



SAN FRANCISCO PLANNING DEPARTMENT

Memo to the Planning Commission

HEARING DATE: JANUARY 25, 2018

CONTINUED FROM: OCTOBER 26, 2017 & NOVEMBER 30, 2017

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: January 18, 2018
Case No.: **2014-001400ENX**
Project Address: **2750 19th STREET**
Zoning: UMU (Urban Mixed Use) Zoning District;
68-X Height and Bulk District
Block/Lot: 4023/004A
Project Sponsor: Mark Loper, Reuben, Junius & Rose, LLP
One Bush Street, Suite 600
San Francisco, CA 94104
Staff Contact: Ella Samonsky – (415) 575-9112
ella.samonsky@sfgov.org

Recommendation: **Approval with Conditions**

BACKGROUND

On November 30, 2017, the Planning Commission continued the proposed project at 2750 19th Street to allow the Project Sponsor additional time to finalize commitments with the community partners for the proposed community benefit package.

CURRENT PROPOSAL

Since the public hearing on November 30, 2017, the Project Sponsor has continued discussions with the community partners, and proposes voluntary reporting on progress, as outlined in the Project Sponsor letter. The proposed conditions related to the public art program and the culinary business/restaurant accelerator are included in the draft conditions attached to this memorandum. The Project Sponsor has also made minor revisions to the building façade, the addition of a cornice and thickening the expressed floor lines, to emphasize the horizontal proportions of the building and better define the recess surrounding the brick facade.

RECOMMENDATION: Approve with Conditions

Attachments:

- Draft Conditions
- Architectural Drawings
- Project Sponsor Letter

EXHIBIT A

AUTHORIZATION

This authorization is for a Large Project Authorization to allow for the new construction of a six-story, 68-ft tall, mixed-use building with 60 dwelling units and 7,471 square feet of ground floor commercial space, and exceptions to the requirements for rear yard, dwelling unit exposure, and street frontage, located at 2750 19th Street, Lot 004A in Assessor's Block 4023, pursuant to Planning Code Section 329, within the UMU (Urban Mixed Use) Zoning District, and a 68-X Height and Bulk District; in general conformance with plans, dated January 25, 2018, and stamped "EXHIBIT B" included in the docket for Case No. 2014-001400ENX and subject to conditions of approval reviewed and approved by the Commission on January 25, 2018 under Motion No. XXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on January 25, 2018 under Motion No. XXXXX.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Office Development Authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

3. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

6. **Mitigation Measures.** Mitigation measures described in the MMRP for the Eastern Neighborhoods Plan EIR (Case No. 2014.0999ENV) attached as Exhibit C are necessary to avoid potential significant effects of the proposed project and have been agreed to by the project sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

DESIGN – COMPLIANCE AT PLAN STAGE

7. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

8. **Arts Programming.** The Project shall feature public art, of a minimum dimension of 17 feet by 24 feet or equivalent area, commissioned by a local Mission artist on its façade in substantially the same location as the public art depicted on the plans attached as Exhibit B. The Project sponsor shall explore additional public or common locations within the building for the exhibition of art commissioned by a Mission artist, and shall report to the Commission on the location of any additional artwork and artists.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

9. **Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the architectural addenda. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

10. **Rooftop Mechanical Equipment.** Pursuant to Planning Code 141, the Project Sponsor shall submit a roof plan to the Planning Department prior to Planning approval of the building permit application for each building. Rooftop mechanical equipment, if any is proposed as part of the Project, is required to be screened so as not to be visible from any point at or below the roof level of the subject building.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

11. **Transformer Vault.** The location of individual project PG&E Transformer Vault installations has significant effects to San Francisco streetscapes when improperly located. However, they may not have any impact if they are installed in preferred locations. Therefore, the Planning

Department recommends the following preference schedule in locating new transformer vaults, in order of most to least desirable:

- a. On-site, in a basement area accessed via a garage or other access point without use of separate doors on a ground floor façade facing a public right-of-way;
- b. On-site, in a driveway, underground;
- c. On-site, above ground, screened from view, other than a ground floor façade facing a public right-of-way;
- d. Public right-of-way, underground, under sidewalks with a minimum width of 12 feet, avoiding effects on streetscape elements, such as street trees; and based on Better Streets Plan guidelines;
- e. Public right-of-way, underground; and based on Better Streets Plan guidelines;
- f. Public right-of-way, above ground, screened from view; and based on Better Streets Plan guidelines;
- g. On-site, in a ground floor façade (the least desirable location).

Unless otherwise specified by the Planning Department, Department of Public Work's Bureau of Street Use and Mapping (DPW BSM) should use this preference schedule for all new transformer vault installation requests.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>

PARKING AND TRAFFIC

12. **Unbundled Parking.** All off-street parking spaces shall be made available to Project residents only as a separate "add-on" option for purchase or rent and shall not be bundled with any Project dwelling unit for the life of the dwelling units. The required parking spaces may be made available to residents within a quarter mile of the project. All affordable dwelling units pursuant to Planning Code Section 415 shall have equal access to use of the parking as the market rate units, with parking spaces priced commensurate with the affordability of the dwelling unit. Each unit within the Project shall have the first right of refusal to rent or purchase a parking space until the number of residential parking spaces are no longer available. No conditions may be placed on the purchase or rental of dwelling units, nor may homeowner's rules be established, which prevent or preclude the separation of parking spaces from dwelling units.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

13. **Parking Maximum.** Pursuant to Planning Code Section 151.1, the Project shall provide no more than 24 off-street parking spaces for the 60 dwelling units in the UMU Zoning District.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

14. **Parking for Affordable Units.** All off-street parking spaces shall be made available to Project residents only as a separate "add-on" option for purchase or rent and shall not be bundled with any Project dwelling unit for the life of the dwelling units. The required parking spaces may be

made available to residents within a quarter mile of the project. All affordable dwelling units pursuant to Planning Code Section 415 shall have equal access to use of the parking as the market rate units, with parking spaces priced commensurate with the affordability of the dwelling unit. Each unit within the Project shall have the first right of refusal to rent or purchase a parking space until the number of residential parking spaces are no longer available. No conditions may be placed on the purchase or rental of dwelling units, nor may homeowner's rules be established, which prevent or preclude the separation of parking spaces from dwelling units.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

15. **Car Share.** Pursuant to Planning Code Section 166, no fewer than one car share space shall be made available, at no cost, to a certified car share organization for the purposes of providing car share services for its service subscribers. Currently, the Project provides two car share spaces.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

16. **Bicycle Parking.** Pursuant to Planning Code Sections 155.2, the Project shall provide no fewer than 60 Class 1 bicycle parking spaces and 13 Class 2 bicycle parking spaces. Currently, the Project provides 84 Class 1 bicycle parking spaces and 13 Class 2 bicycle parking spaces.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

17. **Transportation Demand Management (TDM) Program.** Pursuant to Planning Code Section 169, the Project shall finalize a TDM Plan prior to the issuance of the first Building Permit or Site Permit to construct the project and/or commence the approved uses. The Property Owner, and all successors, shall ensure ongoing compliance with the TDM Program for the life of the Project, which may include providing a TDM Coordinator, providing access to City staff for site inspections, submitting appropriate documentation, paying application fees associated with required monitoring and reporting, and other actions. Prior to the issuance of the first Building Permit or Site Permit, the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property to document compliance with the TDM Program. This Notice shall provide the finalized TDM Plan for the Project, including the relevant details associated with each TDM measure included in the Plan, as well as associated monitoring, reporting, and compliance requirements.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

18. **Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects

to manage traffic congestion and pedestrian circulation effects during construction of the Project.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

PROVISIONS

19. **Transportation Sustainability Fee.** The Project is subject to the Transportation Sustainability Fee (TSF), as applicable, pursuant to Planning Code Section 411A.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

20. **Child Care Fee - Residential.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

21. **Eastern Neighborhoods Infrastructure Impact Fee.** Pursuant to Planning Code Section 423 (formerly 327), the Project Sponsor shall comply with the Eastern Neighborhoods Public Benefit Fund provisions through payment of an Impact Fee pursuant to Article 4.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

22. **Anti-Discriminatory Housing.** The Project shall adhere to the requirements of the Anti-Discriminatory Housing policy, pursuant to Administrative Code Section 1.61.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

23. **First Source Hiring.** The Project shall adhere to the requirements of the First Source Hiring Construction and End-Use Employment Program approved by the First Source Hiring Administrator, pursuant to Section 83.4(m) of the Administrative Code. The Project Sponsor shall comply with the requirements of this Program regarding construction work and on-going employment required for the Project.

For information about compliance, contact the First Source Hiring Manager at 415-581-2335, www.onestopSF.org

MONITORING

24. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

25. **Revocation Due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

26. **Ground Floor Commercial Space.** A minimum of 2,500 square feet of ground floor space shall be a limited restaurant use operated as a culinary business/restaurant accelerator in partnership with a community-based organization. This condition shall be effective for 20 years after issuance of a certificate of occupancy for this space. Change in tenancy from a culinary business/restaurant accelerator in partnership with community-based organization during this period shall require a modification of this condition of approval by the Planning Commission or a new Conditional Use Authorization. The Project Sponsor shall conduct neighborhood notification akin to Planning Code Section 312 for a change in tenancy or the termination of the operation of the limited restaurant use as a culinary business/restaurant accelerator in partnership with a community-based organization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

27. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-.5810, <http://sfdpw.org>

28. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>

29. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison

shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

30. **Lighting.** All Project lighting shall be directed onto the Project site and immediately surrounding sidewalk area only, and designed and managed so as not to be a nuisance to adjacent residents. Nighttime lighting shall be the minimum necessary to ensure safety, but shall in no case be directed so as to constitute a nuisance to any surrounding property.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

INCLUSIONARY HOUSING

Affordable Units. The following Inclusionary Affordable Housing Requirements are those in effect at the time of Planning Commission action. In the event that the requirements change, the Project Sponsor shall comply with the requirements in place at the time of issuance of first construction document.

31. **Number of Required Units.** Pursuant to Planning Code Section 415.3, the Project is required to provide seventeen and one half percent (17.5%) of the proposed dwelling units as affordable to qualifying households. The Project contains 60 units; therefore, 11 affordable units are currently required. The Project Sponsor will fulfill this requirement by providing the 11 affordable units on-site. The Project Sponsor has also elected to provide twenty percent (20%) of the units as Inclusionary Units by adding one additional affordable unit beyond what's required by Section 415. The Project Sponsor requested that the additional unit would be subject to the requirements of the Inclusionary Affordable Housing Program under Section 415 et seq. of the Planning Code and City and County of San Francisco Inclusionary Affordable Housing Program Monitoring and Procedures Manual ("Procedures Manual") for ease of implementation. Accordingly, all affordable units will be subject to the same requirements and the Procedures Manual. If the number of market-rate units change, the number of required affordable units shall be modified accordingly with written approval from Planning Department staff in consultation with the Mayor's Office of Housing and Community Development ("MOHCD").

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.

32. **Voluntary Affordable Units.** The Project Sponsor has elected to provide a total of twenty percent (20%) of the proposed units as Inclusionary Units by adding one additional affordable unit beyond what's required by Section 415. The additional unit is subject to the requirements of the Inclusionary Affordable Housing Program under Section 415 et seq. of the Planning Code and City and County of San Francisco Inclusionary Affordable Housing Program Monitoring and Procedures Manual ("Procedures Manual").

33. **Unit Mix.** The Project contains 35 one-bedroom, and 25 two-bedroom units; therefore, the required affordable unit mix is 6 one-bedroom and 5 two-bedroom units. If the market-rate unit mix changes, the affordable unit mix will be modified accordingly with written approval from Planning Department staff in consultation with MOHCD.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.
34. **Unit Location.** The affordable units shall be designated on a reduced set of plans recorded as a Notice of Special Restrictions on the property prior to the issuance of the first construction permit.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.
35. **Phasing.** If any building permit is issued for partial phasing of the Project, the Project Sponsor shall have designated not less than eighteen percent (18%), or the applicable percentage as discussed above, of the each phase's total number of dwelling units as on-site affordable units.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.
36. **Duration.** Under Planning Code Section 415.8, all units constructed pursuant to Section 415.6, must remain affordable to qualifying households for the life of the project.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.
37. **Other Conditions.** The Project is subject to the requirements of the Inclusionary Affordable Housing Program under Section 415 et seq. of the Planning Code and City and County of San Francisco Inclusionary Affordable Housing Program Monitoring and Procedures Manual ("Procedures Manual"). The Procedures Manual, as amended from time to time, is incorporated herein by reference, as published and adopted by the Planning Commission, and as required by Planning Code Section 415. Terms used in these conditions of approval and not otherwise defined shall have the meanings set forth in the Procedures Manual. A copy of the Procedures Manual can be obtained at the MOHCD at 1 South Van Ness Avenue or on the Planning Department or MOHCD websites, including on the internet at: <http://sf-planning.org/Modules/ShowDocument.aspx?documentid=4451>. As provided in the Inclusionary Affordable Housing Program, the applicable Procedures Manual is the manual in effect at the time the subject units are made available for sale.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org or the Mayor's Office of Housing and Community Development at 415-701-5500, www.sf-moh.org.

- a. The affordable unit(s) shall be designated on the building plans prior to the issuance of the first construction permit by the Department of Building Inspection ("DBI"). The affordable unit(s) shall (1) reflect the unit size mix in number of bedrooms of the market rate units, (2) be constructed, completed, ready for occupancy and marketed no later than the market rate units, and (3) be evenly distributed throughout the building; and (4) be of comparable overall quality, construction and exterior appearance as the market rate units in the principal project. The interior features in affordable units should be generally the same as those of the market units in the principal project, but need not be the same make, model or type of such item as long they are of good and new quality and are consistent with then-current standards for new housing. Other specific standards for on-site units are outlined in the Procedures Manual.
- b. If the units in the building are offered for rent, the affordable unit(s) shall be rented to low-income households, as defined in the Planning Code and Procedures Manual. The initial and subsequent rent level of such units shall be calculated according to the Procedures Manual. Limitations on (i) occupancy; (ii) lease changes; (iii) subleasing, and; are set forth in the Inclusionary Affordable Housing Program and the Procedures Manual.
- c. The Project Sponsor is responsible for following the marketing, reporting, and monitoring requirements and procedures as set forth in the Procedures Manual. MOHCD shall be responsible for overseeing and monitoring the marketing of affordable units. The Project Sponsor must contact MOHCD at least six months prior to the beginning of marketing for any unit in the building.
- d. Required parking spaces shall be made available to initial buyers or renters of affordable units according to the Procedures Manual.
- e. Prior to the issuance of the first construction permit by DBI for the Project, the Project Sponsor shall record a Notice of Special Restriction on the property that contains these conditions of approval and a reduced set of plans that identify the affordable units satisfying the requirements of this approval. The Project Sponsor shall promptly provide a copy of the recorded Notice of Special Restriction to the Department and to MOHCD or its successor.
- f. The Project Sponsor has demonstrated that it is eligible for the On-site Affordable Housing Alternative under Planning Code Section 415.6 instead of payment of the Affordable Housing Fee, and has submitted the *Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415* to the Planning Department stating the intention to enter into an agreement with the City to qualify for a waiver from the Costa-Hawkins Rental Housing Act based upon the proposed density bonus and concessions (as defined in California Government Code Section 65915 et seq.) provided herein. The Project Sponsor has executed the Costa Hawkins agreement and will record a Memorandum of Agreement prior to issuance of the first construction document or must revert payment of the Affordable Housing Fee.

- g. If the Project Sponsor fails to comply with the Inclusionary Affordable Housing Program requirement, the Director of DBI shall deny any and all site or building permits or certificates of occupancy for the development project until the Planning Department notifies the Director of compliance. A Project Sponsor's failure to comply with the requirements of Planning Code Section 415 et seq. shall constitute cause for the City to record a lien against the development project and to pursue any and all available remedies at law.
- h. If the Project becomes ineligible at any time for the On-site Affordable Housing Alternative, the Project Sponsor or its successor shall pay the Affordable Housing Fee prior to issuance of the first construction permit. If the Project becomes ineligible after issuance of its first construction permit, the Project Sponsor shall notify the Department and MOHCD and pay interest on the Affordable Housing Fee and penalties, if applicable.



19B- 2750 19TH STREET
RESIDENTIAL DEVELOPMENT

PLANNING COMMISSION HEARING-2014-001400ENX
JANUARY 25, 2018

PLANNING COMMISSION HEARING-2014-001400ENX
JANUARY 25, 2018

ARCHITECTURE

PLANNING COMMISSION HEARING
JANUARY 25, 2018

2750 19TH STREET-SAN FRANCISCO-RESIDENTIAL DEVELOPMENT-2018



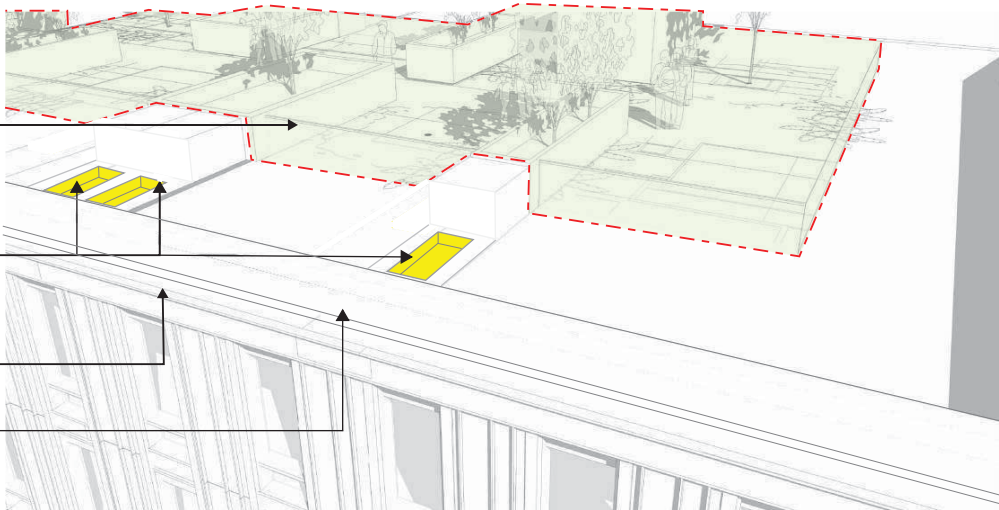
STAIR 1 RELOCATED TO ALLOW FOR LOBBY TO MEET PROPERTY LINE

EXCEPTION REQUESTED FOR GROUND FLOOR TRANSPARENCY-BRICK FACADE IS POTENTIAL HISTORIC RESOURCE

VIEW ALONG BRYANT STREET



VIEW ALONG 19TH STREET



4,800 SF OPEN SPACE

RAISED PLANTERS

SKYLIGHTS (INTEGRATED INTO ROOF FRAMING AT 68'-0")

ALLOWED PARAPET HEIGHT

EXPRESSED CORNICE- EXTENDS OVER FACE OF BUILDING APPROX. 2'-0"

ENLARGED VIEW AT SKYLIGHT-OPEN SPACE TERRACE



VIEW AT REAR OF BUILDING



VIEW ALONG 19TH STREET



VIEW AT 19TH AND BRYANT STREET

19B-2750 19th Street
SAN FRANCISCO, CALIFORNIA

OWNER:
ALIGN REAL ESTATE
1 CALIFORNIA STREET, 4TH FLOOR
SAN FRANCISCO, CA 94111

ISSUE HISTORY

PROJECT NUMBER 14004
SCALE AS NOTED
SHEET TITLE MODEL VIEWS

SHEET NUMBER
REFIMAGES
PROFESSIONAL SEAL

PROVIDED AS REFERENCE



OWNER:
ALIGN REAL ESTATE
1 CALIFORNIA STREET, 4TH FLOOR
SAN FRANCISCO, CA 94111

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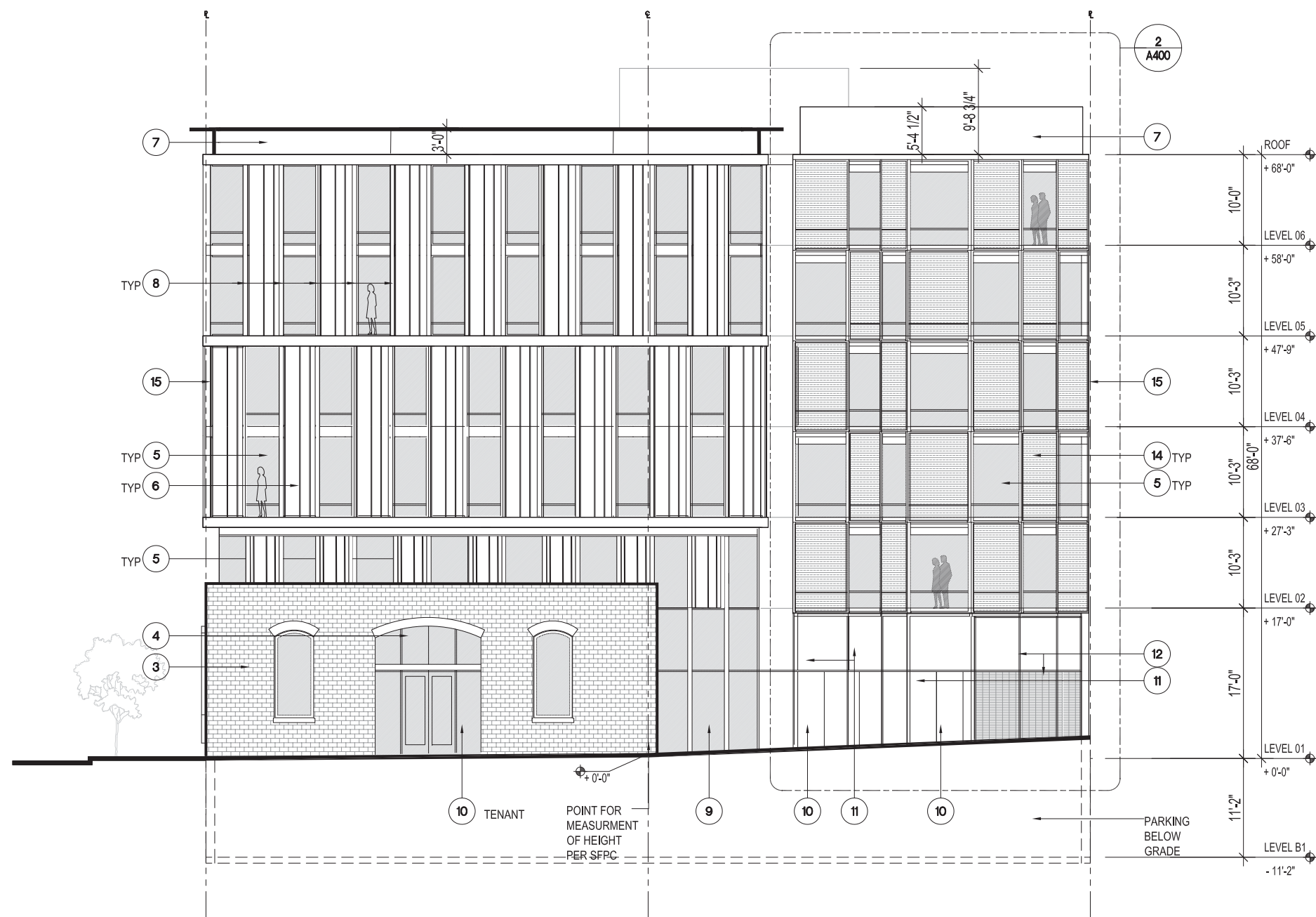
PROJECT NUMBER	14004
SCALE	AS NOTED
SHEET TITLE	BUILDING ELEVATION

SHEET NUMBER **A300**

PROFESSIONAL SEAL



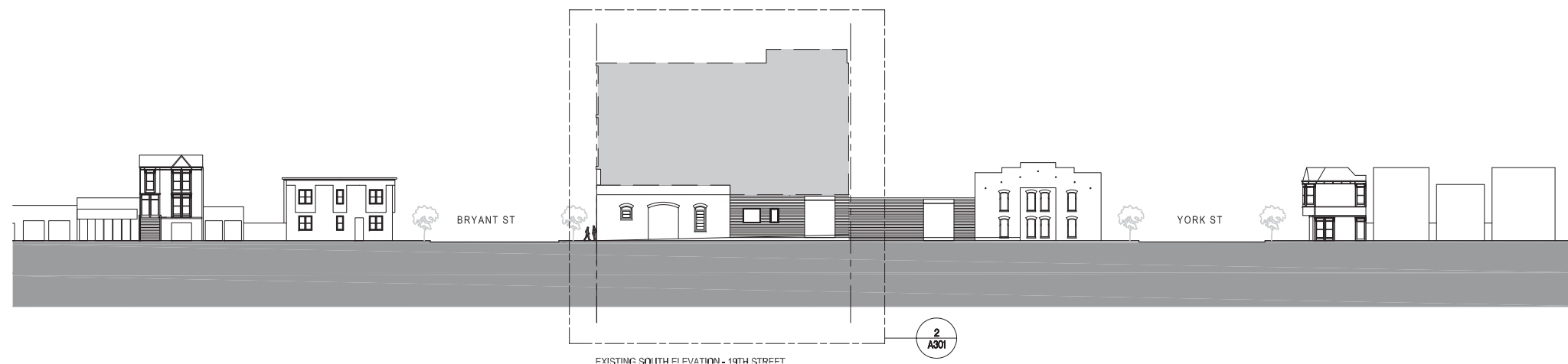
KEY NOTES:	
1	ELEVATOR / STAIR PENTHOUSE
2	NOT USED
3	EXISTING BREAK FACADE TO REMAIN
4	[N] GLAZING WINDOW SURROUND @ [E] OPENING
5	DBL. GLAZED VERTICAL GLS W OPERABLE VENT
6	METAL WALL PANEL, RAINSCREEN OR OTHER - TBD
7	METAL SCREEN / PERFORATED METAL - MECHANICAL SCREENING
8	METAL CLAD OR COLOR SHIFT-EXPRESSIVE VERTICAL GLASS
9	STOREFRONT SYSTEM
10	INGRESS-EGRESS OR SERVICE DOOR LOCATION
11	METAL WALL CLADDING OR OTHER-TBD
12	PERFORATED METAL FOR VENTILATION
13	RESIDENTIAL ENTRY-CANOPY SIGNAGE
14	TEXTURED WALL PANEL
15	PROPERTY LINE WALL



SOUTH BUILDING ELEVATION - 19TH STREET

1/16"=1'-0"

	2
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PARTIAL STREET ELEVATION ALONG 19TH STREET

NTS FOR REFERENCE

	1
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- KEY NOTES :
- 1 ELEVATOR / STAIR PENTHOUSE
 - 2 NOT USED
 - 3 EXISTING BRICK FACADE TO REMAIN
 - 4 [N] GLAZING WINDOW SURROUND @ [E] OPENING
 - 5 DBL. GLAZED VISION GLASS W/ OPERABLE VENT
 - 6 METAL WALL PANEL RAINSCREEN OR OTHER - TBD
 - 7 METAL SCREEN / PERFORATED METAL - MECHANICAL SCREENING
 - 8 METAL CLAD OR COLOR SHIF-EXPRESSED VERTICAL
 - 9 STOREFRONT SYSTEM
 - 10 INGRESS-EGRESS OR SERVICE DOOR LOCATION
 - 11 METAL WALL CLADDING OR OTHER-TBD
 - 12 PERFORATED METAL PANEL FOR VENTILATION
 - 13 RESIDENTIAL ENTRY-CANOPY-SIGNAGE
 - 14 TEXTURED WALL PANEL
 - 15 PROPERTY LINE WALL

NOTE:
FINAL MATERIAL SELECTIONS ARE TO BE
DETERMINED. SEE PRELIMINARY MATERIAL
PALETTE SHEETS FOR OPTIONS UNDER
CONSIDERATION.

19B-2750 19th Street
SAN FRANCISCO, CALIFORNIA

OWNER:
ALISON REAL ESTATE
1 CALIFORNIA STREET, 4TH FLOOR
SAN FRANCISCO, CA 94111

ISSUE HISTORY

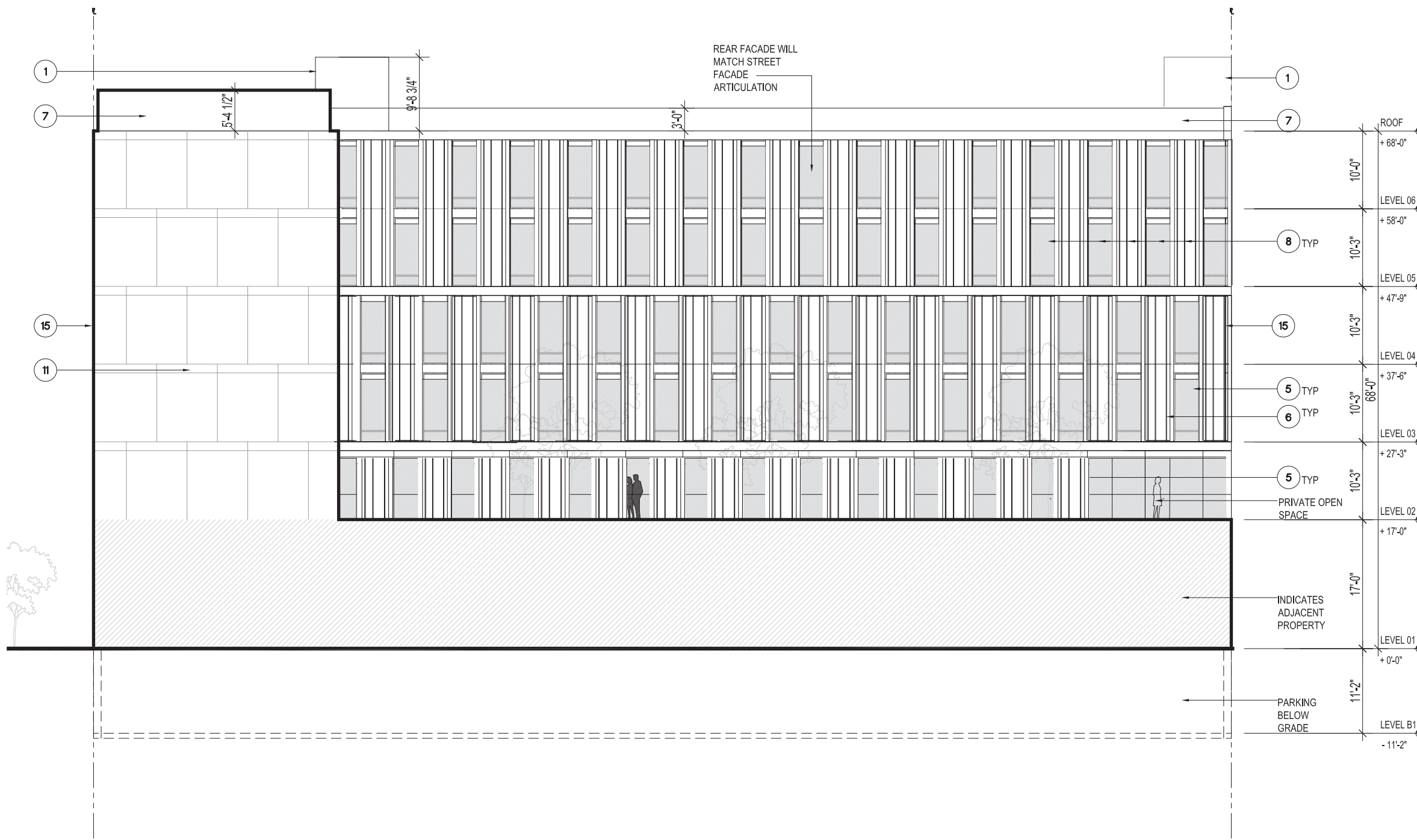
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SCALE AS NOTED
SHEET TITLE

BUILDING ELEVATION

SHEET NUMBER

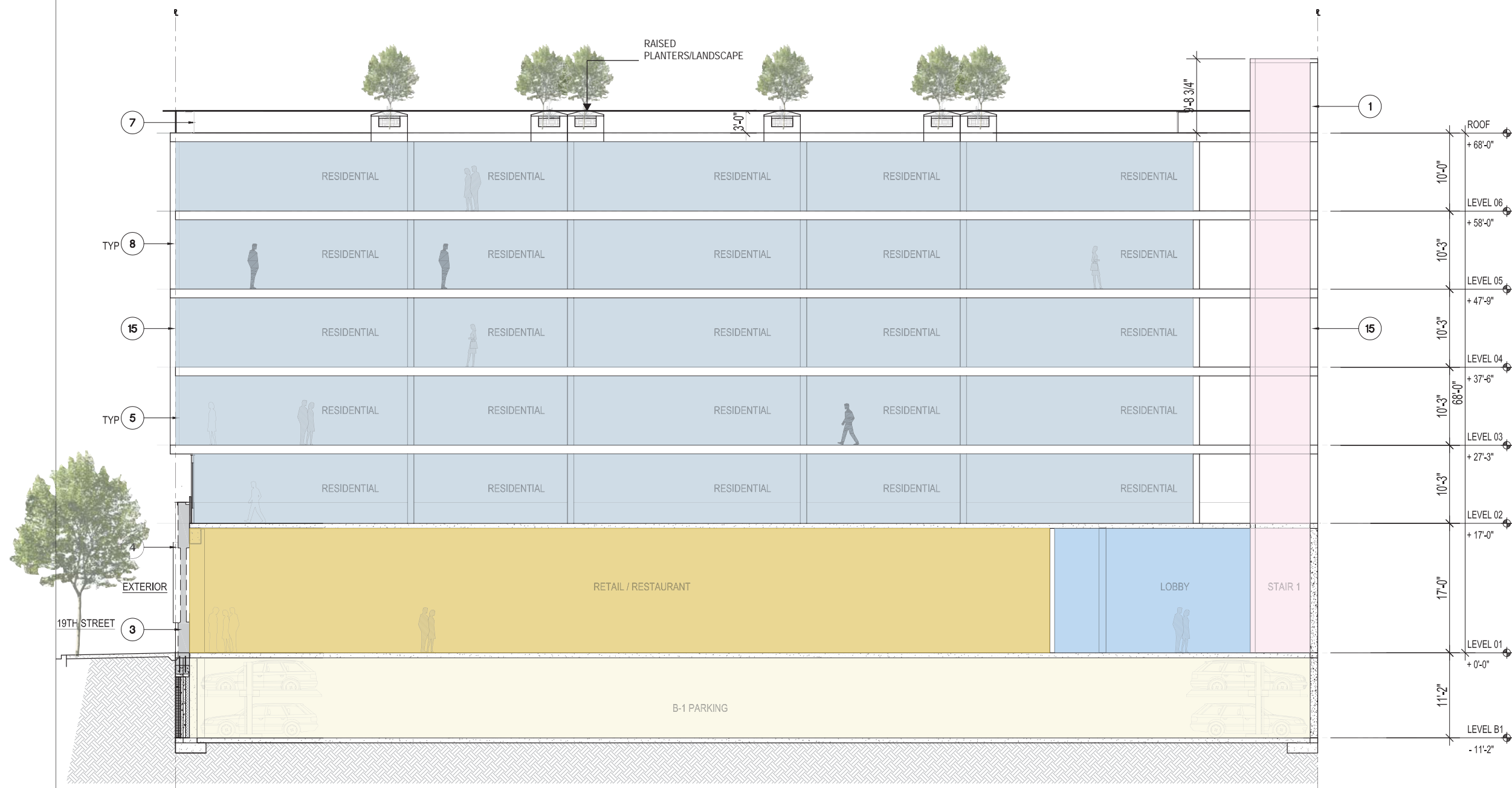
A302

PROFESSIONAL SEAL



KEY NOTES:	
1	ELEVATOR / STAIR PENTHOUSE
2	NOT USED
3	EXISTING BRICK FACADE TO REMAIN
4	[N] GLAZING WINDOW SURROUND @ 8" OPENING
5	DBL. GLAZED VISION GLASS W OPERABLE VENT
6	METAL WALL PANEL, RAINSCREEN OR OTHER - TBD
7	METAL SCREEN / PERFORATED METAL - MECHANICAL SCREENING
8	METAL CLAD OR COLOR SHIFT-EXPRESSED
9	STOREFRONT SYSTEM
10	INGRESS-EGRESS OR SERVICE DOOR LOCATION
11	METAL WALL CLADDING OR OTHER-TBD
12	PERFORATED METAL PANEL FOR VENTILATION
13	RESIDENTIAL ENTRY-CANOPY SIGNAGE
14	TEXTURED WALL PANEL
15	PROPERTY LINE WALL

NOTE:
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ISSUE HISTORY

PROJECT NUMBER 1400A

SCALE AS NOTED

AS NOTED

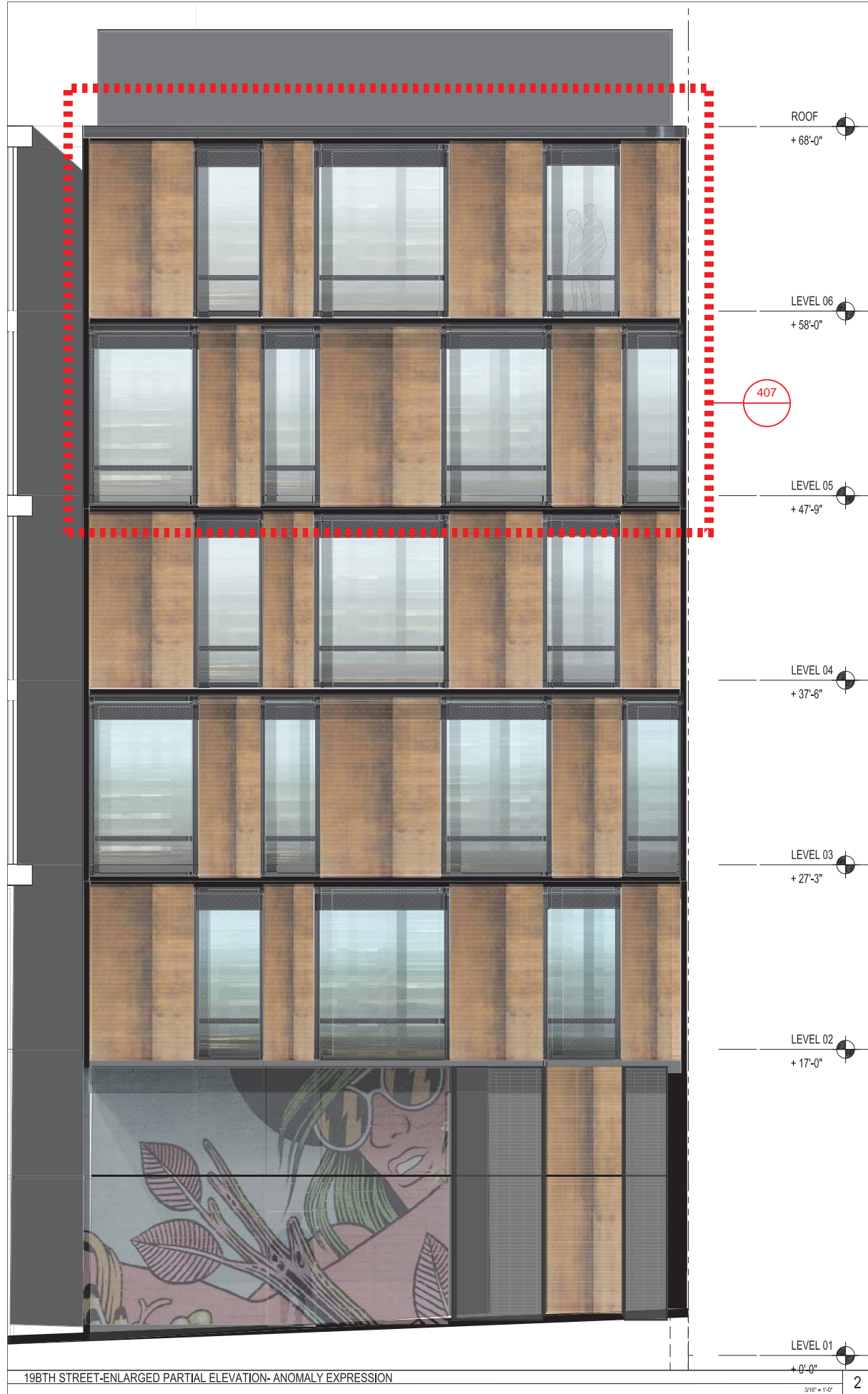
SHEET TITLE

LONGITUDINAL SECTION

SHEET NUMBER

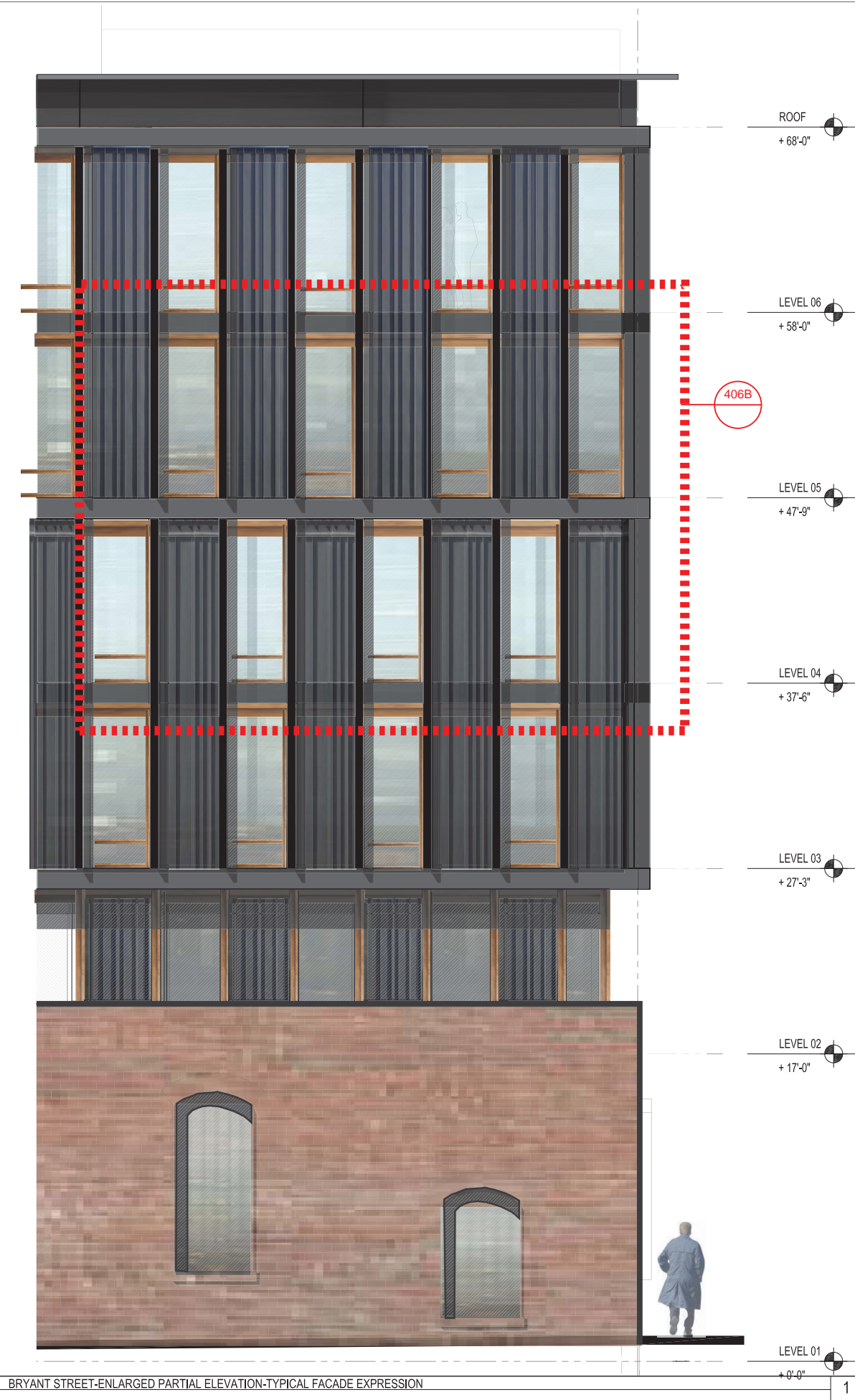
PROFESSIONAL SEA

A304



19BTH STREET-ENLARGED PARTIAL ELEVATION- ANOMALY EXPRESSION

2



BRYANT STREET-ENLARGED PARTIAL ELEVATION-TYPICAL FACADE EXPRESSION

1

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ISSUE HISTORY

PROJECT NUMBER

14004

SCALE

SHEET TITLE

SHEET NUMBER

A400

PROFESSIONAL SEAL

KEY NOTES

ENLARGED ELEVATIONS ARE PROVIDED FOR REFERENCE TO ASSIST WITH CLARITY - PLEASE REFER TO A200 FOR MATERIAL NOTES

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ISSUE HISTORY

PROJECT NUMBER 14004
SCALE AS NOTED
SHEET TITLE

ENLARGED ELEVATIONS

SHEET NUMBER

PROFESSIONAL SEAL

A401

WALL SECTION

1/4" = 1'-0"

2

BRYANT STREET-ENLARGED PARTIAL ELEVATION-TYPICAL FACADE EXPRESSION

1/4" = 1'-0"

1

KEY NOTES

ENLARGED ELEVATIONS ARE PROVIDED FOR REFERENCE TO ASSIST WITH CLARITY - PLEASE REFER TO A400 FOR MATERIAL NOTES

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ISSUE HISTORY

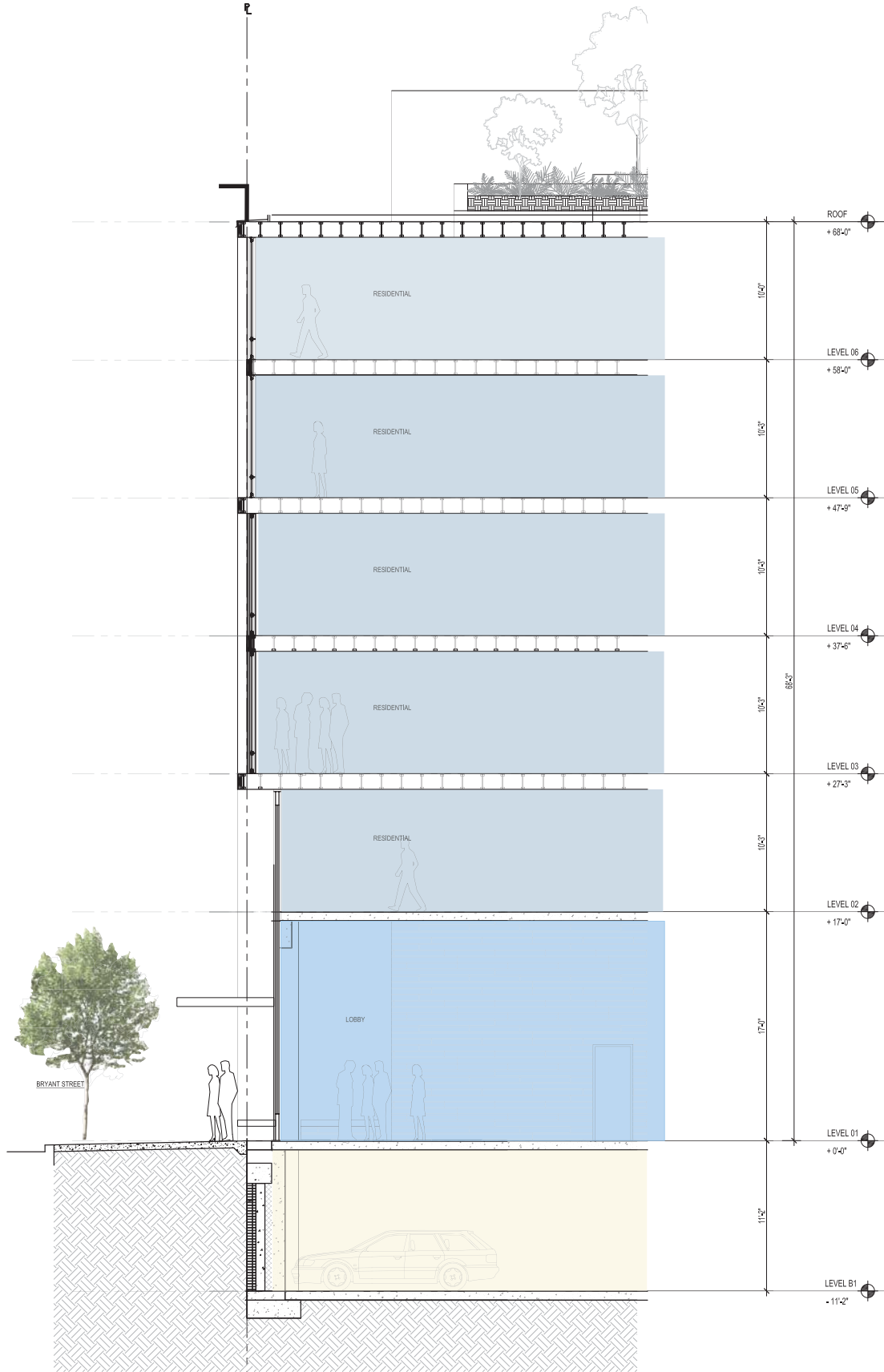
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SCALE AS NOTED
SHEET TITLE

ENLARGED ELEVATIONS

SHEET NUMBER

PROFESSIONAL SEAL

A402



WALL SECTION

2

BRYANT STREET-ENLARGED PARTIAL ELEVATION-TYPICAL FACADE EXPRESSION



1

KEY NOTES :

ENLARGED ELEVATIONS ARE PROVIDED FOR
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REFER TO A200 FOR MATERIAL NOTES

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ISSUE HISTORY

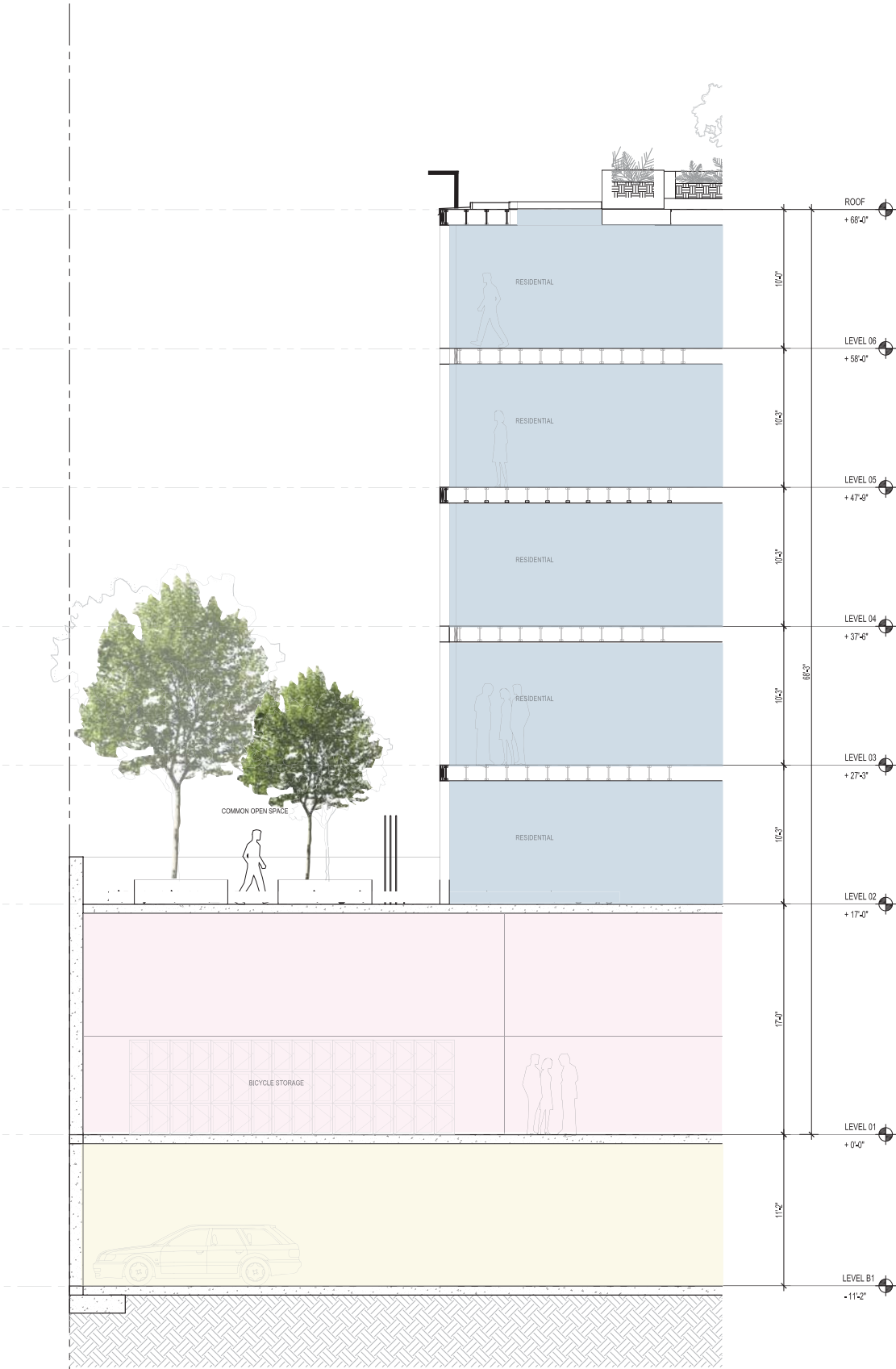
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SCALE AS NOTED
SHEET TITLE

ENLARGED ELEVATIONS

SHEET NUMBER

PROFESSIONAL SEAL

A403

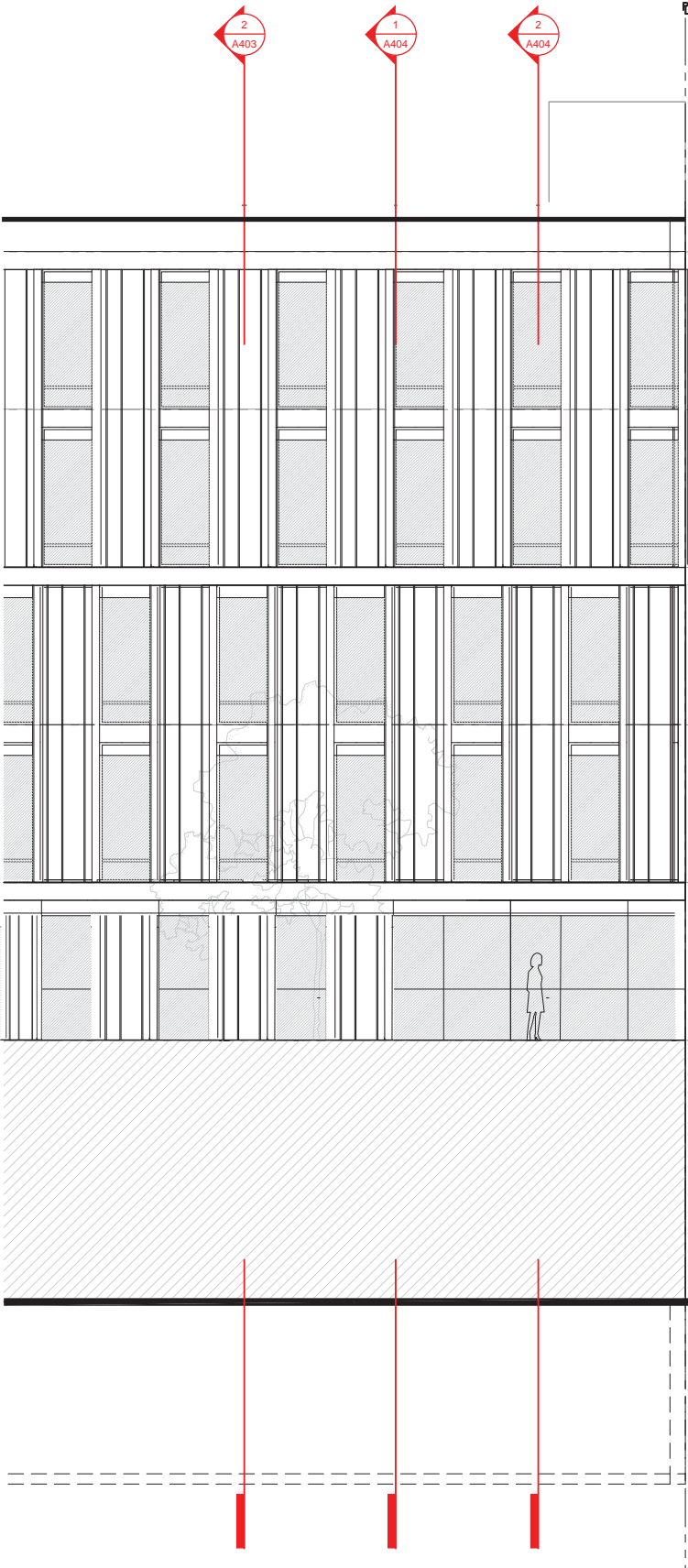


WALL SECTION

1/4" = 1'-0"

2

LEVEL 02- COURTYARD PARTIAL ELEVATION

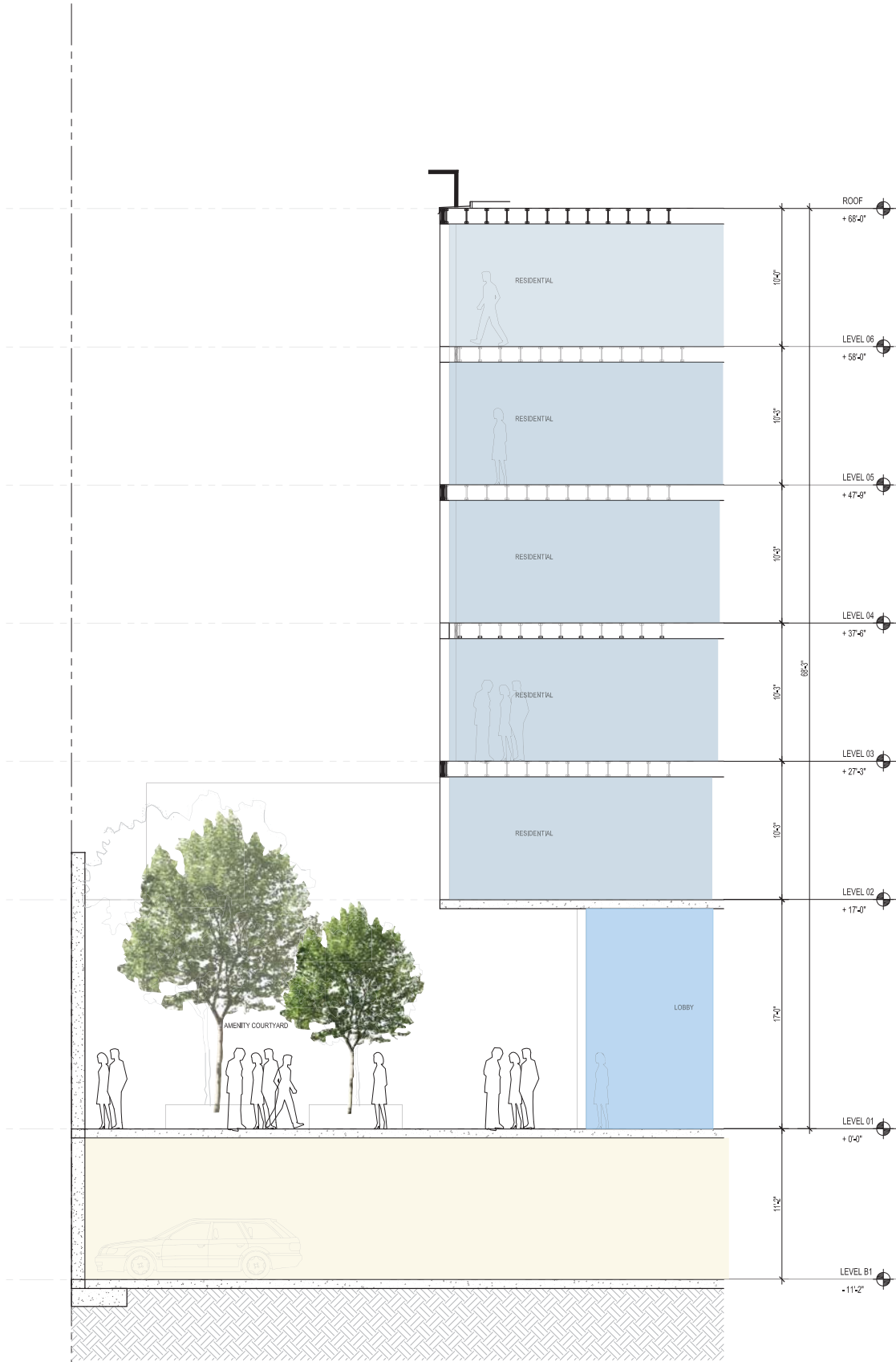


1/4" = 1'-0"

1

KEY NOTES :

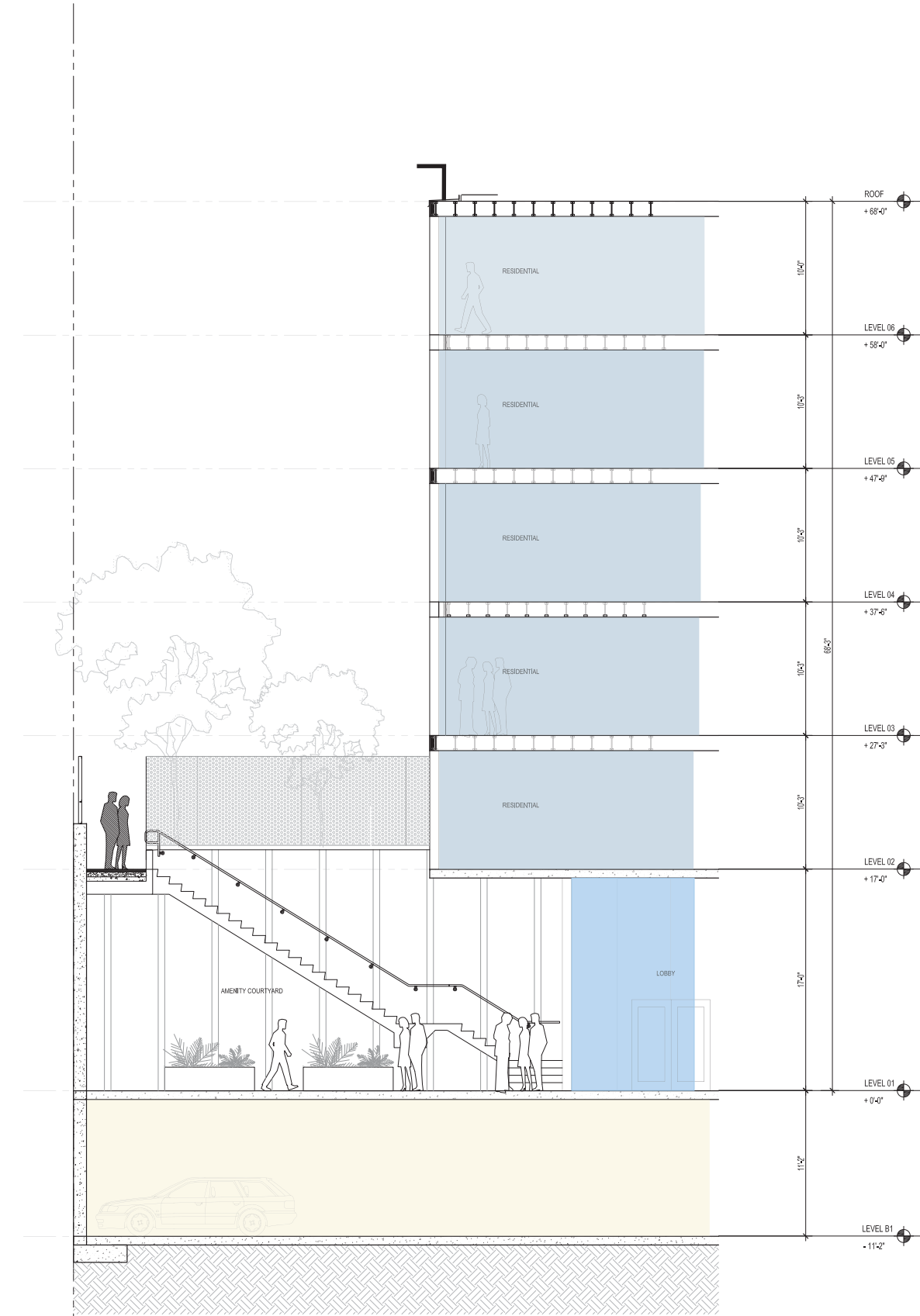
ENLARGED ELEVATIONS ARE PROVIDED FOR
REFERENCE TO ASSIST WITH CLARITY - PLEASE
REFER TO A400 FOR MATERIAL NOTES



WALL SECTION

1/4" = 1'-0"

2



WALL SECTION

1/4" = 1'-0"

1

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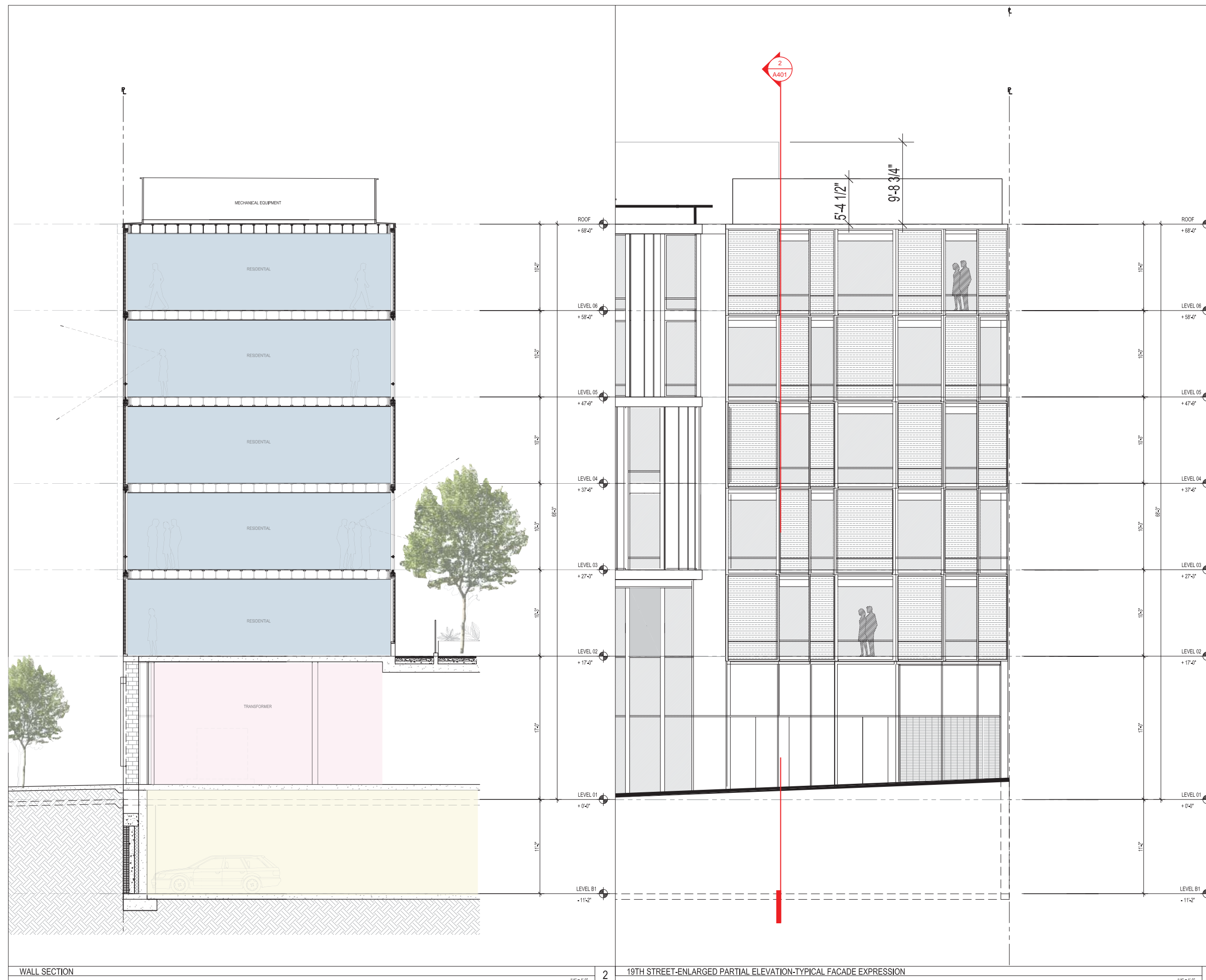
PROJECT NUMBER 14004
SCALE AS NOTED
SHEET TITLE

ENLARGED ELEVATIONS

SHEET NUMBER

A404

PROFESSIONAL SEAL



RENDERINGS

PLANNING COMMISSION HEARING
JANUARY 25, 2018

2750 19TH STREET-SAN FRANCISCO-RESIDENTIAL DEVELOPMENT-2018



VIEW ALONG BRYANT STREET



VIEW ALONG 19TH STREET

Samonsky, Ella (CPC)

From: Mark H. Loper <mloper@reubenlaw.com>
Sent: Thursday, January 18, 2018 11:56 AM
To: Samonsky, Ella (CPC)
Subject: 2750 19th - the Fitzgerald

Hi Ella,

The project sponsor team has been hard at work addressing design feedback provided and furthering the details of its community benefits package. As a reminder, the project sponsor has volunteered to comply with the inclusionary program by providing 20% on-site affordable rental units, 2.5% above the required 17.5%. It also proposes a comprehensive community benefits package involving local hire, school partnerships, arts programming, and a long-term partnership with a community based organization to operate a culinary business/restaurant accelerator. Since the last hearing:

- We have an agreement signed with a community partner, Monica Wilson/Community and Real Estate Development, to run all aspects and ensure delivery of commitments with local non-profits for the development. Specifically, Monica Wilson/Community and Real Estate Development will coordinate the planning, executing, reporting, close-out and feedback on the community benefits program.
- In addition, we have created a voluntarily reporting template that shows how we will report back to the Planning Department and Commissioners twice a year to show the progress on our community benefits. The voluntary reporting is outlined as a requirement in the executed MOU.
- To show its commitment to each of these partners, the Sponsor volunteers the following conditions of approval:

25. Ground Floor Commercial Space. At least 2,500 square feet of ground floor space shall be a limited restaurant use operated as a culinary business/restaurant accelerator in partnership with a community-based organization. This condition shall be effective for 20 years after issuance of a certificate of occupancy for this space. Change in tenancy from a community-based organization during this period shall require public notice for a hearing and approval from the Planning Commission.

26. Arts Programming. The Project shall feature 17' x 24' public art commissioned by a local Mission artist on its façade in substantially the same location as the public art depicted on the plans attached as **Exhibit B**. The Project sponsor shall explore additional public or common locations within the building for the exhibition of art commissioned by a Mission artist, and shall report to the Commission on the location of any additional artwork and artists.

REUBEN, JUNIUS & ROSE, LLP

Mark Loper, Partner
O. (415) 567-9000
C. (510) 414-6445
mloper@reubenlaw.com
www.reubenlaw.com

SF Office:	Oakland Office:
One Bush Street, Suite 600	827 Broadway, Suite 205
San Francisco, CA 94104	Oakland, CA 94607



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