

## SAN FRANCISCO PLANNING DEPARTMENT

## Discretionary Review Full Analysis

HEARING DATE: NOVEMBER 10, 2016

Date:	November 3, 2016
Case Nos.:	2014.1310DRP-01
	2014.1310DRP-02
	2014.1310DRP-03 (WITHDRAWN on 2/8/2016)
Project Address:	255 SEA CLIFF AVENUE
Demolition Permit:	2014.08.01.2760
Building Permit:	2014.08.01.2761
Zoning:	RH-1 (D) [Residential House, One-Family, Detached]
	40-X Height and Bulk District
Block/Lot:	1308/019
Project Sponsor:	Lewis Butler, AIA
	Butler Armsden Architects
	2849 California Street
	San Francisco, CA 94115
Staff Contact:	Mary Woods – (415) 558-6315
	mary.woods@sfgov.org
Recommendation:	Do not take DR and approve the project as revised

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Reception: 415.558.6378

Fax: 415.558.6409

Planning Information: **415.558.6377** 

## **PROJECT DESCRIPTION**

The project site contains an approximately 31-foot tall, three-story (including a garage level on the ground floor), single-family house. The project proposes to demolish the existing approximately 5,600 square-foot single-family house, and construct a new 35-foot tall, four-story (including a ground floor garage and 4<sup>th</sup> floor penthouse), approximately 6,400 square-foot single-family house.

The new house will be set back approximately 15 feet from the front property line, as compared to the existing 10-foot setback. While only a 31-foot deep (25%) rear yard is required, the project proposes a rear yard setback of approximately 43 feet, which is close to maintaining the existing rear yard depth of 45 feet (a 36% rear yard setback). The proposed building depth is approximately 67 feet in length, as compared to the existing 70-foot building depth. The proposed L-shaped fourth floor penthouse (approximately 28 feet long and 582 square feet in area) will be set back approximately 23 feet from the new building's three-story front facade; 59 feet from the rear property line, and 3 feet from each side property line.

Pursuant to Planning Code Section 317, which allows the Planning Department to administratively approve residential demolitions of single-family houses which are not affordable or financially accessible housing located in RH-1(D) Districts, the Zoning Administrator issued an Action Memo, dated March 14, 2016 (copy attached for Case No. 2014.1310D) authorizing administrative approval of the proposed residential demolition.

## SITE DESCRIPTION AND PRESENT USE

The existing single-family house is located on the south side of Sea Cliff Avenue between 27th Avenue and El Camino del Mar. It faces properties that abut the ocean cliffs. The site has approximately 35 feet of lot frontage with a lot depth of 125 feet, containing 4,375 square feet in lot area. The lot contains a threestory circa 1951 building that occupies approximately 44% of the site. The front building wall is approximately 10 feet from the front property line while the rear building wall is set back approximately 45 feet from the rear property line. The overall building footprint is approximately 70 feet in length.

## SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is located near the southern edge of the Presidio in the Outer Richmond/Sea Cliff neighborhood. The residences on Sea Cliff Avenue, and in the broader neighborhood, are primarily finescale single-family, two-, three- and four-story houses, featuring a mix of traditional and contemporary architecture styles. Buildings on the subject block range from two to four stories tall. Houses across the street from the subject property are generally three stories in height. The immediately adjacent houses to the subject building on Sea Cliff Avenue are two stories in height and the houses behind the subject property fronting on El Camino del Mar are generally three and four stories in height. Larger scale apartment buildings are interspersed at corner locations at 27th Avenue and Lake Street, and at 27th Avenue and El Camino del Mar. Commercial uses are located a few blocks south along California Street.

TYPE	REQUIRED	NOTIFICATION	DR FILE DATE		
TIFL	PERIOD	DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	8/24/2015 to	9/23/2015	11/10/2016	410 days

## **BUILDING PERMIT APPLICATION NOTIFICATION**

9/23/2015

## **HEARING NOTIFICATION**

311 Notice

30 days

ТҮРЕ	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	October 31, 2016	October 31, 2016	10 days
Mailed Notice	10 days	October 31, 2016	October 31, 2016	10 days

9/23/2015

11/10/2016

## PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbors		3 (see below DR requestors)	
Other neighbors on the			
block or directly across	1	2	
the street			
Neighborhood groups			Х

Two letters in opposition to the proposed project were received prior to Section 311 neighborhood notification. Since the DRs were filed, the Department has received one letter in support of the project.

## DR REQUESTORS

- (1) Terrance and Marlene Marseille, owners of a single-family residence at 275 Sea Cliff Avenue, immediately west of the project site (DR Case No. 2014.1310DRP-01);
- (2) Timothy and Denise Curry, owners of a single-family residence at 510 El Camino del Mar, immediately south of the project site (DR Case No. 2014.1310DRP-02); and
- (3) Walther and Patrice Lovato, owners of a single-family residence at 520 El Camino del Mar, immediately south of the project site (DR Case No. 2014.1310DRP-03; **DR WITHDRAWN** on 2/8/2016).

## DR REQUESTORS' CONCERNS AND PROPOSED ALTERNATIVES

The DR requestors noted similar concerns in their DR applications. The issues and alternatives described below are the consolidated feedback. Since one of the three DRs has been withdrawn, please refer to the attached remaining two *Discretionary Review Applications* for additional information.

- **ISSUE #1 Excessive Use of Clear Glass Windows:** The DR requestors are concerned that excessive glazing compromises privacy for neighbors to the west at 275 Sea Cliff Avenue (i.e., clear glass windows, a 3-story glass-walled staircase, and an all glass 4<sup>th</sup> floor penthouse).
- **Proposed Alternative #1:** use opaque glass on 2<sup>nd</sup> and 3rd-floor stairway windows, and opaque glass on the west side of the 4<sup>th</sup> floor penthouse windows;
- **ISSUE #2 Loss of Privacy, Light and Air to Adjacent Neighbors:** The DR requestors are concerned that the increase in depth of the new building footprint by 2.6 feet, and the building's 4<sup>th</sup> floor reduce privacy, light, air, and loom over all other residences in the neighborhood, including the neighbors to the west at 275 Sea Cliff Avenue, specifically affecting their hot tub, patio and seating area, and the master bedroom.

**Proposed Alternative #1:** set back the west side glass guardrail on the 4<sup>th</sup> floor terrace by 8 feet; **Proposed Alternative #2:** remove the 4<sup>th</sup> floor glass penthouse;

- **ISSUE #3 Opposition to Demolition:** The DR requestors are concerned that demolition is not a green building practice. The existing building has not reached the end of its useful cycle and is being demolished over the desire for a new modern building.
- **ISSUE #4 Design/Height/Bulk/Mass of New Residence:** The DR requestors are concerned that the new modern design building with a 4<sup>th</sup> floor level is inconsistent with the Mediterranean architecture style from the 1920s and 1930s and sets a new standard of height and massing for the entire neighborhood, and could lead to massive changes in the historic character of the Sea Cliff neighborhood.

Proposed Alternative #1: excavate deeper in order to reduce the scale and height of the new building;
Proposed Alternative #2: reduce the ceiling height between floors to further reduce the scale and height of the new building.

- **ISSUE #5 Proposal is Detrimental to the Neighborhood:** The DR requestors are concerned that the new building (loft-like glass box) will be a detriment to any future designation as a historic district because it does not match or meet the existing character of the Sea Cliff neighborhood.
- **Proposed Alternative #1:** re-design the project to be in closer harmony with the aesthetic character of the Sea Cliff neighborhood.

## PROJECT SPONSOR'S RESPONSE

The sponsor has worked with the Department and DR requestors on revisions to the proposed project. Highlights of the overall project and modifications are provided below:

- 1. The proposed building is compatible with the mixed character designs found within the Sea Cliff neighborhood, and within the immediate context of the subject block, such as 711 El Camino del Mar, 101 27th Avenue, and 2901 Lake Street.
- 2. The massing and bulk is consistent with immediate context of buildings on the subject block. Four homes on El Camino del Mar on the subject block are over 3 stories tall. Additionally, the proposed main building volume is compatible with the existing building volume from the street and sidewalk.
- 3. The L-shaped 4<sup>th</sup> floor penthouse represents 30% or 582 square feet of the overall building footprint. Most of its massing is set back approximately 34 feet from the front building wall, and approximately 59 feet to the rear property line. Furthermore, the proposal includes over 2 feet of excavation to minimize the height of the new 4<sup>th</sup> floor penthouse.
- 4. The project proposes two green roofs acting as "book ends" to the proposed roof deck and penthouse.
- 5. The separation of living spaces between subject property and 275 Sea Cliff (DR requestors to the west) exceeds 30 feet.
- 6. The majority of proposed windows facing 275 Sea Cliff serves non-living spaces such as a bathroom, a laundry room, and a 3-story staircase, as compared to the existing condition where predominantly living functions abut the property at 275 Sea Cliff.
- 7. The second floor roof deck (approximately 13 feet in length) at the rear of the existing building will not be replaced in the new building; thereby, minimizing privacy concerns. In its place, a single punched opening at the first and second levels (facing west) will be provided.

- 8. Privacy concerns expressed by 275 Sea Cliff have also been addressed by reducing the glazing area on the west façade by over 6%, including the re-design of the western façade where the staircase is located from a floor-to-ceiling glass certain wall system to a punched-opening window system.
- 9. The proposed roof deck and western guardrail (previously extended to the edge of the building) has been set back inward an additional 3 feet, for a total of 6 feet from the west property line.

Please see the attached Response to Discretionary Review, dated October 17, 2016 for additional information.

## **PROJECT ANALYSIS**

With regard to the DR requestors' concerns, staff believes that the proposed project is appropriate and compatible in design, height, bulk, and massing with the surrounding neighborhood. The project was modified to address neighbors' concerns related to the amount of glazing, and impacts to light, air, and privacy. The proposed building footprint (approximately 67 feet deep) is three feet shorter than the existing 70-foot building footprint depth. Furthermore, the proposed front setback at 15 feet is five feet deeper than the existing 10-foot front setback. The proposed fourth floor penthouse is enclosed in glass to minimize bulk and massing at the top of the building. The proposed roof deck and western guardrail (previously extended to the edge of the building) has been set inward an additional 3 feet, for a total of 6 feet from the west property line. The overall glazing on the western façade was reduced from 25% to 19%, which is closer to the 13% of glazing on the existing western façade.

With regard to the issue of historic significance, preservation staff has evaluated the existing circa 1951 building and determined that it does not appear to be of historic significance under the criterion relating to architecture and that the subject block is not representative of the 1920s-era Mediterranean Revival style architecture found in other parts of Sea Cliff. While the project site is within a Sea Cliff eligible historic district identified in 2010, with a period of significance ranging from 1913 through 1935, defined by Mediterranean Revival style architecture, the subject block face, on the south side of Sea Cliff Avenue between El Camino del Mar and 27<sup>th</sup> Avenue, was entirely constructed after the period of significance and the architectural styles are much more reflective of the modern era. Therefore, 255 Sea Cliff Avenue does not appear to be a contributor to the Sea Cliff eligible historic district. Because the existing building is a non-contributor to the district, the design of the new building was referred to the Residential Design Team (RDT) for review. The proposed building has been evaluated by RDT and determined to be compatible with the surrounding architectural styles in the neighborhood.

The Department has reviewed the proposed project and finds that in all of its features, it fully complies with the requirements of the Planning Code and is consistent with the Residential Design Guidelines.

### ENVIRONMENTAL REVIEW

On December 15, 2014, the project was determined to be exempt from the California Environmental Quality Act ("CEQA") as a Class 3 Categorical Exemption under CEQA as described in the determination contained in the Planning Department files for this project (copy attached for Case No. 2014.1310E).

## **RESIDENTIAL DESIGN TEAM REVIEW**

The Residential Design Team (RDT) reviewed the project both before it was sent out for notification and following the submittal of the requests for Discretionary Review. The RDT's review of the requests for Discretionary Review resulted in the RDT's request that several revisions be made to the project to address concerns raised by the DR requestors. The project sponsor revised the project in accordance with the RDT's request. The RDT's comments in response to the revised plans are as follows:

- The massing is appropriate within the neighborhood context. The proposal retains the existing three-story massing at the street which respects the two- and three-story context of the neighborhood.
- The fourth floor penthouse is set back approximately 23 feet from the front building wall, beyond the recommended setback of 15 feet. The setback of the 4th story and lightness of materials ensure that the upper level appears subordinate in scale to the primary structure, as well as, neighboring buildings.
- The railing for the roof deck is set back 3 feet from the west building wall for a total of 6 feet from the west property line.
- As revised, the glazing proportions are appropriate. The spacing of the windows is consistent with the punched vertical openings in the neighborhood context, and the differentiation in material at the floorplates provides more solidity to the overall form.
- Issues related to privacy are found to be within reasonable tolerances to be expected when living within a dense, urban environment such as San Francisco.

With these revisions having been made, the RDT finds that the project does not contain or create any exceptional or extraordinary circumstances and that the proposed building is consistent with the design context and scale of this portion of the Sea Cliff neighborhood.

# Under the Commission's pending DR Reform Legislation, this project <u>would</u> be referred to the Commission, as this project involves new construction.

## BASIS FOR RECOMMENDATION

- The overall architectural expression of the new building is in keeping with the Sea Cliff neighborhood character.
- The proposed massing (including a set back 4<sup>th</sup> floor glass penthouse) is compatible with the surrounding neighborhood in height, scale and form.
- The proposed project has been modified to address issues related to design, light, air, and privacy.
- The proposed project meets the requirements of the San Francisco Planning Code, and does not seek any exceptions.

**RECOMMENDATION:** Do not take DR and approve the project as revised

#### Attachments:

Parcel/Zoning Map Sanborn Map Aerial Photo Zoning Map Zoning Administrator Action Memo, dated March 14, 2016 Environmental Determination, dated December 15, 2014 Section 311 Notice DR Application, dated September 23, 2015 from Terrance and Marlene Marseille at 275 Sea Cliff Avenue DR Application, dated September 23, 2015 from Timothy and Denise Curry at 510 El Camino del Mar Project Sponsor Submittal, including:

- Response to DR Applications, dated October 17, 2016
- Attorney Letter
- Reduced Plans
- 3-D Rendering
- Block Photos

# **Design Review Checklist**

## **NEIGHBORHOOD CHARACTER (PAGES 7-10)**

QUESTION			
The visual character is: (check one)			
Defined			
Mixed	X		

**Comments:** The surrounding neighborhood has a mix of 1920s-era Mediterranean Revival style and a modern era from the 1940s and 1950s. The subject block face is residential in character and was constructed between 1941 to 1952, while the surrounding development is primarily from the 1920s and 1930s.

## SITE DESIGN (PAGES 11 - 21)

QUESTION	YES	NO	N/A
Topography (page 11)			
Does the building respect the topography of the site and the surrounding area?	X		
Is the building placed on its site so it responds to its position on the block and to	x		
the placement of surrounding buildings?			
Front Setback (pages 12 - 15)			
Does the front setback provide a pedestrian scale and enhance the street?	X		
In areas with varied front setbacks, is the building designed to act as transition	x		
between adjacent buildings and to unify the overall streetscape?	λ		
Does the building provide landscaping in the front setback?	X		
Side Spacing (page 15)			
Does the building respect the existing pattern of side spacing?	X		
Rear Yard (pages 16 - 17)			
Is the building articulated to minimize impacts on light to adjacent properties?	X		
Is the building articulated to minimize impacts on privacy to adjacent properties?	X		
Views (page 18)			
Does the project protect major public views from public spaces?			X
Special Building Locations (pages 19 - 21)			
Is greater visual emphasis provided for corner buildings?			X
Is the building facade designed to enhance and complement adjacent public			v
spaces?			x
Is the building articulated to minimize impacts on light to adjacent cottages?			x

**Comments:** The proposed project provides a front yard setback, side yard setbacks on each side, and a rear yard setback. With the exception of the DR requestors to the west at 275 Sea Cliff having a front setback of approximately 39 feet, most of the remaining properties on the subject block are set back approximately 10 feet from the front property line. The subject building proposes a front setback of

approximately 15 feet. The project also proposes two green roofs acting as "book ends" to the proposed roof deck and penthouse. The proposed roof deck and western guardrail (previously extended to the edge of the building) has been set back inward an additional 3 feet, for a total of 6 feet from the west property line.

## BUILDING SCALE AND FORM (PAGES 23 - 30)

QUESTION		NO	N/A
Building Scale (pages 23 - 27)			
Is the building's height and depth compatible with the existing building scale at the street?			
Is the building's height and depth compatible with the existing building scale at the mid-block open space?	x		
Building Form (pages 28 - 30)			
Is the building's form compatible with that of surrounding buildings?			
Is the building's facade width compatible with those found on surrounding buildings?			
Are the building's proportions compatible with those found on surrounding buildings?			
Is the building's roofline compatible with those found on surrounding buildings?	X		

**Comments**: The massing is appropriate within the neighborhood context. The proposal retains the existing three-story massing at the street, which respects the two and three story context of the neighborhood. The fourth floor penthouse is set back approximately 23 feet from the front building wall, beyond the recommended setback of 15 feet. The setback of the 4th floor and lightness of materials ensure that the upper level appears subordinate in scale to the primary structure, as well as, neighboring buildings.

## **ARCHITECTURAL FEATURES (PAGES 31 - 41)**

QUESTION	YES	NO	N/A
Building Entrances (pages 31 - 33)			
Does the building entrance enhance the connection between the public realm of	x		
the street and sidewalk and the private realm of the building?			
Does the location of the building entrance respect the existing pattern of building entrances?	x		
Is the building's front porch compatible with existing porches of surrounding buildings?	x		
Are utility panels located so they are not visible on the front building wall or on the sidewalk?	x		
Bay Windows (page 34)			
Are the length, height and type of bay windows compatible with those found on surrounding buildings?	x		
Garages (pages 34 - 37)			

Is the garage structure detailed to create a visually interesting street frontage?	X	
Are the design and placement of the garage entrance and door compatible with	v	
the building and the surrounding area?	X	
Is the width of the garage entrance minimized?	x	
Is the placement of the curb cut coordinated to maximize on-street parking?	X	
Rooftop Architectural Features (pages 38 - 41)		
Is the stair penthouse designed to minimize its visibility from the street?		X
Are the parapets compatible with the overall building proportions and other	x	
building elements?	λ	
Are the dormers compatible with the architectural character of surrounding		v
buildings?		~
Are the windscreens designed to minimize impacts on the building's design and		v
on light to adjacent buildings?		Λ

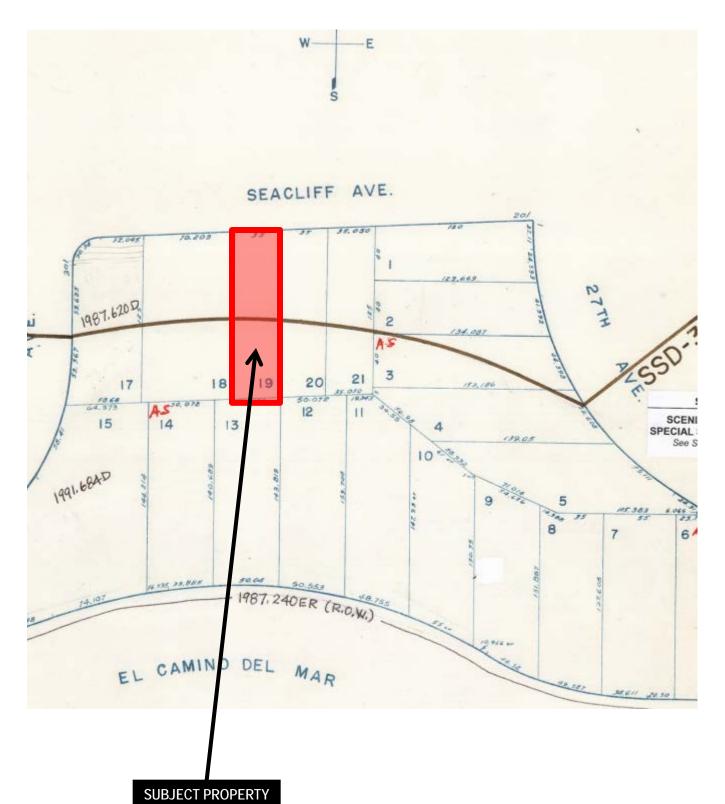
**Comments:** The building entrance and garage location of the proposed project are consistent with the surrounding neighborhood.

## **BUILDING DETAILS (PAGES 43 - 48)**

QUESTION	YES	NO	N/A
Architectural Details (pages 43 - 44)			
Are the placement and scale of architectural details compatible with the building and the surrounding area?	x		
Windows (pages 44 - 46)			
Do the windows contribute to the architectural character of the building and the neighborhood?	x		
Are the proportion and size of the windows related to that of existing buildings in the neighborhood?	x		
Are the window features designed to be compatible with the building's architectural character, as well as other buildings in the neighborhood?	x		
Are the window materials compatible with those found on surrounding buildings, especially on facades visible from the street?			
Exterior Materials (pages 47 - 48)			
Are the type, finish and quality of the building's materials compatible with those used in the surrounding area?	x		
Are the building's exposed walls covered and finished with quality materials that are compatible with the front facade and adjacent buildings?	x		
Are the building's materials properly detailed and appropriately applied?	X		

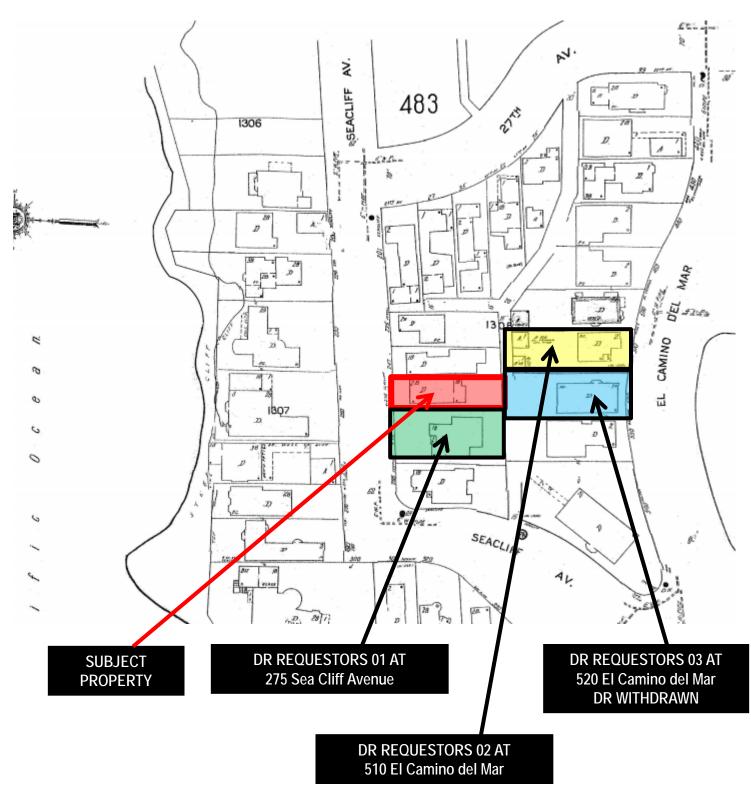
**Comments:** The project provides high quality materials along the façades. The glazing proportions are appropriate. The spacing of the windows is more consistent with the punched vertical openings in the neighborhood context, and the differentiation in material at the floorplates provides more solidity to the overall form.

# **Parcel/Zoning Map**



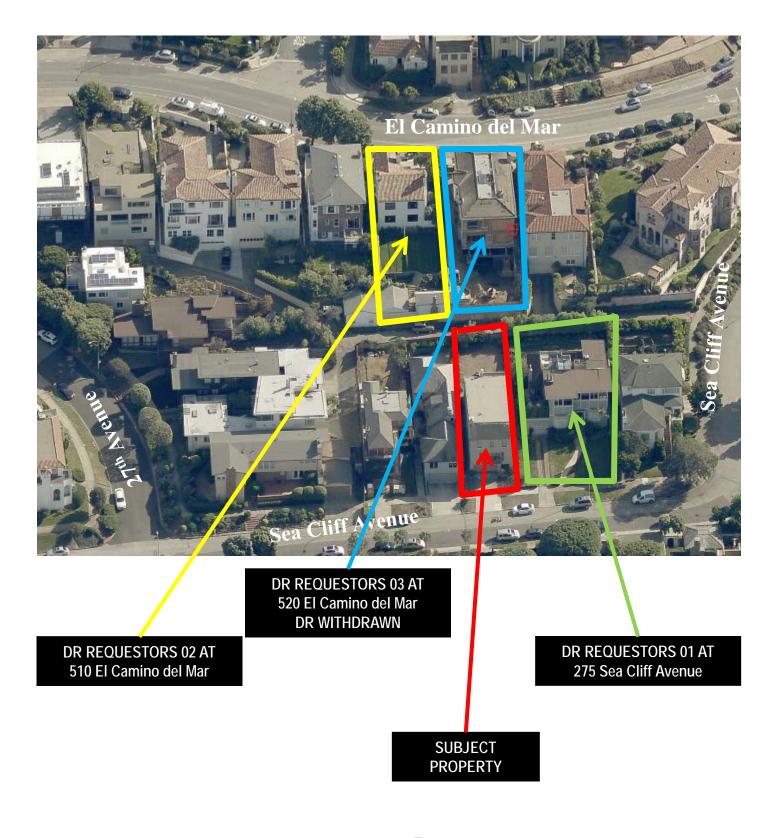
# Sanborn Map\*

\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



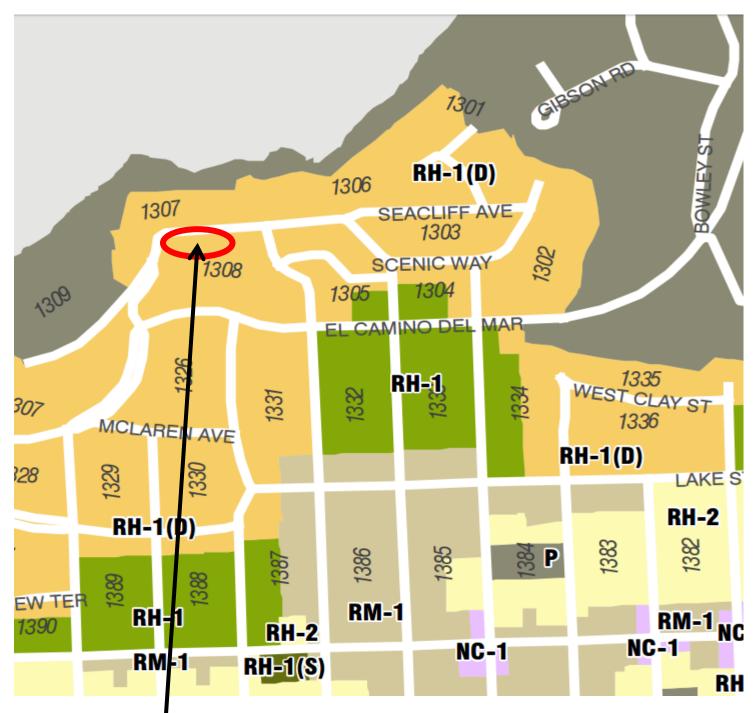


# **Aerial Photo**





# **Zoning Map**



PROJECT SITE

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# SAN FRANCISCO PLANNING DEPARTMENT

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# Zoning Administrator Action Memo Administrative Review of Residential Demolition

Date:	March 14, 2016
Case No.:	2014.1310D
Project Address:	255 SEA CLIFF AVENUE
Demolition Permit:	2014.08.01.2760
Zoning:	RH-1(D) (Residential, House, One-Family, Detached) District
	40-X Height and Bulk District
Block/Lots:	1308/019
Applicant:	Butler Armsden Architects
	2849 California Street
	San Francisco, CA 94115
Owner:	Ann and John Mao
	255 Sea Cliff Avenue
	San Francisco, CA 94121
Staff Contact:	Mary Woods – (415) 558-6315
	mary.woods@sfgov.org

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Reception: 415.558.6378

Fax: 415.558.6409

Planning Information: 415.558.6377

## **PROJECT DESCRIPTION:**

The proposed demolition of a three-story, single-family dwelling is subject to Planning Code Section 317, which allows the Planning Department to administratively approve residential demolitions (1) of single-family houses located in RH-1 and RH-1(D) Districts and which are not affordable or financially accessible housing; or (2) of residential buildings of two units or fewer that are found to be unsound housing.

## ACTION:

Upon review of the applicant's property appraisal that demonstrated that the existing single-family dwelling is not affordable or financially accessible housing, the Zoning Administrator **AUTHORIZED ADMINISTRATIVE APPROVAL** of Building Permit Application No. 2014.08.01.2760 proposing to demolish a single-family house.

## FINDINGS:

The Zoning Administrator took the action described above because the applicant's property appraisals demonstrated that the existing single-family dwelling is not affordable or financially accessible housing. Based on the applicant's appraisals, the existing dwelling has a value greater than at least 80 percent of the combined land and structure values of single-family homes in San Francisco. The City's numeric threshold is at \$1.63 million while the applicant's dwelling is appraised at \$3.8 million.

Please note that pending legislation (Board File No. 150949 – Planning Department Case No. 2015-006712PCA) would require Conditional Use Authorization for the subject project. On December 10, 2015, this legislation was reviewed by the Planning Commission, which recommended adoption of the

legislation with minor modifications (Motion No. 19532). If this legislation becomes effective prior to the issuance of this building permit, the project may be subject to the Conditional Use Authorization requirement.

You can appeal the Zoning Administrator's action to the Board of Appeals by appealing the issuance of the above-referenced Building Permit Application. For information regarding the appeals process, please contact the Board of Appeals located at 1650 Mission Street, Room 304, San Francisco, or call (415) 575-6880.

cc: Zoning Administrator Files



## SAN FRANCISCO PLANNING DEPARTMENT

## **CEQA Categorical Exemption Determination**

## PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)			
2	255 Seacliff Ave.	1	308/019		
Case No.	Permit No.	Plans Dated			
2014.1310E			7/22/14		
Addition/	Demolition	New	Project Modification		
Alteration	(requires HRER if over 45 years old)	Construction	(GO TO STEP 7)		
Project description f	or Planning Department approval.				
Demo existing bu	ilding and replace with a new single fa	mily residence			
			a la sector de la la sector de la		

## STEP 1: EXEMPTION CLASS TO BE COMPLETED BY PROJECT PLANNER

*Note: If neither class applies, an Environmental Evaluation Application is required.*				
	Class 1 – Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.			
V	Class 3 – New Construction/ Conversion of Small Structures. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.			
	Class			

## STEP 2: CEQA IMPACTS

## TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an Environmental Evaluation Application is required. Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities? Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP\_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone) Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards  $\checkmark$ or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the

	Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).
V	<b>Soil Disturbance/Modification:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? ( <i>refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Archeological Sensitive Area</i> )
	<b>Noise:</b> Does the project include new noise-sensitive receptors (schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area? ( <i>refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Noise Mitigation Area</i> )
	<b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? ( <i>refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Topography</i> )
	Slope = or > 20%: : Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, or grading on a lot with a slope average of 20% or more? <i>Exceptions: do not check box for work performed on a</i> <i>previously developed portion of site, stairs, patio, deck, or fence work. (refer to EP_ArcMap &gt; CEQA Catex</i> <i>Determination Layers &gt; Topography</i> ) If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
	Seismic: Landslide Zone: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, grading –including excavation and fill on a landslide zone – as identified in the San Francisco General Plan? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work. (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Seismic Hazard Zones)</i> If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
	<b>Seismic:</b> Liquefaction Zone: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1000 sq ft, shoring, underpinning, retaining wall work, or grading on a lot in a liquefaction zone? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work. (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Seismic Hazard Zones)</i> If box is checked, a geotechnical report will likely be required
	<b>Serpentine Rock:</b> Does the project involve any excavation on a property containing serpentine rock? <i>Exceptions: do not check box for stairs, patio, deck, retaining walls, or fence work. (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Serpentine)</i>
	s are checked above, GO TO STEP 3. <u>If one or more boxes are checked above, an <i>Environmental</i> Application is required, unless reviewed by an Environmental Planner.</u>
	Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.
Comments	and Planner Signature (optional): Jean Poling
	earance. Maher enrollment.

## STEP 3: PROPERTY STATUS – HISTORIC RESOURCE TO BE COMPLETED BY PROJECT PLANNER

PROPE	RTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)			
	Category A: Known Historical Resource. GO TO STEP 5.			
$\checkmark$				
<b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6</b> .				

SAN FRANCISCO PLANNING DEPARTMENT 8/18/2014

## STEP 4: PROPOSED WORK CHECKLIST TO BE COMPLETED BY PROJECT PLANNER

Che	Check all that apply to the project.				
	1. Change of use and new construction. Tenant improvements not included.				
	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.				
	3. Window replacement that meets the Department's Window Replacement Standards. Does not include storefront window alterations.				
	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.				
	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.				
	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of- way.				
	7. Dormer installation that meets the requirements for exemption from public notification under Zoning Administrator Bulletin No. 3: Dormer Windows.				
	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.				
Note	e: Project Planner must check box below before proceeding.				
	Project is not listed. GO TO STEP 5.				
	Project does not conform to the scopes of work. GO TO STEP 5.				
	Project involves four or more work descriptions. GO TO STEP 5.				
	Project involves less than four work descriptions. GO TO STEP 6.				

## **STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW** TO BE COMPLETED BY PRESERVATION PLANNER

Check a	II that apply to the project.
	1. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
	2. Interior alterations to publicly accessible spaces.
	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
	5. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.
	6. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
	7. Addition(s), including mechanical equipment that are minimally visible from a public right-of-way and meet the Secretary of the Interior's Standards for Rehabilitation.

interaction control contr

	(specify or add comments):	
		and a second
✓	9. Reclassification of property statu Planner/Preservation Coordinator)	<b>s</b> to Category C. (Requires approval by Senior Preservation
	a. Per HRER dated:	(attach HRER)
	b. Other (specify):	
	Per PTR dated 12/12/2014.	
lote:	If ANY box in STEP 5 above is checke	ed, a Preservation Planner MUST check one box below.
	Further environmental review requires Environmental Evaluation Application	<b>ired.</b> Based on the information provided, the project requires an to be submitted. <b>GO TO STEP 6.</b>
		l exemption review. The project has been reviewed by the
	Preservation Planner and can proceed ents (optional): vation Planner Signature: Alexandra	Kirby
eserv TEP ( ) BE	ents ( <i>optional</i> ): vation Planner Signature: Alexandra 6: CATEGORICAL EXEMPTION DETE COMPLETED BY PROJECT PLANNI Further environmental review required	Kirby Renew Street With and Street St
eserv TEP ( ) BE	vation Planner Signature: Alexandra 6: CATEGORICAL EXEMPTION DETE COMPLETED BY PROJECT PLANNI Further environmental review required all that apply):	Kirby Renew Street With and Street St
eserv TEP ( ) BE	vation Planner Signature:       Alexandra         6: CATEGORICAL EXEMPTION DETE         COMPLETED BY PROJECT PLANNI         Further environmental review required all that apply):         Step 2 – CEQA Impacts	Kirby Mark and Mark a
eserv [EP ( ) BE	vation Planner Signature:       Alexandra         6: CATEGORICAL EXEMPTION DETE         COMPLETED BY PROJECT PLANNI         Further environmental review required         all that apply):         Step 2 – CEQA Impacts         Step 5 – Advanced Historical I	Kirby Market Andrews RMINATION ER d. Proposed project does not meet scopes of work in either ( <i>check</i> Review
reserver TEP ( D BE 1 2 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	vation Planner Signature:       Alexandra         6: CATEGORICAL EXEMPTION DETE         COMPLETED BY PROJECT PLANNI         Further environmental review required         all that apply):         Step 2 – CEQA Impacts         Step 5 – Advanced Historical I         STOP! Must file an Environmental Evo	Kirby Market Andrews RMINATION ER d. Proposed project does not meet scopes of work in either ( <i>check</i> Review
reserver TEP ( D BE 1 2 4 5 7 1 1 1 1 1 1 1 1 1 1 1 1 1	vation Planner Signature:       Alexandra         6: CATEGORICAL EXEMPTION DETE         COMPLETED BY PROJECT PLANNI         Further environmental review required         all that apply):         Step 2 – CEQA Impacts         Step 5 – Advanced Historical I         STOP! Must file an Environmental Evo	Kirby We

In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.

SAN FRANCISCO		
PLANNING	DEPARTMENT	8/18/2014

4

## STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

#### PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If diff	ferent than front page)	Block/Lot(s) (If different than front page)		
Case No.	Previous Building Permit No.	New Building Permit No.		
Plans Dated	Previous Approval Action	New Approval Action		
Modified Project Desc	ription:			

## DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

Result in expansion of the building envelope, as defined in the Planning Code;
Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
Result in demolition as defined under Planning Code Section 317 or 19005(f)?
Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?

If at least one of the above boxes is checked, further environmental review is required CATEX FORM

#### DETERMINATION OF NO SUBSTANTIAL MODIFICATION

	The proposed modification would not result in any of the above changes.					
If this box i	If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project					
approval a	approval and no additional environmental review is required. This determination shall be posted on the Planning					
Departmen	Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.					
Planner l	Planner Name: Signature or Stamp:					

SAN FRANCISCO PLANNING DEPARTMENT 8/18/2014



## SAN FRANCISCO PLANNING DEPARTMENT

## PRESERVATION TEAM REVIEW FORM

reservation Team Meeting Dat	te:	Date of Form Com	letion 1	1/24/2014	Suite 400 San Francisco
PROJECT INFORMATION:					CA 94103-247
					Reception: 415.558.637
Planner:	Address:		Sec. Sec.		410.000.007
lexandra Kirby	255 Sea Cliff Avenu	Je			Fax:
Block/Lot:	Cross Streets:				415.558.640
308/019	27th Avenue and E	l Camino del mar			Planning
CEQA Category:	Art. 10/11:	BPA/Ca	e No.:		Information: 415.558.63
	N/A	2014.131	0E		]
PURPOSE OF REVIEW:		PROJECT DESCRIPT	ION:		1
CEQA CArticle 10/11	C Preliminary/PIC	C Alteration	Demo	/New Construction	1
PROJECT ISSUES:	A seaso in and superiors.		- Larsell		
Is the subject Property an					
If so, are the proposed cha	anges a significant impa	ct?	_		-
Additional Notes: Submitted: Historic Resou 15, 2013.	rce Evaluation prep				
Proposal is to demolish th					
Proposal is to demolish th PRESERVATION TEAM REVIEW: Historic Resource Present		CYe		No * CN/A	

	Individual		Historic District/Context		
	Property is individually eligible California Register under one o following Criteria:		Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:		
	Criterion 1 - Event:	C Yes <ul> <li>No</li> </ul>	Criterion 1 - Event:	∩ Yes ● No	
	Criterion 2 -Persons:C YesNoCriterion 3 - Architecture:C YesNo		Criterion 2 -Persons:	CYes 🖲 No	
			Criterion 3 - Architecture:	• Yes C No	
	Criterion 4 - Info. Potential:		Criterion 4 - Info. Potential:	C Yes  No	
	Period of Significance:		Period of Significance: 1913	- 1935	
			C Contributor ( Non-Cont	tributor	

Complies with the Secretary's Standards/Art 10/Art 11:	C Yes	C No	• N/A
CEQA Material Impairment:	C Yes	No	
Needs More Information:	C Yes	( No	
Requires Design Revisions:	C Yes	( No	
Defer to Residential Design Team:	• Yes	C No	

\* If No is selected for Historic Resource per CEQA, a signature from Senior Preservation Planner or Preservation Coordinator is required.

#### PRESERVATION TEAM COMMENTS:

255 Seacliff Avenue was constructed in 1951 by owner and pharmacist Edward Rifkind; no architect is listed on the original building permit. The subject property is a two-story-overgarage, wood frame, single family residence constructed in a vernacular neo-colonial style. The primary facade features painted horizontal wood siding with a side gable roof form. A false balconette is located at the center of the second level, in front of a three-pane picture window braced with decorative shutters, and three double-hung windows are evenly spaced at the third level. The entryway is recessed at the west side of the facade, where tile stairs lead to the second story entrance. The building retains a high degree of integrity and has undergone no significant exterior alterations.

Based on historic research conducted by Page and Turnbull and preservation planning staff, 255 Seacliff Avenue does not appear to be individually eligible for the California Register under criteria 1 (Events), 2 (Persons), or 3 (Architecture). The subject property is not associated with any known significant events and was constructed late in the development of the Sea Cliff neighborhood. Rifkind and his wife, Leona, resided at the property through 1956. They do not appear to be figures of historic significance, nor do later known owners. The building features a highly-simplified neo-colonial design with little detail with no known architect. Therefore, the subject building does not appear to be of historic significance under criterion 3 (Architecture).

The subject block face is residential in character and was constructed between 1941 - 1952, while surrounding development is primarily from the 1920s and 30s, when Subdivision #3 of the Sea Cliff tract opened. Although the subject block is located within the Sea Cliff neighborhood, it is not representative of the 1920's-era Mediterranean Revival style architecture that appears to be eligible for listing on the California Register, nor does the rest of the subject block face. A Sea Cliff eligible historic district was identified in 2010 (330 Seacliff Avenue, Case no. 2010.0967E) with a period of significance ranging from 1913 - 1935, defined by Mediterranean Revival style architecture set within a "residence park" setting. The subject block face, on the south side of Seacliff Avenue between El Camino del Mar and 27th Avenue, was entirely constructed after the period of significance and the architectural styles are much more reflective of the modern era. therefore 255 Seacliff Avenue does not appear to be a contributor to the Sea Cliff eligible historic district.

12-12-14

Signature of a Senior Preservation Planner / Preservation Coordinator.	Date:
Signature of a Senior Preservation Planner / Preservation Coordination	pulle.

SAN FRANCISCO PLANNING DEPARTMENT





## SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco. CA 94103

## NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311/312)

On August 1, 2014 the Applicant named below filed **Demoltion Permit No. 2014.08.01.2760** and **Building Permit Application No. 2014.08.01.2761 (New Construction)** with the City and County of San Francisco.

PROP	ERTY INFORMATION	AP	PLICANT INFORMATION
Project Address:	255 Seacliff Avenue	Applicant:	Lewis Butler, Butler Armsden Architects
Cross Street(s):	27 <sup>th</sup> Avenue	Address:	1420 Sutter Street
Block/Lot No .:	1308/019	City, State:	San Francisco, CA 94109
Zoning District(s):	RH-1(D)/40-X	Telephone:	(415) 674 - 5554

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE				
X Demolition	X New Construction	□ Alteration		
Change of Use	Façade Alteration(s)	Front Addition		
Rear Addition	□ Side Addition	Vertical Addition		
PROJECT FEATURES	EXISTING	PROPOSED		
Building Use	Residential	No Change		
Front Setback	± 10 feet	± 13 feet		
Side Setbacks	±3 feet	No Change		
Building Depth	±70 feet	± 67 feet (not including rear terrace)		
Rear Yard	± 45 feet	± 45 feet		
Building Height	± 35 feet	35 feet		
Number of Stories	3	4		
Number of Dwelling Units	1	1		

The proposal is to demolish and reconstruct a single-family dwelling on the subject lot per the enclosed plans. The fourth floor (enclosed area) will be set back from the front building wall by  $\pm 23$  feet and  $\pm 16$  feet from the rear building wall.

The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code. To date, a request for discretionary review has not been filed.

### For more information, please contact Planning Department staff:

Planner:	Sara Vellve
Telephone:	(415) 558 - 6263
E-mail:	sara.vellve@sfgov.org

Notice Date: 8/24/2015 Expiration Date: 9/23/2015

# **GENERAL INFORMATION ABOUT PROCEDURES**

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. We strongly urge that steps 1 and 2 be taken.

- 1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
- 2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at <u>www.communityboards.org</u> for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
- 3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at <u>www.sfplanning.org</u>). You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at <u>www.sfplanning.org</u>. If the project includes multiple building permits, i.e. demolition and new construction, a <u>separate request</u> for Discretionary Review must be submitted, with all required materials and fee, for <u>each</u> permit that you feel will have an impact on you. Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

## **BOARD OF APPEALS**

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

## ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at <u>www.sfplanning.org</u>. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

Application for **Discretionary Review** CASE NUMBER: For Stuff Use only  $\mathcal{D} / \mathcal{U} + [3] \mathcal{D} \mathcal{D} \mathcal{P} \mathcal{P}$ 

# APPLICATION FOR Discretionary Review

## 1. Owner/Applicant Information

DR APPLICANT'S ADDRESS:	ZIP CODE:	TELEPHONE:
275 Sea Cliff Avenue	94121	(415)387-5764
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH	YOU ARE REQUESTING DISCRETIONARY REVIEW NAME:	
Ann and John Mao		
ADDRESS:	ZIP CODE:	TELEPHONE:
	ZIP CODE: 94121	TELEPHONE: (415) 387-191
ADDRESS:		
ADDRESS: 255 Sea Cliff Avenue		
ADDRESS: 255 Sea Cliff Avenue CONTACT FOR DR APPLICATION:		

### 2. Location and Classification

STREET ADDRE	iss of project: If Avenue				ZIP CODE: 94121
CROSS STREET 27th. Aven	rs: ue/ El Camir	no Del Mar			
ASSESSORS BL	OCK/LOT:	LOT DIMENSIONS:	LOT AREA (SQ FT):	ZONING DISTRICT:	HEIGHT/BULK DISTRICT:
1308	/019			RH1-D	40-X

### 3. Project Description

Please check all that apply Change of Use Char	nge of Hours 🗌	New Construction 🔀	Alterations 🗌 De	molition 🔀	Other 🗌
Additions to Building: Present or Previous Use:	Rear From Single Family Re	0	ide Yard 🗌		
Proposed Use: Single Fa	mily Residence				
Building Permit Applicati	2014.08.01 ion No.	1.2761	Date File	d: 08/01/2014	1

RECEIVED

SEP 2 3 2015

CITY & COUNTY OF S.F. PLANNING DEPARTMENT NEIGHBORHOOD PLANNING

## 4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	×	
Did you discuss the project with the Planning Department permit review planner?	8	
Did you participate in outside mediation on this case?		8

## 5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project. We have discussed the project with the project applicant. we have submitted our requests ( same as indicated

in question #3). We hope for further discussion.

# **Discretionary Review Request**

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

We are requesting Discretionary Review as the proposed project with its excessive use of clear glass windows, causes exceptional impacts to our privacy on the Eastern side of our home. The All Glass 3-Story Stairway, the All Glass Penthouse on the 4th floor, the Western side of the terrace, look down on our secluded Master Bedroom/Hot Tub Patio. Planning Code Section 101, under "Residential Design Guidelines" Page 16 states, "the purpose of the planning code is to provide adequate light, air, privacy and (continued on next page)

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

As the immediate neighbors' (275 Sea Cliff Ave.), directly to the West of the project, we will have unreasonable impacts . We understand that due to the increase in height (addition of 4th story) and extending approximately 2 1/2 feet into the rear yard from the current building footprint, we will have more shade, less light and less hours of sun on the Eastern portion of our building consisting of Hot Tub Patio Area, Master Bedroom and Seating area. However, the issue of privacy is of utmost importance to us. (continued on next page)

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

We submit the following changes that would reduce the adverse effects on our privacy. Please refer to Exhibit
#5. A) Westside 42" Glass Guardrail on the 4th floor terrace to be moved back to East Wall (approx. 8 ft.) this
still leaves a large terrace. B) Stairway Windows Westside: Use opaque glass on 2nd floor windows, Level C,
Windows 1, 2, and 3. C) Stairway Windows Westside: Use opaque glass on 3rd Floor Windows, Level B,
windows 1, 2, and 3. (continued on next page)

PAGE 1

RE: 255 Sea Cliff Avenue

Discretionary Review Request (Continued from previous page)

### Question 1.

convenience of assess to property in San Francisco." It goes on to mention several modifications to minimize impacts on privacy.

The project at 255 Sea Cliff occupies a prominent site from the street level when traveling East on Sea Cliff Avenue. Please refer to Google Map Exhibit #1. Under "Residential Design Guidelines (page7) "Design Buildings to be responsive to the overall neighborhood context in order to preserve the existing visual character. A sudden change in building pattern can be visually disruptive." Again the extensive use of clear glass on the Western Side of the project (Please refer to rendering by project applicant Exhibit #2 submitted to show window pattern) is inconsistent with the character of our neighborhood and disruptive to the pattern of the block. There appears to be approximately 25% more clear glass on the Western side of the project than exists on the Eastern side. As proposed this project will be the first 4<sup>th</sup> story building on our corridor, adding to its visibility from the street.

### Question 2.

With the project's All Glass 3-Story Stairway, All Glass 4<sup>th</sup> Story Penthouse and Western terrace level looking over our now secluded Hot Tub Patio, we loose all privacy to this area. Please refer to Exhibit #3 (graphic impact to Marseille Residence) and Exhibit #4 (our Patio)

#### Question 3.

D) Penthouse, Westside: Use opaque glass on the  $4^{\rm th}$  floor Windows, Level A, Windows 4, 5, and 6

# Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Marsaille imance Signature: ( sull

Date: 09/22/2015

Print name, and indicate whether owner, or authorized agent:

Terrance Marseille/Marlene Marseille owners
Owner / Authorized Agent (circle one)

CASE NUMBER: For Staff Use only

## Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	I
Address labels (original), if applicable	0
Address labels (copy of the above), if applicable	0
Photocopy of this completed application	U
Photographs that illustrate your concerns	
Convenant or Deed Restrictions	
Check payable to Planning Dept.	
Letter of authorization for agent	
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	

NOTES:

Required Material. Optional Material.

O Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

## RECEIVED

SEP 2 3 2015 CITY & COUNTY OF S.F. For Department Use Only Application received by Planning Department: 9 25 Date: · 25 AM.

Google Maps

255 SEACLIFFAVE.

5/19/15, 12:03 PM



https://www.google.com/maps/@37.788583,-122.489154,3a,75y,144.47h,79.17t/data=!3m4!1e1!3m2!1scza5QmX1ENzVIdSbEtIZcQ!2e0

Page 1 of 1

Exhibit # 1

Exhibit # / Subject site: STREET VIEW SERCLIFF AVE Address of building: 201, 235, 247, 255, 275, 285 SEACHIFFAVE Photograph was taken: Google MAPS JULY 2014



Exhibit # 📿 Subject site: 255 SEACLIFF Address of building: 235, 247, 255, And 285 SEACUL Photograph was taken: PROPOSED Kendering 255 SEACLIFF AUR Kendering OF BUTLER TRMS

# Exhibit-3 Window Graph 255 Sea Cliff Avenue 4th floor Penthouse 3 glass windows Stairway 9 glass windows. ↓ Floors 2, 3, and 4. ↓ 1 L 1 255 Sea Cliff Ave 4 11 275 Sea Cliff Ave 4 Exhibit# 3 Marseille's patio over garage. 275 Sea Cliff Ave

Exhibit # 3 Subject site: 255 SEACLIFF AVE. MESTERN EXPOSURE ON PRESENT bUILDING Address of building: 255 SEA CLIFF + 275 SEA CLIFF Photograph was taken: FROM ROOF OF 275 SEACLIFF AVENUE

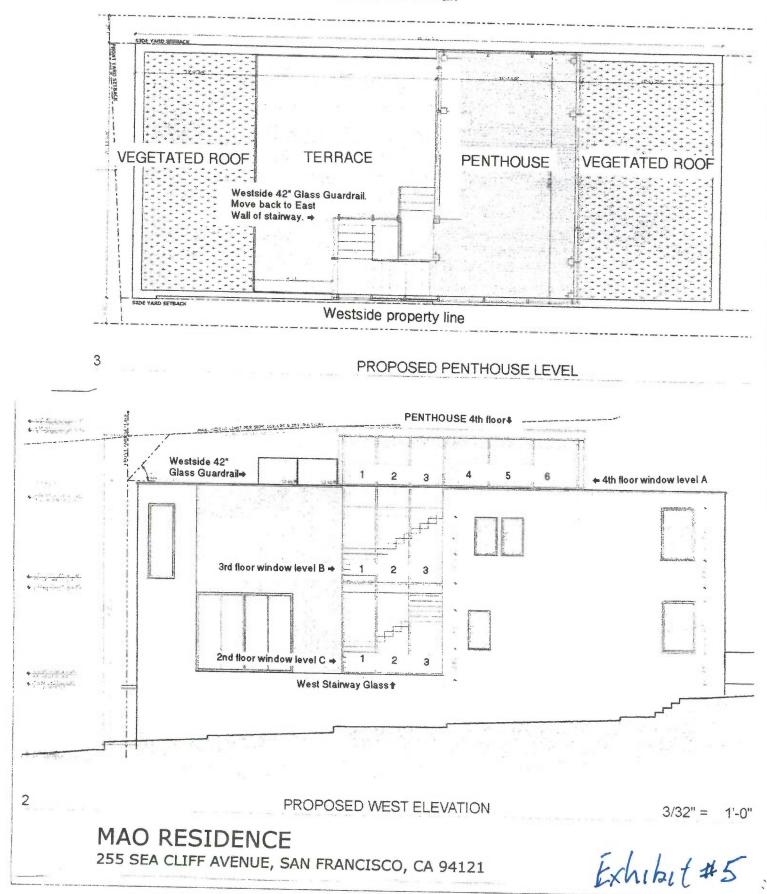
# Patio Hot Tub 275 Sea Cliff Ave



Exhibit # 4 Subject site: PATIO HOT TUB AREA AND ENTRANCE to MASTER BEJROOM Address of building: 275 SEA CLIFF AVENUE Photograph was taken: FROM ROOF OF 275 SEA CLIFF AVINUE

#### 4th Floor Roof Draft

Exhibit-5



# Exhibit # 5

Subject site: DRAWING OF NEW CONSTRUCTION PROPOSED WAST ELEVATION AND PROPOSED PENTHOUSE LEVEL Address of building: 2 55 SER CLIFF AVENUE

Photograph was taken:

ORIGINAL PRAWINGS by BUTLER ARMSJEN ARCHITECTS WITH INSERTS by T. MARSEILLE CORRESPONDING TO MARSEILLES. Request FOR MODIFICATIONS.

Application for **Discretionary Review** 

2014,13100PP-02

CASE NUMBER: For Staff Use only

# APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME:		
imothy & Denise Curry		
DR APPLICANT'S ADDRESS:	ZIP CODE:	TELEPHONE:
510 El Camino Del Mar	94121	(415)292-3656
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU A	RE REQUESTING DISCRETIONARY REVIEW NAME:	
John and Ann Mao; Attn: Lewis Butler		
ADDRESS:	ZIP CODE:	TELEPHONE:
1420 Sutter Street	94109	(415) 674-5554
CONTACT FOR DR APPLICATION:		
Same as Above Stephen M. Williams		
ADDRESS:	ZIP CODE:	TELEPHONE:
1934 Divisadero Street	94115	(415 ) 292-3656
E-MAIL ADDRESS:		
smw@stevewilliamslaw.com		

#### 2. Location and Classification

STREET ADDR	ESS OF PROJECT:				ZIP CODE:
255 Sea C	liff Ave				94121
CROSS STREE	ETS:				
Sea Cliff A	Avenue & Car	nino Del Mar			
ASSESSORS	BLOCK/LOT:	LOT DIMENSIONS:	LOT AREA (SQ FT):	ZONING DISTRICT:	HEIGHT/BULK DISTRICT:
1308	/019	125'x35'	4368	RH-1(D)	40-X(35'Max)

#### 3. Project Description

Please check all that apply Change of Use C	nange of Hours $\Box$ New Construction $oxtimes$	Alterations 🗌	Demolition 🛛	Other 🗌
Additions to Building: Present or Previous Use:	Single Family Dwelling	ide Yard 🗌		
Proposed Use: Single F	Family Dwelling			
Building Permit Applica	ation No. 2014.08.12.2760; 2014.08.12.2761	Date F	Filed: August 1,	2014

## RECEIVED

SEP 2 3 2015

ORIGINAL

CITY & COUNTY OF S.F. PLANNING DEPARTMENT NEIGHBORHOOD PLANNING

#### 4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	X	
Did you discuss the project with the Planning Department permit review planner?	X	
Did you participate in outside mediation on this case?		X

#### 5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

No changes have been made to the project based on input from the neighbors. Project sponsors architect refused to meet and discuss the project in April stating it was "too soon" but promised to "circle back" with the neighbors before the 311 Notification issued. He did not do so and the next contact we had with the architect was after the notification went out to the neighborhood. Even after that time he did not return calls in a timely manner and never made any definitive response to numerous settlement or compromise offers or suggestions.

## Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

#### See Attachment

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

#### See Attachment

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

See Attachment

## Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: Print name, and indicate whether owner, or authorized agent:

Date: September 22, 2015

Stephen M. Williams Owner / Authorized Agent (circle one)

CASE NUMBER: For Staff Use only

## Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	
Address labels (original), if applicable	0
Address labels (copy of the above), if applicable	0
Photocopy of this completed application	
Photographs that illustrate your concerns	1
Convenant or Deed Restrictions	
Check payable to Planning Dept.	
Letter of authorization for agent	
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	

NOTES:

Required Material.

Optional Material.

O Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

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For Department Use Only Application received by Planning Department: Date: 9 BU

#### 255 Sea Cliff Avenue

#### Attachment to Discretionary Review Application

1. The Discretionary Review Requestors ("DR Requester") opposes the demolition and the design/height/bulk and mass of the proposed new construction. DR Requestor is concerned about the project's impact, including impacts on existing housing, neighborhood character, and privacy. The project has been described to the Planning Department as a "3 story over garage", or as a "3 story plus Penthouse" building. These descriptions are inaccurate. The project plans clearly reveal a building with 4 floors, proposed with huge glass voids and stark modern design in a neighborhood characterized by architecture from the 1920's and 1930's with a distinct Mediterranean feel and design. The proposal to tear down a sound, beautiful, recently renovated mansion and replace it with a glass box typifies the tragic trend in our city and should not be allowed as an open and blatant violation of the Residential Design Guidelines. The Dept has made crystal clear on numerous occasions and in dozens of written analyses that this neighborhood is one that has a "clearly defined" character. The proposal does nothing at all to address that clearly defined neighborhood character and is an attempt to completely ignore it.

Allowing the proposed four-story building in this neighborhood would set a new standard of height and massing for the entire neighborhood, and could lead to massive changes in the historic character of the Sea Cliff neighborhood. Which is a neighborhood designated by the Dept for a future historic district. A review of neighboring properties and surrounding blocks reveals that there is not a single house over three stories on Sea Cliff Avenue or El Camino del Mar between 27th and 28th Avenues. This proposal directly violates the General Plan Priority Policy No. 2 that requires that "existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods." Allowing a new building with a 4th floor, in a neighborhood currently characterized by 2 and 3 floor buildings, would fundamentally change the character of the neighborhood. Add to this the replacement of a Mediterranean style villa with a stark square glass box and the old phrase "adding insult to injury," is brought to life and embodied by this proposal.

In addition, the Residential Design Guidelines would be also be violated by the project due to its large increase in scale (representing an increase of 2800 s.f. over the current structure), and the fact that the modern design is not within the character of the neighborhood. As the design guidelines point out, "[a] single building out of context with its surroundings can be disruptive to the neighborhood character and, if repeated often enough, to the image of the City as a whole." RDG pg. 3. DR Requesters (and numerous other neighbors) are concerned and deeply troubled that the stark modern design of the proposed project, in contrast to the more classical Mediterranean character of the vast majority of homes in the neighborhood, will cause just the type of disruption that the Residential Design Guidelines are meant to prevent.

DR Requester is also concerned that the demolition of an existing building is not a green building practice. The Planning Department should review the project and recommend a method in which the project sponsor could proceed without completely demolishing the existing building. Construction and demolition materials now account for nearly 30% of the total waste stream and to allow the complete destruction of sound housing (albeit expensive housing) on the whim of the very wealthy should be discouraged or perhaps prohibited in our historic neighborhoods. The subject building has not reached the end of its useful cycle and is being demolished merely on a whim and because its owners want a new, modern "glass box" loft-like building. Such practices are shameful, destructive, and decidedly bad for the environment, air

#### 255 Sea Cliff Avenue

#### Attachment to Discretionary Review Application

quality, our city and all of California. Destroying a mansion to build a new glass box mansion is the epitome of wasteful American practices.

2. As noted above, although the Project Sponsor has represented the proposed project as merely a "3 story over garage" or a "3 story plus penthouse", the fact remains that the plans very clearly reveal a 4-story building which physically stands at 40 feet in height as viewed and measured from Sea Cliff Avenue. The building will read at over the height limit as seen from the street. The inclusion of this additional floor would give the project **building the greatest height of any building in the neighborhood,** and would change the overall character of the Sea Cliff neighborhood that, as described by the Planning Department on other projects, the Sea Cliff Neighborhood is defined by, "large single family residences ranging from two to three stories in height." The Planning Dept on other projects in the same neighborhood has described the neighborhood as clearly defined and as consisting of buildings of 2-3 stories in height. This building is out of character with the neighborhood as defined by the Dept.

Further, this neighborhood is a potential historic district and a building of this size and design (loft-like glass box) will be a detriment to any future historic district. The building is designed to stick out like a sore thumb and to draw attention to itself---not match or meet the existing character of the neighborhood. The neighbors also object to the "light pollution" which will result from the mostly glass exterior. The south, north and west facades present huge voids of glass and propose glass exteriors on all levels. The west façade in particular proposes all glass from ground floor to the roof deck imitating a downtown office building for much of it exterior surface.

DR requester is concerned that the proposed Penthouse and fourth floor will loom over all other residences in the neighborhood. Coupled with the huge expanses of glass proposed, this would negatively affect the privacy of every neighbor, since the building is to be constructed with massive windows in all directions and large out-of-character decks. Furthermore, the fourth floor windows and stairwells with glass windows would also negatively affect the privacy of all nearby neighbors to the rear and side of the project house.

Finally, the construction of a building which is a full story taller than any other buildings in the neighborhood (and three stories taller than the adjacent neighbor to the east) would have a negative impact on the long standing character of the historic Sea Cliff neighborhood. The proposed project does not respect the neighborhood or the topography of the area. The height of the proposed building pushes against the absolute maximum allowed in the zoning district (*No portion of a dwelling in any RH-1(D), RH-1 or RH-1(S) District shall exceed a height of 35 feet*) and proposes a building at a height far above 35 feet as viewed and measured from Sea Cliff Avenue.

3. DR Requester would like to see the character of the neighborhood respected by removing the fourth floor and Penthouse floor of the proposed building. This would maintain the existing height character of the neighborhood. More importantly,( the removal of the uncharacteristically high features of the proposed building will respect the privacy of nearby houses, (including DR Requester's which will be negatively impacted by the proposed Penthouse floor and proposed

#### 255 Sea Cliff Avenue Attachment to Discretionary Review Application

4th floor which will loom over the other buildings in the neighborhood and whose massive windows will look down on and into neighbors' residences, including DR Requester's residence.

DR Requester further requests that the Department require that the building's overall height be reduced to minimize the scale and massing of the proposed building. This would keep it more in line with all nearby structures. Even without the Penthouse floor, the plans reveal that the proposed building would still have a larger footprint and volume and be of a much larger scale than the current structure. In addition, since the plans call for the excavation and regrading of the lot, the DR Requester asks that the Department require that the excavation proceed to a further depth in order to reduce the scale and height of the proposed building. This would also be more in keeping with the character of the neighborhood.

Furthermore, the plans reveal that the proposed building's floors are of a greater height than every equivalent building in this neighborhood. The proposed project is simply out of character with this historic neighborhood and there is no explanation from the Dept how a building taller than EVERY SINGLE BUILDING IN THE NEIGHBORHOOD and designed like a south-of-market loft glass box is "compatible," as that term is generally used and understood in the English language. DR requester asks that the Department review the plans and if structurally sound, require that the height of the floors be reduced to further reduce the scaling and mass of the building to keep it more in line with the character of the neighborhood.

Finally, the DR Requester would like the proposed building to be redesigned to be in closer harmony with the aesthetic character of the neighborhood. The Sea Cliff Neighborhood is not characterized by stark, boxy, modern all-glass buildings (there are simply no other such buildings anywhere in the neighborhood and the addition of such a building will stand out dramatically and will create a negative impact on this historic neighborhood.

Respectfully Submitted,

ph William

Stephen M. Williams

Timothy & Denise Curry 510 El Camino Del Mar San Francisco, CA 94121

September 21, 2015

To Whom It May Concern:

This will confirm that we have retained the Law Office of STEPHEN M. WILLIAMS to represent our interests in a Discretionary Review Application matter before the Planning Department/Commission concerning the proposed project at 255 Seacliff Drive, San Francisco, CA. We hereby authorize STEPHEN WILLIAMS to pursue and complete said DR application opposing the proposed project.

Sincerely,

Timothy & Denise Curry

# RESPONSE TO DISCRETIONARY REVIEW (DRP)



Zip Code:

Phone:



SAN FRANCISCO PLANNING DEPARTMENT 1650 MISSION STREET, SUITE 400 SAN FRANCISCO, CA 94103-2479 MAIN: (415) 558-6378 SFPLANNING.ORG

#### **Project Information**

Property Address:

Building Permit Application(s):

Record Number:

#### Project Sponsor

Name:

Email:

#### **Required Questions**

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

Assigned Planner:

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explaination of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

#### **Project Features**

Please provide the following information about the project for both the existing and proposed features. Please attach an additional sheet with project features that are not included in this table.

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)	1	1
Occupied Stories (all levels with habitable rooms)	3	4
Basement Levels (may include garage or windowless storage rooms)	1	1
Parking Spaces (Off-Street)	1	1
Bedrooms	3	3
Height	30'-9"	35'-0"
Building Depth	69'-8"	66'-11"
Rental Value (monthly)	-	-
Property Value		

I attest that the above information is true to the best of my knowledge.

Signature:	leen Borles	Date: 10/17/2016
		Property Owner
Printed Name:	LEWIS W. BUTLER	Authorized Agent

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

## 1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved?

- As a basic consideration, the project is in full compliance with the Zoning Code and Residential Design Guidelines, and seeks no Variance or special exceptions from the code.
- The proposed demolition of the existing RH-1(D) structure would bring an existing noncontributing and non-compliant structure down, and replace it with a sustainable, wellconstructed, and attractive compliant structure. Additionally the new depth of the structure is reduced by over 2'-6".
- The proposed building is compatible with the mixed character designs found within Sea Cliff, and especially within the immediate context of the subject block such as 711 El Camino del Mar, 101 27th Avenue, and 2901 Lake Street.
- The massing and bulk is consistent with immediate context of buildings on the subject block, with 4 homes on El Camino del Mar on the subject block over 3-stories tall. Additionally the proposed main building volume is compatible with the existing building volume from the street and sidewalk.
- The vertical addition represents 30% of the overall building footprint, at only 582 square feet. It is setback from the front façade by over 22'-0" at the forward most point, and by over 34'-0" at is main volume.
- Mitigating light intrusion and privacy concerns, the separation of the living spaces between 255 Sea Cliff (subject property) and 275 Sea Cliff (DR filer) far exceeds the norm for urban separation even in RH-1(D) districts. The closest windows between living spaces between the two properties exceeds 30'-0".
- The majority of proposed windows opposite the DR filer at 275 Sea Cliff Ave serve nonliving spaces such as bathroom, laundry, and staircase functions. This represents a reduction from the predominantly living functions, which currently overlook the property at 275 Sea Cliff.
- The existing buildings rear roof deck of approximately 13'-0" in depth will be eliminated, reducing the opportunity for overlook onto the adjacent property. Instead, only a single punched opening at the first and second levels faces west, far reducing visual impact.
- 2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.
  - Through direct neighbor negotiation, one of the original three DR's (DRP-03 filed by 520 El Camino del Mar) was rescinded completely.
  - Privacy impacts have been mitigated to the Western DR filer (275 Sea Cliff) by completely redesigning and drastically reducing glazing by over 6% of the façade area since the filing of the DR. This reduction of glazing was a result of direct negotiation between neighbors, and has since been reviewed and deemed acceptable by RDT.
  - The roof deck and Western guardrail which previously extended to the boundary of the West façade has been moved inward 3'-0". This places the roof deck 6'-0" total from the property line separating 275 Sea Cliff and 255 Sea Cliff

# REUBEN, JUNIUS & ROSE, LLP

October 21, 2016

#### **Delivered via Messenger**

President Rodney Fong San Francisco Planning Commission 1650 Mission Street, Suite 400 San Francisco, CA 94103

> Re: 255 Sea Cliff Avenue (1308/019) Brief in Opposition of a DR Request Planning Department Case No. 2014.1310DRP/Nos. 01 & 02 Hearing Date: November 10, 2016 Our File No.: 7847.14

Dear President Fong and Commissioners:

Our office represents John and Ann Mao ("**Project Sponsor**"), the owners of the property at 255 Sea Cliff Avenue, ("**Property**"). We write regarding Discretionary Review 2014.1310DRP Nos. 01 & 02 on Building Permit Nos. 2014.0801.2760 and 2014.0801.2761 and respectfully request that the Planning Commission not take discretionary review and approve the permits as proposed. The proposal is for the demolition of a residential building and the construction of a new 35-foot tall single family residence ("**Project**"). Project plans are attached as **Exhibit A**.

Discretionary Review ("DR") Requests were filed by Terrance and Marlene Marseille (275 Sea Cliff Avenue/DR No. 01) and Timothy and Denise Curry (510 El Camino Del Mar/DR No. 2), (collectively the "**DR Requestors**"; map of DR Requestors is attached as **Exhibit B**).

The DR requests should be denied and the Project approved as designed because:

• The Project is not proposing any expansion in building footprint and remains one of the smaller single-family houses on the block;

James A. Reuben | Andrew J. Junius | Kevin H. Rose | Daniel A. Frattin | John Kevlin Tuija I. Catalano | Jay F. Drake | Lindsay M. Petrone | Sheryl Reuben<sup>1</sup> | Thomas Tunny David Silverman | Melinda A. Sarjapur | Mark H. Loper | Jody Knight | Stephanie L. Haughey Chloe V. Angelis | Louis J. Sarmiento | Jared Eigerman<sup>2,3</sup> | John McInerney III<sup>2</sup> San Francisco Office One Bush Street, Suite 600, San Francisco, CA 94104 tel: 415-567-9000 | fax: 415-399-9480

**Oakland Office** 827 Broadway, Suite 205, Oakland, CA 94607 tel: 510-257-5589

www.reubenlaw.com

1. Also admitted in New York 2. Of Counsel 3. Also admitted in Massachusetts

- The existing structure does not meet the requirements of the Planning Code, whereas the new residential structure will be Code-compliant and be constructed within the buildable area;
- The proposed design is compatible with the styles of the subject block, which feature a mix of traditional to contemporary architecture; and
- The Project is appropriate and desirable in use, massing, height, and overall scope, is compatible with the surrounding neighborhood, and is consistent with the *Residential Design Guidelines* and Planning Code.

The Project Sponsor has been sensitive to concerns about how the Project fits into the neighborhood as well as the Planning Department staff's design guidance. The project has been modified since its original proposal, demonstrating the Project Sponsor's willingness to work to design a project that is compatible with the existing neighborhood.

#### A. <u>Project Description</u>

The Property is located on the south side of Sea Cliff Avenue between El Camino Del Mar and  $27^{\text{th}}$  Avenue in the Sea Cliff neighborhood. It is located within a RH-1(D) (Residential-House, One-Family, Detached) District and 40-X Height and Bulk District. The Property is 125 feet deep with 35 feet of street frontage that angles north from the west to east side of the lot. The Property is improved with a two-story-over-garage, 5,554 gross square foot single family home that was constructed in 1951. The building is 69'-8" deep, and there is a landscaped rear yard. Images of the Property are attached as **Exhibit C**.

The Project consists of the demolition of the existing structure as shown on the Existing Site Plan as shown in **Exhibit E** and the construction of a new three-story-over garage single-family home, with the top floor setback approximately 33 feet from the front façade. It will feature a stucco and textured concrete panel façade with large multi-pane window openings. There will be a main entrance on the ground floor with a nine foot-10 inch wide garage door opening. The western and eastern façades feature a series of window openings and the rear façade has a glass sliding door façade system on the lower two floors and the textured concrete panels on the third floor. The penthouse will feature a metal and glass curtain wall system.

The new structure will be 66'-11" deep, a reduction in depth from the existing building of approximately three feet-six inches. The front façade will be reduced five feet-six inches from its existing location and the rear façade will extend two feet from the existing façade. A Building Footprint Study overlaid on the Proposed Site Plan is attached as <u>Exhibit</u> <u>F</u>.

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As explained in more detail below, the Project has been designed to fit within the buildable area of the lot and is compliant with the requirements of the Planning Code.

#### B. <u>Neighborhood Context</u>

The Property is located in the northwest portion of the Sea Cliff neighborhood. It is on the south side of the street and faces properties that abut the ocean cliffs. The block where 255 Sea Cliff Avenue is located features single-family homes consisting of two-tofour stories in height. The majority of the buildings on the block were constructed between 1941 – 1952 and is mixed in architectural styles, from Mediterranean to neo-traditional as seen in an Architectural Styles Sheet in **Exhibit G**. Many of the properties have had major alterations, with ad-hoc additions on the roof and facades of the buildings. Directly to the east of the property at 247 Seacliff Avenue is a two-story-over-garage house constructed in 1952 in a plain vernacular style. The property to the west, 275 Seacliff Avenue (DR Requestor No. 01's property), is a two-and-half-story house constructed in 1949 in a minimalist Modernist style. With the exception of 275 Seacliff Avenue, which is setback approximately 39 feet from the front property line, all of the properties on the block are constructed at the front setback line (setback approximately 10 feet from the front property lines). Photographs of the Property and adjacent buildings are attached as **Exhibit C**; images of the block are attached as **Exhibit D**.

#### C. <u>Property is Not a Historic Resource under CEQA</u>

The Department concluded that 255 Seacliff Avenue is not an historical resource under the California Environmental Quality Act ("CEQA"). In the Categorical Exemption Determination dated December 12, 2014, the Department found that while there is a California Register of Historic Resources-eligible historic district in the Sea Cliff neighborhood, the block face at this portion of the neighborhood (Seacliff Avenue between El Camino del Mar and 27<sup>th</sup> Street) "is not representative of the 1920's-era Mediterranean Revisal style architecture."<sup>1</sup> Further, the eligible historic district has a period of significance ranging from 1913 – 1935, defined by a Mediterranean Revival style architecture. The south side of the block was "entirely constructed after the period of significance and the architectural styles are much more reflective of the modern era."<sup>2</sup> Therefore, 255 Seacliff Avenue and the remainder of the block are not historic resources under CEQA.

<sup>2</sup> Ibid.

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<sup>&</sup>lt;sup>1</sup> Categorical Exemption Determination, Planning Department, 12/12/14, pg. 7.

#### D. <u>Neighborhood Outreach and Design Development</u>

The Project Sponsor has spent a considerable amount of time and effort to gather and respond to concerns from the DR Requestors. The Project was reviewed by Department staff from late 2014 through mid-2015. Several modifications were made to the Project during this time in response to Department's requests, including relocating the building from its existing location (that extended beyond the front setback) to one that is Code-complying. After several revisions to the Project, the Section 311 notification ran from August 24 to September 23, 2015, during which time the DR Requestors filed this request.

Following the filing of the subject Discretionary Review applications in September 2015, the Project Sponsor worked with the Planning Department to modify the Project to address concerns that were raised by the DR Requestors. Design changes to Project include:

- 1. Reduction of the garage door opening and curb cut from 15 feet wide to 9' 10'' wide;
- 2. Redesign of the western façade where the stairwell is located from a floor-toceiling glass curtain wall system to a punched-opening window system;
- 3. Reduction of the overall glazing on the western façade from 25 percent to 19 percent of the façade (a total of 13 percent without the penthouse structure), matching the percentage of glazing on the existing structure;
- 4. Setback of the roof deck structure three feet from the western façade, including the glass railing, for a total of six feet from the west property line; and
- 5. Refinement of the façade materials and detailing to provide a more nuanced and compatible façade treatment.

Throughout this process, the Project Sponsor has made efforts to communicate with the DR Requestors. The development of the Project design demonstrates the Project Sponsors' willingness to be flexible and work with both Planning Department staff and neighborhood. Despite the fact that the Planning Department has determined that the Project is within its buildable area and consistent with all aspects of the *Residential Design Guidelines*, the DR Requestors persist in requiring additional modifications to the Project. Despite the DR requests, the Project is supported by neighbors and members of the community. A map highlighting support and opposition is attached as **Exhibit G**.

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#### D. <u>Reponses to DR Requestors Concerns</u>

The DR Requestors raises multiple concerns about the Project, several of them overlapping. They have been consolidated and are discussed below.

#### 1. *The building needs to be reduced in height and more compatible with the neighborhood.*

The DR Requestors suggest that the Project is out of scale with surrounding neighborhood and that the structure should be limited to three stories in height so that it is more compatible with the neighborhood. This inaccurately portrays the existing scale of development in the neighborhood.

As described above, this portion of Seacliff Avenue consists of two-to-four-story single-family buildings. Many buildings are three stories in height with a rooftop/penthouse additions or exposed partial subgrade levels resulting from the topography as seen in **Exhibit** <u>**G**</u>, resulting in a four-story building. The buildings across the street along the ocean cliff can rise to over four stories in height. There are four homes on the subject block that are over three stories tall as seen in **Exhibit H**. The penthouse structure at 255 Seacliff Avenue is setback almost 34 feet from the front façade, which is setback 15 feet from the front property line. It is minimally visible from the street, mainly when viewed from the west due to the setback at 275 Seacliff Avenue. The DR Requestor's assertion that the neighborhood is primarily characterized by one-to-two story single family homes is inaccurate. In fact, the neighborhood contains a number of larger houses, and the Project is compatible with this pattern.

The Projects' location and size is compatible with the overall building scale found in the immediate neighborhood. The allowable building envelope has been defined by the Planning Code by way of prescribed setbacks and the height limit. Furthermore, the appropriateness of the Project is further shaped by the requirements of the *Residential Design Guidelines*. As designed, the proposed building massing at the street reads as a three-story building due to the 34 foot setback of the fourth floor, as seen on **Exhibit J** and **Exhibit K**.

The *Residential Design Guidelines* discuss how to design a building so that it fits into the scale at the street. It states:

**Height**. If a proposed building is taller than the surrounding buildings, it may be necessary to modify the building height to maintain the existing scale of the street so that the visibility of the upper floor is limited from the street and the upper floor appears subordinate to the primary façade. An upper story setback, façade articulations, and eliminating parapets help to preserve the scale of the street.<sup>3</sup>

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<sup>&</sup>lt;sup>3</sup> San Francisco Residential Design Guidelines ("Guidelines"), pg. 25-26.

The Project has been designed to meet these Guidelines. The fourth floor is setback 34 feet from the front facade and has been designed without a parapet. The building at the street is similar in height as the other three story residential buildings on the block. In sum, the Project's height and scale fits into the character of the block. Furthermore, the fourth floor vertical addition has been sunken into the building by 2'-4", limiting is vertical rise from the parapet of the floor below by only 6'-7". To further reduce the visual impact of the addition, the space is proposed to be fully glazed to provide more transparency of the volume. It's small footprint represents only 30% of the total building footprint at a mere 455 square feet, and coupled with the aforementioned setbacks, greatly minimizes impact when viewed from afar.

# 2. The Project's design is not compatible with the adjacent properties or with the potential historic district in the neighborhood.

The DR requestors believe that the proposed design of the Project is out of character with the adjacent properties. Further, they believe there is a potential historic district in the neighborhood and that the design should be more historic in its style.

The Department has determined that this portion of the Sea Cliff neighborhood does not qualify as a potential historic district under CEQA.<sup>4</sup> Preservation staff analyzed the building and those on the street and found that the structures were all constructed outside the period of significance (1913 – 1935). Further, Department staff determined that architecturally, the homes on the street were not designed in the Mediterranean Revival style that was characteristic of the potential historic district. Because there is no historic district on the street, the Project does not have to meet the *Secretary of the Interior's Standards for the Treatment of Historic Properties*. To require a design based on historic styles that are not present would result in false historicism and a building that has no relation to its adjacent context.

With respect to neighborhood character, the DR Requestor states that the neighborhood has a "distinct Mediterranean feel and design" and that their architectural style is the "character" of the block. This is misleading. While several homes have Mediterranean details such as clay tile roofs and pastel/neutral façade colors, the majority of them have been heavily altered to the point that their original architectural style is no longer evident. The block where the Property is located (1308) has no consistent character, except that the buildings are all designed in a mix of styles. There is no one dominant style; what binds the structures together are characteristics such as front yard setbacks, front property line walls and landscaping, punched window openings, stucco siding, sloped roofs, and a neutral color

San Francisco Office One Bush Street, Suite 600, San Francisco, CA 94104 tel: 415-567-9000 | fax: 415-399-9480

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<sup>&</sup>lt;sup>4</sup> Categorical Exemption Determination, Planning Department, 12/12/14.

palate. Many homes have ad-hoc additions, either on the roof or rear of the buildings. For an architectural design study, see **Exhibit H**.

The Project has been designed in a contemporary style. It reads as a building of 2016, not one from 1930 or even from 1950, which is when the adjacent properties were constructed. The design has been thoughtfully considered and is detailed in such a manner where there is depth to the materials. The glazing has been reduced considerably and is not excessive. The building picks up on the buildings in the neighborhood through its use of stucco details and multi-pane window openings. The block where the Property is located is not uniform in architectural style or form; rather, it contains a vibrant mix of building structures and architectural styles. This is the character of the block, not small, single-family homes designed in the Mediterranean style. It is mixed in nature, both with the massing and location of buildings and with their architectural styles. The Project is compatible with character of the block and neighborhood, and meets the goals of the Planning Code and *Residential Design Guidelines*.

# 3. The building will impact the privacy of the western neighbor at 275 Seacliff Avenue (DR Requestor No 01).

The location of the building at 275 Seacliff Avenue poses challenges to both adjacent properties. Due to the very nature of the location of the existing building on the lot, development on lots to either side will be visible from Seacliff Avenue. The DR Requestor is attempting to use this lot condition to prevent the Property from being upgraded. The Project is located within its buildable area – it meets the front, side, and rear setback requirements of the Planning Code. Further, the closest living spaces at 255 Seacliff Avenue are 30 feet from the living spaces at 275 Seacliff Avenue – the western neighbor and DR Requestor No. 01. This is an extremely large separation between the two buildings. It is highly unlikely that there will be direct vision into the other property when standing inside each home. For a view analysis from the Project, see **Exhibit L**.

The existing home at 255 Seacliff Avenue has a deck at the second floor of the rear façade. This deck directly looks into the property at 275 Seacliff Avenue. This deck will be removed and there are no features or decks that will be built in the new Project. To claim that there are privacy concerns when this large feature – the rear deck – will be removed is disingenuous. There will be no privacy issues at the rear of the Property.

In addition to the elimination of any exterior deck features at the rear of the new building, the Project has also been modified on the western façade to address the privacy concerns raised by 275 Seacliff Avenue. The floor-to-ceiling glazing façade system has been removed and punched window openings have been inserted in its place. See **Exhibit M** and **Exhibit N**. Further, the roof deck has been setback three feet from the western façade and it

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is located further to the front of the Property than the building at 275 Seacliff Avenue, reducing visibility into the adjacent property to zero. The Project Sponsor has made all efforts to alleviate privacy concerns to the adjacent properties, with particular attention paid to 275 Seacliff Avenue. That the existing house is located towards the rear of the lot is no reason to prohibit or restrict development at the Property.

#### D. Conclusion

The DR Requestors have not established any exceptional or extraordinary circumstances that are necessary in a Discretionary Review case. The Project will build a new single-family home that is completely compliant with the Planning Code. It is compatible in size and scale with the surrounding neighborhood and is thoughtfully designed. We respectfully ask that the Planning Commission deny the Discretionary Review(s) and approve the Project as proposed. Thank you for your consideration.

Very truly yours,

**REUBEN, JUNIUS & ROSE, LLP** Thomas Tunny

cc: Vice President Dennis Richards Commissioner Rich Hillis Commissioner Christine Johnson Commissioner Joel Koppel Commissioner Myrna Meglar Commissioner Kathrin Moore John Rahaim – Planning Director Jonas Ionin – Commission Secretary Mary Woods – Project Planner

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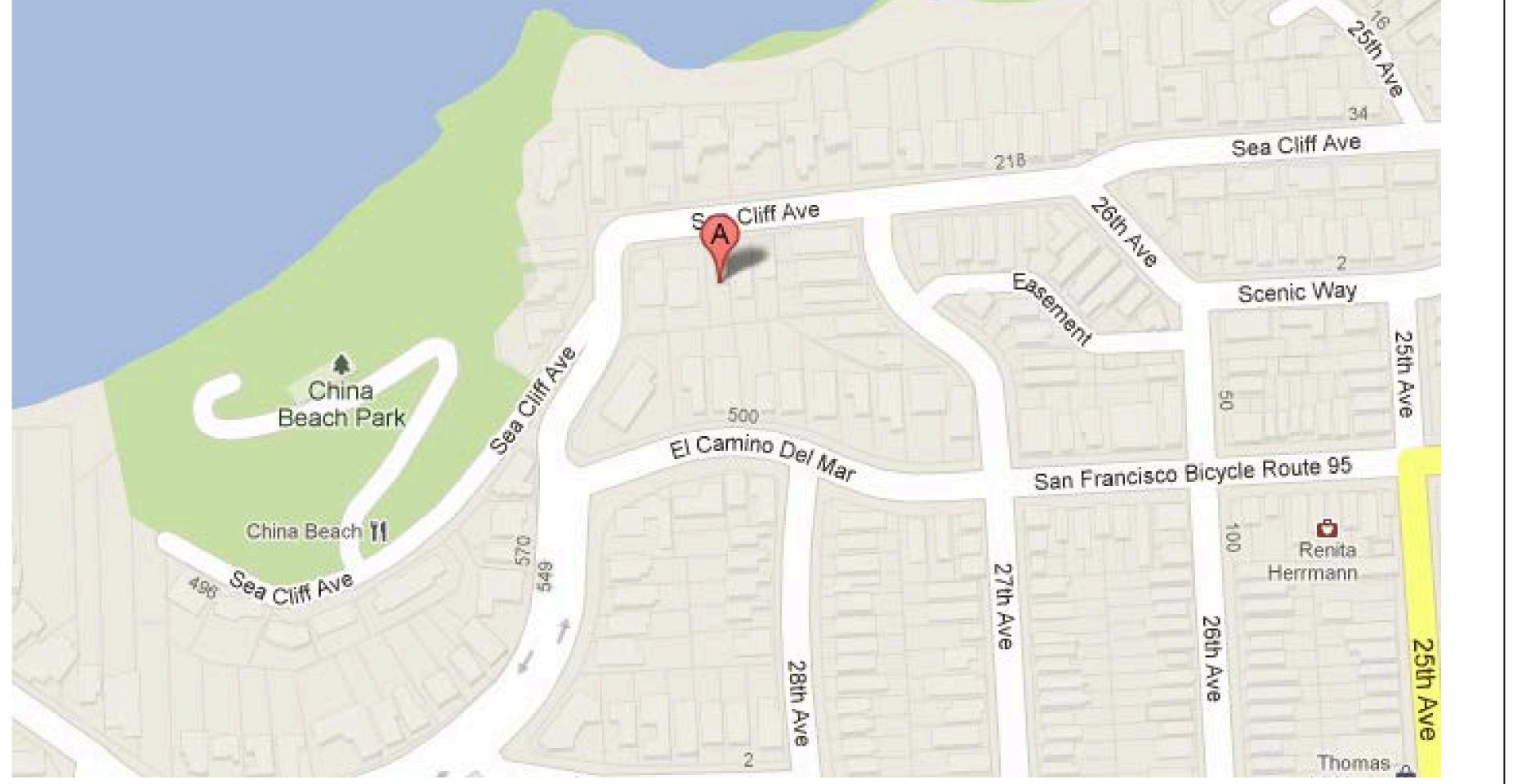
**EXHIBIT A:** PLANNING PERMIT SET (CLARIFIED FOR 11x17) **EXHIBIT B:** PROJECT DATA / MAP OF DR REQUESTORS **EXHIBIT C:** PHOTOS OF EXISTING HOUSE **EXHIBIT D:** SEA CLIFF BLOCK ELEVATIONS **EXHIBIT E:** EXISTING SITE PLAN **EXHIBIT F:** PROPOSED SITE PLAN **EXHIBIT G:** SEA CLIFF ARCHITECTURAL STYLE STUDY **EXHIBIT H: SEA CLIFF BUILDING HEIGHT STUDY EXHIBIT J:** EXISTING / PROPOSED FRONT FACADE **EXHIBIT K:** VIEW CONE ANALYSIS **EXHIBIT L:** VIEW ANALYSIS **EXHIBIT M:** GLAZING ANALYSIS **EXHIBIT N:** GLAZING ANALYSIS (311 NOTIFICATION) **EXHIBIT 0:** 520 EL CAMINO DEL MAR VIEWS **EXHIBIT P:** SEA CLIFF AVENUE VIEW - WEST FACADE **EXHIBIT Q:** SEA CLIFF AVENUE VIEW - NORTH FACADE

## **DISCRETIONARY REVIEW - GRAPHIC RESPONSE** 255 SEA CLIFF AVENUE, SAN FRANCISCO, CA 94121

BUTLER ARMSDEN A R C H I T E C T S



ABBREVIATIONS	SYMBOLS	GENERAL NOTES	PROJECT DATA	
ABBREVIATIONS       8     ANDLE       9     ATTERLINE       9     CONTRELINE       9     CONTRELINE       9     CONTRELINE       9     DIAMETER       9	Image: Lath and plaster in section   GYPSUM BOARD IN SECTION   PLYWOOD IN SECTION   FINISH WOOD IN SECTION   GLASS IN SECTION   Image: Lath and plaster in section   Im	<ol> <li>ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL BUILD DES AND PREGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.</li> <li>CONTRACTOR WILL HAVE EXAMINED THE PREMISES AND SITE SO SO TO COMPARE THEM WITH THE DRAWINGS AND ADJACENT PROPERTY PRIOR SUBBILISSION OF BID. MO ALOWANCES WILL SUBSEQUENTLY BE MADE CO ENTRACTOR WILL HAVE EXAMINED THE PREMISES AND SITE SO TO COMPARE THEM WITH THE DRAWINGS AND ADJACENT PROPERTY PRIOR SUBBILISSION OF BID. MO ALOWANCES WILL SUBSEQUENTLY BE MADE CO ENTRACTOR WILL HAVE EXAMINED THE REMISES AND STATE SO THAT WHETHER THEY ARE OR ARE NOT ESPECIALLY OR PARTICULARLY SHOWN NOTOED BUT WHICH ARE IMPLEID OR REQUIRED TO ATTAIN THE COMPLETE CONDITIONS PROPOSED IN THE DRAWINGS.</li> <li>ALL SUBCONTRACTORS TO THE GENERAL ON TAKEN THE ADDO OR MATERIX WHETHER THEY ARE OR ARE NOT ESPECIALLY OR PARTICULARLY SHOWN NOTOED BUT WHICH ARE IMPLEID OR REQUIRED TO ATTAIN THE COMPLETE CONDITIONS PROPOSED IN THE DRAWINGS.</li> <li>ALL SUBCONTRACTORS AND ONLY THE GENERAL ON TAKEN THE THE WORK OF THE VARIOUS TRADES A SUBCONTRACTOR STOR.</li> <li>GONTRACTOR SHOW TO THAGE ARE HITTERY THEOR TO SUBJECT TO SUBCONTRACTORS AND ONLY ANY OUESTIONS REGRAPTING DESIGN INTERT A SUBCONTRACTOR TO ASSUME SOLE RESPONSIBILETY FOR JOB SITE CONDITION CONTRACTOR TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITION THE WORK.</li> <li>CONTRACTOR TO CONFORM TO HOMEOWNERS ASSOCIATION RULES AND CONTRACTOR TO CONFORM TO HOMEOWNERS ASSOCIATION RULES AND CONTRACTOR TO CONFORM TO HOMEOWNERS ASSOCIATION RULES AND CONTRACTOR TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS.</li> <li>CONTRACTOR TO CONFORM TO HOMEOWNERS ASSOCIATION RULES AND CONTRACTOR TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS.</li> <li>CONTRACTOR TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS.</li> <li>MEDICATION THE ATTICHTION OF THE ADVARTMENT ASSOCIATION THE DURATION OF THE WORK.</li> <li>MEDICATOR TO ASSOCIATION ADD FOR PROVIDENT ASSOC</li></ol>	AS TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO TO 	BUTLER ARMSDEN A R C H I T E C T S
VICINITY MAP	Easement	AMERIDMENTS. CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE SECTIONS MENDMENTS. CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE SECTIONS	AM       CODES       SCOPE OF WORK         rs       2013 CA BLDG. CODE 2013 S.F. BLDG. CODE & AMENDMENTS 2013 CA ENERGY CODE 2013 S.F. ELECTRICAL CODE 2013 S.F. ELECTRICAL CODE 2013 S.F. PLUMBING CODE 2013 S.F. FIRE CODE       DEMO EXISTING BUILDING ( NOT CONSIDERED A HISTO RESOURCE FOR CEQA) AND REPLACE IT WITH A NEW SIN FAMILY RESIDENCE.	RICAL





## GENERAL NOTES

(1) ALL DISTANCES: (RECORD) = MEASURED, UNLESS OTHERWISE NOTED. (2) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL THE UTILITIES MARKED BY THE RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION. (3) PRIOR TO ANY DIGGING, CALL U.S.A. (1-800-642-2444) AT LEAST 48

HOURS IN ADVANCE TO HAVE EXISTING UNDERGROUND UTILITIES MARKED. (4) GROUND CONDITIONS SHOWN HEREON REFLECT CONDITIONS ON THE DATE OF THE SURVEY. (5) ENCROACHMENT UPON AND BY THE ADJOINING PRIVATE PROPERTY(IES)

ÂRE HEREBY NOTED AND IT SHALL BE THE RESPONSIBILITY SOLELY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ANY ISSUE WHICH MAY ARISE THEREFROM.

(6) ROOF/EAVE ELEVATIONS WERE TAKEN AT HIGHEST RELEVANT POINT(S) VISIBLE FROM THE GROUND. (7) THIS IS A BOUNDARY SURVEY.

(8) A RECORD OF SURVEY IS IN PROCESS, IN ACCORDANCE WITH SECTION 8762 OF THE PROFESSIONAL LAND SURVEYORS' ACT, BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA AND LOCAL ORDINANCE(S). (9) TREES WERE LOCATED BY ESTIMATING THE CENTER OF THE TREE WHERE IT ENTERS THE GROUND & IDENTIFYING THE DIAMETER AT BREAST HEIGHT. TREE TYPES MAY BE VERIFIED BY A CERTIFIED ARBORIST, IF NECESSARY. (10) ONLY ACCESSIBLE SURFACE UTILITIES VISIBLE ON THE DATE OF THIS SURVEY ARE SHOWN.

THIS SURVEY DOES NOT SHOW THE LOCATION OF, OR ENCROACHMENTS BY SUBSURFACE UTILITIES, FOOTING, FOUNDATIONS AND/OR BASEMENTS OF BUILDINGS.

ALL USERS ARE ADVISED TO CONTRACT SEPARATELY WITH AN UNDERGROUND UTILITY LOCATION COMPANY AND TO REVIEW PUBLIC, QUASI-PUBLIC AND GIS UTILITY DATA SOURCES IF THEY WANT MORE INFORMATION. (11) THE BUILDING FOOTPRINT SHOWN IS AT GROUND LEVEL UNLESS OTHERWISE NÓTED.

## BASIS OF SURVEY

FIRST AMERICAN TITLE COMPANY PRELIMINARY REPORT ORDER NO: 3807-3979662. DATED: 2-24-2012

#### MAP REFERENCES

(R1) GRANT DEED RECORDED IN REEL K608 IMAGE 0036 (RŹ) MAP OF SEACLIFF SUBDIVISION NO 3. RECORDED IN BOOK "J" OF MAPS PAGES 21–24.

## BASIS OF ELEVATION

FOUND TRI CUT TOP BRICK POST SW SIDE BRICK STEPS AT THE SOUTH WEST CORNER OF SEACLIFF AVE AND 27TH AVE. ELEVATION = 82.463' CITY AND COUNTY OF SAN FRANCISCO VERTICAL DATUM.

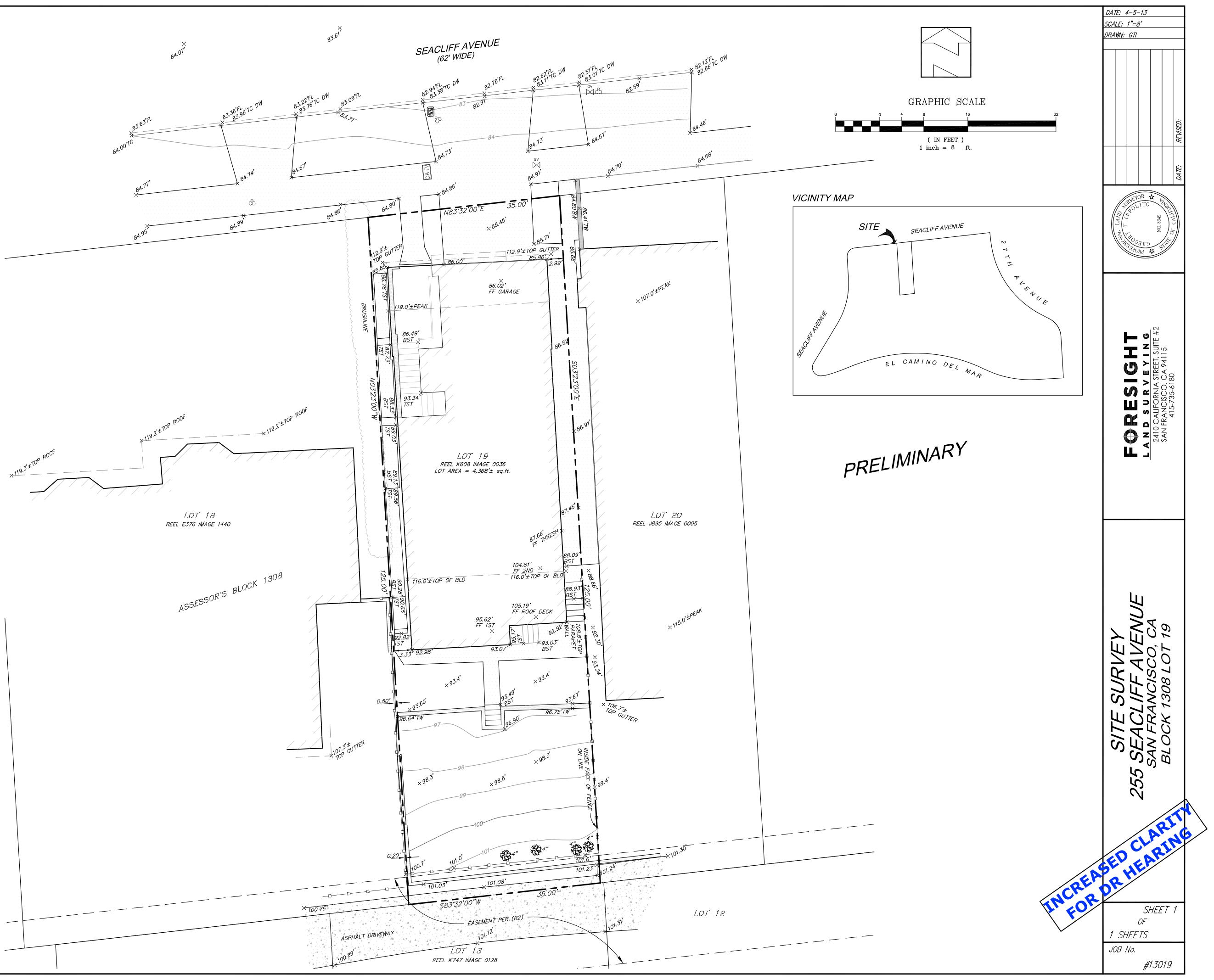
## LEGEND

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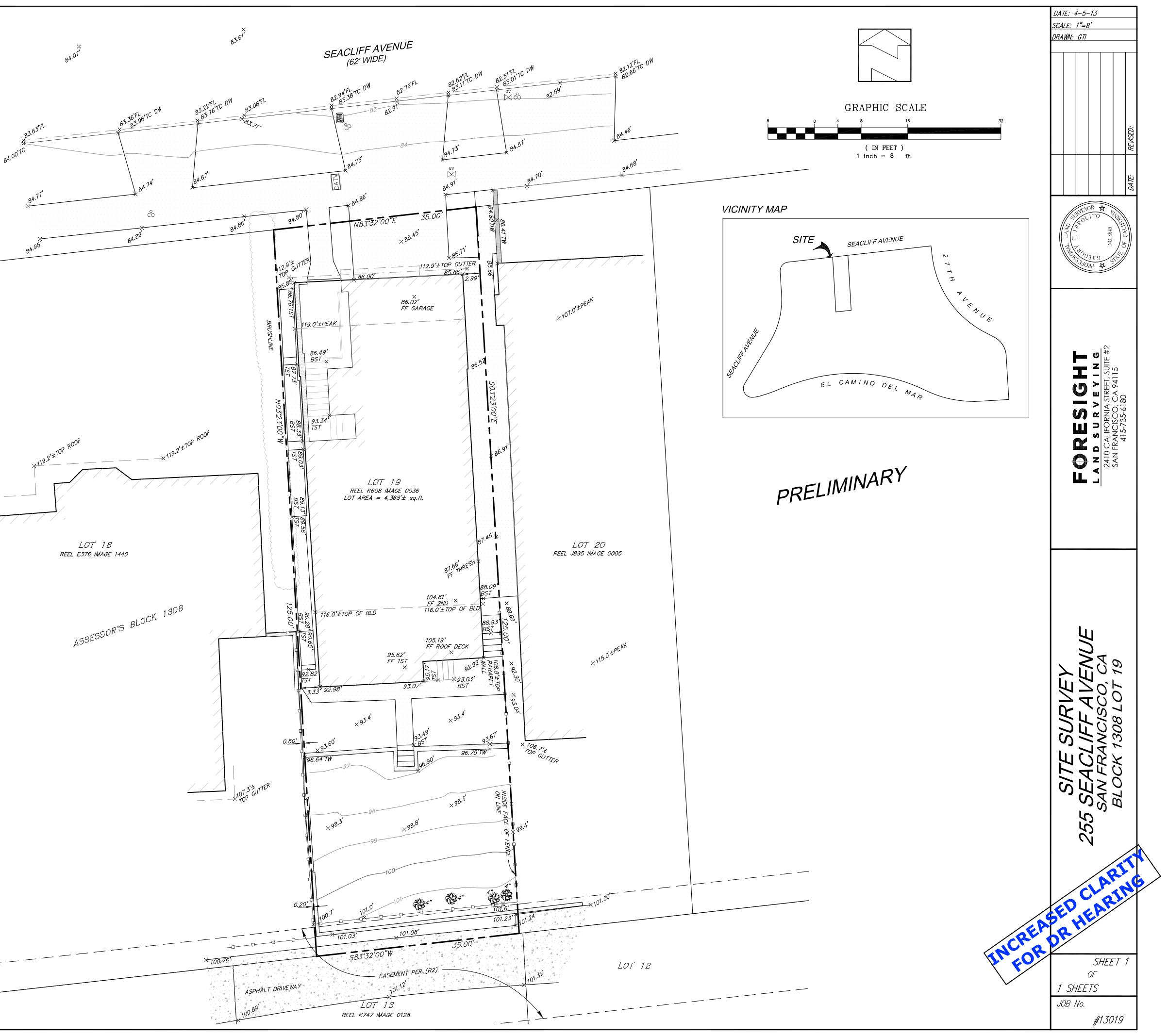
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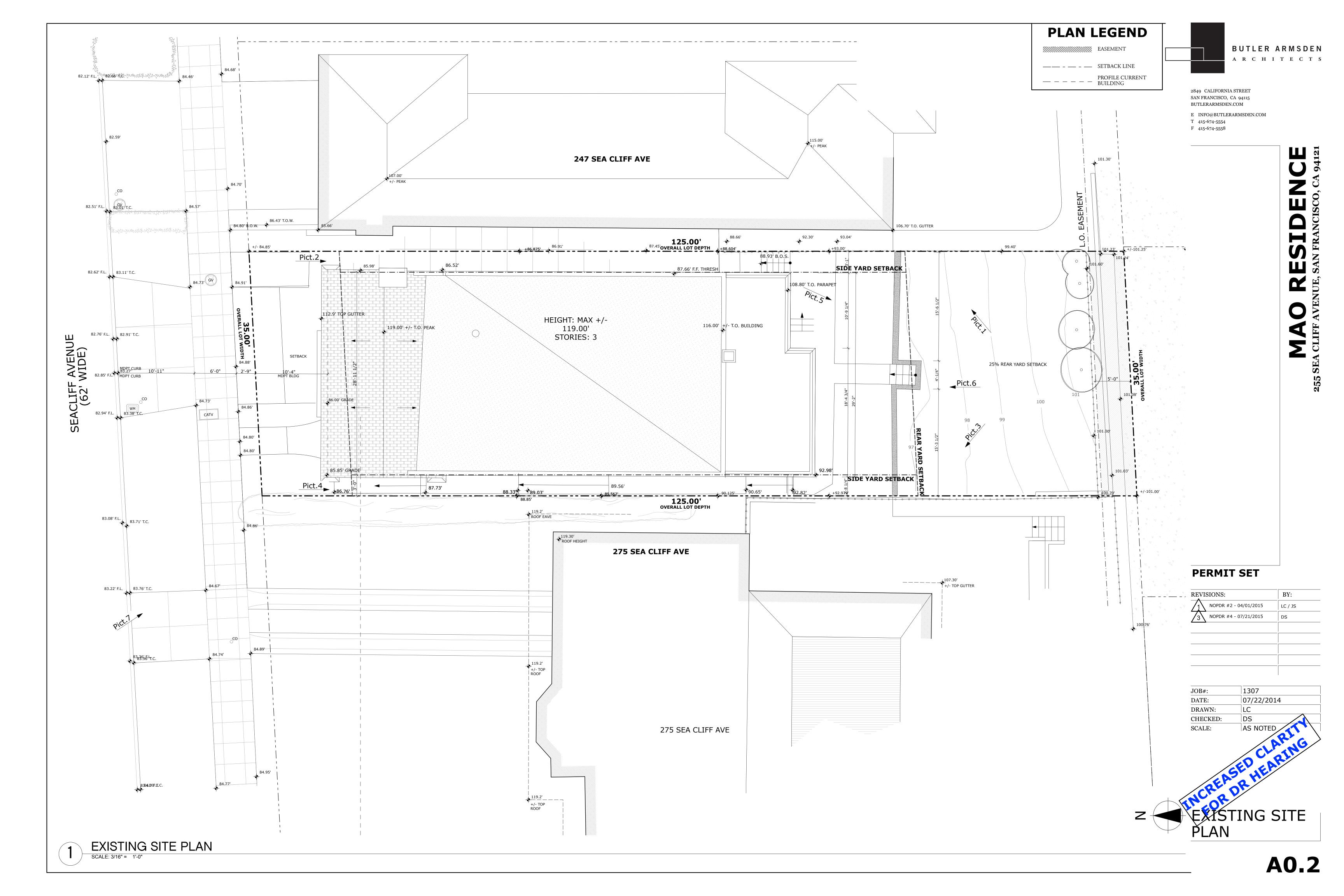
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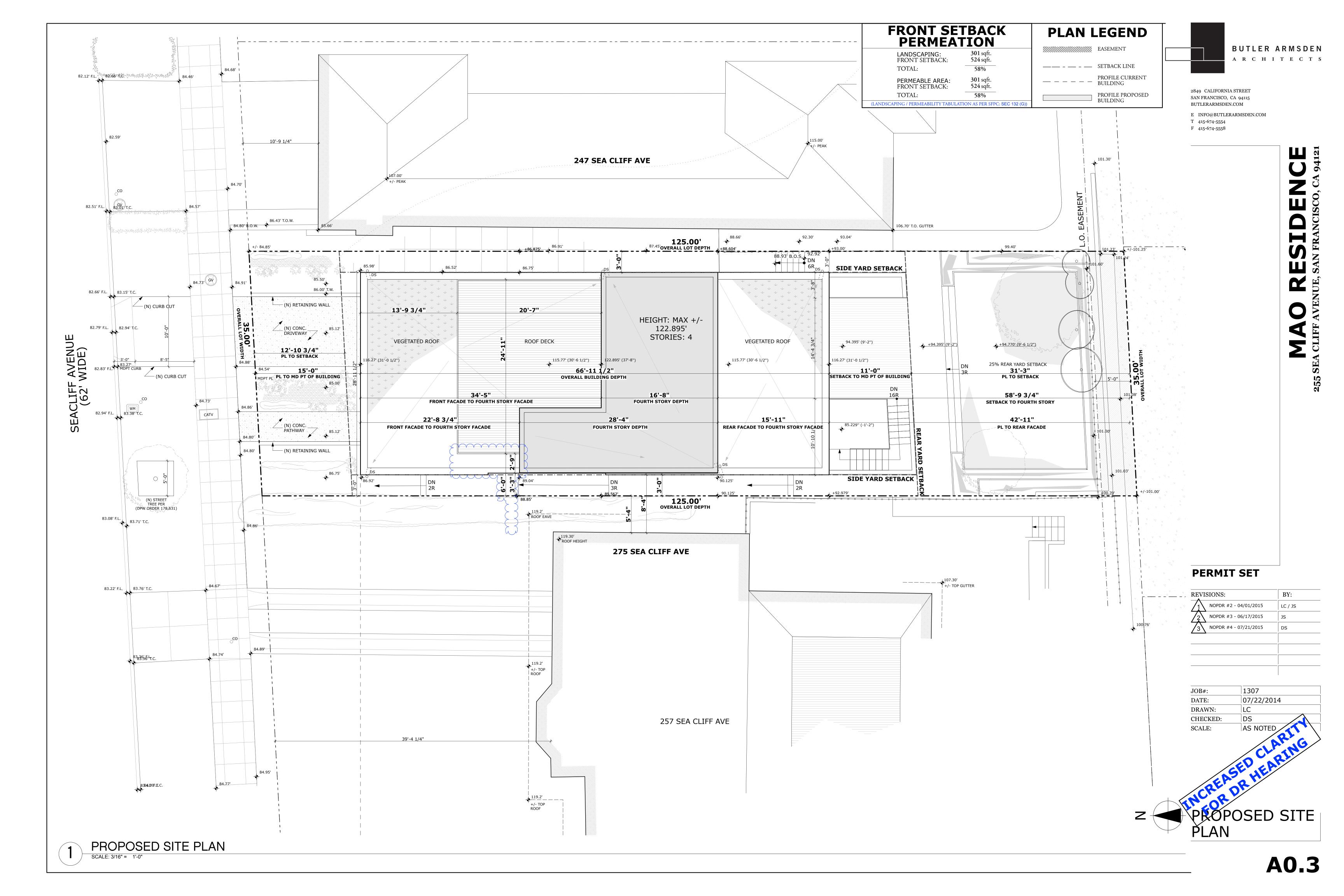
FL	FLOWLINE
TC	TOP OF CURB
DW	DRIVEWAY
FF	FINISHED FLOOR
THRESH	THRESHOLD
ΤŴ	TOP OF WALL
B₩	BOTTOM OF WALL
BLD	BUILDING
CATV	CABLE TV
МН	MANHOLE
GV	GAS VALVE
СО	CLEANOUT
OH	OVERHEAD
BST	BOTTOM OF STEP
TST	TOP OF STEP
	PROPERTY LINE
	OVERHANG
	FLOWLINE
	FENCE
	TREE (DIAMETER IN INCHES)



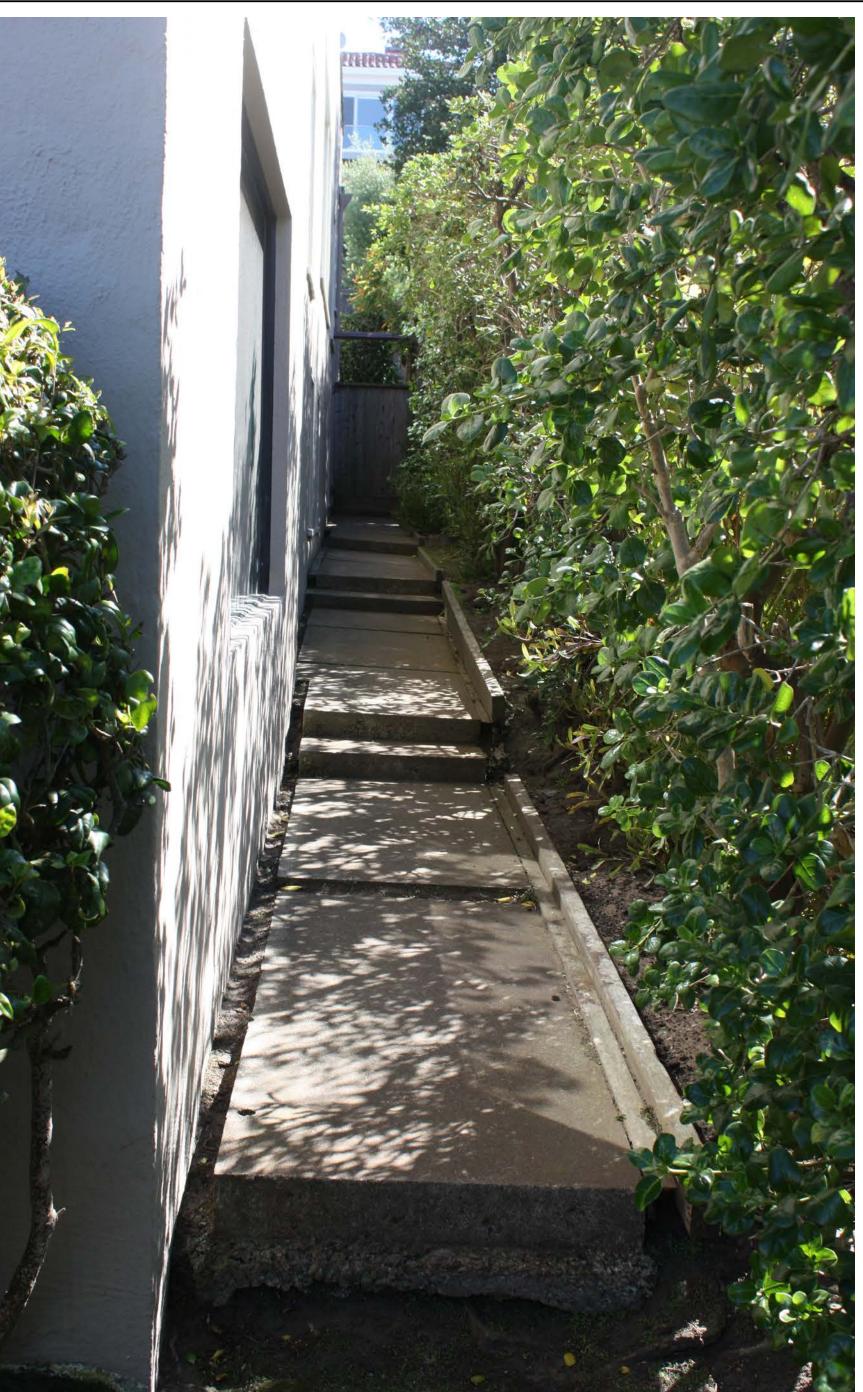


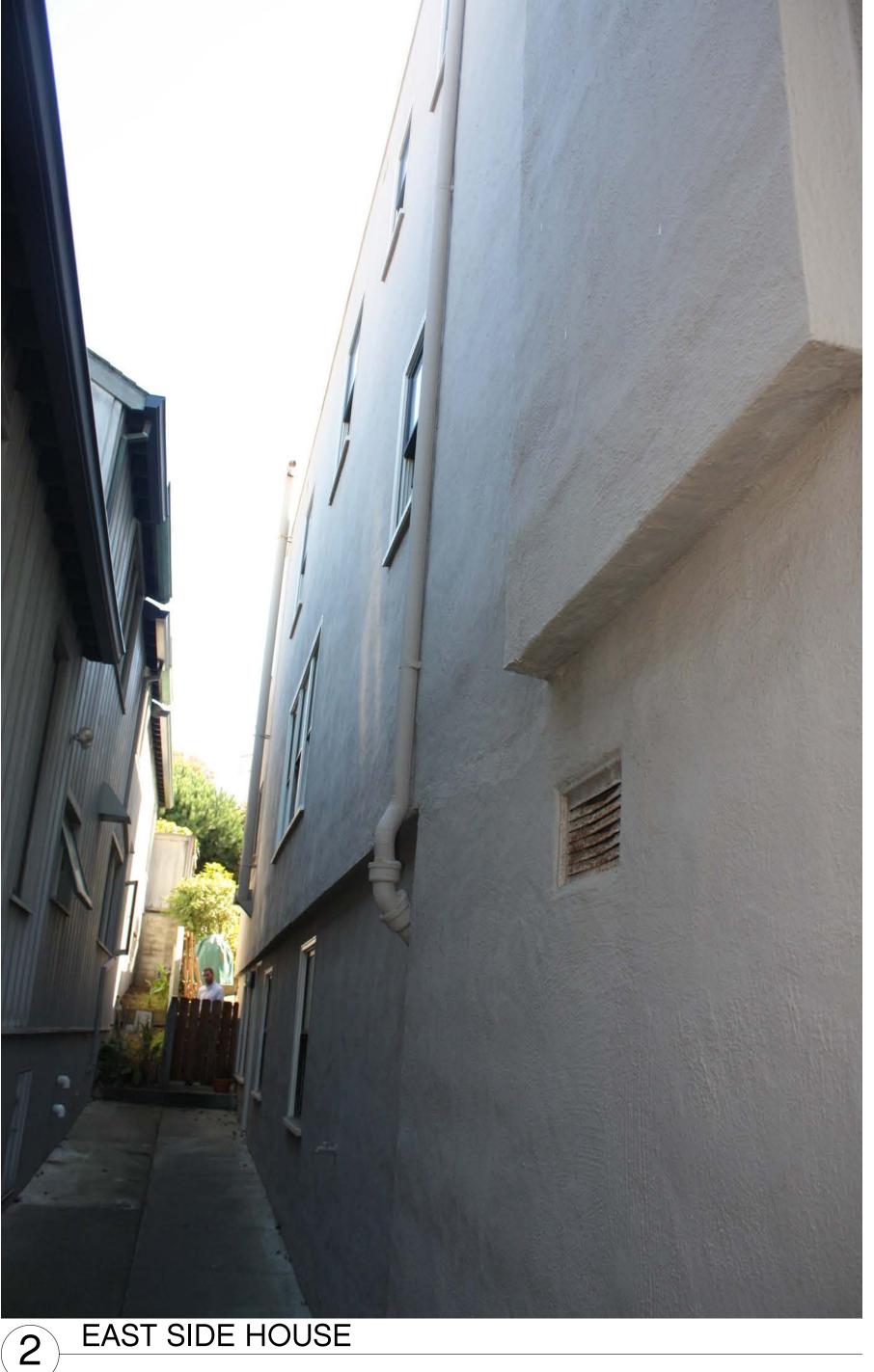














EAST NEIGHBOR





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E INFO@BUTLERARMSDEN.COM

PERMIT SET

REVISIONS:

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**RESIDENCI** NUE, SAN FRANCISCO, CA 9415 VEN 0 MA A CLIFF SE

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# Green Building: Site Permit Submittal

## **BASIC INFORMATION:**

These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

Project Name	Block/Lot	Address
1307 MAO	BLOCK 1308 LOT 19	255 SEA CLIFF AVENUE, SAN F
Gross Project Area	Primary Occupancy	Number of occupied floors
6368 SQ. FT.	R-3	3 + PENTHOUSE
0500 50.11.	K 5	

Design Professional/Applicant: Sign & Date

LEWIS BUTLER OF BUTLER ARMSDEN ARCHITECTS - 07/22/14

# ALL PROJECTS, AS APPLICABLE

Construction activity stormwater pollution prevention and site runoff controls - Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.

Stormwater Control Plan: Projects disturbing ≥5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines

Water Efficient Irrigation - Projects that include ≥ 1,000 square feet of new or modified landscape must comply with the SFPUC Water Efficient Irrigation Ordinance.

**Construction Waste Management** – Comply with the San Francisco Construction & Demolition Debris Ordinance

Recycling by Occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. See Administrative Bulletin 088 for details.

GREENPOINT	RATED	PROJECTS

Proposing a GreenPoint Rated Project (Indicate at right by checking the box.) Base number of required Greenpoints: 75 Adjustment for retention / demolition of historic features / building: Final number of required points (base number +/adjustment) **GreenPoint Rated** (i.e. meets all prerequisites) Energy Efficiency: Demonstrate a 10% energy use reduction compared to Title 24, Part 6 (2013). Meet all California Green Building Standards

Code requirements (CalGreen measures for residential projects have been integrated into the GreenPoint Rated system.)

# Notes

1) New residential projects of 4 or more occupied floors must use the "New Residential High-Rise" column. New residential with 3 or fewer occupied floors must use the "New Residential Low Rise" column. 2) LEED for Homes Mid-Rise projects must meet the "Silver" standard, including all prerequisites. The number of points required to achieve Silver depends on unit size. See LEED for Homes Mid-Rise Rating System to confirm the base number of points required.

LE	EED PR	OJECT	S				OTHER APPLICABLE NON-RESIDENTIA	L PROJE	CTS
	New Large Com- mercial	New Low Rise Residential	New High Rise Residential	Large First Time Commerical Interior	Commercial Major Alteration	Residential Major Alteration	Requirements below only apply when the measure is applicable to the project. Code references below are applicable to New Non-Residential buildings. Corresponding requirements for additions and alterations can be found in Title 24 Part 11, Division 5.7. Requirements for additions or alterations apply to applications received July 1, 2012 or after. <sup>3</sup>	Other New Non- Residential	
Type of Project Proposed (Indicate at right)		Х							≥\$200,000 <sup>3</sup>
Overall Requirements:	-s						Type of Project Proposed (Check box if applicable)		
LEED certification level (includes prerequisites):	GOLD	SILVER	SILVER	GOLD	GOLD	GOLD	Energy Efficiency: Comply with California Energy Code, Title 24, Part 6 (2013).	•	٠
Base number of required points:	60	2	50	60	60	60	<b>Bicycle parking:</b> Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155,	•	•
Adjustment for retention / demolition of historic features / building:			n/a	n/a			whichever is greater (or LEED credit SSc4.2).  Fuel efficient vehicle and carpool parking: Provide stall marking for		25294
Final number of required points (base number +/- adjustment)			50	50			low-emitting, fuel efficient, and carpool/van pool vehicles; approximately 8% of total spaces.	•	٠
Specific Requirements: (n/r indicates a measure is n	ot required)				•		Water Meters: Provide submeters for spaces projected to consume >1,000 gal/day, or >100 gal/day if in buildings over 50,000 sq. ft.	•	Addition only
Construction Waste Management – 75% Diversion	1				Meet C&D		<b>Indoor Water Efficiency:</b> Reduce overall use of potable water within the building by 20% for showerheads, lavatories, kitchen faucets, wash fountains, water closets, and urinals.	•	٠
AND comply with San Francisco Construction & Demolition Debris Ordinance - LEED MR 2, 2 points	•	•	•	•	ordinance only		<b>Commissioning:</b> For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building		•
<b>Energy Use</b> Comply with California Title-24 Part 6 (2013) and meet LEED mini- mum energy performance (LEED EA p2)	•	LEED prerequisite	•	•		ED isite only	systems and components meet the owner's project requirements. OR for buildings less than 10,000 square feet, testing and adjusting of systems is required.		(Testing & Balancing)
Renewable Energy or Enhanced Energy Efficiency			·				Protect duct openings and mechanical equipment during construction	•	٠
Effective 1/1/2012: Generate renewable energy on-site ≥1% of total annual energy cost (LEED EAc2), OR							Adhesives, sealants, and caulks: Comply with VOC limits in SCAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives.	•	٠
Demonstrate at least 10% energy use reduction (compared to Title 24 Part 6 2013), OR Purchase Green-E certified renewable energy credits for 35% of	•	n/r	n/r	n/r	n/r	n/r	<b>Paints and coatings:</b> Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints.	•	٠
total electricity use (LEED EAc6). Enhanced Commissioning of Building Energy Systems			Mee	et LEED prerequ	isites		<ul> <li>Carpet: All carpet must meet one of the following:</li> <li>1. Carpet and Rug Institute Green Label Plus Program,</li> <li>2. California Department of Public Health Standard Practice for the testing of VOCs (Specification)</li> </ul>		
LEED EA 3 Water Use - 30% Reduction LEED WE 3, 2 points		Meet LEED			et LEED prerequ	uisite	01350), 3. NSF/ANSI 140 at the Gold level, 4. Scientific Certifications Systems Sustainable Choice, OR	•	•
Enhanced Refrigerant Management LEED EA 4	•	prerequisite n/r	n/r			n/r	5. California Collaborative for High Performance Schools EQ 2.2 and listed in the CHPS High Performance Product Database		
Indoor Air Quality Management Plan LEED IEQ 3.1	•	CalGreen	CalGreen	CalGreen	CalGreen	CalGreen	AND carpet cushion must meet Carpet and Rug Institute Green Label, AND indoor carpet adhesive & carpet pad adhesive must not exceed 50 g/L VOC content.		
Low-Emitting Materials LEED IEQ 4.1, 4.2, 4.3, and 4.4	•	4.504.1	4.504.1	5.504.3	5.504.3	4.504.1	Composite wood: Meet CARB Air Toxics Control Measure for Composite Wood	•	•
Bicycle parking: Provide short-term and long-term bicycle	•	•	•	•	•		<b>Resilient flooring systems:</b> For 80% of floor area receiving resilient flooring, install resilient flooring complying with the VOC-emission limits defined in the 2009 Collaborative for High Performance Schools (CHPS) criteria or certified under the Resilient Floor	•	•
parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater, or meet LEED credit SSc4.2.	•	See San Fran	cisco Planning 155	•		icisco Planning e 155	Covering Institute (RFCI) FloorScore program. <b>Environmental Tobacco Smoke:</b> Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows.	•	•
<b>Designated parking:</b> Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles.	•		. 100	•	n/r	n/r	Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings.	•	۲
Water Meters: Provide submeters for spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in building over 50,000 sq. ft	•	n/r	n/r	•	(addition only)	n/r	<b>Acoustical Control:</b> Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40.	•	(envelope alteration & addition only)
building over 50,000 sq. ft.         Air Filtration: Provide at least MERV-8 filters in regularly							CFCs and Halons: Do not install equipment that contains CFCs or Halons.	•	•
occupied spaces of mechanically ventilated buildings (or LEED credit IEQ 5).	•	n/r	n/r	•	•	n/r	Additional Requirements for New A, B, I, OR M Occupancy Projects 5	5,000 - 25,000	Square Feet
<b>Air Filtration:</b> Provide MERV-13 filters in residential buildings in air-quality hot-spots (or LEED credit IEQ 5). (SF Health Code Article 38 and SF Building Code 1203.5)	n/r	•	•	n/r	n/r	•	<b>Construction Waste Management</b> – Divert 75% of construction and demolition debris AND comply with San Francisco Construction & Demolition Debris Ordinance.	•	Meet C&D ordinance only
Acoustical Control: wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40.	•	See CB	C 1207	•	(envelope alteration & addition only)	n/r	Renewable Energy or Enhanced Energy Efficiency Effective January 1, 2012: Generate renewable energy on-site equal to ≥1% of total annual energy cost (LEED EAc2), OR demonstrate a 10% energy use reduction compared to Title 24 Part 6 (2013), OR	•	n/r



**GREEN BUILDING -SITE PERMIT SUBMITTAL** 

## Instructions:

As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Green Building Code, California Title 24 Part 11, and related codes. Attachment C3, C4, C5, C6, C7, or C8 will be due with the applicable addendum. To use the form:

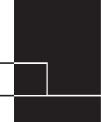
FRANCISCO, CA 94121

(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply.

# AND

(b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but using such tools as early as possible is strongly recommended.

Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. See relevant codes for details.



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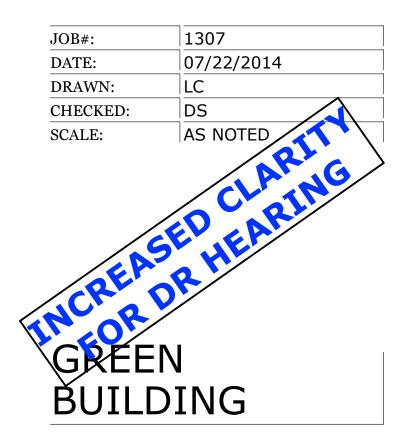
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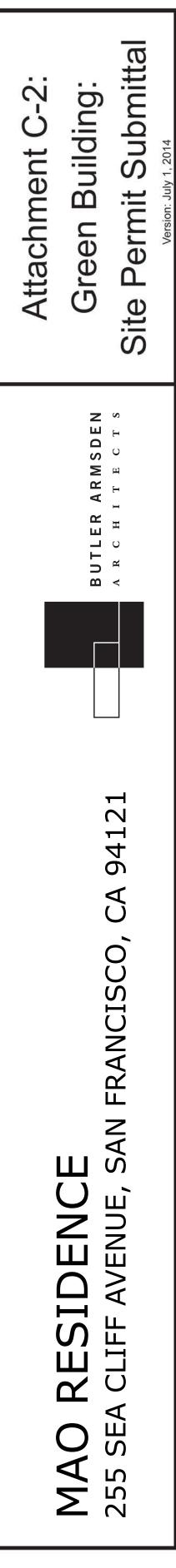
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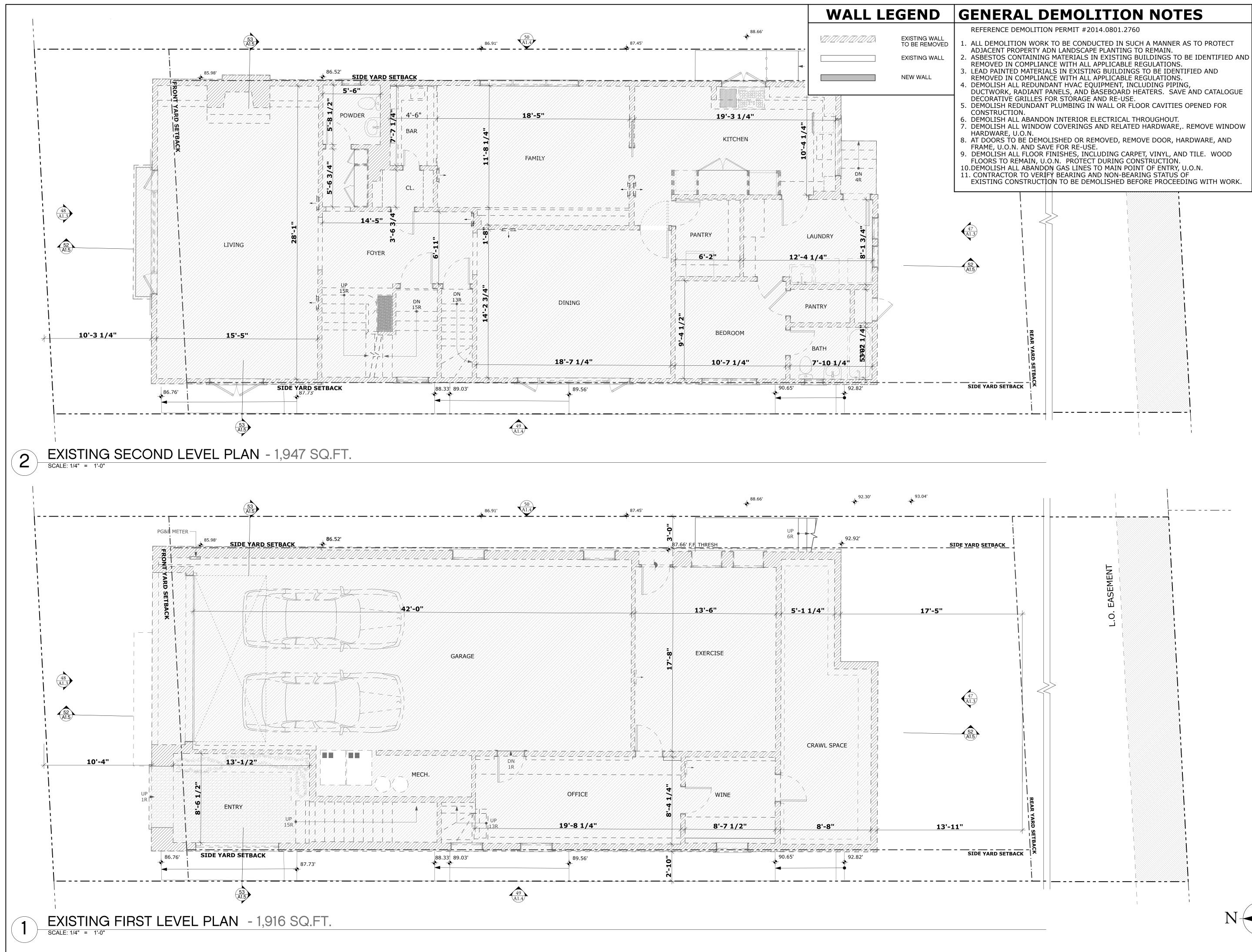
**PERMIT SET** 

REVISIONS:	BY:
NOPDR #2 - 04/01/2015	LC / JS
3 NOPDR #4 - 07/21/2015	DS











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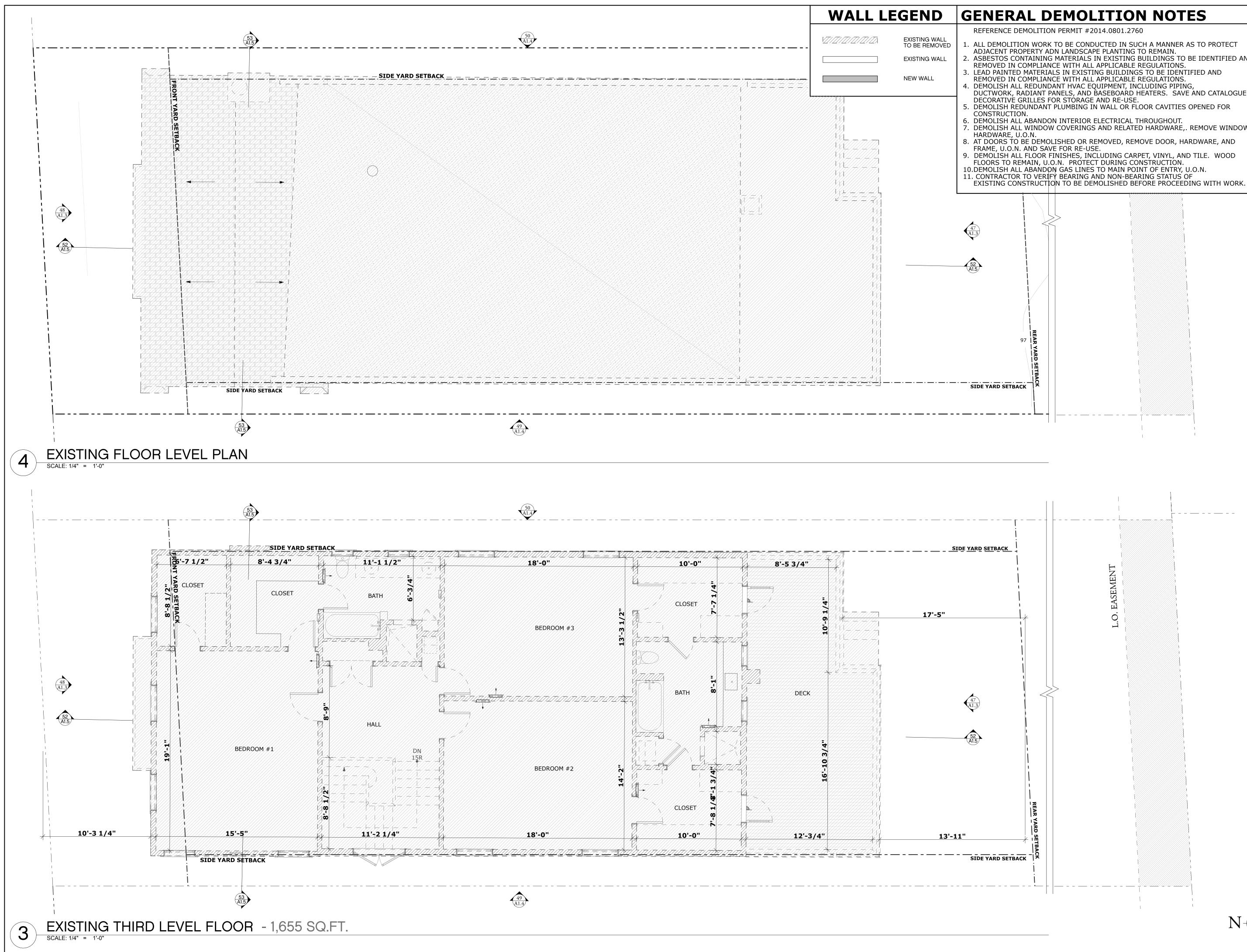
F 415-674-5558



# PERMIT SET

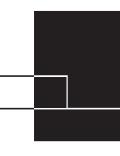
REVISIONS:		BY:
$\overline{1}$	NOPDR #2 - 04/01/2015	LC / JS
$\overline{3}$	NOPDR #4 - 07/21/2015	DS

1307 JOB#: DATE: 07/22/2014 DRAWN: DS CHECKED: LB SCALE: 1/4''= ISTING LOOR PLANS



1. ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND DUCTWORK, RADIANT PANELS, AND BASEBOARD HEATERS. SAVE AND CATALOGUE

7. DEMOLISH ALL WINDOW COVERINGS AND RELATED HARDWARE,. REMOVE WINDOW



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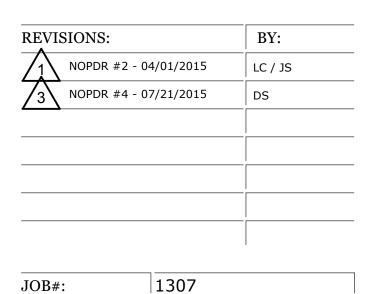
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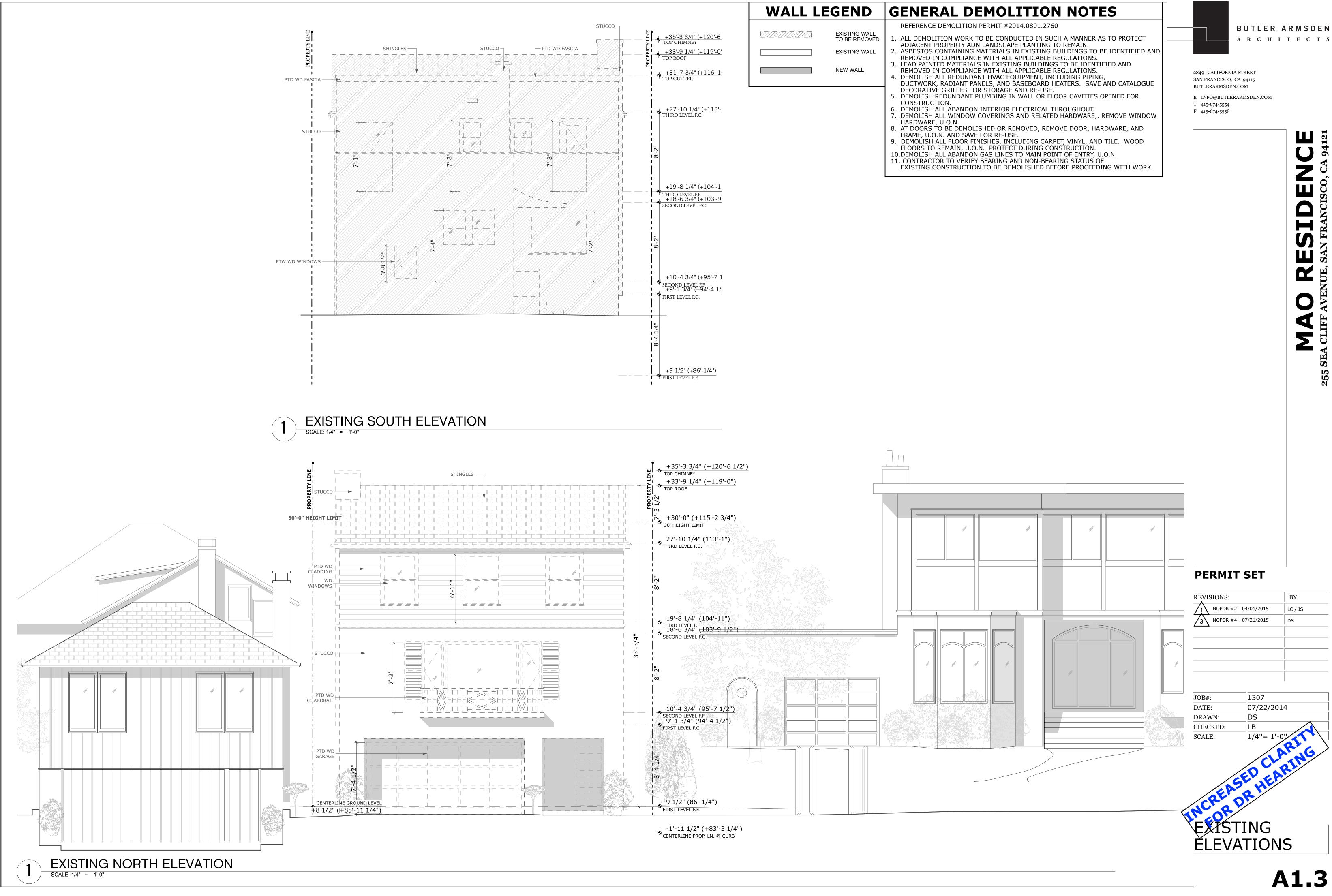




DATE: 07/22/2014 DS DRAWN: CHECKED: LB SCALE: 1/4''= STING

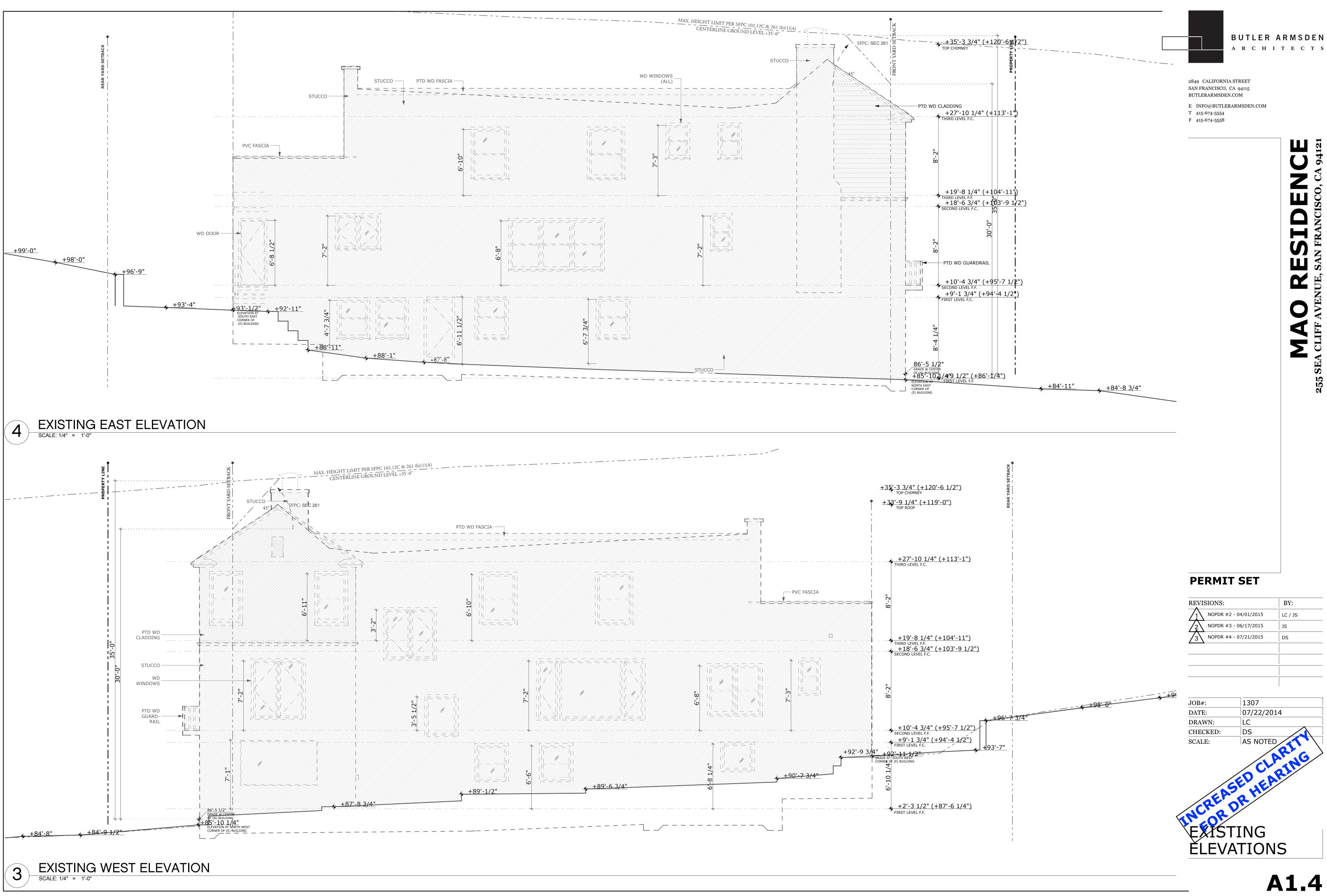
**FLOOR PLANS** 

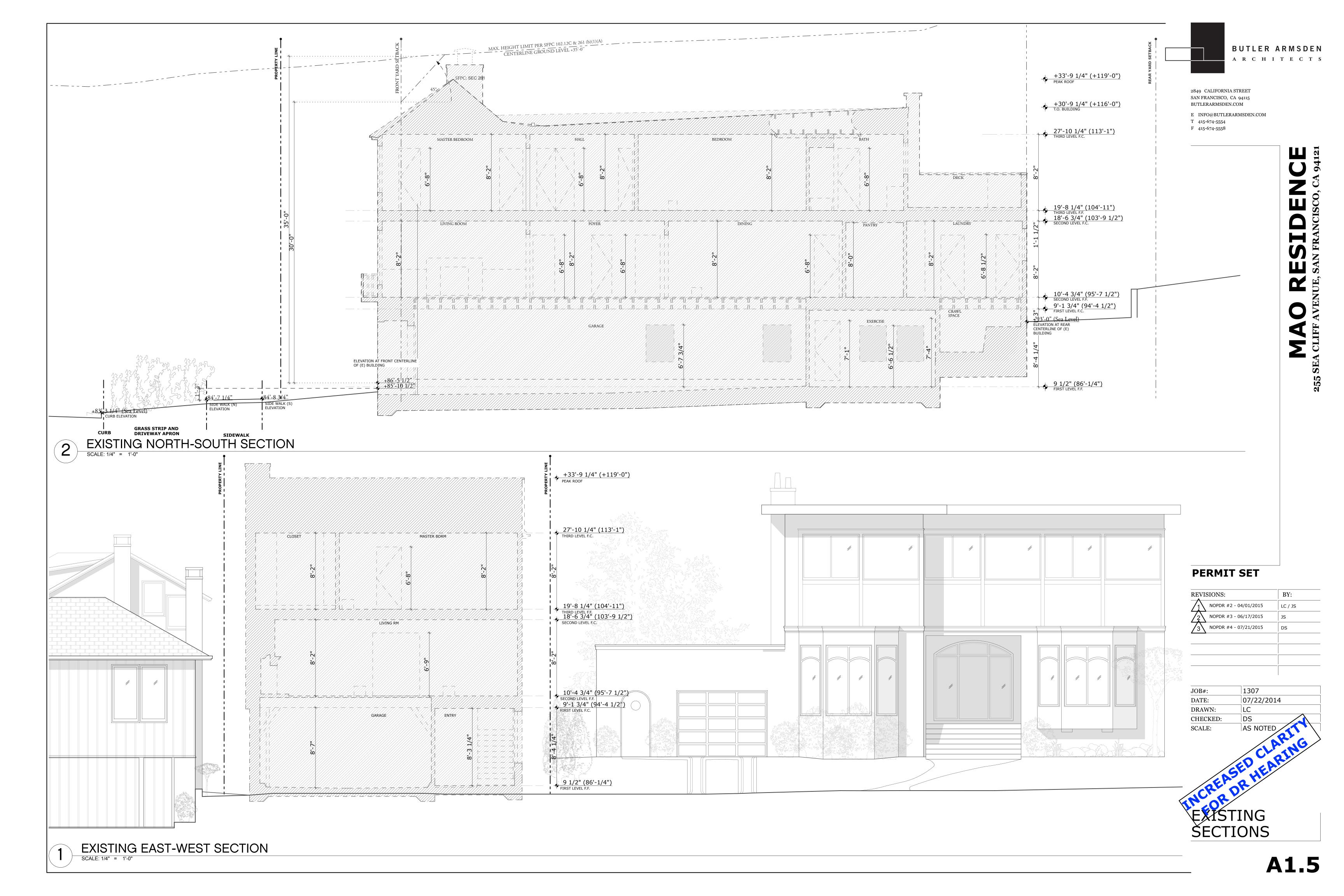




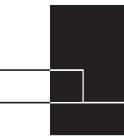












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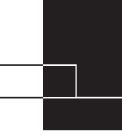
# **PERMIT SET**

REVI	SIONS:	BY:
$\overline{1}$	NOPDR #2 - 04/01/2015	LC / JS
$\overline{3}$	NOPDR #4 - 07/21/2015	DS
$\overline{4}$	RDT - 03/23/2016	LC

JOB#: 1307 DATE: 07/22/2014 DRAWN: LC CHECKED: DS SCALE: AS NOTED SCALE: AS NOTED FLOOPOSED FLOOR PLANS







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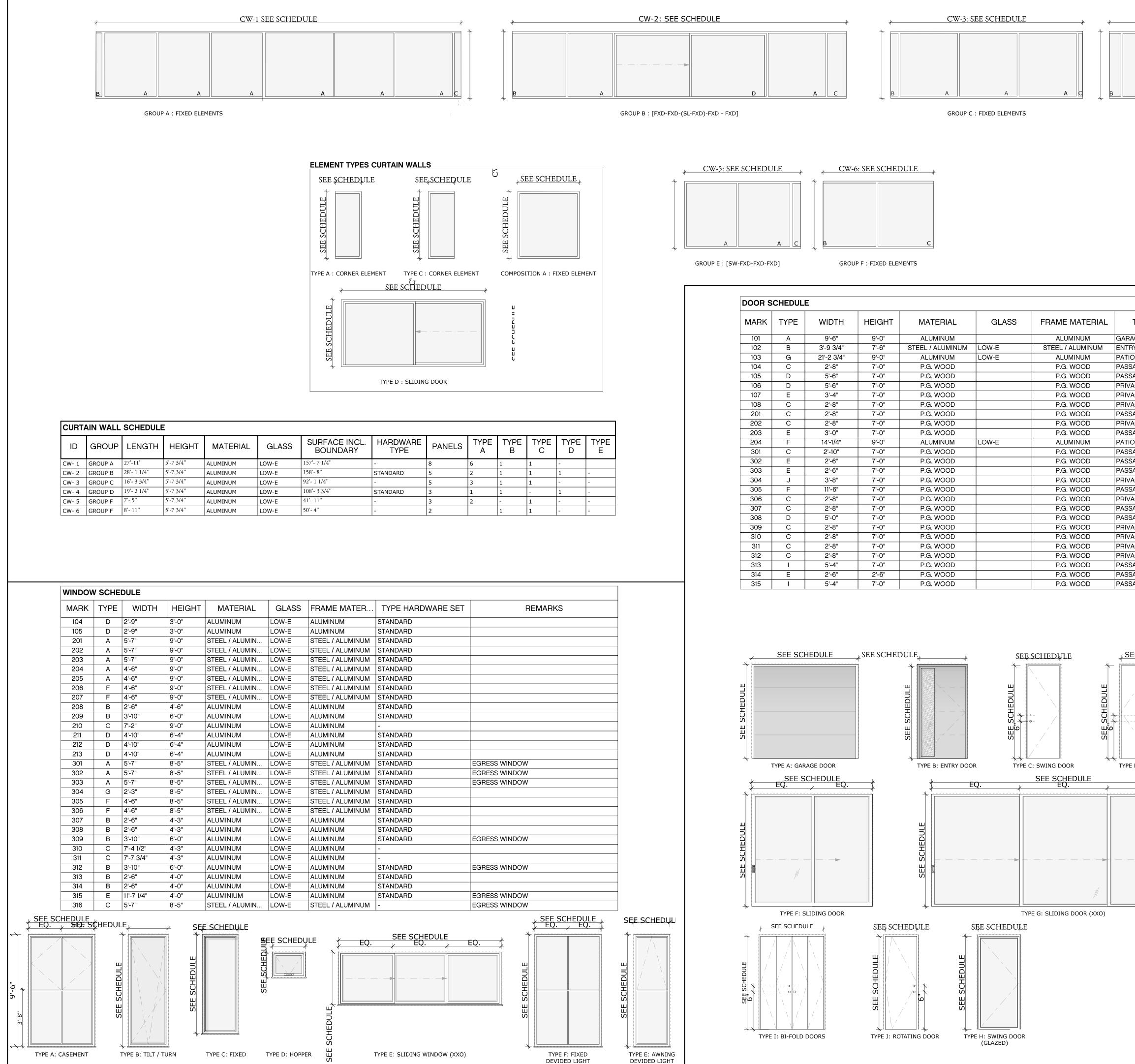
MAO RESIDENCE SEA CLIFF AVENUE, SAN FRANCISCO, CA 94121



REVISIONS:	BY:
NOPDR #2 - 04/01/2015	LC / JS
3 NOPDR #4 - 07/21/2015	DS
4 RDT - 03/23/2016	LC
5 RDT - 08/15/2016	DS

JOB#: 1307 DATE: 07/22/2014 DRAWN: LC CHECKED: DS SCALE: AS NOTED CREATE AS NOTED CREATE AS NOTED FLOOPOSED FLOOR PLANS

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(PE C	TYPE D	TYPE E
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	1	-
	-	-
	-	-

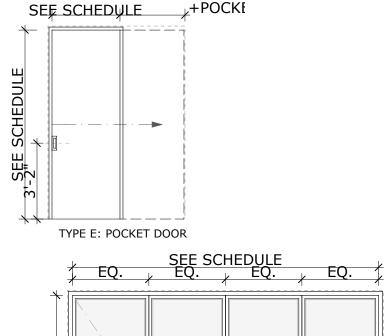
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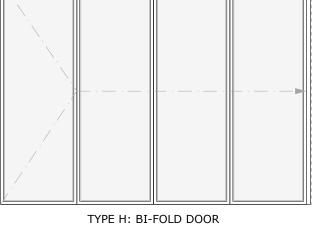
CW-4: SEE SCHEDULE BUTLER ARMSDEN A R C H I T E C T S 2849 CALIFORNIA STREET SAN FRANCISCO, CA 94115 BUTLERARMSDEN.COM E INFO@BUTLERARMSDEN.COM GROUP D : [FXD-FXD-{FXD-SL)] T 415-674-5554 F 415-674-5558 U 2 C

TYPE	REMARKS
RAGE	-
TRY	
TIO	
SSAGE	180 DEGREE SWING DOOR, SELF CLOSING / LATCHING, 20-MIN FIRE-RATED
SSAGE	
IVACY	
IVACY	
IVACY	180 DEGREE SWING DOOR
SSAGE	
IVACY	
SSAGE	
TIO	
SSAGE	
SSAGE	
SSAGE	
IVACY	
SSAGE	TEMPERED GLASS PANEL
IVACY	
SSAGE	
SSAGE	
IVACY	
IVACY	
IVACY	
IVACY	
SSAGE	
SSAGE	
SSAGE	

JEE SCHEDULE TYPE D: FRENCH DOORS EQ.

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## GENERAL WINDOW / DOOR NOTES

- ANCRE 1. SAFETY GLAZING WITHIN 24" ARC OF A DOORS VERTICAL EDGE AND LES THAN 60" ABOVE THE WALKING SURFACE.
- 2. SAFETY GLAZING WITH AN AREA MORE THAN 9 SQ. FT., EXPOSED BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR, EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR AND WITH ONE OR MORE WALKING SURFACE WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING.
- 3. SAFETY GLAZING ADJACENT TO STAIRWAYS WITHIN 5 FEET HORIZONTALL OF THE BOTTOM TREAD IN ANY DIRECTION WHEN THE EXPOSED SURFAC OF THE GLAZING IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.



REVISIONS:	BY:
NOPDR #2 - 04/01/2015	LC / JS
NOPDR #3 - 06/17/2015	JS
3 NOPDR #4 - 07/21/2015	DS
4 RDT - 03/23/2016	LC

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1307 JOB#: DATE: 07/22/2014 LC **DRAWN:** DS CHECKED: AS NOTED SCALE:

EASED

- DR HEA







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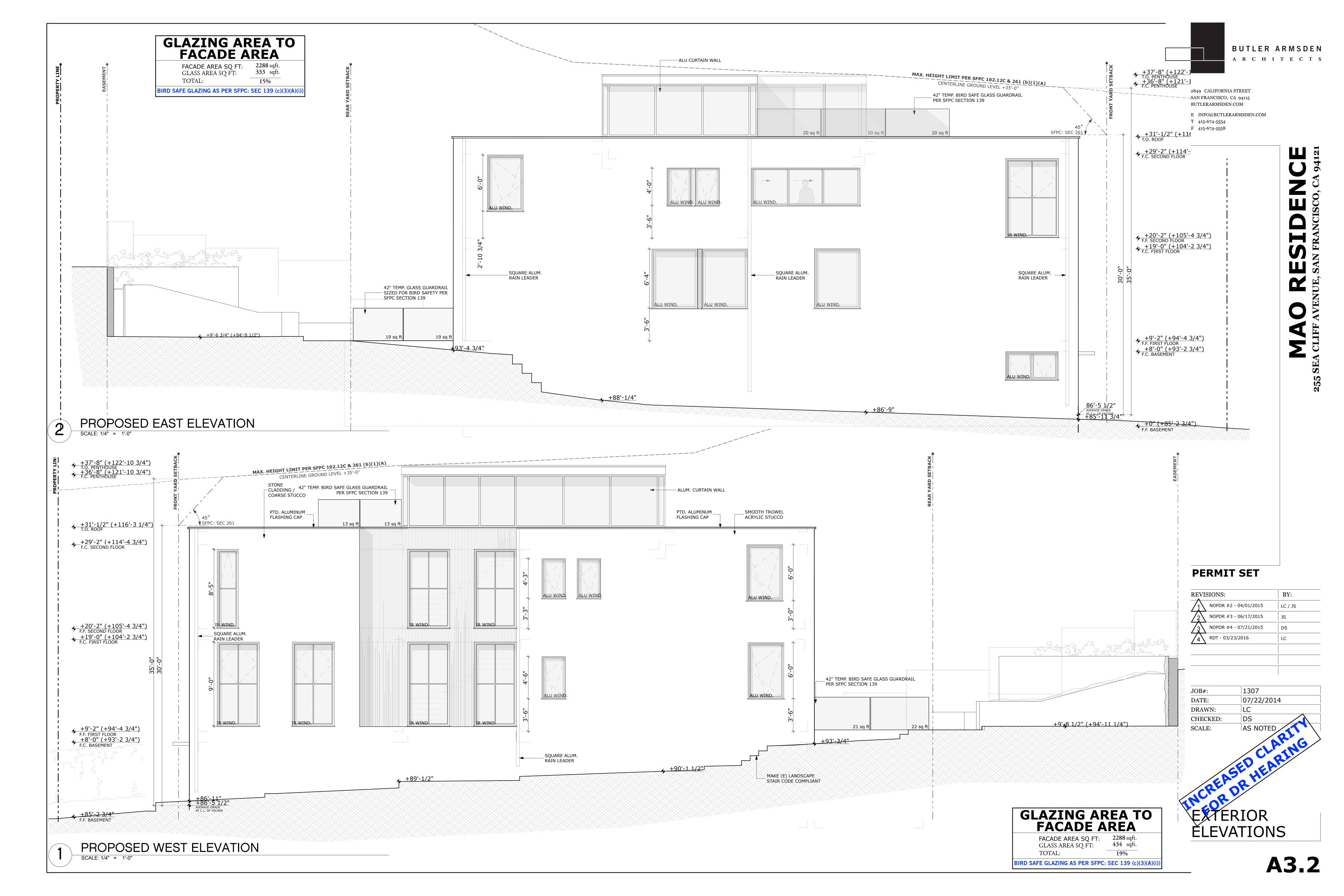
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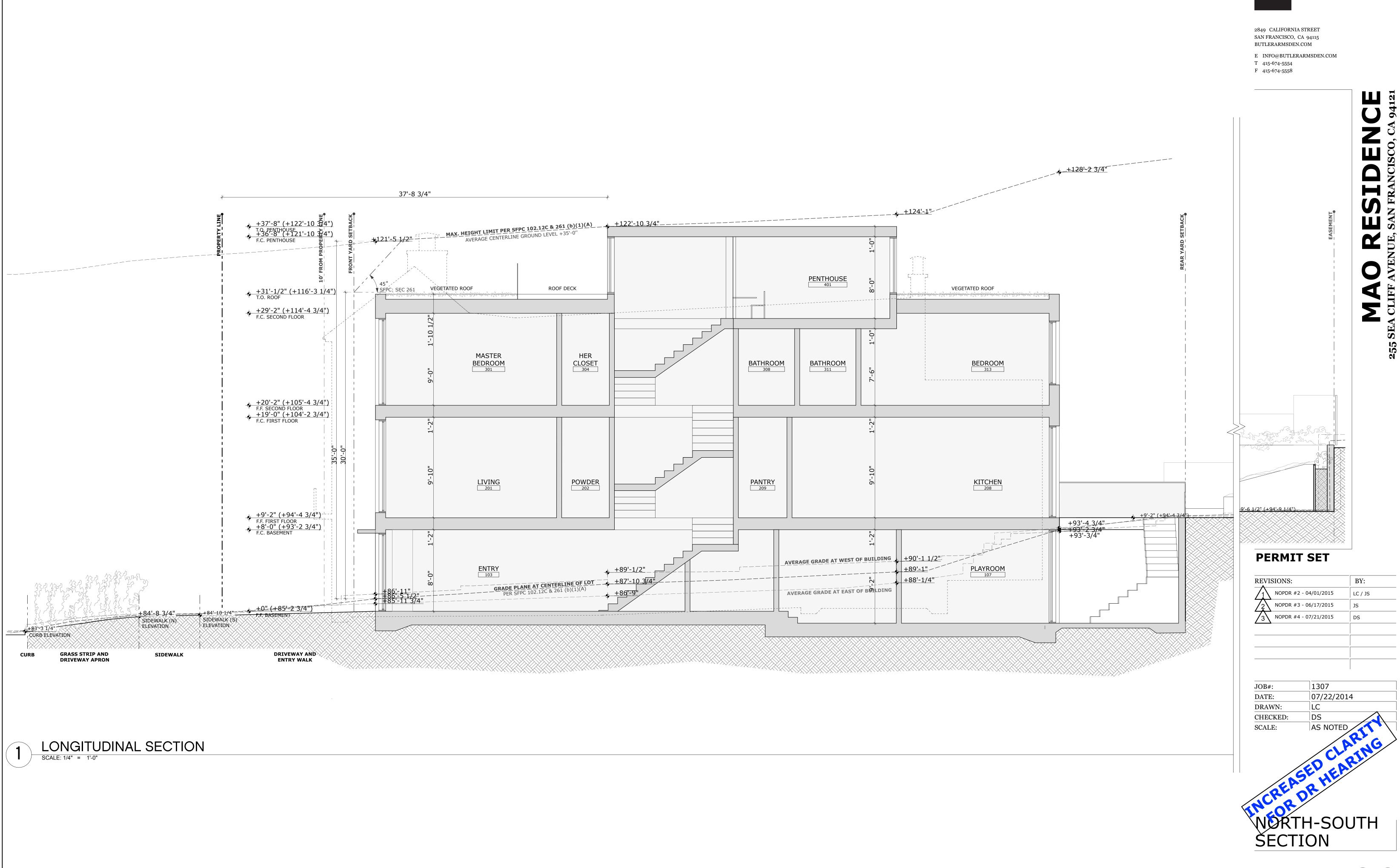


REVISIONS:	BY:
NOPDR #2 - 04/01/2015	LC / JS
NOPDR #3 - 06/17/2015	JS
3 NOPDR #4 - 07/21/2015	DS
RDT - 03/23/2016	LC
5 RDT - 08/15/2016	DS











A3.3





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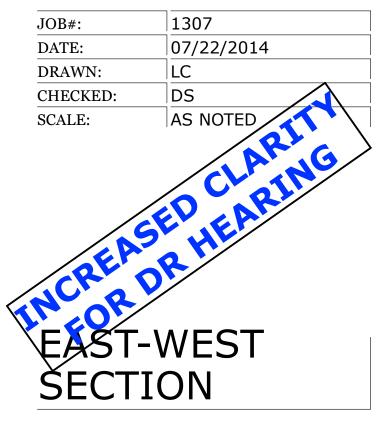
F 415-674-5558



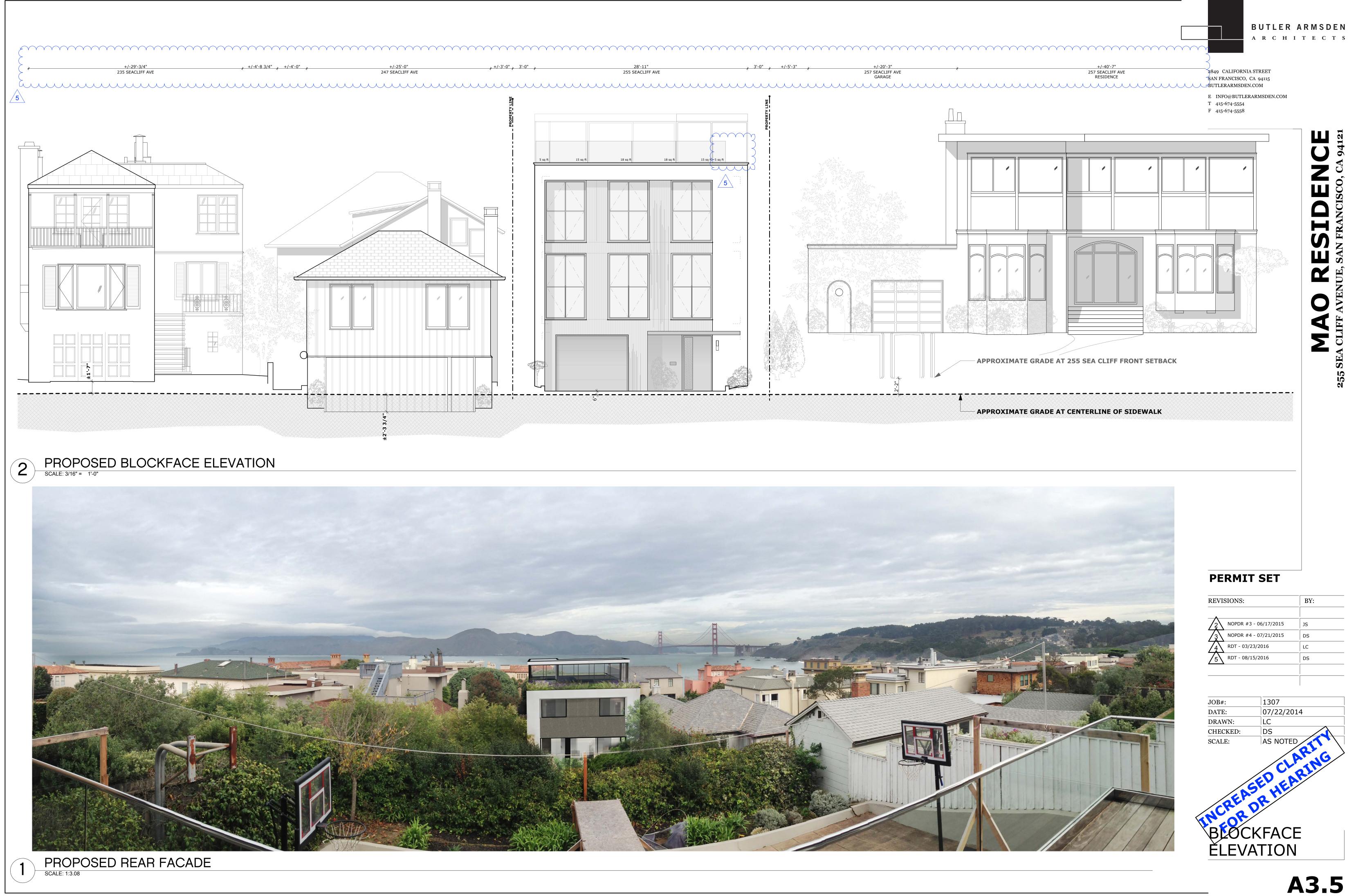
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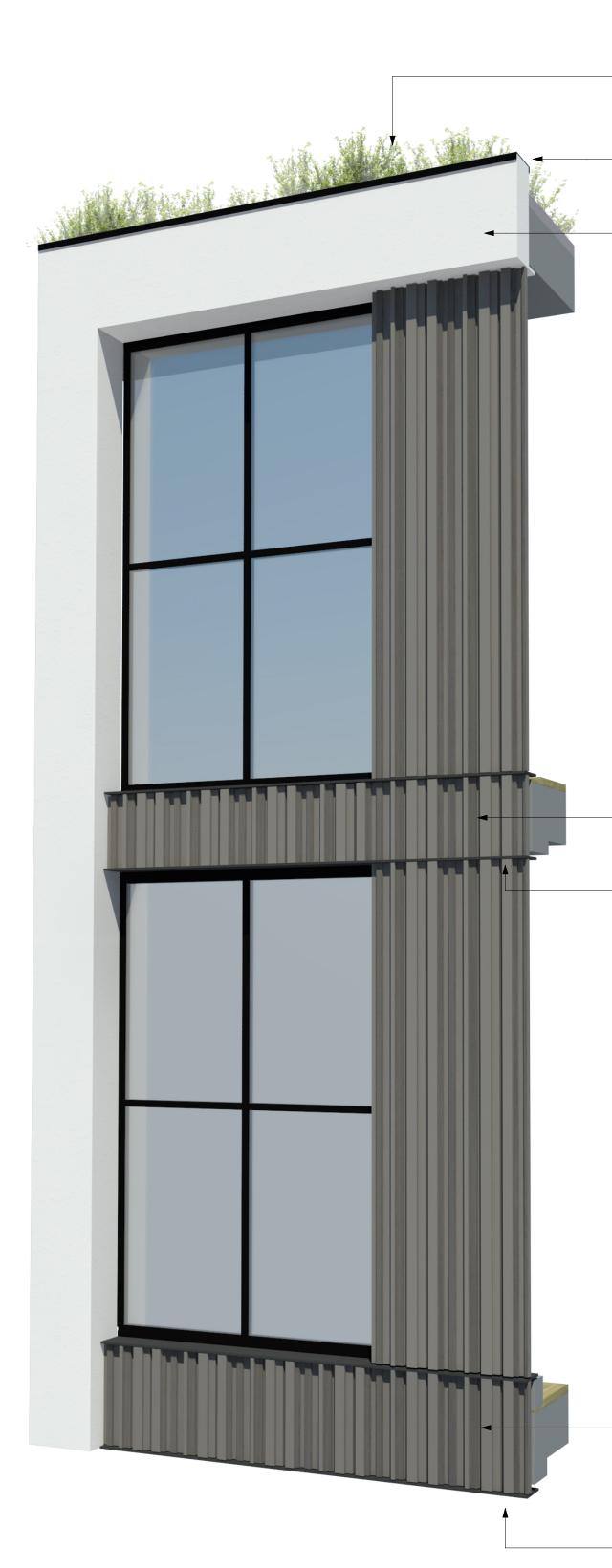
REVISIONS:	BY:
NOPDR #2 - 04/01/2015	LC / JS
NOPDR #3 - 06/17/2015	JS
3 NOPDR #4 - 07/21/2015	DS
4 RDT - 03/23/2016	LC













ENLARGED FACADE SCALE: 1:2.43

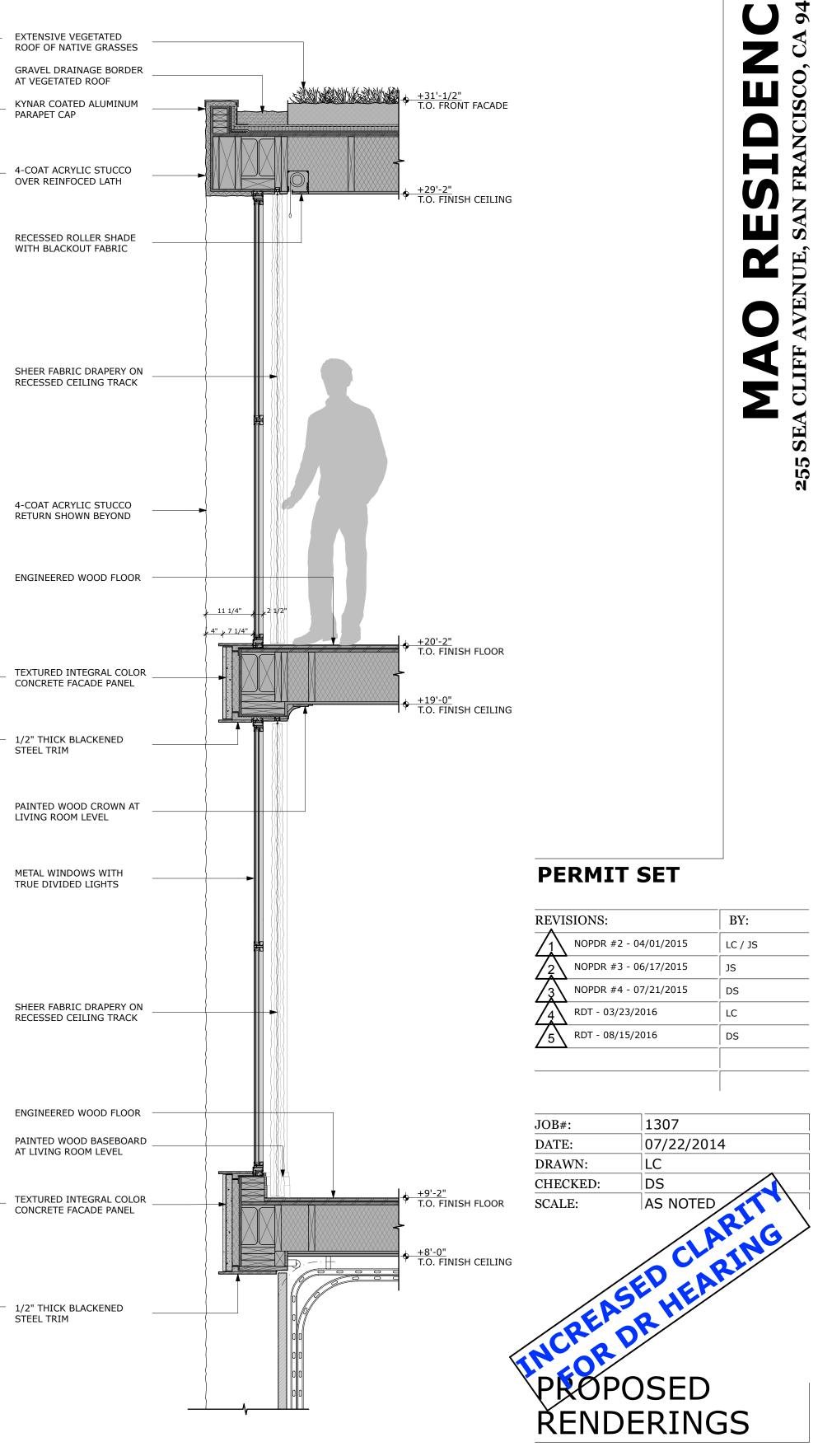


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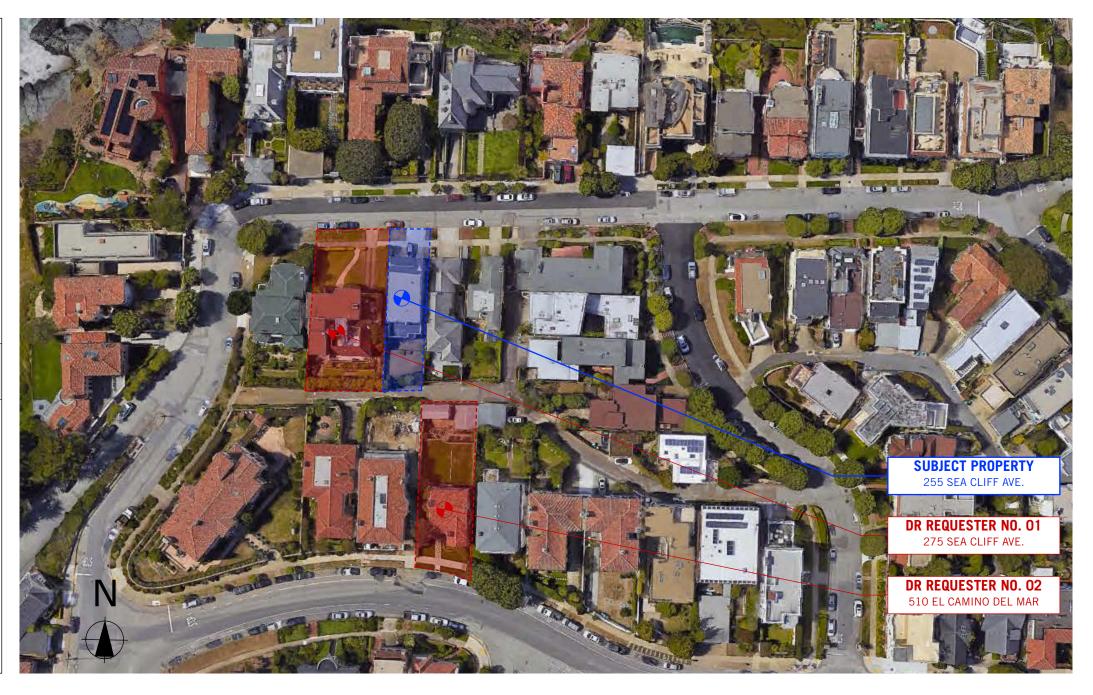
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BLOCK:         1308           LOT:         19           LOT SIZE:         4368 sqft.           UNCONDITIONED SPACE	ZONED: HEIGHT LIMIT: OCCUPANCY: FXISTING	R-3
FIRST LEVEL / GARAGE SECOND LEVEL THIRD LEVEL ROOF LEVEL	1343 36 - -	747
SUB TOTAL: CONDITIONED SPACE FIRST LEVEL SECOND LEVEL	<b>1379</b> EXISTING 573 1947	<b>747</b> PROPOSED 1163 1938
THIRD LEVEL ROOF LEVEL	1655 - 4175	1938 582 5621
TOTAL INT. SPACE:	5554	6368
TOTAL INT. SPACE: NET CHANGE:	5554	6368 814
NET CHANGE: DECK / TERRACE SPACE FIRST LEVEL SECOND LEVEL THIRD LEVEL	EXISTING - 22	<b>814</b> PROPOSED 340 168
NET CHANGE: DECK / TERRACE SPACE FIRST LEVEL SECOND LEVEL THIRD LEVEL ROOF LEVEL	EXISTING - 22 351 - <b>373</b>	814 PROPOSED 340 168 - 455 963



### **PROPOSED PROJECT DATA**

## **AERIAL VIEW OF BLOCK 1308**

# EXHIBIT B: PROJECT DATA / MAP OF DR REQUESTORS 255 SEA CLIFF AVENUE, SAN FRANCISCO, CA 94121

BUTLER ARMSDEN



VIEW OF SUBJECT PROPERTY FRONT (NORTH) FACADE



VIEW OF SUBJECT PROPERTY REAR (SOUTH) FACADE





**VIEW TO DR REQUESTOR 275 SEA CLIFF FROM SUBJECT REAR YARD** 

**EXHIBIT C: PHOTOS OF EXISTING HOUSE** 255 SEA CLIFF AVENUE, SAN FRANCISCO, CA 94121





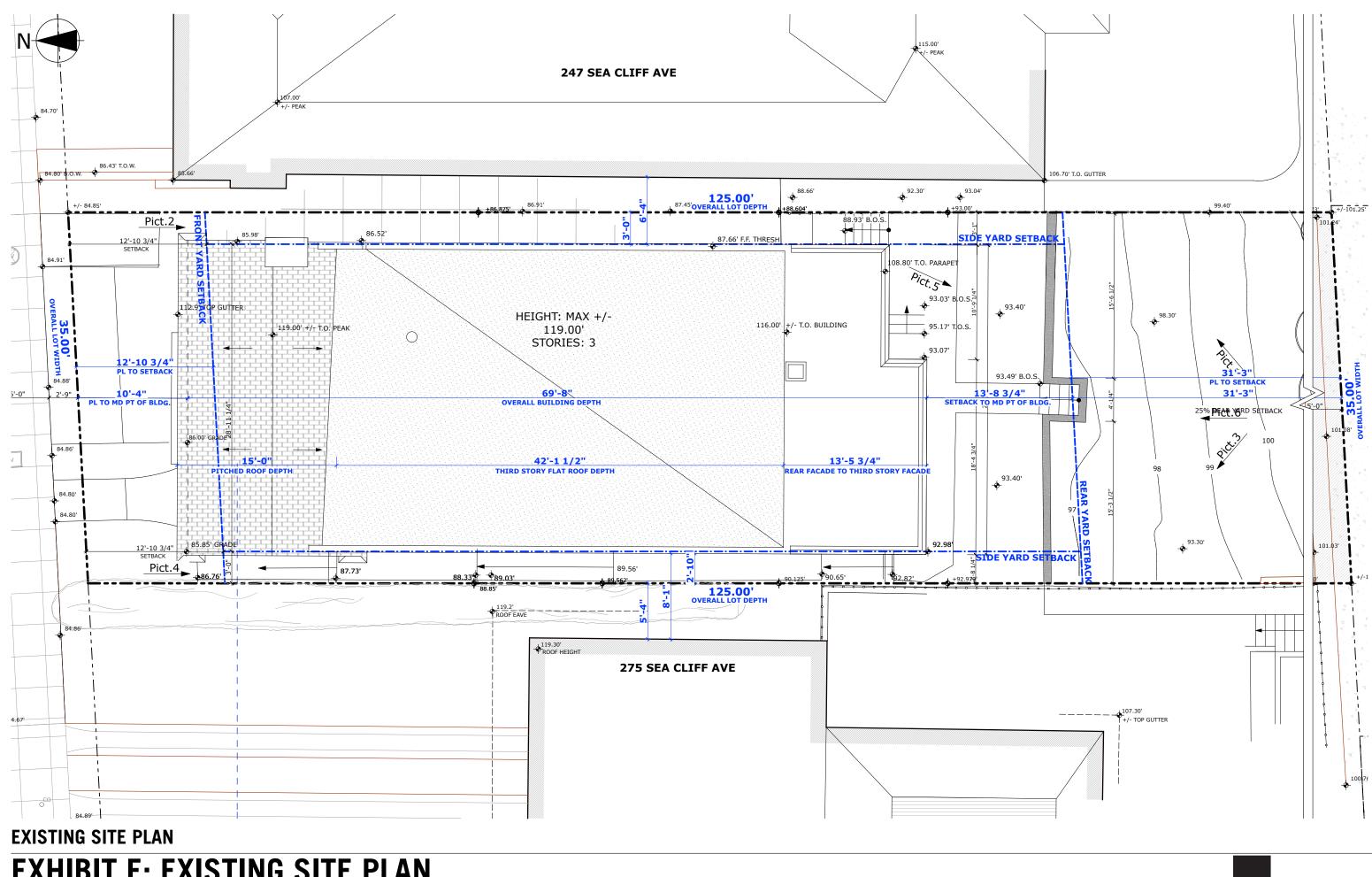
### **SEA CLIFF BLOCK ELEVATION - SOUTH**



**SEA CLIFF BLOCK ELEVATION - NORTH** 

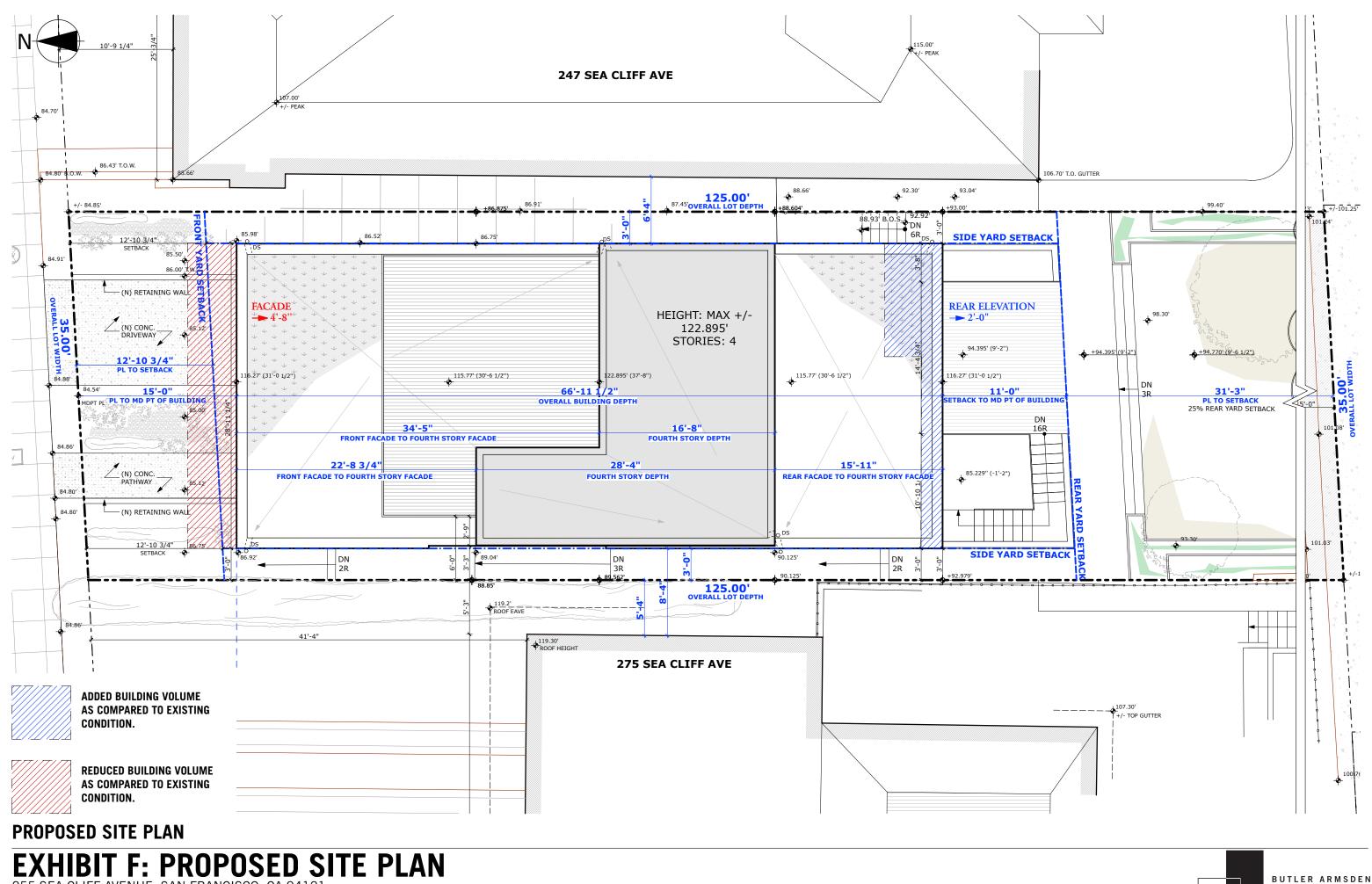
# **EXHIBIT D: SEA CLIFF BLOCK ELEVATIONS** 255 SEA CLIFF AVENUE, SAN FRANCISCO, CA 94121





**EXHIBIT E: EXISTING SITE PLAN** 255 SEA CLIFF AVENUE, SAN FRANCISCO, CA 94121

BUTLER ARMSDEN ARCHITEC



**EXHIBIT F: PROPOSED SITE PLAN** 255 SEA CLIFF AVENUE, SAN FRANCISCO, CA 94121

ARCHITECTS



1. 255 SEACLIFF AVENUE (SUBJECT PROPERTY)



7. 510 EL CAMINO DEL MAR



13. 200 SEA CLIFF AVE



2. 275 SEACLIFF AVENUE (DR REQUESTER)



8. 16 25TH AVENUE



**3. 154 SEACLIFF AVENUE** 







4. 535 EL CAMINO DEL MAR



10. 101 27TH AVENUE







17. 511 EL CAMINO DEL MAR



# **EXHIBIT G: SEA CLIFF ARCHITECTURAL STYLE STUDY** 255 SEA CLIFF AVENUE, SAN FRANCISCO, CA 94121









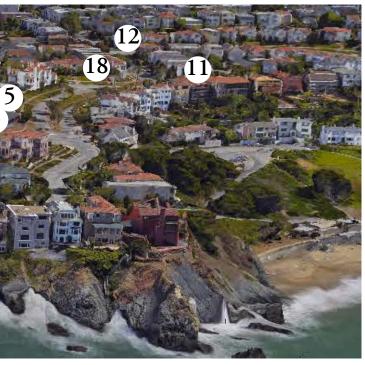
6. 89 27TH AVENUE



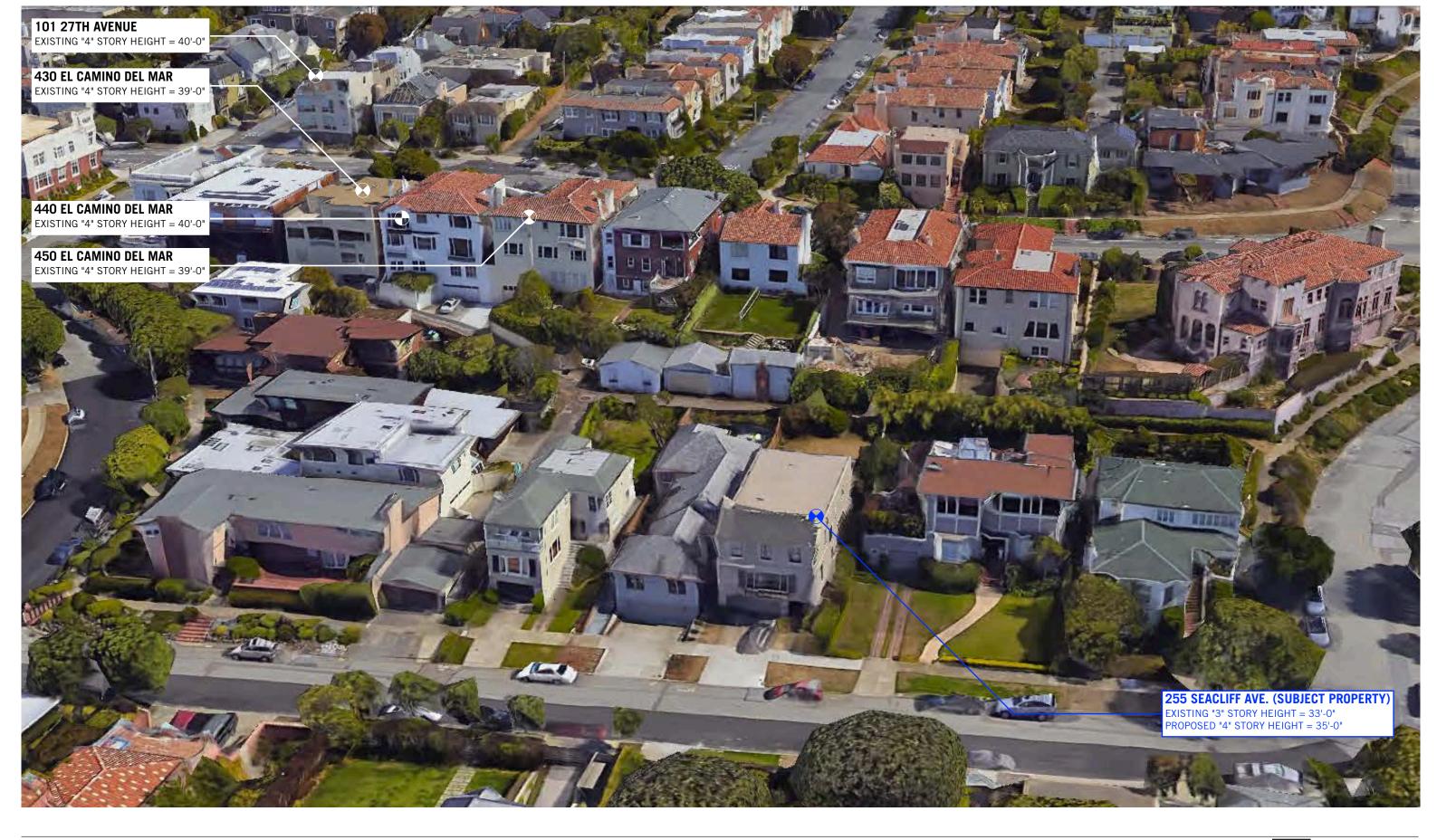
12. 2901 LAKE STREET



18. 615 EL CAMINO DEL MAR





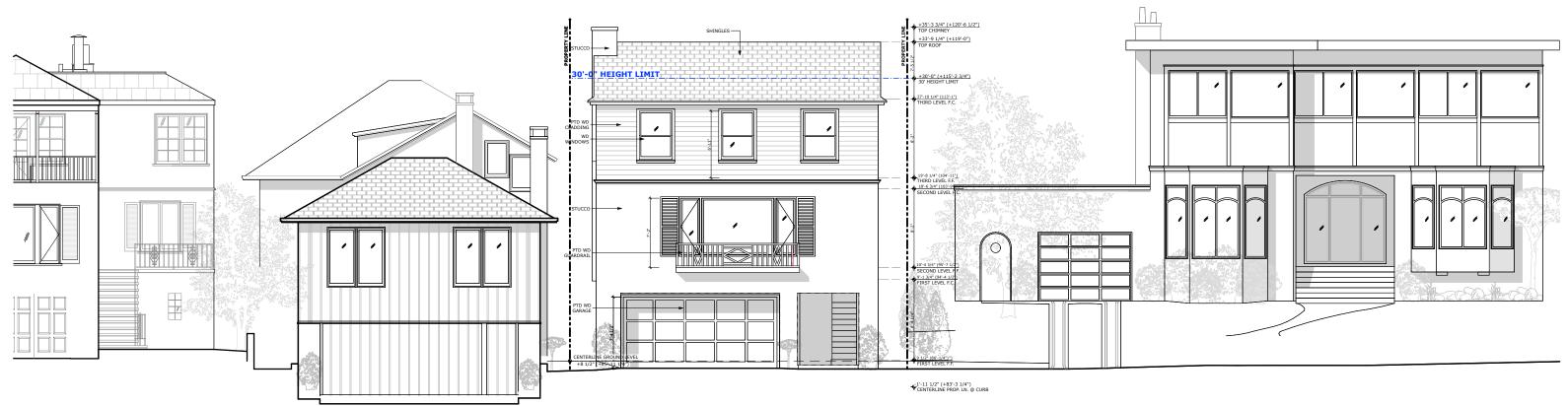


## **EXHIBIT H: SEA CLIFF BUILDING HEIGHT STUDY** 255 SEA CLIFF AVENUE, SAN FRANCISCO, CA 94121

BUTLER ARMSDEN ARCHITECTS

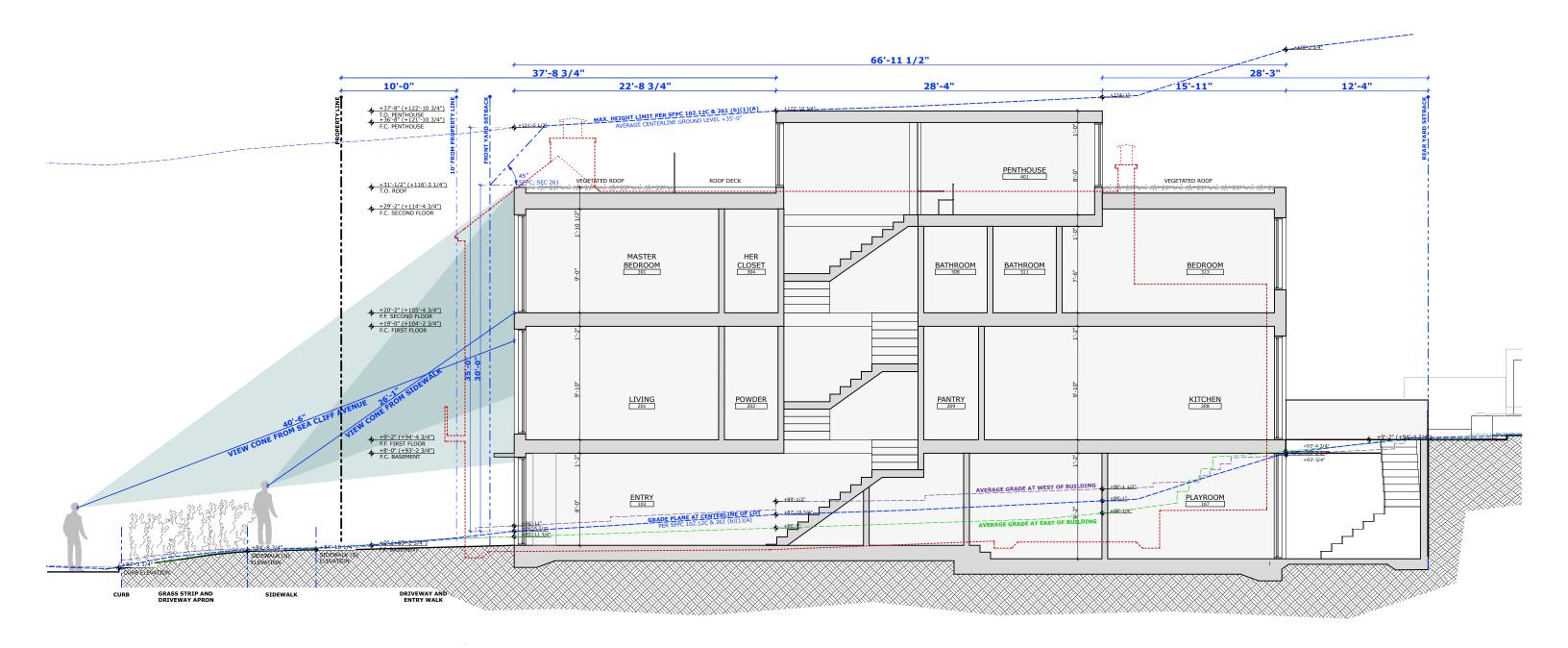


### **PROPOSED FRONT FACADE**



# **EXISTING FRONT FACADE EXHIBIT J: EXISTING / PROPOSED FRONT FACADE** 255 SEA CLIFF AVENUE, SAN FRANCISCO, CA 94121

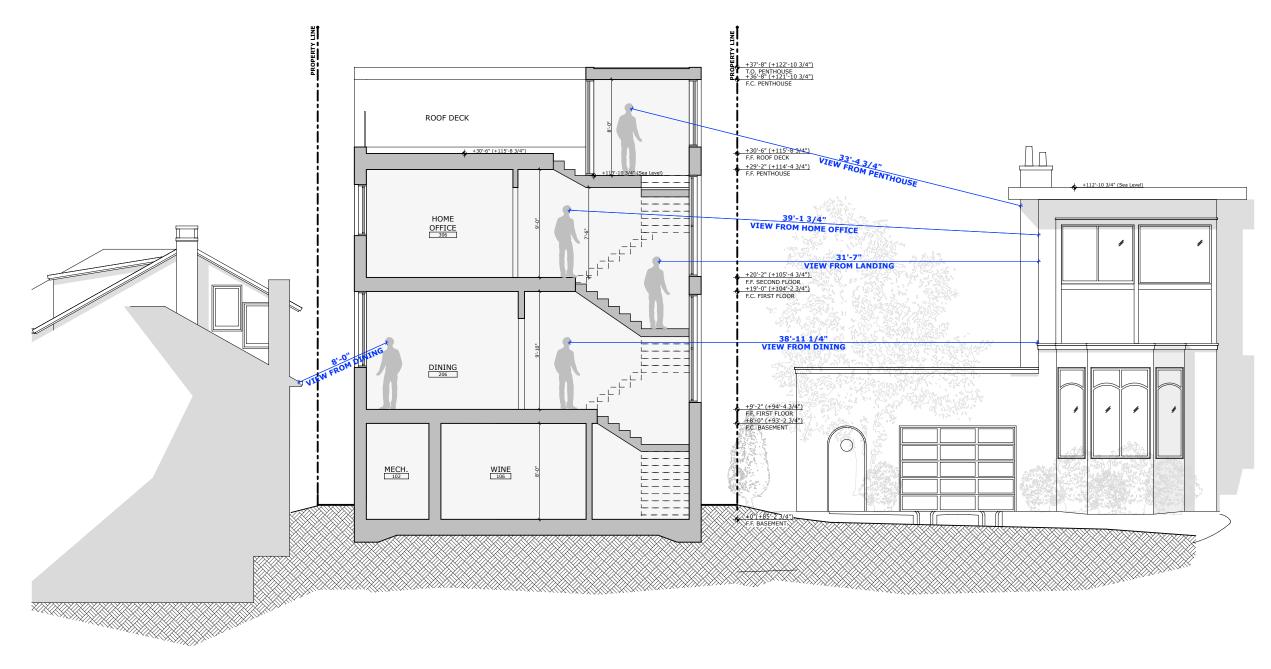
BUTLER ARMSDEN ARCHITECTS



## **PROPOSED NORTH-SOUTH SECTION**

**EXHIBIT K: VIEW CONE ANALYSIS** 255 SEA CLIFF AVENUE, SAN FRANCISCO, CA 94121

BUTLER ARMSDEN A R C H I T E C T S



**PROPOSED EAST-WEST SECTION** 



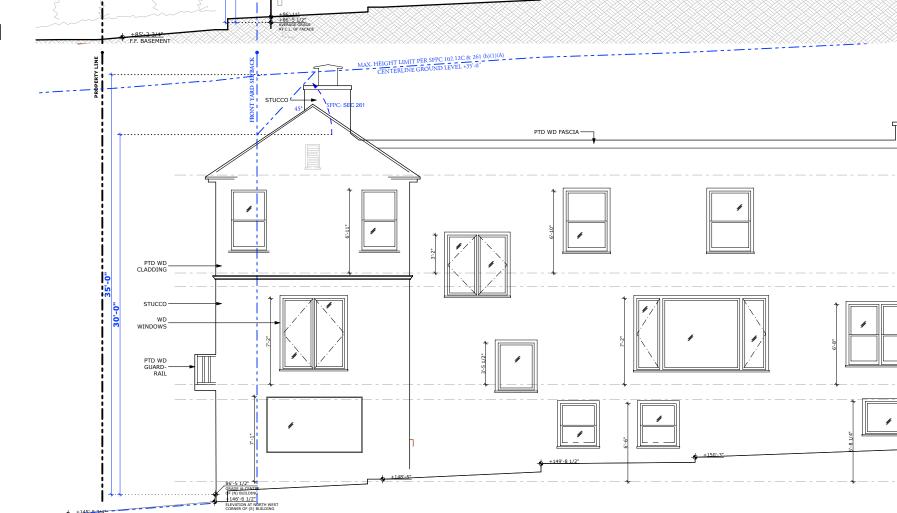
BUTLER ARMSDEN

ARCHITECTS

# **EXHIBIT M: GLAZING ANALYSIS** 255 SEA CLIFF AVENUE, SAN FRANCISCO, CA 94121

### **EXISTING WEST ELEVATION**





## **PROPOSED WEST ELEVATION**

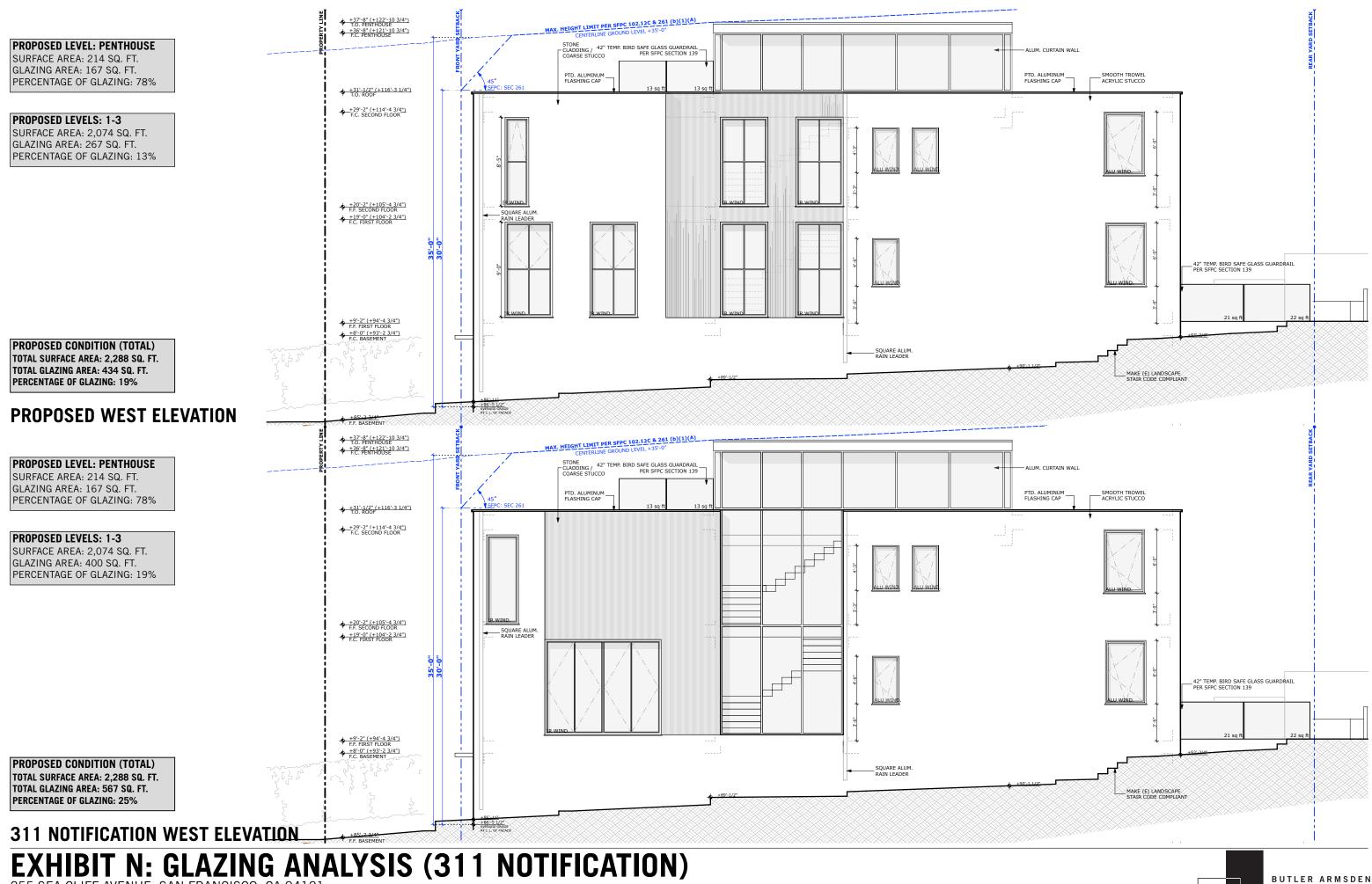
PROPOSED CONDITION (TOTAL) TOTAL SURFACE AREA: 2,288 SQ. FT. TOTAL GLAZING AREA: 434 SQ. FT. PERCENTAGE OF GLAZING: 19%

**PROPOSED LEVELS: 1-3** SURFACE AREA: 2,074 SQ. FT. GLAZING AREA: 267 SQ. FT. PERCENTAGE OF GLAZING: 13%

PROPOSED LEVEL: PENTHOUSE SURFACE AREA: 214 SQ. FT. GLAZING AREA: 167 SQ. FT. PERCENTAGE OF GLAZING: 78%



# EXHIBIT N: GLAZING ANALYSIS (311 NOTIFICATION) 255 SEA CLIFF AVENUE, SAN FRANCISCO, CA 94121





VIEW FROM 520 EL CAMINO DEL MAR - FIRST LEVEL



VIEW FROM 520 EL CAMINO DEL MAR - SECOND LEVEL

## EXHIBIT O: VIEWS FROM 520 EL CAMINO DEL MAR 255 SEA CLIFF AVENUE, SAN FRANCISCO, CA 94121





## VIEW FROM SEA CLIFF AVENUE TO THE WEST FACADE

# **EXHIBIT P: VIEW FROM SEA CLIFF AVENUE** 255 SEA CLIFF AVENUE, SAN FRANCISCO, CA 94121





VIEW FROM SEA CLIFF AVENUE TO THE NORTH FACADE

## **EXHIBIT Q: VIEW FROM SEA CLIFF AVENUE** 255 SEA CLIFF AVENUE, SAN FRANCISCO, CA 94121

