

SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: OCTOBER 1, 2015

Date:	September 18, 2015
Case No.:	2012.0865C
Project Address:	1198 VALENCIA STREET
Zoning:	Valencia Street Neighborhood Commercial Transit District
	55-X Height and Bulk District
Block/Lots:	3635/014
Project Sponsor:	David Silverman
	Reuben, Junius & Rose, LLP
	One Bush Street, Suite 600
	San Francisco, CA 94104
Staff Contact:	Doug Vu – (415) 575-9120
	Doug.Vu@sfgov.org
Recommendation:	Approval with Conditions

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PROJECT DESCRIPTION

The proposed project includes demolition of the existing vacant automotive service station and construction of an approximately 73,800 square foot, 55-foot tall, five-story mixed-use building that fronts Valencia and 23rd Streets and San Jose Avenue. The project contains 49 dwelling units, 5,150 square feet of rooftop common open space, 5,050 square feet of ground-floor retail spaces, and 37 below-grade automobile parking and 52 bicycle parking spaces.

SITE DESCRIPTION AND PRESENT USE

The project site is located at the northwest corner of Valencia and 23rd Streets, with frontage also on San Jose Avenue. The site is also known as Lot 014 of Assessor's Block 3635 and is approximately 14,374 square feet in area. The property is located within the Valencia Street Neighborhood Commercial Transit (NCT) District and a 55-X Height and Bulk District, and is improved with an automotive service station including a one-story gas station building and canopy, which has been out of operation since 2007 (formerly Chevron). The fuel dispensers and underground storage tanks were also removed at that time. The site is fenced and has remained vacant since closure of the service station. The property is a corner lot with multiple frontages including 120 feet on Valencia Street, 127 feet on 23rd Street, and 121 feet on San Jose Avenue. For the purposes of the proposed project, Valencia Street is considered the front of the property.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is located at the northwest intersection of Valencia and 23rd Streets along the Valencia Street NCT, which lies between 14th and Cesar Chavez Streets, and is predominantly characterized by buildings

with upper story residential units and ground-floor neighborhood serving commercial uses, including the subject block. Most eating and drinking and entertainment uses at the ground story are limited, and a continuous retail frontage along Valencia Street is promoted by prohibiting drive-up facilities, some automobile uses, and new non-retail commercial uses. While offices and general retail sales uses may locate at the second story of new buildings under certain circumstances, most commercial uses are prohibited above the second story. Numerous public transit routes are located within a two block radius of the project site including MUNI bus routes 12, 14, 48, 49 and 67, and the 24th Street Mission BART Station.

Adjacent to the north of the project site is a three-story, five-family dwelling with a ground floor commercial storefront, and the property immediately to the south across 23rd Street contains a three-story, sixteen-family dwelling with two ground floor commercial storefronts. The Buena Vista/Horace Mann K-8 Elementary School is located diagonal to the project site at the southeast corner of Valencia and 23rd Streets, and other nearby properties include institutional, social services, and arts uses. With the exception of City College of San Francisco's Mission Campus at 1125 Valencia Street, the subject block is consistent with the upper story residential and ground-floor commercial development that characterizes this NCT district. The properties behind the project along San Jose Street and to the west are residentially zoned (RH-3 and RM-1), containing a mix of dwelling unit density, including apartment buildings.

ENVIRONMENTAL REVIEW

Pursuant to the Guidelines of the State Secretary of Resources for the implementation of the California Environmental Quality Act (CEQA), on July 31, 2015, the Planning Department of the City and County of San Francisco determined that the proposed application was exempt from further environmental review under Section 15183 of the CEQA Guidelines and California Public Resources Code Section 21083.3. The Project is consistent with the adopted zoning controls in the Eastern Neighborhoods Area Plan and was encompassed within the analysis contained in the Eastern Neighborhoods Area Plan Final EIR. Since the Final EIR was finalized, there have been no substantial changes to the Eastern Neighborhoods Area Plan and no substantial changes in circumstances that would require major revisions to the Final EIR due to the involvement of new significant environmental effects or an increase in the severity of previously identified significant impacts, and there is no new information of substantial importance that would change the conclusions set forth in the Final EIR.

HEARING NOTIFICATION

ТҮРЕ	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	Friday, September 11, 2015	Wednesday, September 9, 2015	22 days
Posted Notice	20 days	Friday, September 11, 2015	Friday, September 11, 2015	20 days
Mailed Notice	20 days	Friday, September 11, 2015	Friday, September 11, 2015	20 days

The proposal requires a Section 312-neighborhood notification, which was conducted in conjunction with the required hearing notification for the Conditional Use authorization.

PUBLIC COMMENT

As of September 21, 2015, the Department has received eight correspondences, including a letter from the San Francisco Housing Action Coalition and sixteen petition signatures in support of the project. The Department has also received twelve correspondences opposing the project, including a letter from Accion Latina. These correspondences generally state gentrification, displacement, and lack of affordable housing as primary reasons for opposition to the project.

ISSUES AND OTHER CONSIDERATIONS

- The project is an infill development that will replace an automotive service station that has not been in operation for eight years with a mixed-use development.
- The project will result in improvements to the surrounding pedestrian environment including street trees and sidewalk upgrades that will help activate a portion of Valencia and 23rd Streets, as well as San Jose Avenue.
- The project is principally permitted with 25 accessory off-street parking spaces for the 49 dwelling units, and requests Conditional Use authorization to provide 37 spaces located in an underground garage, pursuant to Planning Code Section 151(g).
- The project seeks a rear yard modification from the Zoning Administrator pursuant to Planning Code Section 134(e) to substitute the required rear yard of the corner lot with approximately 3,612 sq. ft. of open areas on the first through third floors of the building and 5,150 sq. ft. of rooftop common open space. The total area of the comparable open space is 8,761 sq. ft. and is greater than 25 percent of the lot area normally required for a rear yard, or 3,594 sq. ft.
- The project has elected to provide on-site affordable housing as identified in Planning Code Section 415.6, which requires twelve percent of the total number of units to be designated as part of the inclusionary affordable housing program. The Project contains 49 dwelling units that include 26 two-and three-bedroom units, and the Sponsor will fulfill this requirement by providing the six affordable units on-site that will be available for purchase.
- The project would be subject to the Transit Impact Development and Eastern Neighborhood Impacts Fees for the construction of a new mixed-use development, which are estimated as follows:

FEE TYPE	PLANNING CODE SECTION / FEE	AMOUNT		
FEETITE	CODE SECTION / FEE	AMOUNT		
Transit Impact Development				
Fee (5,050 gsf –				
Retail/Entertainment Uses)	411 / \$14.59	\$73,679.50		
Eastern Neighborhoods Impact				
Fee (4,800 gsf – Tier 1;				
Net New Commercial)	423.3 / \$7.28	\$34,944.00		
Eastern Neighborhoods Impact				
Fee (59,690 gsf – Tier 1;				
Net New Residential)	423.3 / \$9.71	\$579,589.90		

TOTAL	\$688,213.40

These fees are subject to change between Planning Commission approval and approval of the associated Building Permit Application, as based upon the annual updates managed by the Development Impact Fee Unit of the Department of Building Inspection.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant Conditional Use authorization pursuant to Planning Code Sections 121.1, 151.1, 202.5, and 303 for development of a large lot, additional accessory parking, and demolition and conversion of an automotive service station, respectively, to allow construction of an approximately 73,800 square foot, 55-foot tall, five-story mixed-use building that contains 49 dwelling units with 5,150 square feet of rooftop common open space, 5,050 square feet of ground-floor retail space, 37 off-street underground parking spaces.

BASIS FOR RECOMMENDATION

- The project complies with the applicable requirements of the Planning Code.
- The project is consistent with the objectives and policies of the General Plan.
- The project complies with the First Source Hiring Program.
- The project will add 26 two- and three-bedroom family-sized dwelling units, which is 53 percent of the 49 unit total, to the City's family housing stock.
- The project will convert an underused site into a productive mixed-use development that includes significant streetscape upgrades consistent with the Better Streets Plan.
- The project design is consistent with and respects the existing neighborhood character, and is an appropriate in-fill development that compliments the existing development pattern.
- The project will create new ground floor commercial spaces that have gracious ceiling heights and an attractive street facing design.

RECOMMENDATION: Approval with Conditions

Attachments:

Draft Conditional Use Motion Parcel Maps Sanborn Map Aerial Photographs Zoning Map Major Projects Map Affordable Housing Affidavit First Source Hiring Affidavit Environmental Determination Public Correspondence Reduced Plans and Renderings Attachment Checklist

\square	Executive Summary	\square	Project sponsor submittal
\square	Draft Motion		Drawings: Existing Conditions
\square	Environmental Determination		Check for legibility
\square	Zoning District Map		Drawings: Proposed Project
\square	Height & Bulk Map		Check for legibility
\square	Parcel Map	\square	Inclusionary Affordable Housing Program: Affidavit for Compliance
\square	Sanborn Map		
\square	Aerial Photo		
\square	Context Photos		
\square	Site Photos		

Exhibits above marked with an "X" are included in this packet

DV

Planner's Initials

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SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- ☑ Affordable Housing (Sec. 415)
- □ Jobs Housing Linkage Program (Sec. 413)
- □ Downtown Park Fee (Sec. 412)
- ☑ First Source Hiring (Admin. Code)
- □ Child Care Requirement (Sec. 414)
- ☑ Other (EN Impact Fees)

Planning Commission Draft Motion

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ADOPTING FINDINGS RELATING TO CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 121.1, 151.1, 202.5, 303 AND 726.11 TO ALLOW DEMOLITION OF THE EXISTING AUTOMOTIVE SERVICE STATION AND CONSTRUCTION OF AN APPROXIMATELY 73,800 SQUARE FOOT, 55-FOOT TALL, FIVE-STORY MIXED-USE BUILDING CONTAINING 49 DWELLING UNITS, 5,050 SQUARE FEET OF GROUND-FLOOR RETAIL SPACE AND 37 OFF-STREET UNDERGROUND PARKING SPACES LOCATED AT 1198 VALENCIA STREET, LOT 014 IN ASSESSOR'S BLOCK 3635, WITHIN THE VALENCIA STREET NEIGHBORHOOD COMMERCIAL TRANSIT (NCT) ZONING DISTRICT AND A 55-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PREAMBLE

On July 17, 2014, David Silverman of Reuben, Junius & Rose, LLP for Valencia Street Partners, LLC (hereinafter "Project Sponsor") filed an application with the Planning Department (hereinafter "Department") for Conditional Use Authorization under Planning Code Sections 121.1, 151.1, 202.5, 303 and 726.11 to allow a change of use from a gasoline service station to a mixed-use residential and commercial development; to allow development of a lot exceeding 10,000 square feet in size; and to allow residential off-street parking at a ratio of 0.75 spaces per unit for a project proposing demolition of existing automotive service station improvements and construction of a five-story, 49-unit dwelling with

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

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Planning Information: 415.558.6377 approximately 5,050 square feet of ground floor commercial retail space and 37 basement-level parking spaces within the Valencia Street Neighborhood Commercial Transit District and a 55-X Height and Bulk District.

The environmental effects of the Project were determined by the San Francisco Planning Department to have been fully reviewed under the Eastern Neighborhoods Area Plan Environmental Impact Report (hereinafter "EIR"). The EIR was prepared, circulated for public review and comment, and, at a public hearing on August 7, 2008, by Motion No. 17661, certified by the Commission as complying with the California Environmental Quality Act (Cal. Pub. Res. Code Section 21000 et seq., (hereinafter "CEQA"). The Commission has reviewed the Final EIR, which has been available for this Commissions review as well as public review.

The Eastern Neighborhoods EIR is a Program EIR. Pursuant to CEQA Guideline 15168(c)(2), if the lead agency finds that no new effects could occur or no new mitigation measures would be required of a proposed project, the agency may approve the project as being within the scope of the project covered by the program EIR, and no additional or new environmental review is required. In approving the Eastern Neighborhoods Plan, the Commission adopted CEQA Findings in its Motion No. 17661 and hereby incorporates such Findings by reference.

Additionally, State CEQA Guidelines Section 15183 provides a streamlined environmental review for projects that are consistent with the development density established by existing zoning, community plan or general plan policies for which an EIR was certified, except as might be necessary to examine whether there are project–specific effects which are peculiar to the project or its site. Section 15183 specifies that examination of environmental effects shall be limited to those effects that (a) are peculiar to the project or parcel on which the project would be located, (b) were not analyzed as significant effects in a prior EIR on the zoning action, general plan or community plan with which the project is consistent, (c) are potentially significant off–site and cumulative impacts which were not discussed in the underlying EIR, or(d) are previously identified in the EIR, but which are determined to have a more severe adverse impact than that discussed in the underlying EIR. Section 15183(c) specifies that if an impact is not peculiar to the parcel or to the proposed project, then an EIR need not be prepared for that project solely on the basis of that impact.

On July 31, 2015, the Department determined that the proposed application did not require further environmental review under Section 15183 of the CEQA Guidelines and Public Resources Code Section 21083.3. The Project is consistent with the adopted zoning controls in the Eastern Neighborhoods Area Plan and was encompassed within the analysis contained in the Eastern Neighborhoods Final EIR. Since the Eastern Neighborhoods Final EIR was finalized, there have been no substantial changes to the Eastern Neighborhoods Area Plan and no substantial changes in circumstances that would require major revisions to the Final EIR due to the involvement of new significant environmental effects or an increase in the severity of previously identified significant impacts, and there is no new information of substantial importance that would change the conclusions set forth in the Final EIR. The file for this project, including the Eastern Neighborhoods Final EIR and the Community Plan Exemption certificate, is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, San Francisco, California. Planning Department staff prepared a Mitigation Monitoring and Reporting Program (MMRP) setting forth mitigation measures that were identified in the Eastern Neighborhoods Plan EIR that are applicable to the project. These mitigation measures are set forth in their entirety in the MMRP attached to the draft Motion as Exhibit C.

On October 1, 2015, the Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2012.0865C.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2012.0865C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

- 1. The above recitals are accurate and constitute findings of this Commission.
- 2. Site Description and Present Use. The project site is located at the northwest corner of Valencia and 23rd Streets, with frontage also on San Jose Avenue. The site is also known as Lot 014 of Assessor's Block 3635 and is approximately 14,374 square feet in area. The property is located within the Valencia Street Neighborhood Commercial Transit (NCT) District and a 55-X Height and Bulk District, and is improved with an automotive service station including a one-story gas station building and canopy, which has been out of operation since 2007 (formerly Chevron). The fuel dispensers and underground storage tanks were also removed at that time. The site is fenced and has remained vacant since closure of the service station. The property is a corner lot with multiple frontages including 120 feet on Valencia Street, 127 feet on 23rd Street, and 121 feet on San Jose Avenue. For the purposes of the proposed project, Valencia Street is considered the front of the property.
- 3. **Surrounding Properties and Neighborhood.** The project site is located at the northwest intersection of Valencia and 23rd Streets along the Valencia Street NCT, which lies between 14th and Cesar Chavez Streets, and is predominantly characterized by buildings with upper story residential units and ground-floor neighborhood serving commercial uses, including the subject block. Most eating and drinking and entertainment uses at the ground story are limited, and a continuous retail frontage along Valencia Street is promoted by prohibiting drive-up facilities, some automobile uses, and new non-retail commercial uses. While offices and general retail sales uses may locate at the second story of new buildings under certain circumstances, most commercial uses are prohibited above the second story. Numerous public transit routes are

located within a two block radius of the project site including MUNI bus routes 12, 14, 48, 49 and 67, and the 24th Street Mission BART Station.

Adjacent to the north of the project site is a three-story, five-family dwelling with a ground floor commercial storefront, and the property immediately to the south across 23rd Street contains a three-story, sixteen-family dwelling with two ground floor commercial storefronts. The Buena Vista/Horace Mann K-8 Elementary School is located diagonal to the project site at the southeast corner of Valencia and 23rd Streets, and other nearby properties include institutional, social services, and arts uses. With the exception of City College of San Francisco's Mission Campus at 1125 Valencia Street, the subject block is consistent with the upper story residential and ground-floor commercial development that characterizes this NCT district. The properties behind the project along San Jose Street and to the west are residentially zoned (RH-3 and RM-1), containing a mix of dwelling unit density, including apartment buildings.

- 4. Project Description. The proposed project includes demolition of the existing vacant automotive service station and construction of an approximately 73,800 square foot, 55-foot tall, five-story mixed-use building that fronts Valencia and 23rd Streets and San Jose Avenue. The project contains 49 dwelling units, 5,150 square feet of rooftop common open space, 5,050 square feet of ground-floor retail spaces, and 37 below-grade automobile parking and 52 bicycle parking spaces.
- 5. **Public Comment**. The Department has received eight correspondences, including a letter from the San Francisco Housing Action Coalition and sixteen petition signatures in support of the project. The Department has also received twelve correspondences opposing the project, including a letter from Accion Latina. These correspondences generally state gentrification, displacement, and lack of affordable housing as primary reasons for opposition to the project.
- 6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Development of Large Lots.** Planning Code Section 121.1 establishes the following additional criteria the Planning Commission shall consider for new construction on lots of the same size or larger than 10,000 sq. ft. in the Valencia Street NCT District.

a) The mass and façade of the proposed structure are compatible with the existing scale of the district.

The proposed project's mass and façade are in keeping with the existing and intended scale and character of the Valencia Street NCT District, where high-density housing over a commercial ground floor is encouraged. The project's façade at the ground floor consists of five storefronts that range in size from 895 to 1,167 sq. ft., have recessed entrances typical of those found along Valencia Street, and are open and active to the street with ample glazing. The upper stories of the building include a mix of dwelling unit types organized in a pattern of structural bays that are scaled similarly to other upper story dwellings found throughout the district. Other recently completed projects that are similar in

scale and located on corner properties within the Valencia Street NCT District can be found at the corner of 18th, 19th and 20th Streets.

The project's mass and façade along San Jose Avenue respects the residential development to the north and west by separating the mass of the building into two volumes that are connected by a courtyard above the ground floor. The smaller volume to the north of the courtyard contains a two-story dwelling unit that is comparable in size and scale to the adjacent two-story dwelling that fronts onto San Jose Avenue. To further be compatible with the mass and façade along San Jose Avenue, all three proposed dwelling units facing the street have front entrances and yards that provide direct access to the street.

b) The façade of the proposed structure is compatible with the design features of adjacent facades that contribute to the positive visual quality of the district.

The project's façade is compatible with the design features of adjacent properties because the distinction between ground floor commercial spaces and upper floor residential dwellings are made primarily through recessed walls at the ground floor, the width and dimension of bay windows, and the use of exterior materials similar to those found on adjacent properties.

B. **Rear Yard Modification.** Pursuant to Planning Code Section 134(e)(1), the rear yard requirement may be modified or waived by the Zoning Administrator pursuant to the procedures which are applicable to variances if all of the following criteria are met:

a) Residential uses are included in the new or expanding development and a comparable amount of usable open space is provided elsewhere on the lot or within the development where it is more accessible to the residents of the development;

The project includes 49 new dwellings units and will provide approximately 8,925 sq. ft. of either private or common usable open space on multiple levels of the building, including a 5,151 sq. ft. common roof deck. The total 8,761 sq. ft. area of usable open space proposed exceeds the area equal to 25 percent of the lot, or 3,594 sq. ft.

b) The proposed new or expanding structure will not significantly impede the access of light and air to and views from adjacent properties;

The proposed building includes a lightwell along the north elevation that matches an existing lightwell at all levels on the north adjacent property at 1172-1176 Valencia Street. Therefore, the new building will not significantly impede the access of light and air to and views from adjacent properties.

c) The proposed new or expanding structure will not adversely affect the interior block open space formed by the rear yards of adjacent properties.

The new building is located on a corner parcel and the adjacent properties to the north are improved with structures that cover their entire respective lots. The project will not adversely affect the interior block open space formed by the rear yards of adjacent properties as there is no such space. C. **Pedestrian Streetscape Plan.** Planning Code Section 138.1 requires the submittal of a streetscape plan to the Planning Department showing the location, design, and dimensions of all existing and proposed streetscape elements in the public right-of-way directly adjacent to the fronting property, including street trees, sidewalk landscaping, street lighting, site furnishings, utilities, driveways, and curb lines, and the relation of such elements to proposed new construction and site work on the subject property.

A tree planting plan is currently proposed and the Planning Department is collaborating with the sponsor to prepare a comprehensive and detailed streetscape plan that is consistent with the adopted Better Streets Plan, which will be required prior to site permit approval by the Planning Department.

D. Exposure. Planning Code Section 140 requires the windows of at least one room in each dwelling unit to face directly on an open area that includes a public street, public alley at least 20 feet in width, side yard at least 25 feet in width, rear yard meeting the requirements of the Planning Code, or an inner court or a space between separate buildings on the same lot) which is unobstructed and is no less than 25 feet in every horizontal dimension for the floor at which the dwelling unit in question is located and the floor immediately above it, with an increase of five feet in every horizontal dimension at each subsequent floor

Each of the 49 proposed dwelling units face either Valencia Street or San Jose Avenue, or the interior courtyard that measures approximately 51-feet by 50-feet and meets the horizontal dimension requirements for the floor at which the dwelling unit is located.

F. Street Frontages. Planning Code Section 145.1 requires the following for street frontages in Neighborhood Commercial Districts: (1) not more than 1/3 the width of the building facing the street may be devoted to ingress/egress to parking; (2) off-street parking at street grade must be set back at least 25 feet; (3) "active" use shall be provided within the first 25 feet of building depth at the ground floor; (4) ground floor non-residential uses in shall have a floor-to-floor height of 14-feet; (5) frontages with active uses shall be fenestrated with transparent windows; and, (6) decorative railings or grillwork placed in front of or behind ground floor windows, shall be at least 75 percent open to perpendicular views.

The project meets the requirements of Section 145.1 as follows: (1) the width of the garage is approximately 12-feet 4-inches and is less than one-third the width of the building facing San Jose Avenue; (2) all proposed parking is located at the below grade basement level; (3) active uses including up to five commercial storefronts, dwelling units with direct access to the street and a lobby to the dwelling units are provided along the entire depth of the building; (4) the non-residential commercial spaces at the ground floor have a floor-to-floor height of 14 feet; and (5) all the street frontages are fenestrated with transparent windows.

G. **Off-Street Parking**. Planning Code Section 151 principally permits 0.5 parking spaces per dwelling unit, and up to 0.75 spaces with Conditional Use authorization. Additionally, one off-street space for every 1,500-square-feet of occupied commercial floor area, where the occupied floor area per use exceeds 5,000 sq. ft. is also permitted. The project proposes up to

37 residential parking spaces that exceeds the 25 spaces that are principally permitted and requires Conditional Use authorization pursuant to Planning Code Section 151(g) with the following findings:

Parking for All Uses

a) Vehicle movement on or around the project does not unduly impact pedestrian spaces or movement, transit service, bicycle movement, or the overall traffic movement in the district;

The proposed project does not unduly impact pedestrian spaces or movement, transit service, bicycle movement, or the overall traffic movement because only one curb cut located on 23rd Street and approximately 78 feet from the intersection of Valencia Street is proposed. Pedestrian movement, transit service, bicycle movement and overall traffic movement will be improved from the previous service station use because there will be a net reduction of three curb cuts that are proposed to be removed and filled as part of the project. Additionally, the single curb cut on 23rd Street.

b) Accommodating excess accessory parking does not degrade the overall urban design quality of the project proposal;

The project proposes parking that is located in a below grade basement level, which is not visible from the street. Additionally, the provision of only one garage entrance for the entire building further minimizes the parking's impact on the urban design quality of the project.

c) All above-grade parking is architecturally screened and, where appropriate, lined with active uses according to the standards of Section 145.1, and the project sponsor is not requesting any exceptions or variances requiring such treatments elsewhere in this Code; and

The project proposes parking that is located in a below grade basement level, which is not visible from the street.

d) Excess accessory parking does not diminish the quality and viability of existing or planned streetscape enhancements.

Access and egress to the accessory parking is provided by one single garage door that is approximately 12-feet 4-inches wide, and therefore will not diminish the quality and viability of the existing or planned streetscape enhancements.

Parking for Residential Uses

e) For projects with 50 dwelling units or more, all residential accessory parking in excess of 0.5 spaces per unit shall be stored and accessed by mechanical stackers or lifts, valet, or other space-efficient means that reduces space used for parking and maneuvering, and maximizes other uses. The project includes 49 dwelling units. However, all proposed parking spaces are located in the below-grade basement level in order to maximize the building's ground floor space for more appropriate and desirable active uses.

H. **Bicycle Parking.** Planning Code Section 155.2.11 of Table 155.2 requires one Class 1 bicycle parking space for each dwelling unit, and one Class 2 space for every 20 units. Additionally, one Class 2 space is required for every 2,500 sq. ft. of occupied commercial floor area per Section 155.2.15.

The project will comply with this requirement by providing 52 Class 1 bicycle parking spaces located at the ground floor behind the residential lobby, and at least five Class 2 spaces in front of the commercial storefronts.

I. **Dwelling Unit Mix.** Planning Code Section 207.6 requires no less than 40 percent of the total number of proposed dwelling units to contain at least two bedrooms, or no less than 30 percent of the total number of proposed dwelling units shall contain at least three bedrooms.

The project will comply with this requirement by providing 24 two-bedroom and two three-bedroom units that equal 53 percent of the total number of dwelling units.

J. Shadow Analysis. Pursuant to Planning Code Section 295, projects over 40 feet in height that will cast any shade or shadow upon any property under the jurisdiction of, or designated for acquisition by, the Recreation and Park Commission requires approval by the City Planning Commission pursuant to the provisions of Section 295.

A preliminary shadow analysis was conducted by the Planning Department based on the plans submitted for the project. The analysis indicated there would be no shadows cast on properties under the jurisdiction of the Recreation and Park Department.

K. **Transit Impact Development Fee.** Planning Code Section 411 requires payment of a Transit Impact Development Fee (TIDF) for new construction, addition to, or conversion of an existing structure that cumulatively results in 800 gross square feet or more of a use covered by the TIDF. In the case of mixed use development that includes residential development, the TIDF shall be applicable to only the non-residential portion of such development.

The project will meet this requirement by paying the appropriate fee for new retail commercial uses, and will not receive a credit for the prior service station use because it was not active on the site within five years before the date of the application for a building or site permit for the proposed use.

L. **Inclusionary Affordable Housing Program**. Planning Code Section 415 sets forth the requirements and procedures for the Inclusionary Affordable Housing Program for projects that include ten or more dwelling units to provide either 12 percent affordable units on-site, 20 percent affordable units off-site, or a fee equivalent to 20 percent.

The Project Sponsor has submitted an 'Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415,' to satisfy the requirements of the Inclusionary Affordable Housing Program by providing the affordable housing on-site instead of off-site or through payment of the Affordable Housing Fee. Based upon the Affidavit dated February 11, 2015 and amended on September 14, 2015, the Project Sponsor has elected the On-Site Affordable Housing Alternative. The project includes 49 dwelling units and shall provide six affordable dwelling units for ownership for the life of the project.

M. **Eastern Neighborhood Infrastructure Impact Fees.** Planning Code Section 423 is applicable to any development project in the Eastern Neighborhoods Program Area that results in at least one net new residential unit or the new construction of a non-residential use.

The Project includes the construction of approximately 59,690 gross sq. ft. of new residential development and 4,800 sq. ft. of net new commercial development, which are subject to the appropriate Eastern Neighborhoods Infrastructure Impact Fees. These fees must be paid prior to the issuance of the building permit.

- 7. Automotive Service Station Conversion. Planning Code Section 202.5 establishes the criteria the Commission shall consider when authorizing the conversion of an automotive service station to another use. The Commission shall approve the conversion if it determines from the facts presented that the reduction in availability of automotive goods and services resulting from the service station conversion would not be unduly detrimental to the public. On balance, the project complies with said criteria:
 - B. The benefits to the public of the service station conversion would outweigh any reduction in automotive goods and services available because the proposed new use is more necessary or desirable for the neighborhood or community than continued service station use.
 - i. If the proposed use is a residential use, the total number of units to be provided and the number of those units that are affordable units.

The project will contribute to the City's housing supply by providing 49 dwelling units, of which 26 units will have either two or three bedrooms. A total of six units (three one-bedroom and three two-bedroom) will be made permanently affordable for the life of the project.

ii. If the proposed new use is a commercial use, the types of goods and services to be offered and the availability of comparable products and services in the vicinity.

The project includes approximately 5,050 sq. ft. of ground floor commercial/retail space that is divided into five storefronts ranging from 895 to 1,167 sq. ft. that front Valencia Street. The types of goods and services offered by these storefronts have not yet been determined, but will be reviewed by the Planning Department to ensure any businesses that occupy this building are consistent with the neighborhood-serving commercial uses permitted in the Valencia Street NCT.

iii. The importance of the street on which the service station fronts to walking, cycling, and public transit, and the impact of automobile access and egress to the service station and of the proposed new uses and structures on the safety and comfort of pedestrians, cyclists, and transit riders.

The Valencia Street Commercial Transit District is located near the center of San Francisco in the Mission District and serves as an important corridor for pedestrians, bicyclists and also public transit due to its proximity to Mission Street. The replacement of an automotive service station use that utilized four driveways for continuous automobile access and egress throughout the day with a mixed-use residential development that has only one driveway on 23rd Street will eliminate three driveways and significantly improve the safety and comfort of pedestrians, cyclists, and transit riders.

iv. The relative environmental dangers posed by the current and proposed uses, including but not limited to the quality and the character of waste generated, noxious or offensive emissions, fire and explosion hazards and noise, and whether the service station conversion would facilitate the clean up of existing contamination at the property.

The project consists of residential units and ground floor retail/commercial space that will not generate any noxious or offensive emissions, noise, glare, dust or odors. The proposed uses will replace the prior automotive service station use and related improvements that generated significantly higher levels of offensive emissions, noise, and/or odors. The underground storage tanks on the property were removed in 2008 and site remediation in compliance with City regulations and Department of Public Health standards will be completed as necessary prior to construction and occupancy of the project.

v. The relative employment opportunities offered by the gasoline service station and the proposed new use.

The previous service station has not been in operation since 2007 (with the underground tanks subsequently removed in 2008) and does not provide any current employment opportunities. The proposed project includes approximately 5,050 sq. ft. of ground floor commercial/retail space divided into multiple storefronts that will provide long-term employment opportunities to residents of San Francisco and the Bay Area. In addition, the project will provide short-term employment for construction workers and other allied trades and professions opportunities during the construction of the project.

vi. The relative amount of taxes or other revenues to be received by the City or other governmental bodies from service station use and the proposed new use.

Aside from annual property taxes, the City does not currently receive any other taxes or revenue from use of the property because the automotive service station has not been in operation since 2007. The City and County of San Francisco will likely receive a substantial increase in property

tax revenue from the project's 49 residential dwelling units and ground floor commercial/retail uses. The City will also receive Eastern Neighborhood Infrastructure Impact Fees for this project.

vii. The compatibility of the existing service station and of the proposed new use or structure with the General Plan and area plan urban design policies and the street frontage standards of this Code.

The proposed project fully complies with the street frontage standards of Planning Code Section 145.1 and is also consistent with the General Plan and applicable urban design guidelines as described in detail below. In addition, the residential and commercial mixed-use development is a more compatible use with the Valencia Street NCT than the former service station, which is incompatible with the character of the neighborhood and thus no longer permitted within this district.

viii. Whether the service station use and the proposed use are permitted principal uses, conditional use or non-conforming use.

The former automotive gas station was a non-conforming use pursuant to Planning Code Sections 726.57 and 726.58 and is no longer permitted in the Valencia Street NCT. However, the residential use is a principally permitted pursuant to Planning Code Section 726.90 and retail/commercial uses are also principally permitted pursuant to Planning Code Section 726.40.

- 8. **Conditional Use Authorization.** Planning Code Section 303 establishes criteria for the Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:
 - A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The proposed project is in keeping with the intended character of the Valencia Street NCT District and the Valencia Street corridor, where high-density housing over a commercial ground floor is encouraged. The project is necessary and desirable because 49 dwelling units will be added to the City's housing stock in a location where larger development is encouraged. The proposed mixed-use development is characteristic of other similar mixed-use buildings located along Valencia Street.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:
 - i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The height and bulk of the project proposes a building scale that is compatible with the scale and width of Valencia Street, and other existing developments. The location of the commercial space which fronts onto Valencia Street is appropriate in providing a continuous commercial frontage at the ground floor. The location of the basement level parking garage entrance along 23rd Street is the most appropriate for the project and eliminates any conflicts with the pedestrian experience along Valencia Street.

ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The project proposes 37 off-street residential accessory parking spaces that are appropriately accessed by a single 16-foot wide vehicular driveway with curb cut along 23rd Street, and will eliminate three considerably wider existing curb cuts along 23rd and Valencia Streets.

iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

Noxious or offensive emissions such as noise, glare, dust and odor are not typically associated with residential uses or with the commercial uses permitted in this zoning district.

iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The project will include street trees and other streetscape improvements consistent with the adopted Better Streets Plan.

C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The project facilitates the conversion of an underutilized lot in an established neighborhood to more desirable residential and commercial/retail uses. The project also appropriately locates dwelling units on a property zoned for residential use and increases the supply of housing in conformity with the development standards of the Valencia Street NCT District. The Project is also consistent with the City's policies of providing housing appropriate for families as 53 percent of the units contain two or three bedrooms that range in size from approximately 967 to 1,443 square feet.

9. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

Objectives and Policies – Housing Supply

OBJECTIVE 1. PROVIDE NEW HOUSING, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING, IN APPROPRIATE LOCATIONS WHICH MEETS IDENTIFIED HOUSING NEEDS

AND TAKES INTO ACCOUNT THE DEMAND FOR AFFORDABLE HOUSING CREATED BY EMPLOYMENT DEMAND.

Policy 1.4. Locate in-fill housing on appropriate sites in established residential neighborhoods.

Policy 1.7. Encourage and support the construction of quality, new family housing.

Objectives and Policies -- Housing Density, Design and Quality of Life

OBJECTIVE 11. IN INCREASING THE SUPPLY OF HOUSING, PURSUE PLACE MAKING AND NEIGHBORHOOD BUILDING PRINCIPLES AND PRACTICES TO MAINTAIN SAN FRANCISCO'S DESIRABLE URBAN FABRIC AND ENHANCE LIVABILITY IN ALL NEIGHBORHOODS.

Policy 11.1. Use new housing development as a means to enhance neighborhood vitality and diversity.

Policy 11.2. Ensure housing is provided with adequate public improvements, services, and amenities.

Policy 11.3. Encourage appropriate neighborhood-serving commercial activities in residential areas, without causing affordable housing displacement.

Policy 11.5. Promote the construction of well-designed housing that enhances existing neighborhood character.

Policy 11.8. Strongly encourage housing project sponsors to take full advantage of allowable building densities in their housing developments while remaining consistent with neighborhood character.

The Project facilitates the conversion of an underutilized lot in an established neighborhood to more desirable residential and commercial/retail uses. The Project also appropriately locates dwelling units on a property zoned for residential use and increases the supply of housing in conformity with the development standards of the Valencia Street NCT District. The Project is also consistent with the City's policies of providing housing appropriate for families as 53 percent of the units contain two or three bedrooms that range in size from approximately 967 to 1,443 square feet.

The Project's architectural design is compatible with the existing scale, character of the neighborhood, and the property's corner lot location. The Project is well designed, provides a quality living environment, and further promotes neighborhood-serving commercial activities by providing ground floor commercial/retail space.

COMMERCE AND INDUSTRY ELEMENT

OBJECTIVE 6. MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

Policy 6.9. Regulate uses so that traffic impacts and parking problems are minimized.

The Project develops an underutilized lot with a desirable mix of residential and commercial/retail uses that will enhance the neighborhood and also eliminates the former non-conforming gasoline service station use. The Project is consistent with the objectives of the Valencia NCT Zoning District by proposing a mixed-use development with ground floor retail/commercial and 49 dwelling units. The Project's ground floor retail/commercial and 49 dwelling units. The Project's ground floor retail/commercial component that consists of five storefronts will help the City maintain a viable neighborhood commercial area that is accessible to City residents. The Project minimizes parking problems by providing all 37 off-street parking spaces in a below grade basement and mitigates traffic impacts from the Property by removing three curb cuts along 23^{rd} and Valencia Streets.

URBAN DESIGN ELEMENT

City Pattern

OBJECTIVE 1. EMPHASIS OF THE CHARACTERISTIC PATTERN, WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE AND A MEANS OF ORIENTATION.

Policy 1.2. Protect and reinforce the existing street pattern, especially as it is related to topography.

Policy 1.3. Recognize that buildings, when seen together, produce a total effect that characterizes the City and its districts.

The Project will enhance the Valencia NCT District by reinforcing the urban nature of the street pattern, and by providing a unified street wall along its Valencia and 23rd Street frontages. The Project's design is compatible with the design features of surrounding buildings, and will result in a better utilization of the Project Site than the current inactive gasoline service station. The Project will also continue the development pattern of residential over ground floor retail/commercial uses that predominate the Valencia Street corridor.

Visual Harmony

OBJECTIVE 3. MODERATION OF MAJOR NEW DEVELOPMENT TO COMPLEMENT THE CITY PATTERN, THE RESOURCES TO BE CONSERVED, AND THE NEIGHBORHOOD ENVIRONMENT.

Policy 3.1. Promote harmony in the visual relationships and transitions between new and older buildings.

Policy 3.3. Promote efforts to achieve high quality of design for buildings to be constructed at prominent locations.

Neighborhood Environment

OBJECTIVE 4. IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY.

Policy 4.12. Install, promote and maintain landscaping in public and private areas.

The Project will improve the neighborhood environment by providing ground floor retail/commercial space with pedestrian-oriented active uses. The new building will be compatible in use and design with other buildings in the neighborhood, and three existing curb cuts along Valencia and 23rd Streets will be removed to increase the personal safety and comfort of pedestrians along the sidewalk. Street trees and other streetscape improvements will also be installed along Valencia and 20th Streets and San Jose Avenue, beautifying a corner that was formerly used as a gas station.

MISSION AREA PLAN Land Use

OBJECTIVE 1.2. IN AREAS OF THE MISSION WHERE HOUSING AND MIXED-USE IS ENCOURAGED, MAXIMIZE DEVELOPMENT POTENTIAL IN KEEPING WITH NEIGHBORHOOD CHARACTER.

Policy 1.2.1: Ensure that in-fill housing development is compatible with its surroundings.

The Proposed Project is designed to fit within the existing context of residential, commercial and institutional buildings. The Project complies with the 55-foot height limit and provides a fair amount of residential density while not compromising amenities that contribute to the quality of life for the dwelling units, including usable open space. The Project is designed in a contemporary architectural style that utilizes high quality materials and respects its surroundings while providing some distinction, and is an appropriate infill development.

Housing

OBJECTIVE 2.5. PROMOTE HEALTH THROUGH RESIDENTIAL DEVELOPMENT DESIGN AND LOCATION.

Policy 2.5.3: Require new development to meet minimum levels of "green" construction.

The Project will be required to meet the standards for new construction as required by the Green Building Ordinance, the mechanism which the City of San Francisco uses to ensure "green" construction.

Built Form

OBJECTIVE 3.1. PROMOTE AN URBAN FORM THAT REINFORCES THE MISSION'S DISTINCTIVE PLACE IN THE CITY'S LARGER FORM AND STRENGTHENS ITS PHYSICAL FABRIC AND CHARACTER.

Policy 3.1.6: New buildings should epitomize the best in contemporary architecture, but should do so with full awareness of, and respect for, the height, mass, articulation and materials of the best of the older buildings that surrounds them.

Policy 3.1.8: New development should respect existing patterns of rear yard open space. Where an existing pattern of rear yard open space does not exist, new development on mixed-use-zoned parcels should have greater flexibility as to where open space can be located.

The Project features a contemporary architectural style that respects its surroundings while providing some distinction. The proposed height and massing of the Project blend well with the surrounding context of multi-storied buildings, and the exterior of the building will be finished with high quality materials. There is no mid block open space pattern on the block and the Project proposes open areas at the rear of the lot and on all floors of the building.

OBJECTIVE 3.2. PROMOTE AN URBAN FORM AND ARCHITECTURAL CHARACTER THAT SUPPORTS WALKING AND SUSTAINS A DIVERSE, ACTIVE AND SAFE PUBLIC REALM.

POLICY 3.2.3: Minimize the visual impact of parking.

POLICY 3.2.4: Strengthen the relationship between a building and its fronting sidewalk.

The Project's ground floor does not include any blank walls and all the ground floor uses are accessed from the public right-of-way to strengthen the building's relationship with its fronting sidewalk. The proposed off street parking is located in a below grade basement that is accessed by an automobile entry that is 12-feet 4-inches wide, further de-emphasizing the presence of automobiles at the site.

Streets and Open Space

OBJECTIVE 5.2: ENSURE THAT NEW DEVELOPMENT INCLUDES HIGH QUALITY, PRIVATE OPEN SPACE

Policy 5.2.1: Require new residential and mixed-use residential development to provide on-site, private open space designed to meet the needs of residents.

Policy 5.2.3: Encourage private open space to be provided as common spaces for residents and workers of the building wherever possible

The Project satisfies its usable open space requirement through the provision of on site private open space decks for several units and common open space at the interior courtyard and rooftop deck for the remaining units. The common roof deck is approximately 5,150 square feet, providing ample area for the residents of the building and their guests to socialize and recreate.

- 10. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:
 - A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The proposed project would enhance neighborhood-serving retail uses by providing 5,050 sq. ft. of new ground floor commercial space.

B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The project will have no negative impact on this policy, as there is no existing housing at the project site.

C. That the City's supply of affordable housing be preserved and enhanced.

The project does not include the removal of any existing affordable housing, and will enhance the City's supply by providing six new on-site affordable units.

D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

Traffic generated by the residential uses and the 37 accessory parking spaces would be intermittent and not significant to overburden local streets. Traffic would not impede MUNI transit service along Valencia Street as the garage access is located on 23rd Street. The site is also well served by public transit as numerous routes are located within a two block radius of the project site including MUNI bus routes 12, 14, 48, 49 and 67, and the 24th Street Mission BART Station.

E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The project will not displace any service or industry establishment.

F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The project will be designed and constructed to conform to the structural and seismic safety requirements of the Building Code and will not impact the property's ability to withstand an earthquake.

G. That landmarks and historic buildings be preserved.

A landmark or historic building does not occupy the project site.

H. That our parks and open space and their access to sunlight and vistas be protected from development.

The project will have no negative impact on existing parks and open spaces.

11. **First Source Hiring.** The Project is subject to the requirements of the First Source Hiring Program as they apply to permits for residential development (Section 83.4(m) of the Administrative Code), and the Project Sponsor shall comply with the requirements of this Program as to all construction work and on-going employment required for the Project. Prior to the issuance of any building permit to construct or a First Addendum to the Site Permit, the Project Sponsor shall have a First Source Hiring Construction and Employment Program approved by the First Source Hiring Administrator, and evidenced in writing. In the event that both the Director of Planning and the First Source Hiring Administrator agree, the approval of the Employment Program may be delayed as needed.

The Project Sponsor submitted a First Source Hiring Affidavit and prior to issuance of a building permit will execute a First Source Hiring Memorandum of Understanding and a First Source Hiring Agreement with the City's First Source Hiring Administration.

- 12. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
- 13. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2012.0865C** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated September 16, 2015, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

The Planning Commission hereby adopts the MMRP attached hereto as Exhibit C and incorporated herein as part of this Motion by this reference thereto. All required mitigation measures identified in the Eastern Neighborhoods Plan EIR and contained in the MMRP are included as conditions of approval.

The Planning Commission hereby adopts the MMRP attached hereto as Exhibit C and incorporated herein as part of this Resolution/Motion by this reference thereto. All required mitigation measures identified in the IS/MND and contained in the MMRP are included as conditions of approval.

<u>APPEAL AND EFFECTIVE DATE OF MOTION</u>: Any aggrieved person may appeal this Section 329 Large Project Authorization to the Board of Appeals within fifteen (15) days after the date of this Motion. The effective date of this Motion shall be the date of adoption of this Motion if not appealed (after the 15-day period has expired) OR the date of the decision of the Board of Appeals if appealed to the Board of Appeals. For further information, please contact the Board of Appeals at (415) 575-6880, 1660 Mission, Room 3036, San Francisco, CA 94103.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on October 1, 2015.

Jonas P. Ionin Commission Secretary AYES:

NAYS:

ABSENT:

ADOPTED: October 1, 2015

EXHIBIT A

AUTHORIZATION

This authorization is for a Conditional Use to allow a five-story, mixed-use building with up to 49 dwelling units and 5,050 square feet of commercial space located at 1198 Valencia Street, Block 3635 and Lot 014, pursuant to Planning Code Sections 121.1, 151.1, 202.5, 303, and 726.11 within the Valencia Neighborhood Commercial Transit (NCT) Zoning District and a 55-X Height and Bulk District; in general conformance with plans, dated September 16, 2015, and stamped "EXHIBIT B" included in the docket for Case No. 2012.0865C and subject to conditions of approval reviewed and approved by the Commission on October 1, 2015, under Motion No. XXXXX. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on October 1, 2015, under Motion No. XXXXX.

PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission Motion No. XXXXX shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project Sponsor" shall include any subsequent responsible party.

CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Conditional Use authorization.

Conditions of Approval, Compliance, Monitoring, and Reporting PERFORMANCE

- 1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period. *For information about compliance, contact Code Enforcement, Planning Department at* 415-575-6863, <u>www.sf-planning.org</u>.
- 2. Expiration and Renewal. Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, <u>www.sf-planning.org</u>

3. **Diligent Pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, <u>www.sf-planning.org</u>

4. **Extension.** This authorization may be extended at the discretion of the Zoning Administrator only where failure to issue a permit by the Department of Building Inspection to perform said tenant improvements is caused by a delay by a local, State or Federal agency or by any appeal of the issuance of such permit(s).

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, <u>www.sf-planning.org</u>

5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, <u>www.sf-planning.org</u>

6. **Mitigation Measures.** Mitigation measures described in the MMRP for the Eastern Neighborhoods Plan EIR (Case No. 2012.0865E) attached as Exhibit C are necessary to avoid

potential significant effects of the proposed project and have been agreed to by the project sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, <u>www.sf-planning.org</u>

DESIGN – COMPLIANCE AT PLAN STAGE

7. **Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6613, <u>www.sf-planning.org</u>

8. **Streetscape Plan.** Pursuant to Planning Code Section 138.1, the Project Sponsor shall continue to work with Planning Department staff, in consultation with other City agencies, to refine the design and programming of the Streetscape Plan so that the plan generally meets the standards of the Better Streets Plan and all applicable City standards. The Project Sponsor shall complete final design of all required street improvements, including procurement of relevant City permits, prior to issuance of first architectural addenda, and shall complete construction of all required street improvements prior to issuance of first temporary certificate of occupancy.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6613, <u>www.sf-planning.org</u>

9. **Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the architectural addenda. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, <u>www.sf-planning.org</u>

- 10. **Transformer Vault.** The location of individual project PG&E Transformer Vault installations has significant impacts to San Francisco streetscapes when improperly located. However, they may not have any impact if they are installed in preferred locations. Therefore, the Planning Department recommends the following preference schedule in locating new transformer vaults, in order of most to least desirable:
 - A. On-site, in a basement area accessed via a garage or other access point without use of separate doors on a ground floor façade facing a public right-of-way;
 - B. On-site, in a driveway, underground;
 - C. On-site, above ground, screened from view, other than a ground floor façade facing a public right-of-way;

- D. Public right-of-way, underground, under sidewalks with a minimum width of 12 feet, avoiding impacts on streetscape elements, such as street trees; and based on Better Streets Plan guidelines;
- E. Public right-of-way, underground; and based on Better Streets Plan guidelines;
- F. Public right-of-way, above ground, screened from view; and based on Better Streets Plan guidelines;
- G. On-site, in a ground floor façade (the least desirable location).

Unless otherwise specified by the Planning Department, Department of Public Work's Bureau of Street Use and Mapping (DPW BSM) should use this preference schedule for all new transformer vault installation requests.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <u>http://sfdpw.org</u>

PARKING AND TRAFFIC

11. **Parking for Affordable Units.** All off-street parking spaces shall be made available to Project residents only as a separate "add-on" option for purchase or rent and shall not be bundled with any Project dwelling unit for the life of the dwelling units. The required parking spaces may be made available to residents within a quarter mile of the project. All affordable dwelling units pursuant to Planning Code Section 415 shall have equal access to use of the parking as the market rate units, with parking spaces priced commensurate with the affordability of the dwelling unit. Each unit within the Project shall have the first right of refusal to rent or purchase a parking space until the number of residential parking spaces are no longer available. No conditions may be placed on the purchase or rental of dwelling units, nor may homeowner's rules be established, which prevent or preclude the separation of parking spaces from dwelling units.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, <u>www.sf-planning.org</u>

12. **Parking Maximum.** Pursuant to Planning Code Section 151.1, the Project shall provide no more than 37 off-street parking spaces for the 49 dwelling units (or .75 off-street parking spaces for each dwelling unit) contained therein.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, <u>www.sf-planning.org</u>

- Bicycle Parking. Pursuant to Planning Code Sections 155.1, 155.4, and 155.5, the Project shall provide no fewer than 54 bicycle parking spaces 49 Class 1 spaces for the residential portion of the Project and 5 Class 1 or 2 spaces for the commercial portion of the Project). *For information about compliance, contact Code Enforcement, Planning Department at* 415-575-6863, *www.sf-planning.org*
- 14. **Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning

Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation impacts during construction of the Project.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, <u>www.sf-planning.org</u>

PROVISIONS

15. **Transit Impact Development Fee.** Pursuant to Planning Code Section 411, the Project Sponsor shall pay the Transit Impact Development Fee (TIDF) as required by and based on drawings submitted with the Building Permit Application. Prior to the issuance of a temporary certificate of occupancy, the Project Sponsor shall provide the Planning Director with certification that the fee has been paid.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, <u>www.sf-planning.org</u>

16. Eastern Neighborhoods Infrastructure Impact Fee. Pursuant to Planning Code Section 423 (formerly 327), the Project Sponsor shall comply with the Eastern Neighborhoods Public Benefit Fund provisions through payment of an Impact Fee pursuant to Article 4. *For information about compliance, contact the Case Planner, Planning Department at 415-558-6378,* <u>www.sf-planning.org</u>

INCLUSIONARY AFFORDABLE HOUSING PROGRAM

17. **Number of Required Units.** Pursuant to Planning Code Section 415.6, the Project is required to provide 12% of the proposed dwelling units as affordable to qualifying households. The Project contains 49 units; therefore, 6 affordable units are required. The Project Sponsor will fulfill this requirement by providing the 6 affordable units on-site. If the number of market-rate units change, the number of required affordable units shall be modified accordingly with written approval from Planning Department staff in consultation with the Mayor's Office of Housing and Community Development ("MOHCD").

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, <u>www.sf-planning.org</u> or the Mayor's Office of Housing and Community Development at 415-701-5500, <u>www.sf-moh.org</u>.

18. **Unit Mix.** The Project contains 23 one-bedroom, 24 two-bedroom, and 2 three-bedroom units; therefore, the required affordable unit mix is 3 one-bedroom and 3 two-bedroom units. If the market-rate unit mix changes, the affordable unit mix will be modified accordingly with written approval from Planning Department staff in consultation with MOHCD.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, <u>www.sf-planning.org</u> or the Mayor's Office of Housing and Community Development at 415-701-5500, <u>www.sf-moh.org</u>.

19. Unit Location. The affordable units shall be designated on a reduced set of plans recorded as a Notice of Special Restrictions on the property prior to the issuance of the first construction permit.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, <u>www.sf-planning.org</u> or the Mayor's Office of Housing and Community Development at 415-701-5500, <u>www.sf-moh.org</u>.

20. Phasing. If any building permit is issued for partial phasing of the Project, the Project Sponsor shall have designated not less than twelve percent (12%) of the each phase's total number of dwelling units as on-site affordable units.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, <u>www.sf-planning.org</u> or the Mayor's Office of Housing and Community Development at 415-701-5500, <u>www.sf-moh.org</u>.

- 21. Duration. Under Planning Code Section 415.8, all units constructed pursuant to Section 415.6, must remain affordable to qualifying households for the life of the project. For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, <u>www.sf-planning.org</u> or the Mayor's Office of Housing and Community Development at 415-701-5500, <u>www.sf-moh.org</u>.
- 22. Other Conditions. The Project is subject to the requirements of the Inclusionary Affordable Housing Program under Section 415 et seq. of the Planning Code and the terms of the City and County of San Francisco Inclusionary Affordable Housing Program Monitoring and Procedures Manual ("Procedures Manual"). The Procedures Manual, as amended from time to time, is incorporated herein by reference, as published and adopted by the Planning Commission, and as required by Planning Code Section 415. Terms used in these conditions of approval and not otherwise defined shall have the meanings set forth in the Procedures Manual. A copy of the Procedures Manual can be obtained at the Mayor's Office of Housing ("MOH") at 1 South Van Ness Avenue or on the Planning Department or Mayor's Office of Housing's websites, including on the internet at: <u>http://sf-planning.org/Modules/ShowDocument.aspx?documentid=4451</u>. As provided in the Inclusionary Affordable Housing Program, the applicable Procedures Manual is the manual in effect at the time the subject units are made available for sale.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, <u>www.sf-planning.org</u> or the Mayor's Office of Housing and Community Development at 415-701-5500, <u>www.sf-moh.org</u>.

a. The affordable unit(s) shall be designated on the building plans prior to the issuance of the first construction permit by the Department of Building Inspection ("DBI"). The affordable unit(s) shall (1) reflect the unit size mix in number of bedrooms of the market rate units, (2) be constructed, completed, ready for occupancy and marketed no later than the market rate units, and (3) be evenly distributed throughout the building; and (4) be of comparable overall quality, construction and exterior appearance as the market rate units in the principal project. The interior features in affordable units should be generally the same as those of the market units in the principal project, but need not be the same make, model or type of such item as long they are of good and new quality and are consistent with then-current standards for new housing. Other specific standards for on-site units are outlined in the Procedures Manual.

- b. If the units in the building are offered for sale, the affordable unit(s) shall be sold to first time home buyer households, as defined in the Procedures Manual, whose gross annual income, adjusted for household size, does not exceed an average of ninety (90) percent of Area Median Income under the income table called "Maximum Income by Household Size derived from the Unadjusted Area Median Income for HUD Metro Fair Market Rent Area that contains San Francisco." The initial sales price of such units shall be calculated according to the Procedures Manual. Limitations on (i) reselling; (ii) renting; (iii) recouping capital improvements; (iv) refinancing; and (v) procedures for inheritance apply and are set forth in the Inclusionary Affordable Housing Program and the Procedures Manual.
- c. The Project Sponsor is responsible for following the marketing, reporting, and monitoring requirements and procedures as set forth in the Procedures Manual. MOHCD shall be responsible for overseeing and monitoring the marketing of affordable units. The Project Sponsor must contact MOHCD at least six months prior to the beginning of marketing for any unit in the building.
- d. Required parking spaces shall be made available to initial buyers or renters of affordable units according to the Procedures Manual.
- e. Prior to the issuance of the first construction permit by DBI for the Project, the Project Sponsor shall record a Notice of Special Restriction on the property that contains these conditions of approval and a reduced set of plans that identify the affordable units satisfying the requirements of this approval. The Project Sponsor shall promptly provide a copy of the recorded Notice of Special Restriction to the Department and to MOHCD or its successor.
- f. The Project Sponsor has demonstrated that it is eligible for the On-site Affordable Housing Alternative under Planning Code Section 415.6 instead of payment of the Affordable Housing Fee, and has submitted the *Affidavit of Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415* to the Planning Department stating that any affordable units designated as on-site units shall be sold as ownership units and will remain as ownership units for the life of the Project.
- g. If the Project Sponsor fails to comply with the Inclusionary Affordable Housing Program requirement, the Director of DBI shall deny any and all site or building permits or certificates of occupancy for the development project until the Planning Department notifies the Director of compliance. A Project Sponsor's failure to comply with the requirements of Planning Code Section 415 et seq. shall constitute cause for the City to record a lien against the development project and to pursue any and all available remedies at law.
- h. If the Project becomes ineligible at any time for the On-site Affordable Housing Alternative, the Project Sponsor or its successor shall pay the Affordable Housing Fee prior to issuance of the first construction permit or may seek a fee deferral as permitted under Ordinances 0107-10 and 0108-10. If the Project becomes ineligible after issuance of its first construction permit,

the Project Sponsor shall notify the Department and MOHCD and pay interest on the Affordable Housing Fee and penalties, if applicable.

MONITORING

- 23. Enforcement. Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction. *For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org*
- 24. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, <u>www.sf-planning.org</u>

OPERATION

- 25. **Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works. *For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at* 415-554-.5810, <u>http://sfdpw.org</u>
- 26. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards. *For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works,* 415-695-2017,.<u>http://sfdpw.org/</u>
- 27. **Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, <u>www.sf-planning.org</u>

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	MONITORING AND REPORTING PROGRAM			
Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Monitoring/ Reporting Responsibility	Monitoring Schedule
 Project Mitigation Measure 1 - Archeology (Monitoring). Archeological monitoring program (AMP). The archeological monitoring program shall minimally include the following provisions: The archeological consultant, project sponsor, and ERO shall meet and consult on the scope of the AMP reasonably prior to any project-related soils disturbing activities commencing. The ERO in consultation with the project archeologist shall determine what project activities shall be archeologically monitored. In most cases, any soils disturbing activities, such as demolition, foundation, foundation work, driving of piles (foundation, shoring, etc.), site remediation, etc., shall require archeological monitoring because of the potential risk these activities pose to archaeological resources and to their depositional context; The archeological consultant shall advise all project contractors to be on the alert for evidence of the presence of the expected resource(s), and of the appropriate protocol in the event of apparent discovery of an archeological resource; The archaeological monitor(s) shall be present on 	qualified archaeological consultant, and Planning Department's Environmental Review Officer	Prior to issuance of any permit for soil- disturbing activities and during construction.	Environmental Review Officer, sponsor and sponsor's archeologist.	Considered complete upon ERO's approval of FARR.

EXHIBIT C: MITIGATION MONITORING AND REPORTING PROGRAM

1298 VALENCIA STREET

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Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Monitoring/ Reporting Responsibility	Monitoring Schedule
 the project site according to a schedule agreed upon by the archeological consultant and the ERO until the ERO has, in consultation with the archeological consultant, determined that project construction activities could have no effects on significan archeological deposits; The archeological monitor shall record and be authorized to collect soil samples and artifactual/ecofactual material as warranted fo analysis; If an intact archeological deposit is encountered, al soils disturbing activities in the vicinity of the deposit shall cease. The archeological monitor shall be empowered to temporarily redirect demolition/excavation/pile driving/construction crews and heavy equipment until the deposit i evaluated. If in the case of pile driving activity (foundation, shoring, etc.), the archeological monitor has cause to believe that the pile driving activity may affect an archeological resource, the pile driving activity shall be terminated until an appropriate evaluation of the resource has been made in consultation with the ERO. The archeological consultant shall immediately notify the ERO of the encountered archeological deposit The archeological consultant shall, after making a reasonable effort to assess the identity, integrity and significance of the encountered archeological deposit, present the findings of this assessment to the ERO. 				

MONITORING AND REPORTING PROGRAM

	MONITORING AND REPORTING PROGRAM			<u></u>
Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Monitoring/ Reporting Responsibility	Monitoring Schedule
If the ERO in consultation with the archeological consultant determines that a significant archeological resource is present and that the resource could be adversely affected by the proposed project, at the discretion of the project sponsor either:				
 A) The proposed project shall be re-designed so as to avoid any adverse effect on the significant archeological resource; or B) An archeological data recovery program shall be implemented, unless the ERO determines that the archeological resource is of greater interpretive than research significance and that interpretive use of the resource is feasible. 				
If an archeological data recovery program is required by the ERO, the archeological data recovery program shall be conducted in accord with an archeological data recovery plan (ADRP). The project archeological consultant, project sponsor, and ERO shall meet and consult on the scope of the ADRP. The archeological consultant shall prepare a draft ADRP that shall be submitted to the ERO for review and approval. The ADRP shall identify how the proposed data recovery program will preserve the significant information the archeological resource is expected to contain. That is, the ADRP will identify what scientific/historical research questions are applicable to the expected resource, what data				

MONTORING AND RELORATING TROOMAN				
Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Monitoring/ Reporting Responsibility	Monitoring Schedule
expected data classes would address the applicable research questions. Data recovery, in general, should be limited to the portions of the historical property that could be adversely affected by the proposed project. Destructive data recovery methods shall not be applied to portions of the archeological resources if nondestructive methods are practical.				
The scope of the ADRP shall include the following elements:				
 <i>Field Methods and Procedures.</i> Descriptions of proposed field strategies, procedures, and operations. <i>Cataloguing and Laboratory Analysis.</i> Description of selected cataloguing system and artifact analysis procedures. 				
 Discard and Deaccession Policy. Description of and rationale for field and post-field discard and deaccession policies. 				
 Interpretive Program. Consideration of an on- site/off-site public interpretive program during the course of the archeological data recovery program. Security Measures. Recommended security 			· .	
measures to protect the archeological resource from vandalism, looting, and non-intentionally damaging activities.				
 <i>Final Report.</i> Description of proposed report format and distribution of results. <i>Curation.</i> Description of the procedures and 				

	MONITORING AND REPORTING PROGRAM			
Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Monitoring/ Reporting Responsibility	Monitoring Schedule
recommendations for the curation of any recovered				
data having potential research value, identification				
of appropriate curation facilities, and a summary of	1 1			
the accession policies of the curation facilities.				
Human Remains, Associated or Unassociated Funerary Objects.				
The treatment of human remains and of associated or				
unassociated funerary objects discovered during any soils	;			
disturbing activity activity shall comply with applicable				
State and Federal Laws, including immediate notification of				
the Coroner of the City and County of San Francisco and in	. [
the event of the Coroner's determination that the human	L.			
remains are Native American remains, notification of the				
California State Native American Heritage Commission				
(NAHC) who shall appoint a Most Likely Descendant	1 1			
(MLD) (Pub. Res. Code Sec. 5097.98). The archeological				
consultant, project sponsor, ERO, and MLD shall have up to				
but not beyond six days of discovery to make all reasonable				
efforts to develop an agreement for the treatment of human				
remains and associated or unassociated funerary objects				
with appropriate dignity (CEQA Guidelines. Sec.				
15064.5(d)). The agreement should take into consideration				
the appropriate excavation, removal, recordation, analysis,				
curation, possession, and final disposition of the human				
remains and associated or unassociated funerary objects.				
Nothing in existing State regulations or in this mitigation				
measure compels the project sponsor and the ERO to accept				
recommendations of an MLD. The archeological consultant	1 1			
shall retain possession of any Native American human				
remains and associated or unassociated burial objects until				<u> </u>

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Monitoring/ Reporting Responsibility	Monitoring Schedule
completion of any scientific analyses of the human remains or objects as specified in the treatment agreement if such as agreement has been made or, otherwise, as determined by the archeological consultant and the ERO.	6			
<i>Final Archeological Resources Report.</i> The archeological consultant shall submit a Draft Final Archeological Resources Report (FARR) to the ERO that evaluates the historical significance of any discovered archeological resource and describes the archeological and historical research methods employed in the archeological testing/monitoring/data recovery program(s) undertaken. Information that may put at risk any archeological resource shall be provided in a separate removable insert within the draft final report.				
Copies of the Draft FARR shall be sent to the ERO for review and approval. Once approved by the ERO copies of the FARR shall be distributed as follows: California Archaeological Site Survey Northwest Information Center (NWIC) shall receive one (1) copy and the ERO shall receive a copy of the transmittal of the FARR to the NWIC. The Environmental Planning division of the Planning Department shall receive one bound, one unbound and one				
unlocked, searchable PDF copy on CD of the FARR along with copies of any formal site recordation forms (CA DPR 523 series) and/or documentation for nomination to the National Register of Historic Places/California Register of Historical Resources. In instances of high public interest or interpretive value, the ERO may require a different final				

	MONITORING AND REPORTING PROGRAM			
Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Monitoring/ Reporting Responsibility	Monitoring Schedule
report content, format, and distribution than that presented above.				
Project Mitigation Measure 2 - Construction Noise (Eastern Neighborhoods PEIR Mitigation Measure F-2). The project sponsor shall develop a set of site-specific noise attenuation measures under the supervision of a qualified acoustical consultant. Prior to commencing construction, a plan for such measures shall be submitted to the Department of Building Inspection to ensure that maximum feasible noise attenuation will be achieved. These attenuation measures shall include as many of the following control strategies as feasible:	Project Sponsor and Contractor	During construction	Project Sponsor to provide Planning Department with monthly reports during construction period.	Considered complete upon receipt of final monitoring report at completion of construction.
 Erect temporary plywood noise barriers around a construction site, particularly where a site adjoins noise-sensitive uses; 				
 Utilize noise control blankets on a building structure as the building is erected to reduce noise emission from the site; 				
• Evaluate the feasibility of noise control at the receivers by temporarily improving the noise reduction capability of adjacent buildings housing sensitive uses;				
 Monitor the effectiveness of noise attenuation measures by taking noise measurements; and 				
 Post signs on-site pertaining to permitted construction days and hours and complaint 				

Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Monitoring/ Reporting Responsibility	Monitoring Schedule
procedures and who to notify in the event of a problem, with telephone numbers listed.				
Project Mitigation Measure 3 - Open Space in Noisy Environments (Eastern Neighborhoods PEIR Mitigation Measure F-6). In order to minimize ambient noise effects on users of the project's outdoor decks, the project sponsor shall develop a set of site-specific noise attenuation measures under the supervision of a qualified acoustical consultant. Prior to commencing construction, a plan for such measures shall be submitted to the Planning Department to ensure that maximum feasible noise attenuation for users of the outdoor deck areas will be achieved. As determined feasible by the qualified acoustical consultant, these attenuation measures may include construction of noise barriers between noise sources and open space, consistent with other principles of urban design.	Project Sponsor and Architect	Design measures to be incorporated into project design and evaluated in environmental/ building permit review	Planning Department and Department of Building Inspection	Considered complete upon approval of final construction drawing set.
Project Mitigation Measure 4 - Hazardous Building Materials (Eastern Neighborhoods Mitigation Measure L-1). In order to minimize impacts to public and construction worker health and safety during demolition of the existing structure, the sponsor shall ensure that any equipment or fixtures containing PCBs or DEPH, such as fluorescent light ballasts, are removed and property disposed of according to applicable federal, state, and local laws prior to the start of renovation, and that any florescent light tubes, which could contain mercury, are	Planning Department and DPH	Prior to approval of project.	Planning Department, in consultation with DPH; where Site Mitigation Plan is required, Project Sponsor or contractor shall submit a monitoring report to DPH, with a copy to Planning Department and DBI, at end of construction.	receipt of final monitoring report at completion of construction.

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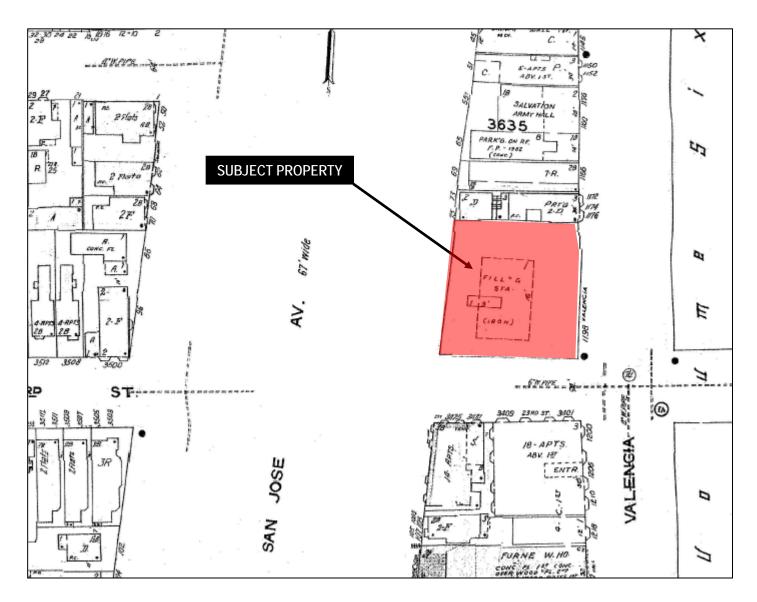
Adopted Mitigation Measures	Responsibility for Implementation	Mitigation Schedule	Monitoring/ Reporting Responsibility	Monitoring Schedule
similarly removed and properly disposed of. Any other hazardous materials identified, either before or during work, shall be abated according to applicable federal, state, and local laws.				

Block Book Map



Conditional Use Authorization Case No. 2012.0865X 1198 Valencia Street

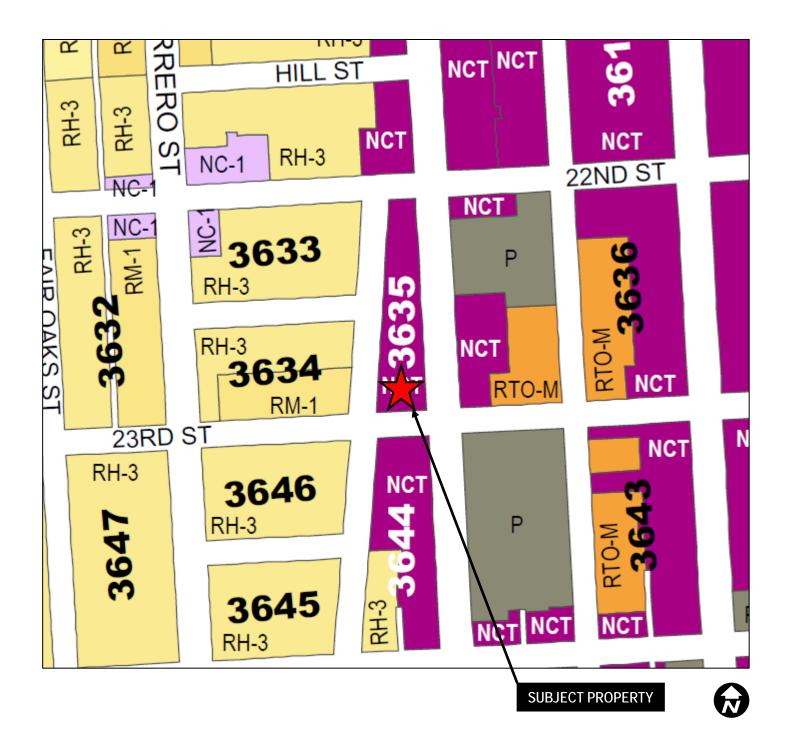
Sanborn Map*



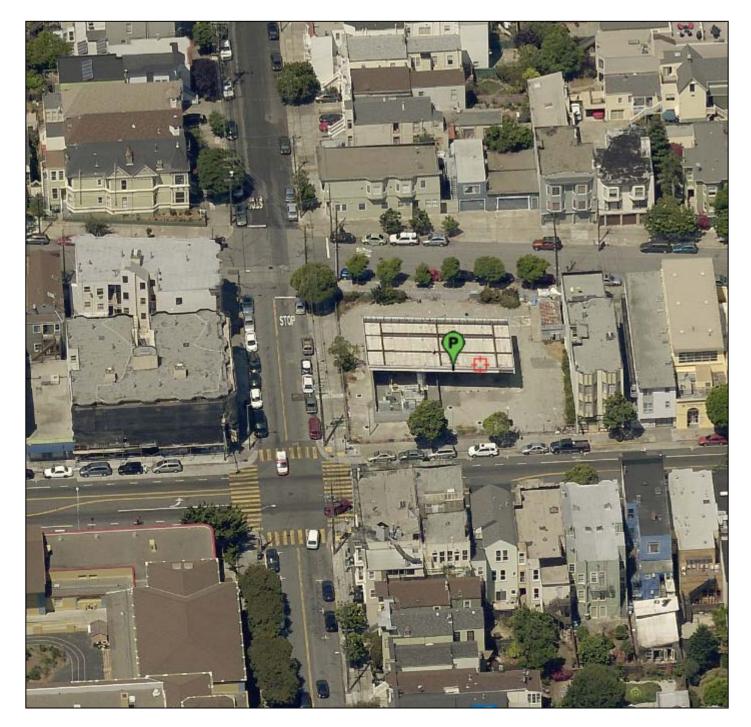
*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

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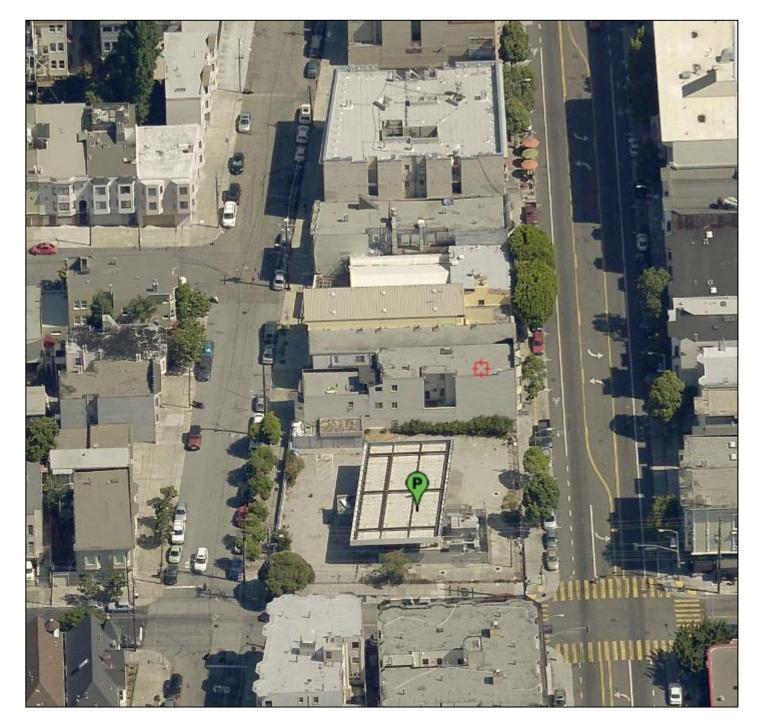
Zoning Map



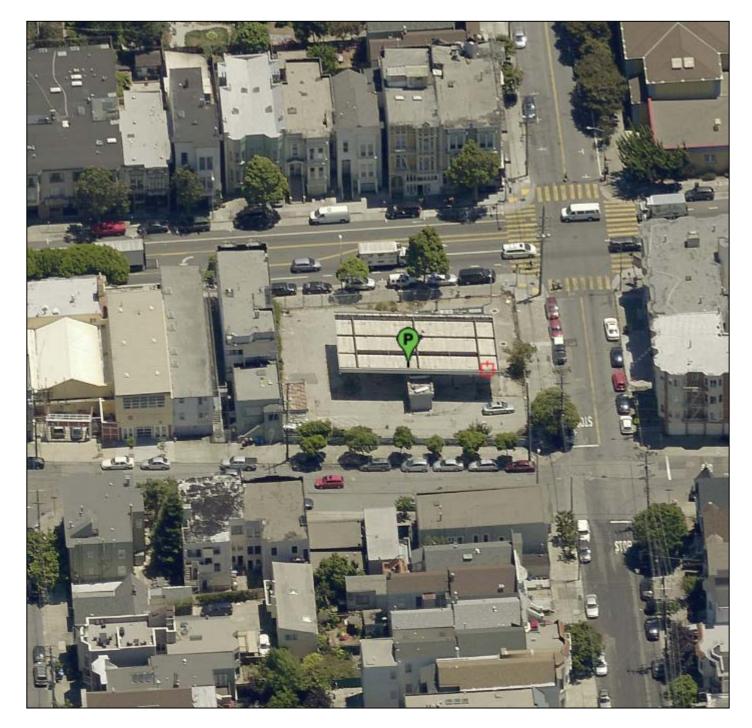
facing west



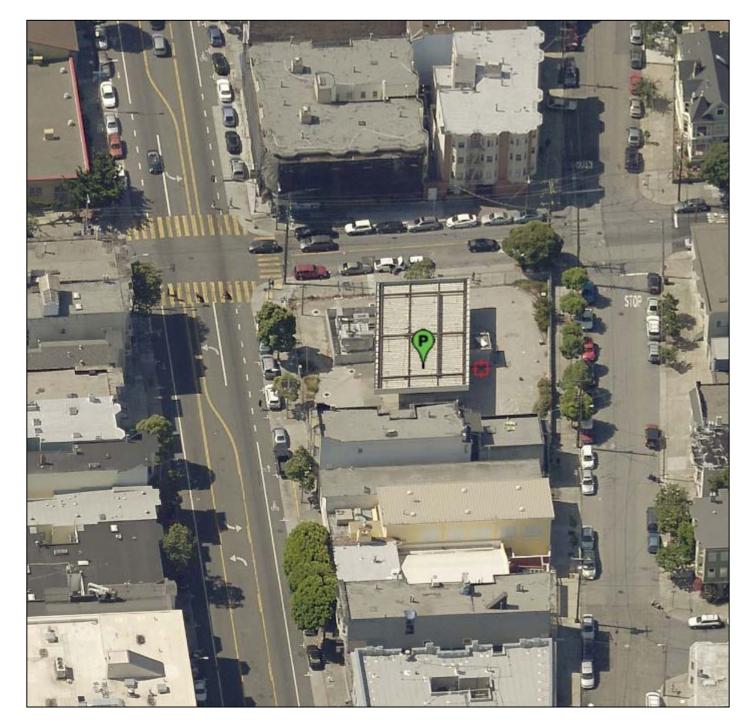
facing north



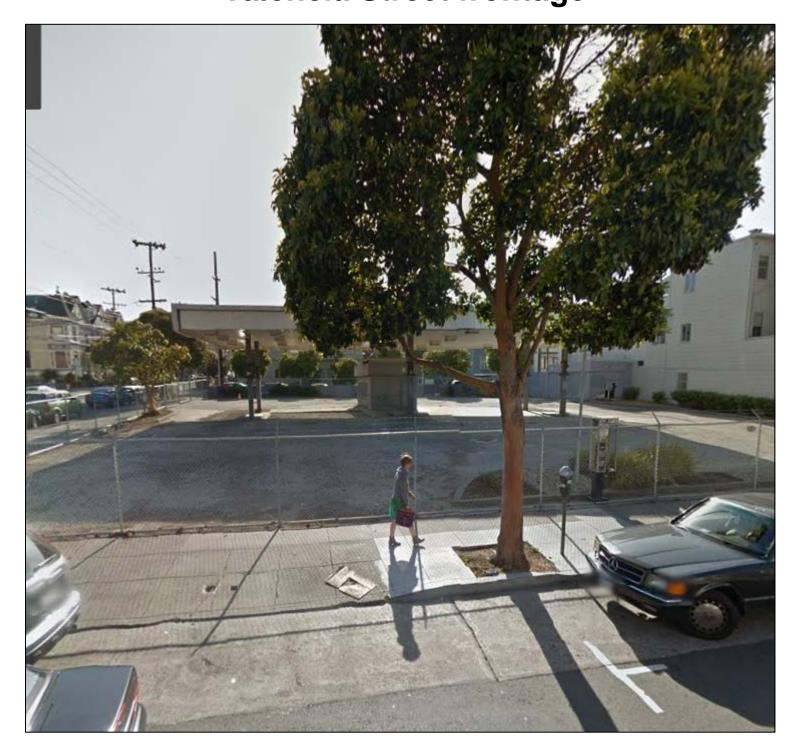
facing east



facing south



Site Photo Valencia Street frontage



Site Photo

23rd Street frontage



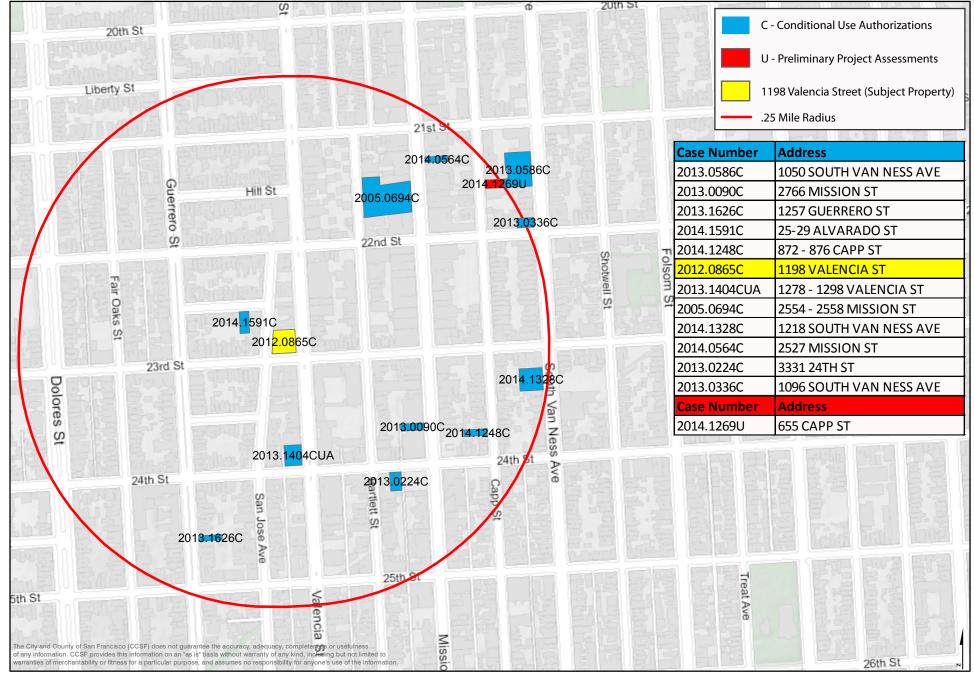
Site Photo

San Jose Avenue frontage



Major Projects Within .25 Mile Radius of 1198 Valencia Street







SAN FRANCISCO PLANNING DEPARTMENT

Planning Department 1650 Mission Street Suite 400 San Francisco, CA 94103-9425

T: 415.558.6378 F: 415.558.6409

AFFIDAVIT FOR Compliance with the Inclusionary Affordable Housing Program

Date: January 11, 2013

To: Applicants subject to Planning Code Section 415: Inclusionary Affordable Housing Program

From: San Francisco Planning Department

Re: Compliance with the Inclusionary Affordable Housing Program

All projects that involve five or more new dwelling units must participate in the Inclusionary Affordable Housing Program contained in Section 415 of the Planning Code. Every project subject to Section 415 must pay an Affordable Housing Fee that is equivalent to the applicable percentage of the number of units in the principal project, which is 20% of the total number of units proposed (or the applicable percentage if subject to different area plan controls or requirements).

A project may be eligible for an Alternative to the Affordable Housing Fee if the developer chooses to commit to sell the new on- or off-residential units rather than offer them as rental units. Second, the project may be eligible for an Alternative to the Affordable Housing Fee if it has demonstrated to the Planning Department that the affordable units are not subject to the Costa Hawkins Rental Housing Act. All projects that can demonstrate that they are eligible for an alternative to the Affordable Housing Fee must provide the necessary documentation to the Planning Department and the Mayor's Office of Housing. Additional material may be required to determine if a project is eligible to fulfill the Program's requirements through an alternative.

Before the Planning Department and/or Planning Commission can act on the project, this Affidavit for Compliance with the Inclusionary Affordable Housing Program must be completed.

1 California Civil Code Section 1954.50 et.a

Affidavit for Compliance with the Inclusionary Affordable Housing Program: Planning Code Section 415

2/11/15 Date

I, <u>Charles Shin</u>, do hereby declare as follows:

a. The subject property is located at (address and block/lot):

1198 Valencia :	Street	3635/014
Address		Block / Lot

b. The proposed project at the above address is subject to the Inclusionary Affordable Housing Program, Planning Code Section 415 et seq.

The Planning Case Number and/or Building Permit Number is:

2012.0865C	n/a	
Planning Case Number	Building Permit Number	

This project requires the following approval:

- I Planning Commission approval (e.g. Conditional Use Authorization, Large Project Authorization)
- This project is principally permitted.

The Current Planner assigned to my project within the Planning Department is:

Doug	Vu
------	----

Planner Name

Is this project within the Eastern Neighborhoods Plan Area?

X Yes (if yes, please indicate Tier) ______ Tier 1

No No

This project is exempt from the Inclusionary Affordable Housing Program because:

- This project uses California Debt Limit Allocation Committee (CDLAC) funding.
- This project is 100% affordable.

c. This project will comply with the Inclusionary Affordable Housing Program by:

- Payment of the Affordable Housing Fee prior to the first site or building permit issuance (Planning Code Section 415.5).
- X On-site or Off-site Affordable Housing Alternative (Planning Code Sections 415.6 and 416.7).

- d. If the project will comply with the Inclusionary Affordable Housing Program through an **On-site** or **Off-site Affordable Housing Alternative**, please fill out the following regarding how the project is eligible for an alternative and the accompanying unit mix tables on page 4.
 - Solution Ownership. All affordable housing units will be sold as ownership units and will remain as ownership units for the life of the project.
 - Rental. Exemption from Costa Hawkins Rental Housing Act.² The Project Sponsor has demonstrated to the Department that the affordable units are not subject to the Costa Hawkins Rental Housing Act, under the exception provided in Civil Code Sections 1954.50 though one of the following:
 - Direct financial contribution from a public entity.
 - Development or density bonus or other public form of assistance.
 - Development Agreement with the City. The Project Sponsor has entered into or has applied to enter into a Development Agreement with the City and County of San Francisco pursuant to Chapter 56 of the San Francisco Administrative Code and, as part of that Agreement, is receiving a direct financial contribution, development or density bonus, or other form of public assistance.
- e. The Project Sponsor acknowledges that failure to sell the affordable units as ownership units or to eliminate the on-site or off-site affordable ownership-only units at any time will require the Project Sponsor to:
 - (1) Inform the Planning Department and the Mayor's Office of Housing and, if applicable, fill out a new affidavit;
 - (2) Record a new Notice of Special Restrictions; and
 - (3) Pay the Affordable Housing Fee plus applicable interest (using the fee schedule in place at the time that the units are converted from ownership to rental units) and any applicable penalties by law.
- f. The Project Sponsor must pay the Affordable Housing Fee in full sum to the Development Fee Collection Unit at the Department of Building Inspection for use by the Mayor's Office of Housing prior to the issuance of the first construction document, with an option for the Project Sponsor to defer a portion of the payment to prior to issuance of the first certificate of occupancy upon agreeing to pay a deferral surcharge that would be deposited into the Citywide Affordable Housing Fund in accordance with Section 107A.13.3 of the San Francisco Building Code.
- g. I am a duly authorized officer or owner of the subject property.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct. Executed on this day in:

San Francisco	2/11/15
Location	Date
Clearles Shin e90780246394422	
Signature Charles Shin, Senior Project Manager	cc: Mayor's Office of Housing Planning Department Case Docket
Name (Print), Title	Historic File, if applicable Assessor's Office, if applicable
415-501-0962	
Contact Phone Number	

Unit Mix Tables

NUMBER OF ALL UNITS IN PRINCIPAL PROJECT:						
Total Number of Units SRO Studios One-Bedroom Units Two-Bedroom Units Three-Bedroom Units						
52	0	0	30	22	0	

If you selected an On-site or Off-Site Alternative, please fill out the applicable section below:

On-site Affordable Housing Alternative (Charter Section 16.110 (g) and Planning Code Section 415.6): calculated at 12% of the unit total.

NUMBER OF AFFORDABLE UNITS TO BE LOCATED ON-SITE						
Total Affordable Units	Total Affordable Units SRO Studios One-Bedroom Units Two-Bedroom Units Three-Bedroom Units					
6 0 0 3 3 0						

Off-site Affordable Housing Alternative (Planning Code Section 415.7): calculated at 20% of the unit total.

	NUMBER OF AFFORDABLE UNITS TO BE LOCATED OFF-SITE						
Total Affordable Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units		
Area of Dwellings in Principal Pro	ject (in sq. feet)	Off-Site Project	t Address				
Area of Dwellings in Off-Site Proje	ict (in sq. feet)						
		Marker Mr. 64			-Rate Units in the Off-site Project		
Off-Site Block/Lot(s)		Motion No. (if a	applicable)		-Hate Onts in the On-site Project		

Combination of payment of a fee, on-site affordable units, or off-site affordable units with the following distribution:

Indicate what percent of each option would be implemented (from 0% to 99%) and the number of on-site and/or off-site below market rate units for rent and/or for sale.

1. Fee _____ % of affordable housing requirement.

2. On-Site _____ % of affordable housing requirement.

NUMBER OF AFFORDABLE UNITS TO BE LOCATED ON-SITE							
Total Affordable Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units		

3. Off-Site

_____% of affordable housing requirement.

NUMBER OF AFFORDABLE UNITS TO BE LOCATED OFF-SITE					
Total Affordable Units	SRO	Studios	One-Bedroom Units	Two-Bedroom Units	Three-Bedroom Units
Area of Dwellings in Principal Pr	oject (in sq. feet) Off-Site Proj	ect Address		
Area of Dwellings in Off-Site Pro	iect (in sq. feet)		、		
Off-Site Block/Lot(s)		Motion No.	(if applicable)	Number of Market-	Rate Units in the Off-site Project
	nille (navatione) i Alice, alou de	W ZYTERE FEATURE (1990) IN THE FEATURE	Nation Nation Report Report Antonio Report 20 Sector (1997) III A. 1713	rishini Millanda (11187), a kalina kalin Kalina kalina	sing contractions of the first of the second se

CONTACT INFORMATION AND DECLARATION OF SPONSOR OF PRINCIPAL PROJECT	CONTACT INFORMATION AND DECLARATION OF SPONSOR OF OFF-SITE PROJECT (IF DIFFERENT)
Company Name	Company Name
JS Sullivan Development	
Print Name of Contact Person	Print Name of Contact Person
Charles Shin	
Address	Address
2044 Fillmore Street, 3rd Floor	
City, State, Zp	City, State, Zip
San Francisco, CA 94115	
Phone, Fax	Phone, Fax
415-501-0962	
Email	Emeil
c.shin@js-sullivan.com	
I hereby declare that the information herein is accurate to the best of my knowledge and that I intend to satisfy the requirements of Planning Code Section 415 as indicated above. DocuSigned by:	I hereby declare that the information herein is accurate to the best of my knowledge and that I intend to satisfy the requirements of Planning Code Section 415 as indicated above.
(Charles Shin	
StgnatQRD78DB4639A42A	Signature
Charles Shin, Senior Project Manager	
Name (Print), Title	Name (Print), Title



SAN FRANCISCO

DEPARTMENT

AFFIDAVIT FOR FIRST SOURCE HIRING PROGRAM Administrative Code Chapter 83

1650 Mission Street, Suite 400 • San Francisco CA 94103-2479 • 415.558.6378 • http://www.sfplanning.org

Section 1: Project Information

PROJECT ADDRESS				BLOCK/LOT(S)	
1198 Valencia Stree		3635	/014		
BUILDING PERMIT APPLICATION NO.		CASE NO. (IF APPLIC	ABLE)	MOTION NO. (IF	F APPLICABLE)
201507141495		2012.0865C			
PROJECT SPONSOR		MAIN CONTACT		PHONE	
JS Sullivan Develor	pment	Nick Cranmer		415-501-0931	
ADDRESS				1	
2044 Fillmore Stree	et 3rd Flo	or			
CITY, STATE, ZIP			EMAIL		
San Francisco, CA 9	94115		n.cranme	r@js-sul	livan.com
ESTIMATED RESIDENTIAL UNITS	SIDENTIAL UNITS ESTIMATED SQ FT COMMERCIAL SPACE			OORS	ESTIMATED CONSTRUCTION COST
49	5,000 SF		55	ft	\$6 million
ANTICIPATED START DATE					
2nd Quarter 2016					

Section 2: First Source Hiring Program Verification

CHECK	ALL BOXES APPLICABLE TO THIS PROJECT
	Project is wholly Residential
	Project is wholly Commercial
X	Project is Mixed Use
X	A: The project consists of ten (10) or more residential units;
	B: The project consists of 25,000 square feet or more gross commercial floor area.
	C: Neither 1A nor 1B apply.
Depa If you Depa to Ad For q visit v If the	I checked C , this project is <u>NOT</u> subject to the First Source Hiring Program. Sign Section 4: Declaration of Sponsor of Project and submit to the Planning rtment. I checked A or B , your project <u>IS</u> subject to the First Source Hiring Program. Please complete the reverse of this document, sign, and submit to the Planning rtment prior to any Planning Commission hearing. If principally permitted, Planning Department approval of the Site Permit is required for all projects subject ministrative Code Chapter 83. uestions, please contact OEWD's CityBuild program at CityBuild@sfgov.org or (415) 701-4848. For more information about the First Source Hiring Program <i>www.workforcedevelopmentsf.org</i> project is subject to the First Source Hiring Program, you are required to execute a Memorandum of Understanding (MOU) with OEWD's CityBuild program prior peiving construction permits from Department of Building Inspection.

1

Section 3: First Source Hiring Program – Workforce Projection

Per Section 83.11 of Administrative Code Chapter 83, it is the developer's responsibility to complete the following information to the best of their knowledge.

Provide the estimated number of employees from each construction trade to be used on the project, indicating how many are entry and/or apprentice level as well as the anticipated wage for these positions.

Check the anticipated trade(s) and provide accompanying information (Select all that apply):

TRADE/CRAFT	ANTICIPATED JOURNEYMAN WAGE	# APPRENTICE POSITIONS	# TOTAL POSITIONS	TRADE/CRAFT	ANTICIPATED JOURNEYMAN WAGE	# APPRENTICE POSITIONS	# TOTAL POSITIONS
Abatement Laborer				Laborer		0	5
Boilermaker				Operating Engineer		0	2
Bricklayer				Painter		0	5
Carpenter		4	12	Pile Driver			
Cement Mason		0	4	Plasterer			
Drywaller/ Latherer		3	15	Plumber and Pipefitter		0	7
Electrician		2	8	Roofer/Water proofer		0	5
Elevator Constructor		0	3	Sheet Metal Worker		0	3
Floor Coverer		0	5	Sprinkler Fitter		0	3
Glazier		0	5	Taper		1	5
Heat & Frost Insulator		0	б	Tile Layer/ Finisher		0	5
Ironworker		0	8	Other:			
		TOTAL:	66			TOTAL:	40
1. Will the antici	pated employee c	ompensation	by trade b	be consistent with a	area Prevailing Wag	YE	
	ded contractor(s) p epartment of Indu			ticeship program a	pproved by the Sta	ate of	
-	d retention goals f] X 40

4. What is the estimated number of local residents to be hired?

Section 4: Declaration of Sponsor of Principal Project

PRINT NAME AND TITLE OF AUTHORIZED REPRESENTATIVE	EMAIL	PHONE NUMBER
Charles Shin	c.shin@js-sullivan.com	415-501-0962
I HEREBY DECLARE THAT THE INFORMATION PROVIDED HEREIN IS ACCUR CITYBUILD PROGRAM TO SATISFY THE REQUIREMENTS OF ADMINISTRATIV DocuSigned by:	/E CODE CHAPTER 83.	
Charles Shin	ç	0/22/15
(SIGNATURE OF AUTHORIZED REPRESENTATIVE)		(DATE)
FOR PLANNING DEPARTMENT STAFF ONLY: PLEASE EMAIL AN ELECTRONIC OEWD'S CITYBUILD PROGRAM AT CITYBUILD@SFGOV.ORG Cc: Office of Economic and Workforce Development, CityBuild Address: 1 South Van Ness 5th Floor San Francisco, CA 94103 Phoebsite: www.workforcedevelopmentsf.org Email: CityBuild@sfgov.	ne: 415-701-4848	SOURCE HIRING PROGRAM TO



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Determination EXEMPTION FROM ENVIRONMENTAL REVIEW

Case No.:	2012.0865E
Project Address:	1198 Valencia Street
Zoning:	Valencia NCT (Neighborhood Commercial Transit) District
	55-X
Block/Lot:	3635/014
Lot Size:	14,374 square feet (sf)
Plan Area:	Eastern Neighborhoods Area Plan
Project Sponsor:	JS Sullivan Development
Staff Contact:	Laura Lynch; (415) 575-9045; Laura.Lynch@sfgov.org

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Reception: 415.558.6378

Fax: 415.558.6409

Planning Information: **415.558.6377**

PROJECT DESCRIPTION

The project site is within the Mission Area Plan and was evaluated as part of the Eastern Neighborhoods Rezoning & Area Plans Programmatic Final Environmental Impact Report (PEIR) (see Figure 1. Project Location). The project site is located at 1198 Valencia Street, on Assessor's block 3635, lot 014 on a corner parcel with frontages along San Jose Avenue, Valencia and 23rd Streets. The lot size is approximately 14,400 sf. The project site is located within the Valencia Street Neighborhood Commercial Transit Use District and the 55-X height and bulk district. The project site is well served by transit and is located approximately three blocks from the 24th Street BART Station.

(Continued on next page.)

EXEMPT STATUS

Exempt per Section 15183 of the California Environmental Quality Act (CEQA) Guidelines and California Public Resources Code Section 21083.3

DETERMINATION

I do hereby sertify that the above determination has been made pursuant to State and Local requirements.

SARAH B. JONES **Environmental Review Officer**

Joly 31, 2015

cc: JS Sullivan Development, Project Sponsor; Supervisor Scott Wiener, District 8; Doug Vu, Current Planning Division; Virna Byrd, M.D.F.; Exemption/Exclusion File

PROJECT DESCRIPTION (continued)

The site is currently occupied by a vacant service station; the only structures on site include an overhang, above ground storage tanks and a shed. The project site is currently undergoing site remediation and the above ground storage tanks are to be removed. The project is currently fenced off and has no public access. The project site contains three abandoned curb cuts from the previous use as a service station, one along 23rd Street and two on Valencia Street. The site is minimally vegetated with non-native shrubbery.

The project sponsor, JS Sullivan Development, proposes to demolish the existing structures at 1198 Valencia Street and construct a five story, 55 foot-tall mixed-use building. The project would provide 52 residential dwelling units and 5,300 sf of ground floor retail. The project would provide a mix of unit types including 31 one-bedroom and 21 two-bedroom units. The project would also provide approximately 4,800 sf of common open space and 2,253 sf of private open space.

The project would include a below grade garage providing off-street parking for 39 vehicles and 52 Class I bicycle parking spaces. Three Class II bicycle parking spaces would be along Valencia Street. Access to the garage would be via a curb cut along 23rd Street.

Construction activities would include demolition, excavation, and below and above grade construction. Project construction is expected to last 18 months. Construction activities would require excavation to a depth of approximately 12-14 ft below grade and 6,500 cubic yards of soil disturbance.

PROJECT APPROVAL

Pursuant to Planning Code Section 121.1, the project would require a Conditional Use authorization by the San Francisco Planning Commission. Approval by the Planning Commission would constitute the Approval Action for the proposed project. The Approval Action date establishes the start of the 30-day appeal period for this CEQA exemption determination pursuant to Section 31.04(h) of the San Francisco Administrative Code.

COMMUNITY PLAN EXEMPTION OVERVIEW

California Public Resources Code Section 21083.3 and CEQA Guidelines Section 15183 provide an exemption from environmental review for projects that are consistent with the development density established by existing zoning, community plan or general plan policies for which an Environmental Impact Report (EIR) was certified, except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the project or its site. Section 15183 specifies that examination of environmental effects shall be limited to those effects that: a) are peculiar to the project or parcel on which the project would be located; b) were not analyzed as significant effects in a prior EIR on the zoning action, general plan or community plan with which the project is consistent; c) are potentially significant off-site and cumulative impacts that were not discussed in the underlying EIR; or d) are previously identified in the EIR, but which, as a result of substantial new information that was not known at the time that the EIR was certified, are determined to have a more severe adverse impact than that discussed in the underlying EIR. Section 15183(c) specifies that if an impact is not peculiar to the parcel or to the proposed project, then an EIR need not be prepared for the project solely on the basis of that impact.

This determination evaluates the potential project-specific environmental effects of the 1198 Valencia Street project described above, and incorporates by reference information contained in the Programmatic

EIR for the Eastern Neighborhoods Rezoning and Area Plans (PEIR)¹. Project-specific studies were prepared for the proposed project to determine if the project would result in any significant environmental impacts that were not identified in the Eastern Neighborhoods PEIR.

After several years of analysis, community outreach, and public review, the Eastern Neighborhoods PEIR was adopted in December 2008. The Eastern Neighborhoods PEIR was adopted in part to support housing development in some areas previously zoned to allow industrial uses, while preserving an adequate supply of space for existing and future production, distribution, and repair (PDR) employment and businesses. The Eastern Neighborhoods PEIR also included changes to existing height and bulk districts in some areas, including the project site, increasing the height from 50 to 55ft.

The Planning Commission held public hearings to consider the various aspects of the proposed Eastern Neighborhoods Rezoning and Area Plans and related Planning Code and Zoning Map amendments. On August 7, 2008, the Planning Commission certified the Eastern Neighborhoods PEIR by Motion 17659 and adopted the Preferred Project for final recommendation to the Board of Supervisors.^{2,3}

In December 2008, after further public hearings, the Board of Supervisors approved and the Mayor signed the Eastern Neighborhoods Rezoning and Planning Code amendments. New zoning districts include districts that would permit PDR uses in combination with commercial uses; districts mixing residential and commercial uses and residential and PDR uses; and new residential-only districts. The districts replaced existing industrial, commercial, residential single-use, and mixed-use districts.

The Eastern Neighborhoods PEIR is a comprehensive programmatic document that presents an analysis of the environmental effects of implementation of the Eastern Neighborhoods Rezoning and Area Plans, as well as the potential impacts under several proposed alternative scenarios. The Eastern Neighborhoods Draft EIR evaluated three rezoning alternatives, two community-proposed alternatives which focused largely on the Mission District, and a "No Project" alternative. The alternative selected, or the Preferred Project, represents a combination of Options B and C. The Planning Commission adopted the Preferred Project after fully considering the environmental effects of the Preferred Project and the various scenarios discussed in the PEIR.

A major issue of discussion in the Eastern Neighborhoods rezoning process was the degree to which existing industrially-zoned land would be rezoned to primarily residential and mixed-use districts, thus reducing the availability of land traditionally used for PDR employment and businesses. Among other topics, the Eastern Neighborhoods PEIR assesses the significance of the cumulative land use effects of the rezoning by analyzing its effects on the City's ability to meet its future PDR space needs as well as its ability to meet its housing needs as expressed in the City's General Plan.

As a result of the Eastern Neighborhoods rezoning process, the project site has been rezoned to NCT (Valencia Street Neighborhood Commercial Transit) District, which promotes moderate-scale buildings, mixed-use housing, and a flexible mix of smaller neighborhood-serving retail and commercial uses that can take advantage of major transit investments in the Mission District area. New neighborhood-serving commercial development is encouraged mainly at the ground story. Most (although not all) PDR uses are not allowed in the Valencia Street Neighborhood Commercial Transit District. The proposed project and

¹ Planning Department Case No. 2004.0160E and State Clearinghouse No. 2005032048

²San Francisco Planning Department. Eastern Neighborhoods Rezoning and Area Plans Final Environmental Impact Report (FEIR), Planning Department Case No. 2004.0160E, certified August 7, 2008. Available online at: <u>http://www.sf-planning.org/index.aspx?page=1893</u>, accessed August 17, 2012.

³ San Francisco Planning Department. San Francisco Planning Commission Motion 17659, August 7, 2008. Available online at: <u>http://www.sf-planning.org/Modules/ShowDocument.aspx?documentid=1268</u>, accessed August 17, 2012.

its relation to PDR land supply and cumulative land use effects is discussed further in the Community Plan Exemption (CPE) Checklist, under Land Use. The 1198 Valencia Street site, which is located in the Mission District of the Eastern Neighborhoods, was designated as a site with building up to 55 feet in height.

Individual projects that could occur in the future under the Eastern Neighborhoods Rezoning and Area Plans will undergo project-level environmental evaluation to determine if they would result in further impacts specific to the development proposal, the site, and the time of development and to assess whether additional environmental review would be required. This determination concludes that the proposed project at 1198 Valencia Street is consistent with and was encompassed within the analysis in the Eastern Neighborhoods PEIR. This determination also finds that the Eastern Neighborhoods PEIR adequately anticipated and described the impacts of the proposed 1198 Valencia Street project, and identified the mitigation measures applicable to the 1198 Valencia Street project. The proposed project is also consistent with the zoning controls and the provisions of the Planning Code applicable to the project site.^{4,5} Therefore, no further CEQA evaluation for the 1198 Valencia Street project is required. In sum, the Eastern Neighborhoods PEIR and this Certificate of Exemption for the proposed project comprise the full and complete CEQA evaluation necessary for the proposed project.

PROJECT SETTING

The fully developed project block, bounded by Valencia Street on the east, 23rd Street on the south, San Jose Avenue on the west, and 22rd Street on the north, is largely characterized by two to five story residential buildings of varying ages, along with scattered warehouse, commercial and retail structures of varying ages and architectural design. To the immediate north is a three-story residential/commercial building and to the west parcels are zoned as Residential-Mixed, low density (RM-1) providing a number of low density residential buildings, this area generally consists of two-four story buildings. Horace Mann Middle School is located across the street from the project site on the southeast corner of Valencia and 23rd Streets and City College of San Francisco Mission Campus is located along Valencia Street.

The Valencia Street District provides a limited selection of convenience goods for surrounding residents and also serves a wider trade area with retail and wholesale home furnishings and appliance outlets and several automobile-related businesses. Eating and drinking establishments contribute to the street's mixed-use character and activity in the evening hours. The NCT zoning district encourages transitsupportive housing development in new buildings above the ground story.

POTENTIAL ENVIRONMENTAL EFFECTS

The Eastern Neighborhoods PEIR included analyses of environmental issues including: land use; plans and policies; visual quality and urban design; population, housing, business activity, and employment (growth inducement); transportation; noise; air quality; parks, recreation and open space; shadow; archeological resources; historic architectural resources; hazards; and other issues not addressed in the previously issued initial study for the Eastern Neighborhoods Rezoning and Area Plans. The proposed

⁴ Adam Varat, San Francisco Planning Department, Community Plan Exemption Eligibility Determination, Citywide Planning and Policy Analysis, 1198 Valencia, December 17, 2014. This document is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File No. 2012.0865E.

⁵ Jeff Joslin, San Francisco Planning Department, Community Plan Exemption Eligibility Determination, Current Planning Analysis, 1198 Valencia, January 15, 2015. This document is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File No. 2012.0865E.

1198 Valencia Street project is in conformance with the height, use and density for the site described in the Eastern Neighborhoods PEIR and would represent a small part of the growth that was forecast for the Eastern Neighborhoods plan areas. Thus, the plan analyzed in the Eastern Neighborhoods PEIR considered the incremental impacts of the proposed 1198 Valencia Street project. As a result, the proposed project would not result in any new or substantially more severe impacts than were identified in the Eastern Neighborhoods PEIR.

Significant and unavoidable impacts were identified in the Eastern Neighborhoods PEIR for the following topics: land use, historic architectural resources, transportation and circulation, and shadow. Land use impacts were related to the cumulative loss of existing PDR (Production, Distribution, and Repair) space due to the implementation of the Eastern Neighborhoods Area Plan. As a result of the adoption of the Plan, the project site and immediate area were rezoned to Valencia NCT and a mix of uses including residential use was anticipated. The proposed project would not eliminate any existing PDR space. Therefore, this would not constitute a substantial contribution to the significant and unavoidable cumulative land use impact identified in the Eastern Neighborhoods PEIR. The proposed project would not have a substantial contribution to the significant and unavoidable impacts identified in the Eastern Neighborhoods PEIR on transportation and circulation because of the relatively small number of transit and vehicle trips that the project would generate. The proposed project would not considerably contribute to significant and unavoidable historic resource impacts identified in the PEIR, as the project site was constructed less than 45 years ago and is ineligible for inclusion in national, state, or local historic registers and determined not to be a historic resource. Lastly, the proposed project would not cast new shadow on parks and open spaces under the jurisdiction of the Recreation and Parks Department, as determined by the Planning Department. Therefore, the proposed project would not contribute to significant and unavoidable shadow impacts identified in the PEIR.

The Eastern Neighborhoods PEIR identified feasible mitigation measures to address significant impacts related to noise, air quality, archeological resources, historical resources, hazardous materials, and transportation. **Table 1** below lists the mitigation measures identified in the Eastern Neighborhoods PEIR and states whether each measure would apply to the proposed project.

Mitigation Measure	Applicability	Compliance
F. Noise		
F-1: Construction Noise (Pile Driving)	Not Applicable: pile driving not proposed.	N/A
F-2: Construction Noise	Applicable: temporary construction noise from use of heavy equipment.	The project sponsor has agreed to develop and implement a set of noise attenuation measures during construction.
F-3: Interior Noise Levels	Not Applicable: mitigation measure applies to single- family housing projects, whereas the proposed project is	N/A

 Table 1 – Eastern Neighborhoods PEIR Mitigation Measures

Mitigation Measure	Applicability	Compliance
	a multi-family project.	
F-4: Siting of Noise-Sensitive Uses	Applicable: project includes noise-sensitive uses.	The project sponsor has conducted and submitted a detailed analysis of noise reduction requirements.
F-5: Siting of Noise-Generating Uses	Not Applicable: project does not include noise-generating uses.	N/A
F-6: Open Space in Noisy Environments	Applicable: project includes open space in a noisy environment and proposes noise-sensitive uses.	The project sponsor has conducted and submitted a detailed analysis of proposed measures to reduce noise on the proposed roof terrace.
G. Air Quality		
G-1: Construction Air Quality	Not Applicable: The portion of G-1 relating to construction dust is applicable but superseded by the Construction Dust Control Ordinance (Health Code Article 22B), with which the sponsor must comply. The portion of G-1 relating to diesel PM is not applicable as the project site is not within an identified Air Pollutant Exposure Zone.	N/A
G-2: Air Quality for Sensitive Land Uses	Not Applicable: the project is not located within an area subject to Article 38 of the San Francisco Health Code.	N/A
G-3: Siting of Uses that Emit DPM	Not Applicable: proposed residential use would not emit substantial levels of DPM.	N/A
G-4: Siting of Uses that Emit other TACs	Not Applicable: proposed residential use would not emit substantial levels of other TACs.	N/A
J. Archeological Resources		

Mitigation Measure	Applicability	Compliance
J-1: Properties with Previous Studies	Not Applicable: project site is not located within this mitigation zone.	N/A
J-2: Properties with no Previous Studies	Applicable: the project site is a property with no previous archeological study.	The project underwent a preliminary archeology review and the Planning Department's archeologist determined that the proposed project requires the preparation of an archeological monitoring program (AMP).
J-3: Mission Dolores Archeological District	Not Applicable: project site not located within this mitigation zone.	N/A
K. Historical Resources		
K-1: Interim Procedures for Permit Review in the Eastern Neighborhoods Plan Area	Not Applicable: plan-level mitigation completed by Planning Department	N/A
K-2: Amendments to Article 10 of the Planning Code Pertaining to Vertical Additions in the South End Historic District (East SoMa)	Not Applicable: plan-level mitigation completed by Planning Commission	N/A
K-3: Amendments to Article 10 of the Planning Code Pertaining to Alterations and Infill Development in the Dogpatch Historic District (Central Waterfront)	Not Applicable: plan-level mitigation completed by Planning Commission	N/A
L. Hazardous Materials		
L-1: Hazardous Building Materials	Applicable: project would involve the demolition of a previous gas station on-site and would potentially require the disposal of hazardous building materials.	The project sponsor has agreed to submit a workplan to the Department of Public Health to conduct a subsurface investigation prior to the issuance of the Building Permit
E. Transportation		
E-1: Traffic Signal Installation	Not Applicable: plan-level mitigation by San Francisco Municipal Transportation	N/A

Mitigation Measure	Applicability	Compliance
	Agency (SFMTA)	
E-2: Intelligent Traffic Management	Not Applicable: plan-level mitigation by SFMTA	N/A
E-3: Enhanced Funding	Not Applicable: plan-level mitigation by SFMTA & San Francisco County Transportation Authority (SFTA)	N/A
E-4: Intelligent Traffic Management	Not Applicable: plan-level mitigation by SFMTA & Planning Department	N/A
E-5: Enhanced Transit Funding	Not Applicable: plan-level mitigation by SFMTA	N/A
E-6: Transit Corridor Improvements	Not Applicable: plan-level mitigation by SFMTA	N/A
E-7: Transit Accessibility	Not Applicable: plan-level mitigation by SFMTA	N/A
E-8: Muni Storage and Maintenance	Not Applicable: plan-level mitigation by SFMTA	N/A
E-9: Rider Improvements	Not Applicable: plan-level mitigation by SFMTA	N/A
E-10: Transit Enhancement	Not Applicable: plan-level mitigation by SFMTA	N/A
E-11: Transportation Demand Management	Not Applicable: plan-level mitigation by SFMTA	N/A

Please see the attached Mitigation Monitoring and Reporting Program (MMRP) for the complete text of the applicable mitigation measures. With implementation of these mitigation measures the proposed project would not result in significant impacts beyond those analyzed in the Eastern Neighborhoods PEIR.

PUBLIC NOTICE AND COMMENT

A "Notification of Project Receiving Environmental Review" was mailed on September 30th, 2014 to adjacent occupants and owners of properties within 300 feet of the project site. Overall, concerns and issues raised by the public in response to the notice were taken into consideration and incorporated in the environmental review as appropriate for CEQA analysis. A majority of the comments received were

regarding the number of parking spaces provided for the project. The project will be proposing to provide approximately 39 off street vehicle parking spaces, a number of parking spaces that is conditionally permitted per Section 151.1 of the San Francisco Planning Code. One neighbor expressed concern regarding the location of the proposed entrance/exit to the garage along 23rd Street, and its effect on circulation. However, the proposed project's vehicular circulation was reviewed by transportation planners within the San Francisco Planning Department, and provided recommendations to minimize circulation effects including reducing the number of curb-cuts on-site and consolidating vehicular access to a single curb-cut along 23rd Street. Neighbors also voiced concern regarding shadow on private property and public streets, this comment is addressed within the Community Plan Exemption Checklist. In addition neighbors had questions regarding public open space provided by the project and the Department of Public Health's process for site remediation. The proposed project would not result in significant adverse environmental impacts associated with the issues identified by the public beyond those identified in the Eastern Neighborhoods PEIR.

CONCLUSION

As summarized above and further discussed in the CPE Checklist⁶:

- 1. The proposed project is consistent with the development density established for the project site in the Eastern Neighborhoods Rezoning and Area Plans;
- 2. The proposed project would not result in effects on the environment that are peculiar to the project or the project site that were not identified as significant effects in the Eastern Neighborhoods PEIR;
- 3. The proposed project would not result in potentially significant off-site or cumulative impacts that were not identified in the Eastern Neighborhoods PEIR;
- 4. The proposed project would not result in significant effects, which, as a result of substantial new information that was not known at the time the Eastern Neighborhoods PEIR was certified, would be more severe than were already analyzed and disclosed in the PEIR; and
- 5. The project sponsor will undertake feasible mitigation measures specified in the Eastern Neighborhoods PEIR to mitigate project-related significant impacts.

Therefore, the proposed project is exempt from further environmental review pursuant to Public Resources Code Section 21083.3 and CEQA Guidelines Section 15183.

⁶ The CPE Checklist is available for review at the Planning Department, 1650 Mission Street, Suite 400, San Francisco, in Case File No. 2012.0826E.

From:	Latinzoneprod
То:	<u>Vu, Doug (CPC); c.shin@js-sullivan.com</u>
Cc:	rodney@waxmuseum.com
Subject:	1198 Valencia Street
Date:	Friday, September 18, 2015 6:39:15 PM

Doug

I am a parent at Buena Vista Horace Mann School and a resident of the Mission District.

We just learned today that the 52 units are begin proposed at 1198 Valencia Street

We were never informed about this project.

We request it not go to the Planning Commission due to failure to communicate with residents in the mission area.

This site is toxic due to being a gas station for over 40 years.

Roberto

Roberto Y. Hernandez 415.206.0577

From:	Eddie Stiel
To:	Vu, Doug (CPC)
Cc:	<u>c.shin@js-sullivan.com; Rahaim, John (CPC); Wiener, Scott; Michael Antonini; Rich Hillis; Christine Johnson;</u> <u>Kathrin Moore; Richards, Dennis (CPC); danieljayhirsch@gmail.com; Michael Petrelis;</u> <u>beau.evans1101@gmail.com; Joseph Smooke; webmaster@beyondchron.org; Randy Shaw;</u>
	jrichman@bayareanewsgroup.com; news@ebar.com; senglander52@gmail.com; missionlocal@gmail.com; julia.carrie.wong@gmail.com; editor@eltecolote.org; Lydia.Chavez@missionlocal.com; rebecca.bowe@gmail.com; cweinberg@bizjournals.com; sanfrancisco@bizjournals.com; jsabatini@sfexaminer.com; newstips@sfexaminer.com; jlamb@sfexaminer.com; Tim Redmond; Joe Fizgerald Rodriguez; George McIntire
Subject:	1198 Valencia Street; Case No. : 2012.0865C, VAR
Date:	Monday, September 21, 2015 10:18:34 AM

Dear Mr. Vu;

I live at 2887 Folsom Street and have lived in the Mission District as a renter continuously since January, 1992, although twice no-fault evicted.

I am requesting that you require the developer of the proposed 52 unit condominium project at 1198 Valencia Street hold an open community meeting at a time and place convenient to neighborhood residents before the Planning Department or the Planning Commission takes action on this project.

The Planning Department and Commission have scheduled Conditional Use Authorization for 1198 Valencia at the October 1, 2015 Commission hearing. However, none of my Mission District friends or colleagues recalls any community meeting about this proposed development nor can I find any reports of such a meeting.

So the project is less than two weeks from approval, and neighborhood residents remain in the dark. In fact, the Notice of Public Hearing states, "The plans and Department recommendation of the proposed project will be available one week prior to the hearing..."

Obviously, information becoming available seven days before approval of such a large project with direct and indirect effects on neighborhood character and housing affordability is laughably insufficient.

Accordingly, I expect you to require the project sponsor to immediately schedule an open community meeting about the proposed 1198 Valencia Street development.

I look forward to your reply and to the community meeting.

Sincerely, Edward Stiel

From:	Andy Blue
To:	Vu, Doug (CPC)
Cc:	c.shin@js-sullivan.com; Wiener, Scott; Kathrin Moore; Richards, Dennis (CPC); Christine Johnson; Rich Hillis;
	Rahaim, John (CPC); Michael Antonini
Subject:	1198 Valencia Street; Case No. : 2012.0865C, VAR
Date:	Tuesday, September 22, 2015 11:49:51 AM

Dear Mr. Vu:

I am writing on behalf of the <u>Plaza 16 Coalition</u>. We are a coalition of more than one hundred community, faith-based, labor, and merchant organizations advocating for affordable housing and opposing further market-rate and luxury development in the Mission District until affordable needs are met.

The Plaza 16 Coalition requests that you require the developer of the proposed 52 unit condominium project at 1198 Valencia Street hold an open community meeting at a time and place convenient to neighborhood residents before the Planning Department or the Planning Commission takes action on this project.

No one in Plaza 16, Calle 24, Our Mission No Eviction, etc. can recall being informed on this project until recent days. With the gentrification/displacement crisis methodically destroying the community and culture of the Mission District, it is essential that the community be adequately informed and engaged in all development decisions in the neighborhood.

Plaza 16 also wishes to state its opposition to the 1198 Valencia Street project. Our coalition along with several other organizations and thousands of Mission residents and merchants have stated repeatedly for at least the past two years, **the Mission district needs affordable housing, not more luxury/market-rate projects.** These projects are only exacerbating an affordability and displacement crisis by driving up property values and rents and contributing to speculation, tenant buyouts, and evictions.

Even after passage of Prop K last November, repeatedly, with the Planning Department's complicity, we see developers putting forward projects with minimal BMR units with few, if any on-site BMRs. Only under massive community pressure do developers consider including more BMR units, and never enough to meet the increased demand for affordable units that these projects create.

The Planning Department exists to serve the residents of the City and County of San Francisco, not to promote the interests of developers. The Planning Department must stop assisting developers in putting forward projects that offer minimal BMR units, eliminate precious PDR space, and that do not serve the existing community.

Sincerely,

Andy Blue 275 Dolores Street SF, CA

From:	marta sanchez
To:	<u>Vu, Doug (CPC)</u>
Subject:	1198 Valencia
Date:	Friday, September 18, 2015 4:13:21 PM

I'm writing to object to the plan to put 52 luxury units at 1198 Valencia. How may seniors will get evicted this time? How much more will be added to the 3000 homeless children. The mission belongs to families, and what is happening to this City is an embarrassment. I'm a 3 generation San Francisco and am no longer proud of that.

I am demanding a community meeting so that I can tell these cut throat builders that there is no excuse for the disgusting displacement they are contributing too.

Martha Sanchez

From:	Laura Guzman
To:	Vu, Doug (CPC)
Cc:	Andy Blue
Subject:	Luxury development at 1198 Valencia Street
Date:	Friday, September 18, 2015 4:12:25 PM
Importance:	High

Hi Mr. Vu:

We were just made aware that a developer is proposing 52 luxury units at 1198 Valencia Street (on the corner of 23rd Street) across from Buena Vista Horace Mann School, without any community outreach or notice.

As Director of the Mission Neighborhood Resource Center and member of Plaza 16 Coalition we are opposing this development and demand that the developer meet with the community.

Please let us know next steps, Thank you, LG

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Dear planner,

I am a Mission resident for more than 15 years and I have seen the negative effects of the development of luxury condos in the Mission District particularly the Valencia corridor. A lot of residents mostly seniors and working class families have been evicted because landlords or real estate investors want to make a bigger profit with the newcomers. Local business are not able to stay open because the new rents have been double or triple. The 1198 Valencia project will be another luxury condo that will exacerbate displacement. The developer is asking for more parking space that is requiresd by the planning codes even though the location project is closed to public transportation. We the people in the Mission are demanding a stop in all the market rate developments. I hope you are aware of the community demands before recommending this project.

Thanks for your attention and for considering the community demands as you exercise your role as a public servant. Planning for people Not for profit

Dairo Romero 3009 Mission Street San Francisco CA 94110

From:	Georgiana Hernandez
To:	Vu, Doug (CPC)
Subject:	Proposed development at 1198 Valencia Street
Date:	Friday, September 18, 2015 4:47:06 PM

I'm writing to you to express my opposition to the proposed development of 52 luxury units at 1198 Valencia Street in the Mission District. Thousands of working class residents have already been forced out of our neighborhood because of rent increases and a lack of affordable housing.

Georgiana Hernández Executive Director Acción Latina (415) 648-1045, ext. 106 georgiana@accionlatina.org www.accionlatina.org

accionlatina.org | @accionlatinaSF | fb.com/AccionLatina

Hello - I just heard that there's a proposed development of 52 luxury units at 1198 Valencia and 23 st, right across from Buena Vista/Horace Mann Public School. I had no idea that this was happening and don't know if there's been any outreach to the community.

I've lived in the Mission for abut 40 years, have witnessed the devastating effects of gentrification and displacement. More luxury units will only exacerbate the problem. As a nurse, I'm documenting the health effects of evictions on tenants and expect that SF will soon have a health care crisis as well as a housing crisis.

Buena Vista/Horace Mann is a diverse community with many low-income students. Having luxury units across the street (not to mention along Valencia, which has become unaffordable for many SF residents) could have a demoralizing effect on students whose families are struggling to survive in SF while the children are trying to learn.

Please do not pass this proposal without extensive community input.

Thank you - Iris Biblowitz, RN

From:	<u>spike</u>
To:	Eddie Stiel
Cc:	newstips@sfexaminer.com; Randy Shaw; danieljayhirsch@gmail.com; Christine Johnson; Wiener, Scott; webmaster@beyondchron.org; Richards, Dennis (CPC); Vu, Doug (CPC); c.shin@js-sullivan.com; sanfrancisco@bizjournals.com; missionlocal@gmail.com; Kathrin Moore; senglander52@gmail.com; jsabatini@sfexaminer.com; beau.evans1101@gmail.com; Rich Hillis; julia.carrie.wong@gmail.com; Michael Petrelis; jlamb@sfexaminer.com; Michael Antonini; Joseph Smooke; Tim Redmond; jrichman@bayareanewsgroup.com; rebecca.bowe@gmail.com; George McIntire;
	Lydia.Chavez@missionlocal.com; Rahaim, John (CPC); cweinberg@bizjournals.com; news@ebar.com; Joe Fizgerald Rodriguez; editor@eltecolote.org
Subject: Date:	Re: 1198 Valencia Street; Case No. : 2012.0865C, VAR Monday, September 21, 2015 12:38:40 PM

Dear all

I, too, am a neighbor of this project, and as director of the Pacific Felt Factory, receive all neighborhood 311 and 312 notices for all projects in the Mission district. I did not receive any notice of any community meeting to date on this project. I reiterate Mr Stiel's letter below and would add that Planning staff be present at the community meetings to hear our concerns with yet another condo project unaffordable to 80% of SF residents.

On Sep 21, 2015 10:18 AM, "Eddie Stiel" <<u>eddiestiel@yahoo.com</u>> wrote: | Dear Mr. Vu;

I live at 2887 Folsom Street and have lived in the Mission District as a renter continuously since January, 1992, although twice no-fault evicted.

I am requesting that you require the developer of the proposed 52 unit condominium project at 1198 Valencia Street hold an open community meeting at a time and place convenient to neighborhood residents before the Planning Department or the Planning Commission takes action on this project.

The Planning Department and Commission have scheduled Conditional Use Authorization for 1198 Valencia at the October 1, 2015 Commission hearing. However, none of my Mission District friends or colleagues recalls any community meeting about this proposed development nor can I find any reports of such a meeting.

So the project is less than two weeks from approval, and neighborhood residents remain in the dark. In fact, the Notice of Public Hearing states, "The plans and Department recommendation of the proposed project will be available one week prior to the hearing..."

Obviously, information becoming available seven days before approval of such a large project with direct and indirect effects on neighborhood character and housing affordability is laughably insufficient.

Accordingly, I expect you to require the project sponsor to immediately schedule an open community meeting about the proposed 1198 Valencia Street development.

I look forward to your reply and to the community meeting.

Sincerely, Edward Stiel

From:	Rochelle Wald
To:	<u>Vu, Doug (CPC)</u>
Cc:	Wald, Rochelle
Subject:	Re: Protesting 1198 Valencia Development proposal
Date:	Monday, August 03, 2015 9:25:44 PM

Can you kindly send me the date and time and location of the Planning Commission hearing for the 1198 Valencia Development proposal.

I am uncertain if any of the tenants at 1195 or 1197 Valencia (all psychotherapists) will find it worth attending, but we are all vehemently against the development. Not welcomed at all for the reasons you are probably well aware of in your position. Cannot even imagine, with all of the politicking that goes on, that the Planning Commission genuinely cares the tenants and small businesses in the neighborhood that will be affected for months and months with gross noise levels and ultimately, light being blocked, more traffic and accommodations for wealthier tech young folks who could seem to care less about anything but their own needs.

Sincerely, Rochelle Wald, PhD, LCSW

From: "Laura Lynch (CPC)" <laura.lynch@sfgov.org>
To: "Rochelle Wald" <rochellewald@comcast.net>
Cc: "Doug Vu (CPC)" <doug.vu@sfgov.org>
Sent: Monday, August 3, 2015 4:06:42 PM
Subject: RE: Protesting 1198 Valencia Development proposal...

Yes, here it is. Doug.vu@sfgov.org

From: Rochelle Wald [mailto:rochellewald@comcast.net]
Sent: Monday, August 03, 2015 4:06 PM
To: Lynch, Laura (CPC)
Cc: Wald, Rochelle
Subject: Re: Protesting 1198 Valencia Development proposal...

Can you please send me Doug Vu's email address? Thank you!

From: "Laura Lynch (CPC)" <laura.lynch@sfgov.org>
To: "Rochelle Wald" <rochellewald@comcast.net>
Cc: "Nicolas Cranmer (n.cranmer@js-sullivan.com)" <n.cranmer@js-sullivan.com>
Sent: Monday, August 3, 2015 3:47:54 PM
Subject: RE: Protesting 1198 Valencia Development proposal

Hi Rochelle,

Nicolas Canmer, the project sponsor should be able to provide you with more accurate information regarding the construction schedule for the project. In addition Doug Vu, the Current Planner

assigned to the project, can provide you with the Planning Commission date for the hearing.

Best,

Laura C. Lynch | Planner San Francisco Planning Department | Code Enforcement 1650 Mission Street, Suite 400 | San Francisco, California, 94103 T: (415) 575-9045 | Web: www.sfplanning.org | laura.lynch@sfgov.org

From: Rochelle Wald [mailto:rochellewald@comcast.net]
Sent: Monday, August 03, 2015 2:44 PM
To: Lynch, Laura (CPC)
Cc: Rochelle Wald
Subject: Re: Protesting 1198 Valencia Development proposal

Dear Laura:

Thank you for sending this to me. Sounds like it will only be a matter of time before the project is approved.

Can you give me an idea when construction will begin? The tenants at 1195 & 1197 Valencia where we have psychotherapy offices and see many numbers of clients throughout the week are all immensely upset about the project! Our business works best for us and our clientele when there is as little noise/outside disturbance as possible! We understand and understood that there would be virtually nothing we could say or do to stop this project from being built.

I am speaking, again, for all of us at 1197 and 1195 Valencia Street when I tell you and JS Sullivan that we regret that this project will be moving forward and having such an adverse effect on us, our clientele and our environment.

Sincerely, Rochelle Wald, PhD, LCSW

From: "Laura Lynch (CPC)" <laura.lynch@sfgov.org>
To: "Rochelle Wald" <rochellewald@comcast.net>
Sent: Monday, August 3, 2015 1:29:50 PM
Subject: RE: Protesting 1198 Valencia Development proposal

Hi Rochelle,

The Community Plan Exemption was approved for the project. The link below provides you with the Certificate and Checklist for the project. The project has not been approved, the project will be

required to go to a hearing at the Planning Commission for final approval.

http://sf-planning.org/index.aspx?page=2780

Please let me know if you have any questions.

Best,

Laura C. Lynch | Planner San Francisco Planning Department | Code Enforcement 1650 Mission Street, Suite 400 | San Francisco, California, 94103 T: (415) 575-9045 | Web: www.sfplanning.org | laura.lynch@sfgov.org

From: Rochelle Wald [mailto:rochellewald@comcast.net]
Sent: Friday, October 10, 2014 4:58 PM
To: Lynch, Laura (CPC); n.cranmer@js-sullivan.com
Subject: Protesting 1198 Valencia Development proposal

Kindly open attached document.

From:	Amy Tanner
To:	Peter Khoury; ose Herrera; Michael S. Alexander; Lynch, Laura (CPC); Vu, Doug (CPC)
Cc:	Wiener, Scott
Subject:	Re: Thoughts on the 1198 Valencia Project
Date:	Thursday, September 10, 2015 9:29:11 AM

Dear Mr Cranmer, Supervisor Scott Wiener and SF Planning Department Staff

My name is Amy Tanner, I live a block away from the 1198 Valencia Street project. My biggest criticism of the 1198 project is that it includes only one 3-bedroom unit, and less than half of the units are 2-bedrooms. As a parent of two children in San Francisco, I am acutely aware of how difficult it is for families to stay in San Francisco. If we build all of our new housing stock to accommodate young single people, we only exacerbate the exodus of families. Over half of my daughter's preschool class left San Francisco this summer - many unable to find housing that could accommodate a growing family. It's depressing and distressing.

I urge you to include more 3-bedroom units, and more 2-bedroom units in the 1198 Valencia development. We need to provide for a diversity of living arrangements and not cater to the market of single young professionals that are flooding the Mission District. I hope you are a developer who believes not just in building sleek high end apartments, but in building community.

Sincerely,

Amy Tanner 3549 23rd Street San Francisco, CA 94110 415-517-5812

> From: Nicolas Cranmer <<u>n.cranmer@js-sullivan.com</u>> Date: August 13, 2015 at 3:51:53 PM PDT To: Peter Khoury <<u>peat@curious-peter-george.com</u>> Cc: Jose Herrera <<u>jvherrera@yahoo.com</u>>, "Michael S. Alexander" <<u>msa_sf@yahoo.com</u>>, "laura.lynch@sfgov.org" <<u>laura.lynch@sfgov.org</u>>, "<u>doug.vu@sfgov.org</u>" <<u>doug.vu@sfgov.org</u>> Subject: RE: Thoughts on the 1198 Valencia Project

Hi Peter,

Thank you for your email. I remember you from the Pre Application meeting. We appreciate your active participation in this process and agree that our building will be a great amenity for the neighborhood. Before I go into your comments, I want to provide a brief overview of the status of the project. On July 31st the Planning Department issued the Community Plan Exemption for our project concluding environmental review. And last week Doug Vu scheduled the project for a Planning Commission hearing on October 1st. Since you live in the neighborhood, you should receive a notice 20 days before the hearing confirming that our project will be discussed at that Planning Commission hearing. Below are our responses to your comments.

The Units Facing San Jose are Great

We agree. San Jose Street is completely different in character than Valencia Street, and we like the architect's approach for creating active residential uses on San Jose Street. Regarding the transformer, it appears we will be able to underground the transformer. We are working with PG&E to finalize the design of the UCD.

Differentiate Store Fronts

We agree. In a recent revision the architect setback the residential and commercial entries from the façade, which helps to start to differentiate the individual commercial spaces. We're open to further customization and differentiation of the commercial spaces by the tenants. We will also have the architect explore other concepts that you've suggested.

Allow the facade to be Arrhythmic

The architect has refined his design since it was presented in the preapplication meeting last year. While the overall design approach is generally the same, he has simplified the bay window system and window design, set back the bays at the fifth floor, given greater presence to the corner bays, pulled the overhangs to the pop-ups back to the property line (except at the corners), and designed a lower continuous overhang above the middle bays at the fifth floor that grounds the building and helps to make it look less massive.

Use paint and murals as a tool

We agree that the Mission is a unique neighborhood with wonderful murals. We will explore the opportunity to create more visual interest with paint or murals, or some other architectural element. One such element is the privacy fence that the architect has proposed for the ground floor units. Additionally, our architect has provided landscaped planters for the ground floors units on San Jose, and at the corner of San Jose and 23rd Street, which will soften the streetscape and is an opportunity to create additional visual interest.

Good Exterior Lighting

We agree. Our project will provide down lighting that lights the sidewalks surrounding the building.

Some Three Bedroom Units for Families

We will provide one three-bedroom unit located on the ground floor facing San Jose. The unit is approximately 1,500 SF and will have private open space. Additionally, more than 40 percent of the units in the project are 2-bedroom units (or larger) and average 950 square feet. Thank you for your comments. Please let me know if you have any additional comments or questions.

Best,

Nick Cranmer Project Manager

<image001.jpg>

2044 Fillmore Street, 3rd Floor San Francisco, CA 94115 Direct: 415-501-0931 Main: 415-206-1528 Fax: 415-206-1728

From: Peter Khoury [mailto:peat@curious-peter-george.com]
Sent: Monday, July 27, 2015 11:26 PM
To: laura.lynch@sfgov.org; Nicolas Cranmer <<u>n.cranmer@js-</u>
sullivan.com>; melissa@rg-architecture.com; doug.vu@sfgov.org
Cc: Jose Herrera <jvherrera@yahoo.com>; Michael S. Alexander
<<u>msa_sf@yahoo.com</u>>
Subject: Thoughts on the 1198 Valencia Project

I attended the pre-permitting meeting held for 1198 Valencia last October. I've been meaning ever since to put down my thoughts about the project. I finally managed to put something down in writing and hope that these thoughts can be taken into account as the project moves forward. The project is definitely big, but with thought and care both to the big picture and the small details I can see it being a good addition to the neighborhood. With a number of the issues below addressed I would be happy to actively support the project.

The Units Facing San Jose are Great

Having units facing San Jose Ave. with entries on street is wonderful. Activating this space is really important to the neighborhood and to making all sides of the building friendly. This is one of the most important things for us and we hope that you'll be able to underground the transformer for the building to maximize the residential space on this side of the building.

Differentiate Store Fronts

Allow for stores to substantially differentiate themselves from each other. This keeps the building from being perceived as a big monolith and makes for a much more interesting street along Valencia. Don't build the differentiation in. Instead allow the store occupant to make the difference with something as simple as paint. An excellent example of this is 888, 890, and 898 Valencia. These three stores are all part of the same building but some paint and some finish stonework allow for very different feels to each store front as you walk down the street. A poor example of this is 786, 788, and 798. These are all glass fronts that are very similar and don't allow for any differences in the way the front faces the street.

Allow the facade to be arrthymic

The renderings presented in October of last year looked good, but were repetitive which makes the building feel large. Changing the patterns of the cutouts in the bays so that they didn't repeat would go a long way to helping break up the building so it doesn't feel as large.

Use paint and murals as a tool

The mission is full of murals which real create a wonderful colorful vibe in the neighborhood. There is a mural on the wall of your property on San Jose avenue painted by some school kids. Its not the most artistic mural but its sweet. Its currently covered with graffiti but its the one thing about the abandoned gas station that still makes me smile. Put a mural on your building and you'll stand out from all the other modern buildings going up now and you'll be authentic to the mission at least as much if not more than the bay window cutouts. If you don't put a mural on the building at least be creative with the paint used. A good creative paint job can make a building stand out almost as much if not more than fancy finishes.

Good Exterior Lighting

We'd really like to see good pedestrian scale lighting that looks good and helps safety. The lights should light the sidewalk and your building but not blare into neighbors houses across the street. The lighting used by the back side of the Salvation Army is *not* neighbor friendly.

Some Three Bedroom Units for families

I would really like to see the building be more diverse in the types of units it offers. I would like to see at least the possibility of some families living in the 1198 Valencia. This won't happen with just 1 and 2 bedroom units. It seems like a small number of 3 bedroom units could be created to give the building at least a little more diversity to the types of people who live there.

I would love to hear your feedback on these ideas. Also could you please put me on a list to let me know how the project is developing and at what points community input will be sought?

Best Regards, Peter Khoury 3549 23rd St.

From:	Peter Khoury		
To:	<u>Vu, Doug (CPC); Nicolas Cranmer</u>		
Cc:	Amy Tanner		
Subject:	Re: Thoughts on the 1198 Valencia Project		
Date:	Thursday, September 10, 2015 11:12:59 PM		
Attachments:	ATT00001.htm		
	<u>ATT00002.htm</u>		

Hi Nicolas and Doug,

I had a chance to go by the planning department and look at the new plans and think about Nicolas' original responses. Here are my thoughts.

Diversity of units- Add 3 Bedroom and Studios

I'm going to echo my wife, Amy Tanner's, concerns and say that I would really like to see a diversity of types of units in 1198 Valencia. I believe that the building will have some units set aside for affordable housing which will add to the diversity of people living there, and I appreciate that, but I would like to see some real diversity in the market rate units too. I really think there should be not just a single 3 bedroom unit but a couple of other 3 bedroom units as well as some studios. This would allow for a critical mass of families to be in the building as well as a few people who might not be able to afford a 1 bedroom in the city but could manage to stay in a smaller space.

Building Design- Don't worry about being massive focus on being interesting

Its OK to be a big building as long as the street level is interesting and the facade is interesting. I'm not interested in the attempts to try and disguise the fact that this is a massive building. I'm much more interested in having a building that has really interesting street level details and whose facade is interesting to look at.

Building Design- 888 - 890 Valencia a good model

I looked for a building on Valencia that was at the scale of 1198 and which I really liked. The building on the northwest corner of Valencia and 20th is a 5 story building that looks good on the street and is a good neighbor. Even though 888-890 Valencia is a completely different style to 1198 Valencia it still contains many lessons for this project. Here is what I take from that building

Store Fronts- Architectural detail should separate building facade from store front

I've attached a picture of the junction between two store fronts 888 and 890 Valencia. Notice that there is architectural detail that separates the massive building from the store front and that the two stores have significantly altered their store fronts within this detail. Very few if any new buildings have any of this detail and it means that in these new buildings all the store fronts blend together in one mass and that the street scape isn't interesting. A particularly bad example of this is 786, 788 and 798 Valencia. Please please add some of this type of detail to separate the store front from the facade to allow this type of store front customization.

Facade- Add more detail or some surprise to the facade

One thing that makes 888/890 Valencia work is the level of intricate detail on the facade of the building. As 1198 Valencia currently stands the facade can be read too easily. The design that Doug sent me as a soft copy is not the design that I remember seeing at the planning office which had some screens in front. However both the soft copy and hard copy design can be taken in and absorbed very quickly. I'm going to pass by this building every day and I want some aspect(s) of the building that takes more than a glance to read. My suggestions are to add either more fine grain detail (ie don't just make screens with big holes but also make patterns with small holes in those screens) and/or and some arrhythmic aspects to the design (ie don't have 4 bays that are exactly identical to each other).

Please No Stamped concrete at 23rd and San Jose

The hardcopy plans had stamped concrete figures embedded in the street level corner of San Jose and 23rd. These day of the dead figures are cliche, too permanent, and feel disingenuous. This building and this site has no connection to these images. My suggestion is devote this corner to a mural and get Precita Eyes to find a mission local artist to design and paint it. That will give the building a more authentic connection to the neighborhood, especially given that there used to be a funky but fun mural on the old Chevron gas station's San Jose wall. Its also an easy and relatively inexpensive way to get the surprise mentioned in the previous point.

Units facing San Jose are still great

No more needs to be said.

I plan on being at the planning meeting on October 1st. When is the meeting and when is this project scheduled to be reviewed? I'm happy to continue this discussion up to that meeting.

Best, Peter Khoury

Facade of 888-890 Valencia 5 stories almost as massive as 1198 Valencia but with a lot of detail and a lot of interest.



1198 Valencia Street @ 23rd Street

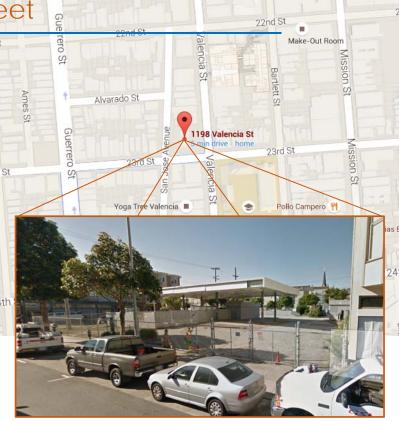
A vacant lot on the corner of Valencia Street and 23rd Street is proposing change! This lot is currently underutilized and doesn't serve the needs of the neighborhood. Redevelopment of this lot will contribute to a safer neighborhood for all residents.

The proposed building will anchor an important corner on Valencia Street with neighborhood-serving retail where none currently exists. Five small retail spaces are proposed facing Valencia Street.

Additionally, a row of residential units on the ground floor facing San Jose Avenue will provide an important final link for a block of residential uses where currently a trashed empty gas station sits.

As proposed, the project consists of 52 residential units (with on-site affordable units), five 1,000 SF neighborhood-serving retail spaces and 39 off-street parking spaces in an underground garage.

The project team would like to hear from the neighbors about the proposed project!



Please email us your comments 1198ValenciaSt@gmail.com

ST JAMES Cutholic Clunch

Business Name: REV. JOSE CORRAL Ren. Jose' COmal Business Address: 1086 GUERRERD ST. SAN FRANCISCO, CA. 94110

Date: May 19, 2015

RE: 1198 Valencia Street Project

Dear San Francisco Planning Department,

I write to you in support of the project proposed at 1198 Valencia Street. After meeting with the Developer's representative I have found the project to appropriate for the neighborhood. The lack of business and residential units on that corner creates a void on Valencia Street. As proposed the project would activate Valencia Street with businesses and residential units at the street level on San Jose Avenue.

Sincerley, Ren. Jose Conal

Lucca Ravioli Co.

1100 Valencia Street San Francisco, California 94110

Dear San Francisco Planning Department:

As a local business owner I'm writing you to express that I very much support the proposed project by RG Architecture at 1198 Valencia Street.

The property is currently a detriment to the neighborhood and has been for some time. The mixed use design of the project, housing over street oriented retail, is an ideal use for this location and substantially improves that corner. In consideration of the current development of Valencia Street and the proximity to the 24th Street Bart this is appropriate and welcomed. I am also in appreciation that the developer and architect are local San Franciscans such as I am.

Michael Feno, CEO he had A fent s/18/15

Lucca Ravioli Co., since 1925

5/20/2015

Business Name: Business Address: CARLIN'S CAFE 298 Valencia st

Date:

5-19-15-

RE: 1198 Valencia Street Project

Dear San Francisco Planning Department,

I write to you in support of the project proposed at 1198 Valencia Street. After meeting with the Developer's representative I have found the project to appropriate for the neighborhood. The lack of business and residential units on that corner creates a void on Valencia Street. As proposed the project would activate Valencia Street with businesses and residential units at the street level on San Jose Avenue.

Sincerley,

m



May 20, 2015

Dear San Francisco Planning Department,

I write you in support of the project proposed at 1198 Valencia Street. After meeting with the Developer's representative I have found the project to be appropriate for the neighborhood. As a local business owner I am writing in support of the proposed project at 1198 Valencia Street. The residential condominiums over commercial are in line with the neighborhood character. As proposed the project would activate Valencia Street with businesses and residential units at the street level on San Jose Ave.

Sincerely,

Minty W. Am. D. P.

Milton W. O'Brien



May 20, 2015

Dear San Francisco Planning Department,

I am writing to support the project proposed for 1198 Valencia Street by RG Architecture as the property is currently underutilized in its current state. The mixed use design of the proposed project, i.e. housing over street oriented retail is an ideal use for this location and will activate the street corner. As a neighbor and business owner I am pleased both the developer and architect are local businesses.

Sincerely,

while Abrun Katie O'Brien

677 Valencia St, #3

San Francisco, CA 94110



May 20, 2015

Dear San Francisco Planning Department,

As a local business owner I am writing in support of the proposed project at 1198 Valencia Street. The residential condominiums over commercial are in line with the neighborhood character. Currently the lot sits empty and adds nothing to the fabric of the neighborhood. Please approve the project presented for 1198 Valencia Street.

Sincerely,

Brien

677 Valencia St, #3 San Francisco, CA 94110

IMPROVE OUR NEIGHBORHOOD

AND

CREATE NEW HOUSING

Dear San Francisco Planning Commission:

We want to improve our neighborhood and make it safer. PLEASE VOTE FOR THE APPROVAL of the proposed project at <u>1198 Valencia Street</u>. We understand the building will consist of 52 residential units (six affordable units on site), 4,823 square feet of commercial retail and 39 off-street parking spaces.

Name		Address		Liv	ve or Work
Nombre	Direccion		32	Esta direcc	ion es tu domicilio o
					trabajo
\bigcirc	01	10211	01	(C	Circle One)
Hominique	Hodriguez 2	673 Mission	85		L/W
Maria 6	Parcia 46		ezst	5	DW
Haria	Guterrez	2659	HISSION &	St. SFGA	LW
Patel	Pradeep	2583 1	hissim st		LW
shule	BARSimon	2543 M	1-SSIONS	4	L/W_
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IMPROVE OUR NEIGHBORHOOD

AND

CREATE NEW HOUSING

Dear San Francisco Planning Commission:

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We want to improve our neighborhood and make it safer. PLEASE VOTE FOR THE APPROVAL of the proposed project at <u>1198 Valencia Street</u>. We understand the building will consist of 52 residential units (six affordable units on site), 4,823 square feet of commercial retail and 39 off-street parking spaces.

Name	Address	Live or Work
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Claudici Caril	2673 Mission St.	SF LOO
Telesia Carrillo	3503 Mission St.	SP (DW
Guadalupe	Sanchez	5+, SF
Luis Contrevas	340923rd St. MissionD	110 SF. LO
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95 Brady Street San Francisco, CA 94103 415 541 9001 info@sfhac.org www.sfhac.org

Mr. Sean Sullivan JS Sullivan Partners 2044 Fillmore Street, 3rd Floor San Francisco, CA 94115

January 16, 2015

Ref: 1198 Valencia Street – Mixed-Use Project

Dear Mr. Sullivan,

Thank you for bringing your proposal for 1198 Valencia Street to the San Francisco Housing Action Coalition's (SFHAC) Project Review Committee on December 3rd, 2014. Upon review, we believe your project has many merits and will contribute to SFHAC's mission to increase the supply of well-designed, well-located housing in San Francisco. We are pleased to endorse this project with the reservations noted below. Kindly review this letter, which explains how your project meets our guidelines as well as suggested improvements. Also, our attached report card grades the proposed project according to each guideline. We have attached a copy of our project review guidelines for your reference.

Project Description: The project proposes a five-story, 55-feet-tall building with 52 for-sale homes above 4,900 square feet of ground-floor retail and one level of subterranean parking.

Land Use: The site is currently inactive but was formerly occupied by a gas station. This is an excellent site for new housing, as it is located along a vibrant commercial corridor, one of the City's best transit corridors and near the City's job centers.

Density: The project includes 30 one-bedroom and 22 two-bedroom units, totaling 52 new homes. There is no density limit on site. The SFHAC supports the proposed density for the project and believes it takes advantage of the building envelope.

<u>Affordability</u>: The SFHAC applauds your decision to provide six inclusionary units on-site (12 percent). In addition, the homes are relatively small, which improves their natural affordability, bringing them within financial reach of more residents.

Parking and Alternative Transportation: This project is located three blocks from the 24th Street BART Station, numerous Muni lines and on the Valencia Street bicycle corridor, one of the best in the City. In light of this and the existing congestion, the SFHAC cannot support a conditional use permit to increase the parking ratio to 0.75 spaces per residential unit. This amount of parking appears excessive and does not align with San Francisco's transit-first policies. Our members urge you to increase bike parking and car share spaces, which would reduce the need for private automobiles.

Preservation: There are no structures of significant cultural or historic merit on or near the site that would be affected by this project.



The San Francisco Housing Action Coalition advocates for the creation of well-designed, well-located housing, at ALL levels of affordability, to meet the needs of San Franciscans, present and future.

Mr. Sean Sullivan January 16, 2015 Page 2

Urban Design: Your team has successfully taken inspiration from design elements of the surrounding neighborhood and incorporated them into your project. The most notable example is the "Papel Picado" scheme, which evokes the neighborhood's Latin American heritage. The plans for the ground floor will improve the pedestrian experience, with the addition of eight street trees and new retail. Open space is provided on the podium and a 5,000 square foot rooftop space.

One of our members noted that the building would benefit from having a more prominent lobby entrance. Changing the paving materials on the sidewalk or incorporating the "Papel Picado" scheme could achieve this. Other members would prefer to see the texture along San Jose Street broken up to create a stronger rhythm along that side of the building. Finally, some suggested that the bike parking be provided in a more suitable location.

Environmental Features: The project will meet the City's Green Building Ordinance and incorporate several features, though these were not fully addressed during your presentation.

The SFHAC encourages you to consider implementing water sub-metering into the project. It is likely there will soon be either a local or statewide initiative that mandates new units incorporate this feature.

<u>Community Input:</u> It appears you are still early on in your community outreach process, as you had only had one neighborhood meeting at the time of your presentation. The SFHAC encourages you to continue reaching out to the community and address any legitimate concerns that can be readily accommodated.

Thank you for presenting your proposal for 1198 Valencia Street to our Project Review Committee. Except for the excessive car parking levels, we are pleased to endorse it. We encourage you to bring the project back to us for another presentation when the design and plans are more finalized. Please keep us abreast of any changes and let us know how we may be of assistance.

Sincerely,

Tim Colen, Executive Director

CC: Planning Commission

Mr. Sean Sullivan January 16, 2015 Page 3

SFHAC Project Review Guidelines

Land Use: Housing should be an appropriate use of the site given the context of the adjacent properties and the surrounding neighborhood and should enhance neighborhood livability.

Density: The project should take full advantage of the maximum unit density and/or building envelope, allowable under the zoning rules.

Affordability: The need for affordable housing, including middle income (120-150 of Area Median Income) housing, is a critical problem and SFHAC gives special support to projects that propose creative ways to expand or improve unit affordability beyond the legally mandated requirements.

Parking and Alternative Transportation: SFHAC expects the projects it endorses to include creative strategies to reduce the need for parking, such as ample bicycle storage, provision of space for car-share vehicles on-site or nearby, un-bundling parking cost from residential unit cost, and measures to incentivize transit use. Proximity to transit should result in less need for parking.

In districts with an as-of-right maximum and discretionary approval up to an absolute maximum, SFHAC will support parking exceeding the as-of-right maximum only to the extent the Code criteria for doing so are clearly met. In districts where the minimum parking requirement is one parking space per residential unit (1:1), the SFHAC will not, except in extraordinary circumstances, support a project with parking in excess of that amount.

Preservation: If there are structures of significant historic or cultural merit on the site, their retention and/or incorporation into the project consistent with historic preservation standards is encouraged. If such structures are to be demolished, there should be compelling reasons for doing so.

Urban Design: The project should promote principles of good urban design: Where appropriate, contextual design that is compatible with the adjacent streetscape and existing neighborhood character while at the same time utilizing allowable unit density: pleasant and functional private and/or common open space; pedestrian, bicycle and transit friendly site planning; and design treatments that protect and enhance the pedestrian realm, with curb cuts minimized and active ground floor uses provided.

Projects with a substantial number of multiple bedroom units should consider including features that will make the project friendly to families with children.

Mr. Sean Sullivan January 16, 2015 Page 4

Environmental Features: SFHAC is particularly supportive of projects that employ substantial and/or innovative measures that will enhance their sustainability and reduce their carbon footprint.

<u>Community Input:</u> Projects for which the developer has made a good faith effort to communicate to the community and to address legitimate neighborhood concerns, without sacrificing SFHAC's objectives, will receive more SFHAC support.



San Francisco Housing Action Coalition (SFHAC) **Project Report Card**

Address: 1198 Valencia Street

Project Sponsor: JS Sullivan Partners

Date of SFHAC Review: December 3rd, 2014

Grading Scale:

- 1 = Fails to meet project review guideline criteria
- 4 = Exceeds basic project review guideline criteria
- 2 = Meets some project review guideline criteria
- 5 = Goes far beyond of what is required
- 3 = Meets basic project review guideline criteria

Criteria for SFHAC Endorsement:

- 1. The project must have been presented to the SFHAC Project Review Committee;
- 2. The project must score a minimum of 3/5 on any given guideline.

Guideline	Comments	Grade
Land Use	The site is currently inactive but was formerly occupied by a gas station. This is an excellent location for new housing, as it is located in a transit-rich neighborhood close to the City's job centers.	5
Density	The project proposes 52 new homes and takes advantage of the building envelope. There is no density limit at this location.	5
Affordability	The project will include six below-market-rate units on site, or 12 percent of the total units.	4
Parking and Alternative Transportation	Given the excellent BART and Muni transit options, the Valencia Street bike corridor and existing congestion, SFHAC cannot support a conditional use permit for a 0.75 car parking ratio. Instead we urge increasing the parking for bikes and car share.	3
Preservation	There are no structures of significant historic or cultural merit on or near the site that would be affected by the proposed project.	N/A
Urban Design	The project would activate the streetscape and improve the pedestrian realm. We would prefer a more prominent lobby entrance and to see the San Jose Street texture made more varied.	4
Environmental Features	While the project will satisfy the City's Green Building Ordinance, SFHAC encourages the project sponsor to consider implementing water sub-metering, which will become mandatory before long.	3
Community Input	This project is still early on in the community outreach process. We encourage the project sponsor team to continue reaching out to the community and address any legitimate concerns.	3
Additional Comments	The SFHAC encourages the project sponsors to bring the project back to our Committee for another presentation when the design is closer to final.	
Final Comments	The SFHAC endorses the proposed project with the reservations noted above.	3.9/5
		•

Nicolas Cranmer

From:	Elizabeth Fromer <efromer3@gmail.com></efromer3@gmail.com>
Sent:	Thursday, May 28, 2015 2:47 PM
То:	Nicolas Cranmer
Cc:	Peter Heinecke; Ryan Silvers; Mike Maier; Shari Steiner
Subject:	Re: Proposed Development at 1198 Valencia Street

Hi Nick,

The LHNA Board is not interested in a meeting about the proposed 1198 Valencia development. It is outside the boundaries of Liberty Hill.

Thanks for contacting us.

Regards,

Dr. Lisa Fromer President, LHNA

On May 27, 2015, at 1:53 PM, Nicolas Cranmer <<u>n.cranmer@js-sullivan.com</u>> wrote:

Hi Peter and Lisa,

Just wanted to follow up on my prior email. Please let me know if you're interested in meeting to discuss our proposed development at 1198 Valencia Street.

Best,

Nick Cranmer Project Manager

<image001.jpg>

2044 Fillmore Street, 3rd Floor San Francisco, CA 94115 Direct: 415-501-0931 Main: 415-206-1528 Fax: 415-206-1728

From: Peter Heinecke [mailto:pheinecke@gmail.com]
Sent: Tuesday, May 19, 2015 2:24 PM
To: Nicolas Cranmer
Cc: 'Elizabeth Fromer'
Subject: RE: Proposed Development at 1198 Valencia Street

Nick:

Thanks for reaching out to the LHNA on this; I am cc'ing Lisa Fromer so that she can contact you directly. I am sure we will be interested in meeting.

Cheers,

Peter

Peter S. Heinecke 30 Hill St. San Francisco, CA 94110 650-380-1926 <u>pheinecke @gmail.com</u>

> From: Nicolas Cranmer [mailto:n.cranmer@js-sullivan.com] Sent: Tuesday, May 19, 2015 2:07 PM To: libertyhillneighborhood@gmail.com Subject: Proposed Development at 1198 Valencia Street

Lisa,

We're conducting outreach with local businesses and neighborhood groups in the Mission regarding our proposed development project located on the vacant gas station site at 1198 Valencia Street. The proposed project is a mixed-use development that would include 52 residential units, 39 parking spaces and approximately 4,800 square feet of commercial space, broken up into five smaller local-serving retail spaces. I was hoping to schedule a meeting with you to introduce our development project and answer any questions you may have. Please let me know if there is a day and time that works for you.

Best,

Nick Cranmer Project Manager

<image001.jpg>

2044 Fillmore Street, 3rd Floor San Francisco, CA 94115 Direct: 415-501-0931 Main: 415-206-1528 Fax: 415-206-1728



May 27, 2015

Lisa Fromer, President Liberty Hill Neighborhood Association 3288 21st Street, #41 San Francisco, CA 94110

Dear Ms. Fromer:

This letter is following up on an email sent on Tuesday May 19th, 2015. JS Sullivan Development is conducting outreach with local businesses and neighborhood groups in the Mission regarding our proposed development project located on the vacant gas station site at 1198 Valencia Street. We welcome the opportunity to meet with you in order to introduce you to our development project.

The proposed project is a mixed-use development that includes 52 residential units (with six on-site BMR units), 39 parking spaces, and approximately 4,800 square feet of commercial space broken up into five smaller neighborhood-serving retail spaces. Redevelopment of this vacant and underutilized site will provide new multi-family housing, new local-serving commercial/retail space for future resident employment and ownership where none currently exists, and contribute to a safer neighborhood for all residents.

Please contact me at your earliest convenience if you are interested in meeting to discuss our proposed development at 1198 Valencia Street.

Sincerely,

Nick Cranmer Project Manager JS Sullivan Development n.cranmer@js-sullivan.com (415) 501-0931

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Nicolas Cranmer

From: Sent: To: Cc: Subject: Nicolas Cranmer Tuesday, May 19, 2015 1:57 PM 'Igranados@medasf.org' Charles Shin Proposed Development at 1198 Valencia Street

Luis,

We're conducting outreach with local businesses and neighborhood groups in the Mission regarding our proposed development project located on the vacant gas station site at 1198 Valencia Street. The proposed project is a mixed-use development that would include 52 residential units, 39 parking spaces and approximately 4,800 square feet of commercial space, broken up into five smaller local-serving retail spaces. I was hoping to schedule a meeting with you to introduce our development project and answer any questions you may have. Please let me know if there is a day and time that works for you.

Best,

Nick Cranmer Project Manager



2044 Fillmore Street, 3rd Floor San Francisco, CA 94115 Direct: 415-501-0931 Main: 415-206-1528 Fax: 415-206-1728



May 27, 2015

Luis Granados, Executive Director Mission Economic Development Agency 2301 Mission Street, Suite 301 San Francisco, CA 94110

Dear Mr. Granados:

This letter is following up on an email sent on Tuesday May 19th, 2015. JS Sullivan Development is conducting outreach with local businesses and neighborhood groups in the Mission regarding our proposed development project located on the vacant gas station site at 1198 Valencia Street. We welcome the opportunity to meet with you in order to introduce you to our development project.

The proposed project is a mixed-use development that includes 52 residential units (with six on-site BMR units), 39 parking spaces, and approximately 4,800 square feet of commercial space broken up into five smaller neighborhood-serving retail spaces. Redevelopment of this vacant and underutilized site will provide new multi-family housing, new local-serving commercial/retail space for future resident employment and ownership where none currently exists, and contribute to a safer neighborhood for all residents.

Please contact me at your earliest convenience if you are interested in meeting to discuss our proposed development at 1198 Valencia Street.

Sincerely Nick Cranmer

Nick Cranmer Project Manager JS Sullivan Development n.cranmer@js-sullivan.com (415) 501-0931

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	PS Form 3800, July 2014 See Reverse for Instructions			

Nicolas Cranmer

From: Sent: To: Cc: Subject: Nicolas Cranmer Tuesday, May 19, 2015 2:02 PM 'eriq94110@aol.com' Charles Shin Proposed Development at 1198 Valencia Street

Erick,

We're conducting outreach with local businesses and neighborhood groups in the Mission regarding our proposed development project located on the vacant gas station site at 1198 Valencia Street. The proposed project is a mixed-use development that would include 52 residential units, 39 parking spaces and approximately 4,800 square feet of commercial space, broken up into five smaller local-serving retail spaces. I was hoping to schedule a meeting with you to introduce our development project and answer any questions you may have. Please let me know if there is a day and time that works for you.

Best,

Nick Cranmer Project Manager



2044 Fillmore Street, 3rd Floor San Francisco, CA 94115 Direct: 415-501-0931 Main: 415-206-1528 Fax: 415-206-1728



May 27, 2015

Erick Arguello, President Calle 24 Merchants and Neighbors Association 1065A Hampshire Street San Francisco, CA 94110

Dear Mr. Arguello:

This letter is following up on an email sent on Tuesday May 19th, 2015. JS Sullivan Development is conducting outreach with local businesses and neighborhood groups in the Mission regarding our proposed development project located on the vacant gas station site at 1198 Valencia Street. We welcome the opportunity to meet with you in order to introduce you to our development project.

The proposed project is a mixed-use development that includes 52 residential units (with six on-site BMR units), 39 parking spaces, and approximately 4,800 square feet of commercial space broken up into five smaller neighborhood-serving retail spaces. Redevelopment of this vacant and underutilized site will provide new multi-family housing, new local-serving commercial/retail space for future resident employment and ownership where none currently exists, and contribute to a safer neighborhood for all residents.

Please contact me at your earliest convenience if you are interested in meeting to discuss our proposed development at 1198 Valencia Street.

Sincerely,

Nick Cranmer Project Manager JS Sullivan Development n.cranmer@js-sullivan.com (415) 501-0931





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P6.2	PLUMBING DETAILS

rg-architecture

560 THIRD STREET SAN FRANCISCO, CA 94107 415.699.3640 mail@rg-architecture.com



REVISIONS NO. DATE ISSUE

ORIGINAL ISSUE FOR SITE PERMIT 06/26/15 50% CONSTRUCTION DOCUMENTS 07/24/15 75% CONSTRUCTION DOCUMENTS 09/01/15 PLANNING COMMISSION HEARING 09/16/15

ISSUE PLANNING COMMISSION HEARING 09/16/15

OWNER Valencia Street Partners, LLC

1198 Valencia Street

1198 Valencia Street San Francisco, CA 94110

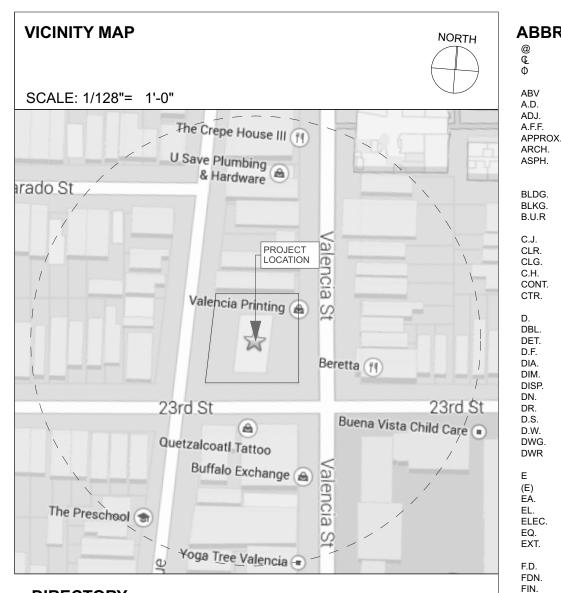
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 \bigcirc 0 S N

COVER SHEET

DRAWING NO. 1 of 60

G0.00



STRUCTURAL ENGINEER

600 Harrison Street, Suite 110

111 W. Evelyn Avenue, Suite 301

SPECIFICATIONS WRITER

388 Beale Street, Suite 1910

San Francisco, Ca 94105

johnraeber@gmail.com

Blanco Architecture, Inc.

San Rafael, CA 94916

ACOUSTIC ENGINEER

Francisco, CA 94105

Main 415.391.7610

Shen Milsom & Wilke LLC

33 New Montgomery Street, San

PO Box 150660

415.766.2406

(415) 920-2244

John A. Raeber, FAIA, FCSI, CCS

WATERPROOFING CONSULTANT

San Francisco, CA 94103

Nishkian Menninger

M.E.P. ENGINEER

Acies Engineering

Sunnyvale, CA 94086

408.522.5255 x156

415.541.9477

DIRECTORY

CLIENT Valencia Street Partners, LLC 2044 Fillmore Street, 3rd Floor San Francisco, CA 94115 415.206.1578

ARCHITECT **RG-Architecture** 560 Third Street San Francisco, CA 94107

415.699.3640 Riyad Ghannam, AIA, Principal: riyad@rg-architecture.com

GENERAL CONTRACTOR JS-Sullivan Construction 2044 Fillmore Street, 3rd Floor San Francisco, CA 94115 415.206.1578

SURVEYOR Westover Surveying 336 Claremont Blvd, Suite 2 San Francisco, CA 94127 415.242.5400

GEOTECHNICAL ENGINEER Rockridge Geotechnical, Inc. 270 Grand Avenue Oakland, CA 94610 510-420-5738

GENERAL NOTES

- 01 CODES: ALL WORK SHALL CONFORM WITH OR EXCEED THE REQUIREMENTS OF CURRENT APPLICABLE CITY, COUNTY AND STATE CODES, AND ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS INCLUDING BUT NOT LIMITED TO FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES. SEE CODE EDITIONS ON THIS SHEET.
- 02 PERMITS: BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDING INSPECTIONS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING AGENCIES.
- 03 EXISTING CONDITIONS AND DIMENSIONS: THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIFLD CONDITIONS TO THE ARCHITECT, CALLED-OFF DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED-OFF DIMENSIONS. DIMENSIONS ARE TO FACE OF STRUCTURE (STUD, CONCRETE, STEEL), UNLESS OTHERWISE NOTED. DIMENSIONS IN SECTIONS AND ELEVATIONS ARE TO TOP OF PLATE OR TOP OF SUB-PLATE UNLESS OTHERWISE NOTED. ELEVATION MARKERS ARE TO TOP OF FINISHED FLOORS
- 04 PLANS & SPECIFICATIONS: THE PLANS AND SPECIFICATIONS SUPPLEMENT EACH OTHER. CONTRACTOR TO IMMEDIATELY REPORT ANY ERRORS, OMISSIONS, AMBIGUITIES OR CONFLICTS IN THE PLANS AND SPECIFICATIONS TO THE ARCHITECT, AND UNTIL THEY ARE RESOLVED, SHALL NOT PROCEED WITH THE AFFECTED WORK.
- 05 DETAILS: DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS SHALL APPLY IN SIMILAR CONDITIONS. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED. BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS
- 06 COORDINATION: THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND BUILDING MANAGEMENT.
- 07 CONTRACTOR RESPONSIBILITY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES AND SEQUENCES OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS UNTIL THE NEW PERMANENT STRUCTURE CAN PROVIDE ADEQUATE VERTICAL AND LATERAL SUPPORT. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- 08 INSTALLATION: THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.), ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS OR RECOMMENDATIONS, UNLESS AGREED TO OTHERWISE BY THE ARCHITECTS.
- 09 SUBCONTRACTORS: PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN_OFFS.
- 10 REPAIR: THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING. REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- 11 ABANDONMENT: ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- 12 CLOSE-OUT: THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL ARRANGE FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN-OFFS AS REQUIRED.

ABBREVIATIONS

CENTERLINI DIAMETER ABOVE AREA DRAIN ADJUSTABLE ABOVE FINISH FLOOR APPROXIMATE ARCHITECTURAL ASPHALT BUILDING BLOCKING BUILT-UP ROOFING CONTROL JOINT CI FAR CEILING CEILING HEIGHT CONTINUOUS CENTER DRYER DOUBLE DETAIL DOUGLAS FIR DIAMETER DIMENSION DISPOSER DOWN DOOR DOWN SPOUT DISHWASHER

DRAWING DRAWER EAST EXISTING EACH ELEVATION ELECTRICAL EQUAL EXTERIOR FLOOR DRAIN FOUNDATION

FINISHED FLOOR FI OOR FACE OF FACE OF FINISH FACE OF STUD FLEXIBLE SHEET MEMBRANE FLASHING FOOTING

F.O. F.O.F

F.O.S.

F.S.M.F

FTG.

GA.

H.B.

HDR. HDWR.

HORIZ.

I.G.

INSUL.

INT.

LAV

MAX. MBP

MECH.

M.E.P.

MFR.

MIN. MISC.

*∕*S##

GALV.

GAUGE GALVANIZED GYPSUM BOARD GYP. BD. HIGH

HOSE BIE

HEADER HARDWAR HORIZONTAL HEIGHT INSIDE DIAMETER INSULATED GLASS INSULATION INTERIOR JOINT

LAVATOR LIGHT MASTER MAXIMUM MAIN BREAKER PANEL MECHANICAL MECHANICAL/ ELECTRIC/PLUMBING MANUFACTURER MINIMUM MISCELLANEOUS

REFERENCE SYMBOLS

_____ DEMO WALL (PLAN VIEW) EXISTING WALL (PLAN VIEW) NEW WALL (PLAN VIEW) \angle HATCH = STRUCTURE OUTLINE = FINISH HIDDEN EDGE, ABOVE OR BEYOND HIDDEN EDGE, BELOW OR ____ BEHIND <d>d##</d> DOOR SYMBOL WINDOW SYMBOL SKYLIGHT SYMBOL W(F)## WALL (FLOOR) TYPE GRID OR REFERENCE LINE SECTION MARKER DRAWING # O/ SHEET # # ` DETAIL MARKER: DRAWING # O/ SHEET # ELEVATION MARKER DRAWING # O/ SHEET #

MATERIAL CODE FLOOR | WALL | CEILING LEVEL LINE OR DATUM +100.0' SPOT ELEVATION PROPERTY LINE NEW OR FINISHED CONTOURS

ELECTRICAL/ MECHANICAL SYMBOLS SURFACE CEILING LIGHT FIXTURE RECESSED DIRECTIONAL LIGHT FIXTURE RECESSED CEILING LIGHT FIXTURE WALL MOUNTED LIGHT FIXTURE MOTION DETECTOR & ⊢⊖-^{MD} PHOTOCONTROL LIGHT FIXTURE RECESSED WALL LIGHT FIXTURE FLUOR EXPOSED STRIP LIGHT FIXTURE CONCEALED STRIP LIGHT FIXTURE TRACK AND STRIP ×× LIGHT FIXTURES ELECTRICAL SWITCH 3-WAY SWITCH 4-WAY SWITCH DIMMER SWITCH PULL SWITCH MANUAL-ON OCCUPANCY

SENSOR SWITCH

NEW N.I.C. NOT IN CONTRACT NUMBER NOM NOMINAL NOT TO SCALE N.T.S ON CENTER O.H. OVERHANG OPNG OPENING OPP. OPPOSITE OVER

NO

O.C

P.LAM.

PTD.

R.A.

RFG

R.O.

S.C.

SECT.

S.M.D.

SPEC.

S.S.D.

STD.

STOR.

SUSP

SYM.

T.O

T.O.P.

T.O.W.

трн

TRSM

T.V.

TYP.

U.O.N

VERT

V.I.F.

V.G.

W.R.

YD.

W.R.C.

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 \Rightarrow

 \Rightarrow

 $\Rightarrow P$

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🛞 S/CD

🛞 SD

– DB

-_DC

-🗌 GD

-__KP

– MD

-__SP

-__SC

-__W

-__SU

-___TV

MM1

MM2

HDMI

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—+ C

-+H

-+G

—+ HB

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ODS

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STRUCT

SHEATH'G

REINF REQ.

RDWD.

S.A.B.F.

PLYWD.

PROPERTY LINE PLATE PLASTIC LAMINATE PLYWOOD PRESSURE TREATED

PAINTED RELOCATED RISE, RISER **RETURN AIR** ROOF DRAIN REFRIGERATOR

REGISTER REINFORCED REQUIRED ROOM ROUGH OPENING REDWOOD

SOUTH SELF-ADHERED BITUMINOUS FLASHING SOLID CORE SMOKE DETECTOR SECTION SHEATHING SIMII AR SEE MECHANICAL DRAWINGS SPECIFICATION

DRAWINGS STANDARD STEEL STORAGE STRUCTURAL SUSPENDED SYMBOL TREAD

SEE STRUCTURAL

TOWEL BAR TONGUE AND GROOVE TOP OF TOP OF CURB TOP OF PLATE TOP OF WALL TOILET PAPER HOLDER TRANSOM TELEVISION

TYPICAL UNLESS OTHERWISE NOTED VENT VERTICAL

VERIFY IN FIELD

VERTICAL GRAIN WEST WASHING MACHINE WATER CLOSET (TOILET) WOOD WATER HEATER WITHOUT WATERPROOF, WORK

WATER RESISTANT WESTERN RED CEDAR YARD

DWELLING ELECTRICAL/MECHANICAL SYMBOLS AFFORDAE SINGLE ELECTRICA **ABOVE GR** OUTLET, DIRECT WIRED DUPLEX OUTLET FOURPLEX OUTLET PARKING / ELECTRICAL OUTLET, HALF-SWITCHED ELECTRICAL OUTLET FULLY SWITCHED **ACTIVE US**

ELECTRICAL OUTLET FOR **GROUND F** PICTURE LIGHT 240V ELECTRICAL OUTLET FLUSH FLOOR MOUNTED OUTLET STREET TF ⇒ GFI GROUND FAULT INTERRUPT

> JUNCTION BOX MULTI-FUNCTION SMOKE & CO DETECTOR SMOKE DETECTOR

HEAD DOOR BELL BUTTON DOOR CHIME GARAGE DOOR OPENER SWITCH

AUTOMATIC SPRINKLER

ALARM KEYPAD

SPEAKER OUTLET

SCENE CONTROL

SCENE CONTROL REMOTE

STEAM UNIT CONTROL

(1) CAT-6 & (1) RG6 QUAD

(2) CAT-6 & (2) RG6 QUAD

COLD WATER CONNECTION

HOT WATER CONNECTION

(1) 24/4 PAIR CAT-3

CENTRAL VACUUM

GAS OUTLET

FLOOR DRAIN

DOWNSPOUT

THERMOSTAT

AT FLOOR

AT CEILING

FLOOR

CEILING

EXHAUST FAN

CEILING FAN

SUPPLY AIR REGISTER AT

WALL OR TOE SPACE

SUPPLY AIR REGISTER

SUPPLY AIR REGISTER

RETURN AIR GRILL AT

RETURN AIR GRILL AT

RETURN AIR GRILL AT WALL

EXHAUST FAN/ LIGHT UNIT

HOSE BIB

MASTER UNIT

WALL STATION

PLUG MOLD

-CAT-6 (1) 24/4 PAIR CAT-6

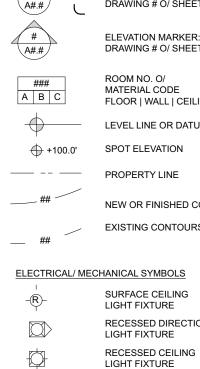
HDMI

(1) RG6 QUAD

INTERCOM STATION **CONDITIONAL USE REQUIRED** MOTION DETECTOR

Floor Con (see Secti Roof Cons

> (see Secti permitted.



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SCOPE OF WORK

NEW CONSTRUCTION OF A 5 STORY 73,793 SQ FT **BUILDING CONTAINING 49 RESIDENTIAL UNITS OVER** A GROUND LEVEL BUSINESS OCCUPANCY AND BASEMENT WITH S2 OCCUPANCY PARKING.

THE RESIDENTIAL CONDOMINIUM BUILDING IS A COVERED MULTI FAMILY DWELLING WITH ONE ELEVATOR AND ALL UNITS ARE ADAPTABLE. AN ACCESSIBLE MEANS OF EGRESS IS PROVIDED.

THE GROUND FLOOR (STORY 1) SHALL BE TYPE 1(A) CONSTRUCTION WITH A 3-HOUR HORIZONTAL FIRE SEPARATION AT THE TOP OF THE FIRST FLOOR TO MEET THE CBC SECTION 510.2. REQUIREMENT FOR HORIZONTAL BUILDING SEPARATION WITH 4 STORIES OF TYPE V(A), R-2 OVER TYPE I(A) PODIUM. PER CBC SECTION 509.2, TYPE I(A) S-2/B AND TYPE V-A, R-2 ARE CONSIDERED SEPARATE BUILDINGS, WHEN SEPARATED BY 3 HOUR RATED CONSTRUCTION. OCCUPANCIES ARE SEPARATED AS REQUIRED BY CBC TABLE 508.4

PLANNING CODF SUMMARY

PLANNING CODE SUMMARY	DEEEDENOE	
ASSESSORS BLOCK	REFERENCE Map	ALLOWED 3635, parcel 014
SITE AREA	Мар	14,374 sf sq ft per assessor's map
	· · · · · · · · · · · · · · · · · · ·	NCT-Valencia
HEIGHT & BULK	Map	55-X
	Мар	2.5 : 1
F.A.R. NON-RESIDENTIAL	124	$14,374 \text{ sf } x \ 2.5 = 35,935 \text{ sf}$
SETBACKS	145.1	None required
REAR YARDS	134.e.2	25% required, Corner Lots and Lots at Alley Intersections: Rear yard may be substituted with an open area equal to 25% of the lot area, and located at the same levels as the required rear yard in an interior corner of the lot, an open area between two or more buildings on the lot, or an inner court. .25 x 14,374 sf = 3,594 sf required Request for modfication per sec. 134(e)(1)
OFF-STREET PARKING, RESIDENTIAL	151.1	None required; P .5/unit; C .75/unit .75 x 49 units = 37 spaces, with CU
OFF-STREET PARKING, NON- RESIDENTIAL	151.1	5 non-residential spaces allowed
ON STREET PARKING	150	None required
REQUIRED CAR SHARE	Table 166	Residential, 0-49 units: none required
	Table 166	Non-residential, 0-24 parking spaces: none required
OFF-STREET LOADING	152	Retail: 0-10,000 sq ft, none required
	152	Residential: 0-100,000 sq ft, none required
USEABLE OPEN SPACE FOR DWELLING UNITS	135	80 sq ft / unit if private or 106.4 sf / unit if common (1.33 x 80 sf) Units w/access to common open space: 45 units 45 units x 106.4 sf = 4,788 sf req'd
DWELLING UNIT DENSITY LIMIT	124	No limit, governed by height/bulk
		40% 2 or 3 BD
DWELLING UNIT MIX	207.6	40% of 49 units = 20 units required
AFFORDABILITY REQUIREMENTS	415	12% on-site, 20% off-site; in lieu fee
		12% of 49 units = 6 BMR units required
ABOVE GRADE PARKING SETBACK	145.1.c.1	Min. 25' on ground floor, 15' on floor above
PARKING AND LOADING ENTRANCES	145.1.c.2	No more than 1/3 or 20', whichever is less of given street frontage 126 ft street frontage on 23rd St. 126 ft / 3 = 42 ft. 20 ft allowed
ACTIVE USES REQUIRED	145.1.c.3	Active uses required
GROUND FLOOR CEILING HEIGHT	145.1.c.4.B	14 ft floor to floor
STREET TREES	1381	1 per 20 ft of street frontage
BIKES	155.2.11	Residential, Class 1: 1 per DU 49 Class 1 spaces req'd
	155.2.11	Residential, Class 2: 1 per 20 DU 2 Class 2 spaces req'd
	155.2.15	Retail Sales, Class 1: 1 per 7,500 sq ft 5,037 sf retail: 1 Class 1 space req'd.
	155.2.15	Retail Sales, Class 2: 1 per 2,500, minimum 2 spaces 5,037 sf retail: 2 Class 2 spaces req'd.

UNIT MIX

UNITS MIX		
Unit Type	Quantity	Unit Mix %
1 BD	23	46.9%
2 BD	24	48.9%
3 BD	2	4.2%
TOTAL	49	100%

GROSS BUILDING AREA SUMMARY

55 ft

NA

4,999 sf

Floor (Story)	Gross Area (S.F.)	Construction Type	Use	Occupancy
Garage -11'	13,461	Type I(A)	PARKING	S-2
Ground Floor 0'	13,717	Type I(A)	RESIDENTIAL/ MERCANTILE	S-2 - R-2 - B
Second Floor +15'	11,867	Type V(A)	RESIDENTIAL	R-2
Third Floor +25'	11,528	Type V(A)	RESIDENTIAL	R-2
Fourth Floor +35'	11,527	Type V(A)	RESIDENTIAL	R-2
Fifth Floor +45'	11,007	Type V(A)	RESIDENTIAL	R-2
Roof +55'	686	Type V(A)		
TOTAL	73,793 sq ft			

3,612.16 sf rear yard equivalent provided, (25.1%)

See Rear Yard Diagrams, G0.03

37 residential parking provided

5 non-residential parking provided

Units w/qualifying private open space: 4 units

205, 206, 207, 208 = 1,643 sf private open space provided

Common open space provided: 5,151 sf roof deck > 4,788 sf

Valencia St: 120 ft / 20 = 6 trees reg'd. Retain 2, plant 4 new trees

San Jose Ave: 120 ft / 20 = 6 trees reg'd. Retain 5, remove 1, plant

23rd St: 127 f t/ 20 = 6 trees req'd. Retain 1, plant 5 new trees

51 spaces provided (52 Class 1 bike parking total)

1 space provided (52 Class 1 bike parking total)

23 parking provided

49 dwelling units proposed

25 units 2 or 3BD provided

6 BMR units provided on-site

10 ft parking entrance provided

Retail and residential provided

Parking below grade

15 ft

1 new tree

NA

NA

NA

NA

upancy	APPLICABLE CODE
S-2	ISSUE 2012
R-2 - B	2013 2013
R-2	2013
	2013 2013
R-2	
R-2	SF BUILDING CODE REQUIRED (BASIC)
R-2	None
	CONSTRUCTION BASEMENT IA (3HR)
	OCCUPANCY GROU
	BASEMENT S2 (Garage)
	SPRINKLERS
	REQUIRED (BASIC)
	UNIT COUNT REQUIRED (BASIC)
	ACCESSIBLE ELEVA REQUIRED (BASIC)
	1007.4 Elevators. In c considered part of an
	of egress, an elevator emergency operation
	requirements of Califo
	Regulations, Title 8, E Subchapter 6, Elevato
	Standby power shall t accordance with Chap
	3003. The elevator sh
	either an area of refug Section 1007.6 or a h
	REQUIRED (BASIC) CBC Table 503: 3 Sto
	REQUIRED (BASIC)
	Type IA: 1 Story ab Type VA: 3 Stories
	Total: 4 Stories
	BUILDING AREA
rees	REQUIRED (BASIC) CBC Table 503:
S Diant	Type IA:
plant	B: UL S2: UL
	R2: UL Type VA:
	R2: 12,000
	TYPES OF CONSTR
	REQUIRED (BASIC) Per CBC Table 601 &
	ACCESIBILITY
	REQUIRED (BASIC)

2 spaces provided on Valencia St.

2 spaces provided on Valencia St.

Allowable parking up to .75/dwelling unit Lot Size Proposed: 14,374 sf

FIRE RESISTANCE SUMMARY

726.11

	TYI	PE I	TYP	PE II	ТҮР	'E III	TYPE IV	T۱	/PE V
BUILDING ELEMENT	А	В	A ^d	В	A ^d	В	HT	A ^d	В
Primary Structural Frameg (see Section 202)	3 ª	2ª	1	0	1	0	HT	1	0
Bearing Walls									
Exterior ^{f,g}	3	2	1	0	2	2	2	1	0
Interior	3ª	2ª	1	0	1	0	1/HT	1	0
Non Bearing Walls & Partitions Exterior				See	Table 602	2			
Non Bearing Walls & Partitions Interior ^e	0	0	0	0	0	0	See Section 602.4.6	0	0
Floor Construction and associated secondary members (see Sectipn 202)	2	2	2	0	1	0	НТ	1	0
Roof Construction and associated secondary members (see Section 202)	1.5 ^b	1 ^{b,c,}	1 ^{b,c}	0 ^c	1 ^{b,c}	0	НТ	1 ^{b,c}	0

Lot Size P: up to 9,999 sf; C: 10,000 sf & above

a. Roof supports: Fire-resistance ratings of primary structural frame and bearing walls are permitted to be reduced by 1 hour where supporting a roof only b.1. Except in Group A, E, F-1, H, I, L, M, R-1, R-2, R-2.1 and S-1 occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, fire protection of structural members shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such unprotected members.

b.2. For Group A, E, I, L, R-1, R-2 and R-2.1 occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, fire protection of members other than the structural frame shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below. Fire-retardant-treated wood members shall be allowed to be used for such unprotected members.

b.3. For one-story portions of Group A and E assembly occupancies the roof-framing system of Type II A or Type III A construction may be of unprotected construction when such roof-framing system is open to the assembly area and does not contain concealed spaces.

c. In all occupancies, heavy timber shall be allowed where a 1-hour or less fire-resistance rating is required. d. An approved automatic sprinkler system in accordance with Section 903.3.1.1 shall be allowed to be substituted for 1-hour fire-resistance-rated construction, provided such system is not otherwise required by other provisions of the code or used for an allowable area increase in accordance with

Section 506.3 or an allowable height increase in accordance with Section 504.2. The 1-hour substitution for the fire resistance of exterior walls shall not be

e. Not less than the fire-resistance rating required by other sections of this code.

f. Not less than the fire-resistance rating based on fire separation distance (see Table 602).

g.Not less than the fire-resistance rating as referenced in Section 704.10

FIRE SEPARATION DISTANCE TYPE OF CONSTRU (feet) < 5° All IA > 5 to < 10 Others IA, IB IIB, VB Others > 10 to < 30 All >30

a. Load-bearing exterior walls shall also comply with the fire-resistance rating requirements of Table 601. b. For special requirements for Group U occupancies, see Section 406.3. c. See Section 706.1.1 for party walls.

d. Open parking garages complying with Section 406 shall not be required to have a fire-resistance rating. e. The fire-resistance rating of an exterior wall is determined based upon the fire separation distance of the exterior wall and the story in which the wall is located

f. For special requirements for Group H occupancies, see Section 415.5. g. For special requirements for Group S aircraft hangars, see Section 412.4.1. h. Where Table 705.8 permits nonbearing exterior walls with unlimited area of unprotected openings, the required fire-resistance rating for the exterior walls is 0 hours.

i. GroupR-3andGroupUoccupancieswhenusedasaccessorytoGroupR-3occupancies, shallnotberequired to have a fire-resistance rating where the fire separation distance is 5 feet or more; or when equipped throughout with an automatic residential fire sprinkler system installed in accordance with Section 903.3 the fire-resistance rating shall not be required where the fire separation distance is 3 feet or more.

BUILDING CODE SUMMARY

APPLICABLE CODES	DESCRIPTION			
2012	SAN FRANCISCO PLANNING CODE			
2013	CALIFORNIA BUILDING CODE			
2013				
2013 2013	CALIFORNIA MECHANICAL CODE CALIFORNIA PLUMBING CODE			
2013	SF BUILDING, ELECTRICAL, MECHANICAL, AND PLUMBING CODE AMENDMENTS			
SF BUILDING CODE: ADMINISTRATIVE REQUIRED (BASIC)	BULLETINS ALLOWED (MODIFICATIONS)	PROPOSED		
None	NA	None		
CONSTRUCTION BASEMENT	STORY 1	STORIES 2-5		
IA (3HR)	1A (3HR)	VA (1HR)		
OCCUPANCY GROUP				
BASEMENT S2 (Garage)	STORY 1 B (Valencia St.), S2 (Interior), R2 (San Jose St.)	STORIES 2-5 R2 (Residential)		
SPRINKLERS				
REQUIRED (BASIC)	ADDITIONAL REQUIREMENTS	PROPOSED		
		Automatic fire sprinklers to be provided as required		
		throughout entire building		
JNIT COUNT				
REQUIRED (BASIC)	ALLOWED (MODIFICATIONS)	PROPOSED		
	Unlimited	52 Residential Units		
ACCESSIBLE ELEVATOR				
REQUIRED (BASIC)	ALLOWED (MODIFICATIONS)	PROPOSED		
1007.4 Elevators. In order to be	2. Elevators are not required to be accessed from an area	Building is a covered multifamily dwelling with an elevator		
considered part of an acces- sible means of egress, an elevator shall comply with the	of refuge or horizontal exit in buildings and facilities equipped throughout with an automatic sprinkler system	that meets the Chapter 11A requirements; entire building shall be accessible except an accessible route is not		
emergency operation and signaling device	installed in accordance with Sec- tion 903.3.1.1 or	required from the interior of the units into a basement or		
requirements of California Code of	903.3.1.2.	garage per CBC Section 1130A.1; all units and parking are		
Regulations, Title 8, Division 1, Chapter 4, Subchapter 6, Elevator Safety Orders.		accessible.		
Standby power shall be provided in		Standby power shall be provided in accordance with		
accordance with Chapter 27 and Section		Chapter 27 and Section 3003.		
3003. The elevator shall be accessed from				
either an area of refuge complying with Section 1007.6 or a horizontal exit.				
BUILDING HEIGHT REQUIRED (BASIC)	ALLOWED (MODIFICATIONS)	PROPOSED		
CBC Table 503: 3 Stories, 50'-0" Height	1. Per CBC Section 506.3, Automatic sprinkler system	1. The buildings are separated with a horizontal assembly		
	increase. Max building height is increased by 20'-0", and the			
	maximum number of stories is increased by 1. 2. For group R-2 Buildings of Type VA Construction	The Building below the horizontal assembly is not greate than one story above the grade plane.		
	equiped throughout with an approved automatic sprinkler	The Building Below the horizontal assembly is of Type IA		
	system in accordance with section 903.3.1.1, the value	 The Building Below the horizontal assembly is of Type IA construction. 		
	system in accordance with section 903.3.1.1, the value specified in Table 503 for maximum building height is	construction.		
	system in accordance with section 903.3.1.1, the value			
	system in accordance with section 903.3.1.1, the value specified in Table 503 for maximum building height is increased by one, but shall not exceed 60'-0" or 4 stories respectively. 3. Per CBC Section 508.4.3, Allowable height. Each	construction. Type IA: 15'-0" above grade plane		
	system in accordance with section 903.3.1.1, the value specified in Table 503 for maximum building height is increased by one, but shall not exceed 60'-0" or 4 stories respectively. 3. Per CBC Section 508.4.3, Allowable height. Each separated occupancy shall comply with the building height	construction. Type IA: 15'-0" above grade plane Type VA: 40'-0" above grade plane		
	 system in accordance with section 903.3.1.1, the value specified in Table 503 for maximum building height is increased by one, but shall not exceed 60'-0" or 4 stories respectively. 3. Per CBC Section 508.4.3, Allowable height. Each separated occupancy shall comply with the building height limitations based on the type of construction of the building 	construction. Type IA: 15'-0" above grade plane Type VA: 40'-0" above grade plane		
	system in accordance with section 903.3.1.1, the value specified in Table 503 for maximum building height is increased by one, but shall not exceed 60'-0" or 4 stories respectively. 3. Per CBC Section 508.4.3, Allowable height. Each separated occupancy shall comply with the building height	construction. Type IA: 15'-0" above grade plane Type VA: 40'-0" above grade plane		
	system in accordance with section 903.3.1.1, the value specified in Table 503 for maximum building height is increased by one, but shall not exceed 60'-0" or 4 stories respectively. 3. Per CBC Section 508.4.3, Allowable height. Each separated occupancy shall comply with the building height limitations based on the type of construction of the building in accordance with section 503.1.	construction. Type IA: 15'-0" above grade plane Type VA: 40'-0" above grade plane		
	 system in accordance with section 903.3.1.1, the value specified in Table 503 for maximum building height is increased by one, but shall not exceed 60'-0" or 4 stories respectively. 3. Per CBC Section 508.4.3, Allowable height. Each separated occupancy shall comply with the building height limitations based on the type of construction of the building in accordance with section 503.1. 4. Per CBC Section 510.2, Horizontal building separation 	construction. Type IA: 15'-0" above grade plane Type VA: 40'-0" above grade plane		
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REQUIRED (BASIC) Type IA: 1 Story above grade plane Type VA: 3 Stories above grade plane Fotal: 4 Stories above grade plane Fotal: 4 Stories above grade plane BUILDING AREA REQUIRED (BASIC) CBC Table 503: Type IA: 3: UL 52: UL 72: UL 74: R2: 74: REQUIRED (BASIC)	system in accordance with section 903.3.1.1, the value specified in Table 503 for maximum building height is increased by one, but shall not exceed 60'-0" or 4 stories respectively. 3. Per CBC Section 508.4.3, Allowable height. Each separated occupancy shall comply with the building height limitations based on the type of construction of the building in accordance with section 503.1. 4. Per CBC Section 510.2, Horizontal building separation allowance. <u>ALLOWED (MODIFICATIONS)</u> 1. Per CBC 506.3 For group R-2 Buildings of Type VA Construction equiped throughout with an approved automatic sprinkler system in accordance with section 903.3.1.1, the value specified in Table 503 for maximum building height is increased by one, but shall not exceed 60' 0" or 4 stories respectively. 2. 3. Per CBC Section 508.4.3, Allowable height. Each separated occupancy shall comply with the building height limitations based on the type of construction of the building in accordance with section 503.1. <u>ALLOWED (MODIFICATIONS)</u> Per CBC Section 506.3, Automatic sprinkler system increase. The Building area limitation in table 503 is permitted to be increased by 200 percent for buildings with more than one story above grade plane. Therefore 24,000sf permitted	construction. Type IA: 15'-0" above grade plane Type VA: 40'-0" above grade plane Total Height: 55'-0" above grade plane Type IA: 1 Story above grade plane Type VA: 4 Stories above grade plane Type VA: 4 Stories above grade plane Total: 5 Stories above grade plane Total: 5 Stories above grade plane PROPOSED Areas/Story (above Grade Plane) Type IA: B/S2/R2: 13,717 max. Type VA: R2: 11,528 sf per story maximum		
REQUIRED (BASIC) Type IA: 1 Story above grade plane Type VA: 3 Stories above grade plane Fotal: 4 Stories above grade plane BUILDING AREA REQUIRED (BASIC) CBC Table 503: Type IA: 3: UL 52: UL 72: UL 72: UL 72: UL 73: UL 74: Construction REQUIRED (BASIC) CBC Table 601 & 602	system in accordance with section 903.3.1.1, the value specified in Table 503 for maximum building height is increased by one, but shall not exceed 60'-0" or 4 stories respectively. 3. Per CBC Section 508.4.3, Allowable height. Each separated occupancy shall comply with the building height limitations based on the type of construction of the building in accordance with section 503.1. 4. Per CBC Section 510.2, Horizontal building separation allowance. <u>ALLOWED (MODIFICATIONS)</u> 1. Per CBC 506.3 For group R-2 Buildings of Type VA Construction equiped throughout with an approved automatic sprinkler system in accordance with section 903.3.1.1, the value specified in Table 503 for maximum building height is increased by one, but shall not exceed 60' 0" or 4 stories respectively. 2. 3. Per CBC Section 508.4.3, Allowable height. Each separated occupancy shall comply with the building height limitations based on the type of construction of the building in accordance with section 503.1. <u>ALLOWED (MODIFICATIONS)</u> Per CBC Section 506.3, Automatic sprinkler system increase. The Building area limitation in table 503 is permitted to be increased by 200 percent for buildings with more than one story above grade plane. Therefore 24,000sf permitted	construction. Type IA: 15'-0" above grade plane Type VA: 40'-0" above grade plane Total Height: 55'-0" above grade plane PROPOSED Type IA: Type VA: 4 Stories above grade plane Total: 5 Stories above grade plane Total: 5 Stories above grade plane PROPOSED Areas/Story (above Grade Plane) Type IA: B/S2/R2: 13,717 max. Type VA: R2: 11,528 sf per story maximum PROPOSED		
REQUIRED (BASIC) Type IA: 1 Story above grade plane Type VA: 3 Stories above grade plane Total: 4 Stories above grade plane BUILDING AREA REQUIRED (BASIC) CBC Table 503: Type IA: B: UL S2: UL R2: UL Type VA: R2: 12,000 TYPES OF CONSTRUCTION REQUIRED (BASIC) Per CBC Table 601 & 602 ACCESIBILITY	system in accordance with section 903.3.1.1, the value specified in Table 503 for maximum building height is increased by one, but shall not exceed 60'-0" or 4 stories respectively. 3. Per CBC Section 508.4.3, Allowable height. Each separated occupancy shall comply with the building height limitations based on the type of construction of the building in accordance with section 503.1. 4. Per CBC Section 510.2, Horizontal building separation allowance. <u>ALLOWED (MODIFICATIONS)</u> 1. Per CBC 506.3 For group R-2 Buildings of Type VA Construction equiped throughout with an approved automatic sprinkler system in accordance with section 903.3.1.1, the value specified in Table 503 for maximum building height is increased by one, but shall not exceed 60' 0" or 4 stories respectively. 2. 3. Per CBC Section 508.4.3, Allowable height. Each separated occupancy shall comply with the building height limitations based on the type of construction of the building in accordance with section 503.1. <u>ALLOWED (MODIFICATIONS)</u> Per CBC Section 506.3, Automatic sprinkler system increase. The Building area limitation in table 503 is permitted to be increased by 200 percent for buildings with more than one story above grade plane. Therefore 24,000sf permitted	construction. Type IA: 15'-0" above grade plane Type VA: 40'-0" above grade plane Total Height: 55'-0" above grade plane PROPOSED Type IA: Type VA: 4 Stories above grade plane Total: 5 Stories above grade plane Total: 5 Stories above grade plane PROPOSED Areas/Story (above Grade Plane) Type IA: B/S2/R2: 13,717 max. Type VA: R2: 11,528 sf per story maximum PROPOSED		
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Type VA: 3 Stories above grade plane	system in accordance with section 903.3.1.1, the value specified in Table 503 for maximum building height is increased by one, but shall not exceed 60'-0" or 4 stories respectively. 3. Per CBC Section 508.4.3, Allowable height. Each separated occupancy shall comply with the building height limitations based on the type of construction of the building in accordance with section 503.1. 4. Per CBC Section 510.2, Horizontal building separation allowance. ALLOWED (MODIFICATIONS) 1. Per CBC 506.3 For group R-2 Buildings of Type VA Construction equiped throughout with an approved automatic sprinkler system in accordance with section 903.3.1.1, the value specified in Table 503 for maximum building height is increased by one, but shall not exceed 60' 0" or 4 stories respectively. 2. 3. Per CBC Section 508.4.3, Allowable height. Each separated occupancy shall comply with the building height limitations based on the type of construction of the building in accordance with section 503.1. ALLOWED (MODIFICATIONS) Per CBC Section 506.3, Automatic sprinkler system increase. The Building area limitation in table 503 is permitted to be increased by 200 percent for buildings with more than one story above grade plane. Therefore 24,000sf permitted ALLOWED (MODIFICATIONS) ALLOWED (MODIFICATIONS)	construction. Type IA: 15'-0" above grade plane Type VA: 40'-0" above grade plane Total Height: 55'-0" above grade plane Type IA: 1 Story above grade plane Type VA: 4 Stories above grade plane Type VA: 4 Stories above grade plane Total: 5 Stories above grade plane Total: 5 Stories above grade plane PROPOSED Areas/Story (above Grade Plane) Type IA: B/S2/R2: B/S2/R2: 13,717 max. Type VA: R2: R2: 11,528 sf per story maximum PROPOSED As noted in CBC Table 601 & 602 this sheet PROPOSED As noted in CBC Table 601 & 602 this sheet		

CTION	OCCUPANCY	OCCUPANCY	OCCUPANCY
	GROUP H ^f , L	GROUP F-1, M, S-1 ^g	GROUP A, B, E, F-2, I, R ^{h,i} , S-2 ⁹ , U ^{b,h,i}
	3	2	1
	3	2	1
	2	1	1
	2	1	1 ^d
	1	0	0
	1	1	1 ^d
	0	0	0

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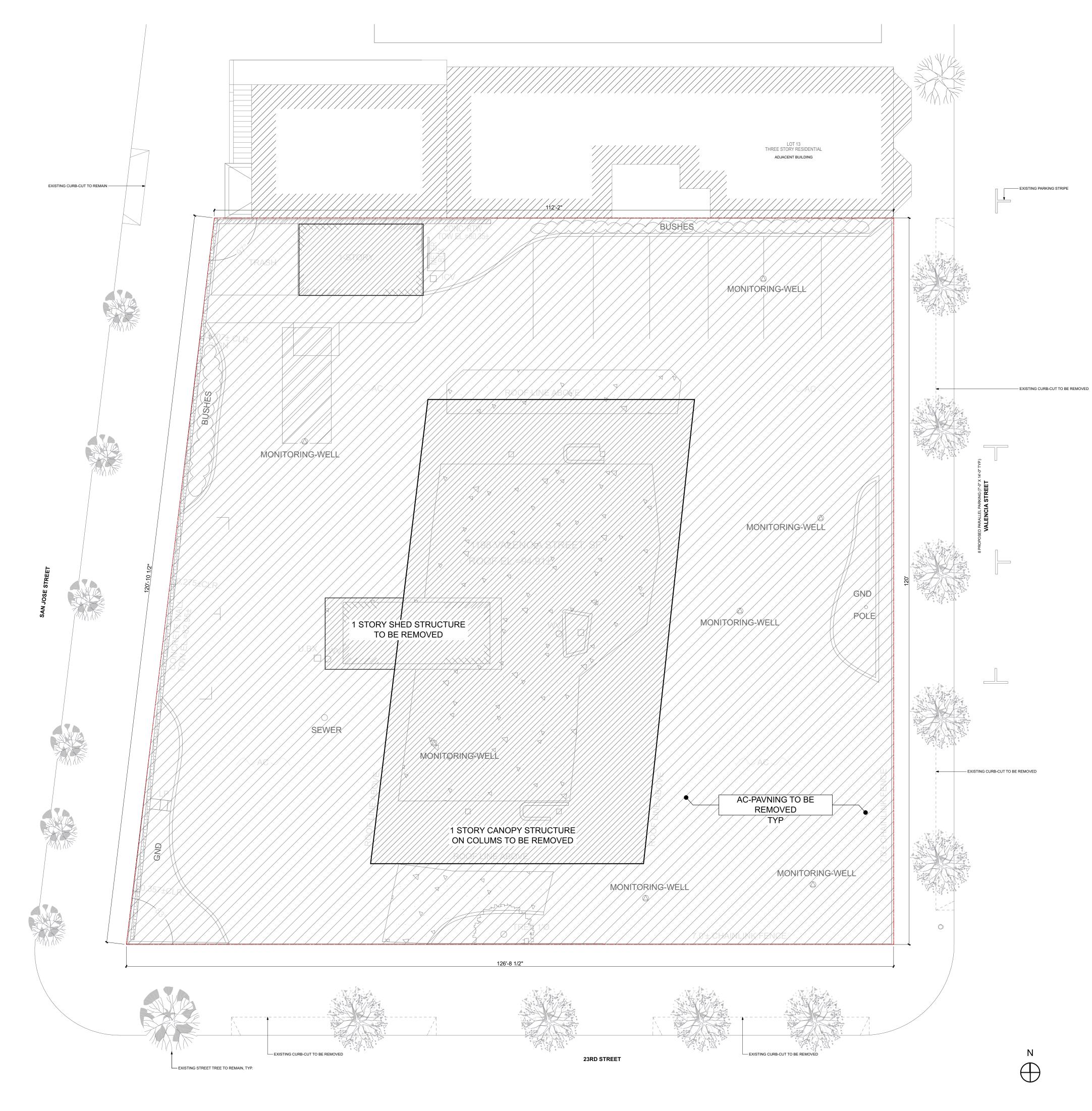


REVISIONS NO. DATE ISSUE **ORIGINAL ISSUE FOR SITE PERMIT 06/26/15** 50% CONSTRUCTION DOCUMENTS 07/24/15 75% CONSTRUCTION DOCUMENTS 09/01/15 PLANNING COMMISSION HEARING 09/16/15 ISSUE PLANNING COMMISSION HEARING 09/16/15 OWNER Valencia Street Partners, LLC **1198 Valencia Stree** 1198 Valencia Street San Francisco, CA 94110

SCALE AS NOTED **DRAWN BY** RG **CHECKED BY** RG PROJECT NO. 201305 DATE 9/17/15

PROJECT DATA

DRAWING NO. 2 of 60



SHEET NOTES

KEY

SITE 01

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ORIGINAL ISSUE FOR SITE PERMIT 06/26/15 50% CONSTRUCTION DOCUMENTS 07/24/15 75% CONSTRUCTION DOCUMENTS 09/01/15 PLANNING COMMISSION HEARING 09/16/15

ISSUE PLANNING COMMISSION HEARING 09/16/15

OWNER Valencia Street Partners, LLC

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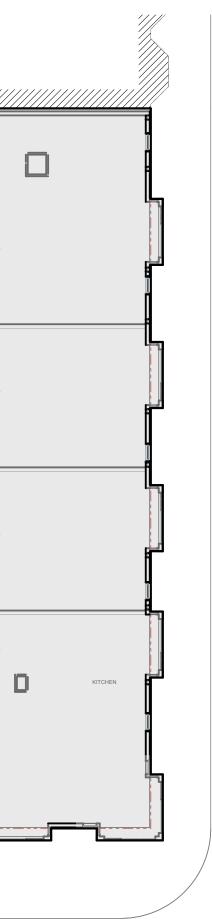
1198 Valencia Street

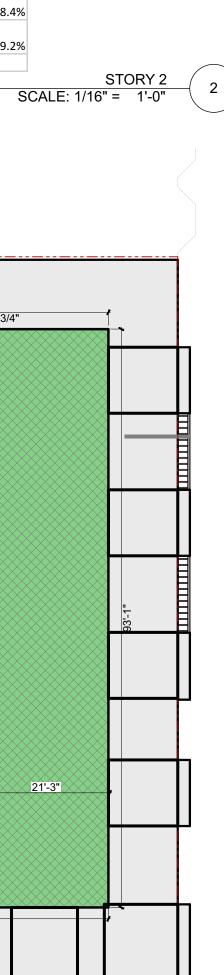
1198 Valencia Street San Francisco, CA 94110

SCALE AS NOTED DRAWN BY RG CHECKED BY RG PROJECT NO. 201305 DATE 9/17/15

DRAWING NO. 3 of 60







SHEET NOTES

KEY

OPEN SPACE, PRIVATE

REAR YARD EQUVALENT

CONTRIBUTING TO STORY

COMMON USEABLE OPEN AREA

QUALIFYING OPEN SPACE, PRIVATE

OPEN SPACE & USEABLE OPEN SPACE AREA TOTAL CALCULATIONS

LOT AREA:	14,374 sq ft			
OPEN SPACE	E/REAR YARD SUMN	IARY		
ITEM				
OPEN AREA	(NOT INCLUDING			
ROOFDECK)				
	Level 1	522.96		
	Level 2	2646.99		
	Level 3	603.87		
	Root	0		
	Tota	3773.82	sq ft	26.3%
REAR YARD	EQUIVALENT			
	Level 1	249.93		
	Level 2	2758.36		
	Level 3	603.87		
	Root	0		
	Tota	3612.16	sq ft	25.1%
COMMON U	JSEABLE OPEN AREA	5151	sa ft	35.8%

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REVI	SIONS		
NO.	DATE	ISSUE	
ORIG	SINAL ISS	UE FOR SITE PERMIT (6/26/15
50%	CONSTR	UCTION DOCUMENTS ()7/24/15
75%	CONSTR	UCTION DOCUMENTS (09/01/15
PLAN	INING CC	MMISSION HEARING 0	9/16/15

ISSUE PLANNING COMMISSION HEARING 09/16/15

OWNER Valencia Street Partners, LLC

1198 Valencia Street

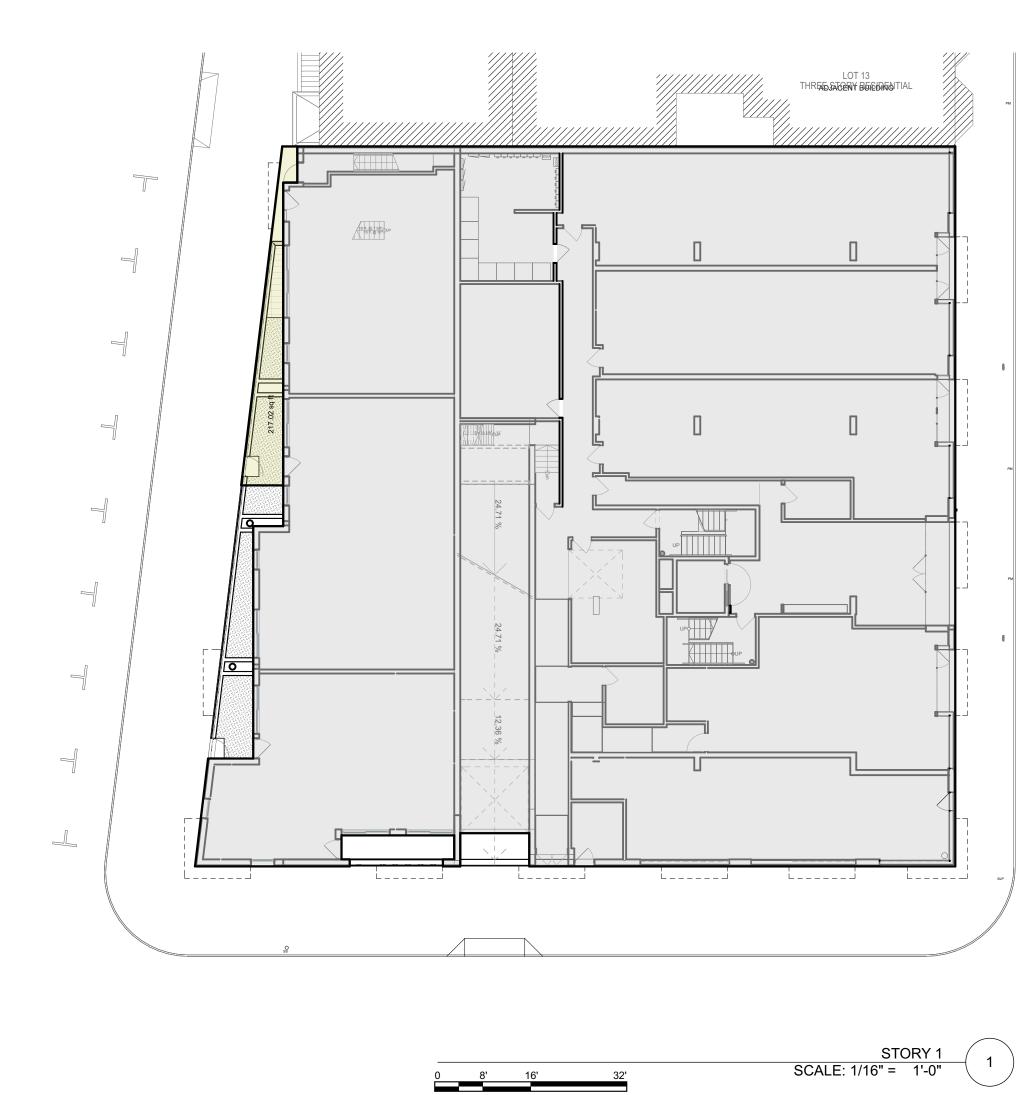
1198 Valencia Street San Francisco, CA 94110

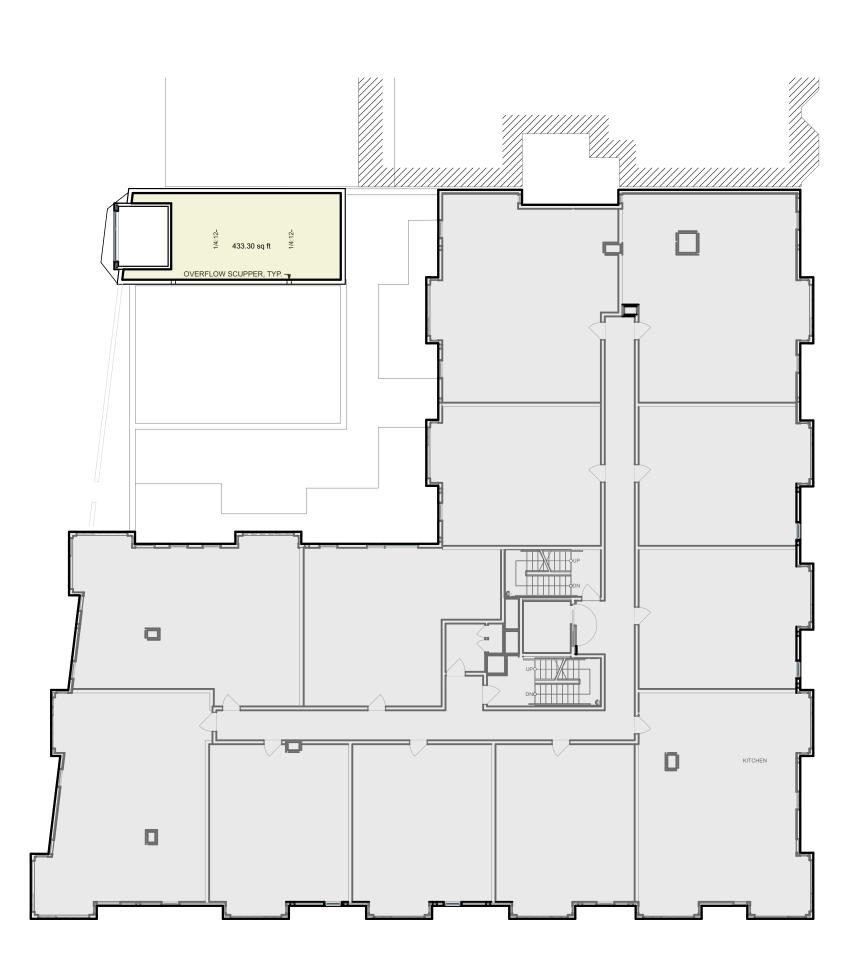
SCALE AS NOTED DRAWN BY RG CHECKED BY RG PROJECT NO. 201305 DATE 9/17/15

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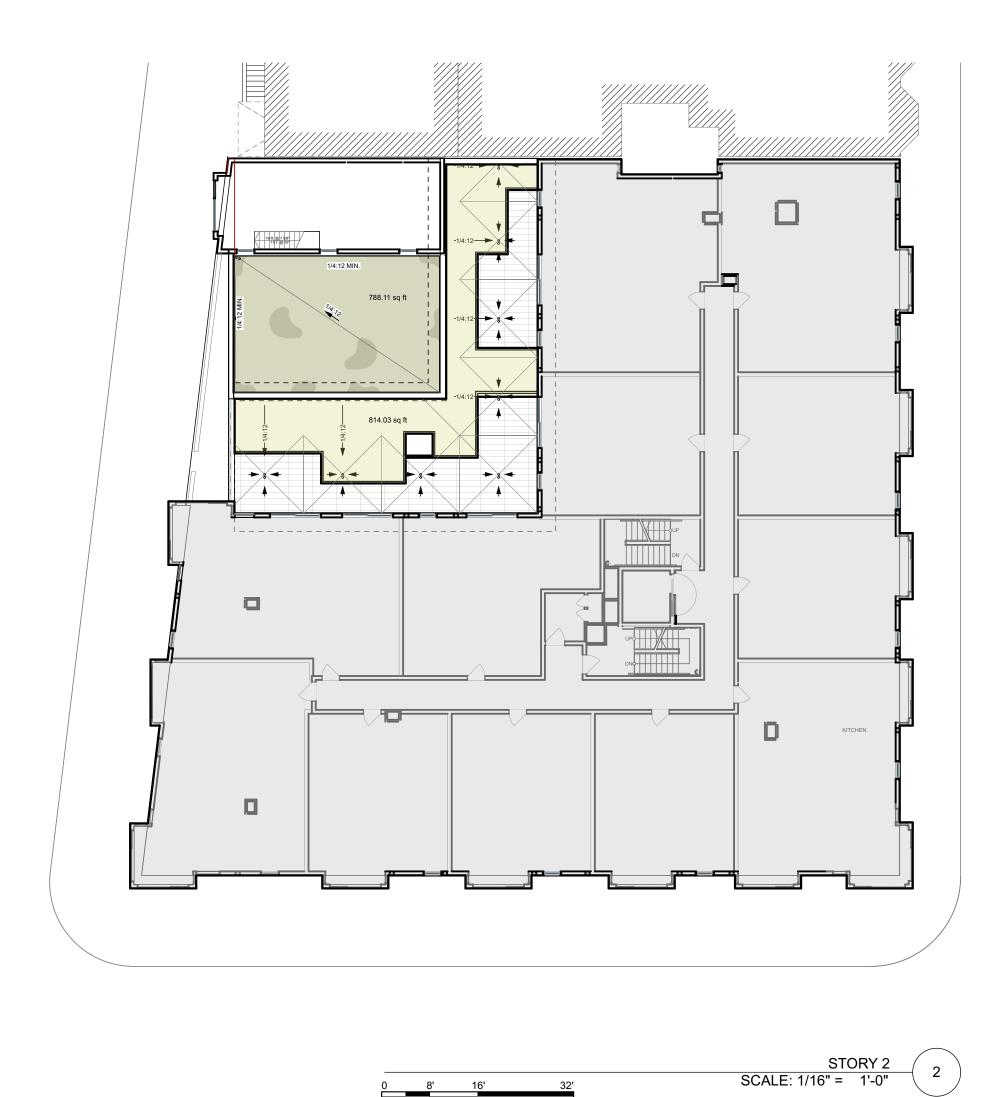
REAR YARD DIAGRAM

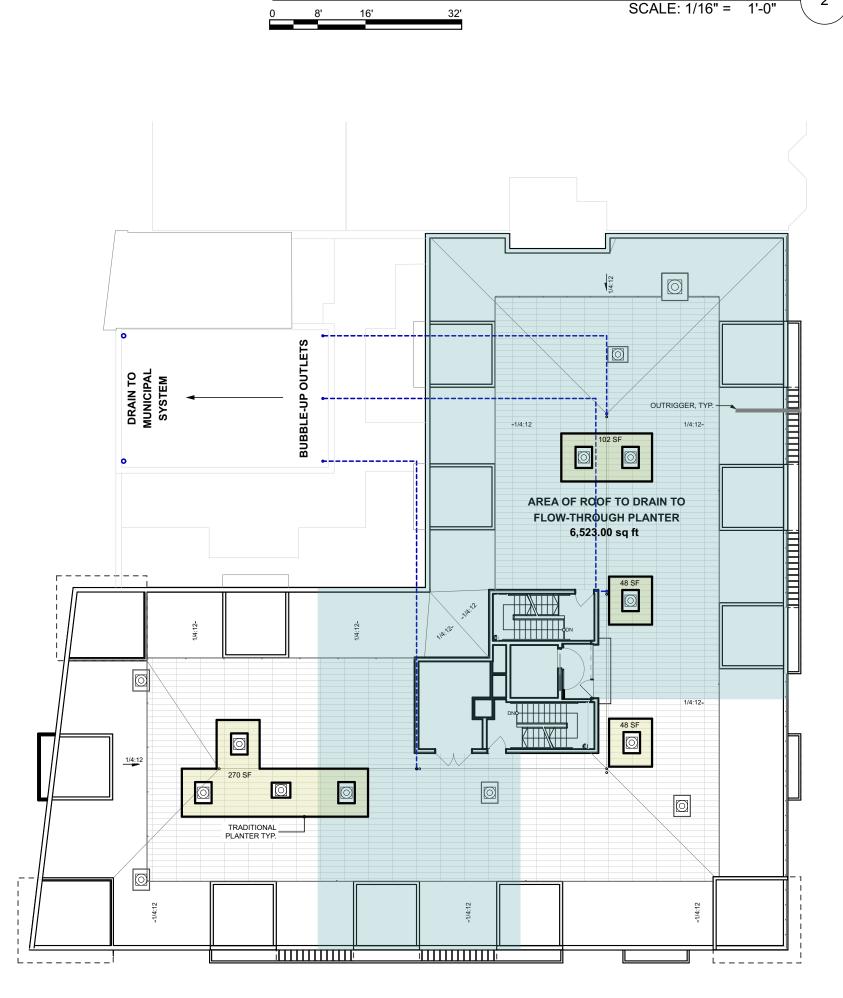
DRAWING NO. 4 of 60 G0.03





0 8' 16' 32'

STORY 3 SCALE: 1/16" = 1'-0" 3 



0 8' 16' 32'

ROOF 4

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KEY

TRADITIONAL PLANTER: 18" SOIL BED MIN,
FLOW THROUGH PLANTER : 30" DEEP (6" PONDING O/ 24" SOIL ROCK BED)
ROOF AREA TO DRAIN TO FLOW- THROUGH PLANTER

MODIFIED COMPLIANCE	STORY	REQUIRED	PROPOSED	COMPLIES
MEASURE		AREA (SF)	AREA (SF)	
LAWN AREA		177	217	YES
FLOW-THROUGH PLANTER		785	788	YES
TRADITIONAL PLANTER				
	2		785	
	3		433	
	R		468	
	Total	1515	1686	YES
ROOF AREA TO DRAIN TO				
FLOW-THROUGH PLANTER		6500	6523	YES

REVISIONS NO. DATE ISSUE

ORIGINAL ISSUE FOR SITE PERMIT 06/26/15 50% CONSTRUCTION DOCUMENTS 07/24/15 75% CONSTRUCTION DOCUMENTS 09/01/15 PLANNING COMMISSION HEARING 09/16/15

ISSUE PLANNING COMMISSION HEARING 09/16/15

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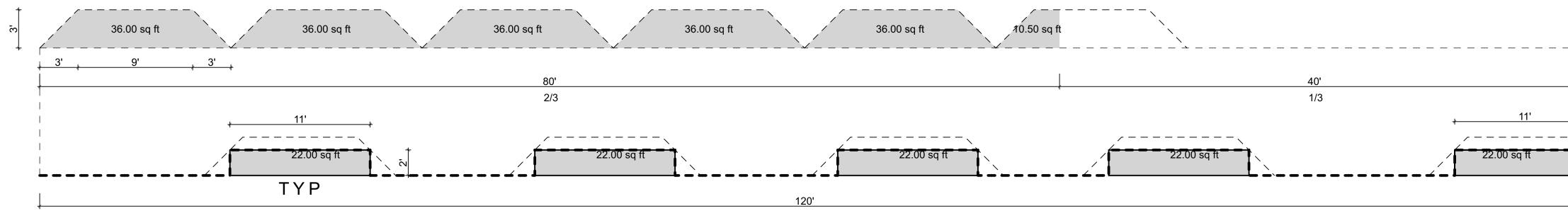
1198 Valencia Street San Francisco, CA 94110

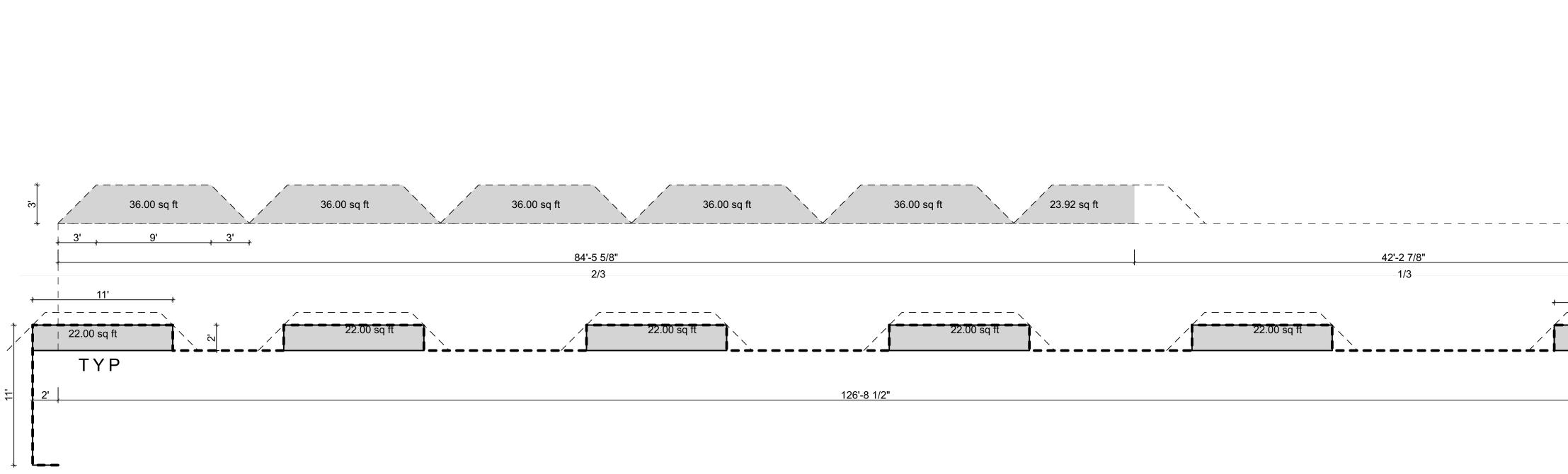
SCALE AS NOTED DRAWN BY RG CHECKED BY RG PROJECT NO. 201305 DATE 9/17/15

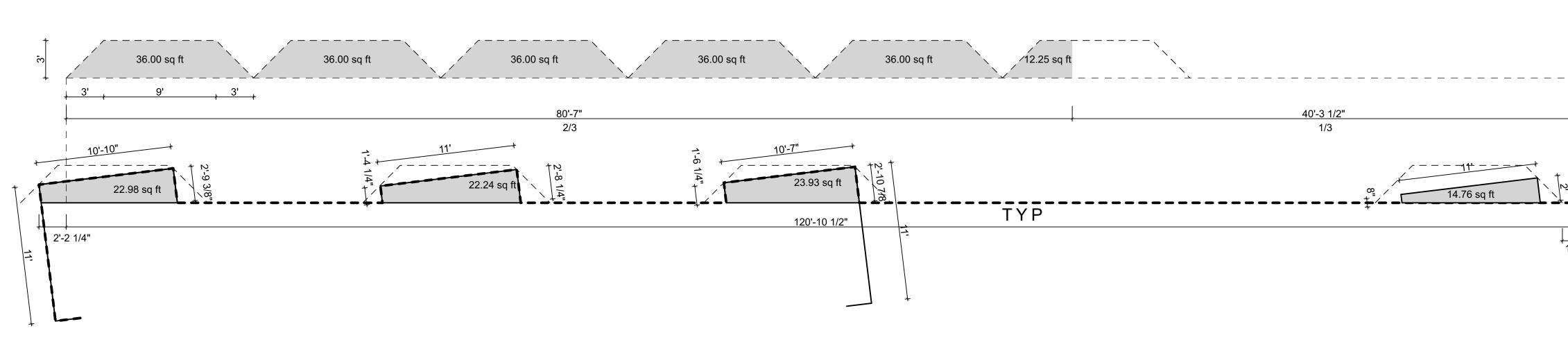
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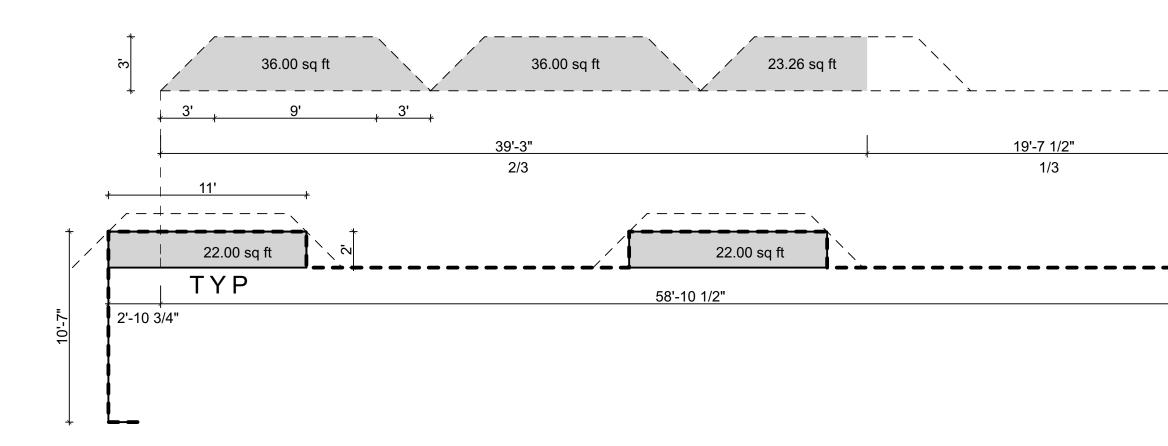
STORM WATER MGMT

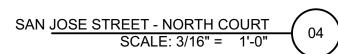
DRAWING NO. 5 of 60







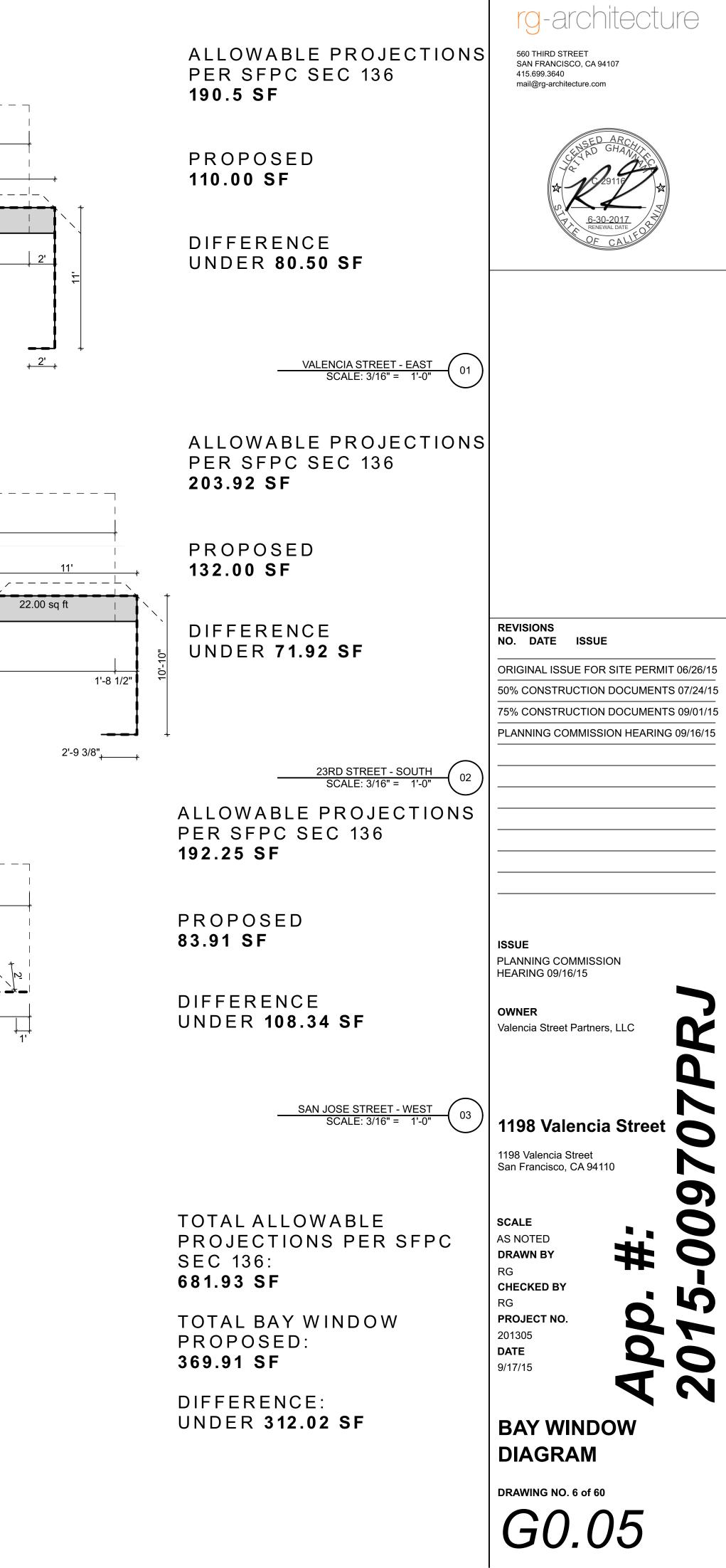


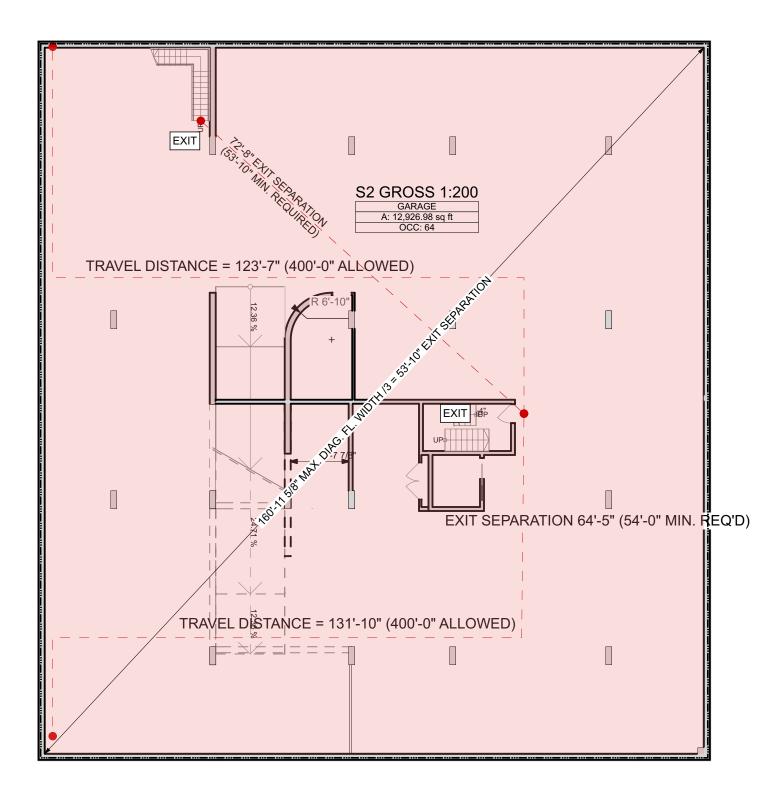


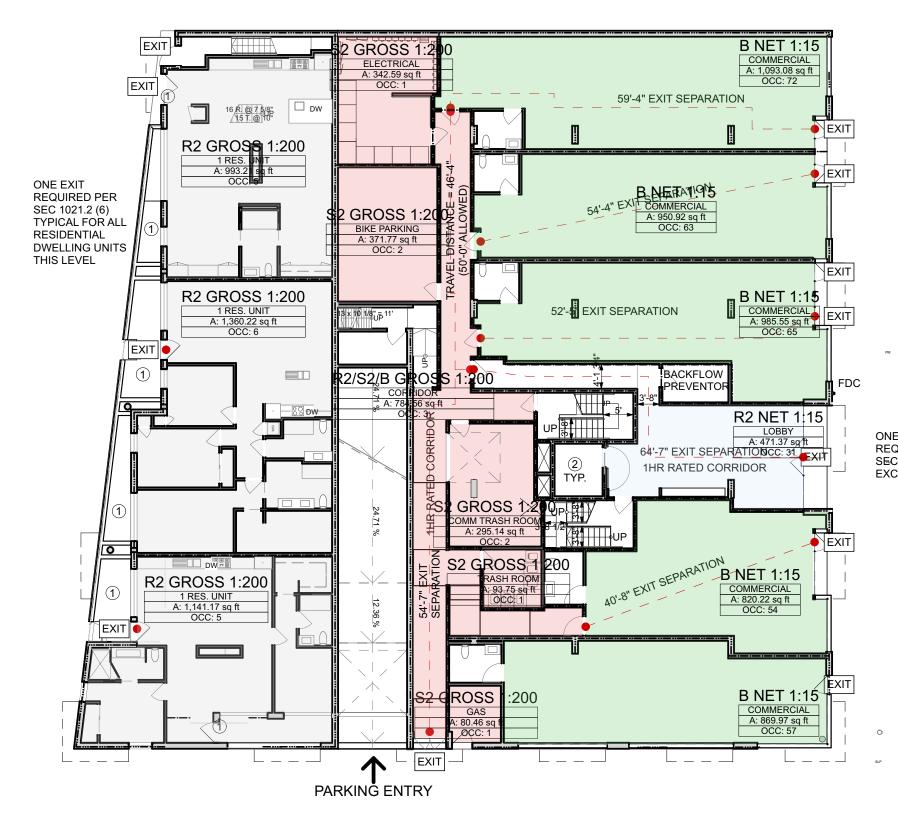




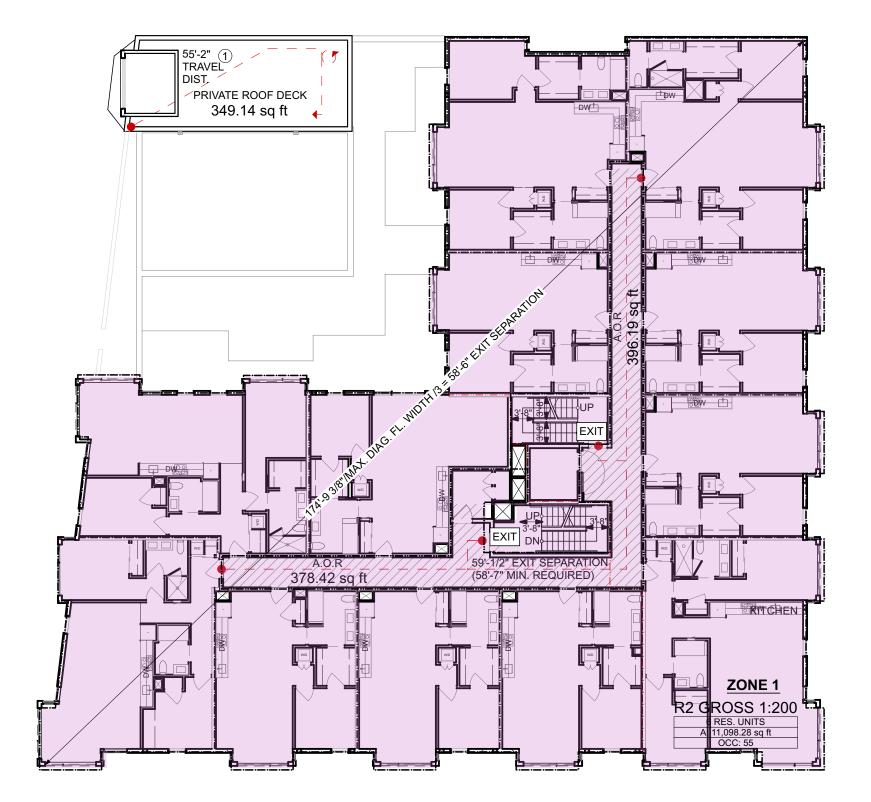
ALLOWABLE PROJECTIONS PER SFPC SEC 136 95.26 SF

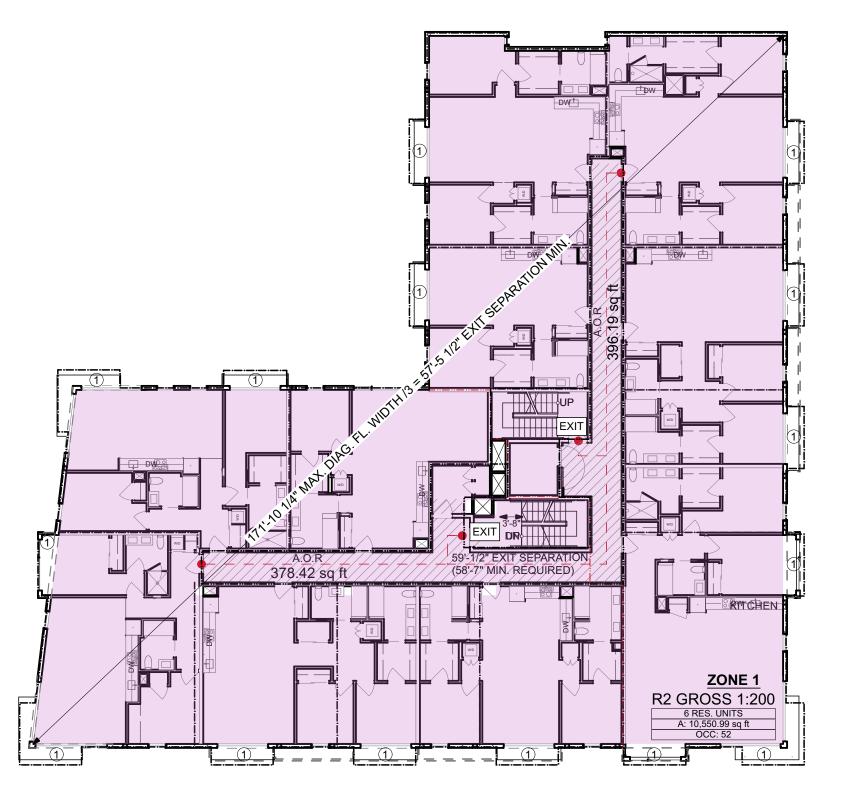






Garage -11'				Ground Floor 0'LEVEL O
OCCUPANCY TYPE	S2	MAX. ALLOWED TRAVEL DISTANCE	400' (1016.1°)	OCCUPANCY TYPE
OCCUPANT LOAD FACTOR	1:200 GROSS	MAX. ACTUAL TRAVEL DISTANCE	123'-7"	OCCUPANT LOAD FACTOR
EXITS REQUIRED	2	COMPLIES WITH CODE	YES	EXITS REQUIRED
EXITS PROVIDED	2			EXITS PROVIDED
MIN EXIT WIDTH REQUIRED	32"(1008.1.1)			MIN EXIT WIDTH REQUIRE
MIN EXIT WIDTH PROVIDED	32"			MIN EXIT WIDTH PROVIDE
MIN CORRIDOR WIDTH REQUIRED	36" (TABLE 1018.2)			MIN CORRIDOR WIDTH RE
MIN CORRIDOR WIDTH PROVIDED	NA			MIN CORRIDOR WIDTH PR
MIN STAIR WIDTH REQUIRED	44"(1009.4)			MIN STAIR WIDTH REQUIRI
MIN STAIR WIDTH PROVIDED	44"			MIN STAIR WIDTH PROVIDI
MIN. REQUIRED EXIT SEPARATION	53'-10"			MIN. REQUIRED EXIT SEPA
ACTUAL EXIT SEPARATION	66'-6"			ACTUAL EXIT SEPARATION
COMPLIES WITH CODE	YES			COMPLIES WITH CODE





Fifth Floor +45'
OCCUPANCY TYPE
OCCUPANT LOAD FACTO
EXITS REQUIRED
EXITS PROVIDED
MIN EXIT WIDTH REQUIR
MIN EXIT WIDTH PROVID
MIN CORRIDOR WIDTH F
MIN CORRIDOR WIDTH F
MIN STAIR WIDTH REQU
MIN STAIR WIDTH PROV
MIN. REQUIRED EXIT SE
ACTUAL EXIT SEPARATIO
COMPLIES WITH CODE

Third Floor & Fourth Floor +25' to +35' OCCUPANCY TYPE OCCUPANT LOAD FACTOR EXITS REQUIRED EXITS PROVIDED MIN EXIT WIDTH REQUIRED MIN EXIT WIDTH PROVIDED MIN CORRIDOR WIDTH REQUIRED MIN CORRIDOR WIDTH PROVIDED MIN STAIR WIDTH REQUIRED MIN STAIR WIDTH PROVIDED MIN. REQUIRED EXIT SEPARATION ACTUAL EXIT SEPARATION

COMPLIES WITH CODE

R2 1:200 GROSS

2

44" (1009.4)

44"

58'-7"

59'-1/2"

YES

32" (1008.1.1 32" 44" (TABLE 1018) 44"

A.O.R. REQUIREMENTS: 165sF TOTAL REQUIRED

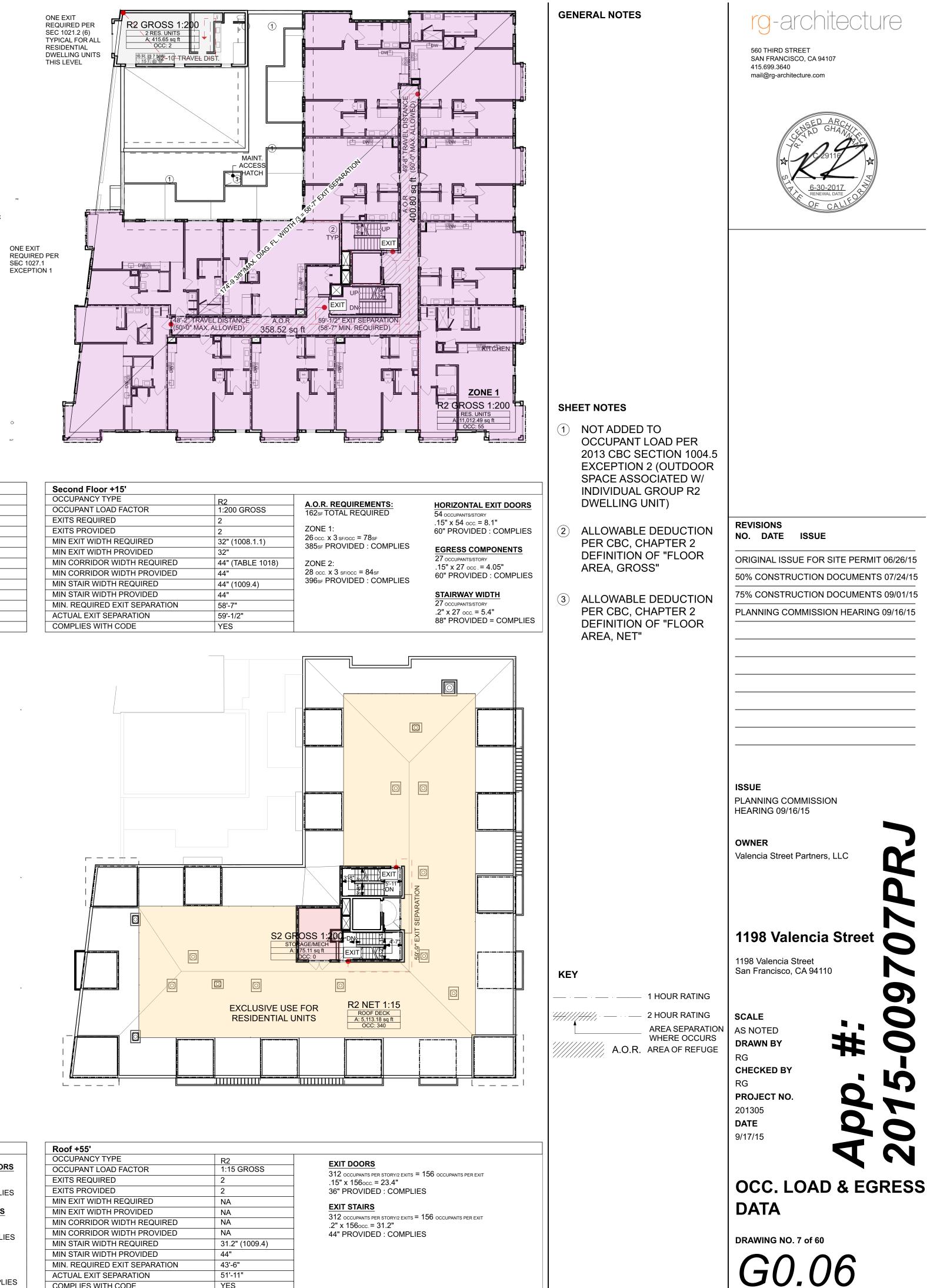
ZONE 1: 27 occ. x 3 sf/occ = 81sf 385sF PROVIDED : COMPLIES ZONE 2: 28 occ. x 3 sf/occ = 84sf 396_{SF} PROVIDED : COMPLIES

55 OCCUPANTS/STORY .15" x 55 OCC. = 8.25" 60" PROVIDED : COMPLIES EGRESS COMPONENTS

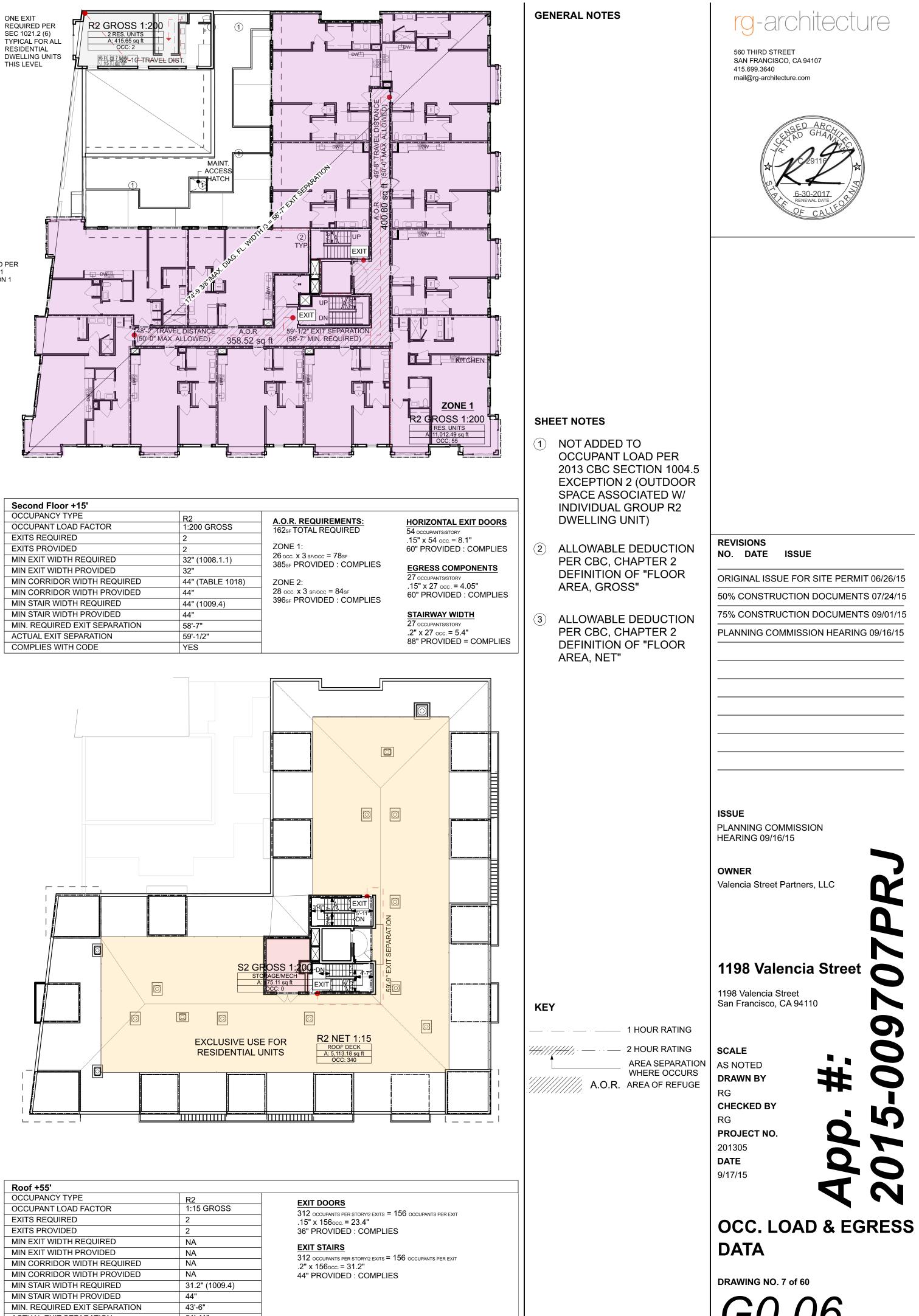
28 OCCUPANTS/STORY .15" x 28 occ. = 4.2" 60" PROVIDED : COMPLIES

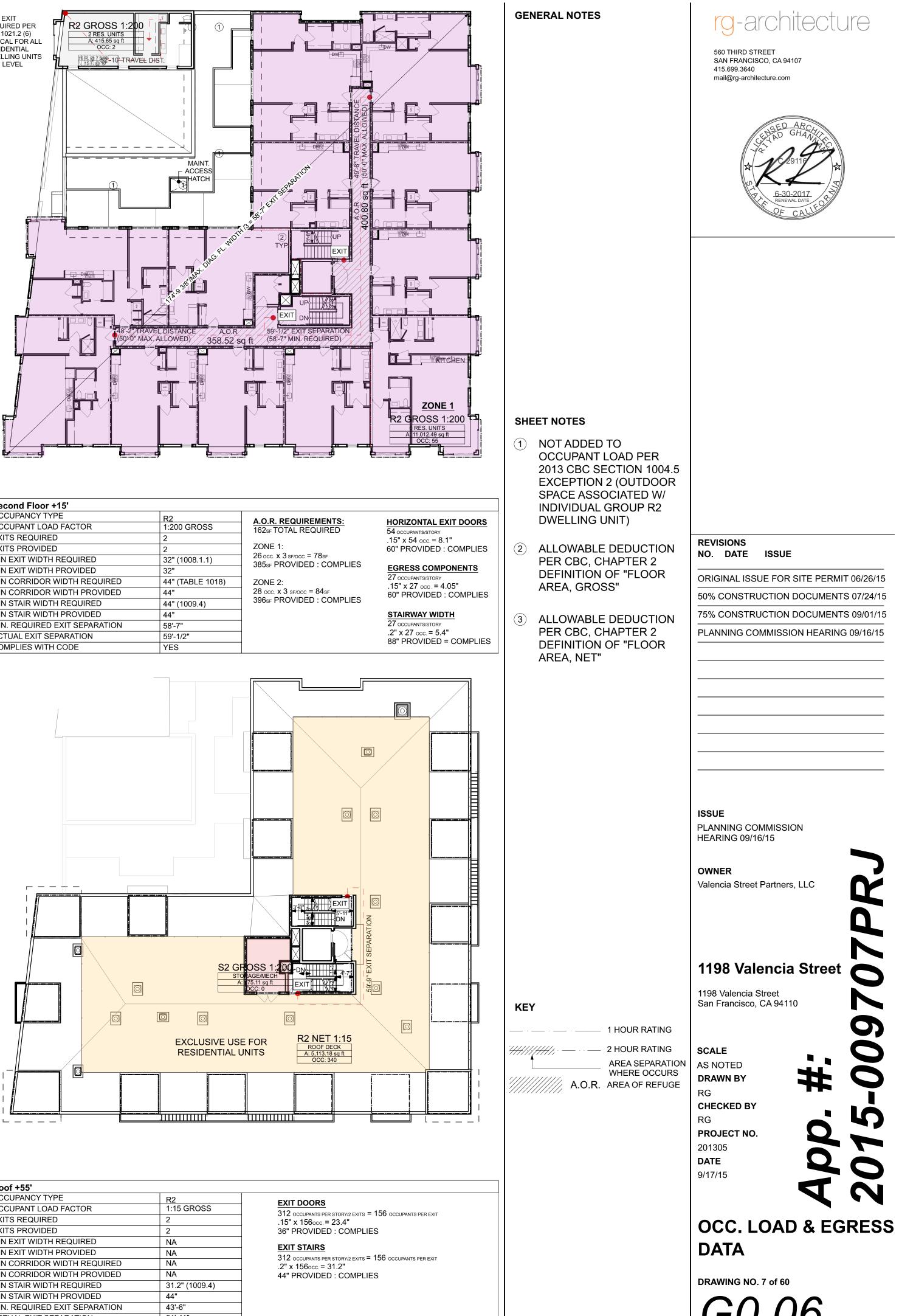
HORIZONTAL EXIT DOORS

STAIRWAY WIDTH 28 OCCUPANTS/STORY .2" x 28 occ. = 5.6" 88" PROVIDED = COMPLIES



L OF EXIT DISCHARGE (SEE PLANS FOR MIXED OCCUPANCY EXIT REQUIRMENTS)						
	R2	R2 (LOBBY)	B (COMMERCIAL)	S2		
OR	1:200 GROSS	1:15 NET	1:15 NET	1:200 GROSS		
	2 (UON, SEE PLANS)	1	2 (U.O.N., SEE PLANS)	2		
	2 (UON, SEE PLANS)	1	2 (U.O.N., SEE PLANS)	2		
RED	32"	32"(1008.1.1)	32" (1008.1.1)	32" (1008.1.1)		
DED	32"	32"	32"	32"		
REQUIRED	36" (TABLE 1018.2)	44" (TABLE 1018.2)	44" (1009.4)	44"(1009.4)		
PROVIDED	36"	44"	44"	44"		
JIRED	36"(1009.4 EX. 1)	NA	44"	44"		
/IDED	36"	NA	60" (RAMP)	60" (RAMP)		
EPARATION	NA	NA	SEE PLANS	40'-0"		
ION	NA	NA		73'-6"		
	YES	YES	YES	YES		





R2
1:200 GROSS
2
2
32" (1008.1.1)
32"
44" (TABLE 1018)
44"
44" (1009.4)
44"
58'-7"
59'-1/2"

YES

A.O.R. REQUIREMENTS: 156sF TOTAL REQUIRED

ZONE 1: 25 occ. x 3 sf/occ = 75sf 385sF PROVIDED : COMPLIES ZONE 2:

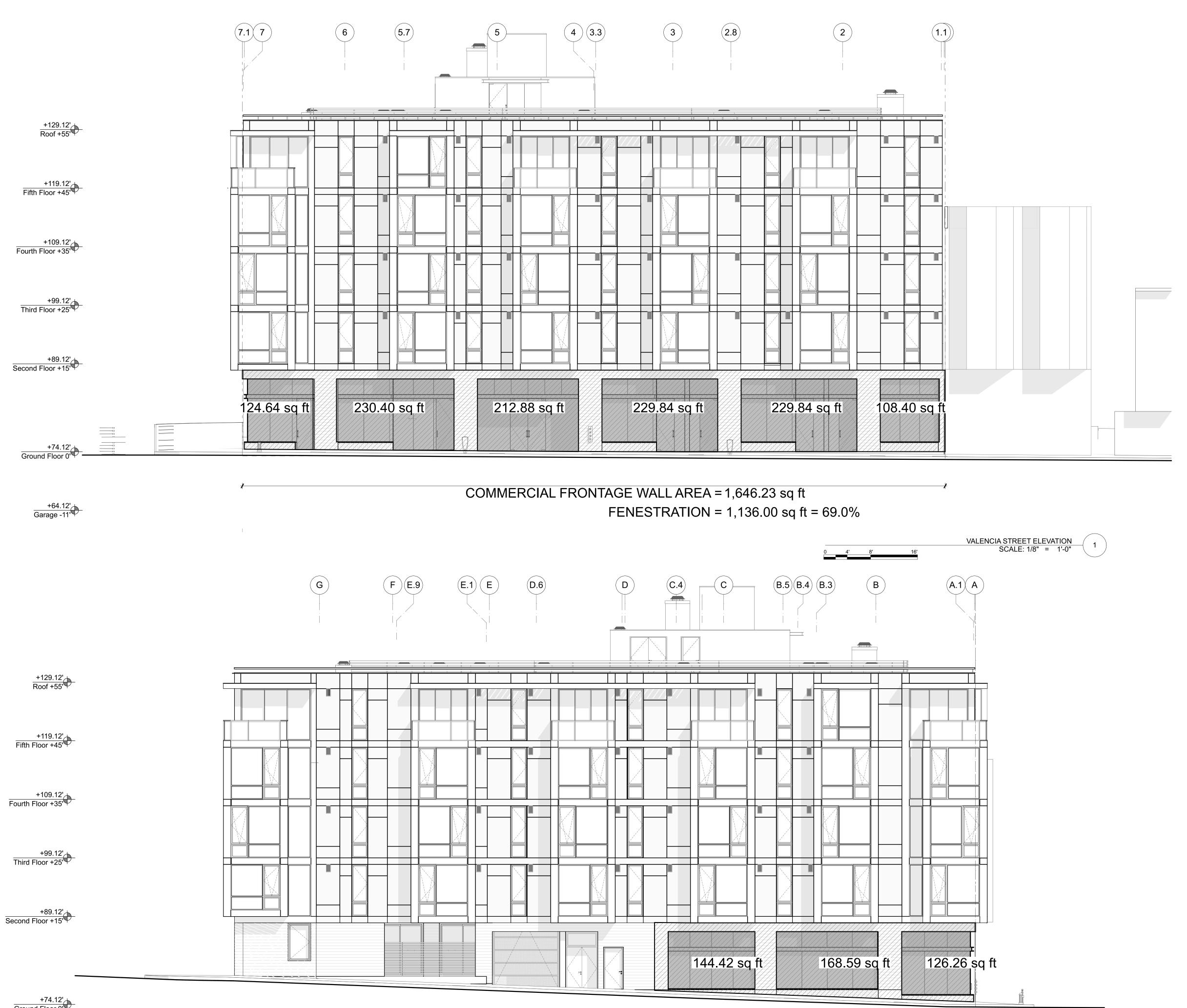
27 occ. x 3 sf/occ = 81sf 396sF PROVIDED : COMPLIES

HORIZONTAL EXIT DOORS 52 OCCUPANTS/STORY .15" x 52 OCC. = 7.8" 60" PROVIDED : COMPLIES

EGRESS COMPONENTS 26 OCCUPANTS/STORY .15" x 26 occ. = 4.2" 60" PROVIDED : COMPLIES

STAIRWAY WIDTH 26 OCCUPANTS/STORY .2" x 26 occ. = 5.2" 88" PROVIDED = COMPLIES

Roof +55'	F
OCCUPANCY TYPE	R2
OCCUPANT LOAD FACTOR	1:15 GROSS
EXITS REQUIRED	2
EXITS PROVIDED	2
MIN EXIT WIDTH REQUIRED	NA
MIN EXIT WIDTH PROVIDED	NA
MIN CORRIDOR WIDTH REQUIRED	NA
MIN CORRIDOR WIDTH PROVIDED	NA
MIN STAIR WIDTH REQUIRED	31.2" (1009.4)
MIN STAIR WIDTH PROVIDED	44"
MIN. REQUIRED EXIT SEPARATION	43'-6"
ACTUAL EXIT SEPARATION	51'-11"
COMPLIES WITH CODE	YES



+74.12' Ground Floor 0'

COMMERCIAL FRONTAGE WALL AREA = 675.71 sq ft FENESTRATION = 439.27 sq ft = 65.0%



GENERAL NOTES

SHEET NOTES

KEY

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REVISIONS NO. DATE ISSUE

ORIGINAL ISSUE FOR SITE PERMIT 06/26/15 50% CONSTRUCTION DOCUMENTS 07/24/15 75% CONSTRUCTION DOCUMENTS 09/01/15 PLANNING COMMISSION HEARING 09/16/15

ISSUE PLANNING COMMISSION HEARING 09/16/15

OWNER Valencia Street Partners, LLC

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1198 Valencia Street

1198 Valencia Street San Francisco, CA 94110

SCALE AS NOTED DRAWN BY RG CHECKED BY RG PROJECT NO. 201305 DATE 9/17/15

COMM. STREET FRONTAGE SEC 145.1

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DRAWING NO. 8 of 60

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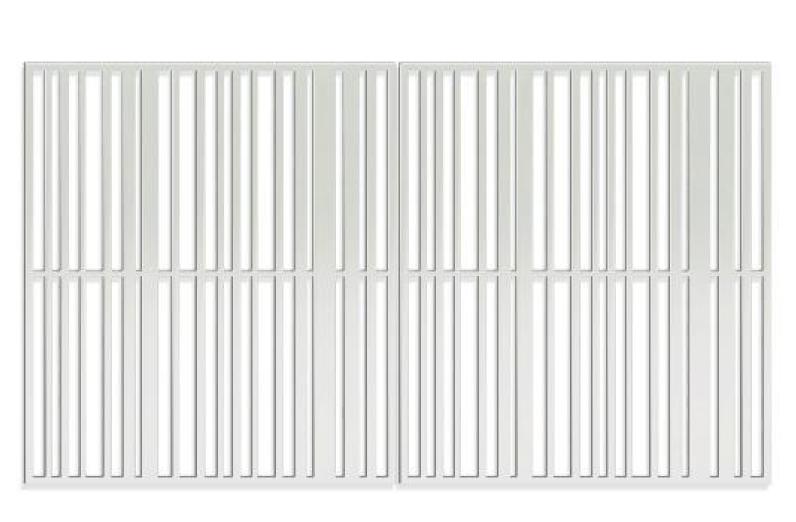


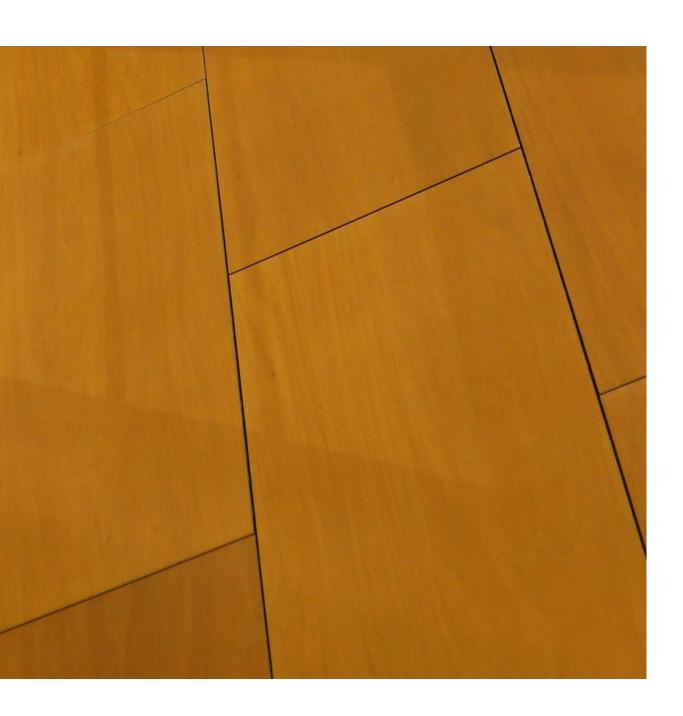
CEMENT PLASTER





HARDIEPLANK® LAP SIDING COLONIAL SMOOTH





PRODEMA^M OR SIMILIAR WOOD-VENEER PANEL

03

16

LASER CUT PRIVACY SCREENS, POWDER COATED METAL, CUSTOM PATTERN TO MATCH BUILDING MOTIF





BRICK VENEER





EXPOSED BOARD FORMED CONCRETE BASE





SHEET NOTES

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OWNER Valencia Street Partners, LLC

1198 Valencia Street

1198 Valencia Street San Francisco, CA 94110

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MATERIALS

DRAWING NO. 9 of 60

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GENERAL NOTES

Green Building: Site Permit Submittal

BASIC INFORMATION:

These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

Project Name 1198 VALENCIA STREET	Block/Lot 3635 / 014	Address 1198 Valencia Street San Francisco, CA 94110
Gross Project Area	Primary Occupancy	Number of occupied floors
73,793 SQ FT	RESIDENTIAL	5 FLOORS AND BASEMENT

Design Professional/Applicant: Sign & Date

ALL PROJECTS, AS APPLICABLE

Construction activity stormwater pollution prevention and site runoff controls - Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.

Stormwater Control Plan: Projects disturbing ≥5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines

Water Efficient Irrigation - Projects that include ≥ 1,000 square feet of new or modified landscape must comply with the SFPUC Water Efficient Irrigation Ordinance.

Construction Waste Management – Comply with the San Francisco Construction & Demolition Debris Ordinance

Recycling by Occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. See Administrative Bulletin 088 for details.

GREENPOINT RATED PROJECTS

Proposing a GreenPoint Rated Project (Indicate at right by checking the box.)	
Base number of required Greenpoints:	75
Adjustment for retention / demolition of historic features / building:	
Final number of required points (base number +/- adjustment)	
GreenPoint Rated (i.e. meets all prerequisites)	•
Energy Efficiency: Demonstrate a 10% energy use reduction compared to Title 24, Part 6 (2013).	
Meet all California Green Building Standards Code requirements	

(CalGreen measures for residential projects have been integrated into the GreenPoint Rated system.)

Notes

1) New residential projects of 4 or more occupied floors must use t "New Residential High-Rise" column. New residential with 3 or few occupied floors must use the "New Residential Low Rise" column. 2) LEED for Homes Mid-Rise projects must meet the "Silver" stand including all prerequisites. The number of points required to achiev Silver depends on unit size. See LEED for Homes Mid-Rise Rating System to confirm the base number of points required.

LC	ED PR	OJECI	3			
	New Large Com- mercial	New Low Rise Residential	New High Rise Residential	Large First Time Commerical Interior	Commercial Major Alteration	Residential Major Alteratio
Type of Project Proposed (Indicate at right)						
Overall Requirements:	·		-			-
LEED certification level (includes prerequisites):	GOLD	SILVER	SILVER	GOLD	GOLD	GOLD
Base number of required points:	60	2	50	60	60	60
Adjustment for retention / demolition of historic features / building:				n/a		
Final number of required points (base number +/- adjustment)				50		
Specific Requirements: (n/r indicates a measure is no	ot required)					
Construction Waste Management – 75% Diversion AND comply with San Francisco Construction & Demolition Debris Ordinance - LEED MR 2, 2 points	•	•	•	•	Meet C&D ordinance only	•
Energy Use Comply with California Title-24 Part 6 (2013) and meet LEED mini- mum energy performance (LEED EA p2)	•	LEED prerequisite	•	•		ED isite only
Renewable Energy or Enhanced Energy Efficiency Effective 1/1/2012: Generate renewable energy on-site ≥1% of total annual energy cost (LEED EAc2), OR Demonstrate at least 10% energy use reduction (compared to Title 24 Part 6 2013), OR Purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EAc6).	•	n/r	n/r	n/r	n/r	n/r
Enhanced Commissioning of Building Energy Systems LEED EA 3	•		Mee	et LEED prerequ	isites	
Water Use - 30% Reduction LEED WE 3, 2 points		Meet LEED prerequisite	•	Мее	et LEED prerequ	lisite
Enhanced Refrigerant Management LEED EA 4		n/r	n/r	•	•	n/r
Indoor Air Quality Management Plan LEED IEQ 3.1		CalGreen 4.504.1	CalGreen 4.504.1	CalGreen 5.504.3	CalGreen 5.504.3	CalGreen 4.504.1
Low-Emitting Materials LEED IEQ 4.1, 4.2, 4.3, and 4.4	•	•	•	•	•	•
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater, or meet LEED credit SSc4.2.	•		cisco Planning e 155	•	See San Fran Code	cisco Plannin e 155
Designated parking: Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles.	•			•	n/r	n/r
Water Meters: Provide submeters for spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in building over 50,000 sq. ft.	•	n/r	n/r	•	(addition only)	n/r
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings (or LEED credit IEQ 5).		n/r	n/r			n/r
Air Filtration: Provide MERV-13 filters in residential buildings in air-quality hot-spots (or LEED credit IEQ 5). (SF Health Code Article 38 and SF Building Code 1203.5)	n/r	•	•	n/r	n/r	•
Acoustical Control: wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40.		See CE	3C 1207	•	(envelope alteration & addition only)	n/r



Instructions:

As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Green Building Code, California Title 24 Part 11, and related codes. Attachment C3, C4, C5, C6, C7, or C8 will be due with the applicable addendum. To use the form:

(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply.

AND

(b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but using such tools as early as possible is strongly recommended.

Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. See relevant codes for details.

OTHER APPLICA

Requirements below only apply when the references below are applicable to New No quirements for additions and alterations ca Requirements for additions or alterations a after.³

Type of Project Proposed (Che

Energy Efficiency: Comply with Califor

Bicycle parking: Provide short-term and motorized parking capacity each, or meet Sa whichever is greater (or LEED credit SSc4.2)

Fuel efficient vehicle and carpool low-emitting, fuel efficient, and carpool/van p spaces.

Water Meters: Provide submeters for spa or >100 gal/day if in buildings over 50,000 sq

Indoor Water Efficiency: Reduce overa for showerheads, lavatories, kitchen faucets, wash

Commissioning: For new buildings grea shall be included in the design and constructi systems and components meet the owner's

OR for buildings less than 10,000 square fe

Protect duct openings and mechani

Adhesives, sealants, and caulks: VOC limits and California Code of Regulations

Paints and coatings: Comply with VOC Architectural Coatings Suggested Control Me Title 17 for aerosol paints.

- **Carpet:** All carpet must meet one of the following 1. Carpet and Rug Institute Green Label Plus Pro 2. California Department of Public Health Standar
- 01350),
- 3. NSF/ANSI 140 at the Gold level,
- 4. Scientific Certifications Systems Sustainable C 5. California Collaborative for High Performance
- Performance Product Database
- AND carpet cushion must meet Carpet and Rug Ins AND indoor carpet adhesive & carpet pad adhesive

Composite wood: Meet CARB Air Toxics Co

Resilient flooring systems: For 80% resilient flooring complying with the VOC-emis for High Performance Schools (CHPS) criteria Covering Institute (RFCI) FloorScore program

Environmental Tobacco Smoke: Pr entries, outdoor air intakes, and operable win

Air Filtration: Provide at least MERV-8 fil mechanically ventilated buildings.

Acoustical Control: Wall and roof-ceilir walls and floor-ceilings STC 40.

CFCs and Halons: Do not install equipme

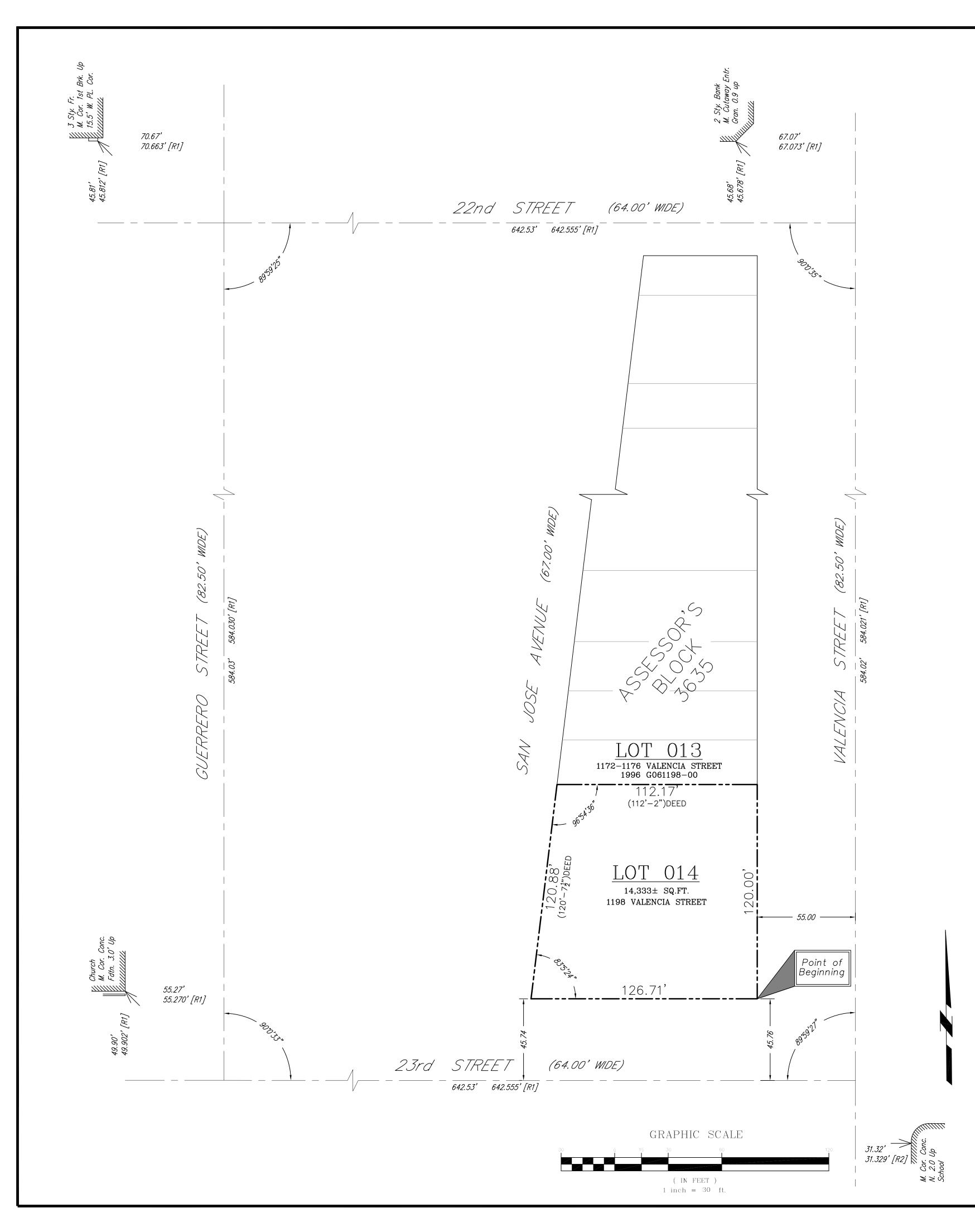
Additional Requirements for New

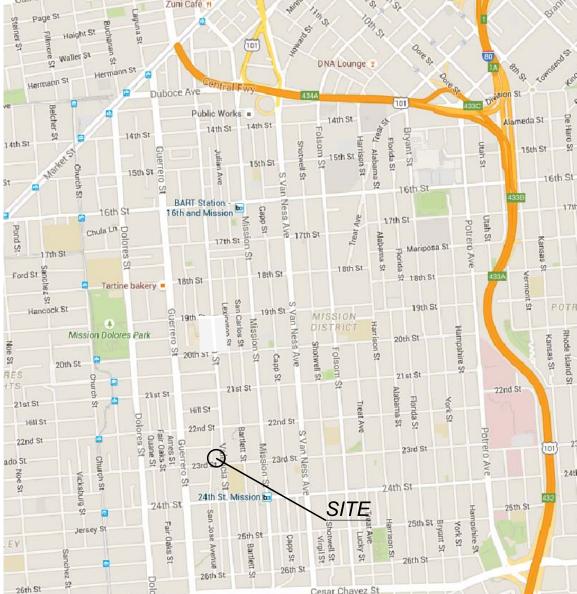
Construction Waste Management debris AND comply with San Francisco Cons

Renewable Energy or Enhanced E Effective January 1, 2012: Generate renewa annual energy cost (LEED EAc2), OR demonstrate a 10% energy use reduction cor purchase Green-E certified renewable energy cre

BLE NON-RESIDENTIA	L PROJE	CTS
measure is applicable to the project. Code on-Residential buildings. Corresponding re- an be found in Title 24 Part 11, Division 5.7. apply to applications received July 1, 2012 or	Other New Non- Residential	Addition ≥1,000 sq ft OR Alteration ≥\$200,000 ³
eck box if applicable)		
rnia Energy Code, Title 24, Part 6 (2013).		•
d long-term bicycle parking for 5% of total an Francisco Planning Code Sec 155, :).	•	•
parking: Provide stall marking for bool vehicles; approximately 8% of total	•	•
aces projected to consume >1,000 gal/day, q. ft.	•	Addition only
all use of potable water within the building by 20% fountains, water closets, and urinals.	•	•
eater than 10,000 square feet, commissioning tion of the project to verify that the building project requirements. eet, testing and adjusting of systems is required.	•	(Testing & Balancing)
nical equipment during construction	•	•
Comply with VOC limits in SCAQMD Rule 1168 Title 17 for aerosol adhesives.	•	٠
C limits in the Air Resources Board easure and California Code of Regulations	•	•
g: ogram, ard Practice for the testing of VOCs (Specification		
Choice, OR Schools EQ 2.2 and listed in the CHPS High		
nstitute Green Label, /e must not exceed 50 g/L VOC content.		
ontrol Measure for Composite Wood		
6 of floor area receiving resilient flooring, install ssion limits defined in the 2009 Collaborative a or certified under the Resilient Floor n.	•	•
Prohibit smoking within 25 feet of building ndows.	•	
ilters in regularly occupied spaces of	•	•
ngs STC 50, exterior windows STC 30, party	•	(envelope alteration & addition only)
ent that contains CFCs or Halons.	•	•
A, B, I, OR M Occupancy Projects 5	,000 - 25,000	Square Feet
 Divert 75% of construction and demolition struction & Demolition Debris Ordinance. 	•	Meet C&D ordinance only
Energy Efficiency vable energy on-site equal to ≥1% of total		n/r
ompared to Title 24 Part 6 (2013), OR		11/1







No

LEGEND

----- PROPERTY LINE ----- MONUMENT LINE

REFERENCES:

- [R1] MONUMENT MAP NO. 257 ON FILE IN THE OFFICE OF THE CITY AND COUNTY OF SAN FRANCISCO SURVEYOR.
- [R2] MONUMENT MAP NO. 263 ON FILE IN THE OFFICE OF THE CITY AND COUNTY OF SAN FRANCISCO SURVEYOR.
- [R3] BLOCK DIAGRAM OF MISSION BLOCK NO. 135 ON FILE IN THE OFFICE OF THE CITY AND COUNTY OF SAN FRANCISCO SURVEYOR.

VICINITY MAP

TITLE REPORT LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN IS SITUATED IN THE CITY OF SAN FRANCISCO, COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT OF INTERSECTION OF THE NORTHERLY LINE OF TWENTY-THIRD STREET WITH THE WESTERLY LINE OF VALENCIA STREET; RUNNING THENCE NORTHERLY ALONG SAID LINE OF VALENCIA STREET 120 FEET; THENCE AT RIGHT ANGLE WESTERLY 112 FEET AND 2 INCHES, MORE OR LESS, TO THE EASTERLY LINE OF SAN JOSE AVENUE; THENCE SOUTHERLY ALONG SAID LINE OF SAN JOSE AVENUE 120 FEET AND 7¹/₂ INCHES, MORE OR LESS, TO THE NORTHERLY LINE OF TWENTY-THIRD STREET; AND THENCE EASTERLY ALONG SAID LINE OF TWENTY-THIRD STREET 126.71 FEET, MORE OR LESS, TO THE POINT OF BEGINNING

BEING A PART OF MISSION BLOCK NO. 135

APN: LOT 014, BLOCK 3635

ITEMS CORRESPONDING TO SCHEDULE B

SCHEDULE B EXCEPTIONS PER PRELIMINARY TITLE REPORT NUMBER 12-545931-JJ, DATED OCTOBER 30, 2012 BY FIDELITY NATIONAL TITLE COMPANY.

ITEMS 1 THROUGH 11 ARE NOT PLOTTABLE BECAUSE THERE ARE NO SPECIFIC LEGAL DESCRIPTIONS FOR THESE ITEMS AND/OR APPLY TO THE ENTIRE PROPERTY.

ZONING DATA:

ZONING CLASSIFICATION: NCT (NEIGHBORHOOD COMMERCIAL TRANSIT) BUILDING SETBACKS: none HEIGHT AND BULK ZONE:55-X SOURCE: San Francisco Planning Dept.

AREA OF PROPERTY: 14,333± SQUARE FEET

FLOOD ZONE: THE SUBJECT PARCEL DESCRIBED HEREON LIES WITHIN AN UNMAPPED ZONE BY FEMA.

GENERAL NOTES:

- 1. ALL ANGLES ARE NINETY DEGREES UNLESS OTHERWISE NOTED.
- 2. ALL DISTANCES ARE IN TENTHS AND HUNDREDTHS OF FEET.
- 3. ELEVATIONS ARE BASED UPON THE CITY AND COUNTY OF SAN FRANCISCO DATUM.
- 4. ALL MEASURED DISTANCES ON THIS SURVEY EQUAL THE RECORD DISTANCE SHOWN ON ONE OR MORE OF THE REFERENCES UNLESS OTHERWISE NOTED HEREON INDICATED BY BRACKETS [].
- 5. NO RESPONSIBILITY OF CONTENT, COMPLETENESS OR ACCURACY OF THE CLIENT PROVIDED TITLE REPORT IS ASSUMED BY THIS PLAT OR THE SURVEYOR, ONLY SURVEY RELATED ITEMS ARE SHOWN HEREON.
- 6. ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO: UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING, EASEMENTS, SERVITUDES, AND ENCROACHMENTS; ARE BASED SOLELY ON VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
- 7. THERE WAS OBSERVABLE EVIDENCE OF EARTH MOVING WORK WITHIN RECENT MONTHS.

BASIS OF SURVEY:

THE MONUMENT LINES WERE LOCATED BY RECORD MEASUREMENTS FROM FOUND MONUMENTS AS SHOWN ON MONUMENT MAPS #257 AND #263. THE BLOCK LINES WERE ESTABLISHED PARALLEL AND PERPENDICULAR TO THE MONUMENT LINE OF VALENCIA STREET. THE NORTHERLY LINE OF 23RD STREET AND THE WESTERLY LINE OF VALENCIA STREET WERE ESTABLISHED BY COMPELLING EVIDENCE OF OCCUPATION LINES, CURB LINES AND RECORD DISTANCES SHOWN ON BLOCK DIAGRAM OF MISSION BLOCK NO:135.

SURVEYOR'S CERTIFICATE:

To J.S. SULLIVAN DEVELOPMENT, LLC, and to FIDELITY NATIONAL TITLE COMPANY:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(c), 8, 9, 10(a), 10(b), 11(a), 13, 16, 17, 20(a) and 21 of Table A thereof. The field work was completed on July 8, 2015.

Danil f. Atatanan

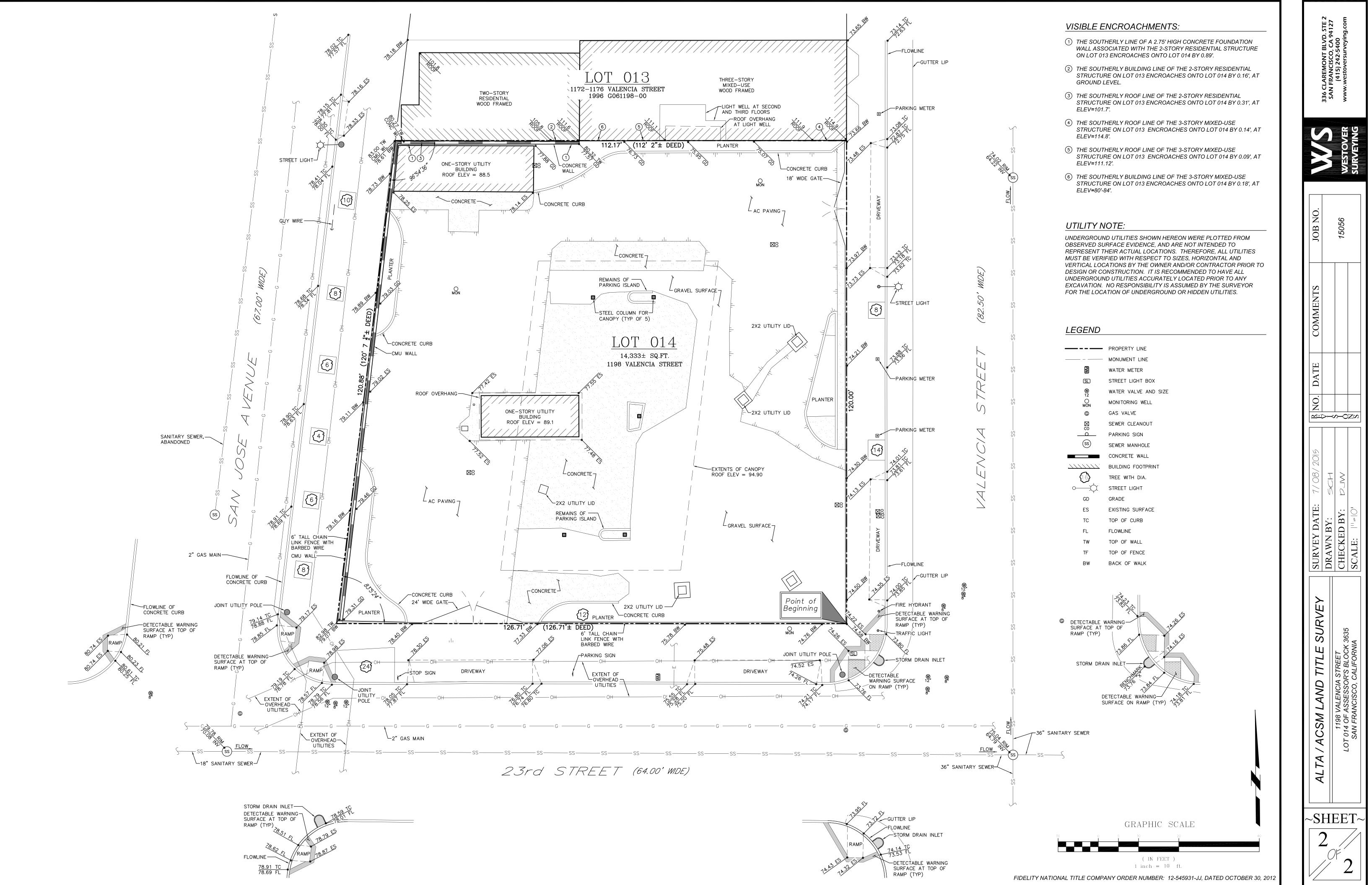
SIGNATURE

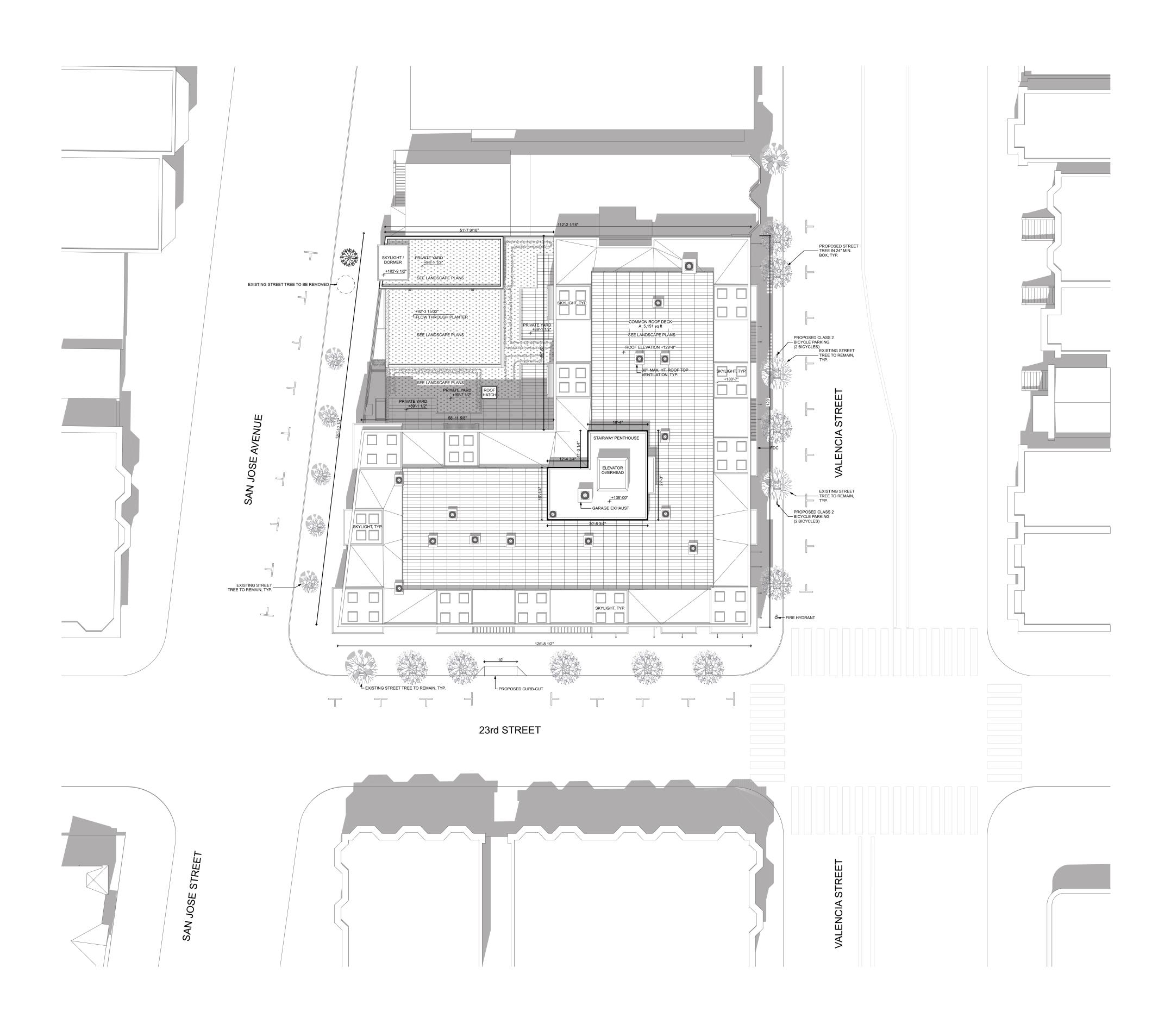
Registration number: PLS-7779 *July 13, 2015* Date



FIDELITY NATIONAL TITLE COMPANY ORDER NUMBER: 12-545931-JJ, DATED OCTOBER 30, 2012

		336 CLAREMONT BLVD. STE 2	SAIN FIRMINCISCO, CA 74121	(415) 242-5400 www.westoversurveying.com		
	JOB NO.			15056 WESTOVER	SURVEYING	
	COMMENTS					
	R NO. DATE		-0		SZ	
	SURVEY DATE: 07/08/2015	DRAWN BY.		CHECKED BY: DUW	SCALE: VARIES	
	AI TA / ACSM I AND TITI F SURVEY			1198 VALENCIA STREET I OT 014 OF ASSESSOR'S BLOCK 3635	SAN FRANCISCO, CALIFORNIA	
~	~S 	 		EE		





8' 16' 32'

GENERAL NOTES

SHEET NOTES

KEY

rg-architecture

560 THIRD STREET SAN FRANCISCO, CA 94107 415.699.3640 mail@rg-architecture.com



REVISIONS NO. DATE ISSUE

ORIGINAL ISSUE FOR SITE PERMIT 06/26/15 50% CONSTRUCTION DOCUMENTS 07/24/15 75% CONSTRUCTION DOCUMENTS 09/01/15 PLANNING COMMISSION HEARING 09/16/15

ISSUE PLANNING COMMISSION HEARING 09/16/15

OWNER Valencia Street Partners, LLC

1198 Valencia Street

1198 Valencia Street San Francisco, CA 94110

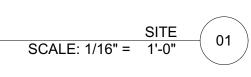
SCALE AS NOTED DRAWN BY RG CHECKED BY RG PROJECT NO. 201305 DATE 9/17/15

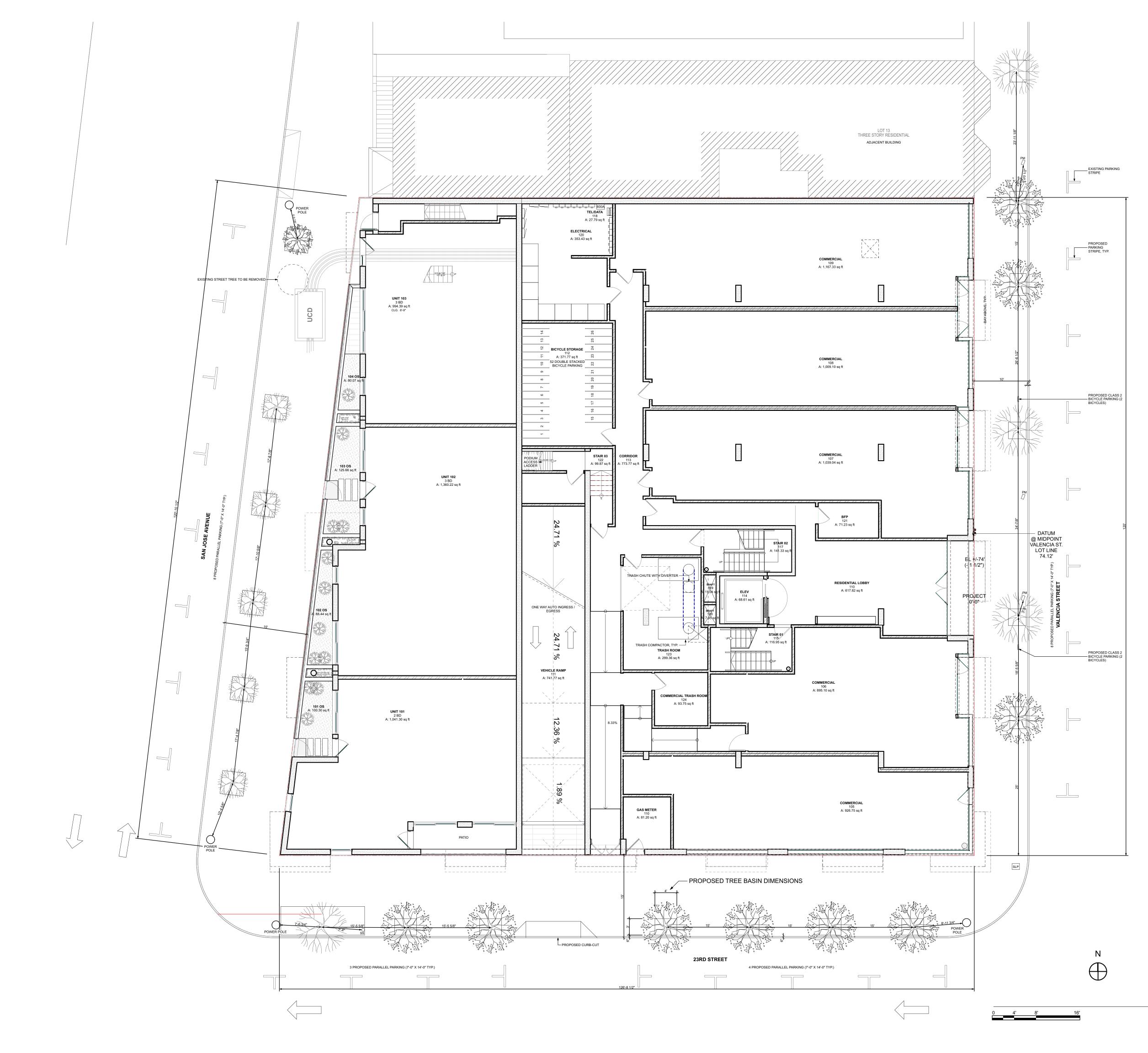
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SITE PLAN

DRAWING NO. 13 of 60

A1.00

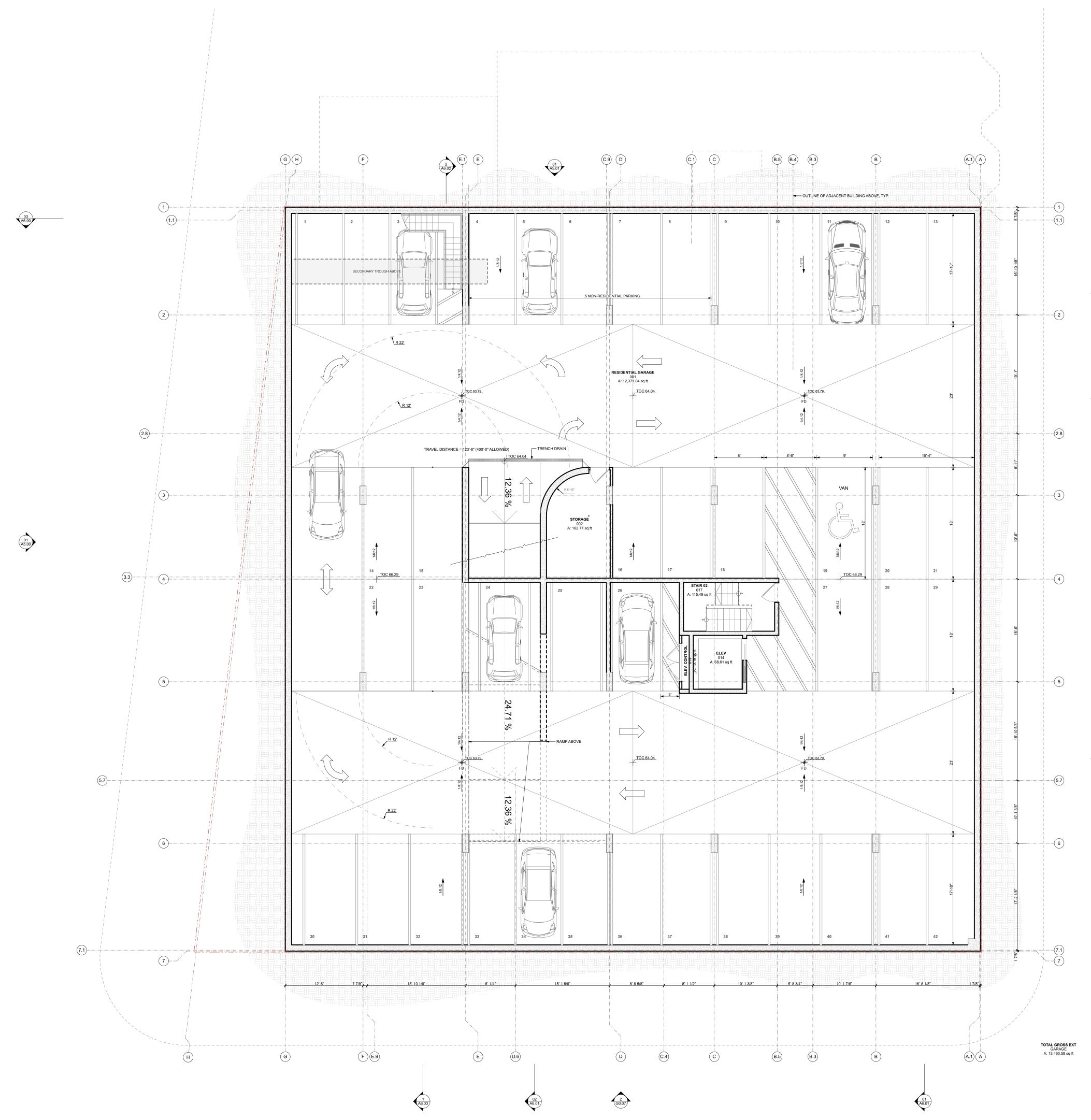




GENERAL NOTES	rg-architecture
	560 THIRD STREET SAN FRANCISCO, CA 94107 415.699.3640
	mail@rg-architecture.com
	CHAD GHANNER
	<u>6-30-2017</u> RENEWAL DATE <u>OF CALLE</u>
SHEET NOTES	
	REVISIONS
	NO. DATE ISSUE ORIGINAL ISSUE FOR SITE PERMIT 06/26/15
	50% CONSTRUCTION DOCUMENTS 07/24/15 75% CONSTRUCTION DOCUMENTS 09/01/15
	PLANNING COMMISSION HEARING 09/16/15
	ISSUE PLANNING COMMISSION HEARING 09/16/15
	OWNER
	Valencia Street Partners, LLC
	1198 Valencia Street
KEY	San Francisco, CA 94110
PROPOSED SMALL TREES (<20FT DIAMETER AT MATURITY)	OWNER Valencia Street Partners, LLC 1198 Valencia Street 1198 Valencia Street San Francisco, CA 94110
	RG
EXISTING TREES TO REMAIN	CHECKED BY RG PROJECT NO.
PM PARKING METER	201305 DATE 9/17/15
SS STOP SIGN	N P
SLP STOP LIGHT POLE	TREE PLANTING PLAN
	DRAWING NO. 14 of 60

GROUND FLOOR SCALE: 1/8" = 1'-0"

DRAWING NO. 14 of 60



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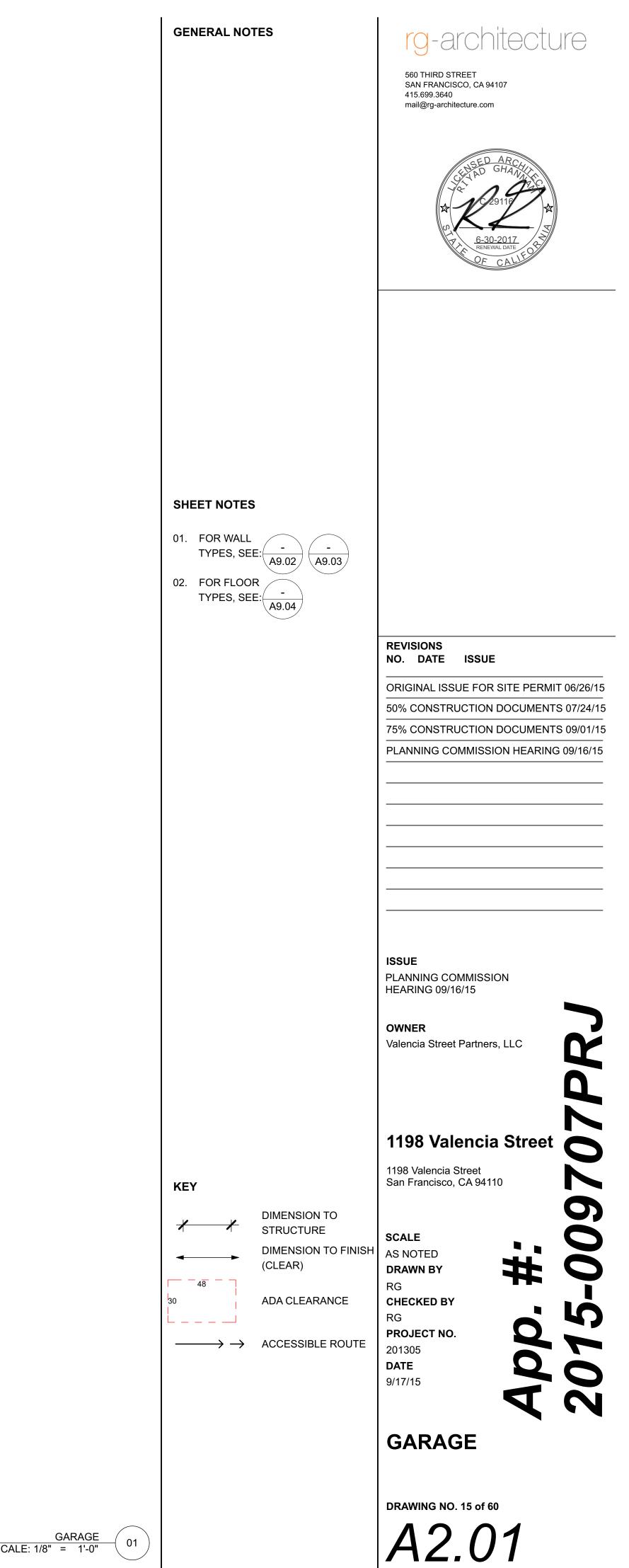
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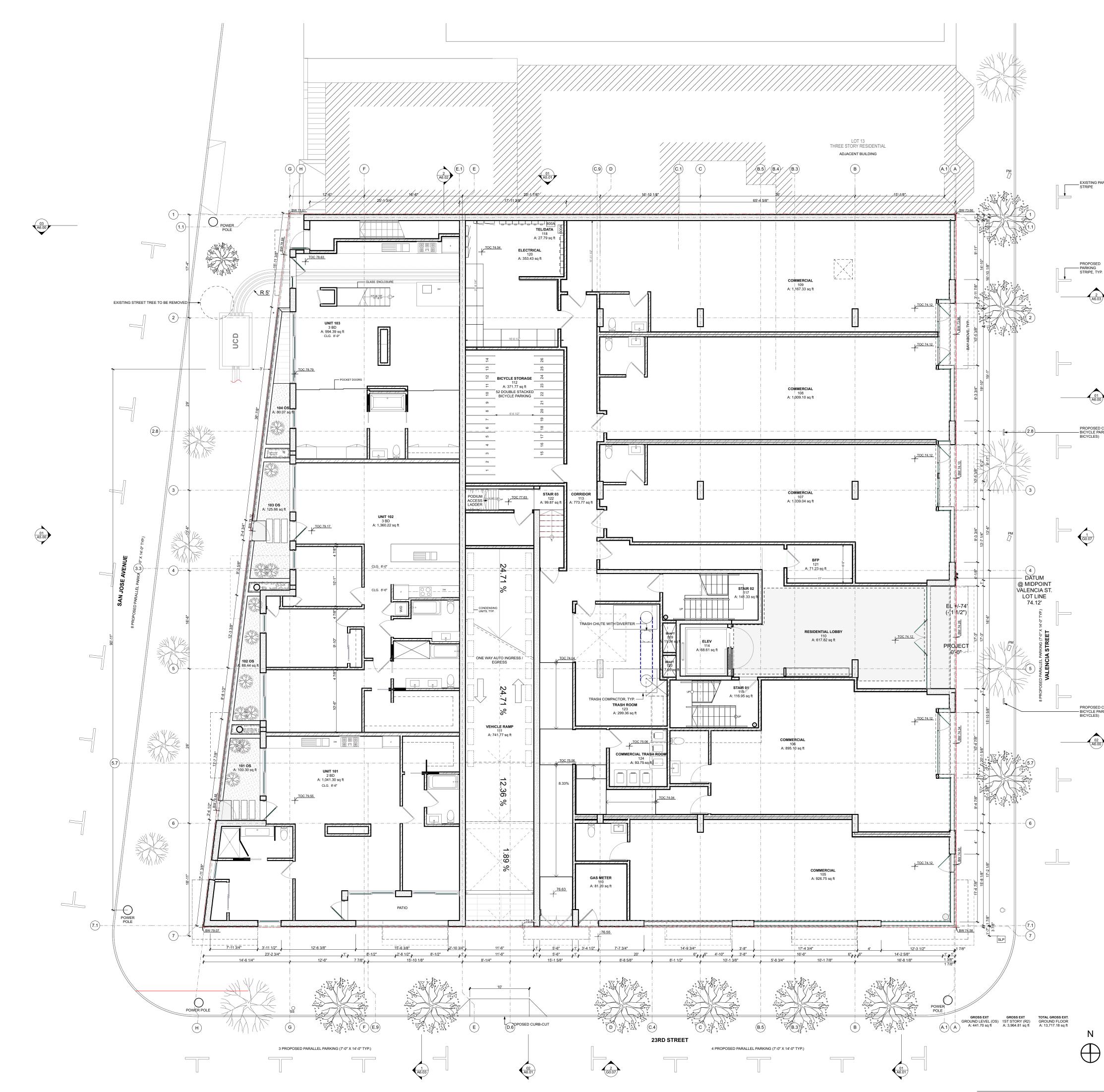
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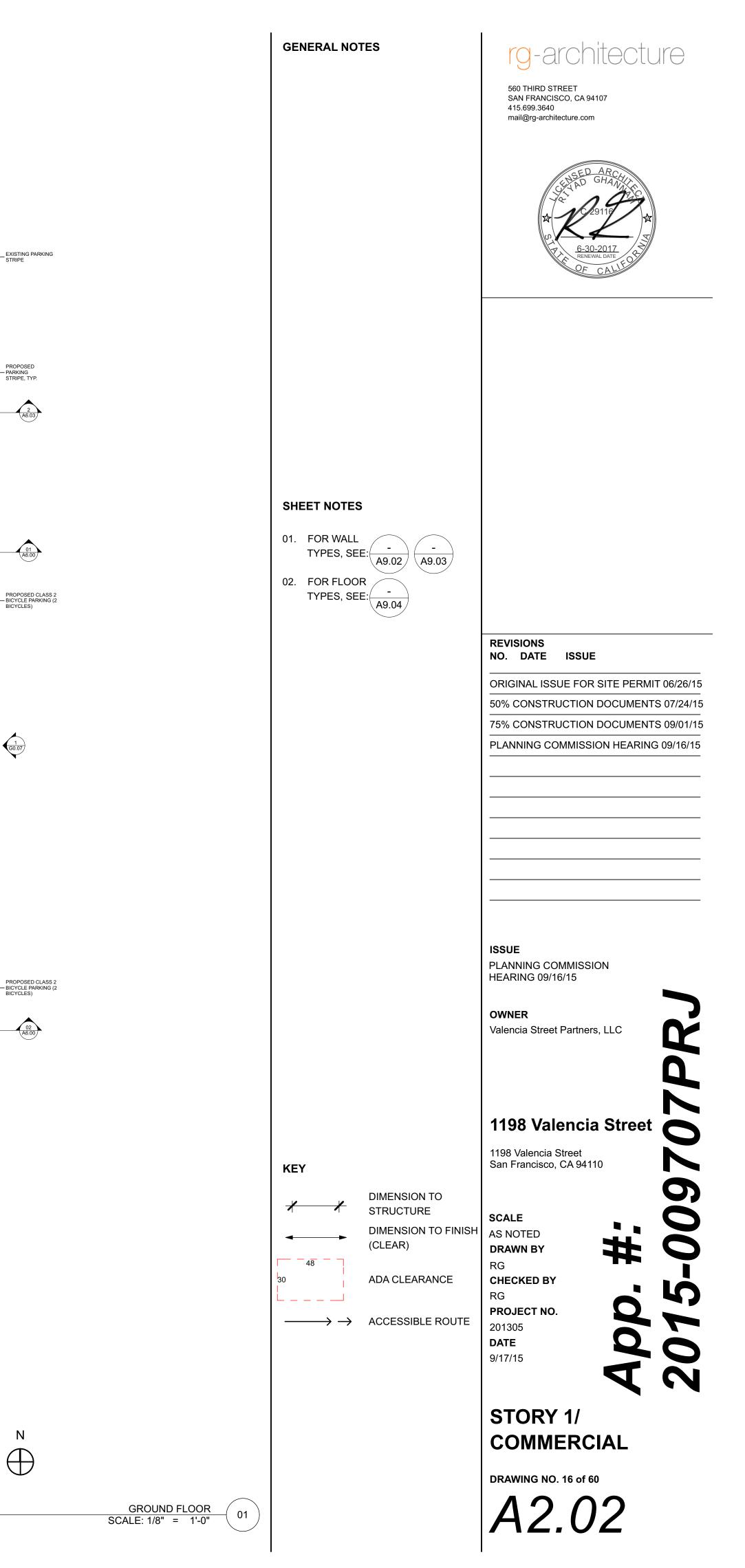
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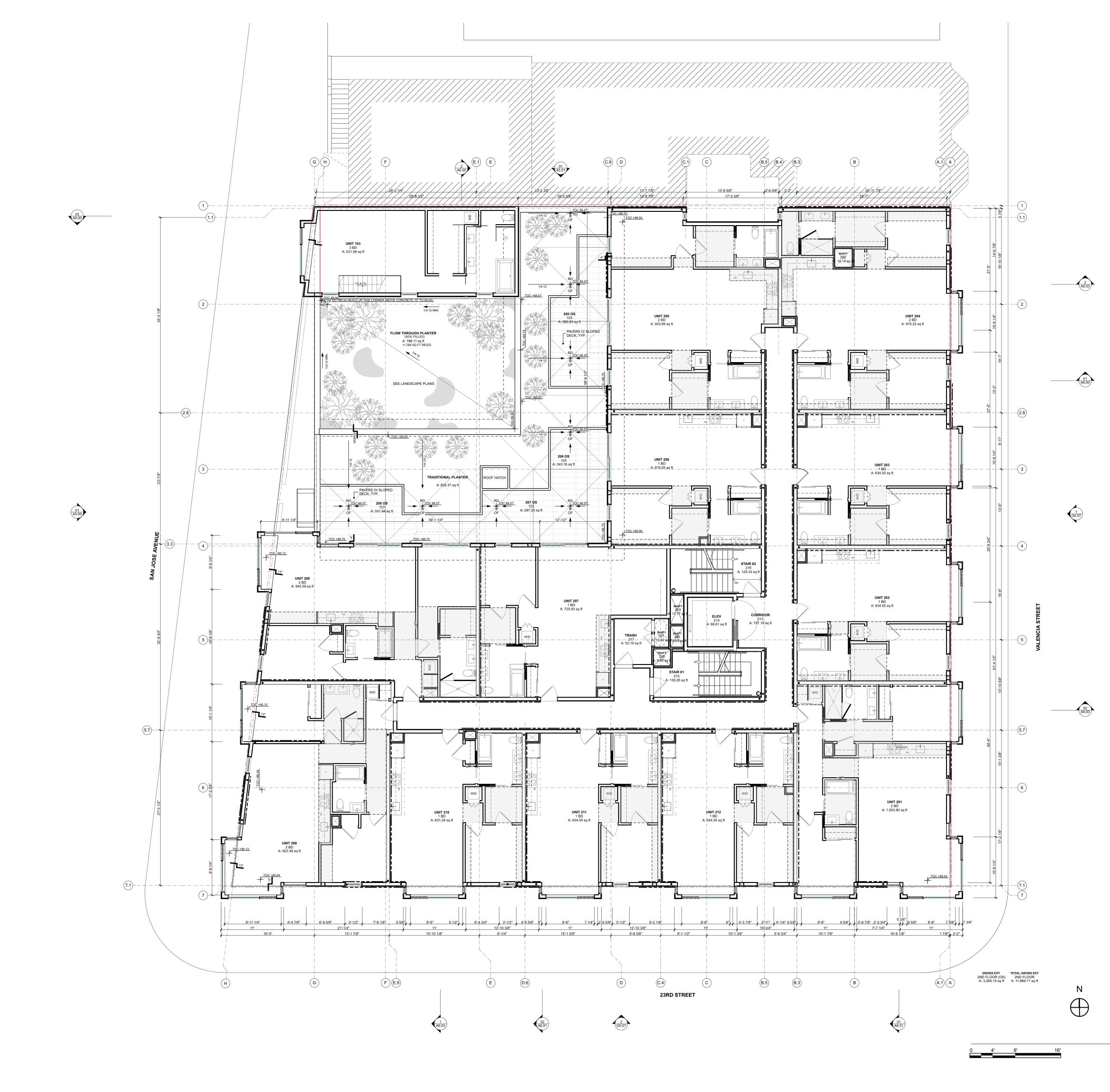


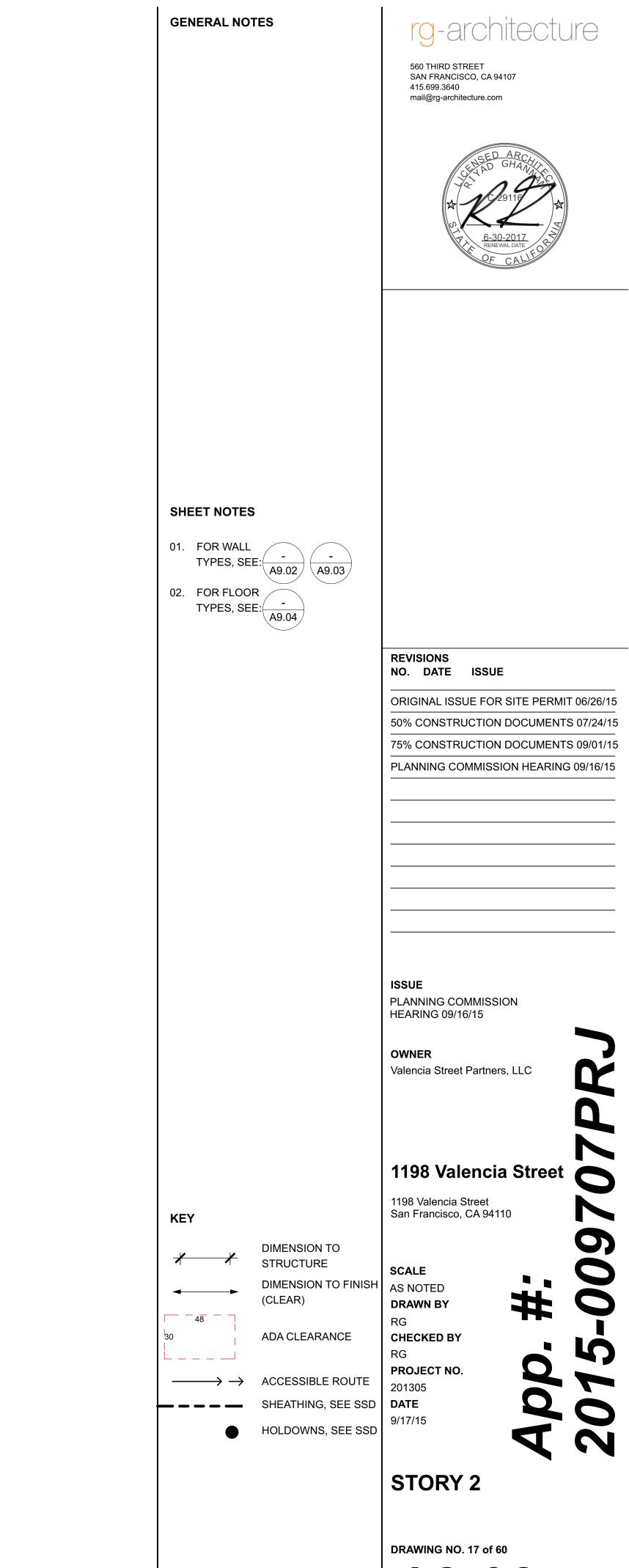
GARAGE 01 SCALE: 1/8" = 1'-0"



0 4' 8' 16



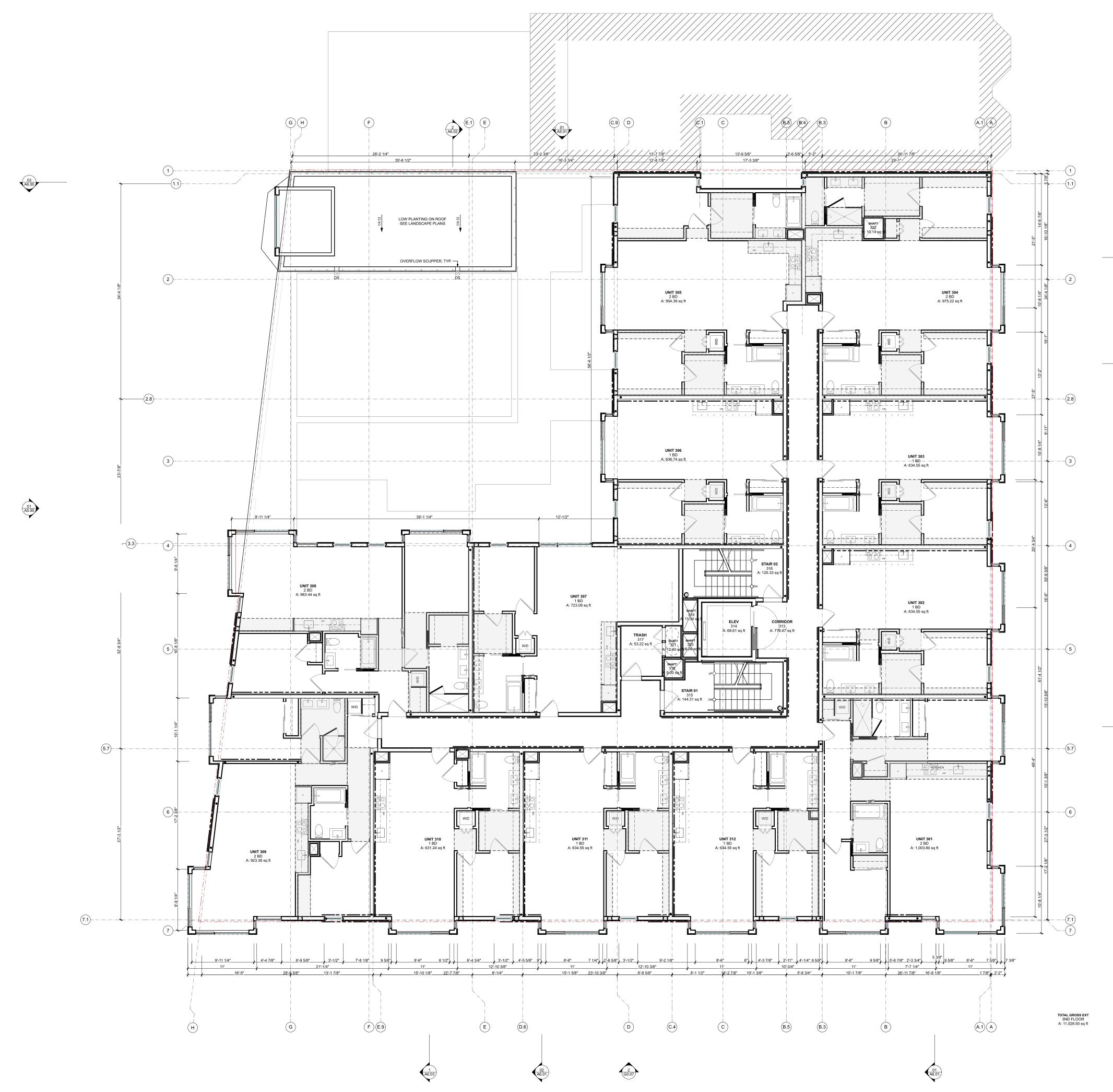




 SECOND FLOOR
 01

 SCALE: 1/8"
 =
 1'-0"
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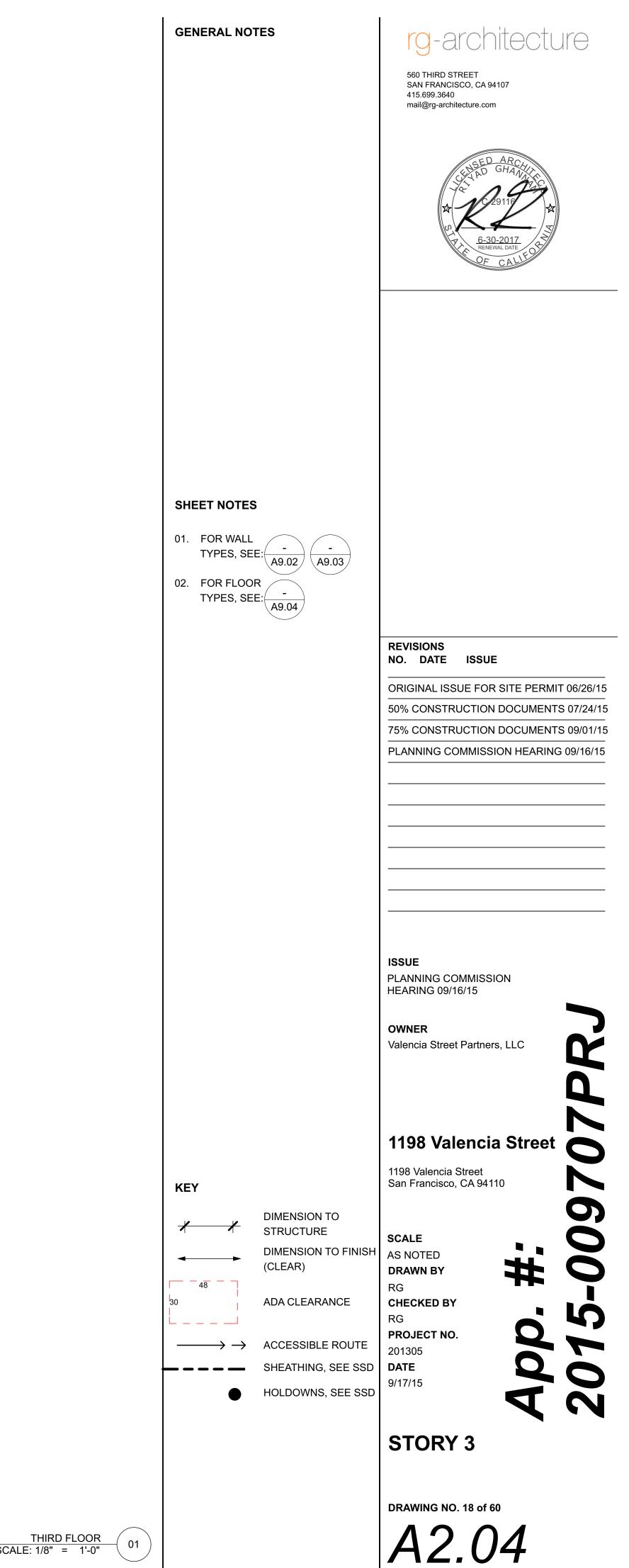
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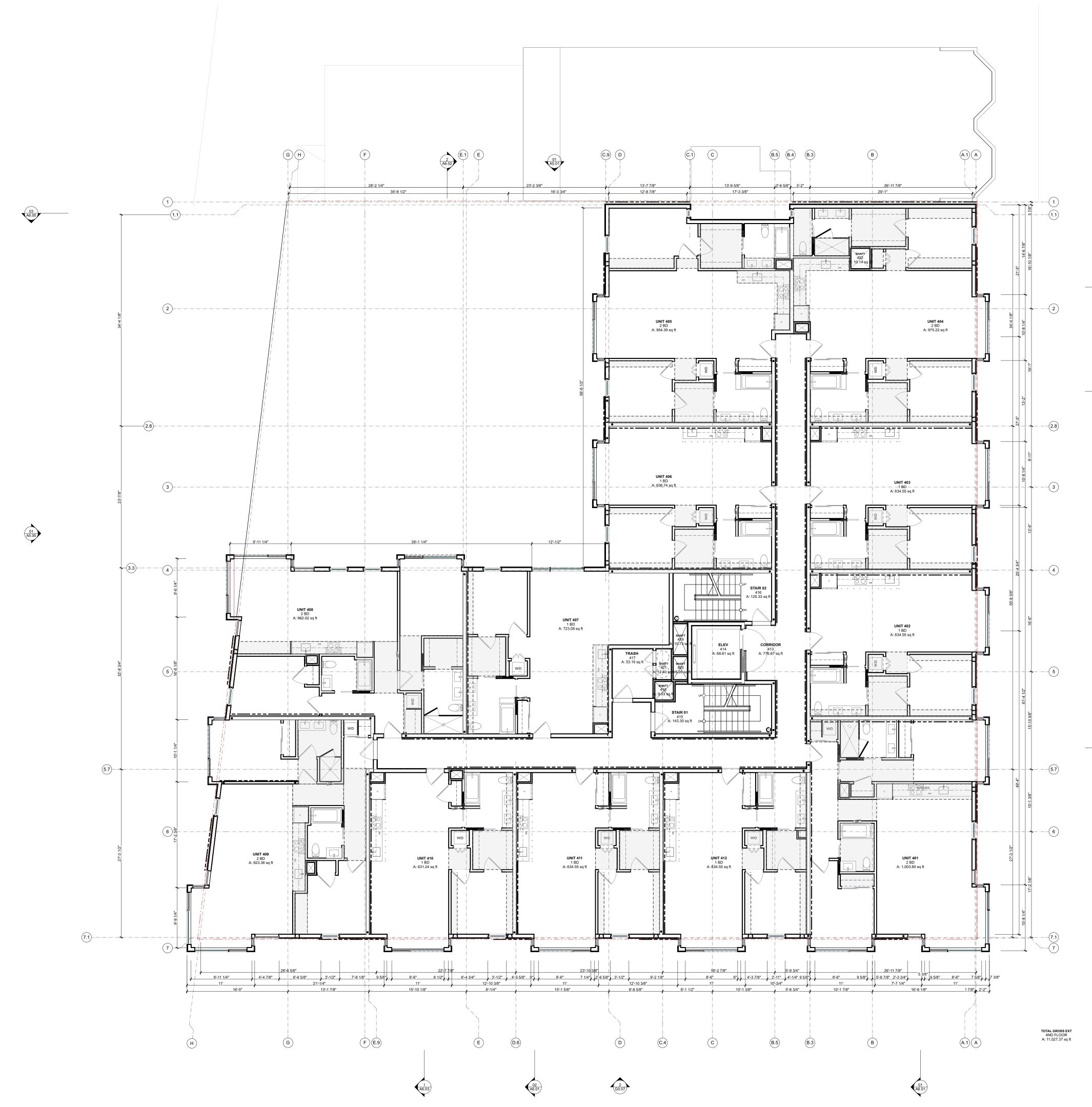
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 THIRD FLOOR
 01

 SCALE: 1/8"
 1'-0"
 01



0 4' 8'

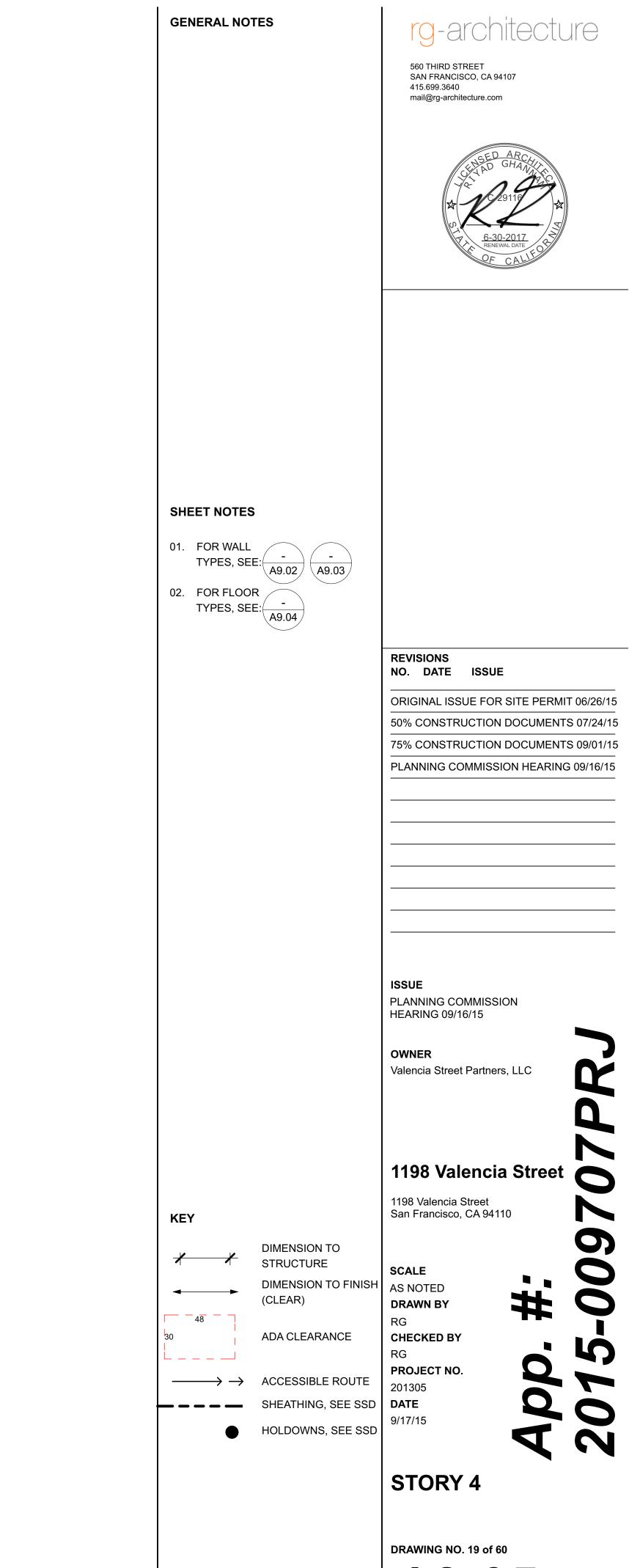
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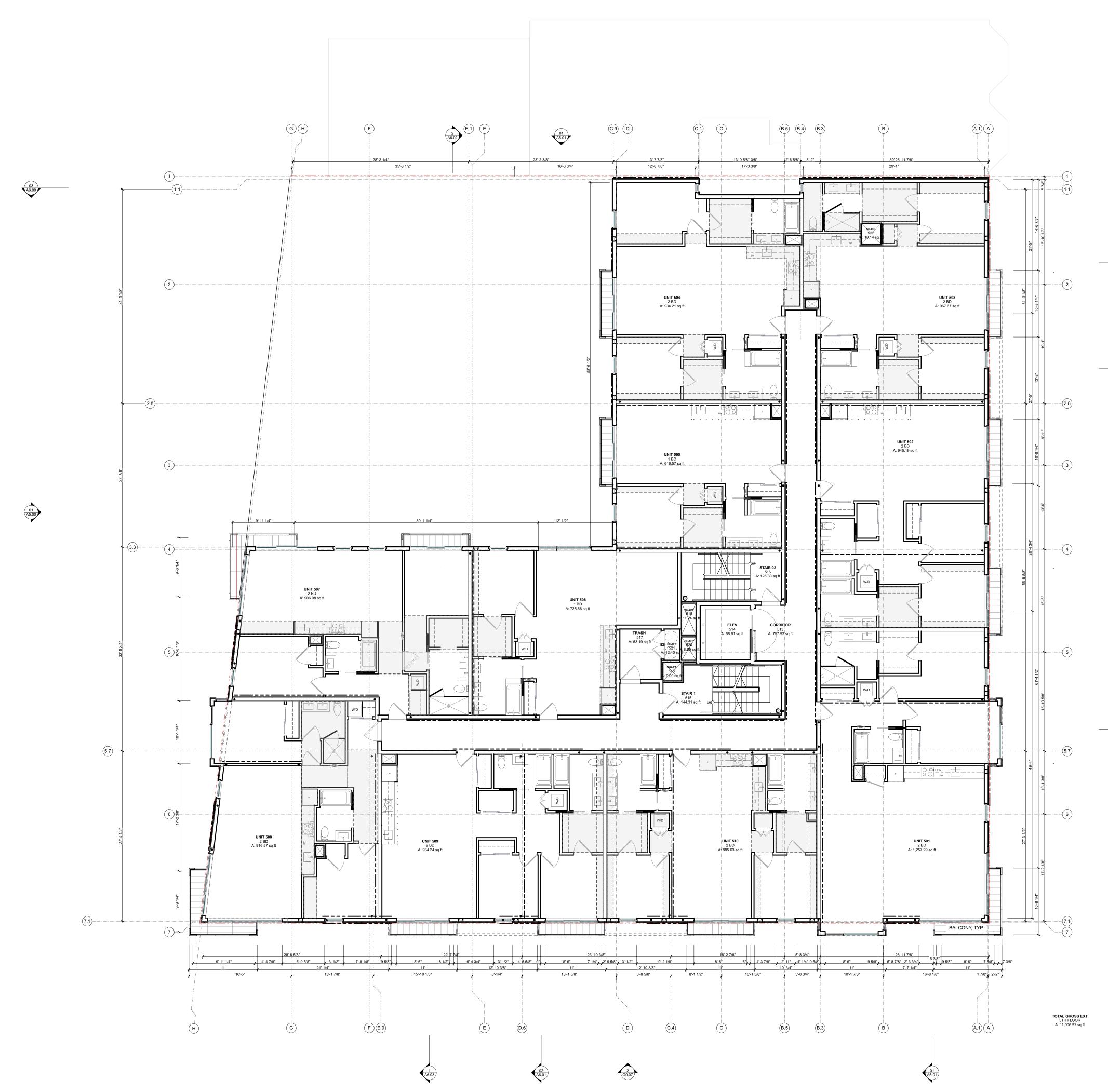
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 FORTH FLOOR
 01

 SCALE: 1/8"
 1'-0"
 01

A2.05



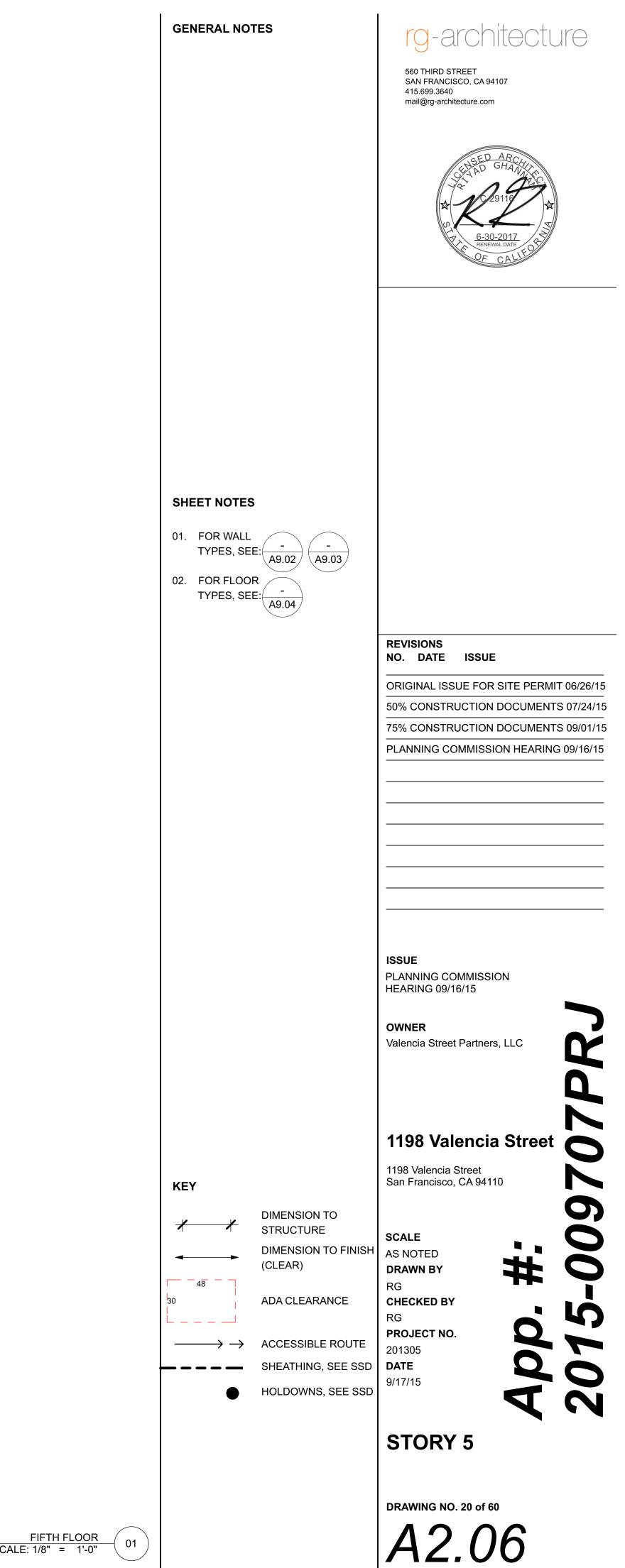
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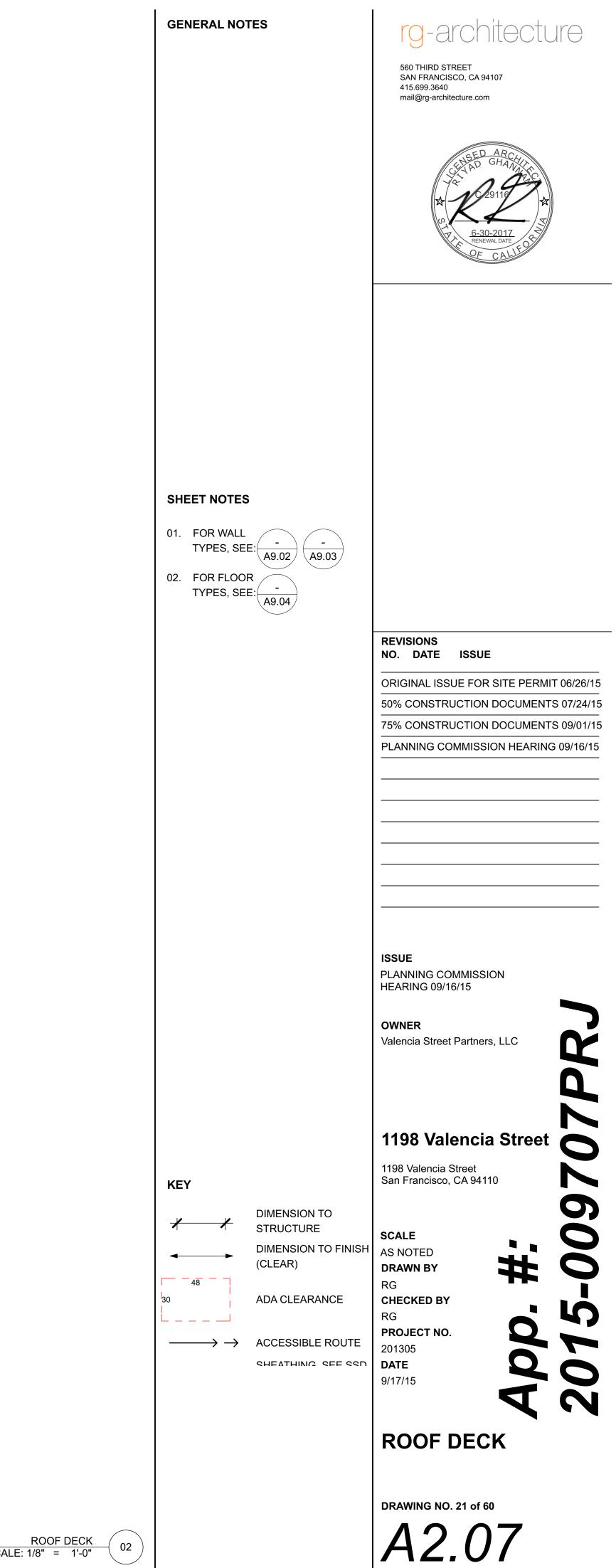
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 FIFTH FLOOR
 01

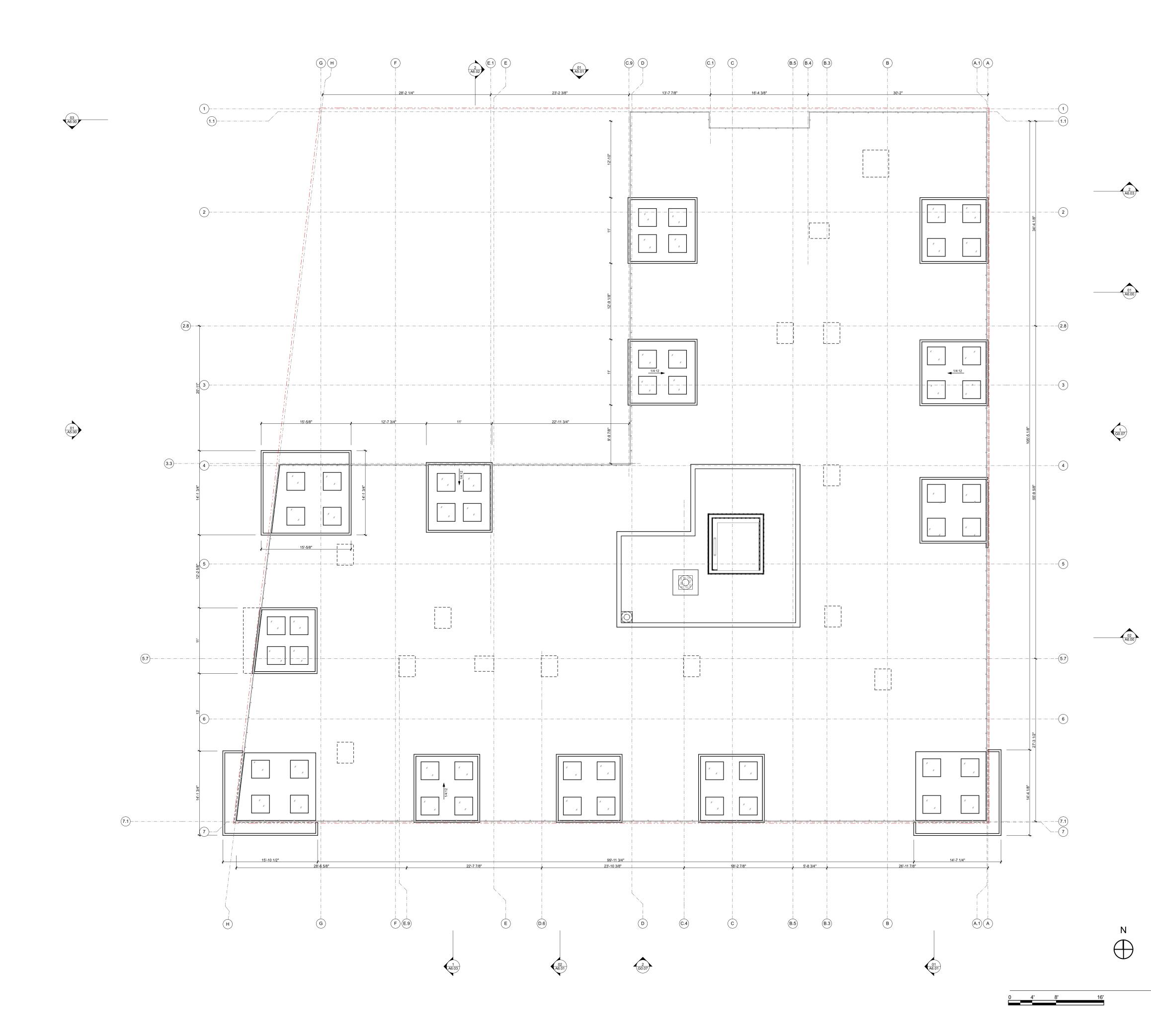
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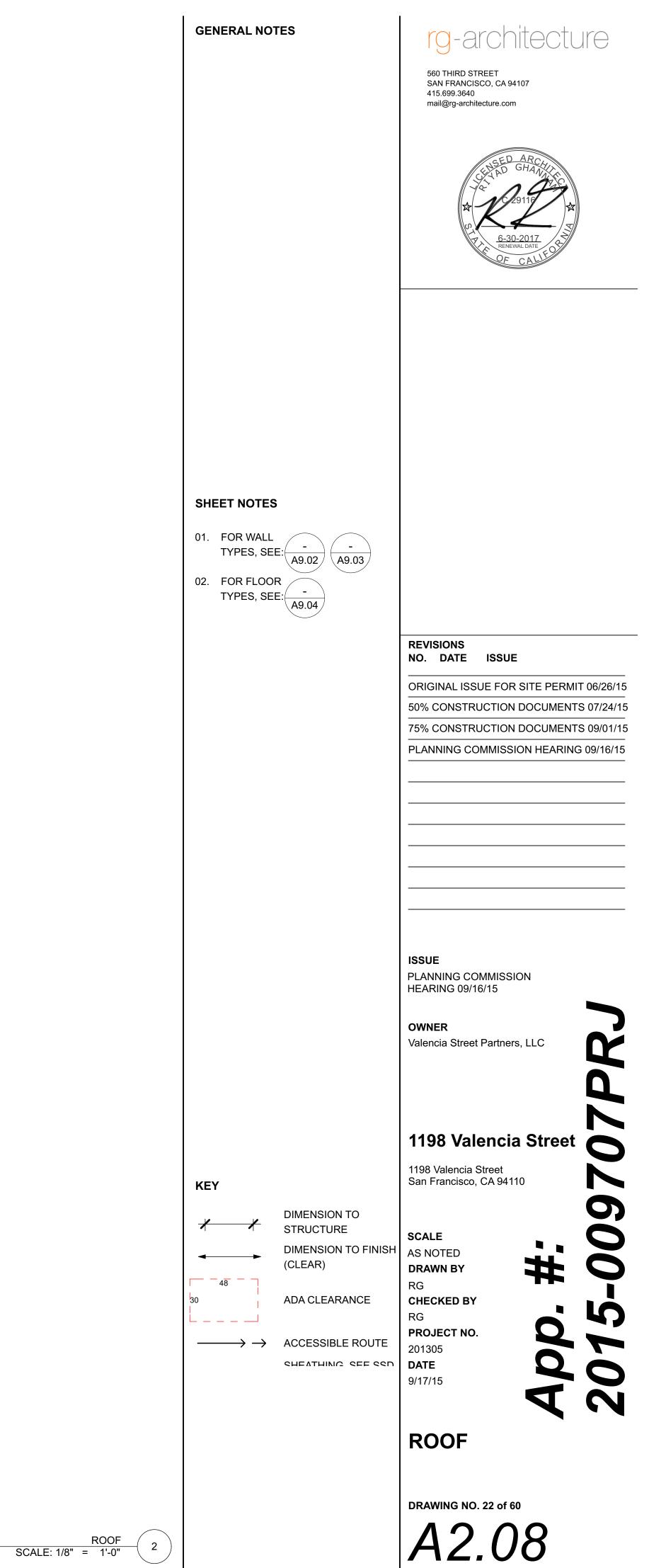




 ROOF DECK
 02

 SCALE: 1/8"
 1'-0"
 02

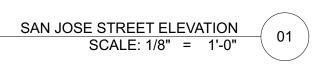








+74.12' Ground Floor 0'



GENERAL NOTES

rg-architecture

560 THIRD STREET SAN FRANCISCO, CA 94107 415.699.3640 mail@rg-architecture.com



SHEET NOTES

ID	DESCRIPTION
01	SMOOTH SIDING, PAINTED
02	ROOF DECK HANDRAIL, GALVANIZED METAL
03	WOOD VENEER PANELS
04	CEMENT PANELS, PAINTED
05	GLASS GUARDRAIL
06	EXTERIOR PLYWOOD AT BLIND WALLS
07	FIBERGLASS WINDOWS
08	EXPOSED BOARD FORMED CONCRETE
09	STEEL TRANSOM BEAM, PAINTED
10	METAL STOREFRONT SYSTEM
11	GLAZED BRICK VENEER
12	GLASS STOREFRONT DOOR WITH TRANSOM
13	SHOTCRETE
14	EMBOSSED ARTWORK CAST IN CONCRETE
15	PARAPET AND GUARDRAIL, GALVANIZED METAL
16	LASER CUT PRIVACY SCREENS, POWDER COATED ALUMINUM, CUSTOM PATTERN TO MATCH BUILDING MOTIF

KEY

REVISIONS NO. DATE ISSUE

ORIGINAL ISSUE FOR SITE PERMIT 06/26/15 50% CONSTRUCTION DOCUMENTS 07/24/15 75% CONSTRUCTION DOCUMENTS 09/01/15 PLANNING COMMISSION HEARING 09/16/15

ISSUE PLANNING COMMISSION HEARING 09/16/15

OWNER Valencia Street Partners, LLC

1198 Valencia Street

1198 Valencia Street San Francisco, CA 94110

SCALE AS NOTED DRAWN BY RG CHECKED BY RG PROJECT NO. 201305 DATE 9/17/15

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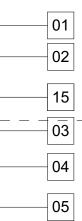
ELEVATIONS

DRAWING NO. 33 of 60

A5.00







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560 THIRD STREET SAN FRANCISCO, CA 94107 415.699.3640 mail@rg-architecture.com



SHEET NOTES

ID	DESCRIPTION
01	SMOOTH SIDING, PAINTED
02	ROOF DECK HANDRAIL, GALVANIZED METAL
03	WOOD VENEER PANELS
04	CEMENT PANELS, PAINTED
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KEY

REVISIONS NO. DATE ISSUE

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ISSUE PLANNING COMMISSION HEARING 09/16/15

OWNER Valencia Street Partners, LLC

1198 Valencia Stree

1198 Valencia Street San Francisco, CA 94110

SCALE AS NOTED DRAWN BY RG CHECKED BY RG PROJECT NO. 201305 DATE 9/17/15

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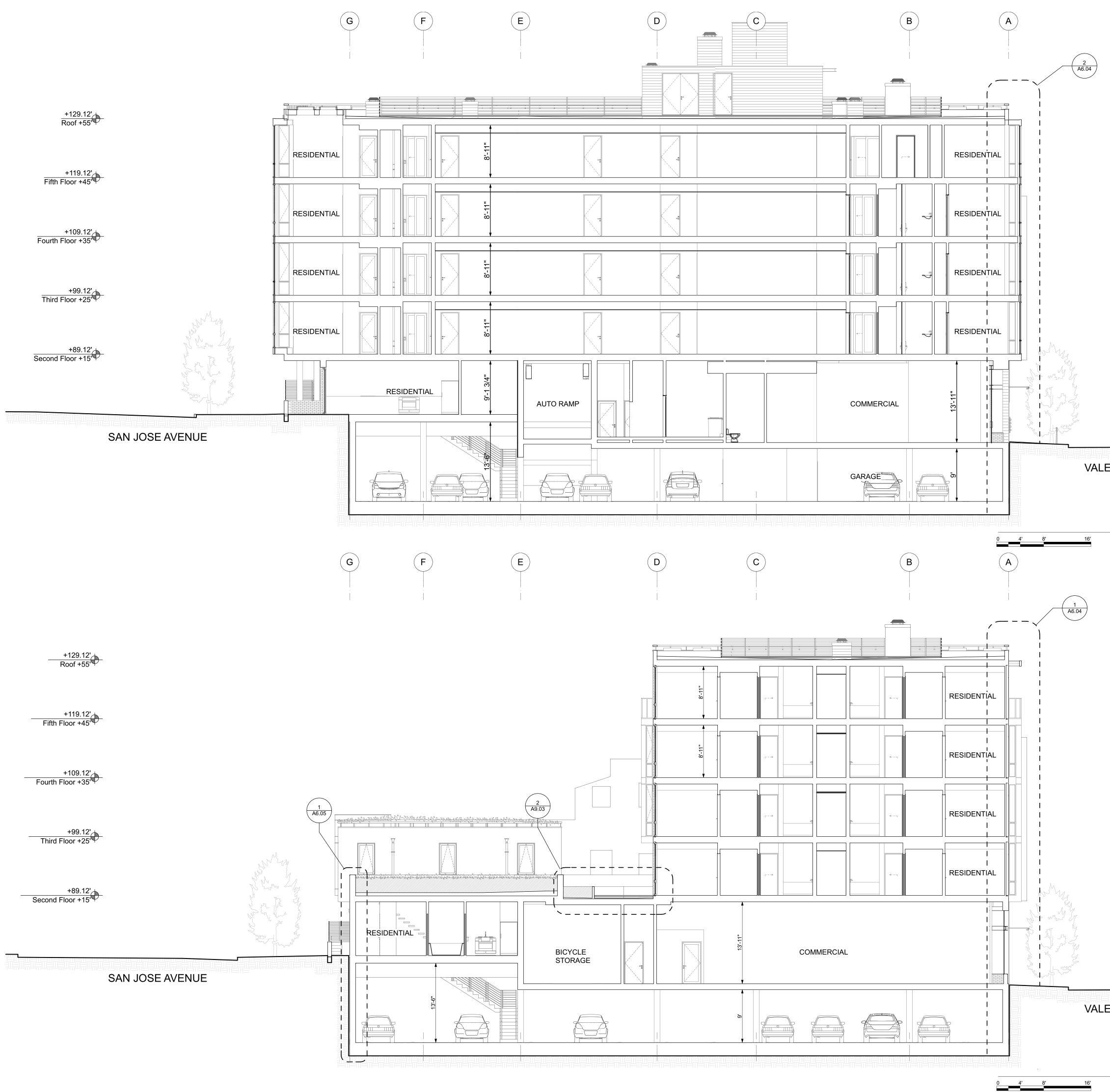
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ELEVATIONS

DRAWING NO. 34 of 60

A5.01



+129.12' Roof +55'
+119.12' Fifth Floor +45'
+109.12' Fourth Floor +35'
+99.12' Third Floor +25'

+89.12' Second Floor +15'

+74.12'

VALENCIA STREET

SECTION B SCALE: 1/8" = 1'-0" 02

+129.12' Roof +55'

+119.12' Fifth Floor +45'

+109.12' Fourth Floor +35'

+99.12' Third Floor +25'

+89.12' Second Floor +15'

+74.12' Ground Elec

VALENCIA STREET

SECTION A SCALE: 1/8" = 1'-0" 01

GENERAL NOTES

SHEET NOTES

KEY

rg-architecture 560 THIRD STREET SAN FRANCISCO, CA 94107

415.699.3640 mail@rg-architecture.com



REVISIONS NO. DATE ISSUE

ORIGINAL ISSUE FOR SITE PERMIT 06/26/15 50% CONSTRUCTION DOCUMENTS 07/24/15 75% CONSTRUCTION DOCUMENTS 09/01/15 PLANNING COMMISSION HEARING 09/16/15

ISSUE PLANNING COMMISSION HEARING 09/16/15

OWNER Valencia Street Partners, LLC

1198 Valencia Street

1198 Valencia Street San Francisco, CA 94110

SCALE AS NOTED DRAWN BY RG CHECKED BY RG PROJECT NO. 201305 DATE 9/17/15

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BUILDING SECTIONS

DRAWING NO. 35 of 60



SHEET NOTES

KEY

+89.12' Second Floor +15'

+74.12' Ground Floor 0'

+64.12' Garage -11'

SECTION D 02

+129.12' Roof +55'

+119.12' Fifth Floor +45'

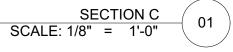
+109.12' Fourth Floor +35'

+99.12' Third Floor +25'

+89.12' Second Floor +15'

+74.12' Ground Floor 0'

+64.12' Garage -11'



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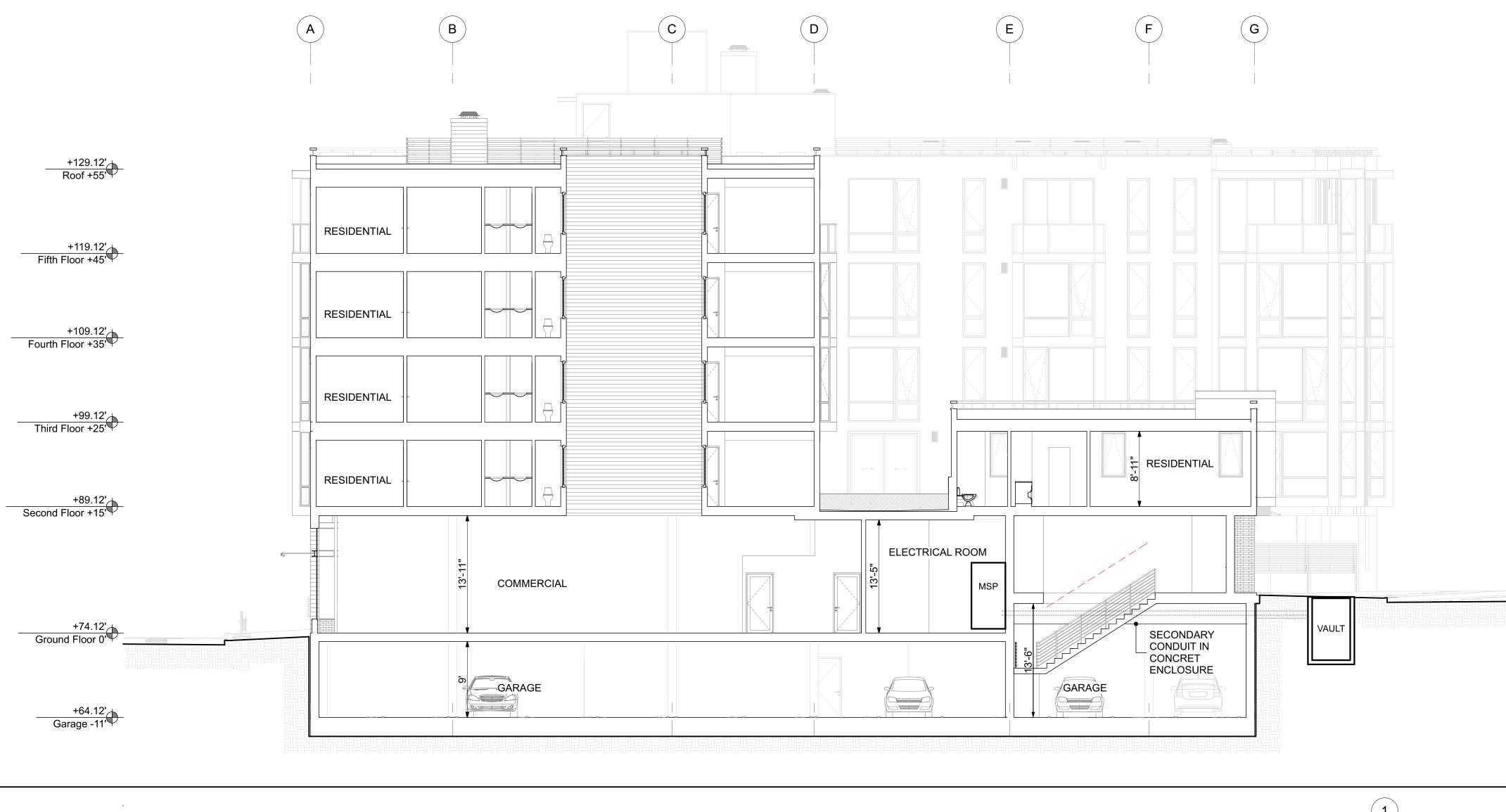
1198 Valencia Street San Francisco, CA 94110

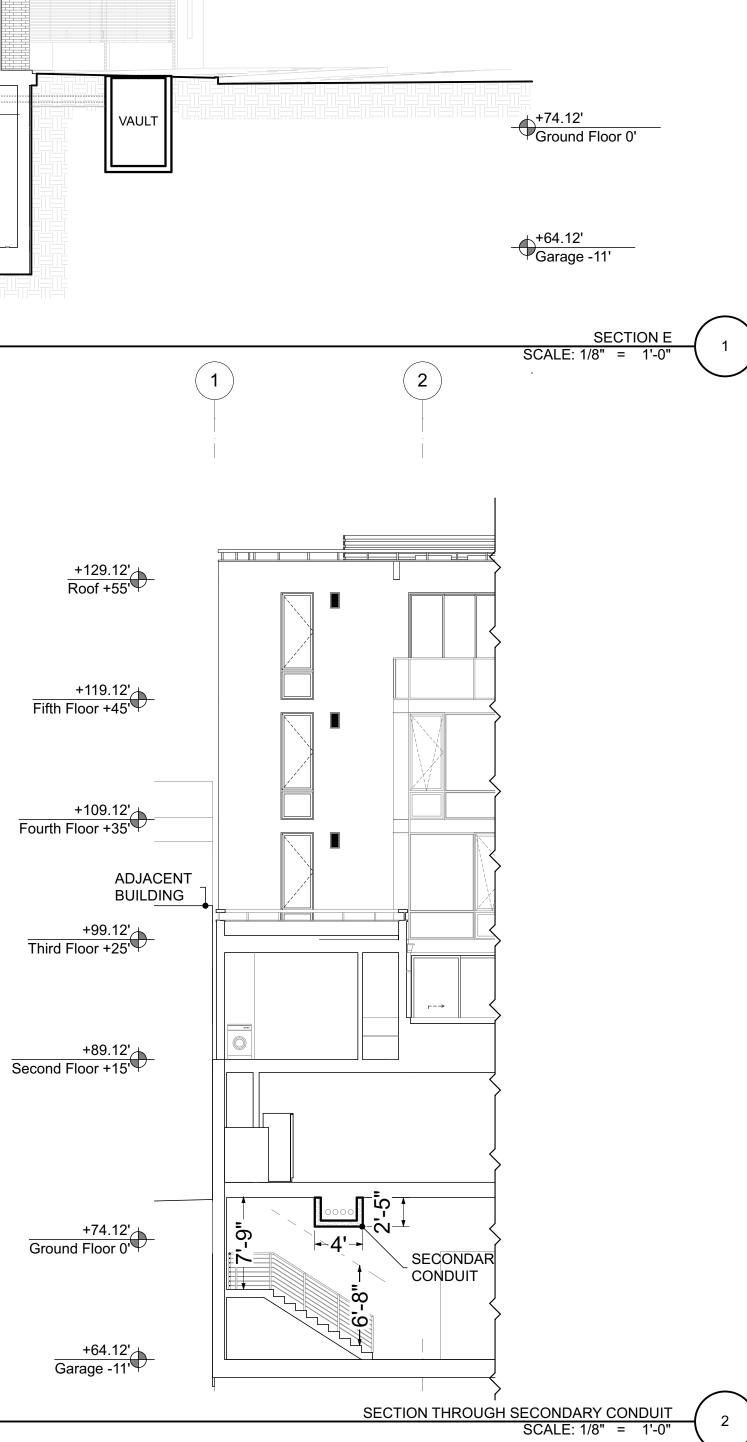
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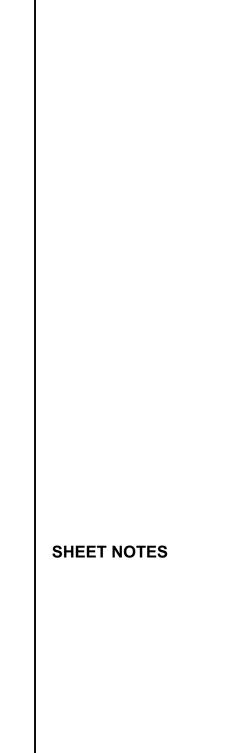
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BUILDING SECTIONS

DRAWING NO. 36 of 60







+129.12' Roof +55'

+119.12' Fifth Floor +45'

+109.12' Fourth Floor +35'

+99.12' Third Floor +25'

+89.12' Second Floor +15'

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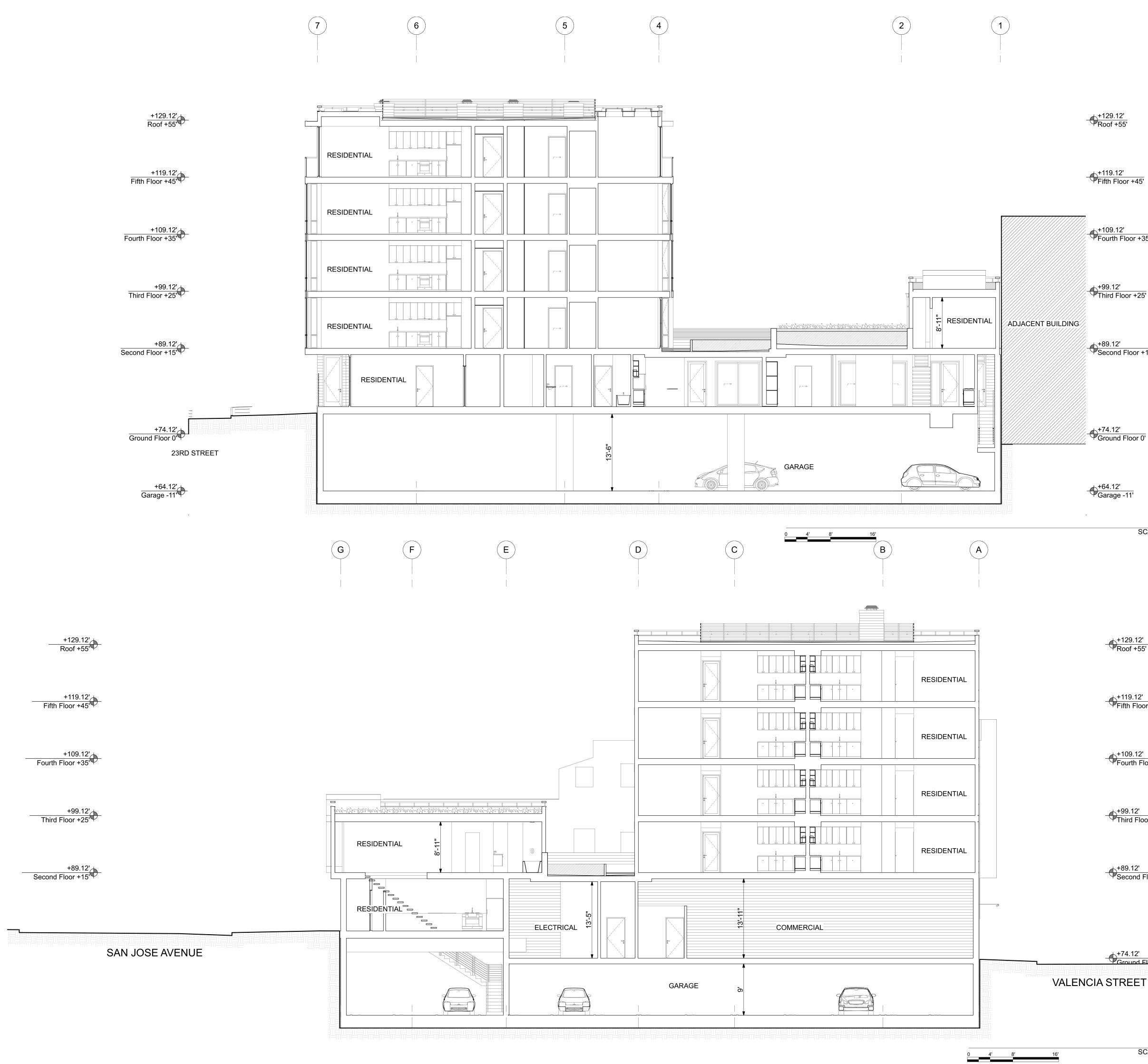
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BUILDING SECTIONS

DRAWING NO. 37 of 60



SHEET NOTES

+74.12' Ground Floor 0'

+129.12' Roof +55'

+109.12' Fourth Floor +35'

+99.12' Third Floor +25'

+89.12' Second Floor +15'

+64.12' Garage -11'

SECTION D SCALE: 1/8" = 1'-0"

+129.12' Roof +55'

+119.12' Fifth Floor +45'

+109.12' Fourth Floor +35'

+99.12' Third Floor +25'

+89.12' Second Floor +15'

+74.12' Ground Elec

VALENCIA STREET

SECTION A 2 SCALE: 1/8" = 1'-0"



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BUILDING SECTIONS

DRAWING NO. 38 of 60





