



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: SEPTEMBER 10, 2015

Date: September 3, 2015
Case No.: **2015-005651CUA**
Project Address: **1750 Fulton Street**
Zoning: NC-S (Neighborhood Commercial, Shopping Center)
40-X Height and Bulk District
Block/Lot: 1175/031
Project Sponsor: James Shively
Stantec Architecture
100 California Street
San Francisco, CA, 94111
Staff Contact: Alexandra Kirby – (415) 575-9133
alexandra.kirby@sfgov.org

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The applicant proposes to establish a 690 square-foot formula retail financial service use (d.b.a. Wells Fargo) inside of an existing 55,200 square-foot retail space occupied by a formula retail grocery use (d.b.a. Lucky Supermarket). The project includes interior tenant improvements. Wells Fargo is a banking company with approximately 6,200 locations in the United States and 40 branches in San Francisco. The project includes minor interior tenant improvements and new signage.

The proposal requires a Conditional Use Authorization pursuant to Planning Code Sections 303 and 703.3, and 703.4 to establish a 690 square-foot formula retail use (d.b.a. Wells Fargo) within an existing commercial building located in the NC-S and a 40-X Height and Bulk District.

SITE DESCRIPTION AND PRESENT USE

The project site is located at the north side of Fulton Street between Masonic and Central Avenues in the Western Addition neighborhood, Assessor's Block 1175, Lot 031. The parcel is 76,254 square feet in area and is occupied by five buildings within the subject block, constructed in 2001. Two three- to four-story residential buildings are concentrated along McAllister Street, and Fulton Street features four-story structures with commercial at the ground story, set back along a loading and automobile pass-through area. There are four commercial storefronts at the ground floor with residential condominiums above, and parking facilities to the east of the development. The 690 square-foot interior space at the ground floor intended for the project was formerly occupied by a display area for the existing Lucky Market.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is located in a NC-S (Neighborhood Commercial – Shopping Center) Zoning District and adjacent to a small NC-1 District that runs along Fulton Street for approximately one block, crossing over Masonic Avenue to include the parcel at the southwest corner. The subject NC-S district is comprised of the subject block, with four parcels at the southeast corner, facing Central Avenue, excluded. The surrounding development consists of predominantly residential development ranging in height from two to three stories; many parcels are developed with multi-family apartment complexes. The surrounding zoning is primarily RH-3 (Residential House, Three-Family) and RM-1 (Residential – Mixed, Low Density) District zoning. The Golden Gate Park Panhandle is located three blocks to the south and the University of San Francisco is located to the west across Masonic Avenue.

Of the 16 commercial establishments within a 300’ vicinity, there are 4 formula retail establishments amounting to 25% formula retail. The subject project would add an additional formula retail establishment to the district, increasing the intensity to approximately 29%. The proposed signage would replace one existing exterior sign and match existing signage in size and type, and additional signage would be installed in the store interior.

Table 1. 300’ Vicinity Ground Floor Frontage Breakdown per Land Use

LAND USE TYPE	STREET FRONTAGE TOTAL (FT.)	RESULTING PERCENTAGE
Automotive	80	9%
Dry Cleaning/Laundry	68	8%
Financial	86	10%
Grocery	201	24%
Limited Restaurant / Restaurant	222	26%
Personal Service	172	20%
Vacant	25	3%
Total	854	100%

The use mix is varied in the subject area, although the uses are predominantly neighborhood-serving. Grocery establishments comprise 24% of the frontage of the NC-S, while eating establishments (limited restaurants and restaurants combined) comprise 26% of the ground floor frontage. The present frontage for financial uses is at 10% and would not change due to the interior location of the proposed use. These calculations do not include non-retail establishments, such as institutions, parking, or public services.

ENVIRONMENTAL REVIEW

The project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 1 categorical exemption.

HEARING NOTIFICATION REQUIREMENTS

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	August 19, 2015	August 19, 2015	20 days
Posted Notice	30 days	August 10, 2015	August 10, 2015	30 days
Mailed Notice	30 days	August 10, 2015	August 10, 2015	30 days

PUBLIC COMMENT

- To date, the Department has not received any letters or emails in opposition to or support of the project.

ISSUES AND OTHER CONSIDERATIONS

- The Planning Department has recently adopted new legislation regarding Formula Retail establishments in the City, which expands the Citywide definition of formula retail to include business that have 11 or more outlets worldwide, to include businesses that are at least 50% owned by a formula retail businesses and in any of the following land use categories: Limited Financial Service, Fringe Financial Service, Business and Professional Service, Personal Services, Massage Establishment and Tobacco Paraphernalia Establishment, which were not previously included in the City's formula retail definition. The proposed establishment is considered a formula retail use with approximately 6,200 locations.
- Formula retail findings are included in the Draft Motion for the Commission to consider.
- The Project would introduce a new formula retail use within the NC-S District, and thus result in a net increase in the number of formula retail uses within the district.
- There are 4 existing formula retail establishments out of 16 retail uses within the NC-S, amounting to a total concentration of 25%.

Within the 300' vicinity, there is one existing formula retail financial service location, a Chase Bank branch on the subject lot. There are additionally four ATMs (Limited Financial Service) within a quarter mile radius of the proposed location.

REQUIRED COMMISSION ACTION

For the Project to proceed, the Commission must grant Conditional Use authorization to allow the establishment of a 690 square foot formula retail use d.b.a Wells Fargo within the NC-S (Neighborhood Commercial – Shopping Center) District pursuant to Planning Code Sections 703.3, 703.4 and 303.

BASIS FOR RECOMMENDATION

- No commercial tenant would be displaced and the project would not prevent the district from achieving optimal diversity in the types of goods and services available in the neighborhood. The project will provide the NC-S with a second financial service establishment in an area with limited access to such services.
- The proposed use would nominally increase the overall concentration of formula retail establishments within the NC-S.
- The existing business is within close access to public transit.
- The Project meets all applicable requirements of the Planning Code.
- The Project is desirable for and compatible with the surrounding neighborhood.

RECOMMENDATION: Approval with Conditions
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Attachments:

- Block Book Map
- Sanborn Map
- Zoning Map
- Aerial Photograph
- Site Photograph
- Map of Formula Retail locations in the vicinity

Exhibit Checklist

- | | |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Block Book Map | <input type="checkbox"/> Health Dept. review of RF levels |
| <input checked="" type="checkbox"/> Sanborn Map | <input type="checkbox"/> RF Report |
| <input checked="" type="checkbox"/> Aerial Photos | <input type="checkbox"/> Community Meeting Notice |
| <input type="checkbox"/> Context Photo | <input type="checkbox"/> Public Correspondence |
| <input checked="" type="checkbox"/> Site Photo | |

Exhibits above marked with an "X" are included in this packet

_____ AK _____
Planner's Initials



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- | | |
|--|--|
| <input type="checkbox"/> Affordable Housing (Sec. 415) | <input type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 413) | <input type="checkbox"/> Child Care Requirement (Sec. 414) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 412) | <input type="checkbox"/> Other |

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Planning Commission Draft Motion

HEARING DATE: SEPTEMBER 10, 2015

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Case No.: **2015-005651CUA**
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ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 703.3, 703.4, 713.49 AND 303.1 OF THE PLANNING CODE TO ESTABLISH A FORMULA RETAIL FINANCIAL SERVICE USE (D.B.A. WELLS FARGO), WITHIN A NCS (NEIGHBORHOOD COMMERCIAL, SHOPPING CENTER) DISTRICT, AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On May 11, 2015, James Shively (hereinafter “Project Sponsor”) filed an application with the Planning Department (hereinafter “Department”) for Conditional Use Authorization under Planning Code Section(s) 703.3, 703.4 and 303 to establish a formula retail use (a financial service location d.b.a. Wells Fargo) inside of the existing 55,200 square-foot tenant space currently occupied by a retail use (a financial service location d.b.a. Lucky Supermarket). The proposed use would occupy approximately 690 square feet of the existing use, or approximately 1% of the total floor area. The subject site located within a NCS (Neighborhood Commercial, Shopping Center) District and a 40-X Height and Bulk District.

On September 10, 2015, the San Francisco Planning Commission (hereinafter “Commission”) conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2015-005651CUA.

The project is exempt from the California Environmental Quality Act ("CEQA") as a class 1 categorical exemption.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2015-005651CUA, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description.** The project site is located at the north side of Fulton Street between Masonic and Central Avenues in the Western Addition neighborhood, Assessor's Block 1175, Lot 031. The parcel is 76,254 square feet in area and is occupied by five buildings within the subject block, constructed in 2001. Two three- to four-story residential buildings are concentrated along McAllister Street, and Fulton Street features four-story structures with commercial at the ground story, set back along a loading and automobile pass-through area. There are four commercial storefronts at the ground floor with residential condominiums above, and parking facilities to the east of the development. The 690 square-foot interior space at the ground floor intended for the project was formerly occupied by a sales display area for the existing Lucky Market.
3. **Surrounding Neighborhood.** The project site is located in a NC-S (Neighborhood Commercial – Shopping Center) Zoning District and adjacent to a small NC-1 District that runs along Fulton Street for approximately one block, crossing over Masonic Avenue to include the parcel at the southwest corner. The subject NC-S district is comprised of the subject block, with four parcels at the southeast corner, facing Central Avenue, excluded. The surrounding development consists of predominantly residential development ranging in height from two to three stories; many parcels are developed with multi-family apartment complexes. The surrounding zoning is primarily RH-3 (Residential House, Three-Family) and RM-1 (Residential – Mixed, Low Density) District zoning. The Golden Gate Park Panhandle is located three blocks to the south and the University of San Francisco is located to the west across Masonic Avenue.
4. **Project Description.** The applicant proposes to establish a 690 square-foot formula retail financial service use (d.b.a. Wells Fargo) inside of an existing retail space occupied by a formula retail grocery use (d.b.a. Lucky Supermarket). The project includes interior tenant improvements. Wells Fargo is a banking company with approximately 6,200 locations in the United States and 40 branches in San Francisco

5. **Public Comment.** The Department has received no letters or calls in opposition to or support of the project to date.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

A. Formula Retail. Planning Code Section 703.3 provides additional criteria for the Planning Commission to consider when considering any discretionary review pursuant Section 703.3, Formula Retail Uses:

- a. The existing concentrations of formula retail uses within the district.

There are 4 existing ground story formula retail establishments out of 16 retail establishments within the 300' vicinity: on the subject lot, a Chase Bank location, Great Clips, and the Lucky Market within which the subject formula retail use is proposed; a Starbucks Café is located on the opposite side of Fulton Street at the corner of Masonic Avenue. The existing intensity of formula retail uses is 25% of all businesses within the district, and 39% of the total commercial retail street frontage. The proposed establishment would increase the concentration of formula retail establishments to approximately 29% and would not affect the formula retail commercial frontage in the district, as it would be located within an existing retail location.

- b. The availability of other similar retail uses within the district.

Within the 300' vicinity, there is one existing formula retail financial service location, the Chase Bank branch on the subject lot. There are additionally four ATMs (Limited Financial Service) within a quarter mile radius of the proposed location.

- c. The compatibility of the proposed formula retail use with the existing architectural and aesthetic character of the district.

The project will occupy 690 square feet of interior space within the existing grocery store (dba Lucky Supermarket), and no exterior alterations are proposed. Therefore, the proposed use will have no effect on the architectural and aesthetic character of the district. Proposed signage will be limited to an exterior indirectly illuminated wall sign, which will replace an existing sign on the Fulton Street facade.

- d. The existing retail vacancy rates within the district.

There is currently 1 vacancy out of 16 commercial locations within the 300' vicinity, creating a vacancy rate of approximately 6%.

- e. The existing mix of Citywide-serving retail uses and neighborhood-serving retail uses within the district.

63% (10) of the occupied retail uses in the 300' vicinity are "Daily-Needs," or neighborhood-serving; of these, 4 are formula retail. This includes the subject grocery store, adjacent Chase banking location, and both personal service uses on the subject lot. The remaining 37% (6) of locations which do not serve daily needs is composed of 4 restaurants and 2 automotive repair locations. The proposed retail use does qualify as a "Daily-Needs" use.

- f. Additional data and analysis set forth in the Performance-Based Design Guidelines adopted by the Planning Commission.

Of the 16 commercial establishments in the 300' vicinity, there are 4 formula retail establishments amounting to 25% formula retail. The subject project would add an additional formula retail establishment to the district, increasing the intensity to approximately 29%. The proposed signage would replace one existing exterior sign and match existing signage in size and type, and additional signage would be installed in the store interior.

Table 1. 300' Vicinity Ground Floor Frontage Breakdown per Land Use

LAND USE TYPE	STREET FRONTAGE TOTAL (FT.)	RESULTING PERCENTAGE
Automotive	80	9%
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Limited Restaurant / Restaurant	222	26%
Personal Service	172	20%
Vacant	25	3%
Total	854	100%

The use mix is varied in the subject area, although the uses are predominantly neighborhood-serving. Grocery establishments comprise 24% of the frontage of the NC-S, while eating establishments (limited restaurants and restaurants combined) comprise 26% of the ground floor frontage. The present frontage for financial uses is at 10% and would not change due to the interior location of the proposed use. These calculations do not include non-retail establishments, such as institutions, parking, or public services.

- g. For formula retail uses of 20,000 square feet or more, except for General or Specialty Grocery stores as defined in Articles 2, 7, 8 of this Code, the contents of an economic impact study prepared pursuant to Section 303(i) of the Planning Code.

As the subject retail use is less than 20,000 square feet, an economic impact study is not required for this project.

- B. Street Frontage in Neighborhood Commercial Districts.** Planning Code Section 145.1 requires that within NC Districts space for active uses shall be provided within the first 25 feet of building depth on the ground floor and 15 feet on floors above from any facade facing a street at least 30 feet in width. In addition, the floors of street-fronting interior spaces housing non-residential active uses and lobbies shall be as close as possible to the level of the adjacent sidewalk at the principal entrance to these spaces.

The subject building is presently set back from the property line and sidewalk, with an automotive passenger loading zone dividing it from the sidewalk. No alterations are proposed to the primary façade of the existing structure.

- C. Off-Street Parking and Loading.** Section 151 requires retail stores to provide one parking space for every 500 square feet of occupied floor area, where the occupied floor area exceeds 5,000 square feet.

The project does not occupy more than 5,000 square feet of floor area, and therefore does not require the provision of off-street parking. Off-street parking is available for customers of the businesses located on the subject lot.

- D. Loading.** Section 152 requires off-street freight loading for uses above a certain size. Eating Retail uses up to 10,000 square feet in gross floor area are not required to provide off-street freight loading.

The project is less than 10,000 square feet in gross floor area and is therefore not required to provide off-street freight loading.

- E. Use Size.** Section 713.21 establishes size limits on nonresidential uses in NC-S districts. Within the District, conditional use authorization is required for any nonresidential use that exceeds 5,999 square feet.

The subject space occupies less than 5,999 square feet; therefore the Project does not require Conditional Use authorization for use size.

- F. Hours of Operation.** Pursuant to Sections 713.27 of the Code, the principally permitted hours of operation are from 6 a.m. to 2 a.m.

The proposed hours of operation are 10 a.m. to 7 p.m. Monday through Saturday and 10 a.m. through 4 p.m. Sundays, with two internal ATMS operating from 7 am to 10 pm during the operating hours of the Lucky Supermarket.

- G. Conditional Use Authorization.** Planning Code Section 303(c) establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- a. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The project is desirable because it provides a neighborhood-serving financial service use to the existing shopping center that is compatible with the surrounding commercial context. The proposed use would continue the historic use of the subject building.

- b. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The size and shape of the site and the size, shape and arrangement of the building will not be altered as part of this project. The proposed bank will be contained entirely within the existing structure.

- c. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Project will not affect public transit or overburden the existing supply of parking in the neighborhood. The Project may attract residents and visitors from outside of the neighborhood; however, this area is well serviced by transit and customers have access to free off-street parking.

- d. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The Project will not produce noxious or offensive emissions related to noise, glare and dust.

- e. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The project would not alter the sites' landscaping, open spaces, parking and loading areas, service areas, and lighting. Any new signage will be required to comply with the requirements of the Planning Code.

- f. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- g. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

The proposed project is consistent with the NC-S zoning in that the intended use will provide a compatible financial service use for the immediately surrounding neighborhoods during standard business hours, and is compliant with the limitations on certain uses within the subject zoning district.

- 8. **General Plan Compliance.** The Project is, on balance, consistent with the Objectives and Policies of the General Plan.

NEIGHBORHOOD COMMERCE

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1:

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development that has substantial undesirable consequences that cannot be mitigated.

Policy 1.2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

Policy 1.3:

Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

The proposed project will provide desirable services to the neighborhood and will provide resident employment opportunities to those in the community. The conditions of approval will ensure that the use meets minimum, reasonable performance standards. Further, the project site is located within a Neighborhood Commercial District and is thus consistent with activities in the commercial land use plan.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

The Project will occupy 1% of the interior space of an existing grocery use with compatible commercial activity, and will help maintain the diverse economic base of the City.

OBJECTIVE 6:

MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

Policy 6.1:

Ensure and encourage the retention and provision of neighborhood-serving goods and services in the city's neighborhood commercial districts, while recognizing and encouraging diversity among the districts.

No commercial tenant would be displaced and the project would not prevent the district from achieving optimal diversity in the types of goods and services available in the neighborhood. The project will provide the NC-S with a second financial service establishment in an area with limited access to such services.

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The proposal would retain the existing mix of neighborhood-serving retail uses and provide future opportunities for resident employment.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The Project would not affect the character or diversity of the neighborhood.

- C. That the City's supply of affordable housing be preserved and enhanced,

The Project would not have any effect on the City's supply of affordable housing.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project would not adversely affect public transit or place a burden on the existing supply of parking in the neighborhood. The Project Site is well-served by public transit.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project will not displace any service or industry establishment. The project will not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses will not be affected by this project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

This proposal will not affect the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

The existing building is not a landmark and it is not historically rated.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The project will have no negative effect on existing parks and open spaces.

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.

11. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2015-005651CUA** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated May 11, 2015, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. xxxxx. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission **ADOPTED** the foregoing Motion on September 10, 2015.

Jonas Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED:

EXHIBIT A

AUTHORIZATION

This authorization is for a conditional use to allow a formula retail general merchandise store (d.b.a. Wells Fargo) located at 1750 Fulton Street, Block 1175, Lot 031 pursuant to Planning Code Sections 703.3, 703.4 and 303 within the **NC-S (Neighborhood Commercial – Shopping Center) District**, and a **40-X** Height and Bulk District; in general conformance with plans, dated **May 11, 2015** and stamped “EXHIBIT B” included in the docket for Case No. **2015-005651CUA** and subject to conditions of approval reviewed and approved by the Commission on **September 10, 2015** under Motion No. **xxxxx**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **September 10, 2015** under Motion No. **xxxxx**.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. **xxxxx** shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. “Project Sponsor” shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity and Expiration.** The authorization and right vested by virtue of this action is valid for three years from the effective date of the Motion. A building permit from the Department of Building Inspection to construct the project and/or commence the approved use must be issued as this Conditional Use authorization is only an approval of the proposed project and conveys no independent right to construct the project or to commence the approved use. The Planning Commission may, in a public hearing, consider the revocation of the approvals granted if a site or building permit has not been obtained within three (3) years of the date of the Motion approving the Project. Once a site or building permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. The Commission may also consider revoking the approvals if a permit for the Project has been issued but is allowed to expire and more than three (3) years have passed since the Motion was approved.

Extension. This authorization may be extended at the discretion of the Zoning Administrator only where failure to issue a permit by the Department of Building Inspection to perform said tenant improvements is caused by a delay by a local, State or Federal agency or by any appeal of the issuance of such permit(s).

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

DESIGN

2. **Signage.** Any signs on the property shall be made to comply with the requirements of Article 6 of the Planning Code.

MONITORING

3. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org.

OPERATION

4. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the tenant space and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org/>

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

5. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

MONITORING - AFTER ENTITLEMENT

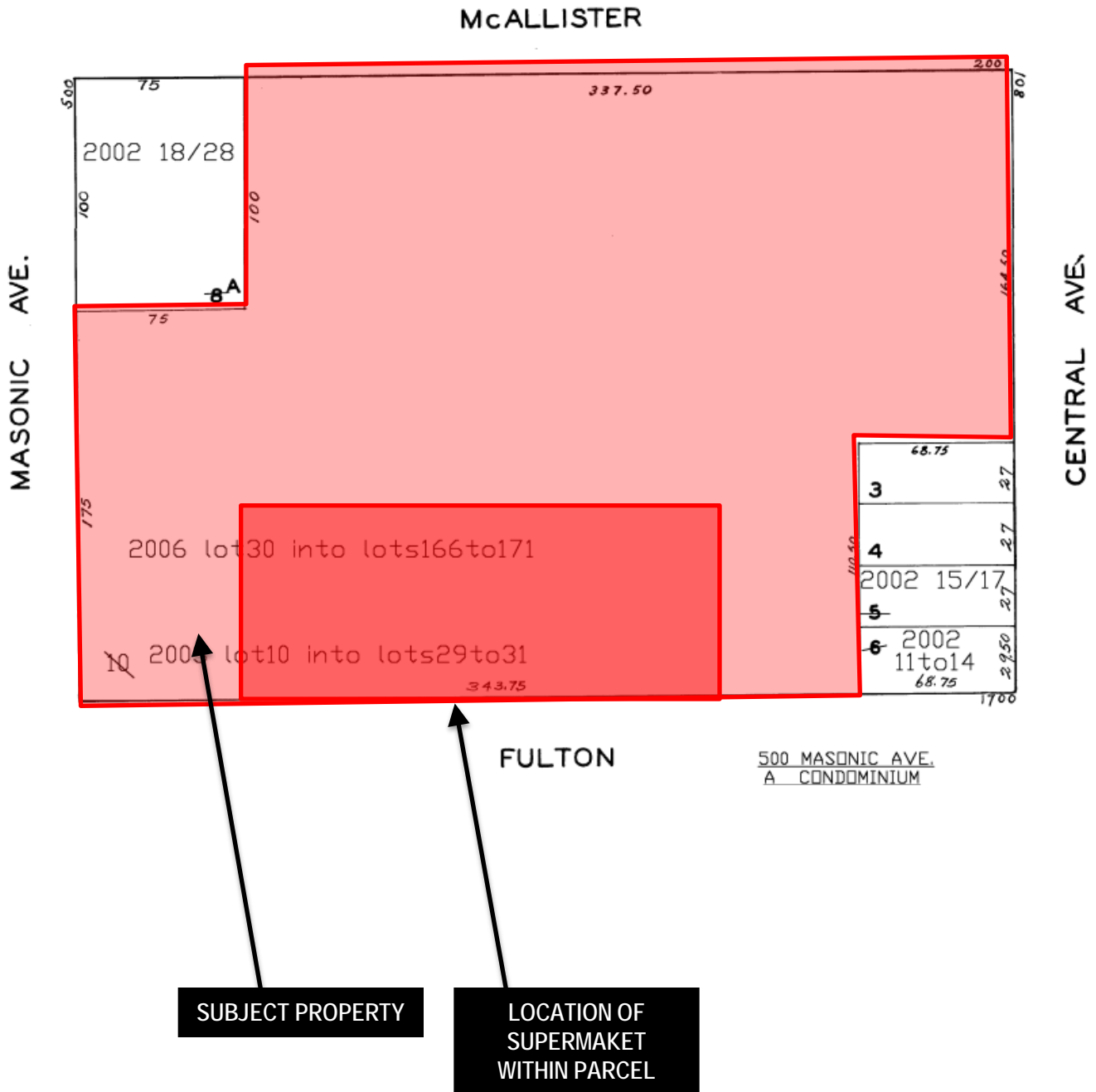
6. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

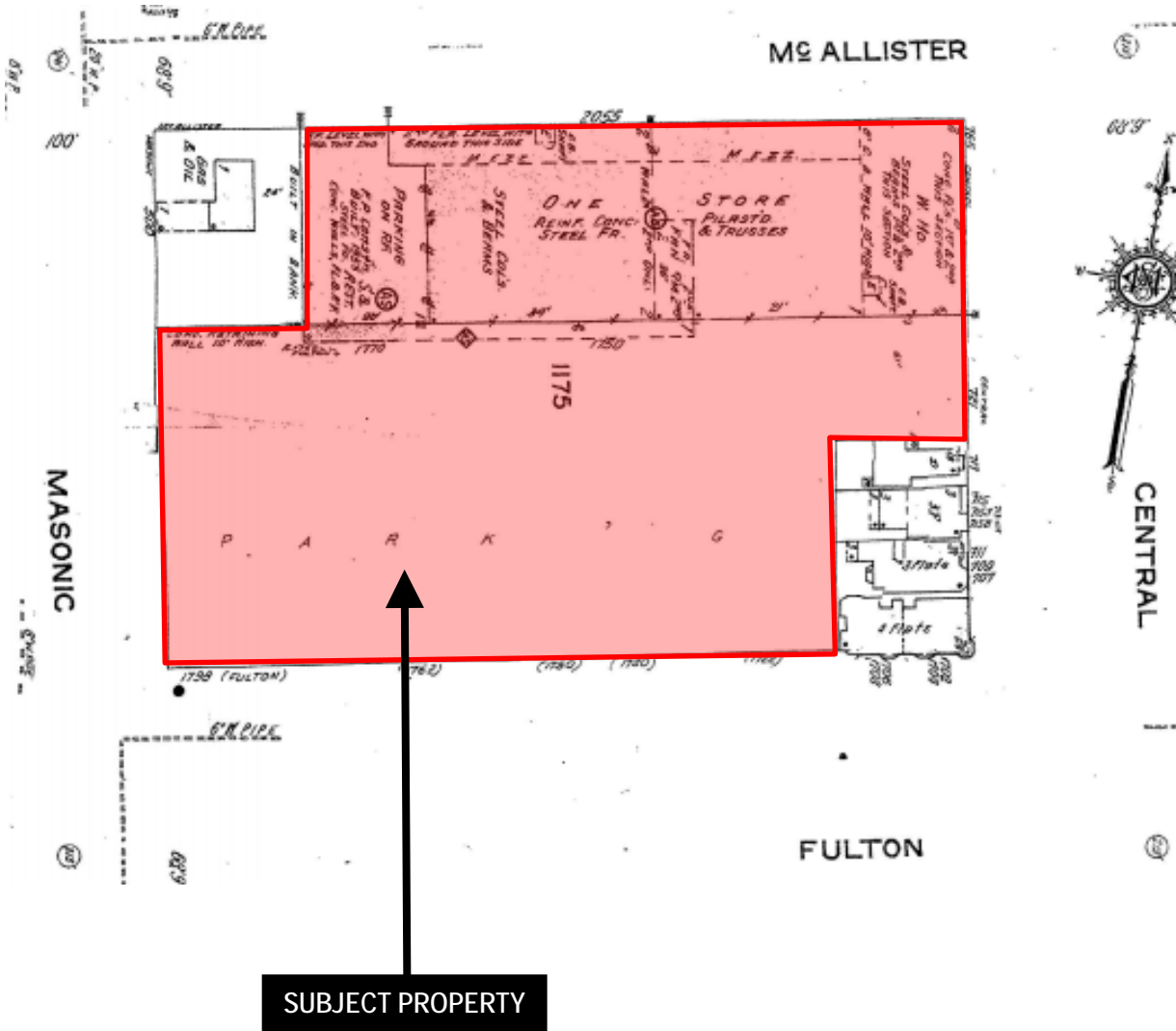
7. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Parcel Map



Sanborn Map*

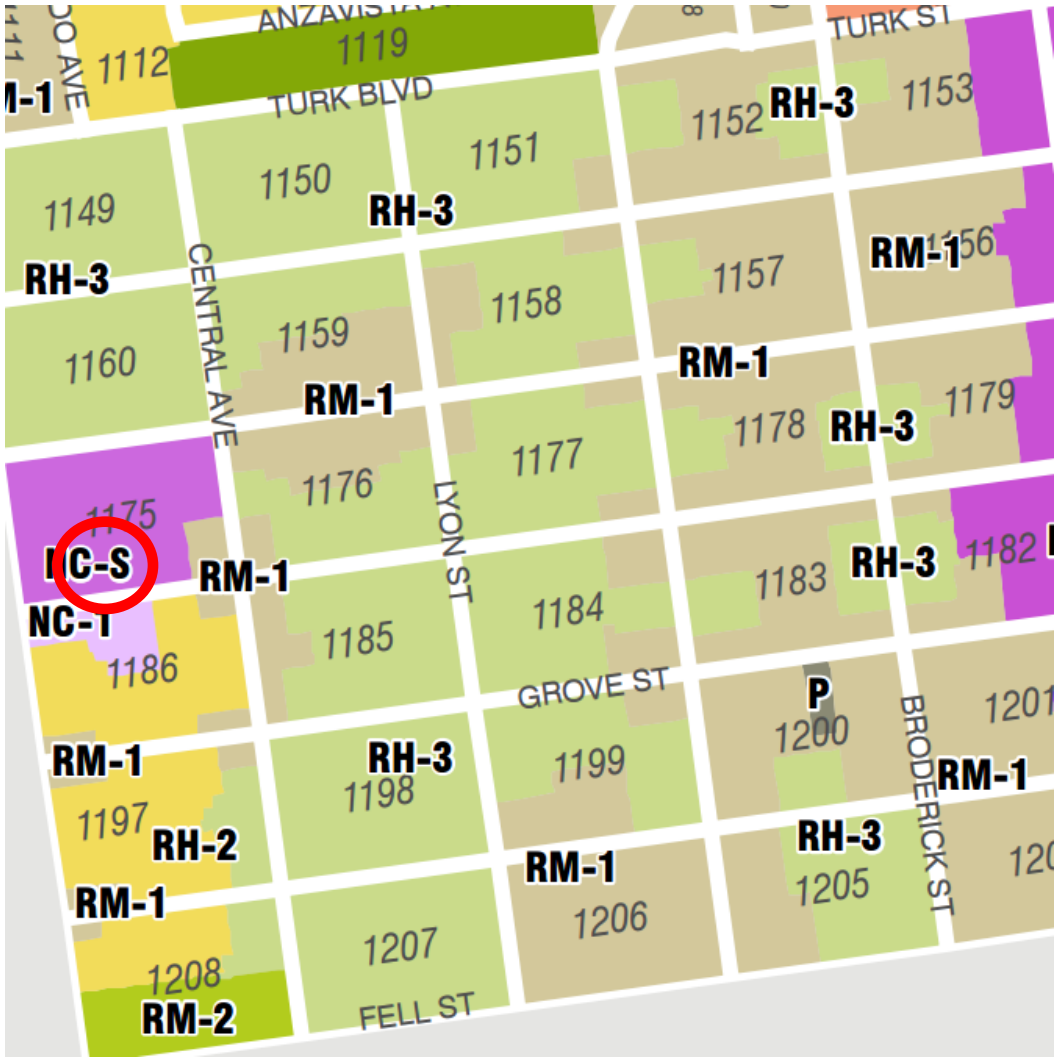


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map does not accurately reflect existing conditions.



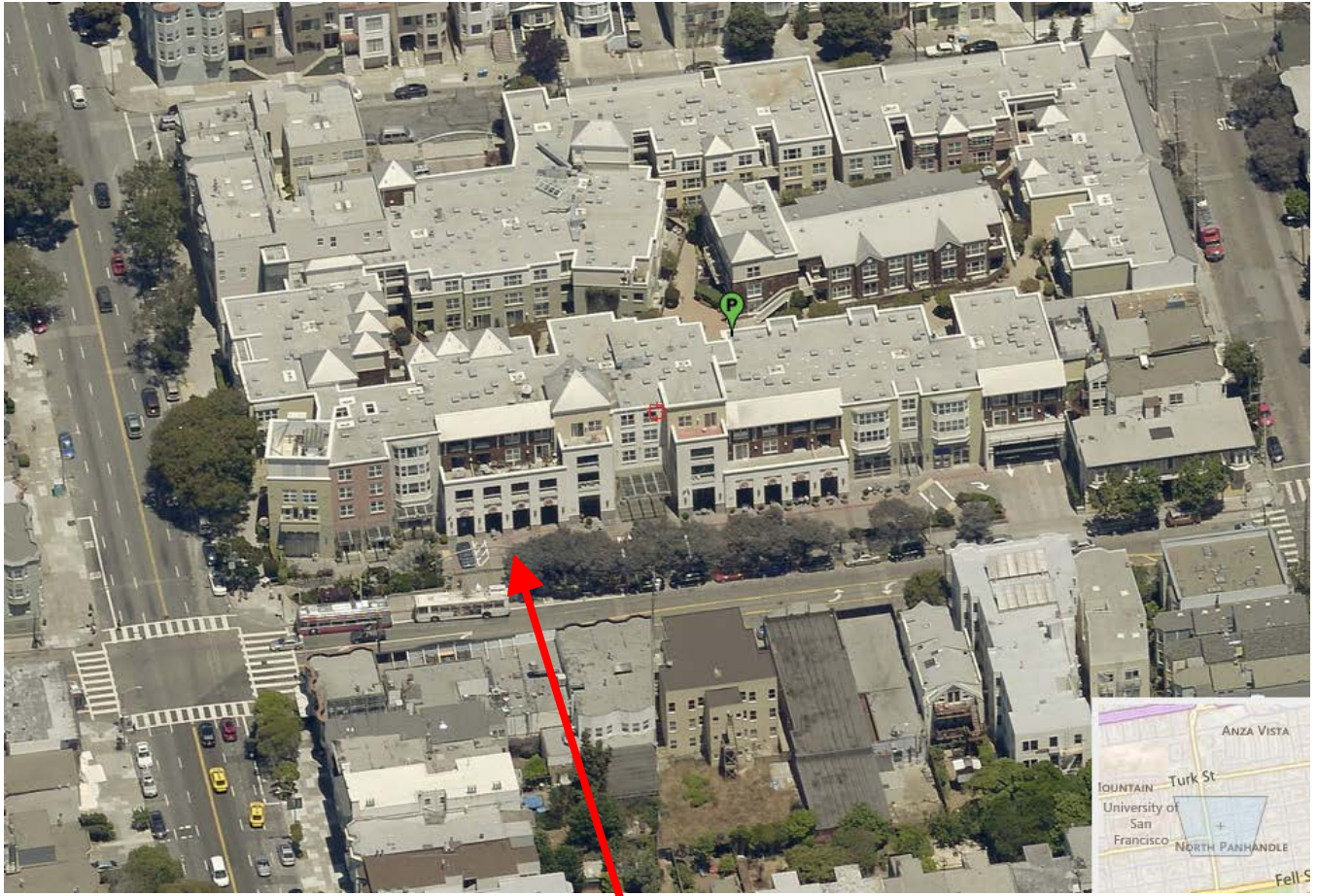
Conditional Use Hearing
Case Number 2015-005651CUA
1750 Fulton Street
Block 1175 Lot 031

Zoning Map



Conditional Use Hearing
Case Number 2015-005651CUA
1750 Fulton Street
Block 1175 Lot 031

Aerial Photo (looking east)



SUBJECT PROPERTY

Conditional Use Hearing
Case Number 2015-005651CUA
1750 Fulton Street
Block 1175 Lot 031

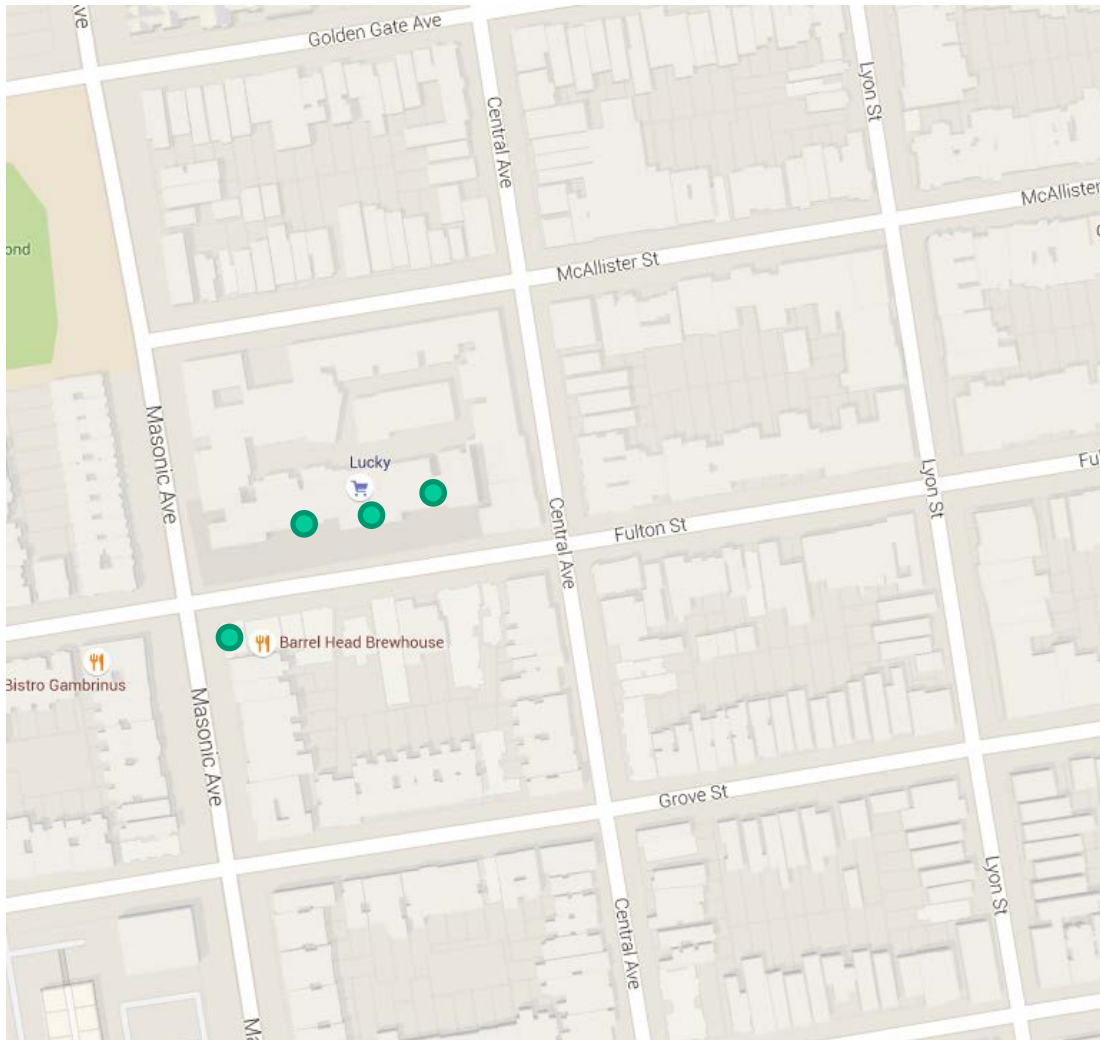
Site Photo



**SUBJECT
STOREFRONT**

Conditional Use Hearing
Case Number 2015-005651CUA
1750 Fulton Street
Block 1175 Lot 031

Existing Formula Retail within a 300' Radius of the Site



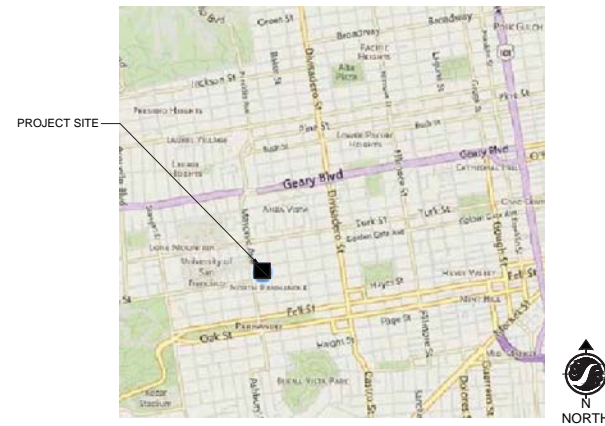
Conditional Use Hearing
Case Number 2015-005651CUA
1750 Fulton Street
Block 1175 Lot 031

WELLS FARGO, FULTON & MASONIC IN-STORE TENANT IMPROVEMENTS

1750 FULTON ST.
SAN FRANCISCO, CA

PROJECT NUMBER: 101689-0000
BID DRAWINGS
DATE: 3/6/2015

VICINITY MAP



BUILDING AND SITE DATA

MUNICIPAL JURISDICTION: CITY OF SAN FRANCISCO
SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION
1660 MISSION STREET
SAN FRANCISCO, CA 94103
TEL: 415.558.6088
FAX: 415.558.6401

CODE: ALL CONSTRUCTION SHALL COMPLY W/
2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA FIRE CODE
2013 CALIFORNIA ENERGY CODE
2013 GREEN BUILDING CODE AND LOCAL ORDINANCES

BUILDING AREA: EXISTING BUILDING; APPROX.: 58,110 S.F. AT GROUND FLOOR

CONSTRUCTION TYPE: V-B SPRINKLERED

OCCUPANCY CLASSIFICATION: BUSINESS - GROUP B WITHIN M

TENANT AREA: APPROX.: 690 SF

CONSTRUCTION AREA: APPROX.: 690 S.F.

OCCUPANT LOAD: 7 OCCUPANTS

INDEX OF DRAWINGS

A0.0 COVER

GENERAL

A0.1 GENERAL NOTES/ PROJECT DATA
A0.2 OVERALL STORE REFERENCE SITE AND FLOOR PLAN

ARCHITECTURAL

A1.0 DEMOLITION FLOOR PLAN AND REFLECTED CEILING PLAN
A1.1 PROPOSED FLOOR PLANS AND REFLECTED CEILING PLAN
A2.0 INTERIOR ELEVATIONS
A3.0 DOOR AND WINDOW SCHEDULE.
A4.0 TYPICAL DETAILS
A4.1 TYPICAL DETAILS
A5.0 TYPICAL ACCESSIBILITY STANDARDS
A5.1 TYPICAL ACCESSIBILITY STANDARDS

FINISHES

F1.0 FINISH SCHEDULE

MECHANICAL

M0.0 HVAC LEGEND, NOTES AND SCHEDULES
M1.0 HVAC PLAN
M2.0 HVAC DETAILS
M3.0 ENERGY COMPLIANCE

ELECTRICAL

E0.1 LEGEND, GENERAL NOTES, DRAWING INDEX
E1.0 POWER PLAN
E1.1 POWER PLAN DETAILS
E1.2 PARTIAL BUILDING POWER PLAN
E2.0 LIGHTING PLAN
E3.0 ENERGY COMPLIANCE
E4.0 PANEL SCHEDULES AND ONE-LINE DIAGRAM

SCOPE OF WORK:

- IMPROVEMENTS CONSISTING OF NEW INTERIOR WALLS AND WINDOWS AND NEW CEILING INCLUDING NEW MILLWORK, FINISHES AND FURNITURE.
- MINOR MECHANICAL IMPROVEMENTS CONSISTING OF RELOCATION OF SUPPLY / RETURNS AND PROVISION OF NEW SYSTEM FOR THE IN-STORE BRANCH.
- MINOR ELECTRICAL IMPROVEMENTS CONSISTING OF RELOCATING OUTLETS, REPLACING LIGHT FIXTURES WITH LED FIXTURES AND PROVISION OF POWER FOR THE IN-STORE BRANCH.

NO PLUMBING WORK IN SCOPE.

SEPARATE PERMIT(DEFERRED):

- FIRE ALARM MODIFICATIONS
- FIRE SPRINKLER MODIFICATIONS
- SIGNAGE



333 MARKET STREET
SAN FRANCISCO, CA 94105
CONTACT: ROBERT SHINE
TEL: 415.894.3142



Tel. 707.765.1660
Fax. 707.765.9908

www.stantec.com
CONTACT: ARIANE SANDERS
Tel. 707.774.8303

MEP CONSULTANTS:

ROBISON ENGINEERING, INC
20300 19TH AVE. N.E.
SHORELINE, WA 98155

Tel. 206.364.3343
Fax. 206.364.3363
www.robisonengineering.com
CONTACT: PAUL ROBISON

LANDLORD:

SAVEMART SUPERMART INC. (LUCKY)

1800 STANDIFORD AVE
MODESTO, CA 95350

Tel. 209.574.6244
Steve.Gaines@SaveMart.com
CONTACT: STEVE GAINES

SYMBOLS LEGEND:

- OPEN OFFICE ROOM NAME ROOM NUMBER
- KEYNOTE TAG
- WINDOW TYPE
- DOOR TAG
- FINISH CALLOUT
- HEIGHT DATUM
- REVISION TAG
- DETAIL NUMBER SHEET WHERE DETAIL IS DRAWN
- SECTION NUMBER SHEET WHERE SECTION IS DRAWN
- ELEVATION NUMBER SHEET WHERE ELEVATION IS DRAWN
- BUILDING GRID LINE

ABBREVIATIONS:

- | | |
|------------|----------------------------|
| ACOUST | ACOUSTICAL |
| A.F.F. | ABOVE FINISHED FLOOR |
| ALUM | ALUMINUM |
| APPROX | APPROXIMATE |
| BD | BOARD |
| BLDG | BUILDING |
| BLK | BLOCK |
| B.O. | BOTTOM OF |
| B.U.R. | BUILT UP ROOFING |
| C.C. | CASEWORK CONTRACTOR |
| C.L. | CENTER LINE |
| CLG | CEILING |
| CLR | CLEAR |
| C.G. | CORNER GUARD |
| COL. | COLUMN |
| CON. | CONTACT |
| CONT. | CONTINUOUS |
| DIA. | DIAMETER |
| DIM | DIMENSIONS |
| DN | DOWN |
| DR | DOOR |
| D.S. | DOWNSPOUT |
| D/T | DRIVE THRU |
| DWG(S) | DRAWING(S) |
| (E) | EXISTING |
| EA | EACH |
| E.J. | EXPANSION JOINT |
| ELEC. | ELECTRICAL |
| EMT | ELECTRICAL METALLIC TUBING |
| EQ. | EQUAL |
| EQUIP. | EQUIPMENT |
| EXT. | EXTERIOR |
| ETR. | EXISTING TO REMAIN |
| F.D. | FLOOR DRAIN |
| F.E. | FIRE EXTINGUISHER |
| F.O.C. | FACE OF CONCRETE |
| F.O.F. | FACE OF FINISH |
| F.O.S. | FACE OF STEEL |
| FRC | FIBER REINFORCED CONCRETE |
| GA | GAUGE |
| FT | FOOT OR FEET |
| FTG. | FOOTING |
| FUT. | FUTURE |
| F.V. | FIELD VERIFY |
| G.C. | GENERAL CONTRACTOR |
| GSM | GALVANIZED SHEET METAL |
| GYP/GWB | GYPSPUM BOARD |
| GYP. BD. | GYPSPUM BOARD |
| I.D. | INTERIOR DESIGN |
| INT | INTERIOR |
| O.C. | ON CENTER |
| MAX. | MAXIMUM |
| MFR/MANUF. | MANUFACTURER |
| MIN. | MINIMUM |
| (N) | NEW |
| N.I.C. | NOT IN CONTRACT |
| NO. | NUMBER |
| SIM. | SIMILAR |
| S.STL. | STAINLESS STEEL |
| S.S.D. | SEE STRUCTURAL DRAWINGS |
| P.O.C. | POINT OF CONNECTION |
| P.O.S. | POINT OF SALES SYSTEM |
| PTD | PAINTED |
| P.LAM | PLASTIC LAMINATE |
| T&G | TONGUE AND GROOVE |
| TBD | TO BE DETERMINED |
| T.O. | TOP OF |
| TYP. | TYPICAL |
| U.O.N. | UNLESS OTHERWISE NOTED |
| U/S | UNDERSIDE |
| V.I.F. | VERIFY IN FIELD |

DESIGN-BUILD FIRE ALARM SYSTEM:

CONTRACTOR SHALL REMODEL IF NEEDED THE FIRE ALARM SYSTEM AS REQUIRED BY THE LOCAL POLICE & FIRE DEPARTMENT. CONTRACTOR SHALL PREPARE SHOP DRAWINGS AND OBTAIN APPROVALS FROM THE LOCAL FIRE MARSHALL, WELLS FARGO BANK, INSURANCE UNDERWRITERS AND ANY OTHER AGENCIES PRIOR TO ANY INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR A COMPLETE OPERATIONAL SYSTEM.

DESIGN-BUILD FIRE SPRINKLER SYSTEM:

CONTRACTOR SHALL REMODEL THE EXISTING AUTOMATIC FIRE SPRINKLER SYSTEM AS NEEDED. CONTRACTOR SHALL RETAIN A STATE LICENSED FIRE SPRINKLER CONTRACTOR TO PREPARE SHOP DRAWINGS AND OBTAIN APPROVALS FROM THE OWNER, INSURANCE UNDERWRITERS, LOCAL FIRE MARSHALL AND ANY OTHER AGENCIES PRIOR TO ANY INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR A COMPLETE OPERATIONAL SYSTEM AND SUPPLY AN APPROVED SET OF PLANS TO OWNER FOR APPROVAL PRIOR TO COMMENCING WORK. CONTRACTOR TO VERIFY IF REQUIRED TO USE LANDLORD'S FIRE SPRINKLER CONTRACTOR AND COORDINATE ALL WORK WITH LANDLORD'S FIRE SPRINKLER CONTRACTOR'S SCOPE OF WORK. FIRE SPRINKLER CONTRACTOR TO SUBMIT COMPLETE FIRE SPRINKLER PLANS TO LOCAL FIRE AUTHORITY.

GENERAL NOTES:

- ALL WORK IS NEW UNLESS SPECIFICALLY NOTED AS EXISTING. ALL WORK SHALL BE BY G.C. UNLESS SPECIFICALLY NOTED BY OWNER, BY OTHERS, OR BY N.I.C.
- CONTRACTOR SHALL VISIT THE SITE PRIOR TO HIS BID TO DETERMINE ACTUAL JOB SITE CONDITIONS AND REQUIRED EXTENT OF WORK FOR THIS PROJECT.
- CONTRACTOR SHALL VERIFY BANK REQUIREMENTS AND SCOPE OF WORK, FOR WORK HOURS, ETC. WITH BANK MANAGEMENT PRIOR TO BIDDING AND COMMENCEMENT OF WORK. CONTRACTOR SHALL COMPLY WITH ALL BANK REQUIREMENTS. CONTRACTOR SHALL ALSO VERIFY ALL JOB SITE REQUIREMENTS OF LANDLORD PRIOR TO BIDDING.
- CONTRACTOR SHALL PROVIDE A JOB SITE PHONE WITHIN 5 WORKING DAYS AND INFORM ARCHITECT OF PHONE NUMBER AS SOON AS PHONE IS INSTALLED. G.C. SHALL MAINTAIN A COMPUTER W/ EMAIL CAPABILITIES ON SITE AT ALL TIMES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND NOTING ANY DISCREPANCIES WITH THE CONTRACT DOCUMENTS PRIOR TO BIDDING THE PROJECT. CONTRACTOR SHALL CONTACT ARCHITECT FOR RESOLUTION PRIOR TO PROCESSING WITH RELATED WORK. OTHERWISE, CONTRACTOR IS RESPONSIBLE FOR CORRECTIONS AT NO EXTRA COST TO OWNER.
- WHERE DEMOLITION WORK IS REQUIRED, CONTRACTOR SHALL REMOVE ALL ITEMS NOT SHOWN TO BE RETAINED. IF EXISTING PARTITIONS CONTAIN WATER LINES CONDENSATE LINES, TRANSFORMERS, ETC., NOT CLEARLY SHOWN TO BE REMOVED OR RELOCATED ON DRAWINGS, CONTRACTOR SHALL ARCHITECT FOR INSTRUCTIONS.
- WHERE DEMOLITION WORK OCCURS, CONTRACTOR SHALL REMOVE (PER CODE) OR CAP ALL UTILITIES, ELECTRICAL CONDUITS, ETC., NOT SHOWN TO BE REUSED, BELOW FLOORS, INSIDE WALLS OR ABOVE CEILINGS.
- G.C. SHALL BE SOLELY RESPONSIBLE FOR OBTAINING ALL FINISH MATERIALS AS SPECIFIED HEREIN. ANY DEVIATION IN COST DUE TO SHIPPING DELAYS, MATERIAL UPGRADES, SHALL BE BORN BY THE G.C. ALL MATERIALS NOT IDENTIFIED AS PROBLEMS PRIOR TO BID, SHALL BE THE RESPONSIBILITY OF THE G.C. TO SUPPLY AS NOTED ON THE BID FORM.
- ALL DEMOLITION IS INCLUDED IN THE BASE BID. CONTRACTOR SHALL PROVIDE ALL DEMOLITION NECESSARY TO COMPLETE ALL NEW WORK AS INDICATED ON THE PLANS. SAWCUT (E) SLABS AS REQ'D TO INSTALL NEW UTILITIES.
- AT PROJECT CLOSE OUT G.C. TO PROVIDE AS-BUILTS TO ARCHITECT AND TWO (2) COPIES OF WARRANTIES AND GUARANTEES TO BE PROVIDED IN BINDERS. RETENTION WILL BE HELD UNTIL AS-BUILTS AND BINDERS HAVE BEEN GIVEN TO THE ARCHITECT, REVISED AND SUBMITTED TO OWNER.

NOTE TO CONTRACTOR:

BEFORE SUBMITTING THE BID, EACH BIDDER SHALL PERSONALLY INSPECT THE SITE OF THE PROPOSED WORK TO ARRIVE AT A CLEAR UNDERSTANDING OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. CONTRACTOR SHALL BE HELD TO HAVE COMPARED THE PREMISES AND SITE WITH THE DOCUMENTS AND TO HAVE SATISFIED HIMSELF/HERSELF AS TO THE CONDITIONS OF THE PREMISES, EXISTING CONSTRUCTION, THE ACTUAL ELEVATIONS AND ANY OTHER CONDITIONS AFFECTING THE CARRYING OUT OF HIS WORK. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE THE DELIVERY OF THE PROPOSAL. NO EXTRA CONSIDERATION WILL SUBSEQUENTLY BE ALLOWED BY REASON OF ERROR OR OVERSIGHT ON THE PART OF THE CONTRACTOR OR ON ACCOUNT OF INTERFERENCE BY EITHER OWNER'S OR OTHER CONTRACTOR'S ACTIVITIES.

THE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL ADJACENT WORK AND SHALL COORDINATE WITH ALL OTHER TRADES SO AS TO FACILITATE THE GENERAL PROGRESS OF THE WORK. EACH TRADE SHALL AFFORD ALL OTHER TRADES EVERY REASONABLE OPPORTUNITY FOR THE INSTALLATION OF THEIR WORK AND FOR THE STORAGE OF THEIR MATERIAL. OWNER'S CONTRACTORS SHALL ALSO MAN THE PROJECT AND THEN GENERAL CONTRACTOR SHALL COORDINATE ALL WORK.

COORDINATE SCOPE OF WORK WITH THE FOLLOWING:

MILLWORK (C.C.):
BILL CLARK
EMMINGER CORPORATION
4036 PACHECO BLVD.
MARTINEZ, CA 94553
PHONE: 925-313-5830

D.A. CHECKLIST (p. 1 of 2): The address of the project is :1750 FULTON STREET / LUCKY'S

For ALL tenant improvement projects in commercial use spaces, both pages of this checklist are required to be reproduced on the plan set and signed.

- The proposed use of the project is OFFICE (e.g. Retail, Office, Restaurant, etc.)
- Describe the area of remodel, including which floor: NEW IN-STORE BANK BRANCH
- The construction cost of this project excluding disabled access upgrades to the path of travel is \$ 195,000, which is: (check one) more than / less than the Accessibility Threshold amount of \$143,303.00 based on the "2013 ENR Construction Cost Index" (The cost index & threshold are updated annually).
- Is this a City project and/or does it receive any form of public funding? Check one: Yes / No
Note: If Yes, then see Step 3 on the Instructions page of the Disabled Access Upgrade Compliance Checklist package for additional forms required.

Conditions below must be fully documented by accompanying drawings

- Read A through D below carefully and check the most applicable boxes. Check one box only:
 - A:** All existing conditions serving the area of remodel fully comply with access requirements. No further upgrades are required:
Fill out page 2 of D.A. Checklist
 - B:** Project Adjusted cost of construction is greater than the current valuation threshold:
Fill out and attach page 2 of D.A. Checklist and any other required forms to plans
 - C:** Project adjusted cost of construction is less than or equal to the current valuation threshold:
List items that will be upgraded on Form C. All other items shall be checked on page 2 of the D.A. Checklist in the "Not required by code" column.
 - D:** Proposed project consists entirely of Barrier removal:
Fill out and attach Barrier removal form to Plans
 - E:** Proposed project is minor revision to previously approved permit drawings only. (Note: This shall NOT be used for new or additional work) Provide previously approved permit application here: _____ Description of revision: _____

CBC chapter 2 section 202 Definitions:

Technically Infeasible. An alteration of a building or a facility, that has little likelihood of being accomplished because the existing structural conditions require the removal or alteration of a load-bearing member that is an essential part of the structural frame, or because other existing physical or site constraints prohibit modification or addition of elements, spaces or features that are in full and strict compliance with the minimum requirements for new construction and which are necessary to provide accessibility.

Unreasonable Hardship. When the enforcing agency finds that compliance with the building standard would make the specific work of the project affected by the building standard infeasible, based on an overall evaluation of the following factors:

- The cost of providing access.
- The cost of all construction contemplated.
- The impact of proposed improvements on financial feasibility of the project.
- The nature of the accessibility which would be gained or lost.
- The nature of the use of the facility under construction and its availability to persons with disabilities

The details of any Technical Infeasibility or Unreasonable Hardship shall be recorded and entered into the files of the Department. All Unreasonable Hardships shall be ratified by the AAC.

D.A. CHECKLIST (p. 2 of 2): The address of the project is :1750 FULTON STREET

Check all applicable boxes and specify where on the drawings the details are shown:

	Existing Fully Complying	Will be Up-graded to Full Compliance	Equivalent facilitation will provide full access	Compliance is Technically Infeasible	Approved in compliance with immediately preceding code	Not required by Code (neither new or existing)	Non-compliant request UHR shall be ratified by AAC	Location of detail(s)- include detail no. & drawing sheet (do not leave this cell blank)- Also clarification comments can be written here.
A. One accessible entrance including: approach walk, vertical access, platform (landings), door / gate and hardware for door/gate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A0.2 REFERENCE SITE AND STORE FLOOR PLAN
B. An accessible route to the area of remodel including: Parking/access aisles and curb ramps Curb ramps and walks Corridors, hallways, floors Ramps elevators, lifts	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A0.2 REFERENCE SITE AND FLOOR PLAN
C. At least one accessible restroom for each sex or a single unisex restroom serving the area of remodel.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A0.2 REFERENCE SITE AND FLOOR PLAN
D. Accessible public pay phone.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
E. Accessible drinking fountains.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
F. Additional accessible elements such as parking, stairways, storage, alarms and signage.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
See the requirements for additional forms listed below	1.	2.	3.	4.	5.	6.	7.	

- No additional forms required
- No additional forms required
- Fill out Request for Approval of Equivalent Facilitation form for each item checked and attach to plan.
- Fill out Request for Approval of Technical Infeasibility form for each item checked and attach to plans.
- Provide details from a set of City approved reference drawings, provide its permit application number here: _____ and list reference drawing number on plans.
- No additional forms required
- Fill out Request for an Unreasonable Hardship form for each item checked and attach to plan. All UHR must be ratified by the Access Appeals Commission (see UHR form for details)



Fulton & Masonic (INSTORE)

1750 FULTON ST. SAN FRANCISCO, CA



Stantec Architecture Inc.
1383 N. McDowell Blvd., Suite 250
Petaluma CA U.S.A.
94954
Tel. 707.765.1660
Fax. 707.765.9908
www.stantec.com

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The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.

REVISIONS

NO.	DESCRIPTION	DATE
	BID DRAWINGS	3-6-15

DATE ISSUED: 2-26-15

REVIEWED BY:

DRAWN BY: AKS

DESIGNED BY: AKS

WELLS FARGO BE NUMBER
.....
101689

SHEET TITLE

GENERAL NOTES
PROJECT DATA

SHEET NUMBER

A0.1

ARCHITECT'S PROJECT NUMBER

2007664019

WELLS FARGO

Fulton & Masonic
(INSTORE)
1750 FULTON ST.
SAN FRANCISCO, CA

Stantec
Stantec Architecture Inc.
1383 N. McDowell Blvd., Suite 250
Petaluma CA U.S.A.
94954
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SITE PLAN KEYNOTES

- 1 WELLS FARGO SPACE (APPROXIMATE 690 S.F.)
- 2 EXISTING STORE ENTRY/EXIT DOORS.
- 3 EXISTING PATH OF TRAVEL TO EXIT.
- 4 EXISTING PATH OF TRAVEL TO PUBLIC WAY AND ACCESSIBLE PARKING STALL. SEE DETAILS 18-20 A5.0.
- 5 (1) EXISTING ACCESSIBLE PARKING STALL PER DETAILS 13/A5.0.

GENERAL NOTES

NO EXTERIOR WORK

LEGEND

--- PATH OF TRAVEL FROM ENTRANCE AND/OR EXIT DOORS TO ACCESSIBLE PARKING STALL AND PUBLIC SIDEWALK

ACCESSIBILITY NOTES

- * ACCESSIBLE ROUTE SHALL LESS BE THAN 2% CROSS SLOPE AND 5% RUNNING SLOPE. IT SHALL HAVE NO ELEVATION CHANGES GREATER THAN 1/4" AND NO GAPS OR CRACKS WIDER THAN 1/2". PROVIDE 60"x60" OR T-SHAPED LEVEL LANDING AREA AT INTERSECTIONS.
- * ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE LESS THAN 2% SLOPE IN BOTH DIRECTION.
- * CURB-CUT RAMPS SHALL NOT EXCEED 8.3 % SLOPE (1:12) AND FLARED SIDES OF CURB-CUT RAMPS SHALL NOT EXCEED 10% (1:10).
- * SEE ACCESSIBILITY SHEETS A5.0 THROUGH A5.1 FOR MORE DETAILED INFORMATION.

REVISIONS

NO.	DESCRIPTION	DATE
	BID DRAWINGS	3-6-15

DATE ISSUED: 2-26-15

REVIEWED BY:

DRAWN BY: AKS

DESIGNED BY: AKS

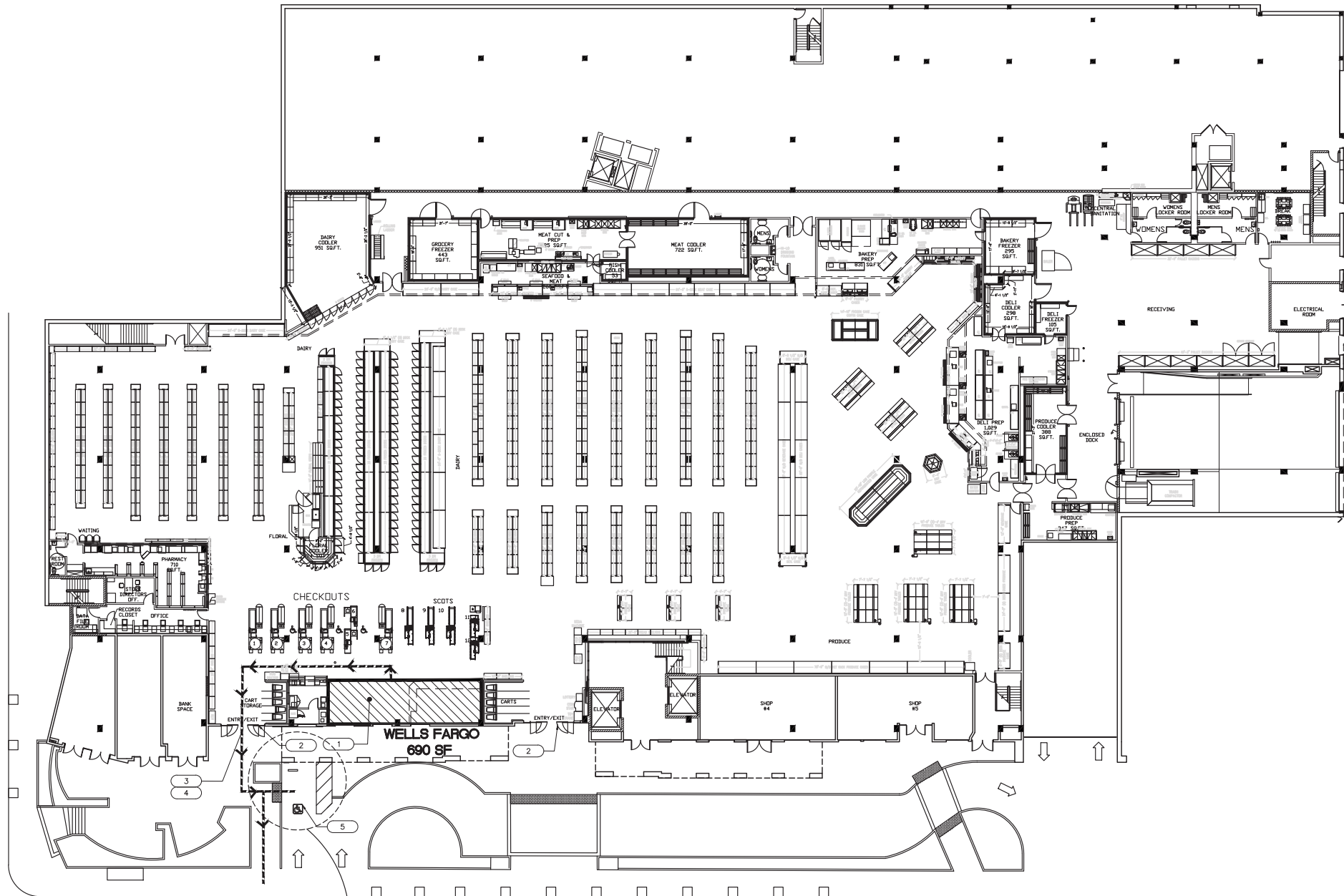
WELLS FARGO BE NUMBER
.....
101689

SHEET TITLE
OVERALL STORE
REFERENCE
SITE AND FLOOR
PLAN

SHEET NUMBER

A0.2

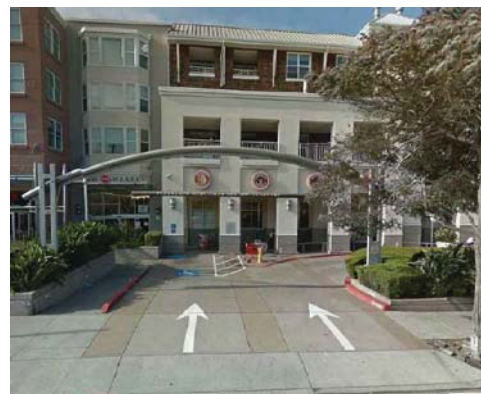
ARCHITECT'S PROJECT NUMBER
2007664019



MASONIC AVE

FULTON STREET

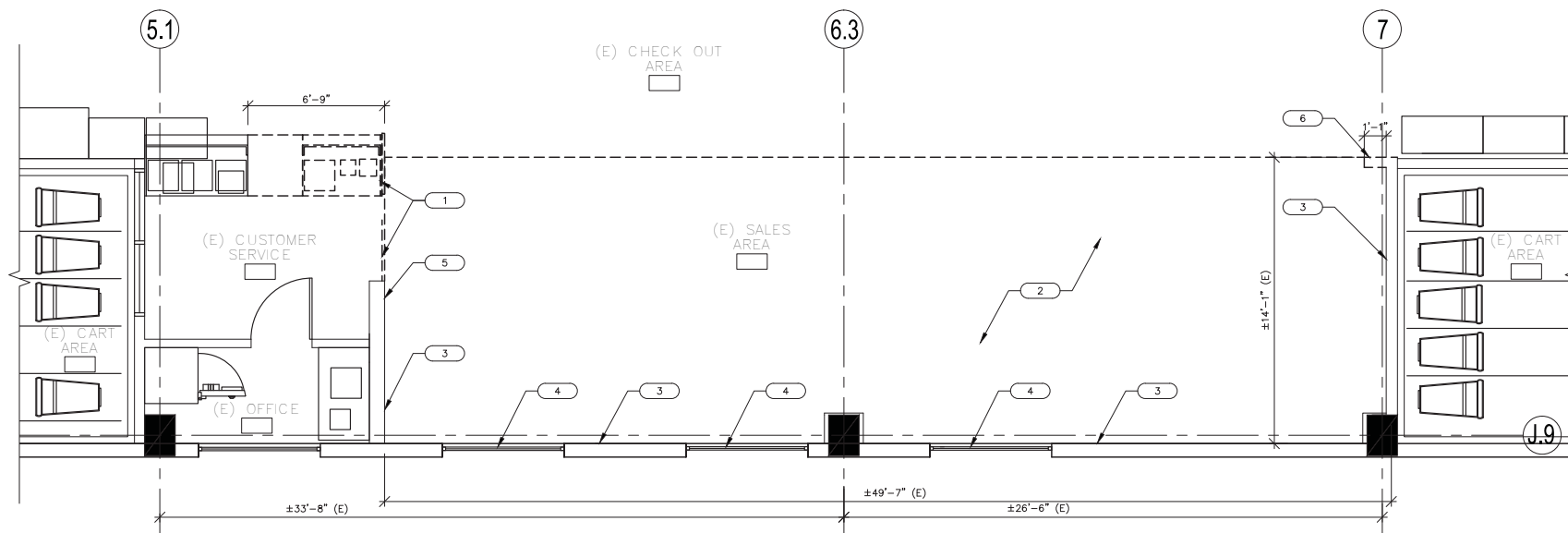
1 OVERALL STORE - REFERENCE SITE AND FLOOR PLAN
A0.2 SCALE: 1"=20'-0"



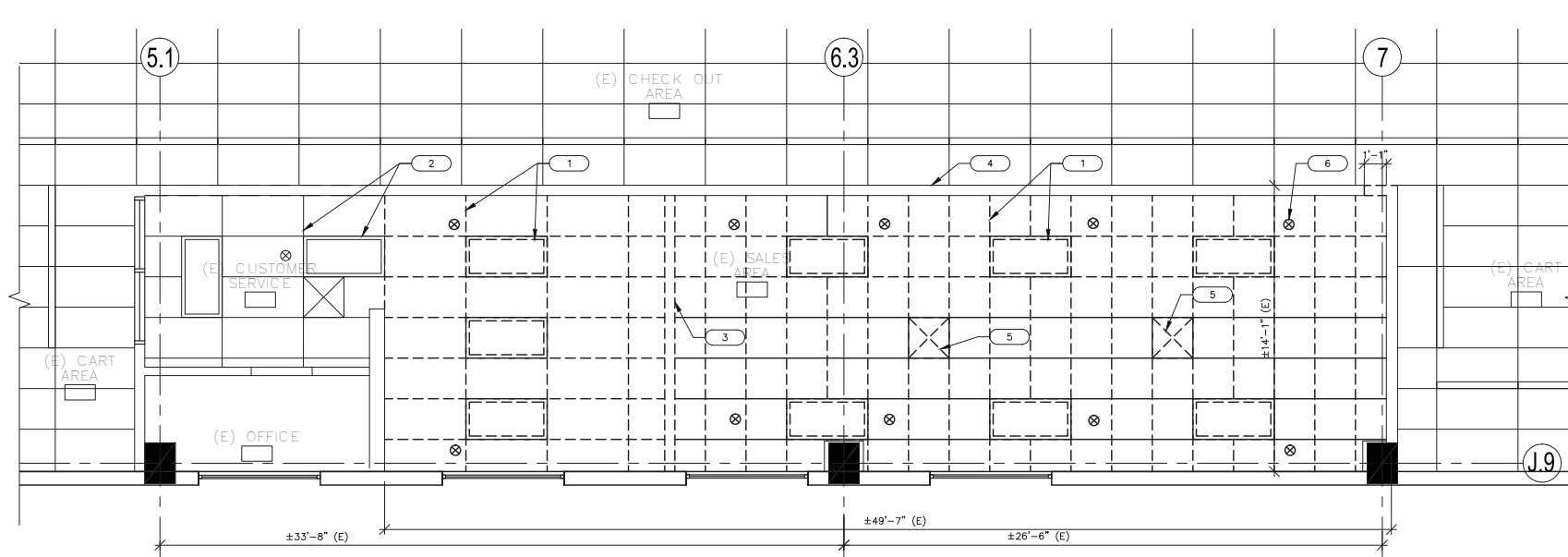
NORTH



SCALE: 1"=20'-0"



1 DEMOLITION - FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 DEMOLITION - REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION GENERAL NOTES

- DEMOLITION IS REQUIRED OF ALL BUILDING COMPONENTS WHICH ARE INDICATED BY DASHED LINES.
- IMPORTANT: COORDINATE EXTENT OF DEMOLITION WITH REQUIREMENTS OF NEW CONSTRUCTION.
- REMOVE FROM SITE PROMPTLY & LEGALLY ALL ITEMS NOT NOTED FOR RE-USE/RE-INSTALLATION OR DELIVERY TO OWNER.
- ELECTRICAL DEMOLITION INDICATED ON ARCHITECTURAL DEMOLITION PLAN MUST BE COORDINATED WITH THE REQUIREMENTS FOR ELECTRICAL CONSTRUCTION.
- ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, LAWS AND ORDINANCES AND WELLS FARGO GUIDELINES. THE INTEGRITY OF LIFE SAFETY AND EXISTING SYSTEMS IS TO BE MAINTAINED IN ACCORDANCE WITH THESE CODES AND REGULATIONS.
- THIS DRAWING HAS BEEN PREPARED USING CADD DRAWING FILES PROVIDED BY OTHERS. WHILE THIS DRAWING GENERALLY REPRESENTS THE NATURE OF THE EXISTING CONSTRUCTION TO BE DEMOLISHED, ALL EXISTING CONDITIONS AS INDICATED MANY NOT HAVE BEEN VERIFIED AND NOT EVERY DETAIL OF EXISTING CONSTRUCTION IS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXISTING CONDITIONS, INCLUDING THE LOCATIONS AND CONFIGURATION OF STRUCTURAL, FLOOR FINISH, PARTITION/WALL, CEILING AND MECHANICAL (HVAC), ELECTRICAL & PLUMBING, COMPONENTS AND ACCESSORIES.
- IT IS THE INTENT OF THIS DRAWING TO INDICATE THE EXTENT OF DEMOLITION OF FLOOR FINISHES, INTERIOR WALL PARTITIONS, INTERIOR DOORS & WINDOWS, AND CEILING FINISHES AND FIXTURES. PERFORM DEMOLITION ACTIVITIES WITH A CAREFUL UNDERSTANDING OF SUBSEQUENT NEW CONSTRUCTION REQUIREMENTS IN AREAS WHERE ADJACENT OR SUBSTRATE CONSTRUCTION IS TO REMAIN AS PART OF THE FINISHED WORK.
- ELECTRICAL DEMOLITION SHALL BE COORDINATED WITH ELECTRICAL DRAWINGS.
- GENERAL CONTRACTOR TO TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THAT EXISTING WORK NOT SHOWN TO BE DEMOLISHED (OR THOSE UNDER CONSTRUCTION BY OTHERS, IF APPLICABLE) IS NOT DAMAGED. ANY SUCH DAMAGED WORK IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REPAIR TO THE ORIGINAL CONDITION TO THE LANDLORD'S AND WELLS FARGO'S SATISFACTION.
- REMOVE EXISTING CEILING PANELS, GRID SYSTEM GYP. BOARD CEILINGS AND INTERIOR CEILING MOUNTED LIGHT FIXTURES, WHERE INDICATED ON DRAWINGS.
- REMOVE EXISTING ELECTRICAL, PHONE, DATA AND/OR LIGHTING EQUIPMENT AND CABLING/WIRING IN COORDINATION WITH LIMITS OF NEW CONSTRUCTION. COORDINATE WITH WELLS FARGO PROJECT MANAGER.
- REMOVE ALL (E) FLOOR FINISHES, TYP. THROUGHOUT AREA OF WORK, U.O.N. REMOVE GLUE & ADHESIVES, TEST FOR WATER PENETRATION AND MOISTURE CONTENT IN SLAB. PREP FOR INSTALLATION OF NEW FLOORING.
- UNDER NO CIRCUMSTANCE IS ANY BUILDING STRUCTURAL ELEMENT TO BE CUT OR ALTERED IN ANY WAY WITHOUT G.C. SUBMITTING STRUCTURAL DRAWINGS & CALCULATIONS FOR WORK NOT SPECIFIED HEREIN. BUILDING UTILITIES SUCH AS WATER, SEWER, STORM WATER ROOF DRAINAGE, ELECTRICAL, FIRE PROTECTION, TELEPHONE, ALARMS, SECURITY, HVAC AND GAS ARE NOT TO BE TURNED OFF OR ALTERED SUCH THAT THEY AFFECT BUILDING OR OTHER TENANT SYSTEMS ADVERSELY. TEMPORARY SHUT-OFF IN ORDER TO ACCOMMODATE TENANT CONSTRUCTION MUST BE COORDINATED WITH THE LANDLORD & UTILITY COMPANIES BY G.C.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF ANY MATERIAL BEING SALVAGED FOR REUSE AND STORE IN A LOCATION THAT WILL NOT ADVERSELY AFFECT ITS REUSE. CLEAN AND REPAIR SALVAGED MATERIALS AS NECESSARY PRIOR TO INSTALLATION. ALL FINISHES AND ASSEMBLIES SCHEDULED TO REMAIN SHALL BE RECONSTRUCTED OR REPAIRED TO LIKE-NEW CONDITION.
- FOR ANY CORE DRILLING THRU SLAB PROVIDE X-RAY SCAN TO AVOID DAMAGING THE FLOOR STRUCTURE.

DEMOLITION FLOOR PLAN KEYNOTES

- REMODEL EXISTING COUNTER AND DOOR AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. COORDINATE W/ WELLS FARGO PROJECT MANAGER.
- REMOVE EXISTING FLOORING AND BASE. PREPARE EXISTING FLOOR FOR NEW FINISH. LEVEL FLOORING AS REQUIRED.
- REMOVE EXISTING WALL WAINSCOT AND TRIMS. REPAIR WALL TO MAKE GOOD AND PREPARE FOR NEW FINISH.
- PROTECT EXISTING WINDOW AND FRAME DURING CONSTRUCTION AND CLEAN AFTER.
- EXISTING STROBE, FIRE PULL AND FIRE EXTINGUISHER TO BE RELOCATED. COORDINATE W/ WELLS FARGO PROJECT MANAGER AND LOCAL FIRE MARSHALL.
- REMOVE EXISTING WALL, WAINSCOT AND TRIM. SEE FLOOR PLAN FOR NEW CONSTRUCTION.

DEMOLITION CEILING PLAN KEYNOTES

- REMOVE EXISTING CEILING GRID, CEILING TILES, LIGHT FIXTURES AND DECORATIVE HANGING ELEMENTS. PREPARE FOR NEW CEILING SYSTEM. SEE 3/A1.1 AND ELECTRICAL DRAWINGS.
- REMOVE EXISTING LIGHT FIXTURE AND TILE/GRID AS NEEDED TO ACCOMMODATE NEW WALL CONSTRUCTION. RE-MOUNT IN IT'S PLACE.
- REMOVE EXISTING SOFFIT. VERIFY IF ANY STRUCTURAL FRAMING IS IN THE WAY OF NEW CONSTRUCTION AND NOTIFY ARCHITECT TO COORDINATE.
- REMODEL EXISTING SOFFIT TO ACCOMMODATE NEW SOFFIT CONSTRUCTION.
- REMOVE SUPPLY/RETURN AND CAP DUCTS AS REQUIRED. SEE MECHANICAL PLANS.
- RELOCATE SPRINKLER HEADS AS SHOWN ON SPRINKLER SYSTEM DRAWINGS (DEFERRED SUBMITAL).

DEMOLITION LEGEND

- (E) WALL TO REMAIN
- (E) TO BE REMOVED



Fulton & Masonic (INSTORE)
1750 FULTON ST.
SAN FRANCISCO, CA

Stantec
Stantec Architecture Inc.
1383 N. McDowell Blvd., Suite 250
Petaluma CA U.S.A.
94954
Tel. 707.765.1660
Fax. 707.765.9908
www.stantec.com

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REVISIONS

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DATE ISSUED: 2-26-15
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DRAWN BY: AKS
DESIGNED BY: AKS

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SHEET TITLE

DEMOLITION FLOOR PLAN AND REFLECTED CEILING PLAN

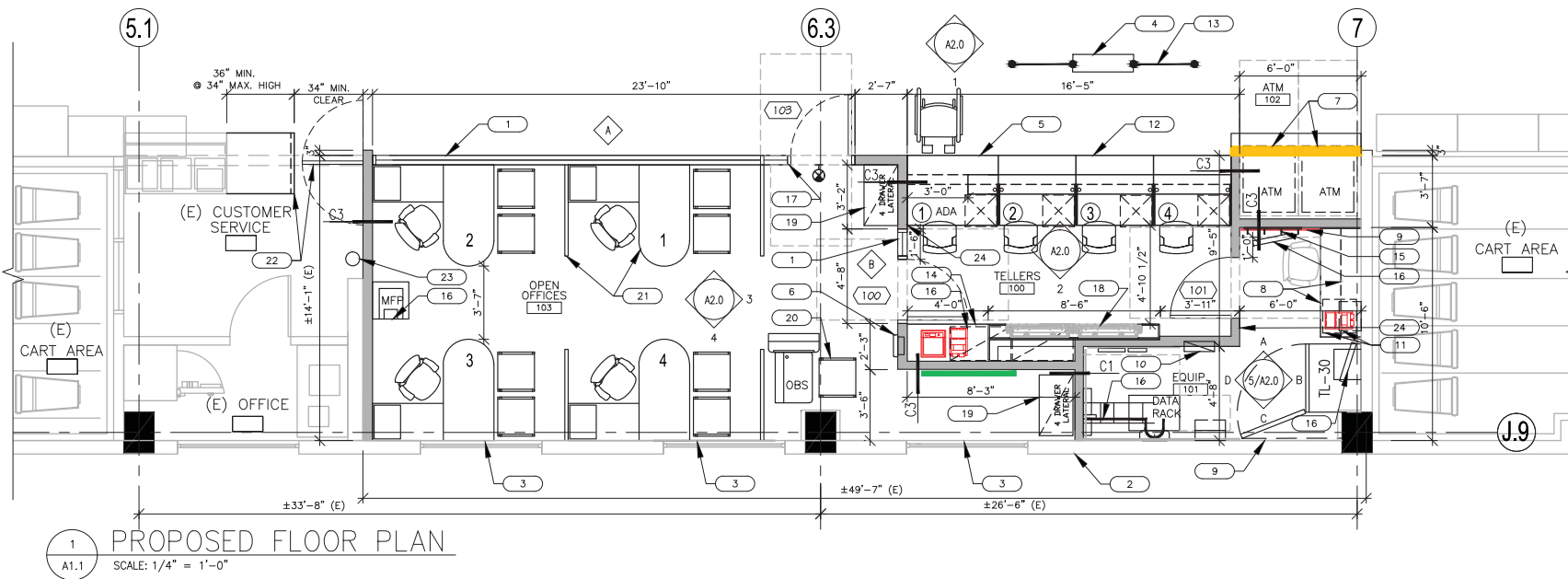
SHEET NUMBER
A1.0

ARCHITECT'S PROJECT NUMBER
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FLOOR PLAN GENERAL NOTES

1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING DRAWINGS AS A COMPLETE SET.
2. DIMENSIONS ARE TO FINISH WALL OR CENTER LINE OF COLUMN U.O.N.
3. GENERAL CONTRACTOR TO REVIEW ALL ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS AND IS RESPONSIBLE FOR ALL ADDITIONAL OPENINGS THRU ROOFS, WALLS AND/OR FLOORS FOR MECHANICAL REQUIREMENTS, ELECTRICAL RISERS, EXHAUST RISERS, AND OTHER OPENINGS NOT SHOWN ON DWGS. PATCH AND MAKE GOOD.
4. PROVIDE REQUIRED BACKING AT WALL HUNG FIXTURES, EQUIPMENT AND CABINETS.
5. INSTALL CORNER GUARDS AT ALL INTERIOR PARTITION CORNERS. CORNER TYPE B (U.O.N.)
6. PROVIDE LOCKING ACCESS BOX AT THIS LOCATION AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION. PROVIDE FIRE EXTINGUISHER AS DIRECTED BY LOCAL FIRE DEPARTMENT.
7. TV MOUNTS AT TELLER LINE AND IN EMPLOYEE LOUNGE BY TENANT.
8. PROVIDE AND INSTALL RUBBER BASE AT ROOM DIVIDER.
9. SEE F1.0 FOR FINISH SCHEDULE.
10. PROVIDE CORE DRILLS FOR PARTITIONS. COORDINATE LOCATION WITH C.C.

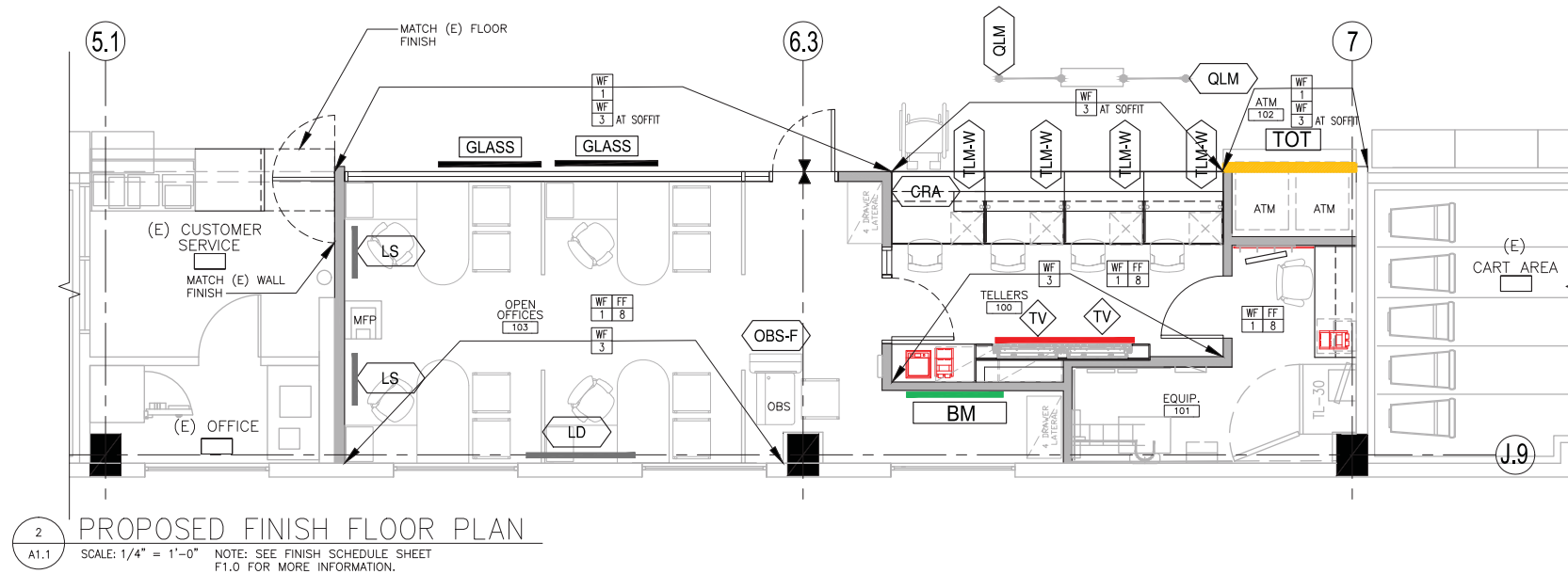


PROPOSED PLAN KEYNOTES

- 1 INTERIOR STOREFRONT SYSTEM. SEE ELEVATIONS AND WINDOW TYPES.
- 2 (E) EXTERIOR WALL TO REMAIN.
- 3 (E) EXTERIOR WINDOWS TO REMAIN. PROTECT IN PLACE DURING AND CLEAN AFTER CONSTRUCTION.
- 4 INLINE CHECKSTAND BY TENANT.
- 5 ACCESSIBLE TELLER STATION BY TENANT. T.O. COUNTER AT 2'-10" A.F.F. MAX. SEE DETAIL 4/A4.0 FOR REFERENCE AND COORDINATE WITH C.C.
- 6 FIRE EXTINGUISHER CABINET W/MP10 4A-80B:C FIRE EXTINGUISHER. VERIFY AND GET APPROVAL FOR EXACT LOCATION FROM LOCAL FIRE MARSHALL.
- 7 ATM MACHINE W/ SURROUND AT TONE ON TONE WALL. COORDINATE W/ WELLS FARGO'S VENDORS. PROVIDE DATA AND ALARM CONNECTION, SEE ELECTRICAL DRAWINGS.
- 8 P. LAM. UPPER AND LOWER CASEWORK COORDINATE WITH C.C. SEE INTERIOR ELEVATIONS A2.0.
- 9 TACK BOARD / WHITEBOARD. PROVIDE BACKING. SEE INTERIOR ELEVATIONS A2.0.
- 10 ELECTRICAL PANEL, SEE ELECTRICAL PLAN.
- 11 REFRIGERATOR AND MICROWAVE, BY G.C.
- 12 TELLER LINE CASEWORK BY TENANT. COORDINATE WITH C.C. PROVIDE ELECTRICAL DATA PER ELECTRICAL DRAWINGS. PROVIDE BASE AFTER INSTALLATION. SEE DETAIL 4/A4.0 FOR REFERENCE.
- 13 TELLER LINE STANCHIONS BY TENANT.
- 14 MILLWORK BY TENANT. COORDINATE W/ CC AND PROVIDE ELECTRICAL AND DATA PER ELECTRICAL DRAWINGS. PROVIDE BASE AFTER INSTALLATION.
- 15 COAT HOOKS. SEE INT. ELEV.
- 16 EQUIPMENT BY TENANT. SEE ELECTRICAL DRAWINGS.
- 17 TACTILE EXIT SIGN. SEE DETAIL 3/A5.1.
- 18 TV SCREEN BY TENANT. SEE DETAIL 4/A4.1 AND ELECTRICAL DRAWINGS.
- 19 FILE CABINET BY TENANT.
- 20 ONLINE BANKING STATION. COORDINATE W/ FURNITURE VENDOR.
- 21 FURNITURE BY TENANT. PROVIDE ELECTRICAL AND DATA PER ELECTRICAL DRAWINGS. PROVIDE BASE AS REQUIRED AFTER INSTALLATION.
- 22 REMODEL (E) COUNTER AND ACCESS DOOR. MATCH (E) FINISH. COORDINATE W/ CC.
- 23 RELOCATED (E) FIRE EXTINGUISHER.
- 24 ALARM KEYPAD. COORDINATE W/ WELLS FARGO PROJECT MANAGER/SECURITY SYSTEMS.

MARKETING LEGEND:

- 46" FLAT SCREEN TV
- QUEUE LINE MERCHANDISING
- WALL MOUNTED TELLERLINE MERCHANDISING
- TO BE ATTACHED TO THE OBS UNIT PROVIDED BY THE FURNITURE VENDOR
- COMPLIANCE POSTER
- POSTER HANGER
 - LS: 30"W x 41"H - SINGLE POSTER
 - LD: 63"W x 41"H - DOUBLE POSTER
- MURAL AT GLAZING
- BRAND MARK
- NON-ILLUMINATED TONE ON TONE WALL



LEGEND

- (E) WALL TO REMAIN
- NEW INTERIOR PARTITIONS
- WALL TYPE DESIGNATION, SEE DETAIL 1,5,6/A4.0
- FLOOR TRANSITION STRIP (E) VINYL TO (N) VINYL

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PROPOSED FLOOR PLANS AND REFLECTED CEILING PLAN

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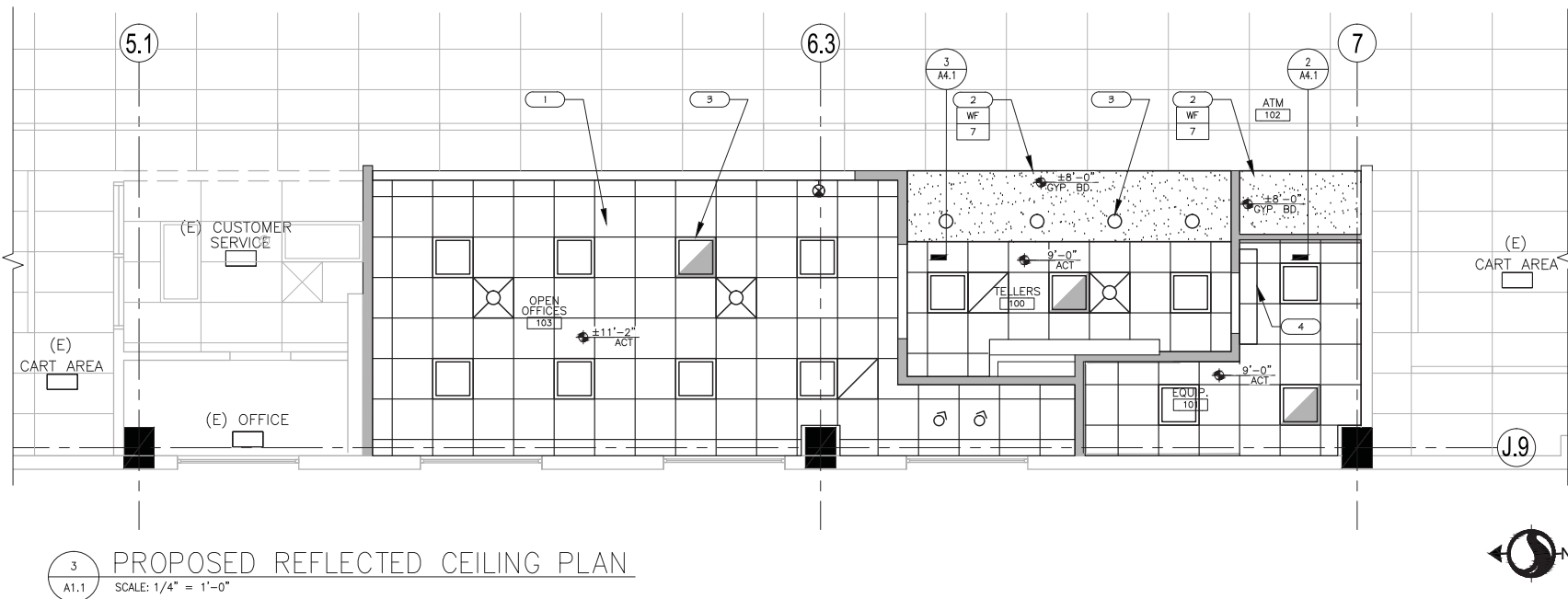
A1.1

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CEILING PLAN GENERAL NOTES

1. CENTER CEILING GRID IN ROOM OR AREA AS INDICATED/SHOWN ON THE PLAN, UNLESS NOTED OTHERWISE.
2. SUSPENDED CEILINGS ARE TO BE INSTALLED TO ASTM STANDARD, ASCE 7-10 13.2.5 OR 13.2.6, ASTM C 636, CBC 803.11 AND THE CISCA GUIDELINES FOR SEISMIC RESTRAINT FOR DIRECT HUNG SUSPENDED CEILING ASSEMBLIES FOR SEISMIC ZONE D.
3. A HEAVY DUTY T-GRID SYSTEM IS REQUIRED.
4. CEILINGS IN EXCESS OF 1,000 SF SHALL HAVE HORIZONTAL RESTRAINT ABOVE THE CEILING TO THE STRUCTURAL SYSTEM.
5. SPRINKLER HEADS ARE TO BE SEMI RECESSED CHROME IN ACOUSTICAL CEILING TILE, TO MATCH EXISTING. OTHER PENETRATIONS SHALL HAVE A 2 INCH OVERSIZE RING, SLEEVE OR ADAPTER THROUGH THE CEILING TILE TO ALLOW FOR FREE MOVEMENT OF AT LEAST 1 INCH IN ALL HORIZONTAL DIRECTIONS.
6. PROVIDE POSITIVE CEILING BRACING AT ANY CHANGES IN THE CEILING ELEVATION.
7. CABLE TRAYS AND ELECTRICAL CONDUITS MUST BE SUPPORTED INDEPENDENTLY OF THE CEILING.



PROPOSED CEILING PLAN KEYNOTES

- 1 NEW CEILING GRID SYSTEM, CEILING TILES AND LIGHT FIXTURES. SEE DETAIL 8/A4.1.
- 2 NEW GYP. BD. SOFFIT TO ALIGN W/(E) SOFFIT IN HEIGHT.
- 3 NEW LED RECESSED LIGHT FIXTURES. REFER TO ELECTRICAL DRAWINGS FOR SPECIFICATIONS.
- 4 WALL HUNG MECHANICAL EQUIPMENT. SEE MECHANICAL DRAWINGS.

CEILING PLAN SYMBOLS LEGEND

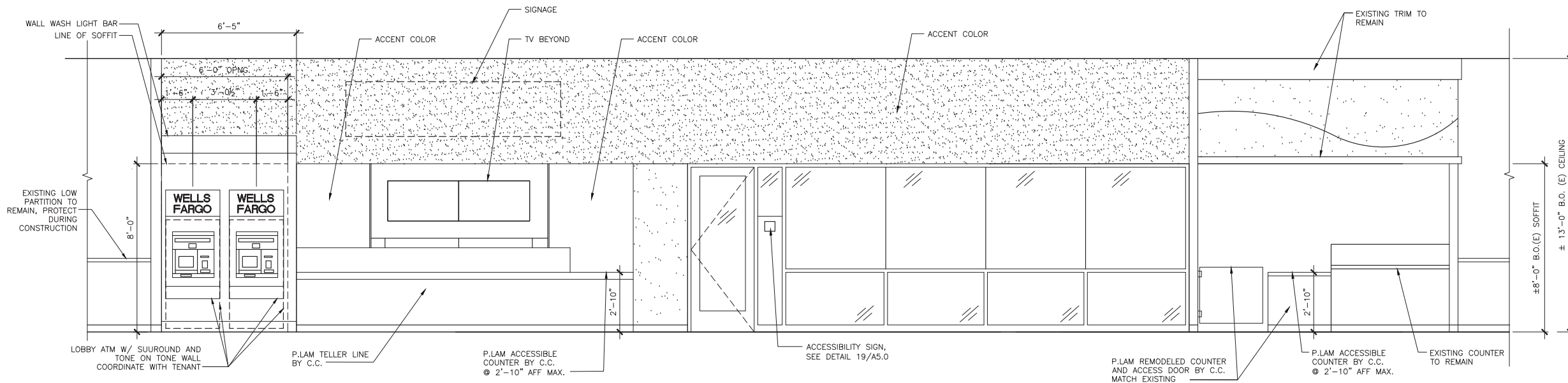
- 2 x 2 ACOUSTICAL LAY-IN CEILING - ARMSTRONG: "ULTIMA" SQUARE LAY-IN 1910 HRC WITH PRELUDE 15/16 GRID SUSPENSION SYSTEM - PRELUDE XL. SEE FINISH SCHEDULE F1.0 FOR MORE INFORMATION.
- GYPSUM BOARD CEILING - PAINT
- DOWNLIGHT FIXTURE
- WALL MOUNTED EXIT SIGN, ARROWS AS INDICATED
- 2'x2' LED NIGHT LIGHT FIXTURE AND/OR EMERGENCY FIXTURE
- 2'x2' LED FIXTURE
- MECHANICAL
 - SUPPLY AIR, REFER TO MEP DRAWINGS
 - RETURN AIR, REFER TO MEP DRAWINGS



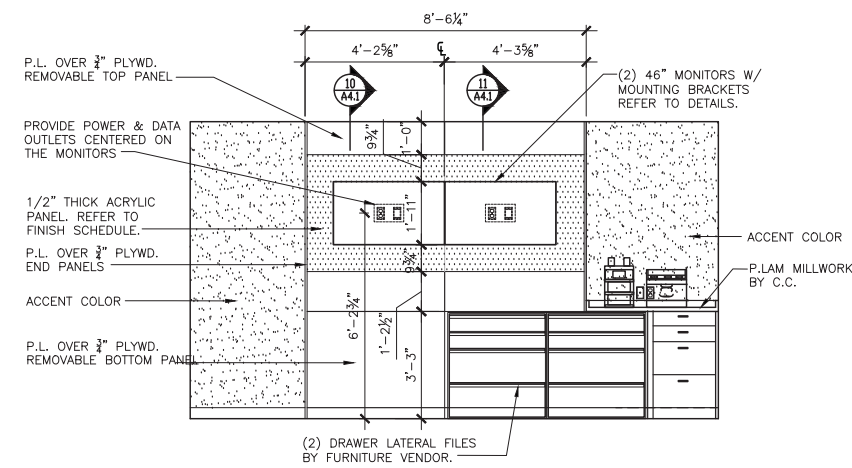
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1750 FULTON ST.
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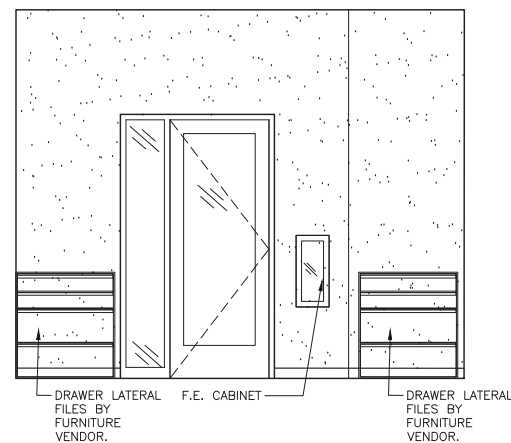
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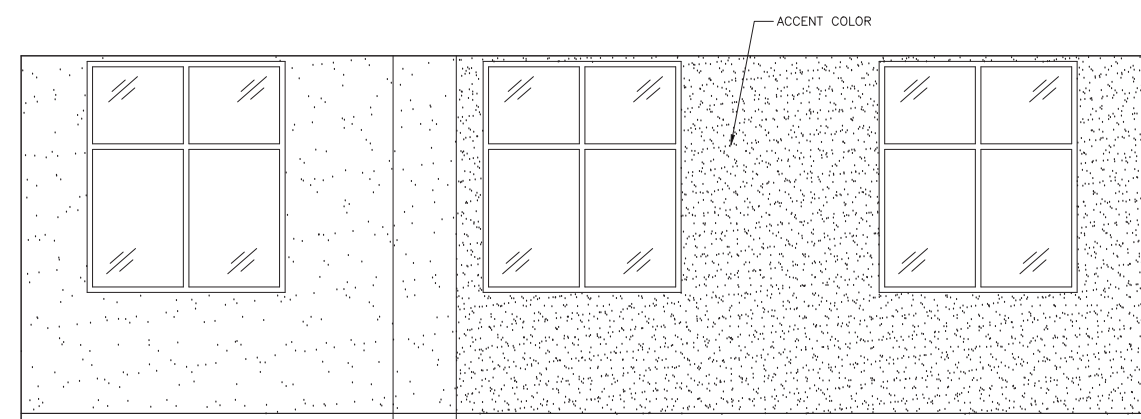
1 FRONT ENTRY ELEVATION
A2.0 SCALE: 3/8" = 1'-0"



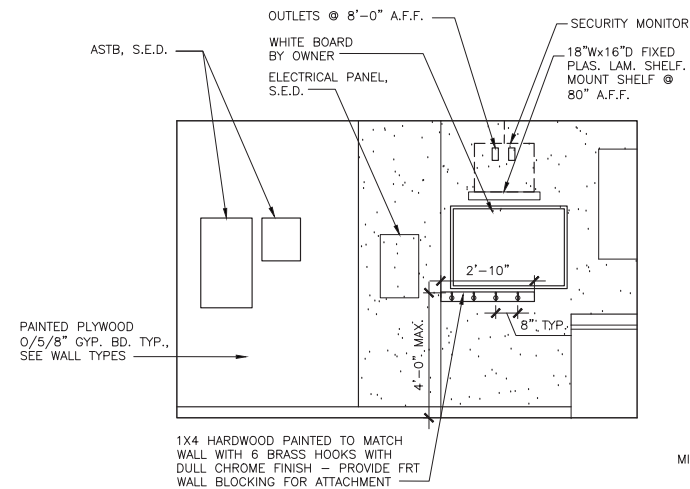
2 TELLER LINE
A2.0 SCALE: 3/8" = 1'-0"



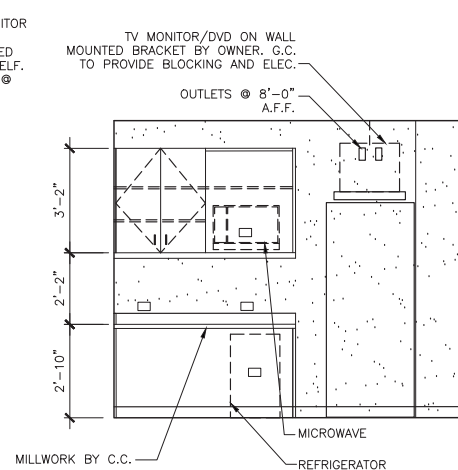
3 PLATFORM AREA
A2.0 SCALE: 3/8" = 1'-0"



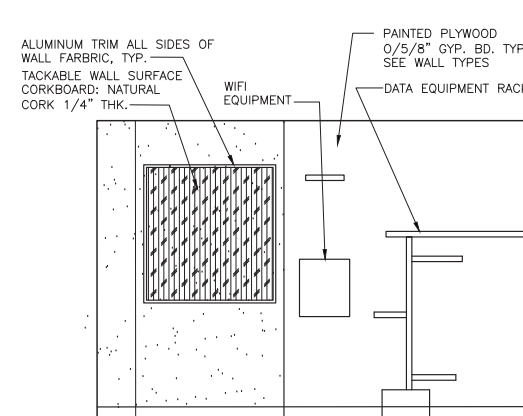
4 PLATFORM AREA
A2.0 SCALE: 3/8" = 1'-0"



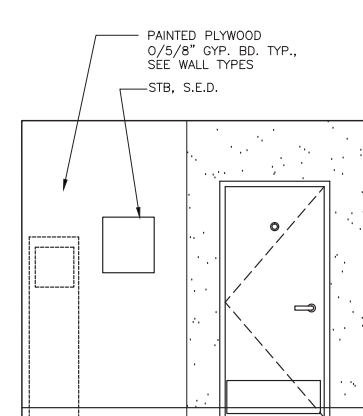
5 EQUIPMENT / BREAK ROOM
A2.0 SCALE: 3/8" = 1'-0"



B



C



D

REVISIONS

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DESIGNED BY: -AKS

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INTERIOR ELEVATIONS

SHEET NUMBER

A2.0

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