



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis

HEARING DATE: FEBRUARY 5, 2015

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: January 29, 2015
Case No.: **2014-002064DRP**
Project Address: **2570 JACKSON STREET**
Permit Application: 2014.04.08.2705
Zoning: RH-1 (Residential, House, One-Family)
40-X Height and Bulk District
Block/Lot: 0586/008
Project Sponsor: Federico Engel
Butler Armsden Architects
1420 Sutter Street, First Floor
San Francisco, CA 94109
Staff Contact: Christine Lamorena – (415) 575-9085
christine.lamorena@sfgov.org
Recommendation: **Do not take DR and approve as proposed**

PROJECT DESCRIPTION

The project proposes to replace approximately 5-foot tall windscreens around a deck above the one-story garage at the front of the property as well as around a side terrace at the northwest corner towards the rear of the property and to construct a new one-story high, three-foot deep cantilevered deck with spiral stairs at the rear of the three-story-over-garage, single-family dwelling.

The project requires front setback and rear yard variances. A variance hearing for the project occurred on April 23, 2014, but is being re-heard following the request for Discretionary Review.

SITE DESCRIPTION AND PRESENT USE

The project site contains a three-story-over-garage, single-family dwelling constructed in 1924 on an approximately 50-foot wide by 128-foot deep lot with a lot area of approximately 6,400 square feet. The subject lot is located on the north side of Jackson Street between Pierce and Steiner Streets in the Pacific Heights neighborhood.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

On the subject block-face, the buildings consist of three to four-story, single-family dwellings. Alta Plaza Park is located opposite the property. The subject block-face is zoned RH-1 (Residential, House, One-Family) while the opposite block is zoned P (Public).

The building immediately to the east is located on a corner lot and is a three-story over garage, single-family dwelling while the building located immediately to the west is a four-story, single-family dwelling with a detached garage located in the rear yard.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	10/23/14 – 11/22/14	11/20/14	2/5/15	77 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	January 26, 2015	January 26, 2015	10 days
Mailed Notice	10 days	January 26, 2015	January 26, 2015	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)			
Other neighbors on the block or directly across the street			
Neighborhood groups		1 (DR Requestor, Pacific Heights Residents Association)	

DR REQUESTOR

Greg Scott, on behalf of the Pacific Heights Residents Association.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Application*, dated November 20, 2014.

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*, dated December 16, 2014.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Team (RDT) found that the proposed project meets the standards of the Residential Design Guidelines (RDGs) and that the project does not present any exceptional or extraordinary circumstances for the following reasons:

- RDT supports the proposed spiral stair and deck design because it is compact, will not require a fire-rated wall, and will provide direct access to the rear yard.

Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.

RECOMMENDATION:	Do not take DR and approve project as proposed
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Attachments:

Block Book Map

Sanborn Map

Zoning Map

Aerial Photographs

Section 311 Notice

DR Application, dated November 20, 2014

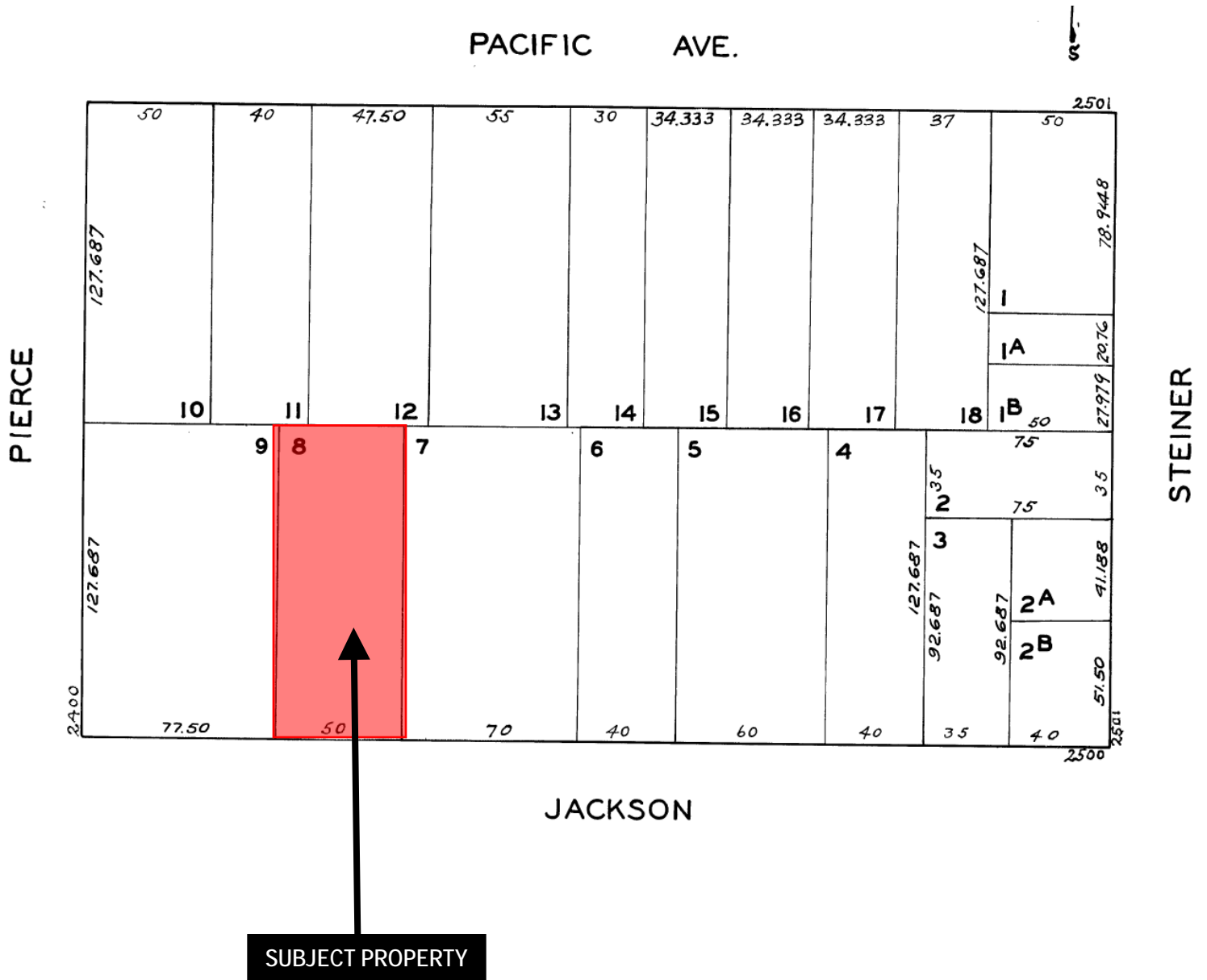
Response to DR Application, dated December 16, 2014

Brief in Opposition to Discretionary Review Request, dated January 22, 2015

Reduced Plans

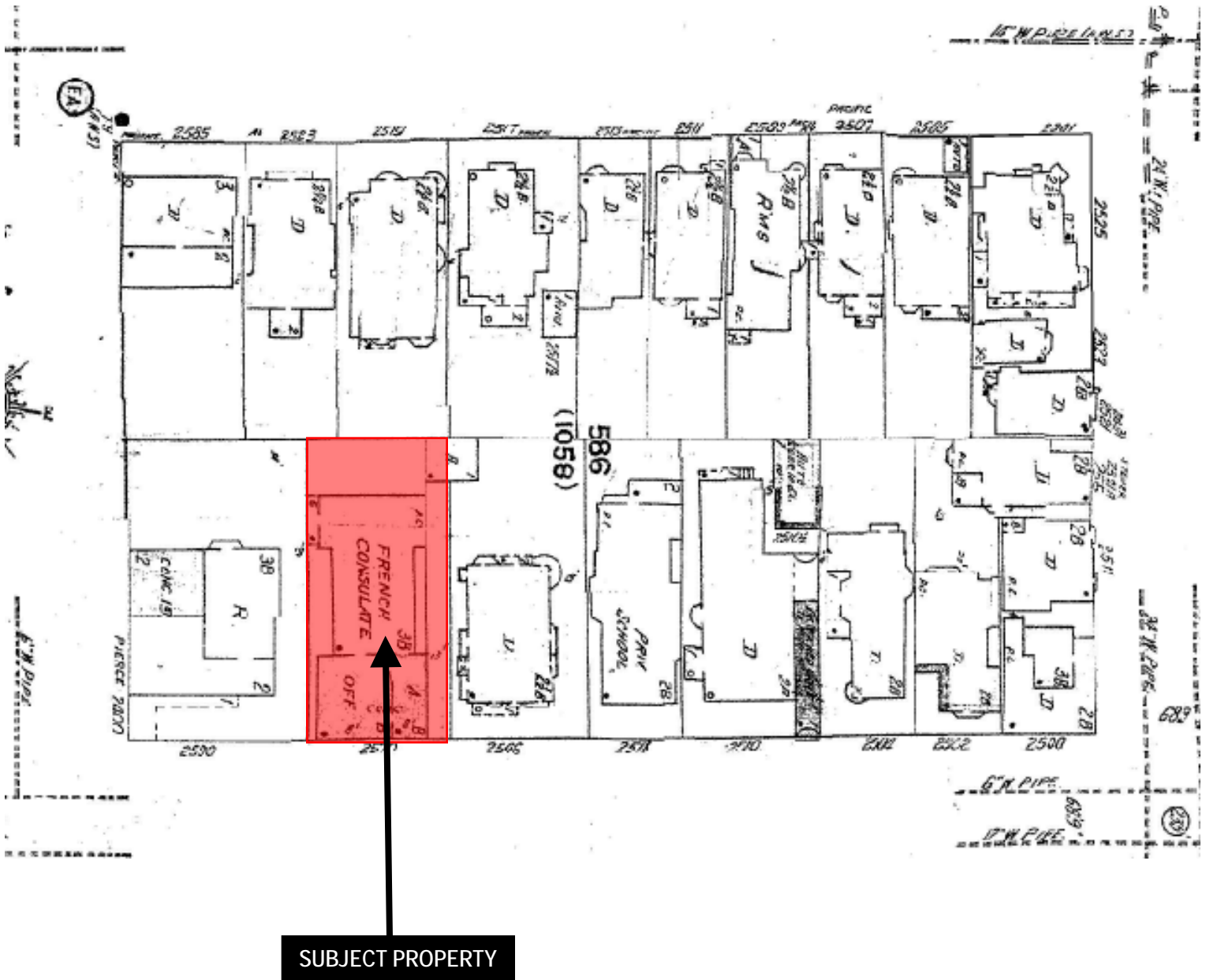
CL: G:\DOCUMENTS\2014\DRPs\2014-002064DRP\DR - Abbreviated Analysis.doc

Block Book Map



Discretionary Review Hearing
Case Number 2014-002064DRP
2570 Jackson Street
Block 0586 / Lot 008

Sanborn Map*

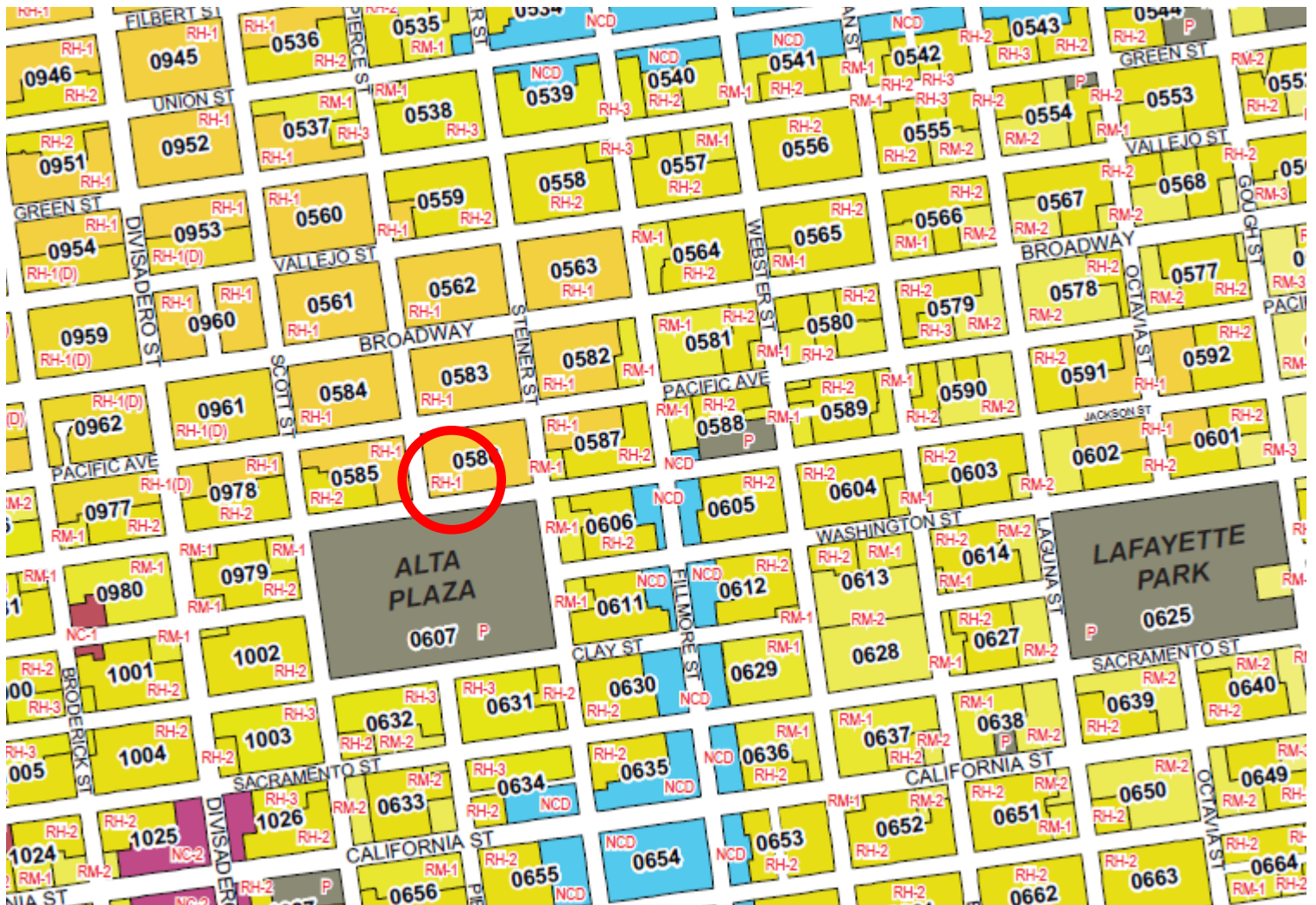


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

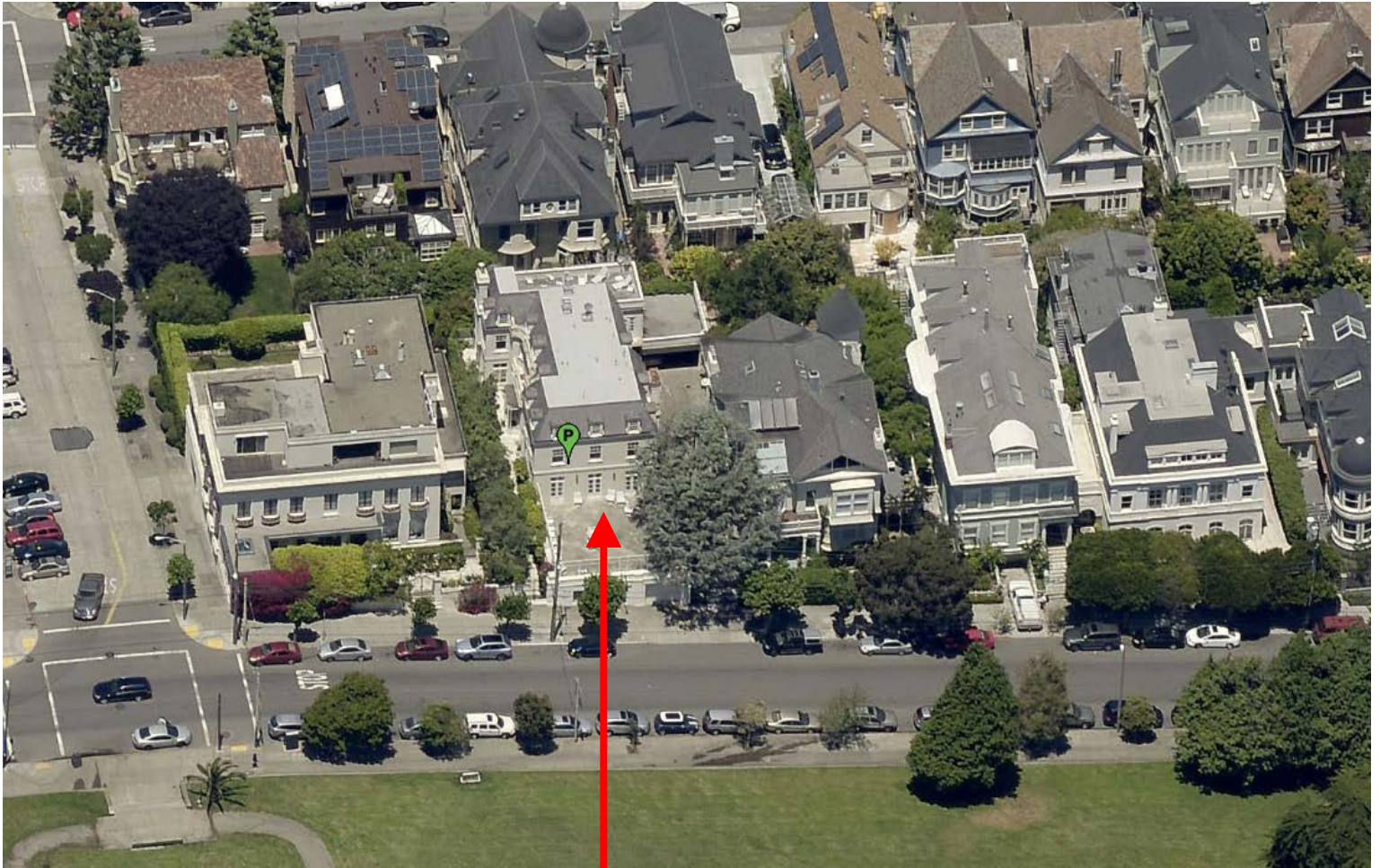


Discretionary Review Hearing
Case Number 2014-002064DRP
2570 Jackson Street
Block 0586 / Lot 008

Zoning Map



Aerial Photo (looking north)



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2014-002064DRP
2570 Jackson Street
Block 0586 / Lot 008

Aerial Photo (looking south)



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2014-002064DRP
2570 Jackson Street
Block 0586 / Lot 008



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311/312)

On April 8, 2014, the Applicant named below filed Building Permit Application No. 2014.04.08.2705 with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	2570 Jackson Street	Applicant:	Federico Engel
Cross Street(s):	Pierce & Steiner	Address:	1420 Sutter Street, First Floor
Block/Lot No.:	0586/008	City, State:	San Francisco, CA 94109
Zoning District(s):	RH-1 / 40-X	Telephone:	(415) 674-5554

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input checked="" type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	No Change
Front Setback	None	No Change
Side Setbacks	Approx. 5-11 feet	No Change
Building Depth	Approx. 103 feet	No Change
Rear Yard	Approx. 24 feet	No Change
Building Height	Approx. 40 feet	No Change
Number of Stories	3 over garage	No Change
Number of Dwelling Units	1	No Change
Number of Parking Spaces	3	No Change
PROJECT DESCRIPTION		
The project proposes to replace approximately 5-foot tall windscreens around a deck above the one-story garage at the front of the property and around a side terrace at the northwest corner towards the rear of the property and to construct a deck with spiral stairs at the rear of the three-story-over-garage, single-family dwelling.		
The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.		

For more information, please contact Planning Department staff:

Planner: Christine Lamorena

Telephone: (415) 575-9085

E-mail: christine.lamorena@sfgov.org

Notice Date: 10/23/2014

Expiration Date: 11/22/2014

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

APPLICATION FOR Discretionary Review

RECEIVED

NOV 20 2014

1. Owner/Applicant Information

DR APPLICANT'S NAME: <u>Pacific Heights Residents Association</u>			CITY & COUNTY OF <u>SF</u>	
DR APPLICANT'S ADDRESS: <u>2434 JACKSON ST. SF</u>			ZIP CODE: <u>94115</u>	TELEPHONE: <u>(415) 713 4734</u>

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: <u>UNKNOWN - NOT REVEALED</u>		
ADDRESS: <u>2570 JACKSON ST</u>	ZIP CODE: <u>94115</u>	TELEPHONE: <u>() UNKNOWN</u>

CONTACT FOR DR APPLICATION: Same as Above <input type="checkbox"/> <u>Federico Engel</u>		
ADDRESS: <u>1420 Sutter St. 12th floor</u>	ZIP CODE: <u>94109</u>	TELEPHONE: <u>(415) 674 5554</u>
E-MAIL ADDRESS: <u>butler@butlerarmstrong.com</u>		

2. Location and Classification

STREET ADDRESS OF PROJECT: <u>2570 JACKSON ST</u>		ZIP CODE: <u>94115</u>		
CROSS STREETS: <u>Steiner & Pierce</u>				
ASSESSORS BLOCK/LOT: <u>0586 1008</u>	LOT DIMENSIONS: <u>50' X 127'</u>	LOT AREA (SQ FT): <u>6350</u>	ZONING DISTRICT: <u>RH1</u>	HEIGHT/BULK DISTRICT: <u>40X</u>

3. Project Description

Please check all that apply

Change of Use ☐ Change of Hours ☐ New Construction ☒ Alterations ☒ Demolition ☐ Other ☐

Additions to Building: Rear ☒ Front ☐ Height ☐ Side Yard ☐

Present or Previous Use: RESIDENCE

Proposed Use: Residence

Building Permit Application No. 2014.4.08.2705

Date Filed: 10-23-14

DOCKET COPY
DO NOT REMOVE

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Planner did NOT return
phone calls or e-mail.

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

NONE

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

Building already intrudes into
required rear yard. Proposed Addition
will INCREASE this REAR yard intrusion

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

Neighbors will loose privacy light
& Air with this proposed further
intrusion into REAR yard

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

Delete this REAR yard intrusion
Building already has access to rear
yard through an interior STAIRWAY.

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature:  Date: 11-19-2014

Print name, and indicate whether owner, or authorized agent:

☒ Owner ☐ Authorized Agent (circle one)

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and signed by the applicant or authorized agent.

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input type="radio"/>
Address labels (copy of the above), if applicable	<input type="radio"/>
Photocopy of this completed application	<input type="checkbox"/>
Photographs that illustrate your concerns	<input type="checkbox"/>
Covenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input type="checkbox"/>

NOTES:

☐ Required Material.

☐ Optional Material.

☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

11/25/14



December 16, 2014

RESPONSE TO DISCRETIONARY REVIEW

CASE NO

BUILDING PERMIT

2014-0408-2705

ADDRESS

2570 JACKSON ST

Our office represents Dan and Meagan Nye, owners of the property located at 2570 Jackson (the “Property”). The Property is currently improved with a single family residence with three levels over basement. The residence was built in 1924 and became the French Consulate in the 1960s. The Property was purchased by Dan and Meagan in 2013 and they are currently undergoing an extensive interior renovation, under an existing permit, to bring the Property back to use as a single family residence for them and their two children.

As part of the renovation and modernization of the house, we are currently proposing an addition (the “Project”) consisting of a cantilevered balcony on the second floor and a one-story spiral stair at the rear facade. The Project is purposefully modest in scope and does not have an unreasonable impact to adjacent properties in the form of loss of privacy, light and air. As such, we respectfully request that you deny the request for Discretionary Review and approve the modest expansion proposed.

A. Project Overview:

The Project proposes the following alterations to the existing single family home:

- **Front façade:** replace and upgrade the existing glass guardrail at the front façade. The existing guardrail consists of a heavy metal frame that has deteriorated past its usable life and we propose to replace it with a new ‘frameless’ glass rail that is much less obtrusive and attractive. The removal of the existing guardrail and installation of the new guardrail will help restore the historical significance of the Property and improve the aesthetics of the home. The front 15’ of the guardrail extends into the required front yard setback and as such is subject to a variance. This part of the Project is not part of the DR request and as such won’t be discussed in detail in the following pages.
- **Rear façade:** add a new balcony on the second floor and a one-story spiral stair. The proposed balcony is designed as 3’ wide, a minimum dimension for access, cantilevered from the existing rear façade and will have a glass guardrail. The proposed spiral stair will be 5’ diameter- a minimum dimension for a functional



spiral stair, and one story in height-connecting the second floor with the rear yard. The proposed balcony and spiral stair are within the rear yard setback and as such are subject to a variance. The purpose of the project is to provide direct exterior access to the rear yard from the front property line, a feature that exists in both adjacent properties. The Project will also improve access from the main living area on the second floor to the rear yard making this remote outdoor area more functional and valuable for Dan, Meagan and their children.

B. Project Design Development:

- **Pre-Application meeting:** Held on September 25, 2013. The Pre-Application meeting was attended by Jacqueline Mohanna as a representative of the Pacific Heights Residents Association (PHRA), who is now the DR requestor. At the time Ms. Mohanna wanted to confirm that adjacent neighbors were aware of the Project and the project sponsor stated that they were notified via the required 311 mailing. In addition the two adjacent neighbors at 2590 and 2546 were contacted directly via telephone since they are the ones most impacted by the Project. The two adjacent neighbors did not have any concerns at that time regarding the Project.
- **Variance Submitted on September 24, 2013:**
- **Per email comment from the Project planner, Christine Lamorena, on January 7, 2014.** The RDT directs that the spiral stair be relocated to the east side of the house to eliminate the need for a 1hr wall adjacent to the west property line. This redesign has the advantage of grouping our proposed rear yard encroachment with the neighbor to the east, 2546 Jackson, that also has a rear yard encroachment in the form of a two car garage.
- **Variance hearing is held on April 23, 2014.**
- **Per email from planner on October 1, 2014.** The ZA is 'inclined to grant the variance and....will finish out the 311 notification.'
- **311-30 Day notification runs 10/23-11/22.**
 - **On November 13, Federico Engel of Butler Armsden Architects speaks with Greg Scott of the PHRA.** Mr. Scott states that he wants the balcony and spiral stair removed from the Project or a DR will likely be filed. Mr. Scott was not willing to meet to review the project or look at alternates. On November 17, Lewis Butler also spoke with Mr. Scott without reaching a compromise.
- **Butler Armsden has contacted the two adjacent neighbors at 2590 and 2546 Jackson, as well as a neighbor to the north at 2523 Pacific.** These neighbors do not have concerns about the Project. No neighbor, except for Greg Scott of the PHRA, has contacted us with concerns about the Project.

C. Project Complies with Neighbor Residential Design Guidelines and Does Not Create Unreasonable Impacts:



The DR Requestor cites one reason of extraordinary circumstances that justify Discretionary Review of the Project, *“Building already Intrudes into the required rear yard. Proposed Addition will increase this Rear Yard Intrusion.”* And the DR requestor cites two unreasonable impacts: *“Neighbors will lose Privacy...and Light and Air.”*

Minor Rear Yard Intrusion Is Not An Exceptional or Extraordinary Circumstance:

- None of the immediately adjacent neighbors have expressed a concern about exceptional or extraordinary impacts to their properties as a result of the Project.
- The existing building currently encroaches into the 25% required rear yard by 6’10” for a total existing rear yard of 25’9”, while a 31’-8” setback is required. The proposed second floor balcony will encroach an additional 3’ for a new setback of 22’9”. It is a modest encroachment that would exist only on the second floor given that the balcony is fully cantilevered, open above and below, and will create a minimal change to the envelope of the Property.
- The encroachment into the rear yard is a hardship created by the 1924 siting of the house, which creates an existing non-conforming condition, leaving 35’2”± as a front setback when only 15’ is required. The Property was built in 1924 for the Ghirardelli family and designed by Albert Farr, today considered a ‘Master Architect’. While the property does not have a historical survey it carries a Historic Resource status of ‘B- Potential Historic Resource’. Thus it is not desirable or feasible to expand at the front façade, despite the excessive front setback, and a minimal expansion as currently proposed is appropriate.
- The DR requestor argues that rear yard access already exists through the inside of the house. However, the purpose of the proposed balcony and stair is also to provide direct exterior access to the rear yard from the front of the property. This is a feature that currently does not exist with the Property, but is a feature shared with many homes in this area including both adjacent properties, 2546 Jackson and 2590 Jackson.
- Interior access from the primary living area on the second floor to the rear yard will also be improved by the Project. The Planning Code calls for usable open space to be “as close as practical to the dwelling...with convenient private access.” (Sec. 135.) Providing direct access to the rear yard is consistent with the policies embodied in the Planning Code.
- The existing drawings from 1924 show a spiral stair in the rear yard, and this is a feature that Dan and Meagan want to re-introduce. Exhibit D.
- Out of the (8) properties along the 2500 block of Jackson Street, (5) properties have existing encroachments into the rear yard, including the (3) neighbor directly to the east of the Property. In addition (3) properties will still have rear yard encroachments exceeding the proposed Project. Exhibit A.



Thus the Project will not create an extraordinary circumstance. The spiral stair is likely an original element of the house that at some point was removed and there are many examples of more substantial encroachments into the rear yard along the 2500 block of Jackson. Exhibits A & D.

Loss of Light and Air:

Although the DR requestor does not state a specific property that will be affected by loss of light and air we will analyze the impact or lack of impact of the Project on immediate neighbors. Again, no neighboring property owner has objected to the project. The Residential Design Guidelines confirm that “some reduction of light to neighboring building can be expected with a building expansion” and recommends “open railings and decks and stair”.

The Project, balcony and spiral stair, is located on the existing north façade of the Property and north of the adjacent properties at 2590 and 2546 Jackson by 25'± & 31'± respectively, Exhibit B. As such the Project will not cast a shadow or impact Light and Air into the adjacent habitable structures. The proposed balcony is cantilevered with a glass rail and the spiral stair is an open structure with an open metal guardrail as recommended by the Guidelines, thus minimizing the casting of shadows into adjacent open space.

The property contiguous to the north at 2519 Pacific is currently 68' horizontal feet to the north of the Property and the proposed balcony will reduce this distance by 3' to 65' only at the second floor of the Property, Exhibit B. A reduction of 3' will have no impact on light and air especially since the proposed balcony is located on the second level well below the height and mass of the existing house. The shadow of the balcony will be dwarfed and shrouded by the existing shadow of the existing Property resulting in a 0% increase of shadow.

Loss of Privacy:

No immediate neighbor has expressed a concern about a loss of privacy. Nonetheless, the Residential Design Guidelines expressly recognize that some loss of privacy to existing neighboring building can be expected with a building expansion. In this case, the Project has virtually no impact on neighbor's privacy for the reasons stated above and the existing and proposed separation to structures.



The loss of privacy with 2519 Pacific will also be minimal as the balcony represents a reduction of 3' separating the two structures, from 68' to 65'. In addition the existing topography is such that Pacific is approximately 30-40 lower in elevation than Jackson St. As such the proposed balcony is level with the roof of 2519 Jackson and this vertical privacy is maintained by an existing retaining wall, fence and vegetation., Exhibit C.

D. Conclusion:

Dan and Meagan are excited to improve their home in a way that accommodates their family and restores its historical significance after 50 years of neglect and use by the French Government. The Project is purposefully very modest in scale and scope to minimize the encroachment into the rear yard, which will remain smaller than other existing encroachments on the 2500 block of Jackson St. The architects worked with the RDT during the early permitting stages to locate the spiral in the most inconspicuous and appropriate location and have designed an elegant and open balcony and stair. It has no impact on the light, air and privacy of adjacent neighbors and greatly enhances the property, in the form of direct exterior access to the rear yard, shared by adjacent properties.

Dan and Meagan now ask the Planning Commission to confirm that the Project is reasonable and modest in nature and does not rise to the threshold of "exceptional and extraordinary circumstances" that are required to approve the DR request. We respectfully request that the Planning Commission deny the Discretionary Review Request and allow the project to move forward. Thank you for your consideration.

Very Truly Yours,

Federico Engel
Butler Armsden Architect

REUBEN, JUNIUS & ROSE, LLP

January 22, 2015

By Messenger

President Rodney Fong
Commission President
San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: 2570 Jackson Street- Brief In Opposition to Discretionary Review Request

Our File No.: 8741.01

Dear President Fong:

Our office represents Dan and Meagan Nye, owners of the property located at 2570 Jackson (the “Property”). The Property is currently improved with a single family residence with three levels over basement. The residence was built in 1924 and became the French Consulate in the 1960s. The Property was purchased by Dan and Meagan in 2013 and they are currently undergoing an extensive interior renovation, under an existing permit, to bring the Property back to use as a single family residence for them and their two children.

As part of the renovation and modernization of the house, the Nyes propose to replace an existing guardrail at the front façade and, at the rear façade, add a cantilevered balcony on the second floor and a one-story spiral stair (“Project”). The Project will improve access from the main living level to the rear yard and provide direct access from this level to the front of the Property.

The Project is purposefully modest in scope and does not have an unreasonable impact to adjacent properties in the form of loss of privacy, light and air. Immediate neighbors support the Project; no one other than the DR requestor has objected. As such, we respectfully request that you deny the request for Discretionary Review and approve the new features proposed.

A. Project Overview

The Project proposes the following alterations to the existing single family home:

- Rear façade: add a new balcony on the second floor and a one-story spiral stair (Exhibit F). The proposed balcony is 3’ wide, a minimum dimension for access,

James A. Reuben | Andrew J. Junius | Kevin H. Rose | Daniel A. Frattin
Sheryl Reuben¹ | David Silverman | Thomas Tunny | Jay F. Drake | John Kevlin
Lindsay M. Petrone | Melinda A. Sarjapur | Mark H. Loper | Jody Knight | Jared Eigerman^{2,3} | John McNerney III²

1. Also admitted in New York 2. Of Counsel 3. Also admitted in Massachusetts

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cantilevered from the existing rear façade. It will have a glass guardrail. The proposed spiral stair will be 5' in diameter- a minimum dimension for a functional spiral stair, and one story in height-connecting the second floor with the rear yard. The proposed balcony and spiral stair are within the rear yard setback and as such are subject to a variance. The purpose of the project is to provide direct exterior access to the rear yard from the front property line, a feature that exists in both adjacent properties. The Project will also improve access from the main living area on the second floor to the rear yard, making this remote outdoor area more functional for Dan, Meagan and their children.

- Front façade: The DR request did not suggest modifications to the proposed 'frameless' glass rail at the front façade, which will replace a heavy metal guardrail, improve the aesthetics of the home and bring the Property closer to its historic condition. The front 15' of the guardrail extends into the required front yard setback and as such is subject to a variance. Because the DR did not object to this part of the Project, it won't be discussed in detail in the following pages.

B. Project Design Development

- Pre-Application meeting: Held on September 25, 2013. The Pre-Application meeting was attended by Jacqueline Mohanna as a representative of the Pacific Heights Residents Association (PHRA). At the time Ms. Mohanna wanted to confirm that adjacent neighbors were aware of the Project and the project sponsor stated that they were notified via the required 311 mailing. In addition the two adjacent neighbors at 2590 and 2546 were contacted directly via telephone since they are the ones most impacted by the Project. The two adjacent neighbors did not have any concerns at that time, or since, regarding the Project.
- Variance Submitted on September 24, 2013.
- Per email comment from the Project planner, Christine Lamorena, on January 7, 2014. The RDT directs that the spiral stair be relocated to the east side of the house to eliminate the need for a wall adjacent to the west property line. This redesign has the advantage of grouping our proposed rear yard encroachment with the neighbor to the east, 2546 Jackson. That building also has a rear yard encroachment in the form of a two-car garage.
- Variance hearing is held on April 23, 2014.

- Per email from planner on October 1, 2014 stating that the ZA is “inclined to grant the variance and....will finish out the 311 notification.”
- 311-30 Day notification runs 10/23-11/22.
-
- On November 13, Federico Engel of Butler Armsden Architects speaks with Greg Scott of the PHRA. Mr. Scott states that he wants the balcony and spiral stair removed from the Project or a DR will likely be filed. Mr. Scott was not willing to meet to review the project or review site impacts on neighbors. On November 17, Lewis Butler also spoke with Mr. Scott without reaching a compromise.
- Butler Armsden has contacted the two adjacent neighbors at 2590 and 2546 Jackson, as well as a neighbor to the north at 2523 Pacific. These neighbors do not have concerns about the Project. No neighbor, except for Greg Scott of the PHRA, has contacted us with concerns about the Project.

C. Project Complies with Residential Design Guidelines and Does Not Create Any Unreasonable Impacts

The DR Requestor cites one reason of extraordinary circumstances to justify Discretionary Review of the Project, that the “Building already Intrudes into the required rear yard. Proposed Addition will increase this Rear Yard Intrusion. And the DR requestor cites two unreasonable impacts: (1) “Neighbors will lose Privacy, and (2) light and air.”

Minor Rear Yard Intrusion Is Not An Exceptional or Extraordinary Circumstance:

1. None of the immediately adjacent neighbors have expressed a concern about exceptional or extraordinary impacts to their properties as a result of the Project.
2. The existing building currently encroaches into the 25% required rear yard by 6’10” for a total existing rear yard of 25’9”, while a 31’-8” setback is required. The proposed second floor balcony will encroach an additional 3’ for a new setback of 22’9”. It is a modest encroachment that would exist only on the second floor given that the balcony is fully cantilevered, open above and below, and will create a minimal change to the envelope of the Property. (Exhibit C)
3. The encroachment into the rear yard is a hardship created by the 1924 siting of the house, that creates an existing non-conforming condition, leaving 35’2”± as a front setback when only 15’ is required. The Property was built in 1924 for the Ghirardelli family and designed by Albert Farr, today considered a ‘Master

Architect'. While the property has not had a historical survey performed, it carries a Historic Resource status of 'B- Potential Historic Resource'. Thus it is not desirable or feasible to expand at the front façade, despite the excessive front setback, and a minimal expansion as currently proposed is appropriate. (Exhibit C)

4. The DR requestor argues that rear yard access already exists through the inside of the house. However, the purpose of the proposed balcony and stair is also to provide direct exterior access to the rear yard from the front of the property. This is a feature shared with many homes in this area including both adjacent properties, 2546 Jackson and 2590 Jackson. (Exhibit B)
5. Interior access from the primary living area on the second floor to the rear yard will also be improved by the Project. The Planning Code calls for usable open space to be "as close as practical to the dwelling...with convenient private access." (Sec. 135.) Providing direct access to the rear yard is consistent with the policies embodied in the Planning Code.
6. The existing drawings from 1924 show a spiral stair in the rear yard, and this is a feature that Dan and Meagan want to re-introduce. (Exhibit G)
7. Out of the 8 properties along the 2500 block of Jackson Street, 5 properties have existing encroachments into the rear yard, including the 3 neighbor directly to the east of the Property. In addition 3 properties will still have rear yard encroachments exceeding the proposed Project. (Exhibit A)

Thus the Project will not create an extraordinary circumstance. The spiral stair is likely an original element of the house that at some point was removed and there are many examples of more substantial encroachments into the rear yard along the 2500 block of Jackson.

Loss of Light and Air:

Although the DR requestor does not state a specific property that will be affected by loss of light and air, we will analyze the impact or lack of impact of the Project on immediate neighbors. Again, no neighboring property owner has objected to the project. The Residential Design Guidelines confirm that "some reduction of light to neighboring building can be expected with a building expansion" and recommends "open railings and decks and stair".

The Project's balcony and spiral stair is located on the existing north façade of the Property and north of the adjacent properties at 2590 and 2546 Jackson by 25'± & 31'± respectively. As such the Project will not cast a shadow or impact Light and Air into the adjacent habitable structures. The proposed balcony is cantilevered with a glass rail and the spiral stair is an open structure with an open metal guardrail as recommended by the Guidelines, thus minimizing the casting of shadows into adjacent open space. (See Exhibit L for light and shadow studies)

The property contiguous to the north at 2519 Pacific is currently 68 horizontal feet to the north of the Property and the proposed balcony will reduce this distance by 3' to 65' only at the second floor of the Property, (Exhibit B). A reduction of 3' will have no impact on light and air especially since the proposed balcony is located on the second level well below the height and mass of the existing house. The shadow of the balcony will be dwarfed and shrouded by the existing shadow of the existing Property.

Loss of Privacy:

No immediate neighbor has expressed a concern about a loss of privacy. Nonetheless, the Residential Design Guidelines expressly recognize that some loss of privacy to existing neighboring buildings can be expected with a building expansion. In this case, the Project has virtually no impact on either neighbor's privacy for the reasons stated above and the existing and proposed separation to structures.

The loss of privacy with 2519 Pacific will also be minimal as the balcony represents a reduction of 3' separating the two structures, from 68' to 65'. In addition, the existing topography is such that Pacific is approximately 30-40 feet lower in elevation than Jackson Street. As such the proposed balcony is level with the roof of 2519 Jackson. This vertical privacy is maintained by an existing retaining wall, fence and vegetation. (Exhibit C, H, I).

D. Conclusion:

Dan and Meagan are excited to improve their home in a way that accommodates their family and returns it closer to its historical condition after 50 years of intensive use by the French Government. The Project is purposefully very modest in scale and scope to minimize the encroachment into the rear yard, which will remain smaller than other existing encroachments on the 2500 block of Jackson St. The architects worked with the RDT during the early permitting stages to locate the spiral in the most inconspicuous and appropriate location and have designed an elegant and open balcony and stair. It has no impact on the light, air and privacy of adjacent neighbors and greatly enhances the property, in the form of direct exterior access to the rear yard, shared by adjacent properties.

President Rodney Fong
Commission President
San Francisco Planning Commission
January 22, 2015
Page 6

No immediate neighbor has objected to the Project; in fact both immediate neighbors support it. The lone objection comes from the DR Requestor. Dan and Meagan now ask the Planning Commission to confirm that the Project is reasonable and modest in nature and does not rise to the threshold of "exceptional and extraordinary circumstances" that are required to approve the DR request. We respectfully request that the Planning Commission deny the Discretionary Review Request and allow the project to move forward. Thank you for your consideration.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP



Daniel A. Frattin

Enclosures

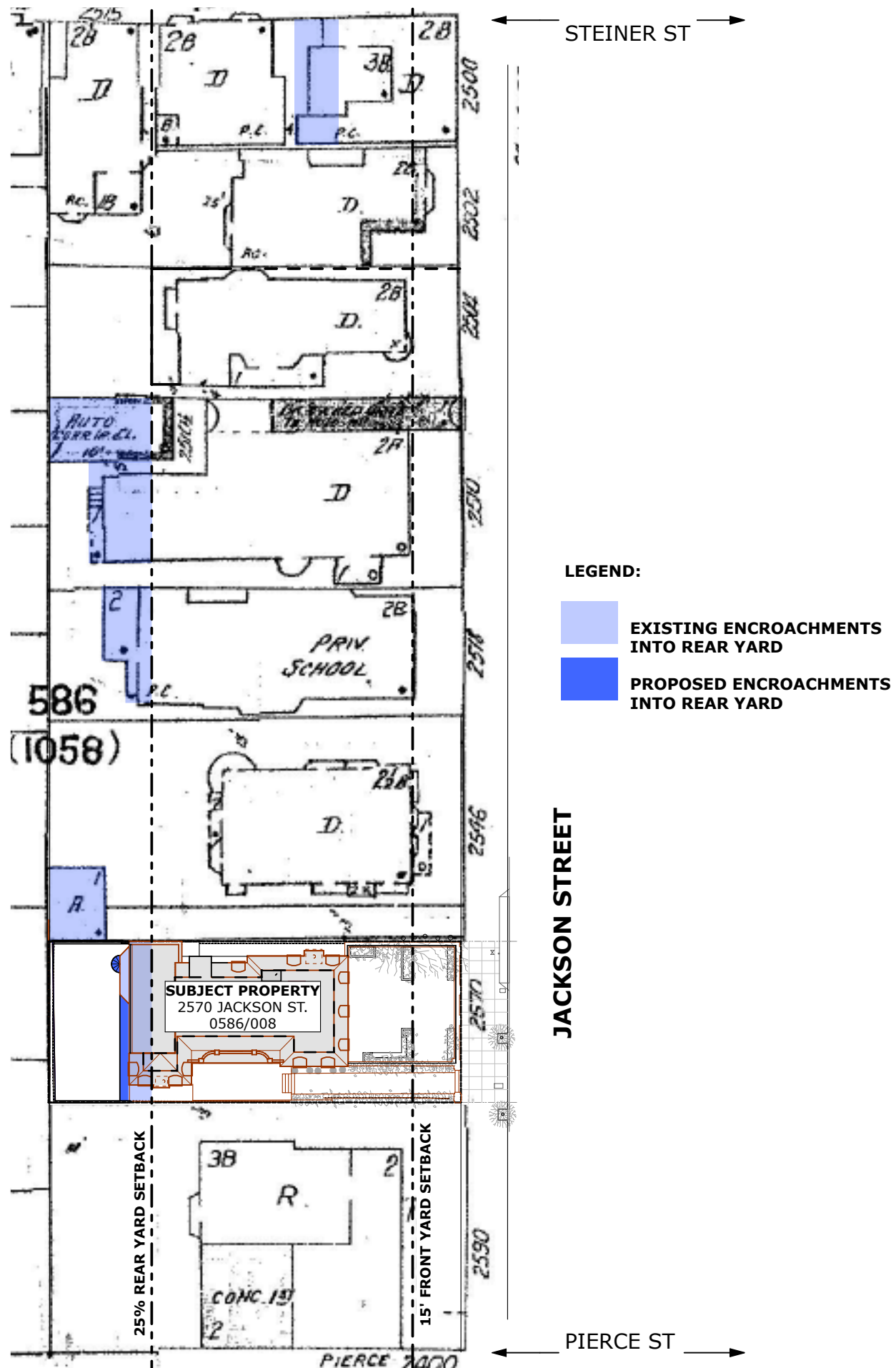
cc: Vice President Cindy Wu
Commissioner Michael Antonini
Commissioner Rich Hills
Commissioner Christine D Johnson
Commissioner Katherin Moore
Commissioner Dennis Richards
Dan and Meagan Nye- project sponsors
Jim Reuben- Project Attorney
Dan Frattin- Project Attorney
Christine Lamorena- project planner SFPlanning

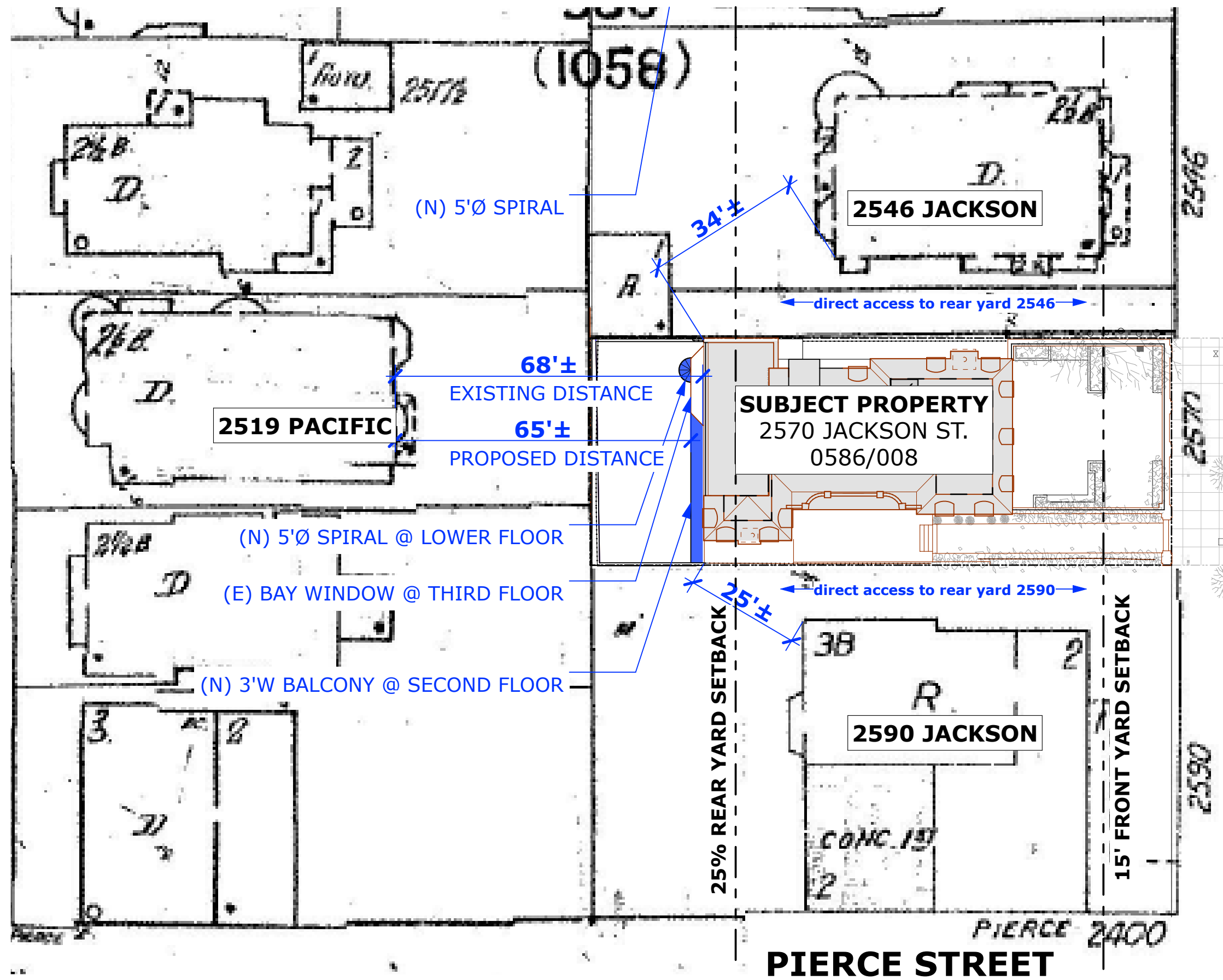
One Bush Street, Suite 600
San Francisco, CA 94104

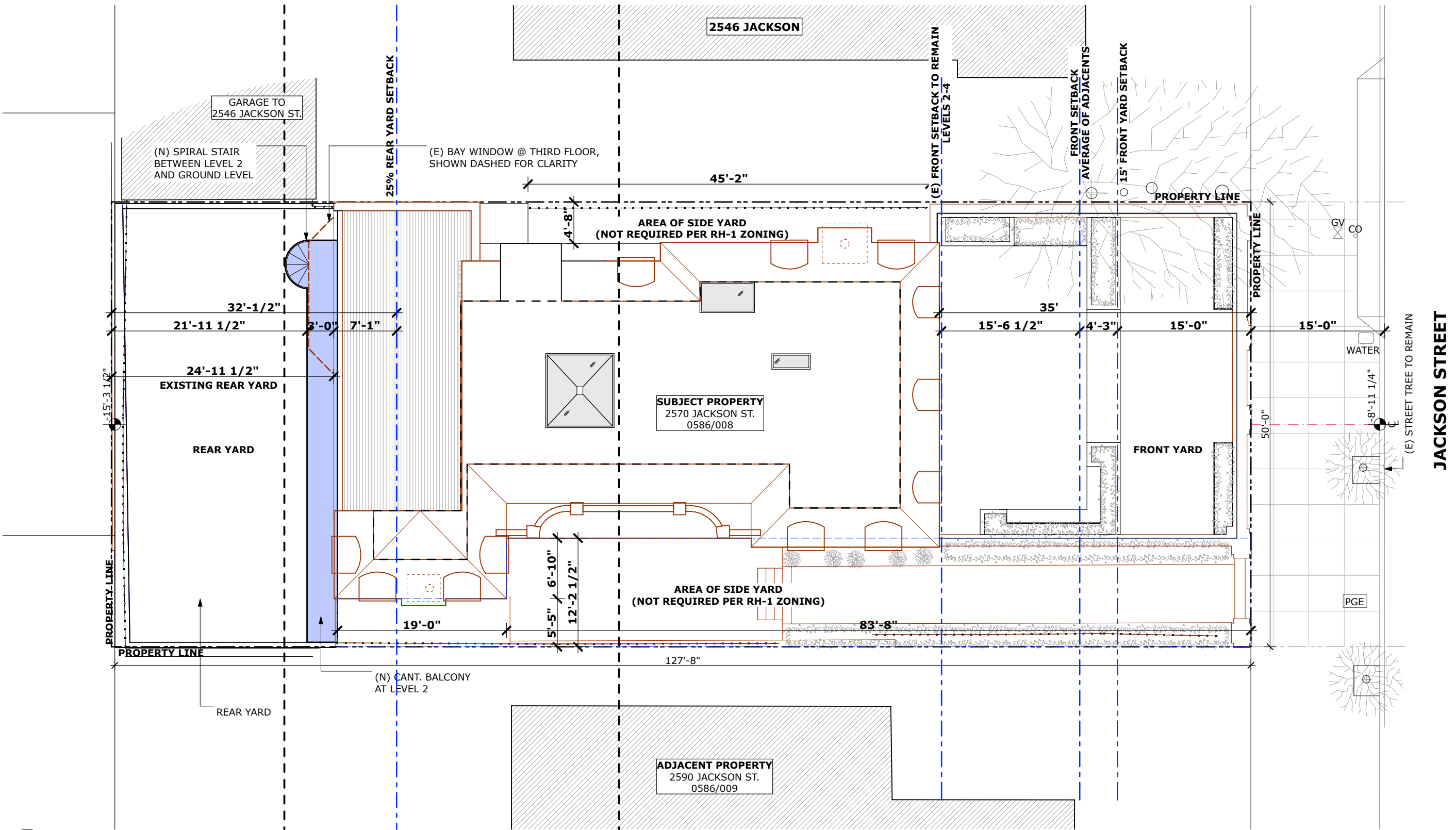
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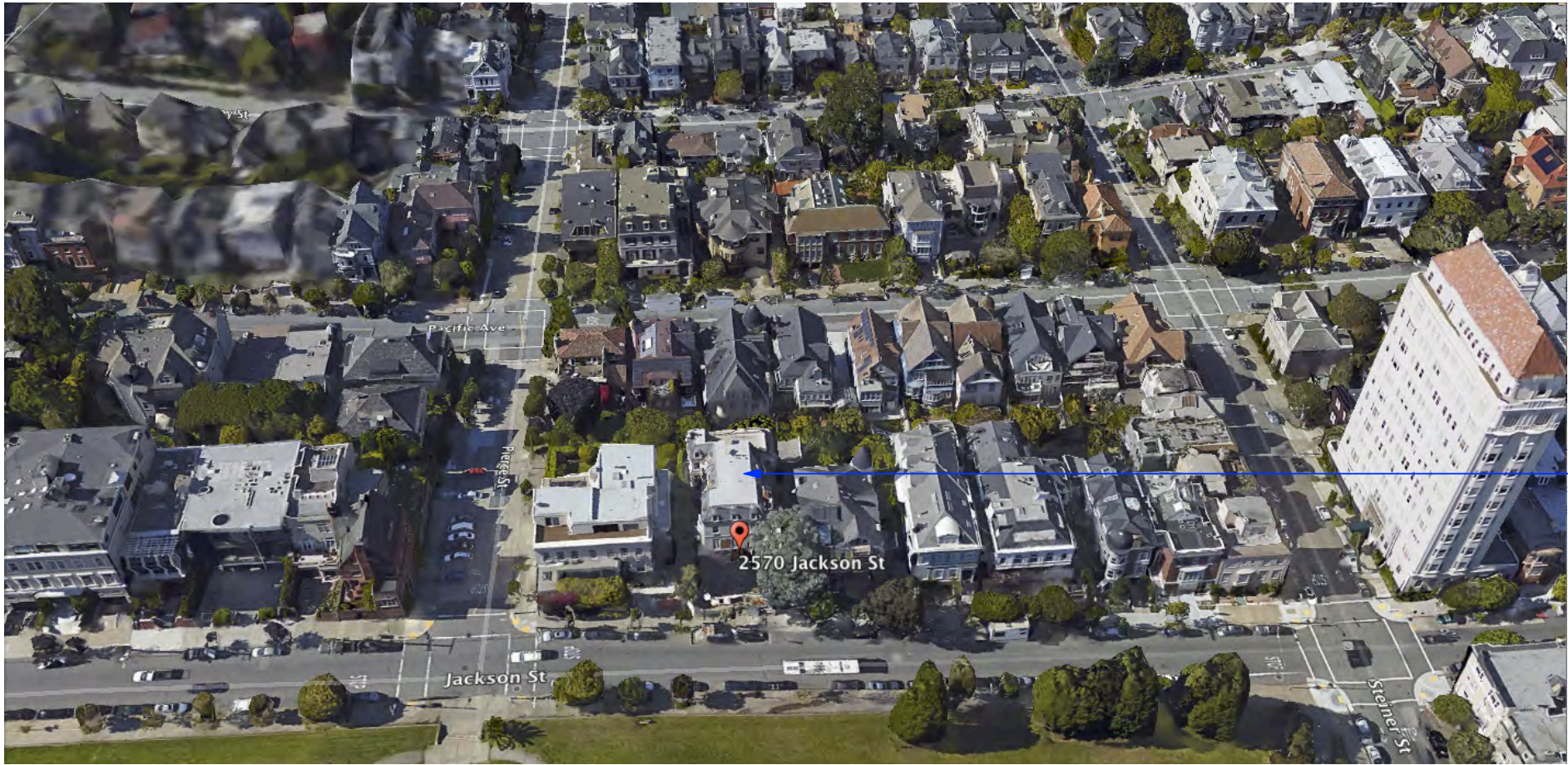
1 SITE PLAN W/ FRONT & REAR SETBACKS
NOT TO SCALE



2 CAR GARAGE AT
2548 JACKSON

SUBJECT PROPERTY
FRONT AERIAL

LARGER THAN TYPICAL
FRONT SETBACK AT LEVELS
2-4



SUBJECT PROPERTY

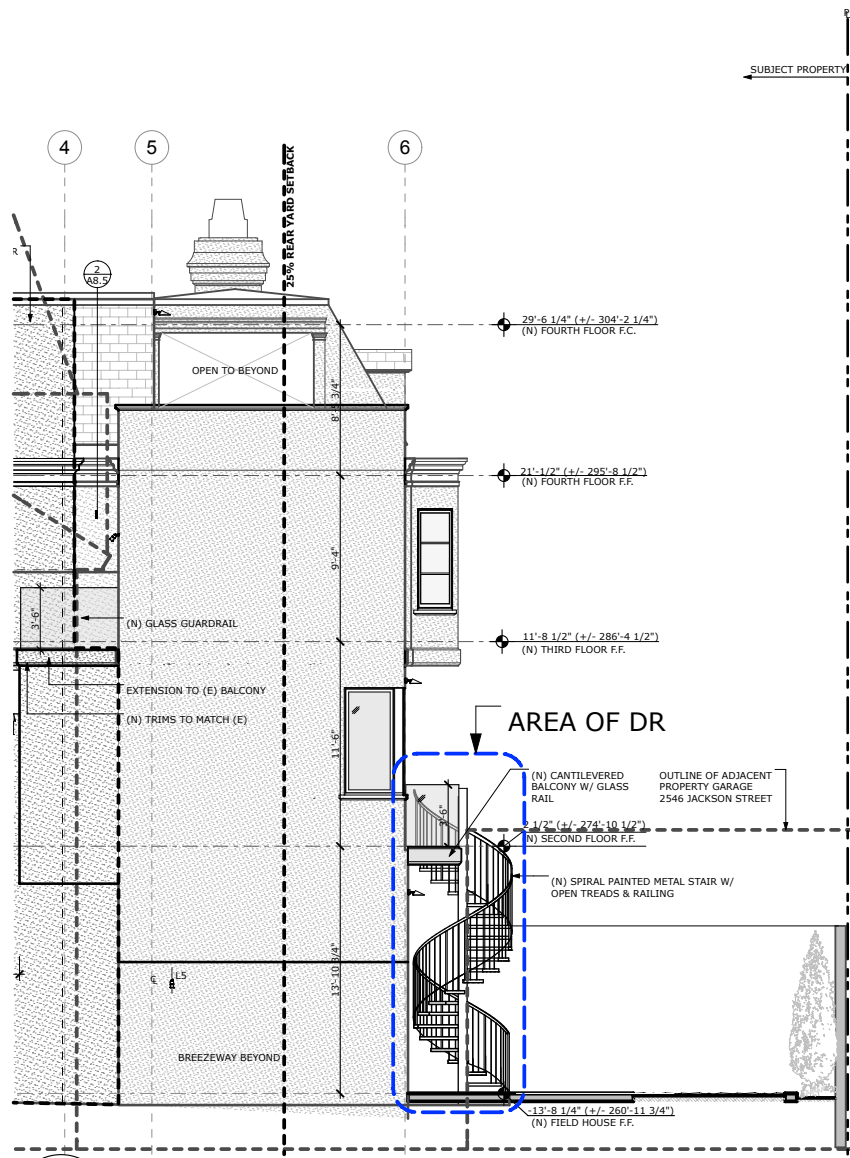


SUBJECT PROPERTY, EAST
FACADE LOOKING WEST

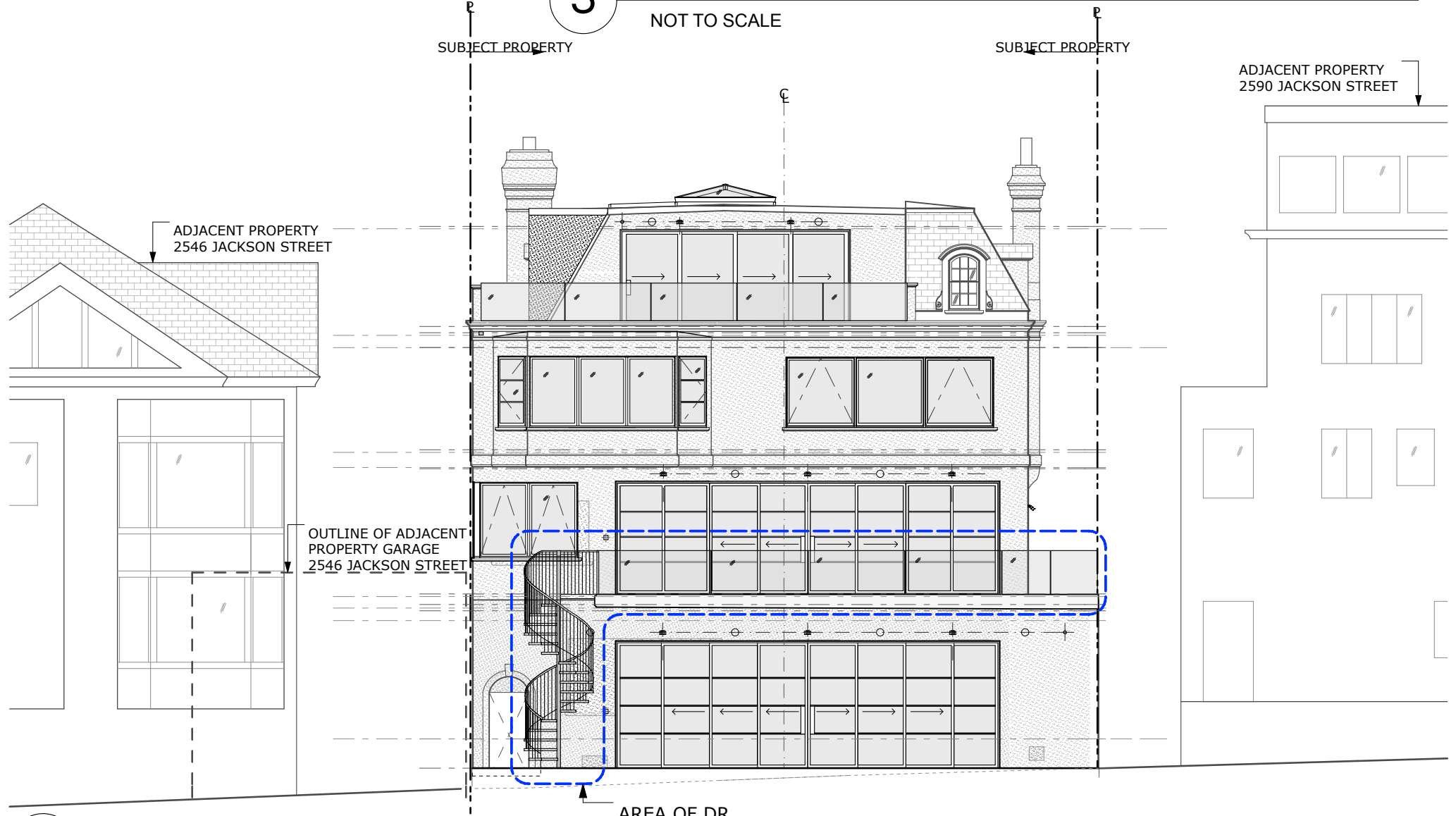
LARGER THAN TYPICAL
FRONT SETBACK AT LEVELS
2-4



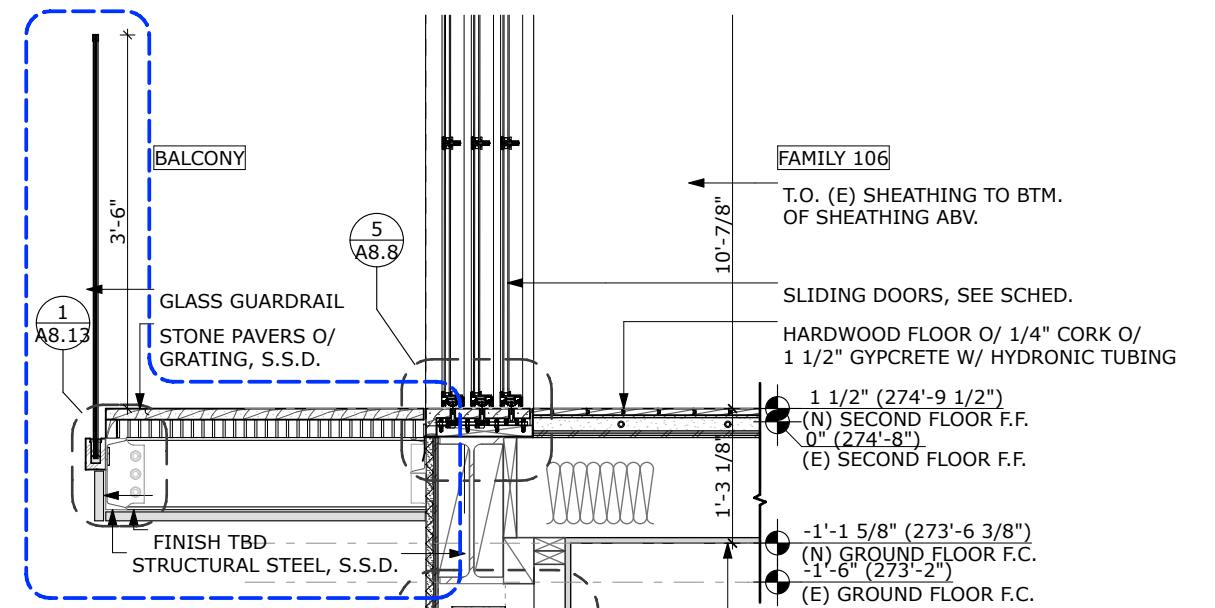
SUBJECT PROPERTY REAR
VIEW



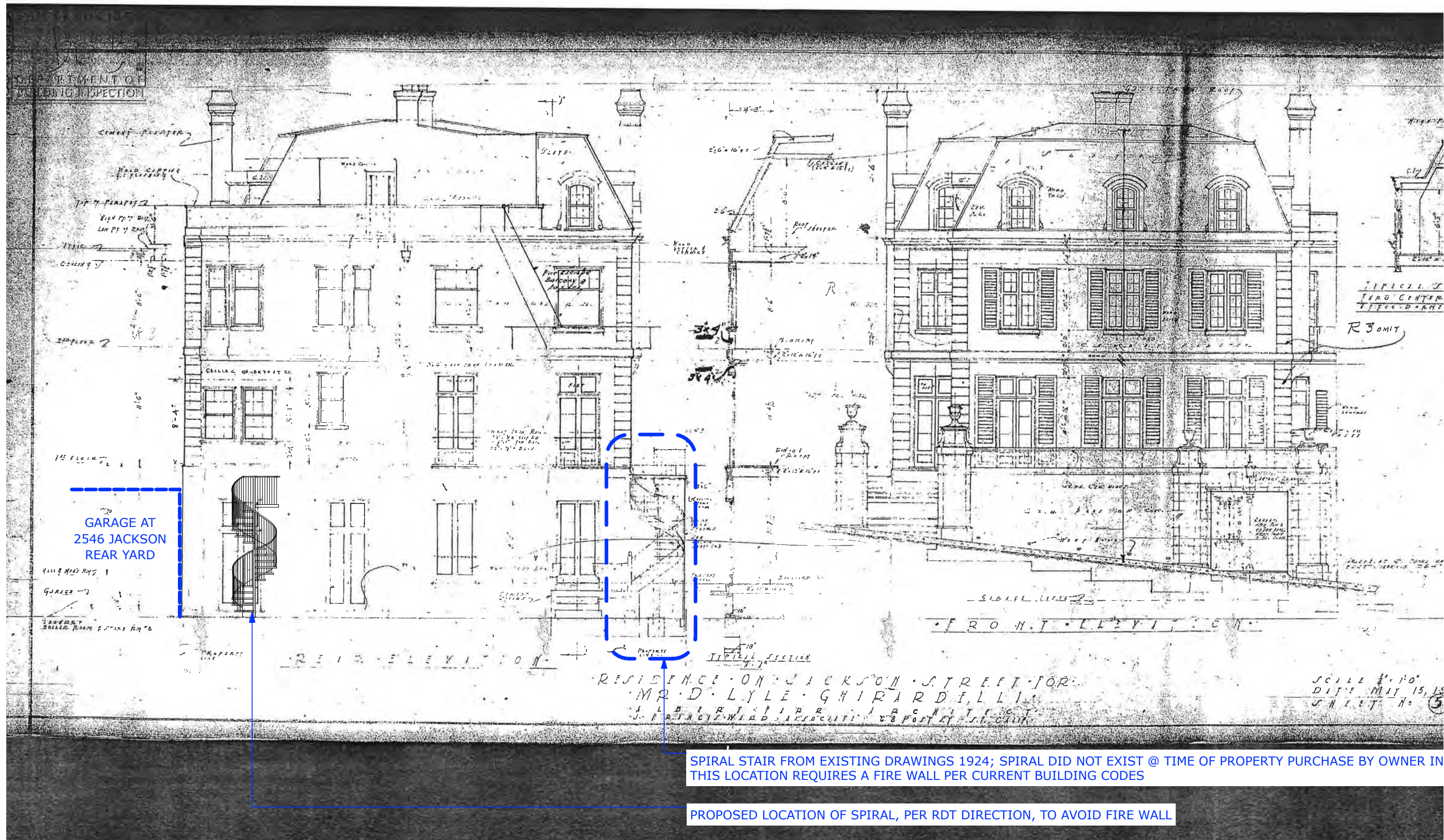
2 PARTIAL EAST ELEVATION
SCALE: 3/32" = 1'-0"



1 REAR ELEVATION
SCALE: 3/32" = 1'-0"



3 DETAIL @ CANTILEVERED BALCONY W/ GLASS RAIL
NOT TO SCALE





2 VIEW LOOKING NORTH FROM SIMULATED BALCONY

PANORAMIC PHOTO IS TAKEN FROM SCAFFOLDING AT EYE HEIGHT

2519 PACIFIC IS MORE THAN 60' AWAY

SCAFFOLDING IS 3'± AND APPROXIMATELY THE SAME DEPTH AS PROPOSED BALCONY



1 VIEW LOOKING NORTH FROM GREAT ROOM WINDOWS

PANORAMIC PHOTO IS TAKEN FROM LIVING ROOM AT EYE HEIGHT

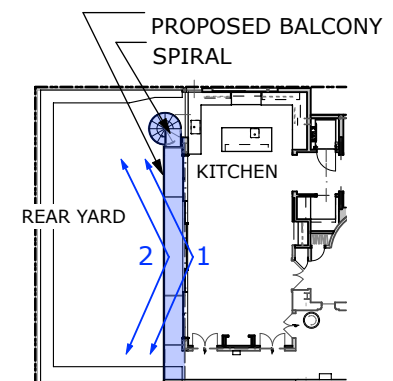


PHOTO LEGEND: PARTIAL PLAN @ 2ND FLOOR

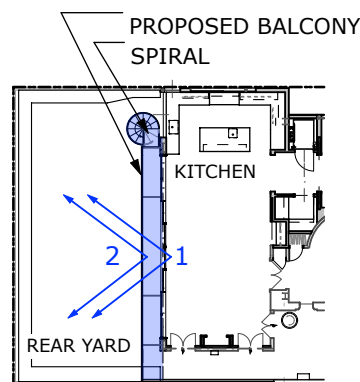


PHOTO LEGEND: PARTIAL
PLAN @ 2ND FLOOR



2 PHOTO LOOKING NORTH FROM SCAFFOLDING (SIMILAR TO BALCONY)



1 PHOTO LOOKING NORTH FROM EXISTING LIVING ROOM WINDOWS



REAR YARD PHOTO LOOKING DOWN FROM FOURTH FLOOR

APPROXIMATE TOP OF FENCES



2548



(NEIGHBOR'S GARAGE)

REAR YARD PHOTO LOOKING EAST



APPROXIMATE BALCONY

APPROXIMATE SPIRAL STAIR

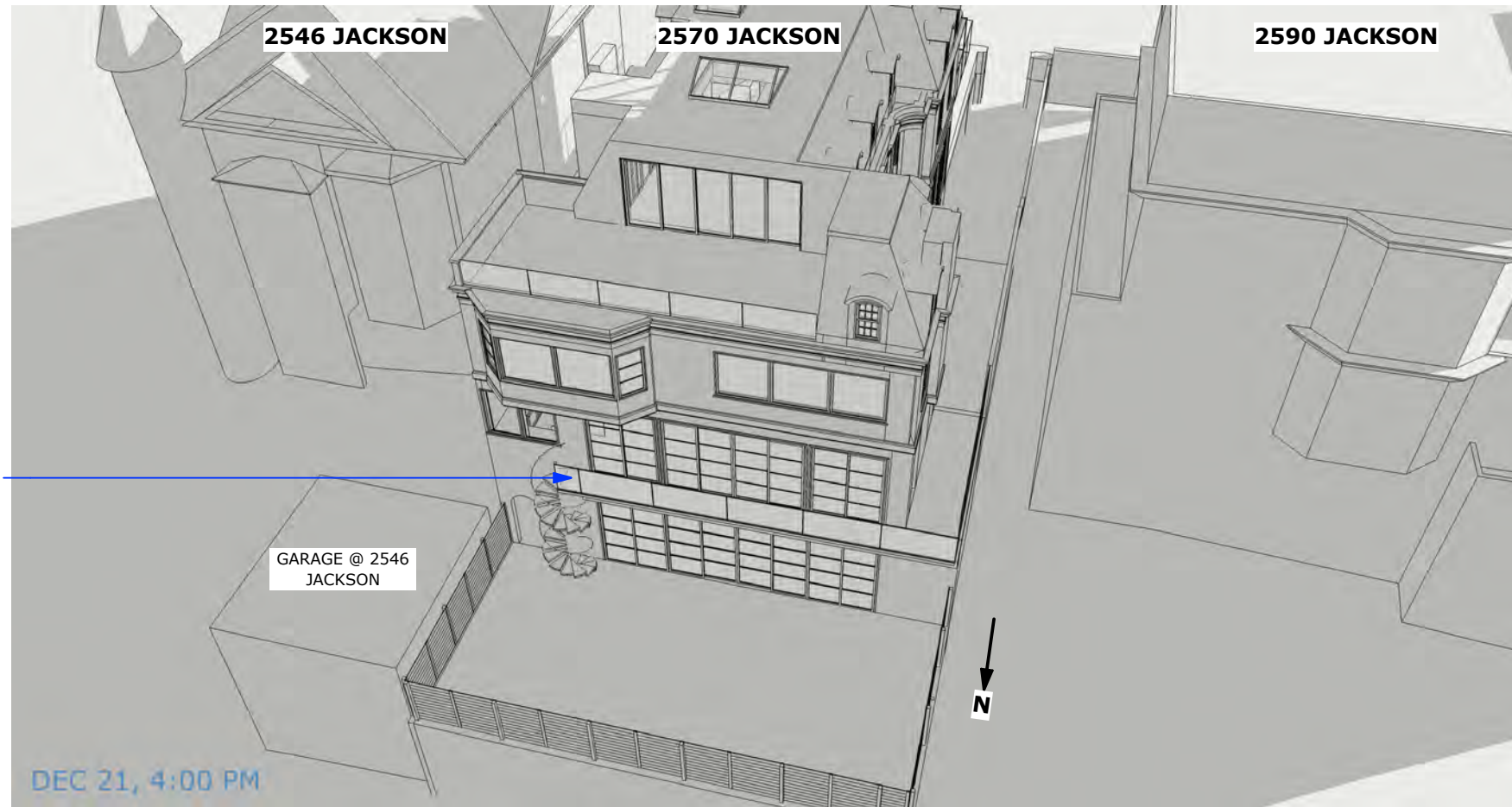
REAR YARD PHOTO SOUTH EAST



1

AERIAL PHOTO
SCALE: 1' = 1'-0"

PROJECT:
CANTILEVERED BALCONY W/ GLASS
GUARDRAIL & OPEN SPIRAL STAIR



LEGEND:



NEW SHADOW DUE TO PROJECT



EXISTING SHADOW (NO CHANGE)

2

DEC 21, 4:00PM



1

DEC 21, 8:00AM

MODEL REFERENCES & AIDS:
-GOOGLE MAPS TOPOGRAPHIC MAP
-SITE SURVEY
-SITE PHOTOS
-SANDBORN MAPS

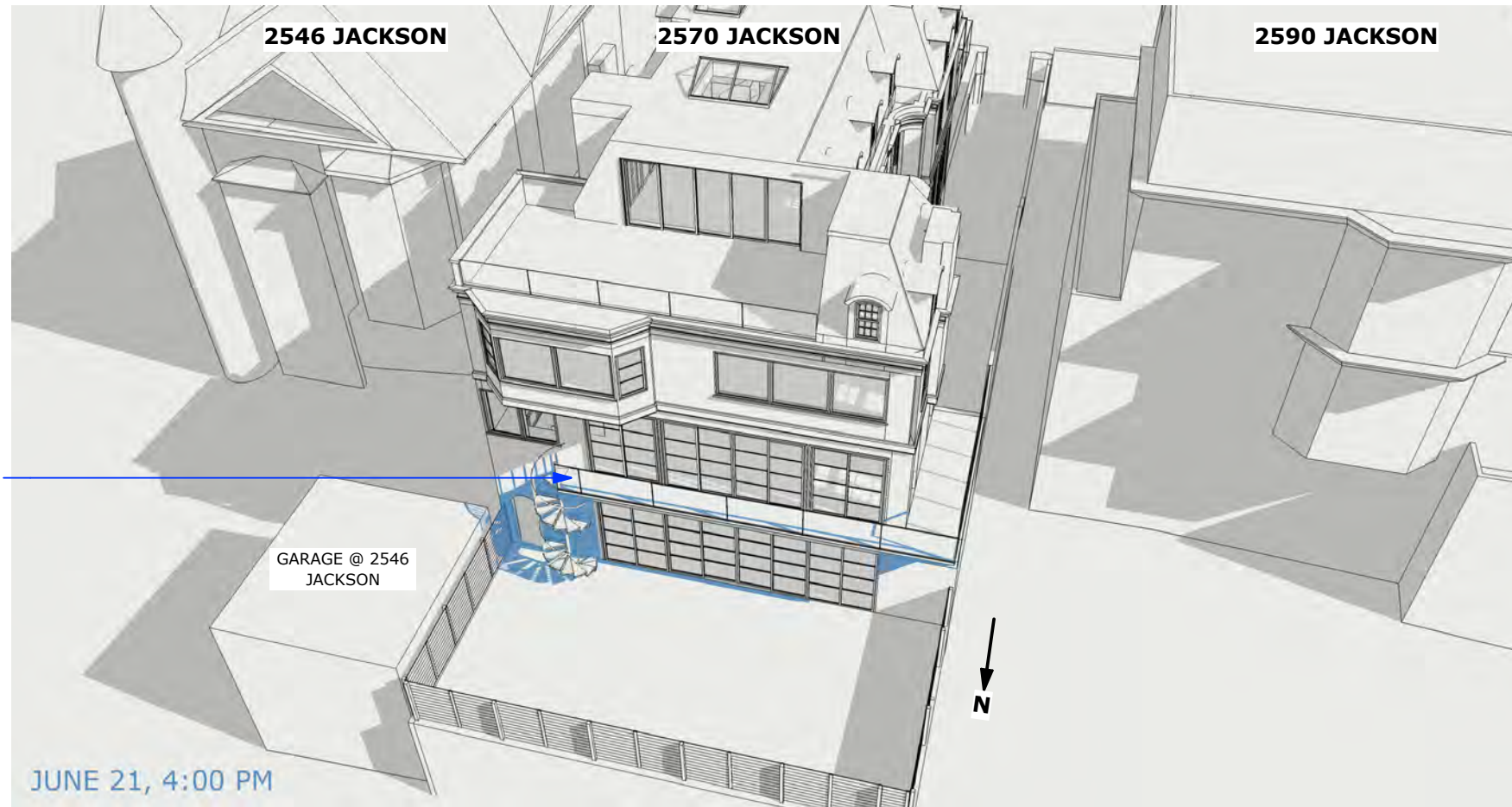
ALTA PLAZA RESIDENCE

2570 JACKSON STREET, SAN FRANCISCO, CA 94115

EXHIBIT L: SUN & SHADOW STUDIES VIEW LOOKING SOUTH EAST AT REAR FACADES

TO PLANNING 1/22/15

PROJECT:
CANTILEVERED BALCONY W/ GLASS
GUARDRAIL & OPEN SPIRAL STAIR



LEGEND:



NEW SHADOW DUE TO PROJECT



EXISTING SHADOW (NO CHANGE)

2

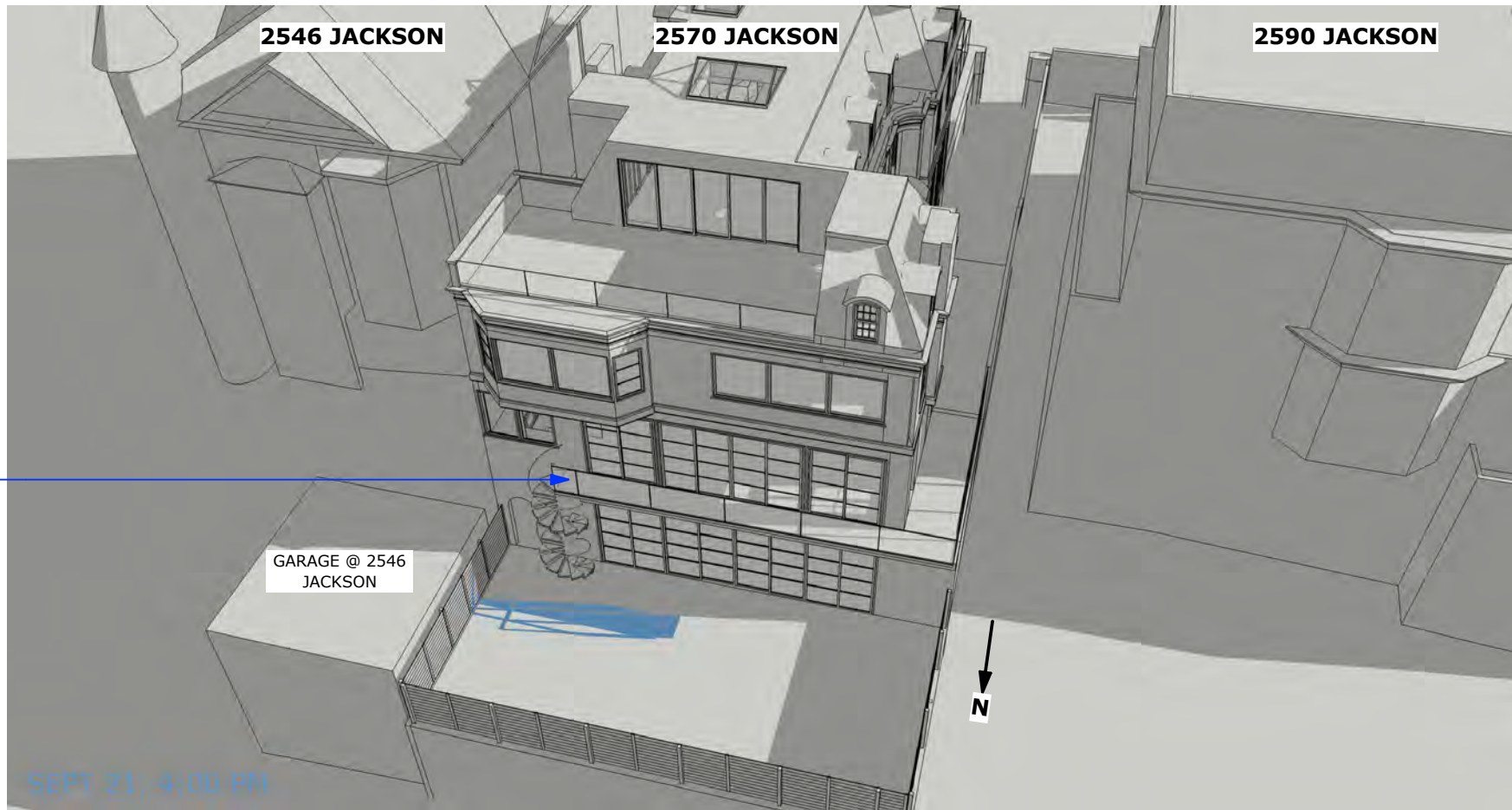
JUNE 21, 4:00PM



1

JUNE 21, 8:00AM

PROJECT:
CANTILEVERED BALCONY W/ GLASS
GUARDRAIL & OPEN SPIRAL STAIR



LEGEND:



NEW SHADOW DUE TO PROJECT



EXISTING SHADOW (NO CHANGE)

2

SEPT 21, 4:00PM

MARCH 20, SIM.



1

SEPT 21, 8:00AM

MARCH 20, SIM.

ABBREVIATIONS

& # (D) (E) (N) (R)	AND ANGLE AT CENTERLINE DIAMETER NUMBER DEMOLISH EXISTING NEW REMOVE	F.D. F.F. & E. F.F. FIN. FIN. FLUOR. FIXT. F.O. F.O.C. F.O.F. F.O.S. FNDN. FT. FTG. FURR.	FLOOR DRAIN FURNITURE, FIXTURES & EQUIP FINISH FLOOR FINISH FINISH FLOOR FLUORESCENT FIXTURE FACE OF FACE OF CONCRETE FACE OF FINISH FACE OF STUD FOUNDATION FOOT OR FEET FOOTING FURRING	P.G. PL PLAM. PLYWD. PR. PROPLN. P.T.	PAINT GRADE PLATE PLASTIC LAMINATE PLYWOOD PAIR PROPERTY LINE PRESSURE TREATED
A.B. ABV. ADJ. A.F.F. AGGR. ALN. ALUM. APPROX. ARCH. AV.	ANCHOR BOLT ABOVE ADJACENT ABOVE FINISHED FLOOR AGGREGATE ALIGN ALUMINUM APPROXIMATE ARCHITECTURAL AUDIO VISUAL	GALV. GAGE G.F.I.C. GL GR. GRND. GSM. GYP.	GALVANIZED GAGE GROUND FAULT INTERCEPTOR CIRCUIT GLASS GRADE GROUND GALVANIZED SHEET METAL GYPSUM	R. RAD. R.D. REDWD. REF. REFR. REINF. REQ. RESIL. R.L. RM. R.O.	RISER RADIUS ROOF DRAIN REDWOOD REFERENCE REFRIGERATOR REINFORCED REQUIRED RESILIENT RAIN LEADER ROOM ROUGH OPENING
BD. BLDG. BLK. BLKG. BM. B.O. B.U.R. B/W	BOARD BUILDING BLOCK BLOCKING BEAM BOTTOM OF BUILT UP ROOFING BETWEEN	H.B. H.C. HDWD. HDWR. HT. HORIZ. HR.	HOSE BIB HOLLOW CORE HARDWOOD HARDWARE HEIGHT HORIZONTAL HOUR	S. S.C. SCHD. SD SECT. SHR. SHT. SIM. SL. S.L.D. SPEC. SQ. S.S.D.	SOUTH SOLID CORE SCHEDULE SMOKE DETECTOR SECTION SHOWER SHEET SIMILAR SLOPE SEE LANDSCAPE DRAWINGS SPECIFICATION SQUARE SEE STRUCTURAL DRAWINGS STAINLESS STEEL STD. STL. STOR. STRUC. SYM.
CAB. CEM. CER. CLG. CLKG. CLR. C.M.U. C.O. COL. CONC. CONT.	CABINET CEMENT CERAMIC CEILING CAULKING CLEAR CONC. MASONRY UNIT CENTER OF COLUMN CONCRETE CONTINUOUS	INSUL. INT. LAM. LAV. L.O. LT.	INSULATION INTERIOR LAMINATE LAVATORY LINE OF LIGHT	T. T.B. TEL. T.G. THK. TMFR. T.O. T.O.P. T.O.W. T.S. T.V. TYP.	TREAD TOWEL BAR TELEPHONE TONGUE AND GROVE THICK TEMPERED TOP OF TOP OF PAVEMENT TOP OF WALL TUBULAR STEEL TELEVISION TYPICAL
DBL. DTL. DIA. DIM. DN. DR. DS. DWG. DWR.	DOUBLE DETAIL DIAMETER DIMENSION DOWN DOOR DOWNSPOUT DRAWING DRAWER	MAX. MED. CAB. MECH. MEMB. MTL. MTD. MFR. MIN. MIR. MISC.	MAXIMUM MEDICINE CABINET MECHANICAL MEMBRANE METAL MOUNTED MANUFACTURER MINIMUM MIRROR MISCELLANEOUS	U.O.N. V.C.T. VERT. V.I.F.	UNLESS OTHERWISE NOTED VINYL COMPOSITION TILE VERTICAL VERIFY IN FIELD
E. EA. ELEC. ELEV. ENCL. EO. EQUIP. EXT.	EAST EACH ELECTRICAL ELEVATION ENCLOSURE EQUAL EQUIPMENT EXTERIOR	N. N.I.C. NO. NOM. N.T.S.	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE	W. W/ WD. W/O W.P. WT.	WEST WITH WOOD WITHOUT WATERPROOFING WEIGHT

SYMBOLS

	DRAWING/DETAIL REFERENCE TAG DRAWING OR DETAIL SHEET WHERE DRAWING/DETAIL OCCURS
	SECTION REFERENCE TAG BUILDING SECTION SHEET WHERE SECTION OCCURS
	INTERIOR ELEVATION REFERENCE TAG INTERIOR ELEVATION SHEET WHERE INTERIOR ELEVATION OCCURS
	ALIGN
	HIDDEN LINE
	STUD WALL (UNLESS NOTED OTHERWISE)
	CONCRETE STRUCTURE, S.S.D.
	INSULATION IN SECTION (BATT)
	INSULATION IN SECTION (RIGID)
	LATH AND PLASTER IN SECTION
	GYPSUM BOARD IN SECTION
	PLYWOOD IN SECTION
	FINISH WOOD IN SECTION
	GLASS IN SECTION
	DOOR TAG
	WINDOW TAG
	PLUMBING FIXTURE TAG
	PLUMBING FITTING TAG
	APPLIANCE TAG
	EQUIPMENT TAG
	REVISION TAG
	MATCHLINE
	WORKPOINT OR DATUM
	WALL TYPE TAG
	THRESHOLD

GENERAL NOTES

- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.
- CONTRACTOR WILL HAVE EXAMINED THE PREMISES AND SITE SO AS TO COMPARE THEM WITH THE DRAWINGS AND WILL HAVE SATISFIED HIMSELF AS TO THE CONDITION OF EXISTING WORK AND ADJACENT PROPERTY PRIOR TO SUBMISSION OF BID. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON BEHALF OF THE CONTRACTOR BY REASON OF ANY OMISSION ON HIS PART TO INCLUDE THE COSTS OF ALL ITEMS OF WORK, EITHER LABOR OR MATERIALS, WHETHER THEY ARE OR ARE NOT ESPECIALLY OR PARTICULARLY SHOWN OR NOTED BUT WHICH ARE IMPLIED OR REQUIRED TO ATTAIN THE COMPLETED CONDITIONS PROPOSED IN THE DRAWINGS.
- ALL SUBCONTRACTORS TO THE GENERAL CONTRACTOR SHALL INSPECT THE SITE AND SHALL CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND SCOPE OF WORK TO THE ARCHITECT PRIOR TO SUBMITTING BID AND PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OF PERSONS DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.
- CONTRACTOR TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.
- CONTRACTOR TO CONFORM TO HOMEOWNERS ASSOCIATION RULES AND GUIDELINES.
- CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD ITEMS AND OF APPROXIMATE DELIVERY DATES.
- ALL CONSTRUCTION MATERIALS AND SUPPLIES TO BE STORED, HANDLED, AND INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
- IF ERRORS OR OMISSIONS ARE FOUND IN THE DRAWINGS THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION. THE CONTRACTOR SHOULD ANTICIPATE, BASED ON EXPERIENCE, A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND SHOULD CONSIDER SUCH ADJUSTMENTS AS INCLUDED IN THE SCOPE OF WORK.
- WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
- ALL DIMENSIONS TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED OFF DRAWINGS.
- THESE NOTES TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE SPECIFIC REQUIREMENTS ARE INDICATED APPLICABLE TO PARTICULAR DIVISIONS OF THE WORK. SEE SPECIFICATIONS AND GENERAL NOTES IN THE SUBSECTIONS OF THESE DRAWINGS.
- ALL DIMENSIONS ARE TO FACE OF FINISH, U.O.N.
- WEATHER STRIP ALL DOORS LEADING FROM HEATED TO UNHEATED AREAS. PROVIDE VINYL BEAD TYPE WEATHER STRIPPING AT THESE DOORS AND WINDOWS. ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED, INCLUDING THE THRESHOLD.
- CAULK AND SEAL OPENINGS IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION.
- WINDOWS TO BE OPERABLE AND CLEANED, U.O.N.
- ALL WALL FRAMING SHALL BE 2x4 @ 16" O.C. MINIMUM, U.O.N.
- ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.
- ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.
- STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE 'D' BUILDING PAPER.
- STRUCTURAL WOOD MEMBERS ADJACENT TO CONCRETE ARE TO BE PRESSURE TREATED DOUGLAS FIR.

NOTE: DESIGN BASED ON THE CBC 2010 & SAN FRANCISCO BUILDING CODE 2010 AMENDMENTS. CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE SECTIONS.

PROJECT TEAM

ARCHITECT:
BUTLER ARMSDEN ARCHITECTS
2849 CALIFORNIA STREET
SAN FRANCISCO, CA 94115
T 415-674-5554
F 415-674-5558

SURVEYOR:
FORESIGHT LAND SURVEYING
524 UNION STREET, SUIT 295
SAN FRANCISCO, CA 94133
T 415-735-6190

VICINITY MAP



PROJECT DATA

BLOCK: 0586	ZONED: RH-1				
LOT: 008	HEIGHT LIMIT: 40-X				
LOT SIZE: 6,384	OCCUPANCY: R-3				
UNCONDITIONED SPACE		EXISTING		PROPOSED	
GROUND FLOOR		505	sqft.	--	sqft.
SECOND FLOOR		--	sqft.	--	sqft.
THIRD FLOOR		--	sqft.	--	sqft.
FOURTH FLOOR		--	sqft.	--	sqft.
TOTAL:		505	sqft.	--	sqft.
CONDITIONED SPACE		EXISTING		PROPOSED	
GROUND FLOOR		3,707	sqft.	--	sqft.
SECOND FLOOR		2,410	sqft.	--	sqft.
THIRD FLOOR		2,410	sqft.	--	sqft.
FOURTH FLOOR		1,312	sqft.	--	sqft.
TOTAL:		9,839	sqft.	--	sqft.
TOTAL:		10,344	sqft.	--	sqft.
		EXISTING		PROPOSED	
CONSTRUCTION CLASSIFICATION		V-B		V-B	
		EXISTING		PROPOSED	
FIRE SPRINKLER		N/A NFPA SYSTEM 13 (UNDER SEPARATE PERMIT)			

CODES

2013 CA BLDG. CODE
2013 S.F. BLDG. CODE & AMENDMENTS
2013 CA ENERGY CODE
2013 S.F. ELECTRICAL CODE
2013 S.F. MECHANICAL CODE
2013 S.F. PLUMBING CODE
2013 S.F. FIRE CODE

SCOPE OF WORK

- REPLACE (E) WINDSCREEN AT SOUTH ROOF DECK
- REPLACE (E) WINDSCREEN AT NORTHWEST PATIO
- ADD NEW BALCONY & SPIRAL STAIR TO REAR YARD
VARIANCE #2013.1361
ALL OTHER SCOPE PER #2013.10.02.8247

SHEET INDEX

ARCHITECTURAL:

- A0.0 TITLE SHEET
- A0.1 SITE PLAN
- A0.2 SITE PHOTOS
- A0.3 SURVEY

- A1.1 DEMOLITION PLAN - GROUND FLOOR
- A1.2 DEMOLITION PLAN - SECOND FLOOR
- A1.3 EXISTING EXTERIOR ELEVATIONS - SOUTH, NORTH
- A1.4 EXISTING EXTERIOR ELEVATIONS - WEST
- A1.5 EXISTING EXTERIOR ELEVATIONS - EAST

- A2.1 PROPOSED PLAN - GROUND FLOOR
- A2.2 PROPOSED PLAN - SECOND FLOOR

- A3.1 EXTERIOR ELEVATIONS - SOUTH, NORTH
- A3.2 EXTERIOR ELEVATIONS - WEST
- A3.3 EXTERIOR ELEVATIONS - EAST

SITE PERMIT - VARIANCE 5/18/14

PERMIT SET

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DATE:	03/24/2014
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SCALE:	AS NOTED

TITLE SHEET

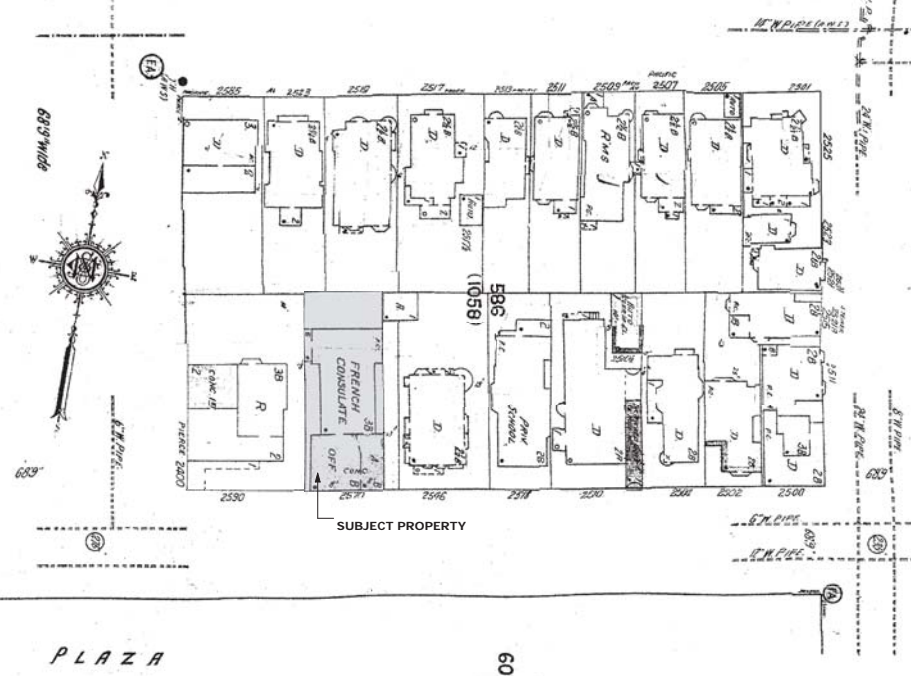
A0.0

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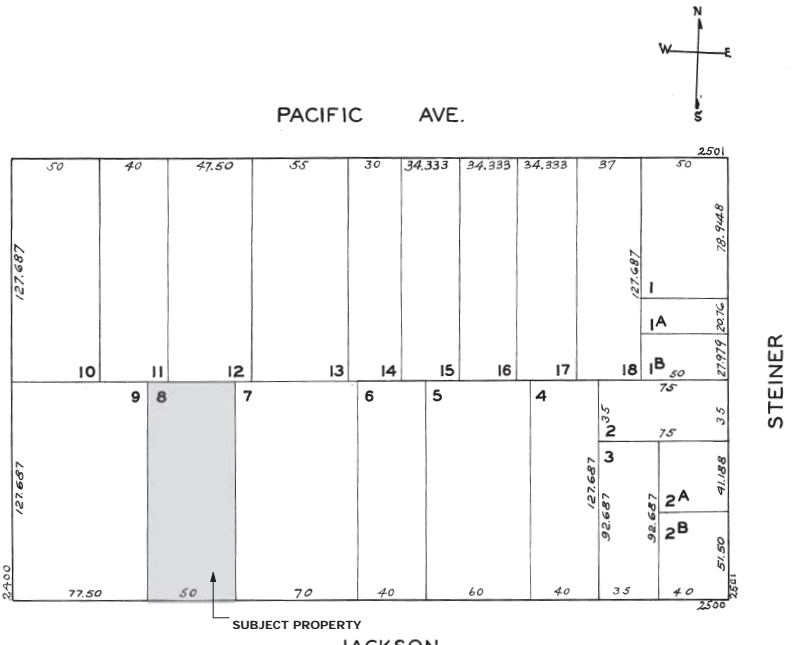
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2 HISTORIC SANBORN MAP
NOT TO SCALE



1 BLOCK MAP
NOT TO SCALE

WALL LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING WALL
	NEW WALL

ALL OTHER WORK UNDER
PERMIT #2013.10.02.8247

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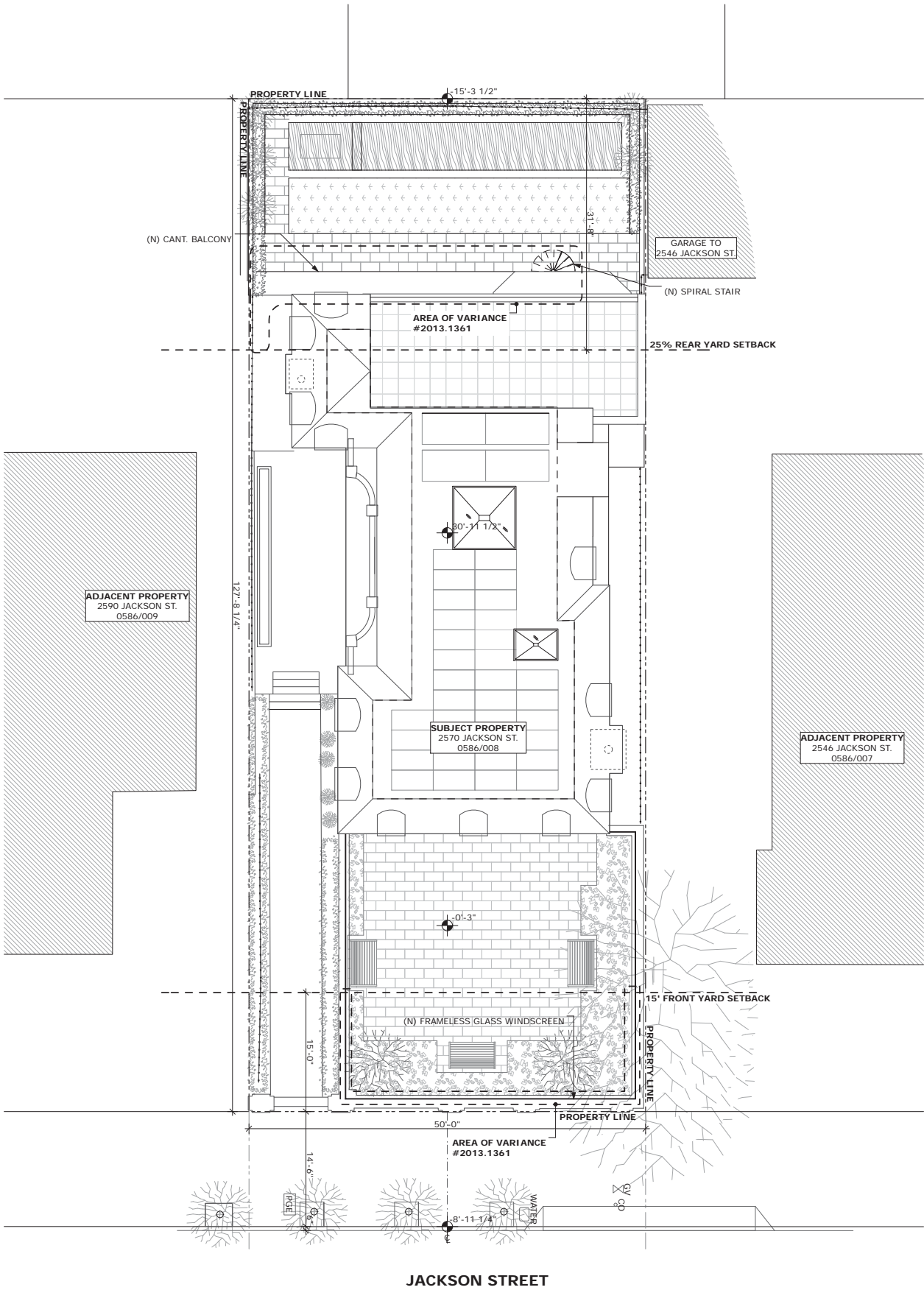
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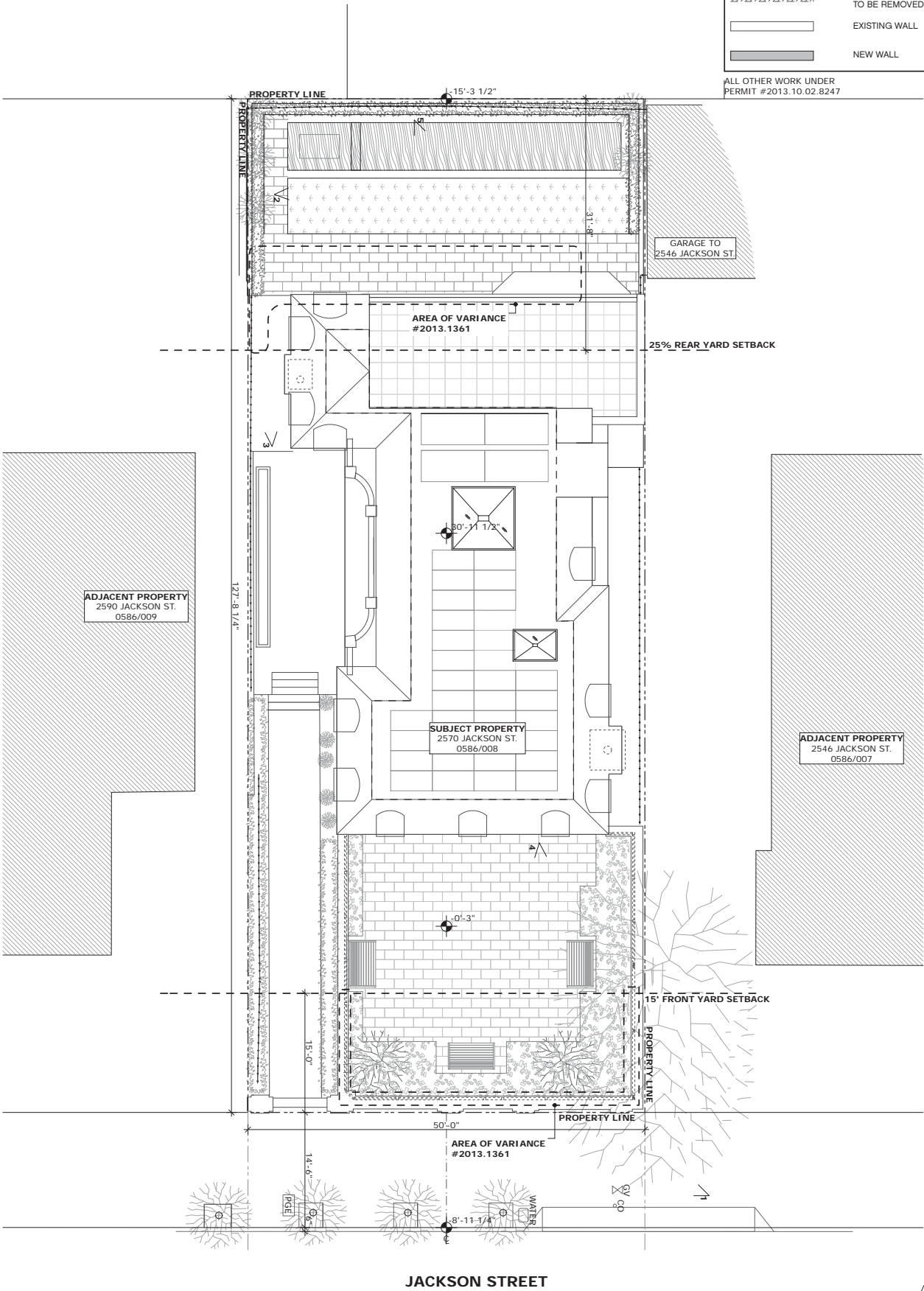


SITE PLAN

A0.1



2 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



1 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"



5 REAR FACADE



4 (E) METAL & GLASS WINDSCREEN @ S. ROOF DECK



3 (E) WINDSCREEN @ NW PATIO



2 REAR YARD



1 SOUTHEAST CORNER - VIEW OF GARAGE FROM SIDEWALK

PERMIT SET

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SCALE:	AS NOTED

SITE PHOTOS

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SCALE:	AS NOTED



SURVEY

SURVEY BY: FORESIGHT LAND SURVEYING

PIERCE STREET

LOT 10

ADJACENT PROPERTY
2523 PACIFIC AVE
LOT 11

ADJACENT PROPERTY
2519 PACIFIC AVE
LOT 12

ADJACENT PROPERTY
2590 JACKSON STREET
LOT 9

ADJACENT PROPERTY
2546 JACKSON STREET
LOT 7

SUBJECT PROPERTY
2570 JACKSON STREET
LOT 8
BLOCK 0586
3-STY WD FRAME
DETACHED GARAGE
LOT AREA = 6,384 SQFT

JACKSON STREET
(68.75' WIDE)

1 SURVEY
SCALE: 1" = 10'

A0.3



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PERMIT SET

[illegible]

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SCALE:	AS NOTED

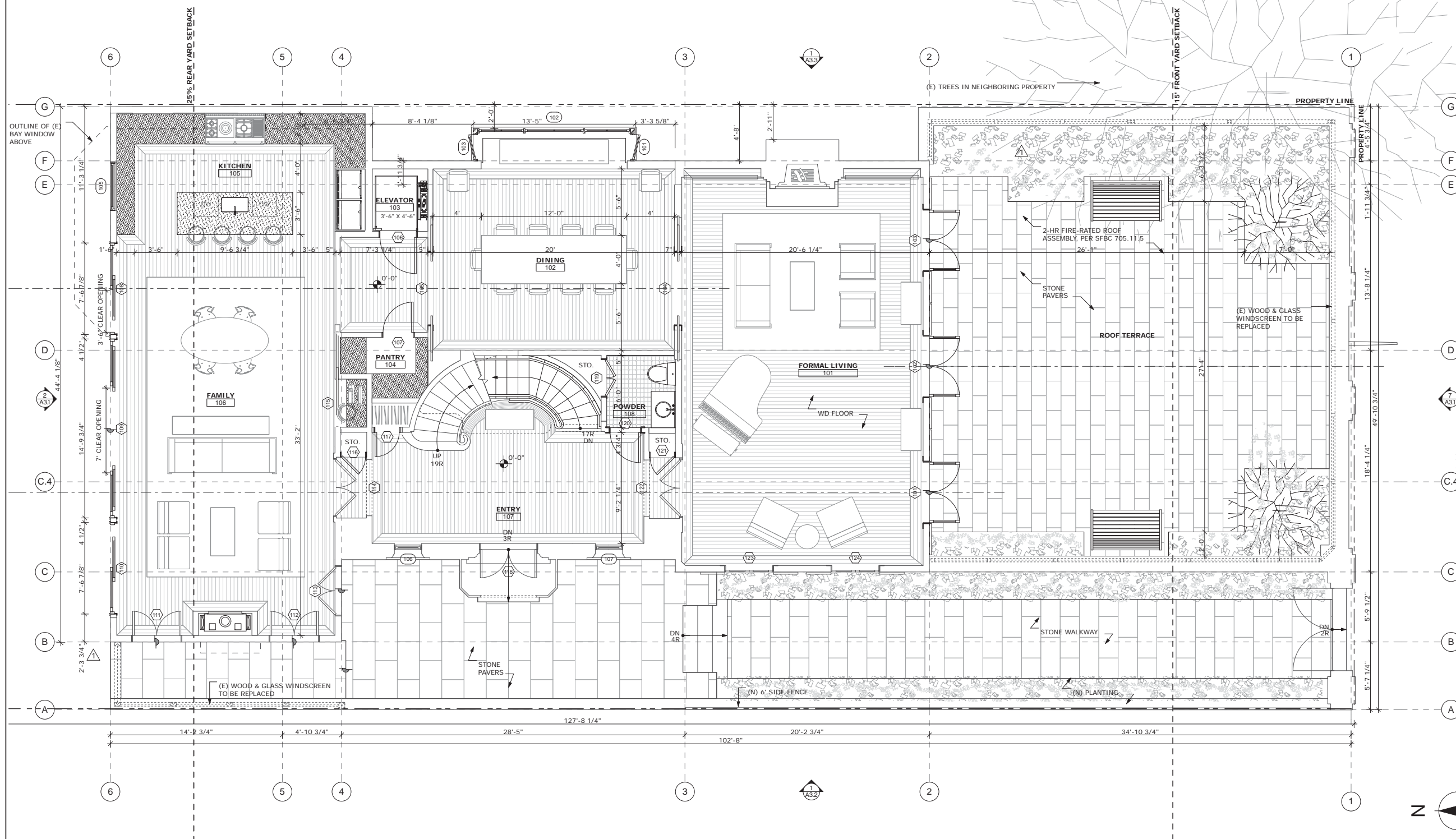
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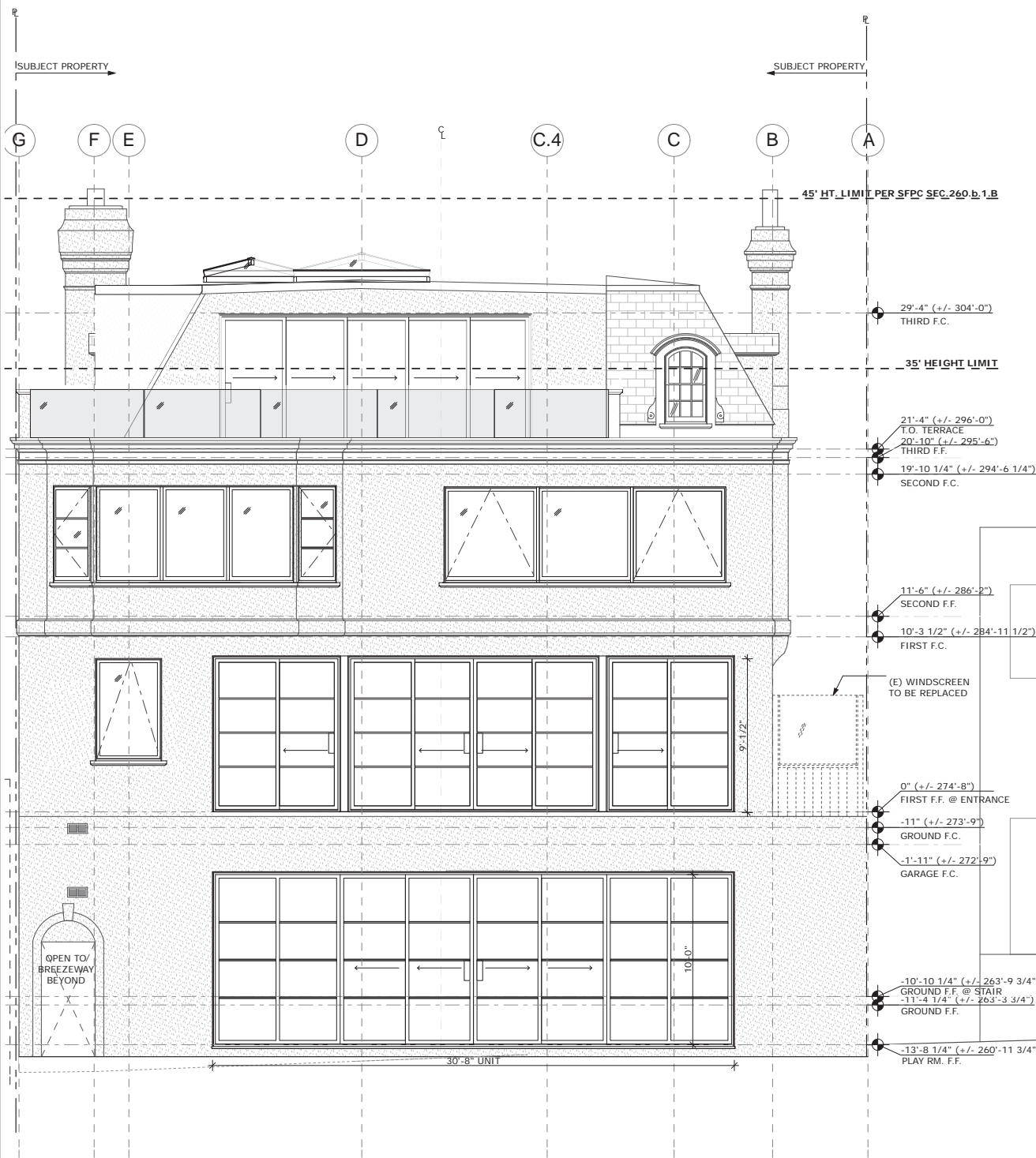
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SCALE:	AS NOTED

SECOND FLOOR DEMO PLAN

A1.2



1 EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

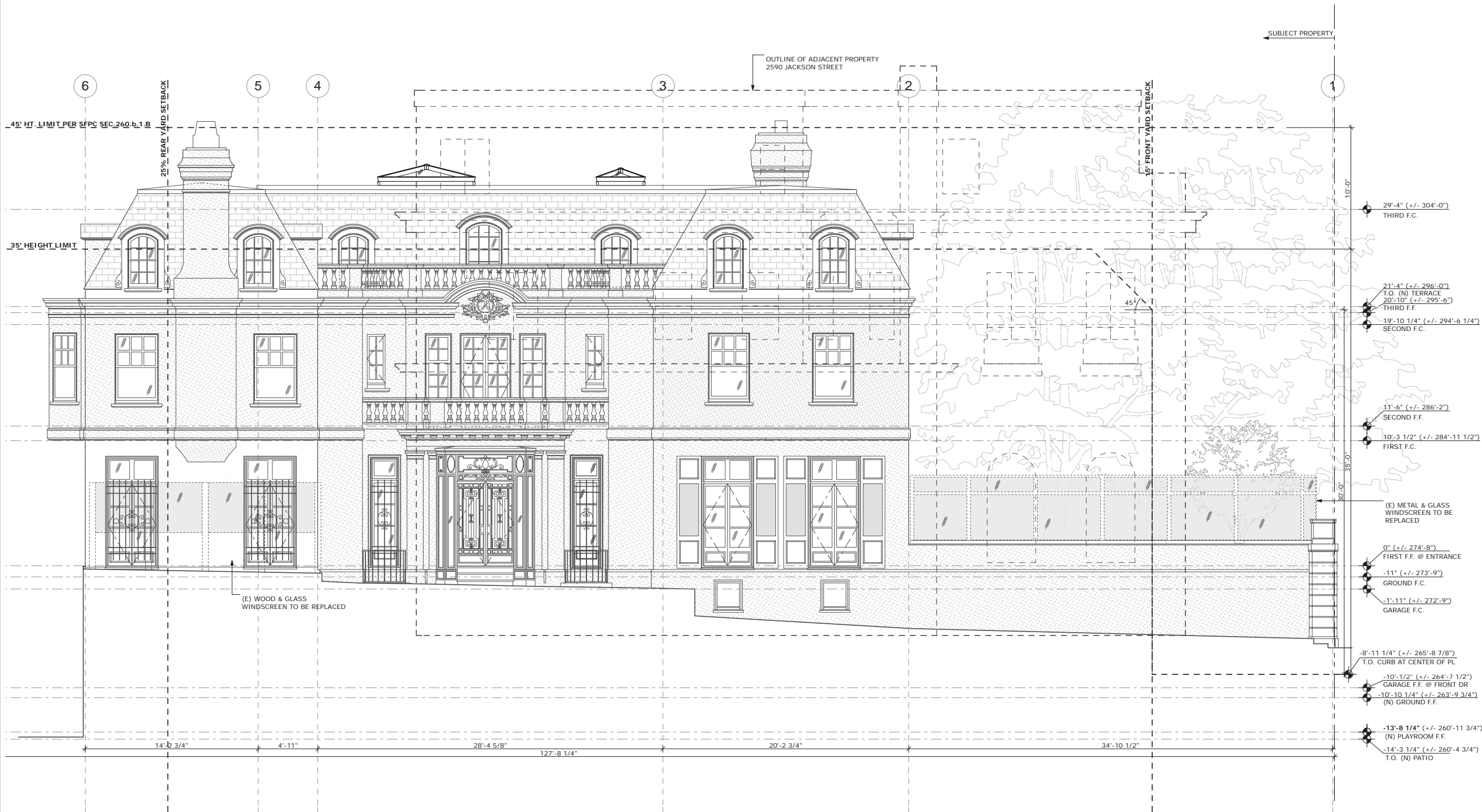


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EXISTING
NORTH & SOUTH
ELEVATIONS

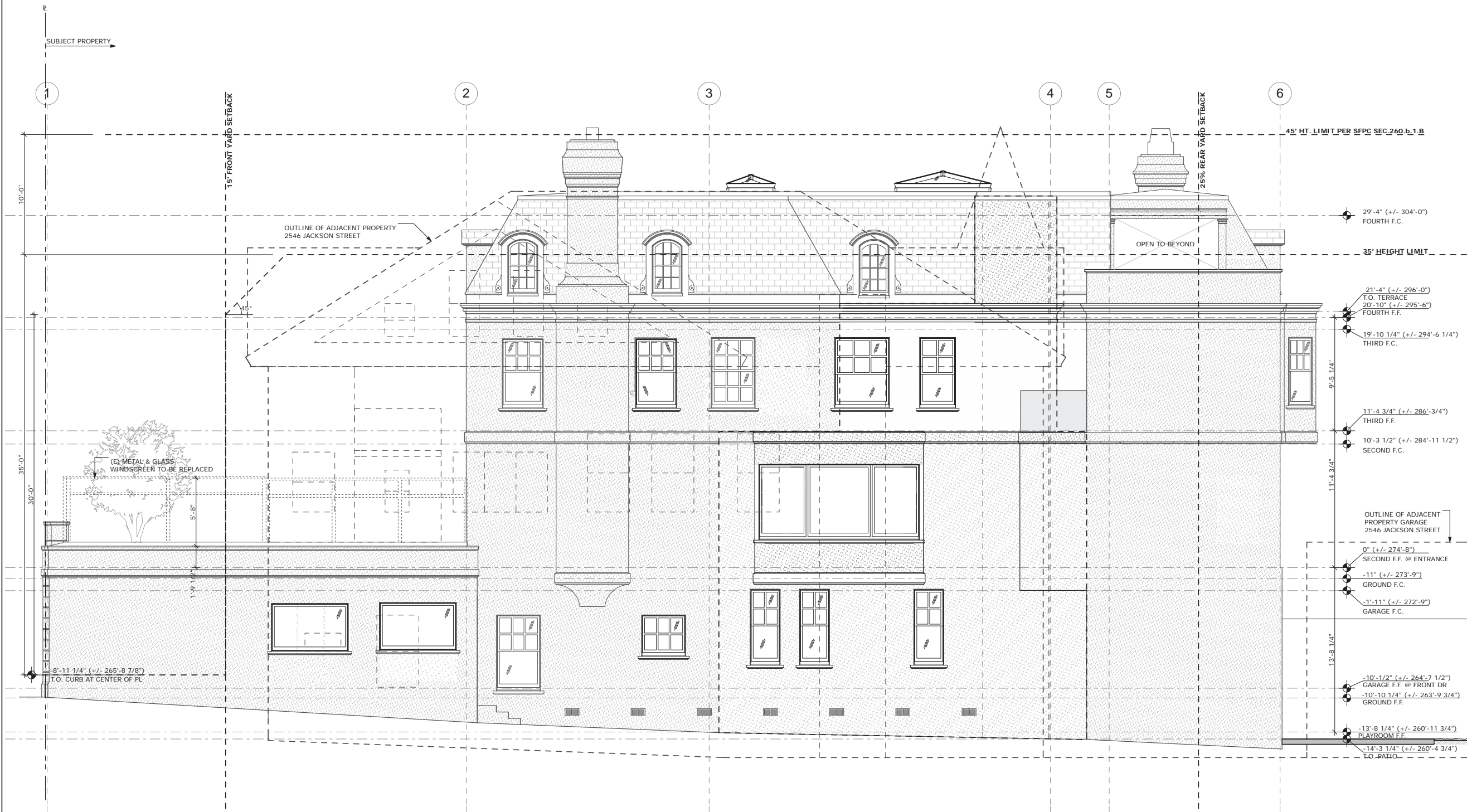


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SCALE:	AS NOTED

**EXISTING WEST
ELEVATION**






PERMIT SET

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CHECKED:	FE
SCALE:	AS NOTED

**EXISTING EAST
ELEVATION**

WALL LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING WALL
	NEW WALL

ALL OTHER WORK UNDER PERMIT #2013.10.02.8247

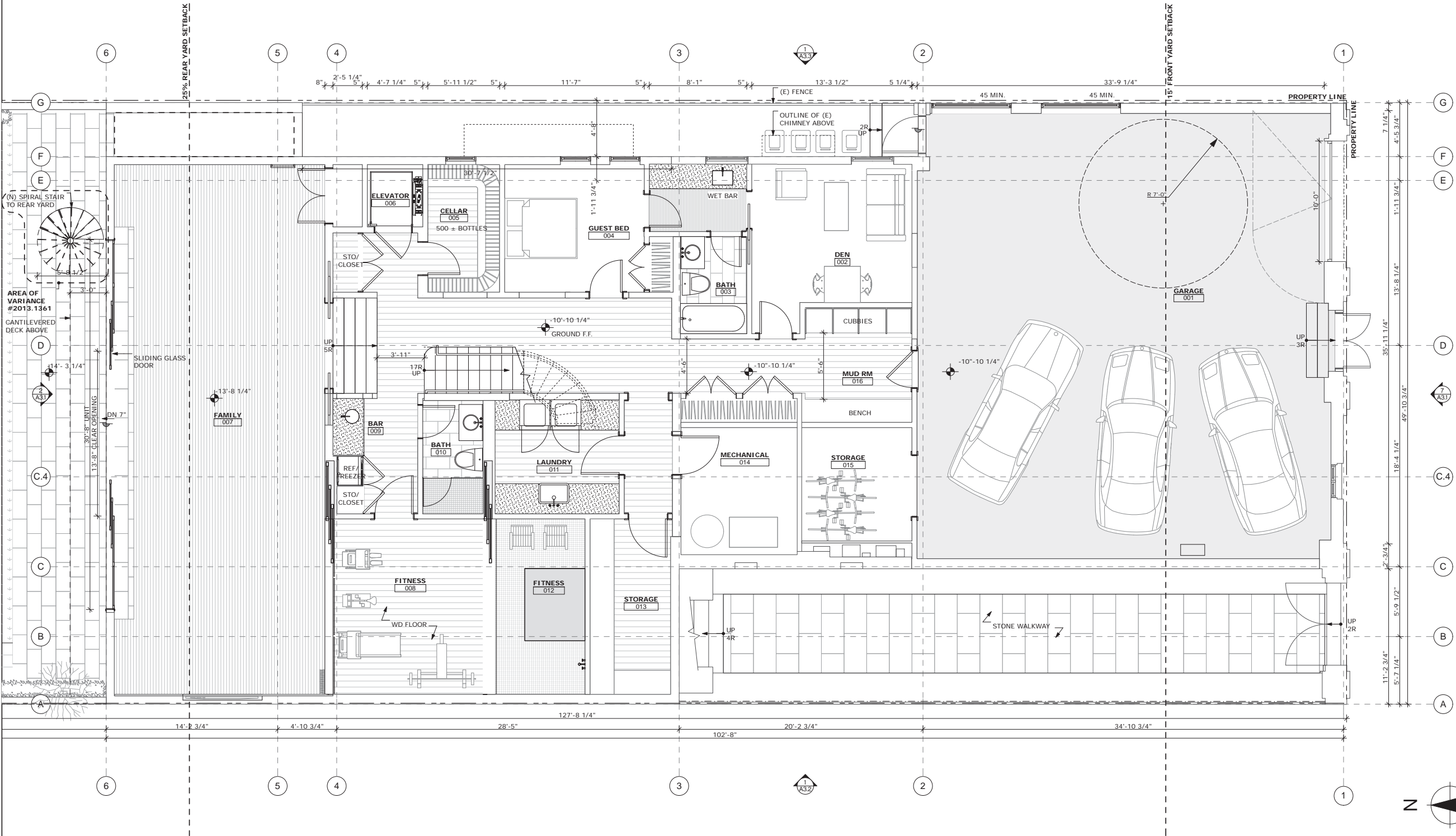


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1 PROPOSED GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

Z  GROUND FLOOR
PROPOSED PLAN

WALL LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING WALL
	NEW WALL

ALL OTHER WORK UNDER PERMIT #2013.10.02.8247

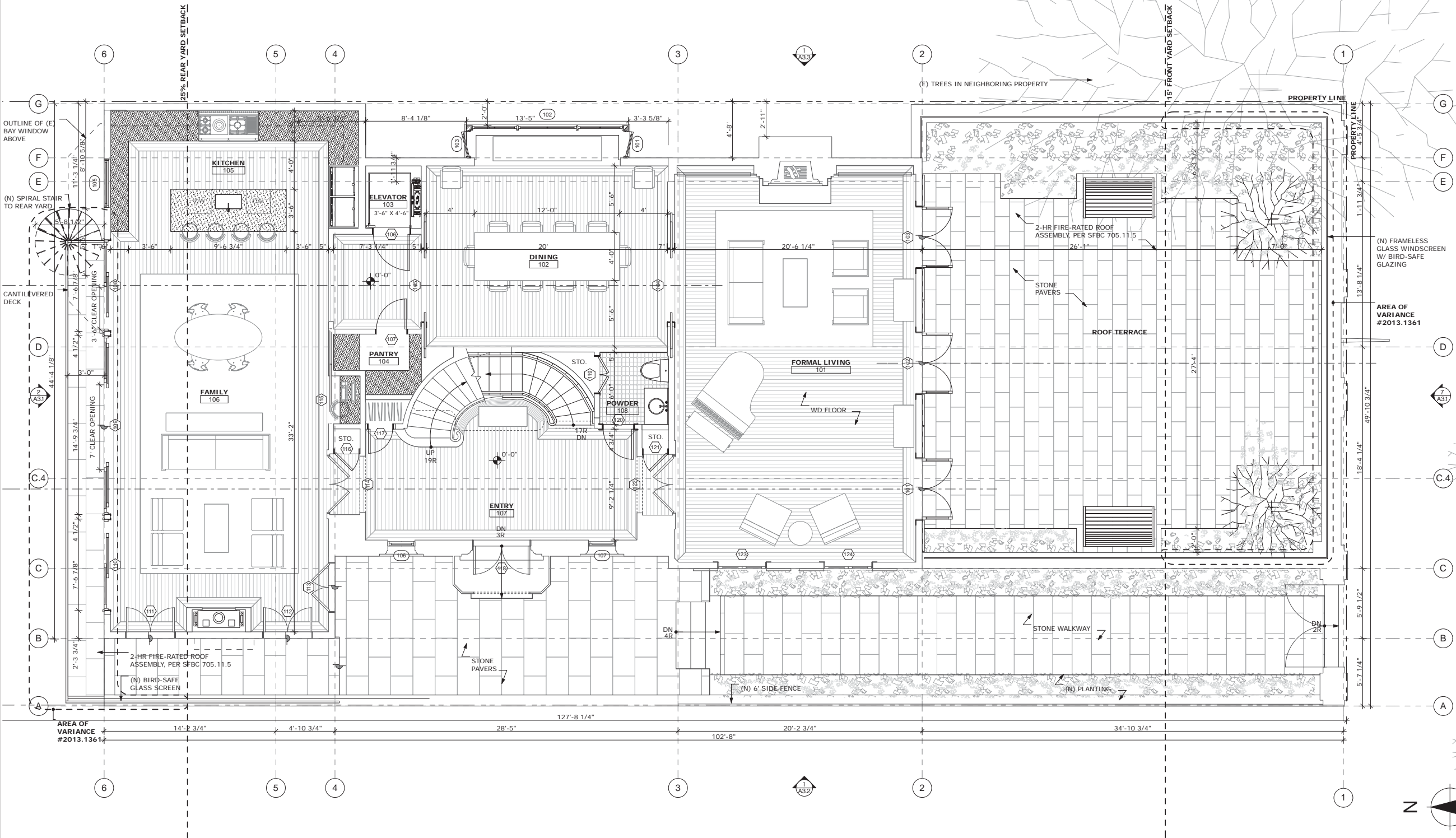


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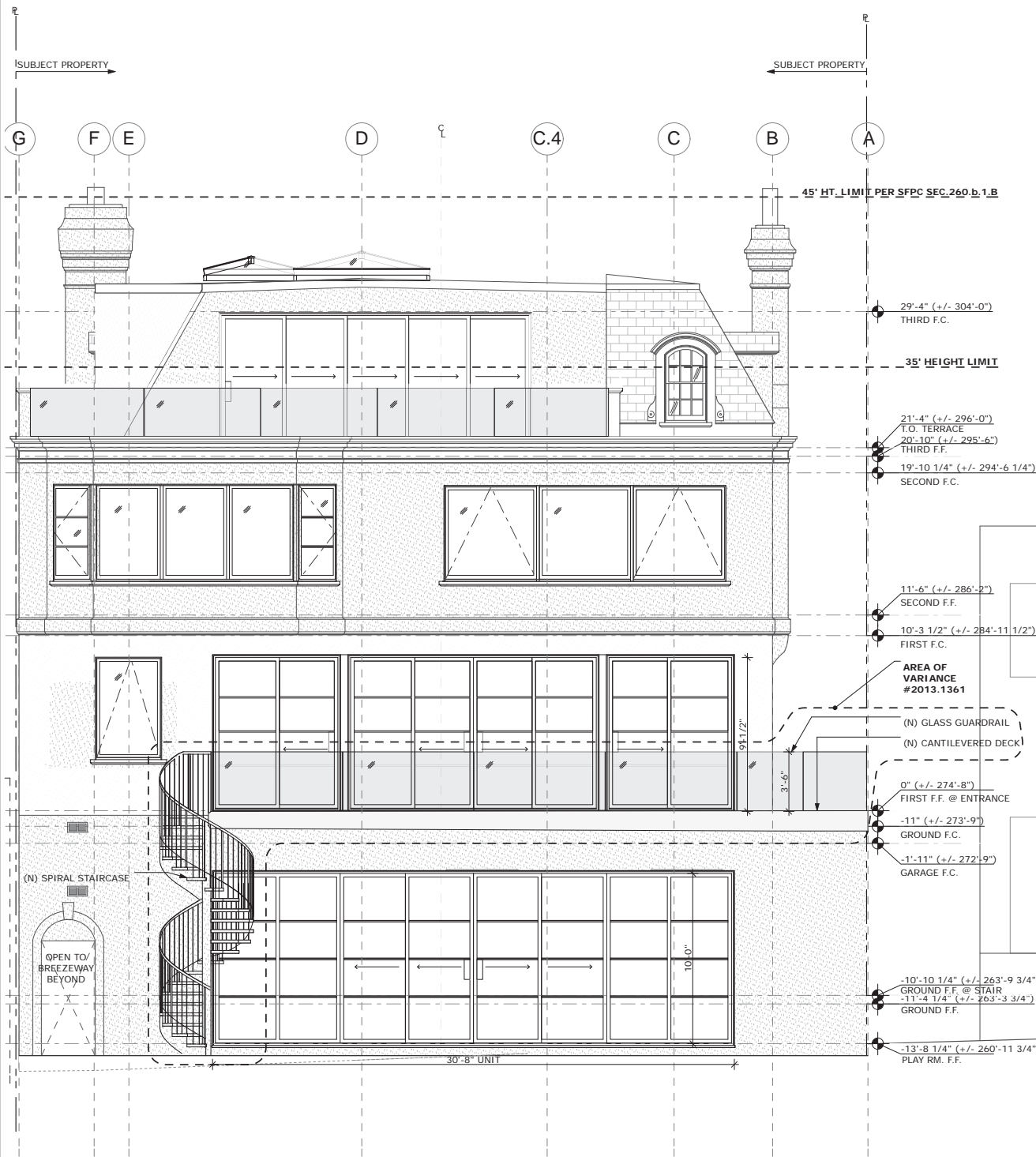


SECOND FLOOR
PROPOSED PLAN

1 PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

A2.2



PERMIT SET

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CHECKED:	FE
SCALE:	AS NOTED

PROPOSED
NORTH & SOUTH
ELEVATIONS

2 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

1 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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3/4" TEMPERED GLASS WALL
W/ BIRD-SAFE GLAZING

STUCCO CAP O/ METAL SHOE

AL. RAILING SHOE,
CONNECTION TBD.

(E) CONC. PARAPET WALL TO
REMAIN

STUCCO ASSEMBLY

STONE PAVERS, SEE SCHED.

PIERDEX PEDESTAL SYSTEM, SEE SPEC.

COPPER FLASHING O/
WATERPROOFING MEMBRANE
O/ PROTECTION BOARD, SEE
SPEC.

0'-0"

(E) DECORATIVE STUCCO

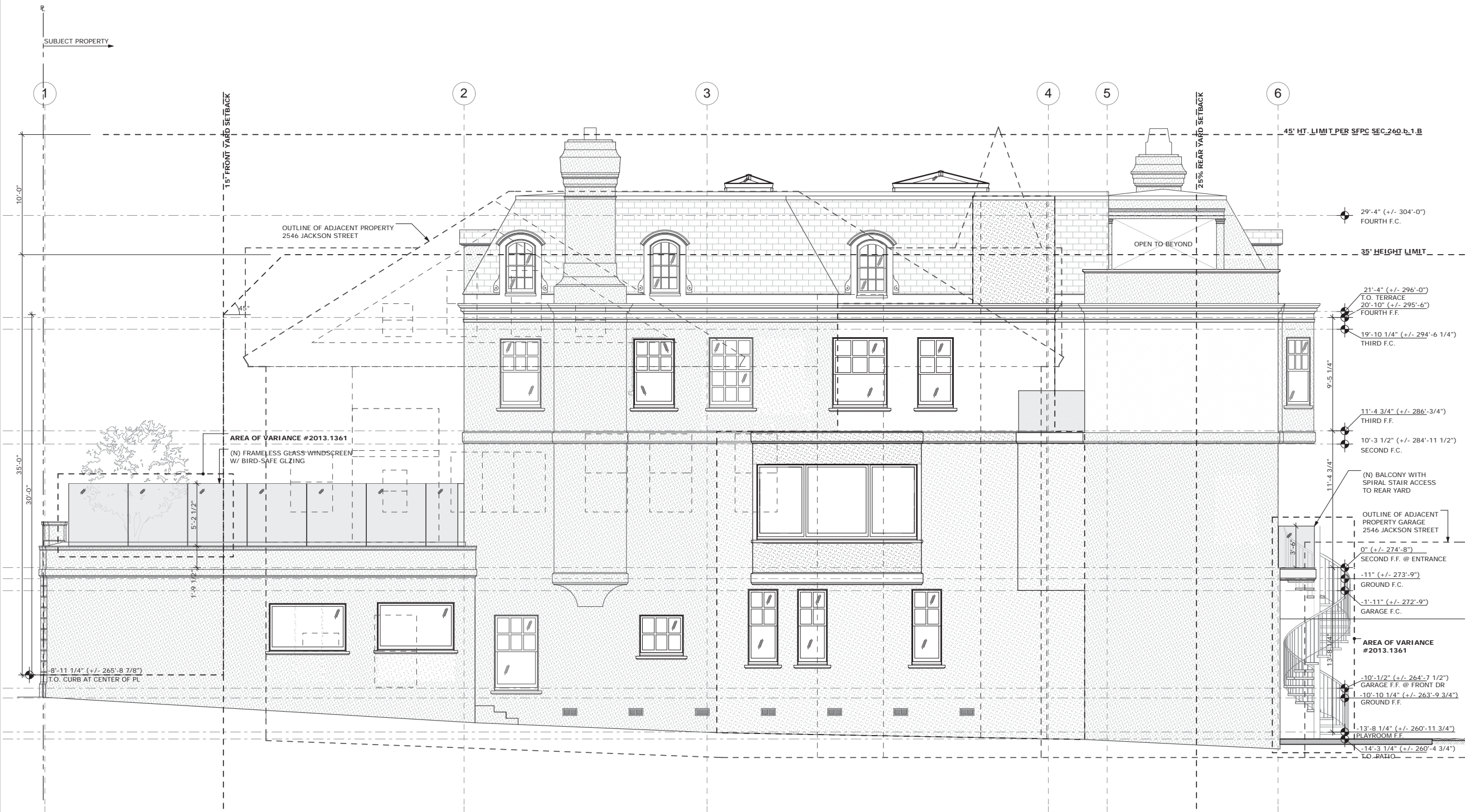
WATERSTOP

EXPOSED STEEL BEYOND,
FOR REFERENCE ONLY,
S.S.D.

TERRACE



PROPOSED
WEST
ELEVATION



PERMIT SET

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**PROPOSED EAST
ELEVATION**