing Between Buildings; Breezeway, p15

There is a strong side spacing pattern present at the adjacent houses on this side of the block. The proposed project should respect this existing pattern as stated in the RDG (p15) instead of abolishing it altogether. This breezeway is source of the treasured sunshine for the elderly professor who lives in the home on the north side – **see Exhibit 11.**

Encroaching on Neighbors' Privacy p16-p17

Regardless of frosted glass, the number of windows proposed for both Northern and Southern elevations pose a huge privacy issue for the adjacent neighbors. The problem is even worse for the back neighbors on Homestead Street due to the numerous windows proposed for the Eastern elevation. The proposed project ignores the RDG principle that calls for minimizing the impact on light and privacy to adjacent properties (p16-p17). They should therefore reduce the number of proposed windows and the glass to solid ratio.

Rear Yard Guideline, p16

Articulate the building to minimize impacts on light and privacy to adjacent properties. The height and depth of the proposed project is excessive. The property to the north 431-433 Hoffman will lose all its sunshine. The property to the south 439-441 Hoffman is all walled in and there are large windows that excessively impact privacy. In addition, the decks appear to have glass railings, which further increase the loss of privacy. There is a small side set back,

but it does almost nothing to minimize the impact the project will have on the neighbor to the south.

Building Scale, p23 - p26

The proposed construction is out of scale in both overall mass and its specific dimensions. The RDG specifically calls for the "scale of the building to be compatible with the height and depth of its surrounding buildings," (p23) but the proposed project is a far cry from the houses in its immediate periphery with regards to scale.

Design the height and depth of the building to be compatible with the existing building scale at the street. Though the buildings within the surrounding area of this project appear to vary in scale, the proposed scale at the street level is stratospheric by comparison. –see **Exhibit 12**

The height and depth of the proposed expansion adversely impact the mid-block open space. Although one of the adjacent properties (431-433 Hoffman) extends well into this open space, this is only a two-story structure that is vastly smaller than the 3-story proposed project. The proposed expansion will not only box in the adjacent neighbors, but it will also negatively impact the mid-block community amenity shared by all residents of the block. This type of expansion is precisely what the RDG refers to as inappropriate since it leaves the surrounding residents feeling "boxed-in and cut-off from the mid-block open space." (p26)

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of other or the neighborhood would be adversely affected, please state who would be affected, and how.

The proposed project is unreasonably large for this quaint old neighborhood. The proposed project adds more than a full story of height to the front of the building, and that is unreasonably out of scale with the neighborhood and is disturbing to the scale of the existing roofline on the east side of the block. It sticks up higher than any other roof on the east side of the block. On the northern side at 431-433 Hoffman, there will be an unreasonably negative sunlight impact created for Professor Geisler, an exceptional and extraordinary elderly neighbor, who wants only to live out his last years in the sunlight that floods into the back portion of his unit.

The loss of the existing home represents the loss of affordable housing while the proposed structure perpetuates an emerging pattern of remodeling newly acquired hillside homes to extraordinarily massive and unaffordable homes.

And the losses will continue because each development that is overdone and sells for about a million over asking brings another remodel or demolition and the increase of more homes that are even more unaffordable – astronomically unaffordable! Our block is now on a very precarious path because families who want a relatively modest home will not be able to compete with the investors and developers who have no qualms about tearing down a beautiful home to build something extravagant.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

Keep the breezeway to the north, keep the existing home with no garage and no additional vertical height, restrict the additional depth, including decks, at upper level to just enough to accommodate a third bedroom on the top floor with terraced lower storyies terraces that have side set backs on the south side. And restore the second unit.

If you do decide to allow the garage, scale back the project and preserve the original 1905 home. Here's an example of a home at 105 Hoffman, where a garage was added with very little impact to the façade. -see **Exhibit 13**

Exhibit 2, p.1 Socketsite 437 Hoffman during construction photo; narrative on page 3 refers to KDI HRE

A Historic Look At 437 Hoffman (Before Noe Was All Built Up)

June 17, 2009



Exhibit 2, p. 2 Socketsite 437 Hoffman during construction photo; narrative on page 3 refers to KDI HRE

Who could resist a historic look at [437 Hoffman](#) atop Noe Valley circa 1905, versus as it looks today after all those damn density hounds had their way with the neighborhood.



Exhibit 2, p.3 Socketsite 437 Hoffman during construction photo; narrative on page 3 refers to KDI HRE

According to the Supplemental Information Form for Historic Resource Determination prepared by KDI Land Use Planning (dated April 2, 2012) and information found in the Planning Department files, the subject property at 437 Hoffman Avenue contains a 1-1/2-story-over basement; wood frame multi-family residence constructed in 1905 in the Queen Anne architectural style with some Craftsman style elements. The original architect is unknown, but the original owners were Neil W. Getty and Wilmot R. Getty, who were builders/contractors and likely constructed the building. The building has undergone very few alterations over time. Known alterations to the property include: legalization of the second unit and installation of a fire suppression system (1970), interior seismic upgrades (1989), reroofing and new shingles (1995).

No known historic events occurred at the property (Criterion 1). None of the owners or occupants have been identified as important to history (Criterion 2). The subject building is a non-descript example of a Queen Anne style multi-family property. The building is not architecturally distinct such that it would qualify individually for listing in the California Register under Criterion 3.

The subject property is not located within the boundaries of any identified historic districts. The subject property is located within the Noe Valley neighborhood on a block that exhibits a great variety of architectural styles, construction dates, and subsequent alterations that compromise historic integrity. The area surrounding the subject property does not contain a significant concentration of historically or aesthetically unified buildings. Therefore, the subject property is not eligible for listing in the California Register under any criteria individually or as part of a historic district.



**SAN FRANCISCO
PLANNING DEPARTMENT**

Discretionary Review Analysis

**Dwelling Unit Merger
HEARING DATE SEPTEMBER 25, 2008**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: September 16, 2008
Case No.: 2008.0572 D
Project Address: 437 Hoffman Avenue
Zoning: RH-2 (Residential, Mixed, Moderate Density)
 40-X Height and Bulk District
Block/Lot: 6503/024
Project Sponsor: William Pashelinsky
 1937 Hayes Street
 San Francisco, CA 94117
Staff Contact: Sharon Lai - (415) 575-9087
sharon.lai@sfgov.org
Recommendation: Take Discretionary Review and Disapprove

| EXISTING BUILDING | | PROPOSED BUILDING | |
|------------------------------------|-----------------|---------------------------------|---------------|
| Building Permit Application Number | 2008.06.27.5494 | | |
| Number Of Existing Units | 2 | Number Of New Units | 1 |
| Existing Parking | 0 | New Parking | 0 |
| Number Of Existing Bedrooms | 3 | Number Of New Bedrooms | 3 |
| Existing Building Area | ±2,105Sq. Ft. | New Building Area | ±2,105Sq. Ft. |
| | | Public DR Also Filed? | No |
| 311 Expiration Date | 9/18/08 | Date Time & Materials Fees Paid | N/A |

PROJECT DESCRIPTION

The Project is located on a downward sloping lot, where the sidewalk grade is located at the second floor level, in a RH-2 (Residential, House, Two-Family) District. The lot contains two dwelling-units within a three-story building, which was constructed circa 1905. The lower unit occupies the first floor and the upper unit occupies the second and third floors. The Building Permit Application proposes to reduce the number of legal dwelling units from two-dwelling units into a single-family house by constructing a new interior staircase, removing the lower level kitchen, and replacing the lower unit front door with a window (not visible from the street). The resulting single-family house will be a 3-bedroom and 2-bath dwelling unit.

SITE DESCRIPTION AND PRESENT USE

The property at 437 Hoffman Avenue is located on the east side of Hoffman Avenue between 24th and 25th Streets. The Property has approximately 27'-0" of lot frontage along Hoffman Avenue with a lot depth of 125'-0". The downward sloping lot from the southwest corner (downward sloping from the front and right side) contains a three-story, two-family dwelling of approximately 2,115 gross square-feet, with no existing parking.

This modified Queen Ann-style dwelling is setback approximately 6 feet from the front property line, and contains a side yard setback along the north side (left side) property line of approximately 3-feet. The property is within an RH-2 (Residential, House, Two-Family) Zoning District with a 40-X Height and Bulk designation.

There are no available building permit records for the original construction of the subject property however it appears that the residence was constructed as a single-family dwelling. The existing lower unit was legalized in 1970 and is located at the partially sub-grade first floor, with a short set of stairs leading from the private entrance to Hoffman Avenue. The lower unit contains 1 bedroom, a three-quarters bath, a full kitchen, a family room, a den, a private deck and access to the rear yard, and measures approximately 715 square feet in habitable space. The upper dwelling unit located at the second and third floor, with a slightly raised front entrance from Hoffman Avenue on the second floor. The upper unit contains 2 bedrooms, 1 full bath, a full kitchen, a dining room, a living room, a private deck and access to the rear yard, and measures approximately 1,400 square-feet.

SURROUNDING PROPERTIES & NEIGHBORHOOD

The Subject Property is located in the Noe Valley neighborhood, on the east side of Hoffman Avenue, between 24th and 25th Streets. The Subject Property is located within the RH-2 Zoning District in a residential district of one-and two-family dwellings that include Marina style buildings, Craftsman style buildings, a few in-fill mid-century modern buildings, and some recent eclectic constructions. Architectural styles, building heights, building depth and front setbacks vary along at the subject neighborhood.

The surrounding neighborhood consists of a mix of one- to three-story buildings, containing mostly one or two residential dwelling-units. The residential neighborhood contains dwellings of varying heights and depths. The adjacent property to the north is a two-unit building, measuring approximately 28'-6" wide by 66'-0" deep. The adjacent building to the south is on a lot narrower than the Subject Property, 25'-0" by 125'-0", with a two-story two-family dwelling measuring approximately 24'-0" by 46'-0".

HEARING NOTIFICATION

| TYPE | REQUIRED PERIOD | REQUIRED NOTICE DATE | ACTUAL NOTICE DATE | ACTUAL PERIOD |
|---------------|-----------------|----------------------|--------------------|---------------|
| Posted Notice | 10 days | September 15, 2008 | September 15, 2008 | 10 days |
| Mailed Notice | 10 days | September 15, 2008 | September 15, 2008 | 10 days |

PUBLIC COMMENT

| | SUPPORT | OPPOSED | NO POSITION |
|--|---------|---------|-------------|
| Adjacent neighbor(s) | 0 | 0 | 0 |
| Other neighbors on the block or directly across the street | 0 | 0 | 0 |
| Neighborhood groups | 0 | 0 | 0 |

PROJECT ANALYSIS

DWELLING UNIT MERGER CRITERIA

Below are the five criteria to be considered by the Planning Commission in evaluating dwelling unit mergers, per Planning Code Section 317, adopted on May 18, 2008:

1. Removal of the unit(s) would only eliminate owner occupied housing.

Project Meets Criteria.

The current owners purchased the property in 2006 and have been occupying the units since.

2. Removal of the unit(s) and the merger with another is intended for owner occupancy.

Project Meets Criteria.

3. Removal of the unit(s) will bring the building closer into conformance with the prevailing density in its immediate area and the same zoning.

Project Does Not Meet Criteria.

The properties in the immediate area within 150 feet of the subject property, between 24th and 25th Streets are zoned RH-2. Of the 42 properties surveyed in the immediate area, including the subject property, 40% (17) of the lots are multi-family dwellings. The average density for these 42 properties is approximately 1.5 units per lot. Therefore, the density resulting from this merger will not be in keeping with the prevailing density pattern of the immediate area.

4. Removal of the unit(s) will bring the building closer into conformance with prescribed zoning.

Project Does Not Meet Criteria

The subject property's current density is in conformance with the prescribed RH-2 zoning, in that there are two existing legal units. The proposed unit removal will not bring the building closer into conformance with the prescribed zoning, which permits two-units.

5. Removal of the unit(s) is necessary to correct design or functional deficiencies that cannot be corrected through interior alterations.

Project Does Not Meet Criteria

The lower unit has one bedroom, a full bath, a full kitchen, direct access to the rear deck and yard, and its own separate entry, which does not adversely impact the function or flow of the upper unit. Although the lower unit only contains one bedroom, the proposed merger and alterations are not necessary to correct design or functional deficiencies in the existing building.

GENERAL PLAN COMPLIANCE:

The Department's Recommendation is consistent with the following relevant objectives and policies of the Housing Element of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 1: RETAIN THE EXISTING SUPPLY OF HOUSING.

The existing housing stock is the City's major source of relatively affordable housing. It is very difficult to replace given the cost of new construction and the size of public budgets to support housing construction. Priority should be given to the retention of existing units as a primary means to provide affordable housing.

Policy 2.2:

Control the merger of residential units to retain existing housing.

Consistent: The proposed dwelling unit merger was reviewed against and deemed inconsistent with a majority of the Department's dwelling unit merger criteria. Therefore, the existing dwelling units should be retained.

SECTION 101.1 PRIORITY POLICIES

Planning Code Section 101.1 establishes eight priority policies and requires review of permits for consistency, on balance, with these policies. The Department's recommendation is consistent with these policies as follows:

1. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

Consistent. Disapproving the merger will preserve two existing dwelling units and thereby maintain a diversity of housing options for the City's residents. The elimination of two smaller, comparatively more affordable dwelling-units to create one larger, comparatively more expensive single-family home is inconsistent with the policy's intent to preserve economic diversity.

ENVIRONMENTAL REVIEW

The Project was issued an Administrative Categorical Exemption, Classes 1, Category B, Guidelines Section 15301(1)(1) and 15303(b)] on September 8, 2008.

BASIS FOR RECOMMENDATION

The Department recommends that the dwelling-unit merger from two-dwelling units to a single-family dwelling to be disapproved. The Department's recommendation is consistent with the Objectives and Policies of the General Plan and does not meet the criteria set forth in Section 101.1 and 317 of the Planning Code in that:

- The Project will result in a net loss of one dwelling-unit.
- The Project will eliminate two existing sound, smaller dwelling-units to create one larger, less affordable home.
- The RH-2 Zoning District allows a maximum of two dwelling-units on this lot. This District is intended to accommodate a greater density than what currently exists, and several of the surrounding properties reflect this ability to accommodate the maximum density. The Project is therefore an inappropriate development per the General Plan.

RECOMMENDATION:

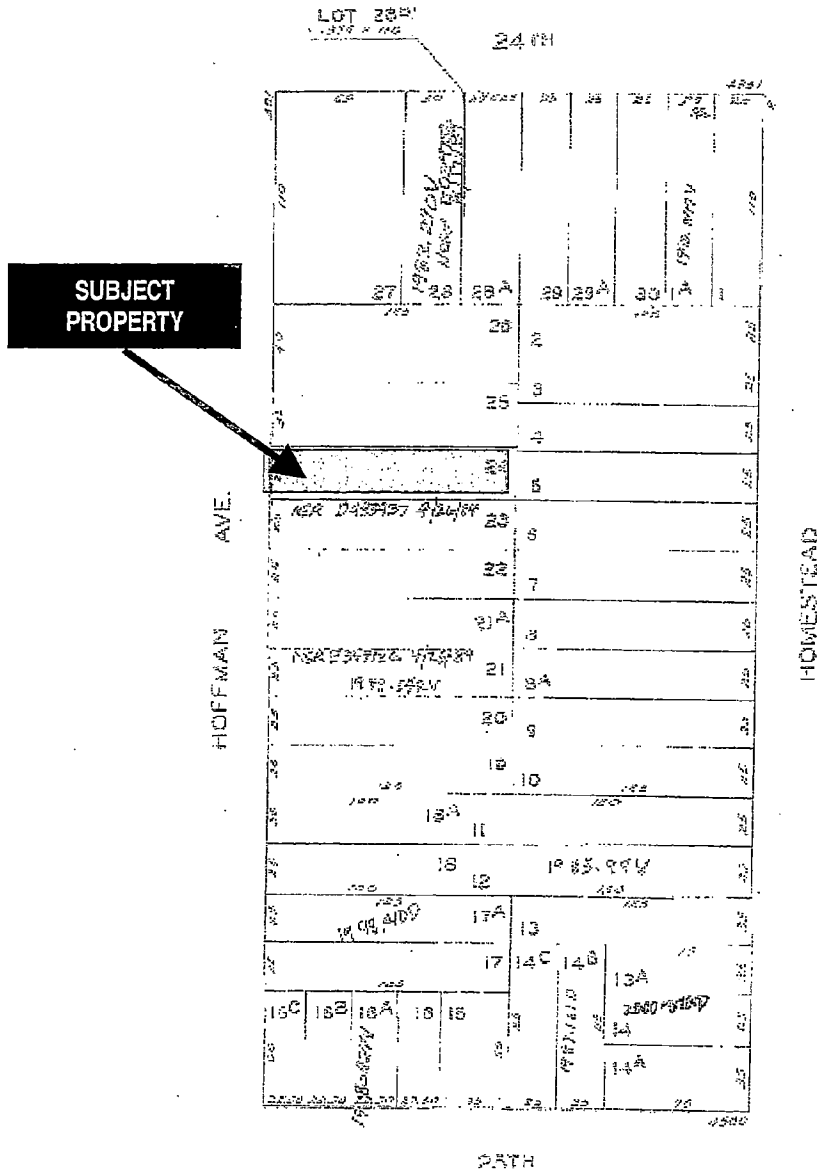
Take DR and disapprove the merger.

Attachments:

Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Site Photo
Section 311 Notice
Discretionary Review Application
Response to DUM Criteria
Historic Resource Review Form
Reduced Plans
Context Photos

Exhibit 3, p. 6

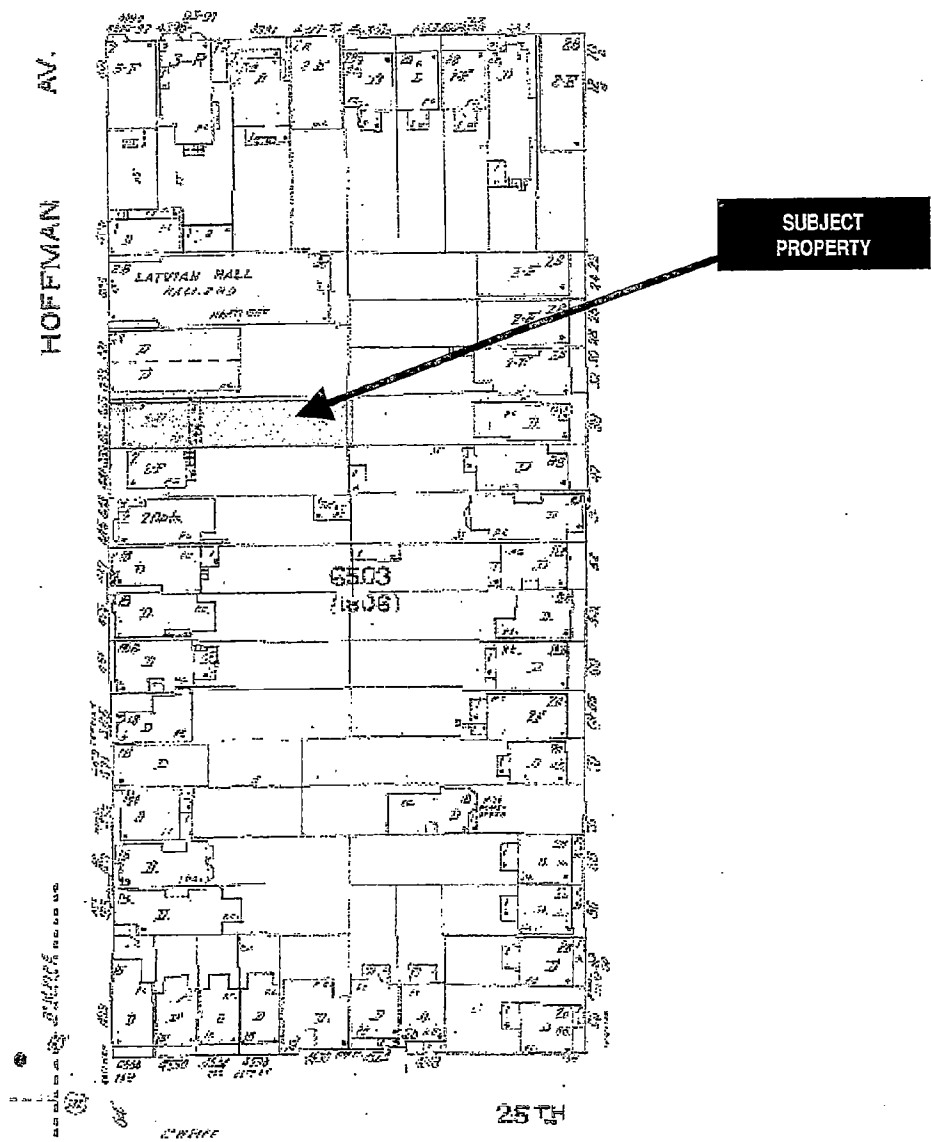
Parcel Map



Mandatory Discretionary Review
Case Number 2008.0572D
Dwelling Unit Merger
437 Hoffman Avenue

Exhibit 3, p. 7

Sanborn Map*

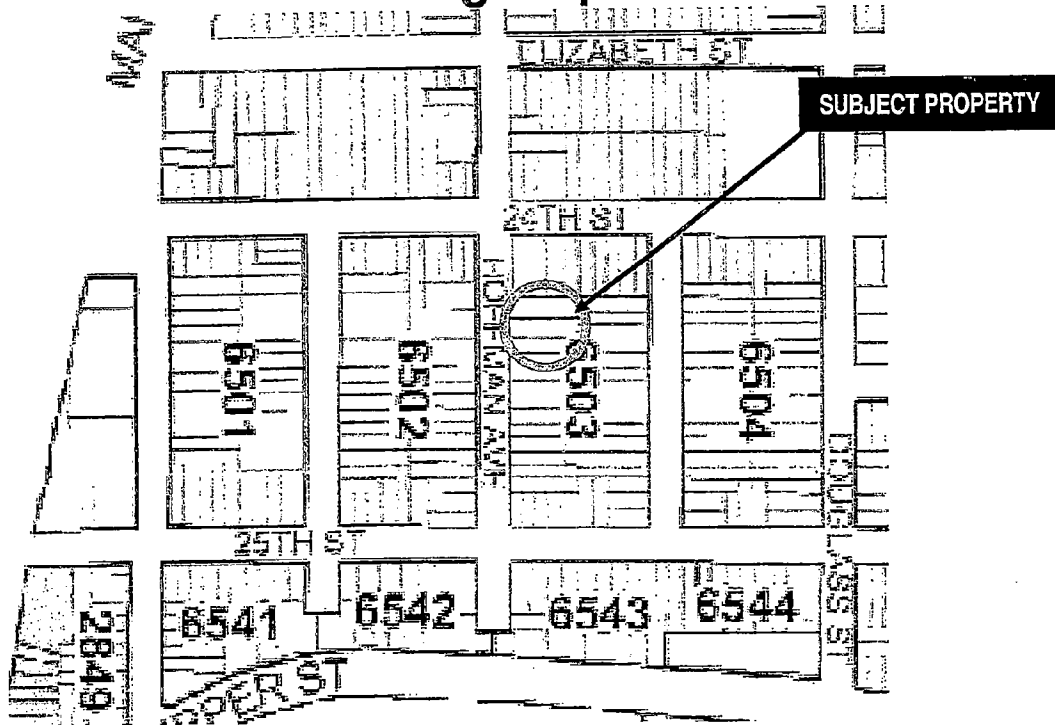


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Mandatory Discretionary Review
Case Number 2008.0572D
 Dwelling Unit Merger
 437 Hoffman Avenue

Zoning Map



ZONING USE DISTRICTS

RESIDENTIAL, HOUSE DISTRICTS

| | | | | |
|---------|------|---------|------|------|
| RH-1(D) | RH-1 | RH-1(S) | RH-2 | RH-3 |
|---------|------|---------|------|------|

RESIDENTIAL, MIXED (APARTMENTS & HOUSES) DISTRICTS

| | | | |
|------|------|------|------|
| RM-1 | RM-2 | RM-3 | RM-4 |
|------|------|------|------|

NEIGHBORHOOD COMMERCIAL DISTRICTS

| | | | | |
|------|------|------|------|------|
| NC-1 | NC-2 | NC-3 | NC-D | NC-S |
|------|------|------|------|------|

SOUTH OF MARKET MIXED USE DISTRICTS

| | | | | | |
|-----|-----|-----|----|----|-----|
| SPD | RED | RSD | GR | SL | SSO |
|-----|-----|-----|----|----|-----|

COMMERCIAL DISTRICTS

| | | | | | |
|-----|-----|-------|-------|-------|-----------|
| C-2 | C-3 | C-3-C | C-3-R | C-3-O | C-3-O(SD) |
|-----|-----|-------|-------|-------|-----------|

INDUSTRIAL DISTRICTS

| | | |
|-----|-----|-----|
| C-M | M-1 | M-2 |
|-----|-----|-----|

CHINATOWN MIXED USE DISTRICTS

| | | |
|------|------|------|
| CC-1 | CC-2 | CC-3 |
|------|------|------|

RESIDENTIAL-COMMERCIAL DISTRICTS

| | |
|------|------|
| RC-3 | RC-4 |
|------|------|

REDEVELOPMENT AGENCY DISTRICTS

| | |
|-------|------|
| MB-RA | MB-2 |
|-------|------|

DOWNTOWN RESIDENTIAL DISTRICTS

| | |
|------|------|
| RD-1 | RD-2 |
|------|------|

MISSION BAY DISTRICTS

| | |
|-------|------|
| MB-OS | MB-O |
|-------|------|

PUBLIC DISTRICT

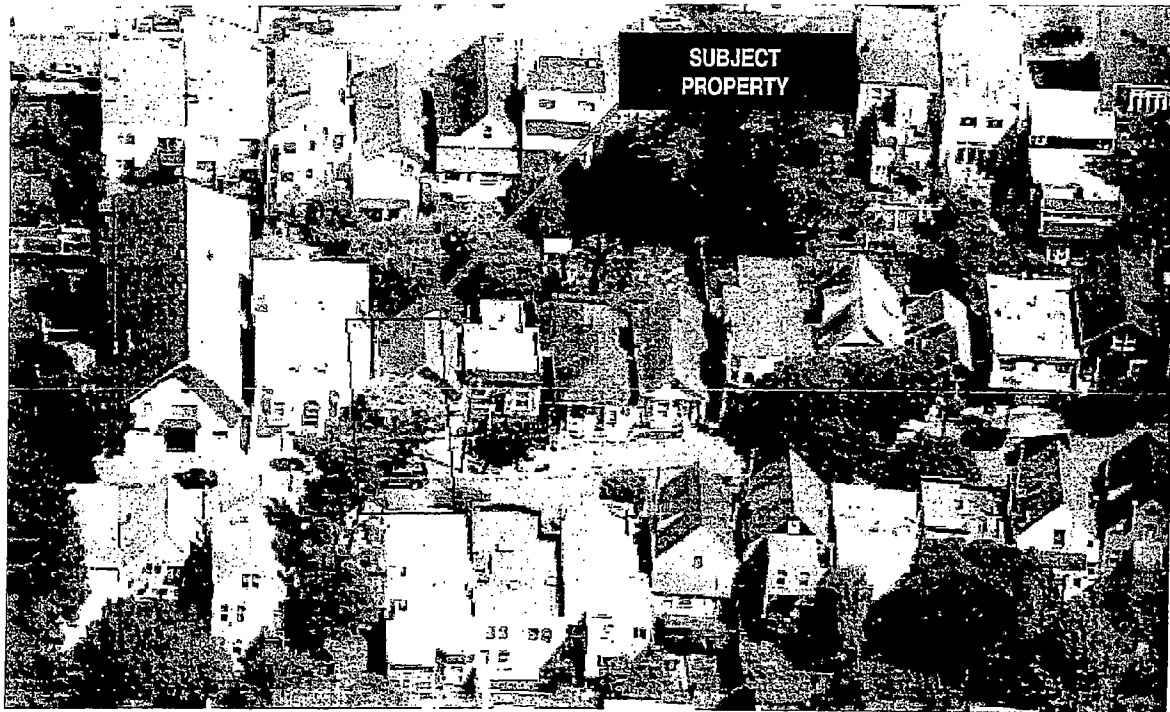
| |
|---|
| P |
|---|



Mandatory Discretionary Review
 Case Number 2008.0572D
 Dwelling Unit Merger
 437 Hoffman Avenue

Exhibit 3, p. 10

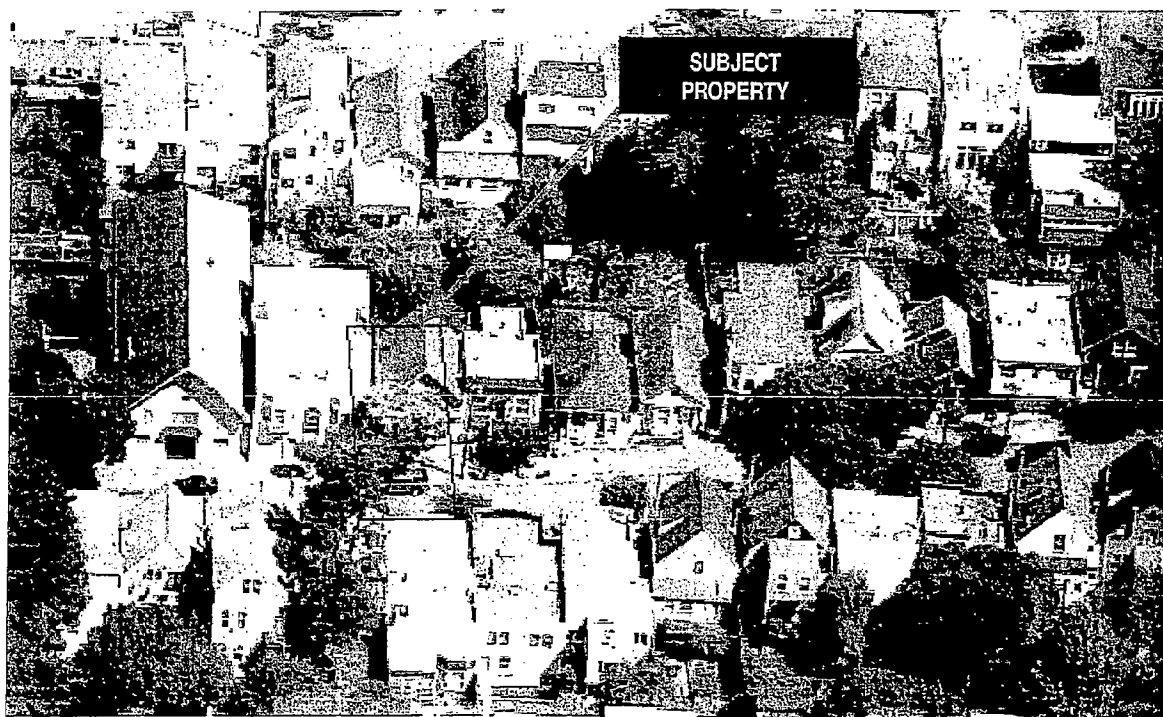
Aerial Photo View from East



Mandatory Discretionary Review
Case Number 2008.0572D
Dwelling Unit Merger
437 Hoffman Avenue

Exhibit 3, p. 10

Aerial Photo
View from East



Mandatory Discretionary Review
Case Number 2008.0572D
Dwelling Unit Merger
437 Hoffman Avenue

Exhibit 3, p. 11

Site Photo

SUBJECT
PROPERTY



Mandatory Discretionary Review
Case Number 2008.0572D
Dwelling Unit Merger
437 Hoffman Avenue

Exhibit: 3a, p.1 Partial Transcript of DR Hearing to merge two units and make 437 Hoffman a Single-Family Home.

DR Hearing September 25, 2008
Case #2008.0572 D for 437 Hoffman Avenue

Sharon Lai: ...The project before you is a mandatory discretionary review of a building application to merge 2 dwelling units into a single-family home. Planning code §317 requires a Discretionary Review Hearing for building permit applications resulting in the loss of a legal dwelling unit. **The Department recommends taking DR and disapproving the project as proposed.**

The proposal to merge the two units is by adding an interior staircase connecting the second and first levels, converting the first floor kitchen into a den and replacing the lower unit's front entrance with a window. The subject property is located at 437 Hoffman Avenue between 24th and 25th Streets within the RH2 zoning district (residential 2 family per lot) in the Noe Valley neighborhood. The existing 2-unit building was constructed in 1905 and has been legalized as a 2-unit dwelling since 1970. The current owner, Mr. Riley, purchased and resides at both the units since 2006. The Department finds the merger to be unnecessary and undesirable in that the project is inconsistent with the City's general plan policies and only meets 2 of the 5 criteria stated in Planning Code §317 E for reviewing dwelling unit mergers. **The general plan**

emphasis is on the retention of the existing supply of housing and the preservation of economic diversity in neighborhoods. The proposed merger will negatively impact the existing housing stock by eliminating a relatively affordable, sound existing unit, which would be contrary to the housing elements' goals in §101.1's priority policies. The proposed absorption of the smaller and relatively more affordable dwelling unit into an already family-sized two-story unit will not yield the benefit of increasing the number of family-sized units in the neighborhood.

Additionally, the subject property presents a number of opportunities to add square footage as permitted by the Planning Code and the Residential Design Guidelines without resorting to the elimination of a housing unit. Hence, the disapproval of the project will be consistent with the City's general plan policies. The Department has received no additional comments from the public. This concludes my presentation. I'm available for questions. Thank you.

Project Sponsor: Hello. My name is Dane Riley and, as mentioned, I'm the owner of 437 Hoffman. I'm here with my family – my wife, Michelle, my daughter, Mackenzie, and my son, Aden. Aden's only a month and a half old. The reason that we're here to appeal to you is partly because we love the neighborhood that we live in. We love Noe Valley. There's a big reason that we chose it. When we moved into the house, my daughter wasn't just yet born, and a month later she joined us in enjoying our house. When we first started looking for houses, we fell in love with Noe Valley because it's very – the parks are great, it's beneficial to families with dogs. The house that we moved into is great because of the yard. And, at the time, it was the perfect dwelling for us. There's two bedrooms in the main house. It was also perfect because my wife's family is in Michigan, and they were able to come out and stay with us since the apartment that's downstairs is part of the house. Obviously, our family has grown in

Exhibit: 3a, p.2 Partial Transcript of DR Hearing to merge two units and make 437 Hoffman a Single-Family Home.

that time frame, and Aden has joined us, and it's less than ideal to have a house with two children of the opposite sex sharing a room together. And so, our in applying for this is join the houses and one house so that we can have access to 3 bedrooms and continue to enjoy Noe Valley, which we've fallen in love with.

Bill Pashlinsky, architect: I'm going to take exception to a few things that were said by the planning staff. Number one: I do feel that the house as a single-family is meeting the prevailing density requirement. I did a study that was presented to Planning ...

Number two: In regard to the possibility of building additional space 1. the reason the Danes are doing this is right now there are two bedrooms; the idea is to create three bedrooms. When they bought the house, they just had the one child. I know that's a question that comes up quite a bit here, is why didn't you buy a single-family house to start with. And I believe in this case one of the children wasn't present nor was it planned to be present at the time they purchased the house. This is part of life, and additional children, as you can see, show up. And there is indeed a need for an additional bedroom as part of a two-child family. You could build on. A couple things...the back of the house is something like 40 feet high right now. You clearly cannot build out in front because of preservation laws among other things on the street front. Building out in the rear would be a massive massive undertaking. We're talking about hundreds of thousands of dollars. Number 2 is, while Planning can say we're in buildable areas, the reality is there are neighbors back there who have windows and light. **So any type of building project, even if it were affordable to the Danes, really could have a severely negative impact on the neighbors. I don't think it was the intent of the owners in this case from either an economic viewpoint or in case of disturbing neighbors to really do an addition.**

Michelle Riley speaks...

Exhibit 4
Permits, Complaints and Boiler PTO Inquiry

Permit Details Report

Report Date: 5/18/2012 3:05:18 PM

Application Number: 200806275494

Form Number: 3

Address(es): 6503 / 024 / 0 437 HOFFMAN AV

Description: MERGE 2 UNITS INTO 1 UNIT. REMOVE KITCHEN @ 1ST FLOOR. CONSTRUCT STAIRS BETWEEN 1ST & 2ND FLOOR. EXISTING DECK TO COMPLY LATERALLY TO SFBC'2010 CODE.

Cost: \$10,000.00

Occupancy Code: R-3

Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

| Action Date | Stage | Comments |
|-------------|--------|----------|
| 6/27/2008 | TRIAGE | |
| 6/27/2008 | FILING | |
| 6/27/2008 | FILED | |

Contact Details:

Contractor Details:

License Number: UND

Name: UNDECIDED UNDECIDED

Company Name: UNDECIDED

Address: UNDECIDED * UNDECIDED CA 00000-0000

Phone:

Addenda Details:

Description:

| Step | Station | Arrive | Start | In Hold | Out Hold | Finish | Checked By | Phone | Hold Description |
|------|---------|---------|---------|---------|----------|---------|--------------------|--------------|---|
| 1 | CPB | 6/27/08 | 6/27/08 | | | 6/27/08 | DANG DENNIS | 415-558-6070 | |
| 2 | PPC | 6/27/08 | 6/27/08 | | | | FUNG SERENA | 415-558-6133 | 8-18-11: Route to CP-Zoc. sjf 6/8/11: Plans in HOLD BIN. 4-13-11: Applicant submit Revision 1 to CP-Zoc/Sharon Lai. sjf 6-27-08: Per Bill, add SFPUC for review. Route to CP-Zoc. sjf |
| 3 | CP-ZOC | 6/27/08 | 6/30/08 | | | 5/26/11 | LAI SHARON | 415-558-6377 | Dwelling unit merger approved per DRA-024 |
| 4 | CP-NP | 8/19/08 | 8/19/08 | 8/19/08 | | 5/26/11 | LAI SHARON | 415-558-6377 | Sec 311 mailed 8/19/08 exp 9/18/08 |
| 5 | BLDG | 5/27/11 | 6/2/11 | 6/2/11 | | 8/18/11 | DANG DENNIS | 415-558-6133 | |
| 5 | DPW-BSM | 6/2/11 | 6/6/11 | | | 6/6/11 | GAIME BERHANE | 415-558-6060 | NO ALTERATION OR CONSTRUCTION OF CITY RIGHT OF WAY UNDER THIS PERMIT. No Street space! |
| 5 | SFPUC | 6/7/11 | 6/7/11 | | | 6/7/11 | SZU-WHITNEY MONICA | 415-575-6941 | Capacity charge not applicable. Route to PPC - 06/07/11. |
| 6 | CP-ZOC | 8/18/11 | 8/24/11 | | | 8/24/11 | LAI SHARON | 415-558-6377 | Approve revisions, no expansion |
| 9 | CPB | | | | | | | 415-558-6070 | |

See to updated C
- NO right of way garage
? no expansion

Appointments:

| Appointment Date | Appointment AM/PM | Appointment Code | Appointment Type | Description | Time Slots |
|------------------|-------------------|------------------|------------------|-------------|------------|
|------------------|-------------------|------------------|------------------|-------------|------------|

Inspections:

| Activity Date | Inspector | Inspection Description | Inspection Status |
|---------------|-----------|------------------------|-------------------|
|---------------|-----------|------------------------|-------------------|

Special Inspections:

Exhibit 5

ARCHITECTURE
tobylongdesign

437 HOFFMAN AVENUE - PROPOSED PROJECT HISTORY

PROJECT BACKGROUND

Property was sold to current owner with unit merger approval based on case #200806275494 and #2008.0572 D . Current owner retained Toby Long Design to explore the addition of a garage and rear addition to existing structure.

PROJECT TIMELINE SUMMARY

May 27, 2011 - Toby Long Design submitted additional materials to finalize unit merger site permit on behalf of previous architect, William Pashelinsky.

August 24, 2011 - Site permit approved by SF Planner Sharon Lai.

April 3, 2012 - Pre-Project meeting with San Francisco Planner, Michael Smith, to review schematic design and discuss how to proceed with new scope relative to unit merger approval. Smith reviews documents and concludes that he will need to verify sequence with Zoning Administrator.

April 19, 2012 - Presented Preliminary Conceptual Design to Adjacent Neighbors. Attendee list attached. The following comments were received:

1. Rear addition at south property line to block light at 441 and 439 Hoffman Avenue.
2. Height of rear deck at lowest floor too high.
3. Wrap-around deck on upper level would erode privacy at existing roof deck 441 and 439 Hoffman.
4. Lower deck extended too far
5. Rear addition blocks light at 433 Hoffman
6. Tree removal for new garage is unacceptable.
7. Discretionary review hearing and subsequent unit merger approval only addresses reduction of unit, not addition or creation of parking.
8. Neighbors asked for specific dimensions regarding height.

June 6, 2012 - E-mail message from Michael Smith stating that the building must first be designated as a single family unit prior to the application for any new scope of work. The final step in completing the approved unit merger is to apply to permit for an interior stair connecting the existing top floor to the former lower unit.

September 18, 2012 - Building Permit application and plans for interior connecting stair submitted.

January 09, 2013 - Building Permit approved.

May 30, 2013 - Surveyor retained and survey issued of subject property and adjacent properties.

July 12, 2013 - Final inspection and approval issued for construction of interior stair.

October 15, 2013 - Application for Tree Removal denied by SF Bureau of Urban Forestry, appeal request filed and hearing scheduled.

October 28, 2013 - Tree Removal Hearing, adjacent neighbors present.

December 30, 2013 - Approval to remove street tree pending planning approval for garage and rear addition, issued by Mohammed Nuru.

January 1 - March 5, 2014 - Design revisions made according to neighbor from 2012 meeting with accurate survey information:

1. Rear addition at south property line to block light at 441 and 439 Hoffman Avenue.
Light coming from south, no light blocked from North. Lightwell added on south property line to mirror profile of roof deck at 439 and 441 Hoffman Avenue.

6114 LA SALLE AVENUE #552, OAKLAND, CA 94611 P:415.905.9030 WWW.TOBYLONGDESIGN.COM

DISCUSS
how to
proceed
with
new
scope

+
unit merger

BUILDING PERMITS: 2013

Permit: 201503100426
Form: 3 - Alterations With Plans
Filed: 3/10/2015
Address: 437 HOFFMAN AV
Parcel: 6503/024
Existing: 1 FAMILY DWELLING
Proposed: 1 FAMILY DWELLING
Existing Units: 1
Proposed Units: 1
Status: WITHDRAWN
Status Date: 4/10/2015 3:29:05 PM
Description: REMODEL SINGLE FAMILY RESIDENCE, 3-STORIES OVER BASEMENT, ADD GARAGE & DRIVEWAY, 4 BEDROOMS, 5 1/2 BATHS, (N) FOUNDATION, FIRE SPRINKLERS.
Cost: \$750,000.00

*Mittel
Expansion
900,000.00
Triage*

Permit: 201404113029
Form: 3 - Alterations With Plans
Filed: 4/11/2014
Address: 437 HOFFMAN AV
Parcel: 6503/024
Existing: 1 FAMILY DWELLING
Proposed: 1 FAMILY DWELLING
Existing Units: 1
Proposed Units: 1
Status: FILED, FILING, TRIAGE
Status Date: 4/11/2014 11:01:15 AM
Description: ADDITION TO SINGLE FAM DWG, 3 STORY REAR ADDITION TO INCLUDE (N) FAM RM (GROUND) (N) KITCHEN (FIRST), (N) BEDRMS & BATH (2ND)
Cost: \$900,000.00

Permit: 201305167162
Form: 8 - Alterations Without Plans
Filed: 5/16/2013
Address: 437 HOFFMAN AV
Parcel: 6503/024
Existing: 2 FAMILY DWELLING
Proposed: 1 FAMILY DWELLING
Existing Units: 2
Proposed Units: 1
Status: COMPLETE
Status Date: 7/12/2013 12:35:43 PM
Description: REVISION TO APPL #2008.08.27.5494 - KEEP EXISTING DOOR (EXTERIOR) AT LOWER LEVEL, NO ADDITONAL WORK BEYOND WHAT WAS ORIG. APPROVED.
Cost: \$1.00

merger

Permit: 201209079163
Form: 8 - Alterations Without Plans
Filed: 9/7/2012
Address: 437 HOFFMAN AV
Parcel: 6503/024
Existing: 2 FAMILY DWELLING
Proposed: 1 FAMILY DWELLING
Existing Units: 2
Proposed Units: 1
Status: WITHDRAWN
Status Date: 9/17/2012 3:30:18 PM
Description: REV. TO APPROVED BLDG PA#200806275494 EXISTING DECK TO BE VOLUNTARY STRENGTHENED, MERGE 2 UNITS INTO 1 UNIT, REMOVE KITCHEN @ 1/F, CONSTRUCT STAIR BETWEEN 1/F & 2/F

Exhibit 6

Exhibit 6a

Welcome to our Permit / Complaint Tracking System!

COMPLAINT DATA SHEET

Complaint Number: 201310731
 Owner/Agent: OWNER DATA SUPPRESSED Date Filed:
 Owner's Phone: -- Location: 437 HOFFMAN AV
 Contact Name: -- Block: 6503
 Contact Phone: -- Lot: 024
 Complainant: COMPLAINANT DATA SUPPRESSED Site:
 Rating:
 Occupancy Code:
 Received By: Gregory Slocum
 Division: INS
 Complainant's Phone:
 Complaint Source: TELEPHONE
 Assigned to Division: BID
 Description: Exceeding scope of permit 201305167162 -- prior plans did not call for expansion of building footprint however expansion is taking place.

Instructions:

INSPECTOR INFORMATION

| DIVISION | INSPECTOR | ID | DISTRICT | PRIORITY |
|----------|-----------|------|----------|----------|
| BID | CLANCY | 6249 | 17 | |

REFERRAL INFORMATION

COMPLAINT STATUS AND COMMENTS

| DATE | TYPE | DIV | INSPECTOR | STATUS | COMMENT |
|----------|------------------------------|-----|-----------|---------------|--|
| 07/03/13 | CASE OPENED | BID | Clancy | CASE RECEIVED | |
| 07/11/13 | OTHER BLDG/HOUSING VIOLATION | BID | Clancy | NO ENTRY | Left contact info |
| 07/12/13 | OTHER BLDG/HOUSING VIOLATION | BID | Clancy | CASE CLOSED | Site visit per Inspection Request, no expansion has taken place. Case abated by Fergal Clancy. |

COMPLAINT ACTION BY DIVISION

NOV (HIS):

NOV (BID):

Inspector Contact Information

[Online Permit and Complaint Tracking home page.](#)

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

EXHIBIT 7 (a)
 These records are for the meetings held by the previous building owner.
 We took these neighbor comments into account with our first design.
 So in essence - our permit submittal is a FOURTH attempt to
 address the neighbors' issues - THAT SAID - the previous owner enlarged
 Notice of Pre-Application Meeting their proposal @ their 2nd meeting.
 - Kelly Condon 3/9/15

APRIL 5, 2012

Date

Dear Neighbor:

You are invited to a neighborhood Pre-Application meeting to review and discuss the development proposal at 437 HOFFMAN AVENUE, cross street(s) 24TH STREET (Block/Lot#: 6503/24; Zoning: RH-2), in accordance with the San Francisco Planning Department's Pre-Application procedures. The Pre-Application meeting is intended as a way for the Project Sponsor(s) to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the City. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is submitted for the Planning Department's review. Once a Building Permit has been submitted to the City, you may track its status at www.sfgov.org/cibi.

The Pre-Application process is only required for projects subject to Planning Code Section 311 or 312 Notification. It serves as the first step in the process prior to building permit application or entitlement submittal. Those contacted as a result of the Pre-Application process will also receive a formal entitlement notice or 311 or 312 notification when the project is submitted and reviewed by Planning Department staff.

A Pre-Application meeting is required because this project includes (check all that apply):

- New Construction;
- Any vertical addition of 7 feet or more;
- Any horizontal addition of 10 feet or more;
- Decks over 10 feet above grade or within the required rear yard;
- All Formula Retail uses subject to a Conditional Use Authorization.

The development proposal is to: Remodel the existing residence which includes an addition at the rear and the modification of the lower level to create a single car garage.

| | | |
|--|----------------------------|--|
| Existing # of dwelling units: <u>1</u> | Proposed: <u>1</u> | Permitted: <u>2</u> |
| Existing bldg square footage: <u>2230 SF</u> | Proposed: <u>3460 SF</u> | Permitted: <u>6075 SF (F.A.R. max)</u> |
| Existing # of stories: <u>3</u> | Proposed: <u>3</u> | Permitted: <u>3</u> |
| Existing bldg height: <u>24' front</u> | Proposed: <u>30' front</u> | Permitted: <u>30' front</u> |
| Existing bldg depth: <u>33'-7"</u> | Proposed: <u>54'-0"</u> | Permitted: <u>61'-3"</u> |

MEETING INFORMATION:

Property Owner(s) name(s): Vivek and Pooja Mittal
 Project Sponsor(s): tobylongdesign - Toby Long, AIA - PREVIOUS OWNER + PREVIOUS DESIGN TEAM
 Contact information (email/phone): toby@tobylongdesign.com / 415.905.9030
 Meeting Address*: 437 HOFFMAN AVENUE
 Date of meeting: Thursday, APRIL 19, 2012
 Time of meeting**: 5 PM

*The meeting should be conducted at the project site or within a one-mile radius, unless the Project Sponsor has requested a Department Facilitated Pre-Application Meeting, in which case the meeting will be held at the Planning Department offices, at 1650 Mission Street, Suite 400.

**Weeknight meetings shall occur between 6:00 p.m. - 9:00 p.m. Weekend meetings shall be between 10:00 a.m. - 9:00 p.m., unless the Project Sponsor has selected a Department Facilitated Pre-Application Meeting.

If you have any questions about the San Francisco Planning Code, Residential Design Guidelines, or general development process in the City, please call the Public Information Center at 415-558-6378, or contact the Planning Department via email at pic@sfgov.org. You may also find information about the San Francisco Planning Department and on-going planning efforts at www.sfplanning.org.

Exhibit 7 p 2

Notice of Pre-Application Meeting

FEBRUARY 12, 2014

Date

Dear Neighbor:

You are invited to a neighborhood Pre-Application meeting to review and discuss the development proposal at 427 HOFFMAN AVENUE, cross street(s) 24TH STREET (Block/Lot#: 6503/24; Zoning: RH-2), in accordance with the San Francisco Planning Department's Pre-Application procedures. The Pre-Application meeting is intended as a way for the Project Sponsor(s) to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the City. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is submitted for the Planning Department's review. Once a Building Permit has been submitted to the City, you may track its status at www.sfgov.org/dbi.

The Pre-Application process is only required for projects subject to Planning Code Section 311 or 312 Notification. It serves as the first step in the process prior to building permit application or entitlement submittal. Those contacted as a result of the Pre-Application process will also receive a formal entitlement notice or 311 or 312 notification when the project is submitted and reviewed by Planning Department staff.

A Pre-Application meeting is required because this project includes (check all that apply):

- New Construction;
- Any vertical addition of 7 feet or more;
- Any horizontal addition of 10 feet or more;
- Decks over 10 feet above grade or within the required rear yard;
- All Formula Retail uses subject to a Conditional Use Authorization.

**The drawings shown @ this meeting had the building extending all the way to the 45% setback on all stories. We scaled back against the south side in response to the neighbors' concerns w/ that approach.*

The development proposal is to: Remodel to existing residence which includes an addition at the rear and the modification of the lower level to create a single car garage.

| | | |
|--|-------------------------------|--|
| Existing # of dwelling units: <u>1</u> | Proposed: <u>1</u> | Permitted: <u>2</u> |
| Existing bldg square footage: <u>2238 SF</u> | Proposed: <u>3809 SF</u> | Permitted: <u>6075 SF (F.A.R. max)</u> |
| Existing # of stories: <u>3</u> | Proposed: <u>3</u> | Permitted: <u>3</u> |
| Existing bldg height: <u>25'-7" front</u> | Proposed: <u>30'-0" front</u> | Permitted: <u>35' front</u> |
| Existing bldg depth: <u>33'-7"</u> | Proposed: <u>57'-3"</u> | Permitted: <u>61'-3"</u> |

MEETING INFORMATION:

Property Owner(s) name(s): Vivek and Pooja Mittal
 Project Sponsor(s): tobylongdesign - Toby Long, AIA - PREVIOUS OWNER + PREVIOUS DESIGN TEAM
 Contact information (email/phone): toby@tobylongdesign.com / 415.905.9030
 Meeting Address*: 437 HOFFMAN AVENUE
 Date of meeting: Thursday, March 6, 2014
 Time of meeting**: 6 PM

*The meeting should be conducted at the project site or within a one-mile radius, unless the Project Sponsor has requested a Department Facilitated Pre-Application Meeting, in which case the meeting will be held at the Planning Department offices, at 1650 Mission Street, Suite 400.

**Weeknight meetings shall occur between 6:00 p.m. - 9:00 p.m. Weekend meetings shall be between 10:00 a.m. - 9:00 p.m., unless the Project Sponsor has selected a Department Facilitated Pre-Application Meeting.

If you have any questions about the San Francisco Planning Code, Residential Design Guidelines, or general development process in the City, please call the Public Information Center at 415-558-6378, or contact the Planning Department via email at pic@sfgov.org. You may also find information about the San Francisco Planning Department and on-going planning efforts at www.sfplanning.org.

Exhibit 7.p.3

ARCHITECTURE
tobylongdesign

437 HOFFMAN AVENUE - PROPOSED PROJECT HISTORY

PROJECT BACKGROUND

Property was sold to current owner with unit merger approval based on case #200806275494 and #2008.0572 D. Current owner retained Toby Long Design to explore the addition of a garage and rear addition to existing structure.

PROJECT TIMELINE SUMMARY

May 27, 2011 - Toby Long Design submitted additional materials to finalize unit merger site permit on behalf of previous architect, William Pashetinsky.

August 24, 2011 - Site permit approved by SF Planner Sharon Lai.

April 3, 2012 - Pre-Project meeting with San Francisco Planner, Michael Smith, to review schematic design and discuss how to proceed with new scope relative to unit merger approval. Smith reviews documents and concludes that he will need to verify sequence with Zoning Administrator.

April 19, 2012 - Presented Preliminary Conceptual Design to Adjacent Neighbors. Attendee list attached. The following comments were received:

1. Rear addition at south property line to block light at 441 and 439 Hoffman Avenue.
2. Height of rear deck at lowest floor too high.
3. Wrap-around deck on upper level would erode privacy at existing roof deck 441 and 439 Hoffman.
4. Lower deck extended too far
5. Rear addition blocks light at 433 Hoffman
6. Tree removal for new garage is unacceptable.
7. Discretionary review hearing and subsequent unit merger approval only addresses reduction of unit, not addition or creation of parking.
8. Neighbors asked for specific dimensions regarding height.

June 6, 2012 E mail message from Michael Smith stating that the building must first be designated as a single family unit prior to the application for any new scope of work. The final step in completing the approved unit merger is to apply to permit for an interior stair connecting the existing top floor to the former lower unit.

September 18, 2012 - Building Permit application and plans for interior connecting stair submitted.

January 09, 2013 - Building Permit approved.

May 30, 2013 - Surveyor retained and survey issued of subject property and adjacent properties.

July 12, 2013 - Final inspection and approval issued for construction of interior stair.

October 15, 2013 - Application for Tree Removal denied by SF Bureau of Urban Forestry, appeal request filed and hearing scheduled.

October 28, 2013 - Tree Removal Hearing, adjacent neighbors present.

December 30, 2013 - Approval to remove street tree pending planning approval for garage and rear addition, issued by Mohammed Nuru.

January 1 - March 5, 2014 - Design revisions made according to neighbor from 2012 meeting with accurate survey information:

1. Rear addition at south property line to block light at 441 and 439 Hoffman Avenue.
Light coming from south, no light blocked from North. Lightwell added on south property line to mirror profile of roof deck at 439 and 441 Hoffman Avenue.

6114 LA SALLE AVENUE #552, OAKLAND, CA 94611 P:415.905.9030 WWW.TOBYLONGDESIGN.COM

Exhibit 7, p. 4

ARCHITECTURE
tobylongdesign



2. Height of rear deck at lowest floor too high.
Floor at rear of lowest level lowered 4'-10" to achieve a lower exterior deck elevation.
3. Wrap-around deck on upper level would erode privacy at existing roof deck 441 and 439 Hoffman.
Wrap around deck at upper floor removed. First floor lightwell created to maximize privacy and light.
4. Lower deck extended too far.
Per section 136 of zoning code configuration and extension of deck permitted within this zone.
5. Rear addition blocks light at 433 Hoffman.
Mirror of lightwell provided at north side of subject property that abuts 433 Hoffman, consistent with SF Residential Design Guidelines. The lightwell at 433 Hoffman has been illegally enclosed with glazing at zero clearance to property line.
6. Tree removal for new garage is unacceptable.
Tree removal has been approved for removal by SF Public Works pending Planning approval for scope of work. See above for details.
7. Discretionary review hearing and subsequent unit merger approval only addresses reduction of unit, not addition or creation of parking. Unit merger completed with final inspection of interior stair. Property is now considered Single Family Dwelling and eligible for proposed scope of work.
8. Neighbors asked for specific dimensions regarding height.
Survey information provided for existing property by American Land Survey and extrapolated on proposed architectural plans.

January 27, 2014 - Submittal for Environmental Evaluation with supplemental Historic Resource Evaluation application

March 6, 2014 - Second Meeting with adjacent neighbors to present updated plans. Attendee list is attached. The following comments were received and addressed as follows:

1. Rear addition at south property line to block light at 439 and 441 Hoffman Avenue.
Light coming from south, no light blocked from North. Lightwell added on south property line to mirror profile of roof deck at 439 and 441 Hoffman Avenue.
2. South lightwell to conflict with privacy on roof deck at 439 and 441 Hoffman.
Proposed lightwell mirrors profile of existing roof deck at 439 and 441 Hoffman as recommended in SF Residential Design Guidelines.
3. Rear addition blocks light at 433 Hoffman.
Mirror of lightwell provided at north side of subject property that abuts 433 Hoffman, consistent with SF Residential Design Guidelines. The lightwell at 433 Hoffman has been illegally enclosed with glazing at zero clearance to property line.
4. Lower deck exceeds rear setback.
Lower deck configuration permitted per Section 136 of SF Zoning Code.
5. Sidewalk is obstructed by proposed driveway.
Driveway design in accordance with SF DPW Bureau of Street-Use and Mapping "Typical Drawings for a Warped Driveway". This diagram includes minimum sidewalk clearance requirements.

Exhibit 7 p5

Jan 30
6 pm
Philz

Notice of Pre-Application Meeting

January 14, 2015

Date

Dear Neighbor:

You are invited to a neighborhood Pre-Application meeting to review and discuss the development proposal at 437 HOFFMAN AVE cross street(s) BETWEEN 24TH & 25TH ST (Block/Lot#: 6503; Zoning: 024), in accordance with the San Francisco Planning Department's Pre-Application procedures. The Pre-Application meeting is intended as a way for the Project Sponsor(s) to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the City. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is submitted for the Planning Department's review. Once a Building Permit has been submitted to the City, you may track its status at www.sfgov.org/dbi.

The Pre-Application process is only required for projects subject to Planning Code Section 311 or 312 Notification. It serves as the first step in the process prior to building permit application or entitlement submittal. Those contacted as a result of the Pre-Application process will also receive a formal entitlement notice or 311 or 312 notification when the project is submitted and reviewed by Planning Department staff.

A Pre-Application meeting is required because this project includes (check all that apply):

- New Construction;
- Any vertical addition of 7 feet or more;
- Any horizontal addition of 10 feet or more;
- Decks over 10 feet above grade or within the required rear yard;
- All Formula Retail uses subject to a Conditional Use Authorization.

The development proposal is to: demolish existing building, new front wall moves forward to line of average of adjacent neighbors @ north side & steps back / extends less @ south side, new building extends to 45% rear yard setback at north side & to average of adjacent neighboring building depths at top 2 stories on south side + sets in 50' away from southern neighbor starting at line of neighbor's adjacent top story indent.

| | | |
|--|--|-------------------------|
| Existing # of dwelling units: 1 | Proposed: 1 | Permitted: 1 |
| Existing bldg square footage: 2992 s.f. | Proposed: 6053 s.f. | Permitted: 2992 s.f. |
| Existing # of stories: 3 + basement | Proposed: 3 + basement | Permitted: 3 + basement |
| Existing bldg height: 25'-7" (curb to peak) | Proposed: 30'-11" (to curb) | Permitted: 40' max |
| Existing bldg depth: 45'-5" from front P.L. 52'-9" (front P.L. to deck) | Proposed: 80'-9" front P.L. to bsmt / 68'-9" at higher stories | Permitted: see existing |

MEETING INFORMATION:

Property Owner(s) name(s): Hoffman TIC Group

Project Sponsor(s): KELLY CONDON

Contact information (email/phone): 415-240-8328 / KELLYMCONDON@GMAIL.COM

Meeting Address*: PHILZ COFFEE @ 4298 24th St, San Francisco, CA 94114

Date of meeting: JANUARY 30, 2015 (FRIDAY)

Time of meeting**: 6PM

*The meeting should be conducted at the project site or within a one-mile radius, unless the Project Sponsor has requested a Department Facilitated Pre-Application Meeting, in which case the meeting will be held at the Planning Department offices, at 1850 Mission Street, Suite 400.

**Weeknight meetings shall occur between 6:00 p.m. - 9:00 p.m. Weekend meetings shall be between 10:00 a.m. - 9:00 p.m., unless the Project Sponsor has selected a Department Facilitated Pre-Application Meeting.

If you have any questions about the San Francisco Planning Code, Residential Design Guidelines, or general development process in the City, please call the Public Information Center at 415-558-6378, or contact the Planning Department via email at pic@sfgov.org. You may also find information about the San Francisco Planning Department and on-going planning efforts at www.sfpplanning.org.

Exhibit 7 p 6

Notice of Pre-Application Meeting

February 16, 2015

Date

Dear Neighbor:

You are invited to a neighborhood Pre-Application meeting to review and discuss the development proposal at 437 HOFFMAN AVE, cross street(s) BETWEEN 24TH & 25TH ST (Block/Lot#: 6503); Zoning: O24, in accordance with the San Francisco Planning Department's Pre-Application procedures. The Pre-Application meeting is intended as a way for the Project Sponsor(s) to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the City. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is submitted for the Planning Department's review. Once a Building Permit has been submitted to the City, you may track its status at www.sfgov.org/dbi.

The Pre-Application process is only required for projects subject to Planning Code Section 311 or 312 Notification. It serves as the first step in the process prior to building permit application or entitlement submittal. Those contacted as a result of the Pre-Application process will also receive a formal entitlement notice or 311 or 312 notification when the project is submitted and reviewed by Planning Department staff.

A Pre-Application meeting is required because this project includes (check all that apply):

- New Construction;
- Any vertical addition of 7 feet or more;
- Any horizontal addition of 10 feet or more;
- Decks over 10 feet above grade or within the required rear yard;
- All Formula Retail uses subject to a Conditional Use Authorization.

The development proposal is to: SECOND NEIGHBOR MEETING: demolish existing building, new front wall moves forward to line of average of adjacent neighbors @ north side & steps back / extends less @ south side, new building extends to 45% rear yard setback at north side & to average of adjacent neighboring building depths at top 2 stories on south side + sets in 50" away from southern neighbor starting at line of neighbor's adjacent top story indent.

| | | |
|--|--|---------------------------------|
| Existing # of dwelling units: 1 | Proposed: 1 | Permitted: 1 |
| Existing bldg square footage: 2992 s.f. | Proposed: 6029 s.f. | Permitted: 2992 s.f. (existing) |
| Existing # of stories: 3 + basement | Proposed: 3 + basement | Permitted: 3 + basement |
| Existing bldg height: 25'-7" (curb to peak) | Proposed: 30'-11" (to curb) | Permitted: 40' max |
| Existing bldg depth: 45'-5" from front P.L. 52'-9" (front P.L. to deck) | Proposed: 80'-9" front P.L. to bsmt / 68'-9" at higher stories | Permitted: see 'existing' |

MEETING INFORMATION:

Property Owner(s) name(s): Hoffman TIC Group

Project Sponsor(s): KELLY CONDON

Contact information (email/phone): 415-240-8328 / KELLYMCONDON@GMAIL.COM

Meeting Address*: UMPQUA BANK - 3938 24th St (between Noe & Sanchez St)

Date of meeting: February 25, 2015 (WEDNESDAY)

Time of meeting**: 6PM

*The meeting should be conducted at the project site or within a one-mile radius, unless the Project Sponsor has requested a Department Facilitated Pre-Application Meeting, in which case the meeting will be held at the Planning Department offices, at 1650 Mission Street, Suite 400.

**Weeknight meetings shall occur between 6:00 p.m. - 9:00 p.m. Weekend meetings shall be between 10:00 a.m. - 9:00 p.m., unless the Project Sponsor has selected a Department Facilitated Pre-Application Meeting.

If you have any questions about the San Francisco Planning Code, Residential Design Guidelines, or general development process in the City, please call the Public Information Center at 415-558-6378, or contact the Planning Department via email at pic@sfgov.org. You may also find information about the San Francisco Planning Department and on-going planning efforts at www.sfplanning.org.

EXHIBIT 8 Email -Keeping front façade so as not to trigger a demo permit

From: Kelly Condon <kellymcondon@gmail.com>

To: Janet Fowler <jfowlers@aol.com>

Cc: Alek Juretic <alek@citidev.com>; Jason Lindley <jason@citidev.com>;
PAUL KRAAIJVANGER <paulusk12@gmail.com>

Subject: Re: Plan set as submitted with 311 Notice

Date: Mon, Oct 19, 2015 9:32 am

Attachments: 437 HOFFMAN - NOTICED SITE PERMIT.pdf (6276K)

Janet -

Here is a copy of the site permit as submitted to Planning in a final draft.

Our case planner resigned & moved on to become the head of planning in another town - so we have a new case planner.

We redesigned the house to keep the front facade details (ie. to NOT trigger the a demo permit) to save time since we have been waiting for a response from Planning since March.

The rest of the plans did not change. Just the front facade & how the driveway comes into the house.

Square footages are on sheet A1 (like before).

Kelly Condon
415-240-8328

On Oct 18, 2015, at 11:55 PM, Janet Fowler wrote:

Dear Kelly,

We are wondering if you could provide us with a full-sized or close to full-sized copy of the plans you submitted to Planning and we received with the 311 Notice? The plans that you submitted appear different from the plans you supplied to us. We would like to review the same plans that were submitted to Planning. The plan set that was attached with the 311 Notice from Planning is very puny and not very helpful.

Do you have any explanations that you would like to provide to us? We see that the facade is different. What else is different? What is the square footage of the plans that you submitted to Planning?

Thank you,
Janet Fowler

Revised 5-7-15



**SAN FRANCISCO
PLANNING DEPARTMENT**

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

| | | | |
|--|---|--|---|
| Project Address | | Block/Lot(s) | |
| 437 Hoffman Ave. | | 6503/024 | |
| Case No. | Permit No. | Plans Dated | |
| 2014.0329E | | 2/24/15 | |
| <input checked="" type="checkbox"/> Addition/ Alteration | <input type="checkbox"/> Demolition (requires HRER if over 45 years old) | <input type="checkbox"/> New Construction | <input type="checkbox"/> Project Modification (GO TO STEP 7) |
| Project description for Planning Department approval. Interior remodel and exterior expansion of an existing two-story single-family residence. Add two-car garage. Raise building by 5'4". | | | |

STEP 1: EXEMPTION CLASS

TO BE COMPLETED BY PROJECT PLANNER

| | |
|--|--|
| Note: If neither Class 1 or 3 applies, an Environmental Evaluation Application is required. | |
| <input checked="" type="checkbox"/> | Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft. |
| <input type="checkbox"/> | Class 3 - New Construction/ Conversion of Small Structures. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU. |
| <input type="checkbox"/> | Class__ |

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

| | |
|--|---|
| If any box is checked below, an Environmental Evaluation Application is required. | |
| <input type="checkbox"/> | Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks)? <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Article 38 program and the project would not have the potential to emit substantial pollutant concentrations. (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollutant Exposure Zone)</i> |
| <input type="checkbox"/> | Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I |

| | |
|--|--|
| | Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i> |
| <input type="checkbox"/> | Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities? |
| <input type="checkbox"/> | Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area) |
| <input type="checkbox"/> | Noise: Does the project include new noise-sensitive receptors (schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Noise Mitigation Area) |
| <input type="checkbox"/> | Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) |
| <input checked="" type="checkbox"/> | Slope = or > 20%: Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required. |
| <input type="checkbox"/> | Seismic: Landslide Zone: Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required. |
| <input type="checkbox"/> | Seismic: Liquefaction Zone: Does the project involve excavation of 50 cubic yards of soil or more, new construction, or square footage expansion greater than 1,000 sq. ft. outside of the existing building footprint? (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required. |
| <u>If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an Environmental Evaluation Application is required, unless reviewed by an Environmental Planner.</u> | |
| <input checked="" type="checkbox"/> | Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above. |
| Comments and Planner Signature (optional): Project will follow recommendations of 3/22/15 Gruen geotech letter and 1/16/14 Gruen geotech report. Catex issued on 9/24/14 rescinded because project changed. PTR form attached. | |

**STEP 3: PROPERTY STATUS – HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

| | |
|--|---|
| PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map) | |
| <input type="checkbox"/> | Category A: Known Historical Resource. GO TO STEP 5. |
| <input type="checkbox"/> | Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4. |
| <input checked="" type="checkbox"/> | Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6. |

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

| | |
|---|---|
| Check all that apply to the project. | |
| <input type="checkbox"/> | 1. Change of use and new construction. Tenant improvements not included. |
| <input type="checkbox"/> | 2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building. |
| <input type="checkbox"/> | 3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations. |
| <input type="checkbox"/> | 4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the <i>Residential Design Guidelines</i> . |
| <input type="checkbox"/> | 5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way. |
| <input type="checkbox"/> | 6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way. |
| <input type="checkbox"/> | 7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> . |
| <input type="checkbox"/> | 8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features. |
| Note: Project Planner must check box below before proceeding. | |
| <input type="checkbox"/> | Project is not listed. GO TO STEP 5. |
| <input type="checkbox"/> | Project does not conform to the scopes of work. GO TO STEP 5. |
| <input type="checkbox"/> | Project involves four or more work descriptions. GO TO STEP 5. |
| <input type="checkbox"/> | Project involves less than four work descriptions. GO TO STEP 6. |

**STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER**

| | |
|--------------------------------------|---|
| Check all that apply to the project. | |
| <input type="checkbox"/> | 1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4. |
| <input type="checkbox"/> | 2. Interior alterations to publicly accessible spaces. |
| <input type="checkbox"/> | 3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character. |
| <input type="checkbox"/> | 4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features. |
| <input type="checkbox"/> | 5. Raising the building in a manner that does not remove, alter, or obscure character-defining features. |
| <input type="checkbox"/> | 6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings. |
| <input type="checkbox"/> | 7. Addition(s), including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> . |

| | |
|--|---|
| <input type="checkbox"/> | 8. Other work consistent with the Secretary of the Interior Standards for the Treatment of Historic Properties (specify or add comments): |
| <input type="checkbox"/> | 9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator) _____ |
| <input type="checkbox"/> | 10. Reclassification of property status to Category C. (Requires approval by Senior Preservation Planner/Preservation Coordinator) a. Per HRER dated: _____ (attach HRER) b. Other (specify): |
| Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below. | |
| <input type="checkbox"/> | Further environmental review required. Based on the information provided, the project requires an Environmental Evaluation Application to be submitted. GO TO STEP 6. |
| <input type="checkbox"/> | Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6. |
| Comments (optional): | |
| Preservation Planner Signature: | |

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER**

| | | |
|--|---|---|
| <input type="checkbox"/> | Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 – CEQA Impacts <input type="checkbox"/> Step 5 – Advanced Historical Review STOP! Must file an Environmental Evaluation Application. | |
| <input checked="" type="checkbox"/> | No further environmental review is required. The project is categorically exempt under CEQA. | |
| | Planner Name: | Signature: |
| | Project Approval Action: Building Permit If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project. | Jean Poling <small>Digitally signed by Jean Poling DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Environmental Planning, cn=Jean Poling, email=jeanle.poling@sfgov.org Date: 2016.05.05 11:25:20 -07'00'</small> |
| Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action. | | |

**STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT
TO BE COMPLETED BY PROJECT PLANNER**

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

| | | |
|--|------------------------------|---|
| Project Address (If different than front page) | | Block/Lot(s) (If different than front page) |
| | | |
| Case No. | Previous Building Permit No. | New Building Permit No. |
| | | |
| Plans Dated | Previous Approval Action | New Approval Action |
| | | |
| Modified Project Description: | | |
| | | |

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

| | |
|--|--|
| Compared to the approved project, would the modified project: | |
| <input type="checkbox"/> | Result in expansion of the building envelope, as defined in the Planning Code; |
| <input type="checkbox"/> | Result in the change of use that would require public notice under Planning Code Sections 311 or 312; |
| <input type="checkbox"/> | Result in demolition as defined under Planning Code Section 317 or 19005(f)? |
| <input type="checkbox"/> | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |
| If at least one of the above boxes is checked, further environmental review is required CA TEX FORM | |

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

| | |
|--|---|
| <input type="checkbox"/> | The proposed modification would not result in any of the above changes. |
| If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. | |
| Planner Name: | Signature or Stamp: |
| | |

Exhibit 9, p. 6

My comments are in the right margin, next to highlighted areas. (Janet Fowler)



SAN FRANCISCO PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW FORM

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

| | | | |
|---------------------------------|--|-------------------------|-----------|
| Preservation Team Meeting Date: | | Date of Form Completion | 5/16/2014 |
|---------------------------------|--|-------------------------|-----------|

| | | |
|-----------------------------|--------------------|---------------|
| PROJECT INFORMATION: | | |
| Planner: | Address: | |
| Gretchen Hilyard | 437 Hoffman Avenue | |
| Block/Lot: | Cross Streets: | |
| 6503/024 | 24th Street | |
| CEQA Category: | Art. 10/11: | BPA/Case No.: |
| B | n/a | 2014.0329E |

| | | | | |
|---------------------------------------|-------------------------------------|---------------------------------------|---|---|
| PURPOSE OF REVIEW: | | | PROJECT DESCRIPTION: | |
| <input checked="" type="radio"/> CEQA | <input type="radio"/> Article 10/11 | <input type="radio"/> Preliminary/PIC | <input checked="" type="radio"/> Alteration | <input type="radio"/> Demo/New Construction |

| | |
|------------------------------------|-----------|
| DATE OF PLANS UNDER REVIEW: | 1/27/2014 |
|------------------------------------|-----------|

| | |
|--|--|
| PROJECT ISSUES: | |
| <input checked="" type="checkbox"/> | Is the subject Property an eligible historic resource? |
| <input type="checkbox"/> | If so, are the proposed changes a significant impact? |
| Additional Notes: | |
| Submitted: Supplemental Information Form prepared by KDI Land Use Planning (April 2, 2012). | |
| <u>Proposed project to raise the existing building by 4'-5" to convert 257 sf of existing residential space at the lower level into a one-car garage. Also included is a 1,511 sf three story addition at the side and rear.</u> | |

This refers to a different plan.
New plan would have to be four stories in height

| | | | | |
|---|---|---|---|---------------------------|
| PRESERVATION TEAM REVIEW: | | | | |
| Historic Resource Present | | <input type="radio"/> Yes | <input checked="" type="radio"/> No * | <input type="radio"/> N/A |
| Individual | | Historic District/Context | | |
| Property is individually eligible for inclusion in a California Register under one or more of the following Criteria: | | Property is in an eligible California Register Historic District/Context under one or more of the following Criteria: | | |
| Criterion 1 - Event: | <input type="radio"/> Yes <input checked="" type="radio"/> No | Criterion 1 - Event: | <input type="radio"/> Yes <input checked="" type="radio"/> No | |
| Criterion 2 - Persons: | <input type="radio"/> Yes <input checked="" type="radio"/> No | Criterion 2 - Persons: | <input type="radio"/> Yes <input checked="" type="radio"/> No | |
| Criterion 3 - Architecture: | <input type="radio"/> Yes <input checked="" type="radio"/> No | Criterion 3 - Architecture: | <input type="radio"/> Yes <input checked="" type="radio"/> No | |
| Criterion 4 - Info. Potential: | <input type="radio"/> Yes <input checked="" type="radio"/> No | Criterion 4 - Info. Potential: | <input type="radio"/> Yes <input checked="" type="radio"/> No | |
| Period of Significance: | <input type="text"/> | Period of Significance: | <input type="text"/> | |
| | | <input type="radio"/> Contributor <input type="radio"/> Non-Contributor | | |

Exhibit 9, p. 7

| | | | |
|--|--------------------------------------|-------------------------------------|--------------------------------------|
| Complies with the Secretary's Standards/Art 10/Art 11: | <input type="radio"/> Yes | <input type="radio"/> No | <input checked="" type="radio"/> N/A |
| CEQA Material Impairment: | <input type="radio"/> Yes | <input checked="" type="radio"/> No | |
| Needs More Information: | <input type="radio"/> Yes | <input checked="" type="radio"/> No | |
| Requires Design Revisions: | <input type="radio"/> Yes | <input checked="" type="radio"/> No | |
| Defer to Residential Design Team: | <input checked="" type="radio"/> Yes | <input type="radio"/> No | |

* If No is selected for Historic Resource per CEQA, a signature from Senior Preservation Planner or Preservation Coordinator is required.

PRESERVATION TEAM COMMENTS:

According to the Supplemental Information Form for Historic Resource Determination prepared by KDI Land Use Planning (dated April 2, 2012) and information found in the Planning Department files, the subject property at 437 Hoffman Avenue contains a 1-1/2-story-over-basement wood frame multi-family residence constructed in 1905 in the Queen Anne architectural style with some Craftsman style elements. The original architect is unknown, but the original owners were Neil W. Getty and Wilnot R. Getty, who were builders/contractors and likely constructed the building. The building has undergone very few alterations over time. Known alterations to the property include: legalization of the second unit and installation of a fire suppression system (1970), interior seismic upgrades (1989), reroofing and new shingles (1995).

No known historic events occurred at the property (Criterion 1). None of the owners or occupants have been identified as important to history (Criterion 2). The subject building is a non-descript example of a Queen Anne style multi-family property. The building is not architecturally distinct such that it would qualify individually for listing in the California Register under Criterion 3.

The subject property is not located within the boundaries of any identified historic districts. The subject property is located within the Noe Valley neighborhood on a block that exhibits a great variety of architectural styles, construction dates, and subsequent alterations that compromise historic integrity. The area surrounding the subject property does not contain a significant concentration of historically or aesthetically unified buildings.

Therefore, the subject property is not eligible for listing in the California Register under any criteria individually or as part of a historic district.

There's a photo of the house during construction: 2 stories

The original plans were passed to the prior owners and likely to th Mittels who hired KDI.

KDI says these are possible builders. But RW Getty initials were inscribed on door lead to basement. KDI say: original owners were Robert W. Getty and Julia F. Getty.

KDI: the subject neighborhood was largely developed between 1905 and 1913 as only the top of the block on Hoffman Avenue fronting 24th Street was developed 1899 and 1905 and by 1913 only one empty existed. The subject neighborhood has historically been composed of single- a multi-family detached dwellings including ott Queen Anne and Italianate style dwellin ...

| | |
|--|---------|
| Signature of a Senior Preservation Planner / Preservation Coordinator: | Date: |
| <i>Smida</i> | 5-23-14 |

Exhibit 10 No RDT Review for this project.

From: Tran, Nancy (CPC) [mailto:Nancy.H.Tran@sfgov.org]

Sent: Thursday, November 12, 2015 12:35 PM

To: Stephen M. Williams

Cc: geneg@sfsu.edu; rufnikhound@gmail.com; paul.lef123@gmail.com; 'Janet Fowler'; Sanchez, Scott (CPC); Washington, Delvin (CPC)

Subject: RE: 437 Hoffman Project---Plans Fail to Meet Minimum Standards of Section 311

Mr. Williams:

The Zoning Administrator determined that the plans will need to be revised and re-noticed for an additional 15 days (this does not include the time required for support staff/reproduction). The additional notification will go out to the required organizations and neighbors, including those that were missed in the original mailing. I have informed the project architect of this.

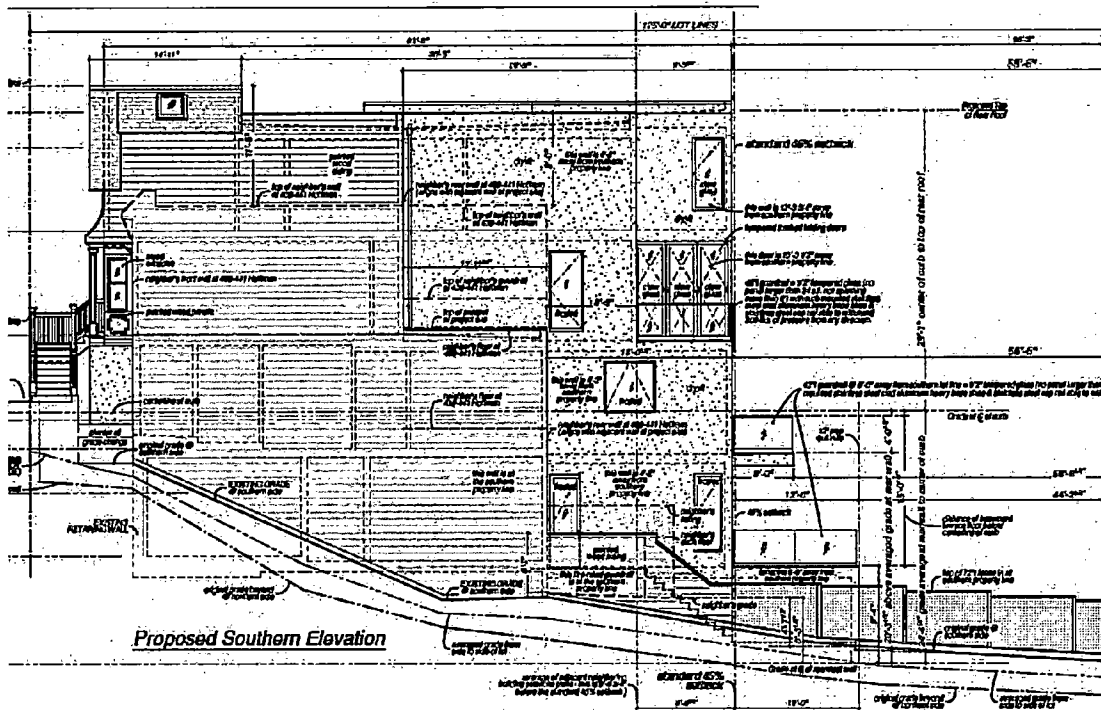
In response to your voicemail following your review of the file last week - I understood your November 9th email inquiry: "Also, may I please review the files? Please let me know when they can be made available for review and copying" as a request to only see the building permit plans and file. Please be aware that not all emails between the project sponsor, interested parties and Planning Department are printed out. If you would like to see *all* communication, you will need to submit an official Sunshine Records Request. The Department would have to check with all planners involved with the project and access Michael Smith's disabled email account since there may have been emails exchanged prior to it being reassigned to me.

With respect to file notes/scheduling – **please be aware that not all projects are required to be scheduled for RDT review. Mr. Smith, who was a representative on RDT, reviewed the project against the RDGs and determined that the scope of work did not trigger formal RDT review and that it met the guidelines.** If your client submits a Discretionary Review application, the project will be brought to RDT for final determination before it appears before the Planning Commission.

Regards,

Nancy Tran

Exhibit 12. RDG Guidelines – out of scale with surroundings

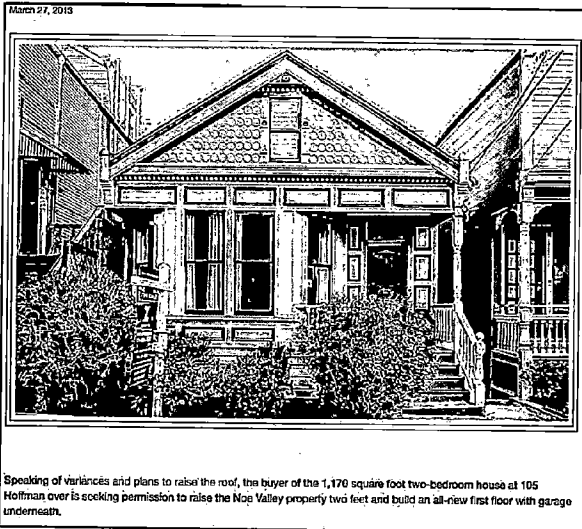


Clipping from actual plans of project, page A15

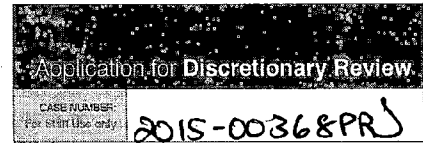
Exhibit: 13

Here's an example of a home at 105 Hoffman, where a garage was added with very little impact to the façade. I know it is not what the 437 Hoffman developers want, but these were actual homeowners.

http://www.socketsite.com/archives/2013/03/plans_to_double_the_square_footage_by_raising_the_roof.html



RECEIVED



MAR 17 2017

APPLICATION FOR CITY & COUNTY OF S.F. Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME: Ernie Beffel & Chris Wine 650-712-0340, 415-200-8632
DR APPLICANT'S ADDRESS: 70 Homestead St., 42 Homestead St., ZIP CODE: 94114, TELEPHONE: ()
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Kelly Condon
ADDRESS: 443 Joost St, ZIP CODE: 94114, TELEPHONE: (415) 240-8328
CONTACT FOR DR APPLICATION: Same as Above [X]
ADDRESS: , ZIP CODE: , TELEPHONE: ()
E-MAIL ADDRESS: kellymcondon@gmail.com

2. Location and Classification

STREET ADDRESS OF PROJECT: 437 Hoffman St, ZIP CODE: 94114
CROSS STREETS: 24th and 25th St
ASSESSORS BLOCK/LOT: 6503 /204, LOT DIMENSIONS: , LOT AREA (SQ. FT.): , ZONING DISTRICT: RH-2 / 40-X, HEIGHT/BULK DISTRICT:

3. Project Description

Please check all that apply
Change of Use [X] Change of Hours [] New Construction [X] Alterations [X] Demolition [X] Other []
Additions to Building: Rear [X] Front [X] Height [X] Side Yard [X] Duplex
Present or Previous Use: Duplex
Proposed Use: Duplex
Building Permit Application No. 2015-003686PRJ Date Filed: 3/16/2017

4. Actions Prior to a Discretionary Review Request

| Prior Action | YES | NO |
|---|-------------------------------------|-------------------------------------|
| Have you discussed this project with the permit applicant? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Did you discuss the project with the Planning Department permit review planner? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Did you participate in outside mediation on this case? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

Chris and Ernie met with the planners. They complimented us for a logical presentation and advised us to submit our photos with the DR application, as photos given to them would not necessarily be included in the packet.

We asked if this was really a two unit project, as secondary fire egress seems inadequate for a bedroom 40 feet above grade in a structure over 5,000 sq. ft. The planners said that fire safety would be reviewed by Building and by the Fire Department. No changes resulted from the meeting with the planners and they did not suggest a mediation.

Chris visited at home by Kelly Condon. She offered to plant a tree in the back yard of 437 Hoffman, but would not reduce the mass of the project.

Ernie left a voice mail and communicated with Ms. Condon by email. She was unbending in moving forward with the 5360 sq. ft. massive project.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

Block 6503 average home size: 1956 square feet.
437 Hoffman proposed home size: 5360 square feet.

The proposed designed negatively impacts neighbors on all sides and negatively impacts the character of this neighborhood. It is out of compliance with Planning Guidelines, out of scale with neighboring homes ~(3400 sq ft larger than average). It impacts the mid-block open space with its excessive dimensions, and encroaches on neighbors' privacy.

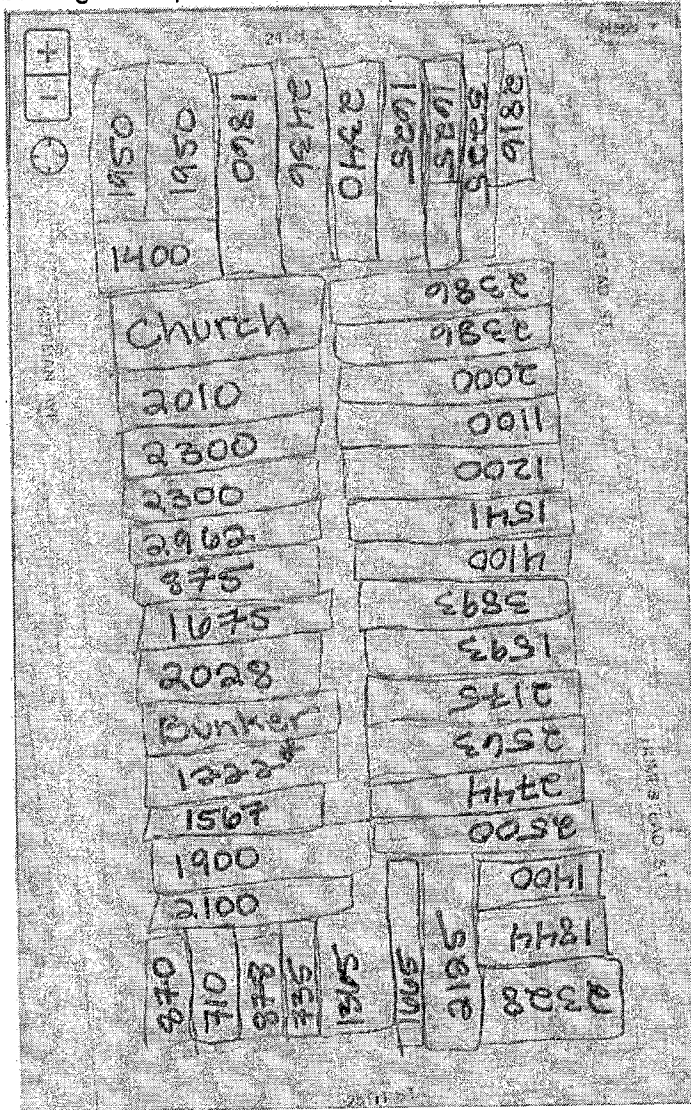
Duplex: While called a duplex, these large duplexes nearly always end up SFHs. Additionally, at this price range (Proposed home will sell for \$6-7M), it is difficult to imagine:

- Condo 1 for \$4.25M with no backyard access
- Condo 2 for \$2.25M and living in a basement, under a garage.

As designed it takes what could be SF middle class home and makes it unreachable for all but the uber wealthy.

Lack of Compliance with Residential Design Guidelines

As stated, scale is more than double the average, and exhibits no terracing as recommended. Scale of building in comparison to the block.



Planning Guide Building Scale, p23 - p26.

The proposed construction is out of scale in both mass and specific dimensions. The RDG specifically calls for the "scale of the building to be compatible with the height and depth of its surrounding buildings," (p23) but the proposed project is a far cry from the houses in its immediate periphery with regards to scale.

Even choosing to exclude all properties but duplexes and recently remodeled, 437 Hoffman scale far exceeds that hand picked group.

Topography of the Hill and the Block's Roofline Progression

Planning Guide. Page 26. "The height and depth of a building expansion into the rear yard can impact the mid-block open space. Even when permitted by the Planning Code, building expansions into the rear yard may not be appropriate if they are uncharacteristically deep or tall, depending on the context of the other buildings that define the mid-block open space. An out-of-scale rear yard addition can leave surrounding residents feeling "boxed-in" and cut-off from the mid-block open space."



Although the Planning Code allows a three-story addition extending into the rear yard, the addition is substantially out of scale with surrounding buildings and impacts the rear yard open space.



A two-story addition with a pitched roof lessens the impacts of the addition and is more in scale with the rear of the adjacent buildings.



This addition has been scaled back to two stories and is set in from the side property lines to minimize its impact.



This addition extends the full width of the lot but is set back at the second floor so the building steps down to the rear yard.

It is clear that the spirit and design of 437 Hoffman looks to maximize depth on all levels without regard to guidance from planning documentation, or multiple requests from neighbors. Viewing the rear elevation, it looks quite similar to the top left illustration. The notable 2 differences, and both to the negative in terms of compliance with Planning,

- a) Proposed does not gable roof matching the front of the house, but offers a 2/12 pitch.
- b) Back of the house is higher (4'3") not lower than the front structure. Too look like the top left picture (the example of what not to do) the elevation would need to shrink by ~14 ft.

As such, this building is radically out of planning compliance. This is to be expected, as it is the most common developer strategy. Proposed is way out of compliance in hopes to change the frame of reference in the Planning discussions.

This type of expansion is what the RDG refers to as inappropriate since it leaves the surrounding residents feeling "boxed-in and cut-off from the mid-block open space." (p26)

I advocate that changes to 437 be in relation to Planning guidelines, not in relation to previous asks, scaling from the 3x average home size to 2.5x average home size. Currently going from ridiculous to the absurd.

Side Spacing Between Buildings: Breezeway, p15

There is a strong side spacing pattern present at the adjacent houses on this side of the block. The proposed project should respect this existing pattern as stated in the RDG (p15) instead of abolishing it altogether.

Encroaching on Neighbors' Privacy p16-p17

The number of windows proposed for neighbors on Homestead Street due to the numerous windows proposed for the Eastern elevation. The proposed project ignores the RDG principle that calls for minimizing the impact on light and privacy to adjacent properties (p16-p17). They should therefore reduce the number of proposed windows and the glass to solid ratio.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of other or the neighborhood would be adversely affected, please state who would be affected, and how.

The proposed project is unreasonably large for this neighborhood. It is a solid 3000 sq ft larger than the average.

The proposed project adds more than a full story of height to the front of the building, and that is unreasonably out of scale with the neighborhood and is disturbing to the scale of the existing roofline on the east side of the block. It's higher than any other roof on the east side of the block. There is room to meet the requests of the neighbors and sell a very expensive home.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

- Reduce additional vertical height.
- Steepen pitch of gable to 12/12. Same as 52 Homestead St. & 55 Homestead St.
- Restrict the additional depth, including decks, at upper level to enough to accommodate a 2 bedrooms on the top floor (same as 52 Homestead St). With 1200 square feet on Proposed Second Level, there is room for an office or main level bedroom.
 - 1) Reduce overall height by lowering ceiling on 2nd & 3rd floor above grade.
 - 2) Create terracing / step down for rear of house addition to comply with Planning Guidelines
 - On top bedroom floor (3rd floor), this means 2 bedroom/2 baths instead of 3 bedrooms/3 baths
 - On 2nd floor, diminish size of dining room. Leave dining room in place and rotate 90.
 - Or move dining room to front of house near front door (NW corner) and make current proposed dining room space into office or bedroom
 - Dining room in front is traditional configuration for many Queen Anne's.
 - Front of house dining room places it on same side of kitchen as oven (vs currently the refrigerator) and where the breakfast bar serves as buffet for dinner parties for improved workflow in kitchen.

Another option, is on each level mid-way back in the house add 4-5 steps down.

So many good options to stay in compliance with Planning, meet guidance from the neighborhood and run a profitable project.

See also 12 pages of Photo Essay and Introduction to Photo Essay, by Ernie Beffel. A different answer to #3 is provided on the following page.

Introduction to Photo Essay, by Ernie Beffel, 70 Homestead St.

#1/#2: This mini mansion project is out of scale for the neighborhood. It proposes 30% more square foot than the spec project 200 feet to the south, at 471 Hoffman, which sold last year for \$6.7 million. It is 60% bigger than the downscaled project 250 feet ESE, at 55 Homestead St., which was approved with the support of neighbors after collaboration among developer, neighbors and planner. It is 3360 sq. ft. larger than the average 2000 sq. ft. residence (excluding the Church and the Bunker at 465 Hoffman), for Block 6503 given by the Planning Department's Property Information Map. The 57 foot-over-grade mid-block facade of the project is 235% as tall as the typical 24 foot tall presentation to mid-block of Homestead Street houses.

This 5360 sq. ft. project reduces access to affordable housing, rather than contributing to the housing stock. An affordable housing approach would improve the original foundations with underpinning to legalize the basement ceiling height, to double the size of the second unit, and pop out two stories with setbacks, taking advantage of the hillside. A modest investment could produce affordable housing. Instead, this project is scaled to sell for \$7 million. Someone who pays that much for a house will not give up access to their backyard by renting out a 1400 sq. ft. basement unit. Instead of making housing more affordable, this project creates pressure throughout the neighborhood to convert modest, reasonably priced homes and rentals in an historically working class neighborhood into mini mansions.

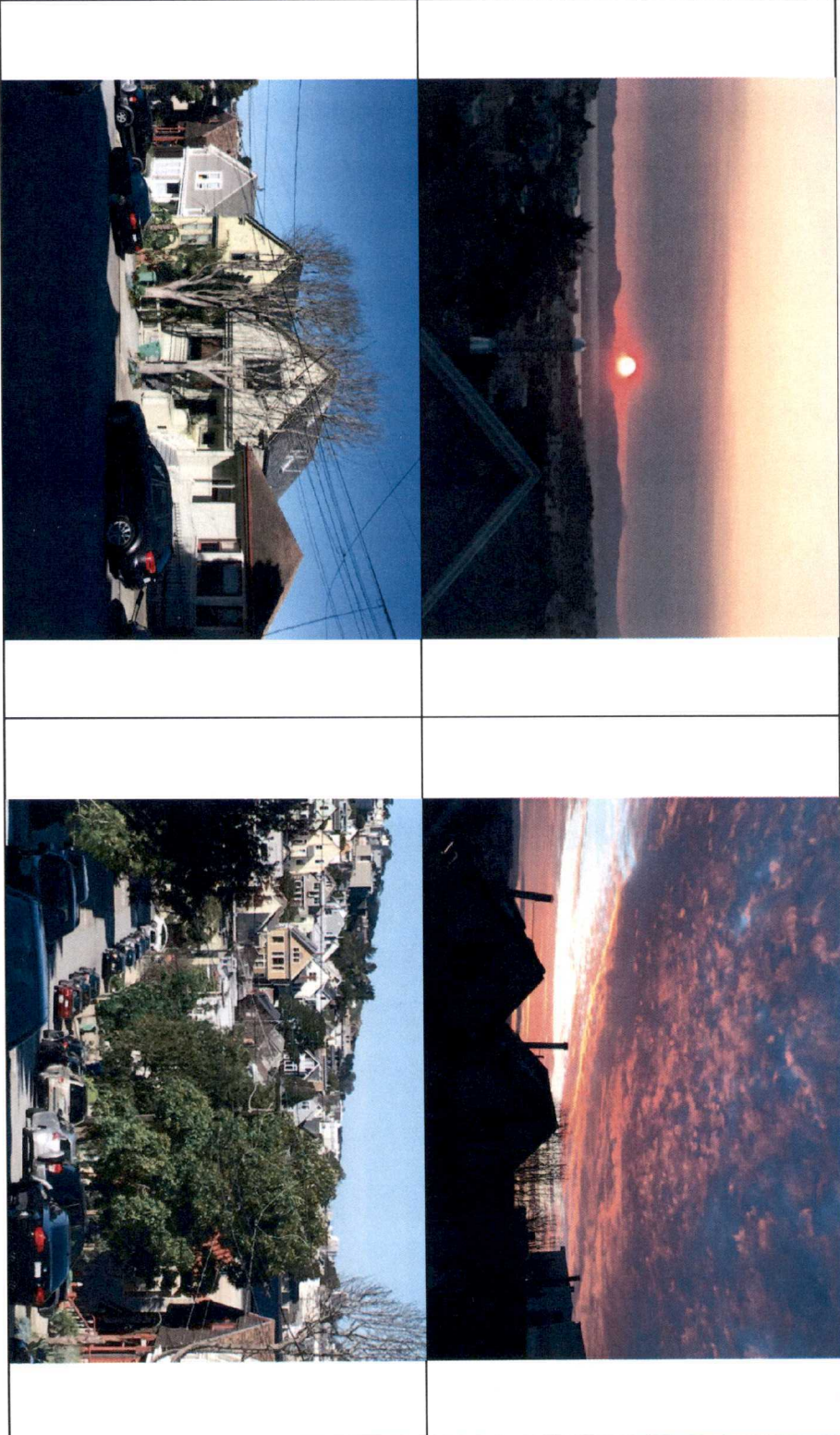
This project should be compared to the approved project that is under way, with neighborhood support, at 55 Homestead Street. The neighbors and planner pushed that developer to scale back, to resulting in a 3550 square foot project instead of his originally proposed 4,983 square feet. This shows that a reasonable profit can be made on a reasonably sized project that is sensitive to the neighborhood.

We ask the Planning Commission to pay attention to mid-block scale and massing, as they do to curbside scale. The Board of Supervisors, Planning Commission and planners have done an excellent job protecting the curbside scale of the neighborhood. Equal diligence is needed to protect downhill neighbors from a mid-block massing precedent for walling us in and looking into our bedrooms.

#3: Preferably, this project should:

1. Expand the existing home to 3600 square feet, which is 50% larger than the typical scale on block 6503 on the SF Property Information Map, at <http://propertymap.sfplanning.org>. That reduced size is 35% larger than the Zillow square footage of the author's four-bedroom home at 70 Homestead St. and twice as large as where he grew up with five brothers and sisters.
2. Retain the existing strongly peaked roof line without interruption, without dormers, as is being done at 55 Homestead St.
3. Gain spacious ceiling heights by stepping down the hill, instead of going up. Two to four steps down from a kitchen to a family room gives a very tall ceiling.
3. Strengthen the original foundation by underpinning and gain ceiling height by moving the overfill layer from west to east.
4. Assume that the buyer of a \$7 million home will want access to the backyard. Consider a single unit plan, because an owner retained basement unit contributes nothing to affordable housing.

Steeply pitched roofs that let the light through are characteristic of downhill homes on neighborhood streets.



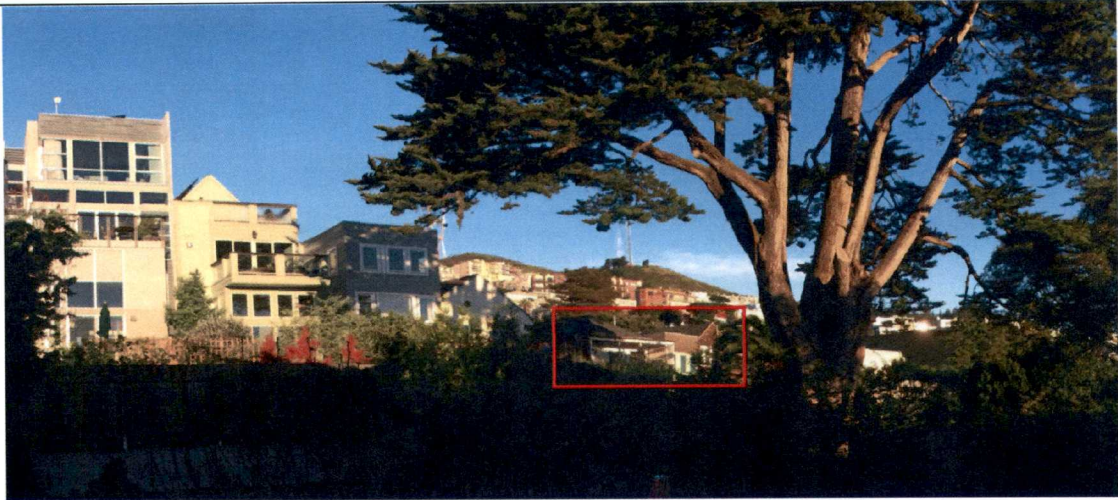
The Board of Supervisors heard neighbors' complaints about massing of this six unit project on 25th and Homestead. During the hearing, a compromise was reached for just two units at three stories over garage, flanking by two story units on both sides. The Board agreed that no precedent was set for three stories over garage in the neighborhood.



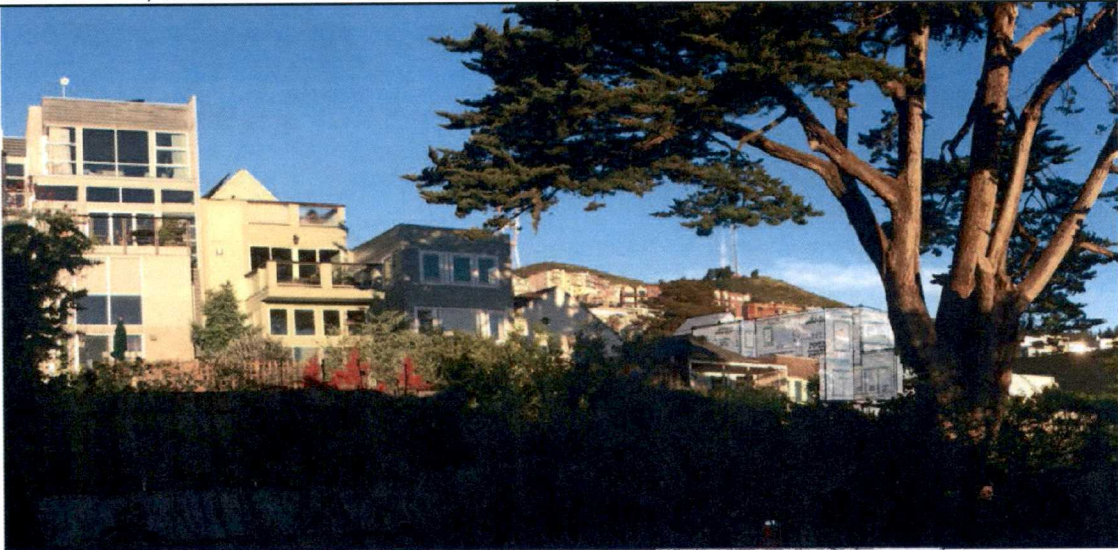
The Planning Commission followed the Board's lead and rejected, in a DR, three stories over garage at 98 Homestead.



Neighborhood Massing from Existing to a Physical, Tall Wall
(437 Hoffman right most, next to tree)

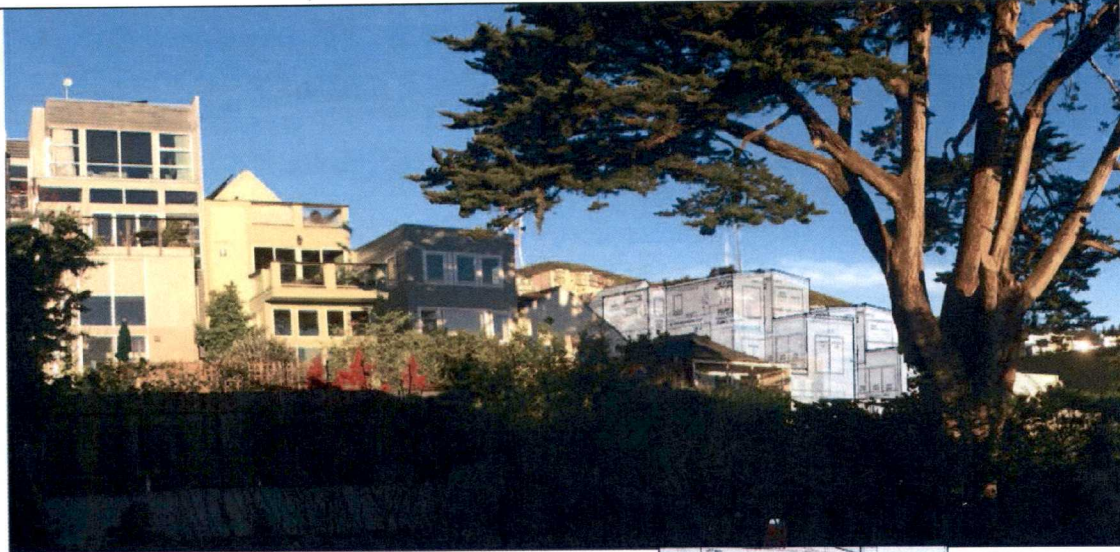


Current view, with 437 Homan about half a story taller than its flat top uphill neighbor.



The proposed project would rise above two uphill neighbors. (The bottom of our 3D model peeks out below the photo, to reveal overall vertical massing. The model is understated, as explained on page 7.)

Neighborhood Massing from Existing to a Physical, Tall Wall
(437 Hoffman right most, next to tree)



Progression of two projects with proposed 437 Hoffman scale.



Three projects with proposed 437 Hoffman scale.

Neighborhood Massing from Existing to a Physical, Tall Wall
(437 Hoffman right most, next to tree)

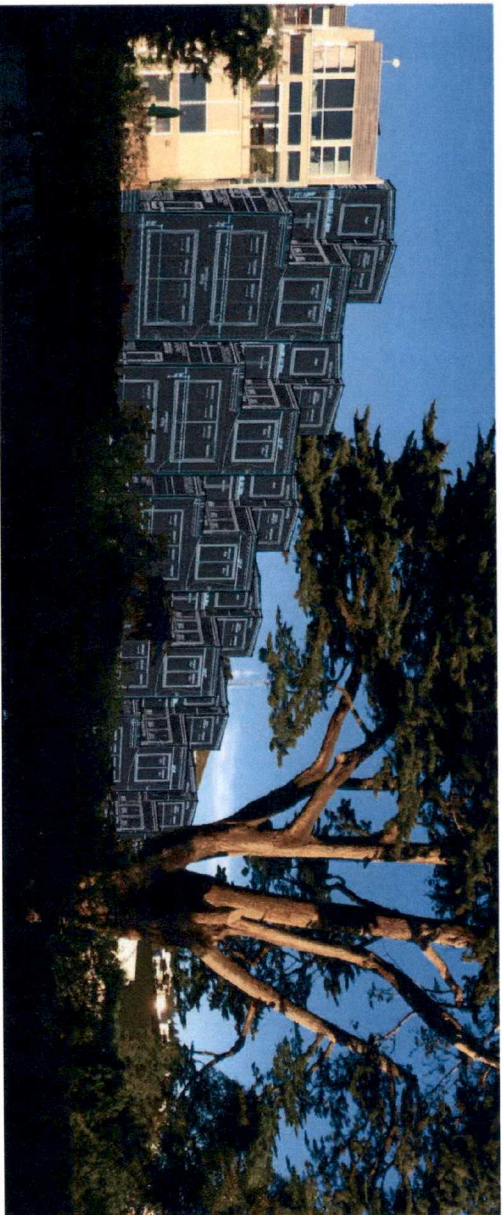
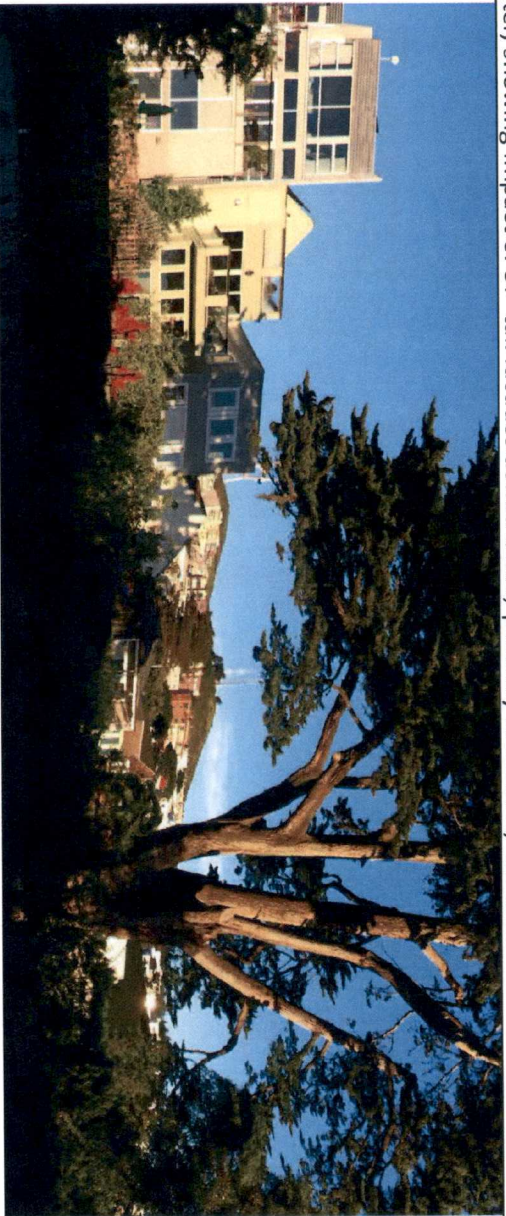


Four projects with proposed 437 Hoffman scale.

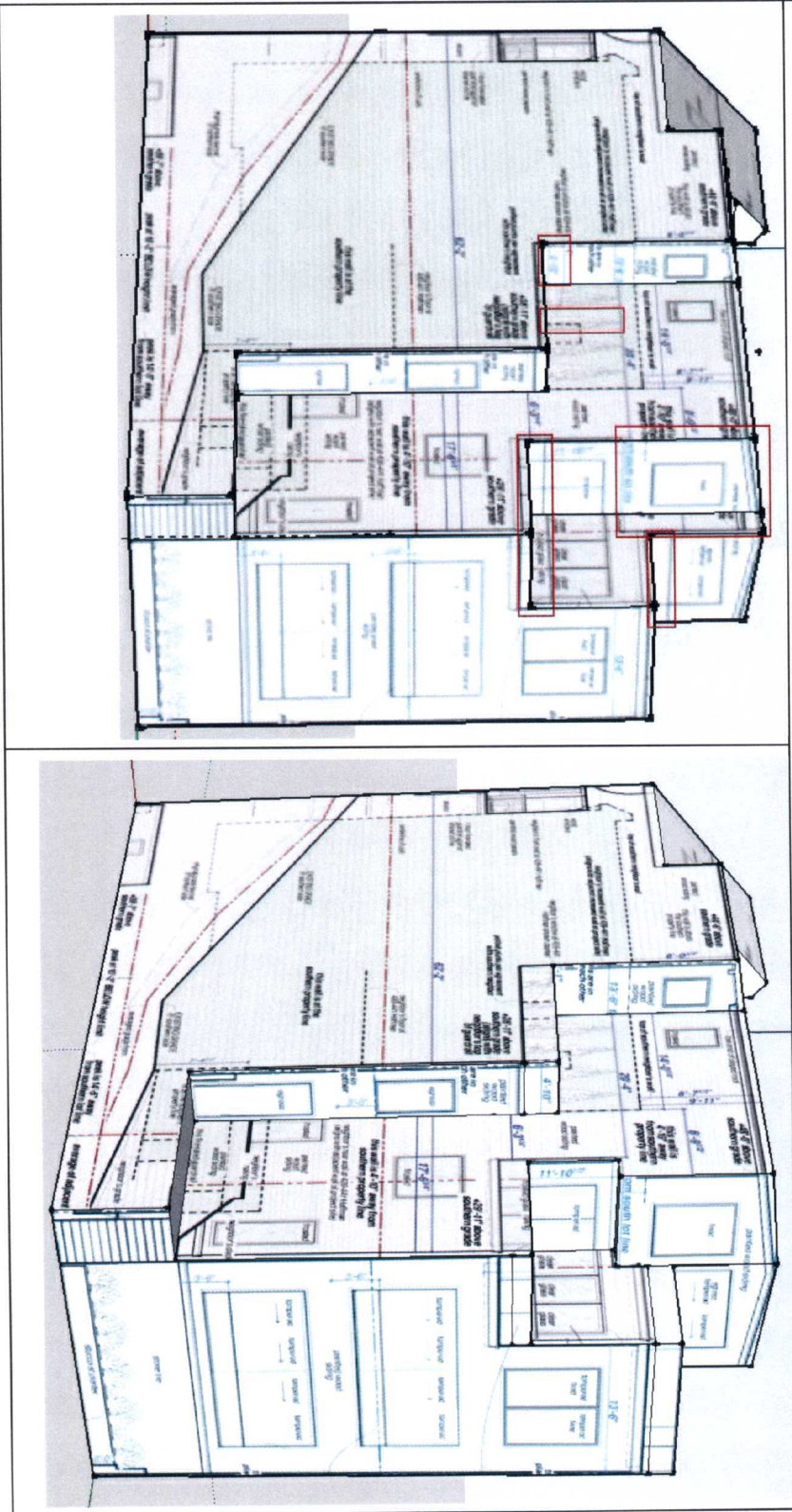


Complete infill with proposed 437 Hoffman scale.

Before and after, showing impact of 57' tall facades at mid-block, partially blocked by the tree.



The Project Sponsor suggested that she found some discrepancies between her renderings and ours, but didn't say what they were before we completed this document. We found five mistakes, all of which understated the massing of the project. Our original model, used in these photos, is on the left with misinterpretations in red. The misinterpretations are three rails that are not projected to where they belong, a cantilevered part of the top floor, and four trees. Our revised model, on the right, corrects the missing rails and cantilevered part. The trees still omitted.

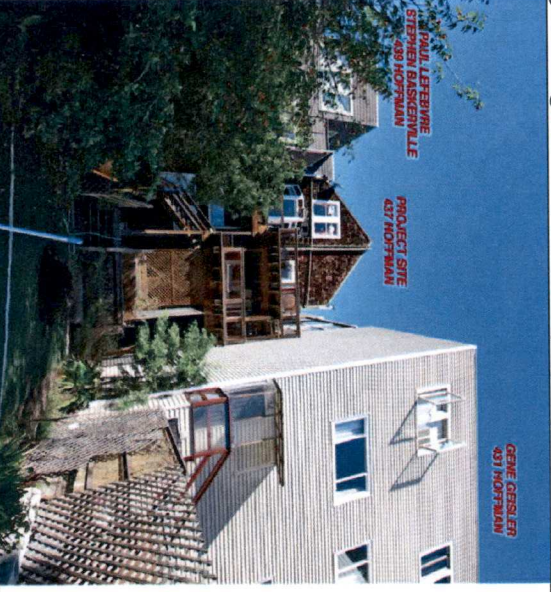
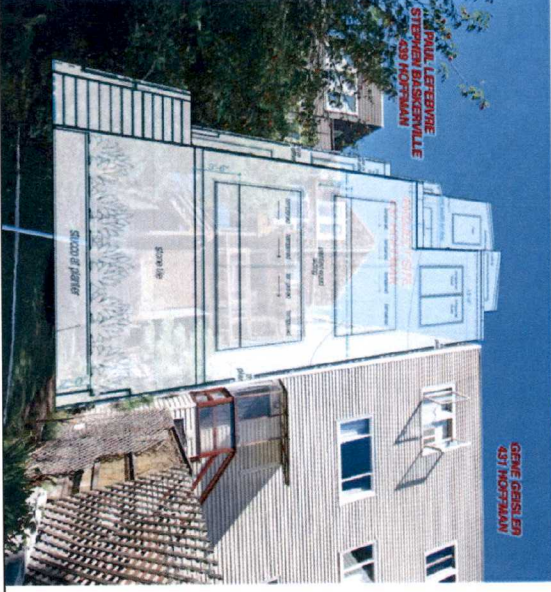




Existing massing from deck of 42 Homestead



Proposed project



| | |
|---|---|
| <p>Existing massing from 437 Hoffman property line</p>  | <p>Proposed project – balcony railings understated</p>  |
| <p>Existing massing from 39 Homestead Street sidewalk</p>  | <p>The proposed project rises above Homestead homes!!</p>  |

One bad mistake was made in 2005, before the RDT approach was adopted. Neighbors call the result "The Bunker". Don't repeat it.



55 Homestead Street, an ongoing project, just 200 feet to the ESE, shows that developers, planners and neighbors can work together to produce a profitable project that is sensitive to the neighborhood context.

BEFORE working with neighbors



Neighborhood supported



AREA CALCULATIONS

EXISTING (TO BE DEMOLISHED) GROSS S.F.

| | |
|--------------|-------------------|
| 1ST FLOOR | 965 S.F. |
| 2ND FLOOR | 911 S.F. |
| ATTIC | 205 S.F. |
| TOTAL | 2,081 S.F. |

| PROPOSED | NET FLOOR AREA | GROSS FLOOR AREA |
|--------------|-------------------|-------------------|
| BASEMENT | 922 S.F. | 1,078 S.F. |
| 1ST FLOOR | 844 S.F. | 977 S.F. |
| 2ND FLOOR | 1,255 S.F. | 1,345 S.F. |
| 3RD FLOOR | 964 S.F. | 880 S.F. |
| TOTAL | 3,718 S.F. | 4,280 S.F. |

| | | |
|--------|----------|----------|
| GARAGE | 654 S.F. | 723 S.F. |
|--------|----------|----------|

We proposed 3200 sq. ft. instead of 4983 sq. ft. The final plan was closed to what we suggested, scaled back by a 58' x 25' floor third story, leaving about **3550 sq. ft.** Dormers were eliminated, leaving a strongly peaked roof from front and back.



Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: Ernest J. Beffel, Jr.

Date: March 16, 2017

Print name, and indicate whether owner, or authorized agent:

Ernest J. Beffel, Jr. (Owner)

Owner / Authorized Agent (circle one)

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: Chris Wine
by Ernest J. Bepko Jr.

Date: March 16, 2017

Print name, and indicate whether owner, or authorized agent:

Chris Wine, Owner (signed with authorization)

Owner / Authorized Agent (circle one)

Application for **Discretionary Review**

CASE NUMBER:
For Staff Use only **2015-003686 DRP-06**

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

| | | |
|--|--------------------|------------------------------|
| DR APPLICANT'S NAME: R. Gene Geisler | | |
| DR APPLICANT'S ADDRESS: 433 Hoffman Ave | ZIP CODE: 94114 | TELEPHONE: (415)695-9693 |

| | | |
|--|--------------------|-------------------------------|
| PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Kelly Condon | | |
| ADDRESS: 443 Joost Ave | ZIP CODE: 94127 | TELEPHONE: (415) 240-8328 |

| | | |
|---|--------------------|-------------------------------|
| CONTACT FOR DR APPLICATION: Same as Above <input type="checkbox"/> Stephen M. Williams | | |
| ADDRESS: 1934 Divisadero Street | ZIP CODE: 94115 | TELEPHONE: (415) 292-3656 |
| E-MAIL ADDRESS: smw@stevewilliamsllaw.com | | |

2. Location and Classification

| | |
|--|--------------------|
| STREET ADDRESS OF PROJECT: 437 Hoffman Avenue | ZIP CODE: 94114 |
| CROSS STREETS: 24th Street & 25th Street | |

| | | | | |
|------------------------------------|-----------------------------|---------------------------|--------------------------|-------------------------------|
| ASSESSOR'S BLOCK/LOT: 6503 /024 | LOT DIMENSIONS: 27'x125' | LOT AREA (SQ FT): 3375 | ZONING DISTRICT: RH-2 | HEIGHT/BULK DISTRICT: 40-X |
|------------------------------------|-----------------------------|---------------------------|--------------------------|-------------------------------|

3. Project Description

Please check all that apply

Change of Use Change of Hours New Construction Alterations Demolition Other

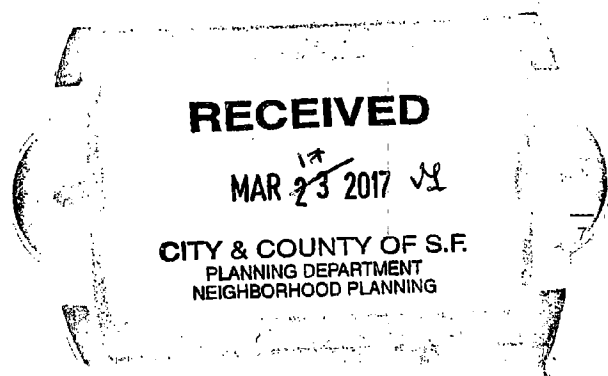
Additions to Building: Rear Front Height Side Yard

Present or Previous Use: Single Family Dwelling (Previous two-family dwelling - merger granted 2008)

Proposed Use: Two Family Dwelling

Building Permit Application No. 2014.0411.3029

Date Filed: April 11, 2014



4. Actions Prior to a Discretionary Review Request

| Prior Action | YES | NO |
|---|-------------------------------------|-------------------------------------|
| Have you discussed this project with the permit applicant? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Did you discuss the project with the Planning Department permit review planner? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Did you participate in outside mediation on this case? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

After lengthy proceedings before the Planning Commission last year, the Commission agreed with the neighbors and requested numerous changes to the Proposal. The most recent plan set received by the DR requester does not incorporate the changes requested the Commission.

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

See Attachment

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

See Attachment

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

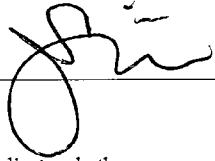
See Attachment

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: _____



Date: _____

03/17/17

Print name, and indicate whether owner, or authorized agent:

Stephen M. Williams

Owner / Authorized Agent (circle one)

Attachment to Discretionary Review Application

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the Project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific sections of the Residential Design Guidelines.

The proposal presents extraordinary and exceptional circumstances due to the removal of existing currently occupied, affordable rental housing in favor of luxury housing which will further displace long-term San Franciscans. Furthermore, the two units proposed are not nearly equal. One unit has two balconies, three stories and some 3292 square feet of living space. The other unit is shoehorned into the basement of the building, underneath the garage and other unit, and amounts to less than half the size of the other unit with 1487 square feet of living space. These units are not equal, and this is surely not what the Planning Department had in mind when it approved the multi-unit use of the building. Allowing this unequal unit development at a time when there is a housing crisis in the City is an extraordinary and exceptional circumstance in and of itself.

In addition the proposal presents extraordinary and exceptional circumstances due to the failure of the Project Sponsors to comply with any of the Planning Commission's instructions received during the June 30, 2016 hearing, which was the last time this Project came before the Commission. At the June 30, 2016 hearing, the Commission gave general and specific instructions to the Project Sponsors for modifying the Project in a way that the Commission would find acceptable.

The Commission's general instruction to the Sponsor was to work with the neighbors and to work with the topography of the site to design a project that fits in with the site and with the neighboring buildings. Specifically the Commission urged the Sponsors to do the following: (1) maintain the breezeway between the Project and DR Requester's north adjacent property; (2) save the existing tree; (3) eliminate the proposed insertion of a new garage so as to reduce the addition of mass at the rear; (4) reduce the height and continue the peaked roof as it is all the way back to allow sunlight to adjacent buildings; (5) reduce the size and/or eliminate the terraces; (6) "step down" the building with the others at the rear and on the street-scape; (7) retain the façade and more of the building to avoid a demolition; and, (8) use the Residential Design Guidelines to reduce and shape the proposal to fit the neighboring buildings and topography.

The Sponsors refused to meet with the neighbors to discuss the new project, preferring to simply "present" a new project after it was completed without neighborhood input. After receiving multiple continuances delaying for 9 months, the Sponsors withdrew their Conditional Use Application On January 19, 2017, and indicated that they would start over with "new" project. The Commission Meeting Minutes (excerpt attached as Exhibit 1) from the January 19, 2017 recorded in great detail that the Commission's concerns regarding the Project, going to far as to quote the eight (8) June 30, 2016 "Planning Commission Directives" listed above. Despite this incredibly clear statement of the Commission's expectations Sponsors are back again attempting to jam through another project design on the same Building Permit Application Number (thus avoiding the hassle of a pre-application meeting).

The proposal now presented amounts to the Sponsors thumbing their nose at the previous instructions from the Commission. The new proposal: (1) does not maintain the breezeway between DR Requester's property and the Project Property; (2) maintains the proposed two-car garage; (3) increases the height of the roof (despite being asked to reduce it); (4) maintains or adds terraces; (5) does not match the rear step-down patterns of adjacent buildings; (6) alters the front façade; and (7) in no way demonstrates that the new draft proposal employed the Residential Design Guidelines to fit the neighboring buildings and topography. While the Sponsors should receive credit for changing the proposal to maintain the existing street tree, such credit should not be sufficient to overcome the fact that that they did not comply with ANY of the other "directives" from the Commission.

Furthermore the Project Sponsors unreasonably refused the Commission's general instructions to work with the neighbors and the topography to design a project which fits with the neighborhood and site geography. The neighbors, and their representative, attempted to arrange a meeting with Project Sponsors, but sponsor rebuffed and eventually ignored repeated attempts to schedule such a meeting.

In addition to flouting the specific instructions of the Commission, the Proposed Project conflicts with numerous provisions in the Residential Design Guidelines (RDG). Specifically the Proposed Project conflicts with RDG at pg 11, because the proposal (despite specific comments from the Planning Commission) does not respect the topography of the site or the surrounding area; and because the proposal is placed on its site in a way which does not respond to the placement of surrounding buildings. This is because the proposal's dramatically increased building massing, and height will block the views of uphill neighbors, and mid block air and light. The Project is still taller than the uphill building next door.

The proposal also conflicts with the RDG at pg 15. The proposal does not respect the existing pattern of side spacing because it eliminates the existing breezeway between the proposal and DR Requester's adjacent property.

The proposal also conflicts with the RDG at pg 16-17. The proposal is not articulated to minimize impacts to light or privacy to adjacent properties; again because it fails to preserve the existing breezeway, blocks views of uphill neighbors, expands the existing building envelope massively into the back yard, and implements a huge wall of windows facing into the rear yard.

The Proposal conflicts with the RDGs at pg 23. The proposal is not compatible with the existing scale of height and depth at either the street or the mid-block open spaces; again because its increased height blocks views of uphill neighbors, and because it expands the existing building envelope massively into the back yard.

The proposal also conflicts with the RDGs at pg 28-30. The proposed building's proportions are not compatible with those found on surrounding buildings. This is clear from the proposal's increase of the envelope of the existing building and the increase in height. Furthermore the elimination of the existing breezeway demonstrates this conflict conclusively. Breezeways are effectively setbacks of the proportions of buildings from their property lines. The pattern of proportions of surrounding buildings is therefore defined by existing pattern of breezeways,

which are voluntary limits on the proportion of buildings. Therefore in eliminating an existing breezeway, the proposal violates the RDGs by implementing proportions which are not compatible with the surrounding buildings.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe you property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

DR Requester and all adjacent and most surrounding neighbors will be adversely effected by the proposal due to a number of factors. DR Requester in particular has a small apartment next door to the north which will lose nearly all direct sunlight due to the overly large and looming proposal. This is purpose of maintaining the breezeway, to allow light to reach the apartment next door.

Furthermore, the Project will implement a curb cut, reducing available parking at the same time that it increases the number of families on the block. Of the fifteen (15) houses on the block, only six (6) have garages currently. This means that street parking on this block is a major premium. The Project proposes to implement a two car garage to serve two dwellings, while removing one street space. This means that proposal contemplates adding potentially 4 cars, and only one space to the total on the block. Therefore the neighbors can expect their property values to be diminished just like their parking opportunities. The garage is not need as the neighborhood has a walk score of 82.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

DR Requester and the other neighbors have been quite consistent in requesting the following changes which are based on the comments of the Commission during the June 30, 2016 hearing: (1) maintain the breezeway between DR Requester's property and the Project; (2) eliminate the garage so as to reduce the addition of mass at the rear; (3) reduce the height and continue the peaked roof as it is all the way back to allow sunlight to adjacent buildings; (4) reduce the size and/or eliminate the terraces; (5) "step down" the building with the others at the rear and on the street-scape; (6) retain the façade and more of the building to avoid a demolition; and, (7) use the Residential Design Guidelines to reduce and shape the proposal to fit the neighboring buildings and topography. These changes were good enough for the Commissioners and they are good enough for DR Requester and his neighbors.

Exhibit 1: Excerpt of January 19, 2017 Planning Commission Meeting Minutes

Planning Department

Planning Commission - January 19, 2017 - Minutes

Meeting Date:

Location:

United States

SAN FRANCISCO PLANNING COMMISSION

Meeting Minutes

Commission Chambers, Room 400
City Hall, 1 Dr. Carlton B. Goodlett Place
San Francisco, CA 94102-4689

Thursday, January 19, 2017

12:00 p.m.
Regular Meeting

COMMISSIONERS PRESENT: Richards, Hills, Johnson, Koppel, Melgar Moore

COMMISSIONER ABSENT: Fong

THE MEETING WAS CALLED TO ORDER BY PRESIDENT FONG AT 12:08 P.M.

STAFF IN ATTENDANCE: John Rahaim – Planning Director, Stephanie Skangos, Michael Christensen, Susan Exline, Wade Wietgreffe, Diego Sanchez, Rich Sucre, Jeffrey Speirs, Christopher May, and Jonas P. Ionin – Commission Secretary

SPEAKER KEY:

+ indicates a speaker in support of an item;

- indicates a speaker in opposition to an item; and

= indicates a neutral speaker or a speaker who did not indicate support or opposition

A. CONSIDERATION OF ITEMS PROPOSED FOR CONTINUANCE

The Commission will consider a request for continuance to a later date. The Commission may choose to continue the item to the date proposed below, to continue the item to another date, or to hear the item on this calendar.

1. 2015-008674CUA (C. MAY: (415) 575-9087)

325 29th AVENUE - west side, between Clement Street and California Street, Lot 006 in Assessor's Block 1404 (District 1) - Request for **Conditional Use Authorization** pursuant to Planning Code Sections 303 and 317 to demolish an existing one-story, single-family dwelling and construct a new four-story, 2-unit building within a RH-2 (Residential – House, Two-Family) Zoning District and 40-X Height and Bulk District. This action constitutes the

Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.

Preliminary Recommendation: Approve with Conditions

(Continued from Regular Meeting of October 20, 2016)

(Proposed for Continuance to March 9, 2017)

SPEAKERS: None

ACTION: Continued to March 9, 2017

AYES: Fong, Richards, Hillis, Johnson, Koppel, Melgar, Moore

2. 2015-006815DRP (A. KIRBY: (415) 575-9133)

813 LYON STREET - west side of Lyon Street between Golden Gate Avenue and Turk Street; Lot 005 in Assessor's Block 1150 (District 2) - Request for **Discretionary Review** of Building Permit Application No. 2015.05.07.5705, proposing the construction of a two-story vertical addition and horizontal expansion to accommodate two new dwelling units within a RH-3 (Residential, House, Three-Family) Zoning District and 40-X Height and Bulk District. This action constitutes the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.

Staff Analysis: Abbreviated Discretionary Review

Preliminary Recommendation: Do Not Take Discretionary Review and Approve

(Continued from Regular Meeting of October 20, 2016)

WITHDRAWN

3. 2015-003686CUA (N. TRAN: (415) 575-9174)

437 HOFFMAN AVENUE - east side of Hoffman Avenue, between 24th and 25th Streets, Lot 024 in Assessor's Block 6503 (District 8) - Request for **Conditional Use Authorization** pursuant to Planning Code Sections 303 and 317 (tantamount to demolition), for a project proposing to demolish an existing three-story over basement, single-family residence and construct additions to create a three-story over basement building with two dwelling units. Exterior changes such as raising the structure ~6 feet for a new garage door, front porch, entry

stairs, rear terrace/deck as well as extensive interior remodeling are also proposed. The subject property is located within a RH-2 (Residential-House, Two-Family) Zoning District and 40-X Height and Bulk District. This action constitutes the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.

Preliminary Recommendation: Approve with Conditions

(Continued from Regular Meeting of October 20, 2016)

WITHDRAWN

SPEAKERS: Janet Fowler (submitted):

The Project Sponsor has had four months to revise the project and implement the June 30, 2016 Commission directives. In light of the directives, and also with respect and concern for the process, I am rewriting the staff memo to better state the facts:

Here's what I think would be a more fitting Staff Memo:

Since the June 30, 2016 hearing, the Project was revised to keep the New Zealand Christmas Tree, the garage was moved to the south side instead of being eliminated, the building will be lifted higher so that height of the building will be increased rather than reduced, part of the western breezeway will be retained for light in the lower unit, and there was chipping away net to the northerly neighbor at the rear to reduce the overall demolition stats thereby reducing some massing around the northerly property's windows and service stairwell that does not address the elimination of sunshine to this neighbor. The roof, after the first 15 feet from the facade, is minimally sloped and, with the building's increased overall height, it further enhances the loss of sunshine to the northerly neighbor and enhances the loss of privacy to both the northerly and southerly neighbors. In addition, the Project has been revised to encourage cooperation between unit dwellers by providing upper-unit access to the rear via the lower unit. The Project has also been revised to accentuate the incongruence of its excessive height in comparison to the neighboring homes and from the street view and to ensure the incongruity with the character of the neighborhood.

June 30, 2016 Planning Commission Directives:

- 1) maintain the breezeway between Mr. Geisler's property and the project
- 2) save the existing tree
- 3) eliminate the garage so as to reduce the addition of mass at the rear;
- 4) reduce the height and continue the peaked roof as it is all the way back to allow sunlight to adjacent buildings;
- 5) reduce the size and/or eliminate the terraces;

- 6) "step down" the building with the other at the rear and on the street scape;
- 7) retain the façade and more of the building to avoid a demolition; and,
- 8) abide the Residential Design Guidelines to reduce and shape the proposal to fit the neighboring buildings and topography.

Commissioner Moore:

"So I move that we continue the project and look for the architect to work with the Planning Department and with adjoining neighbors."

Georgia Schuttish:

This project at 437 Hoffman has had a great many twists and turns. Three DR requestors, all immediate neighbors to the project filed their DR over a year ago.

The project was changed to a CUA at the Sponsor's request. Two hearings were continued in the Spring of 2016.

On June 30, 2016 the Commission heard the CUA and made specific directives to revise the Project.

The Commission was to review changes, on October 27, 2016, but instead Sponsor asked for an indefinite continuance which the Commission denied and set a hearing for today.

Now the project is withdrawn. A new 311 will be issued.

In order to be fair to the neighbors and most importantly the process, I am asking the Commission to grant a fee waiver to the three original DR requestors, IF they decide to file a DR.

Please consider this today and please consult with the City Attorney if you need to at the hearing today since this will be your only chance to weigh in on the withdrawal.

B. CONSENT CALENDAR

All matters listed hereunder constitute a Consent Calendar, are considered to be routine by the Planning Commission, and may be acted upon by a single roll call vote of the Commission. There will be no separate discussion of these items unless a member of the Commission, the public, or staff so requests, in which event the matter shall be removed from the Consent Calendar and considered as a separate item at this or a future hearing

4. 2016-004865CUA (S. SKANGOS: (415) 575-8731)

1101 FILLMORE STREET - west side between Turk Street and Golden Gate Avenue; Lot 002 of Assessor's Block 0755 (District 5) - Request for a **Conditional Use Authorization**, pursuant to Planning Code Sections 303(c) and 747.33A, to modify an existing AT&T

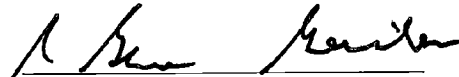
**R. Gene Geisler
433 Hoffman Ave
San Francisco, CA 94114**

March 16, 2017

To Whom It May Concern:

This will confirm that I have retained the Law Offices of Stephen M. Williams to represent my interests in a Discretionary Review Application before the Planning Department/Commission concerning the proposed project at 437 Hoffman Avenue, San Francisco, CA. I hereby authorize Stephen M. Williams and Gabriel Nevin to pursue and complete said Discretionary Review Application on my behalf.

Sincerely,


R. Gene Geisler

Application for **Discretionary Review**

CASE NUMBER For Staff Use only: **2015-003686 DRP-07**

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

| | | |
|---|--------------------|------------------------------|
| DR APPLICANT'S NAME: Paul Lefebvre and Stephen Baskerville | | |
| DR APPLICANT'S ADDRESS: 439 Hoffman Ave. | ZIP CODE: 94114 | TELEPHONE: (415) 238-0229 |

| | | |
|---|--------------------|------------------------------|
| PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Kelly Condon (Designer/Representative) for Prefero Properties LLC (Owner) | | |
| ADDRESS: 443 Joost Avenue | ZIP CODE: 94127 | TELEPHONE: (415) 240-8328 |

| | | |
|--|-----------|-------------------|
| CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/> | | |
| ADDRESS: | ZIP CODE: | TELEPHONE: () |
| E-MAIL ADDRESS: paul.lef123@gmail.com | | |

2. Location and Classification

| | |
|---|--------------------|
| STREET ADDRESS OF PROJECT: 437 Hoffman Avenue, San Francisco, CA | ZIP CODE: 94114 |
| CROSS STREETS: Between 24th and 25th Streets | |

| | | | | |
|-------------------------------------|-------------------------------|------------------------------|--------------------------|-------------------------------|
| ASSESSOR'S BLOCK/LOT: 6503 / 024 | LOT DIMENSIONS: 27' x 125' | LOT AREA (SQ. FT.): 3,375 | ZONING DISTRICT: RH-2 | HEIGHT/BULK DISTRICT: 40-X |
|-------------------------------------|-------------------------------|------------------------------|--------------------------|-------------------------------|

3. Project Description

Please check all that apply
 Change of Use Change of Hours New Construction Alterations Demolition Other

Additions to Building: Rear Front Height Side Yard
 Single-Family Dwelling (previous two-unit dwelling-merger granted 2008)

Present or Previous Use: Two-unit Dwelling

Proposed Use: 2014.0411.3029

Building Permit Application No. _____ Date Filed: April 11, 2014

RECEIVED

MAR 15 2017

CITY & COUNTY OF S.F.
 PLANNING DEPARTMENT
 NEIGHBORHOOD PLANNING

4. Actions Prior to a Discretionary Review Request

| Prior Action | YES | NO |
|---|-------------------------------------|-------------------------------------|
| Have you discussed this project with the permit applicant? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Did you discuss the project with the Planning Department permit review planner? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Did you participate in outside mediation on this case? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

Very few significant changes were made as a result of discussions and numerous meetings with the project applicant.

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

~~The exceptional and extraordinary increase in scale of the project building both in height and depth are completely unreasonable and justify the request for Discretionary Review of this project. The San Francisco Residential Design Guidelines are not adequately met. See attached document.~~

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

~~The unreasonable scale of development changes the character of the neighborhood for all of our neighbors and significantly boxes us in at the rear of our property. It also impacts us in terms of light and privacy. See attached document for more details.~~

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

~~Decrease the height of the proposed building.
Increase the side setbacks, including those at the lower two floors at 439/441 Hoffman Ave.
Decrease the depth of the proposed building to match the depth of our residence and at a minimum, limit the development to the average of adjacent neighboring building setbacks.
Scale back and terrace the rear of the building to fewer stories, to better suit the topography of the site.~~

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: *Stephen Baskerville*
Paul Lefebvre

Date: *11/11/15*
11.11.15

Print name, and indicate whether owner, or authorized agent:

Stephen Baskerville and Paul Lefebvre
 Owner Authorized Agent (circle one)

Additional Comments for Discretionary Review Application – 437 Hoffman Avenue

The plans for the building at 437 Hoffman that propose to increase the existing home's size to an entire building footprint of over 5,350 SF are clearly out of scale for the neighborhood, are not compatible with the surrounding buildings, and will significantly impact our property – we are the adjacent neighbor at 439/441 Hoffman Ave., just south of the 437 Hoffman property.

Per the San Francisco Residential Design Guidelines:

“The building scale is established primarily by its height and depth. **It is essential for a building's scale to be compatible with that of surrounding buildings**, in order to preserve the neighborhood character. **Poorly scaled buildings will seem incompatible (too large or small) and inharmonious with their surroundings.**”

From what can be seen from the plans, the following can be observed.

Excessive Building Height:

As indicated on the Proposed Southern Elevation, the proposed plans for 437 Hoffman show the following:

The front section of the building rises over 12 feet higher than 439-441 Hoffman when measured from the top of the wall at 439-441 Hoffman to the proposed top of the front roof of 437 Hoffman.

The plans also show very high ceiling heights, again demonstrating excessive scale.

At the rear of our home, where there was no structure, the proposed building towers to well over 45 feet above our lower floor level, and the building continues out further for approximately 18 feet towards the back yard. This is completely out of scale for the neighborhood and totally boxes us in.

Excessive Building Depth:

Per the San Francisco Residential Design Guidelines:

“BUILDING SCALE AT THE MID BLOCK OPEN SPACE
GUIDELINE: **Design the height and depth of the building to be compatible with the existing building scale at the mid-block open space.**”

From what can be seen from the plans the back wall of the proposed new building extends approximately 28 feet beyond 437 Hoffman's existing back wall. And, in terms of impact to our home, the proposed building surprisingly extends approximately 18 feet beyond the back wall of our home.

The depth of the proposed building should be decreased to match the depth of our home and at a minimum, the average of adjacent neighboring building setbacks would provide a more reasonable and fair limit to the development towards the back of the property, but the plans push significantly further back beyond this point.

In addition, not only is the side setback too little at a mere 4'-10" (it doesn't even meet the 5'6" width of the side terrace facing 437 Hoffman over the top story at 439-441 Hoffman) but the attempt at mitigating the development with an additional setback on the upper floors at the very rear of the proposed building falls short and does nothing to reduce the building's scale for the lower two floors, which is the entire living space of the lower unit where we reside. The scale of the building is clearly oppressive and will totally block us in.

Per the San Francisco Residential Guidelines:

"The height and depth of a building expansion into the rear yard can impact the mid-block open space. **Even when permitted by the Planning Code, building expansions into the rear yard may not be appropriate if they are uncharacteristically deep or tall**, depending on the context of the other buildings that define the mid-block open space. An out-of-scale rear yard addition can leave **surrounding residents feeling "boxed-in"** and cut-off from the mid-block open space."

In addition, we feel that the following best practices for additions extending into the rear yard from the San Francisco Residential Guidelines are not implemented in the proposed plans for 437 Hoffman.

1. "A two-story addition with a pitched roof lessens the impacts of the addition and is more in scale with the rear of the adjacent buildings."
Pitch of the roof at rear of the proposed building is on the top floor and is so minimal as to not provide any benefit.
2. "This addition has been scaled back to two stories and is set in from the side property lines to minimize its impact."
Building addition is not scaled back to two stories, nor is the building terraced back sufficiently. In addition, insufficient side setbacks are provided.

3. "This addition extends the full width of the lot but is set back at the second floor so the building steps down to the rear yard."
The addition is not set back at the second floor above grade at the rear. Note that this is the entire living space for the 439 Hoffman lower unit where we reside.
4. The rear stairs are setback from the side property line and their projection into the rear yard is minimized, in order to maintain the mid-block open space.
Insufficient setbacks are provided

Insufficient Response to Topography of the Site:

Per the San Francisco Residential Design Guidelines:

"New buildings and additions to existing **buildings cannot disregard or significantly alter the existing topography of a site.** The surrounding context guides the manner in which new structures fit into the streetscape, **particularly along slopes and hills.** This can be achieved by designing the building so it follows the topography in a manner similar to surrounding buildings."

The proposed building rises well above both neighbors and does not sufficiently follow the site's topography both in the front and at the rear of the building. We do not feel that the development plans address this issue due to the proposed building's excessive scale and height.

Loss of mid-block green space

Per the San Francisco Residential Design Guidelines:

NEIGHBORHOOD CONTEXT

• **The block pattern:** Most buildings are one piece of a larger block where buildings define the main streets, **leaving the center of the block open for rear yards and open space.**

Immediate Context: When considering the immediate context of a project, **the concern is how the proposed project relates to the adjacent buildings.**"

Our neighborhood is fortunate to have a wonderful mid-block green space that creates a shared, much cherished, peaceful environment and a wonderful haven for wildlife that is threatened by the excessive development that is planned at the rear of the property. The building of a home of this scale must clearly counter San Francisco's goal of environmental sustainability.

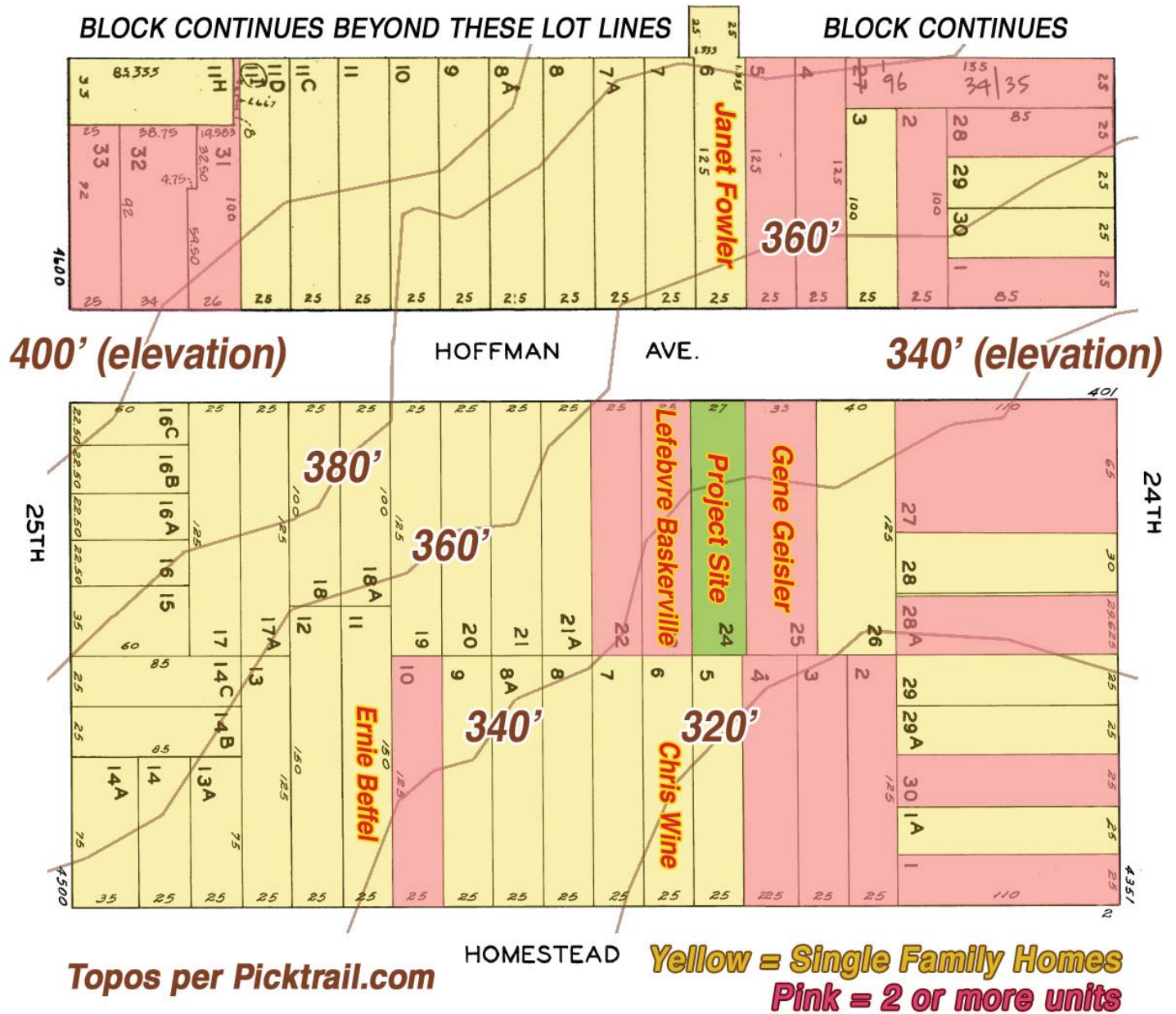
Privacy and Light

The proposed building encroaches on our building's privacy due to the small, insufficient setbacks and **large number and size of windows that would face our home**. Even though some of these windows would be frosted, the light they would project towards our building in the evening and at night would impact us.

In addition, although there are currently no decks that extend off the bottom two floors, the wide sliding windows placed on both of these floors could be easily replaced with sliding doors and strongly encourage future decks to be located here.

437 HOFFMAN AVENUE
Project Sponsor's Package

RH-2 ZONING APPLICATION & TOPOGRAPHY ANALYSIS



Under-Developed RH-2 zone:

In the map above – the lots colored yellow are lots that contain single family houses per the Assessor’s data. The lots colored pink lots are lots that contain 2 or more units. **There are 67 lots shown above. Only 20 of them contain buildings that meet the RH-2 zoning standard (some of the 20 have more than 2 units).** This entire neighborhood is zoned RH-2 for 2 unit buildings. Most of the lots are underdeveloped.

Assessor’s Data – Averaged Building Sizes & Number of Stories:

The neighbors have used the Assessor’s data to calculate average unit sizes for the area shown on the map above. The Assessor rarely includes ground stories in their assessment of a building’s size & they often skip levels that are entirely above grade just because the ground level of the subject building has a garage.

When the neighbors who are contesting this project compare average square footage of buildings / units in this area to the square footage of our proposed building – they use the entire square footage of our proposed building (including garage /

ground & basement stories) & they they exclude their own garage / ground & basements levels from the count.

For ALL of the DR filers – the Assessor has skipped 1 to 2 lower stories.

If we are counting the basement at the project building as square footage contributing to building / unit size – we have to evaluate the neighbor's buildings the same way.

An analysis of Assessor data for the lots shown in the map above reveals that only 12 of the 68 lots shown are listed with the inclusion of all stories visible from the street (sometimes they're even missing 2 visible stories).

Only 9 of the 44 buildings on the subject block are assessed including all stories visible from the street.

The following is a list of extrapolated square footage for the buildings belonging to the DR filers.

This method is used to try to create a more accurate comparison between the size of the living spaces of their buildings vs. the size of the living spaces of the combined units in the project building.

THE FOLLOWING EXTRAPOLATIONS DO NOT INCLUDE SPACES ASSUMED TO BE USED AS GARAGES. THIS DOES NOT EXTRAPOLATE BY UNIT FOR THE 2 BUILDINGS THAT CONTAIN 2 OR MORE UNITS BECAUSE THE DISTRIBUTION OF INTERIOR SPACE BETWEEN UNITS IN THOSE BUILDINGS IS NOT KNOWN.

D.R. FILER – ERNIE BEFFEL – SINGLE FAMILY HOME

The Assessor says Ernie Beffel's house is 2563 s.f. & 2 stories tall. Ernie's lot is 25' x 150' deep & Ernie's house appears to be +/-74' deep. Ernie's house is 3 stories tall at the street face & 2 at stories tall at the rear. Ernie has a garage. An extrapolation of that information is that Ernie's living space is **+/- 3700 s.f. (not including the garage or any other spaces on the first level).**

D.R. FILER – CHRIS WINE - SINGLE FAMILY HOME

The Assessor says Chris Wine's house is 1200 s.f. & only 1 story tall but his house is actually 3 stories tall at the street side and 2 stories tall at rear. Chris Wine has a permit in progress (approved by Planning & Building) to add a unit, & to create a horizontal addition 'at all 3 floors' and to create a vertical addition by raising his roof 3'.

Chris Wine's lot is 25' x 125'. The 1200 s.f. assessment is for one of those stories & his lower story has a garage.

An extrapolation of that information is that Chris Wine's living space is currently (pre-construction) **+/- 2400 s.f. (not including the garage or any other spaces on the first level).**

This building will be even larger once his project is completed.

D.R. FILER – JANET FOWLER – SINGLE FAMILY HOME

The Assessor says Janet Fowler's building is 1600 s.f. & only 1 story tall. Janet's house is 2 stories tall at the street. As viewed from google earth (map view) - a window is visible on her lower story at the south side (grade is highest on this side) in the last quarter of her building depth. Janet's lower story is high enough above grade to have a window into a room far behind her garage. Janet's lot is 25' x 150'. Based on google earth views - the upper story of Janet's house appears to be +/-1725 s.f. If we assume she has a 27' deep garage on the lower story (assumes garage stops at lightwells on both sides) & if we count the next 40' of building space behind the garage as living space (stops before the rear pop out & bay) – her house would be closer to **+/- 2725 s.f. (not including the garage but assuming that after 27' the garage ends & the next 40' of the building contains living space. The overall building front to rear bay projections is roughly 79' deep).**

D.R. FILER – PAUL LEFEBVRE & STEPHEN BASKERVILLE – 2 UNIT BUILDING

The Assessor says Paul Lefebvre & Stephen Baskerville's 2 unit building is 1536 s.f. & 2 stories tall.

A single story of that building is 745 s.f. The building is 3 stories tall at rear & I have visited the lowest story living space.

An extrapolation of that information is that their building is closer to **+/-2000 s.f. (no garage at this property)**

D.R. FILER – GENE GEISLER – ASSESSOR SAYS THIS IS A 2 UNIT BUILDING

The Assessor says Gene Geisler's building is 2010 s.f., has 2 units & 2 stories.

Gene's entire building is more than double that size. That square footage only accounts for one of his 3 stories.

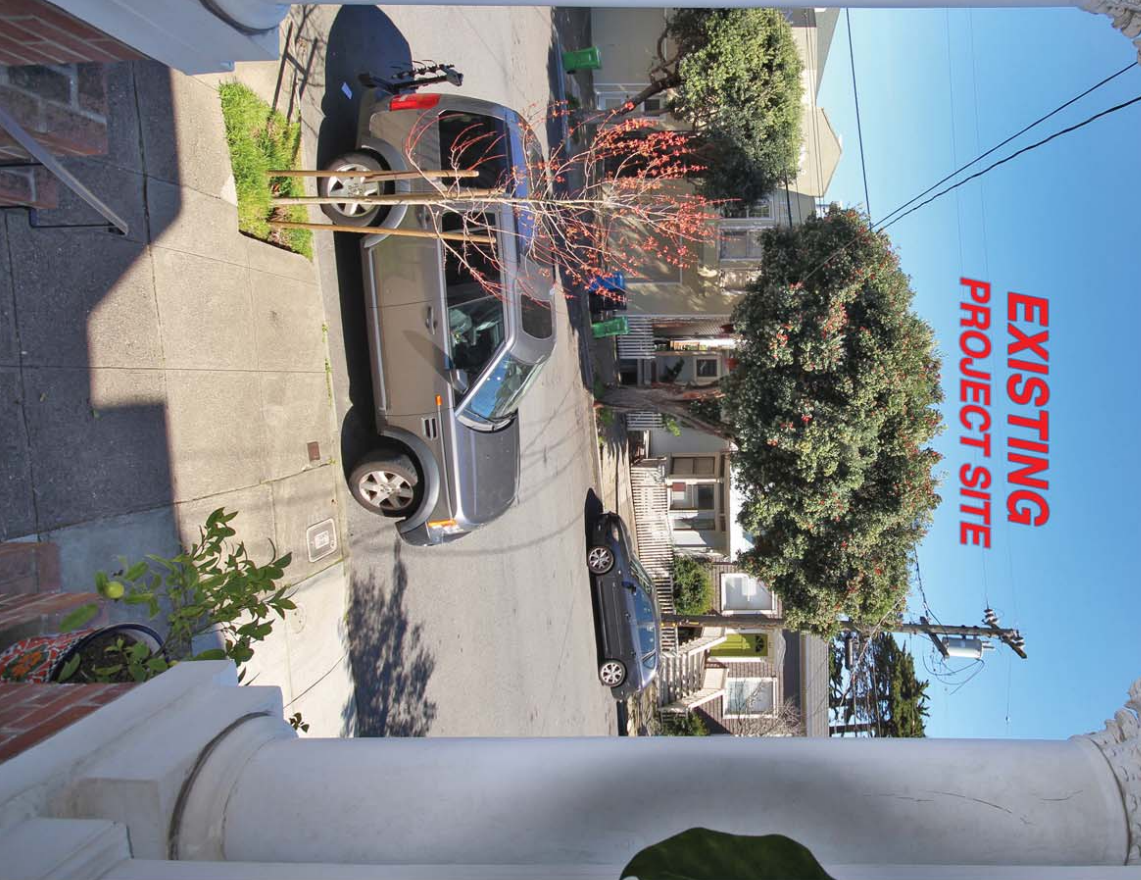
Gene's building is 2 stories at the front – but at rear it is 3 stories tall over a full height basement. Gene has 2 garages.

The basement has a standard sized door leading out to the yard at grade & we can assume that room is at least 10' deep.

An extrapolation of that information is that Gene's building is closer to **+/-4150 - 4950 s.f. (not including the garage which is assumed to be 20'-32' deep).**

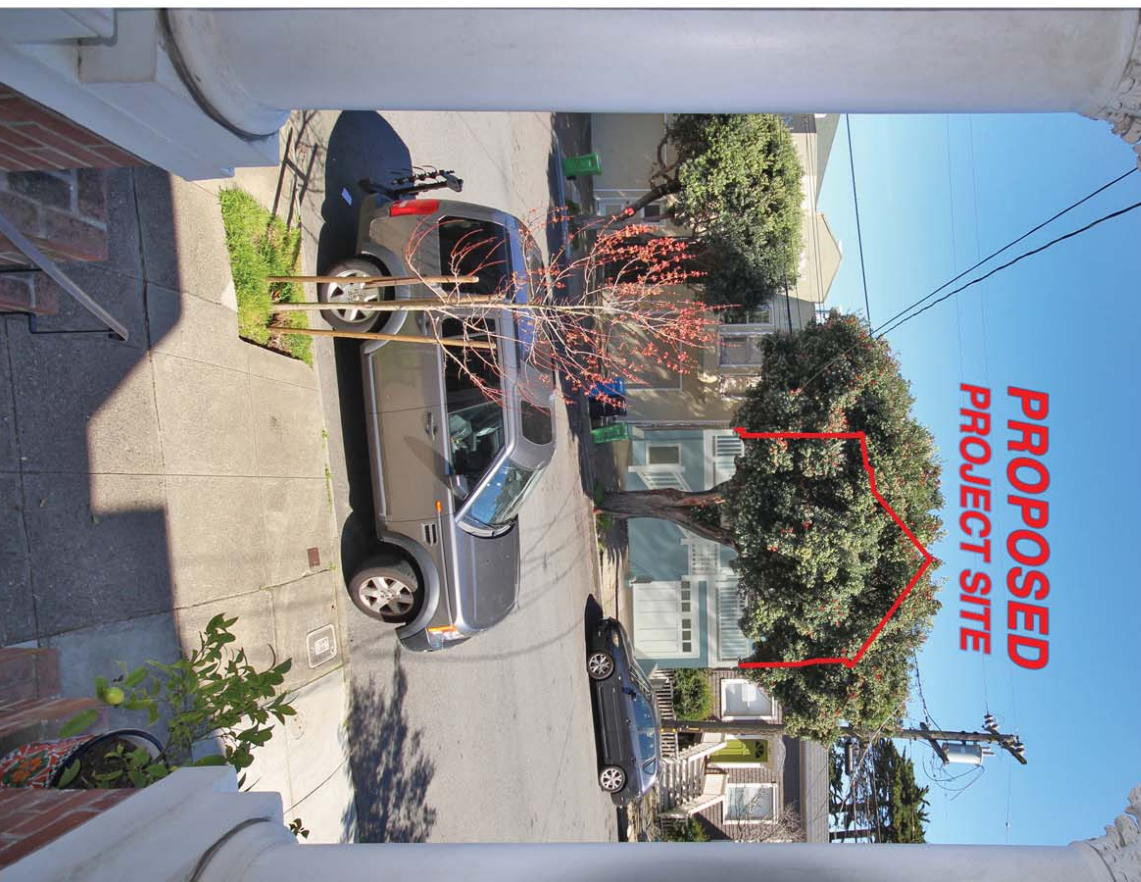
**VIEW FROM JANET FOWLER'S
SECOND LEVEL**

**EXISTING
PROJECT SITE**



**VIEW FROM JANET FOWLER'S
SECOND LEVEL**

**PROPOSED
PROJECT SITE**



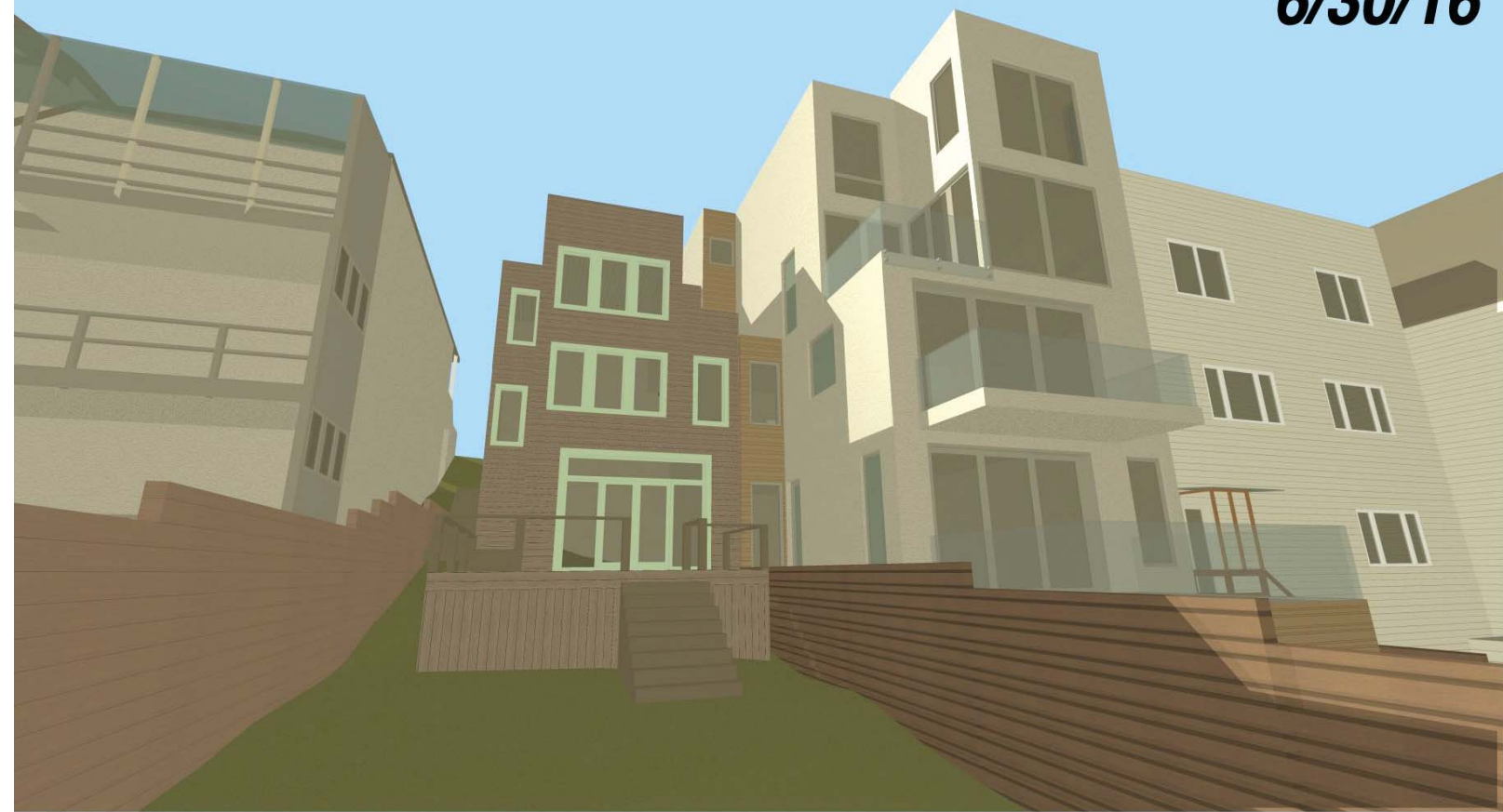
PROJECT SITE



JANET FOWLER'S DRIVEWAY



Hearing 1
6/30/16



Hearing 2
6/1/17



461 Hoffman

**455 - 457
Hoffman**

**443, 443A,
445 Hoffman**

**Paul Lefebvre
S. Baskerville
439 Hoffman**

**Existing Condition
at Project Site
437 Hoffman**

**Gene Geisler
431-433 Hoffman**





Project Site Top Story Deck Facing East



38 Homestead (Directly Behind Our Lot)



Existing View from Rear Window at 42 Homestead



Proposed View from Rear Window at 42 Homestead



Ernie Beffel's Photo From His Yard



Photo from Project Site Toward Ernie's Yard

all of these lots are 125' deep

these 3 buildings look exactly like what we're proposing at the street face

these 2 buildings look exactly like what we're proposing at the street face

150' lot these 2 lots are 125' deep

410 looks like what we propose at front

Hoffman Ave

Hoffman 482 Hoffman Ave

Hoffman 478 Hoffman Ave

Hoffman 474 Hoffman Ave

Hoffman 470 Hoffman Ave

Hoffman 471 Hoffman Ave

Hoffman 483 Hoffman Ave

Hoffman 472 Hoffman Ave

Hoffman 471 Hoffman Ave

Hoffman 465-467 Hoffman Ave

Hoffman 461 Hoffman Ave

Hoffman 455-457 Hoffman Ave

Hoffman 443-5 Hoffman Ave

Baskerville Lefebvre

Gene Geisler

Latvian Church

Janel Fowler's lot is 25' deeper than neighboring lots

Hoffman 416 Hoffman Ave

Hoffman 410 Hoffman Ave

Hoffman 404-406 Hoffman Ave

45% Setback

45% setback

these 2 lots are 150' deep

these lots are all 125' deep

rear lot lines

all of these lots are 125' deep

Ernie Bettef

Northern California Latvian Cu

Latvian Lutheran Church

Hoffman Ave

483 Hoffman

these 2 lots are 100' deep

45% Setback

475 Hoffman

471 Hoffman

465-467 Hoffman

461 Hoffman

455-457 Hoffman

443-5 Hoffman

Lebvre Baskerville

Project Site

Gene Gelsler

Latvian Church

these 2 lots are 150' deep'

Ernie Befel

all of these lots are 125' deep

rear lot lines

45% setback

Homestead St

Homestead St

Homestead St

Homestead St

Homestead St

Homestead St

Homestead St

Homestead St

Homestead St

Homestead St

Chrs Wine

437 HOFFMAN AVENUE
Project Sponsor's Package

**Concessions & Responses
to Neighbor Comments**

Changes Made Per Neighbor Comments

Changes Made per NOPDRs & per Commissioners

| | |
|---|---|
| <p>1. Per review of neighbor comments from previous homeowner's neighbor meetings - reduced massing at southern side on all stories as follows:</p> <p>-- Basement & Ground Levels: portion extending beyond neighbor's rear wall was recessed by 4'-2" (with a 12' pop out recessed 5' away on both sides)</p> <p>-- Second Level: portion extending beyond neighbor's rear wall was recessed by 4'-2" up to the line of averaged adjacent neighboring building setbacks. After that line of averages -- the massing was further reduced to 13'-3 1/2" away from the shared southern lot line</p> <p>-- Third Level: portion extending beyond neighbor's rear wall was recessed by 4'-2" up to the line of averaged adjacent neighboring building setbacks. After that line of averages -- the massing was further reduced to 12'-3" away from the shared southern lot line</p> | <p>1. NOPDRs 1 & 2 were sent to the previous homeowner with regard to their design -- which was superseded by our design. NOPDR 2 was a repeat send of NOPDR 1 so that we would have the associated comments given to the old homeowner.</p> <p>This repeated NOPDR contained only comments requesting standard graphic elements on the drawing set (ie: dimensions, show the setback lines, show adjacent buildings, show a site plan). In essence this was a request for missing information that is typically required for plan check.</p> <p>No change was made since our drawings superseded the old drawings & had all of this info from the start.</p> |
| <p>2. Per review of neighbor comments from our first neighbor meeting -- the following changes were made for the second neighbor meeting:</p> <p>-- Basement & Ground Levels: 12' pop out was reduced in height by 1 story & recessed 1' further away from southern neighbor. Second level of previously proposed 12' pop out was reduced to a floating / cantilevered balcony -- 6' away from southern neighbor & 6' deep instead of 12'. Pop out remained recessed 5' away from northern neighbor.</p> | <p>2. NOPDR 3 was a request to add dimensions, add an existing section, change the registration point of dimensions on the drawings.</p> <p>This NOPDR had no comments regarding the design of the building</p> |
| <p>3. Per review of neighbor comments from our first neighbor meeting -- the following changes were made for the second neighbor meeting:</p> <p>-- Front Facade: entire front facade was redesigned in order to eliminate the squareness of the front wall & to reduce height against neighboring buildings. The new front wall & roof over top story was designed to be sloped 4 3/4" : 1'-0" at both sides.</p> | <p>3. NOPDR 4 was a request made after our 311 notification was completed & after the DR requesters filed.</p> <p>This NOPDR required us to remove proposed dormers -- which we did. And it required us to use stucco instead of Dryvit. We changed that too.</p> |
| <p>4. Per review of continued neighbor comments regarding dislike for the modern facade we'd proposed -- the following changes were made after we'd submitted for permit:</p> <p>-- Front Facade: We decided to keep the existing front facade & to try to meet demo thresholds -- which we did. No more modern front facade.</p> | |

| Changes Made Per Neighbor Comments | Changes Made per Planning NOPDRs |
|--|---|
| <p style="text-align: center;">#6 = LAST CHANGES MADE PER COMMISSIONER REQUEST JUST BEFORE OUR FIRST HEARING ON JUNE 30TH, 2016</p> | <p>5. Per Commissioner / Planning Department request after first hearing was moved / changed to Conditional Use:</p> <p>-- Interior Layout: We added a second 1509 s.f. unit at basement level.</p> |
| | <p>6. Per Commissioner request after second hearing was moved due to other cases running over:</p> <p>-- Interior Layout: Lower Unit was increased to 2 stories @ 2464 s.f. with 2 bedrooms & Upper unit was decreased to 2643 s.f.</p> <p>-- Exterior Massing: Top story was recessed 3' away from Northern Property line starting at lightwell & continuing to rearmost wall of building</p> <p>-- Exterior Massing: Roof over addition was changed to slope. New roof shape allows for 8' ceilings at property line walls which slope up toward central peak with 10' ceiling at Master Bedroom</p> |
| <p>7. Flipped Plan at Garage Level to Save the Existing Street Tree per request of Janet Fowler made at June 30th hearing</p> | <p style="text-align: center;">CHANGES / CONCESSIONS POST 1ST HEARING PER ADVICE OF COMMISSION & NEIGHBORS</p> |
| <p>8. Reduced Mass at Top Story at Rear by 9'3 ¼" (away from rear lot line). New rearmost wall at top story aligns with Average of Adjacent Neighboring Building Depths.</p> | |
| <p>9. Reduced ALL rearmost walls to align with northern neighbor's rearmost walls. At Basement, First & Second levels this was an 8 ¼" reduction. Top story reduced more per #8</p> | |
| <p>10. Enlarged Lightwell in front to back direction by 4'-10 ¼" on west end of Second & Third Levels. Lightwell is open ended at rear. Rearmost wall at Top story ends 9'-6 ¼" before Neighbor's building ends.</p> | |
| <p>11. Removed 12' x 16' Basement Terrace over Crawl Space.</p> | |
| <p>12. Removed 6' x 16' Floating Balcony at 1st Story Rear</p> | |
| <p>13. Reduced Lower Unit to 1 story tall at Basement per Kathrin Moore's comment (too big to be Affordable). Made sure bedroom wasn't under Garage per Kathrin Moore's comment</p> | |

| Changes Made Per Neighbor Comments | |
|--|---|
| <p>14. Reduced Mass at Top Story Addition to line of Average of Adjacent Neighboring Building Setbacks</p> | <p>CHANGES / CONCESSIONS MADE POST MOST RECENT NEIGHBOR MEETING (DEC. 7, 2016)</p> |
| <p>13. Reduced Mass at Second Story Rear Room (was Kitchen – is now Dining Room) to recess away from Southern Neighbor. New Mass is now 13'-6" away from shared southern lot line.</p> | |
| <p>14. Recessed 8" more away from Southern neighbor at Wall Closest to shared lot line. Those Walls are now 4'-10" away from this neighbor.</p> | |
| <p>15. Pulled Rearmost Walls back 8 ¾" from 45% setback line (to match northern neighbor).</p> | |
| <p>16. Attempted to add Potted Plants at 2nd Story on South Side Roof over First Story to soften wall appearance at that story per Southern Neighbor's request. We drew this, emailed it to the neighbor & offered to let them pick the plants. They refused & told us the plants would die because no one would water them – so this concession was never completed.</p> | |
| <p>17. Added Planter along base of Rearmost Wall at Basement Level per Southern Neighbor's request (he was concerned that a future addition will go there if we do not invest into a feature in this area specifically as a deterrent to future additions.</p> | |
| <p>18. Changed Sliding Doors at Basement & 1st Level to windows with 18" high sills & reduced size of glazing at these doors</p> | |

Neighbor's List of Changes to Avoid DR & Our Responses **(summarized from lists provided by Stephen Williams, Janet Fowler, Paul Lefebvre & Stephen Baskerville)**

PROJECT INFORMATION

Permit Application #: 2014-0411-3029
Job Address: 437 Hoffman Ave

CONTACT INFORMATION:

Kelly Condon Design: 415-240-8328
kellymcondon@gmail.com

1. ELIMINATE THE 3RD STORY.

The 3rd story is existing and we are not trying to demolish the building.

2. ELIMINATE THE GARAGE.

This is not a concession. This is a deal breaker.

There are 7 buildings on the east side of this block of Hoffman Ave that have garages.

There are 9 on the east side that do not.

There are 18 buildings on the west side of Hoffman Ave (100% of the buildings on that side) that have garages. 25 out of 34 buildings on this block on this street have garages. Why should we NOT be allowed to have one?

3. PRESERVE THE CHARACTER OF THE NEIGHBORHOOD.

The project building as designed will look almost identical to other buildings on this same block of Hoffman Ave.

These 6 buildings on this block of Hoffman Ave are of the same style as the subject building AND they all have garages: 410 Hoffman. 450 Hoffman. 456 Hoffman. 470 Hoffman. 474 Hoffman. 478 Hoffman.

The proposed building is a full story lower in height than several buildings directly across the street.

There are similar variations in height at other buildings that are adjacent to each other on both sides of Hoffman Ave.

The style of buildings on this street varies greatly. The front facade of the proposed building is one of the few that maintains an historic look.

The existing building on the subject lot is one of 3 buildings (out of 16 total) on the east side of the street that have breezeways. The majority of buildings do NOT have breezeways.

On the western side of the street (opposite side) NONE of the buildings have breezeways.

4. MAINTAIN THE ENTIRE BREEZEWAY AGAINST THE NORTHERN NEIGHBOR TO PRESERVE THEIR LIGHT.

This breezeway is neither part of neighborhood character - nor is it a matched feature.

The northern neighbor has ENCLOSED & COVERED their own lightwell directly on the shared lot line.

They have no breezeway & they have a covered enclosed lightwell that we plan to match ANYWAY.

In an attempt at further concessions for this neighbor & right before the first / CU hearing - we altered the top story lightwell to have an open end that continues all the way to the rearmost wall – so that light is less impeded than it would be by a closed lightwell condition.

SINCE the CU hearing - we have REDUCED the top story by 9'-3 3/4" in depth – which makes this condition even more open since the northern neighbor's rearmost wall continues 8'-9 1/2" BEYOND this point. At this point – they have an illegally enclosed lightwell. And we have matched it anyway. We are also more than 10' BELOW our height limit.

5. MAINTAIN THE PEAK ALL THE WAY TO THE REAR (ie. MATCH THE EXISTING PITCH)

The existing building roof peaks very steeply. The walls closest to neighbors are only 4'-1 1/2" tall on the interior – which is too low to walk under & too low to use for real closets & too low for ceiling clearance at our stairwell.

6. LOWER THE BUILDING.

The building is as low as it can be in order to accommodate a driveway without a car bottoming out. After our 2nd neighbor meeting - we opted to add a step down in the middle of the floor plan on 2 of the lower levels in order to get the rearmost floor lines of the lower levels even lower. This was when we used to have terraces on those levels. We removed both rear decks as a further concession after that hearing – they were both within standard setbacks.

7. REDUCE HEIGHT OF THE 3RD STORY CEILINGS AT ADDITION.

We have done this more than once. We started with 10' ceilings on the rear top story & reduced to 9'. Right before our CU Hearing - we were directed by Commissioner Antonini to slope the roof at rear & to have a 1' height difference from sides to center peak & did so. The walls closest to side lot lines are now 8' tall on this story. The proposed peak at rear addition is only 4'-3" taller than the existing peak as a result of raising the building to add a garage.

8. SLOPE THE ROOF EVEN MORE TO ALLOW MORE SUN TO THE NORTHERN NEIGHBOR.

See comment #3. This neighbor has illegally enclosed his lightwell. We are matching it anyway. There is no code provision for us to supply him with more than he has taken from us on this shared lot line.

9. REDUCE MASS AT THE REAR TO REDUCE 'LOSS OF PRIVACY'.

Since our first hearing we have reduced the top story by 9'-3 3/4" in depth. Since the most current neighbor meeting – we reduced the massing of the rearmost rooms of the top stories (Dining & Master Bedroom) to recess 13'-6" away from our shared southern lot line. Those walls were also reduced in depth to align with our northern neighbor's rearmost wall. All portions of the proposed building that extend beyond our southern (shallower depth) neighbor are recessed to at least 4'-10" away from the shared lot line. On the 2 upper levels of the addition – we've recessed half the building at half the lot width away from the southern neighbor (well beyond standard setbacks). Please refer to sheets A7 & A8. The windows & glass railings facing the southern side are all frosted. The windows facing north are all frosted. Both side neighbors have decks in their rear yards & the southern neighbor has a deck at their upper story that directly faces & abuts the shared lot line. The decks at our 2nd & 3rd levels provide our upper unit with required open space & are recessed away from the neighbors.

10. STEP DOWN AT THE REAR 'TO KEEP IN CHARACTER WITH THE STREETScape'.

We did step the building at the rear (top story) since the 1st hearing. None of the neighboring buildings step down at the rear – so this is not a 'character' issue.

11. REDUCE THE REARMOST WALL FOR ALL STORIES TO EXTEND NO FURTHER THAN THE LINE OF AVERAGE FOR REARMOST WALLS OF ADJACENT BUILDINGS.

The line of averages in this case occurs at 9'-6 1/4" **BEFORE** the standard 45% setback line. As designed the building is already carved well back from what is considered standard for RH-2 lots in SF. The Residential Design Team & our case planner & the head of the neighborhood quadrant all agree that this building meets Residential Design Guidelines. All of our adjacent neighbor's lots (including those behind) are 25' deeper than most standard lots in SF at 125' deep. The neighbor requesting this change is to the South of us. Our proposed building does not cast a shadow on their lot. That neighbor's lot falls under the exact same lot size, setbacks & height limitations that we have adhered to.

12. INCREASE SIDE SETBACK FROM 4'-2" TO 6'-0" AT WALLS CURRENTLY SHOWN CLOSEST TO SOUTHERN NEIGHBORING BUILDING

We looked at this & have recessed an additional 8" away from this neighbor. Which is 4'-10" away from them. We are bound by the conditions of the rear rooms at the basement level of the building which are too tight to reduce further & by the conditions at the 2nd story Kitchen which runs parallel to the stairwell.

10. ADD WALL TREATMENT AT BLANK WALL ON 2ND LEVEL FACING SOUTH

We proposed to our southern neighbor to add potted plants that will sit on the roof over the level. They refused the proposal. They also asked us to add a treatment at the rearmost wall of the basement to deter the future owner from wanting to add an addition. We have included a built-in planter there in response.

11. CHANGE SLIDING GLASS DOORS AT REARMOST WALL TO WINDOWS TO DISCOURAGE ADDITIONS BY FUTURE HOMEOWNER.

We changed these to windows.

437 HOFFMAN AVENUE
Project Sponsor's Package

**Letters of Support &
Petition in Favor of Project**

PROGRESS NOE VALLEY

NEIGHBORS WHO SAY YES

March 28, 2016

President Rodney Fong
San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

**LETTER OF SUPPORT FOR:
437 Hoffman Avenue, San Francisco, CA**

Dear President Fong, Vice President Richards, and Planning Commissioners,

ADVISORY BOARD

Daniel Camp

Michael Fasman

Dan Fingal-Surma

Laura Fingal-Surma

Jason Friedrichs

Kristy Friedrichs

Karin Payson

Progress Noe Valley values investment in our neighborhood and encourages improvements. We are a new neighborhood group more than 180 members strong that is part of the growing YIMBY — Yes In My BackYard — movement. We believe that creative solutions to managing growth in the city and region will include higher densities, and that our neighborhood should do its part.

We understand that the the proposed project at 437 Hoffman Avenue has been found to be in compliance with all relevant Planning Codes and guidelines. We trust the Planning Department's expertise in determining how to grow our city and support approval of this project.

Sincerely,

Advisory Board
Progress Noe Valley

HEALTH ADVANCES

Health Advances, LLC
9 Riverside Road
Weston, Massachusetts 02493
USA

tel: +1 781.647.3435
fax: +1 781.392.1484
www.healthadvances.com

April 5, 2016

Planning Commissioners -

I am writing in support of the project at 437 Hoffman.

My wife and I were the previous owners of the home at 437 Hoffman and had engaged the neighbors for a remodeling project similar in scope to the one the current owners are proposing.

We found the neighbors to be very uncooperative in working with our concepts, and as a result elected to sell the house rather than pursue a larger home for our family of 5.

Our design was within city standards as is the design proposed by the current owners.

We support the Planning Department's recommendation on this project & ask that you do not take DR.

Sincerely,



Vivek Mittal, PhD
Partner

Health Advances LLC
601 Montgomery Street
Suite 1850
San Francisco, CA 94111

Tel: +1 (415) 834-0800

Fax: +1 (781) 392-1484

vmittal@healthadvances.com

<http://www.healthadvances.com>

May 18, 2017

Planning Department & Commissioners,

I am writing to express my support of the remodeling project at 437 Hoffman street which includes remodel, horizontal and vertical addition of the existing single family home with an addition of a 2nd dwelling unit and a garage.

Please approve the project as proposed.

A handwritten signature in black ink, appearing to read "Michael WSO", is written over a horizontal line.

Name: MICHAEL WSO

Address: 447 HOFFMAN AVE

Date: 5/18/2017

May 9, 2017

Planning Department & Commissioners,

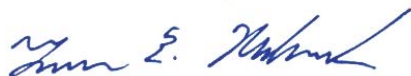
I am writing to express my support of the remodel and addition proposed at 437 Hoffman Avenue.

The project is well within the zoning standards and residential guidelines set forth by the San Francisco Planning Department and there are no extraordinary circumstances incurred by the proposal that would justifiably call those standards into question.

There are multiple properties on both sides of this block of Hoffman Avenue that have the same features being proposed by the project sponsor, in terms of height, mid block open space, light, air, and rear yard setbacks. These properties establish the character of the neighborhood & that character is honored in the proposed project.

Please approve the project as proposed.

Sincerely,

THOMAS E. MCCORMICK


June 29, 2016

Planning Commissioners –

I am writing to express my support of the remodel and addition proposed at 437 Hoffman Avenue.

The project is well within the zoning standards and residential guidelines set forth by the San Francisco Planning Department and there are no extraordinary circumstances incurred by the proposal that would justifiably call those standards into question.

There are multiple properties on both sides of this block of Hoffman Avenue that have the same features being proposed by the project sponsor, in terms of height, mid block open space, light, air, and rear yard setbacks. These properties establish the character of the neighborhood & that character is honored in the proposed project.

Please approve the project as proposed.

Sincerely,

Pamela Brown

4125 26th St. #2

San Francisco, CA 94131

Henry Karnilowicz
3762 22nd Street
San Francisco, CA 94114-3329
415.621.7533
email: occexp@aol.com

June 19, 2016

President Rodney Fong
Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re:
437 Hoffman Avenue
San Francisco
Block 6503 Lot 024
Building permit Application #201404113029

Dear President Fong,

I am a resident of Noe Valley and I am writing to you in support of the proposed addition and alterations.

The project includes the elevating of the building 6' as the ceiling levels on the first and second floors is not code complying and also by doing so will enable the adding of a garage and a second unit of approximately 1,500 SF.

The vertical addition will create a taller building than the adjacent buildings however there are numerous buildings in the area that are of equal height or taller and likewise identical massing.

I am of the opinion that the finished building will be an asset to the neighborhood and the city.

If we are to keep families in the city we need to have homes that have sufficient accommodation and with the shortage of housing the addition of the unit will contribute to alleviating the shortage.

I urge you to deny the DR and approved the project as proposed.

Sincerely

A handwritten signature in blue ink, appearing to read "H. Karnilowicz", written in a cursive style.

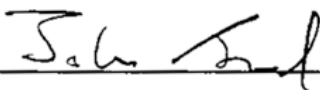
Henry Karnilowicz

May 18, 2017

Planning Department & Commissioners,

I am writing to express my support of the remodeling project at 437 Hoffman street which includes remodel, horizontal and vertical addition of the existing single family home with an addition of a 2nd dwelling unit and a garage.

Please approve the project as proposed.



Name: John Bird

Address: 901 Elizabeth

Date: 5-18-2017

THOSE IN FAVOR OF 437 HOFFMAN

About this petition

The proposed project at 437 Hoffman Ave will add a unit to an existing single family home. This neighborhood is zoned RH-2 (for 2 unit buildings). There are 44 lots on this block & 23 lots facing the project site on the opposite side of the street. Of these 67 lots, only 20 of them meet the zoning standard by providing more than one unit.

The proposed building will be 11'-9" under the height limit at front & 10'-2" under the height limit at the rear.

The proposed building is 5360 s.f. including garage & storage areas. 4780 s.f. of this is conditioned habitable space. The proposed lower unit is 1487 s.f. & the proposed upper unit is 3292 s.f. The allowable build-able area per standard setbacks built all the way to the height limit at this lot could easily contain a 9000 s.f. building per current code (ie. the proposed project is NOWHERE NEAR maxed out)

There are 6 buildings across the street on Hoffman Ave that have nearly identical features to the proposed building (Elizabethan Style with steeply pitched roof & 2 stories over Garage). 25 out of 34 buildings on the 2 sides of this block of Hoffman Ave already have garages.

Here is a link to the current drawings on file with the Planning Department:

<https://www.mediafire.com/?c65pcq5b34f4sx2>

The Planning Department is in support of this project - but it is being reviewed by the Planning Commission at an upcoming Discretionary Review Hearing.

By signing this petition - you agree that this project as proposed is reasonable & should be approved by the Planning Commission as designed.

Signatures

1. Name: KELLY CONDON on 2017-05-17 21:25:29
Comments:

2. Name: Garry Tan on 2017-05-17 21:34:54
Comments: I live in Noe Valley and support this effort. We need more housing and living space and Noe Valley NIMBYs should not be allowed to deny building for our city's future.

3. Name: Sarina Smith on 2017-05-17 21:34:55
Comments: Let sanity prevail!

4. Name: Debra Chapman on 2017-05-17 21:37:06
Comments: We need more housing and the development on this project in no will lessen the enjoyment of the neighborhood.

5. Name: Danny Sauter on 2017-05-17 21:50:02
Comments: I support this effort. Let's welcome new neighbors to San Francisco, not turn them away.

6. Name: Chad Pradmore on 2017-05-17 21:57:01
Comments: I live in Noe Valley and support this project. It should not take someone three years to add an ADU. SF needs housing.

7. Name: Kim Broadbeck on 2017-05-17 21:59:22
Comments:

8. Name: Alek Juretic on 2017-05-17 22:05:51
Comments:

9. Name: Leo Barnes on 2017-05-17 22:06:12
Comments: This sounds like a perfectly reasonable expansion. Noe Valley (and SF in general) needs more housing.

10. Name: Daniel Camp on 2017-05-17 22:23:05
Comments: San Francisco desperately needs more housing and this project is a great way to add some in a neighborhood that has not built very much.

11. Name: Erin brooks on 2017-05-17 22:50:05
Comments:

12. Name: robert Mellett on 2017-05-17 22:50:05
Comments: It seem that the project sponsee has gone out of his way to respond and correct what the neighbour s have had issues with . Enough is enough and fair is fair .

Please approve this project as set forth today.

-
13. Name: Richard Slayen on 2017-05-17 23:03:03
Comments:
-
14. Name: Dan Spencer on 2017-05-17 23:23:46
Comments:
-
15. Name: Jeff Parker on 2017-05-17 23:27:09
Comments: Looks like a great addition to the neighborhood!
-
16. Name: David Ridenhour on 2017-05-18 00:43:45
Comments:
-
17. Name: Andrea Koenig-Brown on 2017-05-18 00:50:17
Comments: As far as the photographs demonstrate, there seems to be no discernible change to the residence that will be visible from the street side of the existing tree currently blocking the view of the property. I think there is no reason not to do the proposed renovations and additions to this property.
-
18. Name: Nikki Thompson on 2017-05-18 01:03:17
Comments: I work in Architecture & Design. I have reviewed the proposal and find it to be quite reasonable and well designed. This project should be approved without hesitation.
-
19. Name: Noel Mulet on 2017-05-18 01:40:34
Comments:
-
20. Name: Deanna Surma on 2017-05-18 01:41:55
Comments: I live in the Mission and frequently visit my sister in Noe Valley. I support more housing in San Francisco. Every neighborhood needs to do it's part. We need to enable people like this to be part of the solution.
-
21. Name: Gwendolyn Cannon on 2017-05-18 02:02:41
Comments: Janet will never see this property from her house. The tree in front, blocks her whole view. If a person has a problem with a proposed property, it should directly effect their view or their property.
-
22. Name: John O'Leary on 2017-05-18 02:16:20
Comments: This is an obvious improvement to the property and neighborhood. I fully support this proposal.
-
23. Name: Robert Nothstine on 2017-05-18 02:50:38
Comments: We live in a housing crisis, and assholes who don't want anyone else to have what they have are just mean and vindictive. Adding a unit is a good thing!

-
24. Name: Ritu Vohra on 2017-05-18 05:48:26
Comments: If every one had been fighting each other from the start, San Francisco would never have been built. We should respect property rights as well as an owners desire to improve their home.
-
25. Name: Mark english on 2017-05-18 06:41:54
Comments:
-
26. Name: Kim Bowman on 2017-05-18 07:29:19
Comments: Good luck!!
-
27. Name: Gwen Essex on 2017-05-18 09:55:32
Comments:
-
28. Name: Paul Alsdorf on 2017-05-18 13:42:36
Comments: The nimbys must be stopped!
-
29. Name: Laura Beaton on 2017-05-18 14:17:31
Comments: I am a Noe Valley resident, and I believe that we need more housing in Noe Valley. Adding units to existing homes is a great way to do this. If anything, I wish this project was adding two units to the existing unit, for a total of three. I support this project, and others like it, and I believe this project should be approved as designed.
-
30. Name: Ellen Cusick on 2017-05-18 15:39:30
Comments: As a design professional and a home-owner in a major metropolitan area, I fully support this development. Density in metro areas is critical to preventing further environmental damage to our planet. Housing costs are rising in most west coast cities and more housing is needed to prevent displacement of long-time-residents. I live in Portland, OR and our housing prices have been rising steeply as people are displaced by rising housing costs in other west coast metro areas and move to Portland. Displacement in your city causes displacement in mine. Please allow this renovation to happen.
-
31. Name: Joe on 2017-05-18 16:10:15
Comments: get it girl
-
32. Name: Scott Simmons on 2017-05-18 16:22:48
Comments: I live in Cole Valley and am very worried about the way SF restricts new residential construction. The character of this city comes from the way it welcomes people from all walks of life, not from any specific piece of architecture. We keep making more people, let's keep making more homes!
-
33. Name: Christine Huhn on 2017-05-18 17:05:30
Comments: I live in Noe Valley and support this project

-
34. Name: Shelley Handler on 2017-05-18 17:23:01
Comments:
-
35. Name: Henry Karnilowicz on 2017-05-18 20:06:21
Comments: The proposed project contributes to increasing of housing stock, particularly for families.
-
36. Name: Jenn Keys on 2017-05-19 02:35:23
Comments:
-
37. Name: Sarah Palmer on 2017-05-19 04:59:09
Comments: I live in noe valley and wish more neighbors would add units. Being inclusive is what makes this city special, not the scale of buildings and ease of parking. Build it!
-
38. Name: Andy Szybalski on 2017-05-19 05:43:59
Comments: Stop the NIMBY madness. Allow reasonable development in our neighborhood!
-
39. Name: Jocelyn Ross on 2017-05-19 15:10:19
Comments:
-
40. Name: Jessy Jones on 2017-05-19 22:11:29
Comments: We need more housing in San Francisco!
-
41. Name: Melissa hennings on 2017-05-19 22:37:30
Comments:
-
42. Name: Laura Fingal-Surma on 2017-05-20 01:00:11
Comments: Yes in my backyard! I live about three blocks away and applaud the creation of new housing in our neighborhood.

The only shame here is that neighborhoods like Noe Valley aren't doing even more. It is long past time to upzone all single family and duplex lots to allow for more multifamily housing in every neighborhood of San Francisco, including Noe Valley.

For too long, low-income and historically minority neighborhoods have been asked to shoulder a disproportionate amount of our city-wide housing needs. That injustice must end. It is time to build housing in every neighborhood. Read more here: yimbyaction.org/upzoningletter.

If 3 or 4 units were possible on this site, would there be any wisdom in squandering 40% of its buildable area? Absolutely not. Let's end the single family home subsidy through competition with multifamily housing that makes more efficient use of the underlying land.

Projects like 437 Hoffman are the *very least* that Noe Valley can do to begin to address the extreme housing shortage. History is watching us.

43. Name: Bill Dymek on 2017-05-20 05:11:43
Comments:

44. Name: Kate Stoia on 2017-05-20 17:41:45
Comments: I am a homeowner in Noe Valley and I support adding more housing. Please approve this and similar projects.

45. Name: Dan Fingal-Surma on 2017-05-21 04:51:51
Comments: I live three blocks away. Noe Valley needs to add more housing. This is a completely reasonable way to add a unit to this lot.

I'd love it if the owner could build four units on this site, or whatever the zoned form allows, but this is the maximum number of units that zoning provides for.

If we don't add proper massing to the neighborhood, higher density housing will always be considered "out of context." That is a shame.

46. Name: Joerg Schumann on 2017-05-23 17:37:33
Comments: I live in Noe Valley and fully support this project.

47. Name: John Antonini on 2017-05-24 05:26:34
Comments: Looks like a great project. Good luck!!

48. Name: Daniel Foley on 2017-05-24 06:16:31
Comments: 110% in support of this project. San Francisco needs more tactful/quality projects like 437 Hoffman to help address the housing shortage. Good luck!

49. Name: Angela Antonini on 2017-05-24 14:54:34
Comments:

50. Name: Boris Reznikov on 2017-05-25 03:21:20
Comments:

51. Name: Heidi Duran on 2017-05-25 06:15:02
Comments: I fully support this project and the fact that they are not only adding housing but also keeping the original style of the house.

52. Name: Philip Reyneri on 2017-05-25 06:47:34
Comments: I support this tasteful development

53. Name: Deanna Doan on 2017-05-25 08:00:19

Comments: The proposed project sounds perfectly reasonable and should be allowed. Would love to see Noe open its arms more to new neighbors.

54. Name: Aliah Husain on 2017-05-25 09:38:56
Comments:

55. Name: Jonathan D Gerrish on 2017-05-25 13:55:25
Comments: The project seems tasteful and in keeping with the neighborhood. I'm supportive of this development.

56. Name: anthony kelly on 2017-05-25 15:15:41
Comments: looks like a lovely project and great addition to our neighborhood!

57. Name: Bobak Esfandiari on 2017-05-26 19:27:14
Comments: We need more housing! Don't obstruct people trying to do the right thing by adding units to their existing property!

Say YES in my back yard to new housing! #YIMBY

58. Name: Cathy Reisenwitz on 2017-05-26 19:39:11
Comments: Build, baby, build

59. Name: Jason Quigley on 2017-05-26 20:15:20
Comments: What a fantastic project!

More of this kind of thing please :)

60. Name: Phillip on 2017-05-26 20:54:11
Comments: San Francisco needs to build more housing if we are to reclaim our status as a city that is welcoming to all. For too long, small decisions like these have erred on the side of restricting growth and opportunity for San Franciscans, robbing them of the housing we all need. All neighborhoods should be exploring opportunities to add multi-story housing that fits in with the neighborhood, Noe Valley included. Let's build more housing so that more San Franciscans can afford to stay here. Thanks.

61. Name: Isabel Perdomo on 2017-05-27 06:54:05
Comments:

62. Name: june li on 2017-05-27 21:05:06
Comments:

63. Name: Sam Chong on 2017-05-28 05:15:42
Comments: NIMBYism must stop

64. Name: Nick judd on 2017-05-28 22:57:54
Comments: Tasteful and adding much needed housing
-
65. Name: Jim Koulias on 2017-05-29 15:29:59
Comments: This looks like it will help the neighborhood by reducing parking, and maintains the Eduardian style. Great proposal.
-
66. Name: Kris Ahn on 2017-05-29 15:31:11
Comments:
-
67. Name: Dolly Vance on 2017-05-29 18:11:56
Comments: This is exactly the kind of thoughtfulness that should go into all planning projects.
-
68. Name: Fiona Magee on 2017-05-30 02:49:55
Comments: Looks like this will be a positive thing for the city and the neighborhood.
-
69. Name: James Ausman on 2017-05-30 13:32:10
Comments:
-
70. Name: Elizabeth Marlow on 2017-05-30 13:36:20
Comments:
-
71. Name: James Hong on 2017-05-30 14:03:49
Comments:
-
72. Name: Devin on 2017-05-30 14:56:51
Comments:
-
73. Name: Olga Mllan-Howells on 2017-05-30 15:47:21
Comments: The lot is properly zoned for 2 units. We should encourage this type of development to help with the current housing shortage.
-
74. Name: Stephen Doherty on 2017-05-30 15:50:45
Comments:
-
75. Name: Dan Tasse on 2017-05-30 16:53:50
Comments: I live in Noe Valley too. We need lots more construction, including buildings like this.
-
76. Name: Luke Spray on 2017-05-30 17:14:51
Comments:
-

77. Name: Chris Elmendorf on 2017-05-30 18:34:18
Comments: I support all projects that add density to Noe Valley and the Mission District, which are a transit-accessible and (in light of prevailing prices) a severely under built neighborhoods!
-
78. Name: Gerald Spica on 2017-05-30 18:54:23
Comments:
-
79. Name: Jim Zack on 2017-05-30 19:31:05
Comments: This project is very sensitively designed to both fit in and add needed density and units. The required rear yard is maintained with no encroachments, the front facade fits in to the existing fabric, a garage is added to lessen the stress of street parking. This project, and ones like it, should be supported.
-
80. Name: priti tripathi on 2017-05-30 21:23:12
Comments:
-
81. Name: Mike Korcek on 2017-05-31 02:09:43
Comments:
-
82. Name: George Patterson on 2017-05-31 02:38:58
Comments:
-
83. Name: Lisa on 2017-05-31 02:56:58
Comments:
-
84. Name: Jenniece Centrella on 2017-05-31 03:02:30
Comments: Looks sensible to me.
-
85. Name: Joshua H Taft on 2017-05-31 04:10:11
Comments:
-
86. Name: Bora ozturk on 2017-05-31 05:23:16
Comments:
-
87. Name: Kellen Kaiser on 2017-05-31 06:50:07
Comments:
-
88. Name: Jason Lindley on 2017-05-31 13:48:04
Comments:
-
89. Name: Paul on 2017-05-31 15:52:25
Comments: I strongly support this project! We need more housing in SF and all the

zoning requirements are met. There are no variances and the planning department supports this project!

90. Name: Michael Hom on 2017-05-31 17:40:43
Comments:

91. Name: Jason Gailles on 2017-05-31 17:40:56
Comments: Well within the planning rules and guidelines, conservatively so.

92. Name: Suheil Shatara on 2017-05-31 17:48:57
Comments: Very good design, resnable size home for a family

93. Name: Andre Ferrigno on 2017-05-31 17:51:46
Comments:

94. Name: Elaine poon on 2017-05-31 18:20:12
Comments:

95. Name: Patrick Sz on 2017-05-31 20:14:59
Comments:

96. Name: David Thompson on 2017-05-31 21:13:31
Comments:

97. Name: Anne Crawford on 2017-06-01 00:29:50
Comments: This seems in scale for the neighborhood. We desperately need more housing in SF.

98. Name: Lydia Lee on 2017-06-01 01:20:55
Comments:

99. Name: Sonny Mitchell on 2017-06-01 03:07:03
Comments: We need more housing in San Francisco. As much as possible, we should add units to existing buildings.

100. Name: Jimmer Cassiol on 2017-06-01 17:29:30
Comments:

101. Name: Robert Edmonds on 2017-06-01 18:12:23
Comments: Speaking as a resident of Noe Valley and San Francisco, it is absolutely absurd that compliant projects are held hostage by a small group of neighbors that want the city frozen in time. Just think of what the possibilities would be if all the time and energy that is put toward DR's were focused on real problems.

437 HOFFMAN AVENUE
Project Sponsor's Package

Arborist Report & Comments
Regarding Status of Tree

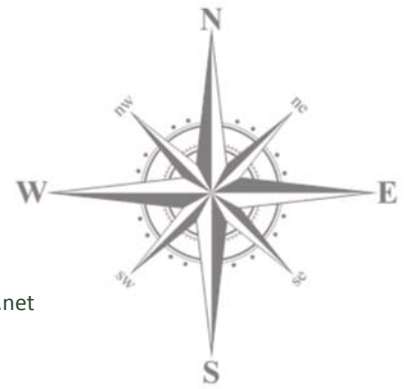
Ellyn Shea, Consulting Arborist

dba Garden Guidance

ISA Certified Arborist # WE-5476A - ISA Qualified Risk Assessor # CTRA502

ASCA Registered Consulting Arborist #516

2085 Hayes Street, Suite 10 • San Francisco, CA 94117 • Phone: 415/846-0190 • E-Mail: ellyn.shea@sbcglobal.net



Kelly Condon/Hoffman TIC
437 Hoffman Street
San Francisco, CA

September 1, 2016

ARBORIST REPORT

Assignment

- Review the history of a removal permit granted for a street tree (New Zealand Christmas Tree or *Metrosideros excelsus*) at 437 Hoffman Street.
- Assess the tree in its current condition.
- Review the process and criteria for nominating a tree for Landmark Tree status in San Francisco, and determine the suitability of the subject tree for nomination.
- Provide a report of my findings and recommendations.

Background

In 2012 the previous owner of 437 Hoffman Street, Vivek Mittal, began meeting with the San Francisco Planning Department about a proposed new garage for his property. In 2013, he contacted an ISA Certified Arborist, Sean Ream with Timberwood Tree Service, about the viability of repairing the sidewalk lifts and damage caused by the street tree adjacent to his house. Mr. Ream indicated that the amount of root loss required to complete the repairs would render the tree unstable and therefore removal and replacement were recommended. Vivek Mittal then applied to the City and County of San Francisco ("The City") for a street tree removal permit, which was approved in late 2013 after a public hearing. The approval was conditional, subject to the approval of the new garage project, and required a replacement tree of 36-inch box size. A copy of this DPW Order is included after this report on page 11.

In 2014 Mr. Mittal applied for a permit to build a garage on the north side of the property, necessitating the removal of the street tree. Since 2014, nearby neighbors on the 400 block of Hoffman have continued to oppose the new garage project, filing three Discretionary Reviews with the Planning Commission. Meanwhile, Mr. Mittal sold 437 Hoffman to the new owners, Hoffman TIC Group, who have been continuing to request approval to build a garage.

Despite having a valid removal permit for the street tree, Kelly Condon, one of the owners, considered the possibility of transplanting the tree 10 feet further uphill in order to preserve it and still build the garage. In July

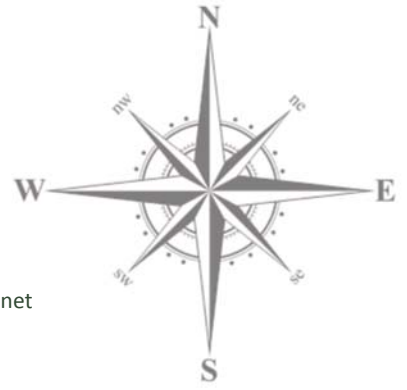
Ellyn Shea, Consulting Arborist

dba Garden Guidance

ISA Certified Arborist # WE-5476A - ISA Qualified Risk Assessor # CTRA502

ASCA Registered Consulting Arborist #516

2085 Hayes Street, Suite 10 • San Francisco, CA 94117 • Phone: 415/846-0190 • E-Mail: ellyn.shea@sbcglobal.net



of 2016, David Cox from the well-respected tree moving company Environmental Design assessed the tree and found it to be a poor candidate for transplant. A significant portion of the street and sidewalk would need to be removed to dig a big enough hole to preserve roots, and even then too many large structural roots would be severed, resulting in an unstable tree. Removing pavement and compacted soil under the pavement would considerably damage many fine feeder roots that take up water and nutrients, negatively impacting tree health. In addition, the tree would need to be extensively pruned to avoid damage to the overhead communication and electric lines, many of which run through the canopy. The amount of pruning and root loss would significantly lower the tree's chances for surviving the transplant process. Mr. Cox said that undertaking such a transplant project would be "insane."

Most recently, at the Planning Commission on June 30 2016, Janet Fowler (434 Hoffman) protested the garage project on the grounds that the street tree at 437 Hoffman Street should be a "Landmark Tree." In addition, neighbors circulated a petition referring to the tree as "significant." The words "Significant Tree" and "Landmark Tree" in San Francisco have a very specific meaning defined by City Code. There is a very specific process to follow before a tree can receive the designation of Landmark Tree. This tree is currently not considered a Significant Tree nor a Landmark Tree as defined by City Code.

In August of 2016, Kelly Condon met with a Planning Department neighborhood quadrant leader about relocating the proposed garage to the south side of the property. The street tree would no longer be within the footprint of development and could be preserved with proper tree protection measures as specified by a Consulting Arborist. Approval of this new design would be a positive development, as it would preserve the tree for the community at large while allowing property owners to improve their property as desired. A copy of this plan is included at the end of this report on page 12.

Purpose of Report

The purpose of this report is to describe the tree's health and hazard potential, and to clearly define the designation of this tree by the Municipal Code of the City and County of San Francisco.

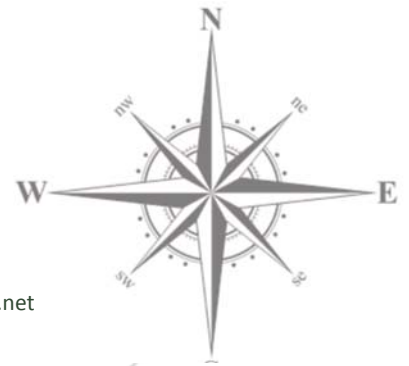
Ellyn Shea, Consulting Arborist

dba Garden Guidance

ISA Certified Arborist # WE-5476A - ISA Qualified Risk Assessor # CTRA502

ASCA Registered Consulting Arborist #516

2085 Hayes Street, Suite 10 • San Francisco, CA 94117 • Phone: 415/846-0190 • E-Mail: ellyn.shea@sbcglobal.net



Observations

The subject tree is a New Zealand Christmas tree (*Metrosideros excelsus* or *M. excelsa*) in good health with a trunk diameter of 26.6 inches, an approximate height of 40 feet and spread of 42 feet. The tree is tall enough that phone, cable and low-voltage electric lines run through the canopy.

The original tree well was likely a 3-foot by 3-foot square as with other trees on the block, but sometime in the past the tree well was expanded to form a half-moon shape. The trunk was then enclosed with mortared bricks. The tree well expansion and bricking was likely an attempt to mitigate sidewalk damage caused by the tree.

There is also evidence of past sidewalk repair in front of 437 Hoffman and 433 Hoffman. Currently, the sidewalk is lifted 7 inches above the curb on the uphill side, creating a tripping hazard for anyone getting out of a car parked under the tree. Mr. Ream of Timberwood Tree Service could not repair this lift 3 years ago without removing many structural roots that hold the tree up, thus rendering the tree hazardous.

New Zealand Christmas trees are well known for having large, vigorous roots that lift and damage sidewalks in San Francisco. In addition to producing roots underground, this species is adapted to produce roots above ground from the branches and trunk. These “air roots” can thicken into large woody roots. They grow in a downward direction and once reaching the ground, can also grow underground like a normal root.

The size, age and species characteristics created a situation that led the City and County of San Francisco to approve the removal permit for the previous owner in 2013.



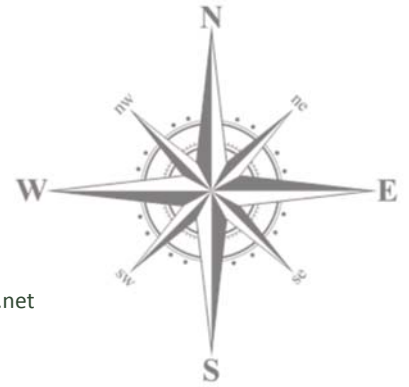
Ellyn Shea, Consulting Arborist

dba Garden Guidance

ISA Certified Arborist # WE-5476A - ISA Qualified Risk Assessor # CTRA502

ASCA Registered Consulting Arborist #516

2085 Hayes Street, Suite 10 • San Francisco, CA 94117 • Phone: 415/846-0190 • E-Mail: ellyn.shea@sbcglobal.net



Tree Designations

San Francisco Municipal Code recognizes three different types of protected trees, which require a permit for removal. The definitions below are excerpted from www.sfdpw.org:

- *Street Trees* are any trees growing in the public right-of-way (ROW), typically between the sidewalk and the curb, but can include trees growing in medians and unpaved ROWs.
- *Significant Trees* are on private property within 10 feet of the public right-of-way and also meet one of the following size requirements:
 - 20 feet or greater in height,
 - 15 feet or greater canopy width, or
 - 12 inches or greater diameter of trunk measured at 4.5 feet above grade.
- *Landmark Trees* have been designated by the Board of Supervisors as extra special. It may be due to the rarity of the species, their size or age, extraordinary structure, or ecological contribution. In addition, historical or cultural importance can qualify a tree for Landmark Status.

Landmark Tree Process

The Landmark Tree Program was codified in 2006 as Article 16, Section 810 of the Public Works Code. A tree can be nominated for Landmark status by one of the following parties:

- The property owner
- A member of the Board of Supervisors
- The head of a city department or agency
- A Planning Commission member
- A Landmarks Preservation Advisory Board member

Once nominated, the San Francisco Urban Forestry Council considers the merits of the tree for inclusion as a Landmark tree. A list of Landmark Trees to be found in San Francisco is included at the end of this report on page 13. On private property, Landmark Tree status confers special protections. Landmark trees must be disclosed prior to any development, must be protected during construction, and cannot be removed without a permit. Street trees enjoy these same protections in San Francisco already, and a valid removal permit process for the tree at 437 Hoffman has already been followed and concluded.

Landmark Tree Criteria

To attain Landmark Tree status, a tree must meet specific criteria indicated on the nomination form. To follow is a discussion of the tree at 437 Hoffman and its viability to be nominated as a Landmark Tree. The criteria for nomination set forth by the Urban Forestry Council are noted in **bold** and the discussion of the subject tree is in *italics*.

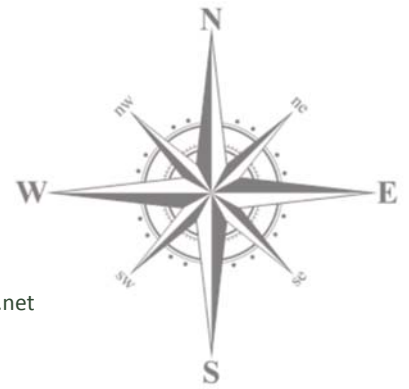
Ellyn Shea, Consulting Arborist

dba Garden Guidance

ISA Certified Arborist # WE-5476A - ISA Qualified Risk Assessor # CTRA502

ASCA Registered Consulting Arborist #516

2085 Hayes Street, Suite 10 • San Francisco, CA 94117 • Phone: 415/846-0190 • E-Mail: ellyn.shea@sbcglobal.net



- **Rarity: Unusual species in San Francisco or other geographic regions.** *New Zealand Christmas trees are extremely common in San Francisco. It is native to a coastal climate very similar to our own. Friends of the Urban Forest has planted over 2,000 of this species and the City has also used this tree extensively on Geary Boulevard, Monterey Boulevard, Sunset Boulevard and other streets where they maintain street trees. A Landmark New Zealand Christmas Tree does exist on 1221 Stanyan Street because it is a rare yellow-flowering variety. The subject tree at 437 Hoffman has red flowers as is typical for the species.*
- **Physical Characteristics:**
 - **Size: Notable size compared to other trees of the same species in San Francisco.** *There are trees of similar size on same block as this one, notably at 461 and 405 Hoffman and the Hoffman side of 4397 24th Street. New Zealand Christmas Trees of equal and larger size can be found on Escolta Avenue between 30th and 31st Avenue in the Sunset District. Of the 8 trees present on this block, the largest trunk diameters found are 26.0, 27.5 and 28.0, with the rest of the trees averaging 19 to 25 inches in diameter. If any New Zealand Christmas trees should be Landmark Trees, the Escolta Drive grove as a whole is a much more impressive candidate. A tree with a 33-inch trunk diameter is growing in the median at the intersection of Geary Boulevard and 5th Avenue.*
 - **Age: Significantly advanced age for this species.** *Size is an indicator of age, and the data listed above proves that the subject tree is of a similar age to many others of its kind throughout the city.*
 - **Distinguished Form: Tree is an example of good form for its species, has a majestic quality or otherwise unique structure.** *The subject tree has a single trunk that divides into several scaffold limbs at about 8 feet from the ground, which is similar in structure to others on the block and throughout the city. It is not a unique structure.*



Grove of 8 New Zealand Christmas trees on Escolta Drive between 30th and 31st Avenue, Sunset District.

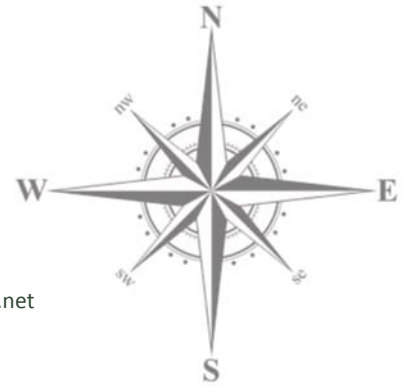
Ellyn Shea, Consulting Arborist

dba Garden Guidance

ISA Certified Arborist # WE-5476A - ISA Qualified Risk Assessor # CTRA502

ASCA Registered Consulting Arborist #516

2085 Hayes Street, Suite 10 • San Francisco, CA 94117 • Phone: 415/846-0190 • E-Mail: ellyn.shea@sbcglobal.net



- **Tree Condition: Consider overall tree health and structure, and whether or not tree poses a hazard.** *The tree is in good health as others are throughout the city. The structure can only be considered fair, with a moderate hazard potential. When multiple scaffold branches originate from the same point on the trunk, they are more weakly attached – and more likely to fail than scaffold branches that originate from separate locations on the trunk.*
- **Historical Characteristics:**
 - **Historical Association: Related to a historic or cultural building, site, street, person, event, etc.** *None apparent.*
 - **Profiled in a publication or other media: Tree has received coverage in print, internet, video media, etc.** *None apparent.*
- **Environmental Characteristics:**
 - **Prominent landscape feature: A striking and outstanding natural feature.** *This tree resembles many others in the city.*
 - **Low tree density: Tree exists in a neighborhood with very few trees.** *Nearly every house on this block has a street tree, and there are a lot of street trees in the surrounding Noe Valley neighborhood.*
 - **Interdependent group of trees: This tree is an integral member of a group of trees and removing it may have an adverse impact on adjacent trees.** *When trees grow in a forest, they grow close enough together to affect each other's development. Trees in a natural or planned grove may become asymmetrical or top-heavy, and removal of adjacent trees may cause the remaining ones to destabilize. The street trees on this block are spaced far enough apart that the subject tree has not caused asymmetry in the neighboring trees, and its removal would not have an adverse impact on nearby trees.*
 - **Visible or accessible from public right-of-way.** *Yes, as all street trees are.*
 - **High traffic area: Tree is located in an area that has a high volume of vehicle, pedestrian or bike traffic and has a potential traffic calming effect.** *Hoffman is a quiet residential street.*
 - **Important wildlife habitat: Species has a known relationship with a particular local wildlife species or it provides food, shelter or nesting to specific known wildlife individuals.** *Any tree of this size and density may provide nesting habitat. This very common species produces flowers that attract hummingbirds, as do many other plants in the city. The tree is not unique in providing services to wildlife, and no wildlife was in evidence on the day I looked at the tree in August.*
 - **Erosion Control: Tree prevents soil erosion.** *Soil under pavement is compacted, making it resistant to erosion. There is no evidence that this particular tree prevents soil erosion here.*
 - **Wind or sound barrier: Tree reduces wind speed or mitigates undesirable noise.** *There is no evidence that this tree on its own reduces wind speed on this block. Studies by the US Department of Transportation and the US Department of Agriculture indicate that a single tree is ineffective as a sound buffer. To quiet noise by 5 to 8 decibels, a 100-foot wide barrier of impenetrable vegetation that includes trees and shrubby undergrowth is required.*

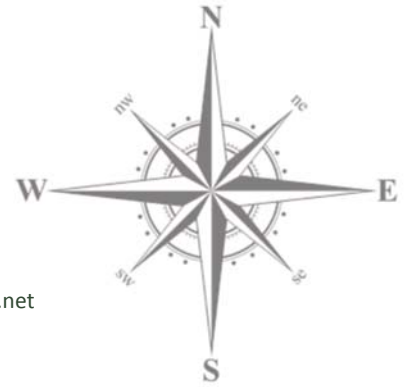
Ellyn Shea, Consulting Arborist

dba Garden Guidance

ISA Certified Arborist # WE-5476A - ISA Qualified Risk Assessor # CTRA502

ASCA Registered Consulting Arborist #516

2085 Hayes Street, Suite 10 • San Francisco, CA 94117 • Phone: 415/846-0190 • E-Mail: ellyn.shea@sbcglobal.net



- **Cultural Characteristics:**

- **Neighborhood Appreciation: Multiple indicators such as letters of support, petitions, outdoor gatherings, celebrations adjacent or related to tree.** *In 2013, the City received six letters protesting the tree removal, and two people attended the hearing to speak at the hearing. This is not an unusually high amount of community support for tree preservation. No other events related to the tree are apparent.*
- **Cultural appreciation: Particular value to certain cultural or ethnic groups in the city.** *None apparent.*
- **Planting contributes to neighborhood character: Tree contributes significantly to, or represents, neighborhood aesthetic.** *No evidence to indicate.*
- **Profiled in a publication or other media.** *None apparent.*
- **Prominent landscape feature.** *This is an average-looking specimen of a commonly found species.*

Conclusions

- The tree at 437 Hoffman is a Street Tree, not a Significant Tree.
- As a Street Tree, the subject tree is protected from removal without a permit as per Article 16 of the Municipal Code. During development, a Street Tree must be protected if it is not removed.
- The subject tree does not meet the criteria for nomination to become a Landmark Tree. If it were nominated, the Urban Forestry Council would be unlikely to confirm the nomination.
- If the tree were designated a Landmark Tree, that status would not protect it from removal under any and all conditions. A removal permit process could still be undertaken. Since this process has already been followed and the City has already approved a removal permit for this tree, a Landmark Tree designation would have no effect.
- The City approved a removal permit for the tree conditional upon approval of the new garage project. To use the tree as a condition for stopping the garage project creates a circular logic loop, wasting everyone's time and making a mockery of the City's process.
- The original design and the new design both meet City code and have no features that the San Francisco Department of Building Inspections (SFDPD) should object to. If the new design for the garage is approved, the tree can be preserved, allowing a positive outcome for the property owners and the community at large. There is no reason not to approve one or the other of the plans.

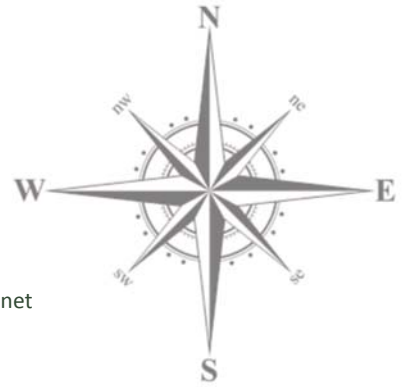
Ellyn Shea, Consulting Arborist

dba Garden Guidance

ISA Certified Arborist # WE-5476A - ISA Qualified Risk Assessor # CTRA502

ASCA Registered Consulting Arborist #516

2085 Hayes Street, Suite 10 • San Francisco, CA 94117 • Phone: 415/846-0190 • E-Mail: ellyn.shea@sbcglobal.net



Recommendations

There are two options:

1. *Preferred Option: Approve the new plan locating the garage on the south side of the property and preserve the street tree. A Consulting Arborist must review the plan and assist with the Tree Disclosure and Tree Protection Plan, as well as monitor the project to ensure tree protection measures are being followed.*
2. *Less Desirable Option: Approve the original plan locating the garage on the north side of the property, and remove and replace the street tree. If the San Francisco Department of Building Inspections can find no reason not to approve the project, the tree should be removed and replaced in accordance with DPW Order No: 182066, a copy of which is included at the end of this report.*

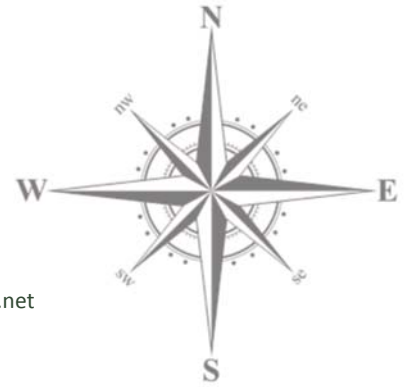
Ellyn Shea, Consulting Arborist

dba Garden Guidance

ISA Certified Arborist # WE-5476A - ISA Qualified Risk Assessor # CTRA502

ASCA Registered Consulting Arborist #516

2085 Hayes Street, Suite 10 • San Francisco, CA 94117 • Phone: 415/846-0190 • E-Mail: ellyn.shea@sbcglobal.net



Assumptions and Limiting Conditions

1. Any legal description provided to the consultant is assumed to be correct. Title and ownership of all property considered are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management.
2. It is assumed that any property is not in violation of any applicable codes, ordinances, statutes or other governmental regulations.
3. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible. The consultant can neither guarantee nor be responsible for the accuracy of information provided by others.
4. Various diagrams, sketches and photographs in this report are intended as visual aids and are not to scale, unless specifically stated as such on the drawing. These communication tools in no way substitute for nor should be construed as surveys, architectural or engineering drawings.
5. Loss or alteration of any part of this report invalidates the entire report.
6. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior written or verbal consent of the consultant.
7. This report is confidential and to be distributed only to the individual or entity to whom it is addressed. Any or all of the contents of this report may be conveyed to another party only with the express prior written or verbal consent of the consultant. Such limitations apply to the original report, a copy, facsimile, scanned image or digital version thereof.
8. This report represents the opinion of the consultant. In no way is the consultant's fee contingent upon a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.
9. The consultant shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule, an agreement or a contract.
10. Information contained in this report reflects observations made only to those items described and only reflects the condition of those items at the time of the site visit. Furthermore, the inspection is limited to visual examination of items and elements at the site, unless expressly stated otherwise. There is no expressed or implied warranty or guarantee that problems or deficiencies of the plants or property inspected may not arise in the future.

Disclosure Statement

Arborists are tree specialists who use their education, knowledge, training, and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or to seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground.

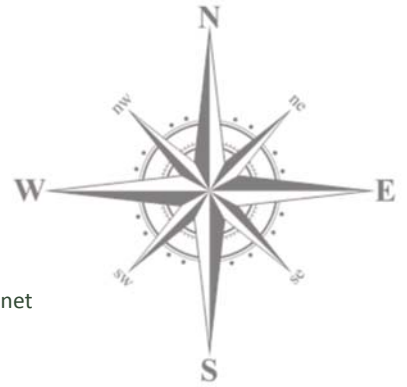
Ellyn Shea, Consulting Arborist

dba Garden Guidance

ISA Certified Arborist # WE-5476A - ISA Qualified Risk Assessor # CTRA502

ASCA Registered Consulting Arborist #516

2085 Hayes Street, Suite 10 • San Francisco, CA 94117 • Phone: 415/846-0190 • E-Mail: ellyn.shea@sbcglobal.net



Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, and other issues. An arborist cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.

Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate the trees.

Certification of Performance

I, Ellyn Shea, Certify:

- That I have personally inspected the trees and/ or property evaluated in this report. I have stated my findings accurately, insofar as the limitations of my Assignment and within the extent and context identified by this report;
- That I have no current or prospective interest in the vegetation or any real estate that is the subject of this report, and have no personal interest or bias with respect to the parties involved;
- That the analysis, opinions and conclusions stated herein are my own and are based on current scientific procedures and facts and according to commonly accepted arboricultural practices;
- That no significant professional assistance was provided, except as indicated by the inclusion of another professional report within this report;
- That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party.
- I am a member in good standing and Certified Arborist #WE-5476A with the International Society of Arboriculture, a Qualified Risk Assessor #CTRA502, and a Registered Consulting Arborist #516 with the American Society of Consulting Arborists.

I have attained professional training in all areas of knowledge asserted through this report by completing relevant college courses, routinely attending pertinent professional conferences and by reading current research from professional journals, books and other media. I have rendered professional services in a full time capacity in the field of horticulture and arboriculture for more than 16 years.

Signature:

Date: September 1, 2016



Edwin M. Lee, Mayor
Mohammed Nuru, Director

GENERAL - DIRECTOR'S OFFICE
City Hall, Room 348
1 Dr. Carlton B. Goodlett Place, S.F., CA 94102
(415) 554-6920 ■ www.sfdpw.org



DPW Order No: 182066

The Director of Public Works held a Public Hearing on Monday, October 28, 2013 commencing at 5:30 PM at City Hall, Room 416, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102. The hearing was to consider Order No. 181756 To consider the removal with replacement of one (1) street tree adjacent to the property at 437 Hoffman Avenue.

Finding:

Applicant plans to construct a driveway at the existing tree location. Department received 6 protest letters and 2 protest testimonies at the hearing.

Recommendation:

After consideration of letters from the neighbors, testimonies presented at the hearing and a field visit, the recommendation is to approve this application with replacement location and species (36" box min.) agreeable to Bureau of Urban Forestry, subject to approval of new garage project from SFDBI at this address.

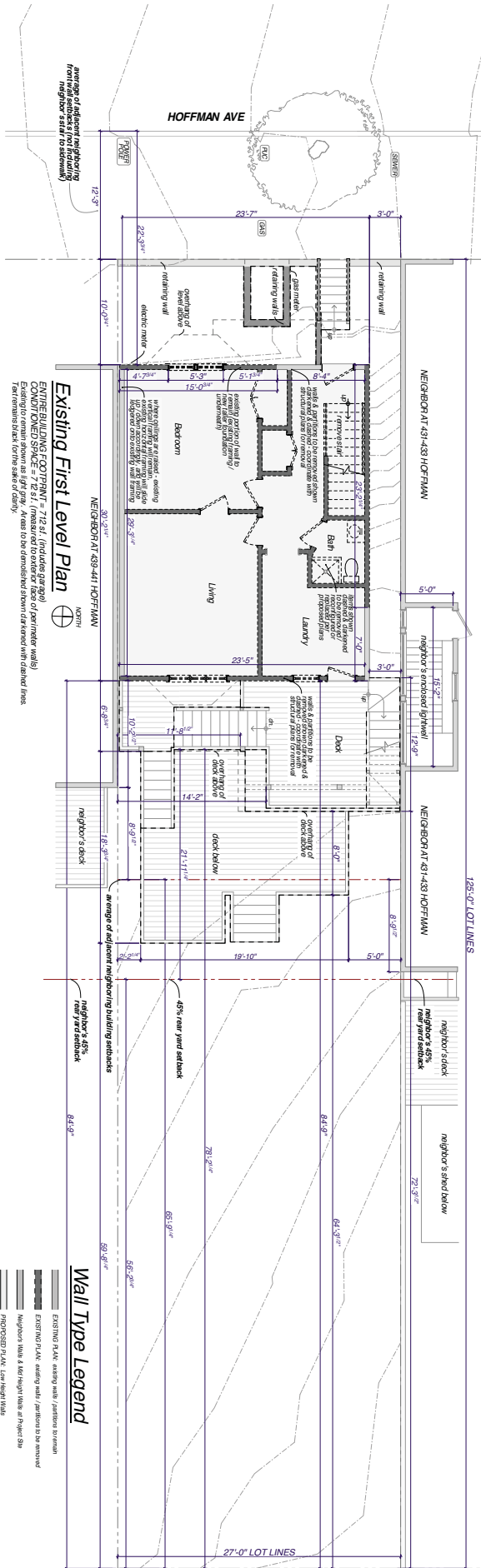
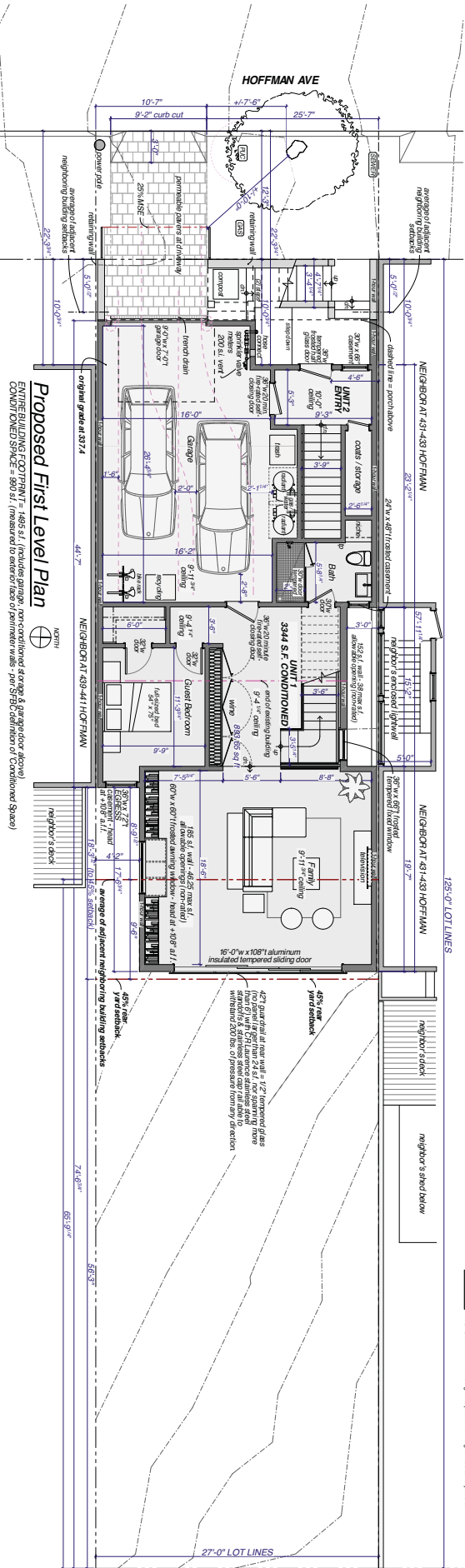
Appeal:

This Order may be appealed to the Board of Appeals within 15 days of December 31, 2013.

Board of Appeals
1650 Mission, Room 304
San Francisco, CA 94103
(between Van Ness and Duboce Avenues)
Phone: 415.575.6880 Fax: 415.575.6885

Regular office hours of the Board of Appeals are Monday through Friday from 8am to 5pm. Appointments may be made for filing an appeal by calling 415-575-6880. All appeals must be filed in person. For additional information on the San Francisco Board of Appeals and to view the Appeal Process Overview, please visit their website at <http://www.sfgov3.org/index.aspx?page=763>





Wall Type Legend

- EXISTING BLOCK, existing walls, partitions to remain
- EXISTING BLOCK, existing walls, partitions to be removed
- Neighbors Walls & Max Height Walls at Project Site
- PROPOSED BLOCK, Low Height Walls
- PROPOSED BLOCK, Existing & Proposed Full Height Walls at Project Site

Existing & Proposed First Level

Scale: 1/4" = 1'-0"

A6



August 30, 2016

30 model

for Hoffman TIC Group

437 Hoffman
san francisco
9 4 1 1 4

PS&EN

KEVIN COOPER
415-240-1329
www.pseandeng.com



Last updated July 2016

- California buckeye (*Aesculus californica*) at 730 28th Avenue
- Coast live oak (*Quercus agrifolia*) at 20-28 Rosemont Place
- Coast live oak (*Quercus agrifolia*) at 4124 23rd Street
- New Zealand Christmas Tree (*Metrosiderous excelsus*) at 1221 Stanyan Street
- Six Blue Gum (*Eucalyptus globulus*) adjacent to 1801 Bush Street
- All Canary Island Date Palms (*Phoenix canariensis*) in the center island on Dolores Street
- Brazilian pepper (*Schinus terebinthifolius*) at Third St. and Yosemite Street in the median triangle
- Flaxleaf paperbark (*Melaleuca linariifolia*) at 1701 Franklin Street
- Sweet Bay (*Laurus nobilis*) at 555 Battery Street
- Thirteen Canary Island Date Palms (*Phoenix canariensis*) located throughout the Quesada Street median West of Third St. to the dead end.
- Two Cliff Date Palms (*Phoenix rupicola*) in the Dolores Street median, one across from 730 Dolores Street and the second across from 1546 Dolores Street
- The grove of Guadalupe Palm (*Brahea edulis*) in the Dolores St. median, across from 1608-1650 Dolores Street.
- Moreton Bay Fig (*Ficus macrophylla*) at 3555 Cesar Chavez Street
- Two Flowering Ash (*Fraxinus ornus*) at the Bernal Height Library at 500 Cortland Street
- Blue Elderberry (*Sambucus mexicana*) in the Bernal Height Natural Area near the intersection of Folsom and Bernal Height Boulevard
- Manzanita (*Arctostaphylos hispidule*) 115 Parker Avenue
- Monterey Cypress (*Cupressus macrocarpa*) 2626 Vallejo Street
- California Buckeye tree (*Aesculus Californica*) located behind 757 Pennsylvania Street, (Assessor's Bock 416B, Lot 11)
- One (1) Redwood Tree (*Sequoia sempervirens*) at 46 Stillings Ave
- One (1) Giant Sequoia (*Sequoia giganteum*) at 3066 Market Street
- One (1) Norfolk Island-Cook Pine Hybrid (*Araucaria sp.*) at 46A Cook Street

San Francisco's Urban Forestry Council discusses and recommends trees for landmark status at their public

For more information please visit SFEnvironment.org or call 415-355-3700.

SFEnvironment is a department of the City & County of San Francisco.

APPRAISAL OF



A Single Family Residence

LOCATED AT:

437 Hoffman Avenue
San Francisco, CA 94114

CLIENT:

Perfero Properties LLC
45 Walnut Avenue
Mill Valley, CA 94941

AS OF:

April 13, 2016

BY:

Kevin Reynolds, SRA

REYNOLDS ASSOCIATES
REAL ESTATE APPRAISAL SERVICES

File No. Hoffman-437-SF2

05/02/2016

Perfero Properties LLC
45 Walnut Avenue
Mill Valley, CA 94941

File Number: Hoffman-437-SF2

In accordance with your request, I have appraised the real property at:

437 Hoffman Avenue
San Francisco, CA 94114

The purpose of this appraisal is to develop an opinion of the defined value of the subject property, as improved.
The property rights appraised are the fee simple interest in the site and improvements.

In my opinion, the defined value of the property as of April 13, 2016 is:

\$2,000,000
Two Million Dollars

The attached report contains the description, analysis and supportive data for the conclusions,
final opinion of value, descriptive photographs, assignment conditions and appropriate certifications.



Kevin Reynolds, SRA

Residential Appraisal Report

File No. Hoffman-437-SF2

| | | | | | | | | |
|---|--|---|--|--|--|---|-----------------------------------|-------------|
| PURPOSE | The purpose of this appraisal report is to provide the client with a credible opinion of the defined value of the subject property, given the intended use of the appraisal. | | | | | | | |
| | Client Name/Intended User Perfero Properties LLC | | E-mail Appraisals@firstrepublic.com | | | | | |
| | Client Address 45 Walnut Avenue | | City Mill Valley State CA Zip 94941 | | | | | |
| Additional Intended User(s) NONE | | | | | | | | |
| Intended Use To assist in negotiation with San Francisco Planning Department | | | | | | | | |
| SUBJECT | Property Address 437 Hoffman Avenue | | City San Francisco State CA Zip 94114 | | | | | |
| | Owner of Public Record See Addendum | | County San Francisco | | | | | |
| | Legal Description See Attached Addendum | | | | | | | |
| | Assessor's Parcel # 6503-024 | | Tax Year 2015-2016 R.E. Taxes \$ 22,260 | | | | | |
| | Neighborhood Name Noe Valley | | Map Reference 667/F4 Census Tract 213.00 | | | | | |
| Property Rights Appraised <input checked="" type="checkbox"/> Fee Simple <input type="checkbox"/> Leasehold <input type="checkbox"/> Other (describe) | | | | | | | | |
| SALES HISTORY | My research <input checked="" type="checkbox"/> did <input type="checkbox"/> did not reveal any prior sales or transfers of the subject property for the three years prior to the effective date of this appraisal. | | | | | | | |
| | Prior Sale/Transfer: Date 10/07/2014 Price \$1,850,000 Source(s) NDC,SFMLS#426454 | | | | | | | |
| | Analysis of prior sale or transfer history of the subject property (and comparable sales, if applicable) The subject's new (2014) owners are contractors and purchased with the intention of gutting and expanding the improvements, total remodeling and reselling for a profit. | | | | | | | |
| | Offerings, options and contracts as of the effective date of the appraisal None known or reported | | | | | | | |
| | | | | | | | | |
| NEIGHBORHOOD | Neighborhood Characteristics | | One-Unit Housing Trends | | One-Unit Housing | | Present Land Use % | |
| | Location <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban <input type="checkbox"/> Rural | | Property Values <input checked="" type="checkbox"/> Increasing <input type="checkbox"/> Stable <input type="checkbox"/> Declining | | PRICE | AGE | One-Unit | 70 % |
| | Built-Up <input checked="" type="checkbox"/> Over 75% <input type="checkbox"/> 25-75% <input type="checkbox"/> Under 25% | | Demand/Supply <input checked="" type="checkbox"/> Shortage <input type="checkbox"/> In Balance <input type="checkbox"/> Over Supply | | \$(000) | (yrs) | 2-4 Unit | 10 % |
| | Growth <input type="checkbox"/> Rapid <input checked="" type="checkbox"/> Stable <input type="checkbox"/> Slow | | Marketing Time <input checked="" type="checkbox"/> Under 3 mths <input type="checkbox"/> 3-6 mths <input type="checkbox"/> Over 6 mths | | 1,300 Low | 0 | Multi-Family | 10 % |
| | Neighborhood Boundaries See Attached Addendum. | | | | 7,000 High | 130 | Commercial | 10 % |
| | | | | | 2,000 Pred. | 100 | Other | % |
| | Neighborhood Description See Attached Addendum | | | | | | | |
| | | | | | | | | |
| | Market Conditions (including support for the above conclusions) See Attached Addendum | | | | | | | |
| | | | | | | | | |
| SITE | Dimensions 27 x 125 | | Area 3375 sf | | Shape Rectangular | | View B;UrbanLts;Bay | |
| | Specific Zoning Classification RH-2 | | Zoning Description RH2/Residential House Districts Two Family | | | | | |
| | Zoning Compliance <input checked="" type="checkbox"/> Legal <input type="checkbox"/> Legal Nonconforming (Grandfathered Use) <input type="checkbox"/> No Zoning <input type="checkbox"/> Illegal (describe) | | | | | | | |
| | Is the highest and best use of the subject property as improved (or as proposed per plans and specifications) the present use? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe. | | | | | | | |
| | | | | | | | | |
| IMPROVEMENTS | GENERAL DESCRIPTION | | FOUNDATION | | EXTERIOR DESCRIPTION materials | | INTERIOR materials | |
| | Units <input checked="" type="checkbox"/> One <input type="checkbox"/> One w/Acc. unit <input type="checkbox"/> | | <input checked="" type="checkbox"/> Concrete Slab <input type="checkbox"/> Crawl Space | | Foundation Walls Concrete/average | | Floors Hardwood/avg | |
| | # of Stories 4 | | <input type="checkbox"/> Full Basement <input checked="" type="checkbox"/> Partial Basement | | Exterior Walls Wood/average | | Walls Plaster,dryw/av | |
| | Type <input checked="" type="checkbox"/> Det. <input type="checkbox"/> Att. <input type="checkbox"/> S-Det./End Unit | | Basement Area 1235 sq. ft. | | Roof Surface Comp shingle/avg | | Trim/Finish Wood,Paint/av | |
| | <input checked="" type="checkbox"/> Existing <input type="checkbox"/> Proposed <input type="checkbox"/> Under Const. | | Basement Finish 80 % | | Gutters & Downspouts Galvanized Iron/av | | Bath Floor Ceramic Tile/av | |
| Design (Style) Victorian | | <input checked="" type="checkbox"/> Outside Entry/Exit <input type="checkbox"/> Sump Pump | | Window Type Wood,snglpane/av | | Bath Wainscot Ceramic Tile/av | | |
| Year Built 1905 | | | | Storm Sash/Insulated None | | Car Storage <input checked="" type="checkbox"/> None | | |
| Effective Age (Yrs) 50 | | | | Screens None | | Driveway # of Cars 0 | | |
| Attic <input type="checkbox"/> None <input type="checkbox"/> Drop Stair <input type="checkbox"/> Stairs <input type="checkbox"/> Floor <input type="checkbox"/> Scuttle <input checked="" type="checkbox"/> Finished <input type="checkbox"/> Heated <input type="checkbox"/> | | Heating <input type="checkbox"/> FWA <input type="checkbox"/> HW <input type="checkbox"/> Radiant <input checked="" type="checkbox"/> Other Wall <input type="checkbox"/> Fuel Gas <input type="checkbox"/> | | Amenities <input type="checkbox"/> WoodStove(s) #0 <input checked="" type="checkbox"/> Fireplace(s) # 1 <input checked="" type="checkbox"/> Fence Rear | | Driveway Surface <input type="checkbox"/> Garage # of Cars 0 | | |
| | | Cooling <input type="checkbox"/> Central Air Conditioning <input type="checkbox"/> Individual <input checked="" type="checkbox"/> Other None <input type="checkbox"/> | | <input checked="" type="checkbox"/> Patio/Deck Rear <input type="checkbox"/> Porch None <input type="checkbox"/> Pool None <input type="checkbox"/> Other None | | Carport # of Cars 0 | | |
| Appliances <input checked="" type="checkbox"/> Refrigerator <input checked="" type="checkbox"/> Range/Oven <input checked="" type="checkbox"/> Dishwasher <input checked="" type="checkbox"/> Disposal <input checked="" type="checkbox"/> Microwave <input checked="" type="checkbox"/> Washer/Dryer <input type="checkbox"/> Other (describe) | | | | | | Att. <input type="checkbox"/> Det. <input type="checkbox"/> Built-in <input type="checkbox"/> | | |
| Finished area above grade contains: | | 7 Rooms | | 3 Bedrooms | | 2.0 Bath(s) | | |
| Additional Features See comments below | | | | | | | | |
| | | | | | | | | |
| Comments on the Improvements See Attached Addendum | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |

Scope of Work, Assumptions and Limiting Conditions

Scope of work is defined in the Uniform Standards of Professional Appraisal Practice as "the type and extent of research and analyses in an assignment." In short, scope of work is simply what the appraiser did and did not do during the course of the assignment. It includes, but is not limited to: the extent to which the property is identified and inspected, the type and extent of data researched, the type and extent of analyses applied to arrive at opinions or conclusions.

The scope of this appraisal and ensuing discussion in this report are specific to the needs of the client, other identified intended users and to the intended use of the report. This report was prepared for the sole and exclusive use of the client and other identified intended users for the identified intended use and its use by any other parties is prohibited. The appraiser is not responsible for unauthorized use of the report.

The appraiser's certification appearing in this appraisal report is subject to the following conditions and to such other specific conditions as are set forth by the appraiser in the report. All extraordinary assumptions and hypothetical conditions are stated in the report and might have affected the assignment results.

1. The appraiser assumes no responsibility for matters of a legal nature affecting the property appraised or title thereto, nor does the appraiser render any opinion as to the title, which is assumed to be good and marketable. The property is appraised as though under responsible ownership.
 2. Any sketch in this report may show approximate dimensions and is included only to assist the reader in visualizing the property. The appraiser has made no survey of the property.
 3. The appraiser is not required to give testimony or appear in court because of having made the appraisal with reference to the property in question, unless arrangements have been previously made thereto.
 4. Neither all, nor any part of the content of this report, copy or other media thereof (including conclusions as to the property value, the identity of the appraiser, professional designations, or the firm with which the appraiser is connected), shall be used for any purposes by anyone but the client and other intended users as identified in this report, nor shall it be conveyed by anyone to the public through advertising, public relations, news, sales, or other media, without the written consent of the appraiser.
 5. The appraiser will not disclose the contents of this appraisal report unless required by applicable law or as specified in the Uniform Standards of Professional Appraisal Practice.
 6. Information, estimates, and opinions furnished to the appraiser, and contained in the report, were obtained from sources considered reliable and believed to be true and correct. However, no responsibility for accuracy of such items furnished to the appraiser is assumed by the appraiser.
 7. The appraiser assumes that there are no hidden or unapparent conditions of the property, subsoil, or structures, which would render it more or less valuable. The appraiser assumes no responsibility for such conditions, or for engineering or testing, which might be required to discover such factors. This appraisal is not an environmental assessment of the property and should not be considered as such.
 8. The appraiser specializes in the valuation of real property and is not a home inspector, building contractor, structural engineer, or similar expert, unless otherwise noted. The appraiser did not conduct the intensive type of field observations of the kind intended to seek and discover property defects. The viewing of the property and any improvements is for purposes of developing an opinion of the defined value of the property, given the intended use of this assignment. Statements regarding condition are based on surface observations only. The appraiser claims no special expertise regarding issues including, but not limited to: foundation settlement, basement moisture problems, wood destroying (or other) insects, pest infestation, radon gas, lead based paint, mold or environmental issues. Unless otherwise indicated, mechanical systems were not activated or tested.
- This appraisal report should not be used to disclose the condition of the property as it relates to the presence/absence of defects. The client is invited and encouraged to employ qualified experts to inspect and address areas of concern. If negative conditions are discovered, the opinion of value may be affected.
- Unless otherwise noted, the appraiser assumes the components that constitute the subject property improvement(s) are fundamentally sound and in working order.
- Any viewing of the property by the appraiser was limited to readily observable areas. Unless otherwise noted, attics and crawl space areas were not accessed. The appraiser did not move furniture, floor coverings or other items that may restrict the viewing of the property.
9. Appraisals involving hypothetical conditions related to completion of new construction, repairs or alteration are based on the assumption that such completion, alteration or repairs will be competently performed.
 10. Unless the intended use of this appraisal specifically includes issues of property insurance coverage, this appraisal should not be used for such purposes. Reproduction or Replacement cost figures used in the cost approach are for valuation purposes only, given the intended use of the assignment. The Definition of Value used in this assignment is unlikely to be consistent with the definition of Insurable Value for property insurance coverage/use.
 11. The ACI General Purpose Appraisal Report (GPAR™) is not intended for use in transactions that require a Fannie Mae 1004/Freddie Mac 70 form, also known as the Uniform Residential Appraisal Report (URAR).

Additional Comments Related To Scope Of Work, Assumptions and Limiting Conditions

Appraiser's Certification

The appraiser(s) certifies that, to the best of the appraiser's knowledge and belief:

1. The statements of fact contained in this report are true and correct.
2. The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions and are the appraiser's personal, impartial, and unbiased professional analyses, opinions, and conclusions.
3. Unless otherwise stated, the appraiser has no present or prospective interest in the property that is the subject of this report and has no personal interest with respect to the parties involved.
4. The appraiser has no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
5. The appraiser's engagement in this assignment was not contingent upon developing or reporting predetermined results.
6. The appraiser's compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
7. The appraiser's analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice.
8. Unless otherwise noted, the appraiser has made a personal inspection of the property that is the subject of this report.
9. Unless noted below, no one provided significant real property appraisal assistance to the appraiser signing this certification. Significant real property appraisal assistance provided by:
The reported analysis, opinions, and conclusions were developed, and this report has been prepared, in conformity with the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute. The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives. The appraiser is not Continuing Education Program Completed in accordance with the Certification Standard of the Appraisal Institute.

Additional Certifications:

Definition of Value: Market Value Other Value: _____
 Source of Definition: Appraisal Institute

ADDRESS OF THE PROPERTY APPRAISED:
437 Hoffman Avenue
San Francisco, CA 94114
 EFFECTIVE DATE OF THE APPRAISAL: 04/13/2016
 APPRAISED VALUE OF THE SUBJECT PROPERTY \$ 2,000,000

APPRAISER

SUPERVISORY APPRAISER

Signature: *Kevin Reynolds*
 Name: Kevin Reynolds, SRA
 State Certification # AR006546
 or License # _____
 or Other (describe): _____ State #: _____
 State: CA
 Expiration Date of Certification or License: 07/20/2016
 Date of Signature and Report: 05/02/2016
 Date of Property Viewing: 04/13/2016
 Degree of property viewing:
 Interior and Exterior Exterior Only Did not personally view

Signature: _____
 Name: _____
 State Certification # _____
 or License # _____
 State: _____
 Expiration Date of Certification or License: _____
 Date of Signature: _____
 Date of Property Viewing: _____
 Degree of property viewing:
 Interior and Exterior Exterior Only Did not personally view

ADDENDUM

| | | |
|--------------------------------------|---------------------------|------------|
| Client: Perfero Properties LLC | File No.: Hoffman-437-SF2 | |
| Property Address: 437 Hoffman Avenue | Case No.: | |
| City: San Francisco | State: CA | Zip: 94114 |

The subject's front exterior was inspected on 04/13/2016. The interior was inspected on 10/09/2014. The owner reports no updates to the property except for some recent, rear yard landscaping. The structure is assumed to be in similar condition currently as it was in October or 2014.

The subject sold (closed) on 10/02/2014 for \$1,850,000. The appraiser appraised the subject on 10/09/2014 for refinancing.

The appraisal report is prepared for the sole and exclusive use of the lender to assist with the mortgage lending decision. No other party is authorized to use this report. This appraisal should not be used by the buyer (if applicable) to fulfill the appraisal contingency of the contract.

Scope of Work

Research of the subject property conducted which included county records, MLS, appraisal files and possibly other internet searches. The subject was inspected both interior and exterior where possible. The subject was measured and photographed. The owner and/or agent were questioned. Comparables were researched, driven and photographed. Representing real estate agents were questioned when needed and if available. Further information was researched upon writing the report. Information was compiled and analyzed and the report written and submitted to the appropriate party.

This appraisal report is not a home inspection; the appraiser only performed a visual inspection of accessible areas and the appraisal cannot be relied upon to disclose hidden or unapparent adverse conditions and/or defects in the property. The appraisal report does not guarantee that the property is free of defects. A professional home inspection is recommended for such information.

While care was taken in measuring the subject and drawing a sketch (or reproducing the layout via plans), the sketch is only an approximation and should not be relied on as a guarantee of square footage or room dimensions.

Legal Description

The land referred to is situated in the County of San Francisco, City of San Francisco, State of California, and is described as follows:

Commencing at a point on the Easterly line of Hoffman Avenue, distant thereon 183 feet Southerly from the Southerly line of 24th Street; running thence Southerly and along said line of Hoffman Avenue 27 feet; thence at a right angle Easterly 125 feet; thence at a right angle Northerly 27 feet; thence at a right angle Westerly 125 feet to the point of commencement. Being part of Horner's Addition Block No. 243.

Owner of Public Record

Trichrome LLC, a Delaware limited liability company and Counts Gold LLC, a Delaware limited liability company and Perfero Properties LLC, a Delaware limited liability company and N and O LLC, a Delaware limited liability company

Neighborhood boundaries and characteristics

The boundaries are 30th Street to the south, Market Street and Diamond Heights Blvd to the west, Market Street to the north, and Guerrero Street to the east.

Neighborhood Description

The subject is located in the Noe and Eureka Valley neighborhoods of San Francisco. This area is an urban residential environment composed mostly of average to good quality Victorian, Edwardian and urban row style buildings. It is partially on a hillside with views of the urban lights, downtown city skyline, San Francisco Bay and the Bay Bridge. Street parking is competitive, similar to other areas of San Francisco. Public transportation is available. 24th and Castro Streets are appealing commercial, mini-downtowns, with grocery, cafes, restaurants, retail and office uses. Proximity to these streets is a desirable feature.

Market Conditions

Exposure time is estimated to be two weeks to 45 days. Open market sales with conventional financing are typical in this market. Loan discounts and interest buydowns are uncommon. There is a significant imbalance of demand over supply currently. This situation is considered to have started approximately February of 2012 and has continued up to the present time. Multiple offers on properties are common, with 2-3 offers (or more) being common. This is considered to be the result of the pent-up demand that has occurred over the past few years from the downturn that occurred in September of 2008. Additionally, global companies like Google, Twitter, Zinga, Mozilla, Salesforce.com and others are headquartered or have major offices in the city and/or adjacent Silicon Valley, and as these companies are doing well and expanding, their employees are contributing to the demand for housing in the city. Google, Apple, Facebook and many other companies have shuttle bus service to neighborhoods in San Francisco. Per the SF Chronicle, May 11, 2012, San Francisco office occupancy in the first quarter of 2012 surpassed the pre-recession peak in 2007. Annual effective commercial rents in the SF Metropolitan area rose 6.8 percent, the biggest gain in the country, reports Reis Inc. The SF Chronicle, 08/16/12, reports Bay Area prices having risen 12.6% from July of 2011, per DataQuick. The September 15, 2012 San Francisco Chronicle reports the median price in August 2012 was 13.2% higher than in August 2011 per DataQuick. The December 14, 2012 San Francisco Chronicle reports Bay Area buyers paid a median price of \$438,000 last month, up 20.5 percent from November, 2011. The December 15, 2012 San Francisco Chronicle reports "The cost of occupying office space in San Francisco soared in 2012, rising the most of any market in the world" (ranked 26th). The 1/17/13 Chronicle reports residential prices increased 21% in San Francisco over the past 12 months per DataQuick. The Chronicle reports on 04/19/13 that residential prices increased 25.8% from March 2012 to March 2013 according to DataQuick. On 05/16/13 The San Francisco Chronicle reported that the nine county Bay Area region saw median prices increase 30.8% from a year ago with a 17% increase just in March of 2013 per DataQuick. On 08/16/2013 the SF Chronicle reported, per DataQuick, that San Francisco was the nations most competitive market, with 80.5% of successful home buyers facing multiple bids. It also reports prices increasing 17.6% from 07/2012 to 07/2013. Prices increased 25.7% from 09-2012 to 09-2013 according to Case-Shiller on 11/26/2013. The Urban Land Institute on 11/07/13 reported San Francisco as the top market in the United States, for the second year in a row, in all property types. On 02/27/2014 Case-Shiller reported San Francisco home prices rose 22.6% in 2013. It was one

ADDENDUM

| | |
|--------------------------------------|---------------------------|
| Client: Perfero Properties LLC | File No.: Hoffman-437-SF2 |
| Property Address: 437 Hoffman Avenue | Case No.: |
| City: San Francisco | State: CA Zip: 94114 |

of six cities of the top 20 reporting a gain during the month of December, 2013. Case-Shiller reported on 03/25/2014 that prices increased .5% in January 2014, with a seasonally adjusted increase of 1.7%. The San Francisco Chronicle reports on 07/17/2014 that the median price in San Francisco hit \$1,000,000, a 13.3% rise from 06/2013. The 09/28/2014 San Francisco Chronicle reports that the commercial rents per square foot for the upper floors of San Francisco office towers are the highest in the world, according to Knight Frank, a London real estate consultancy. The San Francisco Chronicle reports on 12/17/14, according to CoreLogic DataQuick, that the SFR inventory in San Francisco declined 20.2% from 11/14 compared to 11/13, and that the median SFR price increased 27.2% from November 2013 to November 2014. The San Francisco Chronicle reports on 01/01/2015 that 74,200 jobs were created in San Francisco since 2010 with 25,500 in 2014. From 2010-2013 fewer than 1,000 housing units were built per year and about 4,000 are projected to be delivered in 2015. Zillow reports residential prices increased 11.5% in San Francisco in 2014. Case-Shiller reports San Francisco housing prices increased 3% from February 2015 to March 2015, the highest of the national 19 city index, and reports an increase of 10.3% from March 2014 to March 2015. On July 28th Case-Shiller reported the San Francisco Median median price increased 9.7% from May 2014 to May 2015 with a April/May 2015 increase of 1.3%. On January 26, 2016 Case-Shiller reported that San Francisco home prices increased 11% from November 2014 to November 2015, the second highest rate in the country for their 10 city reporting data. The San Francisco Chronicle reports on 04/20/2016 that Core Logic reports prices declined overall in San Francisco from February 2016 to March 2016 by .5% (however, this may be a statistically insignificant amount) with a year over year average of +5.7% (March 2015 to March 2016). There are some indications that the heated pace of the market may be starting to cool; however, it is not clear yet if prices have stopped increasing throughout all areas of San Francisco. Demand/supply varies depending on the neighborhood. The entire Bay Area economy is doing well with the San Francisco economy being extremely strong.

Condition of the Property

The subject is an average quality, Victorian residence in average overall condition. The floors are the original softwood and hardwood, in average condition. Slight settling or the warping of floor joists was noticed in the dining room/hall area, which is common for this age of residence. The windows are all single pane, wood frame. There is a deck at the rear of the house overlooking a large backyard. The kitchen has painted wood cabinets, granite counters and stainless steel appliances. There are wall heaters in the basement and main floor. The bath on the third floor has a vintage marble countertop, skylight, ceramic tile floor and ceramic tile shower surround. The era of update is assumed to be 1990s. The basement has two rooms, additional laundry room and bath. The bath is in average condition but has outdated finishes. There are views of the urban lights and a small portion of the bay from the second and third floor rooms at the rear of the house, as well as from the deck off the dining room. Functional obsolescence is noted for the absence of a bath on the main floor. There is a partially finished sub-basement. This has a low, 6'2" ceiling height. An owner reports plans to gut and completely rebuild the subject. All four floors will be included in GLA as well as additional new space constructed to the rear. The subject is to be jacked up four feet +- for the construction of a new garage. The owner reportedly met with planning personnel at the planning department where verbal authorization was preliminarily given. Planning personnel cannot, however, make any definitive statements regarding the possibility of such a plan being approved for certain. The owner reports the proposed build-out will be a GLA of 4500+- sf SFR at an estimated cost of approximately \$2M. This information is all mentioned here to address the owner's future plans; however, the subject is being appraised as-is. The typical buyers for the subject, as-is, are considered to be 1.) those interested in the improvements the way they are, remodeling/updating within the present envelope of the house and 2.) developers interested in extensively rebuilding, like the subject's current owner. While the subject has relatively good potential to be developed with a larger structure, the uncertainty of plans being approved is a somewhat limiting factor. If the owner has approved plans for a substantial expansion then this may increase the value of the subject property. No economic obsolescence was noted.

Comments on Sales Comparison

All comparables are the most similar and most recent available per data sources available. All comparables are from the subject's competitive area.

No square footage adjustments are made. This is because all comparables' highest and best uses are considered to be for renovation/redevelopment. This complicates existing square footage and future added square footage. Additionally comparables' basement areas are often estimates and what constitutes basement area or GLA is also often subjective.

Positive time adjustments of .50%/month are made from March, 2012 to the present to reflect the increase in prices. See Neighborhood Market Conditions and the 1004MC for support.

None of the comparable sales had prior sales within one year of their sale dates.

Sale 1 may have the potential to be redeveloped with a larger residence, a SFR or 2-3 units. MLS remarks state "Buy and move right in or develop the lot! Sellers are including detailed development plans by Geddes Ulinskas Architects." It has partial views of the urban lights over the rooftop of the neighboring property, 262 Castro. The GLA was per an appraiser. LP:\$1,595,000

Sale 2's MLS remarks state "fixer..., well worn and bring your contractor". This property has similar views. The lower level was unfinished. The rear of the lower level would have to be finished and the house would have to be expanded to the rear to gain square footage. \$1,095,000

Sale 3 was a cash, trust sale. There is generally no difference in this market in regard to cash buyers compared to financed buyers. Multiple offers are prevalent. COEs typically are 30 days or less as buyers have to be prequalified to be taken seriously. Often cash buyers compete against other cash buyers. No discount is considered typical. The house was in average to good condition with no recent remodeling. It is currently gutted for complete renovation. LP:\$1,799,000

Sale 4 received five offers with an all cash sale. The lowest offer was at \$2.1M per the listing agent. This location is superior, being within a half block of the popular commercial area of 24th Street. (Sale 2 is located a few blocks west of the most popular areas of 24th Street.) The house has a very large envelope, with a developable attic and lower level. The lower level already has an extension to the rear. In this case neighborhood review of remodeling would not have to take place since there are no expected expansions of existing areas. The Realtor reported that the total, future finished area is assumed to be 4,500sf +- . LP:\$1,898,000

ADDENDUM

| | | |
|--------------------------------------|---------------------------|------------|
| Client: Perfero Properties LLC | File No.: Hoffman-437-SF2 | |
| Property Address: 437 Hoffman Avenue | Case No.: | |
| City: San Francisco | State: CA | Zip: 94114 |

Sale 5 is the most recent sale being essentially current. It is on a hillside like the subject with similar views east.
LP:\$1,799,000

Sale 6 is a new residence having been constructed where a prior residence was razed. It is used here to illustrate the potential for the subject if rebuilt. Sale 5's proximity to 24th Street is similar to Sale 4's. Square footage is not adjusted for. An adjustment is made for entrepreneurial risk as this can be substantial in this market.

Most emphasis is given to Sales 1-3 and 5. Sale 4's price appears high. Sale 6 is limited by accounting for its substantial risk factor.

Support for the Opinion of Site Value

Land value is by abstraction. The following are two neighborhood land sales. These are at higher prices, however, than the subject's abstracted land value. This is because early 1900s houses like the subject generally cannot be razed for new construction. The front facades and whatever expansions done in back of the front facades cannot be viewable from the street. This is done to preserve the early 1900s era characteristics of the neighborhood. Also rear or vertical additions must go through neighborhood review where resistance from neighborhoods hold up approval and can significantly influence approval of additions.

645 Duncan Street, a vacant lot, SFMLS#431501, sold on 03/31/15 for \$2,575,000. It is a 2,848sf, RH1 zoned lot with city skyline views. 1350 Noe Street, a vacant lot, SFMLS#429560, sold on 03/30/15 for \$2,250,000. It is a 1,982sf, RH2 zoned lot with approved plans for a 4,200sf SFR with city skyline views.

Cost Approach Comments

See Diagram Attached. No economic obsolescence is noted. Physical depreciation is estimated by the Age/Life method. High land to value ratio is typical for the subject's market area. Land value is derived by abstraction due to the unavailability of land sales. Appraiser notes that no current land sales were available for analysis.

Land Value: Sale 1: 1783 Noe Street, SFMLS#419274, sold for \$1,705,000 on 05/19/2014. It is a 875sf SFR in Glen Park, a competitive, but slightly inferior area (lower prices) to the subject's location. This property is in poor condition. It will almost assuredly be gutted, expanded and completely rebuilt. (San Francisco does not allow for the front facades of early 1900s era residences to be altered in any way, thus preserving the character of the neighborhood and city overall.)

Vacant land is considered to be more valuable than improved sites with SFRs that need gutting and rebuilding, as they are blank slates for development.

645 Duncan Street, a vacant lot, SFMLS#431501, sold on 03/31/15 for \$2,575,000. It is a 2,848sf, RH1 zoned lot with city skyline views.

1350 Noe Street, a vacant lot, SFMLS#429560, sold on 03/30/15 for \$2,250,000. It is a 1,982sf, RH2 zoned lot with approved plans for a 4,200sf SFR with city skyline views. This further supports highest and best use as SFR.

Cost amounts are taken from the Marshall and Swift Residential Cost Handbook and area builder and architect estimates. Entrepreneurial profit (although difficult to estimate) is included in the reproduction cost figures. THE USE OF COST APPROACH INFORMATION FOR INSURANCE PURPOSES IS NOT AN INTENDED USE OF THIS REPORT. USING IT FOR INSURANCE PURPOSES MAY INVOLVE A MISLEADING USE OF DATA.

Final Reconciliation

The Sales Comparison Approach best reflects buyer and seller actions and is thus the most reliable indicator of market value. The reliability of the Cost Approach is diminished due to the lack of similar land sales, and the difficulty in estimating accrued depreciation and entrepreneurial profit. The Income Approach is not utilized as single family residences in the subject's neighborhood are not typically purchased for income production, thus there is insufficient rental data to derive a value by the Income Approach.

Conditions of Appraisal

No personal property is included in the estimate of value. A Preliminary Report was not reviewed by this appraiser. The estimate of value is made upon the condition that title to the subject property is marketable, and free and clear of all liens, encumbrances, easements and restrictions except those specifically discussed in the report. Any legal or physical aspects of the subject property unknown to the appraiser at this time may require further analysis.

Market Conditions Addendum to the Appraisal Report File No. Hoffman-437-SF2

The purpose of this addendum is to provide the lender/client with a clear and accurate understanding of the market trends and conditions prevalent in the subject neighborhood. This is a required addendum for all appraisal reports with an effective date on or after April 1, 2009.

Property Address **437 Hoffman Avenue** City **San Francisco** State **CA** Zip Code **94114**
 Borrower **Perfero Properties LLC**

Instructions: The appraiser must use the information required on this form as the basis for his/her conclusions, and must provide support for those conclusions, regarding housing trends and overall market conditions as reported in the Neighborhood section of the appraisal report form. The appraiser must fill in all the information to the extent it is available and reliable and must provide analysis as indicated below. If any required data is unavailable or is considered unreliable, the appraiser must provide an explanation. It is recognized that not all data sources will be able to provide data for the shaded areas below; if it is available, however, the appraiser must include the data in the analysis. If data sources provide the required information as an average instead of the median, the appraiser should report the available figure and identify it as an average. Sales and listings must be properties that compete with the subject property, determined by applying the criteria that would be used by a prospective buyer of the subject property. The appraiser must explain any anomalies in the data, such as seasonal markets, new construction, foreclosures, etc.

MARKET RESEARCH & ANALYSIS

| Inventory Analysis | Prior 7-12 Months | Prior 4-6 Months | Current - 3 Months | Overall Trend | | |
|--|---|------------------|--------------------|--|--|---|
| Total # of Comparable Sales (Settled) | 146 | 60 | 64 | <input checked="" type="checkbox"/> Increasing | <input type="checkbox"/> Stable | <input type="checkbox"/> Declining |
| Absorption Rate (Total Sales/Months) | 24.33 | 20.00 | 21.33 | <input checked="" type="checkbox"/> Increasing | <input type="checkbox"/> Stable | <input type="checkbox"/> Declining |
| Total # of Comparable Active Listings | 59 | 39 | 40 | <input type="checkbox"/> Declining | <input checked="" type="checkbox"/> Stable | <input type="checkbox"/> Increasing |
| Months of Housing Supply (Total Listings/Ab.Rate) | 2.42 | 1.95 | 1.88 | <input checked="" type="checkbox"/> Declining | <input type="checkbox"/> Stable | <input type="checkbox"/> Increasing |
| Median Sale & List Price, DOM, Sale/List % | Prior 7-12 Months | Prior 4-6 Months | Current - 3 Months | Overall Trend | | |
| Median Comparable Sale Price | 2,112,000 | 1,900,000 | 2,237,500 | <input checked="" type="checkbox"/> Increasing | <input type="checkbox"/> Stable | <input type="checkbox"/> Declining |
| Median Comparable Sales Days on Market | 15 | 17 | 17 | <input type="checkbox"/> Declining | <input checked="" type="checkbox"/> Stable | <input type="checkbox"/> Increasing |
| Median Comparable List Price | 1,849,000 | 2,400,000 | 1,930,000 | <input type="checkbox"/> Increasing | <input type="checkbox"/> Stable | <input checked="" type="checkbox"/> Declining |
| Median Comparable Listings Days on Market | 17 | 35 | 18 | <input checked="" type="checkbox"/> Declining | <input type="checkbox"/> Stable | <input type="checkbox"/> Increasing |
| Median Sale Price as % of List Price | 115.36% | 108.37% | 110.70% | <input checked="" type="checkbox"/> Increasing | <input type="checkbox"/> Stable | <input type="checkbox"/> Declining |
| Seller (developer, builder, etc.) paid financial assistance prevalent? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | | <input type="checkbox"/> Declining | <input checked="" type="checkbox"/> Stable | <input type="checkbox"/> Increasing |

Explain in detail the seller concessions trends for the past 12 months (e.g., seller contributions increased from 3% to 5%, increasing use of buydowns, closing costs, condo fees, options, etc.). Interest buydowns are not a factor in the market. Sellers are not paying buyer NRCs. Sales concessions in new condominiums in large projects are not occurring. Above numbers are per all of MLS Area 5, residential properties, all prices. This is done as analysis of smaller markets limits the reliability of statistics. MCs with sample sizes matching the number of listings and sales reported at the top of the Sales Comparison Analysis Section result in meaningless statistics. The market, since about 03/2012, has become extremely strong, with multiple offers being typical and prices increasing substantially.

Are foreclosure sales (REO sales) a factor in the market? Yes No If yes, explain (including the trends in listings and sales of foreclosed properties).

Cite data sources for above information. SFMLS

Summarize the above information as support for your conclusions in the Neighborhood section of the appraisal report form. If you used any additional information, such as an analysis of pending sales and/or expired and withdrawn listings, to formulate your conclusions, provide both an explanation and support for your conclusions. The statistics above show the number of sales increasing, listings essentially stable, months of housing supply decreasing, prices increasing, sale DOM stable (at a very low number) and LP:SP ratio increasing. The above statistics show prices increasing. Absorption rate, months of housing supply, DOM and LP:SP ratio also support increasing prices. Positive time adjustments of comparables are considered supported at this time.

CONDO / CO-OP PROJECTS

If the subject is a unit in a condominium or cooperative project, complete the following: Project Name: _____

| Subject Project Data | Prior 7-12 Months | Prior 4-6 Months | Current - 3 Months | Overall Trend | | |
|---|-------------------|------------------|--------------------|-------------------------------------|---------------------------------|-------------------------------------|
| Total # of Comparable Sales (Settled) | | | | <input type="checkbox"/> Increasing | <input type="checkbox"/> Stable | <input type="checkbox"/> Declining |
| Absorption Rate (Total Sales/Months) | | | | <input type="checkbox"/> Increasing | <input type="checkbox"/> Stable | <input type="checkbox"/> Declining |
| Total # of Active Comparable Listings | | | | <input type="checkbox"/> Declining | <input type="checkbox"/> Stable | <input type="checkbox"/> Increasing |
| Months of Unit Supply (Total Listings/Ab. Rate) | | | | <input type="checkbox"/> Declining | <input type="checkbox"/> Stable | <input type="checkbox"/> Increasing |

Are foreclosure sales (REO sales) a factor in the project? Yes No If yes, indicate the number of REO listings and explain the trends in listings and sales of foreclosed properties.

Summarize the above trends and address the impact on the subject unit and project.

APPRAISER

| | |
|--|--|
| <p>APPRAISER</p> <p>Signature <u><i>Kevin Reynolds</i></u> Name <u>Kevin Reynolds, SRA</u> Company Name <u>Reynolds Associates</u> Company Address <u>70 Aquavista Way</u> San Francisco, CA 94131 State License/Certification # <u>AR006546</u> State <u>CA</u> Email Address <u>kev_rey@pacbell.net</u></p> | <p>SUPERVISORY APPRAISER (ONLY IF REQUIRED)</p> <p>Signature _____ Name _____ Company Name _____ Company Address _____ State License/Certification # _____ State _____ Email Address _____</p> |
|--|--|

SUBJECT PROPERTY PHOTO ADDENDUM

| | |
|--------------------------------------|---------------------------|
| Client: Perfero Properties LLC | File No.: Hoffman-437-SF2 |
| Property Address: 437 Hoffman Avenue | Case No.: |
| City: San Francisco | State: CA Zip: 94114 |



FRONT VIEW OF
SUBJECT PROPERTY

Appraised Date: April 13, 2016
Appraised Value: \$ 2,000,000



REAR VIEW OF
SUBJECT PROPERTY



STREET SCENE

COMPARABLE PROPERTY PHOTO ADDENDUM

| | |
|--------------------------------------|---------------------------|
| Client: Perfero Properties LLC | File No.: Hoffman-437-SF2 |
| Property Address: 437 Hoffman Avenue | Case No.: |
| City: San Francisco | State: CA Zip: 94114 |



COMPARABLE SALE #1

262 Castro Street
San Francisco, CA 94114
Sale Date: 11/01/2015
Sale Price: \$ 1,700,000



COMPARABLE SALE #2

818 Douglass Street
San Francisco, CA 94114
Sale Date: 11/06/2015
Sale Price: \$ 1,810,000



COMPARABLE SALE #3

24 Hartford Street
San Francisco, CA 94114
Sale Date: 05/01/2015
Sale Price: \$ 2,050,000

COMPARABLE PROPERTY PHOTO ADDENDUM

| | |
|--------------------------------------|---------------------------|
| Client: Perfero Properties LLC | File No.: Hoffman-437-SF2 |
| Property Address: 437 Hoffman Avenue | Case No.: |
| City: San Francisco | State: CA Zip: 94114 |



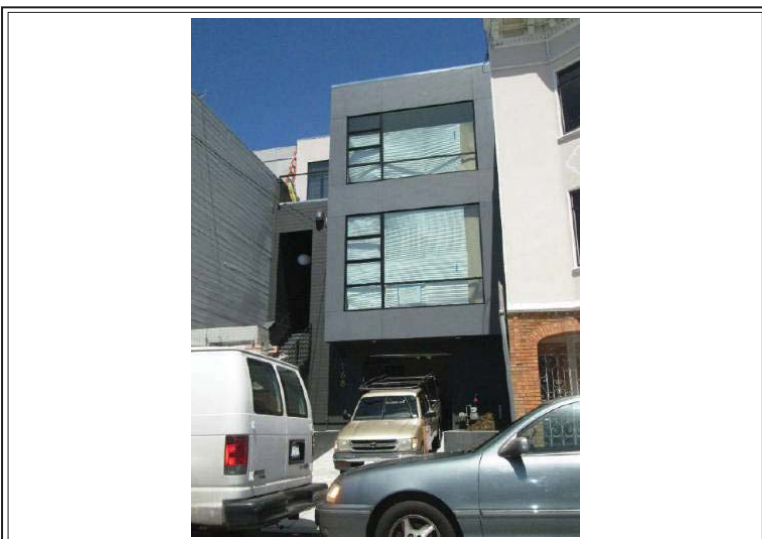
COMPARABLE SALE #4

1072 Noe Street
San Francisco, CA 94114
Sale Date: 07/23/2015
Sale Price: \$ 2,800,000



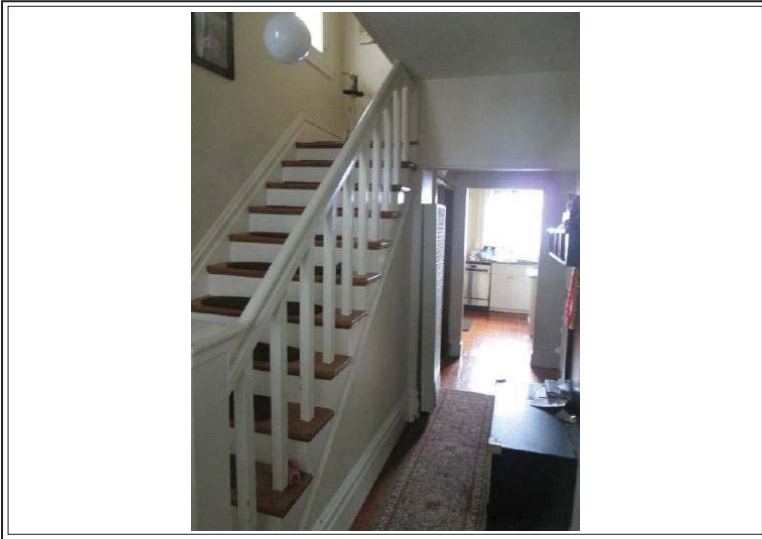
COMPARABLE SALE #5

1045 Church Street
San Francisco, CA 94114
Sale Date: 03/09/2016
Sale Price: \$ 2,225,000



COMPARABLE SALE #6

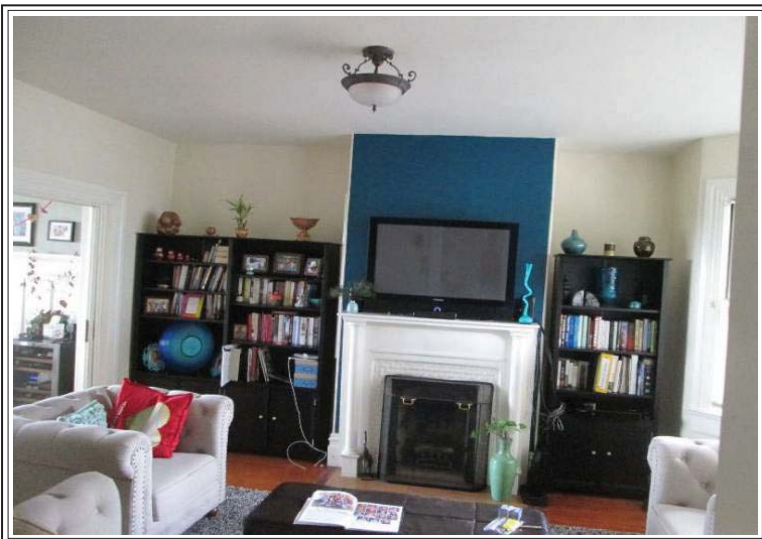
168 Jersey Street
San Francisco, CA 94114
Sale Date: 11/10/2015
Sale Price: \$ 5,700,000



From Entry



Dining Room



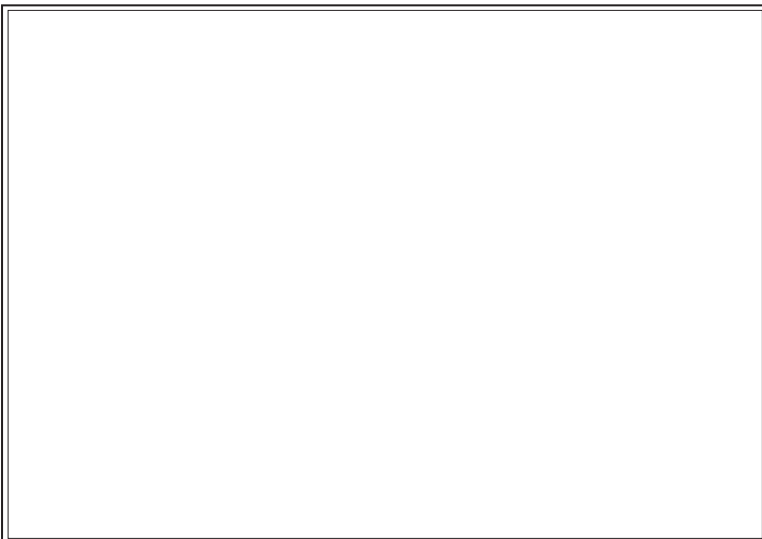
Living Room



Kitchen



Bath



Sub-basement



Front Bedroom



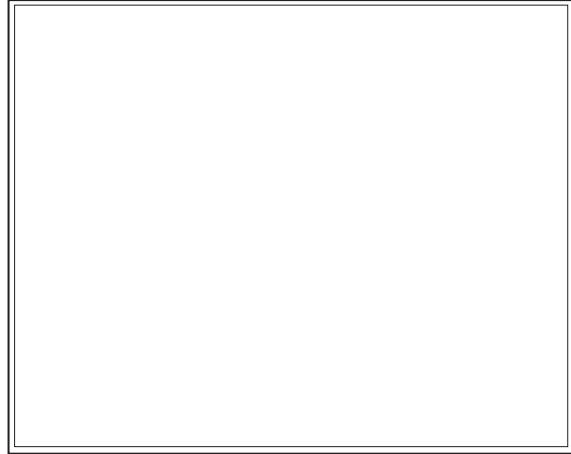
Basement Bath



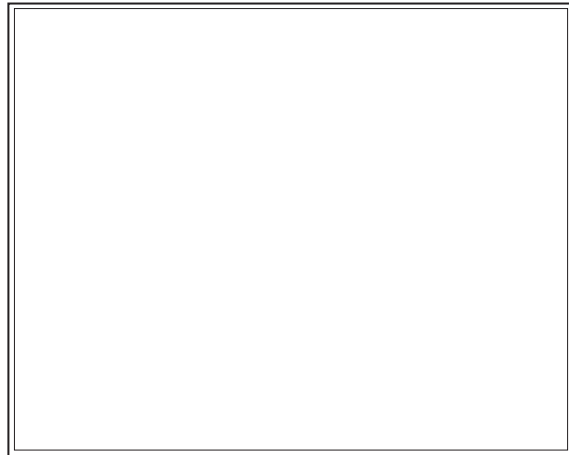
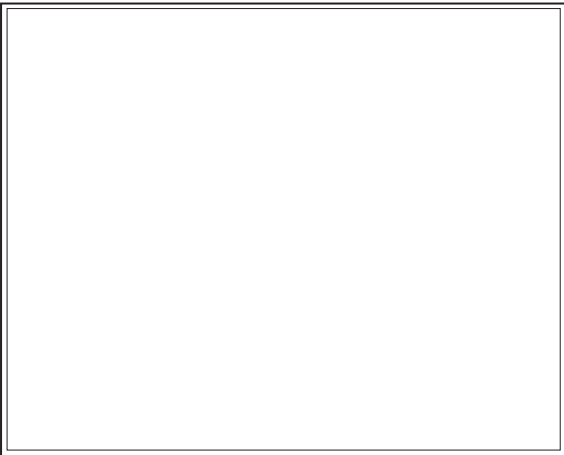
Sub-basement

Client: Perfero Properties LLC
Property Address: 437 Hoffman Avenue
City: San Francisco

File No.: Hoffman-437-SF2
Case No.:
State: CA Zip: 94114

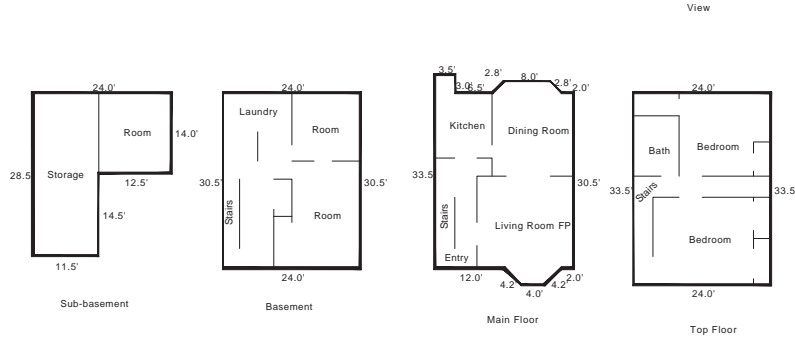


View



FLOORPLAN SKETCH

| | |
|--------------------------------------|---------------------------|
| Client: Perfero Properties LLC | File No.: Hoffman-437-SF2 |
| Property Address: 437 Hoffman Avenue | Case No.: |
| City: San Francisco | State: CA Zip: 94114 |



Seethy/Aspl/™

Comments:

| AREA CALCULATIONS SUMMARY | | | |
|---------------------------|--------------|--------|------------|
| Code | Description | Size | Net Totals |
| GLA1 | First Floor | 783.50 | 783.50 |
| GLA2 | Second Floor | 804.00 | 804.00 |
| BSMT | Basement | 732.00 | |
| | Sub-Basement | 502.75 | 1234.75 |
| TOTAL LIVABLE (rounded) | | | 1588 |

| LIVING AREA BREAKDOWN | | |
|---------------------------------|-------------|-----------|
| | Breakdown | Subtotals |
| First Floor | | |
| | 2.0 x 30.5 | 61.00 |
| | 22.0 x 30.5 | 671.00 |
| | 3.0 x 3.5 | 10.50 |
| | 2.0 x 8.0 | 16.00 |
| 0.5 x | 2.0 x 2.0 | 2.00 |
| 0.5 x | 2.0 x 2.0 | 2.00 |
| | 3.0 x 4.0 | 12.00 |
| 0.5 x | 3.0 x 3.0 | 4.50 |
| 0.5 x | 3.0 x 3.0 | 4.50 |
| Second Floor | | |
| | 24.0 x 33.5 | 804.00 |
| 10 Calculations Total (rounded) | | 1588 |

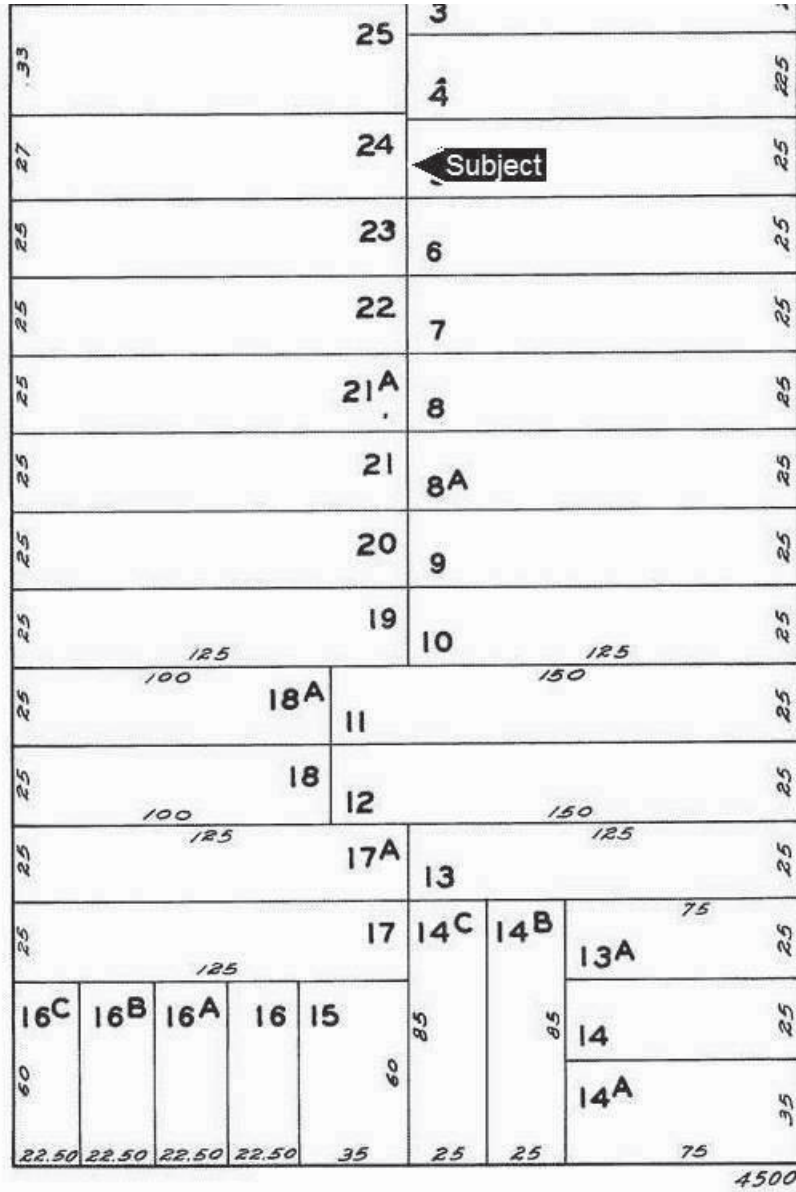
PLAT MAP

Client: Perfero Properties LLC
 Property Address: 437 Hoffman Avenue
 City: San Francisco

File No.: Hoffman-437-SF2
 Case No.:
 State: CA Zip: 94114

HOFFMAN AVE.

HOMESTEAD

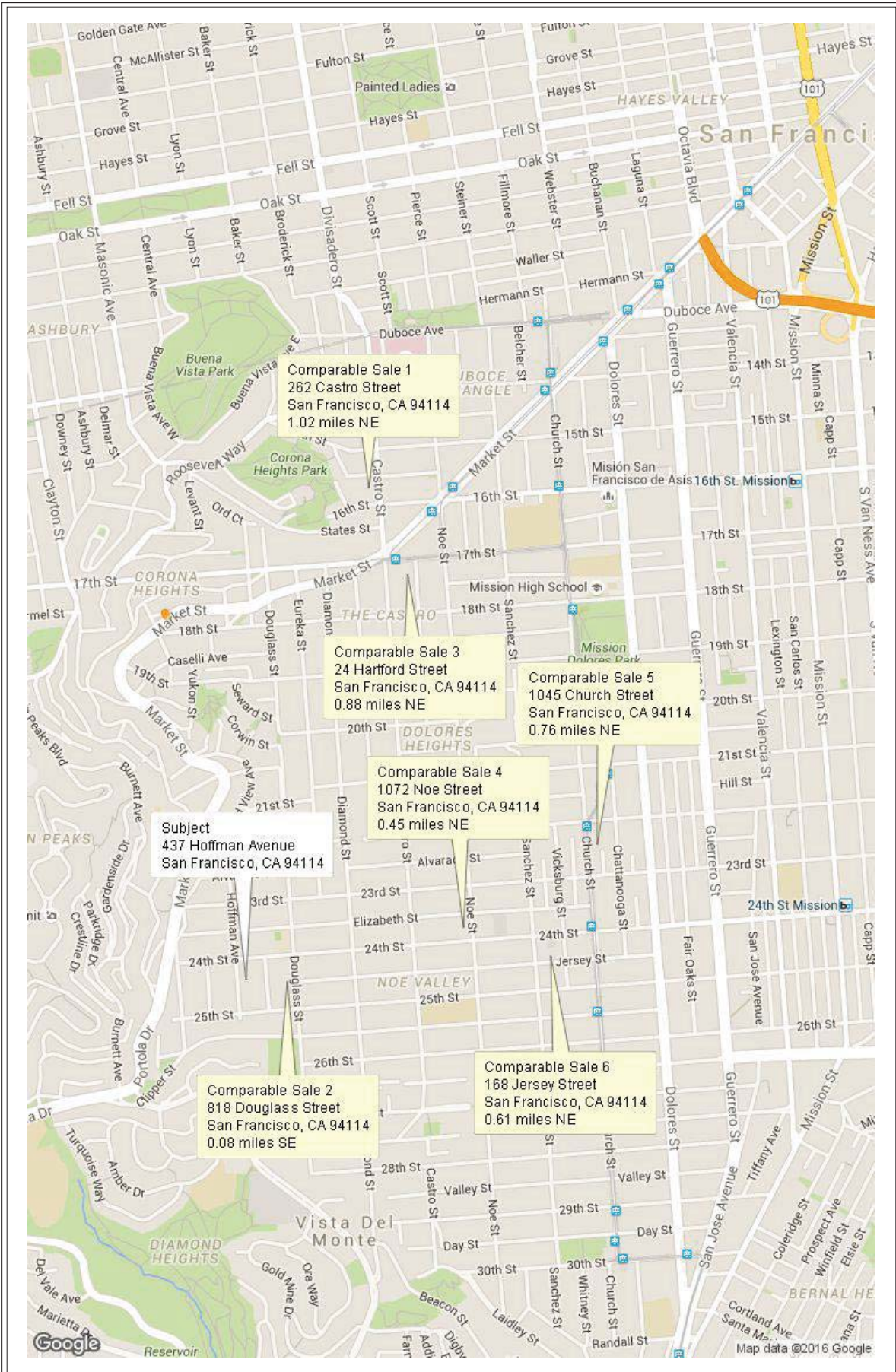


25TH

LOCATION MAP

Client: Perfero Properties LLC
Property Address: 437 Hoffman Avenue
City: San Francisco

File No.: Hoffman-437-SF2
Case No.:
State: CA
Zip: 94114



REYNOLDS ASSOCIATES
REAL ESTATE APPRAISAL SERVICES

File No. Hoffman-437-SF2

***** INVOICE *****

File Number: Hoffman-437-SF2

04/25/2016

Perfero Properties LLC
45 Walnut Avenue
Mill Valley, CA 94941

Invoice # : 6948
Order Date :
Reference/Case # :
PO Number :

437 Hoffman Avenue
San Francisco, CA 94114

| | | |
|-----------------------|-----|----------|
| Residential Appraisal | \$ | 750.00 |
| | \$ | |
| | | ----- |
| Invoice Total | \$ | 750.00 |
| Deposit | (\$ | 750.00) |
| Deposit | (\$ |) |
| | | ----- |
| Amount Due | \$ | 0.00 |

Terms: PAID IN FULL

Please Make Check Payable To:

REYNOLDS ASSOCIATES
70 Aquavista Way
San Francisco, CA 94131

Fed. I.D. #:

YOUR BUSINESS IS APPRECIATED!

PROGRESS NOE VALLEY

NEIGHBORS WHO SAY YES

June 1, 2017

President Rich Hillis
San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

LETTER OF SUPPORT FOR: **437 Hoffman Avenue**

Dear President Hillis, Vice President Richards, and Planning Commissioners,

ADVISORY BOARD

Daniel Camp

Michael Fasman

Dan Fingal-Surma

Laura Fingal-Surma

Jason Friedrichs

Kristy Friedrichs

Francisco Melli-Huber

Karin Payson

We write to reaffirm our support for the proposed project at 437 Hoffman Avenue. The current proposal adds a 1-story residential unit to an existing single family home in an RH-2 district. With “An astonishing 72% of the city’s privately owned parcels ... zoned for single-family housing (RH-1) and two-unit housing (RH-2),” this is exactly what must be done to begin to alleviate the housing shortage devastating our city.¹

Most Noe Valley neighbors do not have the luxury of time to spend at the Planning Commission to counteract a vocal minority attempting to pull up the drawbridge through arbitrarily small massing that has the effect of reinforcing exclusionary zoning and artificially inflating the values of existing homes. We assure you that there are many Noe Valley residents who want a vibrant, welcoming, and inclusive neighborhood. This is what a few of our members had to say about the proposed project:

¹ <http://sf-planning.org/article/housing-families-children>

"This project is very sensitively designed to both fit in and add needed density and units. The required rear yard is maintained with no encroachments, the front facade fits in to the existing fabric, a garage is added to lessen the stress of street parking. This project, and ones like it, should be supported."

"San Francisco needs to build more housing if we are to reclaim our status as a city that is welcoming to all. For too long, small decisions like these have erred on the side of restricting growth and opportunity for San Franciscans, robbing them of the housing we all need. All neighborhoods should be exploring opportunities to add multi-story housing that fits in with the neighborhood, Noe Valley included. Let's build more housing so that more San Franciscans can afford to stay here."

"If we don't add proper massing to the neighborhood, higher density housing will always be considered 'out of context.' That is a shame."

"Projects like 437 Hoffman are the *very least* that Noe Valley can do to begin to address the extreme housing shortage."

"Speaking as a resident of Noe Valley and San Francisco, it is absolutely absurd that compliant projects are held hostage by a small group of neighbors that want the city frozen in time. Just think of what the possibilities would be if all the time and energy that is put toward DR's were focused on real problems."

The discretionary nature of permits for small residential projects pits neighbor against neighbor, setting the stage for bullying and extortion. It does not make for healthy and happy neighborhoods. We urge you to revive Discretionary Review reform and streamline the process of adding

density to our residential neighborhoods. Housing in San Francisco does not have to be a zero sum game.

The project sponsor has already made a staggering number of concessions. Through form-based zoning, the massing that has been lost could have been put toward producing another unit that would be completely compatible with the neighborhood. As usual, there are no exceptional or extraordinary circumstances. Please approve 437 Hoffman without further reductions.

Sincerely,
Progress Noe Valley Advisory Board
On behalf of 275+ members

cc:
Nancy Tran

PROGRESS NOE VALLEY

NEIGHBORS WHO SAY YES

March 28, 2016

President Rodney Fong
San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

**LETTER OF SUPPORT FOR:
437 Hoffman Avenue, San Francisco, CA**

Dear President Fong, Vice President Richards, and Planning Commissioners,

ADVISORY BOARD

Daniel Camp
Michael Fasman
Dan Fingal-Surma
Laura Fingal-Surma
Jason Friedrichs
Kristy Friedrichs
Karin Payson

Progress Noe Valley values investment in our neighborhood and encourages improvements. We are a new neighborhood group more than 180 members strong that is part of the growing YIMBY — Yes In My BackYard — movement. We believe that creative solutions to managing growth in the city and region will include higher densities, and that our neighborhood should do its part.

We understand that the the proposed project at 437 Hoffman Avenue has been found to be in compliance with all relevant Planning Codes and guidelines. We trust the Planning Department's expertise in determining how to grow our city and support approval of this project.

Sincerely,

Advisory Board
Progress Noe Valley

June 2, 2017

Dear President Hillis, Vice President Richards, Commissioner Moore, Commissioner Koppel, Commissioner Melgar, Commissioner Fong:

RE: 437 Hoffman Avenue. 2015-003686DRP

This project was before you one year ago as a Conditional Use.

Prior to the CUA hearing in June 2016, during the Spring of 2016, the Project Sponsor decided that the Project was indeed Tantamount to Demolition. The three Requests for Discretionary Review for the Alteration, which had been filed in late 2015 by three immediately adjacent neighbors, had to be withdrawn. At the June 2016 CUA hearing the Commission had a thorough and wide-ranging discussion of the project and requested revisions from the Project Sponsor. Hearings scheduled for October 2016 and January 2017 were continued by the Project Sponsor.

Now it is June 2017 and this Project is back before you as an Alteration, with the three original Requests for Discretionary Review and one additional DR Request from another immediate neighbor. The Project Sponsor *now* says the Project is *not* Tantamount to Demolition.

Before the Commission can pass a Motion to take DR or to not take DR, it is necessary to have a complete discussion and analysis of the Demolition Calculations for the Project at three points in this process. Thank you.

Just to be clear, here is what specifically needs delineation:

- *What were the Demo Calcs in June 2016?*
- *What were the Demo Calcs from the Winter of 2015 through the Spring of 2016? Was there more than one set of Demo Calcs in this period?*
- *What are the Demo Calcs now In June 2017 and how do they compare with all previous Demo Calcs?*

Georgia Schuttish

EXTRAORDINARY AND EXCEPTIONAL

June 2, 2017

Dear President Hillis, Vice President Richards, Commissioner Fong, Commissioner Johnson, Commissioner Koppel, Commissioner Moore, and Commissioner Melgar:

Please Take DR On This One

- The developers' unwillingness to work with the neighbors or to work in accordance with the directives of the Commission is extraordinary, exceptional, egregious and outrageous.
- The history of the house is extraordinary and exceptional.
- That the house was allowed to be merged into one unit is extraordinary and exceptional.
- That the proposed house is more than a full story taller than neighboring homes is extraordinary and exceptional.
- That the proposed house front height extends all the way back on a hill with more than a 20% (20'?) grade is extraordinary and exceptional.
- That the elderly neighbor will lose all his direct sunshine as a result is extraordinary and exceptional.
- That the neighbors have been fighting the "same" development with a few notches cut out and/or moved here and there for **five** years is extraordinary and exceptional.

AND...THE FAÇADE IS TOO CHARMING TO DESTROY



REASONS TO TAKE DR



05/10/2017

THREE GOOD REASONS TO TAKE DISCRETIONARY REVIEW

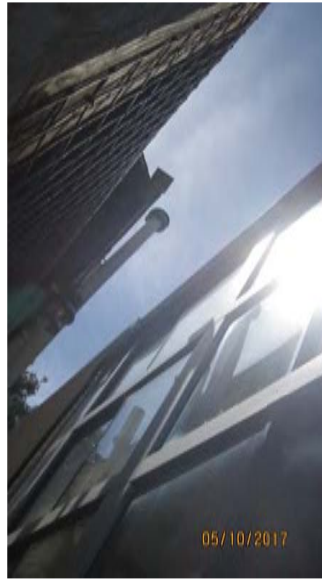
1. **There are three (3) factors relating to Prof. Giesler's property.** He is an immediate neighbor to the north, and the incredible loss of light & sunshine he will endure in his home of many years is unacceptable. This loss of light & sunshine will occur due to the following:

- a. The closing in of the breezeway at 437 Hoffman
- b. The loss of the sloping roof and the flattening of the new roof on the expansion at 437 Hoffman
- c. The increased height of the and horizontal expansion of the existing top story at 437 Hoffman

All three (3) will block the southern exposure that he now enjoys and will plunge his home into shadow. This is completely contrary to the RDG and far beyond the privacy tolerances to be expected.



Direct sun hits
this side of house



Direct sun hits
this side of house
all day



Only light source
for bathroom

2. The project will negatively impact the distinct character of Hoffman Avenue, regardless of the front setback on the addition.

- a. The additional height will be visible from the public right-of-way because of the change in grade as the street rises to the south.
- b. The additional height will be visible because the homes to the south of the project have low-slung peaked roofs.
- c. The proposed metal roof will be visible because of 2a and 2b, and it and is completely out of character for a San Francisco Residential neighborhood.



SOMETHING LIKE THIS

3. The Planning Commission has given directions to the Project Sponsors at the hearing one year ago, June 30, 2016 and they have not been responsive to those directions. NOTHING HAS CHANGED.

- * “I think the problem is... it’s a great historic building, and the context as you go up that street...they are smaller in height; kind of cottage-looking.” [Hillis, June 30, 2016]
- * “...engage into a dialog with the neighbors about very specific issues; that includes the breezeway and leaving a comfortable living environment, even if the home is larger, for the adjoining neighbors.” [Moore, June 30, 2016]
- * “It should really, in its extension to the rear, step down in order to create a more harmonious and less intrusive relationship to those people, who spoke and showed the relentlessness of this long building.” [Moore, June 30, 2016]
- * “I believe that this particular building deserves to be designed with a strong focus on Residential Design Guidelines. And, actually, Residential Design Guidelines should drive the design of this project. What I mean by that is sculpting the project to be site specific and responsive to where it is. I think one of the most glaring errors of this project is that it doesn’t step down.” [Moore, June 30, 2016]
- * “You can eliminate the garage. You’ve got a single-family home; make kind of an addition to the back that’s significant, too, and gets you a significant home. So, I think the garage is causing problems. It’s the tree; it’s the demo; it’s the lifting up; it’s the historic `integrity of the building, and it kind of spirals.” [Hillis, June 30, 2016]
- * “I agree with Commissioner Hillis, putting the garage in really takes this into a spiral. And I think you’re going to need to work with the neighbors and work more sensitively around keeping more of the building there and expanding as much as you can without actually destroying what you’ve got, and that includes the tree.” [Richards, June 30, 2016]
- * “There is no birthright in the fact that a house across the street or somewhere is higher or has a garage. Your site-specific response, and I’m talking to the architect, is what either makes or breaks a unit.” [Moore, June 30, 2016]
- * “I think the project sponsor might be willing to, and I can check with them, to reduce the size of the terraces, which would meet some concerns about privacy.” [Antonini, June 30, 2016]
- * “This is in the public right-of-way, a tree that could easily be declared to be a legacy tree, and something for which we could get preservation status because we don’t believe that because it has lifted roots, which is not really an issue, it needs to be taken away; it doesn’t.” [Moore, June 30, 2016] *Note: The tree may stay.

May 28, 2017

San Francisco Planning Commissioners
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: Discretionary Review Hearing for 437 Hoffman Avenue – Permit No. 201404113029

President Hillis, Vice President Richards, and Members of the Planning Commission:

On behalf of Noe Neighborhood Council, I am writing to express our support for the four Discretionary Review (DR) requests regarding the proposed project at 437 Hoffman Avenue.

Close to a year ago, this project was before you for the Conditional Use Authorization required for the demolition of the existing home and its replacement with a massively out of scale structure. At the time, you concurred with our sentiment and deemed this project troublesome enough to send it back for revisions. You instructed the Project Sponsor to work with the neighbors to come up with a more appropriate design suitable for the mass and scale present at this block of Hoffman Avenue.

However, a year later and the new design is hardly any different than the old one. The proposed project still stands as an out of scale structure that is taller than its adjacent buildings by a full story. This is in contrast to what the Residential Design Guidelines (RDG) calls for and more importantly, it begs the question why a year into this and no real changes were made to better address the height, mass, and scale of this project.

This is why we urge you to take DR and require the Project Sponsor to reduce the height, mass, and scale of the proposed project to make it more in line with the existing homes on the block.

Sincerely,

Ozzie Rohm
On behalf of the 250+ members of Noe Neighborhood Council

From: L Gerard <lgerard55@gmail.com>
To: richhillissf <richhillissf@yahoo.com>; christine.d.johnson <christine.d.johnson@sfgov.org>; joel.koppel <joel.koppel@sfgov.org>; myrna.melgar <myrna.melgar@sfgov.org>; mooreurban <mooreurban@aol.com>; dennis.richards <dennis.richards@sfgov.org>; o: planning <planning@rodnefong.com>
Cc: Cc: commissions.secretary <Commissions.Secretary@sfgov.org>; nancy.h.tran <nancy.h.tran@sfgov.org>
Sent: Sun, May 28, 2017 3:26 pm

Subject: Subj: 437 Hoffman Avenue, June 15, Permit App. #2014.04.11.3029

Dear President Hillis and Members of the Commission:

I am writing concerning the proposed development project of 437 Hoffman Avenue. I am opposed to this project as presently configured. I am aware the project developers have made a few revisions to their plan. However, their intention is to transform a single family home into a four story monster that will loom over us for a long time and set a bad precedent. This project is way out of scale to our neighborhood and to our street.

On June 30, 2016, the Commission gave the project sponsors an 8-point directive to modify their proposal. I urge you to review the developers presentation on June 15th with these points in clear view. A lot is at stake for all of us.

I have owned my own home 470 Hoffman Avenue for over thirty years. I welcome change and new residents to our neighborhood that will retain and contribute to the unique community we call Noe Valley.

Sincerely yours,

Lenore Gerard

Submitted by Janet Fowler re 437 Hoffman DR for June 15, 2017. page 8
Wed, May 31, 2017 11:00 am
Fwd: 437 Hoffman Avenue, DR June 15th, 2017, #2014.04.11.3029
From Janet Fowler jfowlers@aol.comhide details

richhillissf richhillissf@yahoo.com, dennis.richards dennis.richards@sfgov.org, planning planning@rodneymelgar.com,
To christine.d.johnson christine.d.johnson@sfgov.org, joel.koppel joel.koppel@sfgov.org, myrna.melgar myrna.melgar@sfgov.org,
mooreurban mooreurban@aol.com
Cc commissions.secretary commissions.secretary@sfgov.org, nancy.h.tran nancy.h.tran@sfgov.org
I am forwarding this email letter that my neighbor, Uschi, sent to you via my email address.

-----Original Message-----

From: ursula widera-cohen <aquariurs@googlemail.com>
To: Janet Fowler <jfowlers@aol.com>
Sent: Sat, May 27, 2017 12:46 pm
Subject: 437 Hoffman Avenue, SF, June 15th, 2017

437 Hoffman Avenue, SF, June 15th, 2017, Permit App. #2014.04.11.3029

Dear President Hillis and Members of the Commission:

My name is Ursula Widera-Cohen, and I have lived at 412 Hoffman Avenue for 25 years across the street from 437 Hoffman Avenue in a 2-1/2 story house, not in a 4-story house as described by the developer and the Residential Design Team; there are no 4-story houses on this street. I'm writing to express my support for the 4 DR requestors regarding the project at 437 Hoffman Avenue. It saddens me that historical houses/Victorians such as 437 Hoffman Avenue are not protected in San Francisco as they are a hallmark of our fair City by The Bay which I have been proud to present as a tour-guide-chauffeur for over 3 decades to visitors from all over the world to our destination city.

437 Hoffman Avenue is such a house that was built by a seafaring man at the turn of the previous century. It has always been well taken care of by the families who have lived in it; and we are so lucky to have such a lovely treasure in our midst! I request that you help preserve the house and the character of our neighborhood; and in addition I would like to express that I really feel for my neighbors: Mr. Gene Geisler on one side of the proposed project and Mr. Paul Lefebvre and Mr. Stephen Baskerville on the other side, adjacent to the proposed project. These neighbors would lose their privacy and light if the project were to go forward as proposed.

Please uphold your concerns and suggestions from a year ago when this project came before you as a tantamount to demolition project. I politely request for careful consideration to preserve the neighborhood, landscape and quality of life of those who are affected directly!

Sincerely,

Ursula Widera-Cohen.

From: Rusty McCall <rustymccall@hotmail.com>

Sent: Tuesday, May 30, 2017 11:56 AM

To: richhillissf@yahoo.com; dennis.richards@sfgov.org; planning@rodneymfong.com; christine.d.johnson@sfgov.org; joel.koppel@sfgov.org; myrna.melgar@sfgov.org; mooreurban@aol.com; nancy.h.tran@sfgov.org; Commissions.Secretary@sfgov.org

Subject: 437 Hoffman Avenue, June 15 hearing, Permit App. #2014.04.11.3029

Dear President Hillis and Members of the Commission:

My name is Russell McCall and I live at and own 461 Hoffman Ave. I bought my house in 2008 and renovated a few years later, within its original footprint and with concern for the effects on my neighbors' enjoyment of their homes.

I am writing to voice my opposition to the proposed development of an oversized home at 437 Hoffman Avenue. I'd also like to say there is a worrying trend toward oversized homes, and our neighborhood height limits should be lowered. The owners of 437 want to build as much as 5800 square feet and a story higher than both neighboring homes. The project is out of scale for the block and neighborhood. The project includes adding a garage and requires the removal of a significant old street tree. At the same time, it compounds the mistake of the loss of a dwelling unit with another mistake by replacing an affordable house fit for an average family with a monster house affordable only to very few. We ask the San Francisco Planning Department to enforce the **Residential Design Guidelines** to maintain the scale and character of our neighborhood by requiring the Project Sponsor to eliminate the additional top story, to protect the mid-block open space by reducing the footprint, and to provide rear terracing and side setbacks to maintain light and privacy for surrounding neighbors. We also ask the Planning Department to order the Project Sponsor to revise the plans in accordance with the last hearing results.

The owner of 465 Hoffman Ave was allowed to build an oversized single family spec home in 2008, and it towers over my house at 461 Hoffman Ave, which has been the same height as when it was built over 100 years ago. It was built straight up on the property line and would be much more enjoyable if only it had any kind of peaked roof. As a result, it blocks my sunlight in most months and blocks my solar panels in the winter. I renovated my home recently, but I did so in order to add a basement unit. My renovation also was done within the existing envelope and without raising the height of the building. I kept both of my historic street trees, and preserved the two existing street parking spots in front of my house.

Thank you,
Russell McCall
461 Hoffman Ave

Subject: 437 Hoffman Avenue, June 15, Permit App. #2014.04.11.3029

From: <info@anjuchinesemedicine.com>

Date: Thu, June 01, 2017 7:46 pm

To: richhillissf@yahoo.com, dennis.richards@sfgov.org,
planning@rodneyfong.com, christine.d.johnson@sfgov.org,
joel.koppel@sfgov.org, myrna.melgar@sfgov.org, mooreurban@aol.com

Cc: issions.Secretary@sfgov.org, nancy.h.tran@sfgov.org

Dear President Hillis and Members of the Commission:

My name is Anju Gurnani, and I have lived on Homestead Street for 21 years. I have been a resident of San Francisco for 27 years.

I am writing to oppose the proposed development of a massive single-family home at 437 Hoffman Avenue. At 5300 to 5400 square feet and more than a storey higher than both neighboring homes, the project is excessively out of scale and character for the block and neighborhood. The proposed project pushes up the entire house for the sole purpose of adding a garage, thereby blocking out the sunshine of one neighbor and walling in another neighbor. It also requires the removal of a significant old street tree. The proposed plan compounds the mistake of the loss of a dwelling unit with another mistake by replacing an affordable house fit for an average family with a monster house affordable only to very few. As such, this proposed plan for yet another monster construction has become one more example of speculation that has become a trend in San Francisco. I along with my other concerned neighbors ask that the San Francisco Planning Department enforce the city's **Residential Design Guidelines** in order to maintain the scale and character of our neighborhood by requiring the Project Sponsor to eliminate the additional top storey, to protect the mid-block open space by reducing the proposed rear projection and instead provide rear terracing and side setbacks to maintain light and privacy for surrounding neighbors. We also ask the Planning Department to order the Project Sponsor to once again revise the plans in order to follow the directives from the last commission meeting on June 30, 2016.

Sincerely,
Dr. Anju Gurnani, (DAOM, LA.c.)

From: **Fouzieyha Towghi** <ftnazgul@gmail.com>

Date: Fri, Jun 2, 2017 at 1:29 PM

Subject: 437 Hoffman Avenue, June 15, Permit App. #2014.04.11.3029

To: richhillissf@yahoo.com, dennis.richards@sfgov.org, planning@rodnevfong.com,

christine.d.johnson@sfgov.org, joel.koppel@sfgov.org, myrna.melgar@sfgov.org, mooreurban@aol.com

Cc: Commissions.Secretary@sfgov.org, nancy.h.tran@sfgov.org

Dear President Hillis and Members of the Commission:

My name is Fouzieyha Towghi, and I have lived on Homestead Street, San Francisco for 20 years.

I am writing to oppose the proposed development of a massive single-family home at 437 Hoffman Avenue. The proposed 5300 to 5400 square foot structure is more than an entire story higher than both neighboring homes; the project is excessively out of scale and character for the block and neighborhood. The proposed project pushes up the entire house for the sole purpose of adding a garage, thereby blocking out the sunshine of one neighbor and walling in another neighbor. It also compounds the mistake of the unit merger and the loss of a dwelling unit with another mistake by replacing an affordable house fit for an average family with a monster house affordable only to very few even if it includes an unlikely-to-be-rented unit below the garage. We ask that the San Francisco Planning Department enforce the city's **Residential Design Guidelines** in order to maintain the scale and character of our neighborhood by requiring the Project Sponsor to eliminate the additional top story, to protect the mid-block open space by reducing the proposed rear projection and instead provide rear terracing and side setbacks and keep the same peaked roof from front to back to maintain light and privacy for surrounding neighbors. Also, rather than planting a new tree, the existing old tree in front of the house should be retained. The tree can be pruned to avoid the electric wires.

The supposed revised proposed development plans have not followed the recommendations from the last commission meeting such as to maintain breezeway between Dr. Geisler's property and the project; eliminate the garage to reduce addition of mass at the rear; reduce the height to allow sunlight to adjacent buildings; step down the building at the rear and on the streetscape; and to retain the facade and more of the building.

Sincerely,

Dr. Fouzieyha Towghi, Ph.D., MPH

Dear President Hillis, Vice President Richards, and Members of the Planning Commission:

I am a new homeowner at 76 Homestead Street. I am writing to express my support of the four Discretionary Review requests regarding the proposed project at 437 Hoffman Avenue. I live directly behind "the bunker" (as named by my neighbors), which is one of the largest and tallest, least attractive and most out-of-scale homes on Hoffman Avenue. The proposed project at 437 Hoffman Avenue will bring another monster home to the block, setting a bad precedent and incentivizing the transformation of modest housing into monster homes that loom over us.

The proposed project is out of scale and out of character with the neighborhood. On Hoffman Avenue, the front facade will stick up a full story between smaller homes. From the rear, the home will be a big wall looming over Homestead St. Its mass will be visible from front to back from the Hoffman uphill slope to the south.

On June 30, 2016, this project was heard as a CUA, and the Commission agreed with the neighbors that the structure required serious redesign to conform to the scale and character of the neighborhood, and to leave the adjacent neighbors with a more comfortable living environment.

The 437 Hoffman Avenue project has changed very little since the June 30th hearing. Please stand by your recommendations from that hearing and require that the project be reduced in height, mass, and scale so that it reasonably conforms to existing homes on the block and the scale and character of the neighborhood and is respectful and considerate to neighbors.

Yours Truly,

A handwritten signature in black ink, appearing to read 'JF', with a stylized flourish extending to the right.

From: Linas Rukas <lrukas@yahoo.com>

To: richhillissf <richhillissf@yahoo.com>; dennis.richards <dennis.richards@sfgov.org>;
planning <planning@rodneymfong.com>; christine.d.johnson

<christine.d.johnson@sfgov.org>; joel.koppel <joel.koppel@sfgov.org>; myrna.melgar
<myrna.melgar@sfgov.org>; mooreurban <mooreurban@aol.com>

Cc: commissions.secretary <commissions.secretary@sfgov.org>; Tran Nancy (CPC)
<nancy.h.tran@sfgov.org>

Sent: Tue, May 30, 2017 9:26 am

Subject: 437 Hoffman Avenue, June 15, Permit App. #2014.04.11.3029

Dear President Hillis and Members of the Commission:

My name is Linas Rukas and my address is 21 Fountain St.. i would like to voice my objection to the proposed development of the house at 437 Hoffman. What is being considered is way out of character and scale of the adjacent properties as well as the neighborhood. The new structure would significantly adversely effect the sunlight and air of the surrounding properties.

San Francisco is starting to see a proliferation of these hulking "McMansions" that are totally out of character of the city.

Noe Valley has a particular charm, some of which is due to the scale of the houses. it's clear from the developer's intentions that there is a blatant disregard for the residents, some of which have lived there for decades, that currently live in close proximity to the proposed redevelopment. The neighbors don't oppose redevelopment but do oppose redevelopment that seriously undermines their quality of life. i hope that you force the developer to scale back their plans so that the all residents can enjoy their homes. That truly is all anyone's asking for.

What is also truly offensive is that this was already heard once last year in a "demolition" hearing and very clear directives were given by the board to alter the plans in very meaningful and thoughtful ways. Rather than comply, the developer made minor changes to the plans so that it was no longer a demolition and cynically resubmitted the plans that the commission found objectionable thereby attempting to game the system. This should not be allowed to happen.

Regards,

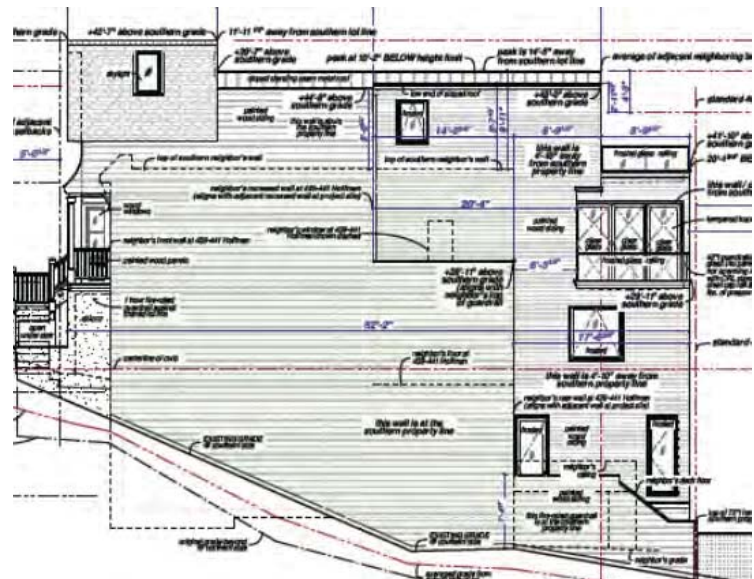
-Linas A. Rukas
21 Fountain St., 94114
847 902-9240

THE ROAD TO SPEC HOUSE

- 1905 – 2013 Two-Unit Home, no garage
First house on that east side of block
- *1906 – Home to Getty family and as many as 17 earthquake refugees
- *Numerous unknown owners and tenants
- 2008 Unit Merger CUA, not completed
- 2010 Home Sold with Open Merger Permit
- 2012 Merger Permit Withdrawn
- 2013 One Unit Home, Merger Permit Completed
- 2014 Expansion Plans [201404113029](#), open
- 2014 Home sold with open permit [#201404113029](#)



1904



2018?

Remarks submitted by Ernie Beffel, DR requestor

| | |
|--|---|
| <p>My name is Ernie Beffel. I live at 70 Homestead. I am presenting these remarks in writing, because the DR hearing date was rescheduled to a date that the Planner knew I would be in Sweden on an annual visit with clients. Advantages of this format are that you can view it at your leisure and I can concisely convey ten minutes of information, instead of three.</p> | <p>Corresponding photos and materials identified:</p> |
| <p>The PC should adopt 55 Homestead as a model of an appropriately scaled project in this neighborhood, because the developer, planning staff and these neighbors collaborated and agreed on a reduced project scale. The 55 Homestead project has a sharply peaked roof and no dormers. At 3560 square feet, it is less inconsistent with the 2000 square foot average building on block 6503. That is why 55 Homestead, 200 feet away from 437 Hoffman, should be our model, our touchstone.</p> | <p>Before and after rear elevations, last page of DR photo essay.</p> |
| <p>The following remarks present a doorbell census, neighborhood tenant profiles, and a short movie. These illustrate the neighborhood character and how inconsistent with the neighborhood character a 5360-square foot trophy house with a 55-foot-tall rear facade would be. We also point out some deceptive presentation elements used by the project sponsor, which the Planner can confirm. We contrast the economics of a \$6.7 house against a dozen surrounding, affordable multi-unit buildings that average 2112 square feet, and conclude that this project directly and indirectly impairs affordable housing on block 6503.</p> | |
| <p>We confirmed in writing with the Planner that block map and video used in this presentation were not considered by the Residential Design Team when it met on March 24. So, any conclusions reached by the RDT need to be revisited and reweighed, based on this new information.</p> | <p>Email from Planner Nancy Tran.</p> |
| <p>First, the doorbell census. The north end of block 6503 has included a dozen multi-unit buildings that, in the Planning Department records, average 2112 square feet. Because there are a four-unit building and two three unit buildings, the average unit side is an affordable 1000 square feet. Overall, for the block, other than the church and the bunker, the average square footage of single and multi-unit buildings is closer to 2000 square feet. The proposed project is 270 percent as large as the average building and 225 percent as large as the average</p> | <p>Accompanying one page take-off from PC's block map.</p> |

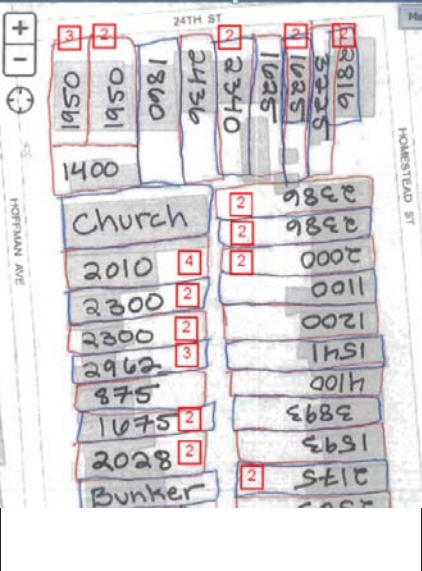
| | |
|---|---|
| multi-unit building. | |
| <p>Second, the neighborhood tenant profiles. From the audience, you will see the faces and hear occupations of people living in multi-tenant buildings on this block. This is the character of the neighborhood, as much as the architecture is. It would be contrary to Prop M for the PC to judge the neighbor's homes as under-utilizing the lots on block 6503, because this is not Pacific Heights. This is historically an Irish working class neighborhood that retains a mixed economic character. These neighbors, with the jobs they hold, would never stand a chance of occupying even the basement level of the project proposed for 437 Hoffman.</p> | |
| <p>Third, the movie. This movie illustrates a progression of similarly sized trophy houses with a view marching up Hoffman, building on the precedent that you're being asked to set. Listen as you watch.</p> | <p>30 second movie submitted in March to planners. Available at https://app.box.com/v/437Hoffman</p> |
| <p>What music did you imagine hearing? Chris Wine suggested the music from Apocalypse Now bombing the beach or the theme song from Star Wars. To be explicit, the proposed rear elevation facing mid-block is one story taller than either of its neighbors and there is not any other façade at mid-block that towers 55 feet above grade. So, the project's rear façade, with a height that is unprecedented, is undeniably out of scale with the current mid-block massing.</p> | <p>Photo essay generally compares this property to the block.</p> |
| <p>Fourth, deceptive presentation elements are called out. Use of an ultra-wide angle lens, misrepresentative building comparisons, inconsistent line widths on the 311 plans, misrepresentation of the applicable height limit on the 311 plans, and misstatements at the last hearing should lead the PC to a guarded review of the sponsor's materials.</p> | |
| <p>(a) It took six emails to confirm that the ultra-wide angle lens used by the project sponsor to take photographs from 42 Homestead was an 18mm equivalent, with a 90-degree field of view. To normalize viewing of a photo that presents a 90-degree field of view, one needs to print very large or to hold the photo very close. To fill a 90-degree field of view, you need to print a photo five feet wide and view it at arm's length. Or you can print it 17" wide, close one eye and hold it 8" from your nose. So, be wary of intentionally distorted lens choice for</p> | <p>Compare the project sponsor's photo with 90 degree field of view that spans 465 Hoffman to Gene's four unit building at 431 Hoffman with the photo in the photo essay from Chris Wine's back deck at 42 Homestead.</p> |

| | |
|---|--|
| <p>the sponsor's photos.</p> | |
| <p>(b) This photo from 42 Homestead is further deceptive because it bookends the photo with two buildings that are out of character for the neighborhood. To the north is a four-unit building (counting the doorbells) that aerial photos show to be out of scale for the block. Gene Geisler's four units (three of them owner occupied, due to RH2 restrictions) to the north do not represent the average scale of buildings in the neighborhood. To the south is 465 Hoffman, a mere 4500 square feet, which is twice as big as the average residence on block 6503. It was built before Residential Design Teams were instituted and is three feet taller than approved by Planning. So, be wary of misrepresentative comparisons, in both photos and statistics.</p> | <p>465 Hoffman is portrayed in the photo essay. The first planner that I showed this to explained that the RDT was instituted shortly after approval of 465 Hoffman.</p> <p>An aerial photo at the end of these remarks that shows how Gene's four unit building at 431 Hoffman is out of scale for the block.</p> |
| <p>(c) In the plans, the uphill building to the south is shaded to appear 18 inches taller than it is. The overly tall appearance results from using a heavy line weight and uniform shading for a feature that is a small trim piece at the front facade, not visible from the back. The inappropriately heavy line weight is three times heavier than the line weight used to represent a similarly distant part of the project. So, be wary of the rear elevation.</p> | <p>See the rear elevation sheet in the developer's plans.</p> |
| <p>(d) Also in the plans, the building height is compared to 40 feet, even though the applicable height limit is only 35 feet. The Planner clarified the applicable height limit in an email copied to the project sponsor, but the project sponsor has not corrected the 311 notice. This project could not be built another story higher, given the applicable height limitation. So, be wary of comparisons to height limitations.</p> | <p>Planner Nancy Tran explained in an email that the drop in elevation of 22 feet from the front to back of the project reduces the allowable height from 40 to 35 feet.</p> |
| <p>(e) Calling out just one more deception, the project sponsor's attorney told the PC at the CU hearing on June 30, 2016, that there are two 2500 square foot units in the project. That is not and never has been true. The so-called second unit is 1424 square feet in the basement, plus a stair case, more a convenience kitchen near the back yard of a trophy house than a rental unit.</p> | <p>The June 30, 2016 hearing transcript accompanies this submission.</p> |
| <p>Fifth, the economics of a \$6.7 million house directly assault the affordable housing goal that underpins the drive for multi-unit buildings. The selling price of trophy houses with a view has been established by 465 and 471 Hoffman, which sold for</p> | |

\$1175 and \$1500 per square foot. At \$1250 per square foot, the expected selling price of this house is \$6.7 million, the same as the all-cash price paid for the much smaller 471 Hoffman house.

Experience on this block tells us several things about a \$6.7 trophy house. First, the buyer is likely to pay all cash, because a \$30,000 per month mortgage is only available to those who can afford to pay cash. Second, the all cash buyer is unlikely to give up access to the back yard in exchange for \$3,000 per month rent. That makes the basement a guest room and a convenience kitchen for entertaining in the back yard, not a rental.

Most importantly, locating a \$6.7 million trophy house in the middle of a dozen affordable multi-unit buildings creates pressure to replace modest, affordable units with trophy houses.



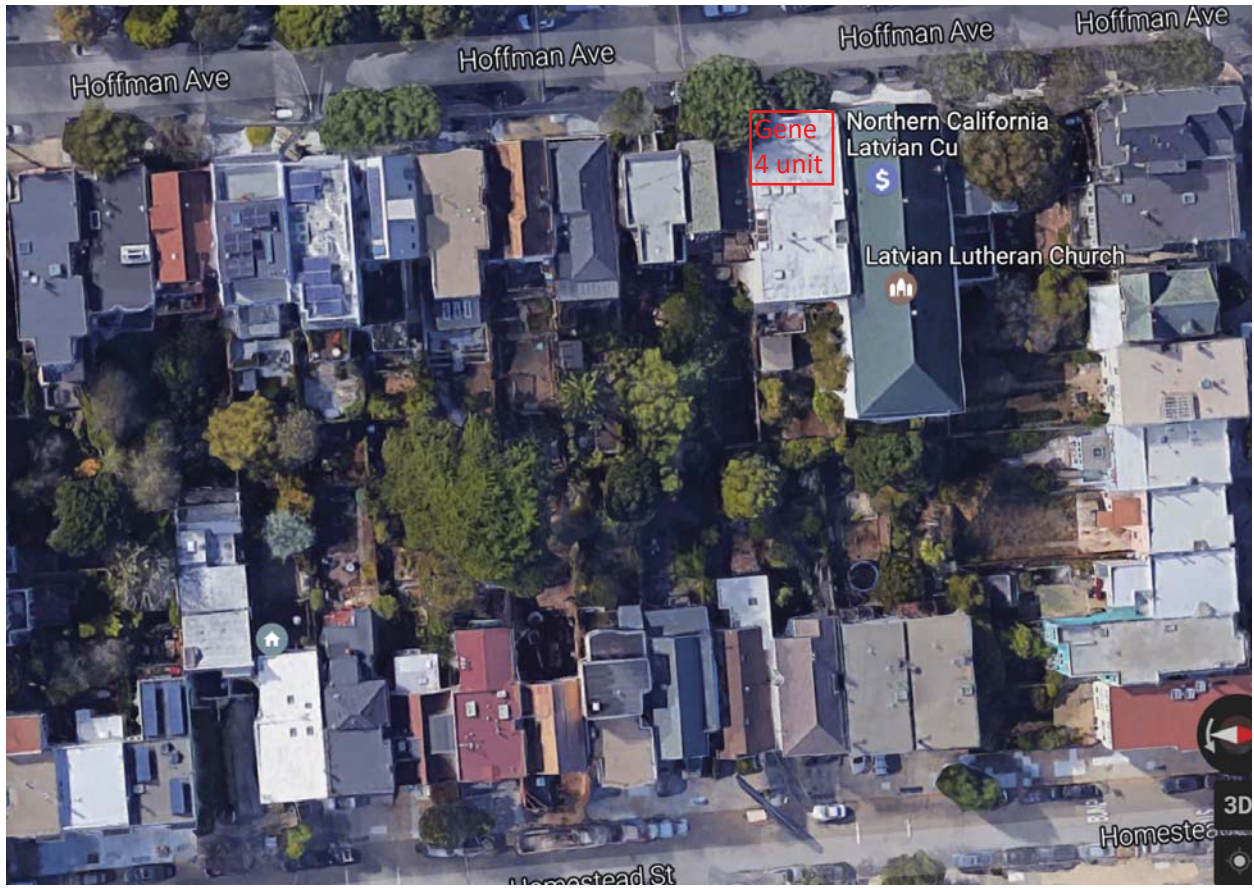
In conclusion, this project is directly contrary to Proposition M priorities #2 and #3 because it does not respect the neighborhood character or scale at mid-block and because it reduces affordable housing, both by the two units historically at 437 Hoffman and by a chain reaction of speculative development around the block.

- 2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;
- 3. That the City's supply of affordable housing be preserved and enhanced;

We urge the PC to send the project back for downscaling to match the successful project at 55 Homestead, just 200 feet away, which should set our compromise limit on speculative development of larger buildings in this neighborhood.

Thank you. Ernie Beffel

The result of 55 Homestead compromises is shown at the end of the photo essay. It might be helpful for the Commissioners to find out more about the agreeable project that is just 200 feet away from this project.

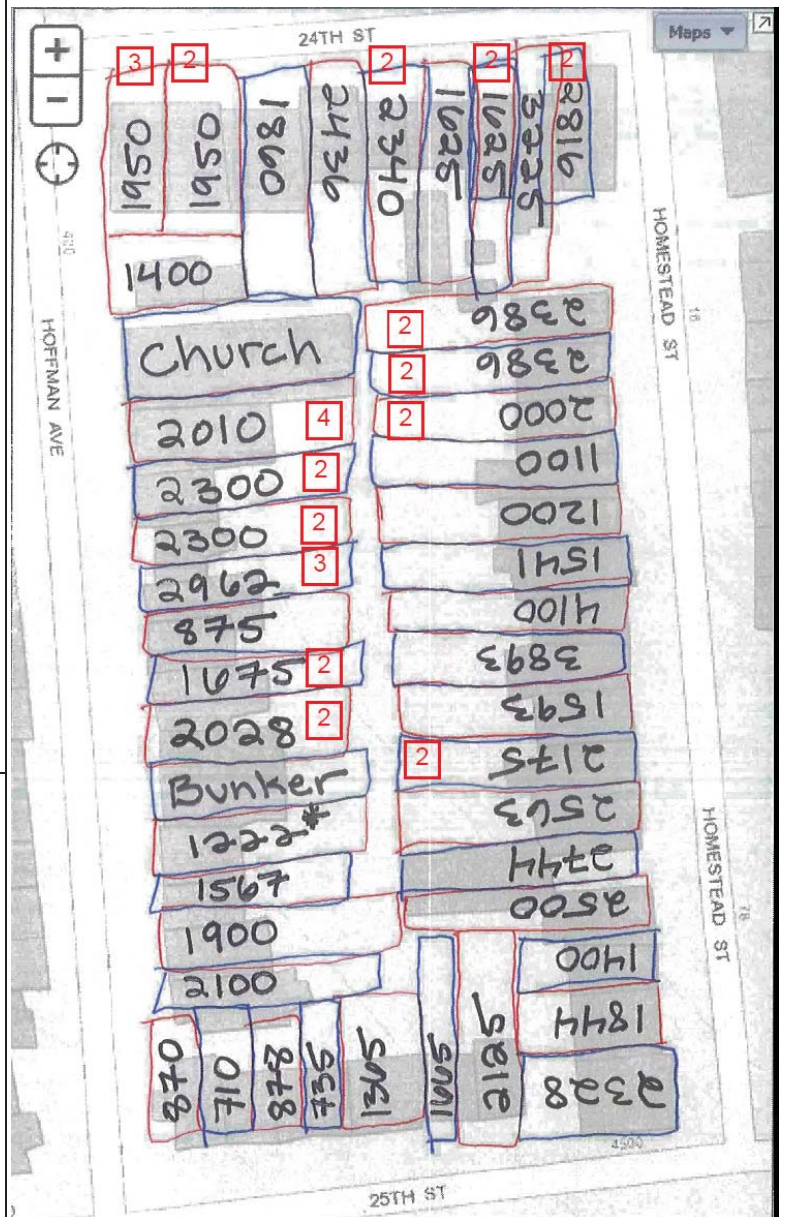


**Planning Department Information Map Square Footage on Block 6503:
Overall, multi-unit, and single unit averages
(excluding Church and the Bunker at 475 Hoffman)**

The buildings on Block 6503 are dramatically smaller than the proposed project. For comparison, we excluded the Church, which is not residential, and the Bunker at 465 Hoffman, which is an example of planning mishaps that led to adoption of the current RDT process. We compiled Planning Department and Zillow published square footages. (The published data for 471 Hoffman, 1222*, had not been updated to match the approved/as built plans. We plugged in data from Zillow for 443-445 Hoffman, which was missing from the Planning Department web site.)

Planning Department Information Map square footages are written on a Block 6503 map. Multi-unit buildings, based on a sidewalk survey of doorbells, are indicated by bell counts in red boxes.

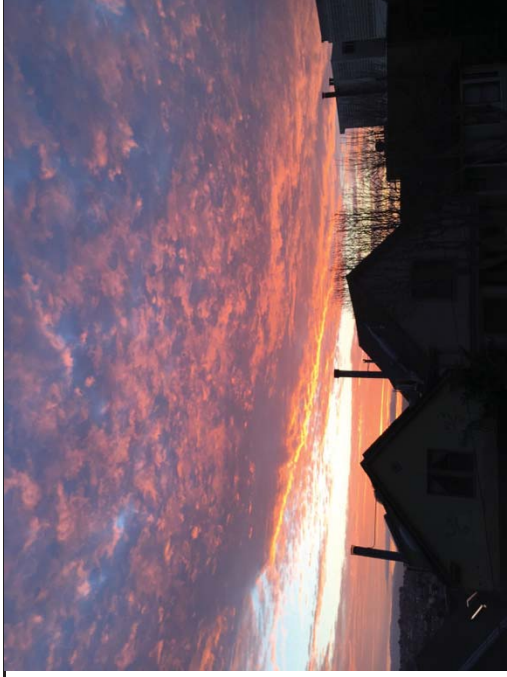
| Block 6503, except Church and Bunker | SF Planning | Zillow |
|---|--------------------|---------------|
| Average sq. ft. | 1956.9 | 2014.8 |
| Multi-unit building count | 12 | |
| Average MUB sq. ft. | 2112.0 | 2185.6 |
| Single unit count | 32 | |
| Average single unit sq. ft. | 1916.2 | 1961.7 |



The two oversized homes on Homestead are Mel Murphy burrowing projects, in which the basement was made legal for sleeping by burrowing into the backyard, creating a deeply sunken patio. Both of these homes are two levels over garage in front and just 24 feet above natural grade at mid-block.

Proposed project is **5360** sq. ft. vs SF Planning Information Map average of **1956.9** sq. ft.
(Font size proportionality illustrates project/average **building size ratio** on Block 6503.)

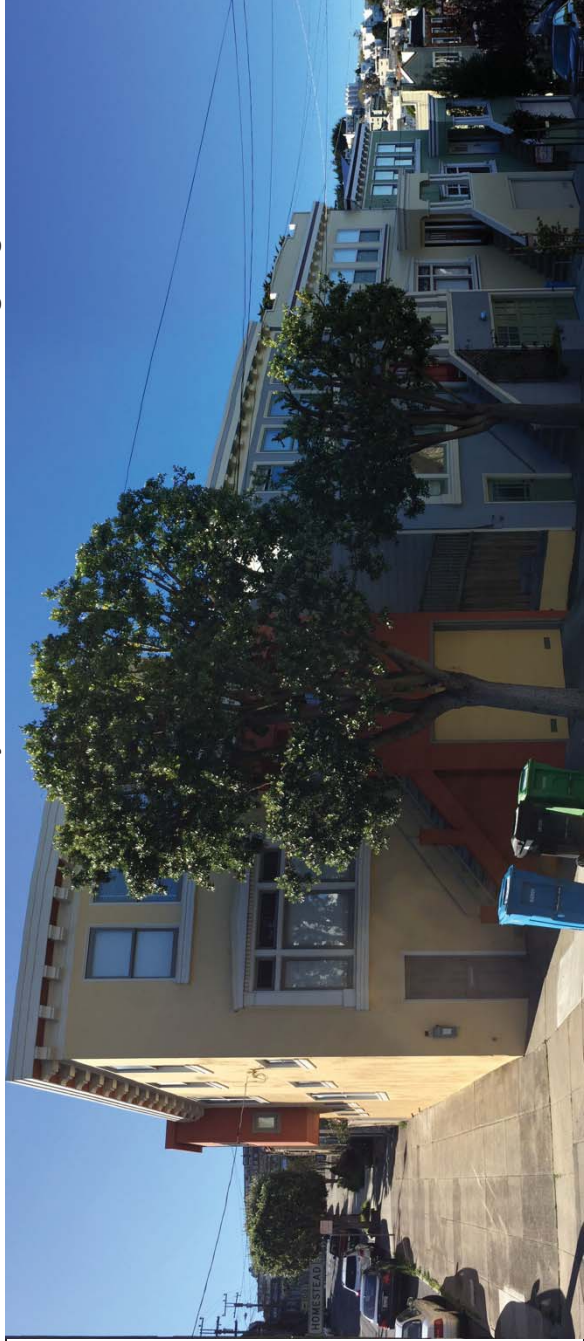
Steeply pitched roofs that let the light through are characteristic of downhill homes on neighborhood streets.



The Board of Supervisors heard neighbors' complaints about massing of this six unit project on 25th and Homestead. During the hearing, a compromise was reached for just two units at three stories over garage, flanking by two story units on both sides. The Board agreed that no precedent was set for three stories over garage in the neighborhood.



The Planning Commission followed the Board's lead and rejected, in a DR, three stories over garage at 98 Homestead.



Neighborhood Massing from Existing to a Physical, Tall Wall
(437 Hoffman right most, next to tree)



Current view, with 437 Homan about half a story taller than its flat top uphill neighbor.



The proposed project would rise above two uphill neighbors. (The bottom of our 3D model peeks out below the photo, to reveal overall vertical massing. The model is understated, as explained on page 6.)

Neighborhood Massing from Existing to a Physical, Tall Wall
(437 Hoffman right most, next to tree)



Progression of two projects with proposed 437 Hoffman scale.



Three projects with proposed 437 Hoffman scale.

Neighborhood Massing from Existing to a Physical, Tall Wall
(437 Hoffman right most, next to tree)

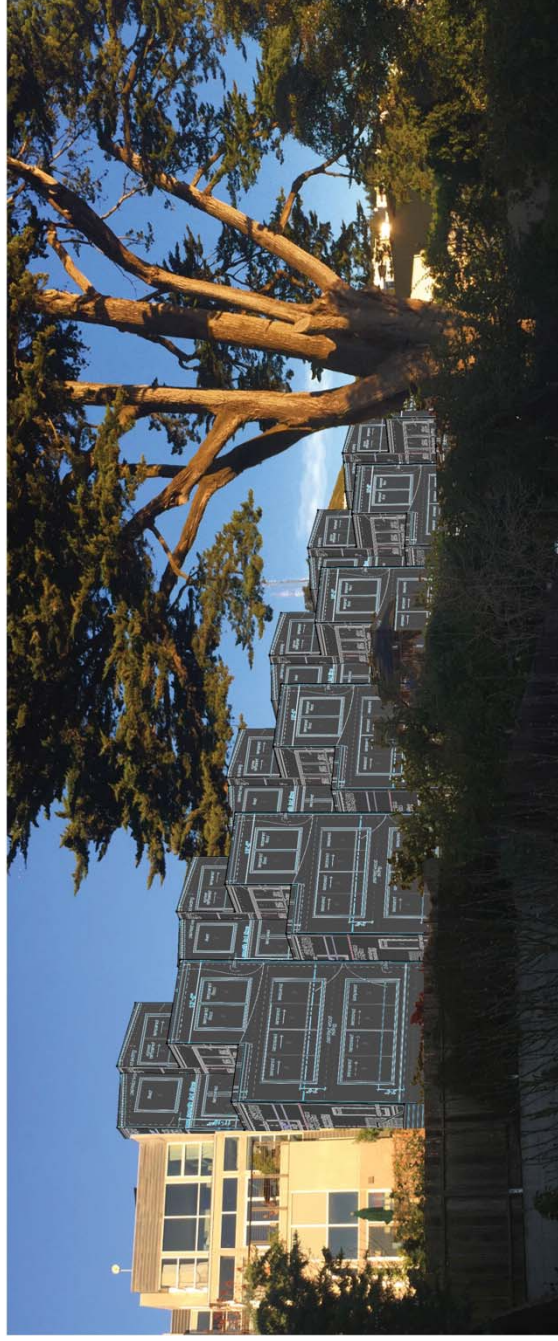
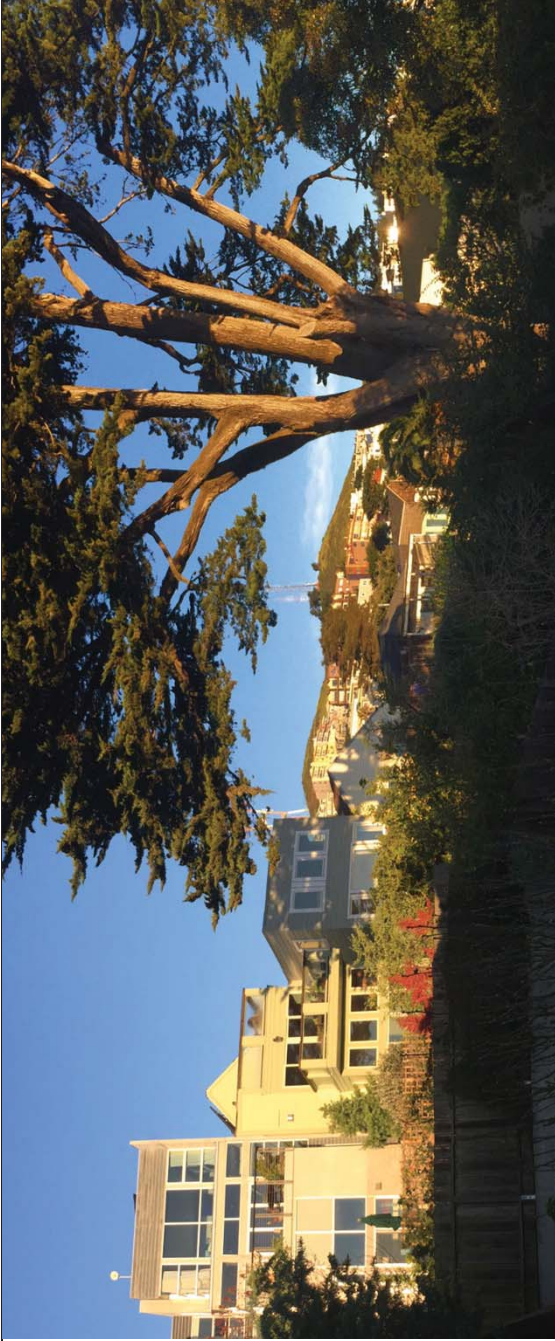


Four projects with proposed 437 Hoffman scale.

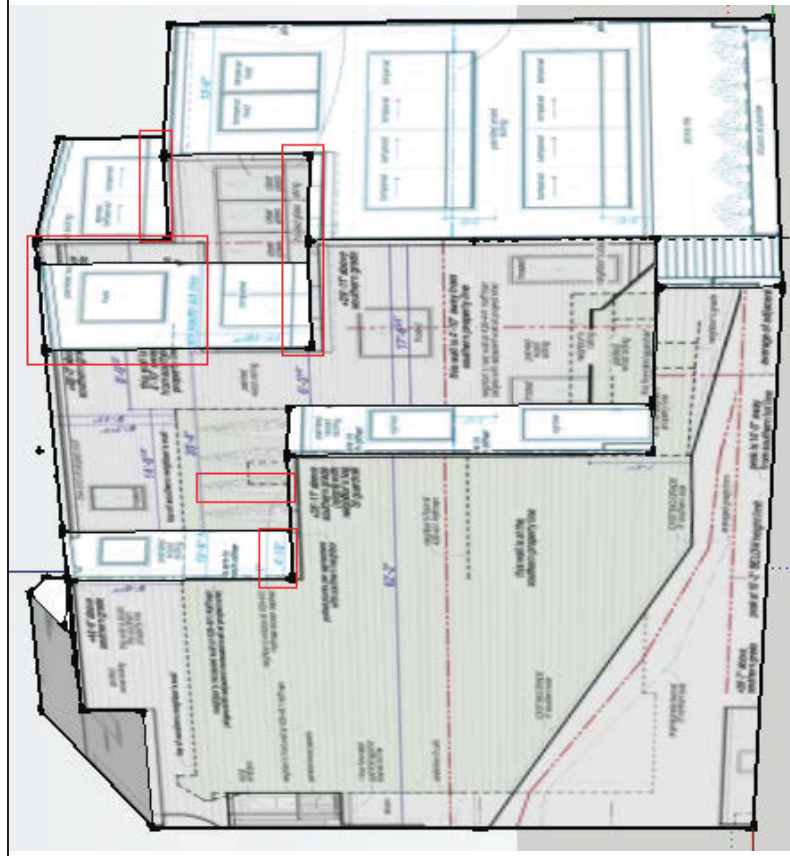


Complete infill with proposed 437 Hoffman scale.

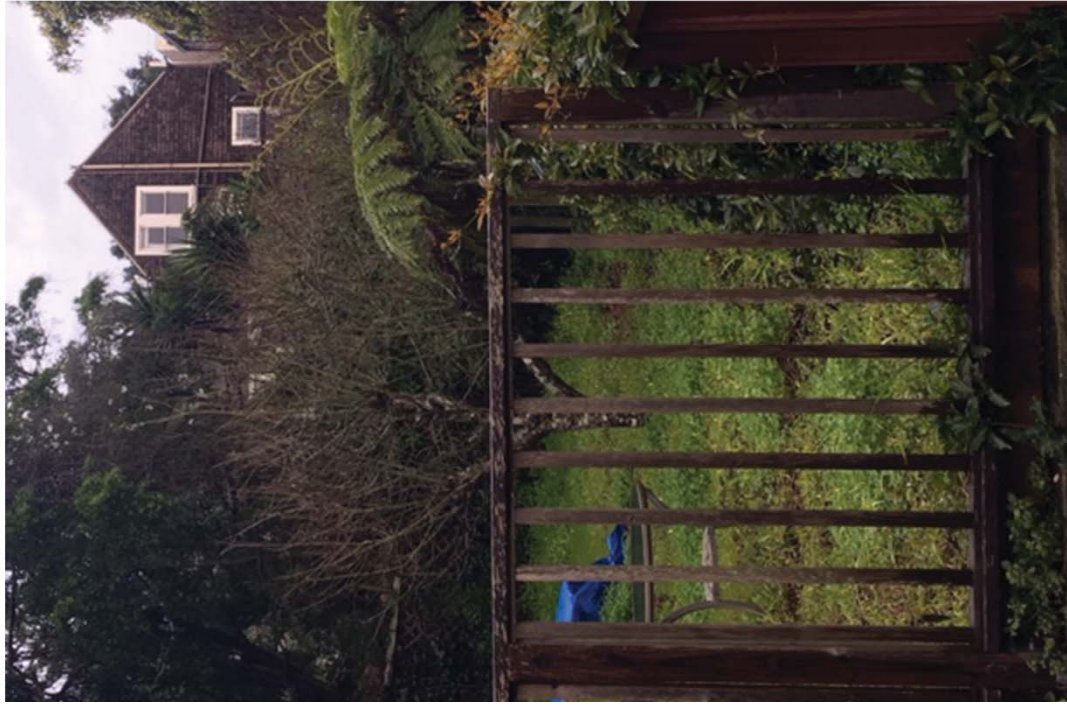
Before and after, showing impact of 57' tall facades at mid-block, partially blocked by the tree.



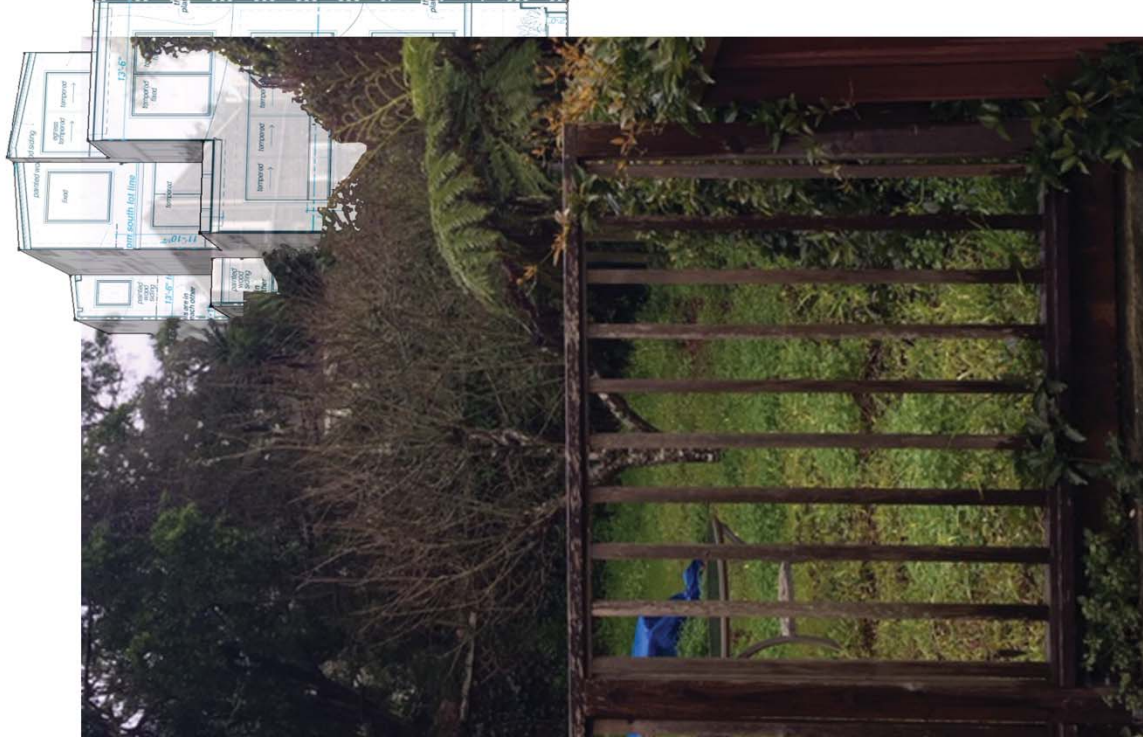
The Project Sponsor suggested that she found some discrepancies between her renderings and ours, but didn't say what they were before we completed this document. We found five mistakes, all of which understated the massing of the project. Our original model, used in these photos, is on the left with misinterpretations in red. The misinterpretations are three rails that are not projected to where they belong, a cantilevered part of the top floor, and four trees. Our revised model, on the right, corrects the missing rails and cantilevered part. The trees still omitted.



Existing massing from deck of 42 Homestead



Proposed project



One bad mistake was made in 2005, before the RDT approach was adopted. Neighbors call the result “The Bunker”. Don’t repeat it.



55 Homestead Street, an ongoing project, just 200 feet to the ESE, shows that developers, planners and neighbors can work together to produce a profitable project that is sensitive to the neighborhood context.

BEFORE working with neighbors

Neighborhood supported



AREA CALCULATIONS

EXISTING (TO BE DEMOLISHED) GROSS S.F.

| | |
|--------------|-------------------|
| 1ST FLOOR | 965 S.F. |
| 2ND FLOOR | 911 S.F. |
| ATTIC | 205 S.F. |
| TOTAL | 2,081 S.F. |

PROPOSED

| | NET FLOOR AREA | GROSS FLOOR AREA |
|--------------|-------------------|-------------------|
| BASEMENT | 922 S.F. | 1,078 S.F. |
| 1ST FLOOR | 844 S.F. | 977 S.F. |
| 2ND FLOOR | 1,255 S.F. | 1,345 S.F. |
| 3RD FLOOR | 864 S.F. | 860 S.F. |
| TOTAL | 3,715 S.F. | 4,260 S.F. |
| GARAGE | 654 S.F. | 723 S.F. |

We proposed 3200 sq. ft. instead of 4983 sq. ft. The final plan was closed to what we suggested, scaled back by a 58' x 25' floor third story, leaving about **3550 sq. ft.** Dormers were eliminated, leaving a strongly peaked roof from front and back.



BEFORE working with neighbors



Neighborhood supported.
The strongly peaked roof combined with the windows greatly improved the project.

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28

Planning Commission Hearing
June 30, 2016, Agenda Item #17
Re: 437 Hoffman Avenue, San Francisco, CA



1 **[Bolded words indicate a “best attempt” at unfamiliar words. A six-space line followed by a time code**
2 **like this _____ [0:33:40] will indicate a word or words that are unintelligible. Transcriber’s notations**
3 **are italicized and in brackets.]**

4 **Key:**

| | | |
|----|------------|--|
| 4 | Chan | Nancy Chan |
| | Kevlin: | John Kevlin |
| 5 | Condon | Kelly Condon |
| | Williams | Steve Williams |
| 6 | Levay | Paul Levay(SP?) Lefebvre |
| | Bellville | Stephanie Bellville |
| 7 | Rukas | Lenas Rukas (SP?) Linas Rukas |
| | Gonapolis | Anatesia Gonapolis |
| 8 | Rohm | Ozzie Rohm |
| | Schudish | Georgia Schudish(SP?) Schuttish |
| 9 | Antonini | Commissioner Antonini |
| | Moore | Commissioner Moore |
| 10 | Washington | Commissioner Washington |
| | Hill | Commissioner Hill |
| 11 | Woo | Commissioner Woo |
| | Richards | Commissioner Richards |
| 12 | UF | Unidentified Female Voice |
| | UM | Unidentified Male Voice |

14 Clerk: [05:32:05] Item 17, Commissioners for Case No. 2015-003686CUA at 437 Hoffman
15 Avenue. This is a conditional use authorization.

16 Chan: [05:32:48] Good evening Commissioners, Nancy Chan, Planning Department staff. The
17 item before you is a conditional use authorization request for 437 Hoffman Avenue. The
18 project originally went out for Section 311 noticing as an alteration to expand the single-
19 family residence. Three discretionary reviews were filed against the proposal due to
20 concerns regarding scale, **mid block**, open space, privacy, and light. Prior to the
21 previously scheduled discretionary review hearing, it became evident that the project is a
22 *de facto* demolition pursuant to Planning Code Section 317 and therefore requires
23 conditional use authorization. The project sponsors subsequently submitted a conditional
24 use authorization application for demolition and revised the project scope to include a
25 second dwelling unit. The discretionary review applications have been closed and are
26 superseded by this conditional use authorization request. 437 Hoffman Avenue is located
27 within RH2 Zoning District in a neighborhood that consists of residential, single-, two-,
28 and three-family dwellings of varied design and construction dates. Onsite is an existing

1 three-story over a basement single-family dwelling that is approximately 3,000 gross
2 square feet with no off-street parking. Please note that the Planning Commission
3 approved a dwelling unit merger of two legal dwelling units for this property in 2008. It
4 was approved with no conditions or modifications to the project. Through deep factor
5 demolition and with major alterations that include additions, raising the structure for a
6 two-car garage and basement excavation, the project will result in approximately 5,700
7 gross square foot structure, with a net gain of one unit and two-bedrooms on the site.
8 Included in the June 30th Commission publication, a revised plan that reduces the project
9 massing via three-foot recess at the northerly property line and change from flat to
10 peaked roof as well as interior unit reconfiguration. This reduces the overall gross square
11 footage by approximately 60 gross square feet. Staff is also in support of this alternative
12 provided it meets Planning Code with respect to open space for the upper unit. Since
13 publication of the case report, the department received one additional letter in support and
14 one letter in opposition of the project, as well as additional clarification from individuals
15 who previously submitted communications voicing opposition to the project. Copies of
16 these are available for the Commission's review. RDT reviewed the project and the
17 department is in general support of the proposed design. The department recommends
18 approval with conditions for the following reasons: (1) the project proposes two dwelling
19 units to add to the city's housing stock during a period of significant housing demand
20 throughout the city; (2) it proposes to maximize the density allowed in the RH2 Zoning
21 District with the massive scale that is compatible with the neighborhood and consistent
22 with the residential design guidelines. Therefore, it is an appropriate infill development
23 on the underutilized lot; (3) the structure has been determined to not be a historic
24 resource or a landmark; and (4) the project meets all applicable requirements of the
25 Planning Code. I'm finished with my presentation.

26 Clerk: [5:35:55] Project sponsor, you have ten minutes. I'm open for _____ [5:35:51].

27 Kevlin: [5:36:04] Good afternoon Commissioners, John Kevlin here with the law firm Reuben,
28 Junius & Rose, on behalf of the project sponsor. The project before you proposes a

1 vertical and rear addition to the existing single-family home that will result in additional
2 dwelling unit at the property. The existing two-bedroom unit is roughly 2,500 square feet
3 and the two resulting units would have three bedrooms and two bedrooms and would
4 each be roughly 2,500 square feet. The project is not inconsistent with the existing
5 character of the neighborhood. Let's start with the front of the property along Hoffman
6 Street. The design of the front of the building is essentially after the project would be--
7 we'd have a basically a partially below-grade garage level, a mid-level that's a living
8 level, and then a pitched roof that also has habitable area. And that's actually pretty
9 consistent with what we see here on Hoffman Street, if I can get the projector. This is
10 directly across the street. We've actually got a couple of buildings which are an
11 additional story across the street. You see garage level, two main levels, and then a
12 pitched roof level. So we have several of those just across the street. Up the street a bit
13 on the same side of Hoffman Street, this is another building, garage and two levels above
14 that with no pitched roof. Then another building, a couple of buildings up Hoffman
15 Street, other side of the street, again same as what we're proposing today, partially
16 below-grade garage level, a mid-level, and then a habitable pitched roof level. So again,
17 pretty consistent, right in the middle of the character is on this street. The project will
18 also add a garage entrance, as we discussed. It'll provide the two required off-street
19 parking spaces that the project triggers. And the general character of the front façade will
20 remain. Now, moving to the rear, the project does provide for a full 45% rear yard. If we
21 take a look at this--thank you--the block map. This red line is where our rear property
22 line is going to be. If you take a look, there's at least five buildings that are as deep or
23 deeper than the proposed extension of the building, so once again kind of right in the
24 middle of things in terms of averages here. We are going to be the same depth as the
25 north neighbor. And I'll mention that there are no windows along the building wall.
26 Right here, you can't see the full wall, but there's no windows right along the property
27 line wall of that neighbor. There is a glassed-in light well closer to the center of the
28 building. One of the things that we're doing is removing a set of stairs that are currently

1 abutting that glassed-in light well, so that will improve it. We're going to match that
2 light well on the lower three floors. And then at the top floor, we're going to provide a
3 three-foot side setback that starts at the front of the light well and goes all the way to the
4 rear of the property. So it will provide a shaft for additional light and air to reach down
5 there. Now, as for the south neighbor, the project does provide setbacks and a pitched
6 roof in recognition of that smaller building. There are virtually no shadow impacts on
7 that neighbor considering the fact that we are to the north of that building. And pretty
8 much all shadows are cast by the building to the south of that building, which you would
9 expect. And if you take a look here, that building right here, it's only five feet less deep
10 than what we're proposing. So on the other side of the south neighbor, a similar depth
11 building and that again, that's where all of the shading is coming from the south
12 neighbor. So generally, what you're seeing is a project that's pretty much in the middle
13 of the road for this block, both from the front and from the rear. And it's taken measures
14 to respect its neighbors. There have been some delays in this hearing, but I think it's
15 been beneficial to the project. It's actually a better project today than it was before. So I
16 now want to turn it over to Kelly Condon with the project sponsor who can walk through
17 kind of design process and how we got to here.

18 Condon: [5:40:06] Hi, I'm Kelly Condon. I'm the designer and one of the owners of the building.
19 We bought this building from someone who had attempted--a family that was attempting
20 to get the same project, similar proposal for some time and they sold the building to move
21 so that they could find a space that was large enough for their family. They had two
22 neighbor meetings before we purchased the building. They had a hearing at the
23 Department of Public Works regarding the tree. There's a tree in front of the house that
24 is--there we are. Look at the projector. That's it. Do I need to talk to it?

25 Clerk: [5:40:49] No.

26 Condon: [5:40:50] This is the existing tree. It's heavily tangled into the power lines. It breaks up
27 the side walk and DPW gave a conditional approval to remove the tree, if the garage was
28 approved by the Planning Department and Building Department. And we have to add a

1 new tree. And so the proposal is lift the building six feet and add this new tree which will
2 just be nudged over so you can drive around it. The first neighbor meeting that we held, I
3 read through the comments from the previous neighbor meetings and noticed right off the
4 bat that there was not much recess on the side for the southern neighbor, which is a much
5 shallower building. So the first thing I did was start notching away from that neighbor.
6 We created a four-foot, two-s-de recess starting at the alignment with his back wall. And
7 then for the last rooms of the building, we notched in further to about the center line of
8 the lot to create even more recess. This is what we start with for the façade. As this first
9 neighbor meeting, one of the comments was, people didn't like the boxy façade. But
10 there's a lot of pushback on the glassy, boxy façade and height and they asked for an
11 angled roof. This was the rear of the building. And at that time, we had a two-story tall
12 12-foot pop-out. It's really--there's a crawl space under the building due to the slope of
13 the site. I live in a house that's on a hill like this, and the houses in my neighborhood just
14 abut into the hill. In this particular location, the hill is actually clear cut so that people
15 can have level backyards. The yards are not sloped. The front of the building is almost
16 two stories higher. The curb of the building is centered on the stories so that two of those
17 stories are pretty much under the curb level. So it always looks tall. But there's a crawl
18 space under this and then there was a room at basement level. In response to neighbor
19 comments, we removed this room and made this just be a terrace. We pushed this side
20 wall back in another foot so rather than have a five foot--we started with a five-foot
21 setback, now we have a six-foot setback. And on the level above, rather than having a
22 12-foot pop-out, we had a six-foot terrace that was also recessed, six feet on one side,
23 five feet on the other. In response to those comments, we came back for a second
24 neighbor meeting in which we--because one of the comments was to slope the roof. So
25 we stuck with a modern building because we figured we were going to be doing demo on
26 this building. We sloped the roof and came in with those changes to reduce the height of
27 the rear pop-out, and create a balcony, and recessed in a little bit from the sides that were
28 on that rear pop-out. We still got push back on the modern façade. And so that's how we

1 arrived at where we are now which is keep the Queen Anne and raise the building. One
2 of the reasons that this is a conditional use hearing is because during our review process,
3 right before our first hearing was scheduled, we were told that any time you lift a
4 building for any reason now, it's going to trigger conditional use and be treated as though
5 you are demolishing the building. We actually did meet the demo calculations. We redid
6 them several different ways and made them stricter and stricter. And we were still a little
7 bit under the threshold. But given that we have to call it demo because we're raising it,
8 we might as well not worry about that blurred line quite some much, not worry about
9 crossing that line. We were within 10% in some areas of demo calculations. So in this
10 case, we do plan to keep as much as we can. But here we are, conditional use. In plan,
11 just to better describe this, this is at the basement level. The green buildings are the
12 neighbors' buildings. So to the north side, our neighbor is six inches away from his 45%
13 set back line. Our basement level extends to the 45% set back line and then we'll have a
14 terrace for the duration of the 12-foot pop-out. Because of the hill, there's a crawl space
15 under that terrace. We recess in four foot two, starting at the neighbor and then the
16 building ends. We had the light well all the way down to the bottom. This is the new
17 lower unit, which is now two stories tall. This is the next level of that. The light well
18 continues, same outline. And it just has a six-foot-three terrace, floating balcony off the
19 rear. Then we come up one more level. This is the lower level of the upper unit. This is
20 where we start recessing even more away from the _____ [05:46:01] neighbor.

21 Clerk: [5:46:06] I might have additional questions for you.

22 Condon: [5:46:07] Okay.

23 Clerk: [5:46:08] Thank you Ms. Condon. There is organized opposition on this item. And there
24 needs to be three speakers in a ten-minute time period. Mr. Williams. Mr. Williams,
25 your combined time for the three speakers will be ten minutes.

26 Williams: [5:46:33] We have the overhead projector and keep it on. Good evening Commissioner,
27 Steve Williams, I represent the neighbor to the north, Dr. Gene Geisler. Professor
28 Guisler has lived next door for more than 35 years and he has taught at the San Francisco

1 State University since 1960. He lives next door in an older four-unit building. He lives
2 in one unit and rents out the other three affordable rent-controlled units to teachers at
3 very modest rents. Because his building is on the north side of this project, virtually all
4 of the direct light is going to be eliminated from his unit. What you're seeing on the
5 overhead is what's there now. That's his building on the left and the subject building is
6 on the right. But before we talk about the impacts, which is all we've heard about from
7 the other side, we need to stop and look at this project from a planning and housing
8 policy perspective. Approving this project as presented will be a terrible result. Just a
9 few years ago, this 1904 building was classified as two units and they were affordable
10 rent-controlled units. They're still there. An approval today will allow for the demolition
11 of those units and their replacement with very large, luxury, top-of-the-market type units.
12 So how did we get here? In 2008, the Commission approved a merger in error. They did
13 it by combining two affordable rent-control units. They did it by ignoring the
14 recommendation from the department. And it happened very late one night with only the
15 affirmative vote of two commissioners. If you look at my exhibit one to the brief, last
16 page, you'll see how it happened. At that time, the department made a presentation
17 against the merger. And the department said, "The department finds that the merger is
18 unnecessary and undesirable and inconsistent with the general plan policies. The
19 proposal violates the plan's emphasis on retention of the existing supply of housing and
20 the preservation of economic diversity in the neighborhood." They went on to define that
21 there were other ways to expand the square footage and keep the two units. If it's true in
22 2008 that it's a violation of the general plan to lose one of those units by merger, how can
23 it possibly be okay today? How can it pass muster under the General Plan to demolish
24 both of those units? Even if you take it from their side and demolish one of those sound
25 affordable units. The neighbors didn't oppose the project back in 2008 because they
26 were told that the building envelope would not be expanded. They told no garage would
27 be added and they said no curb cut would be added and no street trees would be removed.
28 They liked the family that live there; the family that lived there did not complete the

1 merger. It didn't get completed for more than five years. It went stale. Today the
2 sponsors now want to demolish the building, add a garage, perform a curb cut, remove
3 the street tree, and dramatically expand the building at all levels. That is an unacceptable
4 result. And the policy problems that it involves are too large to mention. I need to turn
5 over some of the time to the other neighbors there. But that's what I really want the
6 Commission to look at now. There are solutions to this. You can save these units,
7 eliminate the demolition so that both units now come back under the rent control
8 ordinance.

9 **Fowler:** [5:50:22] Please leave the overhead on. In 2008, the Planning Commission voted that
10 this 1905 rent-controlled, two-unit home could be merged into a single-family home and
11 that it should have no garage, no curb cut, no addition. The house was sold. Planning
12 instructed the subsequent owners to complete the merger before they could add a garage
13 and a massive rear addition. The permit to merge the units was extended and then
14 completed at the direction of the Planning Department in order to do the opposite of what
15 the permit allowed. The house was then sold with the plans. Now the planner and
16 project sponsor are asking you to approve the demolition of this pre-earthquake home as
17 being necessary and desirable, so that the unit density can be returned to what it was up
18 until September 2012, but this time without rent control. The existing home still includes
19 the structure of the affordable second unit. This huge proposed structure violates the
20 character of neighborhood and further jeopardizes economic diversity. For this project,
21 mass does not equal density, since this home has been two units for most of its history.
22 In keeping with the character and scale of the neighborhood, I request the following:
23 retain the breezeway on the north side; it's a predominate pattern and gives the street an
24 open feel. The breezeway is crucial for the light that brightens and warms Gene's
25 kitchen. No matter what the design and effective setback needs to be created for this area
26 next to the kitchen. This area is not a light well but an important area for the service stair
27 as well as a major source of light. It seems that consideration of this elder has been
28 marginalized and not even one effective change has been made to mitigate the loss of all

1 of his treasured sunshine. Lower and horizontally shorten the roof. The streetscape will
2 be drastically compromised by the height and massive roof line. It will stick up like a
3 sore thumb and the loss of the spectacular New Zealand Christmas Tree in front of it.
4 The executive summary refers to two, four-story homes across the street as justification
5 for the project's height. These two smaller homes have rent controlled units and are built
6 up into the hill. The first of the two was alone when it was built in 1896. No one's
7 privacy was taken, no one's light, no one's view, nothing out of scale with adjacent
8 homes because there weren't any. Do not allow the garage. Please save this beautiful old
9 tree with its exquisite canopy. I'd like to draw your attention to the letter about the tree
10 from Jocelyn Comb--poetry--I have it here. This beautiful home, more than any other, on
11 the entire--that along with the string of trees stretching from this home to 24th Street
12 gives the entire block its quaint character. The project is wasting important square
13 footage with a garage that is contrary to the character of the existing building and the
14 streetscape. There are many ways to downsize this project. Here is one plan that revises
15 the second and third floors in order to retain the breezeway. It is also easy to see how
16 these two upper stories could also be shortened to preserve privacy for the neighbors.
17 And lastly, here's an example of a home around the corner with a garage and a tree, a
18 similar home. Please do not approve the conditional use authorization for this project at
19 437 Hoffman. It is neither necessary nor desirable. Thank you.

20 **Lefebvre:** [5:53:57] Yes. I'm Paul **Lefebvre** and I'm joined by my husband, **Stephen** Baskerville.
21 We've been living in the property just to the south of this home for 13 years. It's a two-
22 unit building. We have a rental upstairs and both of our homes are going to be
23 significantly impacted from the development. As you can see from the rendering, the
24 proposed plans are clearly unreasonable. They're out of scale with the neighborhood and
25 they really do completely box us in. Now this graphic shows the outline of our home in
26 blue and the proposed building in red. In terms of building depth and the impact to our
27 home, from what we can see from the plans, the proposed buildings extend a surprising
28 18 feet beyond the rear of our back wall. And this is before including the additional 12-

1 foot pop-out. Given the huge scale of the proposed building, we ask that the
2 Commissioners please consider reducing the depth to the average of the adjacent
3 neighbor's building setbacks or at a minimum by a third or to 12 feet beyond the back of
4 our wall instead of 18 feet. That's only six feet back from what it is now. This seems
5 like a modest and very reasonable request that would help us to keep us from getting
6 totally boxed in. I have to think that surely there's a solution that can be arrived at that's
7 livable for everyone. In terms of building height, from what we can see, the building
8 rises about 11½ feet at the front of the house, the building, and at the back, it rises well
9 over 40 feet above our home. In addition, given the enormous scale of the building, we
10 feel that side setbacks at a mere four feet, two inches are insufficient. And we'd asked
11 that they be increased to six feet from the property line as was done for the pop-out
12 section of the building. That's less than two feet increase that should be easily
13 achievable. Although this increase doesn't seem like that extensive, it does make a real
14 significant difference in the impact the building has on our home. In terms of privacy,
15 the numerous terraces that face both the back of the property and south towards our home
16 create a significant privacy issue for us. With a very large terrace on the top of the pop-
17 out that measures a full 16 feet by 12 feet deep, we feel that there is really no need for
18 additional terraces on both the first and second levels and request that you require that the
19 cantilevered terrace on the first level shown on page A6 be removed. This terrace
20 measures six feet by a full 16 feet wide. It seems superfluous given the large 16 by 12
21 foot lower terrace for the same unit just below it. And it simply increases noise as to the
22 loss of privacy that we'll experience with the proposed development. And of course, we
23 would also request that no new terraces or larger terraces be permitted with any future
24 setbacks that would be created. Thank you.

25 Clerk: [5:56:36] Thank you.

26 [Baskerville](#): Can I take 30 seconds?

27 Clerk: We might have questions for you. Thank you. Opening up to public comment on this
28 item. I only have two speaker cards, Stephanie Bellville and [Linus Rukas](#). Any other

1 additional speakers who'd like to speak you can line up on the television side of the
2 room.

3 Bellville: [5:57:04] Yep. May I?

4 Clerk: [5:57:07] Yes.

5 Bellville: [5:57:08] All right. Thank you. Good evening everybody. My name is Stephanie
6 Bellville. I reside at 431 Hoffman Avenue. This is in Gene Geisler's building at 433
7 Hoffman. I am a public high school teacher. I teach history at Lowell High School, so I
8 may bring in some history references here. While I was driving here, the feeling that kept
9 on coming up for me was a comment that William Vanderbilt made in 1882 when he was
10 asked about whether he was running his railroad with the public interest in mind. And he
11 famously said, "The public be damned." And that is sort of the feeling that I've gotten in
12 terms of the project and the attitudes of the project sponsors towards the neighbors. That
13 has been the feeling since the beginning. The fact of the matter is, is that I help Gene out.
14 I take his dogs out everyday; he's an elderly gentleman. I know his apartment. His
15 kitchen, his living room, his bathroom, and his hallway all get light from the windows
16 that are on that air-well that they are referring to. And the fact of the matter is that this
17 project is going to virtually wipe out, I would estimate, approximately 90% of that light.
18 I don't know who would feel that that would be okay to do to their own parent, if their
19 parent lived next door. And it really kind of sickens and saddens me to think that the
20 architects would do this without consideration of him. Now I understand that perhaps
21 there have been some accommodations, but nothing to me that seems really meant to
22 preserve that light. Also, privacy for Paul and Steve. But finally, Gene has allowed me
23 to live in his apartment. My husband is a sign-maker. I am a school teacher. We are
24 working class. We live in San Francisco by the graces of Gene's affordable housing that
25 he allows for us. And these units next door are not going to be affordable. I would
26 assume that they would be upward of \$4,000 per unit for rental units, if not for sale at
27 whatever price. And it's not adding to the affordable housing in the neighborhood. And
28 I just think that there really can be a solution. There could be a little bit more

1 consideration of neighbors on both sides. We want them to be able to do their project.
2 They can make an incredible, beautiful, very profitable project without frankly, pardon
3 my French, screwing over both neighbors on both sides. I think it's entirely possible with
4 some vision and then this can move forward. Thank you very much.

5 Clerk: [5:59:36] Thank you. Next speaker please.

6 Rukas: [5:59:44] Hi my name is, excuse my voice--my name is [Linas Rukas](#). And we live one
7 street over, uphill. And I'll be mercifully brief. Have you heard the one about the
8 developer that had self-restraint? Of course not, because they don't exist. The person
9 that makes changes to their house last has the opportunity to integrate their changes in a
10 thoughtful way that doesn't disadvantage the current residents, [an](#) opportunity that is
11 rarely seized. Instead, often the last to develop, as in this case, doesn't want to share
12 light, sunlight, or privacy. They want to take these assets, which they don't own, and
13 take them at the expense of the current residents just by virtue of being the last to
14 develop. Developers want to maximize their profit while existing residents want to
15 maximize their quality of life. When is enough, enough? When is too much, too much?
16 That's the decision that's entrusted to you. I hope that you find in the case of 437
17 Hoffman that this McMansion has more than crossed that threshold. Thank you.

18 Clerk: [6:01:18] Thank you. Next speaker please.

19 [Yovanopoulos](#): [6:01:27] Good evening. I'm Anastasia Gonapolis, Commissioner. I'm a member of
20 Protect Noe's Charm and I've come here this evening to support my neighbors in
21 opposition to a conditional use authorization sought to develop a project at 437 Hoffman
22 Avenue. Protect Noe's Charm supports those projects proposed that conform with the
23 neighborhood in height, size, scale, and character and with the San Francisco Residential
24 Guidelines. First, I want to correct the record. Accidentally, when I was one evening at
25 the Upper Noe Valley Rec Center attending a pre-app meeting for another property on
26 Cesar Chavez, I mistakenly signed the petition twice, as things were going around, sign-
27 in sheets for the pre-app and this and that, I'm sorry. And the opposition pointed it out in
28 their page. And they also--I need to correct the record, I do not live in a four-unit, four-

1 story building as they said I do. The flat I've been renting on 24th Street since 1984 is
2 located in a three-story building built in 1906 with two flats on each floor and they are
3 rent controlled. I'm opposed to this CU under two points. The first is that the project on
4 Hoffman Avenue is huge in size and scale. And the second is that I'm appalled that this
5 project will get rid of two rent-controlled units. Thank you.

6 Clerk: [6:03:22] Thank you. Next speaker please.

7 Rohm: [6:03:28] Good evening. Ozzie Rohm with Protect Noe's Charm. So we were notified of
8 this project by the concerned neighbors back in September of 2015. And at that time, we
9 looked at the scale of the project and the many points within the residential design
10 guidelines that it falls on. We started communicating with the Planning Department and
11 interestingly enough, the points that we raised were some of the ones that were raised
12 again here today. But we, of course--our cries for reconsideration didn't go anywhere.
13 One thing that I really want to bring up is after viewing many slides and graphics that
14 were presented today, interestingly enough, I'm not seeing the actual shot of Hoffman
15 Avenue where this project is going to be erected. If you actually take a look at Hoffman
16 Avenue, be it at Google Map or actually going there, you'll see that this project, the
17 proposed project, is going to be a good floor above the two adjacent neighbors. And also
18 the breezeway; that was another thing that we raised in our three letters that we wrote to
19 the Planning Department, addressing Ms. Tran and Mr. Washington, that the predominate
20 pattern on that block of Hoffman does demonstrate the existence of breezeways on these
21 homes. And eliminating that is not something that would be within the residential design
22 guidelines, policies, and principles. So these points were raised. And the fact that this
23 house is going to be sticking out like a sore thumb because it's a full story above the two
24 adjacent neighbors, and the fact that it's going to be not within the topography of the hill
25 as recommended by residential design guidelines for all of the points that we raised and,
26 of course, here we are some eight months, nine months later with no resolution from the
27 project sponsors. So I would like to urge you to reject this, send it back to the designers
28 and architects and sponsors because it is not within the scale. We do not have 5,000 plus

1 square foot houses on that block. And one other thing that I wanted to bring up this
2 morning; as I was getting prepared to come here, I was thinking about coming out with
3 pictures of Google Maps of those houses that were specified as being bigger than the
4 proposed project because many of those houses on the charts and the sheets and
5 spreadsheets that were provided as part of the packet had been erroneously designated as
6 much bigger. But then I thought, wait a minute, this is not about the people who signed
7 the petition. It's about this project so I'm not going to waste your time about the
8 deception and errors that were made in the spreadsheet. And that's it. I urge you to
9 reject this. Thank you very much.

10 Clerk: [6:06:30] Thank you very much. Are there any other speakers on this item?

11 Schuttish: [6:06:42] Hi, Georgia Schuttish. A demolition that's admitting to be a demolition and it's
12 only recently tantamount to a demolition. Two and a half months ago, this was just an
13 alteration. So now you have to deal with the Section 317 findings. When I looked at it in
14 executive summary, it didn't seem like it met the preponderance of those 317 findings.
15 They're either not applicable or the project doesn't meet them. But that's a technical
16 matter. I think there are several pockets of concern here. One is the demo. If you read
17 my email to you with the emails from the project sponsor to the staff when they decide to
18 make this tantamount to a demo, I think it's concerning because I think the façade is
19 going to go away. And the whole thing that is before you on the plans is the façade
20 basically as it exists now. So that façade will not be preserved most likely. Or they're
21 given leeway to not preserve it. There's missing info in the file. With the CU
22 application, there's no appraisal. So this is a demotion without an appraisal. There's also
23 no demo permit. Also the demo box is not checked on the category exemption. Those
24 are little details but I think they're important. What about the design of this project?
25 Unit two, the bulk of this unit, is below the garage. Below the garage. I've heard of
26 people living behind garages and above garage, but never below a garage. The master
27 suite is entirely below the garage. I don't think anybody would really want to live below
28 a two-car garage. I think that alone means you have to send it back. Two and a half

1 months ago, that master suite, by the way, was an in-home gym. This building is rated C.
2 I don't understand that. C means schlocky. This is not a schlocky building. This façade
3 needs to be preserved. This two units, yeah it sounds great, but I think they're not real
4 units. They're fake units. They're not livable units. I think you have to deny the CU and
5 do the following: keep the breezeway; keep the tree; eliminate the garage and use that
6 space to make better units; continue the peak roof all the way back as it is per
7 Commissioners Antonini's email to the project sponsor; no big box on the back. And I
8 just want to remind the commissioners about the size of the units, the Nema, which is
9 probably comparable luxury building with three units, three bath units. Those are 1,700
10 square foot units. This is 2,400 approximately each unit. So there's a lot of give and take
11 that can **be begun** here, especially since this is a CU. I hope you consider all of that.
12 Thank you very much.

13 Clerk: [6:09:43] Thank you Ms. Schudish. Any additional speakers on this item? Seeing none,
14 public comments is closed. Commissioner Antonini.

15 Antonini: [6:09:50] Thank you. I've spent more time on this project probably than any other that
16 has been before us in the last few years. And I did make a site visit and I was lucky
17 enough to be able to go through the entire building. And I don't know how this rating is
18 done, but I think it is very lowly rated because there are two things that are obvious when
19 you go in there. First of all, the lower--what was a lower unit and even as part of the
20 upper unit, as it is now since it was merged, are illegal rooms. One of them is six feet; I
21 have to duck down to get into that one. The rest of it is like six foot four, so that's still
22 well below the minimum height for rooms in that entire lower area as it now exists. So
23 even if this wasn't demoed, it would still have to be raised and it would be tantamount to
24 a demo even if you kept the old house, which isn't worth keeping. It's kind of a dump. I
25 hate to say it. I've done enough construction to know that the upper floors aren't level. It
26 definitely slants to one side there. There are a lot of things wrong with the existing place
27 and it would probably cost more to do it, keeping everything that's there and raising that
28 up instead of quasi demoing and doing it the way the project sponsor has decided to do it.

1 So that's the first thing. And I was here when we voted for the merger. This isn't part of
2 what we hear when we approve mergers, but I would've like to have known that the
3 lower units, lower part of the units were not of legal height at that time, so we would
4 know that they couldn't even serve as a second unit now even if the units were unmerged
5 and made into two units. Those would have to be--the whole thing would have to be
6 raised up probably two or three feet to be able to make those habitable units even under
7 the lowest of standards. Worked with project sponsor and I got a lot of things done that's
8 improved the project a lot. The first thing is the area to the north, and I agreed that we
9 should try to preserve as much light and air as possible to the northern building up to the
10 point where he has the window. Because to the west of that window, you're not going to
11 get any light in there because it's the west. It's on a hill behind--there's a hill behind the
12 building to the west. Even it's open, you're not going to get any of it. But the area to the
13 south, is where the sun will come from. So the three-foot separation on the upper most
14 floor of the new building is very important. Also, making it more of a pitched roof is
15 going to add even more light into there. So there may be some room for some additional
16 work to open that even more. But I think the project sponsor has done a lot. The other
17 thing I found out to the comments that the lower units are not habitable; it's very
18 habitable. I was there. It was a sunny day, lots of sunshine everywhere, even in the
19 backyard below where the existing house exists now. So even the level below the garage
20 is going to have lots of light. And now they have made a second level, turned it into a
21 townhouse. So that lower level is going to be a very pleasant level on both levels and
22 plenty of light. And of course, the upper units will get light. Because almost all of the
23 light to this house is going to come from the south and the east because that's the
24 direction where the hill slopes down to and there's a huge slope there. So both of the
25 units in the range of 2,500 square feet which I think is a very good size the way they're
26 laid out, especially with the constraints that you have, having setbacks on the two sides,
27 they've done a good job. As far as the façade, they've changed it. They've made it into
28 the Queen Anne façade that exists now. And that is what, if it is approved, I will

1 guarantee you, it will be built that way. I'll be out there checking it while it's being
2 constructed and if it's anything else, I'll go to DBI and tell them to stop construction. It
3 has to be exactly--this is what's very important to me to have contextual design and have
4 things that kind of fit in a neighborhood, not another modern structure. And also of my
5 suggestions, they did slant the back part of the addition with ten-foot ceilings in the
6 middle and eight-foot on the sides. There may be an area for a little more of a slant on
7 the sides. I think you legally need probably about seven feet. That's a DBI issue. But
8 that does help a lot with light and air and making that back section look a little better. In
9 terms of height, the front of the building will be 31 feet, 7 inches from the street, from the
10 curb, which is only six feet higher than the existing one. So it's not a huge impact and
11 it's relatively, in keeping with many of the other buildings along that street on both sides.
12 The rear peak as measured from the curb is only 28.7. Obviously, it's higher from
13 ground level because of the extreme downslope that exists there. But both are well
14 within the 40-foot height limit and they of course conforms to the 45-foot rear yard. The
15 tree is really oversized, breaking up the sidewalk, not appropriate for the street, unlike
16 any other trees on that street. I had big trees in front of my house and one of the branches
17 fell on the house; I got rid of them. They were big acacias and I put some ginkos now
18 that are smaller and more appropriate. And I think that's what needs to be done here.
19 Whether your put a garage in or not, you got to get rid of that tree; it's a hazard. And the
20 side setback is a minimum of 4.2 feet, which is a good setback in terms of the distance of
21 the property line. Even detached homes in RH1 parts of the city are usually only three
22 feet from the property line each. So a 4.2 setback at minimum and then it expands to five
23 and six feet makes sense. The other thing about this being two units, I don't really know.
24 I know it was originally built as a single-family home in 1905. Somewhere along the line
25 it was converted to two units. We really don't know the date. I'm sure it's somewhere in
26 the records. But it hasn't been--most of its existence was probably as a single-family in
27 maybe Second World War or '60s or sometimes this kind of illegal little unit was created
28 down below there, which does not meet code. As far as suggestions made, I think the

1 project sponsor might be willing to--and I can check with him--to reduce the size of some
2 of the terraces of which would meet some concerns about privacy. And as far as the
3 structure to the south, which I think is 441 Hoffman, is a very shallow building. So they
4 have to leave a large setback, which they have. But the fact that it extends further into
5 the rear yard is more the deficiency of that structure being not deep enough than the
6 structure being too deep. So I'm in support. I'm willing to work with other
7 commissioners and project sponsors to make whatever modifications we can to get this
8 thing approved. Too often we are preserving unsound or unfunctional older homes that
9 have no historic value. And for someone to make it into a decent place would probably
10 cost a lot more than the project that's planned today which is going to create two family-
11 sized dwelling units and still has contextually fits in with Hoffman Street.

12 Clerk: [6:17:51] Commissioner Moore.

13 Moore: [6:17:52] I'd like to start with a few questions. Perhaps Mr. Washington, you could just
14 clarify as to whether or not the existing units are six feet in room height and are
15 considered rent-controlled unit. I do not think that six-foot-high room height even
16 qualifies for habitants.

17 Washington: [6:18:13] It's currently a single-family residence now. It was originally a two-unit
18 building, but the decision had been made to allow the building to be merged. I haven't
19 been inside of the structure. I think the project sponsor's architect could probably answer
20 that question as far as what the ceiling height is. Commissioner Antonini alluded to. But
21 I have not physically been inside the building to actually see if I can stand up in it.

22 Moore: [6:18:37] I think we all know the code well enough including how tall we are six-foot
23 rooms are just not possible.

24 Washington: [6:18:43] I think minimum interior ceiling heights are seven and a half feet.

25 Moore: [6:18:47] Thank you. Second point. 2008 unit merger, I was on the Commission, young
26 commissioner at that time. I don't think I approved unit mergers at that time. But that is
27 neither here nor there. That's water under the bridge. What I like to focus on that this
28 particular project really distinguishes itself through a known site sensitive for **non-site**

1 specific solution. I think it is an aggressive remodel. It looks like the previously referred
2 to Richmond special, that it's a slightly different vintage of homes being built out of
3 context and I do take some issue to not recognizing the context when you come forward
4 with an enlargement of this size. We have had other projects. Particularly, the architect
5 in question has had pushback on other projects because they just didn't quite hit that
6 subtle middle ground. And I believe that this particular building deserves to be designed
7 with a strong focus on residential design guidelines and actually residential design
8 guidelines **should drive** the design of this project. What I mean by that is sculpting the
9 project to be site specific and responsive to where it is. I think one of the most layering
10 errors of this project is that it doesn't step down. It should really, in its extension to the
11 rear, step down in order to create a more harmonious and less intrusive relationship to
12 those people who spoke and showed the relentlessness of this long building. But that
13 aside, I think we have issues with sensitivity to topo, sensitivity to privacy, issues of
14 privacy. And I have to say, given everything that is there, there is a certain lack of skill
15 by which this project really brutally goes through wanting to eliminate a tree, when trees
16 of that particular kind have been issued for Commissioner Richards, for example, fighting
17 for a tree to become a designated tree. This is in the public right of way, a tree that could
18 easily be declared to be a legacy tree and something for which we could get preservation
19 status because we don't believe that because it has lifted roots, which is not really an
20 issue, it needs to be taken away. It doesn't. So I believe I want to use the discretion of
21 this Commission, particularly as a CU, to suggest that this project has to go back and
22 really get into a serious dialogue with a site and the existing conditions. That involves
23 looking at topography, looking at residential design guidelines, how to sculpt a building
24 and then, if at all possible, still engage into a better dialogue with the neighbors about
25 very specific issues. That includes the breezeway and leaving a comfortable living
26 environment, even if the home is larger for the adjoining neighbors. So I move that we
27 continue the project and look for the architect to work with the Planning Department and
28 with adjoining neighbors.

1 Clerk: [6:22:13] Commissioner Moore, do you have a suggested date?

2 Moore: [6:22:16] This can take two, three months. This architect has gone through something
3 similar on another project with us. I would say October. Because given what we
4 continued today earlier, this will require a little bit more work. Perhaps the architect is
5 kind of skilled to do it quicker. But October would be the first date--

6 Clerk: [6:22:37] October 13?

7 Moore: [6:22:38] Huh?

8 Clerk: [6:22:38] October 13?

9 Moore: [6:22:39] Yes.

10 Richards: [6:22:40] I'll second that.

11 Clerk: [6:22:49] Nancy, are you saying you're not available? October 6th. October 20th.
12 Commissioner Moore are you amenable to modify--

13 Moore: [6:23:03] Totally, if that suits everybody, that's fine by me.

14 Richards: [6:23:10] Shall I call--there's more comments and then I'll speak.

15 Hillis: [6:23:17] I agree with the continuance and I think the project needs some work. I
16 appreciate where Commissioner Antonini has taken it to. But I think to me, and if I can
17 ask the project sponsor, the garage causes a lot of problems. It ends up leading you to
18 this area that it's a demo. It causes you to change the façade. It's a great kind of historic
19 building. So can I ask you, have you looked at the possibility of keeping the garage and I
20 think you get square footage back that you can use for other uses. If you go up the block
21 and up the hill, I don't think there's many homes that have garages as you know.

22 Condon: _____ [6:23:59]

23 Clerk: [6:24:01] Ma'am you'll need to speak into the microphone.

24 Hillis: [6:23:03] I just want to ask have you considered eliminating the garage? Because I think
25 it's causing problems. And why not?

26 Condon: [6:24:13] Because we wanted to put a garage in there. There are many garages on this
27 street. There are projects approved within the last five years that are very modern that are
28 taller than this, within the block, on the same side of the block that also have--

1 Hillis: [6:24:28] I think the problem is you're taking--I mean it's a great historic building and
2 context as you go up that street, they're smaller kind of in height, cottage looking. I
3 know they all kind of extend significantly in the back. But what's your goal in this?
4 What is your goal? Because I think you can go a couple of ways. You can eliminate the
5 garage. You've got a single-family home, make kind of an addition to the back that's
6 significant too and get you a significant home. So I think the garage is causing problems.
7 It's the tree, it's the demo, it's the lifting up, it's the historic integrity of the building, and
8 kind of spirals. To get a two-car garage in there is tough on a small--

9 Condon: [6:25:17] It's not that difficult. The previous homeowner sold the building because they
10 couldn't do a garage and they had three children and couldn't fit in a building if they
11 were going to be fought this long to try to remodel it. There are houses that look frankly
12 almost identical to this on this block of Hoffman with garages.

13 Hillis: [6:25:34] But maybe the topography allowed them easier to facilitate putting in a garage
14 in there. That'd be my issue with this. I think it leads to a lot of problems in this. And
15 certainly, what we've seen in the last couple of years is the ability to actually build, sell
16 homes in units without garages. It happens...a lot. And again, it's causing you
17 problems. It's causing you a demo of what I would consider--I know the department
18 doesn't consider it necessarily a historic resource. It leads you to elevate. It causes
19 problems. It adds to the square footage that you otherwise could take back and use for
20 something else and perhaps give some space back to your adjacent neighbors. But that
21 would be--I think project needs work. And I think that's one direction you should
22 consider. So thanks.

23 Richards: [6:26:40] I guess the question that I have for staff, Ms. Tran is maybe in a prior packet,
24 there was a historic evaluation report or at least a summary of one. Do you have that
25 available? I'd love to be able to hand it to over the wall while commissioners talk. Other
26 question Ms. Tran, do you know what kind of tree that is?

27 UM: New Zealand Christmas tree.
28

1 **Richards:** New Zealand Christmas tree. Okay. [*Talking to person handing him a packet of*
2 *documents.*] Okay. Thank you. Thank you. And no appraisal? We would need an
3 appraisal in this?

4 **Chan:** [6:27:22] It's not required for the conditional use. It was for the DR.

5 **Richards:** [6:27:25] DR, okay. Got it. This is like the third or fourth one of these today of the *de*
6 *facto* demos by definition or whatever you want to call it. And we just have one. We had
7 one at 14 and 16 Laidley where we're going to be demolishing a two-unit building to
8 create two new units. One was unoccupied for more than 10 years. One is an owner-
9 occupied, but yet it's a CFCO by the Building Department two more units are gone out of
10 rent control. We just sat here and continued an item to go redesign on 1848/1850 Green,
11 same issue. Also, whether this is a two-unit building or not, I'd like to talk to
12 Mr. Williams about that. But we keep destroying relatively affordable homes. I said this,
13 I keep saying this over and over. One of our party policies is keeping sound housing, yet
14 that's affordable to 11% of the people or 15% or some number that's not huge or
15 replacing it with housing that's affordable to the 1% and I get property rights, I get all
16 that. And you turn the corner, we got these big boxes everywhere. We're going to have
17 one on Green Street. And the city is--we're starting to lose it. In Noe Valley, this is
18 becoming endemic. Every block, there's something like this going on. At least this one
19 has seen the light of day. Some of them are serial permitting. That issue just keeps
20 springing up and a couple I've actually been involved in with the Building Inspection
21 Department I don't support--I agree with Commissioner Hill, putting the garage in really
22 is--and this takes us into a spiral. And I think you're going to need to work with
23 neighbors and work more sensitively around keeping more of the building there and
24 expanding as much as you can without actually destroying what you've got, and that
25 includes the tree. Right now, that's all I have. It's getting late. Commissioner Antonini.

26 **Antonini** [6:29:31] Yeah, well in terms of the structure, I guess I could ask the project architect that
27 was questioned about the lower floors. Maybe the other commissioners should take a trip
28 out there in the interim and see for yourself how low those are because that's not a legal

1 height for habitation in that lower part of it. So even though you're talking about cars
2 and garages, the place is going to have to be raised. Even if you had no cars, you had no
3 garage, you saved the tree, all the things you wanted to do; this junky house would have
4 to be raised a little bit to make it legal and to have enough space for that lower floor. So
5 that's the first thing. Second of all, families are moving in and moving out because these
6 are people who moved here who tried to make a go of it. The family who had it merged,
7 the family who came in after the family who had it merged, they both moved out of San
8 Francisco because they couldn't get parking in there. It was too expensive to try to make
9 this into a livable house for them and so that's kind of what's on before us. So regardless
10 of what we do and some of these suggestions are probably ones that could be
11 implemented. It's going to be a better, bigger home, ideally two units because at least
12 you could have two families. And families are going to leave San Francisco unless they
13 can find family-type situations, usually with a garage, with a large enough house, with
14 enough bedrooms, and that's what's happened historically on this. So anyway, I am
15 happy to continue to work on it and see if we can address the concerns that the other
16 commissioners had and we certainly have plenty of time with it being in October. I
17 would hope it could be sooner, but we'll get it done and come back with the project that
18 is even better in October. Unlike the project on Green which specifically did not even try
19 to make two equal-sized units, this project sponsor listened to what we said and equalized
20 the size of the two units. They may need some more work, but they are moving in the
21 right direction. Unlike a lot of sponsors who throw up modern glass houses, this sponsor
22 is willing to put a Queen Ann home there, in keeping with what's there now. So I think
23 they are moving in the right direction. And I think we can turn out with a very good
24 product in October.

25 Clerk: [6:31:54] Commissioner Moore.

26 Moore: [6:31:5] I think this Commission is having more resonance with the fact that the second
27 units, which we are being confronted with in these oversized homes have to be of equal
28 or like qualities than the primary units. I am not prepared to see all second units which

1 are being brought forward to be basement units. I am not prepared to see them under a
2 garage, for sure. And I think we need to raise the level by which people who want to
3 enlarge a primary residence of what type of second units they are offering, because if the
4 existing building has two qualified rent-controlled units in it, we are not doing anything
5 to further the cause to create livable quality units. Nobody wants to live in a basement.
6 Nobody wants to live below a garage, leave alone having to contend with as a neighbor to
7 what the thing does to many homes up and down the street. There is no birthright in the
8 fact that a house across the street or somewhere is higher or has a garage. You cite
9 specific response and I'm talking to the architect is what either makes or breaks a unit.
10 This particular Commission has the discretion to talk about the broader issues which we
11 apply equally to everybody. As to whether or not your design meets expectations, one of
12 what is important to us relative to furthering quality of housing stock, but also as to
13 whether or not we are properly responding to what neighbors are asking us. And so, call
14 the question, please.

15 Clerk: [6:33:43] Commissioners, there's a motion that has been seconded to continue this matter
16 to October 20th. Commission Antonini?

17 Antonini: [6:33:49] Aye.

18 Clerk: [6:33:50] Commissioner Hill is?

19 Hillis: [6:33:50] Aye.

20 Clerk: [6:33:51] Commissioner Moore?

21 Moore: [6:33:52] Aye.

22 Clerk: [6:33:53] Commissioner Woo?

23 Woo: [6:33:53] Aye.

24 Clerk: [6:33:54] And Commission Chair Richards.

25 Richards: [6:33:55] Aye.

26 Clerk: [6:33:56] So move the Commissioners. That motion passes unanimously 6 to 0. Excuse
27 me, 5 to 0.

28 UM: [6:34:01] I think we're going to take a 10-minute brake. We'll be back at 7 o'clock.

1 [End of Recording 6:34:05]

2

3

4

5

6

7

8

9

10

11

12

13

14

15

16

17

18

19

20

21

22

23

24

25

26

27

28



June 2, 2017

Via Electronic Delivery

Rich Hillis, President
San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

RE: 437 Hoffman Avenue
Discretionary Review Request: 2015-003686DRP-05
Hearing Date: June 15, 2017

President Hillis and Members of the Commission:

EXECUTIVE SUMMARY

1. The Project Began Nearly a Decade Ago. The prior owners received permits to merge the existing two units into one; the permit specifically did not allow an expansion of the building envelope. The previous owners did not implement the merger, and therefore the Building still contains two physical units.

2. The Current Sponsors Have Tried to Get Around the Restrictions on the Size of the Project. Sponsors have tried over the counter permits and a Conditional Use Authorization. However the City has told Sponsors to work with the neighbors to alter the proposal to make it more compatible with the site topography and character of the neighborhood. Sponsors canceled several scheduled meetings, and modified the project numerous times to get around meeting with the neighbors or subjecting themselves to review by the City.

3. Sponsors Now Want A Rubber Stamp of Their Project Which they Still Refuse to Discuss With Their Neighbors. Sponsors promised to hold a new pre-application meeting to present the new project. Instead Sponsors merely issued a new 311 notice on February 15, 2017. The plans accompanying the notice proposed building would add a massive amount of square footage.

4. The Proposal Will Result In Two Highly Unequal Units. The Proposal will result in one Unit of 3292 square feet and a second unit of 1487 square feet. These two units are highly unequal and will exacerbate the unequal access to housing in San Francisco.

5. The Proposal Will Decrease the Number of Rent-Controlled Housing Units. The Proposal adds two new units which are exempt from the Rent Ordinance's Price Controls,

in the place of two de facto units which are subject to the Rent Ordinance's Price and Eviction Controls.

6. The Proposal Eliminates Light and Air to DR Requester's Building. The Project proposes to eliminate and cover DR Requesters currently sunny, south facing windows. These windows are the only major source of light and air to the South side of DR Requester's building. The windows which will be covered are three stories tall and will be turned into a forced "lightwell" if the Project is allowed as planned.

7. The Proposal Eliminates The Breezeway. There is currently a significant side setback between DR Requester's north adjacent building and the Project building, which the proposal will completely eliminate. Sponsors have accommodated the south adjacent neighbors, by maintaining the breezeway between those to properties, but they have refused to even meet with DR Requester in regards to the same request.

8. The Proposal Will Be Uncharacteristically Tall. The Project adds a full story of height to the front of the building. The proposed four story roofline still sticks up 10 feet higher than DR Requester's roof, to a total height of over 50 feet in the rear of the Project. DR Requester's residence is to the north of the Project, and therefore the Project promises to plunge DR Requester into forced shade for all but a fraction of the year.

9. The Proposal Will Impact the Privacy of DR Requester and Other Neighbors. The exceptional height, and massing of the Project combined with the large windows and balconies will have a negative impact on DR Requester's privacy because the windows and balconies will loom over and look into the windows of DR Requester and other neighbor's buildings.

10. The February 15, 2017 Plans Are Not Signed by a Licensed Architect or Engineer. The most recent plans submitted in support of all of these extraordinary and exceptional negative impacts from the project, are not signed by a licensed Architect or Engineer, nor are the plans dated, in direct violation of the Planning Code's rules for building plan submittals.

INTRODUCTION

This office represents R. Gene Geisler, the owner, and a 35-year resident, of the residential building at 431-433 Hoffman Avenue in Noe Valley. Dr. Geisler has been a professor at San Francisco State University since 1960. He is now a largely retired Professor Emeritus, but he continues to contribute to the University Community through the Gene Geisler Endowed Scholarship. Dr. Geisler lives in one of the four small rent-controlled units in his building.

The development team that owns the building at 437 Hoffman Avenue (Blk/Lot: 6503/024) directly to the south of Dr. Geisler's building, has after many revisions, presented another proposal. The project is essentially still the same as the last proposal except this time the developers are not classifying the project as demolition of the existing building (built in 1905) and new construction of an uncharacteristically larger, and taller building in its place ("the Project"). This is because the Sponsors encountered resistance from the neighbors and were told to modify their previous project which was presented on June 30, 2016 as a demolition requiring Conditional Use Authorization.

The Commission did not rubber-stamp Sponsor's proposal, and instead told Sponsors to work with the neighbors to alter the proposal to make it more compatible with the topography site and character of the neighborhood. The existing building originally had two units.

Rather than adhere to the instructions of the Commission, Sponsors blew off several attempts by the neighbors to meet with the Sponsors to discuss modifications which would reduce opposition to the project. Therefore there had still not been a meeting between the neighbors and Sponsors (despite clear and unambiguous instructions at the June 30, 2016 hearing that the Sponsors were to meet with the neighbors) when the Project came before the Commission again on October 20, 2016.

At the October 20, 2016 hearing the Sponsors announced that they had again modified the project such that it no longer qualified as a demolition and therefore no longer needed a Conditional Use Authorization. Sponsors promised to hold a new meeting at which they would present a new project. Despite their promise to meet with the neighbors, Sponsors failed to hold a pre-application meeting, and merely issued a new 311 notice on February 15, 2017. The plans accompanying the notice proposed building would add a massive amount of square footage. The proposed expansion will result in the loss on paper of one unit of rent-controlled affordable housing (and the actual loss of two rent-controlled units), and replace it with a two unit home of nearly 5000 square feet which is not subject to the Rent Ordinance and almost doubles the existing square footage.

The developers have used deceit and withheld information to get what they want over the clear and consistent complaints of the neighborhood residents. The developers do not plan on living in the neighborhood; otherwise it would be hard to imagine them treating their neighbors in this way. The Commission should credit the complaints of their

constituents, over the financial well-being of the out of town developers who have thus far run roughshod over the permit process, and take discretionary review and disapprove of the Proposed Project.

Dr. Geisler and all of his neighbors request that the Commission take Discretionary Review and deny or reduce the proposed expansion and deny the demolition of the existing 111-year-old house. The Project is exceptional and extraordinary because it will unnecessarily block air and light from reaching Dr. Geisler's home. It is exceptional and extraordinary that the Project will completely block Dr. Geisler's now sunny, south facing windows. Part of the proposed Project will fill-in the existing breezeway between Dr. Geisler's property and the Project Property. This destruction of the existing breezeway is clearly exceptional and extraordinary because the building is already capable of accommodating two residential units.

PROJECT HISTORY

The history of a series of projects at this site stretches back nearly a decade and includes former owners of the property. The history begins with a merger application filed in 2008 by the then-owners, the Riley's, which granted the right to merge the two units at 437 Hoffman into one unit.

A Merger Application Was Approved with Express Limits to Protect the Neighborhood

The merger application was subject to a mandatory Discretionary Review hearing on September 25, 2008. The Planning Department staff recommended against the merger, and there was great concern about the loss of affordable rent controlled housing (see Discretionary Review Analysis, Exhibit 1).

The merger was approved on a two to two vote and expressly on the condition that the owners would not expand the envelope of the building or take away street parking by applying for a new garage curb cut (see Exhibit 1). The four Commissioners present that late evening were split on the issue of taking DR and therefore the Commission did not take DR and approved the merger request (Exhibit 1). The resulting permit, BPA No. 2008.0627.5494 contains two separate notes from DBI staff admonishing the owners that there was to be "no expansion" and no curb cut ("NO ALTERATION OR CONSTRUCTION OF CITY RIGHT OF WAY UNDER THIS PERMIT No Street Space!" (Exhibit 2)).

Despite having the unit merger approved by the Planning Commission, the merger was not physically implemented. The second kitchen was not removed and the units were not internally connected. In 2010, the Riley's sold the house to the Project Sponsors (Exhibit 3; Excerpt of Deed of Trust). In 2011 the Project Sponsors retained the architecture firm Toby Long Design to create plans for the addition of a garage, and a rear expansion of the existing building (See Exhibit 4; Toby Long Design 437 Hoffman Ave – Proposed Project History). The addition of a garage, of course, necessitated a curb cut which

violated the express instructions of the Planning Commission and the Department of Building Inspection. The expansion also violated the express instructions of the Planning Commission and the Department of Building Inspection from the June 27, 2008 merger approval. Furthermore, the plans produced in association with the merger have never accurately shown Dr. Geisler's south facing windows, which the proposed project will shroud in perpetual darkness.

Creeping Expansion in Violation of the Merger Approval Conditions

On April 19, 2012, Dr. Geisler and other concerned neighbors attended a pre-Application meeting where they were presented with a massive rear addition (Exhibit 5; Pre-Application Notice). On this date the Developers stated that the building would go from 2230 square feet to 3460 square feet and add 6 feet in height (Exhibit 5). The Project would also remove a significant street tree, raise the height of the structure, add a garage and eliminate street parking.

A Notice of Planning Department Requirements required the completion of the merger before the expansion plans could be approved. The permit application to complete the merger was filed on September 9, 2012, but was withdrawn 10 days later on September 17, 2012 (Exhibit 6).

On May 16, 2013, the Project Sponsors filed revisions to the June 27, 2008 merger Permit (Exhibit 2) to revise the unit merger permit with "no additional work beyond what was orig. approved" (Exhibit 7). A complaint was filed stating that the merger was exceeding the scope of the permit; it was clear from the face of the proposal, that the goal was not a unit merger, but a large rear addition and a garage.

The Neighbors received Notice of a Pre-Application Meeting on March 6, 2014 and Plan Set (Exhibit 8). The notice of pre application meeting states that the Project would expand the building from 2238 square feet to 3809 square feet, and increase the building front from 24 feet to 30 feet in height (Exhibit 8).

On April 11, 2014, the Project Sponsors submitted plans for a \$900,000 "trriage" expansion (Exhibit 9). The neighbors did not receive notice of the plans being submitted and approved, and instead merely received notice that 437 Hoffman was being sold.

The Developers Have Presented a Dizzying Array of Project Proposals, Alternatively Calling the Same Project an "Alteration" and a Demolition

On June 6, 2014, the Planning Department sent the Project Sponsor a Notice of Planning Department Requirements (Exhibit 10). This notice stated that the Department could not approve the application submitted based on the plans provided because the plans did not correctly show the adjacent properties.

In 2014, Project Property was bought by Count's Gold LLC, a Delaware Corporation which appears to be an investment group that includes a developer, a builder, the Project

Sponsor, and others (Exhibit 11; LLC Registration from Secretary of State. Exhibit 12; deed). On January 30, 2015 Dr. Geisler and the neighbors attended yet another pre-application meeting, but the same developer and project sponsors were there to present the same project despite the reported sale of the property (Exhibit 13 Notice of Pre-Application Meeting and sign-in sheet).

On February 25, 2015, the neighbors attended another pre-Application meeting (Exhibit 14; Notice of Pre-Application Meeting and sign-in sheet), where the project sponsor showed a new set of plans for a “remodel” that the project sponsor said was tantamount to a demolition. The plans showed an even larger rear addition than the last set of plans showed, but otherwise had all of the same problems that the neighbors had consistently complained of. The new plans showed a structure that totaled over 6000 square feet. Dr. Geisler and the other neighbors objected to the excessive ceiling height of all the floors. At the second pre-Application meeting, the neighbors were presented a less boxy-looking façade, and a very minor setback was presented to mitigate loss of privacy to the neighbors to the south (similar to what Dr. Geisler is asking for on the north) (Exhibit 14). These concessions were short lived.

Despite this, on March 10, 2015 the Project Sponsors filed for another permit (Exhibit 15) estimated at \$750,000.00. The plan set from that permit shows an addition that nearly doubled the size of the existing building. Because the plans submitted by the Project Sponsor did not meet the Planning Department’s requirements, the Department issued two Notices of Planning Department Requirements on May 28, 2015 (Exhibit 16), and September 2, 2015 (Exhibit 17). In the May 28, 2015 Notice of Planning Department Requirements the Department noted that the submitted plans did not accurately depict the neighboring properties’ front setbacks (Exhibit 16). The September 2, 2015 Notice points out that the labeling of measurements was “incorrect or inconsistent” (Exhibit 17).

On October 13, 2015 Dr. Geisler received Notice of Building Permit Application and Plans (Exhibit 18). The notice showed contradictory information on its face. For instance, the notice indicated that the project scope includes a side addition. However the Project Sponsor indicated that there is no side set back on the existing or proposed building, which would make it impossible to build an addition without encroaching on the adjacent property. These representations were contradicted by the enclosed plans which clearly showed a side expansion that would unnecessarily block Dr. Geisler’s air and light.

On December 1, 2015, the Neighbors received yet another proposed plan set in a Re-Notice of Building Permit Application and Plans (Exhibit 19). The December 1, 2015 Re-Notice Plans list the existing square footage of the property as 2992 square feet (up from 2230 square feet on April 19, 2012 (Exhibit 5), and 2238 square feet on March 16, 2014 (Exhibit 8)). Other than that there were no substantive changes, and the problems described in the October plan set remained. Yet again Project Sponsor indicated that there was no side set back on the existing or proposed building. Again this was contradicted by the enclosed plans which clearly showed a side expansion which would unnecessarily block Dr. Geisler’s air and light. There cannot be a side addition unless a side setback already exists.

Facing Resistance From The Neighbors, The Developers Change their Tactics (Again)

In light of the objections of the Neighbors of the project, the developers have changed their tactics again, and cancelled the previously scheduled Discretionary Review just days before the regularly scheduled hearing date. Instead Project Sponsors requested a Conditional Use Authorization for the Demolition the 111 year old building. (Exhibit 20; Conditional Use Application for Demolition.) The unsigned and undated Conditional Use Authorization was processed by the Planning Department on May 04, 2016. The Conditional Use Authorization was accompanied by a set of plans dated April 22, 2016 (Exhibit 21).

The Conditional Use Authorization application and accompanying plans did not make substantive changes to accommodate Dr. Geisler's reasonable objections regarding the project. Although for the first time in many years the plans were signed by an engineer.

The Commission Hears the Conditional Use Application, Requests Changes and Continues the Conditional Use Proceedings. Sponsors Withdraw The Conditional Use Application

Sponsors received a continuance from the June 2, 2016 hearing, and the matter was finally heard on June 30, 2016. At that hearing the Commissioners expressed their dissatisfaction with the project as proposed. Rather than put the Conditional Use to vote, the Commissioners continued the case until October 20, 2016. Commissioner Moore in making the oral motion to continue stated:

I believe I want to use the discretion of this Commission, particularly as a CU, to suggest that this project has to go back and really get into a serious dialog with the site and the existing conditions. That involves looking at topography, looking at Residential Design Guidelines, how to sculpt a building, and then, if at all possible, still engage into a dialog with the neighbors about very specific issues; that includes the breezeway and leaving a comfortable living environment, even if the home is larger, for the adjoining neighbors. So I move that we continue the project and look for the architect to work with the Planning Department and with adjoining neighbors.

Exhibit 22: Transcript of June 30, 2016 Planning Commission Meeting.

At the June 30, 2016 hearing, the Commission gave general and specific instructions to the Project Sponsors for modifying the Project in a way that the Commission would find acceptable. The Commission's general instruction to the Sponsor was to work with the neighbors and to work with the topography of the site to design a project that fits in with the site and with the neighboring buildings. Specifically the Commission urged the Sponsors to do the following: (1) maintain the breezeway between the Project and DR

Requester's north adjacent property; (2) save the existing tree; (3) eliminate the proposed insertion of a new garage so as to reduce the addition of mass at the rear; (4) reduce the height and continue the peaked roof as it is all the way back to allow sunlight to adjacent buildings; (5) reduce the size and/or eliminate the terraces; (6) "step down" the building with the others at the rear and on the street-scape; (7) retain the façade and more of the building to avoid a demolition; and, (8) use the Residential Design Guidelines to reduce and shape the proposal to fit the neighboring buildings and topography (Exhibit 23).

The Commission's instructions were relatively simple and specific. Sponsors were to re-draft the proposal and to take into account the topography of the site the requirements of the Residential Design Guidelines. They were also directed to engage the neighbors on very specific issues such as the breezeway (shown below).



Attorney for DR Requester, Stephen M. Williams attempted to contact Sponsors on July 29, 2017. Sponsors claimed at the time that they were not ready for a meeting. On August 4, 2016 a neighbor attempted to contact Sponsors directly to set up a meeting. Sponsors again refused to meet preferring instead complain that the neighbors of being unfair and "scheming" (See Exhibit 23).

On October 17, 2016, 3 days prior to the October 20, 2016 hearing, the Sponsors began waffling on the Conditional Use Authorization, and informed the neighbors and the Planning Department that due to the Department's review of the demolition calculations generally, that Sponsors needed to wait and see how changes to the demolition rules would affect the project.

After receiving multiple continuances, delaying the Conditional use hearing for 9 months, the Sponsors withdrew their Conditional Use Application On January 19, 2017, and indicated that they would start over with a "new" project. The Commission Meeting Minutes (excerpt attached as Exhibit 24) from the January 19, 2017 recorded the Commission's concerns regarding the Project in great detail, going to far as to quote the

eight (8) June 30, 2016 “Planning Commission Directives” listed above. Despite this incredibly clear statement of the Commission’s expectations the Sponsors refused to meet with the neighbors to discuss the new project, preferring to simply “present” a new project after it was completed without neighborhood input.

Now Sponsors are back again, with a “new” proposal, which looks suspiciously similar to every single proposal which has been submitted. (Exhibit 25: February 15, 2017, 311 notice and plan set). This time the proposal does not trigger the demolition considerations of Planning Code section 317. The new proposal also does not preserve the breezeway between the project and DR requester’s building as Sponsors were instructed to do at the June 30, 2016 hearing. The new proposal does not step down the roof as the Sponsors were instructed to do at the June 30, 2016 hearing. The new proposal does not eliminate the garage as the Sponsors were instructed to do at the June 30, 2016 hearing. The new proposal does not abide by the Residential Design Guidelines, and was not designed to fit the topography as the Sponsors were instructed to do at the June 30, 2016 hearing.

The proposal still removes two existing rent-controlled and relatively equally sized residential units and replaces them with one uncharacteristically small unit, and one uncharacteristically large unit. The proposal is still an affront to the long time residents of the neighborhood by developers who have no intention of residing in the mcmansion that they are ramming down the throats of their neighbors.

The Commission Should Take Discretionary Review and Disapprove of the Proposal as Presented

The standard for taking Discretionary Review is that there are exceptional and extraordinary circumstances. Exceptional and extraordinary circumstances have yet to be defined, however a suggested definition provided by the Planning Department’s DR Reform effort defines the term as follows: “Exceptional and extraordinary circumstances occur where the common-place application of adopted design standards to a project does not enhance or conserve neighborhood character, or balance the right to develop the property with impacts on near-by properties or occupants. These circumstances may arise due to complex topography, irregular lot configuration, unusual context or other conditions not addressed in the design standards.

The current iteration of the Proposal is extraordinary and exceptional because it is at odd with neighborhood character rather than enhancing it. The current iteration of the Proposal is extraordinary and exceptional because dramatically alters the neighborhood character rather than conserving it. It also demonstrates an abject failure to balance the impact on neighbors with the right of developers.

The Proposed Project Will Eliminate Two Affordable Rent Controlled Units and Replace Those Units with Top of the Market Housing

The Proposal and the undated plans accompanying the February 15, 2017, 311 Notice still propose an almost 5000 square foot mansion, in the place of a 111 year old piece of

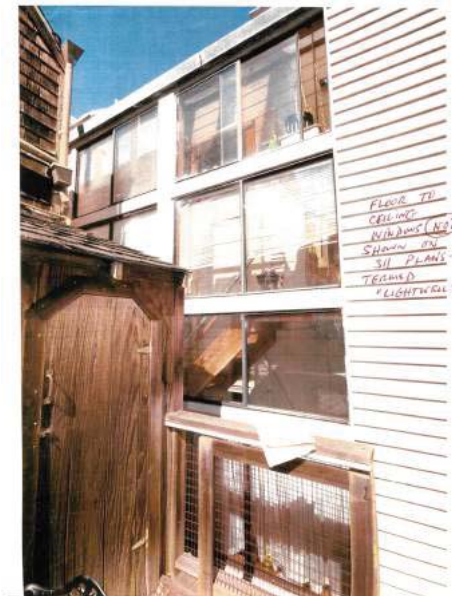
San Francisco history. The demolition of the old building will result in the Department of Building Inspection Issuing a new Certificate of Occupancy and Use. The proposed new construction will have the convenient benefit to the developers of coming with a new Certificate of Occupancy and Use. This certificate establishes the date that a building is constructed for the purposes of the Rent Control Ordinance which only applies to buildings with certificates of occupancy issued before June 13, 1979.

Therefore the new construction proposed will create two units which are not subject to the rent control ordinance, whereas there are currently two de facto units which are subject to the rent ordinance. The San Francisco General Plan Housing Element Objective 2 is to Retain Existing Housing Units ...without Jeopardizing Affordability. This proposal does not retain existing housing units, and jeopardizes affordability. It is a naked attempt to subvert City policies through artful drafting and permitting. The Commission should take Discretionary Review and disapprove this project.

The Proposed Project Is Exceptional And Extraordinary Because It Will Double The Size Of The Project Building Without Adding Any Housing Units

The proposed project is also clearly extraordinary and exceptional at the size contemplated. The Project sponsors have flatly refused to accommodate the residents of 431-33 Hoffman, who stand to have their entire exiting windows blocked by the proposed demolition and new construction.

The residents of 431-33 Hoffman have attended numerous meetings with the project sponsors; and their complaints have been clear and consistent. The residents of 431-33 Hoffman currently enjoy a breezeway (shown below) which allows air and light to reach two-story tall sunny windows on the south side of their building, which the project sponsors plan to block.



The project sponsors plan on covering the 431-33 Hoffman windows, and forcing the neighbors into accepting the resulting “lightwell”. They have indicated this intention from the beginning, by inaccurately labeling the windows at 431-433 Hoffman a “covered lightwell” on all of their plan sets, including the February 15, 2016 plan sets.

This is not a lightwell. It is a breezeway. The residents of 431-33 Hoffman do not **desire** to have the light and air in this breezeway blocked out by a new mansion, even if it will be a mansion with a modest second unit in the basement. The project sponsors have refused to accommodate the neighbors at 431-33 Hoffman by maintaining the existing side setback. In the most recent iteration of this project, even after the express admonition from the Commission to work with the neighbors on the issue of the breezeway, Sponsors still unilaterally close off the existing breezeway (Exhibit 25).

Dr. Geisler’s primary concern is the Project’s exceptional and extraordinary impact on his air, light and privacy. Dr. Geisler currently enjoys several hours of sunshine into these multi-story windows every day. There are no other windows on the south side of Dr. Geisler’s house. The Project plans do not even show Dr. Geisler’s windows, and instead label it as a “covered lightwell”. These windows are not a lightwell. They are two-three stories tall and are the only significant source of sunlight on the south side of Dr. Geisler’s building. The Project would not only completely encase Dr. Geisler’s only light source; it would tower over the resulting light well, blocking the little remaining light from above.

Side Spacing Between Buildings

The proposed project still fails to respect the air and light breezeway which currently exists between the Project Building and Dr. Geisler’s building. This expansion would violate the Residential Design Guidelines which call for the design of buildings to be responsive to the overall neighborhood context, in order to preserve the existing visual characteristic. The Residential Design Guidelines (at pg. 7) explicitly include block pattern and lot pattern in its explanation of neighborhood character.

There is a strong side spacing pattern present at the adjacent houses on this side of the block. The Project should respect this existing pattern as stated in the Residential Design Guidelines (“RDG”) (RDG at pg 15). The Project does not respect the existing pattern of breezeways between buildings, but rather abolishes it altogether. This breezeway is the only source of sunlight on the south side Dr. Geisler’s north adjacent building. Dr. Geisler’s sunlight would be completely blocked out in the windows that run along his property’s south side, because the Project will wall off the breezeway and the dramatically taller building height will tower over the resulting forced light well. Therefore the proposed project is neither exceptional and extraordinary, and is not compatible with the community. (RDG pg. 7.)

In San Francisco, respect for air and light, mid-block open space, which Dr. Geisler and the other neighbors are fighting for, are the norm and are protected under law by the Planning Code and Residential Design Guidelines. As the design guidelines point out,

“[a] single building out of context with its surroundings can be disruptive to the neighborhood character and, if repeated often enough, to the image of the City as a whole.” RDG pg. 3. The Project could not be more out of context.

The Prior Approved Plans Were Not Code Compliant and Omitted Basic Mandatory Information

In keeping with the pattern of misinformation from the developers in this project (See Project History above), the most recent undated (Exhibit 25) plans circulated by the Project Sponsors with the February 15, 2017, 311 Notice (and approved by the Department) did not comply with Planning Code. The attached Plans violated the requirements of Section 106.A.3.2 of the San Francisco Building Code. The Director of DBI has interpreted Section 106.A.3.2 to require that any plans submitted with a permit application, be **prepared** and **signed** by a California licensed architect, land surveyor, engineer, or contractor. The plans submitted with the pre-application notice, are not signed, or even dated (Exhibit 25). Therefore, they, violate DBI’s requirements for plan submissions.

The plans submitted, are the City’s only way to determine the impacts of a Project. When Developers submit inaccurate, plans designed hide features of projects the City cannot adequately determine what a project’s impacts are. The Commission should make the Developers resubmit accurate and code complaint plans so that the City can make an informed and relevant decision in this case.

The Project Is Uncharacteristically Tall And Out Of Place In The Neighborhood

The Project adds a full story of height to the front of the building. This is extraordinarily and out of scale with the rest of the neighborhood; and disturbs the scale of the existing roofline on the east side of the block. The proposed four story roofline still sticks up 10 feet higher than Dr. Geisler’s roof, to a total height of over 50 feet in the rear of the Project. Dr. Geisler’s residence is to the north of the Project, and therefore the Project promises to plunge Dr. Geisler into forced shade for all but a fraction of the year. For all this, extraordinary detriment to the neighborhood the project does not add to the overall number of physical units in existence.

Allowing the proposed building in this neighborhood would set a new standard of height and massing for the immediate area. It would be the only four story building on a block characterized by two and three story buildings (many of which are multi-unit buildings). In the current climate of rapid development and red hot real estate prices this is exactly the type of development that leads to massive changes in the historic character of neighborhoods like Upper Noe. This directly violates General Plan Priority Policy No. 2 which requires that “existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.”

Allowing an exceptional new building with a nearly 60-foot-tall, 4 story rear addition, in a neighborhood currently characterized by smaller 2 and 3 floor buildings, would

fundamentally change the character of the neighborhood. These impacts are made worse by the fact that the project site is already capable of accommodating two units, and therefore the entire expansion project is unnecessary. Despite the express instructions of the Planning Commission the proposed project does not respect the neighborhood or the topography of the site. It will completely block in and box out both adjacent neighbors. Such a result is extraordinary and exceptional under the Code and the RDG's.

Project Encroaches on Neighbors' Privacy

The height and depth of the Project is exceptional. Dr. Geisler's property to the north 431 will lose nearly all its sunshine. The property to the south, 439-441 Hoffman, will be walled in and there are large windows that create an exceptional and extraordinary impact on privacy. In addition, the decks still appear to have glass railings, which further increases the extraordinary loss of privacy. Regardless of frosted glass, the number of windows proposed for the northern and western elevations pose a huge privacy issue for Dr. Geisler. The new plans still labelled Dr. Geisler's windows as an "enclosed" or "covered lightwell". The new plans still destroy Dr. Geisler's breezeway and force his building into perpetual shadow. The new plans also still tower over the adjacent buildings, with huge windows staring into neighbors' living and bedrooms.

The problem is even worse for the back neighbors on Homestead Street due to the numerous windows proposed for the eastern elevation which will look into their backyards. The lots in the Upper Noe Valley area are steeply sloped and because of the steep slope in the rear yards of these buildings the undesirable impacts on the adjacent buildings will be overwhelming. Because of the east-west alignment of the buildings on this block, all of the neighboring windows and doors will be visible for all the neighbors.

The height and depth of the proposed expansion will have an exceptional and extraordinary negative impact the mid-block open space. Although one of the adjacent properties (431-433 Hoffman) extends well into this open space, this is only a two-story structure that is vastly smaller than the four story, nearly 60-foot-tall proposed Project. The proposed expansion will box in Dr. Geisler and the adjacent neighbors. Therefore, relative to its size the Project will have an extraordinary impact on the mid-block community amenity shared by all residents of the block. This type of expansion is precisely what the RDG refers to as inappropriate since it leaves the surrounding residents feeling "boxed-in and cut-off from the mid-block open space" (RDG pg 26).

CONCLUSION

Dr. Geisler Would Like the Commission to Take Discretionary Review and Demand Significant Changes to the Plans and to hold the Department Accountable for Enforcing the Planning Rules

Dr. Geisler would like to see the character of the neighborhood respected by maintaining the side setbacks on the north side of the Project. This compromise that has already been implemented on the south side of the Project. In addition to maintaining the side

breezeways, and not blocking Dr. Geisler's windows. Dr. Geisler would like the Commission to remove the top floor and reduce the rear yard extension of the proposed building. This would maintain the existing height character of the neighborhood, protect the neighbor's privacy, and (most importantly for Dr. Geisler) preserve the bright sunny conditions of the Project's northern exposure.

Importantly, the removal of the exceptional and extraordinary added height features of the proposed building will respect the privacy of nearby houses, including Dr. Geisler's which will be negatively impacted by the proposed upper floor and 60-foot-tall rear addition which will loom over the other buildings in the neighborhood and whose massive windows will look down on and into neighbors' residences, including Dr. Geisler's residence.

Dr. Geisler further requests that the Commission require that the proposed building's overall height be reduced to minimize the exceptional and extraordinary scale and massing of the new construction. This would keep the project more in line with the existing historic neighborhood. Even without the upper floor, the plans reveal that the proposed building would still have a dramatically expanded footprint, volume and scale than the current structure. The Project is nearly double the square footage of the existing building.

Since the plans call for the excavation and re-grading of the lot, the Dr. Geisler asks that the Department require that the excavation proceed to a further depth and back into the hillside in order to reduce the scale and height of the proposed building. This would also be more in keeping with the character of the neighborhood.

Finally, the Dr. Geisler would like the proposed building to be redesigned to be in closer harmony with the aesthetic character of the neighborhood. The Upper Noe Neighborhood is not characterized by massive mansions which tower over their humble neighbors, casting them in perpetual shadows; and the addition of such a building would stand out dramatically.

VERY TRULY YOURS,



STEPHEN M. WILLIAMS

Exhibit 1



**SAN FRANCISCO
PLANNING DEPARTMENT**

Discretionary Review Analysis

**Dwelling Unit Merger
HEARING DATE SEPTEMBER 25, 2008**

Date: September 16, 2008
Case No.: 2008.0572 D
Project Address: 437 Hoffman Avenue
Zoning: RH-2 (Residential, Mixed, Moderate Density)
 40-X Height and Bulk District
Block/Lot: 6503/024
Project Sponsor: William Pashelinsky
 1937 Hayes Street
 San Francisco, CA 94117
Staff Contact: Sharon Lai - (415) 575-9087
sharon.lai@sfgov.org
Recommendation: Take Discretionary Review and Disapprove

1650 Mission St.
 Suite 400
 San Francisco,
 CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
 Information:
415.558.6377

| EXISTING BUILDING | | PROPOSED BUILDING | |
|------------------------------------|-----------------|---------------------------------|---------------|
| Building Permit Application Number | 2008.06.27.5494 | | |
| Number Of Existing Units | 2 | Number Of New Units | 1 |
| Existing Parking | 0 | New Parking | 0 |
| Number Of Existing Bedrooms | 3 | Number Of New Bedrooms | 3 |
| Existing Building Area | ±2,105Sq. Ft. | New Building Area | ±2,105Sq. Ft. |
| | | Public DR Also Filed? | No |
| 311 Expiration Date | 9/18/08 | Date Time & Materials Fees Paid | N/A |

PROJECT DESCRIPTION

The Project is located on a downward sloping lot, where the sidewalk grade is located at the second floor level, in a RH-2 (Residential, House, Two-Family) District. The lot contains two dwelling-units within a three-story building, which was constructed circa 1905. The lower unit occupies the first floor and the upper unit occupies the second and third floors. The Building Permit Application proposes to reduce the number of legal dwelling units from two-dwelling units into a single-family house by constructing a new interior staircase, removing the lower level kitchen, and replacing the lower unit front door with a window (not visible from the street). The resulting single-family house will be a 3-bedroom and 2-bath dwelling unit.

PUBLIC COMMENT

| | SUPPORT | OPPOSED | NO POSITION |
|--|---------|---------|-------------|
| Adjacent neighbor(s) | 0 | 0 | 0 |
| Other neighbors on the block or directly across the street | 0 | 0 | 0 |
| Neighborhood groups | 0 | 0 | 0 |

PROJECT ANALYSIS

DWELLING UNIT MERGER CRITERIA

Below are the five criteria to be considered by the Planning Commission in evaluating dwelling unit mergers, per Planning Code Section 317, adopted on May 18, 2008:

1. Removal of the unit(s) would only eliminate owner occupied housing.

Project Meets Criteria.

The current owners purchased the property in 2006 and have been occupying the units since.

2. Removal of the unit(s) and the merger with another is intended for owner occupancy.

Project Meets Criteria.

3. Removal of the unit(s) will bring the building closer into conformance with the prevailing density in its immediate area and the same zoning.

Project Does Not Meet Criteria.

The properties in the immediate area within 150 feet of the subject property, between 24th and 25th Streets are zoned RH-2. Of the 42 properties surveyed in the immediate area, including the subject property, 40% (17) of the lots are multi-family dwellings. The average density for these 42 properties is approximately 1.5 units per lot. Therefore, the density resulting from this merger will not be in keeping with the prevailing density pattern of the immediate area.

4. Removal of the unit(s) will bring the building closer into conformance with prescribed zoning.

Project Does Not Meet Criteria

The subject property's current density is in conformance with the prescribed RH-2 zoning, in that there are two existing legal units. The proposed unit removal will not bring the building closer into conformance with the prescribed zoning, which permits two-units.

5. Removal of the unit(s) is necessary to correct design or functional deficiencies that cannot be corrected through interior alterations.

ENVIRONMENTAL REVIEW

The Project was issued an Administrative Categorical Exemption, Classes 1, Category B, Guidelines Section 15301(1)(1) and 15303(b)) on September 8, 2008.

BASIS FOR RECOMMENDATION

The Department recommends that the dwelling-unit merger from two-dwelling units to a single-family dwelling to be disapproved. The Department's recommendation is consistent with the Objectives and Policies of the General Plan and does not meet the criteria set forth in Section 101.1 and 317 of the Planning Code in that:

- The Project will result in a net loss of one dwelling-unit.
- The Project will eliminate two existing sound, smaller dwelling-units to create one larger, less affordable home.
- The RH-2 Zoning District allows a maximum of two dwelling-units on this lot. This District is intended to accommodate a greater density than what currently exists, and several of the surrounding properties reflect this ability to accommodate the maximum density. The Project is therefore an inappropriate development per the General Plan.

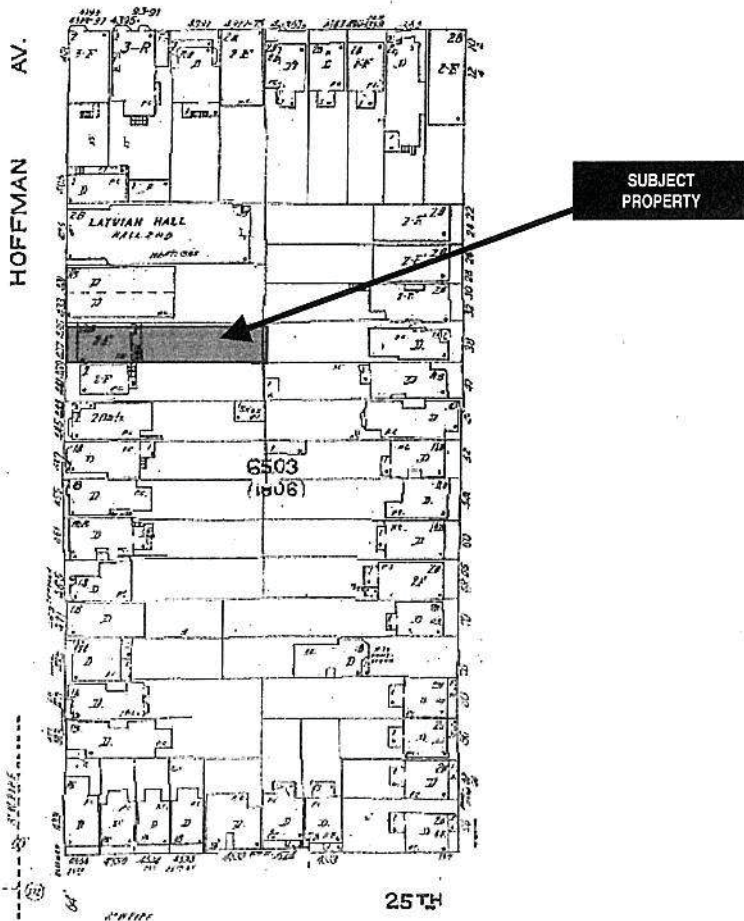
| |
|------------------------|
| RECOMMENDATION: |
|------------------------|

| |
|------------------------------------|
| Take DR and disapprove the merger. |
|------------------------------------|

Attachments:

Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Site Photo
Section 311 Notice
Discretionary Review Application
Response to DUM Criteria
Historic Resource Review Form
Reduced Plans
Context Photos

Sanborn Map*

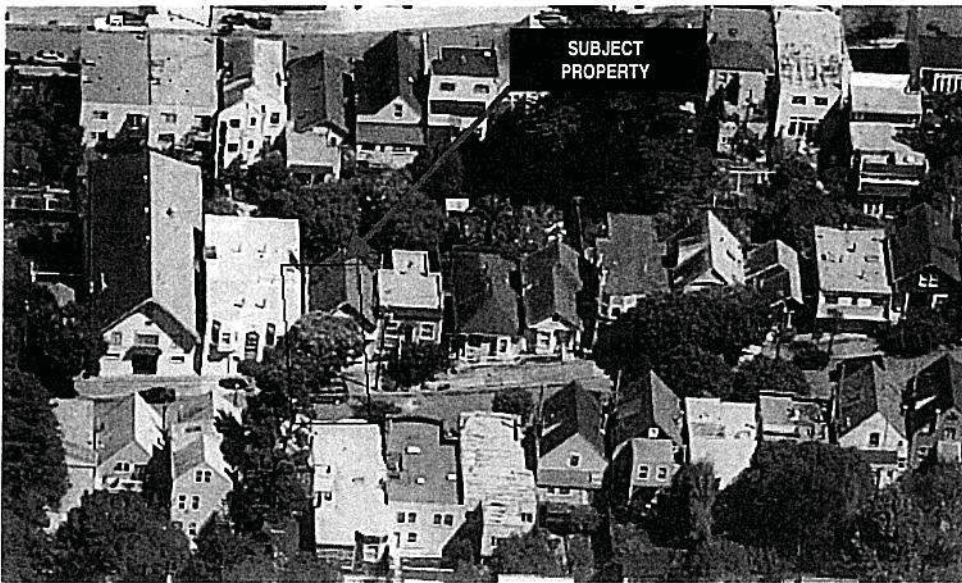


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Mandatory Discretionary Review
Case Number 2008.0572D
Dwelling Unit Merger
437 Hoffman Avenue

**Aerial Photo
View from East**



Mandatory Discretionary Review
Case Number 2008.0572D
Dwelling Unit Merger
437 Hoffman Avenue

Site Photo

SUBJECT
PROPERTY



Mandatory Discretionary Review
Case Number 2008.0572D
Dwelling Unit Merger
437 Hoffman Avenue

APPLICATION REQUESTING DISCRETIONARY REVIEW ("D.R.")

This application is for projects where there are exceptional and extraordinary circumstances that justify further consideration, even though the project already meets requirements of the Planning Code, City General Plan and Priority Policies of the Planning Code.

D.R. Applicant's Name William Paschelnsky Telephone No: 415-379-3676

D.R. Applicant's Address 1937 Hayer Street
Number & Street (Apt. #)
San Francisco, Ca. 94117
City Zip Code

D.R. Applicant's telephone number (for Planning Department to contact): 415-379-3676
 If you are acting as the agent for another person(s) in making this request please indicate the name and address of that person(s) (if applicable):

Name Dan Mailey Telephone No: _____

Address 437 Hoffman St.
Number & Street (Apt. #)
San Francisco, Ca. 94114
City Zip Code

Address of the property that you are requesting the Commission consider under the Discretionary Review: 437 Hoffman Street

Name and phone number of the property owner who is doing the project on which you are requesting D.R.: W.A.

Building Permit Application Number of the project for which you are requesting D.R.: W.A.

Where is your property located in relation to the permit applicant's property?
W.A.

A. ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST
 Citizens should make very effort to resolve disputes before requesting D.R. Listed below are a variety of ways and resources to help this happen.

1. Have you discussed this project with the permit applicant? YES NO
2. Did you discuss the project with the Planning Department permit review planner? YES NO
3. Did you participate in outside mediation on this case? Community Board Other NO

Please write (in ink) or type your answers on this form. Please feel free to attach additional sheets to this form to continue with any additional information that does not fit on this form.

CHECKLIST FOR APPLICANT:

Indicate which of the following are included with this Application:

REQUIRED:

- G** Check made payable to Planning Department (see current fee schedule).
- G** Address list for nearby property owners, in label format, plus photocopy of labels.
- G** Letter of authorization for representative/agent of D.R. applicant (if applicable).
- G** Photocopy of this completed application.

OPTIONAL:

- G** Photographs that illustrate your concerns.
- G** Covenants or Deed Restrictions.
- G** Other Items (specify).

File this objection in person at the Planning Information Center. If you have questions about this form, please contact Information Center Staff from 8 a.m. to 5 p.m., Monday to Friday.

Plan to attend the Planning Commission public hearing which must be scheduled after the close of the public notification period for the permit.

Signed *William Kuebel* Applicant 5/14/08 Date

b). This area of Noe Valley not only consist predominantly of single family homes but is also an area comprised of families with children. The area and style of housing make this conducive to family living. Two blocks away is a park with a children's playground. The upper level of unit does not meet the needs of the family style living. The upper level unit has only 2 bedrooms and no family room. The Danes currently have one child with another on the way. The combination of the units would provide the needed space. The additional space would also provide a guestroom for visiting grandparents.

An addition to the rear is possible but would result in increasing the size of the lower floors with unneeded space. The result would be a 4 story rear yard addition, changing the "cottage feeling" of the current house and out of character with the neighborhood.

The house was built originally (1905) as a single family home. While the Danes use this house for themselves the connecting stair between the 1st and 2nd floor was removed. The merger will allow us to rebuild the stairs.

William Pashelinsky
Architect

| | |
|---|--|
| X | 4. Window replacement or installation of new openings at non-visible facades. |
| | 5. Construction of deck or terrace that is not visible from any immediately adjacent public right-of-way. |
| | 6. Installation of mechanical equipment at the roof which is not visible from any immediately adjacent public right-of-way. |
| | 7. Installation of dormers that meet the requirements for exemption from public notification under <i>Zoning Administrator Bulletin: Dormer Windows, No. 96.2</i> . |
| | 8. Installation of garage opening that meets the requirements of <i>Zoning Administrator Bulletin: Procedures and Criteria for Adding Garages to Existing Residential Structures, No. 2006.1b</i> . |
| | 9. Horizontal addition that is not visible from the adjacent public right-of-way for 150' in each direction; does not extend vertically beyond the floor level of the top story of the structure; and does not have a footprint that is more than 50% larger than that of the original building. |
| | 10. Vertical addition that is not visible from the adjacent public right-of-way for 150' in each direction; is only a single story in height; and does not cause the removal of architectural significant roofing features such as ornate dormers, towers, or slate shingles. |

Preservation Technical Specialist Review Required for work listed below:

| | |
|--|---|
| | 11. Window replacement at visible facades that is not in-kind but meets the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> . |
| | 12. Sign installation at Category A properties. |
| | 13. Façade alterations that do not cause the removal or alteration of any significant architectural features (i.e. storefront replacement, new openings, or new elements). |
| | 14. Raising the building. |
| | 15. Horizontal or vertical additions, including mechanical equipment, that are minimally visible from a public right-of-way and that meet the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> . |
| | 16. Misc. |

STEP 4: RECOMMENDATION

No Further Historical Resource Review Required.

Further Historical Resource Review Required: File *Environmental Exemption Application*.

Notes: Spoke w/ Sophie Middlebrook, Tech Spec. Door change to window would be permitted by right because it is not visible from street.

Planner Name: SHARON LAI

Signature:  Date: 9/8/09

Preservation Technical Specialist Name: _____

Signature: _____ Date: _____

Save to [I:\Building Permit Applications or I:\Cases].

If "Category A," save to [I:\MEA\Historical Resources\Category A Admin Catex].

Exhibit 2

Welcome to our Permit / Complaint Tracking System!

Permit Details Report

Report Date: 11/3/2015 5:30:50 PM

Application Number: 200806275494
Form Number: 3
Address(es): 6503 / 024 / 0437 HOFFMAN AV
Description: MERGE 2 UNITS INTO 1 UNIT. REMOVE KITCHEN @ 1ST FLOOR. CONSTRUCT STAIRS BETWEEN 1ST & 2ND FLOOR. EXISTING DECK TO COMPLY LATERALLY TO SFBC '2010 CODE.
Cost: \$10,000.00
Occupancy Code: R-3
Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

| Action Date | Stage | Comments |
|-------------|----------|-----------------------------------|
| 6/27/2008 | TRIAGE | |
| 6/27/2008 | FILING | |
| 6/27/2008 | FILED | |
| 7/31/2012 | APPROVED | |
| 7/31/2012 | ISSUED | |
| 7/12/2013 | COMPLETE | 1732975 Final Inspection/Approved |

Contact Details:

Contractor Details:

License Number: OWN
Name: OWNER OWNER
Company Name: OWNER
Address: OWNER * OWNER CA 00000-0000
Phone:

Addenda Details:

Description: SITE

| Step | Station | Arrive | Start | In Hold | Out Hold | Finish | Checked By | Hold Description |
|------|---------|---------|---------|---------|----------|---------|--------------------|---|
| 1 | CPB | 6/27/08 | 6/27/08 | | | 6/27/08 | DANG DENNIS | |
| 2 | PPC | 6/27/08 | 6/27/08 | | | 7/24/12 | SAMARASINGHE GILES | 7/24/12: to CPB.grs 8-18-11: Route to CP-Zoc.sjf 6/8/11: Plans in HOLD BIN. 4-13-11: Applicant submit Revision 1 to CP-Zoc/Sharoi Lai. sjf 6-27-08: Per Bill, add SFPUC for review. Route to CP-Zoc. sjf |
| 3 | CP-ZOC | 6/27/08 | 6/30/08 | | | 5/26/11 | LAI SHARON | Dwelling unit merger approved per DRA-024 |
| 4 | CP-NP | 8/19/08 | 8/19/08 | 8/19/08 | | 5/26/11 | LAI SHARON | Sec 311 mailed 8/19/08 exp 9/18/08 |
| 5 | BLDG | 5/27/11 | 6/2/11 | 6/2/11 | | 8/18/11 | LE THOMAS | |
| 6 | DPW-BSM | 6/2/11 | 6/6/11 | | | 6/6/11 | GAIME BERHANE | NO ALTERATION OR CONSTRUCTION OF CITY RIGHT OF WAY UNDER THIS PERMIT No Street space! |
| 7 | SFPUC | 6/7/11 | 6/7/11 | | | 6/7/11 | SZU-WHITNEY MONICA | Capacity charge not applicable. Route to PPC 06/07/11. |
| 8 | CP-ZOC | 8/18/11 | 8/24/11 | | | 8/24/11 | LAI SHARON | Approve revisions, no expansion |
| 9 | ADMIN | 7/26/12 | 7/26/12 | | | 7/31/12 | YU ANNE | 07/26/12: NOC ISSUED. CANCEL ON 08/16/12.GJS 07/26/12: Application and plans in administration holdbin.ay 7/31/12:Extension paid.New cancel date 5/16/13.Application and plans returned to CPB.Receipt of Payment sent.ay |
| 10 | CPB | 7/24/12 | 7/31/12 | | | 7/31/12 | CHAN AMARIS | APPROV & ISSUE BY AMARIS. 07/25/12 HAND CARRY TO GARLAND SIMPSON FOR SENT OUT A NOTICE OF EXTENSION (KS) |

This permit has been issued. For information pertaining to this permit, please call 415-558-6096.

Appointments:

| Appointment Date | Appointment AM/PM | Appointment Code | Appointment Time | Description | Time Slot |
|------------------|-------------------|------------------|------------------|-------------|-----------|
|------------------|-------------------|------------------|------------------|-------------|-----------|

Appointment Date | Appointment AM / PM | Appointment Code | Appointment Type | Description | Phone No.

Inspections:

| Activity Date | Inspector | Inspection Description | Inspection Status |
|---------------|---------------|------------------------|---------------------|
| 7/12/2013 | Fergal Clancy | FINAL INSPECT/APPRVD | CFC ISSUED |
| 3/18/2013 | Fergal Clancy | ROUGH FRAME, PARTIAL | CORRECTION REQUIRED |
| 2/6/2013 | Robert Power | FINAL INSPECT/APPRVD | REINSPECT REQUIRED |

Special Inspections:

| Addenda No. | Completed Date | Inspected By | Inspection Code | Description | Remarks |
|-------------|----------------|--------------|-----------------|-------------|---------|
|-------------|----------------|--------------|-----------------|-------------|---------|

For information, or to schedule an inspection, call 558-6570 between 8:30 am and 3:00 pm.

Station Code Descriptions and Phone Numbers

Online Permit and Complaint Tracking home page.

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

Contact SFGov Accessibility Policies
City and County of San Francisco ©2000-2009

Exhibit 3

Recording Requested By:
VERDUGO TRUSTEE SERVICE CORPORATION

When Recorded Return To:
Current Trustor:
MICHELLE L JACOBI
DANE W RILEY
435 HOFFMAN AVE #437
SAN FRANCISCO, CA 94114-3513



San Francisco Assessor-Recorder
Phil Ting, Assessor-Recorder
DOC- 2010-J049303-00
Check Number 5822/3487
Wednesday, SEP 15, 2010 13:29:39
Ttl Pd \$11.00 Rcpt # 0003994100
REEL K229 IMAGE 0744
ota/TD/1-1

FULL RECONVEYANCE

CITIMORTGAGE, INC. #0770830782 "JACOBI" Lender ID:001000770830782 San Francisco, California
Prepared By: ALEXANDER NOPULOS, VERDUGO TRUSTEE SERVICE CORP PO BOX 9443, GAITHERSBURG, MD 20898 1-800-283-7918

VERDUGO TRUSTEE SERVICE CORPORATION as present Trustee for the Deed of Trust executed by MICHELLE LEE JACOBI AND DANE W RILEY, A SINGLE MAN as Trustor(s), Dated: 10/23/2006 Recorded: 11/07/2006 in Book/Reel/Liber: J282 Page/Folio: 0029 as Instrument No.: 2006-1280044-00 of official Records in the office of the County Recorder of San Francisco, California having been requested in writing, by the holder of the obligations secured by said Deed of Trust, to reconvey the estate granted to trustee under said Deed of Trust, does hereby reconvey to the person or persons legally entitled thereto, without warranty, all the estate, title and interest acquired by Trustee under said Deed of Trust.

Assessor's/Tax ID No. LOT 024 BLOCK 6503

IN WITNESS WHEREOF, VERDUGO TRUSTEE SERVICE CORPORATION as the Trustee has caused its corporate name to be affixed by a duly authorized officer on the date shown in the acknowledgment certificate below:

On August 20th, 2010
By: VERDUGO TRUSTEE SERVICE CORPORATION as Trustee

DENNIS MYERS, VICE PRESIDENT

STATE OF Maryland
COUNTY OF Washington

On this 20th day of August 2010, before me, the undersigned officer personally appeared DENNIS MYERS, who made acknowledgment on behalf of VERDUGO TRUSTEE SERVICE CORPORATION, who acknowledges himself/herself to be the VICE PRESIDENT of VERDUGO TRUSTEE SERVICE CORPORATION, a corporation, and that he/she as such VICE PRESIDENT, being authorized so to do, executed the foregoing instrument in their capacity for the purposes therein contained, by signing the name of the corporation by himself/herself as VICE PRESIDENT.

WITNESS my hand and official seal,

V. ROBIN RAU
Notary Expires: 12/31/2011

V. Robin Rau
Notary Public
Washington Co., MD

(This area for notarial seal)



San Francisco Assessor-Recorder
 Phil Ting, Assessor-Recorder
DOC- 2011-J261580-00

Acct 11-FIDELITY NATIONAL Title Company
 Tuesday, AUG 30, 2011 08:08:00
 Ttl Pd \$68.00 Rcpt # 0004233593
REEL. K471 IMAGE 0091
 ofa/FT/1-20

WHEN RECORDED MAIL TO

Union Bank, N.A.
 Document Follow-Up Department
 M-520
 8248 Mercury Court, Suite B
 San Diego, CA 92111

FNT 555462

6503/024

425-437 Hightman Ave (Space Above this Line for Recording Data)

Deed of Trust

DEFINITIONS

Words used in multiple sections of this document are defined below and other words are defined in Sections 3, 11, 13, 18, 20 and 21. Certain Rules regarding the usage of words used in this document are also provided in Section 16.

(A) "Security Instrument" means this document, which is dated August 19, 2011 together with all Riders to this document.

(B) "Borrower" is
 VIVEK MITTAL AND POOJA MITTAL, HUSBAND AND WIFE

Borrower is the trustor under this Security Instrument.

(C) "Lender" is Union Bank, N.A., its successors and/or assigns. Lender is a National Banking Association organized and existing under the laws of California. Lender's address is Residential Loan Department, P.O. Box 85843, San Diego, CA 92186-5843. Lender is the beneficiary under this Security Instrument.

(D) "Trustee" is Unionbanca Mortgage Corporation.

(E) "Note" means the promissory note signed by Borrower and dated August 19, 2011. The Note states that Borrower owes Lender

NINE HUNDRED TWENTY-EIGHT THOUSAND AND 00/100

Dollars (U.S. \$ 928,000.00) plus interest. Borrower has promised to pay this debt in regular Periodic Payments and to pay the debt in full not later than September 1, 2051.

(F) "Property" means the property that is described below under the heading, "Transfer of Rights in the Property."

(G) "Loan" means the debt evidenced by the Note, plus interest, any prepayment charges and late charges due under the Note, and all sums due under this Security Instrument, plus interest.

(H) "Riders" means all Riders to this Security Instrument that are executed by Borrower. The following Riders are to be executed by Borrower (check box as applicable):

- | | | |
|---|---|---|
| <input checked="" type="checkbox"/> Adjustable Rate Rider | <input type="checkbox"/> Condominium Rider | <input type="checkbox"/> Second Home Rider |
| <input type="checkbox"/> Balloon Rider | <input type="checkbox"/> Planned Unit Development Rider | <input type="checkbox"/> Other(s) (specify) |
| <input checked="" type="checkbox"/> 1-4 Family Rider | <input type="checkbox"/> Biweekly Payment Rider | |

(I) "Applicable Law" means all controlling applicable federal, state and local statutes, regulations, ordinances and administrative rules and orders (that have the effect of law) as well as all applicable final, non-appealable judicial opinions.

(J) "Community Association Dues, Fees, and Assessments" means all dues, fees, assessments and other charges that are imposed on Borrower or the Property by a condominium association, homeowners association or similar organization.

(K) "Electronic Funds Transfer" means any transfer of funds, other than a transaction originated by check, draft, or similar paper instrument, which is initiated through an electronic terminal, telephonic instrument, computer, or magnetic tape so as to order, instruct, or authorize a financial institution to debit or credit an account. Such term includes, but is not limited to, point-of-sale transfers, automated teller machine transactions, transfers initiated by telephone, wire transfers, and automated clearinghouse transfers.

(L) "Escrow Items" means those items that are described in Section 3.

(M) "Miscellaneous Proceeds" means any compensation, settlement, award of damages, or proceeds paid by any third party (other than insurance proceeds paid under the coverages described in Section 5) for: (i) damage to, or destruction of, the Property; (ii) condemnation or other taking of all or any part of the Property; (iii) conveyance in lieu of condemnation; or (iv) misrepresentations of, or omissions as to, the value and/or condition of the Property.

(N) "Mortgage Insurance" means insurance protecting Lender against the nonpayment of, or default on, the Loan.

(O) "Periodic Payment" means the regularly scheduled amount due for (i) principal and interest under the Note, plus (ii) any amounts under Section 3 of this Security Instrument.

(P) "RESPA" means the Real Estate Settlement Procedures Act (12 U.S.C. 2601 et seq.) and its implementing regulation, Regulation X (24 C.F.R. Part 3500), as they might be amended from time to time, or any additional or successor legislation or regulation that governs the same subject matter. As used in this Security Instrument, "RESPA" refers to all requirements and restrictions that are imposed in regard to a "federally related mortgage loan" even if the Loan does not qualify as a "federally related mortgage loan" under RESPA.

(Q) "Successor in Interest of Borrower" means any party that has taken title to the Property, whether or not that party has assumed Borrower's obligations under the Note and/or this Security Instrument.

TRANSFER OF RIGHTS IN THE PROPERTY

This Security Instrument secures to Lender: (i) the repayment of the Loan, and all renewals, extensions and modifications of the Note; and (ii) the performance of Borrower's covenants and agreements under this Security Instrument and the Note. For this purpose, Borrower irrevocably grants and conveys to Trustee, in trust, with power of sale, the following described property located in the

County of SAN FRANCISCO of SAN FRANCISCO.
(Type of Recording Jurisdiction) (Name of Recording Jurisdiction)

"See Attached Legal Description"


Assessor's Identification Number LOT 24, BLOCK 6503

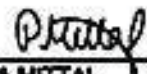
which currently has the address of 435-437 HOFFMAN AVENUE
(Street)
SAN FRANCISCO, California 94114 (Property Address):
(City) (Zip Code)

TOGETHER WITH all the improvements now or hereafter erected on the property, and all easements, appurtenances, and fixtures now or hereafter a part of the property. All replacements and additions shall also be covered by this Security Instrument. All of the foregoing is referred to in this Security Instrument as the "Property."

BY SIGNING BELOW, Borrower accepts and agrees to the terms and covenants contained in this Security Instrument and in any Rider executed by Borrower and recorded with it.

The undersigned Borrower requests that a copy of any Notice of Default and any Notice of Sale under this Security Instrument be mailed to the Borrower at the address of the Borrower set forth above.


VIVEK MITTAL

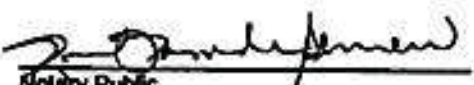

POOJA MITTAL

State of California
County of San Francisco
On 8-27-2011 I ss.
before me Raul Paredes Serrano
a notary public, personally appeared Vivek Mittal and Pooja Mittal

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.


Notary Public



LEGAL DESCRIPTION

EXHIBIT "A"

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN FRANCISCO, COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE EASTERLY LINE OF HOFFMAN AVENUE, DISTANT THEREON 183 FEET SOUTHERLY FROM THE SOUTHERLY LINE OF 24TH STREET; RUNNING THENCE SOUTHERLY AND ALONG SAID LINE OF HOFFMAN AVENUE 27 FEET; THENCE AT A RIGHT ANGLE EASTERLY 125 FEET; THENCE AT A RIGHT ANGLE NORTHERLY 27 FEET; THENCE AT A RIGHT ANGLE WESTERLY 125 FEET TO THE POINT OF COMMENCEMENT.

BEING PART OF HORNER'S ADDITION BLOCK NO. 243.

APN: Lot 024, Block 6503

| | | |
|----------------------------|--|----------------------------|
| | | READ & APPROVED |
| | | BY <u>RM</u> |
| | | DATE _____ |
| READ & APPROVED | | |
| BY <u>VM</u> | | |
| DATE <u>8/24/11</u> | | |

Exhibit 4



437 HOFFMAN AVENUE - PROPOSED PROJECT HISTORY

PROJECT BACKGROUND

Property was sold to current owner with unit merger approval based on case #200806275494 and #2008.0572 D . Current owner retained Toby Long Design to explore the addition of a garage and rear addition to existing structure.

PROJECT TIMELINE SUMMARY

May 27, 2011 - Toby Long Design submitted additional materials to finalize unit merger site permit on behalf of previous architect, William Pashelinsky.

August 24, 2011 - Site permit approved by SF Planner Sharon Lai.

April 3, 2012 - Pre-Project meeting with San Francisco Planner, Michael Smith, to review schematic design and discuss how to proceed with new scope relative to unit merger approval. Smith reviews documents and concludes that he will need to verify sequence with Zoning Administrator.

April 19, 2012 - Presented Preliminary Conceptual Design to Adjacent Neighbors. Attendee list attached. The following comments were received:

1. Rear addition at south property line to block light at 441 and 439 Hoffman Avenue.
2. Height of rear deck at lowest floor too high.
3. Wrap-around deck on upper level would erode privacy at existing roof deck 441 and 439 Hoffman.
4. Lower deck extended too far
5. Rear addition blocks light at 433 Hoffman
6. Tree removal for new garage is unacceptable.
7. Discretionary review hearing and subsequent unit merger approval only addresses reduction of unit, not addition or creation of parking.
8. Neighbors asked for specific dimensions regarding height.

June 6, 2012 - E-mail message from Michael Smith stating that the building must first be designated as a single family unit prior to the application for any new scope of work. The final step in completing the approved unit merger is to apply to permit for an interior stair connecting the existing top floor to the former lower unit.

September 18, 2012 - Building Permit application and plans for interior connecting stair submitted.

January 09, 2013 - Building Permit approved.

May 30, 2013 - Surveyor retained and survey issued of subject property and adjacent properties.

July 12, 2013 - Final inspection and approval issued for construction of interior stair.

October 15, 2013 - Application for Tree Removal denied by SF Bureau of Urban Forestry, appeal request filed and hearing scheduled.

October 28, 2013 - Tree Removal Hearing, adjacent neighbors present.

December 30, 2013 - Approval to remove street tree pending planning approval for garage and rear addition, issued by Mohammed Nuru.

January 1 - March 5, 2014 - Design revisions made according to neighbor from 2012 meeting with accurate survey information:

1. Rear addition at south property line to block light at 441 and 439 Hoffman Avenue.
Light coming from south, no light blocked from North. Lightwell added on south property line to mirror profile of roof deck at 439 and 441 Hoffman Avenue.



2. Height of rear deck at lowest floor too high.
Floor at rear of lowest level lowered 4'-10" to achieve a lower exterior deck elevation.
3. Wrap-around deck on upper level would erode privacy at existing roof deck 441 and 439 Hoffman.
Wrap around deck at upper floor removed. First floor lightwell created to maximize privacy and light.
4. Lower deck extended too far.
Per section 136 of zoning code configuration and extension of deck permitted within this zone.
5. Rear addition blocks light at 433 Hoffman.
Mirror of lightwell provided at north side of subject property that abuts 433 Hoffman, consistent with SF Residential Design Guidelines. The lightwell at 433 Hoffman has been illegally enclosed with glazing at zero clearance to property line.
6. Tree removal for new garage is unacceptable.
Tree removal has been approved for removal by SF Public Works pending Planning approval for scope of work. See above for details.
7. Discretionary review hearing and subsequent unit merger approval only addresses reduction of unit, not addition or creation of parking.
Unit merger completed with final inspection of interior stair. Property is now considered Single Family Dwelling and eligible for proposed scope of work.
8. Neighbors asked for specific dimensions regarding height.
Survey information provided for existing property by American Land Survey and extrapolated on proposed architectural plans.

January 27, 2014 - Submittal for Environmental Evaluation with supplemental Historic Resource Evaluation application

March 6, 2014 - Second Meeting with adjacent neighbors to present updated plans. Attendee list is attached. The following comments were received and addressed as follows:

1. Rear addition at south property line to block light at 439 and 441 Hoffman Avenue.
Light coming from south, no light blocked from North. Lightwell added on south property line to mirror profile of roof deck at 439 and 441 Hoffman Avenue.
2. South lightwell to conflict with privacy on roof deck at 439 and 441 Hoffman.
Proposed lightwell mirrors profile of existing roof deck at 439 and 441 Hoffman as recommended in SF Residential Design Guidelines.
3. Rear addition blocks light at 433 Hoffman.
Mirror of lightwell provided at north side of subject property that abuts 433 Hoffman, consistent with SF Residential Design Guidelines. The lightwell at 433 Hoffman has been illegally enclosed with glazing at zero clearance to property line.
4. Lower deck exceeds rear setback.
Lower deck configuration permitted per Section 136 of SF Zoning Code.
5. Sidewalk is obstructed by proposed driveway.
Driveway design in accordance with SF DPW Bureau of Street-Use and Mapping "Typical Drawings for a Warped Driveway". This diagram includes minimum sidewalk clearance requirements.

Exhibit 5

Notice of Pre-Application Meeting

MEETING # 1

APRIL 5, 2012
Date

Dear Neighbor:

You are invited to a neighborhood Pre-Application meeting to review and discuss the development proposal at 437 HOFFMAN AVENUE, cross street(s) 24TH STREET (Block/Lot#: 6503/24; Zoning: RH-2), in accordance with the San Francisco Planning Department's Pre-Application procedures. The Pre-Application meeting is intended as a way for the Project Sponsor(s) to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the City. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is submitted for the Planning Department's review. Once a Building Permit has been submitted to the City, you may track its status at www.sfgov.org/dbi.

The Pre-Application process is only required for projects subject to Planning Code Section 311 or 312 Notification. It serves as the first step in the process prior to building permit application or entitlement submittal. Those contacted as a result of the Pre-Application process will also receive a formal entitlement notice or 311 or 312 notification when the project is submitted and reviewed by Planning Department staff.

A Pre-Application meeting is required because this project includes (check all that apply):

- New Construction;
- Any vertical addition of 7 feet or more;
- Any horizontal addition of 10 feet or more;
- Decks over 10 feet above grade or within the required rear yard;
- All Formula Retail uses subject to a Conditional Use Authorization.

The development proposal is to: Remodel the existing residence which includes an addition at the rear and the modification of the lower level to create a single car garage.

| | | |
|--|----------------------------|--|
| Existing # of dwelling units: <u>1</u> | Proposed: <u>1</u> | Permitted: <u>2</u> |
| Existing bldg square footage: <u>2230 SF</u> | Proposed: <u>3460 SF</u> | Permitted: <u>6075 SF (E.A.R. max)</u> |
| Existing # of stories: <u>3</u> | Proposed: <u>3</u> | Permitted: <u>3</u> |
| Existing bldg height: <u>24' front</u> | Proposed: <u>30' front</u> | Permitted: <u>30' front</u> |
| Existing bldg depth: <u>33'-7"</u> | Proposed: <u>54'-0"</u> | Permitted: <u>61'-3"</u> |

MEETING INFORMATION:

Property Owner(s) name(s): Vivek and Pooja Mittal
 Project Sponsor(s): tobylongdesign - Toby Long, AIA
 Contact information (email/phone): toby@tobylongdesign.com / 415.905.9030
 Meeting Address*: 437 HOFFMAN AVENUE
 Date of meeting: Thursday, APRIL 19, 2012
 Time of meeting**: 6 PM

*The meeting should be conducted at the project site or within a one-mile radius, unless the Project Sponsor has requested a Department Facilitated Pre-Application Meeting, in which case the meeting will be held at the Planning Department offices, at 1650 Mission Street, Suite 400.

**Weeknight meetings shall occur between 6:00 p.m. - 9:00 p.m. Weekend meetings shall be between 10:00 a.m. - 9:00 p.m., unless the Project Sponsor has selected a Department Facilitated Pre-Application Meeting.

If you have any questions about the San Francisco Planning Code, Residential Design Guidelines, or general development process in the City, please call the Public Information Center at 415-558-6378, or contact the Planning Department via email at pic@sfgov.org. You may also find information about the San Francisco Planning Department and on-going planning efforts at www.sfgov.org.

MEETING # 1

Pre-Application Meeting Sign-in Sheet

Meeting Date: 04.19.2012
 Meeting Time: 6 P.M.
 Meeting Address: 437 HOFFMAN AVENUE
 Project Address: 437 HOFFMAN AVENUE
 Property Owner Name: VIVEK & POOJA MITAL
 Project Sponsor/Representative: TOBY LONG, AIA / ABBY WITTMAN

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

| NAME/ORGANIZATION | ADDRESS | PHONE # | EMAIL | SEND PLANS |
|-------------------------------------|------------------------|---------------------|------------------------------|---|
| 1. <u>Lu BELLVILLE</u> | <u>451 HOFFMAN AVE</u> | <u>415-879-2133</u> | | <input type="checkbox"/> |
| 2. <u>Stephanie Bellville</u> | <u>" "</u> | <u>" "</u> | <u>415 407-8556</u> | <input type="checkbox"/> <u>bellville@sfsud.e</u> |
| 3. <u>Gene Jacobson #33 Hoffman</u> | <u>437 HOFFMAN</u> | | <u>genej@SFSU</u> | <input type="checkbox"/> <u>genej@sfu.e</u> |
| 4. <u>Maria Jin + Jason Allen</u> | <u>38 Homestead St</u> | <u>415-409-2246</u> | <u>mjin2010@aim.com</u> | <input type="checkbox"/> |
| 5. <u>Paul Lefebvre</u> | <u>439-441 Hoffman</u> | <u>415 238 0229</u> | <u>paul-lefebvre@mcn.com</u> | <input type="checkbox"/> |
| 6. <u>Stephen Berkerville</u> | <u>" "</u> | <u>415 830-7471</u> | | <input checked="" type="checkbox"/> |
| 7. <u>Janet Fowler</u> | <u>434 Hoffman</u> | <u>415 648-8780</u> | | <input type="checkbox"/> <u>jfowlers@aol.co</u> |
| 8. _____ | | | | <input type="checkbox"/> |
| 9. _____ | | | | <input type="checkbox"/> |
| 10. _____ | | | | <input type="checkbox"/> |
| 11. _____ | | | | <input type="checkbox"/> |
| 12. _____ | | | | <input type="checkbox"/> |
| 13. _____ | | | | <input type="checkbox"/> |
| 14. _____ | | | | <input type="checkbox"/> |
| 15. _____ | | | | <input type="checkbox"/> |
| 16. _____ | | | | <input type="checkbox"/> |
| 17. _____ | | | | <input type="checkbox"/> |
| 18. _____ | | | | <input type="checkbox"/> |

MEETING # 1

Affidavit of Conducting a Pre-Application Meeting, Sign-in Sheet and Issues/Responses submittal

I, ABBY WITTMAN, do hereby declare as follows:

1. I have conducted a Pre-Application Meeting for the proposed new construction or alteration prior to submitting any entitlement (Building Permit, Variance, Conditional Use, etc.) in accordance with Planning Commission Pre-Application Policy.
2. The meeting was conducted at 437 HOFFMAN AVENUE, SF (location/address) on 04-19-2012 (date) from 6 PM (time).
3. I have included the mailing list, meeting initiation, sign-in sheet, issue/response summary, and reduced plans with the entitlement Application. I understand that I am responsible for the accuracy of this information and that erroneous information may lead to suspension or revocation of the permit.
4. I have prepared these materials in good faith and to the best of my ability.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

EXECUTED ON THIS DAY, APRIL 10th, 2012 IN SAN FRANCISCO.



Signature

ABBY WITTMAN

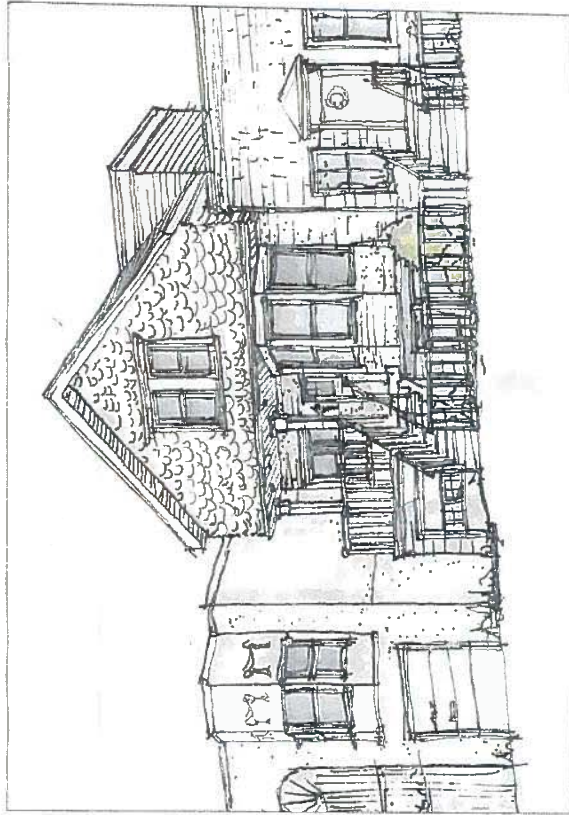
Name (type or print)

AGENT - TOBY LONG DESIGN - ARCHITECT
Relationship to Project (e.g. Owner, Agent)
(If Agent, give business name & profession)

437 HOFFMAN AVENUE

Project Address

M I T T A L R E S I D E N C E SAN FRANCISCO, CA



tobylongdesign
ARCHITECTURE
1515 CALIFORNIA AVENUE, SUITE 200
SAN FRANCISCO, CA 94115
P: 415.775.9000 F: 415.775.9003 www.tobylongdesign.com

1515 CALIFORNIA AVENUE, SUITE 200
SAN FRANCISCO, CA 94115
P: 415.775.9000 F: 415.775.9003
www.tobylongdesign.com

MITTAL RESIDENCE
437 HOFFMAN
SAN FRANCISCO, CA 94110

TITLE SHEET

DATE: 04.19.2012
DRAWN BY: [Name]
CHECKED BY: [Name]
PROJECT NO: [Number]

Scale: 1/8" = 1'-0"
Date: 04.19.2012
Sheet: A0.0

A0.0

© 2012 TOBY LONG DESIGN

PLANS from 04.19.2012
neighborhood Mtg

1 CONCEPTUAL RENDERING

| | | |
|---------------|-------------------|---|
| ARCHITECTURAL | LOCATION | 437 HOFFMAN AVENUE SAN FRANCISCO, CA 94110 |
| | ZONE | MU-2 TWO-FAMILY RESIDENTIAL |
| | SITE ENCLASURES | 27'0" x 112'0" |
| | SITE AREA | 3029 SF |
| | PERMIT LIMIT | BASED ON LOT AREA |
| | PROPOSED SETBACKS | PERCENTAGE OF ADJACENT |
| | REAR SETBACKS | NONE |
| | CONSERVATION ZONE | 4% OF LOT FLOOR |
| | GROUND | 1.8% LOT AREA = 545 SF |
| | PROPOSED | 721 SF |
| | FIRST FLOOR | 741 SF |
| | SECOND FLOOR | 480 SF |
| | TOTAL | HOUSE: 1221 SF (480 INFRASILE + 741 GARAGE) |

2 TABLE OF CONTENTS

3 SITE AND BUILDING INFORMATION

4 PROJECT DESCRIPTION

5 CODE REFERENCE

6 SYMBOLS

7 CONTACT INFO

| | | | | | | | |
|-----------|--|-----------|--|------------|---|--------------------|-----|
| OWNER | FOYKA S INVESTMENT 407 HOFFMAN AVENUE SAN FRANCISCO, CA 94110 Sfoynka@pobox.com | ARCHITECT | TOPY LONG DESIGN 1515 CALIFORNIA AVENUE SAN FRANCISCO, CA 94115 T: 415.775.9000 | STRUCTURAL | TBD | TITLE 24 | TBD |
| DATE/TIME | TBD | SURVEY | TBD | SITE | 437 HOFFMAN AVENUE SAN FRANCISCO, CA 94110 | GENERAL CONTRACTOR | TBD |

| | |
|--|---------------|
| ADDITION TO EXISTING SINGLE FAMILY RESIDENCE | |
| 2010 CALIFORNIA BUILDING CODE | 2008 TITLE 24 |
| 2010 IRC / UMC / UPC | |
| 2010 NEC | |

| | | | | | |
|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|
| SECTION REFERENCE | SECTION REFERENCE | SECTION REFERENCE | SECTION REFERENCE | SECTION REFERENCE | SECTION REFERENCE |
| FOUNDATION | FOUNDATION | FOUNDATION | FOUNDATION | FOUNDATION | FOUNDATION |
| WALL | WALL | WALL | WALL | WALL | WALL |
| CEILING | CEILING | CEILING | CEILING | CEILING | CEILING |
| FLOOR | FLOOR | FLOOR | FLOOR | FLOOR | FLOOR |
| MECHANICAL | MECHANICAL | MECHANICAL | MECHANICAL | MECHANICAL | MECHANICAL |
| ELECTRICAL | ELECTRICAL | ELECTRICAL | ELECTRICAL | ELECTRICAL | ELECTRICAL |
| PLUMBING | PLUMBING | PLUMBING | PLUMBING | PLUMBING | PLUMBING |
| PAINT | PAINT | PAINT | PAINT | PAINT | PAINT |
| DETAIL | DETAIL | DETAIL | DETAIL | DETAIL | DETAIL |

| | |
|--------------------|-----|
| GENERAL CONTRACTOR | TBD |
| ARCHITECT | TBD |
| STRUCTURAL | TBD |
| TITLE 24 | TBD |



tobylongdesign
ARCHITECTURE
P. 415.426.7000 F. 415.426.7003 www.tobylongdesign.com
4154 KATE AVENUE #202, OAKLAND, CA 94612

PROJECT NO. 15100
DATE: 04/18/2018
DRAWN BY: [Name]
CHECKED BY: [Name]

MITTAL RESIDENCE
437 HOFFMAN
SAN FRANCISCO, CA 94110

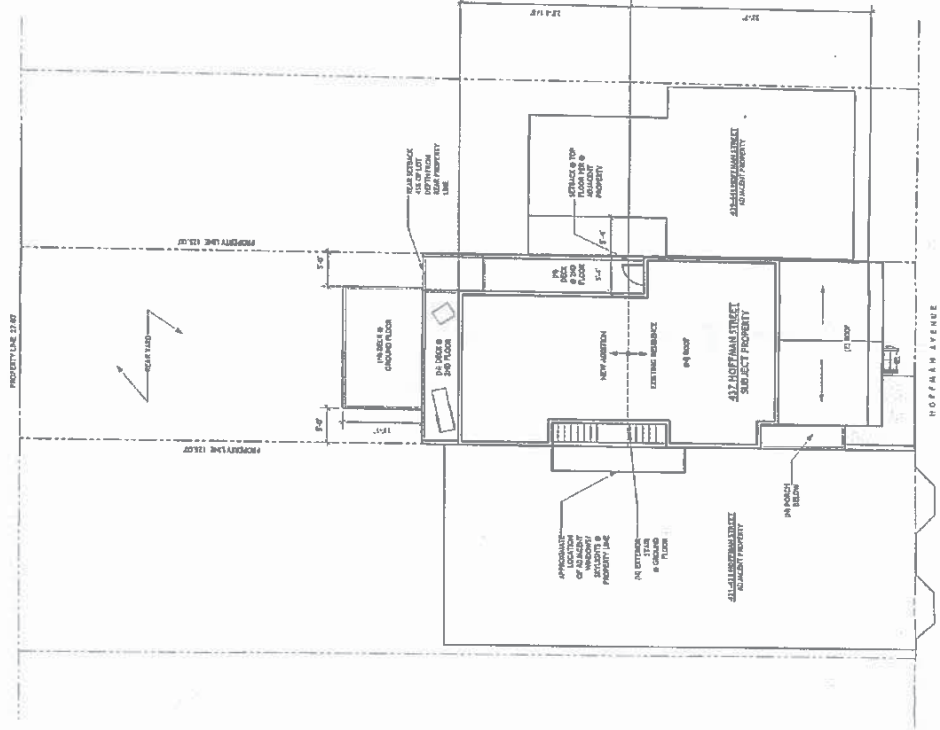
SITE PLAN

NOT TO SCALE
THIS PLAN IS FOR INFORMATION ONLY
IT IS NOT TO BE USED FOR CONSTRUCTION
WITHOUT THE APPROVAL OF THE CITY OF SAN FRANCISCO
PLANNING DEPARTMENT

Scale: 1/4" = 1'-0"
Date: 04/18/18
Sheet: 01 of 01

Sheet: **A1.0**
Date: 04/18/18

TOTAL COVERED AREA
(GROUND FLOOR) 1,301 SF
(SECOND FLOOR) 1,196 SF
TOTAL: 2,497 SF
TOTAL W/ GARAGE: 3,792 SF





toby long design
ARCHITECTURE
1174 S. MARINA AVENUE, SUITE 100, SAN FRANCISCO, CA 94110
415.774.8888 | www.tobydesign.com

Project: MITTAL RESIDENCE
Address: 437 HOFFMAN, SAN FRANCISCO, CA 94110
Product: 1-10-2019
Date: 04.03.2019

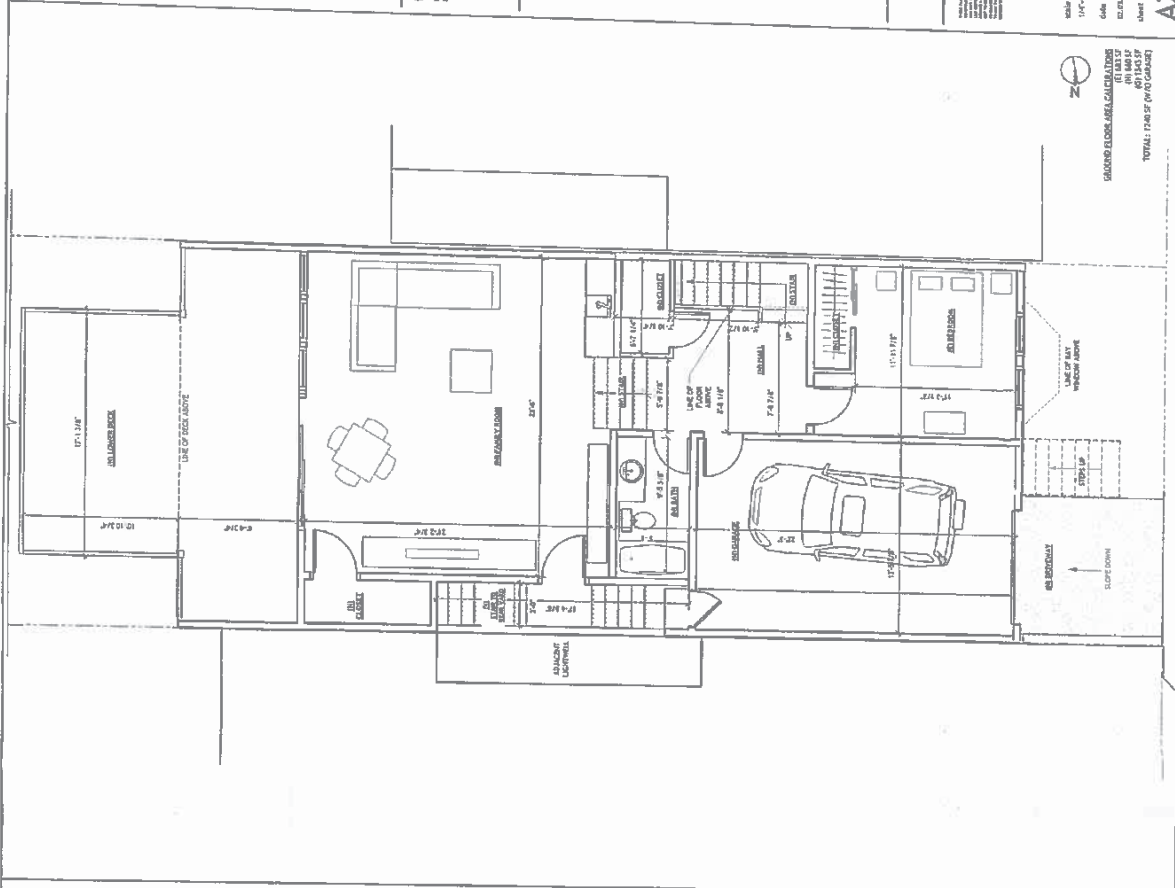
MITTAL RESIDENCE
437 HOFFMAN
SAN FRANCISCO, CA 94110

SCHEMATIC PLANS

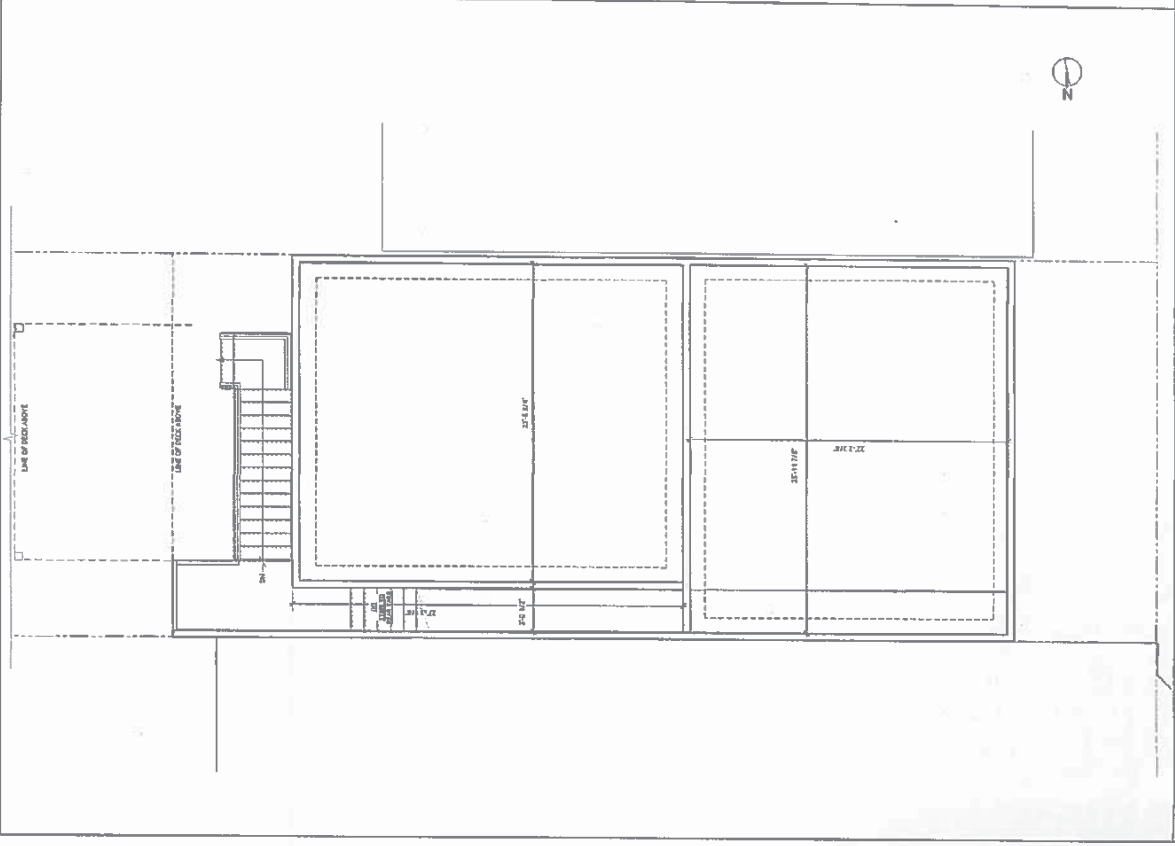
Scale: 1/8" = 1'-0"
Date: 02.03.2019
Sheet: 01

GROUND FLOOR AREA CALCULATION
(1) MAIN FLOOR: 1731 SF
(2) GARAGE: 871 SF
TOTAL: 2602 SF (70 GARAGE)

A2.0
© 2019 TOLBY LONG DESIGN



2 GROUND FLOOR



1 REAR YARD ACCESS / FOUNDATION



ARCHITECTURE
tobylongdesign
 ARCHITECTURE
 647 MARKET STREET, SUITE 200
 SAN FRANCISCO, CA 94102
 P: 415.704.2029 F: 415.705.9025 www.tobylongdesign.com

DATE: 04.19.2013
 PROJECT NO: 2012013
 PROJECT NAME: MITTAL RESIDENCE

MITTAL RESIDENCE
437 HOFFMAN
SAN FRANCISCO, CA 94110

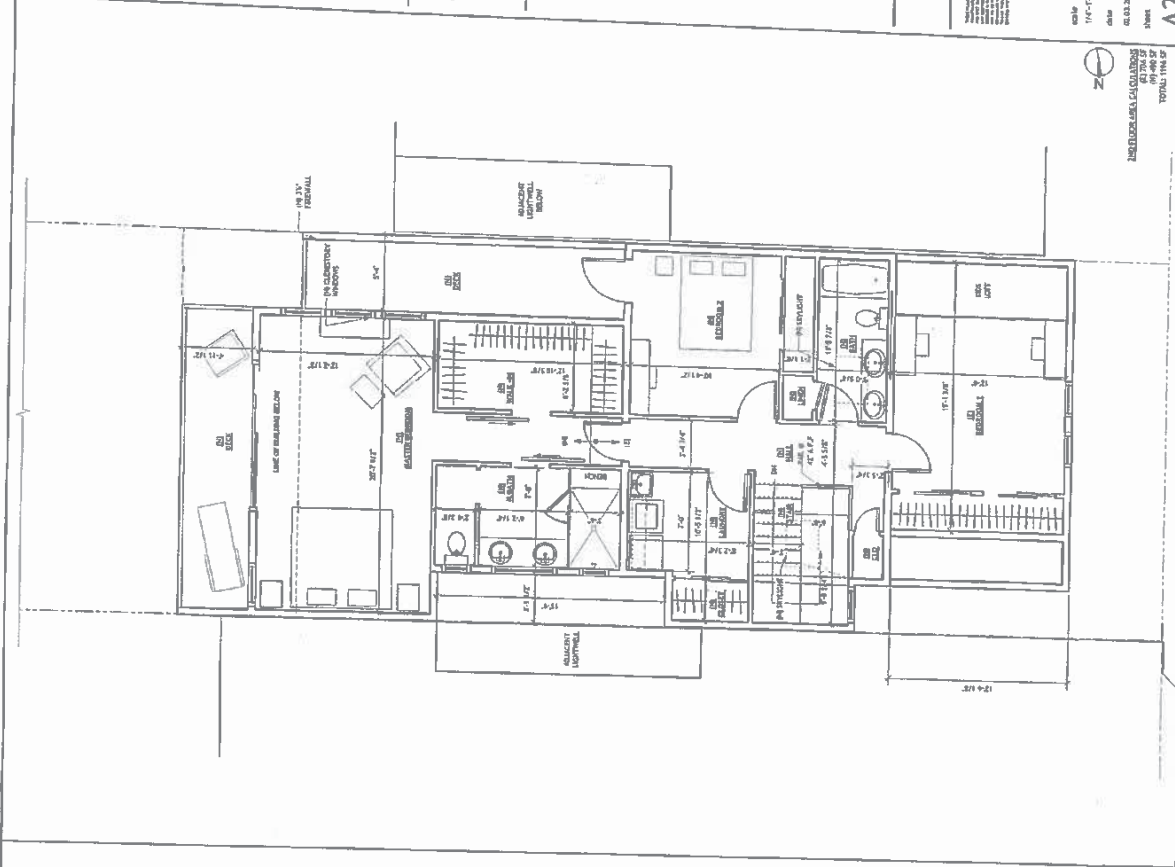
FORMATIVE PLANS

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
 2. FINISHES ARE TO BE DETERMINED BY THE CLIENT.
 3. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2012 CALIFORNIA BUILDING CODE.
 4. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2012 CALIFORNIA MECHANICAL, ELECTRICAL AND PLUMBING CODES.
 5. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2012 CALIFORNIA FIRE AND SAFETY CODE.
 6. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2012 CALIFORNIA ENERGY CODE.
 7. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2012 CALIFORNIA ENVIRONMENTAL QUALITY ACT.
 8. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2012 CALIFORNIA AIR RESOURCES ACT.
 9. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2012 CALIFORNIA WATER RESOURCES ACT.
 10. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2012 CALIFORNIA SOLID WASTE MANAGEMENT ACT.

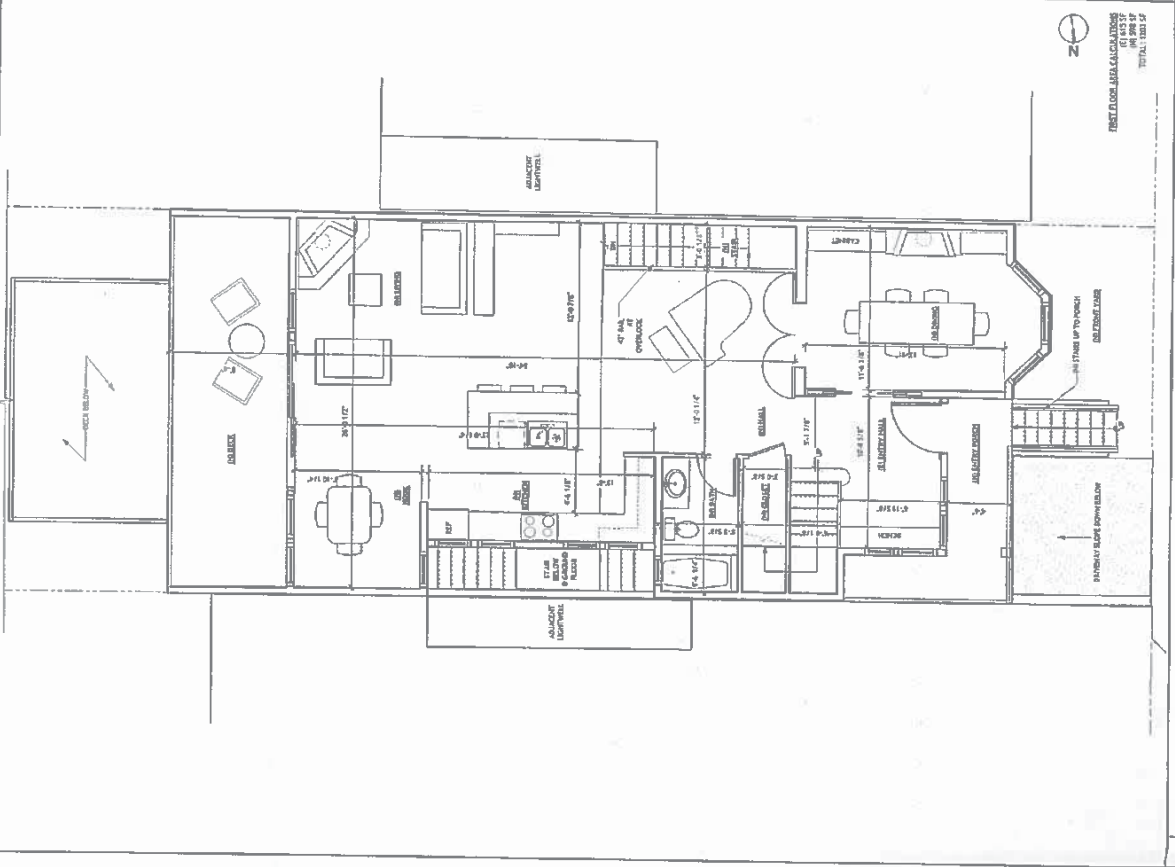
SCALE: 1/8" = 1'-0"
 DATE: 04.03.2013
 SHEET: A2.1



PERFORMANCE CALCULATIONS
 TOTAL TYPICAL



2 SECOND FLOOR PLAN



1 FIRST FLOOR PLAN



tobylongdesign
ARCHITECTURE
6114 LA SALLE AVENUE #112, OAKLAND, CA 94618
PH: 415.763.8110 FAX: 415.763.8019 www.tobylongdesign.com

DATE: 04.10.2012
REVISION NO.: 04.10.2012
PROJECT NO.: 120101-01

MITTAL RESIDENCE
437 HOFFMAN
SAN FRANCISCO, CA 94110

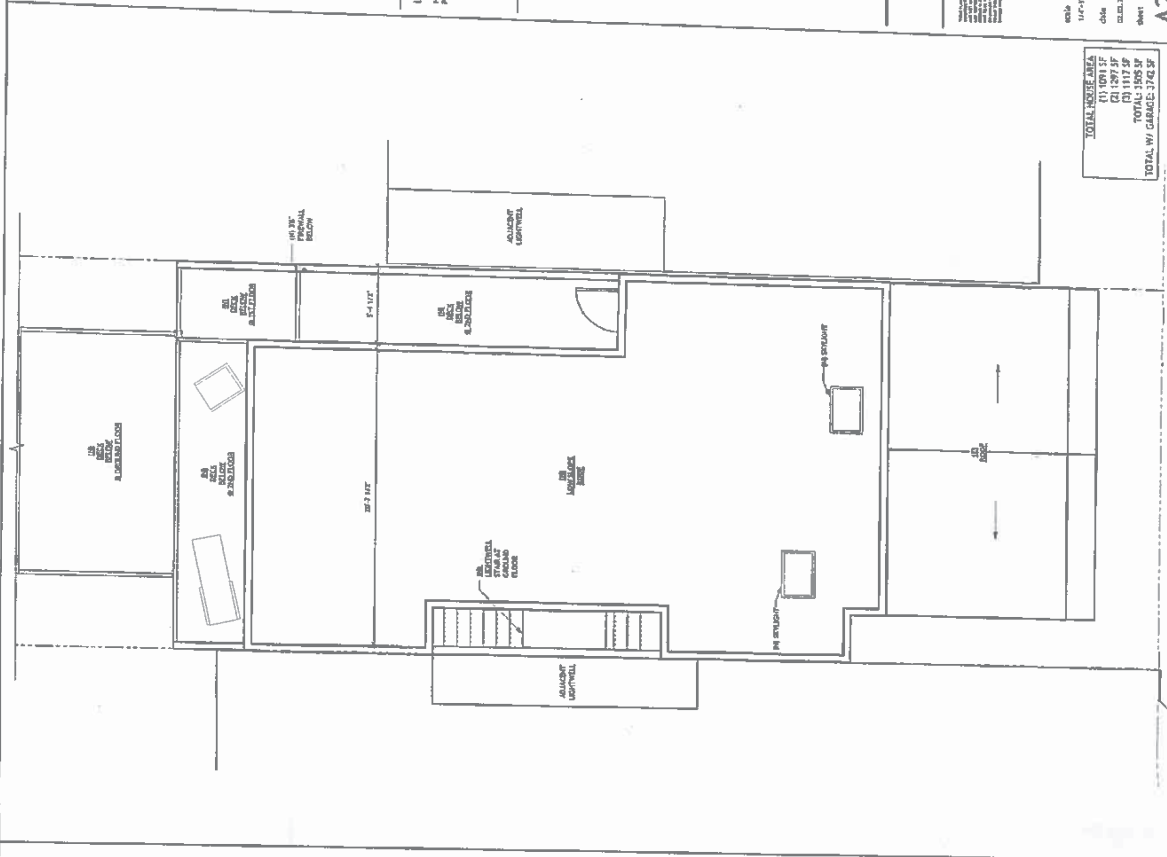
SCHEMATIC PLANS

THIS DOCUMENT IS THE PROPERTY OF TOBY LONG DESIGN ARCHITECTURE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF TOBY LONG DESIGN ARCHITECTURE.

scale: 1/8"=1'-0"
date: 04.10.2012
sheet: 04/11

A2.2
© 2012 TOBY LONG DESIGN ARCHITECTURE

| | |
|----------------------------|--|
| TOTAL SQUARE AREA | |
| 11,100 SF | |
| 12,297 SF | |
| 1,197 SF | |
| TOTAL: 13,594 SF | |
| TOTAL W/ GARAGE: 12,742 SF | |



2 | TOP FLOOR PLAN

1 | NOT USED



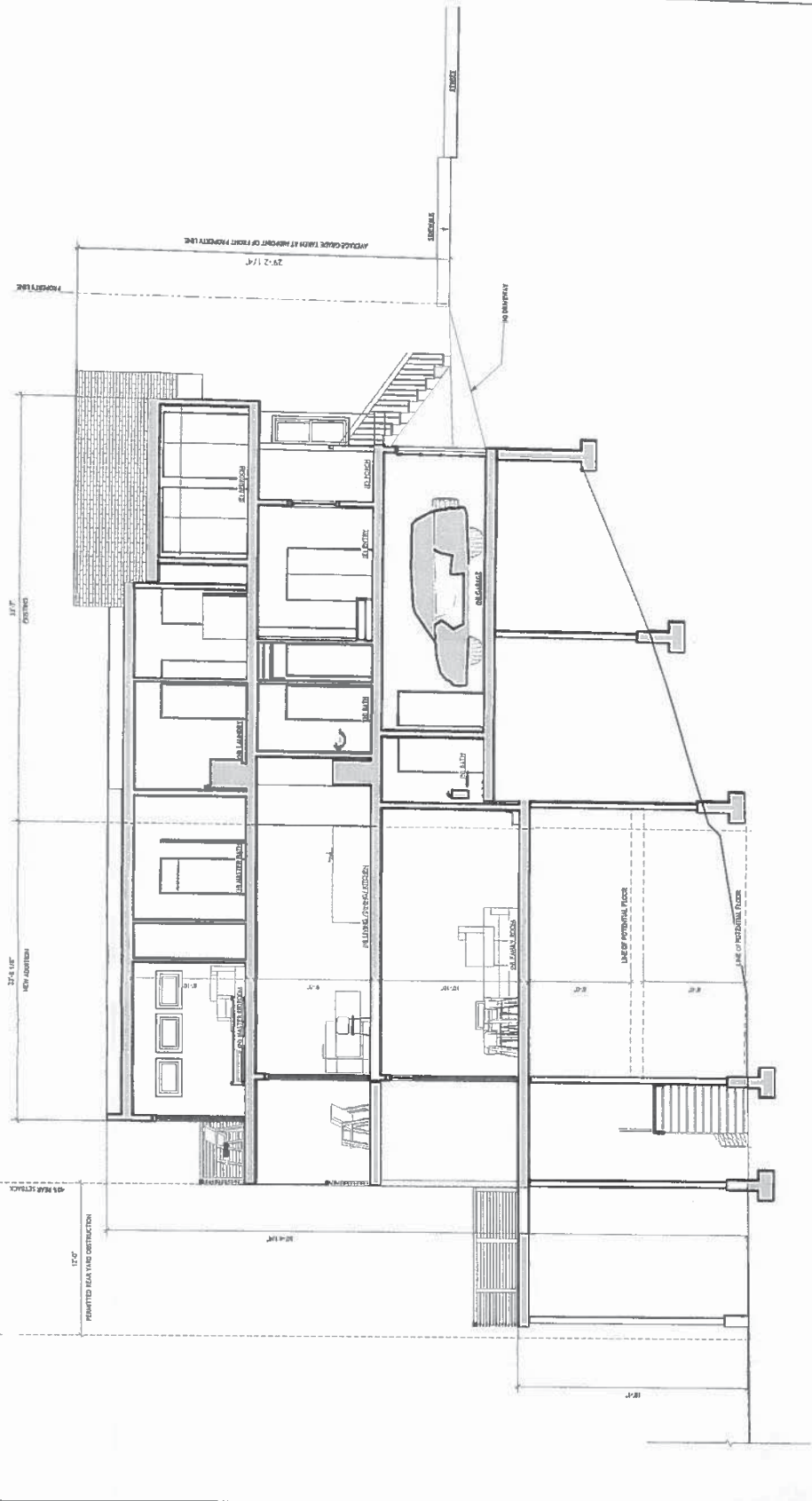
toby long design
 ARCHITECTURE
 618 LA SALLE AVENUE #202, DUBLINO, CA 94568
 P: 415.963.9070 F: 415.963.9013 www.tobydesign.com

DATE: 04.23.2012
 PROJECT: MITTAL RESIDENCE
 SHEET: 13

MITTAL RESIDENCE
 437 HOFFMAN
 SAN FRANCISCO, CA 94110

NEW SECTION

Scale: 1/4"=1'-0"
 Date: 02.28.2012
 Sheet: A3.0



1 | LONGITUDINAL SECTION OF NEW ADDITION



ARCHITECTURE
 tobylongdesign
 41914 BAKER AVENUE, SUITE 200, OAKLAND, CA 94612
 P: 415.862.9000 F: 415.862.9025 www.tobydesign.com

SCALE: AS SHOWN
 DRAWING NO: 437-01
 PROJECT NO: 437-01-01

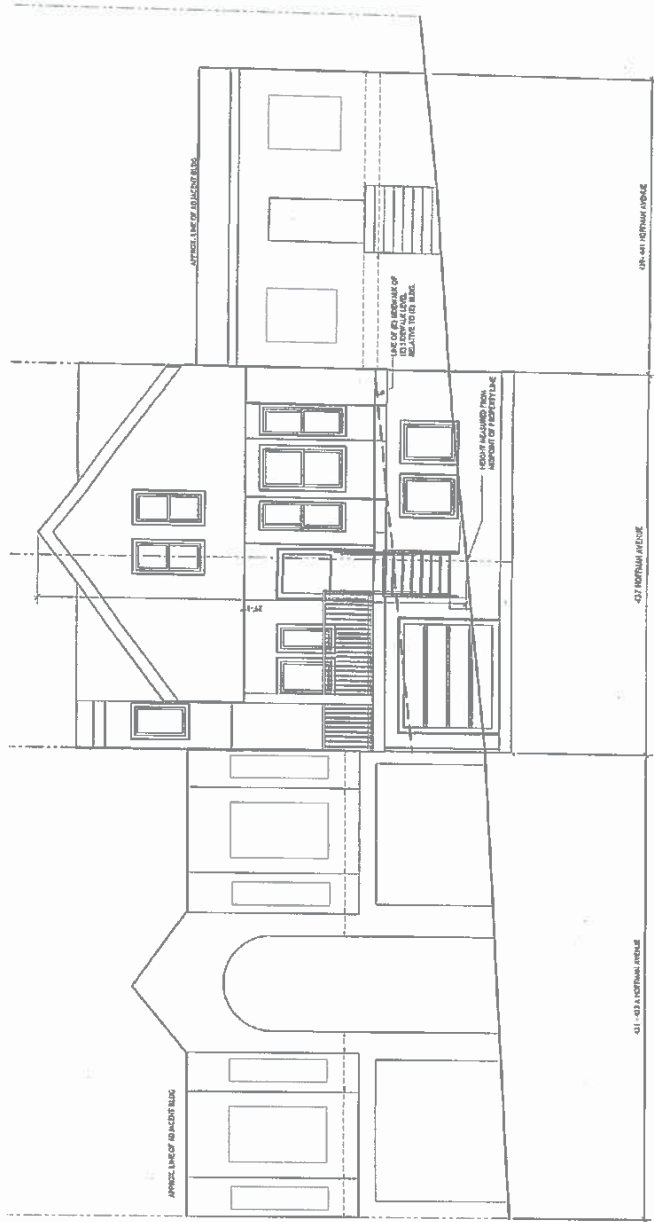
MITTAL RESIDENCE
 437 HOFFMAN
 SAN FRANCISCO, CA 94110

NEW FRONT ELEVATION

DATE: 02.03.2012
 TIME: 10:00 AM
 DRAWN BY: [Name]
 CHECKED BY: [Name]

SCALE: 1/4" = 1'-0"
 DATE: 02.03.2012
 SHEET: A4.0

A4.0





ARCHITECTURE
toby long design
 1514 K STALLS AVENUE, SUITE 100, OAKLAND, CA 94612
 TEL: 415.763.8800 FAX: 415.763.8809 www.tobydesign.com

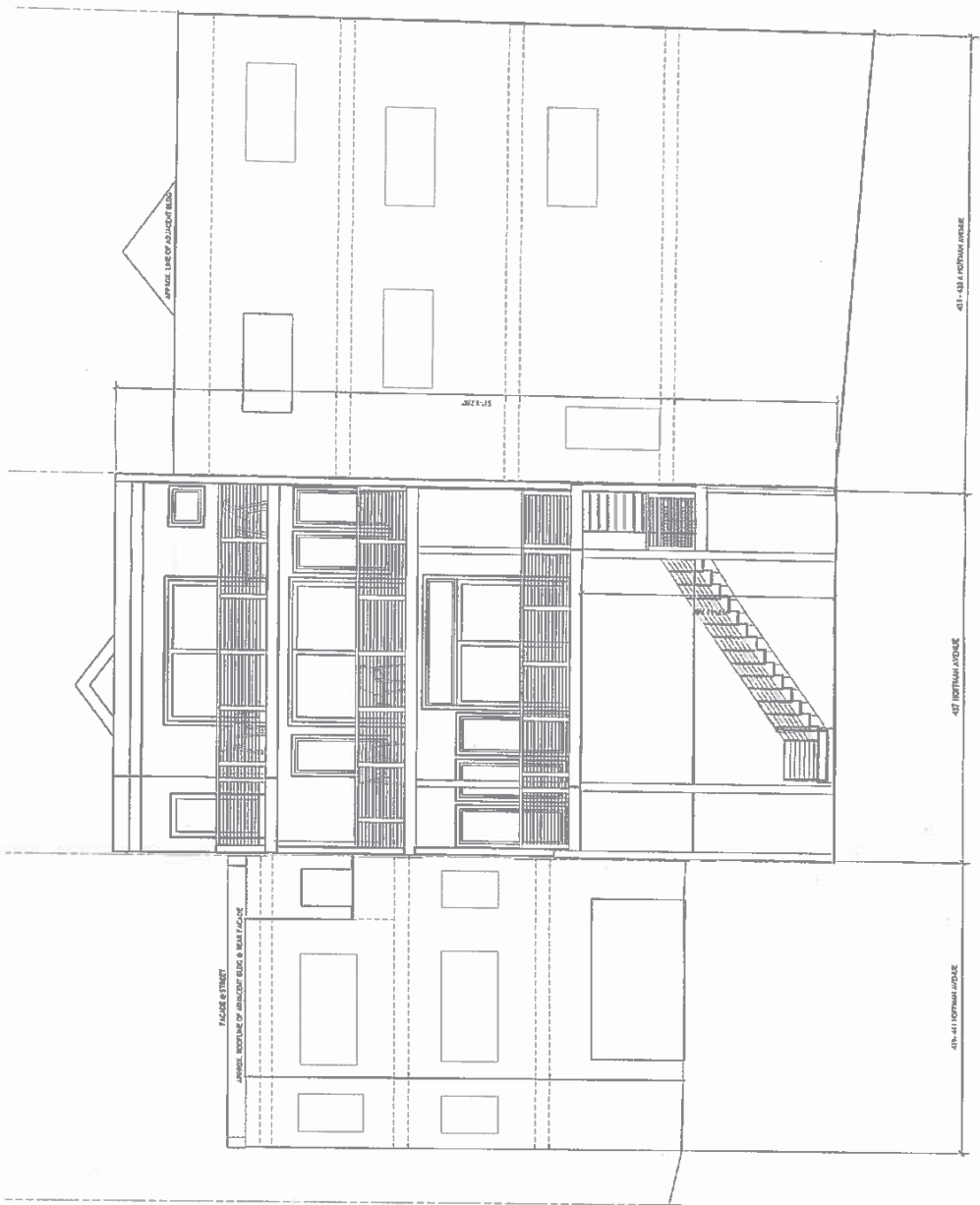
DATE: CA. 10.2012
 PROJECT NO.: 12-001-01
 SHEET NO.: 04.01.01

MITTAL RESIDENCE
 437 HOFFMAN
 SAN FRANCISCO, CA 94110

NEW REAR ELEVATION

DATE: 10/11/12
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO.: 12-001-01
 SHEET NO.: 04.01.01

A4.1
 © 2012 TOLBY LONG DESIGN



1 (N) EAST (REAR) ELEVATION



ARCHITECTURE
tobylongdesign
 ARCHITECTURE
 4114 KATE STREET, SAN FRANCISCO, CA 94111
 P: 415.902.9830 F: 415.902.9835 www.tobylongdesign.com

DATE: 04/15/2012
 DRAWN BY: JACOB WANG
 CHECKED BY: JACOB WANG

MITTAL RESIDENCE
 437 HOFFMAN
 SAN FRANCISCO, CA 94110

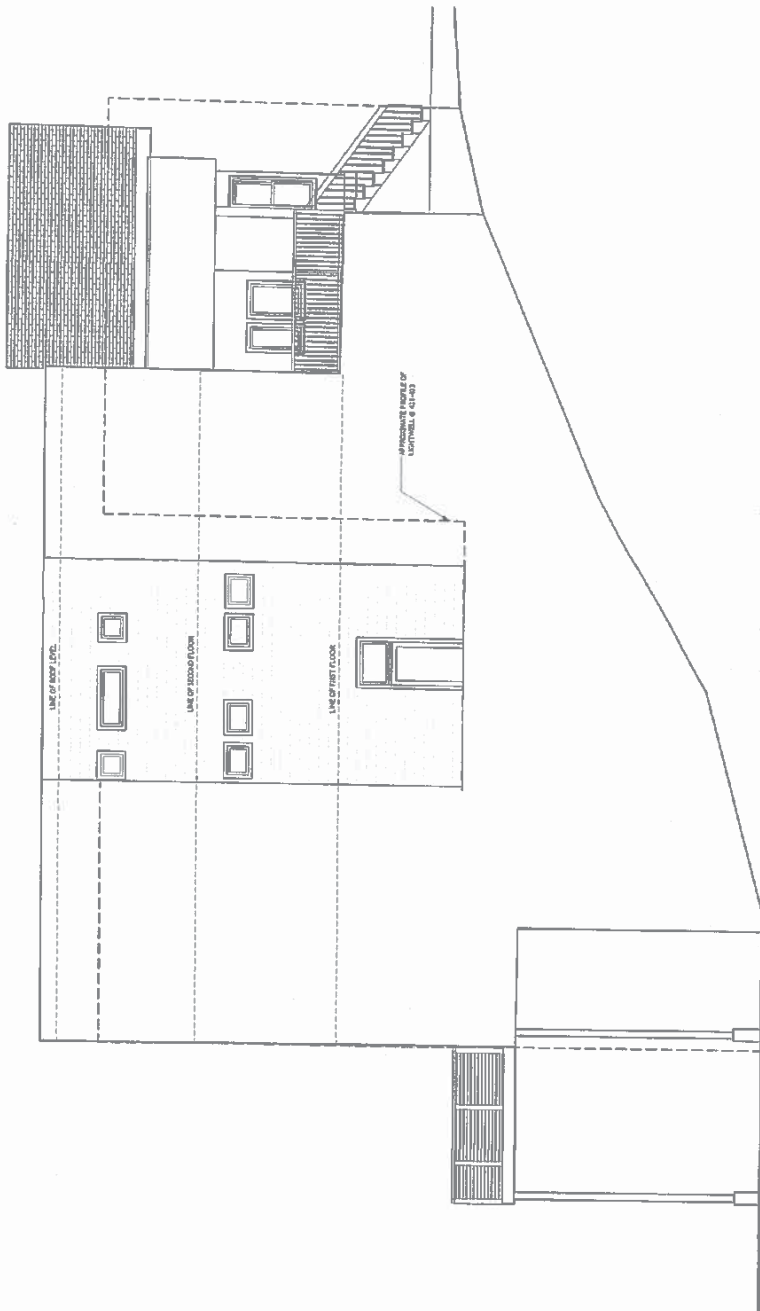
NEW NORTH ELEVATION

NOT TO SCALE
 THIS DRAWING IS A REPRESENTATION OF THE PROPOSED DESIGN AND IS NOT A CONTRACT DOCUMENT.
 THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS.
 THIS DRAWING IS THE PROPERTY OF TOBYLONGDESIGN ARCHITECTURE AND IS NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF TOBYLONGDESIGN ARCHITECTURE.

SCALE: 1/4" = 1'-0"
 DATE: 02/01/12

SHEET
A4.2

1 (N) NORTH ELEVATION





toby long design
ARCHITECTURE
1111 MARKET STREET, SUITE 202, SAN FRANCISCO, CA 94102
P: 415.262.5028 F: 415.262.5029 WWW.TOBYLONGDESIGN.COM

DATE: 04.14.2012
PROJECT: MITTAL RESIDENCE

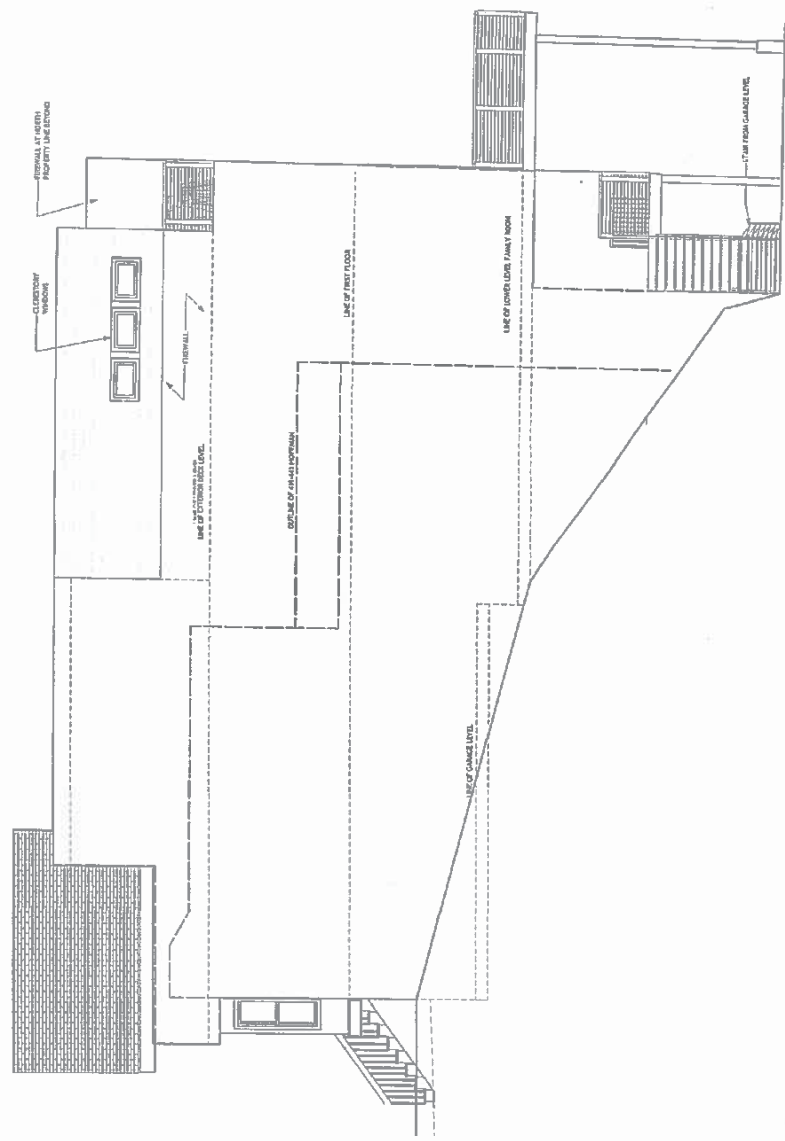
MITTAL RESIDENCE
437 HOFFMAN
SAN FRANCISCO, CA 94110

NEW SOUTH ELEVATION

NOT TO SCALE
FOR INFORMATION ONLY
DO NOT CONSIDER THIS DRAWING A CONTRACT DOCUMENT
FOR ANY PURPOSES
THIS DRAWING IS THE PROPERTY OF TOBY LONG DESIGN ARCHITECTURE
AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS
ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM
WITHOUT THE WRITTEN PERMISSION OF TOBY LONG DESIGN ARCHITECTURE

DATE: 04.14.2012
PROJECT: MITTAL RESIDENCE

Sheet
A4.3



1 | (N) SOUTH ELEVATION

Exhibit 6

Welcome to our Permit / Complaint Tracking System!

Permit Details Report

Report Date: 11/3/2015 5:30:16 PM

Application Number: 201209079183
Form Number: 8
Address(es): 6503 / 024 / 0 437 HOFFMAN AV
Description: REV. TO APPROVED BLDG PA#200806275494 EXISTING DECK TO BE VOLUNTARY STRENGTHENED, MERGE 2 UNITS INTO 1 UNIT. REMOVE KITCHEN @ 1/F, CONSTRUCT STAIR BETWEEN 1/F & 2/F
Cost: \$1.00
Occupancy Code: R-3
Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

| Action Date | Stage | Comments |
|-------------|-----------|----------|
| 9/7/2012 | TRIAGE | |
| 9/7/2012 | FILING | |
| 9/7/2012 | FILED | |
| 9/17/2012 | PLANCHECK | |
| 9/17/2012 | WITHDRAWN | |

Contact Details:

Contractor Details:

License Number: OWN
 Name: OWNER OWNER
 Company Name: OWNER
 Address: OWNER * OWNER CA 00000-0000
 Phone:

Addenda Details:

Description:

| Step | Station | Arrive | Start | In Hold | Out Hold | Finish | Checked By | Phone | Hold Description |
|------|---------|---------|---------|---------|----------|---------|-----------------|--------------|---|
| 1 | CPB | 9/17/12 | 9/17/12 | | | 9/17/12 | SECONDEZ GRACE | 415-558-6070 | |
| 2 | BLDG | 9/6/12 | 9/6/12 | | | 9/6/12 | DANG DENNIS | 415-558-6133 | |
| 3 | CPB | 9/17/12 | 9/17/12 | | | 9/17/12 | CHEUNG WAI FONG | 415-558-6070 | 9/17/12: WITHDRAWN PER ARCHITECT'S REQUEST. REVISION SUBMITTED IN ERROR. WF |

Appointments:

| Appointment Date | Appointment AM/PM | Appointment Code | Appointment Type | Description | Time Slots |
|------------------|-------------------|------------------|------------------|-------------|------------|
|------------------|-------------------|------------------|------------------|-------------|------------|

Inspections:

| Activity Date | Inspector | Inspection Description | Inspection Status |
|---------------|-----------|------------------------|-------------------|
|---------------|-----------|------------------------|-------------------|

Special Inspections:

| Addenda No. | Completed Date | Inspected By | Inspection Code | Description | Remarks |
|-------------|----------------|--------------|-----------------|-------------|---------|
|-------------|----------------|--------------|-----------------|-------------|---------|

For information, or to schedule an inspection, call 558-6570 between 8:30 am and 3:00 pm.

[Station Code Descriptions and Phone Numbers](#)

[Online Permit and Complaint Tracking home page](#)

Exhibit 7

Welcome to our Permit / Complaint Tracking System!

Permit Details Report

Report Date: 11/3/2015 5:29:21 PM

Application Number: 201305167162
Form Number: 8
Address(es): 6503 / 024 / 0 437 HOFFMAN AV
Description: REVISION TO APPL #2008.06.27.5494 - KEEP EXISTING DOOR (EXTERIOR) AT LOWER LEVEL, NO ADDITIONAL WORK BEYOND WHAT WAS ORIG. APPROVED.
Cost: \$1.00
Occupancy Code: R-3
Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

| Action Date | Stage | Comments |
|-------------|----------|-----------------------------------|
| 5/16/2013 | TRIAGE | |
| 5/16/2013 | FILING | |
| 5/16/2013 | FILED | |
| 5/16/2013 | APPROVED | |
| 5/16/2013 | ISSUED | |
| 7/12/2013 | COMPLETE | 1732994 Final Inspection/Approved |

Contact Details:

Contractor Details:

License Number: OWNER
Name: OWNER
Company Name: OWNER
Address: OWNER * OWNER CA 00000-0000
Phone:

Addenda Details:

Description:

| Step | Station | Arrive | Start | In Hold | Out Hold | Finish | Checked By | Hold Description |
|------|---------|---------|---------|---------|----------|---------|-------------|------------------|
| 1 | INTAKE | 5/16/13 | 5/16/13 | | | 5/16/13 | YIP JANET | |
| 2 | BLDG | 5/16/13 | 5/16/13 | | | 5/16/13 | DANG DENNIS | |
| 3 | CPB | 5/16/13 | 5/16/13 | | | 5/16/13 | | OTC FDR |

This permit has been issued. For information pertaining to this permit, please call 415-558-6096.

Appointments:

| Appointment Date | Appointment AM/PM | Appointment Code | Appointment Type | Description | Time Slots |
|------------------|-------------------|------------------|------------------|-------------|------------|
|------------------|-------------------|------------------|------------------|-------------|------------|

Inspections:

| Activity Date | Inspector | Inspection Description | Inspection Status |
|---------------|---------------|------------------------|----------------------|
| 7/12/2013 | Fergal Clancy | FINAL INSPECT/APPRVD | FINAL INSPECT/APPRVD |
| 6/6/2013 | Fergal Clancy | FINAL INSPECT/APPRVD | CORRECTION REQUIRED |

Special Inspections:

| Addenda No. | Completed Date | Inspected By | Inspection Code | Description | Remarks |
|-------------|----------------|--------------|-----------------|-------------|---------|
|-------------|----------------|--------------|-----------------|-------------|---------|

For information, or to schedule an inspection, call 558-6570 between 8:30 am and 3:00 pm.

[Station Code Descriptions and Phone Numbers](#)

[Online Permit and Complaint Tracking home page.](#)

[Technical Support for Online Services](#)

Welcome to our Permit / Complaint Tracking System!

Below is a list of all agents for the selected permit, along with their roles on the project.

Permit Number: 201305167162

| | Firm Name | Agent Name | Role | From | To |
|------|------------------|-------------------|-------------|-------------|-----------|
| Info | OWNER | OWNER | CONTRACTOR | 5/16/2013 | |
| Info | TOBY LONG DESIGN | ROSS E LONG III' | ARCHITECT | 5/16/2013 | |
| I | | | | | |

[Online Permit and Complaint Tracking home page.](#)

Technical Support for Online Services

If you need help or have a question about this service, please visit our [FAQ area](#).

Contact SFGov [Accessibility](#) [Policies](#)
City and County of San Francisco ©2000-2009

Exhibit 8

Notice of Pre-Application Meeting

MEETING #1

FEBRUARY 12, 2014

Date

Dear Neighbor:

You are invited to a neighborhood Pre-Application meeting to review and discuss the development proposal at 437 HOFFMAN AVENUE, cross street(s) 24TH STREET (Block/Lot#: 6503/24; Zoning: RH-2), in accordance with the San Francisco Planning Department's Pre-Application procedures. The Pre-Application meeting is intended as a way for the Project Sponsor(s) to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the City. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is submitted for the Planning Department's review. Once a Building Permit has been submitted to the City, you may track its status at www.sfgov.org/dbi.

The Pre-Application process is only required for projects subject to Planning Code Section 311 or 312 Notification. It serves as the first step in the process prior to building permit application or entitlement submittal. Those contacted as a result of the Pre-Application process will also receive a formal entitlement notice or 311 or 312 notification when the project is submitted and reviewed by Planning Department staff.

A Pre-Application meeting is required because this project includes (check all that apply):

- New Construction;
- Any vertical addition of 7 feet or more;
- Any horizontal addition of 10 feet or more;
- Decks over 10 feet above grade or within the required rear yard;
- All Formula Retail uses subject to a Conditional Use Authorization.

The development proposal is to: Remodel to existing residence which includes an addition at the rear and the modification of the lower level to create a single car garage.

| | | |
|--|----------------------------|--|
| Existing # of dwelling units: <u>1</u> | Proposed: <u>1</u> | Permitted: <u>2</u> |
| Existing bldg square footage: <u>2238 SF</u> | Proposed: <u>3809 SF</u> | Permitted: <u>6075 SF (F.A.R. max)</u> |
| Existing # of stories: <u>3</u> | Proposed: <u>3</u> | Permitted: <u>3</u> |
| Existing bldg height: <u>24' front</u> | Proposed: <u>30' front</u> | Permitted: <u>30' front</u> |
| Existing bldg depth: <u>33'-7"</u> | Proposed: <u>57'-3"</u> | Permitted: <u>61'-3"</u> |

MEETING INFORMATION:

Property Owner(s) name(s): Vivek and Pooja Mittal

Project Sponsor(s): tobylongdesign - Toby Long, AIA

Contact information (email/phone): toby@tobylongdesign.com / 415.905.9030

Meeting Address*: 437 HOFFMAN AVENUE

Date of meeting: Thursday, March 6, 2014

Time of meeting**: 6 PM

*The meeting should be conducted at the project site or within a one-mile radius, unless the Project Sponsor has requested a Department Facilitated Pre-Application Meeting, in which case the meeting will be held at the Planning Department offices, at 1850 Mission Street, Suite 400.

**Weeknight meetings shall occur between 6:00 p.m. - 9:00 p.m. Weekend meetings shall be between 10:00 a.m. - 9:00 p.m., unless the Project Sponsor has selected a Department Facilitated Pre-Application Meeting.

If you have any questions about the San Francisco Planning Code, Residential Design Guidelines, or general development process in the City, please call the Public Information Center at 415-558-8378, or contact the Planning Department via email at pic@sfgov.org. You may also find information about the San Francisco Planning Department and on-going planning efforts at www.sfplanning.org.

MEETING #1

Pre-Application Meeting Sign-in Sheet

Meeting Date: 03:09:2014
 Meeting Time: 6PM
 Meeting Address: 437 HOFFMAN AVE
 Project Address: 437 HOFFMAN AVE
 Property Owner Name: VIVEK + POOJA MITTAL
 Project Sponsor/Representative: TOBY LONG DESIGN

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

| NAME/ORGANIZATION | ADDRESS | PHONE # | EMAIL | SEND PLANS |
|------------------------|------------------|--------------|-------------------------|-------------------------------------|
| 1. PAUL LEFEBVRE | 439 HOFFMAN AVE | 415 238 0229 | paul-lefebvre@msn.com | <input checked="" type="checkbox"/> |
| 2. Stephanie Bellville | 431 Hoffman Ave | 415 407 8526 | smbellville@hotmail.com | <input checked="" type="checkbox"/> |
| 3. JAMES BELLVILLE | 431 Hoffman Ave. | 415 675-2133 | jbellvilleart@yahoo.com | <input checked="" type="checkbox"/> |
| 4. Stephen Baskerville | 439 Hoffman Ave. | | rvfrickhound@gmail.com | <input checked="" type="checkbox"/> |
| 5. Gene Geisler | 433 Hoffman | | genege@sfsu.edu | <input checked="" type="checkbox"/> |



San Francisco State University

Department of Political Science

R. Gene Geisler, Ph.D.
Professor, Emeritus

433 Hoffman Avenue
San Francisco, CA 94114

Home: 415/695-9693
Gentle Valley Ranch: 707/984-6679
E-mail: genege@sfsu.edu

- 13. _____
- 14. _____
- 15. _____
- 16. _____
- 17. _____
- 18. _____

Affidavit of Conducting a Pre-Application Meeting, Sign-in Sheet and Issues/Responses submittal

I, ABBY WITTMAN, do hereby declare as follows:

1. I have conducted a Pre-Application Meeting for the proposed new construction or alteration prior to submitting any entitlement (Building Permit, Variance, Conditional Use, etc.) in accordance with Planning Commission Pre-Application Policy.
2. The meeting was conducted at 431 HOFFMAN AVENUE, SF (location/address) on 3/6/2014 (date) from 6:00pm (time).
3. I have included the mailing list, meeting initiation, sign-in sheet, issue/response summary, and reduced plans with the entitlement Application. I understand that I am responsible for the accuracy of this information and that erroneous information may lead to suspension or revocation of the permit.
4. I have prepared these materials in good faith and to the best of my ability.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

EXECUTED ON THIS DAY, APRIL 10th, 2014 IN SAN FRANCISCO.

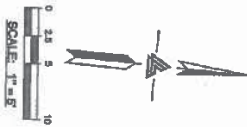
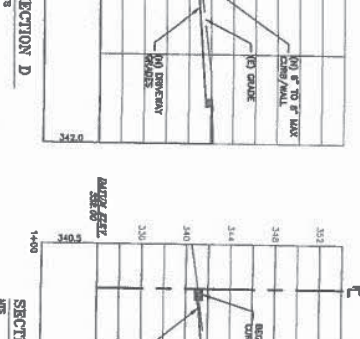
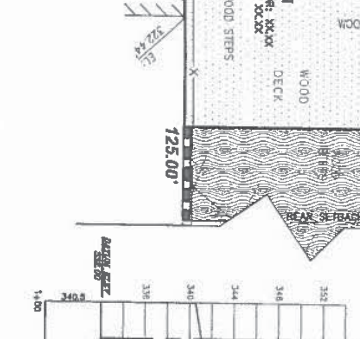
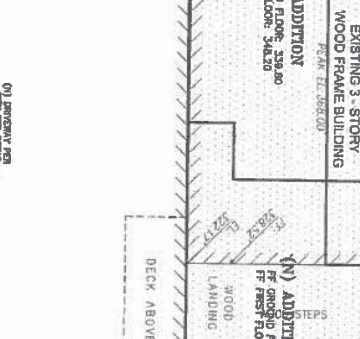
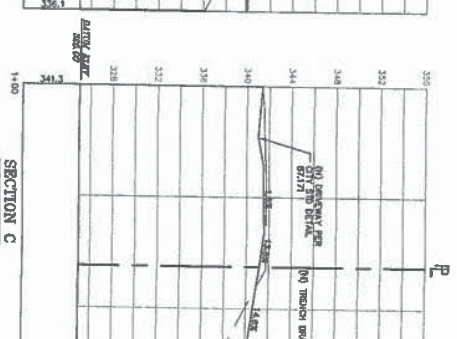
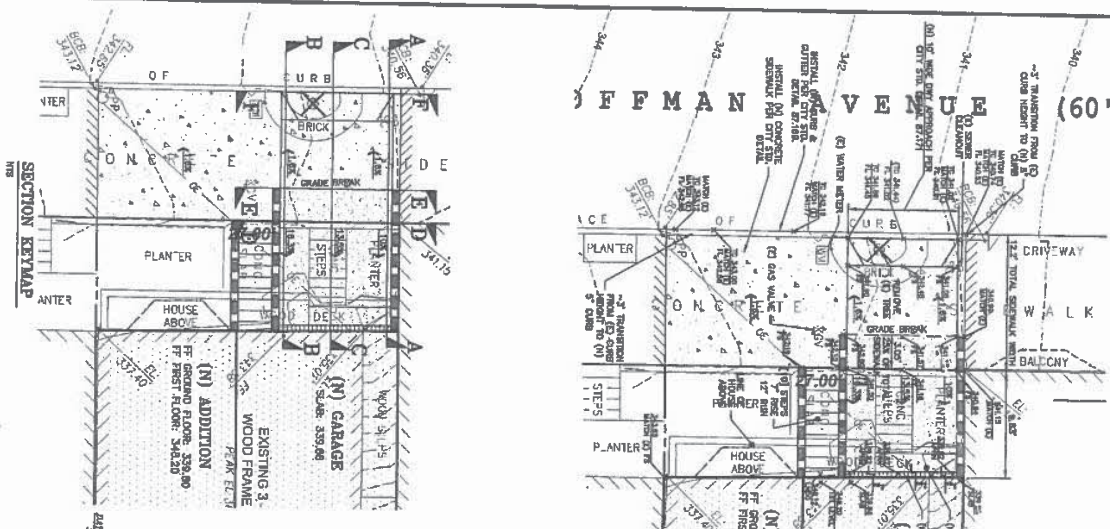


Signature

ABBY WITTMAN / TOBY LONG DESIGN
Name (type or print)

AGENT - TOBY LONG DESIGN - ARCHITECT
Relationship to Project (e.g. Owner, Agent)
(If Agent, give business name & profession)

431 HOFFMAN AVENUE
Project Address



C-20
OF
SHEETS

| | |
|-------------|---------|
| DATE | 4-1-14 |
| SCALE | 1" = 6' |
| DESIGN BY | MS |
| DRAWN BY | ATL |
| SHEET NO. | |
| REVISIONS | |
| BY | |
| DATE | |
| DESCRIPTION | |

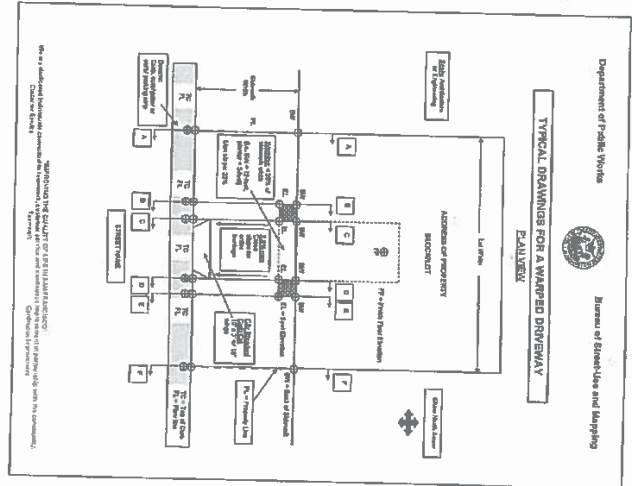
DRIVEWAY EXHIBIT

MITAL RESIDENCE
437 HOFFMAN AVENUE
SAN FRANCISCO, CALIFORNIA
SAN FRANCISCO COUNTY
AP# 6503-024

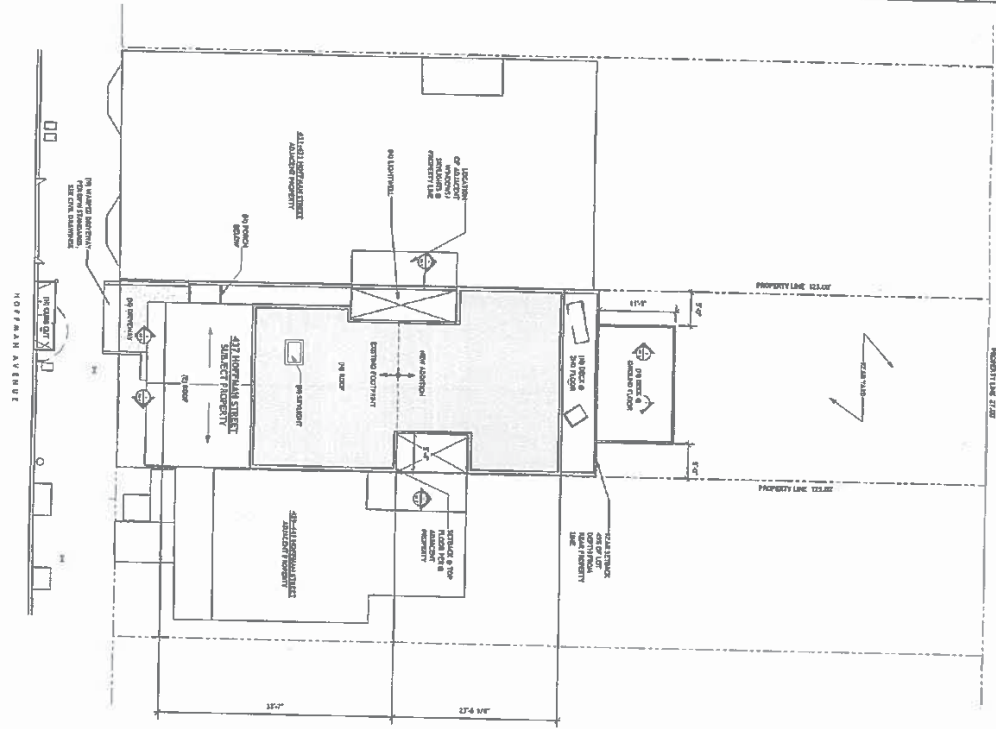
LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
BAY AREA REGION SACRAMENTO REGION
2495 INDUSTRIAL PARK WEST 3017 DUNDAS CAVO, # 303
DUBLIN, CALIFORNIA 94568 ROSSELLE CA 95061
(P) (916) 887-4088 (F) (916)966-1328
(T) (916) 887-3019 (F) (916)967-7343
WWW.LEABRAZE.COM



1 WARPED DRIVEWAY STANDARDS



2 SITE PLAN



| BUILDING AREA | |
|---------------|---------------------------------|
| GROUND FLOOR | 1212 SF (77' CUB. - 12' HIG) |
| SECOND FLOOR | 1212 SF |
| TOTAL | 2424 SF (24' HIG. MIN. CEILING) |



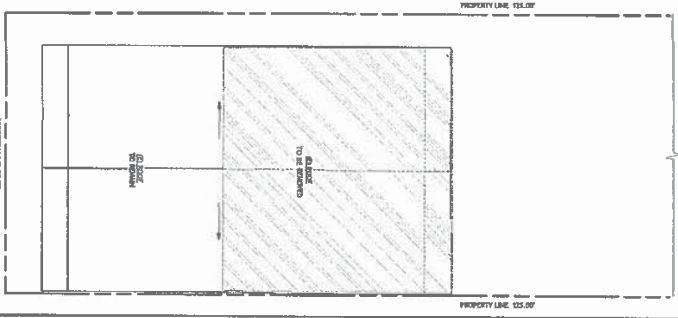
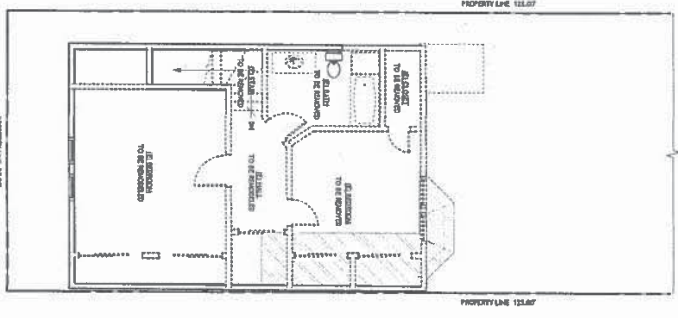
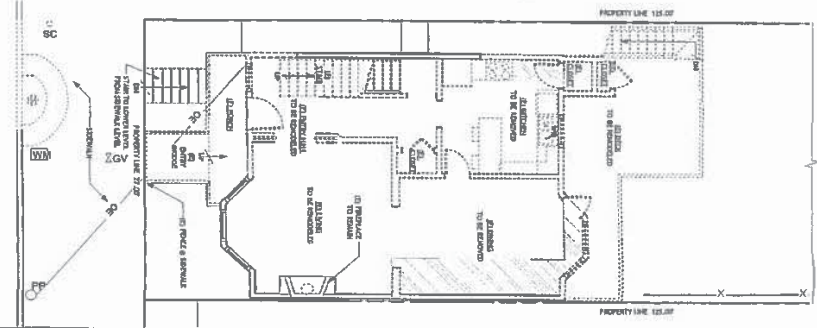
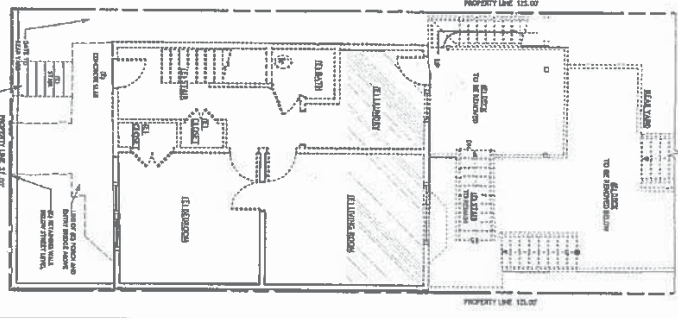
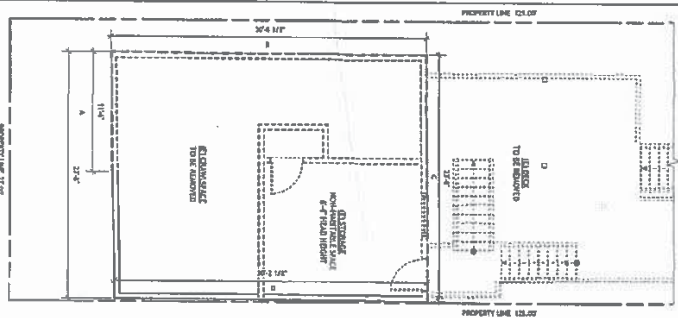
A1.0

MITTAL RESIDENCE
437 HOFFMAN
SAN FRANCISCO, CA 94110

Scale:
 ARCHITECTURAL: 1/8" = 1'-0"
 MECHANICAL: 1/4" = 1'-0"
 ELECTRICAL: 1/4" = 1'-0"
 CIVIL: 1/4" = 1'-0"
 LAYOUT: 1/4" = 1'-0"
 SITE PLAN: 1/4" = 1'-0"

ARCHITECTURE
tobylongdesign
 4114 LA SALLE AVENUE #812, GARLAND, CA 94611
 P: 415.962.0099 F: 415.962.9231 www.tobylongdesign.com





317.2B - LEVEL FOOT CALCULATION

| ELEMENT | HEIGHT | AREA | % REMOVED |
|---------------------|---------|--------|-----------|
| ALFORD FRONT FACADE | 32'-0" | 14'-0" | 64.8 |
| CLARK FRONT FACADE | 32'-0" | 32'-0" | 99.1 |
| TOTAL FRONT AREA | | 46'-0" | 71.9 |
| ALFORD REAR FACADE | 32'-0" | 32'-0" | 99.1 |
| CLARK REAR FACADE | 32'-0" | 32'-0" | 99.1 |
| TOTAL REAR AREA | | 64'-0" | 99.1 |
| TOTAL LF REMOVAL | 158'-0" | 65'-0" | 94.6 |

317.2C - AREA UNDERMENT - VERTICAL

| ELEMENT | (1) AREA | HEIGHT | % REMOVED |
|---------------------|----------|--------|-----------|
| ALFORD FRONT FACADE | 464 | 304 | 318 |
| CLARK FRONT FACADE | 1024 | 1024 | 100% |
| ALFORD REAR FACADE | 611 | 593 | 81% |
| CLARK REAR FACADE | 611 | 0 | 0% |
| TOTAL VERTICAL | 2407 | 1798 | 52% |

317.2C - AREA UNDERMENT - HORIZONTAL

| ELEMENT | (1) AREA | HEIGHT | % REMOVED |
|------------------|----------|--------|-----------|
| FLOOR | 228 | 303 | 93% |
| ROOF | 642 | 144 | 25% |
| TOTAL HORIZONTAL | 870 | 847 | 28% |

317.2C - AREA UNDERMENT - HORIZONTAL

| ELEMENT | (1) AREA | HEIGHT | % REMOVED |
|------------------|----------|--------|-----------|
| FLOOR | 228 | 303 | 93% |
| ROOF | 642 | 144 | 25% |
| TOTAL HORIZONTAL | 870 | 847 | 28% |



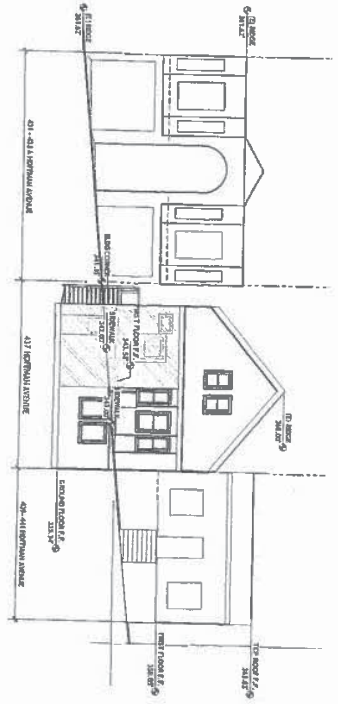
5 DEMOLITION CALCULATIONS PER SF PLANNING CODE 317

A1.1

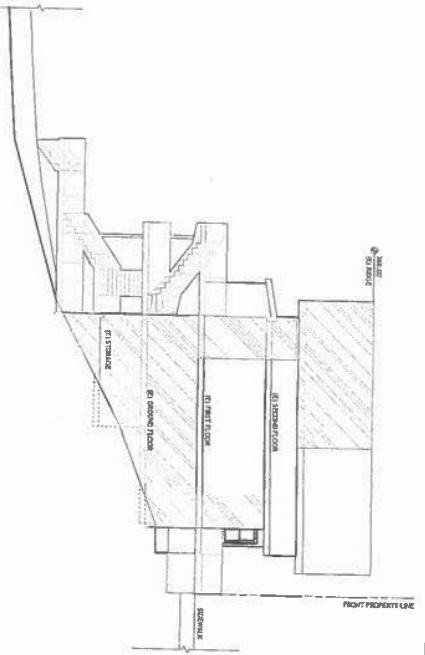
MITTAL RESIDENCE
437 HOFFMAN
SAN FRANCISCO, CA 94110

to bylongdesign
ARCHITECTURE
6114 LA SALLE AVENUE #201, OAKLAND, CA 94611
P: 415.963.9050 F: 415.963.9051 www.tobylongdesign.com

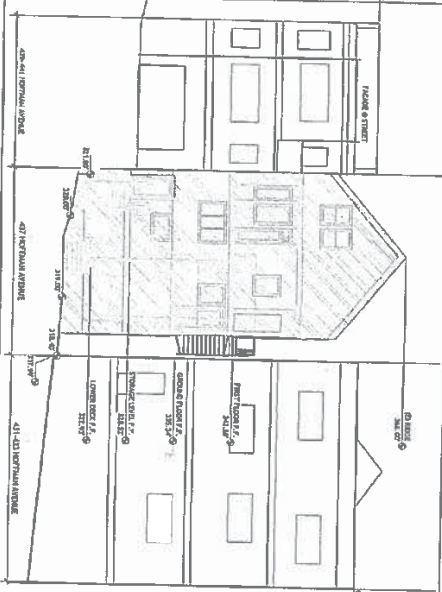




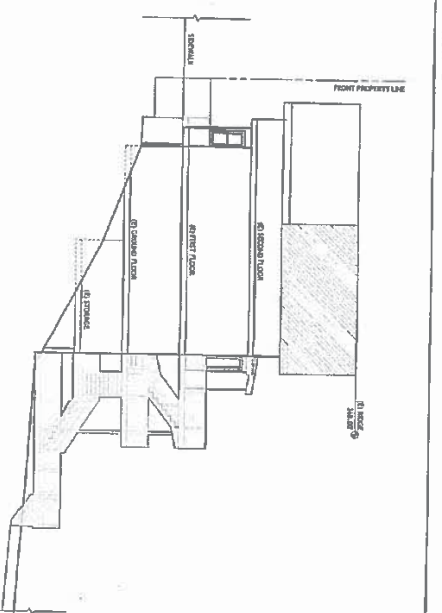
1 (E) FRONT (WEST) ELEVATION - A



2 (E) NORTH ELEVATION - B



3 (E) REAR (EAST) ELEVATION - C



4 (E) SOUTH ELEVATION - D

317.29 - UPPER FLOOR CALCULATION

| ELEMENT | QUANTITY | AREA(SQ) | % ALLOWED |
|----------------------|----------|----------|-----------|
| FLOOR FINISH FLOOR | 317.29 | 11.4% | 44.4% |
| CEILING FINISH FLOOR | 317.29 | 21.4% | 10.8% |
| WALL FINISH FLOOR | 49.4' | 37.4% | 7.4% |
| ROOF FINISH FLOOR | 30.4' | 30.4% | 10.0% |
| STAIR FINISH FLOOR | 30.4' | 6.0% | 0.6% |
| TOTAL FINISH FLOOR | 744.8' | 85.6% | 82.8% |

317.12 - AREA MEASUREMENT - VERTICAL

| ELEMENT | (1) AREA (SQ) | REMARKS | % ALLOWED |
|----------------------|---------------|---------|-----------|
| FLOOR FINISH FLOOR | 44.4 | 2.4 | 3.1% |
| CEILING FINISH FLOOR | 10.6 | 10.6 | 10.6% |
| WALL FINISH FLOOR | 131 | 5.0 | 41.1% |
| ROOF FINISH FLOOR | 0 | 0 | 0% |
| TOTAL VERTICAL | 156.0 | 17.0% | 10.7% |

311.25 - AREA MEASUREMENT - HORIZONTAL

| ELEMENT | (1) AREA (SQ) | REMARKS | % ALLOWED |
|------------------|---------------|---------|-----------|
| FLOOR | 22.9 | 2.6 | 1.7% |
| ROOF | 1.4 | 1.1 | 3.7% |
| TOTAL HORIZONTAL | 24.3 | 3.7 | 20.5% |

NOTES FOR THESE CALCULATIONS:
 1. ALL ELEMENTS ARE TO BE CONSIDERED AS PER THE CODE.
 2. ALL ELEMENTS ARE TO BE CONSIDERED AS PER THE CODE.
 3. ALL ELEMENTS ARE TO BE CONSIDERED AS PER THE CODE.
 4. ALL ELEMENTS ARE TO BE CONSIDERED AS PER THE CODE.

LEGEND

| SYMBOL | DESCRIPTION |
|----------|----------------------|
| [Symbol] | EXISTING |
| [Symbol] | NEW |
| [Symbol] | NOT REQUIRED BY CODE |
| [Symbol] | AREA CALCULATION |

5 DEMOLITION CALCULATIONS PER SF PLANNING CODE 317

ARCHITECTURE
tobylongdesign
 4110 LA BALLE AVENUE 2532, OAKLAND, CA 94611
 P: 415.862.9030 P: 415.862.9032 www.tobylongdesign.com

TITLE: DEMOLITION CALCULATION
 PROJECT: MITTAL RESIDENCE
 DATE: 04.20.2024
 DRAWN BY: [Name]
 CHECKED BY: [Name]

MITTAL RESIDENCE
437 HOFFMAN
SAN FRANCISCO, CA 94110



tobylongdesign
ARCHITECTURE
4715 CLAY AVENUE #22, OAKLAND, CA 94612
PH: 415.925.9928 | EMAIL: TDESIGN@TDESIGNARCH.COM

DESIGN: 01.27.2014
REVISED DRAWING: 01.27.2014
REVISIONS: 01.27.2014
DATE: 01.27.2014

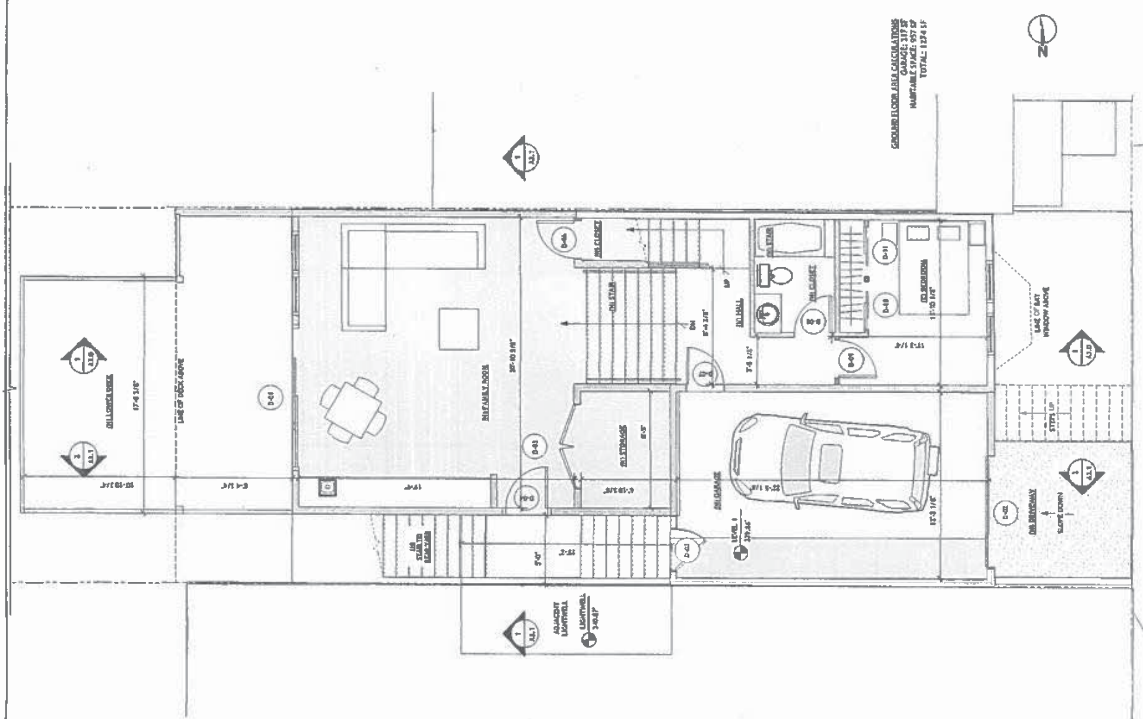
MITTAL RESIDENCE
437 HOFFMAN
SAN FRANCISCO, CA 94110

SCHEMATIC PLANS

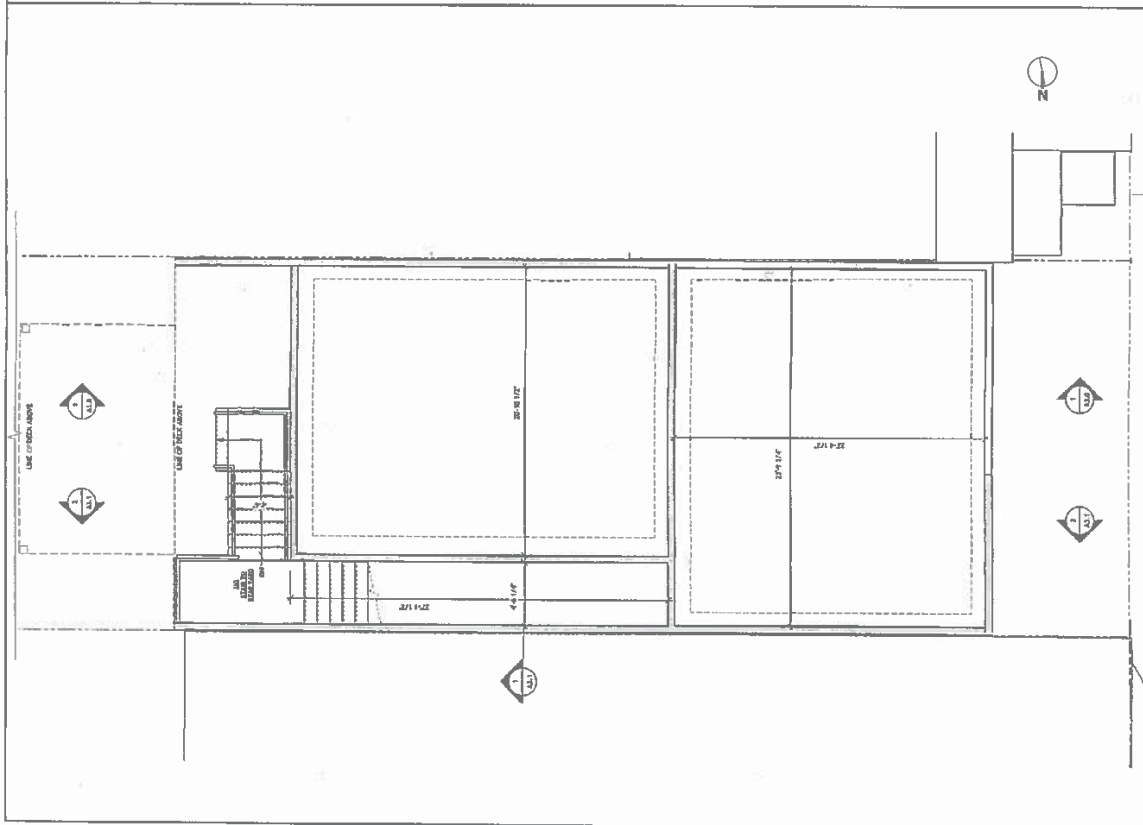
1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

DATE: 01.27.2014
DRAWN BY: TDESIGN
CHECKED BY: TDESIGN
SCALE: AS SHOWN

A2.0
© 2014 TDESIGN ARCHITECTURE, INC.



2 | GROUND FLOOR



1 | REAR YARD ACCESS/ FOUNDATION



tobylongdesign
ARCHITECTURE
P: 415.705.9009 F: 415.705.9829 www.tobylongdesign.com

DATE: 06.27.2014
PROJECT: MITTAL RESIDENCE
CLIENT: MITTAL
ARCHITECT: TOBY LONG DESIGN

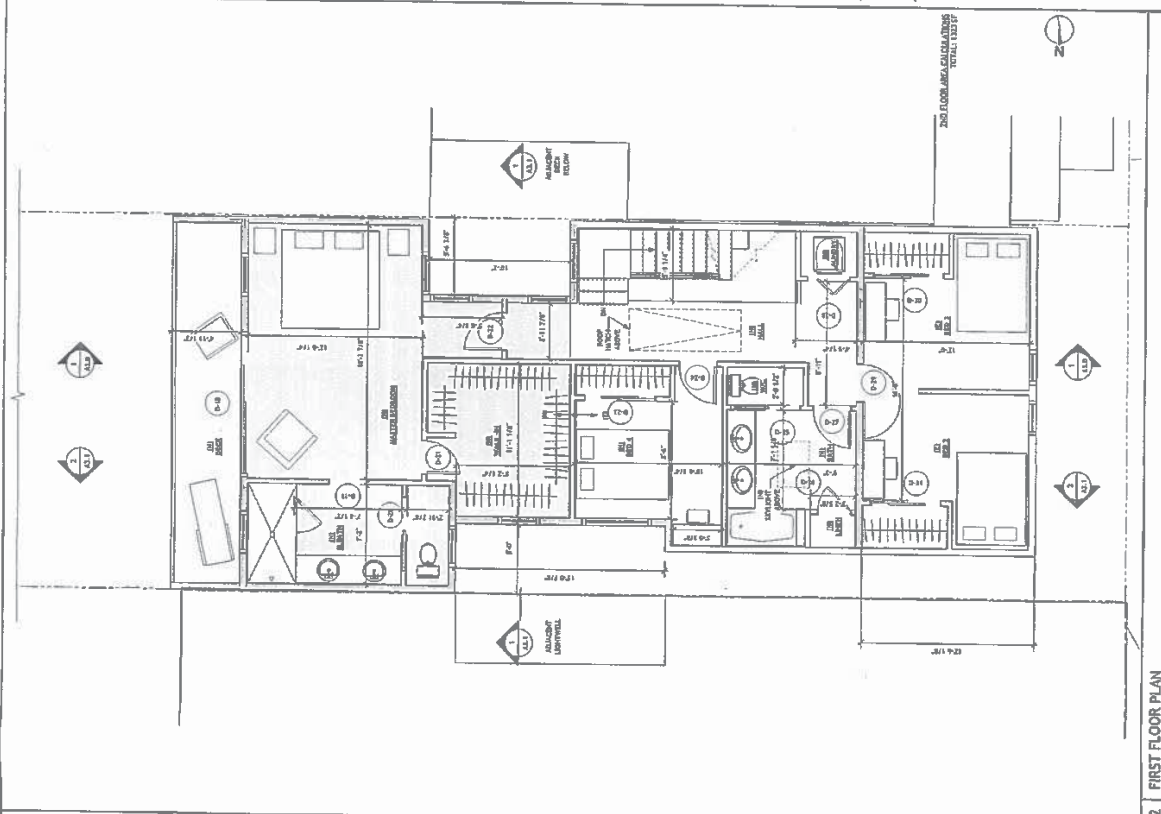
MITTAL RESIDENCE
437 HOFFMAN
SAN FRANCISCO, CA 94110

SCHEMATIC PLANS

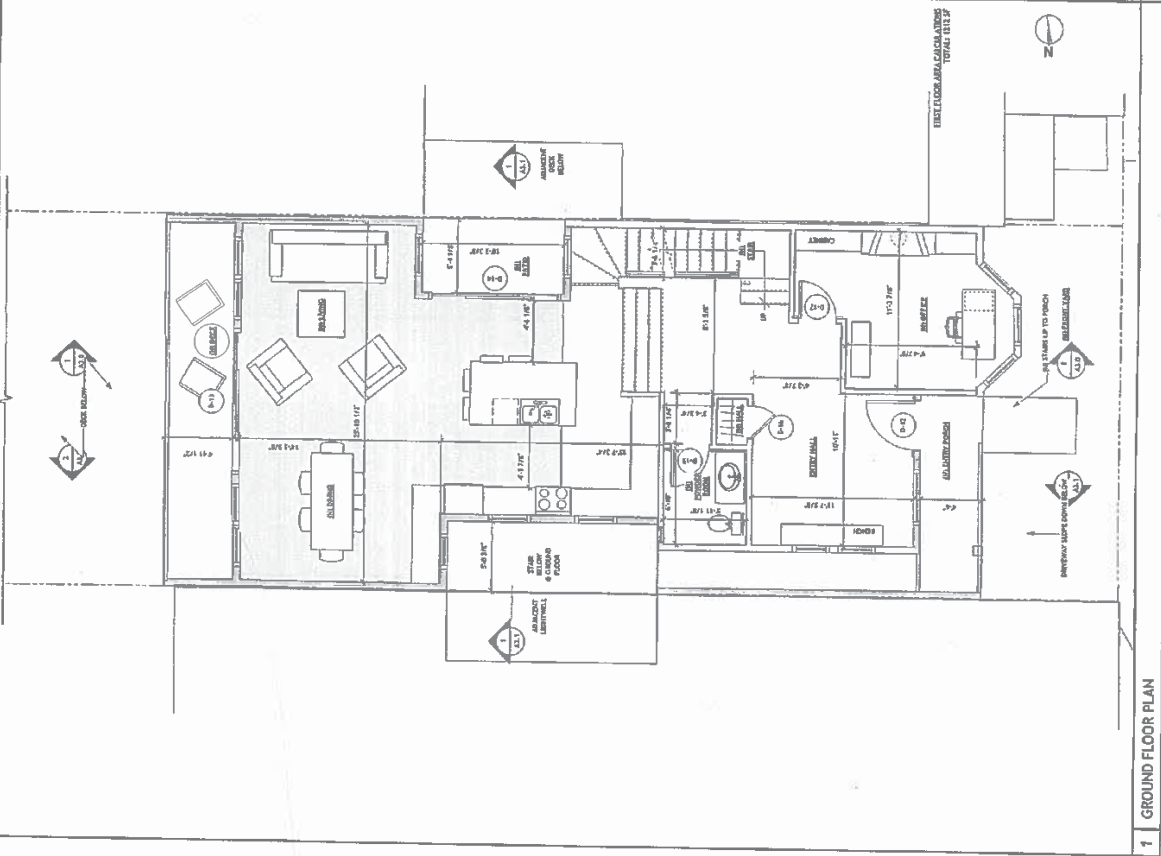
2ND FLOOR AREA CALCULATIONS
TOTAL: 13,325 SF

Sheet
A2.1
Date: 06.23.2011

A2.1
© 2011 TOLONGDESIGN.COM



2 FIRST FLOOR PLAN



1 GROUND FLOOR PLAN



ARCHITECTURE
toby long design
 437 HOFFMAN AVE. SUITE 200
 SAN FRANCISCO, CA 94110
 TEL: 415.398.1111
 WWW.TOBYLONGDESIGN.COM

PROJECT
 MTTAL RESIDENCE
 437 HOFFMAN AVE. SUITE 200
 SAN FRANCISCO, CA 94110
DATE
 02.03.2011
SCALE
 1/8" = 1'-0"

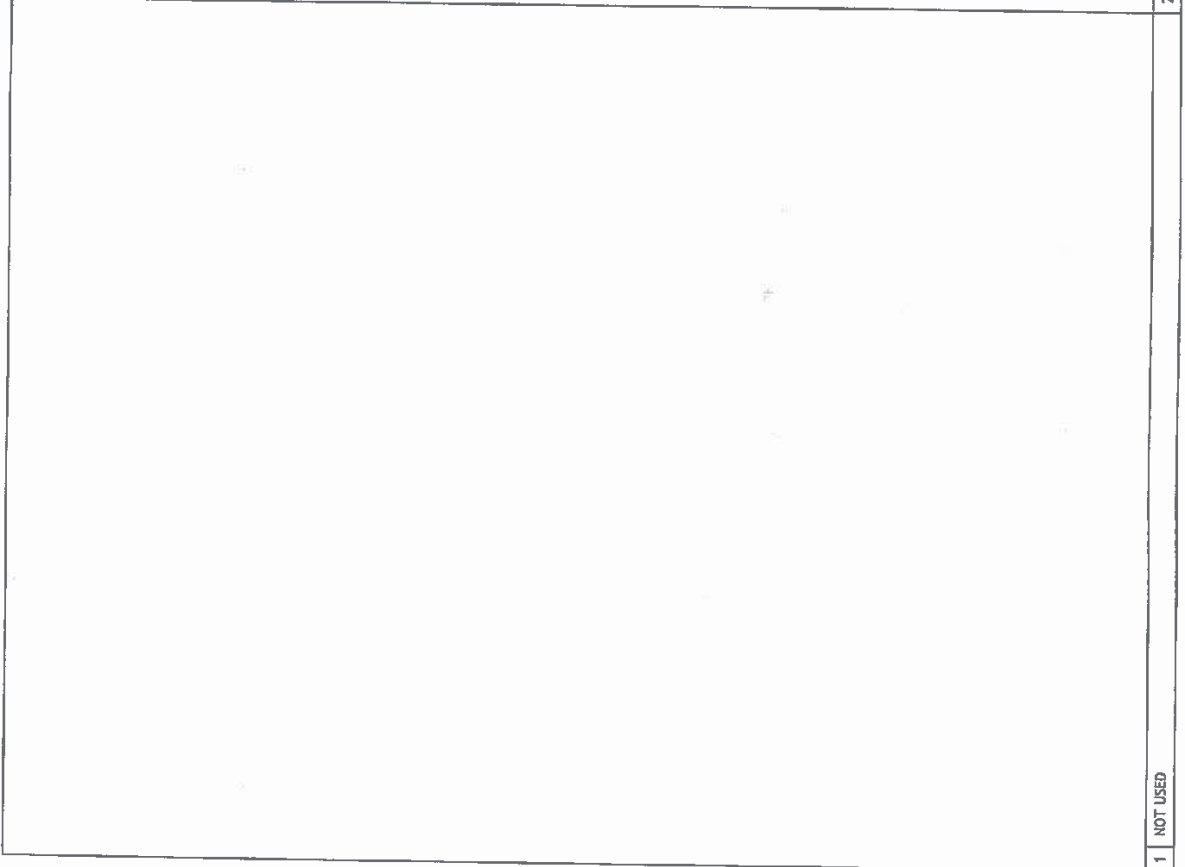
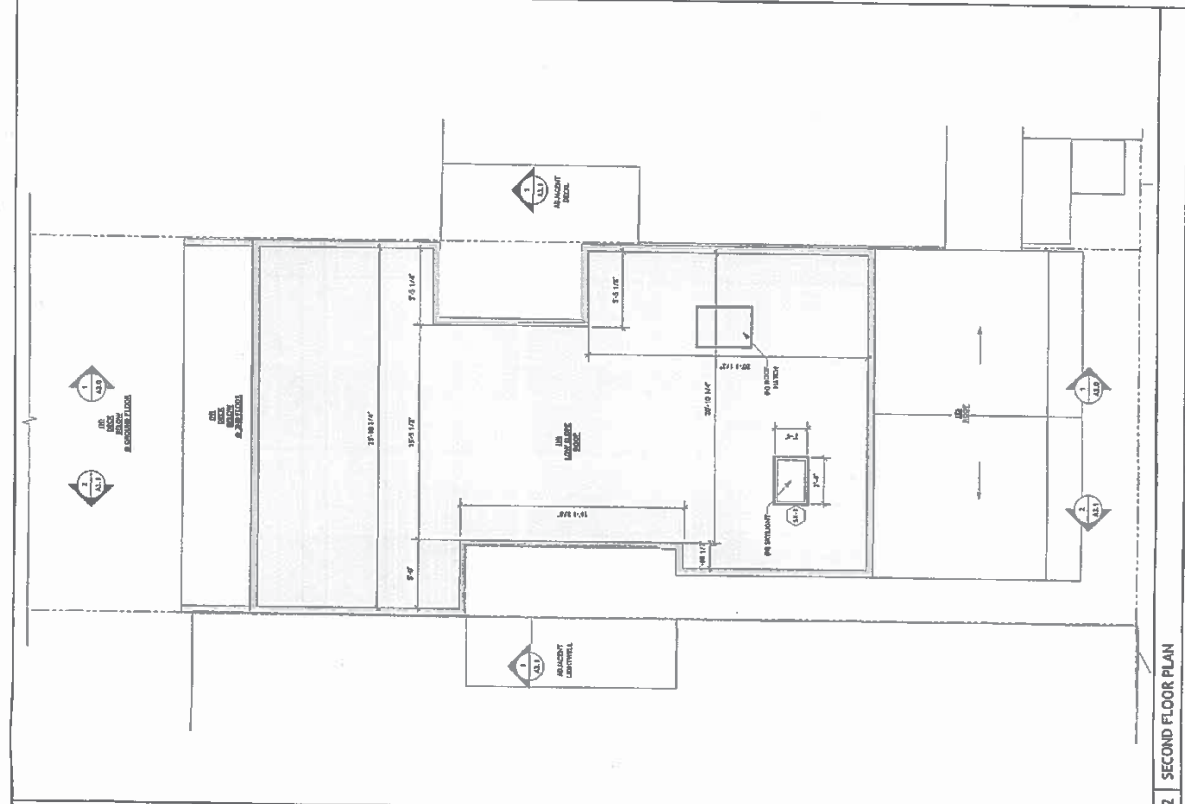
MITTAL RESIDENCE
437 HOFFMAN
SAN FRANCISCO, CA 94110

SCHEMATIC PLANS

THESE SCHEMATIC PLANS ARE PRELIMINARY AND NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THE PLANS SHALL BE MADE BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT BY THE CLIENT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT BY THE CLIENT.

SCALE
 1/8" = 1'-0"
DATE
 02.03.2011
BY
 [Signature]

A2.2
 © 2011 TOLBY LONG DESIGN, INC.





tobylongdesign
ARCHITECTURE

4040 LA BREA AVENUE SUITE 200, SAN FRANCISCO, CA 94104
P: 415.693.9942 F: 415.693.9943 www.tobylongdesign.com

DATE: 04/19/18
DRAWN BY: [Name]
CHECKED BY: [Name]
PROJECT: 437 HOFFMAN
SHEET: 11

MITTAL RESIDENCE
437 HOFFMAN
SAN FRANCISCO, CA 94110

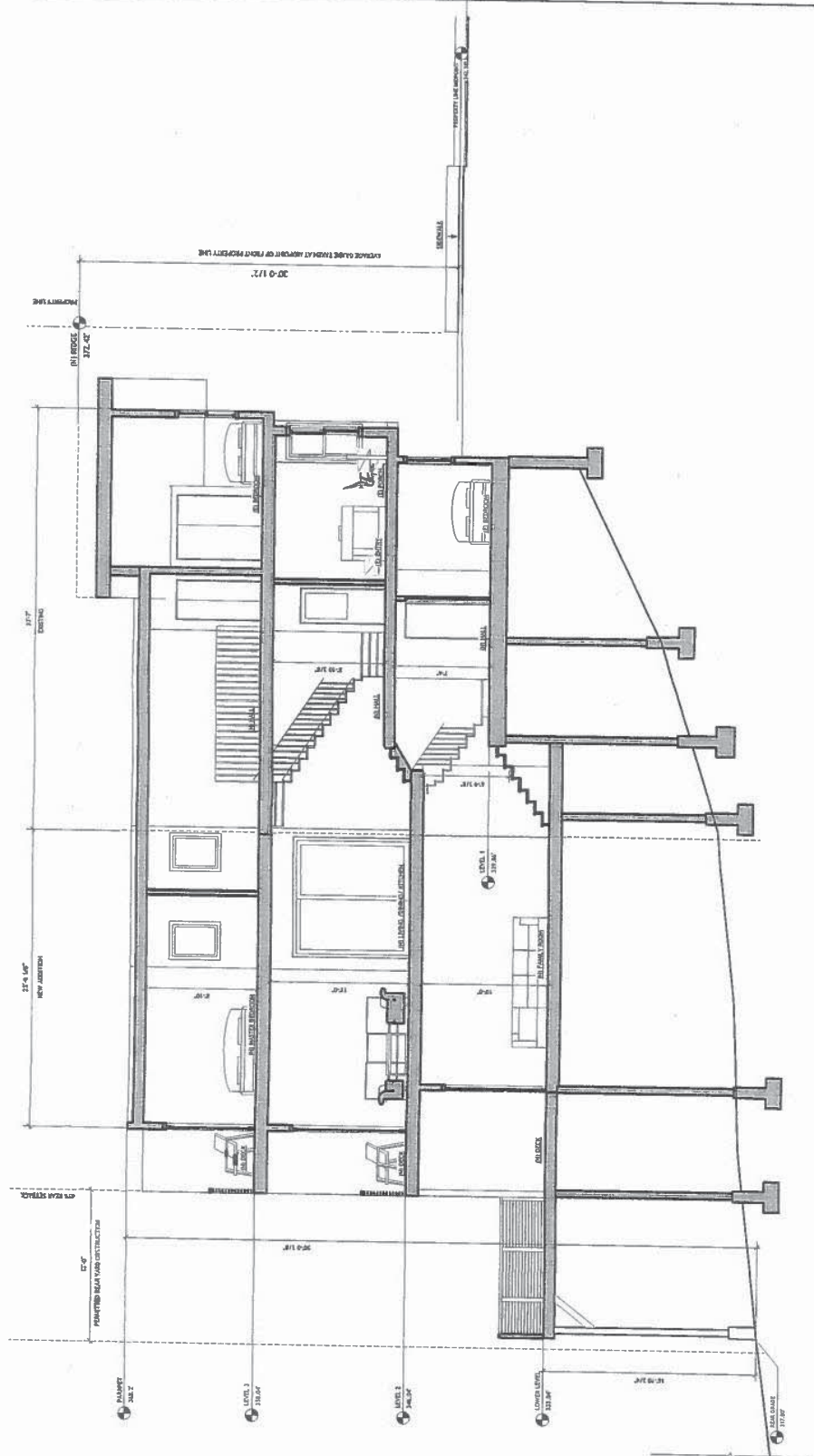
LONGITUDINAL SECTION

Scale: 1/4" = 1'-0"
Date: 02.22.2017

Scale: 1/4" = 1'-0"
Date: 02.22.2017

Sheet: A3.0

1 LONGITUDINAL SECTION OF NEW ADDITION





toby longdesign
 ARCHITECTURE
 4114 16th Avenue, San Francisco, CA 94114
 Tel: 415.774.8888 Fax: 415.774.8888
 www.tobydesign.com

PROJECT: MITTAL RESIDENCE
 LOCATION: SAN FRANCISCO, CA
 DATE: 03.10.2014
 DRAWING NO: 03.10.2014
 SCALE: 1/8" = 1'-0"

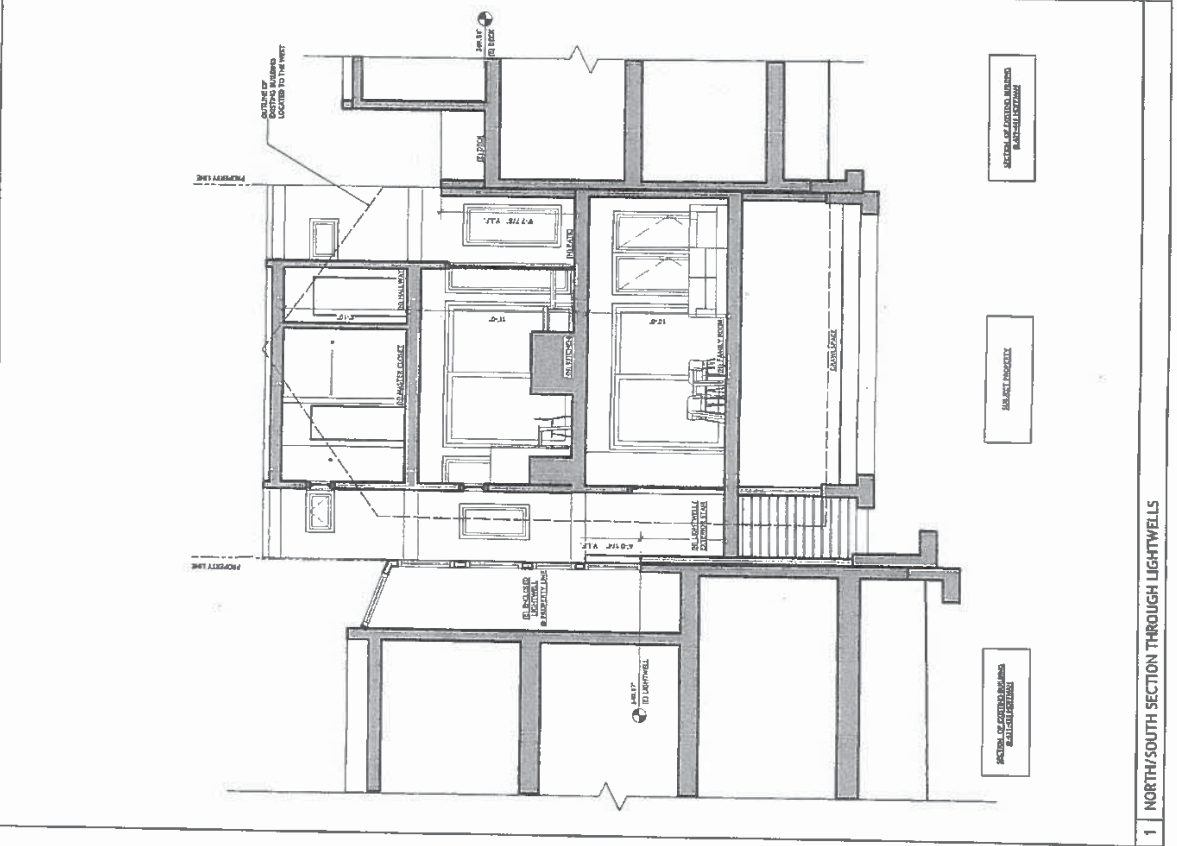
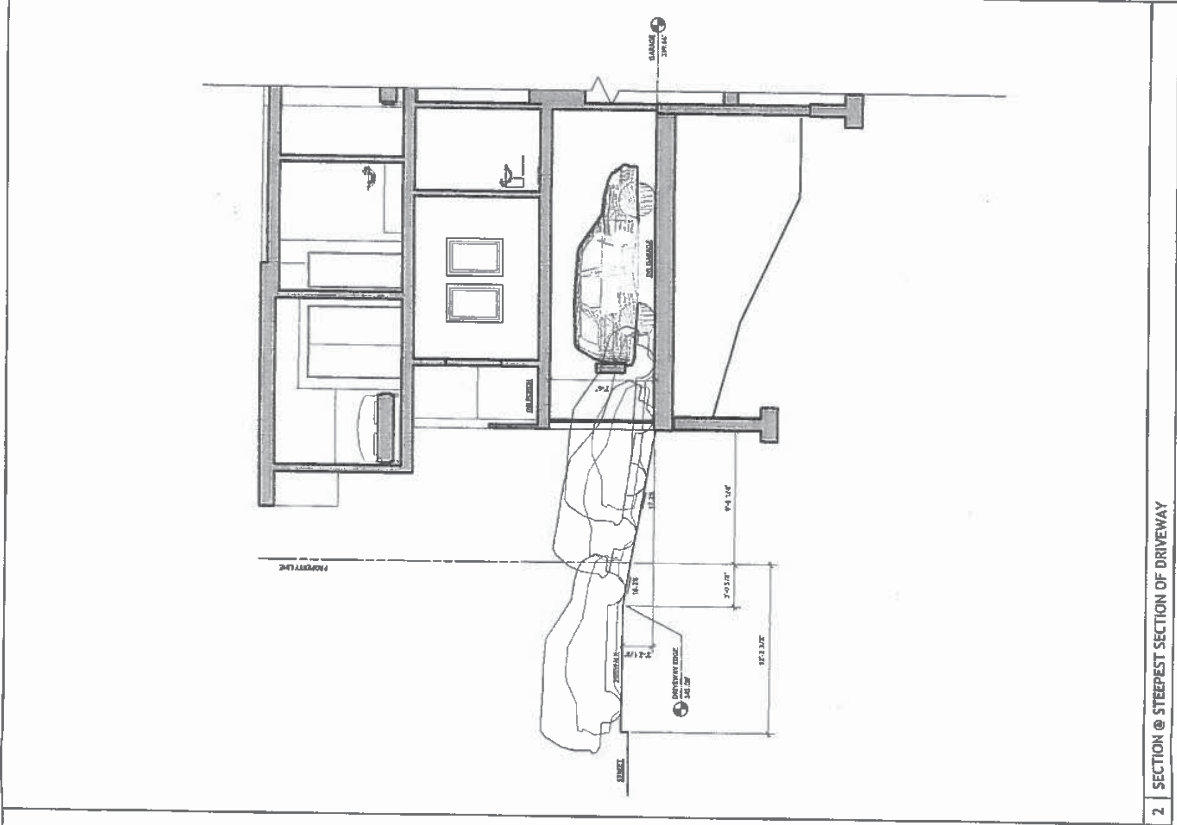
MITTAL RESIDENCE
 437 HOFFMAN
 SAN FRANCISCO, CA 94110

SECTIONS

SECTION 1: NORTH/SOUTH SECTION THROUGH LIGHTWELLS
 SECTION 2: SECTION @ STEEPEST SECTION OF DRIVEWAY

DATE: 03.10.2014
 DRAWN BY: [Name]
 CHECKED BY: [Name]

A3.1
 ARCHITECTURE



2 SECTION @ STEEPEST SECTION OF DRIVEWAY

1 NORTH/SOUTH SECTION THROUGH LIGHTWELLS



toblongdesign
ARCHITECTURE
14 9th St, San Francisco, CA 94110
415.775.8888

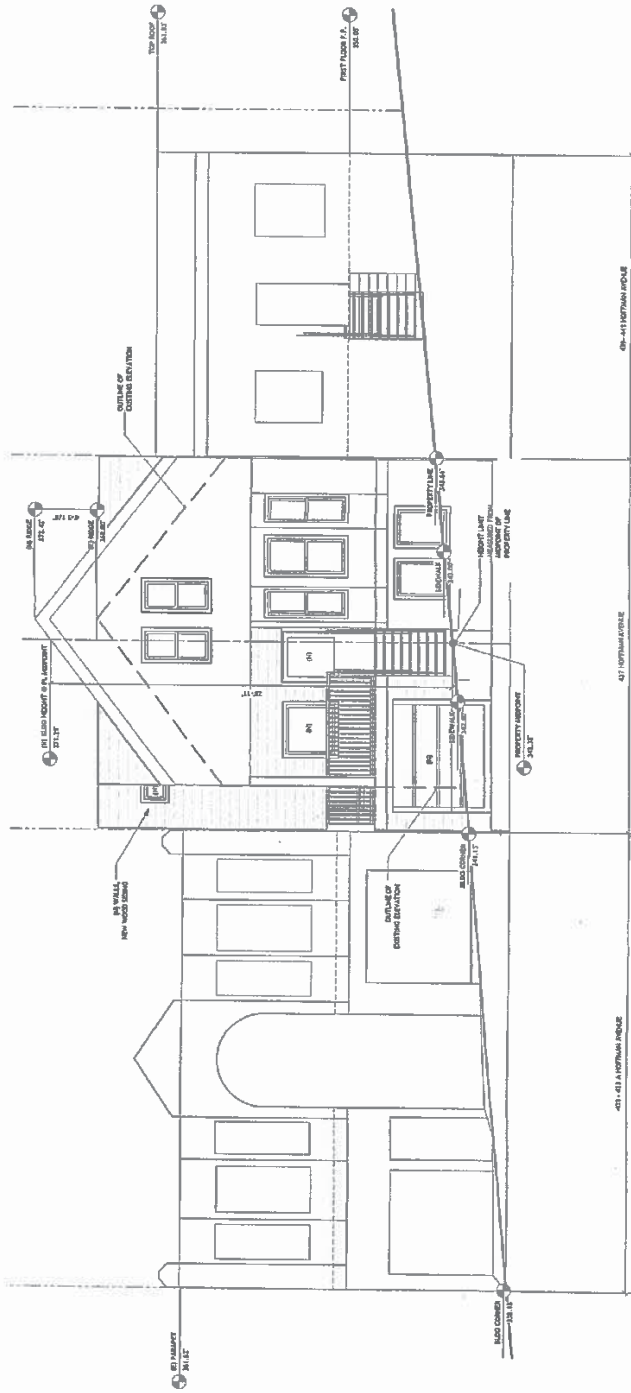
DATE: 01.27.2014
PROJECT: 437 HOFFMAN
CLIENT: MTTAL RESIDENCE
DRAWN BY: [Name]

MTTAL RESIDENCE
437 HOFFMAN
SAN FRANCISCO, CA 94110

NEW FRONT ELEVATION

SCALE: 1/8" = 1'-0"
DATE: 01.27.2014
PROJECT: 437 HOFFMAN

A4.0



1 (N) WEST (FRONT) ELEVATION



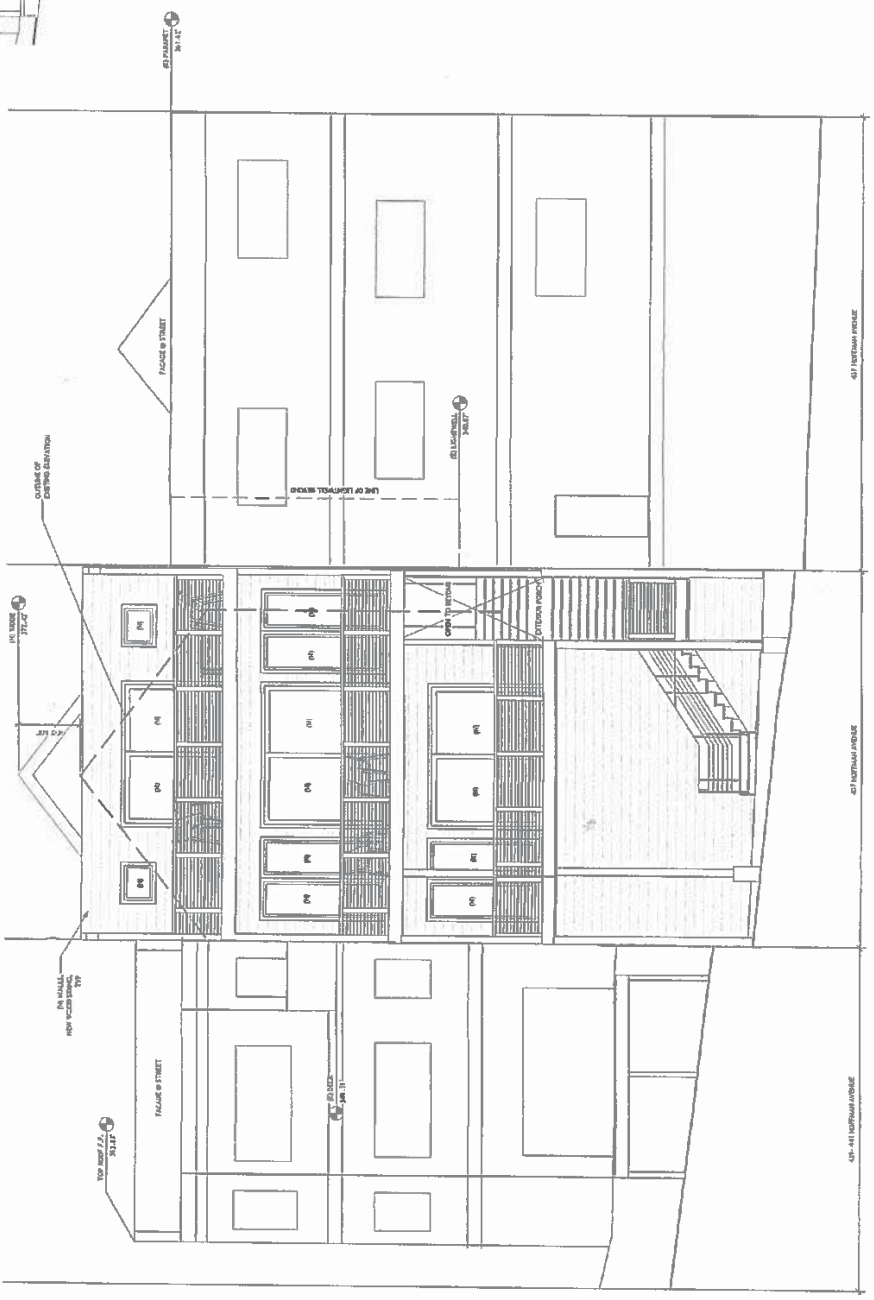
toby long design
 ARCHITECTURE
 61414 KATE AVENUE #201, OAKLAND, CA 94612
 P: 415.763.0030 F: 415.763.0038 WWW.TOBYLONGDESIGN.COM

Scale: 1/8" = 1'-0"
 PROJECT NO: 2017-001
 DATE: 01/20/17
 DRAWN BY: TLD
 CHECKED BY: TLD

MITTAL RESIDENCE
437 HOFFMAN
SAN FRANCISCO, CA 94110

NEW REAR ELEVATION
 THIS DRAWING IS THE PROPERTY OF TOBY LONG DESIGN. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF TOBY LONG DESIGN.

DATE: 01/20/17
 DRAWN BY: TLD
 CHECKED BY: TLD
 SHEET: A4.1
 PROJECT: MITTAL RESIDENCE



1 | (N) EAST (REAR) ELEVATION



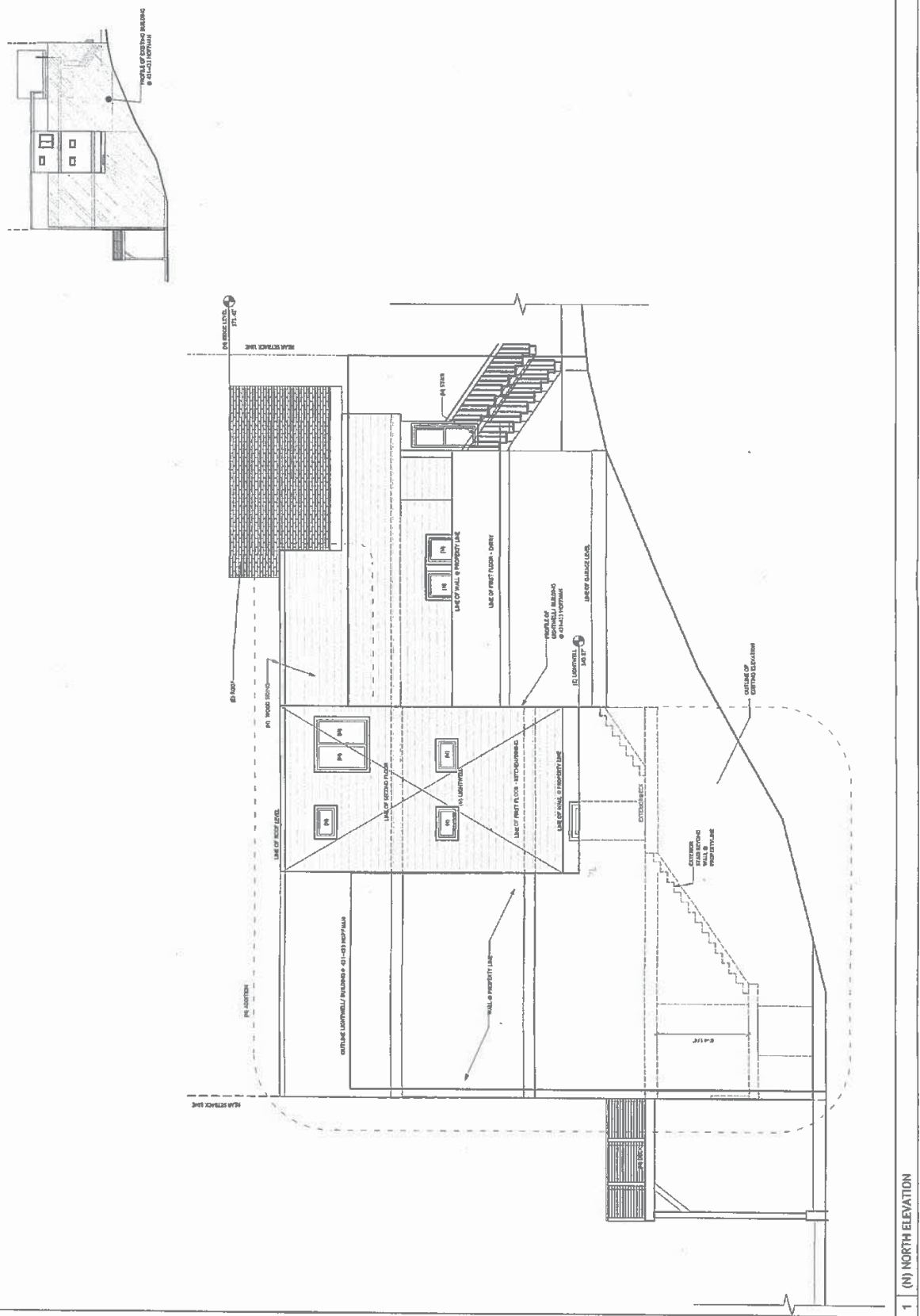
toby long design
ARCHITECTURE
1114 LA BAZZ AVENUE 2ND FLOOR, OAKLAND, CA 94612
PH: 415.863.9939 FX: 415.863.9933 WWW: tobylongdesign.com

DATE: 04.18.2014
DRAWN BY: J. HOFFMAN
CHECKED BY: J. HOFFMAN
PROJECT: MITTAL RESIDENCE

MITTAL RESIDENCE
437 HOFFMAN
SAN FRANCISCO, CA 94110

NEW NORTH ELEVATION
SCALE: 1/8" = 1'-0"
DATE: 04.18.2014
PROJECT: MITTAL RESIDENCE

A4.2



1 (N) NORTH ELEVATION



tobylongdesign
ARCHITECTURE
614 LA SALLE AVENUE 23RD FLOOR, CA 94110
P: 415.763.9828 F: 415.763.9825 www.tobylongdesign.com

Name: MITTAL RESIDENCE
DATE: 01.27.2014
PROJECT NO.: 437 HOFFMAN
DRAWN BY: J. HOFFMAN
CHECKED BY: J. HOFFMAN
DATE: 01.27.2014

MITTAL RESIDENCE
437 HOFFMAN
SAN FRANCISCO, CA 94110

NEW SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
DATE: 01.27.2014

NO. 1
DATE: 01.27.2014
SHEET
A4.3
© TONY LONG DESIGN 2014

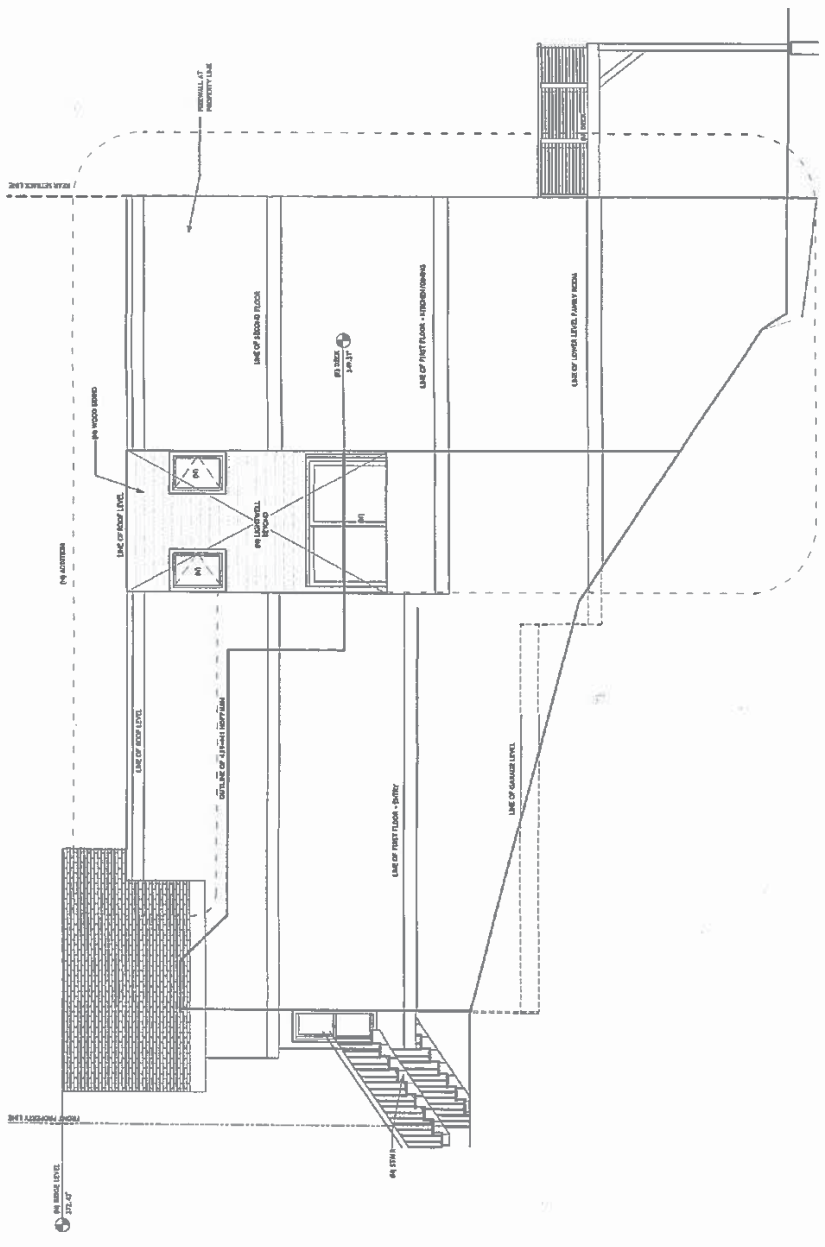
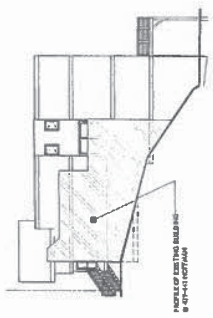


Exhibit 9

Welcome to our Permit / Complaint Tracking System!

Permit Details Report

Report Date: 11/3/2015 5:28:13 PM

Application Number: 201404113029
Form Number: 3
Address(es): 6503 / 024 / 0 437 HOFFMAN AV
Description: ADDITION TO SINGLE FAM DWG, 3 STORY REAR ADDITION TO INCLUDE (N) FAM RM (GROUND) (N) KITCHEN (FIRST), (N) BEDRMS & BATH (2ND)
Cost: \$900,000.00
Occupancy Code: R-3
Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

| Action Date | Stage | Comments |
|-------------|--------|----------|
| 4/11/2014 | TRIAGE | |
| 4/11/2014 | FILING | |
| 4/11/2014 | FILED | |

Contact Details:

Contractor Details:

Addenda Details:

Description:

| Step | Station | Arrive | Start | In Hold | Out Hold | Finish | Checked By | Phone | Hold Description |
|------|---------|---------|---------|---------|----------|---------|------------|--------------|---|
| 1 | CPB | 4/11/14 | 4/11/14 | | | 4/11/14 | SHEK KATHY | 415-558-6070 | |
| 2 | CP-ZOC | 4/11/14 | 6/6/14 | | | | TRAN NANCY | 415-558-6377 | reassigned to Nancy Tran 8/19/2015 |
| 3 | CP-NP | 9/23/15 | | | | | TRAN NANCY | 415-558-6377 | Mailed Cover Letter 9/23/15 (Vlad) Mailed 31 Notice 10/13/15; Expired 11/12/15 (Vlad) |
| 4 | BLDG | | | | | | | 415-558-6133 | |
| 5 | DPW-BSM | | | | | | | 415-558-6060 | |
| 6 | SFPUC | | | | | | | 415-575-6941 | |
| 7 | PPC | | | | | | | 415-558-6133 | |
| 8 | CPB | | | | | | | 415-558-6070 | |

Appointments:

| Appointment Date | Appointment AM/PM | Appointment Code | Appointment Type | Description | Time Slots |
|------------------|-------------------|------------------|------------------|-------------|------------|
|------------------|-------------------|------------------|------------------|-------------|------------|

Inspections:

| Activity Date | Inspector | Inspection Description | Inspection Status |
|---------------|-----------|------------------------|-------------------|
|---------------|-----------|------------------------|-------------------|

Special Inspections:

| Addenda No. | Completed Date | Inspected By | Inspection Code | Description | Remarks |
|-------------|----------------|--------------|-----------------|-------------|---------|
|-------------|----------------|--------------|-----------------|-------------|---------|

For information, or to schedule an inspection, call 558-6570 between 8:30 am and 3:00 pm.

[Station Code Descriptions and Phone Numbers](#)

[Online Permit and Complaint Tracking home page.](#)

Welcome to our Permit / Complaint Tracking System!

Below is a list of all agents for the selected permit, along with their roles on the project.

Permit Number: 201404113029

| | Firm Name▲ | Agent Name | Role | From | To |
|------|------------------|------------------|-----------|-----------|----|
| Info | TOBY LONG DESIGN | ROSS E LONG III' | ARCHITECT | 4/11/2014 | |
| 1 | | | | | |

[Online Permit and Complaint Tracking home page.](#)

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

Contact SFGov Accessibility Policies
City and County of San Francisco ©2000-2009

Exhibit 10



SAN FRANCISCO PLANNING DEPARTMENT

Notice of Planning Department Requirements #1

June 6, 2014

Abby Whitman
Toby Long Design
6114 LaSalle Ave. #552
Oakland, CA 94611

RE: 437 Hoffman Avenue (Address)
6503/024 (Assessor's Block/Lot)
2014.04.11.3029 (Building Permit Application Number)

Your Building Permit Application No. 2014.04.11.3029 has been received by the Planning Department and has been assigned to planner Michael Smith. He has begun review of your application but the following information is required before it is accepted as complete and/or is considered Code-complying. Time limits for review of your project will not commence until we receive the requested information or materials and verify their accuracy. Please note that further comments may follow review of the requested information.

In order to proceed with our review of your Building Permit Application, the following is required:

1. **Site Plan.** Please provide separate existing site plan. On both your existing and proposed site plans include dimensions for the front setback, building depth, rear yard, and depth of addition. Your site plans should also indicate landscape within the front setback and permeable pavers within the driveway. Also, dimension the adjacent buildings' front setbacks. The subject and adjacent building to the south appear to be set back further than what is indicated on your site plan. Please double check your drawing and revise it if necessary. Please note that staff will not be able determine the front setback compliance of your project until the requested setback information is provided.
2. **Height Measurement.** The height of the building will be measured from top of curb at the centerline of the building. Please indicate this datum point on all relevant elevations.
3. **Elevations.** Provide elevations for the existing building at $\frac{1}{4}'' = 1'$ scale. For ease of reference provide them on the same page as the corresponding proposed elevation and dimension the building height at the centerline measured from top of curb.
4. **Floor Plans.** Please provide existing floor plans for the subject building at $\frac{1}{4}'' = 1'$ scale. For ease of reference provide them on the same page as the corresponding proposed floor level.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

5. **Residential Design Guidelines.** The Planning Commission adopted the 2003 Residential Design Guidelines in December 2003 to promote design that will protect neighborhood character. All residential permit applications in the RH and RM zoning districts filed or reviewed after January 1, 2004 are subject to these Guidelines. You can download a copy of the Guidelines from our website at <http://www.sfgov.org/planning> or purchase for \$3.00 per copy at the Planning Department office, Ground Floor Lobby or 5th floor. If you fail to adequately address these concerns the Department may initiate a Discretionary Review hearing for this project.
 - a. **Building Scale at the Mid-Block.** The proposed building would extend approximately 18' deeper than the adjacent building to the south which would adversely impact the building's connection to the mid-block open space. To address this concern the Department recommends that set back the proposed south wall five-feet from the south side property where it extends deeper than the adjacent neighbor. Or use a combination of side setbacks and a shortening of the building depth along the side property line to address the shorter building. Please retain the existing light well to comply with this recommendation.

Please note that further comment may follow review of the requested information.

Please direct any questions concerning this notice to the assigned planner, **Michael Smith** at (415) 558-6322 or michael.e.smith@sfgov.org. Contact the assigned planner to set up any meeting, should one be necessary. Please do not come to the Planning Department to discuss this notice without an appointment.

Thank you for your attention to this notice. An early and complete response on your part will help expedite our review of your permit application.

Exhibit 11


[Secretary of State Main Website](#)
[Business Programs](#)
[Notary & Authentications](#)
[Elections](#)
[Campaign & Lobbying](#)
[Business Entities \(BE\)](#)
[Online Services](#)

- [E-File Statements of Information for Corporations](#)
- [Business Search](#)
- [Processing Times](#)
- [Disclosure Search](#)

[Main Page](#)
[Service Options](#)
[Name Availability](#)
[Forms, Samples & Fees](#)
[Statements of Information](#)
(annual/biennial reports)

[Filing Tips](#)
[Information Requests](#)
(certificates, copies & status reports)

[Service of Process](#)
[FAQs](#)
[Contact Information](#)
[Resources](#)

- [Business Resources](#)
- [Tax Information](#)
- [Starting A Business](#)

[Customer Alerts](#)

- [Business Identity Theft](#)
- [Misleading Business Solicitations](#)

Business Entity Detail

Data is updated to the California Business Search on Wednesday and Saturday mornings. Results reflect work processed through Friday, March 25, 2016. Please refer to [Processing Times](#) for the received dates of filings currently being processed. The data provided is not a complete or certified record of an entity.

| | |
|--------------------------------------|--------------------------|
| Entity Name: | COUNT'S GOLD LLC |
| Entity Number: | 201428110425 |
| Date Filed: | 10/03/2014 |
| Status: | ACTIVE |
| Jurisdiction: | DELAWARE |
| Entity Address: | 1013 CENTRE RD STE 403-A |
| Entity City, State, Zip: | WILMINGTON DE 19805 |
| Agent for Service of Process: | ALEKSANDAR JURETIC |
| Agent Address: | 1398 NOE ST STE 1 |
| Agent City, State, Zip: | SAN FRANCISCO CA 94131 |

* Indicates the information is not contained in the California Secretary of State's database.

* **Note:** If the agent for service of process is a corporation, the address of the agent may be requested by ordering a status report.

- For information on checking or reserving a name, refer to [Name Availability](#).
- For information on ordering certificates, copies of documents and/or status reports or to request a more extensive search, refer to [Information Requests](#).
- For help with searching an entity name, refer to [Search Tips](#).
- For descriptions of the various fields and status types, refer to [Field Descriptions and Status Definitions](#).

[Modify Search](#)
[New Search](#)
[Printer Friendly](#)
[Back to Search Results](#)
[Privacy Statement](#) | [Free Document Readers](#)

Copyright © 2016 California Secretary of State

Exhibit 12

20149J95742700003
San Francisco Assessor-Recorder
Carmen Chu, Assessor-Recorder
DOC 2014-J957427-00
Acct 5002-Old Republic Title Company
Thursday, OCT 02, 2014 11:47:37
Ttl Pd\$13,906.00 Nbr-0005026651
oar/RE/1-3

RECORDING REQUESTED BY:

Old Republic Title Company

Order No.: 0224033968-NS
APN: 6503 -024

When Recorded Mail Document and Tax Statements to:

Trichrome LLC, Counts Gold LLC, Perfero Properties
LLC & N and O LLC
c/o Paul Kraaijvanger
45 Walnut Ave.
Mill Valley, CA 94941

SPACE ABOVE THIS LINE IS FOR RECORDER'S USE

Grant Deed

The undersigned grantor(s) declare(s):

Documentary Transfer Tax is \$13,875.00

(X) computed on full value of property conveyed, or

() computed on full value less of liens and encumbrances remaining at time of sale.

() Unincorporated area: (X) City of San Francisco

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
Pooja Chawla Mittal and Vivek Mittal, Co-Trustees of The Pooja Chawla Mittal and Vivek Mittal Revocable Trust dated July 25, 2014

hereby GRANT(S) to

Trichrome LLC, a Delaware limited liability company and Counts Gold LLC, a Delaware limited liability company and Perfero Properties LLC, a Delaware limited liability company and N and O LLC, a Delaware limited liability company

that property in City of San Francisco, San Francisco County, State of California, described as:

*** See "Exhibit A" attached hereto and made a part hereof. *** PROPERTY: 437 Hoffman Avenue, San Francisco, California

Date: September 30, 2014

The Pooja Chawla Mittal and Vivek Mittal Revocable Trust dated
July 25, 2014

By: Pooja Chawla Mittal
Pooja Chawla Mittal, Trustee

By: Vivek Mittal
Vivek Mittal, Trustee

State of CALIFORNIA

County of SAN FRANCISCO

On 9/30/2014 before me, M. ALVAREZ, a

Notary Public, personally appeared POOJA CHAWLA MITTAL and VIVEK MITTAL, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature M. Alvarez

Name M - ALVAREZ
(typed or printed)



(Area reserved for official notarial seal)

ORDER NO. : 0224033968-NS

EXHIBIT A

The land referred to is situated in the County of San Francisco, City of San Francisco, State of California, and is described as follows:

COMMENCING at a point on the easterly line of Hoffman Avenue, distant thereon 183 feet southerly from the southerly line of 24th Street; running thence southerly and along said line of Hoffman Avenue 27 feet; thence at a right angle easterly 125 feet; thence at a right angle northerly 27 feet; thence at a right angle westerly 125 feet to the point of commencement.

BEING part of Horner's Addition Block No. 243.

Assessor's Lot 024; Block 6503

RECORDING REQUESTED BY:

BANK OF MARIN
P.O. BOX L
NOVATO, CA 94948
AND

WHEN RECORDED MAIL TO:

VIVEK MITTAL
POOJA C. MITTAL
437 HOFFMAN AVE
SAN FRANCISCO, CA 94114-3513



San Francisco Assessor-Recorder
Carmen Chu, Assessor-Recorder
DOC- 2014-J984942-00

Check Number 32943
Tuesday, DEC 09, 2014 07:48:42
Ttl Pd \$18.00 Rcpt # 0005059976
amt/TS/1-1

DEED OF RECONVEYANCE

APN# LOT 024, BLOCK 6503

WHEREAS: Bank of Marin is the Owner and holder of the Note secured by the Deed of Trust dated JANUARY 31, 2013 made by VIVEK MITTAL AND POOJA MITTAL, HUSBAND AND WIFE, AS JOINT TENANTS as Trustor to: Bank of Marin, as Trustee for benefit of Bank of Marin as beneficiary, which Deed of Trust was recorded on FEBRUARY 15, 2013, in the SAN FRANCISCO County Recorder's Office, State of California, as instrument number DOC-2013-J603604-00.

NOW THEREFORE, the said Bank of Marin, as Trustee does hereby reconvey unto the parties entitled thereto all right, title and interest which was heretofore acquired by said Deed of Trust.

IN WITNESS WHEREOF: the Beneficiary and Trustee have caused these presents to be executed this day of OCTOBER 8, 2014.

BANK OF MARIN AS BENEFICIARY
Authorized Signature:

Judi Cole, VP Loan Operations

BANK OF MARIN AS TRUSTEE
Authorized Signature:

Judi Cole, VP Loan Operations

CERTIFICATE OF ACKNOWLEDGMENT

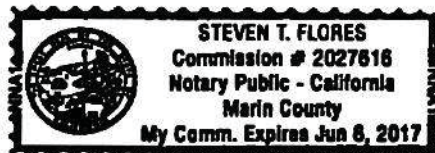
State of California, County of Marin

On Oct. 14, 2014, before me, Steven T. Flores, NOTARY PUBLIC personally appeared, Judi Cole, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her authorized capacity, and that by her signature(s) on the instrument the person(s), or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature



RECORDING REQUESTED BY:

Old Republic Title Company

Order No.: 0224034060-NS
APN: 6503 -024

When Recorded Mail Document and Tax Statements to:

Trichrome LLC, Count's Gold LLC, Perfero Properties
LLC & N and O LLC
45 Walnut Avenue
Mill Valley, CA 94941

20149J98378700002
San Francisco Assessor-Recorder
Carmen Chu, Assessor-Recorder
DOC 2014-J983787-00
Acct 5002-Old Republic Title Company
Friday, DEC 05, 2014 11:17:01
Ttl Pd \$21.00 Nbr-0005058607
ojl/RE/1-2

SPACE ABOVE THIS LINE IS FOR RECORDER'S USE

Grant Deed

The undersigned grantor(s) declare(s):
Documentary Transfer Tax is corrective deed for LLC name only-no consideration
(X) computed on full value of property conveyed, or
() computed on full value less of liens and encumbrances remaining at time of sale.
() Unincorporated area: (X) City of San Francisco

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
Count's Gold LLC, a Delaware limited liability company who incorrectly acquired title as Counts Gold LLC, a Delaware limited liability
company
hereby GRANT(S) to
Count's Gold LLC, a Delaware limited liability company

that property in City of San Francisco, San Francisco County, State of California, described as:
*** See "Exhibit A" attached hereto and made a part hereof. *** PROPERTY: 437 Hoffman Avenue, San Francisco, California

Date: December 03, 2014


Count's Gold LLC, a Delaware limited liability company

By: 
Aleksandar Juretic, Managing Member

State of California
County of San Francisco

On 3rd day of December, 2014 before me, N.J. Shanta, a Notary Public, personally appeared Aleksandar Juretic, who proved to me
on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and
acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their
signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.
WITNESS my hand and official seal.

Signature 
Name N.J. Shanta
(typed or printed)



(Area reserved for official notarial seal)

Comm # 2073931
exp. Aug. 8, 2018

EXHIBIT A

The land referred to is situated in the County of San Francisco, City of San Francisco, State of California, and is described as follows:

Commencing at a point on the Easterly line of Hoffman Avenue, distant thereon 183 feet Southerly from the Southerly line of 24th Street; running thence Southerly and along said line of Hoffman Avenue 27 feet; thence at a right angle Easterly 125 feet; thence at a right angle Northerly 27 feet; thence at a right angle Westerly 125 feet to the point of commencement.

Being part of Horner's Addition Block No. 243.

Assessor's Lot 024; Block 6503

Exhibit 13

1st

Notice of Pre-Application Meeting

January 14, 2015

Date

Dear Neighbor:

You are invited to a neighborhood Pre-Application meeting to review and discuss the development proposal at 437 HOFFMAN AVE, cross street(s) BETWEEN 24TH & 25TH ST (Block/Lot#: 6503 ; Zoning: 024), in accordance with the San Francisco Planning Department's Pre-Application procedures. The Pre-Application meeting is intended as a way for the Project Sponsor(s) to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the City. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is submitted for the Planning Department's review. Once a Building Permit has been submitted to the City, you may track its status at www.sfgov.org/dbi.

The Pre-Application process is only required for projects subject to Planning Code Section 311 or 312 Notification. It serves as the first step in the process prior to building permit application or entitlement submittal. Those contacted as a result of the Pre-Application process will also receive a formal entitlement notice or 311 or 312 notification when the project is submitted and reviewed by Planning Department staff.

A Pre-Application meeting is required because this project includes (check all that apply):

- New Construction;
- Any vertical addition of 7 feet or more;
- Any horizontal addition of 10 feet or more;
- Decks over 10 feet above grade or within the required rear yard;
- All Formula Retail uses subject to a Conditional Use Authorization.

The development proposal is to: demolish existing building. new front wall moves forward to line of average of adjacent neighbors @ north side & steps back / extends less @ south side. new building extends to 45% rear yard setback at north side & to average of adjacent neighboring building depths at top 2 stories on south side + sets in 50' away from southern neighbor starting at line of neighbor's adjacent top story indent.

| | | |
|---|-----------------------------|------------------------------------|
| Existing # of dwelling units: 1 | Proposed: 1 | Permitted: 1 |
| Existing bldg square footage: 2992 s.f. | Proposed: 6053 s.f. | Permitted: 2992 s.f. |
| Existing # of stories: 3 + basement | Proposed: 3 + basement | Permitted: 3 + basement |
| Existing bldg height: 25'-7" (curb to peak) | Proposed: 30'-11" (to curb) | Permitted: 40' max |
| Existing bldg depth: 45'-5" from front P.L. | Proposed: 80'-9" front P.L. | Permitted: see 'existing' |
| | 52'-9" (front P.L. to deck) | to bsmt / 68'-9" at higher stories |

MEETING INFORMATION:

Property Owner(s) name(s): Hoffman TIC Group
 Project Sponsor(s): KELLY CONDON
 Contact information (email/phone): 415-240-8328 / KELLYMCONDON@GMAIL.COM
 Meeting Address*: PHILZ COFFEE @ 4298 24th St, San Francisco, CA 94114
 Date of meeting: JANUARY 30, 2015 (FRIDAY)
 Time of meeting**: 6PM

*The meeting should be conducted at the project site or within a one-mile radius, unless the Project Sponsor has requested a Department Facilitated Pre-Application Meeting, in which case the meeting will be held at the Planning Department offices, at 1650 Mission Street, Suite 400.

**Weeknight meetings shall occur between 6:00 p.m. - 9:00 p.m. Weekend meetings shall be between 10:00 a.m. - 9:00 p.m, unless the Project Sponsor has selected a Department Facilitated Pre-Application Meeting.

If you have any questions about the San Francisco Planning Code, Residential Design Guidelines, or general development process in the City, please call the Public Information Center at 415-558-6378, or contact the Planning Department via email at pic@sfgov.org. You may also find information about the San Francisco Planning Department and on-going planning efforts at www.sfplanning.org.

Affidavit of Conducting a Pre-Application Meeting, Sign-in Sheet and Issues/Responses submittal

I, KELLY CONDON, do hereby declare as follows:

1. I have conducted a Pre-Application Meeting for the proposed new construction or alteration prior to submitting any entitlement (Building Permit, Variance, Conditional Use, etc.) in accordance with Planning Commission Pre-Application Policy.
2. The meeting was conducted at 4298 24TH ST (PHILZ COFFEE) (location/address) on 1/30/15 (date) from 6PM (time).
3. I have included the mailing list, meeting initiation, sign-in sheet, issue/response summary, and reduced plans with the entitlement Application. I understand that I am responsible for the accuracy of this information and that erroneous information may lead to suspension or revocation of the permit.
4. I have prepared these materials in good faith and to the best of my ability.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

EXECUTED ON THIS DAY, MARCH 9, 20 15 IN SAN FRANCISCO.



Signature

KELLY CONDON

Name (type or print)

AGENT / DESIGNER

Relationship to Project (e.g. Owner, Agent)
(if Agent, give business name & profession)

437 HOFFMAN AVE

Project Address

Pre-Application Meeting Sign-in Sheet

Meeting Date:
 Meeting Time:
 Meeting Address:
 Project Address:
 Property Owner Name:
 Project Sponsor/Representative:

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

| NAME/ORGANIZATION | ADDRESS | PHONE # | EMAIL | SEND PLANS |
|------------------------|--------------------|--------------|------------------------|-------------------------------------|
| 1. LYNDA GROSE | 30/32 HOMESTEAD ST | 415 309 8210 | lyndagrose@gmail.com | <input checked="" type="checkbox"/> |
| 2. | | | | <input type="checkbox"/> |
| 3. Janet Fowler | 434 Hoffman | 415 648-8780 | jfawlers@aol.com | <input checked="" type="checkbox"/> |
| 4. R. KEVE GIKLE | | 698 9693 | rgike@sfplanning.com | <input checked="" type="checkbox"/> |
| 5. Stephen Baskerville | 439 Hoffman | | rofrikhound@gmail.com | <input checked="" type="checkbox"/> |
| 6. Paul Lefebvre | 439 Hoffman Ave. | | paul.lef123@gmail.com | <input checked="" type="checkbox"/> |
| 7. Jason Allen | 38 Homestead St. | | utilitiesman@gmail.com | <input checked="" type="checkbox"/> |
| 8. Maia Jiv | 38 Homestead St | | | <input type="checkbox"/> |
| 9. | | | | <input type="checkbox"/> |
| 10. | | | | <input type="checkbox"/> |
| 11. | | | | <input type="checkbox"/> |
| 12. | | | | <input type="checkbox"/> |
| 13. | | | | <input type="checkbox"/> |
| 14. | | | | <input type="checkbox"/> |
| 15. | | | | <input type="checkbox"/> |
| 16. | | | | <input type="checkbox"/> |
| 17. | | | | <input type="checkbox"/> |
| 18. | | | | <input type="checkbox"/> |

433
HOFFMAN

→ 415.695.9693

415 238 0229 *
MEASURE WINDOWS

Summary of discussion from the Pre-Application Meeting

Meeting Date:
Meeting Time:
Meeting Address:
Project Address:
Property Owner Name:
Project Sponsor/Representative:

Please summarize the questions/comments and your response from the Pre-Application meeting in the space below. Please state if/how the project has been modified in response to any concerns.

Question/Concern #1 by (name of concerned neighbor/neighborhood group):

PAUL LEFEBVRE
- SCALE OF BUILDING BEING PROPOSED IS EXCESSIVE
- INSUFFICIENT SETBACK FROM PROPERTY LINE
- PROPERTY LOGS TO FAR BACK

Project Sponsor Response:

- TERRACE AT 441 IS ACTUALLY 5'-6" WIDE
- 10' CEILING MAY NOT BE NECESSARY ON ALL LEVELS (UPPER LEVELS)
- BUILDING HEIGHT AT 441 IS VERY HIGH - LESS MASS
- SQUARE FOOTAGE FROM EXISTING 2992 SF TO 6029 SF IS EXCESSIVE.

Question/Concern #2:

PAUL LEFEBVRE

- 12'-3" SETBACK AT UPPER LEVEL DOES NOTHING FOR THE BOTTOM 2 FLOORS AT 439-441 HOFFMAN.

Project Sponsor Response:

Keep peaked roof all the way back
Scale back entire project,
Eliminate top floor - out of character -
- or lower by reducing ceiling height

JANET FOWLER

Question/Concern #3:

Remodel, keep facade to maintain character of neighborhood
Reduce impact to not back to neighborhood.
Minimize window size in front.

Project Sponsor Response:

Eliminate front balcony

SHE EMAILED TO RESCIND THIS COMMENT

Question/Concern #4:

Project Sponsor Response:

Exhibit 14

2nd

Notice of Pre-Application Meeting

February 16, 2015

Date

Dear Neighbor:

You are invited to a neighborhood Pre-Application meeting to review and discuss the development proposal at 437 HOFFMAN AVE, cross street(s) BETWEEN 24TH & 25TH ST (Block/Lot#: 6503 ; Zoning: 024), in accordance with the San Francisco Planning Department's Pre-Application procedures. The Pre-Application meeting is intended as a way for the Project Sponsor(s) to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the City. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is submitted for the Planning Department's review. Once a Building Permit has been submitted to the City, you may track its status at www.sfgov.org/dbi.

The Pre-Application process is only required for projects subject to Planning Code Section 311 or 312 Notification. It serves as the first step in the process prior to building permit application or entitlement submittal. Those contacted as a result of the Pre-Application process will also receive a formal entitlement notice or 311 or 312 notification when the project is submitted and reviewed by Planning Department staff.

A Pre-Application meeting is required because this project includes (check all that apply):

- New Construction;
- Any vertical addition of 7 feet or more;
- Any horizontal addition of 10 feet or more;
- Decks over 10 feet above grade or within the required rear yard;
- All Formula Retail uses subject to a Conditional Use Authorization.

The development proposal is to: SECOND NEIGHBOR MEETING: demolish existing building. new front wall moves forward to line of average of adjacent neighbors @ north side & steps back / extends less @ south side. new building extends to 45% rear yard setback at north side & to average of adjacent neighboring building depths at top 2 stories on south side + sets in 50" away from southern neighbor starting at line of neighbor's adjacent top story indent.

| | | |
|---|------------------------------------|---------------------------------|
| Existing # of dwelling units: 1 | Proposed: 1 | Permitted: 1 |
| Existing bldg square footage: 2992 s.f. | Proposed: 6029 s.f. | Permitted: 2992 s.f. (existing) |
| Existing # of stories: 3 + basement | Proposed: 3 + basement | Permitted: 3 + basement |
| Existing bldg height: 25'-7" (curb to peak) | Proposed: 30'-11" (to curb) | Permitted: 40' max |
| Existing bldg depth: 45'-5" from front P.L. | Proposed: 80'-9" front P.L. | Permitted: see 'existing' |
| 52'-9" (front P.L. to deck) | to bsmt / 68'-9" at higher stories | |

MEETING INFORMATION:

Property Owner(s) name(s): Hoffman TIC Group
 Project Sponsor(s): KELLY CONDON
 Contact information (email/phone): 415-240-8328 / KELLYMCONDON@GMAIL.COM
 Meeting Address*: UMPQUA BANK - 3938 24th St (between Noe & Sanchez St)
 Date of meeting: February 25, 2015 (WEDNESDAY)
 Time of meeting**: 6PM

*The meeting should be conducted at the project site or within a one-mile radius, unless the Project Sponsor has requested a Department Facilitated Pre-Application Meeting, in which case the meeting will be held at the Planning Department offices, at 1650 Mission Street, Suite 400.

**Weeknight meetings shall occur between 6:00 p.m. - 9:00 p.m. Weekend meetings shall be between 10:00 a.m. - 9:00 p.m, unless the Project Sponsor has selected a Department Facilitated Pre-Application Meeting.

If you have any questions about the San Francisco Planning Code, Residential Design Guidelines, or general development process in the City, please call the Public Information Center at 415-558-6378, or contact the Planning Department via email at pic@sfgov.org. You may also find information about the San Francisco Planning Department and on-going planning efforts at www.sfplanning.org.

Affidavit of Conducting a Pre-Application Meeting, Sign-in Sheet and Issues/Responses submittal

I, KELLY CONDON, do hereby declare as follows:

1. I have conducted a Pre-Application Meeting for the proposed new construction or alteration prior to submitting any entitlement (Building Permit, Variance, Conditional Use, etc.) in accordance with Planning Commission Pre-Application Policy.
2. The meeting was conducted at 3938 24TH ST (UMPQUA BANK) (location/address) on 2/25/15 (date) from 6PM (time).
3. I have included the mailing list, meeting initiation, sign-in sheet, issue/response summary, and reduced plans with the entitlement Application. I understand that I am responsible for the accuracy of this information and that erroneous information may lead to suspension or revocation of the permit.
4. I have prepared these materials in good faith and to the best of my ability.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

EXECUTED ON THIS DAY, MARCH 9, 20 15 IN SAN FRANCISCO.

Signature

KELLY CONDON

Name (type or print)

AGENT / DESIGNER

Relationship to Project (e.g. Owner, Agent)
(if Agent, give business name & profession)

437 HOFFMAN AVE

Project Address

Pre-Application Meeting Sign-in Sheet

Meeting Date: 2nd meeting February 25th
 Meeting Time: _____
 Meeting Address: Umpqua Bank @ 3938 24th St Gpm
 Project Address: _____
 Property Owner Name: _____
 Project Sponsor/Representative: _____

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

| NAME/ORGANIZATION | ADDRESS | PHONE # | EMAIL | SEND PLANS <i>per my email</i> |
|---|------------------|---------|------------------------|-------------------------------------|
| 1. <i>I am back with UFRX reservation</i> | | | | <input checked="" type="checkbox"/> |
| 2. Stephen Baskerville | 439 Hoffman Ave. | | refuikhound@gmail.com | <input checked="" type="checkbox"/> |
| 3. Paul Lebrue | 439 Hoffman Ave | | paul.lef123@gmail.com | <input checked="" type="checkbox"/> |
| 4. Janet Fowler | 434 Hoffman Ave | | jfowlers@aol.com | <input checked="" type="checkbox"/> |
| 5. Jason Allen | 38 Homestead St. | | utilitiesman@gmail.com | <input checked="" type="checkbox"/> |
| 6. | | | | <input type="checkbox"/> |
| 7. | | | | <input type="checkbox"/> |
| 8. | | | | <input type="checkbox"/> |
| 9. | | | | <input type="checkbox"/> |
| 10. | | | | <input type="checkbox"/> |
| 11. | | | | <input type="checkbox"/> |
| 12. | | | | <input type="checkbox"/> |
| 13. | | | | <input type="checkbox"/> |
| 14. | | | | <input type="checkbox"/> |
| 15. | | | | <input type="checkbox"/> |
| 16. | | | | <input type="checkbox"/> |
| 17. | | | | <input type="checkbox"/> |
| 18. | | | | <input type="checkbox"/> |

Exhibit 15

Welcome to our Permit / Complaint Tracking System!

Permit Details Report

Report Date: 3/20/2015 5:50:31 PM

Application Number: 201503100426
 Form Number: 3
 Address(es): 6503 / 024 / 0437 HOFFMAN AV
 Description: REMODEL SINGLE FAMILY RESIDENCE, 3-STORIES OVER BASEMENT. ADD GARAGE & DRIVEWAY, 5 BEDROOMS, 5 1/2 BATHS. (N) FOUNDATION. FIRE SPRINKLERS.
 Cost: \$750,000.00
 Occupancy Code: R-3
 Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

| Action Date | Stage | Comments |
|-------------|--------|----------|
| 3/10/2015 | TRIAGE | |
| 3/10/2015 | FILING | |
| 3/10/2015 | FILED | |

Contact Details:

Contractor Details:

Addenda Details:

Description:

| Step | Station | Arrive | Start | In Hold | Out Hold | Finish | Checked By | Phone | Hold Description |
|------|---------|---------|---------|---------|----------|---------|--------------|--------------|---------------------|
| 1 | CPB | 3/10/15 | 3/10/15 | | | 3/10/15 | SHEK KATHY | 415-558-6070 | |
| 2 | CP-ZOC | 3/10/15 | | | | | | 415-558-6377 | |
| 3 | BLDG | | | | | | | 415-558-6133 | |
| 4 | DPW-BSM | | | | | | | 415-558-6060 | |
| 5 | SFPUC | | | | | | | 415-575-6941 | |
| 6 | PPC | | | | | | GIBSON PETER | 415-558-6133 | 3/10/15: to DCP. PG |
| 7 | CPB | | | | | | | 415-558-6070 | |

Appointments:

| Appointment Date | Appointment AM/PM | Appointment Code | Appointment Type | Description | Time Slots |
|------------------|-------------------|------------------|------------------|-------------|------------|
|------------------|-------------------|------------------|------------------|-------------|------------|

Inspections:

| Activity Date | Inspector | Inspection Description | Inspection Status |
|---------------|-----------|------------------------|-------------------|
|---------------|-----------|------------------------|-------------------|

Special Inspections:

| Addenda No. | Completed Date | Inspected By | Inspection Code | Description | Remarks |
|-------------|----------------|--------------|-----------------|-------------|---------|
|-------------|----------------|--------------|-----------------|-------------|---------|

For information, or to schedule an inspection, call 558-6570 between 8:30 am and 3:00 pm.

[Station Code Descriptions and Phone Numbers](#)

[Online Permit and Complaint Tracking home page.](#)

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

Welcome to our Permit / Complaint Tracking System!

Permit Details Report

Report Date: 3/20/2015 5:55:38 PM

Application Number: 201404113029
 Form Number: 3
 Address(es): 6503 / 024 / 0 437 HOFFMAN AV
 Description: ADDITION TO SINGLE FAM DWG, 3 STORY REAR ADDITION TO INCLUDE (N) FAM RM (GROUND) (N) KITCHEN (FIRST), (N) BEDRMS & BATH (2ND)
 Cost: \$900,000.00
 Occupancy Code: R-3
 Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

| Action Date | Stage | Comments |
|-------------|--------|----------|
| 4/11/2014 | TRIAGE | |
| 4/11/2014 | FILING | |
| 4/11/2014 | FILED | |

Contact Details:

Contractor Details:

Addenda Details:

Description:

| Step | Station | Arrive | Start | In Hold | Out Hold | Finish | Checked By | Phone | Hold Description |
|------|---------|---------|---------|---------|----------|---------|---------------|--------------|------------------|
| 1 | CPB | 4/11/14 | 4/11/14 | | | 4/11/14 | SHEK KATHY | 415-558-6070 | |
| 2 | CP-ZOC | 4/11/14 | 6/6/14 | | | | SMITH MICHAEL | 415-558-6377 | |
| 3 | BLDG | | | | | | | 415-558-6133 | |
| 4 | DPW-BSM | | | | | | | 415-558-6060 | |
| 5 | SFPUC | | | | | | | 415-575-6941 | |
| 6 | PPC | | | | | | | 415-558-6133 | |
| 7 | CPB | | | | | | | 415-558-6070 | |

Appointments:

| Appointment Date | Appointment AM/PM | Appointment Code | Appointment Type | Description | Time Slots |
|------------------|-------------------|------------------|------------------|-------------|------------|
|------------------|-------------------|------------------|------------------|-------------|------------|

Inspections:

| Activity Date | Inspector | Inspection Description | Inspection Status |
|---------------|-----------|------------------------|-------------------|
|---------------|-----------|------------------------|-------------------|

Special Inspections:

| Addenda No. | Completed Date | Inspected By | Inspection Code | Description | Remarks |
|-------------|----------------|--------------|-----------------|-------------|---------|
|-------------|----------------|--------------|-----------------|-------------|---------|

For information, or to schedule an inspection, call 558-6570 between 8:30 am and 3:00 pm.

[Station Code Descriptions and Phone Numbers](#)

[Online Permit and Complaint Tracking home page.](#)

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

Welcome to our Permit / Complaint Tracking System!

Permit Details Report

Report Date: 3/20/2015 5:55:08 PM

Application Number: 201305167162

Form Number: 8

Address(es): 6503 / 024 / 0437 HOFFMAN AV

Description: REVISION TO APPL #2008.06.27.5494 - KEEP EXISTING DOOR (EXTERIOR) AT LOWER LEVEL, NO ADDITIONAL WORK BEYOND WHAT WAS ORIG. APPROVED.

Cost: \$1.00

Occupancy Code: R-3

Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

| Action Date | Stage | Comments |
|-------------|----------|-----------------------------------|
| 5/16/2013 | TRIAGE | |
| 5/16/2013 | FILING | |
| 5/16/2013 | FILED | |
| 5/16/2013 | APPROVED | |
| 5/16/2013 | ISSUED | |
| 7/12/2013 | COMPLETE | 1732994 Final Inspection/Approved |

Contact Details:

Contractor Details:

License Number: OWNER

Name: OWNER

Company Name: OWNER

Address: OWNER * OWNER CA 00000-0000

Phone:

Addenda Details:

Description:

| Step | Station | Arrive | Start | In Hold | Out Hold | Finish | Checked By | Hold Description |
|------|---------|---------|---------|---------|----------|---------|-------------|------------------|
| 1 | INTAKE | 5/16/13 | 5/16/13 | | | 5/16/13 | YIP JANET | |
| 2 | BLDG | 5/16/13 | 5/16/13 | | | 5/16/13 | DANG DENNIS | |
| 3 | CPB | 5/16/13 | 5/16/13 | | | 5/16/13 | | OTC FDR |

This permit has been issued. For information pertaining to this permit, please call 415-558-6096.

Appointments:

| Appointment Date | Appointment AM/PM | Appointment Code | Appointment Type | Description | Time Slots |
|------------------|-------------------|------------------|------------------|-------------|------------|
|------------------|-------------------|------------------|------------------|-------------|------------|

Inspections:

| Activity Date | Inspector | Inspection Description | Inspection Status |
|---------------|---------------|------------------------|----------------------|
| 7/12/2013 | Fergal Clancy | FINAL INSPECT/APPRVD | FINAL INSPECT/APPRVD |
| 6/6/2013 | Fergal Clancy | FINAL INSPECT/APPRVD | CORRECTION REQUIRED |

Special Inspections:

| Addenda No. | Completed Date | Inspected By | Inspection Code | Description | Remarks |
|-------------|----------------|--------------|-----------------|-------------|---------|
|-------------|----------------|--------------|-----------------|-------------|---------|

For information, or to schedule an inspection, call 558-6570 between 8:30 am and 3:00 pm.

[Station Code Descriptions and Phone Numbers](#)

[Online Permit and Complaint Tracking home page.](#)

[Technical Support for Online Services](#)

Welcome to our Permit / Complaint Tracking System!

Permit Details Report

Report Date: 3/20/2015 5:54:19 PM

Application Number: 201209079183
Form Number: 8
Address(es): 6503 / 024 / 0 437 HOFFMAN AV
Description: REV. TO APPROVED BLDG PA#200806275494 EXISTING DECK TO BE VOLUNTARY STRENGTHENED, MERGE 2 UNITS INTO 1 UNIT. REMOVE KITCHEN @ 1/F, CONSTRUCT STAIR BETWEEN 1/F & 2/F
Cost: \$1.00
Occupancy Code: R-3
Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

| Action Date | Stage | Comments |
|-------------|-----------|----------|
| 9/7/2012 | TRIAGE | |
| 9/7/2012 | FILING | |
| 9/7/2012 | FILED | |
| 9/17/2012 | PLANCHECK | |
| 9/17/2012 | WITHDRAWN | |

Contact Details:

Contractor Details:

License Number: OWN
Name: OWNER OWNER
Company Name: OWNER
Address: OWNER * OWNER CA 00000-0000
Phone:

Addenda Details:

Description:

| Step | Station | Arrive | Start | In Hold | Out Hold | Finish | Checked By | Phone | Hold Description |
|------|---------|---------|---------|---------|----------|---------|-----------------|--------------|---|
| 1 | CPB | 9/17/12 | 9/17/12 | | | 9/17/12 | SECONDEZ GRACE | 415-558-6070 | |
| 2 | BLDG | 9/6/12 | 9/6/12 | | | 9/6/12 | DANG DENNIS | 415-558-6133 | |
| 3 | CPB | 9/17/12 | 9/17/12 | | | 9/17/12 | CHEUNG WAI FONG | 415-558-6070 | 9/17/12: WITHDRAWN PER ARCHITECT'S REQUEST. REVISION SUBMITTED IN ERROR. WF |

Appointments:

| Appointment Date | Appointment AM/PM | Appointment Code | Appointment Type | Description | Time Slots |
|------------------|-------------------|------------------|------------------|-------------|------------|
|------------------|-------------------|------------------|------------------|-------------|------------|

Inspections:

| Activity Date | Inspector | Inspection Description | Inspection Status |
|---------------|-----------|------------------------|-------------------|
|---------------|-----------|------------------------|-------------------|

Special Inspections:

| Addenda No. | Completed Date | Inspected By | Inspection Code | Description | Remarks |
|-------------|----------------|--------------|-----------------|-------------|---------|
|-------------|----------------|--------------|-----------------|-------------|---------|

For information, or to schedule an inspection, call 558-6570 between 8:30 am and 3:00 pm.

[Station Code Descriptions and Phone Numbers](#)

[Online Permit and Complaint Tracking home page](#)

Welcome to our Permit / Complaint Tracking System!

Permit Details Report

Report Date: 3/20/2015 5:51:56 PM

Application Number: 200806275494

Form Number: 3

Address(es): 6503 / 024 / 0437 HOFFMAN AV

Description: MERGE 2 UNITS INTO 1 UNIT. REMOVE KITCHEN @ 1ST FLOOR. CONSTRUCT STAIRS BETWEEN 1ST & 2ND FLOOR. EXISTING DECK TO COMPLY LATERALLY TO SFBC '2010 CODE.

Cost: \$10,000.00

Occupancy Code: R-3

Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

| Action Date | Stage | Comments |
|-------------|----------|-----------------------------------|
| 6/27/2008 | TRIAGE | |
| 6/27/2008 | FILING | |
| 6/27/2008 | FILED | |
| 7/31/2012 | APPROVED | |
| 7/31/2012 | ISSUED | |
| 7/12/2013 | COMPLETE | 1732975 Final Inspection/Approved |

Contact Details:

Contractor Details:

License Number: OWN

Name: OWNER OWNER

Company Name: OWNER

Address: OWNER * OWNER CA 00000-0000

Phone:

Addenda Details:

Description: SITE

| Step | Station | Arrive | Start | In Hold | Out Hold | Finish | Checked By | Hold Description |
|------|---------|---------|---------|---------|----------|---------|--------------------|---|
| 1 | CPB | 6/27/08 | 6/27/08 | | | 6/27/08 | DANG DENNIS | |
| 2 | PPC | 6/27/08 | 6/27/08 | | | 7/24/12 | SAMARASINGHE GILES | 7/24/12: to CPB.grs 8-18-11: Route to CP-Zoc.sjf 6/8/11: Plans in HOLD BIN. 4-13-11: Applicant submit Revision 1 to CP-Zoc/Sharoi Lai. sjf 6-27-08: Per Bill, add SFPUC for review. Route to CP-Zoc. sjf |
| 3 | CP-ZOC | 6/27/08 | 6/30/08 | | | 5/26/11 | LAI SHARON | Dwelling unit merger approved per DRA-024 |
| 4 | CP-NP | 8/19/08 | 8/19/08 | 8/19/08 | | 5/26/11 | LAI SHARON | Sec 311 mailed 8/19/08 exp 9/18/08 |
| 5 | BLDG | 5/27/11 | 6/2/11 | 6/2/11 | | 8/18/11 | LE THOMAS | |
| 6 | DPW-BSM | 6/2/11 | 6/6/11 | | | 6/6/11 | GAIME BERHANE | NO ALTERATION OR CONSTRUCTION OF CITY RIGHT OF WAY UNDER THIS PERMIT No Street space! |
| 7 | SFPUC | 6/7/11 | 6/7/11 | | | 6/7/11 | SZU-WHITNEY MONICA | Capacity charge not applicable. Route to PPC 06/07/11. |
| 8 | CP-ZOC | 8/18/11 | 8/24/11 | | | 8/24/11 | LAI SHARON | Approve revisions, no expansion |
| 9 | ADMIN | 7/26/12 | 7/26/12 | | | 7/31/12 | YU ANNE | 07/26/12: NOC ISSUED. CANCEL ON 08/16/12.GJS 07/26/12: Application and plans in administration holdbin.ay 7/31/12:Extension paid.New cancel date 5/16/13.Application and plans returned to CPB.Receipt of Payment sent.ay |
| 10 | CPB | 7/24/12 | 7/31/12 | | | 7/31/12 | CHAN AMARIS | APPROV & ISSUE BY AMARIS. 07/25/12 HAND CARRY TO GARLAND SIMPSON FOR SENT OUT A NOTICE OF EXTENSION (KS) |

This permit has been issued. For information pertaining to this permit, please call 415-558-6096.

Appointments:

| Appointment Date | Appointment AM/PM | Appointment Code | Appointment Time | Description | Time Slot |
|------------------|-------------------|------------------|------------------|-------------|-----------|
|------------------|-------------------|------------------|------------------|-------------|-----------|

| Appointment Date | Appointment No. | Appointment Code | Appointment Type | Description | Time Slots |
|------------------|-----------------|------------------|------------------|-------------|------------|
|------------------|-----------------|------------------|------------------|-------------|------------|

Inspections:

| Activity Date | Inspector | Inspection Description | Inspection Status |
|---------------|---------------|------------------------|---------------------|
| 7/12/2013 | Fergal Clancy | FINAL INSPECT/APPRVD | CFC ISSUED |
| 3/18/2013 | Fergal Clancy | ROUGH FRAME, PARTIAL | CORRECTION REQUIRED |
| 2/6/2013 | Robert Power | FINAL INSPECT/APPRVD | REINSPECT REQUIRED |

Special Inspections:

| Addenda No. | Completed Date | Inspected By | Inspection Code | Description | Remarks |
|-------------|----------------|--------------|-----------------|-------------|---------|
|-------------|----------------|--------------|-----------------|-------------|---------|

For information, or to schedule an inspection, call 558-6570 between 8:30 am and 3:00 pm.

[Station Code Descriptions and Phone Numbers](#)

[Online Permit and Complaint Tracking home page.](#)

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

[Contact SFGov](#) [Accessibility](#) [Policies](#)
 City and County of San Francisco ©2000-2009

Exhibit 16



SAN FRANCISCO PLANNING DEPARTMENT

Notice of Planning Department Requirements #2

May 28, 2015

Kelly Condon
443 Joost Avenue
San Francisco, CA 94127

RE: 437 Hoffman Avenue (Address)
6503/024 (Assessor's Block/Lot)
2014.04.11.3029 (Building Permit Application Number)

Your revised plans for Building Permit Application No. 2014.04.11.3029 have been received and reviewed by the assigned planner, Michael Smith. The following information is required before it is accepted as complete and/or is considered Code-complying. Time limits for review of your project will not commence until we receive the requested information or materials and verify their accuracy. Please note that further comments may follow review of the requested information.

In order to proceed with our review of your Building Permit Application, the following is required:

1. **Site Plan.** Please provide separate existing site plan. On both your existing and proposed site plans include dimensions for the front setback, building depth, rear yard, and depth of addition. Your site plans should also indicate landscape within the front setback and permeable pavers within the driveway. Also, dimension the adjacent buildings' front setbacks. The subject and adjacent building to the south appear to be set back further than what is indicated on your site plan. Please double check your drawing and revise it if necessary. Please note that staff will not be able determine the front setback compliance of your project until the requested setback information is provided.
2. **Height Measurement.** The height of the building will be measured from top of curb at the centerline of the building. Please indicate this datum point on all relevant elevations.
3. **Elevations.** Provide elevations for the existing building at $\frac{1}{4}'' = 1'$ scale. For ease of reference provide them on the same page as the corresponding proposed elevation and dimension the building height at the centerline measured from top of curb.
4. **Floor Plans.** Please provide existing floor plans for the subject building at $\frac{1}{4}'' = 1'$ scale. For ease of reference provide them on the same page as the corresponding proposed floor level.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

NOPDR #1 sent to:
Abby Whitman
6114 LaSalle Ave. #552
Oakland, CA 94611

June 6, 2014
2014.04.11.3029
437 Hoffman Ave.

5. **Residential Design Guidelines.** The Planning Commission adopted the 2003 Residential Design Guidelines in December 2003 to promote design that will protect neighborhood character. All residential permit applications in the RH and RM zoning districts filed or reviewed after January 1, 2004 are subject to these Guidelines. You can download a copy of the Guidelines from our website at <http://www.sfgov.org/planning> or purchase for \$3.00 per copy at the Planning Department office, Ground Floor Lobby or 5th floor. If you fail to adequately address these concerns the Department may initiate a Discretionary Review hearing for this project.
 - a. **Building Scale at the Mid-Block.** The proposed building would extend approximately 18' deeper than the adjacent building to the south which would adversely impact the building's connection to the mid-block open space. To address this concern the Department recommends that set back the proposed south wall five-feet from the south side property where it extends deeper than the adjacent neighbor. Or use a combination of side setbacks and a shortening of the building depth along the side property line to address the shorter building. Please retain the existing light well to comply with this recommendation.

Please note that further comment may follow review of the requested information.

Please direct any questions concerning this notice to the assigned planner, **Michael Smith** at (415) 558-6322 or michael.e.smith@sfgov.org. Contact the assigned planner to set up any meeting, should one be necessary. Please do not come to the Planning Department to discuss this notice without an appointment.

Thank you for your attention to this notice. An early and complete response on your part will help expedite our review of your permit application.

Exhibit 17



SAN FRANCISCO PLANNING DEPARTMENT

Notice of Planning Department Requirements #3

September 2, 2015

Kelly Condon
443 Joost Avenue
San Francisco, CA 94127

RE: 437 Hoffman Avenue (Address of Permit Work)
6503/024 (Assessor's Block/Lot)
2014.04.11.3029 (Building Permit Application Number)

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Your Building Permit Application #2014.04.11.3029 has been received by the Planning Department and has been assigned to planner Nancy Tran. Nancy has begun review of your application but the following information is required before it is accepted as complete and/or is considered Code-complying. Time limits for review of your project will not commence until we receive the requested information or materials and verify their accuracy. In order to proceed with our review of your applications, the following is required:

1. Plans.

- ✓ a. Sheet A3 – Remove “average of adjacent neighboring setbacks” note and label existing front yard setback (westerly property line to porch wall).
- ✓ b. Sheet A4 – Add “average of adjacent neighboring setbacks” note and extend the required 5'-0 ½” required average setback line through the property for ease of reference (northerly property line to southerly property line).
- ✓ c. Draw/label required front yard setback on floor plans and elevations, as appropriate.
- ✓ d. Sheet A16 – Draw the front stairs on the section drawing.
- ✓ e. Provide an existing section drawing as required per the Department's Plan Submittal Guidelines.
- ✓ f. Sheet A17 – Revise demolition calculation as the roof is considered a horizontal element per §317(b)(5).
- g. The measurements labeling appears to be incorrect and/or inconsistent. Revise as necessary and clearly label dimensions on the plans. Please be aware of the following:
 - i. Existing front yard should be measured from the westerly property line to porch wall (the porch is not considered an obstruction under Planning Code §136)
 - ii. Proposed front yard should be measured from the westerly property line to garage wall
 - iii. Existing rear yard should be from the easterly property line to deck
 - iv. Proposed rear yard should be measured from easterly property line to basement level terrace

NOPDR #3 sent to:
Kelly Condon
443 Joost Avenue
San Francisco, CA 94127

September 2, 2015
2014.04.11.3029
437 Hoffman Avenue

NOTE: Revisions to the project may be requested as part of the CEQA review process outlined above. Revisions may also be requested to address the Planning Code, the Residential Design Guidelines and other local ordinances and policies.

All plans submitted must be to an appropriate scale: site plan 1/8" = 1'; floor plans 1/4" = 1'. Plans should be clearly labeled.

- All building permit plan revisions must be filed at the Department of Building Inspection (DBI), Permit Processing Center, 1660 Mission Street, 2nd Floor. To officially submit a change to the building permit plans, do not submit building permit plans directly to the Planning Department. Per DBI requirements, these plan revisions will not be accepted by mail or messenger, and all plans must be signed by preparer, architect or engineer.

Please submit the requested information, or contact the assigned planner if you need more time to prepare the requested information, within thirty (30) days. If the Department has not received the requested information within 90 days, the application will be sent back to the Department of Building Inspection for cancellation.

Please direct any questions concerning this notice to the assigned planner, Nancy Tran at (415) 575-9174 or nancy.h.tran@sfgov.org. Contact the assigned planner to set up any meeting, should one be necessary. **Please do not come to the Planning Department to discuss this notice without an appointment.** Thank you for your attention to this notice. An early and complete response on your part will help expedite our review of your permit application.

Planning Department Applications and Publications are available at the Planning Information Center, 1660 Mission Street, 1st floor or via the Department website: www.sfplanning.org.

Exhibit 18



**SAN FRANCISCO
PLANNING DEPARTMENT**
1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On April 11, 2014, the Applicant named below filed Building Permit Application No. 2014.04.11.3029 with the City and County of San Francisco.

| PROPERTY INFORMATION | | APPLICANT INFORMATION | |
|----------------------|-------------------------|-----------------------|-------------------------|
| Project Address: | 437 Hoffman Avenue | Applicant: | Kelly Condon |
| Cross Street(s): | 24 th Street | Address: | 443 Joost Avenue |
| Block/Lot No.: | 6503024 | City, State: | San Francisco, CA 94127 |
| Zoning District(s): | RH-2140-X | Telephone: | (415)240-8328 |

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Request for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

| PROJECT SCOPE | | PROJECT DESCRIPTION | |
|---|--|--------------------------|---|
| <input type="checkbox"/> Demolition | <input type="checkbox"/> New Construction | | <input checked="" type="checkbox"/> Alteration |
| <input type="checkbox"/> Change of Use | <input checked="" type="checkbox"/> Facade Alteration(s) | | <input type="checkbox"/> Front Addition |
| <input checked="" type="checkbox"/> Rear Addition | <input checked="" type="checkbox"/> Side Addition | | <input checked="" type="checkbox"/> Vertical Addition |
| PROJECT FEATURES | | EXISTING | |
| Building Use | Residential | Building Use | Residential |
| Front Setback | 5 feet 9 1/4 inches | Front Setback | 5 feet 10 1/4 inches |
| Side Setbacks | None | Side Setbacks | No Change |
| Building Depth | 59 feet 5 1/2 inches | Building Depth | 74 feet 10 1/2 inches |
| Rear Yard | 59 feet 8 1/4 inches | Rear Yard | 44 feet 3 inches |
| Building Height | 25 feet 7 inches | Building Height | 31 feet 7 inches |
| Number of Stories | 3 + basement | Number of Stories | 3 + basement |
| Number of Dwelling Units | 1 | Number of Dwelling Units | 1 |
| Number of Parking Spaces | 0 | Number of Parking Spaces | 2 |

The proposal is to construct side, rear and vertical additions to the existing single family dwelling. The project includes extensive interior remodeling and exterior changes such as new garage door with canopy, front porch, entry stairs and rear terrace/deck. See attached plans.

The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(1) of the San Francisco Administrative Code.

For more information, please contact Planning Department staff:

Planner: Nancy Tran
Telephone: (415) 575-9174
E-mail: nancy.tran@sfgov.org

Notice Date: 10/13/15
Expiration Date: 11/12/15

中文詢問請電: (415) 575-9010
Para información en Español llamar al: (415) 575-9010



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fac
415.558.6409

Planning
Information:
415.558.6377

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1650 Mission Street, 1st Floor (415/558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. We strongly urge that steps 1 and 2 be taken.

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3620, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice. Discretionary Review applications are available at the Planning Information Center (PIC), 1650 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you. Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commissioner's decision on a Discretionary Review case may be made to the Board of Appeals within 15 calendar days after the building permit is issued (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

Date: 10/13/2015

The attached notice is provided under the Planning Code. It concerns property located at 437 Hoffman Avenue (2014.04.11.3029) ~ NT. A hearing may occur, a right to request review may expire or a development approval may become final by 11/12/2015.

To obtain information about this notice in Spanish or Chinese, please call (415) 575-9010. Please be advised that the Planning Department will require at least one business day to respond to any call.

附上的是三藩市城市規劃的法定通告。

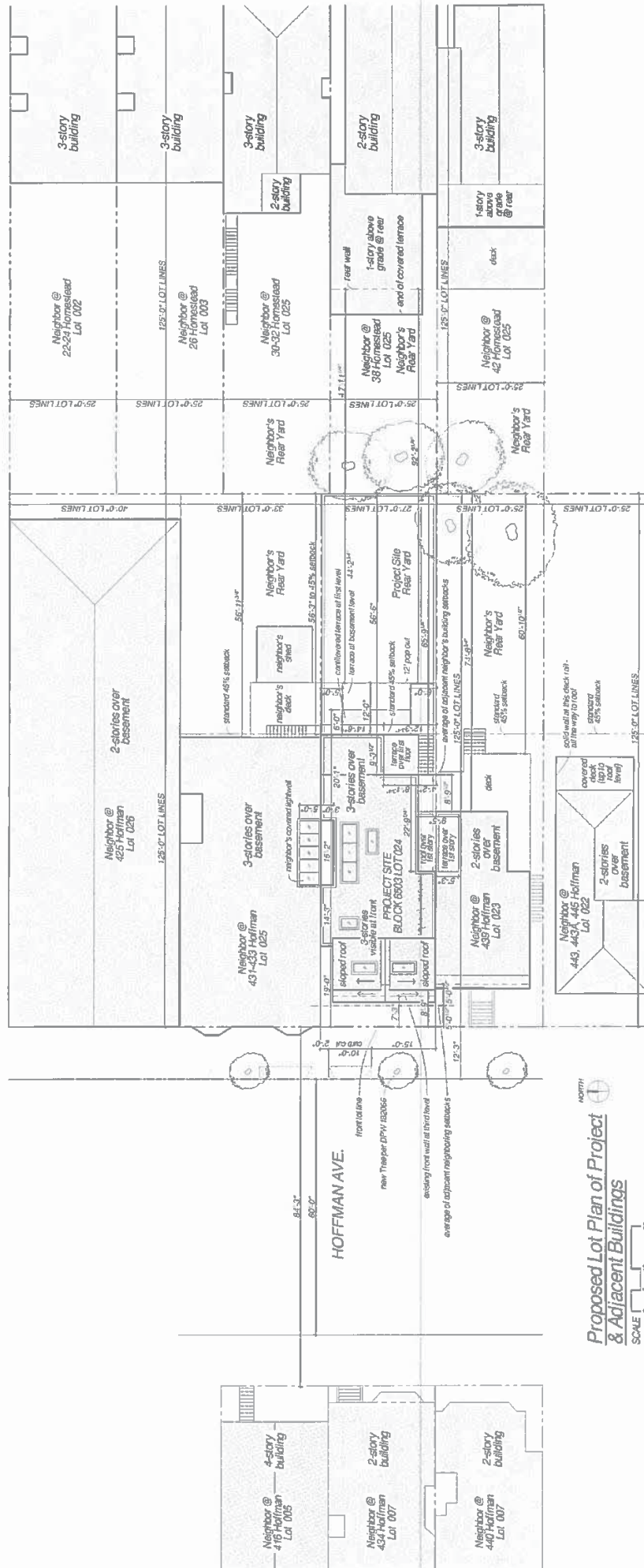
此通告是與位於 437 Hoffman Avenue (2014.04.11.3029) ~ NT 的建築計劃有關。如果在 11/12/2015 之前無人申請聽證會來檢討這一個建築計劃, 這計劃最終會被核准。

如果你需要用華語獲得關於這通告的細節, 請電 415-575-9010。然後, 請按 "8" 及留言。城市規劃局將需要至少一個工作天回應。華語資料提供只是城市規劃局的一項服務, 此項服務不會提供額外的權利或延伸任何要求檢討的期限。

El documento adjunto es requerido por el Código de Planeación (Planning Code) y es referente a la propiedad en la siguiente dirección: 437 Hoffman Avenue (2014.04.11.3029) ~ NT.

Es posible que ocurra una audiencia pública, que el derecho a solicitar una revisión se venza, o que la aprobación final de proyecto se complete el: 11/12/2015.

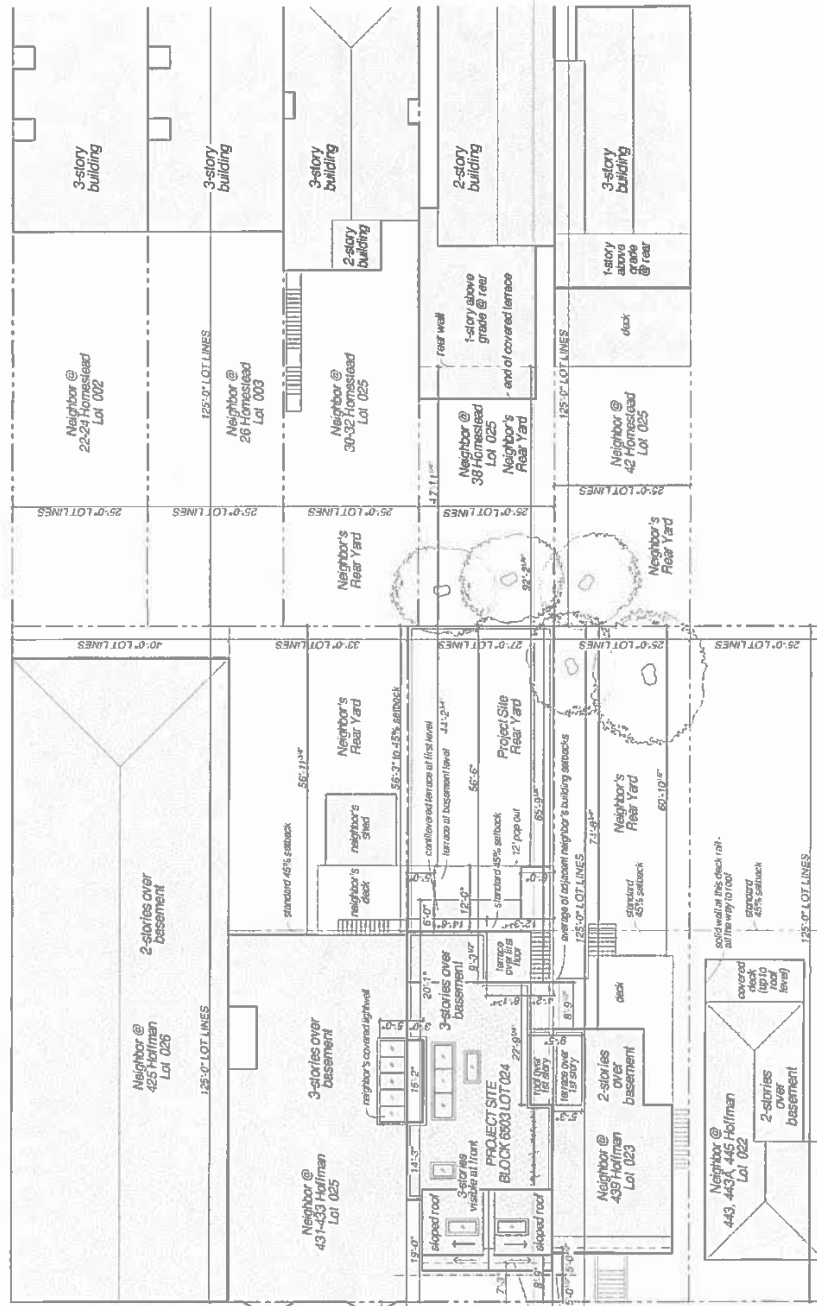
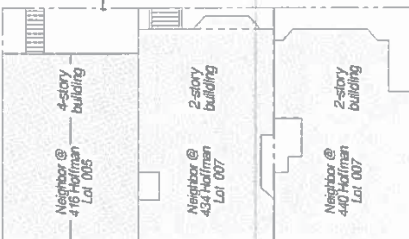
Para obtener más información sobre esta notificación en español, llame al siguiente teléfono (415) 575-9010. Por favor tome en cuenta que le contestaremos su llamada en un periodo de 24 horas.

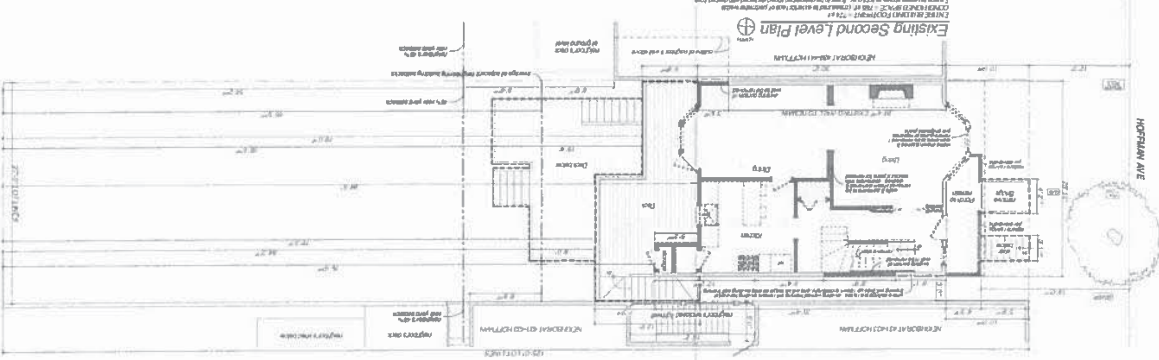
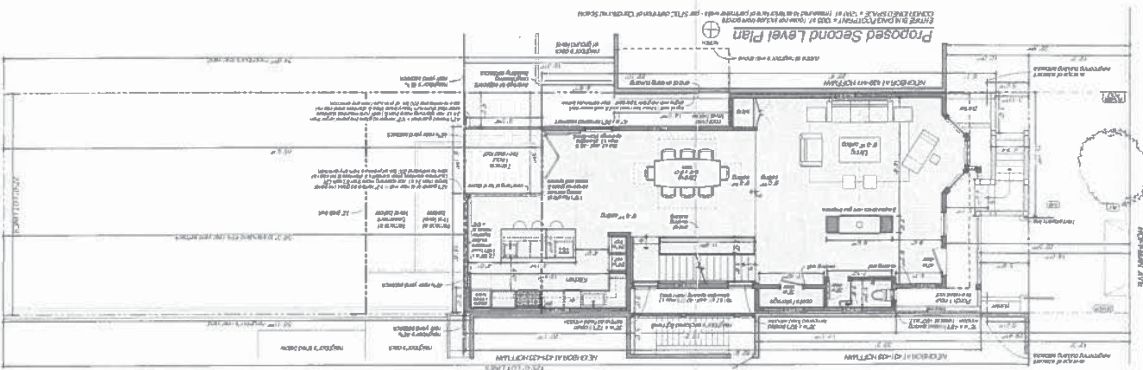
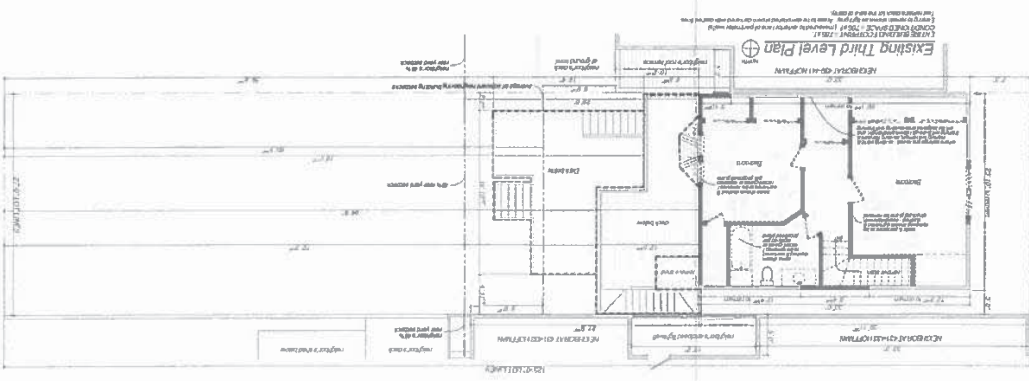
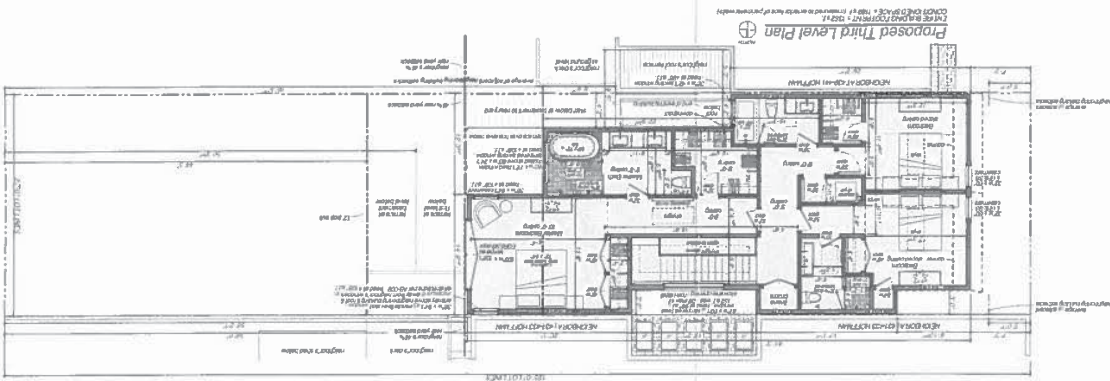


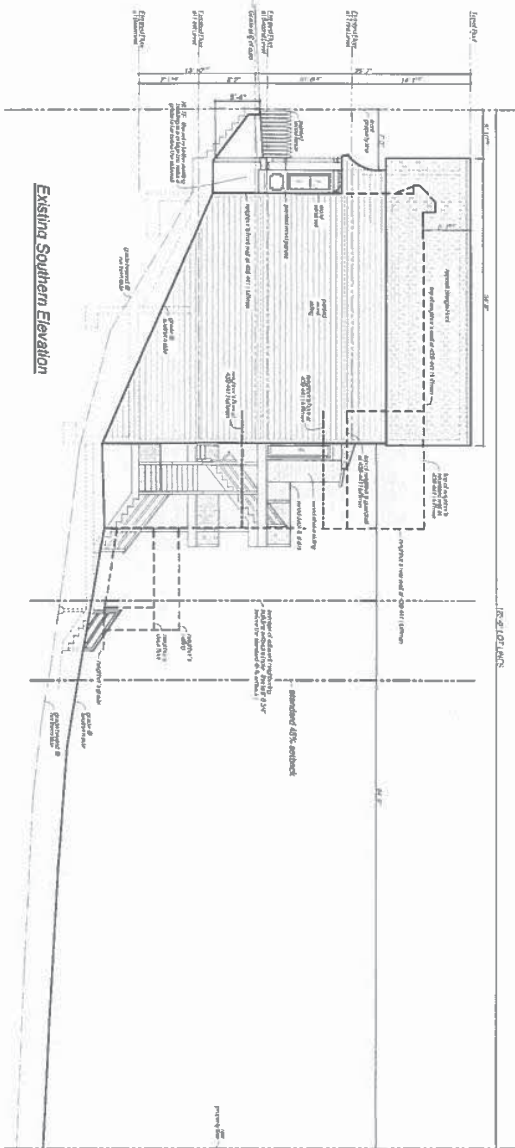
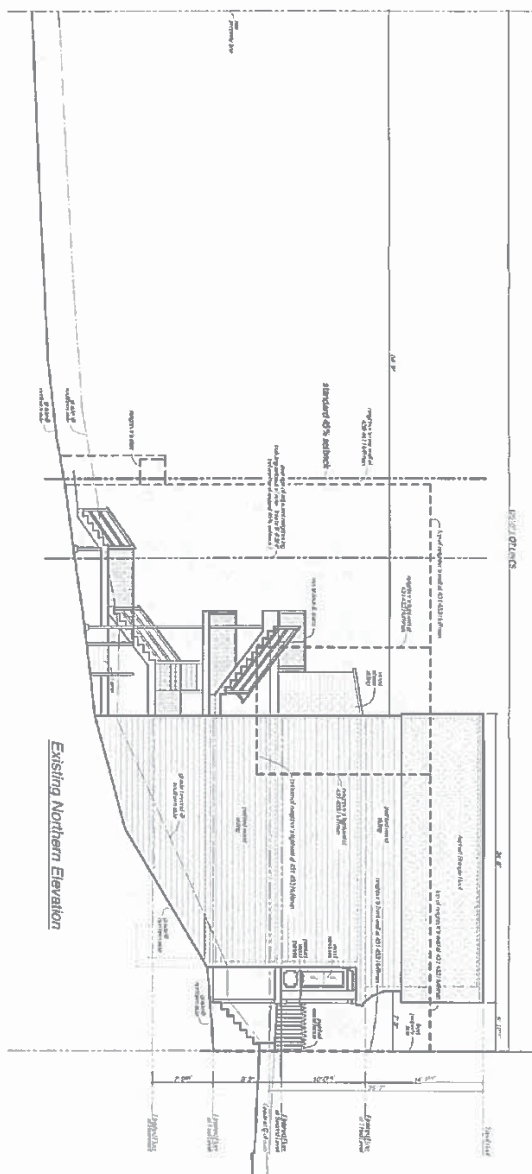
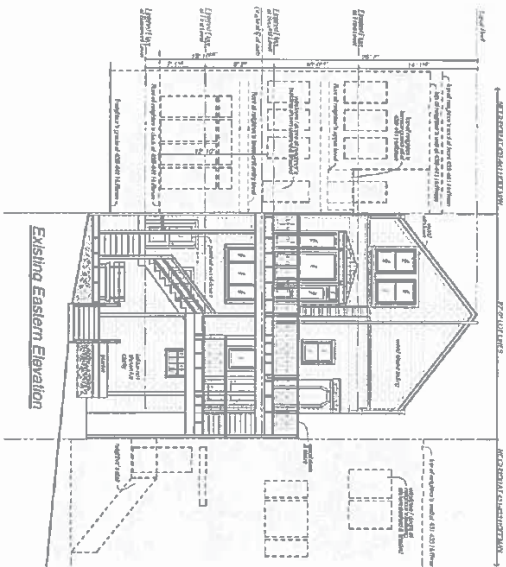
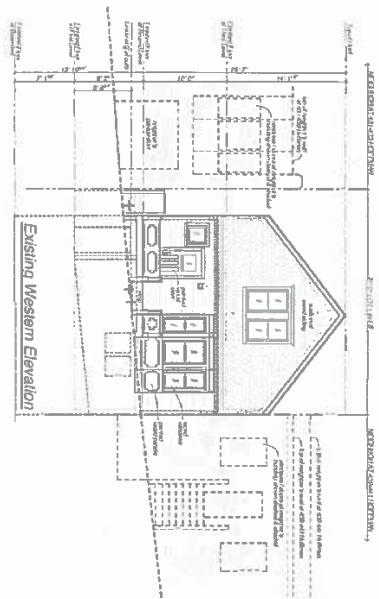
HOFFMAN AVE.

Proposed Lot Plan of Project
& Adjacent Buildings

SCALE 1" = 10'







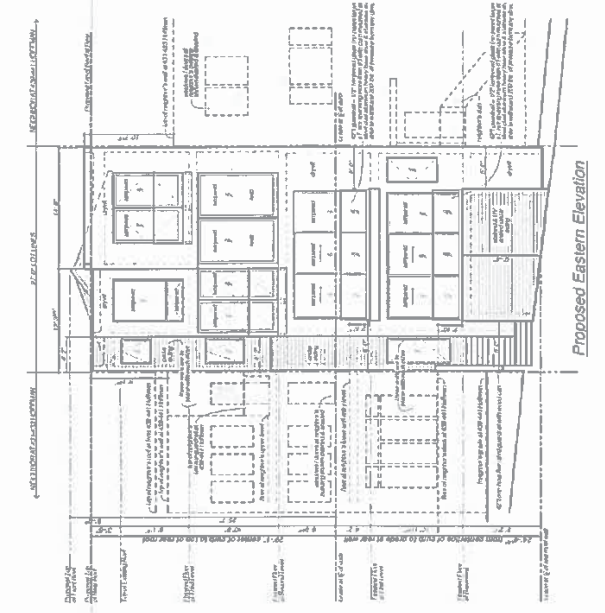
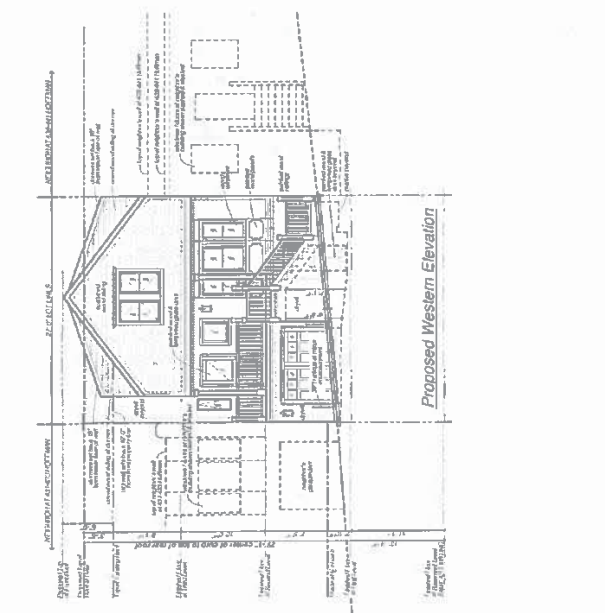
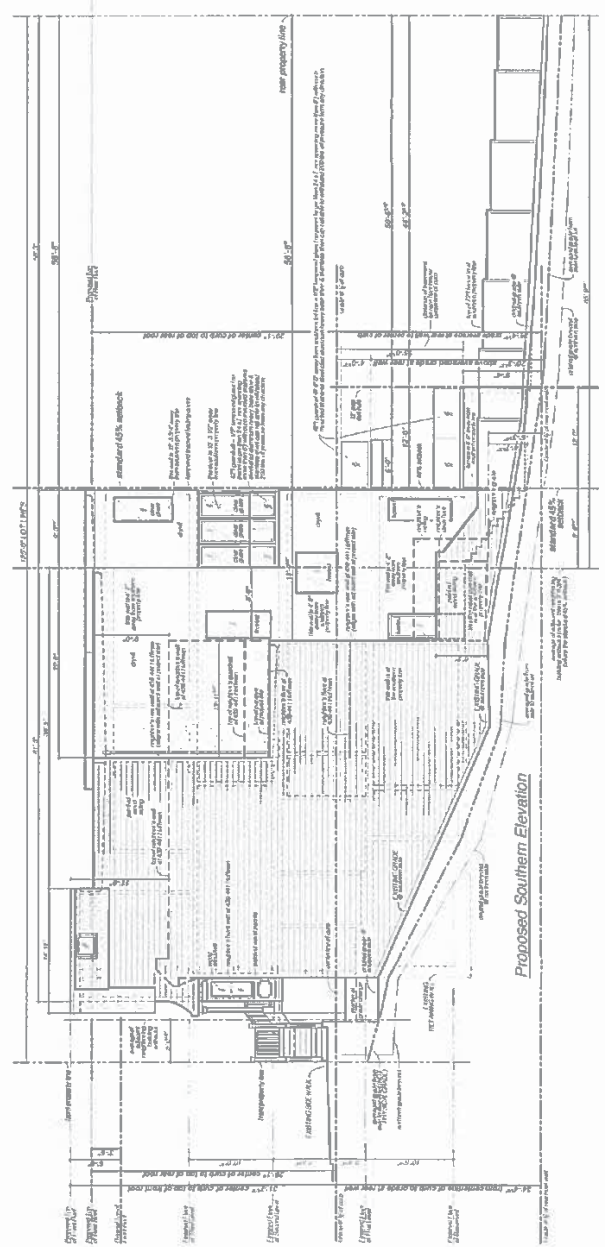
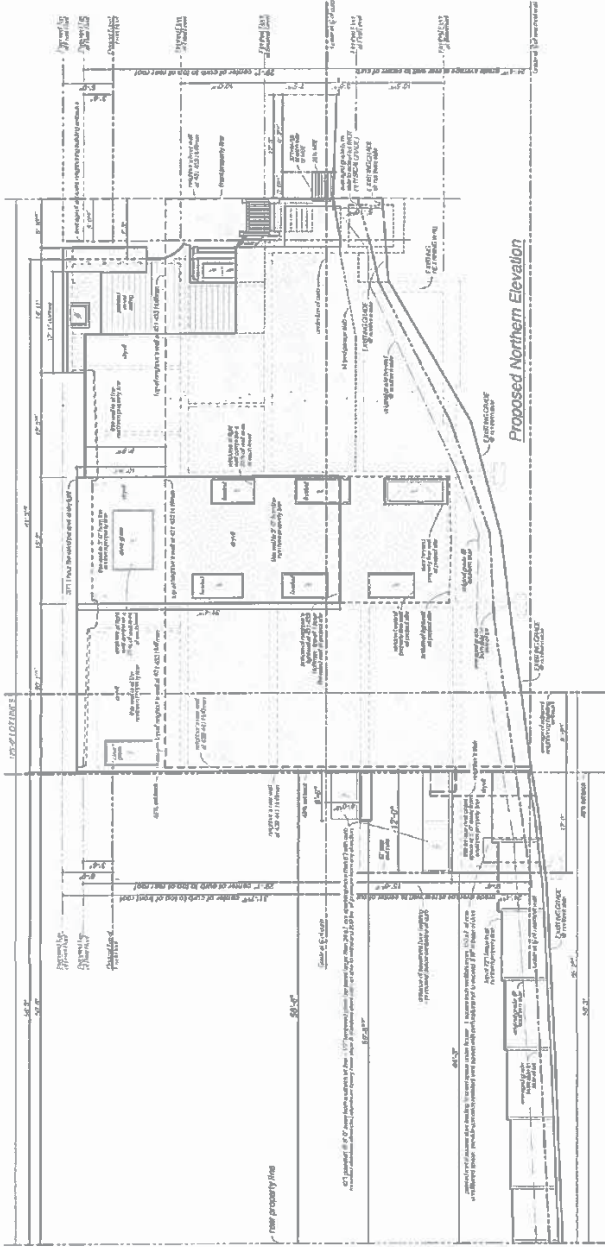


Exhibit 19



**SAN FRANCISCO
PLANNING DEPARTMENT**
1650 Mission Street Suite 400 San Francisco, CA 94103

RE-NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On April 11, 2014, the Applicant named below filed Building Permit Application No. 2014.04.11.3029 with the City and County of San Francisco.

| PROPERTY INFORMATION | | APPLICANT INFORMATION | |
|----------------------|------------------------|-----------------------|-------------------------|
| Project Address: | 437 Hoffman Avenue | Applicant: | Kelly Condon |
| Cross Street(s): | 2 nd Street | Address: | 443 Joost Avenue |
| Block/Lot No.: | 650302A | City, State: | San Francisco, CA 94127 |
| Zoning District(s): | RH-2 / 40-X | Telephone: | (415)249-5328 |

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 15-day extended review period (original expiration 11/12/2013), prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a weekend or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date. Please be aware that this is a Section 311 re-notice. The project has not changed since the original mailing. This notice has been updated to reflect the new expiration date and project features for clarity.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

| PROJECT SCOPE | |
|---|--|
| <input type="checkbox"/> Demolition | <input type="checkbox"/> New Construction |
| <input type="checkbox"/> Change of Use | <input checked="" type="checkbox"/> Facade Alteration(s) |
| <input checked="" type="checkbox"/> Rear Addition | <input checked="" type="checkbox"/> Side Addition |
| PROJECT FEATURES | |
| Building Use | EXISTING |
| Building Use | Residential |
| Front Setback | 5 feet 9 1/2 inches |
| Side Setbacks | None |
| Building Depth | 59 feet 6 1/2 inches |
| Rear Yard | 59 feet 8 1/2 inches |
| Building Height | 21 feet (to midpoint of sloped roof) |
| Number of Stories | 3 + basement |
| Number of Dwelling Units | 1 |
| Number of Parking Spaces | 0 |
| PROJECT DESCRIPTION | |
| The proposal is to construct side, rear and vertical additions to the existing single family dwelling. The project includes extensive interior remodeling and exterior changes raising the structure 6 feet for a new garage door with curb cut, front porch, entry stairs and rear terrace/deck. See attached plans. | |
| The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(f) of the San Francisco Administrative Code. | |

For more information, please contact Planning Department staff:

Planner: Nancy Tran
Telephone: (415) 575-9174

E-mail: nancy.h.tran@sfgov.org
中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

Notice Date: 12/01/15
Expiration Date: 12/16/15

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. We strongly urge that steps 1 and 2 be taken.

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice. Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you. Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the Board of Appeals within 15 calendar days after the building permit is issued (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



SAN FRANCISCO PLANNING DEPARTMENT

Date: 12/1/2015

The attached notice is provided under the Planning Code. It concerns property located at 437 Hoffman Avenue (2014.04.11.3029) ~ NT. A hearing may occur, a right to request review may expire or a development approval may become final by 12/16/2015.

To obtain information about this notice in Spanish or Chinese, please call (415) 575-9010. Please be advised that the Planning Department will require at least one business day to respond to any call.

附上的是三藩市城市規劃的法定通告。
此通告是與位於 437 Hoffman Avenue (2014.04.11.3029) ~ NT 的建築計劃有關。如果在 12/16/2015 之前無人申請聽證會來檢討這一個建築計劃，這計劃最終會被核准。

如果你需要用華語獲得關於這通告的細節，請電 415-575-9010。然後，請按“8”及留言。城市規劃局將需要至少一個工作天回應。華語資料提供只是城市規劃局的一項服務，此項服務不會提供額外的權利或延伸任何要求檢討的期限。

El documento adjunto es requerido por el Código de Planeación (Planning Code) y es referente a la propiedad en la siguiente dirección: 437 Hoffman Avenue (2014.04.11.3029) ~ NT.

Es posible que ocurra una audiencia pública, que el derecho a solicitar una revisión se venza, o que la aprobación final de proyecto se complete el: 12/16/2015.

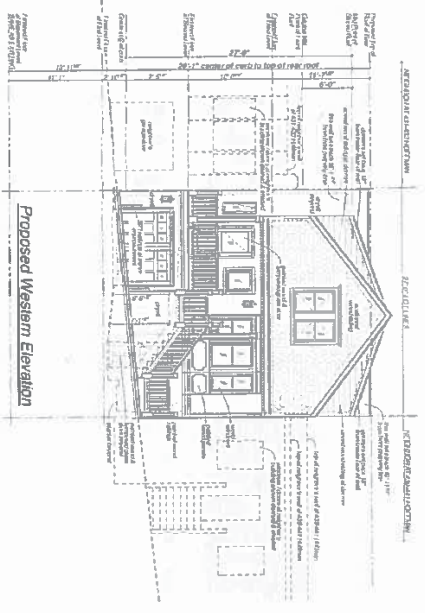
Para obtener más información sobre esta notificación en español, llame al siguiente teléfono (415) 575-9010. Por favor tome en cuenta que le contestaremos su llamada en un período de 24 horas.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2178

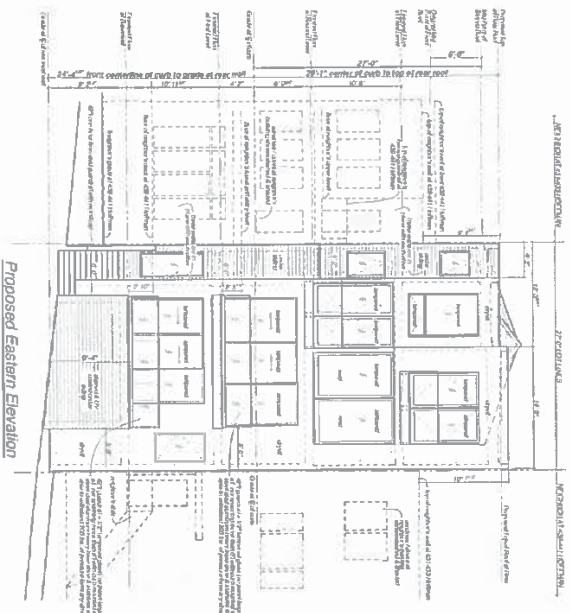
Reception:
415.558.6378

Fax:
415.558.6408

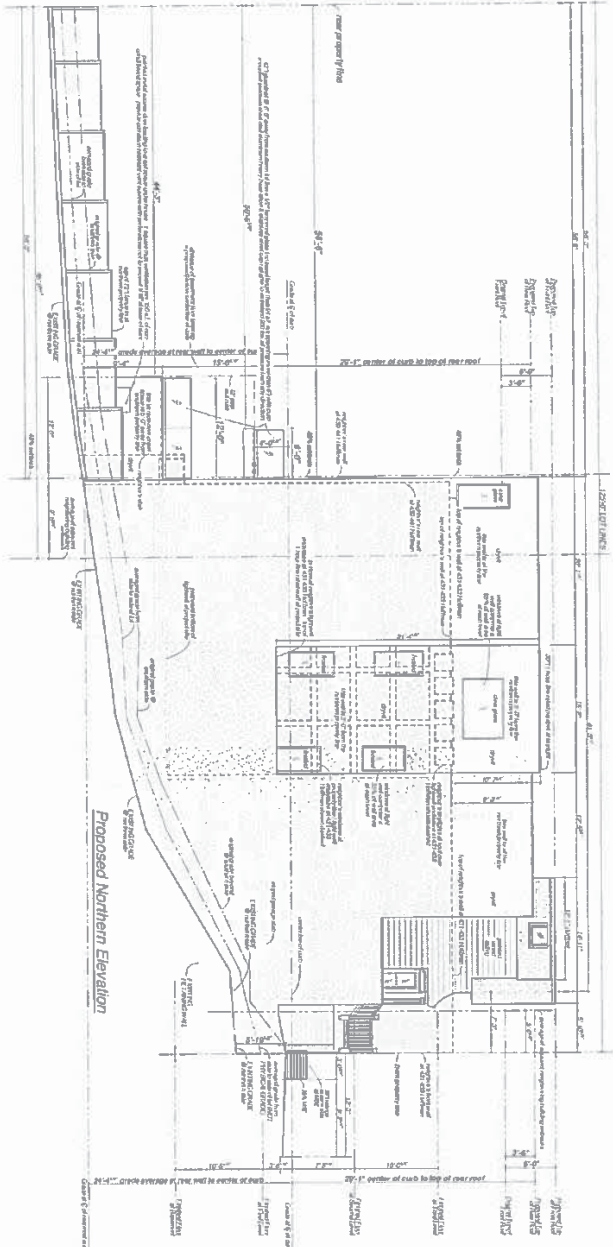
Planning
Information:
415.558.6377



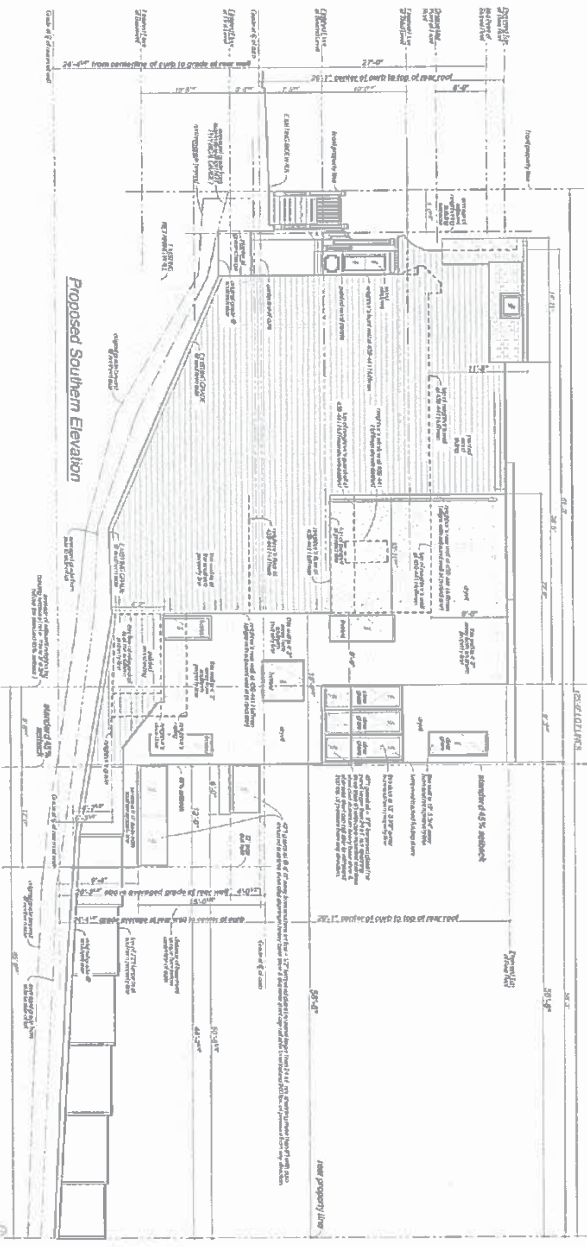
Proposed Western Elevation



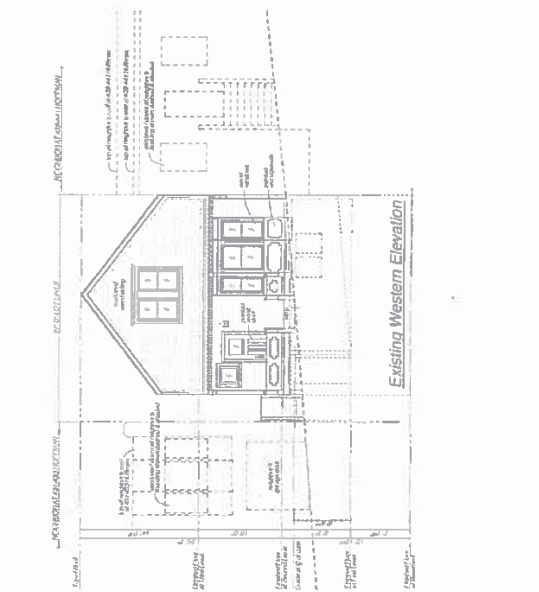
Proposed Eastern Elevation



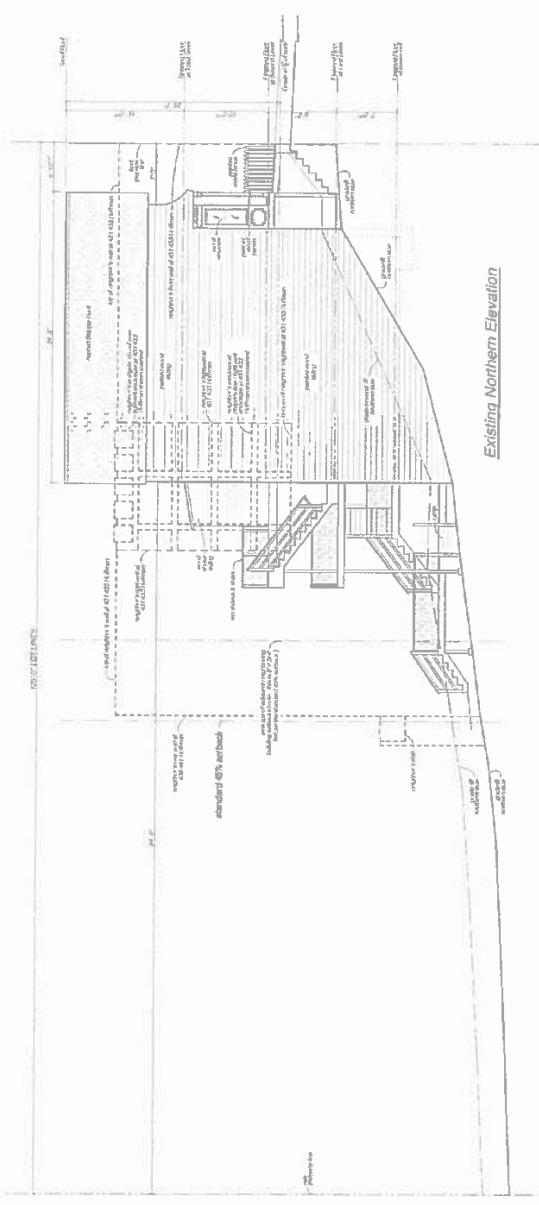
Proposed Northern Elevation



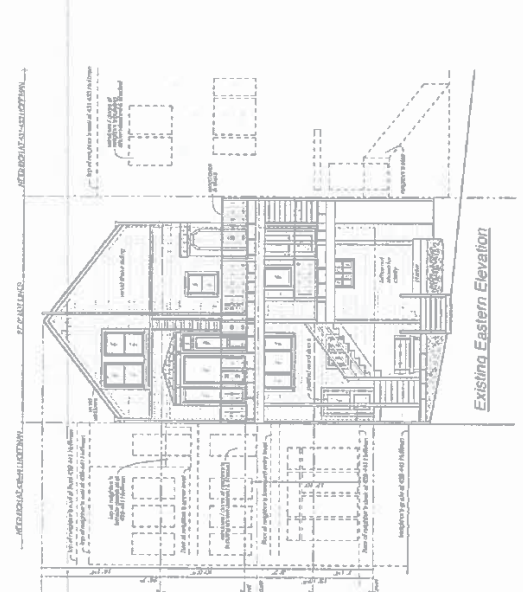
Proposed Southern Elevation



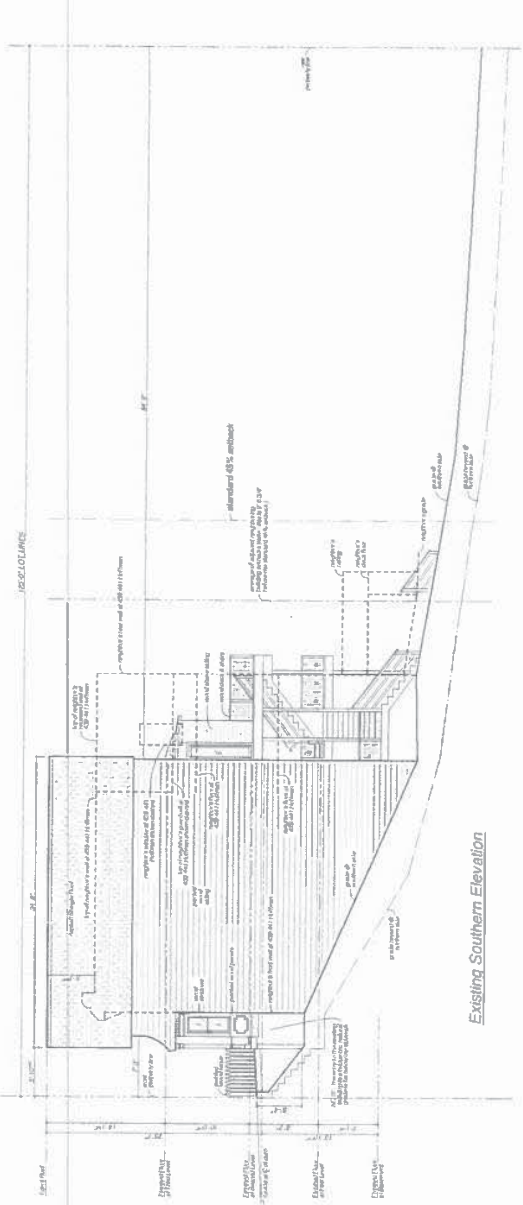
Existing Western Elevation



Existing Northern Elevation

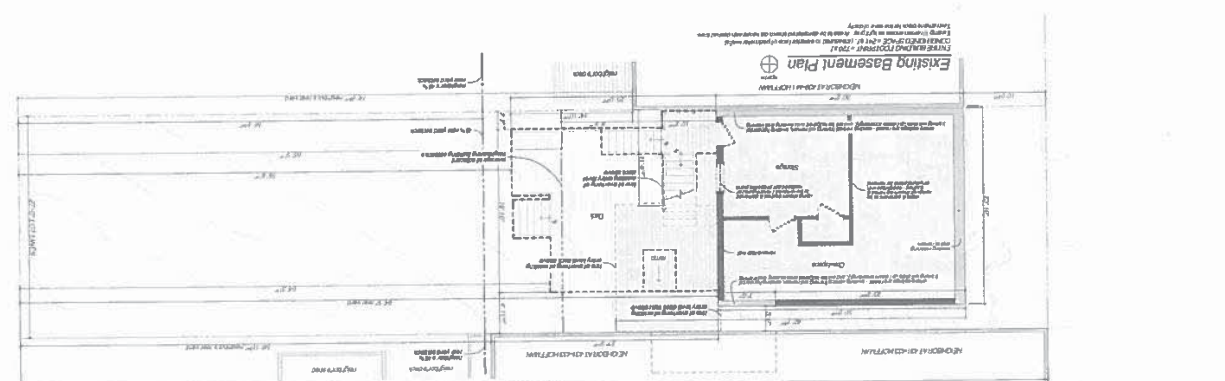
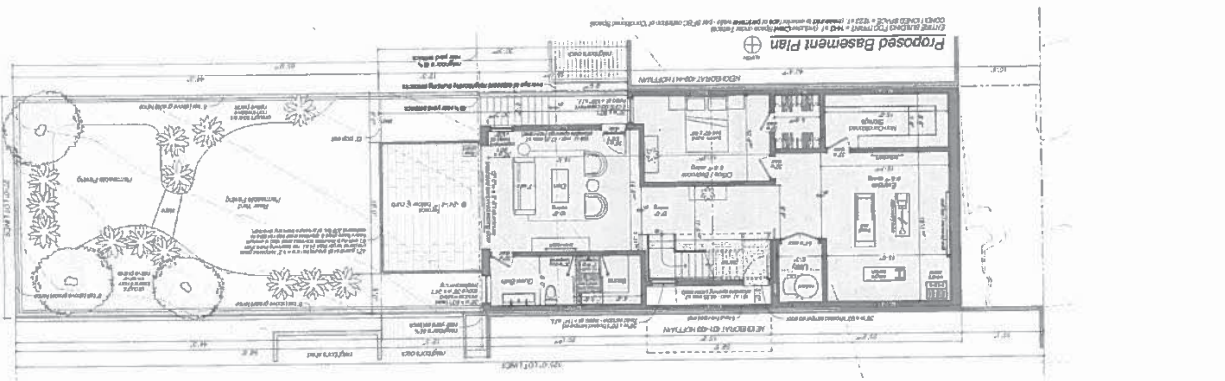
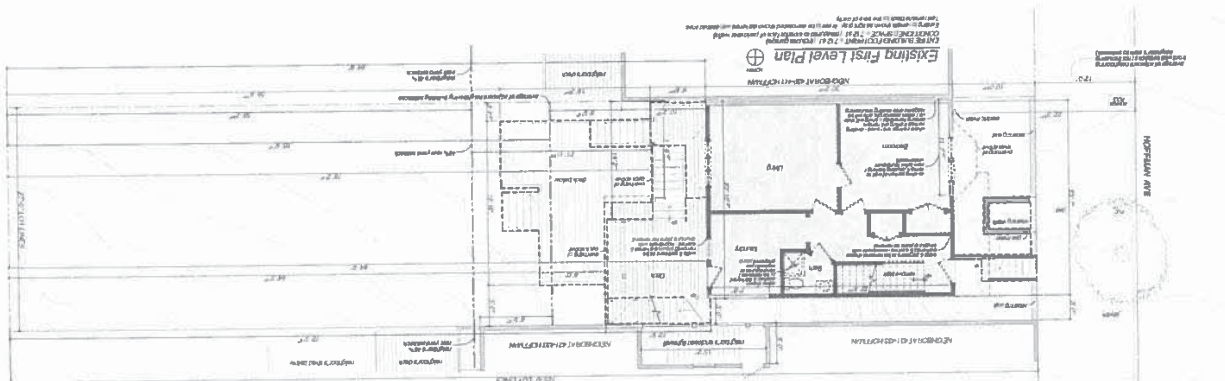
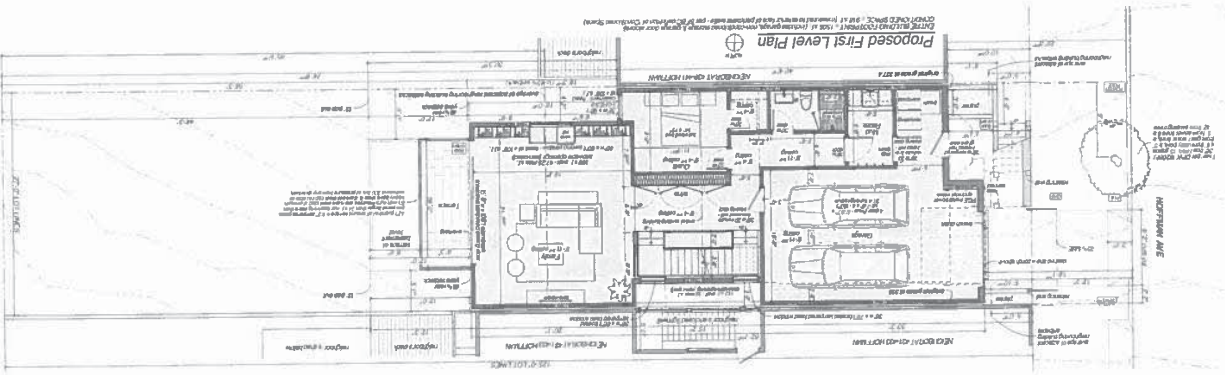


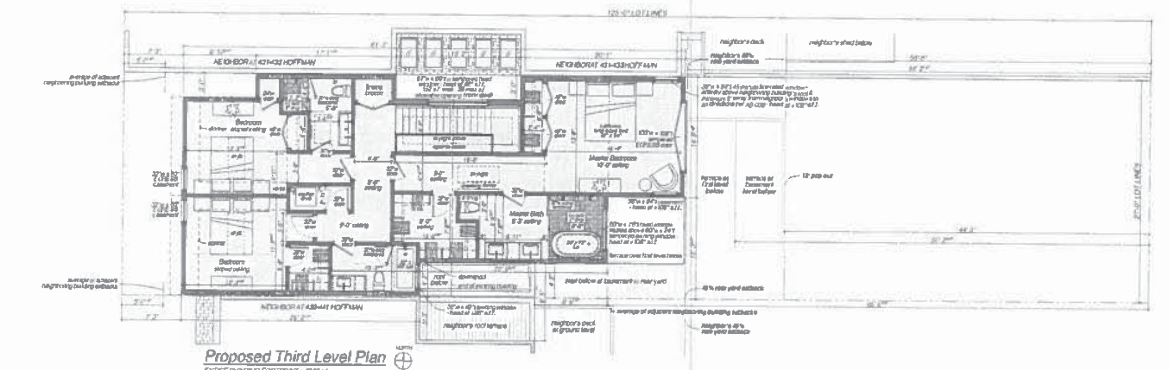
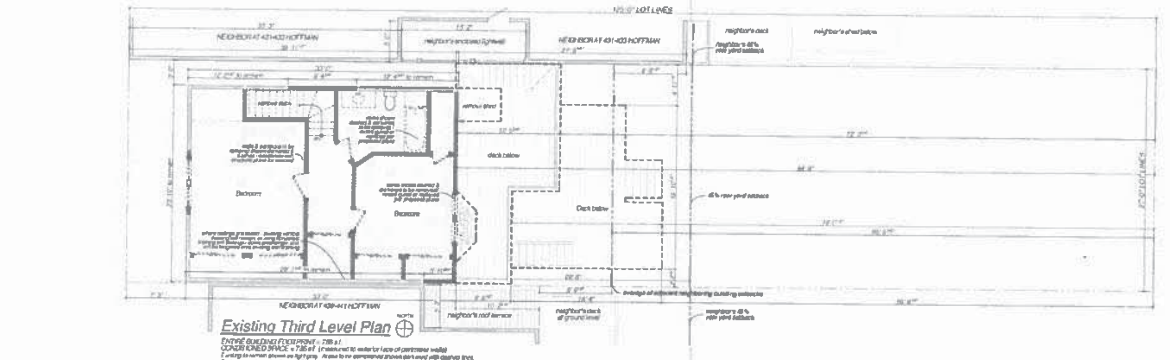
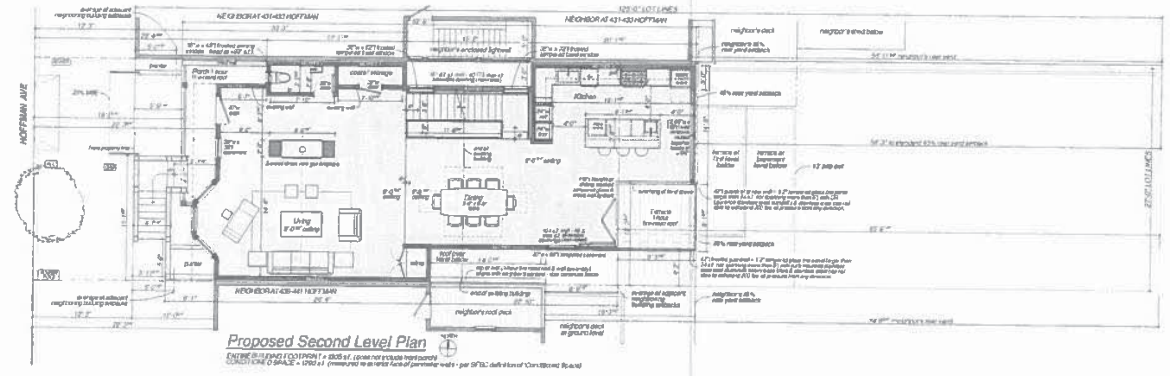
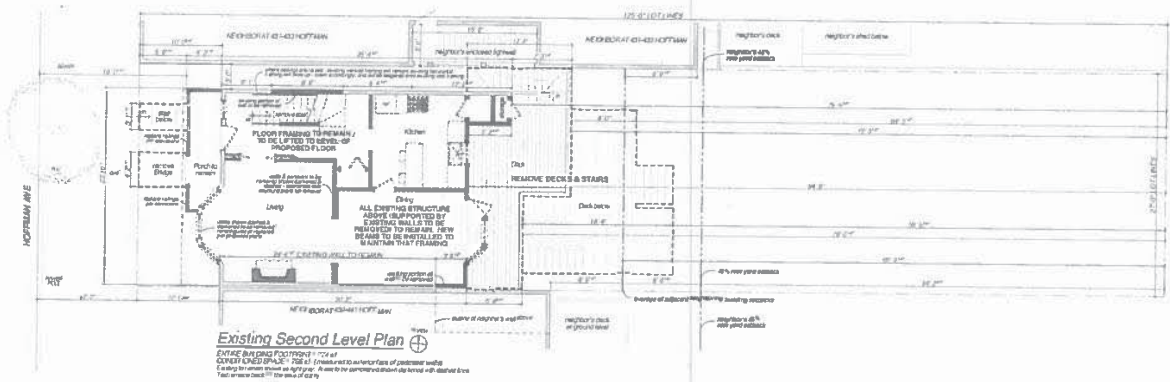
Existing Eastern Elevation



Existing Southern Elevation

20562
APR 5/10/21





**Proposed Lot Plan of Project
& Adjacent Buildings**

SCALE 0 5 10 20

NORTH

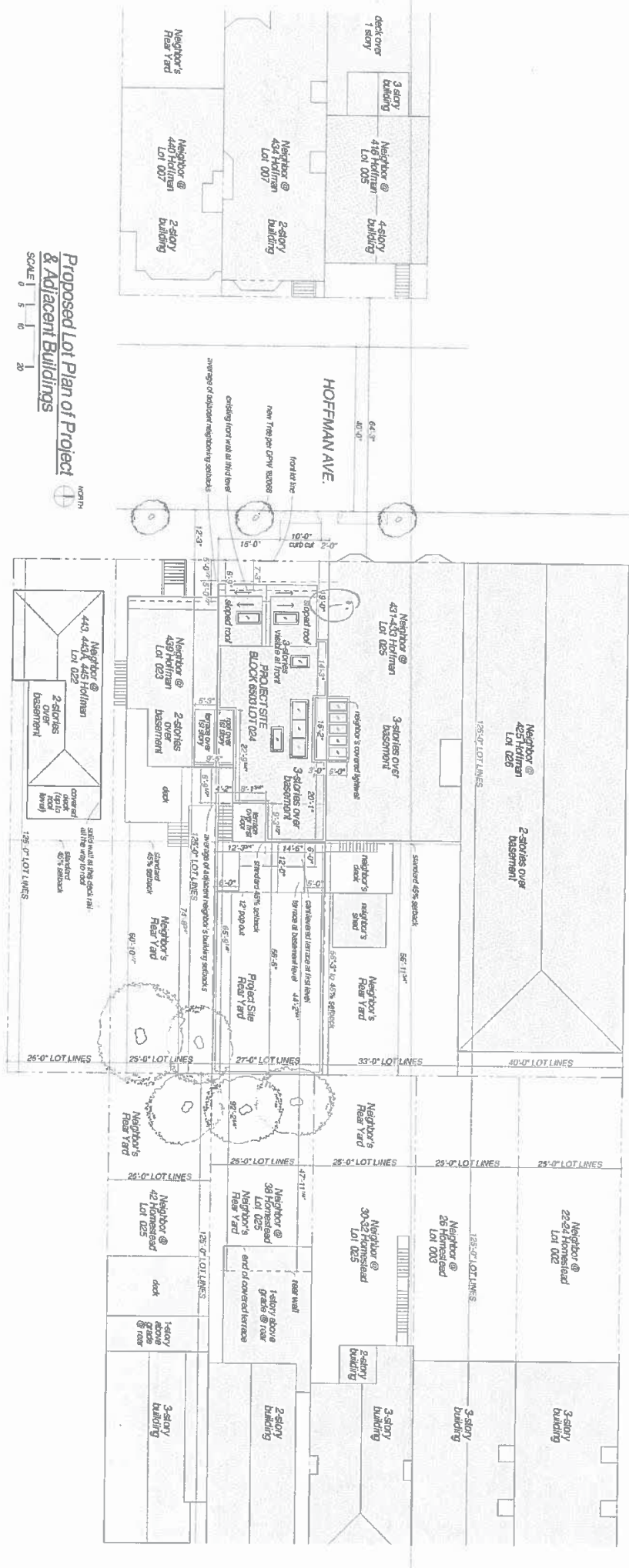


Exhibit 20

APPLICATION FOR Conditional Use Authorization

1. Owner/Applicant Information

| | |
|---|---|
| PROPERTY OWNER'S NAME: Trichrome LLC, Perfero Properties LLC, N & O LLC & Count's Gold LLC | |
| PROPERTY OWNER'S ADDRESS: 45 WALNUT AVE, MILL VALLEY, CA 94941 | TELEPHONE: (415) 240-8328 EMAIL: KELLYMCONDON@GMAIL.COM |

| | |
|---|---|
| APPLICANT'S NAME: KELLY CONDON Same as Above <input type="checkbox"/> | |
| APPLICANT'S ADDRESS: 443 JOOST AVE, SF CA 94127 | TELEPHONE: (415) 240-8328 EMAIL: KELLYMCONDON@GMAIL.COM |

| | |
|---|-----------------------------|
| CONTACT FOR PROJECT INFORMATION: Same as Above <input type="checkbox"/> | |
| ADDRESS: | TELEPHONE: () EMAIL: |

| | |
|---|-----------------------------|
| COMMUNITY LIAISON FOR PROJECT (PLEASE REPORT CHANGES TO THE ZONING ADMINISTRATOR): Same as Above <input type="checkbox"/> | |
| ADDRESS: | TELEPHONE: () EMAIL: |

2. Location and Classification

| | | |
|---|--|--------------------|
| STREET ADDRESS OF PROJECT: 437 HOFFMAN AVE | | ZIP CODE: 94114 |
| CROSS STREETS: 25TH AVE | | |

| ASSESSORS BLOCK/LOT: | LOT DIMENSIONS: | LOT AREA (SQ FT): | ZONING DISTRICT: | HEIGHT/BULK DISTRICT: |
|----------------------|-----------------|-------------------|------------------|-----------------------|
| 6503 / 024 | 27' X 125' | 3375 S.F. | RH-2 | 40X |

3. Project Description

| | | | |
|---|---|----------------------------------|----------------|
| (Please check all that apply) <input type="checkbox"/> Change of Use <input type="checkbox"/> Change of Hours <input type="checkbox"/> New Construction <input type="checkbox"/> Alterations <input type="checkbox"/> Demolition <input type="checkbox"/> Other Please clarify: | ADDITIONS TO BUILDING: <input type="checkbox"/> Rear <input type="checkbox"/> Front <input type="checkbox"/> Height <input type="checkbox"/> Side Yard | PRESENT OR PREVIOUS USE: | |
| | | SINGLE FAMILY HOME | |
| | | PROPOSED USE: | |
| | | 2 UNITS RESIDENTIAL | |
| | | BUILDING APPLICATION PERMIT NO.: | DATE FILED: |
| | | 2014-0411-3029 | APRIL 11, 2014 |

4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

| | EXISTING USES: | EXISTING USES TO BE RETAINED: | NET NEW CONSTRUCTION AND/OR ADDITION: | PROJECT TOTALS: |
|---|------------------|-------------------------------|---------------------------------------|------------------|
| PROJECT FEATURES | | | | |
| Dwelling Units | 1 | 1 | 1 | 2 |
| Hotel Rooms | 0 | 0 | 0 | 0 |
| Parking Spaces | 0 | 0 | 2 | 2 |
| Loading Spaces | 0 | 0 | 0 | 0 |
| Number of Buildings | 1 | 1 | 0 | 1 |
| Height of Building(s) | 25'-7" | 29'-1" | 8'-2" | 29'-1" |
| Number of Stories | 3 over basement | 3 over basement | 0 | 3 over basement |
| Bicycle Spaces | N/A | N/A | N/A | N/A |
| GROSS SQUARE FOOTAGE (GSF) | | | | |
| Residential | 2264 S.F. | 2264 S.F. | 2798 S.F. | 4910 S.F. |
| Retail | 0 | 0 | 0 | 0 |
| Office | 0 | 0 | 0 | 0 |
| Industrial/PDR <i>Production, Distribution, & Repair</i> | 0 | 0 | 0 | 0 |
| Parking | 0 | 0 | 445 s.f. | 445 s.f. |
| Other (Specify Use) | 241 s.f. storage | 241 s.f. storage | 63 s.f. storage | 304 s.f. storage |
| TOTAL GSF | 2505 S.F. | 2505 S.F. | 3306 S.F. | 5659 S.F. |

Please describe any additional project features that are not included in this table:
 (Attach a separate sheet if more space is needed)

The existing basement level does not have code compliant height, so it is not counted in the existing residential square footage. It is conditioned space though - so it is included in the storage use calculation.

5. Action(s) Requested (Include Planning Code Section which authorizes action)

The existing lower levels do not have code compliant ceiling heights as framed- so the floor plates & floor framing should be revised to meet code. Our demo calcs are very close to the threshold - so we have elected to classify the project as a demolition per Code sec 317

Conditional Use Findings

Pursuant to Planning Code Section 303(c), before approving a conditional use authorization, the Planning Commission needs to find that the facts presented are such to establish the findings stated below. In the space below and on separate paper, if necessary, please present facts sufficient to establish each finding.

1. That the proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community; and
2. That such use or feature as proposed will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:
 - (a) The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;
 - (b) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;
 - (c) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;
 - (d) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs; and
3. That such use or feature as proposed will comply with the applicable provisions of this Code and will not adversely affect the Master Plan.

The proposed development adds one residential unit to a single family home in an RH-2 zone - bringing the building into closer compliance with the zoning of the district.

The proposed construction will not be detrimental to the area. It is within standard height limits, setbacks & meets the residential design guidelines

There is currently no garage & just street parking in front of the house. the proposed project preserves a street parking space & provides garage parking within the home

Construction standards for control of noise / dust, etc. will be adhered to

Drought tolerant native plants & permeable paving (where applies) will be installed

Priority General Plan Policies Findings

Proposition M was adopted by the voters on November 4, 1986. It requires that the City shall find that proposed projects and demolitions are consistent with eight priority policies set forth in Section 101.1 of the City Planning Code. These eight policies are listed below. Please state how the project is consistent or inconsistent with each policy. Each statement should refer to specific circumstances or conditions applicable to the property. Each policy must have a response. IF A GIVEN POLICY DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

.....
This is an entirely residential area. No retail uses on this block.
.....
.....
.....

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

.....
See existing CEQA Exemption / Historic Evaluation. The existing neighborhood character includes buildings of varied styles from different eras.
.....
.....
.....

3. That the City's supply of affordable housing be preserved and enhanced;

The existing building was purchased for well over the affordable housing threshold. See closing statement & appraisal.
.....
.....
.....
.....

4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

We are adding parking inside the building by adding a 2 car garage.
.....
.....
.....
.....

CASE NUMBER:
For Staff Use only

- 5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

This is a residential project & has no impact on industrial & service sectors. No office development is proposed.

- 6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

The building will be fully seismically reinforced with a replaced foundation & shear walls to protect in an earthquake & the building will have fire-rated wall types installed & will be fully fire sprinklered.

- 7. That landmarks and historic buildings be preserved; and

No Landmarks or historic buildings are present.

- 8. That our parks and open space and their access to sunlight and vistas be protected from development.

The building does not affect parks / public open space

Estimated Construction Costs

| | |
|---|-------------------------|
| TYPE OF APPLICATION: | |
| Demolition / Remodel of existing Single Family home to create 2 units | |
| OCCUPANCY CLASSIFICATION: | |
| R-3 | |
| BUILDING TYPE: | |
| V-B | |
| TOTAL GROSS SQUARE FEET OF CONSTRUCTION: | BY PROPOSED USES: |
| 5659 s.f. | Residential with garage |
| | |
| ESTIMATED CONSTRUCTION COST: | |
| \$ 900,000 | |
| ESTIMATE PREPARED BY: | |
| Kelly Condon | |
| FEE ESTABLISHED: | |
| | |

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: _____

Date: _____

Print name, and indicate whether owner, or authorized agent:

Kelly Condon - Partial Owner

 Owner / Authorized Agent (circle one)

Application Submittal Checklist

Applications listed below submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent and a department staff person.**

| APPLICATION MATERIALS | CHECKLIST |
|--|--------------------------|
| Application, with all blanks completed | <input type="checkbox"/> |
| 300-foot radius map, if applicable | <input type="checkbox"/> |
| Address labels (original), if applicable | <input type="checkbox"/> |
| Address labels (copy of the above), if applicable | <input type="checkbox"/> |
| Site Plan | <input type="checkbox"/> |
| Floor Plan | <input type="checkbox"/> |
| Elevations | <input type="checkbox"/> |
| Section 303 Requirements | <input type="checkbox"/> |
| Prop. M Findings | <input type="checkbox"/> |
| Historic photographs (if possible), and current photographs | <input type="checkbox"/> |
| Check payable to Planning Dept. | <input type="checkbox"/> |
| Original Application signed by owner or agent | <input type="checkbox"/> |
| Letter of authorization for agent | <input type="checkbox"/> |
| Other: Section Plan, Detail drawings (ie. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (ie. windows, doors) | <input type="checkbox"/> |

NOTES:

- Required Material. Write "N/A" if you believe the item is not applicable, (e.g. letter of authorization is not required if application is signed by property owner.)
- Typically would not apply. Nevertheless, in a specific case, staff may require the item.
- Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

After your case is assigned to a planner, you will be contacted and asked to provide an electronic version of this application including associated photos and drawings.

Some applications will require additional materials not listed above. The above checklist does not include material needed for Planning review of a building permit. The "Application Packet" for Building Permit Applications lists those materials.

No application will be accepted by the Department unless the appropriate column on this form is completed. Receipt of this checklist, the accompanying application, and required materials by the Department serves to open a Planning file for the proposed project. After the file is established it will be assigned to a planner. At that time, the planner assigned will review the application to determine whether it is complete or whether additional information is required in order for the Department to make a decision on the proposal.

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

Exhibit 21

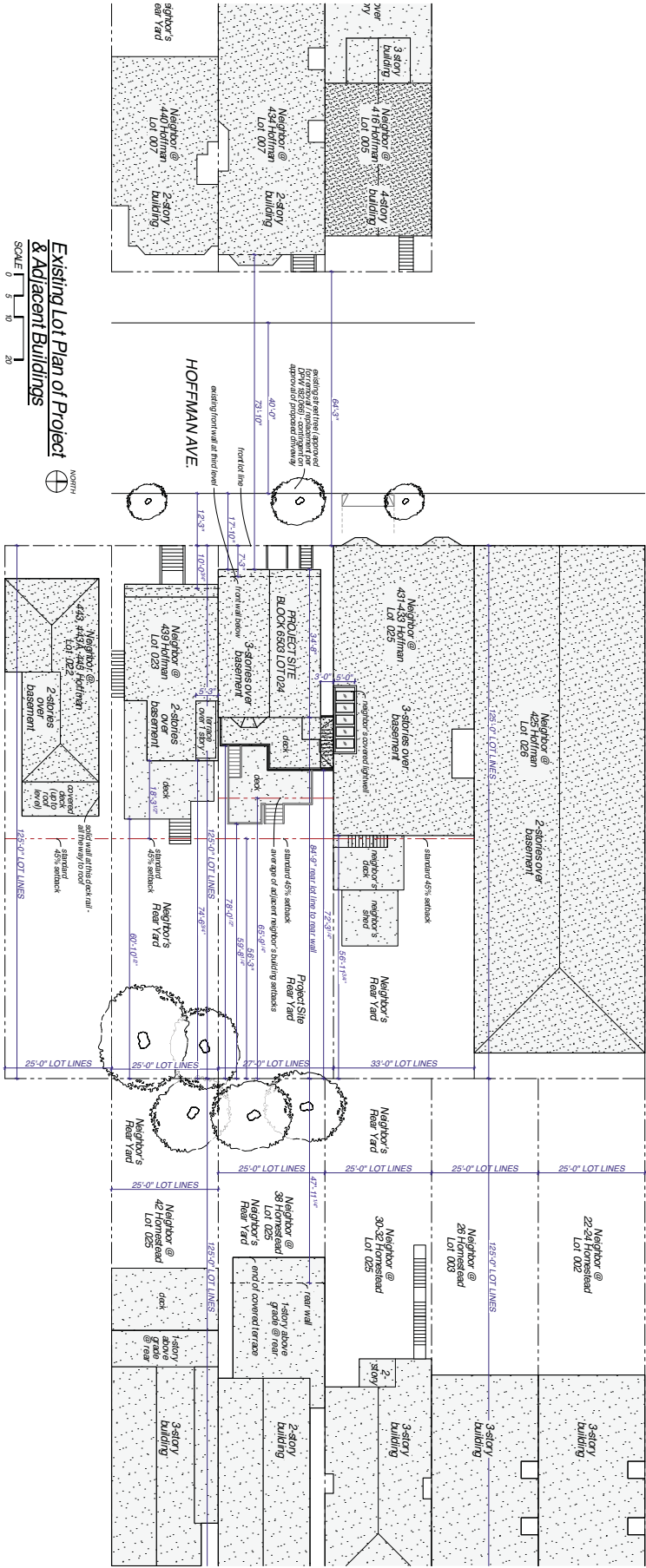


David Hoffman
 for
Hoffman TIC Group
 437
Hoffman
 San Francisco
 94114

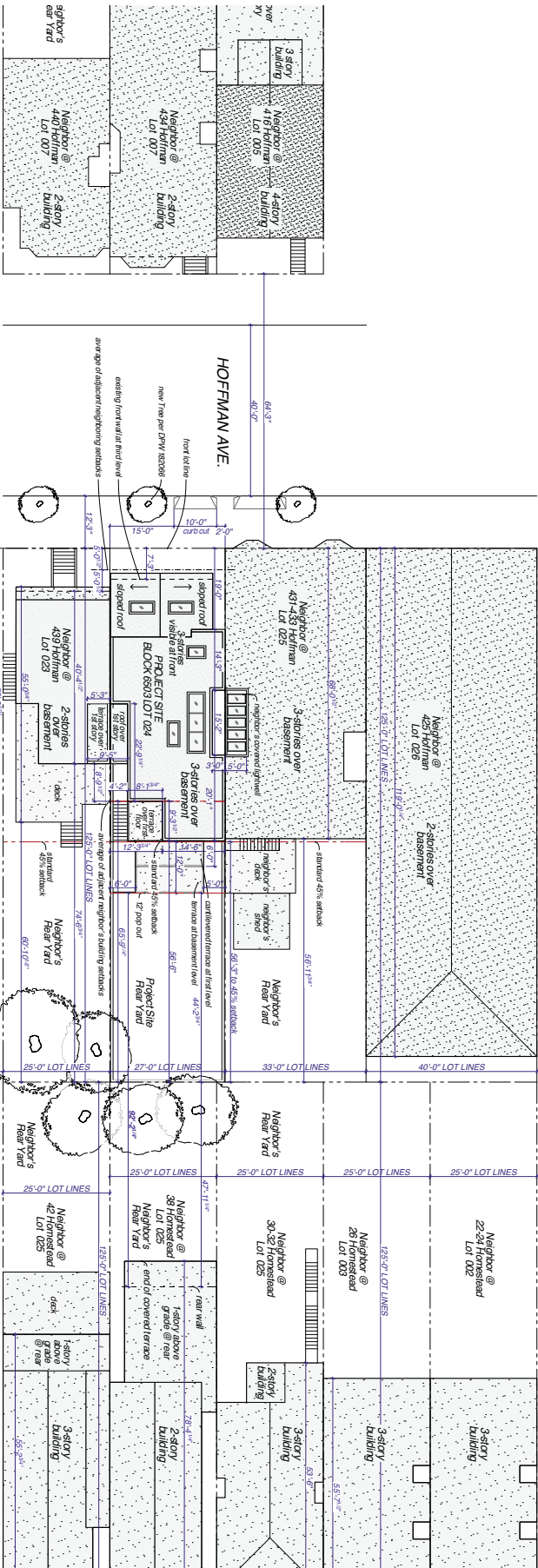
April 22, 2016



Existing Site Plan
 scale: as noted
A3



Existing Lot Plan of Project
 & Adjacent Buildings
 SCALE 1" = 10'
 NORTH



Proposed Lot Plan of Project & Adjacent Buildings

SCALE 1" = 10'

Proposed Site Plan
 scale: 1/4" = 1'-0"
A4

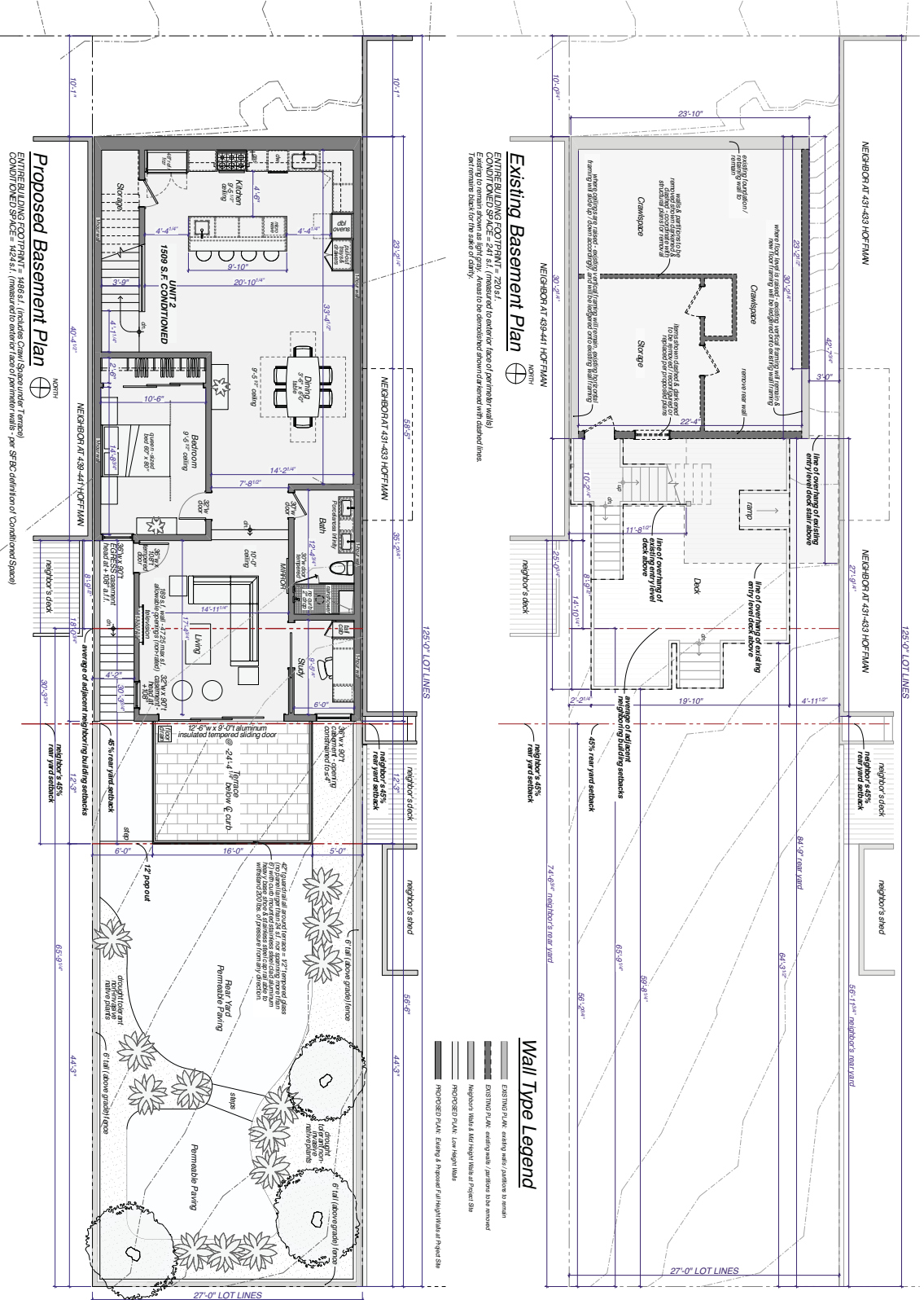


April 22, 2016

437 Hoffman
 San Francisco
 94114

for Hoffman TIC Group





Existing Basement Plan

ENTIRE BUILDING FOOTPRINT = 2884 S.F.
 CONDITIONED SPACE = 2418 S.F. (measured to exterior face of perimeter walls)
 Existing to remain shown as light gray. Areas to be demolished shown in dashed lines.
 Fasten to deck for the sake of clarity.

Proposed Basement Plan

ENTIRE BUILDING FOOTPRINT = 4885 S.F. (includes Craw Space under T removal)
 CONDITIONED SPACE = 4524 S.F. (measured to exterior face of perimeter walls - per S.FBC definition of Conditioned Space)

Wall Type Legend

- EXISTING PLAN: existing walls / partitions to remain
- EXISTING PLAN: existing walls / partitions to be removed
- Neighbor: walls & floor slabs to remain
- Neighbor: walls & floor slabs to be removed
- PROPOSED PLAN: new walls
- PROPOSED PLAN: Existing 5' spaced full-height metal stud wall

Existing & Proposed Basement Level
 Scale: as noted
A5

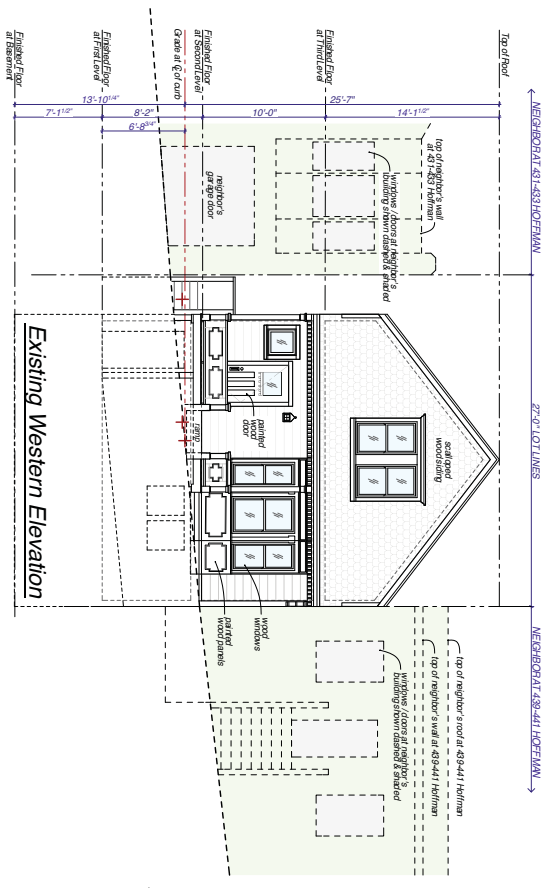


April 22, 2016

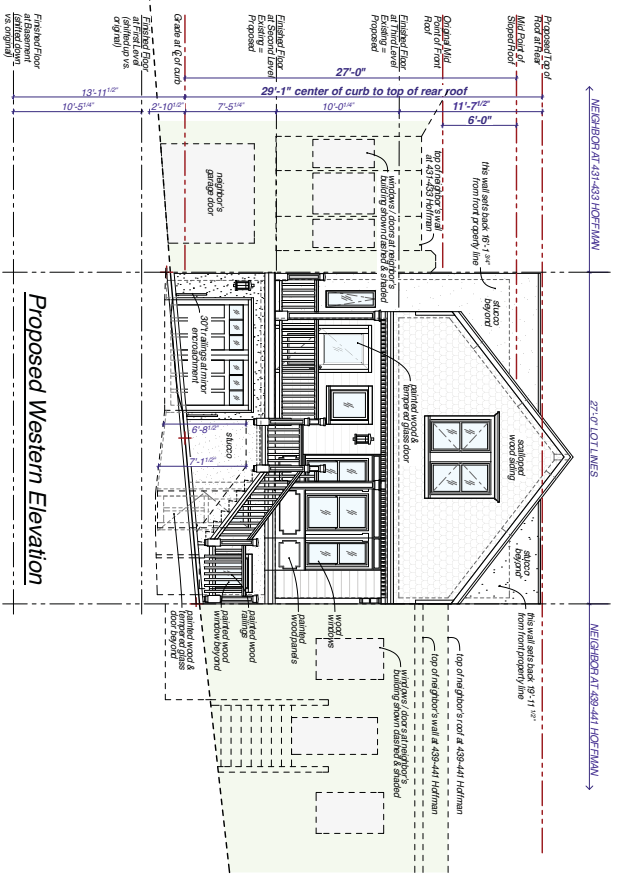
437 Hoffman
 San Francisco
 9 4 1 1 4

for Hoffman TIC Group





Existing Western Elevation



Proposed Western Elevation

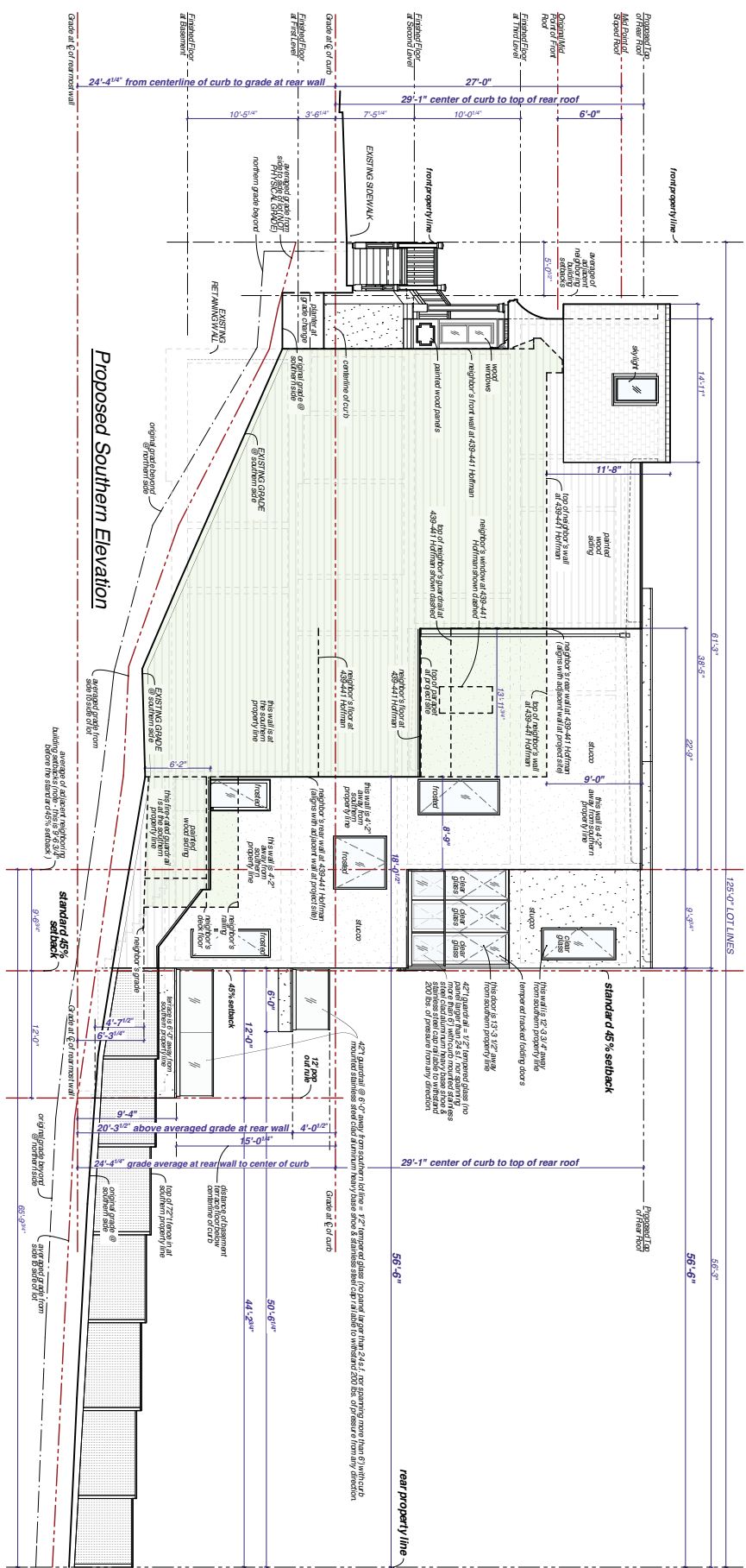


437
Hoffman
 san francisco
 9 4 1 1 4

April 22, 2016



Existing &
 Proposed Front
 Elevations
 scale: 1/4" = 1'-0"
A10



Proposed Southern Elevation

Scale: 1/4" = 1'-0"

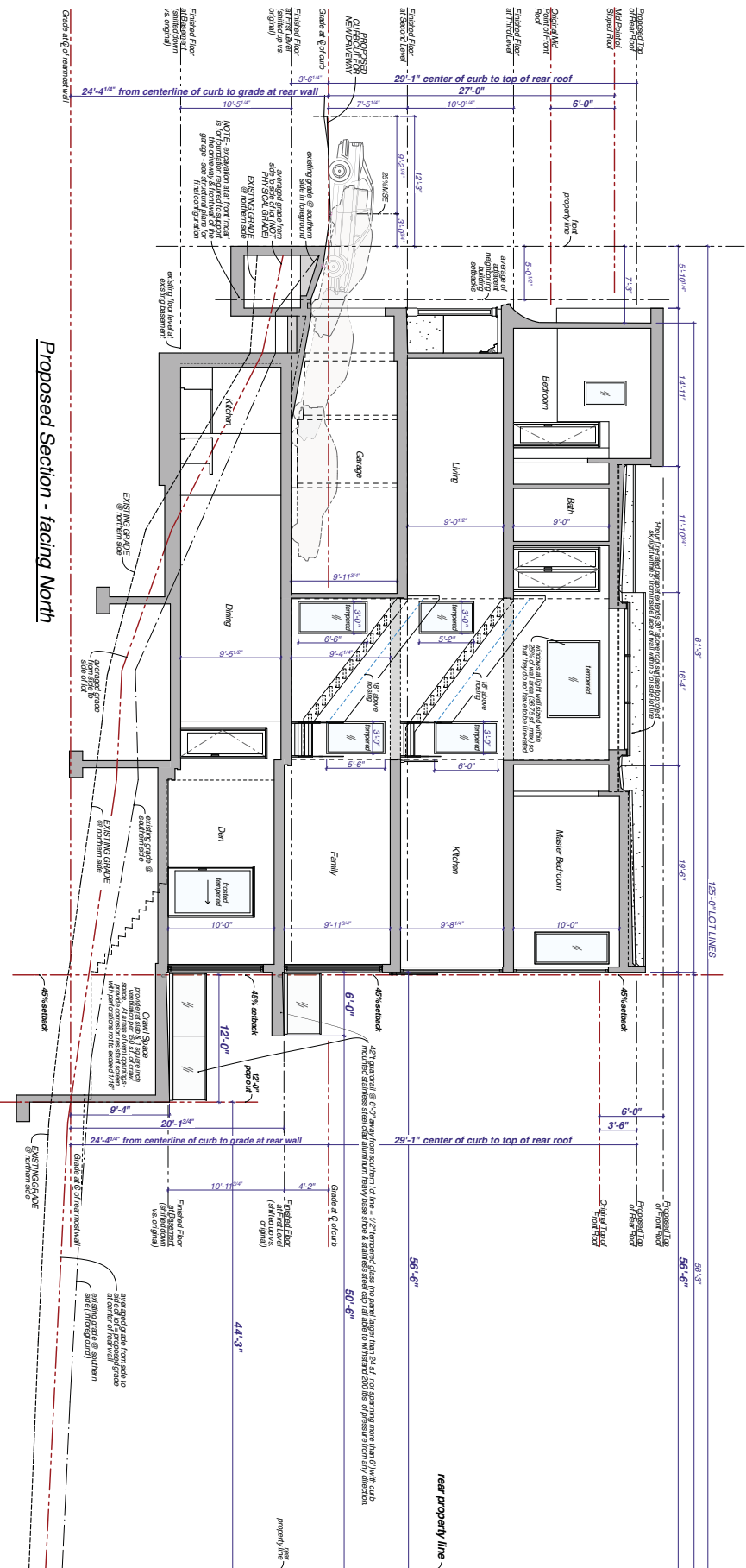
A15



for
Hoffman
TIC Group

437
Hoffman
 San Francisco
 9 4 1 1 4

April 22, 2016



Proposed Section - facing North

Proposed Section
 scale: as noted
A77



April 22, 2016

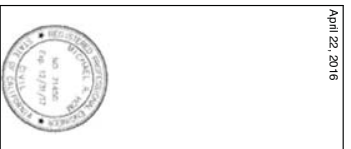
437
Hoffman
 san francisco
 9 4 1 1 4



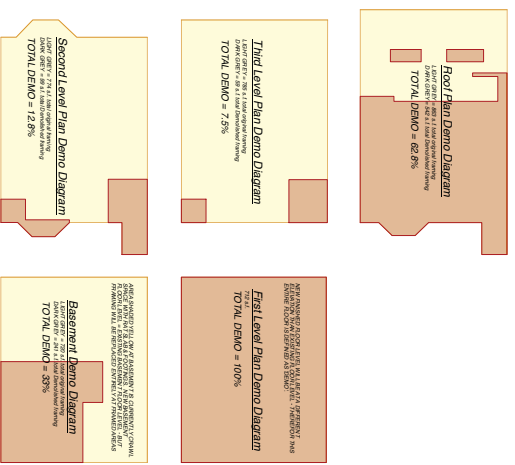


for Hoffman TIC Group
 437
 Hoffman
 San Francisco
 94114

April 22, 2016



Demo Calculators
 scale: 1/8" = 1'-0"
A18



TOTAL HORIZONTAL S.F. DEMO COMBINED = 42.89%

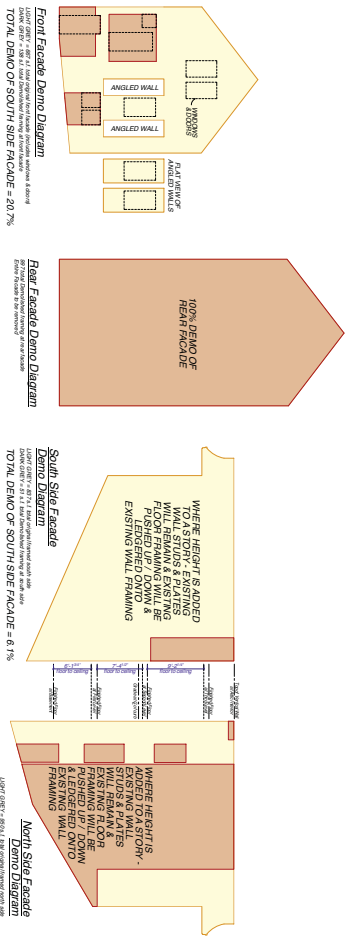
Demolition Calcs - Lineal Feet at Foundation

| Facade | (E)Length | Removed | % Removed | Combined |
|---------------------|-------------|-------------|-----------|-------------------------|
| West Facade - Front | 23'-10 1/4" | 12'-3" | 51.4% | 75.2% front & rear only |
| East Facade - Rear | 23'-10 1/4" | 23'-10 1/4" | 100% | |
| South Facade | 30'-2 1/4" | 0' | 0% | 78.8% |
| North Facade | 30'-2 1/4" | 23'-2 1/4" | 76.8% | |
| Combined Totals | 108'-4" | 59'-3 1/2" | 57.1% | |

Demo Qualifiers

| | | |
|--|--------------------------------|------------------------------------|
| Removal of more than 50% of the sum of Front & Rear Facades AND Removal of more than 65% Lineal Feet at Foundation | 68.2% = demo | doesn't do both therefore NOT DEMO |
| Removal of more than 50% Vertical Envelope Elements AND Removal of more than 50% Horizontal Framing Elements | 51.92% = demo 42.89% = demo | doesn't do both therefore NOT DEMO |

OR



TOTAL DEMO OF VERTICAL ELEMENTS COMBINED = 51.92%

LEFT GREY = 1992 s.f. total original horizontal elements
 DARK GREY = 1992 s.f. total Demolished Horizontal Elements

Exhibit 22

June 30th (2016) Planning Commission Hearing: Transcript of Discussion

DISCUSSION

Commissioner Antonini: Thank you. I've spent more time on this project, probably, more than any other that has been before us in the last few years. And I *did* make a site visit, and I was lucky enough to be able to go through the entire building. And I don't know how this rating is done, but I think it's very lowly rated because there are two things that are obvious when you go in there. First of all, what was a lower unit, and even as part of the upper unit now since it was merged, are illegal rooms. One of them is six feet. I have to duck down to get into that one. The rest of it is like 6-foot-four, so that is still well below the minimum height for rooms in that entire lower area as it now exists. So, even if this wasn't demoed, it would still have to be raised and it would be tantamount to a demo even if you kept the old house, which isn't worth keeping. It's kind of a dump. I hate to say it; I've done enough construction to know that the upper floors aren't level; it definitely slants to one side. There are a lot of things wrong with the existing place, and it would probably cost more to do it keeping everything that's there and raising that up instead of quasi-demoing it and doing it the way the project sponsor has decided to do it. So that's the first thing. And I was here when we voted for the merger, and this isn't part of what we hear when we approve mergers, but I would have liked to have known that the lower units, the lower part of the units, were not of legal height at that time, so that we would know that they couldn't even serve as a second unit. Now even if the units were unmerged and made into two units, the whole thing would have to be raised up probably two or three feet to be able to make those habitable units even under the lowest of standards. I worked with the project sponsor, and I got a lot of things done that's improved the project a lot. The first thing is the area to the north, and I agreed, that we should try to preserve as much light and air as possible to the northern building, up to the point where he has the window. Because to the west of that window, you're not going to get any light in there because it's the west; there's a hill behind the buildings to the west, so even if it's open, you're not going to get any. But the area to the south is where the sun will come from. So the three-foot separation on the upper-most floor of the new building is very important; also making it more of a pitched roof is going to add even more light into there. So there may be some room for some more room for some additional work to open that even more, but I think that the project sponsor has done a lot. The other thing I found out to the comments that the lower units are not habitable; it's very habitable. I was there. It was a sunny day – lots of sunshine everywhere, even in the back yard below where the existing house exists now. So even the level

below the garage is going to have lots of light, and now they have made a second level, turned it into a townhouse, so that lower level is going to be a very pleasant level on both levels and plenty of light. And of course the upper units will get light because almost all the light to this house is going to come from the south and the east because that's the direction where the hill slopes down to, and there's a huge slope there. So both the units in the range of 2500 square feet, which I think is very good-sized the way they're laid out, especially with the constraints that you have having set backs on the two sides, they've done a good job. As far as the façade, they've changed it; they've made it into the Queen Anne façade that exists now, and if it is approved, I'll guarantee you it will be built that way. I'll be out there checking it while it's being constructed and if it's anything else, I'll go to DBI and tell them to stop construction. It has to be exactly (this is what's very important to me); to have contextual design and have things that kind of fit in a neighborhood, not another modern structure. And also, at my suggestion they did slant the back part of the addition to – with ten-foot ceilings in the middle and eight foot on the sides, there may be an area for a little more of a slant on the sides. I think you legally need about seven feet; that's a DBI issue, but that does help a lot with light and air, and making that back section look a little better. In terms of height, the front of the building will be 31' 7" from the street, from the curb, which is only six feet higher than the existing one, so it's not a huge impact and it's relatively in keeping with many of the other buildings along that street on both sides. The rear peak, as measured from the curb, is only 28.7. Obviously it's higher from ground level because of the extreme downslope that exists there, but both are well within the 40' height limit and they, of course, conform to the 45-foot rear yard. The tree is really oversized, breaking up the sidewalk, not appropriate for the street, unlike any other trees on that street. I mean, I had big trees in front of my house, and one of the branches fell on the house and I got rid of them. They were big acacias, and I put some ginkos now that are smaller, more appropriate, and I think that's what needs to be done here. Whether you put a garage in or not, you got to get rid of that tree; it's a hazard. And the side set back is a minimum of 4.2 feet, which is a good set back in terms of the distance to the property line. Even in detached homes in RH1 parts of the city, are usually only 3 feet from the property line each, so a 4.2 set back at minimum, and then it expands to 5 and 6 feet, makes sense. The other thing about this being two units; I don't really know. I know it was originally built as a single-family home in 1905. Somewhere along the line, it was converted to two units. We really don't know the date. I'm sure it's

somewhere in the records. But most of its existence was probably as a single-family home; maybe second World War or sixties, sometime this kind of illegal little unit was created down below there, which does not meet code. As far as suggestions made, I think the project sponsor might be willing to, and I can check with them, to reduce the size of the terraces, which would meet some concerns about privacy. And as far as the structure to the south, which I think is 441 Hoffman, is a very shallow building, so they have to leave a large set back, which they have, but the fact that it extends further into the rear yard is more the deficiency of that structure being not deep enough than this structure being too deep. So, I'm in support. I'm willing to work with other commissioners and project sponsor to make whatever modifications we can to get this thing approved. Too often we are preserving unsound or unfunctional older homes that have no historic value. And for someone to make it into a decent place would probably cost a lot more than the project that's planned today, which is going to create two family-sized dwelling units and still contextually fits in with Hoffman Street.

Commissioner Moore: I'd like to start with a few questions. Perhaps, Mr. Washington, you could just clarify as to whether or not the existing units are 6 feet in room height and are considered rent-controlled units. I do not think that 6' high room height even qualifies for habitable.

Mr. Washington: It's currently only a single-family residence now. It was originally a two-unit building, but the decision had been made to allow the building to be merged. I haven't been inside of the structure. I think the project sponsor's architect could probably answer that question as far as what the ceiling height is as far as what Commissioner Antonini alluded to, by I have not physically been inside the building to actually see if I can stand up in it.

Commissioner Moore: I think that we all know the code well enough, including how tall we are; six foot rooms are just not possible.

Mr. Washington: Minimum interior ceiling height 7-1/2 feet.

Commissioner Moore: Thank you. Second Point – 2008 unit merger: I was on the commission, a young commissioner at that time; I don't think I approved unit mergers at that time but it is neither here nor there. That's water under the bridge. What I'd like to focus on is that this particular

project really distinguishes itself through a non-site sensitive or non-site specific solution. I think it is an aggressive remodel. It looks like the previously referred to Richmond Specials, that is a slightly different vintage of homes being built out of context. And I *do* take some issue to not recognizing the context when you come forward with an enlargement of this size. We have had other projects, particularly the architect in question, has had push backs on other projects because they just didn't quite hit that subtle middle ground, and I believe that this particular building deserves to be designed with a strong focus on Residential Design Guidelines. And, actually, Residential Design Guidelines should drive the design of this project. What I mean by that is sculpting the project to be site specific and responsive to where it is. I think one of the most glaring errors of this project is that it doesn't step down. It should really, in its extension to the rear, step down in order to create a more harmonious and less intrusive relationship to those people, who spoke and showed the relentlessness of this long building. With that aside, I think that we have issues with sensitive to topo, sensitivity to privacy, issues of privacy—and I have to say, given everything what is there, there's a certain lack of skill by which this project really brutally goes through wanting to eliminate the tree when trees of that particular kind have been an issue for Commissioner Richards, for example, fighting for a tree to become a designated tree. This is in the public right-of-way, a tree that could easily be declared to be a legacy tree, and something for which we could get preservation status because we don't believe that because it has lifted roots, which is not really an issue, it needs to be taken away; it doesn't. So I believe I want to use the discretion of this Commission, particularly as a CU, to suggest that this project has to go back and really get into a serious dialog with the site and the existing conditions. That involves looking at topography, looking at Residential Design Guidelines, how to sculpt a building, and then, if at all possible, still engage into a dialog with the neighbors about very specific issues; that includes the breezeway and leaving a comfortable living environment, even if the home is larger, for the adjoining neighbors. **So I move that we continue the project and look for the architect to work with the Planning Department and with adjoining neighbors.**

Secretary Ionin: Commissioner Moore, do you have a suggested date?

Commissioner Moore: This can take two, three months. This architect has gone through something similar on another project with us; I would say October because, given what we've continued today earlier, this will require

a little bit more work. Perhaps the architect is kind of skilled to do it quicker, but October would be the first date I would choose.

Secretary Ionin: October 13?

Commissioner Moore: Yes

Commissioner Richards: I'll second that.

Secretary Ionin: Nancy, are you saying that you're not available? October 6th? October 20th? Commissioner Moore, are you amenable to October 20th?

Commissioner Moore: Totally. If that suits everybody, that's fine by me.

Secretary Ionin: Shall I call the vote?

Commissioner Richards: There are more comments. Commissioner Hillis, and then I'll speak.

Commissioner Hillis: Yeah, I agree with the continuance. And I think the project needs some work. I appreciate where Commissioner Antonini has taken it to. But I think to me, and if I could ask the project sponsor, the garage causes a lot of problems. You know, it ends up leading you to this area that's a demo; you know, it causes you to change the façade. I mean it's a great kind of historic building. So could I ask you, have you looked at the possibility of keeping [sic] that garage, and I think you get square footage back that you can use for other uses. If you go up the block, up the hill, you know, I don't think there are many homes that have garages. Have you considered eliminating the garage because it's causing you the problems? And why not?

Ms. Condon: Because we wanted to put a garage in there. There are many garages on this street. There are projects approved within the last five years there that are very modern, that are taller than this within the block in the...

Commissioner Hillis: I think the problem is...I mean it's a great historic building, and the context as you go up that street, they are smaller, in height kind of cottage-looking. I mean, I know they all kind of extend

significantly in the back. But what's your goal in this? You know, what is your goal? Because I think you can go a couple ways. You can eliminate the garage. You've got a single-family home; make kind of an addition to the back that's significant, too, and gets you a significant home. So, I think the garage is causing problems. It's the tree; it's the demo; it's the lifting up; it's the historic integrity of the building, and it kind of spirals. You know, to get a two-car garage in there is tough on a small...

Ms. Condon: It's not that difficult. You know, the previously homeowner sold the building because they couldn't do a garage, and they had three children and couldn't fit in a building if they were going to be fought this long to try to remodel it. There are houses that look, frankly, almost identical to this on this block of Hoffman with garages.

Commissioner Hillis: But maybe the topography allowed them easier to facilitate putting in a garage in there. That would be my issue with this; I think it leads to a lot of problems. And certainly in what we've seen in the last couple years is the ability to actually build, sell homes and units without garages; I mean, it happens...a lot. And again, I think it's causing you problems. It's causing you a demo of what I would consider, though the department doesn't consider it necessarily, a historic resource, It leads you to elevate; it causes problems. It adds to the square footage that you could otherwise take back and use for something else, and perhaps give some space back to your adjacent neighbors. I think the project needs work, and that's one direction you should consider. So thanks.

Commissioner Richards: I guess the question I have for staff, Ms. Tran, is...Maybe in a prior packet there was a historical evaluation report or at least a summary of one. Do you have that available? (Others talk) That would be great. If you could hand it over while other commissioners talk. Another question, Ms. Tran, is...Do you know what kind of tree that is? (Others talk.) New Zealand Christmas tree. Okay. (Receives HRER). And, no appraisal? Wouldn't we need an appraisal in this?

Ms. Tran: It's not required for the Conditional Use; it was for the DR.

Commissioner Richards: Okay. Got it. You know, this is like the third or fourth one of these today—demos, de facto demos, demo by definition, whatever you want to call it. We had one at 14 and 16 Laidley, where we're demolishing a two-unit building to create two new units; one was

unoccupied for more than ten years; one's owner occupied, but yet it's a CFCO by the Building Department. Two more units are gone out of rent control. We just sat here and continued an item "to go redesign" on 1848-1850 Green, same issue. Also, whether this is a two-unit building or not, I'd like to talk to Mr. Williams about that, but we keep destroying relatively affordable homes. I keep saying this over and over. One of our Priority Policies is keeping sound housing; it's affordable to 11% of the people or 15% of the people or some number that's not huge or replacing the housing to the 1%. And I get property rights and I get all that, but you turn the corner and we've these big boxes everywhere. We're going to have one on Green Street. And in the City, we're starting to lose it. In Noe Valley, this is becoming endemic. Every block there's something like this going on. At least this one's seen the light of day. Some of them are serial permitting that Ms. Schuttish keeps bringing up and a couple of them I've been involved with the Building Inspection Department. I don't support...I agree with Commissioner Hillis, putting the garage in really takes this into a spiral. And I think you're going to need to work with the neighbors and work more sensitively around keeping more of the building there and expanding as much as you can without actually destroying what you've got, and that includes the tree. Right now, that's all I have. It's getting late.
Commissioner Antonini.

Commissioner Antonini: Yeah, well in terms of the structure (I guess I could ask the project architect) there was question about the lower floors. Maybe the other commissioners should take a trip out there in the interim and see for yourself how low those are because, you know, that's not a legal height for habitation in that lower part of it. So, even though you're talking about cars and garages, the place is going to have to be raised, even if you had no cars, no garage, and you save the tree – all the things you want to do, this junkie house would have to be raised a little bit to make it legal and to have enough space for that lower floor. So that's the first thing. Second of all, families are moving in and moving out because – you know, these are people who moved here, who tried to make a go of it – the family who had it merged, the family who came in after the family who had it merged; they both moved out of San Francisco because they couldn't get parking in there; it was too expensive to try to make this into a livable house for them, and so that's kind of what's before us. So regardless of what we do, and some of these suggestions are probably ones that can be implemented, it's going to be a better, bigger home; ideally two units because at least you can have two families. And families are going to

leave San Francisco unless they can find a family-type situations. It's usually with a garage, with a large enough house, with enough bedrooms, and that's what's happened historically on this. Anyway, I'm happy to continue to work on it and see if we can address the concerns that the other commissioners had. We certainly have plenty of time with it being in October. I would hope it could be sooner but we'll get it done and come back with a project that is even better in October. Unlike the project on Green, which specifically did not even try to make two equal-sized units, this project sponsor listened to what we said and equalized the size of the two units. They may need some more work, but they were moving in the right direction, unlike a lot of project sponsors who throw up modern glass houses, this sponsor is willing to put a Queen Anne home in keeping with what's there now. So I think they're moving in the right direction, and I think we can turn out with a very good product in October.

Commissioner Moore: I think this Commission is having more and more resonance with the fact that the second units, which we are being confronted with in these oversized homes, have to be of equal or like quality as the primary units. I am not prepared to see all second units which are being brought forward to be basement units. I'm not prepared to see them under a garage for sure. And I think we need to raise the level by which people who want to enlarge a primary residence of what type of second unit they're offering because if the existing building has two qualified rent-controlled units in it, we're not doing anything to further the cause to create livable quality units. Nobody wants to live in a basement; nobody wants to live below a garage, leave alone having to contend with as a neighbor to what this thing does to many homes up and down the street. There is no birthright in the fact that a house across the street or somewhere is higher or has a garage. Your site-specific response, and I'm talking to the architect, is what either makes or breaks a unit. This particular Commission has the discretion to talk about the broader issues, which we apply equally to everybody as to whether or not your design meets the expectations, one of what is important to us relative to furthering quality of housing stock but also as to whether or not we are properly responding to what neighbors are asking us. And so, call the question please.

Secretary Ionin: Commissioners, there's a motion that has been seconded to continue this matter to October 20th. Commissioner Antonini?

Commissioner Anotnini: Aye

Secretary Ionin: Commissioner Hillis?

Commissioner Hillis: Aye.

Secretary Ionin: Commission Moore?

Commissioner Moore: Aye.

Secretary Ionin: Commissioner Wu?

Commissioner Wu: Aye,

Secretary Ionin: And Commission Chair Richards?

Commissioner Richards: Aye.

Secretary Ionin: So moved, Commissioners. That motion passes unanimously 6-0; excuse me 5 to 0.

Exhibit 23

**2015-003686CUA for 437 Hoffman Avenue
submitted by Janet Fowler for October 20, 2016**

I urge denial of a continuance of the project located at 437 Hoffman Avenue.

At the June 30th Hearing, Commissioners gave the directives regarding redesign and working with the neighbors to resolve these fundamental issues:

***the tree *the garage *the breezeway * the roofline *the mass on the rear**

The Project Sponsor was given four months to redesign and work with the neighbors Now they are asking for a continuance to wait for more advantageous building codes to be put in place in order to avoid what the Commission told them to do.

THE FOLLOWING TIMELINE DEMONSTRATES THE DEPTH TO WHICH THE COMMISSIONS' DIRECTIVES HAVE BEEN COMPLETELY IGNORED:

- **July 11th: Silverman Email to Delvin Washington:** “Would you be willing to meet with me and Nancy and Kelly Condon to review ? I think some of the neighbors have been bullying the Commissioners into denying the CU on the grounds that it is not “necessary and desirable” (for the neighbors, nothing is desirable), meaning we may need to go back to the DR format to do anything with this property.”
- **July 19th: Surveyors and Project Sponsor spend day at 437 Hoffman.** They also survey my driveway
- **July 29th: Steve Williams emails the Project Sponsor** on behalf of neighbors “to see when the parties can get together to try and come to an agreement to avoid more conflict at the Planning Commission in October. **Reply from Condon:** “We will contact you when we are ready & before the October 20th hearing date.”
- **Aug 4th: Email (from me) to Tran & Washington asking** them to a dialog between the developers and neighbors. **Reply from Condon:** “...we are not yet ready to meet with you. ...Your rhetoric with regard to us throughout this process has been unfair & frankly quite scheming.”
- **Aug 19th: Condon, Tran, Washington make site visit** that includes sidewalk visit to 465 or 471 Hoffman
- **Sept 20th: Emails from G. Schuttish** to Washington inquiring whether there will still be a hearing on Oct. 20th. **Sept 22nd Reply from Tran:** “It will be continued. The project sponsor and neighbors do not need to attend.”
- **Oct 13th: Email (attached) from Condon:** “...no hearing on October 20th... The department is in the midst of revising the planning code regarding demolition & residential thresholds.”
- **Oct 17th: Official Continuance Notification from Tran:** “The Project Sponsor informed me that the project will be redesigned to fall below Section 317 thresholds and as a courtesy, will conduct another meeting to discuss revisions with neighbors.”

**2015-003686CUA for 437 Hoffman Avenue; Oct 20th hearing;
submitted with Timeline by Janet Fowler
Email from Project Sponsor Expansion thresholds: Recalculating, not Redesigning**

From: Kelly Condon <kellymcondon@gmail.com>

To: Janet Fowler <jfowlers@aol.com>

Cc: R Gene Geisler <geneg@sfsu.edu>; Stephen Baskerville <rufnikhound@gmail.com>; PAUL LEFEBVRE <paul.lef123@gmail.com>; Paul K <paulusk12@gmail.com>; Alek Juretic <alek@citidev.com>; Jason Lindley <jason@citidev.com>

Subject: 437 Hoffman Update

Date: Thu, Oct 13, 2016 9:50 am

Hello All -

I'm writing to let you know there will be no hearing on October 20th for 437 Hoffman. We are not sure of the new hearing date but it will be in the first quarter of next year at the earliest.

The planning department is in the midst of revising the planning code regarding demolition & residential expansion thresholds.

We thought this code 'change' was going to take place internally to the department months ago and we thought it was just going to be a clarification of the demo calculation methods (since there has been a lot of confusion & contradiction surrounding this code section for years). We were waiting for that internal meeting to provide a definitive definition for demo so that we could be sure we still met the standards.

But it turns out that the change is an actual revision of code that has to be reviewed on a wider scale & reviewed through numerous commission hearings & through feedback meetings with the public. There are several versions of the new code being debated at those hearings & meetings & whichever version the department lands on will apply to this project - and it will apply retroactively if we are still in process with permits when the code is formalized.

We want to limit the number of revisions to the plans since as you know - there have already been many - so we are waiting to see what the final version of this new code will be before holding the next neighbor meeting.

The new code is supposed to be in place some time in the first quarter of next year.

We will keep you posted as we move forward & we will be sure to schedule a meeting date that works for everyone & that gives plenty of time for us all to process any changes.

Kelly Condon
415-240-8328

Exhibit 24

Excerpt of January 19, 2017 Planning Commission Meeting Minutes

Planning Department

Planning Commission - January 19, 2017 - Minutes

Meeting Date:

Location:

United States

SAN FRANCISCO PLANNING COMMISSION

Meeting Minutes

Commission Chambers, Room 400
City Hall, 1 Dr. Carlton B. Goodlett Place
San Francisco, CA 94102-4689

Thursday, January 19, 2017

12:00 p.m.

Regular Meeting

COMMISSIONERS PRESENT: Richards, Hills, Johnson, Koppel, Melgar Moore

COMMISSIONER ABSENT: Fong

THE MEETING WAS CALLED TO ORDER BY PRESIDENT FONG AT 12:08 P.M.

STAFF IN ATTENDANCE: John Rahaim – Planning Director, Stephanie Skangos, Michael Christensen, Susan Exline, Wade Wietgreffe, Diego Sanchez, Rich Sucre, Jeffrey Speirs, Christopher May, and Jonas P. Ionin – Commission Secretary

SPEAKER KEY:

+ indicates a speaker in support of an item;

- indicates a speaker in opposition to an item; and

= indicates a neutral speaker or a speaker who did not indicate support or opposition

A. CONSIDERATION OF ITEMS PROPOSED FOR CONTINUANCE

The Commission will consider a request for continuance to a later date. The Commission may choose to continue the item to the date proposed below, to continue the item to another date, or to hear the item on this calendar.

1. 2015-008674CUA (C. MAY: (415) 575-9087)

325 29th AVENUE - west side, between Clement Street and California Street, Lot 006 in Assessor's Block 1404 (District 1) - Request for **Conditional Use Authorization** pursuant to Planning Code Sections 303 and 317 to demolish an existing one-story, single-family dwelling and construct a new four-story, 2-unit building within a RH-2 (Residential – House, Two-Family) Zoning District and 40-X Height and Bulk District. This action constitutes the

Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.

Preliminary Recommendation: Approve with Conditions

(Continued from Regular Meeting of October 20, 2016)

(Proposed for Continuance to March 9, 2017)

SPEAKERS: None

ACTION: Continued to March 9, 2017

AYES: Fong, Richards, Hillis, Johnson, Koppel, Melgar, Moore

2. 2015-006815DRP (A. KIRBY: (415) 575-9133)

813 LYON STREET - west side of Lyon Street between Golden Gate Avenue and Turk Street; Lot 005 in Assessor's Block 1150 (District 2) - Request for **Discretionary Review** of Building Permit Application No. 2015.05.07.5705, proposing the construction of a two-story vertical addition and horizontal expansion to accommodate two new dwelling units within a RH-3 (Residential, House, Three-Family) Zoning District and 40-X Height and Bulk District. This action constitutes the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.

Staff Analysis: Abbreviated Discretionary Review

Preliminary Recommendation: Do Not Take Discretionary Review and Approve

(Continued from Regular Meeting of October 20, 2016)

WITHDRAWN

3. 2015-003686CUA (N. TRAN: (415) 575-9174)

437 HOFFMAN AVENUE - east side of Hoffman Avenue, between 24th and 25th Streets, Lot 024 in Assessor's Block 6503 (District 8) - Request for **Conditional Use Authorization** pursuant to Planning Code Sections 303 and 317 (tantamount to demolition), for a project proposing to demolish an existing three-story over basement, single-family residence and construct additions to create a three-story over basement building with two dwelling units. Exterior changes such as raising the structure ~6 feet for a new garage door, front porch, entry

stairs, rear terrace/deck as well as extensive interior remodeling are also proposed. The subject property is located within a RH-2 (Residential-House, Two-Family) Zoning District and 40-X Height and Bulk District. This action constitutes the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.

Preliminary Recommendation: Approve with Conditions

(Continued from Regular Meeting of October 20, 2016)

WITHDRAWN

SPEAKERS: Janet Fowler (submitted):

The Project Sponsor has had four months to revise the project and implement the June 30, 2016 Commission directives. In light of the directives, and also with respect and concern for the process, I am rewriting the staff memo to better state the facts:

Here's what I think would be a more fitting Staff Memo:

Since the June 30, 2016 hearing, the Project was revised to keep the New Zealand Christmas Tree, the garage was moved to the south side instead of being eliminated, the building will be lifted higher so that height of the building will be increased rather than reduced, part of the western breezeway will be retained for light in the lower unit, and there was chipping away net to the northerly neighbor at the rear to reduce the overall demolition stats thereby reducing some massing around the northerly property's windows and service stairwell that does not address the elimination of sunshine to this neighbor. The roof, after the first 15 feet from the facade, is minimally sloped and, with the building's increased overall height, it further enhances the loss of sunshine to the northerly neighbor and enhances the loss of privacy to both the northerly and southerly neighbors. In addition, the Project has been revised to encourage cooperation between unit dwellers by providing upper-unit access to the rear via the lower unit. The Project has also been revised to accentuate the incongruence of its excessive height in comparison to the neighboring homes and from the street view and to ensure the incongruity with the character of the neighborhood.

June 30, 2016 Planning Commission Directives:

- 1) maintain the breezeway between Mr. Geisler's property and the project
- 2) save the existing tree
- 3) eliminate the garage so as to reduce the addition of mass at the rear;
- 4) reduce the height and continue the peaked roof as it is all the way back to allow sunlight to adjacent buildings;
- 5) reduce the size and/or eliminate the terraces;

- 6) “step down” the building with the other at the rear and on the stree-scape;
- 7) retain the façade and more of the building to avoid a demolition; and,
- 8) abide the Residential Design Guidelines to reduce and shape the proposal to fit the neighboring buildings and topography.

Commissioner Moore:

“So I move that we continue the project and look for the architect to work with the Planning Department and with adjoining neighbors.”

Georgia Schuttish:

This project at 437 Hoffman has had a great many twists and turns. Three DR requestors, all immediate neighbors to the project filed their DR over a year ago.

The project was changed to a CUA at the Sponsor’s request. Two hearings were continued in the Spring of 2016.

On June 30, 2016 the Commission heard the CUA and made specific directives to revise the Project.

The Commission was to review changes, on October 27, 2016, but instead Sponsor asked for an indefinite continuance which the Commission denied and set a hearing for today.

Now the project is withdrawn. A new 311 will be issued.

In order to be fair to the neighbors and most importantly the process, I am asking the Commission to grant a fee waiver to the three original DR requestors, IF they decide to file a DR.

Please consider this today and please consult with the City Attorney if you need to at the hearing today since this will be your only chance to weigh in on the withdrawal.

B. CONSENT CALENDAR

All matters listed hereunder constitute a Consent Calendar, are considered to be routine by the Planning Commission, and may be acted upon by a single roll call vote of the Commission. There will be no separate discussion of these items unless a member of the Commission, the public, or staff so requests, in which event the matter shall be removed from the Consent Calendar and considered as a separate item at this or a future hearing

- 4. [2016-004865CUA](#) (S. SKANGOS: (415) 575-8731)

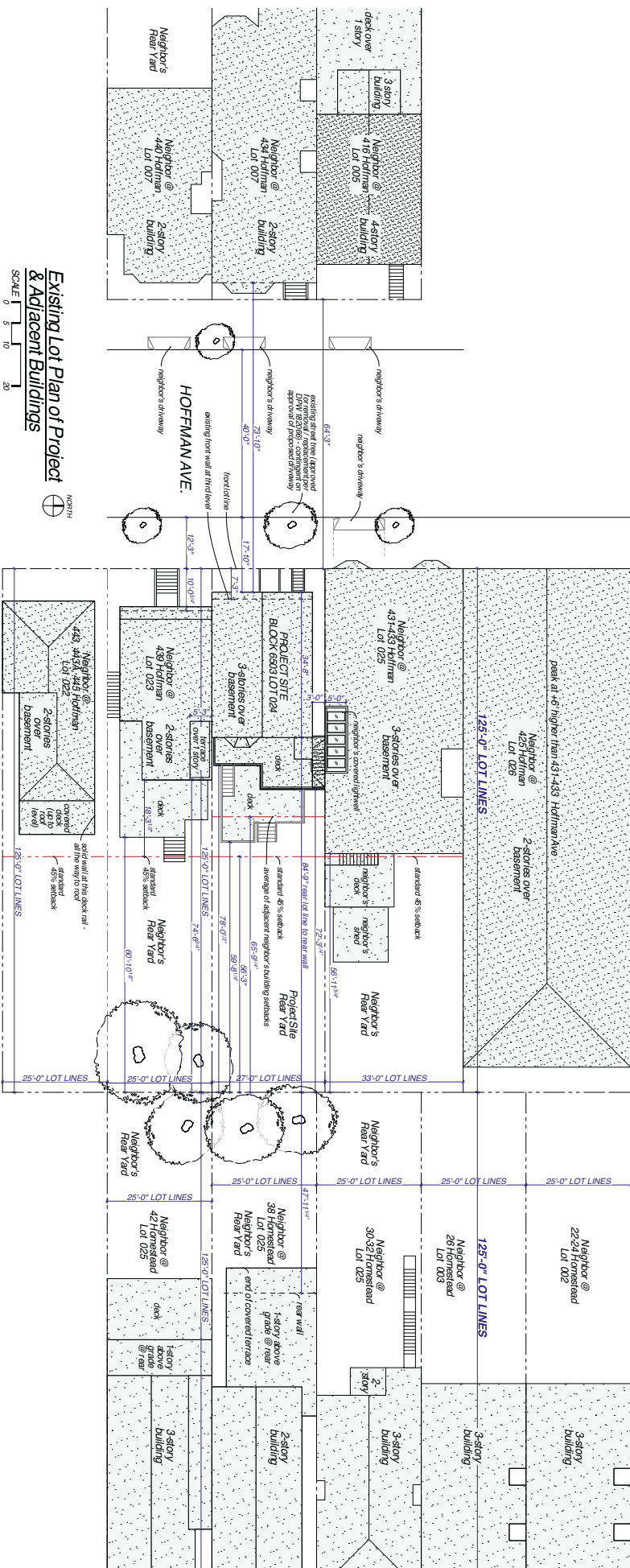
1101 FILLMORE STREET - west side between Turk Street and Golden Gate Avenue; Lot 002 of Assessor’s Block 0755 (District 5) - Request for a **Conditional Use Authorization**, pursuant to Planning Code Sections 303(c) and 747.33A, to modify an existing AT&T

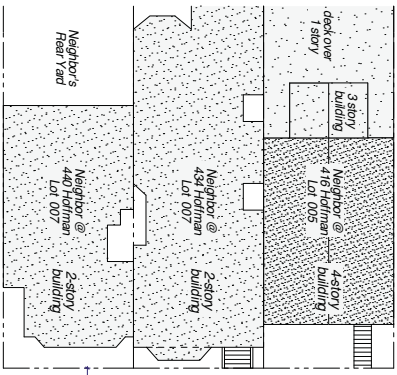
Remaining Pages Excerpted

Exhibit 25

**Existing Lot Plan of Project
& Adjacent Buildings**

SCALE 0 5 10 20

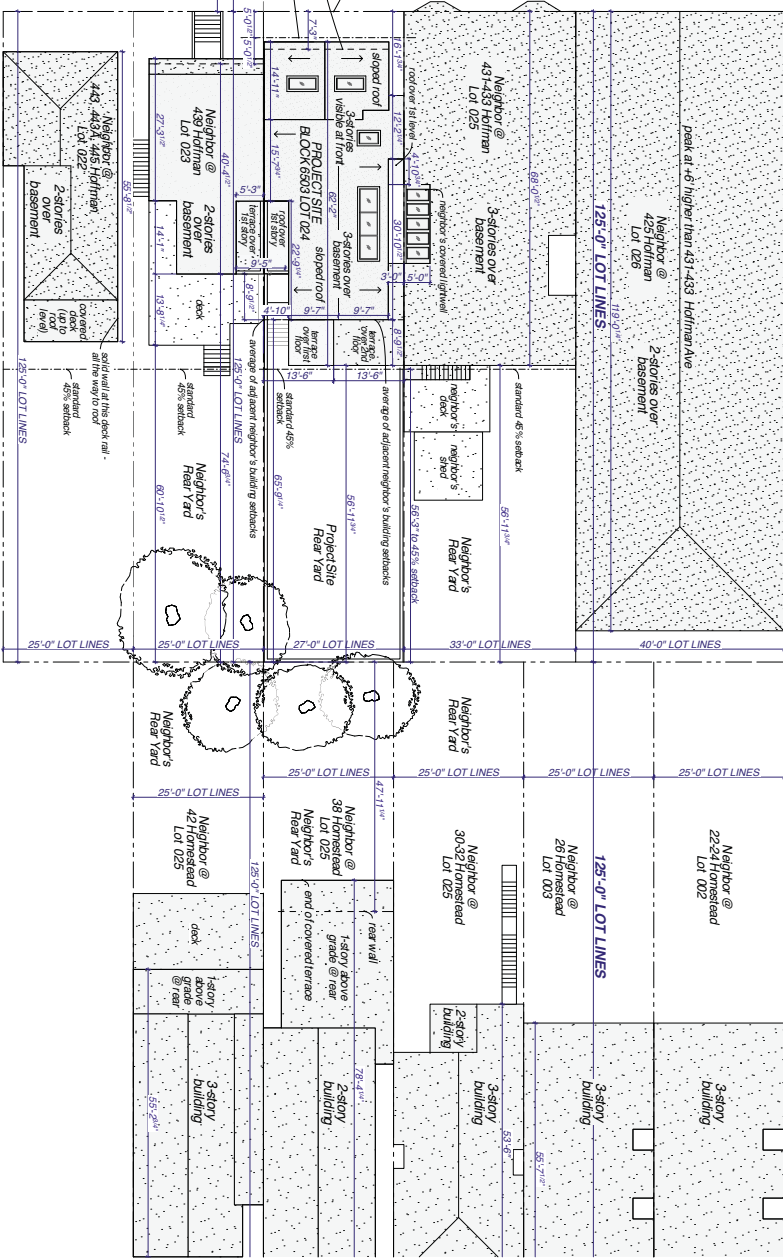


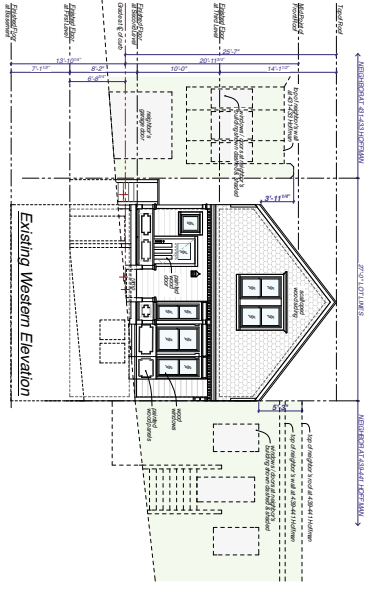


**Proposed Lot Plan of Project
& Adjacent Buildings**

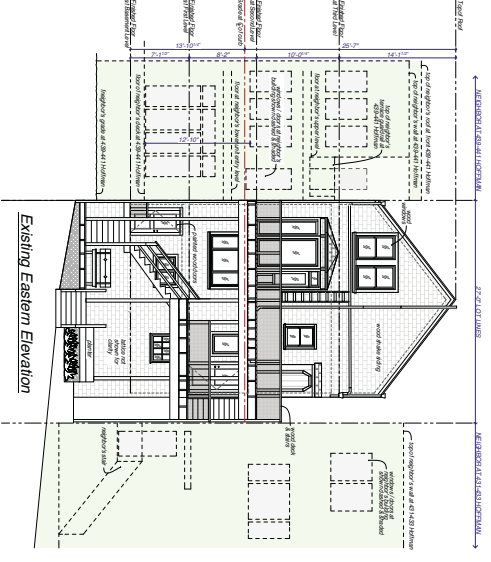
SCALE 0 5 10 20

NORTH

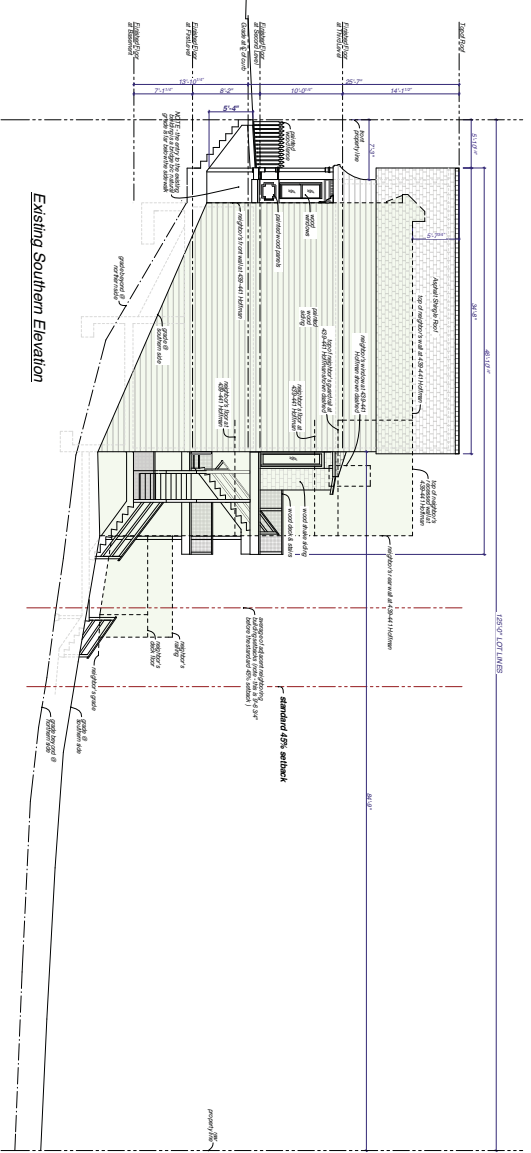




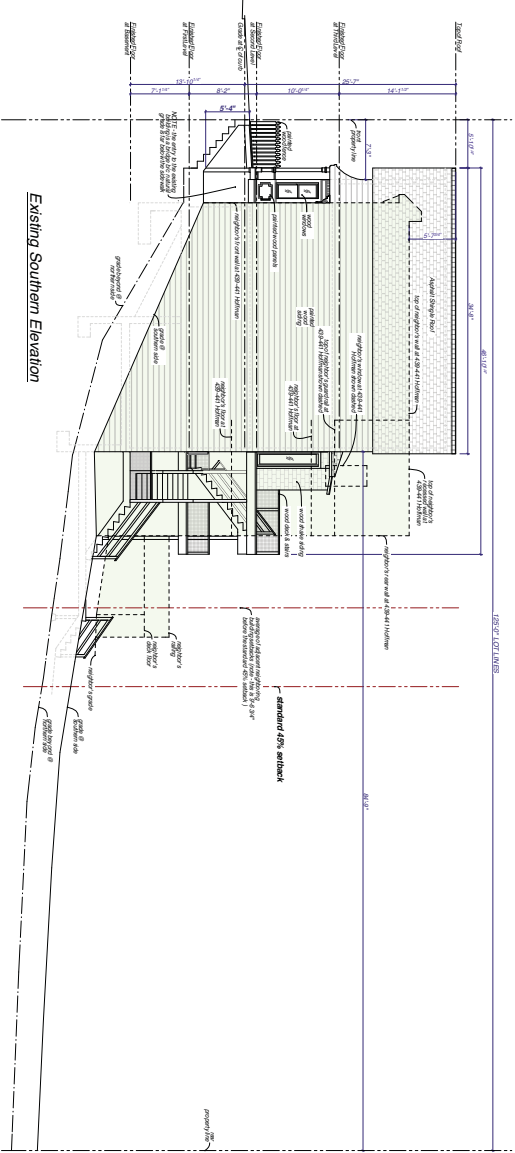
Existing Western Elevation



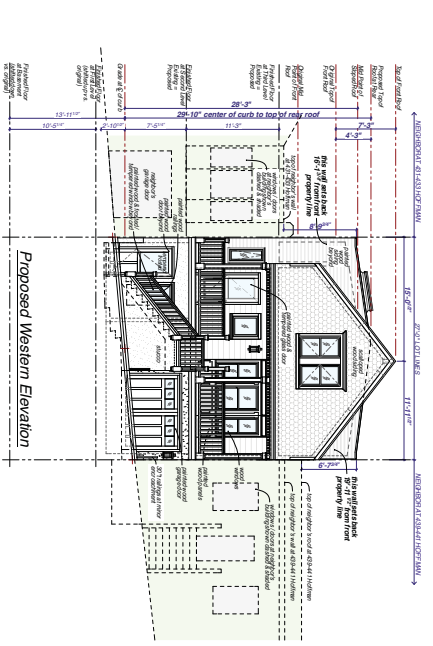
Existing Eastern Elevation



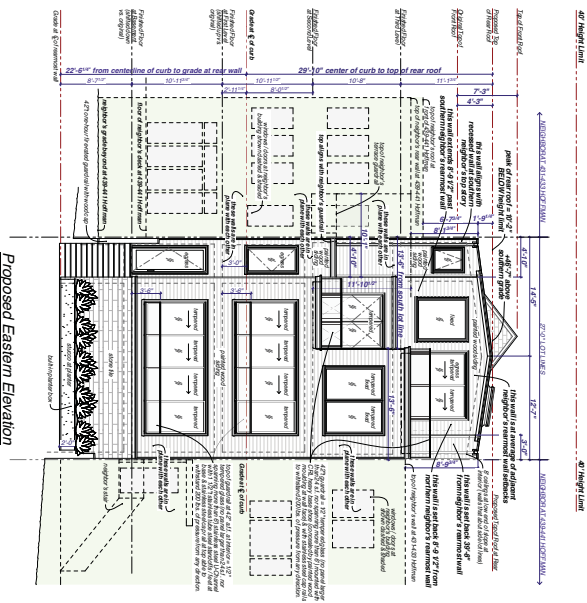
Existing Southern Elevation



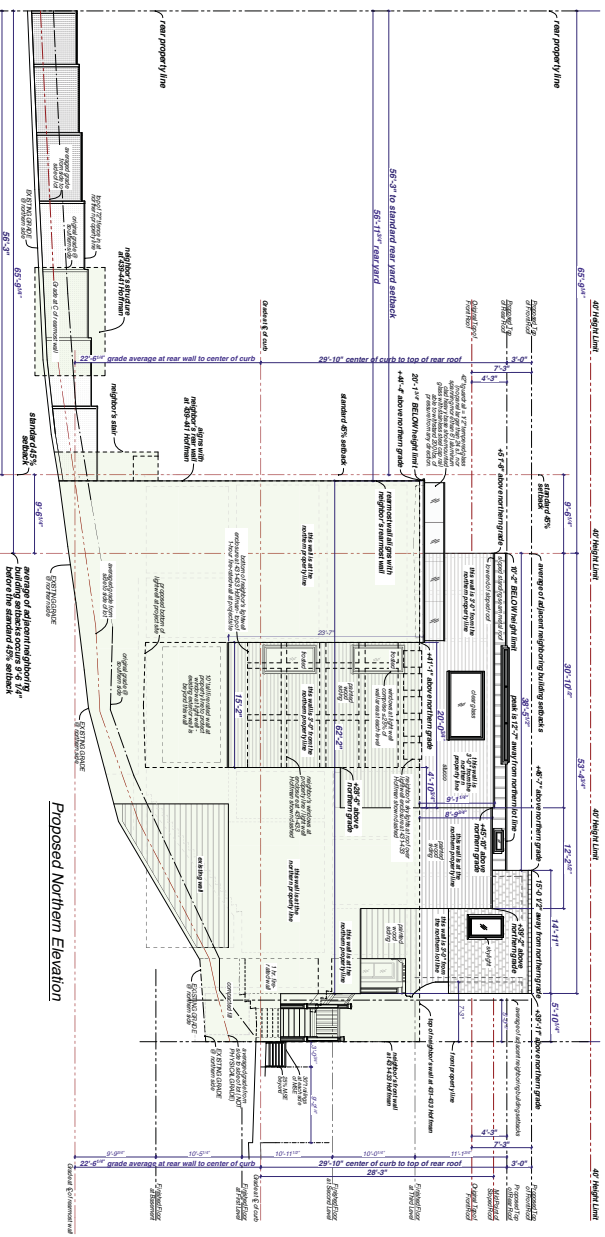
Existing Northern Elevation



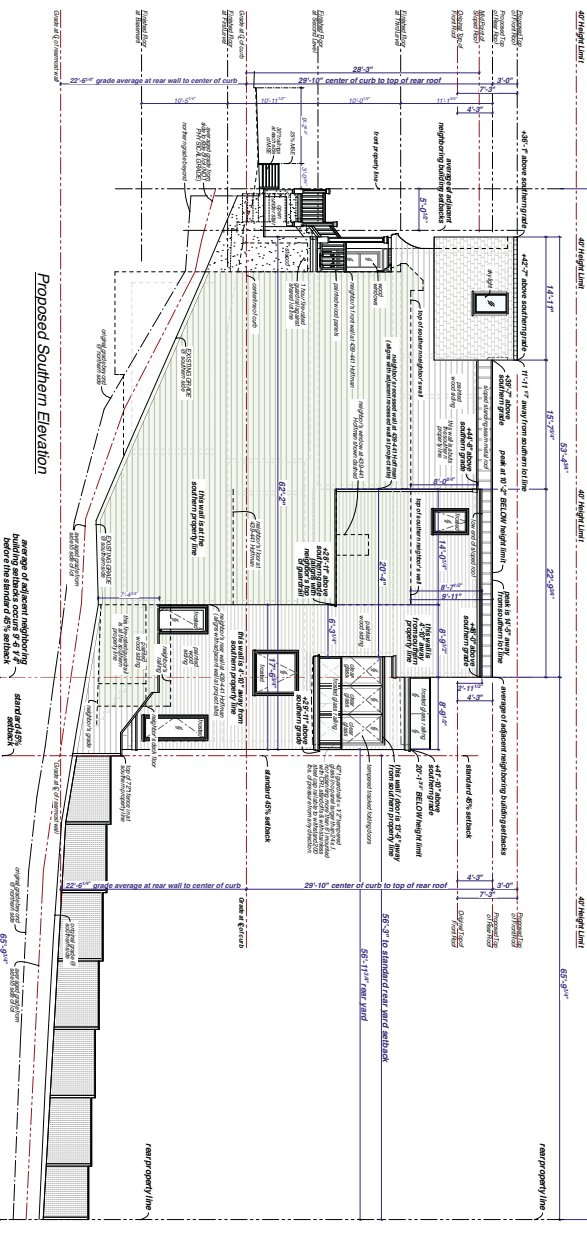
Proposed Western Elevation



Proposed Eastern Elevation



Proposed Northern Elevation



Proposed Southern Elevation

Mon, Jun 5, 2017 9:38 am

437 Hoffman Avenue, ~~April 7~~ [June 15] , Permit App. #2014.04.11.3029 (JUNE 15)

From Alison Appel alisonappel@gmail.comhide details

To dennis.richards dennis.richards@sfgov.org, planning planning@rodneymfong.com,
christine.d.johnson christine.d.johnson@sfgov.org, joel.koppel joel.koppel@sfgov.org,
myrna.melgar myrna.melgar@sfgov.org, mooreurban mooreurban@aol.com, richhillissf
richhillissf@yahoo.com

Cc Commissions.Secretary Commissions.Secretary@sfgov.org, nancy.h.tran
nancy.h.tran@sfgov.org

show image slideshow

Dear President Hillis and Members of the Commission:

Myself and my husband, Chris Waterson, owned 435-437 Hoffman for 9 years from 1997-2006. We were the only the third owners of the home since it was built in 1905. It has always been a great home, with a great yard and view, on a quiet street of like-sized homes in Noe Valley. It was well loved and maintained when we purchased it and we continued the tradition by making responsible updates and maintenance while we owned it. A home a few doors up was torn down towards the end of ownership. In that case the house was dilapidated and rotting. It needed to be torn down and rebuilt (46X- I don't recall exact street number.) 437 does not.

I was at home one day when an elderly woman and her adult grandson knocked on my door. She was the granddaughter of the man who built the home. He and his son, her father, were of German descent and were employed as shipbuilders. The house was finished on October 19, 1905. Their signatures and the date were on the back of the basement door. This was roughly 6 months prior to the April 1906 San Francisco earthquake. The woman went on to tell me that her grandfather designed the house and built it like a ship. This is what credits it to having sustained little to no damage during the 1906 and 1986 [1989] earthquakes plus the multitude of smaller one's since the home was built.

After the 1906 earthquake her grandmother took in 17 neighbors to live on the property with her family after their homes were destroyed. Her grandmother and grandfather plus some aunts and uncles lived in 437 Hoffman, and she and her dad and family lived in the unit below at 435 Hoffman— plus those 17 others for months while they helped put those lives back together. The image attached is the one that this woman sent to me of her grandfather and father building the home. I left that and other photos with the couple that purchased the home from me. Unfortunately, all the details of the names and addresses of this family were with that information.

I have my own attachment to the home. It is where my daughter was born and learned to walk and talk and all those firsts. Another knock on the door years before that was young man whose young mother and father had rented 435 Hoffman. He was born while his parents lived there and stayed until a young child. He just wanted to know if the yard was still the same. He remembered happy times in the backyard.

I have seen the proposed changes to the property. Why? Why is a structure that large needed? The house is almost 2300 Square Feet if you connect the two units or 1500 and 750 separately. Even a modest bump out of the back could gain some additional

room without the total gutting of the house as proposed. Plus the proposed changes dramatically change the view, light, and aesthetics of the neighboring structures. This new design does not fit the properties around it, even if it meets a building allowance code. It will tower those around it.

I urge you to do the right thing and preserve this home. Allow for the home to be remodeled and even a proportional addition, but not this current proposal. 437 Hoffman is a special place and deserves to continue to be cherished by families in the years to come.

Sincerely,
Alison Appel
PO Box 8420
Incline Village, NV 89450

**Note: Bracketed corrections were inserted by J Fowler per request of Alison Appel. Alison separately forwarded the defective image that she attached to her email. The image is of 437 Hoffman during construction.*



Subject: 437 Hoffman Avenue, June 15, Permit App. #2014.04.11.3029
To: richhillissf@yahoo.com, dennis.richards@sfgov.org,
planning@rodneymfong.com, christine.d.johnson@sfgov.org,
joel.koppel@sfgov.org, myrna.melgar@sfgov.org, mooreurban@aol.com
Cc: Commissions.Secretary@sfgov.org, nancy.h.tran@sfgov.org

From: Carter Benson <carterbenson@yahoo.com>
To: Janet Fowler <jfowlers@aol.com>
Sent: Mon, Jun 5, 2017 4:46 pm
Subject: 437 Hoffman Avenue

I rented the lower apt. and lived there with my son in about 1975-77.
I was a teacher then.
The house was owned by a teacher at James Lick Middle School
He and his wife and two children lived there on the upper floors.
So, that's what happened to teacher housing.

Carter

Carter Benson lives on Hoffman Avenue @ corner of 25th Street. One day he told me that he had lived in the unit at 437 Hoffman. He says his activism days are over but sent me this email to forward to you. - Janet Fowler

From: **John Odell** <jodell@ccsf.edu>
Date: Wed, Jun 7, 2017 at 12:59 PM
Subject: 437 Hoffman Avenue, June 15, Permit App. #2014.04.11.3029
To: "richhillissf@yahoo.com" <richhillissf@yahoo.com>, "dennis.richards@sfgov.org" <dennis.richards@sfgov.org>, "planning@rodnefong.com" <planning@rodnefong.com>, "christine.d.johnson@sfgov.org" <christine.d.johnson@sfgov.org>, "joel.koppel@sfgov.org" <joel.koppel@sfgov.org>, "myrna.melgar@sfgov.org" <myrna.melgar@sfgov.org>, "mooreurban@aol.com" <mooreurban@aol.com>
Cc: "Commissions.Secretary@sfgov.org" <Commissions.Secretary@sfgov.org>, "nancy.h.tran@sfgov.org" <nancy.h.tran@sfgov.org>, "jonas.ionin@sfgov.org" <jonas.ionin@sfgov.org>

Dear President Hillis and Members of the Planning Commission:

My name is John Odell. My wife, Gloria Kemp, and I reside at 115 Hoffman Avenue, a home we have owned and occupied for more than 38 years. During that time we have witnessed some awful building decisions (such as the four story monstrosity that replaced a cottage at 204 Hoffman some twenty years ago), but have also seen many instances of thoughtful upgrading of properties. A great example is our 100 block of Hoffman, where at least seven homes have been upgraded or renovated without degrading our neighborhood character.

It is with this in mind that I'm writing to voice my strong opposition to the building proposed for 437 Hoffman. While technically "legal," this grossly oversized and poorly designed structure (a unit UNDER the garage?) is, in my opinion, totally inappropriate for this section of smaller homes on this part of the block.

As Commissioner Moore observed at your June 30, 2016 hearing, *"I think it is an aggressive remodel. It looks like the previously referred to Richmond special, that it's a slightly different vintage of homes being built out of context and I do take some issue to not recognizing the context when you come forward with an enlargement of this size. We have had other projects. Particularly, the architect in question has had pushback on other projects because they just didn't quite hit that subtle middle ground. And I believe that this particular building deserves to be designed with a strong focus on residential design guidelines and actually residential design guidelines should drive the design of this project."*

While understandably the sponsors' wish to maximize the return on their investment, profiting at the expense of adjacent property owners and tenants by degrading the quality of the neighborhood is a "taking." And as I am sure you are aware, this is "taking" that has occurred and is occurring all over our city.

From Commissioner Richards, same hearing, *"And you turn the corner, we got these big boxes everywhere. We're going to have one on Green Street. And the city is--we're starting to lose it. In Noe Valley, this is becoming endemic. Every block, there's something like this going on. At least this one has seen the light of day. Some of them are serial permitting. That issue just keeps springing up and a couple I've actually been involved in with the Building Inspection Department I don't support--I agree with*

Commissioner Hillis, putting the garage in really is--and this takes us into a spiral. And I think you're going to need to work with neighbors and work more sensitively around keeping more of the building there and expanding as much as you can without actually destroying what you've got, and that includes the tree."

And speaking of the tree, as I'm sure you know, many sponsors will promise anything to get their projects approved, and this sponsor has pledged to keep the ancient New Zealand Christmas Tree. But I think we'd be kidding ourselves to believe any project of this scope can be done working around that tree.

And we'd also be kidding ourselves if we believe fitting nearly 5,000 square feet of building into this lot is an appropriate or sound idea. I think that trying to make this a two-unit dwelling is the core error. A 3500-4,000 sq. ft. single family home would fit far better, would be compatible with the neighborhood, and would, I believe, sell at a handsome price.

I do not envy you, commissioners, for the difficult tasks you have undertaken in serving on this body. Some person or group will always be unhappy with any decision you arrive at. But the decisions you make are terribly critical. Your choices will have long-term repercussions that will ripple through neighborhoods and through the city as a whole for decades to come.

Change is inevitable, and what goes up at 437 Hoffman will have a lasting effect on future changes to this block and to others. Given the large scope of resistance to this project, and given its outrageous size and configuration, I urge you, in the strongest terms, to reject it in its entirety and steer its sponsors towards a more acceptable proposal.

Sincerely,

John Odell