



## DISCRETIONARY REVIEW ABBREVIATED ANALYSIS

**HEARING DATE:** April 29, 2021

**Continued from February 18, 2021**

**Continued from December 17, 2020**

**Continued from November 5, 2020**

**Record No.:** 2013.0846DRP  
**Project Address:** 140-142 Jasper Place  
**Permit Applications:** 2014.0627.9672  
**Zoning:** RM-2 [Residential-Mixed, Moderate Density]  
Telegraph Hill - NB Special Use District  
40-X Height and Bulk District  
**Block/Lot:** 0103/ 032  
**Project Sponsor:** Peer Wilson  
Wilson Associates  
1224 Kearny Street  
San Francisco, CA 94133  
**Staff Contact:** David Winslow – (628) 652-7335  
[david.winslow@sfgov.org](mailto:david.winslow@sfgov.org)

**Recommendation:** Do Not Take DR and Approve

### Project Description

The project proposes to construct a 605 sq. ft. third-floor vertical addition that is set back 12 feet from front building wall and includes a front roof deck; remodel the basement to expand the lower unit, and remove the rear exterior stairs and balconies and extend the rear wall by 1'-9" with a 2'-6" deep bay projection at the first and second floors. The resulting rear yard depth is 16'-6". This is not a demolition per PC section 317. The resulting unit sizes are 1,472 sq. ft. for the lower unit and 1,494. ft. for the upper unit.

The subject property's required rear yard is 15' based averaging the depth of adjacent buildings. The proposed third-story vertical addition is greater than 30 feet in height at the rear and extends into the last 10 feet of building depth gained by averaging. Therefore, a variance was requested and heard by the Zoning Administrator on June 24, 2020.



The project has been revised since the proposed design sent out for 311 notification to retain the existing stoop and 2 doors at the raised front entry, to retain the brick work at the base of the front facade, to incorporate a 3'-6" wide planter at the front roof deck, and to eliminate two uncovered off-street parking spaces.

## **Site Description and Present Use**

The site is a 40' wide x 60'-0" deep lot containing an existing 2-story over basement, two-family home with a side yard that contains three existing uncovered off-street parking spaces. The existing building is a Category 'A' - historic resource built in 1911 as a contributor to the Upper Grant Avenue Historic District.

## **Surrounding Properties and Neighborhood**

The buildings on this block of Jasper are 2- and 3-story wood clad multi-unit houses fronting the 17'-4" wide alley, articulated by raised entries. The extremely minimal mid-block open space is defined by a consistent alignment of buildings.



## Building Permit Notification

Type	Required Period	Notification Dates	DR File Date	DR Hearing Date	Filing to Hearing Date
311 Notice	30 days	August 4, 2020– September 3, 2020	9.3.2020	2.18.21 from 12.17.2020 from 11.5.2020	168 days

## Hearing Notification

Type	Required Period	Required Notice Date	Actual Notice Date	Actual Period
Posted Notice	20 days	October 16, 2020	October 16, 2020	20 days
Mailed Notice	20 days	October 16, 2020	October 16, 2020	20 days
Online Notice	20 days	October 16, 2020	October 16, 2020	20 days

## Public Comment

	Support	Opposed	No Position
Adjacent neighbor(s)	0	3	0
Other neighbors on the block or directly across the street	0	0	0
Neighborhood groups	0	0	0

## Environmental Review

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

## DR Requestors

Stan Hayes on behalf of the Telegraph Hill Dwellers Neighborhood Association.

## DR Requestor's Concerns and Proposed Alternatives

Is concerned that:



1. the expansion of two flats into larger dwellings will decrease the affordability.
2. the project is attempting to piecemeal a larger scope of work
3. the rear addition is materially injurious to surrounding properties access to light and air;
4. the project will cause significant impact to this resource and the district and;
5. the proposed parking conflicts with the Code provisions for the Telegraph Hill- NB SUD.

**Proposed alternatives:**

1. Require a Notice of Special Restriction placed on the property to prohibit construction of an additional building on the lot.
2. Modify the project to preserve historical features including retention of the original entry and removal of vertical addition.
3. Reduce the parking to be compliant with PC Section 155 (r) 6.
4. Deny the rearyard variance.
5. Remove roof deck.
6. Provide an affordable unit at the basement and accessed from the rear.

See attached *Discretionary Review Application*, dated September 3, 2020.

## **Project Sponsor's Response to DR Application**

The proposal is designed for a growing family and a family-friendly rental unit. The project has been extensively reviewed by the Planning Department and modified to be responsive to the context and the neighbors. The DR requestor has not identified exceptional or extraordinary circumstances.

1. The building does not remove rent-controlled housing. The property has been a family-owned, non-rent controlled 2-unit building for 101 years of its 108-year history. This project will provide a rental unit. there have been no evictions.
2. The project has been modified to respond to neighborhood feedback since the building permit application was filed 8 years ago, which did include a townhouse on the buildable portion of the lot.
3. The project increases the size of the rear yard and the vertical addition is 3' lower than its adjacent neighbors.
4. The existing façade is not the original facade from 1911, but it is being retained.
5. The parking is an existing non-complying condition that is allowed to remain due the scale of the project being below the threshold for compliance.

See attached Response to Discretionary Review, dated September 27, 2020



## Department Review

The Planning Department's review of this proposal confirms support for this project as it conforms to the Residential Design Guidelines. This is not a demolition per PC Section 317. In 1965 there was a permit to remove a dwelling unit to revert to the original two units. Per the Rent Board, there is no record of no-fault evictions.

The vertical addition is set back 12' from the front building wall to be minimally visible and to retain the appropriate scale relationship with the 2- and 3-story context. The project has been revised since the original 311 notification to retain the existing brick base and 2 doors at the raised front entry. Retention of the front entry stoop preserves the integrity of the historic district and reinforces the pattern of entries along the street.

The proposed project increases the gross square footage of the building by less than 20% - the threshold under Planning Code Section 155(r) that allows the retention of an existing non-complying curb cut.

The curb cut and parking is an existing condition. No new garage parking is being proposed. The existing site accommodates up to three uncovered parking space in the side yard. Up to 0.5 parking spaces are allowed as of right in the Telegraph Hill - NB Special Use District. The project proposes 1 car parking space limited by planting trees in the side yard.

The required rear yard is 15' due to averaging the depth of the adjacent neighbors. However, per section 134 of the Planning Code, any building that exceeds 30' in height must be set back 10' from the minimum required rear yard gained by averaging. The project proposes to remove existing non-complying exterior rear stairs from the second floor to grade that occupy a portion the required rear yard and increase the rear yard depth to 16'-6" from 12'-8 1/2". The proposed vertical addition extends into this area and therefore has requested a variance.

The 240 sq. ft. front deck is buffered from the front building wall by the existing parapet and a 3'-6" wide planter.

With respect to the Interim Density Controls this project complies, because although the allowable density of this site is up to four dwelling units - which could be feasibly achieved with a Code-complying second building in the existing side portion of the lot - the Interim Density controls allow small developments without requiring a CUA for expansions of existing residential buildings when the proposed expansion is 25% or less of the existing residential building, provided that the proposed expansion:

- a. Does not increase the size of any unit that is already larger than 2,000 square feet in size;
- b. Does not create any new unit that is greater than 2,000 square feet in size, and;
- c. Does not cause an existing unit that is less than 2,000 square feet in size to be larger than 2,000 square feet in size.

Therefore, staff deems there are no exceptional or extraordinary circumstance and recommends not taking Discretionary Review.

**Recommendation:** Do Not Take DR and Approve



## **Attachments:**

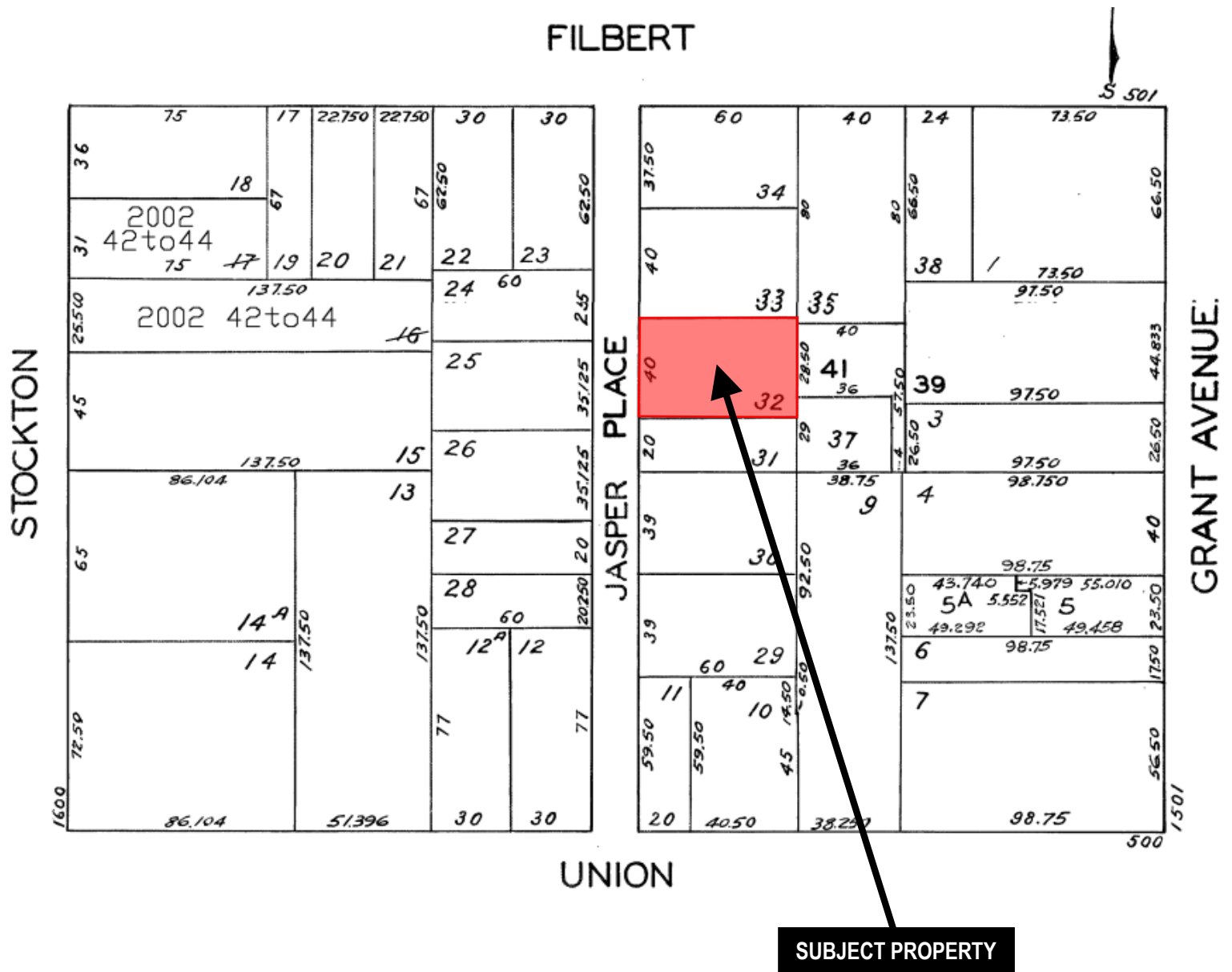
Block Book Map  
Sanborn Map  
Zoning Map  
Aerial Photographs  
Context Photographs  
Section 311 Notice  
CEQA Determination  
Eviction history from SF Rent Board  
DR Application  
Response to DR Application, dated September 27, 2020  
311 plans  
Revised plans dated 3.1.2021



# Exhibits



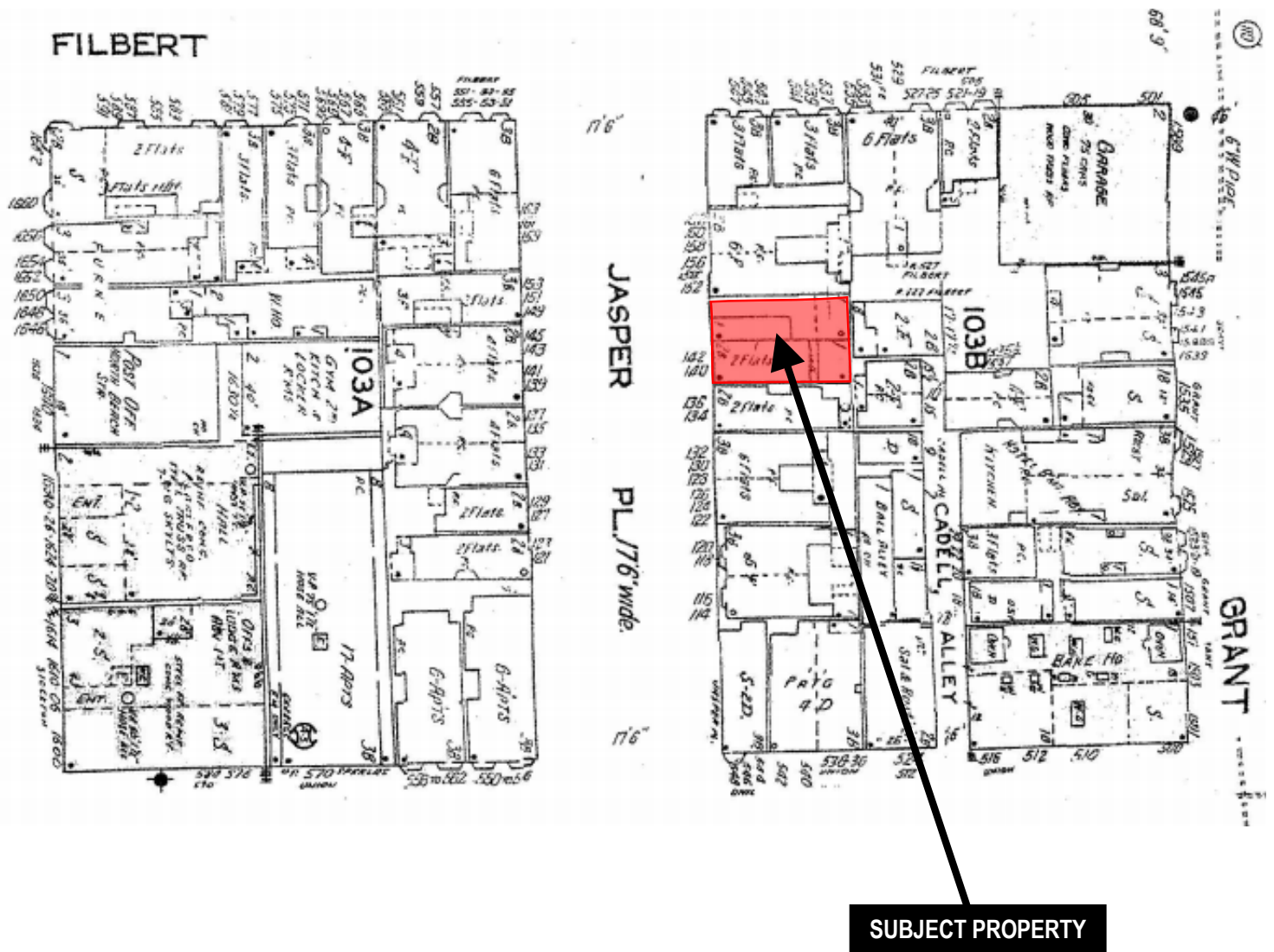
# Parcel Map



Discretionary Review Hearing  
Case Number 2013.0846DRP  
140-142 Jasper Place



# Sanborn Map\*



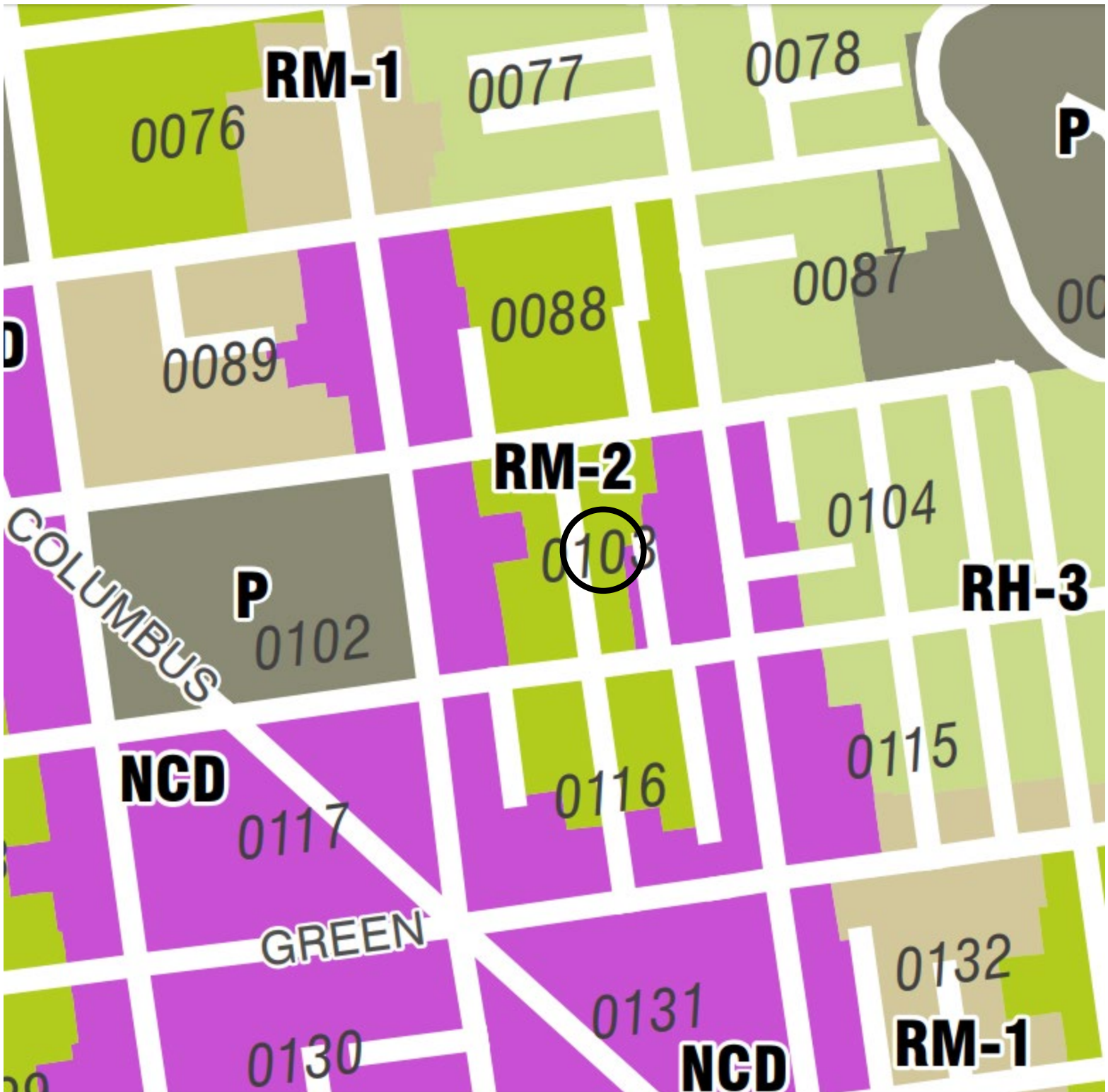
\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing  
Case Number 2013.0846DRP  
140-142 Jasper Place



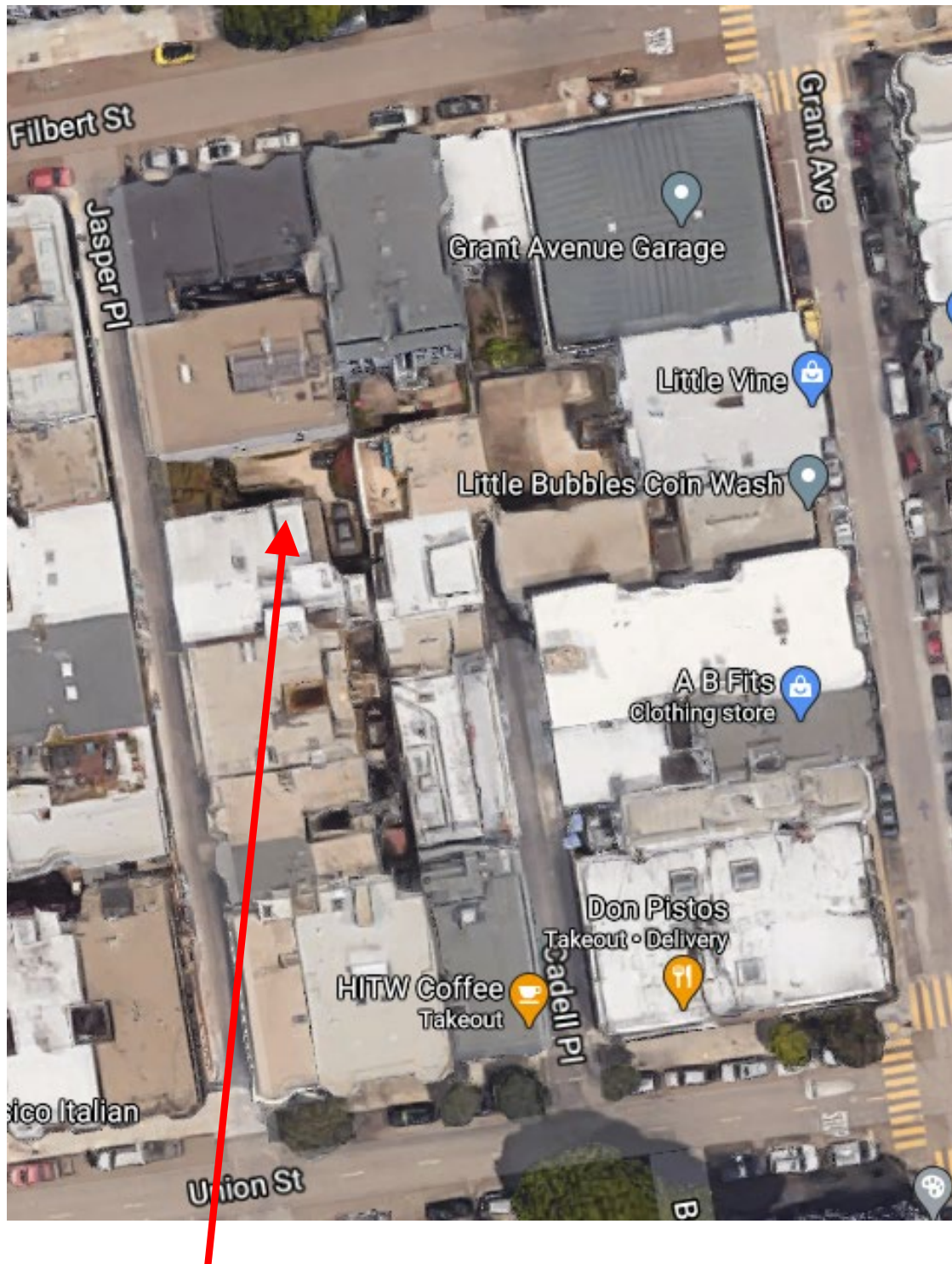
# Zoning Map



Discretionary Review Hearing  
Case Number 2013.0846DRP  
140-142 Jasper Place



# Aerial Photo



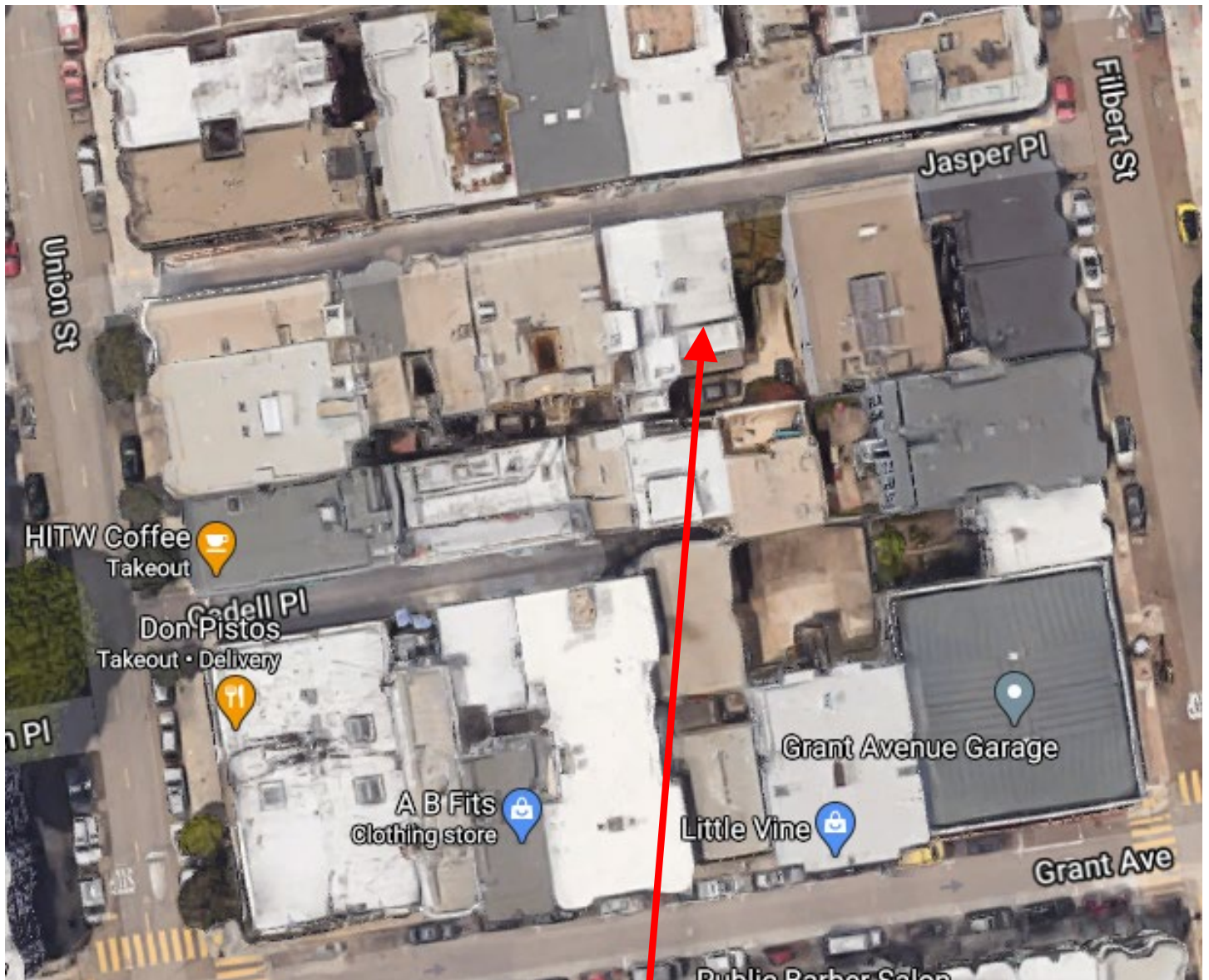
SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2013.0846DRP  
140-142 Jasper Place



# Aerial Photo



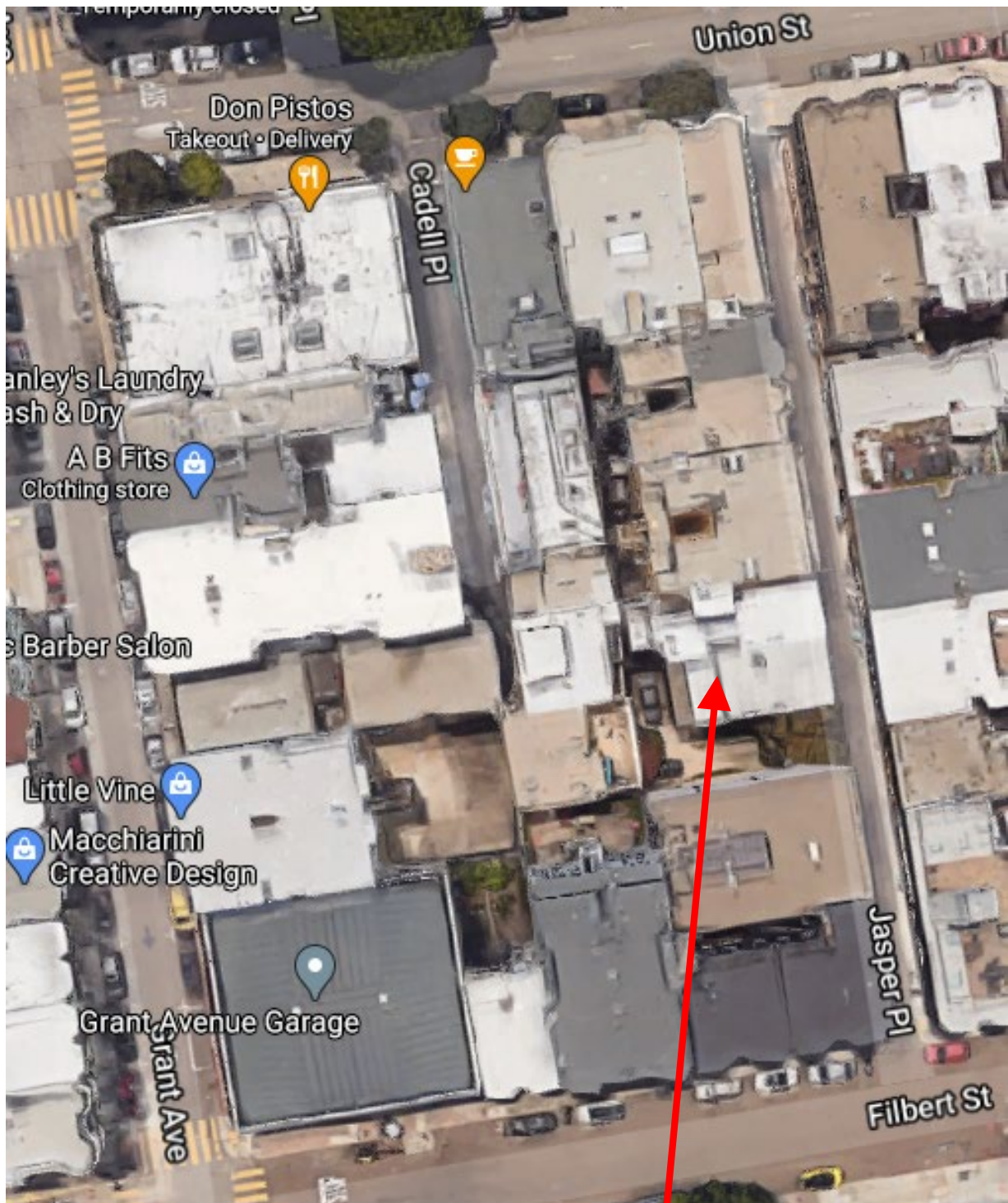
SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2013.0846DRP  
140-142 Jasper Place



# Aerial Photo



**SUBJECT PROPERTY**



Discretionary Review Hearing  
Case Number 2013.0846DRP  
140-142 Jasper Place



# Aerial Photo



SUBJECT PROPERTY



Discretionary Review Hearing  
Case Number 2013.0846DRP  
140-142 Jasper Place



# Site Photo



**SUBJECT PROPERTY**

Discretionary Review Hearing  
Case Number 2013.0846DRP  
140-142 Jasper Place





# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

## NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **June 27, 2014**, Building Permit Application No. 201406279672 was filed for work at the Project Address below.

**Notice Date: August 4, 2020**

**Expiration Date: September 3, 2020**

PROJECT INFORMATION		APPLICANT INFORMATION	
Project Address:	<b>140 – 142 Jasper Place</b>	Applicant:	<b>Peter Wilson, Wilson Associates</b>
Cross Street(s):	<b>Filbert and Union Streets</b>	Address:	<b>1224 Kearny Street</b>
Block/Lot No.:	<b>0103 / 032</b>	City, State:	<b>San Francisco, CA 94133</b>
Zoning District(s):	<b>RM-2 /40-X</b>	Telephone:	<b>(415) 543-5111</b>
Record Number:	<b>2013.0846</b>	Email:	<a href="mailto:peter@wilson-associates.net"><b>peter@wilson-associates.net</b></a>

You are receiving this notice as an owner or occupant of property within 150 feet of the proposed project. **You are not required to take any action.** For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request that the Planning Commission review this application at a public hearing for Discretionary Review. Requests for a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown above, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Alteration
<input type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input checked="" type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	No Change
Building Use	Residential	No Change
Front Setback	None	No Change
Side Setbacks	Left Side – 20 feet, Right Side - None	No Change
Building Depth	~41 feet 9 inches	43 feet 6 inches
Rear Yard	~12 feet 8 inches to covered stairway and landings	16 feet 6 inches to rear building wall
Building Height	~29 feet 9 inches	36 feet
Number of Stories	2 over basement	3 over basement
Number of Dwelling Units	2	No Change
Number of Parking Spaces	3 uncovered off-street parking spaces	1 uncovered off-street parking space

### PROJECT DESCRIPTION

The subject property contains a 2-story over-basement building with two dwelling units. The proposal is to construct a vertical, one-story addition (set back 12 feet from front building wall) to expand the top unit, retrofit the basement level to expand the lower unit, and reconfigure the rear wall. The subject property's required rear yard gains an additional 12 feet through averaging, and the proposed vertical addition is greater than 30 feet in height and extends into the last 10 feet gained by averaging. Therefore, a variance is required. The variance application was Noticed and heard by the Zoning Administrator at the June 24, 2020 Variance Hearing where the request was taken under advisement pending the completion of the 311 Notice.

The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.

To view plans or related documents, visit [sf-planning.org/notices](http://sf-planning.org/notices) and search the Project Address listed above. Once the property is located, click on the dot(s) to view details of the record number above, its related documents and/or plans.

**For more information, please contact Planning Department staff:**  
Linda Ajello Hoagland, 415-575-6823, [Linda.AjelloHoagland@sfgov.org](mailto:Linda.AjelloHoagland@sfgov.org)



# GENERAL INFORMATION ABOUT PROCEDURES DURING COVID-19 SHELTER-IN-PLACE ORDER

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice. If you have general questions about the Planning Department's review process, contact the Planning Information Center (PIC) via email at [pic@sfgov.org](mailto:pic@sfgov.org).

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Contact the project Applicant to get more information and to discuss the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at [www.communityboards.org](http://www.communityboards.org) for a facilitated. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects that conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review ("DR"). If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a DR Application prior to the Expiration Date shown on the front of this notice.**

To file a DR Application, you must:

1. Create an account or be an existing registered user through our Public Portal (<https://accsf.accela.com/ccsf/Default.aspx>).
2. Complete the Discretionary Review PDF application (<https://sfplanning.org/resource/drp-application>) and email the completed PDF application to [CPC.Intake@sfgov.org](mailto:CPC.Intake@sfgov.org). You will receive follow-up instructions via email on how to post payment for the DR Application through our Public Portal.

To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at [www.sfplanning.org](http://www.sfplanning.org). If the project includes multiple building permits, i.e. demolition and new construction, a separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you. Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

## BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. The Board of Appeals is accepting appeals via e-mail. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

## ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map at [www.sfplanning.org](http://www.sfplanning.org). An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Board of Supervisors at [bos.legislation@sfgov.org](mailto:bos.legislation@sfgov.org), or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.





## CEQA Exemption Determination

### PROPERTY INFORMATION/PROJECT DESCRIPTION

<b>Project Address</b>		<b>Block/Lot(s)</b>
146 - 148 Jasper Place		0103032
<b>Case No.</b>		<b>Permit No.</b>
2013.0846E		201406279672
<input checked="" type="checkbox"/> <b>Addition/ Alteration</b>	<input type="checkbox"/> <b>Demolition (requires HRE for Category B Building)</b>	<input type="checkbox"/> <b>New Construction</b>
<b>Project description for Planning Department approval.</b> See the attached Project Setting, History Summary, and Description for a complete project description.		

### STEP 1: EXEMPTION TYPE

<b>The project has been determined to be exempt under the California Environmental Quality Act (CEQA).</b>	
<input checked="" type="checkbox"/>	<b>Class 1 - Existing Facilities.</b> Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	<b>Class 3 - New Construction.</b> Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<b>Class 32 - In-Fill Development.</b> New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services. <b>FOR ENVIRONMENTAL PLANNING USE ONLY</b>
<input type="checkbox"/>	<b>Other</b> ____
<input type="checkbox"/>	<b>Common Sense Exemption (CEQA Guidelines section 15061(b)(3)).</b> It can be seen with certainty that there is no possibility of a significant effect on the environment. <b>FOR ENVIRONMENTAL PLANNING USE ONLY</b>



## STEP 2: ENVIRONMENTAL SCREENING ASSESSMENT

### TO BE COMPLETED BY PROJECT PLANNER

<input checked="" type="checkbox"/>	<p><b>Air Quality:</b> Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g. use of diesel construction equipment, backup diesel generators, heavy industry, diesel trucks, etc.)? <i>(refer to The Environmental Information tab on the San Francisco Property Information Map)</i></p>
<input type="checkbox"/>	<p><b>Hazardous Materials:</b> If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential?</p> <p><b>Note that a categorical exemption shall not be issued for a project located on the Cortese List if box is checked, note below whether the applicant has enrolled in or received a waiver from the San Francisco Department of Public Health (DPH) Maher program, or if Environmental Planning staff has determined that hazardous material effects would be less than significant. <i>(refer to The Environmental Information tab on the San Francisco Property Information Map)</i></b></p>
<input type="checkbox"/>	<p><b>Transportation:</b> Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input type="checkbox"/>	<p><b>Archeological Resources:</b> Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? If yes, archeology review is required.</p>
<input type="checkbox"/>	<p><b>Subdivision/Lot Line Adjustment:</b> Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? <i>(refer to The Environmental Information tab on the San Francisco Property Information Map)</i> <b>If box is checked, Environmental Planning must issue the exemption.</b></p>
<input type="checkbox"/>	<p><b>Average Slope of Parcel = or &gt; 25%, or site is in Edgehill Slope Protection Area or Northwest Mt. Sutro Slope Protection Area:</b> Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, or (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area? <i>(refer to The Environmental Planning tab on the San Francisco Property Information Map)</i> <b>If box is checked, a geotechnical report is likely required and Environmental Planning must issue the exemption.</b></p>
<input type="checkbox"/>	<p><b>Seismic Hazard:</b> <input type="checkbox"/> <b>Landslide or</b> <input type="checkbox"/> <b>Liquefaction Hazard Zone:</b></p> <p>Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area, or (4) grading performed at a site in the landslide hazard zone? <i>(refer to The Environmental tab on the San Francisco Property Information Map)</i> <b>If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</b></p>
<p><b>Comments and Planner Signature (optional):</b> Jenny Delumo</p> <p>PLEASE SEE ATTACHED</p>	



**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE**  
**TO BE COMPLETED BY PROJECT PLANNER**

**PROPERTY IS ONE OF THE FOLLOWING:** (*refer to Property Information Map*)

<input checked="" type="checkbox"/>	<b>Category A:</b> Known Historical Resource. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	<b>Category B:</b> Potential Historical Resource (over 45 years of age). <b>GO TO STEP 4.</b>
<input type="checkbox"/>	<b>Category C:</b> Not a Historical Resource or Not Age Eligible (under 45 years of age). <b>GO TO STEP 6.</b>

**STEP 4: PROPOSED WORK CHECKLIST**  
**TO BE COMPLETED BY PROJECT PLANNER**

**Check all that apply to the project.**

<input type="checkbox"/>	1. <b>Change of use and new construction.</b> Tenant improvements not included.
<input type="checkbox"/>	2. <b>Regular maintenance or repair</b> to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. <b>Window replacement</b> that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. <b>Garage work.</b> A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. <b>Deck, terrace construction, or fences</b> not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. <b>Mechanical equipment installation</b> that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. <b>Dormer installation</b> that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. <b>Addition(s)</b> that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.

**Note: Project Planner must check box below before proceeding.**

<input checked="" type="checkbox"/>	Project is not listed. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project <b>does not conform</b> to the scopes of work. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>four or more</b> work descriptions. <b>GO TO STEP 5.</b>
<input type="checkbox"/>	Project involves <b>less than four</b> work descriptions. <b>GO TO STEP 6.</b>

**STEP 5: ADVANCED HISTORICAL REVIEW**  
**TO BE COMPLETED BY PRESERVATION PLANNER**

**Check all that apply to the project.**

<input type="checkbox"/>	1. <b>Reclassification of property status.</b> ( <i>Attach HRER Part I</i> ) <div style="display: flex; justify-content: space-between; align-items: flex-start; margin-top: 10px;"> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category A  a. Per HRER  b. Other (<i>specify</i>): </div> <div style="width: 45%;"> <input type="checkbox"/> Reclassify to Category C  (<i>No further historic review</i>) </div> </div>
<input type="checkbox"/>	2. Project involves a <b>known historical resource (CEQA Category A)</b> as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	3. <b>Interior alterations to publicly accessible spaces that do not</b> remove, alter, or obscure <b>character defining features.</b>
<input type="checkbox"/>	4. <b>Window replacement</b> of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	5. <b>Façade/storefront alterations</b> that do not remove, alter, or obscure character-defining features.



<input type="checkbox"/>	6. <b>Raising the building</b> in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	7. <b>Restoration</b> based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	8. <b>Work consistent</b> with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (Analysis required):
<input checked="" type="checkbox"/>	9. <b>Work compatible</b> with a historic district (Analysis required): See attached HRER Part II dated 1/15/2021.
<input type="checkbox"/>	10. <b>Work that would not materially impair</b> a historic resource (Attach HRER Part II).
<b>Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.</b>	
<input checked="" type="checkbox"/>	<b>Project can proceed with exemption review.</b> The project has been reviewed by the Preservation Planner and can proceed with exemption review. <b>GO TO STEP 6.</b>
<b>Comments (optional):</b>	
<b>Preservation Planner Signature:</b> Allison Vanderslice	

**STEP 6: EXEMPTION DETERMINATION**  
TO BE COMPLETED BY PROJECT PLANNER

<input checked="" type="checkbox"/>	<b>No further environmental review is required. The project is exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.</b>	
	<b>Project Approval Action:</b> Discretionary Review Hearing	<b>Signature:</b> Jenny Delumo 01/27/2021
	Once signed or stamped and dated, this document constitutes an exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination to the Board of Supervisors can only be filed within 30 days of the project receiving the approval action. Please note that other approval actions may be required for the project. Please contact the assigned planner for these approvals.	



## **Step 2: Environmental Screening Comments**

**Air Quality:** The proposed project's construction would be subject to the Dust Control Ordinance (Article 22B of the Health Code). The project site is located within an air pollutant exposure zone but would not add new stationary sources of toxic air contaminants, nor new residential dwelling units.

**Archeological Resources:** The department's staff archeologist conducted preliminary archeological review on December 10, 2020 and determined that no CEQA-significant archeological resources are expected within project-affected soils.

**Geology and Soils:** The project is not located within a state-identified seismic hazard zone, or on a parcel where the average slope may be 25 percent or greater. The project's structural drawings would be reviewed by the building department, where it would be determined if further geotechnical review and technical reports are required.

**Historic Architectural Resources:** The planning department determined that the project would be compatible with, and would not result in an impact to the National Register-eligible and California Register-eligible Upper Grant Avenue Historic District (see attached Project Setting, History Summary, and Description, Attachment C, Part II Historical Resources Evaluation Response).

**Noise:** The project would use typical construction equipment that would be regulated by Article 29 of the Police Code (section 2907, Construction Equipment). No impact pile driving or nighttime construction is required. While construction of the project would include use of a jackhammer, construction vibration would not be anticipated to affect adjacent buildings. The proposed project would not generate sufficient vehicle trips to noticeably increase ambient noise levels, and the project's fixed noise sources, such as heating, ventilation, and air conditioning systems, would be subject to noise limits in Article 29 of the Police Code (section 2909, Noise Limits). Thus, the proposed project would not result in significant noise or vibration impacts.



## STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

### TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a “substantial modification” and, therefore, be subject to additional environmental review pursuant to CEQA.

### MODIFIED PROJECT DESCRIPTION

Modified Project Description:

### DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

- |                          |  |
|--------------------------|--|
| <input type="checkbox"/> | Result in expansion of the building envelope, as defined in the Planning Code;   |
| <input type="checkbox"/> | Result in the change of use that would require public notice under Planning Code Sections 311 or 312;  |
| <input type="checkbox"/> | Result in demolition as defined under Planning Code Section 317 or 19005(f)?   |
| <input type="checkbox"/> | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |

**If at least one of the above boxes is checked, further environmental review is required.**

### DETERMINATION OF NO SUBSTANTIAL MODIFICATION

- |                          |   |
|--------------------------|---|
| <input type="checkbox"/> | The proposed modification would not result in any of the above changes. |
|--------------------------|---|

If this box is checked, the proposed modifications are exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed to the Environmental Review Officer within 10 days of posting of this determination.

**Planner Name:**

**Date:**





**Date:** January 27, 2021  
**To:** Record No. 2013.0846E, 140-142 Jasper Place  
**Prepared by:** Jenny Delumo, San Francisco Planning Department  
**Reviewed by:** Rick Cooper, San Francisco Planning Department  
**Re:** 140-142 Jasper Place Project: Project Setting, History Summary, and Description

## Project Setting

140-148 Jasper Place is an approximately 2,400-square-foot lot (Assessor's Block/Lot 0103/032) in the North Beach neighborhood. The lot is located within a Residential Mixed, Moderate Density (RM-2) district, a 40-X height and bulk district, and the Telegraph Hill – Nob Hill Residential Special Use District. The lot is on the block bounded by Jasper Place to the west, Filbert Street to the north, Grant Avenue to the east, and Union Street to the south. Cadella Place, a narrow alley that runs parallel to Jasper Place and Grant Avenue, divides the southern half of the subject block and dead ends at approximately the middle of the block. The southern half of the lot is developed with an approximately 2,477-gross-square-foot, two-story-over-basement, 29-foot-tall, two-unit residential building (140-142 Jasper Place). A side yard and driveway/parking area for three off-street vehicle parking spaces are located on the northern half of the project site (146-148 Jasper Place). The driveway/parking area is accessed by an approximately 11-foot-wide curb cut on Jasper Place. The existing building was constructed in 1910-1911 and is a contributor to the National Register-eligible and California Register-eligible Upper Grant Avenue Historic District.

## Project History Summary

On June 24, 2013 the San Francisco Planning Department accepted an application for a project at 140-148 Jasper Place for alterations to the existing building at 140-142 Jasper Place and new construction at 146-148 Jasper Place. On September 11, 2017, the planning department issued the first determination that the proposed project at 140-148 Jasper Place was categorically exempt from environmental review under California Environmental Quality Act (CEQA) Guidelines section 15301, or class 1 (see Attachment A for the first categorical exemption determination, including a full project description).

In January 2018, the project sponsor submitted plans for a revised project to the planning department. The planning department evaluated the revised project based on plans dated January 15, 2018, which proposed alterations to the existing building at 140-142 Jasper Place and new construction at 146-148 Jasper Place. On April 26, 2018, the planning department rescinded the July 11, 2017 categorical exemption and issued the second determination, based on the January 15, 2018 plans, that the proposed project at 140-148 Jasper Place was categorically exempt from environmental review under CEQA Guidelines section 15301 (see Attachment B for the second categorical exemption determination, including a full project description).

Subsequent to the issuance of the second categorical exemption, the project sponsor submitted plans to further revise the proposed project. The revised project includes alterations to the existing building at 140-142 Jasper Place, but no longer proposed new construction at 146-148 Jasper Place. The planning department evaluated the revised proposed project based on plans dated December 17, 2020. On January 15, 2021, the planning department



determined that, based on the December 17, 2020 plans, the project would be compatible with the and would not result in an impact to the National Register-eligible and California Register-eligible Upper Grant Avenue Historic District (Attachment C, Part II Historical Resources Evaluation Response). The proposed project described in the Project Description section below is based on the December 17, 2020 plans, and is the subject of this third categorical exemption determination.

## Project Description

The proposed project would renovate and expand the existing building at 140-142 Jasper Place. The existing building contains two residential dwelling units. The proposed alterations include constructing a one-story vertical addition set back approximately 12 feet from the existing front façade and an approximately 1-foot and nine-inch horizontal addition at the basement, first floor, and second floor. The proposed project would maintain the configuration and materials of the front entry terrazzo stairs, paneled entry, and landing; configuration of double front entry doors; projecting cornice; fenestration consisting of double-hung wood windows with wood surrounds and hoods; and existing horizontal wood cladding and trim details. The proposed project would remove the rear stairs; install new wood windows on the rear façade; install a new roof deck; and make interior alterations. The proposed changes to the rear would expand the existing rear yard from a depth of 12 feet and eight inches to 16 feet and five inches.

The building would provide two class 1 protected bicycle parking spaces on the ground floor. The alterations would result in an approximately 2,965-gross-square-foot, 37-foot-tall, three-story-over-basement residential building. The building would continue to provide two residential dwelling units and each unit provide approximately 300 square feet of open space in the rear yard. No new residential dwelling units are proposed as part of this project. No changes are proposed to the existing side yard and driveway/parking area (i.e., 146-148 Jasper Place) or curb cut.

Excavation is proposed to a maximum depth of approximately 18 inches below existing grade to accommodate a new foundation and additional head clearance for the basement-level. Approximately 71 cubic yards of soil would be removed as part of the project.

## Project Approvals

The proposed project is subject to notification under section 311 of the San Francisco Planning Code and would require the following approvals from the San Francisco Planning Commission:

- **Variance:** San Francisco Planning Code section 34 requires the subject property to maintain a rear yard equal to 45 percent of the lot depth, or the average depth of adjacent buildings. However, the rear yard may not be less than 15 feet pursuant to averaging. Additionally, the building height can be no more than 30 feet within the last 10 feet of averaging. The subject property's required rear yard gains an additional 12 feet through averaging, and the proposed vertical addition is greater than 30 feet in height and extends into the last 10 feet gained by averaging. Therefore, a variance is required.

**Approval Action:** Discretionary review before the San Francisco Planning Commission has been requested. The discretionary review hearing is the approval action for the project. The approval action date establishes the start of the 30-day appeal period for this CEQA exemption determination pursuant to Section 31.04(h) of the San Francisco Administrative Code.



Attachment A:  
First Categorical Exemption Determination, 140-148 Jasper Place, July 11, 2017





# SAN FRANCISCO PLANNING DEPARTMENT

## Certificate of Determination Exemption from Environmental Review

*Case No.:* 2013.0846E  
*Project Title:* 140-148 Jasper Place  
*Zoning:* Residential Mixed, Moderate Density (RM-2) District  
Telegraph Hill-Nob Hill Residential Special Use District  
40-X Height and Bulk District  
*Block/Lot:* 0103/032  
*Lot Size:* 2,400 square feet  
*Project Sponsor:* Peter Wilson, (510) 543-5111  
*Staff Contact:* Jenny Delumo – (415) 575-9146, Jenny.Delumo@sfgov.org

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CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

### PROJECT DESCRIPTION:

The project site is an approximately 2,400-square-foot lot located in the North Beach neighborhood and within the Telegraph Hill – Nob Hill Residential Special Use District. The lot is on the block bounded by Jasper Place to the west, Filbert Street to the north, Grant Avenue to the east, and Union Street to the south. Cadella Place, a narrow alley that runs parallel to Jasper Place and Grant Avenue, divides the southern half of the subject block and dead ends at approximately the middle of the block. The southern half of the project site is developed with an approximately 2,412-gross-square-foot, two-story-over-basement, 29-foot-tall, two-unit residential building (140-142 Jasper Place). A side yard and driveway are located on the northern half of the project site (146-148 Jasper Place). The driveway is accessed by an 11-foot-wide curb cut on Jasper Place, and can accommodate three off-street vehicle parking spaces. The existing building was constructed in 1910-1911 and is a contributor to the Upper Grant Avenue Historic District.

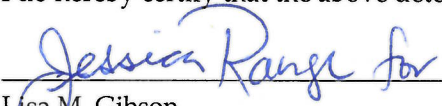
[Continued on the following page.]

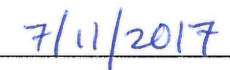
### EXEMPT STATUS:

Categorical Exemption, Class 1 (California Environmental Quality Act (CEQA) Guidelines section 15301) and Class 3 (Guidelines section 15303). See page 3.

### DETERMINATION:

I do hereby certify that the above determination has been made pursuant to State and local requirements.

  
Lisa M. Gibson  
Environmental Review Officer

  
Date

cc: Peter Wilson, Project Sponsor  
Carly Grob, Current Planner  
Eiliesh Tuffy, Preservation Planner  
Supervisor David Chiu, District 3 (via Clerk of the Board)

Distribution List  
Historic Preservation Distribution List  
Virna Byrd, M.D.F.



**PROJECT DESCRIPTION (continued):**

The proposed project would include renovation and expansion of the existing two-story building at 140-142 Jasper Place and construct a new residential building at 146-148 Jasper Place. The proposed project would result in the following:

- 1) *140-142 Jasper Place*: Alterations to the existing building would include constructing a one-story vertical addition set back 13 feet from the existing front façade; replacing the brick veneer at the base of the front façade with wood siding and trim to match the rest of the existing façade; replacing the front terrazzo stairs with wood stairs; removing the rear stairs; installing new wood windows on the rear façade; installing a new roof deck; and interior modifications. The building would provide four *class 1* bicycle parking spaces on the ground floor. The approximately 619 square feet of new space would result in an approximately 3,031-gross-square-foot, 37-foot-tall, three-story-over-basement residential building.
- 2) *146-148 Jasper Place*: an approximately 3,531-gross-square-foot, 40-foot-tall, three-story-over-basement residential building. The building would include a split first level and a roof deck. Up to three off-street vehicle parking spaces would be located in a basement-level garage accessible from the existing 11-foot-wide curb cut on Jasper Place. The off-street parking spaces would be 'unbundled' from the residential units. Residents would have the option to rent or purchase a parking space, but one would not be automatically provided with a residential unit.

Each building would contain two dwelling units, for a total of four dwelling units, and provide an approximately 300-square-foot rear yard. Each dwelling unit would provide approximately two bedrooms. Excavation is proposed to a maximum depth of approximately 18 inches below grade to accommodate the basement level for 146-148 Jasper Place and a new foundation for 140-142 Jasper Place, and removal of approximately 71 cubic yards of soil.

**Project Approvals**

The proposed project is subject to notification under section 311 of the San Francisco Planning Code and would require the following approvals:

- **Variance:** Pursuant to planning code section 134, the last 10 feet of building depth gained by averaging on a subject property shall be limited to 30 feet in height. The vertical addition proposed for the existing structure at 140-142 Jasper Place and the proposed new construction at 146-148 Jasper Place would exceed 30 feet in height in the area gained by averaging. Therefore, the proposed project requires a variance from the Zoning Administrator.

**Approval Action:** If discretionary review before the San Francisco Planning Commission is requested, the discretionary review hearing is the approval action for the project. If no discretionary review is requested, the issuance of a building permit by DBI is the approval action. The approval action date establishes the start of the 30-day appeal period for this CEQA exemption determination pursuant to Section 31.04(h) of the San Francisco Administrative Code.

**EXEMPT STATUS (continued):**



CEQA State Guidelines section 15301(e)(2), or Class 1(e)(2), provides an exemption from environmental review for the construction of additions to existing structures provided that the addition would not result in an increase of more than 10,000 square feet if the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and the project is not located in an environmentally sensitive area. As described above, the proposed alterations to the existing approximately 2,412-gross-square-foot residential building at 140-142 Jasper Place would result in an approximately 3,031-gross-square-foot residential building. The proposed 619-square-foot expansion of 140-142 Jasper Place would be less than 10,000 square feet. The project site is located in an urban area where all public services and facilities are currently available. The proposed project would minimally increase demand on public services and utilities and that demand would not exceed the capacity provided for this area. The proposed project would be adequately served by all required utilities and public services. The project site is developed with a two-unit building, side yard, and driveway in a fully developed urban area, and is not located in an environmentally sensitive area. For these reasons, the proposed alterations to the existing residential building 140-142 Jasper Place satisfies the requirements for exemption under CEQA State Guidelines section 1531(e)(2).

CEQA State Guidelines section 15303(b), or Class 3(b), provides an exemption from environmental review for the construction and location of limited numbers of new, small facilities or structures. This includes duplexes and similar multi-family residential structures of up to four dwelling units. The proposed project would include construction of a new approximately 3,531-square-foot, two-unit residential building in the location of the existing side yard and driveway (146-148 Jasper Place). Thus, the proposed construction of a new two-unit building on the project site satisfies the requirements for exemption under CEQA State Guidelines section 15303.

Based on the above, the proposed project, which includes alterations to an existing two-unit residential building and construction of a new two-unit residential building on the project site, is exempt from environmental review as set forth under CEQA State Guidelines sections 15301 and 15303.

## **DISCUSSION OF ENVIRONMENTAL ISSUES:**

CEQA Guidelines section 15300.2 establishes exceptions to the application of a categorical exemption for a project. None of the established exceptions applies to the proposed project.

CEQA Guidelines section 15300.2, subdivision (c), provides that a categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances. As discussed below, there is no possibility of a significant effect on the environment due to unusual circumstances.

CEQA Guidelines section 15300.2, subdivision (f), provides that a categorical exemption shall not be used for a project that may cause a substantial adverse change in the significance of a historical resource. For the reasons discussed below under "Historic Architectural Resources," there is no possibility that the proposed project would have a significant effect on a historic resource.

**Historic Architectural Resources.** Under CEQA Guidelines section 21084.1, a property may be considered a historic resource if it is "listed in, or determined to be eligible for listing in, the California Register of Historical Resources" (CRHR). The project site is developed with a two-story building on the



south side of the lot and a side yard and driveway on the north side of the lot. The existing structure, side yard, and driveway were constructed in 1910-1911 and are eligible for inclusion on the CRHR as a contributor to the Upper Grant Avenue Historic District under criterion 1 (historically significant events) and criterion 3 (architectural style). As the subject property is located within and a contributor to the Upper Grant Avenue Historic District, the proposed project must be assessed for its potential to result in a substantial adverse change to the significance of the Upper Grant Avenue Historic District, which is the historic resource. Thus, the proposal to alter 140-142 Jasper Place and construct a new residential building at 146-148 Jasper Place is subject to historic resources review. A qualified historic resources consultant was retained to prepare a Historic Resource Evaluation (HRE) of the property.<sup>1</sup> The Planning Department reviewed the HRE and provided a historic resource determination in a Historic Resource Evaluation Response (HRER).<sup>2</sup> The findings from the HRE and historic resource determination are summarized below.

The HRE evaluated the historic resource status of the existing residential building at 140-142 Jasper Place and the project proposed by the project sponsor in May 2014. At that time the project sponsor proposed construction of a new three-story building on the north side of the project site at 146-148 Jasper Place, but did not propose any changes to the building at 140-142 Jasper Place.

The HRE found that the building at 140-142 Jasper Place is not individually eligible for listing in the CRHR, but is a contributor to the Upper Grant Avenue Historic District. The HRE applied the criteria set forth by the *Secretary of Interior's Standards for Rehabilitation & Illustrative Guidelines for Rehabilitating Historic Buildings* (the secretary's standards) to the evaluation of the May 2014 version of the proposed project, and concluded that the proposed project complies with the secretary's standards. The historic resource determination provided in the HRER concurred with the conclusion in the HRE that the existing building at 140-142 Jasper Place is not individually eligible for listing in the CRHR, but is a contributor to the Upper Grant Avenue Historic District. However, the historic resource determination did not concur with the secretary's standards analysis and conclusion in the HRE that the May 2014 version of the proposed project complies with the secretary's standards. The historic resource determination concluded that the analysis provided in the HRE did not provide adequate evidence to support this finding.

In March 2017 the project sponsor revised the proposed project to include alterations to 140-142 Jasper Place, as described in the project description for this Certificate of Determination (pages 1-2). The HRER analyzed the project plans provided in March 2017 based on the secretary's standards, and determined that standards 1, 2, 3, 5, 6, 9, and 10 are most applicable to the evaluation of the proposed alterations at 140-142 Jasper Place and that standard 9 is most applicable to the evaluation of the proposed new construction at 146-148 Jasper Place:

- Standard 1 – A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

---

<sup>1</sup> Tim Kelly Consulting, *Historical Resource, 140-142 Jasper Place, San Francisco, California*, May 2014. This document (and all other documents cited in this report, unless otherwise noted), is available for review at 1650 Mission Street, Suite 400, San Francisco, CA, as part of Case No. 2013.0846E.

<sup>2</sup> San Francisco Planning Department, *Historic Resource Evaluation Response, 140-148 Jasper Place*, May 24, 2017.



- Standard 2 – The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- Standard 3 – Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- Standard 5 – Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
- Standard 6 – Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires placement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- Standard 9 – New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- Standard 10 – New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The historic resource determination in the HREER concluded that the proposed retention of existing historic architectural materials and features, new building materials, and design features (including massing, height, setting, façade composition, fenestration, and detailing) proposed for the alterations at 140-142 Jasper Place and the new construction at 146-148 Jasper Place would conform to the secretary's standards and would not materially impair the character defining features or significance of the Upper Grant Avenue Historic District. Therefore the proposed project would not result in a significant adverse impact on historic resources.

**Conclusion.** The proposed project satisfies the criteria for exemption under the above-cited classification(s). In addition, none of the CEQA Guidelines section 15300.2 exceptions to the use of a categorical exemption applies to the proposed project. For the above reasons, the proposed project is appropriately exempt from environmental review.



Attachment B:  
Second Categorical Exemption Determination, 140-148 Jasper Place, April 26, 2018





# SAN FRANCISCO PLANNING DEPARTMENT

## Certificate of Determination Exemption from Environmental Review

Case No.: 2013.0846E  
Project Title: 140-146 Jasper Place  
Zoning: Residential Mixed, Moderate Density (RM-2) District  
Telegraph Hill-Nob Hill Residential Special Use District  
40-X Height and Bulk District  
Block/Lot: 0103/032  
Lot Size: 2,400 square feet  
Project Sponsor: Peter Wilson, (510) 543-5111  
Staff Contact: Jenny Delumo – (415) 575-9146, Jenny.Delumo@sfgov.org

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San Francisco,  
CA 94103-2479

Reception:  
415.558.6378

Fax:  
415.558.6409

Planning  
Information:  
415.558.6377

### PROJECT DESCRIPTION:

The project site is an approximately 2,400-square-foot lot located in the North Beach neighborhood and within the Telegraph Hill – Nob Hill Residential Special Use District. The lot is on the block bounded by Jasper Place to the west, Filbert Street to the north, Grant Avenue to the east, and Union Street to the south. Cadella Place, a narrow alley that runs parallel to Jasper Place and Grant Avenue, divides the southern half of the subject block and dead ends at approximately the middle of the block. The southern half of the project site is developed with an approximately 2,412-gross-square-foot, two-story-over-basement, 29-foot-tall, two-unit residential building (140-142 Jasper Place). A side yard and driveway are located on the northern half of the project site (146 Jasper Place). The driveway is accessed by an 11-foot-wide curb cut on Jasper Place, and can accommodate three off-street vehicle parking spaces. The existing building was constructed in 1910-1911 and is a contributor to the Upper Grant Avenue Historic District.


[Continued on the following page.]

### EXEMPT STATUS:

Categorical Exemption, Class 1 (California Environmental Quality Act (CEQA) Guidelines section 15301) and Class 3 (Guidelines section 15303). See page 2.

### DETERMINATION:

I do hereby certify that the above determination has been made pursuant to State and local requirements.

  
\_\_\_\_\_  
Lisa Gibson  
Environmental Review Officer

4/26/18  
\_\_\_\_\_  
Date

cc: Peter Wilson, Project Sponsor  
Carly Grob, Current Planner  
Eiliesh Tuffy, Preservation Planner  
Supervisor David Chiu, District 3 (via Clerk of the Board)

Distribution List  
Historic Preservation Distribution List  
Virna Byrd, M.D.F.



**PROJECT DESCRIPTION (continued):**

The proposed project would include renovation and expansion of the existing two-story building at 140-142 Jasper Place and construct a new residential building at 146 Jasper Place. The proposed project would result in the following:

- 1) *140-142 Jasper Place*: Alterations to the existing building would include constructing a one-story vertical addition set back 12 feet from the existing front façade; replacing the brick veneer at the base of the front façade with wood siding and trim to match the rest of the existing façade; replacing the front terrazzo stairs with wood stairs; removing the rear stairs; installing new wood windows on the rear façade; installing a new roof deck; and interior modifications. The building would provide two *class 1* bicycle parking spaces on the ground floor. The approximately 619 square feet of new space would result in an approximately 3,031-gross-square-foot, 37-foot-tall, three-story-over-basement residential building.
- 2) *146 Jasper Place*: an approximately 3,490-gross-square-foot, 40-foot-tall, three-story-over-basement residential building. The building would include a split first level and a roof deck, and would provide one *class 1* bicycle parking space.

140-142 Jasper Place would contain two dwelling units and 146 Jasper Place would contain one dwelling unit, for a total of three dwelling units, and provide an approximately 300-square-foot rear yard. Each dwelling unit would provide approximately two bedrooms. Excavation is proposed to a maximum depth of approximately 18 inches below grade to accommodate the basement level for 146 Jasper Place and a new foundation for 140-142 Jasper Place, and removal of approximately 71 cubic yards of soil.

**Project Approvals**

The proposed project is subject to notification under section 311 of the San Francisco Planning Code and would require the following approvals:

- **Variance**: Pursuant to planning code section 134, the last 10 feet of building depth gained by averaging on a subject property shall be limited to 30 feet in height. The vertical addition proposed for the existing structure at 140-142 Jasper Place would exceed 30 feet in height in the area gained by averaging. Therefore, the proposed project requires a variance from the Zoning Administrator.

**Approval Action**: If discretionary review before the San Francisco Planning Commission is requested, the discretionary review hearing is the approval action for the project. If no discretionary review is requested, the issuance of a building permit by DBI is the approval action. The approval action date establishes the start of the 30-day appeal period for this CEQA exemption determination pursuant to Section 31.04(h) of the San Francisco Administrative Code.

**EXEMPT STATUS (continued):**

CEQA State Guidelines section 15301(e)(2), or Class 1(e)(2), provides an exemption from environmental review for the construction of additions to existing structures provided that the addition would not result in an increase of more than 10,000 square feet if the project is in an area where all public services and



facilities are available to allow for maximum development permissible in the General Plan and the project is not located in an environmentally sensitive area. As described above, the proposed alterations to the existing approximately 2,412-gross-square-foot residential building at 140-142 Jasper Place would result in an approximately 3,031-gross-square-foot residential building. The proposed 619-square-foot expansion of 140-142 Jasper Place would be less than 10,000 square feet. The project site is located in an urban area where all public services and facilities are currently available. The proposed project would minimally increase demand on public services and utilities and that demand would not exceed the capacity provided for this area. The proposed project would be adequately served by all required utilities and public services. The project site is developed with a two-unit building, side yard, and driveway in a fully developed urban area, and is not located in an environmentally sensitive area. For these reasons, the proposed alterations to the existing residential building 140-142 Jasper Place satisfies the requirements for exemption under CEQA State Guidelines section 1531(e)(2).

CEQA State Guidelines section 15303(b), or Class 3(b), provides an exemption from environmental review for the construction and location of limited numbers of new, small facilities or structures. This includes duplexes and similar multi-family residential structures of up to four dwelling units. The proposed project would include construction of a new approximately 3,490-square-foot, one-unit residential building in the location of the existing side yard and driveway (146 Jasper Place). Thus, the proposed construction of a new two-unit building on the project site satisfies the requirements for exemption under CEQA State Guidelines section 15303.

Based on the above, the proposed project, which includes alterations to an existing two-unit residential building and construction of a new one-unit residential building on the project site, is exempt from environmental review as set forth under CEQA State Guidelines sections 15301 and 15303.

## DISCUSSION OF ENVIRONMENTAL ISSUES:

CEQA Guidelines section 15300.2 establishes exceptions to the application of a categorical exemption for a project. None of the established exceptions applies to the proposed project.

CEQA Guidelines section 15300.2, subdivision (c), provides that a categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances. As discussed below, there is no possibility of a significant effect on the environment due to unusual circumstances.

CEQA Guidelines section 15300.2, subdivision (f), provides that a categorical exemption shall not be used for a project that may cause a substantial adverse change in the significance of a historical resource. For the reasons discussed below under "Historic Architectural Resources," there is no possibility that the proposed project would have a significant effect on a historic resource.

**Historic Architectural Resources.** Under CEQA Guidelines section 21084.1, a property may be considered a historic resource if it is "listed in, or determined to be eligible for listing in, the California Register of Historical Resources" (CRHR). The project site is developed with a two-story building on the south side of the lot and a side yard and driveway on the north side of the lot. The existing structure, side yard, and driveway were constructed in 1910-1911 and are eligible for inclusion on the CRHR as a contributor to the Upper Grant Avenue Historic District under criterion 1 (historically significant events)



and criterion 3 (architectural style). As the subject property is located within and a contributor to the Upper Grant Avenue Historic District, the proposed project must be assessed for its potential to result in a substantial adverse change to the significance of the Upper Grant Avenue Historic District, which is the historic resource. Thus, the proposal to alter 140-142 Jasper Place and construct a new residential building at 146 Jasper Place is subject to historic resources review. A qualified historic resources consultant was retained to prepare a Historic Resource Evaluation (HRE) of the property.<sup>1</sup> The Planning Department reviewed the HRE and provided a historic resource determination in a Historic Resource Evaluation Response (HRER).<sup>2</sup> The findings from the HRE and historic resource determination are summarized below.

The HRE evaluated the historic resource status of the existing residential building at 140-142 Jasper Place and the project proposed by the project sponsor in May 2014. At that time the project sponsor proposed construction of a new three-story building on the north side of the project site at 146 Jasper Place, but did not propose any changes to the building at 140-142 Jasper Place.

The HRE found that the building at 140-142 Jasper Place is not individually eligible for listing in the CRHR, but is a contributor to the Upper Grant Avenue Historic District. The HRE applied the criteria set forth by the *Secretary of Interior's Standards for Rehabilitation & Illustrative Guidelines for Rehabilitating Historic Buildings* (the secretary's standards) to the evaluation of the May 2014 version of the proposed project, and concluded that the proposed project complies with the secretary's standards. The historic resource determination provided in the HRER concurred with the conclusion in the HRE that the existing building at 140-142 Jasper Place is not individually eligible for listing in the CRHR, but is a contributor to the Upper Grant Avenue Historic District. However, the historic resource determination did not concur with the secretary's standards analysis and conclusion in the HRE that the May 2014 version of the proposed project complies with the secretary's standards. The historic resource determination concluded that the analysis provided in the HRE did not provide adequate evidence to support this finding.

In March 2017 the project sponsor revised the proposed project to include alterations to 140-142 Jasper Place, as described in the project description for this Certificate of Determination (pages 1-2). The HRER analyzed the project plans provided in March 2017 based on the secretary's standards, and determined that standards 1, 2, 3, 5, 6, 9, and 10 are most applicable to the evaluation of the proposed alterations at 140-142 Jasper Place and that standard 9 is most applicable to the evaluation of the proposed new construction at 146 Jasper Place:

- Standard 1 – A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- Standard 2 – The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

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<sup>1</sup> Tim Kelly Consulting, *Historical Resource, 140-142 Jasper Place, San Francisco, California*, May 2014. This document (and all other documents cited in this report, unless otherwise noted), is available for review at 1650 Mission Street, Suite 400, San Francisco, CA, as part of Case No. 2013.0846E.

<sup>2</sup> San Francisco Planning Department, *Historic Resource Evaluation Response, 140-148 Jasper Place*, May 24, 2017.



- Standard 3 – Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- Standard 5 – Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterizes a historic property shall be preserved.
- Standard 6 – Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires placement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- Standard 9 – New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- Standard 10 – New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The historic resource determination in the HRER concluded that the proposed retention of existing historic architectural materials and features, new building materials, and design features (including massing, height, setting, façade composition, fenestration, and detailing) proposed for the alterations at 140-142 Jasper Place and the new construction at 146 Jasper Place would conform to the secretary's standards and would not materially impair the character defining features or significance of the Upper Grant Avenue Historic District. Therefore the proposed project would not result in a significant adverse impact on historic resources.

**Conclusion.** The proposed project satisfies the criteria for exemption under the above-cited classification(s). In addition, none of the CEQA Guidelines section 15300.2 exceptions to the use of a categorical exemption applies to the proposed project. For the above reasons, the proposed project is appropriately exempt from environmental review.



Attachment C:  
140-142 Jasper Place Part II Historic Resource Evaluation Response, January 15, 2021





## **PART II HISTORIC RESOURCE EVALUATION RESPONSE**

*Record No.:* **2013.0846E**  
*Project Address:* **140-142 Jasper Place**  
*Zoning:* RM-2 Residential-Mixed, Moderate Zoning District  
40-X Height and Bulk District  
*Block/Lot:* 0103/032  
*Staff Contact:* Allison Vanderslice – 628.652.7505  
Allison.Vanderslice@sfgov.org

### **PART I: Historic Resource Summary**

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Constructed in 1910-1911, 140-148 Jasper Place is located on the east side of Jasper Place, an alley between Filbert and Union streets in the North Beach neighborhood of San Francisco. The property includes a two-story over basement building (140-142 Jasper Place) at the south side of the lot and a side yard/driveway at the north side (146-148 Jasper Place).

Anne Bloomfield surveyed the building and surrounding neighborhood in 1982, and this property was assigned the Status Code of "3D" indicating that 140-142 Jasper Place is a contributory building to a district that is eligible for listing on both the National Register and the California Register. The subject property is a contributor to the Upper Grant Avenue Historic District, which is significant under California Register Criteria 1 and 3. The period of significance for the Historic District is 1906-1925.

The character-defining features of the district include:

- Building types: Mixed use (ground story commercial/upper story residential), apartments and flats;
- Multiple mid-block alleys (2-3 per block);
- High density, few vacant lots;
- 2 or 3-story over basement height;
- 2-8 units;
- Smaller lots, simpler ornamentation, and flat facades on alleys;
- Larger lots, more elaborate ornamentation, and bay windows on main streets;
- Emphasis on pedestrian realm (heavy foot traffic);
- Vernacular and classical revival architectural styles;
- Commercial buildings feature plate glass windows, transom strips, bases and posts, and V-shaped recessed entries at the ground floor;
- Raised basements with rusticated concrete to imitate rusticated stone;
- Continuous streetwall (no front setbacks)
- Stairs leading to raised, recessed entries with doors to individual flats or a central staircase;
- Most have 1906-1910 construction dates;
- False fronts and overhanging cornices.



**PART II: Project Determination:**

Based on the Historic Resource Evaluation in Part I and the assessment below, the project's scope of work:

- ☐ Will cause a significant impact to the individual historic resource as proposed.
- ☐ Will cause a significant impact to a historic district / context as proposed.
- ☐ Will not cause a significant impact to the individual historic resource as proposed.
- ☒ Will not cause a significant impact to a historic district / context as proposed.

**PART II: Project Evaluation**

Proposed Project:		Per Drawings Dated:
<input type="checkbox"/> <b>Demolition / New Construction</b>	<input checked="" type="checkbox"/> <b>Alteration</b>	12/17/2020

**PROJECT HISTORY**

There have been several projects and revised projects proposed for the subject parcel. In 2010, associated with Case 2010.0145E, the following was proposed:

- (1) Excavation of the entire 40' X 60' sized lot to a depth of approximately 8'6"; (2) Renovation of the existing historic residential building by removing of the rear porches, interior walls and finishes, and the rear foundation and building wall at the basement level, removing the second floor ceiling and roof, adding a third floor vertical addition that is set back 6'9" from the front building wall, and a four-story rear addition of approximately 15' in depth; and (3) Construction of a new detached four-story 2-family building on the vacant north side of the lot.

An HRE by Tim Kelley from 2010 noted that the property was previously determined to be a contributor to the Upper Grant Avenue Historic District and determined the property was not individually eligible for the National or California Register. The 2010 HRE included a Secretary of Interior's Standards for Rehabilitation (Standards) analysis of plans dated October 28, 2010 that determined the project would comply with the Standards and would not result in an impact to the district. An HRER Part II by Moses Corrette and signed by Tina Tam on January 24, 2011 confirmed that the property was a contributor to the Upper Grant Avenue Historic District and was not individually eligible for the National or California Register. The HRER Part II disagreed with project analysis in the 2010 HRE and determined that the project would not meet the Standards and would cause an impact to the Historic District. The HRER Part II offered the following recommendations:

A more modest proposal that would retain more fabric and original material would be more consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties. Removal of the 3rd story vertical addition and construction of a smaller side addition that is differentiated from the historic resource but compatible with the historic district is recommended.

Based on Department records, 2010.0145E was closed due to cancellation on November 19, 2011.



A new project application was filed in 2013 and assigned case 2013.0846E. At that time the project sponsor proposed construction of a new three-story building on the north side of the project site at 146-148 Jasper Place, but did not propose any alterations to the contributing building at 140-142 Jasper Place. A 2014 HRE by Tim Kelley evaluated the project proposed by the project sponsor in May 2014. The HRE reviewed the proposed project based on plans by Wilson Associates dated April 14th, 2014 and concluded that the proposed project complies with the Standards. Based on an HRER Part II prepared by Gretchen Hilyard and signed by Tina Tam on May 23th, 2014, the Department determined that the proposed project, which consisted of construction of a new three-story with basement, two-unit residential building on an existing vacant lot, was compatible with the Historic District and would not have a significant adverse impact upon a historic resource, as defined by CEQA.

In June 2014 a building permit was filed for alterations to the existing building at 140-142 Jasper Place. Several rounds of design revisions occurred to the proposed addition and alteration at 140-142 Jasper Place to achieve compatibility with the Historic District.

After three years of review, based on an HRER Part II prepared by Eiliesh Tuffy and signed by Tina Tam on May 30th, 2017, the Department determined that the proposed project was consistent with the Standards and the project would not have a significant adverse impact upon a historic resource, as defined by CEQA. The 2017 HRER Part II describes the project as follows:

The proposed project includes the construction of a new three-story with basement, 2-unit residential building with a 3-car garage on the vacant portion of the lot. The project also includes the following work on the existing building: construction of a one-story vertical addition, a new roof deck, interior remodeling, and modification of the rear façade.

Based on a full Standards analysis, the 2017 HRER Part II concluded that the proposed retention of existing historic architectural materials and features, new building materials, and design features (including massing, height, setting, façade composition, fenestration, and detailing) proposed for the alterations at 140-142 Jasper Place and the new construction at 146-148 Jasper Place were compatible with the Upper Grant Avenue Historic District.

The Categorical Exemption Certification for the project dated April 26, 2018 identified no impacts to historic resources.

### **DISTRICT COMPATIBILITY AND IMPACTS ANALYSIS**

As noted above and in the several HRERs previously issued for this property, the building at 140-142 Jasper is a contributor to the Upper Grant Avenue Historic District, significant under Criterion 1 (historically significant events) and Criterion 3 (architectural style) but is not individually eligible for the California Register. As the subject property is located within and a contributor to the Upper Grant Avenue Historic District, the proposed project must be assessed for its potential to result in a substantial adverse change to the significance of the Upper Grant Avenue Historic District, which is the historic resource.

An HRER Part II was prepared in May of 2017 and determined that the project was compatible with the Upper Grant Avenue Historic District and did not result in an impact to the Historic District. The project has undergone several revisions since 2017 and this HRER Part II analyzes a reduced project scope based on plans by Wilson Associates from December 17, 2020.



140-142 Jasper Place

The proposed project is to construct a vertical, one-story addition setback 12 feet from the front building wall and horizontal rear addition to an existing two-story over-basement building containing two dwelling units at 140-142 Jasper Place. Other project changes include expanding the top unit, retrofit the basement level to expand the lower unit, and reconfigure the rear wall.

The proposed project will retain the Classical Revival character-defining features on the front façade including the following: Configuration and materials of the front entry terrazzo stairs, paneled entry, and landing; configuration of double front entry doors; projecting cornice; fenestration consisting of double-hung wood windows with wood surrounds and hoods; and existing horizontal wood cladding and trim details.

There are no changes to the setback or the materials of the proposed vertical additional or to the proposed changes at the rear façade of the building since the 2017 HRER Part II Review.

146-148 Jasper Place

The construction of a new building on the vacant lot is no longer included in the proposed project. The current proposed project does include a new wood fence and gate similar to the existing fence and gate and the addition of a ramp for parking.

**Compatibility Analysis**

The proposed alterations and alterations to 140-142 Jasper Place are found to be compatible with the Upper Grant Avenue Historic District. As noted above, the current project is a reduce scope from a project previously analyzed in an HRER Part II and found compatible with the Historic District in 2017. The current project is found to be compatible with the Historic District as it will retain the following character-defining features applicable to alleyway properties identified for the Historic District:

- 2 or 3-story over basement height;  
The proposed project will result in a building that is three-story over basement in height. Based on renderings, the proposed one-story vertical addition will be minimally visible allowing building to continue to read as two-story over basement.
- 2-8 units;  
The proposed project will retain the two unit building.
- Smaller lots, simpler ornamentation, and flat facades on alleys;  
The proposed project will retain the ornamentation and flat façade found on the subject building and other contributing properties on Jasper Place.
- Vernacular and classical revival architectural styles;  
The proposed project will retain the Classical Revival architectural details of subject building including projecting cornice and ornamental door and wood window surrounds and hoods.
- Raised basements with rusticated concrete to imitate rusticated stone;  
The proposed project will retain the raised basement of the property, although the subject property has brick veneer rather than rusticated concrete, the brick veneer will be retained.
- Continuous streetwall (no front setbacks)  
The proposed project will retain the existing continuous streetwall for the contributing property. For 146 Jasper Place, the project will replace the existing fence and gate with similar gate and fence at the streetwall.
- Stairs leading to raised, recessed entries with doors to individual flats or a central staircase;



The proposed project will retain the existing terrazzo stairs, paneled entryway, and the existing landing leading to the two front doors. Although the doors will be replaced, the recessed entry and door configuration will be retained.

- False fronts and overhanging cornices.

The proposed project will retain the existing front façade and projecting cornice.

Based on the above analysis and the analysis undertaken in the 2017 HRER Part II, the project is found to retain all applicable character-defining features of the Upper Grant Avenue Historic District. Therefore, Department preservation staff has determined that the proposed project is compatible with and will not result in an impact to the Upper Grant Avenue Historic District.

### Cumulative Impacts

As determined above, the current proposed project is found to be compatible with the Upper Grant Avenue Historic District. Within the Historic District, Jasper Place is found to have high historic integrity with minimal changes having occurred to the contributing properties along the alley since the Historic District was identified in 1982. Current and future foreseeable projects along Jasper Place and in the vicinity of the proposed project based on Department records have proposed limited exterior changes and significant impacts to the Historic District by these projects are not anticipated, either individually or cumulatively.

As noted above, the proposed project has undergone several revisions, including the previous proposal of new construction at 146-148 Jasper Place. However, the proposed project does not include construction of a new building at 146-148 Jasper Place nor is there a permit or other application on file for construction of a new building at 146-148 Jasper Place. As noted above, new construction previously proposed at 146-148 Jasper Place was found to be compatible with the Historic District and to not result in an impact to historic resources. If a proposal was to be submitted in the future, it will be reviewed for compatibility with the Historic District and as there is no currently project proposed, the result of that analysis is not known. However, as the proposed project is found to be compatible with the Historic District, the proposed project would not significantly contribute to a cumulative impact to the Historic District if such an impact was identified.

## PART II: Approval

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Signature: Allison Vanderslice  
Allison Vanderslice, *Principal Preservation Planner*  
CEQA Cultural Resources Team Manager, Environmental Planning Division

Date: 1/15/2021

**CC:** Jenny Delumo, Senior Planner  
Environmental Planning Division

Linda Ajello Hoagland, Senior Planner  
NE Team, Current Planning Division

David Winslow, Principal Architect  
Design Review, Current and Citywide Planning Division





# SAN FRANCISCO PLANNING DEPARTMENT

## Planning Department Request for Eviction History Search

November 12, 2014

Van Lam  
Citizen Complaint Officer  
Rent Stabilization and Arbitration Board  
25 Van Ness Avenue, Suite 320  
San Francisco, CA 94102-6033

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
415.558.6378

Fax:  
415.558.6409

Planning  
Information:  
415.558.6377

RE: 140-148 Jasper Place (Address of Permit Work)  
None (Unit Number – if applicable)  
0103/032 (Assessor's Block/Lot)  
2012.1010.1754 (Building Permit Application Number and/or Case No.)

### Project Type:

- ☐ Merger – Planning Code §317(e)(4)  
☒ Enlargement/Alteration/Reconstruction – Planning Code §181(c)(3)  
☐ Legalization of Existing Dwelling Unit – Planning Code §§207.3, et seq.

Pursuant to the Planning Code Section indicated above, please provide all information from the Rent Board's records regarding possible evictions at the above-referenced unit(s) on or after:

- ☐ 12/10/13: [for projects pursuant to PC §317(e)(4) or §181(c)(3)]  
☐ 03/13/14: [for projects pursuant to PC §§207.3, et seq.]

Sincerely,

Carly Grob

Digitally signed by Carly Grob  
DN: cn=grob, o=City of San Francisco, ou=City Planning, email=Carly.Grob@sfplanning.org  
Date: 2014.11.12 17:17:07 -0800

Planner

[www.sfplanning.org](http://www.sfplanning.org)



## Rent Board Response to Request from Planning Department for Eviction History Search

This confirms that the undersigned employee of the San Francisco Rent Board has reviewed its records pertaining to the above-referenced unit(s) to determine whether there is any evidence of no-fault evictions pursuant to Rent Ordinance §§37.9(a)(8) through 37.9(a)(14) on or after the date specified.

☒ No no-fault eviction notices have been filed at the Rent Board after:

☐ 12/10/13

☐ 03/13/14

Yes, a no-fault eviction notice has been filed at the Rent Board after:

☐ 12/10/13

☐ 03/13/14

▪ See attached documents.

There are no other Rent Board records evidencing a no-fault eviction after:

☐ 12/10/13

☐ 03/13/14

Yes, there are other Rent Board records evidencing a no-fault eviction after:

☐ 12/10/13

☐ 03/13/14

▪ See attached documents.

Dated: \_\_\_\_\_ Date of Rent Board Signature

Signed: \_\_\_\_\_

Van Lam

Citizen Complaint Officer

\* No no-fault evictions  
filed in the last  
10 yrs.





## DISCRETIONARY REVIEW PUBLIC (DRP) APPLICATION

### Discretionary Review Requestor's Information

Name:

Email Address:

Address: 25 Napier Lane, San Francisco, CA 9413

Telephone: 415-298-0489

### Information on the Owner of the Property Being Developed

Name: Peter Wilson, Wilson Associates

Company/Organization: same

Email Address:

Address: 1224 Kearny Street, SF, CA 94133

Telephone: (415) 543-5111

### Property Information and Related Applications

Project Address:

Block/Lot(s):

Building Permit Application No(s):

### ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

PRIOR ACTION		YES	NO
Have you discussed this project with the permit applicant?	previous P & Z meeting presentation - plan to meet to discuss DR application		
Did you discuss the project with the Planning Department permit review planner?			
Did you participate in outside mediation on this case? (including Community Boards)			
Changes Made to the Project as a Result of Mediation. If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes that were made to the proposed project. <div>none</div>			



## DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

**SEE ATTACHED**

- 
2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

**SEE ATTACHED**

- 
3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

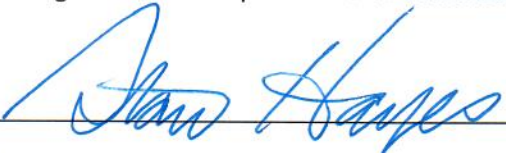
**SEE ATTACHED**



# DISCRETIONARY REVIEW REQUESTOR'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

a) The undersigned is the DR requestor or their authorized representation.

Signature 

President

415-298-0489

Relationship to Requestor  
(i.e. Attorney, Architect, etc.)

Phone

Stan Hayes

Name (Printed)

President@thd.org

Email

For Department Use Only

Application received by Planning Department:

By: \_\_\_\_\_

Date: \_\_\_\_\_



## DR Review Request – 140-142 Jasper Place (Block 103, Lot 32)

### Response to DR Request Question 1

We are requesting the Planning Commission's Discretionary Review (DR) of Record No 2013.0847 (Building Permit Application No. 201406279672). The conversion of the formerly affordable 2-flat historic building at 140-142 Jasper Place into two larger market-rate units would damage the long-term affordability in an area that has for many years provided homes for ethnically diverse families at rents they can afford.

Reference in this DR to "Project Plans" refers to the plan set dated 5-22-20 prepared by Peter Wilson, the architect and owner of the existing building. The Project Plans show an expansion of the existing first floor flat into an excavated basement level, and the expansion of the existing second floor flat into a vertical addition (and roof deck).

#### 1. **There are exceptional and extraordinary circumstances justifying Planning Commission Review of this project.**

##### A. Pattern of conversion of affordable family housing stock into expanded luxury units.

An exceptional and extraordinary circumstance justifying Discretionary Review is the project's clear illustration of the ongoing pattern of conversion of once-affordable family housing, here a 2-flat historic building that once had a third unit in the basement, into two expanded luxury units, diminishing the social, economic, and ethnic diversity of our community. This ongoing pattern of development in North Beach is dramatically reducing our neighborhood's supply of rent-controlled affordable housing stock, encouraging further speculation, eviction, and displacement.

In support of this justification for Planning Commission review, please see the attached correspondence to the Zoning Administrator from the Telegraph Hill Dwellers (THD) (**Attachment 1**), the North Beach Tenants Association (**Attachment 2**), Mr. Howard Wong (**Attachment 3**), and Mr. Wing Hoo Leung, President of the Chinese Tenants Association (CTA) (**Attachment 4**).

The project clearly violates **Priority Policy 3: That the City's supply of affordable housing be preserved and enhanced**, as well as **Priority Policy 2: That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods**.

##### B. Classic example of a proposed piecemeal project.

Another exceptional and extraordinary circumstance justifying Discretionary Review is the effort to piecemeal project approvals on this one lot. As set forth in THD's letter to the Zoning Administrator (See Attachment 1), the developer has



been simultaneously pursuing two separate permit applications for the same lot including a significant alteration to the historic building at 140-142 Jasper Place and the construction of a new building on the north portion of the same lot. Even the attached Variance Application, which is now under consideration, requests variances for two buildings at “140-148 Jasper Place” described as a “Renovation and Addition” and “New Construction,” both on Lot 32 (**Attachment 5**). Because the building permit application for the new construction on the lot had been pending since 2010 (and was only recently withdrawn), we are concerned that a new permit will be filed for such new construction after the project for expansion of the historic building is approved, representing a classic example of a piecemealed development.

- C. The project’s proposed construction within the rear yard will be materially detrimental to the public welfare or materially injurious to the property or improvements in the vicinity.

Another extraordinary circumstance justifying Discretionary Review is the project’s impact on the light and air of residents in the immediate vicinity. Of note is the project sponsor’s reason for why his proposed rear yard Variance would not be detrimental to property or improvements in the vicinity. He states in his Variance Application that “[t]he subject block does not possess a strong pattern of mid-block open space.” (Finding No. 5 on the last page of Attachment 5)

This absence of mid-block open space in this very densely populated area is exactly why decreasing the amount of existing open space on this lot along with the additional building height will negatively impact the light and air of the residents in the immediate vicinity. In his letter to Zoning Administrator Scott Sanchez, Mr. Leung, President of CTA who has lived next door to the subject lot for almost 25 years, wrote that:

*“Given the density of the surrounding neighborhood, the granting of this Variance will result in the loss of what little rear yard open space exists. The loss of light and air to nearby residents is even greater given the vertical addition to the historic building and the height of the new building. . .”* (See Attachment 4)

- D. The proposed project could cause a significant impact on this historic resource and the district requiring environmental review under CEQA.

An exceptional and extraordinary circumstance justifying Discretionary Review is that proposed modifications to this recognized historic building are so extensive that they will cause a significant impact on the building and district.

140-142 Jasper Place is located in the California Register Upper Grant Avenue Historic District, to which it is a contributor, because it retains the character-defining features of the historic district.



The proposed alterations to the building would significantly impair the historic building. The Project Plans show that the project would retain two floorplates, but strip the entire interior, remove the rear portions of the building, foundation and basement floor. The size and extent of the vertical addition would cause the need for a new structural system for the building in order for it to comply with the Building Code. Significant modifications have more recently been proposed to the building's original front entry, a characteristic feature of the historic district. These changes include recessing the entire front entryway, eliminating the original two parallel front doors, adding a new door to the new basement level, and destroying the original materials of the entryway and front terrazzo stairs.

The CEQA determinations for this project have been revised many times following the Department's initial evaluation concluding that the project represented a significant alteration to the historic resource requiring environmental review (**Attachment 6**). The most recent revisions are two Certificates of Determination of Exemption dated 7/11/17 and 4/26/18. Without detailing our issues with the serial environmental reviews for this project – from requiring environmental review to determining that no environmental review is necessary for virtually the same project – we make the following observation concerning the most recent changes to the front entryway. The 4/26/18 Determination of Exemption relies on March 2017 plans for 140-142 Jasper Place, which show the retention of the original two front doors and entryway with different floor plans. In the 2017 plans, the living room, kitchen and dining area are located on the first floor and are accessed from one of the original doors, while the current Project Plans locate these uses in the basement, resulting in a modification to the front entryway and a new door to the basement level.

In addition to the requirement to conduct environmental review, the proposed modifications are clearly in conflict with **Priority Policy 7**, which requires that historic buildings be preserved, and **Priority Policy 2**, which requires that existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*E. The proposed parking is in conflict with Planning Code provisions regulating parking in the Telegraph Hill-North Beach Residential SUD.*

According to the Exemption from Environmental Review, dated 4/26/18, *“the existing building at 140-142 Jasper is a 2,412 gross square foot, two-story over basement, 2-unit residential building; and that the approximately 619 gross square feet of additional new space would result in an approximately 3,031 gross-square-foot, 37-foot-tall, three-story-over-basement residential building.”* This represents a 25.6% increase.<sup>1</sup>

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<sup>1</sup> We find the applicant's most recent plans showing the increase in gross square footage at slightly less than 20% by adding 250 SF of storage space to the basement area to be a disingenuous attempt to avoid the application of Planning Code Section 155(r)(6).



Planning Code Section 155(r)(6) provides that “*building alterations which would increase the gross square footage of a structure by 20 percent or more*” are not allowed to retain any pre-existing access to off-street parking that violates the provisions of 155(r). Section 155(r)(FF) specifically includes: “*All Alleys within the North Beach NCD and the Telegraph Hill-North Beach Residential SUD.*” Therefore, the pre-existing vehicular access to off-street parking on Lot 32 must be removed.

### **Response to DR Request Question 2**

As stated above in Section 1, this project represents the pattern of speculation by developers in North Beach that are dramatically reducing our neighborhood’s -- and the City’s -- supply of rent-controlled affordable housing stock, leading to further speculation, evictions, and displacement. This violates **Priority Policy 2:** *That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;* and **Priority Policy 3:** *That the City’s supply of affordable housing be preserved and enhanced.*

As also described above in Section 1, this project represents an ongoing problem of the planning process that allows or encourages the approval of projects on a piecemeal basis in violation of the intent and purpose of the Planning Code.

The proposed project could cause a significant impact on this historic resource and the district requiring environmental review under CEQA. Not only is this a violation of CEQA, it also violates **Priority Policy 7**, which requires that historic buildings be preserved.

### **Response to DR Request Question 3**

We respectfully ask that the Planning Commission consider the following:

1. Require a Notice of Special Restrictions (NSR) prohibiting construction of an additional new building on Lot No. 32.
2. Require modifications to the project to preserve the historic features of the historic resource, including the removal of the proposed vertical additions and the retention of the original parallel front doors and entryway consistent with Priority Policies 2 and 7 and with the Secretary of Interior’s Standards.
3. Require the elimination of parking from Lot 32 in compliance with Planning Code Section 155(r)(6).
4. Deny the Sponsor’s Application for a Rear Yard Variance and disapprove the addition of a roof deck to avoid impacts to nearby residents in this densely populated area.



5. To provide at least one affordable unit, require the addition of an Accessory Dwelling Unit (ADU) at the basement level, accessible from the rear of the building.<sup>2</sup>
- 

Attachments:

- 1 - THD letter 140-42 Jasper Variance 6.23.20
- 2 - NB Tenants Association's letter to Zoning Administrator 6.23.20
- 3 - Email from Howard Wong to Zoning Administrator 6.24.20
- 4 - Wing Hoo Leung letter to Zoning Administrator
- 5 - 140-148 Jasper PI Variance Application
- 6 - 140 Jasper Historic Resource Response 2010.0145

---

<sup>2</sup> We note here that a previous third unit located in the basement was accessed from the rear of the building. A photo is available.



June 23, 2020

Corey A. Teague  
[corey.teague@sfgov.org](mailto:corey.teague@sfgov.org)  
Zoning Administrator  
1650 Mission Street, Suite 400  
San Francisco, CA 94103



RE: **OPPOSITION TO VARIANCE**  
140-142 Jasper Place  
Block 0103/Lot 032  
Record No. 2013.0846VAR

Dear Mr. Teague,

On behalf of the Telegraph Hill Dwellers, we urge you to deny the proposed variance for 140-142 Jasper Place. As set forth below, we do not believe there are facts sufficient to establish the findings required for a variance from the rear yard requirements of Planning Code Section 134. Importantly, the conversion of this formerly affordable 2-flat historic building at 140-142 Jasper Place into two larger market-rate units would damage long-term affordability in an area that has for many years provided homes for ethnically diverse families at rents they can afford.

### **Background**

There is a long history of concern and opposition to the project sponsor's proposed development of lot 32 in block 103 on Jasper Place, one of the most historic narrow alleyways in North Beach and in the City. Very densely populated, it has long provided rent controlled affordable housing in the North Beach neighborhood.

The subject parcel is located in the Upper Grant Avenue Historic District, which has been determined eligible for listing on the California Register of Historic Places. The existing building at 140-142 Jasper Place is a contributor to this district, retaining the character-defining features of the historic district.

This project sponsor has been simultaneously pursuing two separate project applications for lot 32 – a significant alteration to the historic building at 140-142 Jasper Place and the construction of a new building on the same lot. Maintaining the proposals as two separate applications has led to confusion, both to members of the public who will be impacted by the development(s) and to the series of project planners who have been assigned to review this “project” over time. This confusion is evident in the recent noticing for the variance hearing as well as the variance application under consideration.



### **Application and Noticing Inconsistencies**

The project sponsor's Variance Application No. 2013.0846VAR, which is under consideration at this time, was filed on **7/12/16**. The application requests variances for two buildings at "140-148 Jasper Place" described as a "Renovation and Addition" and "New Construction," both on Lot 32. Because two separate permit applications for the same lot have been pending, this appears an intention to piece-meal the project.

A Notice of Public Hearing for this Variance Application, initially scheduled for May 27, 2020, listed a project address of 146-148 Jasper Place -- the address of the project sponsor's pending permit for a new building -- but it described a vertical addition to an existing building. When we notified the Department of this noticing issue, a revised Notice of Public Hearing was mailed listing the address of the historic building at 140-142 Jasper Place.

As can be seen on the PIM, the project history for Lot 32 is complex. In addition to the documents currently shown on the PIM for two separate buildings on the same lot, our records show a series of evolving plans, Historic Resource Evaluation Responses (HRER), CEQA determinations for the applicant's proposed development of this lot, and a Discretionary Review (DR) application.

### **The Facts Do Not Support the Required Variance Findings**

**Finding 1.** There are no exceptional or extraordinary circumstances applying to the property or intended use of the property that do not apply generally to other residential properties on Jasper Alley.

The project sponsor states in his Variance application No. 2013.0846VAR that the exceptional and extraordinary circumstance applying to this property is the narrowness of 17 foot-wide street and the fact that it is a historic resource requiring a minimum setback from the street. He also states that the property is challenged by the unique, extraordinary, and unusual characteristics of the street, the size of the lot and features of the historic district; and that "the setback [of the vertical addition] will also help to minimize the project's impact on the existing natural lighting conditions on Jasper Place."

These circumstances are not unique, exceptional, or extraordinary.

- The narrowness of 17 foot-wide street is not unique, exceptional, or extraordinary. All 19 the properties on the two blocks of Jasper Place, as well as properties located on countless other narrow streets and alleys in North Beach share this "circumstance." Further, Planning Code Sec. 261.1, enacted after the Variance application was filed in 2016, now requires all projects



located on Narrow Streets and Alleys to be setback to minimize a project's impact on natural light and air. The fact that 140-142 Jasper Place is located on a narrow 17 foot-wide street is not unique, exceptional, or extraordinary in North Beach.

- The presence of historic resources in North Beach is not unique, exceptional, or extraordinary. All projects within the California Register-eligible Upper Grant Avenue Historic District and in other areas determined to be historic in North Beach are subject to special design requirements, including setbacks and other design considerations to minimize their impact on the features of the historic buildings and district. Pursuant to a recent professionally conducted architectural and cultural survey of North Beach over one thousand individual buildings were identified as historic. Therefore, the fact that 140-142 Jasper Place is a contributing historic resource to the Upper Grant Avenue Historic District is not unique, exceptional, or extraordinary in North Beach.
- The size of the lot is not unique, extraordinary or unusual. Lot 32 is 40 feet wide and 60 feet deep. As can be seen on the Assessor Parcel Map of Block 103, all 19 lots facing Jasper Place are 60 feet deep and range in width from 20 to 40 feet. A similar range of lot sizes is found on narrow streets throughout North Beach. Therefore, the size of the subject lot is not unique, extraordinary or unusual.

**Finding 2.** As described above, there are no exceptional or extraordinary circumstances that would create a practical or unnecessary hardship except for those created by or attributable to the applicant.

The “practical or unnecessary hardship” resulting from the enforcement of the rear yard requirements of the Code in this case is directly created by and attributable to the applicant's desire to convert the formerly affordable 2-flat historic building at 140-142 Jasper Place into two larger market-rate units by expanding the lower flat into the basement, which was once a separate dwelling unit, and expanding the upper flat by a new third floor vertical addition.

**Finding 3.** The Applicant has failed to show how the proposed variance is necessary for the preservation and enjoyment of a substantial property right possessed by other residential properties in North Beach.

The properties in North Beach, like the building at 140-142 Jasper Place, were largely built following the 1906 Earthquake and Fire, are uniform in height, design and materials, and most are considered historic resources. As shown above, the size



of lot 32 is not atypical of the residential lots on the narrow streets and alleys of North Beach.

**Finding 4.** The granting of the proposed variance will, in fact, be materially detrimental to the public welfare or materially injurious to the property or improvements in the vicinity.

As justification for his position that the proposed rear yard variance would not be detrimental to property or improvements in the vicinity, the applicant states in his variance application that “[t]he subject block does not possess a strong pattern of mid-block open space.” This absence of mid-block open space in this densely populated area is exactly why decreasing the amount of existing open space on this lot will negatively impact the light and air of the residents in the immediate vicinity.

As stated in a July 25, 2017, letter to Zoning Administrator Scott Sanchez in opposition to this variance application, next door neighbor Wing Hoo Leung, president of the Chinese Tenants Association (CTA), states that:

*“Given the density of the surrounding neighborhood, the granting of this Variance will result in the loss of what little rear yard open space exists. The loss of light and air to nearby residents is even greater given the vertical addition to the historic building. . .”*

Note also the detrimental and materially injurious effect that the proposed third story would have on sunlight access for the adjoining residence at 25 Cadell Place (see attached figure).

**Finding 5.** The granting of this variance would conflict with the general purpose and intent of the Planning Code and would adversely affect the General Plan. The proposed project does not meet any of the Priority Policies applicable and relevant to this residential proposal.

The granting of the variance would conflict with the general purpose and intent of the Planning Code and adversely affect the General Plan, including the Priority Policies set forth in Section 101.1 of the Planning Code. As set forth below, the proposed project does not meet any of the Priority Policies that are applicable to this residential proposal.

***Priority Policy 2.*** *That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.*

***Priority Policy 3.*** *That the City’s supply of affordable housing be preserved and enhanced.*



The conversion of this formerly affordable 2-flat historic building at 140-142 Jasper Place into two larger market-rate units by expanding the upper flat with a vertical addition with a new roof deck, and enlarging the lower flat by excavating the site and connecting it into the basement level is purely speculative and would negatively impact existing rent controlled affordable housing in the North Beach neighborhood, leading to further speculation, evictions, and displacement.

Rather than preserving and enhancing the City's supply of affordable housing as Priority Policy 3 requires, this project would damage long-term affordability in an area that has for many years provided homes for ethnically diverse families at rents they can afford. As such, the proposal would impact the existing cultural and economic diversity of our neighborhood in conflict with Priority Policy 2.

The proposed expansion of this existing historic building could "enhance" affordable housing by adding an ADU in the basement area which once provided a third unit of housing.

***Priority Policy 7. That landmarks and historic buildings be preserved.***

As stated above, this project is located in the California Register Upper Grant Avenue Historic District, to which 140-142 Jasper Place is a contributor, as it retains the character-defining features of the historic district. The proposed modifications to its original front entryway that include recessing the front entryway, eliminating the original two parallel front doors, and destroying the original materials of the entryway and front steps is in direct conflict with Priority Policy 7, which requires that historic buildings be preserved. The design of the vertical addition and glass railing around the roof deck are further inconsistencies with the historic building's preservation.

The CEQA determination for this project has been revised many times following the initial determination that the project represents a significant alteration to the historic resource requiring environmental review, to the most recent revision, which is a Determination of Exemption. Without detailing our issues with the flawed environmental review for this project, we note that the 4/26/18 Determination of Exemption relies on March 2017 plans for 140-142 Jasper Place. Although these plans are not available on the PIM, the plans submitted around this time show the original front doors being retained and the living room, kitchen and dining area on the first floor, not in the basement.

***Priority Policy 4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking.***

The subject property is located within the Telegraph Hill-North Beach Residential Special Use District (SUD). Not only is the proposed project in conflict with Priority



Policy 4, but it is also in conflict with specific Planning Code provisions regulating parking in the Telegraph Hill-North Beach Residential SUD.

Planning Code Sections 155(r) and 155(2)(FF) state the following:

*In order to preserve the pedestrian character of certain downtown and neighborhood commercial districts and to minimize delays to transit service, regulation of garage entries, driveways or other vehicular access to off-street parking or loading (except for the creation of new publicly-accessible Streets and Alleys) on development lots shall be as follows on the following street frontages . . . not permitted on all Alleys within the North Beach NCD and the Telegraph Hill-North Beach Residential SUD.*

Further, Planning Code Section 155(r)(6) states the following:

*A "development lot" shall mean any lot containing a proposal for new construction, building alterations which would increase the gross square footage of a structure by 20 percent or more, or change of use of more than 50 percent of the gross floor area of a structure containing parking. Pre-existing access to off-street parking and loading on development lots that violates the restrictions of Section 155(r) may not be maintained.*

An Alley is defined in Section 102 as "a right-of-way, less than 30 feet in width, permanently dedicated to common and general use by the public." Jasper Place is considered an Alley, as it is approximately 17.5 feet wide.

According to the Exemption from Environmental Review, dated 4/26/18, upon which this project relies, the existing building at 140-142 Jasper is a 2,412 gross square foot, two-story over basement, 2-unit residential building; and that the approximately 619 gross square feet of additional new space would result in an approximately 3,031 gross-square-foot, 37-foot-tall, three-story-over-basement residential building, representing a 25.6% increase.<sup>1</sup>

As a result, the project proposes "*building alterations which would increase the gross square footage of a structure by 20 percent or more*" as defined in Planning Code Section 155(r)(6). As stated above, this section prohibits the retention of any pre-existing access to off-street parking that violates the provisions of 155(r). Section 155(r)(FF) specifically includes: "All Alleys within the North Beach NCD and the Telegraph Hill-North Beach Residential SUD." Therefore, the pre-existing vehicular

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<sup>1</sup> We find the applicant's most recent plans showing the increase in GSF at slightly less than 20% by adding 250 SF of storage space to the basement area to be a disingenuous attempt to avoid the application of Planning Code Section 155(r)(6).



access to off-street parking on Lot 32 must be removed. [See Zoning Administrator's Letter of Determination dated October 24, 2018 on 140-148 Jasper Place]

### **Conclusion**

For the reasons set forth above, we respectfully ask you to deny the variance for 140-142 Jasper Place. Another speculative project on this lot will magnify the damage to long-term affordability in our tenant-rich neighborhood.

Sincerely,



Stan Hayes  
President  
Telegraph Hill Dwellers

cc: Linda Ajello Hoagland <[linda.ajellohoagland@sfgov.org](mailto:linda.ajellohoagland@sfgov.org)>  
Elizabeth Gordon-Jonckheer <[elizabeth.gordon-jonckheer@sfgov.org](mailto:elizabeth.gordon-jonckheer@sfgov.org)>  
Claudine Asbagh <[claudine.asbagh@sfgov.org](mailto:claudine.asbagh@sfgov.org)>  
Scott Sanchez <[Scott.Sanchez@sfgov.org](mailto:Scott.Sanchez@sfgov.org)>  
T Flandrich [tflandrich@yahoo.com](mailto:tflandrich@yahoo.com)  
Gen Fujioka <[genfujioka@gmail.com](mailto:genfujioka@gmail.com)>



# Relationship of 140-142 Jasper to 25 Cadell Sunlight Access

Generated with Google Earth



Google Earth

© 2020 Google

20 ft



June 23, 2020

Corey A. Teague Zoning Administrator

RE: OPPOSITION TO VARIANCE 140-142 Jasper Place Block 0103/Lot 032

Record No. 2013.0846VAR

Dear Mr. Teague,

On behalf of the North Beach Tenants Committee, we urge you to deny the proposed variance for 140-142 Jasper Place. We believe the conversion of this affordable family housing, currently a 2-flat building at 140-142 Jasper Place into two larger luxury units would diminish the social, economic and ethnic diversity of our community.

The housing along the narrow alleyways of North Beach has traditionally been affordable to generations of new immigrant families, partly due to the simple design of family units. We are seeing speculators purchase and submit piecemeal permit applications to baffle not only neighbors, but also Planning & Building Inspection and escape full review of projects which would in the end destroy these affordable multi-family buildings in order to create high end housing. A very similar project design was attempted at another two unit flat just two alleys east of this project and south on Jasper Place, other buildings have had expansions, luxury designs, which make them no longer affordable to the greatest majority of San Franciscans.

What happened to the families that have lived here? We cannot go to the Rent Board to look up any eviction history due to COVID19, nor can we contact former tenants to ask if they were forced to take buyouts. What we do know is that we are rapidly losing our economic and ethnic diversity due to speculation projects such as this one.

The project is NOT adding affordable housing, even though the history of this building at 140-142 Jasper Place reveals that at one time a third unit did indeed exist here. Please deny the variance, do not allow further loss of affordable housing and do not contribute to the loss of our diversity.

Thank you for your consideration,

Theresa Flandrich

North Beach Tenants Committee Co-Founder (tflandrich@yahoo.com)



From: **Howard Wong** <[wongaia@aol.com](mailto:wongaia@aol.com)>  
Date: Wed, Jun 24, 2020 at 5:58 AM  
Subject: COMMENT LETTER - 140-142 Jasper Place (2013.0846VAR)  
To: <[corey.teague@sfgov.org](mailto:corey.teague@sfgov.org)>  
Cc: <[linda.ajellohoagland@sfgov.org](mailto:linda.ajellohoagland@sfgov.org)>, <[elizabeth.gordon-jonckheer@sfgov.org](mailto:elizabeth.gordon-jonckheer@sfgov.org)>, <[claudine.asbagh@sfgov.org](mailto:claudine.asbagh@sfgov.org)>, <[Scott.Sanchez@sfgov.org](mailto:Scott.Sanchez@sfgov.org)>, <[stanhayes1967@gmail.com](mailto:stanhayes1967@gmail.com)>, <[tflandrich@yahoo.com](mailto:tflandrich@yahoo.com)>, <[genfujioka@gmail.com](mailto:genfujioka@gmail.com)>, <[Aaron.Peskin@sfgov.org](mailto:Aaron.Peskin@sfgov.org)>

**OPPOSE VARIANCE: 140-142 Jasper Place, Block 0103/Lot 032, Record No. 2013.0846VAR**

**TO:** Corey A. Teague, Zoning Administrator

**Copy:** Linda Ajello Hoagland, Elizabeth Gordon-Jonckheer, <[elizabeth.gordon-jonckheer@sfgov.org](mailto:elizabeth.gordon-jonckheer@sfgov.org)>Claudine Asbagh, <[claudine.asbagh@sfgov.org](mailto:claudine.asbagh@sfgov.org)>Scott Sanchez, <[Scott.Sanchez@sfgov.org](mailto:Scott.Sanchez@sfgov.org)>Stan Hayes, T Flandrich, Gen Fujioka, Supervisor Aaron Peskin

I concur with the details of Telegraph Hill Dwellers' letter of opposition to the variance for the subject properties, particularly the tactics to confuse neighbors and staff.

Recently, an AIA seminar touted methods to "manipulate" codes for larger square footage. Although clever, code gamesmanship isn't particularly fair nor conducive to defending fundamental principles of the Planning Code and General Plan---to protect affordability, diversity, neighborhood character, historic resources and more.

The precedents set by the case of 120-124 Varennes Street, which employed a tangle of code circumventions and whose permit was denied by the Planning Commission, applies to 140-142 Jasper Place.

As a native of North Beach, I know that alleyways have provided affordable housing for seniors, immigrants, the low-income and working class. Former Police Chief Fred Lau grew up on Varennes Street. Former Police Chief Heather Fong grew up on Bannam Place. Generations of productive citizens, professionals, tech workers, artists and productive citizens grew up in North Beach's alleyways---natural incubators for the American dream.

Sincerely, Howard Wong, AIA, 128 Varennes Street, SF, CA 94133

\* \* \* \* \*



July 25, 2017

Via Email: Scott.Sanchez@sfgov.org

Scott Sanchez  
Zoning Administrator  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

**Re: 140-142 Jasper Place and 146-148 Jasper Place  
Case No. 2013-0846VAR**

**RECEIVED**

**JUL 26 2017**

**CITY & COUNTY OF S.F.  
PLANNING DEPARTMENT  
ZA OFFICE**

Dear Mr. Sanchez,

My name is Mr. Leung and I live at 152 Jasper Place, next door to the proposed project at 140-148 Jasper Place, where have lived for 21 years.

This letter is to ask you to please deny the Request for Variance for the projects at 140-142 and 146-148 Jasper Place. I do not believe it meets the requirements necessary for a Variance and the project conflicts with several of the City's policies.

Jasper Place is one of the most historic alleyways in North Beach and the City. It is densely populated and for many years it has provided homes for many families at rents they can afford. This narrow alleyway is always filled with pedestrians. Most do not own cars.

The major vertical changes proposed to the historic building at 140 Jasper and, in addition, the construction of a very tall and deep new building at 146 Jasper will forever change the character of this alley. Given what is happening in North Beach and other areas of the City, I believe adding these new large condos will soon cause rent increases and evictions.

This project also conflicts with the parking policies of North Beach and the City. A narrow pedestrian alley such as Jasper Place should have no new garages or additional off-street parking as it will increase traffic and impact the safety of pedestrians and residents.

This project conflicts with the City's policy to preserve historic buildings and neighborhoods like Jasper Place and is inconsistent with past determinations made by Planning Department staff, which has found that this project impacts the historic building at 140 Jasper.

Granting a variance for this project conflicts with the City's policy to preserve the cultural and economic diversity of our neighborhood. It represents one of many conversions of the City's existing housing stock that ultimately results in the loss of affordable housing in North Beach. In turn, this loss of affordable housing contributes to the loss of our neighborhood's cultural and economic diversity.



Given the density of the surrounding neighborhood, the granting of this Variance will result in the loss of what little rear yard open space exists. The loss of light and air to nearby residents is even greater given the vertical addition to the historic building and the height of the new building, which is significantly taller than the adjacent buildings.

Not only do the proposed roof decks on each of these buildings add even more to their height, but also they will create noise in what up to now has been a quiet, if dense, neighborhood.

Please deny the Variance for the projects at 140-142 and 146-148 Jasper Place.

Sincerely,

A handwritten signature in black ink that reads "Wing Hoo Leung". The signature is written in a cursive, flowing style with a long horizontal stroke extending from the end of the name.

Wing Hoo Leung



# APPLICATION FOR **Variance** from the Planning Code

## 1. Owner/Applicant Information

PROPERTY OWNER'S NAME:

**peter wilson**

PROPERTY OWNER'S ADDRESS:

**1224 kearny Street SF CA 94133**

TELEPHONE:

**( 510 ) 543-5111**

EMAIL:

**peterwilson2@mac.com**

APPLICANT'S NAME:

**same**

APPLICANT'S ADDRESS:

Same as Above ☒

TELEPHONE:

(      )

EMAIL:

CONTACT FOR PROJECT INFORMATION:

**peter wilson**

ADDRESS:

Same as Above ☒

TELEPHONE:

(      )

EMAIL:

## 2. Location and Classification

STREET ADDRESS OF PROJECT:

**140 - 148 Jasper Place**

ZIP CODE:

**94133**

CROSS STREETS:

**Union Street / Filbert street**

ASSESSORS BLOCK/LOT:

**0103 / 032**

LOT DIMENSIONS:

**40' x 60'**

LOT AREA (SQ FT):

**2400**

ZONING DISTRICT:

**RM 2**

HEIGHT/BULK DISTRICT:

**40'**

## 3. Project Description

( Please check all that apply )

- ☐ Change of Use
- ☐ Change of Hours
- ☒ New Construction
- ☒ Alterations
- ☐ Demolition
- ☐ Other Please clarify:

ADDITIONS TO BUILDING:

- ☒ Rear
- ☐ Front
- ☒ Height
- ☐ Side Yard

PRESENT OR PREVIOUS USE:

**residential**

PROPOSED USE:

**residential**

BUILDING APPLICATION PERMIT NO.:

**2014-0627-9672 / 2012-1010-1658**

DATE FILED:

**7/12/2016**



#### 4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

	EXISTING USES	EXISTING USES TO BE RETAINED	NET NEW CONSTRUCTION AND/OR ADDITION	PROJECT TOTALS
<b>PROJECT FEATURES</b>				
Dwelling Units	residential	2	2	4
Hotel Rooms				
Parking Spaces	3	3	0	3
Loading Spaces				
Number of Buildings		1	1	2
Height of Building(s)		29' / 0'	8' / 40'	37' / 40'
Number of Stories				
Bicycle Spaces				
<b>GROSS SQUARE FOOTAGE (GSF)</b>				
Residential	2700	2500 / 0	660 / 3530	3160 / 3530
Retail				
Office				
Industrial/PDR <small>Production, Distribution, &amp; Repair</small>				
Parking	1440	-540	900	900
Other (Specify Use)				
<b>TOTAL GSF</b>	<b>2700</b>	<b>2500 / 0</b>	<b>660 / 3530</b>	<b>3160 / 3530</b>

Please describe what the variance is for and include any additional project features that are not included in this table. Please state which section(s) of the Planning Code from which you are requesting a variance.  
(Attach a separate sheet if more space is needed)

THE PROJECT IS ASKING FOR A VARIANCE FROM  
SEC 134 REAR YARD REQUIREMENTS &  
SEC 140 OPEN AREA REQUIREMENTS

~~REAR YARD~~

BOTH BUILDINGS ARE ON A VERY SMALL  
LOT, ON A HILL. THE VARIANCE REQUEST  
WOULD ALLOW THE UPPER FLOORS TO BE BUILT  
TO THE 15' REAR YARD.



## Variance Findings

Pursuant to Planning Code Section 305(c), before approving a variance application, the Zoning Administrator needs to find that the facts presented are such to establish the findings stated below. In the space below and on separate paper, if necessary, please present facts sufficient to establish each finding.

1. That there are exceptional or extraordinary circumstances applying to the property involved or to the intended use of the property that do not apply generally to other property or uses in the same class of district;
2. That owing to such exceptional or extraordinary circumstances the literal enforcement of specified provisions of this Code would result in practical difficulty or unnecessary hardship not created by or attributable to the applicant or the owner of the property;
3. That such variance is necessary for the preservation and enjoyment of a substantial property right of the subject property, possessed by other property in the same class of district;
4. That the granting of such variance will not be materially detrimental to the public welfare or materially injurious to the property or improvements in the vicinity; and
5. That the granting of such variance will be in harmony with the general purpose and intent of this Code and will not adversely affect the Master Plan.

**See Attached Pages**



# Priority General Plan Policies Findings

Proposition M was adopted by the voters on November 4, 1986. It requires that the City shall find that proposed projects and demolitions are consistent with eight priority policies set forth in Section 101.1 of the City Planning Code. These eight policies are listed below. Please state how the project is consistent or inconsistent with each policy. Each statement should refer to specific circumstances or conditions applicable to the property. Each policy must have a response. IF A GIVEN POLICY DOES NOT APPLY TO YOUR PROJECT, EXPLAIN WHY IT DOES NOT.

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced;

**The project will not have an impact on neighborhood-serving retail units**

2. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods;

**The project will increase the number of residential units in the City and the neighborhood character will be retained by the design that takes into consideration the character-defining features of the subject buildings and the older, historic buildings that make up the surrounding context**

3. That the City's supply of affordable housing be preserved and enhanced;

**The project will have no impact upon the City's supply of affordable housing**

4. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking;

**The project will not impede Muni transit service nor over burden city streets or neighborhood parking.**

**The subject building already has parking and no additional off-street parking will be provided.**



5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced;

**The project will not displace any service or industry establishment, nor affect industrial or service uses or related employment opportunities, nor affect future ownership opportunities.**

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake;

**The proposal will not impact the property's ability to withstand an earthquake.**

7. That landmarks and historic buildings be preserved; and

**The project does not adversely impact any significant character-defining features of the subject building or adjacent landmark buildings**

8. That our parks and open space and their access to sunlight and vistas be protected from development.

**The project will not shadow any existing parks or open spaces.**



# Estimated Construction Costs

TYPE OF APPLICATION:

**Variance**

OCCUPANCY CLASSIFICATION:

**R 3**

BUILDING TYPE:

**V**

TOTAL GROSS SQUARE FEET OF CONSTRUCTION:

**Renovation & Addition- 3160 SF**

BY PROPOSED USES:

**Residential**

**New Construction - 3530 SF**

ESTIMATED CONSTRUCTION COST:

**\$ 1,168,000**

ESTIMATE PREPARED BY:

**peter wilson**

FEE ESTABLISHED:

## Applicant's Affidavit

Under penalty of perjury the following declarations are made:

- a: The undersigned is the owner or authorized agent of the owner of this property.
- b: The information presented is true and correct to the best of my knowledge.
- c: The other information or applications may be required.

Signature:



Date:

**7/12/16**

Print name, and indicate whether owner, or authorized agent:

**PETER WILSON - OWNER**

Owner / Authorized Agent (circle one)



# Application Submittal Checklist

Applications listed below submitted to the Planning Department must be accompanied by this checklist and all required materials. The checklist is to be completed and **signed by the applicant or authorized agent and a department staff person.**

APPLICATION MATERIALS	CHECKLIST	
Application, with all blanks completed	<input checked="" type="checkbox"/>	✓
300-foot radius map, if applicable	<input checked="" type="checkbox"/>	} not required @ intake
Address labels (original), if applicable	<input checked="" type="checkbox"/>	
Address labels (copy of the above), if applicable	<input checked="" type="checkbox"/>	
Site Plan	<input checked="" type="checkbox"/>	
Floor Plan	<input checked="" type="checkbox"/>	✓
Elevations	<input checked="" type="checkbox"/>	✓
Section 303 Requirements	<input checked="" type="checkbox"/>	✓
Prop. M Findings	<input checked="" type="checkbox"/>	✓
Historic photographs (if possible), and current photographs	<input checked="" type="checkbox"/>	✓
Check payable to Planning Dept.	<input checked="" type="checkbox"/>	✓
Original Application signed by owner or agent	<input checked="" type="checkbox"/>	✓
Letter of authorization for agent	<input type="checkbox"/>	N/A
Other: Section Plan, Detail drawings (ie. windows, door entries, trim), Specifications (for cleaning, repair, etc.) and/or Product cut sheets for new elements (ie. windows, doors)	<input type="checkbox"/>	

NOTES:

- ☐ Required Material. Write "N/A" if you believe the item is not applicable, (e.g. letter of authorization is not required if application is signed by property owner.)
- ☒ Typically would not apply. Nevertheless, in a specific case, staff may require the item.
- ☐ Two sets of original labels and one copy of addresses of adjacent property owners and owners of property across street.

**After your case is assigned to a planner, you will be contacted and asked to provide an electronic version of this application including associated photos and drawings.**

Some applications will require additional materials not listed above. The above checklist does not include material needed for Planning review of a building permit. The "Application Packet" for Building Permit Applications lists those materials.

No application will be accepted by the Department unless the appropriate column on this form is completed. Receipt of this checklist, the accompanying application, and required materials by the Department serves to open a Planning file for the proposed project. After the file is established it will be assigned to a planner. At that time, the planner assigned will review the application to determine whether it is complete or whether additional information is required in order for the Department to make a decision on the proposal.

For Department Use Only

Application received by Planning Department:

By: 

Date: 7/12/2016



## FINDING 1

The property is located on a 17 feet wide street. Due to this street width, and the fact that the 140 Jasper building is a historic resource, the 4<sup>th</sup>-floor addition to 140 Jasper is proposed to be setback a minimum of 12-feet from the street façade. As a result, the additional square footage that may have been obtained within the 12-foot setback is not proposed at the rear of the subject building. This setback is proposed to minimize the visual impact of the addition upon the character-defining features of the subject historic building. The setback will also help to minimize the project's impact on the existing natural lighting conditions on Jasper Place.

The new building - 146 Jasper - is also challenged by the unique extraordinary, unusual characteristics of the street, size of the lot and features of the historic district. The new building is consistent with the district in character and provides two new dwelling units. Without the variance the property may not be able to enjoy the benefits granted other properties in the district.

## FINDING 2

The 140 Jasper building is a historic resource and the setback of the 4<sup>th</sup>-floor addition is required in order to avoid impacting the character-defining features associated with its significance. The setback at the front of the 4<sup>th</sup> floor addition reduces the allowable building envelope for the upper unit of this 2-unit building. Without the variance, the project sponsor would be required to eliminate one of the bedrooms at the 3<sup>rd</sup> floor to accommodate some of the more public living functions at that floor.

The 146 Jasper building suffers from the same extraordinary conditions as other buildings on Jasper and without the variance would suffer an unnecessary hardship that would prevent the construction of two dwelling units that are consistent with the buildings in the vicinity and district.



### FINDING 3

Other properties in an RM-2 zoning district have built to the front property line at the 4<sup>th</sup> floor level and would continue to be allowed to do so provided that their proposal is in compliance with the Residential Design Standards. The width of the subject property is 20-feet, narrower than the typical 25 foot wide lot within an RM-2 District. This width constraint makes it more difficult to achieve two 2 unit buildings of family housing on this property.

In addition, other properties on this side of Jasper Place are currently built to the rear property line, significantly increasing the allowable building area beyond that which is allowed by the Planning Code. Even with the granted variance, the rear wall of the proposed building will not extend into the rear yard as far as other adjacent properties.

### FINDING 4

Granting the variance will not be detrimental to any public right of way or the mid-block open space. The subject block does not possess a strong pattern of mid-block open space. The proposed rear addition will not be visible from the public right-of-way along Jasper Place and will not result in any measurable visual change.

### FINDING 5

This development is consistent with the generally stated intent and purpose of the Planning Code to promote orderly and beneficial development. Planning Code Section 101.1 establishes eight priority-planning policies and requires review of the variance applications for consistency with said policies. The project meets with all relevant policies, including conserving neighborhood character, and creating new housing stock.





# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Historic Resource Evaluation Response

**MEA Planner:** Brett Bollinger  
**Project Address:** 140 Jasper Place  
**Block/Lot:** 0103/032  
**Case No.:** 2010.0145E  
**Date of Review:** January 24, 2011  
**Planning Dept. Reviewer:** Moses Corrette  
(415) 558-6295 | moses.corrette@sfgov.org

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

### PROPOSED PROJECT

☐ Demolition    ☒ Alteration    ☒ New Construction

### PROJECT DESCRIPTION

The proposed project includes: (1) Excavation of the entire 40' X 60' sized lot to a depth of approximately 8'6"; (2) Renovation of the existing historic residential building by removing of the rear porches, interior walls and finishes, and the rear foundation and building wall at the basement level, removing the second floor ceiling and roof, adding a third floor vertical addition that is set back 6'9" from the front building wall, and a four-story rear addition of approximately 15' in depth; and (3). Construction of a new detached four-story 2-family building on the vacant north side of the lot.

The project would add approximately 4,034 square feet of residential space to the lot between the existing 2,490 square foot building and the adjacent new building for a total of 5,624 gross residential square footage, and will retain the existing 320 square feet of parking.

The existing building is a two-story over a raised basement wood-frame two-unit residential flats building in a modest Classical revival style. The base is clad in surface brick that appears to be an early alteration, the upper floors are clad in narrow clapboard siding. The façade is composed in two structural bays. The first bay of each floor contains paired windows. The right bay contains a recessed entry from the sidewalk to a pair of wood sash doors with transoms, terrazzo stairs, and wood and terrazzo panels on the lower floor, and a single window on the second floor. All windows are double-hung wood sash with wood surrounds and simple molded hoods. The entablature contains a projecting dentilated block modillion cornice. The roof is flat. The vacant portion of the lot is separated from the street by a high board fence that contains a wood pedestrian door, and a wood panel vehicular door.

### PRE-EXISTING HISTORIC RATING / SURVEY

Archival permit records indicate local builder B. Pagano constructed the subject property in 1910-11. The property is included in the 1976 Architectural Survey, with a rating of "1". Anne Bloomfield surveyed the building and surrounding neighborhood in 1982, and this property was assigned the Status Code of "3D" indicating that it is a contributory building to a district that is eligible for listing on the National Register. By State law, the district was automatically listed on the California Register.

The property at 140-142 Jasper Place is a "Category A.1" (Resources listed on or formally eligible for the California Register) property for the purposes of the Planning Department's California Environmental Quality Act (CEQA) review procedures.



## HISTORIC DISTRICT / NEIGHBORHOOD CONTEXT

The parcel is located on a regularly shaped lot on the east side of Jasper Place, on a block bound by Union, Filbert, Stockton and Grant Streets in the North Beach neighborhood. The property is located within a RM-2 (Residential Mixed, Moderate Density) Zoning District and a 40 -X Height and Bulk District. The immediate area consists largely of multiple-family homes constructed primarily between 1906 and 1925. The property was found to contribute to the "Upper Grant Avenue Historic District" (District) which is listed on the California Register, and eligible for the National Register. The District description reads:

"The Upper Grant Avenue District consists of a neighborhood shopping street and its surrounding streets full of apartments and flats, all less than one block distant from the narrow shopping street, Grant Avenue. The neighborhood is densely packed, both in plan: by two or three very narrow alleyways added to each block of the City's rectangular grid; and in architecture: by sidewalk-hugging, multiple-unit adjoining buildings and nary an open space except the streets themselves. Most buildings are 3-story & basement vernacular Classic frames; those on main streets have bay windows, those on alleys do not..."

1. **California Register Criteria of Significance:** Note, a building may be an historical resource if it meets any of the California Register criteria listed below. If more information is needed to make such a determination please specify what information is needed. *(This determination for California Register Eligibility is made based on existing data and research provided to the Planning Department by the above named preparer / consultant and other parties. Key pages of report and a photograph of the subject building are attached.)*

Event: or	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Unable to determine
Persons: or	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unable to determine
Architecture: or	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Unable to determine
Information Potential:	<input checked="" type="checkbox"/> Further investigation recommended.		
District or Context:	<input checked="" type="checkbox"/> Yes, does contribute to a listed district		

**Upper Grant Avenue Historic District 1906 - 1925**

**Criterion 1:** *It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States;*

The subject property, completed in 1911 is one of a number of buildings that contribute to the District. The statement of significance from the District Record states:

"Upper Grant Avenue District is significant because of its historical land use pattern, recreated after the 1906 fire and essentially unchanged today from the earliest development: a tightly packed area of interdependent housing and small shops serving the community with basic services and ethnic specialties... It was and is a "busy" place, with emphasis on foot traffic. It reflects the crowded living conditions typically experienced by recent [as of 1982] immigrants. The area has always had an "ethnic" quality: a mixture of Germans, Italians, Latin Americans and French in 1880, Italians after 1900, and Asian Americans today. In the [mid] 20<sup>th</sup> century the small apartments and low rents began to



attract Bohemians and literati who enjoyed the ethnic atmosphere and inexpensive ethnic restaurants..."

***Criterion 2: It is associated with the lives of persons important in our local, regional or national past;***

The property is associated with Francisco Figone from at least 1894, and the building itself from the time it was erected to 1931. Figone immigrated to the US in 1885, and had several careers including scavenger, laborer, wine dealer and teamster. He was a member of the Garibaldi Guards and the Benevolent and Protective Society of Scavengers. As an entrepreneur, he operated a small water works for the neighborhood for several years. Despite the strong association with Figone, it is unclear if he contributed to San Francisco or California in a significant manner that would qualify the building as significant for the California register. Later owners include Angelo and Angela Serventi (1931-1939), Mary Rose (1939-1941), William and Betty Knight (1941-1944), Miguel and Gregoria Flagan and Regina Rocha (1944-1947) and Ouyong Su Hing and James G., Robert G., and Herbert H. Gong (1947-1989). None of these subsequent owners appears to have been important in local, state or national history that could qualify this property for the California Register.

***Criterion 3: It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values;***

The statement of significance from the District Record states:

"... The pattern consists of a narrow main street, and even narrower alleys, all filled with side-by-side 2-8 unit, 3-story vernacular Classic buildings on small lots with bays and more ornamentation on City grid streets – and of similar buildings with residential upper stories and ground-floor shops on and near Grant Avenue.

Local builder B. Pagano, who does not seem to have been a significant builder, erected the subject property. There was no architect.

***Criterion 4: It yields, or may be likely to yield, information important in prehistory or history;***

It is possible that the subject property is likely to yield information important to a better understanding of prehistory or history. According to articles in the *San Francisco Chronicle and Call* published on January 16, 1893, Figone (the owner of the property) discovered a pioneer surface well in his yard (in the rear of the subject lot) and built a windmill and 25,000 gallon water tower. According to an article published on September 3, 1893, this pioneer well is possibly linked to a spring discovered in 1848 by Sergeant Figueroa, "Ojo de Aqua de Figueroa." This spring supplied water to the Yerba Buena and Presidio reservations for several years until the Spring Valley Water Company Co. took it over.

- 
- 2. Integrity** is the ability of a property to convey its significance. To be a resource for the purposes of CEQA, a property must not only be shown to be significant under the California Register criteria, but it also must have integrity. To retain historic integrity a property will always possess several, and usually most, of the aspects. The subject property has retained or lacks integrity from the period of significance noted above:



**Location:** ☒ Retains ☐ Lacks  
**Association:** ☒ Retains ☐ Lacks  
**Design:** ☒ Retains ☐ Lacks  
**Workmanship:** ☒ Retains ☐ Lacks

**Setting:** ☒ Retains ☐ Lacks  
**Feeling:** ☒ Retains ☐ Lacks  
**Materials:** ☒ Retains ☐ Lacks

The subject building retains integrity of Location, Setting, Association, Workmanship, Feeling and Materials, and a slightly impaired Design, due to the addition of surface brick at the base during the early period of the building. Overall the building retains integrity.

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**3. Determination of whether the property is an “historical resource” for purposes of CEQA.**

☐ No Resource Present (*Go to 6 below.*) ☒ Historical Resource Present (*Continue to 4.*)

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**4. If the property appears to be an historical resource, whether the proposed project would materially impair the resource (i.e. alter in an adverse manner those physical characteristics which justify the property’s inclusion in any registry to which it belongs).**

- ☐ The project will not cause a substantial adverse change in the significance of the resource such that the significance of the resource would be materially impaired. (*Continue to 5 if the project is an alteration.*)
- ☒ The project is a significant impact as proposed. (*Continue to 5 if the project is an alteration.*)

A Historical Resource Evaluation Report (Report) written by Tim Kelley Consulting evaluating the proposed project against the Secretary of the Interior’s Standards was submitted to the Department for review. The report summary states:

“140-142 Jasper Place is a contributor to the Upper Grant Avenue Historic District, which was found to appear eligible for the National Register through survey evaluation in 1982. The proposed project including the construction of a new adjacent building complies with the Secretary of the Interior’s Standards and does not does [sic] have a negative impact on the subject building or the historic district.”

In detail, the Report argues that the new third story and rear additions comply with Standard #2 because they would not be visible from the street. Further, the removal of the rear porches are not distinctive material or features, and their removal would not diminish the buildings contributory status within the district. Statements to suggest compliance with each Standard was provided.

The Department has evaluated both the project and Report, and, contrary to the Report, has found that the project could cause a significant impact on the resource and the district.

The project as proposed is inconsistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties (Rehabilitation) in the following manner:



Standard 5 – *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.* As proposed, the project will retain two floorplates, but strip the entire interior, remove the rear portions of the building, foundation and basement floor. The size and extent of the vertical addition would cause the need for a new structural system for the building in order for it to comply with the Building Code.

Standard 7 – *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.* As proposed, the wholesale removal of substantial portions of the building is a physical treatment that will cause damage to historic materials.

Standard 8 – *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.* As proposed, the removal of all soils of the entire project site to a depth of 8'6" would destroy historic archeological features that are likely associated with "Ojo de Agua de Figueroa" of 1848.

Standard 9 – *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.* As proposed, additions below the existing building, to the rear, to the side, and above would destroy historic materials that characterize the property as a building, and not a façade. The new work would not be differentiated from the old, as it would be materially integrated into it. The massing, size and scale of the vertical addition as well as the side addition would later the integrity of the resource and the District. The vertical addition is too tall and too visible and the side addition is incompatible with the historic character of the historic district. Specifically, it contains too much glazing, the windows should be wood, the overall scale is too tall and massive, it lacks a differentiated base, and is not subordinate and in keeping with the overall scale and character of the neighborhood.

Standard 10 – *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.* As proposed, the project would not be reversible, as the extent of removal of historic fabric and interweaving of new construction (above, below and laterally) would not allow the remaining historic fabric to stand as a building. The historic form and integrity of design, workmanship, setting, feeling, and materials of the property would be lost.

---

**5. Character-defining features of the building to be retained or respected in order to avoid a significant adverse effect by the project, presently or cumulatively, as modifications to the project to reduce or avoid impacts. Please recommend conditions of approval that may be desirable to mitigate the project's adverse effects.**

As shown in the proposed plans, the project appears to be a *de-facto* demolition of a historic resource. Full demolition calculations are beyond the scope of this review. While the façade, first and second floor plates and side walls are shown to be retained, the cumulative effect of: (1) removing the



foundation, (2) removing the rear wall at the basement level, (3) removing the rear porches, (4) removing every interior partition, (5) removing the second floor ceiling and roof, and (6) substantial excavation of the entire site could be a significant impact to the historic resource. A more modest proposal that would retain more fabric and original material would be more consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties. Removal of the 3<sup>rd</sup> story vertical addition and construction of a smaller side addition that is differentiated from the historic resource but compatible with the historic district is recommended.

---

**6. Whether the proposed project may have an adverse effect on off-site historical resources, such as adjacent historic properties.**

☒ Yes    ☐ No    ☐ Unable to determine

The proposed project could have an impact to the Upper Grant Avenue Historic District as the proposed design is out of scale and incompatible with the existing district's architectural context, and lacks a fenestration pattern that is found in the area. The wood cladding and recessed entry are both characteristics of the district, and are encouraged.

---

**SENIOR PRESERVATION PLANNER REVIEW**

Signature: \_\_\_\_\_  
Tina Tam, Senior Preservation Planner

Date: \_\_\_\_\_

cc: Linda Avery, Recording Secretary, Historic Preservation Commission  
Vernaliza Byrd / Historic Resource Impact Review File

Attachments: Historic Resource Evaluation Report prepared by property owner.

NMC: I:\Cases\2010\2010.0145\Historic Resource Evaluation Report.doc



**From:** Daniel Tabari  
27 Cadell Place  
San Francisco, CA 94133

SAN FRANCISCO CA 94103

17 JUN 2020 PM 3:11



RECEIVED

JUN 19 2020

CITY & COUNTY OF SF  
PLANNING DEPARTMENT  
RECEIVED

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**To:** Planning Department  
1650 Mission St., Suite 400  
San Francisco, CA 94103

5410332480 0025





**To:** Zoning Administrator

**From:** Daniel Tabariai

**Date:** June 17, 2020

**Subject:** Objection to Variance for 140-142 Jasper Place (Record No.: 2013.0846VAR)

Dear Zoning Administrator,

I strongly object to the proposed variance at 140-142 Jasper Place because it would completely eliminate the beautiful view of Russian Hill from my apartment, reduce the amount of light my apartment receives, and impair the already limited openness of the unique area.

I reside in 27 Cadell Place, which is the top floor of a duplex directly east of the subject property. The duplex that I live in exhibits a unique character in that it is the last building at the dead end of an alleyway (Cadell Place). Only two sides of our apartment have window openings—the south side (which faces the alley) and the east side (which faces Russian Hill). With limited openings in a limited location within an alley, we absolutely adore the view and amount of light we receive from the east side window that faces Russian Hill. In fact, it was the deciding factor in the decision to move into this apartment last month, and I imagine it was the same for most people in the past and future who resided or will reside in this apartment unit.

If the proposed variance was granted and the additional floor was constructed, our entire view of Russian Hill would be eradicated. Currently, 140-142 Jasper Place and the building I reside in have about the same height. So, any addition to the proposed project would go above the building I reside in. Because my building is in an alleyway and surrounded by buildings on each side (many of which are already taller than our building), having an additional taller building which would obstruct our only favorable view which would create a very closed off and claustrophobic living environment for anyone living in our current unit or the unit below us.

Having this amazing view of Russian Hill is a constant reminder of the rich history, culture, and character of San Francisco and eradicating this would be a shame.

Sincerely,

A handwritten signature in black ink, appearing to read 'Daniel Tabariai', with a stylized flourish at the end.

Daniel Tabariai



**From:** [Dave Post](#)  
**To:** [Winslow, David \(CPC\)](#)  
**Subject:** Re: 140-142 Jasper Discretionary Review  
**Date:** Tuesday, October 27, 2020 8:55:17 AM

---

Thanks David,

Can you please ensure this is included on the official record?

I have a big issue with this variance as I am the owner of the property to the rear of this 25/27 Cadell. My patio, both bathroom and living rooms directly face the direction of this proposed construction. By allowing this variance it will have a material impact on light to my property as well as privacy. This project would be essentially building a 40 foot wall within ~17 feet of my property not to mention the 30 foot within ~13 feet of my property. I would strenuously suggest the owner abide by the zoning regulations for set back as well as building height.

Can you confirm this will be included in the public record? I will also attend to attend in person as well but want this to be logged in case I don't make it.

Thanks,  
Dave

On Tue, Oct 27, 2020 at 8:31 AM Winslow, David (CPC)  
<david.winslow@sfgov.org> wrote:

>

> yes. as long as I receive them 8 days prior to the hearing

>

> David Winslow

> Principal Architect

> Design Review | Citywide and Current Planning

> San Francisco Planning Department

> 49 South Van Ness, Suite 1400 | San Francisco, California, 94103

> T: (628) 652-7335

>

> The Planning Department is open for business during the Shelter in Place Order. Most of our staff are working from home and we're available by e-mail. Our Public Portal, where you can file new applications, and our Property Information Map are available 24/7. The Planning Commission is convening remotely and the public is encouraged to participate. The Board of Appeals and Board of Supervisors are accepting appeals via e-mail despite office closures. All of our in-person services at 1650 and 1660 Mission Street are suspended until further notice. Click here for more information.

>

>

> -----Original Message-----

> From: Dave Post <masterposts@gmail.com>

> Sent: Monday, October 26, 2020 3:50 PM

> To: Winslow, David (CPC) <david.winslow@sfgov.org>

> Subject: Re: 140-142 Jasper Discretionary Review

>

> Thanks, can I submit my written thoughts to you to include in the DR?

>



> On Mon, Oct 26, 2020 at 2:56 PM Winslow, David (CPC) <david.winslow@sfgov.org> wrote:

>>

>> All meetings and hearings are remote. There is a call in number for members of the general public. Please note however that this item has been continued to the December 17 hearing.

>>

>> David Winslow

>> Principal Architect

>> Design Review | Citywide and Current Planning San Francisco Planning

>> Department

>> 49 South Van Ness, Suite 1400 | San Francisco, California, 94103

>> T: (628) 652-7335

>>

>> The Planning Department is open for business during the Shelter in Place Order. Most of our staff are working from home and we're available by e-mail. Our Public Portal, where you can file new applications, and our Property Information Map are available 24/7. The Planning Commission is convening remotely and the public is encouraged to participate. The Board of Appeals and Board of Supervisors are accepting appeals via e-mail despite office closures. All of our in-person services at 1650 and 1660 Mission Street are suspended until further notice. Click here for more information.

>>

>>

>> -----Original Message-----

>> From: Dave Post <masterposts@gmail.com>

>> Sent: Monday, October 26, 2020 2:51 PM

>> To: Winslow, David (CPC) <david.winslow@sfgov.org>

>> Subject: 140-142 Jasper Discretionary Review

>>

>>

>> This message is from outside the City email system. Do not open links or attachments from untrusted sources.

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>>

>>

>> Hi Daivd,

>>

>> I got a notice about this DR. How do I participate? I doubt I will make the live event but still want my voice to be heard.

>>

>> Thanks,

>> Dave



July 25, 2017

Via Email: Scott.Sanchez@sfgov.org

Scott Sanchez  
Zoning Administrator  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

**Re: 140-142 Jasper Place and 146-148 Jasper Place  
Case No. 2013-0846VAR**

**RECEIVED**

**JUL 26 2017**

**CITY & COUNTY OF S.F.  
PLANNING DEPARTMENT  
ZA OFFICE**

Dear Mr. Sanchez,

My name is Mr. Leung and I live at 152 Jasper Place, next door to the proposed project at 140-148 Jasper Place, where have lived for 21 years.

This letter is to ask you to please deny the Request for Variance for the projects at 140-142 and 146-148 Jasper Place. I do not believe it meets the requirements necessary for a Variance and the project conflicts with several of the City's policies.

Jasper Place is one of the most historic alleyways in North Beach and the City. It is densely populated and for many years it has provided homes for many families at rents they can afford. This narrow alleyway is always filled with pedestrians. Most do not own cars.

The major vertical changes proposed to the historic building at 140 Jasper and, in addition, the construction of a very tall and deep new building at 146 Jasper will forever change the character of this alley. Given what is happening in North Beach and other areas of the City, I believe adding these new large condos will soon cause rent increases and evictions.

This project also conflicts with the parking policies of North Beach and the City. A narrow pedestrian alley such as Jasper Place should have no new garages or additional off-street parking as it will increase traffic and impact the safety of pedestrians and residents.

This project conflicts with the City's policy to preserve historic buildings and neighborhoods like Jasper Place and is inconsistent with past determinations made by Planning Department staff, which has found that this project impacts the historic building at 140 Jasper.

Granting a variance for this project conflicts with the City's policy to preserve the cultural and economic diversity of our neighborhood. It represents one of many conversions of the City's existing housing stock that ultimately results in the loss of affordable housing in North Beach. In turn, this loss of affordable housing contributes to the loss of our neighborhood's cultural and economic diversity.



Given the density of the surrounding neighborhood, the granting of this Variance will result in the loss of what little rear yard open space exists. The loss of light and air to nearby residents is even greater given the vertical addition to the historic building and the height of the new building, which is significantly taller than the adjacent buildings.

Not only do the proposed roof decks on each of these buildings add even more to their height, but also they will create noise in what up to now has been a quiet, if dense, neighborhood.

Please deny the Variance for the projects at 140-142 and 146-148 Jasper Place.

Sincerely,

A handwritten signature in black ink that reads "Wing Hoo Leung". The signature is written in a cursive, flowing style with a long horizontal stroke extending from the end of the name.

Wing Hoo Leung





# RESPONSE TO DISCRETIONARY REVIEW

---

## Project Information

Property Address:	Zip Code:
Building Permit Application(s):	
Record Number:	Discretionary Review Coordinator:

---

## Project Sponsor

Name:	Phone:
Email:	

---

## Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

---
2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

---
3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

---



## Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)		
Occupied Stories (all levels with habitable rooms)		
Basement Levels (may include garage or windowless storage rooms)		
Parking Spaces (Off-Street)		
Bedrooms		
Height		
Building Depth		
Rental Value (monthly)		
Property Value		

I attest that the above information is true to the best of my knowledge.

<b>Signature:</b> 	<b>Date:</b>
<b>Printed Name:</b>	<input type="checkbox"/> Property Owner <input type="checkbox"/> Authorized Agent

*If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.*



## **Response to Discretionary Review**

Property Address: 140 Jasper Place

Zip Code: 94133

Building Permit Application: 2014.0627.9672

Record Number: 2013.0846

Discretionary Review Coordinator: David Winslow

- 1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)**

The aim of this project is to provide a building that will allow for my son and his family to continue to live on Jasper Place, while providing an additional rent-controlled unit fit for a family. We have been working since we purchased the building in 2008 toward that aim. This current plan complies with the Planning Code in letter and in spirit, and addresses the Planning staff feedback and many community concerns received over the years.

We ask that you approve the project as proposed.

The DR applicant, Telegraph Hill Dwellers (THD), puts forward a number of assertions to support their claim that there exist exceptional and extraordinary circumstances requiring planning commission review. None of them reflect the reality of this project.

### ***In response to Discretionary Review Request (DRR) Section 1. A. "Pattern of conversion of affordable family housing stock into expanded luxury units."***

THD's claims of tenant displacement and the creation of luxury apartments, which they then use to justify their drastic critiques, are not based on the project in front of them.

The following is a summary of the rental history of 140-142 Jasper Place that was compiled in Tim Kelley's Historical Resource Evaluation of the project (see Attachment 1):

- The Figone family owned the 140-142 Jasper Place property from 1890 to 1931 and, after the 1906 earthquake, built the 140 building and lived there until selling it to the Serventi family in 1931.
- The Serventi family sold 140-142 Jasper Place in 1939 and the building was rented from 1939 until it was sold in 1947.
- The Gong family lived in both units on the property from 1947 until selling to the Wilson family in 2008. The building at 140-142 Jasper Place has been a rental property for only 8 of its 109 year history.
- In a December 2014 response to a request for a LOD letter, Deputy Zoning Administrator Scott Sanchez stated that "There have not been any "no-fault" evictions at the property within the last 10 years"



The project at 140-142 Jasper Place does not reduce the rent-controlled housing stock, nor has there been any eviction or displacement. The property was purchased in 2008 from one occupying family to another and has been continuously occupied by one family or another since the 1940s. In fact, once this project is completed, the unit of 142 Jasper Place will be offered for the first time in decades as a rent-controlled unit.

Existing housing and neighborhood character are conserved by this project because a 2-unit building will continue to be a 2-unit building and the facade will remain consistent with the scale and style of other Edwardian facades found on Jasper Place today. For example, 129 Jasper Place (seen in Attachment 2) maintains a similar style and entry facade. Furthermore, the design has undergone extensive review and modifications with the Planning Department staff and Historic review. The third floor addition is also set back from Jasper Place so that it cannot be seen from the street.

***In response to DRR Section 1. B. "Classic example of a proposed piecemeal project."***

It is true that the original plans filed 8 years ago included the renovation of the existing building (140-142 Jasper Place) and the construction of a new building (146-148 Jasper Place). The reason for two separate building permits was to allow each building to be classified as a "townhouse" construction. Those Plans were made incredibly challenging by THD's opposition and new planning rules put in place after those plans were filed. The plan for a new building was withdrawn in July 2019.

This is not an example of 'piecemealed development'. This is a project that has been significantly revised and scaled back in response to neighborhood feedback, changing planning codes, and rulings made by the Planning Department.

***In response to DRR Section 1. C. "The project's proposed construction within the rear yard will be materially detrimental to the public welfare or materially injurious to the property or improvements in the vicinity."***

THD claims in this section that the project decreases the amount of midblock open space. In fact, the proposed plan increases midblock open space.

The proposed project increases the building's square footage by renovating the ground floor and by adding a partial third floor. However, this third floor addition is three feet lower than the two adjacent three story buildings at 152 Jasper Place and 128 Jasper Place and actually allows 140-142 Jasper Place to increase its backyard from 12' to 16'.

As seen in Attachment 4, the entire side yard remains unchanged and provides a 60' x 20' open space which benefits the neighboring buildings. Since the 25 Cadell Place property is 28' wide and built to the property line of 140 Jasper Place, the 20' wide side yard provides it with more



open space than is available to any other internally-facing property on Jasper Place or the surrounding blocks.

And the same is true for 152 Jasper (also visible in Attachment 4), where Mr. Leung resides. In the letter attached to the DR request, Mr. Leung is citing the light and air provided by this side yard through the lot line windows in the corridor and kitchen of the building where he lives. It's also worth noting that his letter was from 2017 and references the construction of the proposed building at 146 Jasper Place, which is no longer part of this project. The side yard he looks out on is untouched by the proposed project.

This open side yard of 20'x 60' and enlarged rear yard means the lot at 140 Jasper Place will be 64% open space, an increase from 60% open space on the lot today. No other property on Jasper Place comes close to providing as much open space, as seen in Attachment 3.

***In response to DRR Section 1. D. "The proposed project could cause a significant impact on this historic resource and the district requiring environmental review under CEQA."***

The existing entry facade at 140-142 Jasper Place is not the original facade or materials that were used in the 1911 construction. The brick siding and terrazzo stairs were added in 1945 and are not in line with the historical characteristics of other buildings on Jasper Place.

After extensive review and accommodations with the Historical Staff of the Planning Department, the exterior front renovations proposed in the plans for 140-142 Jasper Place will bring the building closer to its original 1911 condition by removing the brick facing and the terrazzo steps, rebuilding the wood steps, which need to be altered to meet the existing exit code, and restoring the wood siding and trim.

The two front doors will be maintained. However, since the lower unit has been expanded to the ground floor and the main living space will have access to the backyard, its entry will be on the ground floor. This configuration is similar to the 2005 renovation of a comparable two unit building at 129 Jasper Place, which involved expanding to the ground floor and creating a ground floor entry, along with a new roof deck (see Attachment 2). Neither THD nor the Planning Department opposed this updated entry configuration at 129 Jasper Place in 2005.

***In response to DRR Section 1. E. "The proposed parking is in conflict with Planning Code provisions regulating parking in the Telegraph Hill-North Beach Residential SUD."***

The property has had a curb cut and vehicles have parked in the side yard since the 1930s.

The project sponsors already went through the expensive and extensive process of a Board of Appeals hearing in 2019 regarding the ability of the property to maintain the existing curb cut and add livable square feet to the property, as part of the previous proposal for a new building



that has since been rescinded. Therefore, the proposed project is designed with a careful eye to keep the additional gross square footage under 20%. The THD's accusation that this plan is "a disingenuous attempt to avoid the application of planning code Section 155(r)(6)" is wrong. The additional gross square footage in the proposed project has been carefully reviewed by the staff of the Planning Department. Since the original tenement units did not have a separate utility space (the hot water heaters are currently in the kitchens, and the heating system once consisted of fireplaces in the bedrooms), it is necessary to provide a utility room that is accessible without entering each unit. The modest 250 square feet of storage space in the basement area will serve as that utility room for both units in the building. Therefore, the project is sized to remain below the 20% threshold for renovations, and is entitled to maintain at least one parking space.

**2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.**

Over the last eight years, the project was changed drastically in response to the concerns of neighbors, Planning Department staff reviews, the Historical staff reviews, changes in the governing regulations, and the concerns of North Beach residents including the DR requesters.

The project started out as a development of two buildings on the 140-148 Jasper Place property, one being the renovation of the existing historical building at 140-142 Jasper, and the other being the construction of a new two unit building at 146-148 Jasper. That project totaled four units, with two bedrooms per unit, and has since been rescinded.

The first Discretionary Review request made by Telegraph Hill Dwellers in August 2014 asked for the following six changes to the project (see Attachment 5) and each of these six requests are accommodated in the proposed plans.

- 1) "Lower the height of the proposed new building to be lower than the building to the North (152 Jasper Place). Elimination of the proposed garage in the new building would lower the proposed new building to a more appropriate scale with its neighbors." *The proposed third floor is now three feet lower than the building at 152 Jasper Place. The proposed plans do not include a garage.*
- 2) "Modify the design of the entryway on Jasper Place for greater compatibility with the pattern of the historic buildings on Jasper Place. It should be lowered and widened to reveal two entry doors to the proposed two flats." *The proposed plans now include two front doors that are visible from Jasper Place.*
- 3) "Change the window material from metal (as proposed) to wood windows for compatibility with the historic buildings on Jasper Place." *The proposed plans now include wood windows.*



- 4) "Consider modifying the window pattern and adding rear porches similar to those on the adjacent historic building at 140-42 Jasper." *The proposed plans have altered the window pattern to be similar to the front facade and therefore in line with the historic character of Jasper Place.*
- 5) "Require the roof deck and roof top features to be designed in accordance with applicable Residential Design Guidelines to minimize impacts on the light and air of adjacent neighbors, including: designing the rooftop features with the smallest possible overall dimensions, and eliminating the stair penthouse through the use of a roof hatch or exterior rear stairs to the roof." *The proposed plans do not include a roof penthouse.*
- 6) "Require shared light wells to provide more light to the existing historic buildings to the north and south." *The proposed plans include a lightwell shared with the building at 136 Jasper Place.*

In the development of the project over the past several years, concessions were made by the owners of 140-142 Jasper Place and each of these six requests are accommodated in the proposed plans. Therefore, significant changes were already made to the project in good faith to address the concerns of TDH.

The most complaints over time had to do with 146 Jasper Place, i.e. the construction of a new, second building and the provisions for parking. After the project was denied parking spaces in a Board of Appeals hearing in February 2019, the proposal for construction of that building was abandoned in July 2019. This proposed project, the renovation of 140-142 Jasper Place, is what remains after the past eight years, and is designed to accommodate the new regulations, changes recommended by the staff of the Planning Department, and all of the reasonable requests from neighborhood groups.

- 3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.**

THD already submitted a DR on this property in 2014. Several concessions were since made and their requests were accommodated in the proposed project, as detailed above in Question 2. Given their continued opposition to every iteration of our proposed project and every variance, if we make further changes to the project to satisfy THD and a new proposal is made, we have little faith that THD would be satisfied.

Moreover this proposal represents the minimal additions necessary to allow my son and his family to continue his residence on Jasper Place. Specifically the current planning guidance requires front and rear exposure in 142 Jasper, so this is the only way to add the living space necessary for a family.



This current plan fits in with surrounding properties in height and character and continues to provide the surrounding lot-line-adjacent properties with the same or more open space. It complies with the Planning Code in letter and in spirit, and addresses the Planning staff feedback and many community concerns received over the years.

***In response to DRR Section 3. 1. “Require a Notice of Special Restrictions (NSR) prohibiting construction of an additional new building on Lot No. 32.”***

After the completion of this project we intend for my son, his wife and daughter to move back in. Given the length of this process we have no desire to spend another 10 years fighting for another building in the empty side yard. However, a Notice of Special Restrictions (NSR) prohibiting construction of a new building on lot 32 would be materially damaging to the property value while providing no benefit to the neighborhood. Should a future owner propose a building on Lot 32, they would have to go through the same planning process as everyone else, which provides ample opportunity for consideration of any objections to their hypothetical proposal.

The actual proposal, against which this DR was filed, does not propose any construction of an additional new building on Lot No. 32 and therefore this suggestion is a remedy to a problem that does not exist.

***In response to DRR Section 3. 2. “Require modifications to the project to preserve the historic features of the historic resource, including the removal of the proposed vertical additions and the retention of the original parallel front doors and entryway consistent with Priority Policies 2 and 7 and with the Secretary of Interior’s Standards.”***

Our responses to THD’s concerns about “the preservation of the historic resource including the removal of the proposed vertical additions and the retention of the original parallel front doors and entryway consistent with Priority Policies 2 and 7 and with the Secretary of Interior’s Standards” are detailed above in Question 1. The exterior front renovations proposed in the plans for 140-142 Jasper Place will bring the building closer to its original 1911 condition by removing the 1945 brick facing and the terrazzo steps, rebuilding the wood steps, which need to be altered to meet the existing exit code, and restoring the wood siding and trim. The two front doors will be maintained. However, since the lower unit has been expanded to the ground floor and the main living space will have access to the backyard, its entry will be on the ground floor. It makes more sense for the front door of the lower unit to enter into their main living space on the ground floor, rather than entering the floor above, which will contain the bedrooms of the unit.

***In response to DRR Section 3. 3. “Require the elimination of parking from Lot 32 in compliance with Planning Code Section155(r)(6).”***

Our response to THD’s concerns about parking and Planning Code Section155(r)(6) are detailed above in Question 1. In addition to the fact that the proposed plans increase the gross



square footage by less than 20%, therefore *not* requiring the elimination of parking on the property, my son's work necessitates the use of a car, which requires parking at home.

***In response to DR Section 3. 4. "Deny the Sponsor's Application for a Rear Yard Variance and disapprove the addition of a roof deck to avoid impacts to nearby residents in this densely populated area."***

Our response to THD's concerns about the Application for a Rear Yard Variance (2013.0846VAR) are detailed above in Question 2. The proposed project increases the rear yard depth from 12' to 16'. This enlarged rear yard along with the open side yard of 20'x 60' provides 140-142 Jasper Place with a lot coverage of just 36%. No other property on Jasper Place comes close to providing as much open space, as seen highlighted in green in Attachment 3.

THD's objection to our Application for a Rear Yard Variance would result in just a 20 foot living space on the third floor. Now they are proposing the complete elimination of the third floor addition altogether. It is not possible to easily accommodate a family in the existing tenement units. By adding the ground floor and the partial third floor with 30 feet of main living space, the units have the room to accommodate a whole family in each of the 2-bedroom units. The outdoor space included in this proposal will benefit the children, neighbors, and tenants.

***In response to DRR Section 3. 5. To provide at least one affordable unit, require the addition of an Accessory Dwelling Unit (ADU) at the basement level, accessible from the rear of the building. We note here that a previous third unit located in the basement was accessed from the rear of the building."***

We would be happy to consider the addition of an ADU in the future, but wish to complete the project at hand before working with the city to decide whether such an addition makes sense for us and our property.

We also note that the city confirmed that 140-142 Jasper Place is a two family building with permit #316588 in 1965 and permit #351798 in 1967, which denied a third unit in the basement.

## **Summary**

140-142 Jasper Place was purchased in 2008 by Peter Wilson, a longtime North Beach resident, and his son Gordon Wilson, who has resided at 140 Jasper Place for the last 11 years. Their goal has always been to fix up a property that had fallen into disrepair so that Gordon, who grew up in San Francisco, would have a place to live and eventually raise his family in the same neighborhood where his parents live. This journey started twelve years ago. Since then, Gordon married his wife and they are now expecting their first child. Remarkably, after eight years of back-and-forth with the Planning Department, construction still has not started on this property and Gordon and his wife are faced with renting housing appropriate for a family of three elsewhere, rather than being able to live in their own home on Jasper Place.



This proposed project represents the minimum project that would meet our goals, which have remained consistent since we purchased the property: To create a lifelong home for our family in the neighborhood we love.

Many concessions were made to the project since the DR submitted by THD in 2014, and their requests were accommodated in the proposed project, as detailed above in Question 2. This current plan complies with the Planning Code in letter and in spirit, and addresses the Planning staff feedback and many community concerns received over the years.

Despite our efforts, the Telegraph Hill Dwellers' Discretionary Review requests that the proposed project maintain only the two existing tenement apartments as they are, while creating an ADU on the ground floor. THD's public objection to our Application for a Rear Yard Variance (2013.0846VAR) would have resulted in just a 20' room on the third floor. Now they are proposing the complete elimination of the third floor addition. They are also requesting that the existing parking be abandoned, that the owners forswear any development in the side yard, and maintain the non-historical materials and dangerous stairs on the front elevation. With these objections, to the variance and in the DR request, the THD has asked for changes that have gone from being reasonable to being an existential threat to any renovations and improvements to the property.

Moreover the claims THD makes in their DR request are alternatively inaccurate, describing projects other than the one proposed, or without merit. They fail to demonstrate or clarify in what way expanding the yard and the building to a slightly lower height than our neighbors would be materially detrimental to the public welfare, or how the code compliant modifications to the entry would result in a loss of neighborhood character.

This proposed project is a modest, less than 3,000 square foot, renovation of a two unit building involving the expansion of living space into the ground floor and the addition of a partial third floor, which is set back and not visible from the street. The proposed project has been reviewed by Planning Department staff for over eight years and meets all the applicable planning and historic requirements.

In light of the concessions and accommodations made to this project over the last eight years, we respectfully ask that you approve the project as proposed.



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## **Attachments**

Attachment 1: Tim Kelley's Historical Resource Evaluation of 140 Jasper Place

Attachment 2: 129 Jasper Place Entry

Attachment 3: Aerial View of 140-142 Jasper Place

Attachment 4: 140-142 Jasper Side Yard and Rear Yard

Attachment 5: Discretionary Review Request Submitted by Telegraph Hill Dwellers in 2014,  
"ATTACHMENT TO APPLICATION REQUESTING DISCRETIONARY REVIEW  
(D.R.)"

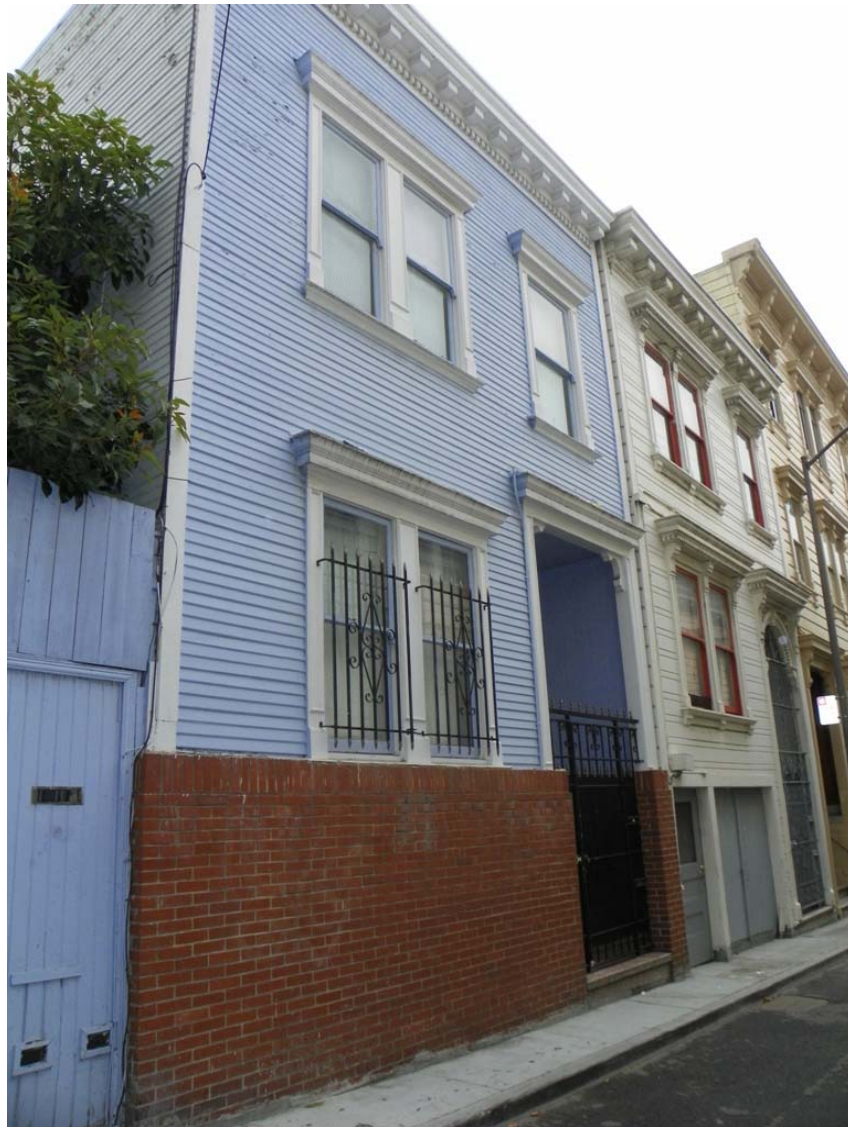


# Attachment 1: Tim Kelley's Historical Resource Evaluation of 140 Jasper Place

## HISTORICAL RESOURCE

140-142 JASPER PLACE

SAN FRANCISCO, CALIFORNIA



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HISTORICAL RESOURCES

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## I. INTRODUCTION

Tim Kelley Consulting was engaged by the property owner to conduct an Historical Resource Evaluation (HRE) of 140-142 Jasper Place, a 1910 two-story Classical Revival set of flats in connection with the proposed project of constructing a new three-story-over-basement multi-family residence on the vacant north side of the parcel. 140-142 Jasper Place is listed as a contributor to the Upper Grant Avenue Historic District. This report examines the property as an historical resource in order to determine if it is individually eligible for listing in the California Register; and evaluates the impact of the proposed project on this historical resource and the Upper Grant Avenue Historic District.

## II. SUMMARY

140-142 Jasper Place is a contributor to the Upper Grant Avenue Historic District, which was found to appear eligible for the National Register through survey evaluation in 1982.<sup>1</sup> The proposed project including the construction of a new adjacent building complies with the Secretary of the Interior's Standards and does not have a negative impact on the subject building or the historic district.

## III. CURRENT HISTORIC STATUS

The Planning Department database was searched to determine whether the properties were identified in any recognized register of historical resources. The specific registers included are listed below.

### *A. Here Today*

*Here Today: San Francisco's Architectural Heritage* is one of San Francisco's first architectural surveys. Undertaken by the Junior League of San Francisco and published in 1968, the survey did not assign ratings to buildings. However, the survey does provide brief historical and biographical information for what the authors believed to be significant buildings. The Board of Supervisors adopted the survey in 1970. The survey files, on file at the San Francisco Public Library's San Francisco History Room, contain information on approximately 2,500 properties. This property is not included in either the published book or the survey files.

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<sup>1</sup> Bloomfield, Anne, "Upper Grant Avenue" DPR 523 Form, June 1982



### ***B. Department of City Planning Architectural Quality Survey***

The Department of City Planning's Architectural Quality Survey, or 1976 Survey, was a reconnaissance survey that examined the entire City of San Francisco to identify and rate, on a scale of "0" (contextual) to "5" (extraordinary), architecturally significant buildings and structures. No historic research was performed and the potential historical significance of a resource was not considered when assigning ratings. According to the authors, the 10,000 rated buildings comprise only around 10 percent of the city's building stock. Due to its age and its lack of historical documentation, the 1976 Survey has *not* been officially recognized by the San Francisco Planning Department as a valid local register of historic resources for CEQA purposes, although it is still used on a consultative basis. This property is included in the 1976 Survey and given a rating of "1".

### ***C. San Francisco Architectural Heritage***

San Francisco Architectural Heritage (Heritage) is the city's oldest not-for-profit organization dedicated to increasing awareness of and advocating for the preservation of San Francisco's unique architectural heritage. Heritage has completed several major architectural surveys in San Francisco, including Downtown, the South of Market, the Richmond District, Chinatown, the Van Ness Corridor, the Northeast Waterfront, and Dogpatch. Heritage ratings range from "A" (highest importance) to "D" (minor or no importance) and are based on both architectural and historical significance. This property was not surveyed by San Francisco Architectural Heritage.

### ***D. California Historical Resource Status Code***

Properties listed in the California Historic Resources Information System (CHRIS) or under review by the California Office of Historic Preservation (OHP) are assigned status codes of "1" to "7," establishing a baseline record of historical significance. Properties with a status code of "1" are listed in the California or National Register. Properties with a status code of "2" have been formally determined eligible for listing in the California or National Register. Properties with a status code of "3" or "4" appear to be eligible for listing in either register through survey evaluation. Properties with a status code of "5" are typically locally significant or of contextual importance. Status codes of "6" indicate that the property has been found ineligible for listing in any register and a status code of "7" indicates that the property has not yet been evaluated.



A status code of “3D” has been assigned to this property, indicating it appears eligible for the National Register as a contributor to a National Register eligible district through survey evaluation.

#### IV. DESCRIPTION



**Figure 1: 140-142 Jasper Place (arrow) Fence, vehicular door & pedestrian entrance to vacant portion, left A. Site**

140-142 Jasper Place is located on the east side of Jasper Place between Union and Filbert streets on a 2,395 sq ft parcel that drops from street level approximately six feet to the rear. Jasper Place is a narrow alley with most of the buildings sitting flush with the public sidewalk. The subject building sits on the right side of the 40 ft. wide parcel, with a downward sloped concrete driveway on the left side and a flight of wooden steps. The driveway and steps are obscured by a wooden fence with a pedestrian entrance and a wooden garage door.



*B. Exterior*

This building is a rectangular plan two-story over basement set of flats designed in the Classical Revival style, clad in beveled wood-siding with corner boards and capped with a flat roof. The basement-story of the primary façade is clad in brick veneer, above which a coupled, one-over-one, double-hung wood-sash window occupies the left side of the first story. The right side features two primary entrances which are recessed within a paneled entryway. A non-historic metal security gate encloses the entryway and terrazzo steps rise to the glazed and wood-paneled doors with transoms. The entryway is framed by plain square pilasters with scroll cut brackets and a molded hood. Applied molding on the pilasters simulates paneling. The surrounds of the entrance doors, as well as all window surrounds on the façade also have these applied moldings, which appear to be not original.

The second-story is punctuated with a coupled, one-over-one, double-hung, wood-sash window at left, and single one-over-one, double-hung, wood-sash window at right above the entranceway. All windows have molded hoods identical to that above the entryway. The building terminates with a dentilated frieze and molded cornice with modillions.

The secondary north façade is clad in beveled wood siding and is unornamented. There are single one-over-one, wood-sash, double-hung windows near the rear of the building on both the first and second stories. The basement story, fully exposed on this elevation, has a central entrance with a glazed wood door flanked by two double-hung wood-sash windows.

At the rear of the building is a full height porch structure, now fully enclosed with beveled wood siding and multi-lite glazing and capped with a shed roof. Inside this structure are separately enclosed smaller structures with their own roofs, and the original rear façade of the main building, still in place, with beveled wood siding. A more modern flight of exterior stairs now rises at the rear of the building.<sup>2</sup> The present porch structure appears to have been enclosed gradually over time.

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<sup>2</sup> In his recent updated North Beach context statement, Michael Corbett states that historically North Beach building plans included similar features: "The back room was a kitchen. In addition, behind the kitchen was a porch, of lighter construction than the main building and with more window area, allowing light to enter the kitchen; sometimes this



### *C. Interior*

The interior was not examined for this report.

## V. HISTORIC CONTEXT

### *A. Neighborhood*

North Beach is a swath of generally low-lying land roughly bounded by Columbus Avenue, Broadway Street, Bay Street, and Telegraph Hill. North Beach was settled by Señora Juana Briones, a Mexican cattle rancher, and her family in the 1830s. In 1836, Briones, wife of Apolonario Miranda, built an adobe house on the westerly side of Telegraph Hill near the intersection of Powell and Filbert streets. For years, it was the only house between Yerba Buena and the Presidio. Briones had a small farm and supplied milk, eggs, and other goods, to ships docked in the area.

Even as San Francisco grew, North Beach remained isolated from the rest of the city by steep hills and sand dunes. In order to get to the area from downtown, it was necessary to pass through Chinatown or the Barbary Coast, which made North Beach a less-than-desireable location. The area's lack of convenient transportation made it a less expensive area than other districts located close to downtown, and consequently the area attracted many recent immigrants. During the 1860s and 1870s, the area was settled by Italian immigrants, largely from the northern states of Genoa, Venetia, and Tuscany, who saw many similarities between North Beach and their homeland. In the 1860s, a horse car line was extended from downtown to the North Beach area. By the 1880s, the Powell Street Cable Car extended into the area. These transportation developments opened the area to the rest of the city and stimulated the area's industry and housing.

The 1906 earthquake and fire had a disastrous effect on North Beach. Most of the buildings that were not destroyed by the initial earthquake were consumed by the fires that followed. Apart from a section of the waterfront, several rows of brick buildings in Jackson Square, and the crest of Telegraph and Russian hills, the entire northeastern quarter of the city was entirely destroyed.

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was referred to as a "cooking porch", although the stove and its flue was always within the main kitchen space. (Historical Contexts for a Survey of North Beach, 2009)

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In spite of the devastation it suffered in the fire, North Beach was rebuilt perhaps more quickly than any other part of town. The area's quick reconstruction was due in large part to generous loans that were offered by local Italian banks.<sup>3</sup> Because North Beach was rebuilt in such a short period of time, the architectural styles and scales throughout the district are extremely consistent. The area was rebuilt along the same property lines and with nearly all the same building types and uses that had existed prior to the catastrophe. The predominantly residential character of North Beach was resurrected with ground-floor shops, restaurants, and industrial buildings scattered throughout.

### *B. Project Site History*

The first Sanborn Map showing the subject block (Block 103) was published in 1886 (**Figure 2**). The neighborhood then was densely populated with residential and tenement buildings. The residential structures dominated the built environment on the main streets and were the main building type in the alleys. The commercial buildings, usually ground-floor commercial with upper-story residential, were concentrated on Dupont Street (Grant Avenue) and placed sporadically throughout the main streets; typically placed in the alleys. The subject property then contained several one-story residential buildings including a tenement house at the rear of the parcel.

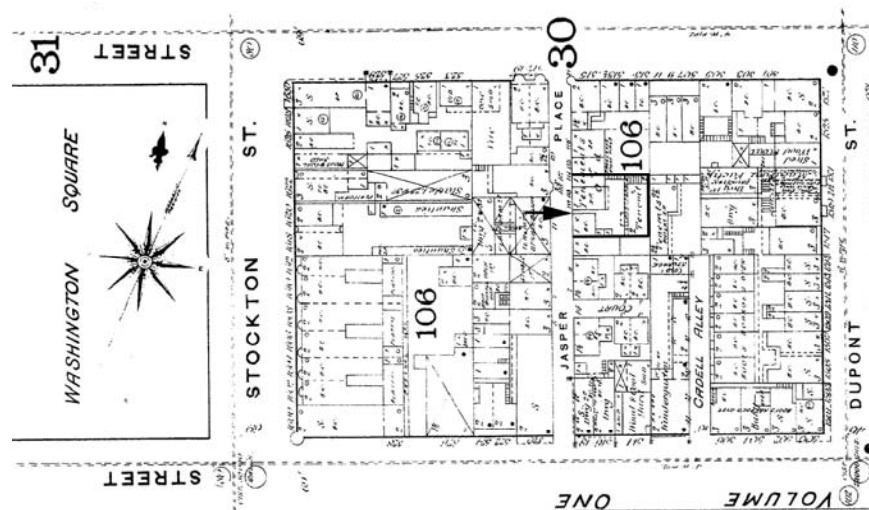


Figure 2 - 1886 Sanborn Map with approximate location of subject parcel outlined in bold

<sup>3</sup> Post-fire loans are described in greater detail in the *North Beach Survey*, 48.



The 1899 Sanborn Map (**Figure 2**) illustrates minor changes in the area since the 1886 map. Most of the tenement buildings have been converted to flats. The subject property now has three single-family dwellings located at the front of the parcel, a water tower and well, and a two-story flat in the rear. The well was discovered in 1893 by the parcel owner Francesco Figone. According to an 1895 *San Francisco Call* article six wells are documented in the Telegraph Hill neighborhood.<sup>4</sup>

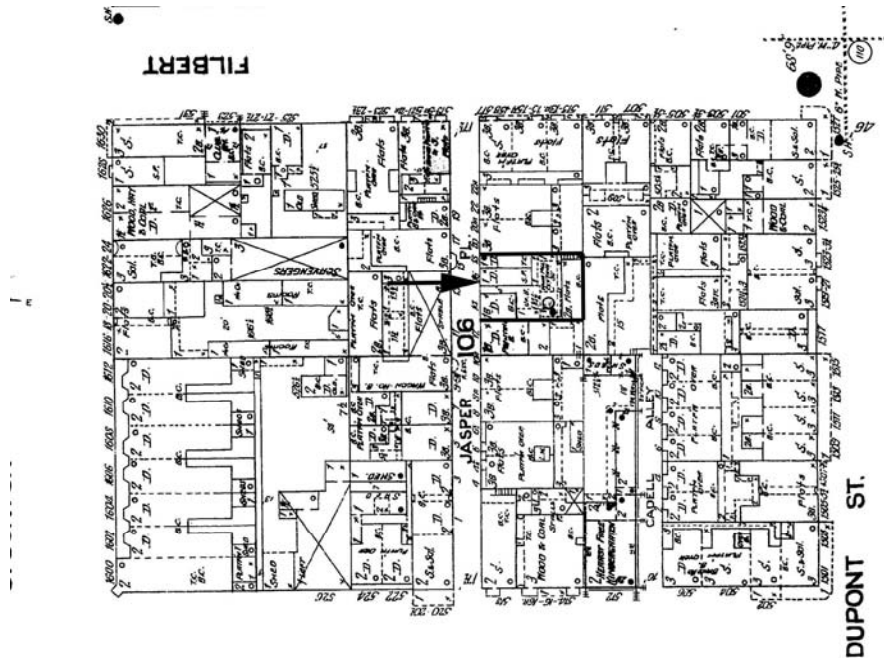


Figure 3 - 1899 Sanborn Map with approximate location of subject parcel outlined in bold

The subject block was completely destroyed in the 1906 Earthquake and Fire. The 1913 Sanborn Map illustrates how rapidly the neighborhood was rebuilt (**Figure 4**). However, unlike reconstruction Downtown or South of Market Street, the land use patterns and parcel dimensions of the North Beach area remained similar to the pre-earthquake period. The 1913 Sanborn Map shows this property containing the current subject building and three additional one-story structures. According to “Historical Contexts for a Survey of North Beach” by Michael Corbett, many temporary structures were constructed for use as residences in the North Beach area immediately after the 1906 Earthquake and Fire. There were three types of temporary structures: Camp Cottages (refugee shacks), Bonus Houses, and Grant-and-Loan Houses. Corbett states that many Bonus Cottages were constructed at the back of the lots. The 1913

<sup>4</sup> *San Francisco Call*, “Telegraph Hill Water,” September 3, 1895.



map illustrates two structures at the rear of subject parcel. It is possible that these two rear structures and the structure adjacent to the extant building were temporary structures built immediately following the earthquake and fire, as the original owner is listed as residing at this address in the 1907 San Francisco Directory.

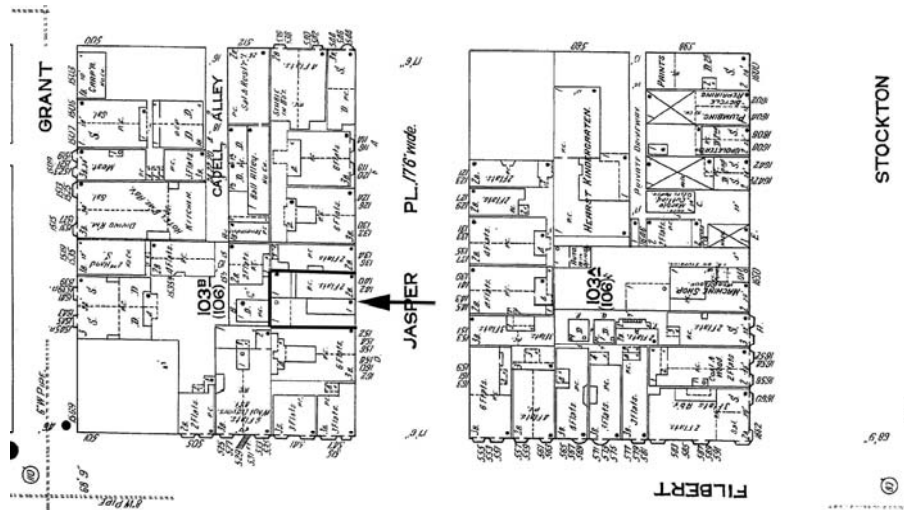


Figure 4 - 1913 Sanborn Map showing the 140 Jasper Place noted with arrow.

Most of the North Beach area was reconstructed by 1915; as is evident on the 1950 Sanborn Map, which illustrates few changes from the 1913 Sanborn Map (Figure 5). On this map the subject property still contains the three additional structures, none of which are extant today.

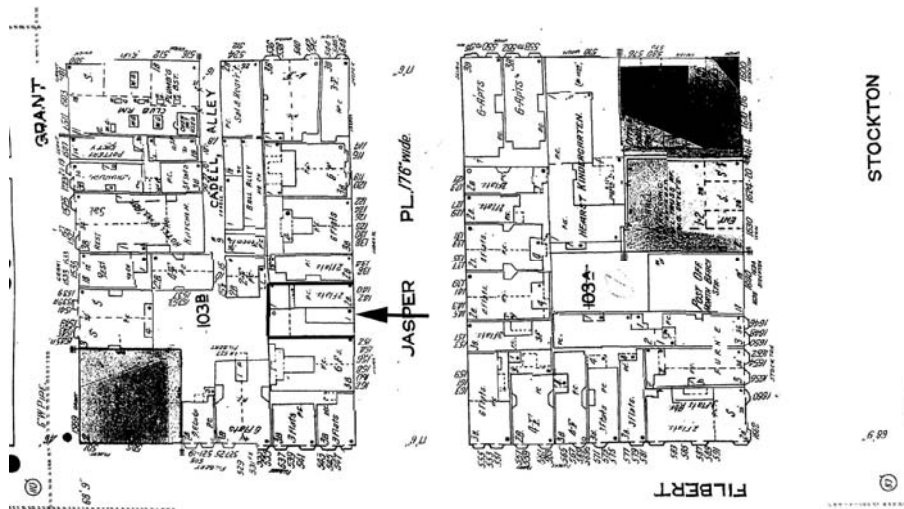


Figure 5 - 1950 Sanborn Map showing 140 Jasper Place noted with arrow.



### *C. Construction Chronology*

The subject building was constructed in 1910 by local builder B. Pagano.<sup>5</sup> The permit lists the owner as O. Caselli address 37 Jasper Place, although no records located indicate O. Caselli ever owned the subject property. Caselli could have been acting as an agent for the builder or acted on behalf of the documented owner, Francesco Figone. It is unknown when the three single-story structures shown on the 1913 and 1950 Sanborn Map were constructed. It is likely these buildings were built as temporary structures immediately after the earthquake and fire and not removed until a much later date. City directories list F. Figone residing at the subject property from 1890 through 1905 and then returning as early as 1908.

It is unknown when the three single-story buildings were removed. They are shown on the Sanborn maps through 1990, though this is probably inaccurate because of the difficulty of seeing them from the street. At least one was still present in 1965, when a permit was issued for repairs to it. The main building has had few alterations to the public façade; the brick veneer, applied moldings, and terrazzo steps are the most apparent. The rear porch was enclosed at an unknown date and is not shown on any Sanborn map.

### *D. Permit Record*

The following permits were found in Department of Building Inspection files for the subject property:

- Permit # 33116 December 5, 1910 – To build a wood-frame, two-story flat.
- Permit # 79517 March 1, 1945 – New terrazzo stairs and brick facing.
- Permit # 316588 June 21, 1965 – Clean and fix building in back. Convert building back to original use as two families.
- Permit #351798 December 28, 1967 – Convert building back to original use as two families.

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<sup>5</sup> Permit # 33116, filed December 5, 1910.



### *E. Building Type*

The buildings of North Beach are described by Michael Corbett in “Historical Contexts for a Survey of North Beach” as follows:

The buildings of North Beach were overwhelmingly built between 1906 and 1915. They were built by and for people with similar backgrounds and similar objectives. They were built at consistent sizes and scales using consistent methods and materials under the same building laws. A narrow range of building types was produced. The facades were treated in the same styles. Almost every building was built to the front and sides of its lot, leaving varying amounts of open space at the rear. The buildings were all built with modest budgets. The result of all these similarities was a harmonious landscape in two general parts. The residential area, which was by far the largest part, is characterized by two- and three-story wood houses and flats with ornamentation of the street facades derived from Renaissance and Baroque sources. On the main streets, most of these buildings had bay windows; on the alleys the buildings had flat fronts.<sup>6</sup>

The “North Beach San Francisco: An Architectural, Historical Cultural Survey” by Anne Bloomfield categorizes 140-142 Jasper Place as a “building type III”, with the following description:

Another frequently found residential building type is similar but smaller and lacks bays. It usually occurs in alleys or on the rear portions of lots...Frequently the entry recess is shallow and the ornamentation very simple, limited to paneling in the vestibule and a cornice decorated only with simple rectangular boards for consoles. In place of the bay it may have a pair of windows side by side. Like the first type [three-story-and-basement frame building of residential flats] it may house shops on the ground floor.<sup>7</sup>

### *F. Owners and Occupants*

The first known owner and occupant of the subject property was Francesco Figone. As early as 1890, the San Francisco City Directory lists Figone residing at 111 ½ Jasper Place (former address of subject property) and the 1894 Block Book records him as the owner of the subject parcel. Francesco Figone emigrated from Italy in 1885 and is listed in city directories and census records employed in several different jobs: scavenger, laborer, wine dealer, and teamster. Francesco and his wife Rosa had three children according to the 1900 Census. According to articles in the *San Francisco Chronicle and Call* published on January 16, 1893, Figone discovered a pioneer surface well in his yard (at the rear of the subject parcel) and built

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<sup>6</sup> Michael Corbett, “Historical Contexts for a Survey of North Beach,” Prepared for Northeast San Francisco Conservancy, revised February 2, 2009, 27.

<sup>7</sup> Anne Bloomfield, “North Beach San Francisco: An Architectural, Historical Cultural Survey,” June 30<sup>th</sup> 1982, 15.



a wind mill and 25,000 gallon water tower. The neighborhood celebrated the occasion with an inauguration of his windmill. According to written accounts this was a gala event attended by many well-known members of the Italian colony, including all the members of the Garibaldini Guards and the Benevolent and Protective Society of Scavengers. Figone himself was a member of both influential Italian societies. This pioneer well is possibly linked to a spring discovered in 1848 by Sergeant Figueroa, "Ojo de Aqua de Figueroa."<sup>8</sup> This spring supplied water to the Yerba Buena and Presidio reservations for several years until the Spring Valley Water Co. took over.<sup>9</sup> Figone, who was frustrated with the cost of water supplied by the Spring Valley Water Company, vowed to compete with the monopoly and sell his water to the neighborhood at a much lower rate. After 1895, there is no other mention of Figone's well in newspaper accounts and this well does not appear on the 1913 Sanborn Map. It is unknown what became of the well or if he succeeded in claiming the neighborhood as water customers after the 1895 *Call* article.<sup>10</sup>

Figone sold the property to long-time flat neighbor Angelo and Angela Serventi in 1931. Serventi sold the property to Mary Rose in 1939 and Rose sold the property to William and Betty Knight in 1941. The property was maintained as rental property during the ownership period of Mary Rose and it appears the Knight family only resided at the subject property for one year. Knight sold the property to Miguel & Gregoria Flagan and Regina Rocha in 1944. Ouyong Su Hing purchased the property in 1947. Hing shared the flat with the Gong Family and eventually entered into joint tenancy with James G., Robert G., and Herbert H. Gong in 1989. The current owner purchased the property in 2008.

## VI. EVALUATION OF HISTORIC STATUS

The subject property was evaluated to determine if it was eligible for listing in the California Register of Historical Resources, either individually or as a contributor to an historic district. The California Register is an authoritative guide to significant architectural, archaeological and historical resources in the State of California. Resources can be listed in the California Register through a number of methods. State Historical Landmarks and National Register-eligible

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<sup>8</sup> *San Francisco Call*, "New Water Works," September 3, 1893.

<sup>9</sup> *Ibid.*

<sup>10</sup> *San Francisco Call*, "Telegraph Hill Water," September 30, 1895.



properties (both listed and formal determinations of eligibility) are automatically listed. Properties can also be nominated to the California Register by local governments, private organizations or citizens. This includes properties identified in historical resource surveys with Status Codes of 1 to 5 and resources designated as local landmarks or listed by city or county ordinance. The evaluative criteria used by the California Register for determining eligibility are closely based on those developed for use by the National Park Service for the National Register. In order to be eligible for listing in the California Register a property must be demonstrated to be significant under one or more of the following criteria:

*Criterion 1 (Event):* Resources that are associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.

*Criterion 2 (Person):* Resources that are associated with the lives of persons important to local, California, or national history.

*Criterion 3 (Architecture):* Resources that embody the distinctive characteristics of a type, period, region, or method of construction, or represent the work of a master, or possess high artistic values.

*Criterion 4 (Information Potential):* Resources or sites that have yielded or have the potential to yield information important to the prehistory or history of the local area, California or the nation.

The following section examines the eligibility of the subject property for listing in the California Register under those criteria.

#### *A. Individual Eligibility*

- Criterion 1 (Events)

This property does not appear eligible for listing in the California Register. This property has not made a significant contribution to the broad patterns of San Francisco or California history. It is typical of the many flats constructed after the 1906 Earthquake and Fire destroyed the surrounding neighborhood. The building is a contributor to a district, which as a whole significantly contributes to the reconstruction pattern of the North Beach. However, it is not individually significant. The rediscovery of the artesian well in 1893 is an interesting event and provides a colorful background to the property but it is not associated with the current building



constructed in 1910. This building is not individually eligible for listing in the California Register under Criterion 1.

- Criterion 2 (Persons)

This property does not appear eligible for listing in the California Register. The property is associated with Francesco Figone, a hard-working member of the Italian colony, who was a member of the Garibaldini Guards and the Benevolent and Protective Society of Scavengers, and an entrepreneur. Figone is one of several hundred members of these well-known Italian fraternal organizations. His entrepreneurial achievements did not make a significant contribution to the local history of San Francisco, as little is known of his endeavors as scavenger and he made a minimal impact on the history of water supply in San Francisco.

- Criterion 3 (Architecture)

This building does not appear eligible for listing in the California Register under Criterion 3. The building does embody distinctive characteristics of a type, period, region, or method of construction, but it is not an architecturally significant example of a Classical Revival Flat. And the building does not represent the work of a master, or possess high artistic values. The building is not individually eligible for listing on the California Register under Criterion 3.

- Criterion 4 (Information Potential)

This criterion ordinarily refers to potential archeological value. A full analysis of archeological value is beyond the scope of this report. An artesian well was rediscovered in 1893 but it is unclear what became of this well. It is one of several in the North Beach neighborhood according to newspaper accounts. Knowledge of the artesian well should be taken into consideration if excavation is undertaken. The property does not appear eligible for listing on the California Register under Criterion 4.

### *B. District*

A property may also become eligible for listing on the California Register as a contributor to an historic district. Guidelines define a district as an area that “possesses a significant concentration, linkage, or continuity of sites, buildings, structures, or objects united historically or aesthetically by plan or physical development.” To be listed on the California Register, the district itself must be eligible under the criteria already discussed. The documentation of the



district must enumerate all properties within it, identifying each as a contributor or non-contributor. The district itself, as well as each of its contributors, then become historical resources.

This building is a contributor to the Upper Grant Avenue Historic District. The surrounding block face consists of the ten buildings (including the subject property) with primary facades facing Jasper Place. Nine buildings are contributors to the Historic district. With the exception of one building, 114-120 Jasper Place, all the buildings share a similar setback. The buildings range in height from two to four-stories and have similar massing.

## VII. INTEGRITY

In addition to being determined eligible under at least one of the four California Register criteria, a property deemed to be significant must also retain sufficient historical integrity. The concept of integrity is essential to identifying the important physical characteristics of historical resources and hence, evaluating adverse change. For the purposes of the California Register, integrity is defined as “the authenticity of an historical resource’s physical identity evidenced by the survival of characteristics that existed during the resource’s period of significance” (California Code of Regulations Title 14, Chapter 11.5). A property is examined for seven variables or aspects that together comprise integrity. These aspects, which are based closely on the National Register, are location, design, setting, materials, workmanship, feeling and association. *National Register Bulletin 15, How to Apply the National Register Criteria for Evaluation* defines these seven characteristics:

- *Location* is the place where the historic property was constructed.
- *Design* is the combination of elements that create the form, plans, space, structure and style of the property.
- *Setting* addresses the physical environment of the historic property inclusive of the landscape and spatial relationships of the building/s.
- *Materials* refer to the physical elements that were combined or deposited during a particular period of time and in a particular pattern of configuration to form the historic property.



- *Workmanship* is the physical evidence of the crafts of a particular culture or people during any given period in history.
- *Feeling* is the property's expression of the aesthetic or historic sense of a particular period of time.
- *Association* is the direct link between an important historic event or person and a historic property.

According to *California Office of Historic Preservation Technical Assistance Series #6*, "*California Register and National Register: A Comparison*:"

It is possible that historical resources may not retain sufficient integrity to meet the criteria for listing in the National Register, but they may still be eligible for listing in the California Register. A resource that has lost its historic character or appearance may still have sufficient integrity for the California Register if it maintains the potential to yield significant or historical information or specific data.

Thus, the California Register may include properties that have suffered a greater degree of damage to their integrity than would be acceptable for listing in the National Register.

This building has sustained few alterations and retains integrity of location, design, setting, workmanship, feeling and association. Integrity of workmanship has diminished due to the brick veneer at ground level and the alterations to the entry porch stairs.

## VIII. EVALUATION OF PROJECT SPECIFIC IMPACTS UNDER CEQA

This section analyzes the project specific impacts of the proposed project on the environment as required by CEQA.

### A. *Proposed Project*

The owner of the building is proposing to construct a new three-story-over-basement multi-family resident on the north side of the subject property. **(Figure 6)**.





**Figure 6.** Proposed Project from primary facade

### *B. Status of Existing Building as a Historical Resource*

As reported above, this property is a historic resource by virtue of being a contributor to the Upper Grant Avenue District but is not individually eligible for listing on the National or California Registers.

### *C. Determination of Significant Adverse Change under CEQA*

According to CEQA, a “project with an effect that may cause a substantial adverse change in the significance of an historic resource is a project that may have a significant effect on the environment.”<sup>11</sup> Substantial adverse change is defined as: “physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historic resource would be materially impaired.”<sup>12</sup> The significance of an historical resource is materially impaired when a project “demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance” and that justify or account for its inclusion in, or eligibility for inclusion in, the California Register.<sup>13</sup>

<sup>11</sup> CEQA Guidelines subsection 15064.5(b).

<sup>12</sup> CEQA Guidelines subsection 15064.5(b)(1).

<sup>13</sup> CEQA Guidelines subsection 15064.5(b)(2).



#### *D. Analysis of Project Specific Impacts under CEQA*

The following section analyzes the proposed scheme developed by the project architect, Wilson Associates, in drawings dated April 14, 2014, according to the Secretary of the Interior's Standards for Rehabilitation. The Secretary of the Interior's Standards (Standards) provide guidance for reviewing proposed work on historic properties.<sup>14</sup> The Standards are used by Federal agencies in evaluating work on historic properties. Local government bodies across the country (including the San Francisco Historic Preservation Commission) have also adopted the Standards for reviewing proposed rehabilitation work to historic properties under local preservation ordinances. According to the Standards, "The treatment 'Rehabilitation' assumes that at least some repair or alteration of the historic building will be needed in order to provide for an efficient contemporary use; however, these repairs and alterations must not damage or destroy materials, features or finishes that are important in defining the building's historic character."<sup>15</sup> The Standards are a useful analytical tool to determine the appropriateness of a proposed project on a historic resource.

The owners of the subject property propose to construct a new three-story-over-basement multi-family residence on the vacant space located on the north side of the parcel. **(Figure 6)**

The following analysis applies each of the Standards to the proposed project.

#### *D. Secretary of the Interior's Standards*

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The proposed project complies with Standard 1 because it retains the historic use of 140-142 Jasper Place as a multiple-family residence. The proposed new construction will also be a multiple-family residence.

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<sup>14</sup> Morton, W. Brown III, Gary L. Hume, Kay D. Weeks, and H. Ward Jandl, *Secretary of the Interior's Standards for Rehabilitation & Illustrated Guidelines for Rehabilitating Historic Buildings* (Washington, D.C.: U.S. Department of the Interior, National Park Service, Cultural Resources, Preservation Assistance Division, 1992). The *Standards*, revised in 1992, were codified as 36 CFR Part 68.3 in the July 12, 1995 Federal Register (Vol. 60, No. 133). The revision replaces the 1978 and 1983 versions of 36 CFR 68 entitled *The Secretary of the Interior's Standards for Historic Preservation Projects*. The 36 CFR 68.3 *Standards* are applied to all grant-in-aid development projects assisted through the National Historic Preservation Fund. Another set of *Standards*, 36 CFR 67.7, focuses on "certified historic structures" as defined by the IRS Code of 1986. The *Standards* in 36 CFR 67.7 are used primarily when property owners are seeking certification for Federal tax benefits. The two sets of *Standards* vary slightly, but the differences are primarily technical and are not substantive in nature. The *Guidelines*, however, are not codified in the Federal Register.

<sup>15</sup> *Ibid*, 7.



2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

The proposed project will not impact 140-142 Jasper Place. The construction of a new building adjacent to the existing building will not diminish the historic character of the property. The Upper Grant Avenue Historic district is described as, "...densely packed, both in plan...and in architecture: by sidewalk-hugging, multiple-unit adjoining buildings and nary an open space except the streets themselves." The new building will be compatible with the old and maintain spatial relationships that characterized the property and district.

In summary, the proposed project complies with Standard 2 and retains and preserves the historic property.

3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The proposed project complies with Standard 3 because no conjectural features or elements from other historic properties will be added. The new building will be constructed of new materials and will not create a false sense of historical development.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

The proposed project complies with Standard 4 because the project will not affect alterations to the property that have acquired historic significance.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The proposed project complies with Standard 5 because it will not remove distinctive materials, features, finishes, or construction techniques, or examples of craftsmanship.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.



The proposed project complies with Standard 6 because no distinctive historic features require repair or replacement.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

The proposed project complies with Standard 7 because neither chemical nor physical treatments are required.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

The proposed project complies with Standard 8. If excavation is scheduled to occur, archeological resources will be protected and preserved or mitigation measures will be undertaken.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The new building will not destroy the historic materials, features, and spatial relationships that characterize the property. As stated in the Upper Grant Avenue District nomination the character-defining features of the district are:

“The neighborhood is densely packed both in plan: by two or three very narrow alleys added to each block of the city’s rectangular grid; and in architecture: by sidewalk hugging, multiple-unit adjoining buildings and nary an open space except the street themselves. Most buildings are 3-story-&-basement vernacular Classic frames; those on the main streets have bay windows, those on alleys do not. [The next two sentences omitted as they describe commercial buildings on Grant Ave] ...Stairs may lead to recessed entry with doors to individual flats, or a façade plane entry may lead to a central staircase giving onto the various apartments. Most buildings were constructed 1906-1910, hardly any after 1929, so that all have false fronts and overhanging cornices.”

This property is not currently perceived to have open space due to the existing fence, vehicular entrance and pedestrian door, as well as the sharp descent of the lot from the street grade.



The new building will be differentiated from the old and will be compatible to the surrounding buildings. The issue of compatibility can be easily confused with issues of aesthetics. The new design does not replicate the buildings within the historic district. However, this does not mean the building is incompatible. It is compatible in scale, size and proportion with the historic district. The primary façade of the new building will be clad in wood siding, have an overhanging cornice at the roofline and fenestrations of glass, therefore being compatible with 140-142 Jasper Place and the surrounding historic buildings.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

While it is unlikely that this would occur, it would be possible to remove the proposed new building while retaining the essential form and integrity of the historic property and leave the environment unimpaired.

In summary, the proposed project does comply with the Secretary of the Interior's Standards for Rehabilitation.

#### *E. Analysis of Cumulative Impacts under CEQA*

140-142 Jasper Place is located in the Upper Grant Avenue Historic District. The construction of a new building will not negatively impact this district. As stated in the previous section, this project complies with the Secretary of the Interior's Standards and will be compatible to the surrounding buildings with regard to scale, size, massing, and materials. The site of the new building is one of a very few vacant spots in the district. Thus the likelihood of repeated infill projects is slight, and the likelihood of a cumulative impact on the district very remote.

## IX. CONCLUSION

140-142 Jasper Place is a contributor to the Upper Grant Avenue Historic District. However, the property is not individually eligible for listing in the California Register. The proposed project complies with the Secretary of the Interior's Standards and does not have a negative impact on the existing building or the historic district.



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## XI. APPENDIX

### EXISTING BUILDING



Side and rear facades, porch structure



Stairs and vehicular entrance to street





Porch interior, original rear façade left, interior roofed structure foreground

JASPER PLACE BETWEEN UNION AND FILBERT STREETS























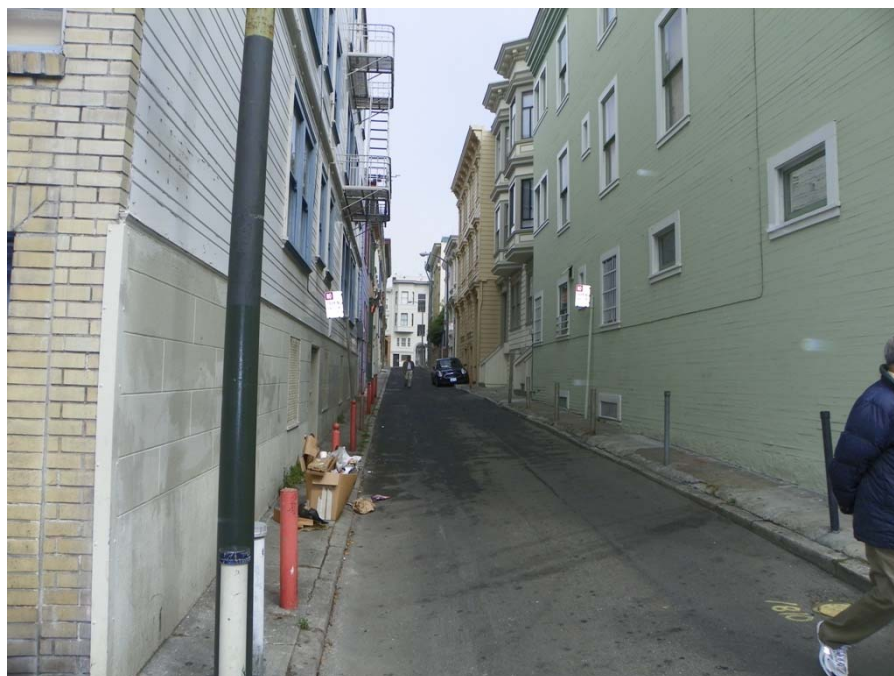














Attachment 2: 129 Jasper Place Entry



2 129 Jasper Entry





152 Jasper

25 Cadell

140 Jasper

140 Jasper Open Space

Attachment 3





# Relationship of 140-142 Jasper to 25 Cadell Sunlight Access

Generated With Google Earth

## Attachment 4

J  
fJ

152 Jasper

25 Cadell

140-142 Jasper

128 Jasper

Google Earth

# 1. Open Side Yard and Rear Yard

20 ft



**ATTACHMENT**  
**TO**  
**APPLICATION REQUESTING DISCRETIONARY REVIEW (D.R.)**

PROPERTY ADDRESS: 146 Jasper Place  
ASSESSOR'S PARCEL NO: Block 0103, Lot 032  
ZONING DISTRICT RM-2  
PERMIT APPLICATION NO. 2012.1010.1754

The Telegraph Hill Dwellers (THD), a neighborhood organization formed in 1954 with over 800 members, is dedicated to preserving and enhancing the historic resources and character of North Beach and Telegraph Hill and to protecting the light and air of adjoining neighbors from new development. THD only requests the Commission's indulgence on projects that have overarching significance to our neighborhood at large. THD is proud of its track record in successfully resolving planning disputes between developers and nearby residents without the need for requesting the Commission to exercise its discretionary review authority. Unfortunately, in this instance, THD is joining with affected neighbors on Cadell Place in requesting Discretionary Review.

**1. Reasons for Requesting Discretionary Review**

Jasper Place is one of the most intact collections of historic buildings in North Beach. Only 17 feet wide, it consists of extremely narrow sidewalks and has significant pedestrian traffic. The alley has and continues to house moderate and low-income people in rent-controlled buildings.

THD urges the Commission to take Discretionary Review because of the exceptional and extraordinary circumstances, including those set forth below:

**A. New Garages Are Not Allowed by the Planning Code on Jasper Place.**

The project not only proposes to construct a garage in the new building at 146 Jasper, but according to the Section 311 Notice, also includes the construction of a new 2-car garage in the adjacent historic building at 140-142 Jasper Place.

The proposed project is located within the Telegraph Hill-North Beach Special Use District (Section 249.49 of the Planning Code), which prohibits the installation of a new garage if the garage would front on a public right-of-way narrower than 41 feet. The reason the Board of Supervisors passed the aforementioned legislation was to protect the quality of life and integrity of alleys such as Jasper Place. Because Jasper Place is only 17 feet wide, no new garages are allowed. For this reason, the project does not meet the standards of the Planning Code.

The fact that cars may have been parked within the side yard, where the project sponsor is now proposing to construct a new building, does not exempt the project from the current Planning Code requirements of the Telegraph Hill-North Beach Special Use



District. The project sponsor is changing the historic open use of the site, as a side yard, by constructing a building in its place.

Further, the plans that were attached to the Section 311 Notice are incomplete. No plans were included for either of the proposed new garages: No plans were included for the basement level of the proposed new building and no plans were included for the proposed construction of a new 2-car garage in the adjacent historic building. In addition, no turning radius is shown on the plans, as it would appear to be very difficult to make the turns required to enter the proposed garages without impacting the rear yard open space.

**B. Project could significantly impact this integrity of the Upper Grant Avenue Historic District**

The proposed project is located within the Upper Grant Avenue Historic District, which has been determined eligible for the National Register for Historic Places. By state law, the district was automatically listed on the California Register. The project site for the new building is the “side yard” of the lot containing 140-42 Jasper Place, a contributory building to the district. Jasper Place is a 17-foot wide, 2-block long alley street between Green and Filbert Street containing a uniform collection of historic buildings retaining an exceptional degree of integrity. For this reason, the project as proposed could significantly impact this integrity unless the design is modified to ensure compatibility in at least the following ways:

- **Height:** The proposed new building is higher than the other buildings on the block face and towers over the adjacent historic building (140-42 Jasper) located on the same lot to the South. Lower the height of the proposed new building to be lower than then building to the North. Elimination of the proposed garage in the new building would lower this building to a more appropriate scale with its neighbors.

*Residential Design Guidelines: Section IV. Building Scale and Form.*

*DESIGN PRINCIPLE: Design the building's scale and form to be compatible with that of surrounding buildings, in order to preserve neighborhood character.*

*GUIDELINE: Design the scale of the building to be compatible with the height and depth of surrounding buildings.*

- **Architectural Features:** The proposed entry is stark, in contrast to the other entries on Jasper Place. Consistent with the pattern of the historic buildings on Jasper Place, it should be lowered and widened to reveal the two entry doors to the proposed two flats. In addition, the proposed metal windows should be changed to wood windows for compatibility with the historic buildings. The design of the proposed rear façade is shockingly incompatible with its surrounding historic neighbors.

*Residential Design Guidelines: Section V. Architectural Features.*

*DESIGN PRINCIPLE: Design the building's architectural features to enhance the visual and architectural character of the neighborhood.*

*GUIDELINE: Respect the existing pattern of building entrances.*



*Residential Design Guidelines: Section VI. Building Details*

*DESIGN PRINCIPLE: Use architectural details to establish and define a building's character and to visually unify a neighborhood.*

*GUIDELINE: Design the placement and scale of architectural details to be compatible with the building and the surrounding area.*

*GUIDELINE: Use windows that contribute to the architectural character of the building and the neighborhood.*

*GUIDELINE: Design window features to be compatible with...other buildings in the neighborhood.*

*GUIDELINE: Use window materials that are compatible with those found on surrounding buildings, especially on facades visible from the street.*

- **Roof Deck and Stair:** The proposed plans show a large vertical structure on the roof, which presumably is the stair penthouse to the proposed roof deck. No dimensions are shown. Although the plans are inadequate in that they do not accurately show the dimensions of the proposed rooftop features, if a roof deck and stair are to be include, they should be in accordance with the applicable Residential Design Guidelines to minimize impacts on the light and air of adjacent neighbors:

*Residential Design Guidelines: Section V. Rooftop Architectural Features.*

- *Design rooftop features with the smallest possible overall dimensions that meet the requirements of the Building and Planning Codes.*
- *Stair penthouses may also be entirely eliminated through the use of roof hatches, courts with stairs or exterior rear stairs to the roof.*

**C. Consideration should be given to the impacts of the proposed project on adjoining windows and nearby neighbors.**

The proposed plans show that the new building would abut adjacent to the buildings on the north and south and would block existing windows on both buildings. In addition, given the exceptionally dense development on the block, light and air impacts could result to nearby neighbors, including those on Cadell Place. No accommodation appears to have been made to accommodate these potential impacts.

*Planning Code Section 101 states that one of the purposes of the Planning Code is to provide adequate light, air, privacy and convenience of access to property in San Francisco.*

*Residential Design Guidelines: Section III. Site Design*

*GUIDELINE: Articulate the building to minimize impacts on light on light and privacy to adjacent properties. • Provide shared light wells to provide more light to both properties.*

**D. Section 311 Notice is Defective: Plans & CEQA Review Incomplete.**



Not only is the Section 311 Notice for the new building at 146 Jasper Place defective because the plans attached to it were incomplete (no plans for the basement garage in the new building and no plans for the 2-car garage proposed to be constructed in the historic building), but the Planning Department erred in considering this project separately from the developer's concurrently proposed building permit for the same lot, which proposes to significantly alter and add a 3<sup>rd</sup> floor to the historic building (in addition to installing a new garage in it).

Specifically, the permit for the alteration and addition to historic 140-42 Jasper was filed on June 27, 2014 (Permit No. 201406279672), prior to the Section 311 Notice for the new construction at 146 Jasper, which was dated July 16, 2014. Because the two separate permits are for projects on the same lot, and in the project sponsor's own words, "it is impossible to build one without the other," this represents a classic case of serial permitting.

The environmental review of the project was incomplete when the Section 311 Notice for 146 Jasper was mailed to the public. Under the California Environmental Quality Act (CEQA), the whole of the project must be reviewed. Both pending building permit applications for the lot must be reviewed together as CEQA does not allow for piece meal of projects. As a result, the public had no opportunity to review and comment on the adequacy of the Department's CEQA review.

## **2. Adverse Effects on the Neighborhood**

Jasper Place is one of the most intact collections of historic buildings in North Beach. It consists of extremely narrow sidewalks and has significant pedestrian traffic. The alley has and continues to house moderate and low-income people in rent-controlled buildings. The reason the Board of Supervisors passed the legislation to create the Telegraph Hill-North Beach Special Use District was to protect the quality of life and integrity of alleys such as Jasper Place, as well as to protect our neighborhood's existing, affordable housing stock.

As set forth above, the adverse effects on the neighborhood would include: (1) the installation new parking garages on 17-foot wide Jasper Place in violation of the Planning Code that prohibits new garages on streets less than 41 feet wide, which would impact pedestrian traffic on this narrow alley; (2) significant impacts to the historic integrity of the intact collection of historic buildings on Jasper Place, which have been determined eligible for the National Register as a part of a district; and 3) impacts on the light and air of nearby neighbors including the elimination of windows adjoining the site.

## **3. Suggested Changes to the Proposed Project**

(1) Lower the height of the proposed new building to be lower than then building to the North. Elimination of the proposed garage in the new building would lower the proposed new building to a more appropriate scale with its neighbors.



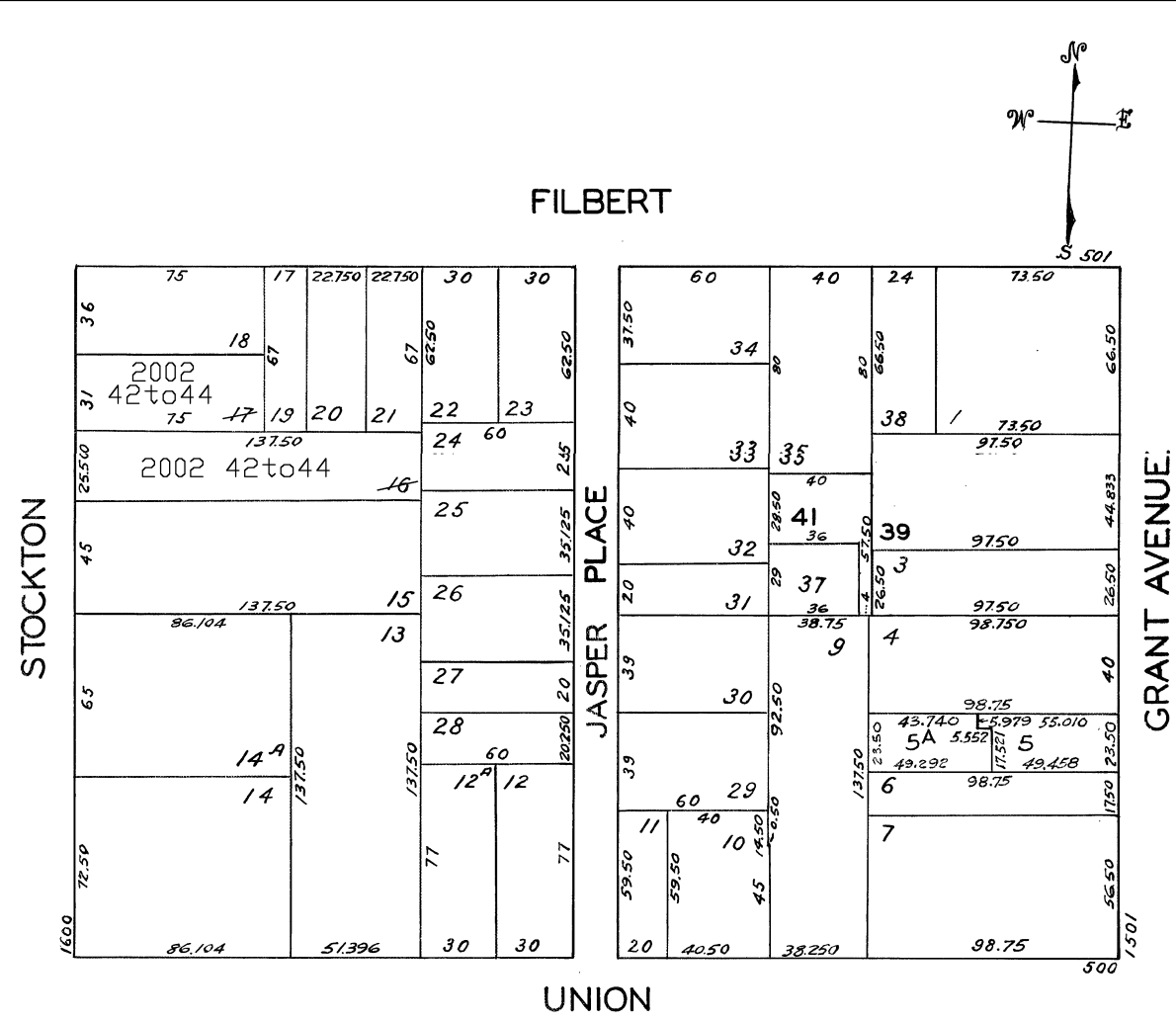
- (2) Modify the design of the entryway on Jasper Place for greater compatibility with the pattern of the historic buildings on Jasper Place. It should be lowered and widened to reveal two entry doors to the proposed two flats.
- (3) Change the window material from metal (as proposed) to wood windows for compatibility with the historic buildings on Jasper Place.
- (4) The design of the proposed rear façade is shockingly incompatible with its surrounding historic neighbors. Consider modifying the window pattern and adding rear porches similar to those on the adjacent historic building at 140-42 Jasper.
- (5) Require the roof deck and roof top features to be designed in accordance with applicable Residential Design Guidelines to minimize impacts on the light and air of adjacent neighbors, including: designing the rooftop features with the smallest possible overall dimensions, and eliminating the stair penthouse through the use of a roof hatch or exterior rear stairs to the roof.
- (6) Require shared light wells to provide more light to the existing historic buildings to the north and south.



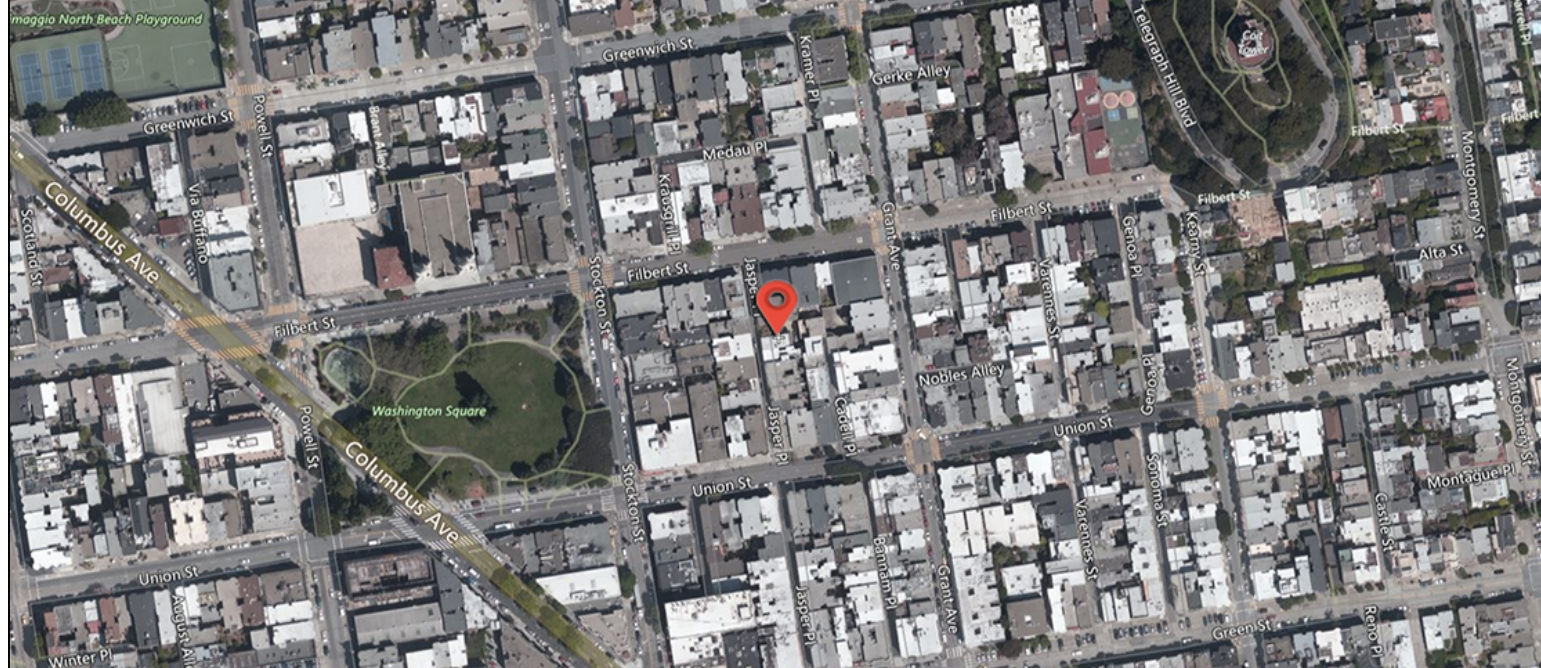
SITE IMAGE



ASSESSOR'S MAP



VICINITY MAP



CONTACTS

**OWNER/BUILDER:**  
WILSON ASSOCIATES  
6451 BENVENUE AVE.  
OAKLAND, CA, 94618  
P: 510 654-9311

**STRUCTURAL:**  
DENNIS GILLESPIE  
631 TARRAGON DRIVE  
SAN RAFAEL, CA 94603  
P: 415-847-0500

**ARCHITECT:**  
PETER WILSON  
WILSON ASSOCIATES  
5651 KEITH AVE.  
OAKLAND, CA. 94618  
P: 510-654-0001

GENERAL NOTES

Scope Documents: These drawings indicate the general scope of the project in terms of the overall concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. On the basis of the general scope indicated or described, the contractor shall furnish all items required for the proper execution and completion of the work. Approval by the city inspector does not constitute authority to deviate from the plans and specifications.

The following notes and typical details apply to all drawings unless otherwise noted, and shall take precedence over these general notes. See also notes, abbreviations, drawing legends and symbols, structural drawings.

Drawings indicate general and typical details of construction. Where conditions are not specifically indicated but are of similar character to details shown, details of construction shall be used subject to the review and approval of the architect.

Responsibility: The contractor shall verify all dimensions and site conditions before starting work. Should a discrepancy appear in the specifications or drawings, or in the work done by others from the contract documents that affect any work, notify the architect and owner in writing at once for instructions to proceed. If the contractor proceeds with the work affected without written instructions from the architect, the contractor shall make good any resulting damage or defect to the satisfaction of the owner with no resulting cost to the owner. Should a conflict occur in or between the drawings and specifications, or where detail references on the contract drawing have been omitted, the contractor is deemed to have estimated the most expensive material and construction methods involved, unless a written decision from the architect/owner has been obtained which describes an alternate method and/or materials or unless the original bid is appropriately qualified.

The contractor shall confine his/her operations on the site to areas permitted by the owner. The job site shall be maintained in a clean, orderly condition free of debris and litter, and shall not be unreasonably encumbered with any materials or equipment. Each subcontractor immediately upon completion of each phase of his/her work shall remove all trash and debris and a result of his/her operation.

All materials stored on the site shall be properly stacked and protected to prevent damage and deterioration until use. Failure to protect materials may be cause for rejection of work.

Provide all necessary blocking, backing and framing for light fixtures, electrical units, panels, HVAC equipment and all other items requiring same.

All materials shall be handled and installed per the manufacturer's specifications and recommendations.

Storage & dispensing or use of any flammable or combustible liquids, flammable gases and hazardous chemical shall comply with the Uniform Fire Code regulations. No materials shall be stored on public property unless and encroachment permit is first obtained from the Public Work Department.

Dimensions:  
a. All dimensions shall be verified in the field.  
b. All dimensions shown are to the center of columns and beams, face of concrete/conc. block walls, edge of slab, face of finish unless otherwise noted.  
c. Ceiling height dimensions are from finished floor or slab to the finished face of ceiling.

d. Dimensions and elevations are to the top of concrete block or other hard surface materials, not to the top of floor coverings or roofing U.O.N.  
e. Do not scale drawings, follow dimensions.

The contractor shall be responsible for coordinating the work of all the trades.

The building inspector shall be notified prior to start of construction.

The contractor shall do all cutting, fitting, or patching of his/her work that may be required to make its several parts fit together properly and shall not endanger any other work by cutting, excavating, or otherwise altering the total work or any part of it. All patching, repairing and replacing of materials and surfaces, cut or damaged in execution of work, shall be done with applicable materials so that surfaces replaced will upon completion match surrounding similar surfaces.

The contractor shall provide temporary exit signs to assure a means of egress during construction.

At least one fire extinguisher with a minimum rating of 2-A-10B:C shall be provided within 75 feet maximum travel distance for each 6,000 SF or portion thereof on each floor.



**WILSON ASSOCIATES**  
5651 Keith Avenue  
Oakland, CA 94618  
P. 510.654.0001  
F. 510.654.0002

**140-142 Jasper**  
Site Permit  
2014-0627-9672

140 Jasper Place  
San Francisco, CA 94133

5/22/2020

140-142 Jasper  
SITE PERMIT SET

PROJECT INFORMATION

Project Address

140 Jasper Pl. San Francisco, CA 94133

APN

0103-032

Lot Area

Approx. 2,400 SF

Zoning

RM-2

Project Type

Residential

Occupancy Group

R-3

Construction Type

V-B

# of Units:

2

# of Stories:

2

Building Height:

36'-8 1/2"

AREA OF WORK	EXISTING	PROPOSED	ADDITIONAL	% CHANGE
BASEMENT	835 SF	620 SF	-215 SF	-26%
1ST FLOOR	807 SF	852 SF	45 SF	6%
2ND FLOOR	835 SF	888 SF	53 SF	6%
3RD FLOOR	0 SF	606 SF	606 SF	100%
TOTAL SF	2,477 SF	2,966 SF	489 SF	19.7%

SHEET INDEX

A0.1

PROJECT INFORMATION

A1.1

SITE SURVEY

A1.2

GROSS SQUARE FOOT CALCULATI...

A1.3

SITE PLANS & CONTEXT PHOTOS

A1.4

BASEMENT PLANS

A1.5

FIRST FLOOR PLANS

A1.6

SECOND FLOOR PLANS

A1.7

THIRD FLOOR PLANS

A1.8

ROOF PLANS

A2.1

SECTIONS

A2.2

SECTIONS

A3.1

WEST & EAST ELEVATIONS

A3.2

SOUTH & NORTH ELEVATIONS

A4.1

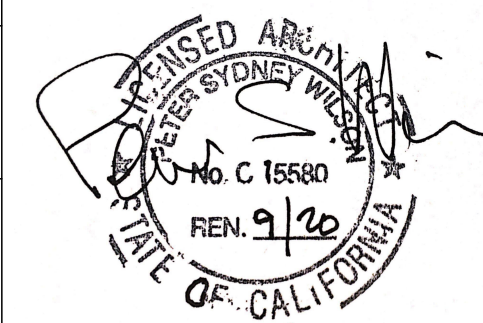
WINDOW & DOOR SCHEDULE

APPLICABLE CODES

- A. California Code of Regulations, Title 24
- 2019 California Building Code (2018 IBC)
  - 2019 California Mechanical Code (2018 UMC)
  - 2019 California Plumbing Code (2018 UPC)
  - 2019 California Electrical Code (2018 NEC)
  - 2019 California Energy Code
  - 2019 California Fire Code (2018 IFC)
- B. San Francisco Municipal Code

SCOPE OF WORK

Renovation of existing two unit residential building.



#.	date	issues / revisions
0	9/27/12	SITE PERMIT
1	11/12/13	SP REVISIONS
2	4/14/14	SP REVISIONS
3	11/4/14	SP REVISIONS #1
4	3/1/17	311 SUBMITTAL
5	5/22/2020	SP REVISIONS #2

PROJECT INFORMATION

project no. : 140JA

drawn by : JH

scale : (as noted)

A0.1

5/22/2020 11:15 AM Wilson Associates - WILSON ASSOCIATES - 5651 Keith Avenue - Oakland, CA 94618 - 510.654.0001



CONTEXT PHOTOS:



FRONT



REAR



SIDE YARD VIEW W/ 152 JASPER PL  
& 25 CADELL PL



STREET VIEW



REAR YARD W/ VIEW OF 134 JASPER PL

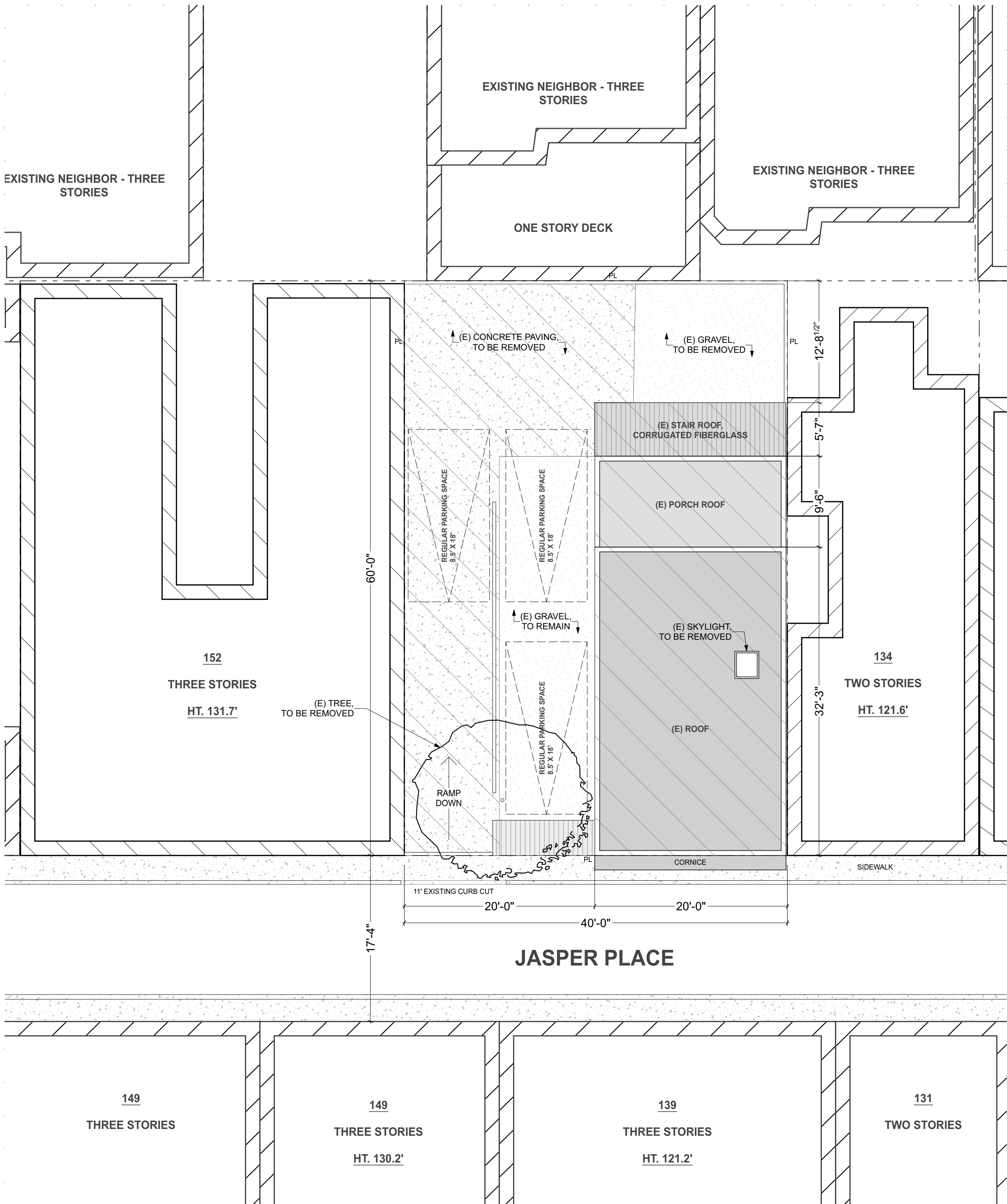
IMPERVIOUS SURFACE CALCULATIONS:

EXISTING AREAS	NEW AREAS	ADDITIONAL AREA
1,773 SF	870 SF	-903 SF

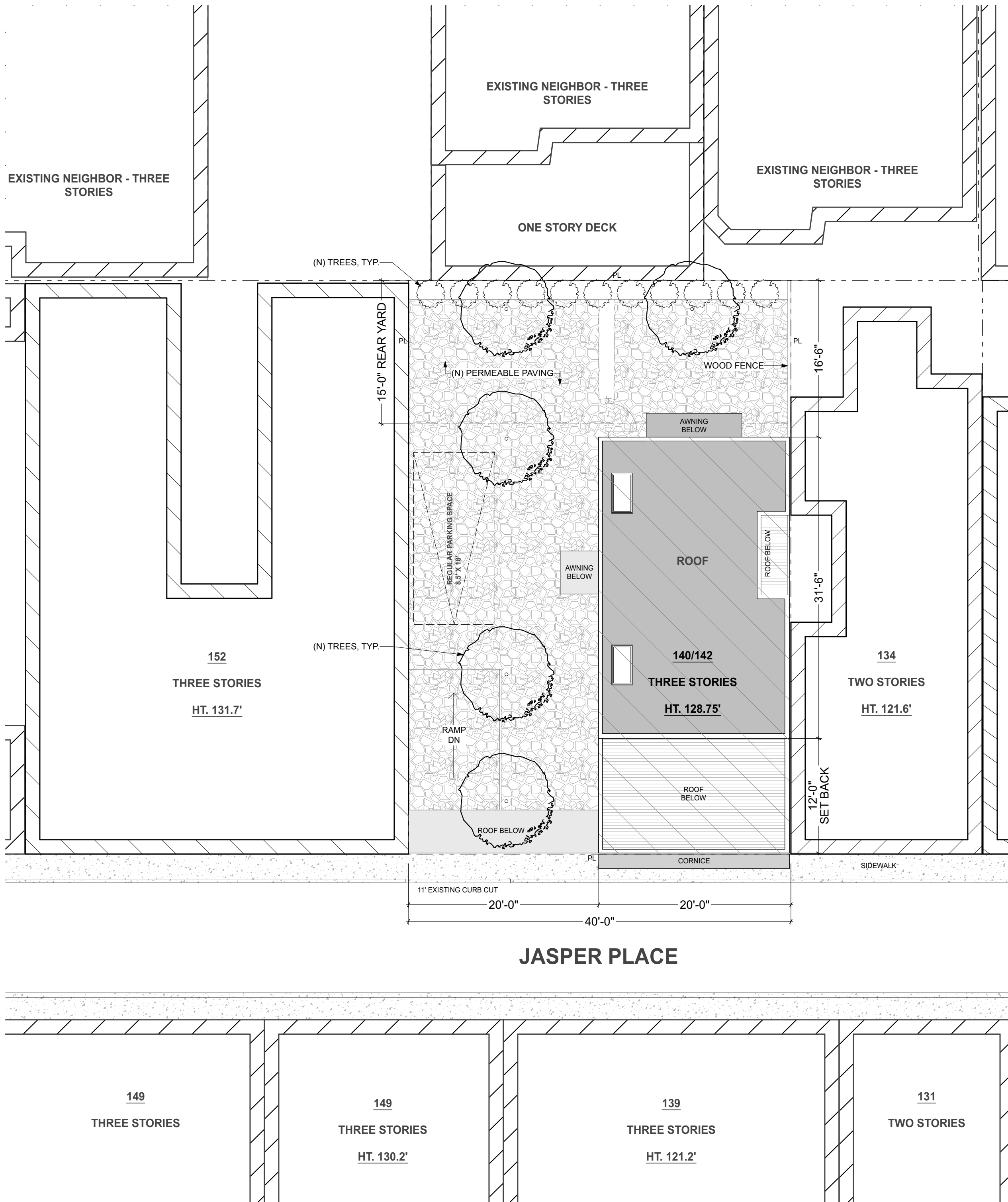
SHEET NOTES:

- ① All planting areas will be mulched.
- ② All planting will be drip-irrigated.
- ③ Minimum Class C Roofing over entirety of building per CBC 1505.1

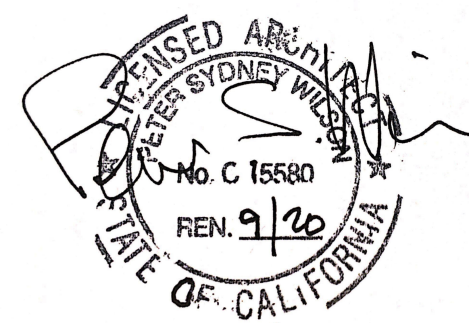
LEGEND:



1  
A1.3  
EXISTING SITE PLAN  
SCALE: 1/8" = 1'-0"



2  
A1.3  
PROPOSED SITE PLAN  
SCALE: 1/8" = 1'-0"



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**SITE PLANS & CONTEXT PHOTOS**

project no. : 140JA  
drawn by : JH  
scale : (as noted)



**140-142 Jasper**  
Site Permit  
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140 Jasper Place  
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**BASEMENT PLANS**

project no. : 140JA

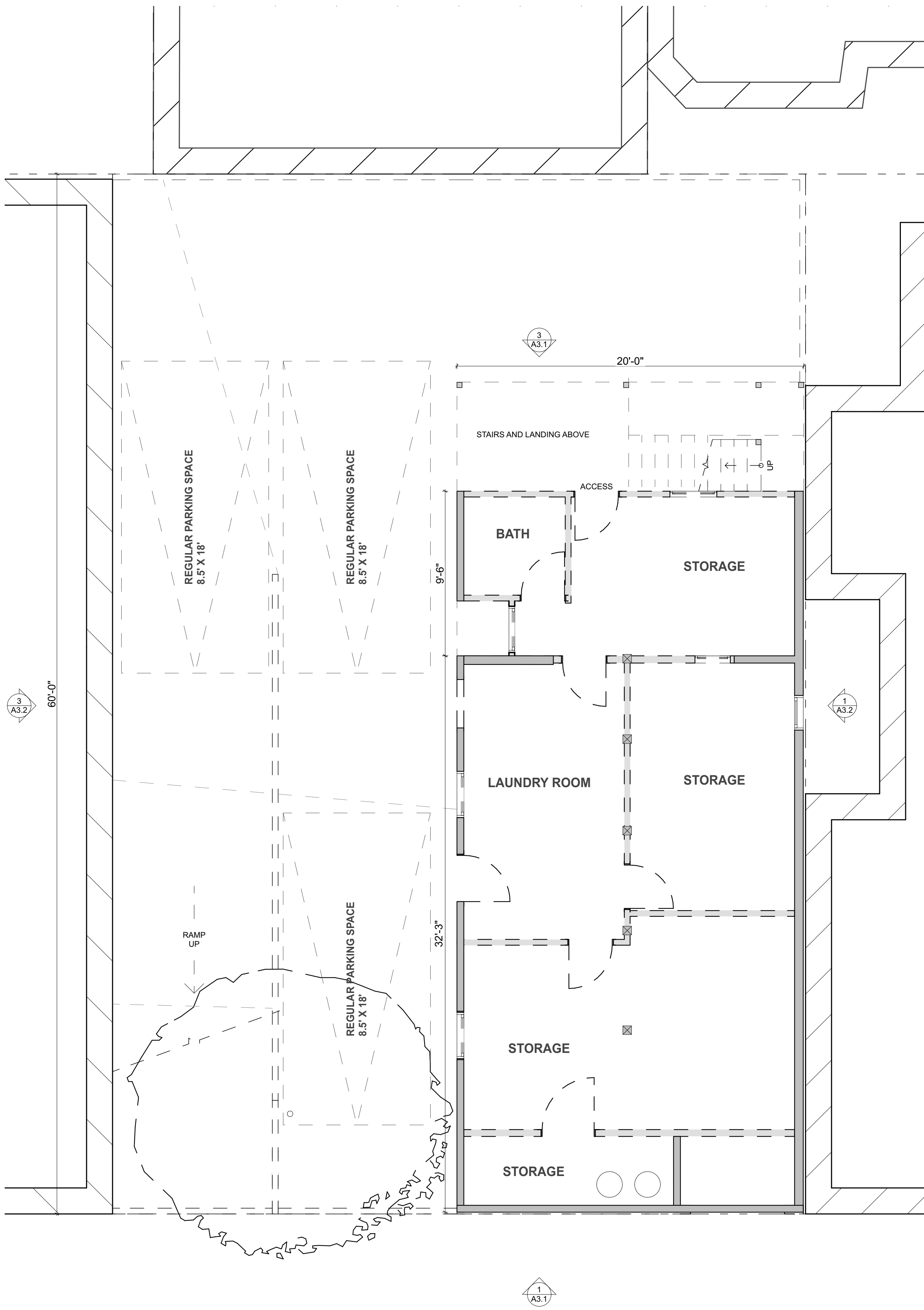
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scale : (as noted)

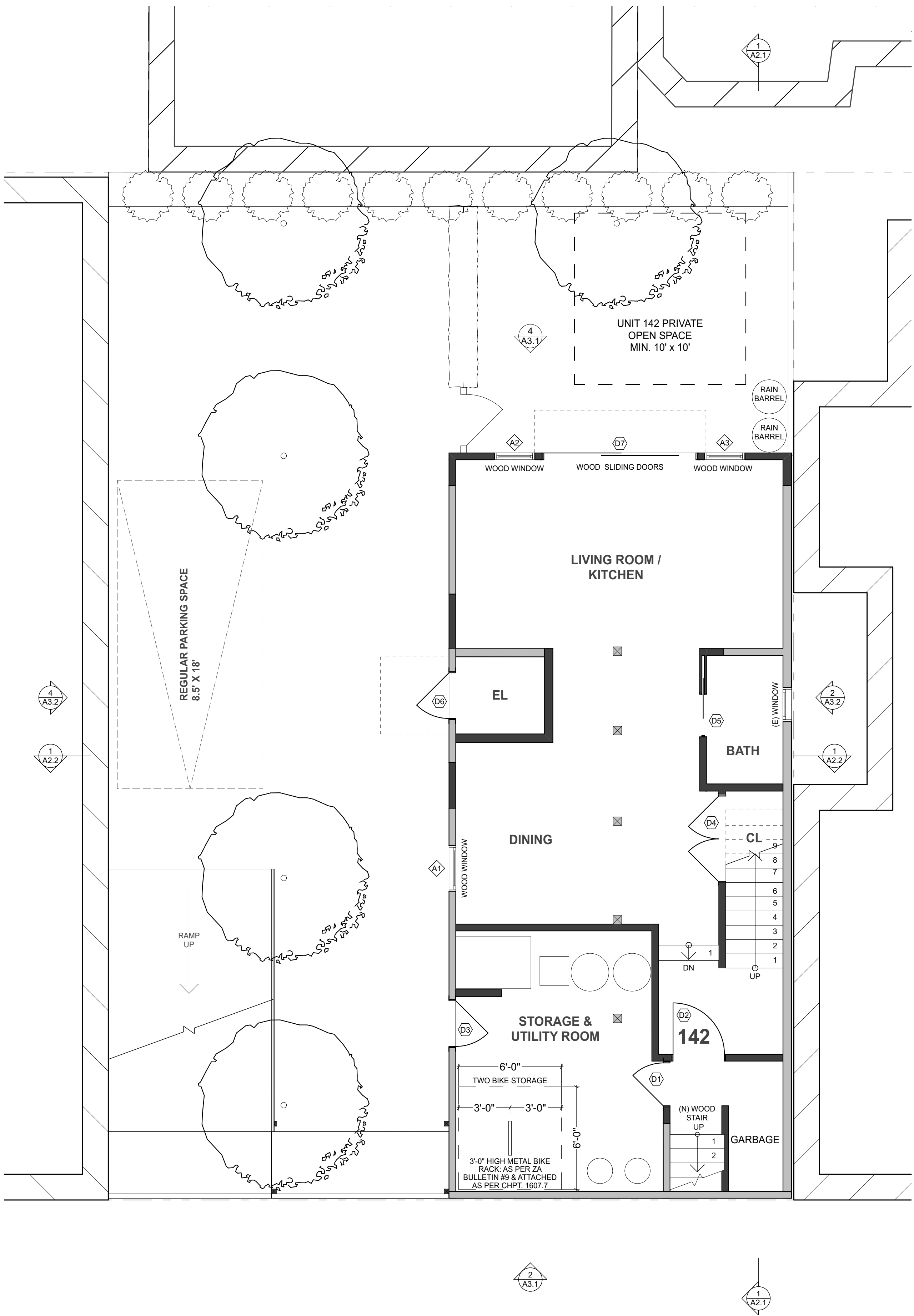
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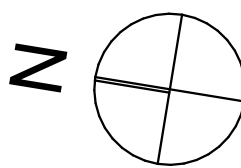
- Above
- - - - - Demo
- ===== Existing
- ===== New Wall



**1**  
**A1.4** EXISTING BASEMENT PLAN  
SCALE: 1/4" = 1'-0"



**2**  
**A1.4** PROPOSED BASEMENT PLAN  
SCALE: 1/4" = 1'-0"





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5	5/22/2020	SP REVISIONS #2

**FIRST FLOOR PLANS**

project no. : 140JA

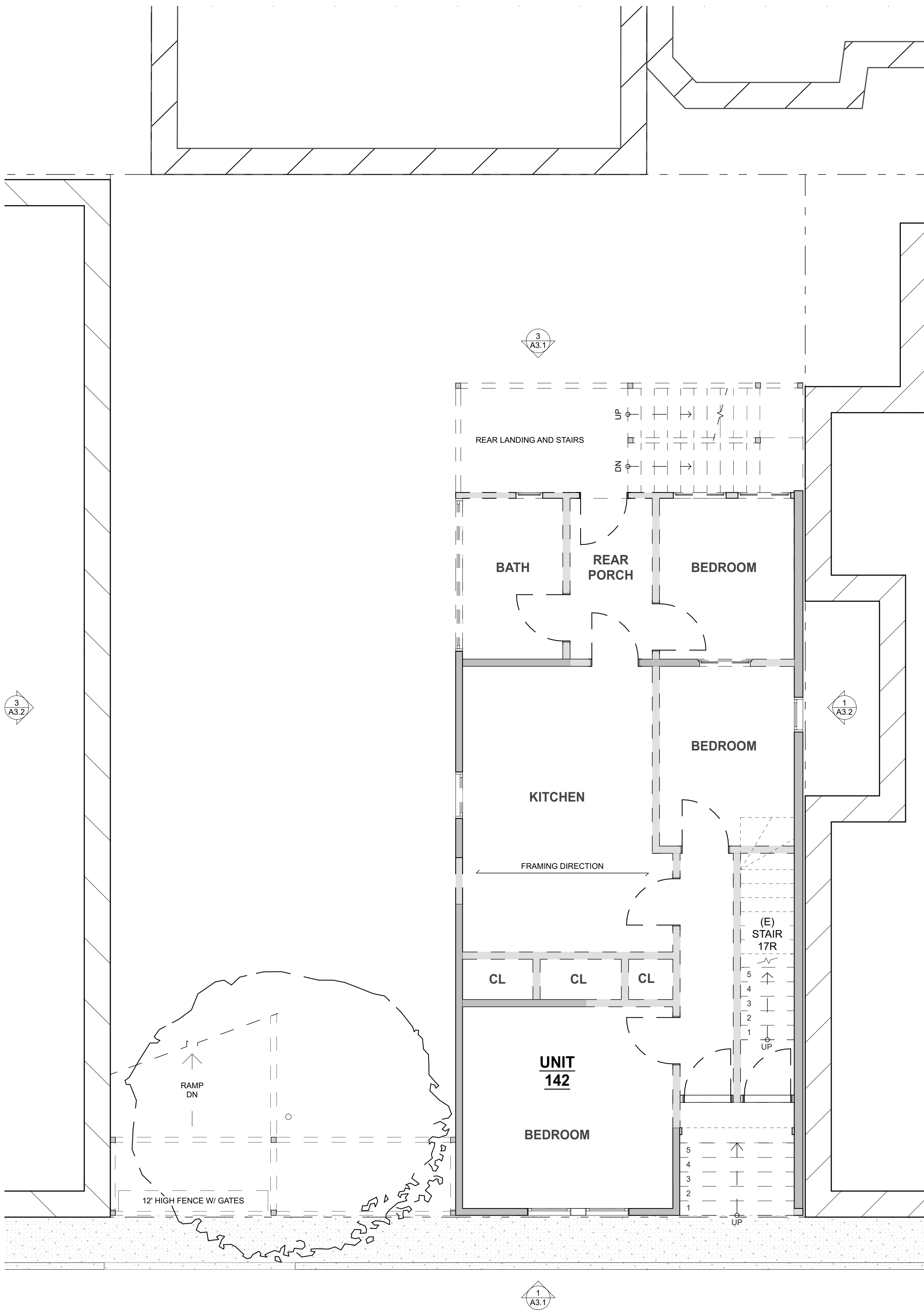
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scale : (as noted)

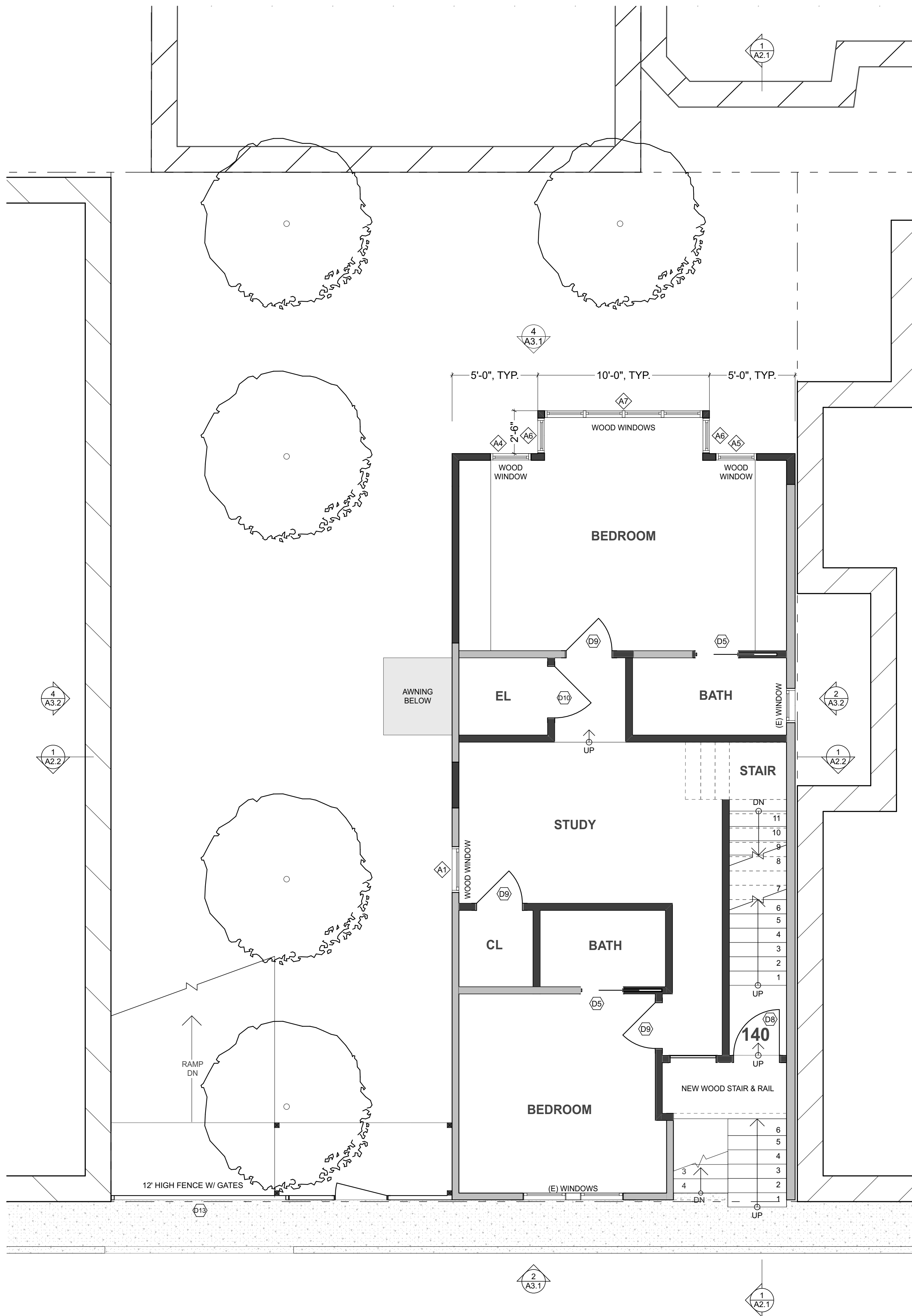
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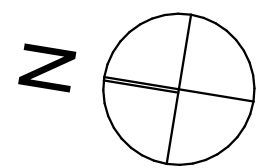
- Above
- - - - - Demo
- ===== Existing
- ===== New Wall



**1**  
**A1.5** EXISTING FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**2**  
**A1.5** PROPOSED FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"





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**SECOND FLOOR PLANS**

project no. : 140JA

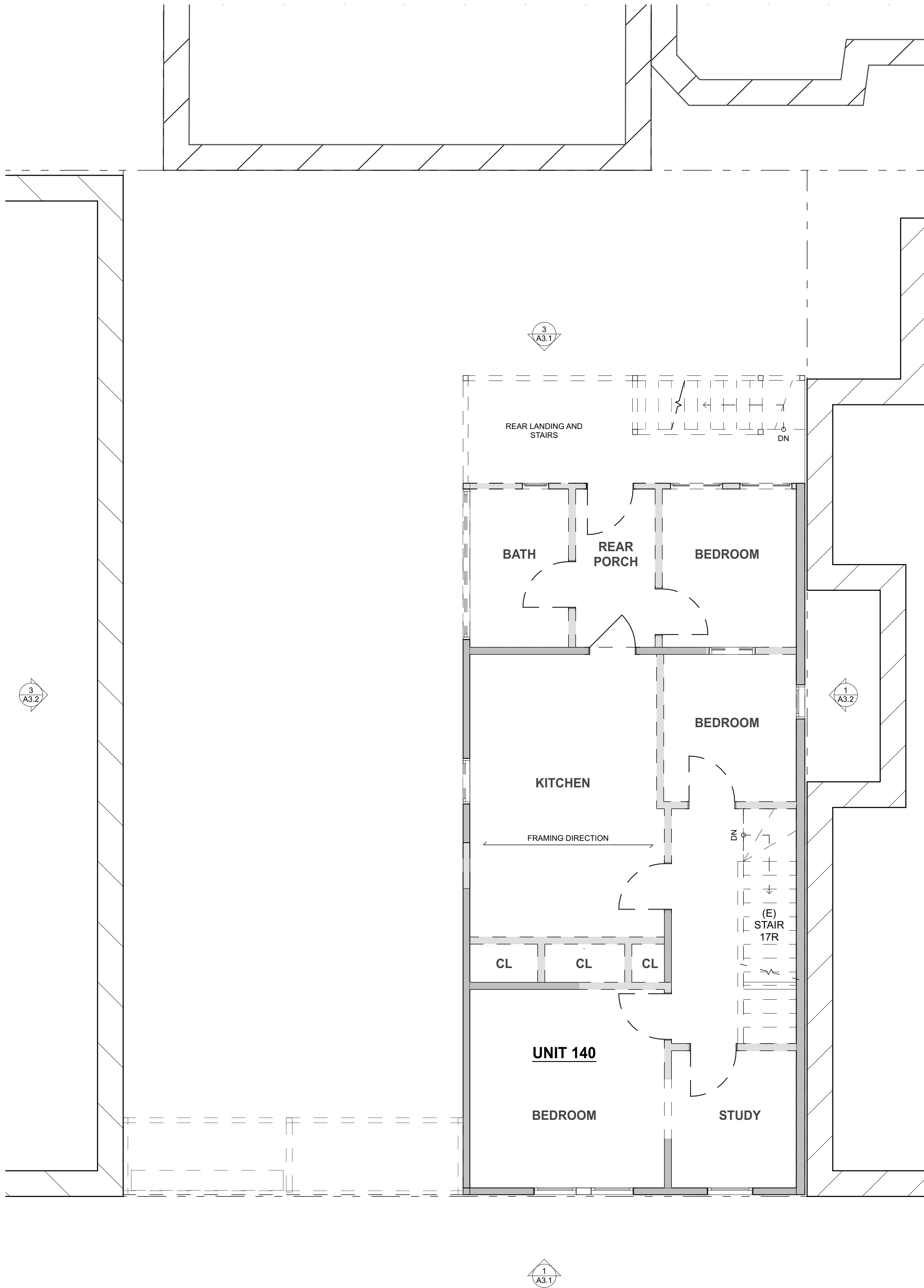
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scale : (as noted)

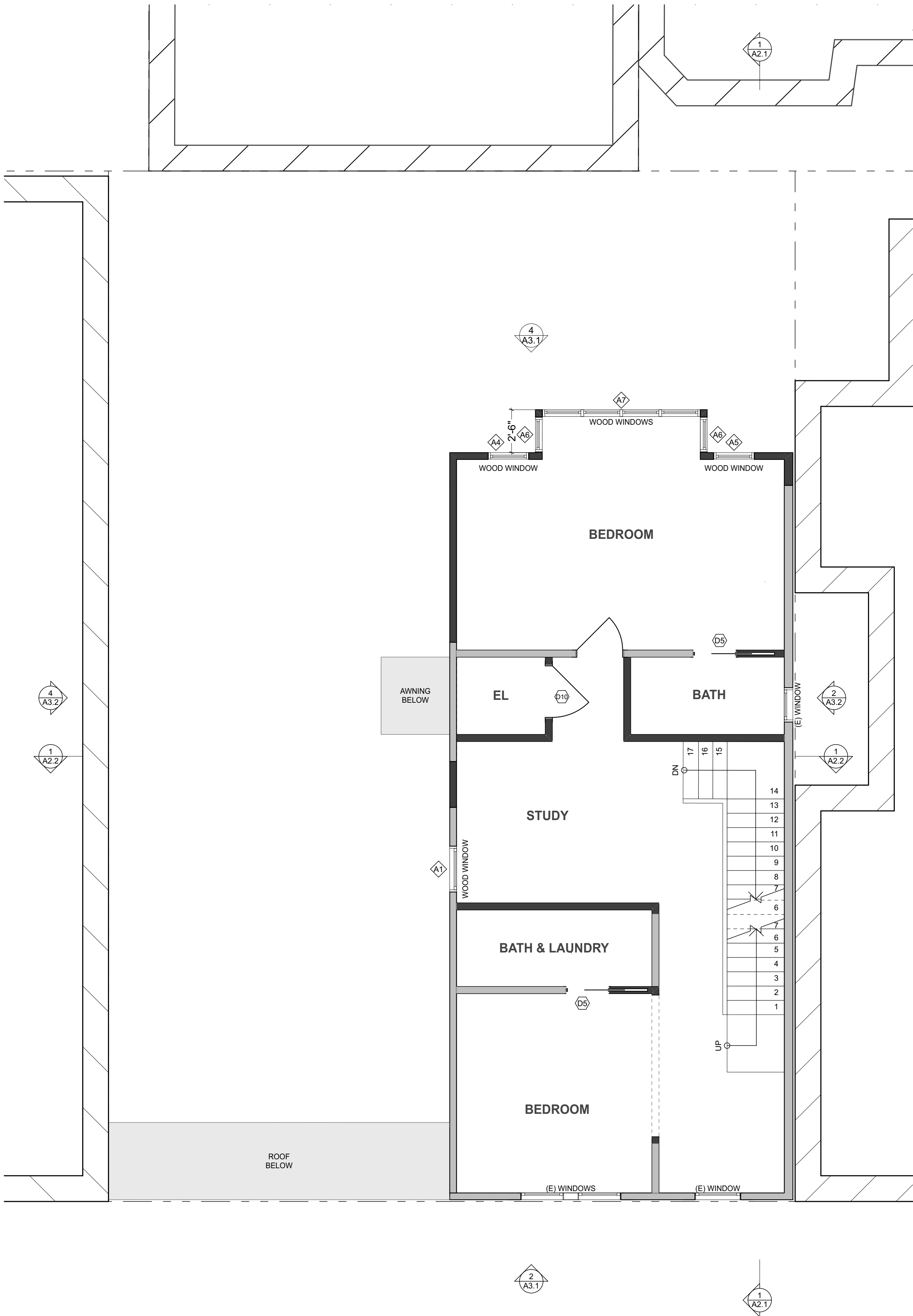
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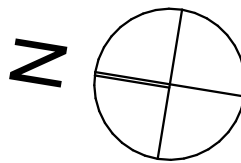
- Above
- - - - - Demo
- ===== Existing
- ===== New Wall



**1**  
**A1.6** EXISTING SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**2**  
**A1.6** PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"





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**THIRD FLOOR PLANS**

project no. : 140JA

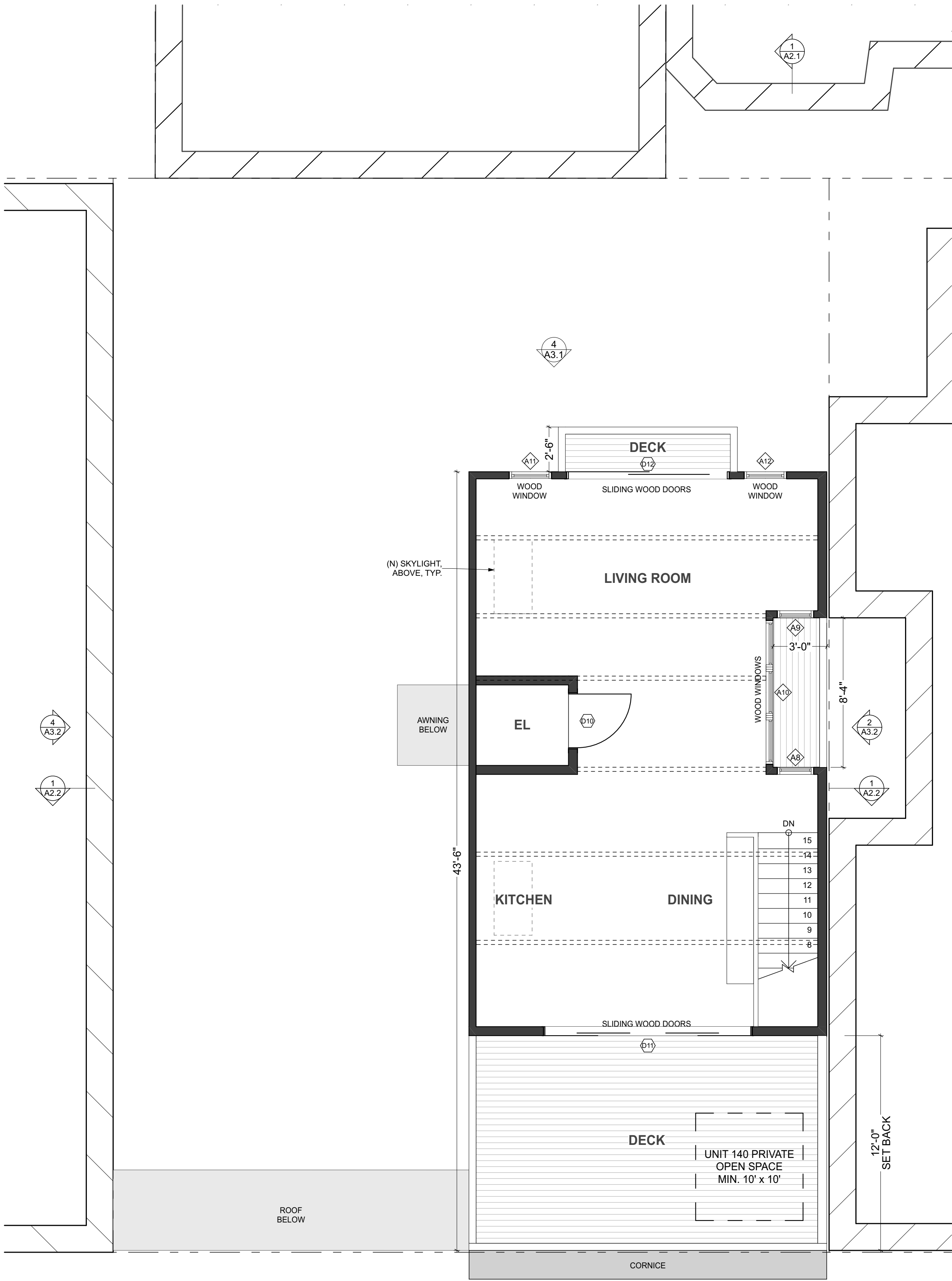
drawn by : JH

scale : (as noted)

**A1.7**

**LEGEND:**

- Above
- - - - - Demo
- ===== Existing
- ===== New Wall



**1 A1.7** PROPOSED THIRD FLOOR PLAN  
SCALE: 1/4" = 1'-0"



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**WEST & EAST ELEVATIONS**

project no. : 140JA

drawn by : JH

scale : (as noted)

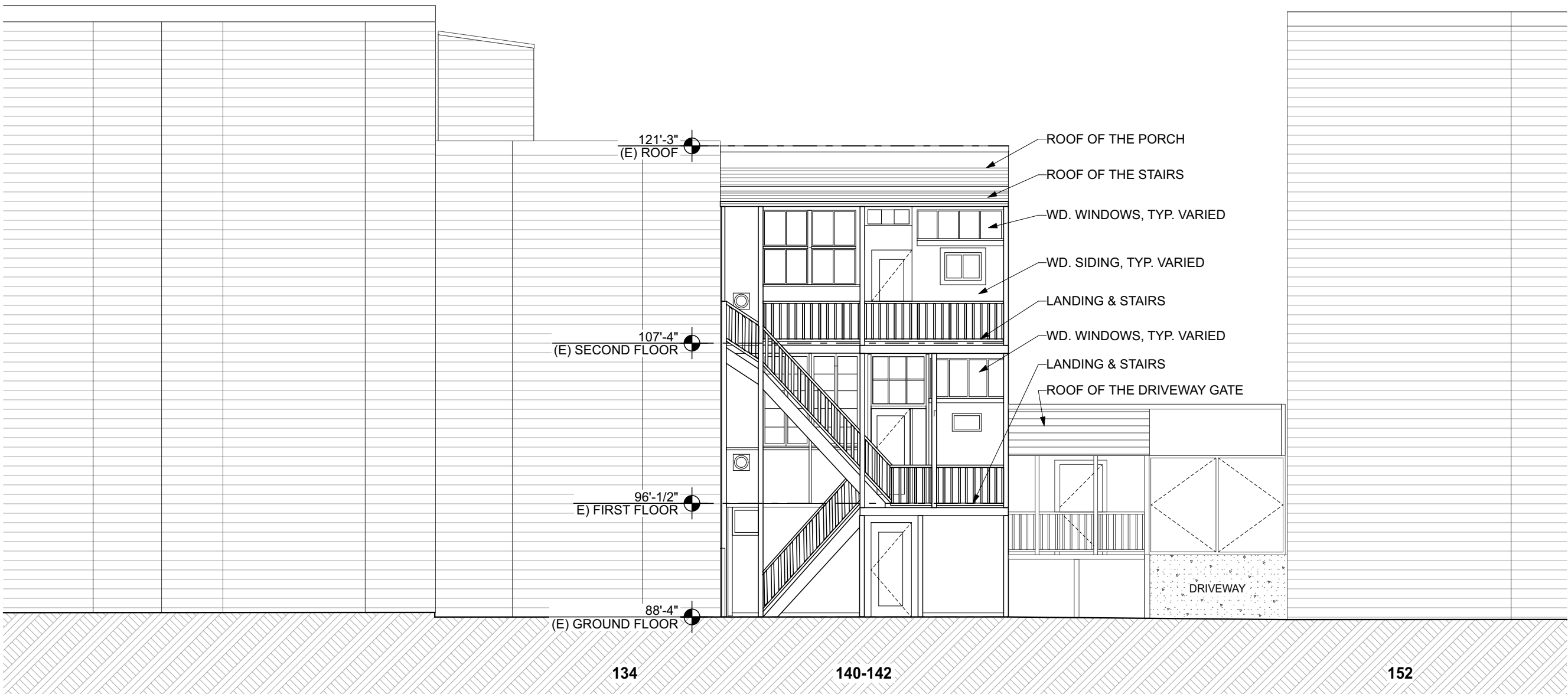
**A3.1**



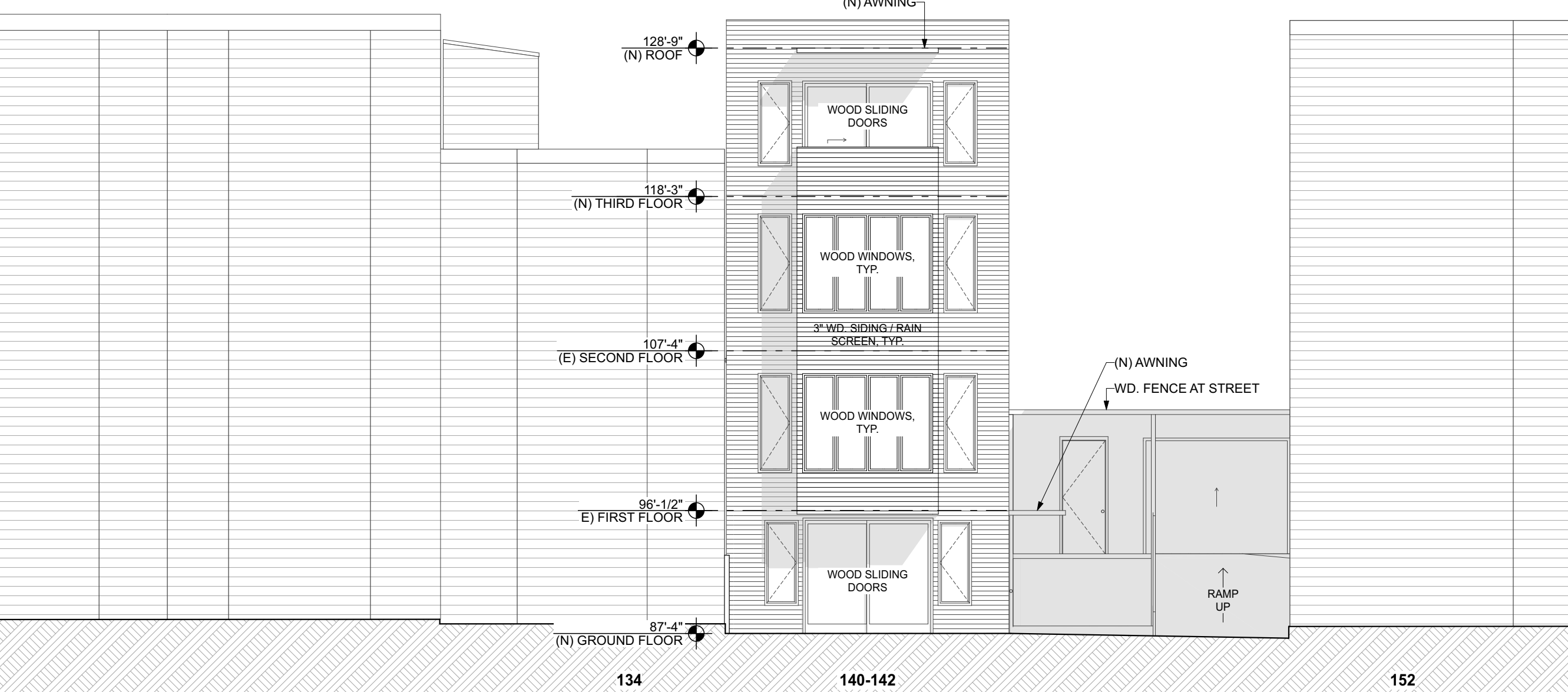
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**A3.1** **EXISTING WEST ELEVATION**  
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**2**  
**A3.1** **PROPOSED WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**3**  
**A3.1** **EXISTING EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**4**  
**A3.1** **PROPOSED EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



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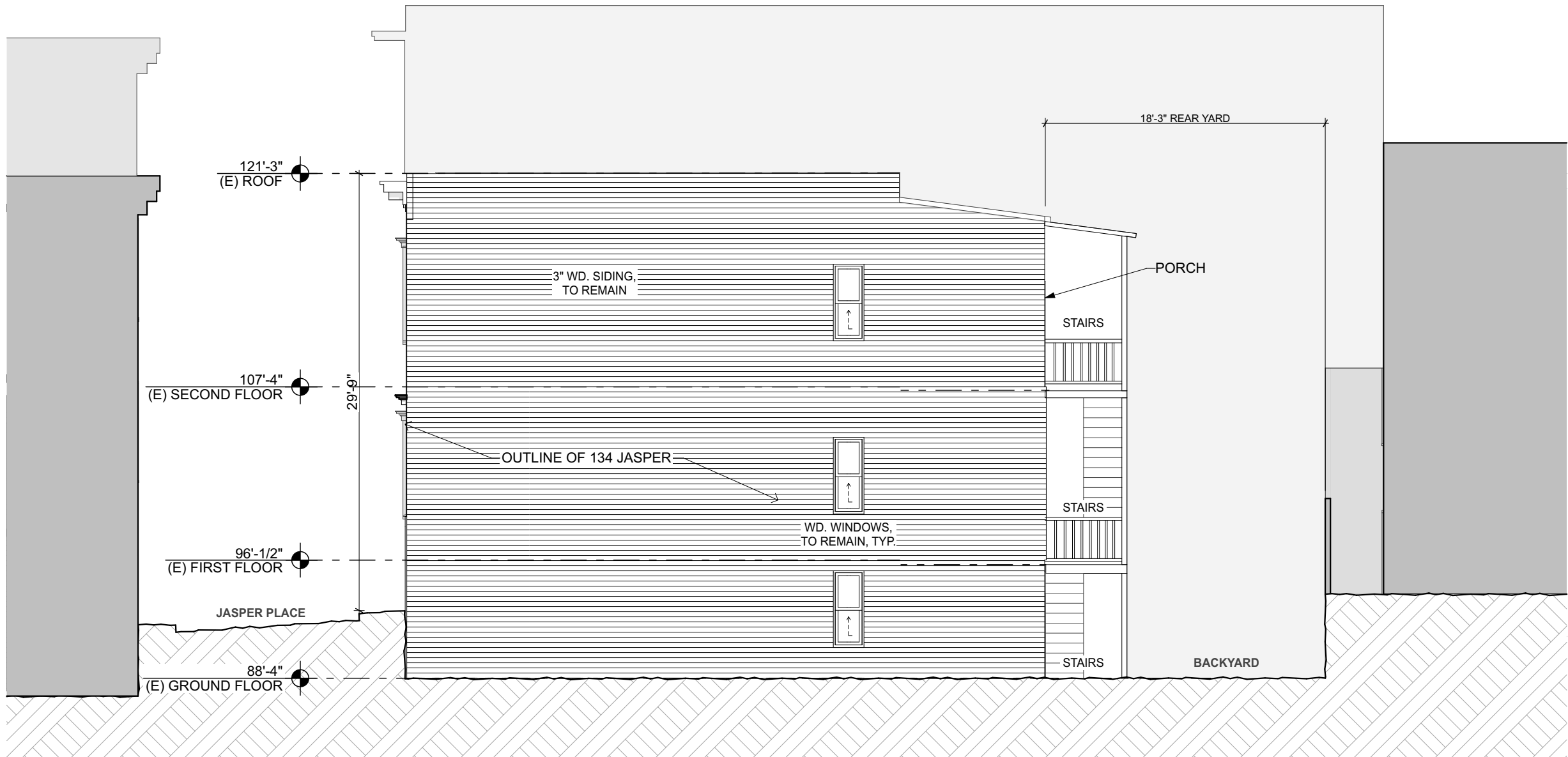
**SOUTH & NORTH ELEVATIONS**

project no. : 140JA

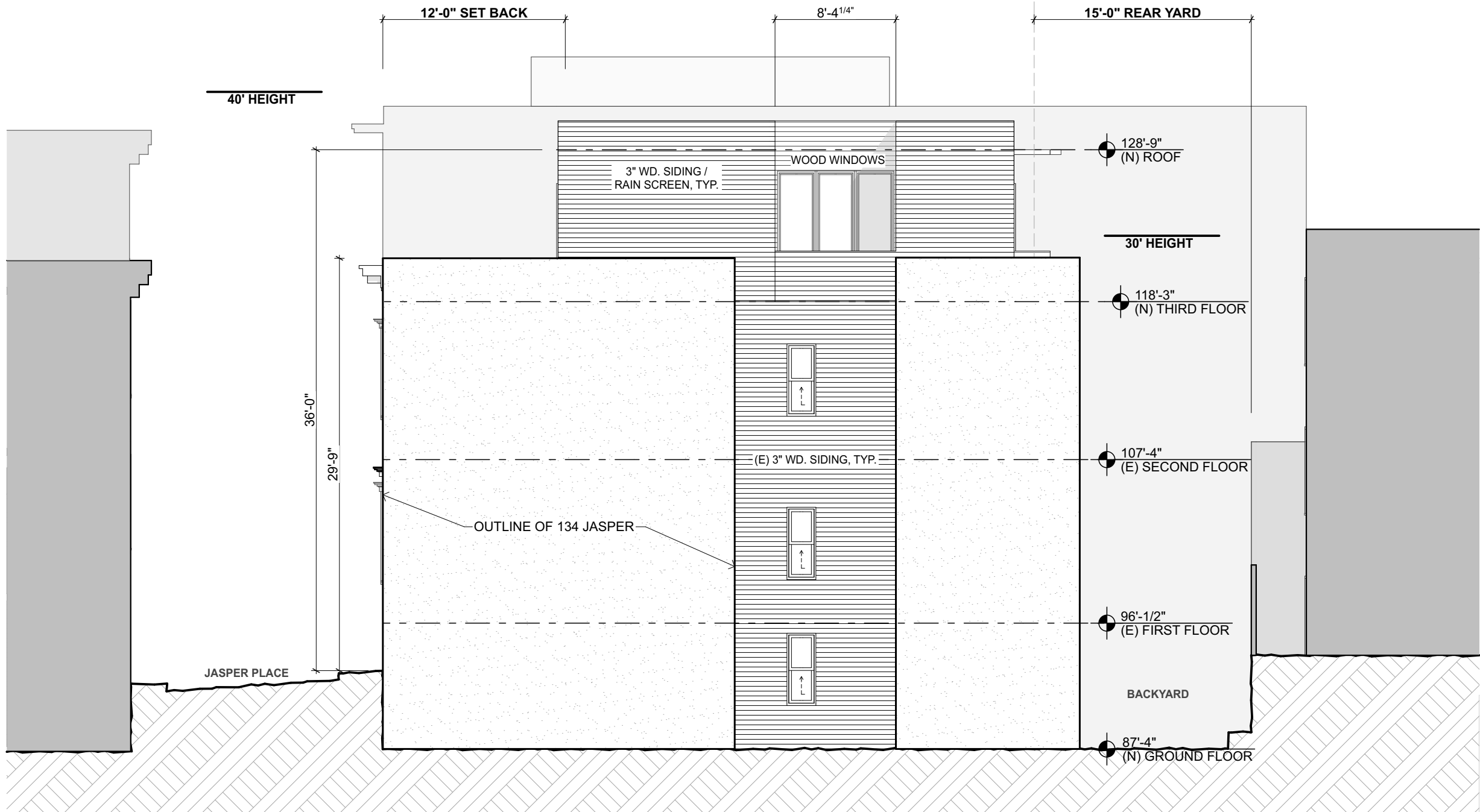
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scale : (as noted)

**A3.2**



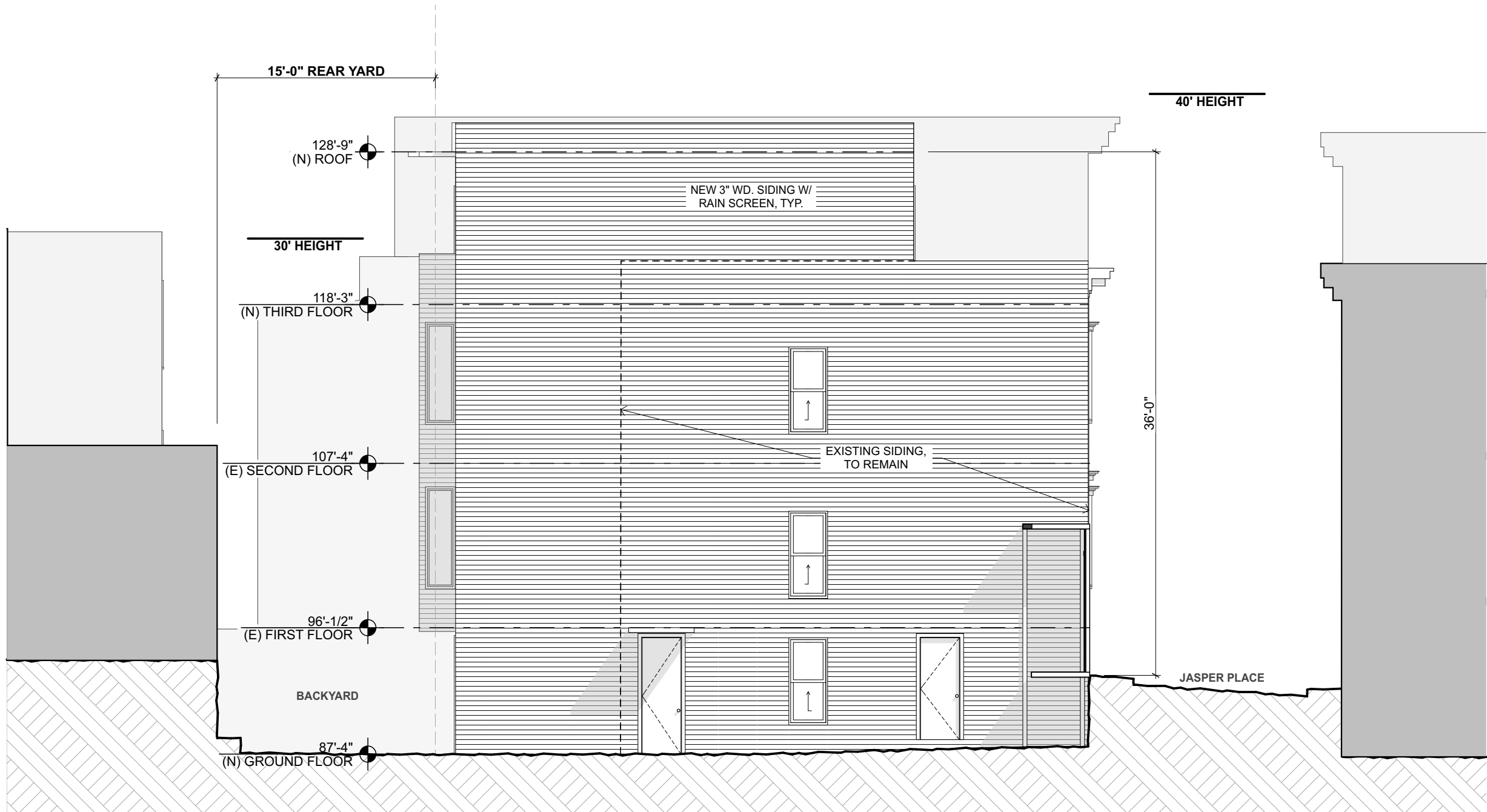
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**A3.2** **EXISTING SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**2**  
**A3.2** **PROPOSED SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**3**  
**A3.2** **EXISTING NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



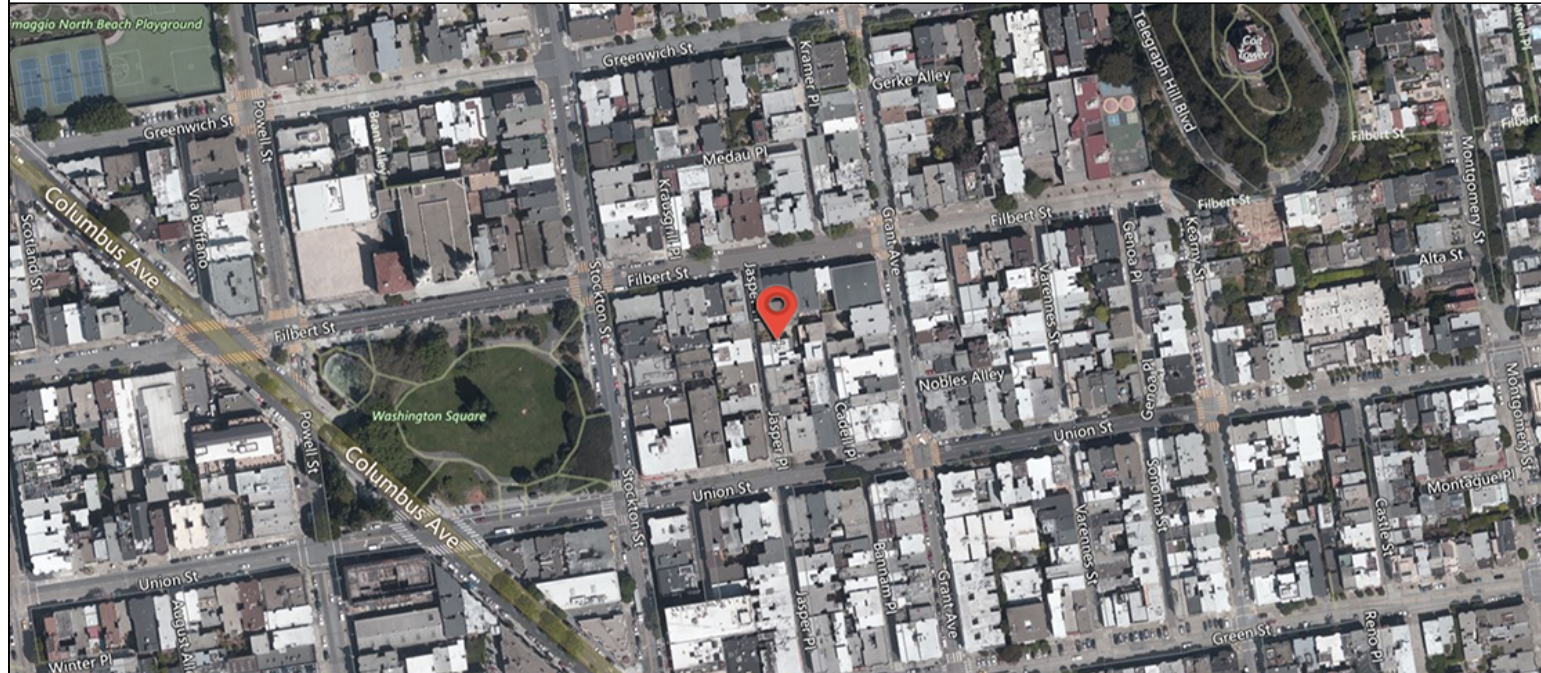
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**A3.2** **PROPOSED NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



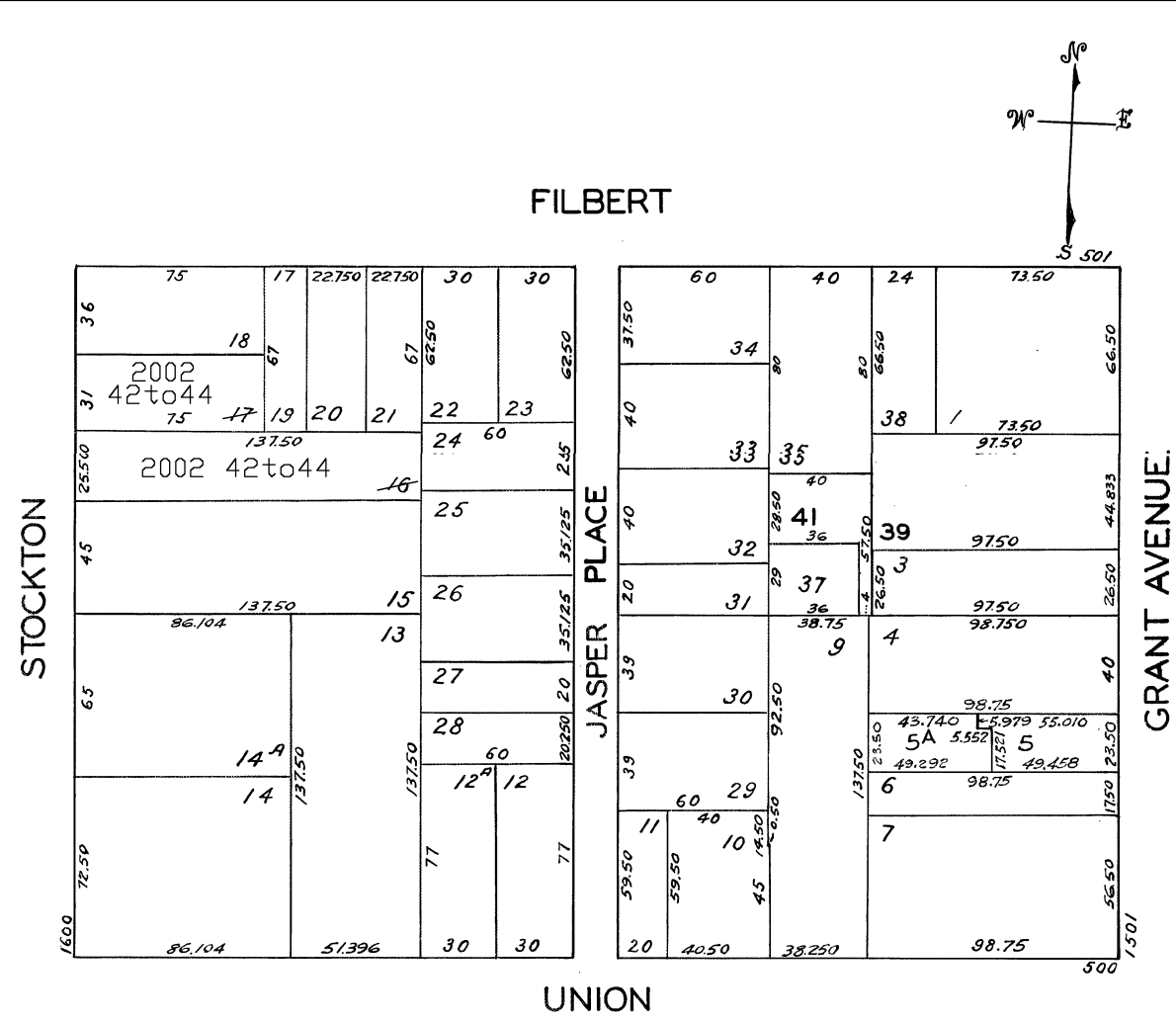
SITE IMAGE



VICINITY MAP



ASSESSOR'S MAP



CONTACTS

**OWNER/BUILDER:**  
WILSON ASSOCIATES  
6451 BENVENUE AVE.  
OAKLAND, CA, 94618  
P: 510 654-9311

**STRUCTURAL:**  
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**ARCHITECT:**  
PETER WILSON  
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5651 KEITH AVE.  
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GENERAL NOTES

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- All material shall be handled and installed per the manufacturer's specifications and recommendations.
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- Dimensions:
- All dimensions shall be verified in the field.
  - All dimensions shown are to the center of columns and beams, face of concrete/conc. block walls, edge of slab, face of finish unless otherwise noted.
  - Ceiling height dimensions are from finished floor or slab to the finished face of ceiling.
- d. Dimensions and elevations are to the top of concrete block or other hard surface materials, not to the top of floor coverings or roofing U.O.N.
- e. Do not scale drawings, follow dimensions.
- The contractor shall be responsible for coordinating the work of all the trades.
- The building inspector shall be notified prior to start of construction.
- The contractor shall do all cutting, fitting, or patching of his/her work that may be required to make its several parts fit together properly and shall not endanger any other work by cutting, excavating, or otherwise altering the total work or any part of it. All patching, repairing and replacing of materials and surfaces, cut or damaged in execution of work, shall be done with applicable materials so that surfaces replaced will upon completion match surrounding similar surfaces.
- The contractor shall provide temporary exit signs to assure a means of egress during construction.
- At least one fire extinguisher with a minimum rating of 2-A-10B:C shall be provided within 75 feet maximum travel distance for each 6,000 SF or portion thereof on each floor.



**WILSON ASSOCIATES**  
5651 Keith Avenue  
Oakland, CA 94618  
P. 510.654.0001  
F. 510.654.0002

**140-142 Jasper**  
Site Permit  
2014-0627-9672

140 Jasper Place  
San Francisco, CA 94133

3/1/21

140-142 Jasper Place  
SITE PERMIT SET

PROJECT INFORMATION

**Project Address** 140 Jasper Pl. San Francisco, CA 94133  
**APN** 0103-032  
**Lot Area** Approx. 2,400 SF

**Zoning** RM-2  
**Project Type** Residential  
**Occupancy Group** R-3  
**Construction Type** V-B

**# of Units:** 2  
**# of Stories:** 2  
**Building Height:** 36'-8 1/2"

AREA OF WORK	EXISTING	PROPOSED	ADDITIONAL	% CHANGE
3RD FLOOR	0 SF	595 SF	595 SF	100%
2ND FLOOR	832 SF	878 SF	46 SF	6%
1ST FLOOR	804 SF	850 SF	46 SF	6%
BASEMENT	807 SF	595 SF	-212 SF	-26%
TOTAL SF	2,443 SF	2,918 SF	475 SF	19.4%

SHEET INDEX

- A0.1 PROJECT INFORMATION  
A1.1 SITE SURVEY  
A1.2 GROSS SQUARE FOOT CALCULATIONS  
A1.3 SITE PLANS & CONTEXT PHOTOS  
A1.4 BASEMENT PLANS  
A1.5 FIRST FLOOR PLANS  
A1.6 SECOND FLOOR PLANS  
A1.7 THIRD FLOOR PLANS  
A1.8 ROOF PLANS  
A2.1 SECTIONS  
A2.2 SECTIONS  
A3.1 WEST & EAST ELEVATIONS  
A3.2 SOUTH & NORTH ELEVATIONS

APPLICABLE CODES

- A. California Code of Regulations, Title 24  
- 2013 California Building Code (2012 IBC)  
- 2013 California Mechanical Code (2012 UMC)  
- 2013 California Plumbing Code (2012 UPC)  
- 2013 California Electrical Code (2011 NEC)  
- 2010 California Energy Code  
- 2013 California Fire Code (2012 IFC)
- B. San Francisco Municipal Code

SCOPE OF WORK

Renovation of existing two unit residential building.



#.	date	issues / revisions
0	9/27/12	SITE PERMIT
1	11/12/13	SP REVISIONS
2	4/14/14	SP REVISIONS
3	11/4/14	SP REVISIONS / SP1
4	3/1/17	311 SUBMITTAL
5	5/22/2020	SP REVISIONS / SP2
6	12/17/2020	SP REVISIONS / SP3
7	3/1/21	SP REVISIONS / SP4

PROJECT INFORMATION

project no. : 140JA

drawn by : JH

scale : (as noted)

**A0.1**

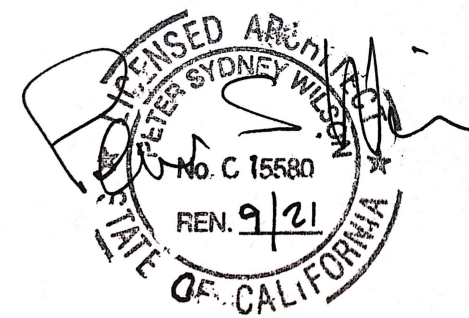


**140-142 Jasper**

Site Permit  
2014-0627-9672

140 Jasper Place  
San Francisco, CA 94133

3/1/21



#.	date	issues / revisions
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6	12/17/2020	SP REVISIONS
7	3/1/21	SP REVISIONS

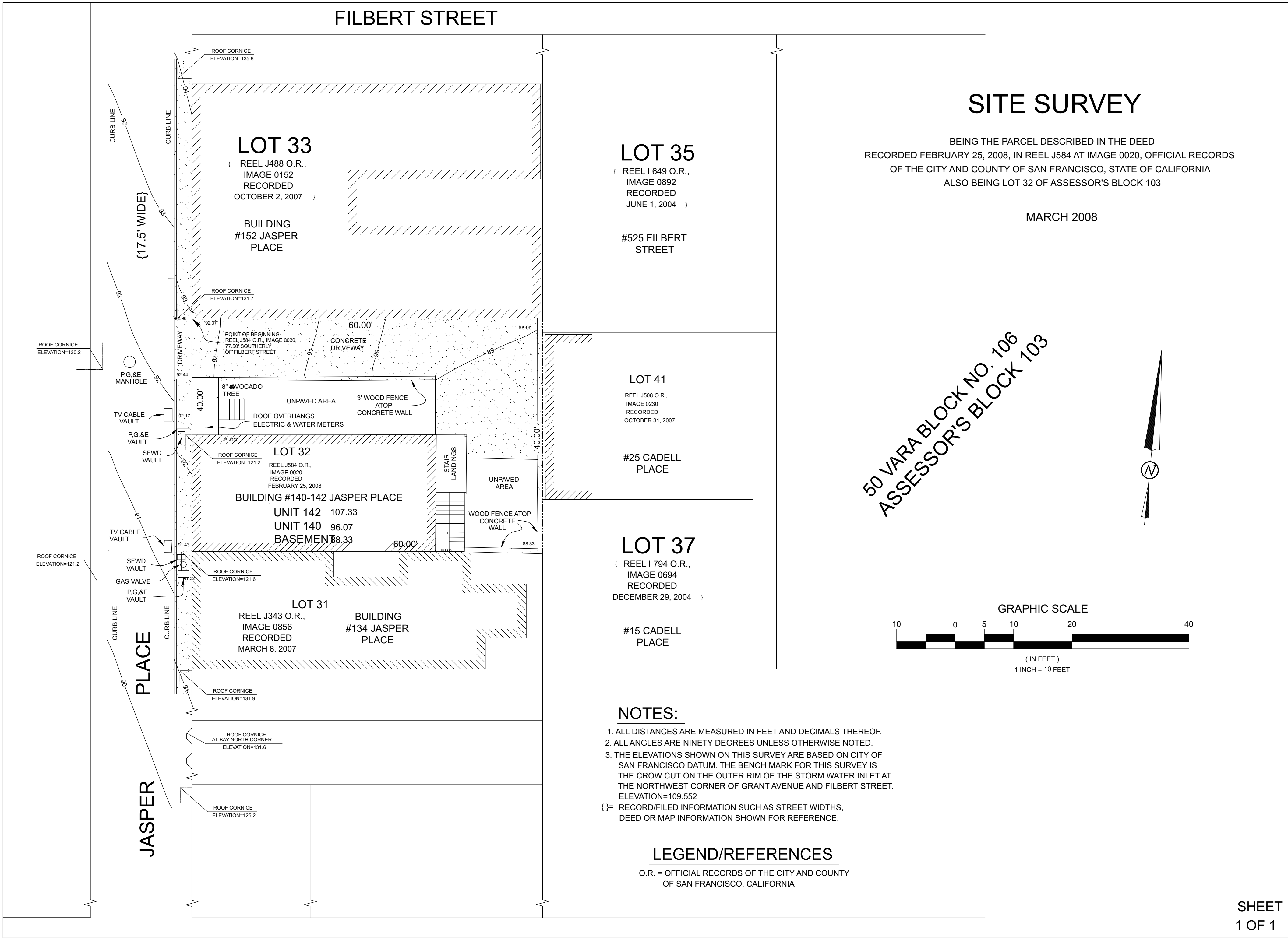
**SITE SURVEY**

project no. : 140JA

drawn by : JH

scale : (as noted)

**A1.1**

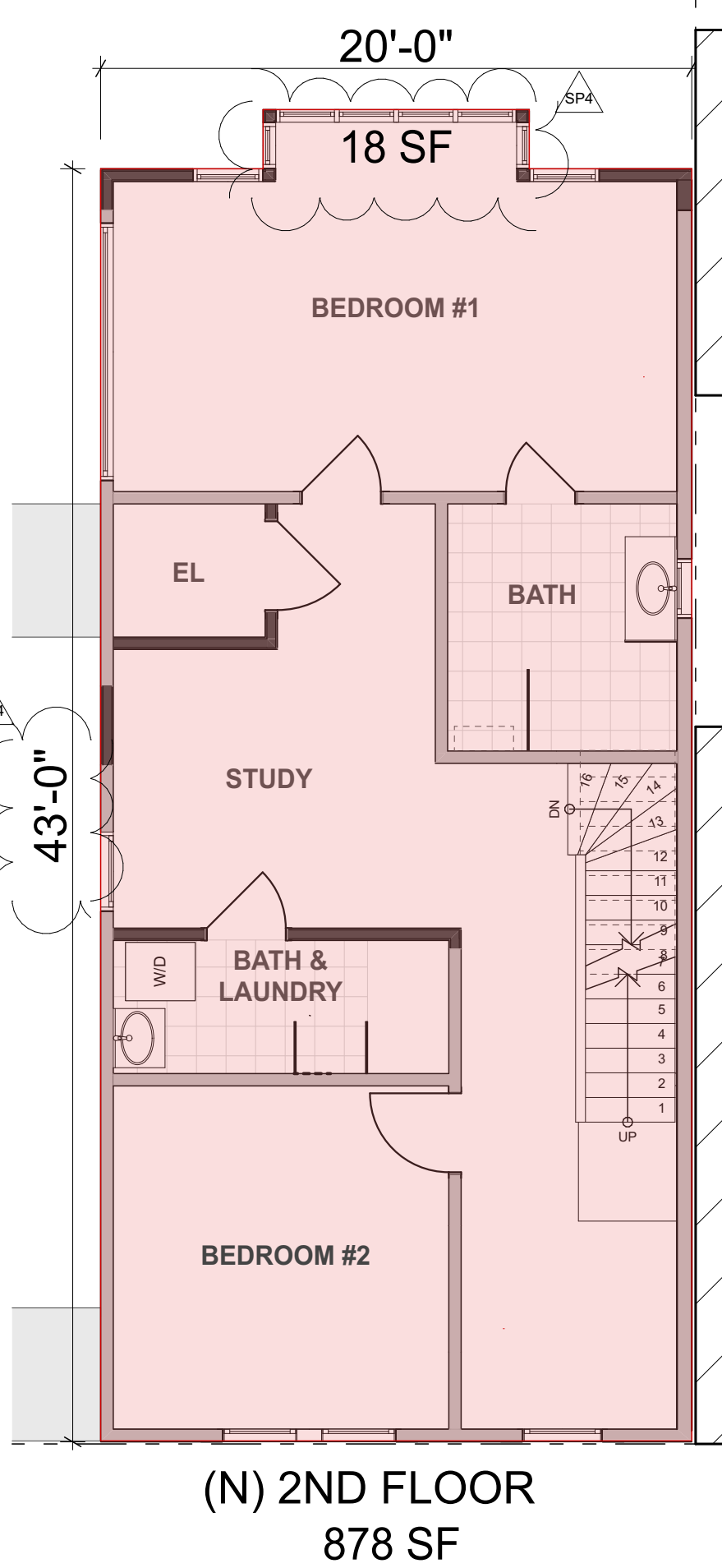
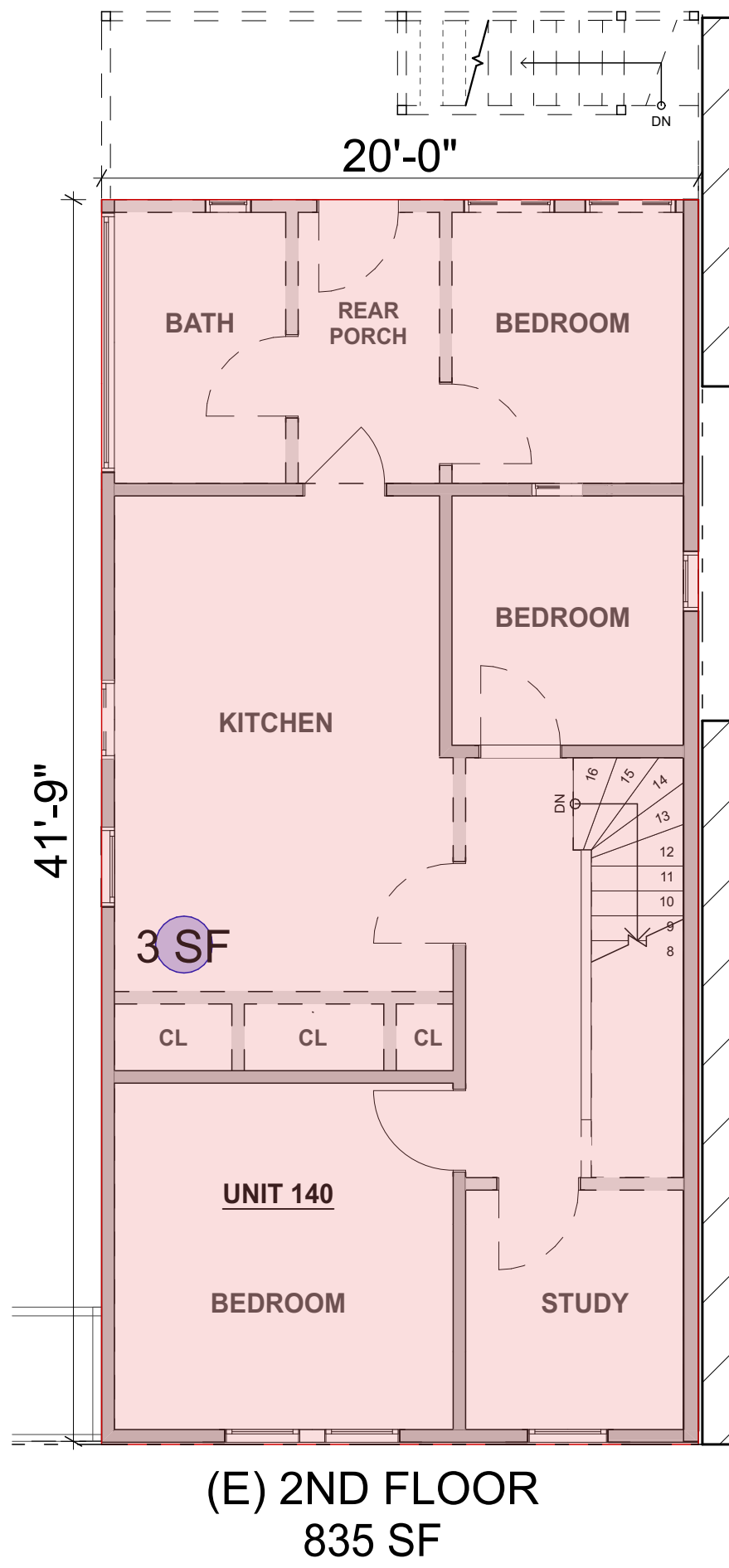
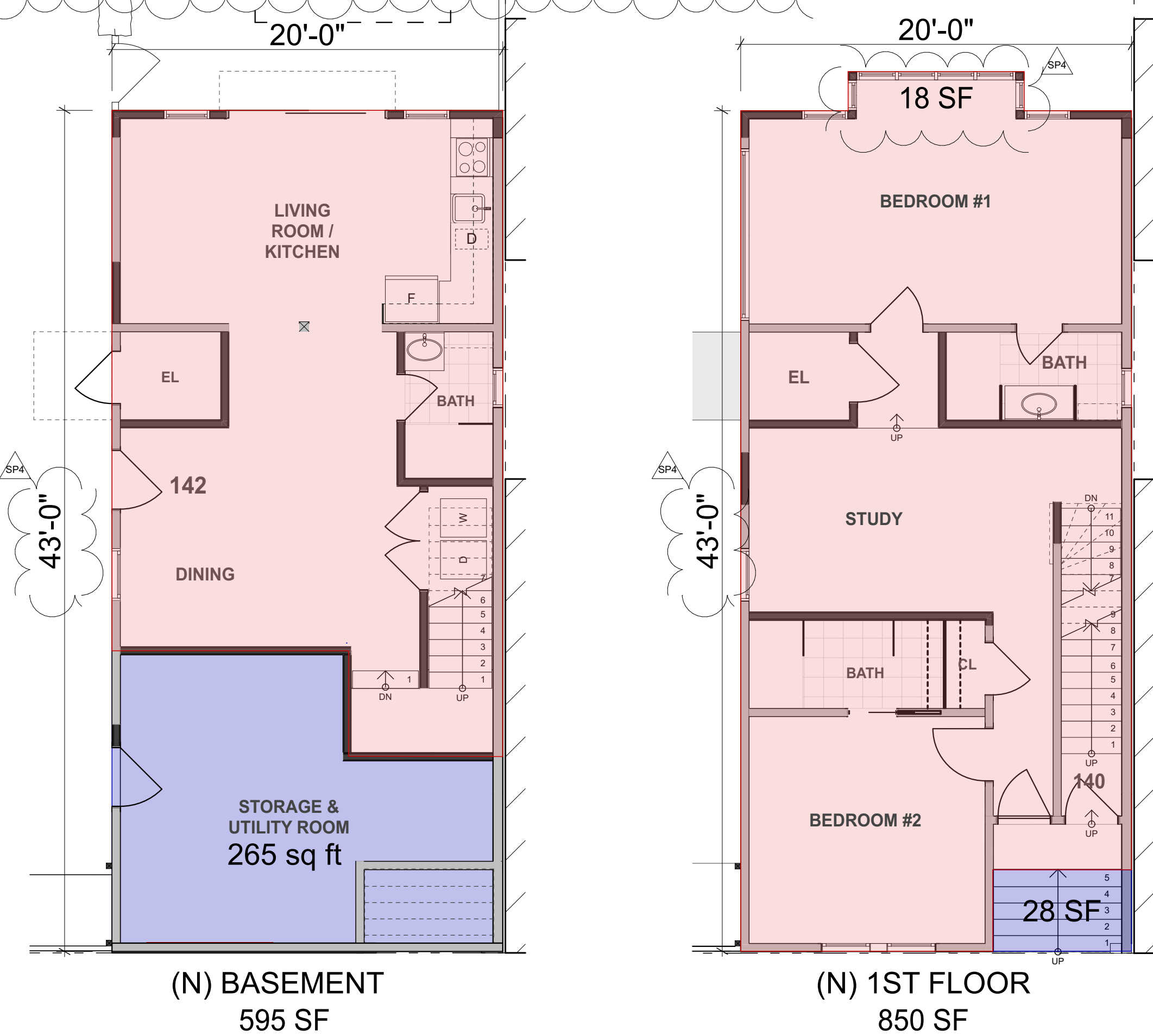




EXISTING GROSS FLOOR AREA: 2477 SF  
41'-9" X 20' (FLOOR PLATE = 835 SF)



PROPOSED GROSS FLOOR AREA: 2918 SF  
43'-0" X 20' (FLOOR PLATE = 860 SF)



GROSS FLOOR AREA:

	EXISTING		PROPOSED	
	INCLUDED SF	ADJUSTED SF	INCLUDED SF	ADJUSTED SF
3RD FLOOR			595 SF	-265 SF
2ND FLOOR	832 SF	-3 SF	878 SF	18 SF
1ST FLOOR	804 SF	-31 SF	850 SF	-10 SF
BASEMENT	807 SF	-28 SF	595 SF	-265 SF
TOTAL:	2,443 SF		2,918 SF	

\* BAY WINDOW:  
2' X 9' = 18 SF

19.4% ADDITIONAL SF

% OF INTERIOR WALLS REMAINING:

	ORIGINAL LF	DEMO LF	EXISTING LF	%
2ND FLOOR	74'-2"	25'-5 1/4"	48'-8 3/4"	66%
1ST FLOOR	75'-8 1/4"	39'-10 3/4"	35'-9 1/2"	47%
BASEMENT	58'-4 1/2"	51'-3 3/4"	19'-3/4"	33%



STORAGE RM A



STORAGE RM B



LAUNDRY & STORAGE RM C



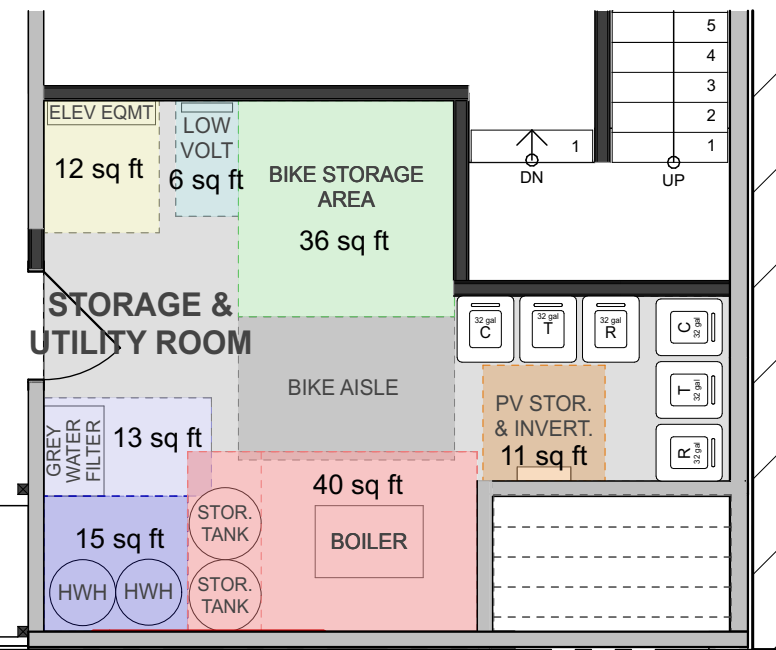
STORAGE RM C & LAUNDRY



STORAGE RM C



STORAGE RM D

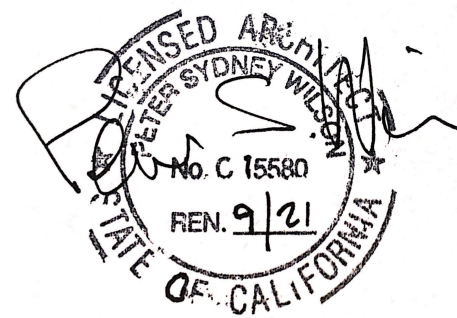


STORAGE & UTILITY ROOM DIAGRAM

140-142  
Jasper  
Site Permit  
2014-0627-9672

140 Jasper Place  
San Francisco, CA 94133

3/1/21



#.	date	issues / revisions
0	9/27/12	SITE PERMIT
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6	12/17/2020	SP REVISIONS
7	3/1/21	SP REVISIONS

GROSS SQUARE  
FOOT  
CALCULATIONS

project no. : 140JA

drawn by : JH

scale : (as noted)

A1.2



CONTEXT PHOTOS:



FRONT



REAR



SIDE YARD VIEW W/ 152 JASPER PL  
& 25 CADELL PL



STREET VIEW



REAR YARD W/ VIEW OF 134 JASPER PL

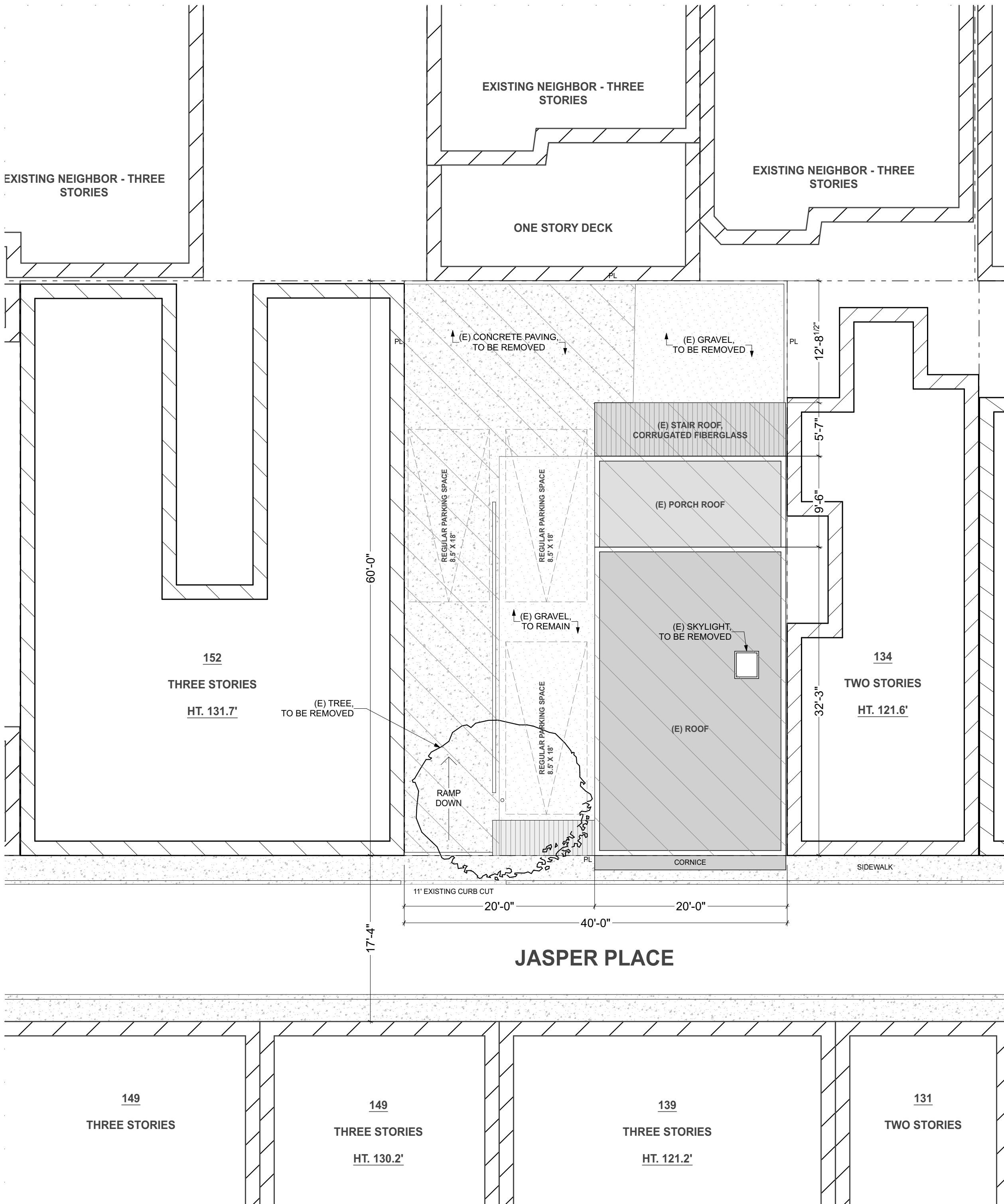
IMPERVIOUS SURFACE CALCULATIONS:

EXISTING AREAS	NEW AREAS	ADDITIONAL AREA
1,773 SF	860 SF	-913 SF

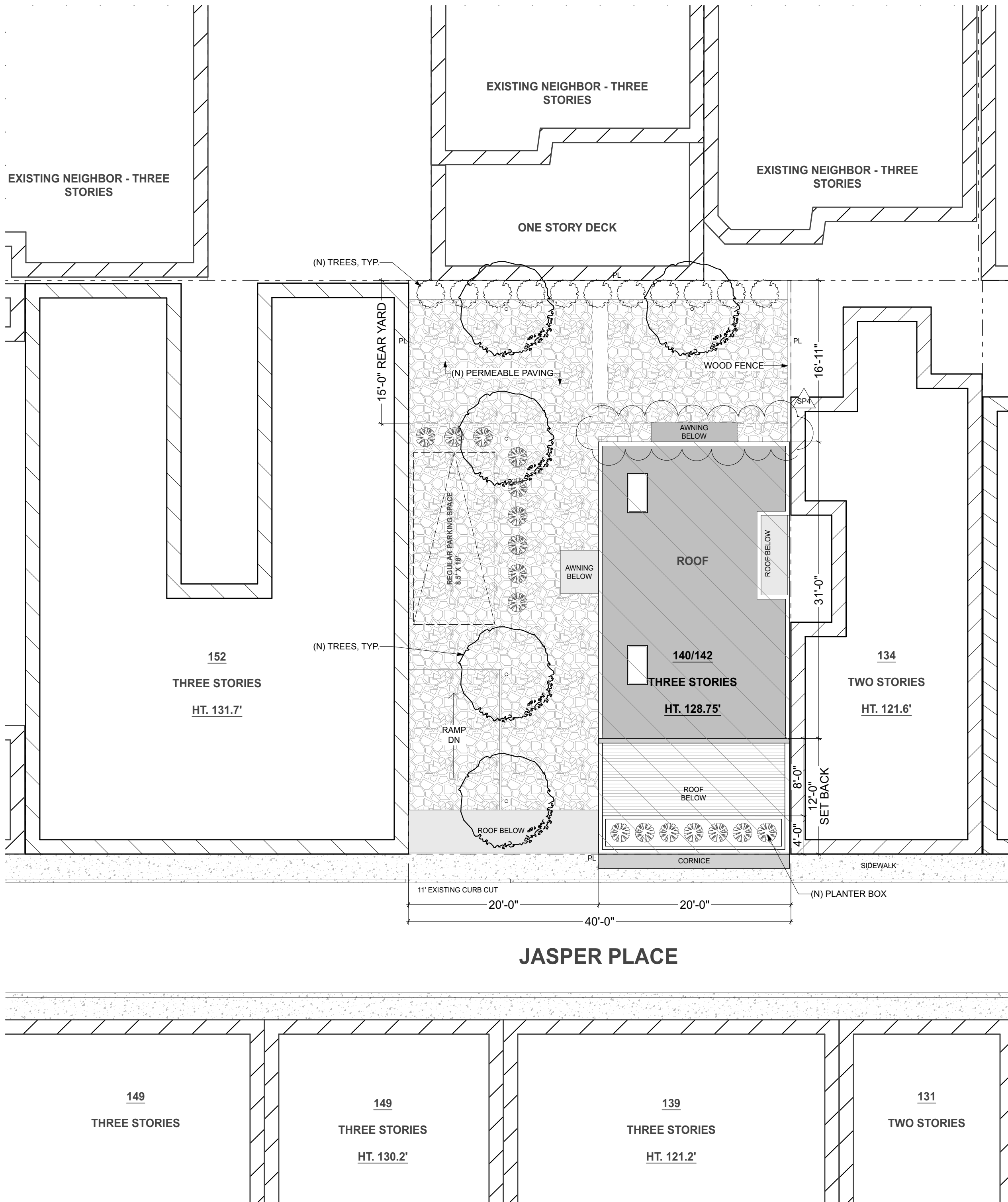
SHEET NOTES:

- ① All planting areas will be mulched.
- ② All planting will be drip-irrigated.
- ③ Minimum Class C Roofing over entirety of building per CBC 1505.1

LEGEND:



1  
A1.3  
EXISTING SITE PLAN  
SCALE: 1/8" = 1'-0"



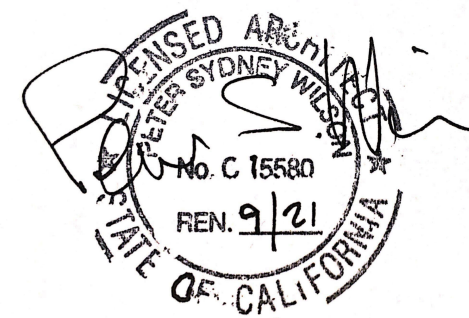
2  
A1.3  
PROPOSED SITE PLAN  
SCALE: 1/8" = 1'-0"

**140-142 Jasper**

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2014-0627-9672

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San Francisco, CA 94133

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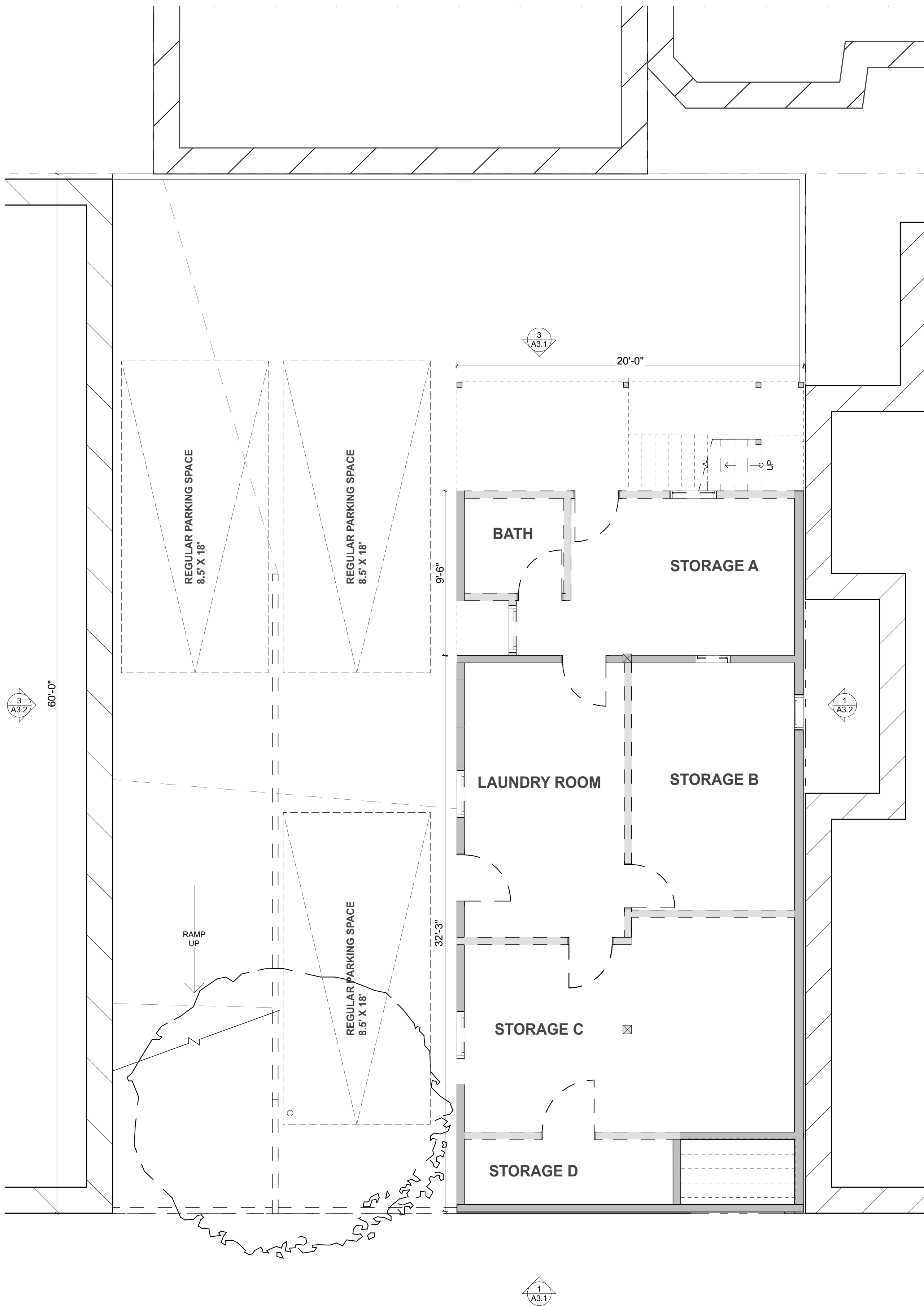
#.	date	issues / revisions
0	9/27/12	SITE PERMIT
1	11/12/13	SP REVISIONS
2	4/14/14	SP REVISIONS
3	11/4/14	SP REVISIONS /SP1
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6	12/17/2020	SP REVISIONS /SP3
7	3/1/21	SP REVISIONS /SPA

**SITE PLANS & CONTEXT PHOTOS**

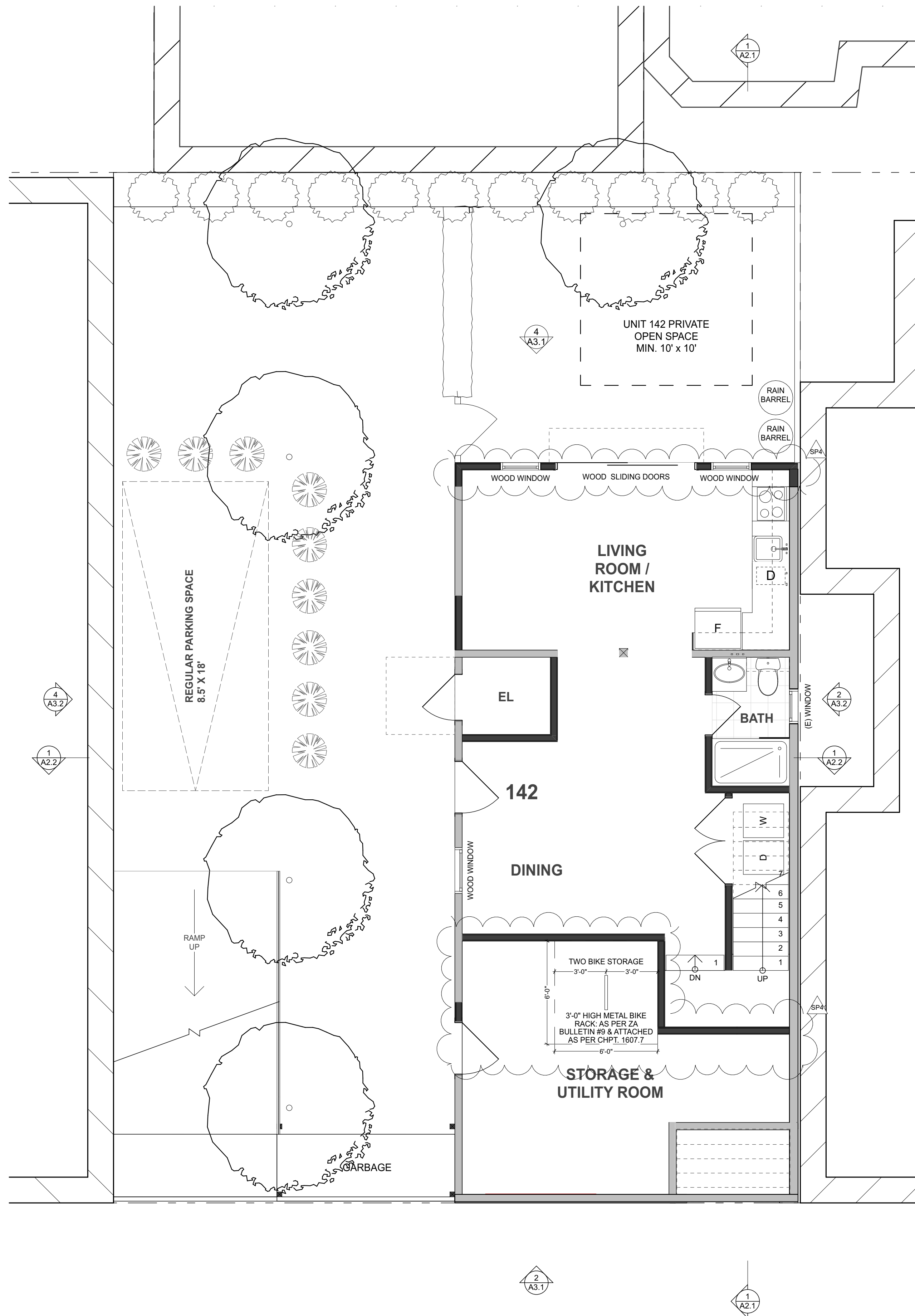
project no. : 140JA  
drawn by : JH  
scale : (as noted)

**A1.3**





**1**  
**A1.4** EXISTING BASEMENT + DEMO PLAN  
SCALE: 1/4" = 1'-0"



**2**  
**A1.4** PROPOSED BASEMENT PLAN  
SCALE: 1/4" = 1'-0"

**LEGEND:**

- Above
- - - - - Demo
- ===== Existing
- ===== New Wall

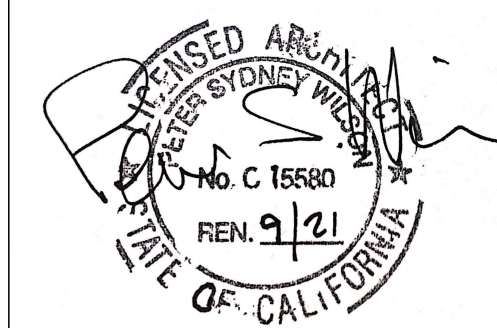
**WILSON ASSOCIATES**  
5651 Keith Avenue  
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F. 510.654.0002

## 140-142 Jasper

Site Permit  
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San Francisco, CA 94133

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#.	date	issues / revisions
0	9/27/12	SITE PERMIT
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7	3/1/21	SP REVISIONS /SP4

### BASEMENT PLANS

project no. : 140JA

drawn by : JH

scale : (as noted)

# A1.4



**140-142 Jasper**

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140 Jasper Place  
San Francisco, CA 94133

3/1/21



#.	date	issues / revisions
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6	12/17/2020	SP REVISIONS /SP3
7	3/1/21	SP REVISIONS /SP4

**FIRST FLOOR PLANS**

project no. : 140JA

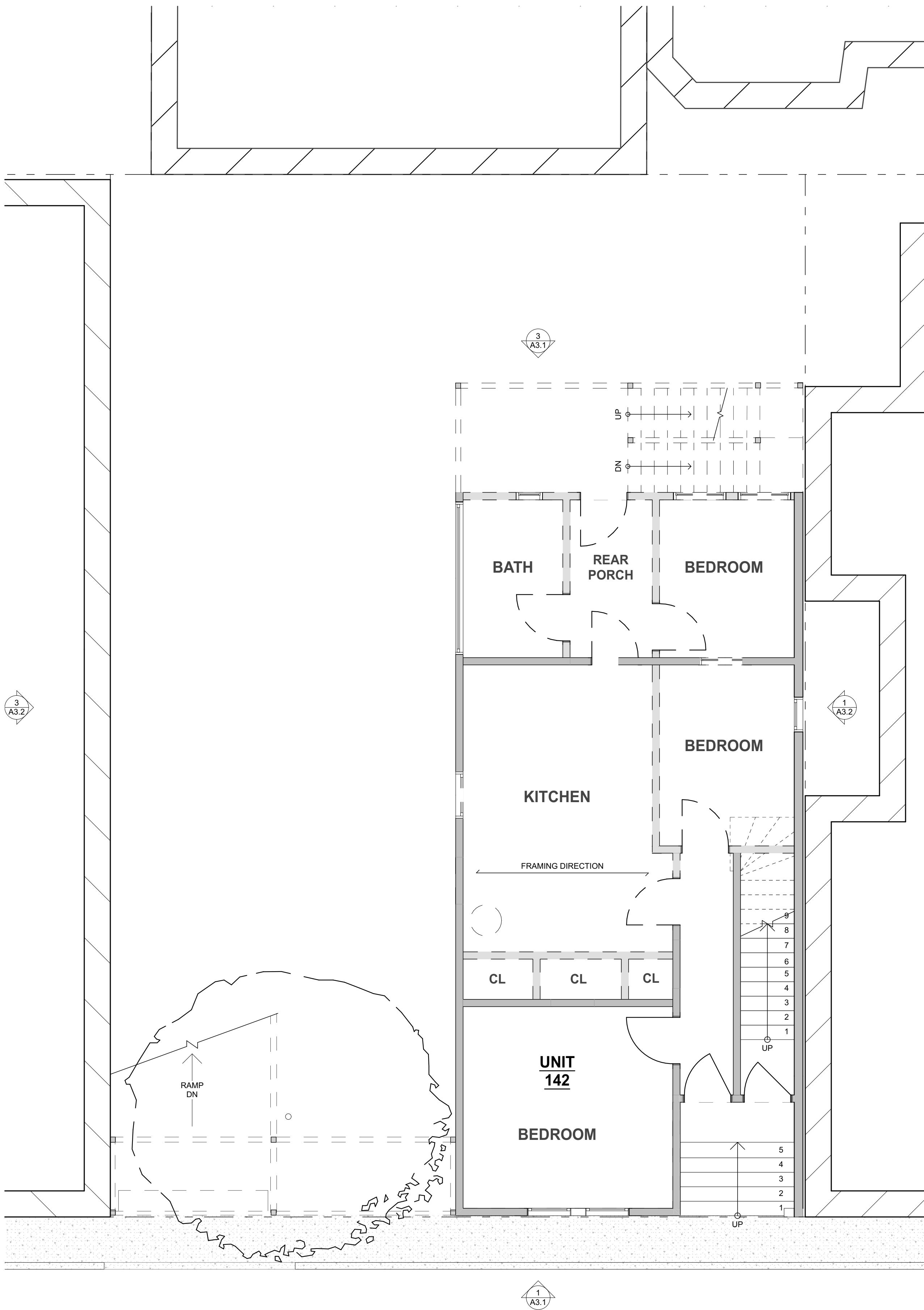
drawn by : JH

scale : (as noted)

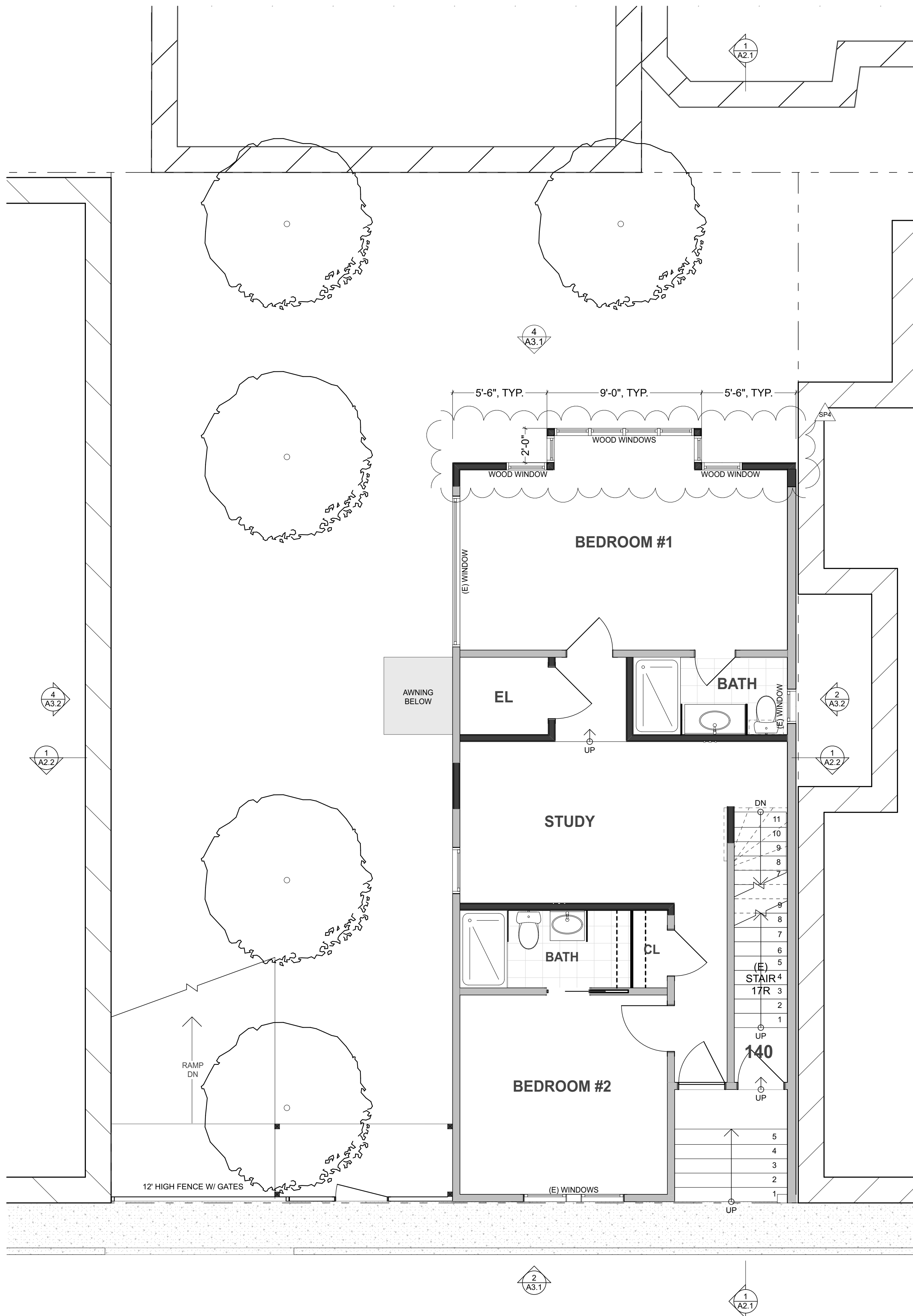
**A1.5**

**LEGEND:**

- Above
- - - - - Demo
- ===== Existing
- ===== New Wall



**1**  
**A1.5** EXISTING FIRST FLOOR + DEMO PLAN  
SCALE: 1/4" = 1'-0"



**2**  
**A1.5** PROPOSED FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**140-142 Jasper**

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140 Jasper Place  
San Francisco, CA 94133

3/1/21



#.	date	issues / revisions
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3	11/4/14	SP REVISIONS
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5	5/22/2020	SP REVISIONS
6	12/17/2020	SP REVISIONS
7	3/1/21	SP REVISIONS

**SECOND FLOOR PLANS**

project no. : 140JA

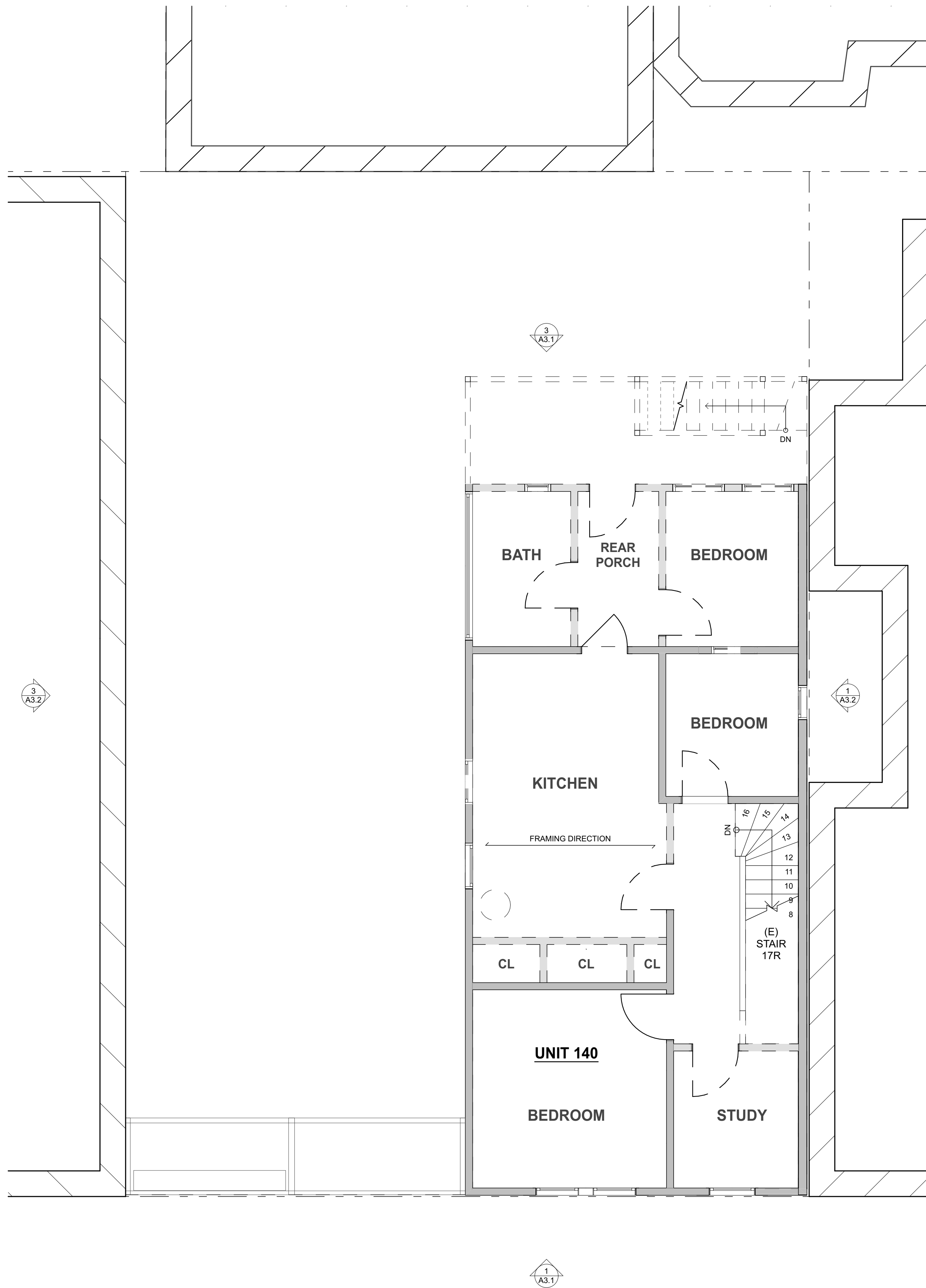
drawn by : JH

scale : (as noted)

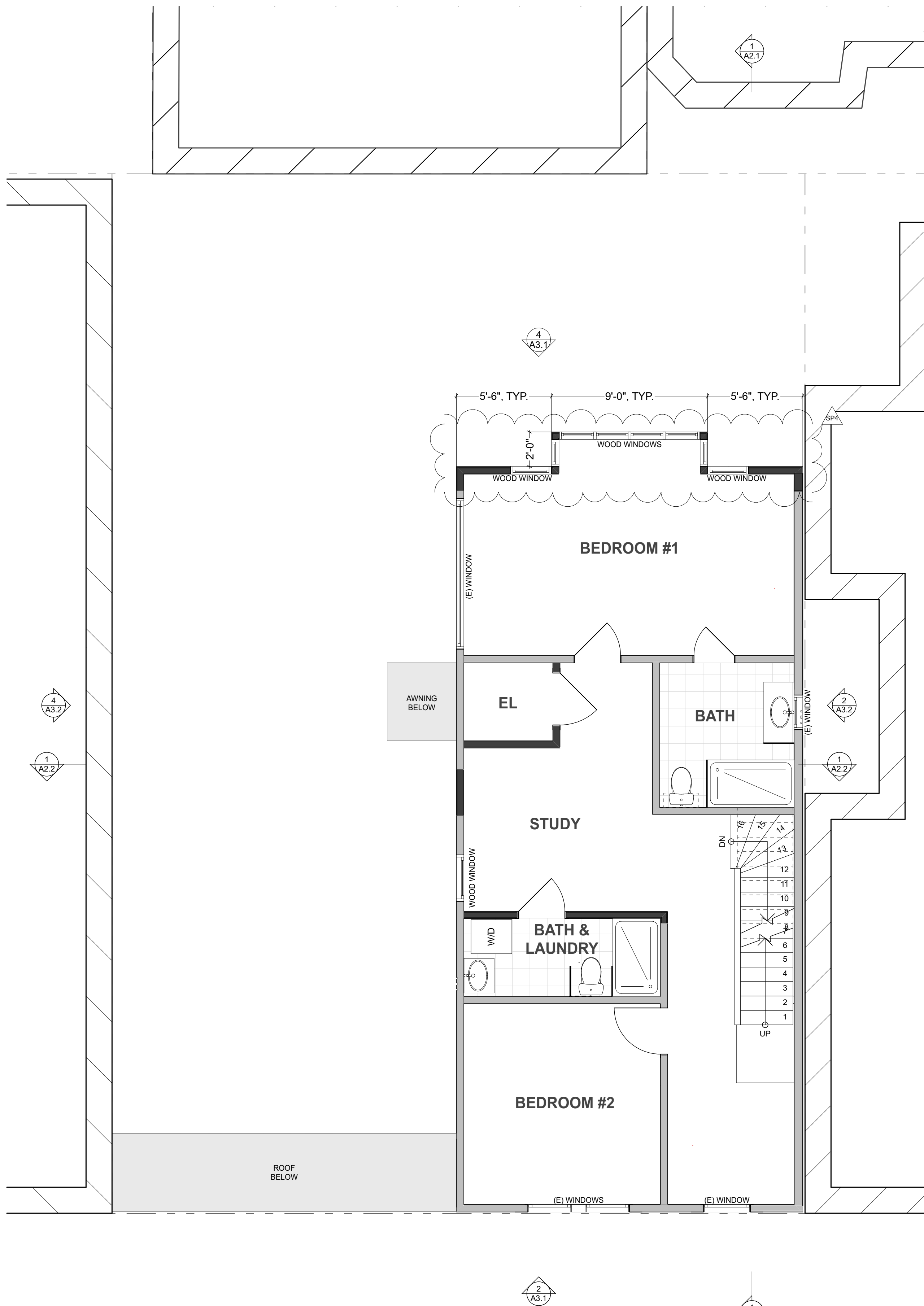
**A1.6**

**LEGEND:**

- Above
- - - - - Demo
- ===== Existing
- ===== New Wall



**1**  
**A1.6** EXISTING SECOND FLOOR + DEMO PLAN  
SCALE: 1/4" = 1'-0"



**2**  
**A1.6** PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"







**140-142 Jasper**  
Site Permit  
2014-0627-9672

140 Jasper Place  
San Francisco, CA 94133

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#.	date	issues / revisions
0	9/27/12	SITE PERMIT
1	11/12/13	SP REVISIONS
2	4/14/14	SP REVISIONS
3	11/4/14	SP REVISIONS /SP1
4	3/1/17	311 SUBMITTAL
5	5/22/2020	SP REVISIONS /SP2
6	12/17/2020	SP REVISIONS /SP3
7	3/1/21	SP REVISIONS /SP4

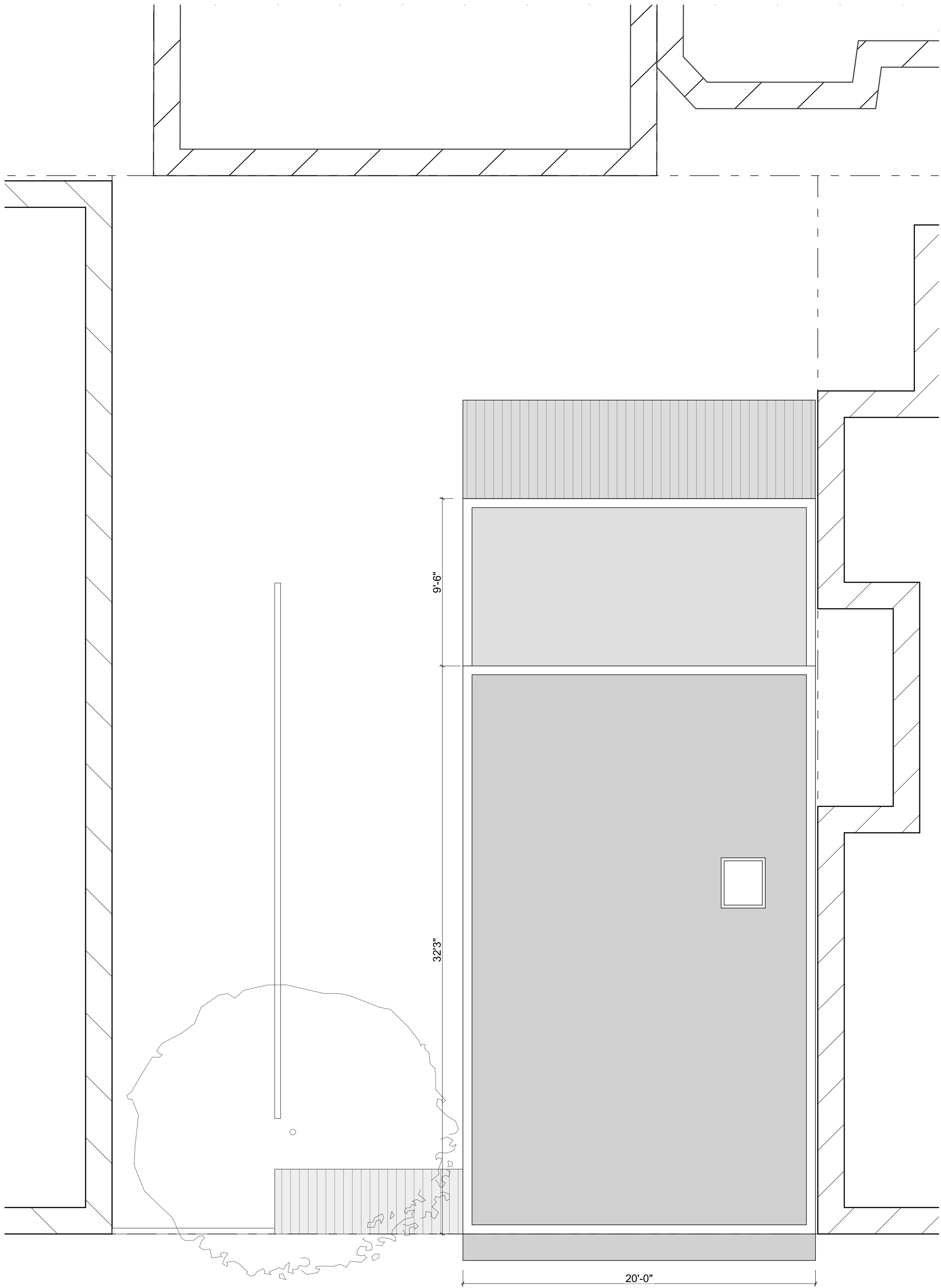
**ROOF PLANS**

project no. : 140JA

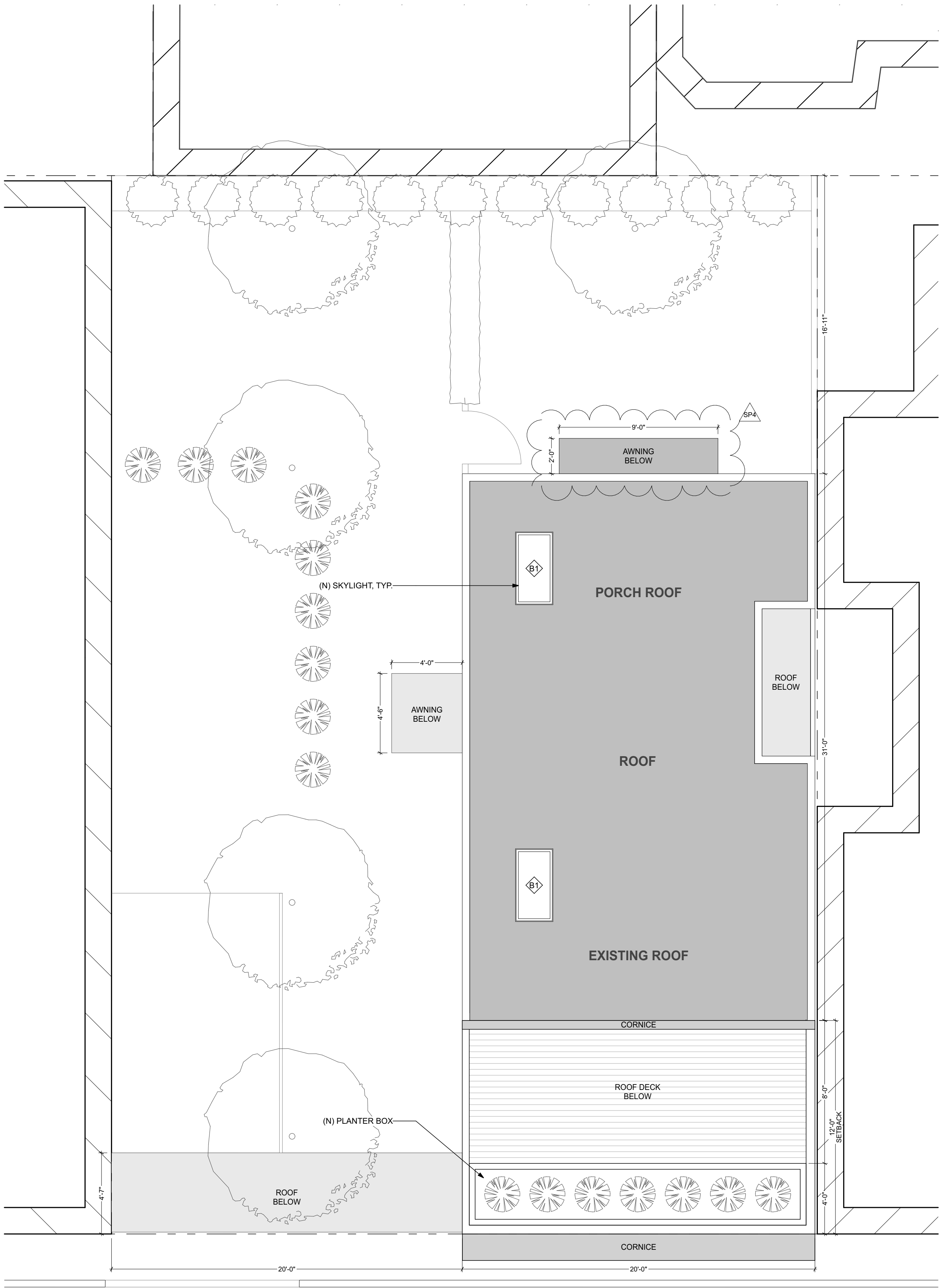
drawn by : JH

scale : (as noted)

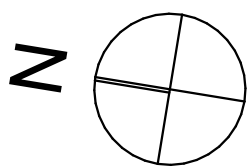
**A1.8**



**1**  
**A1.8** EXISTING ROOF + DEMO PLAN  
SCALE: 1/4" = 1'-0"



**2**  
**A1.8** PROPOSED ROOF PLAN  
SCALE: 1/4" = 1'-0"





140-142  
Jasper

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140 Jasper Place  
San Francisco, CA 94133

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#.	date	issues / revisions
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3	11/4/14	SP REVISIONS /SP1
4	3/1/17	311 SUBMITTAL
5	5/22/2020	SP REVISIONS /SP2
6	12/17/2020	SP REVISIONS /SP3
7	3/1/21	SP REVISIONS /SP4

SECTIONS

project no. : 140JA

drawn by : JH

scale : (as noted)

A2.1



1  
A2.1

PROPOSED SECTION  
SCALE: 1/4" = 1'-0"



140-142  
Jasper  
Site Permit  
2014-0627-9672

140 Jasper Place  
San Francisco, CA 94133

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#.	date	issues / revisions
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6	12/17/2020	SP REVISIONS /SP3
7	3/1/21	SP REVISIONS /SP4

SECTIONS

project no. : 140JA

drawn by : JH

scale : (as noted)

A2.2



1  
A2.2  
PROPOSED SECTION  
SCALE: 1/4" = 1'-0"



**140-142 Jasper**  
Site Permit  
2014-0627-9672

140 Jasper Place  
San Francisco, CA 94133

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#.	date	issues / revisions
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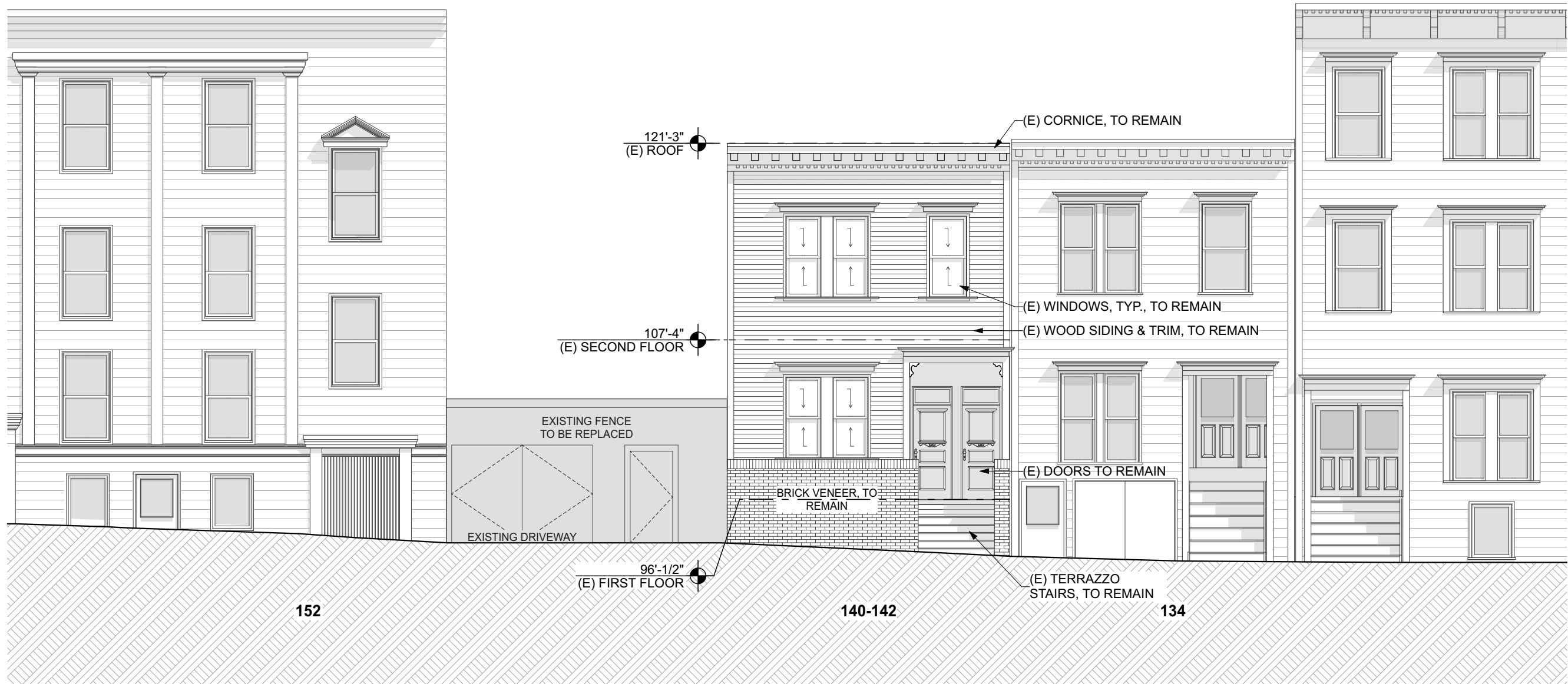
**WEST & EAST ELEVATIONS**

project no. : 140JA

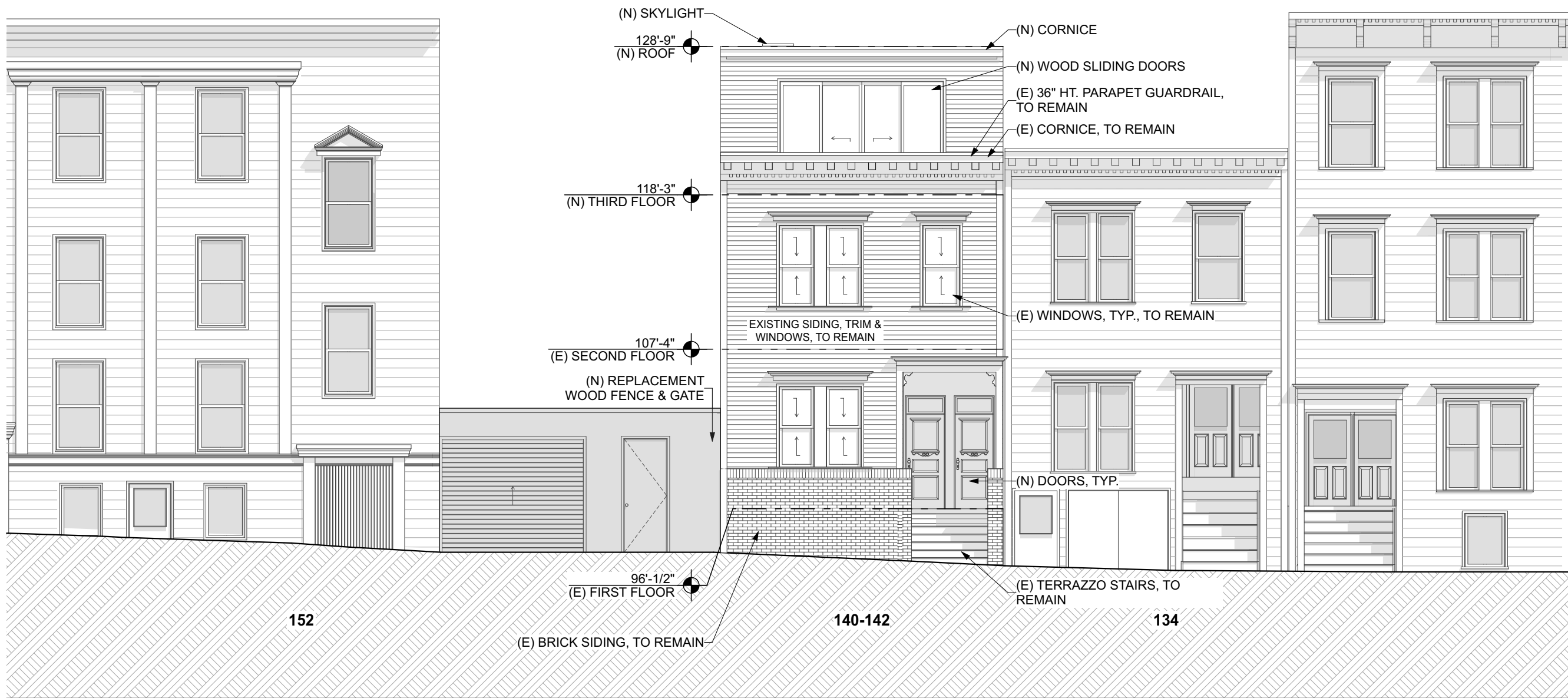
drawn by : JH

scale : (as noted)

**A3.1**



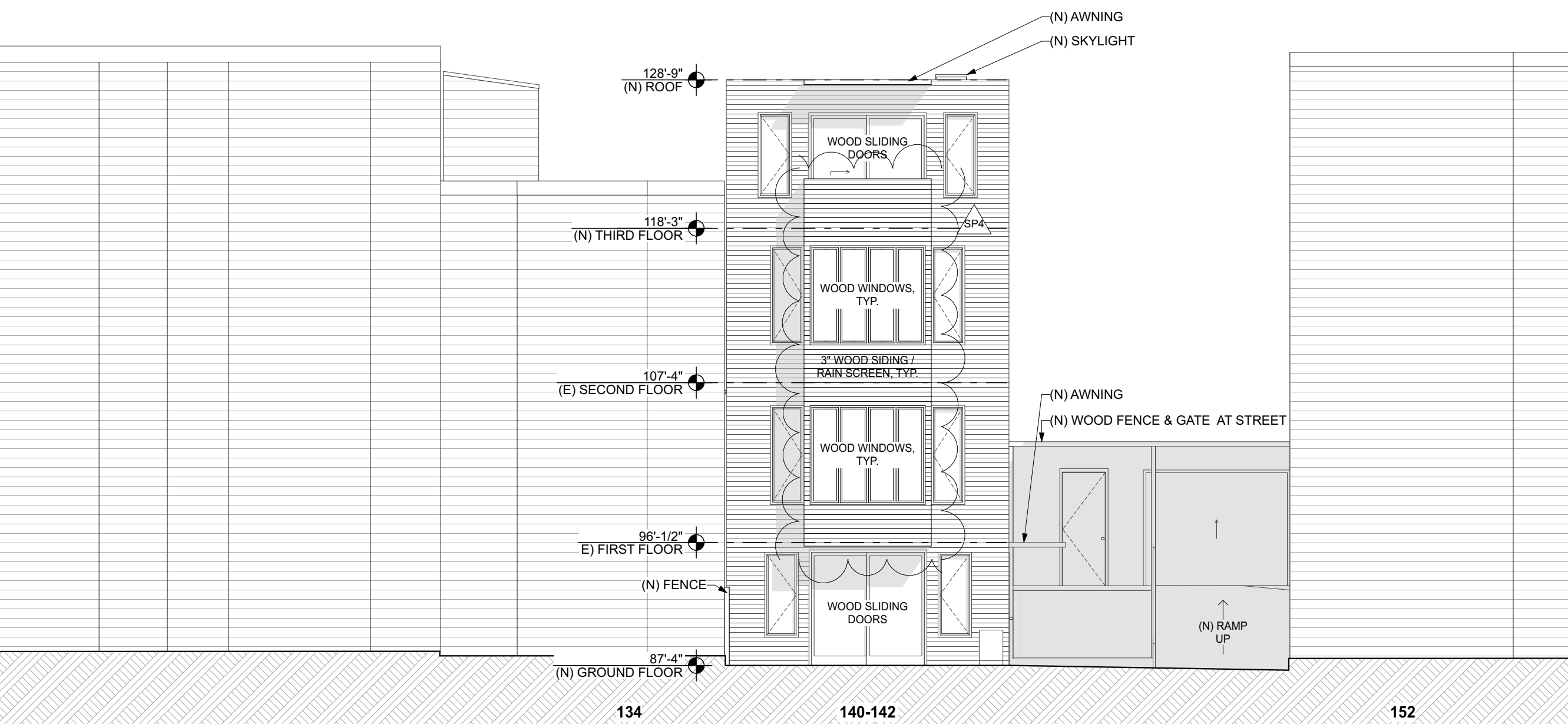
**1**  
**A3.1** **EXISTING WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**2**  
**A3.1** **PROPOSED WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**3**  
**A3.1** **EXISTING EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**4**  
**A3.1** **PROPOSED EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**140-142 Jasper**  
Site Permit  
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#.	date	issues / revisions
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3	11/4/14	SP REVISIONS
4	3/1/17	311 SUBMITTAL
5	5/22/2020	SP REVISIONS
6	12/17/2020	SP REVISIONS
7	3/1/21	SP REVISIONS

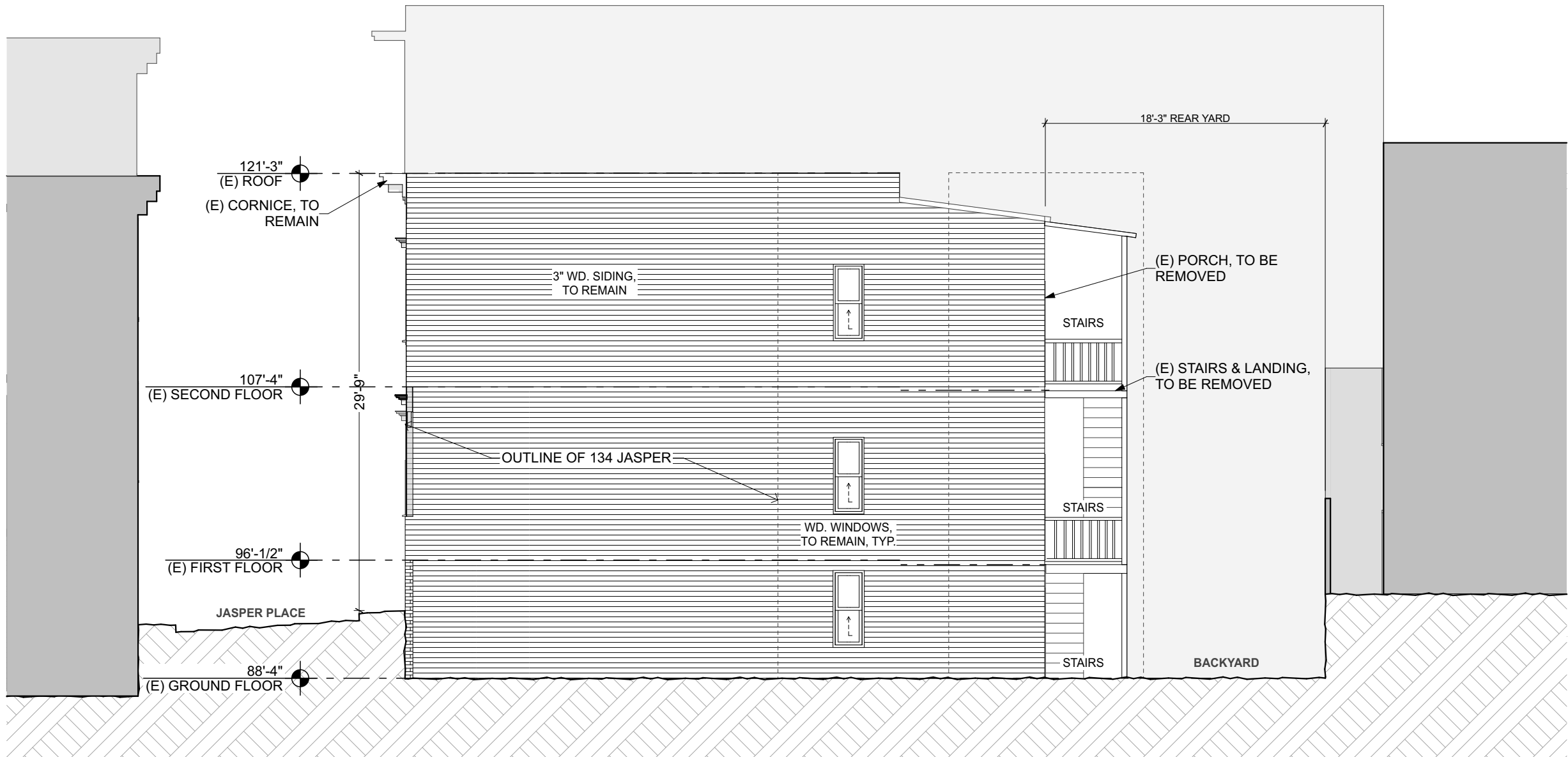
**SOUTH & NORTH ELEVATIONS**

project no. : 140JA

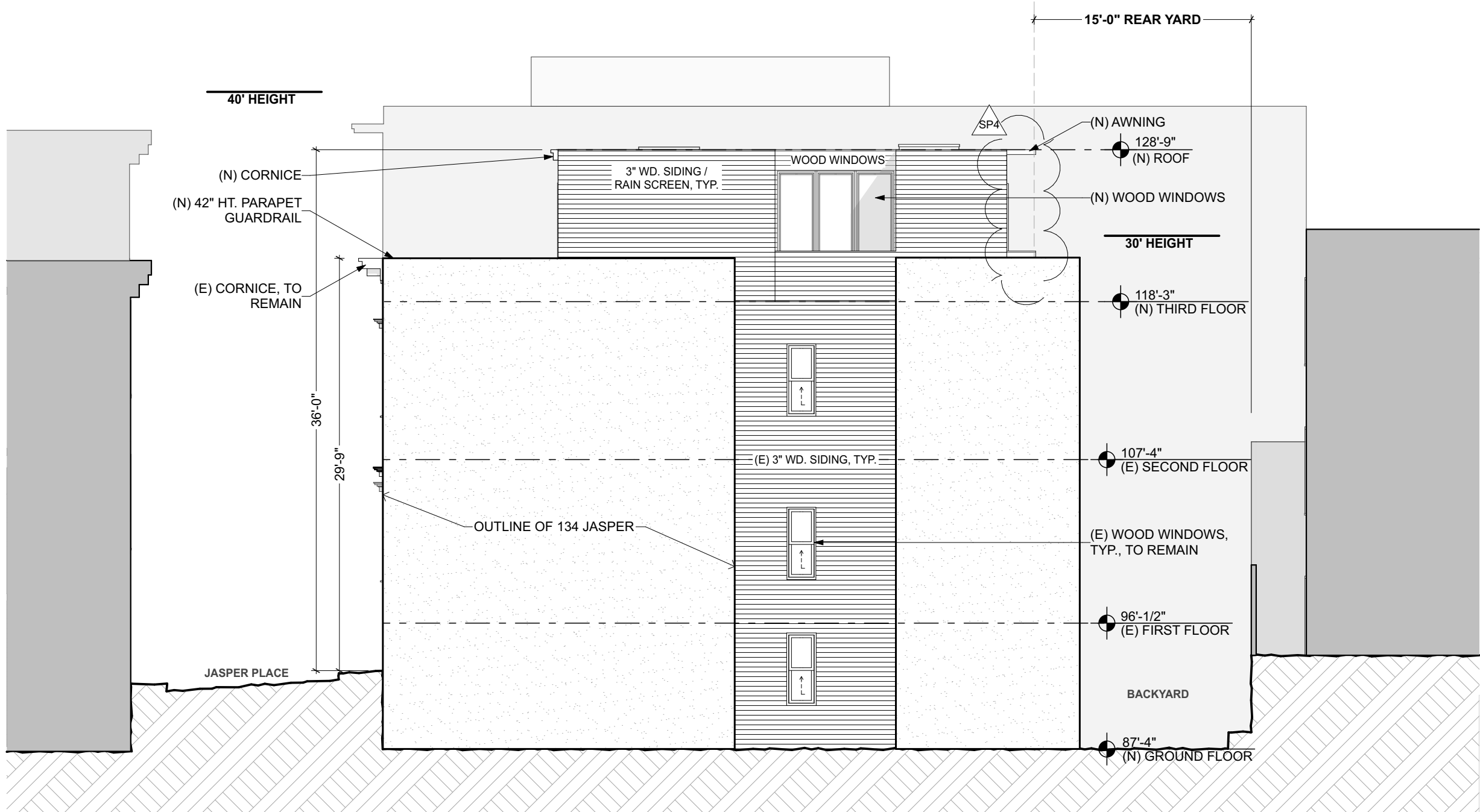
drawn by : JH

scale : (as noted)

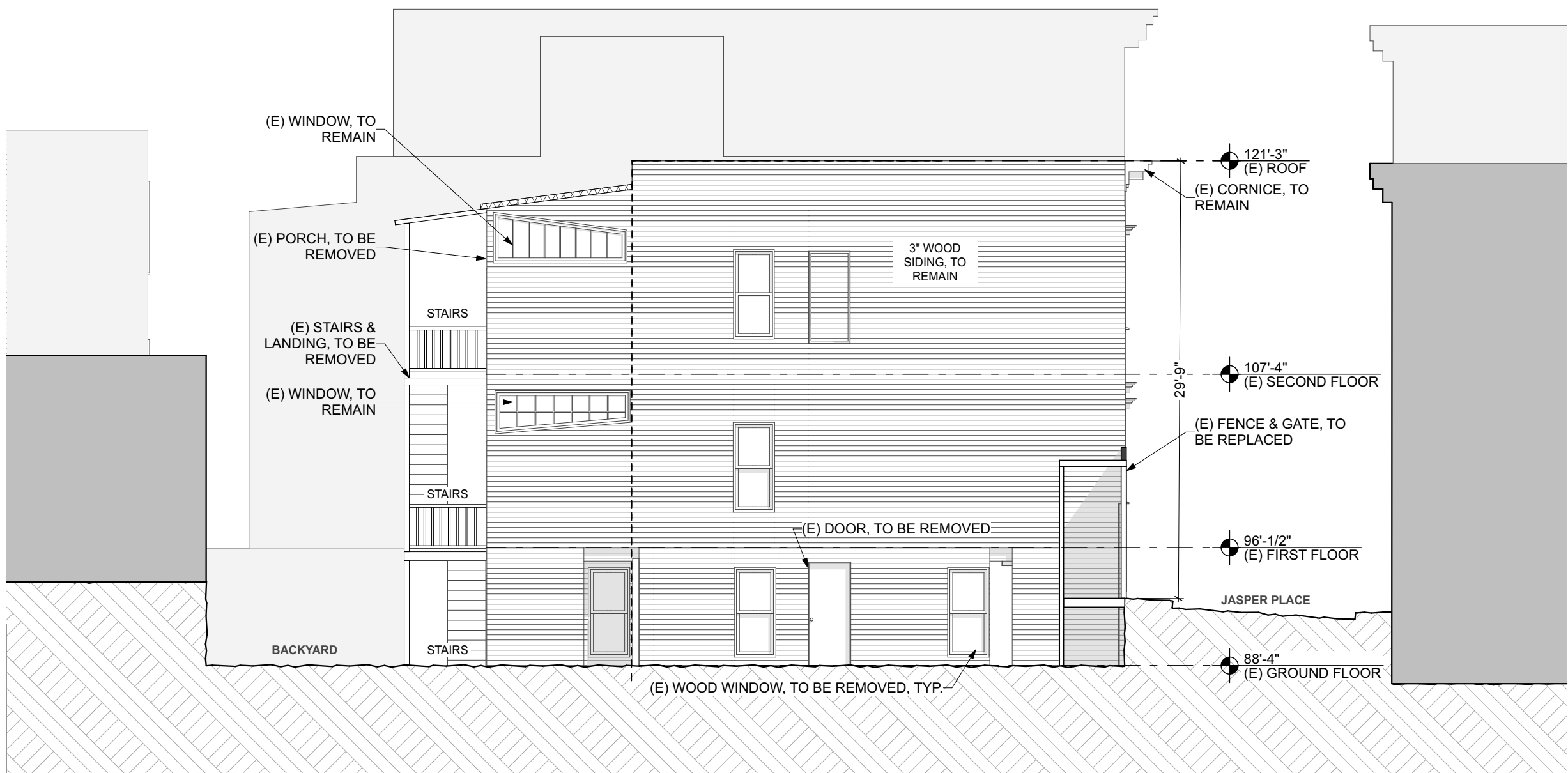
**A3.2**



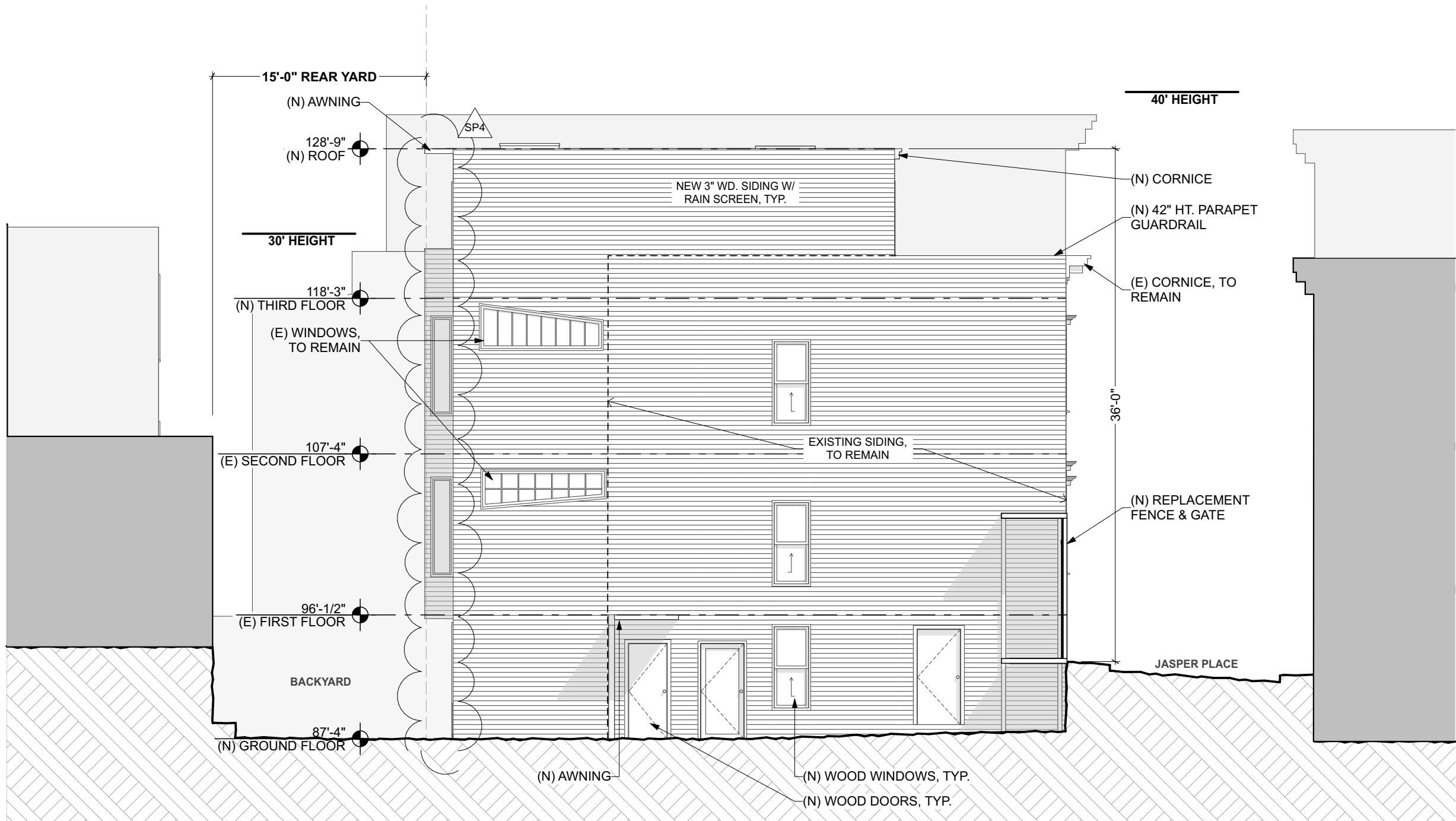
**1**  
**A3.2** **EXISTING SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**2**  
**A3.2** **PROPOSED SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**3**  
**A3.2** **EXISTING NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**4**  
**A3.2** **PROPOSED NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



140 Jasper Place

Existing

1







152 Jasper

P

25 Cadell

140 Jasper

P

P

P

P

Parking

Open Space

N



## Existing 20' Side Yard

3





# Relationship of 140-142 Jasper to 25 Cadell Sunlight Access

Generated with Google Earth

4

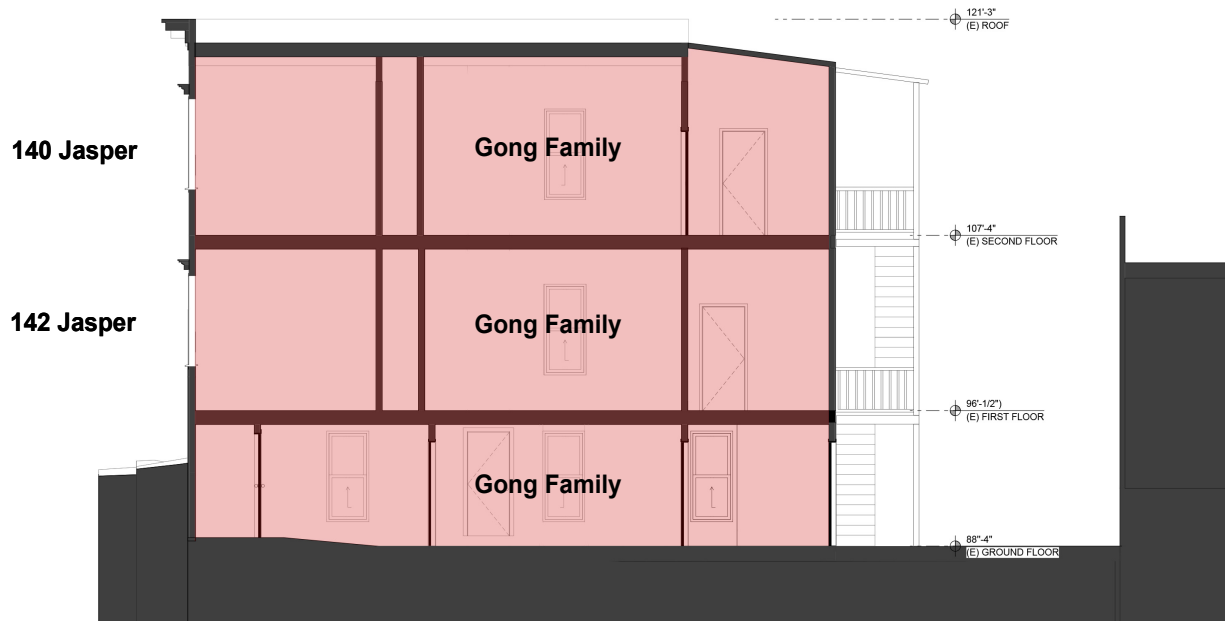




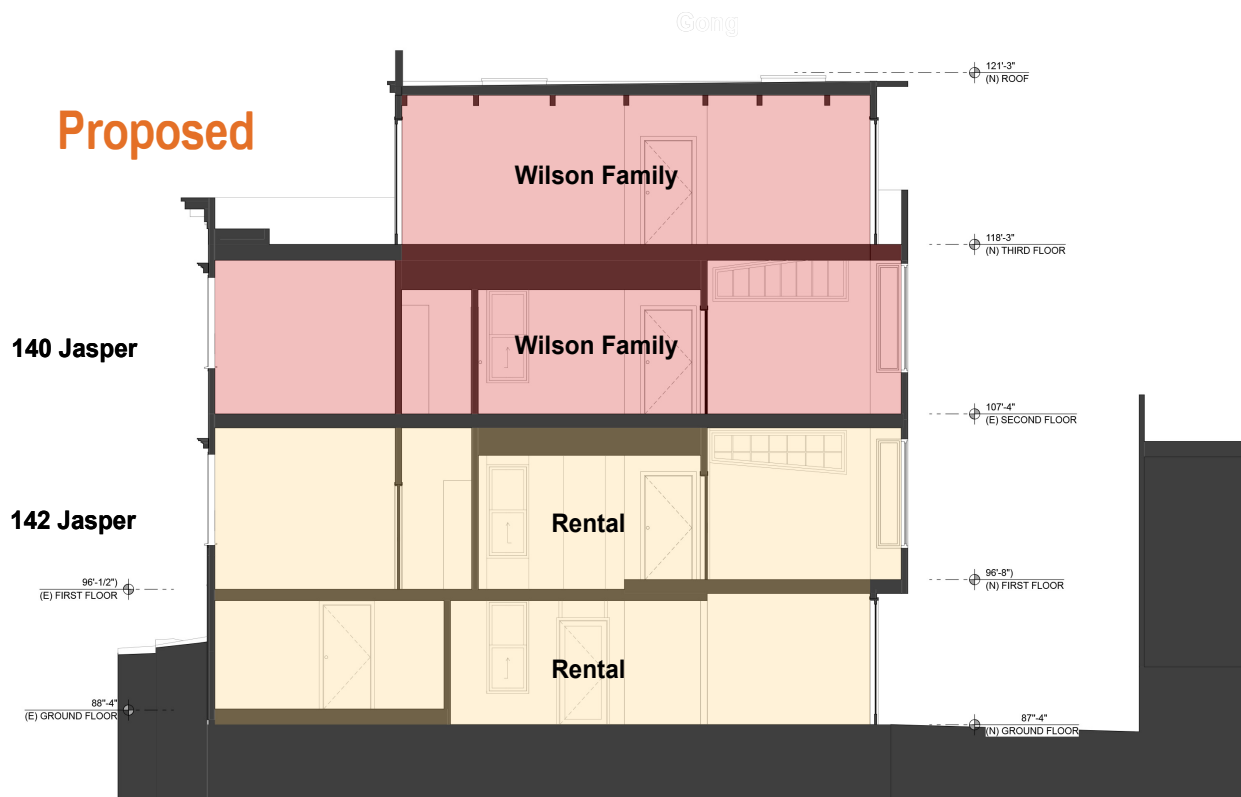
# Sections

5

## Existing



## Proposed





## Existing Facade



## Proposed Facade





**EXISTING GROSS FLOOR AREA: 2477 SF**  
**41'-9" X 20' (FLOOR PLATE = 835 SF)**



(E) BASEMENT  
835 SF



(E) 1ST FLOOR  
807 SF



(E) 2ND FLOOR  
835 SF

**GROSS FLOOR AREA:**

	EXISTING		PROPOSED	
	INCLUDED SF	ADJUSTED SF	INCLUDED SF	ADJUSTED SF
BASEMENT	835 SF		612 SF	-258 SF
1ST FLOOR	807 SF	-28 SF	860 SF	-10 SF
2ND FLOOR	835 SF		888 SF	18 SF
3RD FLOOR			605 SF	-265 SF
TOTAL:	2,477 SF		2,965 SF	

19.7% ADDITIONAL SF

\* BAY WINDOW:  
 2'-6" X 10' = 25 SF - 7 = 18 SF

**% OF INTERIOR WALLS REMAINING:**

	ORIGINAL LF	DEMO LF	EXISTING LF	%
BASEMENT	58'-4 1/2"	32'-3"	26'-1 1/2"	45%
1ST FLOOR	75'-8 1/4"	39'-10 3/4"	35'-9 1/2"	47%
2ND FLOOR	74'-2"	25'-5 1/4"	48'-8 3/4"	66%

**PROPOSED GROSS FLOOR AREA: 2965 SF**  
**43'-6" X 20' (FLOOR PLATE = 870 SF)**



(N) BASEMENT  
620 SF



(N) 1ST FLOOR  
850 SF



(N) 2ND FLOOR  
886 SF



(N) 3RD FLOOR  
606 SF

7

**140-142 Jasper**

Site Permit  
 2014-0627-9672

140 Jasper Place  
 San Francisco, CA 94133

12/17/2020



#	Date	Revisions / Comments
1	02/07/20	2014 PERMIT
2	11/18/20	SP REVISIONS
3	01/14/21	SP REVISIONS
4	01/14/21	SP REVISIONS
5	01/14/21	SP REVISIONS
6	01/14/21	SP REVISIONS
7	01/14/21	SP REVISIONS
8	12/17/2020	CP REVISIONS

**GROSS SQUARE FOOT CALCULATIONS**

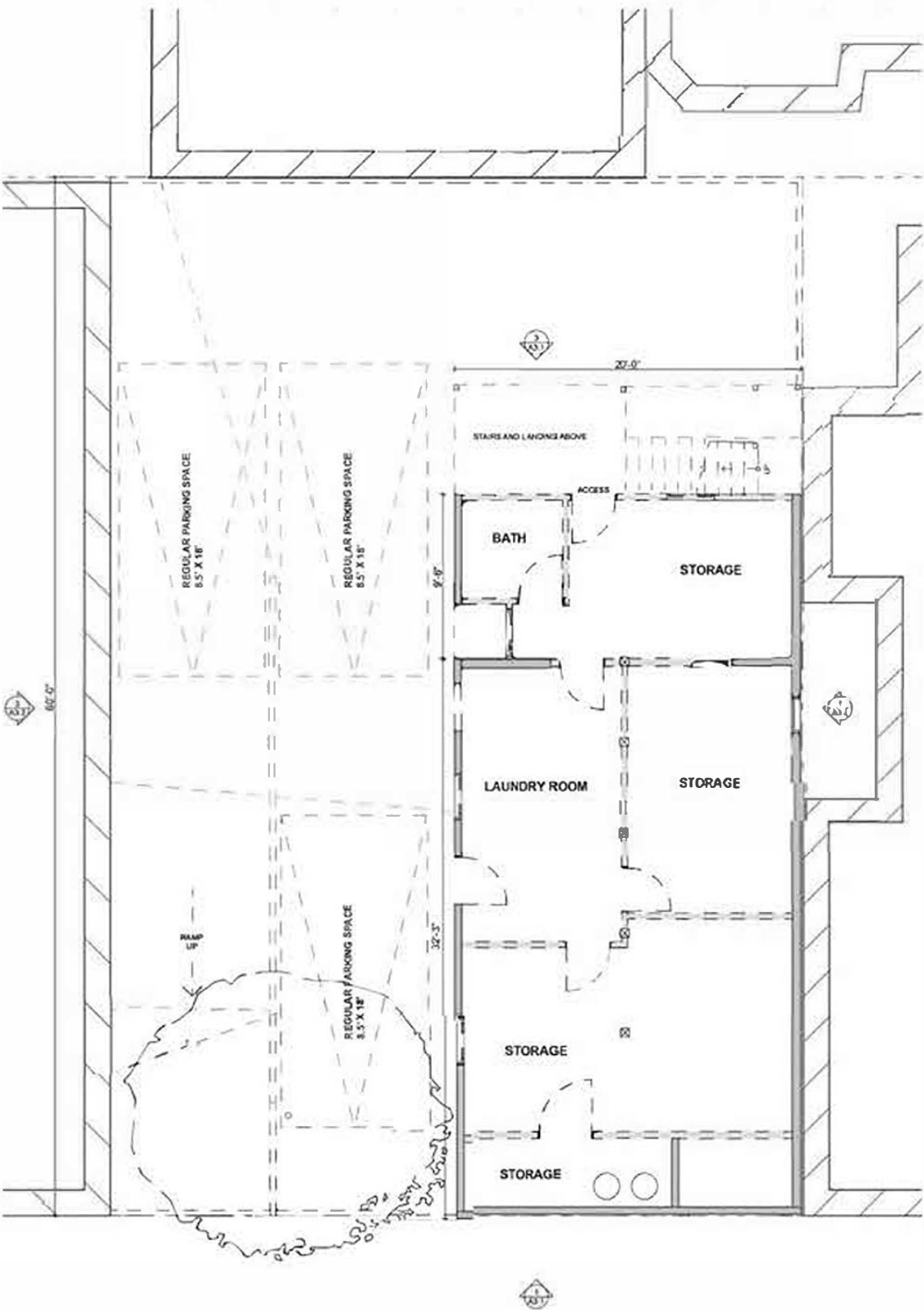
PROJECT NO.: 140JAS  
 DRAWN BY: JH  
 CHECKED: JH

**A1.2**

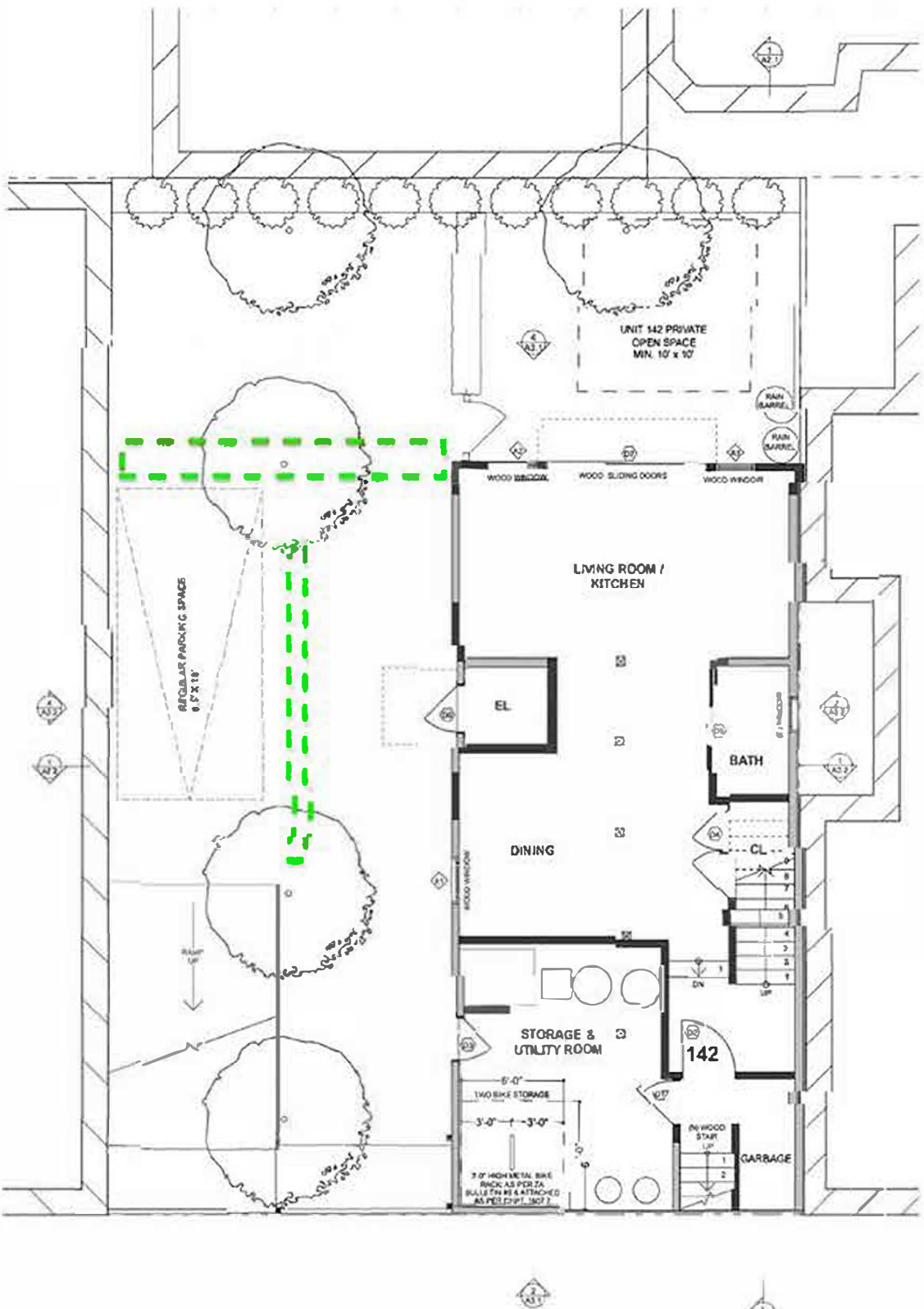


# New Landscaping

8



**1**  
**A1.4**  
**EXISTING BASEMENT PLAN**  
SCALE: 1/4" = 1'-0"



**2**  
**A1.4**  
**PROPOSED BASEMENT PLAN**  
SCALE: 1/4" = 1'-0"

**LEGEND:**  
----- Above  
- - - - - Demo  
===== Existing  
===== New Wall

**WILSON ASSOCIATES**  
5651 Keith Avenue  
Oakland, CA 94618  
P. 510.654.0001  
F. 510.654.0002

**140-142 Jasper**

Site Permit  
2014-0627-9672

140 Jasper Place  
San Francisco, CA 94133

5/22/2020



1.	140-142	140-142
2.	140-142	140-142
3.	140-142	140-142
4.	140-142	140-142
5.	140-142	140-142
6.	140-142	140-142
7.	140-142	140-142
8.	140-142	140-142
9.	140-142	140-142
10.	140-142	140-142

**BASEMENT PLANS**

Project No. 140-142

Drawn By: JH

Scale: 1/4" = 1'-0"

**A1.4**



# Reduce Parapet Height and Add Cornice

9

**WILSON ASSOCIATES**  
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**140-142 Jasper**  
Site Permit  
2014-0627-9672

140 Jasper Place  
San Francisco, CA 94133

5/22/2020



#.	date	issues / revisions
0	9/27/12	SITE PERMIT
1	11/12/13	SP REVISIONS
2	4/16/14	SP REVISIONS
3	11/4/14	SP REVISIONS #1
4	3/1/17	311 SUBMITTAL
5	5/22/2020	SP REVISIONS #2

## SECTIONS

project no : 140.1A

drawn by : JH

scale : (as noted)

**A2.1**



**1**  
**A2.1** PROPOSED SECTION  
SCALE: 1/4" = 1'-0"



# Maintain Existing Entry Stair and Materials

10

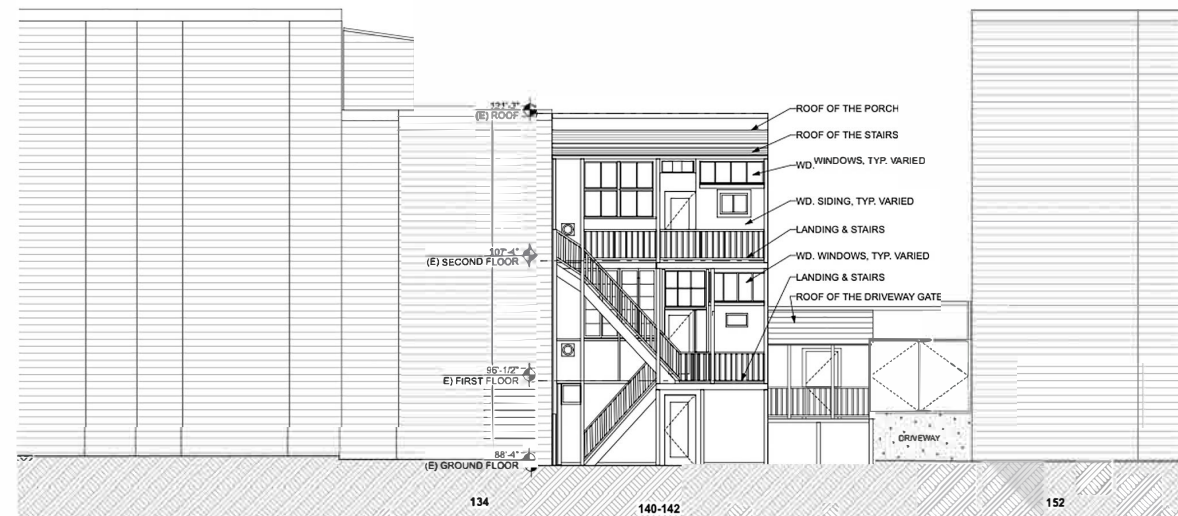
**WILSON ASSOCIATES**  
5651 Keith Avenue  
Oakland, CA 94618  
P. 510.654.0001  
F. 510.654.0002



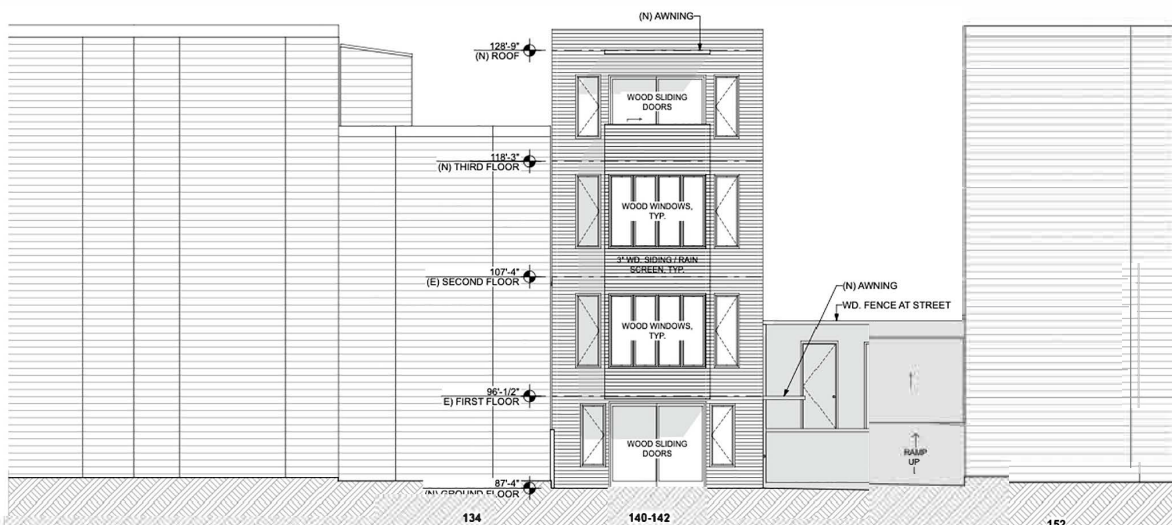
1  
A3.1  
EXISTING WEST ELEVATION  
SCALE: 1/8" = 1'-0"



2  
A3.1  
PROPOSED WEST ELEVATION  
SCALE: 1/8" = 1'-0"



3  
A3.1  
EXISTING EAST ELEVATION  
SCALE: 1/8" = 1'-0"

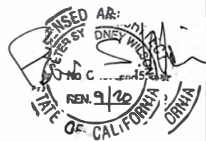


4  
A3.1  
PROPOSED EAST ELEVATION  
SCALE: 1/8" = 1'-0"

**140-142 Jasper**  
Site Permit  
2014-0627-9672

140 Jasper Place  
San Francisco, CA 94133

5/22/2020



#	date	issues / revisions
0	8/27/12	SITE PERMIT
1	11/12/13	SP REVISIONS
2	4/14/14	SP REVISIONS
3	11/6/14	SP REVISIONS #1
4	3/1/17	311 SUBMITTAL
5	5/22/2020	SP REVISIONS #2

**WEST & EAST ELEVATIONS**

project no. : 140JA

drawn by : JH

scale : (as noted)

**A3.1**



140 Jasper Place

Proposed

11

