



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis

HEARING DATE: NOVEMBER 19, 2015

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: November 9, 2015
Case No.: **2013.1884DRP**
Project Address: **5435 ANZA STREET**
Permit Application: 2012.1119.4543
Zoning: RH-1 [Residential House, One-Family]
40-X Height and Bulk District
Block/Lot: 1588/001L
Project Sponsor: Michelle Lee
5435 Anza Street
San Francisco, CA 94121
Staff Contact: Laura Ajello – (415) 575-9142
laura.ajello@sfgov.org
Recommendation: **Do not take DR and approve as proposed**

PROJECT DESCRIPTION

The proposal is to construct a third-floor vertical addition and a three-story addition with rear bay projection at the rear of the two-story single-family house (the down-sloping lot places the first floor more than six feet above grade at the rear of the building). Other project features include extensive interior modifications, window and door replacements and roof decks at the front and rear of the building. The proposed vertical addition aligns with the existing rear wall of the home. This project will add approximately 1,360 square feet of space and conforms to RH-1 zoning standards.

SITE DESCRIPTION AND PRESENT USE

The project site is located on the south side of Anza Street between 45th and 46th Avenues in the Outer Richmond neighborhood. The subject parcel measures approximately 30 wide by 90 feet deep with an area of 2,696 square feet. Pursuant to RH-1 zoning standards the rear setback requirement is 25% of the lot depth and the front setback is based on the average of adjacent buildings. The lot contains a two-story single-family home constructed in 1923. The structure is not a historic resource.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

This portion of the Outer Richmond neighborhood is characterized by single and two-family homes with multi-unit apartment buildings located on many corner lots. The six single-family homes on this block of Anza Street have similar massing, style and shared side entries. They were constructed between 1921 and 1923 presumably by the same builder. A third story has been added to the home at 5421 Anza and a front addition was added to 5429 Anza. According to a review by Planning Department Preservation staff, this front addition interrupts the cohesive character of the block (see attached Categorical Exemption). As viewed from the curb, the subject property appears to be one of the smallest structures on the block. The DR Requestor's house is a two-story single-family structure with nonconforming additions located in the

required front setback and rear yard. It is located east of the subject property. Sutro Heights Park is situated two blocks to the west.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	July 21, 2015 – August 20, 2015	Aug. 19, 2015	Nov. 19, 2015	91 Days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	November 9, 2015	November 9, 2015	10 days
Mailed Notice	10 days	November 9, 2015	November 9, 2015	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	--	1 (DR requestor)	--
Other neighbors on the block or directly across the street	--	--	--
Neighborhood groups	--	--	--

No other neighborhood comments have been received regarding this project.

DR REQUESTOR

Mona Wu, owner of 5429 Anza Street, adjacent to the east side property line of the subject property.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Application*, dated August 19, 2015.

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*, dated September 29, 2015.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet). Upon review of Environmental Application No. 2013.1884E, historic preservation staff concluded that the subject property is not eligible for listing in the California Register under any criteria individually or as part of a historic district. Preservation staff comments associated with the exemption are included in the attached *CEQA Categorical Exemption Determination* document.

RESIDENTIAL DESIGN TEAM REVIEW

The original project with a proposed height of 35 feet had an initial review by the Residential Design Team (RDT) on February 7, 2013. The design was revised and a follow-up review was held on August 20, 2014. After further revisions, which included removal of a large stair penthouse/mechanical room and roof deck, the 311 neighborhood notification was sent on July 21, 2015.

After the DR application was filed, the project was reviewed a third time by the RDT on September 30, 2015 in light of the Discretionary Review and did not find the project to contain or create exceptional or extraordinary circumstances that would warrant further changes other than window modifications on the front facade. The plans have been revised to comply with the RDT's request (see attachments).

Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.

RECOMMENDATION:	Do not take DR and approve project as revised
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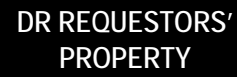
Attachments:

Block Book Map
Sanborn Map
Aerial Photographs
Zoning Map
Context Photographs
Section 311 Notice
Categorical Exemption Determination, Case No. 2013.1884E
DR Application
Response to DR Application dated October 26, 2015
Reduced Plans

LA: G:\Cases\5435 Anza DR\11-19 PC hearing\DR - Abbreviated Analysis.doc

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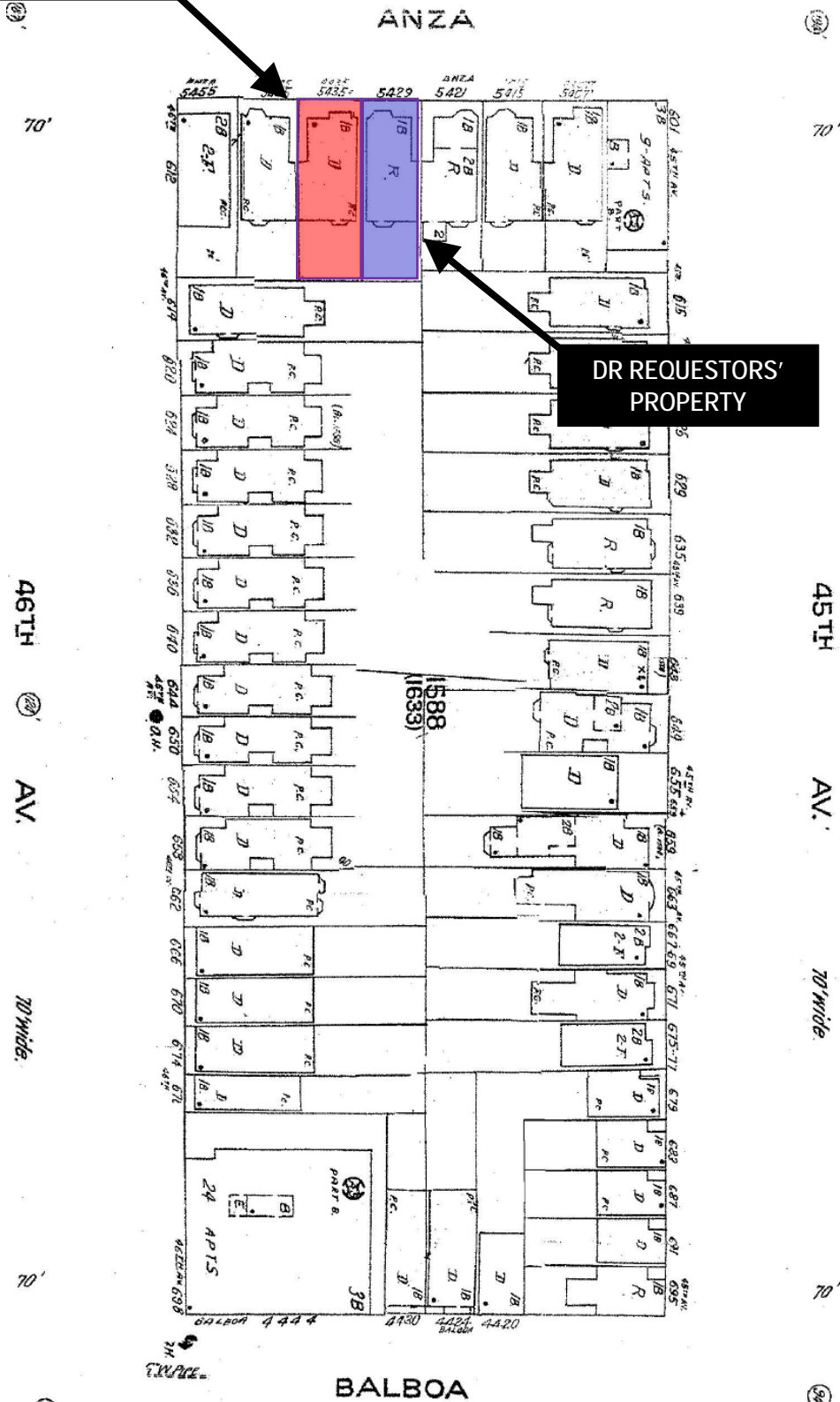
SUBJECT PROPERTY



SAN FRANCISCO
PLANNING DEPARTMENT

SUBJECT PROPERTY

Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing
Case Number 2013.1884DRP
5435 Anza Street

Aerial Photo 1



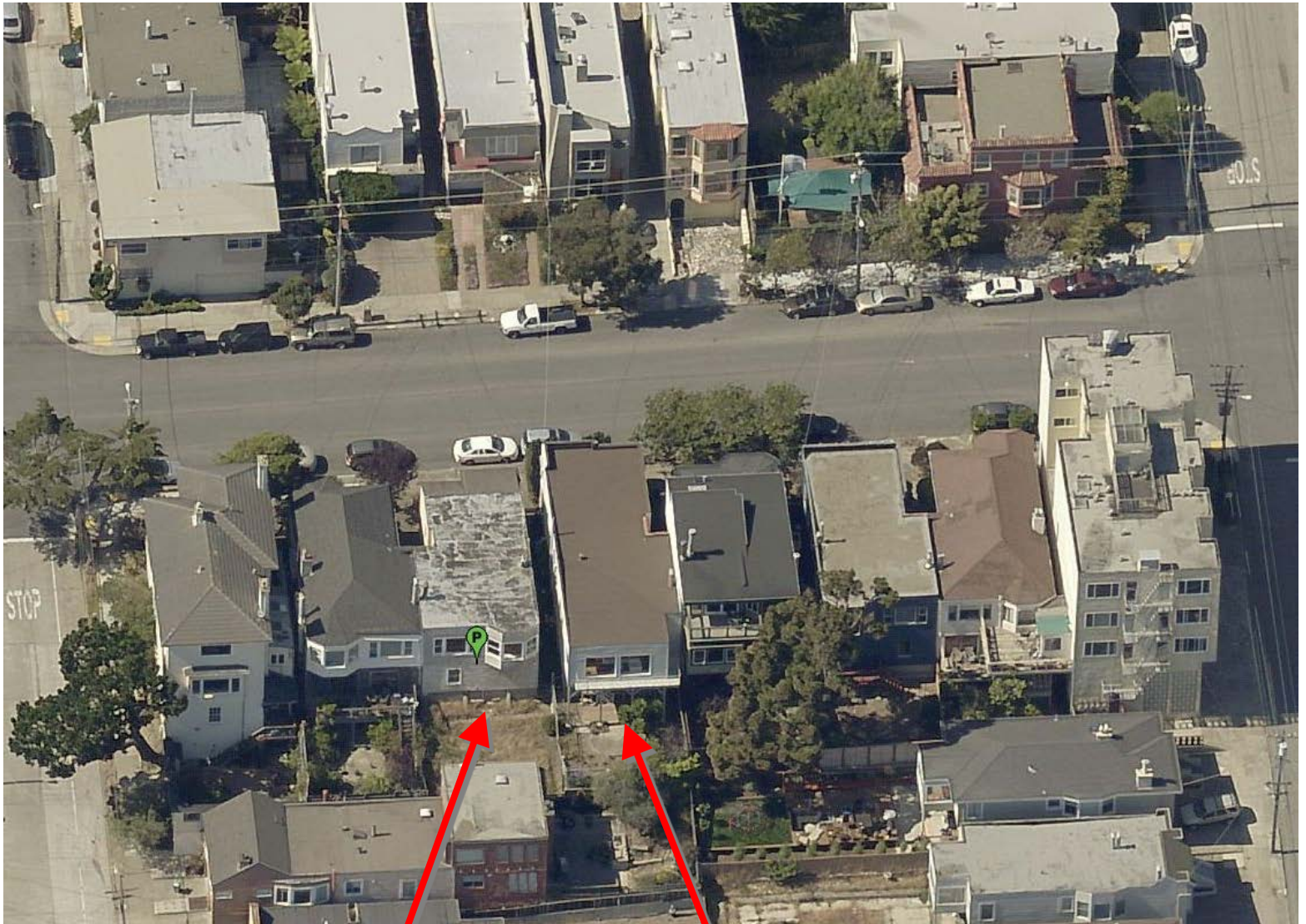
DR REQUESTORS'
PROPERTY

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2013.1884DRP
5435 Anza Street

Aerial Photo 2



SUBJECT PROPERTY

DR REQUESTORS'
PROPERTY



Discretionary Review Hearing
Case Number 2013.1884DRP
5435 Anza Street

Aerial Photo 3



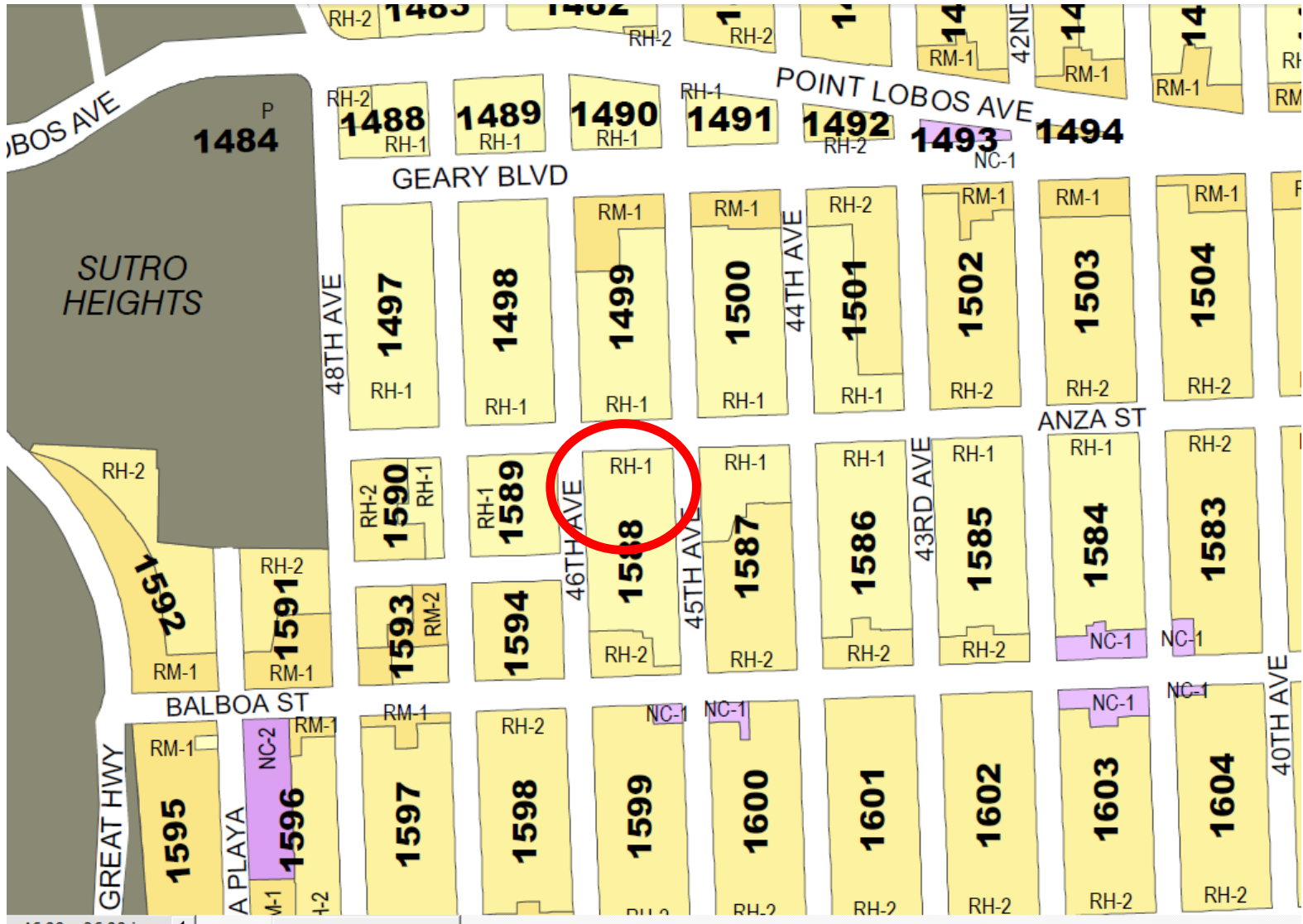
SUBJECT PROPERTY

DR REQUESTORS'
PROPERTY



Discretionary Review Hearing
Case Number 2013.1884DRP
5435 Anza Street

Zoning Map



Discretionary Review Hearing
Case Number 2013.1884DRP
5435 Anza Street

Site Photo

DR REQUESTORS'
PROPERTY

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2013.1884DRP
5435 Anza Street

Site Photos 2

ADJACENT
PROPERTY

SUBJECT PROPERTY

SUBJECT PROPERTY

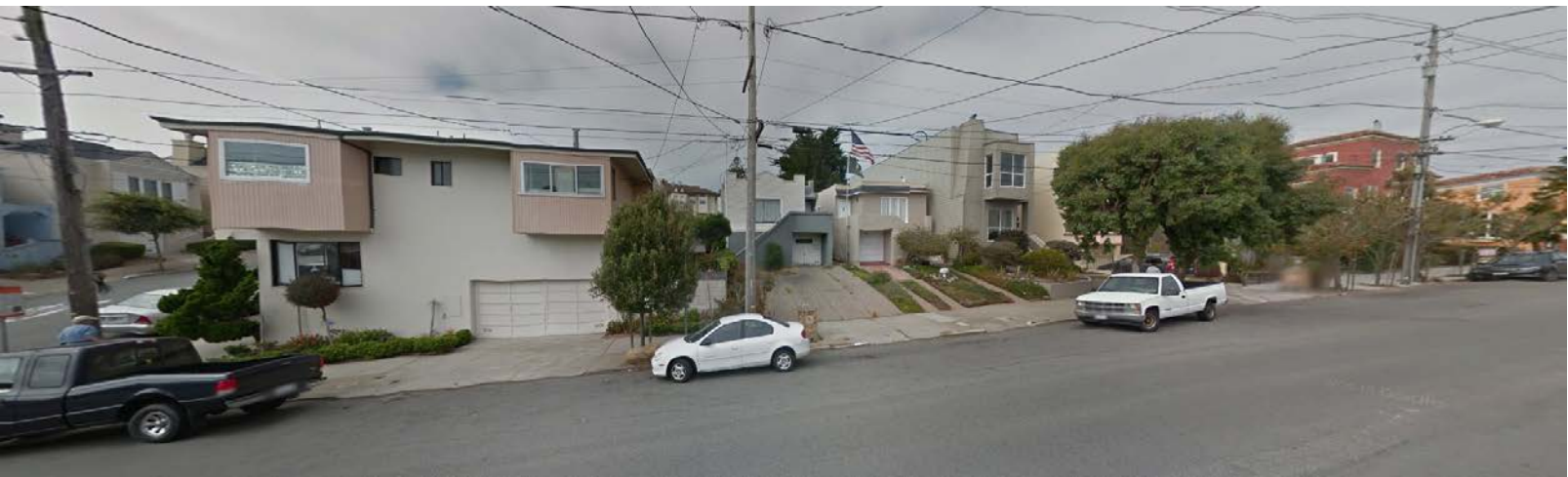
DR REQUESTORS'
PROPERTY



Site Photos 3



Subject Block Face



Opposite Block Face

Discretionary Review Hearing
Case Number 2013.1884DRP
5435 Anza Street



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311/312)

On **November 19, 2012**, the Applicant named below filed Building Permit Application No. **2012.11.19.4543** with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	5435 Anza Avenue	Applicant:	Bill Xie
Cross Street(s):	46th Avenue	Address:	1501 Crescent Way, #5412
Block/Lot No.:	1588/001L	City, State:	San Francisco, CA 94134
Zoning District(s):	RH-1 / 40-X	Telephone:	(415) 652-3047

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input checked="" type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Front Setback	4 feet, 6 inches	No Change
Side Setback (east)	None	No Change
Side Setback (west)	3 feet	No Change
Building Depth (exclude rear bay)	55 feet, 6 inches	63 feet
Rear Yard	30 feet	22 feet, 6 inches
Building Height (at front)	20 feet	27 feet, 6 inches
Number of Stories	2 over garage	3 over basement
Number of Dwelling Units	1	No Change
Number of Parking Spaces	2 tandem	1
PROJECT DESCRIPTION		
The proposal is to construct a third-floor vertical addition and to add a three-story horizontal rear expansion and rear bay projection. Other project features include extensive interior modifications, window and door replacements and roof decks. The proposed project will add approximately 1,360 square feet of area. See attached plans.		
The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.		

For more information, please contact Planning Department staff:

Planner: Laura Ajello
Telephone: (415) 575-9142
E-mail: laura.ajello@sfgov.org

Notice Date: **7/21/2015**
Expiration Date: **8/20/2015**

中文詢問請電: **(415) 575-9010**

Para información en Español llamar al: **(415) 575-9010**



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)
5435 Anza St		1588/001L
Case No.	Permit No.	Plans Dated
2013.1884E	2012 1194543	09/26/13
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 50 years old)	<input type="checkbox"/> New Construction
<input type="checkbox"/> Project Modification (GO TO STEP 7)		
Project description for Planning Department approval. Vertical addition		

STEP 1: EXEMPTION CLASS

TO BE COMPLETED BY PROJECT PLANNER

Note: If neither class applies, an *Environmental Evaluation Application* is required.

<input checked="" type="checkbox"/>	Class 1 – Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.; change of use if principally permitted or with a CU.
<input type="checkbox"/>	Class 3 – New Construction. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions.
<input type="checkbox"/>	Class __

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an *Environmental Evaluation Application* is required.

<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an air pollution hot spot? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Hot Spots)
<input type="checkbox"/>	Hazardous Materials: Any project site that is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve soil disturbance of any amount or a change of use from industrial to commercial/residential? If yes, should the applicant present documentation of a completed Maher Application that has been submitted to the San Francisco Department of Public Health (DPH), this box does not need to be checked, but such documentation must be appended to this form. In all other circumstances, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment and/or file a Maher Application with DPH. (refer to EP_ArcMap > Maher layer.)

<input type="checkbox"/>	Soil Disturbance/Modification: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	Noise: Does the project include new noise-sensitive receptors (schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Noise Mitigation Area)
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	Slope = or > 20%: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, or grading on a lot with a slope average of 20% or more? <i>Exceptions: do not check box for work performed on a previously developed portion of site, stairs, patio, deck, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography) If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, grading—including excavation and fill on a landslide zone – as identified in the San Francisco General Plan? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1000 sq ft, shoring, underpinning, retaining wall work, or grading on a lot in a liquefaction zone? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones) If box is checked, a geotechnical report will likely be required
<input type="checkbox"/>	Serpentine Rock: Does the project involve any excavation on a property containing serpentine rock? <i>Exceptions: do not check box for stairs, patio, deck, retaining walls, or fence work.</i> (refer to EP_ArcMap > CEQA Catex Determination Layers > Serpentine)
If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <u>Environmental Evaluation Application</u> is required.	
<input type="checkbox"/>	Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.
Comments and Planner Signature (optional): Monica Pereira <small>San Francisco Planning Department, 1015 Market Street, 12th Floor, San Francisco, CA 94102-4400 Phone: 415.355.3100 Fax: 415.355.3101 Email: Monica.Pereira@sfdph.org</small> Per GIS database, Historic is the only CEQA resource that requires additional review.	

STEP 3: PROPERTY STATUS – HISTORIC RESOURCE TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 50 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 50 years of age). GO TO STEP 6.

STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	3. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	4. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	5. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the <i>Residential Design Guidelines</i> .
<input type="checkbox"/>	6. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	8. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	9. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not “in-kind” but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .

<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input checked="" type="checkbox"/>	9. Reclassification of property status to Category C. (Requires approval by Senior Preservation Planner/Preservation Coordinator) a. Per HRER dated: _____ (attach HRER) b. Other (specify): <i>Per PTR form dated 1/31/2014</i>
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional): <div style="text-align: center; margin-top: 20px;"> <i>A. Kirby</i> <i>2/3/2014</i> </div>	
Preservation Planner Signature:	

STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <div style="margin-left: 20px;"> <input type="checkbox"/> Step 2 – CEQA Impacts <input type="checkbox"/> Step 5 – Advanced Historical Review </div> STOP! Must file an <i>Environmental Evaluation Application</i>.	
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA.	
Planner Name: <i>A. Kirby</i>		Signature or Stamp: <div style="text-align: center; margin-top: 20px;"> <i>2/3/2014</i> </div>
Project Approval Action: Select One <small>*If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.</small>		
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.		

**STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT
TO BE COMPLETED BY PROJECT PLANNER**

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
Case No.	Previous Building Permit No.	New Building Permit No.
Plans Dated	Previous Approval Action	New Approval Action
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required CATEX FORM	

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:



SAN FRANCISCO PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW FORM

Preservation Team Meeting Date:		Date of Form Completion	1/31/2013 2/3/2014
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1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

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415.558.6409

Planning
Information:
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PROJECT INFORMATION:		
Planner:	Address:	
Alexandra Kirby	5435 Anza Street	
Block/Lot:	Cross Streets:	
1588/001L	45th and 46th Avenues	
CEQA Category:	Art. 10/11:	BPA/Case No.:
B	N/A	2013.1884E

PURPOSE OF REVIEW:			PROJECT DESCRIPTION:	
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input checked="" type="radio"/> Alteration	<input type="radio"/> Demo/New Construction

DATE OF PLANS UNDER REVIEW:	N/A
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PROJECT ISSUES:	
<input type="checkbox"/>	Is the subject Property an eligible historic resource?
<input type="checkbox"/>	If so, are the proposed changes a significant impact?
Additional Notes:	
Submitted: Environmental Evaluation Application (11/03/2013) prepared by applicant.	
Proposal is to construct a vertical addition, full renovation of the east (primary) and west (rear) facades, and extensive interior remodel.	

PRESERVATION TEAM REVIEW:				
Historic Resource Present		<input type="radio"/> Yes	<input checked="" type="radio"/> No *	<input type="radio"/> N/A
Individual		Historic District/Context		
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:		Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:		
Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Period of Significance:	<input type="text"/>	Period of Significance:	<input type="text"/>	
		<input type="radio"/> Contributor <input type="radio"/> Non-Contributor		

Complies with the Secretary's Standards/Art 10/Art 11:	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
CEQA Material Impairment:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Needs More Information:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Requires Design Revisions:	<input checked="" type="radio"/> Yes	<input type="radio"/> No	
Defer to Residential Design Team:	<input checked="" type="radio"/> Yes	<input type="radio"/> No	

* If No is selected for Historic Resource per CEQA, a signature from Senior Preservation Planner or Preservation Coordinator is required.


PRESERVATION TEAM COMMENTS:

The subject property was constructed in 1923 by builder Hugh C. Keenan, a local contractor who appears to have been active from 1920 through the 1950s. The first listed owner was Elizabeth Higgins, an accountant. The building appears to have been occupied and owned by middle-class residents throughout its history, changing hands frequently.

5435 Anza Street is a one-story-over-garage, wood-frame, single-family residence designed in the Period Revival style. The characteristic features include two structural bays, multi-light casement windows, multi-light double-hung windows, a side step entrance that aligns with the neighboring building to the west (5445 Anza Street), and a parapet that acts as a false side gable. Alterations have been in kind with the original materials and the building retains a high degree of integrity.

Based on research conducted by the project sponsor and Preservation staff, the subject building does not appear to be eligible for listing on the California Register under Criteria 1 (Events), 2 (Persons), or 3 (Architecture). 5435 Anza Street is not associated with any historic events or trends; the lives of persons important to our local, regional or national past; nor is it an exemplary work of a Period Revival builder's residence. Hugh C. Keenan may potentially be a master builder, although assessing this is beyond the scope of this review and basic research has not revealed any details on the builder's career.

The subject building is in a row of six single-family homes that were constructed between 1921 and 1923, presumably constructed by builder H.C. Keenan because of the similarity in massing, style and the shared entry side stairs. The integrity of 5429 Anza Street to the east has been severely impaired by a horizontal front addition and vinyl siding, interrupting the cohesive character of the block. The subject block was primarily constructed in the 1920s, as was the entire city block on which the property is located; however, a number of contemporary additions and alterations have impaired the general aesthetic of the area, most notably those located on the adjacent face of Anza Street. Overall there does not appear to be a potential historic district in the immediate area.

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
	1-31-2014



Application for Discretionary Review

CASE NUMBER:
For Staff Use only

2013.1884DRD

RECEIVED

APPLICATION FOR

Discretionary Review

AUG 19 2013

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
P.C.

1. Owner/Applicant Information

DR APPLICANT'S NAME:

MONA WU

DR APPLICANT'S ADDRESS:

4829 LEARY BLVD. SE

ZIP CODE:

94118

TELEPHONE:

(800) 960-2727
415 668 4417

PROPERTY OWNER WHO IS DOING THE PROJECT ON WHICH YOU ARE REQUESTING DISCRETIONARY REVIEW NAME:

MICHELLE LEE

ADDRESS:

5435 ANZA ST. SE

ZIP CODE:

94121

TELEPHONE:

()

CONTACT FOR DR APPLICATION:

Same as Above ☒

ADDRESS:

ZIP CODE:

TELEPHONE:

()

E-MAIL ADDRESS:

pacifisiarealty@yahoo.com

2. Location and Classification

STREET ADDRESS OF PROJECT:

5435 ANZA ST. SE

ZIP CODE:

94121

CROSS STREETS:

45TH & 46TH AVE.

ASSESSORS BLOCK/LOT:

15001001430x90'2696

LOT DIMENSIONS:

LOT AREA (SQ FT):

ZONING DISTRICT:

R1-1

HEIGHT/BULK DISTRICT:

35'

3. Project Description

Please check all that apply

Change of Use ☒ Change of Hours ☐ New Construction ☒ Alterations ☒ Demolition ☒ Other ☐Additions to Building: Rear ☒ Front ☒ Height ☒ Side Yard ☒

Present or Previous Use:

Proposed Use:

Building Permit Application No. 201211194543 Date Filed: 11/19/12

ORIGINAL

4. Actions Prior to a Discretionary Review Request

Prior Action	YES	NO
Have you discussed this project with the permit applicant?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you discuss the project with the Planning Department permit review planner?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Did you participate in outside mediation on this case?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

5. Changes Made to the Project as a Result of Mediation

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes there were made to the proposed project.

NIA

Discretionary Review Request

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

IT APPEARS THAT THE OWNER IS GOING TO BUILD
A 3 UNIT BLDG. EACH FLOOR IS DESIGNED TO BE
A STAND ALONE RESIDENCE. A SIX BEDROOM
THREE STORY (FRONT) FOUR STORY (REAR) WITH
ONLY ONE GARAGE IS OUT OF LINE FOR THIS
NEIGHBORHOOD
SEE ATTACHED #1

2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

THIS IS A PROJECT WITH A GREATER MASS
AND OCCUPANCY THAN THE SURROUNDING HOMES.
THIS HOME HAS A CONTINUOUS RETAINING WALL
WITH THE WESTERN HOUSE

SEE ATTACHED #1

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

THIS HOUSE SHOULD RESPECT THE EXISTING HOMES.
MOST OF THE PEOPLE HERE ARE MULTI GENERATIONAL
AND USE THIS TO LIVE AND COEXIST. A FOREIGN
NATIONAL SHOULD NOT BE ALLOWED TO BEND
THE RULES ON THE BACKS OF LONG STANDING
RESIDENTS TO MAKE A PROFIT.

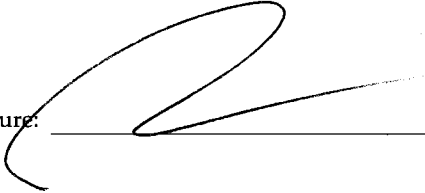
SEE ATTACHED #1

Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature: _____



Date: _____

01/18/15

Print name, and indicate whether owner, or authorized agent:

MONA WU

Owner / Authorized Agent (circle one)

Discretionary Review Application Submittal Checklist

Applications submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent**.

REQUIRED MATERIALS (please check correct column)	DR APPLICATION
Application, with all blanks completed	<input type="checkbox"/>
Address labels (original), if applicable	<input type="radio"/>
Address labels (copy of the above), if applicable	<input type="radio"/>
Photocopy of this completed application	<input type="checkbox"/>
Photographs that illustrate your concerns	<input checked="" type="checkbox"/>
Covenant or Deed Restrictions	<input checked="" type="checkbox"/>
Check payable to Planning Dept.	<input type="checkbox"/>
Letter of authorization for agent	<input type="checkbox"/>
Other: Section Plan, Detail drawings (i.e. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (i.e. windows, doors)	<input checked="" type="checkbox"/>

NOTES:

☐ Required Material.☒ Optional Material.☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

RECEIVED

AUG 19 2015

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
P/C

For Department Use Only

Application received by Planning Department:

By: Kurt DohDate: 8/12/15



**SAN FRANCISCO
PLANNING
DEPARTMENT**

FOR MORE INFORMATION:
Call or visit the San Francisco Planning Department

Central Reception

1650 Mission Street, Suite 400
San Francisco CA 94103-2479

TEL: **415.558.6378**

FAX: **415 558-6409**

WEB: **<http://www.sfplanning.org>**

Planning Information Center (PIC)

1660 Mission Street, First Floor
San Francisco CA 94103-2479


TEL: **415.558.6377**

*Planning staff are available by phone and at the PIC counter.
No appointment is necessary.*

AUG. 19 2015

I MONA WU HEREBY APPOINT SCOTT SCHERER
AND/OR SANDRA ROORDA AS MY
AGENTS IN THE EVENT I AM NOT
AVAILABLE .

MONA WU

A large, stylized handwritten signature in black ink, consisting of a long horizontal stroke with a large loop at the end.

Subject: Fwd: 5435 Anza St., San Francisco, Comments and Concerns regarding proposed permit
From: Mona Wu <pacifisiarealty@yahoo.com>
Date: 8/18/2015 2:25 PM
To: "pacifisiarealty@sbcglobal.net" <pacifisiarealty@sbcglobal.net>

Sent from my iPad

Begin forwarded message:

From: Mona Wu <pacifisiarealty@yahoo.com>
Date: August 18, 2015 at 2:20:12 PM PDT
To: laura.ajelio@sfgov.org
Subject: 5435 Anza St., San Francisco, Comments and Concerns regarding proposed permit

Hi Laura:

I am writing to you regarding my concerns about this proposed project in my neighborhood. I believe that this will negatively impact the character of our neighborhood and street for the following reasons:

- they propose to build a multi storied building in an area of single story homes.
- they propose to build a multi unit building in an area of single family homes.
- a structure of this magnitude will compromise and undermine adjoining homes, especially those with zero lot lines.
- the city must require a soils, drainage and engineering report for this project.
- this project will undermine the quiet enjoyment of adjoining homes, compromising privacy and views.
- all existing setbacks for front, rear and sides should be strictly observed.
- regarding east alley way, this has been a second means of egress in case of an emergency for our home. Removing or disturbing this in any way by augmenting with a separate ramp could cause injury or harm to individuals attempting to exit premises.
- allowing a one car parking space for this project will negatively impact parking on our street.
- drainage and flooding issues should definitely be observed as a result of close proximity of homes.
- the neighbor on the west side of this project share a common wall. Will there be damage to her property and mine as a result of a multi storied building?
- is this considered an historical structure being built in 1923?

Thank you for considering my concerns.

Sincerely,

Mona Wu

Sent from my iPad

Subject: Fwd: 5435 Anza St. San Francisco
From: Mona Wu <pacifisiarealty@yahoo.com>
Date: 8/18/2015 1:42 PM
To: "pacifisiarealty@sbcglobal.net" <pacifisiarealty@sbcglobal.net>

Sent from my iPad

Begin forwarded message:

From: Mona Wu <pacifisiarealty@yahoo.com>
Date: August 18, 2015 at 10:21:23 AM PDT
To: "laura.ajello@sfgov.org" <laura.ajello@sfgov.org>
Subject: 5435 Anza St. San Francisco

Hi Laura:

Please contact me regarding the proposed project. In reviewing the Notice of Building Permit Application (section 311/312), I noticed some discrepancies in the project features for existing and proposed changes. I have left you a voice message also.

Thank you.

Mona Wu

808 9602727

Sent from my iPad

Subject: Fwd: 5435 Anza St., San Francisco
From: Mona Wu <pacifisiarealty@yahoo.com>
Date: 8/18/2015 1:54 PM
To: "pacifisiarealty@sbcglobal.net" <pacifisiarealty@sbcglobal.net>

Sent from my iPad

Begin forwarded message:

From: Mona Wu <pacifisiarealty@yahoo.com>
Date: August 18, 2015 at 1:54:42 PM PDT
To: bill@ziearchdesign.com
Subject: 5435 Anza St., San Francisco

Bill:

I would like to review the following:

- revised plans and blueprints
- engineering and structural plans
- plot plan
- foundation plan
- soil and drainage reports

Please let us know when we can visit your offices to review.

Thank you.

Mona Wu
808 9602727

Sent from my iPad

To: Van Ly <van@vantlyarchitect.com>, mona wu <pacifisiarealty@yahoo.com>
Subject: Re: Fwd: 5435 Anza St. Comments and Objections

Hi Van,

Just one more thing I forgot to add to our list of concerns/objections-

- Zero lot line construction has the propensity to create drainage and flooding issues for adjacent property owners. Given the immense size of the proposed structure, we are concerned that it will flood our garage and possibly cause foundation damage.

Thanks,

Kenneth Ho

Property Manager, DRE 01805507

Pacifisia Investment & Realty

4829 Geary Blvd.

San Francisco, CA 94118

(415) 668-4418

(415) 668-2159 (fax)

On 10/31/2012 2:14 PM, Kenneth wrote:

Dear Van,

I am writing in response to the Second Pre-Application Meeting at 5435 Anza St., San Francisco, Ca. on October 26, 2012.

The following items below are a list of concerns regarding this project:

-The proposed design of this home is not consistent with the design and character of this neighborhood.

-The rear extension and balcony will diminish our quiet enjoyment and privacy .

-The rear extension and balcony will block the current unobstructed views from our living room.

-I object to the extreme height and magnitude of the proposed building.

-Multiple stories-6 floors.

-I believe that the structural engineering for a project of this magnitude will compromise the structural integrity and retaining walls to adjoining properties.

-The proposed plans to extend the building 3' on the east side, to the zero lot line of the shared alley way, will block emergency egress.

- Further, the 3' east side extension of the building will diminish our ability to enter the side door of our garage, as well as the backyard gate at 5429 Anza. The easement will leave only 3' between the houses.

- Building out 3' to the east side of the building will not enable you to access your yard or side of house without walking over our existing plants and foliage.

- The plans of this house are consistent with a Multi-Unit Building, although you insist it will be a single family home.
- Will a survey and geological survey be performed?
- The top floor "mechanical room" has windows. Can the mechanical devices be relocated to the basement, with the other proposed mechanical devices?
- Drawings sent to all the neighbors do not show elevations, which are misleading.

Please acknowledge receipt of this email, and submit these comments with your application for permit.

Sincerely yours,

Kenneth Ho, for

Mona Wu
5429 Anza St., San Francisco, Ca.
808 960-2727

--

Kenneth Ho

Property Manager, DRE 01805507
Pacifisia Investment & Realty
4829 Geary Blvd.
San Francisco, CA 94118
(415) 668-4418
(415) 668-2159 (fax)

Subject: Fwd: Anza St
From: Mona Wu <pacifisiarealty@yahoo.com>
Date: 8/18/2015 1:43 PM
To: "pacifisiarealty@sbcglobal.net" <pacifisiarealty@sbcglobal.net>

Sent from my iPad

Begin forwarded message:

From: Mona Wu <pacifisiarealty@yahoo.com>
Date: August 18, 2015 at 9:50:23 AM PDT
To: Michael McShane <MMcShane@audetlaw.com>
Subject: Re: Anza St

Thanks Mike, I will submit this.
Mona

Sent from my iPad

On Aug 18, 2015, at 9:07 AM, "Michael McShane" <MMcShane@audetlaw.com> wrote:

Mona, Hello. I asked Jana to look for the list created during the meeting at our house, and I forwarded your email to her. I also received a call from Proctor Jones, who lives in corner house next to me. He is on Sandy's mailing list, and he is quite opposed to the project. He reminded me of a couple of historical facts about our block of Anza. First, the large apartment on the corner was built with an extra floor in violation of the permit. The only penalty was they could not rent top floor units for a year. Proctor reminded me this was in the days of an FBI investigation amid all the corruption at Planning Department. Which relates to the house next to yours. The addition to that home was done illegally. Just built it apparently, and after complete, nothing was done. The point being that the precedent for some of the structures on the block, are rather dubious. And I know precedence is on of things the planning department considers. As for the plans:

1. Structure too large for character of block. Six bedrooms will bring a large number of people and cars to the block and the neighborhood. The present structures, including the apartments, really have stretched density to the limit.
2. The owner has not been forthcoming about intentions. We are told she is going to live alone in a six bedroom house. This makes no sense. The architect wavered between calling some large rooms, just large rooms, that could be used to sleep in but were not actually bedrooms. Again, nonsense. Even though there is supposedly only one kitchen, the wet bar above the second floor kitchen could easily be pre-plumbed, so to speak, to be converted to a kitchen very easily. The plans should be reviewed to see if there is going to be access provided that could allow for the floors to have separate entrances. The original plans, which were about 6,000 square, really reveals the true intentions of this owner. Just maximize the footprint to be able to sell it as either large SFH or break it up into a multi-unit. Or just as likely, advertise it as having multi-unit potential.
3. This is not affordable housing. The cost per square foot in the 94121 zip code, times the square footage of 3,500?, makes this a home which would cost (not sure what present rate is, but 2.5 million?). Maybe you can check and do the math.
4. The views and light for adjacent homes will be substantially negatively affected. This is important. SF is the second most densely populated city in US, behind only NYC, and the quality of life should be paramount. Allowing a single individual to build a massive six bedroom home, under obviously false pretenses, should not be allowed given the negative impact and the people in the neighborhood.
5. In this regard, are the mechanicals on the roof? If so, that will actually increase the view blocking height even more.

Who is actually on the title as purchaser of this home? Same as person moving in? If you get me their names I can do some checking.

Fwd: Anza St

5425 ANZA ST (S)

Thanks again for doing this. I am traveling today, but can be reached on my cell at 415-672-4222 if you need anything.
Mike

5435 ANZA ST (6)

Audet & Partners, LLP

Attorneys - at - Law

221 MAIN STREET, SUITE 1460
SAN FRANCISCO, CA 94105
TELEPHONE: 415.568.2555
FACSIMILE: 415.568.2556
TOLL FREE: 800.965.1461
www.audetlaw.com

July 26, 2012

NOTICE OF OBJECTION

Van Ly
9 Brussels Street
San Francisco, CA 94134

Re: 5435 Anza Street

Dear Van:

This letter is sent on behalf of the individuals copied below. The group includes the neighbors who own homes directly adjacent to and across the street from 5435 Anza. All of the individuals, including me, own homes within a block or less of 5435 Anza.

The group objects to the proposed modifications to the property. The reasons include but are not limited to the massive size of the structure, the extension of balconies in a way which will impair the privacy and the use and enjoyment of the homes of nearby home owners, the negative impact the structure will have the adjacent and surrounding homes and the negative impact the structure will have on the neighborhood as a whole.

We request that you immediately provide a complete and accurate copy of the plans. If you have any questions, please contact me.

Sincerely,



Michael McShane

Cc: Scott Scherer
Greg Lozeau
Sandi Roorda
Susan M.
Johanna Calabra
Ryan Kent
Jana Stabile

Barbara Jim
Proctor Jones
Vincent Brown
Todd Filley
Michael and Joan Fox

Subject: Fwd: 5435 Anza update
From: Mona Wu <pacifisiarealty@yahoo.com>
Date: 8/18/2015 1:42 PM
To: "pacifisiarealty@sbcglobal.net" <pacifisiarealty@sbcglobal.net>

Sent from my iPad

Begin forwarded message:

From: Mona Wu <pacifisiarealty@yahoo.com>
Date: August 18, 2015 at 10:48:45 AM PDT
To: Sandra Roorda <sandisf@yahoo.com>
Subject: Fwd: 5435 Anza update

Sent from my iPad

Begin forwarded message:

From: Leslie Jones <lesliewardjones@yahoo.com>
Date: August 18, 2015 at 9:34:31 AM PDT
To: Johanna Calabria <JCalabria@durietangri.com>, Sandra Roorda <sandisf@yahoo.com>, Vincent Brown <vncnbrwn@gmail.com>, "gregioz@yahoo.com" <gregioz@yahoo.com>, "Barbara K. Jim" <barbarakjim@yahoo.com>, Jana Stabile <jstabile@megapathdsl.net>, Ryan Kent <RKent@durietangri.com>, "johanna@calabria.us" <johanna@calabria.us>, Susan Nishimoto <sfmotos@aol.com>, Mona Wu <pacifisiarealty@yahoo.com>
Cc: Proctor Jones <proctr@concentric.net>
Subject: Re: 5435 Anza update
Reply-To: Leslie Jones <lesliewardjones@yahoo.com>

Hi there.

Many thanks for keeping us in the loop and moving this forward. If I recall correctly, the house right next door to us on 45th Avenue has two kitchens and probably five bedrooms. Of course, there was no permit process that was visible - no postings or construction notices. However, the current residents, so far as we know, are just one family. I don't know if that helps or hurts but thought that it was pertinent.

Best regards, Leslie

From: Johanna Calabria <JCalabria@durietangri.com>
To: Sandra Roorda <sandisf@yahoo.com>; Vincent Brown <vncnbrwn@gmail.com>; "gregioz@yahoo.com" <gregioz@yahoo.com>; Barbara K. Jim <barbarakjim@yahoo.com>; Jana Stabile <jstabile@megapathdsl.net>; Ryan Kent <RKent@durietangri.com>; "johanna@calabria.us" <johanna@calabria.us>; Susan Nishimoto <sfmotos@aol.com>; Mona Wu <pacifisiarealty@yahoo.com>; Leslie Jones <lesliewardjones@yahoo.com>
Sent: Monday, August 17, 2015 9:58 PM
Subject: RE: 5435 Anza update

Hi everyone, following the meeting today, I wanted to provide our information for purposes of filling out any petitions that would block the proposed plans on 5435 Anza and also set forth some of our concerns. We are Johanna Calabria and Ryan Kent, 5428 Anza Street. Our phone is 415-722-2992 and email is johanna@calabria.us. Let me know if you need any other personal information.

On the concerns front, I think we all share different flavors of the same concern: The proposed plan will

change the character of the neighborhood for the worse because it is an attempt to turn the home into a multi-dwelling unit, despite assurances to the contrary, in what is otherwise predominantly a single-family home neighborhood. If what we heard at the meeting today is correct, the home will have six bedrooms and two kitchens. None of the mostly single family homes in this neighborhood, so far as I know, have that configuration. The owner has spoken to the neighborhood only through her architect because she does not reside in the U.S. Each time, the architect representative has been less than forthcoming regarding the plans to the home and has tried to hide the owner's true intent to convert the home into a multi-dwelling unit. Therefore the owner has created a conflict in the neighborhood and arguably has failed to meet the notice requirement.

Sandy, I heard that you are the person collecting these comments. If that's the case, would you confirm that you received this email and will incorporate whatever of this is helpful? If not, can someone please forward information about where to voice concerns.

Thanks.

From: Sandra Roorda [<mailto:sandisf@yahoo.com>]

Sent: Monday, July 20, 2015 8:55 PM

To: Vincent Brown; gregloz@yahoo.com; Barbara K. Jim; Jana Stabile; Ryan Kent; johanna@calabria.us; Susan Nishimoto; Mona Wu; Leslie Jones

Subject: 5435 Anza update

I hope I've got everyone's email who is interested in what's going on at 5435 Anza. A notice was posted today on the building re a new construction application permit being approved. Mona and Scott went down to the Planning Department about a month ago and I went along with them. We had been following the progress of the plan approval and saw there was something happening. I took some pictures which I am forwarding in another email. I was told that a notice would go out to all of us with pictures of the plans but so far nothing has come from the Department other than the posted notice today.

Apparently there is a new architect and the plans have been revised so that it is not as high as the originals. The permit review is being handled by Sharon Lai at 415 575-9087.

Sandi

Complaint against Waiving of Soil Report and Survey
for 5435 Anza Street
August 18, 2015

After meeting with Bill Xie, architect for 5435 Anza Street, 1588/001L, (as suggested in the San Francisco Planning Department Notice of Building Permit Application), I was shocked to learn that the Planning Department as per Laura Ajello has waived the requirement for soil testing and property survey.

My home at 5445 Anza Street shares a common wall with that of 5435 Anza Street and I am deeply concerned about the structural integrity of my property, built on sand on top of a steep hill, with a retaining wall running at the rear property lines of at least 3 houses including 5435 and 5445 Anza Street. The architect needed to be reminded about the retaining wall at yesterday's meeting, and I was the one who informed him of the common wall aspect of this proposed project. He was unaware of this situation.

I am urgently requesting a reevaluation of this situation and I call for a soil test both at the beginning of this project and at the conclusion to be sure that no detrimental movement of the property has occurred as a result of excavation and construction. I would like to see copies of any reports pertaining to this matter to ensure my property has not been compromised.



Sandra Roorda
5445 Anza Street
San Francisco, CA 94121

415 221-7832
sandisf@yahoo.com

From: **Roorda Sandi** sandist@yahoo.com
Subject: **Application Number 201211194543, 5435 Anza Street, San Francisco, CA 94121**
Date: July 22, 2015 at 9:59 AM
To: Laura Ajello@stgov.org



Dear Ms. Ajello,

I have been notified that you are now the contact person at the Planning Department re the permit for the above address. Since my house, 5445 Anza Street, is adjacent to 5435 Anza and shares a "common wall", I am concerned about the effect the new construction will have on my property.

I viewed the new plans last month and was told that my neighbors and myself would receive a notice in the mail with copies of this plan that we could review more closely. The only notice was a public one posted on the house on 7/20/15. Part of the information listed a proposed addition of three floors above the garage. The new plans I saw showed two floors including the new one-floor addition above the garage. Have the plans changed in the last 5 or 6 weeks. Is this a clerical mistake? I know the original plans had 3 floors above the garage and were part of the plans the City did not approve. Some other concerned neighbors and I would like to request a meeting to have more of our concerns addressed. I understand there is a 30-day period within which we can ask for the meeting.

If you could also call me at 415 290-7066, I would appreciate your clarification re the discrepancy between the new plans I viewed and the info on the notice posted on the building.

Thank you.

Sincerely
Sandra Roorda
5445 Anza Street
415 290-7066

June 22, 2015

To: Sharon Lai
San Francisco Planning Department

Fax #: 415 558-6409

Re 5445 Anza Street, BLK 1588/iL 5435 Anza Street, SF 94121
Application #: 201211194543

I am sending you a copy of a letter I sent to the Planning Department 7/17/12 in case you do not have them in your current files. I would like to see the new plans and can come down to the Planning Department tomorrow, 6/23, to look them over. You mentioned you could leave them at the Reception Desk. Just to confirm your address, 1650 Mission Street, #400...is this correct? Please let me know if you are able to do this for tomorrow as I don't want to come all the way down and have them unavailable to view.

Thank you Sharon. I appreciate your assistance.

Sandra Roorda
5445 Anza Street
San Francisco, CA 94121

sandisf@yahoo.com
415 290-7066

To: San Francisco Planning Department
From: Sandra Roorda
BLK 1588 LOT1K 5445 Anza Street
San Francisco, CA 94121
(415)221-7832, sandisf@yahoo.com

RE: BLK 1588 /1L 5435 Anza Street
San Francisco, CA 94121

DATE: 7/17/12

This letter concerns a Pre-Application Meeting I attended today for proposed development of 5435 Anza Street. At this meeting it came to my attention that the plans for the new construction contained some elements which concern me. I believe that the structural integrity of my house which is adjacent to 5435 Anza and shares a common wall will be seriously compromised.

The plans that were shown to us (but which we were not allowed to photograph or have sent to us for more in-depth perusal) revealed a new structure, 65 % larger, to replace the current house. I understand the height limit is 35 ft but this proposed house would exceed 50 ft, including the mechanical penthouse. Does the City make exceptions to height limit laws? The house will also be 12.5 ft longer, including the deck, in the rear of the building. There will be 3+ stories plus the penthouse and basement. This will replace a 2-story building.

What effect will the construction of a much larger footprint have on my house that adjoins the current structure at 5435 Anza? The property line at the rear of my house and 5435 Anza is marked with a retaining wall. Will the City take steps and responsibility to assure my house will not be damaged if the retaining wall does not sustain the addition of a 65 ft increase in mass and gives way on the house on 46th Avenue below our houses? 614-46th

Since there was no Project Manager from the Planning Department present at this meeting, I am hopeful you will give my written concerns consideration and that a more acceptable construction development will be proposed.

Sandra Roorda

QUESTIONS FOR BILL ZIE - 7/30/15

Is there a pending soil report? It is my understanding that a soil report for any add-on requires a City Soil Report. I would like to request a copy. Is this considered a baseline report with another one due on completion of project? Will the owners provide a written statement that I am legally protected from untoward consequences resulting from construction at 5435 Anza affecting my property?

Are you aware that the homes built at 5435 and 5445 Anza adjoin one another on a common center foundation with a common wall? In addition the chimneys are constructed back to back. Will this affect the interior integrity of my chimney and firebox and/or the exterior chimney (which will now abut the side of the proposed 3rd floor wall)? In the early 1920's, these unique side-by-side homes were considered a type of duplex building structure on individual lots. Will new construction resulting in a 50% increase in size and a new underground excavation for a basement level impact the structural integrity of my property?

These lots are built on sand at the top of a steep hill running from Anza Street to Balboa Street. There is an existing retaining wall that runs across at least 4 properties adjacent to and including 5435 Anza. Below the retaining wall there is a residence at 614 - 46th Avenue. The residents there have expressed concern should the new construction and excavation cause the retaining wall to give way on to their property.

These concerns affect both homes and I would appreciate any feedback that will allay the possible problems set forth above.

Sandra Roorda
5445 Anza Street
San Francisco, CA 94121
415 290-7099/415 21-7832 - sandisf@yahoo.com

Subject: 5435 Anza Street
From: Sandra Roorda (sandisf@yahoo.com)
To: bill@xiearchdesign.com;
Date: Friday, July 31, 2015 11:04 AM

Dear Bill,

I am glad we had a chance to discuss some of the issues I am concerned about with the new construction at 5435 Anza. As I mentioned to you, I am sending you a list of potential problems that could affect both my property and the Lee Family's.

Sincerely,
Sandi Roorda
5445 Anza Street
415 290-7066/415 221-7832

QUESTIONS FOR BILL GUAN - 7/30/15

Is there a pending soil report? It is my understanding that a soil report for any add-on requires a City Soil Report. I would like to request a copy. Is this considered a baseline report with another one due on completion of project? Will the owners provide a written statement that I am legally protected from untoward consequences resulting from construction at 5435 Anza affecting my property?

Are you aware that the homes built at 5435 and 5445 Anza adjoin one another on a common center foundation with a common wall? In addition the chimneys are constructed back to back. Will this affect the interior integrity of my chimney and firebox and/or the exterior chimney (which will now abut the side of the proposed 3rd floor wall)? In the early 1920's, these unique side-by-side homes were considered a type of duplex building structure on individual lots. Will new construction resulting in a 50% increase in size and a new underground excavation for a basement level impact the structural integrity of my property?

These lots are built on sand at the top of a steep hill running from Anza Street to Balboa Street. There is an existing retaining wall that runs across at least 4 properties adjacent to and including 5435 Anza. Below the retaining wall there is a residence at 614 - 46th Avenue. The residents there have expressed concern should the new construction and excavation cause the retaining wall to give way on to their property.

These concerns affect both homes and I would appreciate any feedback that will allay the possible problems set forth above.

Sandra Roorda
5445 Anza Street
San Francisco, CA 94121
415 290-7099/415 21-7832 - sandisf@yahoo.com

**ANZA STREET
EMAIL ADDRESSES - 8/18/15**

Date: August 18, 2015 at 9:34:31 AM PDT
To: Johanna Calabria <JCalabria@durietangri.com>, Sandra Roorda <sandisf@yahoo.com>, Vincent Brown <vncnbrwn@gmail.com>, "gregloz@yahoo.com" <gregloz@yahoo.com>, "Barbara K. Jim" <barbarakjim@yahoo.com>, Jana Stabile <jstabile@megapathdsl.net>, Ryan Kent <RKent@durietangri.com>, "johanna@calabria.us" <johanna@calabria.us>, Susan Nishimoto <sfmotos@aol.com>, Mona Wu <pacifisiarealty@yahoo.com>
Charles E. Symes II, charles@alegreicare.com
Michael McShane, mmcshane@audetlaw.com

From: Kenneth <pacifisiarealty@sbcglobal.net>

Date: October 31, 2012 at 4:31:08 PM PDT

To: Van Ly <van@vantlyarchitect.com>, mona wu
<pacifisiarealty@yahoo.com>

Subject: Re: Fwd: 5435 Anza St. Comments and Objections

Hi Van,

Just one more thing I forgot to add to our list of concerns/objections-

- Zero lot line construction has the propensity to create drainage and flooding issues for adjacent property owners. Given the immense size of the proposed structure, we are concerned that it will flood our garage and possibly cause foundation damage.

Thanks,

Kenneth Ho

Property Manager, DRE 01805507

Pacifisia Investment & Realty

4829 Geary Blvd.

San Francisco, CA 94118

(415) 668-4418

(415) 668-2159 (fax)

On 10/31/2012 2:14 PM, Kenneth wrote:

Dear Van,

I am writing in response to the Second Pre-Application Meeting at 5435 Anza St., San Francisco, Ca. on October 26, 2012.

The following items below are a list of concerns regarding this project:

-The proposed design of this home is not consistent with the design

and character of this neighborhood.

- The rear extension and balcony will diminish our quiet enjoyment and privacy .

- The rear extension and balcony will block the current unobstructed views from our living room.

- I object to the extreme height and magnitude of the proposed building.

- Multiple stories-6 floors.

- I believe that the structural engineering for a project of this magnitude will compromise the structural integrity and retaining walls to adjoining properties.

- The proposed plans to extend the building 3' on the east side, to the zero lot line of the shared alley way, will block emergency egress.

- Further, the 3' east side extension of the building will diminish our ability to enter the side door of our garage, as well as the backyard gate at 5429 Anza. The easement will leave only 3' between the houses.

- Building out 3' to the east side of the building will not enable you to access your yard or side of house without walking over our existing plants and foliage.

- The plans of this house are consistent with a Multi-Unit Building, although you insist it will be a single family home.

- Will a survey and geological survey be performed?

- The top floor "mechanical room" has windows. Can the mechanical devices be relocated to the basement, with the other

proposed mechanical devices?

- Drawings sent to all the neighbors do not show elevations, which are misleading.

Please acknowledge receipt of this email, and submit these comments with your application for permit.

Sincerely yours,

Kenneth Ho, for

Mona Wu
5429 Anza St., San Francisco, Ca.
808 960-2727

--

Kenneth Ho

Property Manager, DRE 01805507
Pacifisia Investment & Realty
4829 Geary Blvd.
San Francisco, CA 94118
(415) 668-4418
(415) 668-2159 (fax)

RESPONSE TO DISCRETIONARY REVIEW (DRP)



**San Francisco
Planning**

SAN FRANCISCO PLANNING DEPARTMENT
1650 MISSION STREET, SUITE 400
SAN FRANCISCO, CA 94103-2479
MAIN: (415) 558-6378 SFPLANNING.ORG

Project Information

Property Address: **5435 Anza Street**

Zip Code: **94121**

Building Permit Application(s): **2012.11.19.4543**

Record Number: **2013.1884DRP**

Assigned Planner: **Laura Ajello**

Project Sponsor

Name: **Michele Lee**

Phone: **(415) 751-8477**

Email: **Michele_Lee@yahoo.com**

Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

SEE ATTACHED

-
2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

SEE ATTACHED

-
3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

SEE ATTACHED

Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)	1	1
Occupied Stories (all levels with habitable rooms)	1	2
Basement Levels (may include garage or windowless storage rooms)	1	1
Parking Spaces (Off-Street)	2 tandem	us driveway park
Bedrooms	2	4
Height	21'-4"	28'-6"
Building Depth		
Rental Value (monthly)	NA	NA
Property Value	\$1.0	\$1.4

I attest that the above information is true to the best of my knowledge.

Signature: 	Date:
Printed Name: Amy Lee	<input type="checkbox"/> Property Owner <input checked="" type="checkbox"/> Authorized Agent

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

RESPONSE TO DISCRETIONARY REVIEW

Project Information

Property Address: 5435 Anza Street Zip Code: 94121
Building Permit Application(s): 2012.11.194543
Record Number: 2013.1884DRP Assigned Planner: Laura Ajello

Project Sponsor

Name: Michele Lee Phone: (415)751-8477
Email: Michele_Lee@yahoo.com

Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved?
-

The project is within the standards of the Planning and Building Codes. The owner of 5435 Anza Street is seeking to renovate an existing single family home by the addition of a master bedroom suite to be located on the third floor which is within what is permissible under current Planning Codes. This renovation is also well within the lines of the neighborhood which includes 5421 Anza St., an existing 3 story 6 bedroom home, located two houses adjacent to 5435 Anza St.

The complainant incorrectly states that the project sponsor is building a 3 unit building. This is a single family home with one kitchen and one garage and will remain so. This renovation merely seeks to renovate an older home so that the owner can plan to comfortably live with her elderly parents in a single family residence.

Previously, the owner had labeled various rooms based on personalized usage as remaining open and accessible sleeping areas so that her elderly parents would be able to live more comfortably in large sleeping areas that is open to the living and kitchen areas. This very personalized labeling of the rooms may have provided some confusion but this home is indeed going to be used as a single family home that will allow for multigenerational and senior usage and comfort and make their care more convenient.

The owner will submit clearly labeled floor plans that will clarify that this is a single family home that is being renovated to house her elderly parents.

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.
-

The complaint incorrectly states that this project will be renovated to have greater mass and occupancy than surrounding homes. The footprint will be exactly the same depth to the South, as 5429 Anza Street and the height will match the home two houses east at 5421 Anza Street. Therefore, the project is in line and consistent with the mass of the surrounding homes and will not have any unreasonable impacts to the neighborhood.

Michele Lee, the owner of 5435 Anza Street has met numerous times with the neighbors and have tried to address all of their concerns. She has proactively hired a structural engineer and geotechnical engineer, in advance to submitting the building permit, to insure the stability of the adjacent structures. She is fully committed to be in compliance with San Francisco Planning and Building Codes.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.
-

The proposed design renovation is in line with the existing homes on the 5400 Anza Street block. It is within all regulations of the Planning code for this district. The 5435 Anza Street renovation should be a welcome improvement upon the adjacent residences, considering the last home improvement was done in 1992 for re-roofing.

The owner of 5435 Anza Street, is a single professional woman, who plans to have her elderly parents live with her, so she can care for them. The occupancy complaint is disappointing and wrongly speculative at best. It is unfounded and lacks proof.

The statement regarding being a foreign national lacks merit and thoughtfulness, but we will address it, nonetheless. Michele Lee and her family are also multigenerational, and the decision to purchase this home in 2011 was made in anticipation for Michele to bear the responsibilities of caring for her elderly parents. Michele is a US Citizen, educated at the University of California, Berkeley, who at times works abroad. Michele Lee, her parents and adult siblings are long standing San Franciscans who reside in San Francisco.

Once the renovations are completed, the owner fully anticipates relocating her parents and making her own permanent residence at 5435 Anza Street.

10-15-15 Amy forwarded attached draft to Planning Laura Ajello

10-01-15 email from Laura Ajello: department has reviewed DR application will support, as long as, window modifications are made. Revise by 10/23/15 for prep November 19th commission meeting.

09-29-15 4th Meeting with Neighbors (after Planning issued Section 311 notification) at 5435 Anza St. 10:45-11:35 AM
List of neighbors attended

<u>Name</u>	<u>Address</u>
Michele Lee	5435 Anza
Amy Lee	
Susanne Dunnigan	
Jefferson Chen (Engineer)	
Joel Hoyer	596 46 th Ave
Ernest & Kathleen Friedlander	5501 Anza
Martin Freeman	896 Anza
Susan Nishimoto	5434 Anza
Mona Wu & Scott Scherer	5429 Anza
Sandra Roorda	5445 Anza

09-25-15 DRP responses submitted to Laura Ajello (CPC)

09-25-15 email from Mona Wu confirming Tuesday, September 29th meeting with Sandi Roorda and Mona Wu

09-24-15 email response from Susanne D. to Ms. Wu & Ms. Roorda arranging meeting for Tuesday or Wednesday

09/21-09/23/15 phone call exchange between Sandi Roorda and Susanne Dunnigan trying to schedule in person meeting dates.

09-21-15 email reply from Mona Wu requesting inclusion and coordination with Sandi Roorda

09-19-15 email reply from Susanne to Ms. Roorda requesting earlier meeting, do to the planning department, September 25th deadline to meet and talk with neighbors.

09-18-15 email reply from Ms. Roorda asking for meeting last week of September

09-16-15 email from Susanne Dunnigan to Ms. Wu requesting in person meeting to discuss concerns on 5435 Anza remodel

09-16-15 email to Ms. Roorda from Susanne Dunnigan requesting in person meeting to discuss concerns on 5435 Anza remodel

09-05-15 Anza 6:02 PM email #7 (Grant Deed, Title report & Title prelim report)

09-02-15 Anza 2:24 PM email #8 (Michele Lee's background & CV)

Residential remodel & addition site plan and notes with attached emails

08-27-15 3:02 AM 5435 Anza e-connect DR consultant, engineer & architect contact information

08-27-15 3:52 AM email #4 Anza (EE application & HRD report)

08-27-15 4:25 AM email #5 Anza (Street scape slope & topographic survey)

08-27-15 4:30 AM email #6 Anza

(Green rating checklist & neighbors comments from 1st & 2nd meetings prior to pre-planning application)

8-20-15 5:18 PM email #1 planning approved 311 plan & neighbor

8-20-15 5:21 PM email #2 (plans for neighbor meetings prior to pre-planning submission)

8-20-15 5:29 PM email #3 (photos on bank appraisal report during purchase)

Appraisal documents

08-18-15 email message Comments and Concerns re: proposing permit

08-18-15 email addresses for below

08-18-15 emails regarding review

08-18-15 Complaint against waiving of soil report and survey

08-18-15 Complaint against waiving of soil report and survey (Sandra Roorda)

08-19-15 Discretionary review site map photographs elevations email

08-17-15 3rd Meeting with Neighbors (after Planning issued Section 311 notification) at 5435 Anza St.

This meeting is attended by approximately 12 attendees including Lee Family, Bill Guan (Architect), neighbor Sandra Roorda (5445 Anza) & Mona Wu (5429 Anza).

07-26-15 Audet & Partners, LLP (Notice of Objection from neighbors)

07-22-15 email New DRP contact to Ms. Ajello

06-22-15 fax letter to Sharon Lai copy of letter to DPR

05-07-15 Bureau of Urban Forestry issued "Tree Referral Form" to Planning Sharon Lai

05-10-14 email New DRP contact to Ms. Sharon Lai changed from Glenn Cabrerros

12-26-12 DRP Permit details report

10-31-12 email to van from Kenneth Ho, Property Manager of Pacifisia Investment & Realty

10-26-12 2nd Meeting with Neighbors (Pre-application meeting) at 5435 Anza St. 6PM

List of neighbors attended

<u>Name</u>	<u>Address</u>
Lee Family	5435 Anza
Lee Family's Architect	
Sandra Roorda	5445 Anza
Todd Filley	5415 Anza
Michael McShane	5426 Anza
Kenneth Ho for Mona Wu	5429 Anza
Calvin S. Jeung	614 46th Ave
Johanna Calabra	5428 Anza

07-17-12 1st Meeting with Neighbors (Pre-application meeting) at 5435 Anza St. 6PM – 8PM

List of neighbors attended

<u>Name</u>	<u>Address</u>
Lee Family	5435 Anza
Lee Family's Architect	
Jana Stabile	5426 Anza
Johanna Calabra	5428 Anza
Barbara Jim	5421 Anza
Mona Wu	5429 Anza
Sandra Roorda	5445 Anza
Susan Nishimoto	5434 Anza

Chronology before purchase

03-21-1923 New construction

12-09-1938 Building Inspection

09-05-1956 Building permit application

10-14-1957 Building permit application

10-18-1957 Building permit application approval

04-08-1968 Building permit application

04-09-1968 Building permit application approval

12-07-1988 Building permit application alteration

10-17-1991 Building permit addition, alterations, or repairs re-roofing

06-25-1992 Building permit additions, alteration, or repairs two story rear and side addition, new third floor with mezzanine.

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PROJECT:

RESIDENTIAL
REMODEL
& ADDITION

FOR

LEE FAMILY

XIE ASSOCIATES
Architectural Design & Planning
501 DOWNSIDE WAY #5012
SAN FRANCISCO, CA 94114
Tel: (415) 682-3047
Fax: (415) 682-3047
Email: xie@xieassociates.com

5435
ANZA AVE
SAN FRANCISCO,
CALIFORNIA

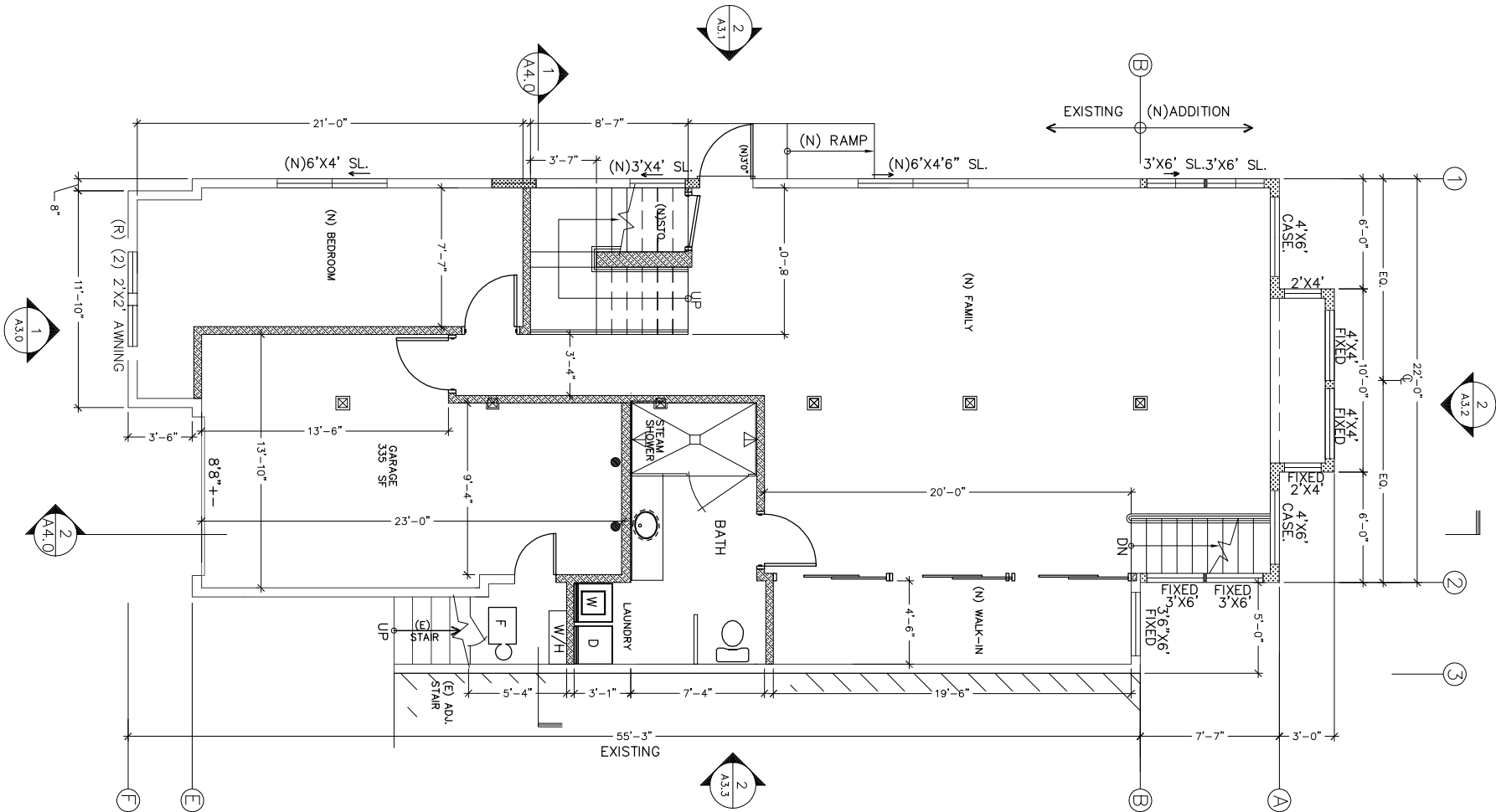
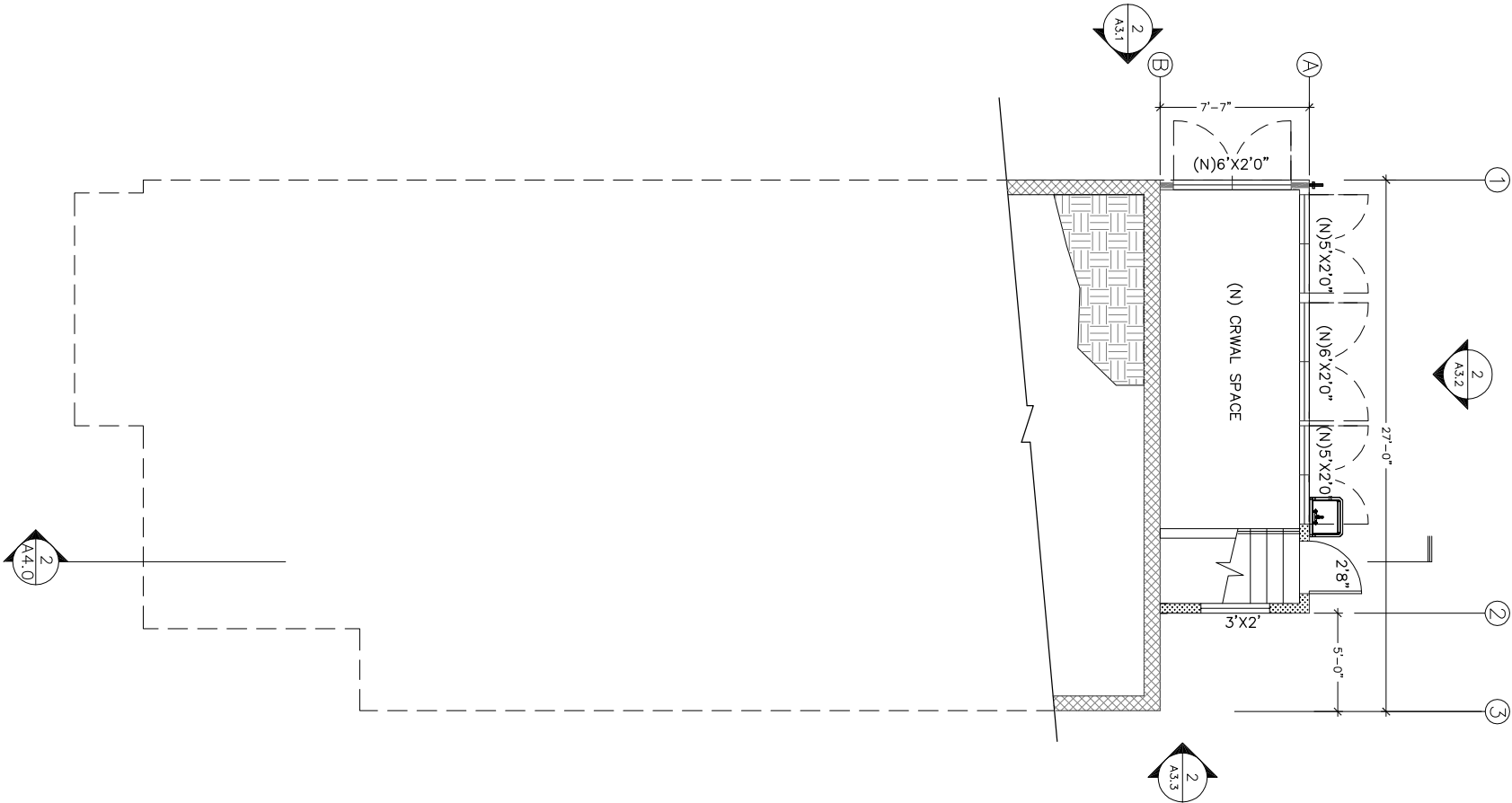
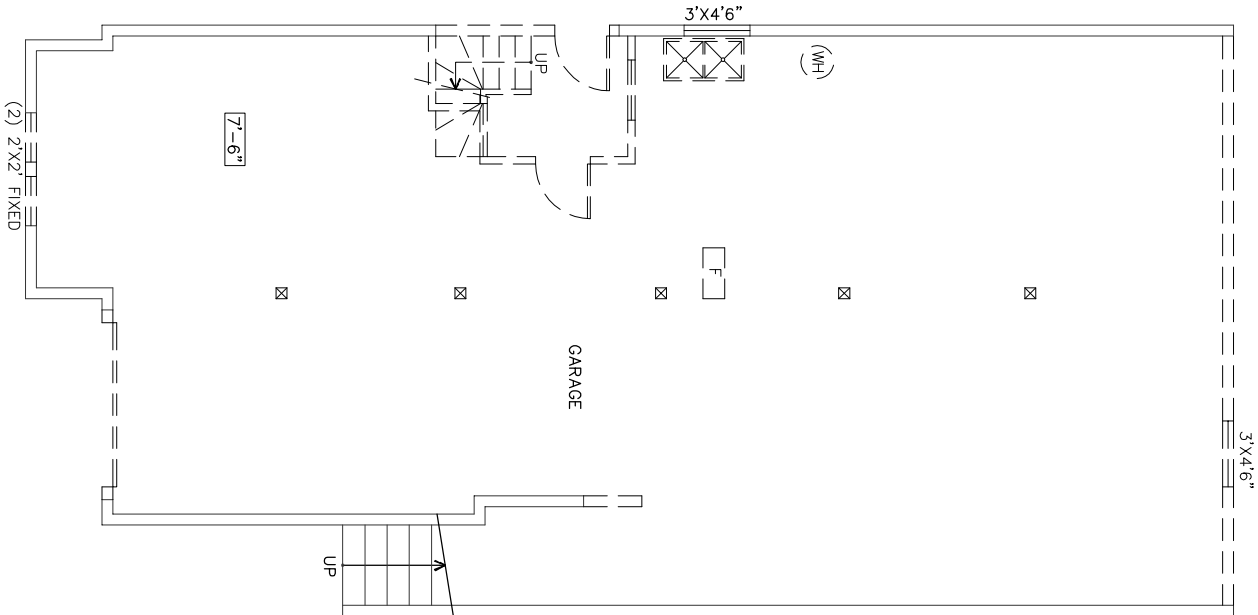
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MODEL FILE:			
DRAWING BY: JHONG			
CHECK BY:			
DATE: 10/26/15			
NOTES: SEE THE OTHER SHEETS FOR THE PROJECT INFORMATION.			
SHEET TITLE:			

FLOOR PLANS

A2.0

LEGEND

- WALLS
- EXISTING WALL TO REMAIN
 - (E) WALL TO BE REMOVE
- DOORS
- EXISTING DOOR TO REMAIN
 - (E) DOOR TO BE REMOVE
- WINDOWS
- EXISTING WINDOW TO REMAIN
 - EXISTING WINDOW TO BE REMOVED
 - (R) REPLACED



1-EXISTING FIRST FLOOR PLAN

2-PROPOSED BASEMENT FLOOR PLAN

3-PROPOSED 1ST FLOOR PLAN

SCALE = 1/4" = 1'-0"

PROJECT:

RESIDENTIAL
REMODEL
& ADDITION

FOR
LEE FAMILY

XIE ASSOCIATES
Architectural Design & Planning
501 DOWNSVIEW SQUARE
SAN FRANCISCO, CA 94104
Tel: (415) 682-3047
Fax: (415) 682-3047
Email: xie@xieassociates.com

5435
ANZA AVE
SAN FRANCISCO,
CALIFORNIA

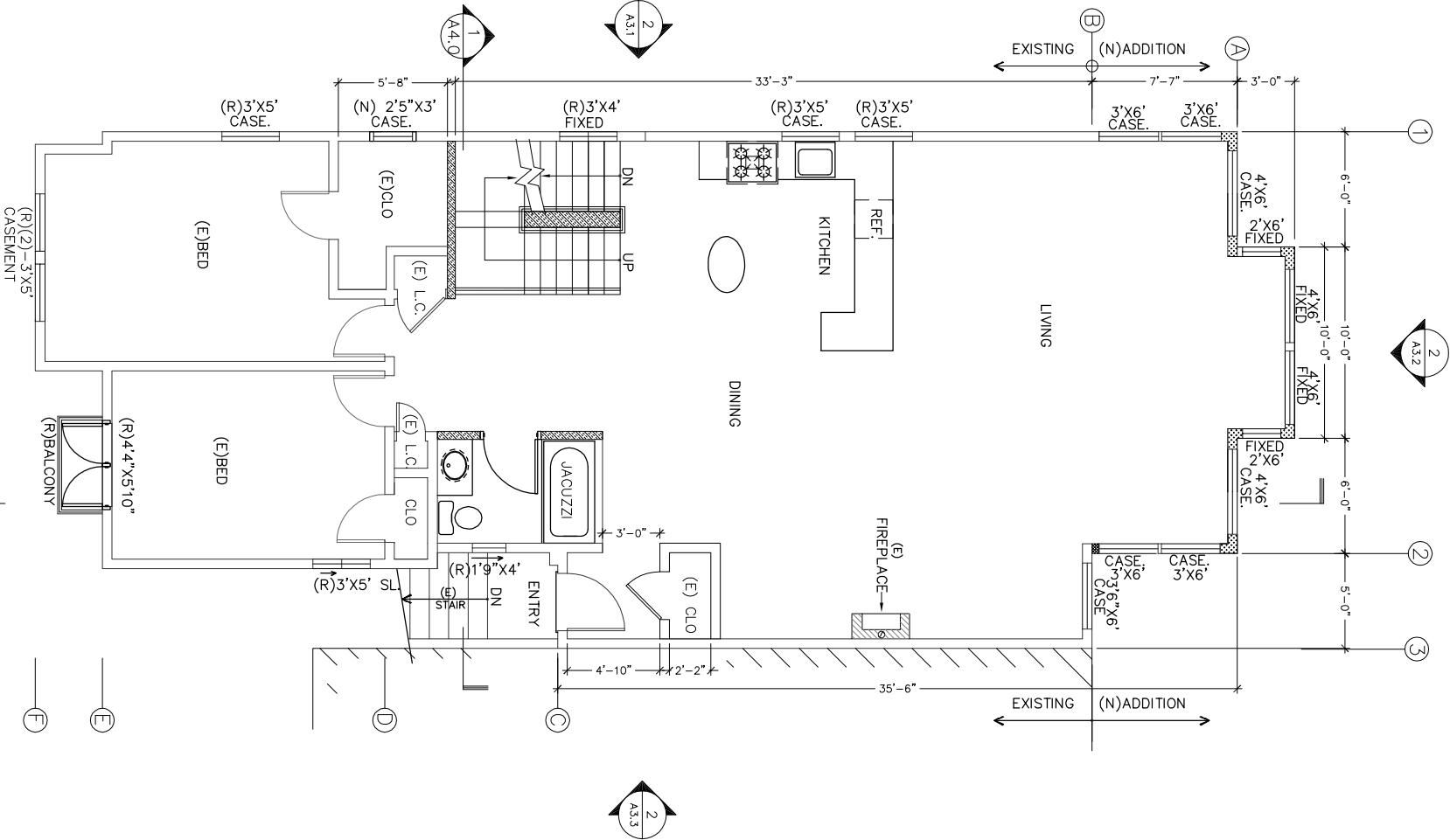
LEGEND

- WALLS**
- EXISTING WALL TO REMAIN
 - (E) WALL TO BE REMOVE
- DOORS**
- EXISTING DOOR TO REMAIN
 - (E) DOOR TO BE REMOVE
- WINDOWS**
- EXISTING WINDOW TO REMAIN
 - EXISTING WINDOW TO BE REMOVED
- * ALL NEW AND REPLACE WINDOWS ARE UV PROTECTED AND ULTRA VIOLET
- * BATHROOM GLASS WALL SIT ABOVE 28" AFF
- * ALL NEW AND REPLACE WINDOWS 18" AFF

REVISION		
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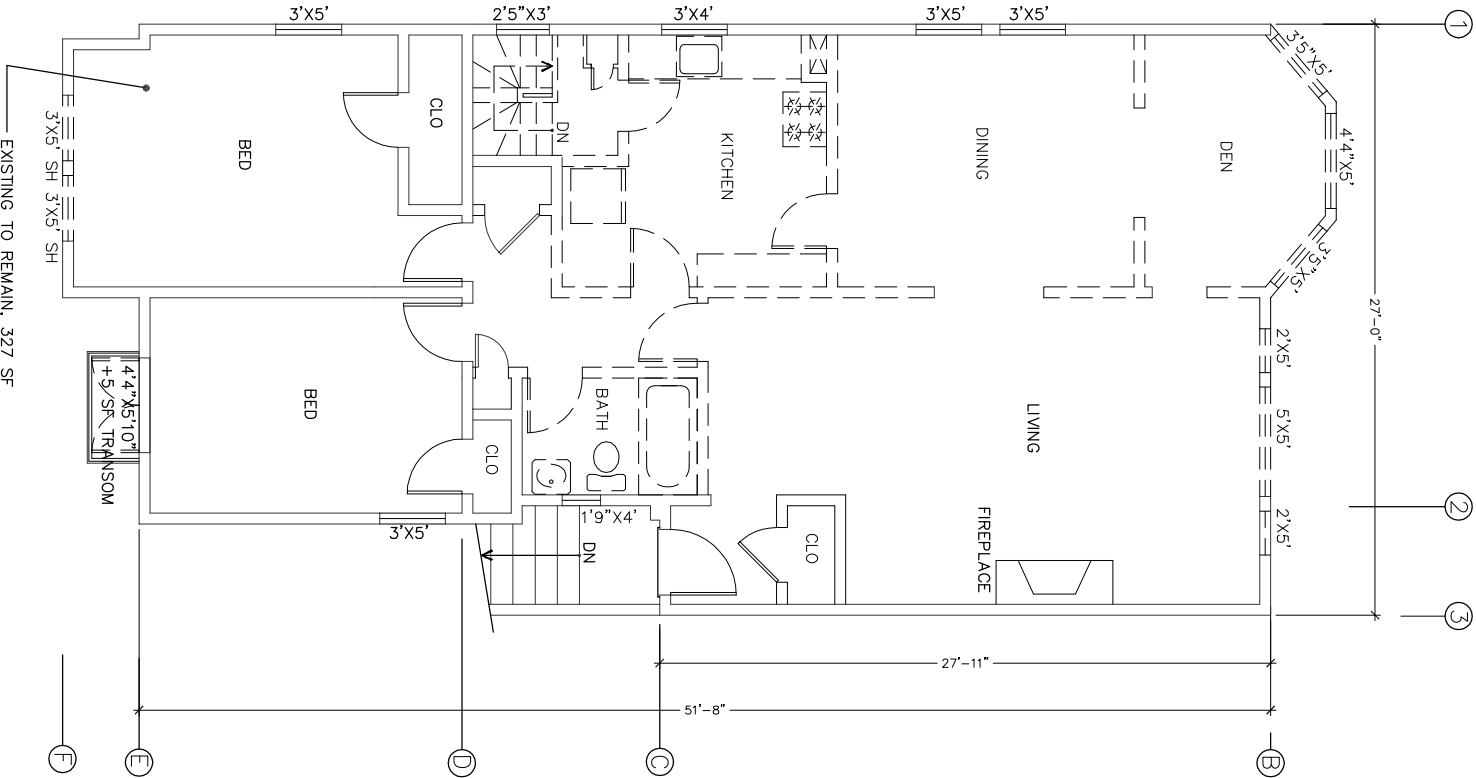
FLOOR PLANS

A2.1



SCALE= 1/4"=1'-0"

2-PROPOSED 2ND FLOOR PLAN



SCALE= 1/4"=1'-0"

1-EXISTING 2ND FLOOR PLAN

PROJECT:

RESIDENTIAL
REMODEL
& ADDITION

FOR
LEE FAMILY

XIE ASSOCIATES

Architectural Design & Planning
901 CRESCENT WAY #5412
SAN FRANCISCO, CA 94134
Tel: 415.692.3047
Fax: 415.692.6542
Email: llh@xiearchitect.com

5435
ANZA AVE
SAN FRANCISCO,
CALIFORNIA

LEGEND

WALLS

- EXISTING WALL TO REMAIN
(E) WALL TO BE REMOVE

DOORS

- EXISTING DOOR TO REMAIN
(E) DOOR TO BE REMOVE

WINDOWS

- EXISTING WINDOW TO REMAIN
EXISTING WINDOW TO BE
REMOVED

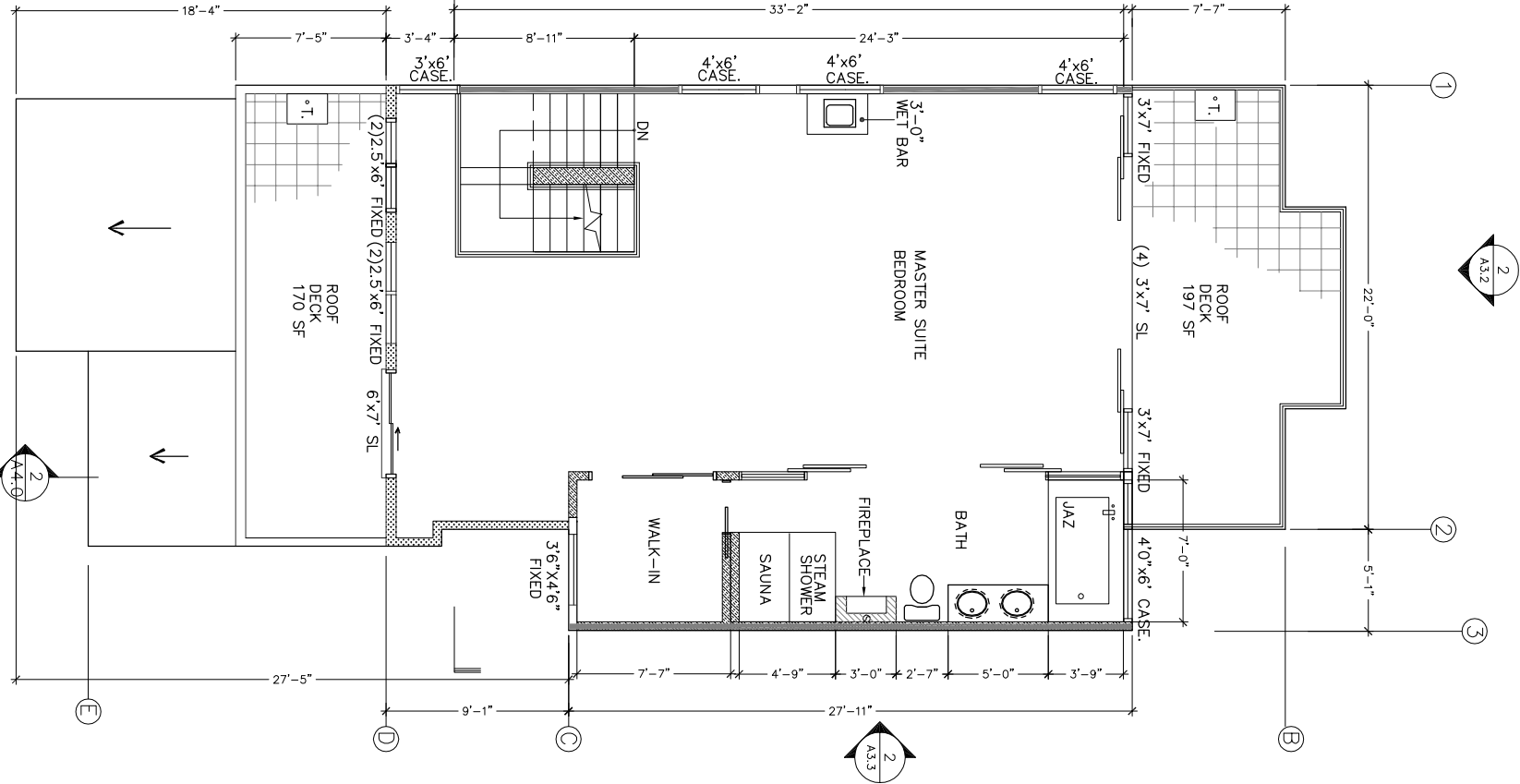
- SINK W/HOT AND COLD WATER

- * ALL NEW AND REPLACE WINDOWS
ARE UV PROTECTED AND ULTRA VIOLET
* ALL NEW AND REPLACE WINDOWS
18" A/F

REVISION		DATE	DESCRIPTION
PROJECT INFO			
MODEL FILE			
DRAWN BY: UJONG			
CHECK BY:			
DATE: 10/26/15			
XIE ASSOCIATES 901 CRESCENT WAY #5412 SAN FRANCISCO, CA 94134 Tel: 415.692.3047 Fax: 415.692.6542 Email: llh@xiearchitect.com			
SHEET TITLE			

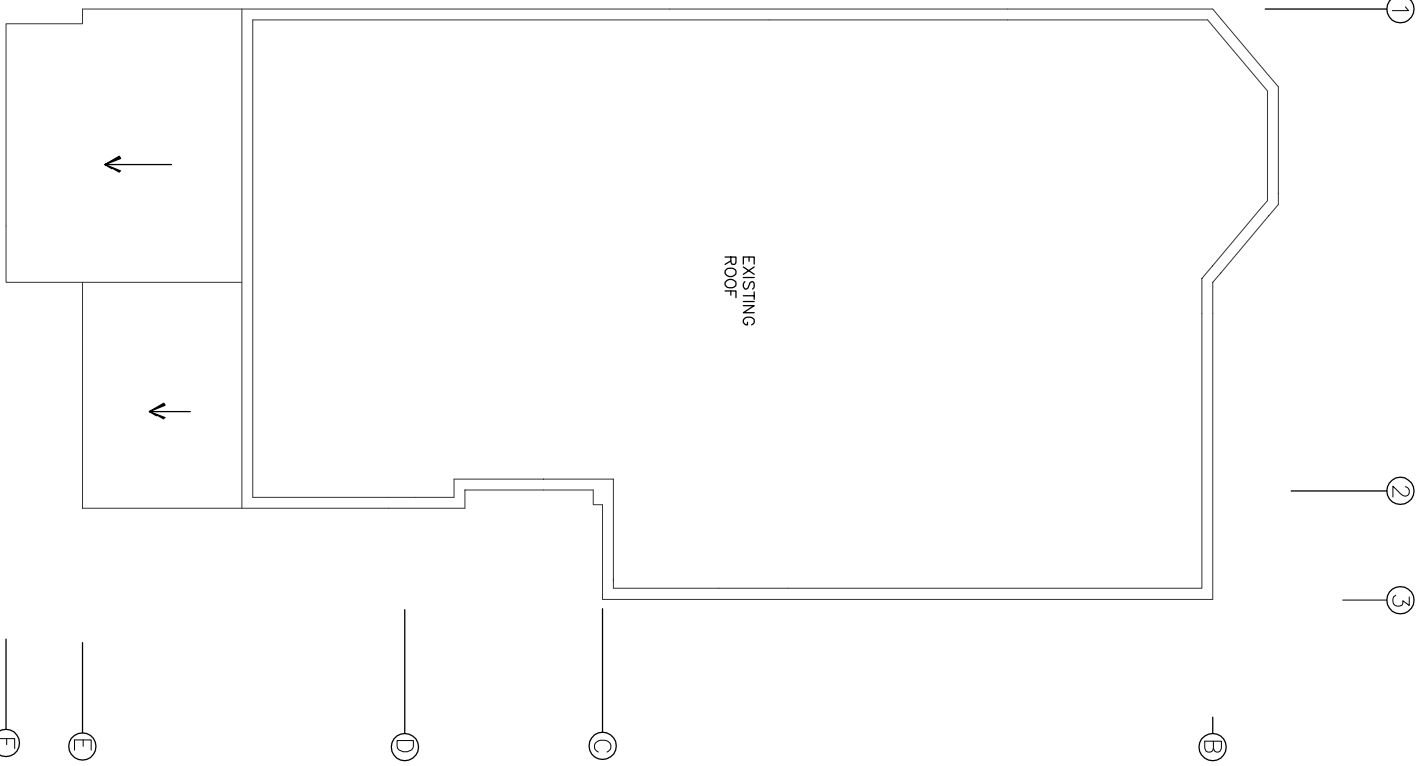
FLOOR AND
ROOF PLANS

A2.2



2-PROPOSED 3RD FLOOR PLAN

SCALE= 1/4"=1'-0"



1-EXISTING ROOF PLAN

SCALE= 1/4"=1'-0"

PROJECT:

RESIDENTIAL
REMODEL
& ADDITION
FOR
LEE FAMILY

XIE ASSOCIATES
Architectural Design & Planning
501 CRESCENT WAY #5412
SAN FRANCISCO, CA 94134
TEL: 415.653.3947
Fax: 415.653.5642
Email: lxie@xiearchitect.com

5435
ANZA AVE
SAN FRANCISCO,
CALIFORNIA

REVISION	DATE	DESCRIPTION

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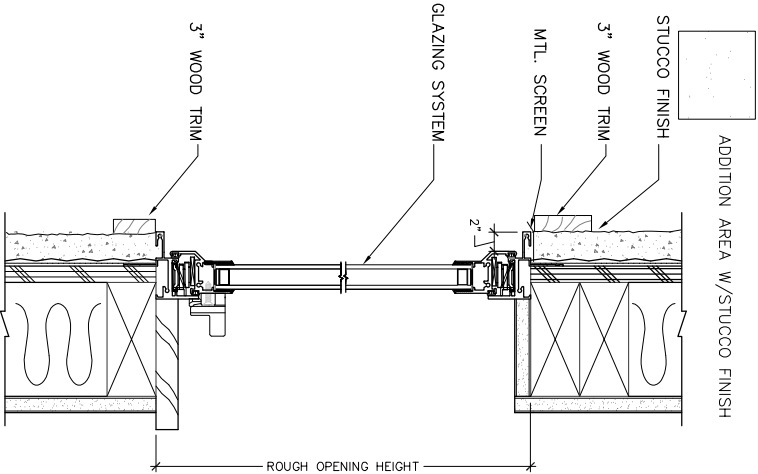
EXTERIOR
ELEVATIONS

A3.0

GENERAL NOTES
ALL WINDOWS SILL IS 24" AFF. TYP. UN

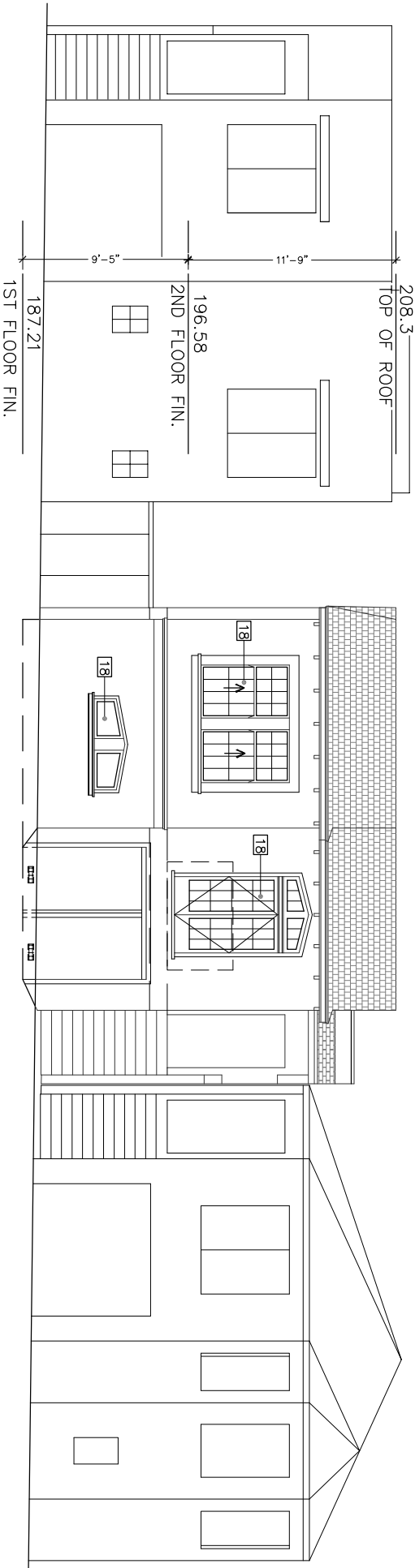
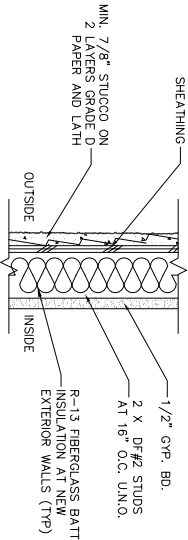
EXTERIOR FINISH

- 1 EXTERIOR STUCCO FINISH WALL
- 2 18" ROOF OVERHANG (TYP.)
- 3 FIX CLEAR GLASS PANEL, 24 SF MAXIMUM (TYP.) HIGH-QUALITY ALUM., TYP.
- 5 VERTICAL ALUM. TUBE POWER COATED GUARDRAIL
- 8 AUTO. 5-SECTION WOOD GARAGE DOOR W. LOUVER
- 9 HIGH-QUALITY ALUM WINDOWS @ EXTERIOR, TYP. W/ 3" WOOD TRIM
- 12 EXISTING ROOF TO REMAIN
- 13 ADJACENT BUILDING PROFILE
- 14 42" HT. GLASS RAILING, TEMPERED
- 15 REPLACED WINDOW BY SAME SIZE FROM SINGLE HUNG TO SLIDING
- 16 CASEMENT RESCUE/VANTILATION WINDOW
- 17 42" HT. SOLID STUCCO GUARDRAIL, TYP.
- 18 REPLACE EXISTING WINDOWS AND DOOR. NEW WINDOW SHALL BE HIGH-QUALITY ALUM., TYP., WOOD TRIM MATCH (E)



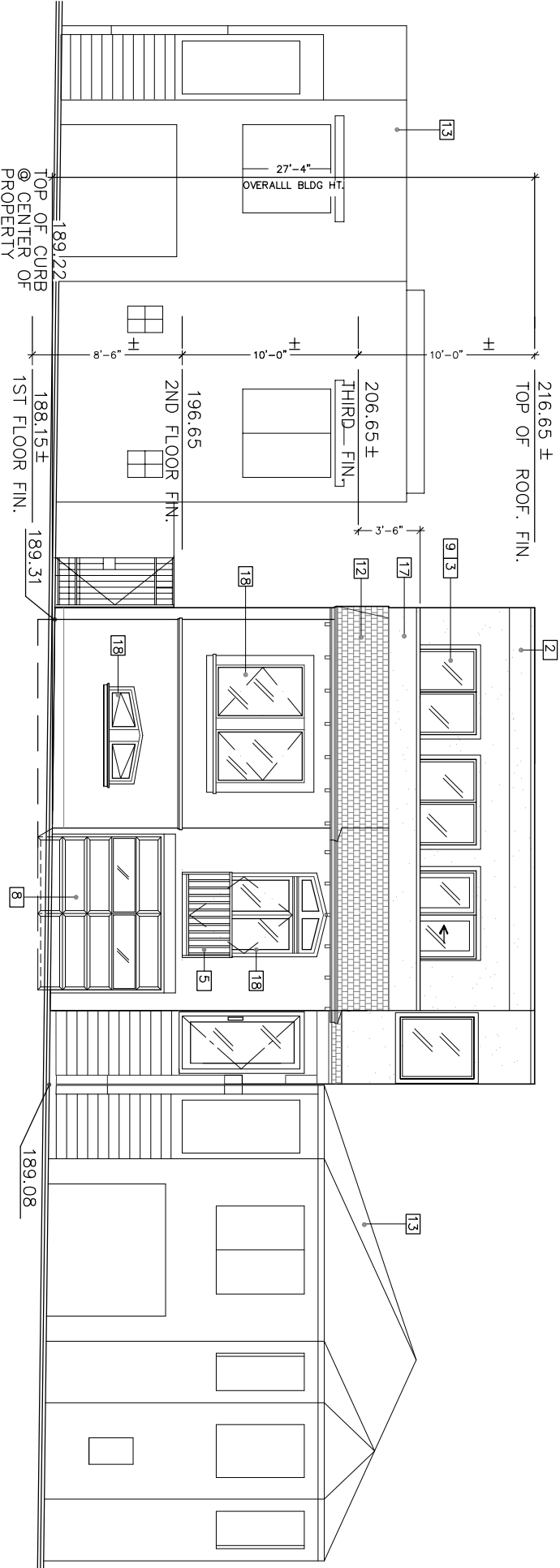
ALL WINDOWS ARE HIGH-QUALITY ALUM @ EXTERIOR
ALL HARDWARE OIL RUBBED

A3-WINDOW/GLAZING DETAIL (TYP.)



1- NORTH(FRONT) ELEVATION: EXISTING

SCALE= 1/4"=1'-0"



2- NORTH(FRONT) ELEVATION: PROPOSED

SCALE= 1/4"=1'-0"

PROJECT:

RESIDENTIAL
REMODEL
& ADDITION

FOR
LEE FAMILY

XIE ASSOCIATES
Architectural Design & Permitting
550 GROSSCUTT WAY #5415
SAN FRANCISCO, CA 94134
TEL: 415.626.2472
FAX: 415.626.2472
Pdx: 415.626.2472
Email: xie@xiearchitects.com

5435
ANZA AVE
SAN FRANCISCO,
CALIFORNIA

REVISION		
MARK	DATE	DESCRIPTION

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PROJECT NO.	
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DATE: 10/26/15	

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XIE ASSOCIATES
550 GROSSCUTT WAY #5415
SAN FRANCISCO, CA 94134

SHEET TITLE

EXTERIOR
ELEVATIONS

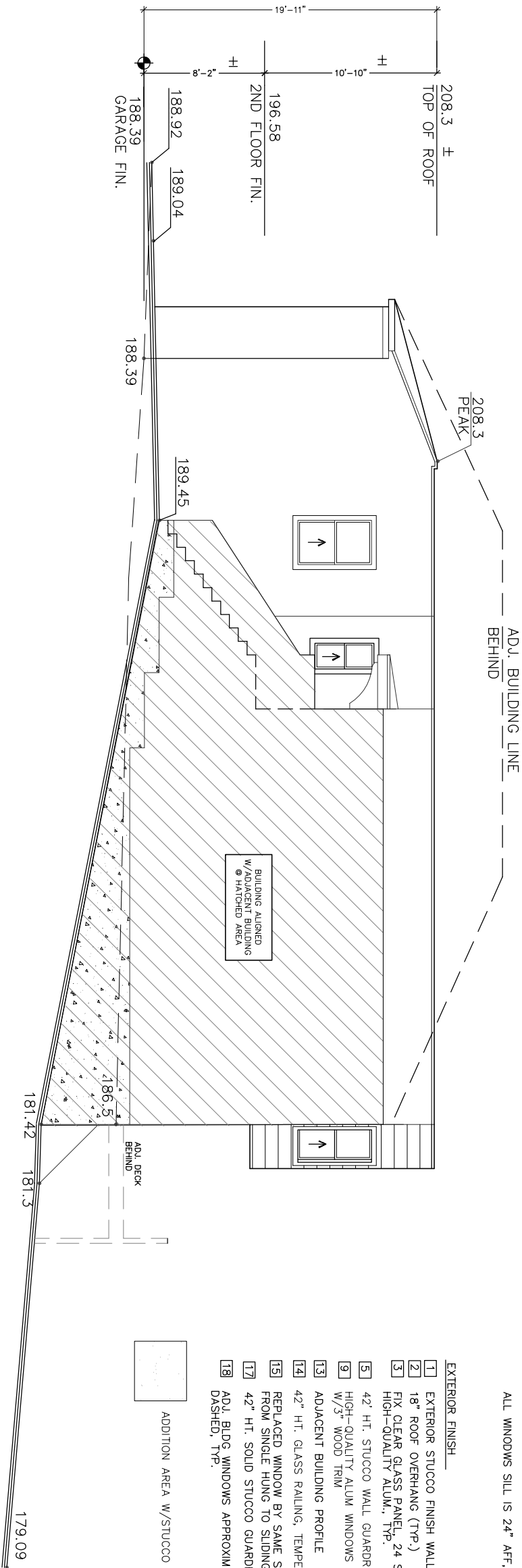
A3.1

GENERAL NOTES
ALL WINDOWS SILL IS 24" AFF. TYP. UON

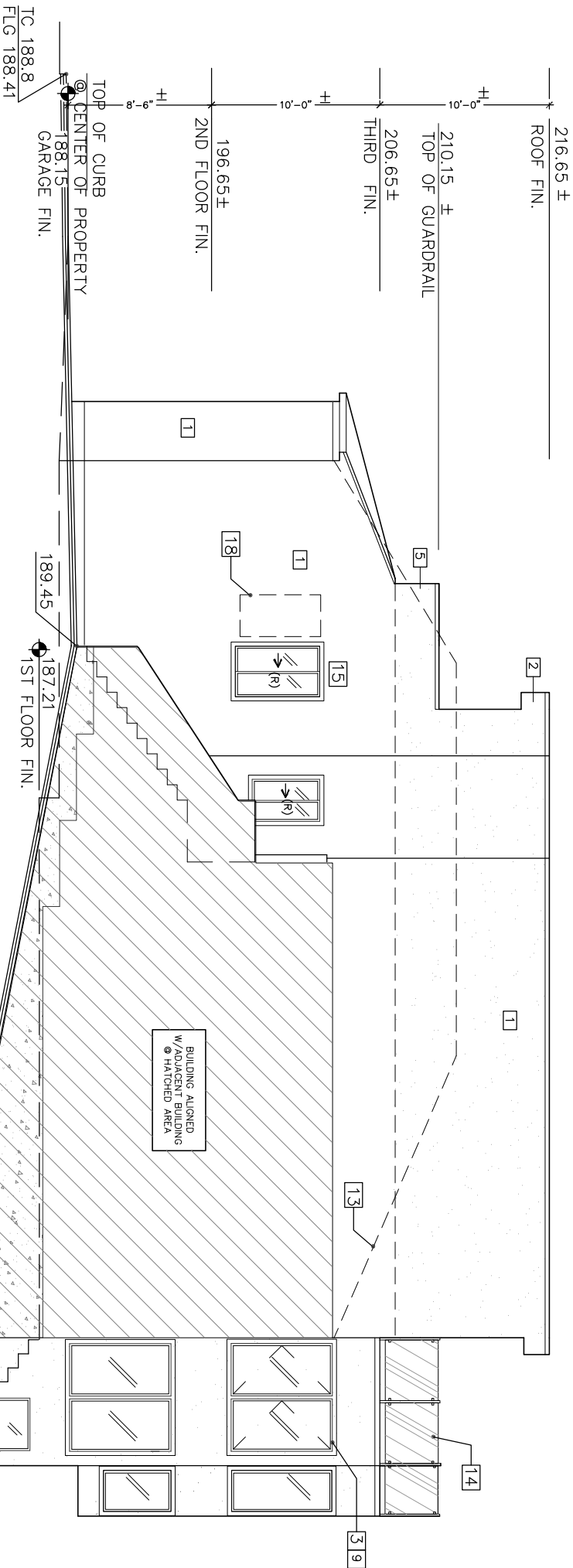
EXTERIOR FINISH

- 1 EXTERIOR STUCCO FINISH WALL
- 2 18" ROOF OVERHANG (TYP.)
- 3 FIX CLEAR GLASS PANEL, 24 SF MAXIMUM (TYP.) HIGH-QUALITY ALUM. TYP.
- 5 42" HT. STUCCO WALL GUARDRAIL
- 9 HIGH-QUALITY ALUM WINDOWS @ EXTERIOR, TYP. W/3" WOOD TRIM
- 13 ADJACENT BUILDING PROFILE
- 14 42" HT. GLASS RAILING, TEMPERED
- 15 REPLACED WINDOW BY SAME SIZE FROM SINGLE HUNG TO SLIDING
- 17 42" HT. SOLID STUCCO GUARDRAIL, TYP.
- 18 ADJ. BLDG. WINDOWS APPROXIMATE LOCATION, DASHED, TYP.

ADDITION AREA W/STUCCO FINISH



I- WEST(RIGHT) ELEVATION: EXISTING



I- WEST(RIGHT) ELEVATION: PROPOSED

SCALE= 1/4"=1'-0"

PROJECT:

RESIDENTIAL
REMODEL
& ADDITION
FOR
LEE FAMILY

XIE ASSOCIATES

Architectural Design & Planning
801 CRENSHAW HWY #6412
SAN FRANCISCO, CA 94134
Tel: (415) 882-2047
Fax: (415) 882-5542
Email: txie@xiearchitects.com

GENERAL NOTES

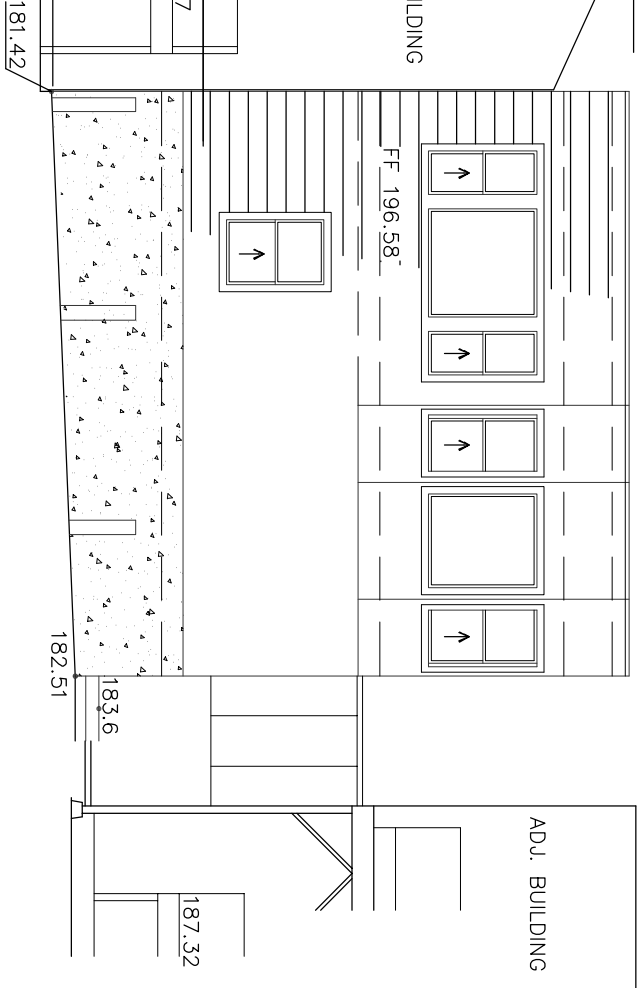
ALL WINDOWS SILL IS 24" AFF, TYP. UON

EXTERIOR FINISH

- 1 EXTERIOR STUCCO FINISH WALL
- 2 24" ROOF OVERHANG (TYP.)
- 3 FIX CLEAR GLASS PANEL, 24SF MAXIMUM (TYP.)
- 5 HIGH-QUALITY ALUM., TYP.
- 8
- 9 HIGH-QUALITY ALUM WINDOWS @ EXTERIOR, TYP.
- 11 METAL TUBE ROOF SERVICE GUARD RAIL
- 12 GALVANIZED METAL GATE
- 13 ADJACENT BUILDING PROFILE
- 14 42" HT. GLASS RAILING- TEMPERED
- 15 REPLACED WINDOW BY SAME SIZE FROM SINGLE HUNG TO SLIDING
- 16 CASEMENT RESCUE/VANTILATION WINDOW
- 17 42" HT. SOLID STUCCO GUARDRAIL, TYP.

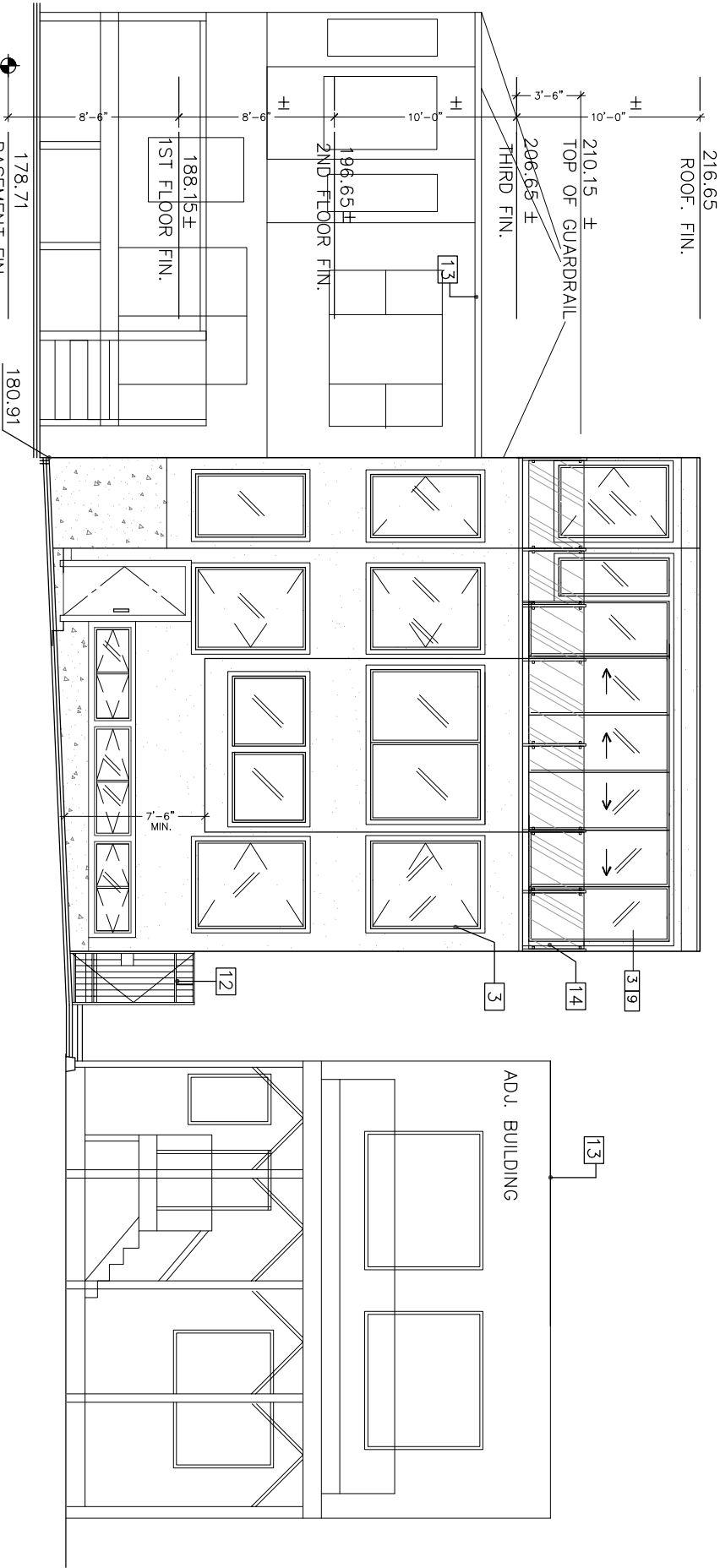


ADDITION AREA W/STUCCO FINISH



I-NORTH(REAR) ELEVATION: EXISTING

SCALE= 1/4"=1'-0"



2-NORTH(REAR) ELEVATION: PROPOSED

SCALE= 1/4"=1'-0"

REVISION	DATE	DESCRIPTION
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PROJECT NO:	
MODEL FILE:	
DRAWN BY: LHPHIG	
CHECK BY:	
DATE: 10/26/15	

SHEET TITLE

EXTERIOR
ELEVATIONS

A3.2

PROJECT:

GENERAL NOTES

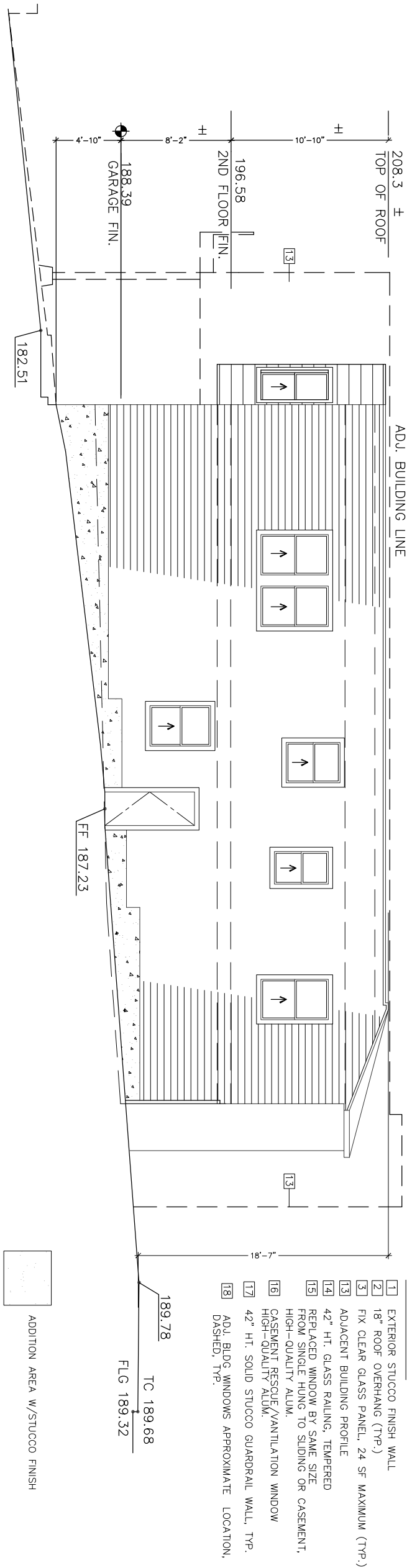
ALL WINDOWS SILL IS 18" AFF AND HIGH-QUALITY
ALUM. TYP. UON

**RESIDENTIAL
REMODEL
& ADDITION**

FOR

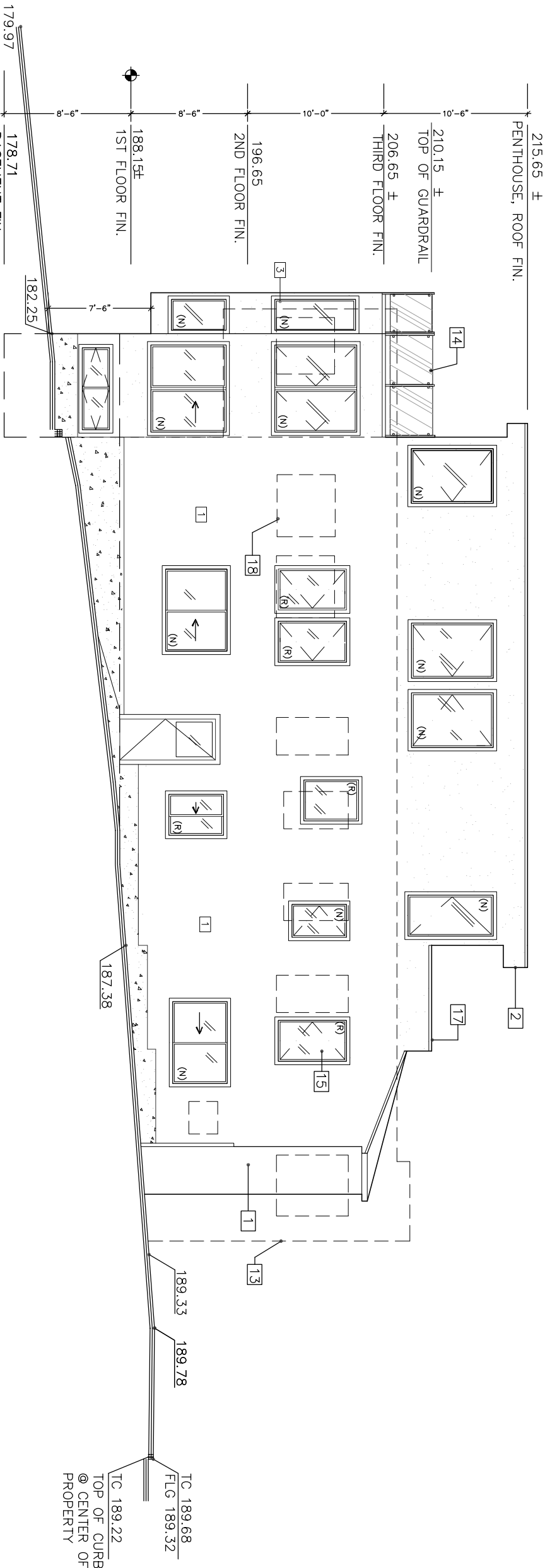
LEE FAMILY

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Architectural Design & Planning
1501 CRESCENT WAY #5412
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Fax: (415) 655-0542
Email: bill@xiearchdesign.com



SCALE = 1/4"=1'-0"

EAST(LEFT) ELEVATION: EXISTING



SCALE = 1/4"=1'-0"

2-EAST(LEFT) ELEVATION: PROPOSED

[illegible]

PROJECT NO:	
MODEL FILE:	
DRAWN BY: U HONG	
CHECK BY:	
DATE 10/26/15	

SHEET TITLE

EXTERIOR ELEVATIONS

A3.3

PROJECT:

RESIDENTIAL
REMODEL
& ADDITION

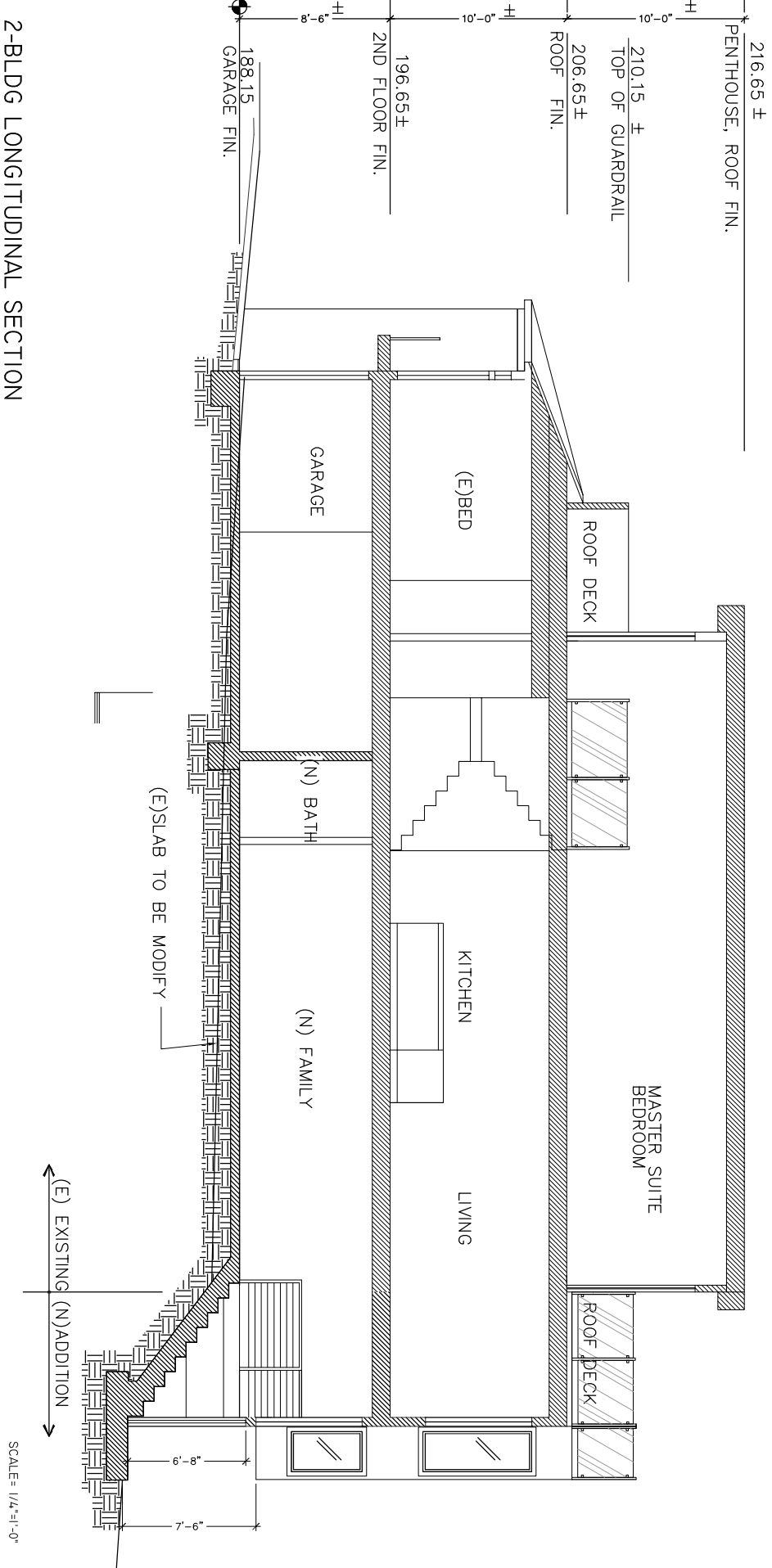
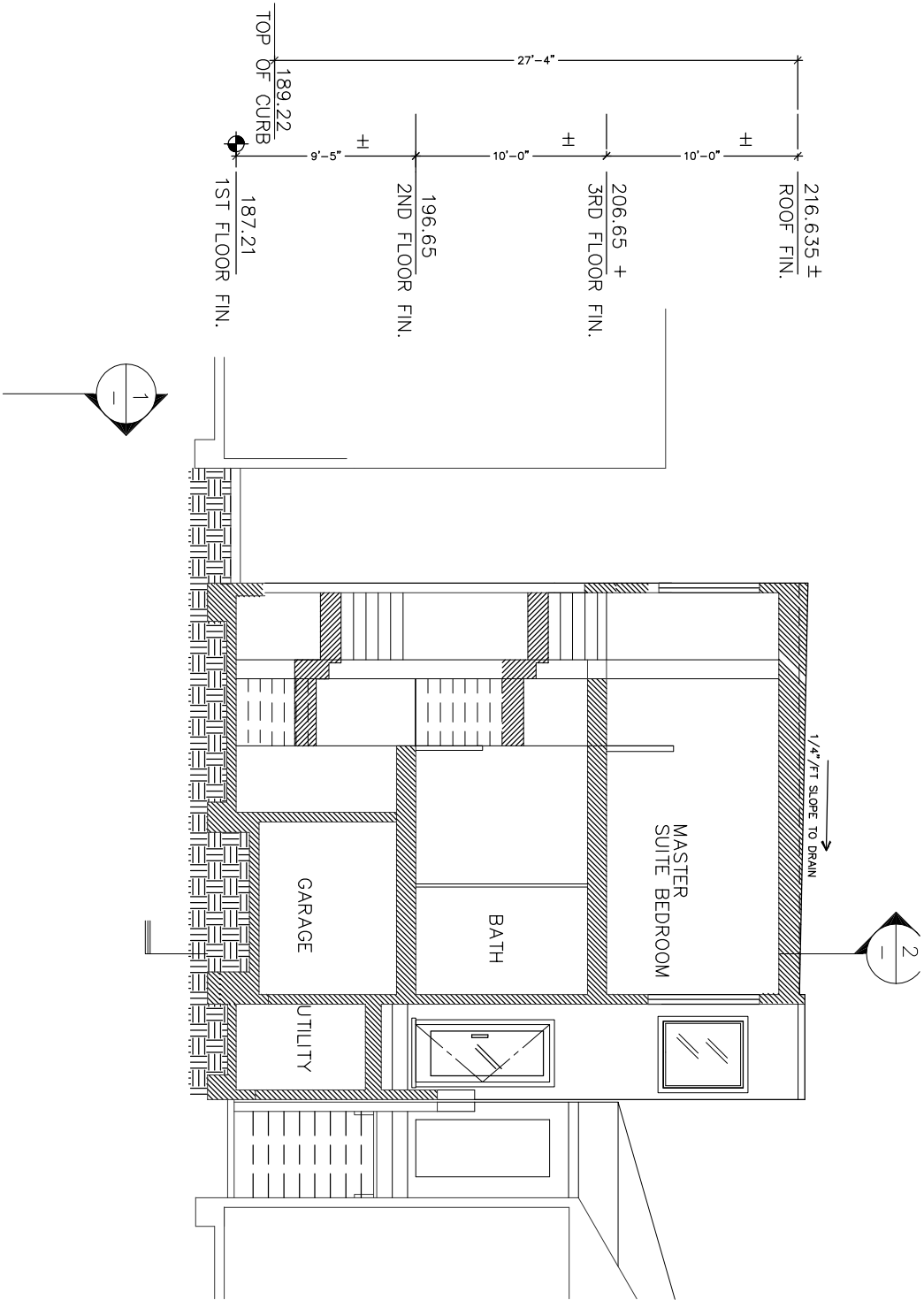
FOR

LEE FAMILY

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5435
ANZA AVE
SAN FRANCISCO,
CALIFORNIA

I-BLDG CROSS SECTION



SCALE = 1/4" = 1'-0"

2-BLDG LONGITUDINAL SECTION

BLDG
SECTIONS

A4.0