



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis HEARING DATE: MARCH 10, 2016

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: February 29, 2016
Case No.: **2014-000352DRP**
Project Address: **2231 FRANCISCO STREET**
Permit Application: 2014.05.05.4871
Zoning: RH-3 [Residential House, Three-Family]
40-X Height and Bulk District
Block/Lots: 0929/051-052
Project Sponsor: Brian Evans
c/o David Silverman
Reuben, Junius, & Rose LLP
One Bush Street, Suite 600
San Francisco, CA 94104
Staff Contact: Sharon M. Young – (415) 558-6346
sharon.m.young@sfgov.org
Recommendation: **Do not take DR and approve as proposed**

PROJECT DESCRIPTION

This is a request for Discretionary Review of Building Permit Application No. 2014.05.05.4871, proposing to remove the existing one-story rear extension and in its place, construct a two-story horizontal rear addition to an existing three-story, two-unit building. A portion of the proposed two-story rear addition will be set back 5 feet from the east and west side property lines. The original proposal had included a new deck on the second floor (approximately 5 feet wide by 9 feet deep) abutting the west side property line. The project sponsor submitted revised plans after the Section 311 notification period expired with minor modifications to the two-story horizontal rear addition (adding a door adjacent to the interior staircase connecting the dwelling unit on the second floor to the housekeeping unit), and to eliminate the scope of work involving the construction of a new second floor deck in response to the DR requestors' concerns and the Residential Design Team (RDT) comments.

SITE DESCRIPTION AND PRESENT USE

The project site is located at 2231 Francisco Street, on the south side of Francisco Street between Divisadero and Scott Streets; Lots 051-052 in Assessor's Block 0929 in an RH-3 (Residential, House, Three-Family) Zoning District and a 40-X Height and Bulk District. The subject lot is approximately 3,440 square feet (25 feet wide by 137.6 feet deep) and is developed with a three-story, two-unit building. While there is a housekeeping unit, it is not considered a separate dwelling unit. The existing building, constructed circa 1924, is not listed in the Planning Department's 1976 Architectural Survey or the National or California Registers as having architectural significance. The Report of Residential Record (3-R), issued by the Department of Building Inspection (DBI) which typically establishes the legal use of existing dwelling units, authorizes the use of this building as a two-family dwelling. There are two existing dwelling units: one on the second floor (2231 Francisco Street) and one on the third floor (2233 Francisco Street) of the

building. On the first floor of the building, there is an existing garage floor and a legal noncomplying one-story addition which contains a “housekeeping unit” with indirect access to the street and indirect access from the floor above. On June 18, 1964, Building Permit Application No. 300558 was issued for Permit #268638 to construct a one-story horizontal addition to add a housekeeping unit to the existing three-story, two-family residential building. Under the current proposal, the “housekeeping unit” use will be retained. [The proposed project was further reviewed by the Zoning Administrator and the proposed project is not considered a residential merger. The proposed floor plan of the housekeeping unit will be similar to what currently exists with indirect access to the floor above provided by an interior staircase, indirect access to the street (from the garage passageway), and direct access from the rear yard.]

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is located within the Marina Neighborhood. The surrounding neighborhood consists primarily of a mix of three to four-story residential buildings with two units, as well as a few residential buildings with multi-family dwelling units. Most of the subject block and opposite block is zoned RH-3 (Residential, House, Three-Family) District zoning. The surrounding zoning is NC-2 (Small-Scale Neighborhood Commercial) District to the south on Chestnut Street and RM-3 (Residential, Mixed, Medium Density) District to the west (at the corner of Divisadero and Francisco Streets).

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	October 7, 2015 – November 6, 2015	November 6, 2015	March 10, 2016	125 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	February 29, 2016	February 29, 2016	10 days
Mailed Notice	10 days	February 29, 2016	February 26, 2016	13 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	--	1 (DR Requestor)	--
Other neighbors on the block or directly across the street	--	--	--
Neighborhood groups	--	--	--

DR REQUESTOR

The DR Request was filed by **Ryan J. Patterson, Zacks & Freedman** on behalf of the property owners **Philip and Diana Caccamo** of 2237 - 2239 Francisco Street, directly adjacent and west of the project site. The DR Requestors' property, constructed in 1924, is a three-story, two-family dwelling located on a lot with a width of 25 feet wide by 137.6 feet deep.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Application*, dated November 6, 2015.

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*, dated December 3, 2015.

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.

RESIDENTIAL DESIGN TEAM REVIEW

The Residential Design Team (RDT) reviewed the request for Discretionary Review and found that the proposal does not create exceptional or extraordinary circumstances with the proposed modifications to the original proposal which include (1) eliminating the new deck on the second floor abutting the west side property line; (2) providing a 5-foot side setback on the east and west side property lines on the second floor addition beginning 5 feet beyond the adjacent neighbors building walls, and (3) extending/continuing the flat roof with a fire-rated roof to avoid unnecessary fire-rated parapets on the second floor roof for this section abutting the west property line. With the proposed revisions, the RDT determined the project should be evaluated as an abbreviated discretionary review analysis rather than a full discretionary review analysis. As such, a Design Review Checklist is not included with this analysis.

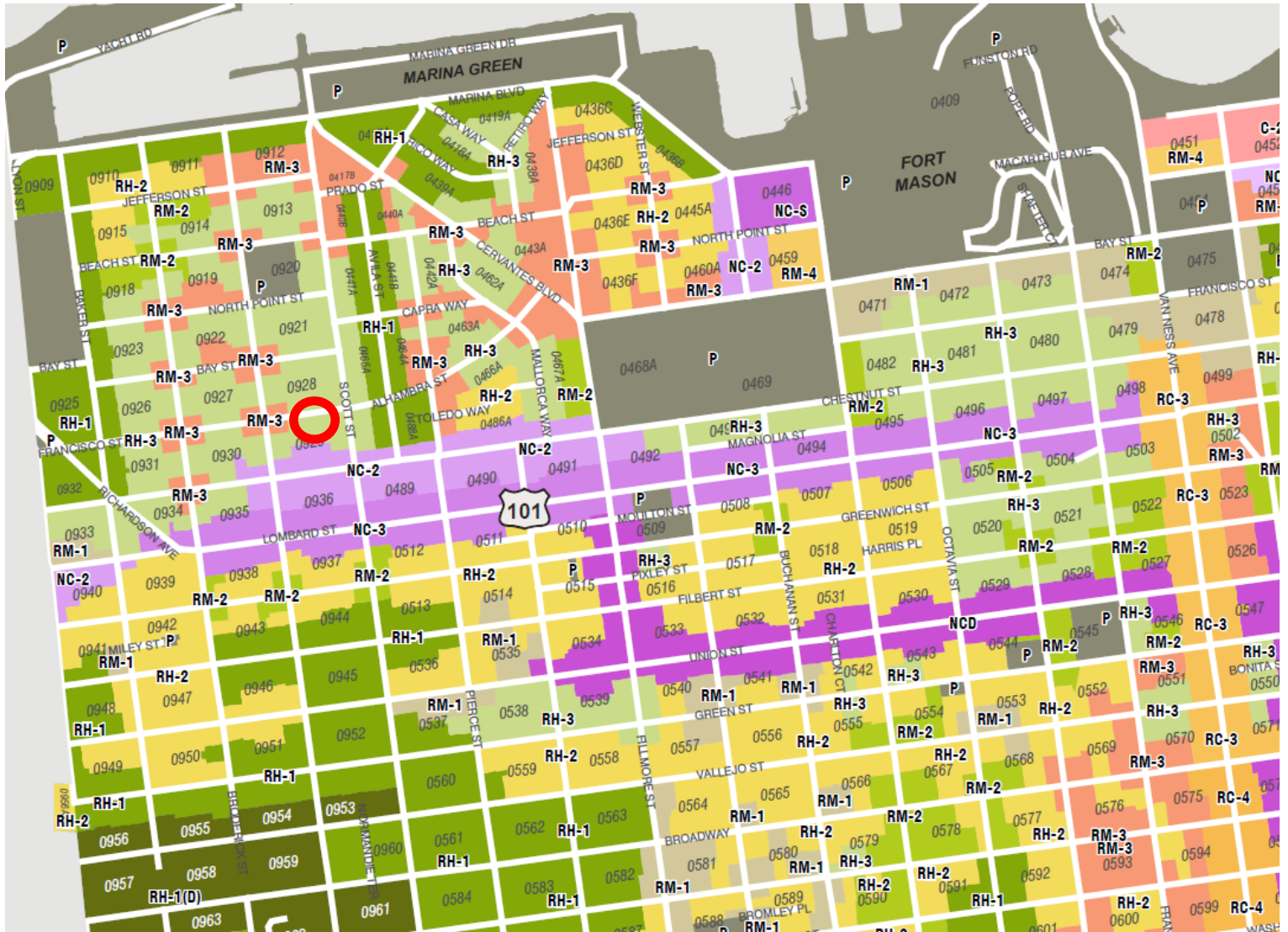
Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.

RECOMMENDATION:	Do not take DR and approve project as proposed
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Attachments:

Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Context Photographs
Section 311 Notice
DR Application
Response to DR Application dated December 3, 2015
Reduced Plans

Zoning Map



Discretionary Review Hearing
Case Number 2014-000352DRP
2231 Francisco Street



Parcel Map



Discretionary Review Hearing
Case Number 2014-000352DRP
2231 Francisco Street



Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing
Case Number 2014-000352DRP
2231 Francisco Street

This aerial map displays a residential neighborhood in San Francisco, with property boundaries, addresses, and street names clearly marked. The streets shown include Francisco St, Divisadero St, Chestnut St, and Scott St. Two red arrows highlight specific properties of interest:

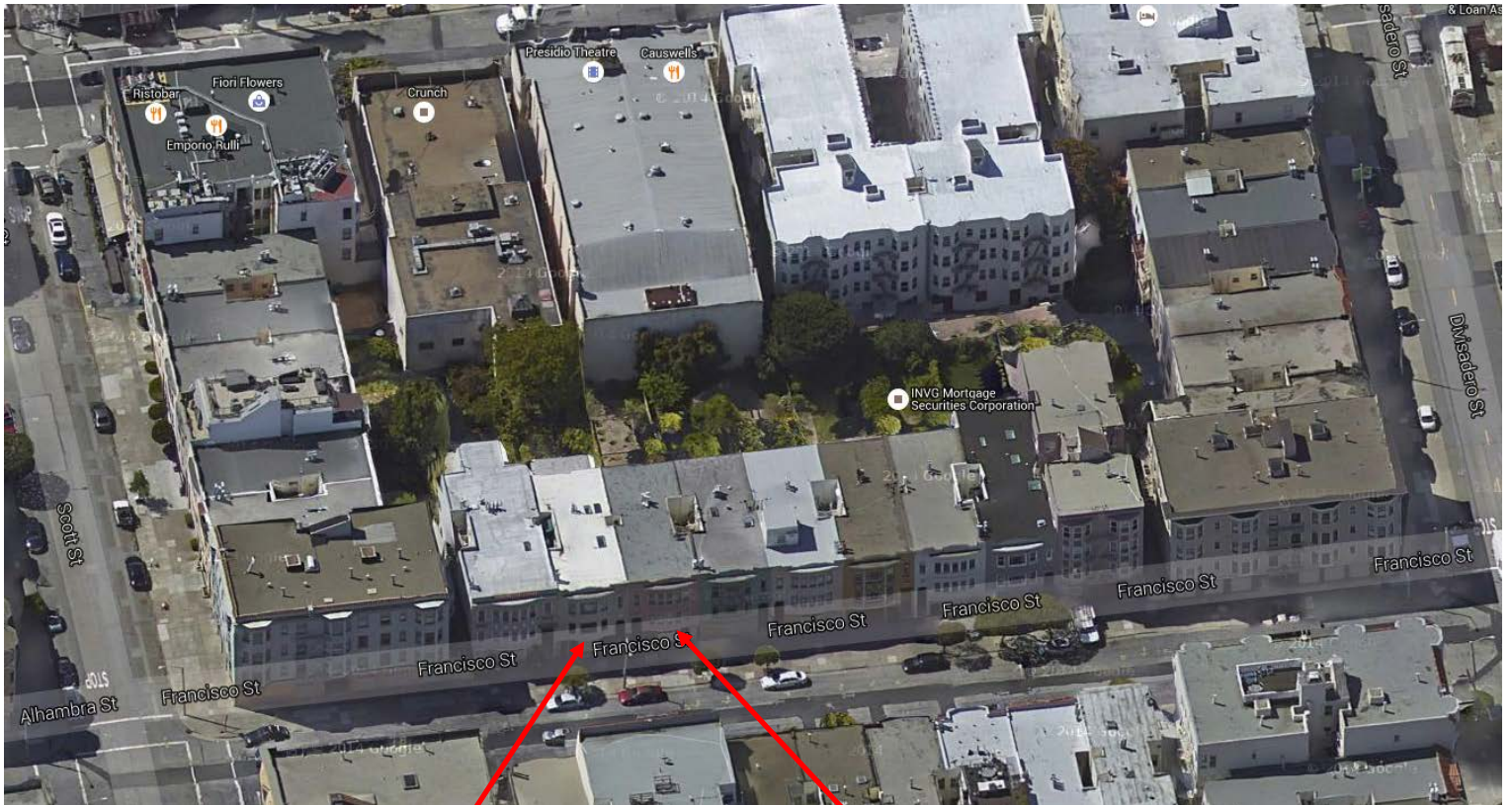
- 2231-2233 Francisco St (2 lots)**: Located on the right side of the map, near the intersection of Francisco St and Chestnut St.
- 2237-2239 Francisco St (2 lots)**: Located on the right side of the map, near the intersection of Francisco St and Chestnut St.

Other visible addresses and street names include:

- Francisco St**: 2200, 2201, 2204, 2205, 2215, 2229, 2231, 2233, 2237, 2239, 2241, 2243, 2245, 2247, 2249, 2251, 2253, 2255, 2257, 2259, 2261, 2263, 2265, 2267, 2269, 2271, 2273, 2275, 2277, 2279, 2281, 2283, 2285, 2287, 2289, 2291, 2293, 2295, 2297, 2299, 2301, 2303, 2305, 2307, 2309, 2311, 2313, 2315, 2317, 2319, 2321, 2323, 2325, 2327, 2329, 2331, 2333, 2335, 2337, 2339, 2341, 2343, 2345, 2347, 2349, 2351, 2353, 2355, 2357, 2359, 2361, 2363, 2365, 2367, 2369, 2371, 2373, 2375, 2377, 2379, 2381, 2383, 2385, 2387, 2389, 2391, 2393, 2395, 2397, 2399, 2401, 2403, 2405, 2407, 2409, 2411, 2413, 2415, 2417, 2419, 2421, 2423, 2425, 2427, 2429, 2431, 2433, 2435, 2437, 2439, 2441, 2443, 2445, 2447, 2449, 2451, 2453, 2455, 2457, 2459, 2461, 2463, 2465, 2467, 2469, 2471, 2473, 2475, 2477, 2479, 2481, 2483, 2485, 2487, 2489, 2491, 2493, 2495, 2497, 2499, 2501, 2503, 2505, 2507, 2509, 2511, 2513, 2515, 2517, 2519, 2521, 2523, 2525, 2527, 2529, 2531, 2533, 2535, 2537, 2539, 2541, 2543, 2545, 2547, 2549, 2551, 2553, 2555, 2557, 2559, 2561, 2563, 2565, 2567, 2569, 2571, 2573, 2575, 2577, 2579, 2581, 2583, 2585, 2587, 2589, 2591, 2593, 2595, 2597, 2599, 2601, 2603, 2605, 2607, 2609, 2611, 2613, 2615, 2617, 2619, 2621, 2623, 2625, 2627, 2629, 2631, 2633, 2635, 2637, 2639, 2641, 2643, 2645, 2647, 2649, 2651, 2653, 2655, 2657, 2659, 2661, 2663, 2665, 2667, 2669, 2671, 2673, 2675, 2677, 2679, 2681, 2683, 2685, 2687, 2689, 2691, 2693, 2695, 2697, 2699, 2701, 2703, 2705, 2707, 2709, 2711, 2713, 2715, 2717, 2719, 2721, 2723, 2725, 2727, 2729, 2731, 2733, 2735, 2737, 2739, 2741, 2743, 2745, 2747, 2749, 2751, 2753, 2755, 2757, 2759, 2761, 2763, 2765, 2767, 2769, 2771, 2773, 2775, 2777, 2779, 2781, 2783, 2785, 2787, 2789, 2791, 2793, 2795, 2797, 2799, 2801, 2803, 2805, 2807, 2809, 2811, 2813, 2815, 2817, 2819, 2821, 2823, 2825, 2827, 2829, 2831, 2833, 2835, 2837, 2839, 2841, 2843, 2845, 2847, 2849, 2851, 2853, 2855, 2857, 2859, 2861, 2863, 2865, 2867, 2869, 2871, 2873, 2875, 2877, 2879, 2881, 2883, 2885, 2887, 2889, 2891, 2893, 2895, 2897, 2899, 2901, 2903, 2905, 2907, 2909, 2911, 2913, 2915, 2917, 2919, 2921, 2923, 2925, 2927, 2929, 2931, 2933, 2935, 2937, 2939, 2941, 2943, 2945, 2947, 2949, 2951, 2953, 2955, 2957, 2959, 2961, 2963, 2965, 2967, 2969, 2971, 2973, 2975, 2977, 2979, 2981, 2983, 2985, 2987, 2989, 2991, 2993, 2995, 2997, 2999, 3001, 3003, 3005, 3007, 3009, 3011, 3013, 3015, 3017, 3019, 3021, 3023, 3025, 3027, 3029, 3031, 3033, 3035, 3037, 3039, 3041, 3043, 3045, 3047, 3049, 3051, 3053, 3055, 3057, 3059, 3061, 3063, 3065, 3067, 3069, 3071, 3073, 3075, 3077, 3079, 3081, 3083, 3085, 3087, 3089, 3091, 3093, 3095, 3097, 3099, 3101, 3103, 3105, 3107, 3109, 3111, 3113, 3115, 3117, 3119, 3121, 3123, 3125, 3127, 3129, 3131, 3133, 3135, 3137, 3139, 3141, 3143, 3145, 3147, 3149, 3151, 3153, 3155, 3157, 3159, 3161, 3163, 3165, 3167, 3169, 3171, 3173, 3175, 3177, 3179, 3181, 3183, 3185, 3187, 3189, 3191, 3193, 3195, 3197, 3199, 3201, 3203, 3205, 3207, 3209, 3211, 3213, 3215, 3217, 3219, 3221, 3223, 3225, 3227, 3229, 3231, 3233, 3235, 3237, 3239, 3241, 3243, 3245, 3247, 3249, 3251, 3253, 3255, 3257, 3259, 3261, 3263, 3265, 3267, 3269, 3271, 3273, 3275, 3277, 3279, 3281, 3283, 3285, 3287, 3289, 3291, 3293, 3295, 3297, 3299, 3301, 3303, 3305, 3307, 3309, 3311, 3313, 3315, 3317, 3319, 3321, 3323, 3325, 3327, 3329, 3331, 3333, 3335, 3337, 3339, 3341, 3343, 3345, 3347, 3349, 3351, 3353, 3355, 3357, 3359, 3361, 3363, 3365, 3367, 3369, 3371, 3373, 3375, 3377, 3379, 3381, 3383, 3385, 3387, 3389, 3391, 3393, 3395, 3397, 3399, 3401, 3403, 3405, 3407, 3409, 3411, 3413, 3415, 3417, 3419, 3421, 3423, 3425, 3427, 3429, 3431, 3433, 3435, 3437, 3439, 3441, 3443, 3445, 3447, 3449, 3451, 3453, 3455, 3457, 3459, 3461, 3463, 3465, 3467, 3469, 3471, 3473, 3475, 3477, 3479, 3481, 3483, 3485, 3487, 3489, 3491, 3493, 3495, 3497, 3499, 3501, 3503,

**SAN FRANCISCO
PLANNING DEPARTMENT**

Aerial Photo*



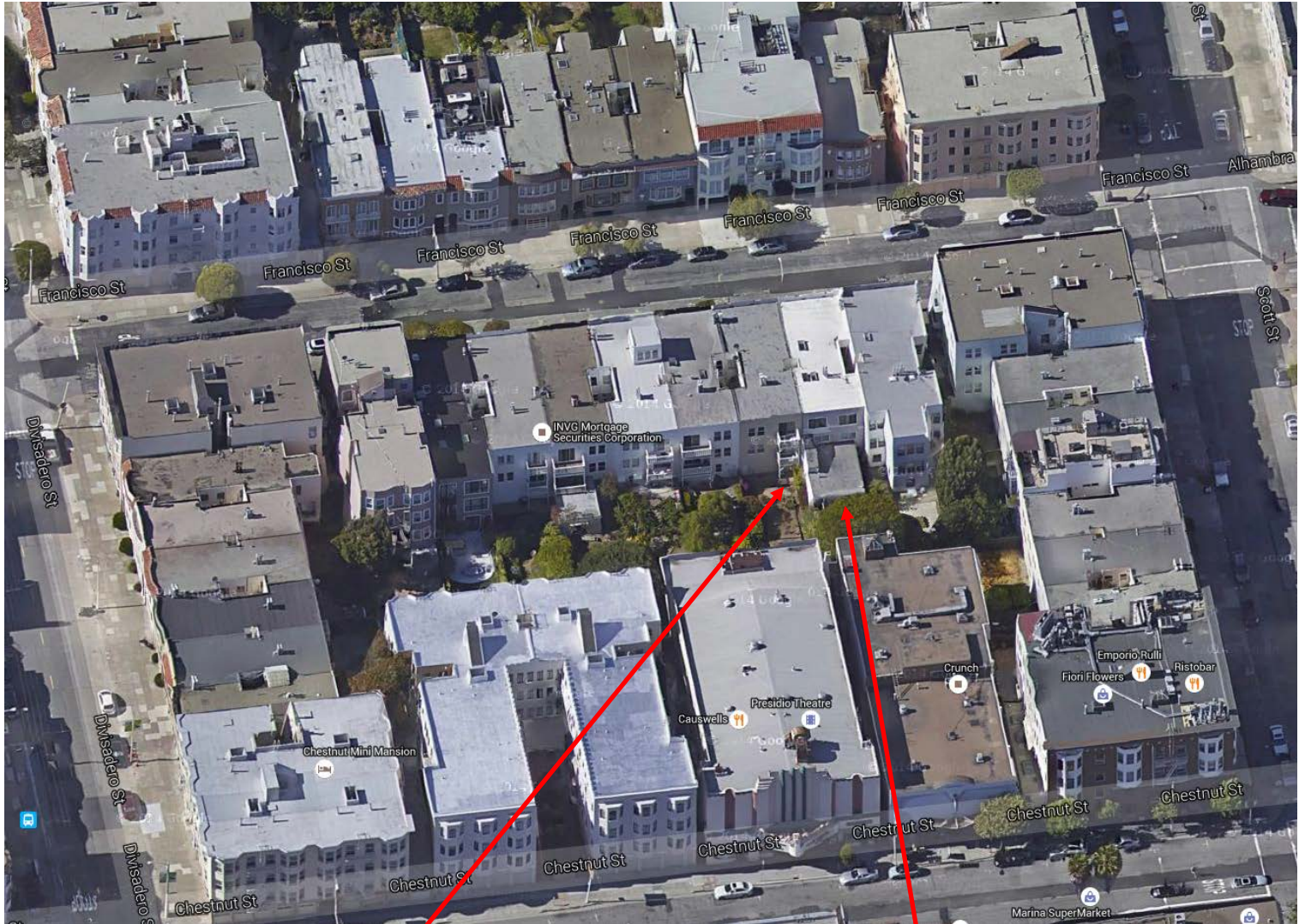
SUBJECT PROPERTY AT
2231 FRANCISCO ST

DR REQUESTORS' PROPERTY
2237 - 2239 FRANCISCO ST

**The Aerial Maps reflect existing conditions in 2016. (Google Imagery)*



Aerial Photo*



DR REQUESTORS' PROPERTY
2237 - 2239 FRANCISCO ST

SUBJECT PROPERTY AT
2231 FRANCISCO ST

**The Aerial Maps reflect existing conditions in 2016. (Google Imagery)*



Site Photo



**SUBJECT PROPERTY AT
2231 FRANCISCO ST**

**DR REQUESTORS' PROPERTY
2237 - 2239 FRANCISCO ST**

Discretionary Review Hearing
Case Number 2014-000352DRP
2231 Francisco Street

Site Photo

Subject Block



SUBJECT PROPERTY AT
2231 FRANCISCO ST

DR REQUESTORS' PROPERTY
2237 – 2239 FRANCISCO ST

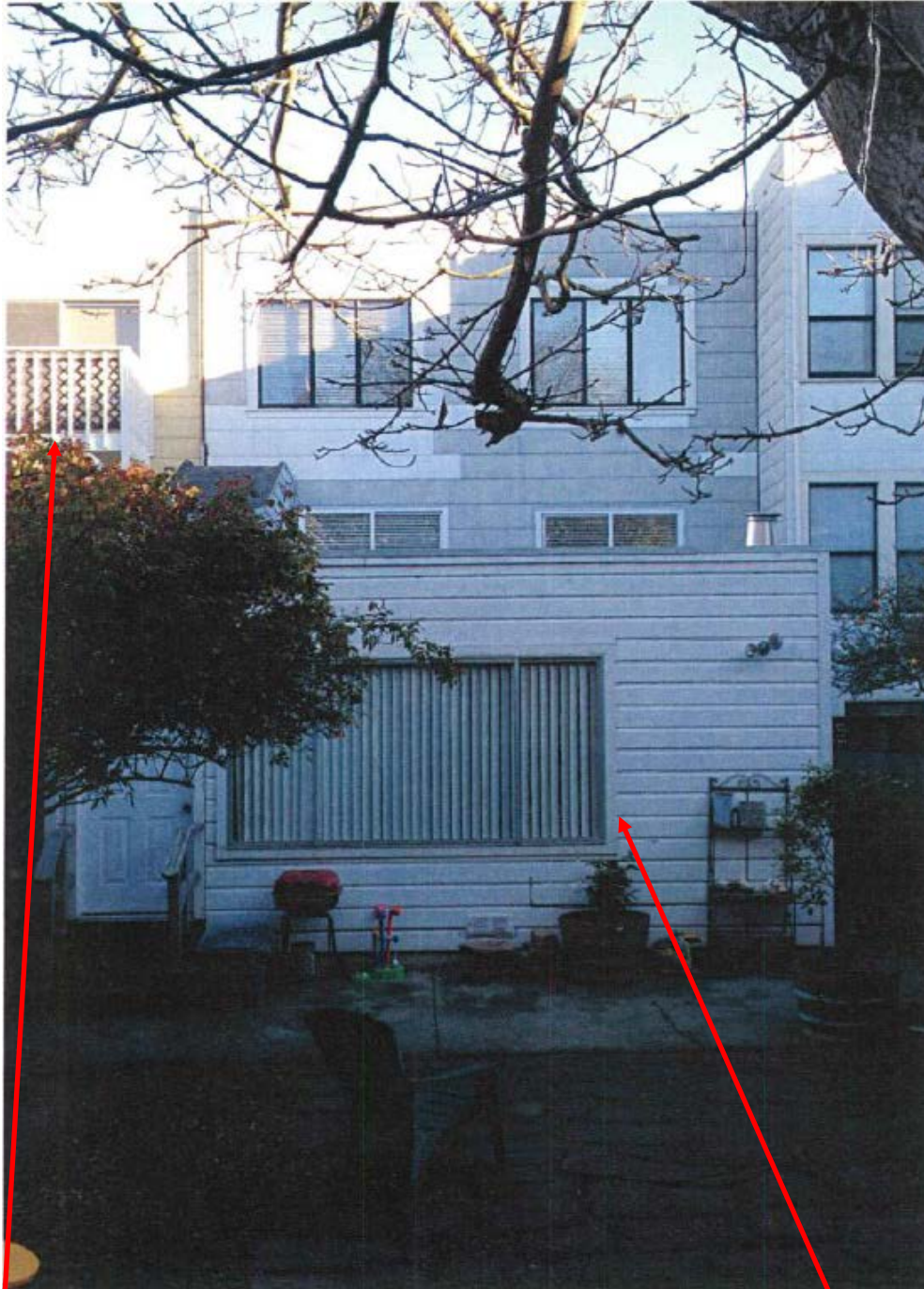
Opposite Block



Discretionary Review Hearing
Case Number 2014-000352DRP
2231 Francisco Street

Site Photo

REAR VIEW OF SUBJECT PROPERTY



DR REQUESTORS' PROPERTY
AT 2237 – 2239 FRANCISCO ST

SUBJECT PROPERTY AT
2231 FRANCISCO ST

Discretionary Review Hearing
Case Number 2014-000352DRP
2231 Francisco Street

Site Photo

REAR VIEW OF SUBJECT PROPERTY AND ADJACENT PROPERTIES



DR REQUESTORS' PROPERTY
AT 2237 – 2239 FRANCISCO ST

SUBJECT PROPERTY AT
2231 FRANCISCO ST

APPLICATION FOR Discretionary Review

1. Owner/Applicant Information

DR APPLICANT'S NAME: Philip and Diana Caccamo		
DR APPLICANT'S ADDRESS: 2237-2239 Francisco Street, San Francisco, CA	ZIP CODE: 94123	TELEPHONE: (415) 956-8100
PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME: Brian Evans		
ADDRESS: 2231-2233 Francisco Street, San Francisco, CA	ZIP CODE: 94123	TELEPHONE: (707) 328-3600
CONTACT FOR DR APPLICATION: Same as Above <input type="checkbox"/> Zacks & Freedman, P.C., c/o Ryan J. Patterson		
ADDRESS: 235 Montgomery Street, Suite 400, San Francisco, CA	ZIP CODE: 94104	TELEPHONE: (415) 956-8100
E-MAIL ADDRESS: ryanp@zulpc.com		

2. Location and Classification

STREET ADDRESS OF PROJECT: 2231-2233 Francisco Street, San Francisco, CA		ZIP CODE: 94123		
CROSS STREETS: Between Scott Street and Divisadero Street				
ASSESSORS BLOCK/LOT: 0929 /51-52	LOT DIMENSIONS: 25x137.66	LOT AREA (SQ FT): 3,441.5	ZONING DISTRICT: RH-3	HEIGHT/BULK DISTRICT: 40-X

3. Project Description

Please check all that apply

Change of Use ☐ Change of Hours ☐ New Construction ☐ Alterations ☒ Demolition ☐ Other ☒Additions to Building: Rear ☒ Front ☐ Height ☐ Side Yard ☐

Residential

Present or Previous Use:

Proposed Use: Residential

Building Permit Application No. 2014.05.05.4871

Date Filed: 05/05/2014

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PLANNING DEPARTMENT
NEIGHBORHOOD PLANNING

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

The 311 plans still do not meet Code. Once there is a Code-compliant project available for review, we are willing and eager to participate in further discussion/mediation about project changes.

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

Please see attached.

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

Please see attached.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

Please see attached.

REQUEST FOR DISCRETIONARY REVIEW

- 1) ***What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines?***

The proposed project is not Code-compliant. It includes the de facto demolition of a rent-controlled, legally permitted dwelling unit. As shown in the project plans, existing stairs connect the ground-floor housekeeping unit with the upper unit. Per Code at the time of construction, these stairs have doors at the top and bottom, separating the two units. Under the proposed project, the stairs will be demolished and rebuilt in a new location without doors separating the two units. This is a de facto unit merger in violation of Planning Code Section 317.

It is worth noting that this project proposal is the sponsor's third attempt to illegally merge the housekeeping unit into his upper-unit condominium. This attempt should likewise be sent back to the drawing board.

- 2) ***The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:***

In addition to the Code-noncompliance discussed above, the proposed project will have significant adverse impacts on the neighboring homes. For example, due to the location of the new stairs discussed above (which will illegally merge two residential units), the proposed second-floor deck will be located adjacent to a bedroom's windows at the DR Requestors' adjoining property. This is a "special situation[] where a proposed project will have an unusual impact on privacy to neighboring interior living spaces." (Residential Design Guidelines, p. 17.) Additionally, the project would build new mass in the mid-block open space, interfering with neighbors' enjoyment of their common rear yards.

- 3) ***What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?***

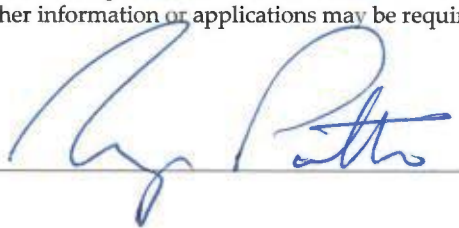
The project plans should first be revised to comply with Planning Code Section 317, and then reviewed by staff and re-noticed. At a minimum, the subject property should be maintained as a three-unit building, without illegally destroying a naturally affordable rent-controlled unit. The rear-yard setback should also be maintained to ensure the continued enjoyment of the mid-block open space by neighboring properties. Lastly, the proposed second-floor deck should be deleted to protect the privacy of the adjacent neighboring bedroom.

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: _____



Date: _____

11/6/15

Print name, and indicate whether owner, or authorized agent:

Ryan J. Patterson, Esq.

Owner / Authorized Agent (circle one)

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input checked="" type="checkbox"/>
Address labels (original), if applicable	<input checked="" type="checkbox"/>
Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>
Photocopy of this completed application	<input checked="" type="checkbox"/>
Photographs that illustrate your concerns	<input checked="" type="checkbox"/>
Covenant or Deed Restrictions	<input type="checkbox"/>
Check payable to Planning Dept.	<input checked="" type="checkbox"/>
Letter of authorization for agent	<input checked="" type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input checked="" type="checkbox"/>

NOTES:

☐ Required Material.☐ Optional Material.☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

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NOV 06 2015

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
NEIGHBORHOOD PLANNING

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____

Google Maps 2235 Francisco St



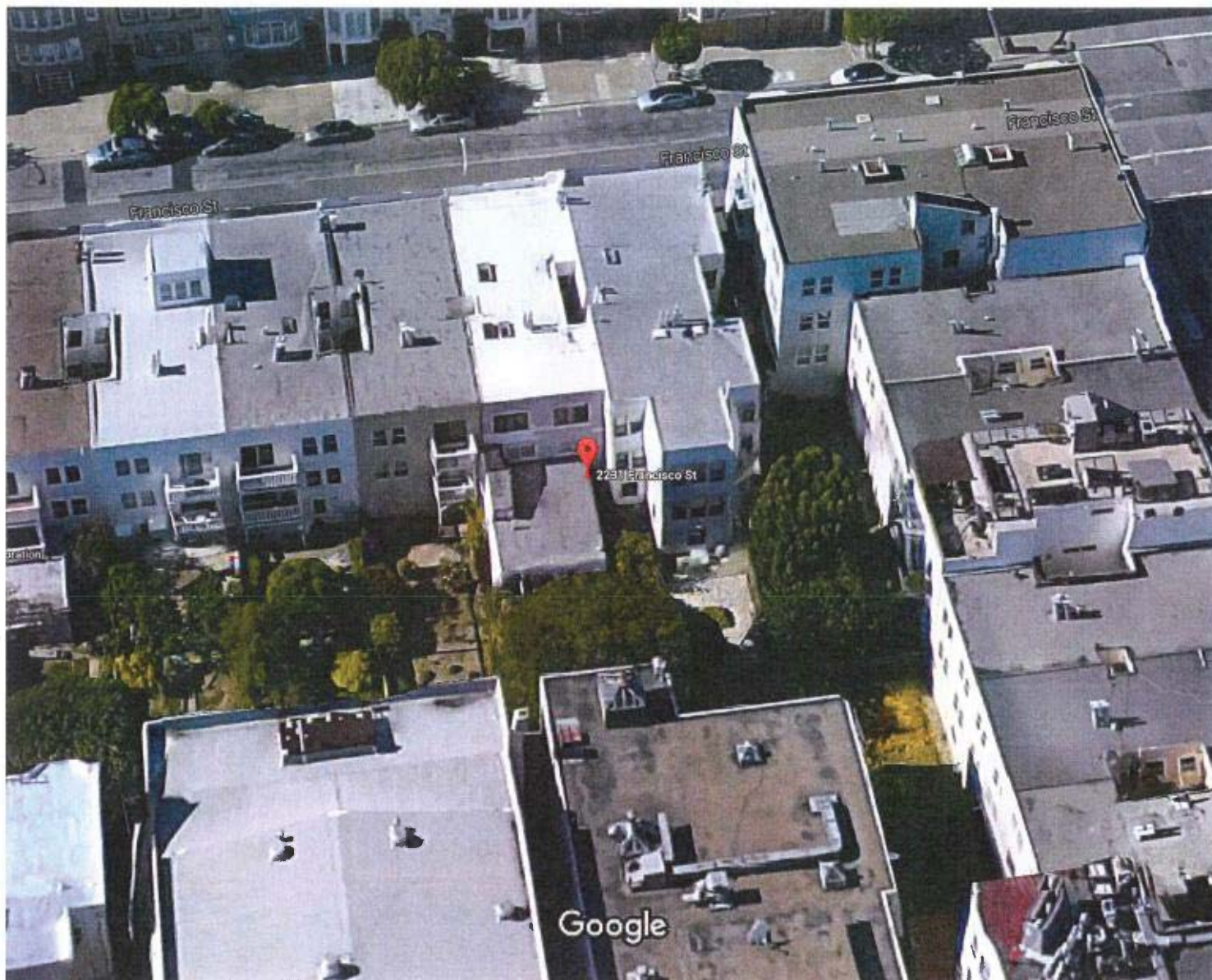
Image capture: Jan 2015 © 2015 Google

San Francisco, California

Street View - Jan 2015



Google Maps 2231 Francisco St



Imagery ©2015 Google, Map data ©2015 Google 20 ft



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On May 5, 2014, the Applicant named below filed Building Permit Application No. 2014.05.05.4871 with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	2231 - 2233 Francisco Street	Applicant (agent / designer):	Drake Gardner
Cross Street(s):	Divisadero Street / Scott Street	Address:	10 Carlile Drive
Block/Lot Nos.:	0929 / 051-052	City, State:	Novato, CA 94945
Zoning District(s):	RH-3 / 40-X	Telephone:	(415) 377-6694

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Facade Alteration (rear)	<input type="checkbox"/> Front Addition
<input checked="" type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	No Change
Front Setback	0 feet	No Change
Building Depth	Approx. 87 feet 6 inches	Approx. 87 feet 6 inches
Rear Yard	Approx. 50 feet	Approx. 50 feet
Building Height (main building)	Approx. 30 feet	No Change
Number of Stories	3	No Change
Number of Dwelling Units	2 dwelling units and 1 housekeeping unit	No Change
Number of Parking Spaces	2	No Change
PROJECT DESCRIPTION		
The proposal is to remove the existing one-story horizontal rear addition and to construct a new two-story horizontal rear addition (approximately 25 feet wide by 26 feet deep by 20 feet high) to the existing residential building. A portion of the proposed two-story rear addition will be set back 5 feet from the east and west side property lines. The proposal will include a new deck on the second floor (approximately 5 feet wide by 9 feet deep) abutting the west side property line. See attached plans.		
The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.		

For more information, please contact Planning Department staff:

Planner: Sharon M. Young
Telephone: (415) 558-6346
E-mail: sharon.m.young@sfgov.org

Notice Date: 10/7/2015
Expiration Date: 11/6/2015

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.** **Incomplete applications will not be accepted.**

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

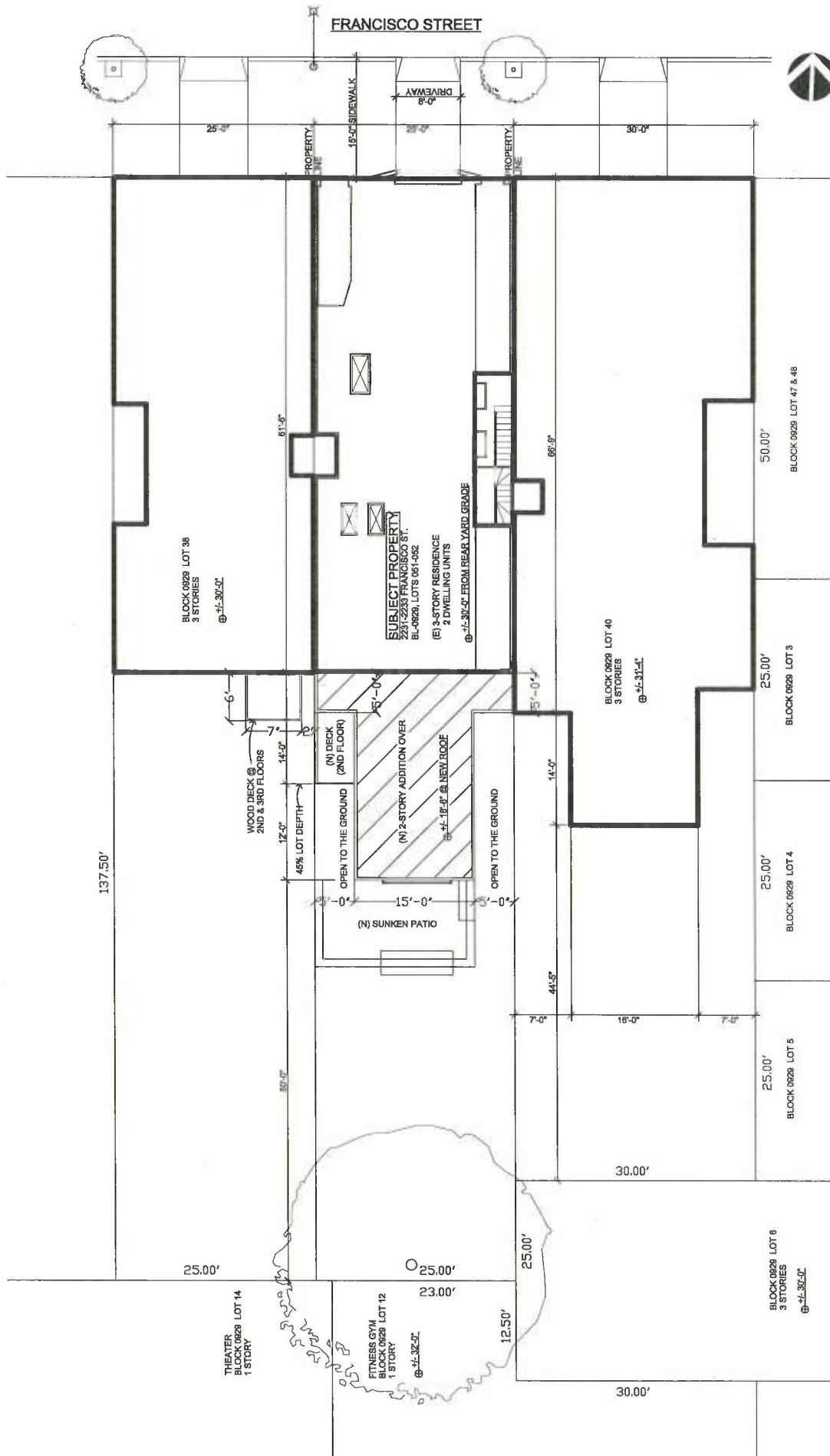
BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

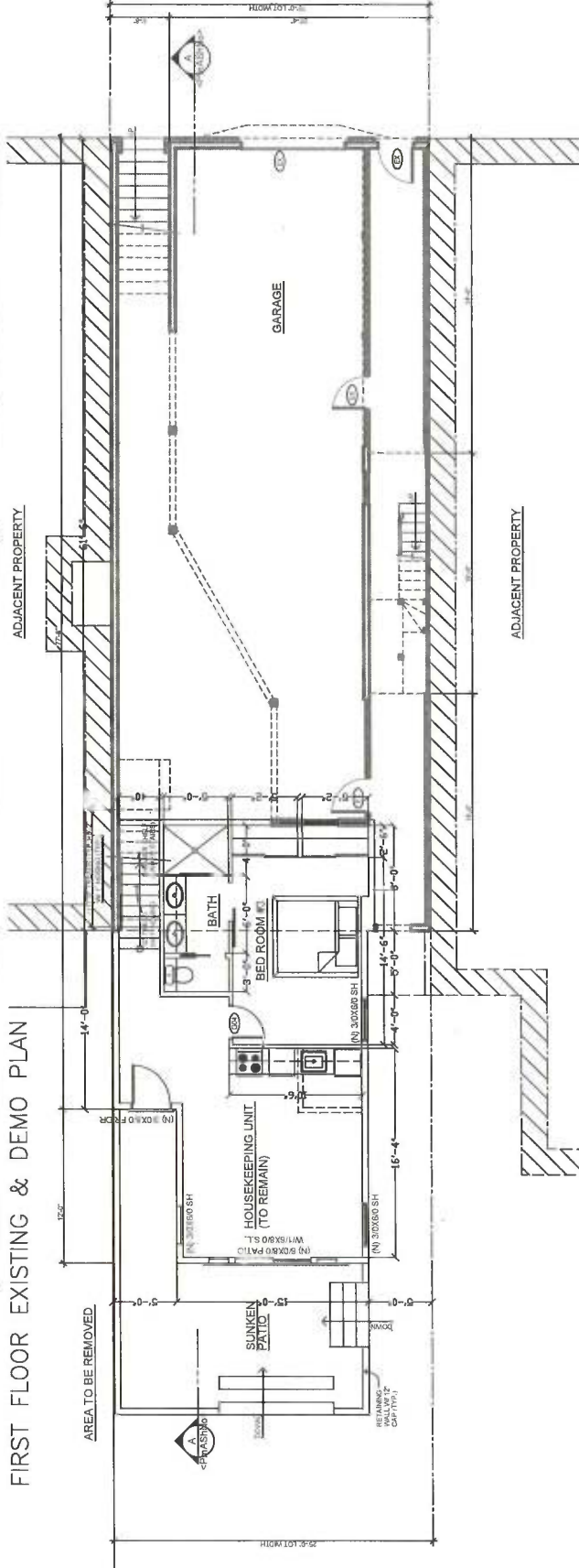
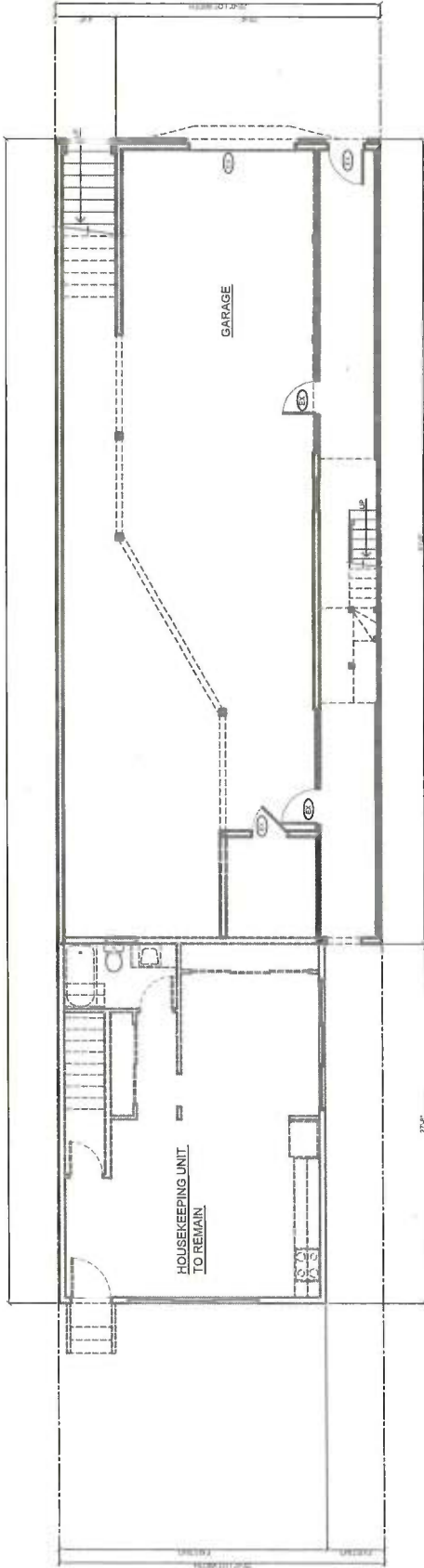
ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



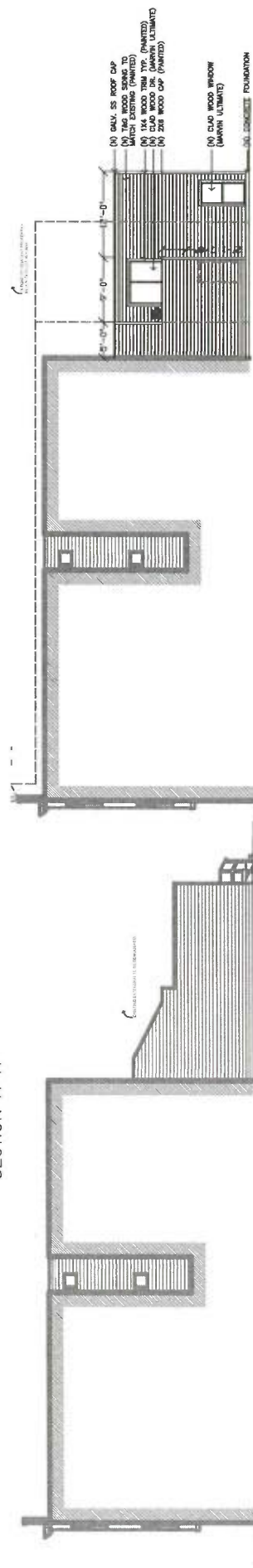
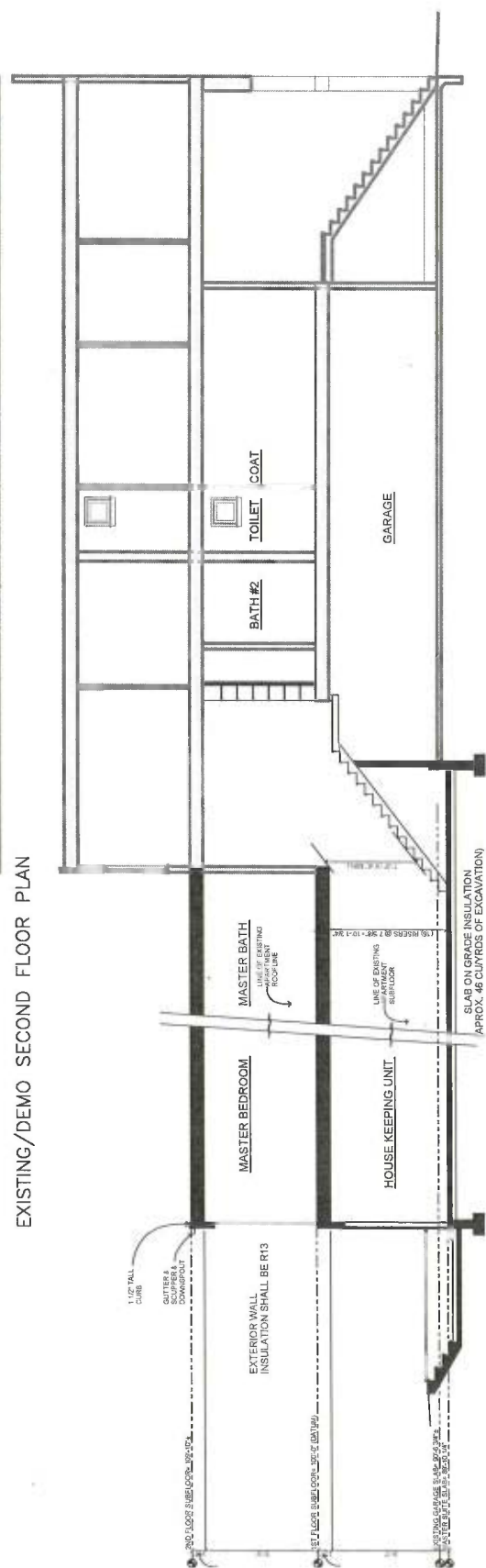
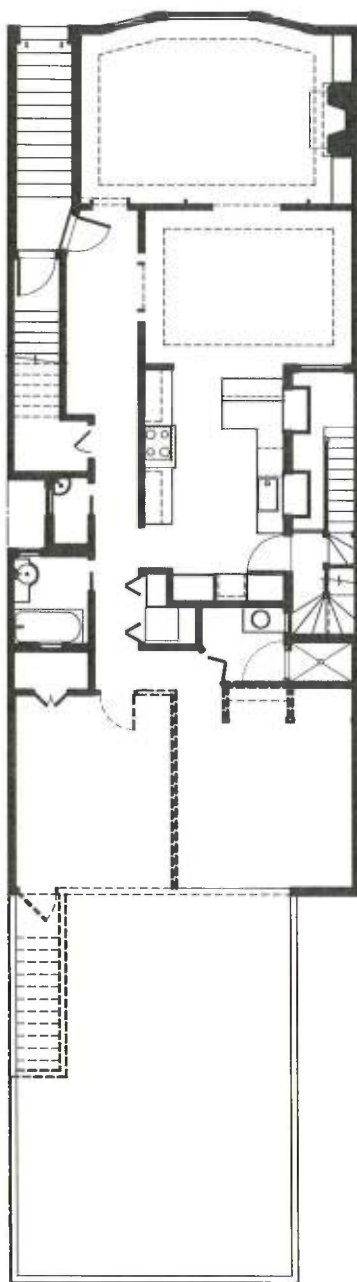
NORTH
NEW SITE PLAN

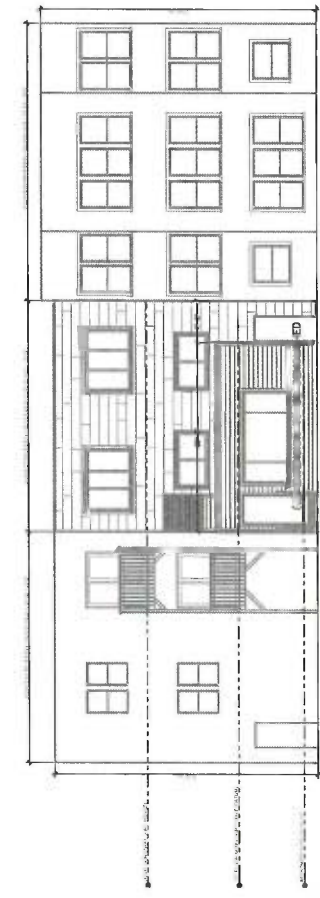


NEW FIRST FLOOR

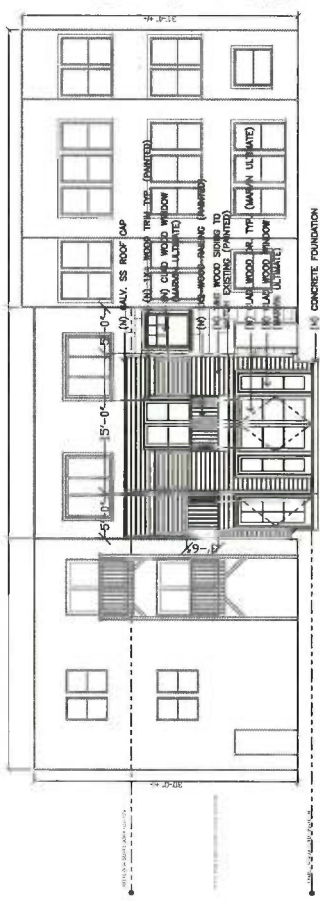
APPROX. TOTAL GROSS FLOOR AREA 720 S.F.

- EXISTING WALLS (TO REMAIN)
- EXISTING WALLS TO BE REMOVED
- NEW WALLS

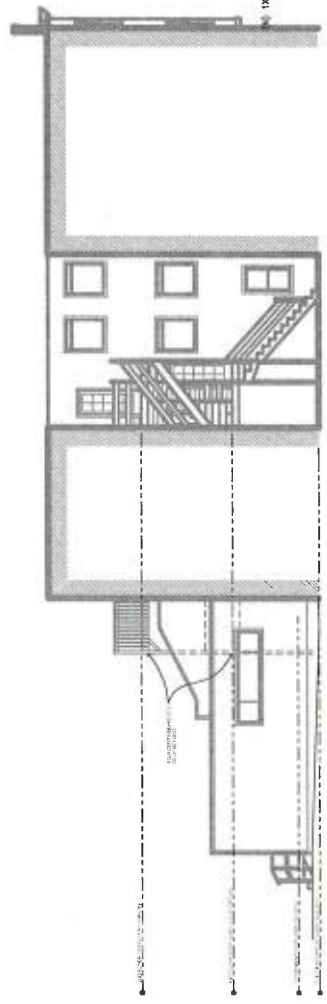




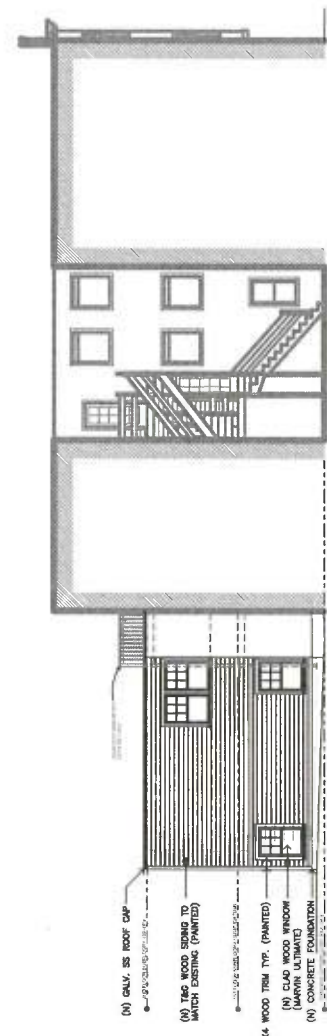
EXISTING SOUTH ELEVATION



NEW SOUTH ELEVATION



EXISTING EAST ELEVATION



NEW EAST ELEVATION

We hereby authorize Zacks & Freedman, P.C., including but not limited to Ryan J. Patterson, to file a request for Discretionary Review on our behalf for 2231 Francisco Street, BPA No. 201405054871. Signed Philip and Diana Caccamo

Dated 11-2-13, 2015

Philip & Caccamo
Diana Caccamo

RESPONSE TO
DISCRETIONARY
REVIEW (DRP)



San Francisco
Planning

SAN FRANCISCO PLANNING DEPARTMENT
1080 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94104-5119
MAIN: (415) 369-6376 SFPLANNING.ORG

Project Information

Property Address: **2231-2233 Francisco Street**

Zip Code: **94123**

Building Permit Application(s): **2014.05.05.4871**

Record Number: **2014-000352DRP**

Assigned Planner: **Sharon Young**

Project Sponsor

Name: **Brian Evans**

Phone: **(707) 328-3600**

Email: **bevans@akamai.com**

Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

The DR Requester is incorrect. The housekeeping unit on the ground floor will be maintained. The Project is Planning Code compliant, increases habitability, and adds approximately 500 sq. ft. for the Evans Family.

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

Changes that were made after the filing application: Added a west lot line set back at the second floor.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

Project goal: Add 500 sq. ft. for growing family needs. The Adjacent property to the East has a rear yard addition to the full building height (40 ft.) This Project's vertical addition will be 10 ft. below the building height limit.

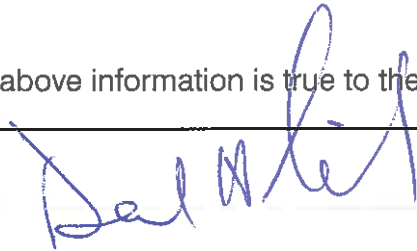
Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)	No Change	No Change
Occupied Stories (all levels with habitable rooms)	No Change	No Change
Basement Levels (may include garage or windowless storage rooms)	0	0
Parking Spaces (Off-Street)	1	1
Bedrooms	3	3
Height	30'	30'
Building Depth	87.5'	87.5'
Rental Value (monthly)	N/A	N/A
Property Value	N/A	N/A

I attest that the above information is true to the best of my knowledge.

Signature:



Date:

12-3-15

Printed Name: David Silverman



Property Owner

Authorized Agent

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.



ALUM ARCH ASPH	ADJUSTABLE ALUMINUM ARCHITECTURE ASPHALT	(N) NIC # OR	NEW NOT IN CONTRACT NUMBER
BD	BOARD	O/	OVER
BDLG	BUILDING	OC	ON CENTER
BLK	BLOCK	OD	OUTER DIAMETER
BLKG	BLOCKING	OFCl	OWNER FURNISHED, CONTRACTOR
BM	BEAM		INSTALLED
B.O.	BOTTOM OF	OFDI	OWNER FURNISHED, OWNER INSTALLED
BU	BUILT-UP		
CLG	CEILING	OPNG	OPENING
CLR	CLEAR		
CNTRL	CONTROL	PL	PLATE
CONC	CONCRETE	PLYWD	PLYWOOD
CONT	CONTINUOUS	PT	PRESSURE TREATED
CTR	CENTER		
		R	RADIUS
DBL	DOUBLE	RA	RETURN AIR
DF	DOUGLAS FIR	RIWD	REDWOOD
DIM	DIMENSION	REF	REFERENCE
DN	DOWN	REG	REGISTER
DP	DOUBLE POLE	REQ	REQUIRED
DS	DOWNSPOUT	RET	RETURN
DWG	DRAWING	RM	ROOM
		S	SOUTH
(E)	EXISTING	SA	SUPPLY AIR
E	EAST	SAD	SEE ARCHITECTURAL
EACH	EACH	DRAWING	
ELEC	ELECTRICAL	SED	SEE ELECTRICAL
ELEV	ELEVATION		DRAWING
EQ	EQUAL	SF	SUBFLOOR
EXP	EXPOSED	SHT	SHEET
EXT	EXTERIOR	SHTG	SHEATHING
		SKD	SEE KITCHEN
			DRAWING
FDN	FOUNDATION	SLD	SEE LIGHTING
FF	FINISH FLOOR		DRAWING
FIN	FINISH	SMD	SEE MECHANICAL
FL	FLOOR		DRAWING
FOC	FACE OF CONCRETE	SP	SINGLE POLE
FOF	FACE OF FINISH	SPD	SEE PLUMBING
FOS	FACE OF STUD		DRAWING
FOP	FACE OF PLYWOOD	SQ	SQUARE
FURN	FURNACE	SS	SINGLE SHELF
		SSD	SEE STRUCTURAL
			DRAWING
GA	GAUGE	STD	STANDARD
GALV	GALVANIZED		
GND	GROUND	T&G	TONGUE AND
GYP	GYPSON BOARD		GROOVE
		TO	TOP OF
HB	HOSE BIB	TOFF	TOP OF FINISH FLR
HC	HOLLOW CORE	TOP	TOP OF PLATE
HDR	HEADER	TOS	TOP OF SLAB
HR STL	HOT-ROLLED STEEL	TOW	TOP OF WALL
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	TP	TOILET PAPER
			HOLDER
HW	HOT WATER HEATER	TR	TOWEL RACK
		TY	TYPICAL
ICPV	INTEGRAL COLOR	UDN	UNLESS OTHERWISE
			NOTED
INSUL	PLASTER VENEER		
INT	INSULATION INTERIOR	VERT	VERTICAL
		VIF	VERIFY IN FIELD
LAM	LAMINATE	W	WEST
LT	LIGHT	W/	WITH
		W/O	WITHOUT
MANUF	MANUFACTURER	WC	WATER CLOSET
MAX	MAXIMUM	WD	WOOD
MED	MEDICINE CHEST	WIND	WINDOW
MECH	MECHANICAL	WP	WATERPROOF
MEMB	MEMBRANE		
MIN	MINIMUM		
MTL	METAL		



BUILDING DESIGN:	ZONE DESIGN DEVELOPMENT DRAKE GARDNER 10 CARLILE DRIVE, SU.1 NOVATO, CA. 94945 CONTACT: 415.377.6694
CONSULTING ENG.:	SANTOS & URRUTIA STRUCTURAL ENGINEERS 2451 HARRISON STREET SAN FRANCISCO, CA. 94110 CONTACT: 415.642.7722

2010 UBC, 2010 CBC, 2010 SFBC, 210 UMC,
2010 UEC, 2010 UPC, 2010 SF PLANNING CODE

ZONING: RH-3
LOT SIZE: 137.50 X 25'=3,438 SQ. FT.
THREE UNITS ALLOWED
75% LOT COVERAGE (AVERAGED): 137.5X.75=103'-0" BUILDING DEPTH
NO OTHER EXTENTIONS ALLOWED
(E) RESIDENTIAL AREA: 1,350 SQ.FT.
(N) RESIDENTIAL AREA: 1,300 SQ.FT.
TOTAL RESIDENTIAL AREA: 2,650 SQ.FT.(OCC. LOAD: 2,650 SF > 200 SF=13)
(E) GARAGE SPACE: 1,400 SQ.FT.
(N) TOTAL GARAGE AREA 1,200 SQ.FT.
TWO PARKING SPACES
PRIVATE OPEN SPACE: 1,400 SQ. FT./REARYARD&DECK
OCCUPANCY TYPE: R3
40' ALLOWED HT. LIMIT: 30'-6" AS DESIGNED

NOTE: 1) EXISTING BUILDING IS TYPE 5B CONSTRUCTION
2) EXISTING BUILDING RENOVATION AND NEW ADDITIONS
TO BE TYPE 5B
3) SUBMITTAL TO COMPLY WITH AB 032 (SITE PERMIT)

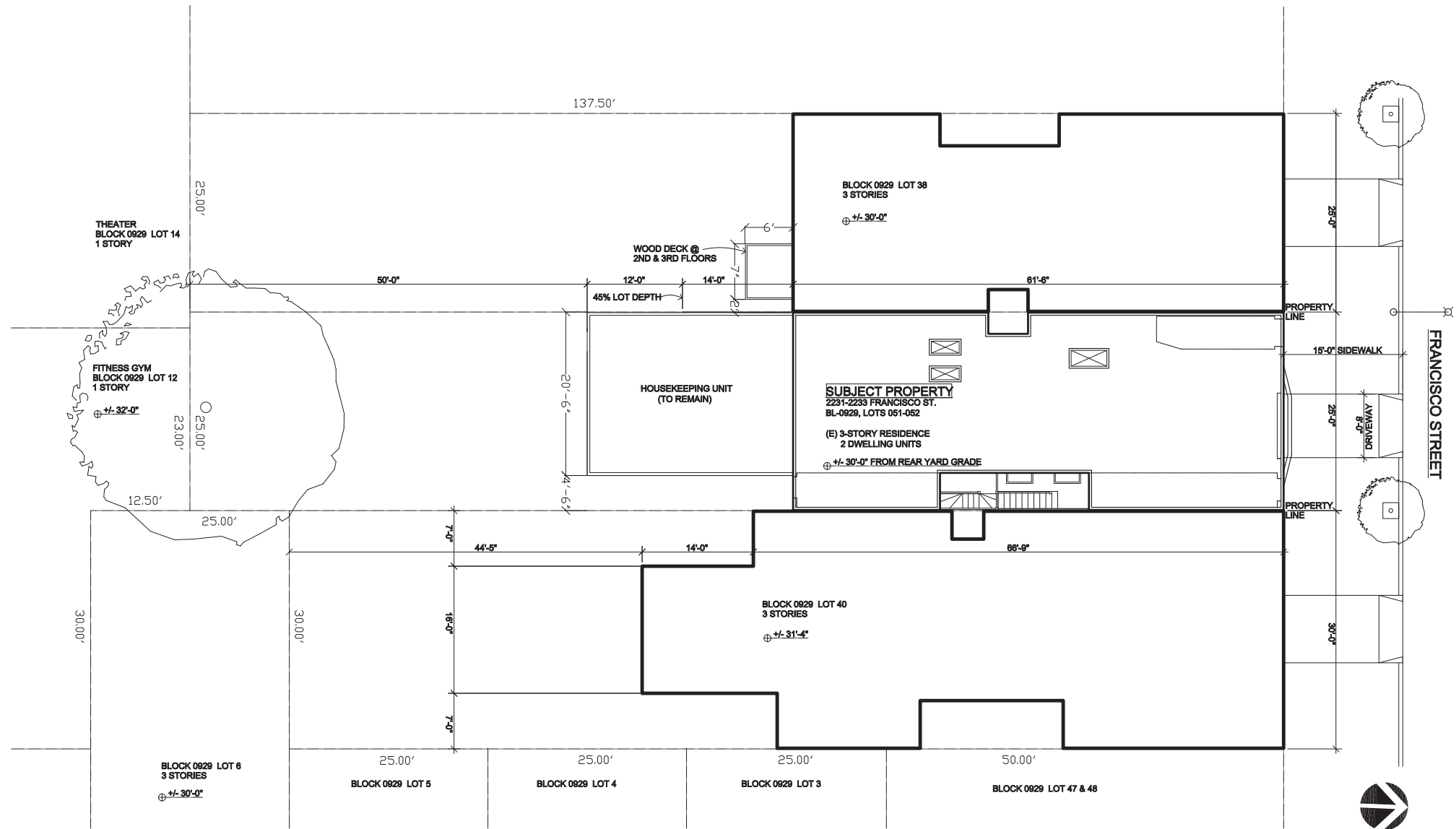
- 1) LOWER EXISTING ONE STORY REAR STRUCTURE SO CEILING MATCHES EXISTING SECOND FLOOR LEVEL.
- 2) NEW FOUNDATION AT EXISTING EXTENTION.
- 3) RECONFIGURE INTERIOR SPACES.
- 4) ADD CODE COMPLYING SECOND LEVEL OVER EXISTING FIRST REAR LEVEL.

- A0 VACINITY MAP, ROOF PLAN, AND PROJECT DATA
- A0.1 CODE & OCCUPANCY ANALYSIS
- A1 EXISTING SITE PLAN
- A2 NEW SITE PLAN
- A3 EXISTING, DEMO, AND NEW FIRST FLOOR PLANS
- A4 NEW SECOND FLOOR PLAN
- A5 EXISTING SECOND FLOOR AND DEMO PLAN, SECTION A-A
- A6 EXISTING AND NEW WEST ELEVATIONS
- A7 EXISTING AND NEW SOUTH ELEVATIONS
- A8 EXISTING AND NEW EAST ELEVATIONS
- AD1 DESIGN DETAILS
- AT1 TITLE-24 STUDY
- AG1 GREEN POINT RATING SHEETS

SAN FRANCISCO, CA
94123

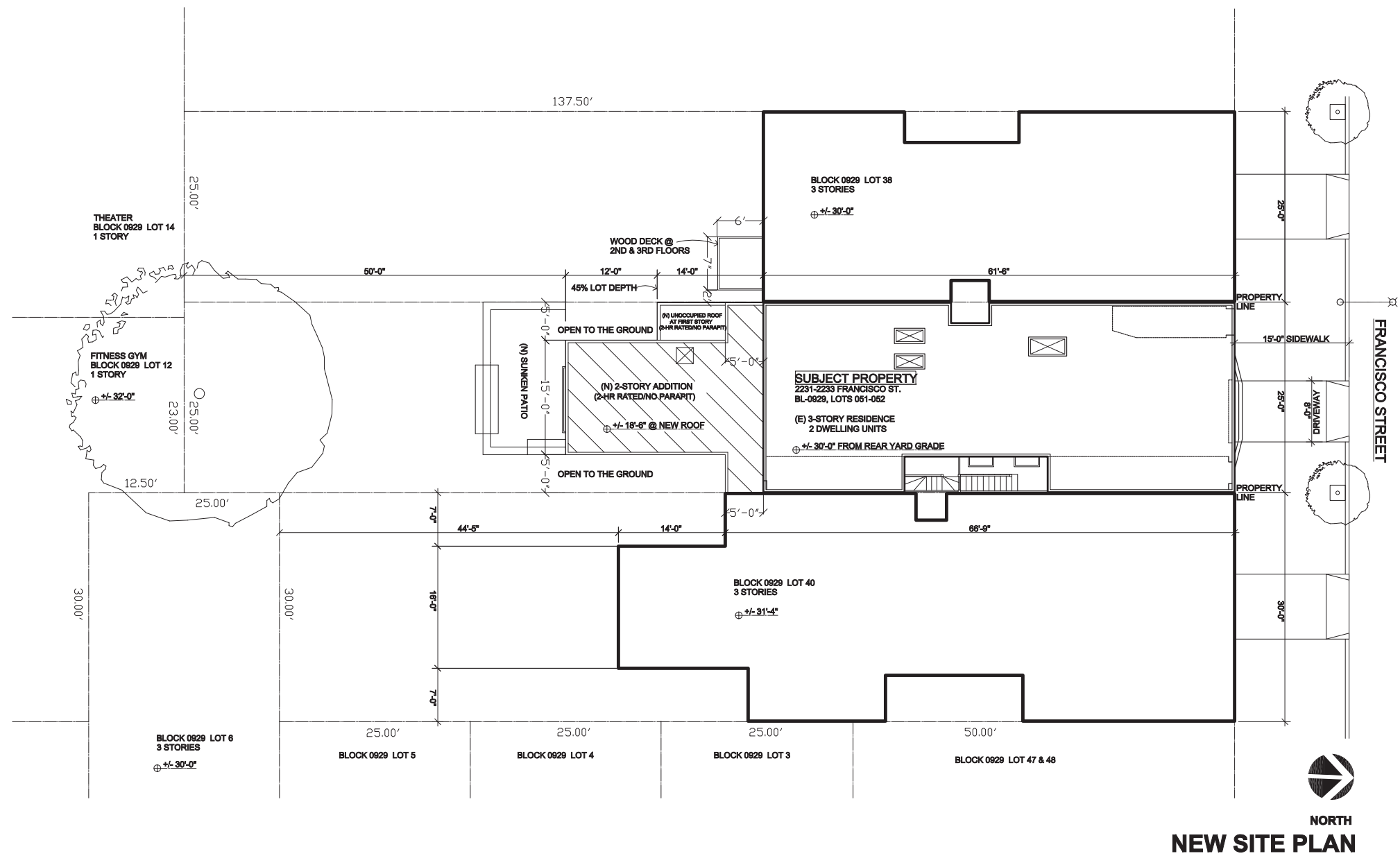
- NOTES:
- 1) CONSTRUCTION COST OF THIS PERMIT DOES NOT INCLUDE SPRINKLER AND FIRE ALARM SYSTEM.
- 2) SHORING, UNDERPINNING, SPRINKLER, AND FIRE ALARM SYSTEM UNDER SEPERATE PERMIT.
- 3) PUBLIC STAIRWAY VENTILATION PER SEC 1203.4 SFBC.
- 4) PROVIDE SMOKE DETECTORS PER SEC SFBC '2010
- 5) PROVIDE MINIMUM 1 HR. CORRIDOR TYPICAL.
- 6) PROVIDE METAL STRAPS TO WALLS FOR WATER HEATER ON 18 IN. HT. PLATFORM.
- 7) PROVIDE VENTILATION PER SEC. 312.5/CBC 1202.2.7 FOR GARAGE
- 8) PROVIDE ONE HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN UNITS AND PUBLIC AREA.
- 9) PROVIDE FLOURESCENT LIGHTING AT BATHROOMS AND KITCHENS.
- 10) PROVIDE TEMPERED GLASS 18" AND ABOVE FLOOR PER SEC. 2406.4.
- 11) ROOF DRAIN AND OVERFLOW DRAIN AT ROOF AND DECK CONNECT TO CITY SEWER. ROOFING MATERIALS SHALL BE CLASS A OR B WITH 1/4IN. TO 1FT. SLOPE TYPICAL.
- 12) EXIT WALL PROTECTION PER SEC 704.5 SFBC '2010
- 13) EXIT PATH SHALL COMPLY WITH ADMINISTRATION BULLETIN AB-20.
- 14) STAIRS (EXTERIOR/INTERIOR) SHALL COMPLY WITH CHAPTER 10 CBC.
- 15) PROVIDE SEPARATION JOINT BETWEEN BUILDING AND PROPERTY LINE PER CHAPTER 16.
- 16) COMPLY TO SECURITY REQUIREMENTS PER SEC. 1005A S.F. BUILDING CODE.
- 17) SITE PERMIT APPROVED FOR THIS PROJECT.
- 18) TRASHROOM TO COMPLY WITH SFBC '2010
- 19) PRVIDE EMERGENCY LIGHTING PER CODE.
- 20) PROVIDE STAIR I.D. WITH SIGN PER SEC. 1003.3.13
- 21) PROVIDE 1HR CONSTRUCTION W/ SOUND INSUL. BETWEEN UNITS AND PUBLIC AREA.
- 22) PROVIDE FLOOR DRAINS PER SFBC '2010
- 23) TYPE1 CONSTRUCTION TO BE OF NON-COMBUSTIBLE MATERIALS
- 24) ALL FIREPLACES TO BE "UL" LISTED.
- 25) PROVIDE 3/4HR RATED PROTECTION FOR OPENINGS (DOORS&WINDOWS) WITHIN 10FT. OF STAIR OPENINGS.
- 26) PROVIDE EXIT SIGNS PER SEC. 1013.
- 27) LOCKS AND LATCHES AT COMMERCIAL SPACE MAIN EXIT TO COMPLY WITH SEC. 1008.1.8.3 SFBC '2010
- 38) TABLE 508.3.3 STATES THAT A 1-HR SEPARATION IS REQUIRED FOR A2 AND R3 OCC.
- 1-HR MIN. SEPARATION W/1-HR SUPPORT AND NFPA 13 SPRINK PER SEC. 9033.1.1 SFBC '2010

RESIDENTIAL HORIZ. & VERT. ADDITION		DESIGN BY: ZONE		DESIGN DEVELOPEMENT	
2231 FRANCISCO STREET SAN FRANCISCO, CA. 94123 BLOCK: 474 LOT: 051		OWNER: 2012 2231 FRANCISCO STREET (415) 515.9361		DRAKE GARDNER 10 CARLILE DR. NOVATO, CA. 94945 415.377.6694 (C)	
DATE:	12.15.14				
SCALE:	VARIOUS				
DESIGNER:	D.G.				
JOB NO.:	EVANS				
SHEET NO.:					
A0.0					

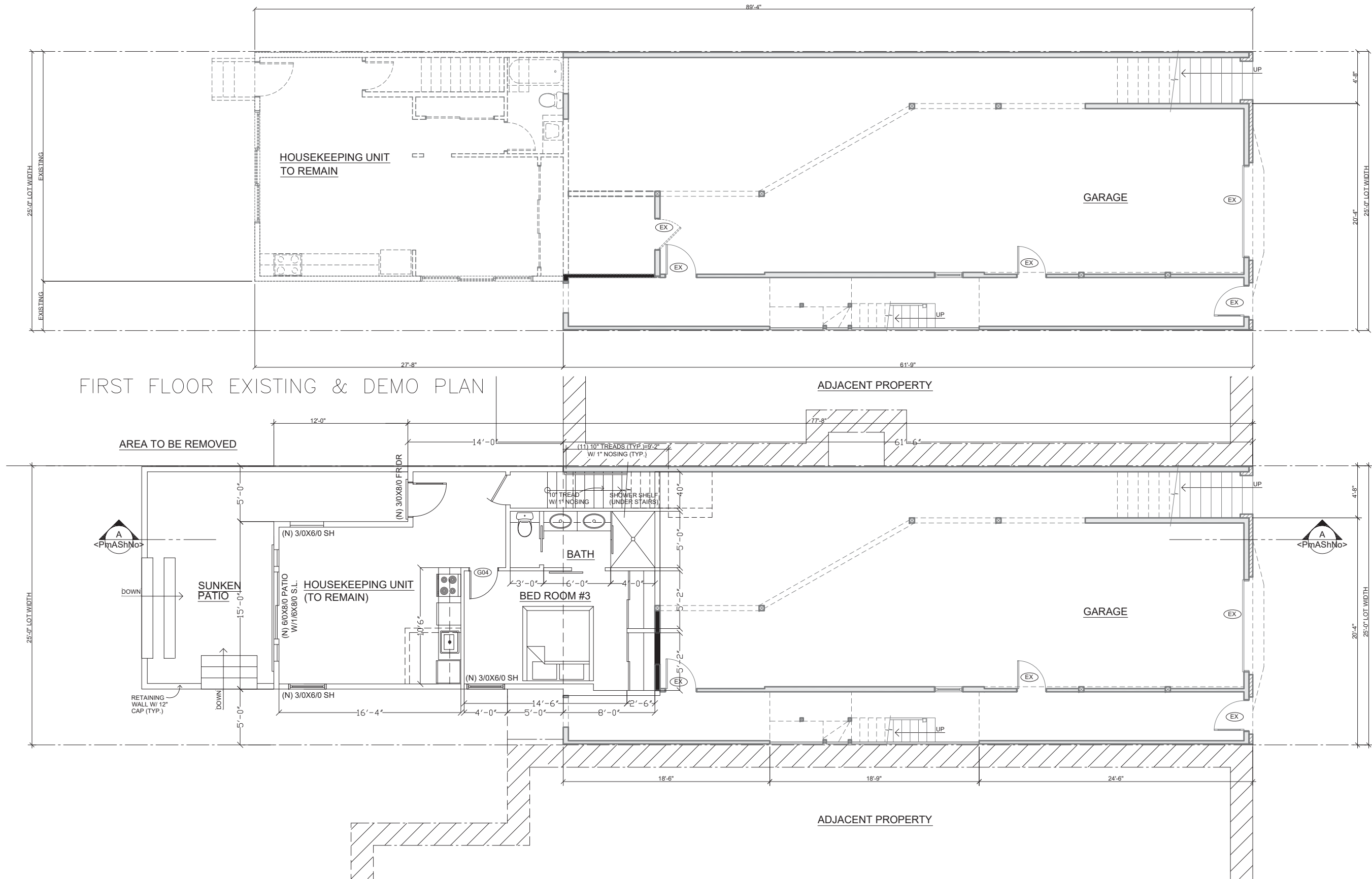


EXISTING SITE PLAN

REVISIONS		
08.13.15		▲
DESIGN BY: ZONE DESIGN DEVELOPMENT		
DRAKE GARDNER		
10 CARLILE DR.		
NOVATO, CA. 94945		
415.377.6694 (C)		
RESIDENTIAL HORIZ. & VERT. ADDITION		
OWNER: 2012 EVANS FAMILY TRUST		
2231 FRANCISCO STREET		
SAN FRANCISCO, CA. 94123		
BLOCK: 474 LOT: 051		
(415) 515.9361		
DATE:	12.15.14	
SCALE:	1/8"=1'-0"	
DESIGNER:	D.G.	
JOB NO.:	EVANS	
SHEET NO.:	A1.0	



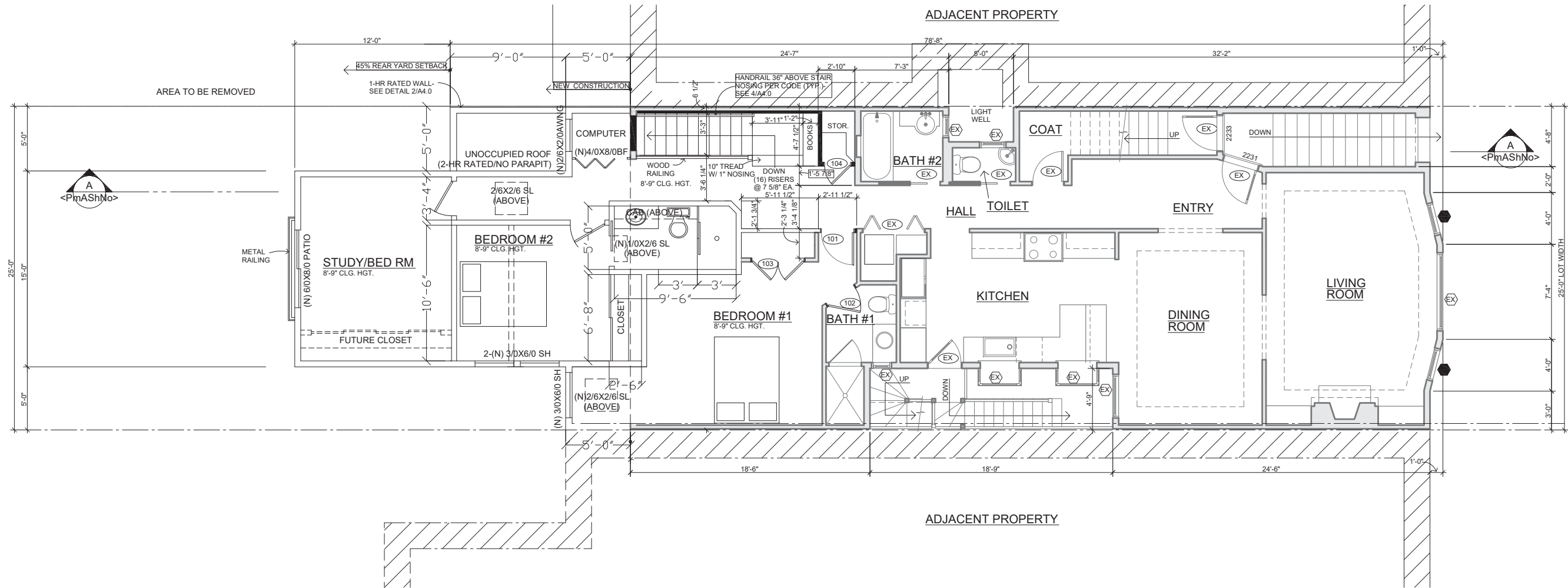
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SCALE:		1/8"=1'-0"	
DESIGNER:		D.G.	
JOB NO.:		EVANS	
SHEET NO.:		A2.0	



NEW FIRST FLOOR

APROX. TOTAL GROSS FLOOR AREA 720 S.F.

REVISIONS		
08.13.15	12.02.15	▲
DESIGN BY: ZONE DESIGN DEVELOPEMENT		
DRAKE GARDNER		
10 CARLILE DR.		
NOVATO, CA. 94945		
415.377.6694 (C)		
RESIDENTIAL HORIZ. & VERT. ADDITION		
OWNER: 2012 EVANS FAMILY TRUST		
2231 FRANCISCO STREET		
SAN FRANCISCO, CA. 94123		
BLOCK: 474 LOT: 051		
(415) 515.9361		
DATE: 12.15.14		
SCALE: 1/4"=1'-0"		
DESIGNER: D.G.		
JOB NO.: EVANS		
SHEET NO.:		
A3.0		



NEW SECOND FLOOR

APROX. TOTAL GROSS FLOOR AREA 1,750 S.F.

EXISTING WALLS (TO REMAIN)

EXISTING WALLS TO BE REMOVED

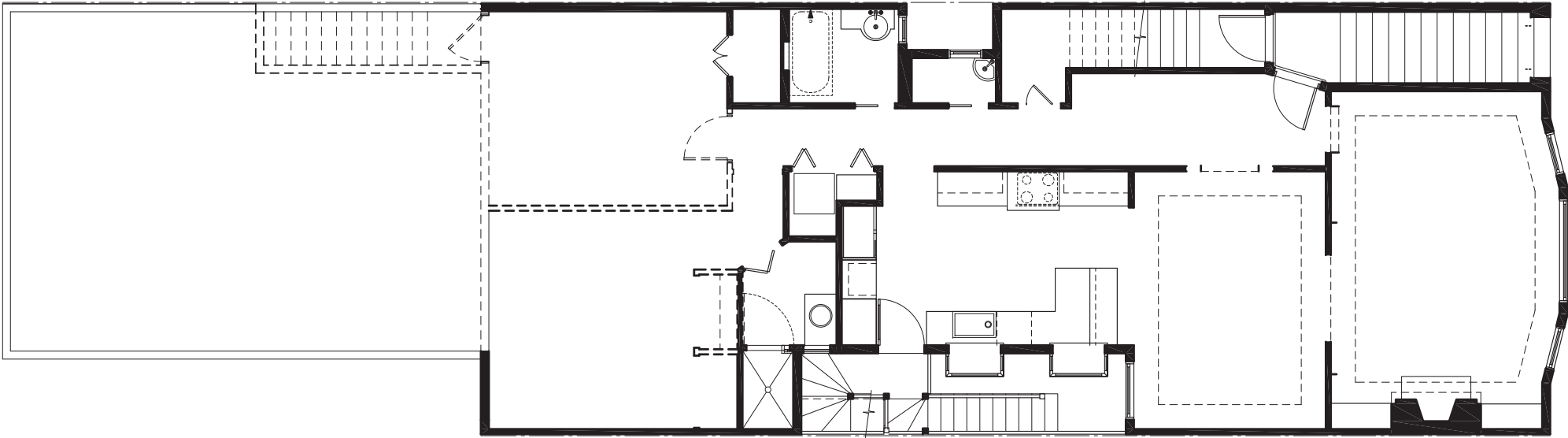
NEW WALLS

REVISIONS		
08.13.15	02.07.16	▲
DESIGN BY: ZONE DESIGN DEVELOPEMENT		
DRAKE GARDNER		
10 CARLILE DR.		
NOVATO, CA. 94945 415.377.6694 (C)		

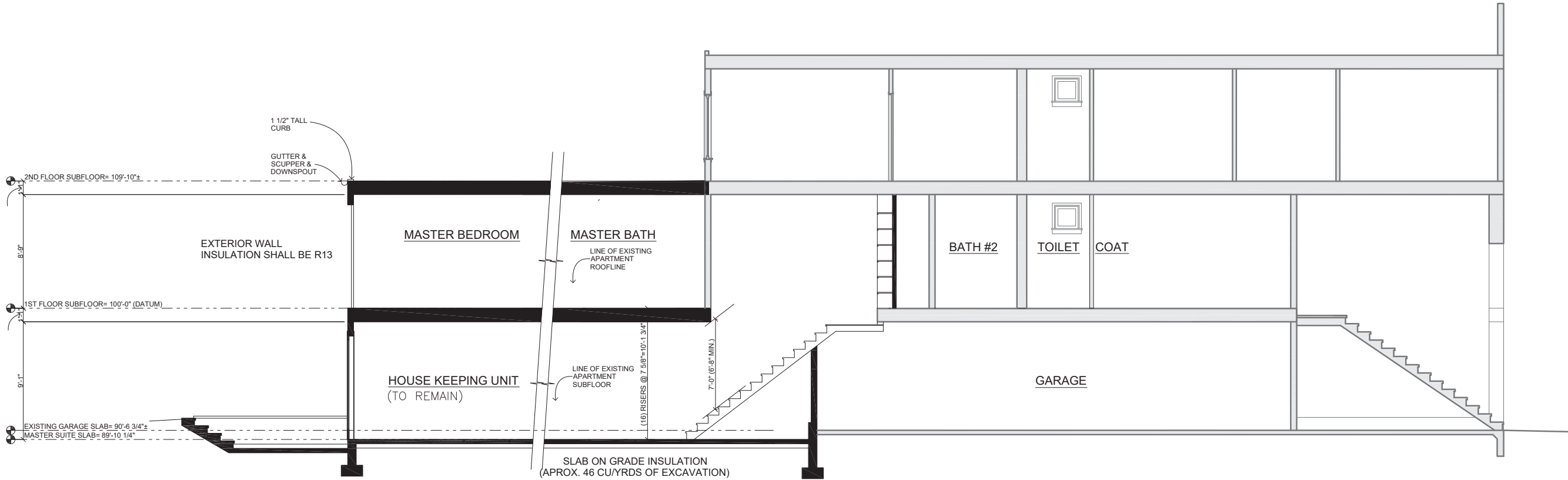
RESIDENTIAL HORIZ. & VERT. ADDITION	OWNER:	2012 EVANS FAMILY TRUST
		2231 FRANCISCO STREET
		SAN FRANCISCO, CA. 94123
	BLOCK: 474 LOT: 051	(415) 515.9361

DATE:	12.15.14
SCALE:	1/4"=1'-0"
DESIGNER:	D.G.
JOB NO.:	EVANS
SHEET NO.:	

A4.0

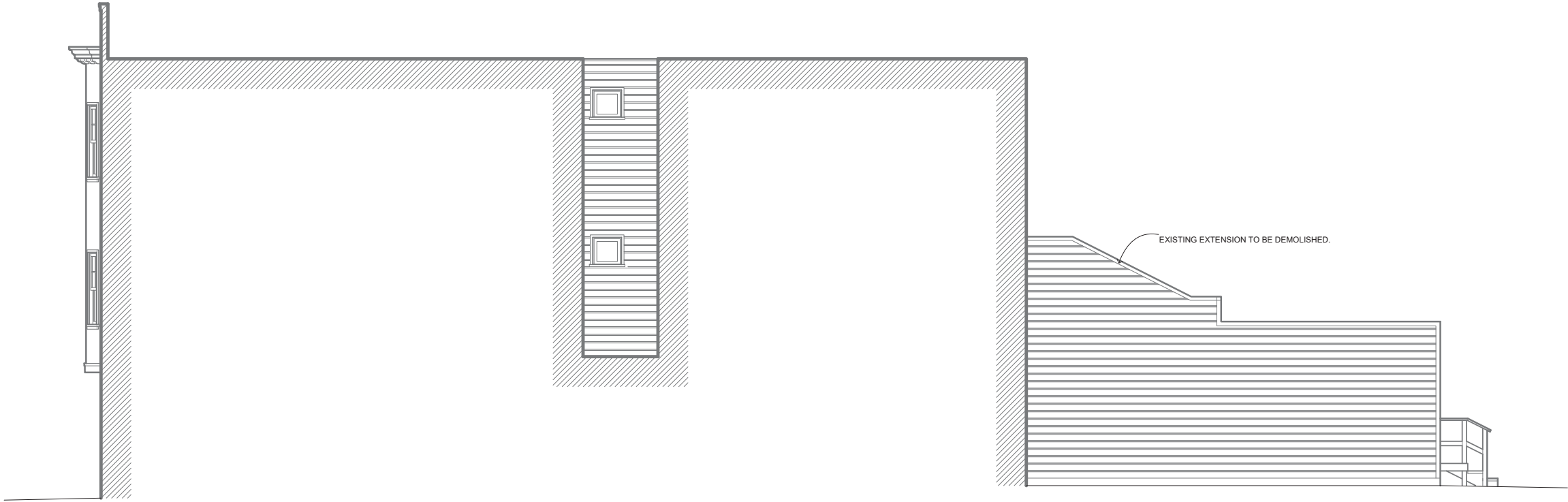


EXISTING/DEMO SECOND FLOOR PLAN

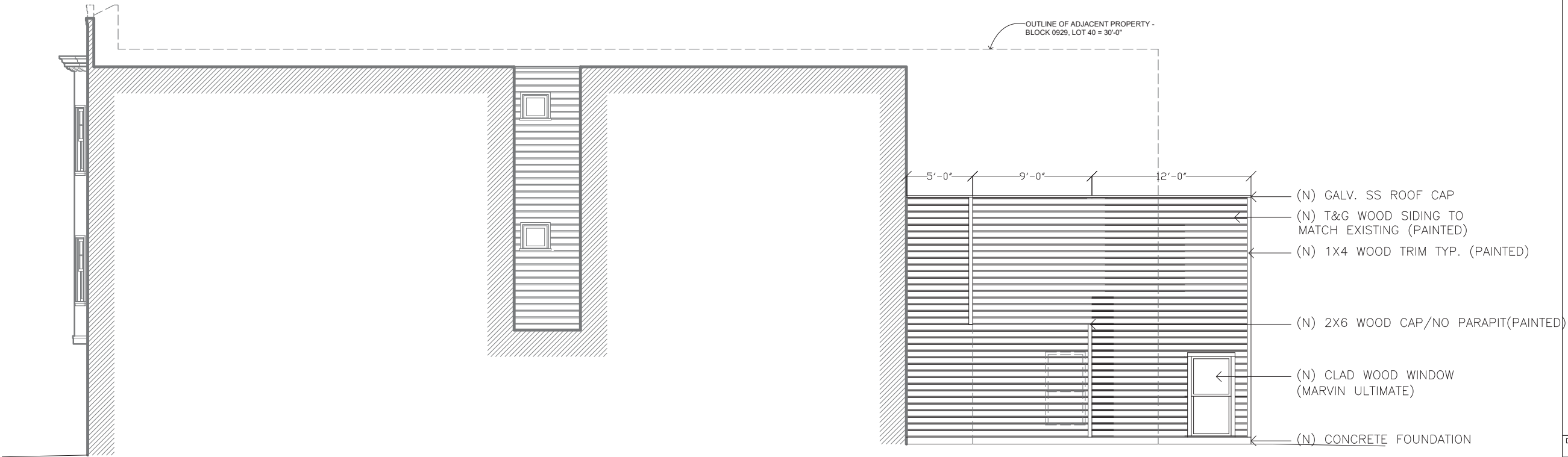


SECTION A-A

REVISIONS		
08.13.15	▲	
08.31.15		
02.07.16		
DESIGN BY: ZONE DESIGN DEVELOPEMENT		
DRAKE GARDNER		
10 CARLILE DR.		
NOVATO, CA. 94945 415.377.6694 (C)		
RESIDENTIAL HORIZ. & VERT. ADDITION		
OWNER: 2012 EVANS FAMILY TRUST		
2231 FRANCISCO STREET		
SAN FRANCISCO, CA. 94123		
BLOCK: 474 LOT: 051 (415) 515.9361		
DATE:	12.15.14	
SCALE:	1/4"=1'-0"	
DESIGNER:	D.G.	
JOB NO.:	EVANS	
SHEET NO.:	A5.0	



EXISTING WEST ELEVATION



NEW WEST ELEVATION

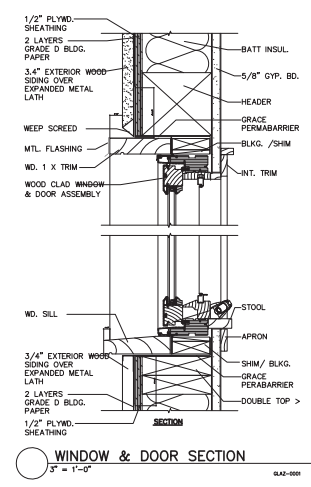
REVISIONS		
08.13.15	08.31.15	02.07.16
DESIGN BY: ZONE DESIGN DEVELOPEMENT		
DRAKE GARDNER		
10 CARLILE DR.		
NOVATO, CA. 94945		
415.377.6694 (C)		
RESIDENTIAL HORIZ. & VERT. ADDITION		
2231 FRANCISCO STREET		
SAN FRANCISCO, CA. 94123		
BLOCK: 474 LOT: 051		
OWNER: 2012 EVANS FAMILY TRUST		
(415) 515.9361		
DATE: 12.15.14		
SCALE: 1/4"=1'-0"		
DESIGNER: D.G.		
JOB NO.: EVANS		
SHEET NO.:		
A6.0		



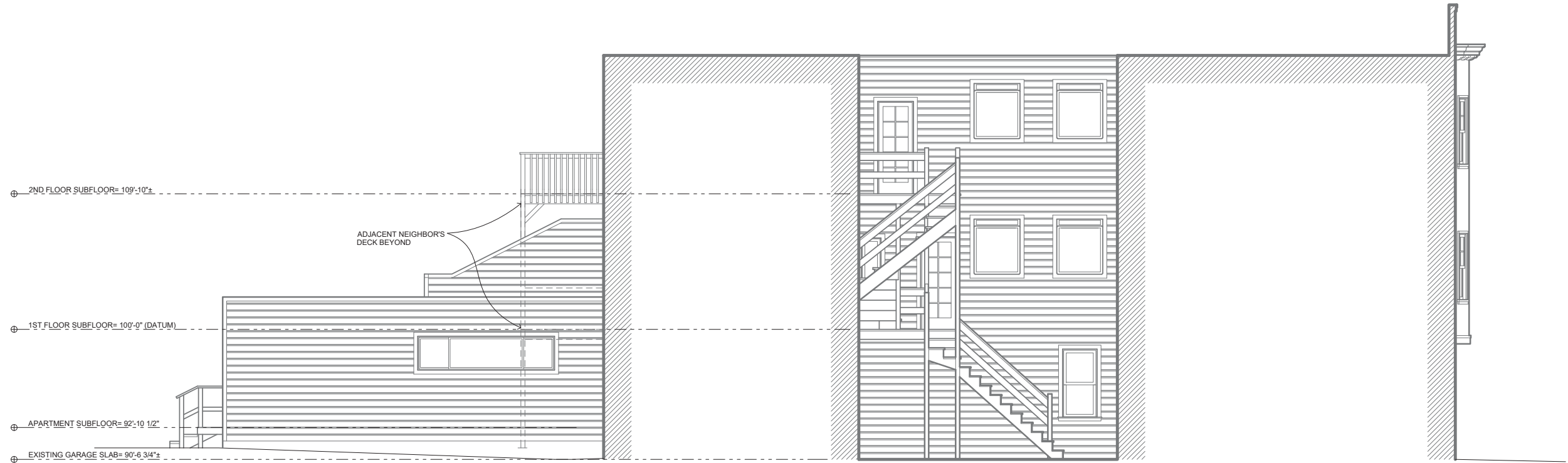
EXISTING SOUTH ELEVATION



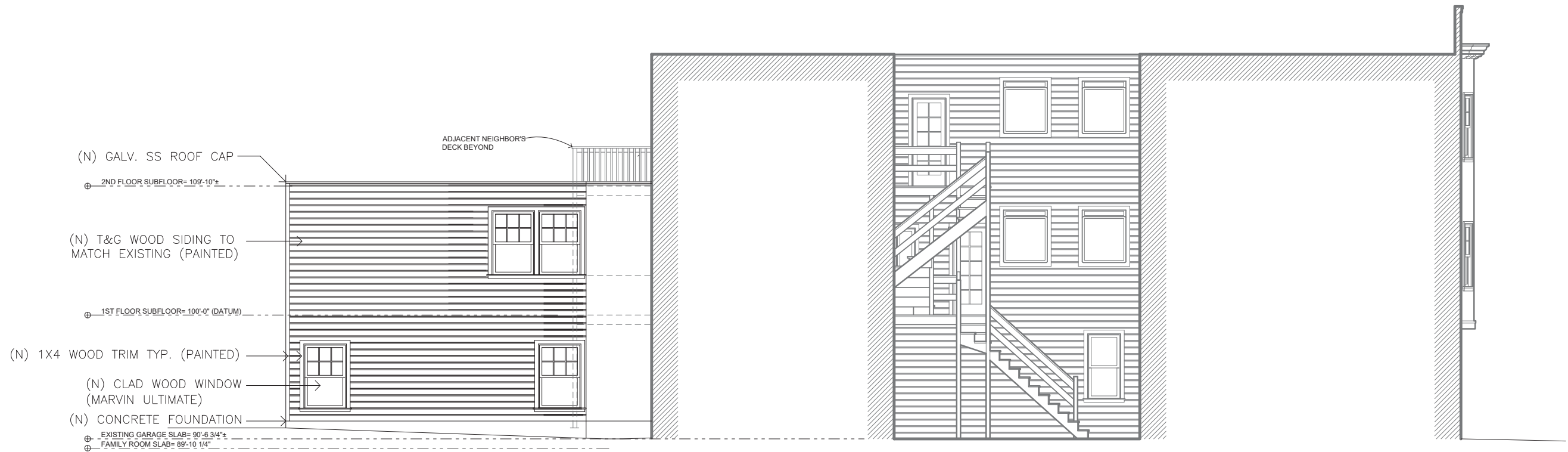
NEW SOUTH ELEVATION



REVISIONS		
08.13.15	▲	
08.31.15		
02.07.16		
DESIGN BY: ZONE DESIGN DEVELOPEMENT		
DRAKE GARDNER		
10 CARLILE DR.		
NOVATO, CA. 94945 415.377.6694 (C)		
RESIDENTIAL HORIZ. & VERT. ADDITION		
OWNER: 2012 EVANS FAMILY TRUST		
2231 FRANCISCO STREET		
SAN FRANCISCO, CA. 94123		
BLOCK: 474 LOT: 051		
DATE: 12.15.14		
SCALE: 1/4"=1'-0"		
DESIGNER: D.G.		
JOB NO.: EVANS		
SHEET NO.:		
A7.0		



EXISTING EAST ELEVATION



NEW EAST ELEVATION

REVISIONS	
08.13.15	▲
08.31.15	
DESIGN BY: ZONE DESIGN DEVELOPEMENT	
DRAKE GARDNER	
10 CARLILE DR.	
NOVATO, CA. 94945	
415.377.6694 (C)	
RESIDENTIAL HORIZ. & VERT. ADDITION	
OWNER: 2012 EVANS FAMILY TRUST	
2231 FRANCISCO STREET	
SAN FRANCISCO, CA. 94123	
BLOCK: 474 LOT: 051	
(415) 515.9361	
DATE:	12.15.14
SCALE:	1/4"=1'-0"
DESIGNER:	D.G.
JOB NO.:	EVANS
SHEET NO.:	
A8.0	