



# SAN FRANCISCO PLANNING DEPARTMENT

## Executive Summary Conditional Use/Variance

HEARING DATE: MAY 7, 2015

*Date:* April 30, 2015  
*Case No.:* 2013.1853CV  
*Project Address:* 811 Treat Avenue  
*Zoning:* RH-3 (Residential-House, Three Family)  
40-X Height and Bulk District  
*Block/Lot:* 3613/053  
*Project Sponsor:* SIA Consulting Corp.  
Attn: Bahman Ghassemzadeh  
1256 Howard Street  
San Francisco, CA 94103  
*Staff Contact:* Chris Townes – (415) 575-9195  
[chris.townes@sfgov.org](mailto:chris.townes@sfgov.org)  
*Recommendation:* **Approval with Conditions**

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### PROJECT DESCRIPTION

The Project Sponsor proposes to convert an existing two-story storage building, located at the rear of the property, into two-dwelling units (with second floor common deck) involving interior and exterior remodeling. The Project also includes the expansion of an existing two-car tandem garage to accommodate seven new Class 1 bicycle parking spaces, permeable paving at the front yard, three new street trees and the elimination of an existing 10-foot wide curb cut. The existing, two-story building with five dwelling units located at the front of the property is not included in the scope of work.

### SITE DESCRIPTION AND PRESENT USE

The site is located on the east side of Treat Avenue, between 21<sup>st</sup> Street and 22<sup>nd</sup> Street, Block 3613, Lot 053. The rectangular-shaped flat parcel measures 60 feet in width by 122.5 feet in length with a total lot area of 7,348 sf. The property is located within the RH-3 Zoning District and the 40-X Height and Bulk District within the Mission neighborhood. The lot is currently developed with a two-story residential building with five units and an adjacent one-story accessory two-car garage, located towards the front of the property, and a two-story, storage building located at the rear.

### SURROUNDING PROPERTIES AND NEIGHBORHOOD

The area surrounding the project site is generally residential in character; however, the immediately adjacent 1.5 acre property to the north and to the east contains a two-story elementary school (George Moscone Elementary School) whose outdoor playground abuts the subject property's side and rear property lines. The residences in the area are typically two to three stories in height and uses at the block corners typically include small neighborhood-serving commercial uses.

## **ENVIRONMENTAL REVIEW**

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 and Class 3 categorical exemption.

## **HEARING NOTIFICATION**

<b>TYPE</b>	<b>REQUIRED PERIOD</b>	<b>REQUIRED NOTICE DATE</b>	<b>ACTUAL NOTICE DATE</b>	<b>ACTUAL PERIOD</b>
Classified News Ad	20 days	April 17, 2015	April 17, 2015	20 days
Posted Notice	20 days	April 17, 2015	April 16, 2015	21 days
Mailed Notice	10 days	April 27, 2015	April 17, 2015	20 days

The proposal requires a Section 311-neighborhood notification, which was conducted with the Conditional Use and Variance notice.

## **PUBLIC COMMENT**

- To date, the Department has received no public comments.

## **ISSUES AND OTHER CONSIDERATIONS**

- A Conditional Use Authorization is required, pursuant to Planning Code Section 207, 209.1, and 303 to allow residential density up to one dwelling unit per 1,000 sf of lot area. Currently, the subject lot measures 7,348 sf and has five dwelling units. The Project proposes a total of seven dwelling units; the maximum permitted density subject to CU approval.
- A Variance, to be considered by the Zoning Administrator, is required pursuant to Planning Code Sections 134 and 305 to allow the proposed rear two-unit building to encroach into the required rear yard. The subject property is required to maintain a rear yard of 45% of the lot depth, or 55.1 feet. The subject building abuts the rear property line and, is therefore, legal non-conforming. The proposed conversion from storage into habitable space is an intensification of use that requires the building to meet the current rear yard requirement; therefore, the Project requires a Variance.
- In working collaboratively with Preservation City staff, the Project Sponsor sufficiently tailored the plans to mitigate negative impacts to the historic property. These mitigation measures included, providing notation that the front residence is not included in the scope of work, eliminating the initially proposed surface parking (and existing curb cut) along the northern side yard, incorporation of a compatible door design and plan notation that all exterior remodel work will be restored or replaced in-kind to match the existing materials. In addition, the scope of work is largely not visible from the public right-of-way. As a result of these measures above, the Project qualified for a CEQA Categorical Exemption (see attached Exhibit).

## **REQUIRED COMMISSION ACTION**

In order for the project to proceed, the Commission must grant Conditional Use authorization to allow residential density up to one dwelling unit per 1,000 sf of lot area, pursuant to Planning Code Section 207, 209.1, and 303. A rear yard Variance request will be considered concurrently by the Zoning Administrator at the May 7, 2015 Planning Commission hearing.

## **BASIS FOR RECOMMENDATION**

- The Project provides two additional residential units to the City's housing stock within the Mission neighborhood during a period of significant housing demand throughout the City.
- The Project involves the elimination of an existing curb cut adjacent to an elementary school which will mitigate the site's pedestrian-vehicular points of conflicts.
- The Project provides seven new Class 1 bicycle parking spaces to provide residents with an alternate mode of transportation.
- The Project provides for the installation of three new 24-inch box street trees to the City's urban forest.
- The Project's overall program and proposed exterior remodel work was developed in collaboration with Preservation City staff and is sufficiently sensitive to the historic nature of the site to garner a CEQA Categorical Exemption from staff.

<b>RECOMMENDATION:</b>	<b>Approval with Conditions</b>
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### **Attachments:**

Draft Motion- Conditional Use Authorization  
Parcel Map  
Sanborn Map  
Zoning Map  
Aerial Photograph  
Site Photos  
Context Photos  
CEQA Categorical Exemption  
Architectural Drawings

Attachment Checklist:

- ☒ Executive Summary
- ☒ Draft Motion
- ☒ Environmental Determination
- ☒ Zoning District Map

- ☒ Parcel Map
- ☒ Sanborn Map
- ☒ Aerial Photo
- ☒ Context Photos
- ☒ Site Photos

- ☒ Project sponsor submittal

Drawings: Existing Conditions

- ☒ Check for legibility

Drawings: Proposed Project

- ☒ Check for legibility

Exhibits above marked with an "X" are included in this packet

\_\_\_\_\_  
Planner's Initials



# SAN FRANCISCO PLANNING DEPARTMENT

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*Subject to: (Select only if applicable)*

- |  |  |
|--|--|
| <input type="checkbox"/> Affordable Housing (Sec. 415)           | <input type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 413) | <input type="checkbox"/> Child Care Requirement (Sec. 414) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 412)            | <input type="checkbox"/> Other                             |

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## Planning Commission Draft Motion

HEARING DATE: MAY 7, 2015

*Date:* April 30, 2015  
*Case No.:* **2013.1853CV**  
*Project Address:* **811 TREAT AVENUE**  
*Zoning:* RH-3 (Residential-House, Three Family)  
40-X Height and Bulk District  
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**ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 207, 209.1 and 303 OF THE PLANNING CODE TO ALLOW RESIDENTIAL DENSITY UP TO ONE DWELLING UNIT PER 1,000 SQUARE FEET OF LOT AREA RESULTING IN TWO ADDITIONAL DWELLING UNITS FOR A TOTAL OF SEVEN DWELLING UNITS ON THE SUBJECT PROPERTY WITHIN THE RH-3 (RESIDENTIAL-HOUSE, THREE FAMILY) DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.**

### PREAMBLE

On December 19, 2013, Bahman Ghassemzadeh with SIA Consulting Corp. (hereinafter "Project Sponsor") filed an application with the Planning Department (hereinafter "Department") for Conditional Use Authorization under Planning Code Section(s) 207, 209.1 and 303 to allow residential density up to one dwelling unit per 1,000 sf of lot area within the RH-3 (Residential-House, Three Family) District and a 40-X Height and Bulk District.

On December 19, 2013, the Project Sponsor also filed a Variance pursuant to Planning Code Sections 134 and 305 to allow the proposed rear two-dwelling unit building to encroach into the required rear yard.

The subject property is required to maintain a rear yard of 45% of the lot depth, or 55.1 feet; whereas, the rear two-dwelling unit building abuts the rear property line and therefore, does not comply.

On May 7, 2015, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2013.1853CV.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 and Class 3 categorical exemption.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use requested in Application No. 2013.1853CV, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

## FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The site is located on the east side of Treat Avenue, between 21<sup>st</sup> Street and 22<sup>nd</sup> Street, Block 3613, Lot 053. The rectangular-shaped flat parcel measures 60 feet in width by 122.5 feet in length with a total lot area of 7,348 sf. The property is located within the RH-3 Zoning District and the 40-X Height and Bulk District within the Mission neighborhood. The lot is currently developed with a two-story, residential building with five units and an adjacent one-story accessory two-car garage, located towards the front of the property, and a two-story, storage building located at the rear.
3. **Surrounding Properties and Neighborhood.** The area surrounding the project site is generally residential in character; however, the immediately adjacent 1.5 acre property to the north and to the east contains a two-story elementary school (George Moscone Elementary School) whose outdoor playground abuts the subject property's side and rear property lines. The residences in the area are typically two to three stories in height and uses at the block corners typically include small neighborhood-serving commercial uses.
4. **Project Description.** The Project Sponsor proposes to convert an existing two-story storage building, located at the rear of the property, into two-dwelling units (with second floor common deck) involving interior and exterior remodeling. The Project also includes the expansion of an existing two-car tandem garage to accommodate seven new Class 1 bicycle parking spaces,

permeable paving at the front yard, three new street trees and the elimination of an existing 10-foot wide curb cut. The existing, two-story building with five dwelling units located at the front of the property is not included in the scope of work.

5. **Public Comment.** To date, the Department has received no public comments.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Permitted Uses in the RH-3 Zoning District/ Dwelling Unit Density.** Planning Code Section 207, 209.1 and 303 require a Conditional Use Authorization to allow a residential density up to one dwelling unit per 1,000 sf of lot area in the RH-3 Zoning District.

*Currently, the subject lot measures 7,348 sf and has five dwelling units. The proposed project would construct two additional dwelling units by converting an existing rear storage shed into habitable area; thereby resulting in a total of seven dwelling units. The project is seeking a Conditional Use Authorization from the Planning Commission to allow the maximum unit density permitted subject to CU approval.*

- B. **Rear Yard Requirement in the RH-3 District.** Planning Code Section 134 generally requires a rear yard of 45% of lot depth (or 55.1 feet in this case) for an RH-3 property unless a reduction is available through subsection (c) of Section 134. However, in averaging the setback of the adjacent residential neighbor with that of the adjacent elementary school, the resulting average is 68.4 feet. Since this calculation does not yield a reduction below that of the generally required 45% of the lot depth, the default rear yard is 45% of lot depth, or 55.1 feet.

*The Project involves the conversion of an existing 2-story storage building abutting the rear property line into habitable living space to accommodate two new dwelling units. The proposed change of use constitutes an intensification of use that triggers the current rear yard setback Code requirement; however, the Project does not alter the building footprint nor the building envelope of a structure which has existing in its current configuration since the 1900's without any neighborhood opposition. It should also be noted that the neighboring non-residential use to the north and east is an approximately 67,000 sf elementary school (George Moscone Elementary School) with outdoor playground space abutting the shared property lines. The Project is seeking a rear yard Variance from the Zoning Administrator.*

- C. **Dwelling Unit Exposure.** Planning Code Section 140 requires that at least one room of all dwelling units face onto a public street, public alley, at least 20 feet in width, side yard at least 25 feet in width, a rear yard meeting the requirements of this Code or other open area that meets minimum requirements for area and horizontal dimensions.

*Both dwelling units face onto the central inner court that is unobstructed and is no less than 25 feet in every horizontal dimension for the floor at which the dwelling unit in question is located and the floor immediately above it; therefore, the Project complies with Planning Code Section 140.*

- D. **Usable Open Space.** Planning Code Section 135 requires a minimum of 133 sf per dwelling unit, if common usable open space. Therefore, with two new dwelling units proposed, the Project is required to provide at least 266 sf of common usable open space for the new units specifically. The site currently contains five existing dwelling units in the front residence; therefore, collectively the entire site would require a total of 931 sf.

*Cumulatively, the Project provides a total common usable open space area of 1,750 sf at an inner courtyard and 870 sf at a rear building's second level deck; therefore, the Project complies with Planning Code Section 135.*

- E. **Landscaping/Permeability.** Planning Code Section 132 requires projects proposing new dwelling units to provide a minimum of 20% landscaping and 50% permeability within the required front yard setback. With a required front yard setback of 14.5 feet and a parcel width of 60 feet, the required front yard has a total area of 870 sf. Therefore, the Project would have to provide at least 174 sf of landscaping and 435 sf of permeability within the required front setback.

*The Project provides approximately 533 sf of permeable landscaping within the required front setback or 61%; therefore, the Project complies with Planning Code Section 132.*

- F. **Street Trees.** Planning Code Section 138.1 requires one new street tree for every 20 feet of property frontage for projects proposing the addition of new dwelling units. Therefore, with two new dwelling units proposed and a property frontage of 60 feet, the Project is required to provide a minimum of three new street trees (60 linear feet of frontage x 1 tree/20 linear feet of frontage = 3 trees).

*The Project provides a total of three new 24-inch box street trees; therefore, the Project complies with Planning Code Section 138.1.*

- G. **Off-Street Parking.** Planning Section 151 of the Planning Code requires one off-street vehicular parking space per dwelling unit. Therefore, with two new dwelling units proposed, the Project is required to provide two additional parking spaces. Alternatively, the Project may provide one Class 1 bicycle parking space in-lieu of each required off street vehicular parking space.

*The Project provides a total of seven Class 1 bicycle parking spaces (two of which are required to fulfill the Class 1 bicycle parking requirement); therefore, the Project complies with Planning Code Section 151.*



- H. **Bicycle Parking.** Planning Code Section 155.2 of the Planning Code requires at least one Class 1 bicycle parking spaces for each dwelling unit and one Class 2 bicycle parking spaces for every 20 dwelling units.

*The Project proposes two new dwelling units; therefore, the Project is required to provide two Class 1 bicycle parking spaces. The Project will provide seven Class 1 bicycle parking spaces. Therefore, the Project complies with Planning Code Section 155.2.*

- I. **Eastern Neighborhood Impact Fees. Eastern Neighborhood Infrastructure Impact Fees.** Planning Code Section 423 is applicable to any development project within the Eastern Neighborhoods that results in the addition of at least one net new residential unit.

*The Project proposes the establishment of two new dwelling units; therefore, the Project is subject to Eastern Neighborhood Infrastructure Impact Fees, as outlined in Planning Code Section 423. This fee must be paid prior to the issuance of the building permit application.*

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

*The size of the proposed residential dwelling units is in keeping with other dwelling units in the surrounding neighborhood. The Project also provides two additional residential units to the City's housing stock within the Mission neighborhood during a period of significant housing demand throughout the City.*

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

*The height and bulk of the existing rear building will remain the same. The Project will not alter the existing appearance or character of the project vicinity. The proposed work will only modestly alter the building envelope of the accessory garage building; however, in general, the proposed building alterations are largely not visible from the public right-of-way.*

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*The proposed use is designed to meet the needs of two additional dwelling units through the provision of Code-compliant vehicular and bicycle parking and should not generate significant amounts of vehicular trips from the immediate neighborhood or Citywide.*

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*The proposed use is residential and does not possess any noxious or offensive emissions.*

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

*The Project includes the provision of landscaping, including permeable pavers at the front yard and three new 24-inch box street trees. Shared common usable open spaces such as a 1,096 sf common front yard, a 1,470 sf central courtyard and a 1,033 sf roof deck are provided throughout the Project to accommodate the two new dwelling units, as well as, existing units.*

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*Subject to Planning Commission approval of the Conditional Use Authorization and Zoning Administrator approval of the rear yard Variance sought with this proposal, the Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.*

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

*The Project is not located within a Neighborhood Commercial District.*

- 8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

## **HOUSING**

### **Objectives and Policies**

#### **OBJECTIVE 1:**

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

#### **Policy 1.1:**

Plan For the full range of housing needs in the City and County of San Francisco, especially affordable housing.

**Policy 1.6:**

Consider greater flexibility in number and size of units within established building envelopes in community based planning processes, especially if it can increase the number of affordable units in multi-family structures.

*The Project involves the rehabilitation and conversion of an existing two-story, storage building into two new residential dwelling units. The site is adequate to meet the needs of the City in that the size of the units (each three-bedrooms) is well suited to families with children. The proposed density (7 units total) fits well within the neighborhood context which includes a variety of multi-family housing. The adequacy of the Project site is further exemplified through the establishment of two new three-bedroom dwelling units entirely within the existing building envelope of a rear building that is not substantially visible from the public right-of-way; thereby, mitigating the mass and height impacts to surrounding properties in the neighborhood.*

**OBJECTIVE 2:**

**RETAIN EXISTING HOUSING UNITS, AND PROMOTE SAFETY AND MAINTENANCE STANDARDS, WITHOUT JEOPARDIZING AFFORDABILITY**

**Policy 2.4:**

Promote improvements and continued maintenance to existing units to ensure long term habitation and safety.

**OBJECTIVE 3:**

**PROTECT THE AFFORDABILITY OF THE EXISTING HOUSING STOCK, ESPECIALLY RENTAL UNITS.**

**Policy 3.4:**

Preserve “naturally affordable” housing types, such as smaller and older ownership units.

*The Project involves the rehabilitation of an existing structure, rather than demolition and new construction, to allow the establishment of two new residential dwelling units. These units will meet current Building Code requirements; thereby, promoting safety and maintenance standards while preserving the “natural affordability” of the building.*

**OBJECTIVE 4:**

**FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES**

**Policy 4.1:**

Develop new housing and encourage the remodeling of existing housing, for families with children.

*The Project fosters a housing stock that meets the needs of a diverse resident population by providing two new three-bedroom units that may accommodate families with children. The proposed units are further*

*suited towards families with children in that the site is immediately adjacent to George Moscone Elementary School.*

## **RECREATION AND OPEN SPACE ELEMENT**

### **Objectives and Policies**

#### **OBJECTIVE 4:**

PROVIDE OPPORTUNITIES FOR RECREATION AND THE ENJOYMENT OF OPEN SPACE IN EVERY SAN FRANCISCO NEIGHBORHOOD.

#### **Policy 4.6:**

Assure the provision of adequate public open space to serve new residential development.

*The Project provides opportunities for recreation and enjoyment of open space for the two proposed residential dwelling units by providing a Code-compliant amount of open space, inclusive of a variety of shared common open space throughout the site. These shared open spaces include a rear second level deck, an inner courtyard and front yard areas.*

## **TRANSPORTATION ELEMENT**

### **Objectives and Policies**

#### **OBJECTIVE 24:**

IMPROVE THE AMBIENCE OF THE PEDESTRIAN ENVIRONMENT.

#### **Policy 24.2:**

Maintain and expand the planting of street trees and the infrastructure to support them.

*The Project proposes three new 24-inch box street trees to be planted along the Treat Avenue street frontage and further improves the ambience of the pedestrian environment by removing an existing curb cut adjacent to George Moscone Elementary School. The elimination of this curb cut will diminish the potential for pedestrian-vehicular points of conflict.*

#### **OBJECTIVE 28:**

PROVIDE SECURE AND CONVENIENT PARKING FACILITIES FOR BICYCLES.

#### **Policy 28.1:**

Provide secure bicycle parking in new governmental, commercial, and residential developments.

#### **Policy 28.3:**

Provide parking facilities which are safe, secure, and convenient.

*The Project proposes a total of seven new, on-site, Class 1 bicycle parking spaces within an enclosed, secure garage for convenient accessibility by all residents.*

**OBJECTIVE 34:**

RELATE THE AMOUNT OF PARKING IN RESIDENTIAL AREAS AND NEIGHBORHOOD COMMERCIAL DISTRICTS TO THE CAPACITY OF THE CITY'S STREET SYSTEM AND LAND USE PATTERNS.

**Policy 34.5:**

Minimize the construction of new curb cuts in areas where on-street parking is in short supply and locate them in a manner such that they retain or minimally diminish the number of existing on-street parking spaces.

*The Project proposes to eliminate an existing curb cut adjacent to George Moscone Elementary School which no longer provides access to off-street parking; thereby, increasing the capacity of the City's street system to provide neighborhood street parking.*

**MISSION AREA PLAN**

**HOUSING**

**OBJECTIVE 2.2:**

RETAIN AND IMPROVE EXISTING HOUSING AFFORDABLE TO PEOPLE OF ALL INCOMES.

**Policy 2.2.1**

Preserve viability of existing rental units.

**OBJECTIVE 2.3:**

ENSURE THAT NEW RESIDENTIAL DEVELOPMENT SATISFY AN ARRAY OF HOUSING NEEDS WITH RESPECT TO TENURE, UNIT MIX AND COMMUNITY SERVICES.

**Policy 2.3.2**

Prioritize the development of affordable family housing, both rental and ownership, particularly along transit corridors and adjacent to community amenities.

*The Project involves the rehabilitation and conversion (rather than demolition and new construction), of an existing two-story, storage building into two new residential dwelling units. Although not currently rental units, the rehabilitation of the existing structure adds to its "natural affordability". The proposed three-bedroom unit size is well suited to families with children within the Mission neighborhood which is served by two regional BART transition stations, 16<sup>th</sup> Street and 24<sup>th</sup> Street BART stations and abuts George Moscone Elementary School. The proposed density (7 units total) fits well within the neighborhood context which includes a variety of multi-family housing.*

**TRANSPORTATION**

**OBJECTIVE 4.7:**

IMPROVE AND EXPAND INFRASTRUCTURE FOR BICYCLING AS AN IMPORTANT MODE OF TRANSPORTATION.

**Policy 4.7.2**

Provide secure, accessible and abundant bicycle parking, particularly at transit stations, within shopping areas and at concentrations of employment.

**OBJECTIVE 4.8:**

ENCOURAGE ALTERNATIVES TO CAR OWNERSHIP AND THE REDUCTION OF PRIVATE VEHICLE TRIPS.

*The Project proposes a total of seven new, on-site, Class 1 bicycle parking spaces within an enclosed, secure garage for convenient accessibility by all residents. Furthermore, the Project eliminates an existing curb cut and does not include any additional vehicular parking.*

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*The Project site does not contain any neighborhood-serving retail uses.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*The Project does not displace any existing housing; rather, the Project proposes to convert an existing two-story rear storage building into a two-dwelling unit building. Neighborhood character is conserved in that the Project involves the rehabilitation of an existing historic structure.*

- C. That the City's supply of affordable housing be preserved and enhanced,

*No housing is removed for this Project.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*The Project proposes to add only two new dwelling units to an existing five dwelling unit property within a moderately dense neighborhood. It is not expected that commuter traffic from the Project will negatively impede MUNI transit service or overburden streets or neighborhood parking.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*The Project will not displace any service or industry establishment. The project will not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses will not be affected by this project.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The Project is designed and will be constructed to conform to the structural and seismic safety requirements of the City Building Code.*

- G. That landmarks and historic buildings be preserved.

*A landmark does not occupy the Project site; however, the site is historic in that it was constructed in 1882 and served as the personal home of a master architect, Henry Geilfuss, who became a prominent architect in the City, responsible for the design of at least four City landmarks. In working collaboratively with Preservation City staff, the Project Sponsor sufficiently tailored the plans to mitigate negative impacts to the historic property. As a result of these mitigation measures, the Project qualified for a CEQA Categorical Exemption.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*The project will have no negative impact on existing parks and open spaces. The Project does not have an impact on open spaces.*

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

## DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2013.1853CV** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated April 27, 2015, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. **XXXXX**. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

**Protest of Fee or Exaction:** You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on May 7, 2015.

Jonas P. Ionin  
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: May 7, 2015



## EXHIBIT A

### AUTHORIZATION

This authorization is for a Conditional Use to allow residential density up to one dwelling unit per 1,000 sf of lot area located at 811 Treat Avenue, Block 3613, and Lot 053 pursuant to Planning Code Section(s) 207, 209.1, and 303 within the RH-3 (Residential-House, Three Family) District and a 40-X Height and Bulk District; in general conformance with plans, dated April 27, 2015, and stamped "EXHIBIT B" included in the docket for Case No. 2013.1853CV and subject to conditions of approval reviewed and approved by the Commission on May 7, 2015 under Motion No. XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

### RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on May 7, 2015 under Motion No. XXXXXX.

### PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

### SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

### CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

## Conditions of Approval, Compliance, Monitoring, and Reporting

### PERFORMANCE

**Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the Project and/or commence the approved use within this three-year period.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

**Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the Project Sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the Project Sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

**Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

**Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the Project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

**Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

### DESIGN – COMPLIANCE AT PLAN STAGE

**Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department

staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

*For information about compliance, contact the Case Planner, Planning Department at 415-575-9195, [www.sf-planning.org](http://www.sf-planning.org)*

**Street Trees.** Pursuant to Planning Code Section 138.1 (formerly 143), the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that street trees, at a ratio of one street tree of an approved species for every 20 feet of street frontage along public or private streets bounding the Project, with any remaining fraction of 10 feet or more of frontage requiring an extra tree, shall be provided. Therefore, the Project shall provide at least three street trees along Treat Avenue. The street trees shall be evenly spaced along the street frontage except where proposed driveways or other street obstructions do not permit. The exact location, size and species of tree shall be as approved by the Department of Public Works (DPW). In any case in which DPW cannot grant approval for installation of a tree in the public right-of-way, on the basis of inadequate sidewalk width, interference with utilities or other reasons regarding the public welfare, and where installation of such tree on the lot itself is also impractical, the requirements of this Section 428 may be modified or waived by the Zoning Administrator to the extent necessary.

*For information about compliance, contact the Case Planner, Planning Department at 415-575-9195, [www.sf-planning.org](http://www.sf-planning.org)*

## PARKING AND TRAFFIC

**Bicycle Parking.** Pursuant to Planning Code Sections 155.1, 155.4, and 155.5, the Project shall provide no fewer than two Class 1 bicycle parking spaces.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-9195, [www.sf-planning.org](http://www.sf-planning.org)*

**Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-9195, [www.sf-planning.org](http://www.sf-planning.org)*

## PROVISIONS

**Eastern Neighborhoods Infrastructure Impact Fee.** Pursuant to Planning Code Section 423 (formerly 327), the Project Sponsor shall comply with the Eastern Neighborhoods Public Benefit Fund provisions through payment of an Impact Fee pursuant to Article 4.

*For information about compliance, contact the Case Planner, Planning Department at 415-575-9195, [www.sf-planning.org](http://www.sf-planning.org)*

## MONITORING

**Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

**Revocation Due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## OPERATION

**Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>*

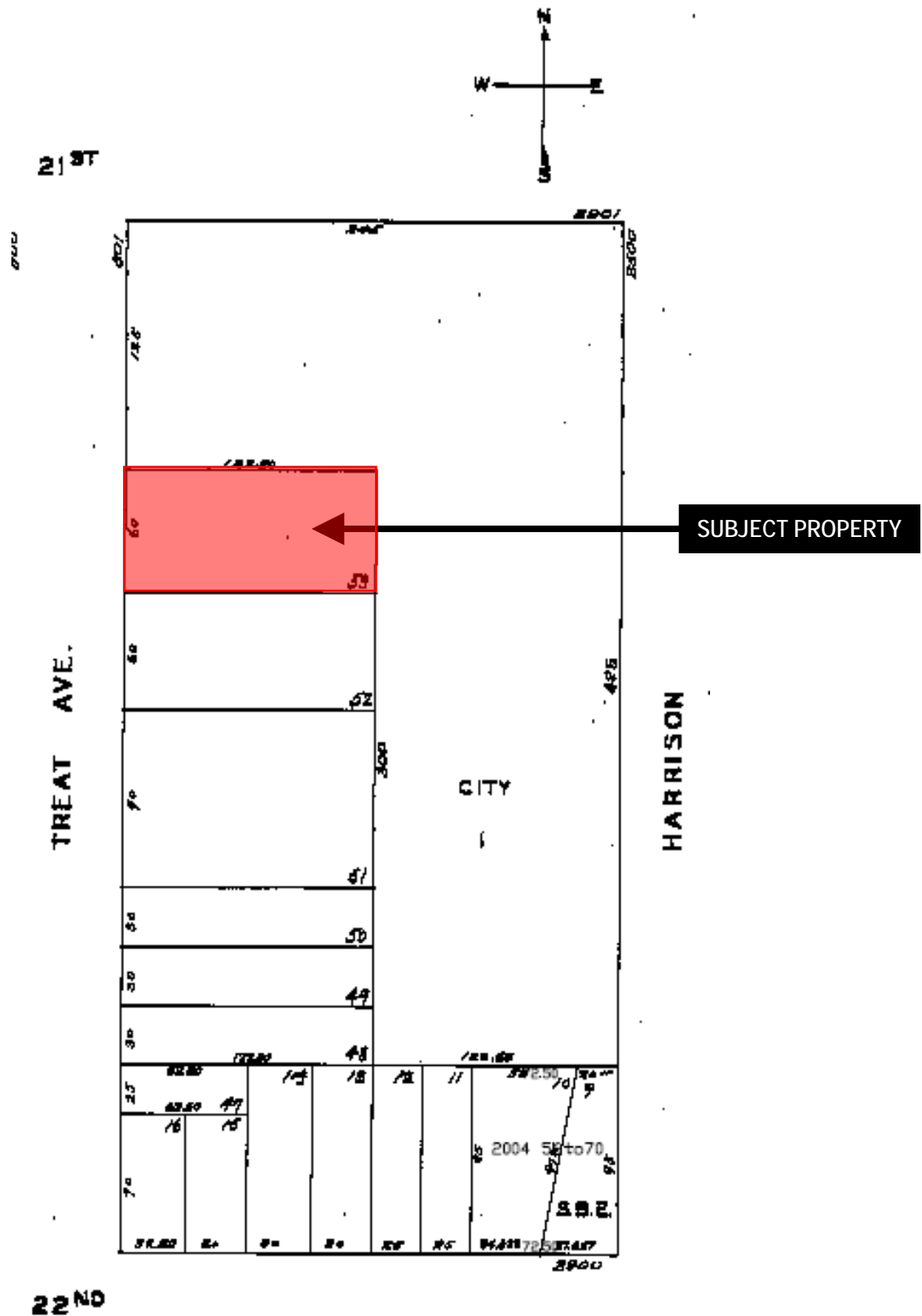
**Community Liaison.** Prior to issuance of a building permit to construct the Project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

**Lighting.** All Project lighting shall be directed onto the Project site and immediately surrounding sidewalk area only, and designed and managed so as not to be a nuisance to adjacent residents. Nighttime lighting shall be the minimum necessary to ensure safety, but shall in no case be directed so as to constitute a nuisance to any surrounding property.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

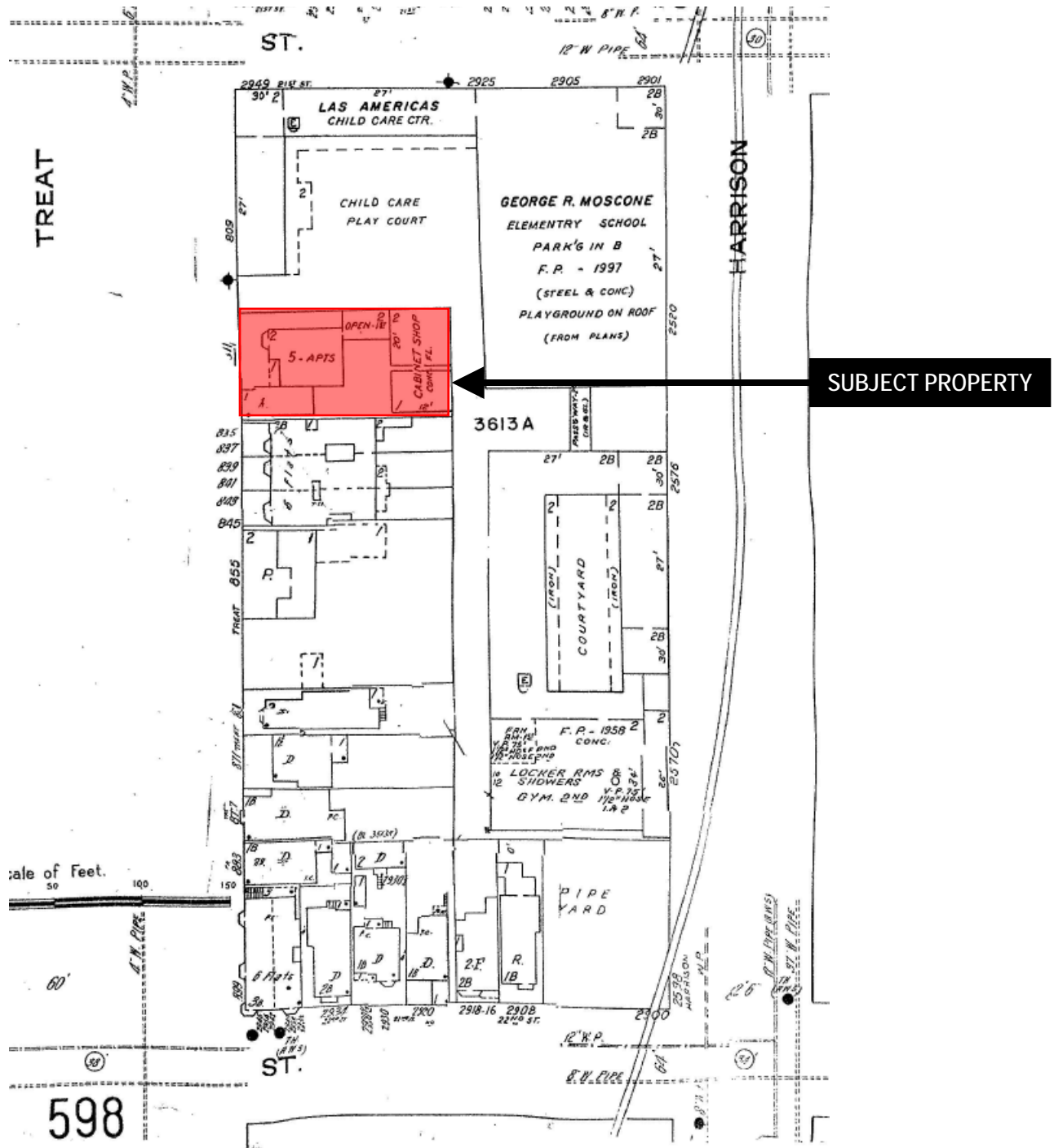
# Parcel Map



Conditional Use & Variance Hearing  
May 7th, 2015  
Case Number 2013.1853CV  
811 Treat Avenue



# Sanborn Map\*



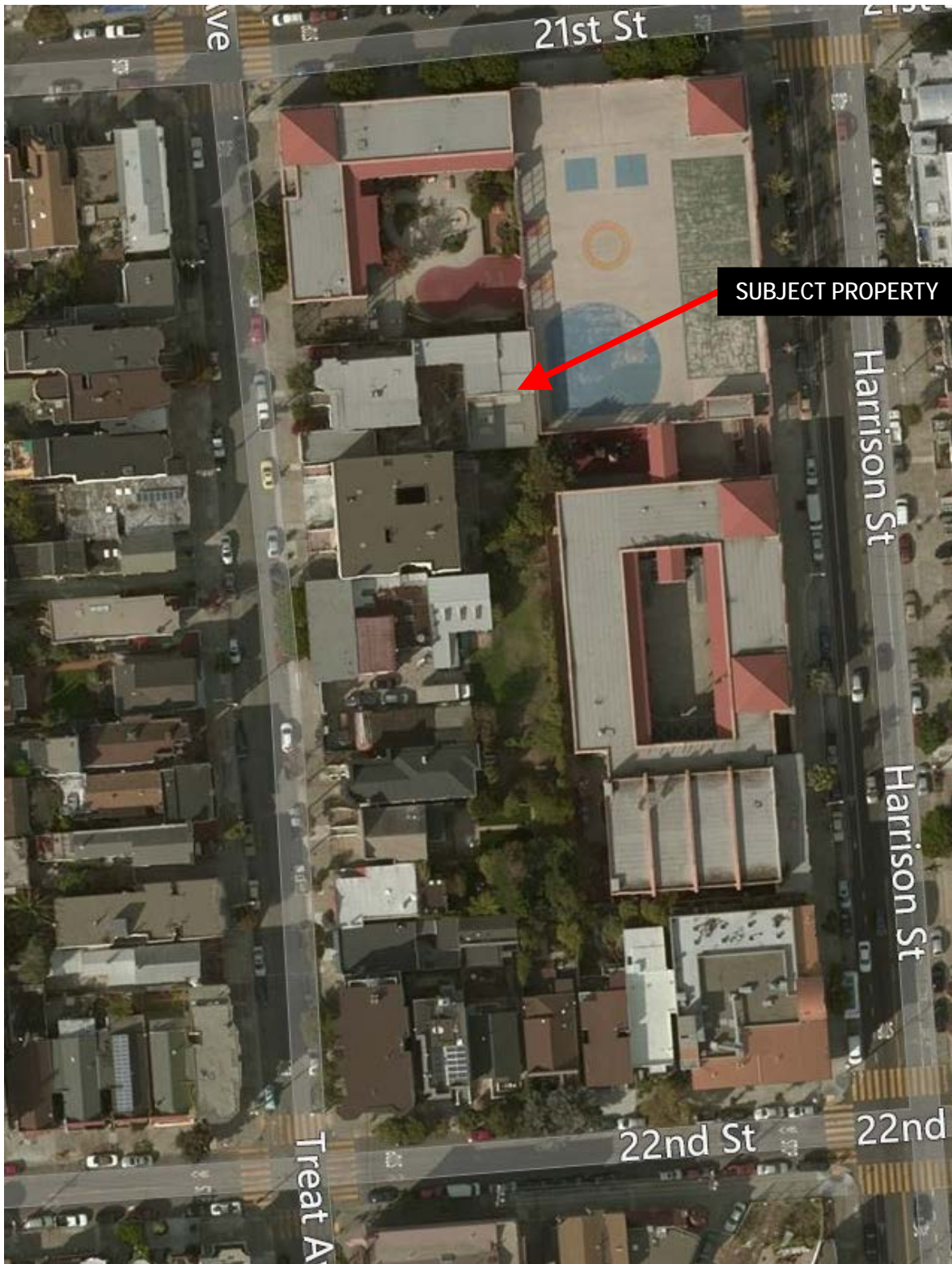
\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Conditional Use & Variance Hearing  
May 7th, 2015  
Case Number 2013.1853CV  
811 Treat Avenue

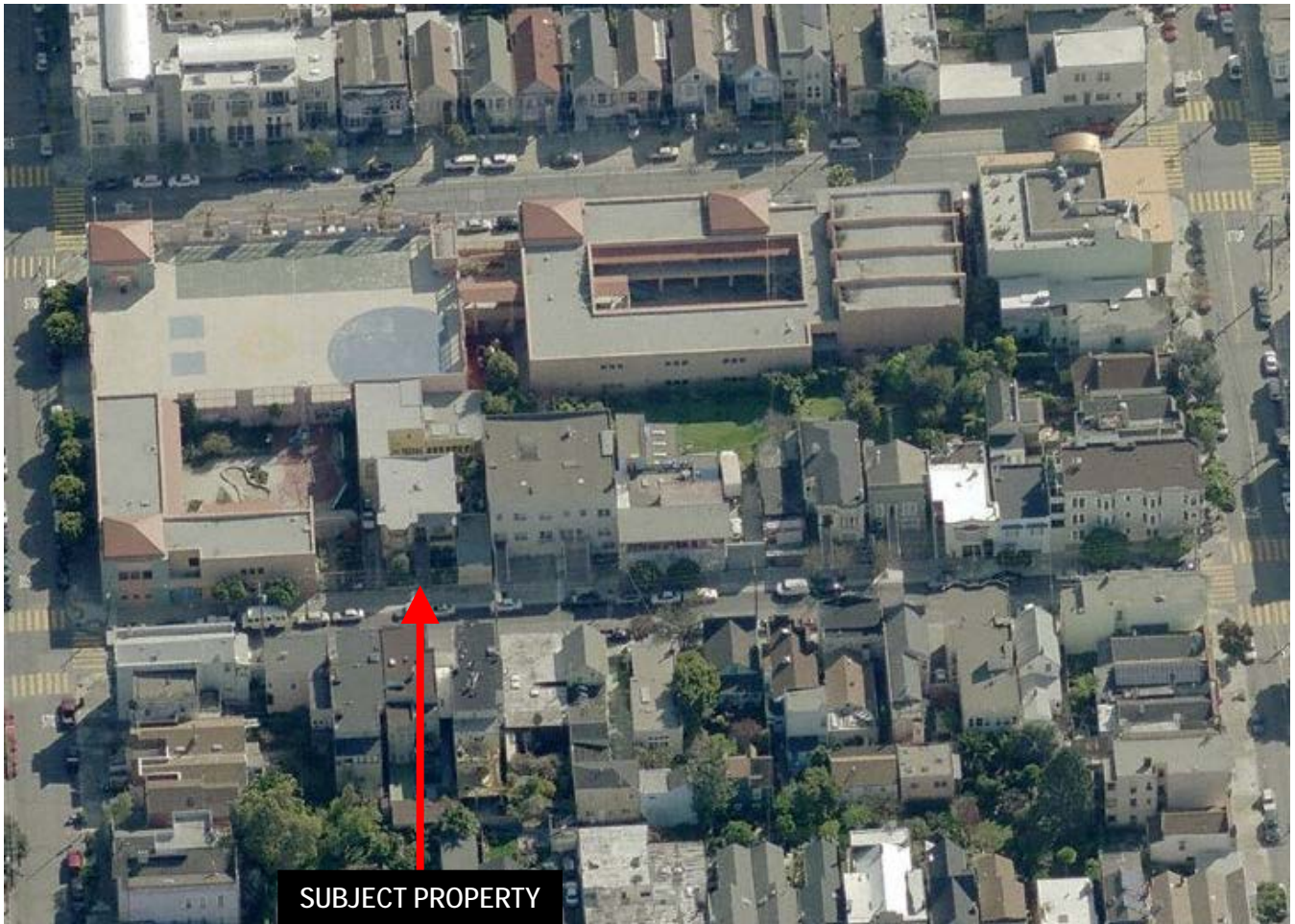


# Aerial Photo



Conditional Use & Variance Hearing  
May 7th, 2015  
Case Number 2013.1853CV  
811 Treat Avenue

# Aerial Photo



SUBJECT PROPERTY





# Zoning Map



Conditional Use & Variance Hearing  
May 7th, 2015  
Case Number 2013.1853CV  
811 Treat Avenue

# Site Photo



Conditional Use & Variance Hearing  
May 7th, 2015  
**Case Number 2013.1853CV**  
811 Treat Avenue



# SAN FRANCISCO PLANNING DEPARTMENT

## CEQA Categorical Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
811 Treat Avenue		3613/053	
Case No.	Permit No.	Plans Dated	
2013.1853CV	Not yet submitted	4/27/15	
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 50 years old)	<input type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval. The Project Sponsor proposes to convert an existing two-story storage building, located at the rear of the property, into a two-dwelling unit residential building (with second floor common deck) involving interior and exterior remodeling. The Project also includes the expansion of an existing two-car tandem garage to accommodate seven new Class 1 bicycle parking spaces, permeable paving at the front yard, three new street trees and the elimination of an existing 10-foot wide curb cut. The existing, two-story, five-dwelling unit building located at the front of the property is not included in the scope of work.			

### STEP 1: EXEMPTION CLASS

#### TO BE COMPLETED BY PROJECT PLANNER

<b>Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.</b>	
<input checked="" type="checkbox"/>	<b>Class 1 – Existing Facilities.</b> Interior and exterior alterations; additions under 10,000 sq. ft.; change of use if principally permitted or with a CU.
<input type="checkbox"/>	<b>Class 3 – New Construction.</b> Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions.
<input type="checkbox"/>	<b>Class</b> _____

### STEP 2: CEQA IMPACTS

#### TO BE COMPLETED BY PROJECT PLANNER

<b>If any box is checked below, an <i>Environmental Evaluation Application</i> is required.</b>	
<input type="checkbox"/>	<b>Transportation:</b> Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	<b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) within an air pollution hot spot? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Hot Spots)
<input type="checkbox"/>	<b>Hazardous Materials:</b> Any project site that is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve soil disturbance of any amount or a change of use from industrial to commercial/residential? If yes, should the applicant present documentation of a completed Maher Application that has been submitted to the San Francisco Department of Public Health (DPH), this box does not need to be checked, but such documentation must be appended to this form. In all other circumstances, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment and/or file a Maher Application with DPH. (refer to EP_ArcMap > Maher layer.)

<input type="checkbox"/>	<b>Soil Disturbance/Modification:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)
<input type="checkbox"/>	<b>Noise:</b> Does the project include new noise-sensitive receptors (schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area? (refer to EP_ArcMap > CEQA Catex Determination Layers > Noise Mitigation Area)
<input type="checkbox"/>	<b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or on a lot with a slope average of 20% or more? (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)
<input type="checkbox"/>	<b>Slope = or &gt; 20%:</b> Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, or grading on a lot with a slope average of 20% or more? <i>Exceptions: do not check box for work performed on a previously developed portion of site, stairs, patio, deck, or fence work. (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Topography)</i> If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
<input type="checkbox"/>	<b>Seismic: Landslide Zone:</b> Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, grading –including excavation and fill on a landslide zone – as identified in the San Francisco General Plan? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work. (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Seismic Hazard Zones)</i> If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
<input type="checkbox"/>	<b>Seismic: Liquefaction Zone:</b> Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1000 sq ft, shoring, underpinning, retaining wall work, or grading on a lot in a liquefaction zone? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work. (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Seismic Hazard Zones)</i> If box is checked, a geotechnical report will likely be required
<input type="checkbox"/>	<b>Serpentine Rock:</b> Does the project involve any excavation on a property containing serpentine rock? <i>Exceptions: do not check box for stairs, patio, deck, retaining walls, or fence work. (refer to EP_ArcMap &gt; CEQA Catex Determination Layers &gt; Serpentine)</i>
If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <u>Environmental Evaluation Application</u> is required.	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.
<b>Comments and Planner Signature (optional):</b> Christopher Townes <small>Checked/Marked by Christopher Townes On: 08/09/2013 10:00:00 AM File: 2013.08.07.002.000.dwg</small> Per review with Preservation Planner, Jonathan Lammers, the Project qualifies for a CEQA Categorical Exemption in that the proposed modifications do not negatively impact the historic resource; The front residential building is not included in the scope of work; Work is not substantially visible from the public right of way.	

### STEP 3: PROPERTY STATUS – HISTORIC RESOURCE TO BE COMPLETED BY PROJECT PLANNER

PROPERTY IS ONE OF THE FOLLOWING: (refer to Parcel Information Map)	
<input checked="" type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input type="checkbox"/>	Category B: Potential Historical Resource (over 50 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 50 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST**  
TO BE COMPLETED BY PROJECT PLANNER

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input checked="" type="checkbox"/>	3. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input checked="" type="checkbox"/>	4. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input checked="" type="checkbox"/>	5. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input checked="" type="checkbox"/>	6. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	8. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input checked="" type="checkbox"/>	9. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project does not conform to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>

**STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW**  
TO BE COMPLETED BY PRESERVATION PLANNER

Check all that apply to the project.	
<input checked="" type="checkbox"/>	1. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. Addition(s), including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .

<input type="checkbox"/>	8. Other work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (specify or add comments):
<input type="checkbox"/>	9. Reclassification of property status to Category C. (Requires approval by Senior Preservation Planner/Preservation Coordinator) a. Per HRER dated: _____ (attach HRER) b. Other (specify):
<b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.</b>	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. <b>GO TO STEP 6.</b>
<input type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. <b>GO TO STEP 6.</b>
Comments (optional):	
Preservation Planner Signature: Tim Frye	

Digitally signed by Tim Frye  
DN: cn=Tim Frye, ou=CityPlanning, o=San Francisco Planning, email=tim.frye@sfgov.org  
Date: 2015.04.30 15:09:42 -07'00'

**STEP 6: CATEGORICAL EXEMPTION DETERMINATION**  
**TO BE COMPLETED BY PROJECT PLANNER**

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 – CEQA Impacts <input type="checkbox"/> Step 5 – Advanced Historical Review <b>STOP! Must file an <i>Environmental Evaluation Application</i>.</b>	
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA.	
	Planner Name:	Signature or Stamp:
	Project Approval Action: Select One *If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	Tim Frye
	Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.	

Digitally signed by Tim Frye  
DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Tim Frye, email=tim.frye@sfgov.org  
Date: 2015.04.30 15:09:42 -07'00'

**STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT**  
**TO BE COMPLETED BY PROJECT PLANNER**

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

**PROPERTY INFORMATION/PROJECT DESCRIPTION**

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
Case No.	Previous Building Permit No.	New Building Permit No.
Plans Dated	Previous Approval Action	New Approval Action
Modified Project Description:		

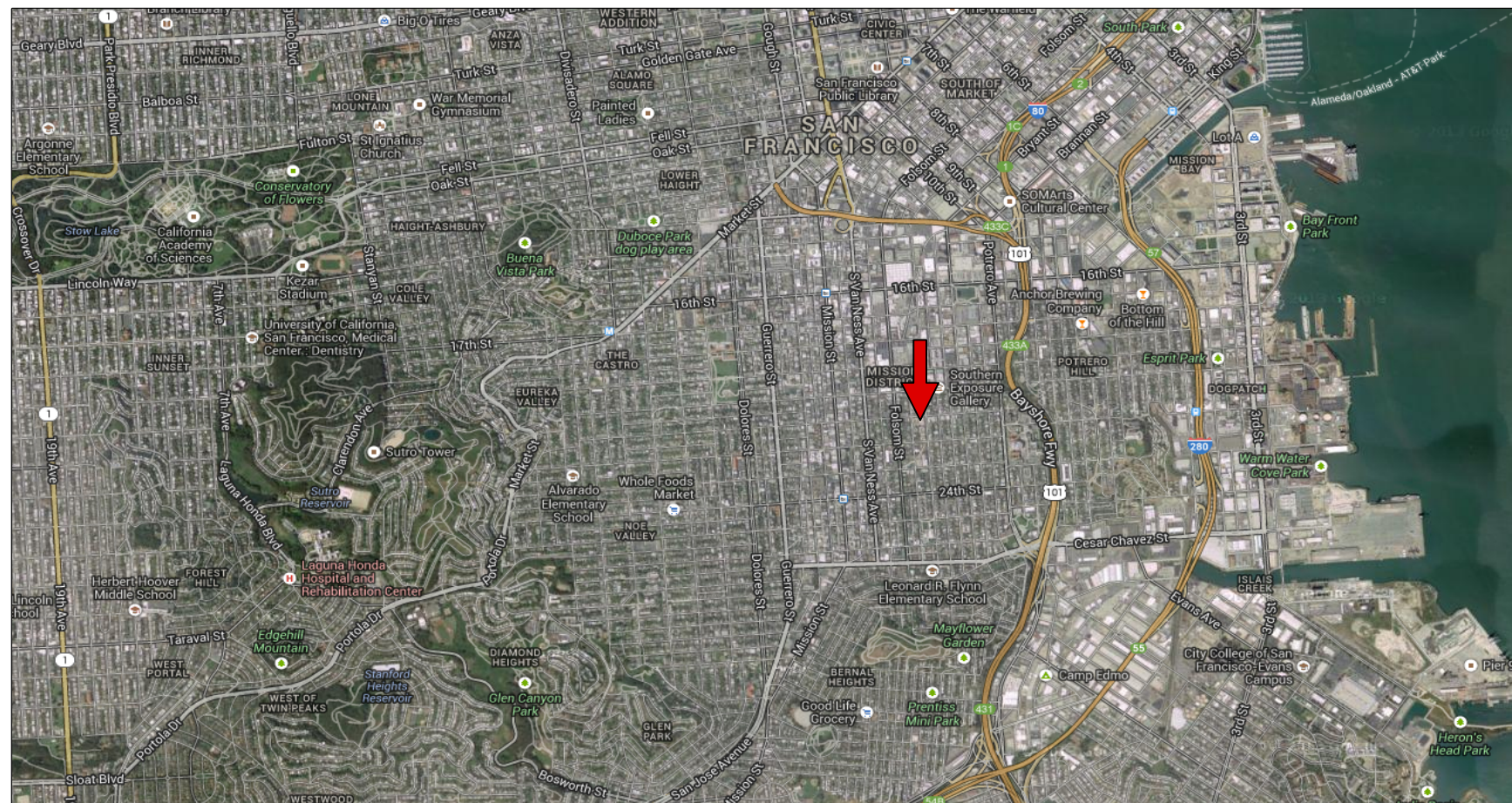
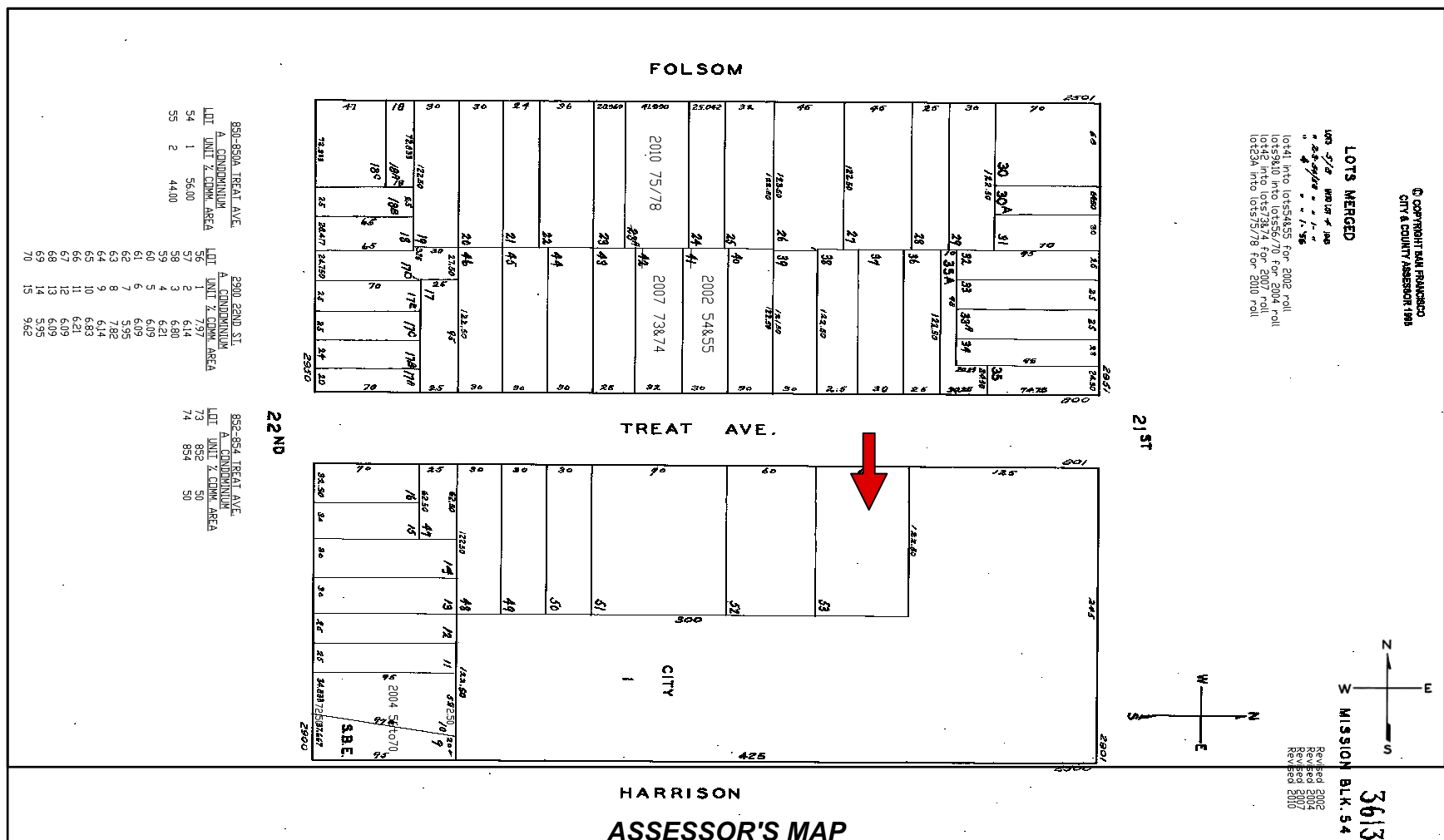
**DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION**

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required <b>CATEX FORM</b>	

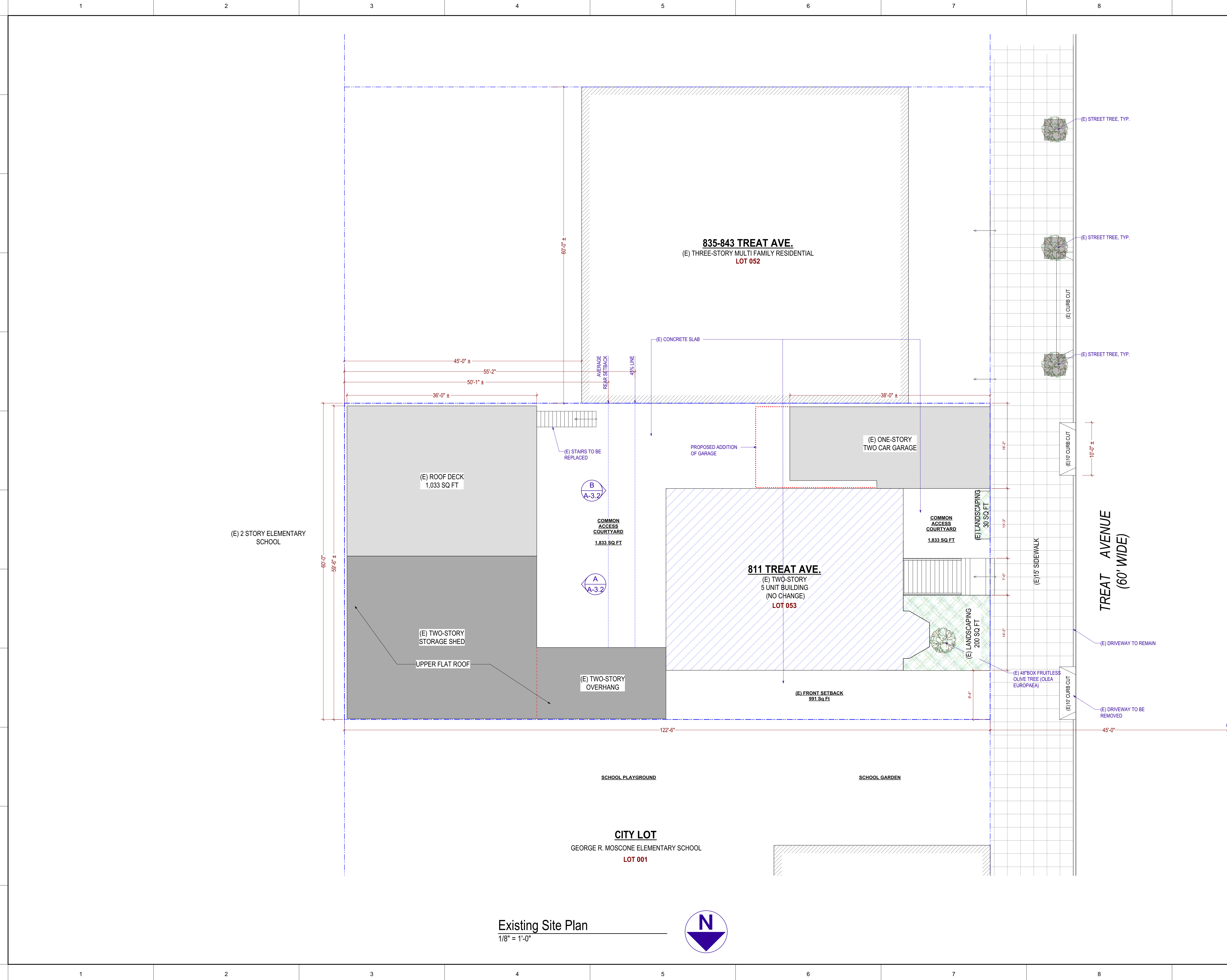
**DETERMINATION OF NO SUBSTANTIAL MODIFICATION**

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:



1	2	3	4	5	6	7	8	9	10
SCOPE OF WORK:  1. PROPOSED HORIZONTAL ADDITION TO EXISTING TWO-CAR GARAGE TO ACCOMODATE 7 CLASS 1 BICYCLE PARKING. 2. CONVERSION OF EXISTING STORAGE SHED AT REAR TO LIVING SPACE TO ACCOMODATE THE ADDITION OF TWO ADDITIONAL DWELLING UNITS (7 TOTAL) 3. EXTERIOR MODIFICATIONS TO EXISTING BUILDINGS 4. ADDITION OF (N) ROOF DECK AT REAR BLDG.  @ 811 TREAT AVE, SAN FRANCISCO, CA								PROJECT NAME	
								811 Treat Avenue SAN FRANCISCO, CA	
GENERAL NOTES:  1. ALL WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL APPLICABLE CODES, LAWS, ORDINANCES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK. ALL CONTRACTORS SHALL HOLD HARMLESS THE ARCHITECT/ENGINEER AND THE OWNER FROM ALL DAMAGES AND/OR PENALTY ARISING OUT OF VIOLATION THEREOF.  2. ALL ATTACHMENTS, CONNECTIONS OR FASTENING OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH THE BEST PRACTICE OF THE BUILDING INDUSTRY. DRAWINGS SHOWS ONLY SPECIAL REQUIREMENTS TO ASSIST THE CONTRACTOR AND DO NOT ILLUSTRATE EVERY DETAIL.  3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, MEASUREMENTS AND CONDITIONS IN THE FIELD BEFORE BEGINNING WORK. ANY DISCREPANCIES, ERROR OR OMISSIONS SHALL BE BROUGHT TO THE ARCHITECT/ENGINEER'S ATTENTION IMMEDIATELY.  4. UNLESS OTHERWISE NOTED, ALL ANGLES SHALL BE RIGHT ANGLES, ALL LINES WHICH APPEAR PARALLEL SHALL BE PARALLEL, AND ALL ITEMS WHICH APPEAR CENTERED SHALL BE CENTERED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL LINES TRUE LEVEL, PLUMB AND SQUARE.  5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND PROTECTION DURING CONSTRUCTION. ALL EXISTING IMPROVEMENTS TO REMAIN SHALL BE PROTECTED. ALL MATERIALS DELIVERED TO THE SITE SHALL BE PROPERLY STORED AND PROTECTED UNTIL INSTALLATION. ALL LUMBER SHALL BE PROTECTED FROM MOISTURE AND STORED ABOVE GROUND.  6. DETAILED AND/OR LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL AND SMALLER SCALE DRAWINGS. FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS SHALL BE VERIFIED.  7. ALL WORK SHALL BE DONE UNDER PERMIT. PLANS AND CALCULATIONS, IF REQUIRED, SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.				PROJECT DATA		ABBREVIATION		Omega Consulting Engineers, LLP 1256 HOWARD STREET SAN FRANCISCO CA 94103 TEL: (415) 922.0200 FAX: (415) 922.0203	
								SHEET TITLE	
DRAWING INDEX:  A-0.1 COVER SHEET  A-1.0 (E) SITE PLAN  A-1.1 (N) SITE PLAN  A-2.0 FIRST FLOOR DEMOLTION PLAN  A-2.1 (E) & (N) FIRST FLOOR PLANS  A-2.2 (E) & (N) SECOND FLOOR PLANS  A-2.3 GARAGE F.P. & WINDOW DETAILS  A-3.0 (N) FRONT ELEVATIONS  A-3.1 RIGHT ELEVATIONS  A-3.2 (N) SECTION A-A & ELEVATIONS  GP-1 GREEN POINT CHECKLIST				LOT AREA: 7,348 S.F. (60'x122.5')		# & @ ABV ACT AD AFF ALUM APPROX ANOD ASPH BD BLDG BLKG BOT BSMT BST BYND CIP CHNL CJ CLG CLO CLR CNTR CMU COL COMPR CONC CONT CORR CPT CT CTR CTYD DBL DEMO DET D.F. DIA DIMS DN DR DWG (E) EA EL ELEC ELEV EQ EXT EXP JT EXT F.D. FEC CABINET FIXT FLR FLUOR FM FND FO F.O.F. FURR GA GALV G.B. GND GRP GWB GYP POUND OR NUMBER AND AT ABOVE ACOUSTIC CEILING TILE AREA DRAIN ABOVE FINISHED FLOOR ALUMINUM APPROXIMATE ANODIZED ASPHALT BOARD BUILDING BLOCKING BOTTOM BASEMENT BOTTOM OF STAIRS BEYOND CAST IN PLACE CHANNEL CONTROL JOINT CEILING CLOSET CLEAR COUNTER CONCRETE MASONRY UNIT COLUMN COMPRESSIBLE CONCRETE CONTINUOUS CORRIDOR CARPET CERAMIC TILE CENTER COURTYARD DOUBLE DEMOLISH DETAIL DRINKING FOUNTAIN DIAMETER DIMENSIONS DOWN DOOR DRAWING EXISTING EACH ELEVATION ELECTRICAL ELEVATOR/ELEVATION EQUAL EXTERIOR EXPANSION JOINT EXTERIOR FLOOR DRAIN FIRE EXTINGUISHER  FIXTURE FLOOR FLUORESCENT FILLED METAL FOUNDATION FACE OF FACE OF FININSH FURRING GAUGE GALVANIZED GRAB BAR GROUND GROUP GYPSUM WALL BOARD GYPSUM		HANDICAPPED HIGH HOLLOW METAL HIGH POINT HOUR HEATING, VENTILATING, AND AIR CONDITIONING IMPACT RESISTANT GYPSUM WALLBOARD IN LIEU OF INSULATED INTERIOR LOW MAXIMUM MECHANICAL MEMBRANE MINIMUM MASONRY OPENING METAL NEW NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE ON CENTER OFFICE OPPOSITE HAND OUNCE PRE-CAST CONCRETE PROPERTY LINE PLUMBING PLYWOOD PRESSURE TREATED PAINT/PAINTED POLYVINYL CHLORIDE RUBBER REFLECTED CEILING PLAN ROOF DRAIN REDWOOD REQUIRED ROOM SQUARE FOOT SIMILAR SPECIFIED OR SPECIFICATION SPRINKLER STAINLESS STEEL SOUND TRANSMISSION COEFFICIENT STANDARD STEEL STRUCTURAL SQUARE TONGUE AND GROOVE TOP OF CURB TELEPHONE TOILET TOP OF TOP OF CONCRETE TOP OF STEEL TOILET PAPER DISPENSER TELEPHONE/DATA TOP OF STAIRS TYPICAL UNLESS NOTED OTHERWISE UNDERSIDE VERIFY IN FIELD VISION PANEL WITH WOOD WATER HEATER	
				YEAR BUILT (FRONT & BACK BLDGS): 1892					
				(E) NUMBER OF UNITS: 5					
				(N) NUMBER OF UNITS: 7 (2 NEW UNITS@ REAR BLDG)					
				(N) BICYCLE PARKING (CLASS 1): 7 TOTAL					
				NUMBER OF STORIES (REAR BUILDING): 2 (NO CHANGE)					
				(E) BUILDING HEIGHT (REAR BUILDING): 25'-4" ±MAX HT (NO CHANGE)					
				HEIGHT/BULK LIMIT: 40-x					
				OCCUPANCY GROUP: R-2					
				ZONING: RH-3					
				TYPE OF CONSTRUCTION: V-B					
				BLOCK AND LOT : 3613-053					
				APPLICABLE CODES: 2013 CALIFORNIA CODE EDITIONS W/ SAN FRANCISCO AMENDMENTS					
PARKING SUMMARY TABLE		(E)	PROPOSED TO BE ADDED						
COVERED PARKING (WITHIN (E) GARAGE))		2	0						
COVERED BICYCLE PARKING (WITHIN (E) GARAGE)		0	7						
TOTAL		2	7						
GROSS FLOOR AREA SUMMARY* *PER SF PLANNING CODE § 102.9									
FRONT BLDG		1,590 Sq Ft	1,590 Sq Ft						
REAR BLDG		3,085 Sq Ft	2,959 Sq Ft						
GARAGE BLDG		565 Sq Ft	637 Sq Ft						
TOTAL		5,240Sq Ft	5,680 Sq Ft						
USABLE OPEN SPACE SUMMARY									
FRONT YARD/DECK (COMMON)				1,096 Sq Ft					
CENTRAL COURTYARD (COMMON)				1,750+/- Sq Ft					
REAR BUILDING ROOF DECK (COMMON)				870 Sq Ft					
REQUIRED REAR YARD: 7,348x45%=3,306 Sq Ft		TOTAL:		3,714 Sq Ft					
1	2	3	4	5	6	7	8	9	10





PROJECT NAME

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SHEET TITLE

(E)  
Site / Roof Plan

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NO.	DATE	DESCRIPTION

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JOB NO.	13-001

SHEET NO.

A-1.1

PROJECT NAME

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(N)  
Site / Roof Plan

BLOCK & LOT: 3613-053

PROPERTY LINE:  
OUTLINE OF SUBJECT BUILDING:  
OUTLINE OF NEIGHBORS BUILDING:

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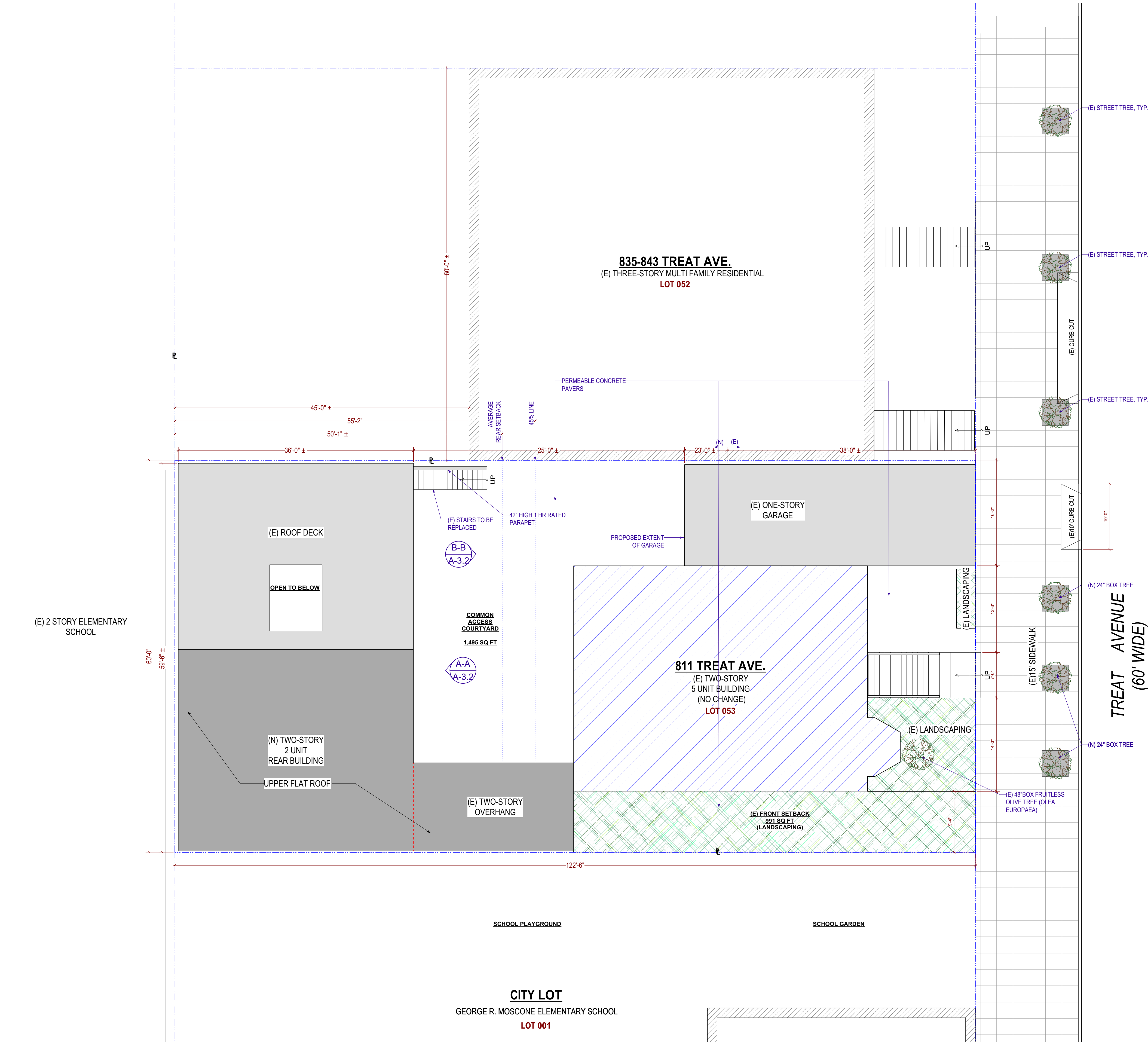
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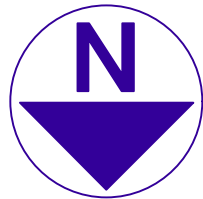
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SHEET NO.

A-1.2



Proposed Site Plan  
1/8" = 1'-0"





	PROPERTY LINE
	(E) WALL TO BE REMAIN
	(E) WALL TO BE REMAIN
	(N) WALL TO BE CONSTRUCTED
	(N) WALL TO BE 1-HR FIRE RATED, SEE DETAIL C-1 & 2/A4.0

ELECTRICAL NOTES:

ELECTRICAL SUBPANEL(S) ON FLOOR PLAN(S). PANELS SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIAL(S) SUCH AS CLOTHES CLOSETS. PANELS IN FIREWALL SHALL BE RELOCATED OR PROPERLY PROTECTED TO MAINTAIN FIREWALL SEPARATION.

GFCI PROTECTED OUTLETS AT THE FOLLOWING LOCATIONS.

- (A)GARAGE
- (B)UNFINISHED BASEMENT, CRAWL AND STORAGE SPACES.
- (C)WITHIN 6' OF SINK OR BASIN
- (D)EXTERIOR (WATERPROOF)

RECEPTABLE OUTLETS AT THE FOLLOWING LOCATIONS.

- (A)12' O.C. MAX. AND WITHIN 6' OF THE END OF WALLS.
- (B)ANY WALL SPACE 2 OR MORE FEET WIDE.
- (C)AT EACH KITCHEN AND DINING AREA COUNTER SPACE WIDER THAN 12'. SO THAT NO POINT IN ANY HALLWAY 10 FEET OR MORE IN LENGTH.

LIGHT FIXTURE IN TUB OR SHOWER ENCLOSURES AND EXTERIOR LIGHT FIXTURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS"

APPLIANCES FASTENED IN PLACE, SUCH AS DISHWASHERS, GARBAGE DISPOSALS, TRASH COMPACTORS, MICROWAVE OVENS, ETC., SHALL BE SUPPLIED BY A SEPARATE BRANCH CIRCUIT RATED FOR THE APPLIANCE OR LOAD SERVED.

RECEPTACLES FOR FIXED APPLIANCES SHALL BE ACCESSIBLE, NOT BEHIND APPLIANCE.

A CIRCUIT SUITABLE FOR THE LOAD WITH A MINIMUM OF 30 AMPERES IS REQUIRED FOR AN ELECTRIC CLOTHES DRYER.

LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATION(S)."

PROVIDE ARC-FAULT INTERRUPTED OUTLETS IN BEDROOMS.

NEW SMOKE DETECTORS TO BE INNER CONNECTED SO IF ONE DETECTOR ACTIVATES ALL UNITS SOUND ALARM.

ENERGY NOTES:

MIN. 50% OF KITCHEN LIGHTING WATTAGE SHALL BE FLUORESCENT. INCANDESCENT LIGHTING SHALL BE CONTROLLED BY A SEPARATE SWITCH (CNC 150(K) 2).

PROVIDE FLUORESCENT FIXTURES FOR BATHROOMS, LAUNDRY, UTILITY ROOMS AND GARAGES, OR PROVIDE A MANUAL ON / OCCUPANCY SENSOR CONTROL FOR ALL INCANDESCENT FIXTURES ( DIMMERS DO NOT QUALIFY) ( CNC 150 (K) 3).

PROVIDE FLUORESCENT FIXTURES FOR ALL ROOMS, INCLUDING CLOSETS 70 SQ. FT. OR MORE ( OTHER THAN KITCHEN, BATHROOM, LAUNDRY, UTILITY ROOM AND GARAGES), OR PROVIDE OCCUPANCY SENSORS OR DIMMERS (CNC 150 (K) 4).

ALL RECESSED LIGHTING FIXTURES INSULATED IN INSULATED CEILINGS SHALL BE INSULATION COVER (I.C.) AND AT (AIR TIGHT) RATED (CNC 150(K) 5).

FIREPLACES, DECORATIVE GAS APPLIANCES AND GAS LOGS: INSTALLATION OF FACTORY-BUILT AND MASONRY FIREPLACES SHALL INCLUDE:

- (A) CLOSABLE METAL OR GLASS DOORS.
- (B) COMBUSTION AIR INTAKE (6 SQ. IN. MINIMUM) TO DRAW AIR FROM OUTSIDE OF THE BUILDING DIRECTLY INTO FIRE BOX. THE COMBUSTION AIR INTAKE MUST BE EQUIPPED WITH A READILY ACCESSIBLE, OPERABLE AND LIGHT-FITTING DAMPER OR COMBUSTION AIR CONTROL DEVICE. EXCEPTION: AN OUTSIDE COMBUSTION AIR INTAKE IS NOT REQUIRED IF THE FIREPLACE IS INSTALLED OVER CONCRETE SLAB FLOORING AND THE FIREPLACE IS NOT LOCATED ON AN EXTERIOR WALL.
- (C) A FLUE DAMPER WITH AN READILY ACCESSIBLE CONTROL. EXCEPTION: WHEN A GAS LOG, LOG LIGHTER, OR DECORATIVE GAS APPLIANCE IS INSTALLED IN A FIREPLACE, THE FLUE DAMPER SHALL BE BLOCKED OPEN IF REQUIRED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS OR THE STATE MECHANICAL CODE.

PLUMBING AND MECHANICAL NOTES:

AIR DUCTS SHALL BE NO.26 GA. GALVANIZED SHEET METAL OR A FIRE DAMPER PROVIDED WHEN THE DUCTS PENETRATE THE OCCUPANCY SEPARATION BETWEEN THE GARAGE AND THE HOUSE.

SMOOTH METAL DUCT FOR DRYER EXHAUST EXTENDING TO OUTSIDE.

NON-REMOVABLE BACKFLOW PREVENTION DEVICES ON ALL EXTERIOR HOSE BIBS.

SIZE OF WATER CLOSETS. MAXIMUM ALLOWABLE 1.6 GALLONS PER FLUSH.

SHOWER & TUB/SHOWERS SHALL BE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS. HANDLE POSITION STOPS SHALL BE PROVIDED ON SUCH VALVES AND SHALL BE ADJUSTED PER MANUFACTURER'S INSTRUCTIONS TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120 DEGREES F. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A SUITABLE CONTROL FOR MEETING THIS PROVISION, (CPC 415.5)

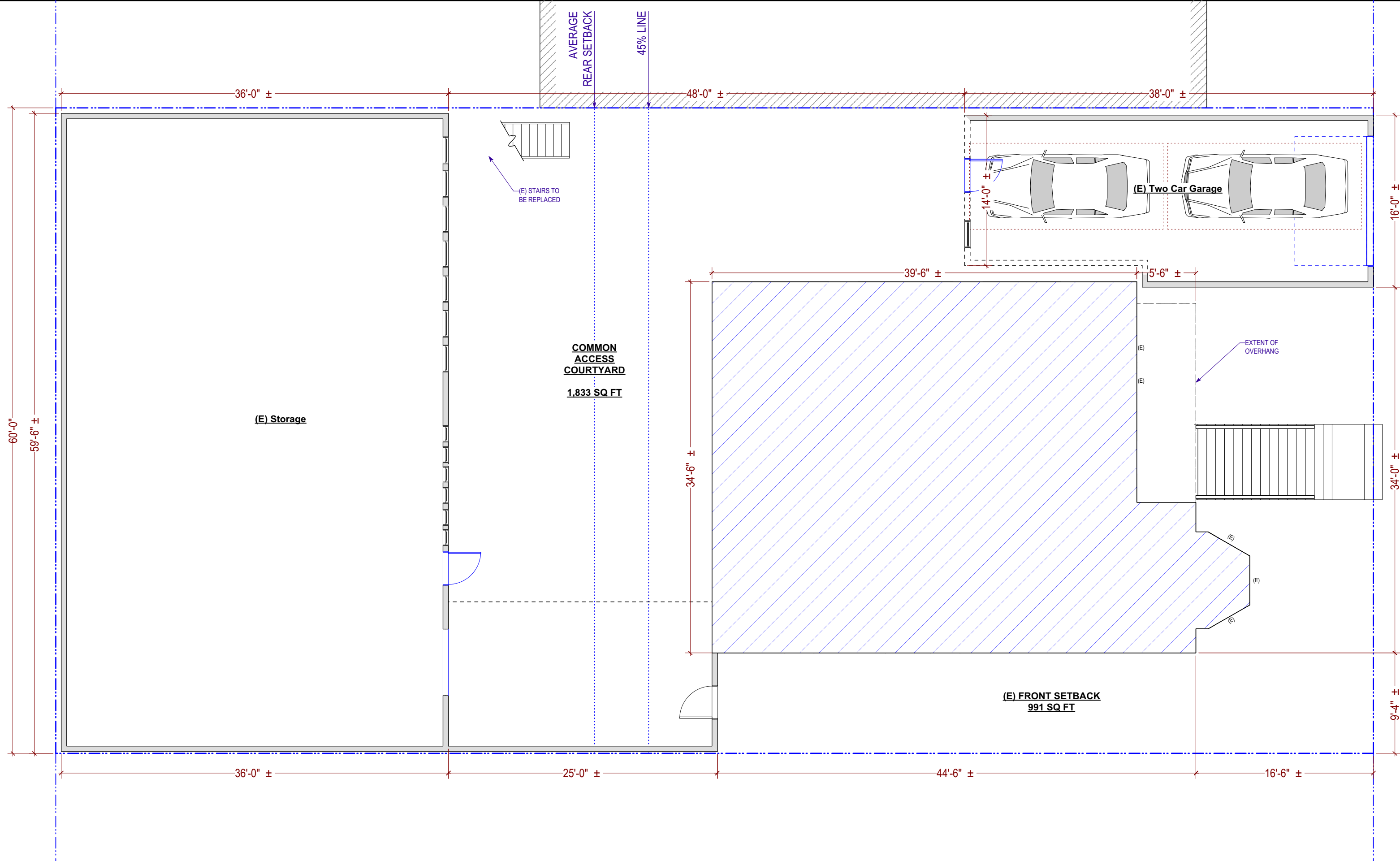
DOORS & PANELS OF SHOWERS AND BATHTUBS ENCLOSURES AND ADJACENT WALL OPENINGS WITHIN 60" ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED. LAMINATED SAFETY GLASS OR APPROVED PLASTIC.

TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL.

SANITATION NOTES:

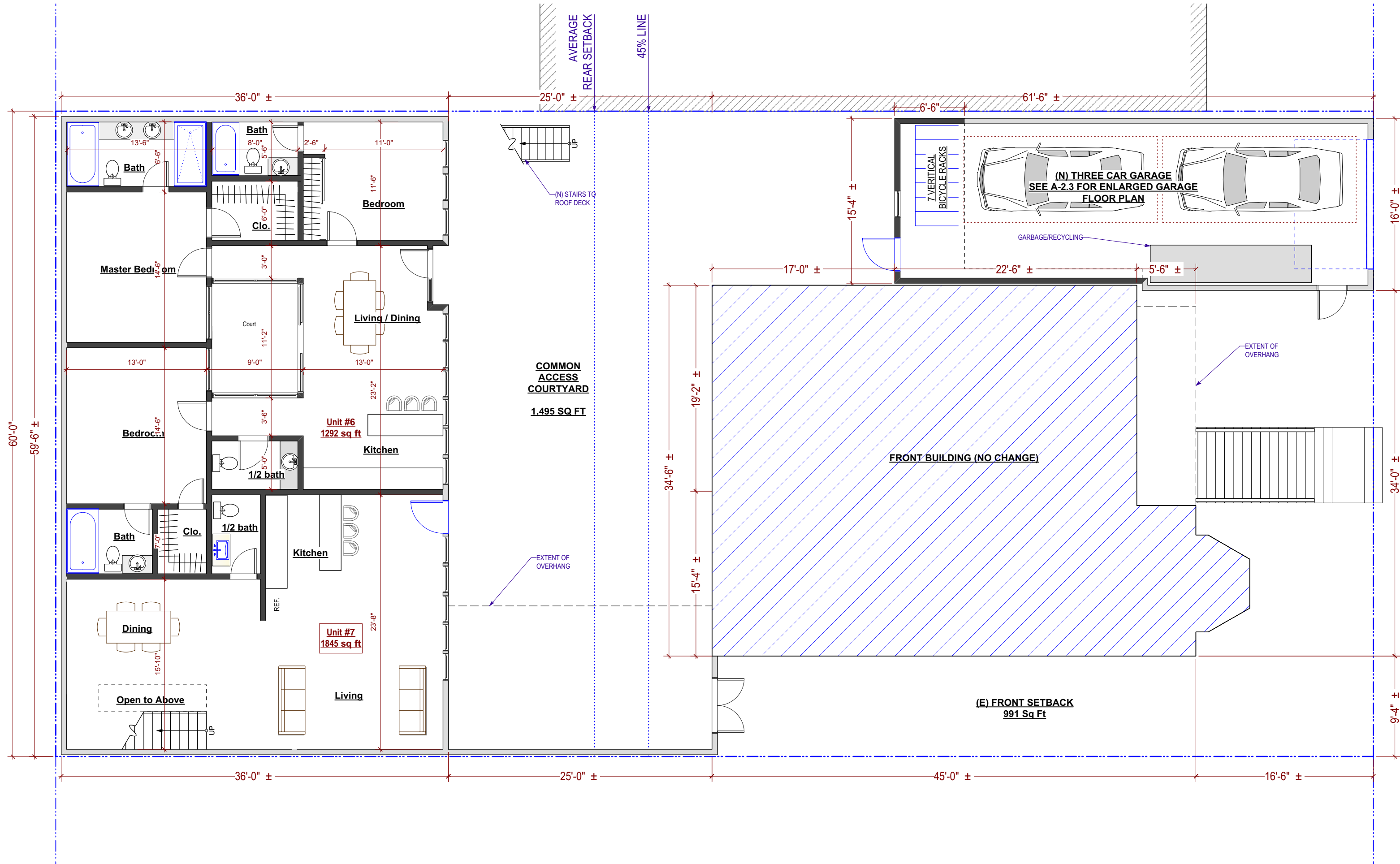
SHOWER STALL FINISH SHALL BE CERAMIC TILE EXTENDING 70 INCHES ABOVE THE DRAIN INLET

MOISTURE RESISTANT UNDERLAYMENT (e.g. WATER RESISTANT GYP. BD.) TO A HEIGHT OF 70 INCHES ABOVE THE DRAIN INLET (CBC 1210.3)



Existing First Floor Plan/ Demolition Plan

1/8" = 1'-0"



Proposed First Floor Plan

1/8" = 1'-0"

PROJECT NAME

811 Treat Avenue  
SAN FRANCISCO, CA

Omega Consulting Engineers, LLP  
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SAN FRANCISCO CA 94103  
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SHEET TITLE

Exiting & Proposed  
First Floor Plans

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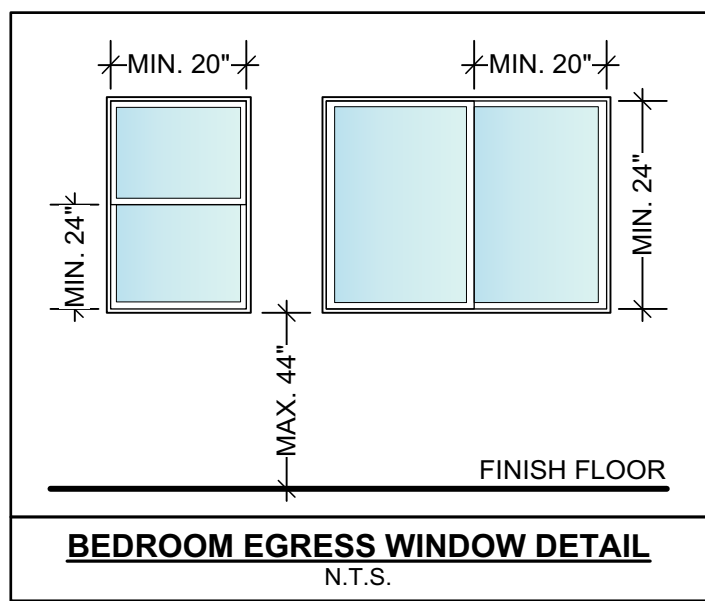
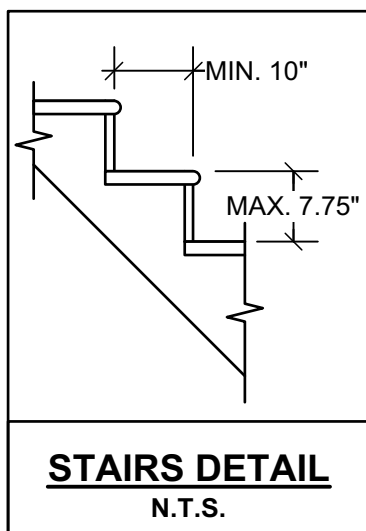
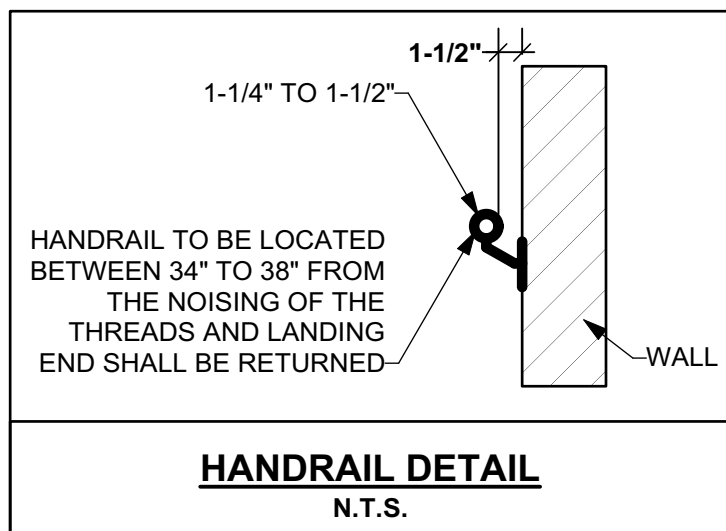
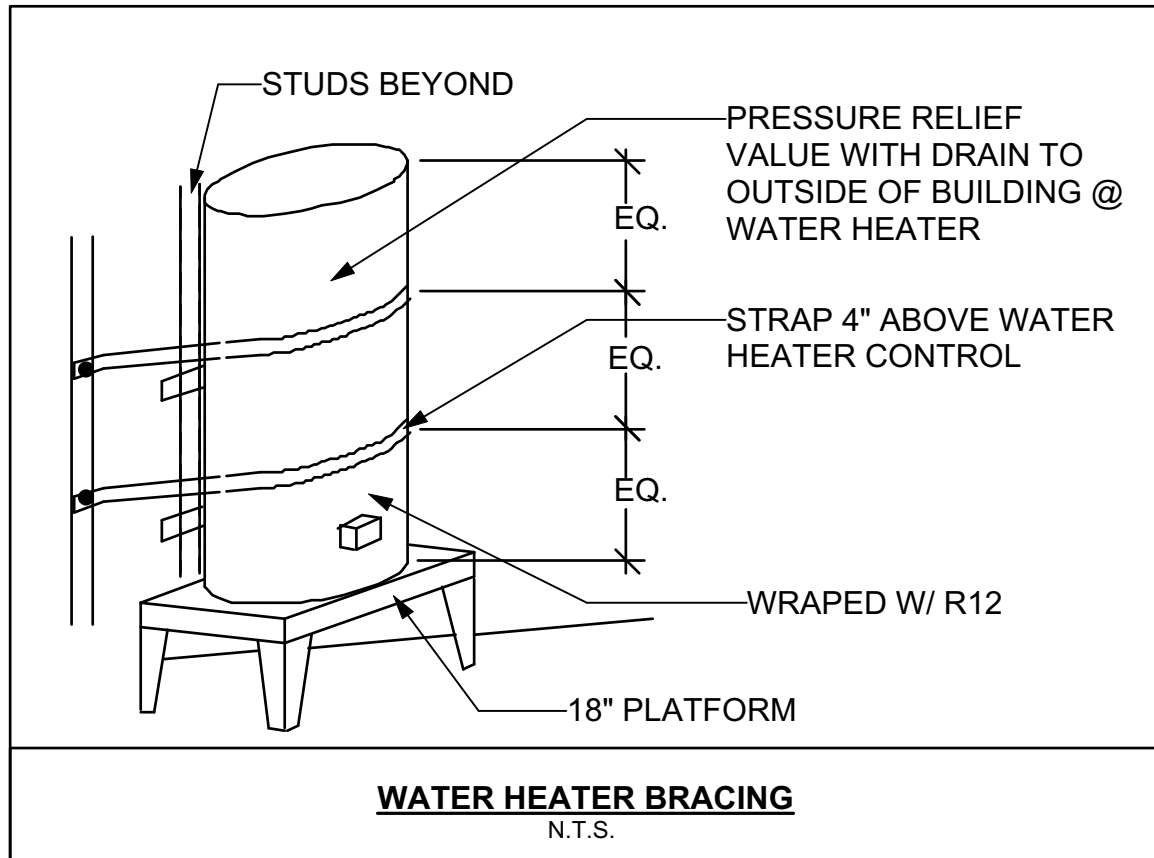
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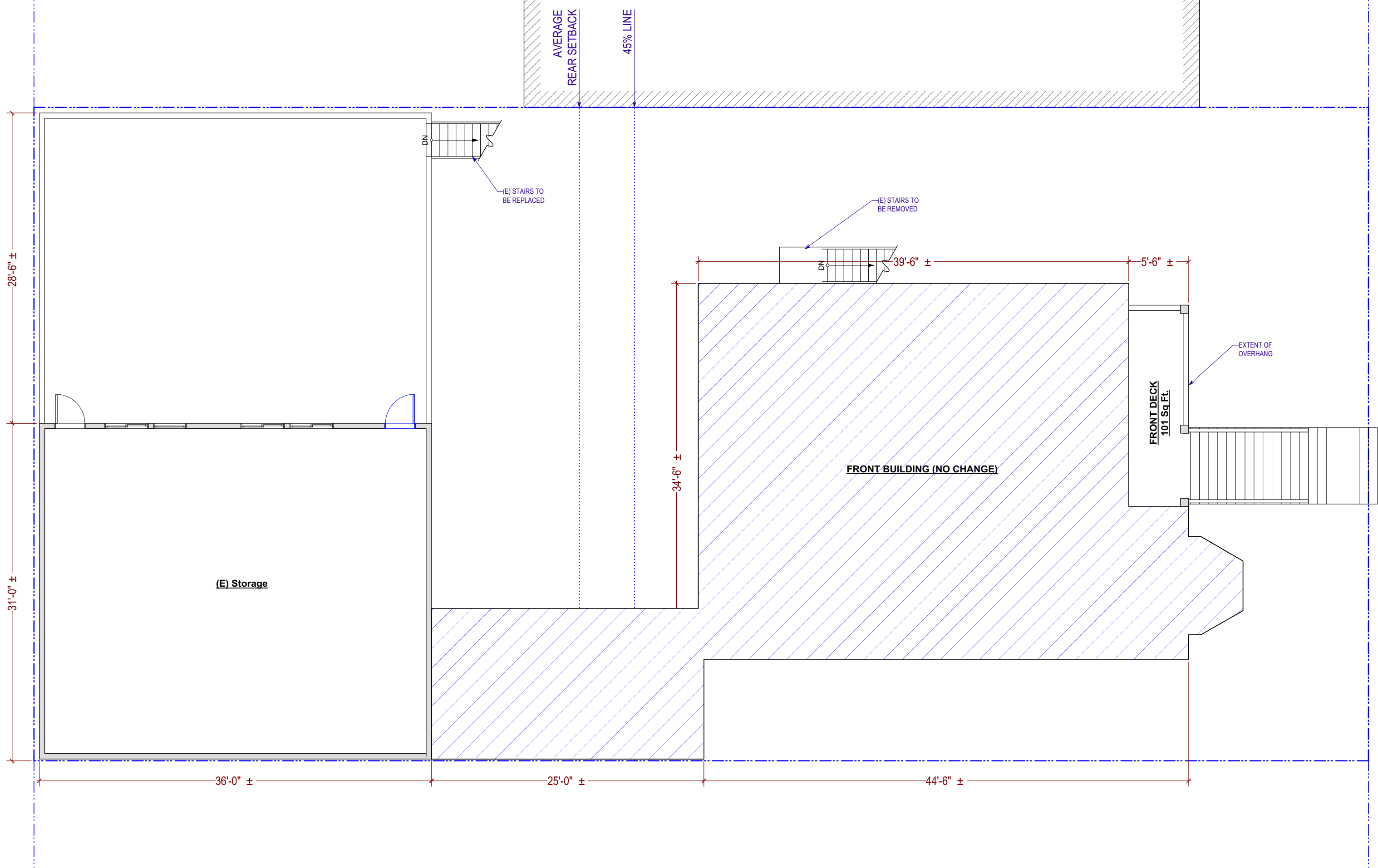
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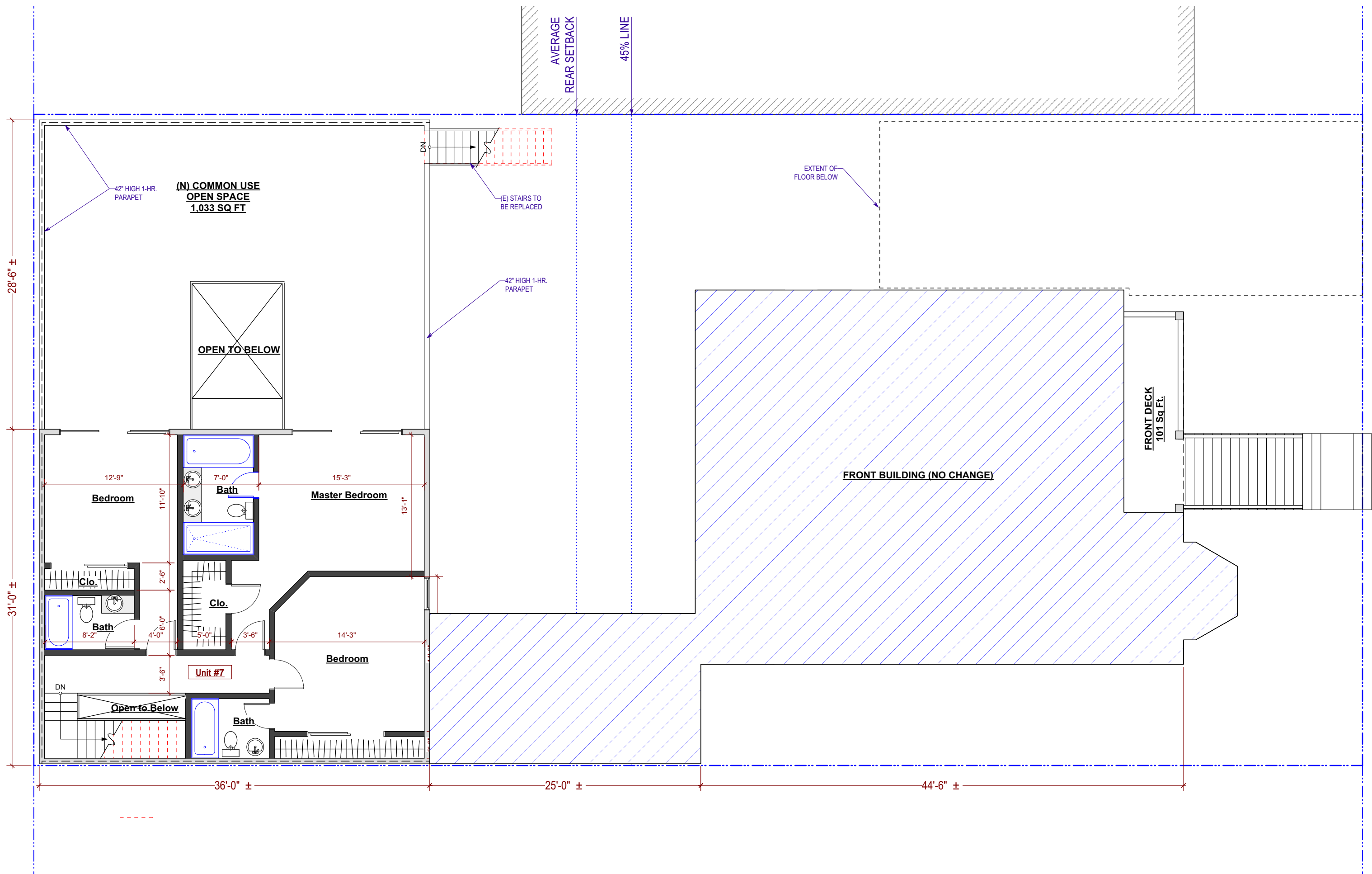
**BEDROOM NOTES:**  
**RESCUE WINDOW:** EMERGENCY EGRESS WINDOWS SHALL HAVE A MIN. CLEAR OPENING AREA OF 5.7 SQ. FT., MIN. CLEAR WIDTH OF 20"; MIN. CLEAR HEIGHT OF 24"; AND MAX. HEIGHT FROM FINISHED FLOOR TO BOTTOM OF OPENING OF 44"

**BATHROOM NOTES:**  
**EXHAUST FANS** ARE CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR.  
**EXHAUST VENTS** W/ BACK DRAFT DAMPER SHALL TERMINATE MIN. 3 FEET FROM ANY PROPERTY LINE & BUILDING OPENINGS.  
**BRANCH CIRCUITS:** A 20A CIRCUIT IS REQUIRED TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPT. LIGHTS, FANS, ETC.

**NOTES:**  
1. SMOKE DETECTORS SHALL BE IN ALL BEDROOMS AND AREAS LEADING TO THEM.  
2. ENVIRONMENTAL AIR DUCT EXHAUST W/ BACK DRAFT DAMPER SHALL TERMINATE 3 FEET MIN. FROM PROPERTY LINE & BUILDING OPENING.  
3. VENTING SYSTEMS SHALL TERMINATE NOT LESS THAN 4 FEET BELOW OR 4 FEET HORIZONTALLY FROM, AND NOT LESS THAN ONE FOOT ABOVE A DOOR, AN OPENABLE WINDOW OR A GRAVITY AIR INLET INTO A BUILDING. VENTING SYSTEMS SHALL TERMINATE AT LEAST 3 FEET ABOVE AN OUTSIDE - OR MAKE UP - AIR INLET LOCATED WITHIN 10 FEET AND AT LEAST 4 FEET FROM A PROPERTY LINE, EXCEPT A PUBLIC WAY.



Existing Second Floor Plan/ Demolition Plan  
1/8" = 1'-0"



Proposed Second Floor Plan  
1/8" = 1'-0"

PROJECT NAME  
**811 Treat Avenue**  
**SAN FRANCISCO, CA**

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## Exiting & Proposed Second Floor Plans

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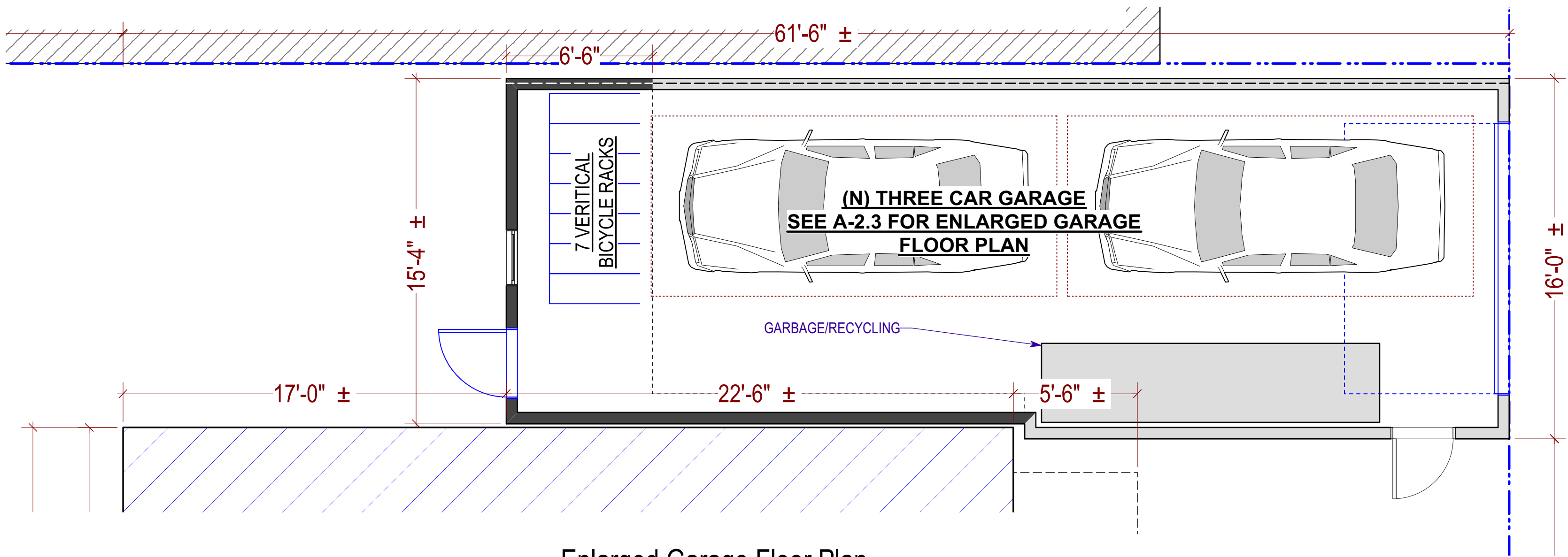
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SHEET NO.
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A-2.2





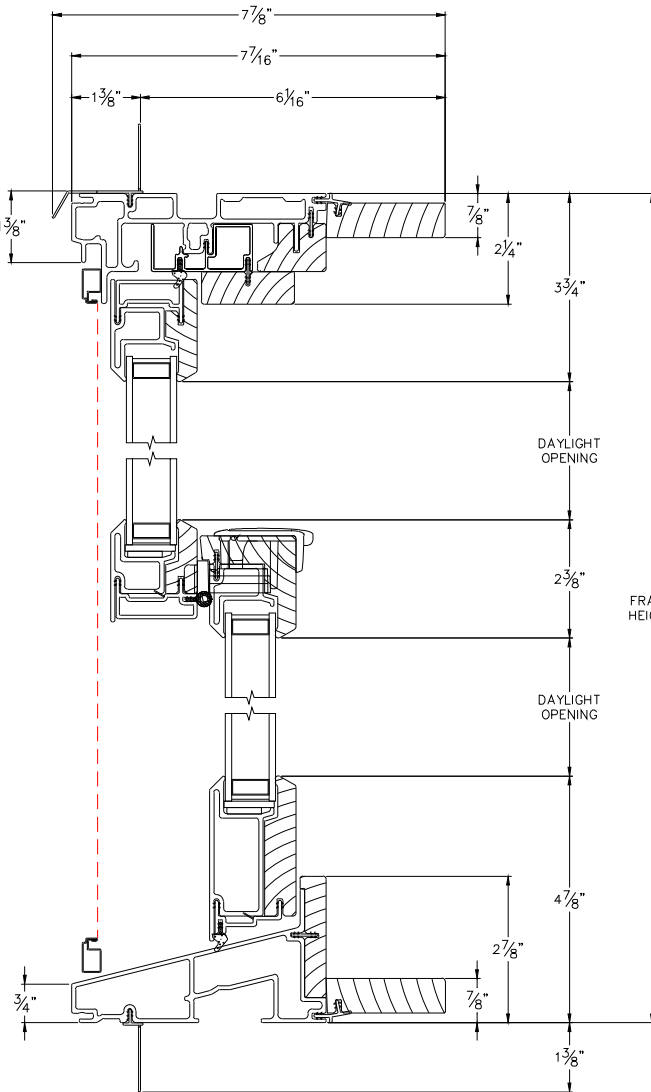
Enlarged Garage Floor Plan  
1/4" = 1'-0"

**Cross Section Drawing**  
Essence Double Hung Window  
1 3/8" Fin Setback, 6 1/16" Wall Condition

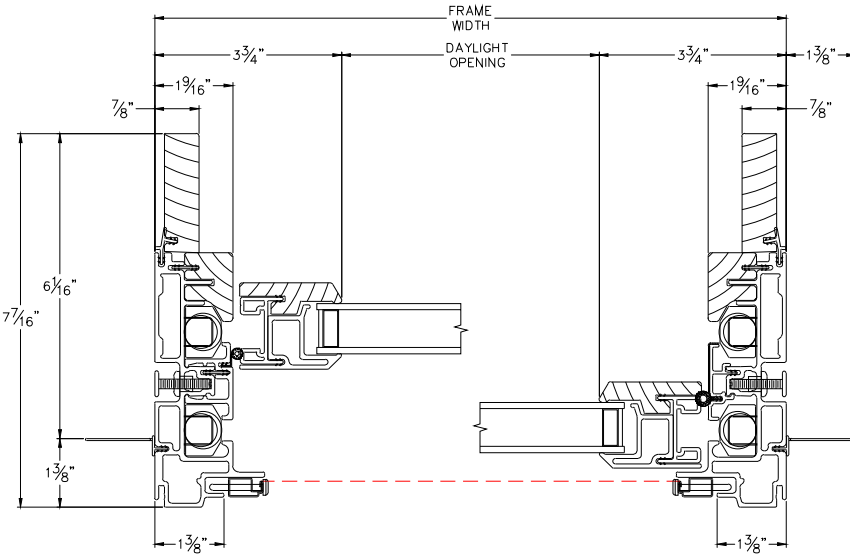
CAD File Scale	View	File Name	Units
NTS	Horizontal & Vertical	9200-01E-04 DH	Inch

More Technical Documents can be found at [milgard.com/professionals](http://milgard.com/professionals)  
Due to continual research and development, details may be changed at any time. ©2013 Milgard Mfg.

**DOUBLE HUNG  
SERIES 9200**

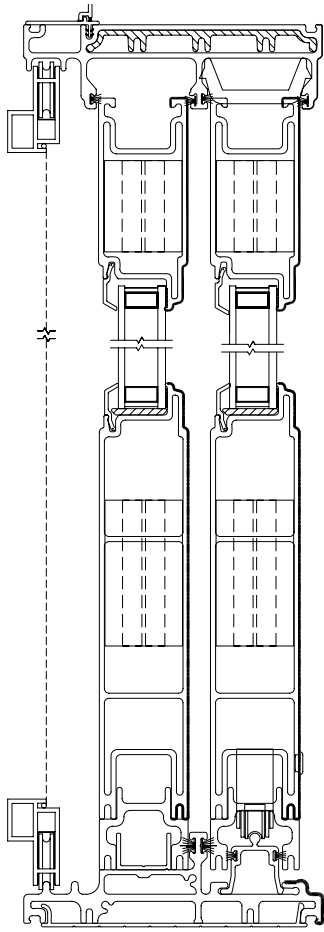
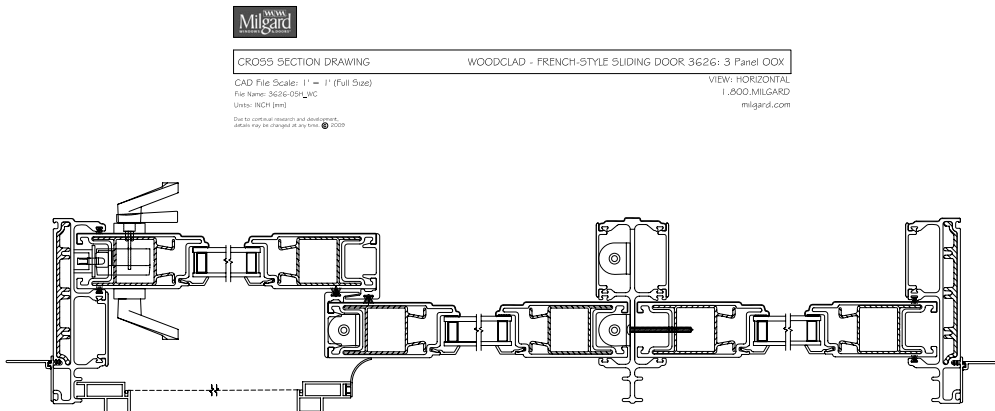


HEAD & SILL

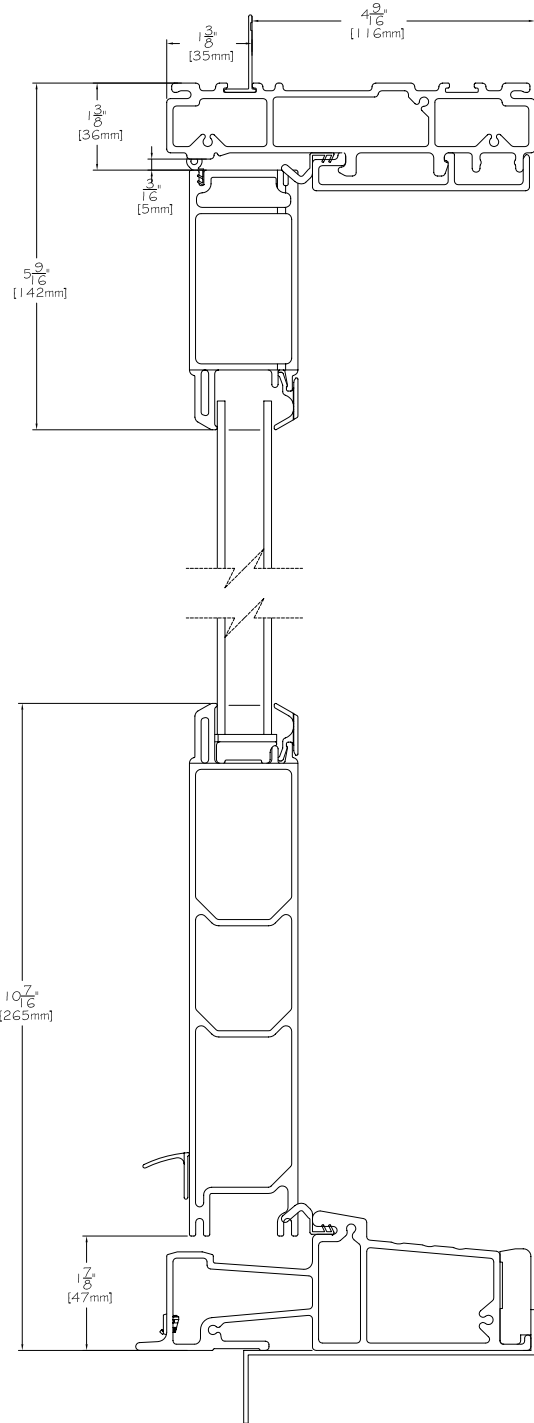
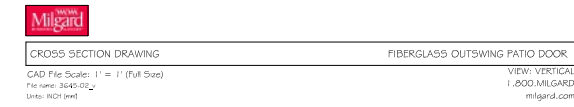


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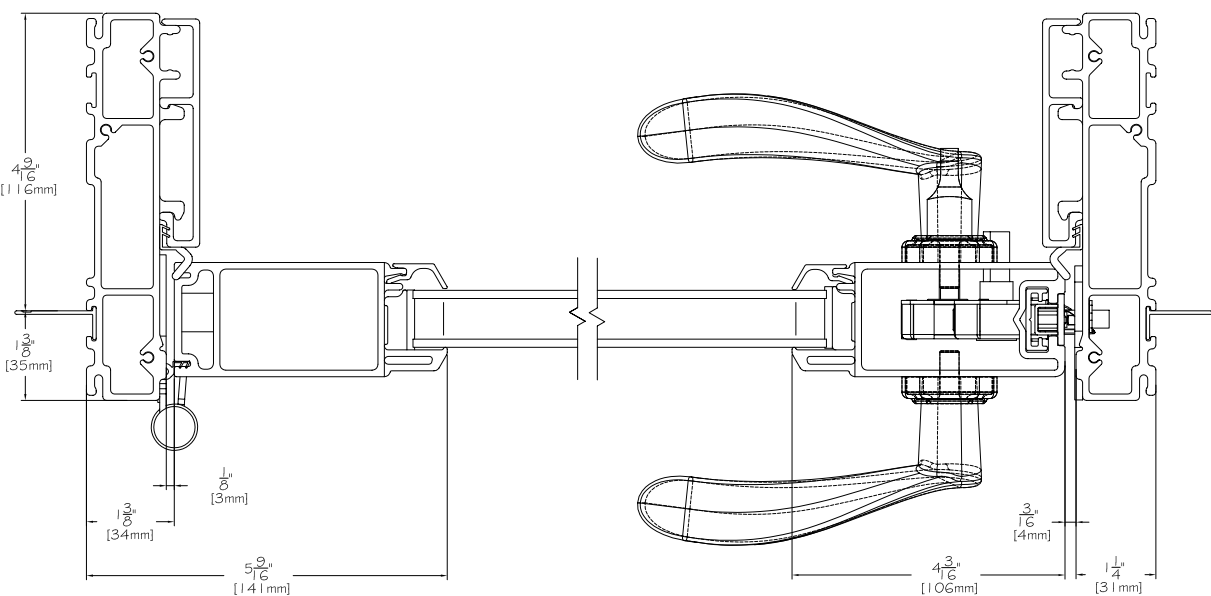
Replacement Double Hung Window Detail  
1/4" = 1'-0"



(N) Patio Door Enlarged Detail  
1/4" = 1'-0"



FIBERGLASS OUTSWING PATIO DOOR  
VIEW: HORIZONTAL  
1/800 MILGARD  
milgard.com



(N) Entry Door Enlarged Detail  
1/4" = 1'-0"

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Enlarged (N) Garage  
Floor Plan &  
Window/Door Details

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A-2.3



PROJECT NAME

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Building Elevations



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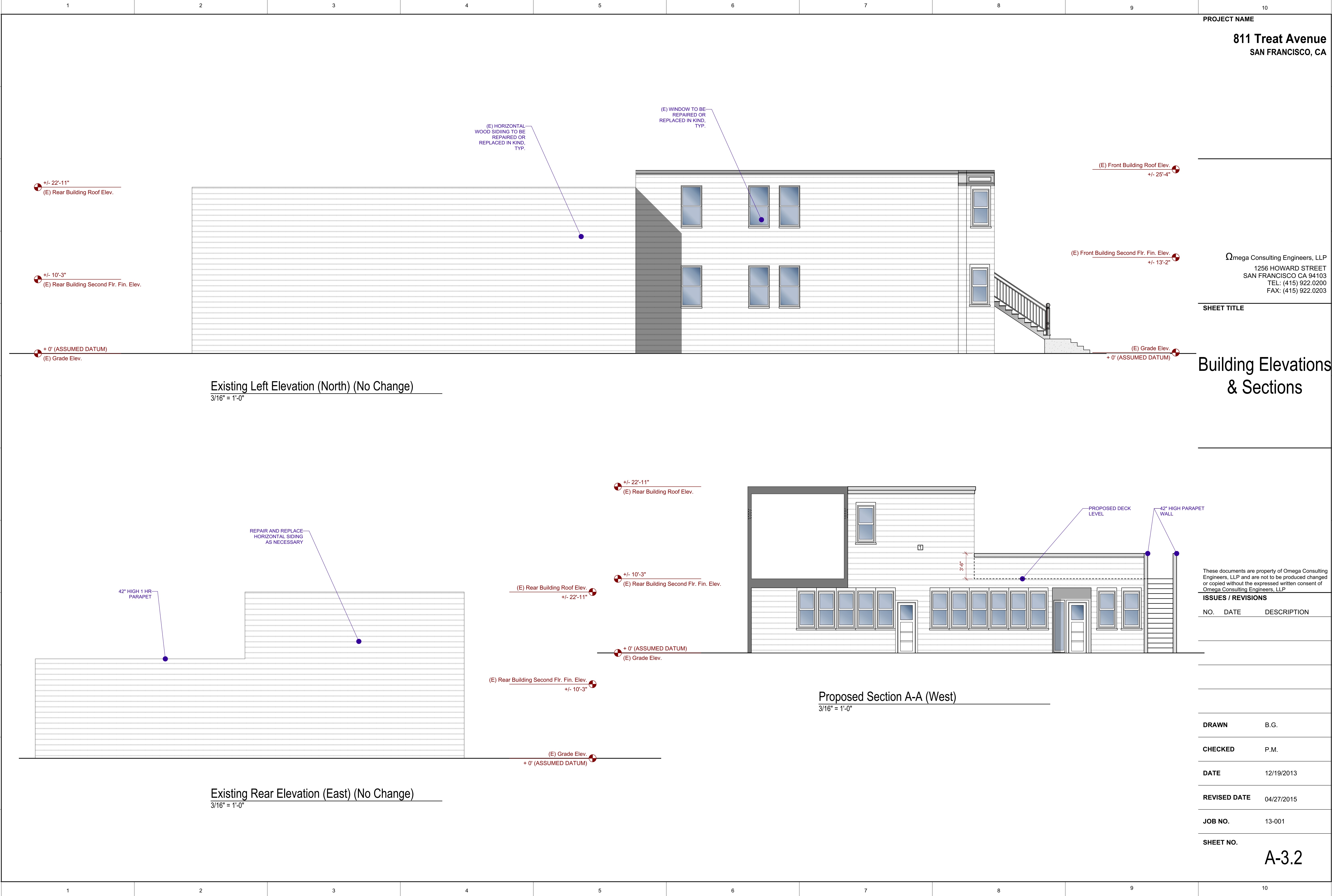
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A-3.0









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Building Elevations  
& Sections

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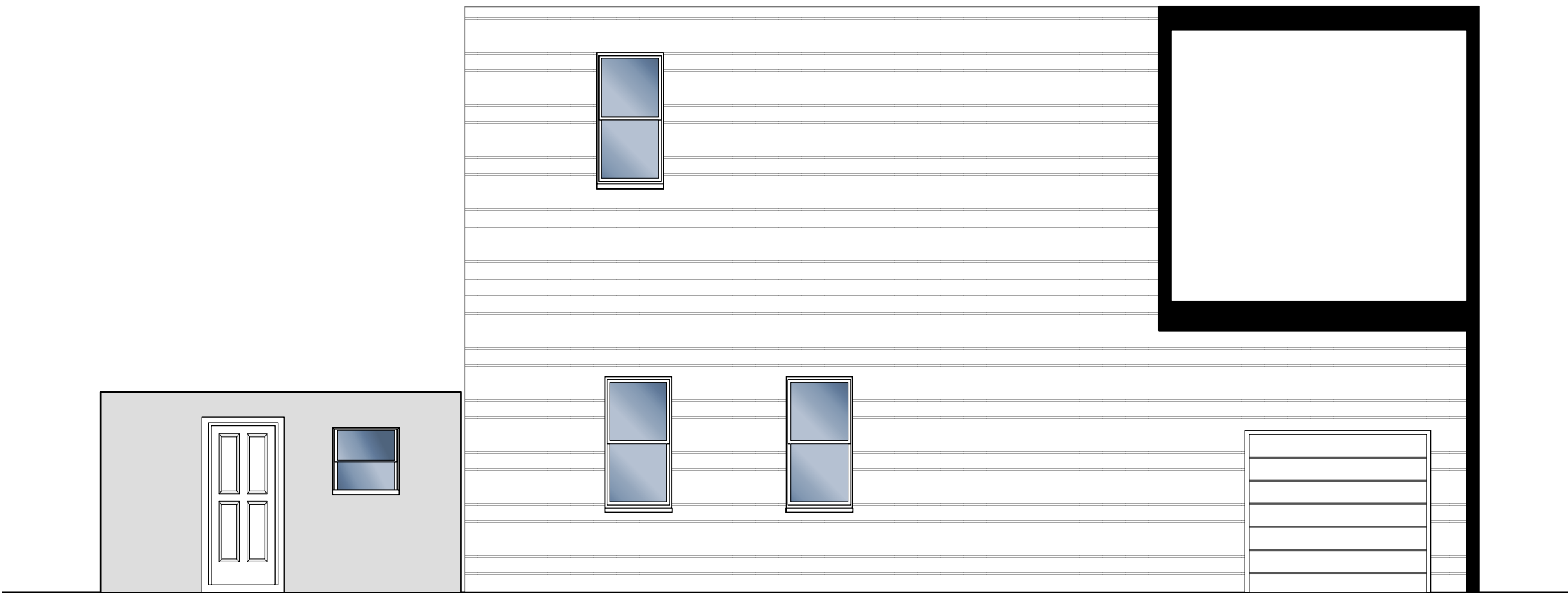
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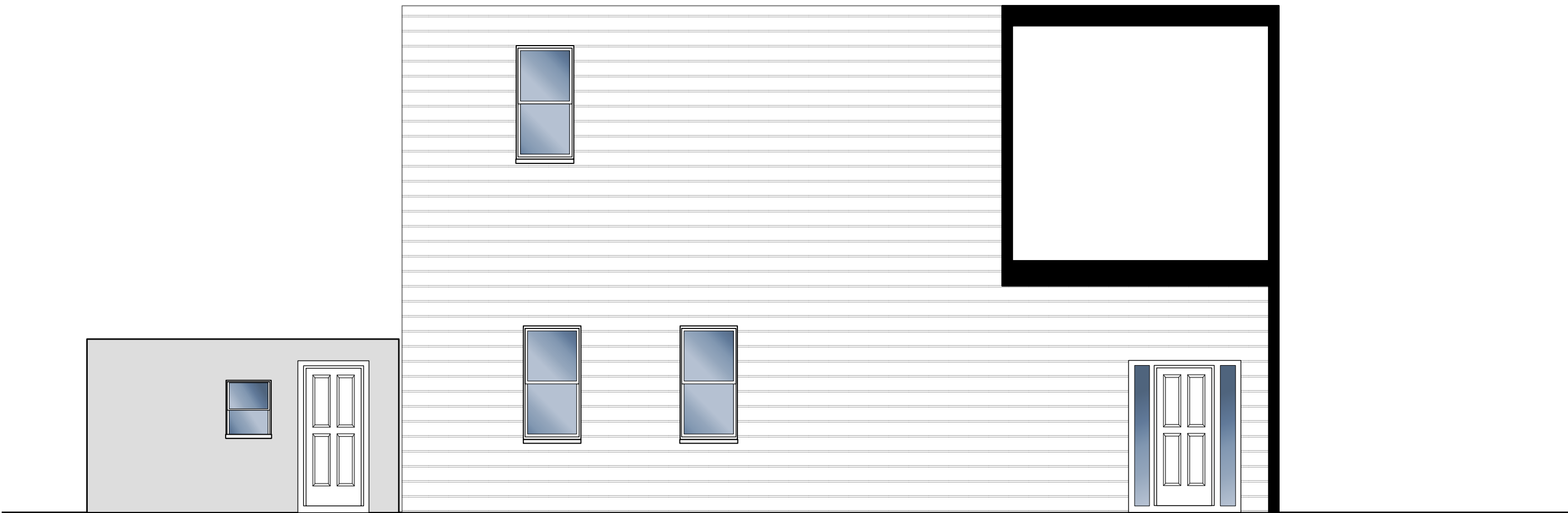
13-001

SHEET NO.

A-3.3



Proposed Section B-B (East)  
3/16" = 1'-0"



Proposed Section B-B (East)  
3/16" = 1'-0"