



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Design Review & Office Development Authorization

HEARING DATE: NOVEMBER 5, 2015

Date: November 5, 2015
Case No.: **2014-002701OFA**
Project Name: **Golden State Warriors Event Center**
Project Address: **Mission Bay South Blocks 29 & 31**
Zoning: Mission Bay Commercial-Industrial-Retail
HZ-5 Height and Bulk District
Block/Lot: 8722/001
Project Sponsor: David Kelly, Golden State Warriors, LLC
1011 Broadway
Oakland, CA 94607
Staff Contact: David Winslow – (415) 575-9159
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Recommendation: **Approval with Conditions**

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PROJECT DESCRIPTION

GSW Arena LLC ("GSW"), an affiliate of Golden State Warriors, LLC, which owns and operates the Golden State Warriors National Basketball Association ("NBA") team, proposes to construct a multi-purpose event center and a variety of mixed uses, including office, retail, open space and structured parking ("GSW Project") on an approximately 11-acre site (Blocks 29-32) within the Mission Bay South Redevelopment Plan Area of San Francisco. The project site is bounded by South Street on the north, Third Street on the west, 16th Street on the south, and by the future planned realigned Terry A. François Boulevard on the east. The GSW has submitted a Major Phase application and Combined Basic Concept/Schematic Design for Blocks 29-32 ("Schematic Design"), pursuant to the Mission Bay South Owner Participation Agreement.

The site is broken into the following components: the 18,064-seat Event Center; the South Street Office/Retail Building and the 16th Street Office/Retail Building, with about 570,000 leasable square feet of office space combined; the Food Hall and retail buildings along Terry A. François Boulevard and South Street; the Gatehouse; the underlying parking podium; and the surrounding publicly accessible open space (including the Main Plaza).

On portions of MBS Blocks 29 and 31, the proposal would construct two new office buildings, the 16th Street Building and the South Street Building, with a total of approximately 640,000 gross square feet. The South Street Building is a 342,272 gross square foot, 11-story building, approximately 160-feet in height, located at the corner of Third Street and South Street. The 16th Street Building is an 11-story, approximately 160-foot tall building containing approximately 297,694 gross square feet, situated near the corner of Third Street and 16th Street. A common access driveway on 16th Street will provide loading and service to both buildings. A large publicly accessible open space plaza, approximately 1-acre, is

centrally located between the two office buildings. The proposal includes up to 577,000 square feet of office and approximately 54,000 square feet of retail.

South Street and 16th Street Office/Retail Buildings

Two office/lab and retail buildings are proposed. One would be located on the northwest corner of Third Street and South Street ("South Street Building") and the other at the corner of Third Street and 16th Street ("16th Street Building"). The South Street Building would contain 309,436 square feet of office space, and 28,154 square feet of retail, while the 16th Street Building would contain approximately 267,486 square feet of office space, and 25,526 square feet of retail. A total of 950 off-street parking spaces will be located in an at-grade and underground parking garage that is part of the Event Center Project, 546 spaces would be dedicated for the office uses, and 124 bicycle parking spaces located on-site in ground floor bike rooms will be dedicated to the office and retail uses.

They each combine a 6-story (90-foot) mixed-use podium and an 11-story (160-foot) office tower for each building, with retail along Third Street and the Main Plaza at the podium level to help activate both the street and publicly accessible plaza. The towers have curved corners, which will complement the Event Center's curvilinear aesthetic and that of the other structures on-site.

The buildings' podiums wrap into the Main Plaza with curved forms, to create an invitational gesture for pedestrians and event patrons into the plaza along sloped walkways and bordered by active retail uses on the east side. The primary office lobby entrance for the South Street Building will be located on the corner of South Street and 3rd Street, with an additional entrance off of the Main Plaza. The primary office lobby entrance for the 16th Street Building will be located on the corner of 16th Street and 3rd Streets, with an additional entrance off of the Main Plaza.

The skin of both buildings will include a variety of cladding types including outside glazed low-E unitized curtain wall system, fritted spandrel glazing and resin coated wood accent panels and soffits to add warmth. A serrated curtainwall system will round the corner into the main plaza, further breaking down the scale of the building at the podium and adding contrasting visual interest to the curved form of the building.

SITE DESCRIPTION AND PRESENT USE

The site is located in the Mission Bay South Project Area, in a Commercial-Industrial Zoning District, and an HZ-5 Height District. Lot 001 in Assessor's Block 8722, also known as MBS Block 29-32. The site is approximately 11 acres, and is bounded to the north by South Street, to the west by Third Street, to the south by 16th Street, and to the east by Terry Francois Boulevard. Currently, the subject property is vacant.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The site is surrounded by life science and biomedical office buildings along Third Street, and a future waterfront park along Terry Francois Boulevard.

ENVIRONMENTAL REVIEW

On November 3, 2015, the Commission on Community Investment and Infrastructure reviewed and considered the FSEIR and, by Resolution No. 69-2015, certified the FSEIR in compliance with CEQA. On November 3, 2015, the San Francisco Municipal Transportation Agency ("SFMTA") Board of Directors, acting in its capacity as a responsible agency for the Event Center Project, as such term is defined in CEQA, Public Resources Code Section 21069, after a duly noticed public hearing, adopted Resolution No. XXXXX, which includes required findings under CEQA ("CEQA Findings") and various approval actions in regard to the Event Center Project. Said Resolution and the SFMTA CEQA Findings are incorporated herein by reference. The FSEIR files, other Project-related OCII files, and other materials have been available for review by the Planning Commission and the public with the OCII Board Secretary at 1 S. Van Ness, 5th Floor, San Francisco, CA 94103, through this Commission's Secretary, and at www.gsweventcenter.com, and those files are incorporated herein by reference and made part of the record before this Commission.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	October 17, 2015	October 14, 2015	23 days
Posted Notice	20 days	October 17, 2015	October 15, 2015	22 days
Mailed Notice	10 days	n/a	October 23, 2015	13 days

The proposal does not require any other form of neighborhood notification.

PUBLIC COMMENT

The Mission Bay Citizen's Advisory Committee (CAC) is the official community group leading the community process for the GSW Project. The CAC has discussed the GSW Project, and related topics, at its May, August, September, October, November and December 2014 meetings, as well as three other meetings in March and April 2015. The Schematic Designs were discussed by the Mission Bay CAC at the March and April 2015 meetings. Overall the Mission Bay CAC was supportive of the Schematic Designs. Most of the requests related to the Schematic Designs were to retain the simplicity and grace of the Event Center design, clarify some of the operational features, and ensure that environmental conditions, such as wind, are taken into consideration with the open space design. The community was also concerned about ensuring that the retail is designed to be successful and contribute to the overall neighborhood as both a destination and a catalyst for further growth.

In addition to meeting with the CAC, the GSW and OCII/City staff have held numerous meetings with other stakeholders, including:

- Mission Bay life science community
- Neighborhood leaders from: South Beach, Rincon Hill, Mission Bay, Dogpatch, and Potrero Hill
- UCSF
- San Francisco Giants
- San Francisco Bicycle Coalition
- San Francisco Walk
- Local residents and business/merchants.

The Schematic Designs addressed the design comments received from the CAC and larger community during the GSW Major Phase design phase, which focused on:

- Bayfront terrace reducing the height/size
- Height and setback along the pedestrian edge of site and throughout buildings
- Local wind patterns
- High quality of design and creation of needed open space
- Excitement about an active area with commercial (food) retail options
- Understanding of great need for more office/lab space in area.

In addition, at the end of April, a newly formed 501c(4) named the Mission Bay Alliance came out in opposition to the GSW Project based on concerns about the impact of the project on the new UCSF Medical Center in Mission Bay. There have been many newspaper articles including statements from the Mission Bay Alliance expressing their concerns related to traffic and parking impacts on the Mission Bay Medical Center, as well as expressing the group's desire to expand future UCSF facilities onto the project site. A representative from the Mission Bay Alliance attended the April 30, 2015 Mission Bay CAC meeting to express the group's concerns.

According to the official statement from UCSF, UCSF is not affiliated with any group related to or formally opposing the GSW Project.

ISSUES AND OTHER CONSIDERATIONS

- Major Phase: The Schematic Design is similar to the designs presented at the Major Phase review for the GSW Project presented to the Planning Commission on December 18, 2014.
- Office Development Authorization: On September 17, 1998, the Planning Commission (hereinafter "Commission") determined that the Mission Bay South Redevelopment Plan ("MBS Plan") provides for a type, intensity, and location of development that is consistent with the overall goals, objectives, and policies of the General Plan, as well as the Eight Priority Policies of Section 101.1(b) of the Planning Code ("Code") by Resolution No. 14702.

The development of office space is an element of the MBS Plan, which, among other things, provides for: "Strengthening the economic base of the Plan Area and the community by strengthening retail and other commercial functions in the Plan Area through the addition of approximately 335,000 leasable square feet of retail space ... and about 5,953,600 leasable square feet of mixed office, research and development and light manufacturing uses".

Per Planning Commission Motion No. 17709, the Commission allocated 1,350,000 square feet of office use for the buildings located on Mission Bay South Blocks 26, 27, 29-32, 33-34 and 41-43.

The Department requests review and approval by the Planning Commission on the proposed design for two office buildings associated with the Golden State Warriors Event Center, located on Mission Bay South Block 29 & 31.

- Proposed Amendments to the Design for Development Standards: In Mission Bay South, the building design is regulated by the Design for Development. Since the Mission Bay South (MBS) Design for Development ("Design for Development") regulations for Blocks 29-32, which control the design of the site, were focused on office and retail uses versus an event center's unique

design requirements, the MBS Design for Development will require amendments by the OCII Commission to allow the proposed GSW Project. Below summarizes the amendments to the MBS Design for Development that would need to allow the proposed GSW Project (“Design for Development Amendments”).

The proposed MBS Design for Development Amendments principally relate to the height of the event center, building massing, number of towers, and bulk. In no case will the GSW Project exceed the 160’ height limit or otherwise be inconsistent with the standards set forth in the Mission Bay South Redevelopment Plan.

Design for Development Amendments Summary

Type of Amendment	Description
Definitions	“Event Center” and “Event Center Project” added
Height	Height Zone 5 would allow an Event Center at 135’ (which is within the existing maximum of 160’)
Towers	Tower allocation shifted using an unused tower in Height Zone 2 to Height Zone 5; Height Zone 5 would thus allow for 4 towers; minimum tower separation from the Event Center defined
Bulk	Creates a bulk allowance for an Event Center
Streetwall and Setbacks	Frontages along Third and 16 th streets would be excepted from minimum streetwall lengths and corner conditions, and maximum heights reflect Event Center definition
View Corridors	Allow for the view corridor on Blocks 29-32 to terminate in an Event Center that provides an important architectural statement as recommended in the Commercial Industrial Guidelines
Parking	Defines Event Center parking ratio at 1 space per 50 seats and allows for within 300 feet of an Event Center Project entry to qualify as off-site parking for the Project

- Community Outreach & Follow-Up: OCII and City staff will continue to work with the GSE and community on these issues:
 - 1) Traffic Congestion and Parking
 - Access to hospital, residents, and businesses during events
 - Adequate transit to serve the site
 - Location of parking (on-site, locally, and satellite)
 - Traffic Control
 - AT&T Park and GSW events on the same day
 - Street closures and local access
 - Adequate bicycle parking and infrastructure
 - Congestion on the 4th Street bridge.
 - 2) Event Management
 - Crowd control and security

- Trash and physical impacts on adjacent properties.
- 3) Construction Impacts
- Noise, dust control, traffic, and vibration.

REQUIRED COMMISSION ACTION

In order to proceed, the Planning Commission must adopt findings under the California Environmental Quality Act ("CEQA"), and review and approve the design of the two proposed office buildings pursuant to Planning Commission Resolution No. 14702 and Motion No. 17709, for Office Development Authorization for 577,000 gross square feet from the previously-allocated office development authorization of 677,020 gsf granted for Mission Bay South Redevelopment Plan.

BASIS FOR RECOMMENDATION

- The Project is consistent with the objectives and policies of the General Plan.
- The Project is in a zoning district that principally permits office use and encourages the growth of office development.
- The authorization of office space will contribute to the economic activity in the neighborhood.
- The project would promote the health, safety, and welfare of the City, and provide jobs in an appropriate Mission Bay site.
- The proposed design of the buildings is in conformity with Planning Commission Resolution No. 14702 and Planning Commission Motion No. 17709, the Mission Bay Redevelopment Plan, and the MBS Design for Development.

RECOMMENDATION: Approval with Conditions
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Attachments:

- Draft Motion
- Exhibits, including the Zoning Map, Height Map, Parcel Map, Aerial Photos, Site Photos
- Schematic Design Submittal
- Planning Commission Resolution No. 14702
- Planning Commission Motion No. 17709
- Environmental Determination

Attachment Checklist:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor Submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input checked="" type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input checked="" type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel Map | <input type="checkbox"/> Health Dept. review of RF levels |
| <input type="checkbox"/> Sanborn Map | <input type="checkbox"/> RF Report |
| <input checked="" type="checkbox"/> Aerial Photo | <input type="checkbox"/> Community Meeting Notice |
| <input type="checkbox"/> Context Photos | <input type="checkbox"/> Inclusionary Affordable Housing Program:
Affidavit for Compliance |
| <input checked="" type="checkbox"/> Site Photos | |

Exhibits above marked with an "X" are included in this packet

DW
Planner's Initials



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

☐ Affordable Housing (Sec. 415)

☐ Jobs Housing Linkage Program (Sec. 413)

☐ Downtown Park Fee (Sec. 412)

☒ Transit Impact Development Fee (Sec. 411)

☐ First Source Hiring (Admin. Code)

☒ Child Care Requirement (Sec. 414)

☐ Other (Public Art Fee, Sec. 429)

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Planning Commission Draft Motion

HEARING DATE: NOVEMBER 5, 2015

Date: November 5, 2015
Case No.: **2014-002701OFA**
Project Address: **Mission Bay South Blocks 29 & 31**
Zoning: Mission Bay Commercial-Industrial-Retail
HZ-5 Height and Bulk District
Block/Lot: 8722/001
Project Sponsor: David Kelly, Golden State Warriors, LLC
1011 Broadway
Oakland, CA 94607
Staff Contact: David Winslow – (415) 558-6377
david.winslow@sfgov.org
Recommendation: **Approval with Conditions**

ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (“CEQA”) AND FINDINGS RELATING TO THE DESIGN APPROVAL PURSUANT TO PLANNING COMMISSION RESOLUTION NO. 14702 AND MOTION NO. 17709, FOR TWO NEW BUILDINGS WITH A TOTAL OF APPROXIMATELY 577,000 GROSS SQUARE FEET OF OFFICE USE, APPROXIMATELY 54,000 SQUARE FEET OF RETAIL SPACE, AND UP TO 546 OFF-STREET PARKING SPACES, ON PROPERTY THAT RECEIVED AN ALLOCATION OF 677,020 GROSS SQUARE FEET OF OFFICE USE PURSUANT TO PLANNING COMMISSION RESOLUTION NO. 17709, ON ASSESSOR’S BLOCK 8722, LOT 001, AKA MISSION BAY SOUTH BLOCKS 29 AND 31 IN THE MISSION BAY SOUTH REDEVELOPMENT AREA WITHIN THE MISSION BAY COMMERCIAL-INDUSTRIAL-RESIDENTIAL ZONING DISTRICT AND HZ-5 HEIGHT DISTRICT.

PREAMBLE

Whereas, GSW Arena LLC (“GSW” or “Project Sponsor”), an affiliate of the Golden State Warriors, LLC, which owns and operates the Golden State Warriors National Basketball Association team, proposes to construct a multi-purpose event center and a variety of mixed uses, including office, retail, open space, and structured parking on an approximately 11-acre site on Blocks 29-32 (Assessor’s Block 8722, Lots 1 and 8) in Mission Bay South Redevelopment Area (the “Event Center Project”). The Event Center Project

site is bounded by South Street on the north, 3rd Street on the west, 16th Street on the south, and the future planned realigned Terry A. Francois Boulevard on the east.

Whereas, on October 09, 2015, the Golden State Warriors, (hereinafter "Project Sponsor") filed Application No. 2014-002701OFA with the City and County of San Francisco Planning Department ("Department") for design approval and authorization of 577,000 gross square feet of office use in two new buildings, that are part of the Event Center Project, the "South Street Building" located on a portion of Block 29 of the Mission Bay South Redevelopment Project Area ("MBS Redevelopment Project Area"), and the "16th Street Building" located on a portion of Block 31 in the MBS Redevelopment Project Area, pursuant to Planning Commission Resolution No. 14702 and Motion No. 17709, on Assessor's Block 8722, lot 001, aka Mission Bay South Blocks 29 - 32.

Whereas, the South Street Building and the 16th Street Building are part of the Event Center Project and the design of these two buildings are the only elements of the Event Center Project that is subject to Planning Commission action.

Whereas, the Office of Community Investment and Infrastructure ("OCII") is the successor to the former Redevelopment Agency of the City and County of San Francisco and administers the development of projects in the MBS Redevelopment Project Area.

Whereas, the OCII and the Planning Department, together acting as co-lead agencies for conducting environmental review for the MBS Redevelopment Project Area, and other permits, approvals and related and collateral actions related to the Mission Bay South Redevelopment Project (the "MBS Project"), prepared and certified a Final Subsequent Environmental Impact Report (the "Mission Bay FSEIR"). The Agency and Commission certified the Mission Bay FSEIR for the MBS Project on September 17, 1998 by Resolution No. 182-98 and Resolution No. 14696, respectively. Also on September 17, 1998, the Agency and the Commission, by Resolution No. 183-98 and Resolution No. 14697, respectively, adopted environmental findings (and a statement of overriding considerations, that the unavoidable negative impacts of the MBS Project are acceptable because the economic, social, legal, technological and other benefits of the MBS Project outweigh the negative impacts on the environment) pursuant to the California Environmental Quality Act, California Public Resources Code Sections 21000 et seq. ("CEQA") and State CEQA Guidelines, Title 14 California Code of Regulations Sections 15000 et seq. ("CEQA Guidelines") in connection with the approval of the MBS Plan and other MBS Project approvals. On October 19, 1998, the Board of Supervisors adopted Motion No. 98-132 affirming certification of the FSEIR by the Planning Commission and the Agency, and by Resolution No. 854-98 adopting environmental findings (and a statement of overriding considerations).

Whereas, the OCII, in accordance with CEQA and the CEQA Guidelines, and acting in its capacity as lead agency under CEQA Section 20167 for projects in the Mission Bay Project Area, determined that the Event Center Project required preparation of a Final Subsequent Environmental Impact Report ("FSEIR"). The OCII prepared the Event Center Project FSEIR, which tiers off the Mission Bay FSEIR. The Event Center Project FSEIR consists of the Draft Subsequent Environmental Impact Report ("GSW DSEIR"), the comments received during the review period, any additional information that became available after the publication of the GSW DSEIR, and the Responses to Comments document, all as required by law, copies

of which are available through Jonas P. Ionin, the Planning Department custodian of records as described below and are incorporated herein by reference.

Whereas, the requested design approval is an implementation action pursuant to and within the scope of the project analyzed in the Event Center Project FSEIR. On November 3, 2015, the Commission on Community Investment and Infrastructure reviewed and considered the FSEIR and, by Resolution No. 69-2015, certified the FSEIR in compliance with CEQA, adopted required findings under CEQA by Resolution No 70-2015, and took various approval actions including an approval of amendments to the Mission Bay South Design for Development ("MBS D for D") by Resolution No. 71-205, and conditional approval of the Major Phase and combined Basic Concept and Schematic Design of the Event Center Project by Resolution No. 72-2015.

Whereas, on November 3, 2015, the San Francisco Municipal Transportation Agency ("SFMTA") Board of Directors, acting in its capacity as a responsible agency for the Event Center Project, as such term is defined in CEQA, Public Resources Code Section 21069, after a duly noticed public hearing, adopted SFMTA Resolution No. XXXXX, which includes required findings under CEQA ("CEQA Findings") and took various approval actions in regard to the Event Center Project. Said Resolution and the SFMTA CEQA Findings are incorporated herein by reference. The FSEIR files, other Project-related OCII files, and other materials have been available for review by the Planning Commission and the public with the OCII Board Secretary at 1 S. Van Ness, 5th Floor, San Francisco, CA 94103, through Jonas P. Ionin, the Planning Department custodian of records as described below, and at www.gsweventcenter.com, and those files are incorporated herein by reference and made part of the record before this Commission.

Whereas, the Planning Commission, acting in its capacity as a responsible agency under CEQA, has reviewed and considered the information contained in the FSEIR for the Event Center Project and the SFMTA CEQA Findings.

Whereas, on September 17, 1998, the Planning Commission (hereinafter "Commission") determined that the Mission Bay South Redevelopment Plan ("MBS Plan") (Planning Department Case No. 96.771EMTZR), provides for a type, intensity, and location of development that is consistent with the overall goals, objectives, and policies of the General Plan, as well as the Eight Priority Policies of Section 101.1(b) of the Planning Code ("Code"), in Planning Commission Resolution No. 14702.

Whereas, on September 17, 1998, the Commission authorized a total of 5,953,600 gross square feet of office use from the Office Development Annual Limit, as defined in Planning Code Sections 320, 321 and 322, for the proposed Mission Bay North and Mission Bay South Redevelopment Plans, as noted in Planning Commission Resolution No. 14702.

Whereas, on July 16, 2008, the Commission, by Motion No. 17709 authorized, pursuant to Resolution No. 14702 and Planning Code Section 321, the creation of the Alexandria Mission Bay Life Sciences and Technology District ("Development District"), for which previously allocated office space and future allocations would be limited by this authorization to 1,350,000 leasable square feet of office space, until entirely allocated, as further described below. Blocks 29-32 are included in the Development District and have been allocated a total of 677,020 sf. of office space pursuant to Motion No. 17709.

Whereas, Motion No. 17709 provided that authorization for construction of future buildings with an office component in the Development District would be subject to Commission review with regard to design for compliance with the MBS D for D and in accordance with Resolution No. 14702.

Whereas, the Planning Department, Jonas P. Ionin, is the custodian of records, located in the File for Case No. 2014-002701OFA at 1650 Mission Street, Fourth Floor, San Francisco, California.

Whereas, on November 5, 2015, the Planning Commission ("Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Office Allocation Application No. 2014-002701OFA.

Whereas, the Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission in relation to the actions set forth in this Motion hereby adopts the SFMTA CEQA Findings as its own and,

FURTHER MOVED, that the Commission hereby approves the design for construction of the South Street Building and the 16th Street Building and authorizes 577,000 gross square feet of Office Development requested in Application No. 2014-002701OFA, pursuant to the criteria established in Planning Commission Resolution No. 14702 and Motion No. 17709, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The site is located in the MBS Redevelopment Project Area, in the MBS Plan's Commercial-Industrial-Retail Zoning District, and the MBS D for D's Height Zone 5 (HZ-5). Lot 001 in Assessor's Block 8722, also known as MBS Block 29-32, is approximately 11 acres, and is bounded to the north by South Street, to the west by Third Street and to the South Street by 16th street, and to the west by Third Street. The site is currently partially occupied by paved, metered surface parking.
3. **Project Description.** On portions of MBS Blocks 29 and 31, the proposal would construct two new office buildings, the 16th Street Building and the South Street Building, with a total of approximately 640,000 gross square feet. The South Street Building is a 342,272 gross square foot, 11-story building, approximately 160-feet in height, located at the corner of Third Street and South Street. The 16th Street Building is an 11-story, approximately 160-foot tall building containing approximately 297,694 gross square feet, situated near the corner of Third Street and 16th Street. A common access driveway on 16th Street will provide loading and service to both

buildings. A large publicly accessible open space plaza, approximately 1-acre, is centrally located between the two office buildings. The proposal includes up to 577,000 square feet of office and approximately 19,400 square feet of ground floor retail. Specifically, the South Street Building would contain approximately 309,436 square feet of office space, while the 16th Street Building would contain approximately 267,486 square feet of office space. A total of 950 off-street parking spaces will be located in an at-grade and underground parking garage that is part of the Event Center Project, 546 spaces would be dedicated for the office uses, and 124 bicycle parking spaces located on-site in ground floor bike rooms will be dedicated to the office and retail uses.

4. **Public Comment.** The Mission Bay Citizen's Advisory Committee (CAC) is the official community group leading the community process for the Event Center Project. The CAC has discussed the Event Center Project, and related topics, at its May, August, September, October, November and December 2014 meetings, as well as three other meetings in March and April 2015. The Schematic Designs were discussed by the Mission Bay CAC at the March and April 2015 meetings, and again on October 8, 2015 when the CAC voted unanimously to recommend approval of the designs. In addition to meeting with the CAC, the GSW and OCII/City staff have also reached out to other stakeholders, including:
- Mission Bay life science community
 - Neighborhood leaders from: South Beach, Rincon Hill, Mission Bay, Dogpatch, and Potrero Hill
 - UCSF
 - San Francisco Giants
 - San Francisco Bicycle Coalition
 - Walk San Francisco
 - Local residents and business/merchants
 - Regional transportation providers such as BART, Caltrain, WETA, Golden Gate Transit, and Caltrans.

On October 6, 2015 the University of California San Francisco endorsed the Event Center Project; on October 8, and on October 20, 2015 the Mission Bay life science community, represented by thirteen of the largest biotech companies in San Francisco, officially supported the Event Center Project.

5. **Planning Commission Resolution No. 14702.** Under Planning Commission Resolution No. 14702, the Commission determined that the office development contemplated in the MBS Plan in particular promotes the public welfare, convenience and necessity, and was consistent with the factors set forth in Sections 321(b)(3)(A)-(G).

In considering the guidelines set forth in Section 321(b)(3)(A)-(G), the Commission determined that the apportionment of office space over the anticipated 30-year build-out of the MBS Redevelopment Project Area will remain within the limits set by Section 321, and will maintain a balance among economic growth, housing, transportation, and public services, pursuant to terms of the MBS Plan and Plan Documents, which provide for the appropriate construction and provision of housing, roadways, transit, and all other necessary public services in accordance with the Infrastructure Plan (as defined in the MBS Plan Documents).

The development of office space is an element of the MBS Plan, which, among other things, provides for: "Strengthening the economic base of the Plan Area and the community by strengthening retail and other commercial functions in the Plan Area through the addition of approximately 335,000 leasable square feet of retail space ... and about 5,953,600 leasable square feet of mixed office, research and development and light manufacturing uses."

The Commission further determined in Resolution No. 14702 that it would review any specific office development subject to Sections 320-325 to confirm that the design of that office development is consistent with the findings in Resolution No. 14702 using the design standards and guidelines in the MBS D for D and upon such a determination would issue a project authorization for the proposed development.

6. **Mission Bay South Design for Development Standards.** The MBS D for D is a companion document to the MBS Plan. It contains Design Standards and Design Guidelines, which apply to all development within the MBS Plan Area. The MBS Plan provides that the Plan and other documents adopted with Plan, including the MBS D for D, supersede the San Francisco Planning Code in its entirety, except as otherwise provided in the MBS Plan.

The D for D has been amended by OCII (or its predecessor agency) four times since its adoption in 1998, most recently on November 3, 2015 by Resolution No. 71-2015. This fourth amendment was approved primarily to address the unique characteristics of the Event Center Arena that is a component of the Event Center Project. The amendments included minor changes that relate to design standards and guidelines relevant to the 16th Street Building and South Street Building. These included allocation of an unused tower from Height Zone 2 to Height Zone 5 (for an amended total of 4 instead of 3 towers within HZ-5) the designation of the fourth tower location on Blocks 29 or 31, and minor adjustments to the HZ-5 developable area percentages to accommodate the Event Center Project, and the addition of minimum tower separation requirements between a tower and Event Center building.

The proposed 16th Street Building and South Street Building conform to the MBS Plan and the amended MBS D for D standards and guidelines as described below in findings 7 and 8, respectively:

In MBS, development plans for buildings are preceded by the approval of a Major Phase, which generally covers one or several MBS blocks and in which such items as the general appearance, site planning (program of uses, estimated: range of development density, parking, loading, square footage of each use and schedule for development, utilities, transit, vehicular, pedestrian and bicycle circulation, open space, private and public) and streetscape are considered. Any major phase should also meet the MBS Plan and MBS D for D standards and guidelines.

The Major Phase and Schematic Design for Blocks 29 to 32 was combined into a single review and approval by the Office of Community Investment and Infrastructure Commission on November 3, 2015 by Resolution No. 72-2015.

7. **Office of Community Investment and Infrastructure Compliance.** At the November 3, 2015 meeting, the Office of Community Investment and Infrastructure (OCII) Commission found and determined that the Major Phase and Schematic Design for the entire Event Center and Mixed Use Development Project are, on balance, consistent with the Commercial Industrial Guidelines of the MBS D for D, and is consistent with MBS D for D as amended. The 16th Street Building and the South Street Building are specifically consistent with MBS D for D Design Standards and Commercial/Industrial Guidelines in the following manner:

- a) Land Use. Blocks 29 & 31, as shown in Map 2, Land Use Plan of the MBS D for D, is within a designated Commercial Industrial Retail District.

The 16th Street Building and the South Street Building are allowed principal uses under the MBS Redevelopment Plan.

- b) Height. According to Map 4 of the D for D, Blocks 29 & 31 are within Height Zone-5 (HZ-5), which has the following development controls:

Base Height:	90'
Base Height Coverage:	90% of HZ-5
Tower Height:	160'
Tower Height Coverage:	10% of HZ-5. Max. Number of Towers: 4, 2 of which must be on Blocks 29 or 31
Location of Towers:	No tower permitted in Blocks 26a, 28, 30, 32, 34 & X4.
Corners:	Except for 16 th Street and Third Street, no intersection to allow more than 2 towers within 50' of the corner.
Tower Separation:	100' when located on the same block, and a minimum of 40', between and a tower and an Event Center
Orientation:	Towers along 3rd Street not to exceed 160'
Mechanical Equipment:	Exempt from the Height limitation. The exemption is limited to the top 36' (20' for a mechanical penthouse, 16 for top of a ventilator stack) of such features where the height limit is more than 65'.

The proposed development of MBS Blocks 29 and 31 consists of two office buildings with bases of 90' and towers of a maximum height of 160-ft.

The proposal complies with the 100' separation of towers and with the 40' separation from the Event Center building; as required in the D for D.

Mechanical equipment would be located on the roof and screened from view, the maximum height of the proposed screens would be 16' for the 16th St. Building and 14'-9" for the South St. Building.

- c) Bulk. Bulk controls apply above 90' and include the following standards:

Maximum Plan Length: 200'

Maximum Floor Plane: 20,000 square feet

The 16th Street Building has a maximum plan length of 199-feet and a maximum floor plane of 20,000 square feet.

The South Street Building has a maximum plan length of 192-ft 6-in and a maximum floor plane of 20,000 square feet.

d) Setbacks.

Required Setbacks: 5' setback on east side of Third Street from one block south of Channel to Mariposa Street.

The development of the South Street building proposes ground floor setbacks that range from 35' to 55' from the sidewalk; and the 16th Street building proposes ground floor setbacks that range from 10' to 35' from the sidewalk in anticipation of high pedestrian volumes due to the proposed Event Center.

e) Coverage and Streetwall. In Commercial Industrial Districts the D for D Document sets forth the following requirements:

Coverage: Non Applicable.

Streetwall:

Minimum Length: Minimum 70% of block frontage length along primary streets required (Third Street and the Commons, a.k.a. Mission Bay Boulevard are considered primary streets; (70% refers to the total measurement from street to street with no exceptions for pedestrian walkways, except for 3rd and 16th Street frontages surrounding an Event Center).

Minimum Height: 15'.

Maximum Height: Height not to exceed 90' (except for mid-rise, Event Center, and towers.)

Corner Zone Conditions: At all intersections along primary streets, build to streetwall at all corners for a distance of 50'. Height of buildings at the corners to be no less than 15'.

Required Stepbacks: Buildings HZ-5 along the Commons (Mission Bay Boulevard) are required to use a stepback of 30' from the property line at the 55' height and 110' from the property line at the 90' height.

Projections: Architectural projections over a street, alley, park or plaza shall provide a minimum of 8' of vertical clearance over the sidewalk or other surface above which they are situated.

The minimum streetwall height would be approximately 90-ft, and the maximum streetwall height to be 160-ft for the buildings along Third Street.

The proposed building frontages along Third and 16th Streets complies with minimum streetwall lengths and corner conditions and heights at corners per amendments to the MBS D for D.

- f) Sunlight Access to Open Space. As the MBS D for D indicates, additional shadow analysis will not be required unless, as part of a specific project application, the project applicant seeks a variance from the standards determining the shape and location of buildings.

No exception is required as part of this application.

- g) Wind Analysis. The MBS D for D indicates that wind review will be required for all projects that include buildings over 100' in height. The height of the proposed building would be 160'.

A Pedestrian Wind Study was prepared by RWDI for this Site. The Study considered the development proposed in the application. The final Report, dated April 15, 2015 concludes that the, wind conditions at grade around the development were predicted to not to exceed hazard levels year-round.

- h) View Corridors. View corridors follow street alignments and are based on the following principles: to preserve orientation and visual linkages to the Bay, as well as vistas to hills, the Bay Bridge and downtown skyline; to preserve orientation and visual linkages that provide a sense of place within Mission Bay. View Corridors may terminate in buildings rather than vistas in certain circumstances; a view corridor on MBS Blocks 29-32 may terminate in an Event Center that provides an important architectural statement as recommended in the MBS D for D Commercial Industrial Guidelines.

The proposed 16th Street and South Street Buildings do not block any view corridors as defined above.

- i) Parking. The number of off-street parking spaces required and/or allowed for uses within MBS applicable to the 16th Street Building and South Street Building, as indicated in the D for D are the following:

Office:	Maximum and minimum, one space for each 1,000 square feet of gross floor area.
Retail:	Maximum, one space for every 500 square feet of gross floor area for up to 20,000 square feet; 1 space per 250 over 20,000 gross feet. Restaurants: 1 space per 200.
Bicycle Parking:	One secure bicycle parking space must be provided for every 20 vehicular parking spaces or fraction thereof.

Based on the gross square footage indicated on the application for Planning Code Section 321 (b) determination for development of Blocks 29 & 31, the maximum number of allowable parking spaces required would be: life science/office uses (545,877 adjusted gross square feet, per OCII calculations) 546 spaces required and provided. Based on the proposed retail area and uses that are part of the office buildings, 130 parking spaces are required. Based on the above, 34 secured bike parking spaces are required. 60 class 1 secured bike spaces are provided at the ground level of the 16th St. building; and

64 class 1 secured bike spaces are provided at the ground level of the South St. Building. The 18,064 seat Event Center requires 1 space per 50 seats. The Event Center Project is providing a total of 950 spaces on site and 132 spaces at 450 South Street Parking Garage; therefore the parking provided for the 16th Street and South Street Buildings complies with the required standard.

- j) Loading. The number of loading spaces required and/or allowed for uses within MBS, provided per gross square feet, as indicated in the MBS D for D are the following:

Retail:	One space for retail uses between 10,001 and 60,000 square feet.
Commercial:	Two spaces for commercial uses between 200,001 and 500,000 square feet.
Dimensions:	At least 10' wide, 35' long and 14' high.

Based on those ratios, the total number of loading spaces would be three. However, based on a loading study for the Event Center Project as a whole including the office uses, the corresponding Major Phase Application indicate thirteen loading spaces located within the structured parking and combined with a parking entrance, satisfying the dimensional requirements indicated in the MBS D for D.

8. Mission Bay South Design for Development Design Guidelines-Commercial Industrial Guidelines. The Applicable Design Guidelines include:

- a) View Corridors

"View corridors are defined by the Mission Bay street grid....View corridors are primarily to retain views to the Bay, the Channel and the down skyline and to reinforce visual linkages between the UCSF campus and surrounding development. In a few locations in Mission Bay (e.g. near the Freeway and on Blocks 29-32 to accommodate and an Event Center Project) view corridors may terminate in buildings rather than in vistas."

The 16th Street and South Street Buildings are not located within any view corridors.

- b) Open Spaces

"Encourage the development of publicly-accessible open spaces at ground level. Where feasible, design these open spaces in relation to local-serving retail such as cafes and to the public open space network".

The 16th Street Building and the South Street Building are within the larger development of the Event Center Project on MBS Blocks 29-32 which contemplates the construction of two major publicly accessible open spaces. The Main Plaza is located between the office buildings, along Third Street, and the second is located at the northwest corner of 16th Street and Terry Francois Boulevard. The main plaza is a one-acre publicly accessible open space that is elevated 8 feet above grade. It gradually terraces from the street level by stairs, ramps, and landscape features to be visually and physically and accessible. It is bordered by commercial uses.

Building plans include approximately 6,400 square feet of retail space located on the ground floor along Third Street, and approximately 10,000 of retail space directly adjacent to the main plaza on two levels.

The smaller 25,000-square foot Southeast Plaza at the corner of Terry Francois and 16th Street leads into the secondary entrance to the Event Center Project and will be used as the primary entrance for events with reduced attendance. A 300-space bicycle valet facility is located on this plaza, and an additional overflow, temporary bicycle corral could be located in this plaza for events anticipated to attract a larger number of bicycle riders. A similar overflow bicycle corral could be provided on other plaza areas throughout the site as needed.

c) Pedestrian Walkways

“Walkways are encouraged to enhance the pedestrian experience in the Commercial Industrial area...Walkways to mid-block open spaces or courtyards are encouraged.”

In addition to the plazas, there are public walkways that wrap around the exterior of the north and eastern-sides of the Event Center to connect the Main Plaza to the Food Hall, Bayfront overlook, main concourse entry, Bayfront Terrace exterior entry, and 16th Street.

d) Streetwall

“Commercial areas in San Francisco are noted for streets with buildings at the property line where there is little or no space between the buildings. This historical pattern of development gives San Francisco its intense urban quality and should be a model for Mission Bay development. Commercial Industrial Buildings shall be continuous at the property line on streets, except for occasional breaks in the streetwall.”

“Setbacks up to 10’ from the property line are allowed within a continuous streetwall.”

“Variations from the streetwall are allowed to create open space, pedestrian circulation space, mid-block lanes and landscaping areas.”

The ground level of building facades at Third Street would be set back at an angle from the property or setback line to accommodate large pedestrian traffic that integrate ramps, stairs, and landscaping that transition from grade to the raised public open space at the Main Plaza. Additionally, a gatehouse anchors the visual terminus of the ‘vara’ along Third St. The design balances a traditional streetwall at the corners along Third Street with a public plaza that opens onto Third Street. The design of the office buildings and landscape at ground level is supportive of the street wall and the public plaza.

This approach would be consistent with the traditional development pattern that gives San Francisco a vibrant and visually interesting urban quality, as sought by the MBS Design for Development Guidelines.

e) Streetwall Height

"Within high density commercial areas of San Francisco such as downtown and South of Market, a typical ratio of street width to streetwall height is approximately 1: 1.25"."The building-street relationship in Mission Bay Commercial Industrial areas should reflect this city pattern."

Third Street, the relation of streetwall height to the width of the Street (except for the tower portion) would not exceed the typical ratio found in the high density commercial areas of San Francisco.

f) Pedestrian Scale

"Office and other commercial buildings are encouraged to be active and to incorporate visually interesting details and/or decoration into the design of the building base".

"Large scale city-serving retail development should attempt to maintain an inviting pedestrian experience on the street. Street level frontage, where feasible, should be primarily devoted to entrances, shop windows, displays and other visually interesting features ... An attempt should be made to maintain a continuous block façade line consistent with block development throughout Mission Bay."

Plans for the 16th Street and South Street Buildings on MBS Blocks 29 & 31 show approximately 6,400 square feet of retail space and office lobbies fronting Third Street and additional 3000 s.f of retail at a separate "Gatehouse" Building. The ground floor uses are defined by building setbacks that create identifiable transitions to the entries and horizontally articulated by the third floor above.

For both the 16th Street Building and the South Street Building, the vertical clearance from the ground floor to the bottom of the third floor above would be approximately 25', which would establish an appropriate grand and inviting pedestrian scale. In each case, this building overhang would mitigate the street-level wind conditions identified in the corresponding Wind Study). The exterior expression of the South Street Building facade consists of a glass storefront system that is lined with almost continuous active uses that wrap from South Street, along Third and into the main plaza. The 16th Street Building also employs scalar features and materials along Third St. but due to the location of the building core, employs materials on the 16th Street façade to impart a human-scale.

g) Curb Cuts

"In order to preserve the continuity and quality of the pedestrian environment, curb cuts for parking and service uses are strongly discouraged along Third Street".

No curb cuts are proposed along Third Street. The preservation, continuity and quality of the pedestrian environment would be further enhanced with the centralization of all interior loading operations accessible from 16th Street.

h) Height Locations

"The predominant commercial height zone in Mission Bay allows buildings to a maximum of 90' high. Buildings up to 160' high may be constructed within a percentage of the developable area of each height zone as indicated in the Design Standards."

The proposed development of Block 29-32 consists of five buildings: The South Street and 16th Street buildings which will raise to a height of 160'; the Event Center arena which will raise to 135'; a 43' high Food Hall and retail building, and a 36' high Gatehouse building. The placement of the different buildings heights within the site takes into account the proximity to parks, the shoreline, views and potential towers in the neighboring blocks. The MBS D for D was amended to allocate an unused tower in Height Zone 2 to Height Zone 5. Height Zone 5 would thus allow for 4 towers.

i) Skyline Character

"Skyline character is a significant component of the overall urban composition that is San Francisco and the guidelines encourage development which will complement the existing city pattern and result in new, attractive view element as seen from vantage points."

The building massing proposed for the development of Block 29-32 is consistent with the existing city pattern of low buildings near the waterfront, which contributes to the gradual tapering of heights from the hilltops to the water that is characteristic of San Francisco and allows views to the Bay. The towers vary in setback distance from Third Street, which adds to the compositional effect of adding variety.

j) Building Base

"For pedestrians, the character of the building base is important in establishing a comfortable scale and environment and should be designed to achieve this ... Variety at street level for pedestrian scale can be achieved through the use of design features such as stairs, entries, expressed structural elements, arcades, projections, rusticated materials and landscaping."

The proposed location and massing of the 16th Street Building and South Street building podiums anchors the two main corners of Third and South and Third and 16th, while continuing a street wall, and framing a major public open space.

The base of the western side of the South Street Building is set back 50' from the property line to allow for increased pedestrian volumes. The base would be characterized by a 25' high transparent glass storefront containing corner retail and the main building lobby. The upper floors of the podium would over hang the base to provide a sheltered transition space from rain and wind. (See corresponding Wind Study). The building entrance is highlighted by a projecting canopy. A transparent and active lobby wraps around and continues to engage with South Street.

The base of the western side of 16th Street Building shares most of the characteristics of the base of the South Street Building (expression of structural columns, use of clear glass, recessed entries and an

overhang). Sculptural use of materials and a landscaped 23' setback along 16th continue the ground level of the 16th Street Building.

k) Roofscape

"Recognizing that Mission Bay building roofs may be visible from higher surrounding locations, they should be designed consistent with the distinctive architecture of the building". "Roofs should use non-reflective, low intensity colors". "Mechanical equipment should be organized and designed as a component of the roofscape and not appear to be a leftover or add-on element. Mechanical equipment should be screened as provided in the Design Standards."

The plans and elevations for the proposed 16th Street Building and South Street buildings indicate that mechanical equipment and rooms, stairs and elevator penthouses, as shown on plans would be organized and screened from view with corrugated metal panel enclosures. The podium roofs, which would be visible from other tall buildings, are proposed as green roofs.

l) Visual Interest

"To mitigate the scale of development and create pedestrian friendly environment, building massing should be modulated and articulated to create interest and visual variety".

The forms of both office buildings take their cue from the curved form of the Event Center. The podiums are expressed differently to express and interlock with the towers. The 16th Street Building confidently anchors the street corner with the podium wrapping around its sides, whereas the South Street Building is setback from it corner and allows the podium wrap into the Main Plaza with curved forms, to create an invitational gesture for pedestrians.

The design of both buildings balances the horizontality that results from the height and bulk of the podiums by massing and plane shifts. Vertical and horizontal articulation occurs through the use of changes in planes between the base levels and the podium levels using serrated planes of glass and mid-scale massing shifts. The materials and patterning are deliberate and subtle but accentuate the clarity of the forms. The vertical glazing/mullion pattern of the curtain walls of the podiums also help vertically articulate the predominantly horizontal buildings.

The proposed modulation and articulation of the buildings create interest and visual variety, as sought by the MBS D for D Design Guidelines.

m) Color and Materials

"Extreme contrast in materials, colors, shapes and other characteristics which will cause buildings to stand out in excess of their public importance should be avoided."

For both office buildings, the building designs proposes a harmonious palette of light colored materials (combinations of clear vision glass, fritted spandrel panels, and resin coated wood panels,) that would

be consistent with the proposed building materials, avoids extreme contrasts and would reflect the generally light tone character of San Francisco buildings.

9. **General Plan Consistency.** The General Plan Consistency Findings set forth in Motion No. 14702, Case No. 96.771EMTZR (General Plan Consistency Findings and Office Development Authorization, pursuant to Planning Code Sections 320-325) apply to this Motion, and are incorporated herein as though fully set forth.
10. The Commission has reviewed the design standards and guidelines in the MBS D for D and the project design and finds that (1) the MBS D for D standards and guidelines will ensure a quality design, (2) the proposed project is consistent with the MBS D for D and the findings set forth in Commission Resolution 14702, and (3) approval of the design of the proposed project would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Office Development Application No. 2014-002385OFA**, subject to the conditions attached hereto as Exhibit A, which is incorporated herein by reference as though fully set forth, in general conformance with the plans stamped Exhibit B and dated February 5, 2015, on file in Case Docket No. 2014-002385OFA.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Section 321 Office-Space Allocation to the Board of Appeals within fifteen (15) days after the date of this Motion. The effective date of this Motion shall be the date of adoption of this Motion if not appealed (after the 15-day period has expired) OR the date of the decision of the Board of Appeals if appealed to the Board of Appeals. For further information, please contact the Board of Appeals at (415) 575-6880, 1660 Mission, Room 3036, San Francisco, CA 94103.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on November 5, 2015.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: November 5, 2015

EXHIBIT A

AUTHORIZATION

This authorization is for the office design of two buildings of the proposed project ("Office Allocation Authorization"), which includes approximately 577,000 gross square feet of office use located at Mission Bay South Blocks 29 and 31, Lot 001 in Assessor's Block 8722, pursuant to Planning Code Sections 321 and 322 within MBS C-I-R Zoning District and HZ-5 Height and Bulk District, and in conformance with Planning Commission Resolution No. 14702 and Motion No. 17709; in general conformance with plans, dated November 3, 2015, and stamped "EXHIBIT B" included in the docket for Case No. 2014-002701OFA and subject to conditions of approval reviewed and approved by the Commission on November 5, 2015 under Motion No. XXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on November 5, 2015 under Motion No. XXXXXX.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the site or building permit application for the Project. The Index Sheet of the construction plans shall reference the Office Development Authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Office Development authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

Validity. The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

The Project Sponsor shall submit to the Zoning Administrator two copies of a written report describing the status of compliance with the conditions of approval contained within this Motion every six months from the date of this approval through the issuance of the first temporary certificate of occupancy. Thereafter, the submittal of the report shall be on an annual basis. This requirement shall lapse when the Zoning Administrator determines that all the conditions of approval have been satisfied or that the report is no longer required for other reasons.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Diligent Pursuit. Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Office Allocation Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Extension. All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Conformity with Current Law. No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Development Timeline - Office. Pursuant to Planning Code Section 321(d)(2), construction of an office development shall commence within 18 months of the date of this Motion approving this Project becomes effective. Failure to begin work within that period or to carry out the development diligently thereafter to completion, shall be grounds to revoke approval of the office development under this Office Allocation Authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863,
www.sf-planning.org*

DESIGN

Project Design. The Project Sponsor shall continue to work with Department and OCII staff in refining certain aspects of the architectural design, finishes and detailing.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6377,
www.sf-planning.org*

PROVISIONS

Transit Impact Development Fee. Pursuant to the MBS Plan, the Project shall comply with the provisions of Planning Code Sections 411 (formerly Chapter 38 of the Administrative Code), adjusted to be consistent with the MBS Plan and Plan documents as determined by OCII. Accordingly, the TIDF fee shall be paid at the rate effective at the issuance of the first construction document.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6377,
www.sf-planning.org*

Child Care Requirement. Pursuant to MBS Plan, the Project shall comply with the provisions of Planning Code Section 414, the Child-Care Requirements for Office and Hotel Development Projects, through payment of an in-lieu fee.

*For information about compliance, contact the Case Planner, Planning Department at 415-575-9159,
www.sf-planning.org*

MONITORING - AFTER ENTITLEMENT

Enforcement. Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863,
www.sf-planning.org*

Revocation due to Violation of Conditions. Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863,
www.sf-planning.org*

OPERATION

Sidewalk Maintenance. The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

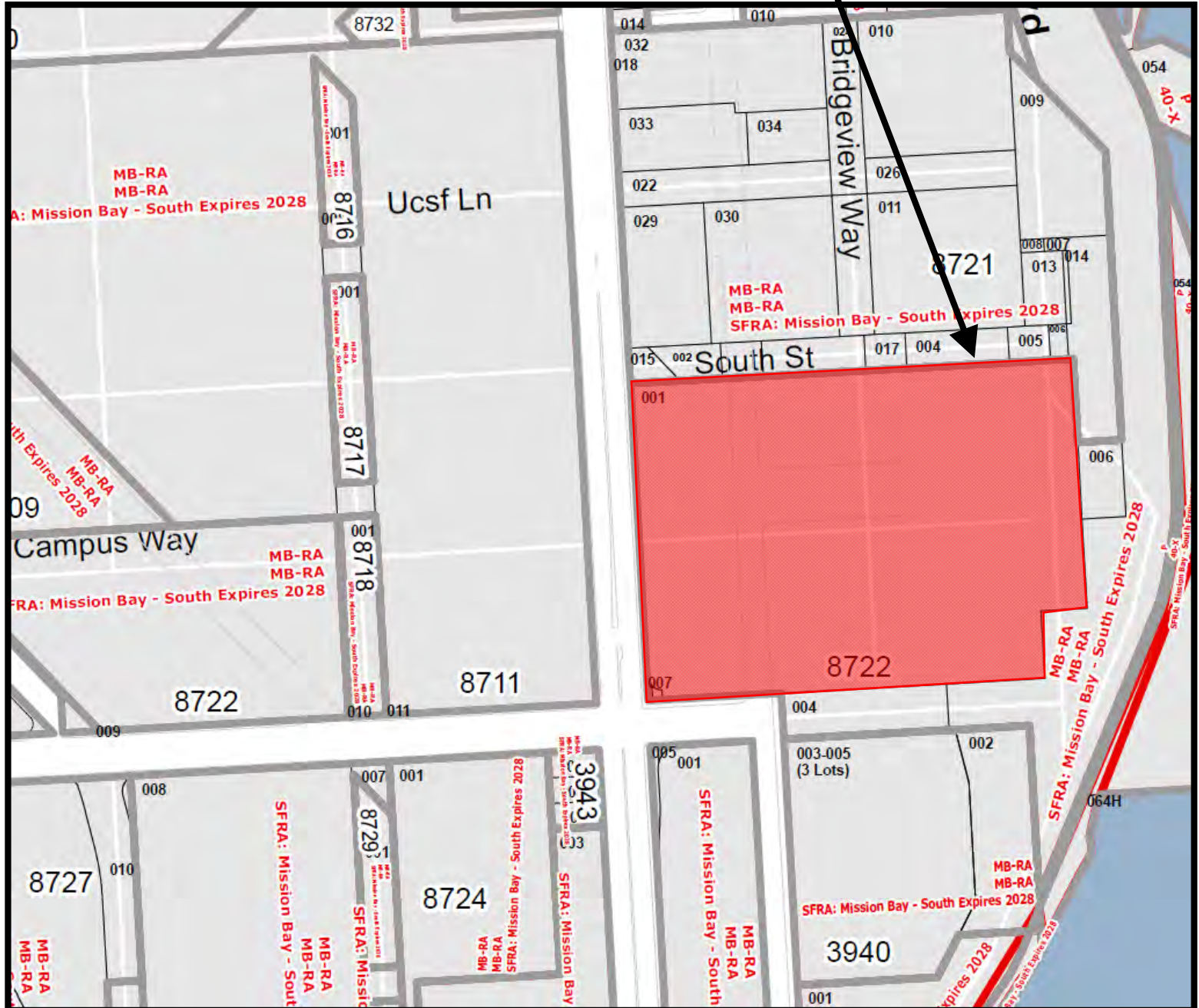
For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>

Community Liaison. Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact the Case Planner, Planning Department at 415-575-9159, www.sf-planning.org

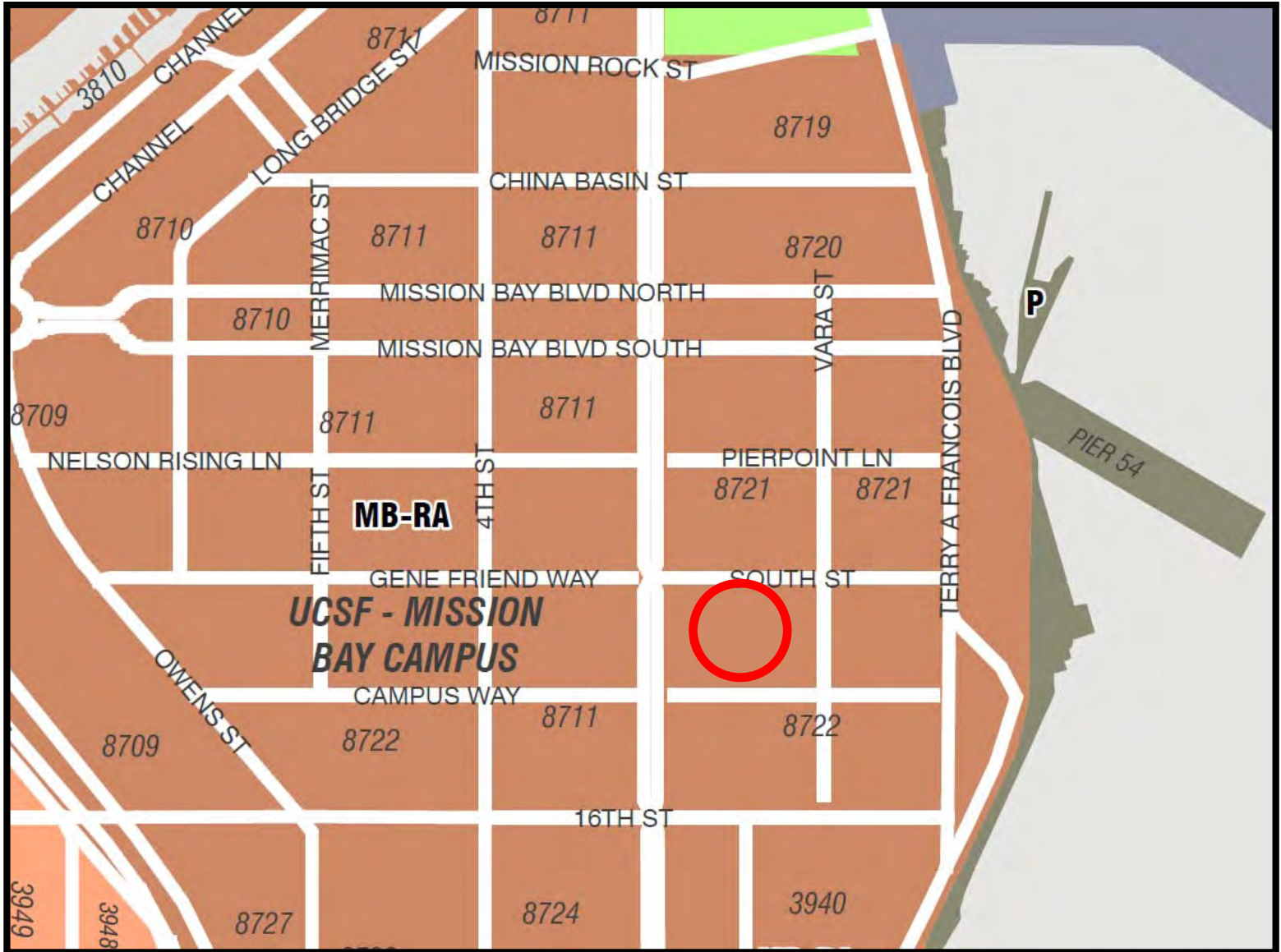
Parcel Map

SUBJECT LOT



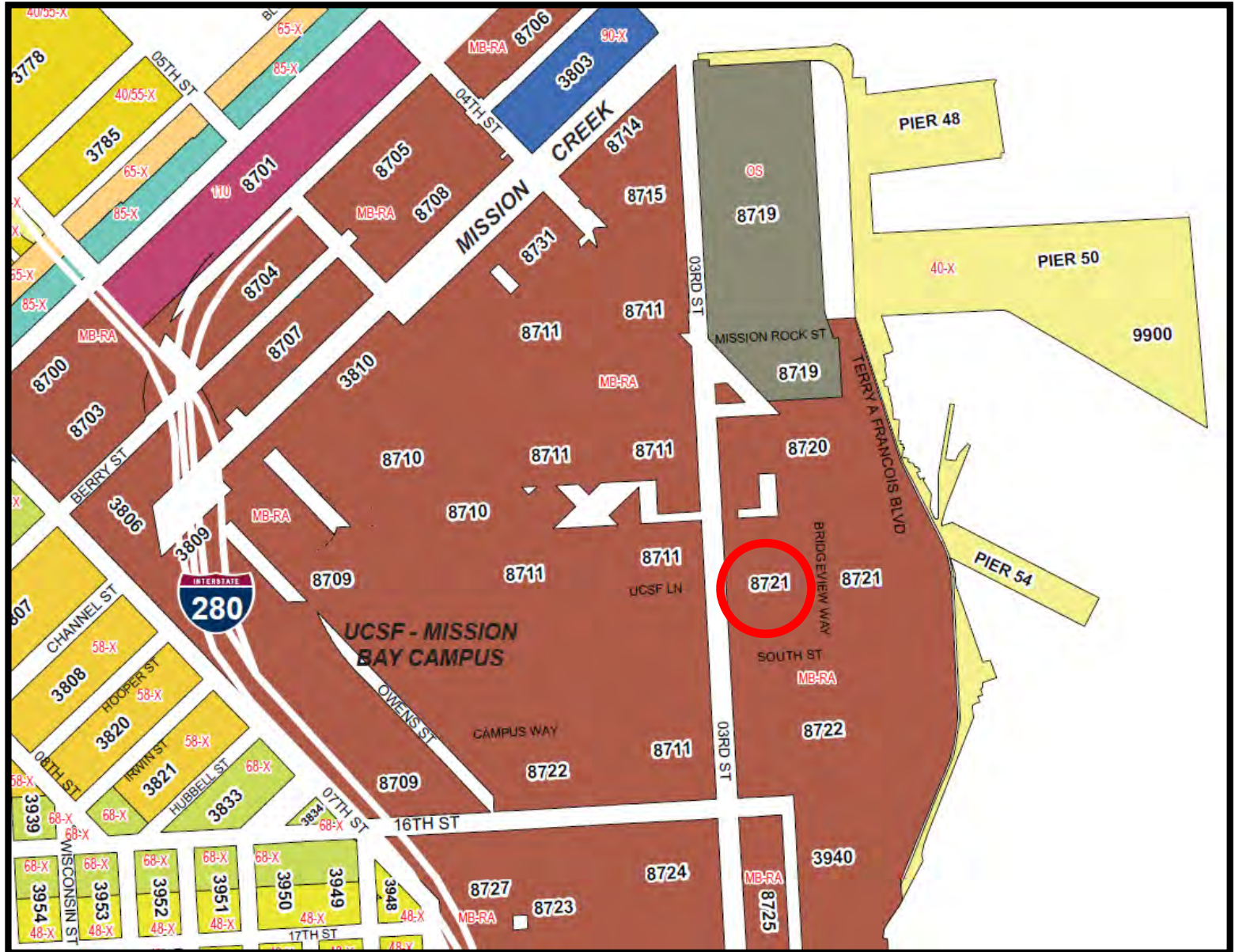
Office Development Authorization
Case Number 2014-002701OFA
 Golden State Warriors Event Center, Block 29 & 31

Zoning Map



Office Development Authorization
Case Number 2014-002701OFA
Golden State Warriors Event Center, Block 29 & 31

Height & Bulk District Map



Office Development Authorization
Case Number 2014-002701OFA
Golden State Warriors Event Center, Block 29 & 31

Aerial Photo

PROJECT SITE



Office Development Authorization
Case Number 2014-002701OFA
Golden State Warriors Event Center, Block 29 & 31

Site Photo

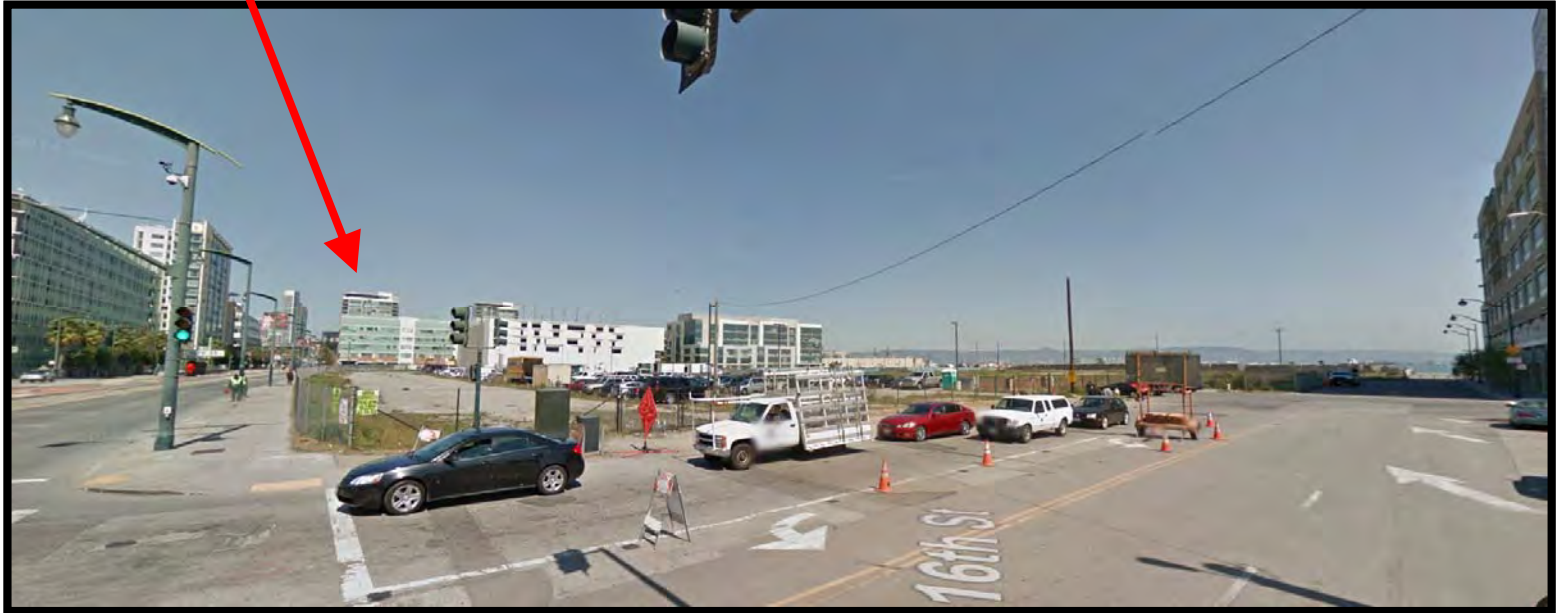
PROJECT SITE



Office Development Authorization
Case Number 2014-002701OFA
Golden State Warriors Event Center, Block 29 & 31

Site Photo

PROJECT SITE



Office Development Authorization
Case Number 2014-002701OFA
Golden State Warriors Event Center, Block 29 & 31

September 17, 1998

Case No. 96.771EMTZR
Finding of Consistency
With the General Plan and
Sections 320 through 325 of the
Planning Code And Recommending
For Approval of the Mission
Bay South Redevelopment Plan

SAN FRANCISCO

CITY PLANNING COMMISSION

RESOLUTION NO. 14702

WHEREAS, On September 17, 1998, by Resolution No. 14698, the Planning Commission adopted amendments to the General Plan and recommended to the Board of Supervisors approval of those amendments to the General Plan including amendments to Part 2 of the Central Waterfront Plan which would eliminate the Mission Bay Specific Plan in order to facilitate the adoption of proposed Mission Bay North and Mission Bay South Redevelopment Plans which would guide the development of the Mission Bay area of the City, generally bounded by Townsend Street to the north, Third Street and Terry Francois Boulevard to the east, Mariposa Street to the south, and Interstate 280 and Seventh Street to the west, for the term of the Redevelopment Plans; and

WHEREAS, Pursuant to Section 33346 of the California Health and Safety Code regarding California Redevelopment Law, the planning policies and objectives and land uses and densities of the Redevelopment Plans must be found consistent with the General Plan prior to Redevelopment Plan approval by the Board of Supervisors; and

WHEREAS, The Planning Commission wishes to facilitate the physical, environmental, social and economic revitalization of the Mission Bay area, using the legal and financial tools of a Redevelopment Plan, while creating jobs, housing and open space in a safe, pleasant, attractive and livable mixed use neighborhood that is linked rationally to adjacent neighborhoods; and

WHEREAS, The proposed Mission Bay South Redevelopment Plan provides for a type of development, intensity of development and location of development that is consistent with the overall goals and objectives and policies of the General Plan as well as the Eight Priority Policies of Section 101.1 of the Planning Code; and

WHEREAS, The Planning Commission believes that the Mission Bay South Redevelopment Plan would achieve these objectives; and

WHEREAS, The proposed Mission Bay South Redevelopment Plan ("Plan") and its implementing documents, including, without limitation, owner participation agreements, the Design

for Development and the Mission Bay Subdivision Ordinance (the "Plan Documents") contain the land use designations of Commercial Industrial and Commercial Industrial/Retail which could allow development of up to approximately 5.9 million square feet of commercial/industrial space, including office space, over the next 30 years; and

WHEREAS, The Design for Development document proposed for adoption by the San Francisco Redevelopment Agency ("Agency") contains detailed design standards and guidelines for all proposed development in the Mission Bay South Redevelopment Plan Area ("South Plan Area"); and

WHEREAS, The South Plan Area comprises approximately 238 acres bounded by the south embankment of the China Basin Channel and Seventh Street, Interstate 280, Mariposa Street, Terry Francois Boulevard and Third Street; and

WHEREAS, Any office development in the South Plan Area will be subject to the limitation on the amount of square footage which may be approved, as set forth in Planning Code 321 or as amended by the voters; and

WHEREAS, Planning Code Sections 320-325 require review of proposed office development, as defined in Planning Code Section 320, by the Planning Commission and consideration of certain factors in approval of any office development; and

WHEREAS, Based upon the information before the Planning Commission regarding design guidelines for the South Plan Area, location of the Commercial Industrial and Commercial Industrial/Retail land use designations in the South Plan Area, and the goals and objectives of the Plan and the Plan Documents, the Planning Commission hereby makes the findings set forth below, in accordance with Planning Code Section 321; and

WHEREAS, The Planning Commission has reviewed and considered the factors set forth in Planning Code Section 321(b) in order to make the determination that the office development contemplated by the Plan in particular would promote the public welfare, convenience and necessity. Those factors include consideration of the balance between economic growth and housing, transportation and public services, the contribution of the office development to the objectives and policies of the General Plan, the quality of the design of the proposed office development, the suitability of the proposed office development for its location, the anticipated uses of the proposed office development, in light of employment opportunities to be provided, needs of existing businesses, and the available supply of space suitable for such anticipated uses, the extent to which the proposed development will be owned or occupied by a single entity, and the use of transferable development rights for such office development; and

WHEREAS, The Planning Commission will review the design and details of individual office developments which are proposed in the South Plan Area, using the design standards and guidelines set forth in the Design for Development reviewed by this Planning Commission, to confirm that the specific office development continues to be consistent with the findings set forth herein; and

WHEREAS, On September 17, 1998 by Motion No. 14696, the Commission certified the Final Subsequent Environmental Impact Report ("FSEIR") as accurate, complete and in compliance with the California Environmental Quality Act ("CEQA"); and

WHEREAS, On September 17, 1998 by Resolution No. 14697, the Commission adopted findings in connection with its consideration of, among other things, the adoption of the Mission Bay South Redevelopment Plan, under CEQA, the State CEQA Guidelines and Chapter 31 of the San Francisco Administrative Code and made certain findings in connection therewith, which findings are hereby incorporated herein by this reference as if fully set forth; and

WHEREAS, The Planning Commission finds the Mission Bay South Redevelopment Plan as described in Exhibit A to this Resolution consistent with the General Plan, as it is proposed to be amended, and to Section 101.1 of the Planning Code as described in Exhibit A to Resolution No. 14699 which findings are hereby incorporated herein by this reference as if fully set forth.

NOW, THEREFORE, BE IT RESOLVED, That the Planning Commission having considered this proposal at a public meeting on September 17, 1998 pursuant to Planning Code Sections 302(b) and 340, having heard and reviewed oral and written testimony and reports, and having reviewed and certified the Final Subsequent Environmental Impact Report on the Redevelopment Plans as adequate and complete, does hereby find the Mission Bay South Redevelopment Plan, dated September 4, 1998, in conformity with the General Plan as it is recommended to be amended by Resolution No. 14698 ; and

BE IT FURTHER RESOLVED, That the Planning Commission hereby finds that the office development contemplated by the Plan in particular promotes the public welfare, convenience and necessity for the following reasons:

1. The office development is part of the Plan, which would eliminate blighting influences and correct environmental deficiencies in the South Plan Area through a comprehensive plan for redevelopment, including the implementation of Risk Management Plans to address environmental deficiencies.
2. The Plan and Plan Documents include a series of detailed design standards and guidelines which will ensure quality design of office development as well as a quality urban design scheme.

3. The Plan provides the important ability to retain and promote, within the City and County of San Francisco, academic and research activities associated with UCSF through the provision of a major new site and space for adjacent office and related uses.
4. The retention of UCSF through the Plan will also allow the facilitation of commercial-industrial sectors expected to emerge or expand due to their proximity to the UCSF new site, which sectors are likely to need office space as part of their activities.
5. Implementing permitted office uses as part of the Plan enables the achievement of a coordinated mixed-use development plan incorporating many features, such as large open spaces and parks and a new street grid, which would not be achieved if the area were to be developed in a piecemeal fashion under existing land ownership patterns and regulations.
6. Implementing the office use contemplated by the Plan would strengthen the economic base of the South Plan Area and the City as a whole by strengthening retail and other commercial functions in the South Plan Area community through the addition of approximately 358,600 leasable square feet of various kinds of retail space, and about 5,953,000 leasable square feet of mixed office, research and development and light manufacturing uses.
7. Build-out, including office uses, of both the Mission Bay North Redevelopment Plan Area and the South Plan Area is anticipated to result in significant positive fiscal impacts to the City. These impacts include a cumulative surplus to the City's General Fund of up to \$452 million in 1998 dollars. Another approximately \$117 million in net revenues will accrue to other City funds with dedicated uses, such as senior programs, hotel tax funds (including grants for the arts, fine art museums, visitors and convention services and housing), the Department of Public Works and MUNI. The San Francisco Unified School District is projected to receive a net cumulative surplus of about \$5 million.
8. The development proposed by the Project will also have significant positive economic impacts on the City. At full build-out, employment in the Mission Bay North and South Plan Areas is expected to be about 31,100. Direct and indirect job generation is estimated to be about 42,000. About 56% of the direct and indirect jobs are expected to be held by San Francisco residents. The estimated total of 23,500 jobs will comprise about 5% of all jobs held by City residents. Project-related construction employment is projected to total 700 annual full-time equivalent jobs over the build-out period, representing a five percent increase in the City's construction job industry base. The employees working at Mission Bay are expected to generate total household wealth of about \$1.5 billion annually. Total direct and indirect wages are expected to be \$2.15 billion, of which \$1.2 billion is expected to be earned by San Franciscans.
9. The Plan provides an unprecedented system for diversity and economic development, including good faith efforts to meet goals for hiring minority-and women-owned consulting and contracting businesses, hiring of minority and women laborers, compliance with prevailing wage policies, participation in the City's "First Source Hiring Program" for economically disadvantaged individuals, and contribution of \$3 million to the City to help fund the work force development

program. The Plan also includes the payment of fees for child care and school facilities. Development of office uses will help to create the employment opportunities to achieve such hiring goals.

10. The Plan includes the opportunity for substantial new publicly accessible open spaces totaling approximately 49 acres, including a large Bayfront park and open space on both edges of the Channel. Office users will benefit from the conveniently located open space, and the development of office uses will help to finance the provision of such open space and its maintenance.

11. The office uses would be located in an ideal area to take advantage of a wide variety of transit, including the Third Street light rail system. The South Plan Area has been designed in consultation with the City, including MUNI, to capitalize on opportunities to coordinate with and expand transit systems to serve the Project. The South Plan Area also includes Transportation Management Programs which will be in place throughout the development of the Plan Areas.

12. The South Plan Area includes sites for both a new school site and fire/police stations to serve the South Plan Area, so that necessary services and assistance are available near the office uses and so that office uses will not otherwise burden existing services.

13. The Plan and Plan Documents include significant new infrastructure, including a linked program for creation of a comprehensive vehicular, bicycle and pedestrian circulation system. The public infrastructure will include public streets, underground pipes, traffic signals and open space, plus additional substantial infrastructure as described in the Mission Bay South Infrastructure Plan. The office development would be adequately served by the infrastructure and the tax increment generated by office development in the South Plan Area will also provide a critical component of the financing of such infrastructure.

14. This new infrastructure included in the Plan will be financed through a self-taxing financing device to be imposed upon the South Plan Area (excluding affordable housing sites and open space). If the uses in the South Plan Area, including any office uses, generate new property tax revenue, then 60% of that new revenue will be dedicated to retiring the special taxes which initially will finance the infrastructure to be donated to the City. This system will allow for substantial infrastructure to be constructed without contributions from the General Fund or new taxes on other areas of the City.

15. In addition, 20% of the new property tax revenue generated by the uses in the South Plan Area, including office uses, will be dedicated to the creation of affordable housing in Mission Bay; and

BE IT FURTHER RESOLVED, That the Planning Commission has considered the factors set forth in Planning Code Section 321(b)(3)(A)-(G) and finds as follows:

(A) The apportionment of potential office space over the course of many approval periods during the anticipated 30-year build-out of the South Plan Area will remain within the limits of Planning Code Section 321 and will maintain a balance between economic growth and housing, transportation and public services, pursuant to the terms of the Plan and the Plan Documents

which provide for the appropriate construction and provision of housing, roadways, transit and all other necessary public services in accordance with the Infrastructure Plan; and

(B) As determined in this Resolution, above, and for the additional reasons set forth in Planning Commission Resolution No. 14699, the adoption of the Plan, which includes office uses and contemplates office development, and all of the other implementation actions, are consistent with the objectives and policies of the General Plan and Priority Policies of Planning Code Section 101.1 and will contribute positively to the achievement of City objectives and policies as set forth in the General Plan; and

(C) The design guidelines for the South Plan Area are set forth in the Design for Development. This Planning Commission has reviewed the design standards and guidelines and finds that such standards and guidelines will ensure quality design of any proposed office development. In addition, the Planning Commission will review any specific office development subject to the terms of Planning Code §§320-325 to confirm that the design of that office development is consistent with the findings set forth herein; and

(D) The potential office development contemplated in the Plan is suitable for the South Plan Area where it would be located. As discussed above, transportation, housing and other public services including open space will be provided in the South Plan Area. In addition, the office development would be located convenient to UCSF, which will allow other businesses locating in the South Plan Area to be able to develop research and development, light industrial and office space as necessary to accommodate their needs. The office development would be located in an area which is not currently developed, nor is it heavily developed with other office uses; and

(E) As noted above, the anticipated uses of the office development will enhance employment opportunities and will serve the needs of UCSF and other businesses which wish to locate in the South Plan Area, where the underdeveloped nature of the area provides a readily available supply of space for potential research and development, light industrial and office uses; and

(F) The proposed office development is available to serve a variety of users, including a variety of businesses expected to locate or expand in proximity to the UCSF site, and could accommodate a multiplicity of owners; and

(G) The Plan does not provide for the use of transferrable development rights ("TDRs") and this Planning Commission does not believe that the use of TDRs is useful or appropriate in the South Plan Area, given the availability of space for development and the fact that only one building in the South Plan Area, the former Fire Station No. 30, has been identified as a potential historic resource; and

BE IT FURTHER RESOLVED, That the Planning Commission will review and approve the design of specific office development which may be proposed in the South Plan Area and subject to the provisions of Planning Code §§320-325, using the design standards and

guidelines set forth in the Design for Development, as reviewed by this Planning Commission, to confirm that the specific office development continues to be consistent with the findings set forth herein; and

BE IT FURTHER RESOLVED, That upon such determination, the Planning Commission will issue a project authorization for the proposed office development project; and

BE IT FURTHER RESOLVED, That the Planning Commission does hereby recommend approval of the Mission Bay South Redevelopment Plan to the Board of Supervisors.

I hereby certify that the foregoing Resolution was ADOPTED by the Planning Commission at a special joint hearing with the Redevelopment Agency Commission on September 17, 1998.

Linda Avery
Commission Secretary

AYES: Commissioners Antenore, Chinchilla, Joe, Martin and Mills

NOES: None

ABSENT: Commissioners Hills and Theoharis

ADOPTED: September 17, 1998

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SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- ☐ Inclusionary Housing (Sec. 315)
- ☐ Jobs Housing Linkage Program (Sec. 313)
- ☐ Downtown Park Fee (Sec. 139)

- ☒ First Source Hiring (Admin. Code)
- ☐ Child Care Requirement (Sec. 314)
- ☒ Exactions to be administered by Redevelopment Agency

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Planning Commission Motion 17709

HEARING DATE: OCTOBER 2, 2008

Date: September 18, 2008
Case No.: 2008.0850B
Project Address: Mission Bay South Blocks 26, 27, 29-32, 33-34, and 41-43
Zoning: Commercial-Industrial and Commercial Industrial Retail Districts
HZ-5 and HZ-7 Height Districts
Project Sponsor: Ms Terezia Nemeth
Alexandria Real Estate Equities, Inc
1700 Owens Street, Suite 500
San Francisco, CA 94158
Staff Contact: Craig Nikitas – (415) 558-6306
craig.nikitas@sfgov.org

ADOPTING FINDINGS PURSUANT TO RESOLUTION 14702 AND TO SECTIONS 321 AND 322 OF THE PLANNING CODE FOR PROJECT AUTHORIZATION UNDER THE ANNUAL OFFICE LIMITATION PROGRAM, FOR CREATION OF AN ALEXANDRIA MISSION BAY LIFE SCIENCES AND TECHNOLOGY DEVELOPMENT DISTRICT ("DEVELOPMENT DISTRICT"), FOR WHICH PREVIOUSLY ALLOCATED OFFICE SPACE AND FUTURE ALLOCATIONS WOULD BE LIMITED TO 1,350,000 SQUARE FEET, DISTRIBUTED AMONG DESIGNATED BUILDINGS ON PARCELS OF THE DEVELOPMENT DISTRICT OVER THREE ALLOCATION PERIODS, WITH REPORTING REQUIREMENTS, STIPULATING THAT FUTURE DEVELOPMENTS UNDERGO DESIGN APPROVAL PURSUANT TO PLANNING COMMISSION RESOLUTION 14702, AND ADOPTING ENVIRONMENTAL FINDINGS, FOR BLOCKS 26, 27, 29-32, 33-34, AND 41-43, IN THE MISSION BAY SOUTH REDEVELOPMENT AREA, IN COMMERCIAL-INDUSTRIAL-RETAIL AND COMMERCIAL-INDUSTRIAL ZONING DISTRICTS, AND HZ-5 AND HZ-7 HEIGHT DISTRICTS.

PREAMBLE

On September 17, 1998, by Resolution No. 14702, the Planning Commission (hereinafter "Commission") determined that the Mission Bay South Redevelopment Plan ("MBS Plan") provides for a type, intensity, and location of development that is consistent with the overall goals, objectives, and policies of the General Plan, as well as the Eight Priority Policies of Section 101.1(b) of the Planning Code ("Code").

Under that Resolution, the Commission also determined that the office development contemplated in the MBS Plan in particular promotes the public welfare, convenience and necessity, and therefore, that the

determination required pursuant to Section 321 *et seq.* of the Code for office development shall be deemed to have been made for all specific office development projects undertaken pursuant to the MBS plan.

Further, the Commission considered under Resolution 14702 the guidelines set forth in Section 321(b)(3)(A)-(G) and determined that the apportionment of office space over the anticipated 30-year build-out of the South Plan Area will remain within the limits set by Section 321, and will maintain a balance among economic growth, housing, transportation, and public services, pursuant to terms of the MBS Plan and Plan Documents, which provide for the appropriate construction and provision of housing, roadways, transit, and all other necessary public services in accordance with the Infrastructure Plan (as defined in the MBS Plan Documents).

In its consideration of Resolution 14702, the Commission reviewed the design guidelines of the MBS Plan Area, as set forth in the MBS Design for Development Document ("D for D") and determined that the standards and guidelines in the D for D will ensure the design quality of any proposed office development. The Commission resolved to review and approve the designs of specific office developments in the Plan Area using the D for D guidelines and standards, when such proposals would be subject to the provisions of Section 321 *et seq.*, to confirm that said development is consistent with the findings set forth in Resolution 14702.

The Commission further resolved that, upon confirming that a specific development is consistent with the findings set forth in Resolution 14702, the Commission would issue a project authorization for that development.

The development of office space is an element of the MBS Plan, which, among other things, provides for: "Strengthening the economic base of the Plan Area and the community by strengthening retail and other commercial functions in the Plan Area through the addition of approximately 335,000 leasable square feet of retail space ... and about 5,953,600 leasable square feet of mixed office, research and development and light manufacturing uses."

On July 16, 2008, Ms. Terezia Nemeth of Alexandria Real Estate Equities Inc. ("Project Sponsor") filed Application No. 2008.0850B ("Application") with the Planning Department ("Department"), requesting project authorization pursuant to Resolution 14702 and Planning Code Section 321, for creation of the Alexandria Mission Bay Life Sciences and Technology District ("Development District"), for which previously allocated office space and future allocations would be limited by this authorization to 1,350,000 leasable square feet of office space, until entirely allocated, as further described below ("Project").

On September 25, 2008, the Commission continued on Case No. 2008.0850B to a duly noticed public hearing at a regularly scheduled meeting of October 2, 2008.

On October 2, 2008, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Case No. 2008.0850B.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony

In evaluating the Project's Application, the Commission has reviewed and considered the Summary and Draft Motion, and other materials pertaining to this Project in the Department's case files, has reviewed and heard testimony and received materials presented on behalf of the applicant, Department staff, and other interested parties.

Motion 17709
Hearing Date: October 2, 2008

CASE NO 2008.0850B
Alexandria Mission Bay L.S. & T. District

MOVED, that the Commission hereby approves the Development District and authorizes the phased office space allocation pursuant to Section 321 *et seq.* as requested by Case 2008.0850B, subject to these findings and the conditions contained in Exhibit A, attached hereto and incorporated herein by reference, based on the following findings:

FINDINGS

Having reviewed the materials identified in the Preamble and Recitals above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of this Commission.
2. The Redevelopment Agency of the City and County of San Francisco (the "Agency") is implementing the Mission Bay South ("MBS") Plan pursuant to and in accordance with Community Redevelopment Law of the State of California
3. **Site Description and Present Use.** The Development District comprises Blocks 26, 27, 29-32, 33-34, and 41-43, in the Mission Bay South Project Area, all located in Commercial-Industrial-Retail and Commercial-Industrial Zoning Districts, and HZ-5 and HZ-7 Height Districts. The following map delineates the Development District, with designated blocks shaded in dark tone:



Alexandria Real Estate Equities is a major developer of life science and technology buildings in Mission Bay. Their holdings in the Blocks of the Development District are approximately 25.8 acres in total area. These properties have previously received approximately 1.126 million square feet of large cap office allocation, and presently undeveloped sites could be built with approximately an additional 1.7+ million square feet of potential office space (including three active applications).

Several parcels on these blocks have been developed with or are under construction of previously authorized biotech-office projects, or with parking structures and other infrastructure and uses permitted or required by the MBS Plan and Plan Documents.

4. **Previous Office Authorizations.** Previous Commission authorizations for office uses in the Development District are summarized in the Table 1 below:

MB South Block	Address	Case #	Motion	Date	Status	Previous Allocation
41-43 / 1	1700 Owens St	2002.0301B	16397	05/02/02	complete	160,100
41-43 / 4	1600 Owens St	2006.1216B	17332	10/26/06	complete	228,000
41-43 / 5	1500 Owens St	2006.1212B	17333	10/26/06	complete	158,500
26	1455 Third St	2006.1509B	17401	03/22/07	constr'n	373,487
27	1515 Third St	2006.1536B	17400	03/22/07	constr'n	202,893
Total						1,122,980

Table 1: Previously Approved Alexandria Mission Bay Office Allocations

5. **Pending Office Authorizations.** Three projects are pending before the Commission for authorization and design review. Under the terms of the Development District, they would not be allocated individual office allowances, but would draw square footage from one pooled allocation established for the entire Development District, following approval of their designs. These projects, calendared for consideration by the Commission at this hearing, are summarized below in Table 2:

MB South Block	Address	Case #	Max. Potential Office Area
30	600 Terry Francois Bl	2008.0484B	312,932
32	650 Terry Francois Bl	2008.0483B	291,367
41-43 / 7	1450 Owens St	2008.0690B	61,581
Total			665,880

Table 2: Pending (Active) Alexandria Development District Office Applications

6. **Future Office Authorizations.** Remaining lots on Blocks 29, 31, 33, and 34 are proposed to be developed with potential office space to the maximum areas as shown below in Table 3:

MB South Block	Address	Potential Office Area
29 and 31	unknown	515,700
33-34	unknown	400,000
Total		915,700

Table 3: Future Potential Alexandria Development District Office Applications

7. **Project Description:** In order to provide flexibility in the leasing and use by, and to meet the needs of modern life science and technology tenants, project authorizations for such buildings in Mission Bay have previously been allocated office square footage from the annual limit as though these buildings would have 100% office occupancy. In fact, laboratory use, rather than office, currently occupies a significant portion of the floor space of most of these buildings.

The proposed Development District provides for the condition that 100 percent of the potential office space in each building is not needed, and therefore sets a limit to the office space authorized for all office development in the Development District at 50 percent of the build-out. Any individual building within the Development District could have up to 100% of its area used as office, but the total office use allocation within the Development District is capped until the entire allocation is utilized within the District. Upon demonstration to the Zoning Administrator by the Project Sponsor that the Development District's allocation is fully utilized, then and only then may the Project Sponsor or its successors and transferees file applications for additional allocations of office space.

Creation of a Development District comprising the Project Sponsor's Mission Bay holdings would allow each building within the Development District to expand or contract the amount of its office space, while keeping the aggregate amount of office allocation in the Development District at or below the total allocated amount.

The previously approved projects as allocated at 100% office total 1,122,980 leasable square feet. Three immediately pending projects, with active applications for authorization before this Commission, have total potential office occupancy of 665,880 square feet. Remaining future build-out in the Development District, for which applications have not yet been filed, would have potential office areas of 915,700 leasable square feet. Therefore, within the Development District, total potential office use if all buildings were fully occupied by office uses would total approximately 2.7 million leasable square feet.

Project Sponsor has stated that it can meet its current business requirements and the needs of its current and potential tenants with an allocation of about 50% of the total floor space proposed for development, or 1.35 million leasable square feet out of a total 2.7 million leasable square feet slated for construction. With allocations already approved, Project Sponsor could thus request an additional 227,020 leasable square feet under the provisions of this authorization.

The Zoning Administrator letters regarding classification of office, Science Administration, Science Support and Laboratories space, dated August 28, 2001 and April 22, 2002 and attached to this Resolution as Exhibits B and C respectively will be used in administering the Development District.

Conditions of Approval shall require the following:

- requiring each building with an office component larger than 25,000 square feet to undergo design review and Planning Commission approval in accord with Resolution 14702;
- requiring semi-annual reporting to ensure that the Development District allocation is not exceeded;
- allocating the additional 227,020 leasable square feet sufficient to reach 50% of the leasable area occupied as office, over several approval periods (allocation years) upon application by Project Sponsor;

- requiring that if developed properties transfer ownership, the office allocation assigned to that parcel will be set as a maximum allocation for that site, and deducted from the available allocation within the Development District;
 - requiring that if undeveloped parcels transfer ownership, that a maximum allocation be established for each such site, and deducted from the available allocation within the Development District;
8. **Environmental Review:** The Agency and the Planning Department, together acting as co-lead agencies for conducting environmental review for the MBS Plan, and other permits, approvals and related and collateral actions related to the Mission Bay Redevelopment Project (the "Project"), prepared and certified a Final Subsequent Environmental Impact Report (the "FSEIR"). The Agency and Commission certified the FSEIR for the Project on September 17, 1998 by Resolution No. 182-98 and Resolution No. 14696, respectively. Also on September 17, 1998, the Agency and the Commission, by Resolution No.183-98 and Resolution No. 14697, respectively, adopted environmental findings (and a statement of overriding considerations, that the unavoidable negative impacts of the Project are acceptable because the economic, social, legal, technological and other benefits of the Project outweigh the negative impacts on the environment) pursuant to the California Environmental Quality Act ("CEQA") and State Guidelines in connection with the approval of the MBS Plan and other Project approvals. On October 19, 1998, the Board of Supervisors adopted Motion No. 98-132 affirming certification of the FSEIR by the Planning Commission and the Agency, and by Resolution No. 854-98 adopting environmental findings (and a statement of overriding considerations).

To date, the Agency and Planning Department have prepared six addenda to the Mission Bay FSEIR. The first, dated March 21, 2000, analyzed interim parking lots for the Giants ballpark project. The second, dated June 20, 2001, addressed Infrastructure Plan revisions related to 7th Street bike lanes and relocation of a storm drain outfall. In a third addendum dated February 10, 2004, the Agency revised the South D for D with respect to the maximum allowable number of towers, tower separation and required step-backs. The Agency also revised the South D for D with respect to the permitted maximum number of parking spaces for bio-technical and similar research facilities, and to make certain changes to the North Owner Participation Agreement between Catellus Development Corporation and the Agency to reflect a reduction in permitted commercial development and associated parking, all as described in a fourth addendum dated March 9, 2004. Addendum #5, dated October 4, 2005, considered information contained in the certified UCSF Long Range Development Plan ("LRDP") FEIR. Finally, Addendum #6, dated September 10, 2008, considered information contained in a Draft Environmental Impact Report for UCSF Medical Center at Mission Bay ("UCSF DEIR") to analyze (1) at a project level for the first phase of the Mission Bay Medical Center, and (2) at a programmatic level the a second phase of the medical center ("Proposed Medical Center"). The UCSF DEIR was "tiered"¹ from the program-level environmental analysis presented in the LRDP FEIR and focused on environmental effects that were not fully considered in the program level analysis of the LRDP FEIR.

Pursuant to the California Public Resources Code (PRC) Section 21090 and Section 15180 of the State CEQA Guidelines, all public and private activities or undertakings pursuant to or in furtherance of a redevelopment plan constitute a single project, and the FSEIR on the Redevelopment Plan shall be

¹ See CEQA Guidelines sections 15152(d) and 15168 (c) and (d).

treated as a program EIR with no subsequent EIRs required for individual components of the Redevelopment Plan because events specified in PRC Section 21166 and State CEQA Guidelines Sections 15162 or 15163 have not occurred. Specifically, no substantial changes in the Project, no substantial changes in the circumstances under which the Project is being undertaken, and no new information has become available that would cause new significant environmental impacts. Also, no mitigation measures or alternatives previously found to be infeasible have been found to be feasible, and no different mitigation measures or alternatives that would substantially reduce one or more significant effects of the Project have been identified. The application for Case 2008.0850B, requesting project authorization pursuant to Resolution 14702 and Planning Code Section 321, for creation of the Alexandria Mission Bay Life Sciences and Technology District ("Implementing Action"), is an undertaking pursuant to and in furtherance of the Plan pursuant to CEQA Guidelines Section 15180.

The Planning Commission, based upon its review of the FSEIR, hereby finds that: (1) the Implementing Action does not incorporate modifications into the Project analyzed in the FSEIR and will not require important revisions to the FSEIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously-identified significant effects; (2) no substantial changes have occurred with respect to the circumstances upon which the Project analyzed in the FSEIR was undertaken which would require major revisions to the FSEIR due to the involvement of new significant environmental effects or a substantial increase in the severity of effects identified in the FSEIR; (3) no new information of substantial importance to the Project analyzed in the FSEIR has become available which would indicate (a) the Implementing Action will have significant effects not discussed in the FSEIR; (b) significant environmental effects will be substantially more severe, (c) mitigation measures or alternatives found not feasible which would reduce one or more significant effects have become feasible; or (d) mitigation measures or alternatives which are considerably different from those in the FSEIR will substantially reduce one or more significant effects on the environment; (4) the Implementing Action is within the scope of the Project described and analyzed in the FSEIR; and (5) no new environmental documentation is required.

9. Section 321- Available Allocation: Section 304.11 of the MBS Plan and Planning Code Sections 320 through 325, prohibit office development of MBS from exceeding the annual limitation pursuant to Planning Code Section 321 *et seq.*

At present, Project Sponsor, has allocations permitting occupancy of 1,122,980 leasable square feet of office. Applications are calendared for authorization for the three pending projects listed in Table 2 that have a combined potential office area of 665,880 leasable square feet. With approval of those projects but no additional allocation at present, that would approve approximately 1,788,860 square feet of potential office, with an authorization of 63 percent of the total building area (completed plus authorized space) for office use.

As of October 18, 2009 or thereafter, and in accordance with Planning Code Sections 321-322, the Project Sponsor could request a modified allocation of an additional 100,000 square feet for the Development District. As of October 18, 2010 or thereafter, Project Sponsor could request a modified allocation of an additional 100,000 square feet for the Development District. As of October 18, 2011 or thereafter, Project Sponsor could request a modified allocation of a final 93,000 square feet for the Development District. Upon the final allocation, a total of 1,418,931 square feet would be allocated among a final build-out of 2,837,512 square feet of potential office space, or 50% of office use within the buildings of the District.

Allocation Date	New Allocation	Cumulative Allocation	Cumulative Build Out	Percent Allowed For Office
Before 9/25/08	0	1,122,980	1,122,980	100%
On 9/25/08	0	1,122,980	1,788,860	63%
After 10/18/09	100,000	1,222,980	2,140,378*	57%*
After 10/18/10	100,000	1,322,980	2,488,945*	53%*
After 10/18/11	27,020	1,350,000	2,698,000	50%
Total	227,020	* Estimated- future applications may vary		

Table 4: Allocation Schedule for the Development District

This schedule of phased authorization will ensure that, in accord with Resolution 14702, adequate office space can be allocated to those projects within the Development District that are determined to be in compliance with the D for D requirements, while also complying with Section 321 of the Planning Code forbidding exceedance of the square footage available for allocation in any given annual cycle. This schedule also makes square footage available in each cycle for other future projects within the City.

10. Section 321- Approval Criteria: Pursuant to Resolution 14702, the Commission is charged with determining whether a project seeking authorization conforms to applicable standards in the D for D Document, which supersedes the criteria set forth in Section 321 and other provisions of the Code except as provided in the MBS Plan. The projects previously approved were determined to have met the MBS Redevelopment Plan and the D for D Document standards and guidelines, and requirements for childcare, public art, and other provisions of the Plan Documents, and retain that design approval, along with all previously imposed conditions of approval. Future projects requesting authorization will be brought before the Commission for design review in accord with Resolution 14702, and upon determination by the Commission that such proposals are in conformity with the D for D and other applicable requirements, office space may be allocated for such new structures from the unassigned amount available in the Development District.
11. Public Comment. The Department has received no expressions of opposition to the proposed authorization of the Development District.
12. The Commission, after carefully balancing relevant public and private interests, hereby finds that authorization of the Project would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES** the project authorization requested via Case No. 2008.0711X subject to the following conditions attached hereto as EXHIBIT A (Conditions of Approval) which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this project authorization to the Board of Appeals within fifteen days after the date of this Motion No.17xxx. The effective date of this Motion shall be the date of this Motion if not appealed (after the 15-day period has expired) OR the date of the decision of the Board of Appeals if appealed to the Board of Appeals. For further information, please contact the Board of Appeals at (415) 575-6880, 1650 Mission Street, Third Floor, San Francisco, CA 94103.

I hereby certify that the foregoing Motion was adopted by the Planning Commission on **October 2, 2008**.

Linda Avery
Commission Secretary

AYES: Antonini, Borden, Lee, Miguel, Moore, Olague

NAYS: [none]

ABSENT: Sugaya

ADOPTED: October 2, 2008

Exhibit A Conditions of Approval

Exhibit B Addendum 6 to the Mission Bay FSEIR

Exhibit C Zoning Administrator Letter of Determination dated August 28, 2001

Exhibit D Zoning Administrator Letter of Determination dated April 22, 2002

Exhibit A

Conditions of Approval

Whenever "Project Sponsor" is used in the following conditions, the conditions shall also bind any successor to the Project or other persons having an interest in the Project or underlying property. For purposes hereof, the term "office space", shall be as defined in Section 321 of the Planning Code and further subject to the interpretations of the Zoning Administrator Letters of Determination dated August 28, 2001 and April 22, 2002 attached to the Resolution as Exhibits C and D and incorporated herein by reference as though fully set forth.

This approval is pursuant to Resolution 14702 and to Sections 321 and 322 of the Planning Code for project authorization under the annual office limitation program, for creation of an Alexandria Mission Bay Life Sciences and Technology Development District ("Development District"), for which previously allocated office space and future allocations would be limited to 1,350,000 leasable square feet, distributed among designated buildings on parcels of the Development District, and over several allocation periods.

1. Authorization for construction of future buildings in the Development District with an office component would be subject to Planning Commission review with regard to design for compliance with the Mission Bay South Design for Development document ("D for D") and in accord with Resolution 14702.
2. Application fees for compliance approval hearings shall be those established in Planning Code Article 3.5 for Project Authorization (Annual Limit) applications.
3. Project Sponsor shall report in a form acceptable to the Zoning Administrator prior to February 17 and September 17 of each year on the area of built out space for each building in the Development District, and the leasable square footage utilized as office space in each.
4. Project Sponsor shall advise the Zoning Administrator on the first pending sale or transfer to occur after the date of this Motion, of each property, developed or not, and shall identify the amount of office space allocated to the transferred property. The Project Sponsor shall record a Notice of Special Restrictions on the transferred property explicitly limiting the area allowed for office use within the Development District. Said office area shall be deducted from the allocation for the remaining properties in the Development District, and new Notices of Special Restriction recorded on those remaining properties. Applications for additional office allocation for properties within or formerly within the Development District may be made in accord with the provision of Condition 6 below.
5. The 227,020 leasable square feet of office space under the annual limit that remains unallocated as of the date of this Resolution shall be allocated to the Development District in phases, in accord with the following schedule: As of October 18, 2009 or thereafter, an additional 100,000 leasable square feet will be, upon request, allocated for the Development District. As of October 18, 2010 or thereafter, an additional 100,000 leasable square feet will be, upon request, allocated for the Development District. As of October 18, 2011 or thereafter, a final 27,020 leasable square feet will be, upon request, allocated for the Development District. Upon the final allocation, a total of 1,350,000 leasable square feet would be allocated among a final build-out of 2,698,000 leasable square feet of potential office space, or approximately 50% of office use within the buildings of the Development District.

6. The total office use within the Development District is capped at 1,350,000 leasable square feet until such time as the entire allocation has been built and leased for office space. If Project Sponsor documents that the entire 1,350,000 leasable square foot allocation has been leased for office space, only then could Project Sponsor or its successors or transferees file an application, in accordance with the terms and conditions set forth in the Mission Bay South Redevelopment Plan and related Plan documents, to receive additional office allocation up to the total 2,698,000 leasable square feet of Project Sponsor's Commercial Industrial entitlement at Mission Bay.
7. Recordation. The Zoning Administrator shall approve and order the recordation of a notice in the Official Records of the Recorder of the City and County of San Francisco, against all Parcels within Mission Bay Blocks comprising the Development District, which notice shall state that construction of the Project has been authorized by and is subject to all conditions of this Motion. From time to time after the recordation of such notice, at the request of the Project Sponsor, the Zoning Administrator shall affirm in writing the extent to which the conditions of this Motion have been satisfied, and record said writing if requested.



GOLDEN STATE WARRIORS EVENT CENTER & MIXED-USE DEVELOPMENT
AT MISSION BAY BLOCKS 29-32 - SCHEMATIC DESIGN SUBMITTAL - SAN FRANCISCO PLANNING COMMISSION

THIRD STREET OFFICE / RETAIL

NOVEMBER 5, 2015



PFAU LONG AE³
A Joint Venture Association



CONTENTS

01 DESIGN NARRATIVES

02 DATA CHARTS

03 VICINITY PLANS

04 SITE PARAMETERS

05 VIEWS

06 PLANS

07 ELEVATIONS

08 SECTIONS

09 ISOMETRICS

10 MATERIALS

11 LANDSCAPE

CLIENT

Golden State Warriors

PROJECT TEAM

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AE3 Partners - Tower Design
Richyworks - Retail Design
SWA Group & Merrill Morris
Partners - Landscape Design
Kendall/Heaton Associates -
Architect of Record

ISSUE DATE

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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL
CONTENTS

00.1

PROJECT INTRODUCTION

INTRODUCTION

The Golden State Warriors are submitting this Schematic Design application for two mixed-use office & retail buildings on 3rd Street as part of the larger development of Mission Bay Blocks 29-32. At approximately 11 acres, Blocks 29-32 collectively represent one of the largest remaining development sites in San Francisco, and the future location of the Golden State Warriors’ new, state-of-the-art multi-purpose event center. The approximately 18,000-seat event center will be the home of the Golden State Warriors’ basketball team, and will host a variety of other activities including concerts, family shows, other sporting events, cultural shows, conferences, and civic events. The site also includes structured parking, open public plazas, and other amenities that will activate the site during non-event times.

Each office and retail tower is composed of a 90’ podium, with a 160’ tower above. The South Street (North Tower) building will contain 309,436 SF of office space, and the 16th Street (South Tower) building will contain 267,486 SF of office space (both calculated according to permitted square footage exclusions under San Francisco Planning Code Section 321). Each building will include ground-floor and plaza retail to serve the local office community, on-site and off, as well as UCSF hospital staff, UCSF students and researchers, nearby residents, and visitors from the region. This project is also equipped to provide potential lab/R&D space and the opportunity for synergy and collaboration with other firms and institutions local to Mission Bay.

RELATED SUBMITTALS

The proposed project is located in the Mission Bay South Redevelopment Plan Area. Accordingly, the Warriors have prepared six (6) Basic Concept and Schematic Design packages for the Commission on Community Investment and Infrastructure for the following project components:

1. The Event Center;
2. The South Street (North) Office/Retail tower;
3. The 16th Street (South) Office/Retail tower;
4. Northeast retail along South Street and Terry Francois Boulevard, including a Food Hall;
5. Open Space, Gatehouse, and Parking and Loading facilities on-site; and
6. A common book of Background Appendices for all of these submittals, which includes utility information, wind and shadow studies for the full development, vicinity plans, and site diagrams for additional reference.

Selections from the second, third, fifth, and sixth books listed above have been combined for this submission of Schematic office designs to the San Francisco Planning Commission.

SITE ACCESS AND LOCAL TRANSPORTATION

Local transit and access-ways in the vicinity include the Muni T line (future Central Subway connection to East Bay and South Bay via BART at the Powell Street station), Caltrain stations at King Street and 22nd Street, the planned cycle track on Terry Francois Boulevard, and the Bay Trail extension through the Bayfront Park (P22). Forthcoming additional improvements include the Muni Forward project along 16th Street, which will include Bus Rapid Transit (BRT) lines, improvement to local bike routes, and a potential future ferry landing at the terminus of 16th Street.

Bay Transportation Management Association (TMA) Shuttles also run daily service for employees and residents of Mission Bay. Together, these resources constitute a transit-rich and highly-accessible urban location that will cater to both local and regional employees and patrons.

Site-specific transportation considerations are addressed in a project-specific Transportation Management Plan (TMP) prepared by Fehr & Peers on behalf of the Golden State Warriors. The Plan outlines plans for traffic control before and after event center events, introduces streetscape design features to reduce congestion for daily office and retail users, and proposes travel demand strategies to lower auto mode share of all site visitors.

SUSTAINABILITY AND WASTE MANAGEMENT

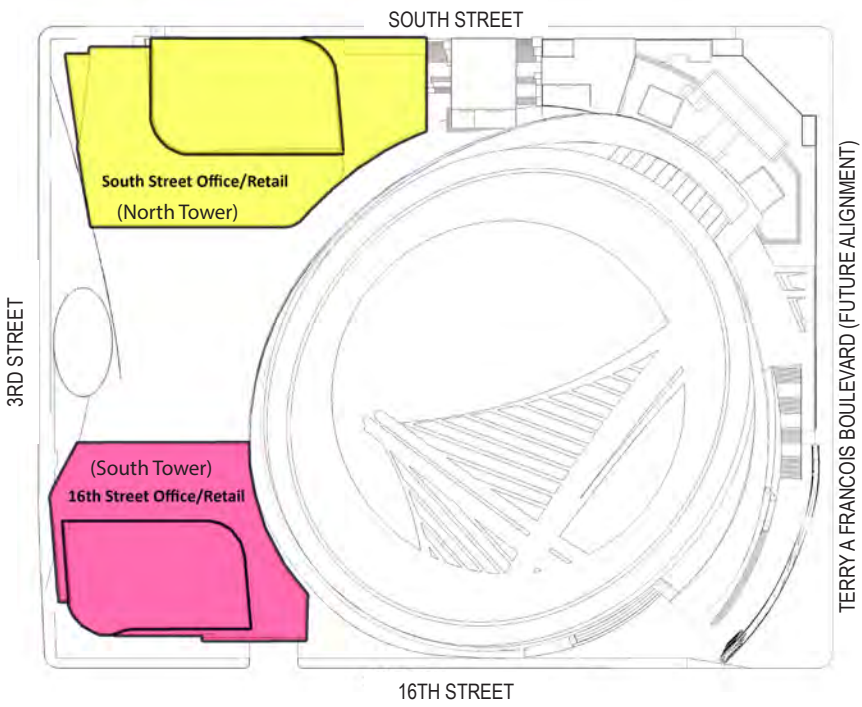
The project at Blocks 29-32 will be designed to a LEED Gold campus certification standard for sustainable design. Sustainable design measures include the installation of low-flow plumbing fixtures to reduce total water use, use of high-recycled content and locally-sourced building materials and products, and specifications for sustainable forested (FSC-certified) wood products or low-emitting materials. A combination of green roofs and light-colored, highly reflective roofing material will also lower the amount of heat absorbed, reducing the heat island effect, and buildings will be designed for thermal comfort. All building systems will be metered separately and monitored and recorded through a Building Automation System.

Both office/retail buildings have also been designed in accordance with San Francisco Planning Code Section 139, Standards for Bird-Safe Buildings, in order to eliminate “feature-related hazards” (e.g., large free-standing glass walls, wind barriers, and skywalks). Accordingly, all uninterrupted glazed segments contained in the glass railings on the office podium roofs will not exceed 24 square feet.

Finally, robust low waste goals will be supported by separate trash, organic waste, and recycling compactors located in the project’s shared loading dock area below grade. All waste will be collected in the below-grade area, and trucks will use the 16th Street driveway to access the loading dock for regular collection of waste. This process will occur out of sight of project neighbors, employees, and visitors.

ART AND SIGNAGE

The Golden State Warriors intend to incorporate a robust public arts program at Blocks 29-32, complemented by tasteful lighting design. Signage, wayfinding, and building identification will also be introduced as both design features and functional elements. However, public art and signage have been deferred to the project’s Design Development (DD) phase, and are therefore not outlined further in this Schematic Design package. Signage depicted in the following pages is included for illustrative purposes only and does not represent the forthcoming DD signage proposal.



DOCUMENTS, REGULATORY PROCESSES, AND APPROVALS

This package presupposes a forthcoming amendment to the Mission Bay South Design for Development (DforD), which supersedes San Francisco Planning Code in the Mission Bay Plan Area. The amendments will modify standards and guidelines regarding office tower details and streetwall character, based on the unique nature of the development. No amendment to the Mission Bay South Redevelopment Plan is required for the Project’s approval, and office and retail are principal uses under the Plan.

Blocks 29-32 will be privately owned, and construction of the full development, including the event center, will be 100% privately financed.

TEAM

Our team has a commitment to high-quality design and engineering, with strong representation from diverse local designers and small business partners. The project at Blocks 29-32 is on track to meet its goal of 50% participation by Small Business Enterprises (SBEs) in architecture and engineering professional services.

DEVELOPMENT TIMELINE

The proposed development for Blocks 29-32 is planned for construction in one total phase. All structures outlined in this Schematic Design package will be constructed simultaneously. Estimated construction duration for the full Blocks 29-32 project is approximately 24 to 27 months.



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Golden State Warriors

PROJECT TEAM
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Richyworks - Retail Design
SWA Group & Merrill Morris
Partners - Landscape Design
Kendall/Heaton Associates -
Architect of Record

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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL
PROJECT
INTRODUCTION

01.1

DESIGN NARRATIVE



Each office/retail building's two part massing combines a 6-story (90 foot) mixed-use podium and an 11-story (160 foot) office tower, anchoring the corners of South and 3rd Streets (North Tower) and 16th and 3rd Streets (South Tower). The designs for the towers, tear-dropped in plan, will complement the adjacent event center's curvilinear aesthetic and that of the other structures on-site without mimicking them. Projected and shaped aluminum sunshade blades add texture to the sleek, curved glass forms. The towers will be differentiated from their context in Mission Bay by their warmth, color, irregularity, and curves.

Building setbacks at the corner of South and 3rd Streets, and along 16th Street, are designed to accommodate pedestrian volume when there is an event. Each building's podium wraps into the pedestrian plaza with a welcoming curved gestural form, drawing pedestrians and event patrons into the plaza along subtle sloped walkways below, along an active retail use. The primary office lobby entrance for the North Tower will be located on the corner of South Street and 3rd Streets, with an additional entrance off of the main plaza. Similarly, the primary office lobby entrance for the South Tower will be located on the corner of 16th and 3rd Streets, with additional access off of the main plaza.

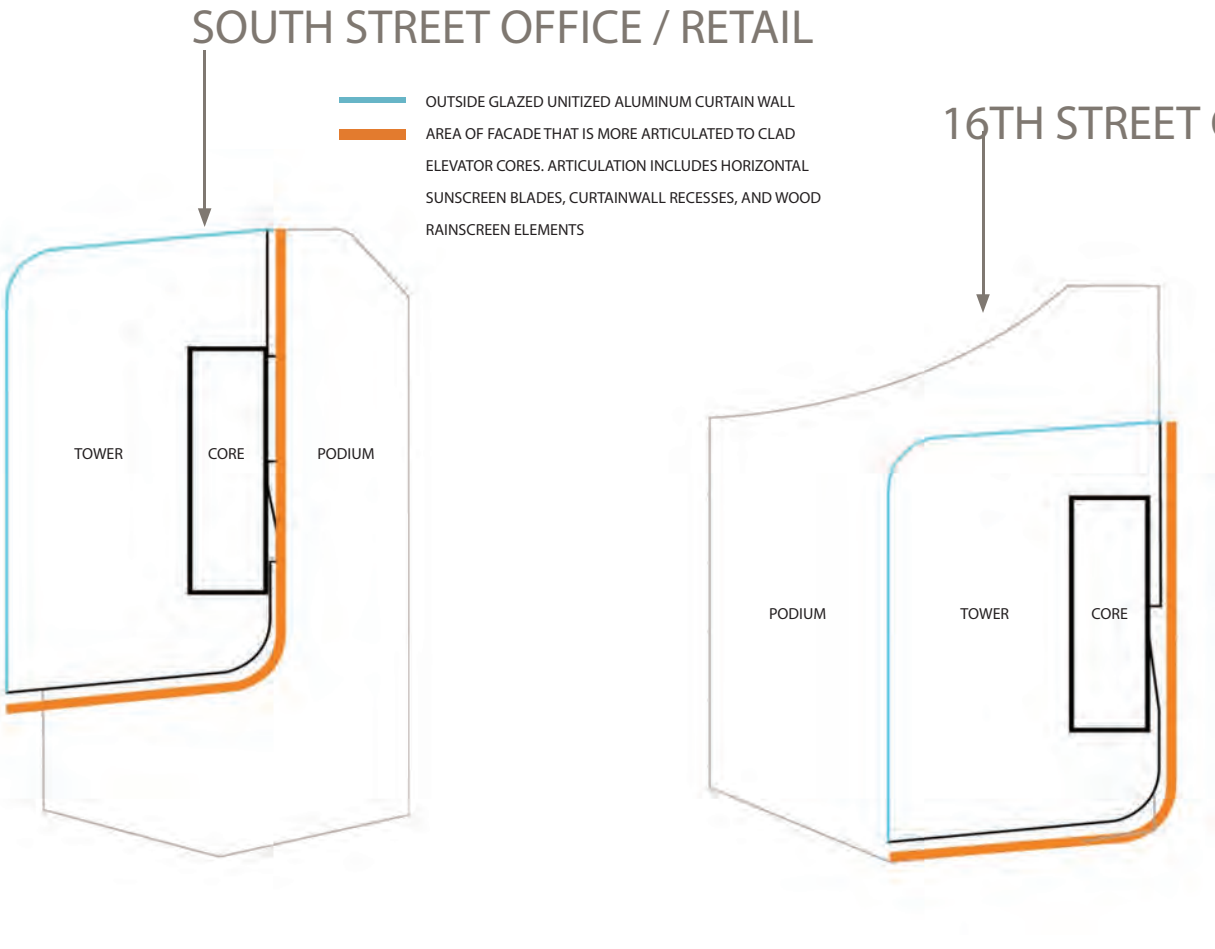
The building form for each building is intended to be highly functional and flexible with respect to tenant layouts. The tower is shifted to the east side of the building, in both cases allowing for uninterrupted floor plates and sweeping city and Bay views.

Together, the two buildings will have a distinctive presence on the San Francisco skyline, and create a strong sense of place surrounding the event center. The variation in height between the podiums, towers, and expressions of the retail use below will express an appropriate transition in scale from 3rd Street, while creating a strong sense of verticality between the tower and the street at grade along South Street or 16th Street, respectively.

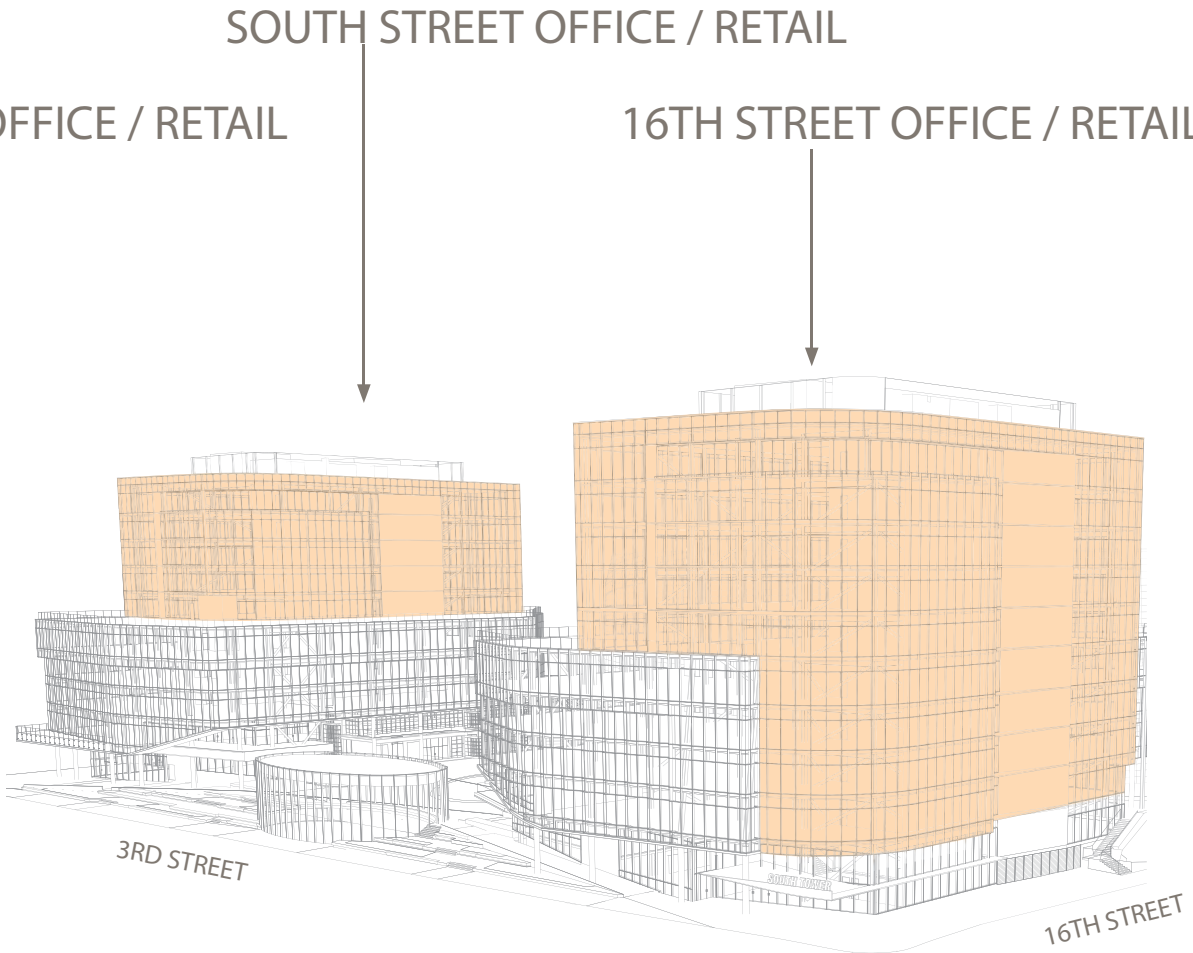
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PLAN DIAGRAM ILLUSTRATING FACADE CONCEPT - N.T.S



AERIAL PERSPECTIVE ILLUSTRATING FACADE CONCEPT

MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL

DESIGN NARRATIVE

01.2

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DESIGN FEATURES

FAÇADE TREATMENT

The skin of each office/retail building will include a variety of cladding types. The curtain wall system will be outside glazed, with painted aluminum mullions at the building interior, and black sealant at the exterior. Glazing will be energy efficient, with a low-E coating for the office towers and low iron for the retail spaces. Spandrel glazing will be achieved with a full ceramic frit floodcoat on the inner pane, matching the vision glazing in tone as much as possible. Resin coated wood accent panels, installed in a rainscreen fashion onto the unitized curtain wall, will clad the elevator core, and wrap under exterior soffits to add warmth to the building. Decorative horizontal “blades” at the buildings’ floor levels, made of painted aluminum tied into the unitized curtainwall system, will further articulate the south and west facades of the buildings. These blades will tapered in plan to meet the adjacent architecture. A serrated curtain wall system will round the corner into the main plaza, further breaking down the scale of the building at the podium and adding contrasting visual interest to the curved form of the building.

Note: Design currently contemplates a chair rail at 42”on each floor. In the event that a Research & Development tenant occupies some or all of the office space available on Blocks 29-32 and utilizes interior layouts like the one shown on sheet 01.5, the façade may be further treated with subtle bands of translucent film to minimize exterior views of furniture adjacent to the curtain wall.

RETAIL & LOBBY EXPERIENCE

On the plaza, the scale of the podium in each building will be further broken down with restaurant and retail activity, and create a vibrant pedestrian experience, both during and between events. The retail design approach will be based on a steel beam, charcoal metal, and glass framework that will surround and define retail storefronts and align with the metallic and glass office architecture above. This system develops a special character for the retail levels reminiscent of the industrial architecture in the surrounding area. To create an organic urban quality, retail frontages will be further differentiated from one another utilizing a palette of “infill” materials, which may be inlaid in steel beams for additional color and texture.

The main lobby entry to the office at South and 3rd Streets will be visually distinct and physically separated from the ground-level retail at the same corner: the two entries and uses will lie on the opposite side of the structural columns where they meet grade.

Similarly, the main entry to the office at 16th and 3rd Streets will be visually distinct and prominently located. Adjacent retail frontages will be designed to entice patrons up generously sloped walkways from the street corner to the site’s main plaza.

Both office lobby entries will also feature an overhang that brings the downward thrust of each tower to pedestrian scale.

GREEN ROOF & ROOFTOP

The roof of the podium will include an occupiable green roof with integrated stormwater treatment. This will be both an amenity for tower tenants, and a highly visible feature of the development from neighboring buildings.

Mechanical systems on the tower roof will be fully screened by painted metal screenwall and laid out with visibility from nearby neighborhoods in mind. Podium rooftop equipment will be incorporated into landscape elements wherever possible.

PEDESTRIAN PATH

The east side of each office/retail building will match the curve of the new event center, creating channels between the buildings on-site to guide pedestrian traffic from the main plaza to the food hall and retail options along Terry Francois Boulevard, or to the SE plaza and event center secondary entrance.



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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL
DESIGN FEATURES

BUILDING SYSTEMS NARRATIVE



STRUCTURAL SYSTEMS MEP SYSTEMS

FOUNDATION SYSTEM

Each office tower foundation system will consist of augercast concrete piles, pile caps, and a concrete structural slab-on-grade spanning between pile caps. The site perimeter will be supported by concrete basement walls.

GRAVITY FRAMING SYSTEM

Construction up to the plaza level will consist of reinforced concrete columns supporting a concrete beam and slab floor system. Above the plaza level, the office floor framing will consist of concrete slab on metal deck supported by composite wide flange beams, girders, and columns.

LATERAL FORCE RESISTING SYSTEM

The office tower steel frame above the plaza level will utilize a buckling restrained braced frame lateral system to resist earthquake and wind forces. At the plaza level, the braced frames will transfer to special reinforced concrete shear walls which will carry down to the foundations.

OFFICE, RETAIL, AND LOBBY AIR HANDLING SYSTEMS

Air handling units serving all occupied levels of the buildings, including the tenant office space and the retail floors, will be rooftop mounted, custom penthouse air handling units (AHUs) with indirect/direct evaporative cooling (IDEC). Additional features for cooling and heating will include underfloor cooling (Floors 3 through 11), air column fans (building cores), overhead ductwork, series fan-powered boxes, and electric heaters. Systems will also be designed with an airside economizer for free cooling, including return/relief air fans (RAFs) for all systems.

Units will be provided with air flow measuring stations that will monitor conditions, maintain required outside air for ventilation and proper IAQ, and to maintain positive building pressure. Ventilation controls, including automatic dampers and return air ductwork, will also be used to modulate and maintain CO2 levels.

All cooling and ventilation air will also be provided to the retail floors and lobby areas from the rooftop AHUs mentioned above. This air will be ducted overhead to serve terminal devices to heat, cool, and ventilate each space and zone accordingly.

OFFICE AIR DISTRIBUTION

All tenant office space will utilize an underfloor air distribution (UFAD) system. For floors with no ceilings and exposed structure, low pressure ductwork will be provided from the main supply air shaft and routed along the perimeter of the exterior walls. Linear supply air diffusers will also be provided along all glazing areas. The linear diffusers and supply air ductwork will be sized to offset the building exterior skin heat gain in the cooling season.

TENANT BUILD-OUT ASSUMPTIONS

Each typical cubicle, manager cubicle, business support, and break area will be provided with CV floor “swirl” diffuser such that the occupant can control the local space environment. The occupant shall have the ability to open/close and adjust the throw direction of the diffuser. Interior private offices, interior conference rooms, and interior work room areas will be provided with VAV floor terminals to modulate room supply air based on space temperature. All exterior areas including perimeter offices, conference rooms, and breakout areas will be served by modular fan terminal units with electric heating. The fan speed shall be controlled and heating shall be cycled to maintain space temperature. A thermostat will be located in each zone to provide a control point for space temperature.

ELECTRICAL SYSTEMS

Tower loads will be served from two single ended dedicated unit substations for the tower, one of which will serve lighting and large HVAC loads through the building. The two substations will serve vertically through the building. Provisions for tenant metering will be required.

Lighting fixtures will use predominately fluorescent lamp sources for the shell build out. LED and fluorescent light sources will likely be selected for the fit out portion of the project. Exit signage will be LED type.

Cabling will be provided via under floor system to conceal raceways and cabling paths through raised floor. Cabling in public areas will be concealed in raceways or above ceilings.

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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL
BUILDING SYSTEMS
NARRATIVE

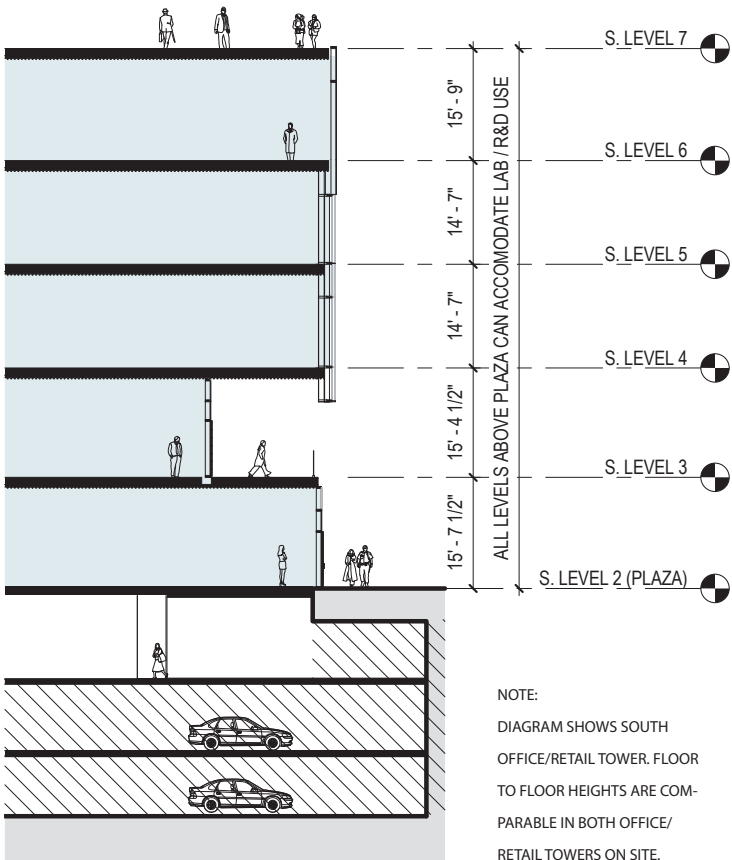
DESIGN FLEXIBILITY FOR LAB / R&D USES

The towers have been designed with flexibility in mind for potential lab, research, or biotech tenants.



FLOOR TO FLOOR HEIGHT

The minimum recommended floor-to-floor height for a concrete flat slab construction (post tensioned or mild steel) is 14'-0", assuming a 10"-12" maximum thickness concrete flat slab. This allows roughly 1'-0" for structure, 3'-0" for ductwork, lighting, and sprinklers, and 10'-0" ceiling heights in larger open lab areas. This assumes some lower ceiling areas near the shafts and core areas where ducts are the largest. As currently designed, the tower buildings have a minimum of 14'-7" floor-to-floor, which will accommodate lab use on all floors above the plaza level.



ENLARGED SECTION WITH FLOOR-TO-FLOOR HEIGHT - N.T.S.

PLAN CONFIGURATION

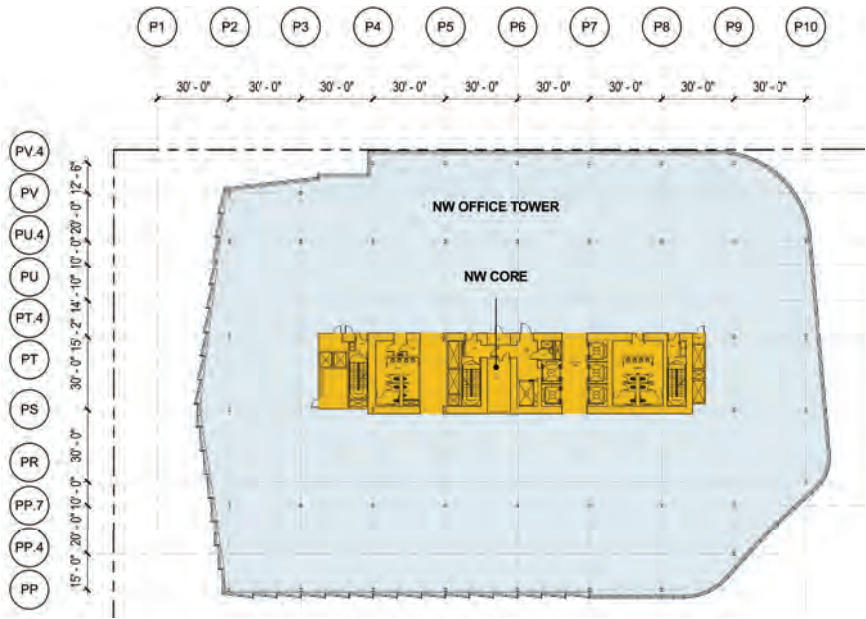
The overall configuration of the floor plate is critical to achieving a functional, flexible and efficient laboratory floor plate layout. Key issues to achieving that functionality and efficiency are described as follows:

STRUCTURAL GRID CONFIGURATION

Alignment of the grid with the laboratory planning module is critical; also critical is how the structural grid influences the size and locations of the laboratory components.

CORE LOCATION

Ideally the location of the core elements (elevators, toilets, shafts, stairs) within the floor plate will provide large, contiguous areas of relatively uniform laboratory and lab support modules.



SOUTH STREET PODIUM & TOWER CORE LOCATION - N.T.S.

CIRCULATION PATHS/CORRIDORS

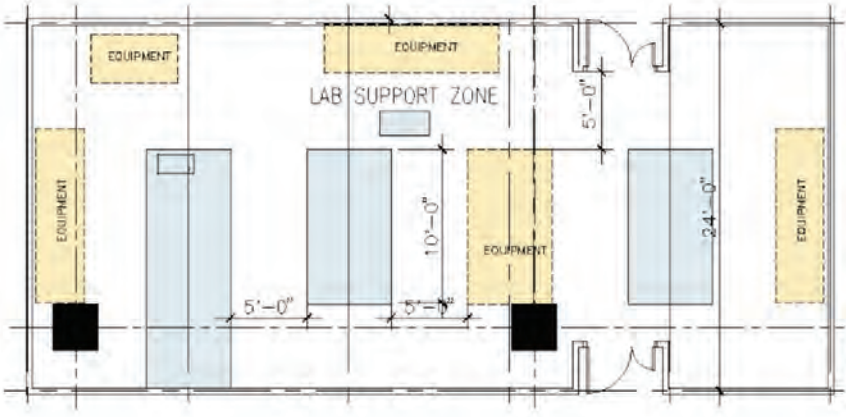
The core locations should provide easy and logical access to and between the laboratory blocks on the floor plate. They should also provide clear and direct pathways from any point within the laboratory areas to the exit stairs. Two means of egress from any area of the floor plate is essential to maintain options with respect to the laboratory sizes and functions.

DAYLIGHT AND VIEWS

The overall configuration of the floor plate and the relationship of the column grid and core locations will begin to dictate a logical configuration along the exterior walls. In a typical laboratory environment, daylight and views are highly desirable for laboratory areas, as the occupants tend to spend a large portion of their time in the labs, especially in academic labs where technician work stations are often located within the labs. In the commercial sector, health and safety concerns generally lead to workstations located outside but adjacent to the labs, but daylight access and views from the labs and workstation areas remains very important. Lab equipment will be located with careful consideration to avoid blocking light and views from individual workstations.

MECHANICAL EQUIPMENT AT PODIUM

Mechanical equipment for a potential lab tenant at the podium levels can be located on the occupiable roof deck, and screened with landscaping elements integrated with the overall design.



24' LAB PLANNING MODULE - N.T.S.

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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL
DESIGN FLEXIBILITY
FOR LAB / R&D USES

PROJECT DATA SUMMARY (NORTH TOWER)



Project Data Summary - South Street Office/Retail Tower

Project Standards	Site Data	Consistent With				Notes
		Mission Bay South Redevelopment Plan	Design for Development (2004)	Design for Development to be Amended (2015) (1)	GSW Major Phase Application for Blocks 29-32	
Land Use	Commercial Industrial Retail	√	√	--	√	Major Phase Submittal for Blocks 29-32, pages 6-7, 16-17.
Height Zone	HZ-5	√	√	--	√	See map in Design for Development, page 22.
Parcel Land Area (2)	475,688 SF (10.92 acres)	√	√	--	√	Major Phase Submittal, pages 6, 33.
Gross Square Feet (3)	309,436 SF	√	√	--	√	As part of aggregate FAR of Zone A, Mission Bay South Redevelopment Plan, Section 304.5.
Building Height	Podium: 90' Tower: 160'	√	√	--	√	Maximum base height of 90'-0'' and maximum tower height of 160'-00'', per Design for Development, pages 22-23. 160'-0'' height limit per Mission Bay South Redevelopment Plan, Section 304.5.
Rooftop Mechanical Penthouse Height	16'	√	√	--	√	20' limit for structures where the height limit is greater than 65', per Design for Development, page 23.
Number of Towers	Block 29: 1 tower HZ-5 total: 4 towers, 2 of which are on Blocks 29 and 31.	√	X	√	√	Maximum number of towers at maximum bulk and height within HZ-5 is four, 2 of which must be on Blocks 29 or 31, per Amended Design for Development, page 23.
Tower Location	Block 29	√	√	--	√	No applicable limitation for Block 29, per Design for Development, page 22-23.
Tower at Corners	Tower at Block 29 is one of two planned at the intersection of South Street and 3rd Street.	√	√	--	√	Except for 16th Street and Third Street, no intersection to allow more than 2 towers within 50' of corner, per Amended Design for Development, page 23.
Tower-Tower Separation	364'-10"	√	√	--	√	Minimum 100' when located on the same block, per Design for Development, page 23.
Tower-Event Center Separation	53'-6"	√	X	√	√	Minimum 40' separation permitted between a tower and an Event Center, per Amended Design for Development, page 23.
Tower Orientation	Tower width along 3rd Street: N/A (Tower is on South Street)	√	√	--	√	Tower width along 3rd Street not to exceed 160', as per Design for Development, page 23.
Bulk	Maximum tower plan length: 199' Maximum tower floor plate: 19,868 Gross SF	√	√	--	√	Commercial buildings shall have a maximum tower plan length of 200', and maximum tower floor plate of 20,000 square feet, per Design for Development, page 26.
Setbacks	3rd Street: 27'-9"	√	√	--	√	5' minimum setback along 3rd Street, per Design for Development, page 27.
Streetwall Block-length Coverage (4)	3rd Street: 188' = 30% (South Street Office/Retail Tower only) 496' = 80% (All planned development on 3rd Street for Blocks 29-32 site)	√	X	√	√	The Third Street and 16th Street frontages surrounding an Event Center are exempted from minimum streetwall length requirements, per Amended Design for Development, page 28.
Streetwall Heights	3rd Street: 90' (South Street Office/Retail Tower only)	√	√	--	√	Minimum streetwall height of 15'. Maximum streetwall height not to exceed 90' (except for mid-rise, Event Center, and towers). Per Design for Development, page 28.
Streetwall Projections	3rd Street: None proposed South Street: 2'-4'' awning	√	√	--	√	Maximum vertical dimension of 2'-6''. Minimum 8' vertical clearance from public right of way to architectural projection. Maximum projection of 3' over public right of way. Per Design for Development, page 28.
Sunlight Access / Shadow Analysis	Provided (see Background Appendices)	√	√	--	√	No variance requested. Design is compliant with the Design for Development, page 36-37. Provided for informational purposes only.
Wind Analysis	Provided (see Background Appendices)	√	√	--	√	Wind tunnel testing provided. Design is compliant with Design for Development, page 38.
View Corridors	Provided (see Background Appendices) Tower on Block 29 is not located within a view corridor.	√	√	--	√	No building or portion thereof shall block a view corridor, provided, however, that a view corridor on Blocks 29-32 may terminate in an Event Center that provides an important architectural statement as recommended in the Commercial Industrial Guidelines. Per Amended Design for Development, page 39.
Vehicle Parking (5)	Office: 293 Retail/Restaurant: 68 Total: 361	√	√	--	√	Calculated at 1 per 1,000 sf of gross area for commercial/industrial development, 1 per 500 sf of gross area for retail development, and 1 per 200 sf of gross area for restaurant development, with a 50% ratio of compact to standard spaces, per Design for Development, pages 42-43. Calculated with a 50% ratio of compact to standard spaces, per Design for Development, page 42.
Bicycle Parking (6)	60 interior Class 1 spaces	√	√	--	√	Minimum of 1 secure bicycle parking space must be provided for every 20 vehicular parking spaces or fraction thereof, per Design for Development, page 44.
Loading (7)	Commercial Loading: 3 Retail Loading: 3 Trash: 2	√	√	--	√	Calculated at a minimum of 3 for commercial industrial developments over 500,000 GSF plus 1 for each additional 400,000 GSF. Calculated at a minimum of 3 for retail developments over 100,000 GSF plus 1 for each additional 80,000 GSF. For multi-parcel developments, loading spaces can be aggregated. All per Design for Development, page 44.
Notes						
(1) This column applies only to those provisions of the Design for Development that require amendment; project features are otherwise consistent with the Design for Development 2004. The Design for Development supersedes San Francisco Planning Code for development in the Mission Bay						
(2) Measured for full project at Blocks 29-32.						
(3) Authorization Request per San Francisco Planning Code Section 321.						
(4) Total block length measured for Blocks 29-32 site, not Block 29 alone. See Background Appendices BC/SD book for further detail.						
(5) Assumes 50/50 Retail/Restaurant split (to be verified once building tenants are confirmed).						
(6) Additional outdoor Class 2 bike parking spaces are also available for use by office/retail/event center employees and visitors. See Open Space, Gatehouse, Parking and Loading BC/SD book for further detail.						
(7) Commercial Loading spaces shown are shared between the South Street Office/Retail Tower, the 16th Street Office/Retail Tower, and all other retail on-site. See 16th Street Office/Retail Tower BC/SD book, Gatehouse BC/SD book, and Northeast Retail BC/SD book for further detail.						
Applicable Codes and Documents						
Redevelopment Plan for the Mission Bay South Redevelopment Project, dated November 2, 1998.						
Amended Design for Development, dated March 16, 2004.						
Amended Design for Development, per GSW submittal dated November 3, 2015.						
Major Phase Application for Blocks 29-32, to be approved prior to this submittal.						

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Golden State Warriors

PROJECT TEAM
Pfau Long Architecture &
AE3 Partners - Tower Design
Richyworks - Retail Design
SWA Group & Merrill Morris
Partners - Landscape Design
Kendall/Heaton Associates -
Architect of Record

ISSUE DATE
November 5, 2015

MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL (North)
PROJECT DATA
SUMMARY

PROJECT DATA SUMMARY (SOUTH TOWER)



Project Data Summary - 16th Street Office/Retail Tower

Project Standards	Site Data	Consistent With				Notes
		Mission Bay South Redevelopment Plan	Design for Development (2004)	Design for Development to be Amended (2015) (1)	GSW Major Phase Application for Blocks 29-32	
Land Use	Commercial Industrial Retail	√	√	--	√	Major Phase Submittal for Blocks 29-32, pages 6-7, 16-17.
Height Zone	HZ-5	√	√	--	√	See map in Design for Development, page 22.
Parcel Land Area (2)	475,688 SF (10.92 acres)	√	√	--	√	Major Phase Submittal, pages 6, 33.
Gross Square Feet (3)	267,486 SF	√	√	--	√	As part of aggregate FAR of Zone A, Mission Bay South Redevelopment Plan, Section 304.5.
Building Height	Podium: 90' Tower: 160'	√	√	--	√	Maximum base height of 90'-0" and maximum tower height of 160'-00", per Design for Development, pages 22-23. 160'-0" height limit per Mission Bay South Redevelopment Plan, Section 304.5.
Rooftop Mechanical Penthouse Height	16'	√	√	--	√	20' limit for structures where the height limit is greater than 65', per Design for Development, page 23.
Number of Towers	Block 29: 1 tower HZ-5 total: 4 towers, 2 of which are on Blocks 29 and 31.	√	X	√	√	Maximum number of towers at maximum bulk and height within HZ-5 is four, 2 of which must be on Blocks 29 or 31, per Amended Design for Development, page 23.
Tower Location	Block 31	√	√	--	√	No applicable limitation for Block 31, per Design for Development, page 22-23.
Tower at Corners	Tower at Block 31 is one of up to four planned or anticipated at the intersection of 16th Street and 3rd Street.	√	X	√	√	The intersection at 16th Street and Third Street is exempted from tower location limitations, per Amended Design for Development, page 23.
Tower-Tower Separation	364'-10"	√	√	--	√	Minimum 100' when located on the same block, per Design for Development, page 23.
Tower-Event Center Separation	45'-5"	√	X	√	√	Minimum 40' separation permitted between a tower and an Event Center, per Amended Design for Development, page 23.
Tower Orientation	Tower width along 3rd Street: 115'-2"	√	√	--	√	Tower width along 3rd Street not to exceed 160', per Design for Development, page 23.
Bulk	Maximum tower plan length: 192'-6" Maximum tower floor plate: 19,868 Gross SF	√	√	--	√	Commercial buildings shall have a maximum tower plan length of 200', and maximum tower floor plate of 20,000 square feet, per Design for Development, page 26.
Setbacks	3rd Street: 7'-2"	√	√	--	√	5' minimum setback along 3rd Street, per Design for Development, page 27.
	16th Street: 23'-3"	√	√	--	√	20' minimum setback along 16th Street, per Design for Development, page 27.
Streetwall Block-length Coverage (4)	3rd Street: 198' = 32% (16th Street Office/Retail Tower only) 496' = 80% (All planned development on 3rd Street for Blocks 29-32 site)	√	X	√	√	The Third Street and 16th Street frontages surrounding an Event Center are exempted from minimum streetwall length requirements, per Amended Design for Development, page 28.
	16th Street: 241' = 32% (16th Street Office/Retail Tower only) 456' = 60% (All planned development on 16th Street for Blocks 29-32 site)					
Streetwall Heights	3rd Street: 90' to 160'	√	√	--	√	Minimum streetwall height of 15'. Maximum streetwall height not to exceed 90' (except for mid-rise, Event Center, and towers). Per Design for Development, page 28.
	16th Street: 90' to 160'	√	√	--	√	
Streetwall Projections	3rd Street: None proposed	√	√	--	√	Maximum vertical dimension of 2'-6". Minimum 8' vertical clearance from public right of way to architectural projection. Maximum projection of 3' over public right of way. Per Design for Development, page 28.
	16th Street: None proposed					
Sunlight Access / Shadow Analysis	Provided (see Background Appendices)	√	√	--	√	No variance requested. Design is compliant with the Design for Development, page 36-37. Provided for informational purposes only.
Wind Analysis	Provided (see Background Appendices)	√	√	--	√	Wind tunnel testing provided. Design is compliant with Design for Development, page 38.
View Corridors	Provided (see Background Appendices) Tower on Block 31 is not located within a view corridor.	√	√	--	√	No building or portion thereof shall block a view corridor, provided, however, that a view corridor on Blocks 29-32 may terminate in an Event Center that provides an important architectural statement as recommended in the Commercial Industrial Guidelines. Per Amended Design for Development, page 39.
Vehicle Parking (5)	Office: 253 Retail/Restaurant: 62 Total: 315	√	√	--	√	Calculated at 1 per 1,000 sf of gross area for commercial/industrial development, 1 per 500 sf of gross area for retail development, and 1 per 200 sf of gross area for restaurant development, with a 50% ratio of compact to standard spaces, per Design for Development, pages 42-43. Calculated with a 50% ratio of compact to standard spaces, per Design for Development, page 42.
Bicycle Parking (6)	64 interior Class 1 spaces	√	√	--	√	Minimum of 1 secure bicycle parking space must be provided for every 20 vehicular parking spaces or fraction thereof, per Design for Development, page 42.
Loading (7)	Commercial Loading: 3 Retail Loading: 3 Trash: 2	√	√	--	√	Calculated at a minimum of 3 for commercial industrial developments over 500,000 GSF plus 1 for each additional 400,000 GSF. Calculated at a minimum of 3 for retail developments over 100,000 GSF plus 1 for each additional 80,000 GSF. For multi-parcel developments, loading spaces can be aggregated. All per Design for Development, page 44.
Notes						
(1) This column applies only to those provisions of the Design for Development that require amendment; project features are otherwise consistent with the Design for Development 2004. The Design for Development supersedes San Francisco Planning Code for development in the Mission Bay Redevelopment Plan Area.						
(2) Measured for full project at Blocks 29-32.						
(3) Authorization Request per San Francisco Planning Code Section 321.						
(4) Total block length measured for Blocks 29-32 site, not Block 29 alone. See Background Appendices BC/SD book for further detail.						
(5) Assumes 50/50 Retail/Restaurant split (to be verified once building tenants are confirmed).						
(6) Additional outdoor Class 2 bike parking spaces are also available for use by office/retail/event center employees and visitors. See Open Space, Gatehouse, Parking and Loading BC/SD book for further detail.						
(7) Commercial Loading spaces shown are shared between the South Street Office/Retail Tower, the 16th Street Office/Retail Tower, and all other retail on-site. See South Street Office/Retail Tower BC/SD book, Gatehouse BC/SD book, and Northeast Retail BC/SD book for further detail.						
Applicable Codes and Documents						
Redevelopment Plan for the Mission Bay South Redevelopment Project, dated November 2, 1998.						
Amended Design for Development, dated March 16, 2004.						
Amended Design for Development, per GSW submittal dated November 3, 2015.						
Major Phase Application for Blocks 29-32, to be approved prior to this submittal.						

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PROJECT TEAM
Pfau Long Architecture &
AE3 Partners - Tower Design
Richyworks - Retail Design
SWA Group & Merrill Morris
Partners - Landscape Design
Kendall/Heaton Associates -
Architect of Record

ISSUE DATE
November 5, 2015

MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL (South)
PROJECT DATA
SUMMARY

GROSS FLOOR AREA SUMMARY (NORTH TOWER)



LEVEL	GROSS AREA PER SFPC 102.9(A) (Sq. Ft.)	AREAS EXCLUDED FROM THE PROJECT AUTHORIZATION REQUEST PER THE SF PLANNING CODE (Sq. Ft.)		PROJECT AUTHORIZATION REQUEST PER SFPC 321 (Sq. Ft.)
		BASEMENT, MAINTENANCE, AND ELEVATOR/STAIR PENTHOUSE EXCLUSIONS PER SFPC 102.9(B.1,3)	RETAIL & RESTAURANT EXCLUSIONS PER SFPC 320 (F)	
LOWER LEVEL 2 (SUBGRADE PARKING) (A)	5,138	2,363	0	2,775
LOWER LEVEL 1 (EVENT LEVEL) (B)	4,953	2,319	0	2,634
LEVEL 1 (GRADE)	19,289	0	4,132	15,157
LEVEL 2 (PLAZA)	33,812	0	13,359	20,453
LEVEL 3	42,867	0	10,663	32,204
LEVEL 4	45,401	0	0	45,401
LEVEL 5	45,401	0	0	45,401
LEVEL 6	45,911	0	0	45,911
LEVEL 7	20,000	0	0	20,000
LEVEL 8	20,000	0	0	20,000
LEVEL 9	20,000	0	0	20,000
LEVEL 10	20,000	0	0	20,000
LEVEL 11	19,500	0	0	19,500
TOTAL	342,272	4,682	28,154	309,436

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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL (North)

GROSS FLOOR AREA
SUMMARY (SF PLANNING SECTION 321)

02.3

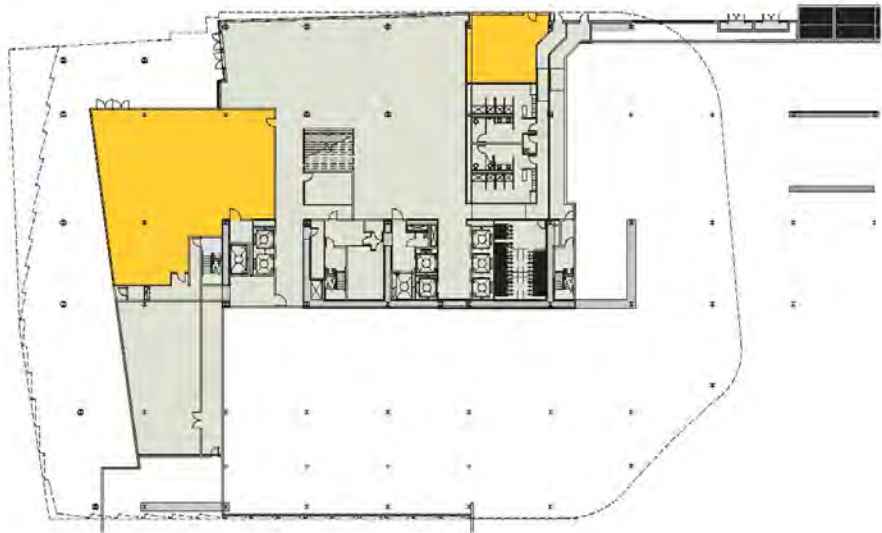
GROSS FLOOR AREA EXCLUSION DIAGRAMS (NORTH TOWER)



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November 5, 2015



GRADE LEVEL PLAN - N.T.S.

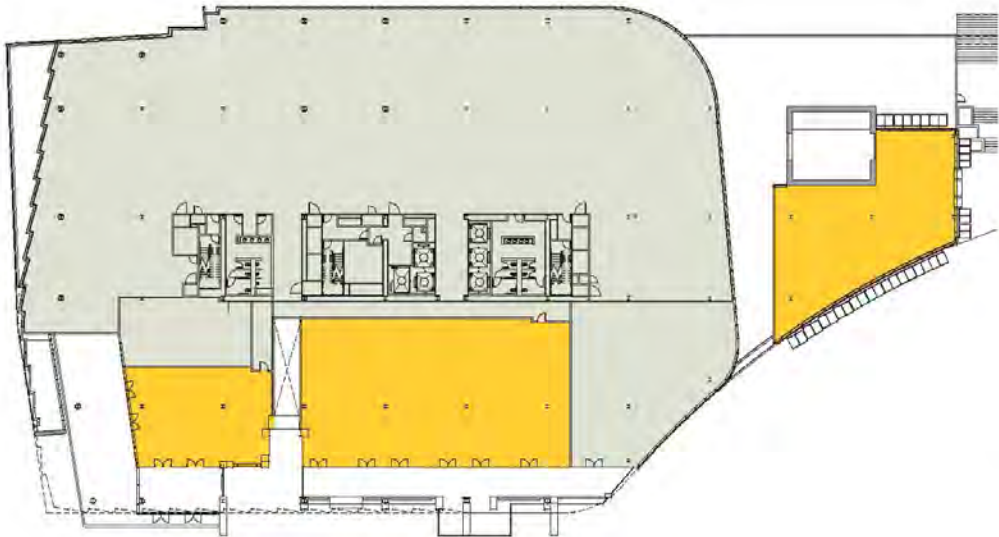


PLAZA LEVEL PLAN - N.T.S.

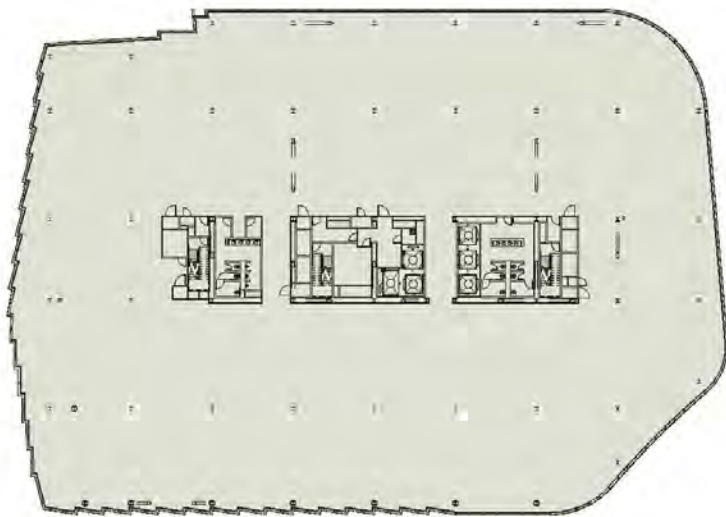
SF PLANNING SECTION 321 EXCLUSION KEY

- GROSS AREA
- RETAIL & RESTAURANTS EXCLUSIONS

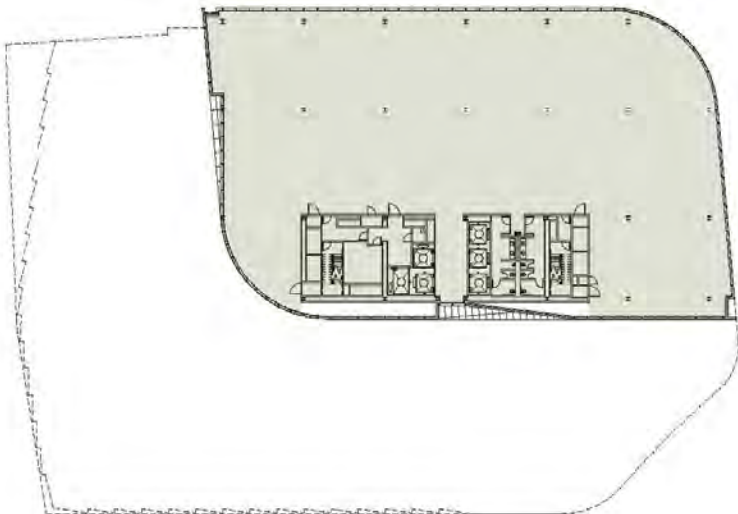
Basement-level exclusions (Lower Level 2, Lower Level 1) not shown.



LEVEL 3 PLAN - N.T.S.



PODIUM PLAN (LEVELS 4,5,6) - N.T.S.



TOWER PLAN (LEVELS 7,8,9,10,11) - N.T.S.



MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL (North)

GROSS FLOOR AREA
EXCLUSION DIAGRAMS

02.4

GROSS FLOOR AREA SUMMARY (SOUTH TOWER)



LEVEL	GROSS AREA PER SFPC 102.9(A) (Sq. Ft.)	AREAS EXCLUDED FROM THE PROJECT AUTHORIZATION REQUEST PER THE SF PLANNING CODE (Sq. Ft.)		PROJECT AUTHORIZATION REQUEST PER SFPC 321 (Sq. Ft.)
		BASEMENT, MAINTENANCE, AND ELEVATOR/STAIR PENTHOUSE EXCLUSIONS PER SFPC 102.9(B.1,3)	RETAIL & RESTAURANT EXCLUSIONS PER SFPC 320 (F)	
LOWER LEVEL 2 (SUBGRADE PARKING) (B)	5,275	2,363	0	2,912
LOWER LEVEL 1 (EVENT LEVEL) (B)	5,170	2,319	0	2,851
LEVEL 1 (GRADE)	17,548	0	2,956	14,592
LEVEL 2 (PLAZA)	24,747	0	13,636	11,111
LEVEL 3	28,208	0	8,934	19,274
LEVEL 4	38,951	0	0	38,951
LEVEL 5	38,951	0	0	38,951
LEVEL 6	39,344	0	0	39,344
LEVEL 7	20,000	0	0	20,000
LEVEL 8	20,000	0	0	20,000
LEVEL 9	20,000	0	0	20,000
LEVEL 10	20,000	0	0	20,000
LEVEL 11	19,500	0	0	19,500
TOTAL	297,694	4,682	25,526	267,486

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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL (South)

GROSS FLOOR AREA
SUMMARY (SF PLANNING SECTION 321)

02.5

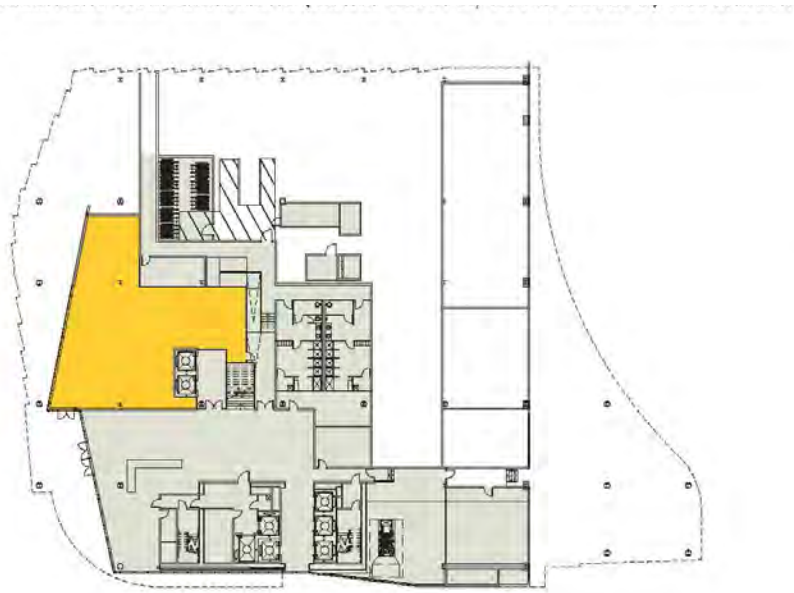
GROSS FLOOR AREA EXCLUSION DIAGRAMS (SOUTH TOWER)



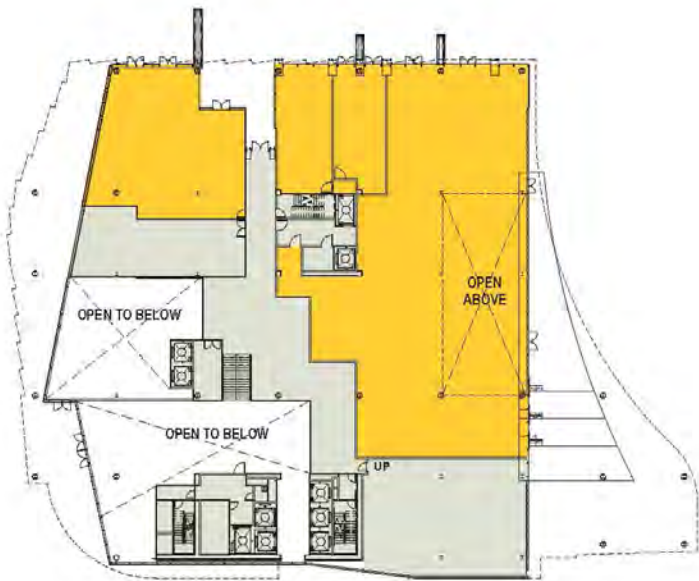
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PROJECT TEAM
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AE3 Partners - Tower Design
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SWA Group & Merrill Morris
Partners - Landscape Design
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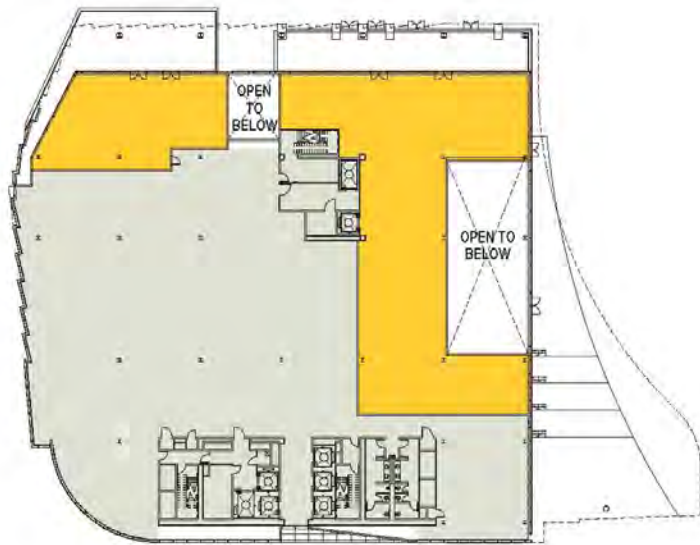
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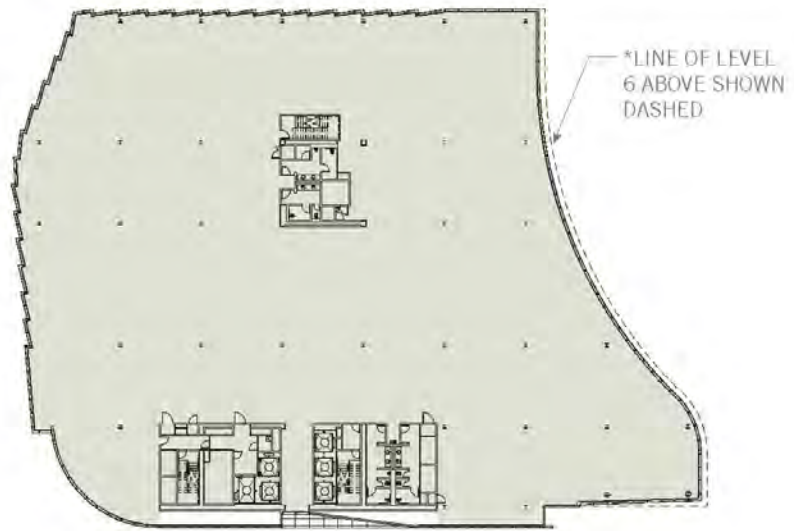
GRADE LEVEL PLAN - N.T.S.



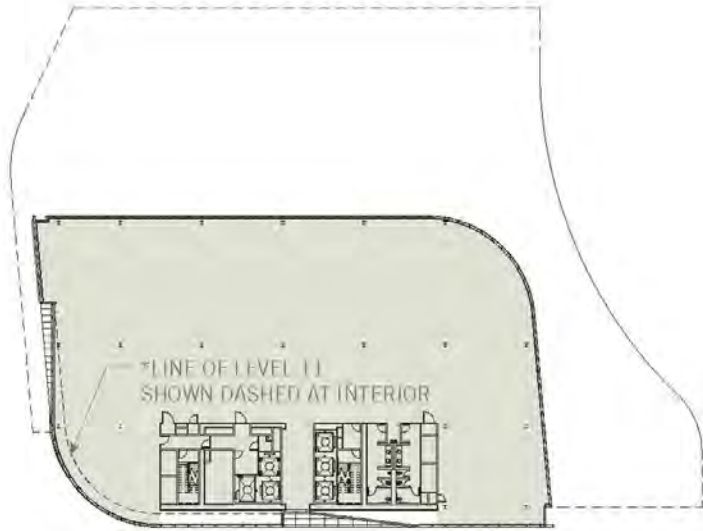
PLAZA LEVEL PLAN - N.T.S.



LEVEL 3 PLAN - N.T.S.



PODIUM PLAN (LEVELS 4,5,6*) - N.T.S.



TOWER PLAN (LEVELS 7,8,9,10,11*) - N.T.S.

SF PLANNING SECTION 321 EXCLUSION KEY

GROSS AREA

RETAIL & RESTAURANTS EXCLUSIONS

Basement-level exclusions (Lower Level 2, Lower Level 1) not shown.



MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL (South)

GROSS FLOOR AREA
EXCLUSION DIAGRAMS

02.6

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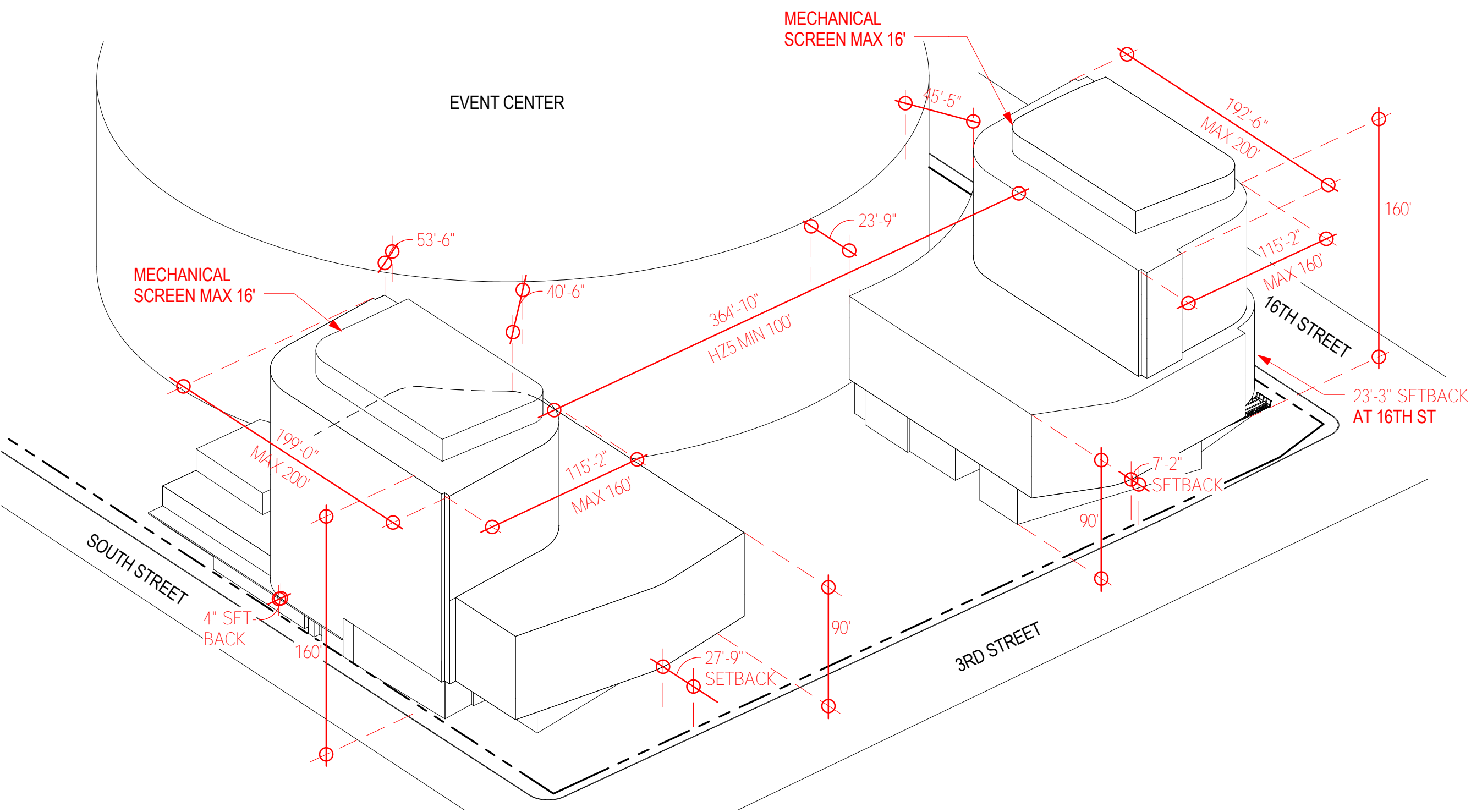
HEIGHT, BULK, AND SETBACK DIAGRAM (HZ5)



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PROJECT TEAM
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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL

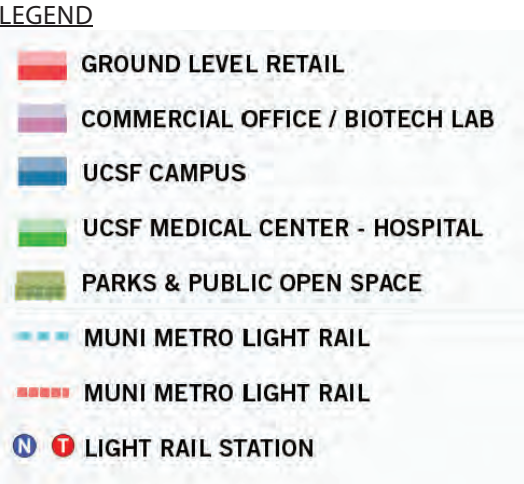
HEIGHT, BULK AND
SETBACK DIAGRAM (HZ5)

02.7

VICINITY PLANS



ADJACENT LAND USES



PUBLIC OPEN SPACE



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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL
VICINITY PLANS

03.1

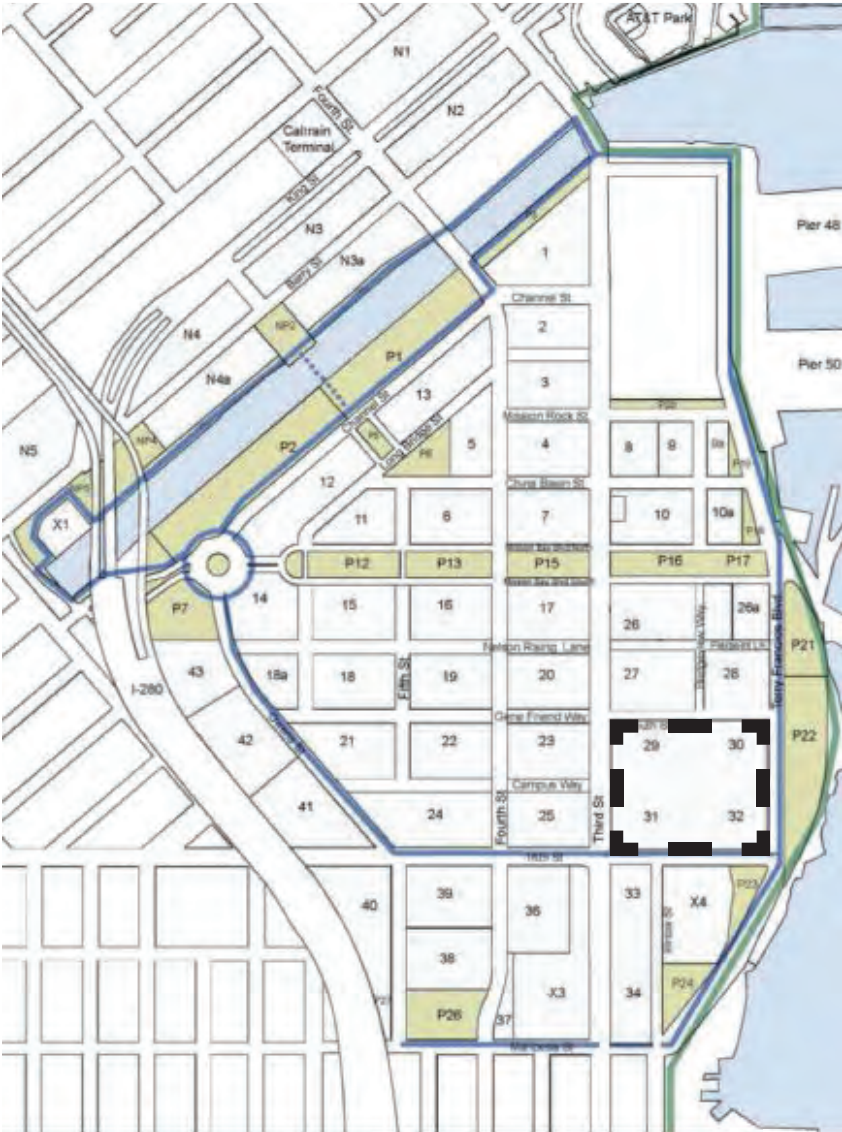
VICINITY PLANS



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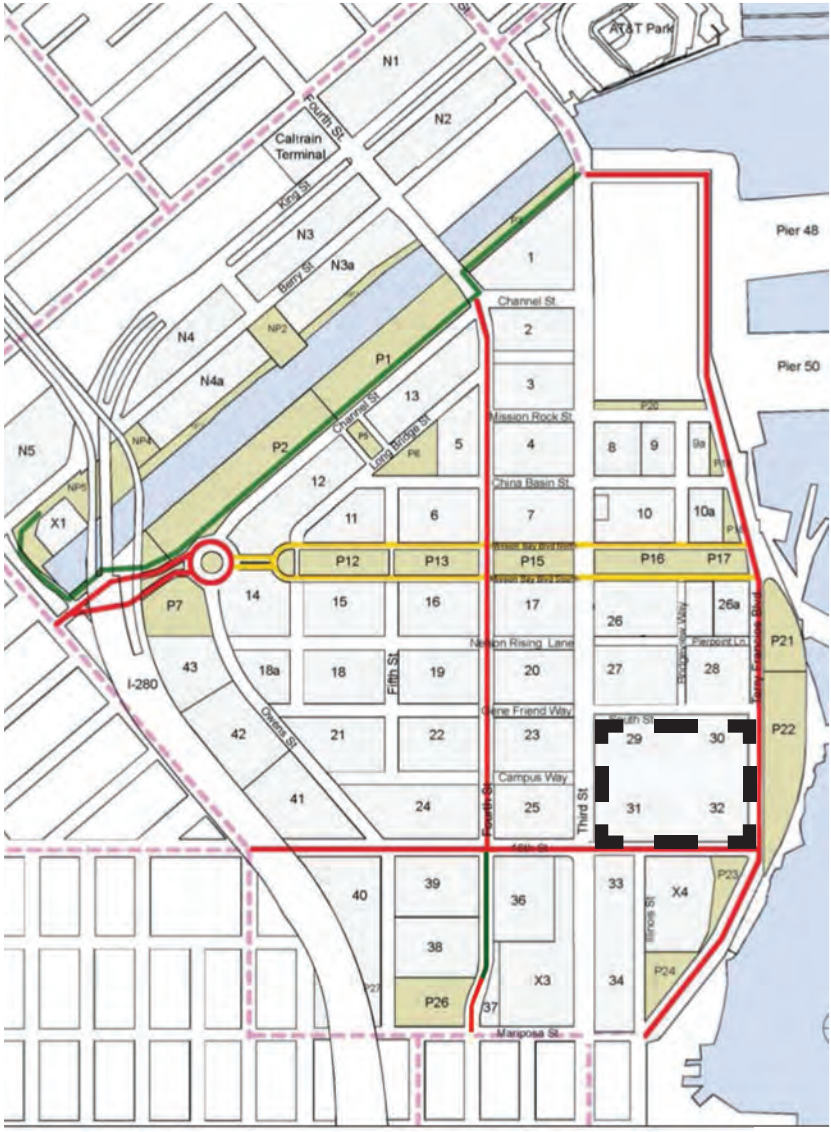
PROJECT TEAM
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SWA Group & Merrill Morris
Partners - Landscape Design
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Architect of Record

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PEDESTRIAN CIRCULATION

- LEGEND
- Bay Trail / Bike Greenway
 - Mission Bay Project Pedestrian Access and Jogging Trail
 - Planned Pedestrian Bridge
 - Project Boundary



BICYCLE CIRCULATION

- LEGEND
- Class I Bicycle Route
 - Class II Bicycle Route
 - Class III Bicycle Route
 - Existing City-Wide Bicycle Route
 - Project Boundary



VEHICULAR CIRCULATION

- LEGEND
- CalTrain
 - SamTrans
 - Muni Metro (N Judah)
 - Muni Metro (T Third)
 - Future Muni 10-Sansome Ext.
 - Future 22- Fillmore Ext.
 - Muni 30,45
 - Existing Muni 22; Future Muni 33
 - Muni 47
 - Muni 80x, 81x, 82x
 - Existing Muni 1D-Townsend
 - TMA Shuttle
 - Muni Metro Surface Station

MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL
VICINITY PLANS

VICINITY PLANS



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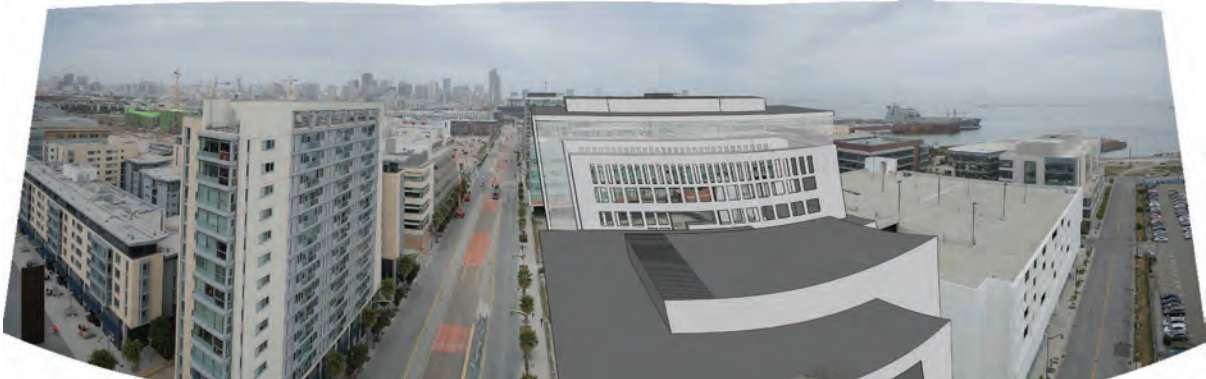


LEGEND

Blue arrow icon
Panoramic View to
Skyline and Bay

Red double arrow icon
View
Corridor

VIEW CORRIDORS



High Views to Skyline



Clear Views to Bay Bridge



Clear Views to Bay



Views to South Bay

MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL
VICINITY PLANS

STANDARD BLOCK PLAN (CONCEPTUAL)



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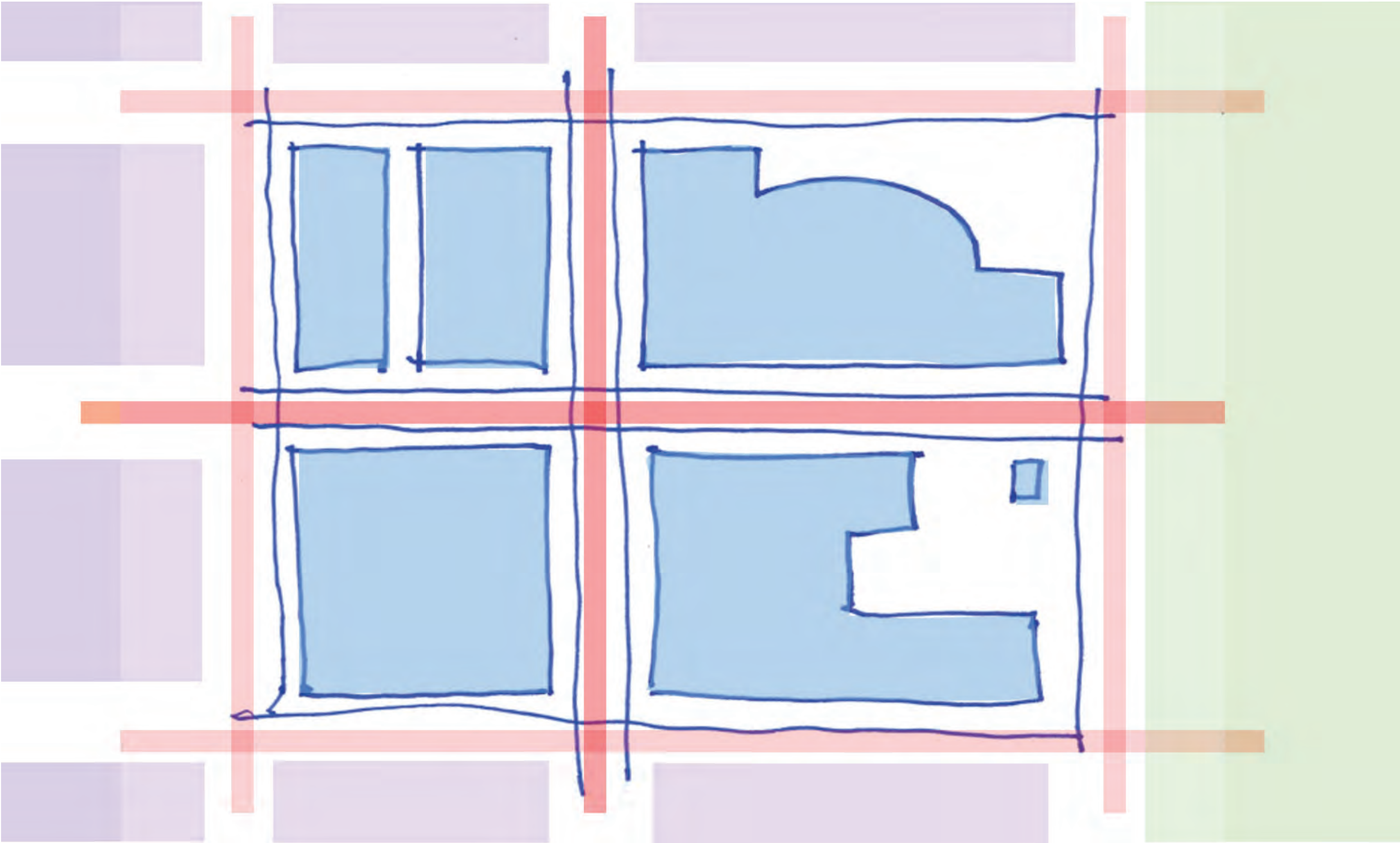
PROJECT TEAM
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SWA Group & Merrill Morris
Partners - Landscape Design
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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL

STANDARD BLOCK PLAN
(CONCEPTUAL)

04.1



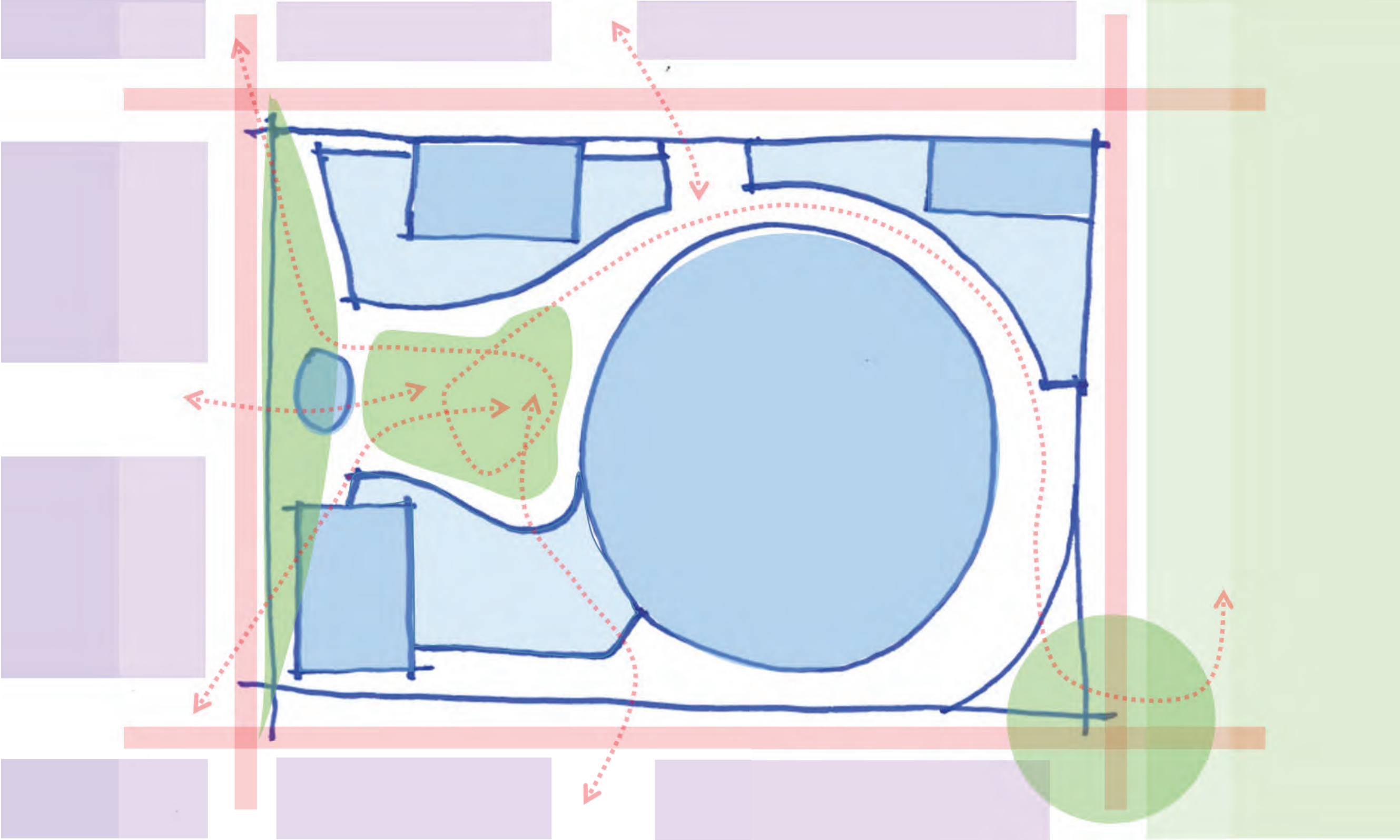
PROPOSED BLOCK PLAN (CONCEPTUAL)



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PROJECT TEAM
Pfau Long Architecture &
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Richyworks - Retail Design
SWA Group & Merrill Morris
Partners - Landscape Design
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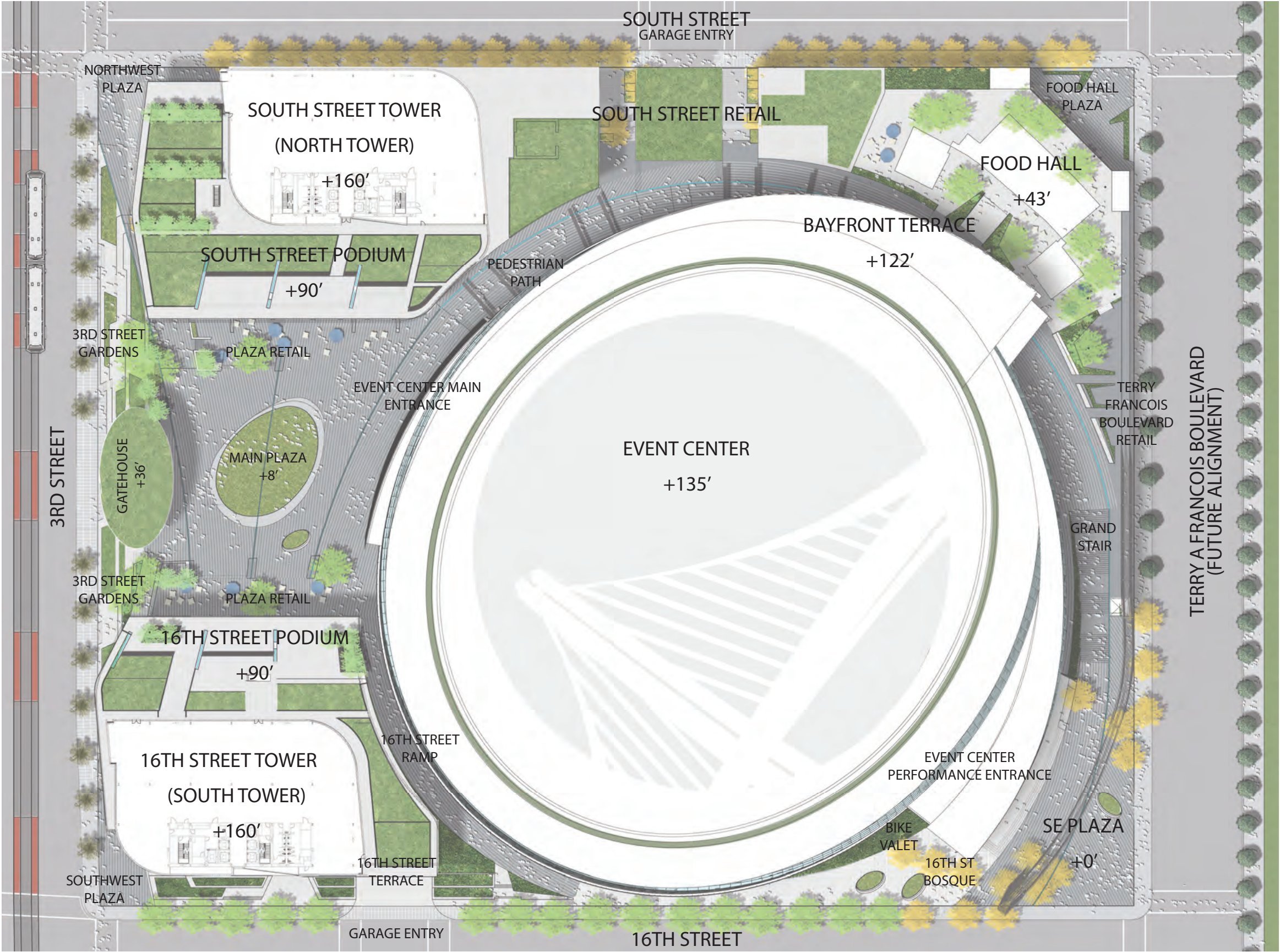


MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL

PROPOSED BLOCK PLAN
(CONCEPTUAL)

04.2

SITE PLAN



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SWA Group & Merrill Morris
Partners - Landscape Design
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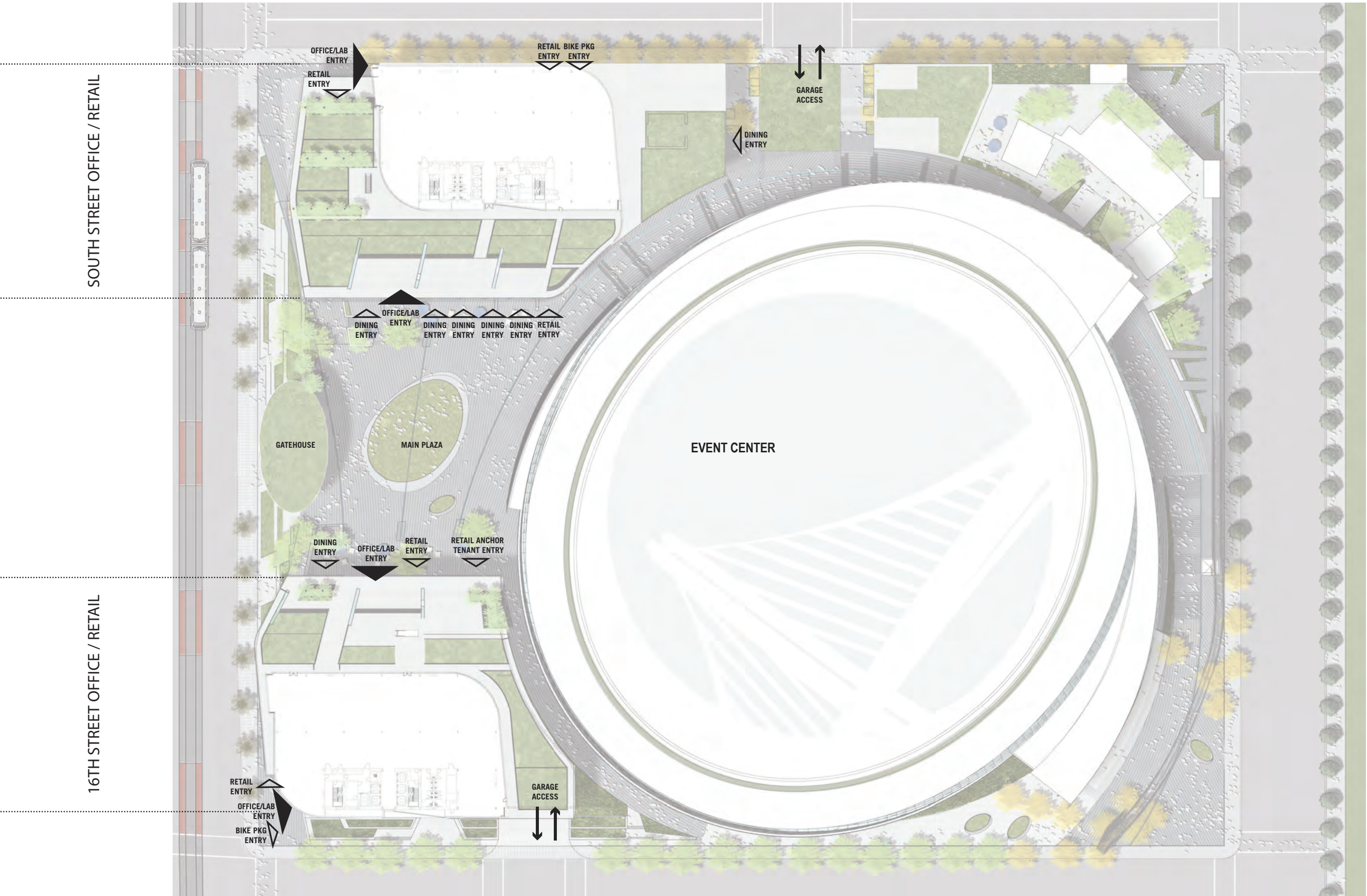
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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL
SITE PLAN

04.3

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BUILDING ENTRY POINTS



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Partners - Landscape Design
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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL

SITE PLAN -
BUILDING ENTRY POINTS

04.4

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PEDESTRIAN CIRCULATION



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Partners - Landscape Design
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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL

SITE PLAN - PEDESTRIAN
CIRCULATION

04.5

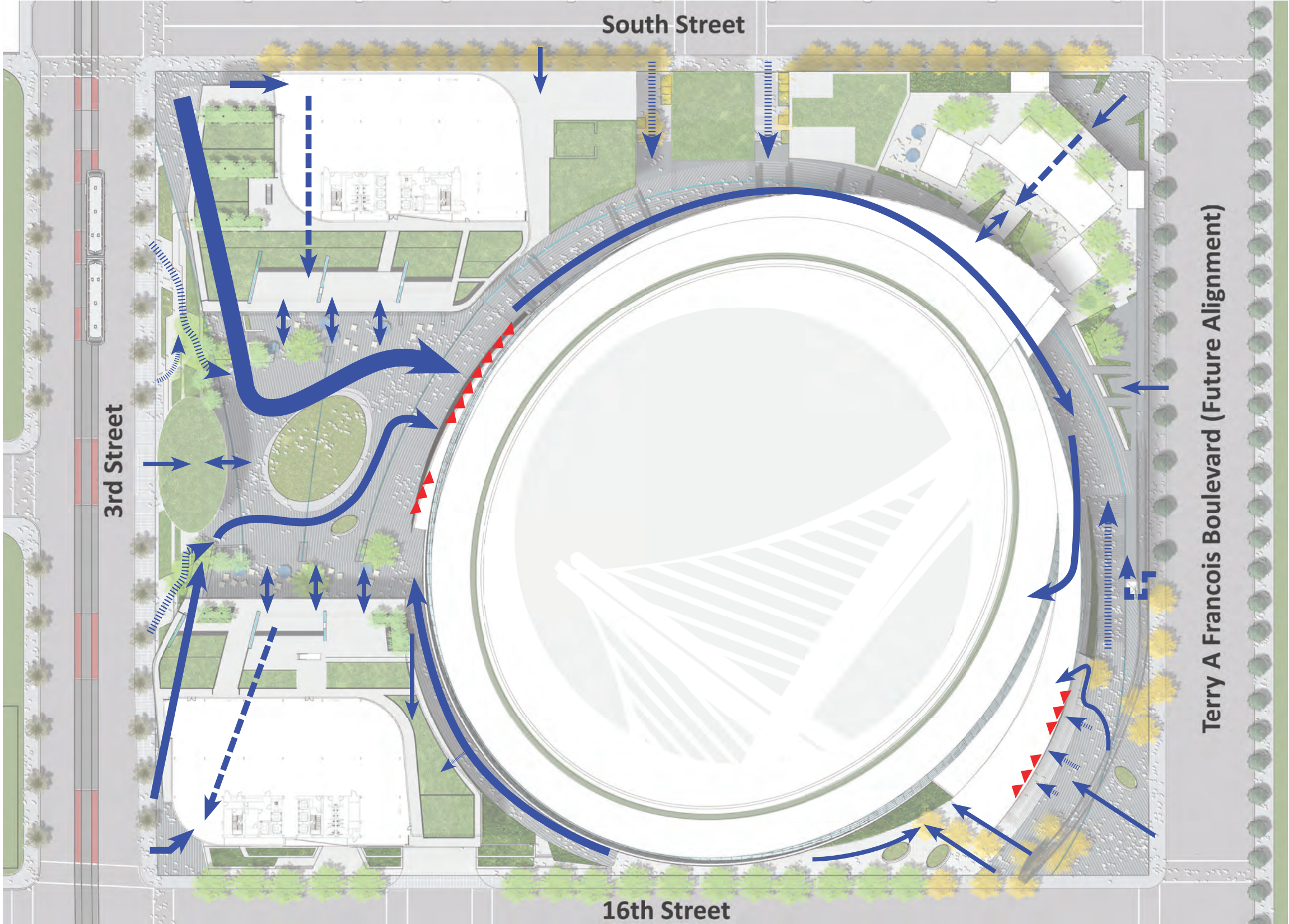
LEGEND

Accessible routes through architecture (uses elevators)

Outdoor accessible routes (sloped walkways or ramps)

Outdoor routes with stairs

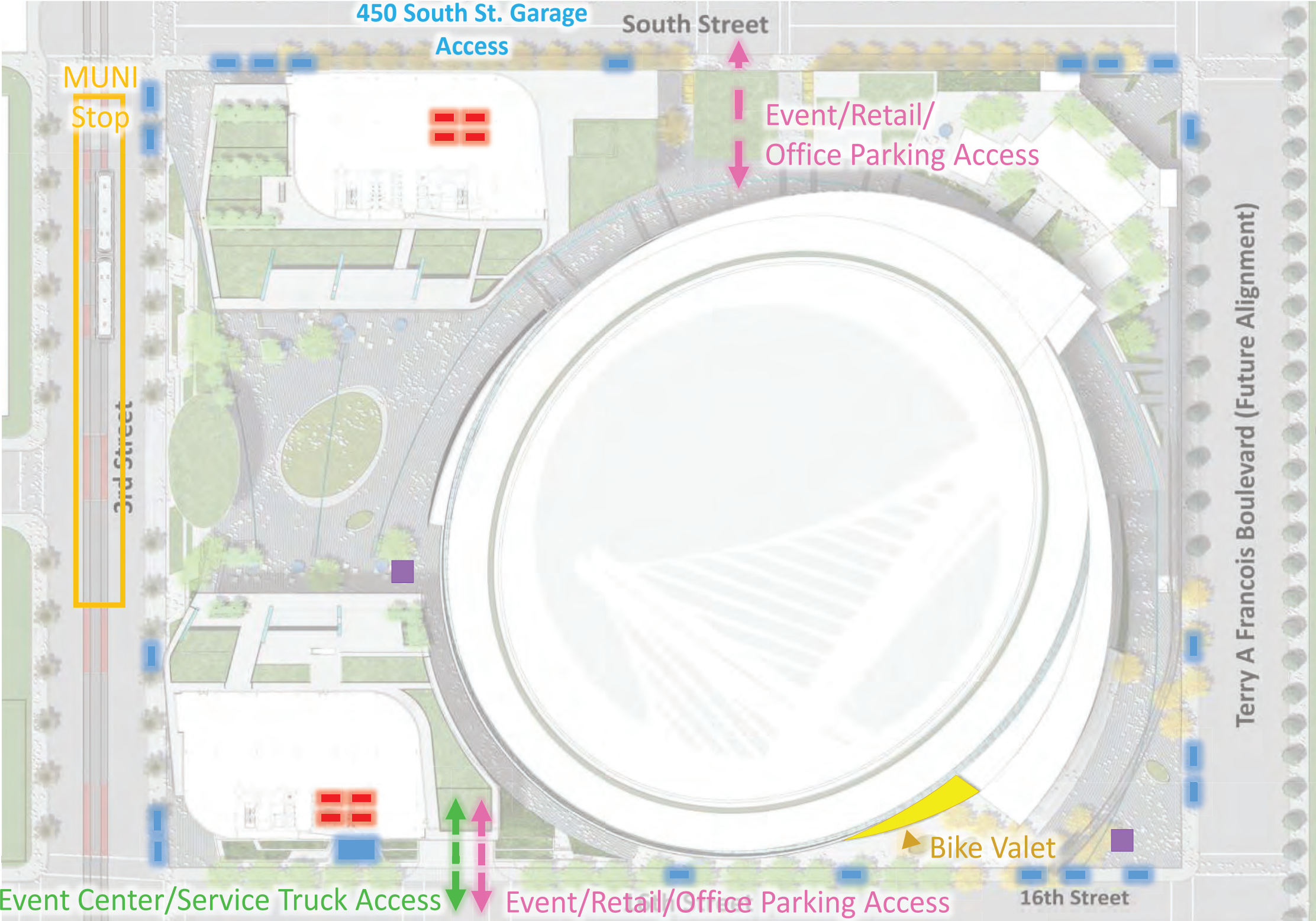
Primary Event Center entrances



SITE PLAN - PEDESTRIAN CIRCULATION



VEHICULAR CIRCULATION



- LEGEND**
- Class 1 Secure Bike Valet
 - Temporary Event Bike Corral
 - Class 1 Secure Bike Storage
 - On-Site or On-Street Bike Racks*
 - Service Vehicle Access to Loading Dock
 - Private Vehicle Access to On-site Garage
 - Private Vehicle Access to Off-site Garage
 - Transit

*On-street bike rack locations represent minor deviations from locations provided in the Mission Bay South Infrastructure Plan.

The project-specific Transportation Management Plan (TMP) will supplement garage entry and parking locations with information on event day drop-off, pick-up, and circulation patterns for all modes.

SITE PLAN - PEDESTRIAN CIRCULATION



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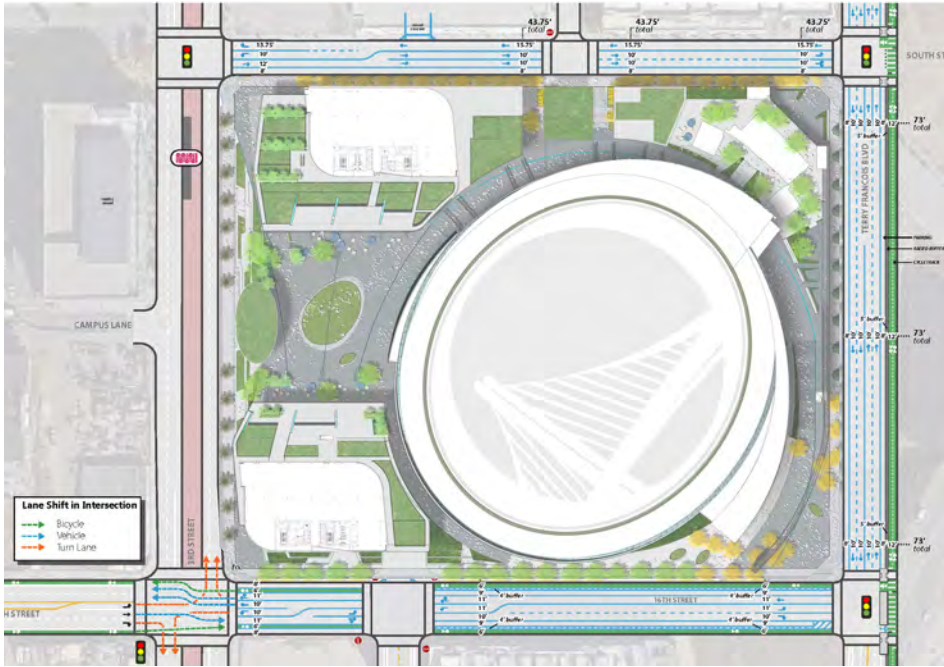
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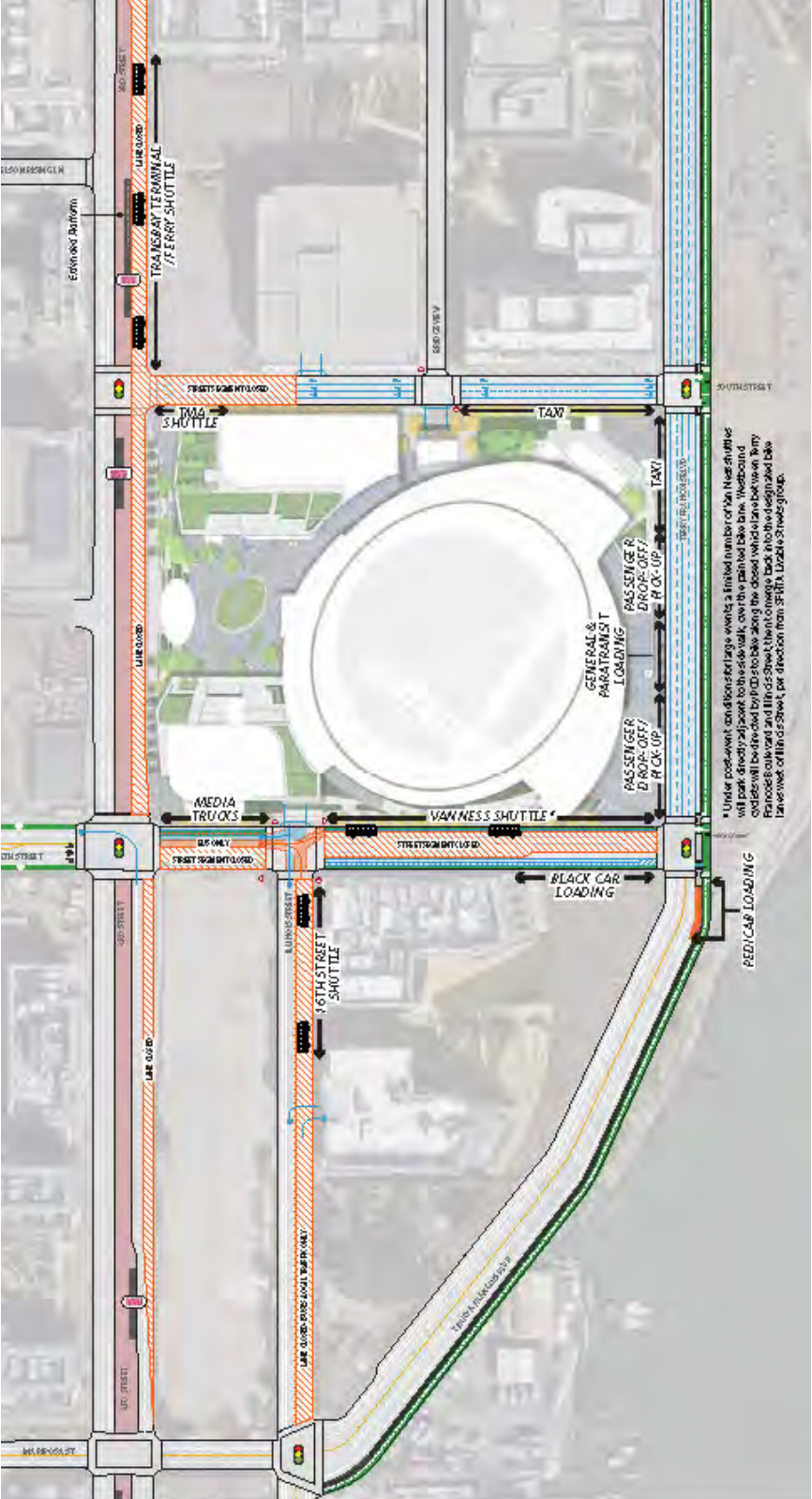
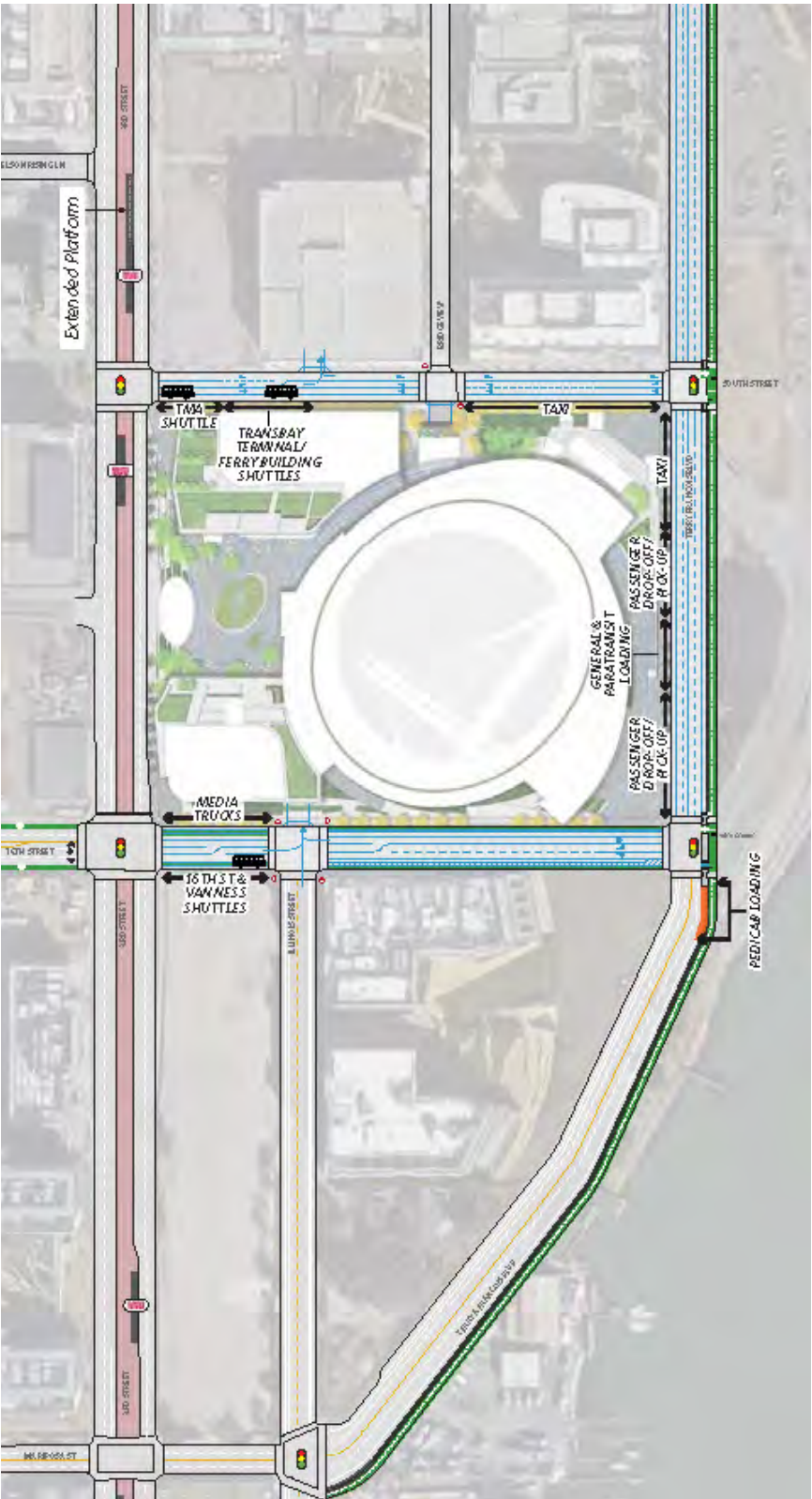
MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL
SITE PLAN - VEHICULAR
CIRCULATION



TRANSPORTATION MANAGEMENT PLAN



LANE STRIPING
N.T.S.



PRE- AND POST- EVENT CURB MANAGEMENT
N.T.S.



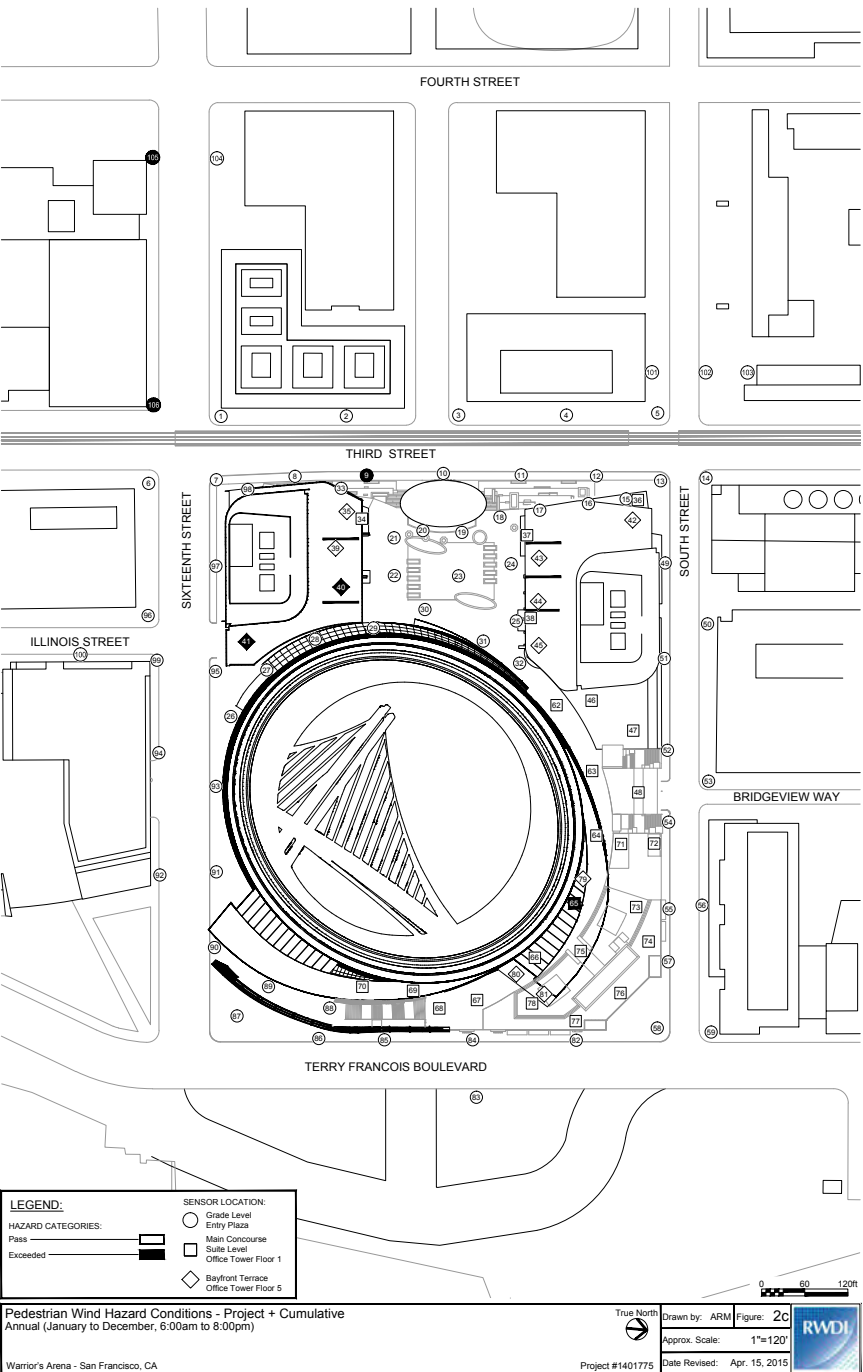
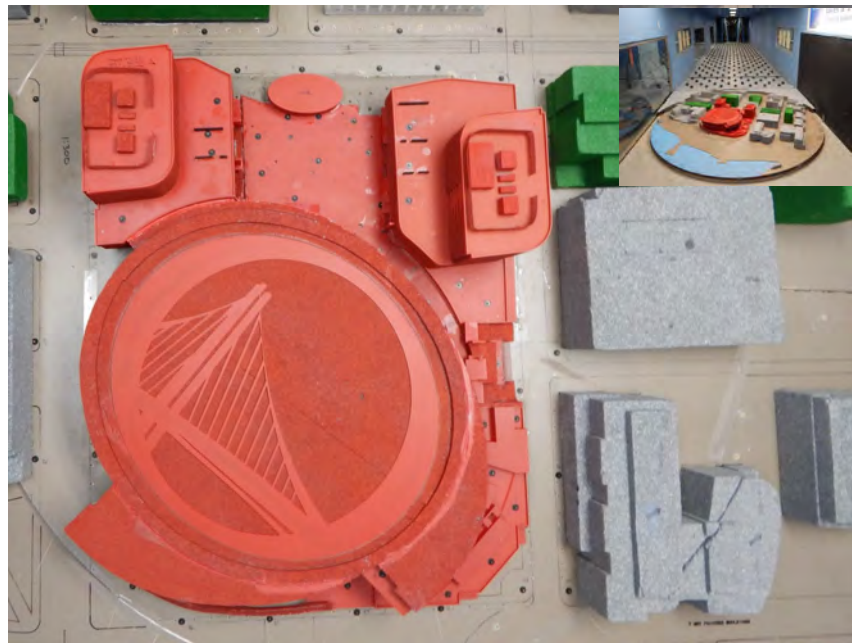
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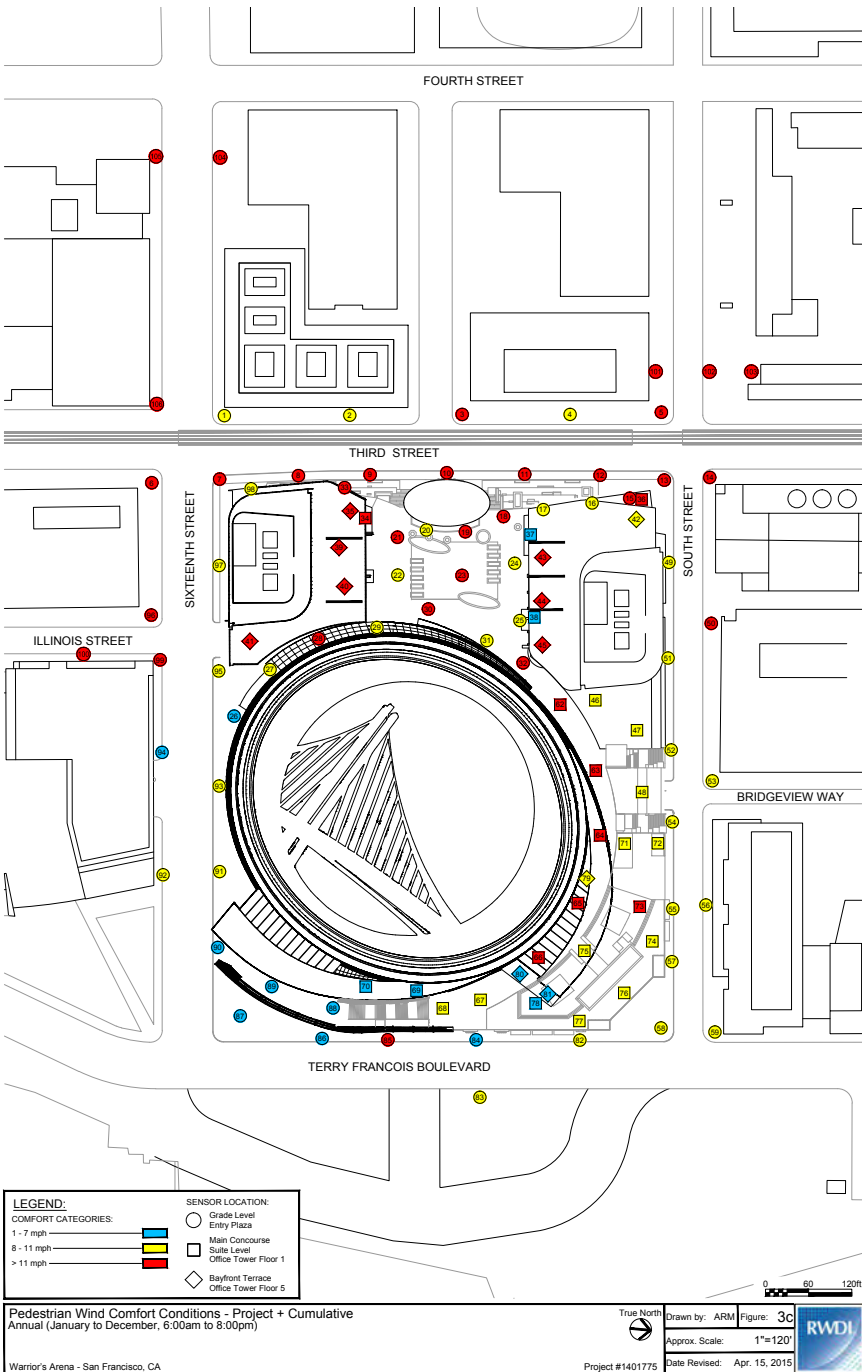
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TRANSPORTATION
MANAGEMENT PLAN

WIND STUDIES



WIND HAZARDS RESULTS



WIND COMFORT RESULTS

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WIND STUDIES



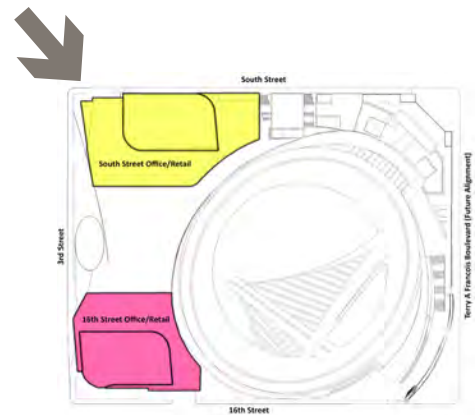
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THIRD STREET OFFICE / RETAIL
AERIAL VIEW

05.1





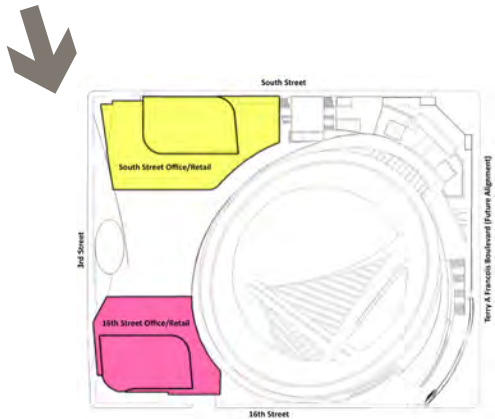
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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL
VIEW FROM 3RD AT
SOUTH STREET

05.2

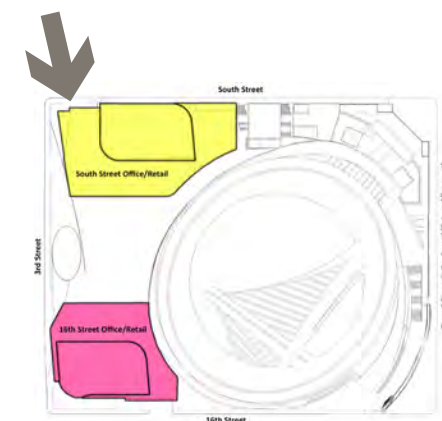




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VIEW FROM 3RD AT
SOUTH STREET

05.3



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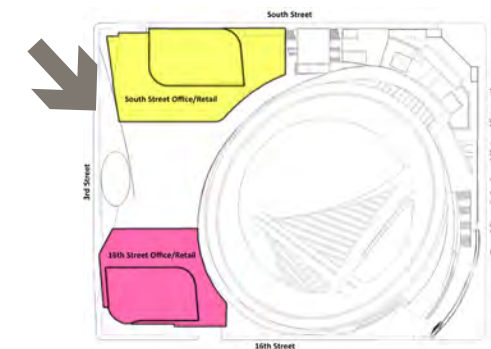
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THIRD STREET OFFICE / RETAIL
NORTH TOWER 3RD
STREET APPROACH

05.4





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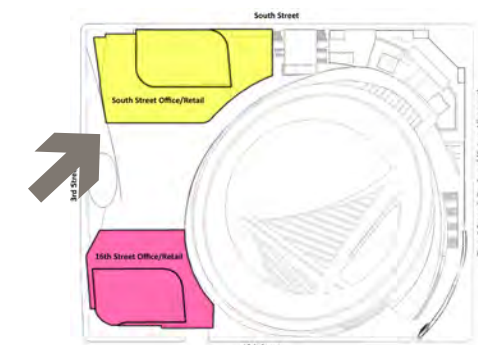
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THIRD STREET OFFICE / RETAIL
PLAZA ENTRY FROM
3RD STREET

05.5

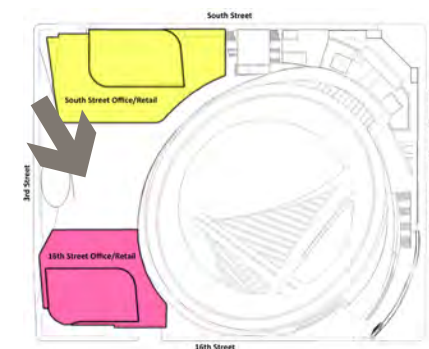




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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL
MAIN PLAZA LOOKING
EAST

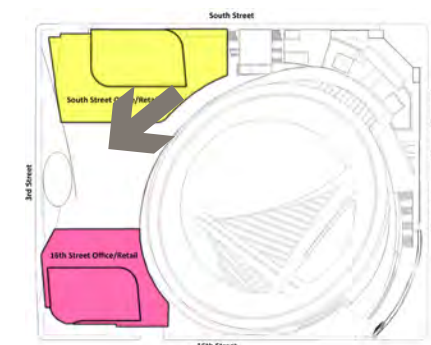
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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL
MAIN PLAZA LOOKING
WEST

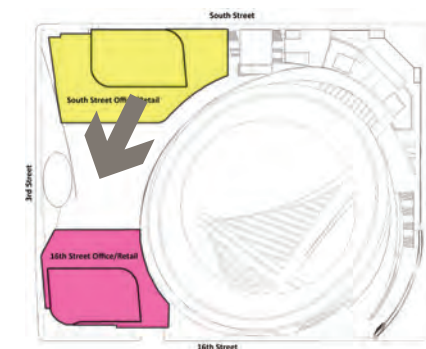
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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL
MAIN PLAZA LOOKING
SOUTH

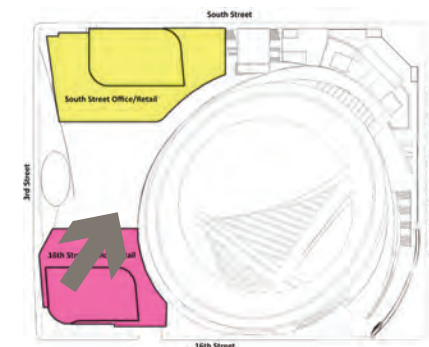
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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL
MAIN PLAZA LOOKING
NORTH

05.9



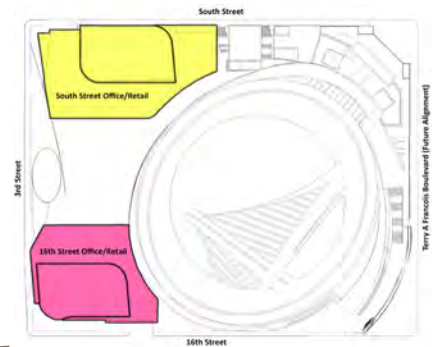
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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL
VIEW FROM 3RD AND
16TH STREETS

05.10



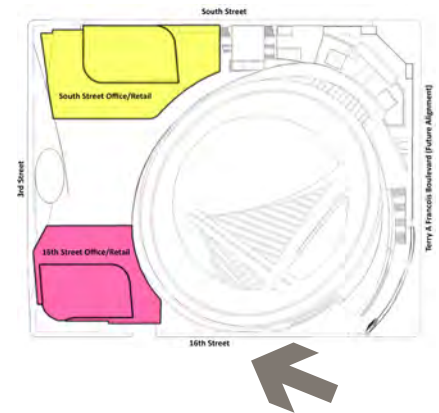


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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL
AERIAL VIEW OF ILLINOIS
STREET GARAGE ENTRY

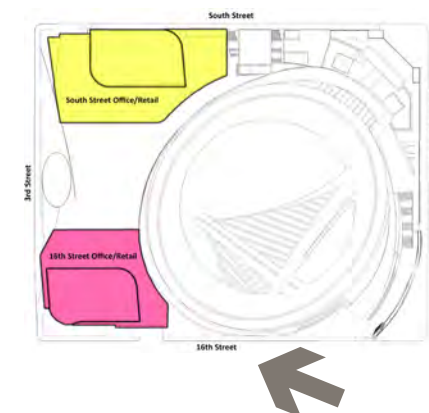




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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL
VIEW WEST FROM
16TH STREET

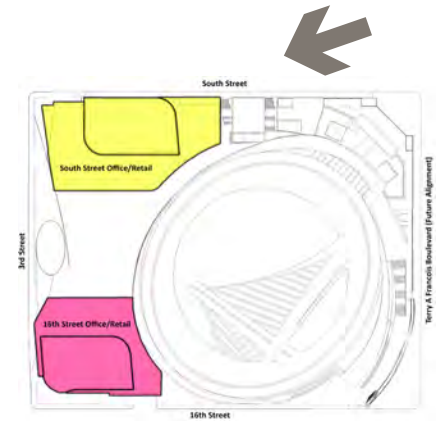
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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL
**VIEW FROM SOUTH
STREET**

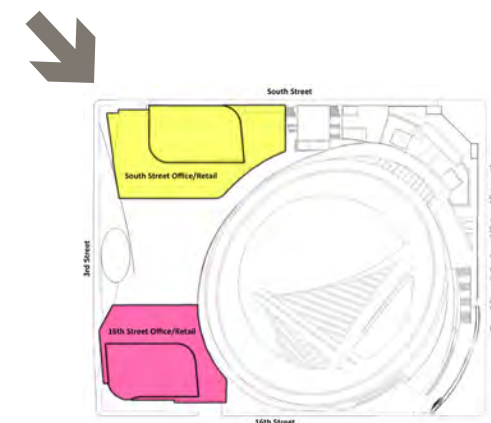
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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL
OFFICE ENTRY FROM
SOUTH STREET

05.14

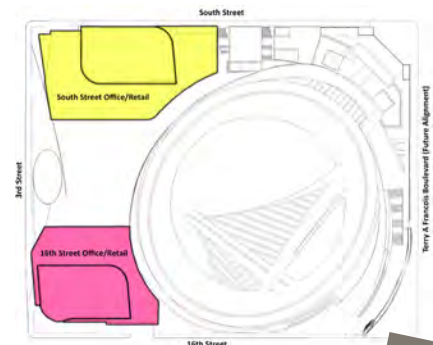


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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL
AERIAL VIEW



GARAGE PLAN



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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL

LOWER LEVEL 2 PLAN

06.1

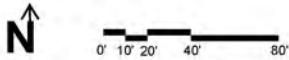
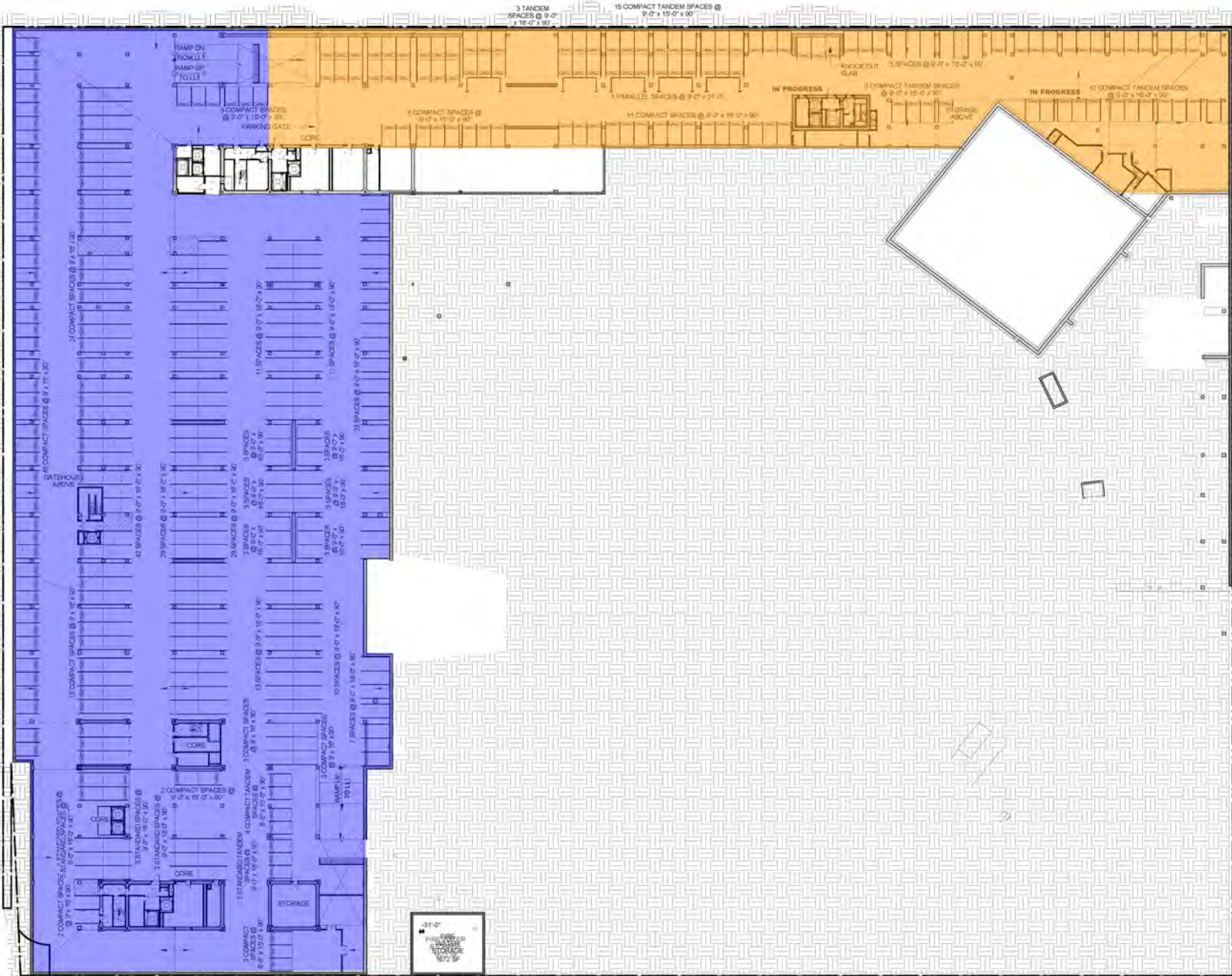
3RD STREET

SOUTH STREET

TERRY FRANCOIS BOULEVARD (FUTURE ALIGNMENT)

16TH STREET

LOWER LEVEL 2 PLAN (-20')



LEVEL B100
405 Parking Spaces

- 93 Retail/ Restaurant Spaces
- 312 Office Spaces

Note: Plans include 546 total spaces allocated to the office space in the North and South Towers. 12 additional spaces are denoted "office" spaces here because they serve ancillary commercial/ industrial uses in other buildings on-site.

GARAGE PLAN



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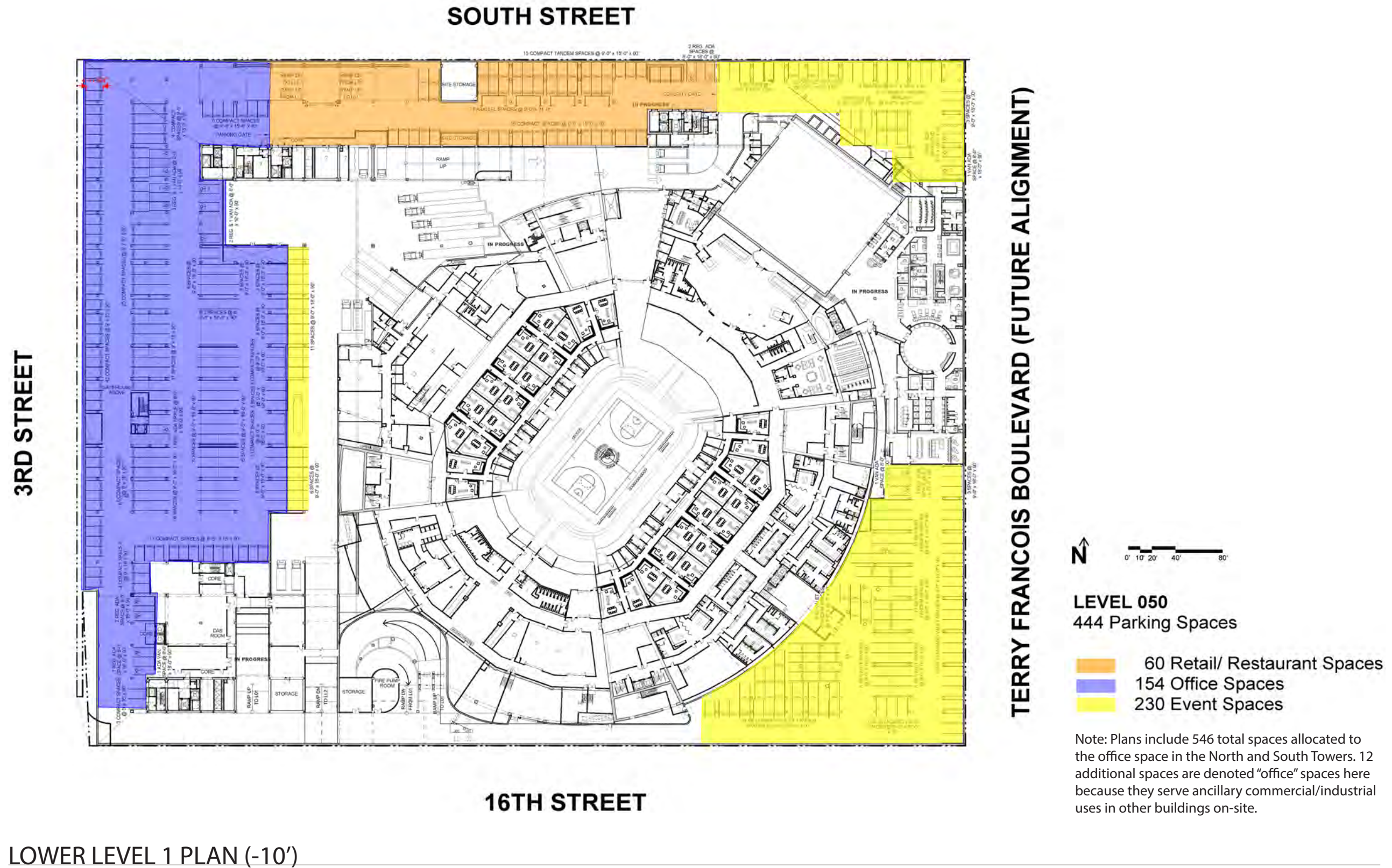
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THIRD STREET OFFICE / RETAIL

LOWER LEVEL 1 PLAN

06.2

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GARAGE PLAN



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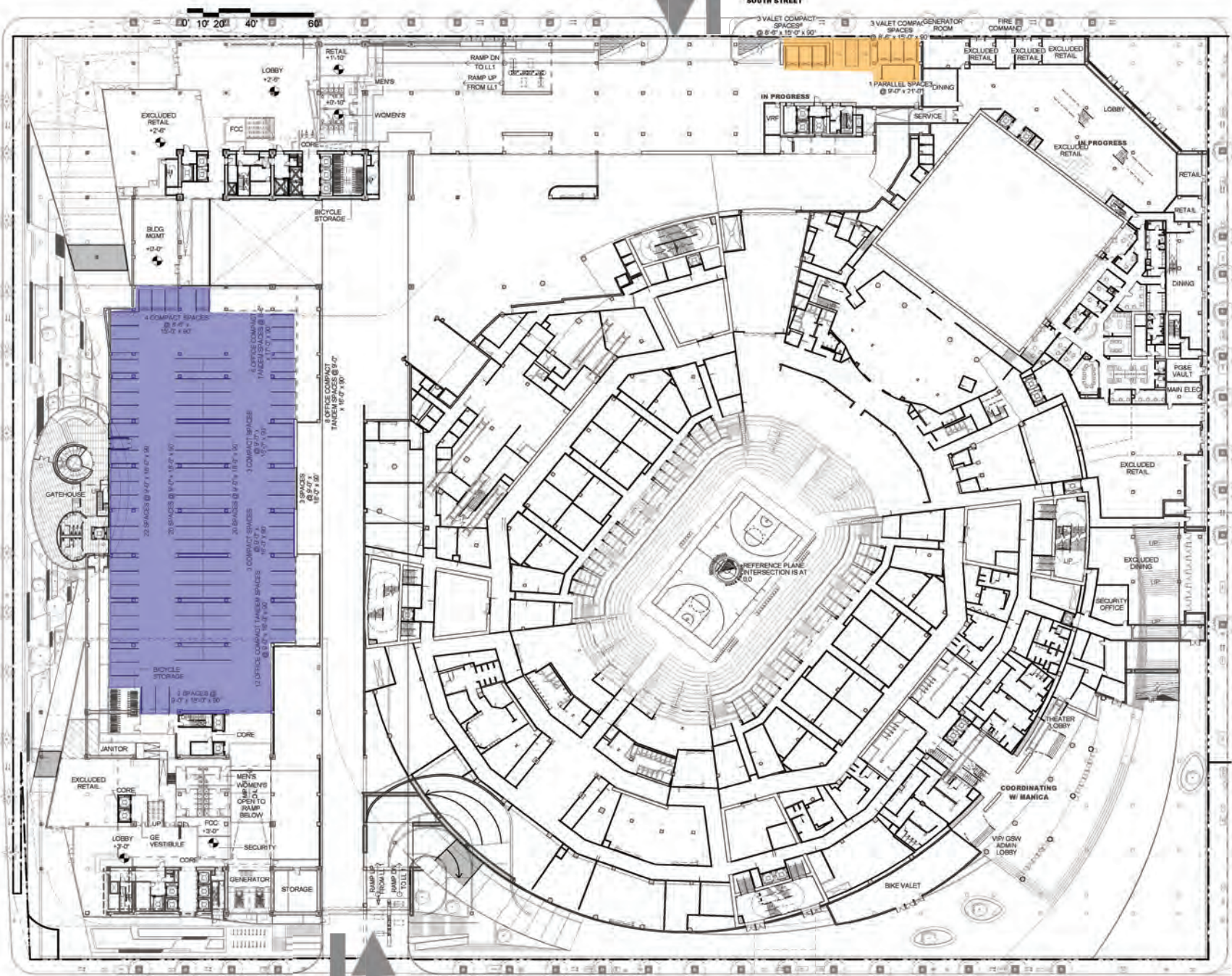
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SOUTH STREET

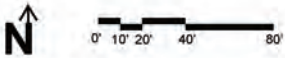
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16TH STREET

LEVEL 050 PLAN



TOTAL GARAGE
950 Spaces



LEVEL 000
101 Parking Spaces

- 9 Retail Restaurant Spaces
- 92 Office Spaces

Note: Plans include 546 total spaces allocated to the office space in the North and South Towers. 12 additional spaces are denoted "office" spaces here because they serve ancillary commercial/ industrial uses in other buildings on-site.

MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL
LEVEL 050 PLAN

NORTH TOWER PLAN



CLIENT

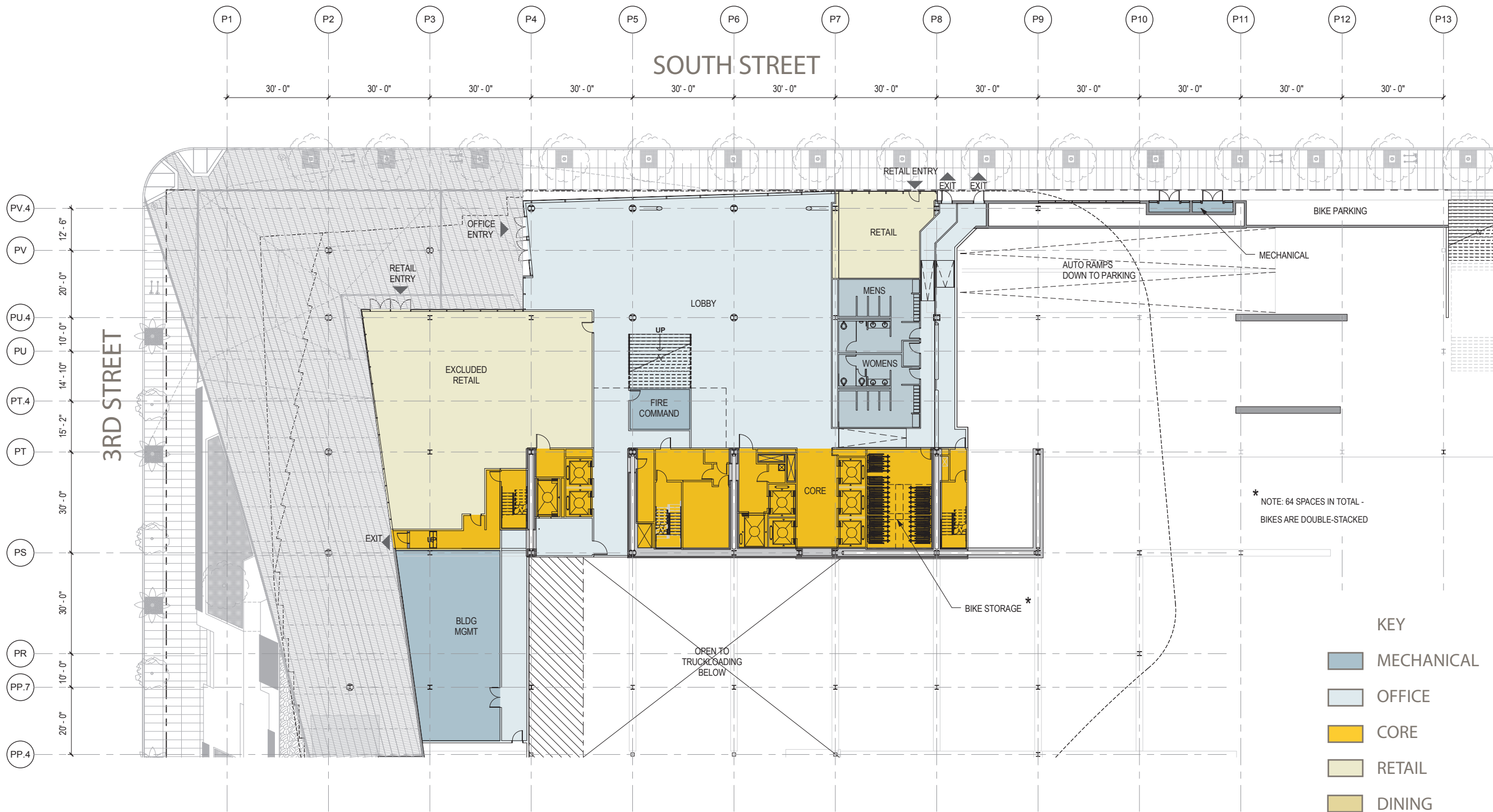
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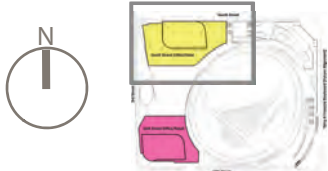
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* NOTE: 64 SPACES IN TOTAL -
BIKES ARE DOUBLE-STACKED

- KEY
- MECHANICAL
 - OFFICE
 - CORE
 - RETAIL
 - DINING



GRADE LEVEL PLAN
1/32" = 1' - 0"



MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL (North)

GRADE LEVEL PLAN

06.4

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NORTH TOWER PLAN



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PLAZA LEVEL PLAN

06.5



NORTH TOWER PLAN



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- KEY
- MECHANICAL
 - OFFICE
 - CORE
 - RETAIL
 - DINING



LEVEL 3 PLAN
1/32" = 1' - 0"

MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL (North)
LEVEL 3 PLAN

06.6

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NORTH TOWER PLAN



TYPICAL PODIUM PLAN (LEVELS 4-6)

1/32" = 1' - 0"



- KEY
- MECHANICAL
 - OFFICE
 - CORE
 - RETAIL
 - DINING



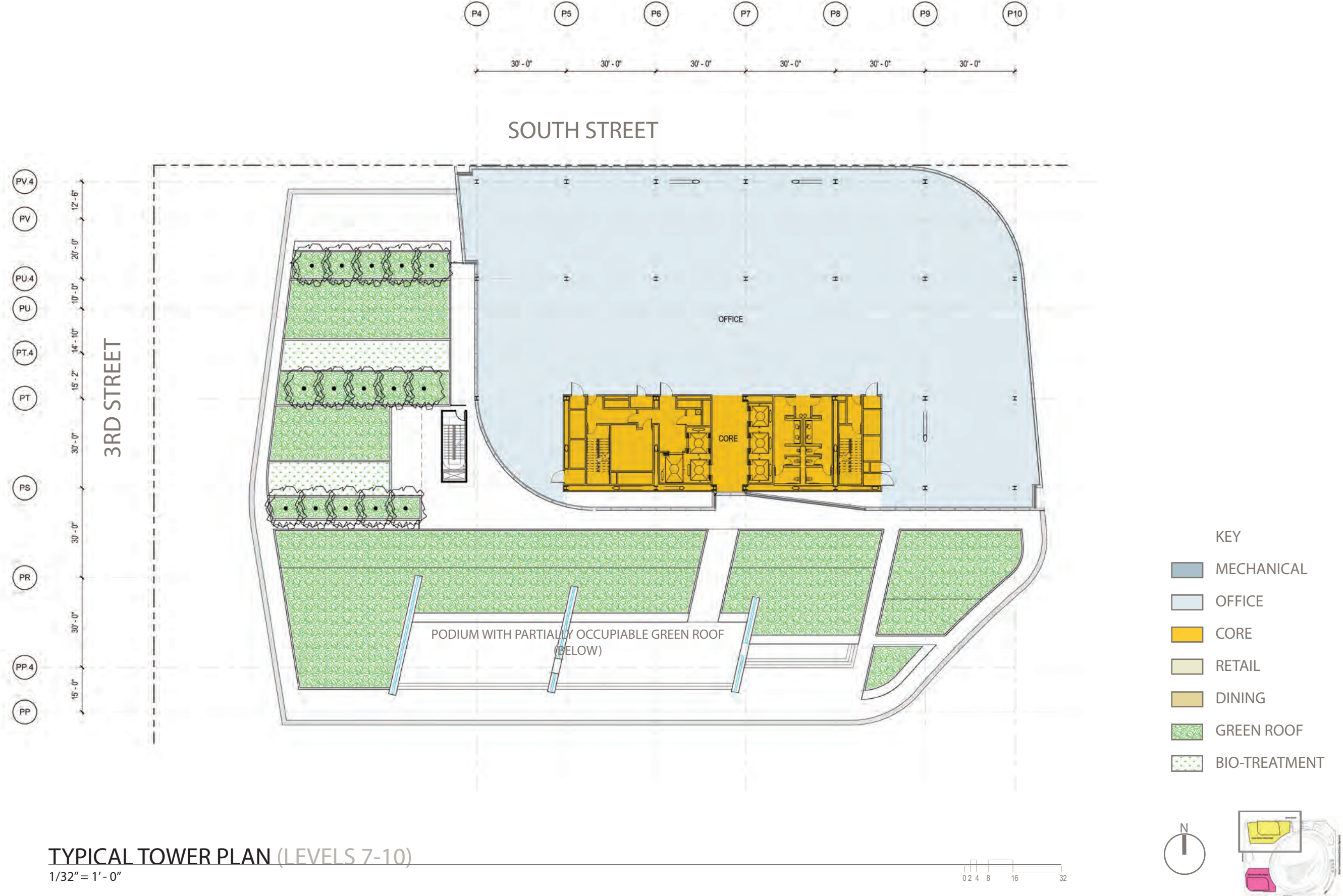
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THIRD STREET OFFICE / RETAIL (North)
TYPICAL PODIUM PLAN

NORTH TOWER PLAN



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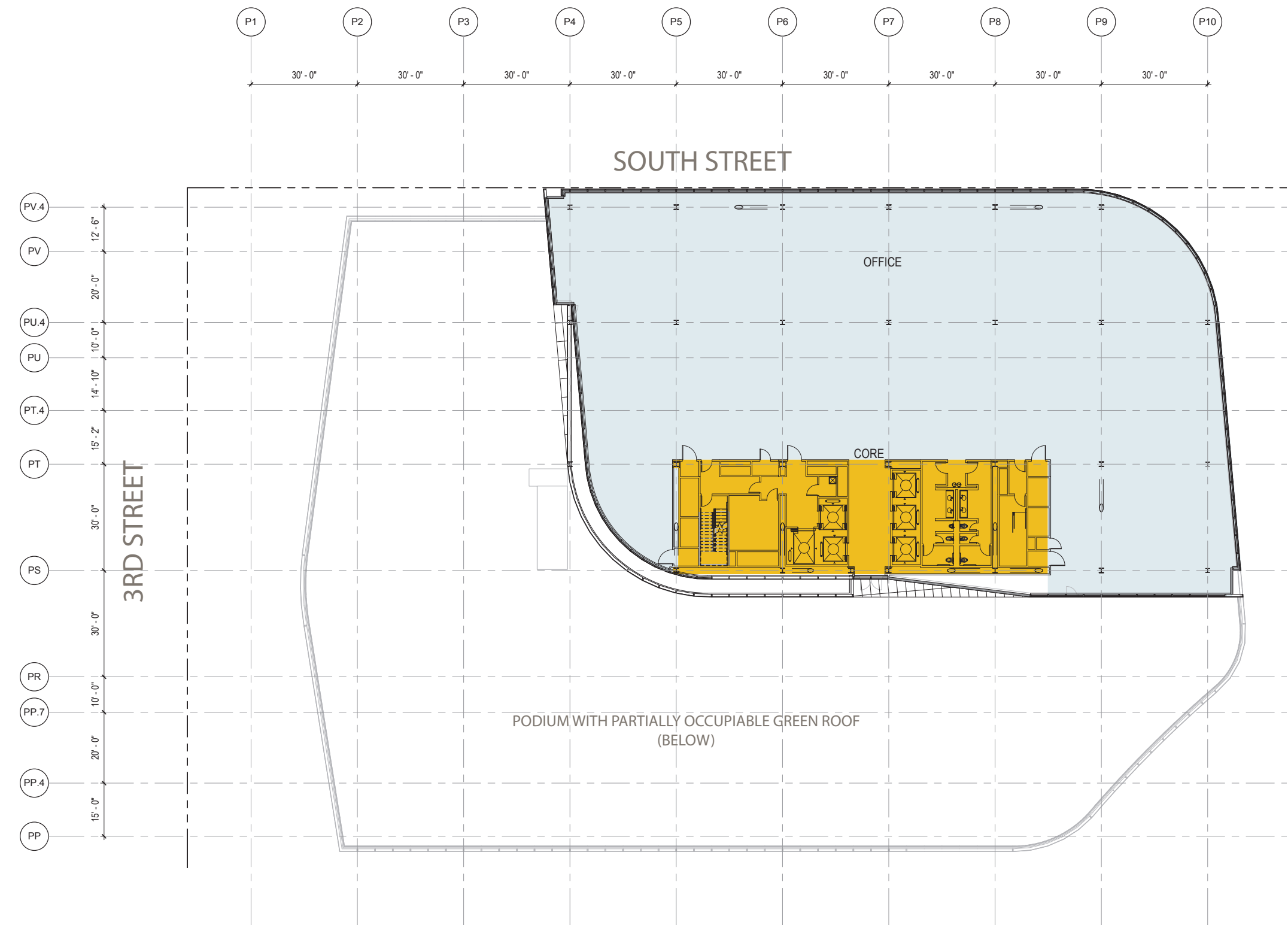
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TYPICAL TOWER PLAN

06.8

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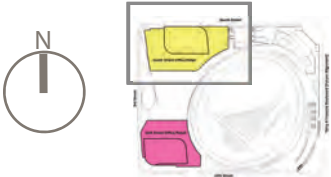
NORTH TOWER PLAN



LEVEL 11 PLAN
1/32" = 1' - 0"



- KEY
- MECHANICAL
 - OFFICE
 - CORE
 - RETAIL
 - DINING



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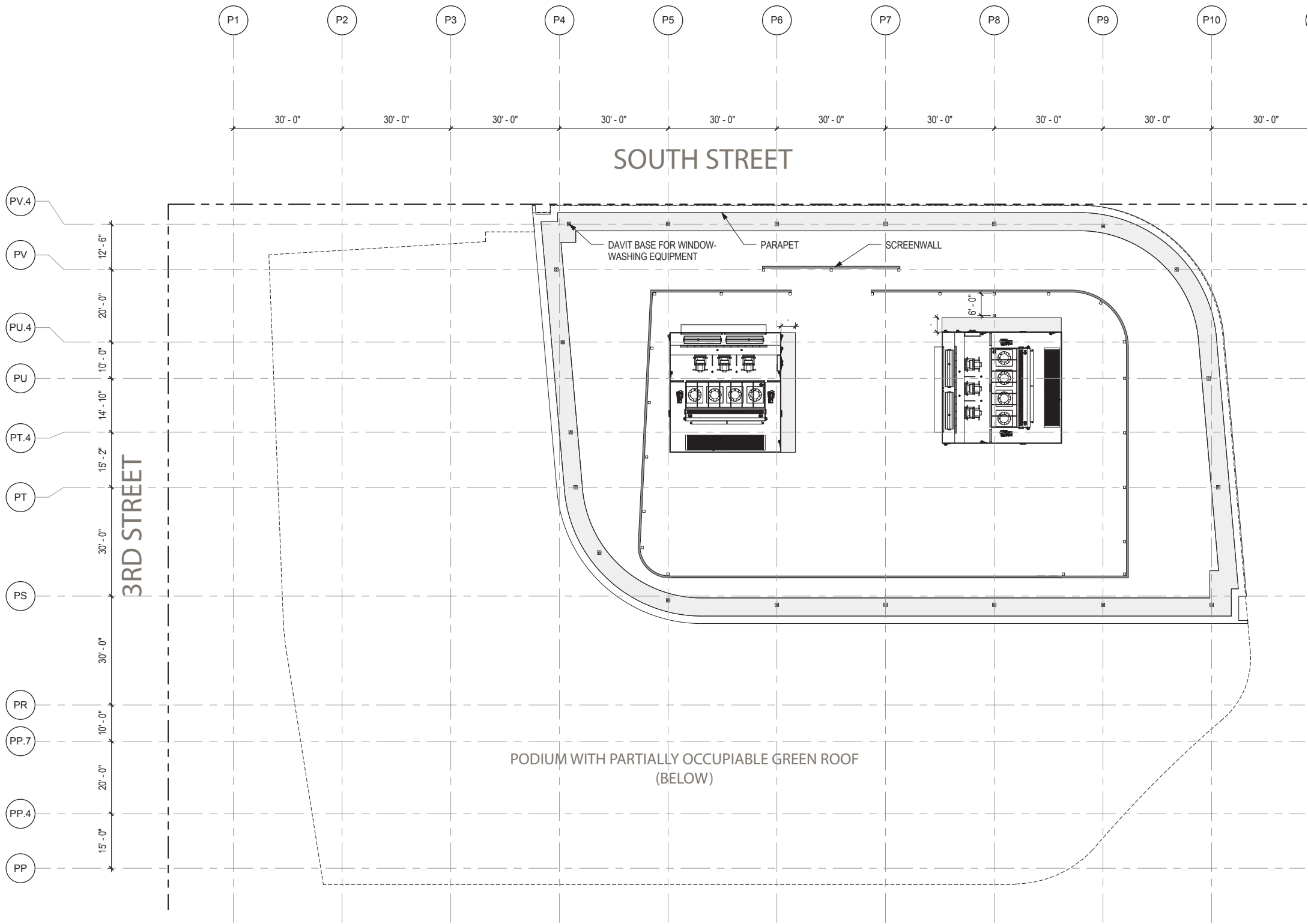
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THIRD STREET OFFICE / RETAIL (North)
LEVEL 11 PLAN

06.9

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NORTH TOWER PLAN



ROOF PLAN

1/32" = 1' - 0"



- KEY
- MECHANICAL
 - OFFICE
 - CORE
 - RETAIL
 - DINING



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THIRD STREET OFFICE / RETAIL (North)
ROOF PLAN

06.10

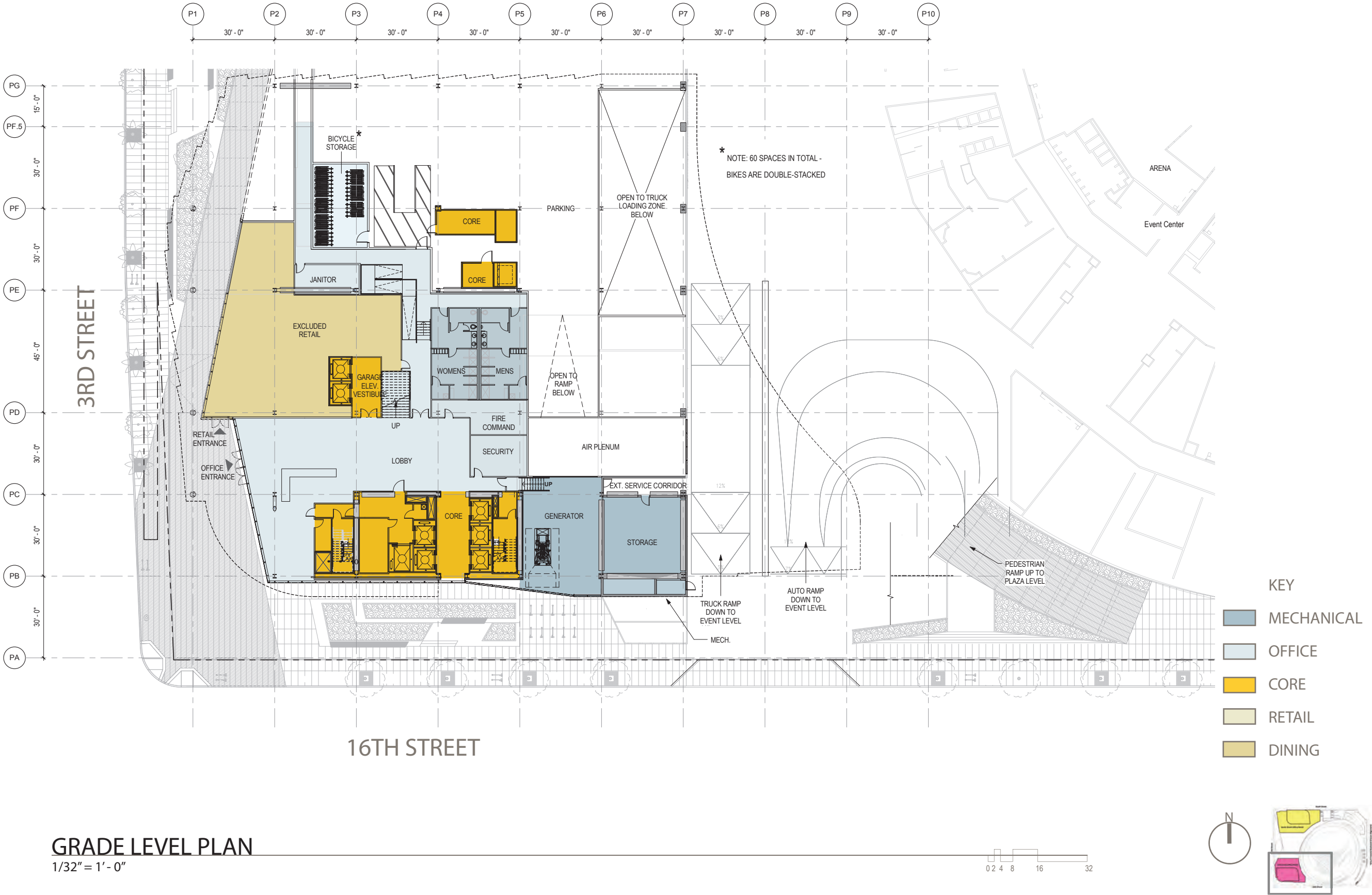
SOUTH TOWER PLAN



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THIRD STREET OFFICE / RETAIL (South)

GRADE LEVEL PLAN

06.11

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SOUTH TOWER PLAN



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PLAZA LEVEL PLAN

1/32" = 1'-0"

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THIRD STREET OFFICE / RETAIL (South)
PLAZA LEVEL PLAN

06.11

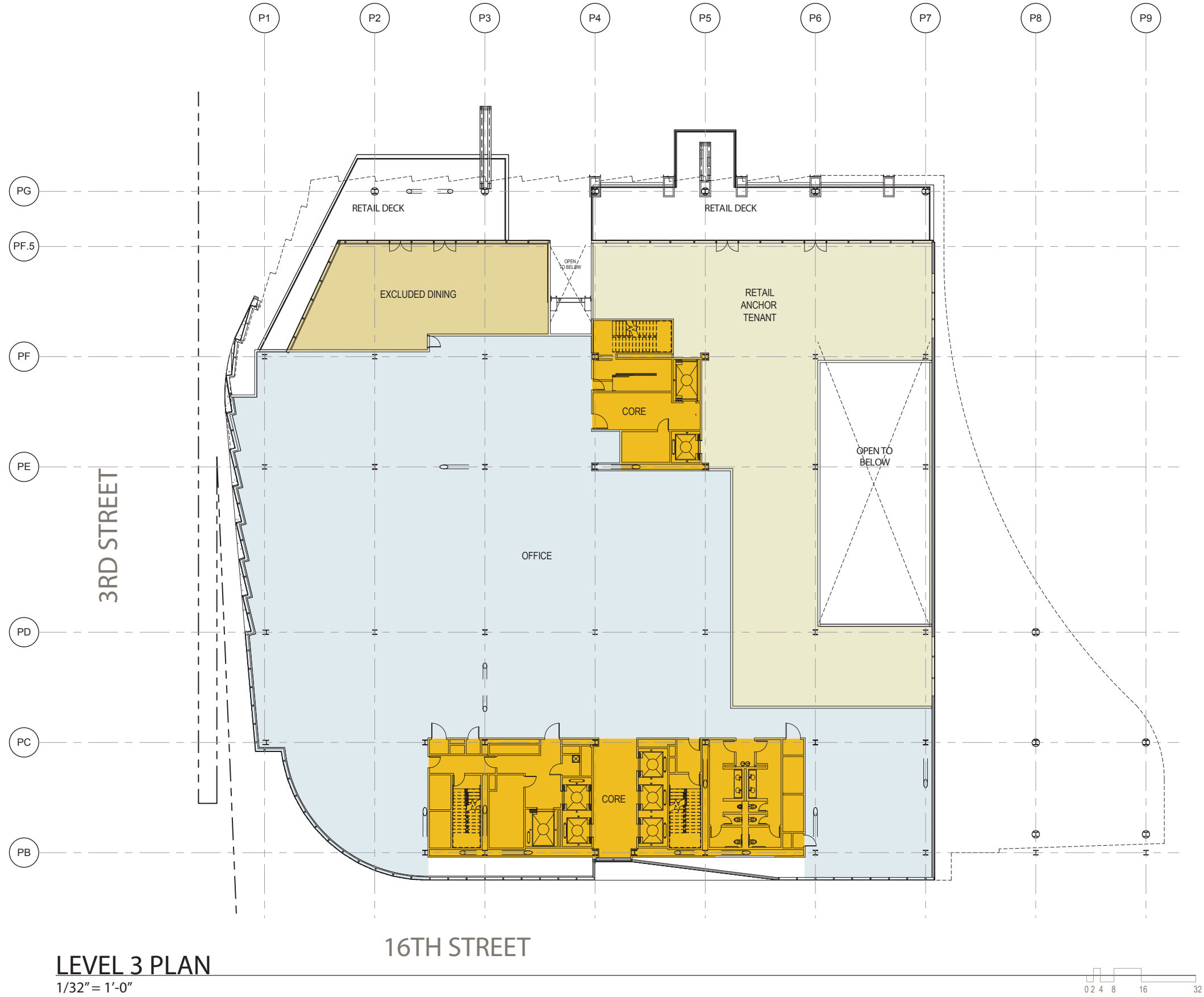
SOUTH TOWER PLAN



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KEY

- MECHANICAL
- OFFICE
- CORE
- RETAIL
- DINING

N

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THIRD STREET OFFICE / RETAIL (South)
LEVEL 3 PLAN

06.12

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SOUTH TOWER PLAN



TYPICAL PODIUM PLAN (LEVELS 4-6*)

1/32" = 1'-0"



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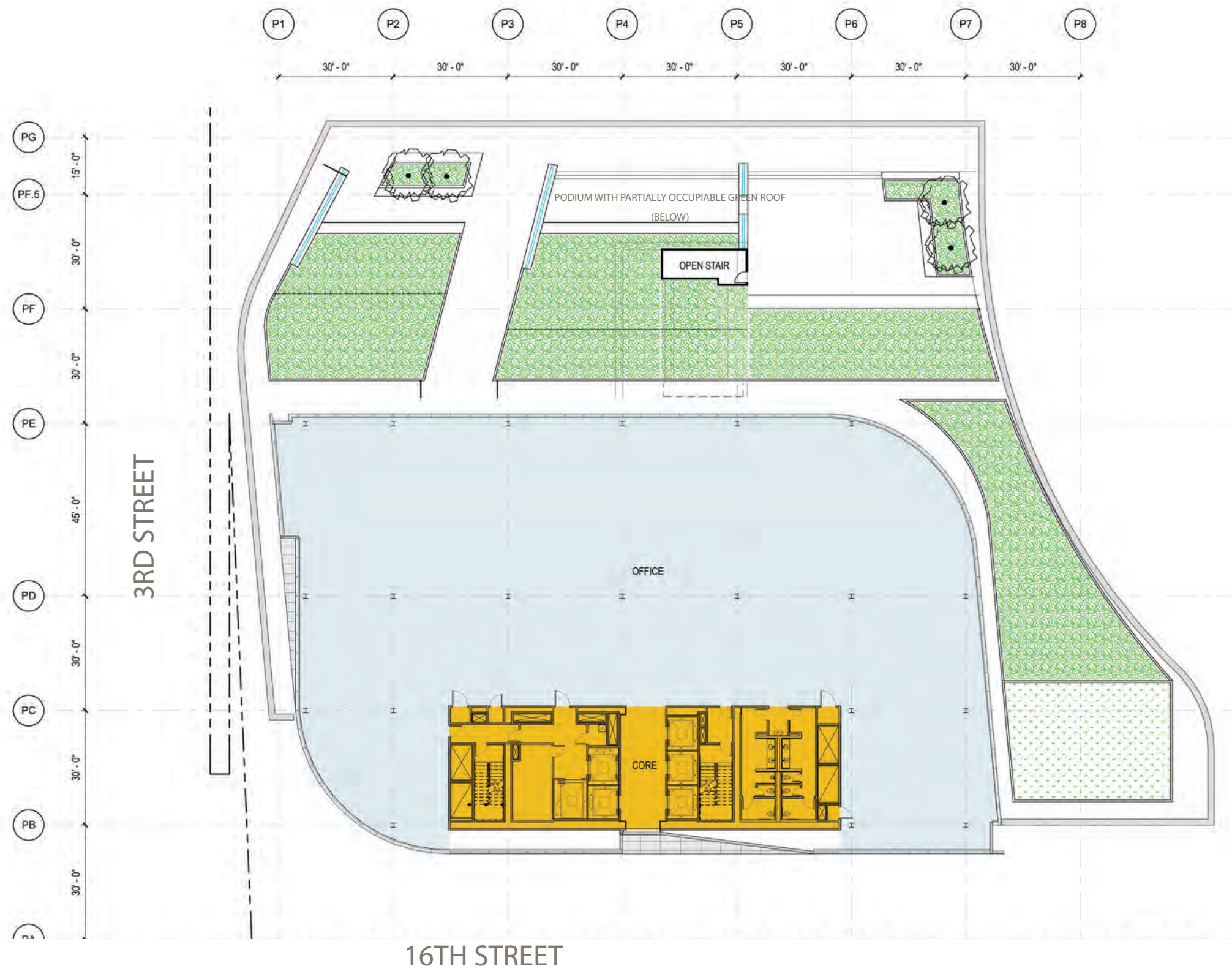
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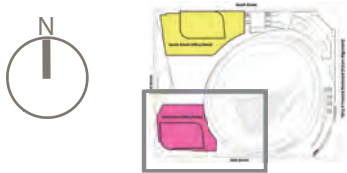
MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL (South)
TYPICAL PODIUM PLAN

06.13

SOUTH TOWER PLAN



- KEY
- MECHANICAL
 - OFFICE
 - CORE
 - RETAIL
 - DINING
 - GREEN ROOF
 - BIO-TREATMENT



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PROJECT TEAM
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THIRD STREET OFFICE / RETAIL (South)

TYPICAL TOWER PLAN

06.14

TYPICAL TOWER PLAN (LEVELS 7-10)
1/32" = 1'-0"



SOUTH TOWER PLAN



LEVEL 11 PLAN

1/32" = 1'-0"

KEY

- MECHANICAL
- OFFICE
- CORE
- RETAIL
- DINING

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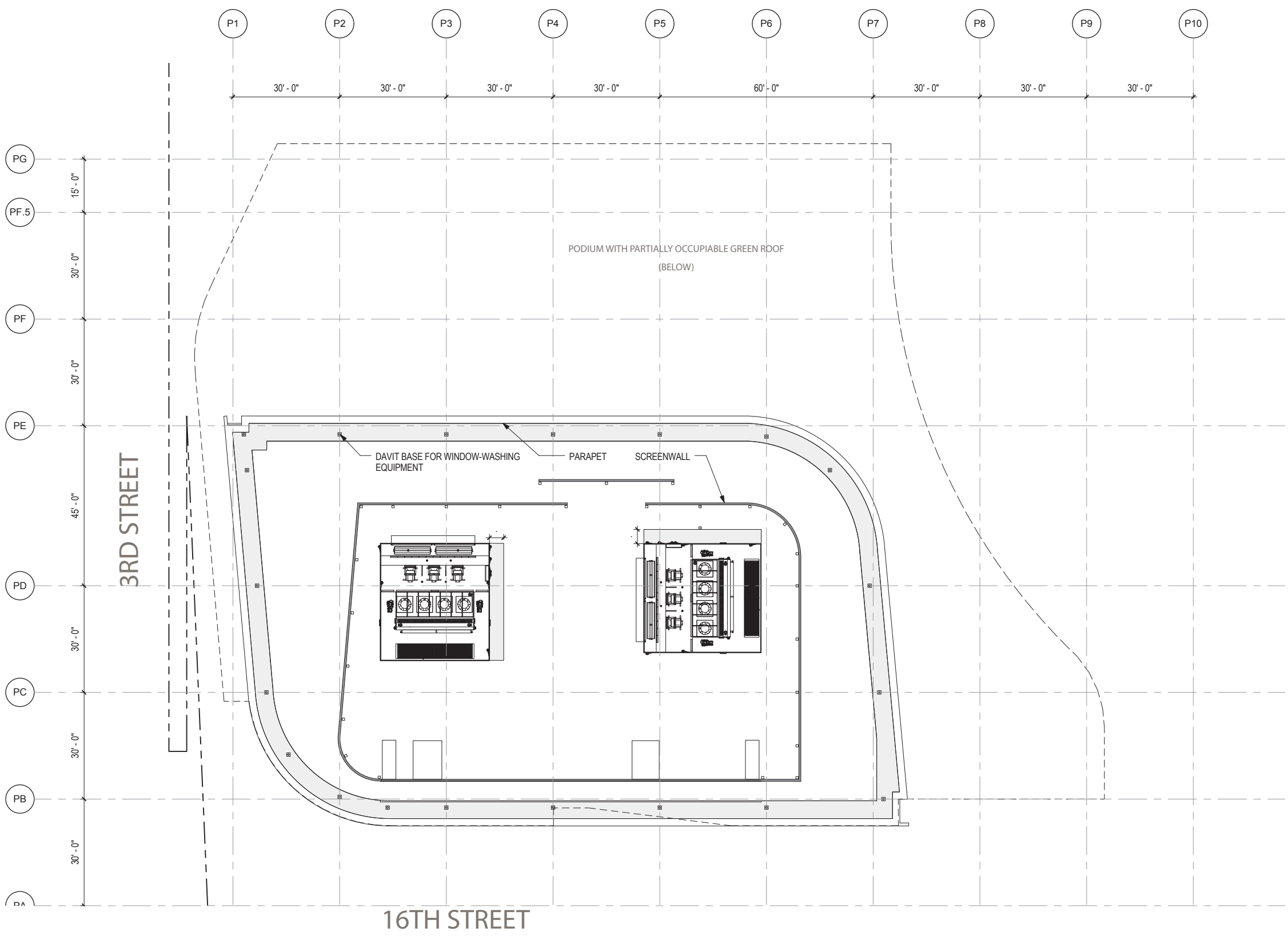
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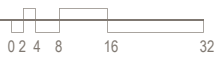
MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL (South)
LEVEL 11 PLAN

06.15

SOUTH TOWER PLAN



ROOF PLAN
1/32" = 1'-0"



KEY

MECHANICAL

OFFICE

CORE

RETAIL

DINING

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ROOF PLAN

06.16

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NORTH TOWER ELEVATION



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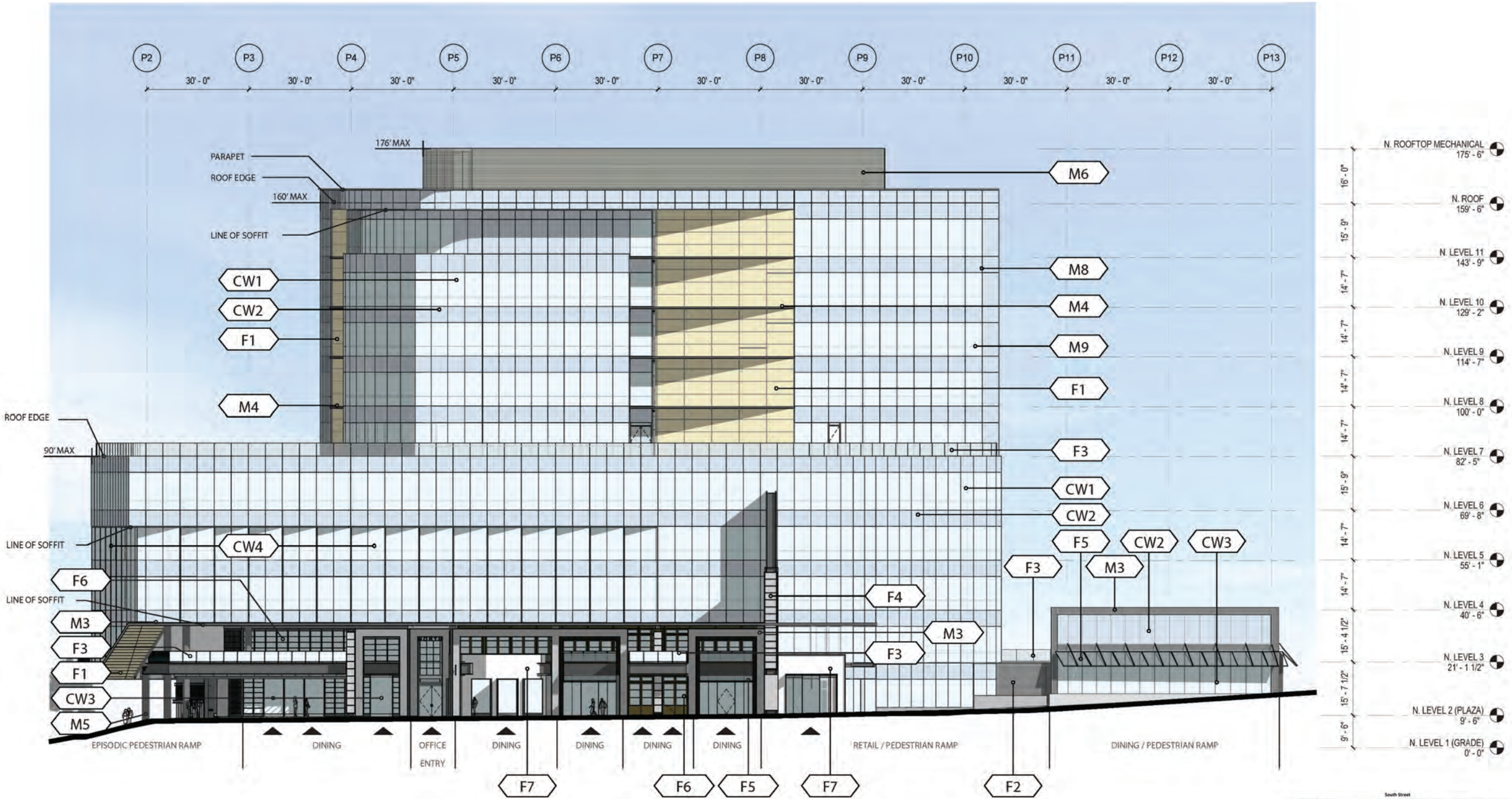
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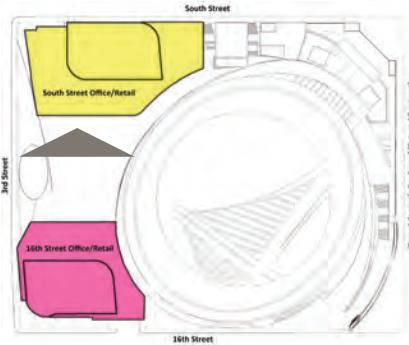
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SOUTH ELEVATION

1/32" = 1'-0"

CW1 - STRUCTURAL GLAZED CURTAINWALL - LOW E GLAZING	F1 - RESIN-COATED WOOD PANEL	M2 - PAINTED METAL CANOPY (M1 - NOT USED)
CW2 - STRUCTURAL GLAZED CURTAINWALL - FRITTED SPANDREL GLASS	F2 - GLASS FIBER REINFORCED CONCRETE	M3 - PROJECTING METAL FRAME - RETAIL ENTRY PORTAL
CW3 - STRUCTURAL GLAZED CURTAINWALL - LOW IRON GLAZING	F3 - GLASS GUARDRAIL	M4 - PAINTED ALUMINUM FINIS
CW4 - STRUCTURAL GLAZED CURTAINWALL - SERRATED CURTAINWALL	F4 - RETAIL LIGHT BOX	M5 - METAL COLUMN COVERS - MATTE CHARCOAL FINISH
	F5 - RETAIL AWNINGS (SHOWN TRANSLUCENT)	M6 - CORRUGATED/PERFORATED METAL MECHANICAL SCREEN
	F6 - ARTICULATED METAL AND GLASS STOREFRONT	M7 - DECORATIVE METAL LOUVERS
	F7 - STONE (LIGHT COLOR)	M8 - BUTT-GLAZED ALUMINUM MULLIONS
		M9 - ALUMINUM CHAIR RAIL BEYOND GLASS



MISSION BAY BLOCKS 29-32

THIRD STREET OFFICE / RETAIL (North)

SOUTH ELEVATION

07.1

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NORTH TOWER ELEVATION



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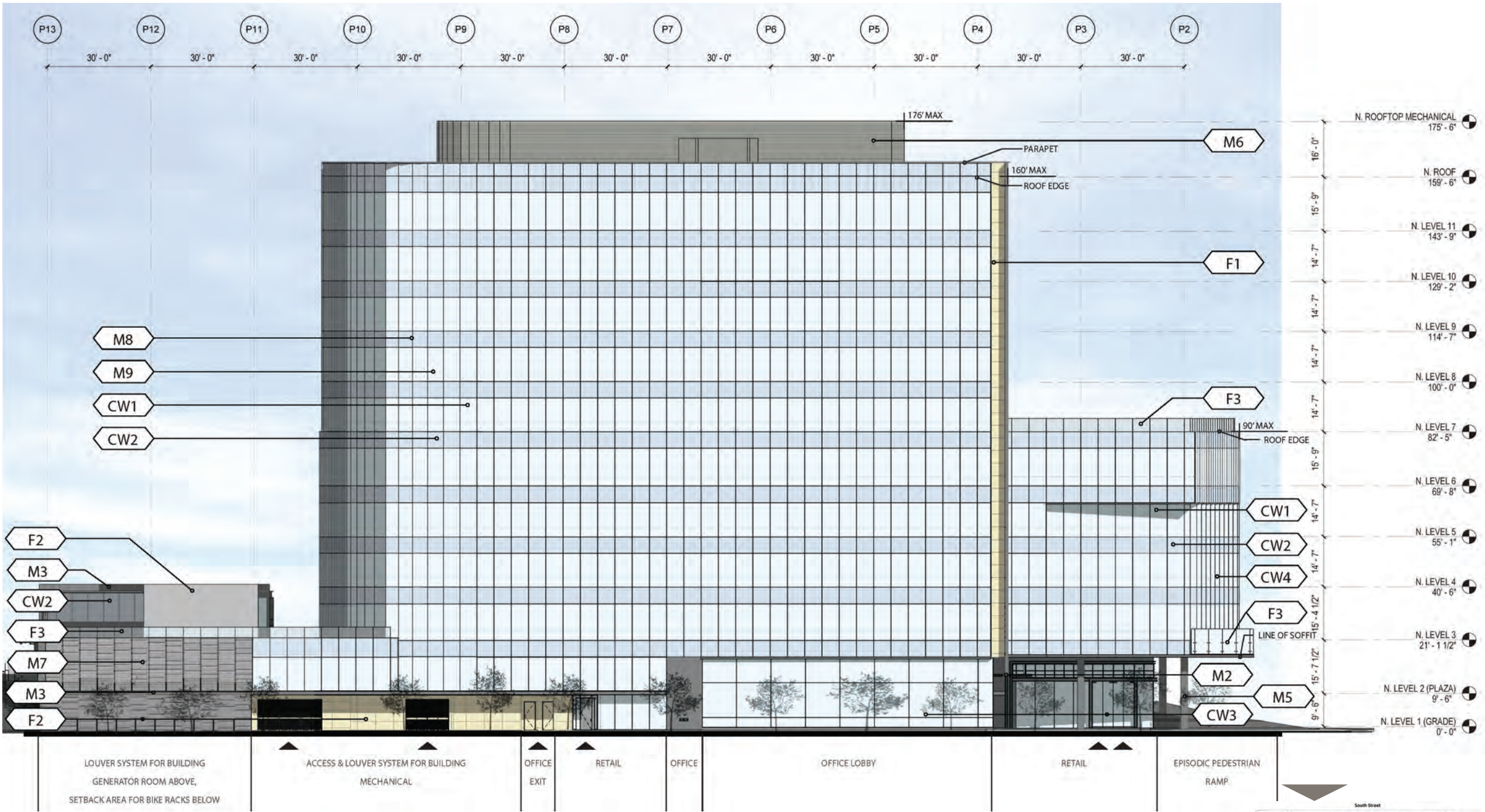
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NORTH ELEVATION

1/32" = 1'-0"

- CW1 - STRUCTURAL GLAZED CURTAINWALL - LOW E GLAZING

CW2 - STRUCTURAL GLAZED CURTAINWALL - FRITTED SPANDREL GLASS

CW3 - STRUCTURAL GLAZED CURTAINWALL - LOW IRON GLAZING

CW4 - STRUCTURAL GLAZED CURTAINWALL - SERRATED CURTAINWALL
- F1 - RESIN-COATED WOOD PANEL

F2 - GLASS FIBER REINFORCED CONCRETE

F3 - GLASS GUARDRAIL

F4 - RETAIL LIGHT BOX

F5 - RETAIL AWNINGS (SHOWN TRANSLUCENT)

F6 - ARTICULATED METAL AND GLASS STOREFONT

F7 - STONE (LIGHT COLOR)
- M2 - PAINTED METAL CANOPY (M1 - NOT USED)

M3 - PROJECTING METAL FRAME - RETAIL ENTRY PORTAL

M4 - PAINTED ALUMINUM FINIS

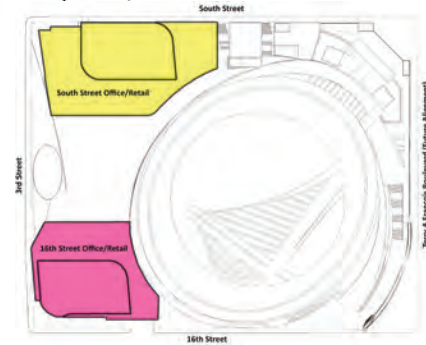
M5 - METAL COLUMN COVERS - MATTE CHARCOAL FINISH

M6 - CORRUGATED/PERFORATED METAL MECHANICAL SCREEN

M7 - DECORATIVE METAL LOUVERS

M8 - BUTT-GLAZED ALUMINUM MULLIONS

M9 - ALUMINUM CHAIR RAIL BEYOND GLASS



MISSION BAY BLOCKS 29-32

THIRD STREET OFFICE / RETAIL (North)

NORTH ELEVATION

07.2

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NORTH TOWER ELEVATION



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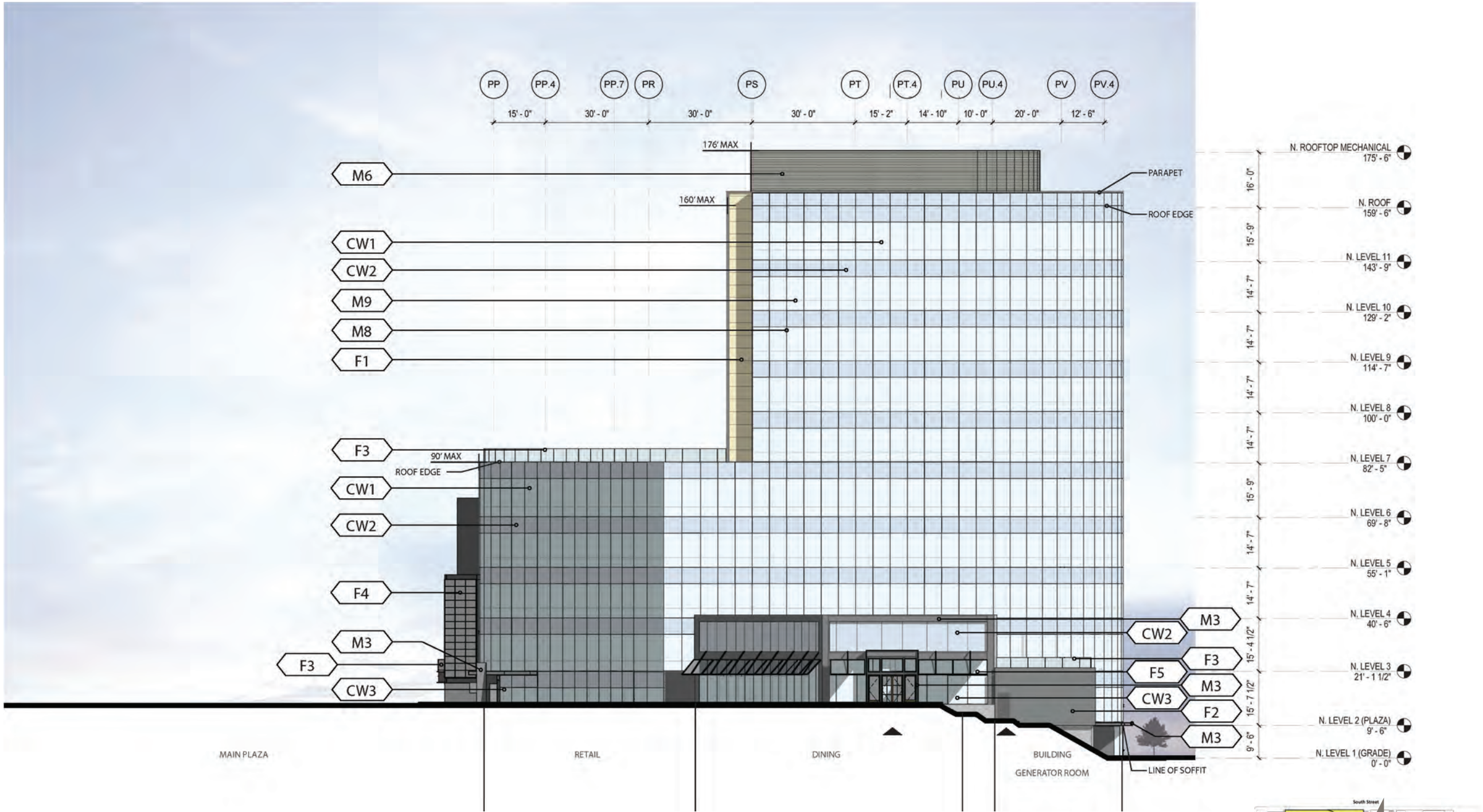
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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL (North)
EAST ELEVATION

07.3

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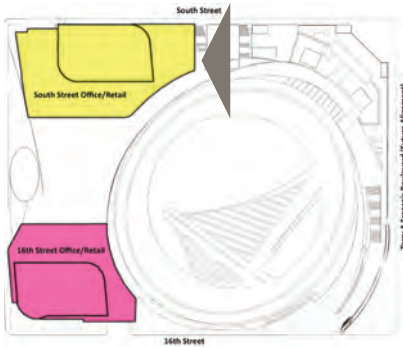
EAST ELEVATION

1/32" = 1' - 0"

CW1 - STRUCTURAL GLAZED CURTAINWALL - LOW E GLAZING
CW2 - STRUCTURAL GLAZED CURTAINWALL - FRITTED SPANDREL GLASS
CW3 - STRUCTURAL GLAZED CURTAINWALL - LOW IRON GLAZING
CW4 - STRUCTURAL GLAZED CURTAINWALL - SERRATED CURTAINWALL

F1 - RESIN-COATED WOOD PANEL
F2 - GLASS FIBER REINFORCED CONCRETE
F3 - GLASS GUARDRAIL
F4 - RETAIL LIGHT BOX
F5 - RETAIL AWNINGS (SHOWN TRANSLUCENT)
F6 - ARTICULATED METAL AND GLASS STOREFONT
F7 - STONE (LIGHT COLOR)

M2 - PAINTED METAL CANOPY (M1 - NOT USED)
M3 - PROJECTING METAL FRAME - RETAIL ENTRY PORTAL
M4 - PAINTED ALUMINUM FINIS
M5 - METAL COLUMN COVERS - MATTE CHARCOAL FINISH
M6 - CORRUGATED/PERFORATED METAL MECHANICAL SCREEN
M7 - DECORATIVE METAL LOUVERS
M8 - BUTT-GLAZED ALUMINUM MULLIONS
M9 - ALUMINUM CHAIR RAIL BEYOND GLASS



NORTH TOWER ELEVATION



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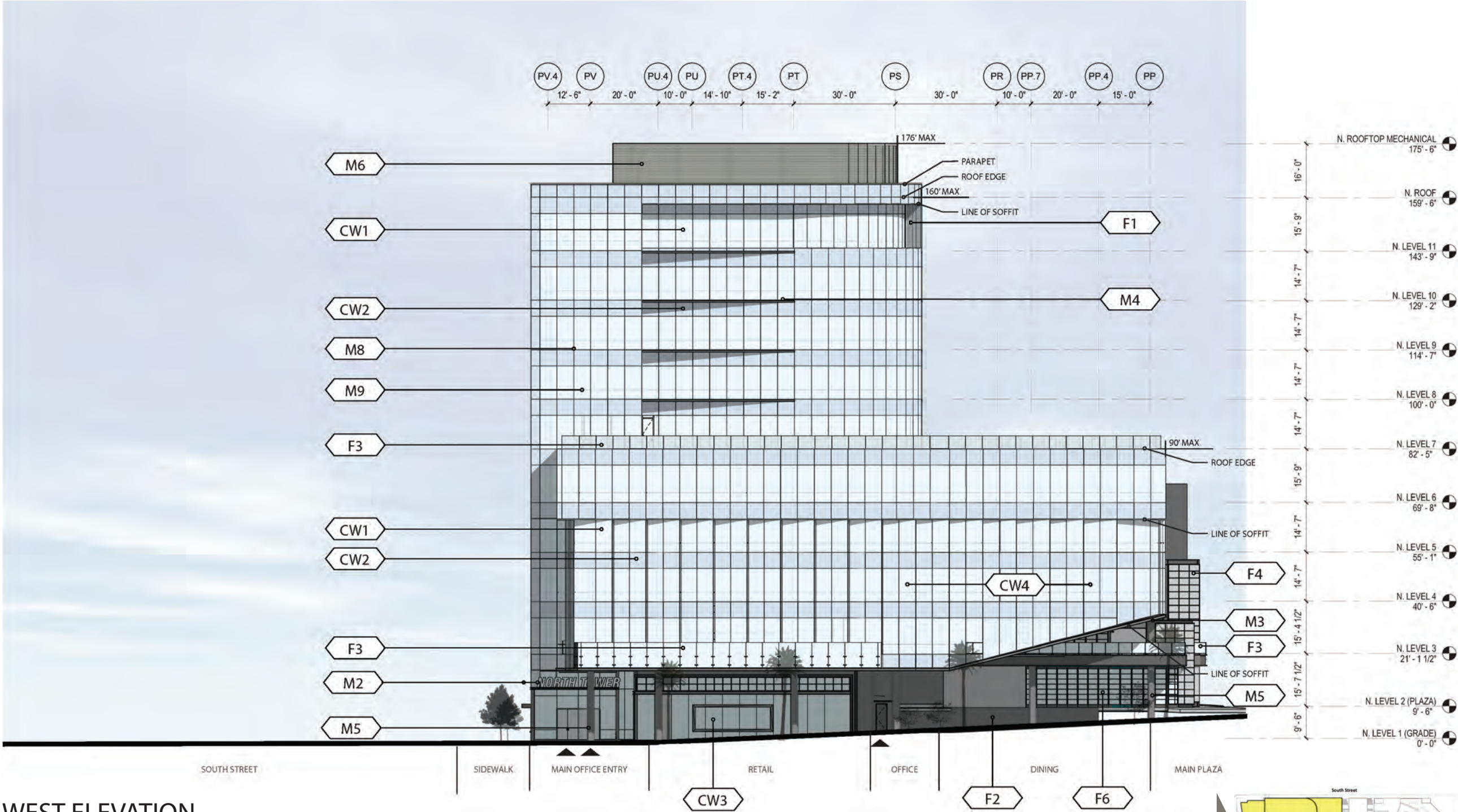
MISSION BAY BLOCKS 29-32

THIRD STREET OFFICE / RETAIL (North)

WEST ELEVATION

07.4

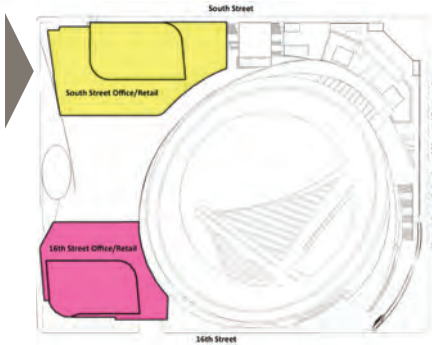
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WEST ELEVATION

1/32" = 1'-0"

CW1 - STRUCTURAL GLAZED CURTAINWALL - LOW E GLAZING	F1 - RESIN-COATED WOOD PANEL	M2 - PAINTED METAL CANOPY (M1 - NOT USED)
CW2 - STRUCTURAL GLAZED CURTAINWALL - FRITTED SPANDREL GLASS	F2 - GLASS FIBER REINFORCED CONCRETE	M3 - PROJECTING METAL FRAME - RETAIL ENTRY PORTAL
CW3 - STRUCTURAL GLAZED CURTAINWALL - LOW IRON GLAZING	F3 - GLASS GUARDRAIL	M4 - PAINTED ALUMINUM FINIS
CW4 - STRUCTURAL GLAZED CURTAINWALL - SERRATED CURTAINWALL	F4 - RETAIL LIGHT BOX	M5 - METAL COLUMN COVERS - MATTE CHARCOAL FINISH
	F5 - RETAIL AWNINGS (SHOWN TRANSLUCENT)	M6 - CORRUGATED/PERFORATED METAL MECHANICAL SCREEN
	F6 - ARTICULATED METAL AND GLASS STOREFRONT	M7 - DECORATIVE METAL LOUVERS
	F7 - STONE (LIGHT COLOR)	M8 - BUTT-GLAZED ALUMINUM MULLIONS
		M9 - ALUMINUM CHAIR RAIL BEYOND GLASS



SOUTH TOWER ELEVATION



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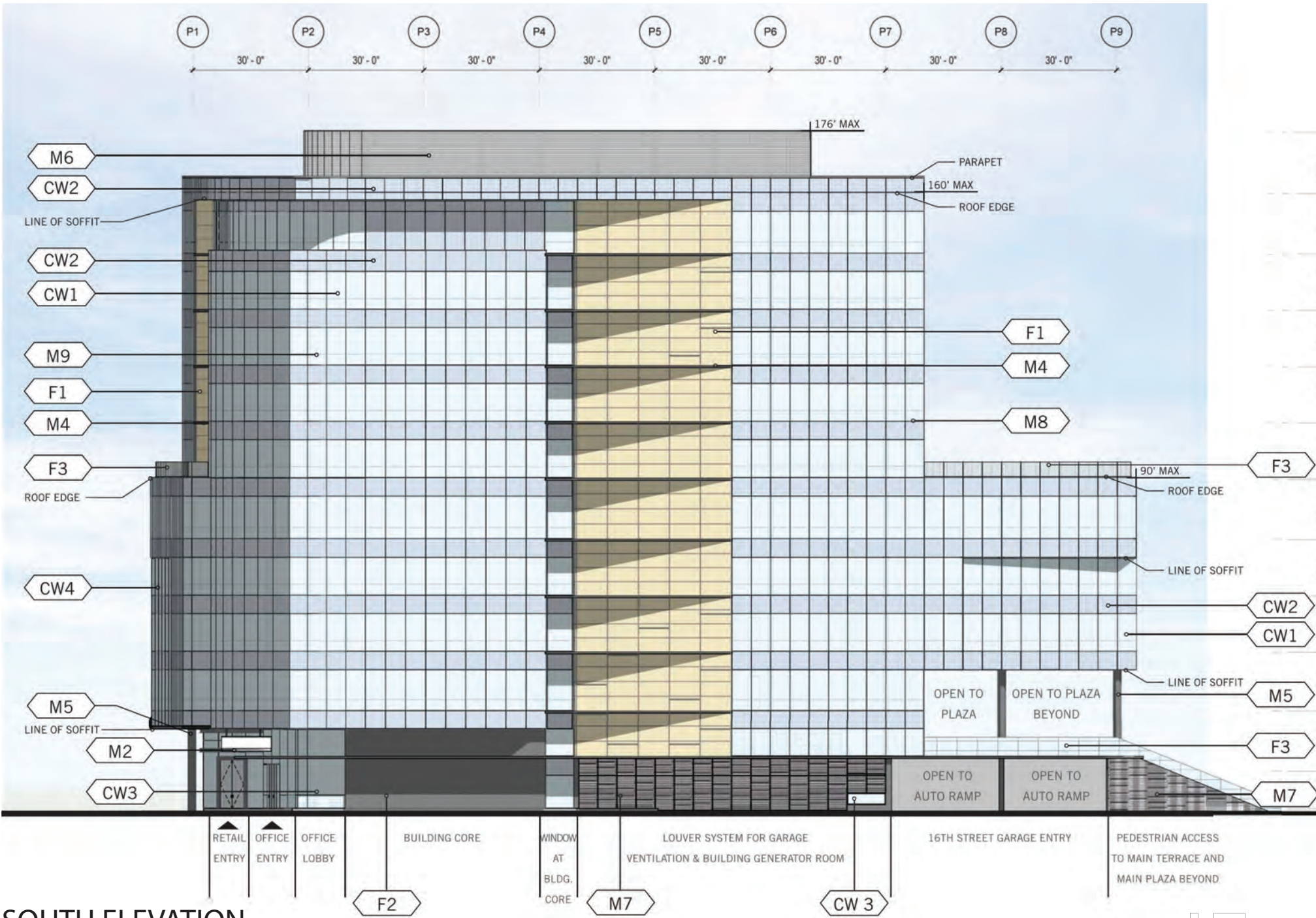
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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL (South)
SOUTH ELEVATION

07.5

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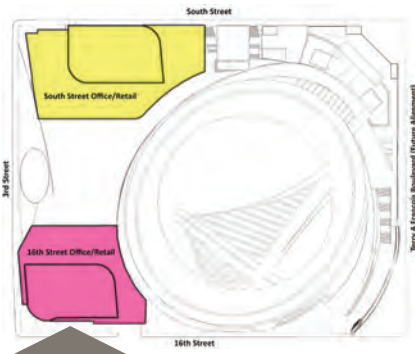
SOUTH ELEVATION

1/32" = 1' - 0"

CW1 - STRUCTURAL GLAZED CURTAINWALL - LOW E GLAZING
CW2 - STRUCTURAL GLAZED CURTAINWALL - FRITTED SPANDREL GLASS
CW3 - STRUCTURAL GLAZED CURTAINWALL - LOW IRON GLAZING
CW4 - STRUCTURAL GLAZED CURTAINWALL - SERRATED CURTAINWALL

F1 - RESIN-COATED WOOD PANEL
F2 - GLASS FIBER REINFORCED CONCRETE
F3 - GLASS GUARDRAIL
F4 - RETAIL LIGHT BOX
F5 - RETAIL AWNINGS (SHOWN TRANSLUCENT)
F6 - ARTICULATED METAL AND GLASS STOREFRONT

F7 - STONE (LIGHT COLOR)
M2 - PAINTED METAL CANOPY (M1 - NOT USED)
M3 - PROJECTING METAL FRAME - RETAIL ENTRY PORTAL
M4 - PAINTED ALUMINUM FINIS
M5 - METAL COLUMN COVERS - MATTE CHARCOAL FINISH
M6 - CORRUGATED/PERFORATED METAL MECHANICAL SCREEN
M7 - DECORATIVE METAL LOUVERS
M8 - BUTT-GLAZED ALUMINUM MULLIONS
M9 - ALUMINUM CHAIR RAIL BEYOND GLASS



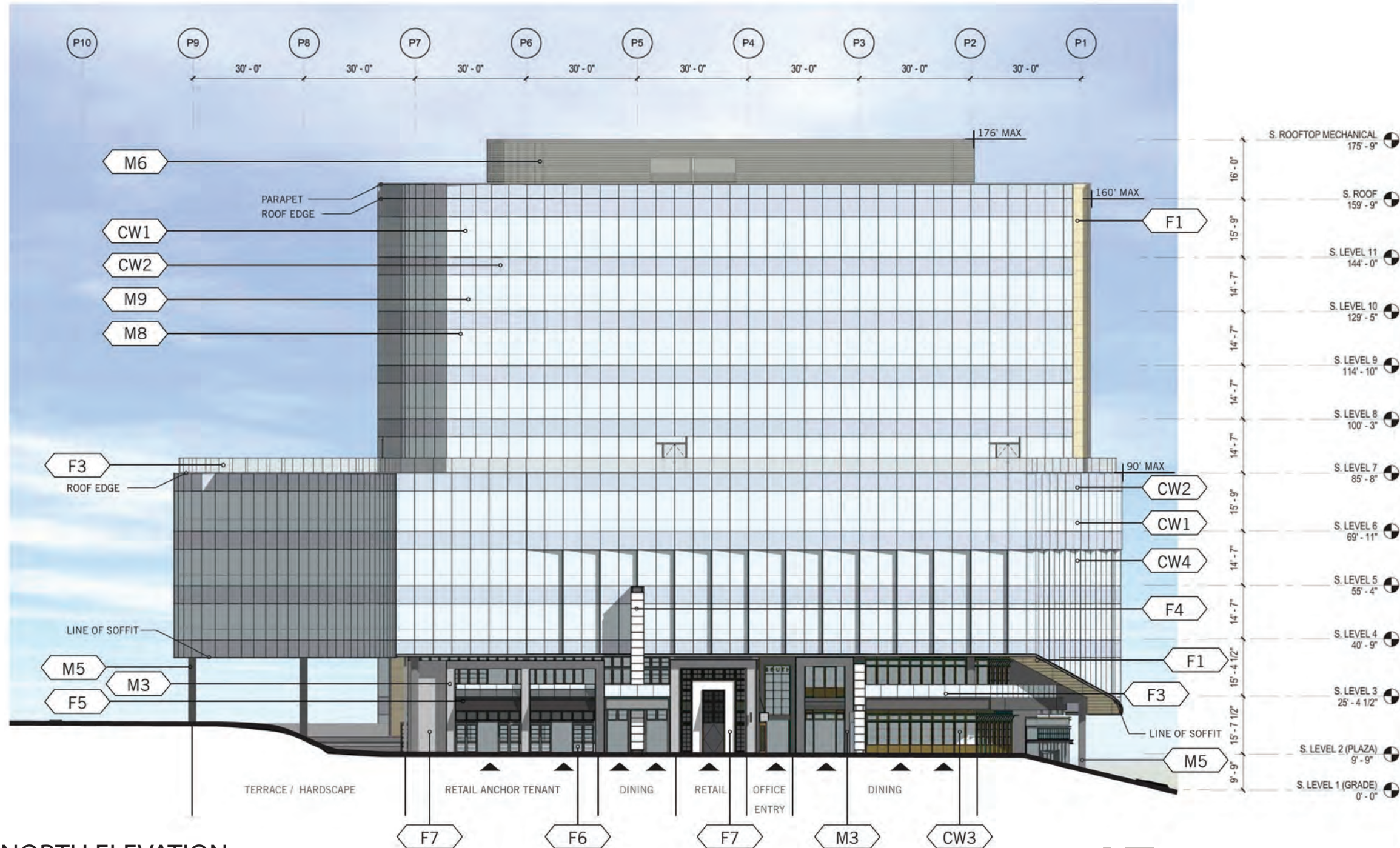
SOUTH TOWER ELEVATION



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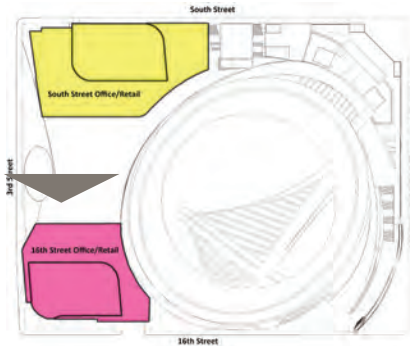
NORTH ELEVATION

1/32" = 1'-0"

CW1 - STRUCTURAL GLAZED CURTAINWALL - LOW E GLAZING
CW2 - STRUCTURAL GLAZED CURTAINWALL - FRITTED SPANDREL GLASS
CW3 - STRUCTURAL GLAZED CURTAINWALL - LOW IRON GLAZING
CW4 - STRUCTURAL GLAZED CURTAINWALL - SERRATED CURTAINWALL

F1 - RESIN-COATED WOOD PANEL
F2 - GLASS FIBER REINFORCED CONCRETE
F3 - GLASS GUARDRAIL
F4 - RETAIL LIGHT BOX
F5 - RETAIL AWNINGS (SHOWN TRANSLUCENT)
F6 - ARTICULATED METAL AND GLASS STOREFRONT

F7 - STONE (LIGHT COLOR)
M2 - PAINTED METAL CANOPY (M1 - NOT USED)
M3 - PROJECTING METAL FRAME - RETAIL ENTRY PORTAL
M4 - PAINTED ALUMINUM FINIS
M5 - METAL COLUMN COVERS - MATTE CHARCOAL FINISH
M6 - CORRUGATED/PERFORATED METAL MECHANICAL SCREEN
M7 - DECORATIVE METAL LOUVERS
M8 - BUTT-GLAZED ALUMINUM MULLIONS
M9 - ALUMINUM CHAIR RAIL BEYOND GLASS



MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL (South)
NORTH ELEVATION

07.6

SOUTH TOWER ELEVATION



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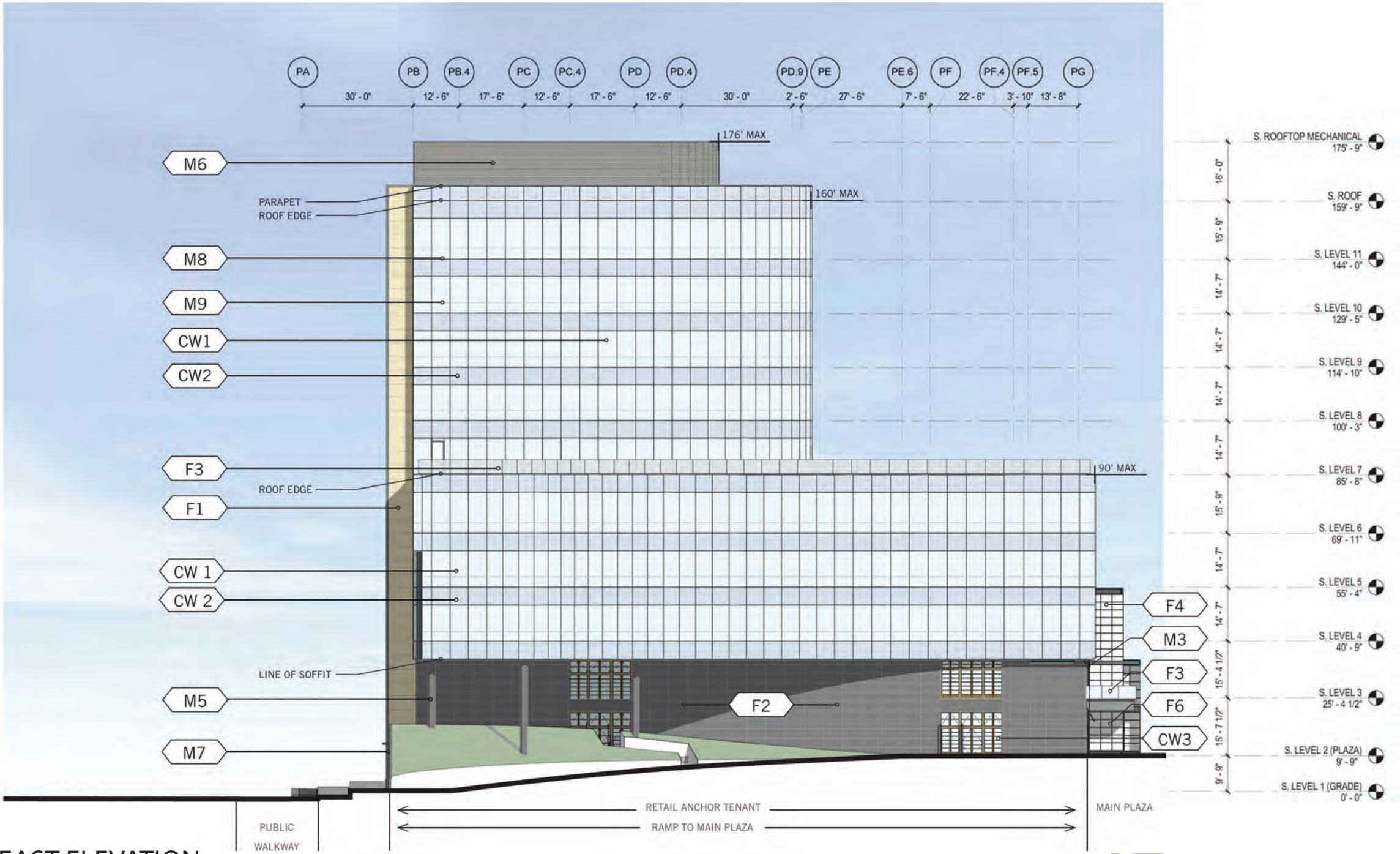
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MISSION BAY BLOCKS 29-32
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EAST ELEVATION

07.7

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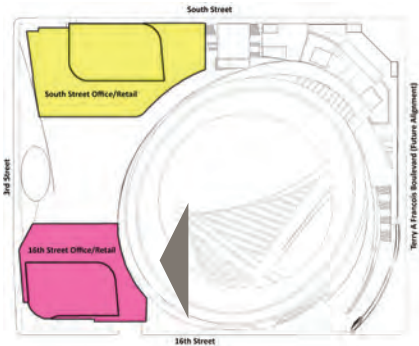
EAST ELEVATION

1/32" = 1' - 0"

CW1 - STRUCTURAL GLAZED CURTAINWALL - LOW E GLAZING
CW2 - STRUCTURAL GLAZED CURTAINWALL - FRITTED SPANDREL GLASS
CW3 - STRUCTURAL GLAZED CURTAINWALL - LOW IRON GLAZING
CW4 - STRUCTURAL GLAZED CURTAINWALL - SERRATED CURTAINWALL

F1 - RESIN-COATED WOOD PANEL
F2 - GLASS FIBER REINFORCED CONCRETE
F3 - GLASS GUARDRAIL
F4 - RETAIL LIGHT BOX
F5 - RETAIL AWNINGS (SHOWN TRANSLUCENT)
F6 - ARTICULATED METAL AND GLASS STOREFONT

F7 - STONE (LIGHT COLOR)
M2 - PAINTED METAL CANOPY (M1 - NOT USED)
M3 - PROJECTING METAL FRAME - RETAIL ENTRY PORTAL
M4 - PAINTED ALUMINUM FINIS
M5 - METAL COLUMN COVERS - MATTE CHARCOAL FINISH
M6 - CORRUGATED/PERFORATED METAL MECHANICAL SCREEN
M7 - DECORATIVE METAL LOUVERS
M8 - BUTT-GLAZED ALUMINUM MULLIONS
M9 - ALUMINUM CHAIR RAIL BEYOND GLASS



SOUTH TOWER ELEVATION



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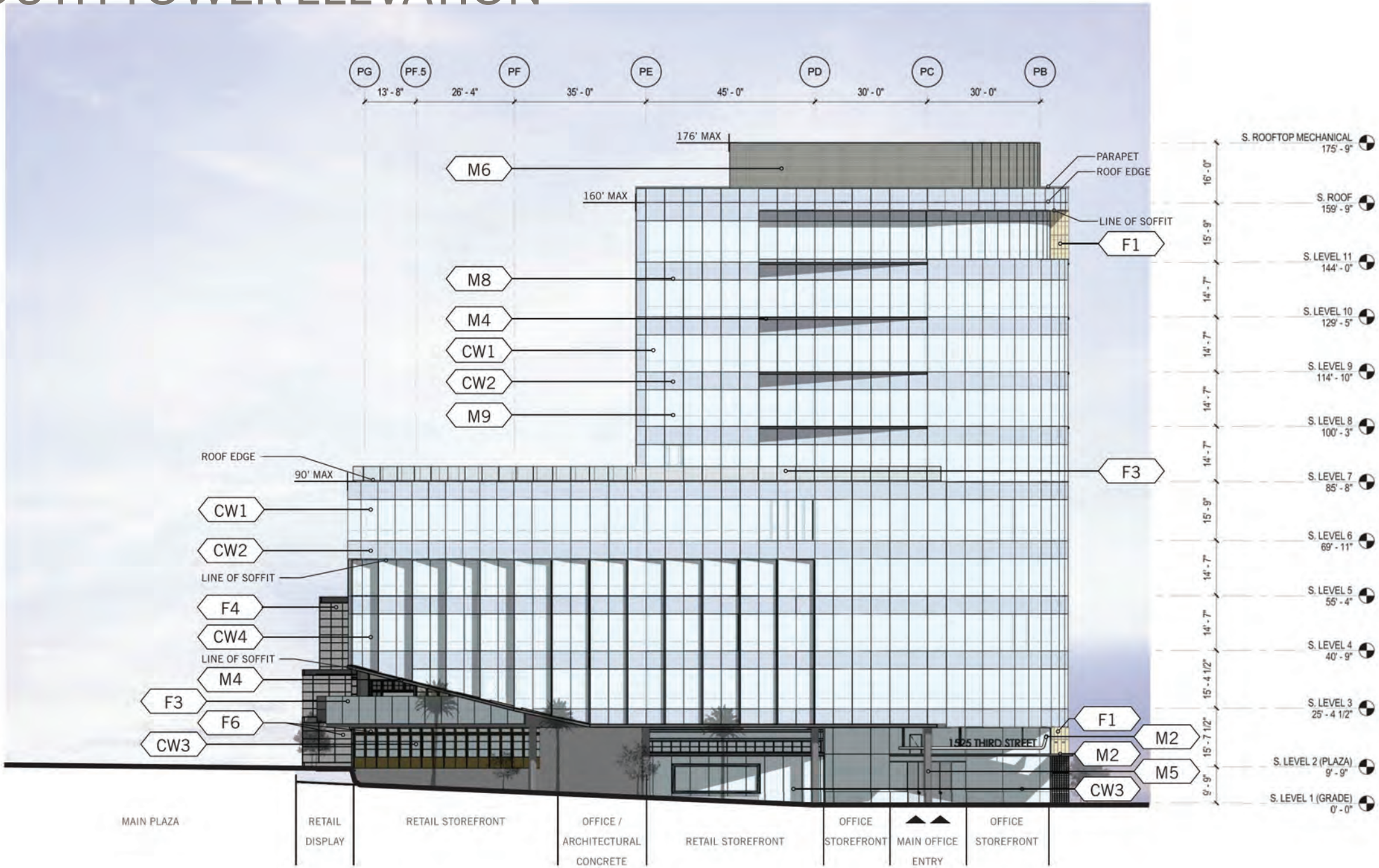
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WEST ELEVATION

07.8

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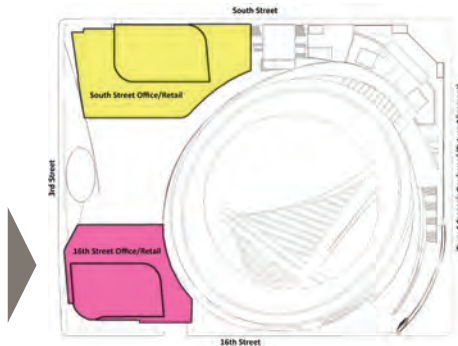
WEST ELEVATION

1/32" = 1'-0"

CW1 - STRUCTURAL GLAZED CURTAINWALL - LOW E GLAZING
CW2 - STRUCTURAL GLAZED CURTAINWALL - FRITTED SPANDREL GLASS
CW3 - STRUCTURAL GLAZED CURTAINWALL - LOW IRON GLAZING
CW4 - STRUCTURAL GLAZED CURTAINWALL - SERRATED CURTAINWALL

F1 - RESIN-COATED WOOD PANEL
F2 - GLASS FIBER REINFORCED CONCRETE
F3 - GLASS GUARDRAIL
F4 - RETAIL LIGHT BOX
F5 - RETAIL AWNINGS (SHOWN TRANSLUCENT)
F6 - ARTICULATED METAL AND GLASS STOREFRONT

F7 - STONE (LIGHT COLOR)
M2 - PAINTED METAL CANOPY (M1 - NOT USED)
M3 - PROJECTING METAL FRAME - RETAIL ENTRY PORTAL
M4 - PAINTED ALUMINUM FINIS
M5 - METAL COLUMN COVERS - MATTE CHARCOAL FINISH
M6 - CORRUGATED/PERFORATED METAL MECHANICAL SCREEN
M7 - DECORATIVE METAL LOUVERS
M8 - BUTT-GLAZED ALUMINUM MULLIONS
M9 - ALUMINUM CHAIR RAIL BEYOND GLASS



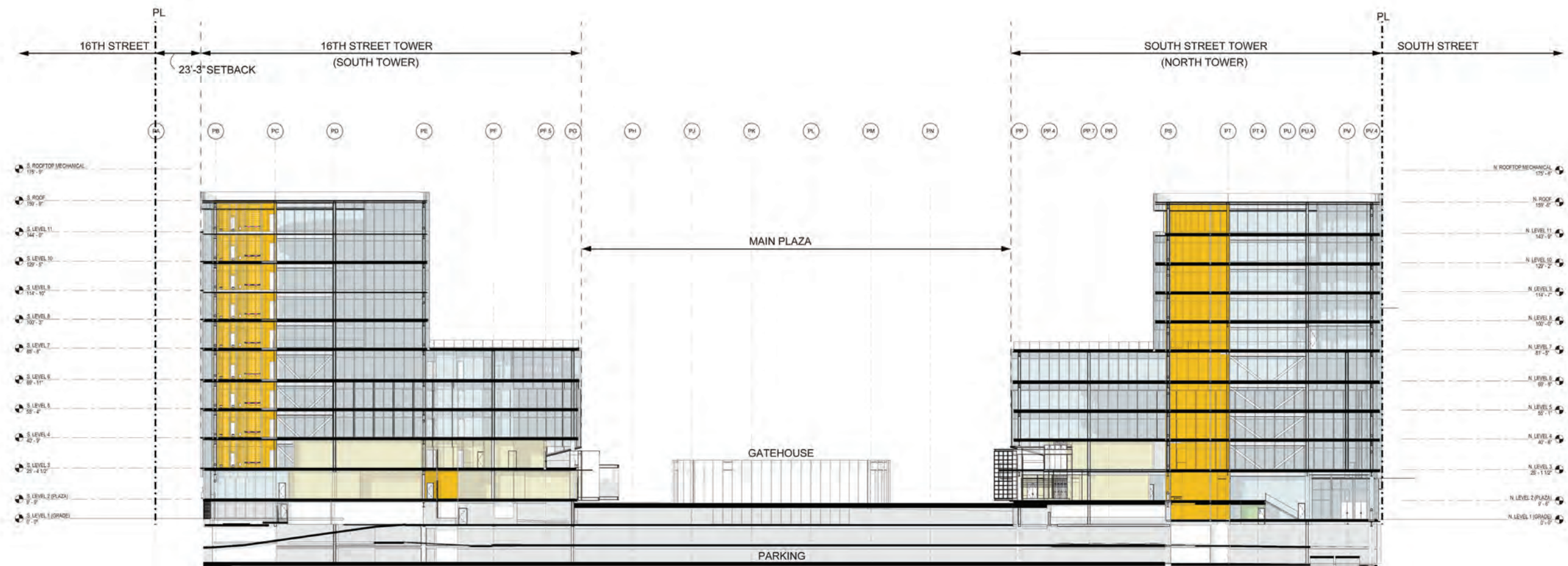
SITE SECTION



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KEY

MECHANICAL

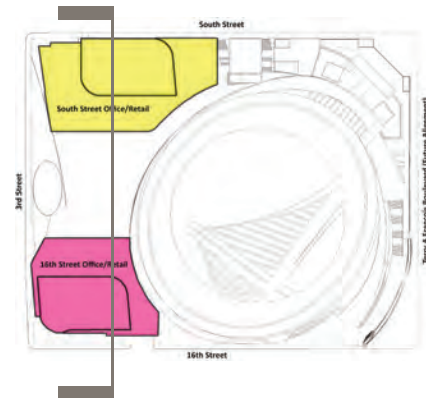
OFFICE

CORE

RETAIL

DINING

SITE SECTION
1/64" = 1'-0"



MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL
SITE SECTION

08.1

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NORTH TOWER SECTION



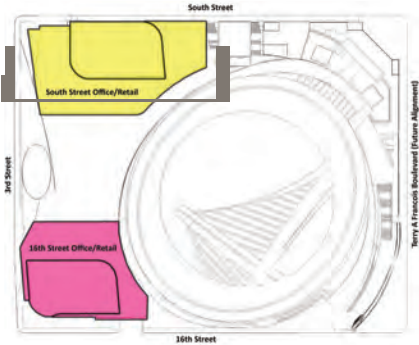
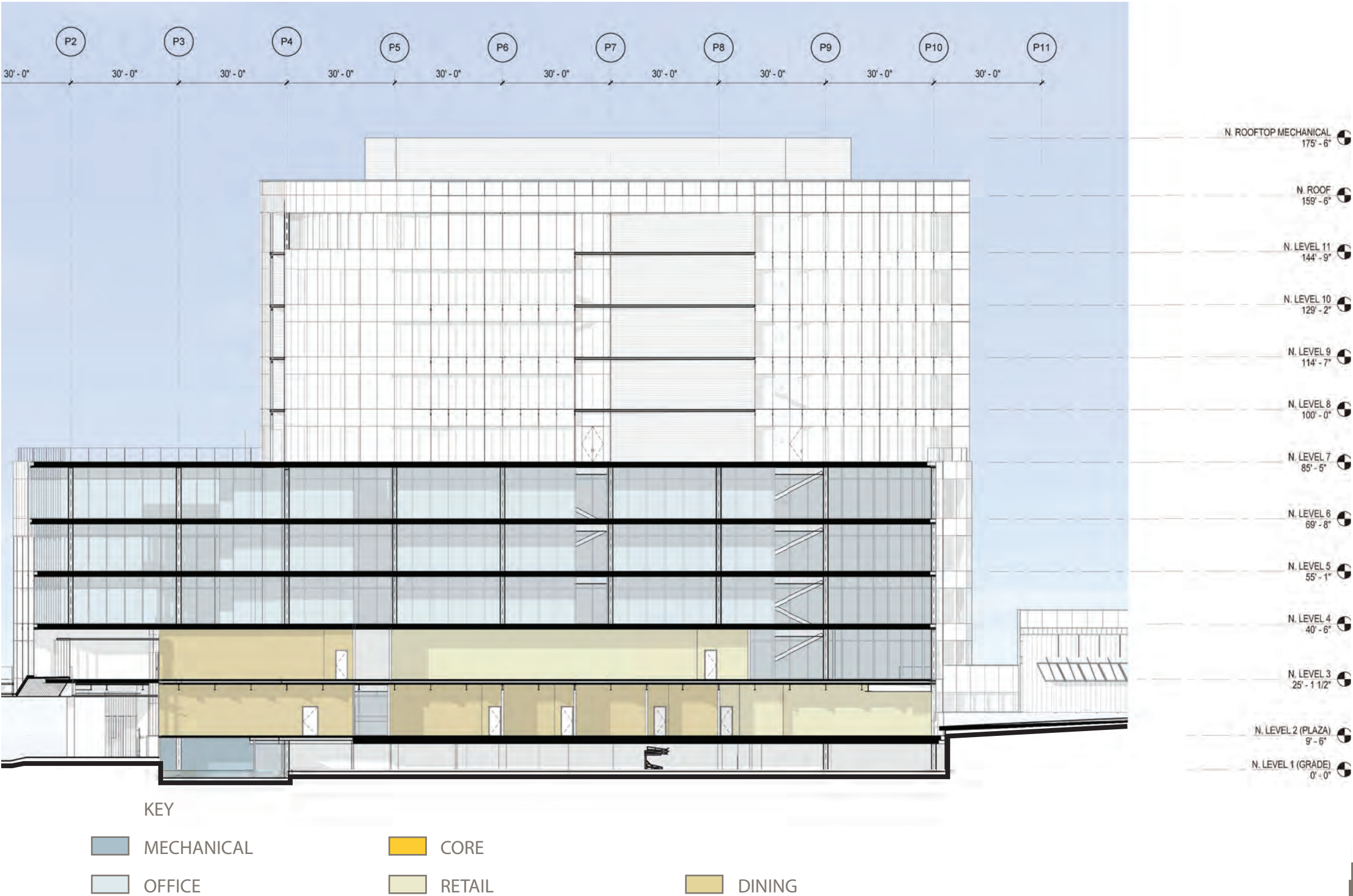
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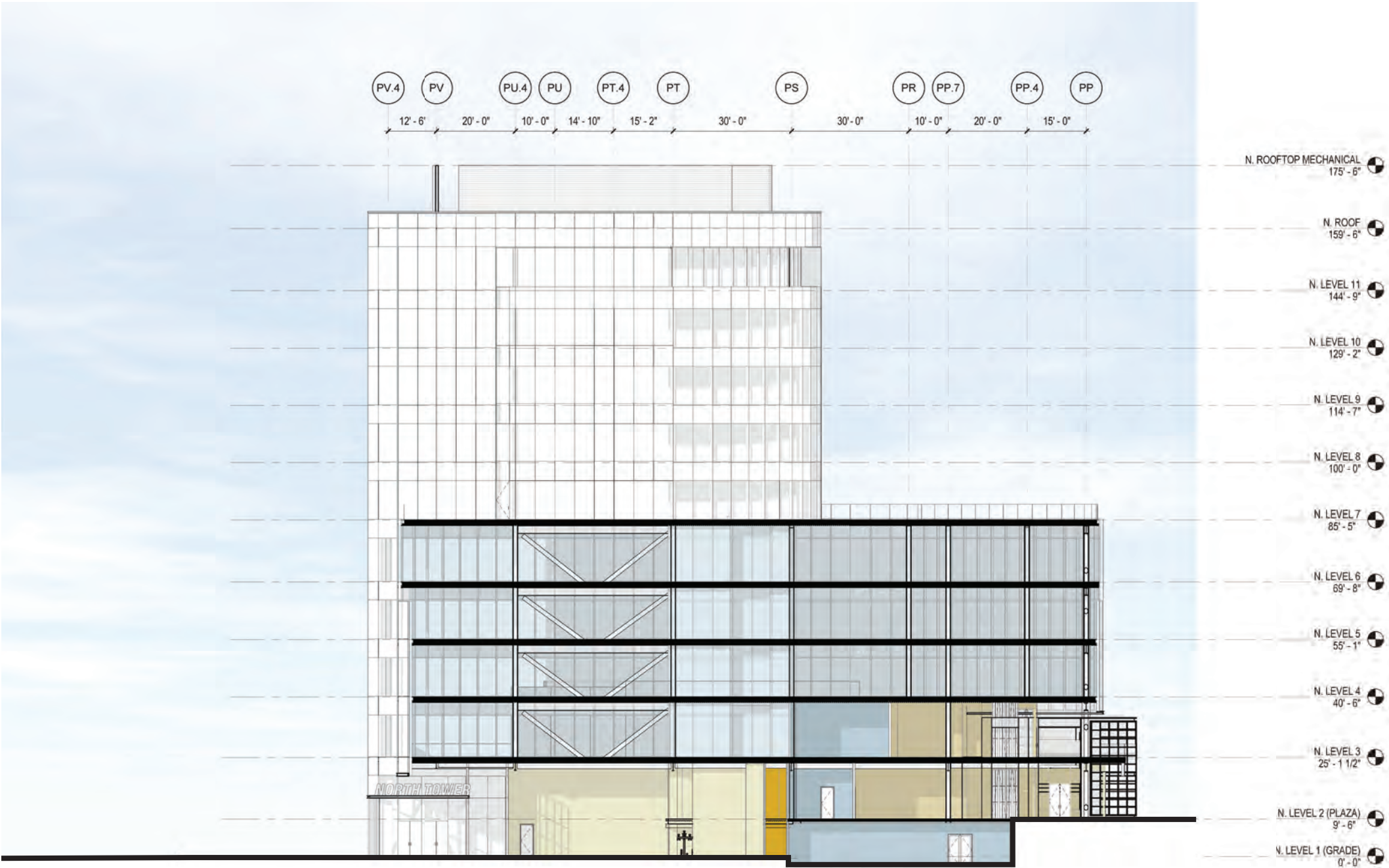
MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL (North)
EAST-WEST SECTION

08.2



EAST - WEST SECTION
1/32" = 1'-0"

NORTH TOWER SECTION



KEY

	MECHANICAL		CORE		
	OFFICE		RETAIL		DINING

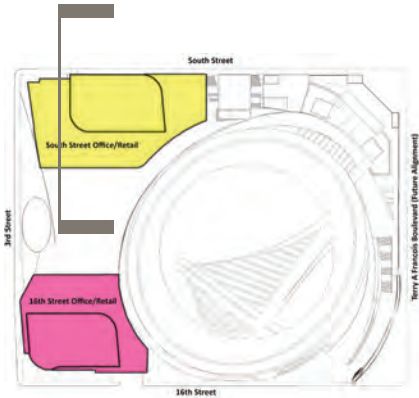
NORTH - SOUTH SECTION
1/32" = 1'-0"



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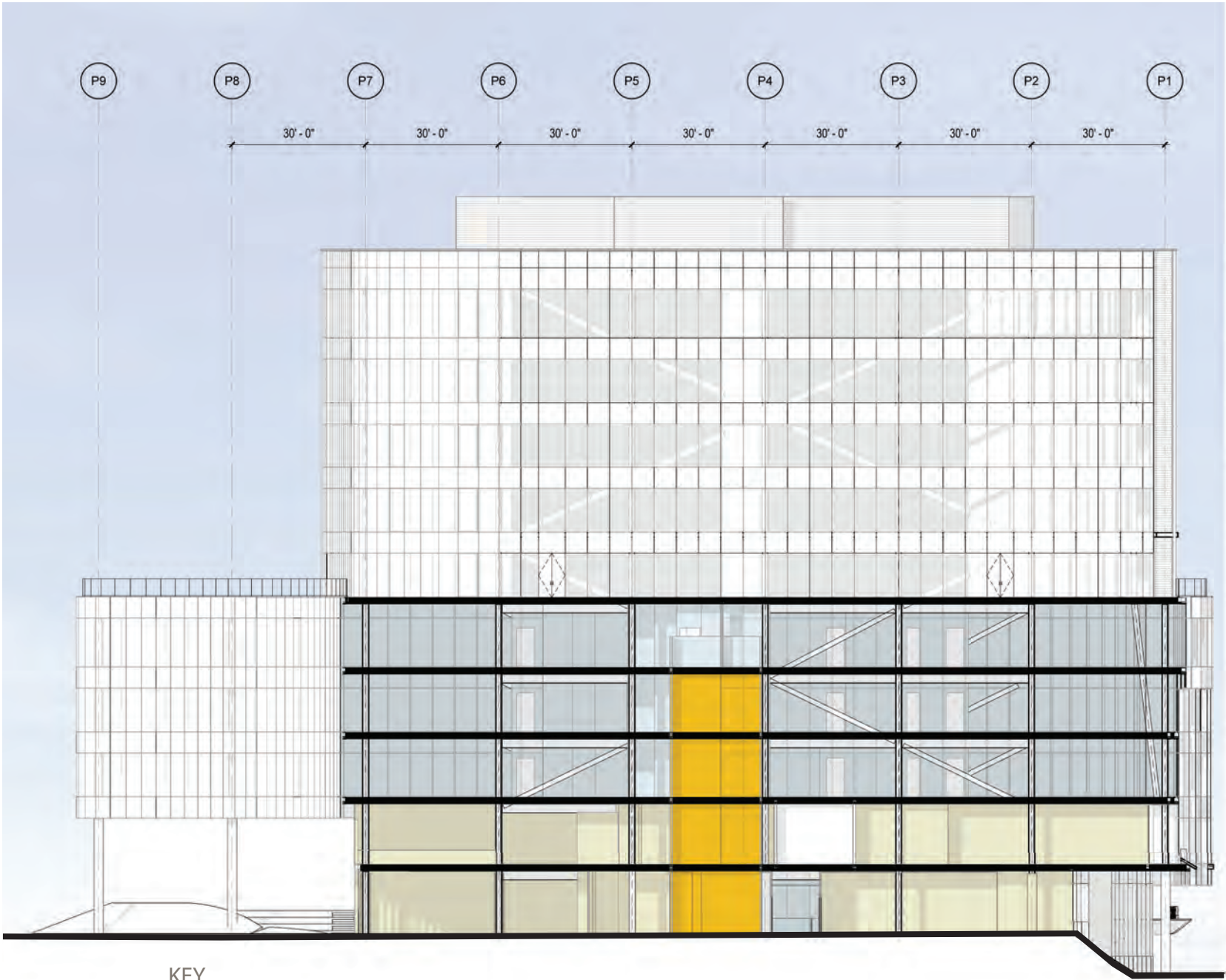
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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL (North)
NORTH-SOUTH SECTION

SOUTH TOWER SECTION



KEY

MECHANICAL

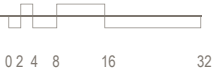
OFFICE

CORE

RETAIL

DINING

	S. ROOFTOP MECHANICAL	175'-9"
16'-0"	S. ROOF	159'-9"
15'-8"	S. LEVEL 11	144'-0"
14'-7"	S. LEVEL 10	129'-5"
14'-7"	S. LEVEL 9	114'-10"
14'-7"	S. LEVEL 8	100'-3"
14'-7"	S. LEVEL 7	85'-8"
15'-9"	S. LEVEL 6	69'-11"
14'-7"	S. LEVEL 5	55'-4"
14'-7"	S. LEVEL 4	40'-9"
15'-4 1/2"	S. LEVEL 3	25'-4 1/2"
15'-7 1/2"	S. LEVEL 2 (PLAZA)	9'-9"
9'-9"	S. LEVEL 1 (GRADE)	0'-0"



EAST - WEST SECTION
1/32" = 1'-0"

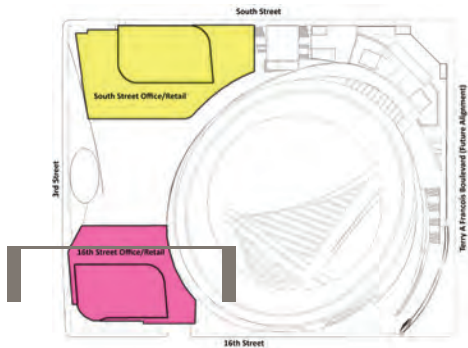


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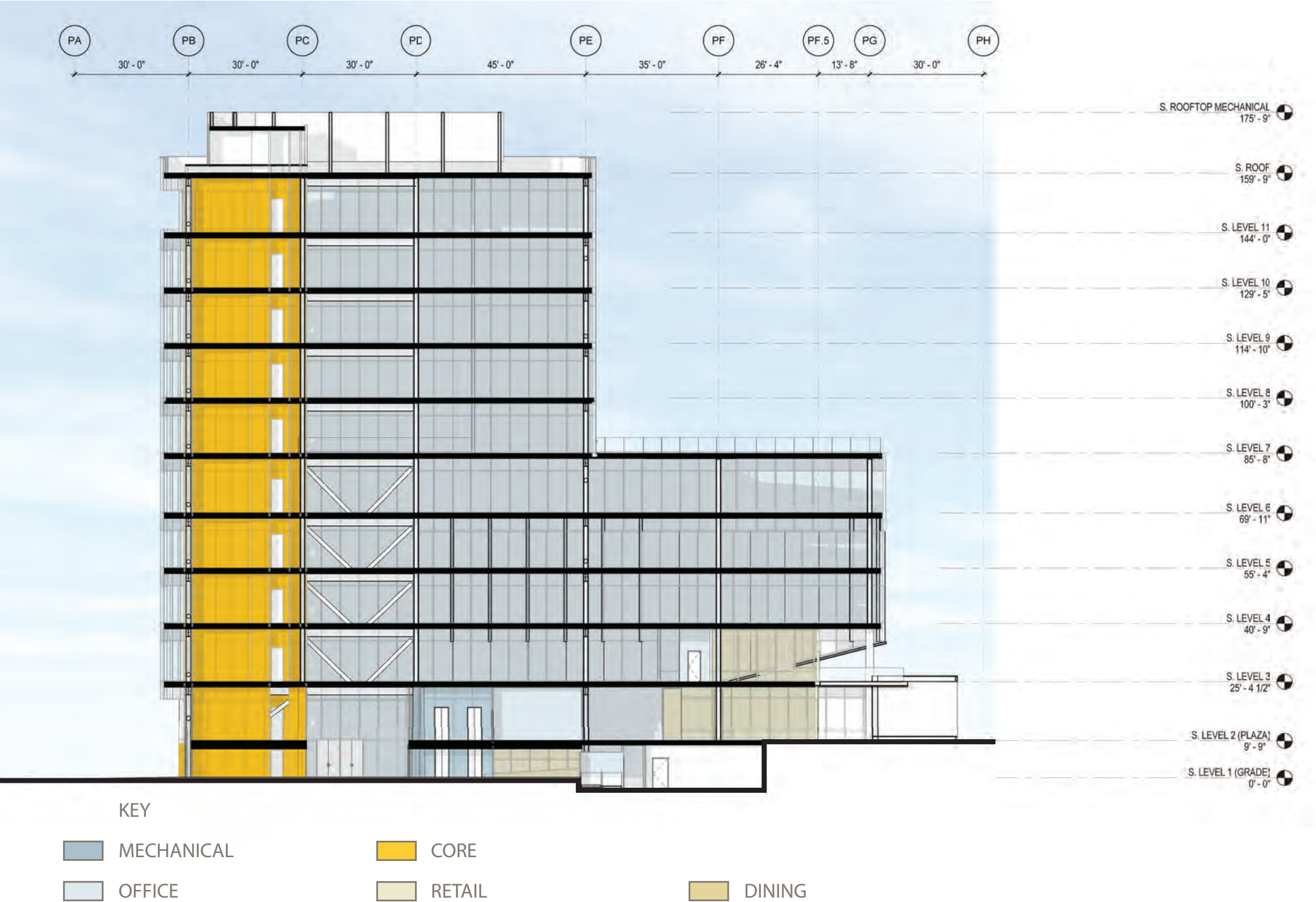
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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL (South)
EAST-WEST SECTION



SOUTH TOWER SECTION



NORTH - SOUTH SECTION
1/32" = 1'-0"

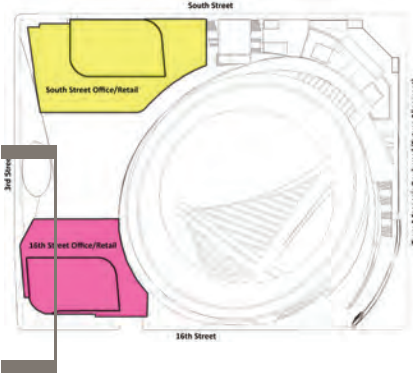


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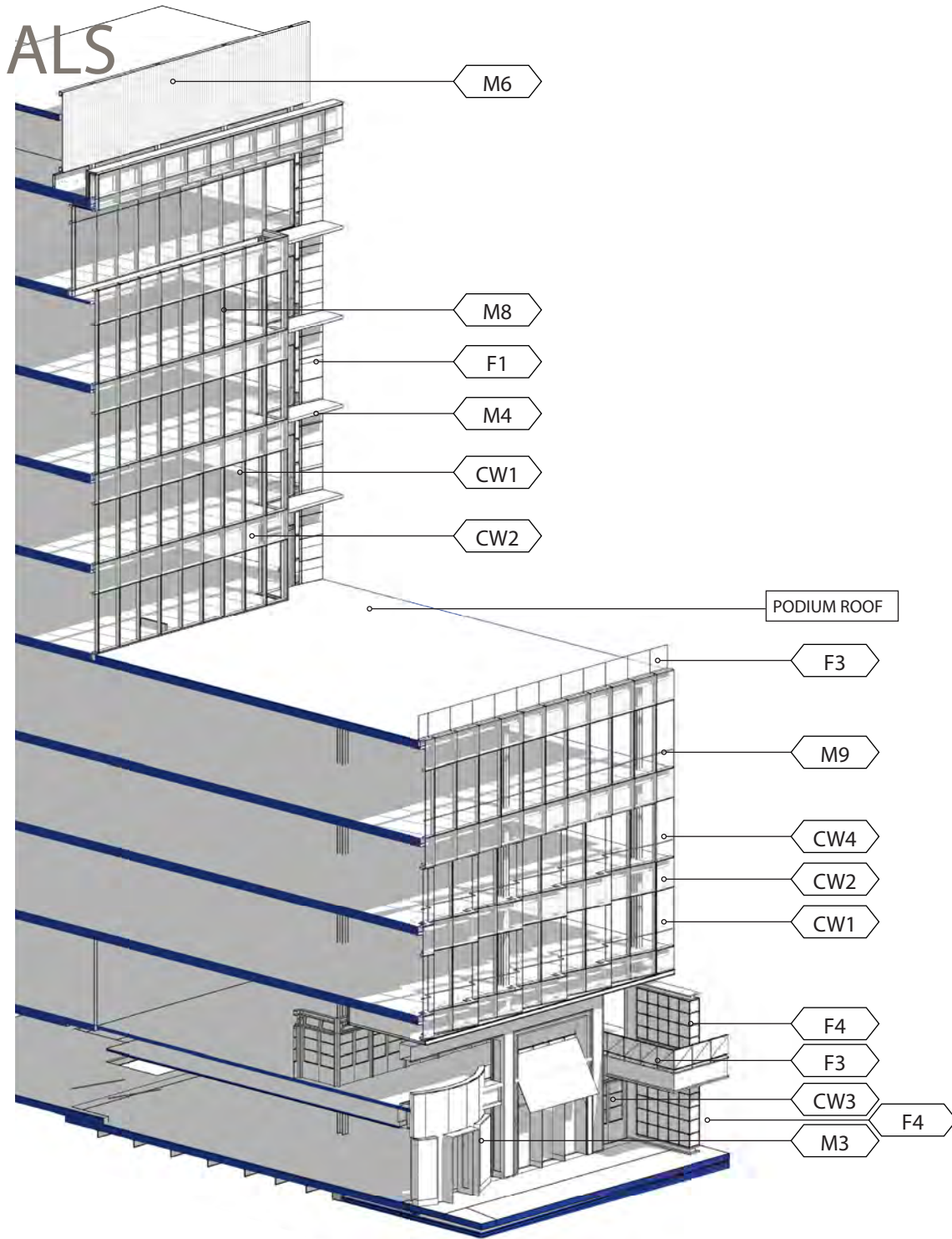
PROJECT TEAM
Pfau Long Architecture &
AE3 Partners - Tower Design
Richyworks - Retail Design
SWA Group & Merrill Morris
Partners - Landscape Design
Kendall/Heaton Associates -
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ISSUE DATE
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MISSION BAY BLOCKS 29-32
THIRD STREET OFFICE / RETAIL (South)
NORTH-SOUTH SECTION



MATERIALS

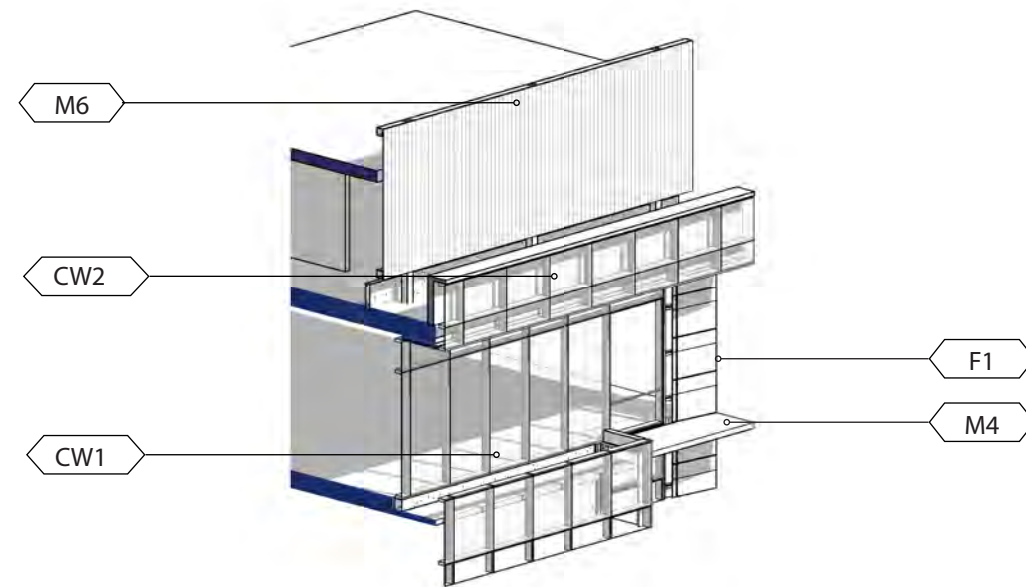


TYPICAL CURTAIN WALL ARTICULATION

N.T.S.

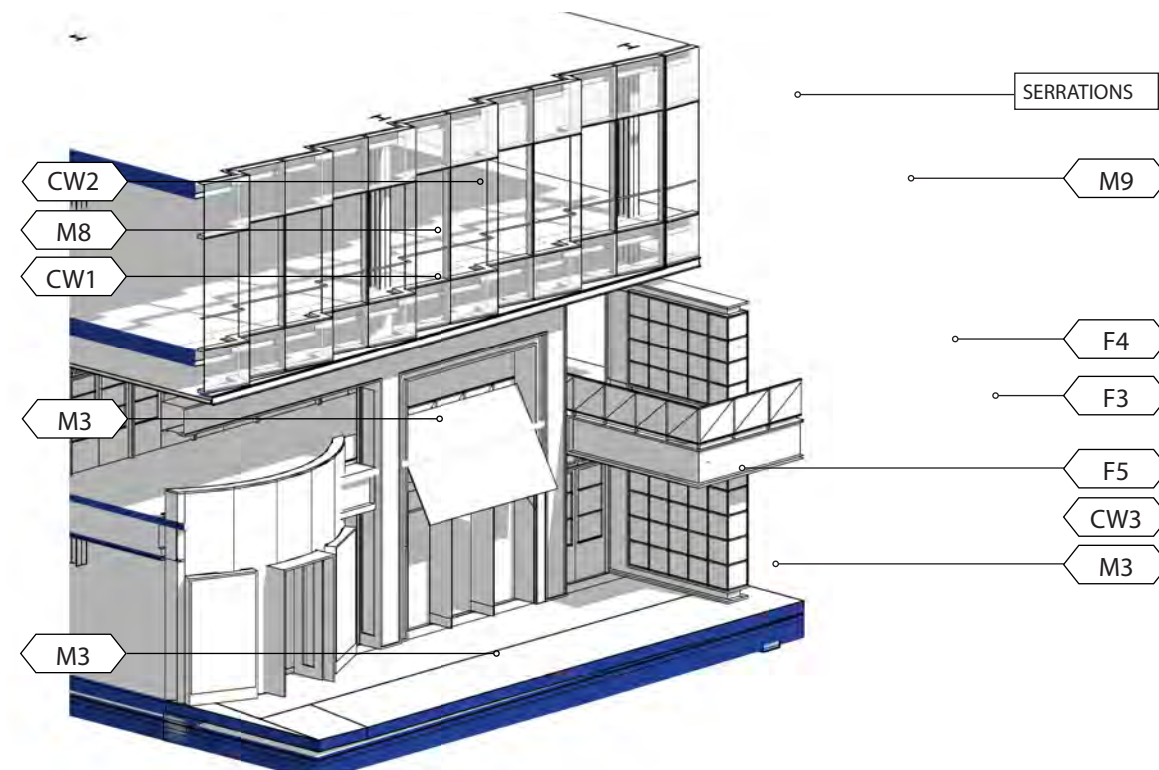
CW1 - STRUCTURAL GLAZED CURTAINWALL - LOW E GLAZING
CW2 - STRUCTURAL GLAZED CURTAINWALL - FRITTED SPANDREL GLASS
CW3 - STRUCTURAL GLAZED CURTAINWALL - LOW IRON GLAZING
CW4 - STRUCTURAL GLAZED CURTAINWALL - SERRATED CURTAINWALL

F1 - RESIN-COATED WOOD PANEL
F2 - GLASS FIBER REINFORCED CONCRETE
F3 - GLASS GUARDRAIL
F4 - RETAIL LIGHT BOX
F5 - RETAIL AWNINGS (SHOWN TRANSLUCENT)
F6 - ARTICULATED METAL AND GLASS STOREFONT
F7 - STONE (LIGHT COLOR)



TYPICAL ROOF ARTICULATION

N.T.S.



TYPICAL RETAIL ARTICULATION

N.T.S.

M2 - PAINTED METAL CANOPY (M1 - NOT USED)
M3 - PROJECTING METAL FRAME - RETAIL ENTRY PORTAL
M4 - PAINTED ALUMINUM FINIS
M5 - METAL COLUMN COVERS - MATTE CHARCOAL FINISH
M6 - CORRUGATED/PERFORATED METAL MECHANICAL SCREEN
M7 - DECORATIVE METAL LOUVERS
M8 - BUTT-GLAZED ALUMINUM MULLIONS
M9 - ALUMINUM CHAIR RAIL BEYOND GLASS



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THIRD STREET OFFICE / RETAIL
MATERIAL APPROACH -
AXONOMETRIC SECTIONS

09.1

MATERIALS



CLEAR GLASS

Towers will be clad with vision glazing treated to reflect solar heat gain and prevent bird strikes.



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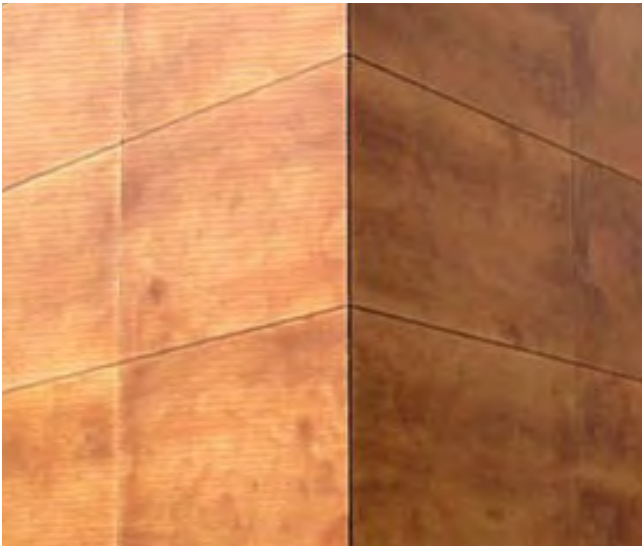
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MATERIAL APPROACH



RESIN-COATED WOOD

Prodema, Trespa, or SwissPearl
(core and soffit cladding)



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MATERIAL APPROACH



EXTERIOR BUILDING FINISHES

Accent materials highlight building design features



CORRUGATED METAL MECHANICAL SCREEN



LOUVERED MECHANICAL SCREEN



ARCHITECTURAL CONCRETE



GLASS GUARDRAIL [PODIUM ROOF]



ALUMINUM FINS



METAL CANOPY

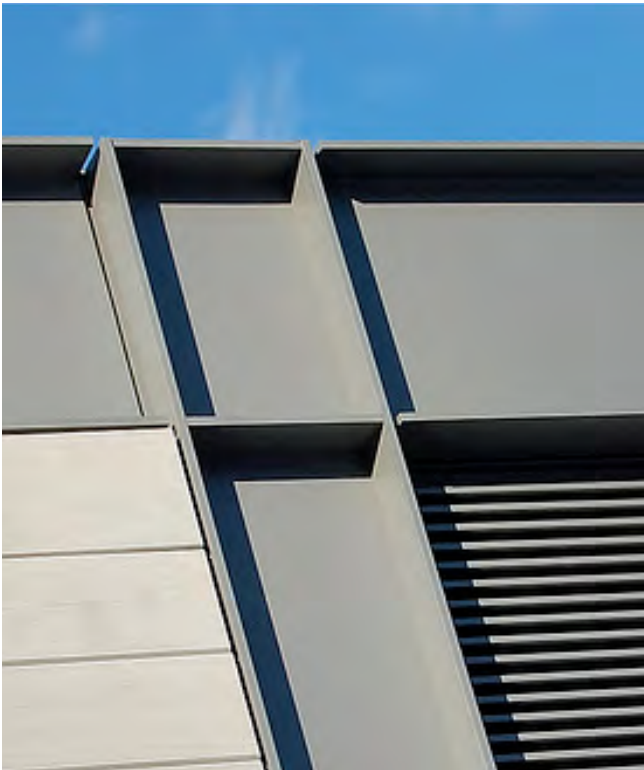
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MATERIAL APPROACH

MATERIALS



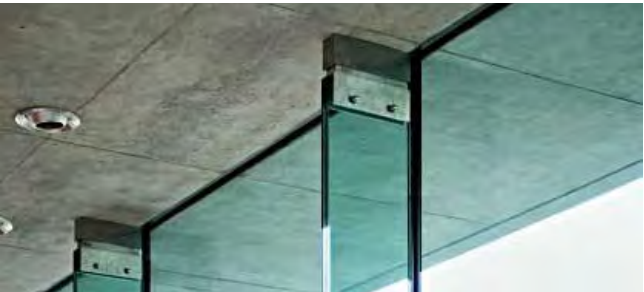
PROJECTING METAL FRAME - RETAIL ENTRY



RETAIL / DINING CANOPIES

RETAIL MATERIAL PALATE

Retail materials include metal, wood, concrete, stone, glazing and illuminated glass. This vocabulary of materials will be consistent, however, tenants will be encouraged to use nuanced versions of these materials to create a more dynamic and variegated environment.



FRAMELESS STOREFRONT SYSTEM



METAL-FRAME STOREFRONT SYSTEM



WOOD-CLAD STOREFRONT SYSTEM



RETAIL LIGHT BOX

NOTE: FOR ADDITIONAL INFORMATION ABOUT MATERIALS, SEE RELATED SUBMITTAL FOR RETAIL

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MATERIAL APPROACH



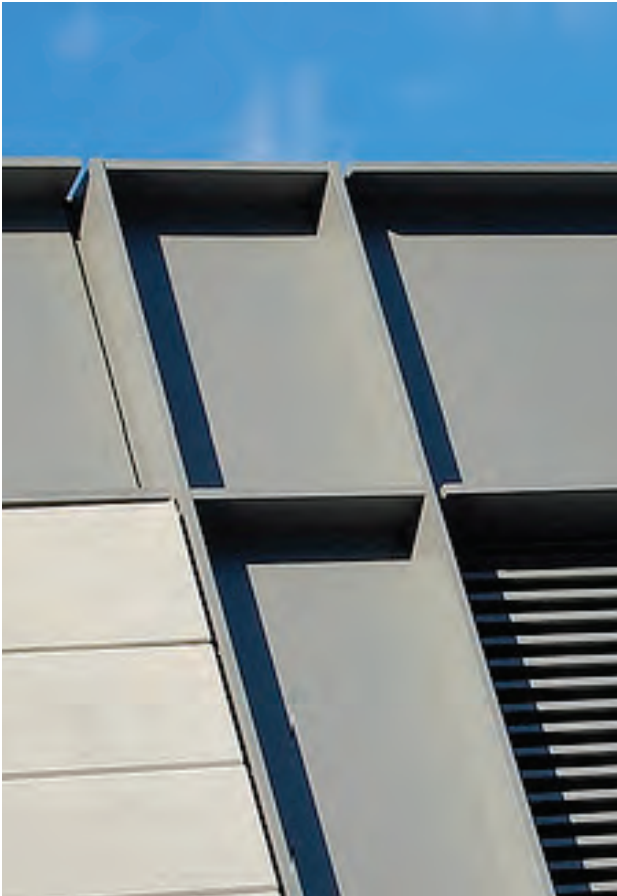
RETAIL FRAME INFILL MATERIAL OPTIONS

Retail materials include metal, wood, concrete, stone, glazing and illuminated glass. This vocabulary of materials will be consistent, however, tenants will be encouraged to used nuanced versions of these materials to create a more dynamic and variegated environment.

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NO INFILL



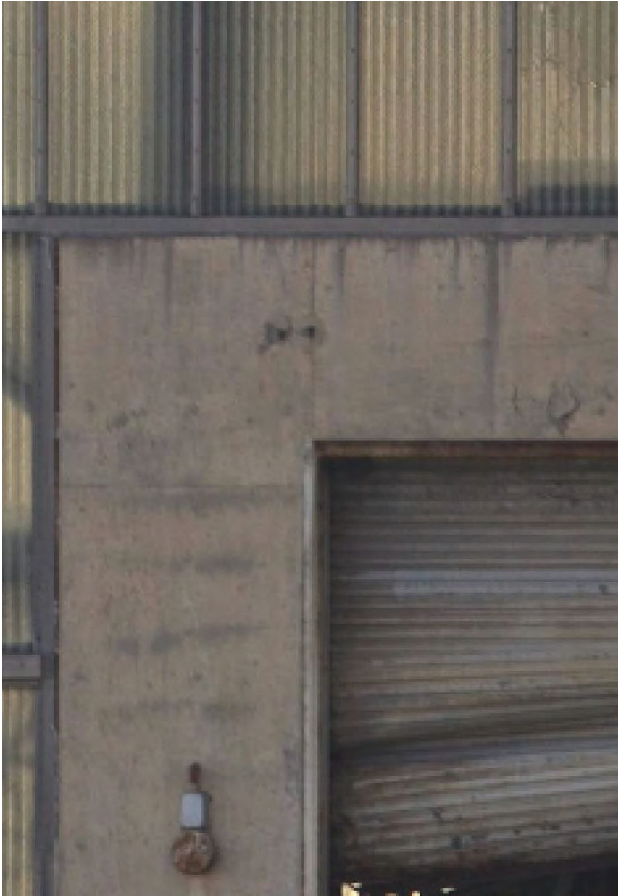
PROPOSED ELEVATION -
NO INFILL



WOOD INFILL



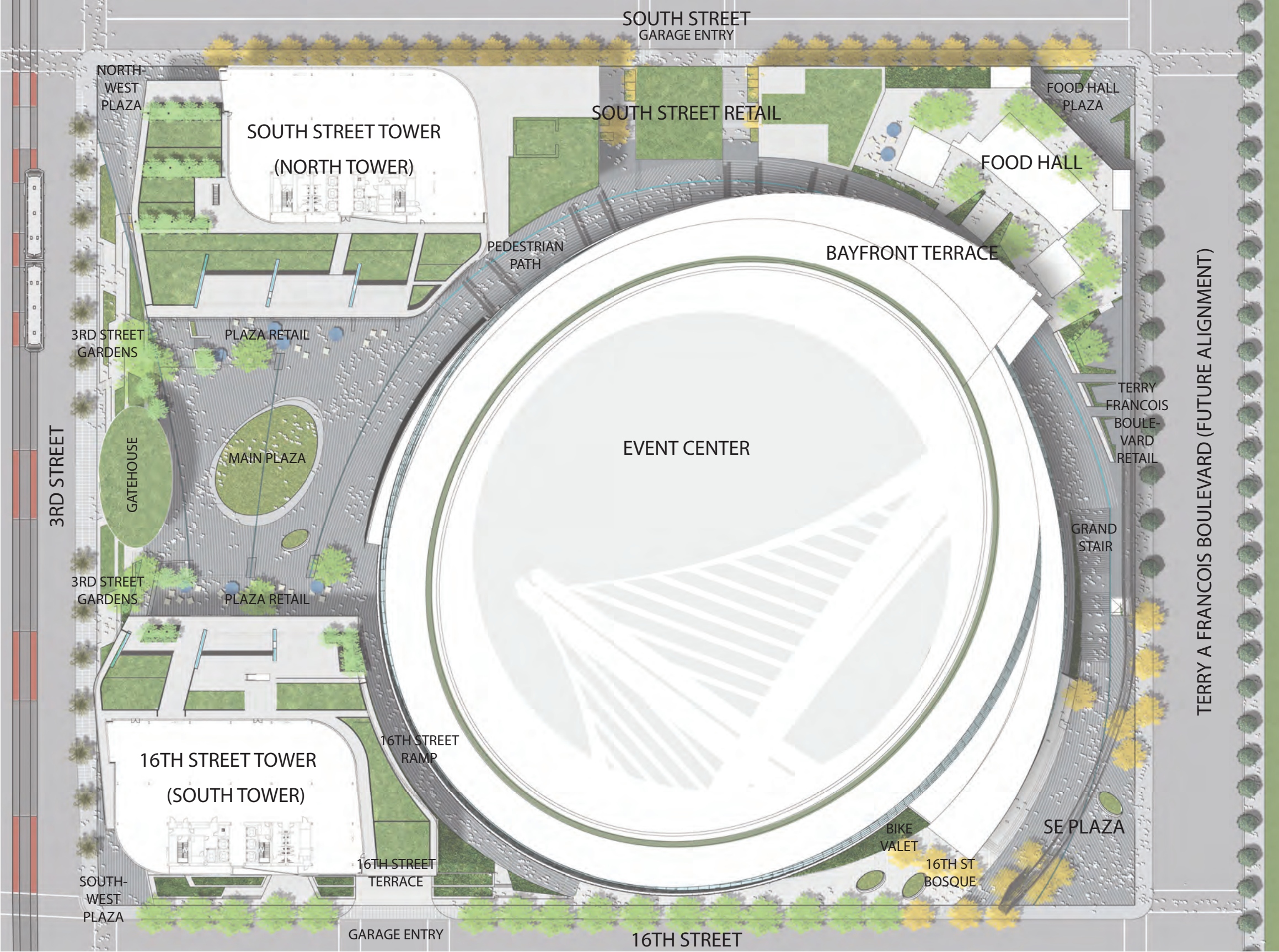
PROPOSED ELEVATION -
MASONRY INFILL



CONCRETE OR MASONRY INFILL

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MATERIAL APPROACH

LANDSCAPE OVERVIEW



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LANDSCAPE APPROACH

LANDSCAPE OVERVIEW



3RD STREET GARDENS



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View at Northwest Plaza looking south to Main Plaza



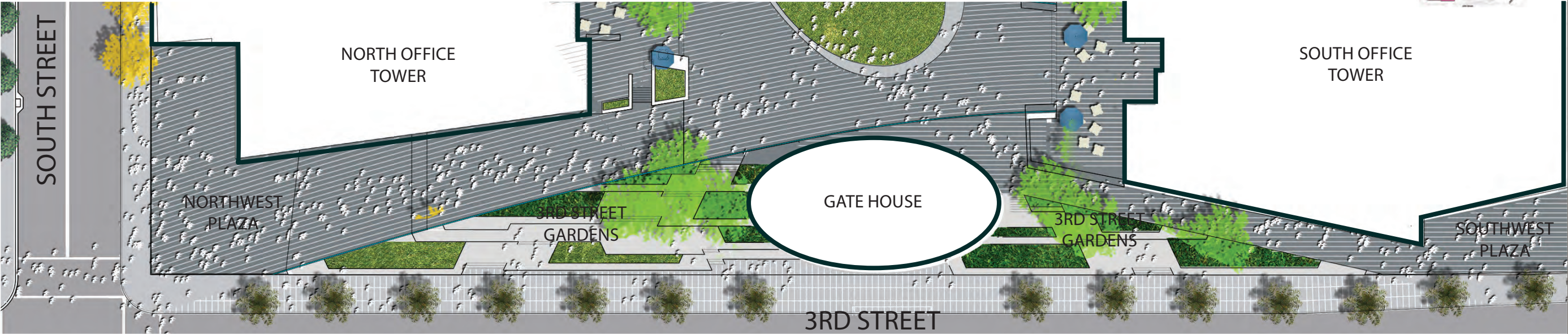
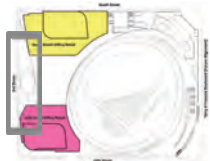
View west across 3rd Street looking at Northwest Plaza



View of 3rd Street Gardens and Gatehouse



View of 3rd Street Gardens and North Office Tower



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THIRD STREET OFFICE / RETAIL
LANDSCAPE DETAIL

11.1

3RD STREET GARDENS



TREES



Mexican Fan Palm
Washingtonia robusta



Sweet Shade
Hymenoporum flavum



Strawberry Tree
Arbutus marina

PLANTING



White Hydrangea: *Cistus hebe*



California Rush: *Juncus patens*

MATERIALS



[P1] Concrete Unit Pavers



[P3] Cast-in-Place Concrete Sidewalk Paving



[E1] Pre-Cast Concrete Stairs



[W1] Cast-in-Place Concrete Seat Wall

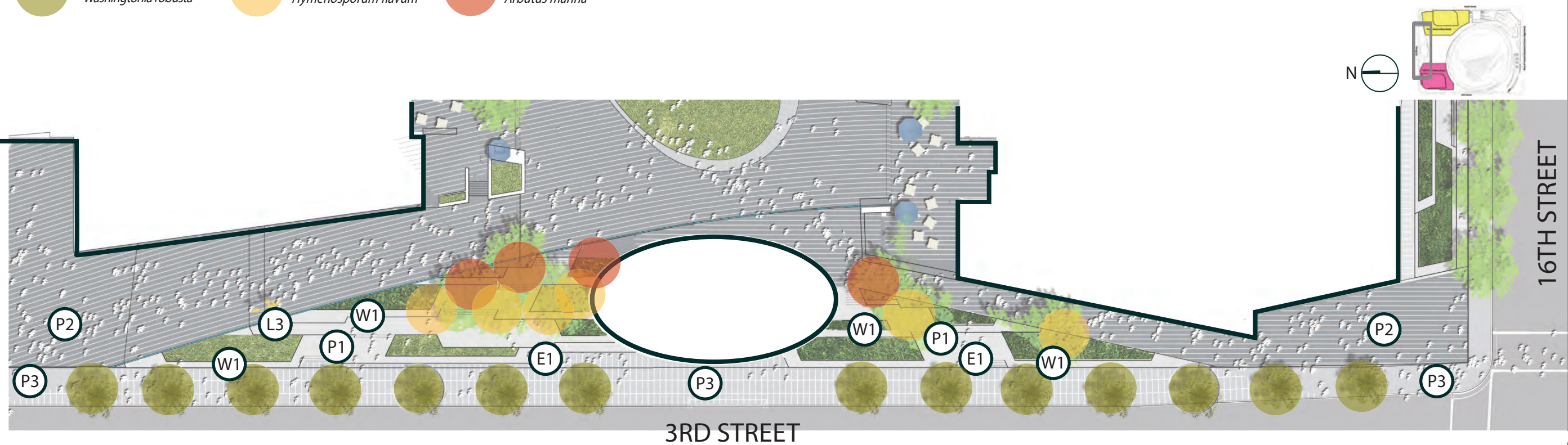
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THIRD STREET OFFICE / RETAIL
LANDSCAPE DETAIL

11.2



MAIN PLAZA



View at Plaza Retail Level 3 looking north to Main Plaza Event Space



View at Main Plaza looking west to Gatehouse



View at Main Plaza looking east to Event Center



View at Main Plaza looking south to Plaza Retail



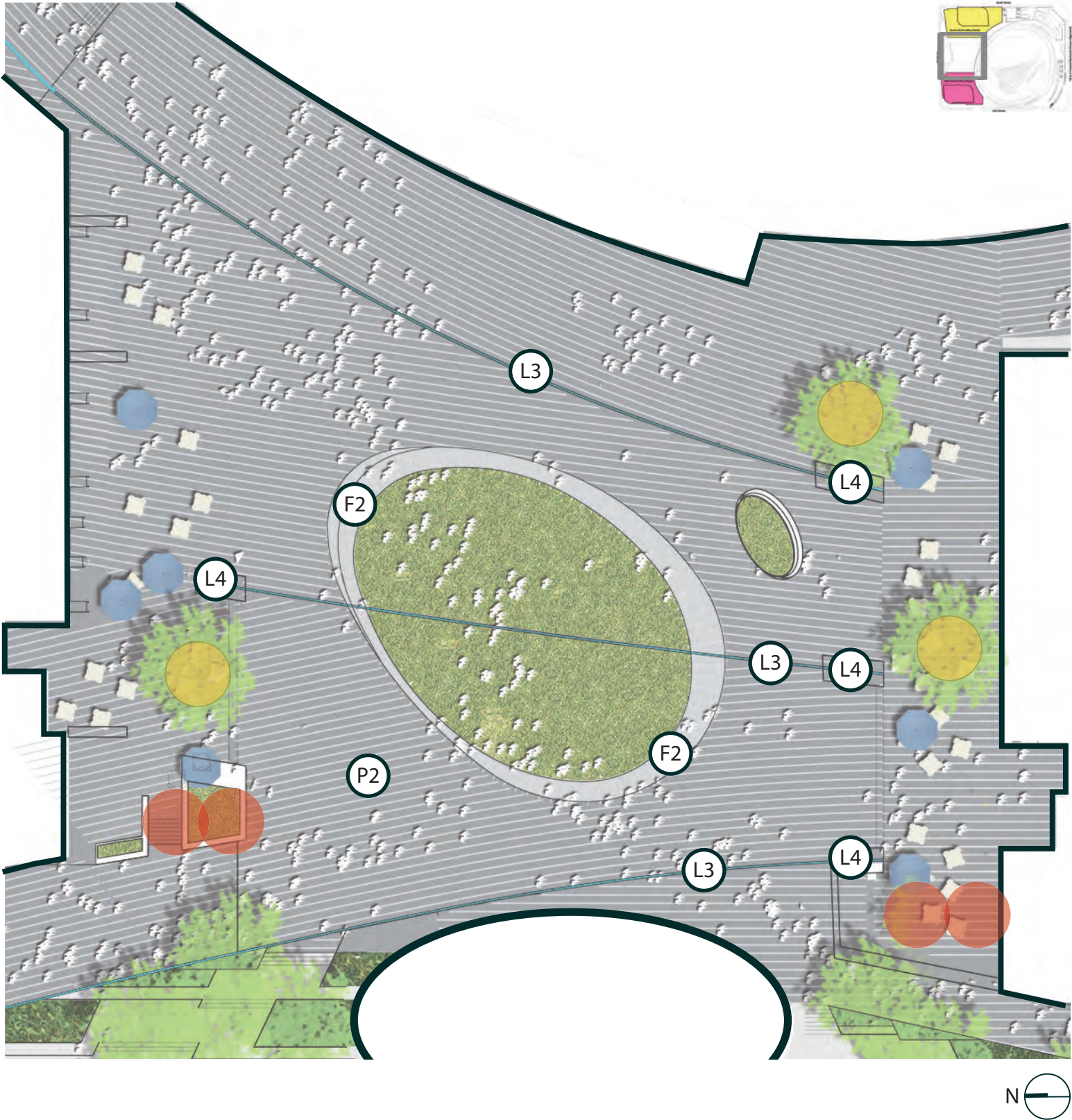
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LANDSCAPE DETAIL

MAIN PLAZA



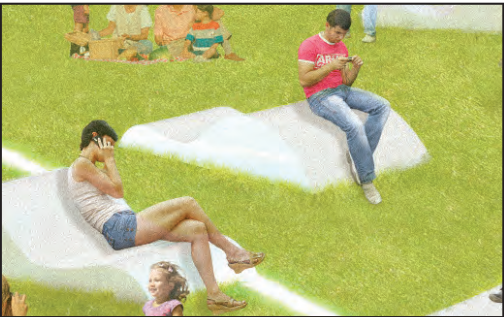
MATERIALS



[P2] Concrete Unit Pavers



[L3] Linear lighting in paving



[F2] Modular Light-Weight Custom Furnishings, Disassembled



[L4] Seating plinth

PLANTING



No - mow fescue blend

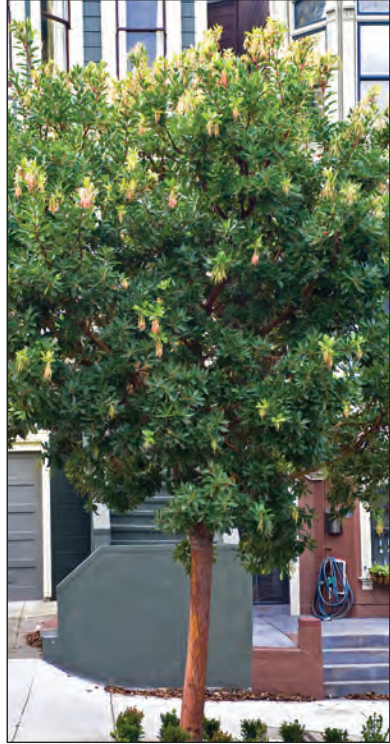


African Iris: *Dietes irridoides*

TREE



Sweet Shade
Hymenosporum flavum



Strawberry Tree
Arbutus marina



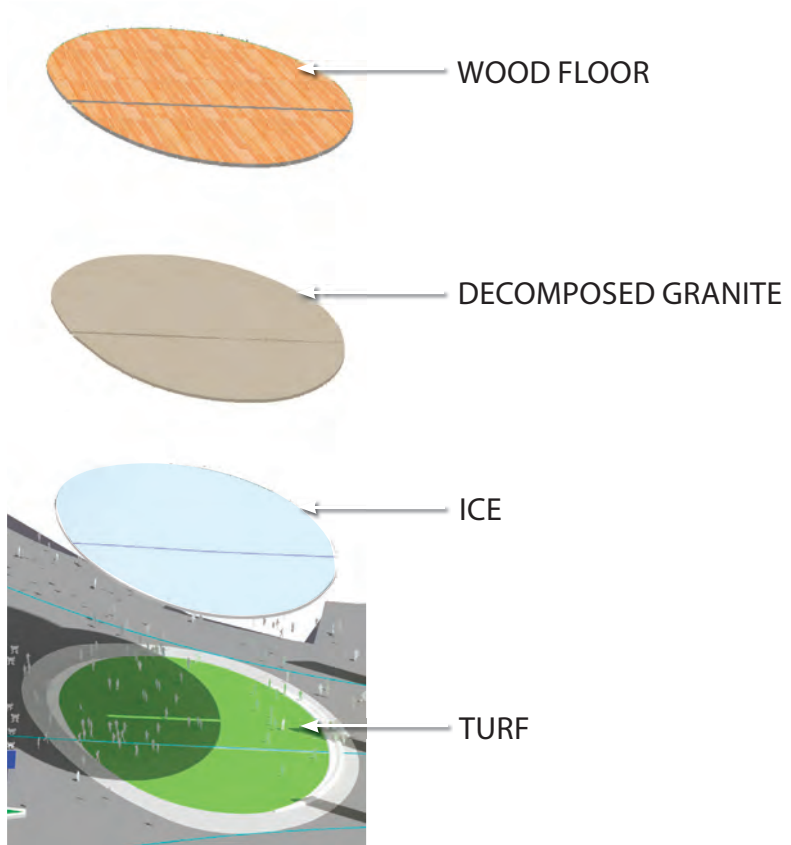
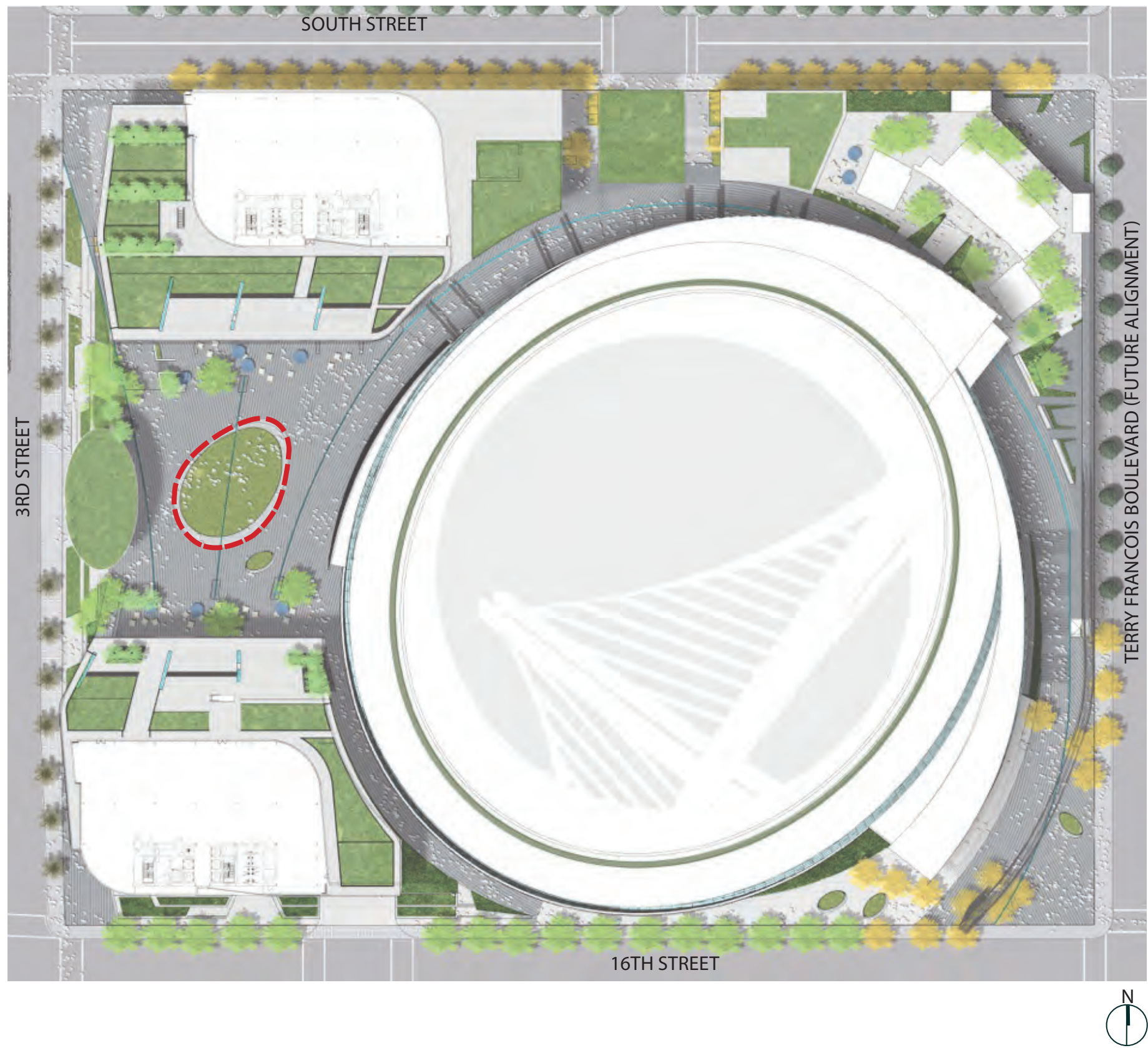
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LANDSCAPE DETAIL

MAIN PLAZA - EVENT SPACE FLEXIBILITY



Main Plaza Event Space

Note: Flexible seating elements and large mobile planters complement the Main Plaza's flexible surface material.



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LANDSCAPE DETAIL

11.5

[END OF DOCUMENT]