



SAN FRANCISCO PLANNING DEPARTMENT

Memo to the Planning Commission

HEARING DATE: NOVEMBER 30, 2017
Continued from the September 28, 2017 Hearing

Date: November 22, 2017
Case No.: **2014-1060DRP/VAR**
Project Address: **1870 Market Street**
Permit Application: 2015-0501-5151
Zoning: NCT-3 (Moderate Scale Neighborhood Commercial Transit District)
85-X Height and Bulk District
Block/Lot: 0871/004
Project Sponsor: Victor Quan, Bridgeway Vista LP
P.O. Box 591841
San Francisco, CA 94159
Staff Contact: Claudine Asbagh – (415) 575-9165
claudine.asbagh@sfgov.org
Recommendation: **Do not take DR and approve the project as proposed**

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BACKGROUND

The Case was continued from the September 28, 2017 Planning Commission Hearing due to insufficient noticing. The 312 notice was re-issued on October 30, 2017 and will close on November 28, 2017. As of the writing of this memo, no additional DR requests have been filed.

CURRENT PROPOSAL

The project would demolish the existing single story private garage and construct an 85-foot tall, 8-story, approximately 16,000 square-foot building containing 10 dwelling units and approximately 400 square feet of ground floor retail.

The project would require a rear yard modification (Section 134(e)(1)) because the proposed building would encroach into the required rear yard. Please note that the September 28, 2017 staff report erroneously stated the rear yard would be 15' 3". Because the sponsor added a dwelling unit at the ground floor, the rear yard is required at all levels. In addition, the bay window at the rear does not comply with Section 136 for obstructions. The actual rear yard would be as follows: 0' at the ground floor, 15' 3" at the second floor, and 12'9" at levels 3-8. Three of the dwelling units on the lower three floors would require a Variance from the exposure requirements of the Planning Code (Section 140).

Since the September 28th continuance, the sponsor has updated plans for clarity. In addition, the following changes were made to the building:

- Fire escape ladders located at the rear of the building have been removed
- Roof terrace has been reduced, and set back 3' from front façade

The revised set is attached to this memo.

RECOMMENDED COMMISSION ACTION

The Department recommends that the Planning Commission not take Discretionary Review as requested in Application No. 2014-1060DRP/VAR and approve the project as proposed.

BASIS FOR RECOMMENDATION

- The project is consistent with Market & Octavia Area Plan's goals and objectives in that it provides infill development that includes housing at a location well served by public transit.
- The project is consistent with Market & Octavia Area Plan Design Principles.
- The project contributes 10 new housing units to the City (including one below market rate unit).
- The project manages to provide a range of dwelling unit types on a relatively small lot in a manner that is consistent with development on Market Street.

Attachments:

October 30, 2017 312 Notice

Updated Plans, dated November 10, 2017

June CPC Packet, dated 9/28/2017



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 312)

On **October 21, 2015**, the Applicant named below filed Building Permit Application No. **2015-0501-5151** with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	1870 Market Street	Applicant:	Victor Quan
Cross Street(s):	Laguna	Address:	P.O. Box 591841
Block/Lot No.:	0871/004	City, State:	San Francisco, CA 94159
Zoning District(s):	NCT-3 / 85-X	Telephone:	(415) 531-8311

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input checked="" type="checkbox"/> Demolition	<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Garage	Residential
Front Setback	None	0
Side Setbacks	0	0
Building Depth	25'	78' 3.5" (average)
Rear Yard	None	15' 3"
Building Height	12'	85'
Number of Stories	1	8
Number of Dwelling Units	0	10
Number of Parking Spaces	6	0
PROJECT DESCRIPTION		
<p>The proposal would demolish the existing single story commercial building and construct an 85-foot tall, 8-story, approximately 16,000 square-foot building containing 10 dwelling units and 400 square feet of ground floor retail.</p> <p>The project requests a rear yard modification (Section 134(e)(1)) and a Variance for exposure (Section 140). This is the SECOND 312 NOTICE DUE TO A NOTICING ERROR. Discretionary Review has been requested and the project was continued to November 30, 2017 from the September 28, 2017 Planning Commission Hearing. Both the DR and the Variance will be heard at that time.</p> <p>The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.</p>		

For more information, please contact Planning Department staff:

Planner: Claudine Asbagh
 Telephone: (415) 575-9165
 E-mail: Claudine.asbagh@sfgov.org

Notice Date: 10/30/2017
Expiration Date: 11/28/2017

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

ABBREVIATIONS			
&	AND	KIT.	KITCHEN
<	ANGLE	LN DG	LANDING
@	AT	LAV.	LAVATORY
A.	ANCHOR BOLT	L.T.	LIGHT
A.C.	ASPHALTIC CONCRETE	MAX.	MAXIMUM
ACOUS.	ACOUSTICAL	M.C.	MEDECINE CABINET
A.D.	AREA DRAIN	MECH.	MECHANICAL
ADJ.	ADJACENT	MFR.	MANUFACTURER
ALUM	ALUMINUM	MIN.	MINIMUM
AUTO	AUTOMATIC	MTD.	MOUNTED
BALC	BALCONY	MTL	METAL
BD	BOARD	MULL	MULLION
BLD	BUILDING	N/A	NOT APPLICABLE
BM	BEAM	NIC	NOT IN CONTRACT
B.O.C.	BOTTOM OF CURB	NTS	NOT TO SCALE
BTM.	BOTTOM	O/	OVER
B.S.W.	BACK OF SIDEWALK	O.C	ON CENTER
BTWN	BETWEEN	OFF.	OFFICE
CABT.	CABINET	O.H.	OVERHANG
CEM. PLAS.	CEMENT PLASTER/STUCCO	OPNG.	OPENING
C.J.	CONTROL JOINT	PERF.	PERFORATED
CL	CENTERLINE	PL.	PROPERTY LINE
CLG.	CEILING	PLAS. LAM.	PLASTIC LAMINATE
CLKG.	CAULKING	P.O.	PARTIALLY OPERABLE
CL	CLOSET	P.T.	PRESSURE TREATED, OR, POST TENSIONED
CLR	CLEAR	PTD.	PAINTED
CMU	CONCRETE MASONRY UNIT	PWD.	PLYWOOD
COL.	COLUMN	R.	RISER
CONC.	CONCRETE	REC	RECESSED
CON.	CONNECTION	REF	REFRIGERATOR
CONT.	CONTINUOUS	REINF	REINFORCED
CONST.	CONSTRUCTION	REQD	REQUIRED
CNTR.	COUNTER	RM	ROOM
CSMT.	CASEMENT	RO	ROUGH OPENING
D.	DRYER	RWL	RAIN WATER LEADER
DA	DRESSING AREA	S.A.D	SEE ARCHITECTURAL DRAWINGS
DBL	DOUBLE	S.A.F.	SELF ADHERED FLASHING
DET.	DETAIL	SC	SOLID CORE
DIA.	DIAMETER	S.C.D	SEE CIVIL DRAWINGS
DIM	DIMENSION	SCH	SCHEDULE
DR	DOOR	SEC	SECTION
D.S.	DOWNSPOUT	S.E.D	SEE ELECTRICAL DRAWINGS
DWG	DRAWING	S.F	SUBFLOOR
EA	EACH	S.G.	SAFETY GLAZING
E.J.	EXPANSION JOINT	SH	SHELF
ELEV.	ELEVATION	SHT	SHEET
ELECT.	ELECTRICAL	SIM.	SIMILAR
ENCL	ENCLOSURE	S.L.D	SEE LANSCAPE DRAWINGS
E.P.	ELECTRICAL PANEL	S.M.	SHEET METAL
EQ	EQUAL	S.M.D.	SEE MECHANICAL DRAWINGS
EQPT.	EQUIPMENT	S.P.	STANDPIPE
EXT.	EXTERIOR	S.P.D.	SE PLUMBING DRAWINGS
F.A.I.	FRESH AIR INTAKE	SPECS.	SPECIFICATIONS
FAB	FLUID APPLIED BARRIER	SQ.	SQUARE
FAM	FLUID APPLIED MEMBRANE	S.S.	STAINLESS STEEL
FAWRB	FLUID APPLIED WEATHER RESISTIVE BARRIER	S.S.D	SEE STRUCTURAL DRAWINGS
FBH	FACTORY BUILT HOUSING	S.S.C.D	SEE STRUCTURAL CONCRETE DRAWINGS
F.D.	FLOOR DRAIN	STD.	STANDARD
FDN	FOUNDATION	STL.	STEEL
F.E.	FIRE EXTINGUISHER	STOR.	STORAGE
FF	FINISH FLOOR	STRUCT.	STRUCTURAL
FIN.	FINISHED	T.B.	TOWEL BAR
FLR	FLOOR	T&G	TONGUE & GROOVE
FLR	FLOOR	TEL	TELEPHONE
FLSHG	FLASHING	TEMP. GL.	TEMPERED GLASS.
FLEX	FLEXIBLE	TEMP.	TEMPORARY
F.O.B.	FACE OF BEAM	THRES.	THRESHOLD
F.O.C.	FACE OF CONCRETE	T.O.	TOP OF
F.O.F.	FACE OF FINISH	T.O.C.	TOP OF CURB, OR, TOP OF CONCRETE
F.O.S.	FACE OF STUD	T.O.P.	TOP OF PLATE
F.O.W.	FACE OF WALL	T.O.S.	TOP OF SLAB
FT	FOOT	T.O.W.	TOP OF WALL
FTG	FOOTING	TPH.	TOILETY PAPER HOLDER
GA	GAUGE	TRD.	TREAD
G.B.	GRAB BAR	T.S.	TUBE STEEL
GL	GLASS	TYP.	TYPICAL
GLAZ	GLAZING	U.O.N.	UNLESS OTHERWISE NOTED
GSM	GALVANIZED SHEET METAL	V.C.T.	VINYL COMPOSITE TILE
GWB	GYPNUM WALL BOARD	VERT.	VERTICAL
GYP	GYPNUM	VEST.	VESTIBULE
GYPBD	GYPNUM WALL BAORD	V.G.D.F	VERTICAL GRAIN DOUGLAS FIR
H.B.	HOSE BIB	V.I.F.	VERIFY IN FILED
H.C.	HANDICAPPED (ACCESSIBLE)	W.	WASHER
HDWR.	HARDWARE	W/	WITH
H.M.	HOLLOW METAL	W.C.	WATER CLOSET
HORIZ.	HORIZONTAL	WD	WOOD
HPR.	HOPPER	W.H.	WATER HEATER
H.R.	HANDRAIL	W/O	WITHOUT
HT.	HEIGHT	WDW.	WINDOW
IN.	INCHES	W.P.	WATERPROOF
INSUL.	INSULATION	W.O.	WHERE OCCURS
INT.	INTERIOR		
INTERM.	INTERMEDIATE.		
JT	JOINT		

DPW STREET IMPROVEMENT NOTES

DPW / BSM SITE MEETING REQUIRED; CALL 415-554-7149 TO ARRANGE APPOINTMENT WITH INSPECTOR.

OFFICIAL SIDEWALK SLOPE IS 1/5" PER FOOT RISE FROM CURB GRADE TO PROPERTY LINE. ALL ENTRANCES, BOTH PEDESTRIAN AND VEHICULAR, SHALL MEET SIDEWALK GRADE. ALL RAMPING SHALL BE INSIDE OF PROPERTY LINE. DRIVEWAYS AND SIDEWALKS MUST CONFORM TO CITY REQUIREMENTS. FOR FURTHER INFORMATION CALL BUREAU OF STREET USE & MAPPING @ 415-554-6060.

ALL ENCROACHMENTS INTO OFFICIAL STREET OR SIDEWALK AREAS MUST BE GRANTED IN WRITING BY THE DIRECTOR OF PUBLIC WORKS OR BY RESOLUTION OF THE BOARD OF SUPERVISORS. ALL RAMPING TO BE INSIDE PROPERTY LINE.

SEPARATE PERMIT REQUIRED FROM BUREAU OF STREET USE & MAPPING FOR POTTED PLANTS & STREET TREES IN SIDEWALK AREAS. FOR FURTHER INFORMATION CALL 415-554-6700.

DPW / BSM SIGN-OFF REQUIRED ON JOB CARD PRIOR TO DBI FINAL.

ALL WORK IS SUBJECT TO THE CONDITIONS NOTED ON PENDING DPW STREET IMPROVEMENT PERMIT (WHERE APPLICABLE).

BUILDING DEPARTMENT NOTES

2013 SAN FRANCISCO BUILDING CODE (CONSISTS 2013 CALIFORNIA BUILDING CODE W/ 2013 SFBC AMENDMENTS AND 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE); 2013 CALIFORNIA MECHANICAL, ELECTRICAL AND PLUMBING CODES; 2013 SAN FRANCISCO FIRE CODE & NFPA-13 2013 ENERGY CODE; 2013 SAN FRANCISCO HOUSING CODE.

2018 CBC CHAPTER 3:
OCCUPANCY CLASSIFICATION: MIXED USE BUILDING CONTAINING:
GROUP M, MERCANTILE
GROUP R-2, RESIDENTIAL UNITS, PRIVATE ROOF TERRACE-EXTENDED USE.
ROOF TERRACE

2018 CBC CHAPTER 4:
PER SECTION 420.2 WALLS SEPARATING DWELLING UNITS FROM OTHER DWELLING UNITS AND OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708.

2018 CBC CHAPTER 5:
PER SECTION 502.1: GRADE PLANE-THE LOBBY & COMMERCIAL LEVEL IS DEFINED AS THE FIRST FLOOR.

PER TABLE 503: MAXIMUM BUILDING HEIGHT AND NUMBER OF STORIES AND AREA:
MAX. HEIGHT ALLOWED =160'-0" > PROPOSED BUILDING HEIGHT IS 84'-0".
MAX. STORIES ALLOWED =4, R-2, A-3 =>11 > PROPOSED BUILDING IS 8 STORIES.
MAXIMUM AREA ALLOWED PER FLOOR:

M = UNLIMITED SQ.FT. > 396 SQ.FT. (GROUND FLOOR)
R-2= UNLIMITED SQ.FT. >1,964 SQ.FT. (TYPICAL FLOOR 4 - 8)
ROOF = MAX. 49 OCCUPANTS = 840 SQ.FT. (ROOF TERRACE)

PER TABLE 508.4: OCCUPANCY SEPARATION:
GROUP M / GROUP R-2 = 1 HOUR
GROUP R-2 / GROUP R-2 = NON-RATED

2018 CBC CHAPTER 6:
CONSTRUCTION TYPE: 1-B.

PER TABLE 601 FIRE RESISTIVE RATING FOR BUILDING ELEMENTS:
PRIMARY STRUCTURAL FRAME: 2 HOUR. NOTE EXCEPTION "a": FIRE RESISTIVE RATING OF STRUCTURAL FRAME AND BEARING WALLS ARE PERMITTED TO BE REDUCED BY 1 HOUR WHEN SUPPORTING A ROOF ONLY.

BEARING WALLS EXTERIOR: 2 HOUR NOTE: NOT LESS THAN THE FIRE RESISTIVE RATING BASED UPON FIRE SEPARATION DISTANCE (TABLE 602)

BEARING WALLS INTERIOR: 2 HOUR NOTE EXCEPTION "a": FIRE RESISTIVE RATING OF STRUCTURAL FRAME AND BEARING WALLS ARE PERMITTED TO BE REDUCED BY 1 HOUR WHEN SUPPORTING A ROOF ONLY.

NON BEARING WALLS AND PARTITIONS (EXTERIOR) SHALL BE AS PER TABLE 602.

NON BEARING WALLS AND PARTITIONS (INTERIOR) CAN BE NON-RATED, BUT NOT LESS THAN THE FIRE RESISTIVE RATING REQUIRED BY OTHER SECTIONS OF THIS CODE.

FLOOR CONSTRUCTION AND SECONDARY MEMBERS: 2 HOUR

ROOF CONSTRUCTION AND SECONDARY MEMBERS: 2 HOUR

PER TABLE 602: FIRE RESISTIVE RATING REQUIRED FOR EXTERIOR WALLS BASED UPON FIRE SEPARATION DISTANCE AND OCCUPANCY.
WHERE "X" IS < 30 EXTERIOR WALLS SHALL BE: 1 HOUR
WHERE "X" IS > 30' EXTERIOR WALLS MAY BE OF NON RATED CONSTRUCTION

2013 CBC CHAPTER 7:
PER TABLE 707.3.9 THE FIRE RESISTIVE RATING FOR THE HORIZONTAL ASSEMBLY BETWEEN FIRE AREAS SHALL BE 2 HOUR

PER CBC SECTION 705.11, EXCEPTION 3: PARAPET IS NOT PROVIDED. ROOF IS 2 HOUR CONSTRUCTION.

2013 CBC CHAPTER 9:
PER CBC SECTION 903: THE ENTIRE BUILDING SHALL BE PROVIDED WITH AN AUTOMATIC SPRINKLER SYSTEM.

2018 CBC CHAPTER 10:
PER TABLE 1004.1.1 OCCUPANT LOAD CALCULATION: FOR OCCUPANT LOAD CALCULATION AND EGRESS COMPLIANCE OF INDIVIDUAL FLOORS SEE EXIT DIAGRAM SHEETS A0.06

PER SECTION 1007.2.1: THE ELEVATOR IS NOT REQUIRED TO BE A MEANS OF EGRESS. HORIZONTAL EXIT IS PROVIDED ON ALL LEVELS ABOVE THE LEVEL OF EXIT DISCHARGE.

PER SECTION 1007.3, EXCEPTION 2: 48" CLEAR WIDTH BETWEEN HANDRAILS NOT REQUIRED IN FULLY SPRINKLERED BUILDING. 1007.3, EXCEPTION 3 AND 7: AREAS OF REFUGE ARE NOT REQUIRED THROUGHOUT FULLY SPRINKLERED BUILDING, INCLUDING ROOF TERRACE. EXCEPTION 7: AREAS OF REFUGE ARE NOT REQUIRED IN R-2 OCCUPANCIES. NO AREA OF REFUGE PROVIDED.

PER SECTION 1007.4: ELEVATOR SHALL COMPLY WITH THE EMERGENCY OPERATION AND SIGNALING DEVICE REQUIREMENTS OF CCOR, TITLE 8, DIVISION 1, CHAPTER 4, SUBCHAPTER 6 ELEVATOR SAFETY ORDERS. STANDBY POWER SHALL BE PROVIDED.

PER SECTION 1007.4 EXCEPTION 1: ELEVATORS ARE NOT REQUIRED TO BE ACCESSIBLE FROM AN AREA OF REFUGE IN A BUILDING EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM.

PER SECTION 1007.8 A TWO WAY COMMUNICATION SYSTEM SHALL BE PROVIDED AT ELEVATOR LANDING. COMMUNICATION SYSTEM SHALL MEET NFPA72 TWO HOUR SURVIVABILITY CONSTRUCTION REQUIREMENTS.

PER SECTION 1008.1.10: PANIC HARDWARE REQUIRED AT DOORS FROM A-3 ROOF TERRACE AND AT ANY DOOR ALONG THE MEANS OF EGRESS, PANIC HARDWARE IS NOT REQUIRED AT EXIT STAIRS FROM R-2 USE. SEE SHEET A0.06 FOR DOORS NOTED TO PROVIDE PANIC HARDWARE.

PER SECTION 1009.3.1. EXIT ACCESS STAIRWAYS ENCLOSURES SHALL BE CONSTRUCTED AS FIRE BARRIERS IN ACCORDANCE WITH SECTION 707.

PER TABLE 1016.1: TRAVEL DISTANCE BETWEEN ANY STAIRS DOES NOT EXCEED 250'.

PER SECTION 1018.4 EXCEPTIONS: WHERE BUILDING IS EQUIPPED THROUGHOUT W/ AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE W/ SECTION 903.3.1.1. THE LENGTH OF THE DEAD END CORRIDOR SHALL NOT EXCEED 50'-0"

PER TABLE 1021.1: 2 EXITS REQUIRED, 3 PROVIDED TO ACCOMMODATE TOTAL EXIT WIDTH REQUIRED FROM ROOF ASSEMBLY.

PER SECTION 1029.1: EMERGENCY ESCAPE AND RESCUE WINDOWS PROVIDED FOR SLEEPING ROOMS BELOW THE FOURTH FLOOR SHALL BE THROUGH THE REAR YARD THAT OPENS TO THE PUBLIC WAY VIA A 36" WIDE STAIR AND 36" WIDE CORRIDOR.

2018 CBC CHAPTER 11 HOUSING ACCESSIBILITY:
PER SECTION 1102A.1 THE BUILDING IS EQUIPPED WITH A HOSPITAL GURNEY-SIZED ELEVATOR, AND ALL FLOORS SERVED BY THE ELEVATOR OR DIRECTLY ACCESSIBLE TO THE STREET ARE ACCESSIBLE AND ADAPTABLE.

PER SECTION 1107A DEFINITIONS: LEVEL AREA IS SPECIFIED AS A SURFACE THAT DOES NOT HAVE A SLOPE IN ANY DIRECTION EXCEEDING 1/4" PER FOOT FROM THE HORIZONTAL. NO AREA ON AN ACCESSIBLE ROUTE SHALL EXCEED THIS REQUIREMENT.

PER SECTION 1134 A.2 SINGLE COMPLYING BATHROOM OPTION UTILIZED, AS DESIGNATED ON FLOOR PLANS WITH "AWC". SECONDARY BATHROOM DESIGNATED WITH "WC".

FIRE DEPARTMENT NOTES:

2013 CBC CHAPTER 4:
PER SECTION 420.5 AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS THAT HAVE AN ATTACHED GARAGE.

PER SECTION 420.4.1.1 CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM PERMANENT BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. CARBON MONOXIDE ALARM MAY BE COMBINED WITH SMOKE ALARM.

2013 CBC CHAPTER 9:
PER SECTIONS 903.2.8 AND 903.2.10 BUILDING TO BE FULLY SPRINKLERED THROUGHOUT

PER SECTION 903.3.1.1 SPRINKLER SYSTEM REQUIRED TO MEET NFPA 13 2010 EDITION: LIGHT HAZARD- THIS IS A RESIDENTIAL BUILDING. NOTE: SEWER CONNECTIONS TO FIRE SPRINKLER DRAINS ARE NOT PERMITTED IN AN ENCLOSED STAIRWAY.

PER SECTION 905.2 STANDPIPE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THIS SECTION AND NFPA 14.
PER SECTION 905.3 STANDPIPE SYSTEM IS ALLOWED TO BE COMBINED WITH THE AUTOMATIC SPRINKLER SYSTEM

PER SECTION 905.3.1 EXCEPTION 1: A CLASS I STANDPIPE SYSTEM IS PERMITTED IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM.

PER SECTION 905.4 CLASS I STANDPIPE HOSE CONNECTION SHALL BE PROVIDED EACH STAIRWELL AT EACH LEVEL AND AT THE ROOF AND SHALL BE INTERCONNECTED AT THE BOTTOM.

PER SECTION 906.1 PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED ON EACH LEVEL. THEY SHALL BE LOCATED WITHIN A MAXIMUM OF 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING. EXTINGUISHERS MEET NFPA 13 AS ABOVE AND SAN FRANCISCO FIRE DEPARTMENT ADMINISTRATE BULLETINS. SEPARATE ELECTRICAL AND PLUMBING PERMITS ARE REQUIRED.

A FIRE ALARM SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 907.2.9.

A SMOKE ALARM SYSTEM SHALL BE PROVIDED IN ACCORANCE WITH 907.2.11.2.

PER SECTION 907.2.11.3 WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE SMOKE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS WITHIN THE INDIVIDUAL UNIT AND SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE.

PER SECTION 9072.11.4 SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP.

PER SECTION 912 FIRE DEPARTMENT CONNECTIONS REQUIRED AT BOTH STREET FRONTAGES

THIS BUILDING IS R-2 RESIDENTIAL BUILDING OVER A S-2 PARKING GARAGE. PROVIDE A LOCK BOX PER FIRE DEPARTMENT DISTRICT INSPECTOR.

LOW LEVEL EXIT SIGNS REQUIRED WITH GENERAL EXIT SIGNS.

FFHA COMPLIANCE




SAFE HARBOR
THE SAFE HARBOR USED IS THE HUD FAIR HOUSING ACT GUIDELINES (1991) AND THE SUPPLEMENTAL NOTICE TO THE FAIR HOUSING ACT GUIDELINES: QUESTIONS AND ANSWERS (1994), ALONG WITH ANSI A117.1-2003 FOR THE COMMON AREAS.
ACCESSIBLE PRIVATE DECKS
EXTERIOR PRIVATE DECKS SHALL BE ACCESSIBLE WHEN USEABLE DEPTH IS GREATER THAN 24" NOTE: THIS DEPTH REQUIREMENT IS STRICTER THAN THE 30" DEPTH THAT IS PERMITTED PER SAN FRANCISCO POLICY AND THEREFORE WILL GOVERN.

PLANNING DEPARTMENT NOTES

LOT AREA:	2,474 SQUARE FEET
ZONING DISTRICT:	NCT-3 MODERATE SCALE NEIGHBORHOOD COMMUNITY TRANSIT DISTRICT: NO DENSITY LIMIT. 40% 2-BR UNITS REQUIRED. FIVE 2-BR UNITS PROVIDED OUT OF TEN UNITS TOTAL = 50% 2-BR UNITS.
HEIGHT / BULK LIMIT:	85-X
REAR YARD SETBACK:	25% REQUIRED PER 134(6) THE PROJECT WILL SEEK A MODIFICATION FOR REAR YARD SETBACK
USABLE OPEN SPACE:	80 SF PER UNIT PRIVATE OR 100 SF PER UNIT COMMON REQUIRED: PRIVATE AREA PROVIDED: UNIT 202 - 264 SF PRIVATE TERRACE UNIT 101 - 112 SF PRIVATE TERRACE COMMON AREA REQUIRED: 8 UNITS X 100 SF COMMON AREA = 800 SF REQUIRED COMMON AREA PROVIDED: 840 SF COMMON TERRACE PROVIDED ON ROOF
FLOOR AREA RATIO (F.A.R.):	NOT APPLICABLE
AUTOMOBILE PARKING:	0 SPACES REQUIRED 0 PARKING SPACES PROVIDED.
BICYCLE PARKING:	RESIDENTIAL: (10) CLASS I AND (1) CLASS II SPACES REQUIRED COMMERCIAL: (1) CLASS I AND (2) CLASS II SPACES REQUIRED
GROSS BUILDING AREAS:	TOTAL AREA: RESID. SALABLE AREA: COMM. SALABLE AREA

GROUND FLOOR:		
COMMERCIAL:	396 SF	
STAIRS/ELEV/HALL:	1,114 SF	424 SF
UNIT:	765 SF	765 SF
SUBTOTAL:	2,275 SF	
SECOND FLOOR:		
UNITS:	1,493 SF	1,493 SF
COMMON AREAS:	489 SF	
SUBTOTAL:	1,982 SF	
THIRD FLOOR:		
UNITS:	1,533 SF	1,533 SF
COMMON AREAS:	489 SF	
SUBTOTAL:	2,022 SF	
FOURTH FLOOR:		
UNITS:	1,674 SF	1,674 SF
COMMON AREAS:	332 SF	
SUBTOTAL:	2,006 SF	
FIFTH FLOOR:		
UNITS:	1,692 SF	1,692 SF
COMMON AREAS:	332 SF	
SUBTOTAL:	2,024 SF	
SIXTH FLOOR:		
UNITS:	1,674 SF	1,674 SF
COMMON AREAS:	332 SF	
SUBTOTAL:	2,006 SF	
SEVENTH FLOOR:		
UNITS:	1,692 SF	1,692 SF
COMMON AREAS:	332 SF	
SUBTOTAL:	2,024 SF	
EIGHTH FLOOR:		
UNITS:	1,674 SF	1,674 SF
COMMON AREAS:	332 SF	
SUBTOTAL:	2,006 SF	
TOTAL GROSS AREA:	16,345 SF	12,197 SF
		424 SF

LEGEND			
ELEC. ONE-WAY SWITCH TWO-WAY SWITCH DIMMER SWITCH 24 HOUR TIMERSWITCH DUPLEX RECEPTACLE 240: 220/240 VOLT WP: WATERPROOF CA: ABOVE COUNTER FLOOR DUPLEX RECP.T. W/ REMOVABLE FLUSH COVER FOURPLEX RECEPT. DIRECT CONNECTION RECEPTACLE RECEPTACLE STRIP (OUTLETS 6 8" O.C.) RECESS MOUNTED ELEC. PANEL BOX TELEPHONE RECEPT. (W/ WALL MTS.) CEILING HEATER SURFACE MOUNTED INCANDESCENT LIGHT FIXTURE AT WALL. PC=FULL CHAIN, LV=LOW VOLTAGE SURFACE-MOUNTED INCANDESCENT LIGHT FIXTURE AT CEILING. PC=FULL CHAIN, LV=LOW VOLTAGE RECESSED INCANDESCENT LIGHT FIXTURE AT CEILING. (H: HEAT LAMP, LV: LOW VOLT.) RECESSED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING.	UNDER CABINET FLUOR. LIGHT STRIP FLUORESCENT LIGHT FIXTURE INCANDESCENT TRACK LIGHT FIXTURE HALOGEN TRACK LIGHT FIXTURE T.V. OUTLET: VIACOM COMPATIBLE CABLE INTERCOM ELECTRIC METER MECH. EXHAUST FAN GAS METER GAS HOOK-UP FLOOR SUPPLY FLOOR RETURN CEILING SUPPLY CEILING RETURN WALL/TOE SPACE SUPPLY WALL/TOE SPACE RETURN LAUNDRY KITCHEN BATHROOM EXHAUST 2" DUCT THERMOSTAT MISC. DOOR BELL INSULATION	PLUMBING DOWNSPOUT IN-SINK TRASH DISPOSAL FLOOR DRAIN. MAXIMUM SLOPE NOT TO EXCEED 1/4" PER FOOT IN ACCESSIBLE AREAS WATER CONNECTION AS REQUIRED HOSE BIB FIRE- LIFE SAFETY FIRE EXTINGUISHER CABINET FIRE DEPT. CONNECTION FIRE STAND PIPE SMOKE / CARBON MONOXIDE DETECTOR (AC POWERED W/ BATTERY BACK-UP U.O.N.) LIGHTED EXIT SIGN W/ BATTERY BACK-UP TWO WAY COMMUNICATION CALL STATION TWO WAY COMMUNICATION MASTER STATION EMERGENCY ILLUMINATION WITH BATTERY BACKUP	
ROOM DESIGNATION LEGEND:			
BR BEDROOM WC BATHROOM DA DRESSING AREA	AWC HANDICAP ACCESSIBLE BATHROOM K/L/D KITCHEN DINNING ROOM	BOILER RM. 802	ROOM NAME ROOM NUMBER
WALL LEGEND:			
NON RATED			
NON RATED PARTITION			
NON RATED CONCRETE WALL			
NON RATED CONC. BLOCK WALL			
1 HOUR RATED			
FIRE PARTITION: 1 HOUR RATED			
CONC. BLOCK WALL: 1 HOUR RATED			
2 HOUR RATED			
CONC BLOCK WALL: 2 HOUR RATED			
FIRE BARRIER: SHAFT (AND OR) EXIT ENCLOSURE) 2-HOUR RATED WALL			
FIRE BARRIER: HORIZONTAL EXIT-2-HOUR RATED WALL			
PRIMARY STRUCTURAL ELEMENT 2-HOUR WALL - CONCRETE			



POJECT NOTES
LEGEND

NEW 10 UNIT
CONDOMINIUM BUILDING
1870 MARKET STREET
BLOCK 0871, LOT 004
SAN FRANCISCO CA

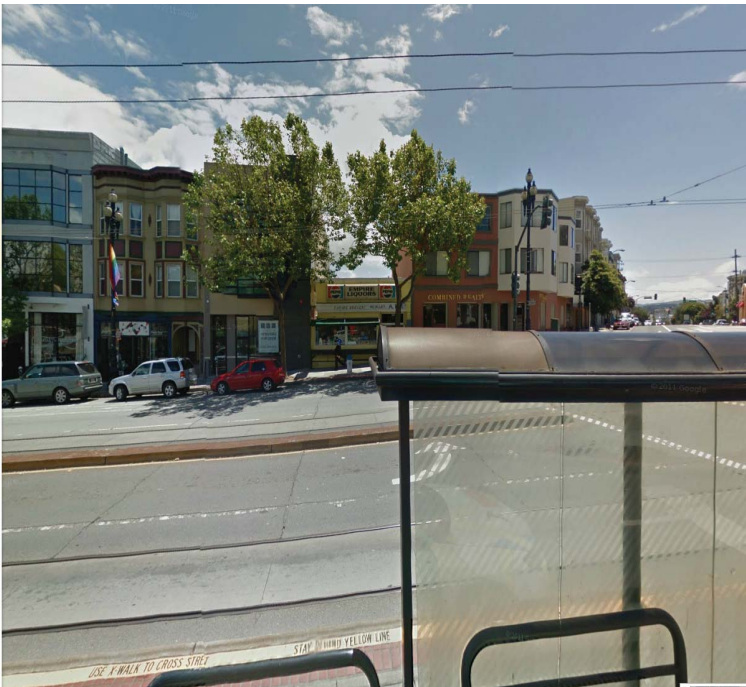
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PRE-APP	03.04.15
SITE PERMIT	04.17.15
SITE PERMIT REVISION	10.15.15
ROOF REVISION	09.14.16
NEW UNIT REV.	03.23.17
PLANNING COMMENTS	05.25.17
BR EGRESS	06.22.17
FOR DR	11.10.17
Date:	05.05.14
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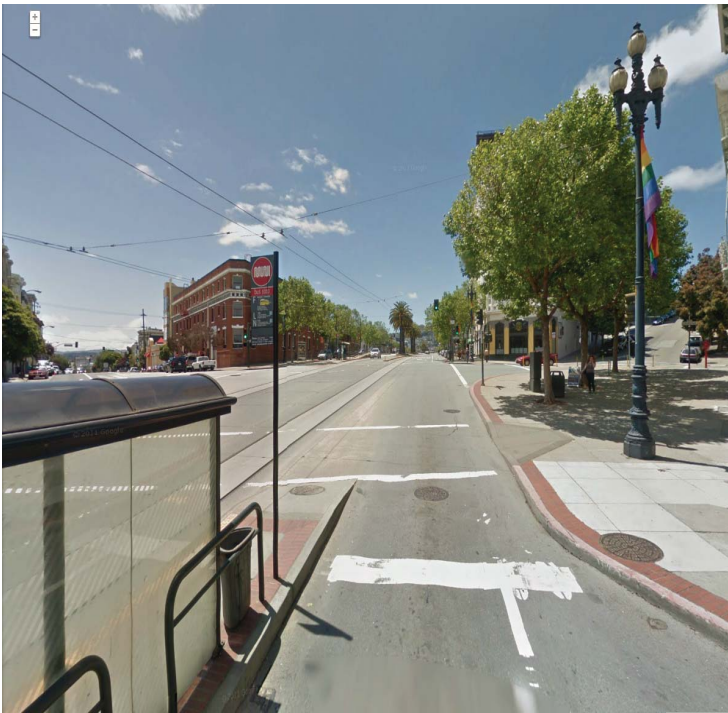
LOOKING NORTH/EAST



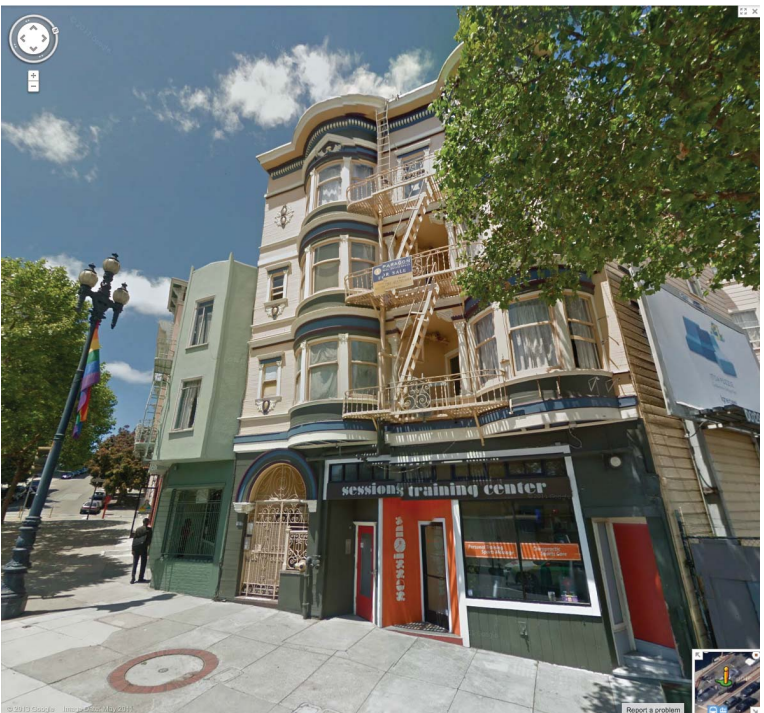
LOOKING EAST



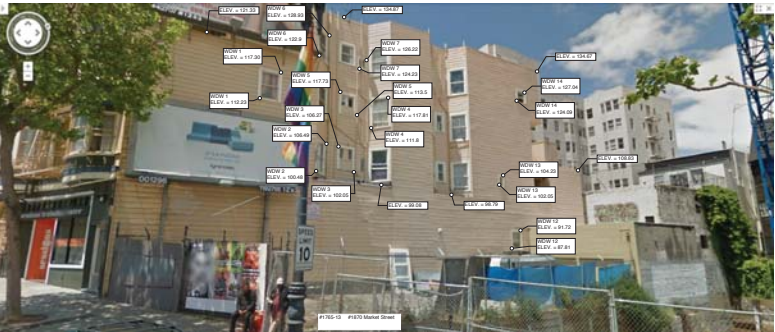
LOOKING SOUTH



LOOKING WEST



LOOKING NORTH/WEST



WESTERN NEIGHBOR'S PL WALL

Issuance	Date
PRE-APP	03.04.15
SITE PERMIT	04.17.15
SITE PERMIT REVISION	10.15.15
ROOF REVISION	09.14.16
NEW UNIT REV.	03.23.17
PLANNING COMMENTS	05.25.17
BR EGRESS	06.22.17
FOR DR	11.10.17

Green Building: Site Permit Checklist

BASIC INFORMATION:

These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

Project Name 1870 Market Street	Block/Lot 0871 / 004	Address 1870 Market Street
Gross Building Area 16,345 sq. ft.	Primary Occupancy R-2	Design Professional/Applicant: Sign & Date David N. Sternberg
# of Dwelling Units 10	Height to highest occupied floor 74'-0"	Number of occupied floors 8

ALL PROJECTS, AS APPLICABLE

Construction activity stormwater pollution prevention and site runoff controls - Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.

Stormwater Control Plan: Projects disturbing ≥5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines

Water Efficient Irrigation - Projects that include ≥ 1,000 square feet of new or modified landscape must comply with the SFPUC Water Efficient Irrigation Ordinance.

Construction Waste Management – Comply with the San Francisco Construction & Demolition Debris Ordinance

Recycling by Occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. See Administrative Bulletin 088 for details.

GREENPOINT RATED PROJECTS

Proposing a GreenPoint Rated Project
(Indicate at right by checking the box.)

Base number of required Greenpoints:

Adjustment for retention / demolition of historic features / building:

Final number of required points (base number +/- adjustment)

GreenPoint Rated (i.e. meets all prerequisites)

Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6.

Meet all California Green Building Standards Code requirements
(CalGreen measures for residential projects have been integrated into the GreenPoint Rated system.)

Notes

1) New residential projects of 75' or greater must use the "New Residential High-Rise" column. New residential projects with >3 occupied floors and less than 75 feet to the highest occupied floor may choose to apply the LEED for Homes Mid-Rise rating system; if so, you must use the "New Residential Mid-Rise" column.

2) LEED for Homes Mid-Rise projects must meet the "Silver" standard, including all prerequisites. The number of points required to achieve Silver depends on unit size. See LEED for Homes Mid-Rise Rating System to confirm the base number of points required.

3) Requirements for additions or alterations apply to applications received on or after July 1, 2012.

Instructions:

As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Building Code Chapter 13C, California Title 24 Part 11, and related local codes. **Attachment C3, C4, or C5 will be due with the applicable addendum.** To use the form:

(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply.

AND

(b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but such tools are strongly recommended to be used.

Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. This form is a summary; see San Francisco Building Code Chapter 13C for details.

LEED PROJECTS

	New Large Commercial	New Residential Mid-Rise ¹	New Residential High-Rise ¹	Commercial Interior	Commercial Alteration	Residential Alteration
Type of Project Proposed (Indicate at right)						
Overall Requirements:						
LEED certification level (Includes prerequisites):	GOLD	SILVER	SILVER	GOLD	GOLD	GOLD
Base number of required points:	60	2	50	60	60	60
Adjustment for retention / demolition of historic features / building:				n/a		
Final number of required points (base number +/- adjustment)				50		
Specific Requirements: (n/r indicates a measure is not required)						
Construction Waste Management – 75% Diversion AND comply with San Francisco Construction & Demolition Debris Ordinance LEED MR 2, 2 points	●	●	●	●	Meet C&D ordinance only	●
15% Energy Reduction Compared to Title 24 2008 (or ASHRAE 90.1-2007) LEED EA 1, 3 points	●	●	●	●	LEED prerequisite only	
Renewable Energy or Enhanced Energy Efficiency Effective 1/1/2012: Generate renewable energy on-site ≥1% of total annual energy cost (LEED EA2), OR Demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR Purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA6)	●	n/r	n/r	n/r	n/r	n/r
Enhanced Commissioning of Building Energy Systems LEED EA 3	●	Meet LEED prerequisites				
Water Use - 30% Reduction LEED WE 3, 2 points	●	n/r	●	Meet LEED prerequisites		
Enhanced Refrigerant Management LEED EA 4	●	n/r	n/r	n/r	n/r	n/r
Indoor Air Quality Management Plan LEED IEQ 3.1	●	n/r	n/r	n/r	n/r	n/r
Low-Emitting Materials LEED IEQ 4.1, 4.2, 4.3, and 4.4	●	n/r	●	●	●	●
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater, or meet LEED credit SS04.2. (13C.5.106.4)	●	n/r See San Francisco Planning Code 155		●	n/r	n/r
Designated parking: Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles. (13C.5.106.5)	●			●	n/r	n/r
Water Meters: Provide submeters for spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in building over 50,000 sq. ft. (13C.5.303.1)	●	n/r	n/r	n/r	n/r	n/r
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings (w/ LEED credit IEQ 5). (13C.5.504.5.3)	●	n/r	n/r	●	n/r	n/r
Air Filtration: Provide MERV-13 filters in residential buildings in air-quality hot-spots (or LEED credit IEQ 5). (SF Health Code Article 38 and SF Building Code 1203.5)	n/r	●	●	n/r	n/r	n/r
Acoustical Control: wall and roof-ceilings STC 50 exterior windows STC 30, party walls and floor-ceilings STC 40. (13C.5.507.4)	●	See CBC 1207		●	n/r	n/r

OTHER APPLICABLE NON-RESIDENTIAL PROJECTS

Requirements below only apply when the measure is applicable to the project. Code references below are applicable to New Non-Residential buildings. Corresponding requirements for additions and alterations can be found in Title 24 Part 11, Division 5.7. Requirements for additions or alterations apply to applications received July 1, 2012 or after.¹

Type of Project Proposed (Check box if applicable)

Energy Efficiency: Demonstrate a 15% energy use reduction compared to 2008 California Energy Code, Title 24, Part 6. (13C.5.201.1.1)

Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater (or LEED credit SS04.2). (13C.5.106.4)

Fuel efficient vehicle and carpool parking: Provide stall marking for low-emitting, fuel efficient, and carpool/van pool vehicles; approximately 8% of total spaces. (13C.5.106.5)

Water Meters: Provide submeters for spaces projected to consume >1,000 gal/day, or >100 gal/day if in buildings over 50,000 sq. ft.

Indoor Water Efficiency: Reduce overall use of potable water within the building by 20% for showers/baths, lavatories, kitchen faucets, wash basins, water closets, and urinals. (13C.5.303.2)

Commissioning: For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements. (13C.5.410.2)
OR for buildings less than 10,000 square feet, testing and adjusting of systems is required.

Protect duct openings and mechanical equipment during construction (13C.5.504.3)

Adhesives, sealants, and caulks: Comply with VOC limits in 12CAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives. (13C.5.504.4.1)

Paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. (13C.5.504.4.3)

Carpet: All carpet must meet one of the following:
1. Carpet and Rug Institute Green Label Plus Program
2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350)
3. NSF/ANSI 140 at the Gold level
4. Scientific Certifications Systems Sustainable Choice
AND Carpet cushion must meet CRI Green Label,
AND Carpet adhesive must not exceed 50 g/L VOC content. (13C.5.504.4.4)

Composite wood: Meet CARB Air Toxics Control Measure for Composite Wood (13C.5.504.4.5)

Resilient flooring systems: For 50% of floor area receiving resilient flooring, install resilient flooring complying with the VOC-emission limits defined in the 2009 Collaborative for High Performance Schools (CHPS) criteria or certified under the Resilient Floor Covering Institute (RFCI) FloorScore program. (13C.5.504.4.6)

Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows. (13C.5.504.7)

Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings. (13C.5.504.5.3)

Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40. (13C.5.507.4)

CFCs and Halons: Do not install equipment that contains CFCs or halons. (13C.5.508.1)

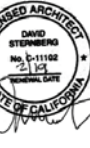
Additional Requirements for New A, B, I, OR M Occupancy Projects 5,000 - 25,000 Square Feet

Construction Waste Management – Divert 75% of construction and demolition debris AND comply with San Francisco Construction & Demolition Debris Ordinance.

Renewable Energy or Enhanced Energy Efficiency
Effective January 1, 2012: Generate renewable energy on-site equal to ≥1% of total annual energy cost (LEED EA2), OR
demonstrate an additional 10% energy use reduction (total of 25% compared to Title 24 Part 6 2008), OR
purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EA6).

Attachment C-2 -
Green Building:
Site Permit Submittal

Version: July 18, 2012



GREEN BUILDING: SITE
PERMIT CHECKLIST

NEW 10 UNIT
CONDOMINIUM BUILDING
1870 MARKET STREET
BLOCK 0871 LOT 004
SAN FRANCISCO CA

Issuance Date

PRE-APP 03.04.15

SITE PERMIT 04.17.15

SITE PERMIT REVISION 10.15.15

ROOF REVISION 09.14.16

NEW UNIT REV. 03.23.17

PLANNING COMMENTS 05.25.17

BR EGRESS 06.22.17

FOR DR 11.10.17

Date: 05.05.14

Scale:

Drawn: DS

Sheet:

TS.05

NOTE: TO ANYONE HAVING ANY TYPE OF INTEREST IN THIS MAP PLEASE BE ADVISED AS FOLLOWS:

1. THAT ALL TITLE INFORMATION HEREON INCLUDING EASEMENTS WAS PREPARED SOLELY FOR AND IN STRICT CONFORMANCE WITH OUR CLIENT'S OR HIS AGENT'S REQUIREMENTS AND TITLE INFORMATION SUPPLIED TO FREDERICK T. SEHER & ASSOCIATES, INC.; FURTHERMORE, WE HEREBY DISCLAIM ANY AND ALL TITLE SEARCH RESPONSIBILITY ON THIS JOB.

2. THAT THIS MAP WAS PREPARED AS A PROFESSIONAL INSTRUMENT OF SERVICE FOR VICTOR QUAN AND THAT IT REMAINS THE PROPERTY OF FREDERICK T. SEHER & ASSOCIATES, INC. WHETHER THE PROJECT (IF ANY PROPOSED) ON THIS SITE IS CONSTRUCTED OR NOT.

3. THAT ANY INFORMATION ON THIS MAP AND ANY DOCUMENT(S) PREPARED BY FREDERICK T. SEHER & ASSOCIATES, INC. IN RELATION HEREOF SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN FOR: BUILDING PERMIT AND LAND SUBDIVISION. FURTHERMORE, THE USE OF THIS MAP FOR ANY OTHER PURPOSES WHATSOEVER INCLUDING ENGINEERING DESIGNS OF OFFSITE OR ONSITE IMPROVEMENTS IS BEYOND THIS MAP'S PURPOSES. INTENT & CONTRACT. LIABILITY SHALL REST UPON THE PARTY USING OUR INFORMATION BEYOND THE ESTABLISHED LIMITATION ABOVE. IN WHICH CASE FREDERICK T. SEHER & ASSOCIATES, INC. DISCLAIMS ANY AND ALL RESPONSIBILITY.

4. THAT ANY IMPROVEMENT CHANGES WITHIN THIS SITE OR THE ADJACENT SITE THEREOF AS WELL AS TITLE TRANSFERS OF THE PROPERTY IN QUESTION (EXCEPT FOR ALTA MAPS) AND/OR THE LAPSE OF 3 OR MORE YEARS FROM THE DATE OF THE MAP (WHICHEVER COMES FIRST) SHALL VOID ALL INFORMATION, HEREON UNLESS A RE-SURVEY IS ORDERED TO RECTIFY, UPDATE OR RE-CERTIFY THIS MAP.

5. THAT THIS INFORMATION SHALL NOT BE USED FOR ANY IMPROVEMENT STAKING UNLESS STATED IN ITEM NO. 2 ABOVE.

6. THAT THE USE OF THIS MAP BY OTHER CONSULTANTS OR CONTRACTORS ON BEHALF OF OUR CLIENT SHALL PROMPT THE IMMEDIATE FULFILLMENTS OF ALL CLIENT'S OBLIGATIONS TO FREDERICK T. SEHER & ASSOCIATES, INC. UNLESS OTHERWISE AGREED TO.

7. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ALL ISSUES REGARDING PROPERTY DISPUTES WHICH MAY ARISE OUT OF INFORMATION SHOWN HEREON.

8. THIS MAP WILL BE PROVIDED IN AN ELECTRONIC FORMAT AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. A SIGNED PRINT DELIVERED TO THE CLIENT OR CLIENT REPRESENTATIVE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.

BOUNDARY NOTES:

PROPERTY AND RIGHT-OF-WAY LINES SHOWN HEREON ARE PREDICATED ON AN ANALYSIS OF EXISTING IMPROVEMENTS, RECORD DATA, FIELD TIES AND ASSESSOR'S PARCEL MAPS. IT IS NOT THE INTENT OF THIS MAP TO PROVIDE A FORMAL BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY SHOWN HEREON. SAID RESOLUTION WOULD REQUIRE THE SETTING OF PROPERTY CORNERS AND THE FILING OF A RECORD OF SURVEY UNDER CALIFORNIA STATE LAW. BOUNDARY INFORMATION SHOWN HEREON IS FOR PLANNING PURPOSES ONLY.

ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED

ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.

DATE OF FIELD SURVEY:

TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY FREDERICK T. SEHER & ASSOCIATES INC. ON SEPTEMBER 6, 2013.

SURVEY REFERENCE:

THE SURVEY HEREON IS BASED ON THE LEGAL DESCRIPTION DESCRIBED IN THE FOLLOWING GRANT DEED:

① LOT 004: RECORDED ON AUGUST 29, 2013, DOCUMENT NUMBER 2013-J748767-00, ON REEL K971 AT IMAGE 0080

UTILITY NOTE:

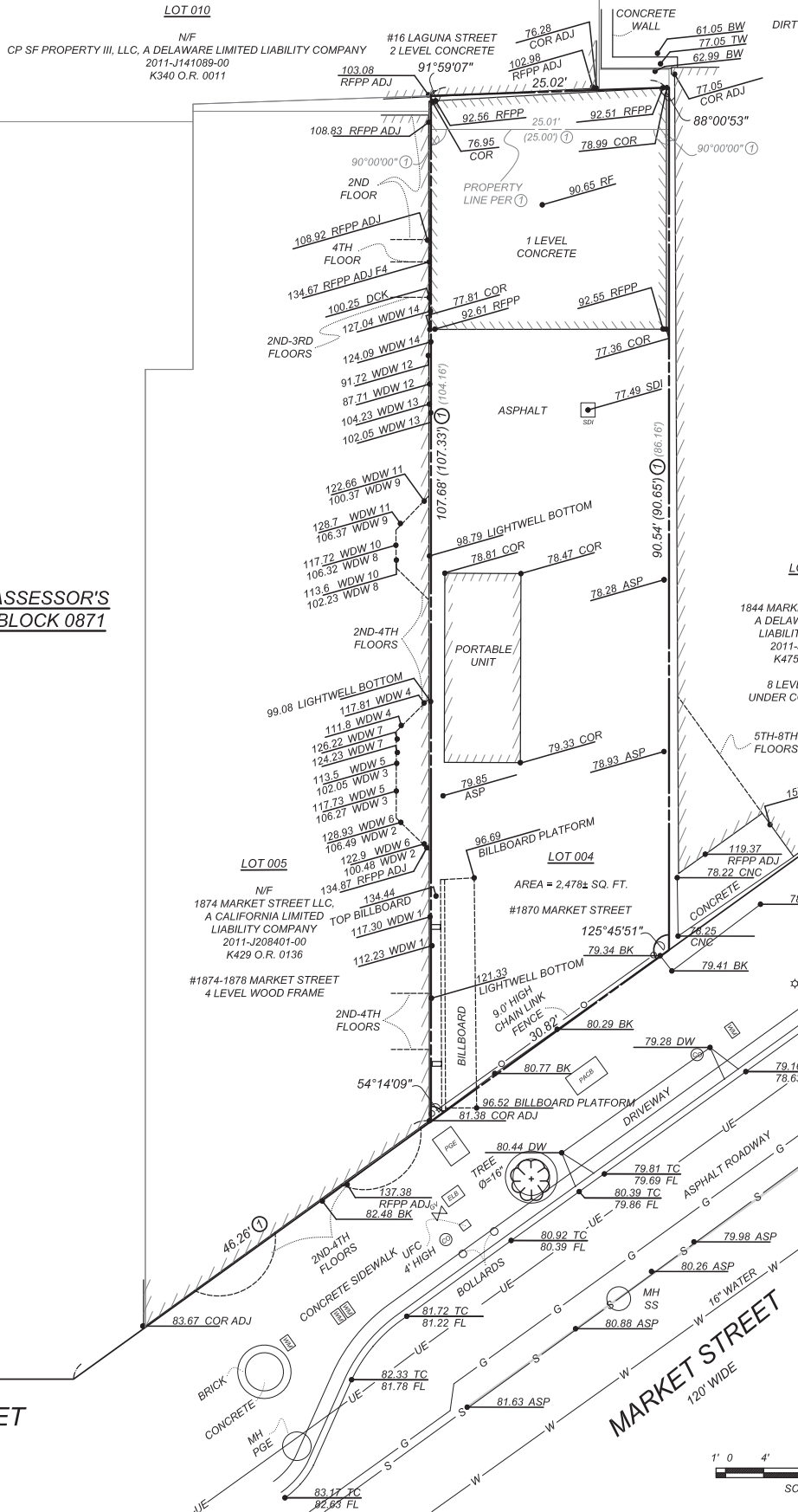
UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THEREFORE, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.

PROJECT BENCHMARK - DESCRIPTION:

ELEVATIONS SHOWN HEREON WERE OBTAINED FROM A GROUP OF CITY BENCHMARKS, LOCATED AT THE INTERSECTION OF HAIGHT STREET AND LAGUNA STREET; ELEVATIONS ARE BASED ON CITY AND COUNTY OF SAN FRANCISCO DATUM. N.E. CORNER, 15"E., + CUT W. END LOWER TERRAZZO STEP. ELEVATION = 119.221'

GENERAL NOTE:

THE FOLIAGE LINES OF ALL TREES PLOTTED HEREON ARE SHOWN IN A GRAPHICAL FORM ONLY, AND ARE NOT INTENDED TO REPRESENT ACTUAL DRIPLINES THEREOF.



LEGEND

ADJ ADJACENT BUILDING
ASP ASPHALT
BK BACK OF WALK
BW BOTTOM OF WALL
CNC CONCRETE
COR CORNER
DW DRIVEWAY
ELB ELECTRIC BOX
FL FLOW LINE
GND GROUND
MH MANHOLE
PACB PACIFIC GAS & ELECTRIC
PGE ROOF
RF ROOF PARAPET
SDI STORM DRAIN INLET
TC TOP OF CURB
TW TOP OF WALL
UFC UNIDENTIFIED CABINET
WDW WINDOW

o CHAIN LINK FENCE
G GAS LINE
S SANITARY SEWER LINE
UE UNDERGROUND ELECTRIC LINE
W WATER LINE
Ø DIAMETER
GV GAS VALVE
★ LIGHT POST
— PAINT STRIPE
CS SANITARY SEWER CLEAN OUT/VENT
ELEV DESC SPOT ELEVATION
TREE
WM WATER METER

SURVEYOR'S STATEMENT:

THIS MAP WAS PREPARED BY ME, OR UNDER MY DIRECTION, AND IS BASED UPON A FIELD SURVEY.



FREDERICK T. SEHER, PLS
LICENSE NO. 6216

10-24-16
DATE:

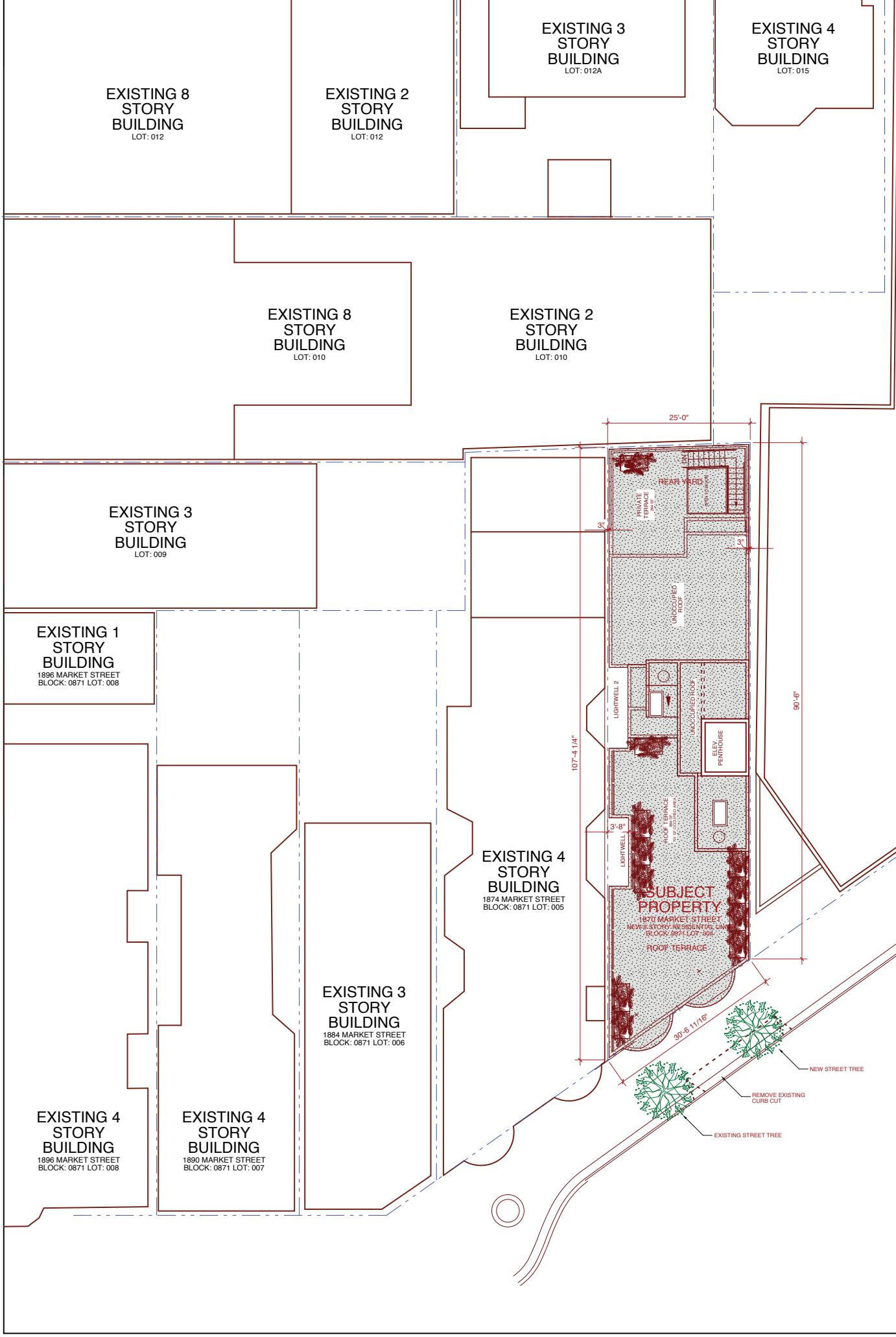
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DRAWN BY: OG	△				
SURVEYED BY: FTS	△				
CHECKED BY: JC	△				
CHECKED BY:	△				
NO.:	BY:	DATE:	REVISIONS:		



FREDERICK T. SEHER & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
SURVEYING & MAPPING
841 LOMBARD STREET, SAN FRANCISCO, CA 94133
(415) 921-7690 FAX (415) 921-7655

ARCHITECTURAL SITE SURVEY
1870 MARKET STREET, SAN FRANCISCO, CA 94102
ASSESSOR'S BLOCK 0871, LOT 004

SHEET
1
OF 1 SHEETS
JOB NO.:
1756-13

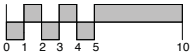


SITE PLAN

NOTE: SEE FLOOR AND ROOF PLANS FOR ALL NOTES AND DIMENSIONS

NOTE: SEE SURVEY PREPARED BY KCA ENGINEERS, INC.: DATED FEBRUARY 2013, REGARDING THE LEGEND OF SYMBOLS AND ABBREVIATIONS AND ANY OTHER SITE INFORMATION. ALL SITE INFORMATION INDICATED ON THIS DRAWING IS TAKEN FROM THIS SURVEY.

1



107 MARKET STREET
SAN FRANCISCO, CA 94103
TEL: 415.882.0781 FAX: 415.882.0784

STERNBERG
BENJAMIN
ARCHITECTS

DAVID STERNBERG
No. C-11182
2/13
RENEWAL DATE
STATE OF CALIFORNIA

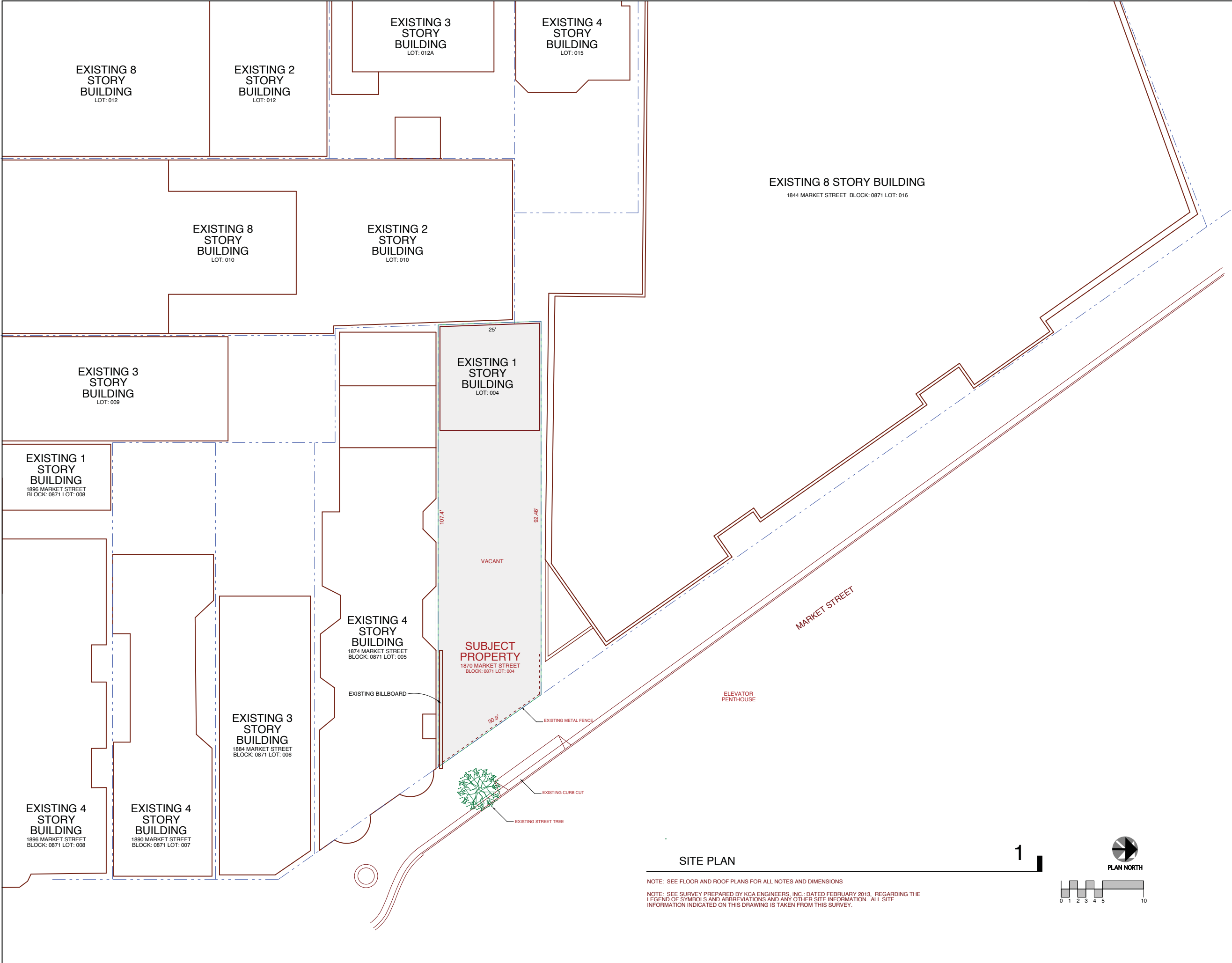
www.sternbergbenjamin.com

PROPOSED SITE PLAN

NEW 10 UNIT
CONDOMINIUM BUILDING
1870 MARKET STREET
BLOCK 0871 LOT 004
SAN FRANCISCO CA

Issuance	Date
PRE-APP	03.04.15
SITE PERMIT	04.17.15
SITE PERMIT REVISION	10.15.15
ROOF REVISION	05.14.16
NEW UNIT REV	03.23.17
PLANNING COMMENTS	05.25.17
BR EGRESS	06.22.17
FOR DR	11.10.17
Date:	05.05.14
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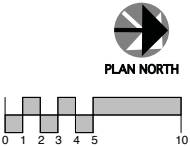


SITE PLAN

NOTE: SEE FLOOR AND ROOF PLANS FOR ALL NOTES AND DIMENSIONS

NOTE: SEE SURVEY PREPARED BY KCA ENGINEERS, INC.: DATED FEBRUARY 2013. REGARDING THE LEGEND OF SYMBOLS AND ABBREVIATIONS AND ANY OTHER SITE INFORMATION. ALL SITE INFORMATION INDICATED ON THIS DRAWING IS TAKEN FROM THIS SURVEY.

1



1731 HAYDON STREET
SAN FRANCISCO, CA 94109
TEL: 415.398.1988 FAX: 415.398.1999

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BENJAMIN
ARCHITECTS

LICENSED ARCHITECT
DAVID STERNBERG
No. S-11102
2/13
EXPIRATION DATE
STATE OF CALIFORNIA

EXISTING SITE PLAN

NEW 10 UNIT
CONDOMINIUM BUILDING
1870 MARKET STREET
BLOCK 0871 LOT 004
SAN FRANCISCO CA

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WALL LEGEND:

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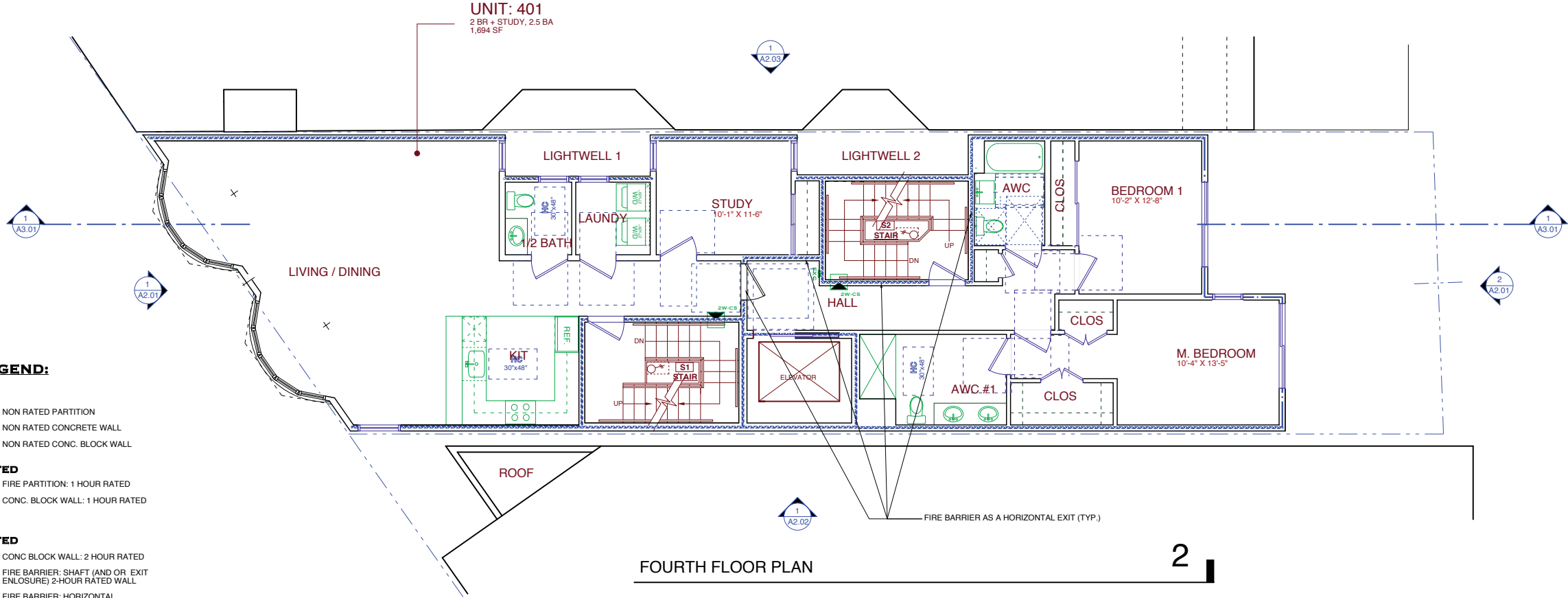
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- NON RATED CONC. BLOCK WALL

1 HOUR RATED

- FIRE PARTITION: 1 HOUR RATED
- CONC. BLOCK WALL: 1 HOUR RATED

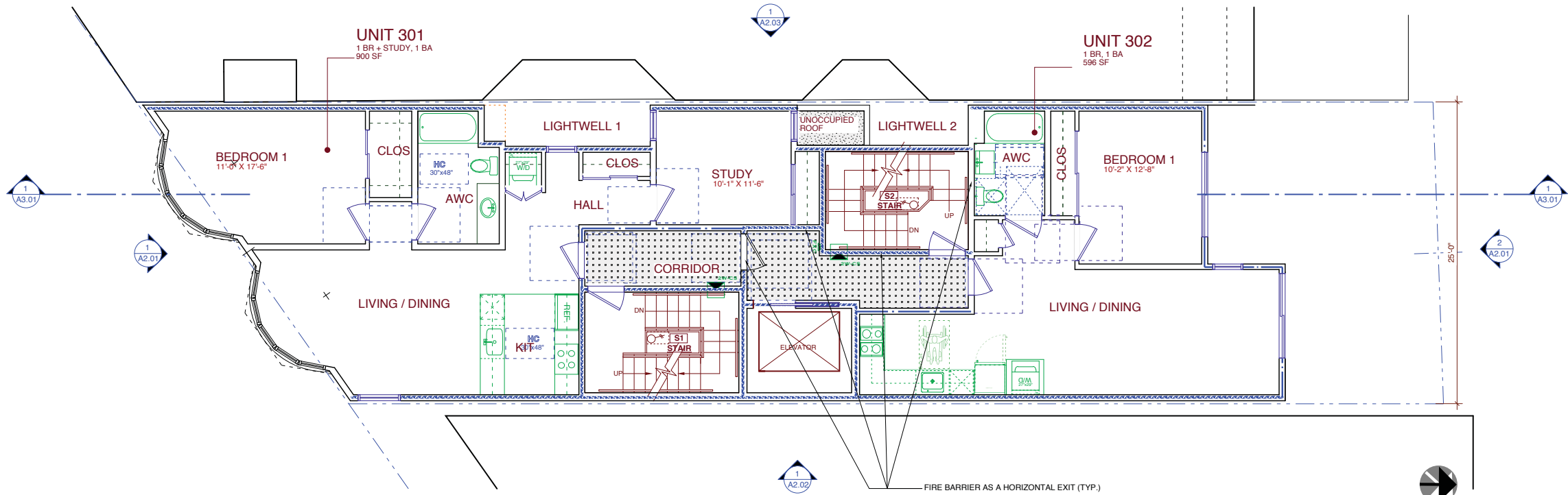
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- CONC BLOCK WALL: 2 HOUR RATED
- FIRE BARRIER: SHAFT (AND OR EXIT ENCLOSURE) 2-HOUR RATED WALL
- FIRE BARRIER: HORIZONTAL EXIT-2-HOUR RATED WALL
- PRIMARY STRUCTURAL ELEMENT 2-HOUR WALL - CONCRETE



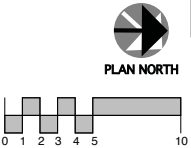
FOURTH FLOOR PLAN

2



THIRD FLOOR PLAN

1



THIRD AND FOURTH -
EIGHTH FLOOR PLANS

NEW 10 UNIT
CONDOMINIUM BUILDING
1870 MARKET STREET
BLOCK 0871 LOT 004
SAN FRANCISCO CA

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BR EGRESS	06.22.17
FOR DR	11.10.17

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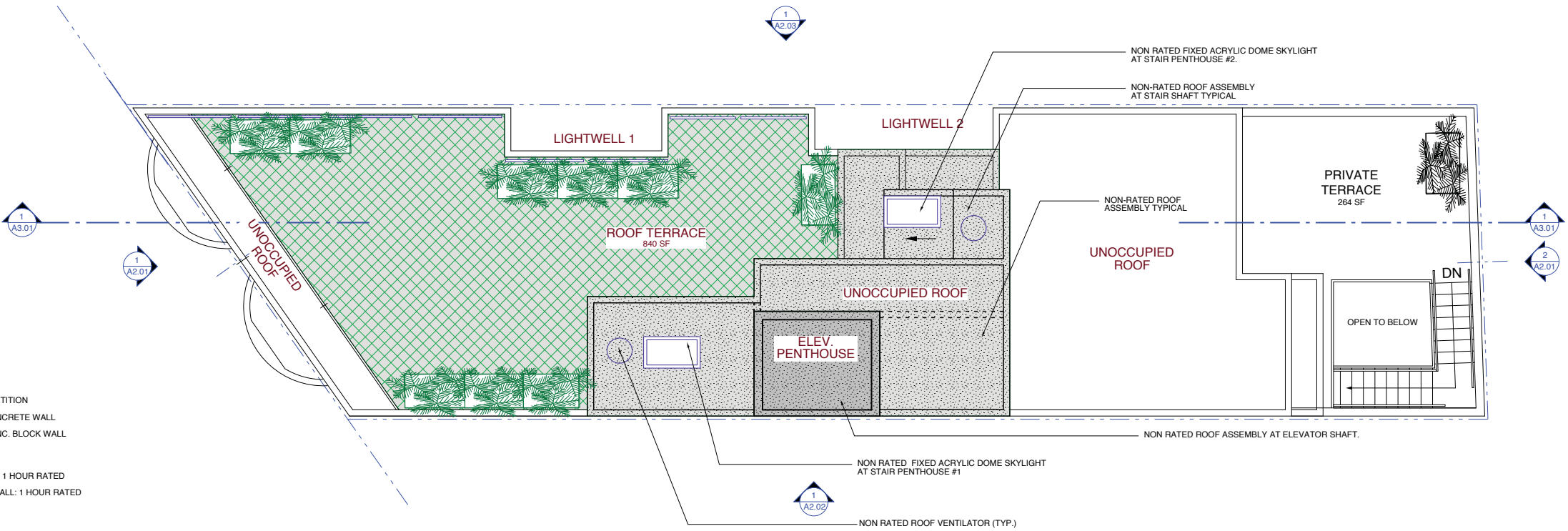
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- NON RATED CONC. BLOCK WALL

1 HOUR RATED

- FIRE PARTITION: 1 HOUR RATED
- CONC. BLOCK WALL: 1 HOUR RATED

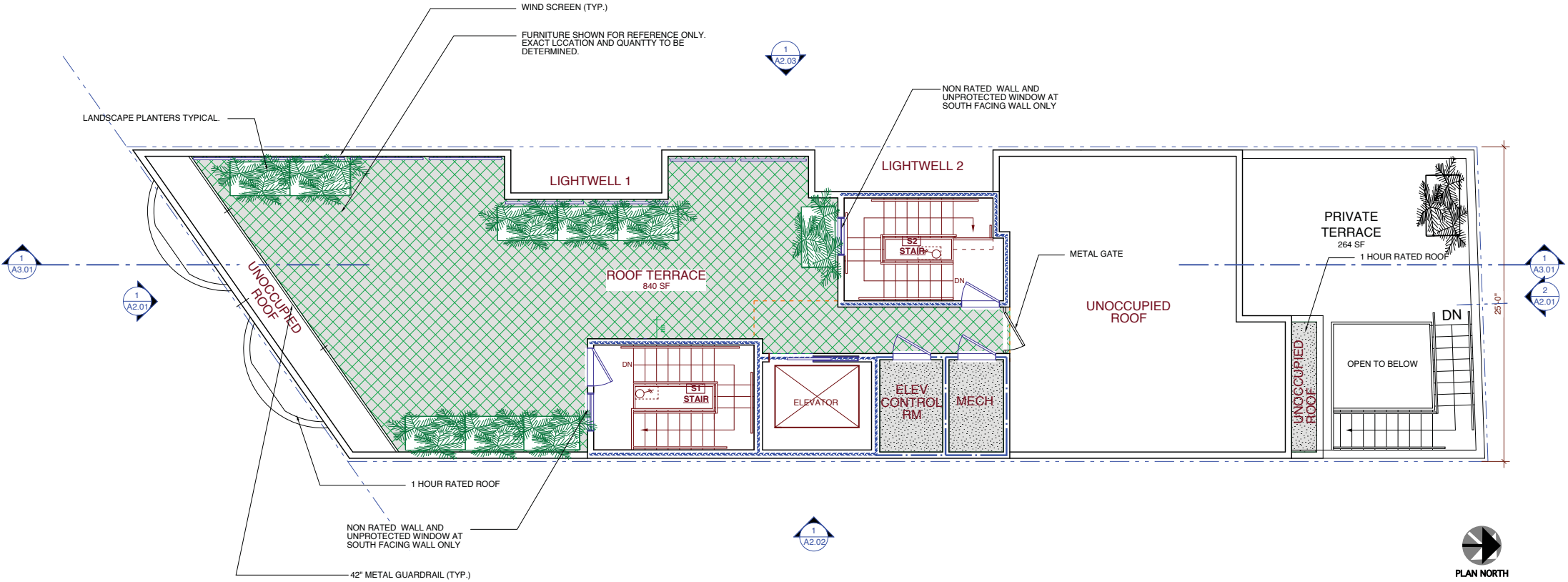
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- PRIMARY STRUCTURAL ELEMENT 2-HOUR WALL - CONCRETE



UPPER ROOF PLAN

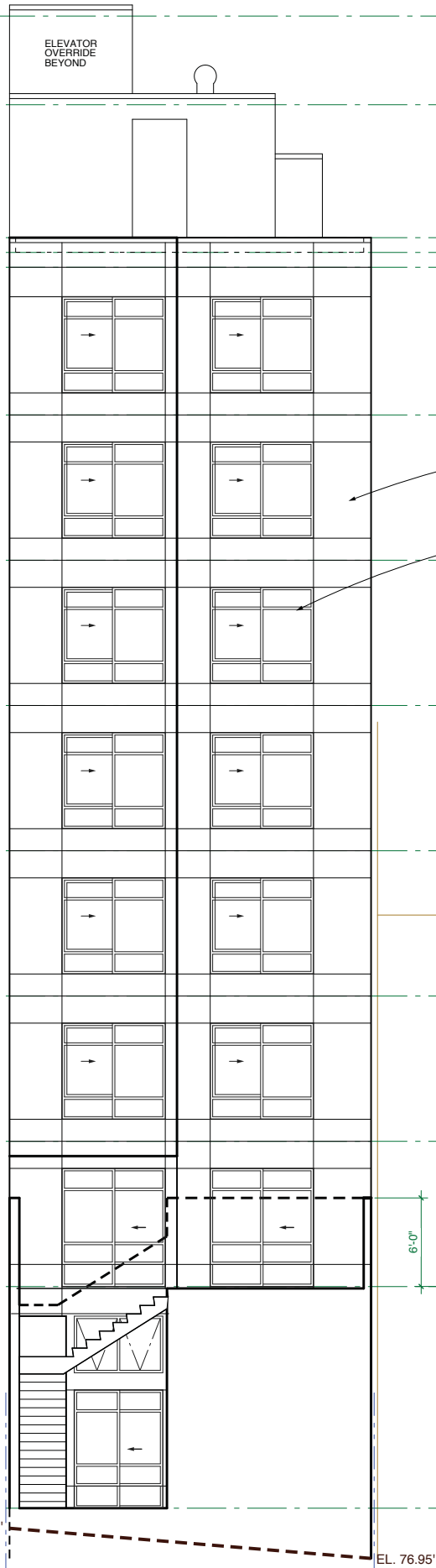
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ROOF PLAN

1

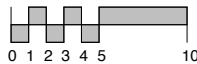
NOTE: TOTAL ROOF AREA = 1,993 SF. 20% X 1,993 = 398.6 SF ALLOWED FOR ROOF PENTHOUSES. ROOF STAIR, ELEVATOR AND MECHANICAL PENTHOUSES TOTAL AREA = 392 SF < 398.6 SF ALLOWED. BUILDING COMPLIES.



REAR (NORTH) ELEVATION 2



FRONT (SOUTH) ELEVATION 1



1331 HARTLEIGH STREET
SAN FRANCISCO, CA 94112
TEL 415.862.5792 FAX 415.862.5798

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DAVID
STERENBERG
No. 2-11102
JULY 1, 2014
DATE OF EXPIRATION

DATE OF CALIFORNIA
EXPIRATION

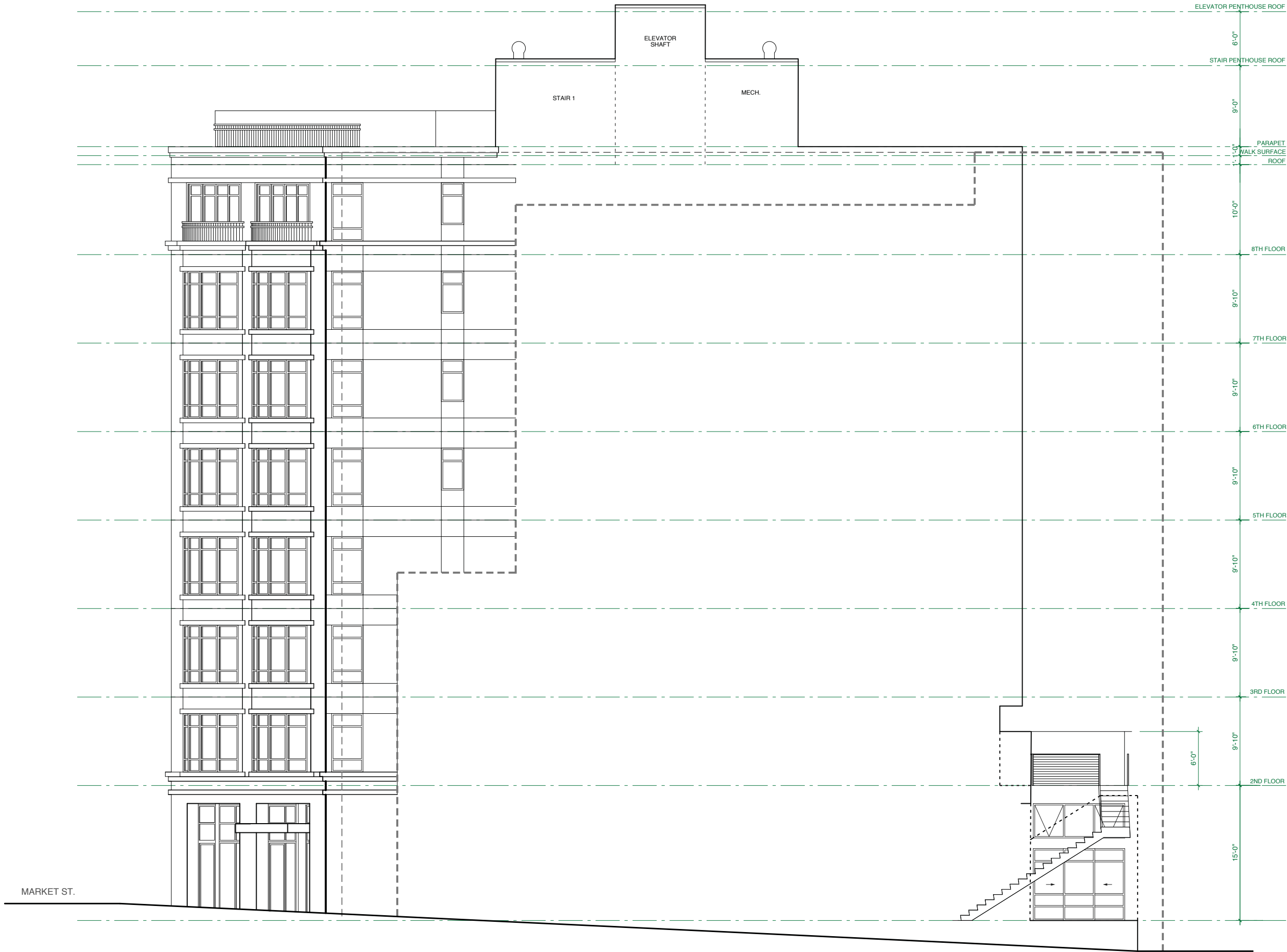
FRONT AND REAR ELEVATIONS

NEW 10 UNIT
CONDOMINIUM BUILDING
1870 MARKET STREET
BLOCK 100104
SAN FRANCISCO, CA

Issuance	Date
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SITE PERMIT	04.17.15
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NEW UNIT REV.	03.23.17
PLANNING COMMENTS	05.25.17
BR EGRESS	06.22.17
FOR DR	11.10.17

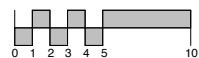
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SIDE (EAST) ELEVATION

1



SIDE (EAST) ELEVATION

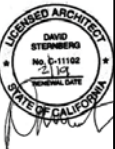
NEW 10 UNIT
CONDOMINIUM BUILDING
1870 MARKET STREET
BLOCK 0871 LOT 004
SAN FRANCISCO CA

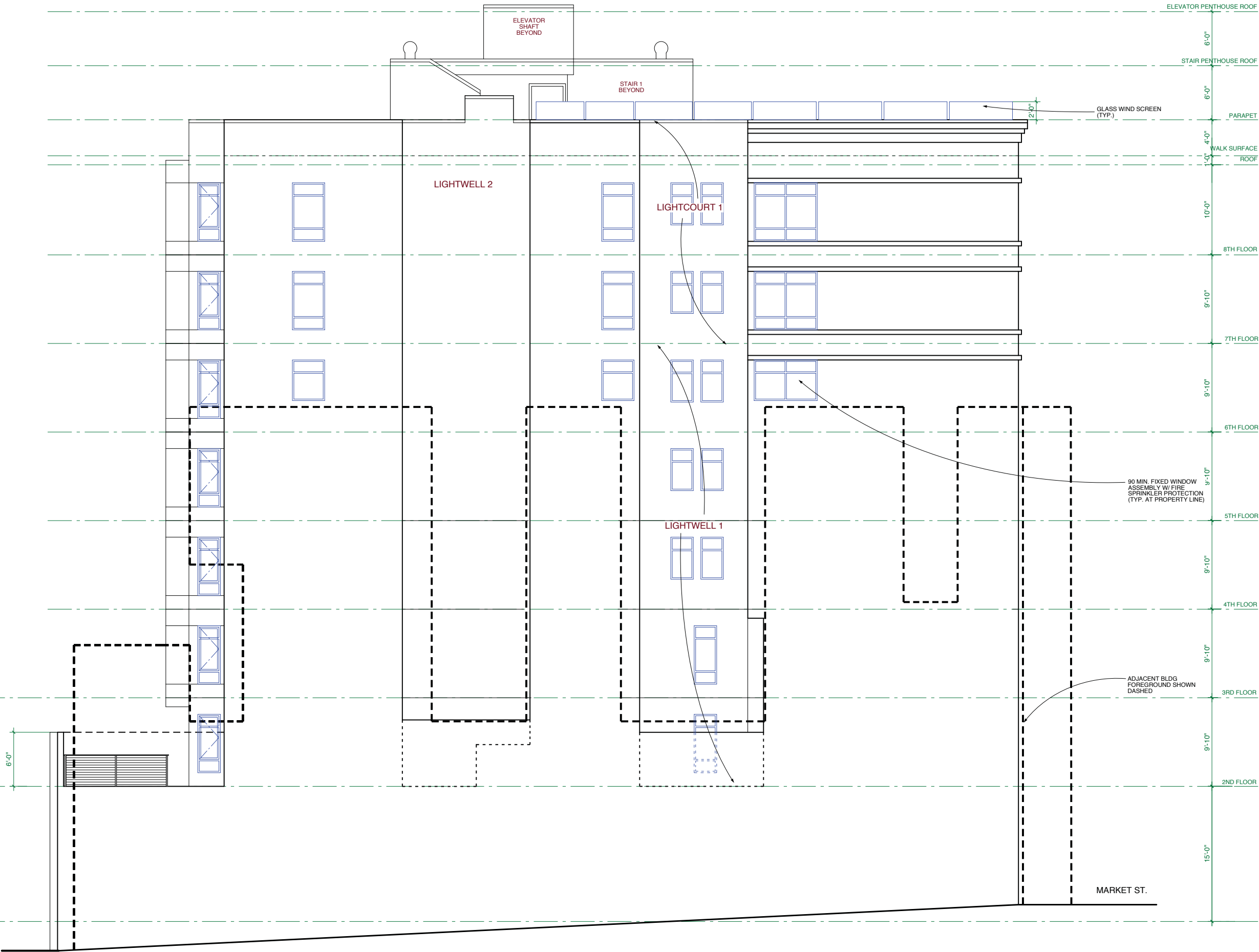
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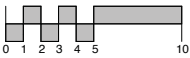
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A2.02





SIDE (WEST) ELEVATION 1



1017 MARKET STREET
SAN FRANCISCO, CA 94103
TEL: 415.882.0781 FAX: 415.882.9786

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1017 MARKET STREET
SAN FRANCISCO, CA 94103
TEL: 415.882.0781 FAX: 415.882.9786

DAVID STERNBERG
No. C-11182
2/13
Professional Seal
STATE OF CALIFORNIA

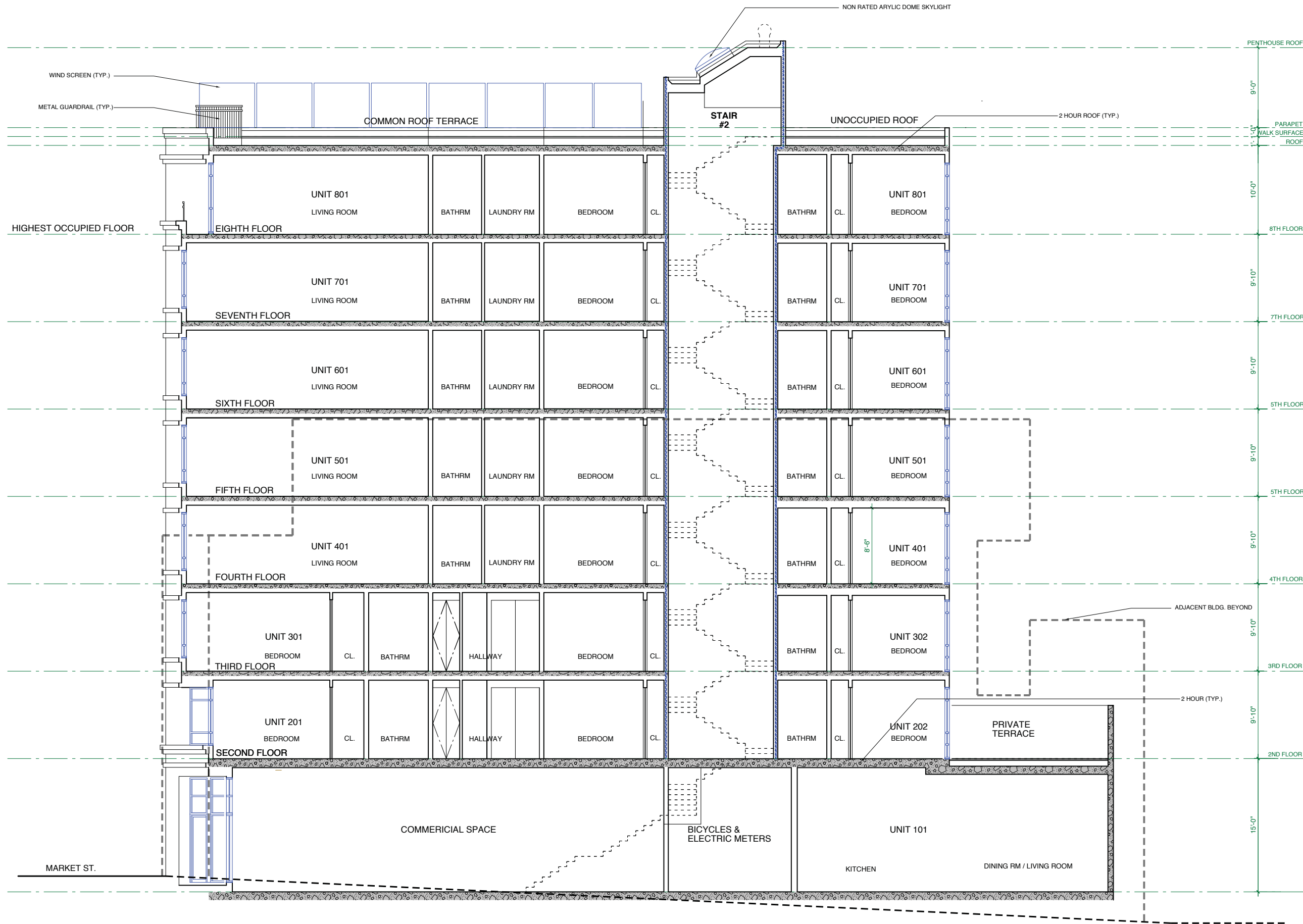
SIDE (WEST) ELEVATION

NEW 10 UNIT
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1870 MARKET STREET
BLOCK 0871 LOT 004
SAN FRANCISCO CA

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BUILDING SECTION

1



BUILDING SECTION

NEW 10 UNIT
CONDOMINIUM BUILDING
1870 MARKET STREET
BLOCK 0871 LOT 004
SAN FRANCISCO CA

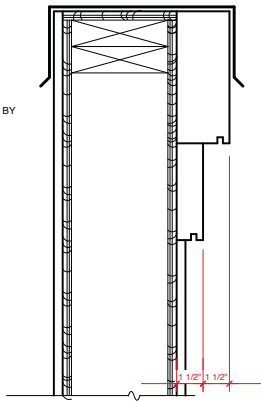
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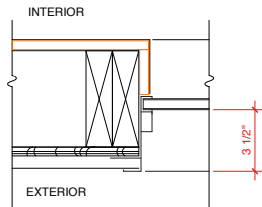


NOTES:
WATERPROOFING DETAILS BY
OWNER/CONTRACTOR



STREET

NOTES:
DOOR JAMB DETAIL SIMILAR
WATERPROOFING DETAILS BY
OWNER/CONTRACTOR
TYPICAL DETAIL FOR STREET
FACING WINDOWS / DOORS ONLY



TYPICAL WINDOW DETAIL

SCALE: 3"=1'-0"

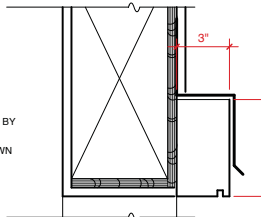
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TYPICAL PARAPET CORNICE

SCALE: 3"=1'-0"

3

NOTES:
WATERPROOFING DETAILS BY
OWNER/CONTRACTOR
WINDOW FRAME NOT SHOWN



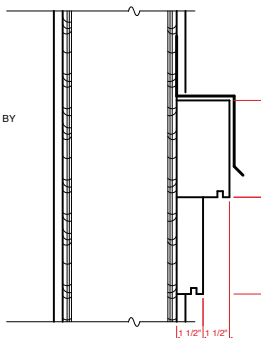
STREET

TYPICAL WINDOW HEAD TRIM

SCALE: 3"=1'-0"

4

NOTES:
WATERPROOFING DETAILS BY
OWNER/CONTRACTOR



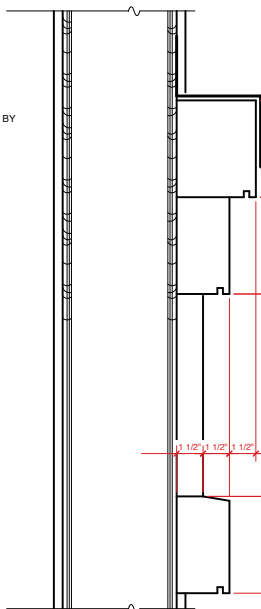
STREET

TYPICAL 8TH FLOOR CORNICE

SCALE: 3"=1'-0"

5

NOTES:
WATERPROOFING DETAILS BY
OWNER/CONTRACTOR



STREET

TYPICAL 2ND FLOOR CORNICE

SCALE: 3"=1'-0"

6



MARKET STREET

BUILDING IN CONTEXT

1



PROPOSED BUILDING IN
CONTEXT

NEW 10 UNIT
CONDOMINIUM BUILDING
1870 MARKET STREET
BLOCK 0871 LOT 004
SAN FRANCISCO CA

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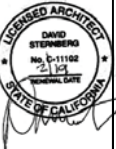


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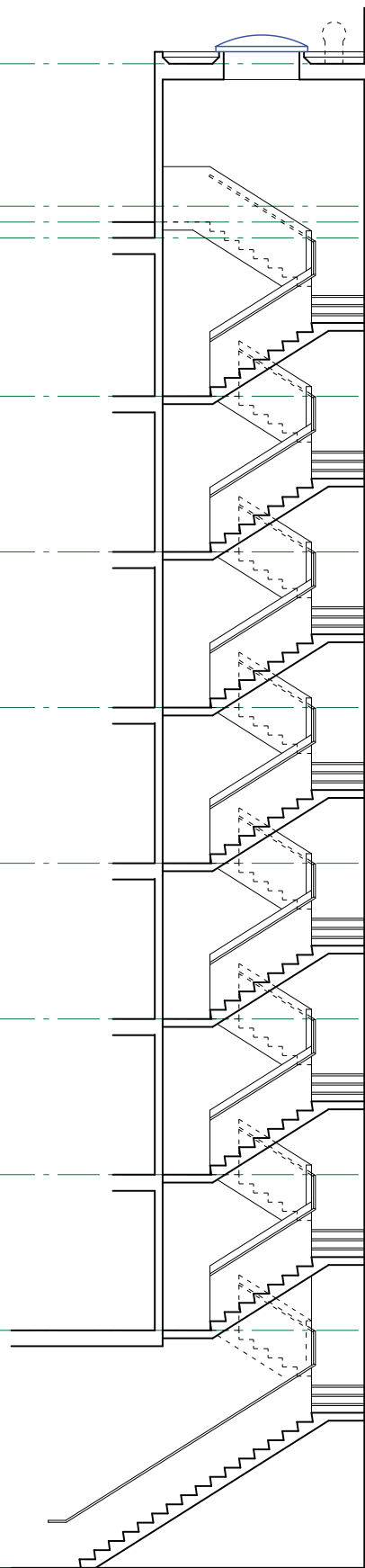
NEW 10 UNIT
CONDOMINIUM BUILDING
1870 MARKET STREET
BLOCK 0871 LOT 004
SAN FRANCISCO CA

EXISTING BUILDING IN CONTEXT



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BENJAMIN
ARCHITECTS

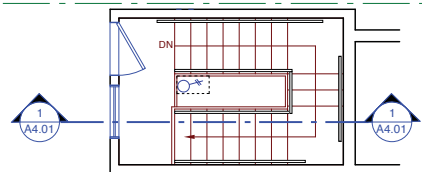
101 CALIFORNIA STREET
SAN FRANCISCO, CA 94103
TEL 415 882 0781 FAX 415 882 0786
www.sternbergbenjamin.com



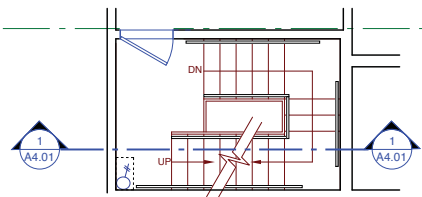
STAIR SECTION

STAIR 1

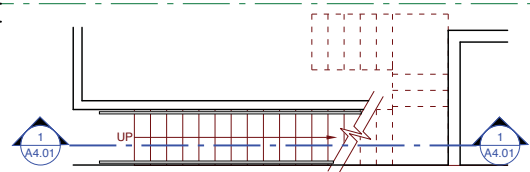
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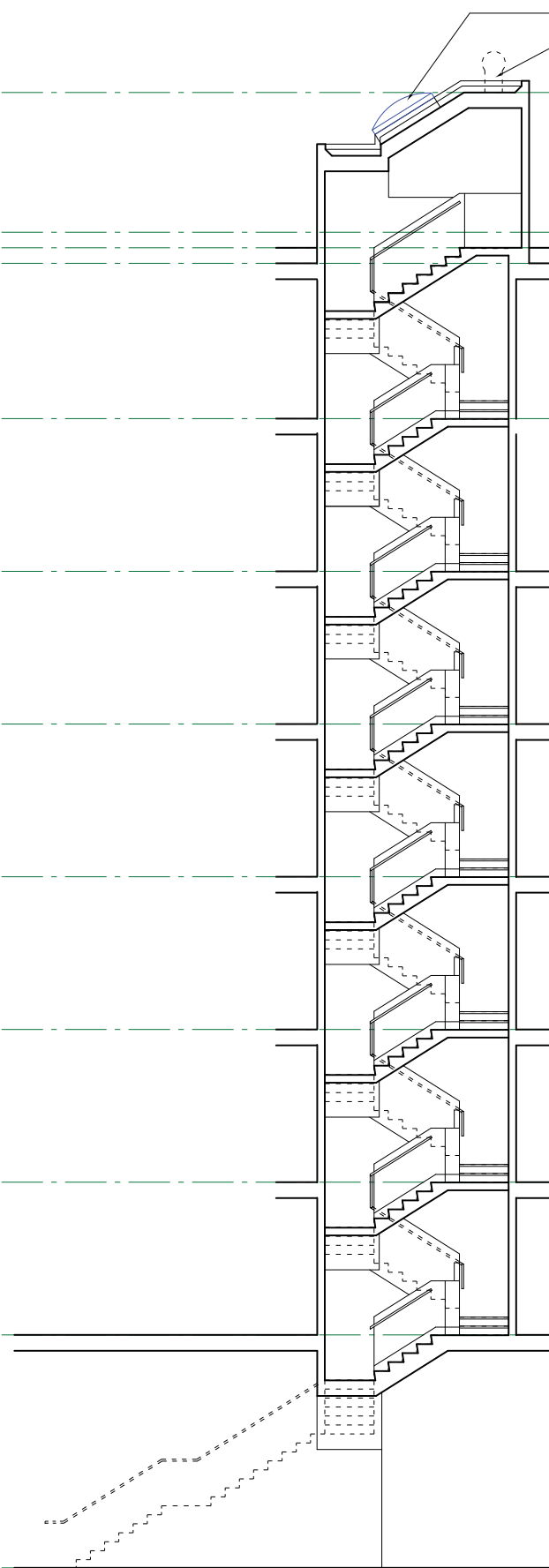
ROOF PLAN



2ND TO 8TH FLOOR PLANS



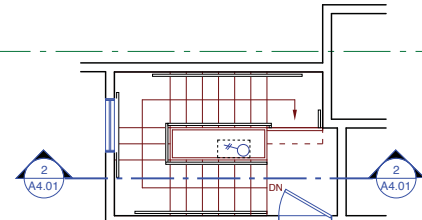
GROUND FLOOR PLAN



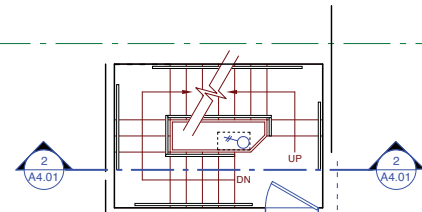
STAIR SECTION

STAIR 2

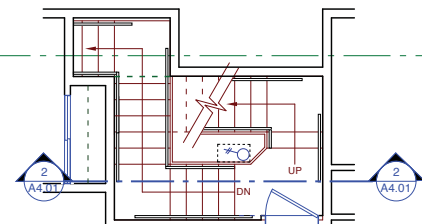
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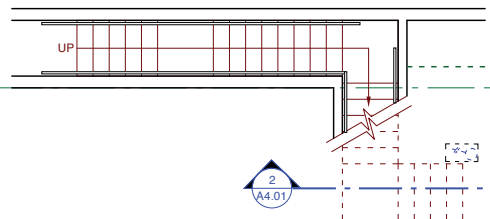
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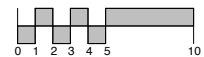
3RD TO 8TH FLOOR PLANS



2ND FLOOR PLAN



GROUND FLOOR PLAN



NON RATED ARYLIC DOME SKYLIGHT (TYP.)
WIND TURBINE BEYOND (TYP.)

PENTHOUSE ROOF

PARAPET
WALK SURFACE
ROOF

8TH FLOOR

7TH FLOOR

5TH FLOOR

5TH FLOOR

4TH FLOOR

3RD FLOOR

2ND FLOOR

1010 CALIFORNIA STREET
SAN FRANCISCO, CA 94108
TEL: 415.882.1987 FAX: 415.882.9796

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DAVID STERNBERG
No. 0-111182
2-1-13
10/10/17
STATE OF CALIFORNIA
LICENSED ARCHITECT

STAIR SECTIONS

NEW 10 UNIT
CONDOMINIUM BUILDING
1870 MARKET STREET
BLOCK 0871 LOT 004
SAN FRANCISCO CA

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Scale:
Drawn: DS
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SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Full Analysis

HEARING DATE SEPTEMBER 28, 2017

Date: September 21, 2017
Case No.: 2014-1060DRP/VAR
Project Address: 1870 Market Street
Permit Application: 2015-0501-5151
Zoning: NCT-3 (Moderate Scale Neighborhood Commercial Transit District)
85-X Height and Bulk District
Block/Lot: 0871/004
Project Sponsor: Victor Quan, Bridgeway Vista LP
P.O. Box 591841
San Francisco, CA 94159
Staff Contact: Claudine Asbagh – (415) 575-9165
claudine.asbagh@sfgov.org
Recommendation: Do not take DR and approve the project as proposed.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The project would demolish the existing single story private garage and construct an 85-foot tall, 8-story, approximately 16,000 square-foot building containing 10 dwelling units and approximately 400 square feet of ground floor retail. The project would require a rear yard modification (Section 134(e)(1)) because the proposed building would encroach by approximately 10 feet into the rear yard and result in a rear yard of 15' 3" where 25 feet is required. Three of the dwelling units on the lower three floors would require a Variance from the exposure requirements of the Planning Code (Section 140).

Subsequent to the Discretionary Review request (DR), the project has been revised to incorporate recommendations from the Department. Those revisions include a relocation of the massing of the building towards the eastern property line, an additional dwelling unit for a total of 10, and a reduction in the amount of ground floor retail.

SITE DESCRIPTION AND PRESENT USE

The 2,474 square-foot project site is located on the north side of Market Street between Laguna Street and Octavia Boulevard; lot 004 of Assessor's Block 0871. The site is currently developed with a single story, approximately 500 square foot private garage. The site is located in the NCT-3 (Moderate Scale Neighborhood Commercial Transit District) Zoning District, the 85-X Height and Bulk District and the Market Octavia Plan Area.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

Surrounding properties include a six-story 19-unit residential building immediately to the north (16 Laguna), a four-story mixed-use building to the west (1874-1878 Market St.), and an 8-story mixed use building to the west (1844 Market St.). Overall the surrounding area contains diverse building types and uses, with commercial and mixed-use along Market Street, with predominantly residential uses north of the site.

The project site is located on the southern edge of the Western Addition neighborhood, adjacent to the Mission neighborhood and two blocks northwest of the South of Market neighborhood. Other zoning districts in the vicinity include: R-T-O (Residential Transit Oriented) located immediately north of the site as well as NC-3 (Moderate-Scale Neighborhood Commercial) to the west and RM-3 (Medium Density Residential Mixed) to the northwest.

BUILDING PERMIT APPLICATION NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
312 Notice	30 days	December 23, 2016 – January 23, 2017	January 23, 2017	September 28, 2017	249 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	20 days	September 8, 2017	September 8, 2017	20 days
Mailed Notice	20 days	September 8, 2017	September 7, 2017	21 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)		2	
Other neighbors on the block or directly across the street	3		
Neighborhood groups	1		

As of the writing of this report, the Department had received inquiries about the project from two residents of 1874 Market Street that expressed concern that the project could block access to light and air.

DR REQUESTOR

Serina Calhoun/Syncopated Architecture representing the owners of 1874 Market Street the property immediately west of the proposed project.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

Issue #1 – Building Massing: The DR requestor expressed concern over the overall mass of the project and its potential effect on their existing roof solar panels. The DR requestor had asked for solar studies to gauge the proposed development's impact on light wells and roof however they did not receive any studies.

Proposed Alternative: Provide additional setbacks at upper levels. Evaluate a central courtyard as opposed to providing a roof deck and single private terrace at the rear. Reduce overall height and reduce penthouses to 7 feet.

Issue #2 – Roof Deck: The DR requestor expressed concern over the size of the proposed roof deck and the need for two stair penthouses, especially since one of the stair penthouses abuts an existing light well.

Proposed Alternative: Provide open space at lower levels to eliminate need for two penthouse stair enclosures.

Issue #3 – Lightwells: The DR requestor states that the proposed lightwells are insufficient in size relative to the scale of the proposed project and will reduce light and air to units at 1874 Market Street.

Proposed Alternative: Provide additional setbacks at upper levels and remove extra space at the core of stair shaft to minimize depth of stair; this will increase depth of lightwell.

Reference the *Discretionary Review Application* for additional information. The *Discretionary Review Application* is an attached document.

PROJECT SPONSOR'S RESPONSE

Issue #1 – Building Massing: The project sponsor states:

The proposed project is an appropriate in-fill development that will add ten new dwelling units to the City's housing stock and approximately 400 square feet of commercial space in an area that encourages the development of moderate-scale buildings with a pattern of ground floor commercial with upper story residential units. The Project will also include one unit of on-site, permanently affordable housing.

The DR requester cites the Residential Design Guidelines (RDG) as the basis for their concerns. However, the RDG do not apply to NC (Neighborhood Commercial) Districts or to commercial or institutional buildings within residential districts

Issue #2 – Roof Deck: The project sponsor states:

The project site is a small approximately 2,474 sq ft irregularly shaped lot at 25 ft wide and average of 100 ft deep. We have to accommodate two staircases and an elevator within the proposed building envelope so that does not leave much flexibility for moving things around inside or for changing the shape or size of the matching lightwells. The location of the two staircases in our

project is limited by the separation between staircases required by the building code and the location of their lightwells. Therefore, we cannot change the location of the stair penthouses.

Some of the suggestions that DR requester has proposed as design compromises are just not workable for various reasons. Their suggestions include: reducing our project to six stories instead of eight stories, and changing the footprint of the building to a C-shaped building with a courtyard opening in the middle of the lot (this building envelope would not be code compliant).

Issue #3 – Lightwells, Light and Air: The Project Sponsor States:

We have made the following changes in response to concerns raised by DR requester and as good neighbor gestures:

- Lightwells have been enlarged at neighbor's request. This change was made early on in the process from the neighbor's feedback.
- The mechanical room and the elevator machine room at the roof level have been relocated away from the DR requester's building. This change reduces the shadow impact on their solar panels and was made as a response to their concerns.
- The profile of stair penthouse closest to the DR requester has been reduced to minimize the shadow impact. This change was made after filing of DR.
- The shape at the rear of the proposed building has been reversed so that the longer projecting portion of the building is on the opposite side of DR requester. This change allows more light and air at the rear of the DR requester's building at the lower level and less shading to the solar panels on their roof. This change was made after meeting with one of DR requester's tenants.

Reference the *Response to Discretionary Review* for additional information. The *Response to Discretionary Review* is an attached document.

PROJECT ANALYSIS

Issue #1 – Building Massing: The Department is in support of the overall height, scale and form of the proposed project, since it is in alignment with the underlying zoning district and height/bulk limits. The project is which is consistent with the 85-X Height and Bulk District and manages to provide a transition between the larger building located immediately east of the site and the four-story building immediately to the west.

The project manages to provide a range of dwelling unit types on a relatively small lot in a manner that is consistent with development on Market Street.

Issue #2 – Roof Deck: The Department supports the current configuration of the open space. The Department worked with the project sponsor to increase the number of dwelling units and believes the project provides open space in a manner that is consistent with development along Market Street.

Issue #3 – Lightwells, Light and Air: The Department supports the project as proposed. Currently, the project includes lightwells that match the width of the lightwells on the adjacent property at 1874 Market

Street. Additionally, the third through 8th floors of the building are set back by 18 feet from the rear property line along the western side of the lot.

ENVIRONMENTAL REVIEW

Pursuant to the Guidelines of the State Secretary of Resources for the implementation of the California Environmental Quality Act (CEQA), on September 15, 2017, the Planning Department of the City and County of San Francisco determined that the proposed application was exempt from further environmental review under Section 15183 of the CEQA Guidelines and California Public Resources Code Section 21083.3. The Project is consistent with the adopted zoning controls in the Market and Octavia Area Plan and was encompassed within the analysis contained in the Market and Octavia Area Plan Final EIR. Since the Final EIR was finalized, there have been no substantial changes to the Market and Octavia Area Plan and no substantial changes in circumstances that would require major revisions to the Final EIR due to the involvement of new significant environmental effects or an increase in the severity of previously identified significant impacts, and there is no new information of substantial importance that would change the conclusions set forth in the Final EIR.

URBAN DESIGN TEAM REVIEW (UDAT)

The Planning Department's Urban Design Advisory Team (UDAT) provides design review for projects not subject to the Residential Design Guidelines.

UDAT found the overall massing, form and scale to be appropriate given the underlying zoning and height/bulk limits and responsive to existing building and open space. The proposed project is consistent with the scale and height of nearby properties and the Market & Octavia Area Plan Fundamental Design Guidelines. This section of Market Street has a variety of building heights with the project site immediately adjacent to an 80-foot tall building on the east, and a four-story building to the west. The project provides a transition between the two buildings

The Market Street facade incorporates contemporary references to traditional building compositions in the surrounding context (e.g. window sills, belt course and cornice). The project sponsor was responsive to UDAT's recommendation that lightwells match those of the adjacent building and that mechanical equipment be relocated so as not to impact the four-story building to the west.

Under the Commission's pending DR Reform Legislation, this project would be referred to the Commission, as this project involves new construction on a vacant lot.

BASIS FOR RECOMMENDATION

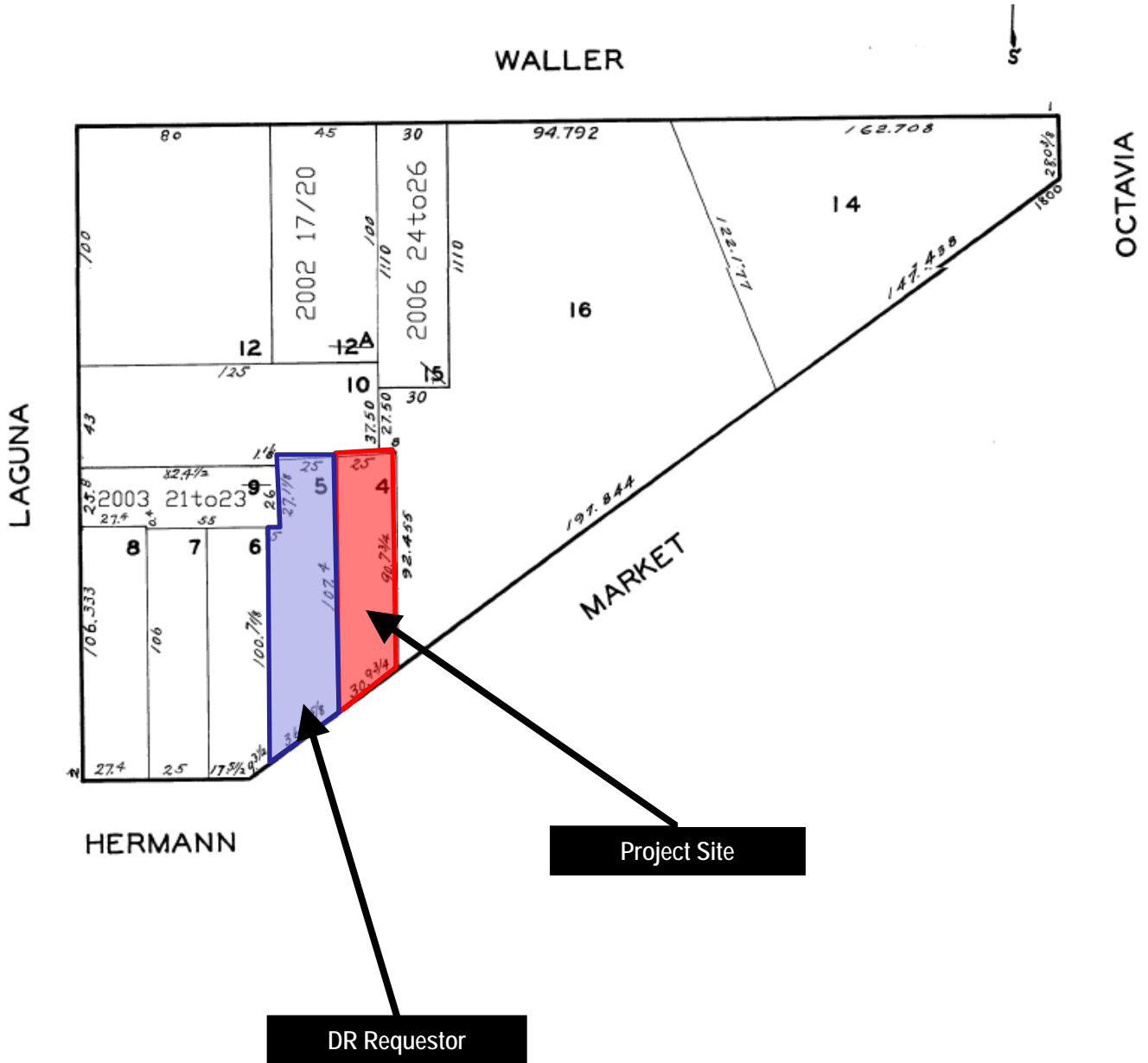
- The project is consistent with Market & Octavia Area Plan's goals and objectives in that it provides infill development that includes housing at a location well served by public transit.
- The project is consistent with Market & Octavia Area Plan Design Principles.
- The project contributes 10 new housing units to the City (including one new below market rate unit).
- The project manages to provide a range of dwelling unit types on a relatively small lot in a manner that is consistent with development on Market Street.

RECOMMENDATION: Do not take DR and approve the project as proposed.
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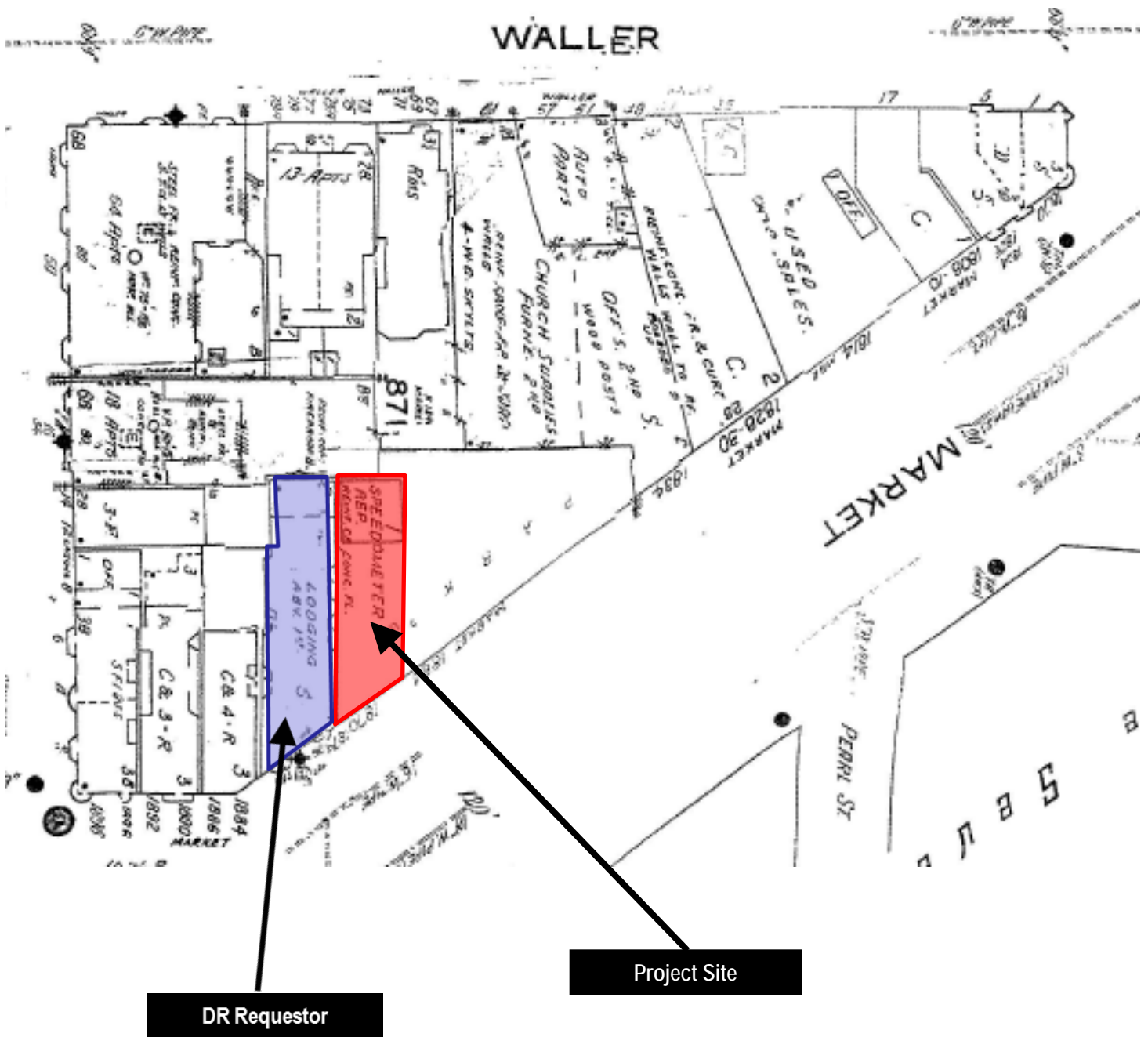
Attachments:

Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Context Photos
Section 312 Notice
DR Application
Response to DR Application dated September 8, 2017
Reduced Plans

Parcel Map



Sanborn Map*

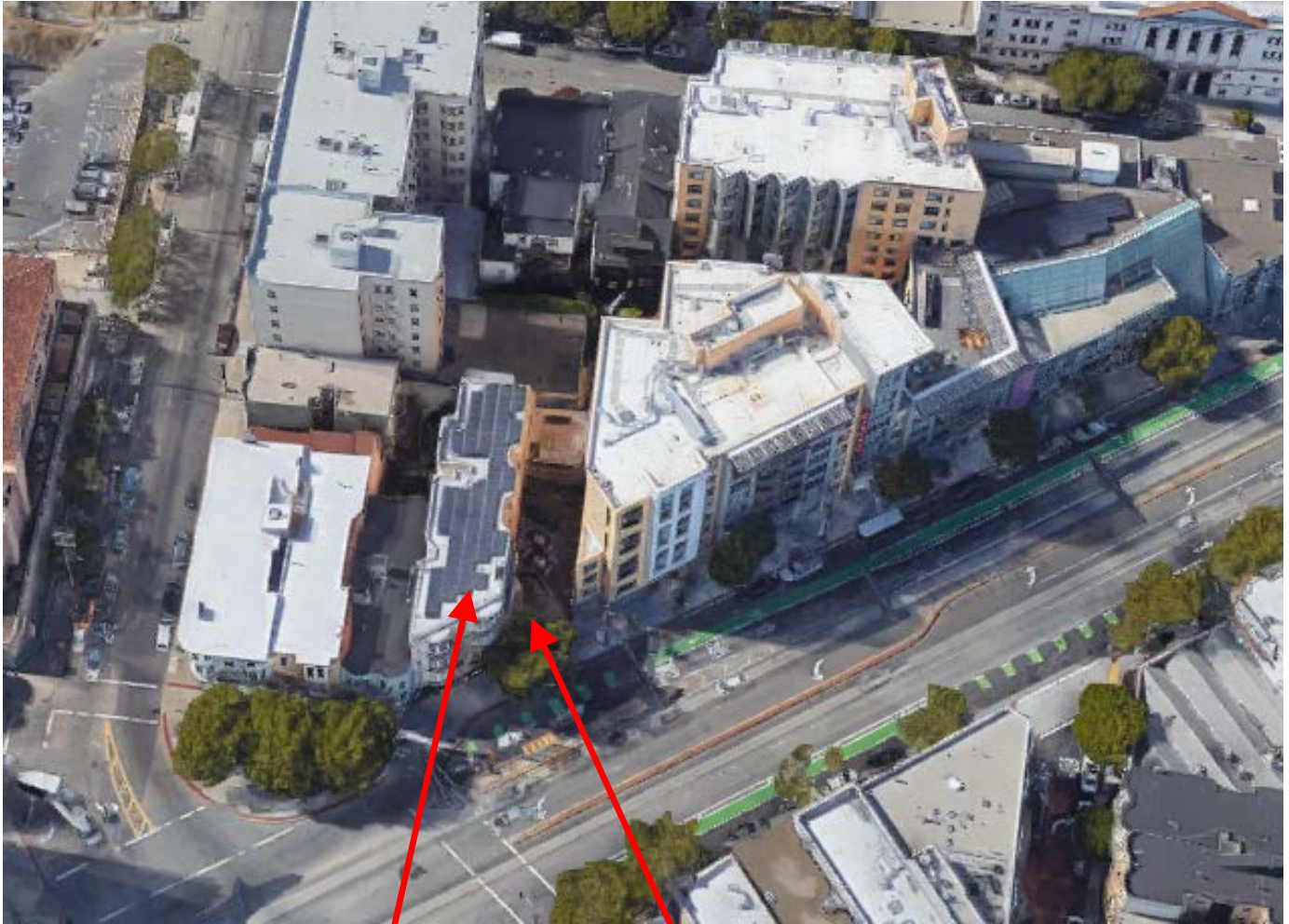


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Case No. 2014-1060DRP/VAR
1870 Market Street
Discretionary Review/ Variance

Aerial Photo



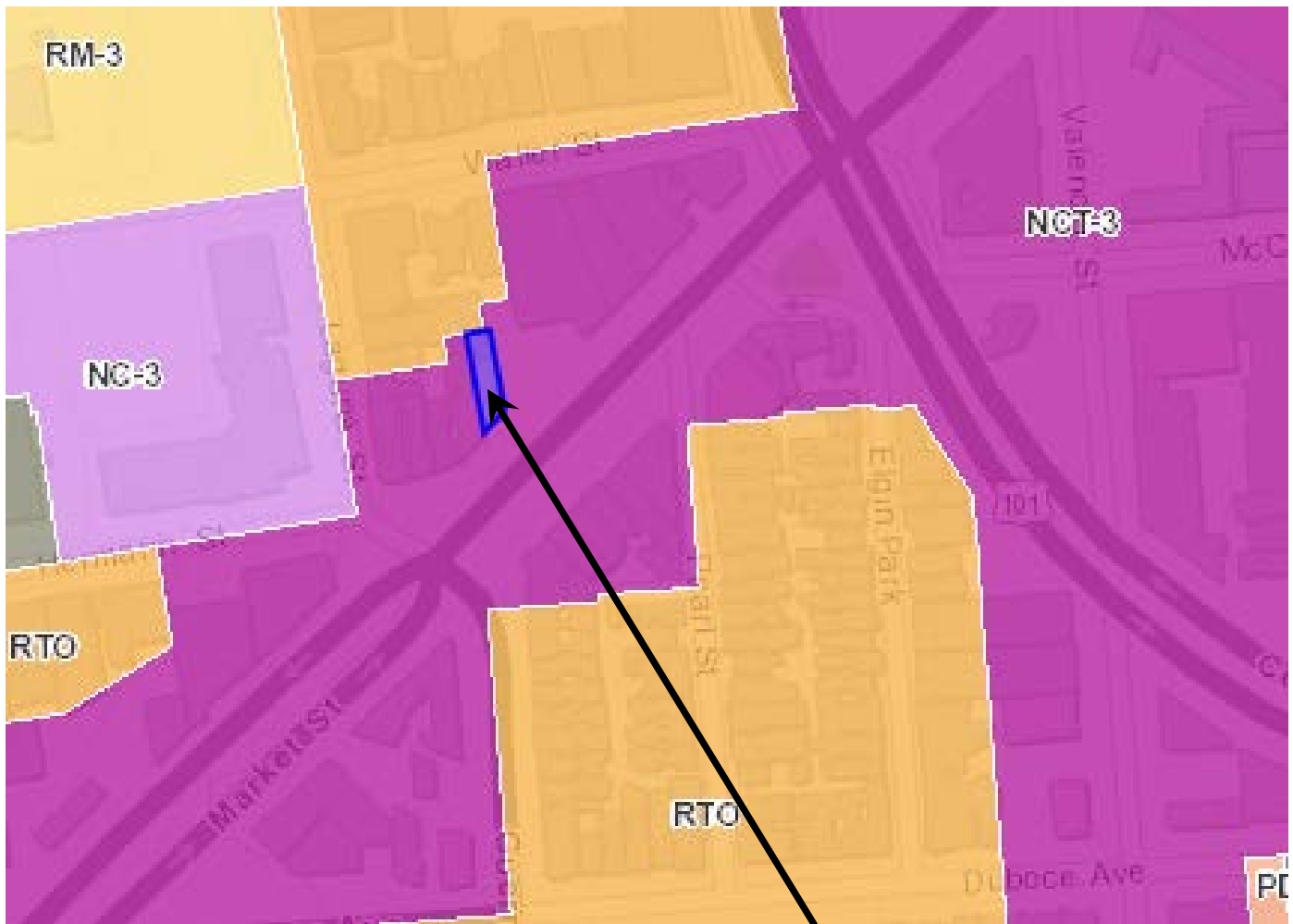
DR Requestor

Project Site



Case No. 2014-1060DRP/VAR
1870 Market Street
Discretionary Review/ Variance

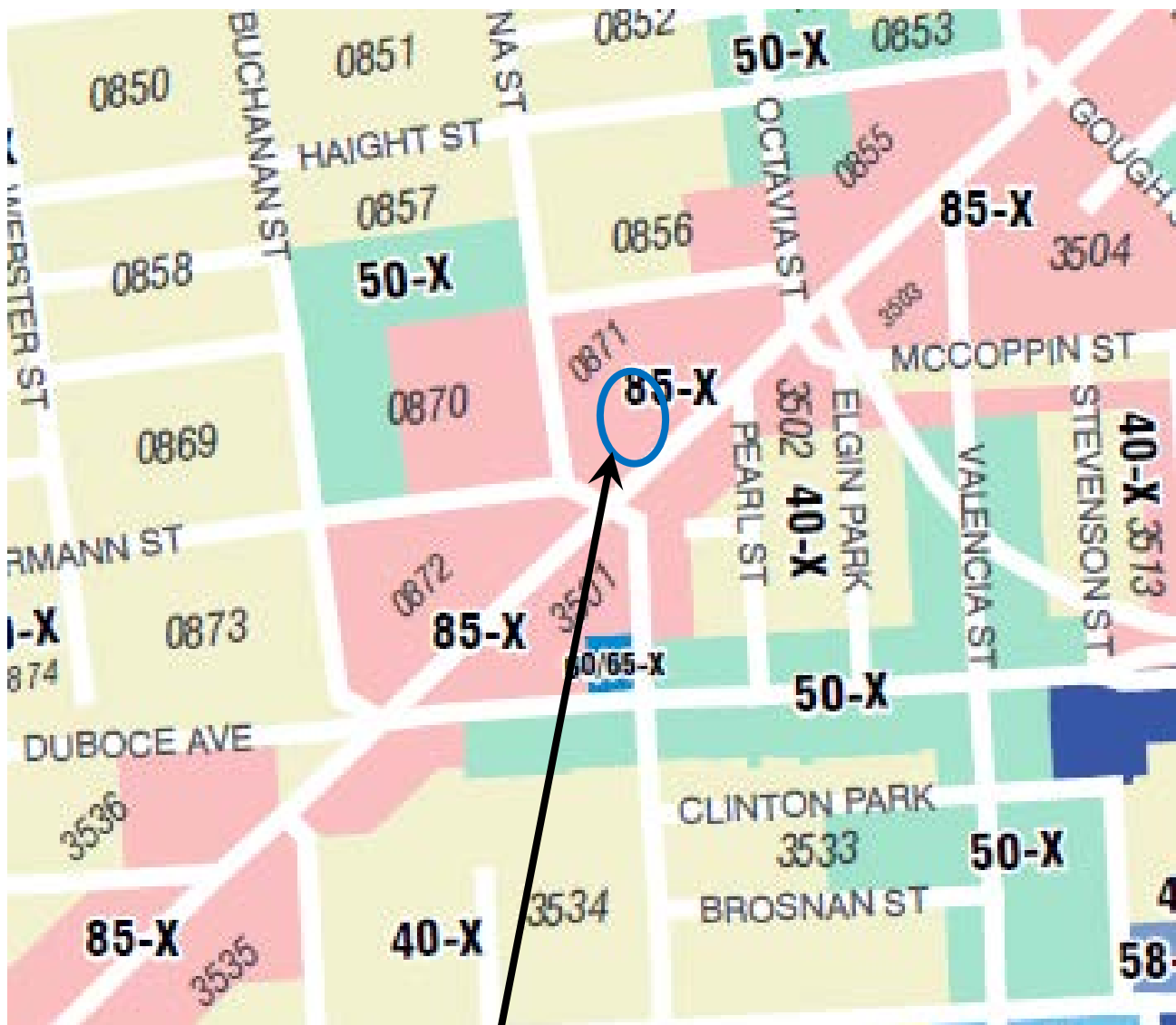
Zoning District Map



Project Site



Height and Bulk Map

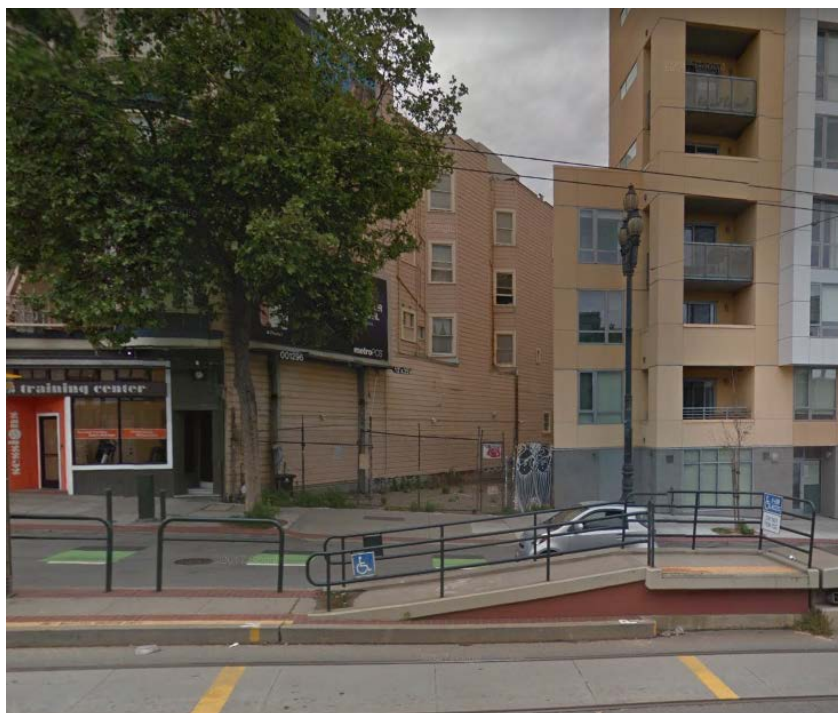


Project Site



Case No. 2014-1060DRP/VAR
1870 Market Street
Discretionary Review/ Variance

Photos of Site



View looking north



Existing building





SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 312)

On **October 21, 2015**, the Applicant named below filed Building Permit Application No. **2015-0501-5151** with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	1870 Market Street	Applicant:	Victor Quan
Cross Street(s):	Laguna	Address:	P.O. Box 591841
Block/Lot No.:	0871/004	City, State:	San Francisco, CA 94159
Zoning District(s):	NCT-3 / 85-X	Telephone:	(415) 531-8311

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input checked="" type="checkbox"/> Demolition	<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Garage	Residential
Front Setback	None	0
Side Setbacks	0	0
Building Depth	25'	78' 3.5" (average)
Rear Yard	None	15' 3"
Building Height	12'	85'
Number of Stories	1	98
Number of Dwelling Units	1	9
Number of Parking Spaces	6	0
PROJECT DESCRIPTION		
The proposal would demolish the existing single story private garage and construct an 85-foot tall, 8-story, approximately 13,000 square-foot building containing 9 dwelling units and 1,500 square feet of ground floor retail.		
The project requests a rear yard modification (Section 134(e)(1) and a Variance for exposure (Section 140). The Variance hearing has been scheduled for January 25, 2017 (Case No. 2014-1060VAR).		
The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.		

For more information, please contact Planning Department staff:

Planner: Claudine Asbagh
Telephone: (415) 575-9165
E-mail: Claudine.asbagh@sfgov.org

Notice Date: 12/23/2016
Expiration Date: 01/22/2017

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME: Serina Calhoun / Syncopated Architecture		
DR APPLICANT'S ADDRESS: 657 Fillmore St.	ZIP CODE: 94117	TELEPHONE: (415)558-9843

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Victor Quan / Bridgeway Vista LP		
ADDRESS: 2300 Bridgeway	ZIP CODE: 94965	TELEPHONE: (415) 531-8311

CONTACT FOR DR APPLICATION: Same as Above <input checked="" type="checkbox"/>		
ADDRESS:	ZIP CODE:	TELEPHONE: ()
E-MAIL ADDRESS:		

2. Location and Classification

STREET ADDRESS OF PROJECT: 1870 Market St.	ZIP CODE: 94102
CROSS STREETS: Laguna St.	

ASSESSORS BLOCK/LOT: 0871 /004	LOT DIMENSIONS: 25' x 107.4'	LOT AREA (SQ FT): 2,474 SF	ZONING DISTRICT: NCT-3	HEIGHT/BULK DISTRICT: 85-X
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3. Project Description

Please check all that apply

Change of Use ☐ Change of Hours ☐ New Construction ☒ Alterations ☐ Demolition ☐ Other ☐

Additions to Building: Rear ☐ Front ☐ Height ☐ Side Yard ☐

Single-story private garage (present) / Zipcar parking lot (previous)

Present or Previous Use:

Proposed Use: 8-story residential (9 dwelling units) and ground floor commercial

Building Permit Application No. 2015-0501-5151

Date Filed: 5/1/2015

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

On behalf of our clients, the owners of 1874 Market; the property directly to the West of the project site, we reached out to Planning staff and project sponsor several times during the process. Summarily, our client's concerns include:

- 1) The insufficient size of the proposed light wells relative to the scale of the proposed project.
- 2) The size of the proposed roof deck necessitating (2) stair penthouses - one of which abuts our property at our existing light well.
- 3) The overall mass of the project and its potential effect on our client's existing roof solar panel array, located 4-1/2 stories below the proposed project's roofline. This does not include the additional 11'-0" for the west stair #2 penthouse that abuts our property at the light well.

These concerns were brought to the attention of the project sponsor and the case planner. Subsequent revisions made to the design to alleviate such concerns included only the deepening of the proposed stair light well adjacent to the west stair #2. Based on the current drawings included with the 312 notice, the roof deck and west stair penthouse appear to remain as originally proposed. Further, we have received no response to our request for solar studies to gauge the proposed development's impact on our light wells and roof.

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

See attachment.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

See attachment.

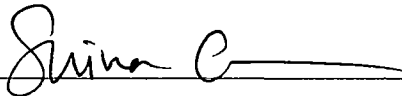
3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

See attachment.

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: 

Date: 1.23.17

Print name, and indicate whether owner, or authorized agent:

Serina Calhoun, Syncopated Architecture, Inc.
Owner / Authorized Agent (circle one)

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent.**

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input type="checkbox"/>
Covenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input type="checkbox"/>
Letter of authorization for agent	<input checked="" type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

NOTES:

☐ Required Material.☒ Optional Material.☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only

Application received by Planning Department:

By: M. CorralleDate: 1.23.17



**SAN FRANCISCO
PLANNING
DEPARTMENT**

FOR MORE INFORMATION:
Call or visit the San Francisco Planning Department

Central Reception
1650 Mission Street, Suite 400
San Francisco CA 94103-2479

TEL: **415.558.6378**
FAX: **415 558-6409**
WEB: **<http://www.sfplanning.org>**

Planning Information Center (PIC)
1660 Mission Street, First Floor
San Francisco CA 94103-2479

TEL: **415.558.6377**

*Planning staff are available by phone and at the PIC counter.
No appointment is necessary.*

Re: Discretionary Review Application – attachments to application
PA #2015.0501-5151 – 1870 Market Street

Discretionary Review Request

- 1. *“What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City’s General Plan or the Planning Code’s Priority Policies or Residential Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.”***

The project at 1870 Market, as proposed, has a significant and negative impact on our client’s property located directly next door (to the West) at 1874 Market. The impacts are as follows:

- a. Loss of light/ventilation area to half of our client’s SRO units.
 - i. Our client has an SRO property with 30 rooms; 15 of which receive all their light and ventilation from the windows facing the proposed project.
- b. Loss of rental income due to sub-standard natural light into half of their rental rooms.
- c. Increased expenses due to reduced efficiency of solar panels on the roof.

Exceptional and extraordinary circumstances have risen from the fact that the project as proposed seems to have addressed these key issues with minimal regard. Additionally, elements of the design do not appear consistent with RDT reviews on similar projects. Finally, because our property was constructed in 1900 and is a class “A” historic resource, it will be difficult for our client to make changes to his own structure in response to the impacts caused by the proposed new construction next door.

We find that the proposed project conflicts with the City’s Residential Design Guidelines in the following ways:

- a. Building articulation to minimize impacts on light and privacy to adjacent properties (RDG, pg. 16):
 - i. The proposed project provides shared light wells, but the proposed size is very small relative to the scale of the building overall. At 85’ tall, the proposed building is twice the height of our client’s building, so the lowest level of the client’s light well will be 7 stories below the top of the proposed building. It will make those light wells VERY dark, reducing light in 15 of the 30 SRO units in the building.
 - ii. The proposed project does not provide any setbacks on the upper floors of the building to either mitigate the reduction of light into the light wells or address the potential impact on the full solar panel array installed on our client’s roof. Contrary to that, the project sponsor has actually applied for a variance to encroach into the required rear yard setback by approximately 10 feet, thereby increasing the developable area beyond what is allowed per the Planning Code. Similar RDT reviews have required additional setbacks when height increases between properties exceed 2 stories.
 - iii. The proposed structure takes full advantage of the 85’ maximum height limit and adds an additional 11’ directly adjacent to one of our light wells for the stair penthouse for a total of 96’ facing our light well. Also, the elevator and override, extend a full 17’ above the roof line. These features would not need to be extended to the roof level if open space was provided on lower levels. Similar RDT reviews have required roof deck penthouse structures to be minimized or removed altogether in favor of roof hatch access.

Re: Discretionary Review Application – attachments to application
PA #2015.0501-5151 – 1870 Market Street

- b. Building scale to be compatible with the height and depth of surround buildings (RDG, pg. 23):
 - i. While the proposed building may be compatible in size and scale to its eastern adjacent neighbor, it offers little to bridge the extreme gap between that building and our client's building, which is much smaller in size and is listed as a Class A historic resource. No upper floor setbacks have been proposed to address this issue. Similar RDT reviews have required additional setbacks on properties where the neighboring site is 2 or more stories below the top of the proposed new building.
- c. Building height and depth to be compatible with the existing building scale at the mid-block open space (RDG, pg. 25):
 - i. The total building height and depth as proposed would encroach into and reduce the mid-block open space. While several other structures on this block may be of similar height and depth, there are also several structures at half the height on the block that will be impacted. Further, the reduction of mid-block open space is made worse by the proposal and subsequent variance application to encroach into the required rear yard setback.
- d. Sensitively locate and screen rooftop features so they do not dominate the appearance of a building (RDG, pg. 38):
 - i. The size of the proposed roof deck on the top necessitates extending both stairs all the way up to the roof. One of the stairs is directly abutting our client's light well, extending 10' above the roof level, for a total height 95'. Similar RDT reviews have required hatches, or at the very least, to minimize the height of the penthouse to a maximum of 7' above the roof line.

2. *"The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how."*

In its current design, several inefficiencies in the layouts are apparent to us as fellow architects:

- a. The private terrace on the second floor only provides open space for 1 unit requiring a roof deck to comply with open space requirements. This is extremely inefficient. In fact, this one terrace size provides 841 sf of open space, which would satisfy the open space requirement for the entire building, if it was commonly accessed.
- b. The stairs, as designed, have wide core openings; leading to expanded width. This feature limits the size of the light wells facing our building. If re-worked, these stairs could provide an additional 12-24" of depth to the light well with minimal impact to their layouts.

The project as proposed would cause unreasonable impacts to our client's property in the following ways:

- a. Loss of light/ventilation area to half of our client's SRO units will result in a financial hardship.
 - i. Our client has an SRO property with 30 rooms; 15 of which receive all their light and ventilation from the windows facing the proposed project. The result of the proposed project will be a substantial loss of natural light; creating sub-standard conditions in half of our client's rental rooms.
- b. Increased expenses due to reduced efficiency of solar panels on the roof.

Re: Discretionary Review Application – attachments to application
PA #2015.0501-5151 – 1870 Market Street

The project sponsor proposed only a slight increase in the depth of one of the light wells, whereas the rest of the building itself has been designed to maximize the building area as allowed by the Planning Code, and in areas such as the rear yard, exceed that which is allowed via a variance application. Additionally, they did not respond to our request for a solar study for the project.

Other properties that we believe will be adversely affected by the project as proposed are those located at 67-71 & 73-75 Waller Street as well as 10-14 Laguna Street. These buildings are similar in size with rear lots that face our client's rear lot. The proposed development is expected to have an impact on the mid-block open space that is shared by these properties as well.

3. *"What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in Question #1."*

We respectfully request changes to the design to provide more light into our 15 units facing the new building.

Possible solutions are as follows:

- Additional side setbacks on upper stories.
- Relocation of Stair S2 away from our light well.
- Reduction in the height of all stair penthouses to the roof – 7'-0" maximum height.
- Reduced size of stair – remove the extra space at the core of the stair shaft to minimize the depth of the stair; this will increase the depth of the light well.
- Evaluate a central courtyard at lower levels rather than a private rear terrace serving only 1 unit.
- Provide open space at lower levels to remove the need for a top story roof deck altogether. An unoccupied roof would require only 1 stair to the roof for fire access and would eliminate the second stair and 17' of additional height for the elevator override.

We sincerely hope you will consider our concerns fully, and look forward to working with you to achieve a solution that works for all parties involved.

Sincerely,



Serina Calhoun
Principal Architect
syncopatedarchitecture
415.558.9843
serina@sync-arch.com

0001-004
VICTOR QUAN
PO BOX 591841
SAN FRANCISCO, CA 94159

0871-004
VISTA BRIDGEWAY
2300 BRIDGEWAY
SAUSALITO, CA 94965-1767

0871-004
OCCUPANT
1870 MARKET ST
SAN FRANCISCO, CA 94102-6227

0871-005
1874 MARKET ST LLC
1517 NORTH POINT ST #529
SAN FRANCISCO, CA 94123-1711

0871-005
OCCUPANT
1874 MARKET ST
SAN FRANCISCO, CA 94102-6227

0871-005
OCCUPANT
1876 MARKET ST #100
SAN FRANCISCO, CA 94102-6227

0871-005
OCCUPANT
1876 MARKET ST #101
SAN FRANCISCO, CA 94102-6227

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OCCUPANT
1876 MARKET ST #101A
SAN FRANCISCO, CA 94102-6227

0871-005
OCCUPANT
1876 MARKET ST #102
SAN FRANCISCO, CA 94102-6227

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SAN FRANCISCO, CA 94102-6227

0871-005
OCCUPANT
1878 MARKET ST #107
SAN FRANCISCO, CA 94102-6227

0871-005
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1878 MARKET ST #108
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0871-005
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0871-005
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0871-005
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0871-005
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0871-005
OCCUPANT
1878 MARKET ST #310
SAN FRANCISCO, CA 94102-6227

0871-010
16-50 LAGUNE I2 LLC
268 BUSH ST #1688
SAN FRANCISCO, CA 94104-3503

0871-010
OCCUPANT
16 LAGUNA ST #100
SAN FRANCISCO, CA 94102-6256

0871-010
OCCUPANT
16 LAGUNA ST #101
SAN FRANCISCO, CA 94102-6256

0871-010
OCCUPANT
16 LAGUNA ST #102
SAN FRANCISCO, CA 94102-6256

0871-010
OCCUPANT
16 LAGUNA ST #103
SAN FRANCISCO, CA 94102-6256

0871-010
OCCUPANT
16 LAGUNA ST #201
SAN FRANCISCO, CA 94102-6256

0871-010
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16 LAGUNA ST #202
SAN FRANCISCO, CA 94102-6256

0871-010
OCCUPANT
16 LAGUNA ST #203
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0871-010
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16 LAGUNA ST #301
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0871-010
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16 LAGUNA ST #302
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0871-010
OCCUPANT
16 LAGUNA ST #303
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0871-010
OCCUPANT
16 LAGUNA ST #401
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0871-010
OCCUPANT
16 LAGUNA ST #402
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0871-010
OCCUPANT
16 LAGUNA ST #403
SAN FRANCISCO, CA 94102-6256

0871-010
OCCUPANT
16 LAGUNA ST #501
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OCCUPANT
16 LAGUNA ST #502
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0871-010
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16 LAGUNA ST #503
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0871-010
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16 LAGUNA ST #601
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0871-010
OCCUPANT
16 LAGUNA ST #602
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0871-010
OCCUPANT
16 LAGUNA ST #603
SAN FRANCISCO, CA 94102-6256

0871-016
1844 MARKET ST LLC
201 SPEAR ST #14TH
SAN FRANCISCO, CA 94105-1630

0871-016
OCCUPANT
1844 MARKET ST #102
SAN FRANCISCO, CA 94102-6283

0871-016
OCCUPANT
1844 MARKET ST #103
SAN FRANCISCO, CA 94102-6283

0871-016
OCCUPANT
1844 MARKET ST #104
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0871-016
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0871-016
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0871-016
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0871-016
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0871-016
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0871-016
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0871-016
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0871-016
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0871-016
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0871-016
OCCUPANT
1844 MARKET ST #706
SAN FRANCISCO, CA 94102-6283

0871-016
OCCUPANT
1844 MARKET ST #802
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0871-016
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1844 MARKET ST #803
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0871-016
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1844 MARKET ST #804
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0871-016
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0871-016
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0871-016
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1844 MARKET ST #808
SAN FRANCISCO, CA 94102-6283

0871-016
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1844 MARKET ST #809
SAN FRANCISCO, CA 94102-6283

0871-016
OCCUPANT
1844 MARKET ST #810
SAN FRANCISCO, CA 94102-6283

0871-017
KAH MENG CHEW
73 WALLER ST
SAN FRANCISCO, CA 94102-6229

0871-018
M & K GODES
61 ELSIE ST
SAN FRANCISCO, CA 94110-5106

0871-018
OCCUPANT
73A WALLER ST
SAN FRANCISCO, CA 94102-6229

0871-019
MALIK SUMAIYA
75 WALLER ST
SAN FRANCISCO, CA 94102-6229

0871-020
LEONARD HOURVITZ
77 WALLER ST
SAN FRANCISCO, CA 94102-6229

0871-021
HYOJOO KANG
10 LAGUNA ST
SAN FRANCISCO, CA 94102-6260

0871-022
STEPHENS TRS
950 BURNETT AVE
SAN FRANCISCO, CA 94131-1511

0871-022
OCCUPANT
12 LAGUNA ST
SAN FRANCISCO, CA 94102-6260

0871-023
R & R WELLINGTON
14 LAGUNA ST
SAN FRANCISCO, CA 94102-6260

0871-024
LUIS NUNEZ
67 WALLER ST
SAN FRANCISCO, CA 94102-6229

0871-025
CHRIS BOERNER TRS
69 WALLER ST
SAN FRANCISCO, CA 94102-6229

0871-026
CARLENE LAUGHLIN
71 WALLER ST
SAN FRANCISCO, CA 94102-6229

3502-040
ZANELLO TRS
1869 MARKET ST
SAN FRANCISCO, CA 94103-1112

3502-040
OCCUPANT
1871 MARKET ST
SAN FRANCISCO, CA 94103-1112

3502-040
OCCUPANT
1873 MARKET ST #1
SAN FRANCISCO, CA 94103-1112

3502-040
OCCUPANT
1873 MARKET ST #2
SAN FRANCISCO, CA 94103-1112

3502-040
OCCUPANT
1873 MARKET ST #3
SAN FRANCISCO, CA 94103-1112

3502-040
OCCUPANT
1873 MARKET ST #4
SAN FRANCISCO, CA 94103-1112

3502-041
KIM TRS
1439 33RD AVE
SAN FRANCISCO, CA 94122-3142

3502-041
OCCUPANT
1859 MARKET ST
SAN FRANCISCO, CA 94103-1112

3502-042
1853 MARKET ST LLC
1857 MARKET ST
SAN FRANCISCO, CA 94103-1112

3502-042
OCCUPANT
1853 MARKET ST
SAN FRANCISCO, CA 94103-1112

3502-042
OCCUPANT
1855 MARKET ST
SAN FRANCISCO, CA 94103-1112

3502-043
OCCUPANT
1847 MARKET ST
SAN FRANCISCO, CA 94103-1112

3502-044
1841 MARKET ST LLC
225 COLLEGE AVE
SAN FRANCISCO, CA 94112-1109

3502-114
OCCUPANT
1825 MARKET ST
SAN FRANCISCO, CA 94103-7414

3502-114
OCCUPANT
1829 MARKET ST #201
SAN FRANCISCO, CA 94103-7414

3502-114
OCCUPANT
1829 MARKET ST #204
SAN FRANCISCO, CA 94103-7414

3502-114
OCCUPANT
1829 MARKET ST #207
SAN FRANCISCO, CA 94103-7414

3502-114
OCCUPANT
1829 MARKET ST #210
SAN FRANCISCO, CA 94103-7414

3502-116
ANDREW MATUSCHAK
2 PEARL ST #3
SAN FRANCISCO, CA 94103-1109

3502-043
BORICK EZQUERRO TRS
431 STEINER ST
SAN FRANCISCO, CA 94117-2520

3502-043
OCCUPANT
1849 MARKET ST
SAN FRANCISCO, CA 94103-1112

3502-044
OCCUPANT
1841 MARKET ST
SAN FRANCISCO, CA 94103-1112

3502-114
OCCUPANT
1827 MARKET ST
SAN FRANCISCO, CA 94103-7414

3502-114
OCCUPANT
1829 MARKET ST #202
SAN FRANCISCO, CA 94103-7414

3502-114
OCCUPANT
1829 MARKET ST #205
SAN FRANCISCO, CA 94103-7414

3502-114
OCCUPANT
1829 MARKET ST #208
SAN FRANCISCO, CA 94103-7414

3502-114
OCCUPANT
1831 MARKET ST
SAN FRANCISCO, CA 94103-7414

3502-117
JASON BEYERS
2 PEARL ST #4
SAN FRANCISCO, CA 94103-1109

3502-043
OCCUPANT
1845 MARKET ST
SAN FRANCISCO, CA 94103-1112

3502-043
OCCUPANT
1851 MARKET ST
SAN FRANCISCO, CA 94103-1112

3502-114
J CLEANER LLC
1001 CHURCH ST
SAN FRANCISCO, CA 94114-3414

3502-114
OCCUPANT
1829 MARKET ST #1
SAN FRANCISCO, CA 94103-7414

3502-114
OCCUPANT
1829 MARKET ST #203
SAN FRANCISCO, CA 94103-7414

3502-114
OCCUPANT
1829 MARKET ST #206
SAN FRANCISCO, CA 94103-7414

3502-114
OCCUPANT
1829 MARKET ST #209
SAN FRANCISCO, CA 94103-7414

3502-115
ORAZIO CUTINO TRS
2 PEARL ST #2
SAN FRANCISCO, CA 94103-1109

RESPONSE TO DISCRETIONARY REVIEW (DRP)



San Francisco
Planning

SAN FRANCISCO PLANNING DEPARTMENT
1650 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94103-2479
MAIN: (415) 558-6378 SFPLANNING.ORG

Project Information

Property Address:

Zip Code:

Building Permit Application(s):

Record Number:

Assigned Planner:

Project Sponsor

Name:

Phone:

Email:

Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

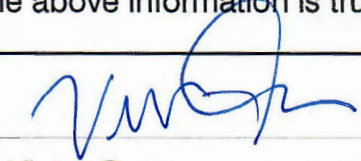
Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)	0	10
Occupied Stories (all levels with habitable rooms)	1	8
Basement Levels (may include garage or windowless storage rooms)	0	0
Parking Spaces (Off-Street)	5	0
Bedrooms	0	15
Height	15	85
Building Depth		
Rental Value (monthly)		
Property Value		

I attest that the above information is true to the best of my knowledge.

Signature:



Victor Quan

Printed Name:

Date:

9/8/2017



Property Owner



Authorized Agent

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

DR Response attachment

1870 Market St

Case No. 2014.1060

1) The proposed project is an appropriate in-fill development that will add ten new dwelling units to the City's housing stock and approximately 400 square feet of commercial space in an area that encourages the development of moderate-scale buildings with a pattern of ground floor commercial with upper story residential units. The Project will also include one unit of on-site, permanently affordable housing. No car parking is included as the Project is located in a transit rich location.

The DR requester cites the Residential Design Guidelines (RDG) as the basis for their concerns. However, the RDG do not apply in this zoning district (NCT-3). Quoting from the RDG:

"HOW ARE THE GUIDELINES USED?

Applicability

The Residential Design Guidelines apply to all residential projects in RH (Residential House) and RM (Residential Mixed) zoning districts. **They do not apply to NC (Neighborhood Commercial) Districts** or to commercial or institutional buildings within residential districts."

2) We have made the following changes in response to concerns raised by DR requester and as good neighbor gestures:

- Lightwells have been enlarged at neighbor's request. This change was made early on in the process from the time neighbor's feedback.
- The mechanical room and the elevator machine room at the roof level have been relocated away from the DR requester's building. This change reduces the shadow impact on their solar panels and was made as a response to their concerns.
- The profile of stair penthouse closest to the DR requester has been reduced to minimize the shadow impact. This change was made after filing of DR.
- The shape at the rear of the proposed building has been reversed so that the longer projecting portion of the building is on the opposite side of DR requester. This change allows more light and air at the rear of the DR requester's building at the lower level and less shading to the solar panels on their roof. This change was made after meeting with one of DR requester's tenants.

3) The project site is a small approximately 2,474 sq ft irregularly shaped lot at 25 ft wide and average of 100 ft deep. We have to accommodate two staircases and an elevator within the proposed building envelope so that does not leave much flexibility for moving things around inside or for changing the shape or size of the matching lightwells. From our observation during a visit to DR requester's building, the combined size of their lightwells and our matching lightwells is similar to the size of the lightwell the DR requester has on the other side of the building with the adjoining neighbor. The location of the two staircases in our project is limited by the separation between staircases required by the building code and the location of their lightwells. Therefore, we cannot change the location of the stair penthouses.

Some of the suggestions that DR requester has proposed as design compromises are just not workable for various reasons. Their suggestions include: reducing our project to six stories instead of eight stories, and changing the footprint of the building to a C-shaped building with a courtyard opening in the middle of the lot (this building envelope would not be code compliant).

ABBREVIATIONS			
&	AND	KIT.	KITCHEN
<	ANGLE	LN DG	LANDING
@	AT	LAV.	LAVATORY
A.	ANCHOR BOLT	L.T.	LIGHT
A.C.	ASPHALTIC CONCRETE	MAX.	MAXIMUM
ACOUS.	ACOUSTICAL	M.C.	MEDECINE CABINET
A.D.	AREA DRAIN	MECH.	MECHANICAL
ADJ.	ADJACENT	MFR.	MANUFACTURER
ALUM	ALUMINUM	MIN.	MINIMUM
AUTO	AUTOMATIC	MTD.	MOUNTED
BALC	BALCONY	MTL	METAL
BD	BOARD	MULL	MULLION
BLD	BUILDING	N/A	NOT APPLICABLE
BM	BEAM	NIC	NOT IN CONTRACT
B.O.C.	BOTTOM OF CURB	NTS	NOT TO SCALE
BTM.	BOTTOM	O/	OVER
B.S.W.	BACK OF SIDEWALK	O.C	ON CENTER
BTWN	BETWEEN	OFF.	OFFICE
CABT.	CABINET	O.H.	OVERHANG
CEM. PLAS.	CEMENT PLASTER/STUCCO	OPNG.	OPENING
C.J.	CONTROL JOINT	PERF.	PERFORATED
CL	CENTERLINE	PL.	PROPERTY LINE
CLG.	CEILING	PLAS. LAM.	PLASTIC LAMINATE
CLKG.	CAULKING	P.O.	PARTIALLY OPERABLE
CL	CLOSET	P.T.	PRESSURE TREATED, OR, POST TENSIONED
CLR	CLEAR	PTD.	PAINTED
CMU	CONCRETE MASONRY UNIT	PWD.	PLYWOOD
COL.	COLUMN	R.	RISER
CONC.	CONCRETE	REC	RECESSED
CONC.	CONNECTION	REF	REFRIGERATOR
CONT.	CONTINUOUS	REINF	REINFORCED
CONST.	CONSTRUCTION	REQD	REQUIRED
CNTR.	COUNTER	RM	ROOM
CSMT.	CASEMENT	RO	ROUGH OPENING
D.	DRYER	RWL	RAIN WTAER LEADER
DA	DRESSING AREA	S.A.D	SEE ARCHITECTURAL DRAWINGS
DBL.	DOUBLE	S.A.F.	SELF ADHERED FLASHING
DET.	DETAIL	SC	SOLID CORE
DIA.	DIAMETER	S.C.D	SEE CIVIL DRAWINGS
DIM	DIMENSION	SCH	SCHEDULE
DR.	DOOR	SEC	SECTION
D.S.	DOWNSPOUT	S.E.D	SEE ELECTRICAL DRAWINGS
DWG	DRAWING	S.F	SUBFLOOR
EA	EACH	S.G.	SAFETY GLAZING
E.J.	EXPANSION JOINT	SH	SHELF
ELEV.	ELEVATION	SHT	SHEET
ELECT.	ELECTRICAL	SIM.	SIMILAR
ENCL.	ENCLOSURE	S.L.D	SEE LANSCAPE DRAWINGS
E.P.	ELECTRICAL PANEL	S.M.	SHEET METAL
EQ	EQUAL	S.M.D.	SEE MECHANICAL DRAWINGS
EQPT	EQUIPMENT	S.P.	STANDPIPE
EXT.	EXTERIOR	S.P.D.	SE PLUMBING DRAWINGS
F.A.I.	FRESH AIR INTAKE	SPECS.	SPECIFICATIONS
FAB	FLUID APPLIED BARRIER	SQ.	SQUARE
FAM	FLUID APPLIED MEMBRANE	S.S.	STAINLESS STEEL
FAWBR	FLUID APPLIED WEATHER RESISTIVE BARRIER	S.S.D	SEE STRUCTURAL DRAWINGS
FBH	FACTORY BUILT HOUSING	S.S.C.D	SEE STRUCTURAL CONCRETE DRAWINGS
F.D.	FLOOR DRAIN	STD.	STANDARD
FDN	FOUNDATION	STL.	STEEL
F.E.	FIRE EXTINGUISHER	STOR.	STORAGE
FF	FINISH FLOOR	STRUCT.	STRUCTURAL
FIN.	FINISHED	T.B.	TOWEL BAR
FLR	FLOOR	T&G	TONGUE & GROOVE
FLSHG	FLASHING	TEL	TELEPHONE
FLEX	FLEXIBLE	TEMP. GL.	TEMPERED GLASS.
F.O.B.	FACE OF BEAM	THRES.	THRESHOLD
F.O.C.	FACE OF CONCRETE	T.O.	TOP OF
F.O.F.	FACE OF FINISH	T.O.C.	TOP OF CURB, OR, TOP OF CONCRETE
F.O.S.	FACE OF STUD	T.O.P.	TOP OF PLATE
F.O.W.	FACE OF WALL	T.O.S.	TOP OF SLAB
FT	FOOT	T.O.W.	TOP OF WALL
FTG	FOOTING	TPH.	TOILETY PAPER HOLDER
GA	GAUGE	TRD.	TREAD
G.B.	GRAB BAR	T.S.	TUBE STEEL
GL	GLASS	TYP.	TYPICAL
GLAZ	GLAZING	U.O.N.	UNLESS OTHERWISE NOTED
GSM	GALVANIZED SHEET METAL	V.C.T.	VINYL COMPOSITE TILE
GWB	GYPNUM WALL BOARD	VERT.	VERTICAL
GYP	GYPNUM	VEST.	VESTIBULE
GYPBD	GYPNUM WALL BAORD	V.G.D.F	VERTICAL GRAIN DOUGLAS FIR
H.B.	HOSE BIB	V.I.F.	VERIFY IN FILED
H.C.	HANDICAPPED (ACCESSIBLE)	W.	WASHER
HDWR.	HARDWARE	W/	WITH
H.M	HOLLOW METAL	W.C.	WATER CLOSET
HORIZ.	HORIZONTAL	WD	WOOD
HPR.	HOPPER	W.H.	WATER HEATER
H.R.	HANDRAIL	W/O	WITHOUT
HT.	HEIGHT	WDW.	WINDOW
IN.	INCHES	W.P.	WATERPROOF
INSUL.	INSULATION	W.O.	WHERE OCCURS
INT.	INTERIOR		
INTERM.	INTERMEDIATE.		
JT	JOINT		

DPW STREET IMPROVEMENT NOTES

DPW / BSM SITE MEETING REQUIRED; CALL 415-554-7149 TO ARRANGE APPOINTMENT WITH INSPECTOR.

OFFICIAL SIDEWALK SLOPE IS 1/5" PER FOOT RISE FROM CURB GRADE TO PROPERTY LINE. ALL ENTRANCES, BOTH PEDESTRIAN AND VEHICULAR, SHALL MEET SIDEWALK GRADE. ALL RAMPING SHALL BE INSIDE OF PROPERTY LINE. DRIVEWAYS AND SIDEWALKS MUST CONFORM TO CITY REQUIREMENTS. FOR FURTHER INFORMATION CALL BUREAU OF STREET USE & MAPPING @ 415-554-6060.

ALL ENCROACHMENTS INTO OFFICIAL STREET OR SIDEWALK AREAS MUST BE GRANTED IN WRITING BY THE DIRECTOR OF PUBLIC WORKS OR BY RESOLUTION OF THE BOARD OF SUPERVISORS. ALL RAMPING TO BE INSIDE PROPERTY LINE.

SEPARATE PERMIT REQUIRED FROM BUREAU OF STREET USE & MAPPING FOR POTTED PLANTS & STREET TREES IN SIDEWALK AREAS. FOR FURTHER INFORMATION CALL 415-554-6700.

DPW / BSM SIGN-OFF REQUIRED ON JOB CARD PRIOR TO DBI FINAL.

ALL WORK IS SUBJECT TO THE CONDITIONS NOTED ON PENDING DPW STREET IMPROVEMENT PERMIT (WHERE APPLICABLE).

BUILDING DEPARTMENT NOTES

2013 SAN FRANCISCO BUILDING CODE (CONSISTS 2013 CALIFORNIA BUILDING CODE W/ 2013 SFBC AMENDMENTS AND 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE); 2013 CALIFORNIA MECHANICAL, ELECTRICAL AND PLUMBING CODES; 2013 SAN FRANCISCO FIRE CODE & NFPA-13 2013 ENERGY CODE; 2013 SAN FRANCISCO HOUSING CODE.

2018 CBC CHAPTER 3:

OCCUPANCY CLASSIFICATION: MIXED USE BUILDING CONTAINING:

GROUP M, MERCANTILE

GROUP R-2, RESIDENTIAL UNITS, PRIVATE ROOF TERRACE-EXTENDED USE.

NOTE: ROOF TERRACE IS CLASSIFIED AS "A-3 FOR" THE PURPOSE OF CALCULATING THE OCCUPANT LOAD FOR EGRESS ANALYSIS ONLY.

2018 CBC CHAPTER 4:

PER SECTION 420.2 WALLS SEPARATING DWELLING UNITS FROM OTHER DWELLING UNITS AND OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708.

2018 CBC CHAPTER 5:

PER SECTION 502.1: GRADE PLANE-THE LOBBY & COMMERCIAL LEVEL IS DEFINED AS THE FIRST FLOOR.

PER TABLE 503: MAXIMUM BUILDING HEIGHT AND NUMBER OF STORIES AND AREA:

MAX. HEIGHT ALLOWED =160'-0" > PROPOSED BUILDING HEIGHT IS 84'-0".

MAX. STORIES ALLOWED =M, R-2, A-3 >11 > PROPOSED BUILDING IS 8 STORIES.

MAXIMUM AREA ALLOWED PER FLOOR:

M = UNLIMITED SQ.FT. > 1,330 SQ.FT. (GROUND FLOOR)

R-2= UNLIMITED SQ.FT. >1,964 SQ.FT. (TYPICAL FLOOR 4 - 8)

A-3= UNLIMITED SQ.FT. > 1,400 SQ.FT. (ROOF TERRACE)

PER SECT. 508.3.1 OCCUPANCY SEPARATION:

ENTIRE BUILDING COMPLIES WITH REQUIREMENTS FOR A-3 OCCUPANCY USE. THEREFORE OCCUPANCIES ARE CONSIDERED NONSEPARATED OCCUPANCIES. NO SEPARATION IS REQUIRED

PER SECT 508.3.3 EXCEPTION 2: R-2 DWELLING UNITS SHALL BE SEPARATED FROM OTHER DWELLING UNITS AND FROM OTHER OCCUPANCIES IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 420.

2018 CBC CHAPTER 6:

CONSTRUCTION TYPE: 1-B.

PER TABLE 601 FIRE RESITIVE RATING FOR BUILDING ELEMENTS:

PRIMARY STRUCTURAL FRAME: 2 HOUR. NOTE EXCEPTION "a": FIRERESISTIVE RATING OF STRUCTURAL FRAME AND BEARING WALLS ARE PERMITTED TO BE REDUCED BY 1 HOUR WHEN SUPPORTING A ROOF ONLY.

BEARING WALLS EXTERIOR: 2 HOUR NOTE: NOT LESS THAN THE FIRERESISTIVE RATING BASED UPON FIRE SEPARATION DISTANCE (TABLE 602)

BEARING WALLS INTERIOR: 2 HOUR NOTE EXCEPTION "a": FIRE RESISTIVE RATING OF STRUCTURAL FRAME AND BEARING WALLS ARE PERMITTED TO BE REDUCED BY 1 HOUR WHEN SUPPORTING A ROOF ONLY.

NON BEARING WALLS AND PARTITIONS (EXTERIOR) SHALL BE AS PER TABLE 602.

NON BEARING WALLS AND PARTITIONS (INTERIOR) CAN BE NON-RATED, BUT NOT LESS THAN THE FIRE RESISTIVE RATING REQUIRED BY OTHER SECTIONS OF THIS CODE.

FLOOR CONSTRUCTION AND SECONDARY MEMBERS: 2 HOUR

ROOF CONSTRUCTION AND SECONDARY MEMBERS: 1 HOUR

PER TABLE 602: FIRE RESISTIVE RATING REQUIRED FOR EXTERIOR WALLS BASED UPON FIRE SEPARATION DISTANCE AND OCCUPANCY.

WHERE "X" IS < 30' EXTERIOR WALLS SHALL BE: 1 HOUR

WHERE "X" IS > 30' EXTERIOR WALLS MAY BE OF NON RATED CONSTRUCTION

2013 CBC CHAPTER 7:

PER TABLE 707.3.9 THE FIRE RESISTIVE RATING FOR THE HORIZONTAL ASSEMBLY BETWEEN FIRE AREAS SHALL BE 2 HOUR

2018 CBC CHAPTER 10:

2013 CBC TABLE 1004.1.1 OCCUPANT LOAD CALCULATION: FOR OCCUPANT LOAD CALCULATION AND EGRESS COMPLIANCE OF INDIVIDUAL FLOORS SEE EXIT DIAGRAM SHEETS A0.06

PER SECTION 1007.2.1: THE ELEVATOR SHALL PROVIDE THE ACCESSIBLE MEANS OF EGRESS.

PER SECTION 1007.3. EXCEPTION 2: 48" CLEAR WIDTH BETWEEN HANDRAILS NOT REQUIRED IN FULLY SPRINKLERED BUILDING. 1007.3.1 AND 7: AREAS OF REFUGE ARE NOT REQUIRED THROUGHOUT FULLY SPRINKLERED BUILDING, INCLUDING ROOF TERRACE. EXCEPTION 7: AREAS OF REFUGE ARE NOT REQUIRED IN R-2 OCCUPANCIES. NO AREA OF REFUGE PROVIDED.

PER SECTION 1007.4: ELEVATOR SHALL COMPLY WITH THE EMERGENCY OPERATION AND SIGNALING DEVICE REQUIREMENTS OF CCOB, TITLE 8, DIVISION 1, CHAPTER 4, SUBCHAPTER 6 ELEVATOR SAFETY ORDERS. STANDBY POWER SHALL BE PROVIDED.

PER SECTION 1007.4 EXCEPTION 1: ELEVATORS ARE NOT REQUIRED TO BE ACCESSIBLE FROM AN AREA OF REFUGE IN A BUILDING EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM.

PER SECTION 1007.8 A TWO WAY COMMUNICATION SYSTEM SHALL BE PROVIDED AT ELEVATOR LANDING. COMMUNICATION SYSTEM SHALL MEET NFPA72 TWO HOUR SURVIVABILITY CONSTRUCTION REQUIREMENTS.

PER SECTION 1008.1.10: PANIC HARDWARE REQUIRED AT DOORS FROM A-3 ROOF TERRACE AND AT ANY DOOR ALONG THE MEANS OF EGRESS, PANIC HARDWARE IS NOT REQUIRED AT EXIT STAIRS FROM R-2 USE. SEE SHEET A0.06 FOR DOORS NOTED TO PROVIDE PANIC HARDWARE.

PER SECTION 1009.3.1. EXIT ACCESS STAIRWAYS ENCLOSURES SHALL BE CONSTRUCTED AS FIRE BARRIERS IN ACCORDANCE WITH SECTION 707.

PER SECTION 1009.16.1 EXCEPTION: STAIRWAY TO ROOF. IN BUILDINGS W/O AN OCCUPIED ROOF ACCESS TO THE ROOF SHALL BE PERMITTED TO BE A ROOF HATCH, NOT LESS THAN 16 SQ.FT. IN AREA. ROOF HATCH PROVIDED.

PER TABLE 1016.1: TRAVEL DISTANCE BETWEEN ANY STAIRS DOES NOT EXCEED 250'.

PER SECTION 1018.4 EXCEPTIONS: WHERE BUILDING IS EQUIPPED THROUGHOUT W/ AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE W/ SECTION 903.3.1.1. THE LENGTH OF THE DEAD END CORRIDOR SHALL NOT EXCEED 50'-0"

PER TABLE 1021.1: 2 EXITS REQUIRED, 3 PROVIDED TO ACCOMODATE TOTAL EXIT WIDTH REQUIRED FROM ROOF ASSEMBLY.

PER SECTION 1029.1, EXCEPTION1: EMERGENCY ESCAPE AND RESCUE NOT REQUIRED FOR SLEEPING ROOMS IN THIS TYPE I BUILDING.

2018 CBC CHAPTER 11 HOUSING ACCESSIBILITY:

PER SECTION 1102A.1 THE BUILDING IS EQUIPPED WITH A HOSPITAL GURNEY-SIZED ELEVATOR, AND ALL FLOORS SERVED BY THE ELEVATOR OR DIRECTLY ACCESSIBLE TO THE STREET ARE ACCESSIBLE AND ADAPTABLE.

PER SECTION 1107A DEFINITIONS: LEVEL AREA IS SPECIFIED AS A SURFACE THAT DOES NOT HAVE A SLORE IN ANY DIRECTION EXCEEDING 1/4" PER FOOT FROM THE HORIZONTAL. NO AREA ON AN ACCESSIBLE ROUTE SHALL EXCED THIS REQUIREMENT.

PER SECTION 1134 A.2 SINGLE COMPLYING BATHROOM OPTION UTILIZED, AS DESIGNATED ON FLOOR PLANS WITH "AWC". SECONDARY BATHROOM DESIGNATED WITH "WC".

FIRE DEPARTMENT NOTES:

2013 CBC CHAPTER 4:
PER SECTION 420.5 AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS THAT HAVE AN ATTACHED GARAGE.

PER SECTION 420.4.1.1 CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM PERMANENT BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. CARBON MONOXIDE ALARM MAY BE COMBINED WITH SMOKE ALARM.

2013 CBC CHAPTER 9:

PER SECTIONS 903.2.8 AND 903.2.10 BUILDING TO BE FULLY SPRINKLERED THROUGHOUT

PER SECTION 903.3.1.1 SPRINKLER SYSTEM REQUIRED TO MEET NFPA 13 2010 EDITION: LIGHT HAZARD- THIS IS A RESIDENTIAL BUILDING. NOTE: SEWER CONNECTIONS TO FIRE SPRINKLER DRAINS ARE NOT PERMITTED IN AN ENCLOSED STAIRWAY.

PER SECTION 905.2 STANDPIPE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THIS SECTION AND NFPA 14.
PER SECTION 905.3 STANDPIPE SYSTEM IS ALLOWED TO BE COMBINED WITH THE AUTOMATIC SPRINKLER SYSTEM

PER SECTION 905.3.1 EXCEPTION 1: A CLASS I STANDPIPE SYSTEM IS PERMITTED IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM.

PER SECTION 905.4 CLASS I STANDPIPE HOSE CONNECTION SHALL BE PROVIDED EACH STAIRWELL AT EACH LEVEL AND AT THE ROOF AND SHALL BE INTERCONNECTED AT THE BOTTOM.

PER SECTION 906.1 PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED ON EACH LEVEL. THEY SHALL BE LOCATED WITHIN A MAXIMUM OF 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING. EXTINGUISHERS MEET NFPA 13 AS ABOVE AND SAN FRANCISCO FIRE DEPARTMENT ADMINISTRATE BULLETINS. SEPARATE ELECTRICAL AND PLUMBING PERMITS ARE REQUIRED.

A FIRE ALARM SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 907.2.9.

A SMOKE ALARM SYSTEM SHALL BE PROVIDED IN ACCORANCE WITH 907.2.11.2.

PER SECTION 907.2.11.3 WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE SMOKE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS WITHIN THE INDIVIDUAL UNIT AND SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE.

PER SECTION 9072.11.4 SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP.

PER SECTION 912 FIRE DEPARTMENT CONNECTIONS REQUIRED AT BOTH STREET FRONTAGES

THIS BUILDING IS R-2 RESIDENTIAL BUILDING OVER A S-2 PARKING GARAGE. PROVIDE A LOCK BOX PER FIRE DEPARTMENT DISTRICT INSPECTOR.

LOW LEVEL EXIT SIGNS REQUIRED WITH GENERAL EXIT SIGNS.

FFHA COMPLIANCE

SAFE HARBOR

THE SAFE HARBOR USED IS THE HUD FAIR HOUSING ACT GUIDELINES (1991) AND THE SUPPLEMENTAL NOTICE TO THE FAIR HOUSING ACT GUIDELINES: QUESTIONS AND ANSWERS (1994), ALONG WITH ANS A17.1-2003 FOR THE COMMON AREAS.

ACCESSIBLE PRIVATE DECKS

EXTERIOR PRIVATE DECKS SHALL BE ACCESSIBLE WHEN USEABLE DEPTH IS GREATER THAN 24" NOTE: THIS DEPTH REQUIREMENT IS STRICTER THAN THE 30" DEPTH THAT IS PERMITTED PER SAN FRANCISCO POLICY AND THEREFORE WILL GOVERN.

PLANNING DEPARTMENT NOTES

LOT AREA: 2,474 SQUARE FEET

ZONING DISTRICT:

NCT-3 MODERATE SCALE NEIGHBORHOOD COMMUNITY TRANSIT DISTRICT: NO DENSITY LIMIT. 40% 2-BR UNITS REQUIRED. FIVE 2-BR UNITS PROVIDED OUT OF TEN UNITS TOTAL = 50% 2-BR UNITS.

HEIGHT / BULK LIMIT:

85-X

REAR YARD SETBACK:

25% REQUIRED PER 134(6) THE PROJECT WILL SEEK A MODIFICATION FOR REAR YARD SETBACK

USABLE OPEN SPACE:

80 SF PER UNIT PRIVATE OR 100 SF PER UNIT COMMON REQUIRED:
PRIVATE AREA PROVIDED:
UNIT 202 - 841 SF PRIVATE TERRACE
UNIT 101 - 112 SF PRIVATE TERRACE
COMMON AREA REQUIRED:
8 UNITS X 100 SF COMMON AREA = 800 SF REQUIRED
COMMON AREA PROVIDED:
884 SF COMMON TERRACE PROVIDED ON ROOF

FLOOR AREA RATIO (F.A.R.):

NOT APPLICABLE

AUTOMOBILE PARKING:

0 SPACES REQUIRED
0 PARKING SPACES PROVIDED.

BICYCLE PARKING:

RESIDENTIAL: (10) CLASS I AND (1) CLASS II SPACES REQUIRED
COMMERCIAL: (1) CLASS I AND (2) CLASS II SPACES REQUIRED

GROSS BUILDING AREAS: TOTAL AREA: RESID. SALABLE AREA: COMM. SALABLE AREA

GROUND FLOOR:			
COMMERCIAL:	396 SF		
STAIRS/ELEV/HALL:	1,114 SF		424 SF
UNIT:	765 SF	765 SF	
SUBTOTAL:	2,275 SF		
SECOND FLOOR:			
UNITS:	1,493 SF	1,493 SF	
COMMON AREAS:	489 SF		
SUBTOTAL:	1,982 SF		
THIRD FLOOR:			
UNITS:	1,533 SF	1,533 SF	
COMMON AREAS:	489 SF		
SUBTOTAL:	2,022 SF		
FOURTH FLOOR:			
UNITS:	1,674 SF	1,674 SF	
COMMON AREAS:	332 SF		
SUBTOTAL:	2,006 SF		
FIFTH FLOOR:			
UNITS:	1,692 SF	1,692 SF	
COMMON AREAS:	332 SF		
SUBTOTAL:	2,024 SF		
SIXTH FLOOR:			
UNITS:	1,674 SF	1,674 SF	
COMMON AREAS:	332 SF		
SUBTOTAL:	2,006 SF		
SEVENTH FLOOR:			
UNITS:	1,692 SF	1,692 SF	
COMMON AREAS:	332 SF		
SUBTOTAL:	2,024 SF		
EIGHTH FLOOR:			
UNITS:	1,674 SF	1,674 SF	
COMMON AREAS:	332 SF		
SUBTOTAL:	2,006 SF		
TOTAL GROSS AREA:	16,345 SF	12,197 SF	424 SF

LEGEND			
ELEC.	ONE-WAY SWITCH	TWO-WAY SWITCH	DIMMER SWITCH
	24 HOUR TIMERSWITCH	DUPLEX RECEPTACLE	FLOOR DUPLEX RECP. W/ REMOVABLE FLUSH COVER
	FOURPLEX RECEPT.	DIRECT CONNECTION RECEPTACLE	RECEPTACLE STRIP (OUTLETS 6 6" O.C.)
	RECESS MOUNTED ELEC. PANEL BOX	TELEPHONE RECEPT. (W/ WALL MTR.)	CEILING METER
	SURFACE-MOUNTED INCANDESCENT LIGHT FIXTURE AT WALL. PC=FULL CHAIN, LV=LOW VOLTAGE	SURFACE-MOUNTED INCANDESCENT LIGHT FIXTURE AT CEILING. PC=FULL CHAIN, LV=LOW VOLTAGE	RECESSED INCANDESCENT LIGHT FIXTURE AT CEILING. (H: HEAT LAMP, LV: LOW VOLT.)
	RECESSED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING.		
		UNDER CABINET FLOOR. LIGHT STRIP	FLUORESCENT LIGHT FIXTURE
		INCANDESCENT TRACK LIGHT FIXTURE	HALOGEN TRACK LIGHT FIXTURE
		T.V. OUTLET; VIACOM COMPATIBLE CABLE	INTERCOM
		ELECTRIC METER	
		EXHAUST FAN	GAS METER
		GAS HOOK-UP	FLOOR SUPPLY
		FLOOR RETURN	CEILING SUPPLY
		CEILING RETURN	WALL/TOE SPACE SUPPLY
		WALL/TOE SPACE RETURN	ELECTRIC KITCHEN HEATER
		LAUNDRY KITCHEN BATHROOM EXHAUST	2" DUCT
		THERMOSTAT	
MISC.	DOOR BELL	INSULATION	
			SECURITY ALARM
			SECURITY ALARM PANEL BOX

ROOM DESIGNATION LEGEND:

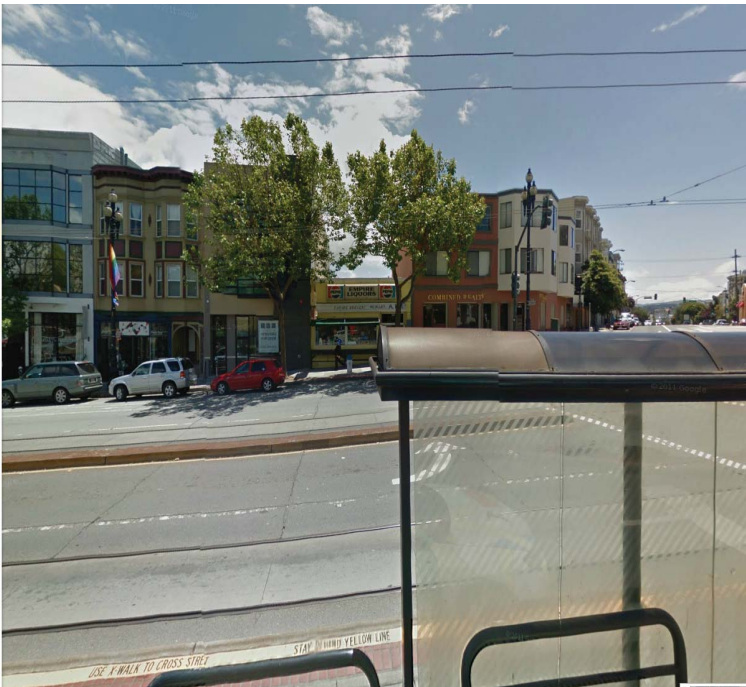
BR	BEDROOM	AWC	HANDICAP ACCESSIBLE BATHROOM
WC	BATHROOM		
DA	DRESSING AREA	K/L/D	KITCHEN LIVING DINNING ROOM



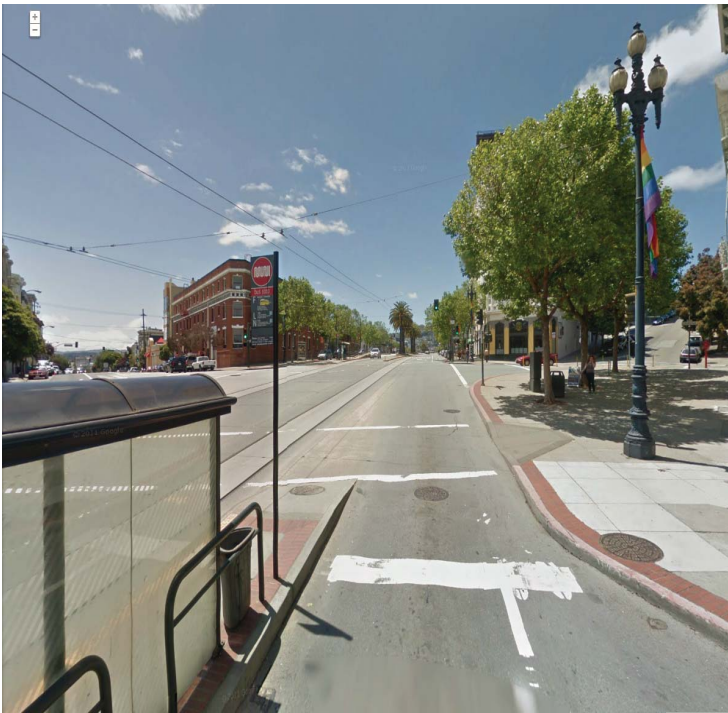
LOOKING NORTH/EAST



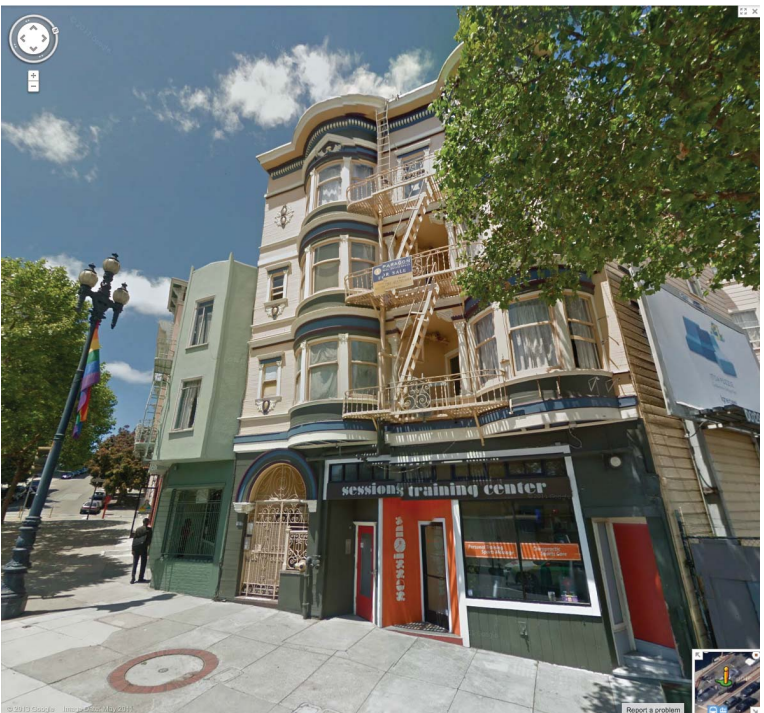
LOOKING EAST



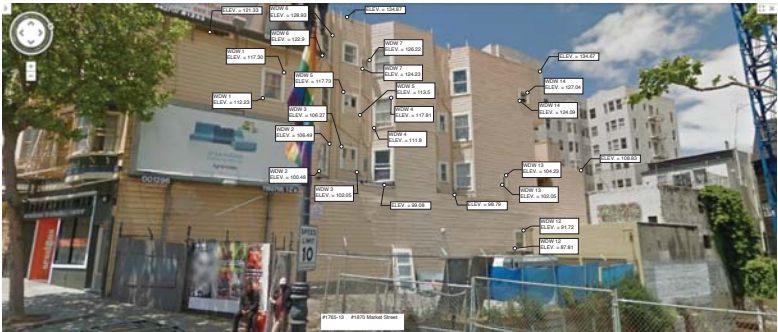
LOOKING SOUTH



LOOKING WEST



LOOKING NORTH/WEST



WESTERN NEIGHBOR'S PL WALL

WALL LEGEND:

NON RATED

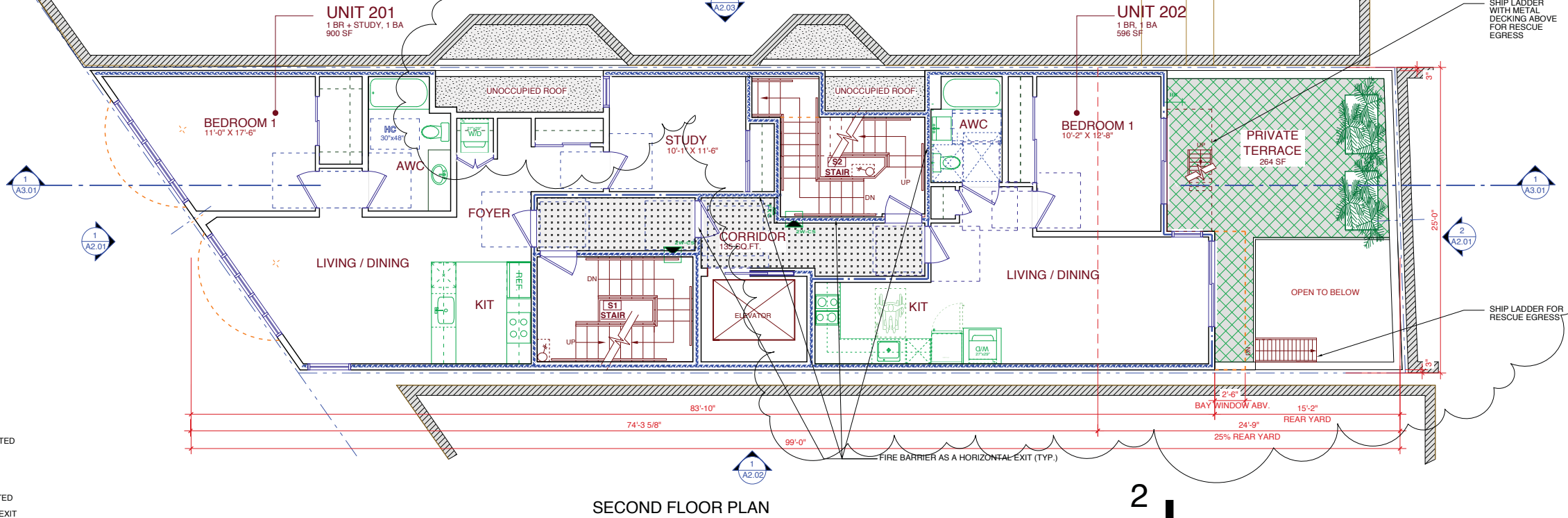
- NON RATED PARTITION
- NON RATED CONCRETE WALL
- NON RATED CONC. BLOCK WALL

1 HOUR RATED

- FIRE PARTITION: 1 HOUR RATED
- CONC. BLOCK WALL: 1 HOUR RATED

2 HOUR RATED

- CONC BLOCK WALL: 2 HOUR RATED
- FIRE BARRIER: SHAFT (AND OR EXIT ENCLOSURE) 2-HOUR RATED WALL
- FIRE BARRIER: HORIZONTAL EXIT-2-HOUR RATED WALL
- PRIMARY STRUCTURAL ELEMENT 2-HOUR WALL - CONCRETE



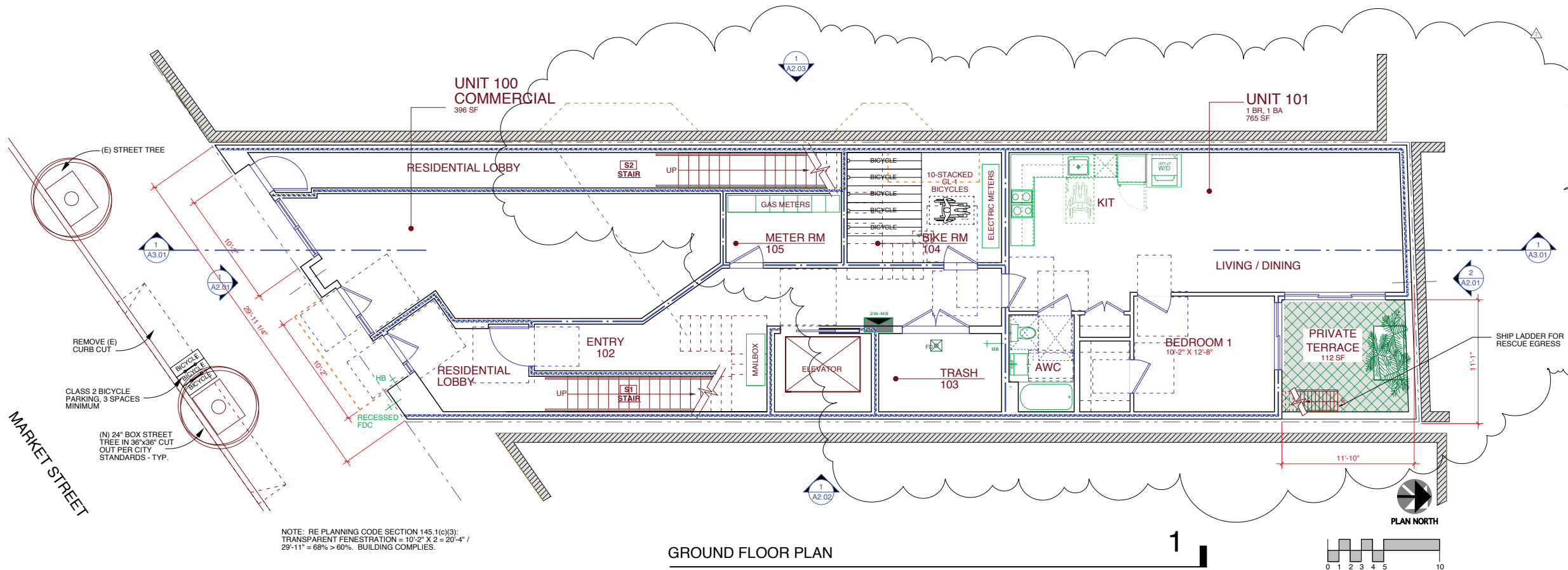
GROUND FLOOR PLAN AND
SECOND FLOOR PLAN

NEW 10 UNIT
CONDOMINIUM BUILDING
1870 MARKET STREET
BLOCK 0871 LOT 004
SAN FRANCISCO CA

Issuance	Date
PRE-APP	03.04.15
SITE PERMIT	04.17.15
SITE PERMIT REVISION	10.15.15
ROOF REVISION	05.14.16
NEW UNIT REV	03.23.17
PLANNING COMMENTS	05.25.17

Date: 05.05.14
Scale: DS
Drawn: DS
Sheet:

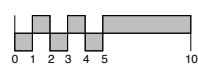
A1.01



MARKET STREET

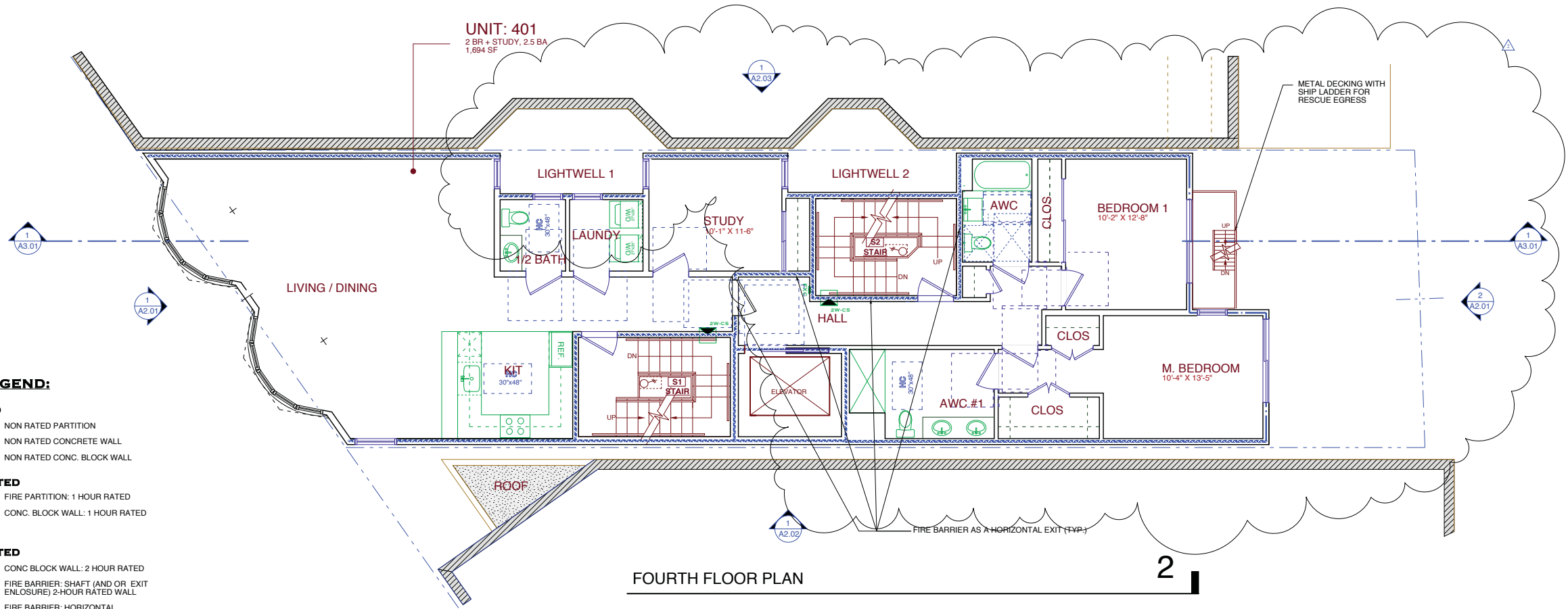
REMOVE (E) CURB CUT
CLASS 2 BICYCLE PARKING, 3 SPACES MINIMUM
(N) 24" BOX STREET TREE IN 36"x36" CUT OUT PER CITY STANDARDS - TYP.

NOTE: RE PLANNING CODE SECTION 145.1(c)(3):
TRANSPARENT FENESTRATION = 10'-2" X 2 = 20'-4" /
29'-11" = 68% > 60%. BUILDING COMPLIES.



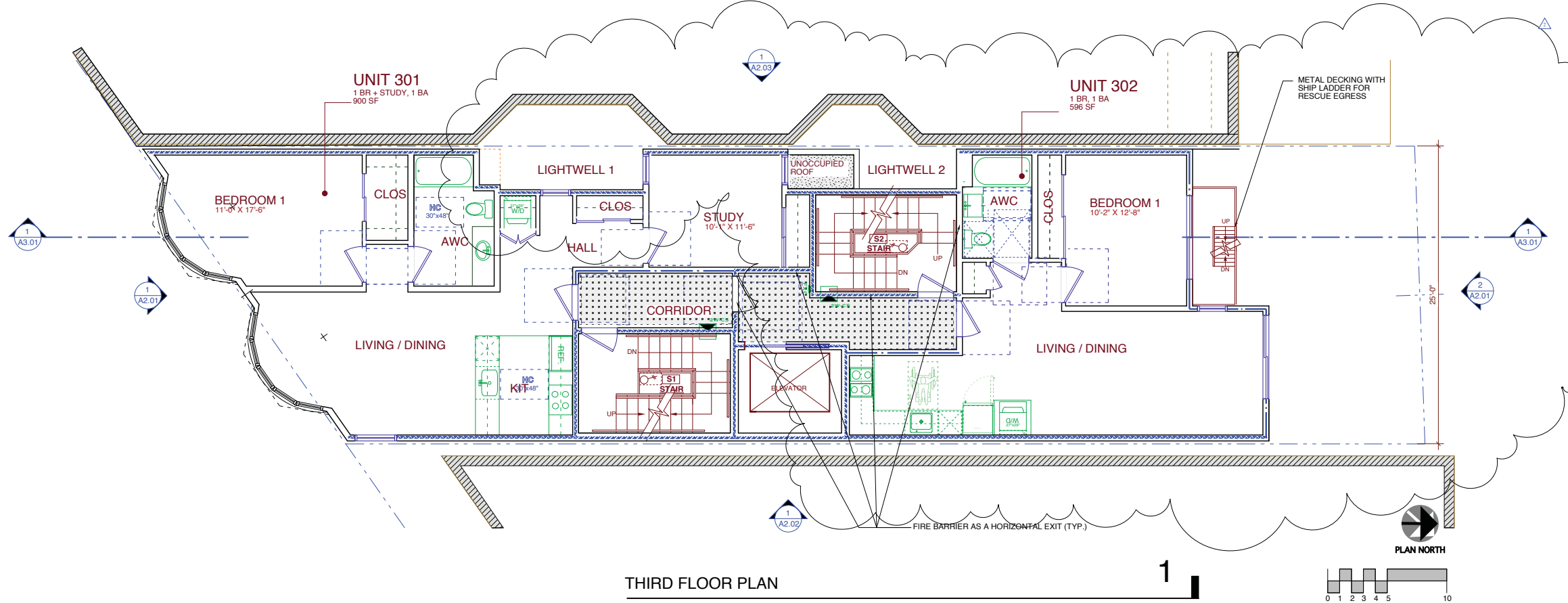
PLAN NORTH

- WALL LEGEND:**
- NON RATED**
- NON RATED PARTITION
 - NON RATED CONCRETE WALL
 - NON RATED CONC. BLOCK WALL
- 1 HOUR RATED**
- FIRE PARTITION: 1 HOUR RATED
 - CONC. BLOCK WALL: 1 HOUR RATED
- 2 HOUR RATED**
- CONC BLOCK WALL: 2 HOUR RATED
 - FIRE BARRIER: SHAFT (AND OR EXIT ENCLOSURE) 2-HOUR RATED WALL
 - FIRE BARRIER: HORIZONTAL EXIT-2-HOUR RATED WALL
 - PRIMARY STRUCTURAL ELEMENT 2-HOUR WALL - CONCRETE



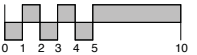
FOURTH FLOOR PLAN

2



THIRD FLOOR PLAN

1



PLAN NORTH

THIRD AND FOURTH -
EIGHTH FLOOR PLANS

NEW 10 UNIT
CONDOMINIUM BUILDING
1870 MARKET STREET
BLOCK 0871 LOT 004
SAN FRANCISCO CA

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ROOF REVISION	08.14.16
NEW UNIT REV	03.23.17
PLANNING COMMENTS	05.25.17

Date: 05.05.14
Scale:
Drawn: DS
Sheet:

A1.03

WALL LEGEND:

NON RATED

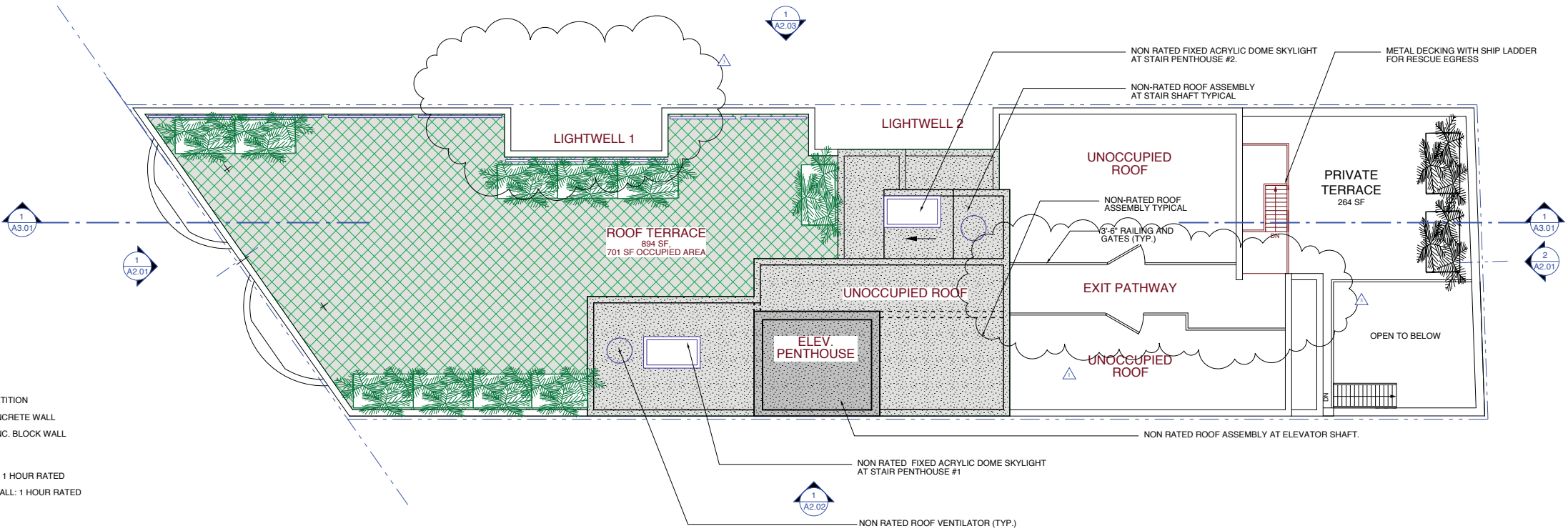
- NON RATED PARTITION
- NON RATED CONCRETE WALL
- NON RATED CONC. BLOCK WALL

1 HOUR RATED

- FIRE PARTITION: 1 HOUR RATED
- CONC. BLOCK WALL: 1 HOUR RATED

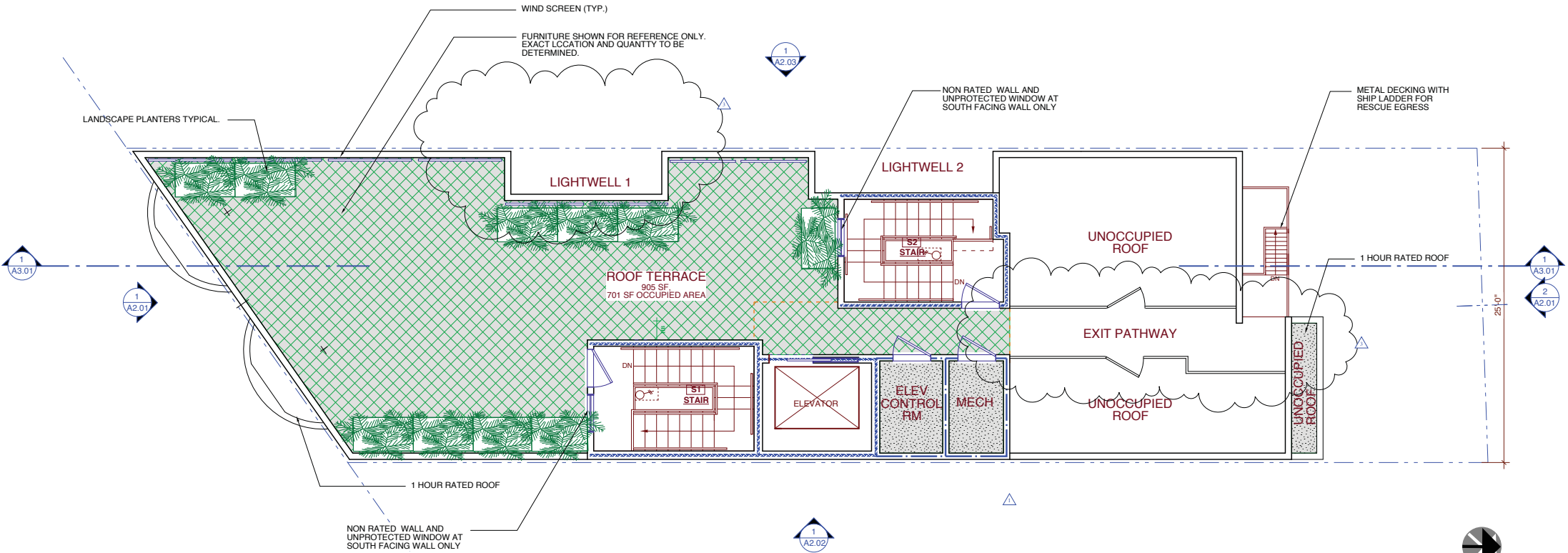
2 HOUR RATED

- CONC BLOCK WALL: 2 HOUR RATED
- FIRE BARRIER: SHAFT (AND OR: EXIT ENCLOSURE) 2-HOUR RATED WALL
- FIRE BARRIER: HORIZONTAL EXIT-2-HOUR RATED WALL
- PRIMARY STRUCTURAL ELEMENT 2-HOUR WALL - CONCRETE



UPPER ROOF PLAN

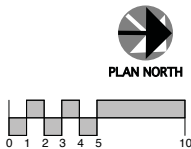
2



ROOF PLAN

1

NOTE: TOTAL ROOF AREA = 1,993 SF. 20% X 1,993 = 398.6 SF ALLOWED FOR ROOF PENTHOUSES. ROOF STAIR, ELEVATOR AND MECHANICAL PENTHOUSES TOTAL AREA = 392 SF < 398.6 SF ALLOWED. BUILDING COMPLIES.



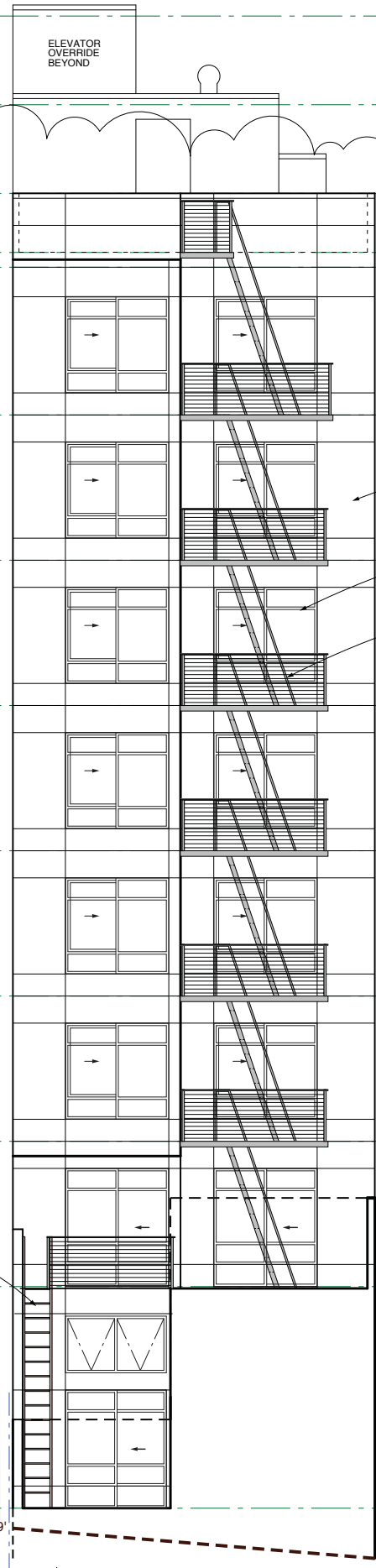
ROOF PLAN

NEW 10 UNIT
CONDOMINIUM BUILDING
1870 MARKET STREET
BLOCK 0871 LOT 004
SAN FRANCISCO CA

Issuance	Date
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ROOF REVISION	09.14.16
NEW UNIT REV.	03.23.17
PLANNING COMMENTS	05.25.17

Date: 05.05.14
Scale:
Drawn: DS
Sheet:

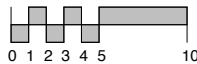
A1.06



REAR (NORTH) ELEVATION 2



FRONT (SOUTH) ELEVATION 1



1331 HARTSDEN STREET
SAN FRANCISCO, CA 94103
TEL: 415.862.9792 FAX: 415.862.9798

STERBERG
BENJAMIN
ARCHITECTS

www.sternbergbenjamin.com

DAVID
STERBERG
No. C-11102
DATE OF CALIFORNIA
EXPIRATION 12/31/2014

STERBERG
BENJAMIN
ARCHITECTS

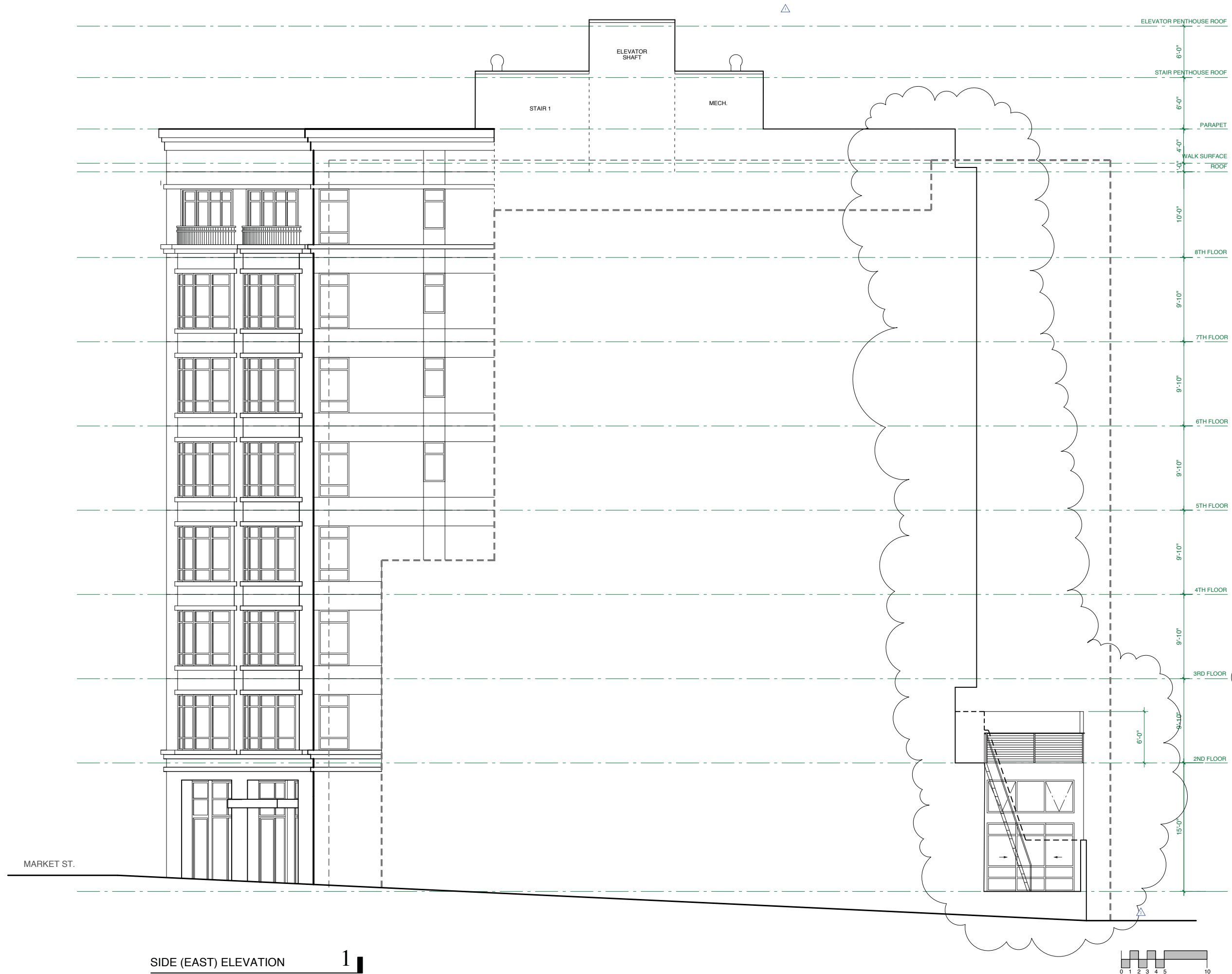
FRONT AND REAR ELEVATIONS

NEW 10 UNIT
CONDOMINIUM BUILDING
1870 MARKET STREET
BLOCK 100, LOT 4
SAN FRANCISCO, CA

Issuance	Date
PRE-APP	03.04.15
SITE PERMIT	04.17.15
SITE PERMIT REVISION	10.15.15
ROOF REVISION	09.14.16
NEW UNIT REV.	03.23.17
PLANNING COMMENTS	05.25.17

Date: 05.05.14
Scale: DS
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Sheet:

A2.01



SIDE (EAST) ELEVATION

1.

SIDE (EAST) ELEVATION

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CONDOMINIUM BUILDING
1870 MARKET STREET
BLOCK 0871 LOT 004
SAN FRANCISCO CA

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PLANNING COMMENT	05.25.17

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Scale:	
Drawn:	DS
Sheet:	

A2.02

METAL DECKING WITH
SHIP LADDER FOR
RESCUE EGRESS FROM
BEDROOMS (TYP.)

ELEVATOR
SHAFT
BEYOND

STAIR 1
BEYOND

GLASS WIND SCREEN
(TYP.)

ELEVATOR PENTHOUSE ROOF

STAIR PENTHOUSE ROOF

PARAPET

WALK SURFACE
ROOF

LIGHTWELL 2

LIGHTCOURT 1

8TH FLOOR

7TH FLOOR

6TH FLOOR

5TH FLOOR

4TH FLOOR

3RD FLOOR

2ND FLOOR

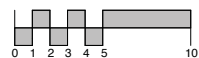
90 MIN. FIXED WINDOW
ASSEMBLY W/ FIRE
SPRINKLER PROTECTION
(TYP. AT PROPERTY LINE)

ADJACENT BLDG
FOREGROUND SHOWN
DASHED

MARKET ST.

SIDE (WEST) ELEVATION

1



SIDE (WEST) ELEVATION

NEW 10 UNIT
CONDOMINIUM BUILDING
1870 MARKET STREET
BLOCK 0871 LOT 004
SAN FRANCISCO CA

Issuance	Date
PRE-APP	03.04.15
SITE PERMIT	04.17.15
SITE PERMIT REVISION	10.15.15
ROOF REVISION	05.14.16
NEW UNIT REV	03.23.17
PLANNING COMMENTS	05.25.17

Date: 05.05.14
Scale:
Drawn: DS
Sheet:

A2.03



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ARCHITECTS

DAVID STERNBERG
No. 0-11182
2/13
Professional Seal
STATE OF CALIFORNIA

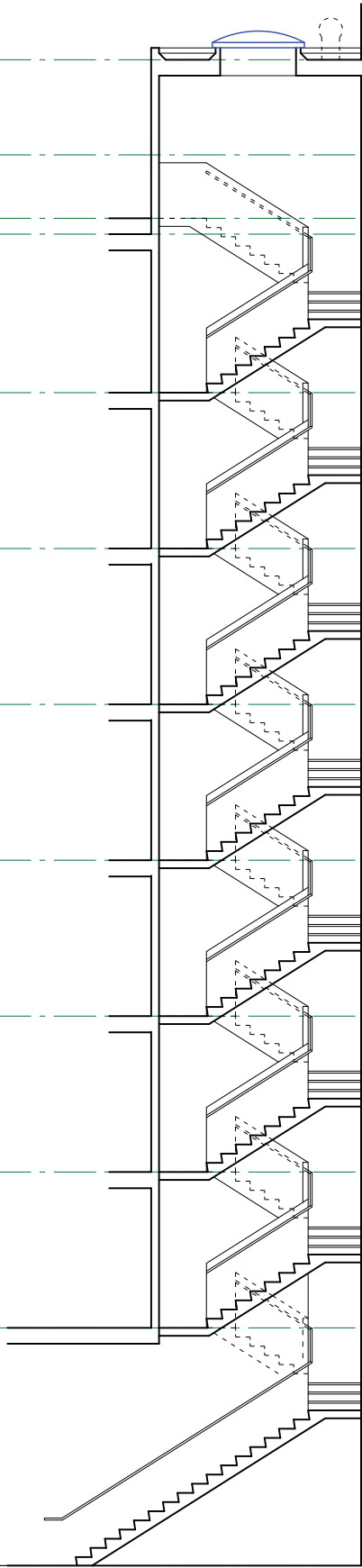
BUILDING SECTION

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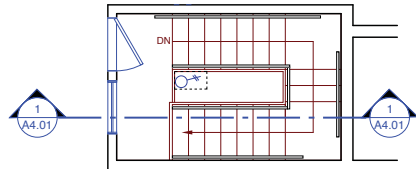
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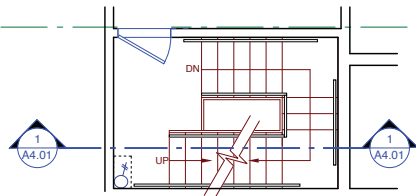


STAIR SECTION

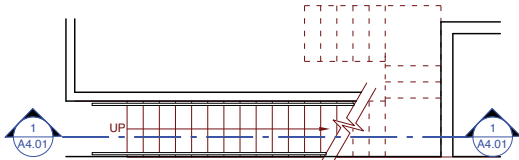
STAIR 1



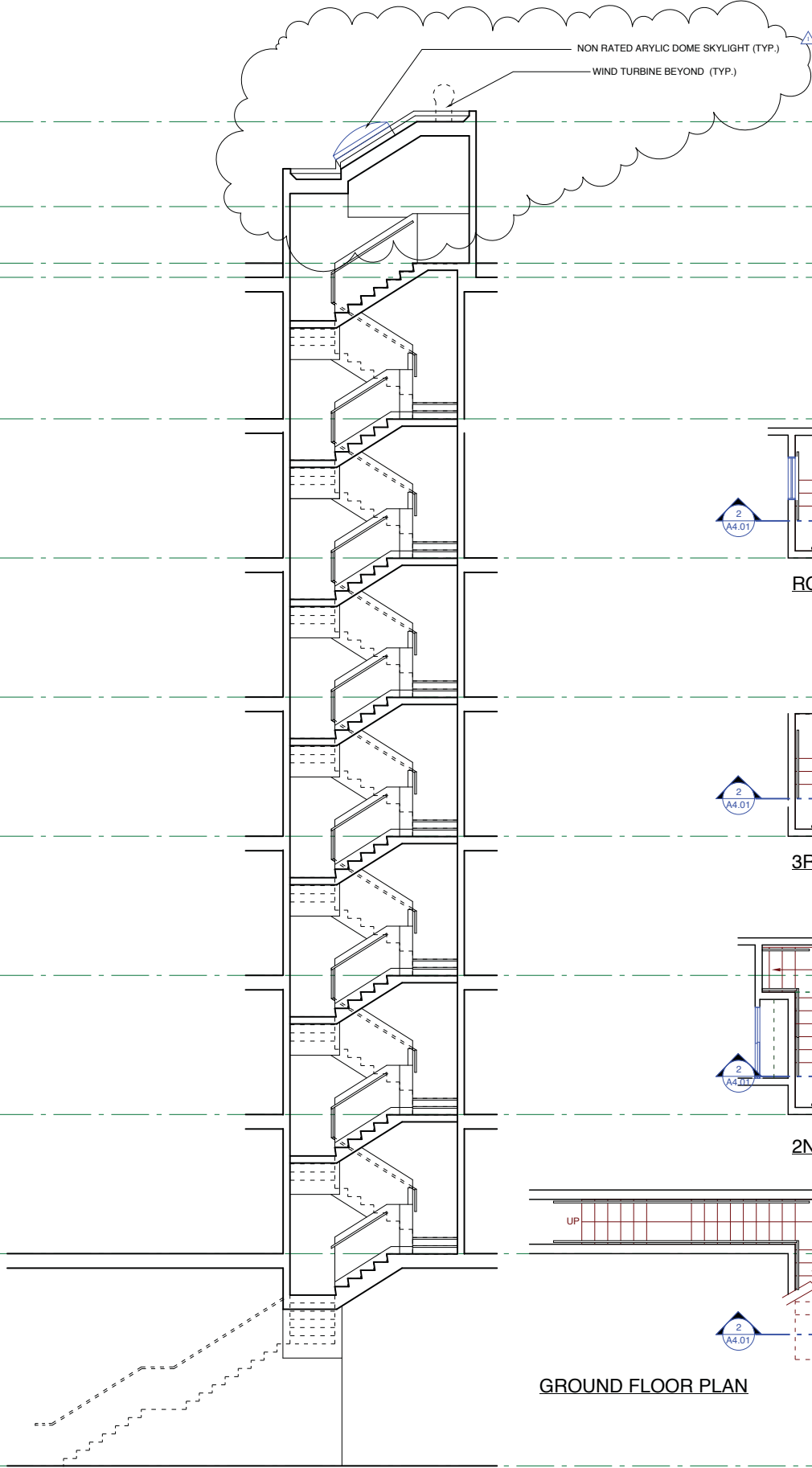
ROOF PLAN



2ND TO 8TH FLOOR PLANS

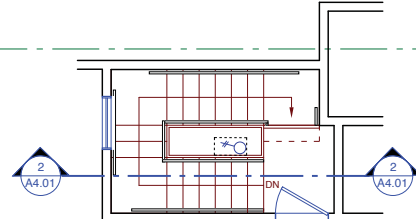


GROUND FLOOR PLAN

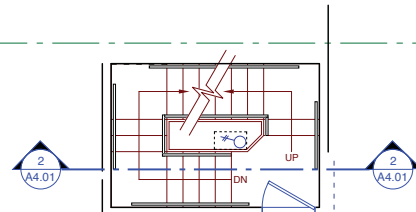


STAIR SECTION

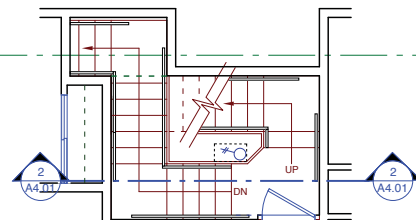
STAIR 2



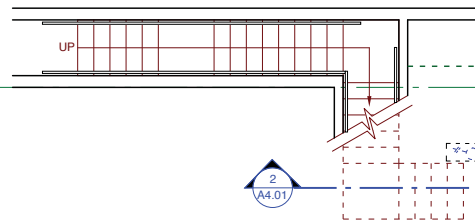
ROOF PLAN



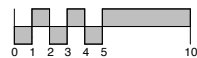
3RD TO 8TH FLOOR PLANS



2ND FLOOR PLAN



GROUND FLOOR PLAN



PENTHOUSE ROOF
6'-0"
PARAPET
4'-0"
WALK SURFACE
1'-0"
ROOF
10'-0"
8TH FLOOR
9'-10"
7TH FLOOR
9'-10"
5TH FLOOR
9'-10"
5TH FLOOR
9'-10"
4TH FLOOR
9'-10"
3RD FLOOR
9'-10"
2ND FLOOR
15'-0"

STAIR SECTIONS

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1870 MARKET STREET
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A4.01

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