



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis

HEARING DATE: JANUARY 22, 2015

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: January 15, 2015
Case No.: **2014.0728DDD**
Project Address: **130 RANDALL STREET**
Permit Application: 201404113060
Zoning: RH-2 [Residential House, Two-Family]
40-X Height and Bulk District
Block/Lot: 6656/022
Project Sponsor: Christian Dauer
ChrDAUER Architects
1 Arkansas St. D2
San Francisco, CA 94107
Staff Contact: Marcelle Boudreaux – (415) 575-9140
Marcelle.Boudreaux@sfgov.org
Recommendation: **Do not take DR and approve as proposed**

PROJECT DESCRIPTION

The project proposes a one- story vertical addition, a three-story rear addition, façade alterations, and the addition of a roof deck with stair penthouse to an existing two-story single-family dwelling. A deck is proposed in the rear yard. This one-story vertical addition would expand the residential building from approximately 1,235 square feet to 3,057 square feet. The original information provided, as per City records, indicated the existing house measured 837 square feet. No variances are required.

SITE DESCRIPTION AND PRESENT USE

The project site is a residential lot approximately 25 feet wide by 100 feet deep. The lot contains a two-story, single-family building, both stories within the same footprint with exception of a small rear pop-out addition at the second level, housing one bedroom. The ground level consists of the main recessed entry area, a garage and unconditioned storage space. The main living area is on the second floor, which consists of three bedrooms, one bathroom, a kitchen and an open living space. The property is located on the northern side of the street, and the property gently slopes downward to the north.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The property is located in the Glen Park neighborhood. The streetface exhibits a consistent pattern of structures two- and three- stories above garage built to the front property line. Density is primarily single-family dwellings and two-unit buildings. Abutting the property to the east is a two-unit dwelling, of similar building form. Abutting the property to the west is a single-family dwelling, two floors over garage with gable roof. The neighborhood gently slopes downward towards the north.

BUILDING PERMIT NOTIFICATION

| TYPE | REQUIRED PERIOD | NOTIFICATION DATES | DR FILE DATE | DR HEARING DATE | FILING TO HEARING TIME |
|------------|-----------------|------------------------------------|---------------------|------------------|------------------------|
| 311 Notice | 30 days | September 9, 2014- October 9, 2014 | October 7 & 9, 2014 | January 22, 2014 | 103 days |

HEARING NOTIFICATION

| TYPE | REQUIRED PERIOD | REQUIRED NOTICE DATE | ACTUAL NOTICE DATE | ACTUAL PERIOD |
|---------------|-----------------|----------------------|--------------------|---------------|
| Posted Notice | 10 days | January 12, 2015 | January 12, 2015 | 10 days |
| Mailed Notice | 10 days | January 12, 2015 | January 9, 2015 | 13 days |

PUBLIC COMMENT

| | SUPPORT | OPPOSED | NO POSITION |
|--|---------|-------------------------------|-------------------|
| Adjacent neighbor(s) | | | x (126-8 Randall) |
| Other neighbors on the block or directly across the street | | 2 (130 Randall & 1891 Church) | |
| Neighborhood groups | | | x |

Additionally, eight letters of support for the project as currently proposed were submitted in the DR response submittal.

DR REQUESTORS

Three separate Discretionary Review requests were filed on the building permit application. DR requestors #1, Barbara Drye and Charles Goldberg, reside at 136 Randall Street, which is adjacent to the subject property, to the east. DR requestor #2, Doug Harr, resides at 129 Randall Street, which is immediately across the street from the subject property. DR requestor #3, Jan Hammock, resides at 127 Randall Street, which is also immediately across the street.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

Discretionary Review Requestor #1 (136 Randall Street, property to the east):

Issue #1: The project will impact light in the rear of home and yard due to scale and massing of the vertical and rear addition.

Requestor's Alternatives: Firstly, provide a setback at the entire west wall of the proposed rear addition that faces open yard of 136 Randall Street, to measure approximately 3 feet 6 inches from the side property line. (The DR requestor notes that the property owner agreed to this modification, which is also reflected in the reduced plans). Second, at the rear of the proposed third level, reduce the projection approximately 5 feet to allow more light.

Issue #2: The stair penthouse will shade the skylight on east side of pitched roof.

Requestor's Alternatives: Select materials on the stair penthouse enclosure that would promote passage of light into the skylight.

See attached *Discretionary Review Application*, dated October 7, 2014.

Discretionary Review Requestor #2 (129 Randall Street, immediately across the street):

Issue #1: The project will constitute an excessively large home at a scale that is incompatible with surrounding buildings. There is an unreasonable visual impact due to the sudden change in building pattern, specifically due to the roof deck and stair penthouse components of the project.

Requestor's Alternatives: Removal of roof deck and stair penthouse to bring the project into proper scale with the neighborhood character.

See attached *Discretionary Review Application*, dated October 9, 2014.

Discretionary Review Requestor #3 (127 Randall Street, immediately across the street):

Issue #1: The project does not respect the topography, and is out of scale on the south side (downward slope). This could be precedent-setting.

Issue #2: The project's scale, in square feet, is significantly larger than existing units and buildings on the block.

Issue #3: The requestor states that Randall Street is very narrow. The proposed addition will have negative impacts on light and air.

Issue #4: This proposal will have a negative impact on the pedestrian view from the sidewalk. The project will tower over the neighbors.

Requestor's Alternative #1: Reduce the height approximately 4 to 6 feet to minimize the scale from the street. This may be able to be accomplished through excavation.

Requestor's Alternative #2: Reduce the scale of the proposal by excavating even further to maintain the goals of the program.

See attached *Discretionary Review Application*, dated October 9, 2014.

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*, January 7, 2015, from David Silverman, Reuben, Junius and Rose, LLP, attorney on behalf of the property owners.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet). The property was determined not to be an historic resource on June 5, 2014.

RESIDENTIAL DESIGN TEAM REVIEW

The height of the proposed vertical addition is contextual with the prevailing three-story street wall. At the first Residential Design Team review on July 16, 2014, the recommendations included modifications to the proposed project. RDT requested a setback of the proposed vertical and rear addition (starting at the rear building wall of the western building), in that the third floor be setback from the west side property line approximately five feet. Other requests were that the project maintain a recessed entry and that the stair penthouse design include a sloped roof to minimize impact on visibility. Upon filing of DRs, the RDT undertook further review of the project on October 30, 2014. The RDT requested a greater setback of the proposed vertical and rear addition (starting at the rear building wall of the western building), in that the *second* and third floors be setback five feet from west side property line. In response, the project sponsor selected to setback the entire proposed rear addition (starting at the rear building wall of the western building) approximately 3 feet 6 inches from the west side property line; this modification is also a request made by DR requestor #1. At a RDT review on November 12, 2014, this last modification was reviewed as suitable. The project does not contain or create any exceptional or extraordinary circumstances.

Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.

| | |
|------------------------|---|
| RECOMMENDATION: | Do not take DR and approve project as proposed |
|------------------------|---|

Attachments:

- Block Book Map
- Sanborn Map
- Zoning Map
- Aerial Photograph
- Context Photograph
- Section 311 Notice
- DR Applications and Responses
 - DR Application #1
 - DR Application #2

DR Application #3

Letters in support of discretionary review

Response to DR Applications dated January 7, 2015

Subject property supporting documents:

- Reduced Plans of 130 Randall Street, revised per RDT and DR requestor #1's input
- Photographs of street view - subject property and adjacent properties
- Support letters for project as proposed

Parcel Map

[illegible]

SUBJECT PROPERTY



Abbreviated Discretionary Review
Case Number 2014.0728DDD
 130 Randall Street

Sanborn Map*

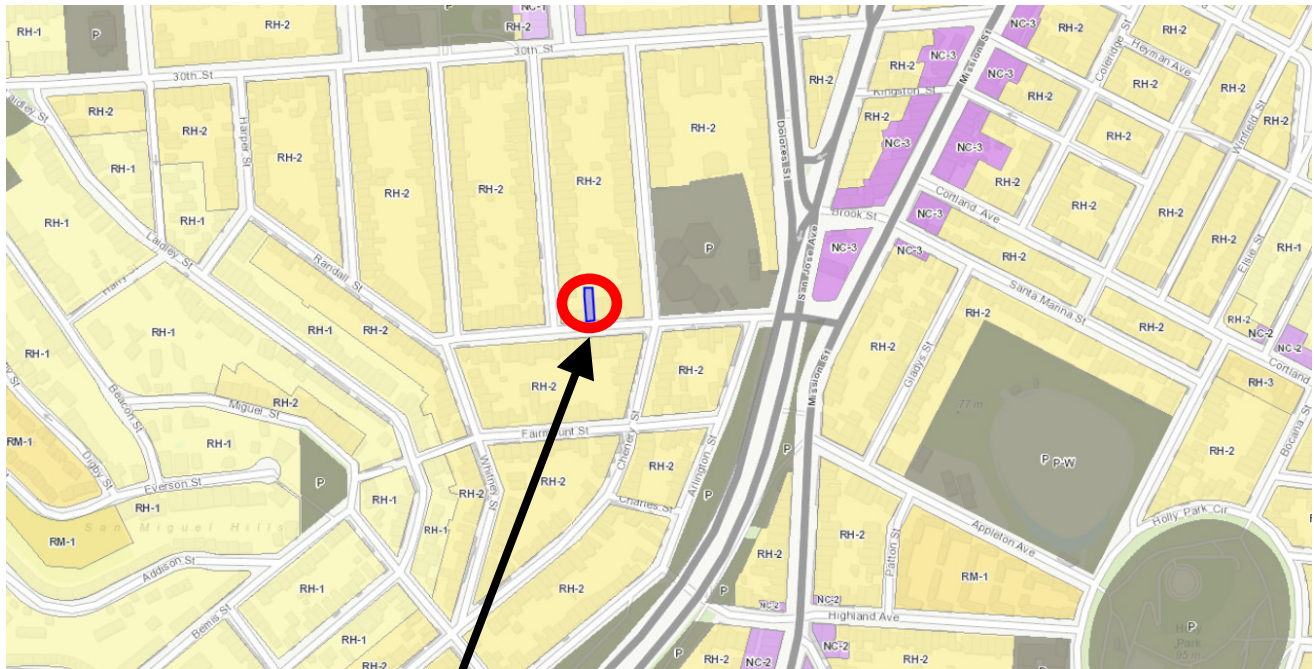


**The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.*



Abbreviated Discretionary Review
Case Number 2014.0728DDD
 130 Randall Street

Zoning Map



SUBJECT PROPERTY



Abbreviated Discretionary Review
Case Number 2014.0728DDD
130 Randall Street

Aerial Photo



DR REQUESTORS

SUBJECT PROPERTY



Abbreviated Discretionary Review
Case Number 2014.0728DDD
130 Randall Street

Context Photo



DR REQUESTORS

SUBJECT PROPERTY



Abbreviated Discretionary Review
Case Number 2014.0728DDD
130 Randall Street



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **April 11, 2014** the Applicant named below filed Building Permit Application No. **2014.04.11.3060** with the City and County of San Francisco.

| PROPERTY INFORMATION | | APPLICANT INFORMATION | |
|----------------------|-----------------------------|-----------------------|--|
| Project Address: | 130 Randall Street | Applicant: | Christian Dauer/ChrDauer Arch. |
| Cross Street(s): | Church & Chenery | Address: | 1 Arkansas St. #D2 |
| Block/Lot No.: | 6656/022 | City, State: | San Francisco, CA 94107 |
| Zoning District(s): | RH-2 / 40-X | Telephone: | 415-431-5518 chr@chrdauer.com |

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

| PROJECT SCOPE | | |
|---|--|--|
| <input type="checkbox"/> Demolition | <input type="checkbox"/> New Construction | <input type="checkbox"/> Alteration |
| <input type="checkbox"/> Change of Use | <input checked="" type="checkbox"/> Façade Alteration(s) | <input type="checkbox"/> Horizontal Addition |
| <input checked="" type="checkbox"/> Vertical Addition | <input type="checkbox"/> Side Addition | <input checked="" type="checkbox"/> Rear Addition |
| PROJECT FEATURES | EXISTING | PROPOSED |
| Building Use | Residential | No Change |
| Building Height | 19 feet to top of parapet | 29 feet to top of parapet; 37 feet to top of stair penthouse |
| Building Depth | 52 feet | No Change |
| Rear Yard | 45 feet | 33 feet to rear deck |
| Number of Stories | 2 | 3 |
| Number of Dwelling Units | 1 | No Change |
| Number of Parking Spaces | 2 | No Change |
| PROJECT DESCRIPTION | | |
| This project vertical and rear additions and façade alterations. A third story is proposed to an existing two-story single family residence. Work in the rear yard includes rear infill and a ground level deck. Façade work includes new windows, new architectural material and modified entry. Case No. 2014.0728E has determined this property not to be an historic resource. See attached plans. | | |
| The issuance of the building permit by the Department of Building Inspection would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code. | | |

For more information, please contact Planning Department staff:

Planner: Marcelle Boudreaux
Telephone: (415) 575-9140
E-mail: marcelle.boudreaux@sfgov.org

Notice Date: 9/9/14
Expiration Date: 10/9/14

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

DISCRETIONARY REVIEW APPLICATION #1

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME:

BARBARA DRYE and CHARLES GOLDBERG

DR APPLICANT'S ADDRESS:

136 RANDALL ST, SAN FRANCISCO, CA

ZIP CODE:

94131

TELEPHONE:

(415) 285-2836

(415) 699-3432-cell

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME:

CHRISTIAN DAUER/CHRISTIAN DAUER ARCHITECT (OWNERS NAMES NOT PROVIDED)

ADDRESS:

1 ARKANSAS ST. #D2, SAN FRANCISCO, CA

ZIP CODE:

94107

TELEPHONE:

(415) 431-5518

CONTACT FOR DR APPLICATION:

Same as Above ☒

ADDRESS:

ZIP CODE:

TELEPHONE:

()

E-MAIL ADDRESS:

abcdgoldberg@yahoo.com

2. Location and Classification

STREET ADDRESS OF PROJECT:

130 Randall St. San Francisco, CA

ZIP CODE:

94131

CROSS STREETS:

CHURCH ST and CHENERY ST.

ASSESSORS BLOCK/LOT:

6656 / 022

LOT DIMENSIONS:

100' X 25.6'

LOT AREA (SQ FT):

2495

ZONING DISTRICT:

RH-2

HEIGHT/BULK DISTRICT:

40X

3. Project Description

Please check all that apply

Change of Use ☐Change of Hours ☐New Construction ☒Alterations ☒Demolition ☐Other ☐

Additions to Building:

Rear ☒Front ☒Height ☒Side Yard ☐

Present or Previous Use:

Single family

Proposed Use:

Single family

Building Permit Application No. 2014.04.11.3060

Date Filed: 05/25/2014

4. Actions Prior to a Discretionary Review Request

| Prior Action | YES | NO |
|---|-------------------------------------|-------------------------------------|
| Have you discussed this project with the permit applicant? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Did you discuss the project with the Planning Department permit review planner? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Did you participate in outside mediation on this case? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Offered mediation to project owners. Declined.

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

See accompanying sheet labeled Question 5

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

The size and scale of this project are out of proportion to the neighborhood, particularly in the rear of the house. Compared to modest Victorians, the back projects 16 feet beyond our rear wall and hulks up 3 stories

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

We generally expect noise and time guidelines to be respected.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

1. We are willing to accept a 3'6" setback along the property line in the rear of the house which continues up all 3 stories. (Also offered by owners).

2. We would like a 5 foot setback on the rear facing wall of the 3rd floor (master bedroom). We would agree to a balcony there. This provides moderation between our building and that on the other side. (see attached pages).

3. Materials used on stairway enclosure that would promote passage of light into our skylight.

Supplement to Discretionary Review Request, Question 2

After construction the project will significantly shade back yard of our property. Our back yard shares 36 feet of property line with the proposed project. The current design extends past the back of our house for half of that distance and is roughly that tall. This will loom over and significantly shade the small part of our yard that gets any direct sun. The requested 3rd floor setback (see attached) will hold back the top edge of the project to reduce some of the shading of our back yard. It also is in keeping with the Neighborhood design guidelines, making the project look smaller while only reducing the project by 100 square feet (5x20) and preserving the mid-block open space.

The project also does not recognize our east skylight which functions like a light well, letting light into our house. The stair penthouse aligns with and shades the skylight.

14-0728D

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: _____

Paul D. Travis

Date: _____

10/7/2014

Print name, and indicate whether owner, or authorized agent:

Paul D. Travis

Owner ☒ Authorized Agent (circle one)

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and signed by the applicant or authorized agent.

| REQUIRED MATERIALS (please check correct column) | DR APPLICATION |
|---|-------------------------------------|
| Application, with all blanks completed | <input type="checkbox"/> |
| Address labels (original), if applicable | <input type="radio"/> |
| Address labels (copy of the above), if applicable | <input type="radio"/> |
| Photocopy of this completed application | <input type="checkbox"/> |
| Photographs that illustrate your concerns | <input checked="" type="checkbox"/> |
| Covenant or Deed Restrictions | <input checked="" type="checkbox"/> |
| Check payable to Planning Dept. | <input type="checkbox"/> |
| Letter of authorization for agent | <input type="checkbox"/> |
| Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors) | <input checked="" type="checkbox"/> |

NOTES:

☐ Required Material.

☒ Optional Material.

☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

14.07280

Applicant's Affidavit for Authorized Agent of the owner of this property.

Planning Department of San Francisco

Re: Building Permit Application No. 2014.04.11.3060 at 130 Randall St.

Discretionary review filed by:

Charles Goldberg

Barbara Drye

136 Randall St.

San Francisco, CA 94131 phone 415-285-2836, cell 415-699-3432

email abcdgoldberg@yahoo.com

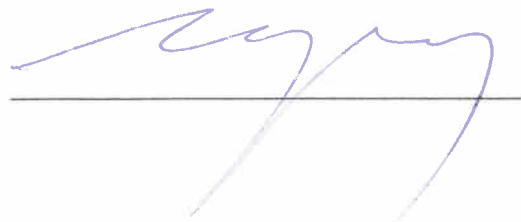
9/25/2014

We authorize Paul Travis, of 123 Randall St, 94131, 415-647-4381 to act as our agent in the application for the discretionary review in the above project.

This authorization is for the period of September 26th, 2014 to October 13, 2014.



Barbara Drye



Charles Goldberg

IV. Building Scale And Form

DESIGN PRINCIPLE: Design the building's scale and form to be compatible with that of surrounding buildings, in order to preserve neighborhood character.

BUILDING SCALE

GUIDELINE: Design the scale of the building to be compatible with the height and depth of surrounding buildings.

The building scale is established primarily by its height and depth. It is essential for a building's scale to be compatible with that of surrounding buildings, in order to preserve the neighborhood character. Poorly scaled buildings will seem incompatible (too large or small) and inharmonious with their surroundings.

A building that is larger than its neighbors can still be in scale and be compatible with the smaller buildings in the area. It can often be made to look smaller by facade articulations and through setbacks to upper floors. In other cases, it may be necessary to reduce the height or depth of the building.



This building is out of scale with surrounding buildings because it is not articulated to make it more compatible with the scale of surrounding two-story homes.

A fourth story setback and facade articulations make the building more compatible with the scale of surrounding buildings.



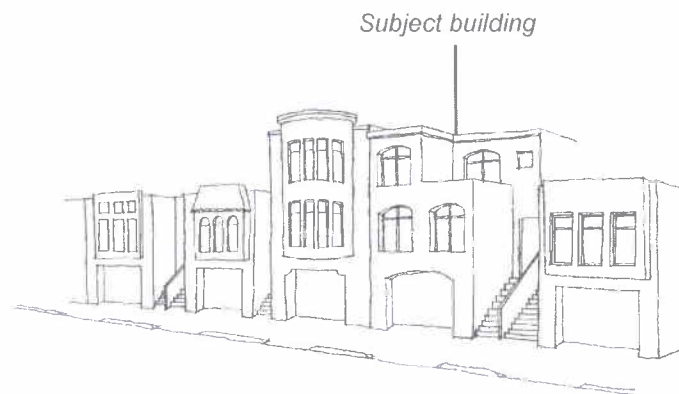
Building Scale at the Street

GUIDELINE: Design the height and depth of the building to be compatible with the existing building scale at the street.

If a proposed building is taller than surrounding buildings, or a new floor is being added to an existing building, it may be necessary to modify the building height or depth to maintain the existing scale at the street. By making these modifications, the visibility of the upper floor is limited from the street, and the upper floor appears subordinate to the primary facade. The key is to design a building that complements other buildings on the block and does not stand out, even while displaying an individual design.

Refer to Planning Code Section 130, 136 and 250 for setbacks, permitted obstructions and height limits.

A partial third-story setback provides a transitional height to the adjacent two-story building and maintains the scale of the buildings at the street level.





Although the Planning Code allows a three-story addition extending into the rear yard, the addition is substantially out of scale with surrounding buildings and impacts the rear yard open space.



A two-story addition with a pitched roof lessens the impacts of the addition and is more in scale with the rear of the adjacent buildings.



This addition has been scaled back to two stories and is set in from the side property lines to minimize its impact.



This addition extends the full width of the lot but is set back at the second floor so the building steps down to the rear yard.



The rear stairs are setback from the side property line and their projection into the rear yard is minimized, in order to maintain the mid-block open space.

Re: Application No. 2014.04.11.3060

14.0728D

Applicant
↓ building

↓ skylight facing East

set back rooftop stairway
enclosure per se skylight.
subject
↓ building

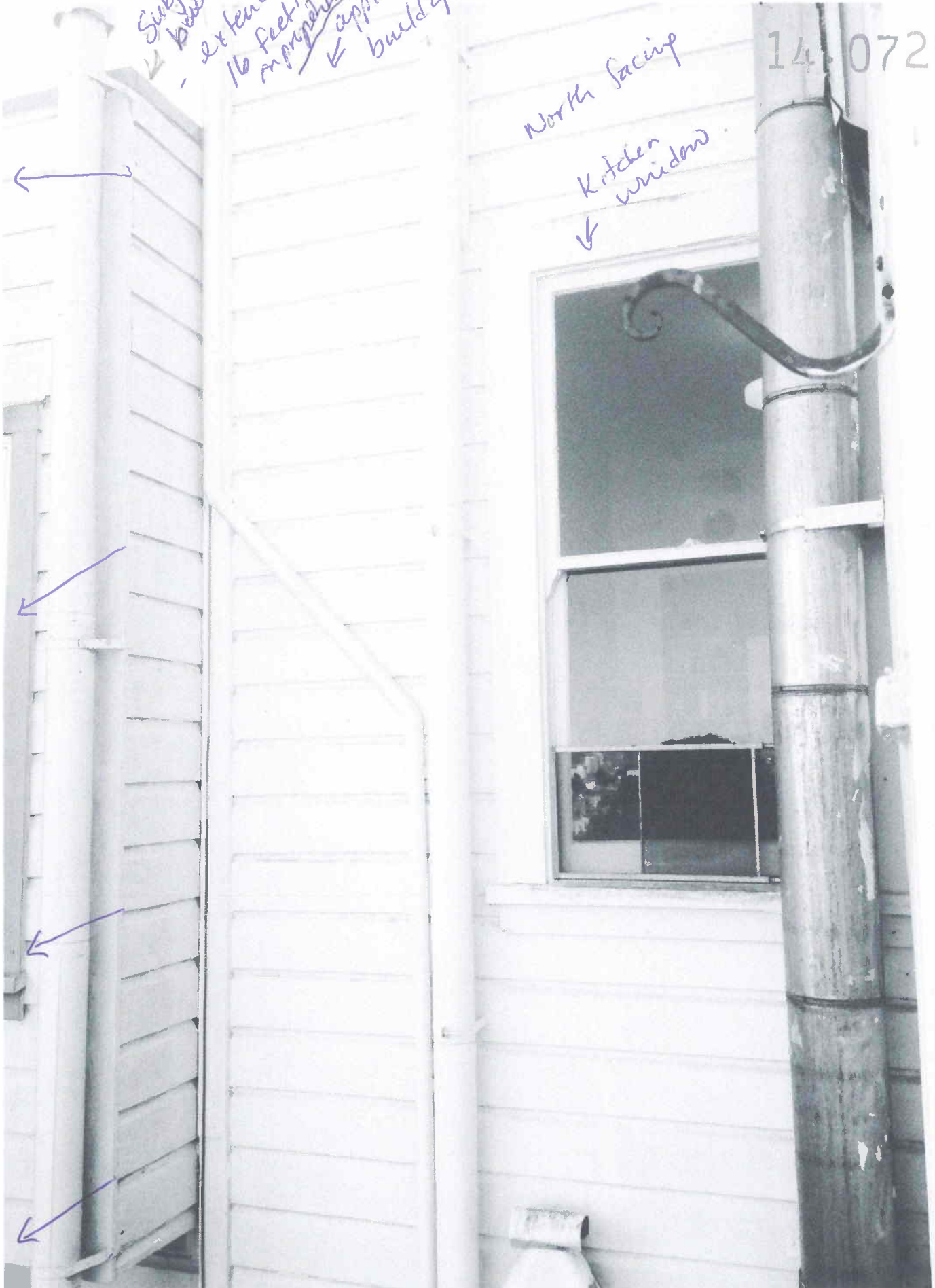


Subject
building
- extending
16 feet further
property line
← applicant
building

14-0728D

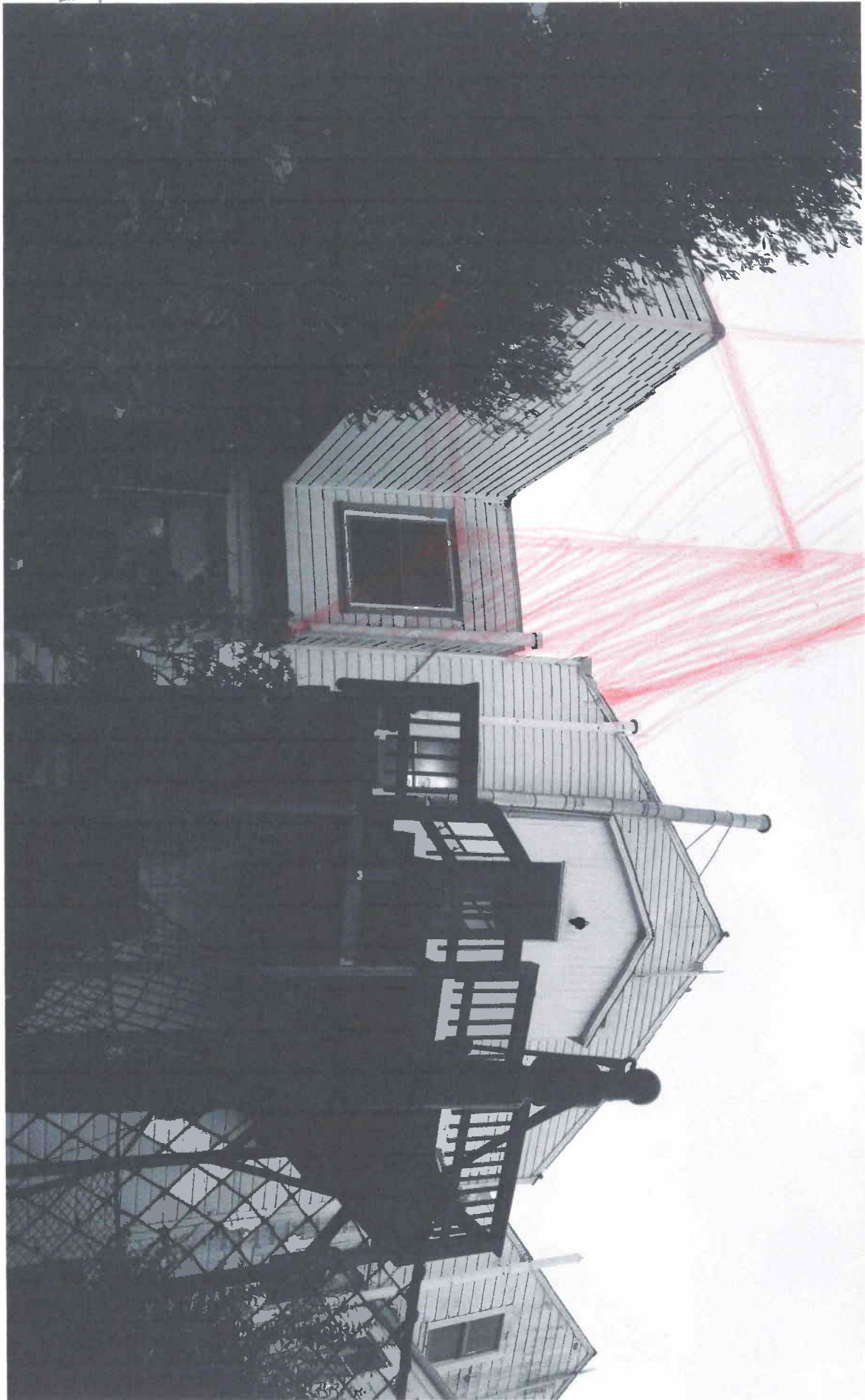
North facing

Kitchen
window
↓



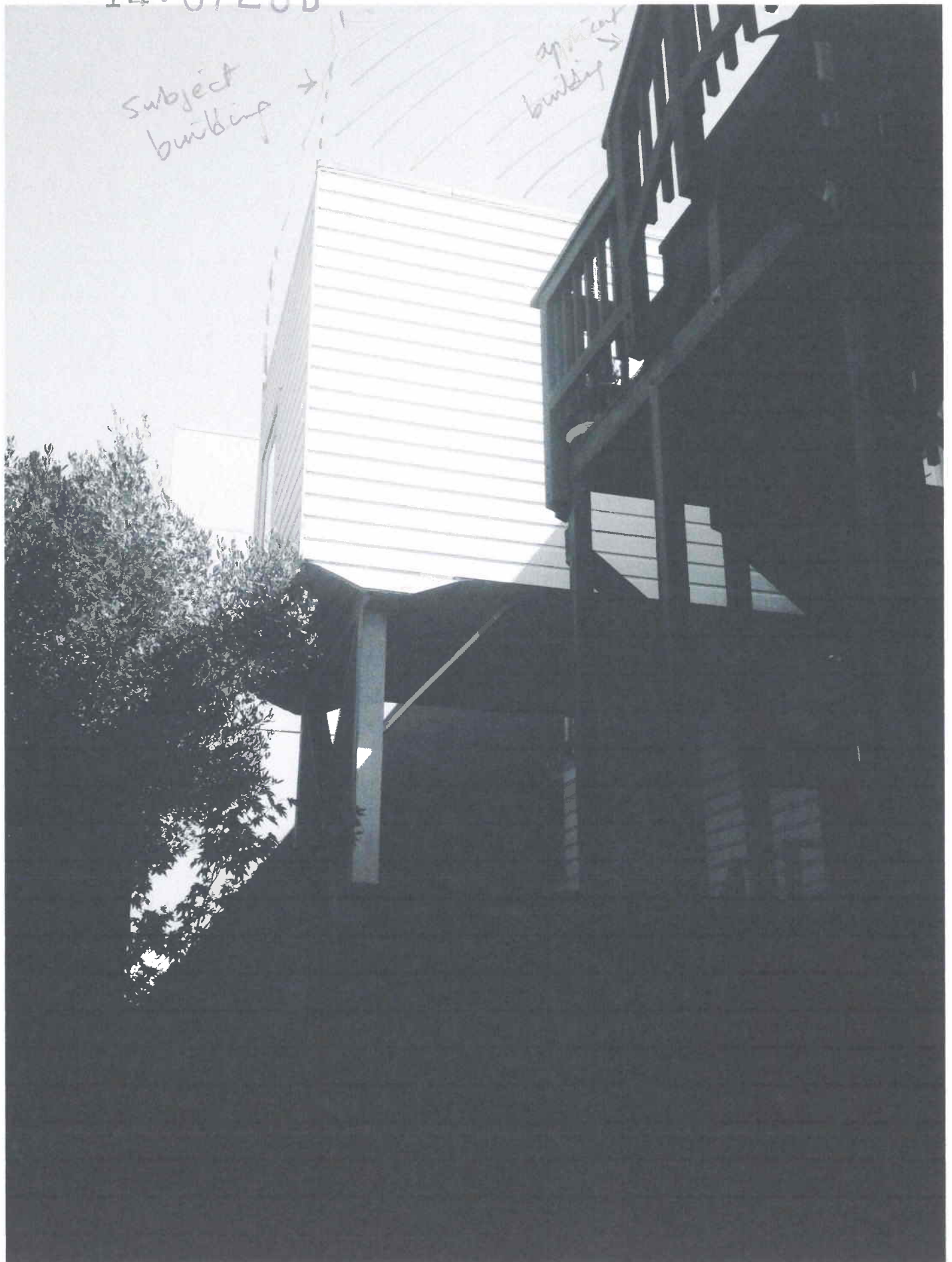
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Re: Application No 2014.04.11.3060



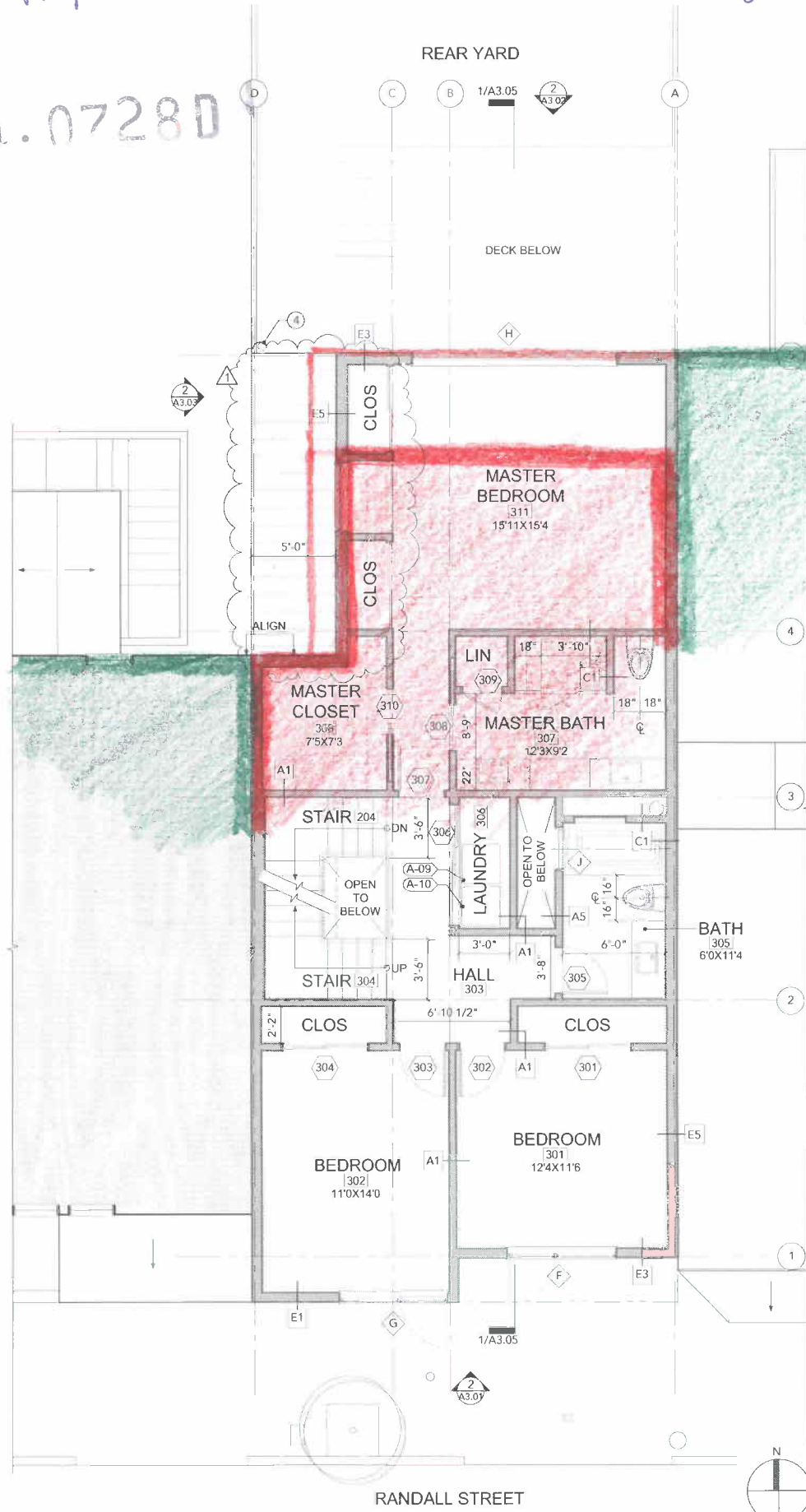
14.0728D

Re: Application No 2014.04.11.3060



Neighbor - Proposed 3rd floor set back. To mitigate rear bulk.

14.0728D



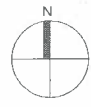
1 ARKANSAS STREET D2 SAN FRANCISCO CA 94107

KIM-MAJORS RESIDENCE
130 RANDALL STREET
SAN FRANCISCO, CA 94131

floor plan

- 12.06.13 CLIENT REVIEW
- 12.11.13 CLIENT REVIEW
- 01.13.14 STRUCTURAL REVIEW
- 01.31.14 TEAM REVIEW
- 03.02.14 PRE APP MEETING
- 04.11.14 SITE PERMIT
- 07.31.14 SITE PERMIT REV 1

SCALE 1/4" = 1'-0"
DRAWN LGZ
SHEET



1 PROPOSED SECOND FLOOR PLAN

A2.03

1. ALL DIMS. ARE TO FINISH FACE OF FINISH WALL SURFACE, U.O.N.
- 2A. GC SHALL PROVIDE & INSTALL FORMALDEHYDE-FREE BATT INSULATION:
- R 13 MIN. @ ALL EXT. WALLS OPEN FOR CONST.
- R-19 MIN. ABOVE CLGS. OF UNCOND. CRAWL, STORAGE, OR GARAGE SPACES.
- R-30 MIN. ABOVE CLGS. OF COND. SPACES BELOW ATTIC/ROOF CRAWLSPACES.
(THE ABOVE R-FACTORS MEET OR EXCEED THOSE REQUIRED BY T-24 SECTION 150 MANDATORY FEATURES & DEVICES.)
- 2B. GC SHALL PROVIDE & INSTALL FOIL FACED POLYISOCYANURATE INSULATION:
- R 13 MIN. (+2") @ UNDERSIDE OF ALL EXIST. FLOOR FRAMING ABOVE UNCOND. CRAWLSPACES W/ DIRT FLOORS.
- 2C. PROVIDE & INSTALL FORMALDEHYDE-FREE ACQUATIC BATT INSUL. @ ALL INTERIOR WALL OR PARTITIONS OPEN FOR CONST.
3. PROVIDE RECESSED BLOCKING @ ALL CABINET, BATH ACCESSORIES, & OTHER WALL HUNG ITEMS NEEDING SUPPORT.
4. SEE FINISH, DOOR, WINDOW, PLUMBING, LIGHT FIXTURE SCHEDULES FOR RESPECTIVE SPECIFICATIONS.
5. FURR-OUT ALL EXIST. WALLS TO BE FURNISHED W/NEW TILE FINISH AS REQ'D. FOR FULLY PLUMB AND CONSISTENTLY PLANAR TILE INSTALL.
6. FURR-DN ALL CEILINGS WHERE NEW FRAMING DOES NOT ALIGN W/ EXISTING TO REMAIN FOR CONTINUOUS PLANAR GWB CEILING INSTALL,TYPE.
7. PER 2013 CRC TABLE R302.6 GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS BY NO LESS THAN 5/8" TYPE X GWB OR EQUIVALENT. SEE FINISH SCHEDULE.
8. FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS & PARTITIONS INCL. FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS AT THE CEILING & FLOOR LEVELS & HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'. TYPICAL FIRE BLOCKING IS WD. 2X MATERIAL TO MATCH WIDTH OF WALL FRAMING MEMBERS.
9. REFRAME EXIST. WOOD WALLS WHEN REQUIRED DUE TO DRYROT DAMAGE, TYP.

- ① (N) AREA DRAIN
- ② (N) HOSE BIB
- ③ (N) ROOF DRAIN
- ④ (N) RAIN WATER LEADER
- ⑤ (N) CHIMNEY SHALL EXTEND AT LEAST 2 FT. HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FT. PER CBC 2113.9
- ⑥ (N) METAL GUARDRAIL @ 42" A.F.F. TYP.



14.0728



Christopher Park &
Joan Yao-Tsei Young
131 Randall Street
San Francisco, CA 94131

Arthur Bender &
Jan Hammock
127 Randall Street
San Francisco, CA 94131

Charlie Goldberg &
Barbara Drye
136 Randall Street
San Francisco, CA 94131

Artina Morton
129 Randall Street
San Francisco, CA 94131

Paul & Karen Travis
121 - 123 Randall Street
San Francisco, CA 94131

John & Jennifer
Franco c/o
James Gilleran
133 Randall Street
San Francisco, CA 94131

Suzi Lieu
117 - 119 Randall Street
San Francisco, CA 94131

Dave Doyle & Carolyn Kenline
125 Randall Street
San Francisco, CA 94131

Chrisitan Dauer
1 Arkansas Street
#D2
San Francisco, CA 94107

Susie Finch
126 Randall Street
San Francisco, CA 94131

Marion Weinreb
128 Randall Street
San Francisco, CA 94131

Blair Krueger &
Darlene Gray
1825 Church Street
San Francisco, CA 94131

Christopher Park &
Joan Yao-Tsei Young
131 Randall Street
San Francisco, CA 94131

Arthur Bender &
Jan Hammock
127 Randall Street
San Francisco, CA 94131

Charlie Goldberg &
Barbara Drye
136 Randall Street
San Francisco, CA 94131

Artina Morton
129 Randall Street
San Francisco, CA 94131

Paul & Karen Travis
121 - 123 Randall Street
San Francisco, CA 94131

John & Jennifer
Franco c/o
James Gilleran
133 Randall Street
San Francisco, CA 94131

Suzi Lieu
119 Randall Street
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Dave Doyle & Carolyn Kenline
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Chrisitan Dauer
1 Arkansas Street
#D2
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Susie Finch
126 Randall Street
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Marion Weinreb
128 Randall Street
San Francisco, CA 94131

Blair Krueger &
Darlene Gray
1825 Church Street
San Francisco, CA 94131

DISCRETIONARY REVIEW APPLICATION #

RECEIVED

APPLICATION FOR
Discretionary Review

14.072801

OCT 09 2014

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
P I C

1. Owner/Applicant Information

DR APPLICANT'S NAME:

DOUG HARR

DR APPLICANT'S ADDRESS:

129 RANDALL ST

ZIP CODE:

94131

TELEPHONE:

(415) 215 7744

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME:

JULIE KIM & JUSTIN MAJORS

ADDRESS:

260 KING ST #541

ZIP CODE:

94107

TELEPHONE:

(415) 310 8642

CONTACT FOR DR APPLICATION:

Same as Above ☒

ADDRESS:

1 ARKANSAS ST #D2

ZIP CODE:

94107

TELEPHONE:

(415) 431 5518

E-MAIL ADDRESS:

douglas_harr@yahoo.com

2. Location and Classification

STREET ADDRESS OF PROJECT:

130 RANDALL ST SF CA

ZIP CODE:

94131

CROSS STREETS:

RANDALL / CHURCH

ASSESSORS BLOCK/LOT:

6656 1022 25x100

LOT DIMENSIONS:

LOT AREA (SQ FT):

ZONING DISTRICT:

RH2

HEIGHT/BULK DISTRICT:

40X

3. Project Description

Please check all that apply

Change of Use ☐Change of Hours ☐New Construction ☒Alterations ☒Demolition ☐Other ☐

Additions to Building:

Rear ☒Front ☒Height ☒Side Yard ☐

Present or Previous Use:

Home - Residential

Proposed Use:

Residential

Building Permit Application No.

201404113060

Date Filed:

14.0728D

4. Actions Prior to a Discretionary Review Request

| Prior Action | YES | NO |
|---|-------------------------------------|-------------------------------------|
| Have you discussed this project with the permit applicant? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Did you discuss the project with the Planning Department permit review planner? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Did you participate in outside mediation on this case? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

none

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

see attached

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: _____



Date: _____

10/9/14

Print name, and indicate whether owner, or authorized agent:

OWNER

Owner / Authorized Agent (circle one)

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent.**

| REQUIRED MATERIALS (please check correct column) | DR APPLICATION |
|---|-------------------------------------|
| Application, with all blanks completed | <input checked="" type="checkbox"/> |
| Address labels (original), if applicable | <input checked="" type="checkbox"/> |
| Address labels (copy of the above), if applicable | <input checked="" type="checkbox"/> |
| Photocopy of this completed application | <input checked="" type="checkbox"/> |
| Photographs that illustrate your concerns | <input type="checkbox"/> |
| Covenant or Deed Restrictions | <input type="checkbox"/> |
| Check payable to Planning Dept. | <input checked="" type="checkbox"/> |
| Letter of authorization for agent | <input type="checkbox"/> n/a |
| Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors) | <input type="checkbox"/> |

NOTES:

☐ Required Material.☒ Optional Material.☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.


For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

1. Reasons for requesting a discretionary review.

The proposed alteration of 130 Randall Street, would in our opinion constitute an excessively large home at a scale that is incompatible with surrounding buildings. With the addition of a third level, the building arrives just feet below the peak of the adjacent property to the west – 136 Randall – although without a pitched roof which is common in that direction. The neighborhood is of mixed visual character, so there is pitched and flat roofs, so both are workable.

However with the plan to add a roof deck and penthouse on top of that great height, the project becomes something that is out of scale with adjacent properties. The roof deck will sit atop a structure that is already at the height of the adjacent properties to the north. The penthouse, into which stairs will run creates a large box on top of the already maxed out roofline, making a true eyesore for the neighborhood. Also, the light available to the west side of the penthouse will be unreasonably blocked from 136 Randall – the adjacent property.

In addition, an unprotected roof deck on the south side of Randall is unusable as it will be subject to gale force winds almost every day and night throughout the year in that location, rendering it mostly unusable in any case. Only an open railing would be reasonable for such a deck and no protection will come from that.

2. Unreasonable impacts.

The unreasonable impact in part is the visual impact of the sudden change in building pattern which places additional height atop a structure which, at three levels, will already top out at the maximum height that should be considered.

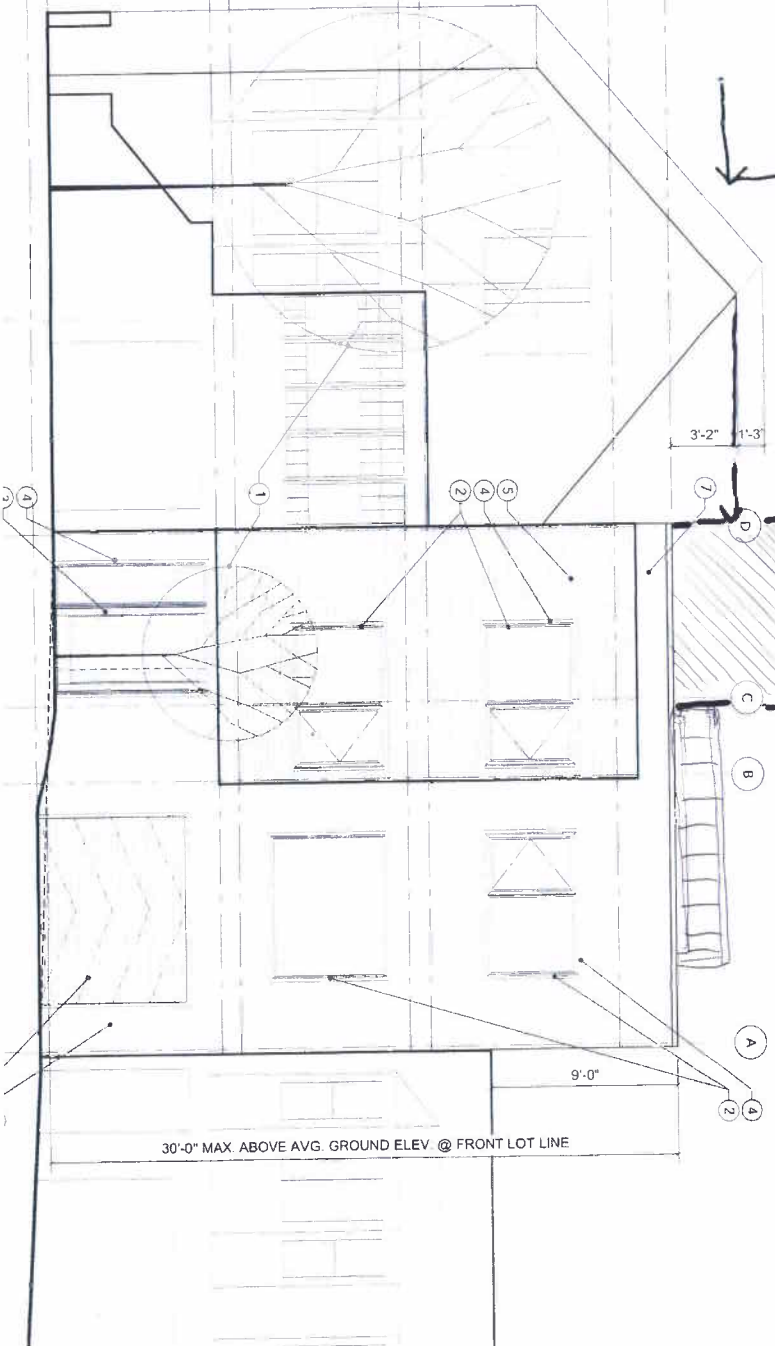
Specifically, the roof deck and penthouse accessing it constitute the excessive scale of the project.

3. Alternatives or changes to the proposed project.

One option we discussed with the applicants was removal of the penthouse, allowing for roof access via stairwell that begins on the third level, but has no roof top enclosure. This is similar to 131 Randall. The architect and applicant rejected these ideas.

Therefore it seems that only removal of the roof deck and penthouse is workable for the project to be of proper scale with the neighborhood.

- 10. PARAPET
+29'-4"
- 3RD FLOOR FIN. CLG.
+26'-9"
- 3RD FLOOR FIN. FLR.
+17'-9"
- 2ND FLOOR FIN. CLG.
+16'-9"
- 2ND FLOOR FIN. FLR. (FRONT)
+8'-8"
- 1ST FLOOR / ENTRY FIN. CLG.
+7'-8 3/4"
- ENTRY FIN. FLR.
+0'-0"
- FIN. FLR. @ GARAGE DR.
-0'-11 3/4"



*added 4.5 feet
3.5 feet
above 136 peak*

*additional height of
penthouse and deck
railing*

14-07280

14-0728D

EXISTING



PROPOSED



SEEN FROM 2ND LEVEL 129

14.07280

EXISTING



PROPOSED



SEEN FROM 3RD LEVEL
129

14-0728D

EXISTING



136

130

PROPOSED



SEEN FROM (GROUND)
(STREET LEVEL 129)

EcoFriendly Easy Peel® Labels
Use Avery® Template 5160®

Feed Paper

Bend along line to
expose Pop-up Edge™

14.07280
AVERY® 48160

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Joan Yao-Tsei Young
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DISCRETIONARY REVIEW APPLICATION #

14-0728D

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME:

IAN HAMMOCK AND JENNIFER

DR APPLICANT'S ADDRESS:

127 RANDALL STREET

ZIP CODE:

94131

TELEPHONE:

(915) 730 2587

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME:

JULIE KIM AND JUSTIN MAJORS

ADDRESS:

260 KING STREET #541 SECA 94107 ()

ZIP CODE:

TELEPHONE:

CONTACT FOR DR APPLICATION:

Same as Above ☐

CHRISTIAN DAUER/CHRDauer Arch

ADDRESS:

1 ARKANSAS ST #D2

ZIP CODE:

TELEPHONE:

(415) 431-5518

E-MAIL ADDRESS:

chr@chrdauer.com

2. Location and Classification

STREET ADDRESS OF PROJECT:

130 RANDALL STREET

ZIP CODE:

94131

CROSS STREETS:

CHURCH / CHENERY

ASSESSORS BLOCK/LOT:

66561022 25X100

LOT DIMENSIONS:

LOT AREA (SQ FT):

ZONING DISTRICT:

RH2

HEIGHT/BULK DISTRICT:

40x1

3. Project Description

Please check all that apply

Change of Use ☐Change of Hours ☐New Construction ☒Alterations ☒Demolition ☐Other ☐

Additions to Building:

Rear ☒Front ☒Height ☒Side Yard ☐

Present or Previous Use:

RESIDENTIAL

Proposed Use:

RESIDENTIAL

Building Permit Application No.

201404113060

Date Filed:

Sept 9 2014

RECEIVED

OCT 09 2014

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
P/C

4. Actions Prior to a Discretionary Review Request

| Prior Action | YES | NO |
|--|-------------------------------------|-------------------------------------|
| Have you discussed this project with the permit applicant? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Did you discuss the project with the Planning Department permit review planner? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| OWNER PASSED ON THIS OPTION ON Did you participate in outside mediation on this case? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

Ø

SEE ATTACHED
PAGES

| | |
|--------------------------------------|----------|
| Application for Discretionary Review | |
| CASE NUMBER: For Staff Use only | 14-0728D |

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and cite specific sections of the Residential Design Guidelines.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

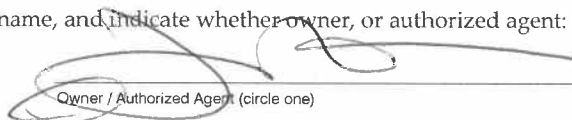
- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: _____

Date: _____

9 Oct 2014

Print name, and indicate whether owner, or authorized agent: _____

 JAN HAMMOCK

Owner / Authorized Agent (circle one)

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

| REQUIRED MATERIALS (please check correct column) | DR APPLICATION |
|---|-------------------------------------|
| Application, with all blanks completed | <input checked="" type="checkbox"/> |
| Address labels (original), if applicable | <input checked="" type="checkbox"/> |
| Address labels (copy of the above), if applicable | <input checked="" type="checkbox"/> |
| Photocopy of this completed application | <input checked="" type="checkbox"/> |
| Photographs that illustrate your concerns | <input type="checkbox"/> |
| Covenant or Deed Restrictions | <input type="checkbox"/> |
| Check payable to Planning Dept. | <input checked="" type="checkbox"/> |
| Letter of authorization for agent | <input type="checkbox"/> N/A |
| Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors) | <input type="checkbox"/> |

NOTES:

☐ Required Material.

☒ Optional Material.

☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

Discretionary Review Request

1. *What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project?*

This project is precedent setting for our neighborhood. It will change the nature of the neighborhood if this scale of building is allowed to be built as it is proposed. I request the Planning Department closely review the details of this project and make adjustments that will have a positive impact on the neighborhood and specifically the close neighbors. The minimum standards are indeed met by this project. There are several facts that need to be considered when reviewing this project. The project could be improved with following Residential Guidelines offered by the city:

- a. **The Site Design/Topography**
- b. **Building Scale: Design the scale of the building to be more compatible with the height and depth of surrounding buildings**
- c. **The negative impact on the light and air of the neighbors**
- d. **Pedestrian View improvements**

2. *The Residential Design Guidelines assume some impact to be reasonable and expected as part of the construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how.*

The Site Design/Topography: Guideline: Respect the topography of the site and the surrounding area.

The site (130 Randall Street) is located on the North side/downward slope of Fairmount Heights in Glen Park. Fairmount Heights begins at the base at 30th Street and slopes upward to Fairmount Street and then curves West to go up to Diamond Heights. Randall Street is three blocks long. The specific site has a slightly downward sloping site and built from street level and has an elevated second story on "stilts", differing from the upward slope of the neighbors across the street. This project is replacing a 850 sq. ft. single family home with a 3,200 sq. ft. single family home. If this project is built on this South side of the street (downward slope), then a floodgate may open of all the smaller home (relative to the larger ones located on the Southside of the street/upward sloping) to potentially be replaced with buildings of this height and scale, not using their downward sloping sites. This model of the buildings on the upward slope to be larger in scale than the downward slope is seen all over the city and specifically Glen Park on the streets like Laidly Street along Chenery Street and Whitney Street. This has an organic use of a hillside with each side of the street getting a fair dose of light and air. A note: all the homes on Randall Street that are downward sloping that are two story over garage are double occupancy and have either an open-space lot or a property that is set high off the street with steps across the street. Views are not protected but the light and air are key to this model provided here.

Building Scale: Design the scale of the building to be more compatible with the height and depth of surrounding buildings

The largest homes on the block of the project are 2,500, 2,200 and 2,300 sq. ft., all located on the South side/upward sloping side of the street (across the street from the proposed project.) The homes next to the project are 1,448 sq. ft. (Victorian) and 126/128 Randall Street 2,5000 sq. ft.(two units) built downward into the sloping back yard.

This project is 45% larger than the largest units across the street, 120% larger than the Victorian next door and 28% larger than the double units combined next door, and 45% larger than my building located across the street (two units combined).

The negative impact on the light and air of the neighbors.

Randall Street is very narrow and the proposed project will be directly across from me. Our family flat was severely impacted by replacing a 1200 sq. ft. house with two 2,200 and 2,300 sq. ft. units next to me 12 years ago. All the afternoon light that flooded our kitchen, hallway, bathroom and spilled in to the dining and living room was taken away. Two years ago we took down some key walls and reoriented the kitchen to receive more ambient light that comes in to our home from the front windows. This project built as-is would severely effect that light and have a grave impact on the air. The pitched roof of their neighbors allows peaks of light beyond.

The neighbors in 136 Randall Street will be negatively affected by this project. It will greatly affect their light and air in the front of their home, the sky light facing West and the back of their property will no longer receive much light. My neighbor Jennifer Gilleran lives in a 1 story over garage and works from home. She will have a large building looming over her home and affect her light and air. (Note: the prohibitive cost kept her from filing.) Another neighbor is very upset about the project and feels overwhelmed by the project but did not feel comfortable to complain due to a language barrier.

Pedestrian View:

This model of larger homes has a negative impact on pedestrian view from the sidewalk. When coming down the hill from the West, the project as represented in the project drawings is minimized by the downhill perspective. From the East on Randall Street the scale of the building will be exaggerated and towers over the neighbors.

Any person walking down the street will be affected by the scale of the building. If this project is built in this current climate who knows how many downward sloping smaller homes will be replaced with these out of scale buildings. If this project is built and the other two building to the West follow suit, there will be a wall of building along this street. This particular block of Randall Street is a major cut through street for cars going to the 280. The sound of the cars will also become worse if this were to become more like a canyon.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1.

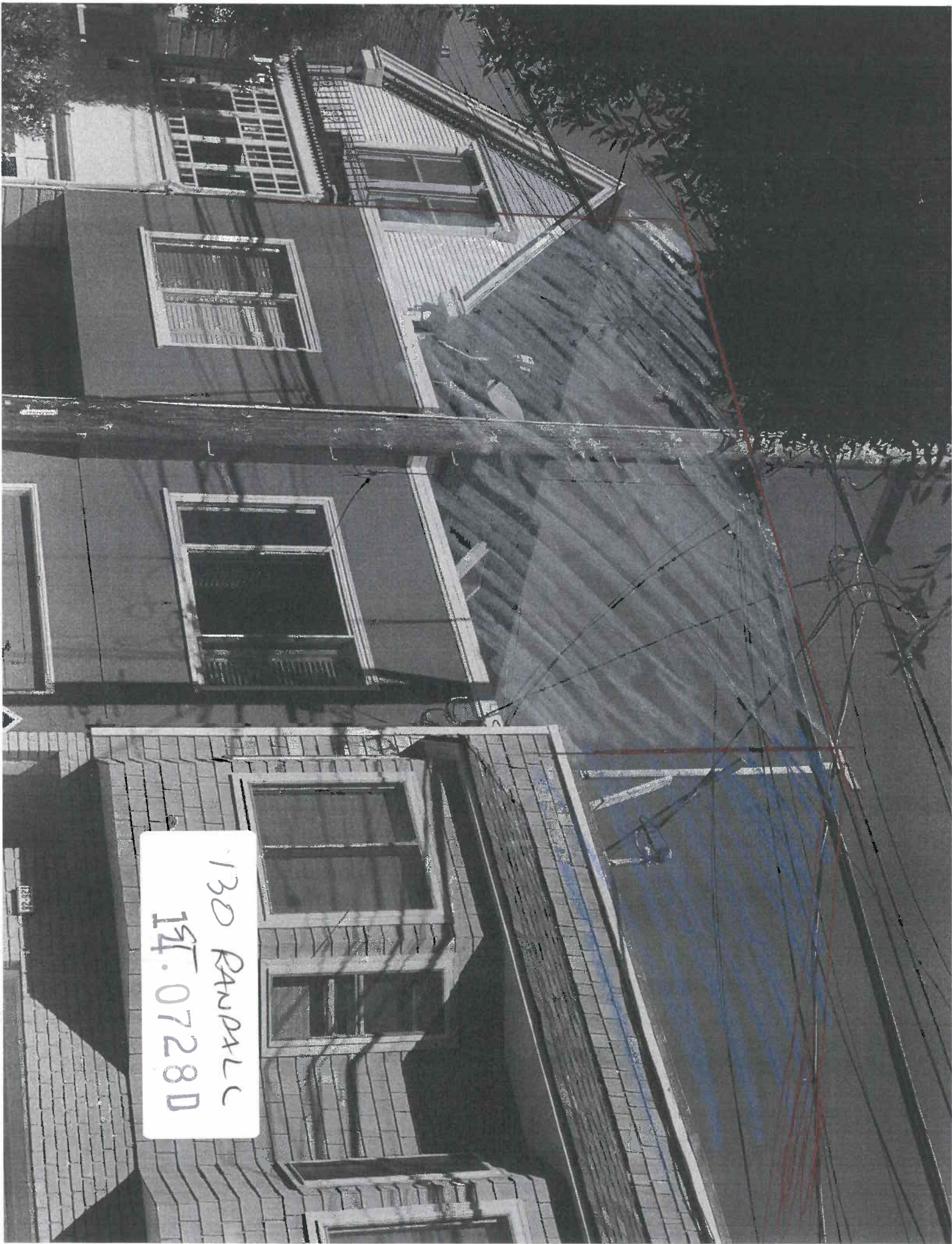
Suggestion 1: If the property height were built to just before the peak begins on 136 Randall Street most all issues above would be addressed. (reduction of height approximately 4-6 feet.) The property could be excavated, taking the scale down visually from the front, into their own property. The property next me 129-131 was excavated as a suggestion by the Planning Commission to minimize impact of scale. There are issues with this plan but they can be addressed by creative designers.

NOTE: this will not save my view, as I know it is not protected by the Planning Commission. I will have light and air, as will 136 Randall Street, the neighborhood will have a better pedestrian view, and the precedent for using the sloping of site will be encouraged by future projects, maintaining the character of the neighborhood. All our would get would be some sliver of light and air in this proposed change.

Suggestion 2: If they wish to keep the 850 floor base structure, they can excavate even father and take the entire project down a level but this is not necessary for me. I have an example of a home in the neighborhood that got a stunning 2,700 sq. foot home with stunning views, three bedrooms on the tops floor, lovely kitchen, dining and living room and a basement with a family room/extra bedroom that are all part of the 130 Randall Street program. The property a few doors down, the Commission had them remove their 4th floor.

All this said I am for progress, I love modern homes, I welcome good design in to our city that is welcoming growth. I just do not want it to have the impact on the neighbors that have lived here for 40, 20, 15 years.

130 RANDALL
14.07280



136 RAOUL IS THE VICTIM

130 RAOUL IS PROPOSED PROJECT

+ 120-128 RAOUL IS FOREGROUND
TA

TAI CAN FROM THE SIDE WITH ANDIS
THE STREET

50 mm lens

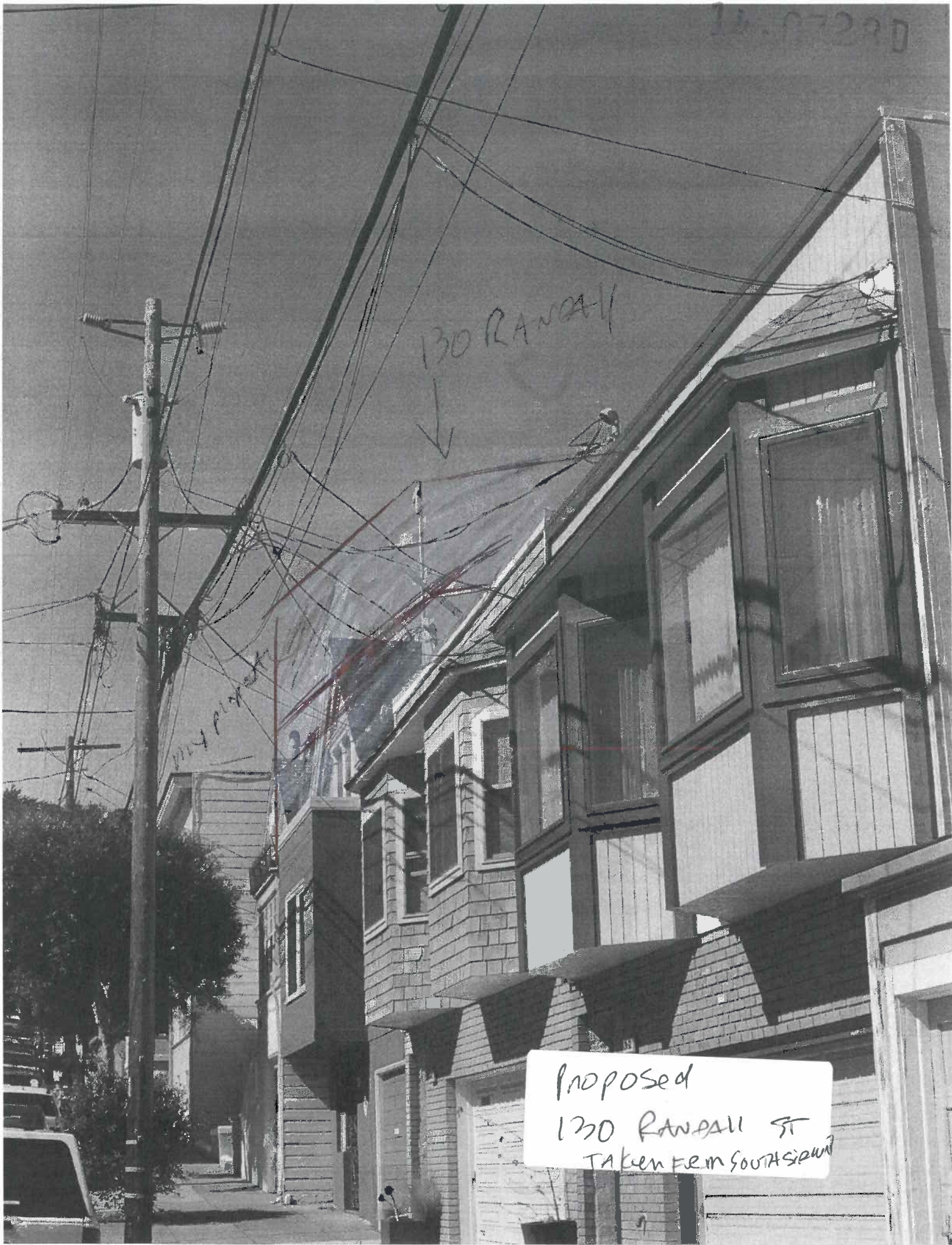
130 RAOUL
PROJECT

1A-17220

130 RANDALL
↓

my place

PROPOSED
130 RANDALL ST
TAKEN FROM SOUTH SIDE



In order

1 Foreground building?

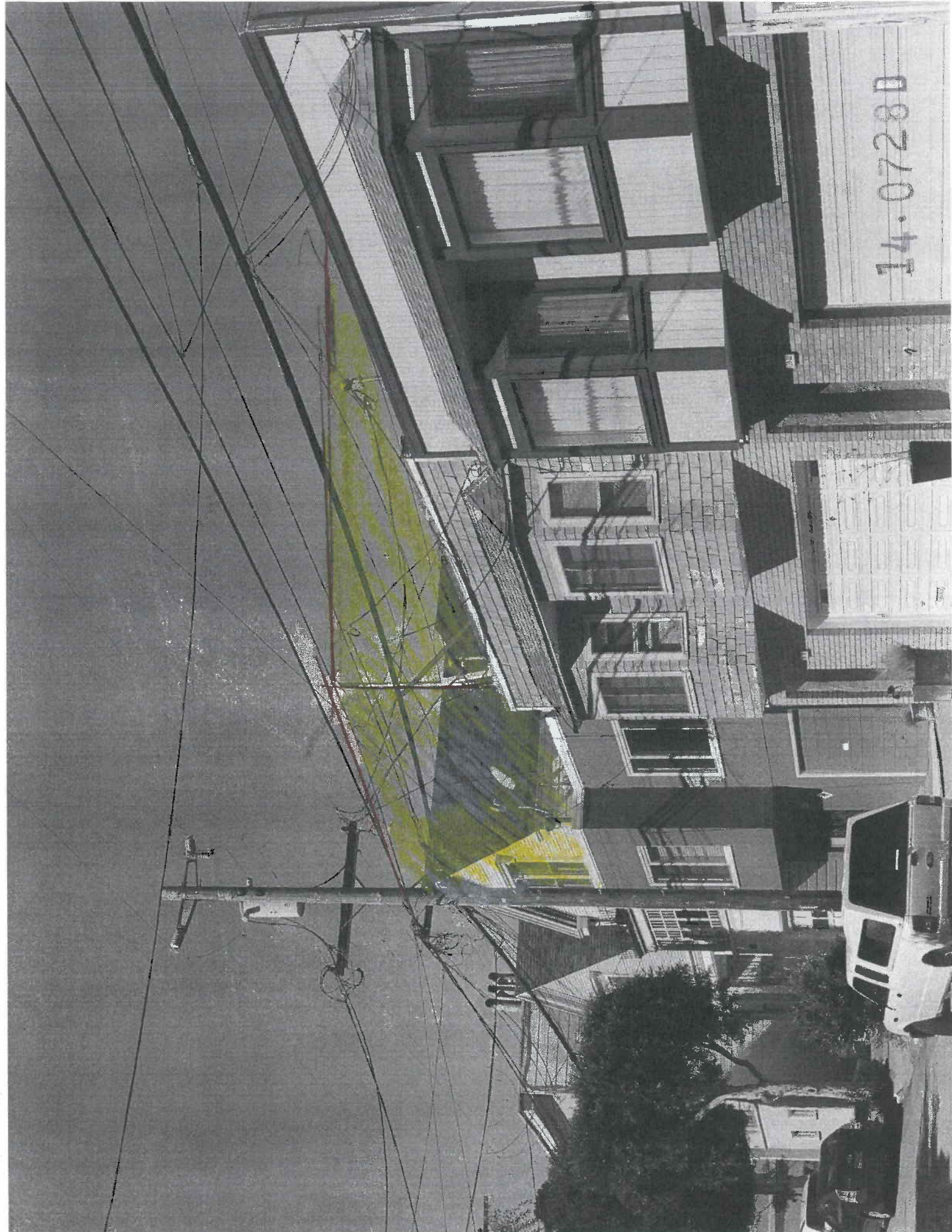
2 then 126-128 Russell St

3 130 Russell St

4. 130 Russell Victorian ^

then rest of the block

130 RANSON ST
~~RANSON~~
ST
Project



14-0728D

Foreground is Not Apparent on the Application

~~130-138 Pennell St~~

130-138 Pennell St

130 Pennell St

136 Pennell St (Victorian #)

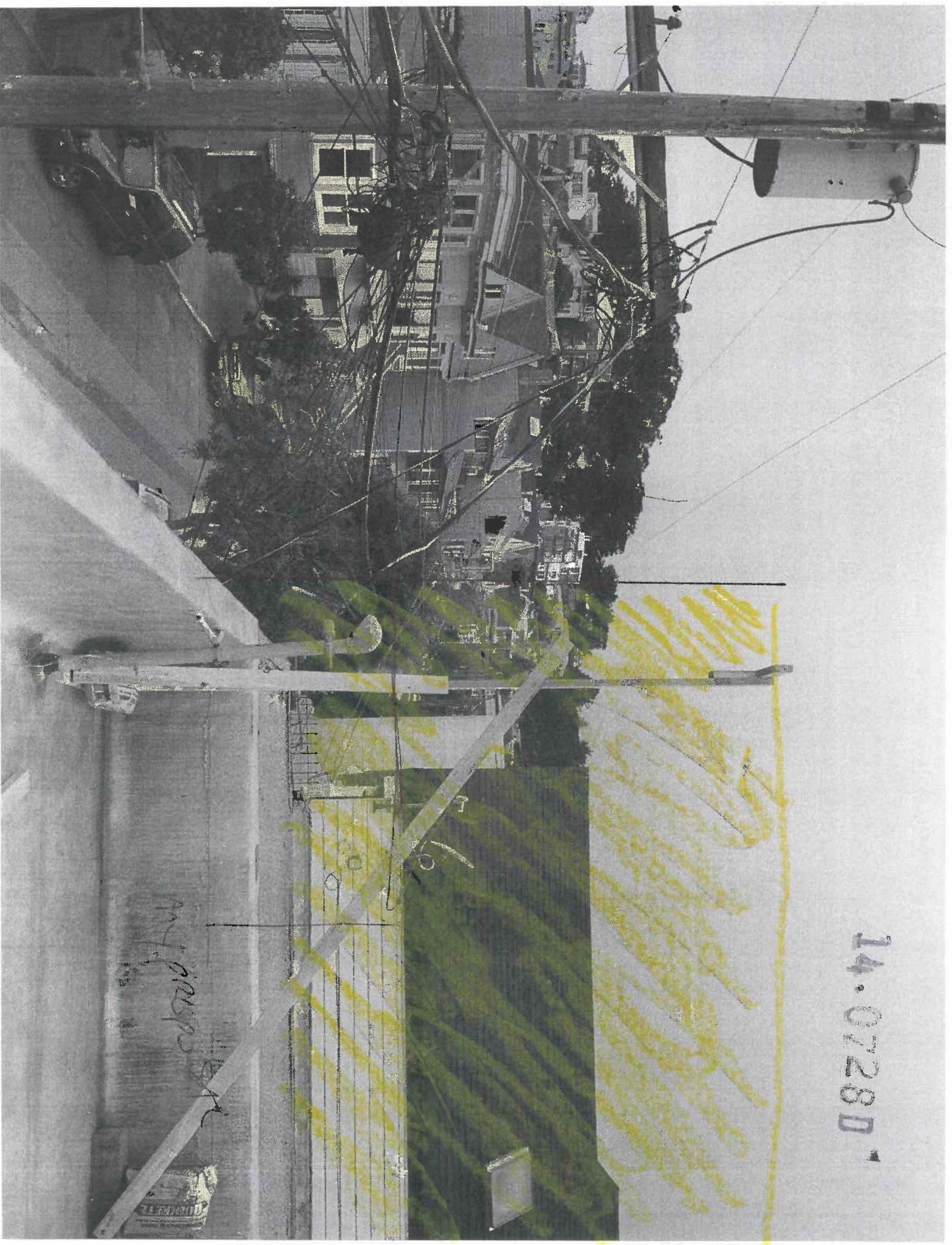
138 Pennell St

140 Pennell St

Taken from across the street

138 Pennell St

14-0728D



taken from east of 12th 12th st

looking up from 12th st of Fairmount
heights to Pennell heights.

looking west

14.0728D



my
proposal
allows
some
light
& air



TAKEN from

my dining room & my kitchen

At 127 Russell St

- these are evening views AND
early morning

- during the day SUN IS BRIGHT
reflecting in all day,

130 Russell
St



My post

1305 St
prosa

14.07280

126-126 Row on right
130 Row st middle
+ 130 Row st left

Taken from my home
127 Row st

130 Row



Christopher Park &
Joan Yao-Tsei Young
131 Randall Street
San Francisco, CA 94131

Arthur Bender &
Jan Hammock
127 Randall Street
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Blair Krueger &
Darlene Gray
1825 Church Street
San Francisco, CA 94131

2

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Christopher Park &
Joan Yao-Tsei Young
131 Randall Street
San Francisco, CA 94131

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San Francisco, CA 94131

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Darlene Gray
1825 Church Street
San Francisco, CA 94131

Letters in Support of Discretionary Review

From: [bill.foley](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: 130 Randall Street Addition Plans
Date: Wednesday, January 07, 2015 10:41:30 PM

Hi Marcelle. I reside at 140 Randall Street and want to voice my objection regarding the size and scale of the proposed changes at 130 Randall Street. We have a recessed backyard and the proposed "gargantuan" height changes will further restrict the light that reaches our backyard. Anything that can be done to reduce the size and scale of these proposed changes would be appreciated. The planned modified structure will be out of scale for the neighborhood!

Thank you for listening.

Bill Foley
140 Randall St
SF 94131

From: [Blair Krueger](#)
To: [Boudreaux, Marcelle \(CPC\)](#)
Subject: 130 Randall Street
Date: Wednesday, January 07, 2015 6:08:37 PM

Ref: 130 Randall Street
Assessors Block/Lot: 6655/022
Lot Dimensions: 25x100
Zoning District: RH2

Dear Marcelle Boudreaux,

I am Blair Krueger who with my partner Darlene Gray live at 1891 Church Street. Darlene purchased this home in 1981 and has lived here since then I have lived at 1891 Church for 20+ years, and in Noe Valley since 1971.

We are sending this email with reference to 22 January Discretionary Review Hearing for construction permit at 130 Randall Street.

Our property is behind and adjacent to 130 Randall back yard west side. The 130 Randall home-as it stands today-is visible from our backyard, lower floor bedroom and bathroom, kitchen, and both upper floor and lower floor outside decks.

We are very concerned about the planned construction at 130 Randall. I would like to outline our concerns, and also describe my meetings with our neighbors, and the owners of 130 Randall Street and their architect.

We met the owners of 130 Randall Street and their architect on 3 March 2014 at 130 Randall-also attended by invited neighbors-when they presented their plans to us as required by the Planning Department. At that time many of the attendees voiced their concern due to the huge increase in size, bulk and height of the proposed construction. The impact of having a home constructed that is replacing an 800+ sq. ft home with a structure of over 3000 sq ft is considerable. Many felt the proposed plan was not in proportion with the other surrounding homes. One neighbor who adjoins the proposed home noticed the new home will permanently keep in shade their bathroom skylight and kitchen window. There were other issues mentioned in reference to the additional height and bulk, and how it does not seem to fit in with other properties nearby.

I found it difficult to really asses the impact upon our own property at 1891 Church from the submitted plans. I contacted 130 Randall architect-as suggested by 130 Randall owners during meeting of 3 March-to discuss and clarify Darlene and my own questions and ask to detail our own concerns directly to the owners and architect. I tried to describe how I thought the design would affect us as proposed. I asked for consideration as to reducing the bulk, height and mass of the proposal, mentioning among other things that we will be looking at a 40 ft high wall from our property if measured from 130 Randall backyard ground level to edge of parapet on uppermost story. We also asked for some break in the sheer face of the proposed 3+ stories we will look at-a setback? cut off some corners? something to break up the monolithic exterior we will see. The property owners and architect sent me 3 replies during 1st week of March to let me know they had read my emails and wanted to assure me the plans submitted were preliminary and subject to change. They also mentioned how their intended design was not just a "stucco box" and they had gone to extra expense to have a design " with attractive articulation of both the front and back of the home", and they "would keep in touch". There was no contact with us from owner and architect until following September other than receiving revised set of planning documents.

Darlene and I were traveling for the next 6 weeks after March meeting, and upon return we discussed with neighbors issues and progress ref 130 Randall construction. Our neighbors were still very concerned and we learned 130 Randall owners discussion of compromise with one neighbor whose home was directly affected - skylight and kitchen shade-was not going well. Several months passed with not much happening that I was aware of.

At the end of September I decided to try to meet with the property owners and architect as I had not had contact since email of 10 March.

Owner Julie Kim and architect graciously agreed to meet and we did so on 6 October. Our discussion was cordial. There were revised plans to see. However there was no compromise I could see as to height, articulation, and our concerns as to size and bulk. The architect mentioned he might be able to lower the upper floor parapet a foot or two, but said he would have to talk to contractor before committing to doing so. We have not heard from the architect since this meeting. The meeting was useful for me if only to confirm for us the 130 Randall owners intention to continue with original plans to build what we will see from our property as a massive 40 ft high box with windows.

These are the facts, dates, and issues as I remember them. In my opinion, the owners of 130 Randall seem mostly unconcerned with how their planned home will affect their neighbors. They have pretty much kept the same plans even after discussion with concerned neighbors. When I asked about the tripling of the size of the house as planned and how this affects their neighbors their answer to me was "we could have built another story". Would a 4th story have been approved? I have no idea, but I do know the increase in size as planned will make our home and backyard much less desirable and I think with just a bit more of compromise and cooperation from the owners of 130 Randall their construction plans would be more acceptable to us and to those neighbors I have spoken with.

Darlene and I would ask you and those involved with approving construction plans for 130 Randall to take in consideration what I have described above.

Thank you,

Darlene Gray
Blair Krueger

From: [Stasukelis, Lori L - SAN FRANCISCO](#)
To: [Boudreaux, Marcolle \(CPS\)](#)
Subject: Objection to 130 Randall Street development
Date: Wednesday, January 07, 2015 8:41:00 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[130_Randall_average_footage.xlsx](#)

I have many objections to the size and scale of the Kim-Majors proposed development of 130 Randall Street.

My *property* objection is based upon the **size and structure**, primarily in of the back of the building.

Size: As proposed, it is inappropriate, *more than double the size* of the average residence on our block. (Attached is the list of residences. The average is 1,500 square feet.) While I fully understand the need for housing in San Francisco, this adds none. It is taking a reasonably-scaled, well maintained, neighborhood-appropriate house off the market. These professional developers are replacing it with a Soviet-style box that could fetch them a few million dollars while leaving long term neighbors an open wound. (Also note in the attached we are not a high-turnover neighborhood. There are no carpetbaggers.)

Structure: I live at 140 Randall, one house away. My rear yard faces dead north and is already halved by being at the end of the block. Because of the slope both to the west (up) and the north (down) my garden is nearly two stories below my back door. It now gets sun only March to September. If this gigantic, nearly forty foot high (36' 10" from the *highest* point in my back yard to their railing) behemoth is approved to the east, I can kiss all morning light good bye.

The proposed plans (A3.02) drawing and shadow study made me chuckle. It must depict some theoretical western light on the only sunny summer solstice afternoon in San Francisco, but having lived in my house for 30 years, I can say I NEVER recall the sun hitting in that pattern. It is especially unrealistic given the height of the yard, trees, and home at 148 Randall. Because of the upward slope of both Randall and Church Streets, the Sidd-Champion's yard is twenty feet above mine to the west. Their house is two stories above that. Translated: No 90 degree angle afternoon sun... Not some theoretical solstice rendering that ignores topography and San Francisco summer afternoon conditions.

My own home blocks light from the south.
There is a house along my north fence.

As proposed, this Hummer of a house with its privacy-fenced deck will not only enclose a good bit of the east side of my yard just 25 feet away, but its height will make the mornings, the un-windy time of the day, as dark and untenable as the foggy, windy afternoons.

My *passionate* objection is about the injustice these professional developers are imposing on the Goldberg-Drye family, the finest neighbors in the world. Charlie and Barb are both Emergency Room physicians. In the twenty years they have lived here they have never failed to respond, day or night, to calls for help. They come check on us, our children, our elderly parents. They make "house calls" to make sure everyone is getting better. They provide peace of mind as well as give easy to understand translations of complex medical questions.

Charlie and Barb are also musicians. It is at their home where dozens of musicians, singers, and (wannabe singers and musicians) gather a half-dozen times a year to break bread and bellow Beatle tunes. Charlie and Barbara also bring their musical talents to the whole neighborhood every Christmas, leading friends and neighbors caroling through the streets of Upper Noe. This year there were more than 60 carolers!

If the Kim-Majors project is approved as proposed, these great neighbors will become the victims of speculators. Charlie and Barbara's master bedroom will have shadows in the morning from the front up-and-out extension. The box's property line extension to the rear will create a tall, dark tunnel outside of their only kitchen window. Their back yard will be in constant shadows by this monster.

The final add-insult-to-injury injustice is the new roof deck "pent house" which has been callously placed directly alongside Charlie and Barbara's only skylight.

I suspect the Kim-Majors will claim to be building a dream house for their family, just like the others they have developed, but I KNOW if anyone really planned on living on our little block, at the first property presentation they would have NEVER answered the "Why does this new house have to be so big?" with "Because I paid 1.6 million dollars for the property." They would not have responded to several neighbors' design challenges with the intimidating "You know, we could have gone bigger."

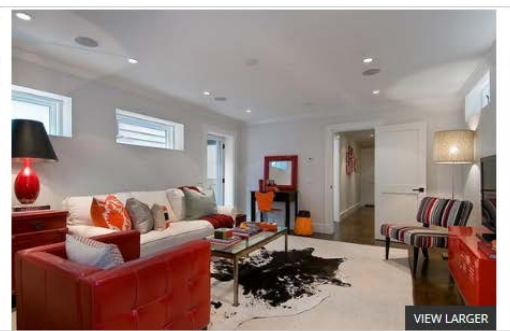
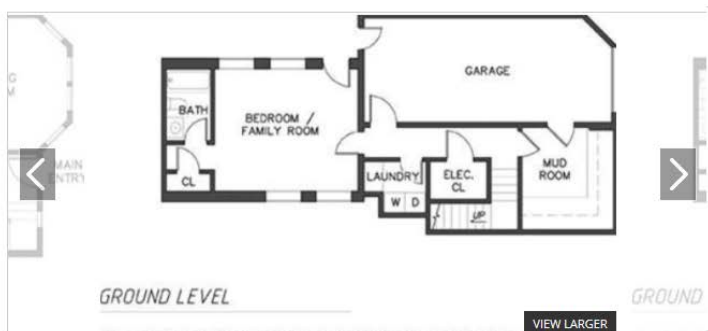
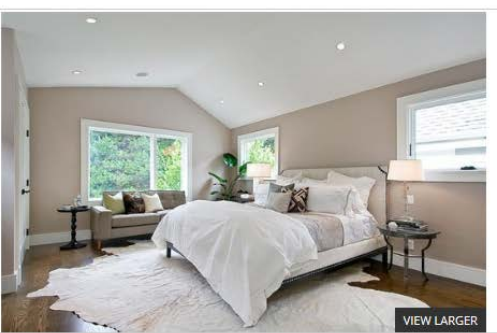
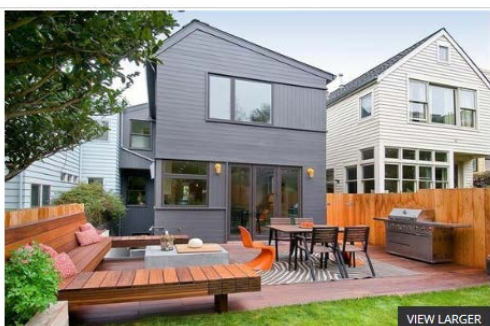
Most of all, if the Kim-Majors intended to live at 130, they would NEVER have imposed such a massive inappropriate box on the best next-door neighbors in the world.

The Kim-Majors are professional developers. They are talented and have an army of hired hands (and paid advocates) at their beckoned call. They have successfully developed lovely properties that fit in and didn't need to occupy every square inch of the envelope. (See below.) We, as long term residents, only wished that instead of doing this project on the big-box/maximum profit cheap, they focused more on a lovely, reasonably-sized design for 130 Randall. The Kim-Majors have proven they are capable of so much better.

Thank you,
Lori Stasukelis

Former Kim-Majors development:

824 Douglas
http://www.zillow.com/homedetails/824-Douglass-St-San-Francisco-CA-94114/15180074_zpid/



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| Randall Street Address | Square Footage | Owned since | other notes |
|------------------------|----------------|---------------|--------------------|
| 100 | 1200 | 1978 | |
| 120 | 2430 (1215 X2) | 1986 | duplex |
| 126 | 2430 (1215 X2) | 2009 | duplex |
| 136 | 1448 | 1994 | |
| 140 | 1296 | 1984 | |
| 148 | 2100 | 1985 | |
| 101 | 2081 | 2008 | with store |
| 103 | 1256 | 2008 | |
| 117 | 3050 (1525 X2) | pre- 1985 | duplex |
| 121 | 3050 (1525 X2) | pre- 1985 | duplex |
| 125 | 1525 | recently sold | 1 of two in duplex |
| 127 | 1525 | 2000 | 2 of two in duplex |
| 129 | 2104 | 2004 | part of duplex |
| 131 | 1836 | 2012 | part of duplex |
| 133 | 1500 | generations | |
| 137 | 2080 | 2004 | part of duplex |
| 139 | 1628 | 2005 | part of duplex |
| 143/143A | 2246 (1123 X2) | pre 1985 | duplex |

Average: 1512

34,783/23

PROJECT SPONSOR RESPONSE " V) 'oy" U @u" O

**Before the
San Francisco Planning Commission**

**PROJECT SPONSORS' SUBMITTAL IN RESPONSE TO
APPLICATIONS FOR DISCRETIONARY REVIEW REGARDING
SINGLE FAMILY HOME RENOVATION AND ADDITION FOR
OWNER OCCUPANCY**

130 Randall Street

**Project Sponsors:
Julie Kim and Justin Majors**

Building Permit Application 2014.04113060

Hearing Date: January 22, 2015

Attorneys for Project Sponsors:

REUBEN, JUNIUS & ROSE, LLP

One Bush Street, Suite 600, San Francisco, CA 94104
t] 415 567 9000 f] 415 399 9480

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A. INTRODUCTION

Julie Kim and Justin Majors ("Project Sponsors") propose to alter a single family home ("Project") at 130 Randall Street ("Project Site") to replace the second floor and construct a third floor. The home is currently one story above a garage. The proposed renovation and addition is permitted as of right by the Planning Code.

But for the DR Applicants' application for discretionary review, this addition would have been administratively approved. The Residential Design Team ("RDT") has reviewed and approved the proposed Project. The Planning Department staff has recommended against discretionary review of the Project.

B. SITE INFORMATION

| | |
|---------------------------|--|
| Street Address: | 130 Randall Street |
| Cross Streets: | Church and Chenery |
| Assessor's Block/Lot: | 6656/022 |
| Zoning District: | RH-2 |
| Height and Bulk District: | 40-X – <i>only 30 feet is proposed for the Project, 10 feet less than the allowable height.</i> |
| Proposed Use: | One dwelling unit (No change) |
| Proposed Additions: | Replace second floor, Add third floor and deck |

C. BACKGROUND

The existing home is in poor condition and requires extensive work. The home is undergoing renovation and expansion. The proposed alterations will greatly enhance the seismic safety of the home and provide additional living space with minimal impact on neighbors, while significantly improving the use of the lot. As is, the residence is not functional as a family home; it has one bathroom and odd bedrooms, one of which requires passing through the kitchen to access. The addition will preserve 45% of the lot as rear yard open space. The lot is 100 feet deep, and thus provides a 45 foot rear yard, in a downward sloping lot, behind which is an additional 45 feet of rear yard open space.

The Project will impact the views of the neighbors across the street at 127 and 129 Randall Street, owned by Ms. Jan Hammock and Mr. Doug Harr, respectively. Ms. Hammock and Mr. Harr have filed requests for discretionary review. Ms. Hammock's house is south of the Project Site and casts a shadow on the Project.

The adjacent neighbors at 136 Randall, Ms. Barbara Drye and Mr. Charles Goldberg, have filed a request for discretionary review based on claims of impacts to light (specifically, that the Project will shade a portion of their backyard and a skylight above their stairs/hallway).

The Project's proposed roof stair enclosure has been carefully sculpted to slope downward to reduce any potential impact. The roof deck is permitted as of right and does not materially impact the neighbors or the neighborhood. The actual use of the roof deck would be episodic and limited in time duration for any given use, thereby further limiting any impact.

D. THE DR APPLICANT HAS FAILED TO SATISFY THE MINIMUM STANDARD OF REVIEW – THERE ARE NO EXCEPTIONAL OR EXTRAORDINARY CIRCUMSTANCES THAT JUSTIFY DISCRETIONARY REVIEW

The Planning Commission's authority to review permits on a case-by-case basis under "Discretionary Review" (Municipal Code of the City and County of San Francisco, Part III, Section 26(a)¹ must be carefully exercised. In 1943, the California Supreme Court held that the San Francisco Board of Permit Appeals, pursuant to the above-referenced Section 26(a), had the authority to exercise its "sound discretion" in granting or denying building permits (See Lindell Co. v. Board of Permit Appeals (1943) 23 Cal.2d 303). In 1954, then San Francisco City Attorney Dion R. Holm issued Opinion No. 845, in which he opined that the Planning Commission has similar discretion to grant or deny building permits. However, the City Attorney cautioned the Planning Commission with respect to the judicious exercise of this discretion. In his opinion, the City Attorney stated as follows:

"I think it is entirely plain, on the authority of the above-enunciated general principles, that the reservation of authority in the present ordinances to deal in a special manner with exceptional cases is unassailable upon constitutional grounds . . . this is, however, a sensitive discretion and one which must be exercised with the utmost restraint."
(City Attorney Opinion No. 845, p. 8, emphasis in original).

The discretionary review handout provided to the public by the Planning Department reiterates this underlying foundation of the discretionary review power. That

¹ Section 26(a) provides that "[I]n the granting or denying of any permit, or the revoking or the refusing to revoke any permit, the granting or revoking power may take into consideration the effect of the proposed business or calling upon surrounding property and upon its residents and inhabitants thereof; and in granting or denying said permit, or revoking or refusing to revoke a permit, may exercise its sound discretion as to whether said permit should be granted, transferred, denied or revoked."

publication provides that “discretionary review is a special power of the Commission, outside the normal building permit application approval process. It is supposed to be used only when there are exceptional and extraordinary circumstances associated with a proposed project. The Commission has been advised by the City Attorney that the Commission’s discretion is sensitive and “must be exercised with utmost constraint.” In this case, the Planning Commission should exercise such constraint by approving the Project.

There are no exceptional and extraordinary circumstances in this case that would justify the Planning Commission's exercise of its discretionary review powers. Each of the issues raised by the DR Applicants is meritless. The professional planning staff (Residential Design Team or “RDT”) has reviewed and approved the Project.

E. NEIGHBORHOOD OUTREACH

The Project Sponsors and the Project architect Christian Dauer have conducted diligent outreach to the neighbors, which commenced on March 3, 2014. The Project Sponsors and Project architect met with various of the neighbors six times in addition to hosting the neighborhood outreach meeting, and exchanged numerous emails, answering questions and providing additional renderings and perspectives to the DR Applicants. Project Sponsors worked diligently to address the neighbors’ concerns, but ultimately it became clear that the neighbors’ comments and requests could be satisfied by no less than maintaining the existing structure essentially as-is.

The Application for Discretionary Review filed by each of the DR Applicants contains factual errors and material misstatements too numerous to detail, despite the Project Sponsors and the Project architect having discussed many of the items at length with the DR Applicants. In an attempt to clarify some of the errors and misstatements, the Project Sponsors sent each of the DR Applicants an explanatory cover note along with a copy of the roof stair enclosure rendering on October 31, 2014. None of the DR Applicants responded.

Discretionary Review Applicant Ms. Hammock: Ms. Hammock, whose own property casts a shadow over the Project, claims that the Project is too tall and impacts her light and air, despite the fact that (i) the Project’s proposed height is 10 feet less than the permitted buildable height and (ii) the Project’s proposed height will be lower than that of her own building. Her request to reduce the height of the Project or require the Project Sponsor to excavate and “build down a level” instead is a transparent attempt to preserve her view, which Ms. Hammock prominently voiced at the neighborhood outreach meeting was a primary reason she originally purchased her residence. Ms. Hammock did not discuss with the Project Sponsors her concerns with the building height but instead left the Project Sponsors a voicemail three days before filing her

Application for Discretionary Review indicating that she was “going to go after some height restrictions” and did not respond to Project Sponsor’s invitation to discuss and clarify her request.

Discretionary Review Applicant Mr. Harr: Throughout the email correspondence, in person meeting and several phone calls the Project Sponsors had with Mr. Harr, Mr. Harr never once indicated that he believed the Project or the roof deck to be problematic. In fact, his email to the Project Sponsors dated September 12, 2014 stated, with respect to the Project’s proposed plans, “we are good with these changes - it will make this a great place. yes it will totally block our view of the city from our second floor, but not from our 3rd.” Mr. Harr’s only request was that Project Sponsors use a ‘hatch’ design to access their roof deck, but after researching such option, Project Sponsors communicated to Mr. Harr that such design is considered to be sub-optimal due to the inability to effectively waterproof. Indeed, Mr. Harr’s own roof deck, which features his suggested design, was repaired in 2013 due to leaks, according to the Department of Building Inspection permit history. Project Sponsor notes that Mr. Harr also preliminarily indicated that he would be willing to publicly support the Project if an alternate design to the ‘hatch’ design could be utilized in order to better preserve his view. As such, Mr. Harr never communicated to the Project Sponsors any of the issues that he first raises in his Application for Discretionary Review. Additionally, Projects Sponsors note that Mr. Harr enjoys the use of his own deck located three stories above garage and that his property is located on an upward slope from the Project and will continue to stand taller than the Project.

Discretionary Review Applicant Ms. Drye/Mr. Goldberg: DR Applicants Ms. Drye and Mr. Goldberg allege that the proposed addition will shade part of their backyard and part of their staircase/hallway. Although Project Sponsors had the Project architect prepare light studies showing the extremely modest impact on their light, Ms. Drye and Mr. Goldberg then responded that their concern wasn’t in fact about light or air. Their issue is perceptual—where there was once a small, undersized house, there will now be a larger one. Their request that the third floor addition be reduced by five feet in the rear would render the third floor unusable from a family home perspective—it would mean only two bedrooms could be placed on the floor. As the Project Sponsors are a young, growing family, they strongly desire a functional floor plan that will allow a family of four to sleep on one level.

The Project Plans have evolved in response to the neighbors’ comments to incorporate a side setback at the property line.

F. GOOD NEIGHBOR GESTURES AND OTHER MODIFICATIONS

The Project Sponsors have made the following good neighbor gestures:

- 1) Restrained the height of the addition to 30 feet, notwithstanding that the property is located in a 40 foot height district.
- 2) Added a 3 ½ foot side setback at the west property line on all three floors.
- 3) Sculpted the roof stair enclosure to minimize its size.
- 4) Minimized the area of the roof deck and set the deck and guardrail back 5 feet from the east property line. The entire addition is set back 3 ½ feet from the west property line.

G. RESPONSE TO REQUESTS FOR DISCRETIONARY REVIEW

The proposed Project will significantly improve the living space, the rear design, the structural integrity, and the seismic stability of the home, and the home's aesthetics. Considerable care and attention has been paid to maintain and respect the original mid-century modern architectural integrity of the Project. The Project Sponsors do not request any variances, and the Project does not maximize the living space allowed by the Planning Code. To the contrary, the zoning restrictions for this RH-2 zoning district would allow build-out to a height of 40 feet, while the Project has been limited to a height of 30 feet.

The proposed roof deck is within the 10 foot buffer before the height limit is reached, without any construction within the 10 feet other than a small stair enclosure needed to access the exterior.

The proposed Project is consistent with the policies and objectives of the General Plan and the Planning Code. The proposed Project will upgrade the old and rundown house to comply with current Building Code standards and add living space on an approximately 2,500 square foot lot. The rear plane of the house will be the same as that of the adjacent neighbor to the east.

The proposed Project meets all standards of the Residential Design Guidelines. In general, the changes will unify the design and significantly improve the structure and look of the home. On the second level, the Project will square off the back (a portion of which is currently supported by stilts at grade level) and improve the living space. Nothing in the proposed Project is exceptional or has an extraordinary impact on anyone. There is nothing out of scale or uncharacteristically deep about the proposed Project.

The matters described by the DR Applicants do not approach the minimum standard of exceptional and extraordinary circumstances required for the Planning Commission to take DR. Slight and reasonable impacts to neighbors are to be expected in any building or alteration project. The Project is significantly more limited than the height and bulk permitted by Article 2.5 of the Planning Code, in particular its restraint to being 10 feet below the 40 foot height limit. The current structure is old, in disrepair, seismically unsafe, and inadequate for the needs of a contemporary family

H. CONCLUSION

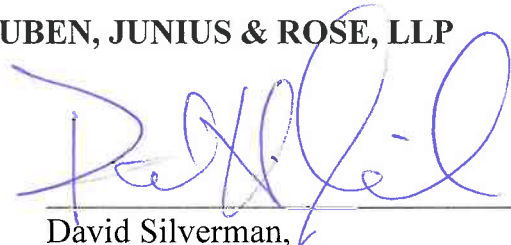
The Project Sponsors' proposed alterations are allowed as a matter of right by the Planning Code. But for the applications for discretionary review, the Project would have been approved administratively. The Planning Department staff has recommended against discretionary review. The RDT has approved the Project after careful, detailed, professional review. No variances or Code exceptions are requested. The proposed additional space will create a home suitable for a contemporary family while maintaining 45% of the lot as rear yard open space. The DR Applicants have failed to demonstrate exceptional or extraordinary circumstances that would meet the minimum standard for discretionary review.

Accordingly, the Project Sponsors respectfully request that the Planning Commission deny discretionary review.

REUBEN, JUNIUS & ROSE, LLP

Dated: January 7, 2015

By:



David Silverman,
Attorney for Julie Kim and Justin Majors

Exhibit List

- A. - Project Plans and Photographs of Existing Structure
- B. - Letters of Support
 - a. Gina M. Cockburn
 - b. Adam Lowe
 - c. Susan Harty
 - d. Dale Braverman
 - e. Sarah Mattison-Earls
 - f. Jessica Van Hauten
 - g. Travis Britan
 - h. Seth Spalding

1 SCOPE
ALL WORK ON THIS PROJECT PROVIDED BY THE GENERAL CONTRACTOR (GC) SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE THE DRAWINGS, SPECIFICATIONS, ALL ADDENDA AND MODIFICATIONS ISSUED BY THE ARCHITECT.

THESE CONTRACT DOCUMENTS INTEND TO DESCRIBE A FINISHED PROJECT READY FOR LEGAL USE. THE GC SHALL FURNISH AND INSTALL ALL REQUIRED ELEMENTS FOR A COMPLETE OPERATING SYSTEM.

2 STANDARDS
THE PROJECT SHALL BE CONSTRUCTED ACCORDING TO THE LOCALLY ADOPTED EDITION OF THE UNIFORM BUILDINGCODE, THE STATE OF CALIFORNIA, LOCAL MUNICIPALITY AMENDMENTS AND ALL OTHER APPLICABLE CODES. GOVERNING AUTHORITIES AND CODES TAKE PRECEDENCE OVER DRAWINGS AND SPECIFICATIONS. THE GC SHALL REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.

THE GC SHALL MAINTAIN A CURRENT COPY OF THE UBC ON SITE AT ALL TIMES.

THE GC SHALL INSTALL ALL MATERIALS AND PRODUCTS IN STRICT ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS. ALL MANUFACTURERS' ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED INSTALLED, CONNECTED, ERECTED, CLEANED, AND CONDITIONED AS PER THE MANUFACTURERS' INSTRUCTIONS AND APPLICABLE ICBO REPORTS.

ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED AND LIKE MATERIALS SHALL BE CONSISTENT IN APPEARANCE UNLESS SPECIFIED OTHERWISE

THE GC AND ALL SUBCONTRACTORS SHALL PROVIDE A ONE-YEAR GUARANTEE AFTER PROJECT COMPLETION FOR ALL MATERIALS AND WORKMANSHIP.

MECHANICS, CRAFTSMEN, AND WORKERS SKILLED AND EXPERIENCED IN THE FABRICATION AND INSTALLATION OF THE WORK INVOLVED SHALL PERFORM SHOP AND FIELDWORK. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST-ACCEPTED PRACTICES OF THE RESPECTIVE TRADES INVOLVED AND IN ACCORDANCE WITH THE DRAWINGS, SUBMITTED SHOP DRAWINGS, AND THESE SPECIFICATIONS.

3 DIMENSIONS
WRITTEN DIMENSIONS ON DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS. DO NOT SCALE DRAWINGS AT ANY TIME. WALLS AND PARTITIONS SHOWN IN PLAN OR SECTION ARE TO FACE OF FINISH MATERIAL UNLESS OTHERWISE. INTERIOR ELEVATION AND CABINET DIMENSIONS ARE TO FACE OF FINISH MATERIAL.

4 FIELD CONDITIONS
THE GC SHALL VERIFY DIMENSIONS AGAINST FIELD CONDITIONS. CONSTRUCTION DOCUMENTS ARE BASED ON OBSERVATION AND DOCUMENTATION OF EXISTING CONDITIONS BY THE ARCHITECT AND FROM DOCUMENTS PROVIDED BY THE OWNER. THE ARCHITECT MAKES NO CLAIM TO THE ACCURACY OF HIDDEN CONDITIONS OR CONDITIONS INACCESSIBLE FROM DIRECT OBSERVATION. SHOULD THE GC ENCOUNTER FIELD CONDITIONS THAT VARY FROM THESE CONSTRUCTION DOCUMENTS AND THAT EFFECT THE INTENT OF THESE DRAWINGS OR THE CONTRACT/ SUBCONTRACT SUM, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.

5 CONFLICTS
THE GC SHALL BECOME FAMILIAR WITH THE EXISTING CONDITIONS OF THE SITE AND PROJECT PRIOR TO COMMENCING WORK AND IN THE CASE OF CONFLICT WITH THE DOCUMENTS, SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.

THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN THE CASE OF CONFLICT BETWEEN PROJECT DOCUMENTS AND CONSULTANTS', MANUFACTURERS' OR OTHER DOCUMENTS OR RECOMMENDATIONS.

SHOULD CONFLICTS OCCUR BETWEEN DRAWINGS AND SPECIFICATIONS, DRAWINGS SHALL GOVERN IN MATTERS OF DIMENSION OR QUANTITY. SPECIFICATIONS SHALL GOVERN IN MATTERS OF MATERIALS OR FINISHES.

6 SCHEDULE
ALL WORK SHALL BE PERFORMED DURING REGULAR BUSINESS HOURS, AS PERMITTED BY LOCAL AGENCIES. WORK INVOLVING EXCESSIVE NOISE OR DUST, OR WHICH WOULD OTHERWISE INTERFERE WITH THE NORMAL OPERATION OF THE BUILDING, SITE OR NEIGHBORING SITES SHALL BE COORDINATED WITH THE OWNER.

THE GC SHALL COORDINATE ALL WORK, INCLUDING SCHEDULING TIMES AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, ETC...

THE COMMENCEMENT OF WORK SHALL BE DEEMED AS AN ACKNOWLEDGEMENT BY THE GC THAT ALL WORK OF THE PROJECT SHALL BE COMPLETED IN CONFORMANCE WITH THE CONTRACT DOCUMENTS AND SCHEDULE.

7 REVISIONS AND CHANGES
REVISIONS, AND CHANGES MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW IN THE FORM OF A CHANGE ORDER, PRIOR TO THE PURCHASE, FABRICATION, OR INSTALLATIONOF THE WORK IN QUESTION.

ANY CHANGE, MODIFICATION, OR INTERPRETATION OF THE SCOPE OR REQUIREMENTS OF THESE DOCUMENTS UNDERTAKEN WITHOUT CONSULTATION OF THE ARCHITECT SHALL BE THE RESPONSIBILITY OF THE GC.

THE OWNER MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO, OR DEDUCTING FROM THE WORK. THE CONTRACT SUM SHALL BE ADJUSTED ACCORDINGLY.

8 UTILITIES
THE ARCHITECT DOES NOT ASSUME RESPONSIBILITY FOR UNDERGROUND UTILITIES OR THE EXISTENCE OF OTHER BURIED OBJECTS. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES AND OR FACILITIES AS SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY. THE GC SHALL CONTACT THE RESPECTIVE UTILITY COMPANY AND PROVIDE UTILITY LOCATION SERVICES AS REQUIRED TO OBTAIN THE EXACT DEPTH OF BURIAL AND HORIZONTAL LOCATION OF UTILITY LINES, CONDUITS, PIPING, ETC... PRIOR TO PERFORMING UNDERGROUND CONSTRUCTION THE GC SHALL MAKE NECESSARY PROBES AND EXPLORATIONS TO IDENTIFY AREAS OF POSSIBLE

THE GC SHALL INSPECT, TEST, AND DISCONNECT UTILITY SERVICES AT THE MAIN SOURCE OR MAIN BRANCH. THE GC SHALL SECURELY CAP AND/OR VALVE-OFF UTILITY SERVICE BEHIND FINAL FINISHED SURFACES OF INTENDED CONSTRUCTION OR, WHEN NOTED, AT FINISHED FACE OF EXIST. CONSTRUCTION PRIOR TO DEMOLITION. UTILITY SERVICE SHALL BE DEFINED AS PLUMBING, HVAC, ELECTRIC, AND FIRE PROTECTION.

9 PERMITS
THE GC SHALL ARRANGE FOR ALL INSPECTIONS AND PERMITS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY AND OR FINAL PERMIT SIGNOFF & INSPECTION.

10 EXISTING CONDITIONS
ACCESS PANELS, CLEAN OUTS, AND THE LIKE SHALL BE MAINTAINED FOR EXISTING BUILDING SYSTEMS.THE GC SHALL VERIFY THAT EXISTING WALLS AND FLOORS TO REMAIN ARE WITHIN EXPECTED TOLERANCES. THE GC SHALL REPORT TO THE ARCHITECT ANY VARIATIONS IN FLOOR LEVELS GREATER THAN 1/4" IN 10'-0". THE GC SHALL INFORM THE ARCHITECT OF ANY EXISTING THRESHOLD ELEVATION VARIATIONS GREATER THAN 1/2".

11 DEFINITIONS
"ALIGN" SHALL BE DEFINED AS THE ACCURATE LOCATION OF FINISH FACES IN THE SAME PLANE.
"TYPICAL" OR "TYP." SHALL BE DEFINED AS CONDITIONS WHICH ARE REPRESENTATIVE OF SIMILAR CONDITIONS THROUGHOUT. UNLESS OTHERWISE NOTED, DETAILS ARE USUALLY KEYED AND NOTED. "TYP." ONLY ONCE, WHEN THEY FIRST OCCUR.
"SIMILAR" OR "SIM." SHALL BE DEFINED AS CONDITIONS WHICH ARE COMPARABLE IN CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
"GC" REFERS TO THE GENERAL CONTRACTOR, HIS AGENTS AND SUBCONTRACTORS.
"ARCHITECT" REFERS TO THE ARCHITECT OF RECORD OR HIS AGENT.

12 MATERIALS STORAGE AND PROTECTION OF WORK
IMPROVEMENTS ON THE SITE, WORK IN PROGRESS, STORED MATERIALS ON PROPERTY SHALL BE PROTECTED BY THE GC FROM DAMAGE ARISING DURING THE WORK. ALL ITEMS DAMAGED DUE TO INSUFFICIENT PROTECTION OR OTHERWISE SHALL BE FULLY RESTORED BY THE GC TO THEIR PRIOR CONDITION AT NO COST TO THE OWNER. NO PART OF THE STRUCTURE SHALL BE OVERLOADED BEYOND ITS SAFE CARRYING CAPACITY AT ANY TIME.

13 SECURITY
THE GC SHALL BE RESPONSIBLE FOR SECURING THE SITE DURING THE COURSE OF THE PROJECT. IF THE SITE IS UNATTENDED AT ANY TIME, IT SHALL BE LOCKED.

14 TOXIC MATERIALS
ANY MATERIALS OF UNKNOWN CONSTITUTION UNCOVERED DURING THE COURSE OF CONSTRUCTION SHALL BE LEFT UNTOUCHED AND IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER FOR TESTING.

15 CLEAN UP
THE SITE SHALL BE KEPT BROOM CLEAN AND FREE OF DEBRIS DURING THE COURSE OF CONSTRUCTION. AT THE COMPLETION OF THE WORK THE GC SHALL CLEAN THE PROJECT AND THE SURROUNDING AREA. REMOVE ALL WASTE MATERIALS AND RUBBISH FROM THE PROJECT AS WELL AS TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SURPLUS MATERIALS. THE GC SHALL REMOVE CAULK, PUTTY, AND PAINT FROM GLASS AND MIRRORS AND WASH AND POLISH THE SAME. CLEAN AND REMOVE ALL LABELS, GREASE, DIRT, STAINS, ETC. FROM FINISHED SURFACES AND EQUIPMENT TO THE EXTENT REQUIRED RESTORING THE INTENDED FINISH.

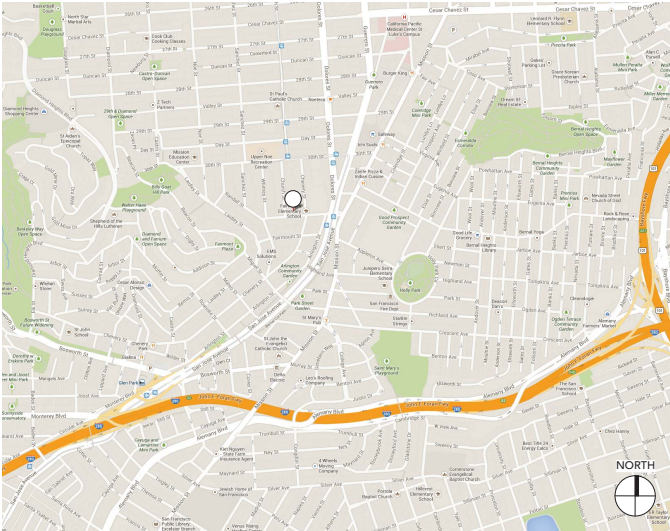
PLANTERS AND LANDSCAPE AREAS SHALL BE CLEANED OF DEBRIS AND ROUGH GRADING SHALL BE COMPLETED.

END OF GENERAL NOTES

8 GENERAL NOTES

| | | | |
|-------------|--------------------|-----------|--------------------------------|
| ACOUS. | Acoustical | LAM. | Laminated |
| A.D. | Area Drain | LAV. | Lavatory |
| ADJ. | Adjustable | | |
| A.F.F. | Above Finish Floor | MECH. | Mechanical |
| ARCH. | Architectural | MIN. | Minimum |
| AWN. | Awning | MIR. | Mirror |
| | | MET. | Metal |
| BLDG. | Building | (N) | New |
| BLKG. | Blocking | N.I.C. | Not In Contract |
| BLW. | Below | N.T.S. | Not To Scale |
| BM. | Beam | | |
| B.O. | Bottom Of | OPN'G | Opening |
| B.U.R. | Built up Roof | | |
| BW | Bottom of Wall | P.L. | Property Line |
| | | PL. | Steel Plate |
| CPT. | Carpet | PLAS. | Plaster |
| CAB. | Cabinet | PLY. | Plywood |
| CEM. | Cement | PT. | Point |
| CL. | Closet | | |
| CLG. | Ceiling | QTY. | Quantity |
| CLR. | Clear | | |
| C.O. | Clean Out | R. | Riser |
| COL. | Column | RAD. | Radius |
| CONC. | Concrete | RET. | Retaining |
| CONT. | Continuos | RET. AIR | Return Air |
| CSMT. | Casement | R.D. | Roof Drain |
| C.T. | Ceramic Tile | REF. | Refrigerator |
| C.L. | Center Line | REG. | Register |
| | | REINF. | Reinforced |
| DEMO | Demolition | REQ'D | Required |
| DET. | Detail | R.O. | Rough Opening |
| D.H. | Double Hung | R.W.L. | Rain Water Leader |
| D.F. | Douglas Fir | | |
| DIAG. | Diagonal | SAG | Supply Air Grill |
| DIM. | Dimension | S.A.F.F. | Self-adesive Flexible Flashing |
| DWGS. | Drawings | SHT. | Sheet |
| DN. | Down | SHWR. | Shower |
| | | SIM. | Similar |
| (E), EXIST. | Existing | SM. | Sheet Metal |
| ELEV. | Elevation | SKY. | Skylight |
| E.P. | Electrical Panel | SQ. | Square |
| EQ. | Equal | S.S.D. | See Structural Drawings |
| EXT. | Exterior | ST. STL. | Stainless Steel |
| | | STD. | Standard |
| F.D. | Floor Drain | STL. | Steel |
| F.F. | Finish Floor | STG. | Storage |
| FIN. | Finish | STRUC. | Structural |
| F.O.C. | Face Of Concrete | | |
| F.O.S. | Face Of Stud | T. | Tread |
| F.O.W. | Face Of Wall | T.C. | Top Of Curb |
| FR.DR. | French Door | TEMP. GL. | Tempered Glass |
| FT. | Footing | TJ | Truss Joist |
| FX. | Fixed | T.O. | Top Of |
| | | T.O.C. | Top Of Concrete |
| GA. | Gauge | TYP. | Typical |
| GALV. | Galvanized | TW | Top Of Wall |
| G.W.B. | Gypsum Board | TS | Tube Steel |
| GL. | Glass | | |
| GLU. LAM. | Glue Laminated | U.O.N. | Unless Otherwise Noted |
| G.S.M. | Galv. Sheet Metal | | |
| GWB | Gypsum Board | VERT. | Vertical |
| | | V.I.F. | Verify In Field |
| H.B. | Hose Bibb | W/ | With |
| HT. | Height | W.C. | Water Closet |
| H.M. | Hollow Metal | WD. | Wood |
| HOR. | Horizontal | WIN. | Window |
| H.W.H. | Hot Water Heater | W.O. | Where Occurs |
| | | WP. | Waterproof |
| INSUL. | Insulation | W.P. | Work Point |
| INT. | Interior | | |
| J.BOX | Junction Box | YD. | Yard |
| JT. | Joint | | |

7 ABBREVIATIONS



6 VICINITY MAP

THIS APPLICATION IS BEING SUBMITTED TO THE BUILDING DEPT. OF THE CITY OF SAN FRANCISCO FOR PLAN CHECK REVIEW.

THE PROPOSED WORK INCLUDES:

REMOVAL OF EXISTING 160 SF REAR WING @ 2ND FLOOR LEVEL.

CONSTRUCTION OF NEW REAR WING WITH 457 SF CONDITIONED SPACE @ 1ST FLOOR LEVEL (FAMILY) AND 338 SQ FT. CONDITIONED SPACE (LIVING) @ 2ND FLOOR LEVEL.

CONSTRUCTION OF A NEW THIRD FLOOR LEVEL WITH 1,248 SF CONDITIONED SPACE (BEDROOMS).

NEW WINDOWS AND DOORS THROUGHOUT AND ONE NEW SKYLIGHT.

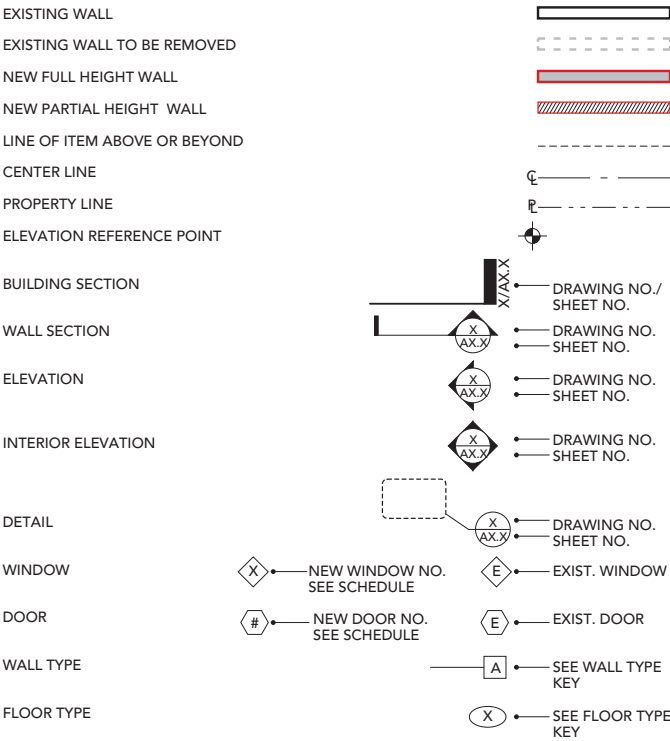
FIRE SEPARATION OF GARAGE FROM CONDITIONED SPACES.

NEW COMMUNICATION STAIR CONNECTING 2ND FLOOR TO NEW 1ST FLOOR CONDITIONED SPACES AND NEW 3RD FLOOR LEVEL.

NEW GAS FIRED FURNACE AND WATER HEATER WITH NEW DISTRIBUTION AS REQUIRED.

ALL MECHANICAL, PLUMBING, ELECTRICAL, SPRINKLER AND FIRE/LIFE SAFETY WORK SHALL BE BY LICENCED CONTRACTORS ON A DESIGN/BUILD BASIS. PLUMBING AND ELECTRICAL WORK SHALL BE PROVIDED AS PER THE LAYOUT ON THE ARCHITECTURAL DRAWINGS.

5 DESCRIPTION OF WORK



4 SYMBOLS

GENERAL

A0.00 GENERAL INFORMATION

ARCHITECTURAL

A1.01 SITE PLAN

A2.01 1ST AND 2ND FLOOR DEMO PLANS

A2.02 1ST AND 2ND FLOOR PLANS

A2.03 3RD FLOOR PLAN & ROOF PLAN

A3.01 EXISTING AND PROPOSED EXTERIOR ELEVATIONS

A3.02 EXISTING AND PROPOSED EXTERIOR ELEVATIONS

A3.03 EXISTING AND PROPOSED EXTERIOR ELEVATIONS

A3.04 EXISTING BUILDING SECTION

A3.05 PROPOSED BUILDING SECTIONS

3 CONTRACT DOCUMENTS

| | |
|-------------------------------|--|
| LEGAL DESCRIPTION: | BLOCK# 6656 LOT# 022 |
| APPLICABLE CODES: | 2013 CAL. BUILDING CODE 2013 CAL. RESIDENTIAL CODE 2013 CAL. PLUMBING CODE 2013 CAL. ELECTRICAL CODE 2010 CAL. MECHANICAL CODE 2010 CAL. ENERGY CODE, SECT. 150 & 152 |
| OCCUPANCY: | "R-3" AS PER 2010 CBC |
| ZONING DISTRICT: | RH-2 |
| NUMBER OF UNITS: | 1 (SINGLE FAMILY DWELLING) |
| HEIGHT LIMIT: | 40-X |
| SITE AREA: | 2,495 SQFT (25'W X 100'D) |
| TYPE OF CONSTRUCTION: | TYPE V-B |
| NUMBER OF STORIES: | 1 |
| <u>EXIST. BUILDING AREA</u> | |
| 1ST FLOOR: | 0 SQ FT. |
| 2ND FLOOR: | 837 SQ FT. |
| TOTAL EXIST. BUILDING AREA: | 837 SQ FT. |
| <u>PROPOSED BUILDING AREA</u> | |
| 1ST FLOOR | 743 SQ FT. |
| 2ND FLOOR | 1,128 SQ FT. |
| 3RD FLOOR: | 1,186 SQ FT. |
| TOTAL PROPOSED BUILDING AREA: | 3,057 SQ FT. |

2 PROJECT DATA

PROPERTY OWNER
JULIE KIM & JUSTIN MAJORS
2639 KING STREET #541
SAN FRANCISCO, CA 94107
TEL. 415.407.6425
contact: **JULIE KIM & JUSTIN MAJORS**

ARCHITECT
ChrDAUER Architects
1 ARKANSAS STREET D2
SAN FRANCISCO, CA 94107
TEL. 415.431.5518
FAX 415.861.5095
contact: **CHRISTIAN DAUER**

GENERAL CONTRACTOR
CARDEA BUILDING CO.
2639 EAST 9TH STREET
OAKLAND, CA 94601
TEL. 415.407.6425
contact: **JUSTIN MAJORS**

AGENCIES
PLANNING & BUILDING DEPTS.
CITY OF SAN FRANCISCO
1660 MISSION STREET
SAN FRANCISCO, CA 94103
TEL. PLANNING 415.558.6372
TEL. BUILDING 415.558.6070

1 PROJECT DIRECTORY



KIM-MAJORS RESIDENCE
130 RANDALL STREET
SAN FRANCISCO, CA 94131

general information

01.31.14 TEAM REVIEW
04.11.14 SITE PERMIT
07.31.14 SITE PERMIT REV 1
11.20.14 SITE PERMIT REV 3
01.05.15 DR HEARING

SCALE **AS NOTED**
DRAWN **LGZ**
SHEET

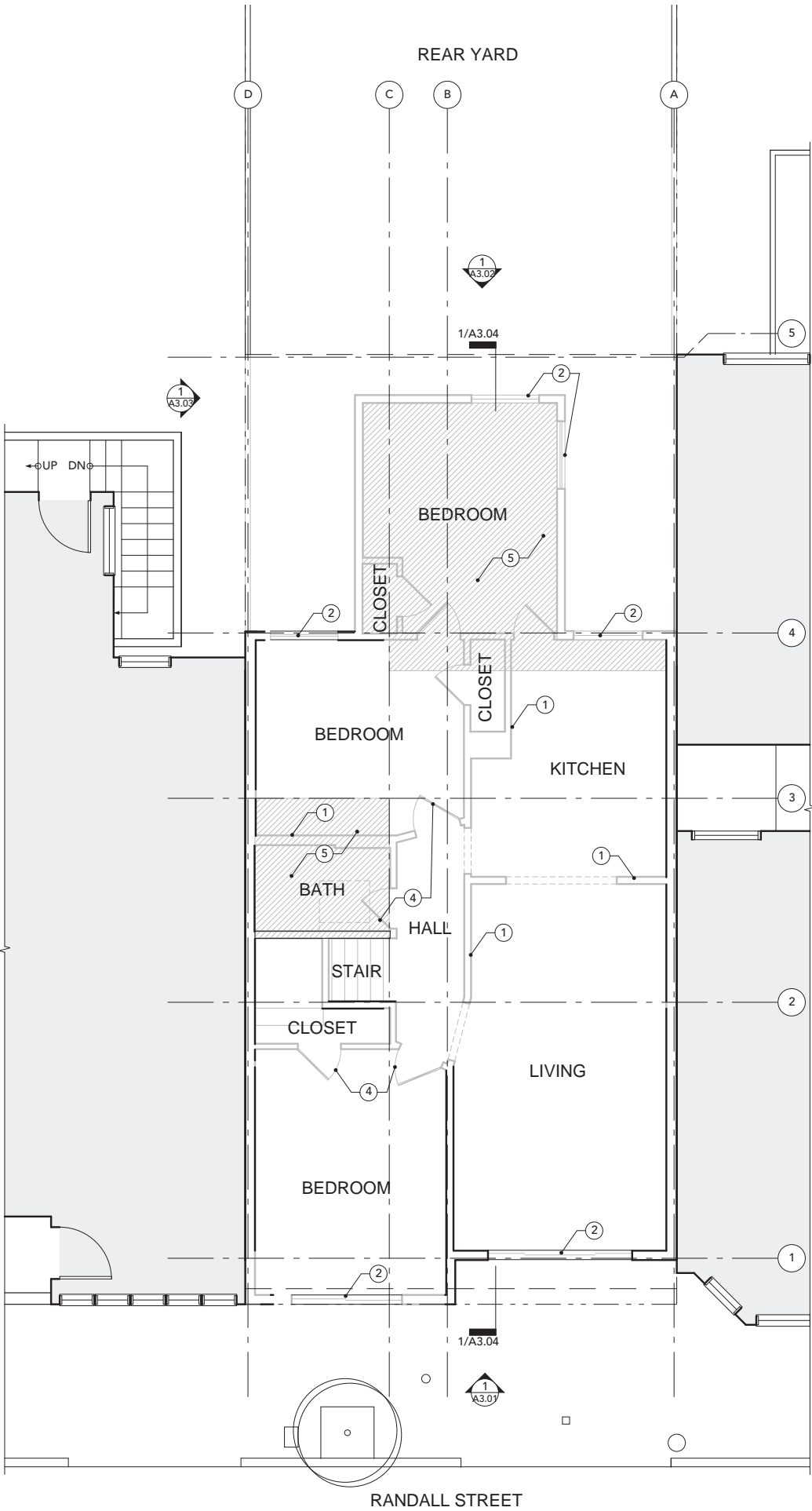
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TYPICAL DEMO PLAN NOTES

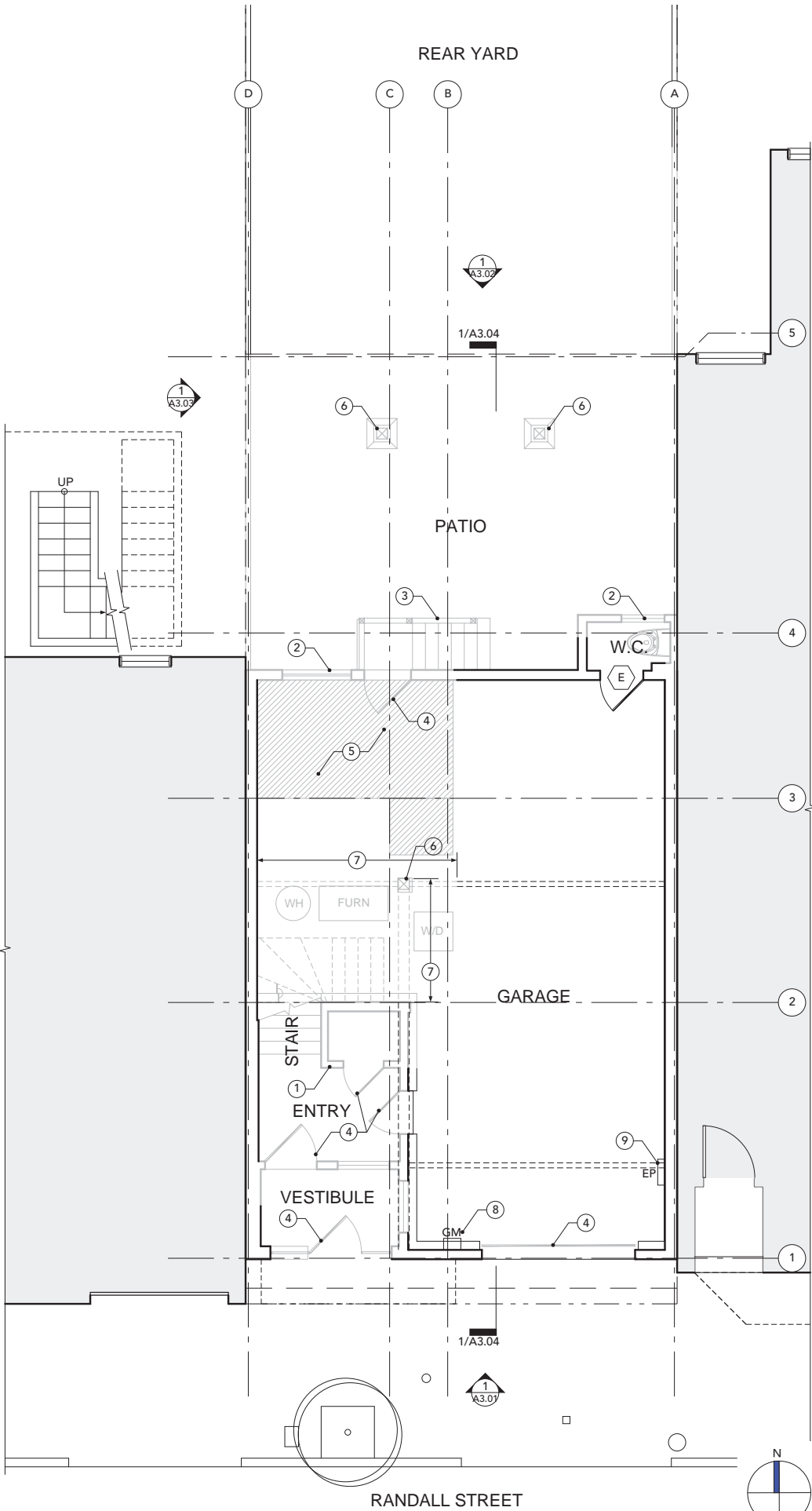
- 1. GC SHALL VERIFY LOCATION OF EXIST. UNDERGROUND ELECTRICAL POWER & TELEPHONE LINES RUNNING BETWEEN HOUSE ELECTRICAL METER & STREET PRIOR TO ANY GROUND WORK.
- 2. GC SHALL PROVIDE ADEQUATE SHORING AT ALL FOUNDATIONS, WALLS & ROOFS THAT WILL BE AFFECTED BY NEW CONSTRUCTION.
- 3. PROJECTS THAT DISTURB LESS THAN 1 ACRE OF SOIL AND ARE NOT PART OF A LARGER DEVELOPMENT SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION PER 2013 CRC R300.1 & 2013 CALGREEN SECTION 4.106.2.
- 4. PROVIDE & INSTALL 1 LAYER MIN. HARDBOARD (THERMOPLY OR EQ.) PROTECTION @ ALL EXIST. TO REMAIN INTERIOR FINISHES EXPOSED TO CONST. ACTIVITY THROUGHOUT CONST.
- 5. SAVE AND PROTECT ALL EXISTING TO REMAIN DOORS & HARDWARE THROUGHOUT CONST. TYP.
- 6. SAVE AND PROTECT ALL INT. TRIM, FLOORING, PLASTER, EXCEPT WHERE REMOVAL OF EXIST. IS INDICATED ON PLANS, TYP.
- 7. SAVE AND PROTECT ALL ORIGINAL ELEMENTS OF EXIST. TO REMAIN FACADE(S) EXCEPT WHERE REMOVAL OF EXIST. IS INDICATED ON PLANS, DUE TO REPAIR & OR REPLACEMENT.
- 8. SELECT. DEMO @ & REPLACE FRONT SIDEWALK TO ACCESS HOUSE TEL., GAS, SEWER, & WATER SUPPLY PIPING AS REQ'D. BY PROJECT.
- 9. PROJECT SHALL COMPLY WITH CONSTRUCTION AND DEMOLITION DEBRIS RECOVERY PROGRAM PER CHAPTER 13B SFBC SECTION 106A3.3.17 SFBC
- 10. ANY EXIST. HVAC DUCTWORK TO BE REMOVED G.C. SHALL REMEDIATE AND PROPERLY DISPOSE OF ANY HAZARDOUS MATERIALS PER LOCAL, STATE, AND NATIONAL REQUIREMENTS.
- 11. REMOVE ALL EXISTNG FLOOR FINISHES, PLUMBING FIXTURES, CASEWORK TYP.

DEMO PLAN KEY NOTES

- 1 REMOVE (E) NON-STRUCTURAL PARTITIONS, FRAMING, AND FINISHES
- 2 REMOVE (E) WINDOW
- 3 REMOVE (E) STAIR
- 4 REMOVE (E) DOOR
- 5 HATCHED FLOOR AREA TO BE REMOVED, TYP.
- 6 REMOVE (E) POSTS, S.S.D.
- 7 REMOVE (E) BEAM ABOVE, S.S.D.
- 8 (E) GAS METER TO REMAIN
- 9 (E) ELEC. PANEL TO REMAIN



2 SECOND FLOOR DEMO PLAN



1 FIRST FLOOR DEMO PLAN

1 ARKANSAS STREET D2 SAN FRANCISCO CA 94107

KIM-MAJORS RESIDENCE
130 RANDALL STREET
SAN FRANCISCO, CA 94131

demo plan

01.31.14 TEAM REVIEW
03.03.14 PRE-APP MEETING
04.11.14 SITE PERMIT
01.05.15 DR HEARING

SCALE 1/4" = 1'-0"
DRAWN LGZ

SHEET

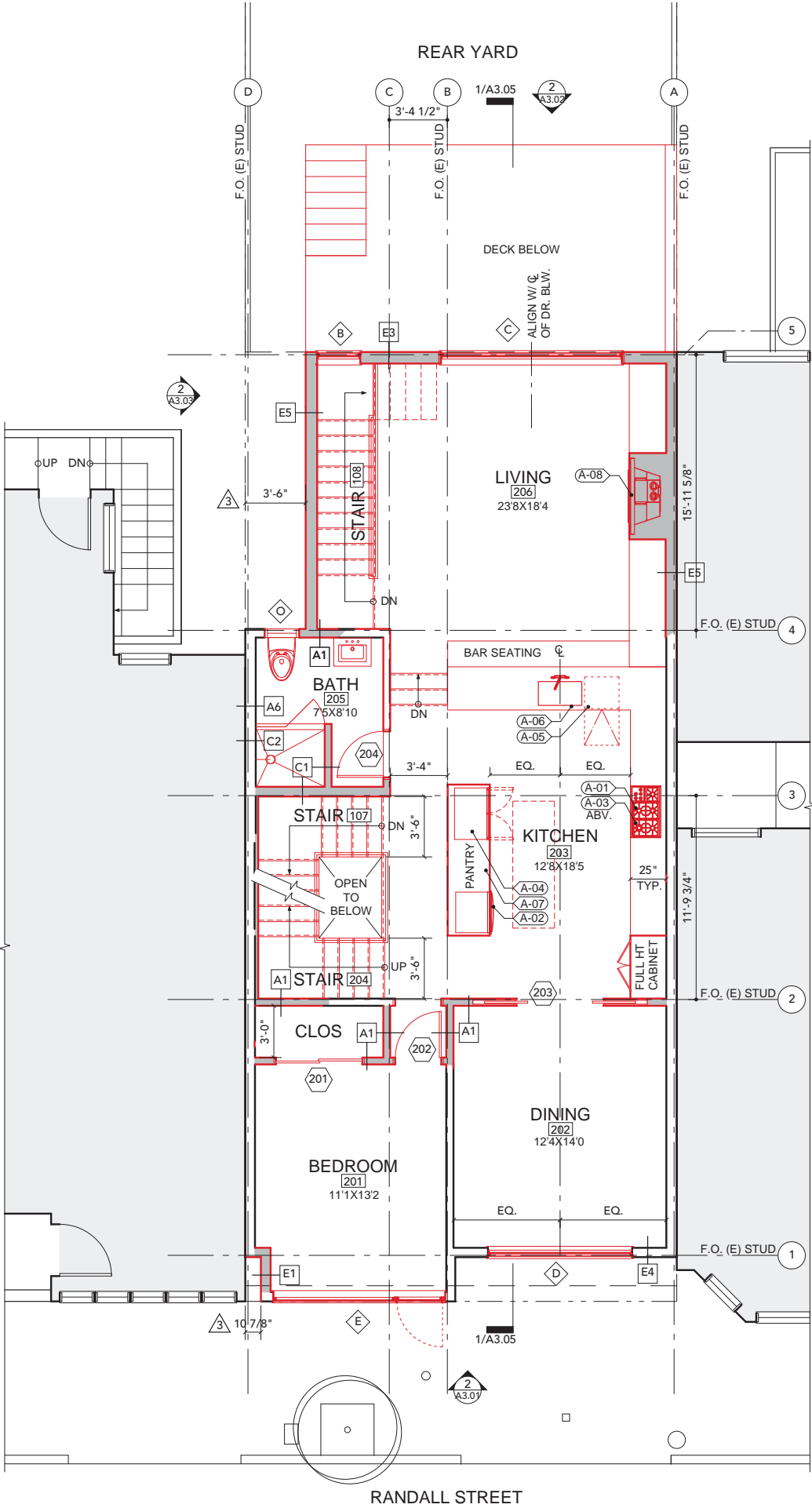
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TYPICAL FLOOR PLAN NOTES

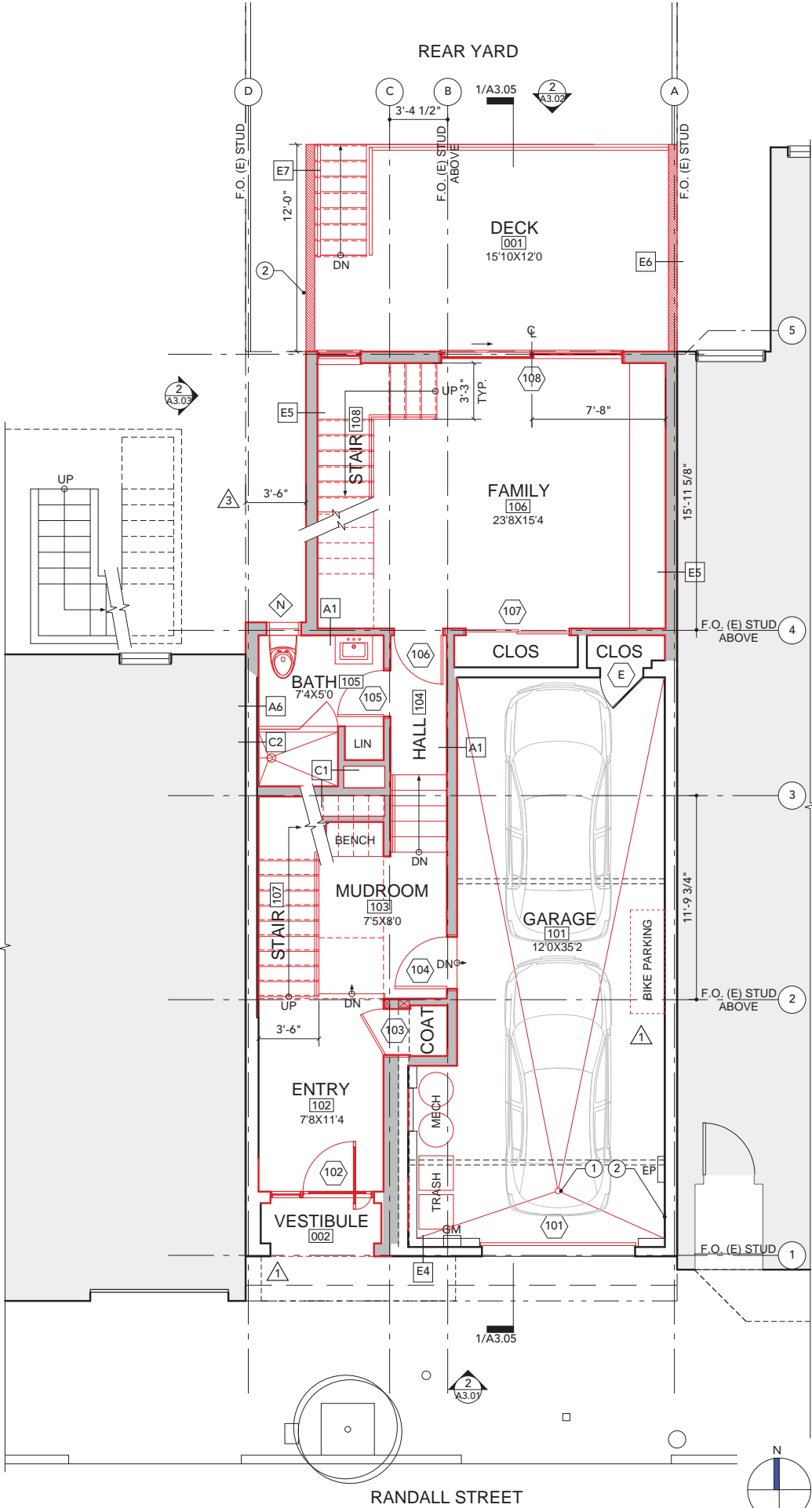
- 1. ALL DIMS. ARE TO FINISH FACE OF FINISH WALL SURFACE, U.O.N.
- 2A. GC SHALL PROVIDE & INSTALL FORMALDEHYDE-FREE BATT INSULATION:
-R-13 MIN. @ ALL EXT. WALLS OPEN FOR CONST.
-R-19 MIN. ABOVE CLGS. OF UNCOND. CRAWL, STORAGE, OR GARAGE SPACES.
-R-30 MIN. ABOVE CLGS. OF COND. SPACES BELOW ATTIC/ROOF CRAWLSPACES.
(THE ABOVE R-FACTORS MEET OR EXCEED THOSE REQUIRED BY T-24 SECTION 150 MANDATORY FEATURES & DEVICES.)
- 2B. GC SHALL PROVIDE & INSTALL FOIL FACED POLYISOCYANURATE INSUALTION:
-R-13 MIN. (±2") @ UNDERSIDE OF ALL EXIST. FLOOR FRAMING ABOVE UNCOND. CRAWLSPACES W/ DIRT FLOORS.
- 2C. PROVIDE & INSTALL FORMALDEHYDE-FREE ACOUSTIC BATT INSUL. @ ALL INTERIOR WALL OR PARTITIONS OPEN FOR CONST.
- 3. PROVIDE RECESSED BLOCKING @ ALL CABINET, BATH ACCESSORIES, & OTHER WALL HUNG ITEMS NEEDING SUPPORT.
- 4. SEE FINISH, DOOR, WINDOW, PLUMBING, LIGHT FIXTURE SCHEDULES FOR RESPECTIVE SPECIFICATIONS.
- 5. FURR-OUT ALL EXIST. WALLS TO BE FURNISHED W/NEW TILE FINISH AS REQ'D. FOR FULLY PLUMB AND CONSISTENTLY PLANAR TILE INSTALL.
- 6. FURR-DN ALL CEILINGS WHERE NEW FRAMING DOES NOT ALIGN W/ EXISTING TO REMAIN FOR CONTINUOUS PLANAR GWB CEILING INSTALL,TYP.
- 7. PER 2013 CRC TABLE R302.6 GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS BY NO LESS THAN 5/8" TYPE X GWB OR EQUIVALENT. SEE FINISH SCHEDULE.
- 8. FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS & PARTITIONS INCL. FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS AT THE CEILING & FLOOR LEVELS & HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'. TYPICAL FIRE BLOCKING IS WD. 2X MATERIAL TO MATCH WIDTH OF WALL FRAMING MEMBERS.
- 9. REFRAME EXIST. WOOD WALLS WHEN REQUIRED DUE TO DRYROT DAMAGE, TYP.

FLOOR / ROOF PLAN KEY NOTES

- ① (N) AREA DRAIN
- ② (N) HOSE BIB
- ③ (N) ROOF DRAIN
- ④ (N) RAIN WATER LEADER
- ⑤ (N) CHIMNEY SHALL EXTEND AT LEAST 2 FT. HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FT. PER CBC 2113.9
- ⑥ (N) METAL GUARDRAIL @ 42" A.F.F. TYP.



2 PROPOSED SECOND FLOOR PLAN



1 PROPOSED FIRST FLOOR PLAN

KIM-MAJORS RESIDENCE
130 RANDALL STREET
SAN FRANCISCO, CA 94131

floor plan

12.06.13 CLIENT REVIEW
12.11.13 CLIENT REVIEW
01.13.14 STRUCTURAL REVIEW
01.31.14 TEAM REVIEW
03.03.14 PRE-APP MEETING
04.11.14 SITE PERMIT
07.31.14 SITE PERMIT REV 1
11.20.14 SITE PERMIT REV 3
01.05.15 DR HEARING

SCALE 1/4" = 1'-0"
DRAWN LGZ
SHEET

A2.02

1. ALL DIMS. ARE TO FINISH FACE OF FINISH WALL SURFACE, U.O.N.
- 2A. GC SHALL PROVIDE & INSTALL FORMALDEHYDE-FREE BATT INSULATION:
-R-13 MIN. @ ALL EXT. WALLS OPEN FOR CONST.
-R-19 MIN. ABOVE CLGS. OF UNCOND. CRAWL, STORAGE, OR GARAGE SPACES.
-R-30 MIN. ABOVE CLGS. OF COND. SPACES BELOW ATTIC/ROOF CRAWLSPACES.
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- 2B. GC SHALL PROVIDE & INSTALL FOIL FACED POLYISOCYANURATE INSULATION:
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- 2C. PROVIDE & INSTALL FORMALDEHYDE-FREE ACOUSTIC BATT INSUL. @ ALL INTERIOR WALL OR PARTITIONS OPEN FOR CONST.
3. PROVIDE RECESSED BLOCKING @ ALL CABINET, BATH ACCESSORIES, & OTHER WALL HUNG ITEMS NEEDING SUPPORT.
4. SEE FINISH, DOOR, WINDOW, PLUMBING, LIGHT FIXTURE SCHEDULES FOR RESPECTIVE SPECIFICATIONS.
5. FURR-OUT ALL EXIST. WALLS TO BE FURNISHED W/NEW TILE FINISH AS REQ'D. FOR FULLY PLUMB AND CONSISTENTLY PLANAR TILE INSTALL.
6. FURR-DN ALL CEILINGS WHERE NEW FRAMING DOES NOT ALIGN W/ EXISTING TO REMAIN FOR CONTINUOUS PLANAR GWB CEILING INSTALL,TYP.
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- ① (N) AREA DRAIN
- ② (N) HOSE BIB
- ③ (N) ROOF DRAIN
- ④ (N) RAIN WATER LEADER
- ⑤ (N) CHIMNEY SHALL EXTEND AT LEAST 2 FT. HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FT. PER CBC 2113.9
- ⑥ (N) METAL GUARDRAIL @ 42" A.F.F. TYP.

1. ROOF COVERING SHALL BE AS PER 2013 CRC SECT. R902.1
2. PROVIDE TAPERED RIGID INSUALTION OVER ROOF SHEATHING TO ACHIEVE POSITIVE SLOPE
3. PROVIDE NEW GSM FLASHING, DRIP , CURB COPING, & OTHER GSM PROFILES AS REQUIRED.
4. PROVIDE NEW MODIFIED BITUMEN ROOF MEMBRANE.



floor plan

12.06.13 CLIENT REVIEW
12.11.13 CLIENT REVIEW
01.13.14 STRUCTURAL REVIEW
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11.20.14 SITE PERMIT REV 3
01.05.15 DR HEARING

SCALE 1/4" = 1'-0"

DRAWN LGZ

SHEET

A2.03

1 ARKANSAS STREET D2 SAN FRANCISCO CA 94107

TYPICAL ELEVATION NOTES

1. PROFILE OF ADJACENT BUILDING DASHED

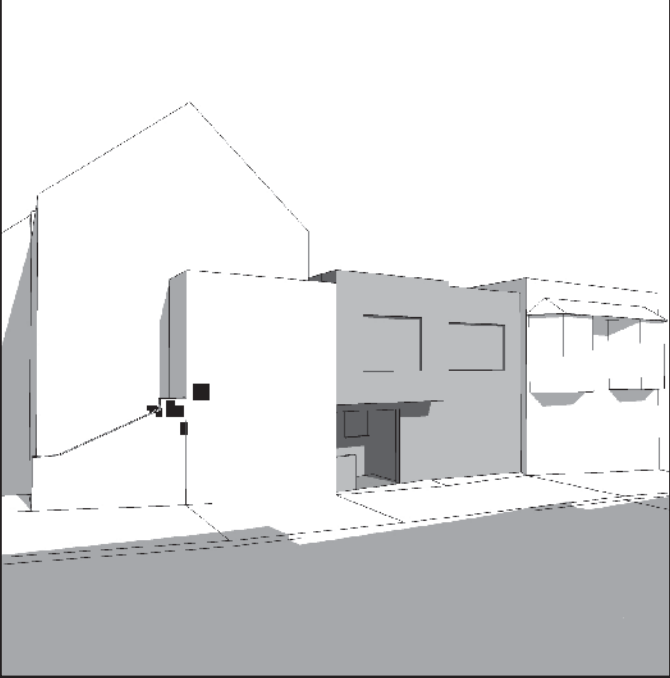
ELEVATION KEY NOTES

- 1 EXISTING STREET TREE
- 2 NEW ALUMINUM WINDOW
- 3 NEW ALUMINUM DOOR
- 4 WOOD TRIM , TYPICAL
- 5 WOOD SIDING
- 6 WOOD GARAGE DOOR
- 7 EXTERIOR PLASTER
- 8 METAL GUARDRAIL 42" A.F.F. TYP.

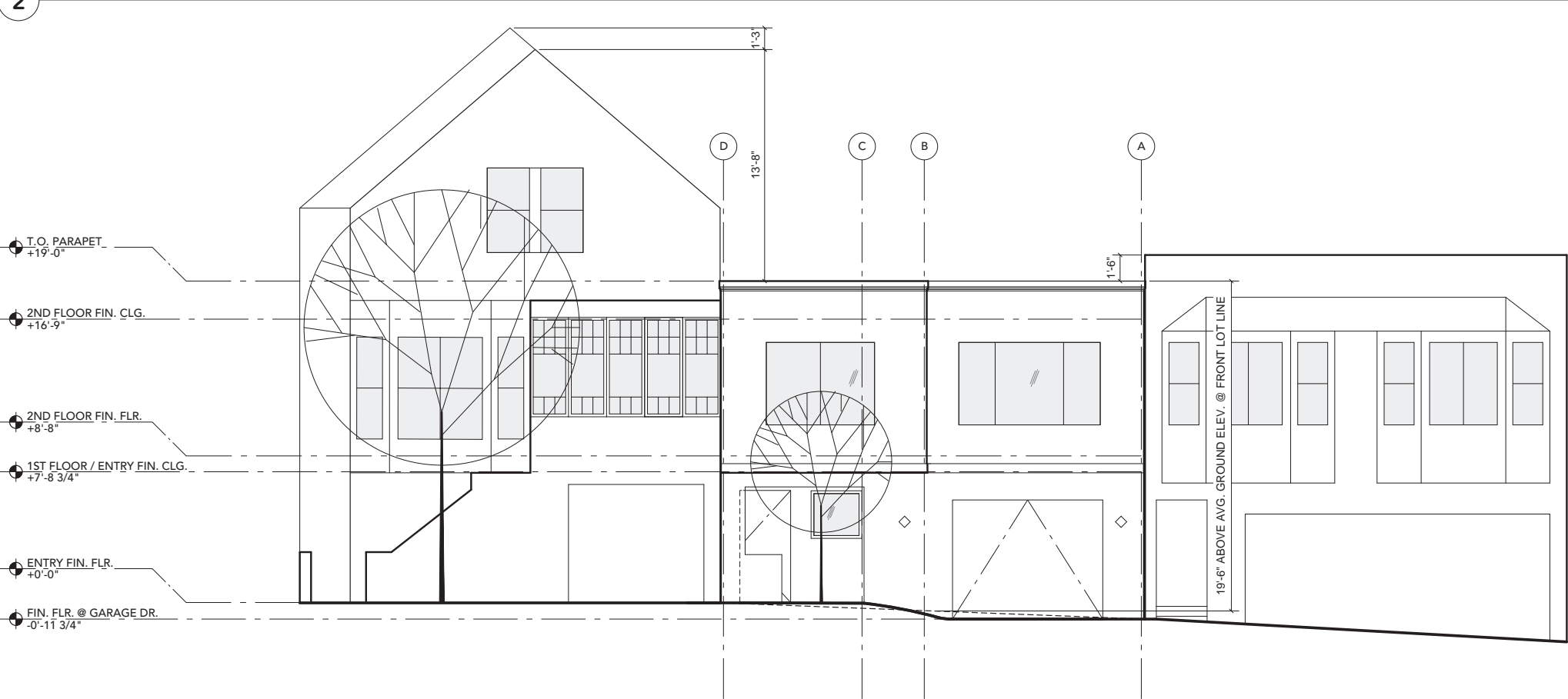
PROPOSED SOUTH ELEVATION



EXISTING SOUTH ELEVATION



2 PROPOSED SOUTH ELEVATION



1 EXISTING SOUTH ELEVATION



1 ARKANSAS STREET D2 SAN FRANCISCO CA 94107

KIM-MAJORS RESIDENCE
130 RANDALL STREET
SAN FRANCISCO, CA 94131

elevations

01.13.14 STRUCTURAL REVIEW
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SCALE 1/4" = 1'-0"
DRAWN LGZ
SHEET

A3.01

1. PROFILE OF ADJACENT BUILDING DASHED

- ① EXISTING STREET TREE
- ② NEW ALUMINUM WINDOW
- ③ NEW ALUMINUM DOOR
- ④ WOOD TRIM , TYPICAL
- ⑤ WOOD SIDING
- ⑥ WOOD GARAGE DOOR
- ⑦ EXTERIOR PLASTER
- ⑧ METAL GUARDRAIL 42" A.F.F. TYP.

This architectural rendering shows a modern building complex. The central feature is a tall, dark grey tower with a series of horizontal slats or louvers. To the left is a lower, light grey wing with a balcony. To the right is another light grey wing with a staircase and a small structure. The building is set on a flat, light grey surface, and a small triangular sign with the number '1' is visible on the roof of the central tower.



A3.02

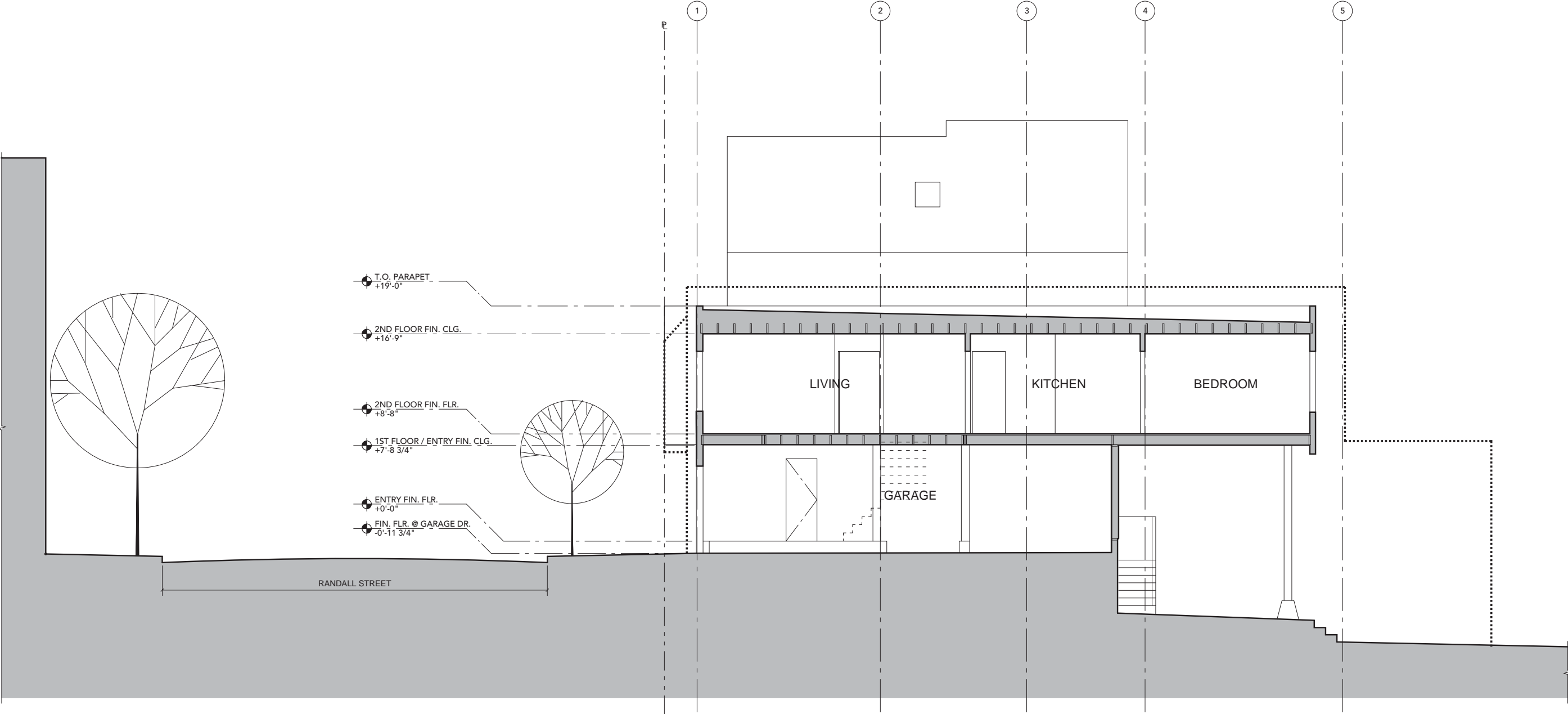
1. PROFILE OF ADJACENT BUILDING DASHED

| |
|---------------------|
| ELEVATION KEY NOTES |
|---------------------|



LGZ

| TYPICAL ELEVATION NOTES | ELEVATION KEY NOTES | |
|--|---|--|
| 1. PROFILE OF ADJACENT BUILDING DASHED | ① EXISTING STREET TREE ② NEW ALUMINUM WINDOW ③ NEW ALUMINUM DOOR ④ WOOD TRIM , TYPICAL ⑤ WOOD SIDING ⑥ WOOD GARAGE DOOR ⑦ EXTERIOR PLASTER ⑧ METAL GUARDRAIL 42" A.F.F. TYP. | |



1 EXISTING BUILDING SECTION LOOKING WEST



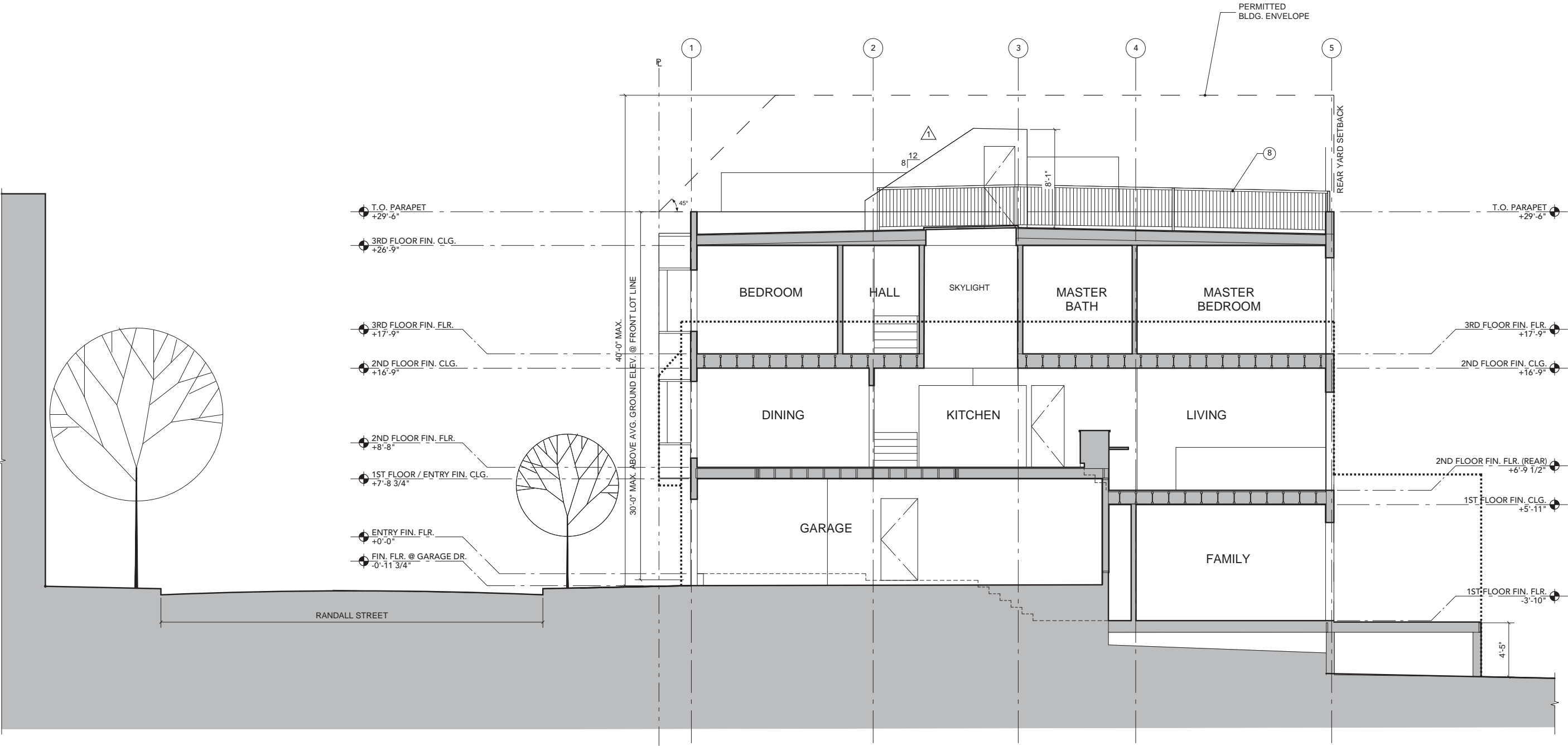
KIM-MAJORS RESIDENCE
130 RANDALL STREET
SAN FRANCISCO, CA 94131

building section

01.31.14 TEAM REVIEW
03.03.14 PRE-APP MEETING
04.11.14 SITE PERMIT
01.05.15 DR HEARING

SCALE 1/4" = 1'-0"
DRAWN LGZ
SHEET

| TYPICAL ELEVATION NOTES | ELEVATION KEY NOTES | |
|--|---|--|
| 1. PROFILE OF ADJACENT BUILDING DASHED | ① EXISTING STREET TREE ② NEW ALUMINUM WINDOW ③ NEW ALUMINUM DOOR ④ WOOD TRIM , TYPICAL ⑤ WOOD SIDING ⑥ WOOD GARAGE DOOR ⑦ EXTERIOR PLASTER ⑧ METAL GUARDRAIL @ 42" A.F.F. TYP. | |



1 PROPOSED BUILDING SECTION LOOKING WEST

KIM-MAJORS RESIDENCE
130 RANDALL STREET
SAN FRANCISCO, CA 94131

building section

01.31.14 TEAM REVIEW
03.03.14 PRE-APP MEETING
04.11.14 SITE PERMIT
07.31.14 SITE PERMIT REV 1
01.05.15 DR HEARING

SCALE 1/4" = 1'-0"
DRAWN LGZ
SHEET

Adjacent Properties and Properties Across the Street

North Side of Randall Street



South Side of Randall Street





130 RANDALL STREET
SOUTH (FRONT) FACADE



130 RANDALL STREET
NORTH (REAR) FACADE

Letters in Support of Project As Proposed

December 1, 2014

San Francisco Planning Commission
1650 Mission Street, 4th Floor
San Francisco, CA 94103

Re: 130 Randall Street – Opposition to Discretionary Review

Dear Planning Commissioners:

I am the owner of a home on Church at Randall Street— just around the corner from 130 Randall Street. From the rear of my home and backyard, I can see the 130 Randall Street property and of course will be able to view their proposed remodel.

I am writing to support the proposed project at 130 Randall Street. The owners, Julie Kim and Justin Majors, have discussed their proposed project with me, as well as their desire to ensure that the proposed improvements are compatible with the architecture and style of the neighborhood, in addition to responding to priorities of their neighbors. I chose this neighborhood because it is family-friendly and well maintained. I believe that the proposed improvements are compatible with the neighborhood and will greatly improve the existing dull, lackluster structure at 130 Randall, which has not been improved since it was constructed more than 60 years ago, and which does not contribute anything positive to the neighborhood's aesthetics.

I hope that this project will move forward as planned so that the entire neighborhood will benefit.

Sincerely,



Gina M Cockburn

cc: Marcelle Boudreaux, Planning Department

December 30, 2014

San Francisco Planning Commission
1650 Mission Street, 4th Floor
San Francisco, CA 94103

Re: 130 Randall Street - Opposition to Discretionary Review

Dear Planning Commissioners;

I am the owner of 181 Randall Street, one half block West and across the street from the proposed project at 130 Randall Street.

I am writing to support the proposed project at 130 Randall Street. The owners, Julie Kim and Justin Majors, have discussed their proposed project with me, as well as their desire to ensure that the proposed improvements are compatible with the architecture and style of the neighborhood, in addition to responding to the priorities of their neighbors.

While I am selling my home at 181 Randall Street, I have lived on the block for several years and have watched many homes undergo major renovations and expansions. Those of us on the south side of the block are significantly uphill and elevated from the properties such as 130 Randall, along the north side of the block. While renovations along the north side are such that we sometimes lose some views from our lower floor, much of our city view remains intact from our upper floors. Moreover, there is truly no way for these northerly projects to impact our light. Ultimately, Randall Street has benefited from the renovation of many homes that were sorely in need of face-lifts and more. I know we have two major vertical expansions already approved between the 150 and 200, and these are by no means precedent-setting. As someone who enjoyed living in a home on Randall Street that underwent major improvements from a prior owner, I think it would be hypocritical of me to oppose renovations of neighboring homes that are simply seeking to enjoy the same benefits. I feel that the scope of this project is well within the SF Planning and Building Department intent and guidelines for what is reasonable and harmonious for this site.

I hope that this project will move forward as planned, beautifying the block and the neighborhood.

Sincerely yours,



Adam Lowe

cc: Marcelle Boudreaux, Planning Department

November 20, 2014

San Francisco Planning Commission
1650 Mission Street, 4th Floor
San Francisco, CA 94103

Re: 130 Randall Street – Opposition to Discretionary Review

Dear Planning Commissioners:

I am the owner of a home on Randall Street—just a half block away from 130 Randall Street. I chose this neighborhood because it is family-friendly and well maintained. I am writing to support the proposed project at 130 Randall Street. The owners, Julie Kim and Justin Majors, have shared their proposed project with me, as well as their desire to ensure that the proposed improvements are compatible with the architecture and style of the neighborhood, in addition to responding to priorities of their neighbors. I believe that the proposed improvements are compatible with the neighborhood and will greatly improve the existing dull, lackluster structure at 130 Randall, which has not been improved since it was constructed more than 60 years ago, and which does not contribute anything positive to the neighborhood's aesthetics.

I hope that this project will move forward as planned so that the entire neighborhood will benefit.

Sincerely,

A handwritten signature in black ink, appearing to read "Sahar Hary", with a long, sweeping horizontal line extending to the right.

cc: Marcelle Boudreaux, Planning Department

December 29, 2014

San Francisco Planning Commission
1650 Mission Street, 4th Floor
San Francisco, CA 94103

Re: 130 Randall Street - Opposition to Discretionary Review

Dear Planning Commissioners;

I am the owner of a home in Outer Noe Valley close by Randall Street. As you know, 130 Randall Street is located on the border of Noe Valley and Glen Park.

I am writing to support the proposed project at 130 Randall Street. The owners, Julie Kim and Justin Majors, have discussed their proposed project with me, as well as their desire to ensure that the proposed improvements are compatible with the architecture and style of the neighborhood, in addition to responding to the priorities of their neighbors.

The first blocks of Glen Park, such as Laidley, Randall, Church and Whitney have undergone many home expansion and renovations over recent years. Laidley in particular has become a destination location for people interested in seeing innovative modern architecture living beautifully alongside traditional Victorians. Randall has followed suit and this is much improving the block by rethinking some of the drab box single story architecture that found it's way onto the block in prior decades. In fact, the south-side of Randall along the 100 to 200 block has many examples of homes that have undergone vertical expansions in order to create more interesting architecture while allowing those homes to capitalize on views. The proposed home at 130 Randall seems to follow these same objectives well within the scope of what is reasonable and allowable.

I hope that this project will move forward as planned, beautifying the block and the neighborhood.

Sincerely yours,



Dale Braverman

cc: Marcelle Boudreaux, Planning Department

**Sarah Mattison-Earls
404 Vicksburg Street
San Francisco, 94114**

January 1, 2015

San Francisco Planning Commission
1650 Mission Street, 4th Floor
San Francisco, CA 94103

Re: 130 Randall Street - Opposition to Discretionary Review

Dear Planning Commissioners;

I live in South Noe Valley, close to Randall Street, which is at the cusp of Noe Valley and Glen Park neighborhoods.

I am writing in support of the proposed project at 130 Randall Street. The owners, Ms. Kim and Mr. Majors, have discussed their proposed project with me, as well as their desire to ensure that the proposed improvements are compatible with the architecture and style of the neighborhood, in addition to responding to the priorities of their neighbors. Based upon their explanations and descriptions, I am confident that the proposed renovations at 130 Randall will improve the aesthetic of the neighborhood, not detract from it.

I hope that this project will be approved and move forward accordingly.

Sincerely yours,


Sarah Mattison Earls

cc: Marcelle Boudreaux, Planning Department

December 29, 2014

San Francisco Planning Commission
1650 Mission Street, 4th Floor
San Francisco, CA 94103

Re: 130 Randall Street – Opposition to Discretionary Review

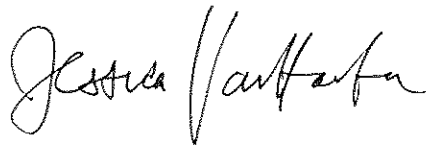
Dear Planning Commissioners:

I am a resident of Noe Valley. As I'm sure you know, 130 Randall Street is located on the border of Noe Valley and Glen Park.

I am writing to support the proposed project at 130 Randall Street. The owners, Julie Kim and Justin Majors, have discussed their proposed project with me, as well as their desire to ensure that the proposed improvements are compatible with the architecture and style of the neighborhood, in addition to responding to priorities of their neighbors. I chose this neighborhood because it is family-friendly and well maintained. I believe that the proposed improvements are compatible with the neighborhood and will greatly improve the existing dull, lackluster structure at 130 Randall, which has not been improved since it was constructed more than 60 years ago, and which does not contribute anything positive to the neighborhood's aesthetics.

I hope that this project will move forward as planned so that the entire neighborhood will benefit.

Sincerely,

A handwritten signature in black ink, appearing to read "Jessica Vartan". The signature is fluid and cursive, with the first name "Jessica" written in a larger, more prominent script than the last name "Vartan".

cc: Marcelle Boudreaux, Planning Department

December 29, 2014

San Francisco Planning Commission
1650 Mission Street, 4th Floor
San Francisco, CA 94103

Re: 130 Randall Street – Opposition to Discretionary Review

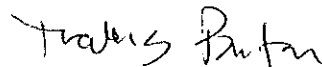
Dear Planning Commissioners:

I am a resident of Noe Valley. As I'm sure you know, 130 Randall Street is located on the border of Noe Valley and Glen Park.

I am writing to support the proposed project at 130 Randall Street. The owners, Julie Kim and Justin Majors, have discussed their proposed project with me, as well as their desire to ensure that the proposed improvements are compatible with the architecture and style of the neighborhood, in addition to responding to priorities of their neighbors. I chose this neighborhood because it is family-friendly and well maintained. I believe that the proposed improvements are compatible with the neighborhood and will greatly improve the existing dull, lackluster structure at 130 Randall, which has not been improved since it was constructed more than 60 years ago, and which does not contribute anything positive to the neighborhood's aesthetics.

I hope that this project will move forward as planned so that the entire neighborhood will benefit.

Sincerely,

A handwritten signature in black ink, appearing to read "Travis Butler". The signature is written in a cursive, flowing style.

cc: Marcelle Boudreaux, Planning Department

December 30, 2014

San Francisco Planning Commission
1650 Mission Street, 4th Floor
San Francisco, CA 94103

Re: 130 Randall Street – Opposition to Discretionary Review

Dear Planning Commissioners:

I am homeowner and long-time resident of Noe Valley. As I'm sure you know, 130 Randall Street is located on the border of Noe Valley and Glen Park.

I am writing to support the proposed project at 130 Randall Street. The owners, Julie Kim and Justin Majors, have discussed their proposed project with me, as well as their desire to ensure that the proposed improvements are compatible with the architecture and style of the neighborhood, in addition to responding to priorities of their neighbors. I chose this neighborhood because it is family-friendly and well maintained. I believe that the proposed improvements are compatible with the neighborhood and will greatly improve the existing dull, lackluster structure at 130 Randall, which has not been improved since it was constructed more than 60 years ago, and which does not contribute anything positive to the neighborhood's aesthetics.

I hope that this project will move forward as planned so that the entire neighborhood will benefit.

Sincerely,



cc: Marcelle Boudreaux, Planning Department