



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use / Residential Demolition

HEARING DATE: FEBRUARY 11, 2016

Date: February 4, 2016
Case No.: **2013.1671C**
Project Address: **580 DE HARO STREET**
Zoning: RH-2 (Residential-House, Two-Family)
40-X Height and Bulk District
Block/Lot: 4008/003
Project Sponsor: Kevin Dill
692B De Haro Street
San Francisco, CA 94107
Staff Contact: Chris Townes – (415) 575-9195
chris.townes@sfgov.org
Recommendation: Approval with Conditions

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PROJECT DESCRIPTION

The Project Sponsor proposes to demolish all existing vacant buildings on a 15,000 sf lot, including eight dwelling units and a 1,744 sf commercial office building, and to subdivide the lot into (3) 25' x 100' lots and (4) 25' x 75' lots and construct (2) single-family dwellings and (5) two-family dwellings for a total of twelve dwelling units, each up to 40-feet tall. All existing residential units were removed from rent control pursuant to the Ellis Act on June 2, 1999 (see "Memorandum of Notice Regarding Withdrawal of Rental Unit from Rent or Lease" dated June 2, 1999 attached).

The proposal requires a Conditional Use Authorization pursuant to Planning Code Section 303 and 317 to allow demolition of the eight existing dwelling units located within the RH-2 (Residential-House, Two Family) zoning district and 40-X Height and Bulk District.

Pursuant to Planning Code 317 (c), "Any application for a permit that would result in the loss or Removal of three or more Residential Units, notwithstanding any other sections of this Code, shall require a Conditional Use authorization for the Removal and replacement of the units." This report includes findings for a Conditional Use Authorization in addition to Demolition Criteria established in Planning Code Section 317. The design of the new structure is analyzed in the Design Review Checklist.

DEMOLITION APPLICATION		NEW BUILDING APPLICATION	
Demolition Case Number	2013.1671C	New Building Case Number	2013.1671C
Recommendation	Approve with Conditions	Recommendation	Approve with Conditions
Demolition Application	2014.0226.9346	New Building	2014.0226.9332

Number	2014.0226.9345 2014.0226.9344 2014.0226.9343 2014.0226.9342 2014.0226.9341 2014.0226.9336	Application Number	2014.0226.9331 2014.0226.9330 2014.0226.9329 2014.0226.9328 2014.0226.9327 2014.0226.9324
Number Of Existing Units	8	Number Of New Units	12
Existing Parking	6	New Parking	12
Number Of Existing Bedrooms	8	Number Of New Bedrooms	36
Existing Building Area	± 7,563 Sq. Ft.	New Building Area	± 25,622 Sq. Ft.
Public DR Also Filed?	No	Public DR Also Filed?	No
311 Expiration Date	2/11/16	Date Time & Materials Fees Paid	N/A

SITE DESCRIPTION AND PRESENT USE

The 15,000 sf (100'x150'), rectangular-shaped property is within the Potrero Hill neighborhood of the Showplace Square/Potrero Hill Plan Area and is located at the northwest corner of 18th and De Haro Streets, Block 4008, Lot 003. The site is occupied by eight residential units within six separate buildings totaling 5,819 sf and a 1,744 sf commercial office building. The buildings are organized in a circular manner around the perimeter of the lot and connected by an asphalt driveway that has access from 18th Street. The majority of buildings are in a dilapidated, boarded-up condition and have been vacant since 1999. The topography of the site is upsloping along 18th Street from De Haro Street towards Rhode Island Street with approximately 25 feet in grade change along the 100'-0" long property line (25% slope).

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The area surrounding the project site is predominately single-family residential with the exception of the adjacent properties to the north along De Haro Street consisting of an industrial and a church use. The broader neighborhood surrounding the site is largely residential in nature; however, an industrial use (Anchor Steam Brewing company) is located across De Haro Street at Mariposa, there is a multi-story office building immediately across De Haro Street to the east, and there is a school use (International Studies Academy) located at the southeast corner of De Haro and 18th Streets. Buildings in the neighborhood are generally two to four stories in height. Surrounding zoning districts include UMU (Urban Mixed Use) to the north, RH-2 (Residential-House, Two Family) to the west and south, PDR-1-G (Production, Distribution, Repair- General) to the east and P (Public) to the southeast. The region further south of the site is predominantly residential in character and the topography slopes uphill towards Potrero Hill. The northern edge of the site is bounded by 16th Street, a major east-west arterial running

through the Potrero Hill neighborhood which connects the Mission neighborhood to the west with the Mission Bay neighborhood to the east.

REPLACEMENT STRUCTURES

The Project proposes to subdivide the single 15,000 sf lot into (3) 25' x 100' lots and (4) 25' x 75' lots and to construct (2) single-family dwellings and (5) two-family dwellings for a total of twelve dwelling units. The Project establishes a more typical lot dimension and configuration that is more consistent with the surrounding properties within the neighborhood. The proposed building footprints and their adherence to the required rear yard requirement contribute towards a well-defined mid-block open space in relation to adjacent properties. The new, four-level buildings are designed in a contemporary architectural style and up to 40'-0" in height. Along both 18th Street and De Haro Street, building heights descend with the laterally sloping topography to ensure that the buildings respond to the topography of the site, its position on the block and to the placement of surrounding buildings.

ENVIRONMENTAL REVIEW

The project is categorically exempt from the California Environmental Quality Act ("CEQA") as a Class 32 categorical exemption.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	20 days	January 22, 2016	January 22, 2016	20 days
Mailed Notice	20 days	January 22, 2016	January 22, 2016	20 days

PUBLIC COMMENT/COMMUNITY OUTREACH

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	5	0	0
Other neighbors on the block or in within the neighborhood	14	0	0
Neighborhood groups	0	0	0

- The project sponsor has conducted outreach to the adjacent neighbors and interested community groups. The Project Sponsor hosted a pre-application meeting with neighbors on October 17, 2013 and again on March 10, 2014. The Project Sponsor also presented to the Potrero Boosters General Membership on April 29, 2014 and to the Potrero Boosters Development Committee on April 15, 2015. In addition to the above meetings and presentations, the project has received 19 letters of support from neighbors on the block and in the vicinity. The letters of support cite support for the replacement of a dilapidated site, the quality of the proposed architectural design, the compatibility of the proposed mass and scale and the Project's contribution to a well-defined

mid-block open space. The majority of the letters also cite support for the proposed density; however, it should be noted that some of these letters were received when the total number of units was 9 units; whereas, the total number of units now proposed is 12 units.

ISSUES AND OTHER CONSIDERATIONS

- The Project meets the demolition criteria of Planning Code Section 317 and will provide an overall increase of four dwelling units.
- The Project initially proposed nine dwelling units but now proposes twelve dwelling units, as recommended by staff, to ensure the Project provides three additional housing units and triggers the inclusionary affordable housing requirements of Planning Code Section 415 by proposing 10 or more dwelling units total. The Project Sponsor has elected to satisfy the affordable housing requirement through payment of the in-lieu fee.
- All existing residential units were removed from rent control pursuant to the Ellis Act on June 2, 1999; therefore, the Project does not result in the loss of any rent-controlled units.
- The Project's proposed two-dwelling unit building located at 560-562 De Haro Street was reviewed in relation to the proposed 17-dwelling unit project located at 540 De Haro Street which abuts along the shared north property line. Staff has determined that the proposed Project is appropriate since it proposes no windows along the shared property line other than at the lightwell and proposes a building footprint whose rear wall aligns with the rear wall of the adjacent building proposed. These treatments will ensure that light and privacy are protected and that a well-defined mid-block open space is created.

RESIDENTIAL DESIGN TEAM REVIEW

The requests for demolition and new construction was reviewed by the Department's Residential Design Team (RDT) who supports the Project and believes the overall massing and site design is appropriate with the surrounding context. The proposed building footprints adhere to the required rear yard and contribute towards a well-defined mid-block open space. Architecturally, the proposed buildings reflect the neighborhood character and utilize a palate of quality materials and finishes.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant Conditional Use Authorization to allow the loss or removal of three or more residential units, pursuant to Planning Code Sections 303 and 317.

BASIS FOR RECOMMENDATION

- The Project divides a large single lot measuring 100' x 150' into smaller, rectangular lots [(3) 25' x 100' lots and (4) 25' x 75' lots] that are more consistent with typical lot sizes in the neighborhood.
- The Project will result in a net gain of four dwelling units; thereby, contributing to an increase in the City's housing stock.

- Since the Project proposes more than 10 dwelling units (a total of 12 dwelling units are proposed), the Project will be subject to the affordable housing requirements of Planning Code Section 415.
- The Project will create twelve family-sized dwelling-units, including (1) 2-bedroom, (10) 3-bedroom and (1) 4-bedroom unit.
- All existing residential units have been vacant since 1999 when they were removed from rent control pursuant to the Ellis Act; therefore, no tenants will be displaced as a result of this Project.
- The RH-2 Zoning District allows a maximum of two dwelling-units on this lot. This District is intended to accommodate a greater density than what currently exists on this underutilized lot, and several of the surrounding properties reflect this ability to accommodate the maximum density. The Project is therefore an appropriate in-fill development.
- The proposed Project meets all applicable requirements of the Planning Code, including the demolition criteria, and does not seek any discretionary modifications from property development standards; thereby, better ensuring a more harmonious and compatible design with the surrounding neighborhood.
- The Residential Design Team (RDT) staff supports the overall massing and site design in that it is compatible and consistent with the surrounding neighborhood context in keeping with the Residential Design Guidelines.
- Given the scale of the Project, there will be no significant impact on the existing capacity of the local street system or MUNI.

RECOMMENDATION:	Approval with Conditions.
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Attachments:

Design Review Checklist for replacement buildings
Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Section 311 Notice
Environmental Evaluation
Reduced Plans
Context Photos
Color Rendering

Attachment Checklist

- ☒ Executive Summary
- ☒ Draft Motion
- ☒ Environmental Determination
- ☐ Zoning District Map
- ☒ Height & Bulk Map
- ☒ Context Photos
- ☒ Site Photos
- ☒ Parcel Map
- ☒ Sanborn Map
- ☒ Aerial Photo
- ☒ Design Review Checklist for replacement buildings

- ☒ Project sponsor submittal

Drawings: Existing Conditions

- ☒ Check for legibility

Drawings: Proposed Project

- ☒ Check for legibility

3-D Renderings (new construction or significant addition)

- ☒ Check for legibility

CT

Exhibits above marked with an "X" are included in this packet

Planner's Initials

Design Review Checklist

NEIGHBORHOOD CHARACTER (PAGES 7-10)

QUESTION	
The visual character is: (check one)	
Defined	
Mixed	X

Comments: This area of Potrero Hill is characterized by a variety of building heights, which generally range from two to four stories. Buildings range in age from over 100 years old to new construction, and building architecture and design varies widely between different types of uses, from functional industrial buildings to residential buildings of Edwardian, 20th century, and modern designs.

SITE DESIGN (PAGES 11 - 21)

QUESTION	YES	NO	N/A
Topography (page 11)			
Does the building respect the topography of the site and the surrounding area?	X		
Is the building placed on its site so it responds to its position on the block and to the placement of surrounding buildings?	X		
Front Setback (pages 12 - 15)			
Does the front setback provide a pedestrian scale and enhance the street?	X		
In areas with varied front setbacks, is the building designed to act as transition between adjacent buildings and to unify the overall streetscape?	X		
Does the building provide landscaping in the front setback?	X		
Side Spacing (page 15)			
Does the building respect the existing pattern of side spacing?			X
Rear Yard (pages 16 - 17)			
Is the building articulated to minimize impacts on light to adjacent properties?	X		
Is the building articulated to minimize impacts on privacy to adjacent properties?	X		
Views (page 18)			
Does the project protect major public views from public spaces?			X
Special Building Locations (pages 19 - 21)			
Is greater visual emphasis provided for corner buildings?	X		
Is the building facade designed to enhance and complement adjacent public spaces?	X		
Is the building articulated to minimize impacts on light to adjacent cottages?			X

Comments: Along 18th Street, the site is laterally sloping upward towards Rhode Island Street with a grade differential of approximately 25 feet. All buildings within the Project conform to the building height measurement methodology of Planning Code Section 260 which is intended to ensure that

building heights on upsloping lots are compatible with the surrounding neighborhood. The front facades feature recessed garage doors and building entrances that are typical of the neighborhood, while at the side yard the buildings abut in a manner that is consistent with the neighborhood. The rear setback of all proposed buildings complies with the Code-required rear yard in a manner that contributes to a well-defined mid-block open space within the block.

BUILDING SCALE AND FORM (PAGES 23 - 30)

QUESTION	YES	NO	N/A
Building Scale (pages 23 - 27)			
Is the building's height and depth compatible with the existing building scale at the street?	X		
Is the building's height and depth compatible with the existing building scale at the mid-block open space?	X		
Building Form (pages 28 - 30)			
Is the building's form compatible with that of surrounding buildings?	X		
Is the building's facade width compatible with those found on surrounding buildings?	X		
Are the building's proportions compatible with those found on surrounding buildings?	X		
Is the building's roofline compatible with those found on surrounding buildings?	X		

Comments: All buildings within the Project conform to the building height measurement methodology of Planning Code Section 260 which is intended to ensure that building heights on upsloping lots are compatible with the surrounding neighborhood. All upper floors are recessed 10 feet from the front property line to better relate to the mass and scale of residential buildings within the surrounding neighborhood. The Residential Design Team has reviewed the Project and determined that the overall massing, scale and site design is compatible with the surrounding neighborhood.

ARCHITECTURAL FEATURES (PAGES 31 - 41)

QUESTION	YES	NO	N/A
Building Entrances (pages 31 - 33)			
Does the building entrance enhance the connection between the public realm of the street and sidewalk and the private realm of the building?	X		
Does the location of the building entrance respect the existing pattern of building entrances?	X		
Is the building's front porch compatible with existing porches of surrounding buildings?	X		
Are utility panels located so they are not visible on the front building wall or on the sidewalk?	X		
Bay Windows (page 34)			
Are the length, height and type of bay windows compatible with those found on	X		

surrounding buildings?			
Garages (pages 34 - 37)			
Is the garage structure detailed to create a visually interesting street frontage?	X		
Are the design and placement of the garage entrance and door compatible with the building and the surrounding area?	X		
Is the width of the garage entrance minimized?	X		
Is the placement of the curb cut coordinated to maximize on-street parking?	X		
Rooftop Architectural Features (pages 38 - 41)			
Is the stair penthouse designed to minimize its visibility from the street?			X
Are the parapets compatible with the overall building proportions and other building elements?	X		
Are the dormers compatible with the architectural character of surrounding buildings?			X
Are the windscreens designed to minimize impacts on the building's design and on light to adjacent buildings?			X

Comments: At the ground floor, the front facades incorporate landscaping, feature recessed garage doors and recessed and raised building entrances in a manner that is consistent with surrounding properties to enhance the connection between the public realm of the street and the sidewalk and the private realm of the building. The Project includes a variety of bay windows at the second and third levels that are characteristic of the neighborhood and provide a greater sense of depth to the front facades in a manner that is compatible with surrounding buildings.

BUILDING DETAILS (PAGES 43 - 48)

QUESTION	YES	NO	N/A
Architectural Details (pages 43 - 44)			
Are the placement and scale of architectural details compatible with the building and the surrounding area?	X		
Windows (pages 44 - 46)			
Do the windows contribute to the architectural character of the building and the neighborhood?	X		
Are the proportion and size of the windows related to that of existing buildings in the neighborhood?	X		
Are the window features designed to be compatible with the building's architectural character, as well as other buildings in the neighborhood?	X		
Are the window materials compatible with those found on surrounding buildings, especially on facades visible from the street?	X		
Exterior Materials (pages 47 - 48)			
Are the type, finish and quality of the building's materials compatible with those used in the surrounding area?	X		
Are the building's exposed walls covered and finished with quality materials that are compatible with the front facade and adjacent buildings?	X		

Are the building's materials properly detailed and appropriately applied?	X		
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Comments: The Project uses a palate of quality materials, colors and finishes (including anodized aluminum framed windows, 12-inch Hardi-Plank siding, tongue and groove painted wood siding, 30" x 30" Trespa panels, metal siding and painted cement plaster) in a manner that distinguishes between changes in plane, provides a textural quality, and adds variation amongst buildings to further diminish the apparent mass.

SPECIAL GUIDELINES FOR ALTERATIONS TO BUILDINGS OF POTENTIAL HISTORIC OR ARCHITECTURAL MERIT (PAGES 49 – 54)

QUESTION	YES	NO	N/A
Is the building subject to these Special Guidelines for Alterations to Buildings of Potential Historic or Architectural Merit?			X
Are the character-defining features of the historic building maintained?			X
Are the character-defining building form and materials of the historic building maintained?			X
Are the character-defining building components of the historic building maintained?			X
Are the character-defining windows of the historic building maintained?			X
Are the character-defining garages of the historic building maintained?			X



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- | | |
|---|--|
| <input checked="" type="checkbox"/> Affordable Housing (Sec. 415) | <input type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 413) | <input type="checkbox"/> Child Care Requirement (Sec. 414) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 412) | <input type="checkbox"/> Other |

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Planning Commission Draft Motion

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ADOPTING FINDINGS RELATING TO THE APPROVAL OF CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 303 AND 317 TO ALLOW THE DEMOLITION OF EIGHT DWELLING UNITS AND ONE OFFICE BUILDING AND TO SUBDIVIDE THE LOT INTO (3) 25' X 100' LOTS AND (4) 25' X 75' LOTS AND TO CONSTRUCT (2) SINGLE FAMILY DWELLINGS AND (5) TWO-FAMILY DWELLINGS UPON THE NEW LOTS FOR A TOTAL OF TWELVE UNITS WITHIN THE RH-2 (RESIDENTIAL-HOUSE, TWO-FAMILY) DISTRICT AND 40-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PREAMBLE

On March 13, 2014, Kevin Dill (hereinafter "Project Sponsor") filed an application with the Planning Department (hereinafter "Department") for Conditional Use Authorization under Planning Code Section(s) 303 and 317 to demolish eight existing dwelling units and one office building within the RH-2 Zoning District and a 40-X Height and Bulk District.

On February 11, 2016, the San Francisco Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2013.1671C.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 32 categorical exemption.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2013.1671C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Project Description.** The Project Sponsor proposes to demolish all existing vacant buildings on a 15,000 sf lot, including eight dwelling units and a 1,744 sf commercial office building, and to subdivide the lot into (3) 25' x 100' lots and (4) 25' x 75' lots and construct (2) single-family dwellings and (5) two-family dwellings for a total of twelve dwelling units, each up to 40-feet tall. All existing residential units were removed from rent control pursuant to the Ellis Act on June 2, 1999 (see "Memorandum of Notice Regarding Withdrawal of Rental Unit from Rent or Lease" dated June 2, 1999 attached).

The proposal requires a Conditional Use Authorization pursuant to Planning Code Section 303 and 317 to allow demolition of the eight existing dwelling units located within the RH-2 (Residential-House, Two Family) zoning district and 40-X Height and Bulk District.

Pursuant to Planning Code 317 (c), "Any application for a permit that would result in the loss or Removal of three or more Residential Units, notwithstanding any other sections of this Code, shall require a Conditional Use authorization for the Removal and replacement of the units." This report includes findings for a Conditional Use Authorization in addition to Demolition Criteria established in Planning Code Section 317. The design of the new structure is analyzed in the Design Review Checklist.

3. **Site Description and Present Use.** The 15,000 sf (100'x150'), rectangular-shaped property is within the Potrero Hill neighborhood of the Showplace Square/Potrero Hill Plan Area and is located at the northwest corner of 18th and De Haro Streets, Block 4008, Lot 003. The site is occupied by nine residential dwelling units within six separate buildings totaling 5,819 sf and a 1,744 sf commercial office building. The buildings are organized in a circular manner around the perimeter of the lot and connected by an asphalt driveway that has access from 18th Street. The site is entirely vacant with the majority of buildings in a dilapidated, boarded-up condition and vacant since 1999. The topography of the site is upsloping along 18th Street from De Haro Street towards Rhode Island Street with approximately 25 feet in grade change along the 100'-0" long property line (25% slope). The property is located within the RH-2 (Residential-House, Two Family) Zoning District and the 40-X Height and Bulk District.

4. **Surrounding Properties and Neighborhood.** The area surrounding the project site is predominately single-family residential in nature with the exception of the adjacent properties along De Haro Street consisting of an industrial and a church use. The broader neighborhood surrounding the site is largely residential in nature; however, an industrial use (Anchor Steam Brewing company) is located across De Haro Street at Mariposa, there is a multi-story office building immediately across De Haro Street to the east, and there is a school use (International Studies Academy) located at the southeast corner of De Haro and 18th Streets. Buildings in the neighborhood are generally two to four stories in height. Surrounding zoning districts include UMU (Urban Mixed Use) to the north, RH-2 (Residential-House, Two Family) to the west and south, PDR-1-G (Production, Distribution, Repair- General) to the east and P (Public) to the southeast. The region further south of the site is predominantly residential in character and the topography slopes uphill towards Potrero Hill.
5. **Public Comment/Community Outreach.** To date, the Department has received 19 letters of support from surrounding neighbors and no opposition. The project sponsor has conducted outreach to the adjacent neighbors and interested community groups. The Project Sponsor hosted a pre-application meeting with neighbors on October 17, 2013 and again on March 10, 2014. The Project Sponsor also presented to the Potrero Boosters General Membership on April 29, 2014 and to the Potrero Boosters Development Committee on April 15, 2015. The letters of support cite support for the replacement of a dilapidated site, the quality of the proposed architectural design, the compatibility of the proposed mass and scale and the Project's contribution to a well-defined mid-block open space. The majority of the letters also cite support for the proposed density; however, it should be noted that some of these letters were received when the total number of units was 9 units; whereas, the total number of units now proposed is 12 units.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Residential Demolition- Section 317.** Pursuant to Planning Code Sections 317, Conditional Use Authorization is required for applications proposing to remove three or more residential units.

The project is seeking a Conditional Use Authorization from the Planning Commission to allow the removal of eight dwelling units within the RH-2 zoning district which is permitted subject to CU approval.
 - B. **Minimum Lot Width and Area.** Pursuant to Planning Code Section 121, within the RH-2 zoning district the minimum lot width is 25 feet and the minimum lot area is 2,500 square feet; except that the minimum lot area for any lot having its street frontage entirely within 125 feet of the intersection of two streets that intersect at an angle of not more than 135 degrees shall be 1,750 square feet.

The lots having their street frontage entirely within 125 feet of the intersection of De Haro and 18th Streets (which intersect at a 90 degree angle) include 586-588 De Haro Street, 596-598 De Haro Street, 1916-1918 18th Street and 1928 De Haro Street. All of these aforementioned lots have a lot width of 25 feet and a lot area of 1,875 sf; and therefore, comply with Planning Code Section 121. The remaining lots include 560-562 De Haro Street, 566-568 De Haro Street and 1938 18th Street, which are all 25 feet wide lots with a lot area of 2500 sf, and therefore, also comply with Planning Code Section 121.

- C. **Residential Density.** Pursuant to Planning Code Section 207, each lot is permitted up to two dwelling units in the RH-2 zoning district.

The project site is located within the RH-2 zoning district and proposes to subdivide the existing 15,000 sf (100' x 150') lot into (3) 25' x 100' lots and (4) 25' x 75' lots and to construct (2) single-family dwellings and (5) two-family dwellings for a total of twelve dwelling units. Since none of the proposed lots exceed two dwelling units, the project complies with Planning Code Section 207.

- D. **Rear Yard.** Planning Code Section 134 generally requires a rear yard measuring 45% of the lot depth; however, a reduction of the rear yard requirement is permitted within the RH-2 zoning district pursuant to Planning Code Section 134(c)(3) which allows an adjacent non-residential building to be treated as having a rear building wall depth equal to 75% of the total lot depth of the subject lot.

The project generally provides a 45% rear yard setback for all buildings with the exception of the 2-unit building located at 560-562 De Haro Street which provides a 25% rear yard based on its unique commercial building adjacency. Buildings also make use of the permitted obstruction (pop-out) provision, under Planning Code Section 136 (c)(25) for enclosed building extensions.

- E. **Usable Open Space.** Planning Code Section 135 requires 100 sf of common usable open space or 80 sf of private usable open space per dwelling unit.

The Project provides a variety of private usable open spaces throughout, including rear yards, patios and decks that exceed the usable open space requirement for each unit. In total, the project provides 8,334 sf of open space for the twelve units proposed.

- F. **Street Trees.** The Department of Public works requires the planting of Street Trees pursuant to Article 16, Section 805(a) and (d) and 806 (d). Generally, one street tree for every 20 feet of frontage for new construction will be required. You may contact Carla Short at the Department of Public Works for additional information (carla.short@sfdpw.org). You may also view the code requirements at the following link: view the requirements at the following link: [http://www.amlegal.com/nxt/gateway.dll/California/publicworks/article16urbanforestryordinance?f=templates\\$fn=default.htm\\$3.0\\$vid=amlegal:sanfrancisco_ca\\$anc=JD_806](http://www.amlegal.com/nxt/gateway.dll/California/publicworks/article16urbanforestryordinance?f=templates$fn=default.htm$3.0$vid=amlegal:sanfrancisco_ca$anc=JD_806)

The Project proposes 9 street trees along De Haro Street and 5 street trees along 18th Street which appears to exceed the minimum number of required trees; however, since the street tree requirement now resides in Article 16 of the Public Works Code, Section 805(a) and (d) and 806 (d), the Project Sponsor must coordinate the street tree plan with Public Works staff to ensure compliance with the street tree requirement.

- G. **Off-Street Parking.** Planning Code Section 151 requires one parking space per dwelling unit within the RH-2 zoning district.

The Project proposes a 2-car garage for each of the (5) two-dwelling unit buildings and a 1-car garage for each of the (2) single family dwelling units; therefore, each unit is provided with a parking space.

- H. **Bicycle Parking.** Planning Code Section 155 requires one Class 1 bicycle parking space for every dwelling unit.

The project proposes four Class 1 bicycle parking spaces within the garage for each of the (5) two-dwelling unit buildings and two Class 1 bicycle parking space for each of the (2) single family dwelling units for a total of 24 Class 1 bicycle parking spaces; therefore, each unit is provided with at least one Class 1 bicycle parking space and the Project meets Code.

- I. **Height.** Planning Code Section 260 requires that all structures be no taller than the height prescribed by the Height and Bulk District. The proposed project is located within the 40-X Height and Bulk District, with a 40-foot height limit. Planning Code Section 261 requires additional height limits applicable to the front portion of a property for properties located within the RH-2 zoning district. The height limit shall be 30 feet at the front lot line or, where the lot is subject to a legislated setback line or required front setback, then at such setback; and shall increase at an angle of 45 degrees from the horizontal toward the rear of the lot until the height limit prescribed by Subsection (b) above is reached.

The project, located within the 40-X Height and Bulk District and the RH-2 zoning district, proposes building heights that adhere to the 40-foot maximum height limit as well as the additional height limit restriction angled inward above 30 feet at the front portion of each property.

- J. **Eastern Neighborhood Impact Fees. Eastern Neighborhood Infrastructure Impact Fees.** Planning Code Section 423 is applicable to any development project within the Eastern Neighborhoods that results in the addition of at least one net new residential unit.

The Project proposes the establishment of 31,788 sf of new residential gross floor area; therefore, the Project is subject to Eastern Neighborhood Infrastructure Impact Fees, as outlined in Planning Code Section 423. This fee must be paid prior to the issuance of the building permit application.

- K. **Inclusionary Affordable Housing Program.** Planning Code Section 415 sets forth the requirements and procedures for the Inclusionary Affordable Housing Program. The project proposes ten or more housing units (12 units total); therefore, a minimum of 12% of the total units constructed shall be considered affordable.

The Project Sponsor has submitted an 'Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415,' to satisfy the requirements of the Inclusionary Affordable Housing Program through payment of the Affordable Housing Fee.

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

Although eight existing dwelling units and one office building would be demolished, the project is necessary and desirable as it proposes to construct twelve new family-sized dwelling units (one 2-bedroom dwelling unit, ten 3-bedroom dwelling units, and one 4-bedroom dwelling unit), thus increasing the total dwelling unit count by four units.

Overall, the use and size of the proposed project is compatible with the immediate neighborhood. The replacement buildings and lot configurations are designed to be in keeping with the existing development pattern of 25'-0" wide lots and the neighborhood character.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The project is designed to be compatible with the surrounding neighborhood and adjacent residential and commercial buildings. It will be consistent with the neighborhood's pattern of development, scale and character, contributing towards a well-defined mid-block open space.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The accessibility and traffic patterns associated with the Project are consistent with the accessibility and traffic patterns currently experienced by existing occupants within the neighborhood. The project provides the required number of off-street parking spaces without exceeding the required amount which will be accessed through standard sized curb cuts and driveways.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The project is entirely residential and is not considered to have the potential to produce noxious or offensive emissions.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

Although designed in a contemporary aesthetic, the façade treatment and materials of the replacement buildings have been appropriately selected to be harmonious with the existing surrounding neighborhood. The proposed lot configuration and building footprints have been composed in a manner that contribute towards a well-defined mid-block open space.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

The Project is not located within a Neighborhood Commercial District.

8. **Additional Findings pursuant to Section 317** establishes criteria for the Planning Commission to consider when reviewing applications to demolish or convert Residential Buildings. On balance, the Project does comply with said criteria in that:

- A. Whether the property is free of a history of serious, continuing Code violations;

Project meets criterion.

A review of the Planning Department and Department of Building Inspection databases showed no enforcement cases for the subject property.

- B. Whether the housing has been maintained in a decent, safe, and sanitary condition;

Project meets criterion.

Although dilapidated in appearance with windows boarded-up, the structure appears to be in a decent, safe, and sanitary condition.

- C. Whether the property is an “historical resource” under CEQA;

Criterion is not applicable.

Although the existing structures are more than 50 years old, a Historic Resource Evaluation Report (HRE) prepared by Department staff, Case No. 2013.1671E, found that none of the existing buildings are not eligible for inclusion in the California Register of Historical Resources (HRER), as evidenced by the provided consultant report; therefore, the subject buildings at 580 De Haro Street are not considered to be historic resources under CEQA.

- D. Whether the removal of the resource will have a substantial adverse impact under CEQA;

Criterion is not applicable.

The existing structures are not historical resources.

- E. Whether the Project converts rental housing to other forms of tenure or occupancy;

Criterion is not applicable.

The Project would replace 8 vacant dwelling units previously removed from rent control pursuant to the Ellis Act (see “Memorandum of Notice Regarding Withdrawal of Rental Unit from Rent or Lease” dated June 2, 1999 attached) with 12 new dwelling units. There are no restrictions on whether the new units will be rental or ownership.

- F. Whether the Project removes rental units subject to the Rent Stabilization and Arbitration Ordinance or affordable housing;

Project meets criterion.

The existing subject property contains 8 dwelling units that were removed from rent control pursuant to the Ellis Act on June 2, 1999 (see “Memorandum of Notice Regarding Withdrawal of Rental Unit from Rent or Lease” dated June 2, 1999 attached).

- G. Whether the Project conserves existing housing to preserve cultural and economic neighborhood diversity;

Project meets criterion.

Although the Project proposes the demolition of 8 existing 1-bedroom dwelling units, the replacement Project results in an overall increase of 4 additional units. The Project provides for total of 12 family-sized dwelling units providing a total of 36 bedrooms.

- H. Whether the Project conserves neighborhood character to preserve neighborhood cultural and economic diversity;

Project meets criterion.

The replacement buildings would conserve neighborhood character with appropriate scale, design, and materials, and improve cultural and economic diversity by providing 12 family-sized units. The Project would provide a net gain of 4 dwelling units and 28 bedrooms to the City's housing stock.

- I. Whether the Project protects the relative affordability of existing housing;

Project does not meet criterion.

The Project does not protect the relative affordability of existing housing, as the Project proposes demolition of the 8 existing dwelling units and the construction of 12 new dwelling units; however, it should be taken into consideration that the proposed Project offers an increased number of units and a variety of family-sized units with a net increase of 4 units and 28 bedrooms. In addition, the existing units were removed from rent control pursuant to the Ellis Act on June 2, 1999 and have remained vacant since that time.

- J. Whether the Project increases the number of permanently affordable units as governed by Section 415;

Project does not meet criterion.

Although the Project is subject to the provisions of Planning Code Section 415 since it proposes 10 or more dwelling units (12 units total), the Project Sponsor has elected to satisfy the inclusionary housing requirement through payment of an in-lieu fee; however, it should be taken into consideration that the in-lieu fee supports the production of affordable housing elsewhere in the City.

- K. Whether the Project locates in-fill housing on appropriate sites in established neighborhoods;

Project meets criterion.

The Project has been designed to be in keeping with the scale and development pattern of the established neighborhood character.

- L. Whether the Project increases the number of family-sized units on-site;

Project meets criterion.

The Project replaces 8 existing 1-bedroom and studio units with 12 new family-sized units (including (1) 2-bedroom, (10) 3-bedroom units and (1) 4-bedroom unit) for a net increase of 4 dwelling units and 28 bedrooms.

- M. Whether the Project creates new supportive housing;

Project does not meet criterion.

The Project does not create supportive housing.

- N. Whether the Project is of superb architectural and urban design, meeting all relevant design guidelines, to enhance existing neighborhood character;

Project meets criterion.

The overall mass and scale, design and materials of the proposed Project are consistent with the block-face and compliment the neighborhood character with a contemporary architectural design aesthetic that is compatible with the Potrero Hill neighborhood.

- O. Whether the Project increases the number of on-site dwelling units;

Project meets criterion.

The Project increases the number of on-site dwelling units with a net gain of 4 units.

- P. Whether the Project increases the number of on-site bedrooms.

Project meets criterion.

The Project increases the number of on-site bedrooms with a net gain of 28 bedrooms.

9. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies

OBJECTIVE 1

IDENTIFY AND MAKE AVAILABLE FOR DEVELOPMENT ADEQUATE SITES TO MEET THE CITY'S HOUSING NEEDS, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING.

Policy 1.6

Consider greater flexibility in number and size of units within established building envelopes in community based planning processes, especially if it can increase the number of affordable units in multi-family structures.

OBJECTIVE 4

FOSTER A HOUSING STOCK THAT MEETS THE NEEDS OF ALL RESIDENTS ACROSS LIFECYCLES.

Policy 4.1

Develop new housing, and encourage the remodeling of existing housing, for families with children.

Policy 4.5

Ensure that new permanently affordable housing is located in all of the City's neighborhoods, and encourage integrated neighborhoods, with a diversity of unit types provided at a range of income levels.

The Project proposes to subdivide the lot into (3) 25' x 100' lots and (4) 25' x 75' lots and to construct (2) single-family dwellings and (5) two-family dwellings for a total of twelve dwelling units, for a net gain of four dwelling units. The proposed bedroom composition includes (1) 2-bedroom unit, (10) 3-bedroom units and (1) 4-bedroom unit; therefore, all twelve units are family-sized units to better foster a housing stock that meets the needs of all residents across lifecycles. The Project proposes a total of twelve dwelling units; thereby, exceeding the ten dwelling unit threshold by which the Project is required to meet the inclusionary housing requirements of Planning Code Section 415. With twelve dwelling units, the Project is required to provide one affordable housing unit. The Sponsor will pay the appropriate in-lieu fee.

URBAN DESIGN

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

Policy 1.2

Recognize, protect and reinforce the existing street pattern, especially as it is related to topography.

Policy 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the City and its districts.

The proposed buildings reflect the existing neighborhood character and development pattern while proposing to introduce greater density, for a net gain of four dwelling units (12 units total). Whereas, the existing site is composed of several individual buildings composed in a circular, insular manner, the proposed Project establishes a more typical lot dimension and configuration that is more consistent with the surrounding properties within the neighborhood. The proposed building footprints and their adherence to the required rear yard requirement will contribute towards a well-defined mid-block open space in relation to adjacent properties. Lastly, the proposed buildings are placed on their sites in a manner that respond to the topography of the site, its position on the block and to the placement of surrounding buildings.

SHOWPLACE SQUARE/ POTRERO HILL AREA PLAN

LAND USE

OBJECTIVE 1.2

IN AREAS OF SHOWPLACE SQUARE/POTRERO WHERE HOUSING AND MIXED USE IS ENCOURAGED, MAXIMIZE DEVELOPMENT POTENTIAL IN KEEPING WITH NEIGHBORHOOD CHARACTER.

Policy 1.2.1

Ensure that in-fill housing development is compatible with its surroundings.

HOUSING

OBJECTIVE 2.1

ENSURE THAT A SIGNIFICANT PERCENTAGE OF NEW HOUSING CREATED IN THE SHOWPLACE/POTRERO IS AFFORDABLE TO PEOPLE WITH A WIDE RANGE OF INCOMES.

Policy 2.1.1

Provide units that are affordable to households at moderate and “middle incomes”- working households earning above traditional below-market rate thresholds but still well below what is needed to buy a market priced home, with restrictions to ensure affordability continues.

OBJECTIVE 2.3

REQUIRE THAT A SIGNIFICANT NUMBER OF UNITS IN NEW DEVELOPMENTS HAVE TWO OR MORE BEDROOMS EXCEPT SENIOR HOUSING AND SRO DEVELOPMENTS UNLESS ALL BELOW MARKET RATE UNITS ARE TWO OR MORE BEDROOM UNITS.

Policy 2.3.1

Target the provision of affordable units for families.

The proposed Project is consistent with the Residential Design Guidelines. The overall massing and site design is compatible and consistent with the surrounding neighborhood context. The Project proposes to subdivide the lot into (3) 25' x 100' lots and (4) 25' x 75' lots and to construct (2) single-family dwellings and (5) two-family dwellings for a total of twelve dwelling units, for a net gain of four dwelling units. The Project proposes a total of twelve dwelling units; thereby, exceeding the ten dwelling unit threshold by which the Project is required to meet the inclusionary housing requirements of Planning Code Section 415. The Project will comply through payment of the in-lieu fee. Lastly, the proposed bedroom composition includes (1) 2-bedroom unit, (10) 3-bedroom units and (1) 4-bedroom unit; therefore, all twelve units are family-sized units.

10. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

Existing neighborhood-serving uses would not be displaced or otherwise adversely affected by the proposal, as the existing buildings do not contain active commercial uses/spaces. The proposed Project does not contain any neighborhood-serving retail uses.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

Although the Project replaces eight existing dwelling units, the existing dwelling units are in a dilapidated, boarded-up condition that have been vacant since 1999. In addition, the circular manner in which the existing structures are composed are insular in nature that separate the

existing site from the surrounding neighborhood and do not contribute towards a mid-block open space pattern found among the other dwellings on the block. The proposed twelve-unit Project divides the large single 15,000 sf lot into smaller rectangular-shaped lots that are more compatible with the typical lot size and shape within the neighborhood. The Project's overall massing and site design is compatible with the surrounding neighborhood context and character.

- C. That the City's supply of affordable housing be preserved and enhanced,

The Project proposes a total of twelve dwelling units; thereby, exceeding the ten dwelling unit threshold by which the Project is required to meet the inclusionary housing requirements of Planning Code Section 415. With twelve dwelling units, the Project is required to provide one affordable housing dwelling unit. An in-lieu fee will be paid.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The Project proposes a density that is consistent with the surrounding neighborhood and it is not anticipated that commuter traffic will impede MUNI transit service or overburden streets or neighborhood parking. Each building within the Project fulfills its parking requirement off-street within an enclosed garage.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project will not displace any service or industry establishment. The project will not affect any industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses will not be affected by this project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will be subject to all relevant Planning, Building and Fire Codes.

- G. That landmarks and historic buildings be preserved.

The Project site does not possess any landmark or historic buildings.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project adheres to the maximum 40-foot height limit in accordance with the applicable 40-X Height and Bulk District and is therefore exempt from the Shadow Study requirements of Planning Code Section 295.

11. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
12. The Commission hereby finds that approval of the Conditional Use Authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2013.1671C** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated February 11, 2016, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. **XXXXX**. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on February 11, 2016.

Jonas P. Ionin
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: February 11, 2016

EXHIBIT A

AUTHORIZATION

This authorization is for a Conditional Use to demolish all existing vacant buildings on a 15,000 sf lot, including nine dwelling units and a 1,744 sf commercial office building, and to subdivide the lot into (3) 25' x 100' lots and (4) 25' x 75' lots and construct (2) single-family dwellings and (5) two-family dwellings for a total of twelve dwelling units, each up to 40-feet tall at 580 De Haro Street, Block 4008, Lot 003 pursuant to Planning Code Section(s) 303 and 317 within the RH-2 (Residential-House, Two Family) Zoning District and 40-X Height and Bulk District; in general conformance with plans, dated February 11, 2016, and stamped "EXHIBIT B" included in the docket for Case No. 2013.1671C and subject to conditions of approval reviewed and approved by the Commission on February 11, 2016 under Motion No. XXXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on February 11, 2016 under Motion No. XXXXXX.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting

PERFORMANCE

Validity. The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the Project and/or commence the approved use within this three-year period.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Expiration and Renewal. Should a Building or Site Permit be sought after the three (3) year period has lapsed, the Project Sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the Project Sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Diligent Pursuit. Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Extension. All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the Project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Conformity with Current Law. No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

DESIGN – COMPLIANCE AT PLAN STAGE

Street Trees. The Department of Public works requires the planting of Street Trees pursuant to Article 16, Section 805(a) and (d) and 806 (d). Generally, one street tree for every 20 feet of frontage for new construction will be required. You may contact Carla Short at the Department of Public Works for additional information (carla.short@sfdpw.org). You may also view the code requirements at the following link: view the requirements at the following link:

[http://www.amlegal.com/nxt/gateway.dll/California/publicworks/article16urbanforestryordinance?f=templates\\$fn=default.htm\\$3.0\\$vid=amlegal:sanfrancisco_ca\\$anc=ID_806](http://www.amlegal.com/nxt/gateway.dll/California/publicworks/article16urbanforestryordinance?f=templates$fn=default.htm$3.0$vid=amlegal:sanfrancisco_ca$anc=ID_806)

PARKING AND TRAFFIC

Bicycle Parking. The Project shall provide no fewer than 12 Class 1 bicycle parking spaces as required by Planning Code Sections 155.1 and 155.5.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Parking Requirement. Pursuant to Planning Code Section 151, the Project shall provide one (1) independently accessible off-street parking space per lot.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

PROVISIONS

First Source Hiring. The Project shall adhere to the requirements of the First Source Hiring Construction and End-Use Employment Program approved by the First Source Hiring Administrator, pursuant to Section 83.4(m) of the Administrative Code. The Project Sponsor shall comply with the requirements of this Program regarding construction work and on-going employment required for the Project.

For information about compliance, contact the First Source Hiring Manager at 415-581-2335, www.onestopSF.org

Eastern Neighborhoods Area Plans Alternative Affordable Housing In-Lieu Fee. Pursuant to Planning Code Section 417, the Project Sponsor has elected to meet with requirements of the Affordable Housing Program as defined in Planning Code Section 415 (formerly 315) through payment of an Eastern Neighborhoods Area Plans Alternative Affordable Housing Fee in-lieu of the Affordable Housing Program to be paid prior to the issuance by Department of Building Inspection of the first construction document for the development project.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

Eastern Neighborhoods Infrastructure Impact Fee. Pursuant to Planning Code Section 423 (formerly 327), the Project Sponsor shall comply with the Eastern Neighborhoods Public Benefit Fund provisions through payment of an Impact Fee pursuant to Article 4.

For information about compliance, contact the Case Planner, Planning Department at 415-575-9195, www.sf-planning.org

MONITORING

Enforcement. Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

Revocation Due to Violation of Conditions. Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints

to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

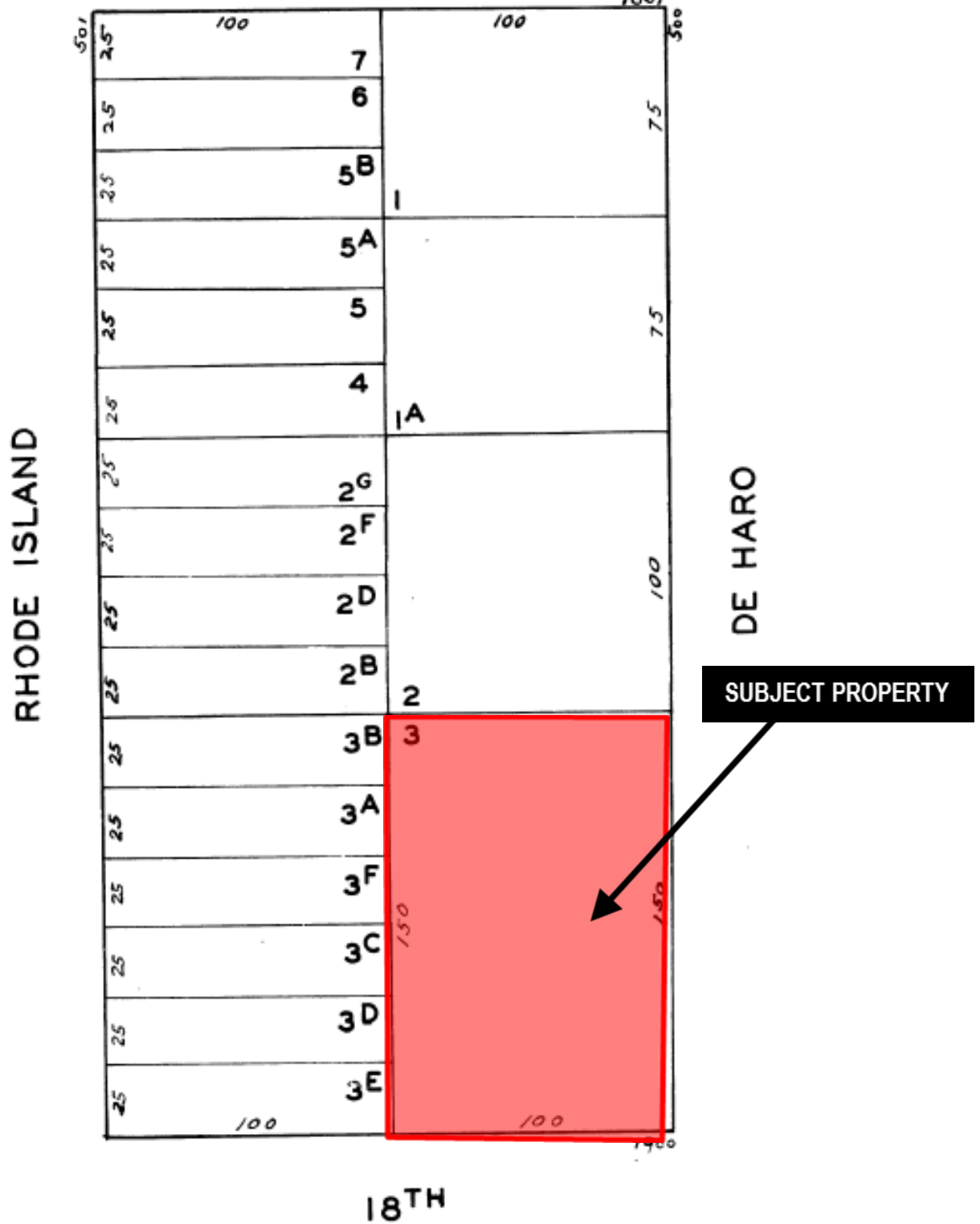
OPERATION

Community Liaison. Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

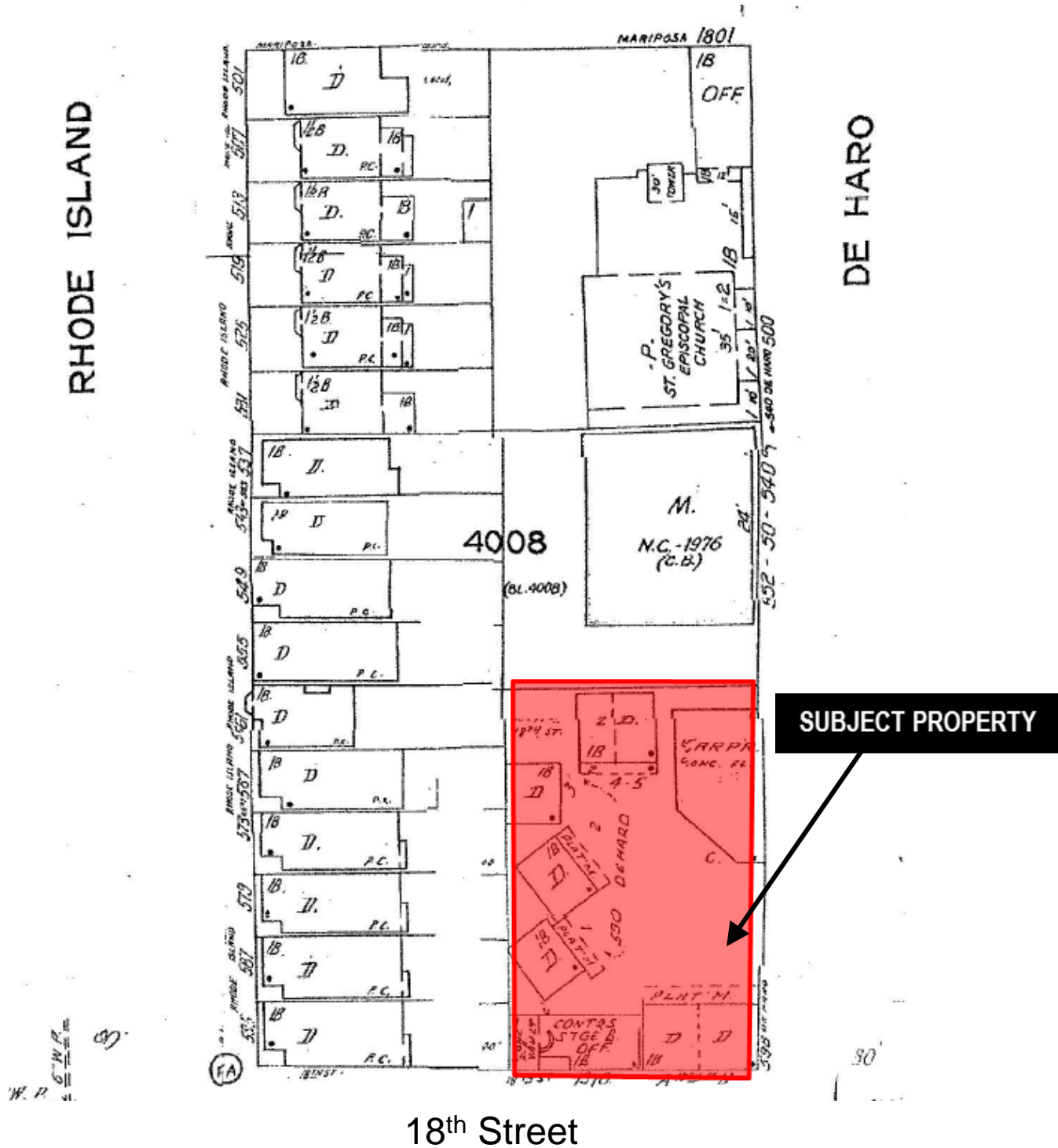
Parcel Map

MARIPOSA



Conditional Use Authorization Hearing
Case Number 2013.1671C
580 De Haro Street

Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



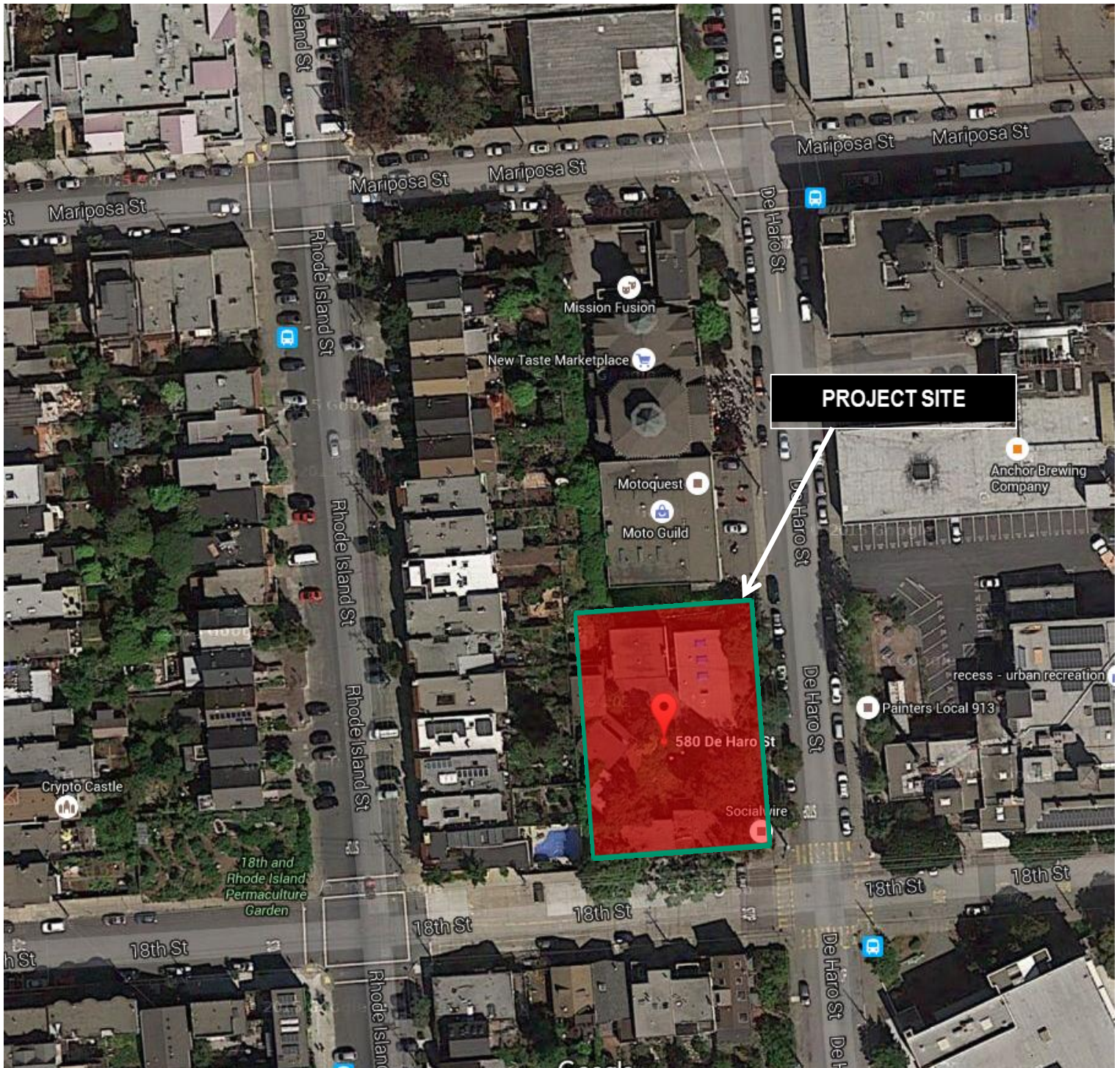
Conditional Use Authorization Hearing
Case Number 2013.1671C
580 De Haro Street

Zoning Map



Conditional Use Authorization Hearing
Case Number 2013.1671C
580 De Haro Street

Aerial Photo



Conditional Use Authorization Hearing
Case Number 2013.1671C
580 De Haro Street

Existing Site Photos



SOUTH ELEVATION (FACING 18TH STREET)



EAST ELEVATION (FACING DE HARO STREET)

Conditional Use Authorization Hearing
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580 De Haro Street

Existing Site Photos



VIEW ACROSS 18TH STREET LOOKING SOUTH FROM
INTERSECTION OF 18TH & DE HARO STREET



LOOKING EAST ALONG 18TH STREET

Conditional Use Authorization Hearing
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580 De Haro Street

Existing Site Photos



LOOKING NORTH ALONG DE HARO STREET



LOOKING WEST ALONG 18TH STREET

Conditional Use Authorization Hearing
Case Number 2013.1671C
580 De Haro Street

Existing Site Photos



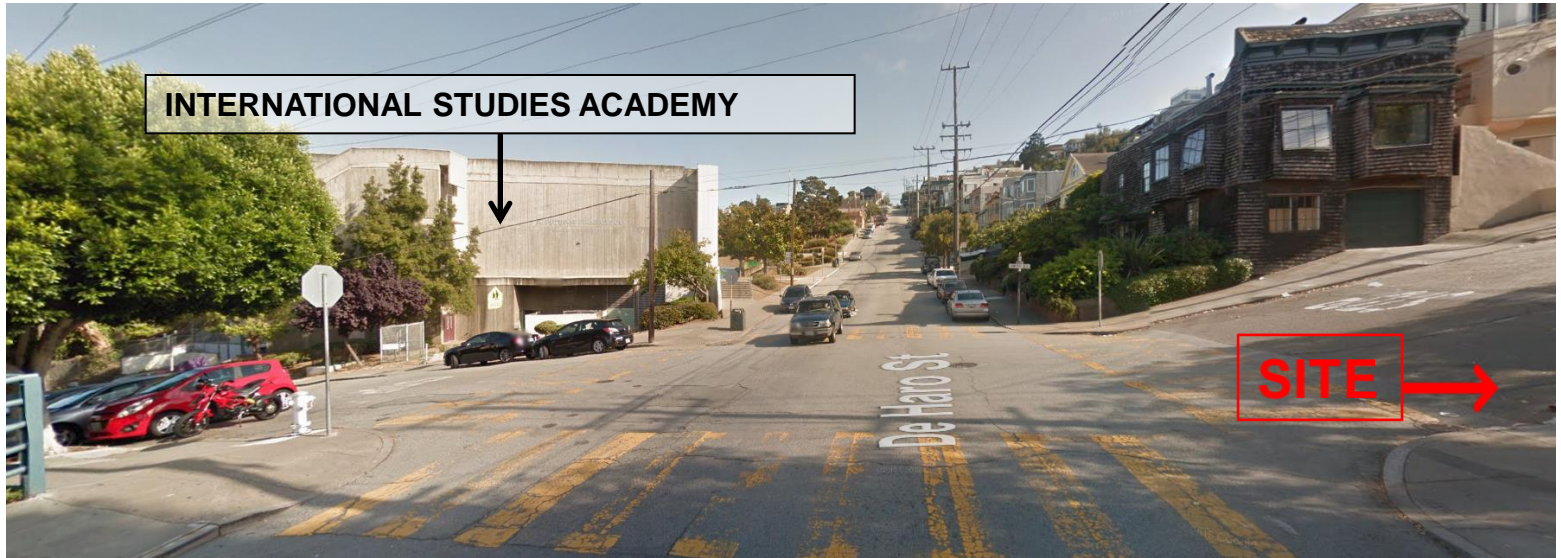
LOOKING SOUTH ALONG DE HARO STREET



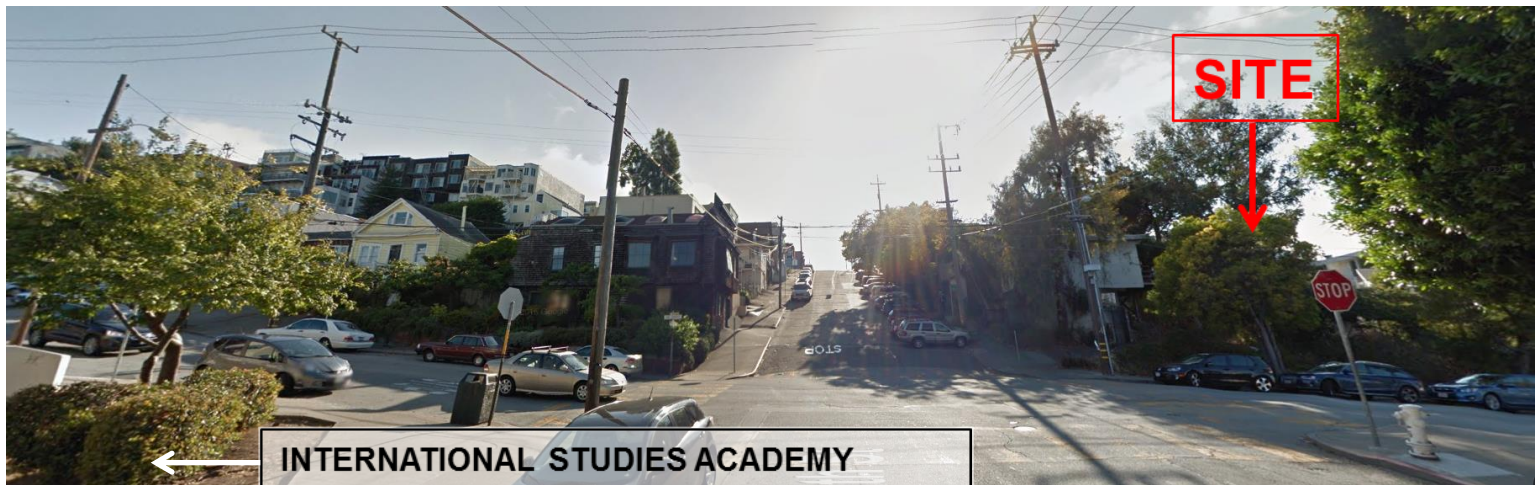
LOOKING NORTH ALONG DE HARO STREET

Conditional Use Authorization Hearing
Case Number 2013.1671C
580 De Haro Street

Existing Site Photos



INTERSECTION OF 18TH & DE HARO STREETS



INTERSECTION OF 18TH & DE HARO STREETS

Conditional Use Authorization Hearing
Case Number 2013.1671C
580 De Haro Street

Affidavit for Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415

2/1/16
Date

I, KEVIN DILL, do hereby declare as follows:

a. The subject property is located at (address and block/lot):

580 DE HARO ST
Address

4008/03
Block / Lot

b. The proposed project at the above address is subject to the Inclusionary Affordable Housing Program, Planning Code Section 415 et seq.

The Planning Case Number and/or Building Permit Number is:

2013.1671C
Planning Case Number

NA
Building Permit Number

This project requires the following approval:

- ☒ Planning Commission approval (e.g. Conditional Use Authorization, Large Project Authorization)
☐ This project is principally permitted.

The Current Planner assigned to my project within the Planning Department is:

CHRIS TOWNES
Planner Name

Is this project within the Eastern Neighborhoods Plan Area?

- ☒ Yes (if yes, please indicate Tier) TIER 1
☐ No

This project is exempt from the Inclusionary Affordable Housing Program because:

- ☐ This project is 100% affordable.

c. This project will comply with the Inclusionary Affordable Housing Program by:

- ☒ Payment of the Affordable Housing Fee prior to the first site or building permit issuance (Planning Code Section 415.5).
☐ On-site or Off-site Affordable Housing Alternative (Planning Code Sections 415.6 and 416.7).

Affidavit for Compliance with the Inclusionary Affordable Housing Program

d. If the project will comply with the Inclusionary Affordable Housing Program through an On-site or Off-site Affordable Housing Alternative, please fill out the following regarding how the project is eligible for an alternative and the accompanying unit mix tables on page 4.

- ☐ **Ownership.** All affordable housing units will be sold as ownership units and will remain as ownership units for the life of the project.
- ☐ **Rental.** Exemption from Costa Hawkins Rental Housing Act.² The Project Sponsor has demonstrated to the Department that the affordable units are not subject to the Costa Hawkins Rental Housing Act, under the exception provided in Civil Code Sections 1954.50 through one of the following:
- ☐ Direct financial contribution from a public entity.
- ☐ Development or density bonus or other public form of assistance.
- ☐ Development Agreement with the City. The Project Sponsor has entered into or has applied to enter into a Development Agreement with the City and County of San Francisco pursuant to Chapter 56 of the San Francisco Administrative Code and, as part of that Agreement, is receiving a direct financial contribution, development or density bonus, or other form of public assistance.

e. The Project Sponsor acknowledges that failure to sell the affordable units as ownership units or to eliminate the on-site or off-site affordable ownership-only units at any time will require the Project Sponsor to:

- (1) Inform the Planning Department and the Mayor's Office of Housing and, if applicable, fill out a new affidavit;
- (2) Record a new Notice of Special Restrictions; and
- (3) Pay the Affordable Housing Fee plus applicable interest (using the fee schedule in place at the time that the units are converted from ownership to rental units) and any applicable penalties by law.

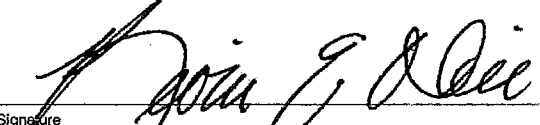
f. The Project Sponsor must pay the Affordable Housing Fee in full sum to the Development Fee Collection Unit at the Department of Building Inspection for use by the Mayor's Office of Housing prior to the issuance of the first construction document, with an option for the Project Sponsor to defer a portion of the payment to prior to issuance of the first certificate of occupancy upon agreeing to pay a deferral surcharge that would be deposited into the Citywide Affordable Housing Fund in accordance with Section 107A.13.3 of the San Francisco Building Code.

g. I am a duly authorized officer or owner of the subject property.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.
Executed on this day in:

SAN FRANCISCO
Location

2/1/16
Date


Signature

KEVIN E. DILL
Name (Print), Title

(415) 254-4790
Contact Phone Number

cc: Mayor's Office of Housing
Planning Department Case Docket
Historic File, if applicable
Assessor's Office, if applicable

Unit Mix Tables

NUMBER OF ALL UNITS IN PRINCIPAL PROJECT:					
Total Number of Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units
12	0	0	0	1	10

4-BR
1

If you selected an On-site or Off-Site Alternative, please fill out the applicable section below:

- ☐ On-site Affordable Housing Alternative (Charter Section 16.110 (g) and Planning Code Section 415.6): calculated at 12% of the unit total.

NUMBER OF AFFORDABLE UNITS TO BE LOCATED ON-SITE					
Total Affordable Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units

- ☐ Off-site Affordable Housing Alternative (Planning Code Section 415.7): calculated at 20% of the unit total.

NUMBER OF AFFORDABLE UNITS TO BE LOCATED OFF-SITE					
Total Affordable Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units

Area of Dwellings in Principal Project (in sq. feet)	Off-Site Project Address	
Area of Dwellings in Off-Site Project (in sq. feet)		
Off-Site Block/Lot(s)	Motion No. (if applicable)	Number of Market-Rate Units in the Off-site Project

- ☐ Combination of payment of a fee, on-site affordable units, or off-site affordable units with the following distribution:

Indicate what percent of each option would be implemented (from 0% to 99%) and the number of on-site and/or off-site below market rate units for rent and/or for sale.

1. Fee _____ % of affordable housing requirement.

2. On-Site _____ % of affordable housing requirement.

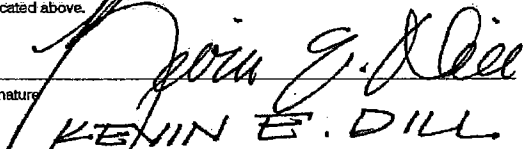
NUMBER OF AFFORDABLE UNITS TO BE LOCATED ON-SITE					
Total Affordable Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units

3. Off-Site _____ % of affordable housing requirement.

NUMBER OF AFFORDABLE UNITS TO BE LOCATED OFF-SITE					
Total Affordable Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units

Area of Dwellings in Principal Project (in sq. feet)	Off-Site Project Address	
Area of Dwellings in Off-Site Project (in sq. feet)		
Off-Site Block/Lot(s)	Motion No. (if applicable)	Number of Market-Rate Units in the Off-site Project

Affidavit for Compliance with the Inclusionary Affordable Housing Program

CONTACT INFORMATION AND DECLARATION OF SPONSOR OF PRINCIPAL PROJECT	CONTACT INFORMATION AND DECLARATION OF SPONSOR OF OFF-SITE PROJECT (IF DIFFERENT)
Company Name K2-18, LLC	Company Name
Print Name of Contact Person KEVIN DILL	Print Name of Contact Person
Address 2513 OCTAVIA ST.	Address
City, State, Zip SAN FRANCISCO, CA 94123	City, State, Zip
Phone, Fax (415) 254-4790	Phone, Fax
Email kevinedill@comcast.net	Email
<small>I hereby declare that the information herein is accurate to the best of my knowledge and that I intend to satisfy the requirements of Planning Code Section 415 as indicated above.</small>	<small>I hereby declare that the information herein is accurate to the best of my knowledge and that I intend to satisfy the requirements of Planning Code Section 415 as indicated above.</small>
Signature  KEVIN E. DILL	Signature
Name (Print), Title/	Name (Print), Title

City and County of San Francisco



When Recorded Return to:

Denise A. Leadbetter
LAW OFFICES OF ANDREW M. ZACKS
235 Montgomery Street, Suite 810
San Francisco, CA 94104

Residential Rent Stabilization and
Arbitration Board

San Francisco Assessor-Recorder
Doris H. Ward, Assessor-Recorder
DOC- 99-6597751-00

Check Number 0190
Wednesday, JUN 02, 1999 12:54:41
REC \$7.00 PNC \$3.00 MIC \$1.00
STP \$2.00
T&L Fee \$13.00 Ref-0001100010
REEL #387 ENRGE 0743 #74/TD/1-3

MEMORANDUM OF NOTICE
REGARDING WITHDRAWAL OF RENTAL UNIT FROM RENT OR LEASE

This memorandum evidences that the undersigned, as the owner of the property described in Exhibit A attached, has filed a notice with the San Francisco Residential Rent Stabilization and Arbitration Board, which contents are certified under penalty of perjury, stating the intent to withdraw from rent or lease all units subject to existing tenancies at said property, pursuant to San Francisco Administrative Code Section 37.9A(f).

I declare under penalty of perjury under the laws of the State of California that the above statements are true and correct. This notice is signed on

May 25 / 99 1999 in SAN FRANCISCO California.
(date) (city)

J. M. ZACKS
Signature
JAC/SAP

NOTICE: RESTRICTIONS ON THE FUTURE USE OF THE PROPERTY WILL APPLY
TO SUCCESSORS IN INTEREST PURSUANT TO SAN FRANCISCO
ADMINISTRATIVE CODE SECTION 37.9A(h).

This document must be signed and notarized at the time it is submitted to the San Francisco Residential Rent Stabilization and Arbitration Board.

☒ An acknowledgment is attached to this Memorandum of Notice.

San Francisco Assessor-Recorder/Assessor/Recorder/1237

24-Hour Information Line TEL (415) 257-4800
FAX (415) 252-6599

INTERNET: <http://www.ci.sf.ca.us/rentst/>

ORIGINAL

25 Van Ness Avenue, #320
San Francisco, CA 94102-6032

READ, UNDERSTOOD & ACCEPTED
POS. 1 THRU 3
AND ACKNOWLEDGE RECEIPT OF COPY SAME

DATE

EXHIBIT A
LEGAL DESCRIPTION

6597751

II. Property Information

1900 - 1902 - 1904 - 1906 - 1910 18th Street and 580 and 590 De Haro Street
San Francisco, CA 94107

Legal Description - Assessor's Block 4008, Lot 3

Beginning at the point of intersection of the northerly line of Eighteenth Street and the westerly line of De Haro Street, running thence northerly along said westerly line of De Haro Street 150 feet, thence at a right angle westerly 100 feet; thence at a right angle southerly 150 feet to the northerly line of Eighteenth Street, thence easterly along said northerly line of Eighteenth Street 100 feet to the point of the beginning.

Being a portion of POTRERO NUEVO BLOCK NO 163

ACKNOWLEDGMENT

State of CA (597751)
 County of SF
 On 05-15-99 before me, John W. Lee
DATE NAME, TITLE OF OFFICE - E.G. JUDGE, CLERK, NOTARY PUBLIC
 personally appeared Ugo M. Sap
NAME(S) OF SIGNER(S)

☒ personally known to me - OR - ☒ proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



WITNESS my hand and official seal

[Signature]
SIGNATURE OF NOTARY

OPTIONAL

Though the data below is not required by law, it may prove valuable to persons relying on this document and could prevent fraudulent reattachment of this form.

CAPACITY CLAIMED BY SIGNER

DESCRIPTION OF ATTACHED DOCUMENT

- ☒ INDIVIDUAL
☐ CORPORATE OFFICER

Memorandum
(1) Rental Unit for
2 years or longer

- ☐ PARTIAL ☐ LIMITED
☐ GENERAL

- ☐ ATTORNEY IN FACT
☐ TRUSTEE
☐ CO-OWNER/JOINT TENANT
☐ OTHER

SIGNER IS REPRESENTING:
 NAME OF CORPORATION OR FIRM

SUMMARY OF NEIGHBORHOOD OUTREACH

Project: 580 De Haro St. (18th and De Haro)

Case No.: 2013.167C

Hearing date: February 11, 2016

The following is a summary of the neighborhood outreach conducted by the project sponsor:

Pre-Application Neighborhood Meeting 1: October 17, 2013

Pre-Application Neighborhood Meeting 2: March 10, 2014

Potrero Booster General Membership presentation: April 29, 2014

Potrero Boosters Development Committee presentation: April 15, 2015

Potrero View Article: June 2015 (The Potrero View is a free paper delivered to every Potrero Hill resident)

In addition to the above meetings and presentations, the following neighbors have reviewed the proposed plans and have written letters in support of the project. All adjacent and across the street residential neighbors have been contacted and have attended at least one of the meetings.

We are aware of 17 letters of support from the following addresses:

415 De Haro St.	1921 18 th St.
540 De Haro St.	543 Rhode Island St.
600 De Haro St.	573 Rhode Island St.
650-660 De Haro St.	579 Rhode Island St.
680 De Haro St.	615 Rhode Island St.
692 De Haro St.	677 Rhode Island St.
694 De Haro St. (2)	695 Rhode Island St.
696 De Haro St.	1919 19 th St.

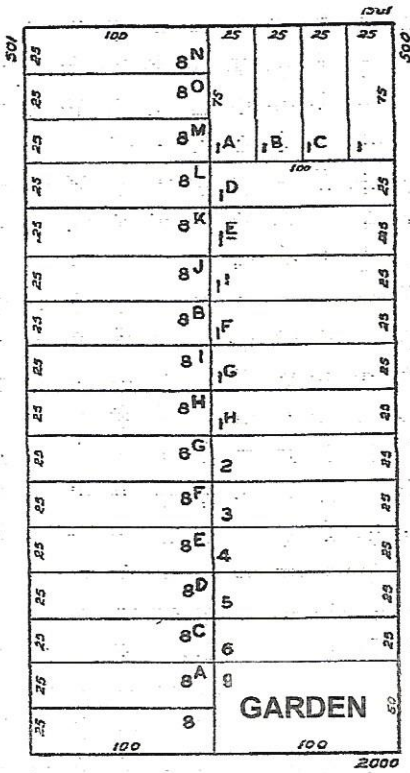
The following **Neighborhood Map** reflects the location of the (17) letters of support received from the following neighbors:

1. Kelly Keith
2. Kit Wilson
3. Michael Kopec
- 4./5. Barbara Presta/Guy Bristow
6. /7. Tom Murphy/Emmit Ward
8. Matt Jalbert
9. Russell Zeidner
- 10./11. Kathleen Wheater/Pierre La Belle
12. Tara Garneau
13. Ron Miguel
14. Kevin Solliday
- 15./16. Michael Gray/Sally Steele
17. Robert Dadurka

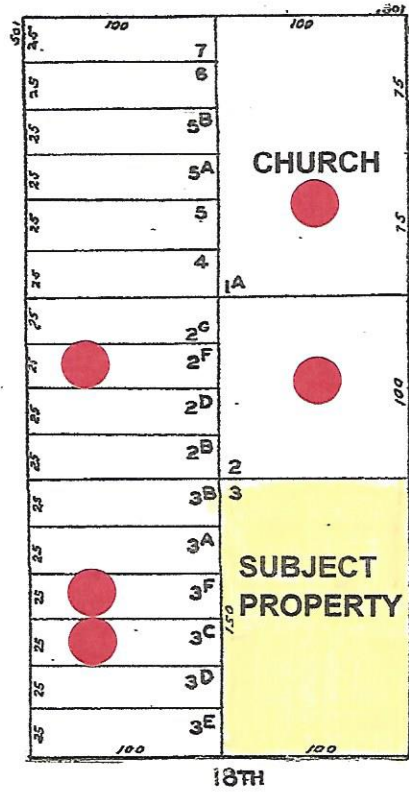
Note- There are (2) additional letters of support not indicated on Neighborhood Map that were received from:

1. Ron Froom (resident at 650 De Haro Street)
2. Joshua Reeves & Susan Hwang (Residents at 692 De Haro Street)

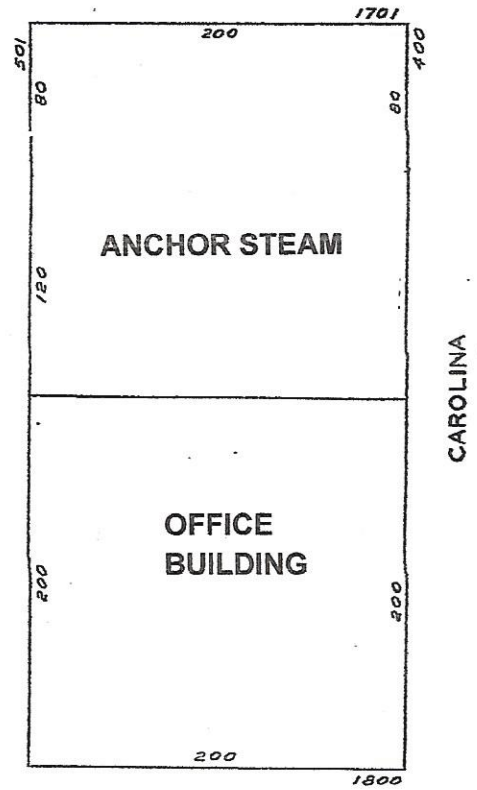
KANSAS



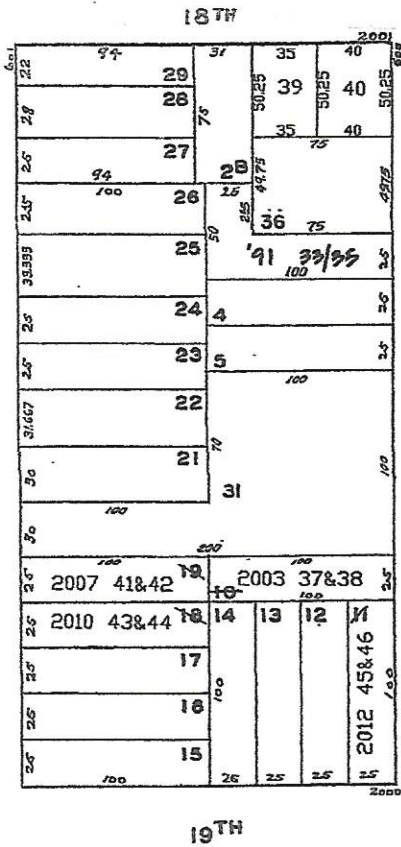
DE HARO



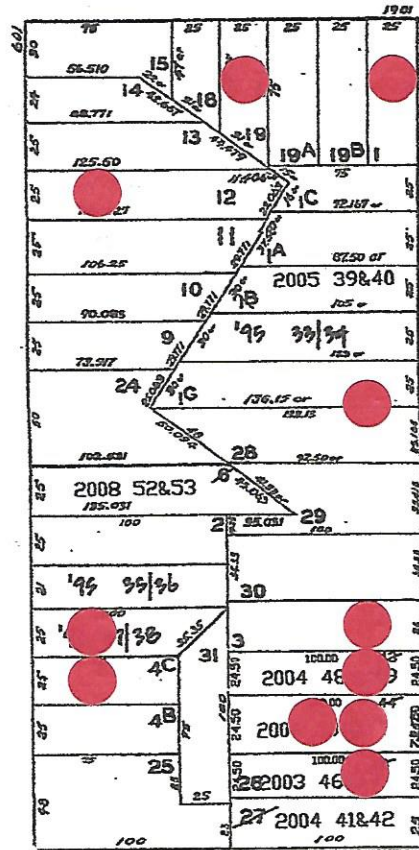
DE HARO



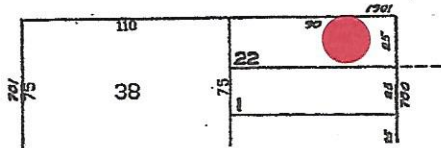
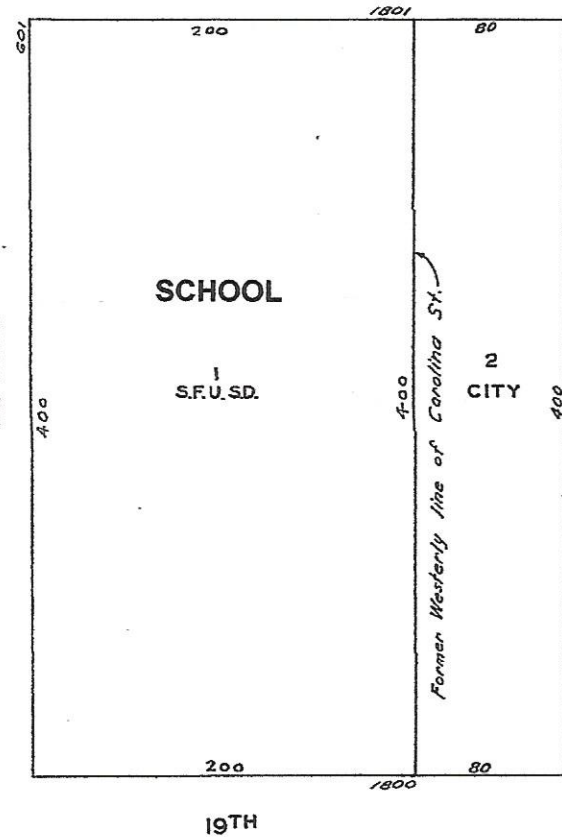
KANSAS



RHODE ISLAND



DE HARO



Townes, Chris (CPC)

From: Kelly <kellyskeith@hotmail.com>
Sent: Sunday, November 30, 2014 7:40 PM
To: Townes, Chris (CPC); Kevin Dill; Kelly Keith
Subject: 18th and De Haro treet

Kelly Keith
579 Rhode Island St.
San Francisco, Ca 94107

11/27/2014

Dear Mr. Townes:

I own and live in my single family home at 579 Rhode Island Street since 1992, adjacent to the west of the proposed project at 18th and De Haro Streets since 1993. I have attended the neighborhood meetings and have continued to stay in contact with Kevin Dill as his plans for the property have progressed.

I am in full support of the proposed project. However, my support is contingent upon the density of the project not increasing beyond the 9 units that have existed on that site. My home is a single family, as is the entire block of Rhode Island Street, with one exception.

Therefore, the proposed project consisting of 5 single family homes and two 2-unit buildings and maintaining the 9-unit density that has existed on the site is the right fit for the neighborhood. As you are aware we have several building projects going on within

½ mile from my house, Kevin Dill and his partners have listen to our concerns that we are losing what kept Potrero Hill so special, a friendly small community of homes. His 9 unit project fits perfectly into our special community.

My back yard butts up to this project and I speak from my personal experience this property has been a black eye on an otherwise great neighborhood for too long. The recent owner would not respond to my many requests to take care of his property and remove the Ivy that was planted on his property and has destroyed my old back yard fence. Kevin responded right away and had the Ivy removed from my current fence and also removed the overgrown Ivy from my neighbors back yard fence as well. I support the project and what it will bring to the neighborhood and I especially enjoy an open line of communication with the new owners. If you need any additional input please email me at: kellyskeith@hotmail.com

Sincerely,

Kelly Keith

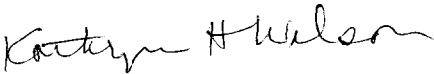
September 13 2014

Mr. Chris Townes
San Francisco Planning Department
1650 Mission Street, Suite 400 San Francisco, CA 94104
Re: 580 De Haro Street

Dear Mr. Townes:

I live at 1921 18th Street, a single family home across the street from the housing project proposed by my neighbor, Kevin Dill. I am very pleased that Kevin is proposing to demolish the existing dilapidated buildings, while maintaining the original 9-unit density with his new project. The proposed five single family homes and two 2-unit buildings are appropriate for the neighborhood and Kevin has my full support.

Best regards,

A handwritten signature in cursive script that reads "Kathryn H. Wilson".

Kathryn H. Wilson

Michael Kopec
695 Rhode Island Street
San Francisco, CA 94107

October 9, 2014

Mr. Chris Townes
City and County of San Francisco
Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

Subject: Proposed project at 18th and De Haro Streets

Dear Mr. Townes:

I am writing in support of the proposed project at 18th and De Haro Streets. My wife and I have lived in our single family home at 695 Rhode Island St. for over 35 years and know first hand what an eye sore the SW corner of 18th and De Haro has been. We were glad to hear that our neighbor, Kevin Dill, had purchased the property with the intention of demolishing the existing buildings and building new housing on that site.

Kevin did another project in the neighborhood about 12 years ago, 692-698 De Haro Street. That project is a great example of Kevin's work and the design and attention to detail that he will surely execute at 18th and De Haro. I would like to add that the rear yards and mid-block open space of the 692-698 properties and other adjacent properties is incredible and we have benefited from it, since it is viewed from our property. The mid-block open space has no fences on 7 adjacent properties, through Kevin's neighborhood coordination and landscaping efforts. It is a truly unique and wonderful mid-block open space.

We are also happy to see that there are 5 new single family homes proposed for the property. Our home is a single family, as is the case for most of the properties adjacent to the subject site on Rhode Island St. I can assure you that the proposal to match the 9-unit density that has existed on that site with a project that includes five single family homes and two 2-unit buildings is welcomed by the surrounding neighbors.

The proposed project is well designed and much needed. We hope that you, the Planning Department and the Planning Commission will support and approve this project for the benefit of the entire neighborhood.

Thank you,



Michael Kopec

September 25, 2014

City and County of San Francisco
Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94104
Attn: Chris Townes

Re: 580 De Haro

Dear Mr. Townes:

We own the building at 694 De Haro Street, about a half block from the proposed project at 18th and De Haro. We are writing to let you know that we fully support the proposed project. The project was presented at the April Potrero Boosters meeting and was extremely well received, especially with regard to the density. Most of the projects presented to the Boosters are large scale multi-family buildings, so this project was a welcome reprieve from the norm. Unlike most of the sites and projects proposed in the Eastern neighborhoods, the immediate neighborhood consists primarily of single family homes. Therefore, the mix of five single family homes and two 2-unit buildings is perfect for the neighborhood.

The current property has always been a scar in an otherwise wonderful neighborhood. The existing buildings are architecturally insignificant, vacant, boarded-up and downright ugly. They should be torn down as proposed. The proposed new housing is well-designed, contemporary and to scale with the surrounding neighborhood, with each house having a unique design rather than a continuation of the same façades, as is too often the case with new projects in the Eastern neighborhoods.

The immediate need for new housing in the city is yet another reason that this project should be approved without further delay.

Sincerely,



Barbara Presta



Guy Bristow

August 25, 2014

San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94104

Attn: Mr. Chris Townes

Re: 580 De Haro Street

Dear Mr. Townes:

Having met with the project sponsors for 580 De Haro Street, which adjoins our property at 540 De Haro Street, and reviewed their plans, we are confident in expressing our full support for their project.

We believe the proposed new housing will serve to beautify the neighborhood by replacing a number of dilapidated buildings with much needed family homes. The proposed density, height and bulk of the project are appropriate for the zoning and the surrounding neighborhood. This project will be a welcome improvement, as evidenced by the warm reception it received at the Potrero Boosters Meeting.

We look forward to coordinating with the owners of this project toward its approval and completion.

Best regards,


Tom Murphy

Emmet Ward


Townes, Chris (CPC)

From: Matt Jalbert <mattjal@gmail.com>
Sent: Tuesday, October 07, 2014 2:47 PM
To: Townes, Chris (CPC)
Subject: 18th and De Haro building by Kevin Dill

Dear Chris,

I have lived at 680 De Haro for over 18 years and have been curious about the unused residences at the southwest corner of 18th and De Haro. I was surprised to hear that my neighbor, Kevin Dill has purchased the property and plans to tear down the existing buildings and build new housing on the property.

I was living at my current residence when 692-698 De Haro was built by Mr. Dill. That project was acceptable in that it made more housing available in the neighborhood, and the same will probably be true for the project at 18th and De Haro: more luxury housing for the very wealthiest people in our society (or simply foreign investors?).

I support the proposed project and look forward, with some reservation and trepidation, to the new neighbors it will bring.

Thanks,
Matt Jalbert

Townes, Chris (CPC)

From: Russell Zeidner <russell@flipturn.net>
Sent: Friday, January 29, 2016 3:30 PM
To: Townes, Chris (CPC)
Subject: 18th & De Haro

Dear Chris,

I understand that you are the Planner for the proposed project at 18th and De Haro Streets. My home is at 615 Rhode Island Street, about a half block from the proposed project. I attended the neighborhood meeting on March 10, 2014 —almost 2 years ago!— and had reviewed the drawings then. I am also an architect.

I would like to express my support for the project. The property has been in a state of disuse since I moved to Potrero in 1998 and a source of great dismay over the years. The proposed project will be a great improvement—particularly if the new housing can remain at a scale and density that is appropriate for the site and neighborhood. Density, height and parking are the obvious flash points in a residential neighborhood already greatly strained by explosive development.

We appreciate the opportunity to monitor the progress of the design and planning approvals and look forward to the completion of the this project.

Best regards,

Russell

Russell Zeidner

**615 Rhode Island Street
San Francisco, CA 94107**

**russell@flipturn.net
415.533.3692**

September 12, 2014

Mr. Chris Townes
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94104

Re: 580 De Haro Street

Dear Mr. Townes:

We are writing to express our support for the proposed project at the northwest corner of 18th and De Haro Streets. Our single family home at 573 Rhode Island Street is adjacent to the proposed project to the west. We have attended the neighborhood meeting and have reviewed the proposed plans and feel that this project will provide a dramatic improvement to the neighborhood. We also visited the Dill's home at 692 De Haro St., one of 4 residential buildings (692-698 De Haro St.) they built in 2002 and similar in scale to the project they are proposing at 580 De Haro St.

Our block of Rhode Island Street is almost exclusively single family homes. We are delighted that Kevin is following the single family home pattern of the immediate neighborhood and maintaining the original density of 9 units that existed on the site. In addition, there are currently vacant buildings at our rear fence line that will be demolished, so we are very pleased with the prospect of rear yards and mid-block open space that does not currently exist.

We hope that the Planning Department will support this project and we look forward to the approval and completion.

Sincerely,



Pierre La Belle



Kathleen Wheeler

Townes, Chris (CPC)

From: Tara Garneau <tarapgarneau@gmail.com>
Sent: Thursday, December 18, 2014 11:34 AM
To: Townes, Chris (CPC)
Subject: We support 18th and De Haro

Dear Mr. Townes:

We recently learned about the proposed 9-unit housing project at the corner of 18th and De Haro Streets. We live at 694B De Haro, just a half block up the hill. As you are probably aware, the buildings on that site are ugly, vacant, dilapidated and boarded up. The proposed housing is much needed and would be appreciated by the neighborhood. We wanted you to know that we support the project and hope it will be approved and constructed soon.

Thank you,

Nicolas Darveau-Garneau and Tara Garneau

Townes, Chris (CPC)

From: Ron Miguel <rm@well.com>
Sent: Wednesday, October 01, 2014 1:03 PM
To: Townes, Chris (CPC)
Cc: 'Kevin Dill'
Subject: 580 De Haro St. @ 18th St.

Chris – I understand that you have been assigned this project. My wife and I have lived for 39 years on the SW corner of 18th & De Haro, directly across from the site. It was never maintained with any regard for the neighborhood, and fell into boarded-up disrepair over 10 years ago. I knew Kevin Dill from his development of property on De Haro at 19th St. a few years back; have been in those units; and appreciated the manner in which he interfaced with the neighborhood – in spite of nimby resistance – and followed through with a project that is an asset to our neighborhood.

Kevin has proceeded in exactly the same way this time. He has individually engaged each one of the adjoining and across-the-street neighbors – visiting their property, discussing sight lines, heights, types of units, and construction realities. He is also in communication with the new owners of 540 De Haro, abutting his property to the north.

I welcome this project as being completely compatible with the immediate neighborhood in form and density, as well as relieving the current blight on that corner. It served as a homeless encampment from time to time – weed infested and a fire hazard.

Please let me know if I can be of assistance in moving this project along.

Thanks,

Ron Miguel
600 De Haro St.
San Francisco, CA 94107
415-601-0708

Townes, Chris (CPC)

From: Kevin & Amy Solliday <solliday@pacbell.net>
Sent: Sunday, October 26, 2014 10:11 AM
To: Townes, Chris (CPC)
Subject: Project at 18th & DeHaro, NW Corner

Dear Chris,

My wife and I live at 677 Rhode Island Street, between 18th & 19th. We have become aware of the proposed project a block away at 18th and De Haro Streets, and would like to express our full support.

As you probably know, that property has been in a state of disrepair for over a decade. For neighbors like us, the demolition of the existing buildings and construction of new housing can't happen soon enough. The improvement to the neighborhood will be dramatic and much appreciated. The scale and density of the proposed project is appropriate for the site and the contemporary architecture will be a refreshing addition to the neighborhood.

Again, we support this project and hope it will get approved and built soon.

Thanks,

Kevin Solliday
677 Rhode Island St.
San Francisco, CA 94107

— RE: 580 DE HARO ST
(131671C)

September 17, 2014

Mr. Chris Townes
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94104

Re: 18th and De Haro Street Project

Dear Mr. Townes:

We own and live at 696 De Haro Street, one of four buildings that were built by Kevin Dill about 12 years ago. We understand that Mr. Dill and his partner are planning to build 9 units down the street from us at 18th and De Haro. We have often wondered why the current buildings were vacant and so dilapidated and we are thrilled that new housing is proposed for that site. As was the case for 692-698 De Haro, the pattern of the neighborhood is of individual buildings on 25 foot lots rather than a monolithic multi-family building, so we applaud the project sponsor for keeping the lots and density consistent with the immediate neighborhood, which consists mostly of single family homes and some two-unit buildings.

692-698 De Haro is a great project and we have lived here since it was built. The proposed project at 18th and De Haro will be similar in the way the buildings are set into the hillside and gracefully step down the hill. We can attest first hand to design and attention to detail that Mr. Dill used in our building and will surely use on the 18th and De Haro project. We are also pleased to know that a neighbor of ours will be in charge of the project, as we know that he will listen to the concerns of the neighborhood, especially during construction.

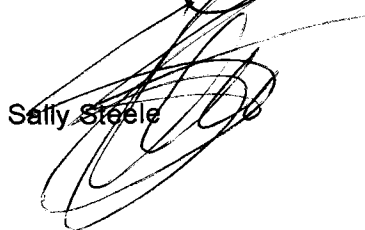
We are in full support of this project. It is the right fit for the neighborhood in every respect.

Sincerely,



Michael Gray

Michael Gray



Sally Steele

Sally Steele

696 B De Haro Street, San Francisco CA 94107 michael.gray@sotech.com sjsteele@mac.com

October 2, 2014

Mr. Chris Townes
San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

RE: 580 De Haro Street

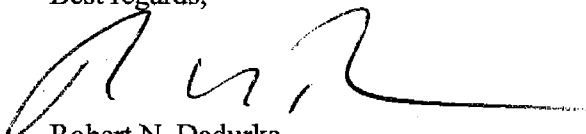
Dear Mr. Townes:

I am writing this letter as one of the owners of Onyx, a residential project on the corner of De Haro and Mariposa Street. Phase one construction was completed earlier this year and Phase 2 is currently under construction.

I am pleased to hear about the proposed project up the street from us at De Haro and 18th Streets. That property has been a blight on De Haro Street and the surrounding neighborhood for over 15 years. The proposed project will be a huge improvement to the neighborhood. I have reviewed the drawings and find the proposed project to be a great fit for the site. The scale, density and architectural design are perfect for the property and the surrounding neighborhood context.

I am in full support of this project and we hope the Planning Department will support this project at the Planning Commission hearing.

Best regards,



Robert N. Dadurka

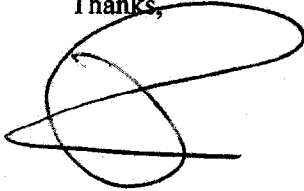
Dear Mr. Townes:

My family owns the property at 650 De Haro Street. Our property is just a half block up the street from the proposed project at the corner of 18th and De Haro Streets. For as long as our family has owned the property, the NW corner of 18th and De Haro has been a blight on the neighborhood and we always wondered when someone would demolish the buildings and build new housing on that site. We are pleased to hear that the time has finally come and we welcome and support the proposed project.

As I am sure you are well aware, there are over one thousand new multi-family units proposed in the neighborhood, especially near Jackson Park. This new density will have a dramatic impact on the neighborhood and will put a major stress on parking, traffic and public services. The area to the south and southwest of the proposed project does not have the same multi-family high density pattern as the areas to the north. Therefore, we agree with the project sponsor's plan to match the existing density of 9-units for their project. This density is appropriate for the site and will have no negative impact on the neighborhood. In fact, this project will have a very positive impact on the neighborhood and the mix of single family and two-unit buildings matches the existing neighborhood character.

We are in full support of this project!

Thanks,

A handwritten signature in black ink, consisting of a large, stylized loop that crosses itself, with a horizontal line extending to the left.

Ron Froom

Townes, Chris (CPC)

From: Joshua Reeves <joshua.reeves@gmail.com>
Sent: Monday, January 25, 2016 6:17 PM
To: Townes, Chris (CPC)
Cc: Susan Hwang
Subject: writing in support of project at 18th and De Haro Street

Dear Mr. Townes,

We live a half block up the hill from the proposed project proposed for the northwest corner of 18th and De Haro. We first noticed the property when we were thinking of purchasing our home. We were concerned about the boarded up buildings so close to the home we were considering to buy. After researching the subject site, we were thrilled to learn that a beautifully designed project of five single family homes and two 2-unit buildings was being proposed. We went ahead with the purchase of our home last spring and we love the neighborhood. We have also heard that the Planning Commission date is coming up in February and we thought we should let you know that we fully support the project.

In addition to the architectural design, we are very pleased that the owner did not increase the density beyond the 9 units that previously existed in those dilapidated buildings. As I am sure you know, that block is mostly single family homes. While we understand the need for more housing in the city, our neighborhood has more units in the pipeline than any other and the vast majority of those thousands of units are in large multi-family buildings. The impact on parking, traffic and city services is going to be substantial. That is why we are so pleased and supportive of the project at 18th and De Haro. It is the right fit for the neighborhood in every way.

We hope you and the Planning Commission will approve this project.

Thank you,

Joshua Reeves and Susan Hwang
692 De Haro Street

CITY INFORMATION

580 DEHARO STREET

BLOCK: 4008
LOT: 003

ZONING: RH-2
HT. LIMIT: 40X
OCCUPANCY: R3

PROPOSED CONSTRUCTION: TYPE 5A SPRINKLERED

LOT SIZE:

EXISTING:	100'X150'	15,000 SQ.FT.
-----------	-----------	---------------

PROPOSED:

560-562 DE HARO ST.	25'X100'	2500 SQ.FT.
566-568 DE HARO ST.	25'X100'	2500 SQ.FT.
586-588 DE HARO ST.	25'X75'	1875 SQ.FT.
596-598 DE HARO ST.	25'X75'	1875 SQ.FT.
1916-1918 18 TH ST.	25'X75'	1875 SQ.FT.
1928 18 TH ST.	25'X75'	1875 SQ.FT.
1938 18 TH ST.	25'X100'	2500 SQ.FT.

BUILDING CODE:

2013 CALIFORNIA BUILDING CODE (CBC)

2013 SAN FRANCISCO ADDENDUMS TO CBC

ENERGY CODE - TITLE 24

2013 SAN FRANCISCO MECH. & ELEC. CODES

2013 SAN FRANCISCO FIRE CODES

SCOPE OF WORK:

SUBDIVIDE LOT INTO 7 LOTS. 5 OF 7 LOTS WILL HAVE 2 RESIDENTIAL UNITS. 2 LOTS WILL HAVE SINGLE FAMILY HOMES. 12 TOTAL RESIDENTIAL UNITS ON 7 LOTS.

CONDITIONAL USE APPLICATION REQUEST:

CONDITIONAL USE REQUIRED BY PLANNING CODE SEC. 317 TO DEMOLISH THREE OR MORE RESIDENTIAL UNITS.

VICINITY MAP

DEHARO STREET

SITE

18th STREET

RHODE ISLAND STREET

SYMBOLS

3

DOOR NO.

5

INTERIOR & EXTERIOR ELEVATION NO. SHEET NO.

8

WINDOW NO.

1

INTERIOR ELEV. NO. SHEET NO.

6

DETAIL NO. SHEET NO.

A-1

DINING ROOM

ROOM NAME

4

SECTION NO. SHEET NO.

A-4

EL=164'-2"

ELEVATION

ABBREVIATIONS

&	AND	FDN.	FOUNDATION	PT.	POINT
<	ANGLE	FIN.	FLOOR	PTN.	PARTITION
@	CENTERLINE	FLR.	FLOOR	R.	RISER
C	DIAMETER OR ROUND	F.O.C.	FACE OF CONCRETE	R.D.	ROOF DRAIN
P	PROPERTY LINE	F.O.F.	FACE OF FINISH	REF.	REFRIGERATOR
ABV	ABOVE	FTG.	FOOT OR FEET	REIN.	REINFORCED
AC	AIR CONDITIONER	FUR.	FURRING	R.O.	ROUGH OPENING
ADJ.	ADJUSTABLE	FUT.	FUTURE	RWD.	REDWOOD
A.F.F.	ABOVE FINISH FLOOR			R.W.L.	RAIN WATER LEADER
APPROX.	APPROXIMATE	GALV.	GALVANIZED	S.C.	SOLID CORE
ARCH.	ARCHITECTURAL	GD.	GRADE	SCHED.	SCHEDULE
BD.	BOARD	GYP.	GYP.SUM	SECT.	SECTION
BLDG.	BUILDING	H.B.	HOSE BIB	SHT.	DRAWING SHEET
BLK.	BLOCK	H.C.	HANDICAPPED	SHL.	SIMILAR
BLKS.	BLOCKING	H.C.C.	HOLLOW CORE	SPEC.	SPECIFICATION
BM.	BEAM	H.D.	HARDWARE	SST.	STAINLESS STEEL
B.W.	BOTTOM OF WALL	HDWD.	HARDWOOD	STD.	STANDARD
CAB.	CABINET	H.M.	HOLLOW METAL	STL.	STEEL
CEIL.	CEILING	HT.	HEIGHT	STOR.	STORAGE
CER.	CERAMIC	HWYH	HOT WATER HEATER	STR.	STRUCTURAL
CLD.	CEILING	INSUL.	INSULATION	SUPR.	SUSPENDED
CL.	CLOSET	INT.	INTERIOR	SYM.	SYMMETRICAL
CLR.	CLEAR			SEE	SEE STRUCTURAL DRAWINGS
COL.	COLUMN	JAN.	JANITOR	T.	TREAD
CONC.	CONCRETE	JT.	JOINT	T.B.D.	TO BE DETERMINED
CONT.	CONTINUOUS	LAM.	LAMINATE	T.B.S.	TO BE SELECTED
CTR.	CENTER	LAV.	LAVATORY	T.C.	TOP OF CURB
		LT.	LIGHT	TEL.	TELEPHONE
DBL.	DOUBLE	MAX.	MAXIMUM	T&G	TONGUE & GROOVE
DEPT.	DEPARTMENT	MECH.	MECHANICAL	T.P.	TOP OF PAVEMENT
D.F.	DETAIL	MEMB.	MEMBRANE	T.W.	TOP OF WALL
DET.	DIAMETER	MFR.	MANUFACTURER	TYP.	TYPICAL
DIM.	DIMENSION	MIN.	MINIMUM	U.O.N.	UNLESS OTHERWISE NOTED
DN.	DOWN	MISC.	MISCELLANEOUS	V.I.F.	VERIFY IN FIELD
DTL.	DETAIL	M.O.	MASONRY OPENING	VERT.	VERTICAL
DW.	DISHWASHER	MTD.	MOUNTED		
DWG.	DRAWING	(N)	NEW		
(E)	EXISTING	N.L.C.	NOT IN CONTRACT	W.	WITH
EA.	EACH	NO. OR #	NUMBER	W.C.	WATER CLOSET
EL.	ELEVATION	N.T.S.	NOT TO SCALE	WO	WASHER/DRYER
ELEC.	ELECTRICAL	O.C.	ON CENTER	WO.	WOOD
ELEV.	ELEVATOR	O.D.	OUTSIDE DIAMETER	WOD	WINDOW
EQ.	EQUAL			WO	WITHOUT
EQUIP.	EQUIPMENT	PL.	PLATE	W.P.	WATERPROOF
EXP.	EXPANSION	PLYWD.	PLYWOOD	WT.	WEIGHT
EXT.	EXTERIOR	PR.	PRESSURE TREATED		
FAU.	FORCED AIR UNIT	P.T.			
F.D.	FLOOR DRAIN				

GENERAL NOTES

1. ALL DIMENSIONS SHOWN ARE TO FACE OF STUD, FACE OF CONCRETE, OR FACE OF BLOCK, U.O.N. VERTICAL DIMENSIONS ARE SHOWN TO TOP OF SLAB, FLOOR JOISTS OR FLOOR FRAMING.

2. CONTRACTOR AND SUBCONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS PRIOR TO COMMENCING WORK.

3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DIMENSIONS/CONDITIONS SHOWN IN THESE DRAWINGS.

4. MECHANICAL, PLUMBING, ELECTRICAL AND SPRINKLER PERMITS SHALL BE THE RESPONSIBILITY OF THOSE SUBCONTRACTORS.

5. AUTOMATIC FIRE SPRINKLER SYSTEM DESIGN AND CONSTRUCTION IS TO BE PERFORMED UNDER A SEPARATE PERMIT OBTAINED BY THE FIRE PROTECTION SUBCONTRACTOR. FIRE SPRINKLERS ARE DESIGNED TO BE ZONED BY FLOOR. FIRE ALARM ZONED BY FLOOR AND DEVICE.

6. STREET AND SIDEWALK IMPROVEMENTS SHALL BE CONDUCTED UNDER SEPARATE PERMITS.

7. CONTRACTOR SHALL REVIEW AND UTILIZE SPECIFICATIONS PROVIDED IN CONJUNCTION WITH THIS SET OF CONSTRUCTION DOCUMENTS. ARCHITECT SHOULD BE NOTIFIED OF ANY DISCREPANCY BETWEEN DRAWINGS AND SPECIFICATIONS.

8. ELEVATOR TO COMPLY WITH CODES SET FORTH IN CHAPTER 30 OF THE USC. INSTALLATION OF THE ELEVATOR ACCESS HATCH WILL BE IN COMPLIANCE WITH NFPA 72, 1996 EDITION, UNDER SEPARATE PERMIT.

9. SHORING AND UNDERPINNING WORK TO BE UNDER SEPARATE PERMITS.

10. ALL WORK PERFORMED WILL COMPLY WITH THE AMERICAN DISABILITIES ACT OUTLINED IN SECTIONS 108.11 IN THE CBC. SEE SHEET A1.2 FOR STANDARD ACCESSIBILITY DETAILS APPLICABLE THROUGHOUT PROJECT.

11. SOUND TRANSMISSION CONTROL TO BE PROVIDED AS REQUIRED BY APPENDIX CHAPTER 35, 1992 SFGBC (STC AND IIC OF 50 BETWEEN UNITS).

12. THE BUILDING SHALL COMPLY WITH VENTILATION REQUIREMENTS. SEE CODE SECTION 1202.2.7

DRAWING SCHEDULE

ARCHITECTURAL

A1.0 SITE PLAN, CITY INFORMATION

A1.1 BLOCK MAP

A1.2 (E) SITE/DEMO PLAN

A1.2.1 SITE PICS

A1.3 PROPOSED SITE PLAN-COLOR

A1.4 PERSPECTIVES

C1.0 SURVEY

A2.0 GARAGE/BASEMENT FLOOR PLANS

A2.1 1ST FLOOR PLANS

A2.2 2ND FLOOR PLANS

A2.3 3RD FLOOR PLANS

A3.0 SOUTH & EAST ELEVATIONS

A4.0 BUILDING SECTIONS

PROJECT DIRECTORY

ARCHITECT

Tony Pantaleoni
Kotas/Pantaleoni Architects
70 Zoe Street, Suite 200
San Francisco, CA. 94107
415-495-4051
415-495-6885 FAX

SURVEYORS

Landford Land Surveying
424 Preston Ct.
Livermore, CA. 94551
510-539-5200

PARCEL INFO:

ADDRESS	EXISTING UNITS	PROPOSED UNITS
1900-1904 18th St.	3	
1910 18th St.	1	
580 De Haro	1 (commercial)	
590 De Haro Building 1	1	
590 De Haro Building 2	1	
590 De Haro Building 3	1	
590 De Haro Building 4 & 5	1*	
560-562 De Haro		2
566-568 De Haro		2
586-588 De Haro		2
596-598 De Haro		2
1916-1918 18th St.		2
1928 18th St.		1
1938 18th St.		1

* BUILDINGS 4 & 5 WERE 2 UNITS COMBINED TO SINGLE FAMILY DWELLING IN 1999.

GROSS FLOOR AREAS (PER PC SEC.102) & UNITS

	EXISTING - GROSS SQ.FT.	EXISTING TO REMAIN- GROSS SQ.FT.	NEW CONSTRUCTION- GROSS SQ.FT. (INC. Gar.)
RESIDENTIAL	5,819	0	25,622
OFFICE	1,744	0	0
TOTAL	7,563	0	25,622

	EXISTING	PROPOSED
DWELLING UNITS	8*	12
# OF BEDROOMS	8	36
PARKING SPACES	6	12
# OF BUILDINGS	7	7
HEIGHT OF BLDGS.	VARIES TO 40 FT.	VARIES (30 TO 40 FT.)
BICYCLE PARKING	0	24 (CLASS 1)
TREES	15 STREET TREES TO BE REMOVED (APPROVED BY DPW)	14 STREET TREES
MID-BLOCK OPEN SPACE	5625	4891
USABLE OPEN SPACE	5625	8427

* WAS 9 UNITS. BUILDINGS 4 & 5 @ 590 DE HARO (2 UNITS) COMBINED TO ONE UNIT IN 1999.

OPEN SPACE

ADDRESS	BEDROOM COUNT	USABLE OPEN SPACE	UNIT USABLE AREA
560 De Haro	3	625	2037
562 De Haro	3	472	2099
566 De Haro	3	966	1744
568 De Haro	3	550	1497
586 De Haro	3	500	1596
588 De Haro	3	553	1442
596 De Haro	3	662	1557
598 De Haro	3	578	1584
1916 18th St.	2	663	1267
1918 18th St.	3	583	1618
1928 18th St.	4	1150	3140
1938 18th St.	3	1126	2987
TOTAL	36	8427	22568

Kotas/
Pantaleoni
Architects

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Revisions

By	
BM	CU SET 02.01.16

12 NEW RESIDENTIAL UNITS
DEHARO @ 18TH ST. - 580 DEHARO STREET
SAN FRANCISCO, CA

Site Plan

ANCHOR BREWING COMPANY

150'-0"

100'-0"

18 Th Street

18th and Rhode Island Permaculture Garden

CHURCH (ST. GREGORY EPISCOPAL)

INDUSTRIAL BUILDING (2-STORIES)

SITE (SINGLE LOT)

OFFICE BUILDING (4-STORIES)

BUS STOP

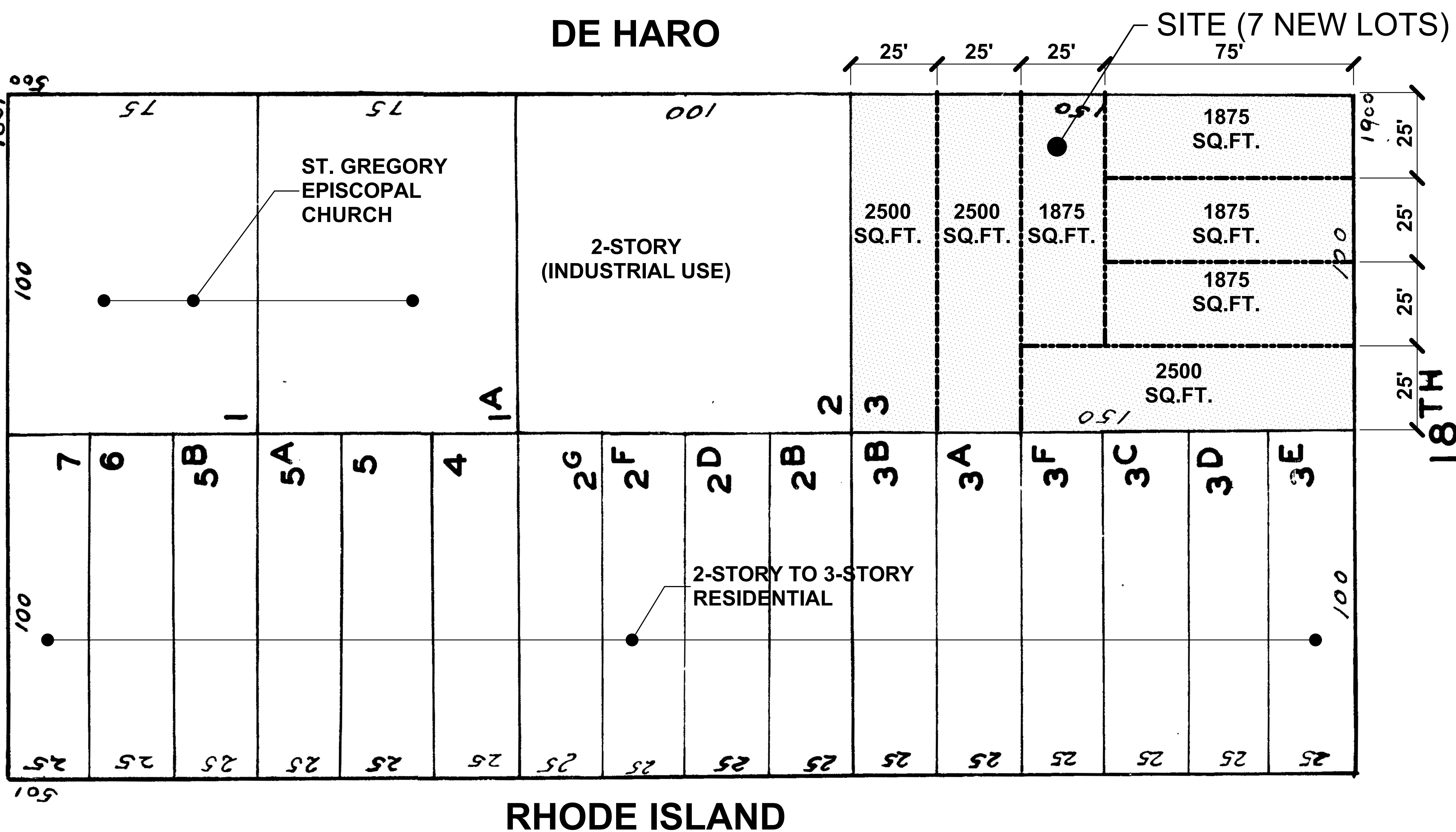
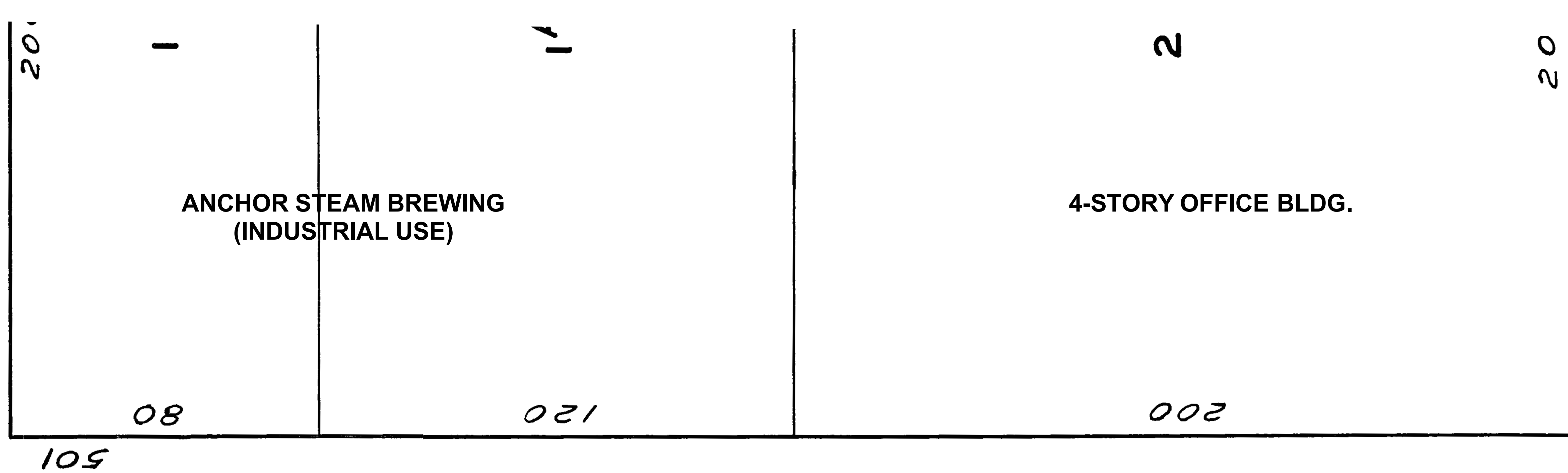
SCHOOL DROP-OFF PICK-UP

SCHOOL (INTERNATIONAL STUDIES ACADEMY)

ABBREVIATIONS

&	AND	FDN.	FOUNDATION	PT.	POINT
<	ANGLE	FIN.	FLOOR	PTN.	PARTITION
@	CENTERLINE	FLR.	FLOOR	R.	RISER
C	DIAMETER OR ROUND	F.O.C.	FACE OF CONCRETE	R.D.	ROOF DRAIN
P	PROPERTY LINE	F.O.F.	FACE OF FINISH	REF.	REFRIGERATOR
ABV	ABOVE	FTG.	FOOT OR FEET	REIN.	REINFORCED
AC	AIR CONDITIONER	FUR.	FURRING	R.O.	ROUGH OPENING
ADJ.	ADJUSTABLE	FUT.	FUTURE	RWD.	REDWOOD
A.F.F.	ABOVE FINISH FLOOR			R.W.L.	RAIN WATER LEADER
APPROX.	APPROXIMATE	GALV.	GALVANIZED	S.C.	SOLID CORE
ARCH.	ARCHITECTURAL	GD.	GRADE	SCHED.	SCHEDULE
BD.	BOARD	GYP.	GYP.SUM	SECT.	SECTION
BLDG.	BUILDING	H.B.	HOSE BIB	SHT.	DRAWING SHEET
BLK.	BLOCK	H.C.	HANDICAPPED	SHL.	SIMILAR
BLKS.	BLOCKING	H.C.C.	HOLLOW CORE	SPEC.	SPECIFICATION
BM.	BEAM	H.D.	HARDWARE	SST.	STAINLESS STEEL
B.W.	BOTTOM OF WALL	HDWD.	HARDWOOD	STD.	STANDARD
CAB.	CABINET	H.M.	HOLLOW METAL	STL.	STEEL
CEIL.	CEILING	HT.	HEIGHT	STOR.	STORAGE
CER.	CERAMIC	HWYH	HOT WATER HEATER	STR.	STRUCTURAL
CLD.	CEILING	INSUL.	INSULATION	SUPR.	SUSPENDED
CL.	CLOSET	INT.	INTERIOR	SYM.	SYMMETRICAL
CLR.	CLEAR			SEE	SEE STRUCTURAL DRAWINGS
COL.	COLUMN	JAN.	JANITOR	T.	TREAD
CONC.	CONCRETE	JT.	JOINT	T.B.D.	TO BE DETERMINED
CONT.	CONTINUOUS	LAM.	LAMINATE	T.B.S.	TO BE SELECTED
CTR.	CENTER	LAV.	LAVATORY	T.C.	TOP OF CURB
		LT.	LIGHT	TEL.	TELEPHONE
DBL.	DOUBLE	MAX.	MAXIMUM	T&G	TONGUE & GROOVE
DEPT.	DEPARTMENT	MECH.	MECHANICAL	T.P.	TOP OF PAVEMENT
D.F.	DETAIL	MEMB.	MEMBRANE	T.W.	TOP OF WALL
DET.	DIAMETER	MFR.	MANUFACTURER	TYP.	TYPICAL
DIM.	DIMENSION	MIN.	MINIMUM	U.O.N.	UNLESS OTHERWISE NOTED
DN.	DOWN	MISC.	MISCELLANEOUS	V.I.F.	VERIFY IN FIELD
DTL.	DETAIL	M.O.	MASONRY OPENING	VERT.	VERTICAL
DW.	DISHWASHER	MTD.	MOUNTED		
DWG.	DRAWING	(N)	NEW		
(E)	EXISTING	N.L.C.	NOT IN CONTRACT	W.	WITH
EA.	EACH	NO. OR #	NUMBER	W.C.	WATER CLOSET
EL.	ELEVATION	N.T.S.	NOT TO SCALE	WO	WASHER/DRYER
ELEC.	ELECTRICAL	O.C.	ON CENTER	WO.	WOOD
ELEV.	ELEVATOR	O.D.	OUTSIDE DIAMETER	WOD	WINDOW
EQ.	EQUAL			WO	WITHOUT
EQUIP.	EQUIPMENT	PL.	PLATE	W.P.	WATERPROOF
EXP.	EXPANSION	PLYWD.	PLYWOOD	WT.	WEIGHT
EXT.	EXTERIOR	PR.	PRESSURE TREATED		
FAU.	FORCED AIR UNIT	P.T.			
F.D.	FLOOR DRAIN				

EXISTING VICINTY MAP





1 ViewAcross18thTo Site2
SCALE: 1:0.39



2 ViewAcrossDeharoTo Site1
SCALE: 1:0.39

Kotas/
Pantaleoni
Architects

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Revisions	By
CU SET 02.01.16	BM

12 NEW RESIDENTIAL UNITS
DEHARO @ 18TH ST. - 580 DEHARO STREET
SAN FRANCISCO, CA

Sheet Title:
CU SET
SITE PICS

Scale:
As Noted

Date:
12.05.13

Drawn By:
BM

Job Number:
3-913

Sheet:
A1.2.1



1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

Kotas/
Pantaleoni
Architects

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Revisions	By
CU SET 02.01.16	BM

12 NEW RESIDENTIAL UNITS
DEHARA @ 18TH ST. - 580 DEHARA STREET
SAN FRANCISCO, CA

Sheet Title:
CU SET
SITE PLAN

Scale:
As Noted

Date:
12.05.13

Drawn By:
BM

Job Number:
3-913

Sheet:
A1.3



1 South West Perspective
SCALE: 1:0.50



2 South Perspective
SCALE: 1:0.50



3 South East Perspective
SCALE: 1:0.50



4 North East Perspective
SCALE: 1:0.50

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Pantaleoni
Architects

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Revisions	By
CU SET 02.01.16	BM

12 NEW RESIDENTIAL UNITS
DEHARO @ 18TH ST. - 580 DEHARO STREET
SAN FRANCISCO, CA

Sheet Title:
CU SET
PERSPECTIVES

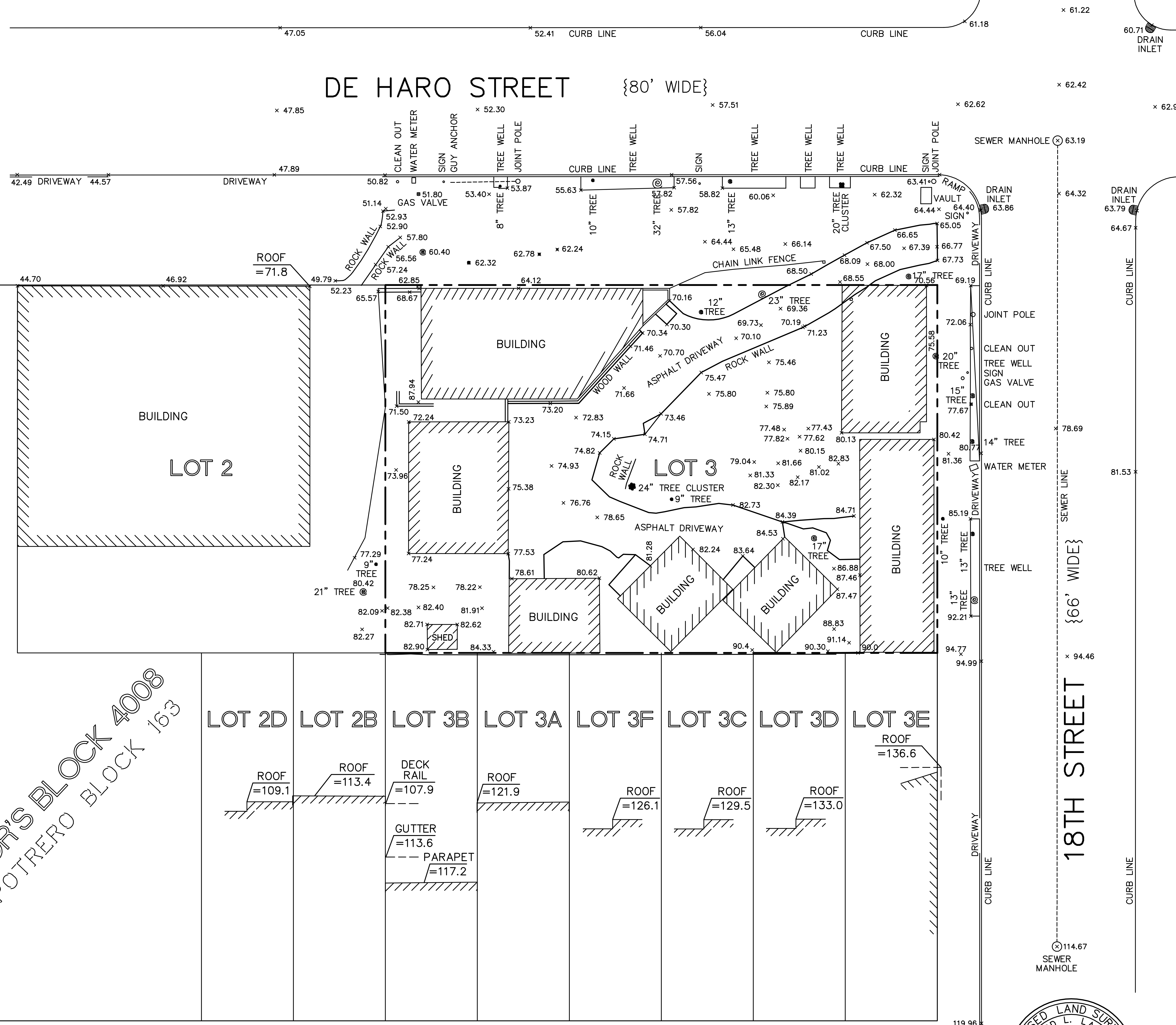
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As Noted

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12.05.13

Drawn By:
BM

Job Number:
3-913

Sheet:
A1.4



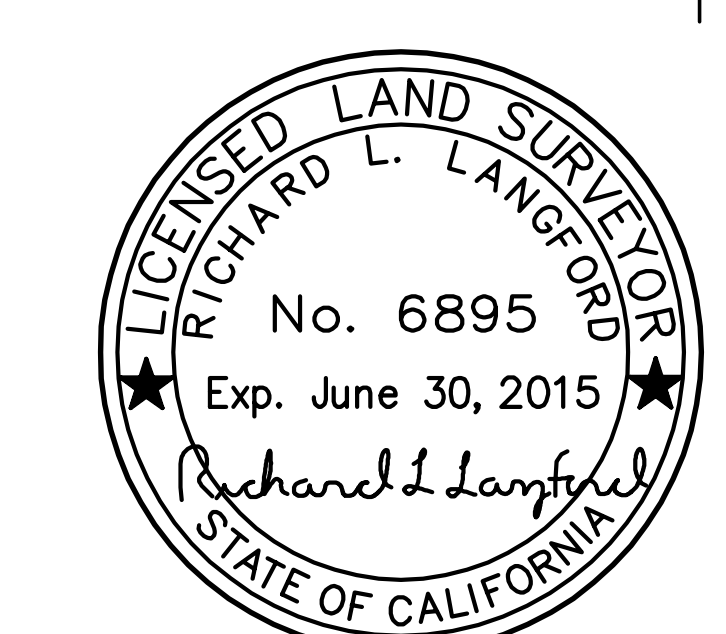
ASSESSOR'S BLOCK 4008
NEW POTRERO BLOCK 163

- NOTES:**
1. ALL DISTANCES ARE MEASURED IN FEET AND DECIMAL FEET.
 2. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
 3. THE ELEVATIONS SHOWN ON THIS SURVEY ARE BASED ON CITY OF SAN FRANCISCO DATUM. THE BENCHMARK FOR THIS SURVEY IS THE PLUS CUT ON THE WEST RIM OF THE SEWER MANHOLE 10 FEET WEST CORNER OF CENTERLINE INTERSECTION OF 18TH STREET AND DE HARO STREET. ELEVATION=63.209 FEET
- { } = RECORD/FILED INFORMATION SUCH AS STREET WIDTHS, DEED OR MAP INFORMATION SHOWN FOR REFERENCE.

SITE SURVEY

THE PROPERTY DESCRIBED IN THE DEED RECORDED JANUARY 11, 2005 ON REEL I 803 AT IMAGE 0894 IN THE OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA BEING LOT 3 OF ASSESSOR'S BLOCK 4008 KNOWN AS 580 DE HARO STREET SAN FRANCISCO, CALIFORNIA

DECEMBER 2013
REVISED FEBRUARY 1, 2014
ADD NEIGHBOR ROOF HEIGHTS



LANGFORD LAND SURVEYING
424 PRESTON COURT
LIVERMORE, CA 94551
PHONE (510) 530-5200
JOB#13-3119 DRAWING=3119DEHA.DWG

SHEET 1 OF 1

2/1/2014

Revisions	By
CU SET 02.01.16	BM

12 NEW RESIDENTIAL UNITS
DEHARO @ 18TH ST. - 580 DEHARO STREET
SAN FRANCISCO, CA

Sheet Title:
Floor Plans:
GARAGE/BASEMENT

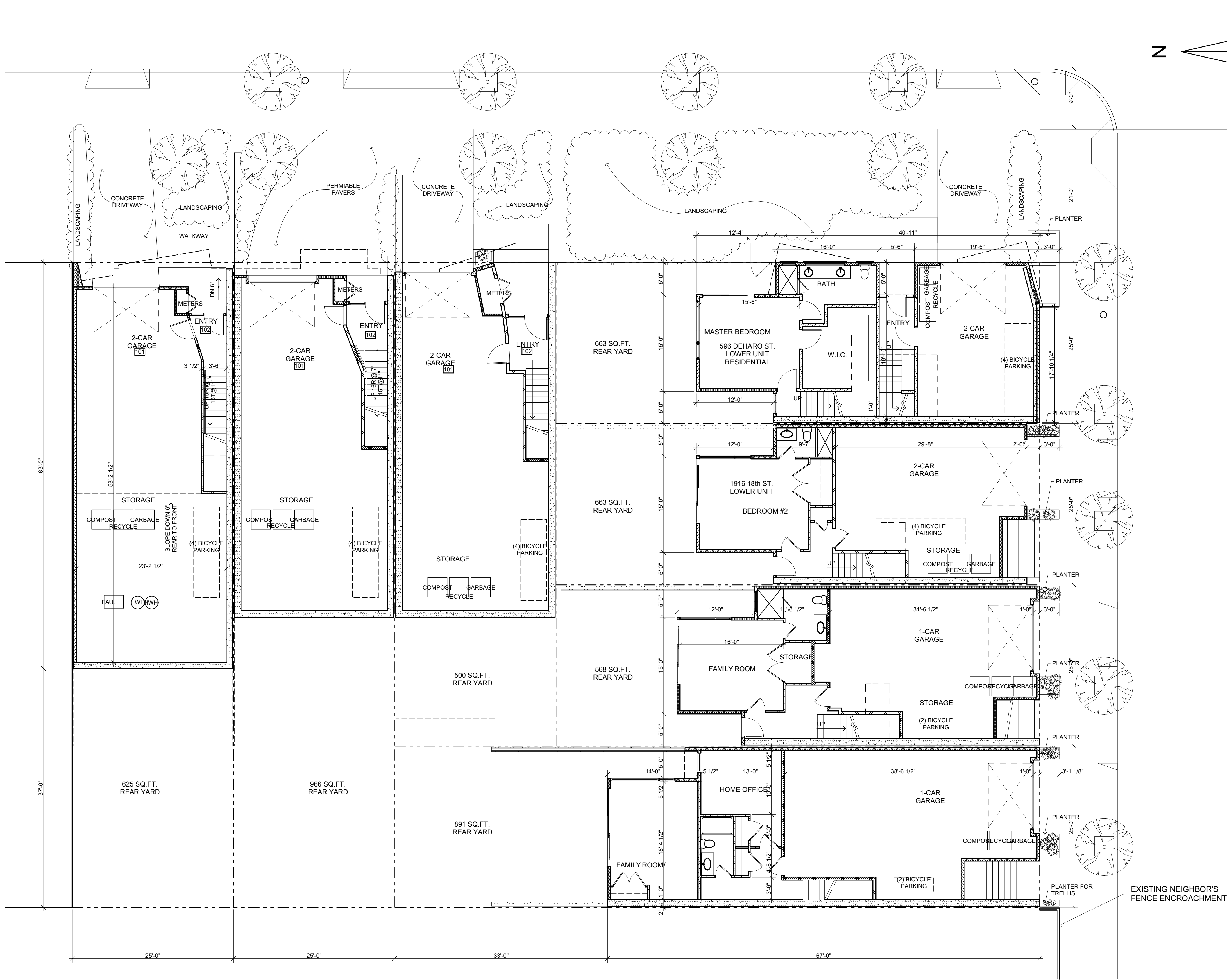
Scale:
As Noted

Date:
12.05.13

Drawn By:
BM

Job Number:
3-913

Sheet:
A2.0



1 PROPOSED GARAGE/BASEMENT
SCALE: 1/8" = 1'-0"



Revisions	By
CU SET 02.01.16	BM

12 NEW RESIDENTIAL UNITS
DEHARO @ 18TH ST. - 580 DEHARO STREET
SAN FRANCISCO, CA

Sheet Title:
Floor Plans:
1ST FLOOR

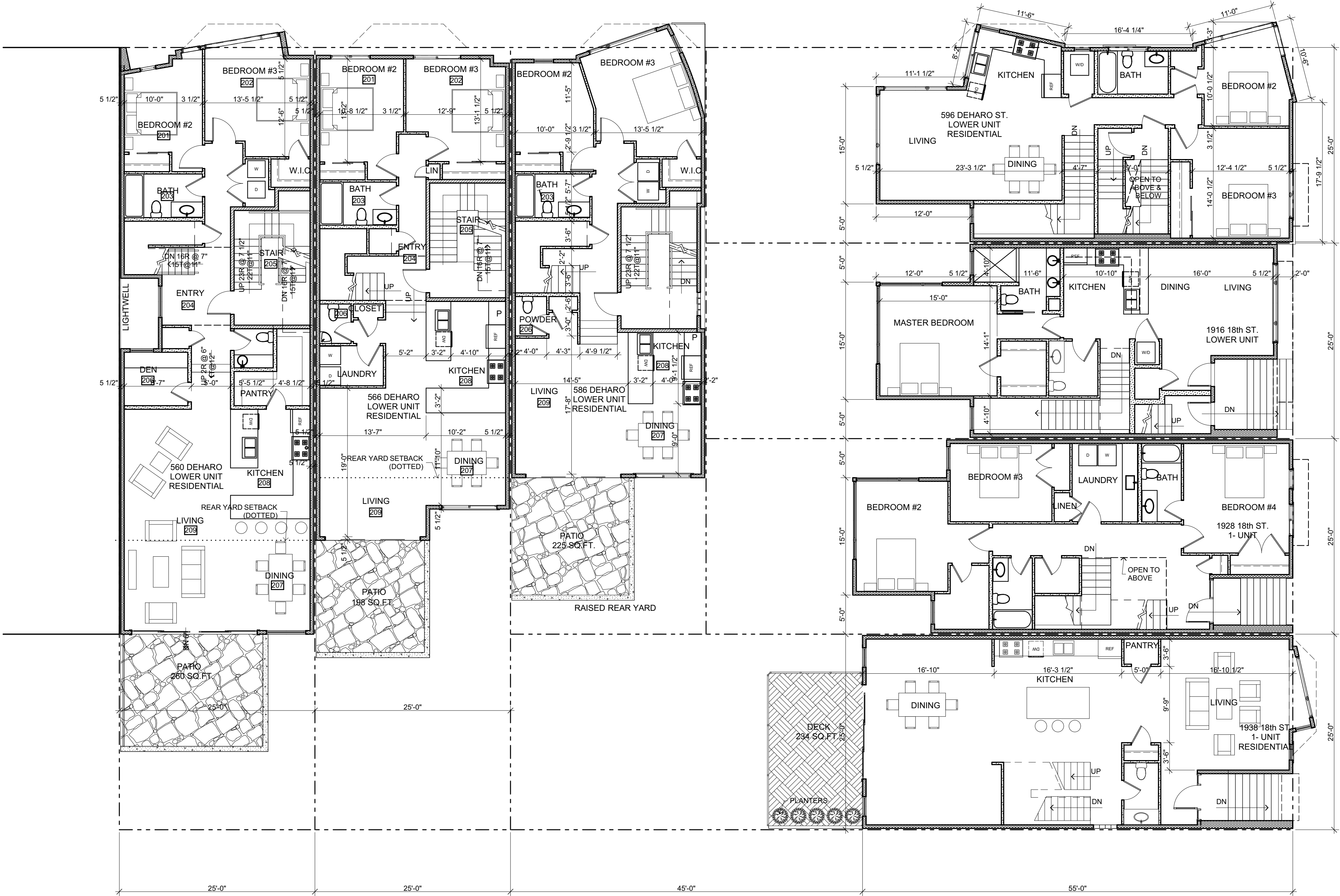
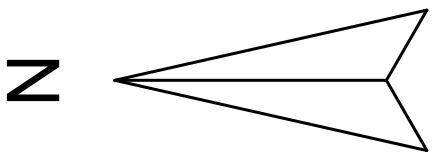
Scale:
As Noted

Date:
12.05.13

Drawn By:
BM

Job Number:
3-913

Sheet:
A2.1



1 PROPOSED 1ST FLOOR
SCALE: 1/8" = 1'-0"

Revisions	By
CU SET 02.01.16	BM

12 NEW RESIDENTIAL UNITS
DEHARO @ 18TH ST. - 580 DEHARO STREET
SAN FRANCISCO, CA

Sheet Title:
Floor Plans:
2ND FLOOR

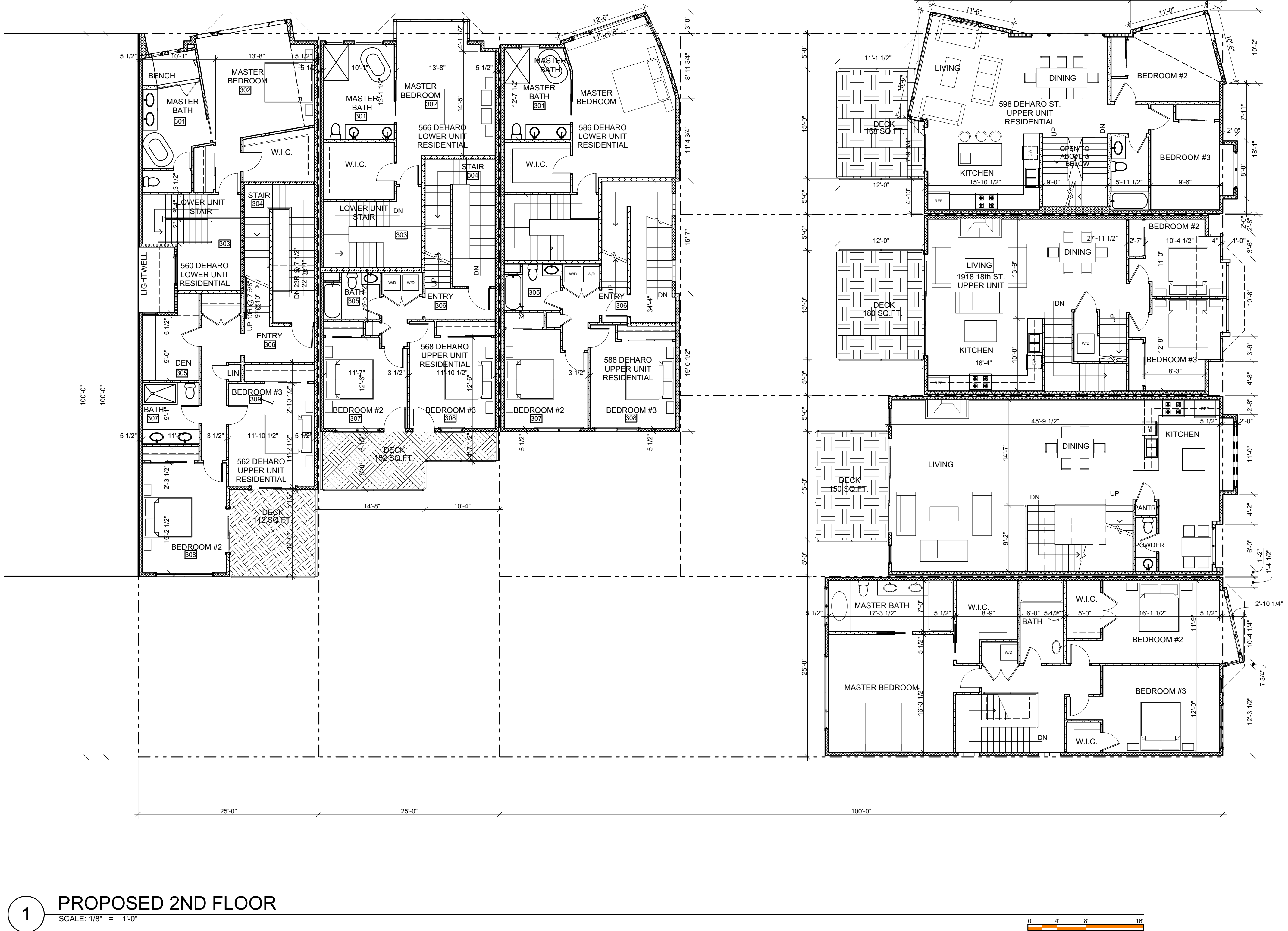
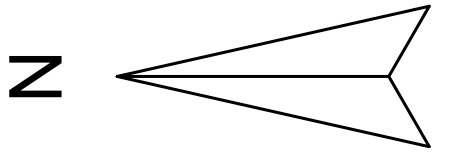
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As Noted

Date:
12.05.13

Drawn By:
BM

Job Number:
3-913

Sheet:
A2.2



1 PROPOSED 2ND FLOOR
SCALE: 1/8" = 1'-0"

Revisions	By
CU SET 02.01.16	BM

12 NEW RESIDENTIAL UNITS
DEHARO @ 18TH ST. - 580 DEHARO STREET
SAN FRANCISCO, CA

Sheet Title:
Floor Plans:
3RD FLOOR

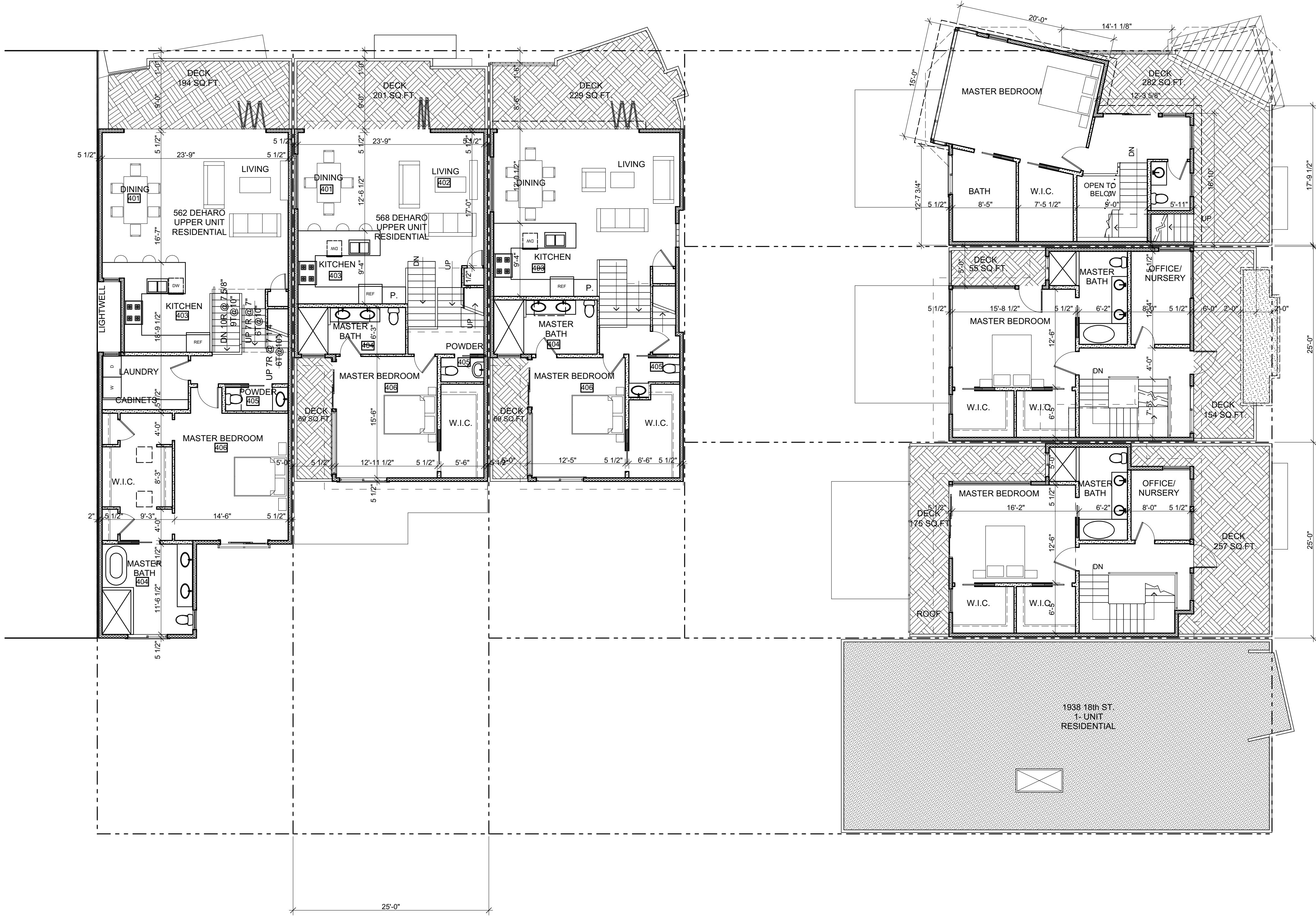
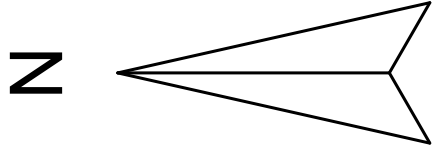
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12.05.13

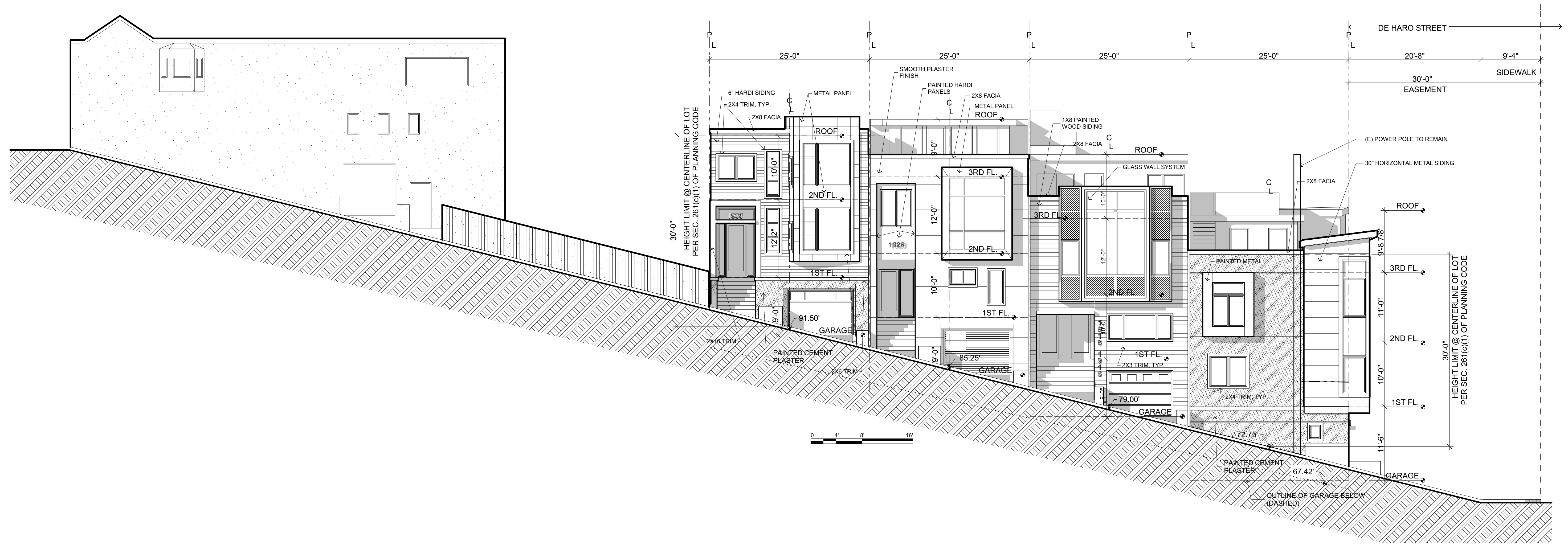
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BM

Job Number:
3-913

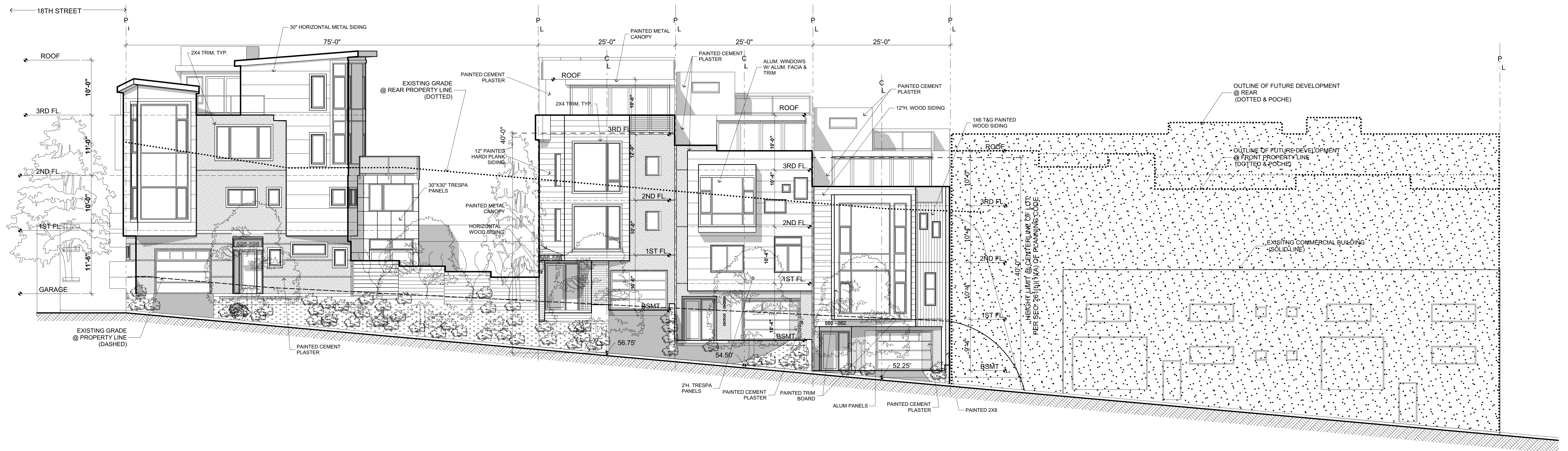
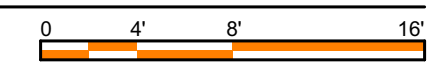
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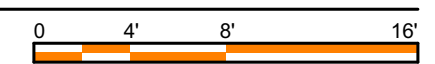
1 PROPOSED 3RD FLOOR
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION @ 18TH ST.
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION @ DEHARO
SCALE: 1/8" = 1'-0"



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12 NEW RESIDENTIAL UNITS
DEHARO @ 18TH ST. - 580 DEHARO STREET
SAN FRANCISCO, CA

Sheet Title:
Exterior Elevations:
South & East

Scale:
As Noted

Date:
12.05.13

Drawn By:
BM

Job Number:
3-913

Sheet:
A3.0

Revisions	By
CU SET 02.01.16	BM

12 NEW RESIDENTIAL UNITS
DEHARO @ 18TH ST. - 580 DEHARO STREET
SAN FRANCISCO, CA

Sheet Title:
Building Sections:
All Units

Scale:
As Noted
Date:
12.05.13
Drawn By:
BM
Job Number:
3-913

Sheet:
A4.0

