



# SAN FRANCISCO PLANNING DEPARTMENT

## Executive Summary Conditional Use Authorization, Planned Unit Development & Office Allocation

HEARING DATE: JANUARY 22, 2015

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

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Planning  
Information:  
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*Date:* January 15, 2015  
*Case No.:* **2012.0203BC**  
*Project Address:* **100 HOOPER STREET**  
*Zoning:* PDR-1-D (Production, Distribution and Repair –Design) District  
58-X Height and Bulk District  
*Block/Lot:* 3808/003  
*Project Sponsor:* UrbanGreen Devco LLC  
*Attn:* Daniel Murphy  
P.O. Box 1578  
Pacifica, CA 94044  
*Staff Contact:* Chris Townes – (415) 575-9195  
[chris.townes@sfgov.org](mailto:chris.townes@sfgov.org)  
*Recommendation:* **Approval with Conditions**

### PROJECT DESCRIPTION

The Project Sponsor proposes to replace the property's existing mini-storage with truck rental use with three new four-story buildings, up to 58 feet in height. These new buildings consist of a stand-alone, 100% "PDR Building" that includes 56,402 sf of PDR space and two rectangular-shaped buildings (the "North Building" and "South Building") that will contain approximately 86,382 sf of high-ceiling mezzanine PDR space at the ground floor and approximately 284,471 sf of office/institutional space on the upper floors. The project may also offer shared retail space accessory to the site's PDR uses. It will also include approximately 41,600 sf of open space, consisting of, 1) a 40-foot wide interior linear courtyard that will provide loading access, natural light and air to the interior, 2) an approximately 10,000 sf privately-owned, publically-accessible open space (the "POPOS Plaza") on the property's southwestern corner, adjacent to the adjoining California College of the Arts (CCA) campus. The Project Sponsor has partnered with CCA and SFMade, a non-profit organization focused on building San Francisco's economic base by developing the local manufacturing sector, on the project's design and implementation, including preparation of a PDR Business Plan (the "Business Plan"). The Business Plan outlines strategies for providing a flexible PDR space typology mix, designing office spaces attractive to design-related technology and engineering firms, engaging strategic partners at all phases of development and in on-going operations, and focusing on access and pathways to deliver PDR jobs to the community.

### SITE DESCRIPTION AND PRESENT USE

The project site is located in the northeastern portion of San Francisco, within the Showplace Square/Potrero Hill Plan Area. The rectangular-shaped property is on the block bounded by Channel, Carolina, Eighth, Hooper, and Seventh Streets adjacent to Mission Bay, Showplace Square, and the San

Francisco campus of the California College of the Arts (CCA). The site has 596 linear feet of street frontage along Channel Street (currently an unimproved right-of-way closed to the public to become an improved publically-accessible right-of-way), 240 linear feet of street frontage along Seventh Street, and 596 linear feet of frontage along Hooper Street. The site is approximately 3.3 acres (143,000 sf), fully paved, and contains no permanent structures. San Francisco Mini Storage occupies the site with portable cargo shipping containers that are leased for household storage, in addition to offering truck rental services with approximately 30 trucks. The existing use provides approximately 86,500 sf of storage space.

## **SURROUNDING PROPERTIES AND NEIGHBORHOOD**

The project site is in the PDR-1-D (Production, Distribution, and Repair – Design) zoning district. Other zoning districts in the vicinity of the project site include: PDR-1-D (Production, Distribution, and Repair – Design) to the north, west and south, PDR-1-G (Production, Distribution and Repair – General) to the north and south, UMU (Urban Mixed Use) to the north and south, and MB-RA (Mission Bay Redevelopment Area) to the east. The streets and sidewalks adjacent to the site are largely unimproved, with the exception of the Seventh Street frontage and vehicular and pedestrian signalization at Mission Bay Drive and Seventh Street, just northeast of the project site. Hooper Street has no sidewalks and Channel Street is wholly unimproved. The California College of the Arts (“CCA”) campus abuts the project site to the west with additional campus area across Hooper Street.

The epicenter of the Showplace Square furniture and interior design commercial district is located approximately a ¼ mile to the north and the center of Mission Bay is located approximately a ½ mile to the east, just east of Highway 280 (whose elevated roadway is east of the project site running in a north-south direction).

## **ENVIRONMENTAL REVIEW**

Pursuant to the Guidelines of the State Secretary of Resources for the implementation of the California Environmental Quality Act (CEQA), on January 6, 2015, the Planning Department of the City and County of San Francisco determined that the proposed application was exempt from further environmental review under Section 15183 of the CEQA Guidelines and California Public Resources Code Section 21083.3. The project is consistent with the adopted zoning controls in the Eastern Neighborhoods Area Plan and was encompassed within the analysis contained in the Eastern Neighborhoods Area Plan Final EIR. Since the Final EIR was finalized, there have been no substantial changes to the Eastern Neighborhoods Area Plan and no substantial changes in circumstances that would require major revisions to the Final EIR due to the involvement of new significant environmental effects or an increase in the severity of previously identified significant impacts, and there is no new information of substantial importance that would change the conclusions set forth in the Final EIR.

## HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	January 2, 2015	January 1, 2015	21 days
Posted Notice	20 days	January 2, 2015	December 31, 2014	22 days
Mailed Notice	10 days	January 12, 2015	January 2, 2015	20 days

## PUBLIC COMMENT

To date, the Planning Department has received the following public comments regarding the project:

- A letter from the *Dogpatch Neighborhood Association (DNA)* in general support of the project dated November 6, 2014. DNA cited support for the PDR uses and their integration into the area, the architectural design, and open space component.
- Two letters in general support of the project from the *California College of the Arts (CCA)* Director of Campus Planning dated January 30, 2013 and March 20, 2014, whose campus is located immediately adjacent to the subject site. The CCA Director expressed support for the mixed-use nature of the project, for the vibrancy to the neighborhood this project would bring, and for the synergy the project would promote with the existing and potential future enhancements to the CCA campus itself.
- A letter from *SPUR* (a civic-planning non-profit organization) dated May 7, 2013, in support of the project's proposed land use, scale, open space, public realm, and sustainable building design objectives (LEED Gold Certification). *SPUR* also cited support for a zoning overlay to allow for the mixed-use nature of the project which it deems to be consistent with the Showplace Square/Potrero Hill Area Plan objectives.
- A letter from the *Potrero Boosters Neighborhood Association* dated April 23, 2012, in support of mixed-use commercial development at the subject site (not the project in particular) and in support of a zoning overlay that would allow for flexible commercial development to support the light-industrial base of Showplace Square and its economy.
- A letter in general support, dated March 30, 2012, sent to District 10 Supervisor Malia Cohen from the *Potrero Dogpatch Merchants Association (PDMA)*. In this letter, Mr. Keith Goldstein cites *PDMA's* support for the project's derived inspiration from the American Industrial Center, the variety of tenant space sizes, and the "incubator nature" of the project which will better support a wide variety of small businesses.

## ISSUES AND OTHER CONSIDERATIONS

- Incentivize PDR Uses in the PDR-1-D Zoning District

This project is the first development proposal to go before Planning Commission subsequent to the adoption of Planning Code Section 219.1 (Allowance for Uses to Support the Development of New PDR Space in the PDR-1-D and PDR-1-G Districts), added by Ord. 71-14, effective June 22, 2014. The purpose of this Code section is to support an increase in the overall stock of PDR space in the City by making such development economically viable through the utilization of the value of office/institutional space to subsidize the construction of PDR space on underutilized properties. This Code section allows office/institutional uses subject to the approval of a Conditional Use Authorization on qualifying properties, so long as, at least 1/3 of the total gross floor area contains PDR uses, in addition to other criteria. The project proposes a total gross floor area composition of 66.58% office (284,471 sf) and 33.42% PDR (142,784 sf), thereby satisfying the key land use criteria established in Planning Code Section 219.1.

In evaluating a proposed development seeking entitlement pursuant to Planning Code Section 219.1, the Planning Commission shall consider the following:

1. The likely viability of new PDR space created by the development.
  2. Whether the project is an appropriate location and intensity for the proposed non-PDR use.
  3. Require the property owner to submit an annual report to the Planning Department and the Office of Economic and Workforce Development (OEWD) describing the status of the implementation of its PDR Business Plan and inclusive of PDR-specific data collection.
  4. The Planning Department's ability to enforce the provisions of this Code section.
  5. Restriction of the ability of the non-PDR portion of the development from limiting the PDR portion from undertaking activities necessary to maintain PDR business operations.
- Conditional Use Authorization  
The proposed project requires Conditional Use Authorization from the Planning Commission for a qualifying development in the PDR-1-D Zoning District containing office/institutional space, where at least 1/3 of the total gross floor area contains PDR uses, in addition to other criteria. The project proposes a total gross floor area composition of 66.58% office (284,471 sf) and 33.42% PDR (142,784 sf), thereby satisfying the key land use criteria established in Planning Code Section 219.1 which allows for a Conditional Use Authorization request.
  - Office Development Authorization  
The proposed project would construct approximately 284,471 gsf of office/institutional space. Within the PDR-1-D Zoning District, office/institutional use is permitted subject to the approval of a Conditional Use Authorization pursuant to Planning Code Section 219.1 and 303. As of



January 2014 there is 2,887,328 sf of “Large” Cap Office Development available under the Planning Code Section 321 Office Allocation Program. The project is requesting an office space allocation equivalent to approximately 9.8% of the available “Large” Cap Office Development limit.

▪ Planned Unit Development

Pursuant to Planning Code Sections 303 and 304, the project may seek a modification to certain Planning Code requirements from the Planning Commission, since the project includes new construction on a site larger than a half-acre in size. Specifically, the proposed project requests modifications from: 1) obstructions (Planning Code Section 136); 2) off-street loading (Planning Code Section 152); and 3) off-street car-sharing (Planning Code Section 166).

▪ Development Impact Fees

The project would be subject to the following development impact fees, which are estimated as follows:

FEE TYPE	PLANNING CODE SECTION/FEE	AMOUNT
Transit Impact Development Fee (284,471 sq ft – New Office Development)	411 (@ \$13.87)	\$3,945,612.77
Transit Impact Development Fee (142,784 sq ft – New PDR Development)	411 (@ \$7.46)	\$1,065,168.64
Jobs-Housing Linkage (284,471 sq ft – New Office Development)	413 (@ \$24.03)	\$6,835,838.13
Child Care Development In-Lieu Fee (284,471 sq ft – New Office Development)	414 (@ \$1.21)	\$344,209.91
Eastern Neighborhoods Impact Fee (427,255 sq ft – New Non-Residential)	423 (@ \$9.71)	\$4,148,646.05
School Impact Fee (284,471 sq ft – New Office Development)	State Ed. Code Section 17620 (@ \$0.389)	\$110,659.219
School Impact Fee (142,784 sq ft – New PDR Development)	State Ed. Code Section 17620 (@ \$0.297)	\$42,406.848
	<b>TOTAL</b>	<b>\$16,492,541.57</b>

## **REQUIRED COMMISSION ACTION**

In order for the project to proceed, the Commission must grant Conditional Use Authorization, Planned Unit Development (PUD), and Office Allocation pursuant to Planning Code Section 219.1, 303, 304 and 321 to allow the replacement of an existing mini-storage facility with truck rental services with a new 427,255 sf production, distribution, repair (PDR) and office development project composed of three, 4-story buildings (including a “Workshop Building”, a “North Building”, and a “South Building”). Per Planning

Code Section 219.1(e)(1), the project is required to obtain a Conditional Use Authorization for a project seeking entitlement pursuant to Planning Code Section 219.1. Under the PUD, the project is seeking modification to certain Planning Code requirements, including: 1) obstructions (Planning Code Section 136); 2) off-street loading (Planning Code Section 152); and 3) off-street car sharing (Planning Code Section 166). Pursuant to Planning Code Section 321, a project is required to obtain an Office Allocation for new office space exceeding 25,000 sf. Since the project proposes a total of 284,471 sf of new office space, an Office Allocation is required.

## **BASIS FOR RECOMMENDATION**

The Department believes the project is approvable for the following reasons:

- The project complies with the applicable requirements of the Planning Code, including Planning Code Section 219.1, which is designed to make the development of new PDR space in San Francisco economically viable by utilizing the value of office use to subsidize construction of PDR space on largely vacant lots.
- The project will add approximately 142,784 gsf of new PDR space designed for a variety of PDR users and businesses.
- The project is consistent with the objectives and policies of the General Plan.
- The project is necessary and desirable, is compatible with the surrounding neighborhood, and would not be detrimental to persons or adjacent properties in the vicinity.
- The project represents an allocation of approximately 9.4% of the “Large” cap office space currently available for allocation.
- The authorization of office space for the project will allow for new businesses in the area, which will contribute to the economic activity in the neighborhood.
- At current rates, the project will contribute approximately **\$16,492,541.57** in development impact fees, less credits (if any) for preexisting uses, that will benefit the City and County of San Francisco community infrastructure.

### **Attachments:**

Draft Motion- Conditional Use Authorization & Planned Unit Development  
Draft Motion- Office Allocation  
Parcel Map  
Sanborn Map  
Aerial Photograph  
Zoning Map  
Major Projects within .25 radius  
Architectecural Drawings  
Public Correspondence  
Community Plan Exemption

Attachment Checklist

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Executive Summary           | <input checked="" type="checkbox"/> Project sponsor submittal                              |
| <input checked="" type="checkbox"/> Draft Motion                | Drawings: <u>Existing Conditions</u>   |
| <input checked="" type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility                                   |
| <input checked="" type="checkbox"/> Zoning District Map         | Drawings: <u>Proposed Project</u>  |
| <input checked="" type="checkbox"/> Height & Bulk Map           | <input checked="" type="checkbox"/> Check for legibility                                   |
| <input checked="" type="checkbox"/> Parcel Map                  | 3-D Renderings (new construction or significant addition)                                  |
| <input checked="" type="checkbox"/> Sanborn Map                 | <input checked="" type="checkbox"/> Check for legibility                                   |
| <input checked="" type="checkbox"/> Aerial Photo                | <input type="checkbox"/> Wireless Telecommunications Materials                             |
| <input checked="" type="checkbox"/> Context Photos              | <input type="checkbox"/> Health Dept. review of RF levels                                  |
| <input checked="" type="checkbox"/> Site Photos                 | <input type="checkbox"/> RF Report   |
|   | <input type="checkbox"/> Community Meeting Notice  |
|   | <input type="checkbox"/> Housing Documents   |
|   | <input type="checkbox"/> Inclusionary Affordable Housing Program: Affidavit for Compliance |

Exhibits above marked with an "X" are included in this packet

\_\_\_\_\_  
CT  
Planner's Initials



# SAN FRANCISCO PLANNING DEPARTMENT

*Subject to: (Select only if applicable)*

- |   |  |
|---|--|
| <input type="checkbox"/> Affordable Housing (Sec. 415)                      | <input checked="" type="checkbox"/> Child Care Requirement (Sec. 414)                    |
| <input checked="" type="checkbox"/> Jobs Housing Linkage Program (Sec. 413) | <input checked="" type="checkbox"/> Other (TIDF- Sec. 411)                               |
| <input type="checkbox"/> Downtown Park Fee (Sec. 412)                       | <input checked="" type="checkbox"/> Other (Eastern Neighborhoods – Sec. 423)             |
| <input checked="" type="checkbox"/> First Source Hiring (Admin. Code)       | <input checked="" type="checkbox"/> Other (School Impact Fee – State Ed. Code Sec 17620) |

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## Planning Commission Motion No. **XXXXXX** HEARING DATE: JANUARY 22, 2015

*Date:* January 22, 2015  
*Case No.:* **2012.0203BC**  
*Project Address:* **100 HOOPER STREET**  
*Zoning:* PDR-1-D  
58-X Height and Bulk District  
*Block/Lot:* 3808/003  
*Project Sponsor:* UrbanGreen Devco LLC  
Attn: Daniel Murphy  
P.O. Box 1578  
Pacifica, California 94044  
*Staff Contact:* Chris Townes  
[chris.townes@sfgov.org](mailto:chris.townes@sfgov.org)

ADOPTING FINDINGS RELATED TO THE APPROVAL OF A CONDITIONAL USE AUTHORIZATION AND A PLANNED UNIT DEVELOPMENT, PURSUANT TO SECTIONS 219.1, 303 AND 304 OF THE PLANNING CODE, WITH SPECIFIC MODIFICATIONS TO PLANNING CODE REQUIREMENTS RELATED TO 1) OBSTRUCTIONS (P.C. SEC. 136), 2) OFF-STREET LOADING (P.C. SEC. 152), AND 3) OFF-STREET CAR-SHARING (P.C. SEC. 166) WITH RESPECT TO A PROPOSAL TO CONSTRUCT THREE NEW FOUR-STORY BUILDINGS (INCLUDING A "PDR WORKSHOP BUILDING", A "NORTH BUILDING", AND A "SOUTH BUILDING") CONTAINING APPROXIMATELY 284,471 SQUARE FEET OF OFFICE/INSTITUTIONAL SPACE, 142,784 SQUARE FEET OF PRODUCTION, DISTRIBUTION & REPAIR SPACE, AND 86 OFF-STREET PARKING SPACES, LOCATED AT 100 HOOPER STREET, LOT 003 IN ASSESSOR'S BLOCK 3808, WITHIN THE PDR-1-D (PRODUCTION, DISTRIBUTION & REPAIR – DESIGN) ZONING DISTRICT AND A 58-X HEIGHT AND BULK DISTRICT, AND TO ADOPT FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT AND PLANNING CODE SECTION 101.1.

### PREAMBLE

On March 27, 2014, Mark Loper of Reuben, Junius & Rose, LLP, acting on behalf of UrbanGreen Devco LLC (hereinafter "Project Sponsor"), filed Application No. 2012.0203 BC with the San Francisco Planning Department (hereinafter "Department") for a Conditional Use Authorization and Planned Unit

Development (PUD) with specific modifications to the Planning Code requirements related to: 1) obstructions, 2) off-street loading, and 3) off-street car-sharing with respect to a proposal to construct three new four-story buildings (including a “Workshop Building”, a “North Building”, and a “South Building”) containing 284,471 square feet of office space, 142,784 sf of production, distribution & repair space, and 86 off-street parking spaces located at 100 Hooper Street (Block 3808 Lot 003) in San Francisco, California.

The environmental effects of the Project were determined by the San Francisco Planning Department to have been fully reviewed under the Eastern Neighborhoods Area Plan Environmental Impact Report (hereinafter “EIR”). The EIR was prepared, circulated for public review and comment, and, at a public hearing on August 7, 2008, by Motion No. 17661, certified by the Commission as complying with the California Environmental Quality Act (Cal. Pub. Res. Code Section 21000 et seq., (hereinafter “CEQA”). The Commission has reviewed the Final EIR, which has been available for this Commissions review as well as public review.

The Eastern Neighborhoods EIR is a Program EIR. Pursuant to CEQA Guideline 15168(c)(2), if the lead agency finds that no new effects could occur or no new mitigation measures would be required of a proposed project, the agency may approve the project as being within the scope of the project covered by the program EIR, and no additional or new environmental review is required. In approving the Eastern Neighborhoods Plan, the Commission adopted CEQA Findings in its Motion No. 17661 and hereby incorporates such Findings by reference.

Additionally, State CEQA Guidelines Section 15183 provides a streamlined environmental review for projects that are consistent with the development density established by existing zoning, community plan, or general plan policies for which an EIR was certified, except as might be necessary to examine whether there are project-specific effects which are peculiar to the project or its site. Section 15183 specifies that examination of environmental effects shall be limited to those effects that (a) are peculiar to the project or parcel on which the project would be located, (b) were not analyzed as significant effects in a prior EIR on the zoning action, general plan or community plan with which the project is consistent, (c) are potentially significant off-site and cumulative impacts which were not discussed in the underlying EIR, or (d) are previously identified in the EIR, but which are determined to have a more severe adverse impact than that discussed in the underlying EIR. Section 15183(c) specifies that if an impact is not peculiar to the parcel or to the proposed project, then an EIR need not be prepared for that project solely on the basis of that impact.

On January 6, 2015, the Department determined that the proposed application did not require further environmental review under Section 15183 of the CEQA Guidelines and Public Resources Code Section 21083.3. The Project is consistent with the adopted zoning controls in the Eastern Neighborhoods Area Plan and was encompassed within the analysis contained in the Eastern Neighborhoods Final EIR. Since the Eastern Neighborhoods Final EIR was finalized, there have been no substantial changes to the Eastern Neighborhoods Area Plan and no substantial changes in circumstances that would require major revisions to the Final EIR due to the involvement of new significant environmental effects or an increase in the severity of previously identified significant impacts, and there is no new information of substantial importance that would change the conclusions set forth in the Final EIR. The file for this project, including the Eastern Neighborhoods Final EIR and the Community Plan Exemption certificate, is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, San Francisco, California.

Planning Department staff prepared a Mitigation Monitoring and Reporting Program (MMRP) setting forth mitigation measures that were identified in the Eastern Neighborhoods Plan EIR that are applicable to the project. These mitigation measures are set forth in their entirety in the MMRP attached to the draft Motion as Exhibit C.

On January 22, 2015, the Commission adopted **Motion No. XXXXX**, approving an Office Development Authorization for the proposed project (Office Development Authorization Application No. 2012.0203 B) including a Mitigation, Monitoring, and Reporting Program for the project, attached as Exhibit C to **Motion No. XXXXX**, which are incorporated herein by this reference thereto as if fully set forth in this Motion.

On January 22, 2015, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2012.0203 BC.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use Authorization and Planned Unit Development Application requested in Application No. 2012.020 BC, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

## FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project site is located in the northeastern portion of San Francisco, within the Showplace Square/Potrero Hill Plan Area. The rectangular-shaped property is on the block bounded by Channel, Carolina, Eighth, Hooper, and Seventh Streets adjacent to Mission Bay, Showplace Square, and the San Francisco campus of the California College of the Arts (CCA). The site has 596 linear feet of street frontage along Channel Street (currently an unimproved right-of-way closed to the public to become an improved publically-accessible right-of-way), 240 linear feet of street frontage along Seventh Street, and 596 linear feet of frontage along Hooper Street. The site is approximately 3.3 acres (143,000 sf), fully paved, and contains no permanent structures. San Francisco Mini Storage occupies the site with portable cargo shipping containers that are leased for household storage, in addition to offering truck rental services with approximately 30 trucks. The existing use provides approximately 86,500 sf of storage space.
3. **Surrounding Properties and Neighborhood.** The project site is in the PDR-1-D (Production, Distribution, and Repair – Design) zoning district. Other zoning districts in the vicinity of the project site include: PDR-1-D (Production, Distribution, and Repair – Design) to the north, west and south, PDR-1-G (Production, Distribution and Repair – General) to the north and south, UMU (Urban Mixed Use) to the north and south, and MB-RA (Mission Bay Redevelopment Area) to the east. The streets and sidewalks adjacent to the site are largely unimproved, with the exception of the Seventh Street frontage and vehicular and pedestrian signalization at Mission Bay Drive and Seventh Street, just northeast of the project site. Hooper Street has no sidewalks and Channel Street is wholly

unimproved. The California College of the Arts (“CCA”) campus abuts the project site to the west with additional campus area across Hooper Street.

The epicenter of the Showplace Square furniture and interior design commercial district is located approximately a ¼ mile to the north and the center of Mission Bay is located approximately a ½ mile to the east, just east of Highway 280 (whose elevated roadway is east of the project site running in a north-south direction).

4. **Project Description.** The Project Sponsor proposes to replace the property’s existing mini-storage with truck rental use with three new four-story buildings, up to 58 feet in height. These new buildings consist of a stand-alone, 100% “PDR Workshop Building” that includes 56,402 sf of PDR space and two rectangular-shaped buildings (the “North Building” and “South Building”) that will contain approximately 86,382 sf of high-ceiling mezzanine PDR space at the ground floor and approximately 284,471 sf of office/institutional space on the upper floors. The project may also offer shared retail space accessory to the site’s PDR uses. It will also include approximately 41,600 sf of open space, consisting of, 1) a 40-foot wide interior linear courtyard that will provide loading access, natural light and air to the interior, 2) an approximately 10,000 sf privately-owned, publically-accessible open space (the “POPOS Plaza”) on the property’s southwestern corner, adjacent to the adjoining California College of the Arts (CCA) campus. The Project Sponsor has partnered with CCA and SFMade, a non-profit organization focused on building San Francisco’s economic base by developing the local manufacturing sector, on the project’s design and implementation, including preparation of a PDR Business Plan. The PDR Business Plan outlines strategies for providing a flexible PDR space typology mix, designing office spaces attractive to design-related technology and engineering firms, engaging strategic partners at all phases of development and in on-going operations, and focusing on access and pathways to deliver PDR jobs to the community.

5. **Public Comment.**

To date, the Planning Department has received the following public comments regarding the project:

- A letter from the *Dogpatch Neighborhood Association (DNA)* in general support of the project dated November 6, 2014. DNA cited support for the PDR uses and their integration into the area, the architectural design, and open space component.
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the mixed-use nature of the project which it deems to be consistent with the Showplace Square/Potrero Hill Area Plan objectives.

- A letter from the *Potrero Boosters Neighborhood Association* dated April 23, 2012, in support of mixed-use commercial development at the subject site (not the project in particular) and in support of a zoning overlay that would allow for flexible commercial development to support the light-industrial base of Showplace Square and its economy.
  - A letter in general support, dated March 30, 2012, sent to District 10 Supervisor Malia Cohen from the *Potrero Dogpatch Merchants Association (PDMA)*. In this letter, Mr. Keith Goldstein cites PDMA's support for the project's derived inspiration from the American Industrial Center, the variety of tenant space sizes, and the "incubator nature" of the project which will better support a wide variety of small businesses.
6. **Planning Code Compliance:** The Commission finds and determines that the project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Allowance for Uses (Office and/or Institutional) to Support the Development of New PDR Space in the PDR-1-D Districts.** The purpose of Planning Code Section 219.1 is to support an increase in the overall stock of PDR space in the City by making such development economically viable through the utilization of the value of office/institutional space to subsidize the construction of PDR space on underutilized properties.

For project's pursuing development under this Section, Planning Code Section 219.1(b) [Geography] establishes geographical criteria including:

- 1) The parcel shall be located in either the PDR-1-D or PDR-1-G Zoning District.

*The project site complies with this provision in that it is located entirely within the PDR-1-D Zoning District.*

- 2) The project site shall be located north of 20<sup>th</sup> Street.

*The project site complies with this provision in that it is located north of 20<sup>th</sup> Street.*

- 3) The project site shall contain a floor area ratio (FAR) of 0.3 gross floor area or less as of January 1, 2014.

*The project site complies with this provision in that the site contains no permanent structures (the existing household storage and truck rental service uses consist of non-permanent cargo shipping containers and a portable office trailer), and therefore has zero FAR.*

Planning Code Section 219.1(c) [Controls] establishes controls whereby, the Commission may permit non-PDR uses (office/institutional) on a qualifying site, subject to the approval of a Conditional Use Authorization and subject to the following controls:

- 1) At least 1/3 of the total gross floor area developed on the parcel shall contain PDR uses as defined in Section 401.

*The project complies with this provision in that the project proposes a total gross floor area composition of 66.58% office/institutional (284,471 sf) and 33.42% PDR (142,784 sf), thereby satisfying this land use criteria.*



- 2) The non-PDR space of the project may contain one or both of the following uses:

- a. Office
- b. Institutions

*The project complies with this provision in that the proposed non-PDR space is office/institutional space.*

- 3) Uses other than office and/or institution, such as retail, may not exceed 5,000 sf.

*The project complies with this provision in that no other uses (such as retail) are proposed at this time.*

- 4) No residential uses are permitted, except as allowed pursuant to Section 204.4.

*The project complies with this provision in that no residential uses are included.*

- 5) The PDR space in any building must be served by the following:

- 1. Sufficient off-street loading
- 2. One or more freight elevators

*Subject to the approval of the PUD modification request associated with off-street loading, the project will satisfy this provision in that the project will provide a total of eight loading spaces, whereas only five spaces are required. The off-street loading PUD modification request is to provide a total of five on-street loading spaces and a total of three off-street loading spaces, whereas the Code requires a total of five off-street loading spaces.*

*The project provides freight elevators in all buildings containing PDR space.*

- 6) The project shall meet the Transportation Management Program requirements of Section 163(c).

*The Project complies with this provision in that Project Sponsor has stated that the project shall meet the Transportation Management Program requirements through the provision of on-site transportation brokerage services by Mission Bay Shuttle which will provide commuters with shuttle service to the Powell Street BART/MUNI Station, Caltrain, and MUNI T-Third light-rail line.*

- 7) The Project Sponsor shall develop a "PDR Business Plan". The purpose of this PDR Business Plan is to maximize the potential for the project to produce new PDR space that is viable and affordable. The features of the PDR Business Plan should include, but are not limited to the criteria outlined below:

*The Project Sponsor has submitted a comprehensive PDR Business Plan inclusive of the features outlined in Planning Code Section 219.1(c)(9)(a-g) which Staff has reviewed and believes successfully maximizes the potential for the project to produce new PDR space that is viable and affordable. Further elaboration of each criterion is provided below.*

- i. Overall strategy to incorporate PDR businesses, including specifying which kinds of PDR businesses are the target for the development;

*The proposed PDR Business Plan outlines strategies for providing a flexible PDR space typology mix; designing office spaces attractive to design-related technology and engineering firms; engaging strategic partners at all phases of development and in on-going operations; and focusing on access*

*and pathways to PDR-related jobs. The project will serve as a design/manufacturing accelerator for consumer products, with a strong design or technical component. The project will provide necessary and desirable expansion space for growing consumer product sectors in San Francisco. The project will focus on designing the kinds of collaborative spaces and co-located company ecosystems that will both enable new products and technologies to be brought to market, and to enable existing consumer product companies to make the leap to incorporate these new technologies into their own processes. See the Project's PDR Business Plan, available in Planning Department File No. 2012.0203 BC.*

- ii. A description of the kinds of non-PDR businesses intended for the site and a plan for how they will co-exist with the PDR businesses and any strategies required to achieve this balance;

*In collaboration with SFMade, the Project Sponsor has developed a robust PDR Business Plan that carefully considers the operational characteristics of the various types of PDR uses the project will contain and organizes their placement within the development to ensure that the project, as a whole, promotes compatibility between the PDR and office tenants by mitigating impacts such as, noise, dust, loading, vibration, etc. The design of the project's office spaces is aimed at accommodating the needs of design-related technology and engineering firms, venture capital, professional services, and educational businesses that seek to be co-located with one another and with PDR companies. The project Site Plan establishes specific areas for loading and unloading spaces, as well as, access for delivery vehicles separate from office building entrances and pedestrian and bicycle areas.*

*The North and South Buildings have ground floor PDR spaces (with mezzanines) and office uses on upper floors which are connected by pedestrian bridges on the second, third and fourth floors. These uses will be designed with proper insulation and ventilation to segregate noise and smells generated by PDR uses from office tenants. See the Project's PDR Business Plan, available in Planning Department File No. 2012.0203 BC.*

- iii. A description of how the site's marketing and outreach plan will effectively target these same PDR businesses;

*The project will target PDR tenants through a variety of marketing strategies aimed at consumer product and desktop manufacturing companies, such as listing available spaces on multiple websites, including the project's website, SFMade's production space location listing, and on a commercially available website such as Co-Star comps. The project will notify and request posting of listings from the entire network of community partners about available spaces, including CCA, People Wear SF, Fashion Institute of Design, San Francisco Craft Brewer's Guild, and TechShop. The project will also create events near the project site to draw potential PDR tenants to the space, allowing multiple potential tenants to become familiarized with the project space. See the Project's PDR Business Plan, available in Planning Department File No. 2012.0203 BC.*

- iv. A description of how the development's design is suited to PDR businesses;

*The project will program and build PDR spaces varied in size and attributes, with the goal of providing space for designers and manufacturers to establish, maintain, and grow their businesses.*

*PDR spaces will be organized around common spaces to encourage collaboration and provide shared use space, such as accessory retail, shared PDR spaces, and shared showroom spaces.*

*A stand-alone, 100% PDR Workshop Building will be located at the western edge of the site, adjoining CCA's campus and fronting on the POPOS Plaza. It will feature high ceilings on the first two floors, moderately high ceilings on the top two floors, and a heavy-duty freight/service elevator. At the ground floor, the building is designed flexibly to offer either shared common and accessory areas or traditional rentable PDR spaces featuring roll-up doors to the building's exterior. The open floor plan concept on the first two floors is designed to flexibly meet the space needs of PDR users with the ability to demise the units into 1,000- to 2,500-square foot units.*

*The North and South Buildings will offer approximately 86,380 sf of high ceiling ground floor (with mezzanine) PDR spaces that can accommodate growing and already established PDR companies, especially those with accessory office and related space needs. These buildings have designed spaces ranging from 750 sf up to 10,000 sf to meet the diverse needs of specific tenants. These spaces contain high ceiling heights, direct access to loading docks, easy truck access, and roll-up doors. See the Project's PDR Business Plan, available in Planning Department File No. 2012.0203 BC.*

- v. A description of the rent/purchase price proposed by the developer for the PDR spaces and the approach to keep these rents accessible to PDR tenants over time;

*There is strong demand for modern industrial-zoned space in SoMa and Mission Bay/Showplace Square. The project site offers an ideal location for PDR space due to its proximity to downtown San Francisco and access to a variety of public transit alternatives, bicycle, and pedestrian improvements. The PDR Workshop Building will be owned, operated or otherwise controlled by PlaceMade, or a similar mission-driven non-profit organization, and will be financially accessible to entry-level PDR businesses. See the Project's PDR Business Plan, available in Planning Department File No. 2012.0203 BC.*

- vi. A detailed overview of the workforce and hiring strategy for the PDR businesses on the site, as well as for the non-PDR businesses, including how the project sponsor will abide by City programs such as the First Source Hiring Program; how the Project Sponsor might utilize other local, State, and federal subsidized hiring programs such as work opportunity tax credits, Jobs Now!, Hire SF, and the California new employment tax credit set forth in Chapter 93 of the California 2013-2014 legislative session; and how the project sponsor will inform its tenants about other relevant public programs; and,

*The project will generate up to 450 PDR-related jobs and up to 2,000 office-related jobs. The project will maintain an on-line list of available job openings at tenant businesses; will organize a semi-annual on-site job information fair; and will partner with PlaceMade, the Office of Economic and Workforce Development, and additional workforce community partners to identify appropriate training programs available in the community and to utilize hiring incentive programs. These include JobsNow!, Work Opportunity Credit, the Mayor's Summer Jobs Program, and other current local, State, and Federal programs. The project will also participate in the First Source Hiring*

*Program and outreach to San Francisco City College, San Francisco State University, and technical colleges. See the Project's PDR Business Plan, available in Planning Department File No. 2012.0203 BC.*

- vii. A detailed community outreach plan, including a plan for engaging any specific community partners in the development, tenanting of the project, and ongoing management of the PDR portions of the property.

*PlaceMade is assisting with PDR site planning, building design and functionality, project branding, and community outreach and engagement. PlaceMade, or similar mission-driven non-profit organization, will own, operate or otherwise control the PDR Workshop Building. SFMade and other community organizations will be engaged, both programmatically and by offering tenancy, to provide on-site business support to all PDR users on site. Over time, the project will develop plans to engage additional community partners to provide various programs and on-site services to support and accelerate the growth of PDR companies. See the Project's PDR Business Plan, available in Planning Department File No. 2012.0203 BC.*

- 8) The first Certificate of Occupancy for the PDR portion of the development must be issued by the Department of Building Inspection before or concurrently with the first Certificate of Occupancy for the non-PDR portion of the development unless the PDR and non-PDR portions are part of a single site or building permit.

*The project is subject to this provision.*

Planning Code Section 219.1(d) [Referral to OEWD] requires the Planning Department to inform the Office of Economic and Workforce Development (OEWD) upon receipt of an application for a project under this Section so that OEWD may inform the project sponsor of existing programs and requirements relevant to PDR businesses, including economic incentive and hiring programs.

*Upon receipt of the application, the Office of Economic and Workforce Development was notified of the project application accordingly and has worked collaboratively with the applicant in the review and development of the PDR Business Plan to ensure it maximizes the potential for the project to produce new PDR space that is viable and affordable and to inform the Project Sponsor of existing programs and requirements relevant to PDR businesses, including economic incentive and hiring programs.*

Planning Code Section 219.1(e)(1-2) [Approvals] requires:

- 1) All projects seeking entitlement pursuant to this Section 219.1 shall be required to receive a Conditional Use Authorization, per Section 303 of the Planning Code. In evaluating a proposed authorization under this Section, the Planning Commission shall consider:

*Pursuant to Planning Code Section 219.1(e), the applicant has filed a Conditional Use Authorization for the subject PDR/office mixed-use project seeking entitlement under this Section.*

- i. The likely viability of the new PDR space created by the development, as influenced by such factors as the content of the project sponsor's PDR Business Plan, and whether the project sponsor has the commitments of established PDR tenants and/or a demonstrated relationship with organizations established in the PDR community.

*The project will produce new PDR space that is viable and financially accessible to a range of PDR users, from small start-ups to more established businesses. The Project Sponsor has collaborated with SFMade, an organization representing over 500 manufacturers in San Francisco, to ensure that the PDR spaces can accommodate a wide range of PDR uses. The PDR Workshop Building will be owned, operated or otherwise controlled by PlaceMade, or a similar nonprofit organization, the mission of which is to provide a manufacturing incubator with a rent structure suited to smaller, start-up businesses. See the Project's PDR Business Plan, available in Planning Department File No. 2012.0203 BC.*

- ii. Whether the project is an appropriate location and intensity for the proposed non-PDR use, including but not limited to whether the location of non-PDR uses would be compatible with or disruptive to PDR uses on the site and in the vicinity, recognizing that PDR uses may generate noise, vibrations, odors, trucking activity, or other PDR-related operational characteristics.

*The project proposes to convert an underutilized, 3.3-acre lot to a mixed-use office and design, arts, and manufacturing PDR campus that will enhance and is compatible with the neighborhood, and links the long-standing design and PDR uses in the Showplace Square neighborhood to the emerging knowledge sector business. The project will comply with all City codes regarding construction noise and dust, and will not produce, or include, any permanent uses that will generate significant noxious or offensive emissions such as excessive noise, glare, dust and odor. The project design has taken into account proper insulation and ventilation to segregate noise and smells from office tenants. For example, vertical ventilation shafts from the PDR spaces to the roof will mitigate odors generated from ground floor PDR spaces. Noise impacts will be mitigated in part by thick concrete floors and thick walls.*

*In addition, tenant curation and placement will ensure that compatible uses are clustered. The project will also engage an acoustical consultant to ensure the project's design takes into account noise and vibration mitigation strategies. Each lease will include project-wide "operational rules", requiring that each use mitigate noise, odor and other impacts generated by each respective tenant, to avoid conflict with other users. Finally, the project will employ proactive on-site building management to work with tenants to resolve potential conflicts.*

- 2) A Notice of Special Restriction ("NSR") shall be recorded on the title of any property receiving approval under this Section 219.1. Such NSR shall:
  - i. Designate the PDR portion of parcel, building, and/or development;
  - ii. State that the proportion of gross floor area on the site dedicated to PDR uses shall never be less than 1/3 of the total gross floor area on the parcel, including any future building or use alterations or expansions;

- iii. Require the property owner to submit an annual report to the Planning Department and OEWD, on or before January 31 of each year, describing the status of the implementation of its PDR Business Plan, identifying PDR tenants on the property during the prior year, describing the rents for the PDR portions of the property and any lease terms, and providing information on their respective square footages, number of employees, contact information for each tenant, a description of the business or industry characteristics of each business, and the PDR space vacancy on the parcel as of the date of each report; and,
- iv. Provide the Planning Department with the ability to enforce the provisions of this Section.
- v. Restrict the ability of the non-PDR portion of the development from limiting the PDR portion from undertaking activities necessary to maintain PDR business operations in such matters as trucking and noise generation.

*The project is subject to this provision.*

- B. **Height & Bulk.** The property is located in the 58-X Height and Bulk District, which permits structures up to a height of 58 feet with no limitations on bulk.

*The project proposes three new 4-story, 56'-0" tall buildings consisting of a "PDR Workshop Building", a "North Building" and "South Building" which all comply with the maximum 58'-0" building height limit. The subject property is not subject to bulk provisions.*

- C. **Floor Area Ratio.** Planning Code Section 124 establishes a Floor Area Ratio (FAR) of 4.0 for properties within the PDR-1-D Zoning District and a 58-X Height and Bulk District.

*With a total lot area of 143,062 sf, the project is permitted a maximum of 572,248 sf based on a maximum permitted FAR of 4.0. The project proposes a total floor area of 427,255 sf, resulting in a 2.9 FAR, thus complying with Planning Code Section 124.*

- D. **Streetscape and Pedestrian Improvements.** Planning Code Section 138.1 requires one (1) new street tree for every 20 feet of street frontage for projects proposing new construction, and streetscape and pedestrian elements in conformance with the Better Streets Plan when a project is on a lot that is greater than 1/2-acre in total area and includes new construction.

*The project includes new construction on a lot that is more than 1/2-acre in size with 596 feet of frontage along Hooper and Channel Streets and 240 feet of frontage along 7th Street. The project is required to provide a total of 72 street trees, or pay an in-lieu fee. The project will provide a total of 52 street trees and seek payment of an in-lieu fee for the remaining 20-tree requirement. The project also includes a streetscape plan, which provides comprehensive improvements to the public realm, including sidewalks, bulb-out along Channel Street, bulb-outs and benches along 7th Street and Hooper Street, new bicycle racks, paving and planters.*

- E. **Off-Street Parking.** Planning Code Section 151.1 does not require any off-street parking spaces be provided, but instead provides maximum parking amounts based on land use type. The project is permitted to have up to one parking space per 1,500 gross square feet.

*The project is permitted to have up to 285 parking spaces; it includes only 86 (41 stackers and four ADA accessible spaces) or 30% of the maximum permitted amount of off-street parking. Thus, the project complies with Planning Code Section 151.1.*

- F. **Off-Street Freight Loading.** Planning Code Section 152 requires certain amounts of off-street freight loading space based on the type and size of uses in a project. Planning Code Section 154 sets forth standards as to location and arrangement of off-street freight loading and service vehicle spaces. Off-street loading spaces are required to have a minimum length of 35 feet, a minimum width of 12 feet, and a minimum vertical clearance including entry and exit of 14 feet, except that the first freight loading space required for any structure or use shall have a minimum width of 10 feet, a minimum length of 25 feet, and a minimum vertical clearance, including entry and exit, of 12 feet.

*The proposed size and mix of uses requires at least five off-street loading spaces. The project will provide a total of eight loading spaces, but requires a PUD modification because five of these spaces are located on the street and one on-site space is nine rather than ten feet wide.*

- G. **Car-Share Requirements.** Planning Code Section 166 establishes the requirements for off-street car-share parking spaces. For projects providing 50 or more parking spaces for non-residential uses, one off-street car-share parking space is required, plus one off-street car-share parking space for every 50 parking spaces over 50. With 86 off-street parking spaces proposed, one off-street car share space is required.

*The project requires one off-street car-share parking space, whereas two on-street car share parking spaces are provided. Therefore, the project requires a PUD modification to provide the required car share space on-street.*

- H. **Bicycle Parking.** Planning Code Section 155.2 requires at least 69 Class 1 and 10 Class 2 bicycle parking spaces be provided.

*The project will provide 152 Class 1 and 31 Class 2 bicycle parking spaces; thus, the project complies with Planning Code Section 155.2.*

- I. **Shower Facility and Clothes Locker Requirement in New Buildings.** Planning Code Section 155.4 requires at least four showers and 24 clothes lockers are provided when office square footage exceeds 50,000 gross square feet.

*With a total proposed office square footage of 284,471 gross square feet, the project exceeds 50,000 gross square feet of office use and therefore requires at least four showers and 24 clothes lockers. The project includes eight showers and 24 clothes lockers; thus, the project complies with Planning Code Section 155.4.*

- J. **Bird Safety.** Planning Code Section 139 outlines the standards for bird-safe buildings, including the requirements for location-related and feature-related hazards.

*The subject lot is not located within an Urban Bird Refuge and is therefore not subject to Location-Related Standards as established by Planning Code Section 139. To comply with the Feature-Related standards, any glazed segments greater than 24 sf will be treated with a UV reflective coating.*

- K. **Shadow Impact Analysis.** Planning Code Section 295 restricts net new shadow, cast by structures exceeding a height of 40 feet, upon property under the jurisdiction of the Recreation and Park Commission. Any project in excess of 40 feet in height and found to cast net new shadow must be found by the Planning Commission, with comment from the General Manager of the Recreation and Parks Department, in consultation with the Recreation and Park Commission, to

have no adverse impact upon the property under the jurisdiction of the Recreation and Park Commission.

*The proposed project is not expected to cast any net new shadows upon property under the jurisdiction of the Recreation and Parks Commission.*

- L. **Child Care Requirements for Office Development Projects.** Planning Code Section 414 applies the Child Care Requirements for Office Development Projects for development projects containing at least 50,000 gross square feet of office space.

*The project includes 284,471 gross square feet of office use and is therefore, subject to the Child Care Requirements for Office Development Projects Requirement. The Project Sponsor will pay an in-lieu fee pursuant to Planning Code Section 414.4, determined based on the net addition of gross floor area subject to the fee.*

- M. **Transit Impact Development Fee.** Planning Code Section 411 applies the Transit Impact Development Fee to projects cumulatively creating more than 800 gross square feet of non-residential uses, including Retail/Entertainment, Management, Information and Professional Services, and Production/Distribution/Repair.

*The project includes approximately 284,471 gross square feet of office use, and 142,784 gross square feet of PDR use. These uses are subject to the Transit Impact Development Fee and determined based on the addition of gross floor area subject to the fee, as set forth in Section 411 et seq.*

- N. **Jobs-Housing Linkage Program.** Planning Code Section 413 applies the Jobs-Housing Linkage Fee to any project that increases by at least 25,000 gross square feet the total amount of any combination of entertainment use, hotel use, Integrated PDR use, office, research and development use, retail use, and/or Small Enterprise Workspace use.

*The project includes approximately 284,471 gross square feet of office use, and 142,784 gross square feet of PDR, and is thereby subject to the Jobs-Housing Linkage Program. Pursuant to Planning Code Section 413.6, the Project Sponsor will pay an in-lieu fee determined based on the net addition of gross floor area.*

- O. **Eastern Neighborhood Infrastructure Impact Fee.** Planning Code Section 423 is applicable to any development project within the PDR-1-D Zoning District that adds gross square feet of non-residential space.

*The project includes 427,255 gross square feet of non-residential floor area and is subject to the Tier 1 Eastern Neighborhood Infrastructure Impact Fee, as outlined in Planning Code Section 423. This fee shall be determined based on the net addition of gross floor area subject to the fee.*

- P. **Office Development Authorization.** Planning Code Section 231 establishes the requirements for an Office Development Authorization from the Planning Commission for new office space in excess of 25,000 gross square feet.

*The project has submitted an application for an Office Development Authorization. The proposed project will seek an Office Development Authorization for up to approximately 284,471 gross square feet of new office/institutional space from the Planning Commission. Per the Department's recommendation, the Commission would authorize up to 284,471 gross square feet of office use (See Case No. 2012.0203B).*

7. **Planning Code Section 303.** Section 303 establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use Authorization approval. Projects that propose a Planned Unit Development through the Conditional Use Authorization process must meet these



criteria, in addition to the PUD criteria of Section 304. On balance, the Project complies with said criteria in that:

- A. That the proposed use or feature, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable for, and compatible with, the neighborhood or the community.

*The project is necessary and desirable for the community in that it will deliver needed PDR and office space in a space-constrained market, provide up to 450 PDR-related jobs and up to 2,000 office-related jobs, and upgrade the pedestrian realm. It will also provide PDR businesses with opportunities for shared or individual accessory retail space, benefiting both the participating businesses and the surrounding neighborhood. The proposed uses and scale of the project are compatible with the mixed-use character of the neighboring Showplace Square and Mission Bay districts. Demand for PDR space continues to increase. San Francisco's local manufacturing sector now employs almost 4,000 people. The local manufacturing sector continues to be a powerful contributor to both San Francisco and to the regional economy, driving an estimated \$395 million dollars of direct revenue into the local economy and another \$750 million dollars of indirect economic activity, driven by the intensely regional supply chains of the majority of the SFMade companies and the spending power of their local workforce.*

*The project will provide up to approximately 142,784 sf of PDR use designed to appeal to both start-up PDR entrepreneurs and to more established PDR businesses. The 100% PDR Workshop Building will be financially accessible to entry-level PDR businesses, and will be owned, operated, or otherwise controlled by PlaceMade, or similar mission-driven nonprofit, that will manage it as an incubator for start-up manufacturers and provide on-site support services for PDR and other tenants throughout the project. The North and South Buildings will offer up to approximately 80,000 sf of high ceiling "mezzanine-style" PDR spaces that can accommodate growing and already established PDR companies, especially those with accessory office and related space needs. These buildings will also offer approximately 284,471 sf of office and/or institutional use that Project Sponsor intends to fill with "knowledge sector" and related businesses. The project's open space creates a desirable linkage with CCA through the privately-owned publicly-accessible Plaza and by improving Hooper Street pursuant to the Showplace Square Open Space Plan. The Project Sponsor will also improve the southern half of Channel Street (currently unimproved) to City street standards and will maintain sidewalk improvements adjacent to the project site.*

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, or injurious to property, improvements or potential development in the vicinity, with respect to aspects including but not limited to the following:

- i. The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures.

*The proposed shape and arrangement of structures on the site successfully achieves a PDR campus-like character that is well-integrated into the surrounding light-industrial environment, creates pedestrian connections through the site, and is compatible with mass and scale of the light-industrial surrounding neighborhood character, in general, and relates well to the adjacent CCA campus in particular.*

*The nature of the proposed site will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity, nor injurious to property, improvements or potential development in the vicinity*

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading and of proposed alternatives to off-street parking, including provisions of car-share parking spaces, as defined in Section 166.

*The project site is ideally located due to its proximity to downtown San Francisco and access to good and improving public transit options and bicycle and pedestrian access options. The project is permitted to have up to 285 off-street parking spaces; however, it provides only 86 off-street parking spaces (or 30% of the maximum permitted amount of off-street parking), thereby encouraging the use of alternate modes of transportation rather than simply personal automobiles. The project also includes 183 bicycle parking spaces, 14 off-street motorcycle spaces, and two on-street car share parking spaces. The project shall meet the Transportation Management Program requirements through the provision of on-site transportation brokerage services by Mission Bay Shuttle which will provide commuters with shuttle service to the Powell Street BART/MUNI Station, Caltrain, and MUNI T-Third light-rail line. The project site lays out specific areas for loading and unloading and also utilizes the project's at-grade paved areas to accommodate passive light vehicular and light truck loading.*

*As a result of the projects' parking/loading, circulation, and commuter strategies described above, the project will not detrimentally affect accessibility and traffic patterns for persons and vehicles around the property.*

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust, and odor.

*The project will comply with all applicable regulations regarding construction noise and dust, and will not produce, or include, any permanent uses that will generate substantial levels of noxious or offensive emissions such as excessive noise, glare, dust and odor. The project design has taken into account proper insulation and ventilation to segregate noise and smells from office tenants.*

*In collaboration with SFMade, the Project Sponsor has developed a robust PDR Business Plan that carefully considers the operational characteristics of the various types of PDR uses the project will contain and organizes their placement within the development to ensure that the project, as a whole, promotes compatibility between the PDR and office tenants by mitigating impacts such as, noise, dust, loading, vibration, etc.*

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting, and signs.

*The project provides well-developed pedestrian and streetscape improvements (inclusive of sidewalks, bulb-outs, loading/unloading areas, lighting, planters, paving, benches, bike racks, etc.) in accordance with Planning Code Section 138.1 and the Better Streets Plan. In addition, the project also features approximately 41,600 sf of shared at-grade open space consisting of, 1) a 40-foot wide interior linear courtyard that will provide loading access, natural light and air to the site interior, and 2) an approximately 10,000 sf POPOS Plaza on the property's southwestern corner that aims to create synergy with the abutting CCA campus.*

- vi. The proposed project will comply with the applicable provisions of this Code and will not adversely affect the General Plan.

*Subject to Commission approval, the project complies with will all relevant requirements and standards of the Planning Code and is consistent with the objectives and policies of the General Plan as detailed below.*

8. **Planning Code Section 304.** Section 304 establishes criteria and limitations for the Planning Commission to consider when reviewing applications for the authorization of Planned Unit Developments, in addition to those applicable to Conditional Uses. On balance, the project does comply with said criteria and limitations in that:

- A. Affirmatively promote applicable objectives and policies of the General Plan;

*The project promotes applicable objectives and policies of the General Plan and the Showplace Square/Potrero Hill Area Plan. See General Plan and Showplace Square/Potrero Hill Area Plan Compliance.*

- B. Provide off-street parking adequate for the occupancy proposed;

*The project provides off-street parking adequate for the occupancy proposed. In the PDR-1-D Zoning District, off-street parking is not required pursuant to Planning Code Section 151.1. However, the project will provide 86 off-street parking spaces, including four ADA accessible spaces, and 14 off-street motorcycle spaces. The project will provide more than 183 off-street bicycle parking spaces and two on-street car-sharing spaces.*

- C. Provide open space usable by the occupants and, where appropriate, by the general public, at least equal to the open space required by this Code;

*The Planning Code does not require open space for uses in PDR Districts. Nonetheless, approximately one-third of the lot area (41,600 square feet) will be improved as a privately-owned publicly-accessible open space that will be open to the public during business hours, as well as, a 40-foot wide linear courtyard space between the North and South Buildings.*

- D. Be limited in dwelling unit density to less than the density that would be allowed by Article 2 of the Code for a district permitting a greater density, so that the Planned Unit Development will not be substantially equivalent to a reclassification of property.

*The project does not include dwelling units.*

- E. In R Districts, include commercial uses only to the extent that such uses are necessary to serve residents of the immediate vicinity, subject to the limitations for NC-1 Districts under this Code, and in RTO Districts include commercial uses only according to the provisions of Section 230 of this Code;

*The property is not located within an R District.*

- F. Under no circumstances be excepted from any height limit established by Article 2.5 of this Code, unless such exception is explicitly authorized by the terms of this Code. In the absence of such an explicit authorization, exceptions from the provisions of this Code with respect to height shall be confined to minor deviations from the provisions for measurement of height in Sections 260 and 261 of this Code, and no such deviation shall depart from the purposes or intent of those sections.

*The project will not require any exceptions to the 58-foot height limit established by Article 2.5 of this Code.*

- G. In NC Districts, be limited in gross floor area to that allowed under the Floor Area Ratio limit permitted for the district in Section 124 and Article 7 of this Code;

*The property is not located within an NC District.*

- H. In NC Districts, not violate the use limitations by story set forth in Article 7 of this Code; and

*The property is not located within an NC District.*

- I. In RTO and NCT Districts, include the extension of adjacent alleys or streets onto or through the site, and/or the creation of new publicly-accessible streets or alleys through the site as appropriate, in order to break down the scale of the site, continue the surrounding existing pattern of block size, streets and alleys, and foster beneficial pedestrian and vehicular circulation.

*The property is not located within a RTO or NCT District.*

- J. Provide street trees as per the requirements of Section 138.1 of the Code.

*Seventy-two street trees are required. Due to site constraints, 52 street trees will be planted and an in-lieu fee will be paid for the remainder.*

- K. Provide landscaping and permeable surfaces in any required setbacks in accordance with Section 132 (g) and (h).

*The residential setback requirements in Section 132(g) and (h) of the Planning Code do not apply to the project.*

9. **Planned Unit Development Modifications.** The Project Sponsor requests the following modification from the requirements of the Planning Code:

- A. Obstructions. Pursuant to Planning Code Section 136, balconies are subject to specific maximum dimensional criteria. The maximum length of a balcony shall be 15'-0" at the line establishing the required open area (or the street fronting property lines in this case) and shall be reduced in proportion to the distance from such line by a means of 45 degree angles drawn inward from the ends of such 15-foot dimension, reaching a maximum of 9'-0" along a line parallel to and at a distance of 3'-0" from the line establishing the required open area.

*As proposed, all of the uniformly-sized balconies (projecting 3'-0" into the public right-of-way and 15'-0" in length) proposed along the Channel Street and Hooper Street elevations exceed the maximum dimensional criteria pursuant to Planning Code Section 136. Staff has considered the balconies within the context of the overall project massing, scale and design, as well as, within the context of the surrounding light-industrial PDR-1-D zoned properties and has determined that the balconies, as proposed, are appropriate sized and scaled to the project. Therefore, Staff recommends approval of the requested obstruction modification.*

- B. Off-Street Loading. In the PDR-1-D zoning district, Planning Code Section 152 requires that for wholesaling, manufacturing, and all other uses primarily engaged in the handling of goods, three off-street loading spaces are required for uses over 100,000 gross square feet, and two off-street loading spaces are required for office and/or institutional uses between 200,000 gross square feet and 500,000 gross square feet. Therefore, a total of 5 off-street parking spaces are required in total.

*As proposed, the project provides a total of eight loading spaces, but requires an exception because five will be curbside (on-street) loading spaces and one off-street space will be nine, rather than ten, feet wide. Three*

curbside spaces will be located on Channel Street, and two on Hooper Street. Primary off-street loading for the project will occur along Channel Street, with a commonly accessed two-bay semi-truck loading dock linking Channel Street to the interior linear courtyard. One space is in the walkway between CCA and the PDR Building with direct breezeway access to the interior linear courtyard and building core freight or service elevators. In addition, the interior linear courtyard will be designed to accommodate light truck loading for the ground-floor PDR spaces. The project is designed to meet the off-street loading needs of PDR companies in the project's multi-tenant format, who are expected to primarily use box-truck loading from the three on-street loading spaces. Most start-up PDR users in the PDR Workshop Building are not expected to need traditional off-street loading spaces. Additionally, the street-level PDR spaces designed to serve more established PDR businesses will have roll-up doors accessible to the interior linear courtyard, providing direct access to both the traditional loading docks accessible on Channel Street, and the three loading zones on Channel and Hooper Streets which will accommodate box truck loading. Therefore, Staff recommends approval of the requested off-street loading modification.

- C. Off-Street Car Share. Pursuant to Planning Code Section 166, in newly constructed buildings containing parking for non-residential uses, the project shall provide a total of one off-street car-share parking space.

*The project requires a modification to provide two car-share parking spaces at curbside (on-street) along Hooper Street instead of providing at least one off-street car-share space as required by Code. The provision of curbside car-share spaces will promote visibility and accessibility in that their curbside presence will make them easier for members of the public to view and access on a 24-hour basis than if the spaces were located within the enclosed garage (this is especially true for PDR users and CCA students who may need to transport heavy and bulky equipment to their vehicles) thereby promoting a more sustainable transportation alternative to a personal automobile. Due to the light-industrial nature of the surrounding area which is not characterized by residential development, there is no concern regarding the displacement of off-street parking spaces that would otherwise serve the parking needs of a residential neighborhood. Therefore, Staff recommends approval of the requested off-street car-share modification.*

10. **General Plan/ Showplace Square Potrero Hill Area Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan and the Showplace Square/Potrero Hill Area Plan, as follows:

## COMMERCE AND INDUSTRY

### OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

#### Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the city.

*By clustering a large-scale PDR project with office and/or institutional uses, the project will cross-subsidize the construction costs of new PDR space and make the construction of new PDR space possible on a site uniquely situated to capitalize on the collaboration possibilities between art, design, manufacturing, technology and related users. The Project Sponsor will collaborate with CCA, and has partnered with PlaceMade, to ensure that the project serves as an organic PDR incubator that attracts a broad range of PDR companies in a multi-tenant format that leverages the benefits of clustering and fosters engagement between the project's expected diverse*

*PDR users, from established PDR businesses requiring larger, high ceiling, modern PDR space to start-up PDR entrepreneurs and CCA art and/or design graduates. The project also includes approximately 284,471 gross square feet of office and/or institutional use that the Project Sponsor intends to fill with “knowledge sector” and related businesses that are attracted to the project’s location.*

**OBJECTIVE 4:**

IMPROVE THE VIABILITY OF EXISTING INDUSTRY IN THE CITY AND THE ATTRACTIVENESS OF THE CITY AS A LOCATION FOR NEW INDUSTRY.

**Policy 4.10:**

Enhance the working environment within industrial areas.

**Policy 4.11:**

Maintain an adequate supply of space appropriate to the needs of incubator industries.

*The project will build a range of well-designed PDR spaces that will provide space for PDR users at all stages of development. The PDR Workshop Building will be financially accessible to entry-level PDR businesses and will feature high ceilings on the first two floors and moderately high ceilings on the top two floors, and a heavy duty freight/service elevator. The ground floor will feature roll-up doors opening directly onto the building’s exterior. The North and South Buildings will offer high ceiling mezzanine PDR spaces ranging from 750 sf up to 10,000 sf. Overall, the project aspires to offer a wide range of unit types and rents to enable companies to establish, maintain, and grow their business over time within the development.*

**RECREATION AND OPEN SPACE**

**OBJECTIVE 2:**

DEVELOP AND MAINTAIN A DIVERSIFIED AND BALANCED CITYWIDE SYSTEM OF HIGH QUALITY PUBLIC OPEN SPACE.

**CITYWIDE: URBAN DESIGN**

**OBJECTIVE 3:**

MODERATION OF MAJOR NEW DEVELOPMENT TO COMPLEMENT THE CITY PATTERN, THE RESOURCES TO BE CONSERVED, AND THE NEIGHBORHOOD ENVIRONMENT.

**Policy 3.4:**

Promote building forms that will respect and improve the integrity of open spaces and other public areas.

*The project provides well-developed pedestrian and streetscape improvements (inclusive of sidewalks, bulb-outs, loading/unloading areas, lighting, planters, paving, benches, bike racks, etc.) in accordance with Planning Code Section 138.1 and the Better Streets Plan. In addition, the project also features approximately 41,600 sf of shared at-grade open space consisting of, 1) a 40-foot wide interior linear courtyard that will provide loading access, natural light and air to the site interior, and 2) an approximately 10,000 sf POPOS Plaza on the property’s southwestern corner that aims to create synergy with the abutting CCA campus.*

**SHOWPLACE SQUARE/PORTERO HILL AREA PLAN**

**OBJECTIVE 1.1:**

ENCOURAGE THE TRANSITION OF PORTIONS OF SHOWPLACE/ PORTERO TO A MORE MIXED USE AND NEIGHBORHOOD-SERVING CHARACTER, WHILE PROTECTING THE CORE OF DESIGN-RELATED PDR USES.

**Policy 1.1.5:**

While continuing to protect traditional PDR functions that need large, inexpensive spaces to operate, also recognize that the nature of PDR businesses is evolving gradually so that their production and distribution activities are becoming more integrated physically with their research, design and administrative functions.

*Since the adoption of the Eastern Neighborhoods plan, there has been a minimal amount of new PDR space approved or built in San Francisco, whereas there is strong demand for modern industrial-zoned space in SoMa and Mission Bay/Showplace Square. The project proposes the construction of a new PDR/office mixed-use campus development composed of three separate 4-story buildings (a "PDR Workshop Building, a North Building, and a "South Building) containing a total of 284,471 sf of office and 142,784 sf of PDR space. The development seeks to utilize the value of office/institutional space to subsidize the construction of PDR space on the subject underutilized property.*

*The project will cross-subsidize the construction costs of PDR and office of new PDR space available to a broad range of PDR users, and make the construction of new PDR space possible on a site uniquely situated to capitalize on the collaboration possibilities between art, design, manufacturing, technology and related users. The project's office component is expected to attract office users which desire close proximity to PDR in order to prototype products, test materials, or otherwise easily engage with PDR business partners.*

**OBJECTIVE 1.4:**

SUPPORT A ROLE FOR "KNOWLEDGE SECTOR" BUSINESSES IN APPROPRIATE PORTIONS OF SHOWPLACE SQUARE/POTRERO HILL.

**Policy 1.4.1:**

Continue to permit manufacturing uses that support the Knowledge Sector in the Mixed-Use and PDR districts of Showplace Square/Potrero Hill.

**OBJECTIVE 1.7:**

RETAIN THE ROLE OF SHOWPLACE SQUARE AS AN IMPORTANT LOCATION FOR PRODUCTION, DISTRIBUTION, AND REPAIR (PDR) ACTIVITIES, FOCUSING IN PARTICULAR ON DESIGN RELATED ACTIVITIES.

**Policy 1.7.3:**

Require development of flexible buildings with generous floor-to-ceiling heights, large floor plates, and other features that will allow the structure to support various businesses.

*The project will provide up to approximately 142,784 sf of PDR use. The PDR Workshop Building features high and moderate ceilings, and a heavy-duty freight/service elevators. The ground floor is designed flexibly to offer shared common and accessory areas, or traditional rentable PDR spaces featuring roll-up doors to the building's exterior.*

*The North and South Buildings will offer approximately 86,380 sf of PDR spaces. The ground floors will provide larger, high-ceiling mezzanine PDR spaces with a height of 19 feet (floor to floor), some of which will*

*feature roll-up doors. Upper floors will include large floorplates with side cores and lobbies that connect with the project's open spaces below. The PDR spaces will have direct access to loading docks, easy truck access, and roll-up doors.*

**OBJECTIVE 5.1:**

PROVIDE PUBLIC PARKS AND OPEN SPACES THAT MEET THE NEEDS OF RESIDENTS, WORKERS AND VISITORS.

**Policy 5.1.1**

Identify opportunities to create new public parks and open spaces and provide at least one new public park or open space serving the Showplace/ Potrero.

**OBJECTIVE 5.2:**

ENSURE THAT NEW DEVELOPMENT INCLUDES HIGH QUALITY PRIVATE OPEN SPACE.

**Policy 5.2.4:**

Encourage publicly accessible open space as part of new residential and commercial development.

*The project will provide 41,600 square feet of at-grade shared open space. The linear courtyard will be accessible to the public during normal business hours and the POPOS Plaza will connect the Project to the CCA campus. The linear courtyard will create a pedestrian link to the existing crosswalk on 7th Street, providing access to Mission Bay and its open space, as well as the San Francisco Bay Trail and waterfront.*

**OBJECTIVE 6.1:**

SUPPORT THE ECONOMIC WELL-BEING OF A VARIETY OF BUSINESSES IN THE EASTERN NEIGHBORHOODS.

**Policy 6.1.1:**

Provide business assistance for new and existing PDR businesses in the Eastern Neighborhoods.

**OBJECTIVE 6.2:**

INCREASE ECONOMIC SECURITY FOR WORKERS BY PROVIDING ACCESS TO SOUGHT-AFTER JOB SKILLS.

**Policy 6.2.1:**

Provide workforce development training for those who work in and live in the Eastern Neighborhoods, particularly those who do not have a college degree.

*The Project Sponsor will provide a variety of on-site support services, including workforce development programs that provide important job pathways, as described in the project's PDR Business Plan. In addition to the Project's partnerships with PlaceMade, the Office of Economic and Workforce Development and the CCA, the Project Sponsor will identify and engage additional workforce partners, like JVS, Arriba Juntos, Youth Community Developers, and Goodwill Industries, to communicate job openings and skills requirements to communities of need, to help identify candidates with skills and applicable hiring incentive programs, and to work to place candidates into jobs.*



11. **Section 101 Priority Policy Findings.** Section 101.1(b)(1-8) establishes eight priority planning policies and requires review of permits for consistency with said policies. On balance, the Project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced.

*Currently, the project site does not contain any existing neighborhood-serving uses. The project will enhance opportunities for resident employment in and ownership of retail businesses by offering shared accessory retail and showroom spaces to enable multiple PDR users to showcase products together for sale or demonstration.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*No housing exists on the project site. The property is currently occupied by a storage container use and a truck rental use. The project is located in an area where new PDR uses are encouraged and, where office uses are conditionally permitted. The project will be compatible with the neighborhood, linking Showplace Square and the CCA to the knowledge sector businesses in Mission Bay.*

- C. The City's supply of affordable housing be preserved and enhanced.

*No housing exists on the project site. The project will support San Francisco's supply of affordable housing by participating in the Jobs-Housing Linkage Program, pursuant to Planning Code Section 413.*

- D. That commuter traffic not impede Muni transit service or overburden our streets or neighborhood parking.

*The project site offers an ideal location for the proposed mixed-use PDR/office development due to its proximity to downtown San Francisco and access to a variety of public transit alternatives, bicycle, and pedestrian improvements. The project will provide 183 bicycle spaces, and 86 off-street parking spaces. The project site is well served by public transit in that it is within approximately a half-mile of numerous MUNI bus routes, including the 8X- Bayshore Express, 8AX- Bayshore A Express, 8BX- Bayshore B Express, 10-Townsend, 14X- Mission Express, 19- Polk, 22-Fillmore. The site is also within a half-mile of the MUNI T-Third Street light-rail line and the Caltrain station located at 4th/King Street and the proposed Central Subway.*

*The project will not impede MUNI transit service or overburden streets and neighborhood parking.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*By clustering a large-scale PDR project with related office and/or institutional uses, the project will cross-subsidize the construction costs of new PDR space and make the construction of new PDR space possible in a site uniquely situated to capitalize on the collaboration possibilities between art, design, manufacturing, technology, and related users.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The project will conform to the structural and seismic requirements of the San Francisco Building Code, meeting this policy.*

G. That landmarks and historic buildings be preserved.

*The project site does not contain any City Landmarks or historic buildings.*

H. That our parks and open space and their access to sunlight and vistas be protected from development.

*The Project will not impact any public parks or open spaces, and will not impact any existing property's access to sunlight or vistas. The project contains approximately 41,600 sf of at-grade open space that will link Showplace Square to Mission Bay open space.*

12. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
13. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

## DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2012.0203 C** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated January 22, 2015, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

**Protest of Fee or Exaction:** You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on \_\_\_\_\_.

Jonas P. Ionin  
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED:

## EXHIBIT A

### AUTHORIZATION

This authorization is to allow for a Conditional Use Authorization and Planned Unit Development pursuant to Sections 219.1, 303 and 304 of the Planning Code, with specific modifications to Planning Code requirements related to 1) obstructions, 2) off-street loading, and 3) off-street car-sharing with respect to a proposal to construct three new four-story buildings (including a "Workshop Building", a "North Building", and a "South Building") containing approximately 284,471 sf of office/institutional space, 142,784 sf of production, distribution & repair space, and 86 off-street parking spaces, located at 100 Hooper Street, Lot 003 in Assessor's Block 3808, within the PDR-1-D (Production, Distribution & Repair- Design) Zoning District and 58-X Height and Bulk District; in general conformance with plans, dated January 22, 2015, and stamped "EXHIBIT B" included in the docket for Case No. 2012.0203 B and subject to conditions of approval reviewed and approved by the Commission on **January 22, 2015** under **Motion No. XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project sponsor, business, or operator.

### RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **January 22, 2015**, under **Motion No. XXXXXX**.

### PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the "Exhibit A" of this Planning Commission **Motion No. XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Conditional Use authorization and any subsequent amendments or modifications.

### SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. "Project sponsor" shall include any subsequent responsible party.

### CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new authorization.

## Conditions of Approval, Compliance, Monitoring, and Reporting PERFORMANCE

1. **Validity.** The authorization and right vested by virtue of this action is valid for three (3) years from the effective date of the Motion. The Department of Building Inspection shall have issued a Building Permit or Site Permit to construct the project and/or commence the approved use within this three-year period.  
*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*
2. **Expiration and Renewal.** Should a Building or Site Permit be sought after the three (3) year period has lapsed, the project sponsor must seek a renewal of this Authorization by filing an application for an amendment to the original Authorization or a new application for Authorization. Should the project sponsor decline to so file, and decline to withdraw the permit application, the Commission shall conduct a public hearing in order to consider the revocation of the Authorization. Should the Commission not revoke the Authorization following the closure of the public hearing, the Commission shall determine the extension of time for the continued validity of the Authorization.  
*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*
3. **Diligent pursuit.** Once a site or Building Permit has been issued, construction must commence within the timeframe required by the Department of Building Inspection and be continued diligently to completion. Failure to do so shall be grounds for the Commission to consider revoking the approval if more than three (3) years have passed since this Authorization was approved.  
*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*
4. **Extension.** All time limits in the preceding three paragraphs may be extended at the discretion of the Zoning Administrator where implementation of the project is delayed by a public agency, an appeal or a legal challenge and only by the length of time for which such public agency, appeal or challenge has caused delay.  
*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*
5. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.  
*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*
6. **Stand-Alone PDR Lot.** The stand-alone PDR lot fronting on Channel Street shall be improved with a four-story, single-use PDR building, containing a minimum of 56,402 square feet of PDR space to be occupied exclusively by PDR and accessory uses. The stand-alone PDR lot and building shall be owned, operated, or otherwise controlled, by PlaceMade or a similar mission-driven non-profit organization with expertise in serving smaller scale or start-up manufacturers. To ensure rents are

financially accessible to entry-level tenants, the stand-alone PDR lot and building shall be operated on a not-for-profit basis as an incubator for smaller-scale, start-up manufacturers and related, shared facilities. The Certificate of Occupancy for the stand-alone "PDR Workshop Building" shall be issued prior to, or concurrent with, the Certificate of Occupancy for either the North or South Building.

7. **Proportion of PDR to Other Uses.** In order to ensure that the proportion of gross floor area on the site dedicated to PDR uses shall not be less than one-third the total gross floor area on the site as a whole, a minimum amount of space dedicated to PDR use shall be maintained at all times in each building: 56,402 square feet in the stand-alone PDR building, 29,554 square feet in the "North Building" and 56,828 square feet in the "South Building".
8. **Additional Project Authorization.** The Project Sponsor must obtain an Office Allocation Authorization under Sections 321 and satisfy all the conditions thereof. The conditions set forth therein are additional conditions required in connection with the Project. If these conditions overlap with any other requirement imposed on the Project, the more restrictive or protective condition or requirement, as determined by the Zoning Administrator, shall apply. *For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org).*
9. **Mitigation Measures.** Mitigation measures described in the MMRP for the Eastern Neighborhoods Plan EIR (Case No. 2004.0160E) attached as Exhibit C (Attachment A of CPE) are necessary to avoid potential significant effects of the proposed project and have been agreed to by the Project Sponsor.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org).

11. **Improvement Measures.** The Project Sponsor shall implement additional transportation-related improvement measures attached as Exhibit C (Attachment B of CPE).

## DESIGN – COMPLIANCE AT PLAN STAGE

**Final Materials.** The Project Sponsor shall continue to work with Planning Department on the building design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff review and approval. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

**Garbage, composting and recycling storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

**Rooftop Mechanical Equipment.** Pursuant to Planning Code 141, the Project Sponsor shall submit a roof plan to the Planning Department prior to Planning approval of the building permit application. Rooftop mechanical equipment, if any is proposed as part of the Project, is required to be screened so as not to be visible from any point at or below the roof level of the subject building.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

**Streetscape Plan.** Pursuant to Planning Code Section 138.1, the Project Sponsor shall continue to work with Planning Department staff, in consultation with other City agencies, to refine the design and programming of the Streetscape Plan so that the plan generally meets the standards of the Better Streets Plan and all applicable City standards. The Project Sponsor shall complete final design of all required street improvements, including procurement of relevant City permits, prior to issuance of first architectural addenda, and shall complete construction of all required street improvements prior to issuance of first temporary certificate of occupancy.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

**Transformer Vault.** The location of individual project PG&E Transformer Vault installations has significant effects to San Francisco streetscapes when improperly located. However, they may not have any impact if they are installed in preferred locations. Therefore, the Planning Department recommends the following preference schedule in locating new transformer vaults, in order of most to least desirable:

1. On-site, in a basement area accessed via a garage or other access point without use of separate doors on a ground floor façade facing a public right-of-way;
2. On-site, in a driveway, underground;
3. On-site, above ground, screened from view, other than a ground floor façade facing a public right-of-way;
4. Public right-of-way, underground, under sidewalks with a minimum width of 12 feet, avoiding effects on streetscape elements, such as street trees; and based on Better Streets Plan guidelines;
5. Public right-of-way, underground; and based on Better Streets Plan guidelines;
6. Public right-of-way, above ground, screened from view; and based on Better Streets Plan guidelines;
7. On-site, in a ground floor façade (the least desirable location).

Unless otherwise specified by the Planning Department, Department of Public Work's Bureau of Street Use and Mapping (DPW BSM) should use this preference schedule for all new transformer vault installation requests.

*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-5810, <http://sfdpw.org>*

**Street Trees.** Pursuant to Planning Code Section 138.1 (formerly 143), the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that street trees, at a ratio of one street tree of an approved species for every 20 feet of street frontage along public or private streets bounding the Project, with any remaining fraction of 10 feet or more of frontage requiring an extra tree, shall be provided. The street trees shall be evenly spaced along the street frontage except where proposed driveways or other street obstructions do not permit. The exact location, size and species of tree shall be as approved by the Department of Public Works (DPW). In

any case in which DPW cannot grant approval for installation of a tree in the public right-of-way, on the basis of inadequate sidewalk width, interference with utilities or other reasons regarding the public welfare, and where installation of such tree on the lot itself is also impractical, the requirements of this Section 428 may be modified or waived by the Zoning Administrator to the extent necessary.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

## PARKING AND TRAFFIC

**Car Share.** Pursuant to Commission approval of a PUD modification to the car-share requirements of Planning Code Section 166, the Project shall provide no fewer than one on-street car share space that shall be made available, at no cost, to a certified car share organization for the purposes of providing car share services for its service subscribers.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

**Bicycle Parking.** Pursuant to Planning Code Sections 155.1, 155.4, and 155.5, the Project shall provide no fewer than 79 bicycle parking spaces (69 Class 1 spaces for the office portion of the Project and 10 Class 2 spaces for the PDR portion of the Project).

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

**Showers and Clothes Lockers.** Pursuant to Planning Code Section 155.3, the Project shall provide no fewer than four showers and 24 clothes lockers.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org).*

**Parking Maximum.** Pursuant to Planning Code Section 151.1, the Project shall provide no more than 285 off-street parking spaces.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

**Off-Street Loading.** Pursuant to Commission approval of a PUD modification to the off-street loading requirements of Planning Code Section 152, the Project shall provide five on-street loading spaces and one on-site space measuring 9'-0" wide x 35'-0" length x 14'-0" tall.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

**Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*



## PROVISIONS

**First Source Hiring.** The Project shall adhere to the requirements of the First Source Hiring Construction and End-Use Employment Program approved by the First Source Hiring Administrator, pursuant to Section 83.4(m) of the Administrative Code. The Project Sponsor shall comply with the requirements of this Program regarding construction work and on-going employment required for the Project.

*For information about compliance, contact the First Source Hiring Manager at 415-581-2335, [www.onestopSF.org](http://www.onestopSF.org)*

**Transit Impact Development Fee.** Pursuant to Planning Code Section 411, the Project Sponsor shall pay the Transit Impact Development Fee (TIDF) as required by and based on drawings submitted with the Building Permit Application. Prior to the issuance of a temporary certificate of occupancy, the Project Sponsor shall provide the Planning Director with certification that the fee has been paid.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

**Jobs Housing Linkage.** Pursuant to Planning Code Section 413, the Project Sponsor shall contribute to the Jobs-Housing Linkage Program (JHLP). The calculation shall be based on the net addition of gross square feet of each type of space to be constructed as set forth in the permit plans. The Project Sponsor shall provide evidence that this requirement has been satisfied to the Planning Department prior to the issuance of the first site or building permit by the Department of Building Inspection.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

**Childcare Requirements for Office and Hotel Development Projects.** Pursuant to Section 414, the Project Sponsor shall pay the in-lieu fee as required. The net addition of gross floor area subject to the fee shall be determined based on drawings submitted with the Building Permit Application.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

**Eastern Neighborhoods Infrastructure Impact Fee.** Pursuant to Planning Code Section 423, the Project Sponsor shall comply with the Eastern Neighborhoods Public Benefit Fund provisions through payment of an Impact Fee pursuant to Article 4.

*For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org)*

## MONITORING - AFTER ENTITLEMENT

**Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of the Planning Code applicable to this Project, including but not limited to Section 219.1, shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction. No lot shall be subject to an enforcement action or considered in violation of the Planning Code or these conditions of approval due to violations, including a failure to maintain the minimum required amount of PDR space, on a separate lot. Enforcement and abatement actions for any

violations shall be limited to the responsible party for the violation and to the lot or lots where such violation occurs.

**Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

## OPERATION

**Garbage, Recycling, and Composting Receptacles.** Garbage, recycling, and compost containers shall be kept within the premises and hidden from public view, and placed outside only when being serviced by the disposal company. Trash shall be contained and disposed of pursuant to garbage and recycling receptacles guidelines set forth by the Department of Public Works.

*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works at 415-554-.5810, <http://sfdpw.org>*

**Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

*For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>*

**Community Liaison.** Prior to issuance of a building permit to construct the project and implement the approved use, the Project Sponsor shall appoint a community liaison officer to deal with the issues of concern to owners and occupants of nearby properties. The Project Sponsor shall provide the Zoning Administrator with written notice of the name, business address, and telephone number of the community liaison. Should the contact information change, the Zoning Administrator shall be made aware of such change. The community liaison shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.

*For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org)*

**EXHIBIT C:**  
**ATTACHMENT A: MITIGATION MONITORING AND REPORTING PROGRAM**

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule

**MITIGATION MEASURES AGREED TO BY PROJECT SPONSOR**

*Cultural Resources*

<p><b>Project Mitigation Measure M-CR-1 – Archeological Resources (Eastern Neighborhoods Programmatic Environmental Impact Report (PEIR) Mitigation Measure J-2).</b> The following mitigation measure is required to avoid any potential adverse effect from the proposed project on accidentally discovered buried or submerged historical resources as defined in <i>CEQA Guidelines</i> Section 15064.5(a)(c). The project sponsor shall distribute the Planning Department archeological resource “ALERT” sheet to the project prime contractor; to any project subcontractor (including demolition, excavation, grading, foundation, pile driving, etc. firms); or utilities firm involved in soils disturbing activities within the project site. Prior to any soils disturbing activities being undertaken each contractor is responsible for ensuring that the “ALERT” sheet is circulated to all field personnel including, machine operators, field crew, pile drivers, supervisory personnel, etc. The project sponsor shall provide the Environmental Review Officer (ERO) with a signed affidavit from the responsible parties (prime contractor, subcontractor(s), and utilities firm) to the ERO confirming that all field personnel have received copies of the Alert Sheet.</p>	<p>Project sponsor and contractor; Planning Department archeologist or qualified archeological consultant; Environmental Review Officer (ERO)</p>	<p>Prior to issuance of any permit for soil-disturbing activities</p>	<p>Circulation of ALERT sheet; suspension of soils-disturbing activities; retention of qualified archaeologist</p>	<p>Archeologist; ERO</p>	<p>Ongoing during construction; considered complete after soils-disturbing activities have ended</p>
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Should any indication of an archeological resource be

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/ Reporting Responsibility	Monitoring Schedule

encountered during any soils disturbing activity of the project, the project Head Foreman and/or project sponsor shall immediately notify the ERO and shall immediately suspend any soils disturbing activities in the vicinity of the discovery until the ERO has determined what additional measures should be undertaken.

If the ERO determines that an archeological resource may be present within the project site, the project sponsor shall retain the services of an archaeological consultant from the pool of qualified archaeological consultants maintained by the Planning Department archaeologist. The archeological consultant shall advise the ERO as to whether the discovery is an archeological resource, retains sufficient integrity, and is of potential scientific/historical/cultural significance. If an archeological resource is present, the archeological consultant shall identify and evaluate the archeological resource. The archeological consultant shall make a recommendation as to what action, if any, is warranted. Based on this information, the ERO may require, if warranted, specific additional measures to be implemented by the project sponsor.

Measures might include: preservation in situ of the archeological resource; an archaeological monitoring program; or an archeological testing program. If an archeological monitoring program or archeological testing program is required, it shall be consistent with the Environmental Planning (EP) division guidelines for such programs. The ERO may also require that the project

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/ Reporting Responsibility	Monitoring Schedule

sponsor immediately implement a site security program if the archeological resource is at risk from vandalism, looting, or other damaging actions.

The project archeological consultant shall submit a Final Archeological Resources Report (FARR) to the ERO that evaluates the historical significance of any discovered archeological resource and describing the archeological and historical research methods employed in the archeological monitoring/data recovery program(s) undertaken. Information that may put at risk any archeological resource shall be provided in a separate removable insert within the final report.

Copies of the Draft FARR shall be sent to the ERO for review and approval. Once approved by the ERO, copies of the FARR shall be distributed as follows: California Archaeological Site Survey Northwest Information Center (NWIC) shall receive one (1) copy and the ERO shall receive a copy of the transmittal of the FARR to the NWIC. The Environmental Planning division of the Planning Department shall receive one bound copy, one unbound copy and one unlocked, searchable PDF copy on CD three copies of the FARR along with copies of any formal site recordation forms (CA DPR 523 series) and/or documentation for nomination to the National Register of Historic Places/California Register of Historical Resources. In instances of high public interest or interpretive value, the ERO may require a different final report content, format, and distribution than that presented above.

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
<i>Noise</i>					
<b>Project Mitigation Measure M-NO-1 – Construction Noise (PEIR Mitigation Measure F-1).</b> Because California College of the Arts is a sensitive noise receptor only while school is in session, and because no other sensitive receptors are within 500 feet of the project site, this mitigation measures applies only when school is in session. The project sponsor shall ensure that torque-driven piles be used to reduce construction-related noise and vibration. No impact pile drivers shall be used unless absolutely necessary. Contractors would be required to use pile-driving equipment with state-of-the-art noise shielding and muffling devices. To reduce noise and vibration impacts, sonic or vibratory sheetpile drivers, rather than impact drivers, shall be used wherever sheetpiles are needed. The project sponsor shall also require that contractors schedule pile-driving activity for times of the day that would minimize disturbance to neighbors.	Project sponsor and contractor	During subsurface construction.	Project contractor to predrill holes for pile driving, use noise shielding and muffling devices during pile driving, and schedule pile driving activity consistent with the Noise Ordinance.	Departments of Building Inspection and Public Works to monitor project contractor compliance.	Considered complete after construction activities have ended.
<b>Project Mitigation Measure M-NO-2 – Construction Noise (PEIR Mitigation Measure F-2).</b> Because California College of the Arts is a sensitive noise receptor only while school is in session, and because no other sensitive receptors are within 500 feet of the project site, this mitigation measures applies only when school is in session. The project sponsor shall develop a set of site-specific noise attenuation measures under the supervision of a qualified acoustical consultant. Prior to commencing construction, a plan for	Project sponsor and contractor; qualified acoustical consultant	Prior to issuance of first permit	Preparation and submittal of set of site-specific noise attenuation mitigation measures.	Departments of Building Inspection and Public Works to monitor project contractor compliance.	Considered complete after construction activities have ended.

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/ Reporting Responsibility	Monitoring Schedule
<p>such measures shall be submitted to the Department of Building Inspection to ensure that maximum feasible noise attenuation will be achieved. These attenuation measures shall include as many of the following control strategies as feasible:</p> <ul style="list-style-type: none"> <li>• Utilize noise control blankets on a building structure as the building is erected to reduce noise emission from the site</li> <li>• Evaluate the feasibility of noise control at the receivers by temporarily improving the noise reduction capability of adjacent buildings housing sensitive uses</li> <li>• Monitor the effectiveness of noise attenuation measures by taking noise measurements</li> <li>• Post signs on site pertaining to permitted construction days and hours and complaint procedures and who to notify in the event of problem, with telephone numbers listed</li> </ul>					
<b>Project Mitigation Measure M-NO-3 – Siting of Noise-Generating Uses (PEIR Mitigation Measure F-5).</b> The project sponsor shall ensure that noise-reduction measures are incorporated into the project design's proposed noise sources to ensure that interior noise standards for the proposed residential unit, as a result of these noise sources, do not exceed 45 dBA during nighttime hours or 55 dBA during daytime hours. Noise-reduction measures shall be incorporated into building plans and approved by the	Project sponsor	Prior to issuance of first permit	Approval of project plans	Environmental Planning	Considered complete upon approval of building plans

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
Department of Building Inspection prior to the beginning of construction.					
<b>Project Mitigation Measure M-NO-4 – Siting of Noise-Sensitive Uses (PEIR Mitigation Measure F-4).</b> The project sponsor shall ensure that additional noise-reduction measures to reduce interior noise from exterior sources to 45 dBA are included in the design of the residential unit and are provided as part of the building plans and approved by the Department of Building Inspection prior to the beginning of construction.	Project sponsor	Prior to issuance of first permit	Approval of project plans	Environmental Planning	Considered complete upon approval of building plans
<b>Project Mitigation Measure M-AQ-1 – Construction NO<sub>x</sub> Emissions Minimization (PEIR Mitigation Measure G-1).</b> To control NO <sub>x</sub> emissions during construction, the project sponsor and contractors shall adhere to the following:	Project sponsor and contractor	Prior to issuance of first permit	Completion and approval of Construction Emissions Minimization Plan	ERO; Environmental Planning Air Quality Specialist	Considered complete upon approval of Construction Emissions Minimization Plan
<p>A. <i>Construction NO<sub>x</sub> Emissions Minimization Plan.</i> Prior to issuance of a construction permit, the project sponsor shall submit a Construction Emissions Minimization Plan (Plan) to the Environmental Review Officer (ERO) for review and approval by an Environmental Planning Air Quality Specialist. The Plan shall detail project compliance with the following requirements:</p> <ol style="list-style-type: none"> <li>1. All off-road equipment greater than 50 horsepower used during the demolition and grading phases shall be equipped with an EPA Tier 4 interim rated engine or fitted with after-market emission control devices such that</li> </ol>					



Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/ Reporting Responsibility	Monitoring Schedule
emissions of NO <sub>x</sub> are equal or less than anticipated from an EPA Tier 4 interim rated engine.					
2. The project sponsor shall require the idling time for off-road and on-road equipment be limited to no more than <i>two</i> minutes, except as provided in exceptions to the applicable state regulations regarding idling for off-road and on-road equipment. Legible and visible signs shall be posted in multiple languages (English, Spanish, Chinese) in designated queuing areas and at the construction site to remind operators of the two-minute idling limit.					
3. The project sponsor shall require that construction operators properly maintain and tune equipment in accordance with manufacturer specifications.					
4. The Plan shall include estimates of the construction timeline by phase with a description of each piece of off-road equipment required for every construction phase. Off-road equipment descriptions and information may include, but is not limited to: equipment type, equipment manufacturer, equipment identification number, engine model year, engine certification (Tier rating), horsepower, engine serial number, and expected fuel usage and hours of operation. For VDECS installed:					

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/ Reporting Responsibility	Monitoring Schedule
<p>technology type, serial number, make, model, manufacturer, ARB verification number level, and installation date and hour meter reading on installation date. For off-road equipment using alternative fuels, reporting shall indicate the type of alternative fuel being used.</p> <p>5. The Plan shall be kept on site and available for review by any persons requesting it and a legible sign shall be posted at the perimeter of the construction site indicating to the public the basic requirements of the Plan and a way to request a copy of the Plan. The project sponsor shall provide copies of Plan to members of the public as requested.</p> <p>B. <i>Reporting.</i> Quarterly reports shall be submitted to the ERO indicating the construction phase and off-road equipment information used during each phase including the information required in A(4). In addition, for off-road equipment using alternative fuels, reporting shall include the actual amount of alternative fuel used.</p> <p>Within six months of the completion of construction activities, the project sponsor shall submit to the ERO a final report summarizing construction activities. The final report shall indicate the start and end dates and duration of each construction phase. For each phase, the report shall include detailed information required in A(4). In addition,</p>					

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/ Reporting Responsibility	Monitoring Schedule
for off-road equipment using alternative fuels, reporting shall include the actual amount of alternative fuel used.					
C. Certification Statement and On-Site Requirements. Prior to the commencement of construction activities, the project sponsor must certify (1) compliance with the Plan, and (2) all applicable requirements of the Plan have been incorporated into contract specifications.					

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**EXHIBIT C:  
ATTACHMENT B: PROJECT IMPROVEMENT MEASURES**

Improvement Measures	Responsibility for Implementation	Improvement Schedule	Improvement Action
<p><b>Project Improvement Measure I-TR-1 – Commercial Transportation Demand Management Program.</b> Per Section 163 of the Planning Code, the project sponsor should implement Transportation Demand Management (TDM) measures to reduce traffic generated by the proposed project and to encourage the use of rideshare, transit, bicycle, and walk modes for trips to and from the proposed project. In addition, prior to issuance of a temporary permit of building occupancy, the project sponsor should execute an agreement with the Planning Department for the provision of TDM services. Recommended components of the TDM program include the following:</p> <ul style="list-style-type: none"> <li>• Provide information in the commercial space lease agreements and common-area bulletin boards for transit service (Muni, Caltrain, and BART lines, schedules, and fares), information on where transit passes could be purchased, and information on the 511 Regional Rideshare Program;</li> <li>• Provide TDM training for the property manager and a designated TDM Coordinator;</li> <li>• Promote and coordinate ridesharing activities (i.e., establish a “ride board”) for all employees;</li> <li>• Facilitate access to car-share space provided on Channel Street through on-site signage;</li> <li>• Ensure that the points of access to Class 1 bicycle parking in the paseo include signage indicating the location of these facilities;</li> <li>• Ensure that bicycle safety strategies are developed along the sides of the property, avoiding conflicts with private cars, Mission Bay</li> </ul>	Project sponsor	Prior to issuance of a temporary permit of building occupancy	Implement Transportation Demand Management (TDM); execute an agreement with the Planning Department for the provision of TDM services

Improvement Measures	Responsibility for Implementation	Improvement Schedule	Improvement Action
<p>shuttles, and loading vehicles;</p> <ul style="list-style-type: none"> <li>• Provide TDM training to facilitate access to the Seventh Street bicycle route (Route 23) and other nearby routes (Route 36 on Townsend Street and Route 40 on 16<sup>th</sup> Street) via on-site signage;</li> <li>• Participate with other project sponsors in a network of transportation brokerage services;</li> <li>• Provide free or subsidized bikeshare membership to building tenants and employees;</li> <li>• Provide free or subsidized carshare membership to building tenants and employees;</li> <li>• Consider providing Clipper cards (with monthly Muni FastPass values loaded on) to building tenants and employees; and</li> <li>• Consider coordinating with Showplace Square or Mission Bay properties in the sharing of existing local shuttle services.</li> </ul>			
<p><b>Project Improvement Measure I-TR-2 – Queue Abatement Condition of Approval.</b> It should be the responsibility of the owner/operator of any off-street parking facility with more than 20 parking spaces (excluding loading and car-share spaces) to ensure that recurring vehicle queues do not occur on the public right-of-way. A vehicle queue is defined as one or more vehicles (destined to the parking facility) blocking any portion of any public street, alley, or sidewalk for a consecutive period of three minutes or longer on a daily or weekly basis.</p> <p>If a recurring queue occurs, the owner/operator of the parking facility should employ abatement methods as needed to abate the queue. Appropriate abatement methods will vary depending on the characteristics and causes of the recurring queue, as well as the characteristics of the parking facility, the</p>	Project sponsor/ owner/operator	Ongoing during construction and operation	Abatement methods for recurring vehicle queues

Improvement Measures	Responsibility for Implementation	Improvement Schedule	Improvement Action
street(s) to which the facility connects, and the associated land uses (if applicable).			
<p>Suggested abatement methods include, but are not limited to, the following: redesign of facility to improve vehicle circulation and/or on-site queue capacity; employment of parking attendants; installation of LOT FULL signs with active management by parking attendants; use of valet parking or other space-efficient parking techniques; use of off-site parking facilities or shared parking with nearby uses; use of parking occupancy sensors and signage directing drivers to available spaces; travel demand management strategies such as additional bicycle parking, customer shuttles, delivery services; and/or parking demand management strategies such as parking time limits, paid parking, time-of-day parking surcharge, or validated parking.</p> <p>If the Planning Director, or his or her designee, suspects that a recurring queue is present, the Department should notify the property owner in writing. Upon request, the owner/operator should hire a qualified transportation consultant to evaluate the conditions at the site for no less than seven days. The consultant should prepare a monitoring report to be submitted to the Department for review. If the Department determines that a recurring queue does exist, the facility owner/operator should have 90 days from the date of the written determination to abate the queue.</p>			
<p><b>Project Improvement Measure I-TR-3 – Participation Agreement.</b> The project sponsor should execute a Participation Agreement in the Mission Bay Transportation Management Association (TMA) as a condition of approval.</p>	Project sponsor	Upon completion/ occupancy	Execute a Participation Agreement in the Mission Bay TMA

Improvement Measures	Responsibility for Implementation	Improvement Schedule	Improvement Action
<p><b>Project Improvement Measure I-TR-4 – Provision of Access to First Responders.</b> If the secure access gates at the entrance to the breezeway on Hooper and Channel Streets cannot be opened by first responders, upon installation of the gates, the project sponsor should ensure access to first responders at all times. Additionally, if the bollards on Hooper Street near the POPOS cannot be unlocked and lowered by first responders, upon installation of the bollards, the project sponsor should provide access to first responders at all times.</p>	Project sponsor	Upon installation of the secure access gates and bollards	Ensure access to first responders at all times
<p><b>Project Improvement Measure I-TR-5 – Construction Management.</b> The project sponsor and construction contractor(s) should meet with the Traffic Engineering Division of the Department of Parking and Traffic (DPT), the Fire Department, Muni, and the Planning Department to determine feasible measures to reduce traffic congestion, including potential transit and pedestrian circulation disruption during construction of the proposed project. The temporary parking demand by construction workers would need to be met on site, on street, or within other off-street parking facilities. Construction workers should be encouraged to take transit, carpool, walk, or bike to the project site. Other measures should include sending construction schedule updates to adjacent businesses or residents; development and implementation of construction truck management to minimize the overall number of truck trips to and from the site; avoiding truck trips during peak hours; and coordination with any nearby construction sites to minimize overlapping peaks in construction trucks or other construction-related traffic.</p>	Project sponsor and contractor	Ongoing during construction	Determine feasible measures to reduce traffic congestion
<p><b>Project Improvement Measure I-TR-6 – Coordinate Car-Share Spaces.</b> The project sponsor should meet with SFMTA and car-share organizations to identify and approve two car-share spaces either on site or within 800 feet of the building site per Planning Code Section 166.</p>	Project sponsor	Upon completion/occupancy	Execute a carshare agreement for two carshare spaces





# SAN FRANCISCO PLANNING DEPARTMENT

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*Subject to: (Select only if applicable)*

- |   |  |
|---|--|
| <input type="checkbox"/> Affordable Housing (Sec. 415)                      | <input checked="" type="checkbox"/> Child Care Requirement (Sec. 414)                    |
| <input checked="" type="checkbox"/> Jobs Housing Linkage Program (Sec. 413) | <input checked="" type="checkbox"/> Other (TIDF- Sec. 411)                               |
| <input type="checkbox"/> Downtown Park Fee (Sec. 412)                       | <input checked="" type="checkbox"/> Other (Eastern Neighborhoods – Sec. 423)             |
| <input checked="" type="checkbox"/> First Source Hiring (Admin. Code)       | <input checked="" type="checkbox"/> Other (School Impact Fee – State Ed. Code Sec 17620) |

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## Planning Commission Draft Motion

HEARING DATE: JANUARY 22, 2015

*Date:* January 15, 2015  
*Case No.:* **2012.0203 BC**  
*Project Address:* **100 HOOPER STREET**  
*Zoning:* PDR-1-D (Production, Distribution and Repair – Design) District  
58-X Height and Bulk District  
*Block/Lot:* 3808/003  
*Project Sponsor:* UrbanGreen Devco LLC  
Attn: Daniel Murphy  
P.O. Box 1578  
Pacifica, CA 94044  
*Staff Contact:* Chris Townes – (415) 575-9195  
[chris.townes@sfgov.org](mailto:chris.townes@sfgov.org)

**ADOPTING FINDINGS RELATING TO THE APPROVAL OF AN ALLOCATION OF OFFICE SQUARE FOOTAGE UNDER THE 2014-2015 ANNUAL OFFICE DEVELOPMENT LIMITATION PROGRAM PURSUANT TO PLANNING CODE SECTION 321 THAT WOULD AUTHORIZE THE NEW CONSTRUCTION OF 284,471 GROSS SQUARE FEET OF OFFICE/INSTITUTIONAL USE FOR A PROPOSED PROJECT LOCATED AT 100 HOOPER STREET, LOT 003 IN ASSESSOR'S BLOCK 3808, WITHIN THE PDR-1-D (PRODUCTION, DISTRIBUTION AND REPAIR - DESIGN) DISTRICT AND A 58-X HEIGHT AND BULK DISTRICT, AND ADOPTING FINDINGS UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.**

### PREAMBLE

On March 27, 2014 UrbanGreen Devco LLC (attn.: Daniel Murphy) (hereinafter "Project Sponsor") filed an application with the Planning Department (hereinafter "Department") for a Conditional Use Authorization, Planned Unit Development (PUD), and Office Allocation pursuant to Planning Code Section 219.1(e)(1), 303, 304, and 321 to allow the replacement of an existing mini-storage facility with truck rental services with a new 427,255 sf production, distribution, repair (PDR) and office development project composed of three, 4-story buildings (including a "Workshop Building", a "North Building", and

a “South Building”). The project proposes a total of 284,471 square feet of new office space and 142,784 sf of PDR space within the PDR-1-D (Production, Distribution and Repair – Design) District and a 58-X Height and Bulk District.

The environmental effects of the Project were determined by the San Francisco Planning Department to have been fully reviewed under the Eastern Neighborhoods Area Plan Environmental Impact Report (hereinafter “EIR”). The EIR was prepared, circulated for public review and comment, and, at a public hearing on August 7, 2008, by Motion No. 17661, certified by the Commission as complying with the California Environmental Quality Act (Cal. Pub. Res. Code Section 21000 et seq., (hereinafter “CEQA”). The Commission has reviewed the Final EIR, which has been available for this Commission’s review as well as public review.

The Eastern Neighborhoods EIR is a Program EIR. Pursuant to CEQA Guideline 15168(c)(2), if the lead agency finds that no new effects could occur or no new mitigation measures would be required of a proposed project, the agency may approve the project as being within the scope of the project covered by the program EIR, and no additional or new environmental review is required. In approving the Eastern Neighborhoods Plan, the Commission adopted CEQA Findings in its Motion No. 17661 and hereby incorporates such Findings by reference.

Additionally, State CEQA Guidelines Section 15183 provides a streamlined environmental review for projects that are consistent with the development density established by existing zoning, community plan, or general plan policies for which an EIR was certified, except as might be necessary to examine whether there are project-specific effects which are peculiar to the project or its site. Section 15183 specifies that examination of environmental effects shall be limited to those effects that (a) are peculiar to the project or parcel on which the project would be located, (b) were not analyzed as significant effects in a prior EIR on the zoning action, general plan or community plan with which the project is consistent, (c) are potentially significant off-site and cumulative impacts which were not discussed in the underlying EIR, or (d) are previously identified in the EIR, but which are determined to have a more severe adverse impact than that discussed in the underlying EIR. Section 15183(c) specifies that if an impact is not peculiar to the parcel or to the proposed project, then an EIR need not be prepared for that project solely on the basis of that impact.

On January 6, 2015, the Department determined that the proposed application did not require further environmental review under Section 15183 of the CEQA Guidelines and Public Resources Code Section 21083.3. The Project is consistent with the adopted zoning controls in the Eastern Neighborhoods Area Plan and was encompassed within the analysis contained in the Eastern Neighborhoods Final EIR. Since the Eastern Neighborhoods Final EIR was finalized, there have been no substantial changes to the Eastern Neighborhoods Area Plan and no substantial changes in circumstances that would require major revisions to the Final EIR due to the involvement of new significant environmental effects or an increase in the severity of previously identified significant impacts, and there is no new information of substantial importance that would change the conclusions set forth in the Final EIR. The file for this project, including the Eastern Neighborhoods Final EIR and the Community Plan Exemption certificate, is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, San Francisco, California.

Planning Department staff prepared a Mitigation Monitoring and Reporting Program (MMRP) setting forth mitigation measures that were identified in the Eastern Neighborhoods Plan EIR that are applicable to the project. These mitigation measures are set forth in their entirety in the MMRP attached to the draft Motion as Exhibit C.

On January 22, 2015, the San Francisco Planning Commission (hereinafter "Commission") adopted **Motion No. XXXXX**, approving a Conditional Use Authorization for the Proposed Project (Conditional Use Application No. 2012.0203 C). Findings contained within said motion are incorporated herein by this reference thereto as if fully set forth in this Motion.

On January 22, 2015, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Office Allocation Application No. 2012.0203 B.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Office Development Authorization requested in Application No. 2012.0203 B, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

## FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project site is located in the northeastern portion of San Francisco, within the Showplace Square/Potrero Hill Plan Area. The rectangular-shaped property is on the block bounded by Channel, Carolina, Eighth, Hooper, and Seventh Streets adjacent to Mission Bay, Showplace Square, and the San Francisco campus of the California College of the Arts (CCA). The site has 596 linear feet of street frontage along Channel Street (currently an unimproved right-of-way closed to the public to become an improved publically-accessible right-of-way), 240 linear feet of street frontage along Seventh Street, and 596 linear feet of frontage along Hooper Street. The site is approximately 3.3 acres (143,000 sf), fully paved, and contains no permanent structures. San Francisco Mini Storage occupies the site with portable cargo shipping containers that are leased for household storage, in addition to offering truck rental services with approximately 30 trucks. The existing use provides approximately 86,500 sf of storage space.
3. **Surrounding Properties and Neighborhood.** The project site is in the PDR-1-D (Production, Distribution, and Repair – Design) zoning district. Other zoning districts in the vicinity of the project site include: PDR-1-D (Production, Distribution, and Repair – Design) to the north, west and south, PDR-1-G (Production, Distribution and Repair – General) to the north and south, UMU (Urban Mixed Use) to the north and south, and MB-RA (Mission Bay Redevelopment Area) to the east. The streets and sidewalks adjacent to the site are largely unimproved, with the exception of the Seventh Street frontage and vehicular and pedestrian signalization at Mission Bay Drive and Seventh Street, just northeast of the project site. Hooper Street has no sidewalks

and Channel Street is wholly unimproved. The California College of the Arts (“CCA”) campus abuts the project site to the west with additional campus area across Hooper Street.

The epicenter of the Showplace Square furniture and interior design commercial district is located approximately a ¼ mile to the north and the center of Mission Bay is located approximately a ½ mile to the east, just east of Highway 280 (whose elevated roadway is east of the project site running in a north-south direction).

4. **Project Description.** The Project Sponsor proposes to replace the property’s existing mini-storage with truck rental use with three new four-story buildings, up to 58 feet in height. These new buildings consist of a stand-alone, 100% “PDR Building” that includes 56,402 sf of PDR space and two rectangular-shaped buildings (the “North Building” and “South Building”) that will contain approximately 86,382 sf of high-ceiling mezzanine PDR space at the ground floor and approximately 284,471 sf of office/institutional space on the upper floors. The project may also offer shared retail space accessory to the site’s PDR uses. It will also include approximately 41,600 sf of open space, consisting of, 1) a 40-foot wide interior linear courtyard that will provide loading access, natural light and air to the interior, 2) an approximately 10,000 sf privately-owned, publically-accessible open space (the “POPOS Plaza”) on the property’s southwestern corner, adjacent to the adjoining California College of the Arts (CCA) campus. The Project Sponsor has partnered with CCA and SFMade, a non-profit organization focused on building San Francisco’s economic base by developing the local manufacturing sector, on the project’s design and implementation, including preparation of a PDR Business Plan (the “Business Plan”). The Business Plan outlines strategies for providing a flexible PDR space typology mix, designing office spaces attractive to design-related technology and engineering firms, engaging strategic partners at all phases of development and in on-going operations, and focusing on access and pathways to deliver PDR jobs to the community.

5. **Public Comment.**

To date, the Planning Department has received the following public comments regarding the project:

- A letter from the *Dogpatch Neighborhood Association (DNA)* in general support of the project dated November 6, 2014. DNA cited support for the PDR uses and their integration into the area, the architectural design, and open space component.
- Two letters in general support of the project from the *California College of the Arts (CCA)* Director of Campus Planning dated January 30, 2013 and March 20, 2014, whose campus is located immediately adjacent to the subject site. The CCA Director expressed support for the mixed-use nature of the project, for the vibrancy to the neighborhood this project would bring, and for the synergy the project would promote with the existing and potential future enhancements to the CCA campus itself.
- A letter from *SPUR* (a civic-planning non-profit organization) dated May 7, 2013, in support of the project’s proposed land use, scale, open space, public realm, and sustainable building

design objectives (LEED Gold Certification). *SPUR* also cited support for a zoning overlay to allow for the mixed-use nature of the project which it deems to be consistent with the Showplace Square/Potrero Hill Area Plan objectives.

- A letter from the *Potrero Boosters Neighborhood Association* dated April 23, 2012, in support of mixed-use commercial development at the subject site (not the project in particular) and in support of a zoning overlay that would allow for flexible commercial development to support the light-industrial base of Showplace Square and its economy.
  - A letter in general support, dated March 30, 2012, sent to District 10 Supervisor Malia Cohen from the *Potrero Dogpatch Merchants Association (PDMA)*. In this letter, Mr. Keith Goldstein cites *PDMA's* support for the project's derived inspiration from the American Industrial Center, the variety of tenant space sizes, and the "incubator nature" of the project which will better support a wide variety of small businesses.
6. **Office Development Authorization.** Planning Code Section 321 establishes standards for San Francisco's Office Development Annual Limit. In determining if the proposed Project would promote the public welfare, convenience and necessity, the Commission considered the seven criteria established by Code Section 321(b)(3), and finds as follows:

I. APPORTIONMENT OF OFFICE SPACE OVER THE COURSE OF THE APPROVAL PERIOD IN ORDER TO MAINTAIN A BALANCE BETWEEN ECONOMIC GROWTH ON THE ONE HAND, AND HOUSING, TRANSPORTATION AND PUBLIC SERVICES, ON THE OTHER.

*Currently, there is 2,887,328 gross square feet of available "Large Cap" office space in San Francisco. The Project will create approximately 284,471 gross square feet of office and/or institutional space and 142,784 gross square feet of PDR space. By clustering office space with both start-up and more established PDR users, the Project will draw more businesses into the neighborhood, thereby encouraging economic growth in multiple industries. The Project will benefit San Francisco's housing supply by contributing to the development of affordable housing pursuant to the Jobs-Housing Linkage Program. The Project will not impede MUNI transit service or overburden streets and neighborhood parking. It will provide 183 bicycle spaces, 86 off-street parking spaces, and two car-share parking spaces. The Property is well-served by public transportation, located within two blocks of the 10, 19, and 22 MUNI bus lines, and within a half-mile of the MUNI "T" line in Mission Bay and is also proximate to the Caltrain station at 4th & King Streets. The Project will maintain equilibrium between economic growth and housing, transportation and public services.*

II. THE CONTRIBUTION OF THE OFFICE DEVELOPMENT TO, AND ITS EFFECTS ON, THE OBJECTIVES AND POLICIES OF THE GENERAL PLAN.

*The proposed project is consistent with the General Plan, as outlined in Section 8 below.*

III. THE QUALITY OF THE DESIGN OF THE PROPOSED OFFICE DEVELOPMENT.

*The Project is designed to link the longstanding design and PDR uses in the Showplace Square neighborhood to the emerging knowledge sector businesses growing in and around Mission Bay, as well as offer a variety of unit types meant to appeal to a wide range of users and businesses. The North and South Buildings' upper stories are designed with large floorplates attractive to "knowledge sector" and related businesses. These buildings will also include 86,380 square feet of PDR spaces with mezzanines that can accommodate growing and already established PDR companies, and are designed to be easily customizable by each user. To encourage collaboration between PDR users and "knowledge industry" office users, these buildings will be linked by pedestrian bridges at the second, third and fourth floors. The 100% PDR Workshop Building will feature high ceilings on the first two floors, moderately high ceilings on the top two floors, and a heavy duty freight/service elevator. The ground floor will offer either shared common and accessory areas or traditional rentable PDR spaces featuring roll-up doors opening directly onto the building's exterior.*

*Architecturally, the project design is well-composed and utilizes quality materials, colors and finishes (as detailed in the project plans) that reference the light-industrial character of the area and promote architectural compatibility with the surrounding context.*

#### IV. THE SUITABILITY OF THE PROPOSED OFFICE DEVELOPMENT FOR ITS LOCATION, AND ANY EFFECTS OF THE PROPOSED OFFICE DEVELOPMENT SPECIFIC TO THAT LOCATION.

- a) Use. *The proposed project is located within the PDR-1-D (Production, Distribution and Repair – Design) Zoning District, which permits office use subject to the approval of a Conditional Use Authorization on qualifying properties, so long as, at least 1/3 of the total gross floor area contains PDR uses pursuant to Planning Code Section 219.1 and 303. The purpose of Planning Code Section 219.1 is to support an increase in the overall stock of PDR space in the City by making such development economically viable through the utilization of the value of office/institutional space to subsidize the construction of PDR space on underutilized properties. The project proposes a total gross floor area composition of 66.58% office (284,471 sf) and 33.42% PDR (142,784 sf) thereby satisfying the key land use criteria established in Planning Code Section 219.1 and fulfilling its objectives.*

*The project site is well-served by a variety of public transportation options and within close proximity to the downtown San Francisco office core, as well as, other mixed-use and office/institutional development in the neighboring Mission Bay district to the east.*

- b) Transit Accessibility. *The project site is well served by a variety of public transit options. The project site is within approximately a half-mile of numerous MUNI bus routes, including the 8X- Bayshore Express, 8AX- Bayshore A Express, 8BX- Bayshore B Express, 10-Townsend, 14X- Mission Express, 19- Polk, 22-Fillmore. The site is also within a half-mile of the MUNI T-Third Street light-rail line and the Caltrain station located at 4<sup>th</sup>/King Street and the proposed Central Subway.*
- c) Open Space Accessibility. *The project provides approximately 41,600 sf of open space, consisting of a 40-foot wide interior linear courtyard that provides natural light and ventilation to the interior and an approximately 10,000 sf POPOS Plaza located on the property's southwestern corner adjacent to the adjoining CCA campus.*

- d) Urban Design. *The Planning Department supports the overall project massing, scale and architectural compatibility within the light-industrial urban context. By organizing the site with three separate 4-story, 58-foot tall buildings (including a "Workshop Building", a "North Building", and a "South Building") composed around shared open space and positioned in a manner that define the edges of the property while allowing for legible pedestrian connections through the site (in both a north-south and east-west direction), Staff believes the proposed mixed-use (PDR/office) project successfully achieves a PDR campus-like setting that is well integrated with the surrounding environment. Staff feels the project will activate the surrounding area in a manner that creates synergy with the abutting California College of the Arts campus and linkages to the Showplace Square furniture and interior design commercial district to the north and the Misison Bay Redevelopment Plan area to the east.*
- e) Seismic Safety. *The proposed project would be designed in conformance with current seismic and life safety codes as mandated by the Department of Building Inspection.*

V. THE ANTICIPATED USES OF THE PROPOSED OFFICE DEVELOPMENT IN LIGHT OF EMPLOYMENT OPPORTUNITIES TO BE PROVIDED, NEEDS OF EXISTING BUSINESSES, AND THE AVAILABLE SUPPLY OF SPACE SUITABLE FOR SUCH ANTICIPATED USES.

- a) Anticipated Employment Opportunities. *The Project includes a total of 284,471 gross square feet of office space. The Project Sponsor expects that the Project will generate approximately 1,100 to 2,000 office jobs. The Project Sponsor will collaborate with community workforce partners and provide on-site workforce support to both PDR and office tenants. The Project Sponsor will also maintain an on-line list of available job openings at tenant businesses and will organize on-site job information fairs, working with community partners to help educate individuals about the kinds of positions available at tenant businesses.*
- b) Needs of Existing Businesses. *A variety of large and small PDR and office tenants will occupy the project. The North and South Buildings, specifically, are designed to house both PDR and office space users and will be connected by pedestrian bridges on the second, third and fourth floors. In collaboration with SFMade, the Project Sponsor has developed a robust PDR Business Plan that carefully considers the operational characteristics of the various types of PDR uses the project will contain and organizes their placement within the development to ensure that the project, as a whole, promotes compatibility between the PDR and office tenants by mitigating impacts such as, noise, dust, loading, vibration, etc.*
- c) Availability of Space Suitable for Anticipated Uses. *Demand for new office space has increased rapidly in the past few years. The inability of PDR users to finance new construction is well-documented (See Summary Report: PDR Economic Analysis, San Francisco Planning Department, dated December 2012). The project would be the first large-scale new construction of PDR space in years and is designed to accommodate a wide range of PDR and office users. The requested office allocation at the property will provide high quality office space within close proximity to public transit. The project will contribute toward meeting the demand for office space in San Francisco, and the anticipated office users will strengthen San Francisco's role as a business center.*

VI. THE EXTENT TO WHICH THE PROPOSED DEVELOPMENT WILL BE OWNED OR OCCUPIED BY A SINGLE ENTITY.

*A central component of the project is the control of the property by at least two separate entities: a non-profit that owns/controls the PDR Workshop Building and a for-profit company (or two companies) that owns/controls the mixed-use buildings. To ensure financial accessibility to entry-level PDR businesses, the PDR Workshop Building will be owned, operated or otherwise controlled by PlaceMade, or a similar mission-driven non-profit organization, which will manage the building as an incubator for start-up manufacturers and will provide on-site support services for PDR and other tenants. Designed with extensive input from SFMade, the PDR Workshop Building will accommodate a tenant mix comprised of emerging entrepreneurs and makers, artists, and other creatives, including recent graduates from CCA.*

*The North and South Buildings are flexibly designed to house multiple tenants, or a large single tenant that seeks a campus setting.*

VII. THE USE, IF ANY, OF TRANSFERABLE DEVELOPMENT RIGHTS ("TDR's") BY THE PROJECT SPONSOR.

*The Project does not include any Transfer of Development Rights.*

6. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:
7. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:
  - A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*The project does not displace any existing neighborhood-serving retail uses. The project will enhance future opportunities for resident employment in and ownership of retail businesses by offering shared accessory retail and showroom spaces to enable multiple PDR users to showcase products together for sale or demonstration.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*The property is currently occupied by a household storage and a truck rental use contained within non-permanent structures (cargo shipping containers and an office trailer); therefore, the project will not displace existing housing or negatively effect neighborhood character. The project is located in an area where new PDR uses are encouraged and where office uses are permitted with Conditional Use Authorization from the Planning Commission. The project will be compatible with the neighborhood, linking Showplace Square and the CCA to the knowledge sector businesses in Mission Bay.*



- C. That the City's supply of affordable housing be preserved and enhanced,

*The property is currently occupied by a household storage and a truck rental use; therefore, the project will not displace any existing housing. The project proposes 284,471 sf of office space and, is therefore, subject to the Jobs-Housing Linkage Program pursuant to Planning Code Section 413 which establishes an in-lieu fee to mitigate the impact that the proposed office development will have to the City's supply of affordable housing. It is estimated that the project will provide approximately \$6,835,838.13 to satisfy this requirement which supports the preservation of the City's supply of affordable housing.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*The project commuter traffic will not impede MUNI transit service or overburden streets and neighborhood parking. The proposed mixed-use PDR/office development project, containing 284,471 sf of office space, is located near downtown San Francisco and in close proximity to a variety of public transit options and bicycle and pedestrian access options. The project will provide 183 bicycle parking spaces and 86 off-street vehicular parking spaces. The project site is also located near three major freeways: I-280 to the east, U.S. 101 to the west, and I-80 to the north.*

*The project site is well served by a variety of public transit options. For example, it is within approximately a half-mile of numerous MUNI bus routes, including the 8X- Bayshore Express, 8AX- Bayshore A Express, 8BX- Bayshore B Express, 10-Townsend, 14X- Mission Express, 19- Polk, 22-Fillmore and within a half-mile of the MUNI T-Third Street light-rail line and the Caltrain station located at 4th/King Street. Within a quarter-mile, the site is served by the 10-Townsend, 22-Fillmore, and the 19-Polk MUNI bus routes. The project will also be served by the Mission Bay Shuttle, which runs on 10-15 minute intervals during commute hours and provides access to the Powell Street BART/MUNI Station, Caltrain, and MUNI T-Third light rail line. Lastly, 7th Street provides a bike route that connects directly to downtown San Francisco.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*By clustering a large-scale PDR project with office and/or institutional uses, the project will cross-subsidize the construction costs of new PDR space and make the construction of new PDR space possible in a site uniquely situated to capitalize on the collaboration possibilities between art, design, manufacturing, technology, and related users.*

*The project includes a total of 284,471 gross square feet of office space and a total of 142,784 gross square feet of PDR space. The Project Sponsor estimates that the project will generate approximately 1,100 to 2,000 office jobs and up to 450 PDR-related jobs that will create new employment opportunities for makers, artisans, and other creative users.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*The project will conform to the structural and seismic requirements of the San Francisco Building Code, thereby meeting this policy.*

- G. That landmarks and historic buildings be preserved.

*The project site does not contain any landmark and/or historic buildings.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*A preliminary shadow fan analysis conducted by staff indicates that the project will not impact any public parks or open spaces, with regard to access to sunlight and vistas. The project provides approximately 41,600 sf of open space (consisting of a 40-foot wide interior linear courtyard that provides natural light and ventilation to the interior and an approximately 10,000 sf POPOS Plaza located on the property's southwestern corner adjacent to the adjoining CCA campus) that will link Showplace Square to the open space in Mission Bay, including the San Francisco Bay Trail and waterfront.*

8. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
9. The Commission hereby finds that approval of the Office Development Authorization would promote the health, safety and welfare of the City.

## DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Office Development Application No. 2012.0203 B** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans on file, dated January 22, 2015, and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Section 321 Office-Space Allocation to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

**Protest of Fee or Exaction:** You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives **NOTICE** that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on January 22, 2015.

Jonas P. Ionin  
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: January 22, 2015

## EXHIBIT A

### AUTHORIZATION

This authorization is for an Office Development Authorization to allow 284,471 gross square feet of office space within development consisting of three, 4-story buildings (including an entirely PDR “Workshop Building”, a PDR/office “North Building”, and a PDR/office “South Building”) located at 100 Hooper Street, Lot 003 in Assessor’s Block 3808 pursuant to Planning Code Section(s) 321 within the PDR-1-D (Production, Distribution and Repair – Design) District and 58-X Height and Bulk District; in general conformance with plans, dated January 22, 2015, and stamped “EXHIBIT B” included in the docket for Case No. 2012.0203 B and subject to conditions of approval reviewed and approved by the Commission on January 22, 2015 under **Motion No XXXXXX**. This authorization and the conditions contained herein run with the property and not with a particular Project Sponsor, business, or operator.

### COMPLIANCE WITH OTHER REQUIREMENTS

The Conditions of Approval set forth in Exhibit B of **Motion No. XXXXX**, Case No. 2012.0203 C (Conditional Use Authorization Under Sections 291.1 and 303) apply to this approval, and are incorporated herein as though fully set forth, except as modified herein.

### RECORDATION OF CONDITIONS OF APPROVAL

Prior to the issuance of the building permit or commencement of use for the Project the Zoning Administrator shall approve and order the recordation of a Notice in the Official Records of the Recorder of the City and County of San Francisco for the subject property. This Notice shall state that the project is subject to the conditions of approval contained herein and reviewed and approved by the Planning Commission on **January 22, 2015** under **Motion No XXXXXX**.

### PRINTING OF CONDITIONS OF APPROVAL ON PLANS

The conditions of approval under the 'Exhibit A' of this Planning Commission **Motion No. XXXXXX** shall be reproduced on the Index Sheet of construction plans submitted with the Site or Building permit application for the Project. The Index Sheet of the construction plans shall reference to the Office Development Authorization and any subsequent amendments or modifications.

### SEVERABILITY

The Project shall comply with all applicable City codes and requirements. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other remaining clauses, sentences, or sections of these conditions. This decision conveys no right to construct, or to receive a building permit. “Project Sponsor” shall include any subsequent responsible party.

## CHANGES AND MODIFICATIONS

Changes to the approved plans may be approved administratively by the Zoning Administrator. Significant changes and modifications of conditions shall require Planning Commission approval of a new Office Development Authorization.

## Conditions of Approval, Compliance, Monitoring, and Reporting PERFORMANCE

1. **Development Timeline - Office.** Pursuant to Planning Code Section 321(d)(2), construction of an office development shall commence within eighteen months of the date of this Motion approving this Project becomes effective. Failure to begin work within that period or to carry out the development diligently thereafter to completion, shall be grounds to revoke approval of the office development under this conditional use authorization.

For information about compliance, contact the Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org).

2. **Extension.** This authorization may be extended at the discretion of the Zoning Administrator only where failure to issue a permit by the Department of Building Inspection to perform said construction is caused by a delay by a local, State or Federal agency or by any appeal of the issuance of such permit(s).

For information about compliance, contact the Planning Department at 415-558-6378, [www.sf-planning.org](http://www.sf-planning.org).

3. **Conformity with Current Law.** No application for Building Permit, Site Permit, or other entitlement shall be approved unless it complies with all applicable provisions of City Codes in effect at the time of such approval.

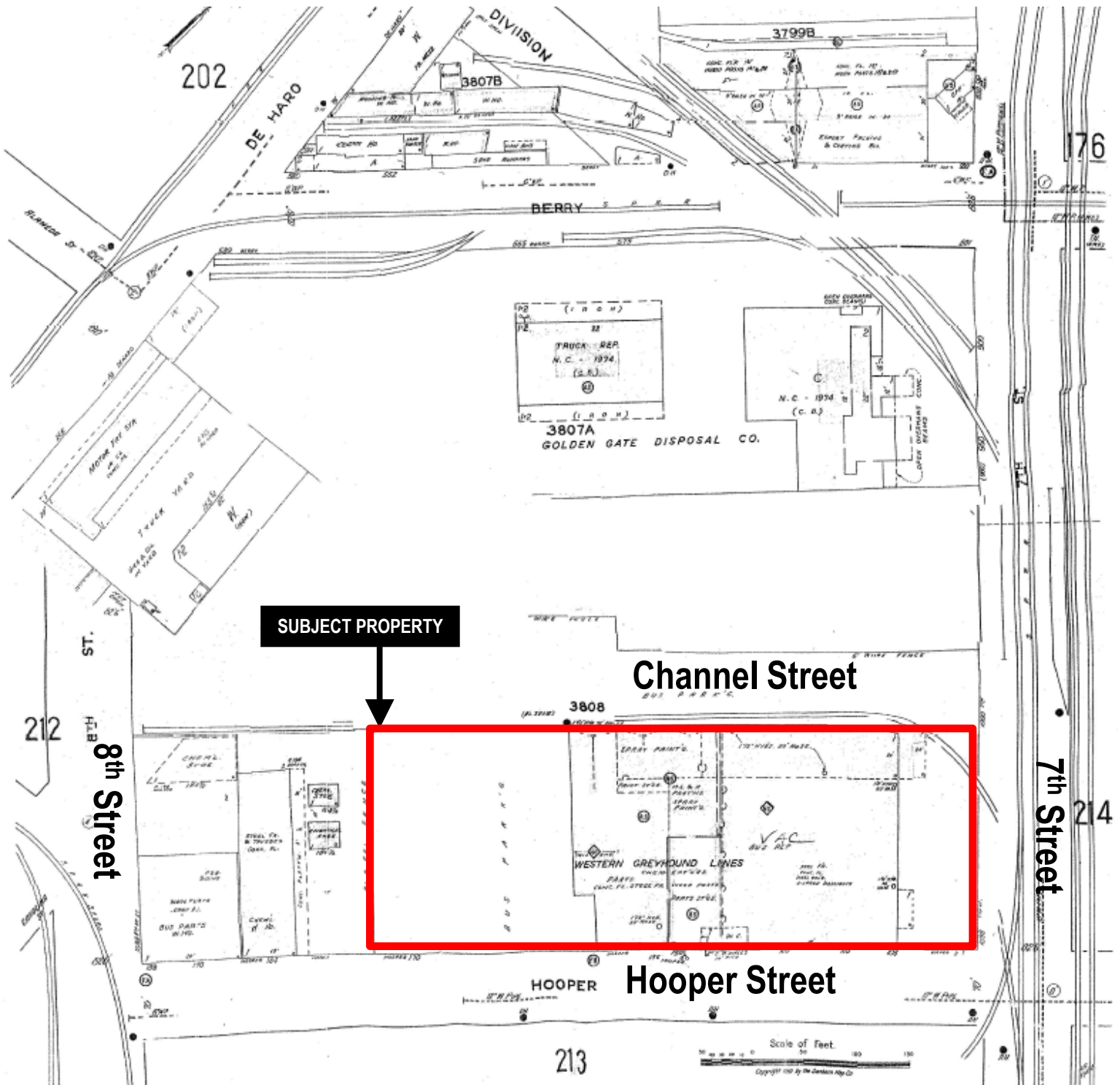
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, [www.sf-planning.org](http://www.sf-planning.org).

# Parcel Map



CU Authorization/PUD, Off. Alloc. Hearing  
Case Number: 2012.0203 BC  
PDR/Office Development  
100 Hooper Street

# Sanborn Map\*



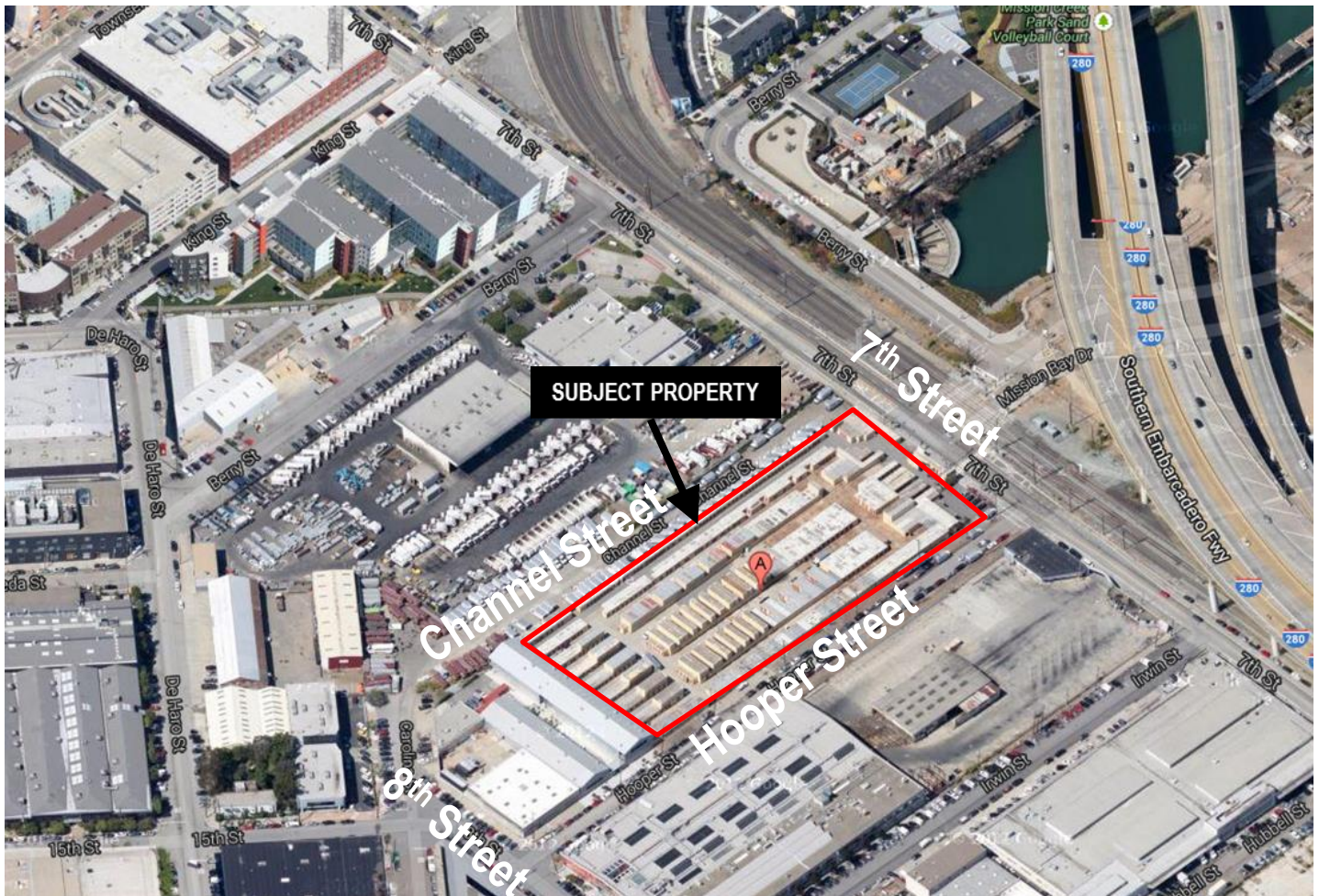
\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



CU Authorization/PUD, Off. Alloc. Hearing  
Case Number: 2012.0203 BC  
PDR/Office Development  
100 Hooper Street

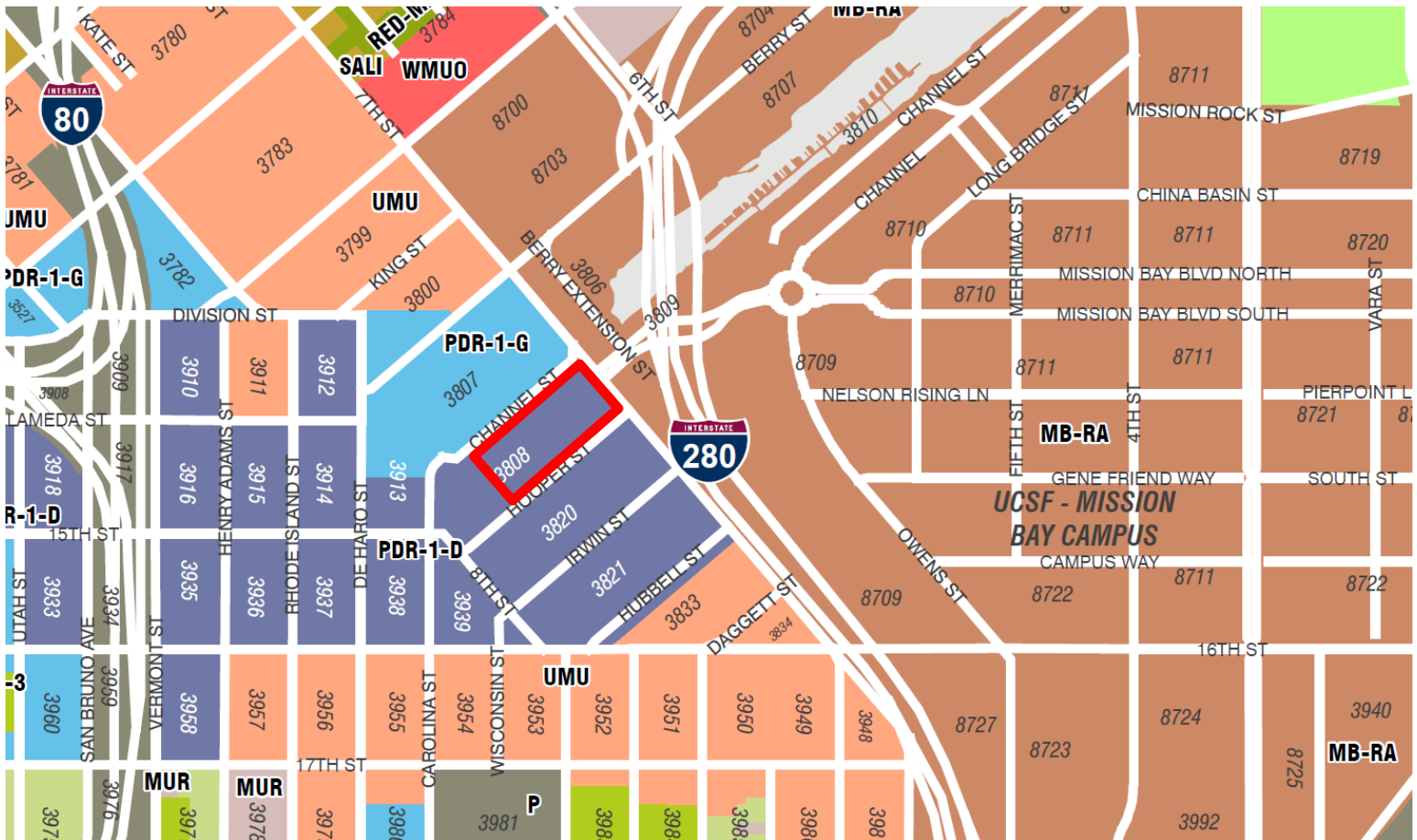


# Aerial Photo





# Zoning Map



# Existing Site Photos

View from Hooper Street/7<sup>th</sup> Street Intersection Looking North Along



View of front entry gate along 7<sup>th</sup> Street



CU Authorization/PUD, Off. Alloc. Hearing  
Case Number: 2012.0203 BC  
PDR/Office Development  
100 Hooper Street

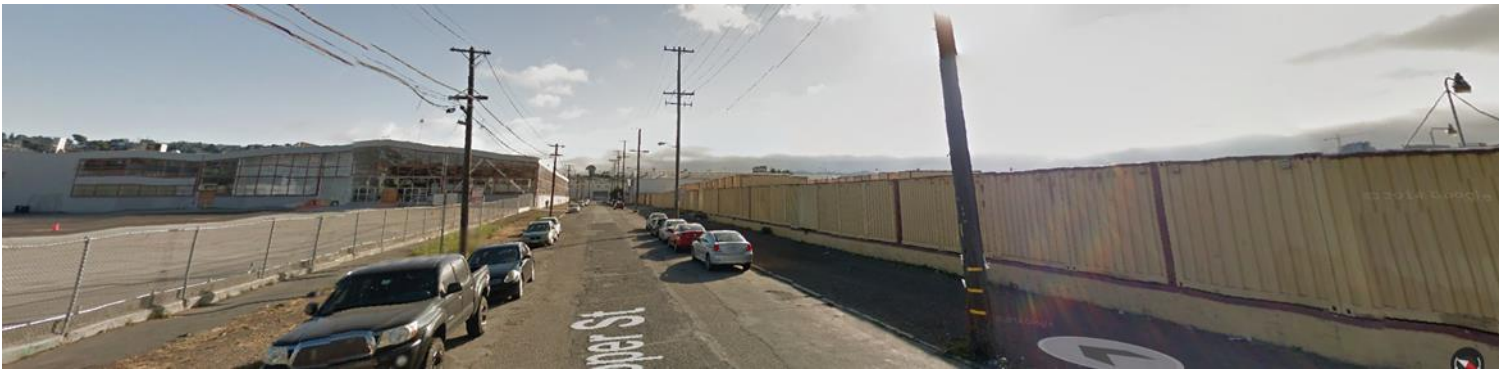


# Existing Site Photos

Looking South along 7<sup>th</sup> Street



Looking West Along Hooper Street



Looking West Near SW Corner Along Hooper Street



CU Authorization/PUD, Off. Alloc. Hearing  
Case Number: 2012.0203 BC  
PDR/Office Development  
100 Hooper Street



# SAN FRANCISCO PLANNING DEPARTMENT

## Certificate of Determination EXEMPTION FROM ENVIRONMENTAL REVIEW

Case No.: 2012.0203E  
Project Address: 100 Hooper Street  
Zoning: PDR-1-D  
58-X  
Block/Lot: Block 3808, Lot 003  
Lot Size: 143,000 square feet (3.3 acres)  
Plan Area: Eastern Neighborhoods Area Plan  
Project Sponsor: Dan Murphy, Urban Green DevCo, LLC — (650) 359-5358  
Staff Contact: Jeanie Poling — (415) 575-9072  
(jeanie.poling@sfgov.org)

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

### PROJECT DESCRIPTION

The project site (Assessor's Block 3808, Lot 003) is located in the northeastern portion of San Francisco on the block bounded by Channel, Carolina, Eighth, Hooper and Seventh Streets. The project site is located within the Showplace Square/Potrero Hill Plan Area, which was analyzed in the Eastern Neighborhoods Rezoning and Area Plans Environmental Impact Report. The proposed project would include the construction of three four- to five-story buildings to a maximum building height of 58 feet (up to 73 feet including mechanical penthouses) on an approximately 3.3-acre site containing no permanent structures, as follows:

- A five-story Production, Distribution and Repair (PDR) "Workshop Building" totaling approximately 59,500 gross square feet (gsf) on Channel Street at the west property line adjoining California College of the Arts (CCA);

*(Continued on next page)*

### EXEMPT STATUS

Exempt per Section 15183 of the California Environmental Quality Act (CEQA) Guidelines and California Public Resources Code Section 21083.3.

### DETERMINATION

I do hereby certify that the above determination has been made pursuant to State and Local requirements.

  
SARAH B. JONES

Environmental Review Officer

January 6, 2015  
Date

cc: Dan Murphy, Urban Green DevCo, LLC, Project Sponsor; Supervisor Malia Cohen, District 10; Chris Townes, Current Planning Division; Virna Byrd, M.D.F.; Exemption/Exclusion File

**PROJECT DESCRIPTION (CONTINUED)**

- A four-story office and PDR “North Building” of approximately 177,200 gsf on the balance of Channel Street; and
- A four-story office and PDR “South Building” of approximately 206,500 gsf on Hooper Street.

The buildings would be arrayed around roughly 40,000 gsf of on-site open spaces: a paseo running between the North and South Building plus a plaza at the southwestern corner of the property adjacent to CCA. When combined, all three buildings would provide a grand total of approximately 464,500 building gsf, including approximately 21,300 gsf of on-site parking and loading space. In total, 35 percent, or approximately 152,700 gsf, of the project’s gross floor area would be devoted to PDR use.

The approximately 59,500 gsf PDR Workshop Building would be designed as a “PDR Incubator,” featuring approximately 250 upper-floor PDR workshops above a 14-foot-high, ground-floor PDR level providing common area PDR support amenities such as space for an on-site PDR manager, shared PDR and/or accessory retail/restaurant space, loading facilities, an on-site café and lobby area, one approximately 1,000 gsf ground-floor residential unit for an on-site caretaker, and space for individual PDR users. Upper-floor studio spaces would be constructed using modular technology and would feature individual workshops ranging in size from approximately 120 to 500 gsf with small sinks, operable windows for natural light and air, and common areas to facilitate collaboration.

The North and South Buildings would be mixed use in nature, with approximately 284,500 gsf of upper-floor office and/or institutional use, up to approximately 94,200 gsf of ground-floor PDR, and up to 5,000 gsf of retail/restaurant use. The North and South Buildings would include adjacent side cores separated by a 40-foot-wide interior linear courtyard that would provide loading access and natural light and fresh air to the block interior (the “paseo”). The paseo would also create a pedestrian link to the existing crosswalk on Seventh Street that currently provides access to Mission Bay, its 43 acres of open space, the San Francisco Bay Trail and Waterfront. Adjacent cores in the North and South Buildings would be linked on upper floors by elevated walkways to optimize user flexibility. These PDR spaces would range from approximately 500 gsf to approximately 10,000 gsf in size and would serve larger, more established PDR businesses than the Workshop Building. Up to 5,000 gsf of retail/restaurant space would be located at the west end of the South Building adjacent to the plaza.

In addition to the paseo space referenced above, the southwestern corner of the property is proposed as an approximately 10,000 gsf publicly accessible open space (“POPOS”) to interconnect the project site with the adjoining campus of the CCA. This space would support various outdoor programs such as periodic art displays, maker fairs, performing arts, and/or movie nights.

The project includes the improvement of the southern half of Channel Street to City street standards, which would include 12- to 15-foot sidewalks as per Better Streets standards, with parallel parking terminated by a bulb-out at Seventh Street. This would be combined with the active ground-floor uses along Channel with the parking set back from the building by 25 feet. Along Hooper Street, there would be special paving provided in the furnishing zone and building setbacks along with bulb-outs in conformance with San Francisco Department of Public Works landscape standards. The project sponsor would be required to maintain all sidewalk improvements. Access to the project’s on- and off-street loading, parking, bike storage, utility connections and refuse management and related facilities would be from Channel Street. The heating and ventilation system proposed for the 100 Hooper Street project is a

series of variable refrigerant volume (VRV) split system heat pumps with condensers mounted on the roof and take up air through vents incorporated into the building façade.

A total of seven loading spaces would be provided: three on site, two on Channel Street, and two on Hooper Street. Primary loading for the project would occur along Channel Street, with a commonly accessed two-bay semi-truck loading dock linking Channel Street to the paseo space. Additional street loading areas are proposed for both Channel (two spaces) and Hooper Street (one loading zone with two loading spaces) to supplement the loading dock, with direct breezeway access to the paseo and building core freight or service elevators. In addition, the POPOS and paseo space would be designed to accommodate light truck loading for the ground-floor PDR uses.

The proposed project would provide 87 vehicle parking spaces (42 stackers and three Americans with Disabilities Act [ADA] accessible spaces) and 14 motorcycle spaces at the ground level of the North Building along Channel Street. Ingress and egress to parking would be off Channel Street.

In addition to vehicular parking, 128 Class 1 and 31 Class 2 bicycle parking spaces<sup>1</sup> are proposed, as well as showers and lockers consistent with the Planning Code. The project sponsor would also seek subdivision map approval to subdivide the project site into up to three parcels.

Project construction is expected to take 24 months. Site preparation and grading is expected to take one month, foundation work an additional month, concrete superstructure work six to nine months, exterior skin installation five months, building rough interior work three months, building finishes an additional three months and site work four months.

Construction would require the use of pulverizing equipment to demolish existing concrete slabs; grading equipment such as bulldozers; dump trucks for soil haul-out; backhoes for cutting foundations and installing utilities; pile drivers for building foundations; concrete pumping and trucks; large trucks for material delivery; dust-control equipment; temporary office trailers; and other standard construction equipment such as cranes and man-lifts for both the North and South Buildings. Approximately 13,500 cubic yards of soil, with generally two feet of soil at building footprints and four feet in open space areas, would be removed for utility trenches, pile caps, and grade beams. Additionally, deeper excavations may be needed for elevator pits, foundation piles, and some utilities. The maximum excavation depth would be approved in the field by the geotechnical engineer prior to placement of surface improvements but would not exceed 8.5 feet below ground surface.

## PROJECT APPROVAL

Approval of the Conditional Use Authorization by the San Francisco Planning Commission is the Approval Action per Chapter 31 of the San Francisco Administrative Code. The Approval Action date establishes the start of the 30-day appeal period for this CEQA exemption determination pursuant to Section 31.04(h) of the San Francisco Administrative Code.

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<sup>1</sup> *San Francisco Planning Code* Section 155 defines Class 1 bicycle parking facilities as facilities that protect the entire bicycle, its components and accessories against theft and against inclement weather, including wind-driven rain. Examples of this type of facility include lockers, check-in facilities, monitored parking, restricted access parking, and personal storage. Planning Code Section 155(j) requires one bicycle parking space for every 20 off-street parking spaces. Class 2 bicycle parking facilities are spaces located in a publicly accessible, highly visible location intended for transient or short-term use by visitors, guests, and patrons to the building. Bicycle racks are the most common form of Class 2 bicycle parking.

## COMMUNITY PLAN EXEMPTION OVERVIEW

California Public Resources Code Section 21083.3 and CEQA Guidelines Section 15183 provide an exemption from environmental review for projects that are consistent with the development density established by existing zoning, community plan or general plan policies for which an Environmental Impact Report (EIR) was certified, except as might be necessary to examine whether there are project-specific significant effects which are peculiar to the project or its site. Section 15183 specifies that examination of environmental effects shall be limited to those effects that: (a) are peculiar to the project or parcel on which the project would be located; (b) were not analyzed as significant effects in a prior EIR on the zoning action, general plan or community plan with which the project is consistent; (c) are potentially significant off-site and cumulative impacts that were not discussed in the underlying EIR; or (d) are previously identified in the EIR, but which, as a result of substantial new information that was not known at the time that the EIR was certified, are determined to have a more severe adverse impact than that discussed in the underlying EIR. Section 15183(c) specifies that if an impact is not specific to the parcel or to the proposed project, then an EIR need not be prepared for the project solely on the basis of that impact.

The project site is located within the Showplace Square/Potrero Hill Plan Area, which was evaluated as part of the Programmatic EIR for the Eastern Neighborhoods Rezoning and Area Plans<sup>2</sup> (Eastern Neighborhoods PEIR). The proposed project is also consistent with the zoning controls and the provisions of the Planning Code applicable to the project site.<sup>3,4</sup> This determination evaluates the potential project-specific environmental effects of the 100 Hooper Street project described above, and incorporates by reference information contained in the PEIR. Project-specific studies were prepared for the proposed project to determine if the project would result in any significant environmental impacts that were not identified in the Eastern Neighborhoods PEIR.

After several years of analysis, community outreach, and public review, the Eastern Neighborhoods PEIR was adopted in December 2008. The Eastern Neighborhoods PEIR was adopted in part to support housing development in some areas previously zoned to allow industrial uses, while preserving an adequate supply of space for existing and future production, distribution, and repair (PDR) employment and businesses.

The Planning Commission held public hearings to consider the various aspects of the proposed Eastern Neighborhoods Rezoning and Area Plans and related Planning Code and Zoning Map amendments. On August 7, 2008, the Planning Commission certified the Eastern Neighborhoods PEIR by Motion 17659 and adopted the Preferred Project for final recommendation to the Board of Supervisors.<sup>5,6</sup>

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<sup>2</sup> Planning Department Case No. 2004.0160E and State Clearinghouse No. 2005032048.

<sup>3</sup> Adam Varat, San Francisco Planning Department, *Community Plan Exemption Eligibility Determination, Citywide Planning and Policy Analysis*, 100 Hooper Street (July 8, 2014). This document is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File No. 2012.0203E.

<sup>4</sup> Jeff Joslin, San Francisco Planning Department, *Community Plan Exemption Eligibility Determination, Current Planning Analysis*, 100 Hooper Street (September 18, 2014). This document is available for review at the San Francisco Planning Department, 1650 Mission Street, Suite 400, as part of Case File No. 2012.0203E.

<sup>5</sup> San Francisco Planning Department, *Eastern Neighborhoods Rezoning and Area Plans Final Environmental Impact Report (FEIR)*, Planning Department Case No. 2004.0160E (certified August 7, 2008). Available online at <http://www.sf-planning.org/index.aspx?page=1893> (accessed August 17, 2012).

<sup>6</sup> San Francisco Planning Department, San Francisco Planning Commission Motion 17659 (August 7, 2008). Available online at <http://www.sf-planning.org/Modules/ShowDocument.aspx?documentid=1268> (accessed August 17, 2012).



In December 2008, after further public hearings, the Board of Supervisors approved and the Mayor signed the Eastern Neighborhoods Rezoning and Planning Code amendments. New zoning districts include districts that would permit PDR uses in combination with commercial uses; districts mixing residential and commercial uses and residential and PDR uses; and new residential-only districts. The districts replaced existing industrial, commercial, residential single-use, and mixed-use districts.

The Eastern Neighborhoods PEIR is a comprehensive programmatic document that presents an analysis of the environmental effects of implementation of the Eastern Neighborhoods Rezoning and Area Plans, as well as the potential impacts under several proposed alternative scenarios. The Eastern Neighborhoods PEIR evaluated three land use alternatives. Option A retained the largest amount of existing land that accommodated PDR uses and converted the least amount of industrially zoned land to residential use. Option C converted the most existing land accommodating PDR uses to residential and mixed-uses. Option B fell between Options A and C. The Draft PEIR also evaluated two community-proposed alternatives that focused largely on the Mission District, and a “No Project” alternative. The alternative selected, or the Preferred Project, represents a combination of Options B and C. The Planning Commission adopted the Preferred Project after fully considering the environmental effects of the Preferred Project and the various scenarios discussed in the PEIR.

A major issue of discussion in the Eastern Neighborhoods rezoning process was the degree to which existing industrially zoned land would be rezoned to primarily residential and mixed-use districts, thus reducing the availability of land traditionally used for PDR employment and businesses. Among other topics, the Eastern Neighborhoods PEIR assesses the significance of the cumulative land use effects of the rezoning by analyzing its effects on the City's ability to meet its future PDR space needs as well as its ability to meet its housing needs as expressed in the City's General Plan.

Prior to rezoning that occurred under the Eastern Neighborhoods Rezoning and Area Plans process, the project site was zoned M-2 (Heavy Industrial). Though intended to be primarily industrial, the M-2 District permitted residential, retail, and office uses, along with both heavy and light industrial uses. The Eastern Neighborhoods Rezoning and Area Plans changed the zoning designation to the current Production, Distribution and Repair – Design (PDR-1-D) designation, which encourages less intensive PDR uses, especially design-related ones. In contrast to the M-2 District, the PDR-1-D designation limits retail uses and, with some exceptions, precludes heavy industrial, residential and office uses. As discussed above, the project site is currently occupied by a mini storage and truck rental facility. The proposed project and its relation to PDR land supply and cumulative land use effects is discussed further in the Community Plan Exemption (CPE) Checklist,<sup>7</sup> under Land Use. The 100 Hooper Street site, which is located in the Showplace Square/ Potrero Hill Plan Area of the Eastern Neighborhoods, was designated as a site allowing buildings up to 58 feet in height.

Individual projects that could occur in the future under the Eastern Neighborhoods Rezoning and Area Plans will undergo project-level environmental evaluation to determine if they would result in further impacts specific to the development proposal, the site, and the time of development and to assess whether additional environmental review would be required. This determination concludes that the proposed project at 100 Hooper Street is consistent with and was encompassed within the analysis in the Eastern Neighborhoods PEIR. This determination also finds that the Eastern Neighborhoods PEIR

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<sup>7</sup> The CPE Checklist is available for review at the Planning Department, 1650 Mission Street, Suite 400, San Francisco, in Case File No. 2012.0203E and online at <http://www.sf-planning.org/index.aspx?page=2780>.



adequately anticipated and described the impacts of the proposed 100 Hooper Street project, and identified mitigation measures applicable to the 100 Hooper Street project. Therefore, no further CEQA evaluation for the 100 Hooper Street project is required. In sum, the Eastern Neighborhoods PEIR and this Certificate of Exemption for the proposed project comprise the full and complete CEQA evaluation necessary for the proposed project.

## **PROJECT SETTING**

The project site is located within a 58-X height and bulk district and is zoned PDR-1-D, which permits limited retail, arts and entertainment uses, light industrial uses (such as laboratory), Small Enterprise Workspace, Integrated PDR Use, home and business service, commercial storage and distribution, and arts activities. No stand-alone office uses are currently permitted under this zoning. The site is within the Core Showplace Square Design District, which protects important concentrations of design-oriented PDR, encourages limited amount of retail and office space to support design functions, and prohibits new residential development that is not accessory to permitted uses.

Parcels to the south and west of the project site are also zoned PDR-1-D; the parcel across Channel Street to the north is zoned PDR-1-G (Production, Distribution and Repair – General). The only differences between the G designation and the D designation are that child care is not permitted in the G designation and parking lots may be allowed with a conditional use permit.

Consistent with the industrial zoning designations, Budget Truck Rental, Cable Car Tours, Recology – Golden Gate, and Road Brothers Hardwood Flooring are located to the northwest of the site across Channel Street. A former Greyhound Bus maintenance facility (currently a vacant lot) and CCA are located to the southeast across Hooper Street. Another CCA facility (i.e., the CCA Graduate Facility) is located adjacent to the site to the southwest at 184 Hooper Street (former addresses of 184 and 188 Hooper Street). Railroad tracks and the elevated portion of I-280 are located to the northeast across Seventh Street. Those parcels to the east of I-280 are zoned MB-RA (Mission Bay Redevelopment Plans). An existing crosswalk on Seventh Street currently provides access to Mission Bay, its 43 acres of open space, the San Francisco Bay Trail and Waterfront. Buildings in the project area range from one to four stories (north of the project site along Seventh Street).

## **POTENTIAL ENVIRONMENTAL EFFECTS**

The Eastern Neighborhoods PEIR included analyses of the following environmental issues: land use; plans and policies; visual quality and urban design; population, housing, business activity, and employment (growth inducement); transportation; noise; air quality; parks, recreation and open space; shadow; archeological resources; historic architectural resources; hazards; and other issues not addressed in the previously issued Initial Study for the Eastern Neighborhoods Rezoning and Area Plans. The proposed 100 Hooper Street project was determined to be consistent with the development density for the site described in the Eastern Neighborhoods PEIR and would represent a small part of the growth that was forecast for the Eastern Neighborhoods plan areas. Thus, the plan analyzed in the Eastern Neighborhoods PEIR considered the incremental impacts of the proposed 100 Hooper Street project. As a result, the proposed project would not result in any new or substantially more severe impacts than were identified in the Eastern Neighborhoods PEIR.

The PEIR identified significant and unavoidable impacts in the Eastern Neighborhoods PEIR for the following topics: land use, historic architectural resources, transportation and circulation, and shadow.

The proposed project would result in a net gain of approximately 64,200 gsf of PDR building space and would not contribute to the significant cumulative land use impact identified in the PEIR. The proposed project would not result in demolition of historic buildings. Traffic and transit ridership generated by the project would not considerably contribute to the traffic and transit impacts identified in the Eastern Neighborhoods PEIR. A shadow study was conducted for the proposed project and determined the project would not shade any Planning Code Section 295 open spaces or other open spaces. The project would shade nearby sidewalks, but at levels commonly expected in urban areas.

The Eastern Neighborhoods PEIR identified feasible mitigation measures to address significant impacts related to noise, air quality, archeological resources, historical resources, hazardous materials, and transportation. Table 1, Eastern Neighborhoods PEIR Mitigation Measures, lists the mitigation measures identified in the Eastern Neighborhoods PEIR and states whether each measure would apply to the proposed project. Attachment A, the Mitigation Monitoring and Reporting Program, and Attachment B, the Project Improvement Measures, lists all mitigation measures and improvement measures applicable to the 100 Hooper Street project.

<b>Table 1 Eastern Neighborhoods PEIR Mitigation Measures</b>	
<i>Mitigation Measure</i>	<i>Applicability</i>
<b>F. Noise</b>	
F-1: Construction Noise (Pile Driving)	Applicable: The project would include installation of piles, which may expose neighboring classroom use to temporary noise and vibration. Therefore, if pile driving occurs while California College of the Arts is in session, the project contractor shall use torque-driven piles and undertake other measures to reduce noise from pile driving.
F-2: Construction Noise	Applicable: Temporary construction noise would occur from the use of heavy equipment.
F-3: Interior Noise Levels	Not applicable: The project is subject to California Noise Insulation Standards in Title 24.
F-4: Siting of Noise-Sensitive Uses	Applicable: The project would add a noise-sensitive use (caretaker unit) in areas where noise levels exceed 60 dBA ( $L_{dn}$ ). The project sponsor shall ensure that additional noise reduction measures to reduce exterior noise sources to 45 dBA indoors are included in the design of the residential unit.
F-5: Siting of Noise-Generating Uses	Applicable: The project proposes noise-generating equipment and must demonstrate that noise reduction measures are included in the project's design to ensure that interior noise standards for the proposed residential unit do not exceed 45 dBA during nighttime hours or 55 dBA during daytime hours.
F-6: Open Space in Noisy Environments	Not applicable: The requirements of this mitigation measure have been complied with as part of this environmental review process and the majority of open space is shielded by proposed buildings. No further mitigation is required.
<b>G. Air Quality</b>	
G-1: Construction Air Quality	Applicable: Minimization of construction exhaust emissions is applicable to the project
G-2: Air Quality for Sensitive Land Uses	Not applicable: The project site is located within 500 feet of the I-280 freeway and is proposing one residential unit. However, San Francisco Health Code Article 38 has subsequently been amended and requires enhanced ventilation be installed in the proposed residential unit. Thus, this measure has been superseded by local regulation and is not required.

<b>Table 1 Eastern Neighborhoods PEIR Mitigation Measures</b>	
<i>Mitigation Measure</i>	<i>Applicability</i>
G-3: Siting of Uses that Emit DPM	Not applicable: The proposed land uses are not uses that would emit substantial levels of DPM.
G-4: Siting of Uses that Emit other TACs	Not applicable: The proposed land uses are not uses that would emit substantial levels of other TACs.
<b>J. Archeological Resources</b>	
J-1: Properties with Previous Studies	Not applicable: The project site does not contain any previous archeological studies.
J-2: Properties with no Previous Studies	Applicable: The project site is located in an area with no previous archeological studies. As a result, in compliance with Mitigation Measure J-2, the project contractor would be required to be on alert for archeological resources throughout the construction period.
J-3: Mission Dolores Archeological District	Not applicable: The project site is not located within the Mission Dolores Archeological District.
<b>K. Historical Resources</b>	
K-1: Interim Procedures for Permit Review in the Eastern Neighborhoods Plan Area	Not applicable: No historic resources are present on the project site.
K-2: Amendments to Article 10 of the Planning Code Pertaining to Vertical Additions in the South End Historic District (East SoMa)	Not applicable: The project site not within East SoMa.
K-3: Amendments to Article 10 of the Planning Code Pertaining to Alterations and Infill Development in the Dogpatch Historic District (Central Waterfront)	Not applicable: The project site not within Central Waterfront.
<b>L. Hazardous Materials</b>	
L-1: Hazardous Building Materials	Not applicable: The project does not involve demolition of industrial buildings.
<b>E. Transportation</b>	
E-1: Traffic Signal Installation	Not applicable: Plan-level mitigation required by San Francisco Municipal Transit Agency (SFMTA).
E-2: Intelligent Traffic Management	Not applicable: Plan-level mitigation required by SFMTA.
E-3: Enhanced Funding	Not applicable: Plan-level mitigation required by SFMTA & San Francisco County Transit Authority (SFCTA).
E-4: Intelligent Traffic Management	Not applicable: Plan-level mitigation required by SFMTA & Planning Department.
E-5: Enhanced Transit Funding	Not applicable: Plan-level mitigation required by SFMTA.
E-6: Transit Corridor Improvements	Not applicable: Plan-level mitigation required by SFMTA.
E-7: Transit Accessibility	Not applicable: Plan-level mitigation required by SFMTA.
E-8: Muni Storage and Maintenance	Not applicable: Plan-level mitigation required by SFMTA.
E-9: Rider Improvements	Not applicable: Plan-level mitigation required by SFMTA.
E-10: Transit Enhancement	Not applicable: Plan-level mitigation required by SFMTA.
E-11: Transportation Demand Management	Not applicable: Plan-level mitigation required by SFMTA.

Refer to Attachment A, Mitigation Monitoring and Reporting Program (MMRP), for the complete text of the applicable mitigation measures. With implementation of these mitigation measures, the proposed project would not result in significant impacts beyond those analyzed in the Eastern Neighborhoods PEIR.

## **PUBLIC NOTICE AND COMMENT**

A “Notification of Project Receiving Environmental Review” was mailed on June 6, 2014, to adjacent occupants and owners of properties within 300 feet of the project site. Overall, concerns and issues raised by the public in response to the notice were taken into consideration and incorporated in the environmental review as appropriate for CEQA analysis. Three individuals submitted comments regarding the proposed project. These concerns are related to non-CEQA issues, including a request to receive hard copies of and electronic links to all environmental documents issued for the project, the Proposition M office allocation cap, and the timing of the environmental review. These comments were noted and forwarded to Current Planning staff, which would review the entitlement application and provide recommendations to the Planning Commission. The proposed project would not result in significant adverse environmental impacts associated with the issues identified by the public.

## **CONCLUSION**

As summarized above and further discussed in the CPE Checklist:<sup>8</sup>

1. The proposed project is consistent with the development density established for the project site in the Eastern Neighborhoods Rezoning and Area Plans;
2. The proposed project would not result in effects on the environment that are specific to the project or the project site that were not identified as significant effects in the Eastern Neighborhoods PEIR;
3. The proposed project would not result in potentially significant off-site or cumulative impacts that were not identified in the Eastern Neighborhoods PEIR;
4. The proposed project would not result in significant effects, which, as a result of substantial new information that was not known at the time the Eastern Neighborhoods PEIR was certified, would be more severe than were already analyzed and disclosed in the PEIR; and
5. The project sponsor will undertake feasible mitigation measures specified in the Eastern Neighborhoods PEIR to mitigate project-related significant impacts.

Therefore, the proposed project is exempt from further environmental review pursuant to Public Resources Code Section 21083.3 and CEQA Guidelines Section 15183.

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<sup>8</sup> The CPE Checklist is available for review at the Planning Department, 1650 Mission Street, Suite 400, San Francisco, in Case File No. 2012.0203E and online at <http://www.sf-planning.org/index.aspx?page=2780>.

## ATTACHMENT A: MITIGATION MONITORING AND REPORTING PROGRAM

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
<b>MITIGATION MEASURES AGREED TO BY PROJECT SPONSOR</b>					
<i>Cultural Resources</i>					
<b>Project Mitigation Measure M-CR-1 – Archeological Resources (Eastern Neighborhoods Programmatic Environmental Impact Report (PEIR) Mitigation Measure J-2).</b> The following mitigation measure is required to avoid any potential adverse effect from the proposed project on accidentally discovered buried or submerged historical resources as defined in CEQA Guidelines Section 15064.5(a)(c). The project sponsor shall distribute the Planning Department archeological resource “ALERT” sheet to the project prime contractor; to any project subcontractor (including demolition, excavation, grading, foundation, pile driving, etc. firms); or utilities firm involved in soils disturbing activities within the project site. Prior to any soils disturbing activities being undertaken each contractor is responsible for ensuring that the “ALERT” sheet is circulated to all field personnel including, machine operators, field crew, pile drivers, supervisory personnel, etc. The project sponsor shall provide the Environmental Review Officer (ERO) with a signed affidavit from the responsible parties (prime contractor, subcontractor(s), and utilities firm) to the ERO confirming that all field personnel have received copies of the Alert Sheet.	Project sponsor and contractor; Planning Department archeologist or qualified archeological consultant; Environmental Review Officer (ERO)	Prior to issuance of any permit for soil-disturbing activities	Circulation of ALERT sheet; suspension of soils-disturbing activities; retention of qualified archaeologist	Archeologist; ERO	Ongoing during construction; considered complete after soils-disturbing activities have ended
Should any indication of an archeological resource be encountered during any soils disturbing activity of the					

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/ Reporting Responsibility	Monitoring Schedule

project, the project Head Foreman and/or project sponsor shall immediately notify the ERO and shall immediately suspend any soils disturbing activities in the vicinity of the discovery until the ERO has determined what additional measures should be undertaken.

If the ERO determines that an archeological resource may be present within the project site, the project sponsor shall retain the services of an archaeological consultant from the pool of qualified archaeological consultants maintained by the Planning Department archaeologist. The archeological consultant shall advise the ERO as to whether the discovery is an archeological resource, retains sufficient integrity, and is of potential scientific/historical/cultural significance. If an archeological resource is present, the archeological consultant shall identify and evaluate the archeological resource. The archeological consultant shall make a recommendation as to what action, if any, is warranted. Based on this information, the ERO may require, if warranted, specific additional measures to be implemented by the project sponsor.

Measures might include: preservation in situ of the archeological resource; an archaeological monitoring program; or an archeological testing program. If an archeological monitoring program or archeological testing program is required, it shall be consistent with the Environmental Planning (EP) division guidelines for such programs. The ERO may also require that the project sponsor immediately implement a site security program if

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/ Reporting Responsibility	Monitoring Schedule

the archeological resource is at risk from vandalism, looting, or other damaging actions.

The project archeological consultant shall submit a Final Archeological Resources Report (FARR) to the ERO that evaluates the historical significance of any discovered archeological resource and describing the archeological and historical research methods employed in the archeological monitoring/data recovery program(s) undertaken. Information that may put at risk any archeological resource shall be provided in a separate removable insert within the final report.

Copies of the Draft FARR shall be sent to the ERO for review and approval. Once approved by the ERO, copies of the FARR shall be distributed as follows: California Archaeological Site Survey Northwest Information Center (NWIC) shall receive one (1) copy and the ERO shall receive a copy of the transmittal of the FARR to the NWIC. The Environmental Planning division of the Planning Department shall receive one bound copy, one unbound copy and one unlocked, searchable PDF copy on CD three copies of the FARR along with copies of any formal site recordation forms (CA DPR 523 series) and/or documentation for nomination to the National Register of Historic Places/California Register of Historical Resources. In instances of high public interest or interpretive value, the ERO may require a different final report content, format, and distribution than that presented above.

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
<i>Noise</i>					
<b>Project Mitigation Measure M-NO-1 – Construction Noise (PEIR Mitigation Measure F-1).</b> Because California College of the Arts is a sensitive noise receptor only while school is in session, and because no other sensitive receptors are within 500 feet of the project site, this mitigation measures applies only when school is in session. The project sponsor shall ensure that torque-driven piles be used to reduce construction-related noise and vibration. No impact pile drivers shall be used unless absolutely necessary. Contractors would be required to use pile-driving equipment with state-of-the-art noise shielding and muffling devices. To reduce noise and vibration impacts, sonic or vibratory sheetpile drivers, rather than impact drivers, shall be used wherever sheetpiles are needed. The project sponsor shall also require that contractors schedule pile-driving activity for times of the day that would minimize disturbance to neighbors.	Project sponsor and contractor	During subsurface construction.	Project contractor to predrill holes for pile driving, use noise shielding and muffling devices during pile driving, and schedule pile driving activity consistent with the Noise Ordinance.	Departments of Building Inspection and Public Works to monitor project contractor compliance.	Considered complete after construction activities have ended.
<b>Project Mitigation Measure M-NO-2 – Construction Noise (PEIR Mitigation Measure F-2).</b> Because California College of the Arts is a sensitive noise receptor only while school is in session, and because no other sensitive receptors are within 500 feet of the project site, this mitigation measures applies only when school is in session. The project sponsor shall develop a set of site-specific noise attenuation measures under the supervision of a qualified acoustical consultant. Prior to commencing construction, a plan for	Project sponsor and contractor; qualified acoustical consultant	Prior to issuance of first permit	Preparation and submittal of set of site-specific noise attenuation mitigation measures.	Departments of Building Inspection and Public Works to monitor project contractor compliance.	Considered complete after construction activities have ended.



Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/ Reporting Responsibility	Monitoring Schedule
<p>such measures shall be submitted to the Department of Building Inspection to ensure that maximum feasible noise attenuation will be achieved. These attenuation measures shall include as many of the following control strategies as feasible:</p> <ul style="list-style-type: none"> <li>• Utilize noise control blankets on a building structure as the building is erected to reduce noise emission from the site</li> <li>• Evaluate the feasibility of noise control at the receivers by temporarily improving the noise reduction capability of adjacent buildings housing sensitive uses</li> <li>• Monitor the effectiveness of noise attenuation measures by taking noise measurements</li> <li>• Post signs on site pertaining to permitted construction days and hours and complaint procedures and who to notify in the event of problem, with telephone numbers listed</li> </ul>					
<b>Project Mitigation Measure M-NO-3 – Siting of Noise-Generating Uses (PEIR Mitigation Measure F-5).</b> The project sponsor shall ensure that noise-reduction measures are incorporated into the project design's proposed noise sources to ensure that interior noise standards for the proposed residential unit, as a result of these noise sources, do not exceed 45 dBA during nighttime hours or 55 dBA during daytime hours. Noise-reduction measures shall be incorporated into building plans and approved by the	Project sponsor	Prior to issuance of first permit	Approval of project plans	Environmental Planning	Considered complete upon approval of building plans

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/Reporting Responsibility	Monitoring Schedule
Department of Building Inspection prior to the beginning of construction.					
<b>Project Mitigation Measure M-NO-4 – Siting of Noise-Sensitive Uses (PEIR Mitigation Measure F-4).</b> The project sponsor shall ensure that additional noise-reduction measures to reduce interior noise from exterior sources to 45 dBA are included in the design of the residential unit and are provided as part of the building plans and approved by the Department of Building Inspection prior to the beginning of construction.	Project sponsor	Prior to issuance of first permit	Approval of project plans	Environmental Planning	Considered complete upon approval of building plans
<b>Project Mitigation Measure M-AQ-1 – Construction NO<sub>x</sub> Emissions Minimization (PEIR Mitigation Measure G-1).</b> To control NO <sub>x</sub> emissions during construction, the project sponsor and contractors shall adhere to the following:	Project sponsor and contractor	Prior to issuance of first permit	Completion and approval of Construction Emissions Minimization Plan	ERO; Environmental Planning Air Quality Specialist	Considered complete upon approval of Construction Emissions Minimization Plan
<p>A. <i>Construction NO<sub>x</sub> Emissions Minimization Plan.</i> Prior to issuance of a construction permit, the project sponsor shall submit a Construction Emissions Minimization Plan (Plan) to the Environmental Review Officer (ERO) for review and approval by an Environmental Planning Air Quality Specialist. The Plan shall detail project compliance with the following requirements:</p> <ol style="list-style-type: none"> <li>1. All off-road equipment greater than 50 horsepower used during the demolition and grading phases shall be equipped with an EPA Tier 4 interim rated engine or fitted with after-market emission control devices such that</li> </ol>					

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/ Reporting Responsibility	Monitoring Schedule
emissions of NO <sub>x</sub> are equal or less than anticipated from an EPA Tier 4 interim rated engine.					
2. The project sponsor shall require the idling time for off-road and on-road equipment be limited to no more than <i>two</i> minutes, except as provided in exceptions to the applicable state regulations regarding idling for off-road and on-road equipment. Legible and visible signs shall be posted in multiple languages (English, Spanish, Chinese) in designated queuing areas and at the construction site to remind operators of the two-minute idling limit.					
3. The project sponsor shall require that construction operators properly maintain and tune equipment in accordance with manufacturer specifications.					
4. The Plan shall include estimates of the construction timeline by phase with a description of each piece of off-road equipment required for every construction phase. Off-road equipment descriptions and information may include, but is not limited to: equipment type, equipment manufacturer, equipment identification number, engine model year, engine certification (Tier rating), horsepower, engine serial number, and expected fuel usage and hours of operation. For VDECS installed:					

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/ Reporting Responsibility	Monitoring Schedule
<p>technology type, serial number, make, model, manufacturer, ARB verification number level, and installation date and hour meter reading on installation date. For off-road equipment using alternative fuels, reporting shall indicate the type of alternative fuel being used.</p> <p>5. The Plan shall be kept on site and available for review by any persons requesting it and a legible sign shall be posted at the perimeter of the construction site indicating to the public the basic requirements of the Plan and a way to request a copy of the Plan. The project sponsor shall provide copies of Plan to members of the public as requested.</p> <p>B. <i>Reporting.</i> Quarterly reports shall be submitted to the ERO indicating the construction phase and off-road equipment information used during each phase including the information required in A(4). In addition, for off-road equipment using alternative fuels, reporting shall include the actual amount of alternative fuel used.</p> <p>Within six months of the completion of construction activities, the project sponsor shall submit to the ERO a final report summarizing construction activities. The final report shall indicate the start and end dates and duration of each construction phase. For each phase, the report shall include detailed information required in A(4). In addition,</p>					

Adopted Mitigation Measures	MONITORING AND REPORTING PROGRAM				
	Responsibility for Implementation	Mitigation Schedule	Mitigation Action	Monitoring/ Reporting Responsibility	Monitoring Schedule
for off-road equipment using alternative fuels, reporting shall include the actual amount of alternative fuel used.					
C. Certification Statement and On-Site Requirements. Prior to the commencement of construction activities, the project sponsor must certify (1) compliance with the Plan, and (2) all applicable requirements of the Plan have been incorporated into contract specifications.					

## ATTACHMENT B: PROJECT IMPROVEMENT MEASURES

Improvement Measures	Responsibility for Implementation	Improvement Schedule	Improvement Action
<p><b>Project Improvement Measure I-TR-1 – Commercial Transportation Demand Management Program.</b> Per Section 163 of the Planning Code, the project sponsor should implement Transportation Demand Management (TDM) measures to reduce traffic generated by the proposed project and to encourage the use of rideshare, transit, bicycle, and walk modes for trips to and from the proposed project. In addition, prior to issuance of a temporary permit of building occupancy, the project sponsor should execute an agreement with the Planning Department for the provision of TDM services. Recommended components of the TDM program include the following:</p> <ul style="list-style-type: none"> <li>• Provide information in the commercial space lease agreements and common-area bulletin boards for transit service (Muni, Caltrain, and BART lines, schedules, and fares), information on where transit passes could be purchased, and information on the 511 Regional Rideshare Program;</li> <li>• Provide TDM training for the property manager and a designated TDM Coordinator;</li> <li>• Promote and coordinate ridesharing activities (i.e., establish a “ride board”) for all employees;</li> <li>• Facilitate access to car-share space provided on Channel Street through on-site signage;</li> <li>• Ensure that the points of access to Class 1 bicycle parking in the paseo include signage indicating the location of these facilities;</li> <li>• Ensure that bicycle safety strategies are developed along the sides of the property, avoiding conflicts with private cars, Mission Bay shuttles, and loading vehicles;</li> </ul>	Project sponsor	Prior to issuance of a temporary permit of building occupancy	Implement Transportation Demand Management (TDM); execute an agreement with the Planning Department for the provision of TDM services

Improvement Measures	Responsibility for Implementation	Improvement Schedule	Improvement Action
<ul style="list-style-type: none"> <li>• Provide TDM training to facilitate access to the Seventh Street bicycle route (Route 23) and other nearby routes (Route 36 on Townsend Street and Route 40 on 16<sup>th</sup> Street) via on-site signage;</li> <li>• Participate with other project sponsors in a network of transportation brokerage services;</li> <li>• Provide free or subsidized bikeshare membership to building tenants and employees;</li> <li>• Provide free or subsidized carshare membership to building tenants and employees;</li> <li>• Consider providing Clipper cards (with monthly Muni FastPass values loaded on) to building tenants and employees; and</li> <li>• Consider coordinating with Showplace Square or Mission Bay properties in the sharing of existing local shuttle services.</li> </ul>			
<p><b>Project Improvement Measure I-TR-2 – Queue Abatement Condition of Approval.</b> It should be the responsibility of the owner/operator of any off-street parking facility with more than 20 parking spaces (excluding loading and car-share spaces) to ensure that recurring vehicle queues do not occur on the public right-of-way. A vehicle queue is defined as one or more vehicles (destined to the parking facility) blocking any portion of any public street, alley, or sidewalk for a consecutive period of three minutes or longer on a daily or weekly basis.</p> <p>If a recurring queue occurs, the owner/operator of the parking facility should employ abatement methods as needed to abate the queue. Appropriate abatement methods will vary depending on the characteristics and causes of the recurring queue, as well as the characteristics of the parking facility, the street(s) to which the facility connects, and the associated land uses (if</p>	Project sponsor/ owner/operator	Ongoing during construction and operation	Abatement methods for recurring vehicle queues

Improvement Measures	Responsibility for Implementation	Improvement Schedule	Improvement Action
applicable).			
<p>Suggested abatement methods include, but are not limited to, the following: redesign of facility to improve vehicle circulation and/or on-site queue capacity; employment of parking attendants; installation of LOT FULL signs with active management by parking attendants; use of valet parking or other space-efficient parking techniques; use of off-site parking facilities or shared parking with nearby uses; use of parking occupancy sensors and signage directing drivers to available spaces; travel demand management strategies such as additional bicycle parking, customer shuttles, delivery services; and/or parking demand management strategies such as parking time limits, paid parking, time-of-day parking surcharge, or validated parking.</p> <p>If the Planning Director, or his or her designee, suspects that a recurring queue is present, the Department should notify the property owner in writing. Upon request, the owner/operator should hire a qualified transportation consultant to evaluate the conditions at the site for no less than seven days. The consultant should prepare a monitoring report to be submitted to the Department for review. If the Department determines that a recurring queue does exist, the facility owner/operator should have 90 days from the date of the written determination to abate the queue.</p>			
<p><b>Project Improvement Measure I-TR-3 – Participation Agreement.</b> The project sponsor should execute a Participation Agreement in the Mission Bay Transportation Management Association (TMA) as a condition of approval.</p>	Project sponsor	Upon completion/ occupancy	Execute a Participation Agreement in the Mission Bay TMA



Improvement Measures	Responsibility for Implementation	Improvement Schedule	Improvement Action
<p><b>Project Improvement Measure I-TR-4 – Provision of Access to First Responders.</b> If the secure access gates at the entrance to the breezeway on Hooper and Channel Streets cannot be opened by first responders, upon installation of the gates, the project sponsor should ensure access to first responders at all times. Additionally, if the bollards on Hooper Street near the POPOS cannot be unlocked and lowered by first responders, upon installation of the bollards, the project sponsor should provide access to first responders at all times.</p>	Project sponsor	Upon installation of the secure access gates and bollards	Ensure access to first responders at all times
<p><b>Project Improvement Measure I-TR-5 – Construction Management.</b> The project sponsor and construction contractor(s) should meet with the Traffic Engineering Division of the Department of Parking and Traffic (DPT), the Fire Department, Muni, and the Planning Department to determine feasible measures to reduce traffic congestion, including potential transit and pedestrian circulation disruption during construction of the proposed project. The temporary parking demand by construction workers would need to be met on site, on street, or within other off-street parking facilities. Construction workers should be encouraged to take transit, carpool, walk, or bike to the project site. Other measures should include sending construction schedule updates to adjacent businesses or residents; development and implementation of construction truck management to minimize the overall number of truck trips to and from the site; avoiding truck trips during peak hours; and coordination with any nearby construction sites to minimize overlapping peaks in construction trucks or other construction-related traffic.</p>	Project sponsor and contractor	Ongoing during construction	Determine feasible measures to reduce traffic congestion
<p><b>Project Improvement Measure I-TR-6 – Coordinate Car-Share Spaces.</b> The project sponsor should meet with SFMTA and car-share organizations to identify and approve two car-share spaces either on site or within 800 feet of the building site per Planning Code Section 166.</p>	Project sponsor	Upon completion/occupancy	Execute a carshare agreement for two carshare spaces

# REUBEN, JUNIUS & ROSE, LLP

January 8, 2015

## **By Hand Delivery**

President Cindy Wu  
San Francisco Planning Commission  
1650 Mission Street, Suite 400  
San Francisco, CA 94103

**Re: 100 Hooper Street  
Planning Case No. 2012.0203  
Hearing Date: Jan. 22, 2015  
Our File No.: 7284.01**

Dear President Wu and Commissioners:

This office represents UrbanGreen Devco LLC, the sponsor (“Project Sponsor”) of a project that will transform an underutilized 3.3 acre lot at 100 Hooper Street (the “Property”) into a creative mixed-use commercial campus with approximately 142,784 gross square feet (“gsf”) of new PDR space and 284,471 gsf of office and/or institutional use (the “Project”).

Project Sponsor has partnered with PlaceMade—an affiliate of SFMade—on the Project’s design and implementation, including creating a comprehensive PDR Business Plan designed to attract, support, and maintain a range of PDR users, from start-up entrepreneurs to established businesses. The Business Plan is attached as **Exhibit A**. The Project will feature three stand-alone buildings: a 56,402 gsf building will be 100-percent PDR (the “PDR Building”), and two other buildings will feature 86,382 gsf of ground-floor PDR space below three floors of office and/or institutional uses (the “North Building” and the “South Building”). The buildings will be separated by a 40-foot interior courtyard and a plaza fronting Hooper Street. Along with this approximately 41,600 square feet of privately-owned public open space, the Project includes improvements to Hooper Street and the public right-of-way along Channel Street. Project plans are attached as **Exhibit B**.

Supported by the adjacent California College of the Arts (“CCA”) and other neighborhood and PDR-oriented organizations, the Project represents a unique opportunity to leverage the economies of office space and add a substantial amount of new manufacturing and PDR space in the heart of San Francisco’s design district. The Project requires conditional use authorization for a Planned Unit Development pursuant to Sections 303 and 304 of the Planning Code, and an allocation of office space pursuant to Section 321. We look forward to presenting the Project to you on January 22.

James A. Reuben | Andrew J. Junius | Kevin H. Rose | Daniel A. Frattin  
Sheryl Reuben<sup>1</sup> | David Silverman | Thomas Tunny | Jay F. Drake | John Kevlin  
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**A. Benefits of the Project**

The benefits of the Project include the following:

1. **Creating a Significant Amount of New and Well-Designed PDR Space.** The Project will be the largest single block of new PDR space delivered in San Francisco in years. PDR units will be varied in size and attributes to ensure designers and manufacturers start, stay, and grow at the Project site. To meet the needs of a variety of tenants, PDR units will range from 750 gross square feet up to 10,000 gross square feet. Many PDR spaces will be organized around common and shared use spaces, encouraging collaboration between makers.
2. **Fostering Growth of Manufacturers and other PDR Users and Companies.** The Project will produce new PDR space that is viable and financially accessible to a wide range of PDR users, from small start-ups to more established businesses. The 100 percent PDR building will be owned, operated or controlled by PlaceMade, and will be financially accessible to entry-level and smaller manufacturers. A variety of marketing strategies aimed at PDR users and companies will be implemented, with an emphasis on outreach to community partners about available spaces, including neighbor CCA.
3. **Job Creation for Low-Moderate Income Residents.** The PDR Building alone is expected to generate up to 450 new manufacturing and PDR-related jobs, the vast majority of which will be accessible to residents from low-moderate income communities. Currently, over 70% of the manufacturing workforce in San Francisco is from lower income households and diverse communities. In collaboration with a variety of key community workforce partners, the Project team will develop transparent pathways for San Francisco residents into jobs with both PDR and office businesses at the Project site.
4. **Mixed-Use Commercial Campus.** The Project will create a mixed-use commercial campus that will encourage collaboration between CCA, design and technology businesses in Showplace Square, and tech and science-related businesses in and around Mission Bay. The design of the 284,471 gsf of office and/or institutional space in the North and South Buildings is meant to attract design-related technology and engineering firms and other companies—such as venture capital, professional services, and technology businesses—that seek to co-locate with one another as well as the Project’s PDR companies.
5. **Replacing Underutilized Site.** The Property is currently used for household storage in stackable shipping containers (a non-conforming use) and for open air truck rentals. There are no permanent structures located on the site. Pursuant to the terms of the lease, the 86,532 square feet of storage containers and temporary accessory office space will be removed when the current tenant’s lease expires, leaving the property totally vacant.

6. **Pilot Project for Recent Inclusionary PDR Legislation.** The Project utilizes newly-enacted Planning Code Section 219.1 to add new office/institutional uses on large, underutilized sites to support the development of new PDR space in PDR-zoned districts. The inclusionary PDR legislation—co-sponsored by the Mayor and five Supervisors—was unanimously approved by both the Planning Commission and the Board of Supervisors and became final in mid-2014. The Project is effectively the pilot program for this legislation. It meets all Planning Code Section 219.1 requirements related to existing site conditions and location, as well as the future mix of office or institutional space and PDR uses.
7. **New Open Space and Street Improvements.** Although the Project has no open space requirement, it will provide 41,600 sq. ft. of privately-owned public open space that links the CCA Campus and Showplace Square to Mission Bay. The Project's streetscape plan calls for numerous improvements to the public realm, including new bicycle racks, street bulb-outs on both Hooper and Channel Streets, new planting areas, and benches. The Project will add more than 50 new street trees around the site perimeter and Project Sponsor has offered to place existing overhead utilities underground along its Hooper Street frontage.
8. **Widespread Project Support.** The Project has widespread support from neighbors, industry leaders, and non-profit organizations. CCA, the Project's immediate neighbor, strongly supports the Project. SFMade and its affiliate PlaceMade are strategic partners in the Project's program design and PDR implementation. The Potrero Hill Boosters, the Potrero Merchants Association and the Dogpatch Neighborhood Association support the Project, as does SPUR. A summary of Project Sponsor's community outreach is attached as **Exhibit C**. Letters of support are attached as **Exhibit D**.

## **B. Project Description**

The Property is currently used for household storage in stackable shipping containers and for open-air truck rentals. The streets and sidewalks around 100 Hooper are largely unimproved. Pursuant to the terms of the lease, when the current tenant's land lease expires the existing non-conforming storage and truck rental uses will be terminated, and the moveable storage containers and temporary accessory office space will be removed, leaving the Property totally vacant.

The Project will involve ground-up construction of three four-story buildings built to a maximum permitted height of 58 feet. It includes approximately 142,784 gsf of PDR space. The PDR Building will be located at the western edge of the site, adjacent to CCA's campus and fronting the plaza that faces directly onto Hooper Street. It will be owned, operated, or otherwise controlled by PlaceMade or a similar mission-driven nonprofit. Featuring high ceilings on the first two floors, the PDR Building is designed to offer either shared common and/or traditional rentable PDR spaces featuring roll-up doors opening directly onto the building's exterior to facilitate loading.

The four-story North and South Buildings—located closest to 7<sup>th</sup> Street—will include large floorplates with adjacent side cores separated by the 40-foot interior linear courtyard (the “Alley”). The ground floors of each building will contain 86,382 gsf of PDR spaces ranging in size from 750 to 10,000 square feet, and are designed to accommodate more established PDR businesses. The Project will also offer shared accessory retail space to enable multiple PDR users to showcase products together for sale or demonstration. Upper floors will have 284,471 gsf of office and/or institutional use in an open floorplate design that can accommodate one or more tenants.

The Project includes approximately 41,600 square feet of open space. The Alley—which can be accessed by vehicles to serve as an exterior loading corridor for ground-floor PDR users in the North and South Buildings—will link to a privately-owned, publicly-accessible plaza on the Property’s southwestern corner. This plaza is adjacent to and will interconnect with CCA. The Project’s streetscape plan calls for numerous improvements to the public realm, including new bicycle racks, a street bulb-out along Channel Street, and new planters, bulb-outs and benches along 7<sup>th</sup> Street and Hooper Street.

### **C. PlaceMade and the PDR Business Plan**

Project Sponsor has partnered with PlaceMade on the Project’s design and implementation, including the comprehensive PDR Business Plan attached as **Exhibit A**. Launched in late 2013, PlaceMade is SFMade’s non-profit industrial development initiative designed to enable both public and private-sector projects to create and secure ample modern and affordable space for manufacturers. SFMade is a 501C3 non-profit organization supporting over 500 manufacturing businesses located in San Francisco.

As noted above, the PDR Building will be owned, operated, or otherwise controlled by PlaceMade that will manage it essentially as an organic incubator for start-up or early stage manufacturers, and through SFMade will provide on-site support services for the campus at large. The Project Sponsor is currently engaged in exclusive negotiations with PlaceMade to finalize a deal structure that will enable PlaceMade to own, operate or otherwise control the building once it is constructed and through this arrangement, the PDR Building will be financially accessible to entry-level manufacturing businesses. PlaceMade is also assisting with PDR site planning, building design and functionality, project branding, and community outreach and engagement.

The PDR Business Plan envisions a design and manufacturing organic incubator for consumer products, with a strong design and technical component. The Business Plan outlines strategies for providing flexible PDR space typology mix; designing office spaces attractive to design-related technology and engineering firms that seek to be co-located with PDR companies; engaging strategic partners at all phases of development and in ongoing operations; and focusing on access and pathways to PDR-related jobs at the Project site. A flexible PDR space mix spread throughout the Project’s three buildings will encourage users to start, stay, and grow at the Project Site. The Business Plan contains a

detailed workforce and hiring strategy program, and the Project is expected to generate up to 450 PDR-related jobs. Established potential PDR tenants and start-up makers will be targeted through a variety of marketing strategies.

**D. Planned Unit Development (“PUD”) Modifications**

Three minor modifications from the requirements of the Planning Code are necessary in order to implement a Project design and program delivery adequately suited to the commercial mixed-use nature of the Project and consistent with the PDR Business Plan.

The Project includes eleven (11) upper-floor tenant balconies on the North and South Buildings that project over the public right-of-way. Each balcony projects three feet into the right-of-way for a distance of 30 feet, exceeding the permitted length of a projection, and requires a PUD modification. Allowing direct outdoor access for upper-floor employees, the projections are minimal when compared to the length of each building wall. Each balcony on the North Building covers approximately 6.6% of the building length; for the South Building, the percentage is 5.7%. Also, the building incorporates design features that minimize any impact on the pedestrian realm. These include multiple 30-foot setbacks built into each upper story; spreading the balconies relatively evenly throughout each floor while also locating the largest number of balconies on the highest floor; and staggering their location on each floor. (See **Exhibit B**, slides A2.02b – A2.04b)

The Planning Code would require five off-street loading spaces for the Project. Although a total of eight loading spaces will be provided, five of the eight will be located curbside, and one of the three off-street spaces will be nine—rather than ten—feet wide. The Project’s loading program is intended to meet the needs of PDR companies that are expected to primarily use box-truck loading from the on-street spaces. Most start-up users in the PDR Building are not expected to need traditional off-street loading spaces. Roll-up doors on the ground floor of the various buildings will have direct access to both the three traditional off-street loading docks and the five on-street loading zones, providing flexible options for PDR users in those spaces. (See **Exhibit B**, slide A1.03)

The Project also requires a modification from the car-sharing requirement. The Planning code requires two off-street car sharing spaces for the Project. The Project will provide two car-share parking spaces at curbside instead of off-street. This will make the spaces easier to access by members of the public on a 24-hour basis than if the spaces were located in the on-site garage. For PDR users and CCA students carrying heavy and bulky equipment, having the car sharing spaces located curbside will be particularly useful, as the curb will be easier to access than the on-site garage.

**E. Widespread Support for Project**

Project Sponsor has worked with neighbors, organizations and community groups throughout the planning process. A summary of this outreach is attached as **Exhibit C**. Project Sponsor has worked closely with its neighbor CCA since the Project's inception. CCA is a strong supporter of the Project, which will provide direct tangible benefits to its students and alumni. As explained above, SFMade and its affiliate PlaceMade are strategic partners on the building's design and the PDR Business Plan. PlaceMade intends to own, operate, or otherwise control the PDR Building once it is constructed, ensuring its mission of incubating start-up manufacturers and PDR users will be maintained. Three local community groups—the Potrero Boosters Neighborhood Association, the Potrero-Dogpatch Merchants Association and the Dogpatch Neighborhood Association have all written support letters on the Project. SPUR, San Francisco's most widely recognized urban policy think-tank, similarly expressed support for the Project. Letters of support are attached as **Exhibit D**.

**F. Conclusion**

The Project presents a unique opportunity to cluster a wide range of PDR users with each other, and provide a location for design-related office and/or institutional tenants that wish to be co-located with the Project's PDR companies. Delivering the largest single block of new PDR space to San Francisco in years, the Project has a comprehensive PDR Business Plan created in partnership with San Francisco's leading support organization for manufacturing, SFMade. The Project will serve as a core location in San Francisco to ensure the continued growth of urban manufacturing and most importantly, jobs. The Project will promote the long-term sustainability of PDR users, supported by office and/or institutional uses that are expected to be filled with tenants drawn to the Project's design- and manufacturing-based PDR program. We urge you to approve the Project.

Very truly yours,

**REUBEN, JUNIUS & ROSE, LLP**



Daniel Frattin

Enclosures

President Cindy Wu and Commissioners  
San Francisco Planning Commission  
January 8, 2015  
Page 7

cc (by email):

John Rahaim, Planning Director (John.Rahaim@sfgov.org)  
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# Exhibit A

## Hundred Hooper Street: Draft PDR Business Plan

### Code Requirements Matrix

PDR Business Plan Features as listed in Planning Code	Summary from Hundred Hooper PDR Business Plan	Where to Read More
(A) Overall strategy to incorporate PDR businesses, including specifying which kinds of PDR businesses are the target for the development	The PDR business at Hundred Hooper will be physically integrated into the project through a dedicated 56,500 sqft building and by occupying the ground floors of Hooper North and South Buildings in approximately 80,000 sqft for a total of 140,000 sqft. As a whole, Hundred Hooper will accommodate a broad range of PDR companies from emerging entrepreneurs, to early stage companies and start-up manufacturers, and provide much needed expansion space for more mature companies.	Pg. 5, Section 1; Appendix A for Manufacturing Uses and Use Map
(B) A description of the kinds of non-PDR businesses intended for the site and a plan for how they will co-exist with the PDR businesses and any strategies required to achieve this balance	The non-PDR businesses intended for the site are design-related technology and engineering firms – with an emphasis on hardware and software design related to physical product development- and/or other allied companies such as venture capital, professional services, educational and with PDR companies to optimize the synergistic economic and other benefits of clustering.	Pg. 7, Section 2
(C) A description of how the site's marketing and outreach plan will effectively target these same PDR businesses	Hundred Hooper will reach the design-related businesses, physical product development and small manufacturers through multiple listing avenues: the Hundred Hooper website and SFMade's website listing of available production space, networking and listing support through all community partners, and events to attract companies to the site generate excitement and building community.	Pg. 6, Section 1
(D) A description of how the development's design is suited to PDR businesses	The PDR spaces were designed with extensive input from SFMade, which represents over 500 manufacturing firms in San Francisco, to directly respond to the needs of both existing and emerging manufacturers in San Francisco. All the PDR spaces in Hundred Hooper will be concrete and steel with ample floor to ceiling clearance. Ground floor units will have roll up doors and all units will have appropriate access to truck loading and infrastructure appropriate for PDR uses.	Pg. 7, Section 2
(E) A description of the rent/purchase price proposed by the developer for the PDR spaces and the approach to keep these rents accessible to PDR tenants over time	The 4 story standalone PDR building is intended to be owned, operated or otherwise controlled by a 501C3 non-profit to ensure long term affordability. While Hooper North and South will reflect market rents, these will still be reflective of the generally lower rents that the PDR market can bear versus office rents.	Pg. 7, Section 2
(F) A detailed overview of the workforce and hiring strategy for the PDR businesses on the site, as well as for the non-PDR businesses, including how the project sponsor will abide by City programs such as the First Source Hiring Program; how the project sponsor might utilize other local, State, and federal subsidized hiring programs such as work opportunity tax credits, Jobs Now!, Hire SF, and the California new employment tax credit set forth in Chapter 93 of the California 2013-2014 legislative session; and how the project sponsor will inform its tenants about other relevant public programs	A key to the success of Hundred Hooper's workforce strategy will be the development of strong community partners, with deep reach into communities of need. Beginning with the project's partners PlaceMade / SFMade and the Office of Economic and Workforce Development, the project will identify and engage additional workforce partners (See Appendix B). Through our partners, we will seek to utilize hiring incentive programs whenever program (including JobsNow, Work Opportunity Credit, the Mayor's Summer Jobs Program, and other current local, State, and Federal programs). The project will also participate in the City's First Source Hiring Program, which advertises entry-level jobs to members of traditionally underserved communities. A detailed list of current workforce/hiring incentives, and how they might be applied to this project, is included as Appendix C.	Pg. 9; Appendix B and C
(G) A detailed community outreach plan, including a plan for engaging any specific community partners in the development, tenanting of the project, and ongoing management of the PDR portions of the property	The Hundred Hooper development team has a key strategic alliance with PlaceMade – a division of SFMade - to ensure the design of the campus and various commercial spaces unlocks potential synergies with the local manufacturing sector. The surrounding community, including California College of the Arts (CCA), has had strong input to the project through an abundance of presentations at community meetings and open house at the project site. The community will involved on an on-going basis. The PDR building is intended to be owned, operated or otherwise controlled by a 501C3 non-profit to ensure long term affordability.	Pg. 9, Section 4, Appendix B

# **Hundred Hooper Street: Draft PDR Business Plan**

*Updated: November 20, 2014*

## **Background**

Hundred Hooper is a mixed-use commercial project that envisions the marriage of applied art and product design, engineering and prototyping, and manufacturing uses in a vibrant and collaborative campus setting, adjacent to the California College of the Arts and centered in the Showplace/Potrero design district. As manufacturing and other “Production, Distribution, and Repair” -PDR - uses will be a critical component to the project, the project will implement a robust PDR program and operating model to fulfill both the site’s requirement of at least 1/3 PDR and, more broadly, the project’s aspirations to deliver an integrated Design-Arts-Manufacturing capacity that will sustain a diverse array of businesses and local jobs for individuals from all walks of life and provide the City of San Francisco an anchor development to house its growing digital design manufacturing sector.

The project includes approximately 140,000 gross square feet of PDR space located in high ceiling ground floor spaces with mezzanines as well as a stand alone PDR building based on updated plans dated November 13<sup>th</sup> 2014.

Informed by the opportunities presented by adjacency to California College of the Arts (“CCA”), by market data on San Francisco’s growing manufacturing sector from SFMade and the City of San Francisco, and through a strategic partnership with PlaceMade - SFMade’s industrial real estate initiative- the vision for Hundred Hooper Street is to become a place where design-driven manufacturers can start, stay, and grow – in effect an organic incubator/accelerator. Some of these manufacturers are expected to be direct extensions of products and businesses initially launched by CCA students/faculty and others in the City’s rich design sector, while many will come from SFMade’s network of San Francisco-based growth-stage manufacturers. Hundred Hooper will also attract digital and advanced product design and manufacturing firms from other parts of the Bay Area and beyond who seek to cluster together with each other, and near the resources (such as product design and development firms, capital providers, entrepreneurship support organizations) that only San Francisco offers.

To capitalize on the growth needs of our tenants, Hundred Hooper will additionally facilitate commercialization of ideas / new product designs through a variety of on-site support resources, helping product-inventors and designers make the leap to forming viable and sustainable SF based manufacturing businesses. As a whole, Hundred Hooper will accommodate a broad range of PDR companies from emerging entrepreneurs, to early stage companies and start-up manufacturers, and provide much needed expansion space for more mature companies. The entire Hundred Hooper ecosystem is expected to benefit from a variety of on-site support services including workforce development programs that provide important job pathways for diverse San Francisco residents.

## Summary Recommendations

1) **Target Consumer Product and Digital-Advanced Manufacturing.** Position Hundred Hooper as a design/manufacturing accelerator both for consumer products with a strong design or technical component and to house the region's growing advanced/digital manufacturing sector, with an emphasis on products - such as "wearable" technology or consumer desktop devices like 3D printers - that capitalize on the Bay Area's prowess in design software, hardware development, industrial design, medical device innovation, and digital manufacturing technology.

2) **Provide a Flexible PDR Space Typology Mix.** Program and build a diverse range – in terms of size and attributes- of PDR spaces, with a goal of providing space for designers and manufacturers to start, stay, and grow. Across the campus, PDR spaces will be organized around common spaces to encourage collaboration and provide shared use space such as accessory retail, shared PDR spaces and/or shared showroom spaces based on need.

3) **Develop a Complementary Non-PDR Adjacency Strategy.** Design office spaces attractive to design-related technology and engineering firms – with an emphasis on hardware and software design related to physical product development- and/or other allied companies such as venture capital, professional services, educational, and allied non-profits who seek to be co-located with one another and with PDR companies to optimize the synergistic economic and other benefits of clustering.

4) **Engage Strategic Partners at All Phases of Development and in Ongoing Operations:** Hundred Hooper's initial strategic partner, PlaceMade – a division of SFMade - will assist with PDR site planning, building design and functionality, PDR branding, and community outreach and engagement. The PDR building is intended to be owned, operated or otherwise controlled by a 501C3 non-profit to ensure long term affordability. Over time, through these strategic partnerships, the project will provide various programs and services to support and accelerate the growth of PDR companies and to maximize access to jobs by underserved communities in San Francisco.

5) **Focus on Access/Pathways to Jobs.** In collaboration with community workforce partners, develop clear job pathways for SF residents into jobs at businesses at Hundred Hooper. Special emphasis will be placed on partnerships that reach the City's low-moderate income residents and that support job skill development needed in the emerging digital design / advanced manufacturing sector as well as more traditional manufacturing, distribution, or repair skills.

6) **Anchor a District.** Provide organizing capacity to catalyze a San Francisco "Design, Arts, and Manufacturing District" in Showplace Square/Lower Potrero. Focus on deepening Hundred Hooper's strategic relationship and proximate location to CCA as a starting point, engaging the City of San Francisco, community organizations, and other neighboring PDR developments in the process over time.

### **Industry Analysis: San Francisco's State of Local Manufacturing 2013**

According to the most recent business census data, San Francisco currently has 784 registered manufacturers. According to SFMade's most recent *State of Local Manufacturing Report*<sup>1</sup> -which is developed annually in partnership with the Office of Economic and Workforce Development and is based on extensive "on the ground" data from individual manufacturers - the local manufacturing sector continues to grow by all measures and has been, in fact, picking up speed. The subset of registered manufacturers currently producing some of all of their produce in San Francisco proper is now 552 companies.

San Francisco manufacturers employ an estimated 4,800 people, the majority of whom live in San Francisco and 70% of which are from low-income households and may have additional barriers to employment including English as a second language. In 2013, San Francisco manufacturers added 13% net new jobs, growing at an even greater pace as compared with job growth figures of 10.5% in 2011 and 12.5% in 2012. While there has been a recent uptick in the percentage of employees residing in the East Bay - most likely related to SF's current housing crisis- a majority of the workforce still live in San Francisco. Among low-income workers – whether San Francisco residents or commuting from elsewhere - more than 80% rely on public transit to get to work.

San Francisco continues to serve as a powerful incubator for new products and new companies, with 54 manufacturers (10%) having begun operations in just the past 18 months. At the same time, approximately 15% of local manufacturers are more than 20 years old, having survived through multiple generations of leadership and economic changes. While the two largest sectors remain apparel/sewn products and food/beverages, a third cluster of companies has been forming: companies that design and produce consumer devices that are either used or processed in collaboration with technology (such as an iPad case or mobile phone holder) or that incorporate technology into the product itself (such as a desktop 3-D printer or computer-controlled photographic equipment). The unifying concept of this sector is the use of digital design and digitally-enabled manufacturing processes in the development and production of the products. For the purposes of this report, we shall call this new sector the "digital design / advanced manufacturing" cluster.

Of the companies surveyed, over 85% expected to be profitable in 2013. And a vast majority of the companies are planning for further growth in the upcoming year – with their top challenges reported as of finding growth capital and finding available, well-located industrial space for expansion. The majority of San Francisco manufacturers currently rent their spaces and almost 50% reported plans to expand space or the need to find new space within the next 12 months.

San Francisco's manufacturers collectively make a big impact on the local economy: in 2013, San Francisco's local manufacturers drove over \$395 million in direct revenue into the local economy plus another \$750 million of indirect economic activity. San Francisco manufacturers add further economic impact to the Bay Area economy: 79% produce the majority of their

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<sup>1</sup> The annual *State of Local Manufacturing Report* is based on SFMade's annual survey of over 500 local manufacturers. The Report is released in partnership with the City of San Francisco. The most recent report was published in November, 2013 and is available at <http://www.sfmade.org/news/the-annual-state-of-local-manufacturing-13/>

product through a combination of San Francisco and Bay Area manufacturing partners and suppliers. These tight supply chain connections are a strong incentive for manufacturers and their partners to locate in close proximity to one another and to locate in San Francisco.

### **The Market for Industrial Space in the Showplace Square/Potrero Hill area**

There is strong demand for modern industrial-zoned space in the “inner ring” of San Francisco’s industrial areas – specifically in SOMA, the Mission, the Central Waterfront, and Mission Bay / Showplace Square. The types of space in highest demand are sized between 1,000- to 2,000 square feet. In these spaces, located in reasonable proximity to both downtown and/or public transit, companies are willing on average to pay slightly higher than average PDR rents, – currently trending to up to \$2.00 per square foot<sup>2</sup> - especially if spaces have access to shared common facilities / collaboration spaces and include or offer accessory office and/or integrated retail or showrooms (for those companies producing consumer products). As the size of the local manufacturing sector - and the size of some manufacturers – has grown - increasing pressure is being placed on San Francisco’s already tight commercial real estate market. SFMade’s *Places to Make* program, which works with manufacturers to find and lease (or buy) space, has placed more than 32 companies to date in spaces ranging from 500 sqft to more than 60,000 sqft over the past two years. In 2013 however, the Places to Make Program only placed 13% of the companies that needed more space.

The lack of modern and well-located PDR space has become a crisis in San Francisco and especially in the inner ring neighborhoods with good access to public transit. At this time, industrially zoned properties closer to the downtown core have especially limited vacancies. In SOMA and the Central Market corridor in particular– which do not enjoy the same degree of zoning controls for dedicated industrial use as other industrial areas and where there is stiff competition from other uses – rents are high and vacancies almost non-existent. In the PDR-1 zoned areas of the Northeast Mission, Potrero/Showplace, and the Dogpatch/Central waterfront – neighborhoods that are all relatively transit-accessible and proximate to residential populations - there are very few vacancies, especially in the few large, multi-tenant buildings that offer smaller spaces with the potential for manufacturers to cluster together. On the other extreme, the Bayview District continues to offer more space – but for some manufacturers, the lack of transit and lack of proximity to downtown are strong disincentives.

Of the companies placed into space by SFMade in 2012, the majority of space searches were under 5000 square feet and the 1500 square feet “starter space” was in highest demand. As there are few stand-alone buildings offering such small spaces, it is becoming increasingly important to foster shared spaces amongst the manufacturers and, where possible, to design new or to subdivide existing larger buildings to suit smaller companies.

In evaluating options, smaller manufacturers favor locations well served by public transit (both for their own workforce and often also for visitors) and - for those companies who retail directly to their end customers - space that includes the potential for “accessory” factory retail is also important. Manufacturers also tend to want to cluster near one another, if not in the same building, in vibrant districts such as the Dogpatch/American Industrial Center or the Northeast Mission aka “Mission Creek.”

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<sup>2</sup> San Francisco Business Times 8/28/14

By industry, the apparel manufacturing sector remains clustered in SOMA and the Mission – proximate to their largely Chinese and Latino workforce- while larger food manufacturers tend to locate further south, where industrial rents are less expensive, including the Central Waterfront and the Bayview. The other industries – including green products, industrial arts, and digital design/manufacturing - are scattered throughout the PDR-1 districts and SOMA – with an increasing concentration in the Dogpatch and the Northeast Mission.

The proposed Hundred Hooper site offers an ideal location for PDR space: near downtown with relatively good (and improving) public transit options and bike and pedestrian access options. The project will also be served by the Mission Bay Shuttle, which runs on 10-15 minute headways during commute hours and provides access to the Powell Street BART/MUNI Station, Caltrain, and T-Third light rail line. In addition, the site is literally at the physical intersection of an arts district (anchored by CCA), a life sciences campus (Mission Bay), various technology companies and existing manufacturing clusters in Potrero Hill and Dogpatch. The neighborhood has great access to all of the major freeways including I-280 and 101 to the south, and I-80 to the east. And 7<sup>th</sup> Street, a city designated truck route, provides a bike route that connects directly to downtown.

## **PDR Strategies at Hundred Hooper**

### **1) Target Consumer Product and Digital-Advanced Manufacturing.**

Hundred Hooper will seek to provide much needed expansion space for growing consumer product sectors in San Francisco – focusing on companies making garments and other sewn products such as bags and leather goods (33% of the City’s current manufacturing sector), furniture and green building products (12%), small accessories and jewelry (10%). All of these sectors also align strongly with existing programs at CCA (fashion, architecture, and industrial design). At the same time, **Hundred Hooper will also seek to become the City’s de facto locus for the City’s emerging desktop/digital manufacturing sector** – products that capitalize on the Bay Area’s prowess in design software, hardware development, industrial design, medical device innovation, and digital manufacturing technology.

According to SFMade, over the past 3 years, the designer/maker/creative community in San Francisco has been quietly developing all sorts of new products – in art studios, at local universities like California College of the Arts, and in shared maker spaces like NoizeBridge and Techshop. Companies like eMotimo, which developed an innovative computer-controlled photography device, Type A Machines, which makes 3D printers and was incubated at Tech Shop, and the Other Machine Company, which designs and manufactures desktop CNC machines in the Mission all represent a vibrant next generation of San Francisco design and manufacturers. All three companies trade both on the creative and engineering prowess of the San Francisco design community and on the new digital design and “desktop” manufacturing platforms of what some call the Third Industrial Revolution. San Francisco’s emerging advanced manufacturing sector has been mirrored on a national level. The Obama Administration has placed an increased focus on stimulating local manufacturing and re-shoring America’s industrial sector. This focus has been evidenced in campaigns such as the *Make It in America Initiative*<sup>3</sup>, as

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<sup>3</sup> <http://www.dems.gov/issues/make-it-in-america>

well as by a steady stream of federal funding opportunities focused on advanced and digital manufacturing.

**Digital/Desktop tools– computer-controlled design and manufacturing tools such as 3-D printers, laser cutters, or CNC machines - are transformative technologies:** they play squarely into the strengths of San Francisco’s nimble design community and manufacturers, enabling **rapid design new product, small-batch manufacturing**, and the **customization** of individual products to individual customers. These same technologies are clearly driving both new company formation in San Francisco and even re-location: SOMA-based satellite manufacturer Planet Labs deliberately moved to San Francisco after they launched to be in closer proximity to a skilled workforce, capital, and other allied companies.

Similar use of technology is being incorporated into medical device manufacturing. This latter component is especially pertinent, given the proximity of Mission Bay and UCSF. Currently, the majority of the medical devices and other products invented at Mission Bay are prototyped elsewhere. Hundred Hooper would offer the production space necessary to enable new medical devices – such as orthopedics, artificial limb, robotics, and similar endeavors that combine design, science and technology – to be prototyped and produced in short production runs in San Francisco. An additionally related sector is the emergent area of so-called “flex-hybrid” or “wearable” technology – a new field which includes small consumer-oriented healthcare devices such as pedometers or devices that measure blood sugar as well as products made with “smart” fabrics that change color or react to body temperature. These evolving new product clusters are further supported by adjacency to CCA, which now houses both a design lab as well as a textiles “innovation library” to support new product development and commercialization.

At the same time, **there is an ever strengthening connection between more traditional consumer product manufacturers in San Francisco and digital technologies:** companies ranging from jewelers, to furniture-makers to manufacturers of wood or metal accessories have all begun to incorporate these same technologies into their process. Hundred Hooper will become the center of San Francisco’s emerging digital/desktop manufacturing cluster – by focusing on designing the kinds of collaborative spaces and co-located company ecosystem that will both enable new products and technologies to be brought to market and enable existing consumer product companies to make the leap to incorporate these new technologies into their own processes.

Hundred Hooper will reach these PDR tenants through a variety of marketing strategies aimed precisely at consumer product/desktop manufacturing companies we are trying to attract. There are three main prongs to our marketing strategy:

- 1) Multiple listings – the available spaces will be made public on multiple sites including Hundred Hooper’s website ([www.hundredhooper.com](http://www.hundredhooper.com)) which will include space listings when the space is completed; SFMade’s production space location listing on [sfmade.org](http://sfmade.org); and on a commercially available site such as Co-Star comps.
- 2) Networking through community partners – Hundred Hooper will notify and request posting of listing from the entire network of community partners about available space, including, but not limited to California College of the Arts (CCA), People Wear SF, Fashion Institute of Design, Mayor’s Office of Economic and Workforce Development, San Francisco Craft Brewer’s Guild and TechShop.



- 3) Events – Hundred Hooper will create events near the project site to draw potential PDR tenants to the space, generating excitement about the project, and allowing multiple potential tenants to become familiarized with the space and network with each other as a way of building the ecosystem of companies and secure the right mix of tenants for Hundred Hooper.

**The consumer product/desktop manufacturing focus for Hundred Hooper will be a powerful job engine.** Both traditional consumer product manufacturers and digital/desktop manufacturing have proven to naturally create a wide spectrum of entry-level jobs. For example, Type A Machines has hired more than 40 people, the majority of whom are semi-skilled machine tool operators, since their launch 18 months ago. Much of the benefit of new digital design and manufacturing technology has come from exceedingly simple user interfaces, enabling even a novice to quickly learn how to operate a machine. As a whole, desktop manufacturing has actually lowered barriers to entry for low-income entrepreneurs, as the equipment is far less expensive than traditional manufacturing equipment as well as lowered the initial training/skill required for entry-level workers. This in turn means that a more diverse array of potential job seekers will gain access to employment opportunities. An additional benefit is that traditional manufacturers who incorporate desktop manufacturing techniques are able to dramatically reduce their design to manufacturing cycletime, as well as reduce the amount of physical space they need to operate in, making them more competitive and able to support the higher costs of operating in a city like San Francisco. In 2013, SFMade manufacturers who used digitally-enabled design-manufacturing processes and who produce products allied with these technologies comprise the third-largest segment of SFMade companies and added 18% net new jobs.

## **2) Provide a Flexible PDR Space Typology Mix**

**Hundred Hooper will build a range of well-designed PDR spaces that will provide space for PDR users at all stages of development – to enable PDR tenants to start, grow, and stay.**

Smaller PDR users will be clustered together in a dedicated, stand alone PDR building, adjacent to CCA, to house emerging entrepreneurs, manufacturers and/or makers, artists, and other creatives including recent graduates from CCA. This approximate 56,500 sqft building – offering 4 stories of affordable and flexible PDR units- include communal spaces on each floor designed to provide social connection and collaboration among the building’s occupants. These spaces are appropriate for manufacturers and PDR users and specifically designed for their needs with a base concrete building design and including features such as high ceilings on the first two floors and moderately high ceilings on the upper two floors and a heavy duty service type elevator. At the ground floor, the building is designed flexibly offering either shared common and/or accessory areas or traditional rentable PDR spaces featuring roll up doors to the building’s exterior. The open floor plan concept on the first two floors is designed to flexibly meet the space needs of PDR users with the ability to demise the units into 1,000 – 2,500 square feet units. Artists, product inventors, and early stage companies will all benefit from the affordable rents of non-profit owned spaces, married with the ability to potentially share common areas and quite possibly even equipment.

For larger and more mature users, the project also offers up to approximately 80,000 gross sqft of high ceiling “mezzanine-style” PDR spaces that can accommodate growing and/or already established PDR companies, especially those with accessory office and related space needs. The project has designed spaces – ranging from 750 sqft up to 10,000 sqft – to meet the needs of specific tenants and to particularly respond to SFMade’s observation of the significant need for

1,000 to 1,500 SF PDR spaces in a close-in SOMA location. These spaces have been designed specifically for PDR users with high ceiling heights, direct access to loading docks, easy truck access, and roll-up doors among other infrastructure features specifically appropriate for PDR users. Overall the project aspires to offer a wide enough range of unit types and rents to enable companies to start, to grow over time, and to stay on site into maturity.

Appendix A includes a matrix of PDR uses showing infrastructure requirements of each use. Following that is map of Hundred Hooper PDR spaces with the ideal uses mapped to specific spaces.

We are modeling Hooper’s PDR ecosystem after the success of the American Industrial Center (AIC), located in a former can-manufacturing factory, with close to a million sqft of leasable space in Dogpatch. The AIC has, over the years, attracted a vibrant cluster of manufacturers – including a large concentration of artisan food and beverage makers; multi-media companies, including photography and videography; architecture and design firms; arts use, non-profit, and educational organizations; and more. The AIC has come to be viewed by small and earlier stage manufacturers as the most desirable location in San Francisco, not only because they offer smaller “starter” spaces but because of the strong sense of community that exists amongst the tenants. The AIC also houses larger companies – that started on site, and over the years have grown in-place, taking increasing amounts of space. As an example, Recchuiti Confections started more than 10 years ago with 1000 sqft and now commands more than 12,000 sqft of space.

Shared and/or common spaces will also play an important role at Hundred Hooper. Modern manufacturing in San Francisco is largely about new models of collaboration and shared economy. In many cases, this model has been fueled by necessity: ever more companies crowding into small spaces, or needing access to equipment that cannot be justified for only a small manufacturer. But increasingly, urban manufacturing benefits from shared models – and companies seek them out even after they have grown to the point where they could afford dedicated assets/space/retail/workforce. At Hundred Hooper, while some of the larger tenants may have their entire operations self-contained in their spaces, the project also includes outdoor landscaped common areas that facilitate serendipitous contacts both among the PDR users and between PDR and office tenants. The project may also offer shared accessory retail space to enable multiple PDR users – who we expect will largely be making consumer products – to showcase products together for sale or demonstration. SFMade has also expressed a willingness to consider a branded “SFMade” retail showroom if there is sufficient interest among the PDR tenants to pursue the concept.

**Hundred Hooper PDR Space Requirements (based on potential tenant feedback)**

- Smaller spaces 500sqft – 2500sqft most in demand (1500 sqft is sweet spot per SFMade)
- Clustered in the same building or in close proximity to other similar companies – including other manufacturers but also other allied sectors (design, materials research, engineering labs, venture capital, professional / business services, and non-profit support organizations)
- Adequate mechanical systems including venting and noise abatement strategies
- Truck/loading access – including a freight or dual purpose service elevator to access upper-floor PDR spaces (if any)
- **Ample common space for collaboration** – meeting rooms, smaller collaboration spaces, quiet spaces for phone calls
- Some interest in shared retail or showroom/demonstration space, but less so than for pure consumer products manufacturers
- Proximity to larger maker/hacker facilities, such as Tech Shop, Noizebridge, or university prototyping facilities is a plus (does not have to be on-site)
- Access to public transit in a pedestrian/bike friendly neighborhood
- Blended rents (including accessory space, common space, amenities): Between \$1.65-\$2.50 sqft

### **3) Develop a Complementary Non-PDR Adjacency Strategy.**

Hundred Hooper appreciates the **unique and powerful opportunity to not just “co-locate” PDR and office tenants, but to build a genuine ecosystem of businesses that authentically benefit from one another’s proximity, also referred to as clustering.** At Hundred Hooper, the team will focus on marketing to and attracting design-related technology and engineering firms – with an emphasis on hardware and software design *related to physical product development*- and other allied companies such as venture capital, professional services, educational, and allied non-profits who seek to be co-located with one another with arts, design, and advanced manufacturing uses. Examples of the kinds of office tenants the project aspires to include are companies such as Autodesk (software for product design), IDEO (product design innovator), Gensler (architecture and industrial design), Pinterest (powerful social tool for product storytelling), ETSY or Shopify (providing on-line shopping cart technology for makers) and firms that might assist the business of growing manufacturing such as CircleUp (angel investment), Manex (technical assistance provider for manufacturers), or Pacific Community Ventures (business advising and equity investment capital) and many others.

Much care has also been taken to examine physical adjacency conflicts and to build in mitigating design strategies to ensure that both office users and PDR tenants can co-locate within the same campus environment. The site plan has laid out specific areas for loading/unloading as well as access for delivery vehicles separate from office building entrances and pedestrian/bike ways. Building designs – in particular the large buildings housing PDR on the ground floor and office uses on upper floors – have taken into account proper insulation and ventilation to segregate noise and smells from office tenants. As an example, vertical ventilation shafts have been seamlessly designed into the project’s skin to mitigate any odors generated from ground floor PDR spaces. Noise impacts at Hundred Hooper will be mitigated in part, through the design – thick concrete floors and thick walls. In addition, tenant curation and placement will ensure that compatible uses are located most proximately. See Appendix A for a map of PDR tenant uses which target PDR tenants in locations best suited for the particular PDR use and for the project as a whole. Hundred Hooper will also engage an acoustical consultant to ensure our design takes into account noise mitigation strategies. Furthermore, each lease will include, as an attachment, project wide “operational rules” to avoid and/or resolve conflicts should they occur between users within the campus. More specifically, these rules include language requiring that each use mitigate noise, odor and/or other impacts within their respective space to avoid conflict with other users. Finally, Hundred Hooper will employ proactive on site building management to work with tenants of all kinds to resolve potential conflicts.

### **4) Engage Strategic Partners at All Phases of Development and in Ongoing Operations**

The Hundred Hooper development team has a key strategic relationship with **PlaceMade – a division of SFMade** - to ensure the design of the campus and various commercial spaces unlocks potential synergies with the local manufacturing sector. In addition, PlaceMade is assisting with PDR site planning, building design and functionality, project branding, and community outreach and engagement. The management structure is being designed such that PlaceMade or a similar mission-driven non-profit, will own and operate the stand-alone 56,500 gross square foot PDR building offering space at affordable rates to small manufacturers and artists. In addition, SFMade and other community organizations will be engaged – both programmatically and by offering tenancy - to provide on-site business support to all PDR users on site (See list of

Strategic Partners, Workforce Partners, and Technical Assistance Partners and Capital Providers in Appendix B). The surrounding community, including California College of the Arts (CCA), has had strong input into the project through an abundance of presentations at community meetings and open house at the project site. We anticipate that CCA will also remain an active participant through tenantry by providing strategic input into outreach to CCA students and remain an allied stakeholder in the space over time. Over time, through these relationships, the team will develop additional plans to engage additional community partners to provide various programs and/or on-site services to support and accelerate the growth of PDR companies and to maximize access to jobs by underserved communities in San Francisco. In addition, the team will seek partners offering legal, staffing, payroll, marketing strategy and related support services, access to capital and or business loans, and business growth technical assistance to take up residence on site or, at minimum, to offer on-site programming – a similar model successfully implemented by The Hub San Francisco in support of their start-up community. A detailed list of categories of community engagement and potential partners is included as Appendix B.

### **5) Focus on Access/Pathways to Jobs.**

**The PDR businesses alone at Hundred Hooper are expected to bring between 300-450 jobs to the neighborhood.** In collaboration with community workforce partners, the team will develop transparent pathways for SF residents into jobs with both PDR and office businesses at Hundred Hooper. While the initial focus will be access to PDR jobs, the team expects additional entry-level jobs with office tenants – thus on-site workforce supports will span the entire PDR and non-PDR tenant community. Hundred Hooper will maintain an online list of available job openings at tenant businesses (similar to SFMade’s Job Board <http://www.sfmade.org/job-board/job-listings/>). Hundred Hooper will also organize an on-site job information fair twice a year, working with community partners to help educate individuals about the kinds of positions available at tenant businesses.

A key to the success of Hundred Hooper’s workforce strategy will be the development of strong community partners, with deep reach into communities of need. Beginning with the project’s lead PDR partner PlaceMade / SFMade and the Office of Economic and Workforce Development, the project will identify and engage additional workforce partners (See Appendix B). Through our partners, we will seek to utilize hiring incentive programs whenever program (including JobsNow, Work Opportunity Credit, the Mayor’s Summer Jobs Program, and other current local, State, and Federal programs). The project will also participate in the City’s First Source Hiring Program, which advertises entry-level jobs to members of traditionally underserved communities. A detailed list of current workforce/hiring incentives, and how they might be applied to this project, is included as Appendix B.

Hundred Hooper will also collaborate with community partners to both identify the kinds of skills required at tenant businesses and to identify appropriate training programs available in the community to enable individuals to gain skills for successful employment. In addition to CCA, Hundred Hooper will outreach to City College (which still houses a number of technical training programs across digital design and manufacturing), San Francisco State University, and technical colleges such as Laney College.

## 6) Anchor a District.

The Hundred Hooper neighborhood, given the art & design influence of CCA coupled with its physical position at the intersection of Mission Bay (life sciences), SOMA (technology) and the Dogpatch (manufacturing), is uniquely positioned to **promote a new anchor arts/design/manufacturing district for the greater benefit of the neighborhood and San Francisco.**

As urban manufacturing takes hold once again in major US cities – and as those cities seek not only to balance competing land use pressures but try to catalyze more vibrant districts – cities have been searching for increasingly powerful ways to both organize their industries, utilize limited space, and to create local brands to differentiate the city as a whole. The concept of an “Innovation District”<sup>4</sup> represents an intentional, physical clustering of manufacturers and other allied uses, including design, engineering, the arts, local amenities, and engagement with adjacent residential communities. “Design, Arts, Manufacturing” Districts are designed to contain both a vibrant mix of space for design, production, the arts and other amenities that stimulate product development and commercialization, and also space for production to ensure that new businesses and jobs remain in the cities.

While the concept is relatively new and currently being piloted by several US cities, the uses/industries typically thought as integral to an Innovation or similar District include:

- Design and Engineering
- Prototyping and Production
- Office as well as industrial space
- Manufacturing sector
- Technology sector
- Creative/Arts sector
- Amenities- including restaurants, retail, and parks or open space

Almost always, such Districts are thought to be in close proximity to residential areas and transit accessible. There is some current debate about whether residential uses should be considered, but most agree that the risk that residential uses might cannibalize space or create conflicts with the business/arts uses is too great. On the flip side, introducing some art oriented residential spaces can enhance personnel safety by imparting a 24/7 nature to an Innovation District (“eyes on the streets”).

A “Design, Arts, Manufacturing” District in this area would be a powerful way both to organize the existing and emerging anchor institutions in the area – including CCA and UCSF – to connect with other new PDR-oriented developments in the area (including other projects that may take advantage of the “pilot” new construction PDR-office legislation) and to engage the neighborhood in way that is empowering and distinct. Over time, an area Community Benefit District could drive additional resources to the neighborhood. Finally, a neighborhood brand would benefit the city of San Francisco by calling out a specific place or neighborhood that is the “go to” for physical product designers and innovators, giving the City a response to similar districts created by other cities on the East Coast (see Appendix C).

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<sup>4</sup> Coined by the Pratt Center for Community Development and the SURDNA Foundation in 2012



PDR BLDG GROUND FLOOR:

- HIGHER FLOOR LOADING
- "INCUBATOR" PDR
- POSSIBLE SHARED EQUIPMENT AREAS



PDR BLDG UPPER FLOORS:

- SMALLER UNITS
- "INCUBATOR" PDR
- NO FLOOR DRAINS
- ASSEMBLY USES



ALLEY PDR:

- LESS INTENSE USES
- INDOOR/OUTDOOR CONNECTION
- COMMUNITY CLUSTERING
- OFFICE ACCESSORY
- ROLL-UP DOORS



7TH STREET PDR:

- MARKETING WINDOW ON 7TH
- HIGH NOISE TOLERANCE
- PUBLIC ACCESS
- HIGHER CEILING HEIGHTS (20 FT.)
- POSSIBLE ROLL-UP DOORS



ACCESSORY FOOD/RETAIL:

- ACTIVATES PLAZA
- COMMERCIAL KITCHEN
- READY WITH GREASE TRAPS, VENTING, ETC.



HOOPER STREET PDR:

- MARKETING WINDOW
- ACCESSORY RETAIL
- 15 FT. SIDEWALK W/ LOADING
- SOLAR ACCESS
- CCA CONNECTION
- ROLL-UP DOORS



KEYNOTE LEGEND:















GENERAL REQUIREMENTS:

- FLOOR DRAINS AT GROUND FLOOR PDR
- SUB-METERED UTILITIES AVAILABLE

# PDR USE MAP

SEE DESCRIPTION SHEET FOR LEGEND



	A	B	C	D	E	F	G	H	I	J	K	L
	APPAREL / SEWN / BODY PRODUCT/SMALL ACCESSORIES			HARDWARE/ADVANCED MFG/FURNITURE/LARGE ASSEMBLY					FOOD AND BEVERAGE			
USE	Clothing/Apparel & Sewing Products	Craft Jewelry & Accessories / Print Shops	Body Products	Medical Device MFG	Electronics Contract MFG	Furniture / Large Product Assembly	Prototyping / Robotics Advanced Manufacturing	Auto/Motorcycle	Artisan Food Producers / Commercial Kitchens	Coffee Roasters / Chocolate Makers	Breweries	Urban Wineries
SIZE REQUIREMENTS	1000 - 5,000 sq. ft.	1000 - 2,500 sq. ft.	1000 - 5,000 sq. ft.	5,000 - 20,000 sq. ft.	5,000 - 20,000 sq. ft.	5,000 - 20,000 sq. ft.	2,000 - 20,000 sq. ft.	5,000 - 50,000 sq. ft.	1000 - 3,000 sq. ft.	2,000 - 20,000 sq. ft.	5,000 - 20,000 sq. ft.	5,000 - 20,000 sq. ft.
CLEAR HEIGHT	12' to 20'	12' to 20'	12' to 20'	12' to 20'	12' to 20'	12' to 20'	12' to 20'	16' to 20'	10' to 17'	15' to 25'	15' to 25'	17' to 30'
POWER	100A - 200A @ 120/240V 3P	100A - 200A @ 120/240V 3P	100A - 200A @ 120/240V 3P	300A - 1,000A @ 120/240V 3P 200A - 400A @ 480V Preferred	300A - 1,000A @ 120/240V 3P 200A - 400A @ 480V Preferred	300A - 1,000A @ 120/240V 3P 200A - 400A @ 480V Preferred	300A - 1,000A @ 120/240V 3P 200A - 400A @ 480V Preferred	300A - 1,000A @ 120/240V 3P 200A - 400A @ 480V Preferred	200A - 800A @ 120/240V 3P	400A @ 120/240V 3P 400A @ 480V Preferred	400A @ 120/240V 3P 400A @ 480V Preferred	200A - 400A @ 120/240V 3P
GAS	1" (Heating)	1" (Heating)	1" (Heating)	1.5"	1.5"	1.5"	1.5"	2"	2" (Cooking, HVAC)	2"	2"	Not Needed
VENTING	Venting is equipment based	Venting is equipment based	Vertical Venting, May require Charcoal Filters / Scrubbers	Venting Demand is Equipment Based	Venting Demand is Equipment Based	Unconditioned Warehouse, Venting Demand is Equipment Based	Unconditioned Warehouse, Venting Demand is Equipment Based	Venting Demand is Equipment Based	Grease Hood Exhaust Vent 250 CFM/Lineal Foot of Hood, General Exhaust for Storage/Janitorial	12" Vertical Vent, Afterburner (Has to be Upblast)	Vertical Venting	No Special Need
WATER	1.5" Main Line Min. (Excluding Slop Sink)	1.5" Main Line Min. (Excluding Slop Sink)	1.5" Main Line Min. (Excluding Slop Sink)	2" Main Line Min.	2" Main Line Min.	2" Main Line Min.	2" Main Line Min.	2" Main Line Min.	1.5" - 2" Main Line	2" Main Line Min.	2" Main Line Min.	2" Main Line Min. with Water Filtration, Need Both Hot & Cold Water ?
GREASE INTERCEPTOR	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	Yes. Assume 1,500 Gal. Jensen Precast	?	Yes	?
DRAIN/SEWER	Typical Sink Drain	Typical Sink Drain	Typical Sink Drain Floor Drains on Occasion	Floor Drains on Occasion	Floor Drains on Occasion	Typical Sink Drain	Floor Drains on Occasion	Typical Sink Drain	6" Main - Floor Drains Throughout	Floor Drains Throughout	Floor Drains Throughout	Area Drains and Trench Drains
NOISE	Medium	Low/Medium	Low	Medium	Medium	High	Medium	Medium/High	Medium	Medium	Medium	Low
HVAC	Preferred, Not Required	Preferred, Not Required	Preferred, Not Required	Preferred, Not Required	Preferred, Not Required	Preferred, Not Required	Preferred, Not Required	Climate Controlled	Make Up Air 90% Hood Exhaust CFM	Climate Controlled	Climate Controlled	Climate Controlled
SHIPPING/RECEIVING	Roll Up Doors Preferred	Roll Up Doors Preferred	Roll Up Doors Preferred	Grade Level Roll Up Doors, High Dock is Beneficial	Grade Level Roll Up Doors, High Dock is Beneficial	Grade Level Roll Up Doors, High Dock is Beneficial	Grade Level Roll Up Doors, High Dock is Beneficial	Grade Level Roll Up Doors, High Dock is Beneficial	Ground Deliveries with Gate Lift (No Dock Req'd.)	Grade Level Roll Up Doors	Grade Level Roll Up Doors	Grade Level Roll Up Doors
ACCESSORY RETAIL	Highly Preferred	Highly Preferred	Highly Preferred	Not Needed	Not Needed	Highly Preferred	Highly Preferred	Not Needed, but Showroom desirable	Highly Preferred	Highly Preferred	Highly Preferred - with Restaurant	Highly Preferred
EXAMPLE COMPANY	Marine Layer	Julia Turner Jewelry	Earth Body Skin Care	QB3/UCSF Mission Bay	Lee Mah Electronics	Ohio Design, Varian Designs	PCH, Lime Lab	Mission Motorcycles	Sinto Gourmet, Nana Joes Granola	Ritual Coffee, Dandelion Chocolate	Speakeasy, VooDoo	Bluxome Winery, Dogpatch Winery
												

CREATED BY:



## Appendix B: Hundred Hooper Community Outreach Targets and Strategy

<b>Type</b>	<b>Organizations</b>	<b>Strategy</b>
<b>Strategic Partners</b>	SFMade	Formal engagement of SFMade/PlaceMade as to assist with design, marketing, PDR planning, and tenanting
	California College of the Arts (CCA)	Formal engagement of CCA to assist with design and to provide input on marketing strategy to CCA students
<b>Neighbors</b>	Potrero Boosters; Dogpatch Neighborhood Association; Potrero and Dogpatch Merchants Assoc; Design Center/Tenants Association; Mission Bay/UCSF; Salesforce; Google	Conduct informational tours and meetings to share design and project intentions with the community and to gather feedback
<b>Workforce Partners</b>	JVS; Arriba Juntos; Youth Community Developers; Goodwill Industries; United Way; Chinatown Self Help for the Elderly	Partner to communicate job openings and skills requirements to communities of need; help identify candidates with skills and applicable hiring incentive programs; work to proactively place candidates into jobs.
<b>Technical Assistance Providers</b>	SFMade; Renaissance Entrepreneurship Center; Pacific Community Ventures; Inner City Advisory	Provide on-site training, advising, and assistance to growing PDR businesses
<b>Capital Providers</b>	Banks; Bay Area Small Business Development Corporation; Working Solutions' Opportunity Fund; Kiva; CircleUp; IndieGogo	Provide a wide range of debt (bank and non-traditional), equity (angel and institutional) and crowdfunding solutions
<b>Professional Services</b>	Accounting and tax firms, legal services, marketing, branding, supply chain advisory	Provide on-site fee for service solutions to growing small businesses



## APPENDIX C: Current Workforce Development and Hiring Incentives in San Francisco

<b>Program/Agency Funding Source</b>	<b>Description</b>	<b>Best Use</b>
<b>JobsNow/San Francisco Human Resources Agency</b>  <i>Local</i>	Wage subsidy up to \$5,000 for hiring from a specific pool of candidates.	Entry level positions, companies willing to apply and use the JobsNow screening event to hire.
<b>On the Job Training/Office of Economic and Workforce Development</b>  <i>Federal</i>	Training reimbursement up to \$6,000 per hire.	Companies investing in new equipment or with in house training programs.
<b>Work Opportunity Tax Credit (WOTC)/US Department of Labor</b>  <i>Federal</i>	A tax credit ranging from \$1,200 to \$9,600, depending on the employee hired. There are multiple ways for new hires to qualify.	Once the program is reauthorized, all new hires should be screened since companies can submit paperwork after the hire is made.
<b>Employment Training Panel</b>  <i>State of CA</i>	Companies or Nonprofits can get certified to provide training to current employees and get reimbursed for the training cost.	Work with established training providers or companies who have used the program in the past and can ensure wage raise post training.
<b>New Employment Credit/California Franchise Tax Board</b>  <i>State of CA</i>	The replacement for the former Enterprise Zone Hiring Tax Credit. It only covers certain hires and companies	Companies located in a former Enterprise Zone who know they will be expanding.

## APPENDIX D: Examples of Successful “Design, Arts, Manufacturing” Districts

### *Profile: Brooklyn Tech Triangle*



The Brooklyn Tech Triangle – comprised of DUMBO, Downtown Brooklyn, and the Brooklyn Navy Yard - has been branded a “magnet for the world’s pioneering, energetic, and creative entrepreneurs” and has emerged as the New York City’s largest cluster of tech activity outside of Manhattan.

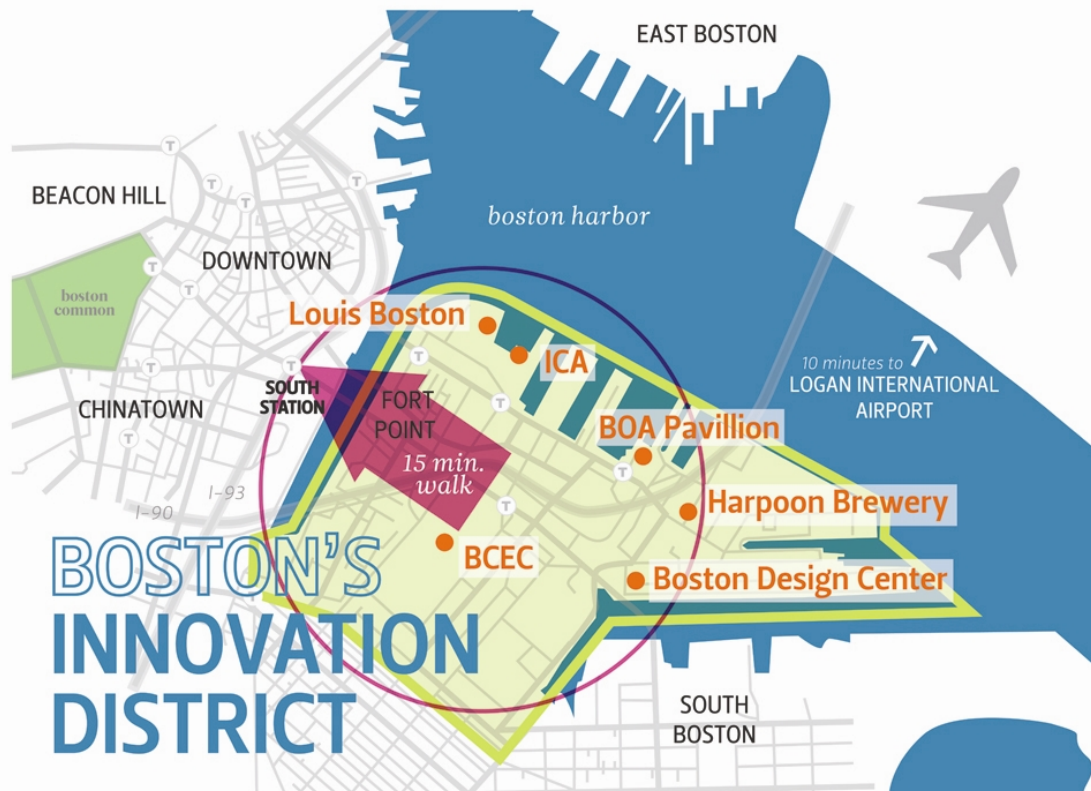
DUMBO has succeeded in attracting a cluster digital companies. While the Brooklyn Navy Yard has an eclectic mix of makers, artisans, and firms driven by technology. And Downtown Brooklyn has 57,000 college students—and a supportive business community ready to engage. Over the next two years, the Brooklyn Tech Triangle is expected to grow to support nearly 18,000 direct jobs and 43,000 indirect jobs.

Led by the Downtown Brooklyn Partnership, the DUMBO Improvement District, and the Brooklyn Navy Yard Development Corporation, the Brooklyn Tech Triangle Strategic Plan seeks to address the challenge of “nurturing an explosion of innovation” by providing a blueprint for nurturing the growth of this sector and ensuring New York can capitalize on the job creation of the industry. In the absence of a this more strategic approach, concerns that a lack of appropriate office space and adequate job preparation, among other factors, would threaten to stifle growth and risk companies deciding to invest and hire elsewhere as they expanded.

The Brooklyn Tech Triangle has the potential to become a model for the New York City economy and the next generation of tech hubs. Tech Triangle builds on the trend for both technology and small, innovative manufacturing companies to start and stay in cities, where they can draw on a range of resources and inspirations. They are drawn to Tech Triangle because of its great neighborhoods, amenities, and institutions, and its unique set of work spaces— from the lofts of DUMBO to the light industrial workshops of the Navy Yard to the large offices of Downtown Brooklyn.

New York has made generous investments in the Brooklyn Tech Triangle, particularly in: rezoning of the area to support vibrant growth; development of major amenities such as Brooklyn Bridge Park, Barclays Center, and the Cultural District; revitalization of the Brooklyn Navy Yard; and the overall focus on building up Brooklyn as a major worldwide brand.

### Profile: Boston Innovation District



The Boston Innovation District is Mayor Thomas M. Menino's initiative to transform 1,000 acres of the South Boston waterfront into an urban environment that fosters innovation, collaboration, and entrepreneurship.

The Innovation District is sited between Boston's transportation gateways: abutting historic Boston Harbor, adjacent to Logan International Airport, and at the nexus of two major interstate highways. It also contains the largest tract of underdeveloped land in the city of Boston, and is an area with opportunity for growth, a strong existing knowledge base, and the ideal location for producing new ideas, new services and new products.

In the three years since the initiative began, the area has grown rapidly. The growth is spread across a diverse range of companies in different sectors and at different scales, including technology (software development as well as two tech incubators are on site), food and beverage manufacturing, and a wide range of other office users. Many of the larger properties contained in the Innovation District are owned by Boston Redevelopment.

Since the formalization of the Innovation District, over 200 companies employing 4000 people have established themselves in the area. companies have contributed 30% of new job growth, and approximately 21% of new jobs are in creative industries like design and advertising. Greentech and life sciences are growing, with 16% of new jobs in these sectors

Of the new companies, 11% are in the education and non-profit sectors - 40% of new companies are sharing space in co-working spaces and incubators - 25% of new companies are small scale, with 10 employees or fewer.

## **Exhibit B**





DRAWING LIST

A0.00	COVER	A2.04a	FOURTH FLOOR PLAN - WEST
A0.01	PROJECT DATA	A2.04b	FOURTH FLOOR PLAN - EAST
A0.02	NEIGHBORHOOD CONTEXT	A2.05a	ROOF PLAN - WEST
A0.03	SITE CONTEXT & VIEWS	A2.05b	ROOF PLAN - EAST
A0.04	SITE CONCEPT AND MASSING DIAGRAMS	A2.11	PDR USE MAP
A0.05	SITE CONCEPT AND MASSING DIAGRAMS	A2.12	PDR USE MAP LEGEND AND INFRASTRUCTURAL REQUIREMENTS
		A2.13	PDR UNIT DIAGRAMS
C0	ALTA/ACSM LAND TITLE SURVEY - SHEET 1		
C1	ALTA/ACSM LAND TITLE SURVEY - SHEET 2	A3.01	BUILDING ELEVATIONS
C2	ALTA/ACSM LAND TITLE SURVEY - SHEET 3	A3.02	BUILDING ELEVATIONS
C3	ALTA/ACSM LAND TITLE SURVEY - SHEET 4	A3.03	BUILDING ELEVATIONS
S-1	LOT PLAN	A3.04	BUILDING ELEVATIONS
A1.01	ARCHITECTURAL SITE PLAN - EXISTING CONDITIONS		
A1.02	ARCHITECTURAL SITE PLAN	A4.01	BUILDING SECTIONS
A1.03	SITE ACCESS AND PARKING PLAN	A4.02	BUILDING SECTIONS
L1.1	PERSPECTIVES & GENERAL NOTES		
L2.1	LANDSCAPE PLAN - WEST	A5.00	ENLARGED ELEVATIONS
L2.2	LANDSCAPE PLAN - EAST	A8.31	STOREFRONT SCHEDULE
L3.1	CONCEPTUAL PLANTING DIAGRAM	A8.32	STOREFRONT SCHEDULE
L3.2	CONCEPTUAL PLANTING DIAGRAM	A8.33	FACADE DETAILS
L4.1	LANDSCAPE IMAGERY		
A2.01a	FIRST FLOOR PLAN - WEST	A10.01	RENDERING
A2.01b	FIRST FLOOR PLAN - EAST	A10.02	RENDERING
A2.01Ma	MEZZANINE PLAN - WEST	A10.03	RENDERING
A2.01Mb	MEZZANINE PLAN - EAST	A10.04	RENDERING
A2.02a	SECOND FLOOR PLAN - WEST	A10.05	RENDERING
A2.02b	SECOND FLOOR PLAN - EAST	A10.06	RENDERING
A2.03a	THIRD FLOOR PLAN - WEST		
A2.03b	THIRD FLOOR PLAN - EAST		

VICINITY MAP



PFAULONG  
ARCHITECTURE

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415 908 6408 pfaulong.com

100 HOOPER STREET

SAN FRANCISCO, CALIFORNIA 94107

PLANNING COMMISSION ENTITLEMENT SET

JANUARY 22, 2015

## PROJECT DATA / SAN FRANCISCO PLANNING CODE ANALYSIS

SPONSOR OBJECTIVES
--------------------

PROJECT DESIGN TEAM
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**PFAU**  
**GNOT**  
**ARCHITECTURE**

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<b>PROJECT ADDRESS:</b>	100 HOOPER STREET, SAN FRANCISCO, CA 94107		
<b>PROJECT APN:</b>	BLOCK 3808, LOT 003		
<b>ZONE:</b> SF ZONING MAP	PDR-1-D		
<b>AREA PLANS:</b>	SHOWPLACE SQUARE / POTRERO HILL AREA PLAN SITE COVERED UNDER EASTERN NEIGHBORHOOD FINAL ENVIRONMENTAL IMPACT REPORT		
<b>BUILDING HEIGHT LIMIT:</b> SF HEIGHT & BULK MAP	58'-X		
<b>NUMBER OF STORIES:</b>	4, ALL WITHIN 58'-X HEIGHT LIMIT		
<b>LOT AREA:</b> REF. CIVIL DRAWINGS FOR ADDITIONAL LOT INFO	<u>EXISTING:</u> 143,062 SF (SINGLE LOT)	<u>PROPOSED 3-LOT OPTION:</u>  LOT 1: 61,475 SF +/- LOT 2: 57,828 SF +/- LOT 3: 23,759 SF +/-  <u>PROPOSED 2-LOT OPTION:</u> (COMBINES LOT 1 & 2 FROM 3-LOT OPTION)  LOT 1: 119,303 SF +/- LOT 2: 23,759 SF +/-	
<b>EXISTING AREA:</b> (TEMPORARY STRUCTURES)	TEMPORARY OFFICE	1,000	SF
	TEMPORARY STORAGE CONTAINERS	85,532	SF
	<b>TOTAL</b>	<b>86,532</b>	<b>SF</b>
<b>FLOOR AREA RATIO:</b> SFPC TABLE 124	<u>EXISTING</u> 0 (NO PERMANENT STRUCTURES)	<u>PROPOSED</u> 2.99:1 (427,255 SF GROSS BUILDING AREA)	
	<u>ALLOWED</u> 4:1 (572,248 SF GROSS BUILDING AREA)		
<b>PROPOSED GROSS BUILDING AREA:</b> SFPC SEC 102.9	<b>NORTH BUILDING:</b>	<u>USE</u>	
	FIRST FLOOR	PDR	23,274 GSF **
	MEZZANINE*	PDR	6,280 GSF **
	SECOND FLOOR	OFFICE	47,452 GSF
	THIRD FLOOR	OFFICE	47,617 GSF
	FOURTH FLOOR	OFFICE	47,174 GSF
	<b>TOTAL NORTH BUILDING</b>		<b>171,797 GSF</b>
	<b>SOUTH BUILDING:</b>		
	FIRST FLOOR	PDR	42,851 GSF **
	MEZZANINE*	PDR	13,977 GSF **
	SECOND FLOOR	OFFICE	47,413 GSF
	THIRD FLOOR	OFFICE	47,263 GSF
	FOURTH FLOOR	OFFICE	47,552 GSF
	<b>TOTAL SOUTH BUILDING</b>		<b>199,056 GSF</b>
	<b>STAND-ALONE PDR BUILDING:</b>		
	FIRST FLOOR	PDR	12,120 GSF **
	SECOND FLOOR	PDR	14,600 GSF **
	THIRD FLOOR	PDR	14,600 GSF **
	FOURTH FLOOR	PDR	14,600 GSF **
	<b>TOTAL STAND-ALONE PDR BUILDING</b>		<b>56,402 GSF **</b>
	<b>SUB-TOTAL PDR USE</b>		<b>142,784 GSF **</b>
	<b>SUB-TOTAL OFFICE USE</b>		<b>284,471 GSF</b>
	<b>GRAND TOTAL:</b>		<b>427,255 GSF</b>
	<u>NOT COUNTED IN GROSS BUILDING AREA:</u>		
	PARKING (LEVEL 1)		21,261 SF
	SITE OPEN SPACE & BREEZEWAYS		41,617 SF
	PDR AREA REQUIRED (1/3 TOTAL AREA)		142,418 GSF
	PDR AREA PROPOSED:		142,784 GSF
	PERCENTAGE OF TOTAL GSF:		33.42%
	OFFICE AREA ALLOWED:		284,837 GSF
	OFFICE AREA PROPOSED:		284,471 GSF
	PERCENTAGE OF TOTAL GSF:		66.58%
	* WITHIN 1/2 OF THE FIRST FLOOR AREA FOR MEZZANINES ALLOWABLE PER SEC. 505.2 OF THE SAN FRANCISCO BUILDING CODE.		
	** DENOTES PROPOSED SPACES PROGRAMMED TO MEET THE MINIMUM 33% PDR USE PER SEC. 219.1		

<u>OFF-STREET AUTOMOBILE PARKING:</u> SFPC SEC. 151.1	<u>SPACES ALLOWED</u> 1:1,500 GSF 427,255 / 1,500 = 285	<u>SPACES PROPOSED</u> 86 (41 STACKERS, 4 ACCESSIBLE SPACES)
<u>OFF-STREET ACCESSIBLE PARKING:</u> CBC TABLE 11B-208.2 & CBC SEC. 11B-208.2.4	<u>SPACES REQUIRED</u> 4 INCLUDING 1 VAN	<u>SPACES PROPOSED</u> 4 INCLUDING 3 VAN
<u>OFF-STREET MOTORCYCLE PARKING:</u>		<u>SPACES PROPOSED</u> 14
<u>ON-STREET AUTOMOBILE PARKING:</u>		<u>SPACES PROPOSED</u> 22 (INCLUDING CAR SHARING) 12 NEW (ON CHANNEL ST.)
<u>CAR SHARING:</u> SFPC SEC. 166	<u>SPACES REQUIRED</u> 2 (1 + 1/50 OVER 50 SPACES)	<u>SPACES PROPOSED</u> 2 (ON STREET)
<u>OFF-STREET LOADING:</u>		<u>SPACES PROPOSED</u> 3
<u>ON-STREET LOADING:</u>		<u>SPACES PROPOSED</u> 5
<u>BICYCLE PARKING:</u> SFPC TABLE 155.2	<u>CLASS 1 SPACES REQUIRED</u> 57 (COMMERCIAL, 1:5,000 SF) 12 (PDR, 1:12,000 SF) 69 TOTAL SPACES REQUIRED  <u>CLASS 2 SPACES REQUIRED</u> 20 (COMMERCIAL, 2 FOR 5,000 SF + 2:50,000 SF) 4 (PDR, >50,000 SF) 24 TOTAL SPACES REQUIRED	<u>CLASS 1 SPACES PROPOSED</u> 152  <u>CLASS 2 SPACES PROPOSED</u> 31
<u>SHOWER FACILITIES:</u> SFPC SEC. 155.4	<u>FACILITIES REQUIRED</u> 4 SHOWERS 24 LOCKERS	<u>FACILITIES PROPOSED</u> 8 SHOWERS 24 LOCKERS
<u>STREETSCAPE IMPROVEMENTS:</u> SFPC SEC. 138.1	<u>STREET TREES REQUIRED</u> 72 TREES (1:20' STREET FRONTAGE: 1,432/20' = 72)	<u>STREET TREES PROPOSED</u> 52 TREES

100 HOOPER - AN INTERSECTION OF ART, DESIGN, SCIENCE AND TECHNOLOGY

SHOWPLACE SQUARE / POTRERO HILL AREA PLAN LAND USE OBJECTIVES INCLUDE 'KNOWLEDGE SECTOR' COMPANIES, R&D USES, MANUFACTURING, AND FLEXIBLE COMMERCIAL BUILDINGS, TOGETHER WITH THE SITE'S LARGE SIZE, ADJACENCY TO THE CALIFORNIA COLLEGE OF THE ARTS, AND GATEWAY LOCATION TO MISSION BAY, 100 HOOPER'S OBJECTIVES ARE:

- PROVIDE LARGE FLEXIBLE FLOOR-PLATES, DURABLY-BUILT, HIGH CEILING SPACE DESIGNED TO ACCOMMODATE A VARIETY OF USERS IN AN ENVIRONMENT THAT FOSTERS INNOVATION, THE EXCHANGE OF IDEAS, R&D, PRODUCT DEVELOPMENT, ETC.
- CREATE AN ACTIVE AND AUTHENTIC STREET SCENE THAT PROVIDES SPACE FOR LIMITED NEIGHBORHOOD ORIENTED RETAIL AS WELL AS HIGH QUALITY PDR SPACE COMPLEMENTARY TO THE NEEDS OF THE SITE'S NEIGHBOR, THE CALIFORNIA COLLEGE OF THE ARTS ("CCA") AND THE NEIGHBORHOOD.
- OPTIMIZE SYNERGY WITH NEIGHBORING CCA BY PROVIDING AFFORDABLE PDR WORK SPACES ON A PORTION OF THE SITE CLOSEST TO CCA.
- INTRODUCE ARCHITECTURE THAT IS UNIQUELY 'SHOWPLACE SQUARE', THAT DISTINGUISHES ITSELF FROM THE ADJOINING MISSION BAY NEIGHBORHOOD.
- ENCOURAGE WALKING, BICYCLING AND PUBLIC TRANSIT USE, ENHANCE ACCESS TO THE ABUNDANT OPEN SPACE AND OTHER AMENITIES LOCATED IN MISSION BAY.
- WORK COLLABORATIVELY WITH CCA TO IMPROVE HOOPER AND CHANNEL STREETS, POSITION HOOPER STREET TO CONNECT TO THE 43 ACRES OF OPEN AND RECREATIONAL PARK SPACE IN MISSION BAY.

PROJECT DESCRIPTION
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THE EXISTING MINI STORAGE AND TRUCK RENTAL USE, BOTH LEGAL, NON-CONFORMING USES, WILL BE TERMINATED AND THE PROPERTY VACATED AT THE EXPIRATION OF THE MONTH-TO-MONTH LEASE, ONCE VACATED, THE SPONSOR INTENDS TO CONSTRUCT (3) FOUR STORY BUILDINGS TO A MAXIMUM BUILDING HEIGHT OF 58 FEET PURSUANT TO PLANNING CODE SECTION 303 CONDITIONAL USE, SECTION 304 (PLANNED UNIT DEVELOPMENT), SECTION 219.1, AND SECTIONS 320-325 (OFFICE ALLOCATION).

THE (2) FOUR STORY CONCRETE REINFORCED BUILDINGS CLOSEST TO 7TH STREET (THE "NORTH" AND "SOUTH" BUILDINGS) INCLUDE LARGE INTER-CONNECTED FLOOR PLATES, EACH WITH DUAL CIRCULATION CORES ORGANIZED ALONG A LINEAR INTERIOR COURTYARD ("THE ALLEY") RUNNING PARALLEL TO BOTH HOOPER AND CHANNEL STREETS. IN THE NORTHWEST CORNER OF THE SITE ADJACENT TO THE SHARED PROPERTY LINE WITH THE CALIFORNIA COLLEGE OF ARTS ("CCA"), THE SPONSOR IS PROPOSING A NON PROFIT OWNED AND OPERATED OR OTHERWISE CONTROLLED, BELOW MARKET RATE FOUR STORY PDR BUILDING ON A TO BE CREATED SEPARATE LEGAL LOT. ALL THREE BUILDINGS ARE SITUATED ALONG THE ALLEY AND AS SUCH WILL OPERATE IN CONCERT WITH ONE ANOTHER, INTER-CONNECTED BY THE ALLEY AND OTHER COMMON SPACE.

THE ALLEY FUNCTIONS AS BOTH AN OPEN SPACE AMENITY AND OUTDOOR LOADING CORRIDOR AND WITH ITS 40' WIDTH, PROVIDES NATURAL VENTILATION AND SUNLIGHT TO THE BLOCK INTERIOR. THE GROUND FLOOR SPACES WILL BE ACTIVATED BY HIGH CEILING, MEZZANINE-STYLE PDR USES, WITH SHARED OR STAND ALONE ACCESSORY RETAIL, FOOD USES, AS WELL AS VEHICLE, BIKE PARKING, LOCKER ROOMS AND SHOWER FACILITIES. THE THREE UPPER FLOORS OF THE NORTH AND SOUTH BUILDINGS ARE PROPOSED AS OFFICE (AND/OR INSTITUTIONAL USE) PERMITTED PER SECTION 219.1 OF THE PLANNING CODE.

IN ADDITION TO THE ALLEY SPACE, THE SOUTH WESTERN CORNER OF THE PROPERTY ADJOINING CCA IS PROPOSED AS A PRIVATELY-OWNED, PUBLICLY ACCESSIBLE "EVENT" OPEN SPACE, CONNECTING SYNERGISTICALLY WITH THE ADJOINING CAMPUS OF CCA, ANCHORING THE OPEN SPACE TO THE NORTH IS AN ABOVE REFERENCED AFFORDABLE STAND ALONE PDR BUILDING FOR OPTIMAL SYNERGY WITH THE ADJOINING CCA GRADUATE BUILDING TO THE WEST.

HOOPER STREET WILL BE IMPROVED PURSUANT TO THE BETTER STREETS PLAN AND INCLUDES VARIOUS BULB OUTS TO CONNECT WITH THE EXISTING AND EXPANDED CAMPUS OF CCA ON THE SOUTH SIDE OF HOOPER. AS DESCRIBED ABOVE, IMPORTANTLY HOOPER STREET PROVIDES A DIRECT CONNECTION TO TIE THE SUBJECT SITE AND SURROUNDING NEIGHBORHOOD TO THE 43 ACRES OF PARK SPACE AND RECREATIONAL AMENITIES UNDER DEVELOPMENT IN MISSION BAY.

CHANNEL STREET WILL BE IMPROVED TO CITY STREETS STANDARDS AND IS PROGRAMMED AS A SERVICE ALLEY, INCLUDING VARIOUS "BACK OF HOUSE" FUNCTIONS SUCH AS ON AND OFF STREET LOADING, PARKING ACCESS, BIKE STORAGE, AND REFUSE FACILITIES. THE CHANNEL STREET AND 7TH STREET INTERSECTION WILL BE IMPROVED AND BE LIMITED TO RIGHT IN AND RIGHT OUT ACCESS.

\*PRIMARY CONTACT

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FAX: (510) 724-3383

**STRUCTURAL ENGINEER:**  
NISHKIAN MENNINGER CONSULTING & STRUCTURAL ENGINEERS

600 HARRISON STREET, SUITE 110  
SAN FRANCISCO, CA 94107

\*LEVON NISHKIAN, PE, PRESIDENT

TEL: (415) 541-9477  
FAX: (415) 543-5071

**MECHANICAL / PLUMBING / ELECTRICAL / FIRE PROTECTION  
ENGINEER:**

**CB ENGINEERS**  
449 10TH STREET  
SAN FRANCISCO, CA 94103

**\*IGOR TARTAKOVSKY, PE, PRINCIPAL**

TEL: (415) 437-7330  
FAX: (415) 437-7333

No.	Date	Issues + Revisions
	01/22/2015	PLANNING COMMISSION HEARING

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Project Name 100 HOOPER STREET

Project Number	21114
Sheet Name	PROJECT DATA

Ref. North	Date
	01/22/2015

**A0.01**

Scale

All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used or disclosed without written consent of the architect.

**PRELIMINARY - NOT FOR CONSTRUCTION**



100 HOOPER STREET  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

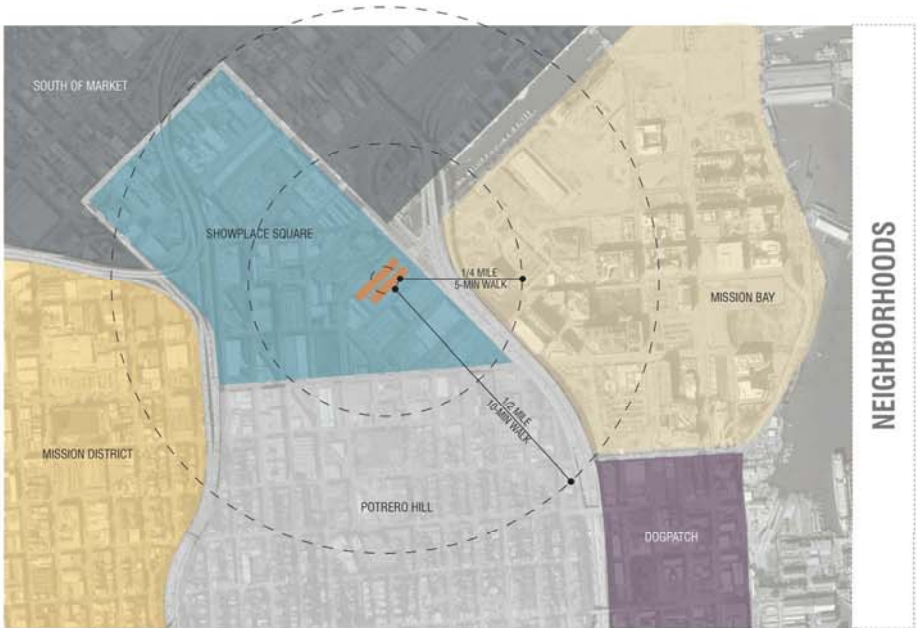
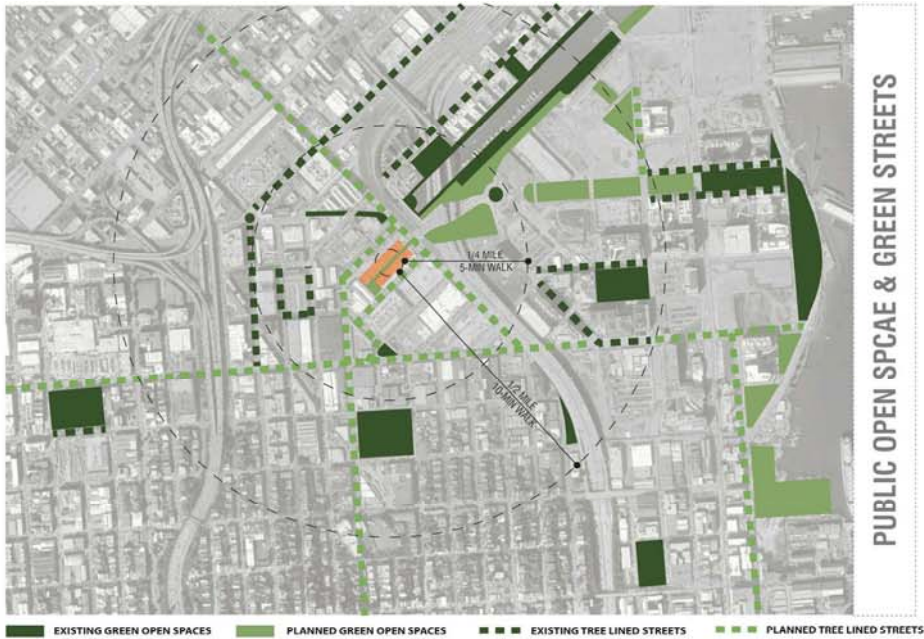
Sheet Name  
NEIGHBORHOOD CONTEXT

Ref. North PROJECT NORTH TRUE NORTH  
Date 01/22/2015

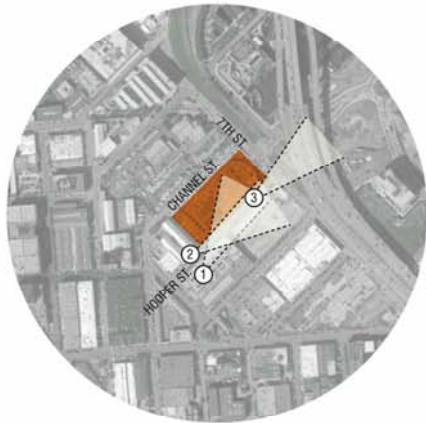
Scale  
A0.02

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PRELIMINARY - NOT FOR CONSTRUCTION







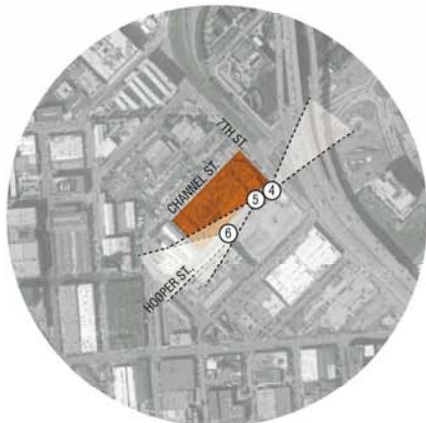
1 HOOPER ST. LOOKING NORTHEAST



2 HOOPER ST. LOOKING SOUTHEAST



3 HOOPER ST. APPROACHING 7TH



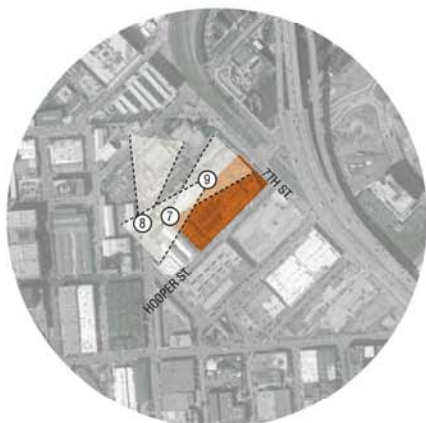
4 END OF HOOPER ST. LOOKING NORTHEAST



5 END OF HOOPER ST. LOOKING SOUTHWEST



6 HOOPER ST. MID-BLOCK LOOKING SOUTHWEST



7 CHANNEL ST. LOOKING NORTHEAST



8 END OF CAROLINA ST. AT CHANNEL



9 CHANNEL ST. LOOKING SOUTHWEST

100 HOOPER STREET  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
SITE CONTEXT & VIEWS

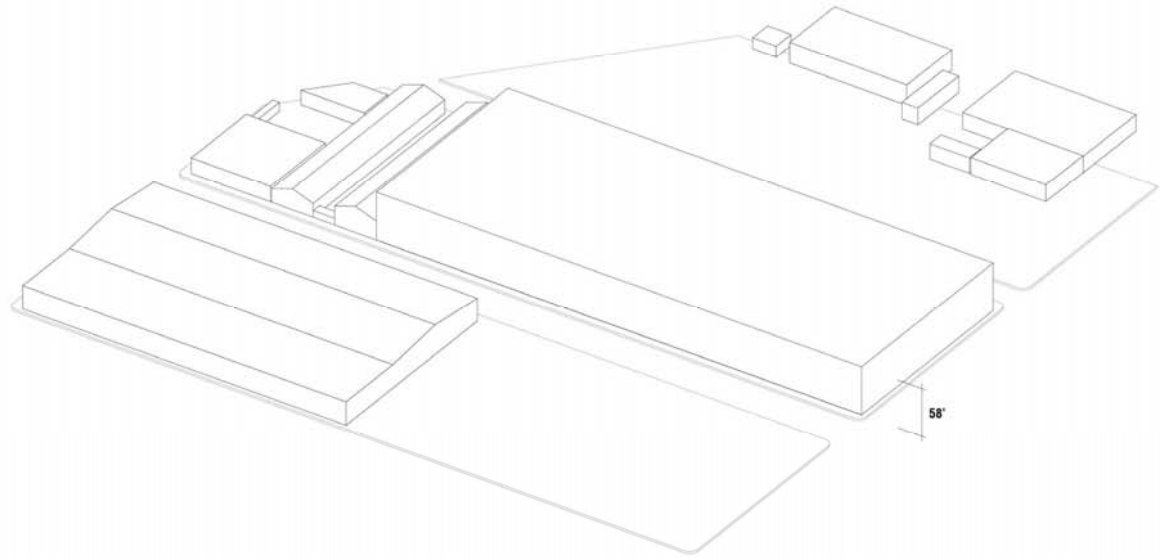
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01/22/2015

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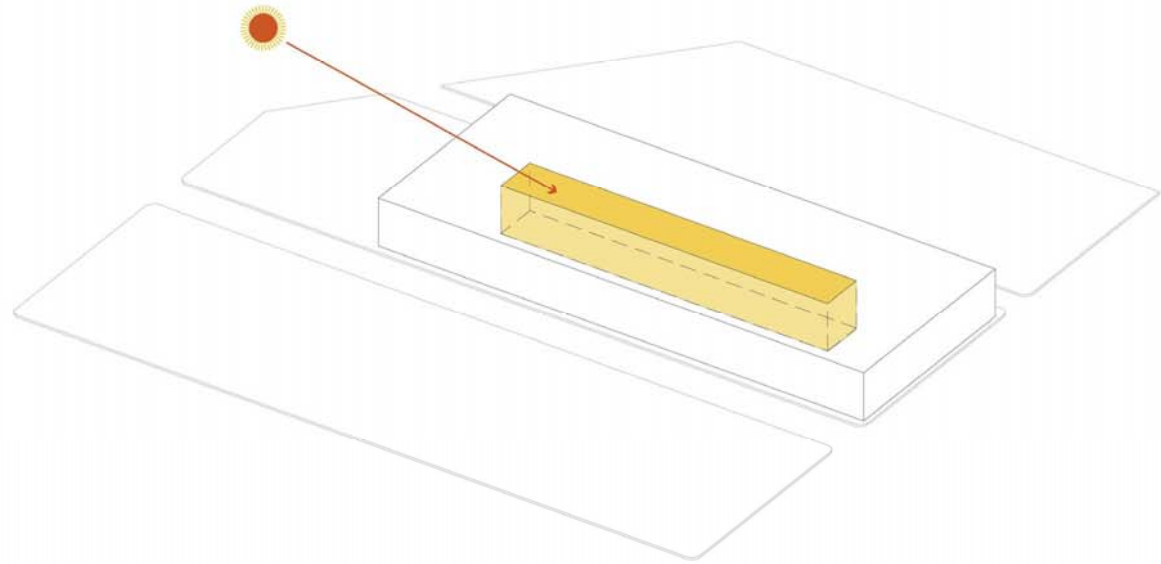
PRELIMINARY - NOT FOR CONSTRUCTION

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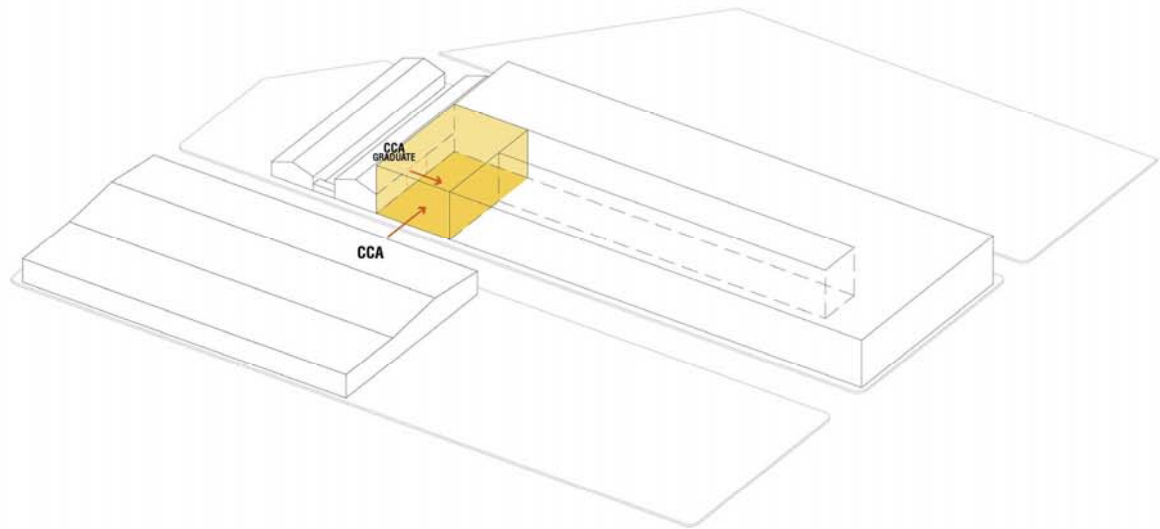




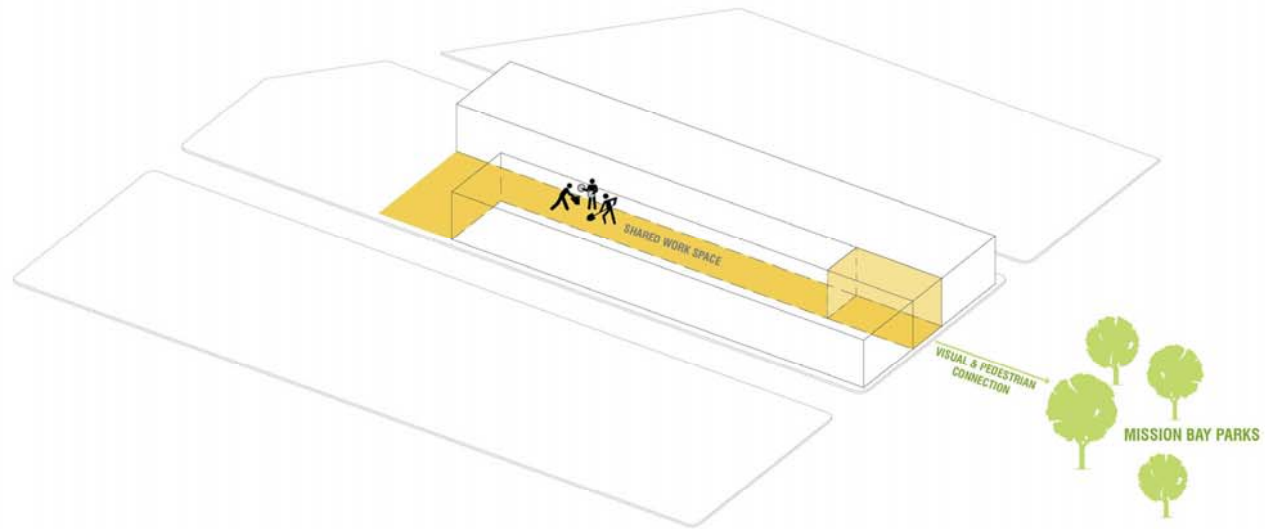
ALLOWABLE BUILD-OUT  
GSF: 572,248



ADD LIGHT & AIR  
GSF: 497,936



SYNERGISTIC PUBLIC PLAZA WITH CCA  
GSF: 460,136



A PASEO LINKS THE PLAZA TO 7TH STREET  
GSF: 423,629

**100 HOOPER STREET**  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

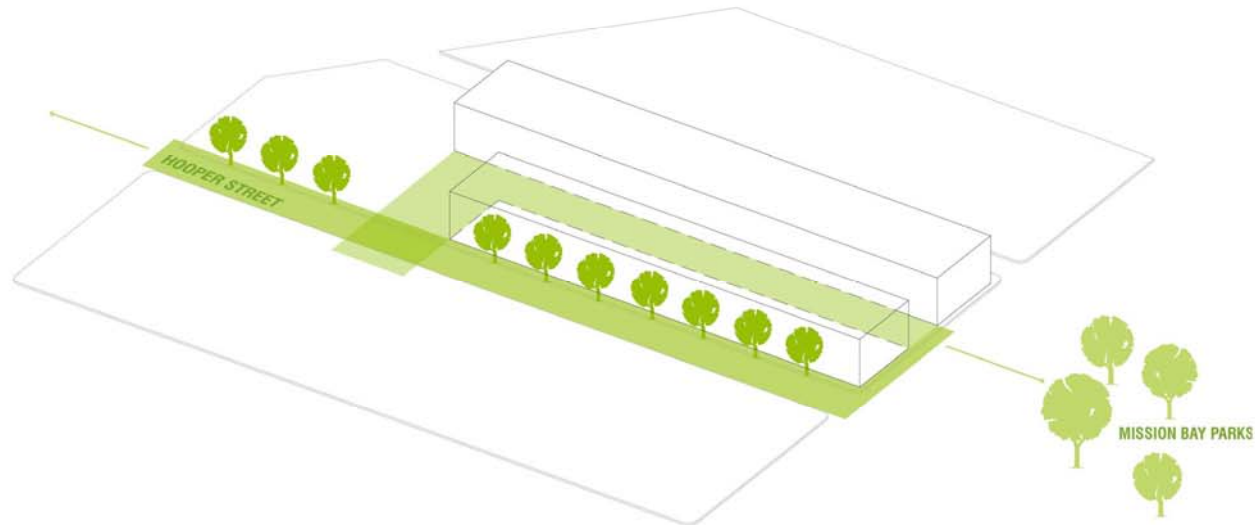
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SITE CONCEPT & MASSING  
DIAGRAMS

Ref. North Date  
01/22/2015

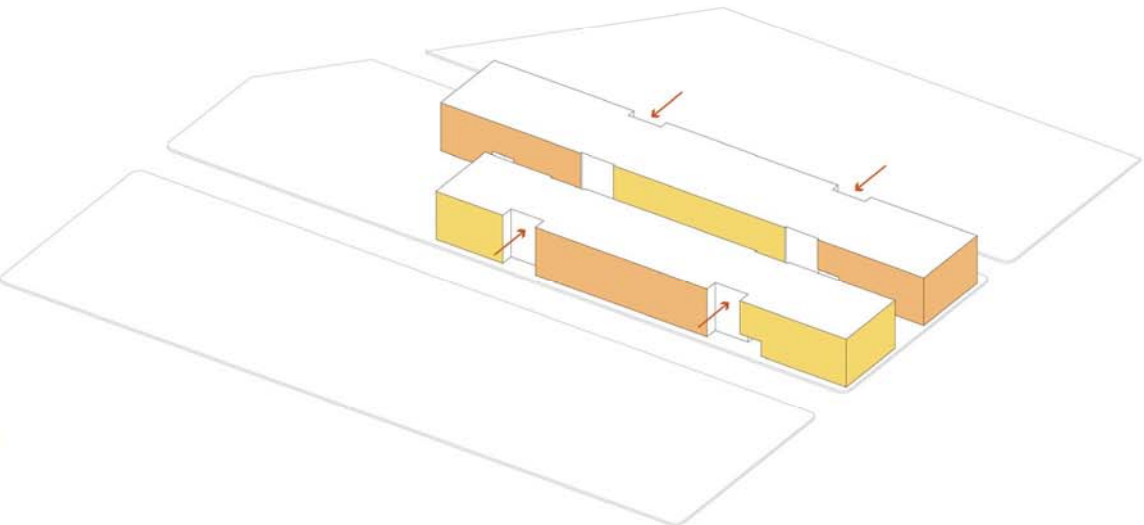
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PRELIMINARY - NOT FOR CONSTRUCTION

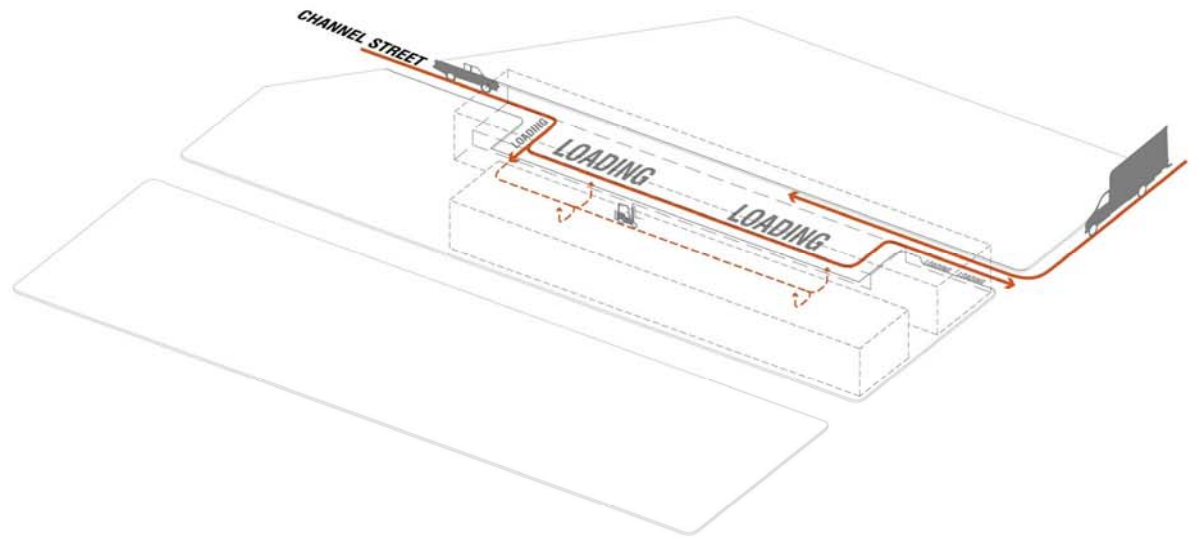
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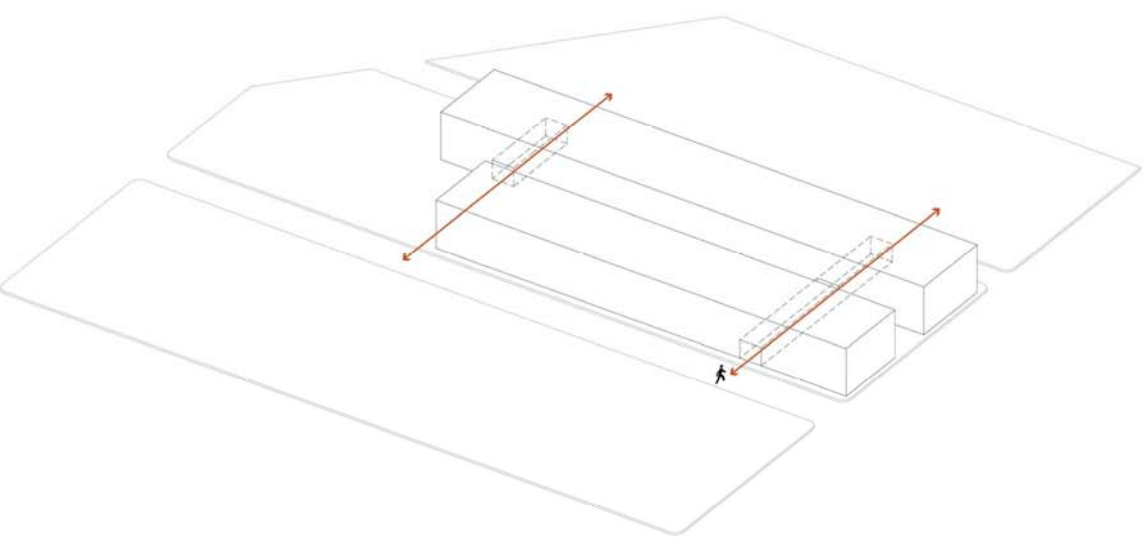
HOOPER - A GREEN STREET



MASS REDUCTION AT BUILDING ENTRANCES



CHANNEL - A SERVICE/LOADING STREET



THROUGH-BLOCK CONNECTIVITY

**100 HOOPER STREET**  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
SITE CONCEPT & MASSING  
DIAGRAMS

Ref. North  
Date  
01/22/2015

**A0.05**

PRELIMINARY - NOT FOR CONSTRUCTION

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TITLE REPORT

THE TITLE REPORT USED IN THIS SURVEY WAS ISSUED BY CHICAGO TITLE COMPANY, PRELIMINARY REPORT TITLE NO. 11-36910863-A-MK, DATED AUGUST 22, 2011 AT 7:30 A.M., REFERRED TO HEREON AS THE "PTR".

TITLE TO SAID ESTATE IS VESTED IN:

DIANA SHERMAN PEACOCK, A MARRIED WOMAN;

SHELLY SHERMAN ALLUMS, WHO ACQUIRED TITLE AS SHELLY SHERMAN BOOKER, A MARRIED WOMAN AND AS SHELLY SHERMAN, A MARRIED WOMAN;

LEONARD JACK HARTNETT AND MARGARET EDIE HARTNETT, AS TRUSTEES OF THE HARTNETT FAMILY TRUST, UNDER DECLARATION OF TRUST DATED MARCH 26, 1991, (SPW);

EDWARD M. SHERMAN, A MARRIED MAN;

STUART M. KAPLAN, AS RECEIVER OF THE TRUST ASSETS OF THE TRUST CREATED BY AGREEMENT DATED NOVEMBER 1, 1983 BY FREDERICK S. MOODY, JR.;

SCHANDER INC., A CALIFORNIA CORPORATION;

CHERIE D. WALKER AND CHARLES U. WALKER CO--TRUSTEES OF THE CHERIE D. WALKER REVOCABLE TRUST OATED DECEMBER 21, 1995;

DOUGLAS MOODY, AS HIS SEPARATE PROPERTY;

LEDLIE, INC., A CALIFORNIA CORPORATION;

WATSON--WEST FAMILY PARTNERSHIP, A CALIFORNIA GENERAL PARTNERSHIP

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN FRANCISCO, COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL A (LOT 3) OF PARCEL MAP 3835, FILED JULY 7, 2008, IN BOOK 47 OF PARCEL MAPS, PAGES 138 THROUGH 141, INCLUSIVE, SAN FRANCISCO COUNTY RECORDS.

BEING PART OF SOUTH BEACH BLOCK NO. 39.

(FORMERLY PORTION OF 3808--DD1 AND 3808--DD2)

APN: BLOCK 3808, LOT DD3

EXCEPTIONS

- 1
- CONOTIONS AND RESTRICTIONS AS SET FORTH IN A DOCUMENT RECORDED BY THE CITY AND COUNTY OF SAN FRANCISCO, DEPARTMENT OF PUBLIC WORKS, TYPE OF PERMIT BEING STREET ENCROACHMENT AGREEMENT, RECORDED MARCH 2, 1965, INSTRUMENT NO. N73725, BOOK A888, PAGE 382, OF OFFICIAL RECORDS. REFERENCE IS MADE TO SAIO DOCUMENT FOR FULL PARTICULARS (EXC. 7, PLOTTED).

TABLE A NOTES

2. THE STREET ADDRESS OF THE PROPERTY IS 100 HOOPER STREET, SAN FRANCISCO, CALIFORNIA.
3. FLOOD ZONE: THE FEDERAL EMERGENCY MANAGEMENT ADMINISTRATION'S FLOOD HAZARO BOUNDARY MAP WAS RESCINDED ON JULY 18, 1975 AND NO LONGER APPLIES TO THE CITY AND COUNTY OF SAN FRANCISCO.
4. THE GROSS LAND AREA OF THE SUBJECT PROPERTY IS 143,062 SQUARE FEET OR 3.28 ACRES, MORE OR LESS.
5. BENCHMARK IS SHOWN ON THIS SHEET OF THE SURVEY, AND ELEVATIONS ARE SHOWN ON SHEETS 3 AND 4 OF THE SURVEY.
6. (B) ZONING REQUIREMENTS: PER THE CITY OF SAN FRANCISCO PLANNING DEPARTMENT GENERAL PLAN, AS SHOWN ON THE CITY'S ZONING MAP DATED JULY 2011, THE PROPERTY IS LOCATED IN THE PDR-1-O "PRODUCTION DISTRIBUTION & REPAIR - 1 - DESIGN" ZONING DISTRICT. HEIGHT AND BULK DISTRICT IS 58X.

REFERENCE IS MADE HERE TO THE CITY OF SAN FRANCISCO PLANNING CODE, SEC. 21D.9 "PDR-1-D DISTRICT: DESIGN", REGARDING DEVELOPMENT REQUIREMENTS / RIGHTS AND USES, ET. AL.

THE INTENTION OF THIS DISTRICT IS TO RETAIN AND ENCOURAGE EXISTING PRODUCTION, DISTRIBUTION, AND REPAIR ACTIVITIES AND PROMOTE NEW BUSINESS FORMATION. THUS, THIS DISTRICT PROHIBITS RESIDENTIAL AND OFFICE USES AND LIMITS RETAIL AND INSTITUTIONAL USES. ADDITIONALLY, THIS DISTRICT ALLOWS FOR MORE INTENSIVE PRODUCTION, DISTRIBUTION, AND REPAIR ACTIVITIES THAN PDR-1-B AND PDR-1-D BUT LESS INTENSIVE THAN PDR-2. GENERALLY, ALL OTHER USES ARE PERMITTED. IN CONSIDERING ANY NEW LAND USE NOT CONTEMPLATED IN THIS DISTRICT, THE ZONING ADMINISTRATOR SHALL TAKE INTO ACCOUNT THE INTENT OF THIS DISTRICT AS EXPRESSED IN THIS SECTION AND IN THE GENERAL PLAN.

MAXIMUM BUILDING HEIGHT: 58 FEET

8. SUBSTANTIAL, VISIBLE IMPROVEMENTS ARE SHOWN DN SHEETS 3 AND 4 OF THE SURVEY. CONTAINERS LOCATED ON THE SUBJECT PROPERTY ARE MOVEABLE AND/OR TEMPORARY IN NATURE. THERE ARE NO PERMANENT STRUCTURES LOCATED ON THE SITE.
9. THERE ARE 3 REGULAR PARKING SPACES AND 2 HANDICAP PARKING SPACES ON THE SUBJECT PROPERTY.
11. (A) LOCATION OF UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY AS DETERMINED BY OBSERVED EVIDENCE TOGETHER WITH EVIDENCE FROM PLAN OBTAINED FROM UTILITY COMPANIES OR PROVIDED BY CLIENT ARE SHOWN ON SHEET 2 OF THE SURVEY.
13. NAMES OF ADJOINING OWNERS OF PLATTED LANDS ARE SHOWN ON SHEET 2 OF THE SURVEY.
14. DISTANCES TO THE NEAREST INTERSECTING STREET ARE SHOWN ON SHEET 2 OF THE SURVEY.
16. THERE IS NO OBSERVABLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADOTIONS.

NOTES

1. EASEMENTS AND/OR RIGHTS OF WAY ARE SHOWN HEREON PER THE PTR. OTHER EASEMENTS AND/OR RIGHTS OF WAY OF RECORD, IF ANY, ARE NOT SHOWN HEREON.
2. DATE OF FIELD SURVEY: SEPTEMBER 12, 13, AND 14, 2011 AS TO THE BOUNDARY AND TOPOGRAPHIC SURVEY OF THE SUBJECT PROPERTY.
3. THE UTILITIES SHOWN HEREON ARE BY SURFACE OBSERVATION AND RECORD INFORMATION ONLY AND NO WARRANTY IS GIVEN HEREIN AS TO THEIR EXACT LOCATION. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR TO VERIFY THE EXACT LOCATION OF THE UTILITIES WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY.
- UTILITY JURISDICTIONS / PROVIDERS ARE AS FOLLOWS:  
STORM DRAINS: CITY AND COUNTY OF SAN FRANCISCO  
SANITARY SEWER: CITY AND COUNTY OF SAN FRANCISCO  
WATER: CITY AND COUNTY OF SAN FRANCISCO  
ELECTRICITY: PACIFIC GAS & ELECTRIC CO.  
NATURAL GAS: PACIFIC GAS & ELECTRIC CO.
4. THE PROPERTY HAS DIRECT VEHICULAR ACCESS TO 7TH STREET, HODPER STREET, AND CHANNEL STREET THROUGH VARIOUS OPERABLE GATES LOCATED AROUND THE PROPERTY.

RECORD REFERENCES

R1) PARCEL MAP 3835, FILED IN BOOK 47 OF PARCEL MAPS AT PAGES 138-141, OFFICIAL RECORDS.

R2) RECORD OF SURVEY #5741, FILED IN BOOK "CC" OF SURVEY MAPS, PAGE 186, AND RECORDED AUGUST 24, 2009, AS INSTRUMENT NO. 2009-1819557, REEL J962, IMAGE 0092 OF OFFICIAL RECORDS

R3) MONUMENT MAP 311, CITY AND COUNTY OF SAN FRANCISCO, DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, DIVISION OF SURVEYS, INDEX NO. 4019, ORDER NO. 17732M.

R3) MONUMENT MAP 312, CITY AND COUNTY OF SAN FRANCISCO, DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, DIVISION OF SURVEYS, INDEX NO. 3810, ORDER NO. 83-033.

BASIS OF BEARINGS

THIS SURVEY WAS DETERMINED BY FOUND NAILS AND TAGS ON 7TH STREET, CHANNEL STREET, HOOPER STREET, AND 8TH STREET AS SHOWN ON PARCEL MAP 3835, FILED IN BOOK 47 OF PARCEL MAPS, PAGES 138 TO 141, INCLUSIVE, OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO.

BENCHMARK

BENCHMARK AS SHOWN ON CITY OF SAN FRANCISCO BENCHMARK BOX 4, BOOK 492 AT PAGE 1, BEING A CROW CUT IN THE OUTER RIM OF THE STORM WATER INLET, AT THE SOUTHWEST CORNER OF 7TH STREET AND HOOPER STREET. ELEVATION = -0.201 FEET, VERTICAL DATUM: CITY AND COUNTY OF SAN FRANCISCO.

SURVEYOR'S CERTIFICATE

TO: URBANGREEN DEVCO LLC, DIANA SHERMAN PEACOCK, SHELLY SHERMAN BOOKER, THE HARTNETT FAMILY TRUST, EDWARD M. SHERMAN, STUART M. KAPLAN, SCHANDER INC., CHERIE D. WALKER AND CHARLES U. WALKER, DOUGLAS MOODY, LEDLIE, INC., WATSON--WEST FAMILY PARTNERSHIP AND ITS SUCCESSORS AND/OR ASSIGNS; AND CHICAGO TITLE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2011, AND INCLUDES ITEMS 2, 3, 4, 5, 6(B), 8, 9, 11(A), 13, 14 AND 16 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA, RELATIVE POSITIONAL ACCURACY OF THE SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

Paul Canumay

PAUL CANUMAY  
No. FLS 3272  
EXP. 6-30-12  
FOR LUK & ASSOCIATES, INC.

DATE SEPTEMBER 20, 2011

ALTA/ACSM LAND TITLE SURVEY

PAUL CANUMAY  
No. FLS 3272  
EXP. 6-30-12  
STATE OF CALIFORNIA

SHEET INDEX

SHEET	DESCRIPTION
1	TITLE SHEET AND NOTES
2	BOUNDARY SURVEY
3	TOPOGRAPHIC SURVEY
4	TOPOGRAPHIC SURVEY



VICINITY MAP  
NOT TO SCALE

ALTA/ACSM LAND TITLE SURVEY  
FOR

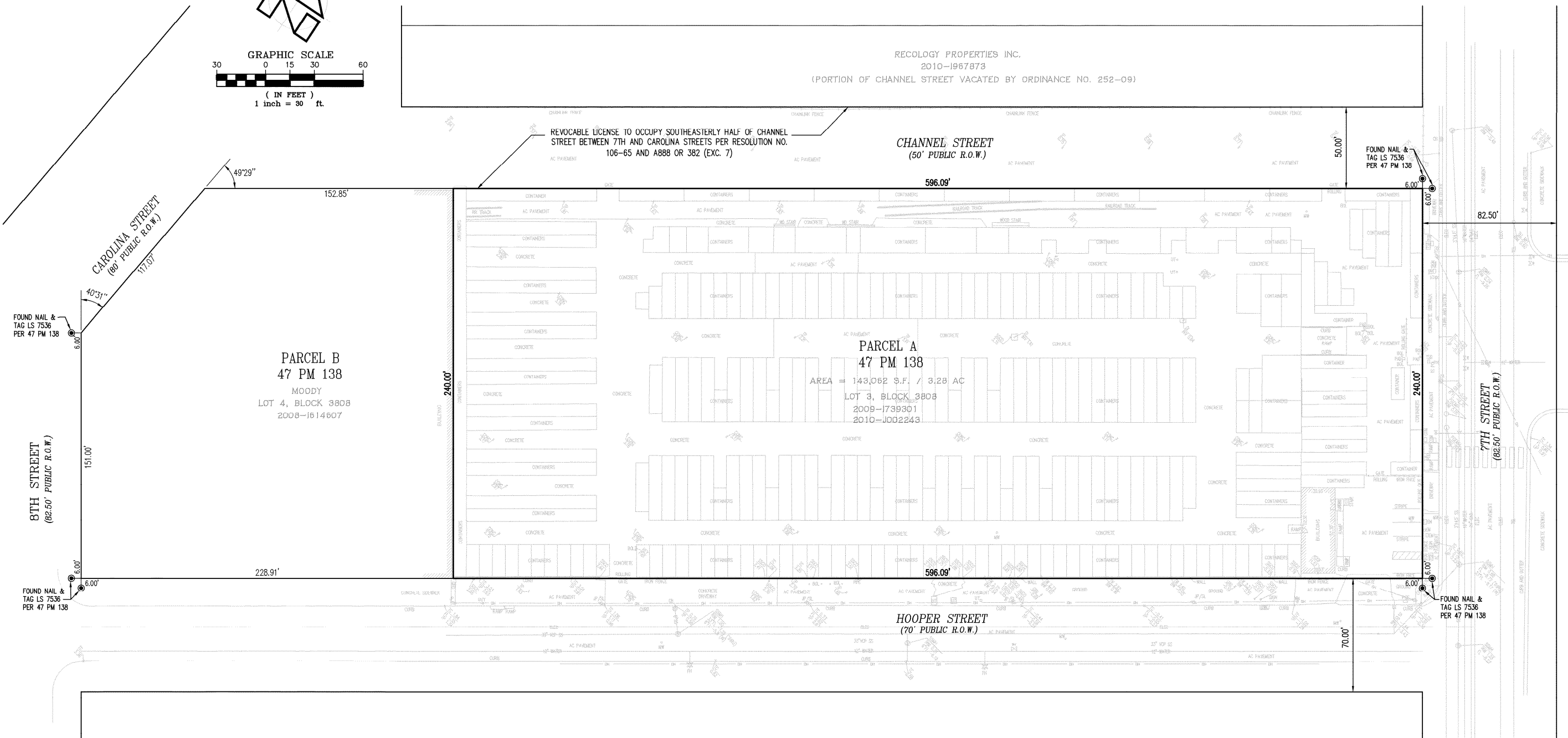
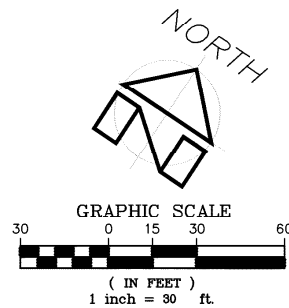
URBANGREEN DEVCO, LLC

BEING PARCELS A (LOT 3) OF PARCEL MAP 3835, FILED JULY 7, 2008, IN BOOK 47 OF PARCEL MAPS, PAGES 138 THROUGH 141, INCLUSIVE, SAN FRANCISCO COUNTY RECORDS

ALSO BEING A PORTION OF SOUTH BEACH BLOCK NO. 39  
ASSESSOR'S BLOCK 3808, LOT 003

CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA  
SEPTEMBER 2011

PREPARED BY  
LUK AND ASSOCIATES  
CIVIL ENGINEER - LAND PLANNERS - LAND SURVEYORS  
738 ALFRED NOBEL DRIVE  
HERCULES, CALIFORNIA 94547  
(510) 724-3388



### LEGEND

SYMBOLS	DESCRIPTION
=====	BOUNDARY — SUBJECT PROPERTY
=====	RIGHT-OF-WAY LINE
=====	ADJOINERS PROPERTY LINE
●	FOUND MONUMENT AS NOTED

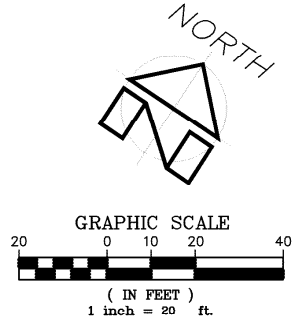
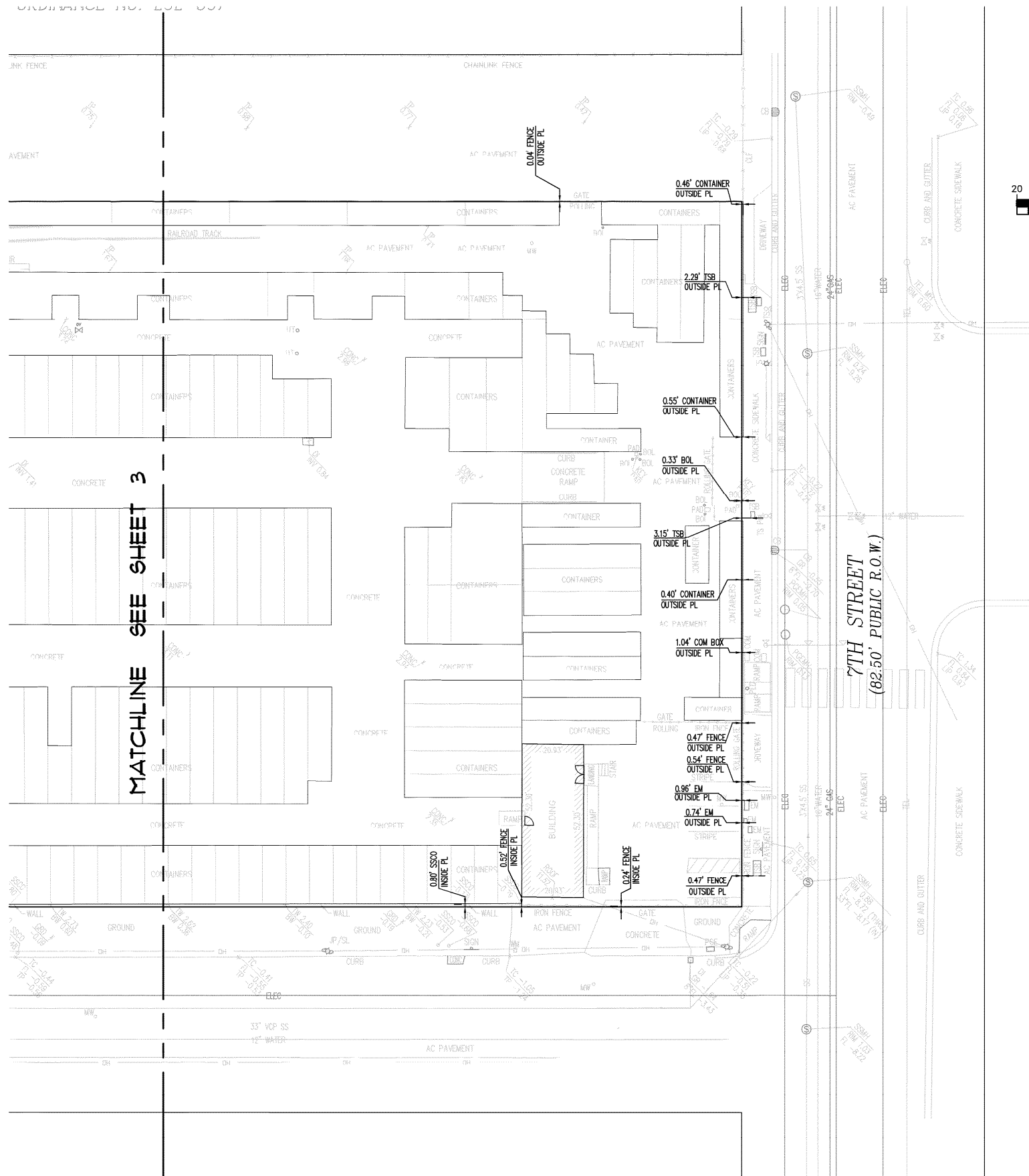
## ALTA/ACSM LAND TITLE SURVEY

FOR  
URBANGREEN DEVCO, LLC  
BEING PARCELS A (LOT 3) OF PARCEL MAP 3835, FILED JULY 7, 2008, IN  
BOOK 47 OF PARCEL MAPS, PAGES 138 THROUGH 141, INCLUSIVE, SAN  
FRANCISCO COUNTY RECORDS  
ALSO BEING A PORTION OF SOUTH BEACH BLOCK NO. 39  
ASSESSOR'S BLOCK 3808, LOT 003

CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA  
SEPTEMBER 2011

PREPARED BY  
**LUK AND ASSOCIATES**  
CIVIL ENGINEER — LAND PLANNERS — LAND SURVEYORS  
738 ALFRED NOBEL DRIVE  
HERCULES, CALIFORNIA 94547  
(510) 724-3388





## LEGEND

### SYMBOLS

### DESCRIPTION

BOUNDARY - SUBJECT PROPERTY	AC	ASPHALT CONCRETE
RIGHT-OF-WAY LINE	FF	FINISH FLOOR
INTERIOR PROPERTY LINE	BLDG	BUILDING
ADJOINERS PROPERTY LINE	BSW	BACK OF SIDEWALK
MONUMENT LINE	EW	EDGE OF WALK
CENTERLINE	CONC	CONCRETE
BUILDING LINE	GB	GRADE BREAK
OVERHANG LINE	COMM	COMMUNICATION BOX
ELECTROLIER	WD FNC	WOOD FENCE
FOUND MONUMENT AS NOTED	EM	ELECTRIC METER
FIRE HYDRANT	EB	ELECTRIC BOX
CATCH BASIN	GUY	GUY POLE
AREA DRAIN	BFP	BACK FLOW PREVENTOR
WATER VALVE	GNV	GROUND
WATER METER	GAR	GARAGE
STORM DRAIN MANHOLE	DI	DRAIN INLET
SANITARY SEWER CLEANOUT	HC	HANDICAP
SANITARY SEWER MANHOLE	COL	COLUMN
TELEPHONE BOX	MB	MAILBOX
PACIFIC GAS & ELECTRIC BOX	PLTR	PLANTER
TREE	STRP	STRIP
POWER POLE	TRWL	TREEWELL
CABLE TELEVISION BOX	TE	TRASH ENCLOSURE
UTILITY BOX	TFC	TOP FACE OF CURB
ROOF DRAIN	FW	FACE OF WALL
4" BOLLARD	HDR	HEADER
WATER METER	HR	HANDRAIL
GAS METER	DWY	DRIVEWAY
GAS VALVE	EVG	EDGE OF VALLEY GUTTER
IRON FENCE	BGN	BEGIN
CHAINLINK FENCE	POC	POINT OF CURVE
RAIL ROAD TRACK	FDC	FIRE DEPARTMENT CONNECTOR
SIGN	FWR	FIRE WATER RISER
CONCRETE ELEVATION	BFW	BACK FACE OF WALL
GROUND ELEVATION	MW	MONITORING WELL
TOP OF PAVEMENT ELEVATION		
TOP OF CURB ELEVATION		
BACK OF WALK ELEVATION		
FLOW LINE ELEVATION		
GRATE ELEVATION		
JOINT POLE		
TRAFFIC SIGNAL		
TRAFFIC SIGNAL BOX		
STREET LIGHT		
STREET LIGHT BOX		
MONUMENT TO MONUMENT		
RADIAL BEARING		
OFFICIAL RECORDS		
TOTAL		
POINT OF BEGINNING		
TITLE EXCEPTION REFERENCE		

## ALTA/ACSM LAND TITLE SURVEY

FOR

URBANGREEN DEVCO, LLC

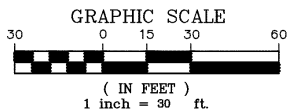
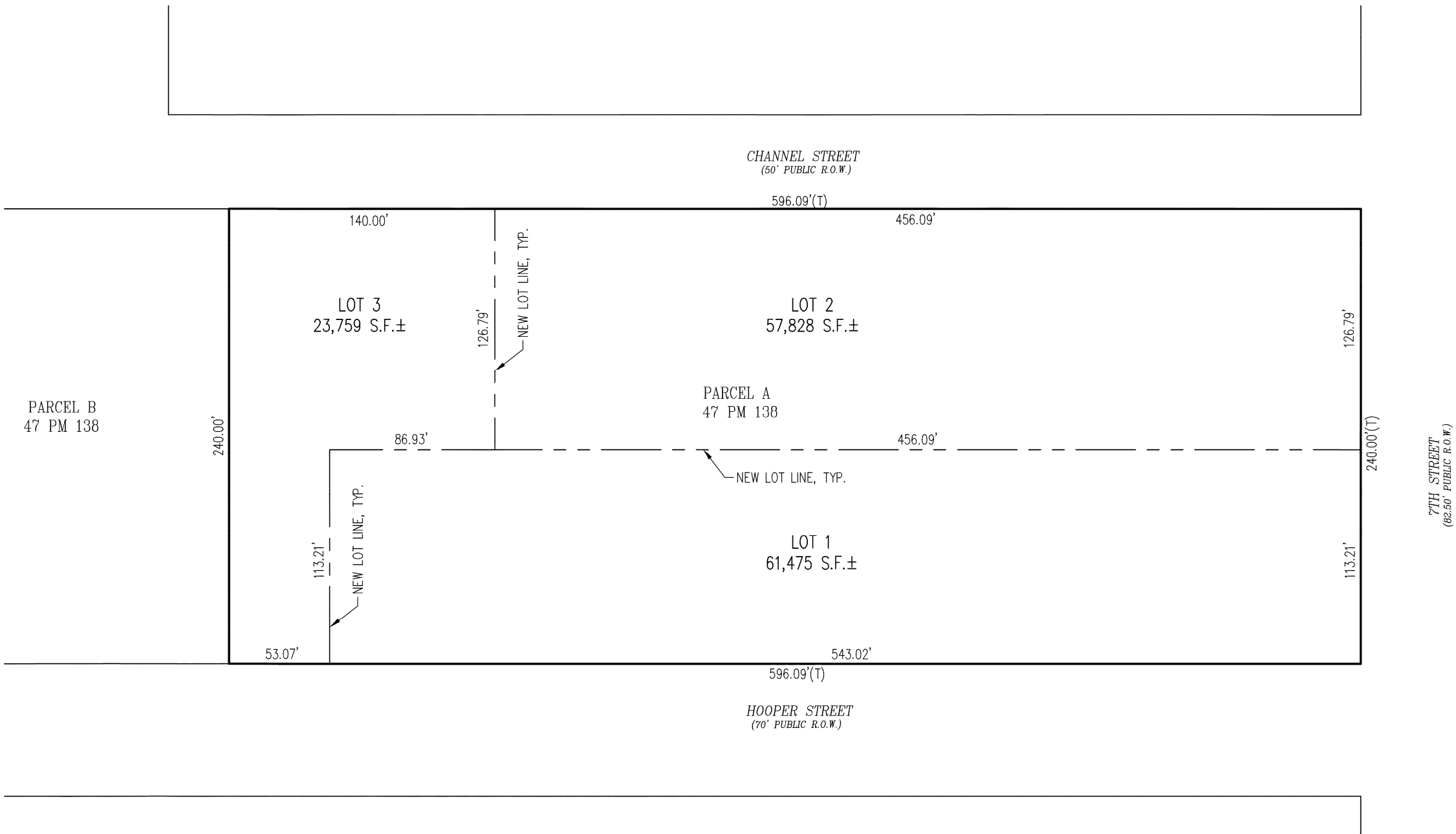
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ALSO BEING A PORTION OF SOUTH BEACH BLOCK NO. 39  
ASSESSOR'S BLOCK 3808, LOT 003

CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA  
SEPTEMBER 2011

PREPARED BY  
**LUK AND ASSOCIATES**  
CIVIL ENGINEER - LAND PLANNERS - LAND SURVEYORS  
738 ALFRED NOBEL DRIVE  
HERCULES, CALIFORNIA 94547  
(510) 724-3388

XREF:

SNAP SHOT:



LEGEND	
SYMBOLS	DESCRIPTION
	EXTERIOR BOUNDARY OF SUBJECT PROPERTY
	RIGHT-OF-WAY LINE
	NEW LOT LINE

98 Jack London Alley San Francisco CA 94107  
415 908 6408 pfaulong.com

ARCHITECTURE

**Luk and Associates**  
Civil Engineering  
Land Planning  
Land Surveying  
738 Alfred Nobel Drive  
Hercules, CA 94547  
Phone (510) 724-3388  
Fax (510) 724-3383  
email: aluk@lukassociates.com

**100 HOOPER STREET**  
SAN FRANCISCO, CA 94107

No.	Date	Issues + Revisions
	01/18/2013	ENTITLEMENT APPLICATION
	02/07/2014	ENTITLEMENT APPLICATION REVISION
	07/16/2014	TIS COMMENT RESPONSE
1	09/26/2014	DRAFT PLANNING COMMISSION ENTITLEMENT SET

Project Name: 100 HOOPER STREET

Project Number: 21114

Sheet Name: PROPOSED LOT LINES

Job No.: 11065A10  
Drawn By: D.A.D. Checked By: J.L.

PROJECT NORTH  
TRUE NORTH

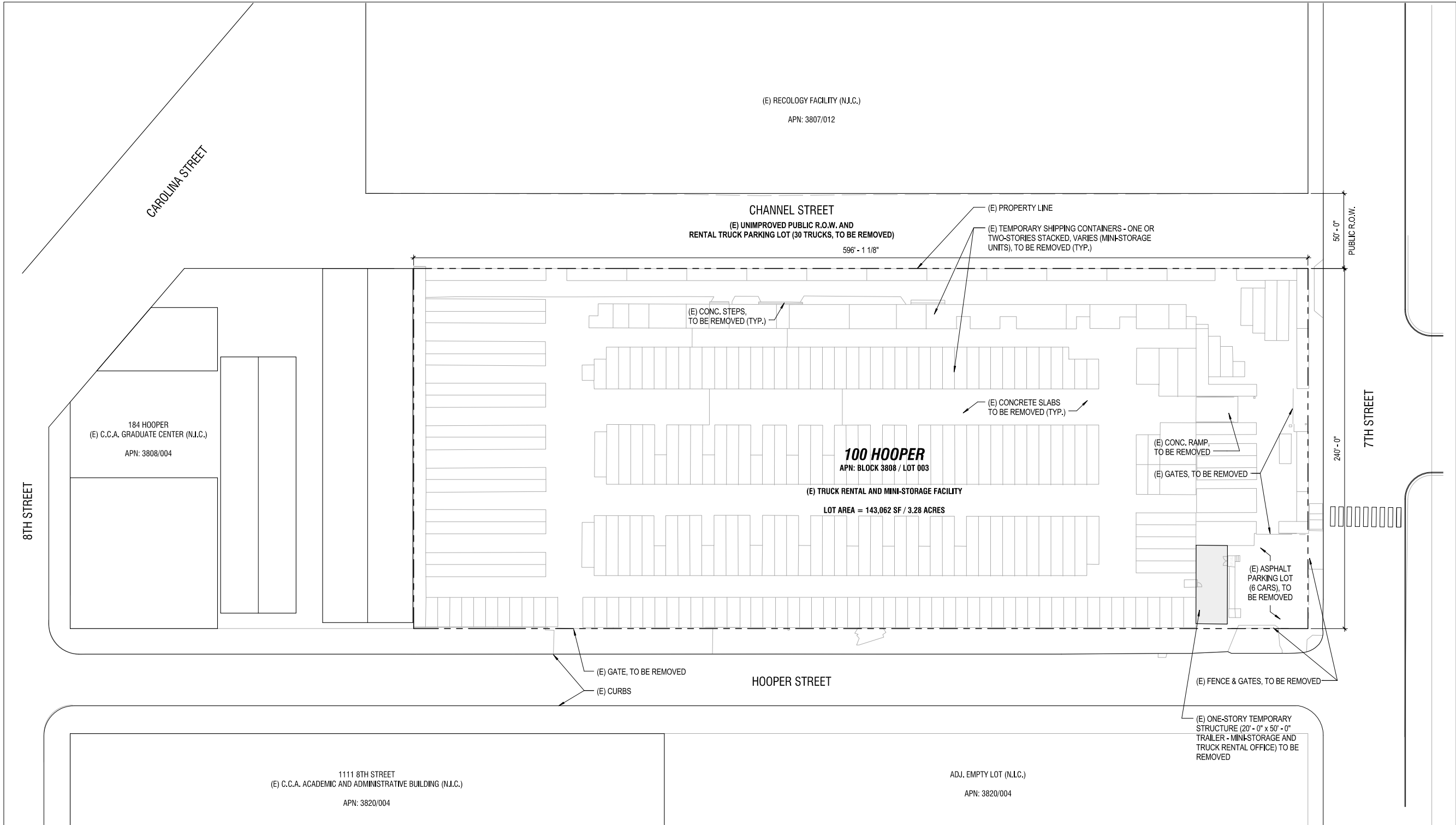
SEPTEMBER 2014

S-1

Scale: 1" = 30'  
All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used or disclosed without written consent of the architect.  
Plot Date: SEPTEMBER 26, 2014

PRELIMINARY - NOT FOR CONSTRUCTION





SITE PLAN - EXISTING 1  
1/32" = 1'-0"

GENERAL NOTES

1. REF. A0.01 FOR ADDITIONAL INFORMATION
2. S.C.D. FOR ADDITIONAL EXISTING SITE INFORMATION, INCLUDING LOCATION OF UTILITIES
3. ALL TRUCK RENTAL AND MINI-STORAGE FACILITIES AND EQUIPMENT, INCLUDING GATES AND FENCING ARE TEMPORARY IN NATURE AND WILL BE REMOVED BY MINI-STORAGE COMPANY UPON TERMINATION OF THEIR LEASE OF THE LOT. THE LOT WILL THEREFORE BE VACANT, AND THE ONLY DEMOLITION REQUIRED BY THE PROJECT SPONSOR WILL BE THE REMOVAL OF EXISTING CONCRETE AND ASPHALT SURFACES.

SHEET NOTES

<b>EXISTING AREA:</b> (TEMPORARY STRUCTURES)	TEMPORARY OFFICE 1,000 SF TEMPORARY STORAGE CONTAINERS 85,532 SF <b>TOTAL 86,532 SF</b>
<b>FLOOR AREA RATIO:</b> SFPC TABLE 124	<b>EXISTING</b> 0 (NO PERMANENT STRUCTURES)

LEGEND

- (N) = NEW / PROPOSED  
(E) = EXISTING  
- - - - - PROPERTY LINE

100 HOOPER STREET  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

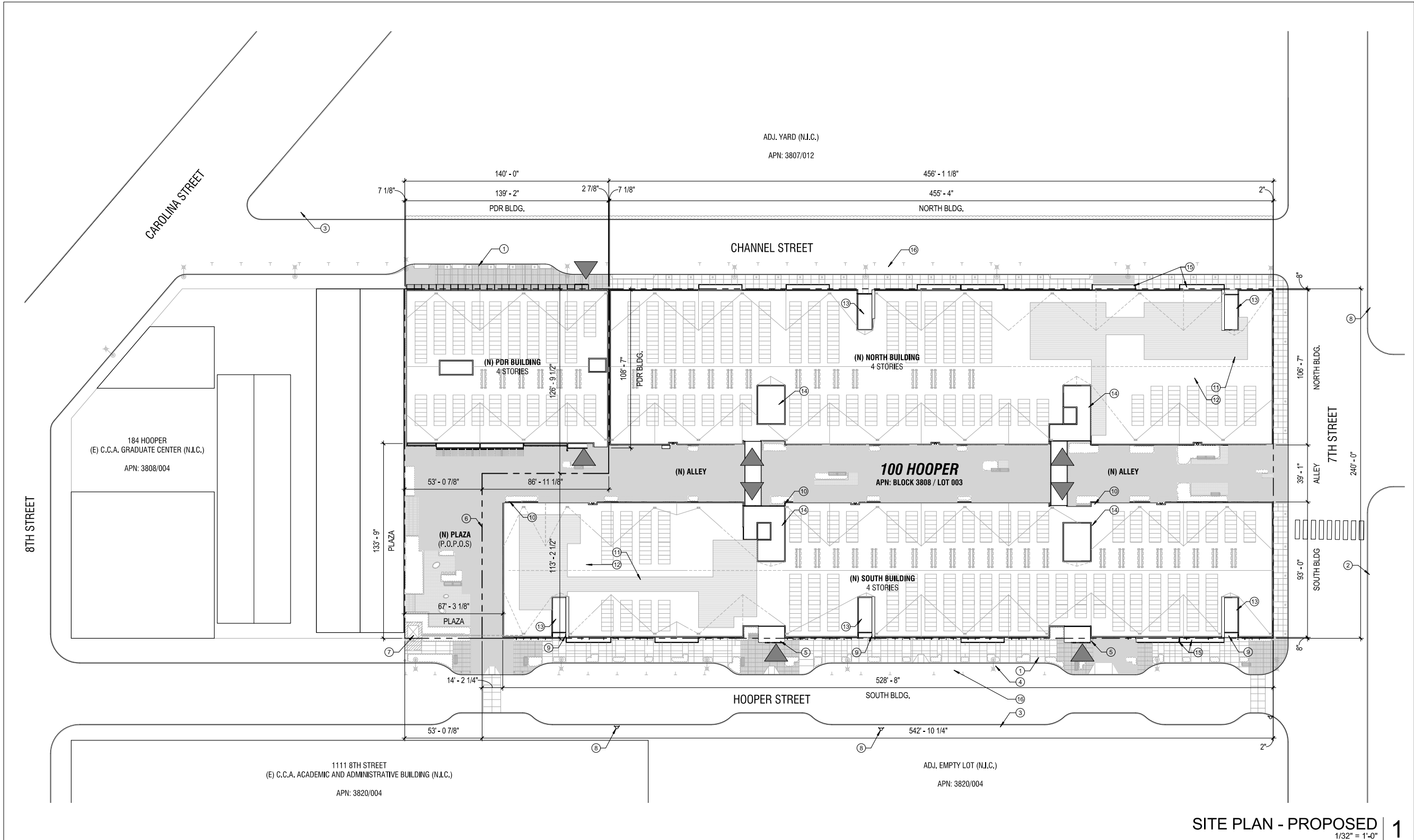
Sheet Name  
ARCHITECTURAL SITE PLAN  
- EXISTING CONDITIONS

Ref. North PROJECT NORTH TRUE NORTH  
Date 01/22/2015  
Scale  
**A1.01**

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100 HOOPER STREET  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
ARCHITECTURAL SITE PLAN  
- PROPOSED CONDITIONS

Ref. North PROJECT NORTH TRUE NORTH Date  
01/22/2015

Scale  
A1.02  
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GENERAL NOTES

SHEET NOTES

NOTE NO.	COMMENT
1	(N) SIDEWALK & CURB, S.C.D.
2	(E) SIDEWALK & CURB
3	(N) FUTURE SIDEWALK & CURB (N.I.C.)
4	(N) STREET LIGHT FIXTURE, S.C.D.
5	(N) ENTRY CANOPY BELOW
6	(N) PROPOSED PROPERTY LINES, S.C.D.
7	(N) PDR BUILDING TRANSFORMER, S.C.D.
8	(E) FIRE HYDRANT, S.C.D., TYP.
9	(N) FIRE DEPARTMENT CONNECTION
10	(N) EXTERIOR STANDPIPE
11	(N) FUTURE ROOF DECK (N.I.C.)
12	(N) FUTURE GREEN ROOF (N.I.C.)
13	(N) STAIR PENTHOUSE
14	(N) STAIR & ELEVATOR PENTHOUSE
15	(N) BALCONIES BELOW
16	(N) STREET PARKING, REF A1.03, STREET ACCESS AND PARKING PLAN

LEGEND

- (N) = NEW / PROPOSED
- (E) = EXISTING
- PROPERTY LINE
- ▲ LOCATION OF BUILDING ENTRY
- ① → SHEET NOTE







From the 'Alley'  
Looking Towards the Plaza

KEYMAP



Hooper Street Sidewalk

KEYMAP

## COLOR AND FINISH SCHEDULE

- VEHICULAR CONCRETE PAVING**  
 Type 1 Integral color concrete with Graphite Iron Oxide Color  
 Type 2 Integral color concrete, color to match Warm Grey Permeable Paver  
 \*All colors to be by Davis colors
- PEDESTRIAN CONCRETE PAVING**  
 Type 1 Natural grey color concrete with light broom finish. Sweep perpendicular to path of travel.  
 Type 2 Integral color concrete with Graphite Iron Oxide Color  
 \*All colors to be by Davis colors
- VEHICULAR ACCENT PAVING**  
 Type 1 6x12" 80mm Permeable Paver, Color - Charcoal Blend  
 Type 2 6x12" 80mm Permeable Paver, Color - Medium Grey  
 Type 3 6x12" 80mm Permeable Paver, Color - Dark Grey  
 Type 4 6x12" 80mm Permeable Paver, Color - Warm Grey
- PLANTER WALL**  
 Galvanized Steel and CMU Precision Block
- TRASH RECEPTACLES**  
 Trash Receptacle Custom design 3 stream waste receptacles by EcoPop Designs, Pacifica, California. 650-728-9220. Design to match the Emeryville Public Market containers shown on imagery sheet. Contractor to submit sample to Landscape Architect for approval prior to fabrication. Contractor to provide unit price. Quantity to be 5.
- LIGHTING FIXTURES**  
 Suspended Luminaire: See Electrical Drawings. Fixture to be Industrial style downlight with LED source suspended from cable in a continuous electrical circuit.
- METAL GRATING OVER PLANTING**  
 Plain Steel Rectangular Bar Press-Locked Close Mesh Grating #GCM-2(8P4), by McNichols, (800-237-3820). Install for Vehicular Weight Use.
- BENCHES**  
 Model: Bancal, 88" length with back and arms and 168" length with partial back and arms, lpe wood, by Landscape Forms, (800-430-6206 x1313).
- METAL MESH SEATS**  
 Model: Radium LR110, with Steel Mesh Seat, by mmcite, (510-470-1673).
- BOLLARDS**  
 Custom repurposed, onsite railroad rail bollard.
- BIKE RACKS**  
 Model: Welle Spiral Rack - Inground WSR10-IG, Steel, by Bikeparking.com, (415-333-6428).

From the Plaza  
Looking Down the 'Alley'

KEYMAP



From 7th Street  
Looking Down the 'Alley'

KEYMAP



## SHEET INDEX

- L1.1 Perspectives and General Notes  
 L2.1 Landscape Plan - West  
 L2.2 Landscape Plan - East  
 L3.1 Conceptual Planting Diagram - West  
 L3.2 Conceptual Planting Diagram - East  
 L4.1 Landscape Imagery

100 HOOPER STREET  
 SAN FRANCISCO, CA 94107



No.	Date	Issues / Revisions
	01/18/2013	ENTITLEMENT APPLICATION
	02/07/2014	ENTITLEMENT APPLICATION REVISION
	07/16/2014	TIS COMMENT RESPONSE
1	09/26/2014	DRAFT PLANNING COMMISSION ENTITLEMENT SET
2	12/09/2014	REVISED PLANNING COMMISSION ENTITLEMENT SET

Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
PERSPECTIVES AND GENERAL NOTES

Project Name  
100 HOOPER STREET

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21114

Sheet Name  
PERSPECTIVES AND GENERAL NOTES



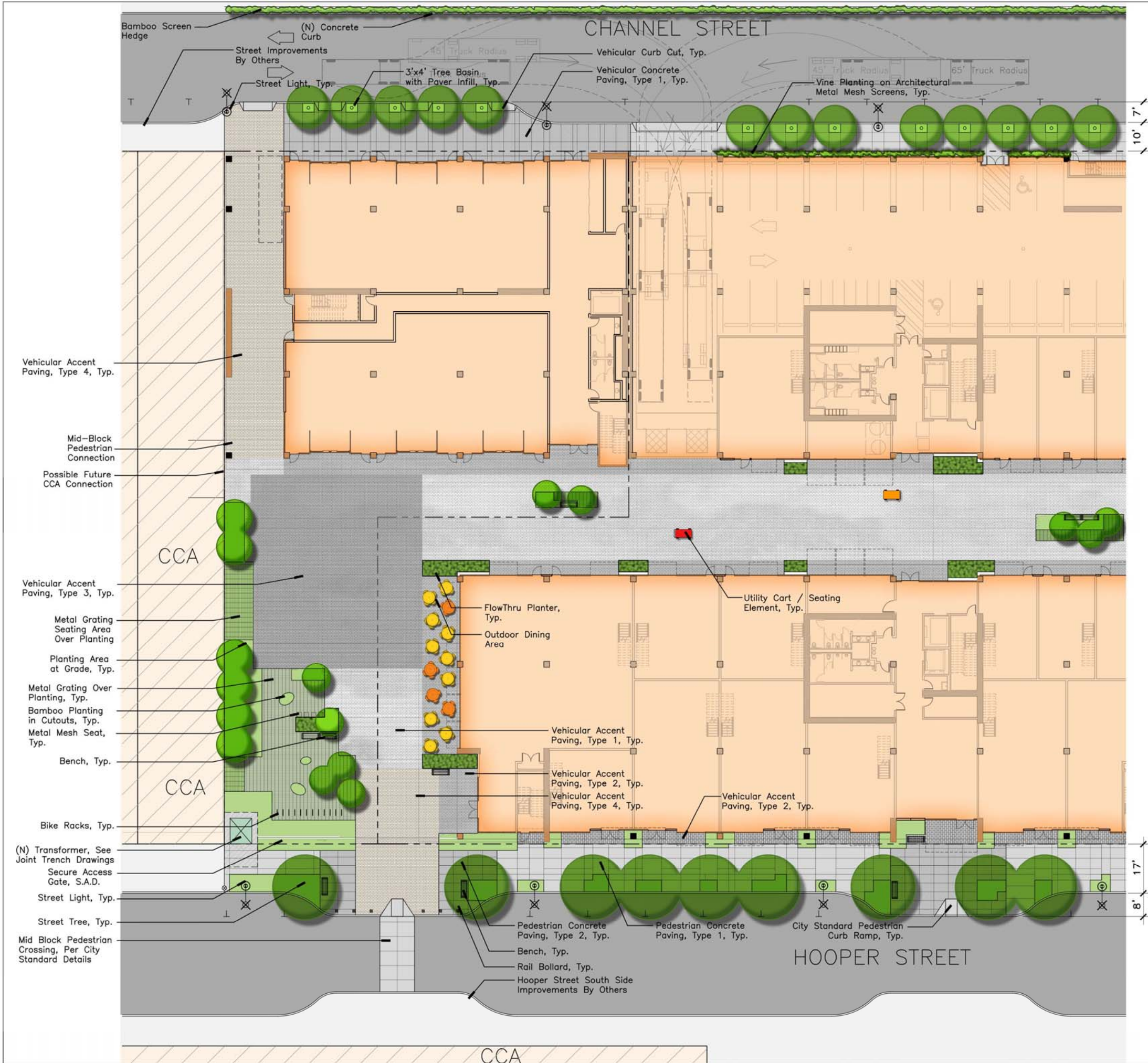
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4	12/30/2014	REVISED PLANNING COMMISSION ENTITLEMENT SET

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Sheet Name  
LANDSCAPE PLAN - WEST



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Sheet Name  
LANDSCAPE PLAN - EAST

PRELIMINARY - NOT FOR CONSTRUCTION





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SAN FRANCISCO, CA 94107



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Project Number  
21114

Sheet Name  
CONCEPTUAL PLANTING  
DIAGRAM - WEST

Ref. North  
PROJECT  
NORTH  
TRUE  
NORTH  
Date  
12/09/2014

L3.1

Scale  
1/16" = 1'  
0 8 16 32

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## Legend

- 1 Gallon Shrubs @ 18" O.C.
- 5 Gallon Shrubs @ 24" O.C.
- 15 Gallon Shrubs @ 36" O.C.

PFAU GNO1

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Sheet Name  
CONCEPTUAL PLANTING  
DIAGRAM - EAST

Ref. North  
PROJECT  
TRUE  
NORTH  
Date  
12/09/2014

Scale  
1/16" = 1'  
0 8 16 32

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L3.2





PFAU GNOT

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21114

Sheet Name  
LANDSCAPE IMAGERY

Date  
12/09/2014



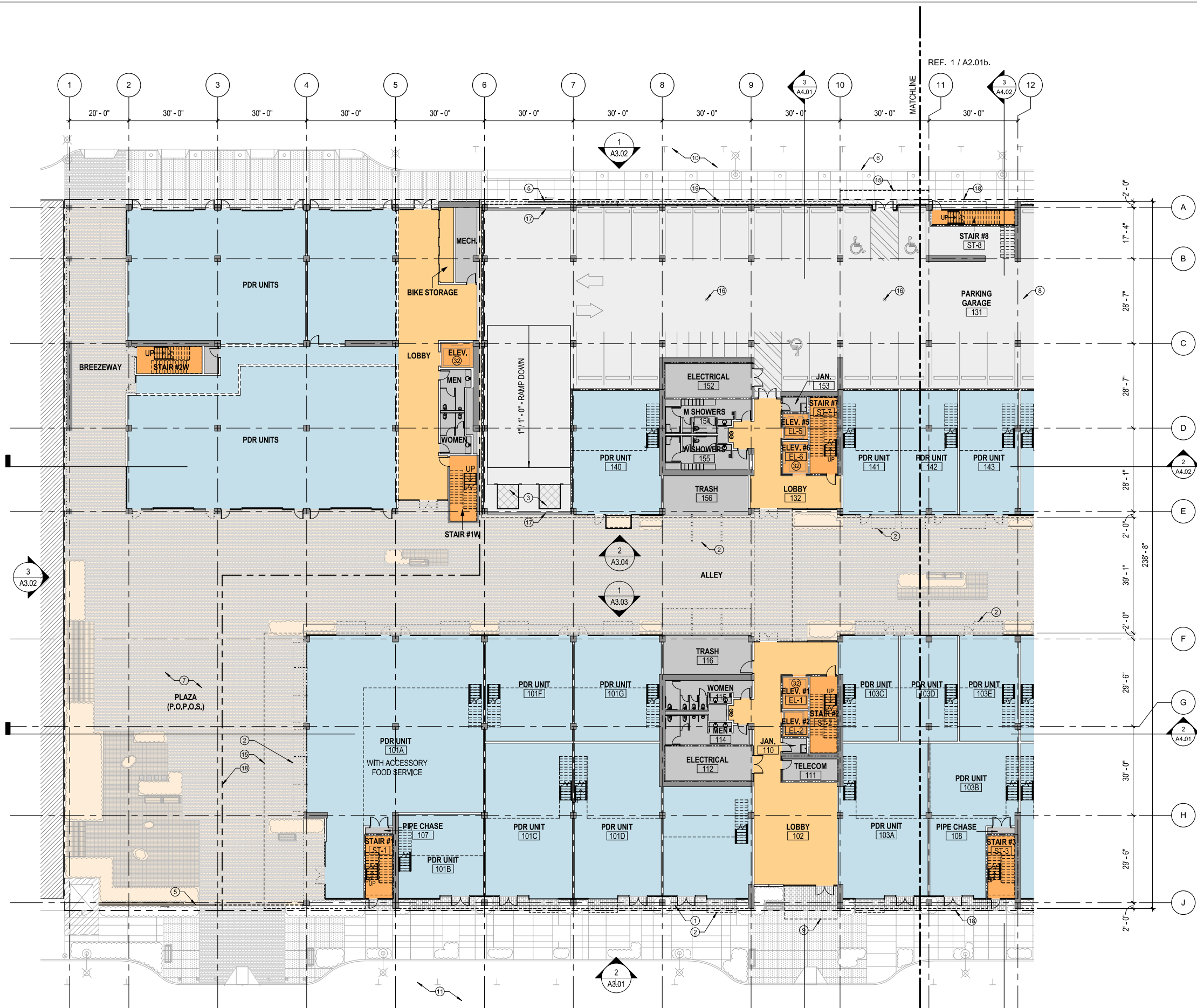
L4.1

Scale  
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FLOOR PLAN - LEVEL 1 - WEST 1  
1/16" = 1'-0"

GENERAL NOTES

1. PDR UNIT AND MEZZANINE LAYOUT AS SHOWN SUBJECT TO CHANGE PER FUTURE TENANT IMPROVEMENT REQUIREMENTS

SHEET NOTES

- | NOTE NO. | NOTE  |
|----------|---|
| 1        | CANOPY ABOVE, SHOWN DASHED                            |
| 2        | ROLL/FOLD-UP DOOR, OVERHEAD                           |
| 3        | TRUCK LOADING DOCK W/ DOCK LEVELERS                   |
| 4        | BIKE PARKING  |
| 5        | PTD. MTL. SLIDING GATE                                |
| 6        | NEW LINE OF CURB, SEE CIVIL                           |
| 7        | LANDSCAPE ELEMENTS, SEE LANDSCAPE                     |
| 8        | EXPANSION JOINT COVER                                 |
| 9        | PTD. MTL. CANOPY, OVERHEAD                            |
| 10       | NEW STREET PARKING, SEE CIVIL                         |
| 11       | STREET IMPROVEMENTS, SEE CIVIL                        |
| 12       | DOMESTIC WATER BFP                                    |
| 13       | IRRIGATION BFP  |
| 14       | GAS METER   |
| 15       | LINE OF BLDG, OVERHEAD                                |
| 16       | AREA DRAIN  |
| 17       | TRENCH DRAIN  |
| 18       | PROPERTY LINE, TYP. SEE CIVIL                         |
| 19       | GREEN WALL, SEE LANDSCAPE                             |
| 20       | PTD. STL. BRIDGE                                      |
| 21       | PTD. MTL. CANOPY, BELOW                               |
| 22       | TENANT BALCONY, OVERHEAD                              |
| 23       | ROOF DRAIN & OVERFLOW DRAIN                           |
| 24       | FLAT ROOF, SLOPE TO DRAIN AS NOTED, 1/4" PER FT. MIN. |
| 25       | ELEVATOR PENTHOUSE (NO STOP THIS LEVEL)               |
| 26       | CONC. CURB RAIL TO SUPPORT ROOFTOP CONDENSING UNITS   |
| 27       | SOLAR PANEL, TYP.                                     |
| 28       | ROOF OF BRIDGE BELOW                                  |
| 29       | CONC. PARAPET WALL                                    |
| 30       | FUTURE ROOF DECK, N.I.C.                              |
| 31       | FUTURE GREEN ROOF, N.I.C.                             |
| 32       | FREIGHT/PASSENGER ELEVATOR (SFPC 219.1)               |

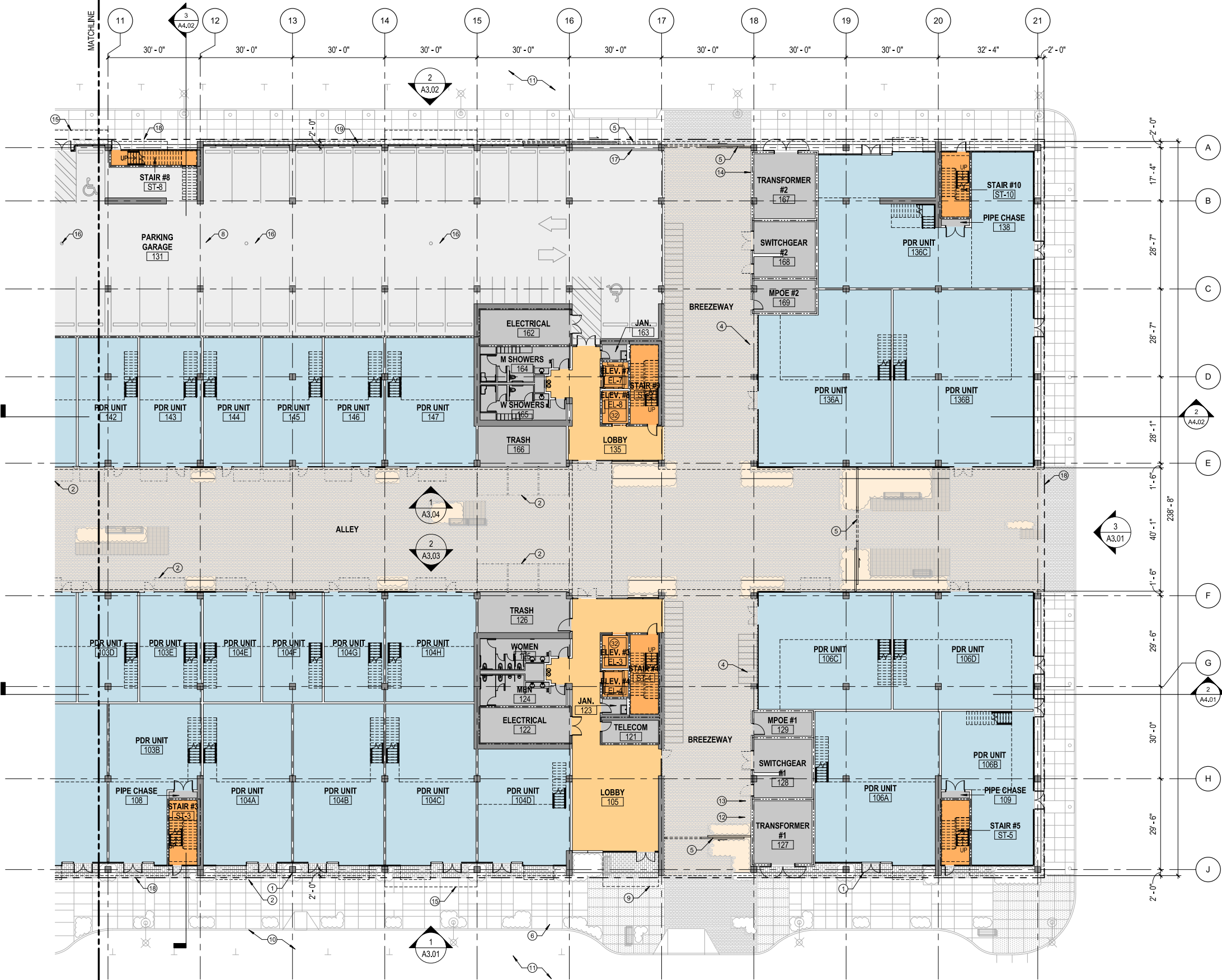
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- SHARED TENANT SPACE
- VERTICAL CIRCULATION
- PDR UNITS
- COMMERCIAL TENANT SPACE
- FUTURE ROOF PLANTING AREAS (N.I.C.)
- PARKING
- BUILDING SERVICE SPACES

LEGEND

- (E) ADJACENT BUILDING
- CONCRETE SHEAR WALL
- TYP. FRAMED PARTITION WALL
- 1-HR RATED CONSTRUCTION
- 2-HR RATED CONSTRUCTION
- 3-HR RATED CONSTRUCTION
- TYP. CONCRETE COLUMN
- CONC. COLUMN W/ PLUMBING STACK
- CONC. COLUMN W/ REFRIGERANT STACK

PRELIMINARY - NOT FOR CONSTRUCTION

REF. 1 / A2.01a.



FLOOR PLAN - LEVEL 1 - EAST

1/16" = 1'-0"

1

GENERAL NOTES

1. PDR UNIT AND MEZZANINE LAYOUT AS SHOWN SUBJECT TO CHANGE PER FUTURE TENANT IMPROVEMENT REQUIREMENTS

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- SHARED OUTDOOR SPACE
- SHARED TENANT SPACE
- VERTICAL CIRCULATION
- PDR UNITS
- COMMERCIAL TENANT SPACE
- FUTURE ROOF PLANTING AREAS (N.I.C.)
- PARKING
- BUILDING SERVICE SPACES

LEGEND

- (E) ADJACENT BUILDING
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- 2-HR RATED CONSTRUCTION
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- TYP. CONCRETE COLUMN
- CONC. COLUMN W/ PLUMBING STACK
- CONC. COLUMN W/ REFRIGERANT STACK

PFAU GN01

ARCHITECTURE

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No. Date Issues + Revisions

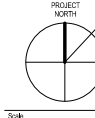
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Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
FLOOR PLAN - LEVEL 1 - EAST

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PROJECT NORTH  
TRUE NORTH  
Date  
01/22/2015



A2.01b.

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Project Name  
100 HOOPER STREET

Project Number  
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Sheet Name  
FLOOR PLAN - MEZZANINE -  
WEST

Ref. North PROJECT NORTH TRUE NORTH  
Date 01/22/2015

A2.01Ma.

PRELIMINARY - NOT FOR CONSTRUCTION

GENERAL NOTES

1. PDR UNIT AND MEZZANINE LAYOUT AS SHOWN  
SUBJECT TO CHANGE PER FUTURE TENANT  
IMPROVEMENT REQUIREMENTS

SHEET NOTES

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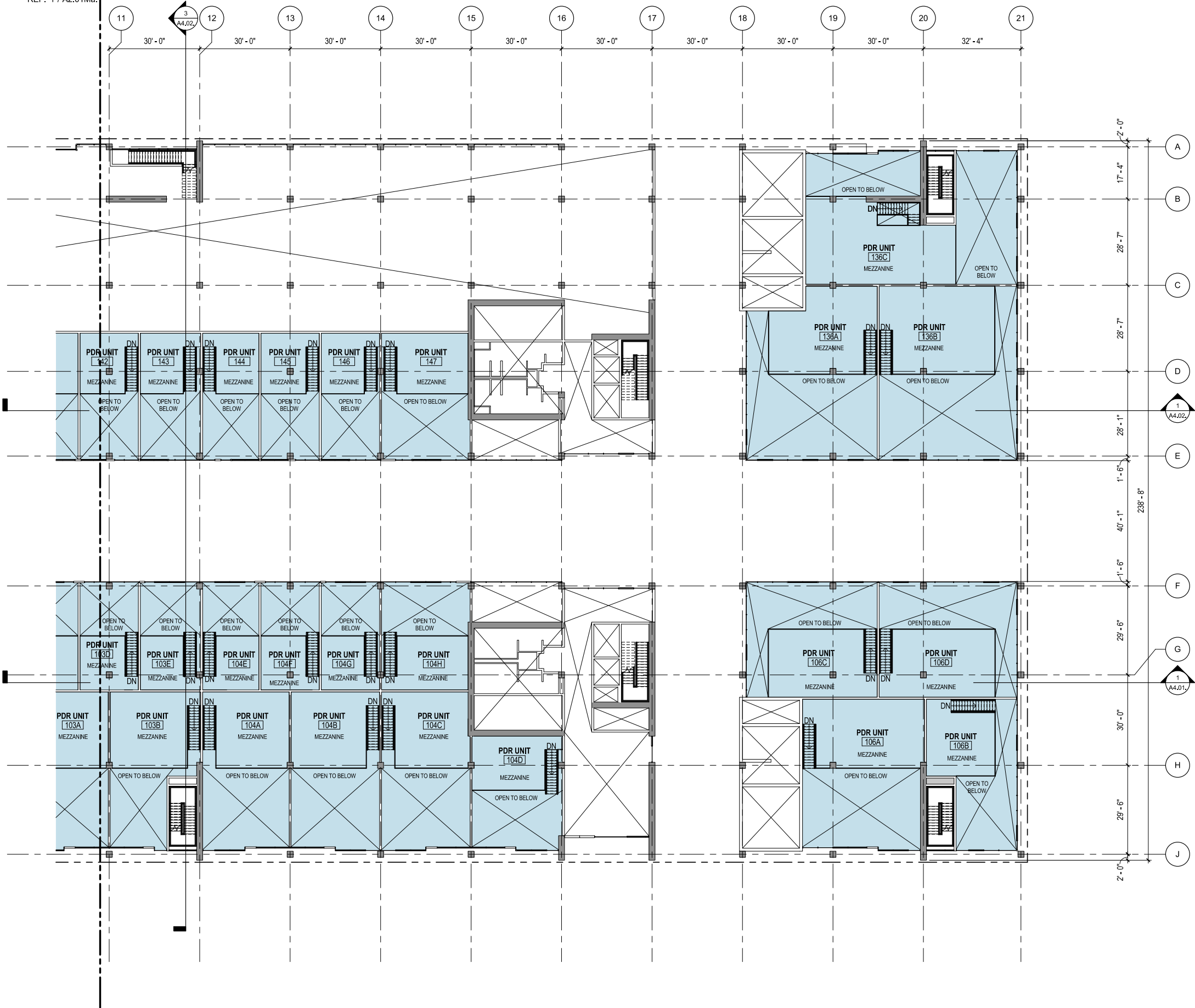
LEGEND

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- TYP. CONCRETE COLUMN
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- CONC. COLUMN W/ REFRIGERANT STACK

FLOOR PLAN - MEZZANINE - WEST | 1  
1/16" = 1'-0"



REF. 1 / A2.01Ma.



FLOOR PLAN - MEZZANINE - EAST 1  
1/16" = 1'-0"

## GENERAL NOTES

1. PDR UNIT AND MEZZANINE LAYOUT AS SHOWN  
SUBJECT TO CHANGE PER FUTURE TENANT  
IMPROVEMENT REQUIREMENTS

## SHEET NOTES

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| 32       | FREIGHT/PASSENGER ELEVATOR (SFPC 219.1)                  |
- 1 A4.02.

SHARED OUTDOOR SPACE

SHARED TENANT SPACE

VERTICAL CIRCULATION

PDR UNITS

COMMERCIAL TENANT SPACE

FUTURE ROOF PLANTING AREAS (N.I.C.)

PARKING

BUILDING SERVICE SPACES

## LEGEND

- |                                   |
|-----------------------------------|
| (E) ADJACENT BUILDING             |
| CONCRETE SHEAR WALL               |
| TYP. FRAMED PARTITION WALL        |
| 1-HR RATED CONSTRUCTION           |
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PFAU  
GN01

ARCHITECTURE

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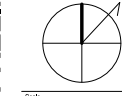
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100 HOOPER STREET

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Sheet Name  
FLOOR PLAN - MEZZANINE -  
EAST

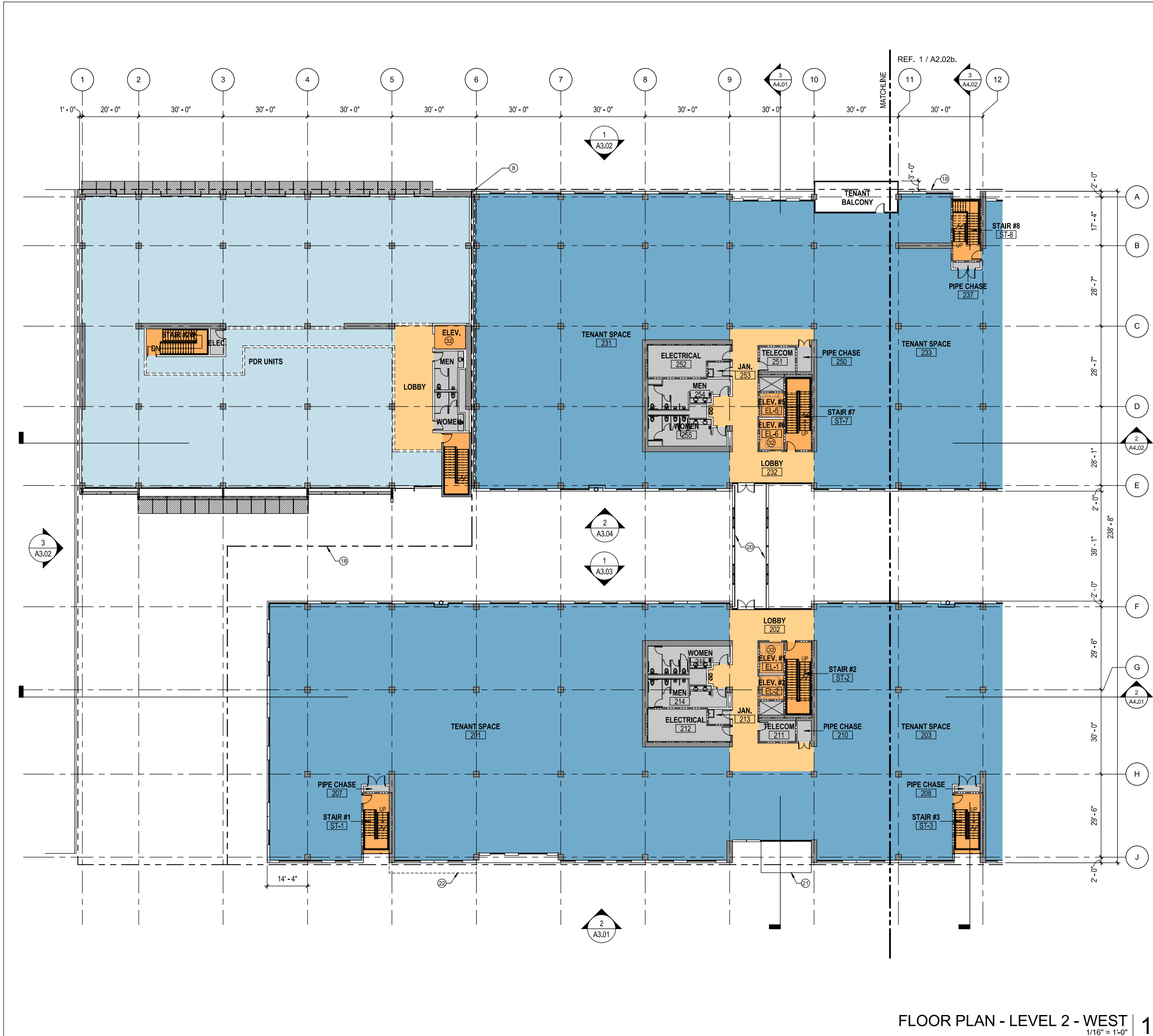
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FLOOR PLAN - LEVEL 2 - WEST 1  
1/16" = 1'-0"

GENERAL NOTES

1. PDR UNIT AND MEZZANINE LAYOUT AS SHOWN  
SUBJECT TO CHANGE PER FUTURE TENANT  
IMPROVEMENT REQUIREMENTS

SHEET NOTES

NOTE NO.	NOTE
1	CANOPY ABOVE, SHOWN DASHED
2	ROLL/FOLD-UP DOOR, OVERHEAD
3	TRUCK LOADING DOCK W/ DOCK LEVELERS
4	BIKE PARKING
5	PTD. MTL. SLIDING GATE
6	NEW LINE OF CURB, SEE CIVIL
7	LANDSCAPE ELEMENTS, SEE LANDSCAPE
8	EXPANSION JOINT COVER
9	PTD. MTL. CANOPY, OVERHEAD
10	NEW STREET PARKING, SEE CIVIL
11	STREET IMPROVEMENTS, SEE CIVIL
12	DOMESTIC WATER BFP
13	IRRIGATION BFP
14	GAS METER
15	LINE OF BLDG, OVERHEAD
16	AREA DRAIN
17	TRENCH DRAIN
18	PROPERTY LINE, TYP., SEE CIVIL
19	GREEN WALL, SEE LANDSCAPE
20	PTD. STL. BRIDGE
21	PTD. MTL. CANOPY, BELOW
22	TENANT BALCONY, OVERHEAD
23	ROOF DRAIN & OVERFLOW DRAIN
24	FLAT ROOF, SLOPE TO DRAIN AS NOTED, 1/4" PER FT. MIN.
25	ELEVATOR PENTHOUSE (NO STOP THIS LEVEL)
26	CONC. CURB RAIL TO SUPPORT ROOFTOP CONDENSING UNITS
27	SOLAR PANEL, TYP.
28	ROOF OF BRIDGE BELOW
29	CONC. PARAPET WALL
30	FUTURE ROOF DECK, N.I.C.
31	FUTURE GREEN ROOF, N.I.C.
32	FREIGHT/PASSENGER ELEVATOR (SFPC 219.1)

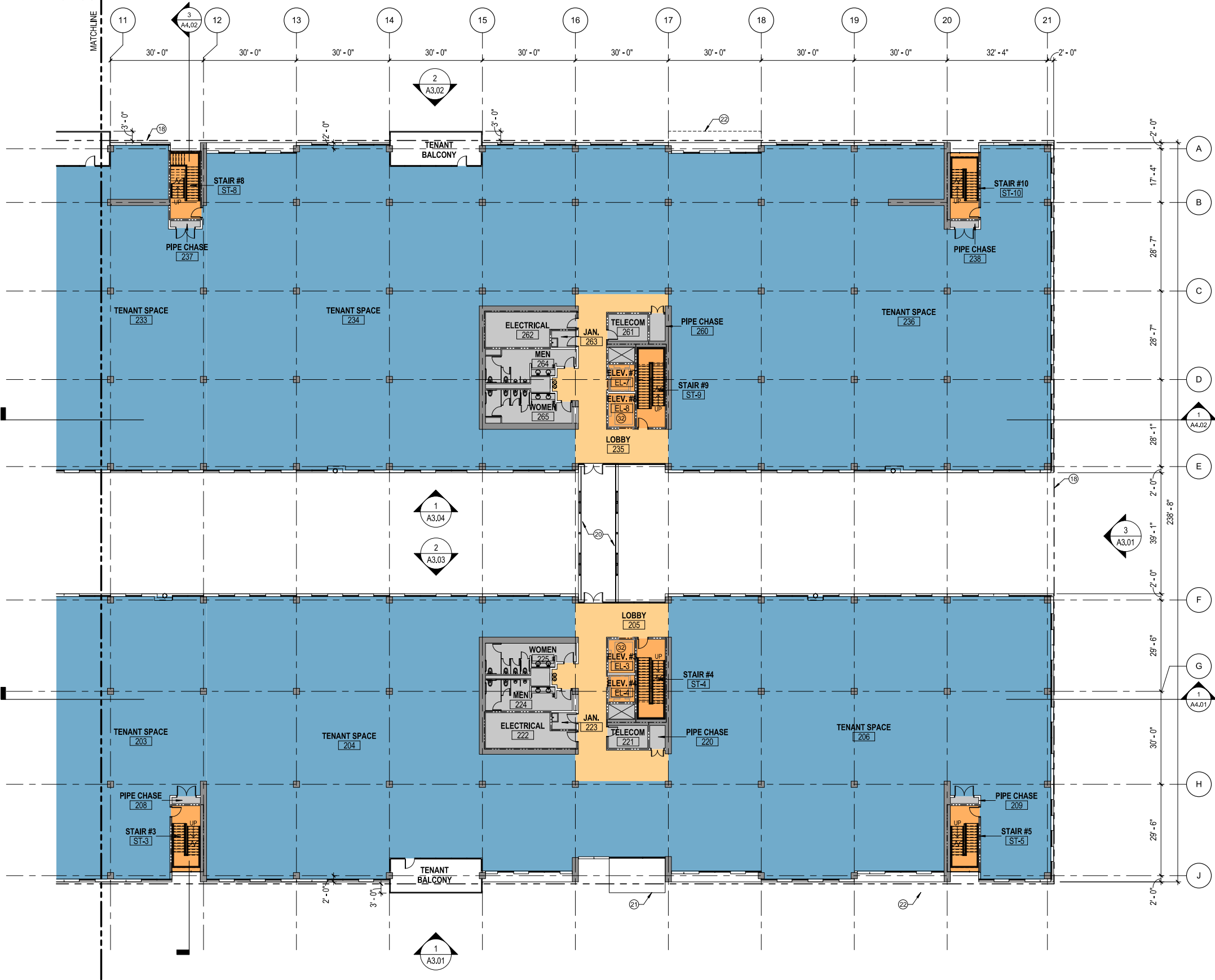
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- VERTICAL CIRCULATION
- PDR UNITS
- COMMERCIAL TENANT SPACE
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- (E) ADJACENT BUILDING
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- 3-HR RATED CONSTRUCTION
- TYP. CONCRETE COLUMN
- CONC. COLUMN W/ PLUMBING STACK
- CONC. COLUMN W/ REFRIGERANT STACK

PRELIMINARY - NOT FOR CONSTRUCTION

REF. 1 / A2.02a.



## GENERAL NOTES

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IMPROVEMENT REQUIREMENTS

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FLOOR PLAN - LEVEL 2 - EAST 1  
1/16" = 1'-0"

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No. Date Issues + Revisions

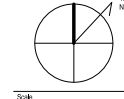
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Sheet Name  
FLOOR PLAN - LEVEL 2 -  
EAST

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Date  
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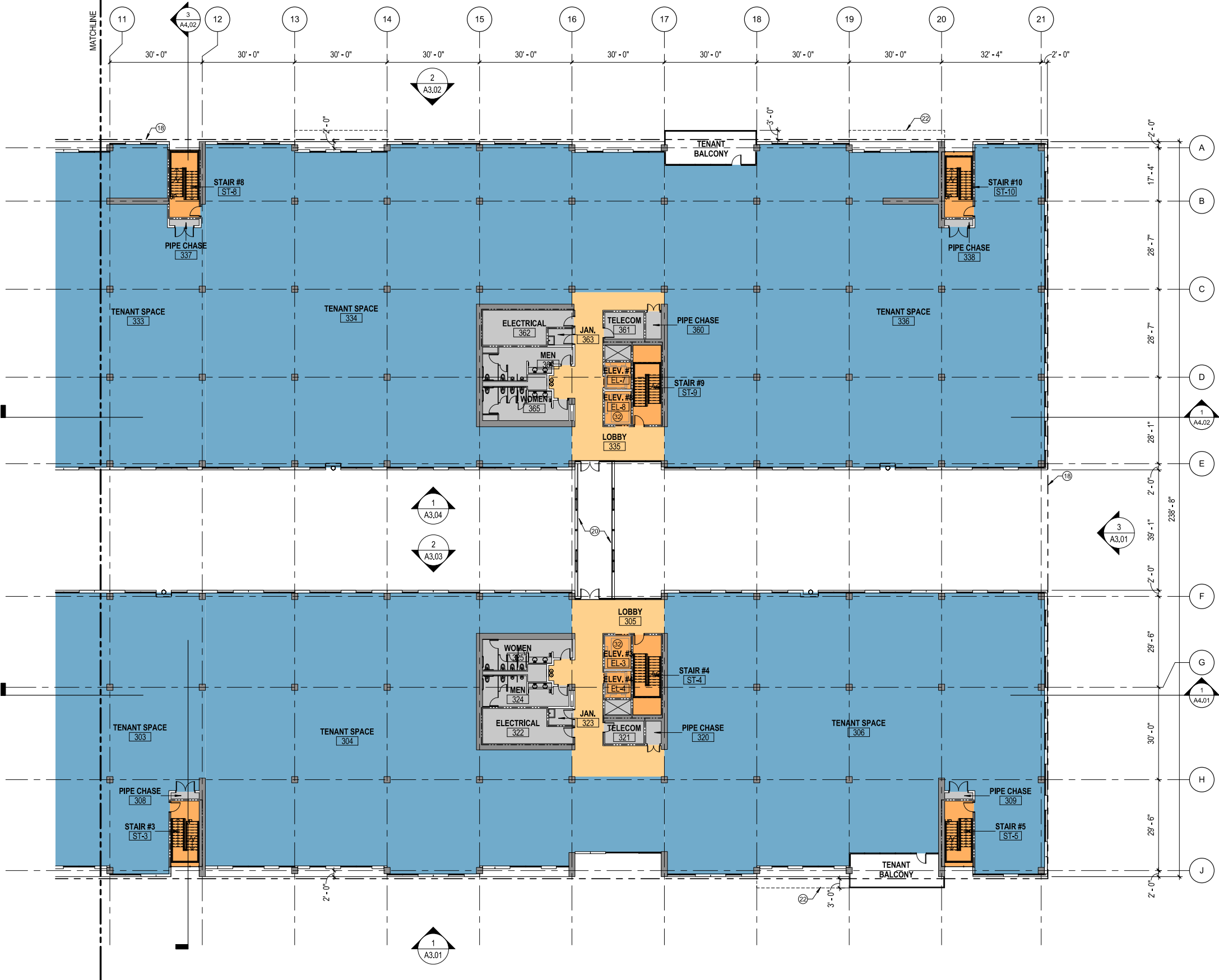
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FLOOR PLAN - LEVEL 3 - EAST  
1/16" = 1'-0"

### GENERAL NOTES

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Sheet Name  
FLOOR PLAN - LEVEL 3 - EAST

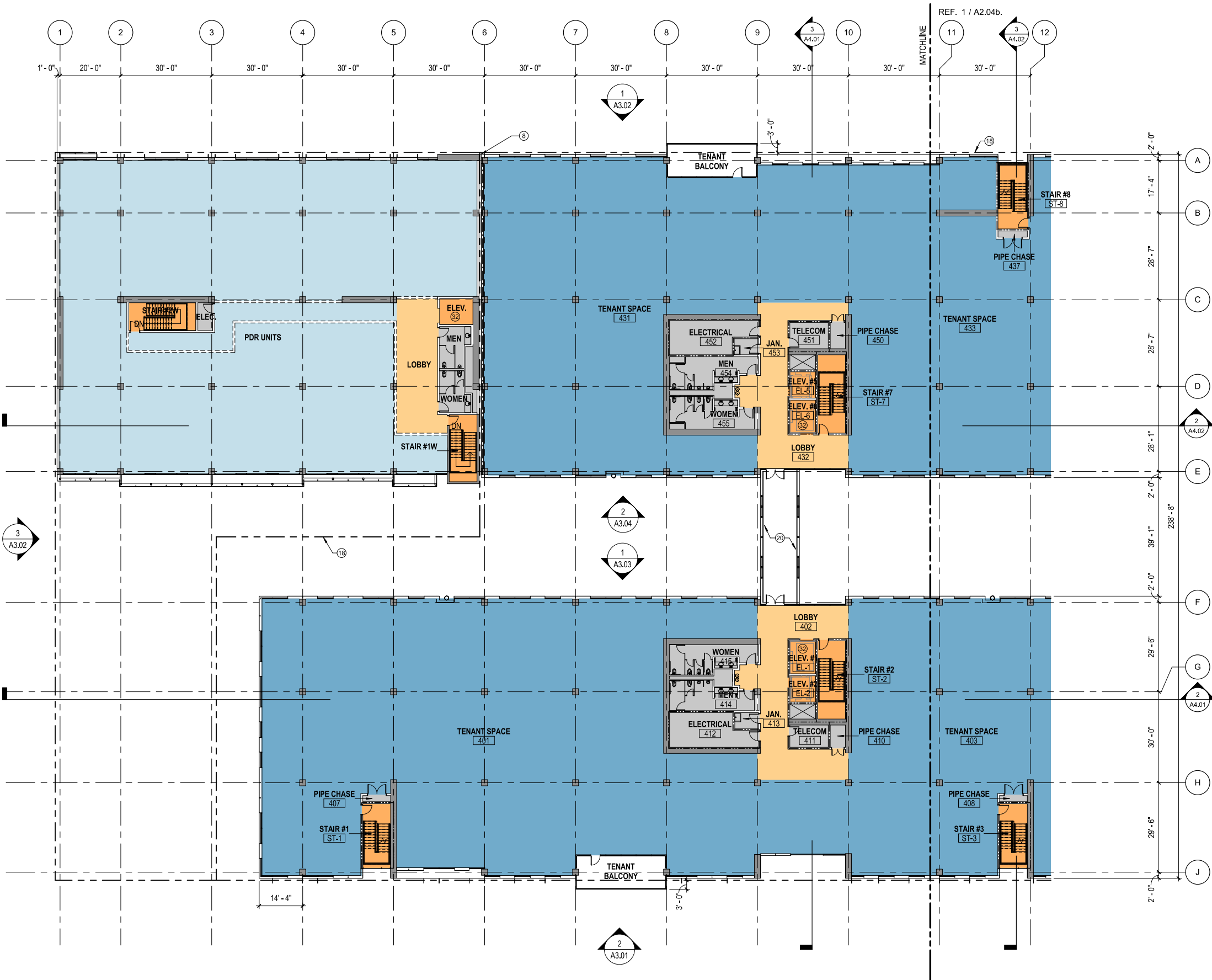
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Scale  
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FLOOR PLAN - LEVEL 4 - WEST  
1/16" = 1'-0"

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FLOOR PLAN - LEVEL 4 - WEST

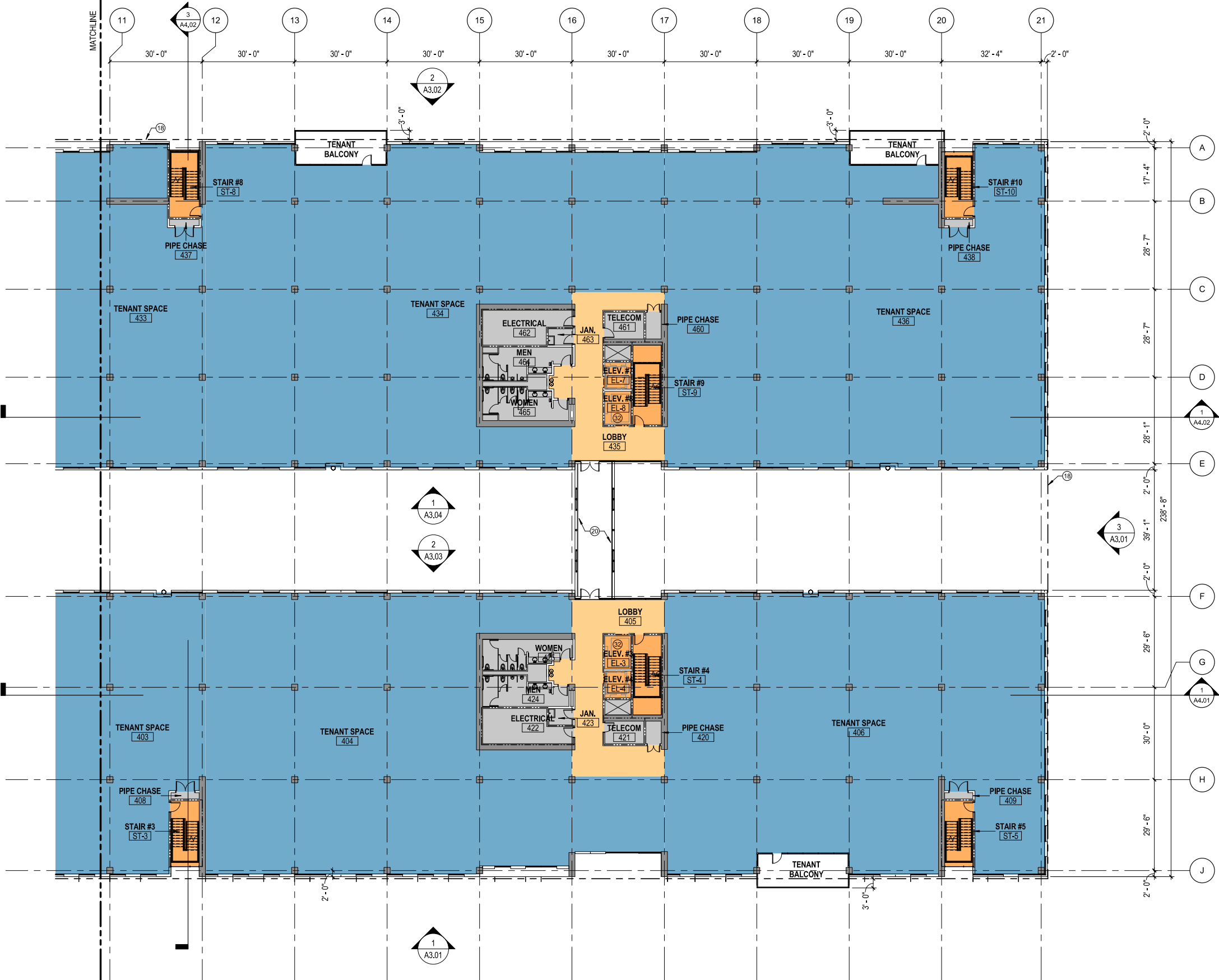
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FLOOR PLAN - LEVEL 4 - EAST  
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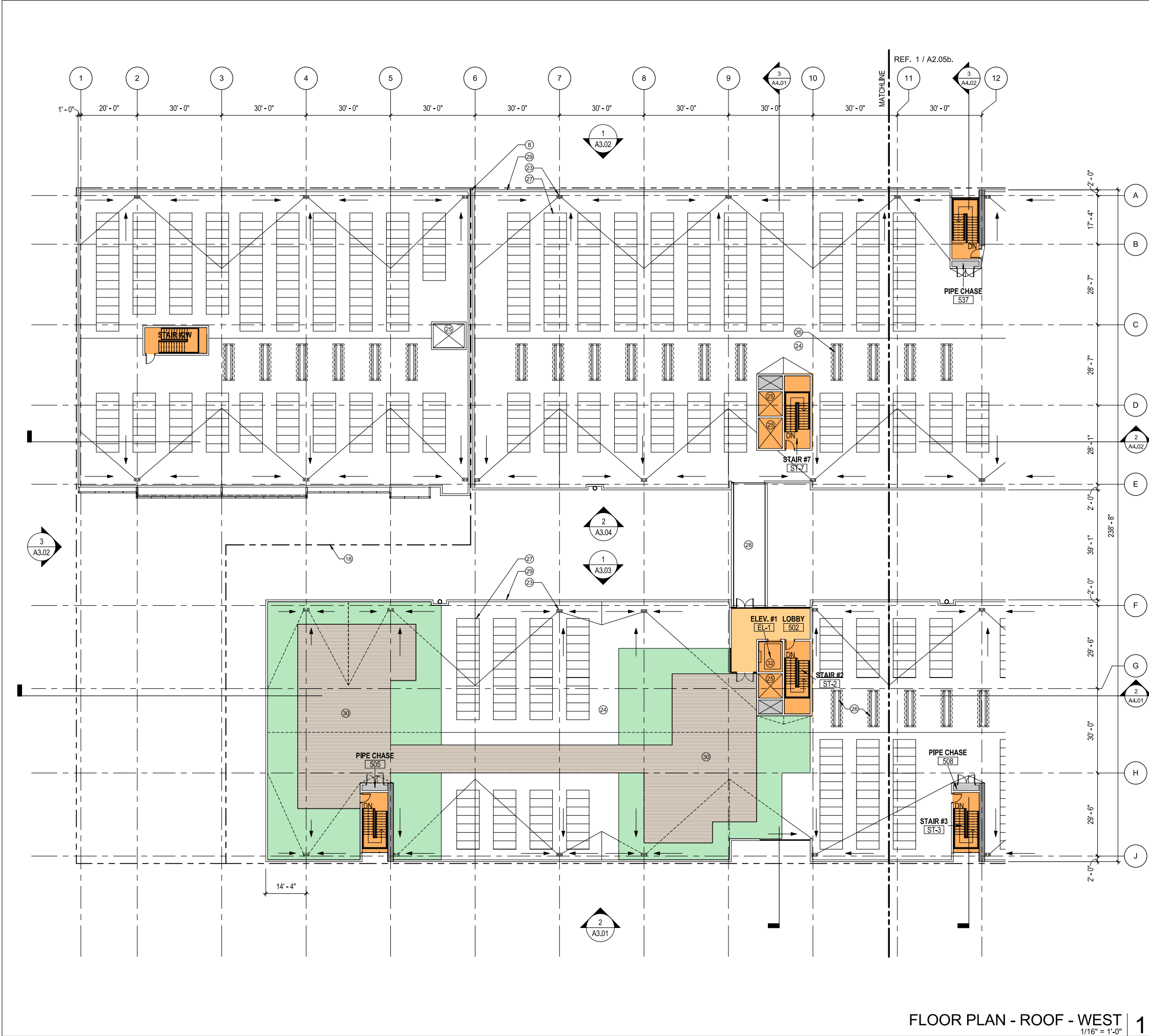
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EAST

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A2.04b.

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FLOOR PLAN - ROOF - WEST | 1  
1/16" = 1'-0"

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Sheet Name  
ROOF PLAN - EAST

Ref. North PROJECT NORTH TRUE NORTH  
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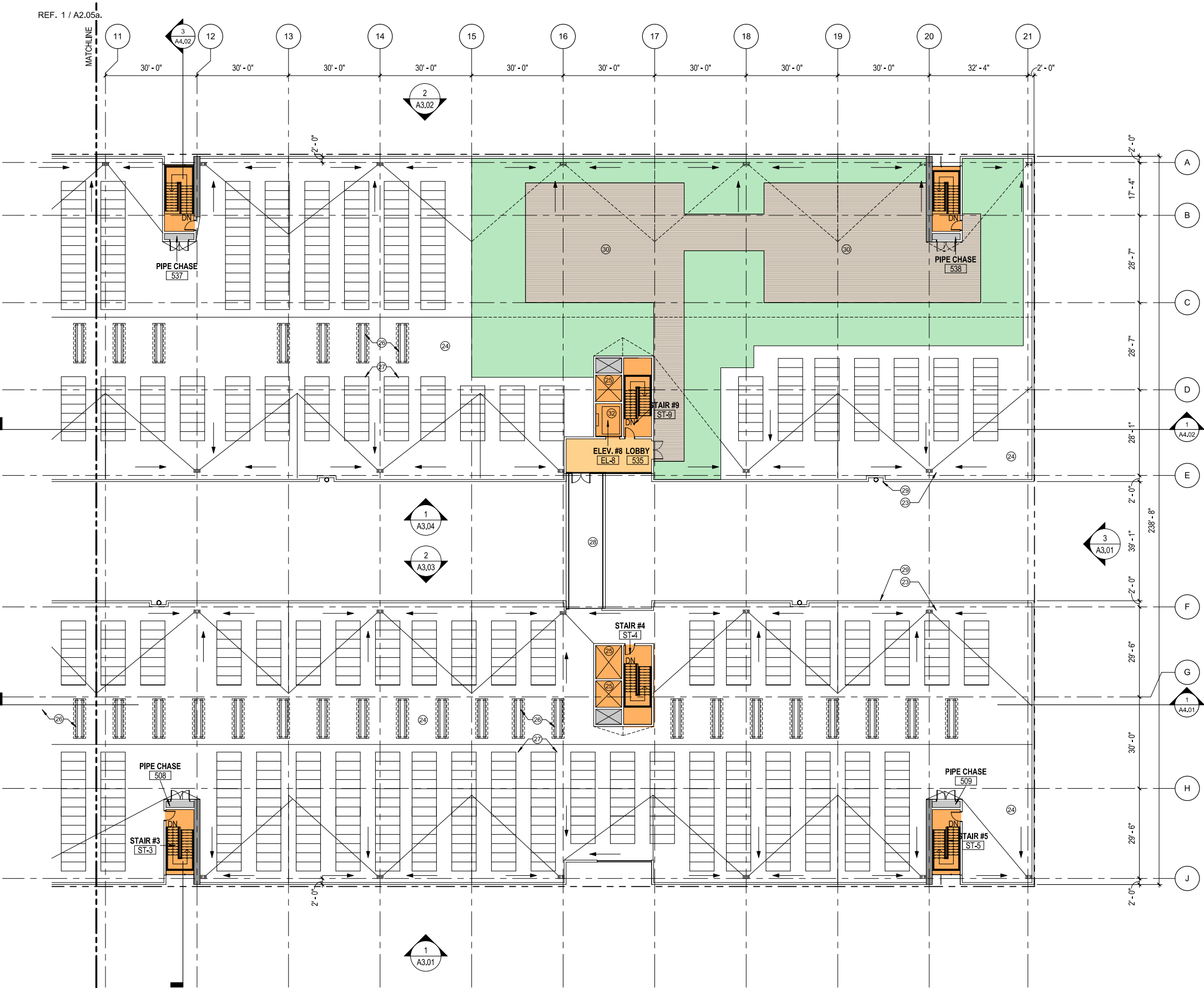
- |  |                                     |
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LEGEND

- |  |                                   |
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FLOOR PLAN - ROOF - EAST  
1/16" = 1'-0"

1





PDR BLDG GROUND FLOOR:

- HIGHER FLOOR LOADING
- "INCUBATOR" PDR
- POSSIBLE SHARED EQUIPMENT AREAS



PDR BLDG UPPER FLOORS:

- SMALLER UNITS
- "INCUBATOR" PDR
- NO FLOOR DRAINS
- ASSEMBLY USES



ALLEY PDR:

- LESS INTENSE USES
- INDOOR/OUTDOOR CONNECTION
- COMMUNITY CLUSTERING
- OFFICE ACCESSORY
- ROLL-UP DOORS



7TH STREET PDR:

- MARKETING WINDOW ON 7TH
- HIGH NOISE TOLERANCE
- PUBLIC ACCESS
- HIGHER CEILING HEIGHTS (20 FT.)
- POSSIBLE ROLL-UP DOORS



ACCESSORY FOOD/RETAIL:

- ACTIVATES PLAZA
- COMMERCIAL KITCHEN
- READY WITH GREASE TRAPS, VENTING, ETC.



HOOPER STREET PDR:

- MARKETING WINDOW
- ACCESSORY RETAIL
- 15 FT. SIDEWALK W/ LOADING
- SOLAR ACCESS
- CCA CONNECTION
- ROLL-UP DOORS



KEYNOTE LEGEND:



GENERAL REQUIREMENTS:

- FLOOR DRAINS AT GROUND FLOOR PDR
- SUB-METERED UTILITIES AVAILABLE

# PDR USE MAP

SEE A2.12 FOR LEGEND

100 HOOPER STREET  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
PDR USE MAP









Ref. North  
Date  
01/22/2015

A2.11

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	A	B	C	D	E	F	G	H
	APPAREL / SEWN / BODY PRODUCT/SMALL ACCESSORIES			HARDWARE/ADVANCED MFG/FURNITURE/LARGE ASSEMBLY				
USE	Clothing/Apparel & Sewing Products	Craft Jewelry & Accessories / Print Shops	Body Products	Medical Device MFG	Electronics Contract MFG	Furniture / Large Product Assembly	Prototyping / Robotics Advanced Manufacturing	Auto/Motorcycle
SIZE REQUIREMENTS	1000 - 5,000 sq. ft.	1000 - 2,500 sq. ft.	1000 - 5,000 sq. ft.	5,000 - 20,000 sq. ft.	5,000 - 20,000 sq. ft.	5,000 - 20,000 sq. ft.	2,000 - 20,000 sq. ft.	5,000 - 50,000 sq. ft.
CLEAR HEIGHT	12' to 20'	12' to 20'	12' to 20'	12' to 20'	12' to 20'	12' to 20'	12' to 20'	16' to 20'
POWER	100A - 200A @ 120/240V 3P	100A - 200A @ 120/240V 3P	100A - 200A @ 120/240V 3P	300A - 1,000A @ 120/240V 3P 200A - 400A @ 480V Preferred 1.5"	300A - 1,000A @ 120/240V 3P 200A - 400A @ 480V Preferred 1.5"	300A - 1,000A @ 120/240V 3P 200A - 400A @ 480V Preferred 1.5"	300A - 1,000A @ 120/240V 3P 200A - 400A @ 480V Preferred 1.5"	300A - 1,000A @ 120/240V 3P 200A - 400A @ 480V Preferred 2"
GAS VENTING	1" (Heating) Venting is equipment based	1" (Heating) Venting is equipment based	1" (Heating) Vertical Venting, May require Charcoal Filters / Scrubbers	Venting Demand is Equipment Based	Venting Demand is Equipment Based	Unconditioned Warehouse, Venting Demand is Equipment Based	Unconditioned Warehouse, Venting Demand is Equipment Based	Venting Demand is Equipment Based
WATER	1.5" Main Line Min. (Excluding Slop Sink)	1.5" Main Line Min. (Excluding Slop Sink)	1.5" Main Line Min. (Excluding Slop Sink)	2" Main Line Min.	2" Main Line Min.	2" Main Line Min.	2" Main Line Min.	2" Main Line Min.
GREASE INTERCEPTOR	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
DRAIN/SEWER	Typical Sink Drain	Typical Sink Drain	Typical Sink Drain Floor Drains on Occasion	Floor Drains on Occasion	Floor Drains on Occasion	Typical Sink Drain	Floor Drains on Occasion	Typical Sink Drain
NOISE	Medium	Low/Medium	Low	Medium	Medium	High	Medium	Medium/High
HVAC	Preferred, Not Required	Preferred, Not Required	Preferred, Not Required	Preferred, Not Required	Preferred, Not Required	Preferred, Not Required	Preferred, Not Required	Climate Controlled
SHIPPING/RECEIVING	Roll Up Doors Preferred	Roll Up Doors Preferred	Roll Up Doors Preferred	Grade Level Roll Up Doors, High Dock is Beneficial	Grade Level Roll Up Doors, High Dock is Beneficial	Grade Level Roll Up Doors, High Dock is Beneficial	Grade Level Roll Up Doors, High Dock is Beneficial	Grade Level Roll Up Doors, High Dock is Beneficial
ACCESSORY RETAIL	Highly Preferred	Highly Preferred	Highly Preferred	Not Needed	Not Needed	Highly Preferred	Highly Preferred	Not Needed, but Showroom desirable
EXAMPLE COMPANY	Marine Layer	Julia Turner Jewelry	Earth Body Skin Care	QB3/UCSF Mission Bay	Lee Mah Electronics	Ohio Design, Varian Designs	PCH, Lime Lab	Mission Motorcycles
								

	I	J	K	L
	FOOD AND BEVERAGE			
USE	Artisan Food Producers / Commercial Kitchens	Coffee Roasters / Chocolate Makers	Breweries	Urban Wineries
SIZE REQUIREMENTS	1000 - 3,000 sq. ft.	2,000 - 20,000 sq. ft.	5,000 - 20,000 sq. ft.	5,000 - 20,000 sq. ft.
CLEAR HEIGHT	10' to 17'	15' to 25'	15' to 25'	17' to 30'
POWER	200A - 800A @ 120/240V 3P	400A @ 120/240V 3P 400A @ 480V Preferred	400A @ 120/240V 3P 400A @ 480V Preferred	200A - 400A @ 120/240V 3P
GAS VENTING	2" (Cooking, HVAC) Grease Hood Exhaust Vent 250 CFM/Lineal Foot of Hood, General Exhaust for Storage/Janitorial	12" Vertical Vent, Afterburner (Has to be Upblast)	2" Vertical Venting	Not Needed No Special Need
WATER	1.5" - 2" Main Line	2" Main Line Min.	2" Main Line Min.	2" Main Line Min. with Water Filtration, Need Both Hot & Cold Water
GREASE INTERCEPTOR	Yes. Assume 1,500 Gal. Jensen Precast	?	Yes	?
DRAIN/SEWER	6" Main - Floor Drains Throughout	Floor Drains Throughout	Floor Drains Throughout	Area Drains and Trench Drains
NOISE	Medium	Medium	Medium	Low
HVAC	Make Up Air 90% Hood Exhaust CFM	Climate Controlled	Climate Controlled	Climate Controlled
SHIPPING/RECEIVING	Ground Deliveries with Gate Lift (No Dock Req'd.)	Grade Level Roll Up Doors	Grade Level Roll Up Doors	Grade Level Roll Up Doors
ACCESSORY RETAIL	Highly Preferred	Highly Preferred	Highly Preferred - with Restaurant	Highly Preferred
EXAMPLE COMPANY	Sinto Gourmet, Nana Joes Granola	Ritual Coffee, Dandelion Chocolate	Speakeasy, VooDoo	Bluxome Winery, Dogpatch Winery



## PDR USE MAP LEGEND

CREATED BY:



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Sheet Name  
PDR USE MAP LEGEND AND  
INFRASTRUCTURAL  
REQUIREMENTS

Ref. North Date  
01/22/2015

A2.12

Scale  
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1. REF. A2.11 AND A2.12 FOR INFRASTRUCTURE REQUIREMENTS AND DIAGRAM OF POTENTIAL TENANT USES.
2. DEMISING WALLS ARE NOT STRUCTURAL AND THEIR ASSEMBLY WILL BE DETERMINED AT A LATER PHASE.
3. DEMISING WALL ACOUSTICAL REQUIREMENTS TO BE DETERMINED AT A LATER PHASE.
4. DEMISING WALL LOCATIONS SUBJECT TO CHANGE PER FUTURE TENANT IMPROVEMENT REQUIREMENTS.
5. MEZZANINE LAYOUT SUBJECT TO CHANGE PER FUTURE TENANT IMPROVEMENT REQUIREMENTS.

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Sheet Name  
PDR UNIT DIAGRAMS

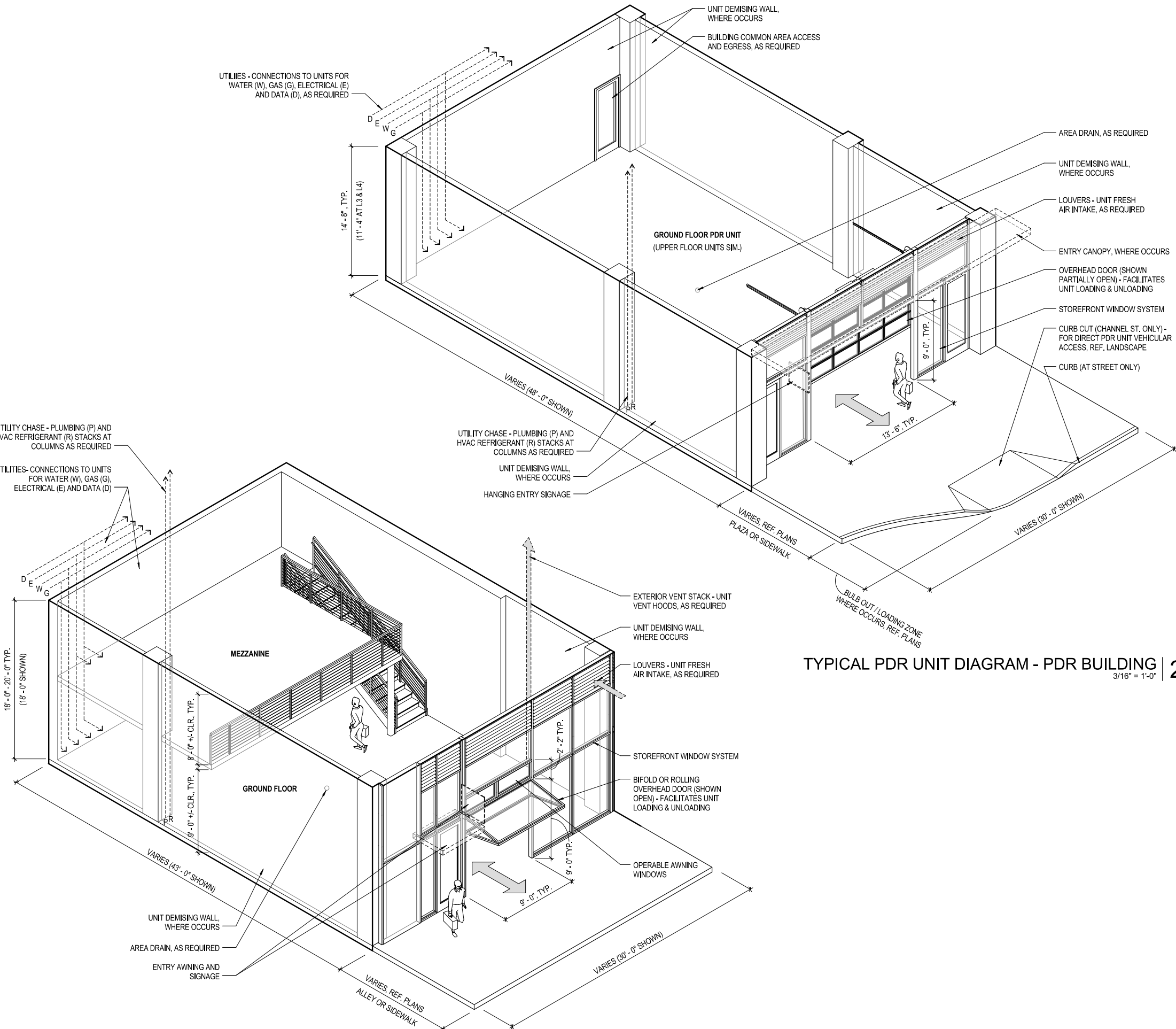
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01/22/2015

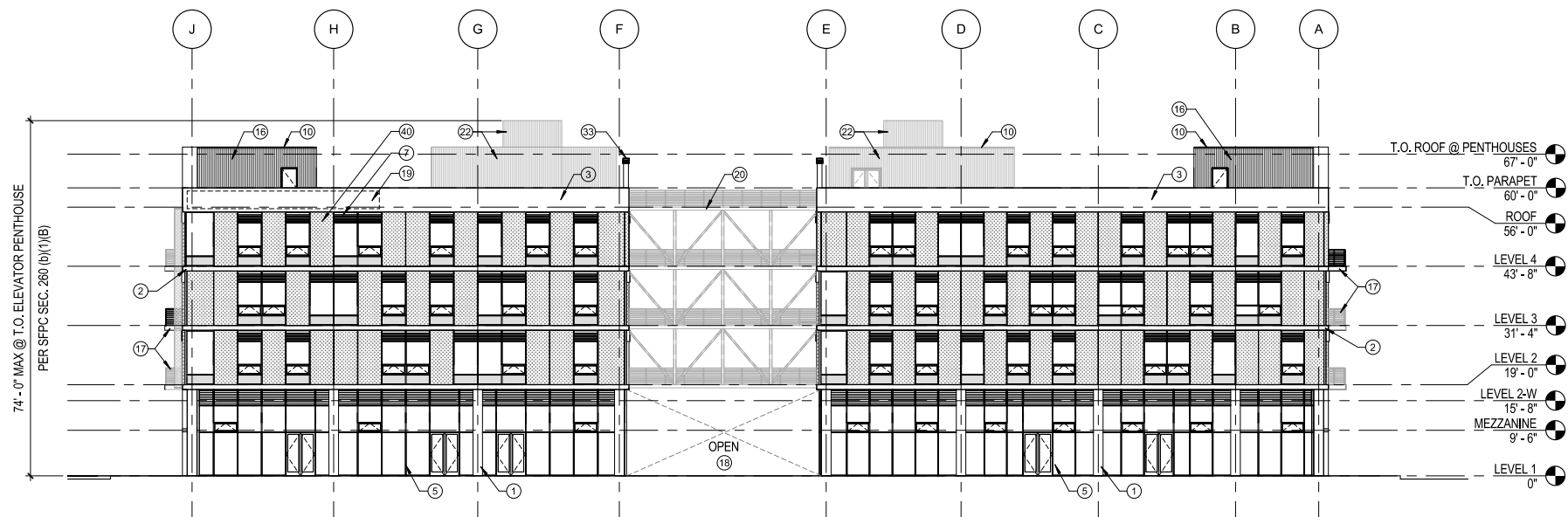
A2.13

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TYPICAL PDR UNIT DIAGRAM - PDR BUILDING | 2  
3/16" = 1'-0"

TYPICAL PDR UNIT DIAGRAM - NORTH & SOUTH BUILDING | 1  
3/16" = 1'-0"

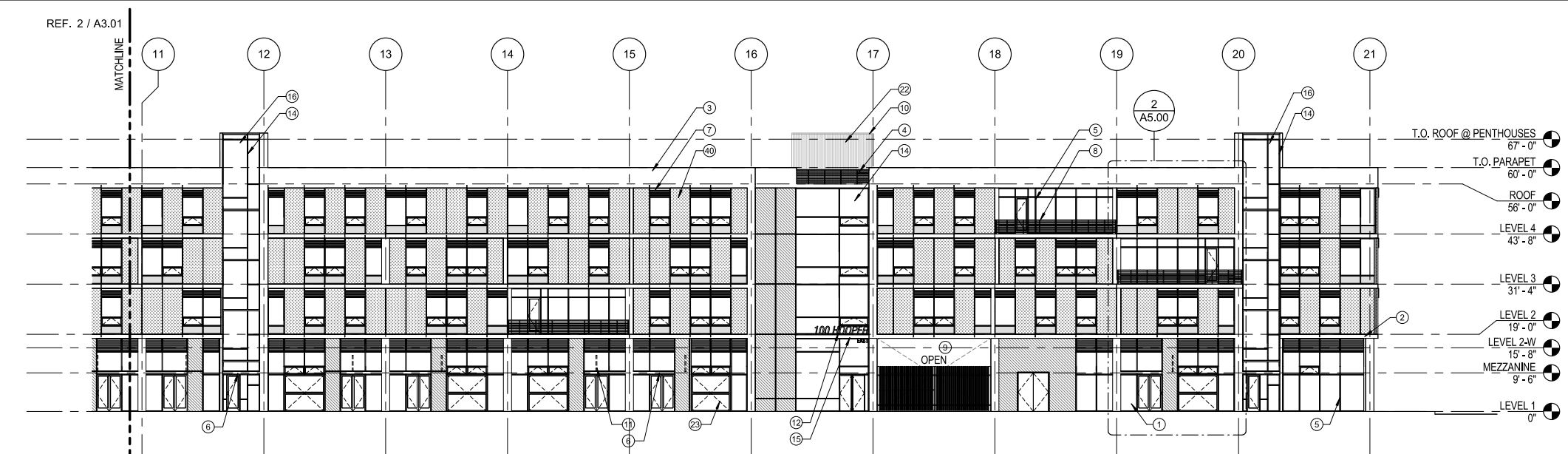




ELEVATION - NORTH & SOUTH BUILDINGS - EAST  
1/16" = 1'-0" 3



ELEVATION - SOUTH BUILDING - SOUTH WEST  
1/16" = 1'-0" 2



ELEVATION - SOUTH BUILDING - SOUTH EAST  
1/16" = 1'-0" 1

GENERAL NOTES

1. SEE A8 SERIES FOR FACADE DETAILS AND NORTH & SOUTH BUILDING UPPER-LEVEL ENVELOPE MODULE TYPES
2. LEVEL "ROOF" AS SHOWN REFERS TO T.O. STRUCTURAL SLAB HEIGHT. REFER TO SECTIONS FOR T.O. BUILT-UP ROOF DIMENSION FOR BUILDING HEIGHT MEASUREMENT AS DEFINED IN SFPC SEC. 260.

SHEET NOTES

NOTE NO.	NOTE
1	EXPOSED CONCRETE COLUMN, TYP.
2	EXPOSED CONCRETE SLAB, TYP.
3	CONCRETE PARAPET
4	MTL. GRATE PARAPET
5	ALUM. STOREFRONT W/ CLEAR GLASS, TYP.
6	PTD. MTL. CANOPY, TYP.
7	PTD. MTL. LOUVER, TYP.
8	PTD. STL. GUARDRAIL, TYP.
9	BREEZEWAY
10	PTD. MTL. COPING
11	FUTURE TENANT SIGNAGE, SHOWN DASHED, N.I.C., TYP.
12	ALUM. BUILDING SIGNAGE, TYP.
13	SEISMIC JOINT COVER, TYP.
14	ALUM. CURTAIN WALL SYSTEM
15	CONCRETE CANOPY WITH COMPOSITE WOOD SOFFIT
16	CORRUGATED METAL STAIR PENTHOUSE, TYP.
17	BALCONY BEYOND, TYP.
18	ALLEY, SEE LANDSCAPE DRAWINGS
19	BUILDING SIGN NEAR FREEWAY, 200 S.F. MAX PER SFPC SEC. 608.5, SHOWN DASHED
20	PTD. STL. BRIDGE, TYP.
21	PDR BUILDING BEYOND
22	STAIR AND ELEVATOR PENTHOUSE BEYOND, TYP.
23	ROLLING/SECTIONAL OVERHEAD DOOR W/ CLEAR GLASS, TYP.
24	PTD. MTL. COLUMN
25	PTD. MTL. BEAM
26	PTD. MTL. SLIDING GATE
27	PTD. MTL. MESH LATTICE PANELS, FOR "GREEN WALL", SEE LANDSCAPE
28	EXHAUST FANS BEHIND METAL MESH LATTICE, SEE MECH.
29	PDR BUILDING
30	ADJACENT BUILDING, N.I.C.
31	PTD. MTL. COILING OVERHEAD DOOR
32	LOADING DOCK
33	PTD. MTL. VENT STACK
34	PERFORATED WEATHERED STEEL SCREEN
35	EXPOSED CONCRETE SHEAR WALL
36	INFILL CMU WALL
37	WEATHERED STEEL PANEL, TYP.
38	PERFORATED WEATHERED STEEL CANOPY
39	PERFORATED WEATHERED STEEL MARQUEE
40	PERFORATED PTD. MTL. PANEL, TYP.

LEGEND

	PERFORATED PAINTED METAL PANEL *
	PERFORATED WEATHERED STEEL PANEL *
	SOLID WEATHERED STEEL PANEL *
	CORRUGATED METAL PANEL
	TRANSLUCENT GLASS
	CMU BLIND WALL ASSEMBLY
	PTD MTL. MESH LATTICE PANELS

\* = REF. A8.33 FOR DETAILS

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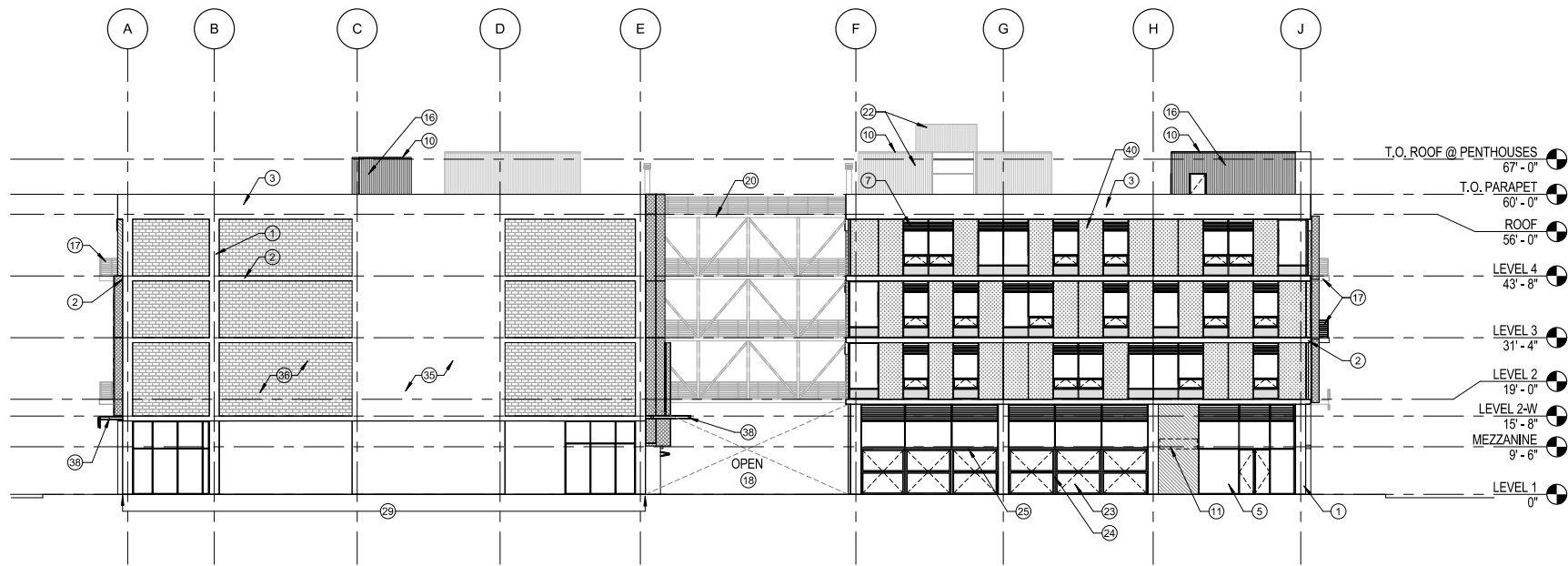
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BUILDING ELEVATIONS

Ref. North  
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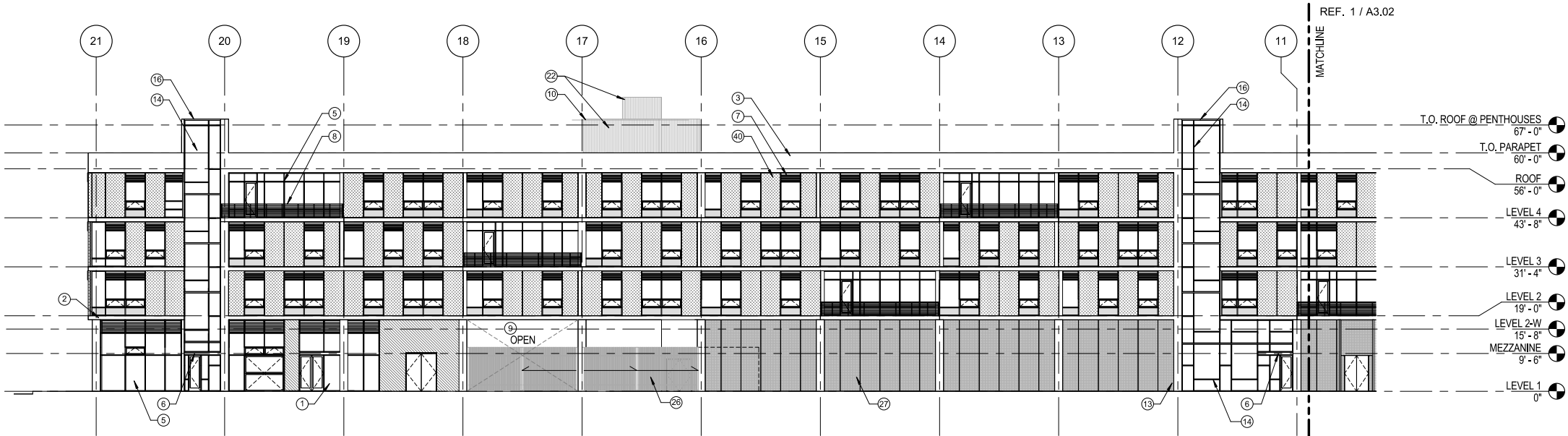
A3.01

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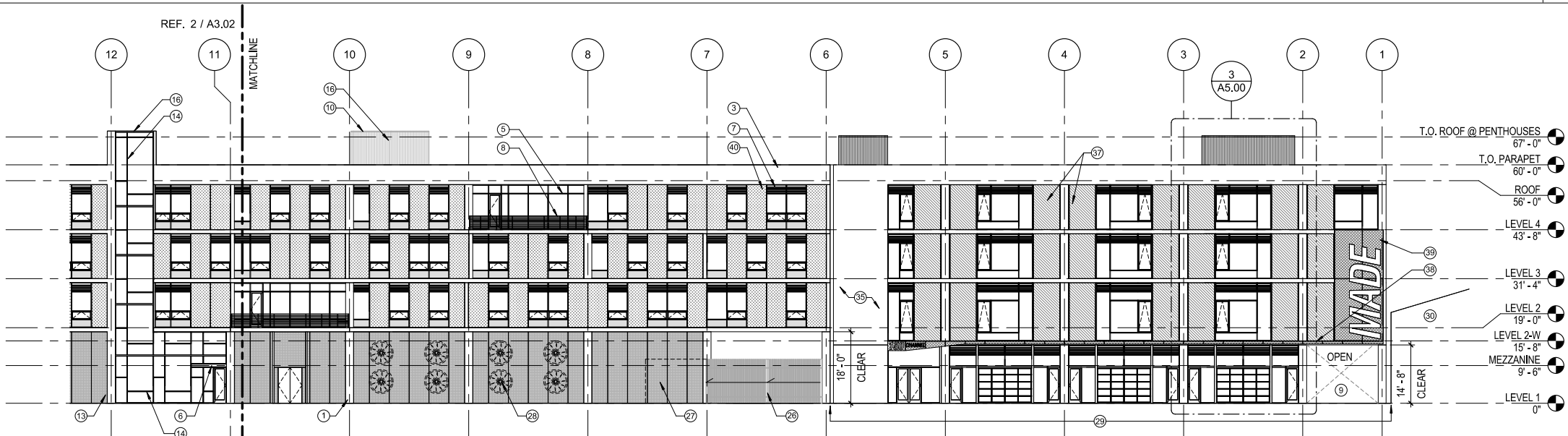
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ELEVATION - PDR & SOUTH BUILDINGS - WEST 3  
1/16" = 1'-0"



ELEVATION - NORTH BUILDING - NORTH EAST 2  
1/16" = 1'-0"



ELEVATION - NORTH BUILDING - NORTH WEST 1  
1/16" = 1'-0"

GENERAL NOTES

- SEE A8 SERIES FOR FACADE DETAILS AND NORTH & SOUTH BUILDING UPPER-LEVEL ENVELOPE MODULE TYPES
- LEVEL "ROOF" AS SHOWN REFERS TO T.O. STRUCTURAL SLAB HEIGHT. REFER TO SECTIONS FOR T.O. BUILT-UP ROOF DIMENSION FOR BUILDING HEIGHT MEASUREMENT AS DEFINED IN SFPC SEC. 260.

SHEET NOTES

NOTE NO.	NOTE
1	EXPOSED CONCRETE COLUMN, TYP.
2	EXPOSED CONCRETE SLAB, TYP.
3	CONCRETE PARAPET
4	MTL. GRATE PARAPET
5	ALUM. STOREFRONT W/ CLEAR GLASS, TYP.
6	PTD. MTL. CANOPY, TYP.
7	PTD. MTL. LOUVER, TYP.
8	PTD. STL. GUARDRAIL, TYP.
9	BREEZEWAY
10	PTD. MTL. COPING
11	FUTURE TENANT SIGNAGE, SHOWN DASHED, N.I.C., TYP.
12	ALUM. BUILDING SIGNAGE, TYP.
13	SEISMIC JOINT COVER, TYP.
14	ALUM. CURTAIN WALL SYSTEM
15	CONCRETE CANOPY WITH COMPOSITE WOOD SOFFIT
16	CORRUGATED METAL STAIR PENTHOUSE, TYP.
17	BALCONY BEYOND, TYP.
18	ALLEY, SEE LANDSCAPE DRAWINGS
19	BUILDING SIGN NEAR FREEWAY, 200 S.F. MAX PER SFPC SEC. 608.5, SHOWN DASHED
20	PTD. STL. BRIDGE, TYP.
21	PDR BUILDING BEYOND
22	STAIR AND ELEVATOR PENTHOUSE BEYOND, TYP.
23	ROLLING/SECTIONAL OVERHEAD DOOR W/ CLEAR GLASS, TYP.
24	PTD. MTL. COLUMN
25	PTD. MTL. BEAM
26	PTD. MTL. SLIDING GATE
27	PTD. MTL. MESH LATTICE PANELS, FOR "GREEN WALL", SEE LANDSCAPE
28	EXHAUST FANS BEHIND METAL MESH LATTICE, SEE MECH.
29	PDR BUILDING
30	ADJACENT BUILDING, N.I.C.
31	PTD. MTL. COILING OVERHEAD DOOR
32	LOADING DOCK
33	PTD. MTL. VENT STACK
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35	EXPOSED CONCRETE SHEAR WALL
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39	PERFORATED WEATHERED STEEL MARQUEE
40	PERFORATED PTD. MTL. PANEL, TYP.

LEGEND

	PERFORATED PAINTED METAL PANEL *
	PERFORATED WEATHERED STEEL PANEL *
	SOLID WEATHERED STEEL PANEL *
	CORRUGATED METAL PANEL
	TRANSLUCENT GLASS
	CMU BLIND WALL ASSEMBLY
	PTD MTL. MESH LATTICE PANELS

\* = REF. A8.33 FOR DETAILS

PFAU GN01

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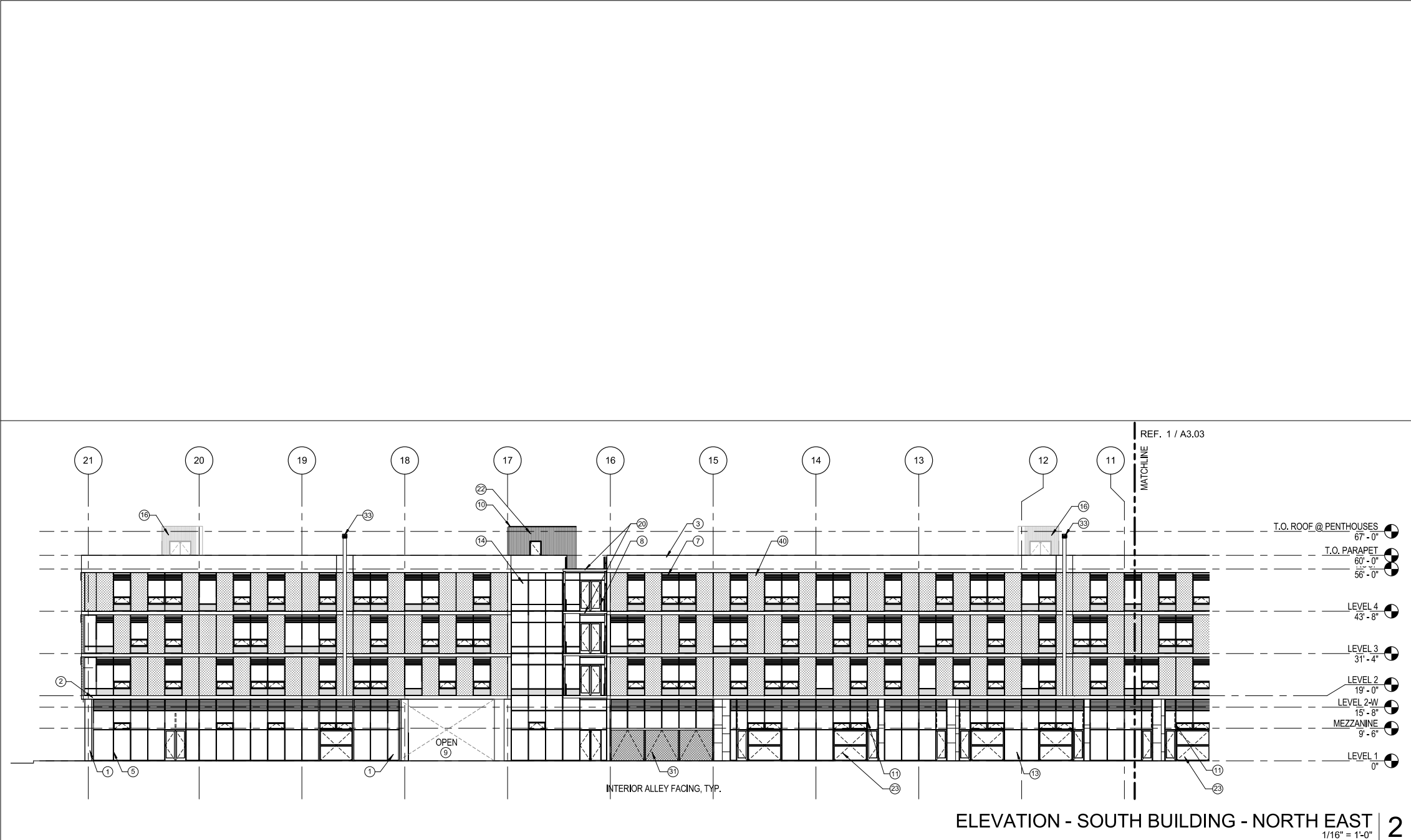
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BUILDING ELEVATIONS

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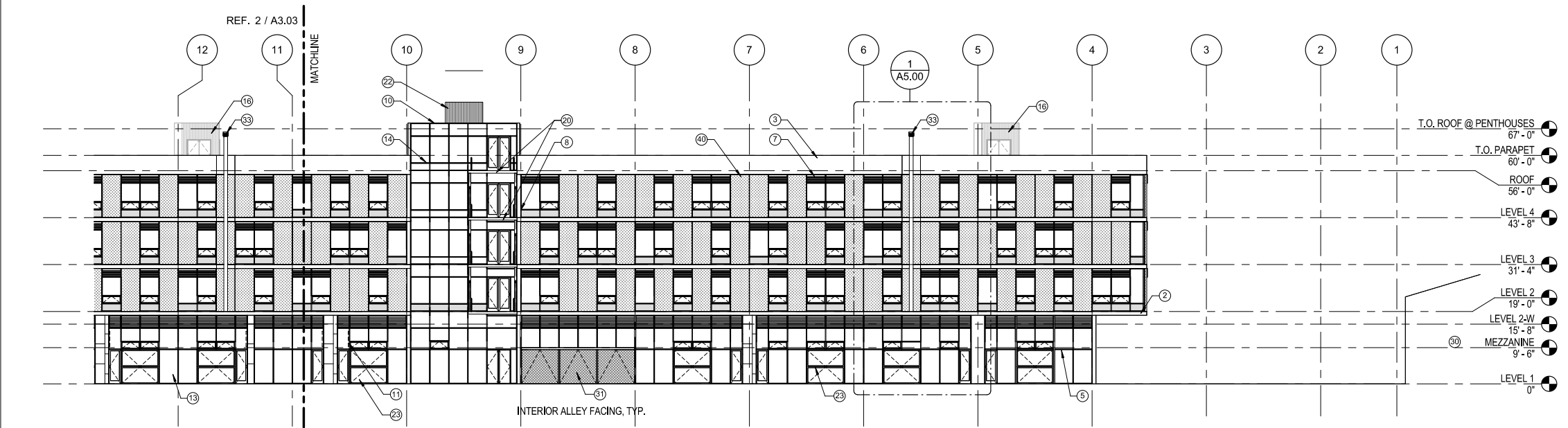
A3.02

PRELIMINARY - NOT FOR CONSTRUCTION

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ELEVATION - SOUTH BUILDING - NORTH EAST 2  
1/16" = 1'-0"



ELEVATION - SOUTH BUILDING - NORTH WEST 1  
1/16" = 1'-0"

GENERAL NOTES

- SEE A8 SERIES FOR FACADE DETAILS AND NORTH & SOUTH BUILDING UPPER-LEVEL ENVELOPE MODULE TYPES
- LEVEL "ROOF" AS SHOWN REFERS TO T.O. STRUCTURAL SLAB HEIGHT. REFER TO SECTIONS FOR T.O. BUILT-UP ROOF DIMENSION FOR BUILDING HEIGHT MEASUREMENT AS DEFINED IN SFPC SEC. 260.

SHEET NOTES

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7	PTD. MTL. LOUVER, TYP.
8	PTD. STL. GUARDRAIL, TYP.
9	BREEZEWAY
10	PTD. MTL. COPING
11	FUTURE TENANT SIGNAGE, SHOWN DASHED, N.I.C., TYP.
12	ALUM. BUILDING SIGNAGE, TYP.
13	SEISMIC JOINT COVER, TYP.
14	ALUM. CURTAIN WALL SYSTEM
15	CONCRETE CANOPY WITH COMPOSITE WOOD SOFFIT
16	CORRUGATED METAL STAIR PENTHOUSE, TYP.
17	BALCONY BEYOND, TYP.
18	ALLEY, SEE LANDSCAPE DRAWINGS
19	BUILDING SIGN NEAR FREEWAY, 200 S.F. MAX PER SFPC SEC. 608.5, SHOWN DASHED
20	PTD. STL. BRIDGE, TYP.
21	PDR BUILDING BEYOND
22	STAIR AND ELEVATOR PENTHOUSE BEYOND, TYP.
23	ROLLING/SECTIONAL OVERHEAD DOOR W/ CLEAR GLASS, TYP.
24	PTD. MTL. COLUMN
25	PTD. MTL. BEAM
26	PTD. MTL. SLIDING GATE
27	PTD. MTL. MESH LATTICE PANELS, FOR "GREEN WALL", SEE LANDSCAPE
28	EXHAUST FANS BEHIND METAL MESH LATTICE, SEE MECH.
29	PDR BUILDING
30	ADJACENT BUILDING, N.I.C.
31	PTD. MTL. COILING OVERHEAD DOOR
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34	PERFORATED WEATHERED STEEL SCREEN
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37	WEATHERED STEEL PANEL, TYP.
38	PERFORATED WEATHERED STEEL CANOPY
39	PERFORATED WEATHERED STEEL MARQUEE
40	PERFORATED PTD. MTL. PANEL, TYP.

LEGEND

	PERFORATED PAINTED METAL PANEL *
	PERFORATED WEATHERED STEEL PANEL *
	SOLID WEATHERED STEEL PANEL *
	CORRUGATED METAL PANEL
	TRANSLUCENT GLASS
	CMU BLIND WALL ASSEMBLY
	PTD MTL. MESH LATTICE PANELS

\* = REF. A8.33 FOR DETAILS

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A3.03

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

## A3.04

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1. SEE A8 SERIES FOR FACADE DETAILS AND NORTH & SOUTH BUILDING UPPER-LEVEL ENVELOPE MODULE TYPES
2. LEVEL "ROOF" AS SHOWN REFERS TO T.O. STRUCTURAL SLAB HEIGHT. REFER TO SECTIONS FOR T.O. BUILT-UP ROOF DIMENSION FOR BUILDING HEIGHT MEASUREMENT AS DEFINED IN SFPC SEC. 260.

NOTE NO.	NOTE
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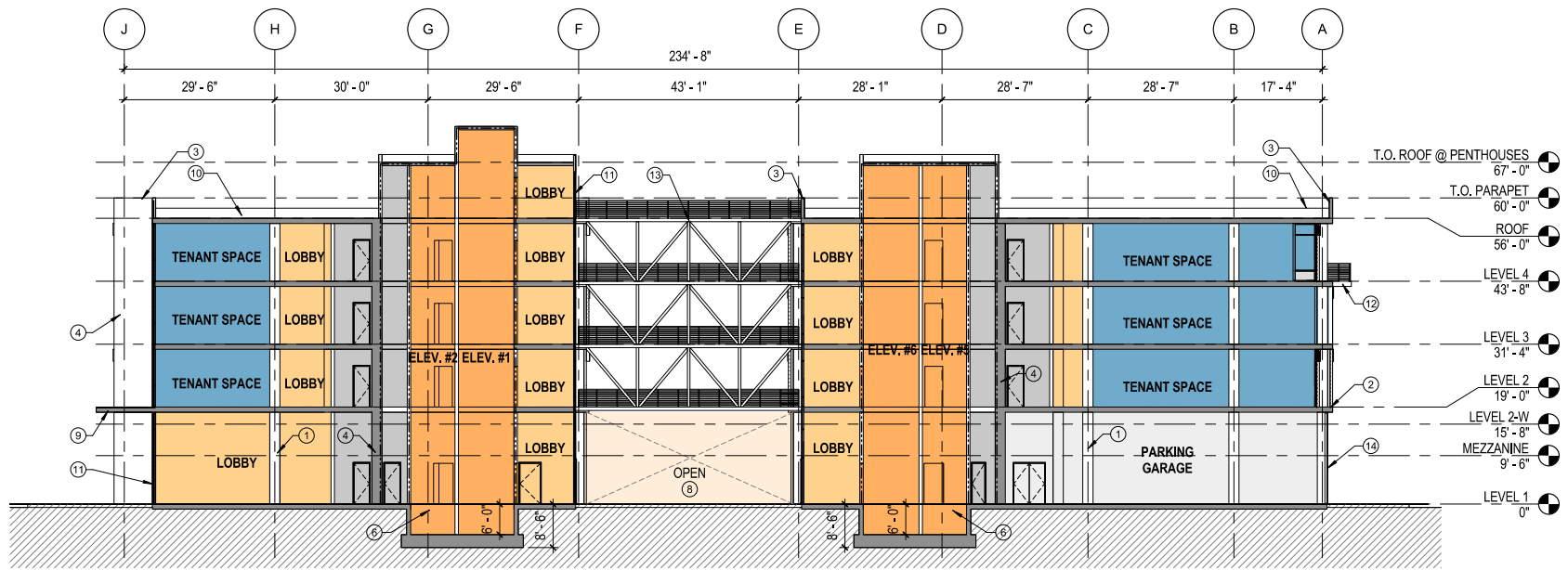
### LEGEND

	PERFORATED PAINTED METAL PANEL *
	PERFORATED WEATHERED STEEL PANEL *
	SOLID WEATHERED STEEL PANEL *
	CORRUGATED METAL PANEL
	TRANSLUCENT GLASS
	CMU BLIND WALL ASSEMBLY
	PTD MTL. MESH LATTICE PANELS

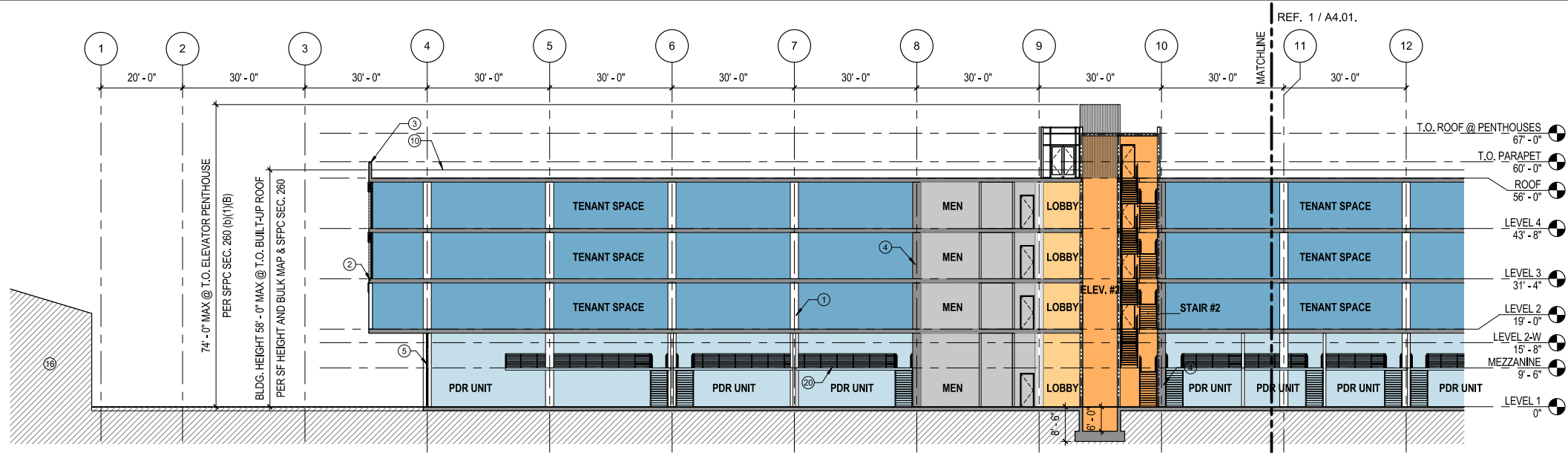
\* = REF. A8.33 FOR DETAILS



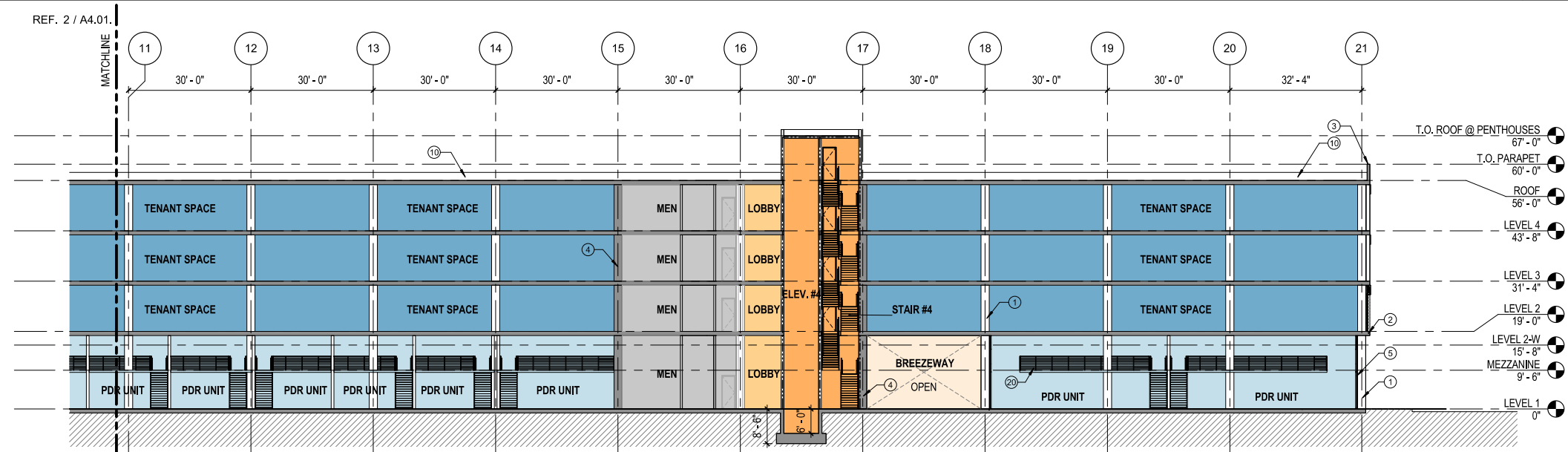




SECTION - NORTH/SOUTH 1 | 3  
1/16" = 1'-0"



SECTION - SOUTH BUILDING - EAST/WEST - EAST | 2  
1/16" = 1'-0"



SECTION - SOUTH BUILDING - EAST/WEST - EAST | 1  
1/16" = 1'-0"

GENERAL NOTES

1. PDR UNIT LAYOUT AS SHOWN SUBJECT TO CHANGE PER FUTURE TENANT IMPROVEMENT REQUIREMENTS.
2. LEVEL "ROOF" AS SHOWN REFERS TO T.O. STRUCTURAL SLAB HEIGHT. REFER TO T.O. BUILT-UP ROOF DIMENSION FOR BUILDING HEIGHT MEASUREMENT AS DEFINED IN SFPC SEC. 260.

SHEET NOTES

NOTE NO.	COMMENT
1	EXPOSED CONCRETE COLUMN, TYP.
2	EXPOSED CONCRETE SLAB, TYP.
3	CONCRETE PARAPET
4	CONCRETE SHEAR WALL
5	ALUM. STOREFRONT
6	ELEVATOR PIT (DEEPEST EXCAVATION, TYP.)
7	SEISMIC JOINT COVER
8	ALLEY, SEE LANDSCAPE DRAWINGS
9	CONCRETE CANOPY WITH COMPOSITE WOOD SOFFIT
10	BUILT-UP ROOF - ROOFING OVER RIGID INSULATION
11	ALUM. CURTAIN WALL, TYP.
12	BALCONY BEYOND
13	PTD. STL. BRIDGE BEYOND, TYP.
14	GREEN WALL, SEE LANDSCAPE
15	PDR WORKSHOP BUILDING
16	ADJACENT BUILDING, N.I.C.
17	STAIR / ELEVATOR PENTHOUSE BEYOND
18	PTD. MTL. CANOPY
19	LOADING DOCK RAMP
20	MEZZANINE, TYP.

- SHARED OUTDOOR SPACE
- SHARED TENANT SPACE
- VERTICAL CIRCULATION
- PDR UNITS
- COMMERCIAL TENANT SPACE
- FUTURE ROOF PLANTING AREAS (N.I.C.)
- PARKING
- BUILDING SERVICE SPACES

LEGEND

- CONCRETE CONSTRUCTION
- TYP. FRAMED PARTITION
- 1-HR RATED CONSTRUCTION
- 2-HR RATED CONSTRUCTION
- 3-HR RATED CONSTRUCTION

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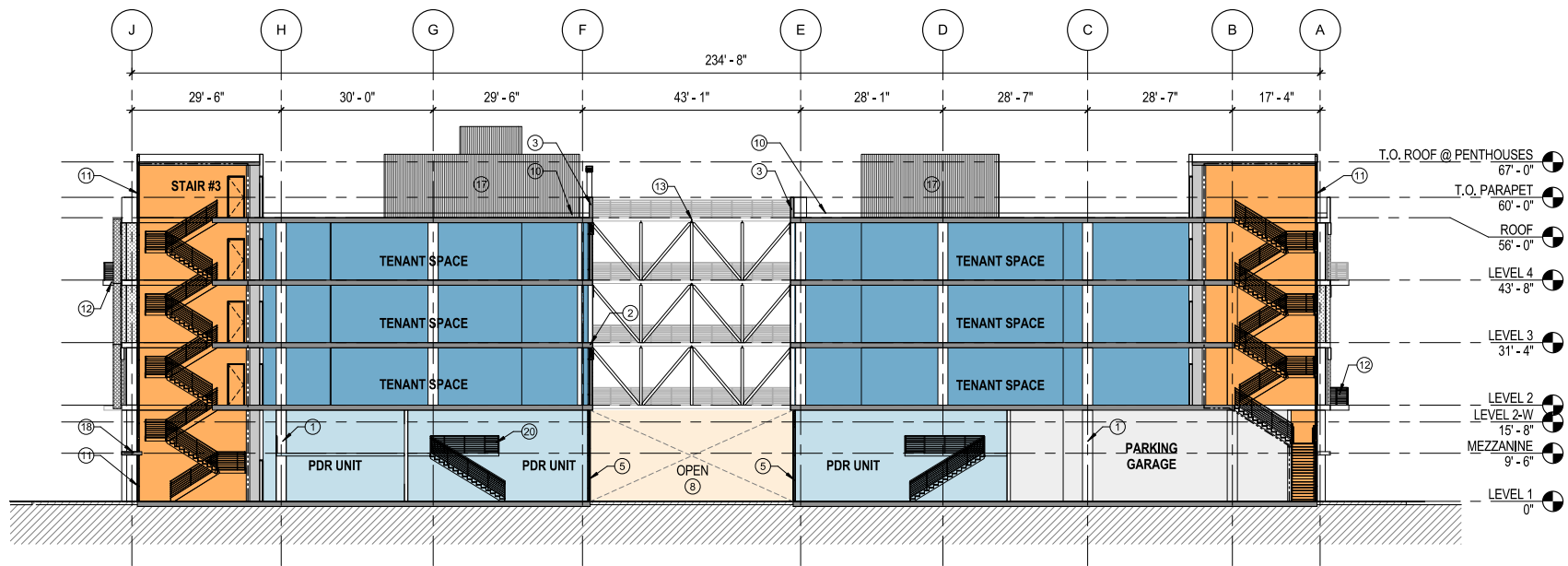
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Ref. North  
Date  
01/22/2015

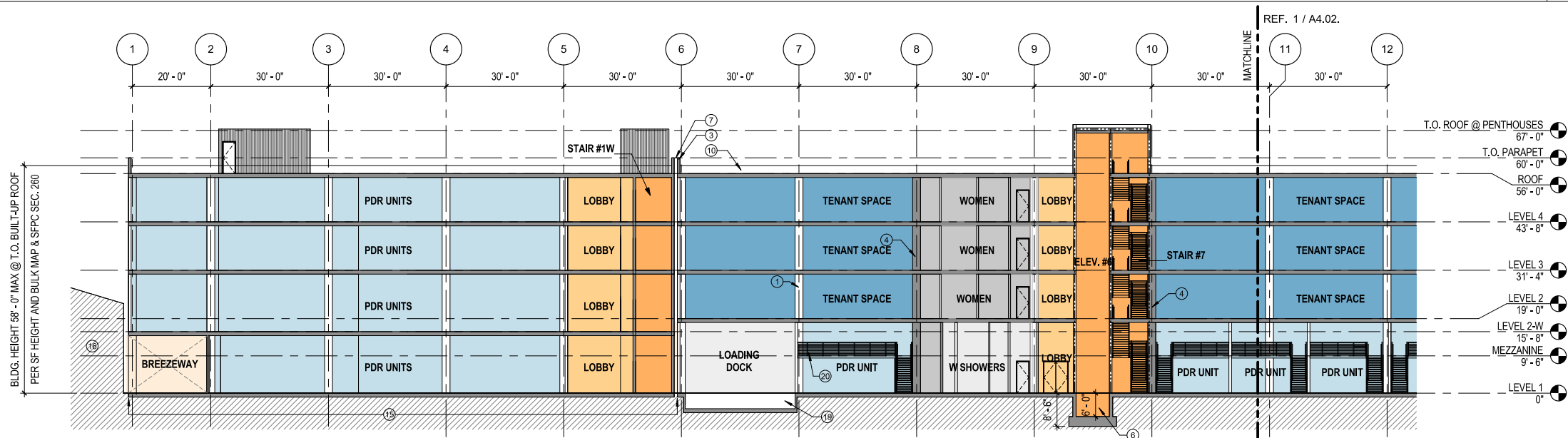
A4.01.

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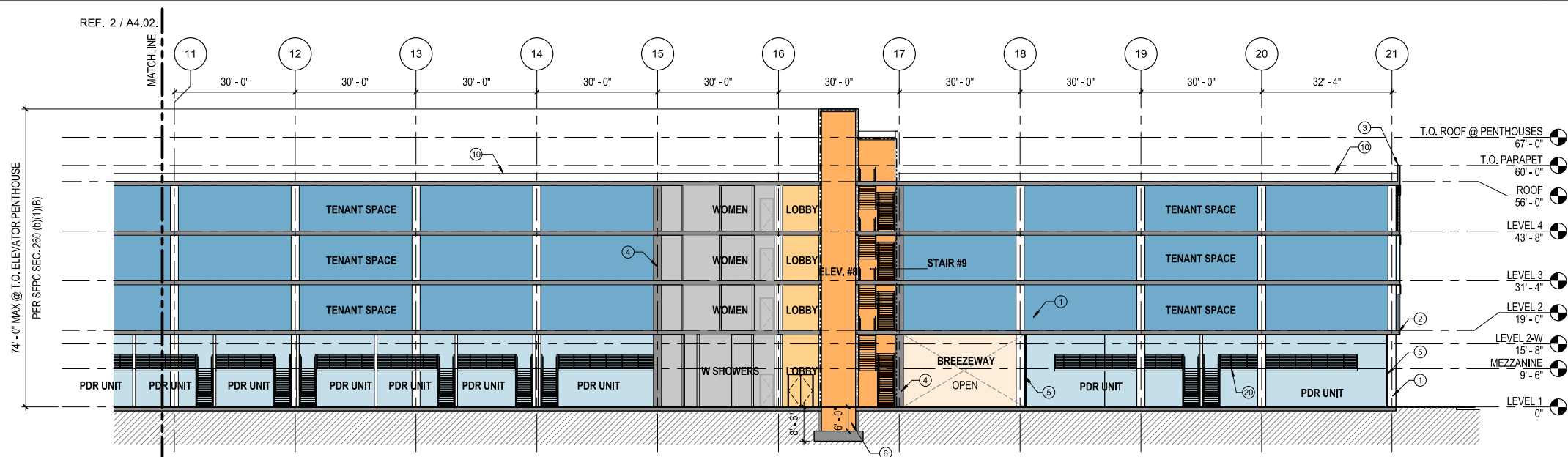




SECTION - NORTH/SOUTH 2  
1/16" = 1'-0" 3



SECTION - NORTH BUILDING - EAST/WEST  
1/16" = 1'-0" 2



SECTION - NORTH BUILDING - EAST/WEST  
1/16" = 1'-0" 1

GENERAL NOTES

1. PDR UNIT LAYOUT AS SHOWN SUBJECT TO CHANGE PER FUTURE TENANT IMPROVEMENT REQUIREMENTS.
2. LEVEL "ROOF" AS SHOWN REFERS TO T.O. STRUCTURAL SLAB HEIGHT. REFER TO T.O. BUILT-UP ROOF DIMENSION FOR BUILDING HEIGHT MEASUREMENT AS DEFINED IN SFPC SEC. 260.

SHEET NOTES

NOTE NO.	COMMENT
1	EXPOSED CONCRETE COLUMN, TYP.
2	EXPOSED CONCRETE SLAB, TYP.
3	CONCRETE PARAPET
4	CONCRETE SHEAR WALL
5	ALUM. STOREFRONT
6	ELEVATOR PIT (DEEPEST EXCAVATION, TYP.)
7	SEISMIC JOINT COVER
8	ALLEY, SEE LANDSCAPE DRAWINGS
9	CONCRETE CANOPY WITH COMPOSITE WOOD SOFFIT
10	BUILT-UP ROOF - ROOFING OVER RIGID INSULATION
11	ALUM. CURTAIN WALL, TYP.
12	BALCONY BEYOND
13	PTD. STL. BRIDGE BEYOND, TYP.
14	GREEN WALL, SEE LANDSCAPE
15	PDR WORKSHOP BUILDING
16	ADJACENT BUILDING, N.I.C.
17	STAIR / ELEVATOR PENTHOUSE BEYOND
18	PTD. MTL. CANOPY
19	LOADING DOCK RAMP
20	MEZZANINE, TYP.

- SHARED OUTDOOR SPACE
- SHARED TENANT SPACE
- VERTICAL CIRCULATION
- PDR UNITS
- COMMERCIAL TENANT SPACE
- FUTURE ROOF PLANTING AREAS (N.I.C.)
- PARKING
- BUILDING SERVICE SPACES

LEGEND

- CONCRETE CONSTRUCTION
- TYP. FRAMED PARTITION
- 1-HR RATED CONSTRUCTION
- 2-HR RATED CONSTRUCTION
- 3-HR RATED CONSTRUCTION

100 HOOPER STREET  
SAN FRANCISCO, CA 94107

01/22/2015 PLANNING COMMISSION HEARING

PRELIMINARY - NOT FOR CONSTRUCTION

Project Name  
100 HOOPER STREET

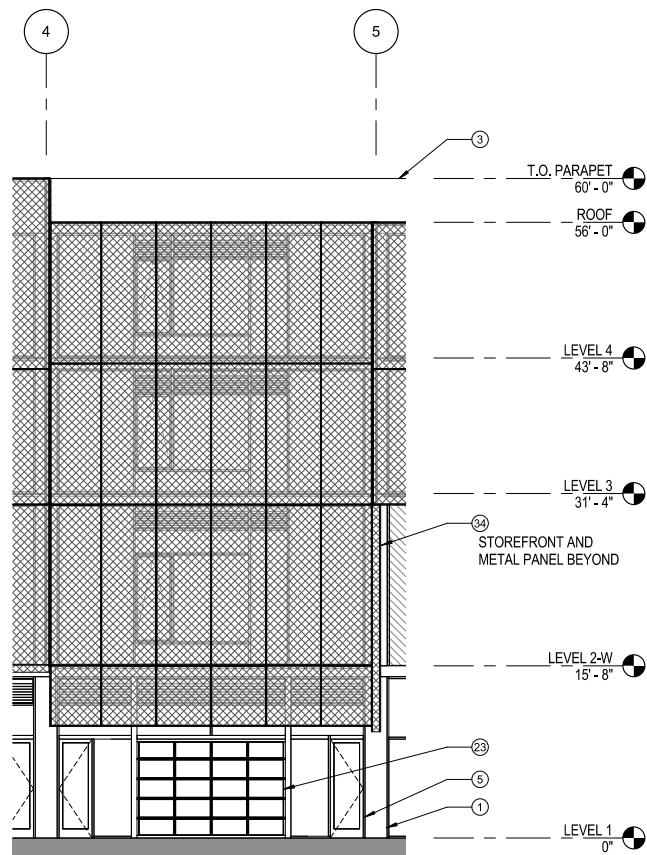
Project Number  
21114

Sheet Name  
BUILDING SECTIONS

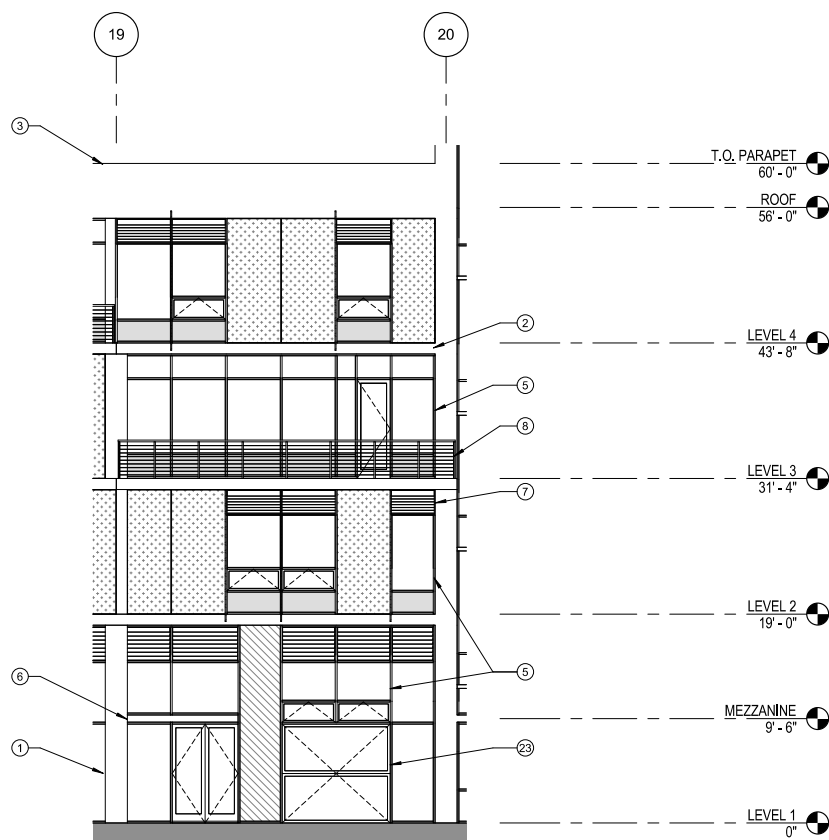
Ref. North  
Date  
01/22/2015

A4.02.

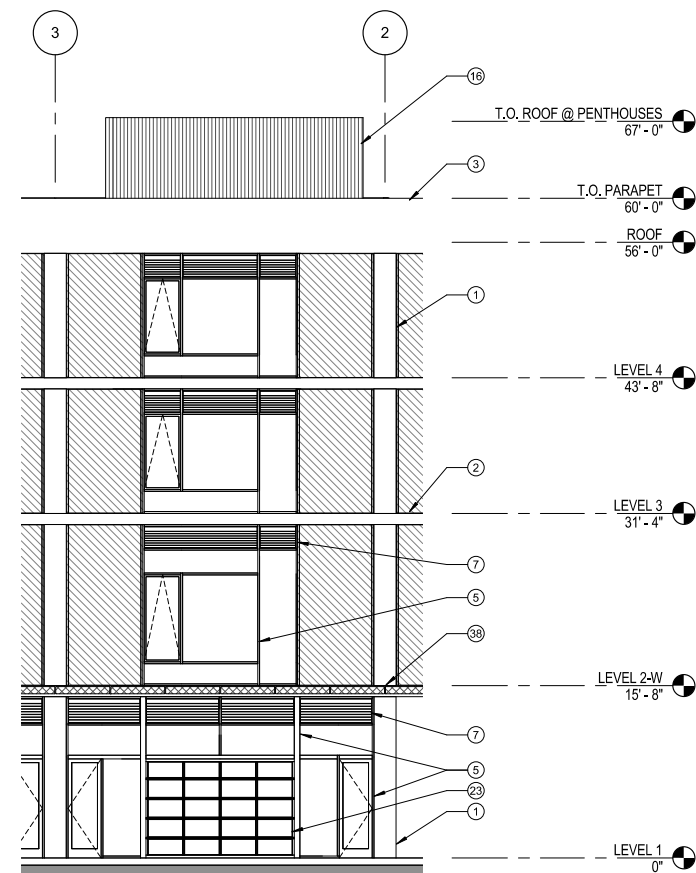
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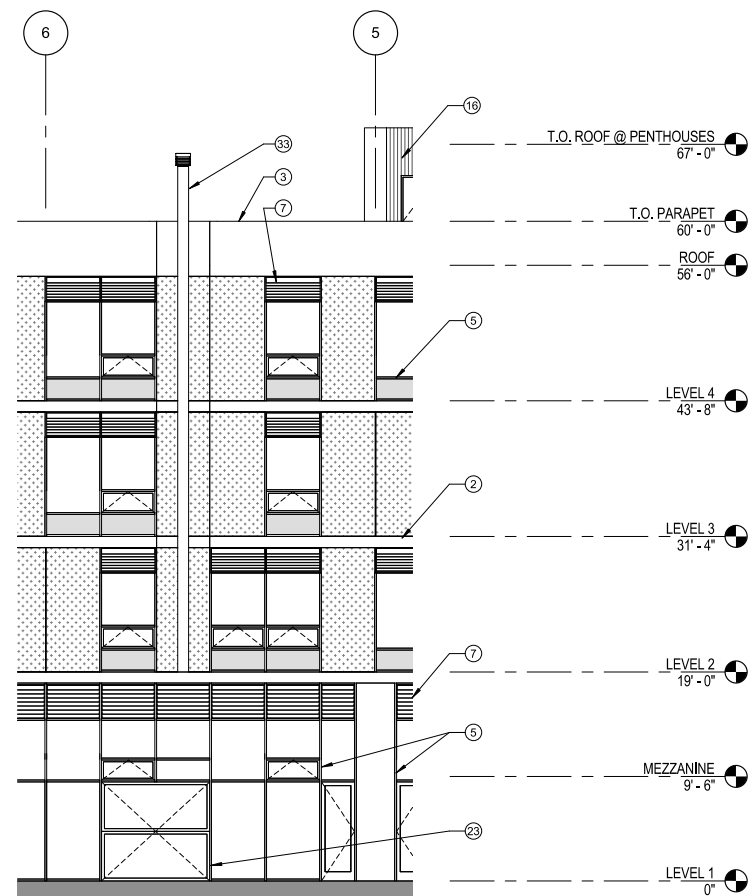
ENLARGED ELEVATION - PDR BUILDING | 4  
1/8" = 1'-0"



ENLARGED ELEVATION | 2  
1/8" = 1'-0"



ENLARGED ELEVATION - PDR BUILDING | 3  
1/8" = 1'-0"



ENLARGED ELEVATION | 1  
1/8" = 1'-0"

## GENERAL NOTES

- SEE A8 SERIES FOR FACADE DETAILS AND NORTH & SOUTH BUILDING UPPER-LEVEL ENVELOPE MODULE TYPES
- LEVEL "ROOF" AS SHOWN REFERS TO T.O. STRUCTURAL SLAB HEIGHT. REFER TO SECTIONS FOR T.O. BUILT-UP ROOF DIMENSION FOR BUILDING HEIGHT MEASUREMENT AS DEFINED IN SFPC SEC. 260.

## SHEET NOTES

NOTE NO.	NOTE
1	EXPOSED CONCRETE COLUMN, TYP.
2	EXPOSED CONCRETE SLAB, TYP.
3	CONCRETE PARAPET
4	MTL. GRATE PARAPET
5	ALUM. STOREFRONT W/ CLEAR GLASS, TYP.
6	PTD. MTL. CANOPY, TYP.
7	PTD. MTL. LOUVER, TYP.
8	PTD. STL. GUARDRAIL, TYP.
9	BREEZEWAY
10	PTD. MTL. COPING
11	FUTURE TENANT SIGNAGE, SHOWN DASHED, N.I.C., TYP.
12	ALUM. BUILDING SIGNAGE, TYP.
13	SEISMIC JOINT COVER, TYP.
14	ALUM. CURTAIN WALL SYSTEM
15	CONCRETE CANOPY WITH COMPOSITE WOOD SOFFIT
16	CORRUGATED METAL STAIR PENTHOUSE, TYP.
17	BALCONY BEYOND, TYP
18	ALLEY, SEE LANDSCAPE DRAWINGS
19	BUILDING SIGN NEAR FREEWAY, 200 S.F. MAX PER SFPC SEC. 608.5, SHOWN DASHED
20	PTD. STL. BRIDGE, TYP.
21	PDR BUILDING BEYOND
22	STAIR AND ELEVATOR PENTHOUSE BEYOND, TYP.
23	ROLLING/SECTIONAL OVERHEAD DOOR W/ CLEAR GLASS, TYP.
24	PTD. MTL. COLUMN
25	PTD. MTL. BEAM
26	PTD. MTL. SLIDING GATE
27	PTD. MTL. MESH LATTICE PANELS, FOR "GREEN WALL", SEE LANDSCAPE
28	EXHAUST FANS BEHIND METAL MESH LATTICE, SEE MECH.
29	PDR BUILDING
30	ADJACENT BUILDING, N.I.C.
31	PTD. MTL. COILING OVERHEAD DOOR
32	LOADING DOCK
33	PTD. MTL. VENT STACK
34	PERFORATED WEATHERED STEEL SCREEN
35	EXPOSED CONCRETE SHEAR WALL
36	INFILL CMU WALL
37	WEATHERED STEEL PANEL, TYP.
38	PERFORATED WEATHERED STEEL CANOPY
39	PERFORATED WEATHERED STEEL MARQUEE
40	PERFORATED PTD. MTL. PANEL, TYP.

## LEGEND

	PERFORATED PAINTED METAL PANEL *
	PERFORATED WEATHERED STEEL PANEL *
	SOLID WEATHERED STEEL PANEL *
	CORRUGATED METAL PANEL
	TRANSLUCENT GLASS
	CMU BLIND WALL ASSEMBLY
	PTD MTL. MESH LATTICE PANELS

\* = REF. A8.33 FOR DETAILS

PFAU GNO1  
ARCHITECTURE

98 Jack London Alley San Francisco CA 94107  
415 908 6408 pfaulong.com

100 HOOPER STREET  
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Project Name  
100 HOOPER STREET

Project Number  
21114

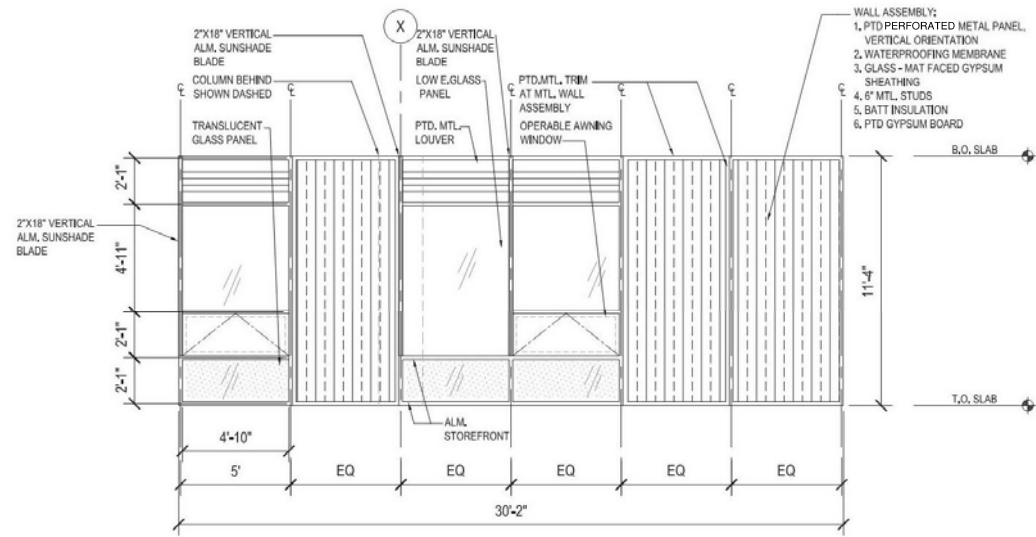
Sheet Name  
ENLARGED ELEVATIONS

Ref. North Date  
01/22/2015

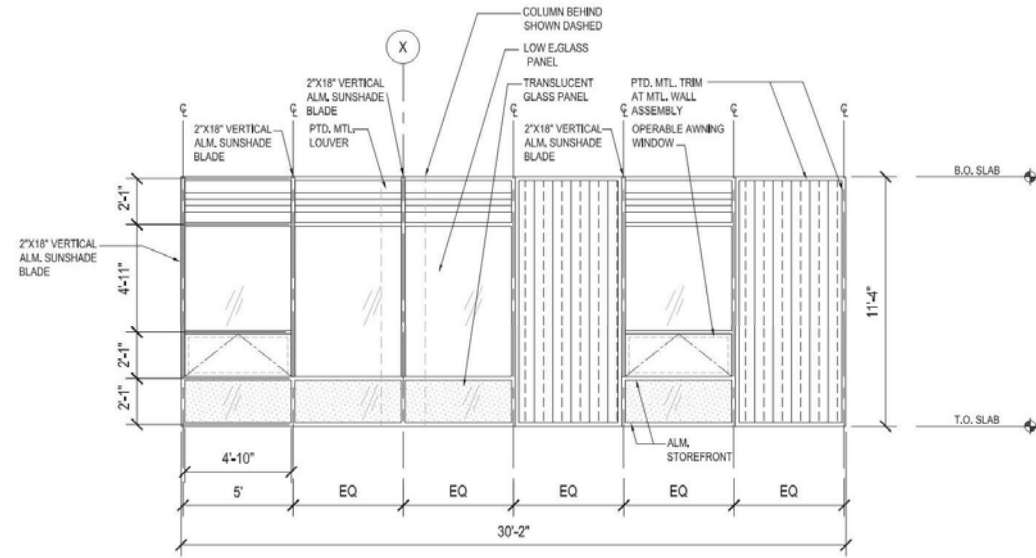
A5.00

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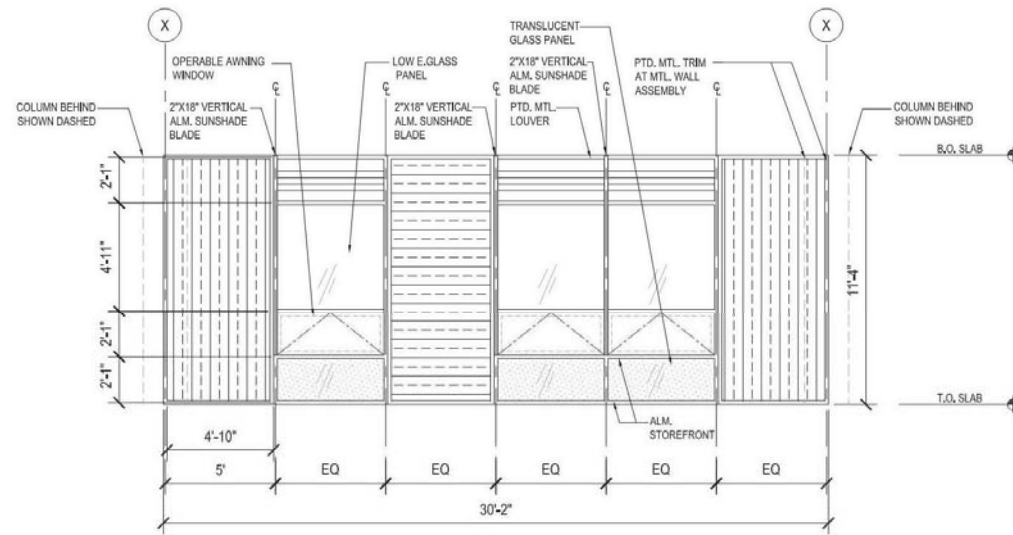
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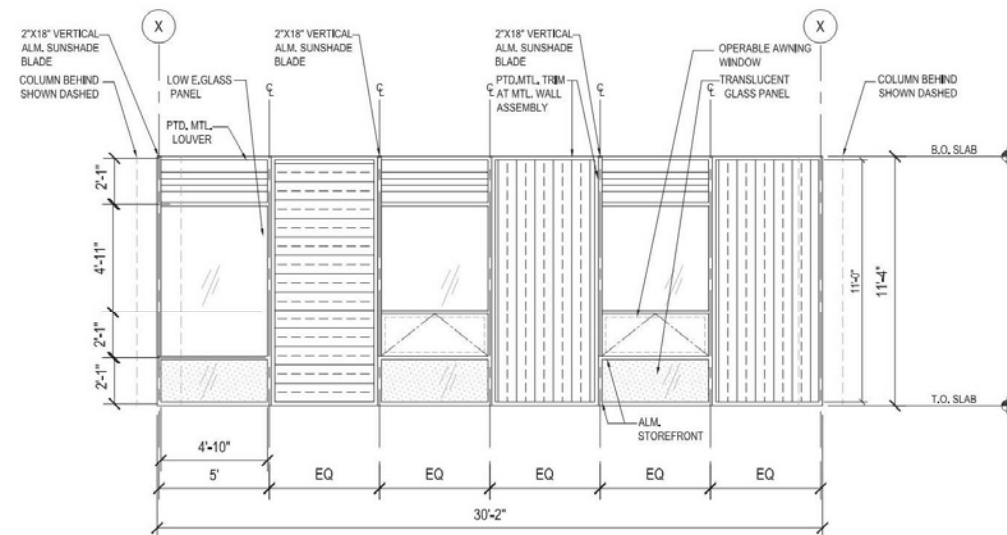
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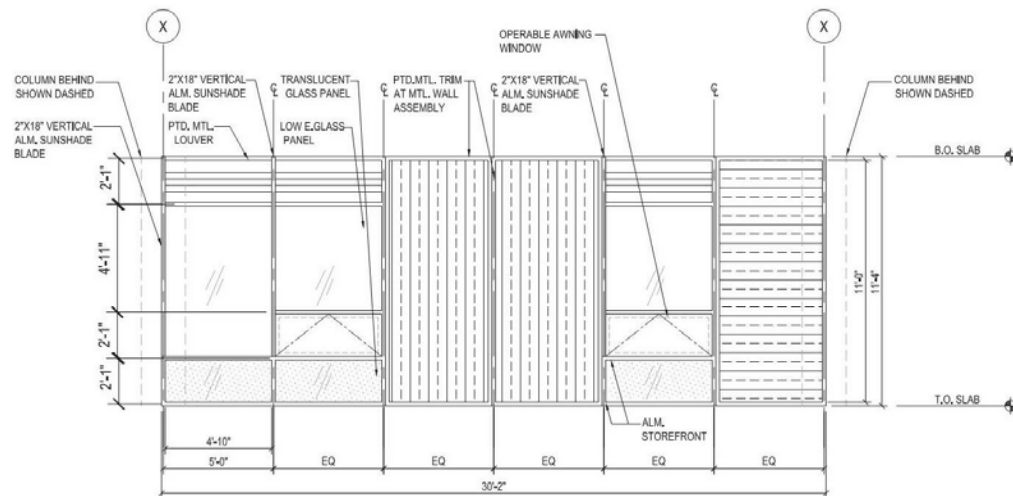
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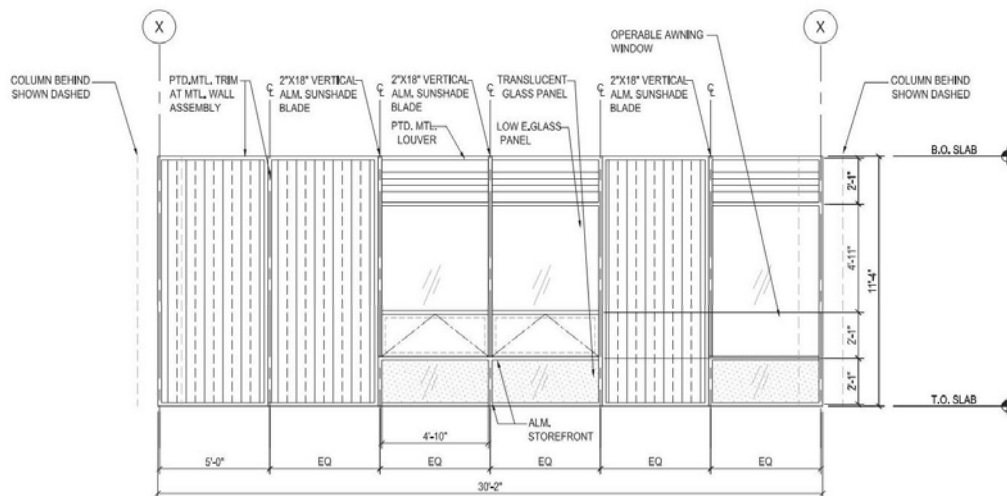
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SCALE: 1/4"=1'-0"



TYPE C1 | 3  
SCALE: 1/4"=1'-0"



TYPE B1 | 2  
SCALE: 1/4"=1'-0"



TYPE A1 | 1  
SCALE: 1/4"=1'-0"

**100 HOOPER STREET**  
SAN FRANCISCO, CA 94107

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Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
STOREFRONT SCHEDULE

Ref. North Date  
01/22/2015

**A8.31**

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Project Name  
100 HOOPER STREET

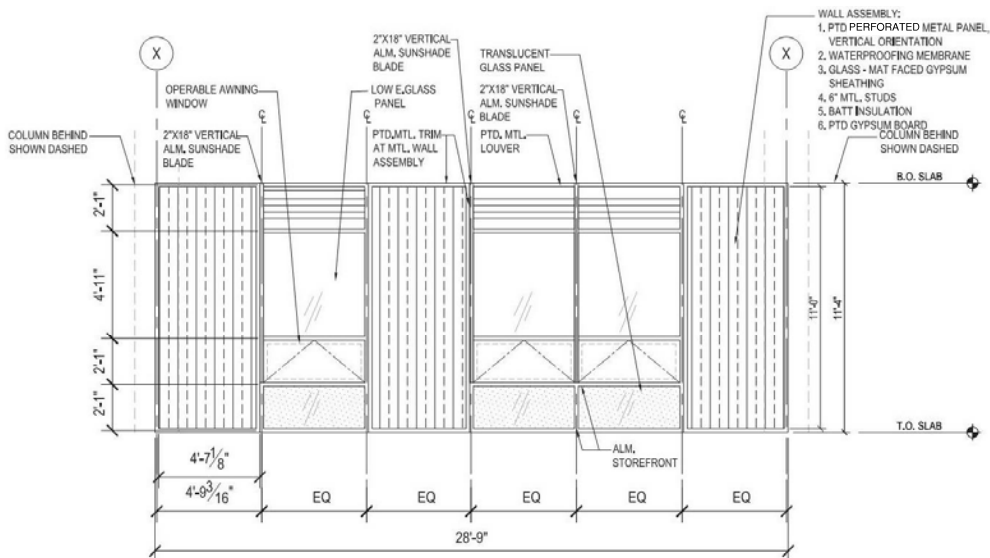
Project Number  
21114

Sheet Name  
STOREFRONT SCHEDULE

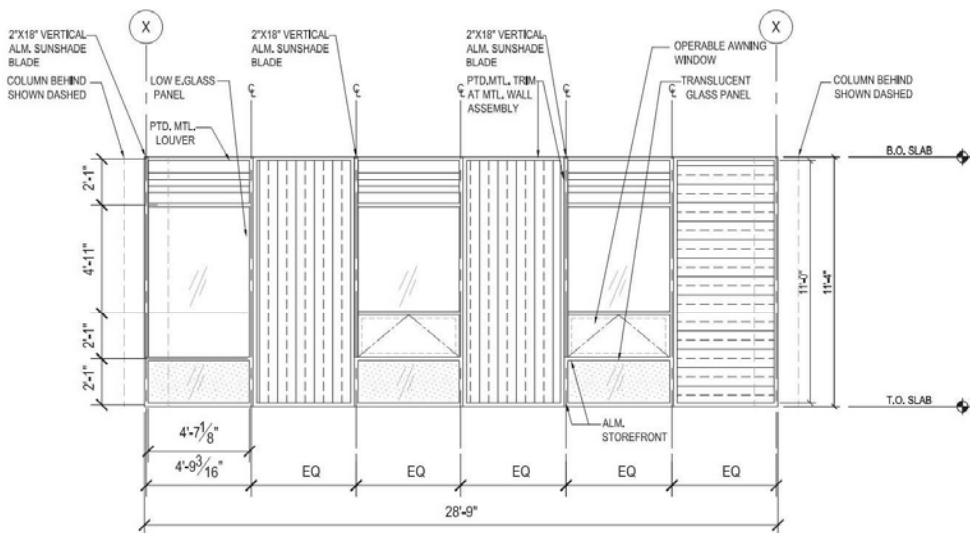
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A8.32

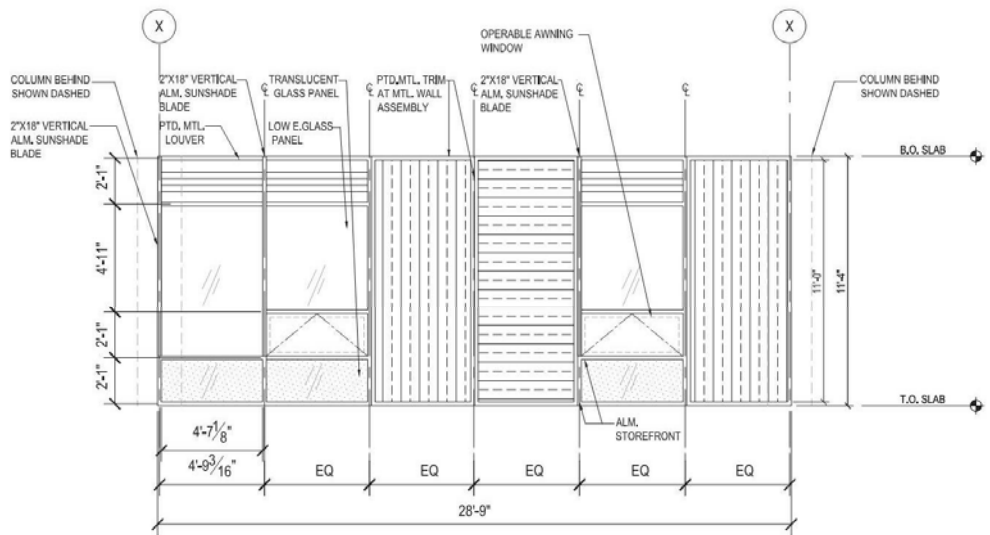
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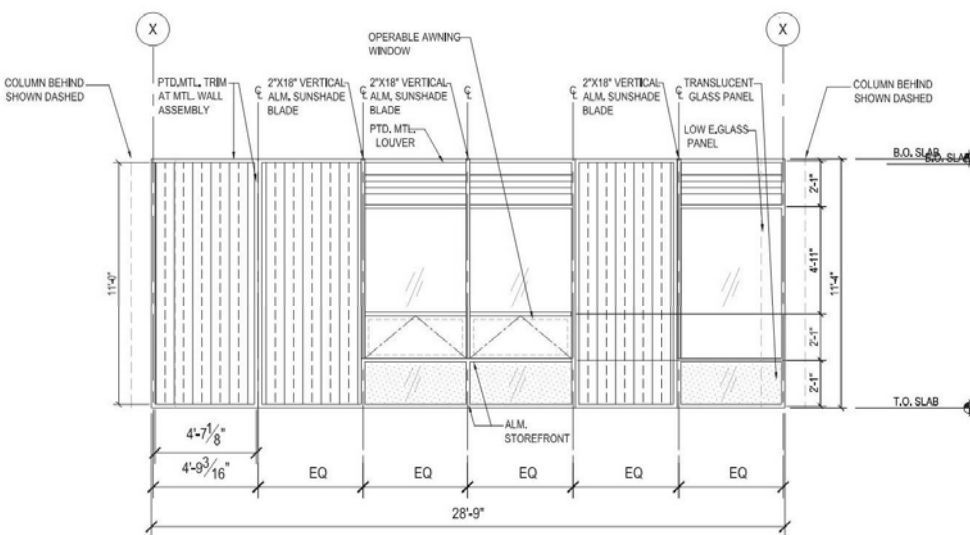
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SCALE: 1/4"=1'-0"



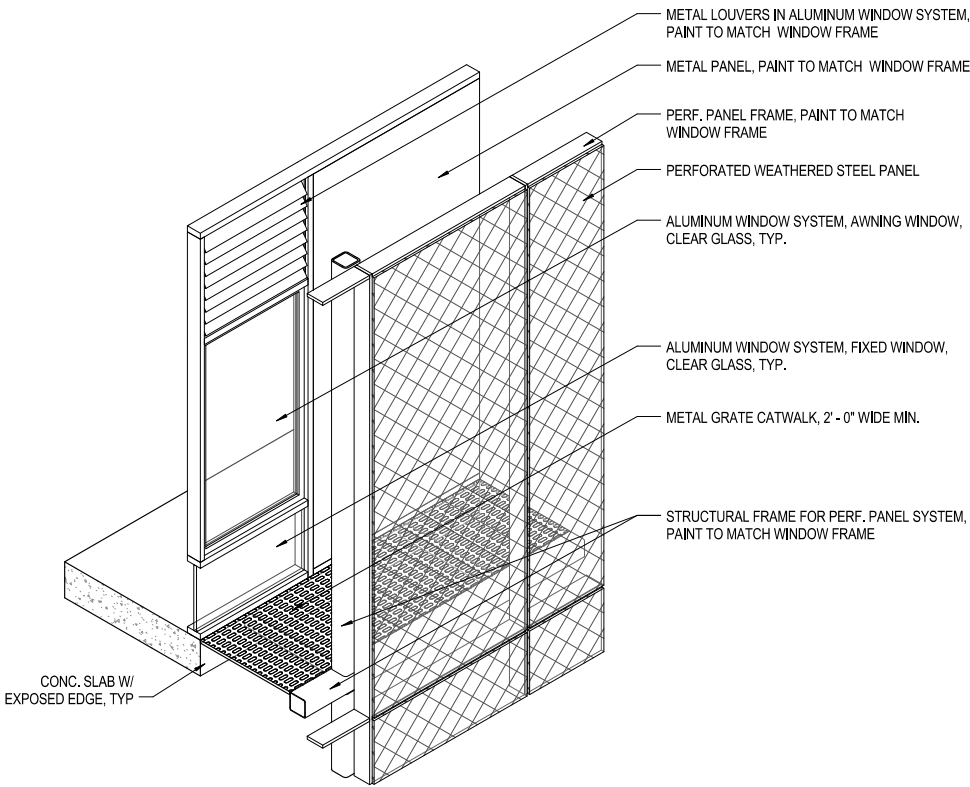
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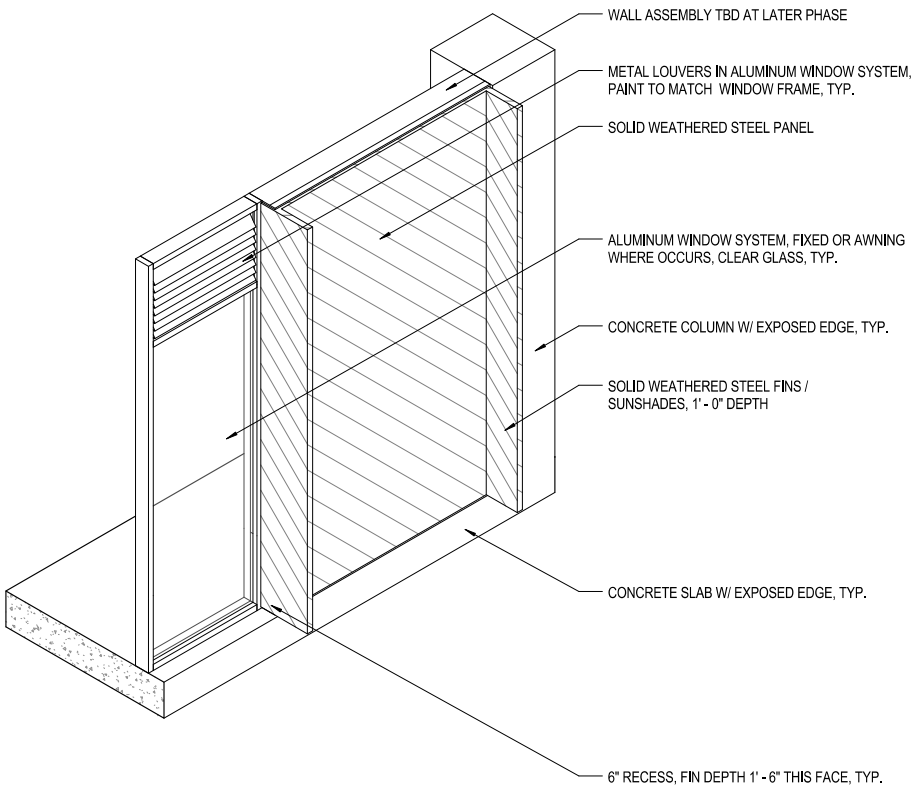
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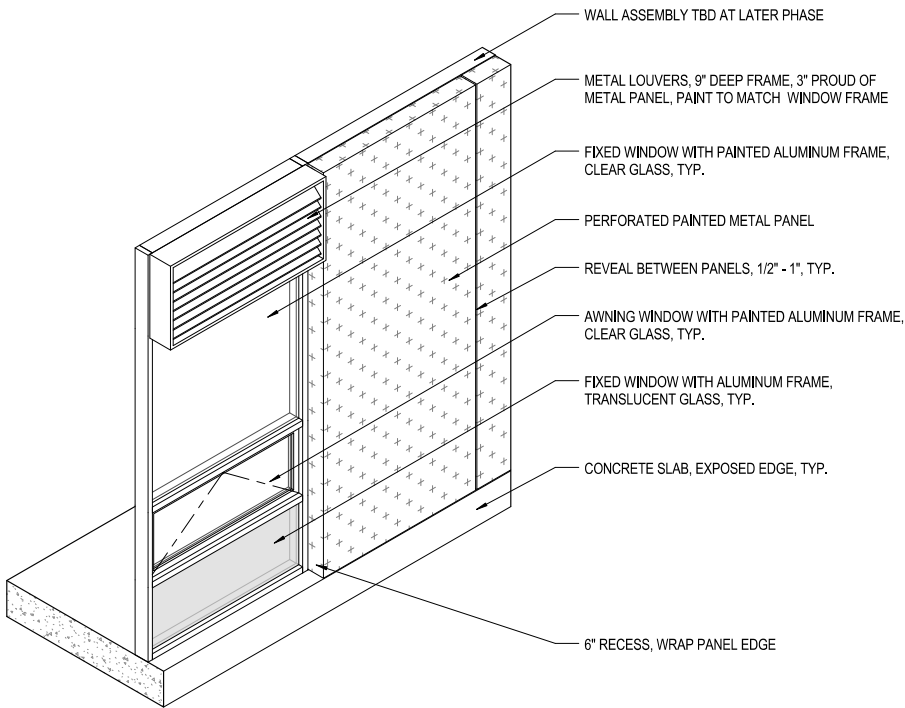
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DETAIL - PERFORATED WEATHERED STEEL PANEL | 2



DETAIL - SOLID CORTEN PANEL | 3



DETAIL - PERFORATED PAINTED METAL PANEL | 1

GENERAL NOTES

SHEET NOTES

LEGEND

- PERFORATED PAINTED METAL PANEL
- PERFORATED WEATHERED STEEL PANEL
- SOLID WEATHERED STEEL PANEL
- CORRUGATED METAL PANEL
- TRANSLUCENT GLASS
- CMU BLIND WALL ASSEMBLY
- PTD MTL. MESH LATTICE PANELS

PFAU  
GN01  
ARCHITECTURE

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100 HOOPER STREET  
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Project Number 21114

Sheet Name FACADE DETAILS

Ref. North Date 01/22/2015

A8.33

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AERIAL VIEW OF PLAZA - SYNERGIZE WITH CCA (SHED ROOF ON LEFT)

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100 HOOPER STREET

Project Number  
21114

Sheet Name  
BUILDING RENDERING -  
EXTERIOR

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01/22/2015

A10.01

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VIEW LOOKING EAST DOWN HOOPER STREET

100 HOOPER STREET  
SAN FRANCISCO, CA 94107

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Sheet Name  
BUILDING RENDERING -  
EXTERIOR

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A10.02

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VIEW FROM HOOPER STREET LOOKING ACROSS PLAZA TOWARDS PDR BUILDING

100 HOOPER STREET  
SAN FRANCISCO, CA 94107

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Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
BUILDING RENDERING -  
EXTERIOR

Ref. North Date  
01/22/2015

A10.03

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VIEW LOOKING DOWN THE ALLEY FROM 7TH STREET

100 HOOPER STREET  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

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Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
BUILDING RENDERING -  
EXTERIOR

Ref. North Date  
01/22/2015

A10.04

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VIEW LOOKING DOWN THE ALLEY FROM 7TH STREET

100 HOOPER STREET  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
BUILDING RENDERING -  
EXTERIOR

Ref. North Date  
01/22/2015

A10.05

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VIEW FROM CHANNEL ST LOOKING AT NORTH FACADE OF PDR BUILDING

100 HOOPER STREET  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions  
01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
BUILDING RENDERING -  
EXTERIOR

Ref. North Date  
01/22/2015

A10.06

PRELIMINARY - NOT FOR CONSTRUCTION

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## **Exhibit C**

## **100 Hooper – Community Outreach Summary**

### **I. General Community Outreach.**

Dan Murphy of UrbanGreen Devco LLC is active in the immediate neighborhood and in San Francisco, in general. Mr. Murphy attends many monthly community-oriented meetings, and meets individually with a broad range of community members, including regular and periodic attendance at various monthly community meetings such as: Potrero Boosters, Potrero Dogpatch Merchants Association (PDMA) meetings, and Dogpatch Neighborhood Association meetings. Mr. Murphy also served on the Eastern Neighborhoods Citizens Advisory Committee (ENCAC) for four years, and is a member of the PORT-BCDC Waterfront Working Group.

### **II. Partial List of “one-on-one” or small group meetings.**

- Numerous meetings with Planning Department (Steve Wertheim, John Rahaim, Corey Teague, Adam Varat, Chris Townes, Jeanie Poling, Maia Small, Jessica Range).
- Dozens of meetings over the past few years with David Meckel (and others) with the California College of the Arts (CCA).
- Frequent contact with Maurice Quillen with Recology, which owns the property located to the north of 100 Hooper.
- Numerous meetings with Ron Miguel who is a Potrero Hill resident and former Planning Commission member.
- Meeting with Save Potrero Hill group, which voiced support for the project.
- Frequent contact with Potrero Booster’s Executive Committee members, including Tony Kelly, Dick Millet, Keith Goldstein, David Glober, Joe Boss, and JR Eppler.
- Meeting with Chris Block, Chair of ENCAC in January 2013.
- Met and/or discussed with various City Supervisors over past few years, including Supervisor Cohen, Supervisor Chui, Supervisor Weiner, former Supervisor Elsbernd, and Supervisor Kim.
- Numerous meetings with Tim Colen, Executive Director of San Francisco Housing Action Coalition.
- Numerous meetings with Kate Sofis, Executive Director of SFMade.
- Numerous meetings with Steve Oliver, Board Member of CCA
- Numerous meetings with Sergio Nibbi, who owns land in the neighborhood.
- Meetings with Peter Cohen, Executive Director of the Council of Community Housing Organizations.
- Meeting with Corrine Woods, Chair of Mission Bay Community Advisory Committee.

### **III. Formal Presentations and Support Letters.**

- March 30, 2012 – Support email from Keith Goldstein, President of PDMA sent to Supervisor Cohen expressing support for 100 Hooper Street Planning Code changes to support modern version of American Industrial Center (AIC).

- April 23, 2012 – Letter received from Potrero Boosters supporting vision of 100 Hooper and rezoning, special use district, etc. (in coordination with CCA). Letter was written in response to Project Sponsor’s formal presentation at the Potrero Booster’s monthly meeting in 2012.
- January 30, 2013 – CCA letter of support sent to Project Sponsor. The letter mentions consistent dialogue, collaboration, transparency of Project Sponsor and general excitement about an integrated mixed use office and PDR project
- May 7, 2013 – SPUR Project Review Committee letter expresses strong support for land use proposed for 100 Hooper.
- March 21, 2014 – CCA letter of support sent to Project Sponsor, similar to the above letter received in 2013.
- November 6, 2014 – Dogpatch Neighborhood Association letter of support sent to Project Sponsor. Letter notes that Project Sponsor met with the Dogpatch Neighborhood Association on two separate occasions (Dogpatch Neighborhood Association meetings in both September and October 2014), and expresses enthusiastic support for concept, site plan, open space and other features.

**IV. Community Open House prior to Planning Commission Meeting – held at CCA on a Saturday morning in mid-September 2014.**

A summary of this event and sign-in sheet was previously sent to Planning Department staff (Chris Townes) under separate cover via email on September 23, 2014.

## **Exhibit D**



January 30, 2013

Dan Murphy  
UrbanGreen Devco LLC

Re: UGD Proposal for 100 Hooper Street

Dear Dan:

As you know, the California College of the Arts (CCA) operates its San Francisco campus on both the parcel directly to the west of your proposed mixed use commercial campus as well as the full city block directly the south. Both parcels, as well as our other parcels in the immediate Showplace Square neighborhood, are subject to a proposed SUD desired by CCA to support our institutional needs moving forward and we appreciate all the support we have received to date from you and your partners.

Over the past 18 months or so, you have engaged us in consistent dialogue about your planned 400,000 square foot commercial campus, fashioned as a modern version of the existing "American Can" complex in the Central Waterfront. Your vision of integrating a mixed PDR and flexible use development with our existing and planned campus is very exciting and in our view, represents a big opportunity not only for improving the vibrancy of our neighborhood but also for facilitating the continued growth and enhancement of our college.

We are especially excited about your plans for the ground floor PDR spaces and can imagine that these will fit well with the neighborhood. One only needs to look at another nearby PDR courtyard building like 10 Arkansas (at 16<sup>th</sup>) to realize this. That building, which is filled with filmmakers, graphic designers, furniture creators and other artisans, houses the studios of a number of CCA faculty and alumni.

We want you to know we will strive to work collaboratively with you to insure our mutual success. We truly appreciate how transparent and collaborative you and your team has been as you implement your vision working with the City of San Francisco.

As always, feel free to reach out to us for whatever you need, as we collectively move forward on our parallel paths.

Sincerely,

A handwritten signature in black ink that reads "David Meckel". The signature is fluid and cursive, with the first and last names being clearly legible.

David Meckel  
Director of Campus Planning  
California College of the Arts



1111 Eighth Street  
San Francisco, CA 94107  
415.703.9500

5212 Broadway  
Oakland, CA 94618  
510.594.3600

[cca.edu](http://cca.edu)



March 20, 2014

Dan Murphy  
UrbanGreen Devco LLC

Re: Proposal for Hoop Active Concept

Dear Dan:

As you know, the California College of the Arts (CCA) operates its San Francisco campus on both the parcel directly to the west of your proposed mixed use commercial campus as well as the full city block directly the south. Both parcels, as well as our other parcels in the immediate Showplace Square neighborhood are part of our Art and Design Educational Special Use District.

Over the past two-plus years, you have engaged us in consistent dialogue about your project, fashioned as a modern version of the existing "American Can" complex in the Central Waterfront. Your vision represents a big opportunity not only for improving the vibrancy of our neighborhood but also for facilitating the continued growth and enhancement of our college.

We really appreciate you bringing us up to date on your latest revisions to your entitlement drawings. The idea of an Active Space type building, or as you label it, *PDR Workshops*, adjoining our campus is a nice response to the neighborhood and our adjacency. As we've discussed recent graduates, faculty, alumni and other creatives seek affordably priced work spaces in our neighborhood to pursue their individual crafts and having them at our common property line will facilitate their on-going connection with the CCA community.

We also want to commend your team for the campus style master plan and how the proposed open spaces engage our campus. We want you to know that we will strive to work collaboratively with your team to insure our mutual success. We look forward to working with you and the City to implement the Showplace Square Open Space Plan's vision for Hooper Street as a green street connector to Mission Bay.

As always, feel free to reach out to us for whatever you need, as we collectively move forward on our parallel paths.

Sincerely,

A handwritten signature in black ink, appearing to read "David Meckel", written in a cursive, flowing style.

David Meckel  
Director of Campus Planning  
California College of the Arts

POTRERO BOOSTERS  
NEIGHBORHOOD ASSOCIATION  
SERVING THE HILL SINCE 1926

April 23, 2012

To Whom It May Concern:

I'm writing on behalf of the Potrero Boosters Neighborhood Association, one of the oldest and largest neighborhood associations in the City, in support of mixed-use commercial development at Seventh and Hooper Streets.

The Potrero Boosters have been working on community planning issues on the Hill and in the City's eastern neighborhoods for many years, including extensive work on the Eastern Neighborhoods re-zoning. During that decade-long process, we fought hard to ensure that Showplace Square would be protected from Mission Bay-style office buildings; we've always maintained that our preferred model for commercial development in the neighborhood is the American Industrial Center on Third Street.

So we are surprised to find, when discussing the future of the self-storage site on Hooper Street with developer Dan Murphy, that the Eastern Neighborhoods zoning actually prohibits developments like the AIC in the area. That was not our intention. We support consideration of a Special Use District for the Seventh and Hooper site, as an opportunity to demonstrate how flexible commercial development can better support the light-industry base of Showplace Square as well as its emerging creative economy.

At the same time that we support an SUD for Seventh and Hooper (especially as an improvement over the site's current low-density, unattractive use as self-storage), we don't want to fall into the trap of spot-zoning multiple neighboring sites in Showplace Square immediately after the completion of a decade-long planning process. So, even though we also support the expansion and future development plans of the California College of the Arts, we are not comfortable with CCA's proposed SUD being considered separately from a Hooper Street SUD next door. CCA was a valuable partner to the neighborhood during the Eastern Neighborhoods re-zoning; we look forward to working with them in the coming years, and it will be much easier to support their efforts if we are working as one community-planning team, rather than in competition among neighbors.

We urge the Planning Department and other City decision-makers to consider a single, larger Special Use District for CCA and Hooper Street, for the benefit of the college and the economies and communities of Showplace Square and Potrero Hill. Please feel free to contact me if you have any questions or concerns.

All best wishes, and looking forward,

A handwritten signature in black ink, appearing to read 'Tony Kelly', with a large, sweeping flourish extending from the end of the signature.

Tony Kelly, President

**From:** Keith Goldstein <keith@everestsf.com>  
**Subject:** 100 Hooper  
**Date:** March 30, 2012 4:10:59 PM PDT  
**To:** malia.cohen@sfgov.org  
**Cc:** Dan Murphy <danielmurphy@sbcglobal.net>

---

Hello Malia

I am writing to express PDMA's support for a modern version of the American Industrial Center at the 100 Hooper site. Buildings such as AIC play an enormously valuable part in the development and success of small business. They provide numerous spaces of all sizes for many types of small entrepreneurs and an "incubator" environment in which small business can thrive.

PDMA thinks that our neighborhood would derive far more benefits from this type of use than from the possible use by a sole corporate entity. I hope that you will support the developer's efforts to bring this use to fruition.

Best wishes,  
Keith Goldstein



November 6, 2014

Re: 100 Hooper St. Development proposal

The Dogpatch Neighborhood Association (DNA) voted at our October 2014 meeting, to support this PDR/office development proposal by UrbanGreen Devco LLC.

UrbanGreen Devco LLC met with DNA twice and held a community meeting to discuss the project with neighbors. The concept of PDR on ground floor with office above works within this mixed-use neighborhood and adds more smaller and flexible workspaces to this area of town, which is becoming a center for such activity. The studios for makers (possibly alum from the adjacent CCA) is a great way for the development to integrate with the surrounding existing zoning/uses and the modular spaces make it flexible for different size businesses.

The design is appropriate for the use and the materials are interesting. We like the greening and gathering space added around the buildings, which nicely augments the delivery/pick-up/drop off necessities of such a space and will be a pleasant space for anyone to walk through and/or use. Diverse uses will add vibrancy to the exterior areas.

We appreciate green spaces on the roof.

We look forward to seeing this mixed-use project move forward to completion.

Sincerely,

A handwritten signature in black ink, appearing to read "Janet Carpinelli". The signature is fluid and cursive, with a large initial "J" and "C".

Janet Carpinelli  
President



**Chair**

Anne Halsted

**Executive Director**

Gabriel Metcalf

**Urban Center Director**

Diane Filippi

**Executive Vice Chair**

David Friedman

**Vice Chairs**

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Andy Barnes

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Elizabeth Seifel

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Chi-Hsin Shao

Doug Shoemaker

Ontario Smith

Bill Stotler

Stuart Sunshine

Michael Teitz

Mike Theriault

James Tracy

Will Travis

Molly Turner

Jeff Tumlin

Steve Vettel

Francesca Vietor

Fran Weld

Allison Williams

Cynthia Wilusz Lovell

Cindy Wu

May 7, 2013

Dan Murphy  
UrbanGreen Devco, LLC  
P.O. Box 1578  
Pacifica, CA 94044

Re: 100 Hooper Street

Dear Mr. Murphy:

On behalf of the members of the SPUR Project Review Committee, we would like to thank your team for bringing the proposed redevelopment of 100 Hooper Street as a mixed-use development to our group for consideration and review at our February 2013 meeting.

The mission of the SPUR Project Review Committee is to consider projects that are of citywide importance and to evaluate them according to criteria related to land use, public realm interface, building design and environmental effects. In all cases, we are seeking a combination of excellent planning and design solutions that will ensure the positive contribution of each project to a safe, visually appealing, and vibrant urban setting for the people who live and work in San Francisco.

Most of the discussion at our February meeting centered on the issue of the “innovative industries” zoning overlay request for 100 Hooper Street. Because the success of this project is largely dependent on Planning Department approval of this request, we are focusing the bulk of our comments today on Land Use. As a result of our review and discussion of the 100 Hooper Street proposal, we provide the following comments for your information and action:

## Land Use

The 100 Hooper Street project is located within the Showplace Square/Potrero Area Plan and is covered under the final Eastern Neighborhoods EIR. In keeping with the Showplace Square/Potrero Area Plan objectives to encourage innovation in knowledge sector, R&D, and manufacturing industries, the project sponsor proposes to replace the existing mini storage and truck rental with two, four-story buildings in combination with a privately-owned/public open-space (POPO) courtyard. The buildings will provide a total of over 400,000 gross square feet of flexible commercial space and the POPO will enhance and extend the Hooper Street “Green Street” open space designation.

The sponsor envisions a variety of uses, including ground-floor PDR and retail, as well as office, IPDR, and – in consideration of the needs of its immediate neighbor, California College of the Arts (CCA) – institutional use on the upper floors. The concrete frame buildings will include some “live-in” opportunities in the ground-floor

SPUR URBAN CENTER  
654 Mission Street  
San Francisco, California  
94105

415.781.8726

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SPUR SAN JOSE  
38 West Santa Clara Street  
San Jose, California  
95113

408.510.5688

[www.spur.org/sanjose](http://www.spur.org/sanjose)



PDR units. The project sponsors are requesting a zoning overlay for “innovative industries” (as mapped for the American Can building located in the Central Waterfront), which will allow office and institutional use on the upper floors.

We understand that the proposed project was developed in alignment with the Eastern Neighborhood EIR in which the “innovative industries” zoning was certified for this parcel. Though the zone mapping was not adopted in the final area plan, the committee is in complete agreement that a zoning overlay for 100 Hooper Street is consistent with the Showplace Square/Potrero Hill Area Plan objectives.

Overall, the committee is very supportive of the proposed land-use for this project. We agree that the proposed development is appropriately scaled and fully in keeping with the area plan. The ground-floor PDR units provide optimal space for light manufacturing, artisan, and incubator industry, while the large floorplates of the upper floors allow for flexible uses that can contribute to the viability of the PDR businesses.

The synergistic connection with CCA implies both a sustainable source of creative new PDR tenants and an opportunity for institutional expansion for CCA. We appreciate the project sponsors’ efforts to work closely with CCA and neighborhood groups as they developed the project at 100 Hooper Street. We strongly agree with the request for an SUD overlay for 100 Hooper Street.

### **Public Realm Interface and the Promotion of a Pedestrian-Oriented Environment**

The committee is very pleased with the plans to include a POPO courtyard in the project as part of the greening of Hooper Street. Though we would like to see a more fully realized plan for the connection to the Mission Bay open-space corridor, we agree that project plans for the public realm are a great improvement over current conditions and believe the project will contribute to a “walk-able” Showplace Square/Potrero Hill neighborhood.

### **Building & Landscape Design/Environmental Effects**

Because our discussion was focused on the important Land-use issues, we ask that the project sponsor return at a future date to present more fully realized building design and environmental plans for 100 Hooper Street. In general, the committee is supportive of the “American Can” conceptual design idea for the project buildings, but we do not agree that the current design achieves the American Can standard.

SPUR believes it is essential for projects to build environmental sustainability into their design and function, and this proposal reflects the project owners' commitment to sustainability as an integral and ongoing priority of the design process. We applaud the project sponsor's stated goal of attaining LEED Gold certification, and look forward to the creative inclusion of sustainable design elements, especially the possibility of a zero-net energy plan.

### **Conclusion**

The SPUR Project Review Committee finds the 100 Hooper Street project to be an appropriate use of this site. We strongly support SUD zoning overlay for innovative industries and look forward to a more in-depth review of the Public-Realm Interface, Building Design, and Environmental Plans.

We thank you for committing your time and resources to the presentation at SPUR, appreciate the fact that you have presented your proposal to us at an early stage in its development so that you may take our recommendations into consideration. We will follow further refinements of this project with great interest and invite you to keep us informed on its progress.

### **Consideration for Endorsement**

Should you intend to request SPUR to consider this project for endorsement, you should contact the Committee co-chairs at the appropriate time. Endorsement by SPUR is reserved for projects of the highest quality and significance to the city. Consideration for endorsement begins with a formal response by projects sponsors to this review letter, including an update on any significant changes to the project program or design since the project was initially presented at SPUR. The project is then taken up for discussion by an endorsement subcommittee of SPUR board members who serve on committees in the areas of project review, urban policy, housing, sustainability, and transportation. We normally require a month's lead-time to schedule a meeting of the endorsement subcommittee.

Please do not hesitate to contact us for questions/clarifications.

Sincerely,

Charmaine Curtis  
SPUR Project Review Committee Co-Chairs

Mary Beth Sanders

Reuben Schwartz

cc: SPUR Board of Directors



DRAWING LIST

A0.00	COVER	A2.04a	FOURTH FLOOR PLAN - WEST
A0.01	PROJECT DATA	A2.04b	FOURTH FLOOR PLAN - EAST
A0.02	NEIGHBORHOOD CONTEXT	A2.05a	ROOF PLAN - WEST
A0.03	SITE CONTEXT & VIEWS	A2.05b	ROOF PLAN - EAST
A0.04	SITE CONCEPT AND MASSING DIAGRAMS	A2.11	PDR USE MAP
A0.05	SITE CONCEPT AND MASSING DIAGRAMS	A2.12	PDR USE MAP LEGEND AND INFRASTRUCTURAL REQUIREMENTS
		A2.13	PDR UNIT DIAGRAMS
C0	ALTA/ACSM LAND TITLE SURVEY - SHEET 1		
C1	ALTA/ACSM LAND TITLE SURVEY - SHEET 2	A3.01	BUILDING ELEVATIONS
C2	ALTA/ACSM LAND TITLE SURVEY - SHEET 3	A3.02	BUILDING ELEVATIONS
C3	ALTA/ACSM LAND TITLE SURVEY - SHEET 4	A3.03	BUILDING ELEVATIONS
S-1	LOT PLAN	A3.04	BUILDING ELEVATIONS
A1.01	ARCHITECTURAL SITE PLAN - EXISTING CONDITIONS		
A1.02	ARCHITECTURAL SITE PLAN	A4.01	BUILDING SECTIONS
A1.03	SITE ACCESS AND PARKING PLAN	A4.02	BUILDING SECTIONS
L1.1	PERSPECTIVES & GENERAL NOTES		
L2.1	LANDSCAPE PLAN - WEST	A5.00	ENLARGED ELEVATIONS
L2.2	LANDSCAPE PLAN - EAST	A8.31	STOREFRONT SCHEDULE
L3.1	CONCEPTUAL PLANTING DIAGRAM	A8.32	STOREFRONT SCHEDULE
L3.2	CONCEPTUAL PLANTING DIAGRAM	A8.33	FACADE DETAILS
L4.1	LANDSCAPE IMAGERY		
A2.01a	FIRST FLOOR PLAN - WEST	A10.01	RENDERING
A2.01b	FIRST FLOOR PLAN - EAST	A10.02	RENDERING
A2.01Ma	MEZZANINE PLAN - WEST	A10.03	RENDERING
A2.01Mb	MEZZANINE PLAN - EAST	A10.04	RENDERING
A2.02a	SECOND FLOOR PLAN - WEST	A10.05	RENDERING
A2.02b	SECOND FLOOR PLAN - EAST	A10.06	RENDERING
A2.03a	THIRD FLOOR PLAN - WEST		
A2.03b	THIRD FLOOR PLAN - EAST		

VICINITY MAP



PFAULONG  
ARCHITECTURE

98 Jack London Alley San Francisco CA 94107  
415 908 6408 pfaulong.com

100 HOOPER STREET

SAN FRANCISCO, CALIFORNIA 94107

PLANNING COMMISSION ENTITLEMENT SET

JANUARY 22, 2015





100 HOOPER STREET  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
NEIGHBORHOOD CONTEXT

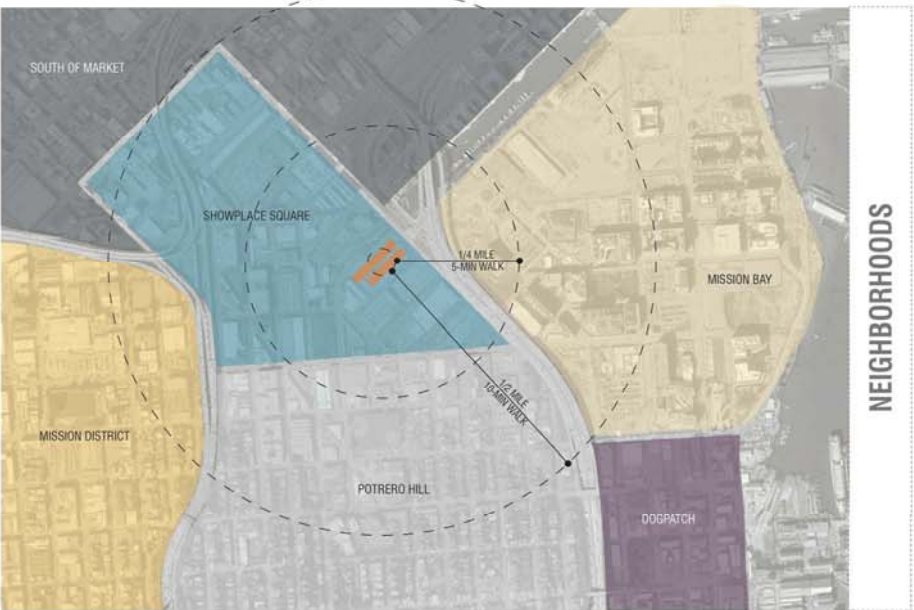
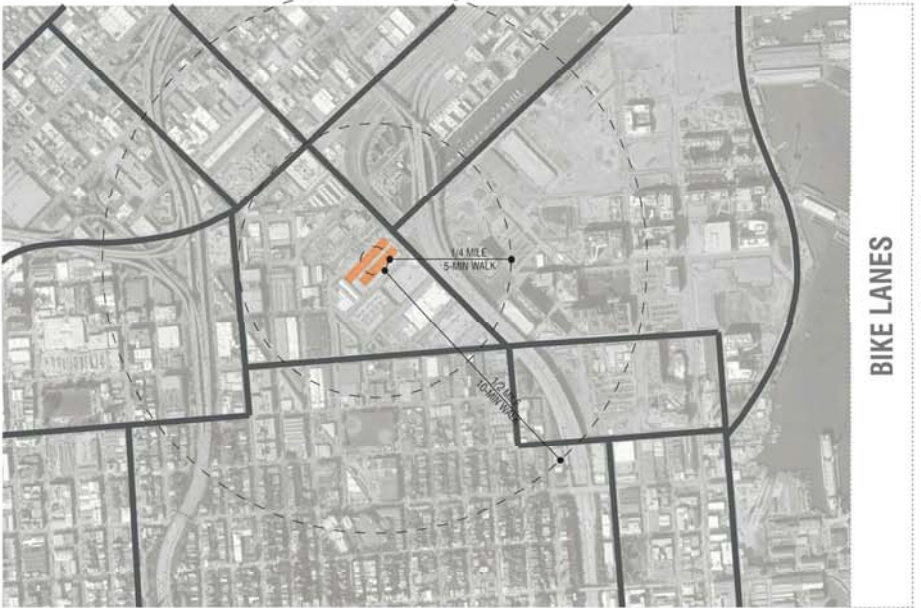
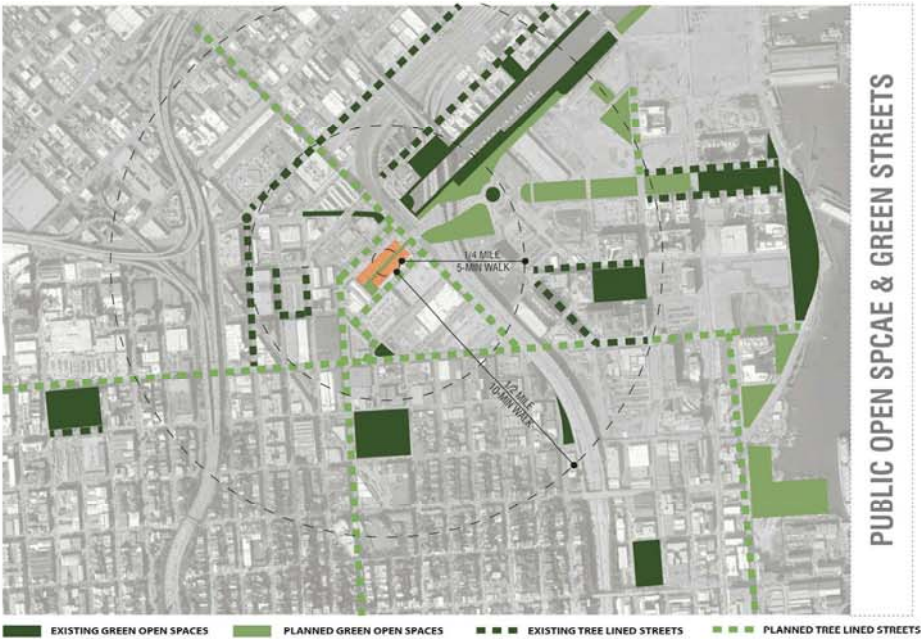
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Date 01/22/2015



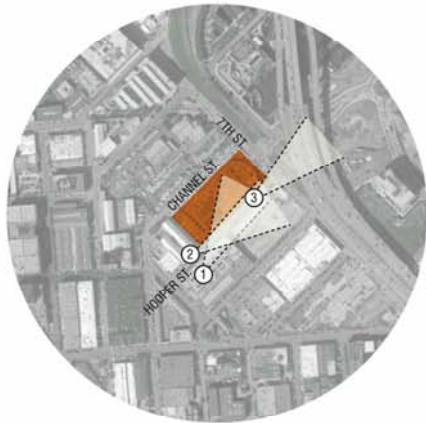
A0.02

All drawings and written material appearing herein constitute original and confidential work of the architect and may not be duplicated, used or disclosed without written consent of the architect.

PRELIMINARY - NOT FOR CONSTRUCTION







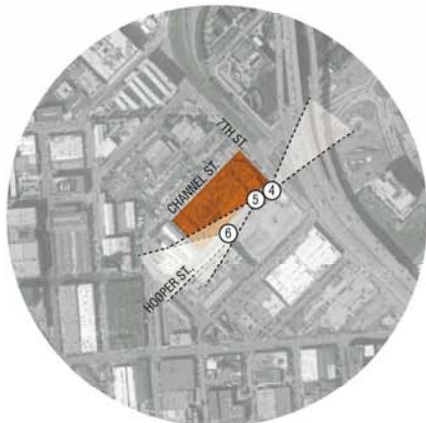
1 HOOPER ST. LOOKING NORTHEAST



2 HOOPER ST. LOOKING SOUTHEAST



3 HOOPER ST. APPROACHING 7TH



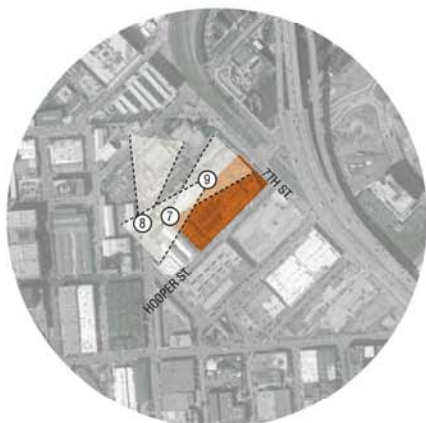
4 END OF HOOPER ST. LOOKING NORTHEAST



5 END OF HOOPER ST. LOOKING SOUTHWEST



6 HOOPER ST. MID-BLOCK LOOKING SOUTHWEST



7 CHANNEL ST. LOOKING NORTHEAST



8 END OF CAROLINA ST. AT CHANNEL



9 CHANNEL ST. LOOKING SOUTHWEST

100 HOOPER STREET  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

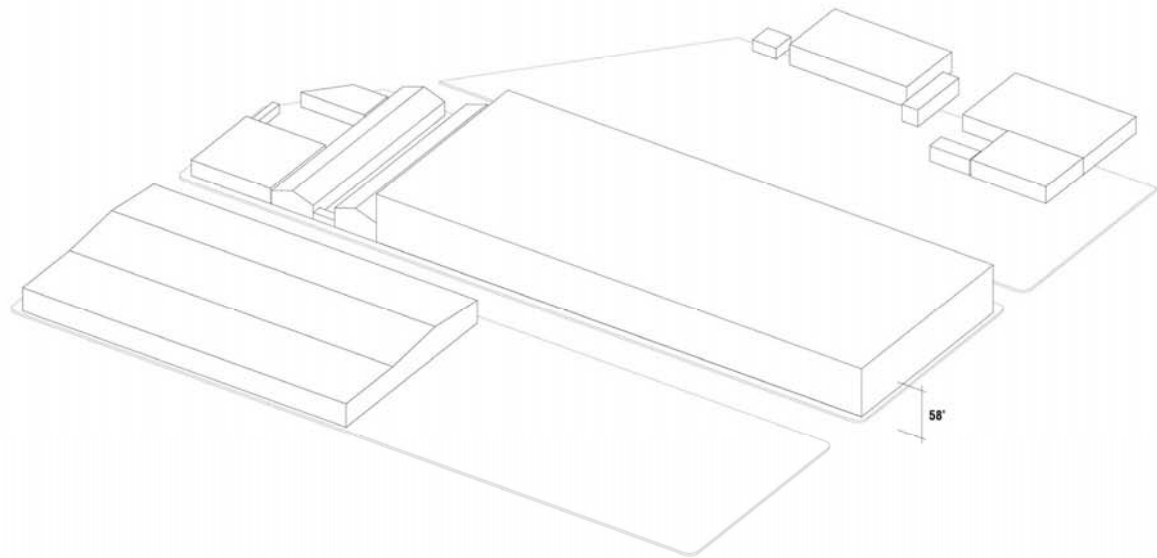
Sheet Name  
SITE CONTEXT & VIEWS

Ref. North Date  
01/22/2015

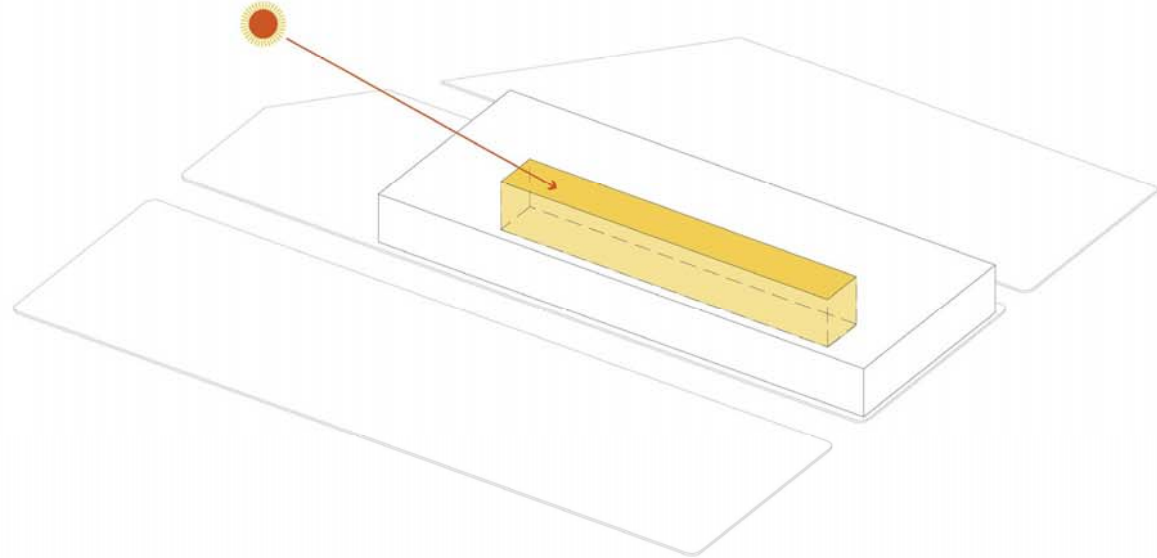
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PRELIMINARY - NOT FOR CONSTRUCTION

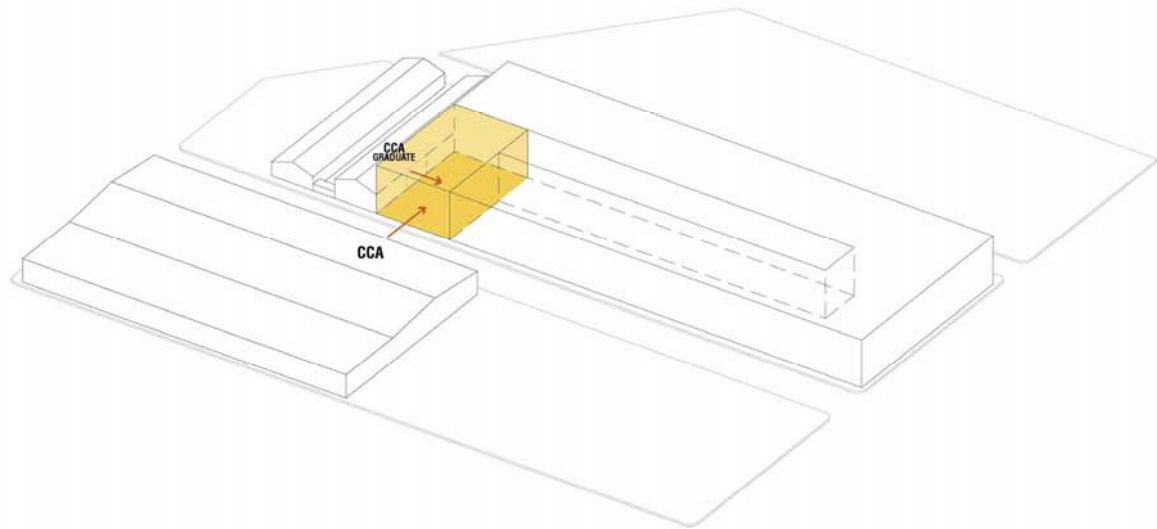
All drawings and written material appearing herein constitute original and confidential work of the architect and may not be duplicated, used or disclosed without written consent of the architect.



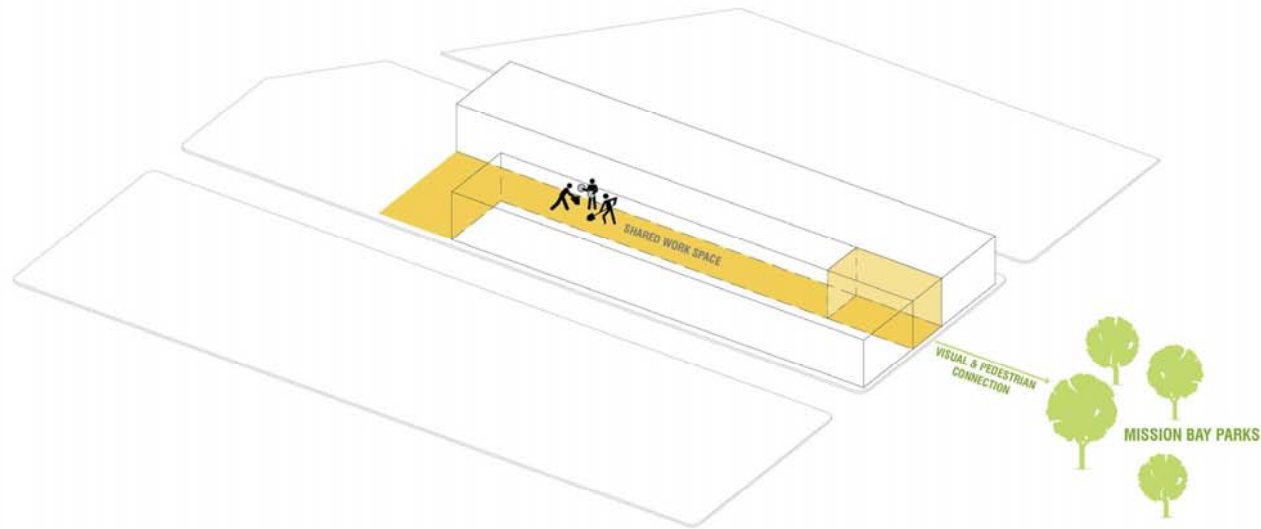
ALLOWABLE BUILD-OUT  
GSF: 572,248



ADD LIGHT & AIR  
GSF: 497,936



SYNERGISTIC PUBLIC PLAZA WITH CCA  
GSF: 460,136



A PASEO LINKS THE PLAZA TO 7TH STREET  
GSF: 423,629

**100 HOOPER STREET**  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
SITE CONCEPT & MASSING  
DIAGRAMS

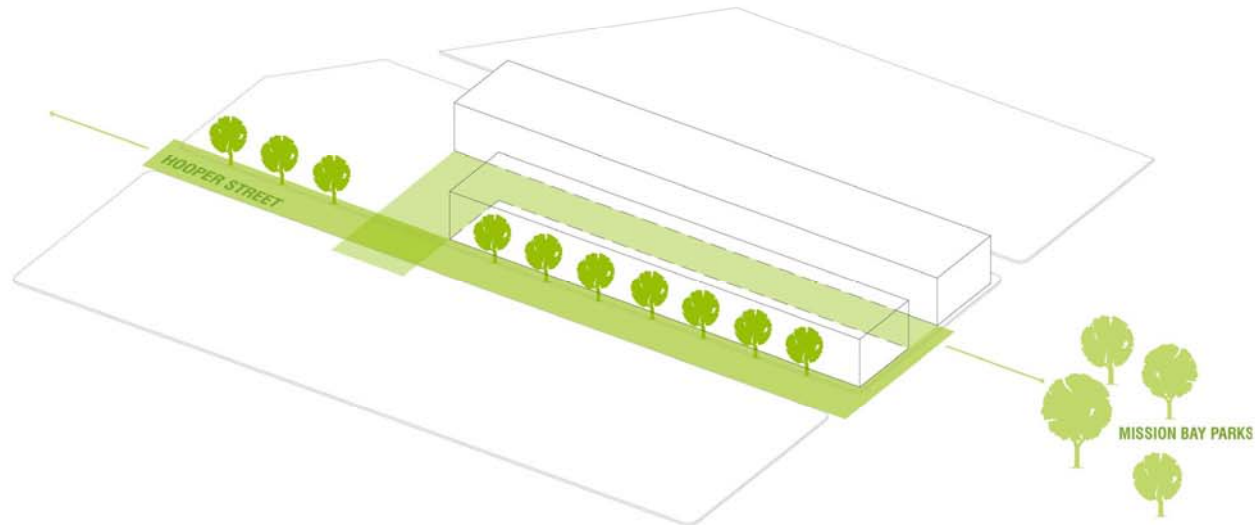
Ref. North  
Date  
01/22/2015

**A0.04**

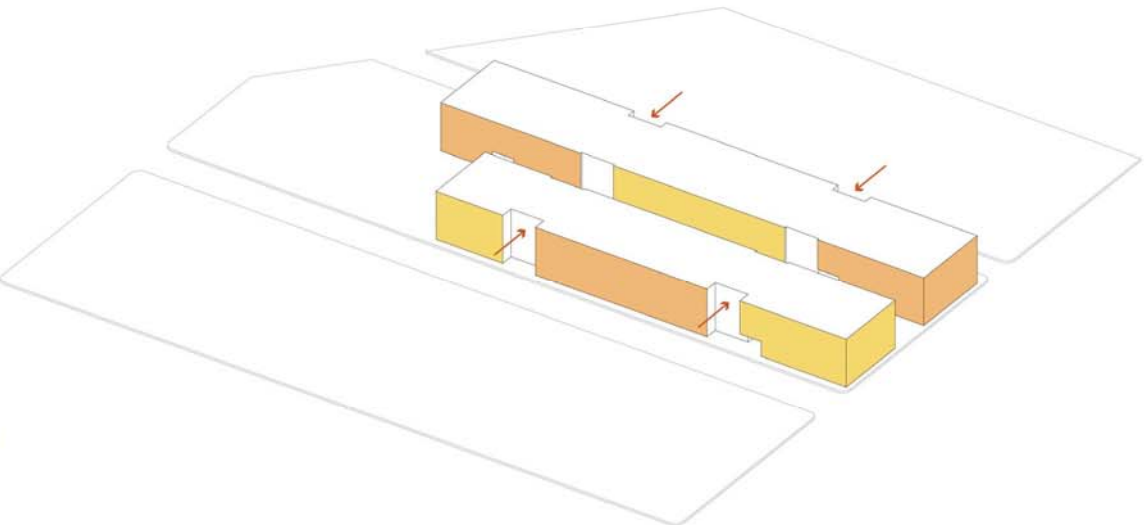
PRELIMINARY - NOT FOR CONSTRUCTION

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without written consent of the architect.

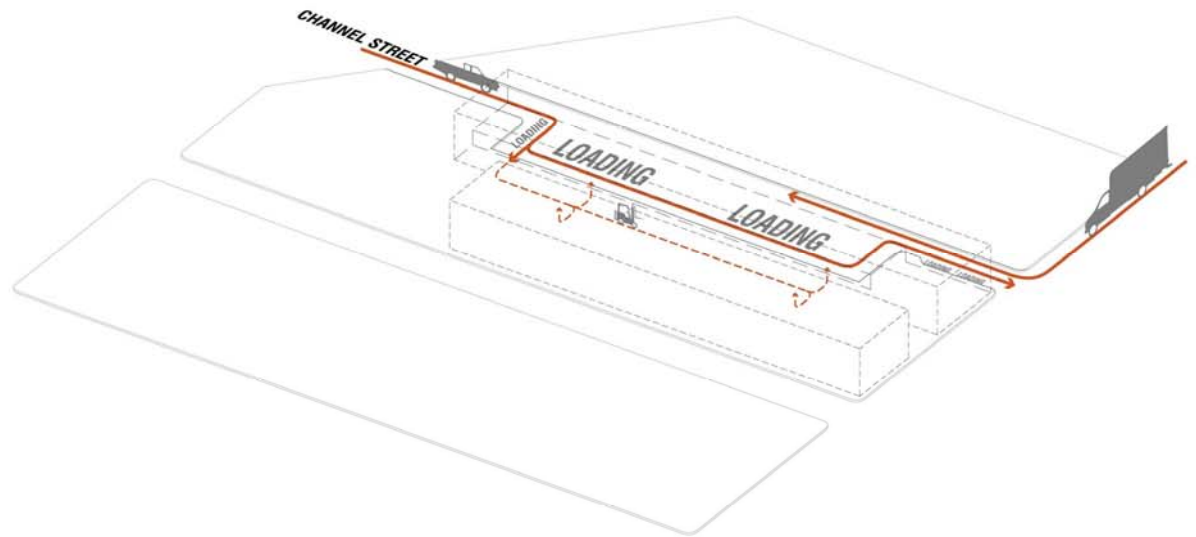




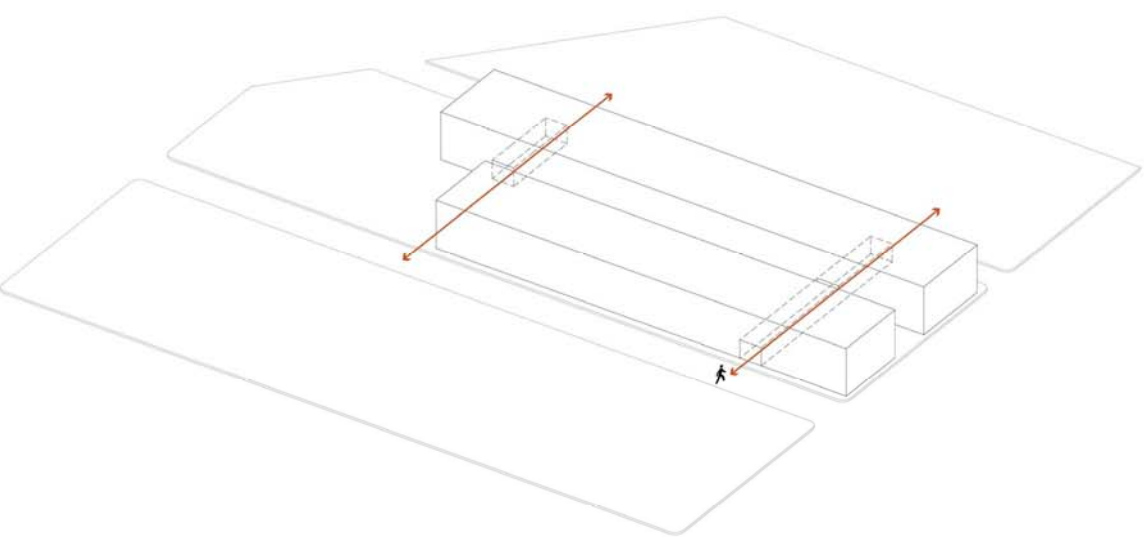
HOOPER - A GREEN STREET



MASS REDUCTION AT BUILDING ENTRANCES



CHANNEL - A SERVICE/LOADING STREET



THROUGH-BLOCK CONNECTIVITY

**100 HOOPER STREET**  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
SITE CONCEPT & MASSING  
DIAGRAMS

Ref. North  
Date  
01/22/2015

**A0.05**

PRELIMINARY - NOT FOR CONSTRUCTION

All drawings and written material appearing herein  
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architect and may not be duplicated, used or disclosed  
without written consent of the architect.

TITLE REPORT

THE TITLE REPORT USED IN THIS SURVEY WAS ISSUED BY CHICAGO TITLE COMPANY, PRELIMINARY REPORT TITLE NO. 11-36910863-A-MK, DATED AUGUST 22, 2011 AT 7:30 A.M., REFERRED TO HEREON AS THE "PTR".

TITLE TO SAID ESTATE IS VESTED IN:

DIANA SHERMAN PEACOCK, A MARRIED WOMAN;

SHELLY SHERMAN ALLUMS, WHO ACQUIRED TITLE AS SHELLY SHERMAN BOOKER, A MARRIED WOMAN AND AS SHELLY SHERMAN, A MARRIED WOMAN;

LEONARD JACK HARTNETT AND MARGARET EDIE HARTNETT, AS TRUSTEES OF THE HARTNETT FAMILY TRUST, UNDER DECLARATION OF TRUST DATED MARCH 26, 1991, (SPW);

EDWARD M. SHERMAN, A MARRIED MAN;

STUART M. KAPLAN, AS RECEIVER OF THE TRUST ASSETS OF THE TRUST CREATED BY AGREEMENT DATED NOVEMBER 1, 1983 BY FREDERICK S. MOODY, JR.;

SCHANDER INC., A CALIFORNIA CORPORATION;

CHERIE D. WALKER AND CHARLES U. WALKER CO--TRUSTEES OF THE CHERIE D. WALKER REVOCABLE TRUST OATED DECEMBER 21, 1995;

DOUGLAS MOODY, AS HIS SEPARATE PROPERTY;

LEDLIE, INC., A CALIFORNIA CORPORATION;

WATSON--WEST FAMILY PARTNERSHIP, A CALIFORNIA GENERAL PARTNERSHIP

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN FRANCISCO, COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL A (LOT 3) OF PARCEL MAP 3835, FILED JULY 7, 2008, IN BOOK 47 OF PARCEL MAPS, PAGES 138 THROUGH 141, INCLUSIVE, SAN FRANCISCO COUNTY RECORDS.

BEING PART OF SOUTH BEACH BLOCK NO. 39.

(FORMERLY PORTION OF 3808--D01 AND 3808--D02)

APN: BLOCK 3808, LOT D03

EXCEPTIONS

- 1
- CONOTIONS AND RESTRICTIONS AS SET FORTH IN A DOCUMENT RECORDED BY THE CITY AND COUNTY OF SAN FRANCISCO, DEPARTMENT OF PUBLIC WORKS, TYPE OF PERMIT BEING STREET ENCROACHMENT AGREEMENT, RECORDED MARCH 2, 1965, INSTRUMENT NO. N73725, BOOK A888, PAGE 382, OF OFFICIAL RECORDS. REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS (EXC. 7, PLOTTED).

TABLE A NOTES

2. THE STREET ADDRESS OF THE PROPERTY IS 100 HOOPER STREET, SAN FRANCISCO, CALIFORNIA.
3. FLOOD ZONE: THE FEDERAL EMERGENCY MANAGEMENT ADMINISTRATION'S FLOOD HAZARD BOUNDARY MAP WAS RESCINDED ON JULY 18, 1975 AND NO LONGER APPLIES TO THE CITY AND COUNTY OF SAN FRANCISCO.
4. THE GROSS LAND AREA OF THE SUBJECT PROPERTY IS 143,062 SQUARE FEET OR 3.28 ACRES, MORE OR LESS.
5. BENCHMARK IS SHOWN ON THIS SHEET OF THE SURVEY, AND ELEVATIONS ARE SHOWN ON SHEETS 3 AND 4 OF THE SURVEY.
6. (B) ZONING REQUIREMENTS: PER THE CITY OF SAN FRANCISCO PLANNING DEPARTMENT GENERAL PLAN, AS SHOWN ON THE CITY'S ZONING MAP DATED JULY 2011, THE PROPERTY IS LOCATED IN THE PDR-1-O "PRODUCTION DISTRIBUTION & REPAIR - 1 - DESIGN" ZONING DISTRICT. HEIGHT AND BULK DISTRICT IS 58X.

REFERENCE IS MADE HERE TO THE CITY OF SAN FRANCISCO PLANNING CODE, SEC. 21D.9 "PDR-1-D DISTRICT: DESIGN", REGARDING DEVELOPMENT REQUIREMENTS / RIGHTS AND USES, ET. AL.

THE INTENTION OF THIS DISTRICT IS TO RETAIN AND ENCOURAGE EXISTING PRODUCTION, DISTRIBUTION, AND REPAIR ACTIVITIES AND PROMOTE NEW BUSINESS FORMATION. THUS, THIS DISTRICT PROHIBITS RESIDENTIAL AND OFFICE USES AND LIMITS RETAIL AND INSTITUTIONAL USES. ADDITIONALLY, THIS DISTRICT ALLOWS FOR MORE INTENSIVE PRODUCTION, DISTRIBUTION, AND REPAIR ACTIVITIES THAN PDR-1-B AND PDR-1-D BUT LESS INTENSIVE THAN PDR-2. GENERALLY, ALL OTHER USES ARE PERMITTED. IN CONSIDERING ANY NEW LAND USE NOT CONTEMPLATED IN THIS DISTRICT, THE ZONING ADMINISTRATOR SHALL TAKE INTO ACCOUNT THE INTENT OF THIS DISTRICT AS EXPRESSED IN THIS SECTION AND IN THE GENERAL PLAN.

MAXIMUM BUILDING HEIGHT: 58 FEET

8. SUBSTANTIAL, VISIBLE IMPROVEMENTS ARE SHOWN ON SHEETS 3 AND 4 OF THE SURVEY. CONTAINERS LOCATED ON THE SUBJECT PROPERTY ARE MOVEABLE AND/OR TEMPORARY IN NATURE. THERE ARE NO PERMANENT STRUCTURES LOCATED ON THE SITE.
9. THERE ARE 3 REGULAR PARKING SPACES AND 2 HANDICAP PARKING SPACES ON THE SUBJECT PROPERTY.
11. (A) LOCATION OF UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY AS DETERMINED BY OBSERVED EVIDENCE TOGETHER WITH EVIDENCE FROM PLAN OBTAINED FROM UTILITY COMPANIES OR PROVIDED BY CLIENT ARE SHOWN ON SHEET 2 OF THE SURVEY.
13. NAMES OF ADJOINING OWNERS OF PLATTED LANDS ARE SHOWN ON SHEET 2 OF THE SURVEY.
14. DISTANCES TO THE NEAREST INTERSECTING STREET ARE SHOWN ON SHEET 2 OF THE SURVEY.
16. THERE IS NO OBSERVABLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

NOTES

1. EASEMENTS AND/OR RIGHTS OF WAY ARE SHOWN HEREON PER THE PTR. OTHER EASEMENTS AND/OR RIGHTS OF WAY OF RECORD, IF ANY, ARE NOT SHOWN HEREON.
2. DATE OF FIELD SURVEY: SEPTEMBER 12, 13, AND 14, 2011 AS TO THE BOUNDARY AND TOPOGRAPHIC SURVEY OF THE SUBJECT PROPERTY.
3. THE UTILITIES SHOWN HEREON ARE BY SURFACE OBSERVATION AND RECORD INFORMATION ONLY AND NO WARRANTY IS GIVEN HEREIN AS TO THEIR EXACT LOCATION. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR TO VERIFY THE EXACT LOCATION OF THE UTILITIES WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY.
- UTILITY JURISDICTIONS / PROVIDERS ARE AS FOLLOWS:  
STORM DRAINS: CITY AND COUNTY OF SAN FRANCISCO  
SANITARY SEWER: CITY AND COUNTY OF SAN FRANCISCO  
WATER: CITY AND COUNTY OF SAN FRANCISCO  
ELECTRICITY: PACIFIC GAS & ELECTRIC CO.  
NATURAL GAS: PACIFIC GAS & ELECTRIC CO.
4. THE PROPERTY HAS DIRECT VEHICULAR ACCESS TO 7TH STREET, HOOPER STREET, AND CHANNEL STREET THROUGH VARIOUS OPERABLE GATES LOCATED AROUND THE PROPERTY.

RECORD REFERENCES

R1) PARCEL MAP 3835, FILED IN BOOK 47 OF PARCEL MAPS AT PAGES 138-141, OFFICIAL RECORDS.

R2) RECORD OF SURVEY #5741, FILED IN BOOK "CC" OF SURVEY MAPS, PAGE 186, AND RECORDED AUGUST 24, 2009, AS INSTRUMENT NO. 2009-1819557, REEL J962, IMAGE 0092 OF OFFICIAL RECORDS

R3) MONUMENT MAP 311, CITY AND COUNTY OF SAN FRANCISCO, DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, DIVISION OF SURVEYS, INDEX NO. 4019, ORDER NO. 17732M.

R3) MONUMENT MAP 312, CITY AND COUNTY OF SAN FRANCISCO, DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, DIVISION OF SURVEYS, INDEX NO. 3810, ORDER NO. 83-033.

BASIS OF BEARINGS

THIS SURVEY WAS DETERMINED BY FOUND NAILS AND TAGS ON 7TH STREET, CHANNEL STREET, HOOPER STREET, AND 8TH STREET AS SHOWN ON PARCEL MAP 3835, FILED IN BOOK 47 OF PARCEL MAPS, PAGES 138 TO 141, INCLUSIVE, OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO.

BENCHMARK

BENCHMARK AS SHOWN ON CITY OF SAN FRANCISCO BENCHMARK BOX 4, BOOK 492 AT PAGE 1, BEING A CROW CUT IN THE OUTER RIM OF THE STORM WATER INLET, AT THE SOUTHWEST CORNER OF 7TH STREET AND HOOPER STREET. ELEVATION = -0.201 FEET, VERTICAL DATUM: CITY AND COUNTY OF SAN FRANCISCO.

SURVEYOR'S CERTIFICATE

TO: URBANGREEN DEVCO LLC, DIANA SHERMAN PEACOCK, SHELLY SHERMAN BOOKER, THE HARTNETT FAMILY TRUST, EDWARD M. SHERMAN, STUART M. KAPLAN, SCHANDER INC., CHERIE D. WALKER AND CHARLES U. WALKER, DOUGLAS MOODY, LEDLIE, INC., WATSON--WEST FAMILY PARTNERSHIP AND ITS SUCCESSORS AND/OR ASSIGNS; AND CHICAGO TITLE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2011, AND INCLUDES ITEMS 2, 3, 4, 5, 6(B), 8, 9, 11(A), 13, 14 AND 16 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA, RELATIVE POSITIONAL ACCURACY OF THE SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

*Paul Canumay*  
PAUL CANUMAY  
LICENSE EXPIRES: 06/30/2012  
FOR LUK & ASSOCIATES, INC.

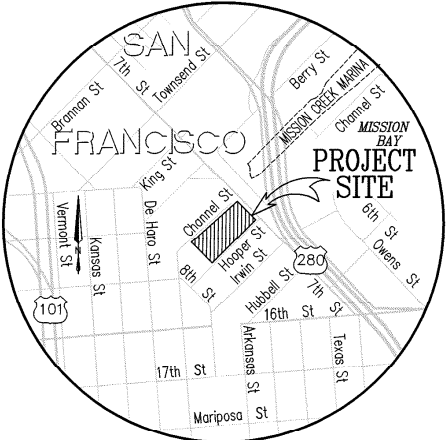
DATE: SEPTEMBER 20, 2011

ALTA/ACSM LAND TITLE SURVEY

PAUL CANUMAY  
No. FLS 3272  
Exp. 6-30-12  
STATE OF CALIFORNIA

SHEET INDEX

SHEET	DESCRIPTION
1	TITLE SHEET AND NOTES
2	BOUNDARY SURVEY
3	TOPOGRAPHIC SURVEY
4	TOPOGRAPHIC SURVEY



VICINITY MAP  
NOT TO SCALE

ALTA/ACSM LAND TITLE SURVEY  
FOR

URBANGREEN DEVCO, LLC

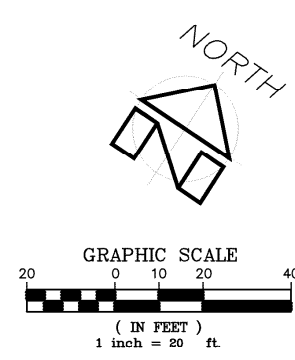
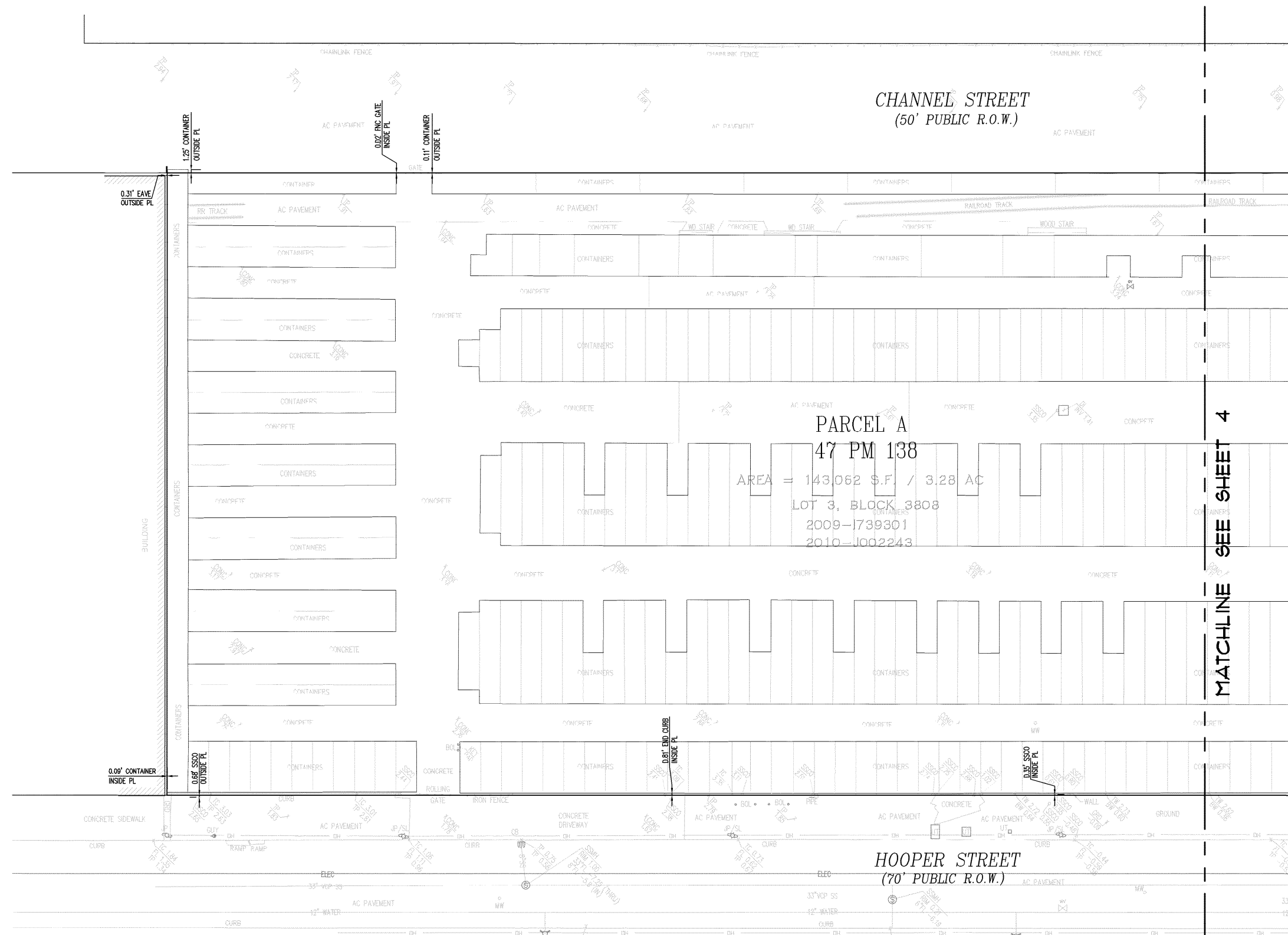
BEING PARCELS A (LOT 3) OF PARCEL MAP 3835, FILED JULY 7, 2008, IN BOOK 47 OF PARCEL MAPS, PAGES 138 THROUGH 141, INCLUSIVE, SAN FRANCISCO COUNTY RECORDS  
ALSO BEING A PORTION OF SOUTH BEACH BLOCK NO. 39  
ASSESSOR'S BLOCK 3808, LOT 003

CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA  
SEPTEMBER 2011

PREPARED BY  
LUK AND ASSOCIATES  
CIVIL ENGINEER - LAND PLANNERS - LAND SURVEYORS  
738 ALFRED NOBEL DRIVE  
HERCULES, CALIFORNIA 94547  
(510) 724-3388







PARCEL A  
 47 PM 138  
 AREA = 143,062 S.F. / 3.28 AC  
 LOT 3, BLOCK 3808  
 2009-1739301  
 2010-1002243

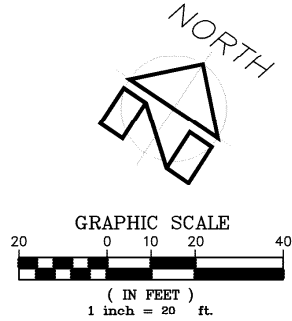
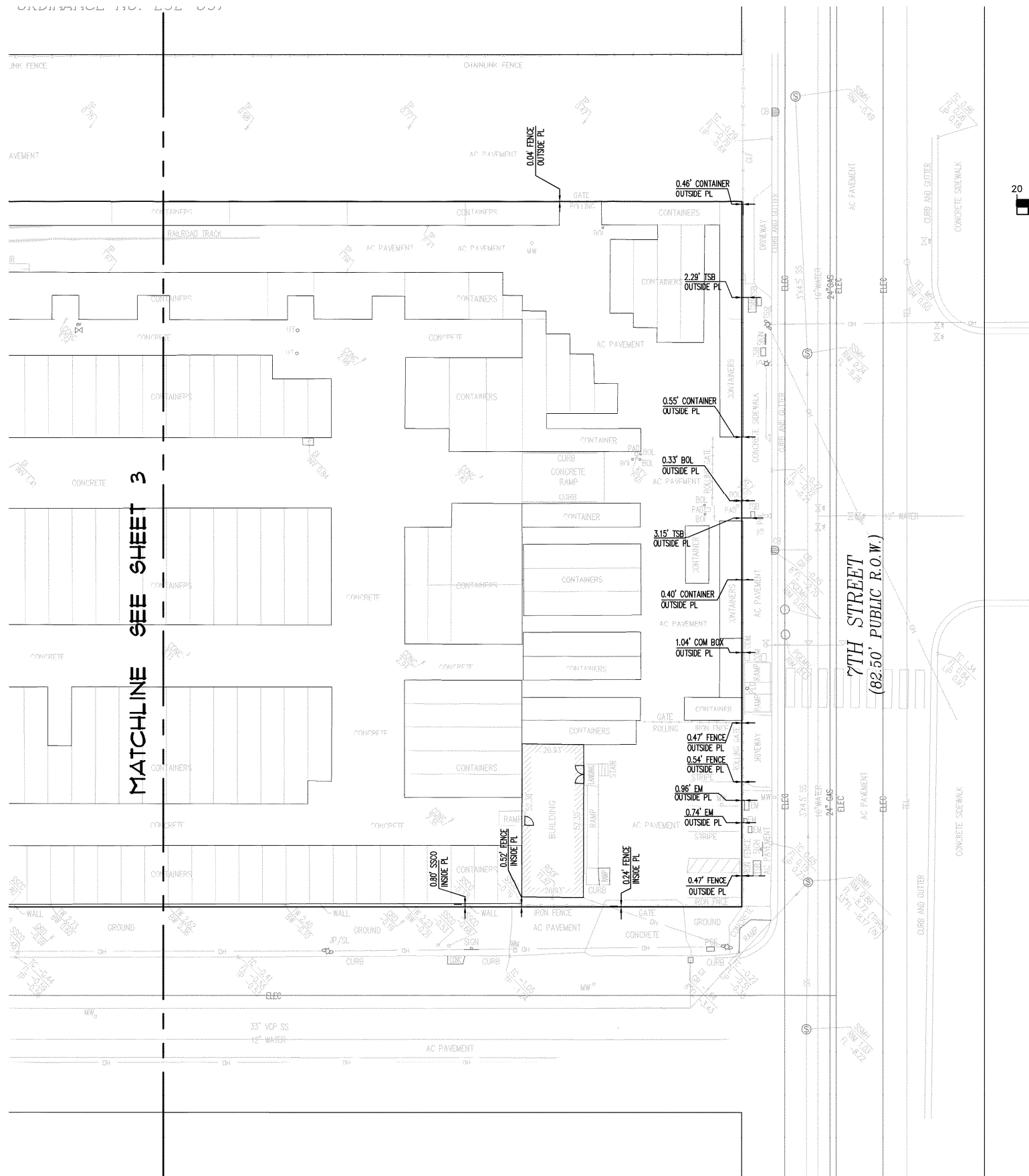
**NOTE**  
 SEE LEGEND ON SHEET 4

## ALTA/ACSM LAND TITLE SURVEY

FOR  
 URBANGREEN DEVCO, LLC  
 BEING PARCELS A (LOT 3) OF PARCEL MAP 3835, FILED JULY 7, 2008, IN  
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CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA  
 SEPTEMBER 2011

PREPARED BY  
**LUK AND ASSOCIATES**  
 CIVIL ENGINEER — LAND PLANNERS — LAND SURVEYORS  
 738 ALFRED NOBEL DRIVE  
 HERCULES, CALIFORNIA 94547  
 (510) 724-3388



## LEGEND

### SYMBOLS

### DESCRIPTION

BOUNDARY - SUBJECT PROPERTY	AC	ASPHALT CONCRETE
RIGHT-OF-WAY LINE	FF	FINISH FLOOR
INTERIOR PROPERTY LINE	BLDG	BUILDING
ADJOINERS PROPERTY LINE	BSW	BACK OF SIDEWALK
MONUMENT LINE	EW	EDGE OF WALK
CENTERLINE	CONC	CONCRETE
BUILDING LINE	GB	GRADE BREAK
OVERHANG LINE	COMM	COMMUNICATION BOX
ELECTROLIER	WD FNC	WOOD FENCE
FOUND MONUMENT AS NOTED	EM	ELECTRIC METER
FIRE HYDRANT	EB	ELECTRIC BOX
CATCH BASIN	GUY	GUY POLE
AREA DRAIN	BFP	BACK FLOW PREVENTOR
WATER VALVE	GNV	GROUND
WATER METER	GAR	GARAGE
STORM DRAIN MANHOLE	DI	DRAIN INLET
SANITARY SEWER CLEANOUT	HC	HANDICAP
SANITARY SEWER MANHOLE	COL	COLUMN
TELEPHONE BOX	MB	MAILBOX
PACIFIC GAS & ELECTRIC BOX	PLTR	PLANTER
TREE	STRP	STRIP
POWER POLE	TRWL	TREEWELL
CABLE TELEVISION BOX	TE	TRASH ENCLOSURE
UTILITY BOX	TFC	TOP FACE OF CURB
ROOF DRAIN	FW	FACE OF WALL
4" BOLLARD	HDR	HEADER
WATER METER	HR	HANDRAIL
GAS METER	DWY	DRIVEWAY
GAS VALVE	EVG	EDGE OF VALLEY GUTTER
IRON FENCE	BGN	BEGIN
CHAINLINK FENCE	POC	POINT OF CURVE
RAIL ROAD TRACK	FDC	FIRE DEPARTMENT CONNECTOR
SIGN	FWR	FIRE WATER RISER
CONCRETE ELEVATION	BFW	BACK FACE OF WALL
GROUND ELEVATION	MW	MONITORING WELL
TOP OF PAVEMENT ELEVATION		
TOP OF CURB ELEVATION		
BACK OF WALK ELEVATION		
FLOW LINE ELEVATION		
GRATE ELEVATION		
JOINT POLE		
TRAFFIC SIGNAL		
TRAFFIC SIGNAL BOX		
STREET LIGHT		
STREET LIGHT BOX		
MONUMENT TO MONUMENT		
RADIAL BEARING		
OFFICIAL RECORDS		
TOTAL		
POINT OF BEGINNING		
TITLE EXCEPTION REFERENCE		

## ALTA/ACSM LAND TITLE SURVEY

FOR

URBANGREEN DEVCO, LLC

BEING PARCELS A (LOT 3) OF PARCEL MAP 3835, FILED JULY 7, 2008, IN  
BOOK 47 OF PARCEL MAPS, PAGES 138 THROUGH 141, INCLUSIVE, SAN  
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ALSO BEING A PORTION OF SOUTH BEACH BLOCK NO. 39  
ASSESSOR'S BLOCK 3808, LOT 003

CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA  
SEPTEMBER 2011

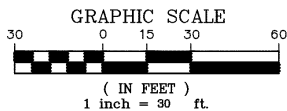
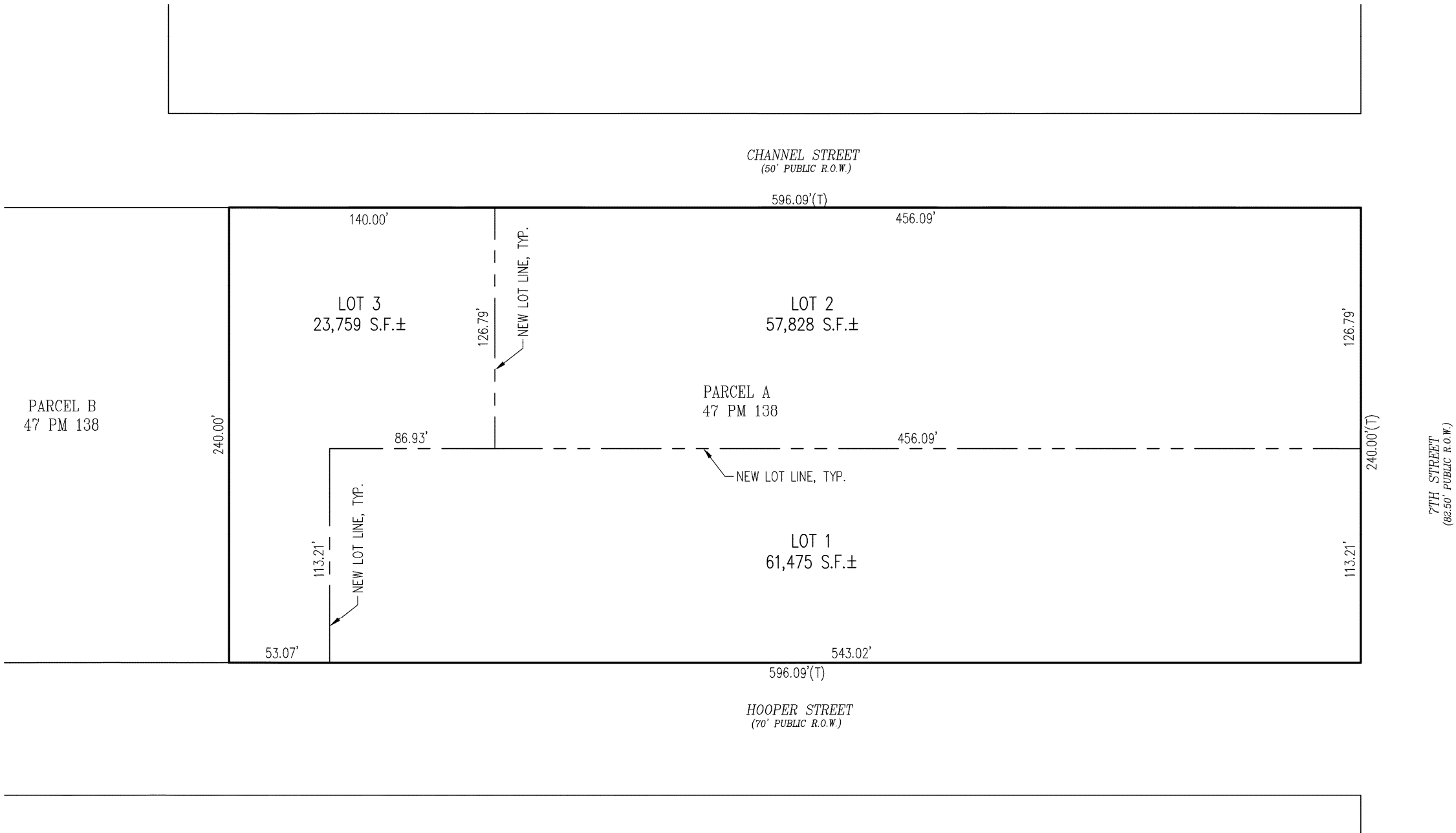
PREPARED BY

LUK AND ASSOCIATES

CIVIL ENGINEER - LAND PLANNERS - LAND SURVEYORS  
738 ALFRED NOBEL DRIVE  
HERCULES, CALIFORNIA 94547  
(510) 724-3388

XREF:

SNAP SHOT:



SYMBOLS	DESCRIPTION
	EXTERIOR BOUNDARY OF SUBJECT PROPERTY
	RIGHT-OF-WAY LINE
	NEW LOT LINE

98 Jack London Alley San Francisco CA 94107  
415 908 6408 pfaulong.com

ARCHITECTURE

**Luk and Associates**  
Civil Engineering  
Land Planning  
Land Surveying  
738 Alfred Nobel Drive  
Hercules, CA 94547  
Phone (510) 724-3388  
Fax (510) 724-3383  
email: aluk@lukassociates.com

**100 HOOPER STREET**  
SAN FRANCISCO, CA 94107

No.	Date	Issues + Revisions
	01/18/2013	ENTITLEMENT APPLICATION
	02/07/2014	ENTITLEMENT APPLICATION REVISION
	07/16/2014	TIS COMMENT RESPONSE
1	09/26/2014	DRAFT PLANNING COMMISSION ENTITLEMENT SET

Project Name: 100 HOOPER STREET

Project Number: 21114

Sheet Name: PROPOSED LOT LINES

Job No.: 11065A10  
Drawn By: D.A.D. Checked By: J.L.

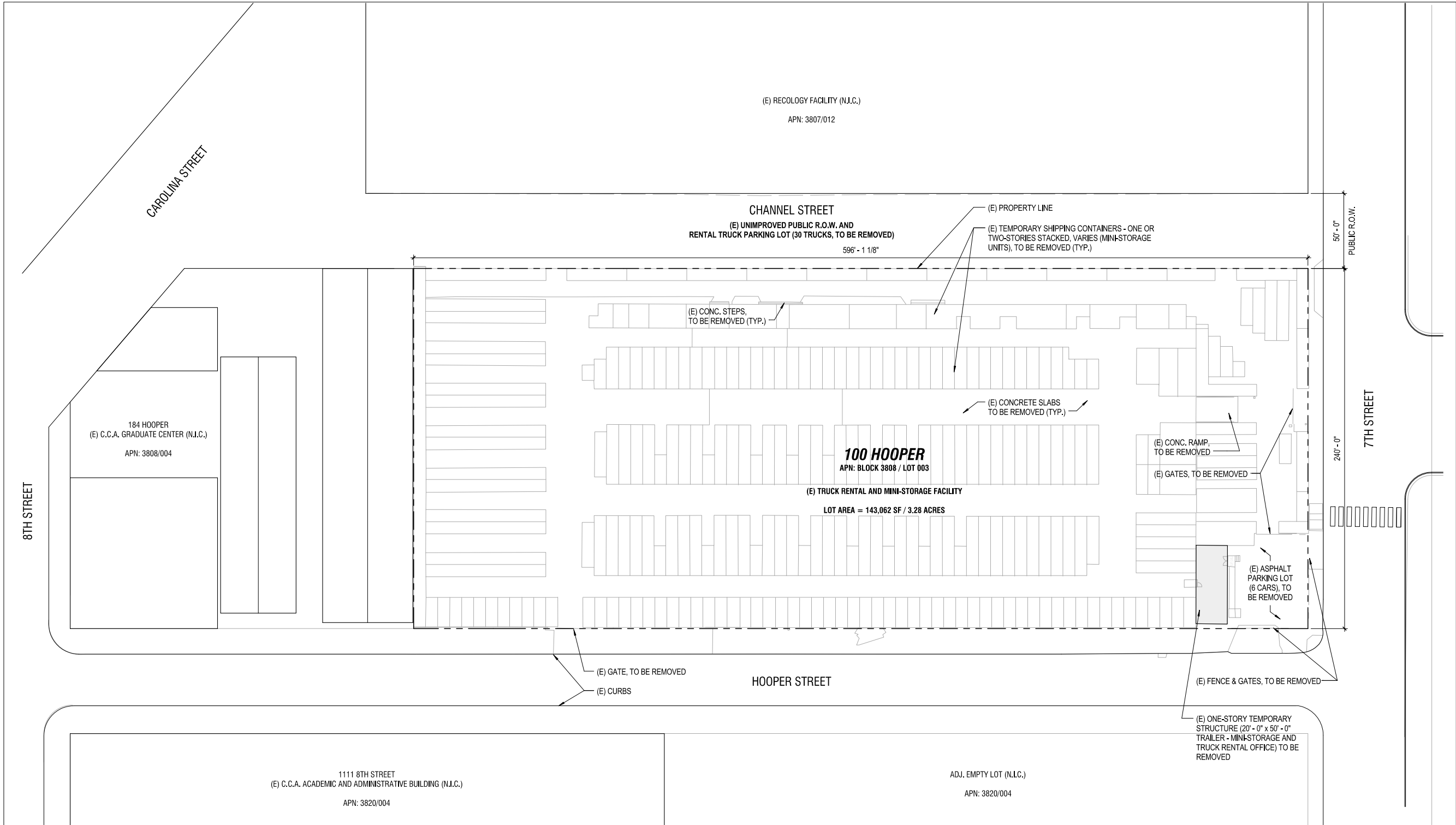
PROJECT NORTH  
TRUE NORTH

SEPTEMBER 2014

S-1

Scale: 1" = 30'  
All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used or disclosed without written consent of the architect.  
Plot Date: SEPTEMBER 26, 2014

PRELIMINARY - NOT FOR CONSTRUCTION



SITE PLAN - EXISTING 1  
1/32" = 1'-0"

GENERAL NOTES

1. REF. A0.01 FOR ADDITIONAL INFORMATION
2. S.C.D. FOR ADDITIONAL EXISTING SITE INFORMATION, INCLUDING LOCATION OF UTILITIES
3. ALL TRUCK RENTAL AND MINI-STORAGE FACILITIES AND EQUIPMENT, INCLUDING GATES AND FENCING ARE TEMPORARY IN NATURE AND WILL BE REMOVED BY MINI-STORAGE COMPANY UPON TERMINATION OF THEIR LEASE OF THE LOT. THE LOT WILL THEREFORE BE VACANT, AND THE ONLY DEMOLITION REQUIRED BY THE PROJECT SPONSOR WILL BE THE REMOVAL OF EXISTING CONCRETE AND ASPHALT SURFACES.

SHEET NOTES

<b>EXISTING AREA:</b> (TEMPORARY STRUCTURES)	TEMPORARY OFFICE	1,000 SF
	TEMPORARY STORAGE CONTAINERS	85,532 SF
	<b>TOTAL</b>	<b>86,532 SF</b>
<b>FLOOR AREA RATIO:</b> SFPC TABLE 124	<b>EXISTING</b>	0
	(NO PERMANENT STRUCTURES)	

LEGEND

- (N) = NEW / PROPOSED
- (E) = EXISTING
- PROPERTY LINE

PRELIMINARY - NOT FOR CONSTRUCTION

100 HOOPER STREET  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
ARCHITECTURAL SITE PLAN  
- EXISTING CONDITIONS

Ref. North

PROJECT NORTH

TRUE NORTH

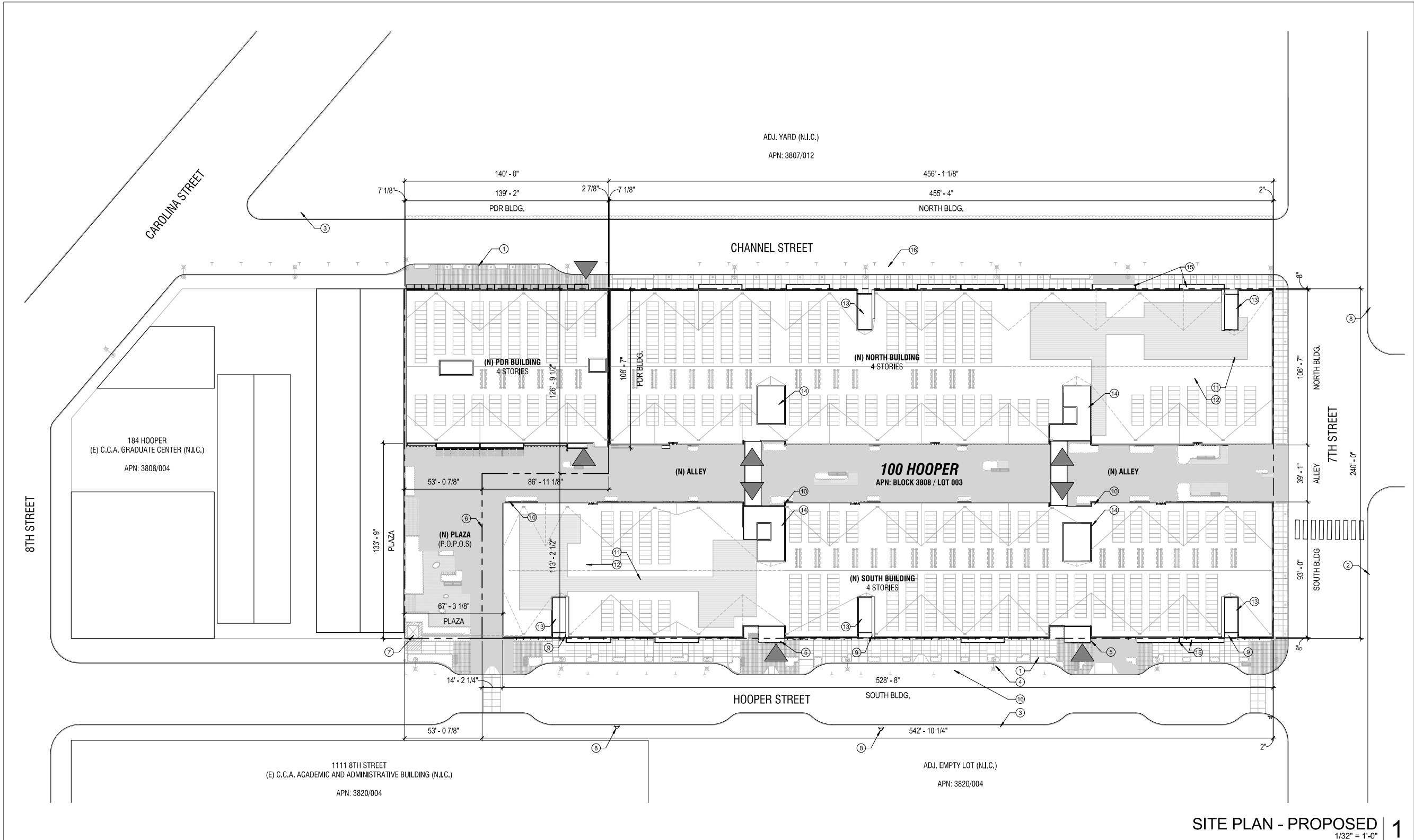
Scale

Date

01/22/2015

A1.01

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100 HOOPER STREET  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
ARCHITECTURAL SITE PLAN  
- PROPOSED CONDITIONS

Ref. North PROJECT NORTH TRUE NORTH Date  
01/22/2015

Scale  
A1.02  
All drawings and written material appearing herein  
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without written consent of the architect.

PRELIMINARY - NOT FOR CONSTRUCTION

GENERAL NOTES

SHEET NOTES

NOTE NO.	COMMENT
1	(N) SIDEWALK & CURB, S.C.D.
2	(E) SIDEWALK & CURB
3	(N) FUTURE SIDEWALK & CURB (N.I.C.)
4	(N) STREET LIGHT FIXTURE, S.C.D.
5	(N) ENTRY CANOPY BELOW
6	(N) PROPOSED PROPERTY LINES, S.C.D.
7	(N) PDR BUILDING TRANSFORMER, S.C.D.
8	(E) FIRE HYDRANT, S.C.D., TYP.
9	(N) FIRE DEPARTMENT CONNECTION
10	(N) EXTERIOR STANDPIPE
11	(N) FUTURE ROOF DECK (N.I.C.)
12	(N) FUTURE GREEN ROOF (N.I.C.)
13	(N) STAIR PENTHOUSE
14	(N) STAIR & ELEVATOR PENTHOUSE
15	(N) BALCONIES BELOW
16	(N) STREET PARKING, REF A1.03, STREET ACCESS AND PARKING PLAN

LEGEND

(N) = NEW / PROPOSED
(E) = EXISTING
--- PROPERTY LINE
▲ LOCATION OF BUILDING ENTRY
① → SHEET NOTE



100 HOOPER STREET  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

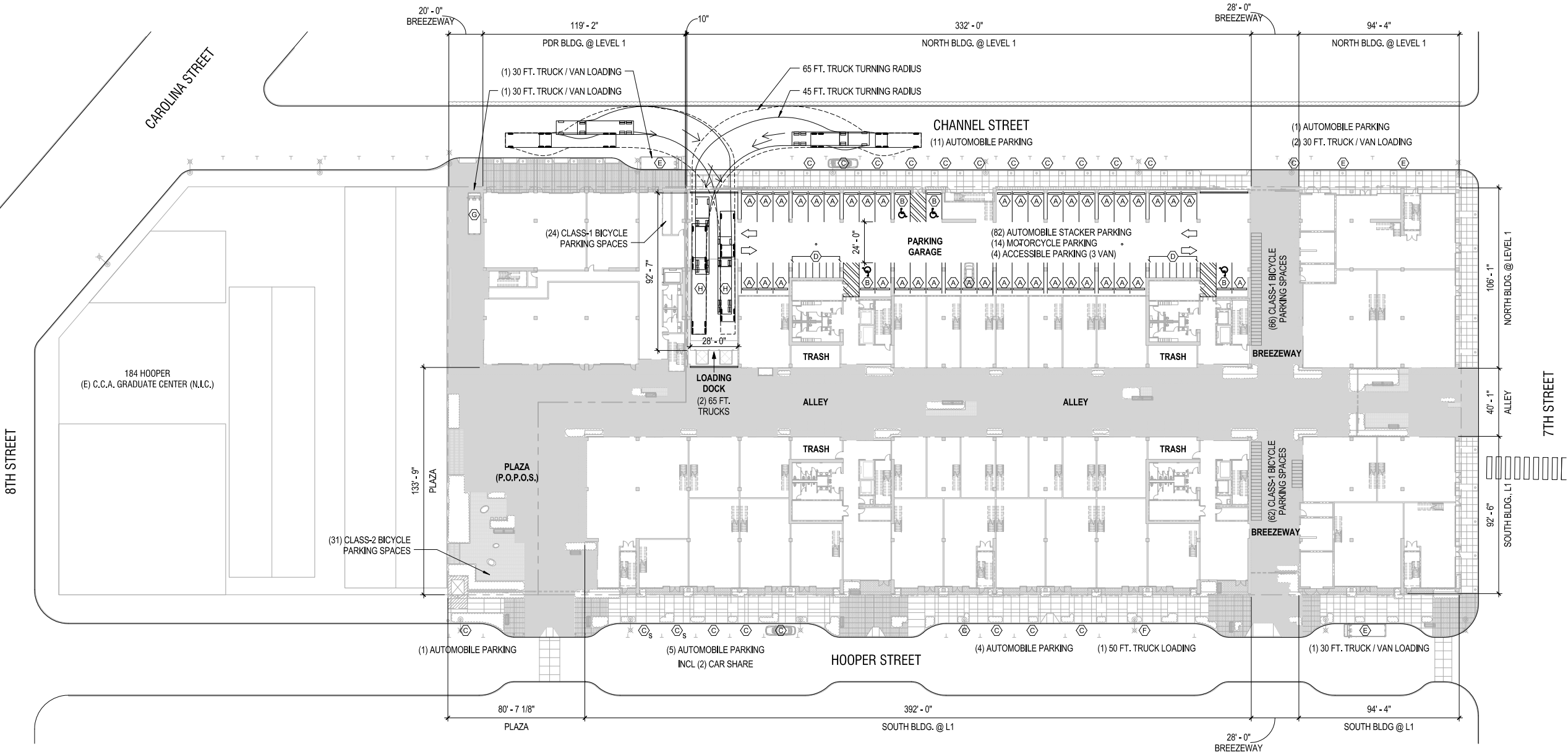
Project Number  
21114

Sheet Name  
SITE ACCESS AND PARKING  
PLAN

Ref. North PROJECT NORTH TRUE NORTH  
Date  
01/22/2015

Scale  
A1.03  
All drawings and written material appearing herein  
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PRELIMINARY - NOT FOR CONSTRUCTION



SITE ACCESS AND PARKING PLAN | 1  
1/32" = 1'-0"

GENERAL NOTES

SHEET NOTES

LEGEND

PARKING SPACE TYPES AND MINIMUM SIZES

QUANTITY

(A) OFF-STREET AUTOMOBILE (STACKERS)

9' - 0" W x 18' - 0" L

82

(B) OFF-STREET ADA ACCESSIBLE

9' - 0" W x 18' - 0" L & 8' - 0" WIDE ACCESS AISLE

4

INCL. 3 VAN

(C) ON-STREET AUTOMOBILE

8' - 0" W x 20' - 0" L

20

(C<sub>s</sub>) ON-STREET AUTOMOBILE - CAR SHARE DESIGNATED

8' - 0" W x 20' - 0" L

2

(D) OFF-STREET MOTORCYCLE

4' - 0" W x 8' - 9" L

14

TOTAL OFF-STREET PARKING

100

TOTAL ON-STREET PARKING

22

LOADING SPACE TYPES AND MINIMUM SIZES

QUANTITY

(E) ON-STREET TRUCK / VAN

8' - 0" W x 36' - 0" L (up to 30' TRUCK / VAN)

4

(F) ON-STREET TRUCK

8' - 0" W x 56' - 0" L (up to 50' TRUCK)

1

(G) OFF-STREET TRUCK / VAN

8' - 0" W x 36' - 0" L (up to 30' TRUCK / VAN)

14'-8" VERTICAL CLEARANCE

1

(H) OFF-STREET TRUCK / VAN

14' - 0" W x 92' - 7" L (up to 65' TRUCK)

18'-0" VERTICAL CLEARANCE

2

TOTAL ON-STREET LOADING

5

TOTAL OFF-STREET LOADING

3





From the 'Alley'  
Looking Towards the Plaza



Hooper Street Sidewalk



## COLOR AND FINISH SCHEDULE

**VEHICULAR CONCRETE PAVING**  
Type 1 Integral color concrete with Graphite Iron Oxide Color  
Type 2 Integral color concrete, color to match Warm Grey Permeable Paver  
\*All colors to be by Davis colors

**PEDESTRIAN CONCRETE PAVING**  
Type 1 Natural grey color concrete with light broom finish. Sweep perpendicular to path of travel.  
Type 2 Integral color concrete with Graphite Iron Oxide Color  
\*All colors to be by Davis colors

**VEHICULAR ACCENT PAVING**  
Type 1 6x12" 80mm Permeable Paver, Color - Charcoal Blend  
Type 2 6x12" 80mm Permeable Paver, Color - Medium Grey  
Type 3 6x12" 80mm Permeable Paver, Color - Dark Grey  
Type 4 6x12" 80mm Permeable Paver, Color - Warm Grey

**PLANTER WALL**  
Galvanized Steel and CMU Precision Block

**TRASH RECEPTACLES**  
Trash Receptacle Custom design 3 stream waste receptacles by EcoPop Designs, Pacifica, California. 650-728-9220. Design to match the Emeryville Public Market containers shown on imagery sheet. Contractor to submit sample to Landscape Architect for approval prior to fabrication. Contractor to provide unit price. Quantity to be 5.

**LIGHTING FIXTURES**  
Suspended Luminaire: See Electrical Drawings. Fixture to be Industrial style downlight with LED source suspended from cable in a continuous electrical circuit.

**METAL GRATING OVER PLANTING**  
Plain Steel Rectangular Bar Press-Locked Close Mesh Grating #GCM-2(8P4), by McNichols, (800-237-3820). Install for Vehicular Weight Use.

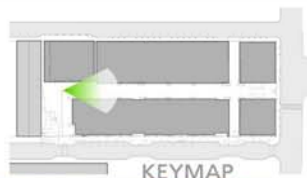
**BENCHES**  
Model: Bancal, 88" length with back and arms and 168" length with partial back and arms, lpe wood, by Landscape Forms, (800-430-6206 x1313).

**METAL MESH SEATS**  
Model: Radium LR110, with Steel Mesh Seat, by mmcite, (510-470-1673).

**BOLLARDS**  
Custom repurposed, onsite railroad rail bollard.

**BIKE RACKS**  
Model: Welle Spiral Rack - Inground WSR10-IG, Steel, by Bikeparking.com, (415-333-6428).

From the Plaza  
Looking Down the 'Alley'



From 7th Street  
Looking Down the 'Alley'



## SHEET INDEX

L1.1	Perspectives and General Notes
L2.1	Landscape Plan - West
L2.2	Landscape Plan - East
L3.1	Conceptual Planting Diagram - West
L3.2	Conceptual Planting Diagram - East
L4.1	Landscape Imagery

**100 HOOPER STREET**  
SAN FRANCISCO, CA 94107



No.	Date	Issues / Revisions
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	07/16/2014	TIS COMMENT RESPONSE
1	09/26/2014	DRAFT PLANNING COMMISSION ENTITLEMENT SET
2	12/09/2014	REVISED PLANNING COMMISSION ENTITLEMENT SET

Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
PERSPECTIVES AND GENERAL NOTES

Proj. North  
PROJECT NORTH  
TRUE NORTH  
Date  
12/09/2014

Scale  
1/16" = 1'

0 8 16 32

PRELIMINARY - NOT FOR CONSTRUCTION



**L1.1**



Project Name  
100 HOOPER STREET

Project Number  
21114

Street Name  
LANDSCAPE PLAN - WEST

Ref North	Date
	12/09/2014 <h1>L2.1</h1>
Scale 	All drawings and written material appearing herein constitute original and unpublished work of the architect and may be duplicated, used or disclosed without written consent of the architect.







100 HOOPER STREET  
SAN FRANCISCO, CA 94107

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4	12/30/2014	REVISED PLANNING COMMISSION ENTITLEMENT SET

Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
LANDSCAPE PLAN - EAST





100 HOOPER STREET  
SAN FRANCISCO, CA 94107



No.	Date	Notes / Revisions
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2	12/09/2014	REVISED PLANNING COMMISSION ENTITLEMENT SET

Project Name	100 HOOPER STREET
Project Number	21114
Sheet Name	CONCEPTUAL PLANTING DIAGRAM - WEST





## Legend

- 1 Gallon Shrubs @ 18" O.C.
- 5 Gallon Shrubs @ 24" O.C.
- 15 Gallon Shrubs @ 36" O.C.

PFAU GNO1

THE GUZZARDO PARTNERSHIP INC.  
Landscape Architects - Land Planners  
181 Greenwich Street  
San Francisco, CA 94111  
T 415 433 4672  
F 415 433 5003

100 HOOPER STREET  
SAN FRANCISCO, CA 94107



No.	Date	Notes / Revisions
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Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
CONCEPTUAL PLANTING DIAGRAM - EAST

Ref. North  
PROJECT NORTH  
TRUE NORTH  
Date  
12/09/2014

Scale  
1/16" = 1'

0 8 16 32  
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PRELIMINARY - NOT FOR CONSTRUCTION

L3.2





PFAU GN01

THE GUZZARDO PARTNERSHIP INC.  
Landscape Architects - Land Planners  
181 Greenwich Street  
San Francisco, CA 94111  
T 415 433 4672  
F 415 433 5003

100 HOOPER STREET  
SAN FRANCISCO, CA 94107



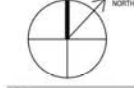
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Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
LANDSCAPE IMAGERY

Date  
12/09/2014



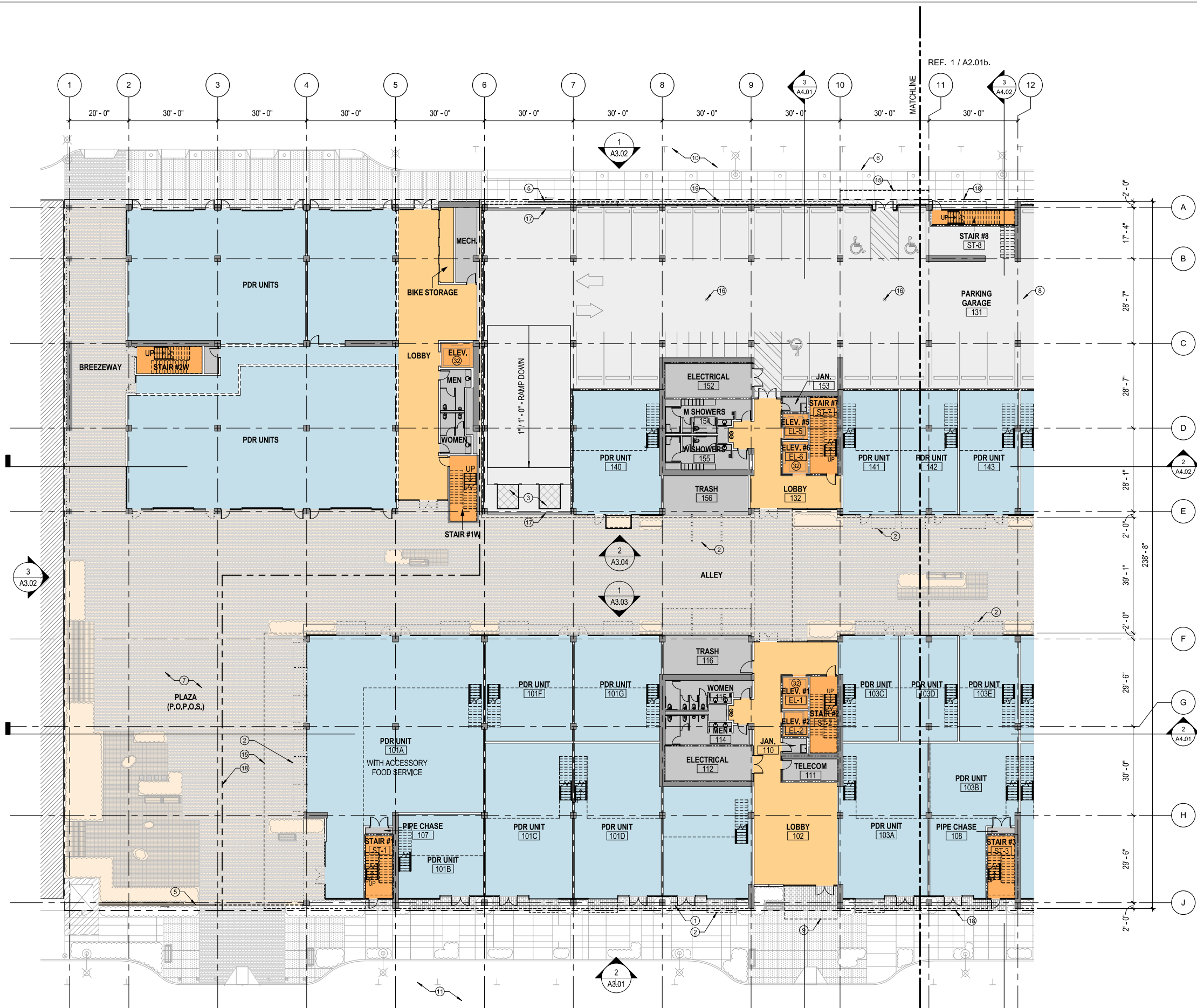
L4.1

Scale  
1/16" = 1'

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PRELIMINARY - NOT FOR CONSTRUCTION





FLOOR PLAN - LEVEL 1 - WEST 1  
1/16" = 1'-0"

GENERAL NOTES

1. PDR UNIT AND MEZZANINE LAYOUT AS SHOWN SUBJECT TO CHANGE PER FUTURE TENANT IMPROVEMENT REQUIREMENTS

SHEET NOTES

NOTE NO.	NOTE
1	CANOPY ABOVE, SHOWN DASHED
2	ROLL/FOLD-UP DOOR, OVERHEAD
3	TRUCK LOADING DOCK W/ DOCK LEVELERS
4	BIKE PARKING
5	PTD. MTL. SLIDING GATE
6	NEW LINE OF CURB, SEE CIVIL
7	LANDSCAPE ELEMENTS, SEE LANDSCAPE
8	EXPANSION JOINT COVER
9	PTD. MTL. CANOPY, OVERHEAD
10	NEW STREET PARKING, SEE CIVIL
11	STREET IMPROVEMENTS, SEE CIVIL
12	DOMESTIC WATER BFP
13	IRRIGATION BFP
14	GAS METER
15	LINE OF BLDG, OVERHEAD
16	AREA DRAIN
17	TRENCH DRAIN
18	PROPERTY LINE, TYP. SEE CIVIL
19	GREEN WALL, SEE LANDSCAPE
20	PTD. STL. BRIDGE
21	PTD. MTL. CANOPY, BELOW
22	TENANT BALCONY, OVERHEAD
23	ROOF DRAIN & OVERFLOW DRAIN
24	FLAT ROOF, SLOPE TO DRAIN AS NOTED, 1/4" PER FT. MIN.
25	ELEVATOR PENTHOUSE (NO STOP THIS LEVEL)
26	CONC. CURB RAIL TO SUPPORT ROOFTOP CONDENSING UNITS
27	SOLAR PANEL, TYP.
28	ROOF OF BRIDGE BELOW
29	CONC. PARAPET WALL
30	FUTURE ROOF DECK, N.I.C.
31	FUTURE GREEN ROOF, N.I.C.
32	FREIGHT/PASSENGER ELEVATOR (SFPC 219.1)

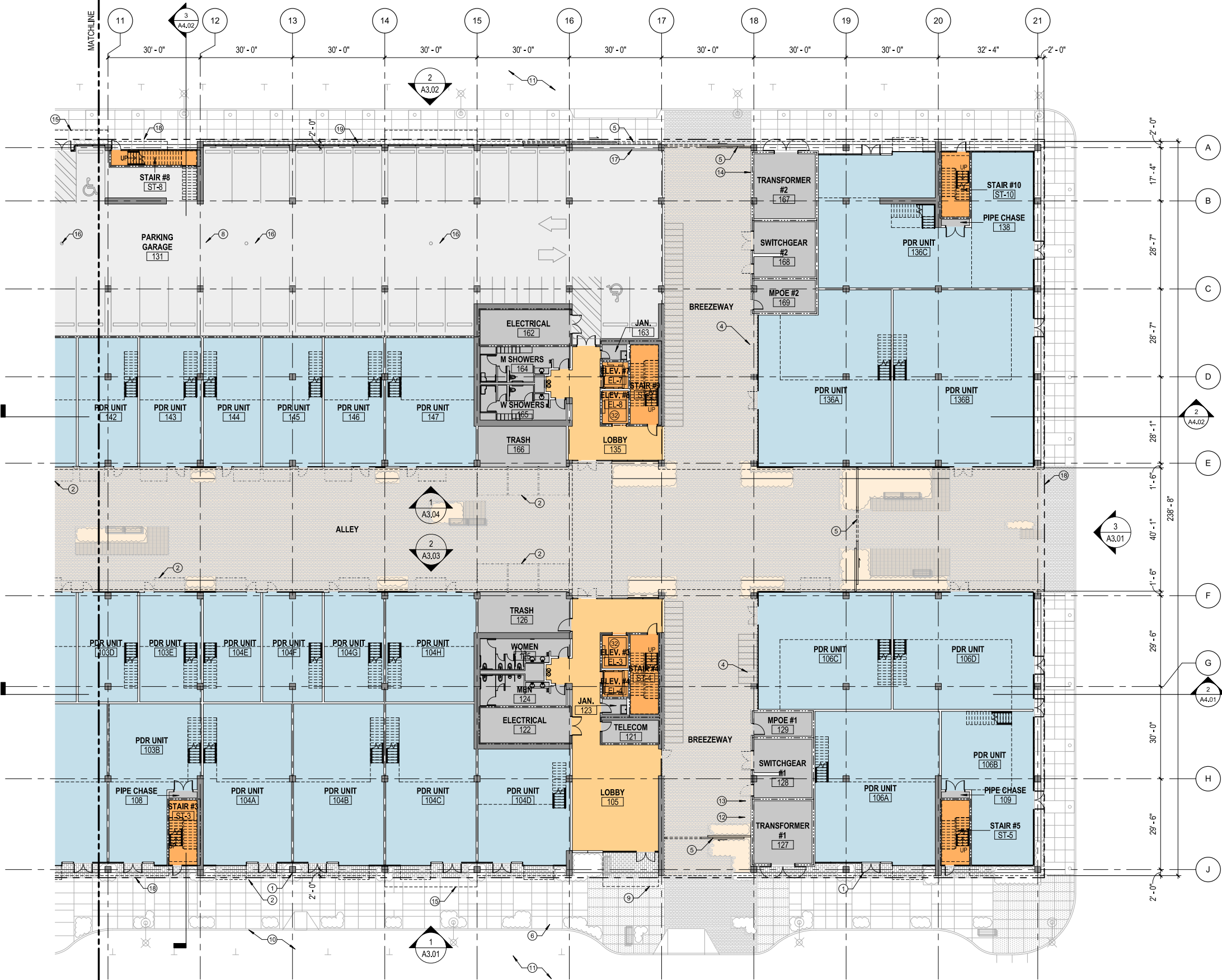
- SHARED OUTDOOR SPACE
- SHARED TENANT SPACE
- VERTICAL CIRCULATION
- PDR UNITS
- COMMERCIAL TENANT SPACE
- FUTURE ROOF PLANTING AREAS (N.I.C.)
- PARKING
- BUILDING SERVICE SPACES

LEGEND

- (E) ADJACENT BUILDING
- CONCRETE SHEAR WALL
- TYP. FRAMED PARTITION WALL
- 1-HR RATED CONSTRUCTION
- 2-HR RATED CONSTRUCTION
- 3-HR RATED CONSTRUCTION
- TYP. CONCRETE COLUMN
- CONC. COLUMN W/ PLUMBING STACK
- CONC. COLUMN W/ REFRIGERANT STACK

PRELIMINARY - NOT FOR CONSTRUCTION

REF. 1 / A2.01a.



FLOOR PLAN - LEVEL 1 - EAST

1/16" = 1'-0"

1

GENERAL NOTES

1. PDR UNIT AND MEZZANINE LAYOUT AS SHOWN SUBJECT TO CHANGE PER FUTURE TENANT IMPROVEMENT REQUIREMENTS

SHEET NOTES

- | NOTE NO. | NOTE  |
|----------|---|
| 1        | CANOPY ABOVE, SHOWN DASHED                            |
| 2        | ROLL/FOLD-UP DOOR, OVERHEAD                           |
| 3        | TRUCK LOADING DOCK W/ DOCK LEVELERS                   |
| 4        | BIKE PARKING  |
| 5        | PTD. MTL. SLIDING GATE                                |
| 6        | NEW LINE OF CURB, SEE CIVIL                           |
| 7        | LANDSCAPE ELEMENTS, SEE LANDSCAPE                     |
| 8        | EXPANSION JOINT COVER                                 |
| 9        | PTD. MTL. CANOPY, OVERHEAD                            |
| 10       | NEW STREET PARKING, SEE CIVIL                         |
| 11       | STREET IMPROVEMENTS, SEE CIVIL                        |
| 12       | DOMESTIC WATER BFP                                    |
| 13       | IRRIGATION BFP  |
| 14       | GAS METER   |
| 15       | LINE OF BLDG, OVERHEAD                                |
| 16       | AREA DRAIN  |
| 17       | TRENCH DRAIN  |
| 18       | PROPERTY LINE, TYP. SEE CIVIL                         |
| 19       | GREEN WALL, SEE LANDSCAPE                             |
| 20       | PTD. STL. BRIDGE                                      |
| 21       | PTD. MTL. CANOPY, BELOW                               |
| 22       | TENANT BALCONY, OVERHEAD                              |
| 23       | ROOF DRAIN & OVERFLOW DRAIN                           |
| 24       | FLAT ROOF, SLOPE TO DRAIN AS NOTED, 1/4" PER FT. MIN. |
| 25       | ELEVATOR PENTHOUSE (NO STOP THIS LEVEL)               |
| 26       | CONC. CURB RAIL TO SUPPORT ROOFTOP CONDENSING UNITS   |
| 27       | SOLAR PANEL, TYP.                                     |
| 28       | ROOF OF BRIDGE BELOW                                  |
| 29       | CONC. PARAPET WALL                                    |
| 30       | FUTURE ROOF DECK, N.I.C.                              |
| 31       | FUTURE GREEN ROOF, N.I.C.                             |
| 32       | FREIGHT/PASSENGER ELEVATOR (SFPC 219.1)               |

- SHARED OUTDOOR SPACE
- SHARED TENANT SPACE
- VERTICAL CIRCULATION
- PDR UNITS
- COMMERCIAL TENANT SPACE
- FUTURE ROOF PLANTING AREAS (N.I.C.)
- PARKING
- BUILDING SERVICE SPACES

LEGEND

- (E) ADJACENT BUILDING
- CONCRETE SHEAR WALL
- TYP. FRAMED PARTITION WALL
- 1-HR RATED CONSTRUCTION
- 2-HR RATED CONSTRUCTION
- 3-HR RATED CONSTRUCTION
- TYP. CONCRETE COLUMN
- CONC. COLUMN W/ PLUMBING STACK
- CONC. COLUMN W/ REFRIGERANT STACK

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SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
FLOOR PLAN - LEVEL 1 - EAST

Ref. North  
PROJECT NORTH  
TRUE NORTH  
Date  
01/22/2015



A2.01b.

PRELIMINARY - NOT FOR CONSTRUCTION

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Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
FLOOR PLAN - MEZZANINE -  
WEST

Ref. North PROJECT NORTH TRUE NORTH  
Date 01/22/2015

A2.01Ma.

PRELIMINARY - NOT FOR CONSTRUCTION

GENERAL NOTES

1. PDR UNIT AND MEZZANINE LAYOUT AS SHOWN  
SUBJECT TO CHANGE PER FUTURE TENANT  
IMPROVEMENT REQUIREMENTS

SHEET NOTES

- | NOTE NO. | NOTE   |
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| 1        | CANOPY ABOVE, SHOWN DASHED                               |
| 2        | ROLL/FOLD-UP DOOR, OVERHEAD                              |
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| 4        | BIKE PARKING   |
| 5        | PTD. MTL. SLIDING GATE                                   |
| 6        | NEW LINE OF CURB, SEE CIVIL                              |
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- BUILDING SERVICE SPACES

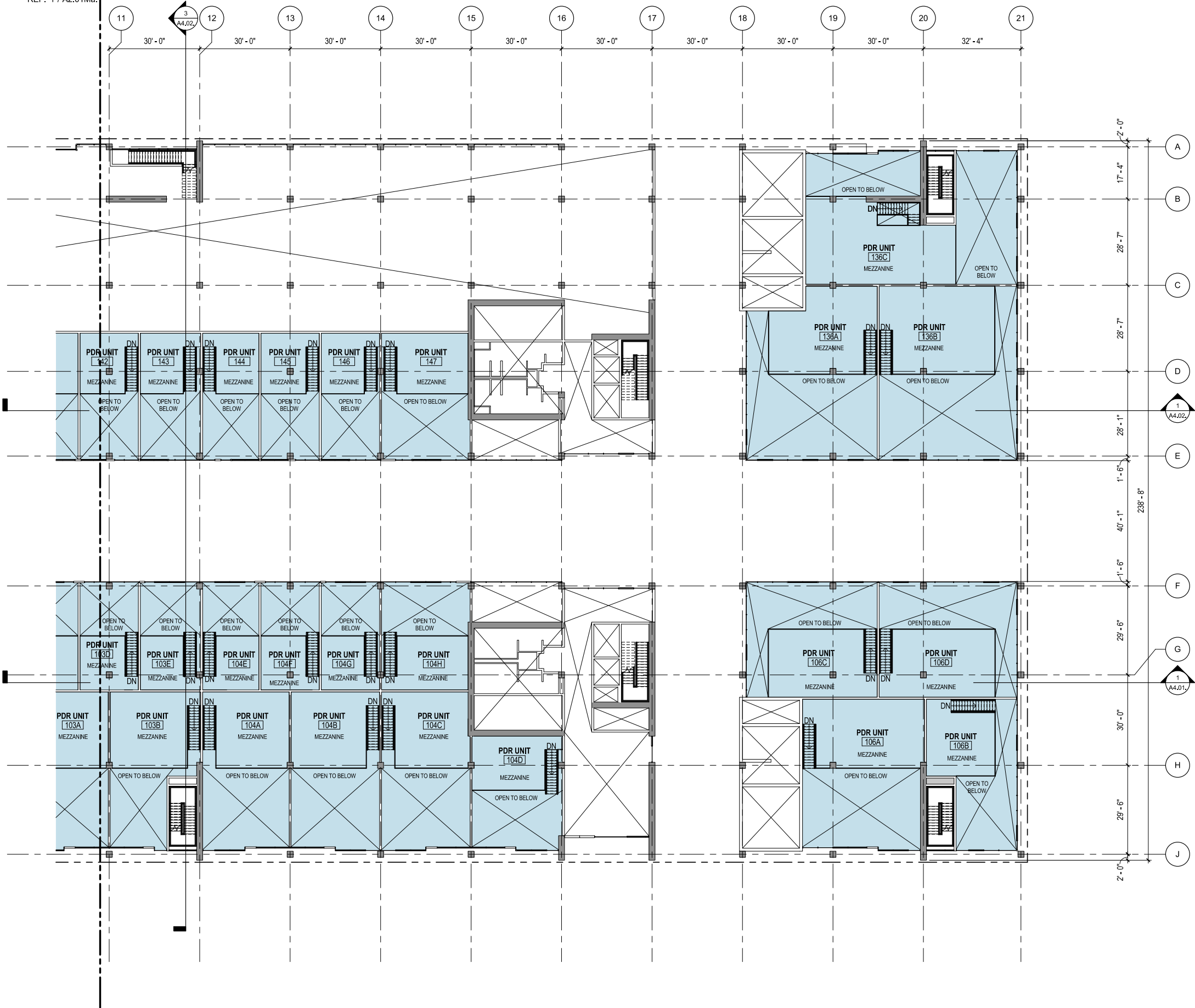
LEGEND

- (E) ADJACENT BUILDING
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- TYP. FRAMED PARTITION WALL
- 1-HR RATED CONSTRUCTION
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- TYP. CONCRETE COLUMN
- CONC. COLUMN W/ PLUMBING STACK
- CONC. COLUMN W/ REFRIGERANT STACK

FLOOR PLAN - MEZZANINE - WEST | 1  
1/16" = 1'-0"



REF. 1 / A2.01Ma.



FLOOR PLAN - MEZZANINE - EAST 1  
1/16" = 1'-0"

## GENERAL NOTES

1. PDR UNIT AND MEZZANINE LAYOUT AS SHOWN  
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IMPROVEMENT REQUIREMENTS

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- COMMERCIAL TENANT SPACE
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- PARKING
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## LEGEND

- (E) ADJACENT BUILDING
- CONCRETE SHEAR WALL
- TYP. FRAMED PARTITION WALL
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Project Number  
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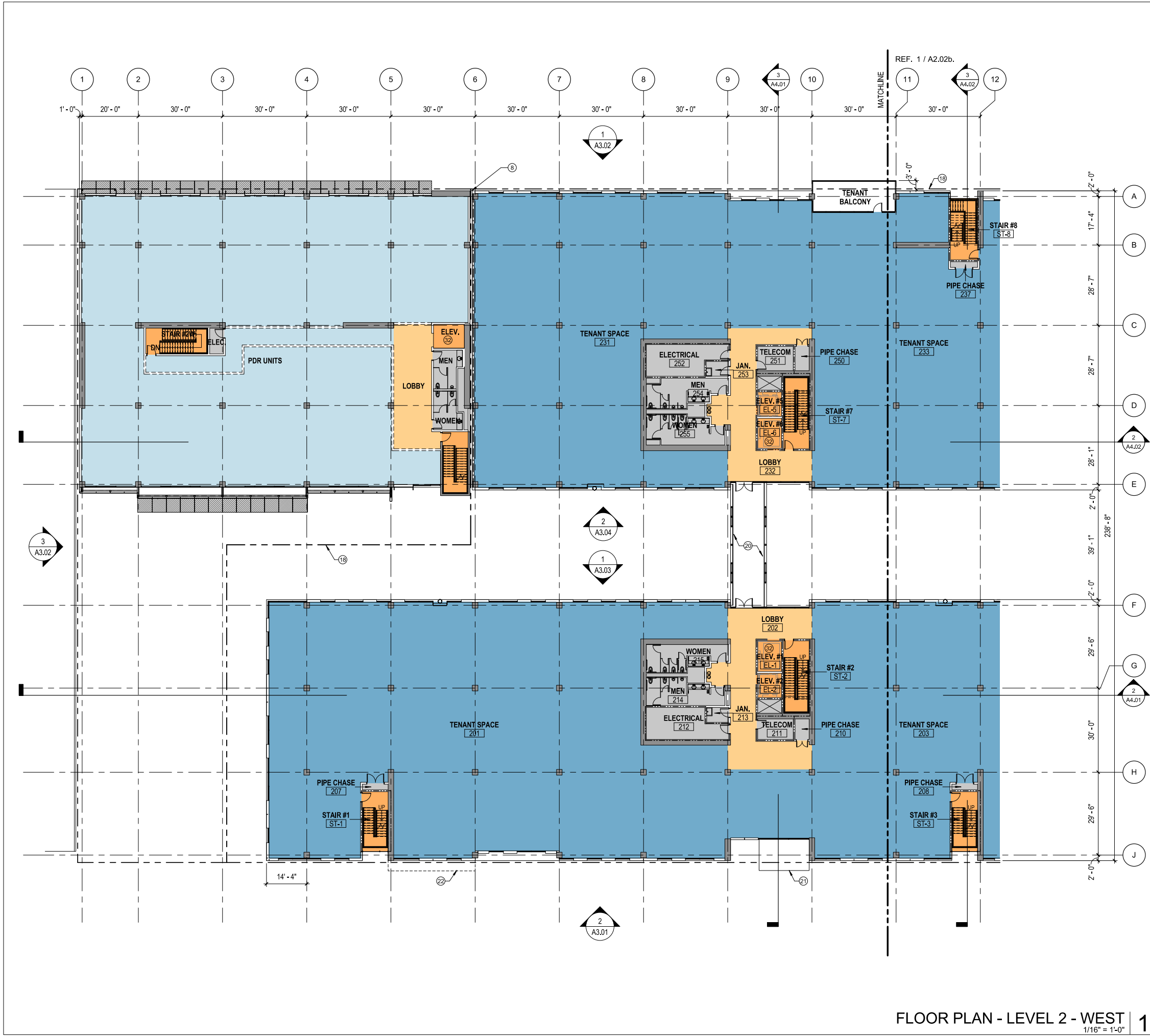
Sheet Name  
FLOOR PLAN - MEZZANINE -  
EAST

Ref. North PROJECT NORTH TRUE NORTH Date 01/22/2015

Scale  
A2.01Mb.

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IMPROVEMENT REQUIREMENTS

SHEET NOTES

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31	FUTURE GREEN ROOF, N.I.C.
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SHARED OUTDOOR SPACE

SHARED TENANT SPACE

VERTICAL CIRCULATION

PDR UNITS

COMMERCIAL TENANT SPACE

FUTURE ROOF PLANTING AREAS (N.I.C.)

PARKING

BUILDING SERVICE SPACES

LEGEND

(E) ADJACENT BUILDING

CONCRETE SHEAR WALL

TYP. FRAMED PARTITION WALL

1-HR RATED CONSTRUCTION

2-HR RATED CONSTRUCTION

3-HR RATED CONSTRUCTION

TYP. CONCRETE COLUMN

CONC. COLUMN W/ PLUMBING STACK

CONC. COLUMN W/ REFRIGERANT STACK

PROJECT NORTH

TRUE NORTH

FLOOR PLAN - LEVEL 2 - WEST

1/16" = 1'-0"

1

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Sheet Name  
FLOOR PLAN - LEVEL 2 - WEST

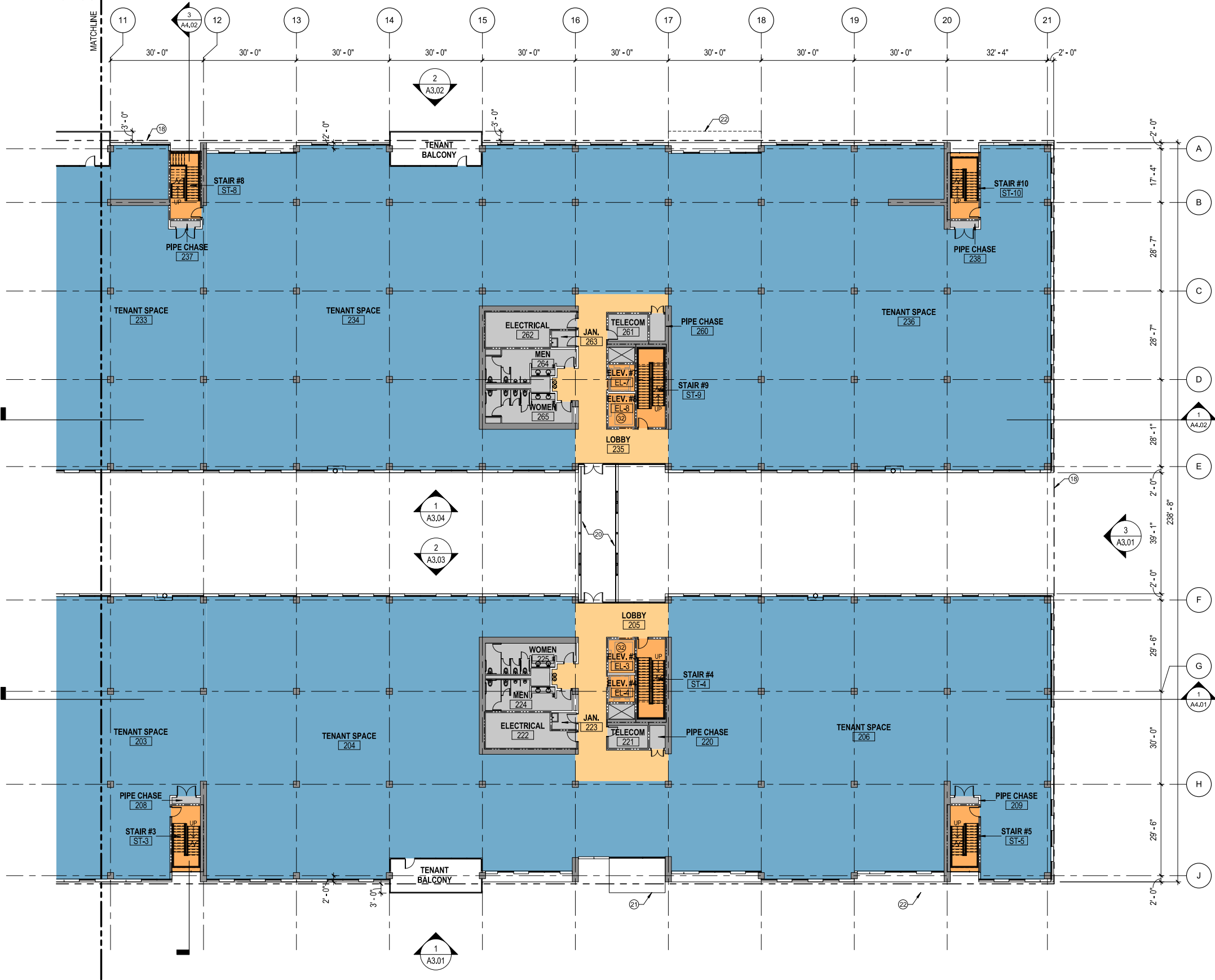
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Date  
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## GENERAL NOTES

1. PDR UNIT AND MEZZANINE LAYOUT AS SHOWN  
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IMPROVEMENT REQUIREMENTS

## SHEET NOTES

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- SHARED TENANT SPACE
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## LEGEND

- |                                   |
|-----------------------------------|
| (E) ADJACENT BUILDING             |
| CONCRETE SHEAR WALL               |
| TYP. FRAMED PARTITION WALL        |
| 1-HR RATED CONSTRUCTION           |
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FLOOR PLAN - LEVEL 2 - EAST 1  
1/16" = 1'-0"

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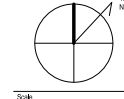
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100 HOOPER STREET

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21114

Sheet Name  
FLOOR PLAN - LEVEL 2 -  
EAST

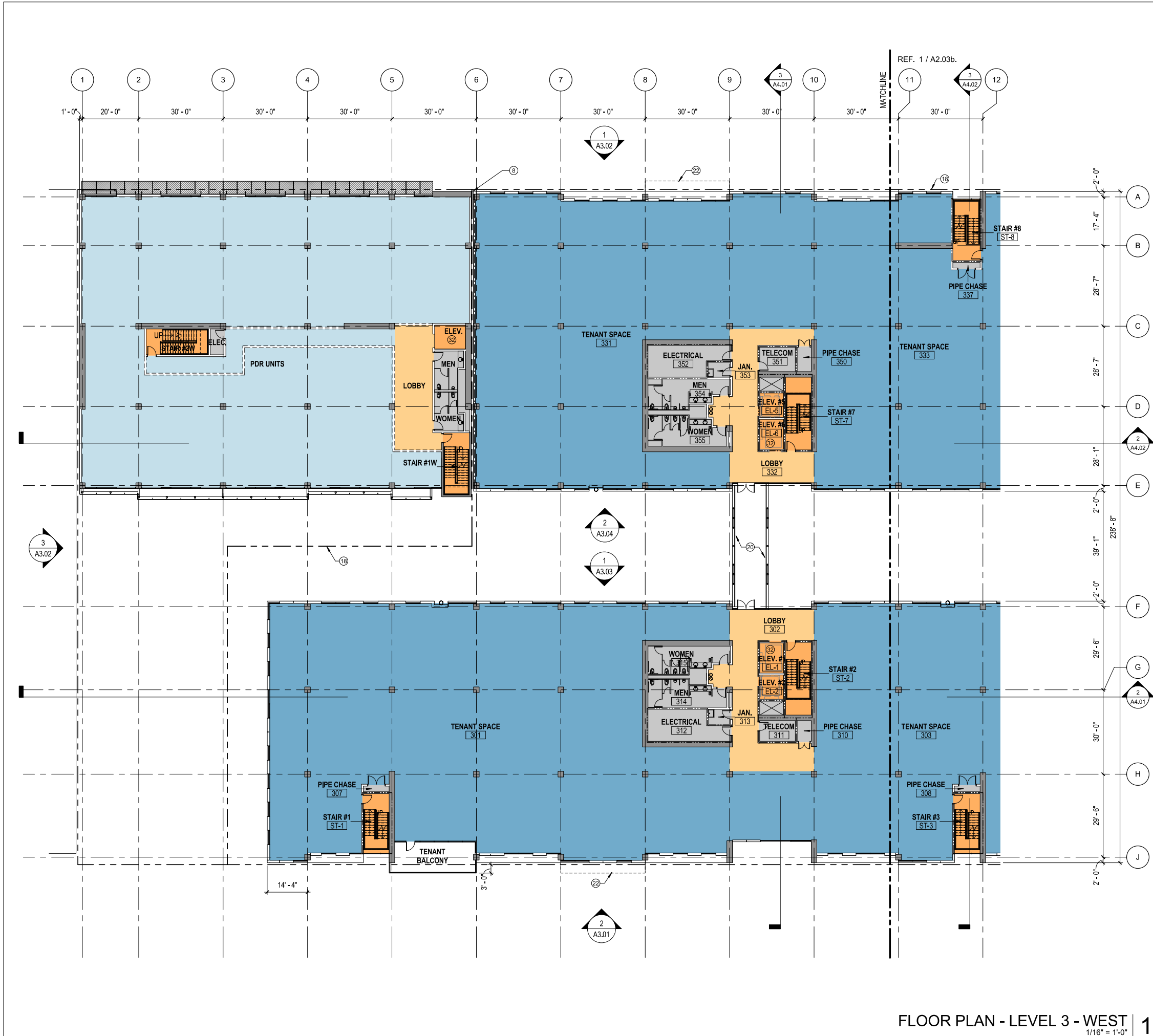
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FLOOR PLAN - LEVEL 3 - WEST  
1/16" = 1'-0" 1

GENERAL NOTES

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IMPROVEMENT REQUIREMENTS

SHEET NOTES

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FLOOR PLAN - LEVEL 3 -  
WEST

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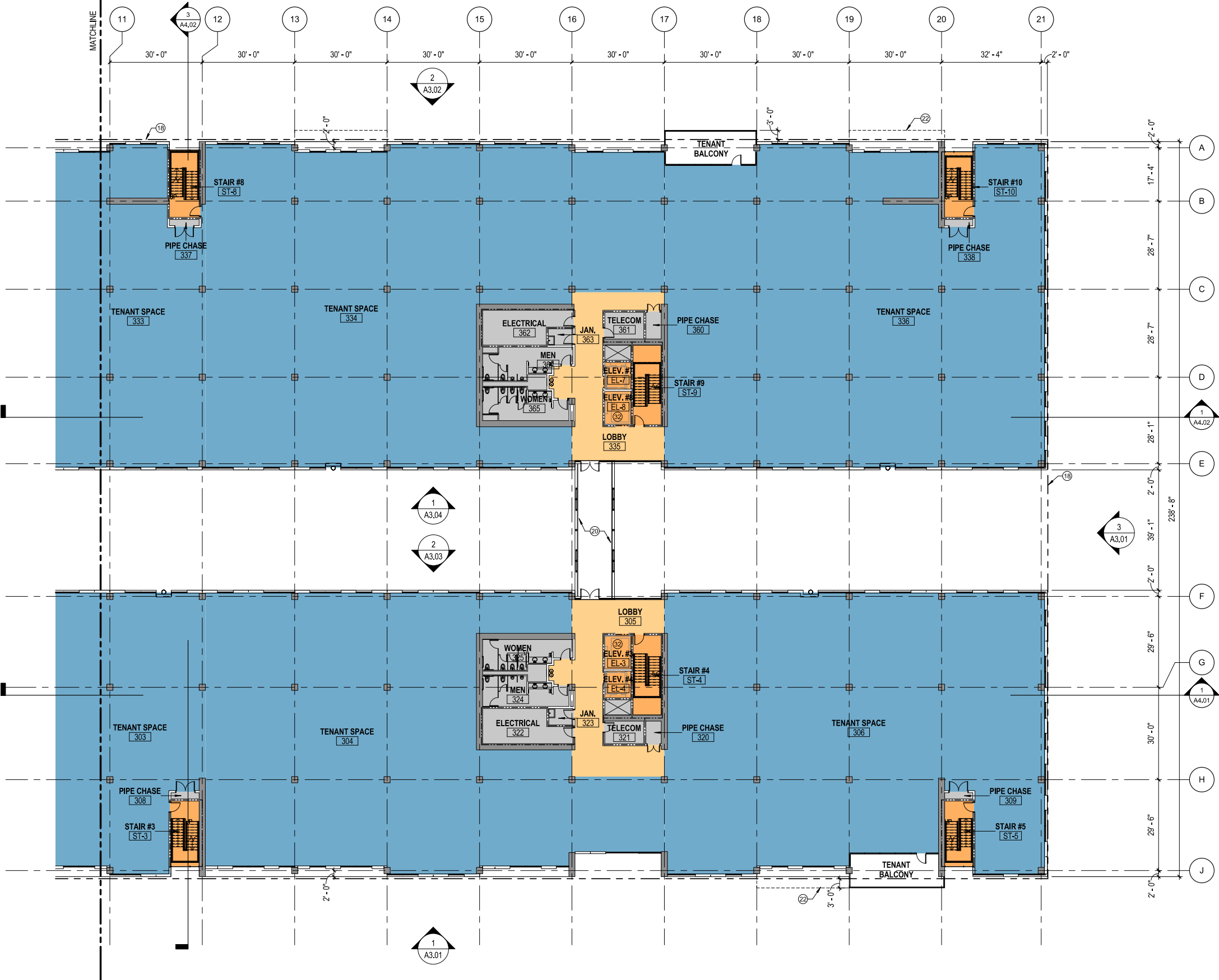
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FLOOR PLAN - LEVEL 3 - EAST  
1/16" = 1'-0"

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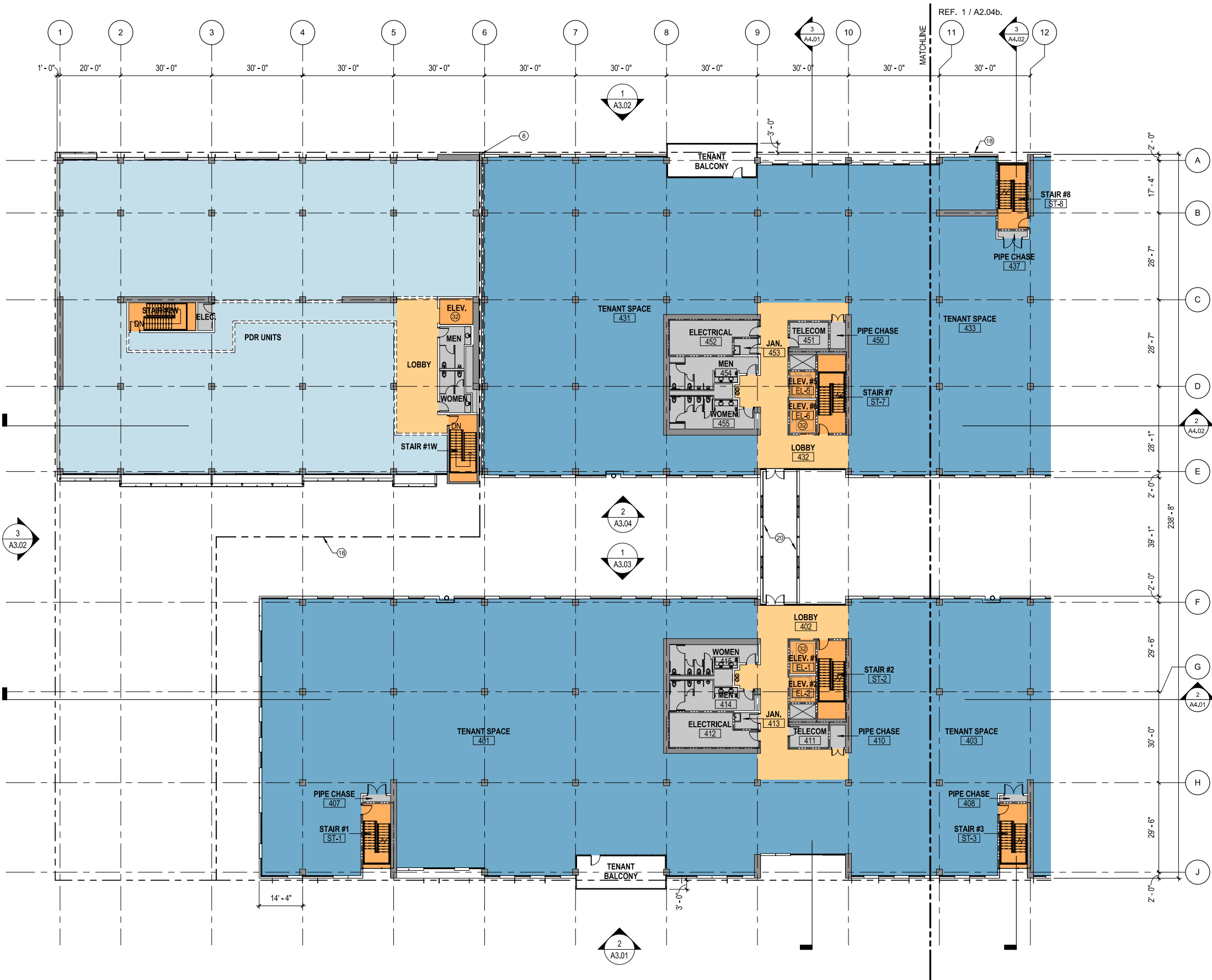
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FLOOR PLAN - LEVEL 4 - WEST  
1/16" = 1'-0"

GENERAL NOTES

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- | NOTE NO. | NOTE  |
|----------|---|
| 1        | CANOPY ABOVE, SHOWN DASHED                            |
| 2        | ROLL/FOLD-UP DOOR, OVERHEAD                           |
| 3        | TRUCK LOADING DOCK W/ DOCK LEVELERS                   |
| 4        | BIKE PARKING  |
| 5        | PTD. MTL. SLIDING GATE                                |
| 6        | NEW LINE OF CURB, SEE CIVIL                           |
| 7        | LANDSCAPE ELEMENTS, SEE LANDSCAPE                     |
| 8        | EXPANSION JOINT COVER                                 |
| 9        | PTD. MTL. CANOPY, OVERHEAD                            |
| 10       | NEW STREET PARKING, SEE CIVIL                         |
| 11       | STREET IMPROVEMENTS, SEE CIVIL                        |
| 12       | DOMESTIC WATER BFP                                    |
| 13       | IRRIGATION BFP  |
| 14       | GAS METER   |
| 15       | LINE OF BLDG, OVERHEAD                                |
| 16       | AREA DRAIN  |
| 17       | TRENCH DRAIN  |
| 18       | PROPERTY LINE, TYP. SEE CIVIL                         |
| 19       | GREEN WALL, SEE LANDSCAPE                             |
| 20       | PTD. STL. BRIDGE                                      |
| 21       | PTD. MTL. CANOPY, BELOW                               |
| 22       | TENANT BALCONY, OVERHEAD                              |
| 23       | ROOF DRAIN & OVERFLOW DRAIN                           |
| 24       | FLAT ROOF, SLOPE TO DRAIN AS NOTED, 1/4" PER FT. MIN. |
| 25       | ELEVATOR PENTHOUSE (NO STOP THIS LEVEL)               |
| 26       | CONC. CURB RAIL TO SUPPORT ROOFTOP CONDENSING UNITS   |
| 27       | SOLAR PANEL, TYP.                                     |
| 28       | ROOF OF BRIDGE BELOW                                  |
| 29       | CONC. PARAPET WALL                                    |
| 30       | FUTURE ROOF DECK, N.I.C.                              |
| 31       | FUTURE GREEN ROOF, N.I.C.                             |
| 32       | FREIGHT/PASSENGER ELEVATOR (SFPC 219.1)               |

- SHARED OUTDOOR SPACE
- SHARED TENANT SPACE
- VERTICAL CIRCULATION
- PDR UNITS
- COMMERCIAL TENANT SPACE
- FUTURE ROOF PLANTING AREAS (N.I.C.)
- PARKING
- BUILDING SERVICE SPACES

LEGEND

- (E) ADJACENT BUILDING
- CONCRETE SHEAR WALL
- TYP. FRAMED PARTITION WALL
- 1-HR RATED CONSTRUCTION
- 2-HR RATED CONSTRUCTION
- 3-HR RATED CONSTRUCTION
- TYP. CONCRETE COLUMN
- CONC. COLUMN W/ PLUMBING STACK
- CONC. COLUMN W/ REFRIGERANT STACK

PFAU  
GN01

ARCHITECTURE

100 HOOPER STREET  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
FLOOR PLAN - LEVEL 4 - WEST

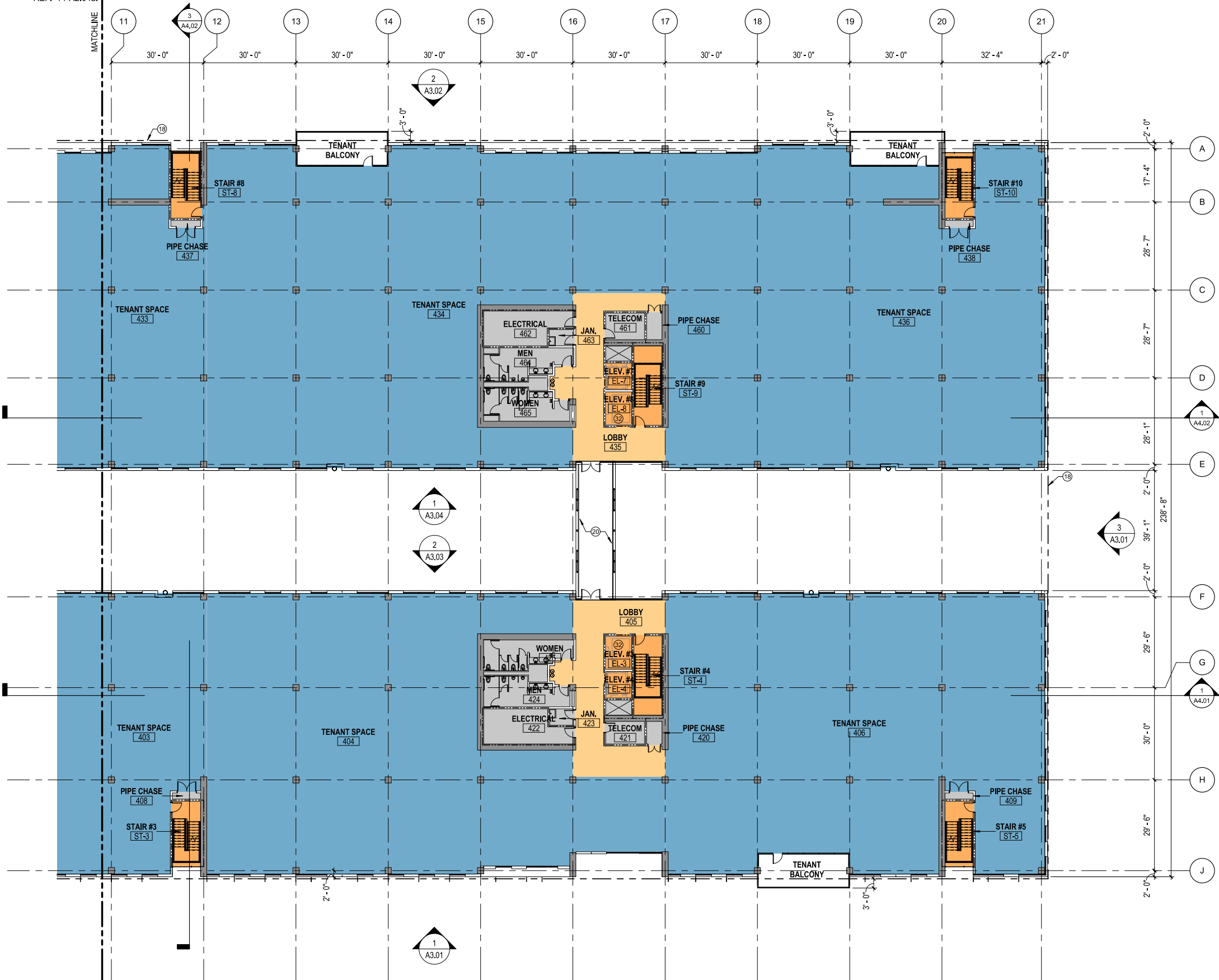
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01/22/2015

Scale  
A2.04a.

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REF. 1 / A2.04a.



FLOOR PLAN - LEVEL 4 - EAST  
1/16" = 1'-0"

### GENERAL NOTES

1. PDR UNIT AND MEZZANINE LAYOUT AS SHOWN  
SUBJECT TO CHANGE PER FUTURE TENANT  
IMPROVEMENT REQUIREMENTS

### SHEET NOTES

- | NOTE NO. | NOTE  |
|----------|---|
| 1        | CANOPY ABOVE, SHOWN DASHED                            |
| 2        | ROLL/FOLD-UP DOOR, OVERHEAD                           |
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| 15       | LINE OF BLDG, OVERHEAD                                |
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| 20       | PTD. STL. BRIDGE                                      |
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- SHARED OUTDOOR SPACE
- SHARED TENANT SPACE
- VERTICAL CIRCULATION
- PDR UNITS
- COMMERCIAL TENANT SPACE
- FUTURE ROOF PLANTING AREAS (N.I.C.)
- PARKING
- BUILDING SERVICE SPACES

### LEGEND

- (E) ADJACENT BUILDING
- CONCRETE SHEAR WALL
- TYP. FRAMED PARTITION WALL
- 1-HR RATED CONSTRUCTION
- 2-HR RATED CONSTRUCTION
- 3-HR RATED CONSTRUCTION
- TYP. CONCRETE COLUMN
- CONC. COLUMN W/ PLUMBING STACK
- CONC. COLUMN W/ REFRIGERANT STACK

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100 HOOPER STREET  
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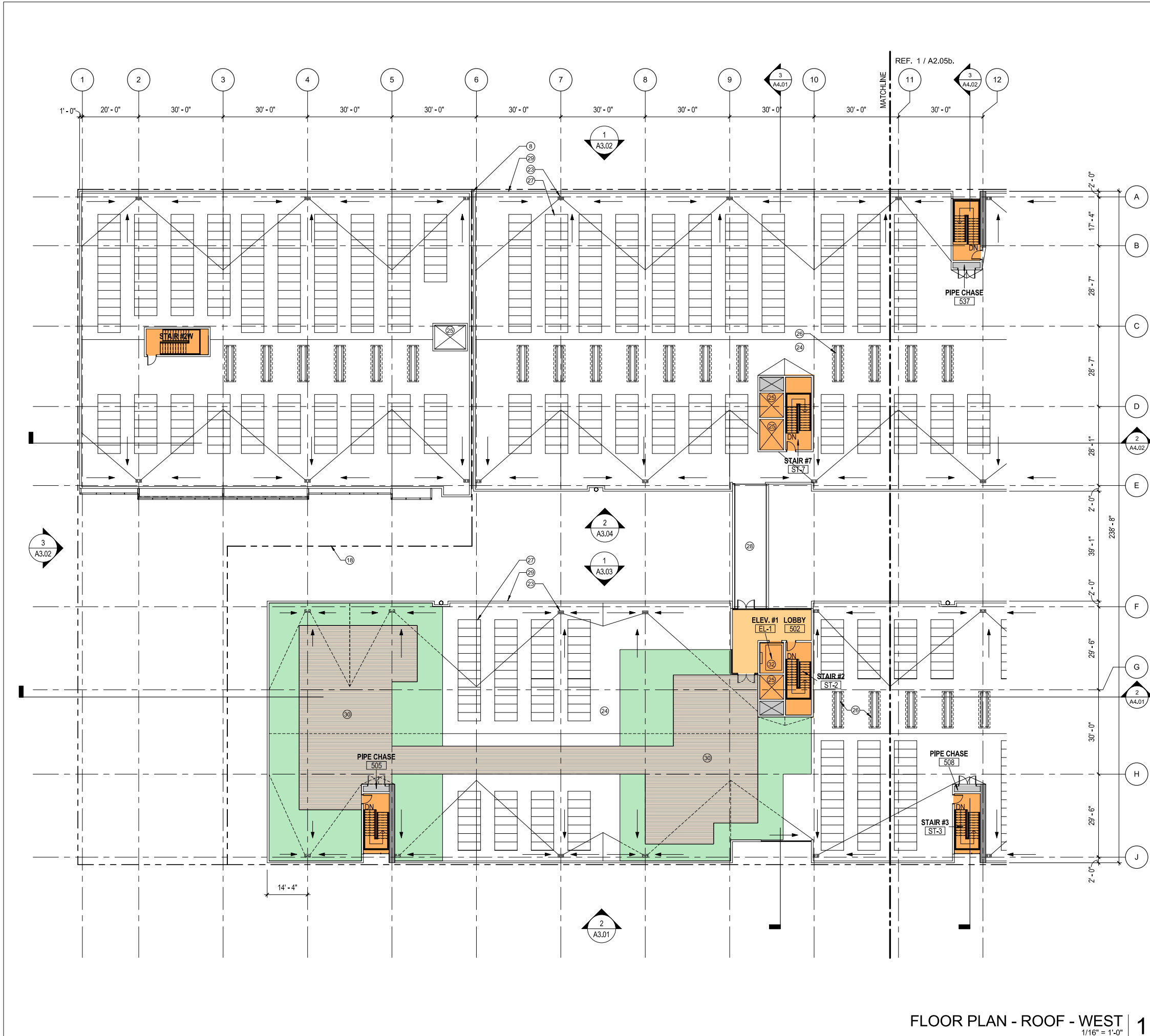
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FLOOR PLAN - LEVEL 4 - EAST

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Date 01/22/2015

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GENERAL NOTES

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SUBJECT TO CHANGE PER FUTURE TENANT  
IMPROVEMENT REQUIREMENTS

SHEET NOTES

NOTE NO.	NOTE
1	CANOPY ABOVE, SHOWN DASHED
2	ROLL/FOLD-UP DOOR, OVERHEAD
3	TRUCK LOADING DOCK W/ DOCK LEVELERS
4	BIKE PARKING
5	PTD. MTL. SLIDING GATE
6	NEW LINE OF CURB, SEE CIVIL
7	LANDSCAPE ELEMENTS, SEE LANDSCAPE
8	EXPANSION JOINT COVER
9	PTD. MTL. CANOPY, OVERHEAD
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28	ROOF OF BRIDGE BELOW
29	CONC. PARAPET WALL
30	FUTURE ROOF DECK, N.I.C.
31	FUTURE GREEN ROOF, N.I.C.
32	FREIGHT/PASSENGER ELEVATOR (SFPC 219.1)

SHARED OUTDOOR SPACE

SHARED TENANT SPACE

VERTICAL CIRCULATION

PDR UNITS

COMMERCIAL TENANT SPACE

FUTURE ROOF PLANTING AREAS (N.I.C.)

PARKING

BUILDING SERVICE SPACES

LEGEND

(E) ADJACENT BUILDING

CONCRETE SHEAR WALL

TYP. FRAMED PARTITION WALL

1-HR RATED CONSTRUCTION

2-HR RATED CONSTRUCTION

3-HR RATED CONSTRUCTION

TYP. CONCRETE COLUMN

CONC. COLUMN W/ PLUMBING STACK

CONC. COLUMN W/ REFRIGERANT STACK

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100 HOOPER STREET  
SAN FRANCISCO, CA 94107

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Project Number  
21114

Sheet Name  
ROOF PLAN - WEST

Ref. North PROJECT NORTH TRUE NORTH  
Date 01/22/2015  
A2.05a.

Scale

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Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
ROOF PLAN - EAST

Ref. North PROJECT NORTH TRUE NORTH  
Date  
01/22/2015

Scale  
A2.05b.

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GENERAL NOTES

1. PDR UNIT AND MEZZANINE LAYOUT AS SHOWN  
SUBJECT TO CHANGE PER FUTURE TENANT  
IMPROVEMENT REQUIREMENTS

SHEET NOTES

- | NOTE NO. | NOTE  |
|----------|---|
| 1        | CANOPY ABOVE, SHOWN DASHED                            |
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| 5        | PTD. MTL. SLIDING GATE                                |
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| 7        | LANDSCAPE ELEMENTS, SEE LANDSCAPE                     |
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| 9        | PTD. MTL. CANOPY, OVERHEAD                            |
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| 11       | STREET IMPROVEMENTS, SEE CIVIL                        |
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| 13       | IRRIGATION BFP  |
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| 16       | AREA DRAIN  |
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| 19       | GREEN WALL, SEE LANDSCAPE                             |
| 20       | PTD. STL. BRIDGE                                      |
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| 31       | FUTURE GREEN ROOF, N.I.C.                             |
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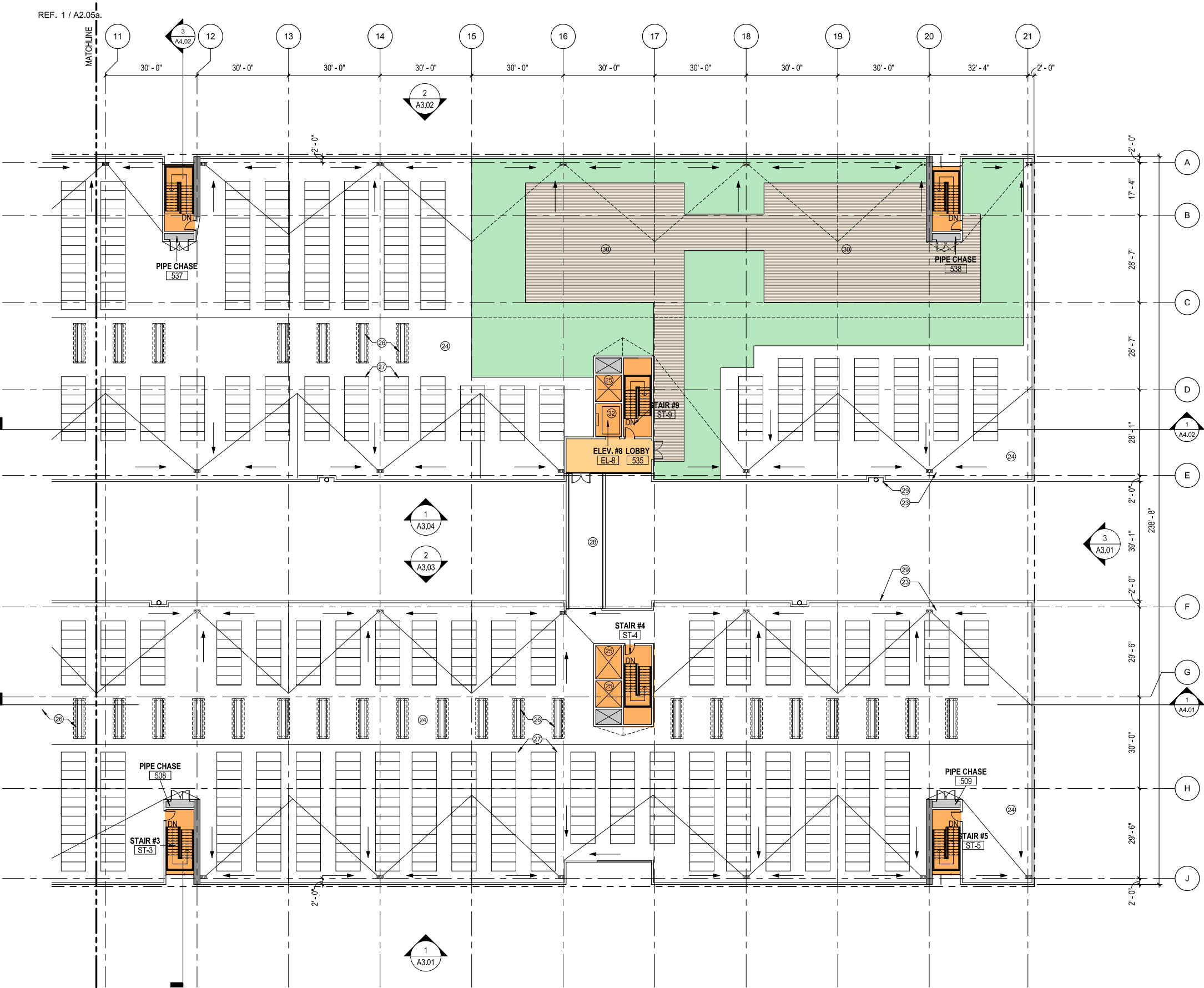
- |  |                                     |
|--|-------------------------------------|
|  | SHARED OUTDOOR SPACE                |
|  | SHARED TENANT SPACE                 |
|  | VERTICAL CIRCULATION                |
|  | PDR UNITS                           |
|  | COMMERCIAL TENANT SPACE             |
|  | FUTURE ROOF PLANTING AREAS (N.I.C.) |
|  | PARKING                             |
|  | BUILDING SERVICE SPACES             |

LEGEND

- |  |                                   |
|--|-----------------------------------|
|  | (E) ADJACENT BUILDING             |
|  | CONCRETE SHEAR WALL               |
|  | TYP. FRAMED PARTITION WALL        |
|  | 1-HR RATED CONSTRUCTION           |
|  | 2-HR RATED CONSTRUCTION           |
|  | 3-HR RATED CONSTRUCTION           |
|  | TYP. CONCRETE COLUMN              |
|  | CONC. COLUMN W/ PLUMBING STACK    |
|  | CONC. COLUMN W/ REFRIGERANT STACK |

FLOOR PLAN - ROOF - EAST  
1/16" = 1'-0"

1



PDR BLDG GROUND FLOOR:

- HIGHER FLOOR LOADING
- "INCUBATOR" PDR
- POSSIBLE SHARED EQUIPMENT AREAS



PDR BLDG UPPER FLOORS:

- SMALLER UNITS
- "INCUBATOR" PDR
- NO FLOOR DRAINS
- ASSEMBLY USES



ALLEY PDR:

- LESS INTENSE USES
- INDOOR/OUTDOOR CONNECTION
- COMMUNITY CLUSTERING
- OFFICE ACCESSORY
- ROLL-UP DOORS



7TH STREET PDR:

- MARKETING WINDOW ON 7TH
- HIGH NOISE TOLERANCE
- PUBLIC ACCESS
- HIGHER CEILING HEIGHTS (20 FT.)
- POSSIBLE ROLL-UP DOORS



ACCESSORY FOOD/RETAIL:

- ACTIVATES PLAZA
- COMMERCIAL KITCHEN
- READY WITH GREASE TRAPS, VENTING, ETC.



HOOPER STREET PDR:

- MARKETING WINDOW
- ACCESSORY RETAIL
- 15 FT. SIDEWALK W/ LOADING
- SOLAR ACCESS
- CCA CONNECTION
- ROLL-UP DOORS



KEYNOTE LEGEND:



GENERAL REQUIREMENTS:

- FLOOR DRAINS AT GROUND FLOOR PDR
- SUB-METERED UTILITIES AVAILABLE

PDR USE MAP  
SEE A2.12 FOR LEGEND

100 HOOPER STREET  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

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Sheet Name  
PDR USE MAP









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01/22/2015

A2.11

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	A	B	C	D	E	F	G	H
	APPAREL / SEWN / BODY PRODUCT/SMALL ACCESSORIES			HARDWARE/ADVANCED MFG/FURNITURE/LARGE ASSEMBLY				
USE	Clothing/Apparel & Sewing Products	Craft Jewelry & Accessories / Print Shops	Body Products	Medical Device MFG	Electronics Contract MFG	Furniture / Large Product Assembly	Prototyping / Robotics Advanced Manufacturing	Auto/Motorcycle
SIZE REQUIREMENTS	1000 - 5,000 sq. ft.	1000 - 2,500 sq. ft.	1000 - 5,000 sq. ft.	5,000 - 20,000 sq. ft.	5,000 - 20,000 sq. ft.	5,000 - 20,000 sq. ft.	2,000 - 20,000 sq. ft.	5,000 - 50,000 sq. ft.
CLEAR HEIGHT	12' to 20'	12' to 20'	12' to 20'	12' to 20'	12' to 20'	12' to 20'	12' to 20'	16' to 20'
POWER	100A - 200A @ 120/240V 3P	100A - 200A @ 120/240V 3P	100A - 200A @ 120/240V 3P	300A - 1,000A @ 120/240V 3P 200A - 400A @ 480V Preferred 1.5"	300A - 1,000A @ 120/240V 3P 200A - 400A @ 480V Preferred 1.5"	300A - 1,000A @ 120/240V 3P 200A - 400A @ 480V Preferred 1.5"	300A - 1,000A @ 120/240V 3P 200A - 400A @ 480V Preferred 1.5"	300A - 1,000A @ 120/240V 3P 200A - 400A @ 480V Preferred 2"
GAS	1" (Heating)	1" (Heating)	1" (Heating)					
VENTING	Venting is equipment based	Venting is equipment based	Vertical Venting, May require Charcoal Filters / Scrubbers	Venting Demand is Equipment Based	Venting Demand is Equipment Based	Unconditioned Warehouse, Venting Demand is Equipment Based	Unconditioned Warehouse, Venting Demand is Equipment Based	Venting Demand is Equipment Based
WATER	1.5" Main Line Min. (Excluding Slop Sink)	1.5" Main Line Min. (Excluding Slop Sink)	1.5" Main Line Min. (Excluding Slop Sink)	2" Main Line Min.	2" Main Line Min.	2" Main Line Min.	2" Main Line Min.	2" Main Line Min.
GREASE INTERCEPTOR	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
DRAIN/SEWER	Typical Sink Drain	Typical Sink Drain	Typical Sink Drain Floor Drains on Occasion	Floor Drains on Occasion	Floor Drains on Occasion	Typical Sink Drain	Floor Drains on Occasion	Typical Sink Drain
NOISE	Medium	Low/Medium	Low	Medium	Medium	High	Medium	Medium/High
HVAC	Preferred, Not Required	Preferred, Not Required	Preferred, Not Required	Preferred, Not Required	Preferred, Not Required	Preferred, Not Required	Preferred, Not Required	Climate Controlled
SHIPPING/RECEIVING	Roll Up Doors Preferred	Roll Up Doors Preferred	Roll Up Doors Preferred	Grade Level Roll Up Doors, High Dock is Beneficial	Grade Level Roll Up Doors, High Dock is Beneficial	Grade Level Roll Up Doors, High Dock is Beneficial	Grade Level Roll Up Doors, High Dock is Beneficial	Grade Level Roll Up Doors, High Dock is Beneficial
ACCESSORY RETAIL	Highly Preferred	Highly Preferred	Highly Preferred	Not Needed	Not Needed	Highly Preferred	Highly Preferred	Not Needed, but Showroom desirable
EXAMPLE COMPANY	Marine Layer	Julia Turner Jewelry	Earth Body Skin Care	QB3/UCSF Mission Bay	Lee Mah Electronics	Ohio Design, Varian Designs	PCH, Lime Lab	Mission Motorcycles
								

	I	J	K	L
	FOOD AND BEVERAGE			
USE	Artisan Food Producers / Commercial Kitchens	Coffee Roasters / Chocolate Makers	Breweries	Urban Wineries
SIZE REQUIREMENTS	1000 - 3,000 sq. ft.	2,000 - 20,000 sq. ft.	5,000 - 20,000 sq. ft.	5,000 - 20,000 sq. ft.
CLEAR HEIGHT	10' to 17'	15' to 25'	15' to 25'	17' to 30'
POWER	200A - 800A @ 120/240V 3P	400A @ 120/240V 3P 400A @ 480V Preferred	400A @ 120/240V 3P 400A @ 480V Preferred	200A - 400A @ 120/240V 3P
GAS	2" (Cooking, HVAC)			
VENTING	Grease Hood Exhaust Vent 250 CFM/Lineal Foot of Hood, General Exhaust for Storage/Janitorial	12" Vertical Vent, Afterburner (Has to be Upblast)	Vertical Venting	Not Needed No Special Need
WATER	1.5" - 2" Main Line	2" Main Line Min.	2" Main Line Min.	2" Main Line Min. with Water Filtration, Need Both Hot & Cold Water
GREASE INTERCEPTOR	Yes. Assume 1,500 Gal. Jensen Precast	?	Yes	?
DRAIN/SEWER	6" Main - Floor Drains Throughout	Floor Drains Throughout	Floor Drains Throughout	Area Drains and Trench Drains
NOISE	Medium	Medium	Medium	Low
HVAC	Make Up Air 90% Hood Exhaust CFM	Climate Controlled	Climate Controlled	Climate Controlled
SHIPPING/RECEIVING	Ground Deliveries with Gate Lift (No Dock Req'd.)	Grade Level Roll Up Doors	Grade Level Roll Up Doors	Grade Level Roll Up Doors
ACCESSORY RETAIL	Highly Preferred	Highly Preferred	Highly Preferred - with Restaurant	Highly Preferred
EXAMPLE COMPANY	Sinto Gourmet, Nana Joes Granola	Ritual Coffee, Dandelion Chocolate	Speakeasy, VooDoo	Bluxome Winery, Dogpatch Winery



## PDR USE MAP LEGEND

CREATED BY:



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No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
PDR USE MAP LEGEND AND  
INFRASTRUCTURAL  
REQUIREMENTS

Ref. North Date  
01/22/2015

A2.12

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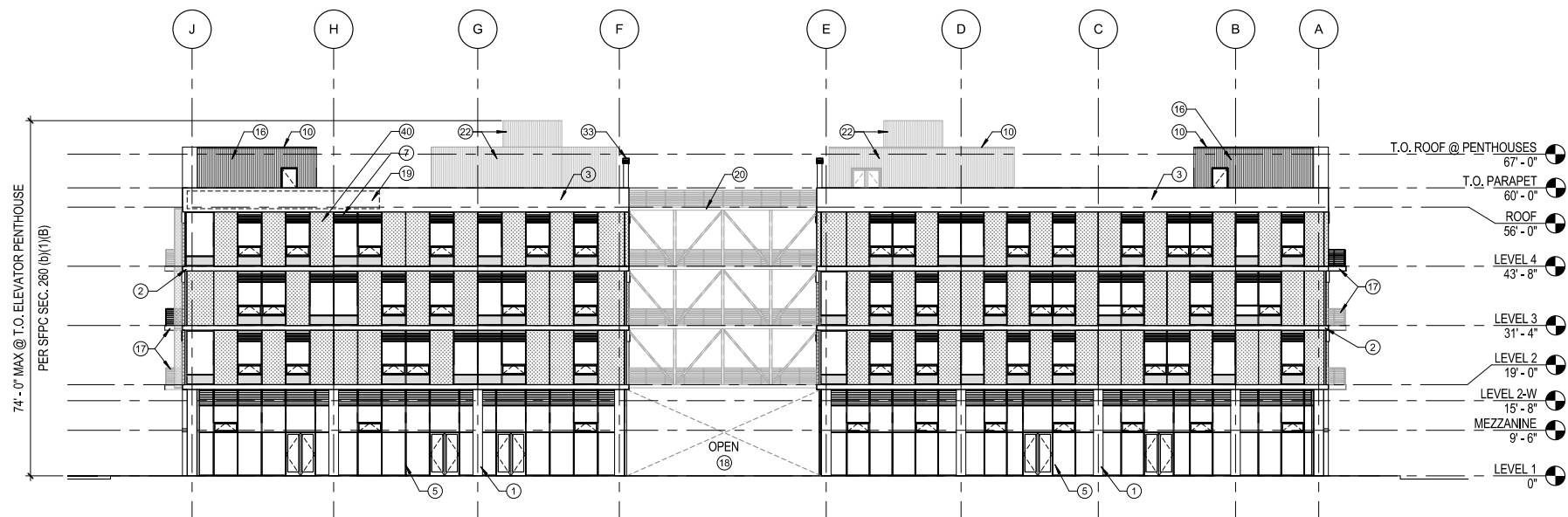
- ## ARCHITECTURE



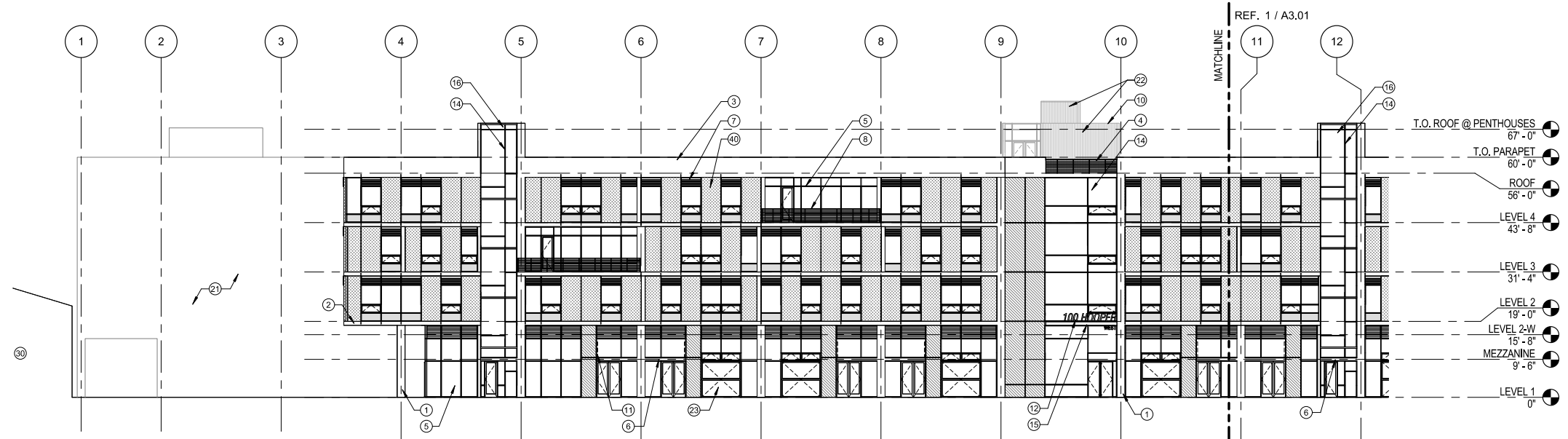
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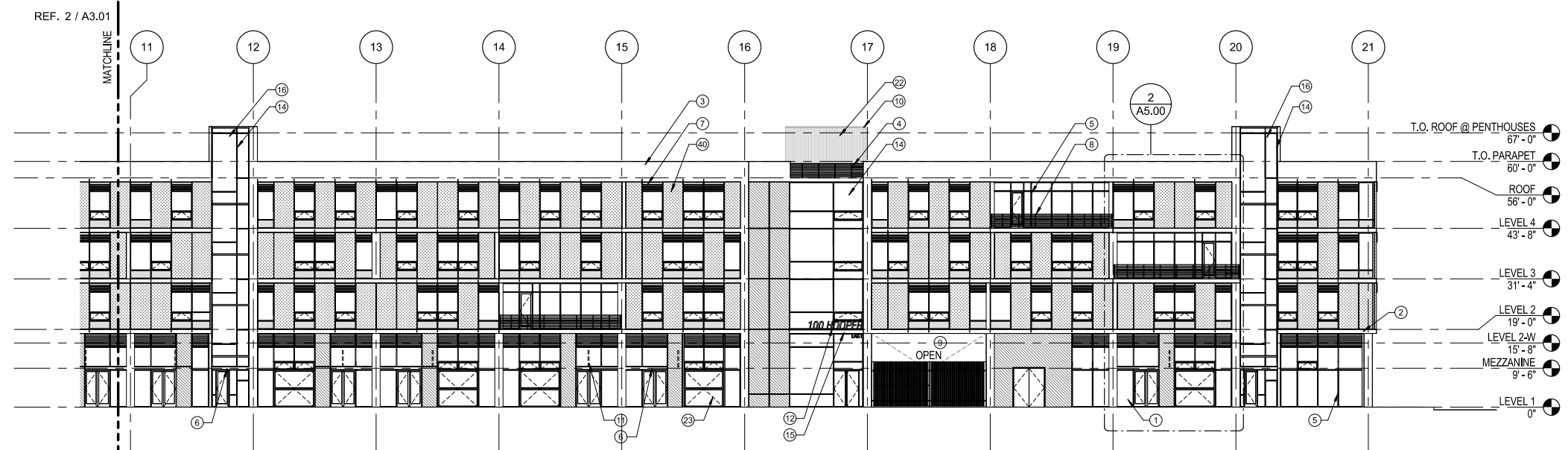




ELEVATION - NORTH & SOUTH BUILDINGS - EAST  
1/16" = 1'-0" 3



ELEVATION - SOUTH BUILDING - SOUTH WEST  
1/16" = 1'-0" 2



ELEVATION - SOUTH BUILDING - SOUTH EAST  
1/16" = 1'-0" 1

## GENERAL NOTES

- SEE A8 SERIES FOR FACADE DETAILS AND NORTH & SOUTH BUILDING UPPER-LEVEL ENVELOPE MODULE TYPES
- LEVEL "ROOF" AS SHOWN REFERS TO T.O. STRUCTURAL SLAB HEIGHT. REFER TO SECTIONS FOR T.O. BUILT-UP ROOF DIMENSION FOR BUILDING HEIGHT MEASUREMENT AS DEFINED IN SFPC SEC. 260.

## SHEET NOTES

NOTE NO.	NOTE
1	EXPOSED CONCRETE COLUMN, TYP.
2	EXPOSED CONCRETE SLAB, TYP.
3	CONCRETE PARAPET
4	MTL. GRATE PARAPET
5	ALUM. STOREFRONT W/ CLEAR GLASS, TYP.
6	PTD. MTL. CANOPY, TYP.
7	PTD. MTL. LOUVER, TYP.
8	PTD. STL. GUARDRAIL, TYP.
9	BREEZEWAY
10	PTD. MTL. COPING
11	FUTURE TENANT SIGNAGE, SHOWN DASHED, N.I.C., TYP.
12	ALUM. BUILDING SIGNAGE, TYP.
13	SEISMIC JOINT COVER, TYP.
14	ALUM. CURTAIN WALL SYSTEM
15	CONCRETE CANOPY WITH COMPOSITE WOOD SOFFIT
16	CORRUGATED METAL STAIR PENTHOUSE, TYP.
17	BALCONY BEYOND, TYP.
18	ALLEY, SEE LANDSCAPE DRAWINGS
19	BUILDING SIGN NEAR FREEWAY, 200 S.F. MAX PER SFPC SEC. 608.5, SHOWN DASHED
20	PTD. STL. BRIDGE, TYP.
21	PDR BUILDING BEYOND
22	STAIR AND ELEVATOR PENTHOUSE BEYOND, TYP.
23	ROLLING/SECTIONAL OVERHEAD DOOR W/ CLEAR GLASS, TYP.
24	PTD. MTL. COLUMN
25	PTD. MTL. BEAM
26	PTD. MTL. SLIDING GATE
27	PTD. MTL. MESH LATTICE PANELS, FOR "GREEN WALL", SEE LANDSCAPE
28	EXHAUST FANS BEHIND METAL MESH LATTICE, SEE MECH.
29	PDR BUILDING
30	ADJACENT BUILDING, N.I.C.
31	PTD. MTL. COILING OVERHEAD DOOR
32	LOADING DOCK
33	PTD. MTL. VENT STACK
34	PERFORATED WEATHERED STEEL SCREEN
35	EXPOSED CONCRETE SHEAR WALL
36	INFILL CMU WALL
37	WEATHERED STEEL PANEL, TYP.
38	PERFORATED WEATHERED STEEL CANOPY
39	PERFORATED WEATHERED STEEL MARQUEE
40	PERFORATED PTD. MTL. PANEL, TYP.

## LEGEND

	PERFORATED PAINTED METAL PANEL *
	PERFORATED WEATHERED STEEL PANEL *
	SOLID WEATHERED STEEL PANEL *
	CORRUGATED METAL PANEL
	TRANSLUCENT GLASS
	CMU BLIND WALL ASSEMBLY
	PTD MTL. MESH LATTICE PANELS

\* = REF. A8.33 FOR DETAILS

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GN01  
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415 908 6408 pfaulong.com

100 HOOPER STREET  
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Project Name  
100 HOOPER STREET

Project Number  
21114

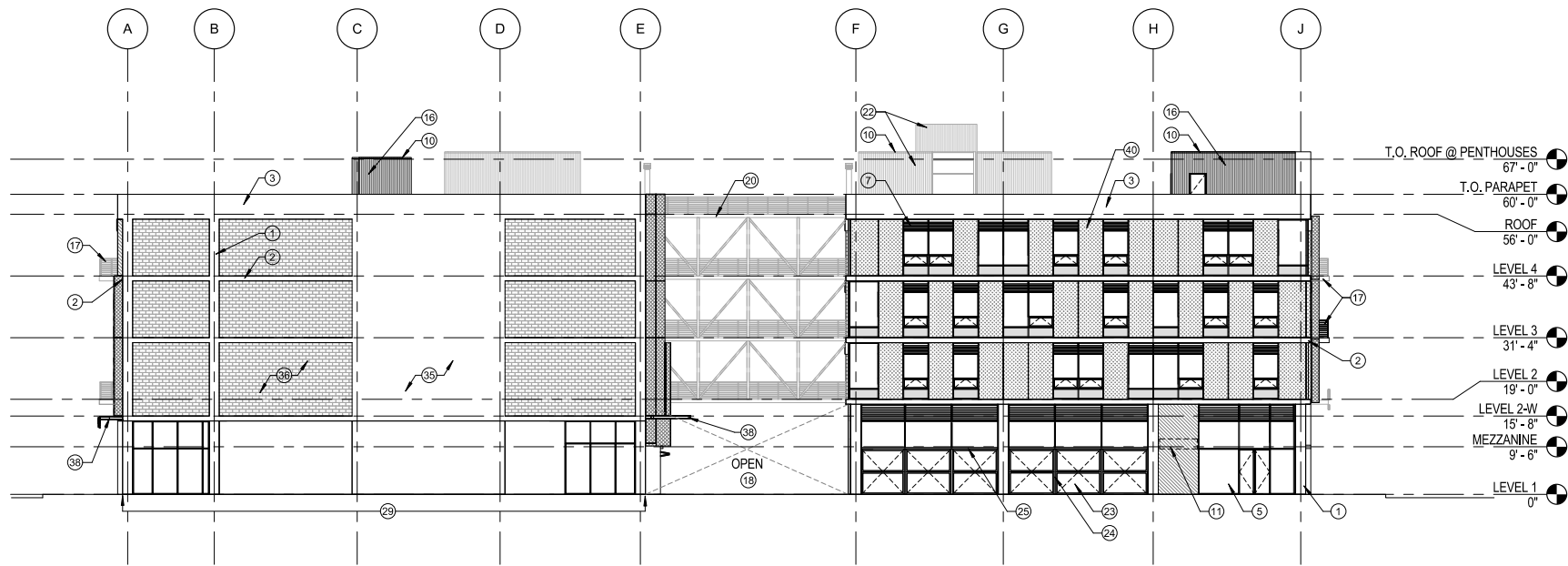
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BUILDING ELEVATIONS

Ref. North  
Date  
01/22/2015

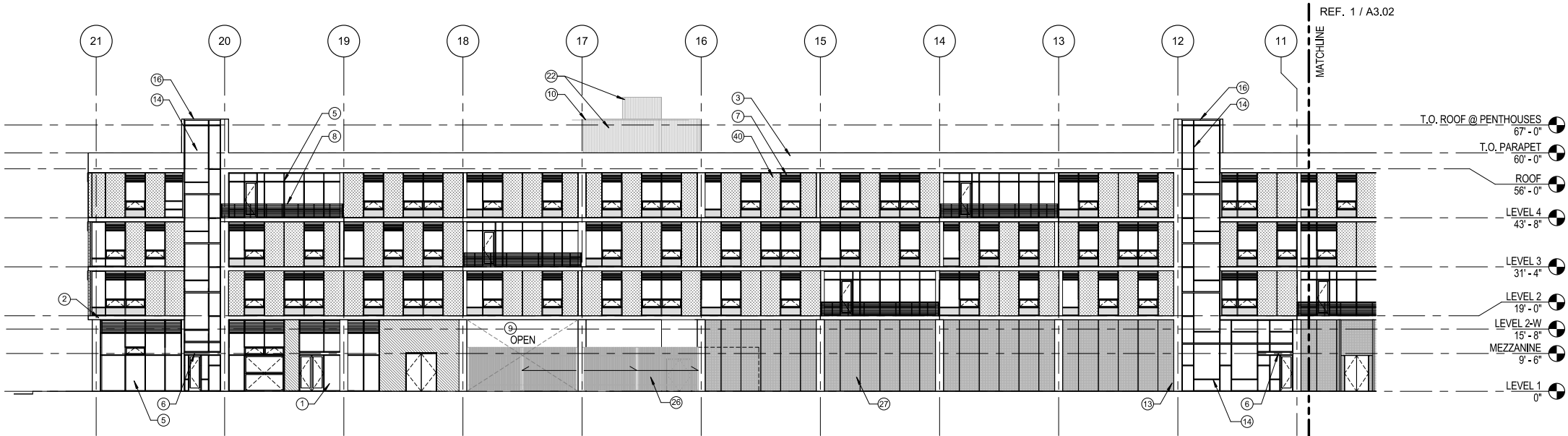
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PRELIMINARY - NOT FOR CONSTRUCTION

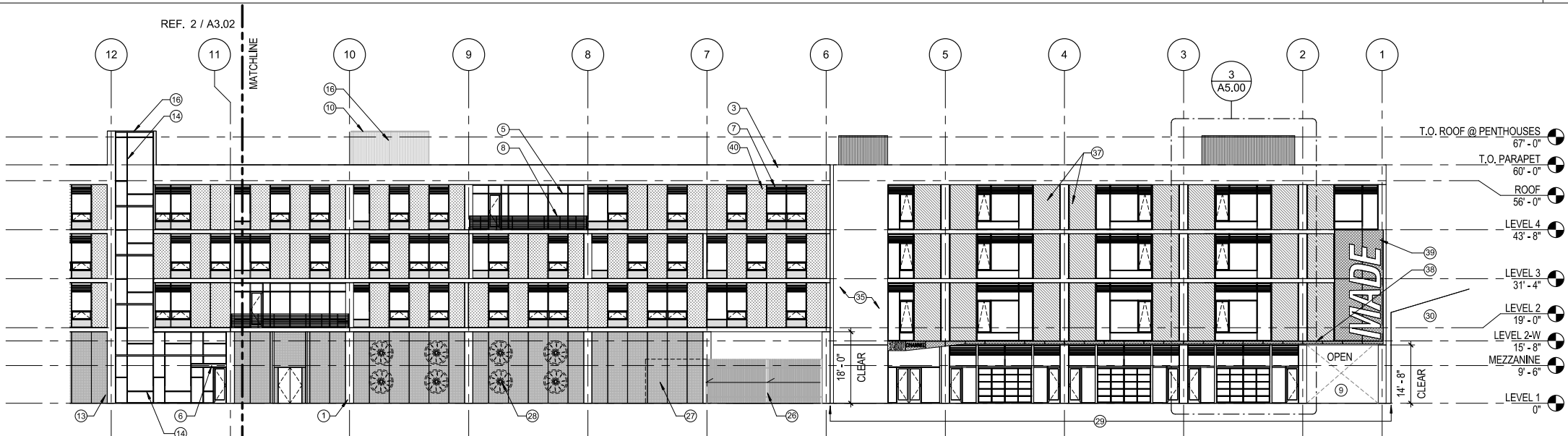
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ELEVATION - PDR & SOUTH BUILDINGS - WEST 3  
1/16" = 1'-0"



ELEVATION - NORTH BUILDING - NORTH EAST 2  
1/16" = 1'-0"



ELEVATION - NORTH BUILDING - NORTH WEST 1  
1/16" = 1'-0"

GENERAL NOTES

- SEE A8 SERIES FOR FACADE DETAILS AND NORTH & SOUTH BUILDING UPPER-LEVEL ENVELOPE MODULE TYPES
- LEVEL "ROOF" AS SHOWN REFERS TO T.O. STRUCTURAL SLAB HEIGHT. REFER TO SECTIONS FOR T.O. BUILT-UP ROOF DIMENSION FOR BUILDING HEIGHT MEASUREMENT AS DEFINED IN SFPC SEC. 260.

SHEET NOTES

NOTE NO.	NOTE
1	EXPOSED CONCRETE COLUMN, TYP.
2	EXPOSED CONCRETE SLAB, TYP.
3	CONCRETE PARAPET
4	MTL. GRATE PARAPET
5	ALUM. STOREFRONT W/ CLEAR GLASS, TYP.
6	PTD. MTL. CANOPY, TYP.
7	PTD. MTL. LOUVER, TYP.
8	PTD. STL. GUARDRAIL, TYP.
9	BREEZEWAY
10	PTD. MTL. COPING
11	FUTURE TENANT SIGNAGE, SHOWN DASHED, N.I.C., TYP.
12	ALUM. BUILDING SIGNAGE, TYP.
13	SEISMIC JOINT COVER, TYP.
14	ALUM. CURTAIN WALL SYSTEM
15	CONCRETE CANOPY WITH COMPOSITE WOOD SOFFIT
16	CORRUGATED METAL STAIR PENTHOUSE, TYP.
17	BALCONY BEYOND, TYP.
18	ALLEY, SEE LANDSCAPE DRAWINGS
19	BUILDING SIGN NEAR FREEWAY, 200 S.F. MAX PER SFPC SEC. 608.5, SHOWN DASHED
20	PTD. STL. BRIDGE, TYP.
21	PDR BUILDING BEYOND
22	STAIR AND ELEVATOR PENTHOUSE BEYOND, TYP.
23	ROLLING/SECTIONAL OVERHEAD DOOR W/ CLEAR GLASS, TYP.
24	PTD. MTL. COLUMN
25	PTD. MTL. BEAM
26	PTD. MTL. SLIDING GATE
27	PTD. MTL. MESH LATTICE PANELS, FOR "GREEN WALL", SEE LANDSCAPE
28	EXHAUST FANS BEHIND METAL MESH LATTICE, SEE MECH.
29	PDR BUILDING
30	ADJACENT BUILDING, N.I.C.
31	PTD. MTL. COILING OVERHEAD DOOR
32	LOADING DOCK
33	PTD. MTL. VENT STACK
34	PERFORATED WEATHERED STEEL SCREEN
35	EXPOSED CONCRETE SHEAR WALL
36	INFILL CMU WALL
37	WEATHERED STEEL PANEL, TYP.
38	PERFORATED WEATHERED STEEL CANOPY
39	PERFORATED WEATHERED STEEL MARQUEE
40	PERFORATED PTD. MTL. PANEL, TYP.

LEGEND

	PERFORATED PAINTED METAL PANEL *
	PERFORATED WEATHERED STEEL PANEL *
	SOLID WEATHERED STEEL PANEL *
	CORRUGATED METAL PANEL
	TRANSLUCENT GLASS
	CMU BLIND WALL ASSEMBLY
	PTD MTL. MESH LATTICE PANELS

\* = REF. A8.33 FOR DETAILS

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100 HOOPER STREET

Project Number  
21114

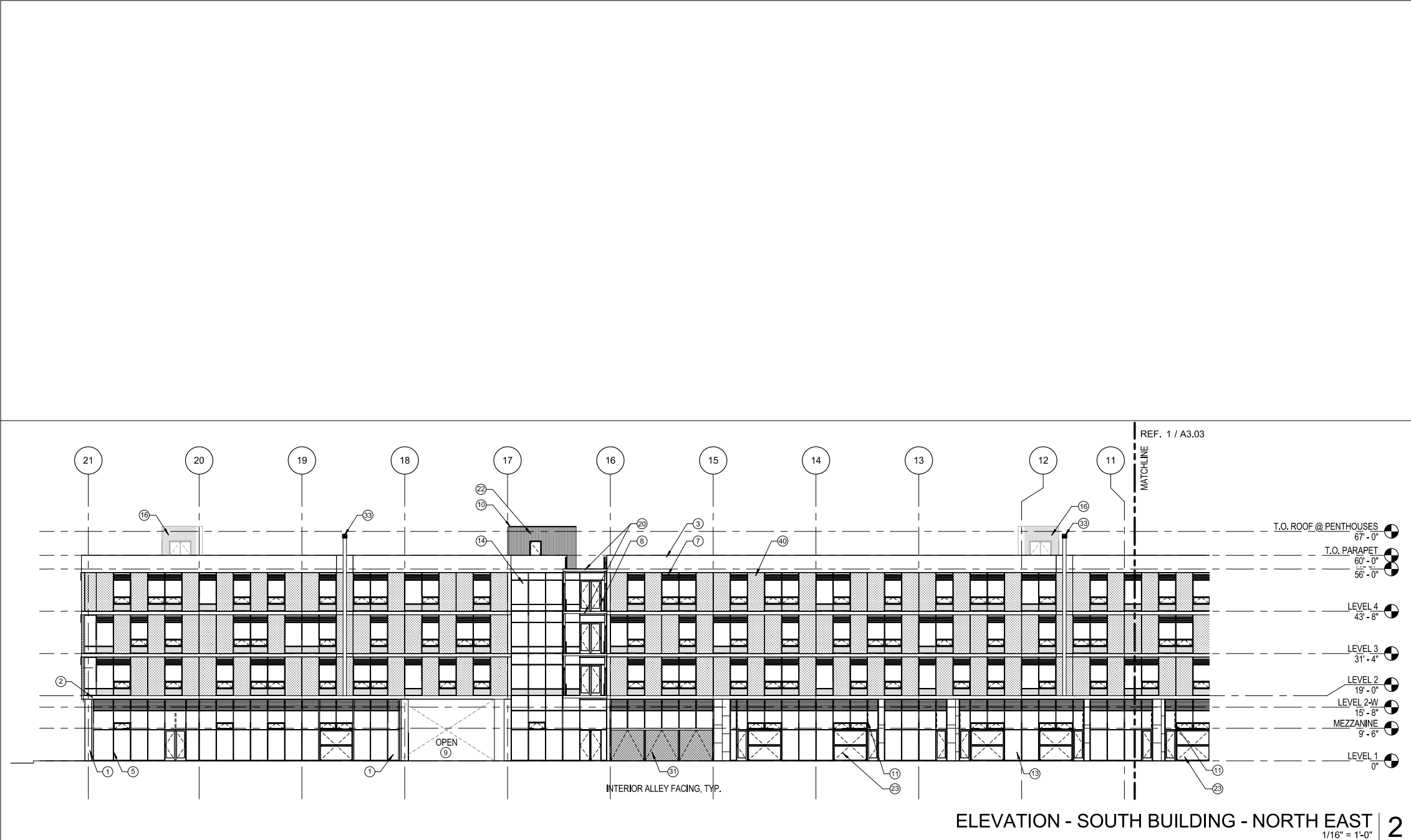
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BUILDING ELEVATIONS

Ref. North Date  
01/22/2015

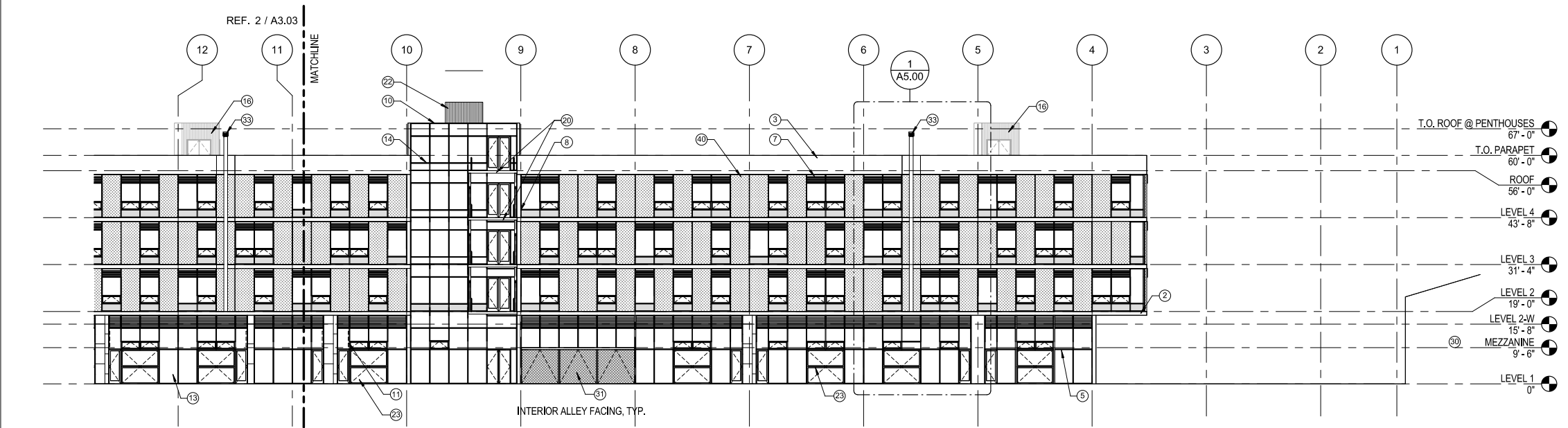
A3.02

PRELIMINARY - NOT FOR CONSTRUCTION

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ELEVATION - SOUTH BUILDING - NORTH EAST 2  
1/16" = 1'-0"



ELEVATION - SOUTH BUILDING - NORTH WEST 1  
1/16" = 1'-0"

GENERAL NOTES

1. SEE A8 SERIES FOR FACADE DETAILS AND NORTH & SOUTH BUILDING UPPER-LEVEL ENVELOPE MODULE TYPES
2. LEVEL "ROOF" AS SHOWN REFERS TO T.O. STRUCTURAL SLAB HEIGHT. REFER TO SECTIONS FOR T.O. BUILT-UP ROOF DIMENSION FOR BUILDING HEIGHT MEASUREMENT AS DEFINED IN SFPC SEC. 260.

SHEET NOTES

NOTE NO.	NOTE
1	EXPOSED CONCRETE COLUMN, TYP.
2	EXPOSED CONCRETE SLAB, TYP.
3	CONCRETE PARAPET
4	MTL. GRATE PARAPET
5	ALUM. STOREFRONT W/ CLEAR GLASS, TYP.
6	PTD. MTL. CANOPY, TYP.
7	PTD. MTL. LOUVER, TYP.
8	PTD. STL. GUARDRAIL, TYP.
9	BREEZEWAY
10	PTD. MTL. COPING
11	FUTURE TENANT SIGNAGE, SHOWN DASHED, N.I.C., TYP.
12	ALUM. BUILDING SIGNAGE, TYP.
13	SEISMIC JOINT COVER, TYP.
14	ALUM. CURTAIN WALL SYSTEM
15	CONCRETE CANOPY WITH COMPOSITE WOOD SOFFIT
16	CORRUGATED METAL STAIR PENTHOUSE, TYP.
17	BALCONY BEYOND, TYP.
18	ALLEY, SEE LANDSCAPE DRAWINGS
19	BUILDING SIGN NEAR FREEWAY, 200 S.F. MAX PER SFPC SEC. 608.5, SHOWN DASHED
20	PTD. STL. BRIDGE, TYP.
21	PDR BUILDING BEYOND
22	STAIR AND ELEVATOR PENTHOUSE BEYOND, TYP.
23	ROLLING/SECTIONAL OVERHEAD DOOR W/ CLEAR GLASS, TYP.
24	PTD. MTL. COLUMN
25	PTD. MTL. BEAM
26	PTD. MTL. SLIDING GATE
27	PTD. MTL. MESH LATTICE PANELS, FOR "GREEN WALL", SEE LANDSCAPE
28	EXHAUST FANS BEHIND METAL MESH LATTICE, SEE MECH.
29	PDR BUILDING
30	ADJACENT BUILDING, N.I.C.
31	PTD. MTL. COILING OVERHEAD DOOR
32	LOADING DOCK
33	PTD. MTL. VENT STACK
34	PERFORATED WEATHERED STEEL SCREEN
35	EXPOSED CONCRETE SHEAR WALL
36	INFILL CMU WALL
37	WEATHERED STEEL PANEL, TYP.
38	PERFORATED WEATHERED STEEL CANOPY
39	PERFORATED WEATHERED STEEL MARQUEE
40	PERFORATED PTD. MTL. PANEL, TYP.

LEGEND

	PERFORATED PAINTED METAL PANEL *
	PERFORATED WEATHERED STEEL PANEL *
	SOLID WEATHERED STEEL PANEL *
	CORRUGATED METAL PANEL
	TRANSLUCENT GLASS
	CMU BLIND WALL ASSEMBLY
	PTD MTL. MESH LATTICE PANELS

\* = REF. A8.33 FOR DETAILS

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Sheet Name  
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A3.03

PRELIMINARY - NOT FOR CONSTRUCTION

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




## A3.04

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1. SEE A8 SERIES FOR FACADE DETAILS AND NORTH & SOUTH BUILDING UPPER-LEVEL ENVELOPE MODULE TYPES
2. LEVEL "ROOF" AS SHOWN REFERS TO T.O. STRUCTURAL SLAB HEIGHT. REFER TO SECTIONS FOR T.O. BUILT-UP ROOF DIMENSION FOR BUILDING HEIGHT MEASUREMENT AS DEFINED IN SFPC SEC. 260.

NOTE NO.	NOTE
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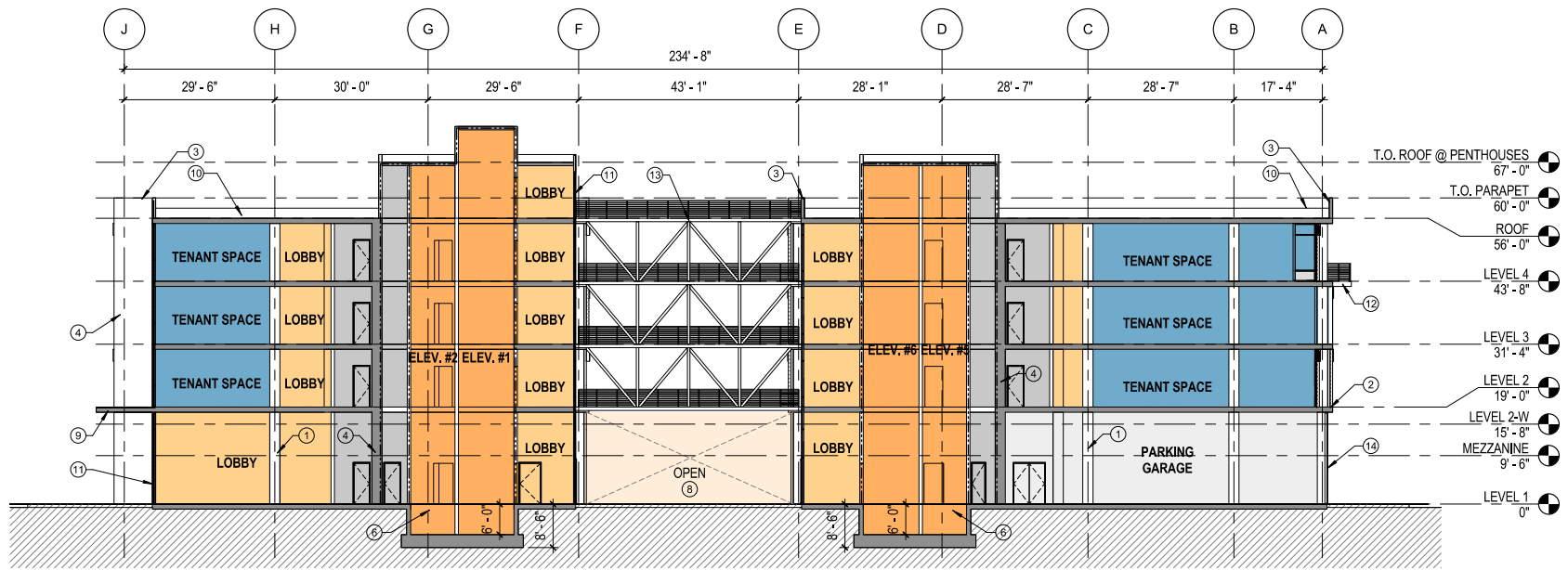
### LEGEND

	PERFORATED PAINTED METAL PANEL *
	PERFORATED WEATHERED STEEL PANEL *
	SOLID WEATHERED STEEL PANEL *
	CORRUGATED METAL PANEL
	TRANSLUCENT GLASS
	CMU BLIND WALL ASSEMBLY
	PTD MTL. MESH LATTICE PANELS

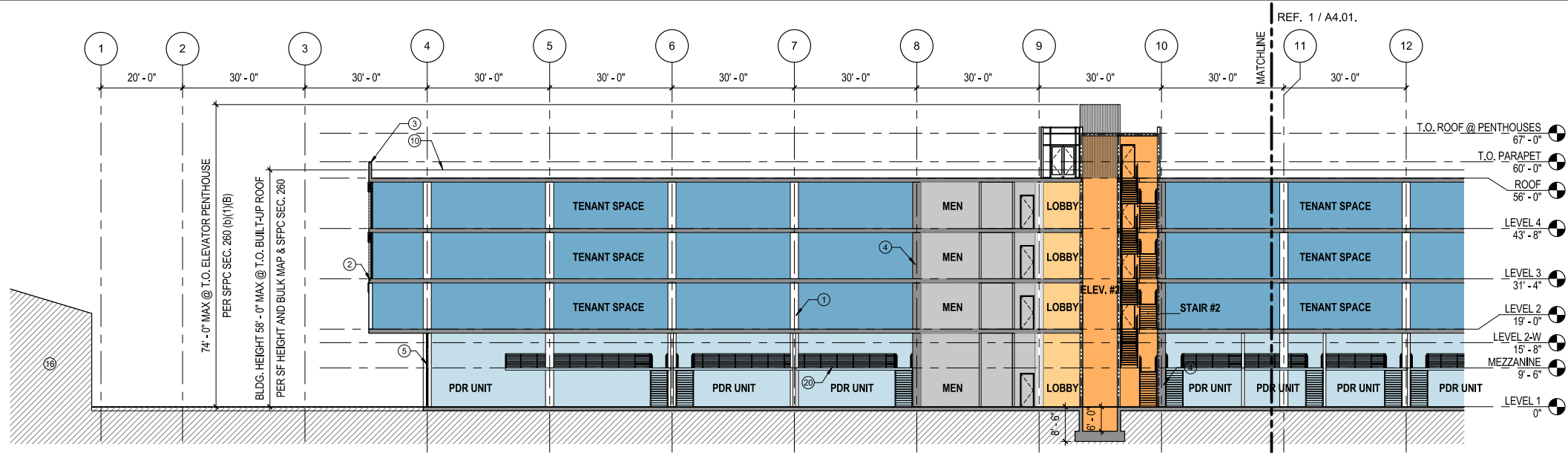
\* = REF. A8.33 FOR DETAILS



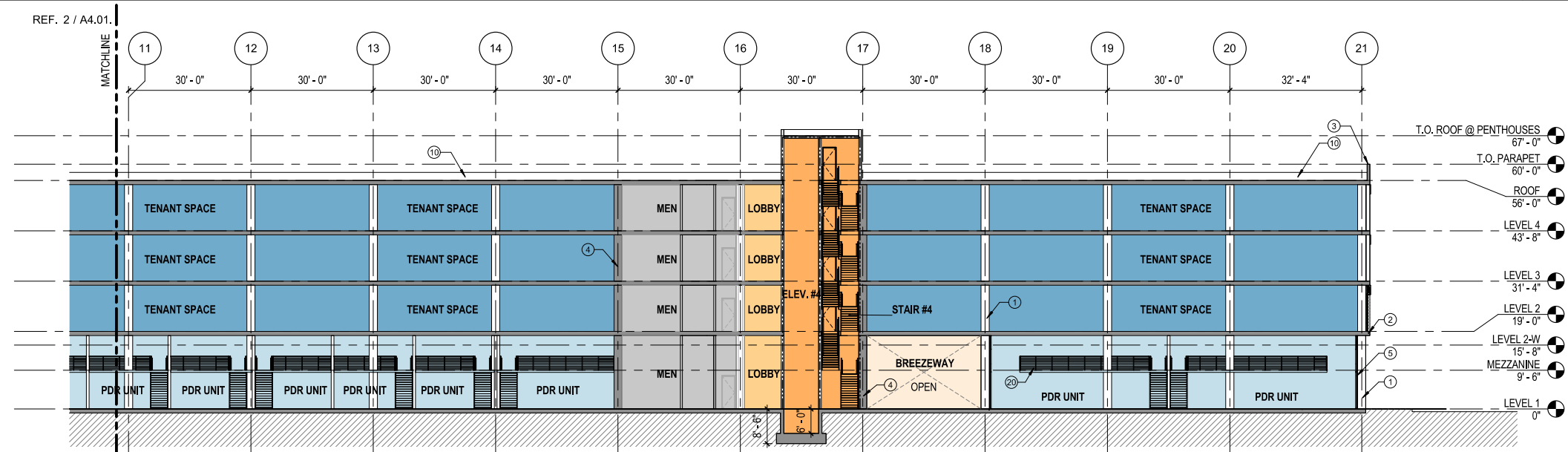




SECTION - NORTH/SOUTH 1 | 3  
1/16" = 1'-0"



SECTION - SOUTH BUILDING - EAST/WEST - EAST | 2  
1/16" = 1'-0"



SECTION - SOUTH BUILDING - EAST/WEST - EAST | 1  
1/16" = 1'-0"

GENERAL NOTES

1. PDR UNIT LAYOUT AS SHOWN SUBJECT TO CHANGE PER FUTURE TENANT IMPROVEMENT REQUIREMENTS.
2. LEVEL "ROOF" AS SHOWN REFERS TO T.O. STRUCTURAL SLAB HEIGHT. REFER TO T.O. BUILT-UP ROOF DIMENSION FOR BUILDING HEIGHT MEASUREMENT AS DEFINED IN SFPC SEC. 260.

SHEET NOTES

NOTE NO.	COMMENT
1	EXPOSED CONCRETE COLUMN, TYP.
2	EXPOSED CONCRETE SLAB, TYP.
3	CONCRETE PARAPET
4	CONCRETE SHEAR WALL
5	ALUM. STOREFRONT
6	ELEVATOR PIT (DEEPEST EXCAVATION, TYP.)
7	SEISMIC JOINT COVER
8	ALLEY, SEE LANDSCAPE DRAWINGS
9	CONCRETE CANOPY WITH COMPOSITE WOOD SOFFIT
10	BUILT-UP ROOF - ROOFING OVER RIGID INSULATION
11	ALUM. CURTAIN WALL, TYP.
12	BALCONY BEYOND
13	PTD. STL. BRIDGE BEYOND, TYP.
14	GREEN WALL, SEE LANDSCAPE
15	PDR WORKSHOP BUILDING
16	ADJACENT BUILDING, N.I.C.
17	STAIR / ELEVATOR PENTHOUSE BEYOND
18	PTD. MTL. CANOPY
19	LOADING DOCK RAMP
20	MEZZANINE, TYP.

- SHARED OUTDOOR SPACE
- SHARED TENANT SPACE
- VERTICAL CIRCULATION
- PDR UNITS
- COMMERCIAL TENANT SPACE
- FUTURE ROOF PLANTING AREAS (N.I.C.)
- PARKING
- BUILDING SERVICE SPACES

LEGEND

- CONCRETE CONSTRUCTION
- TYP. FRAMED PARTITION
- 1-HR RATED CONSTRUCTION
- 2-HR RATED CONSTRUCTION
- 3-HR RATED CONSTRUCTION

PFAU GN01

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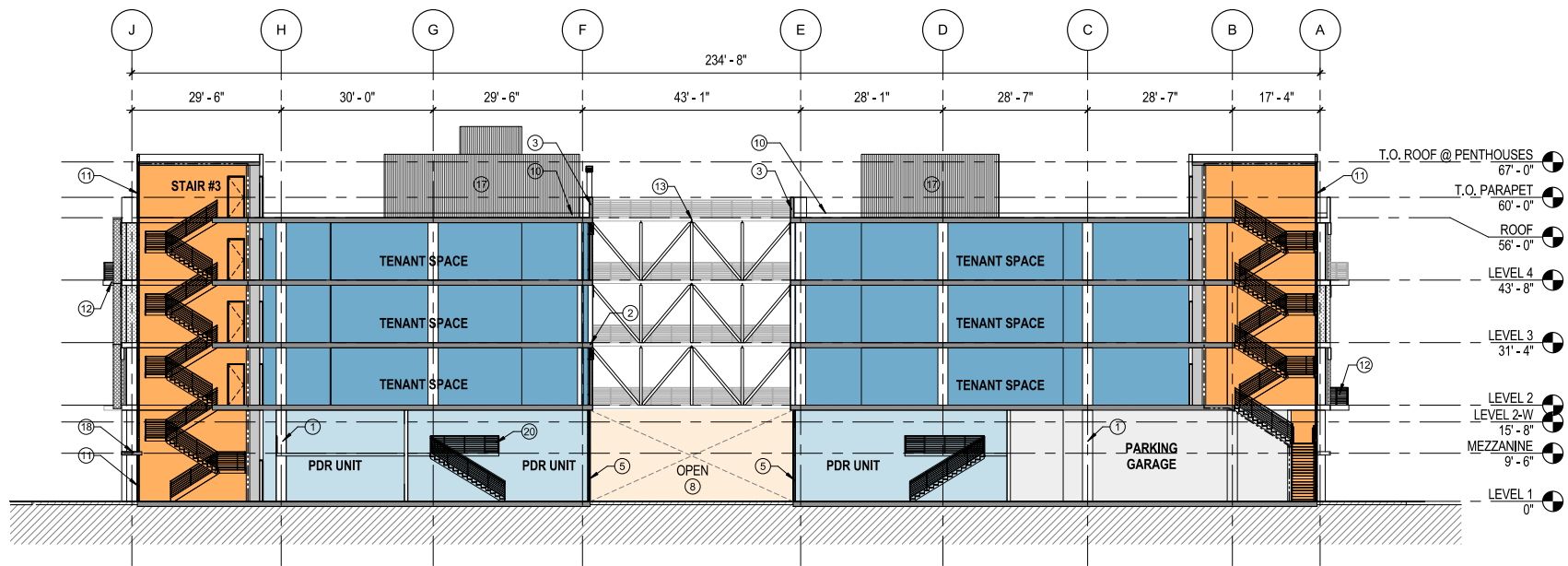
Project Number  
21114

Sheet Name  
BUILDING SECTIONS

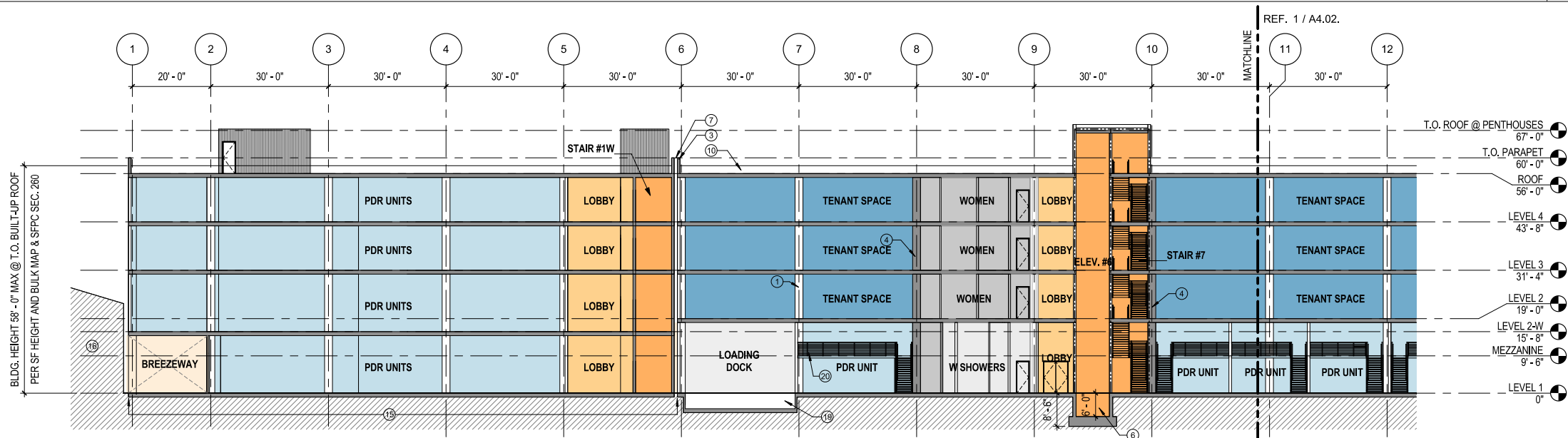
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01/22/2015

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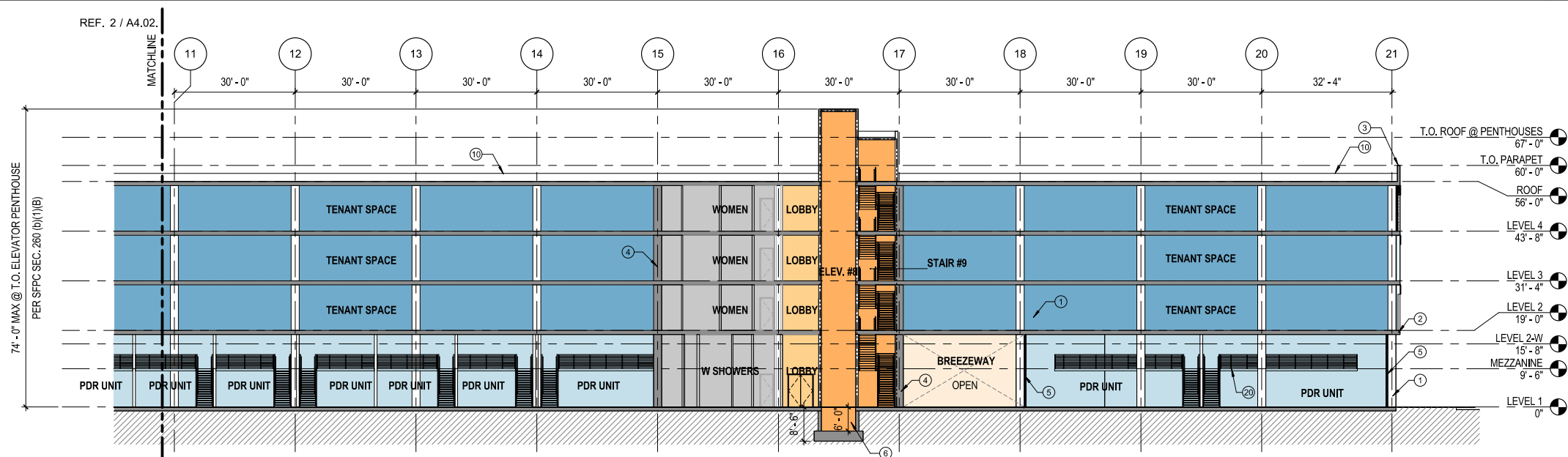
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without written consent of the architect.



SECTION - NORTH/SOUTH 2  
1/16" = 1'-0" 3



SECTION - NORTH BUILDING - EAST/WEST  
1/16" = 1'-0" 2



SECTION - NORTH BUILDING - EAST/WEST  
1/16" = 1'-0" 1

GENERAL NOTES

1. PDR UNIT LAYOUT AS SHOWN SUBJECT TO CHANGE PER FUTURE TENANT IMPROVEMENT REQUIREMENTS.
2. LEVEL "ROOF" AS SHOWN REFERS TO T.O. STRUCTURAL SLAB HEIGHT. REFER TO T.O. BUILT-UP ROOF DIMENSION FOR BUILDING HEIGHT MEASUREMENT AS DEFINED IN SFPC SEC. 260.

SHEET NOTES

NOTE NO.	COMMENT
1	EXPOSED CONCRETE COLUMN, TYP.
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14	GREEN WALL, SEE LANDSCAPE
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17	STAIR / ELEVATOR PENTHOUSE BEYOND
18	PTD. MTL. CANOPY
19	LOADING DOCK RAMP
20	MEZZANINE, TYP.

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- SHARED TENANT SPACE
- VERTICAL CIRCULATION
- PDR UNITS
- COMMERCIAL TENANT SPACE
- FUTURE ROOF PLANTING AREAS (N.I.C.)
- PARKING
- BUILDING SERVICE SPACES

LEGEND

- CONCRETE CONSTRUCTION
- TYP. FRAMED PARTITION
- 1-HR RATED CONSTRUCTION
- 2-HR RATED CONSTRUCTION
- 3-HR RATED CONSTRUCTION

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SAN FRANCISCO, CA 94107

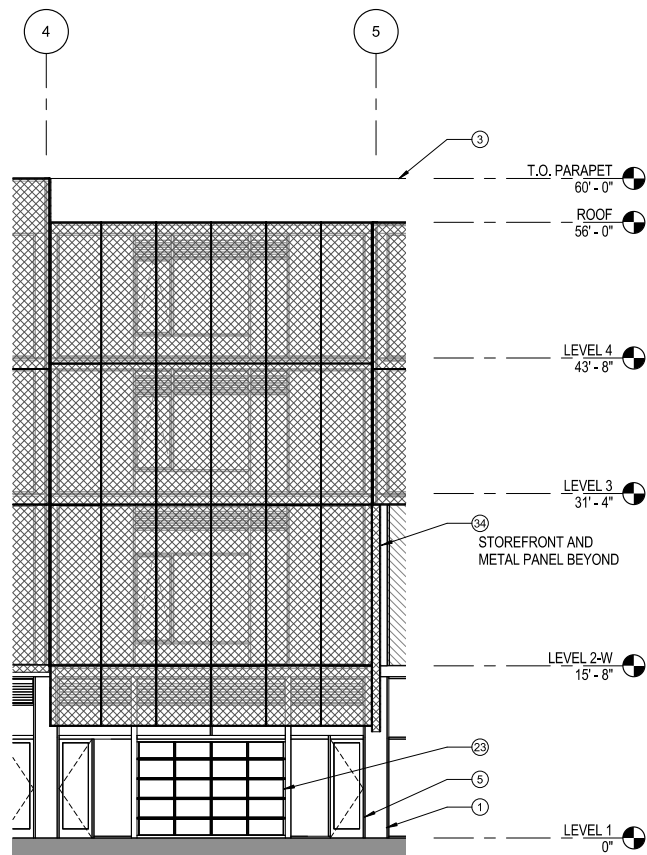
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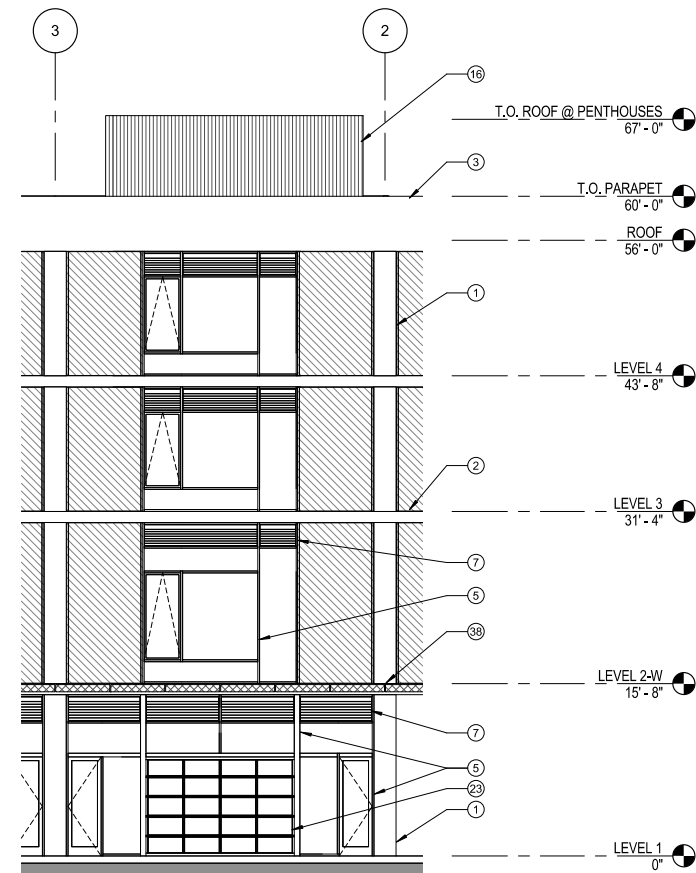
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Project Number	21114
Sheet Name	BUILDING SECTIONS
Ref. North	Date
	01/22/2015

A4.02.

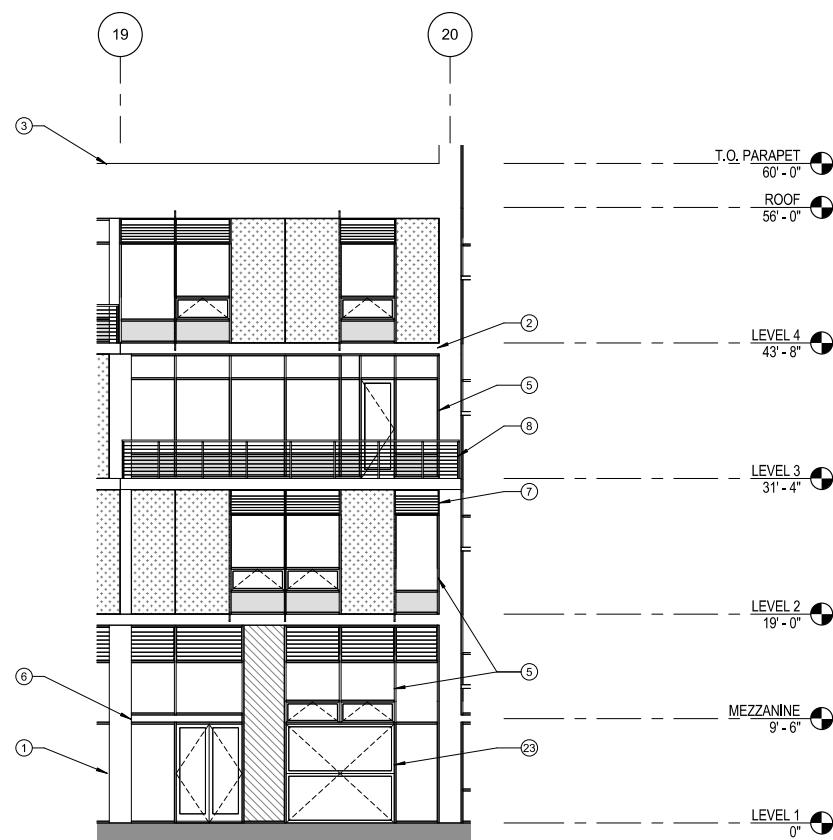
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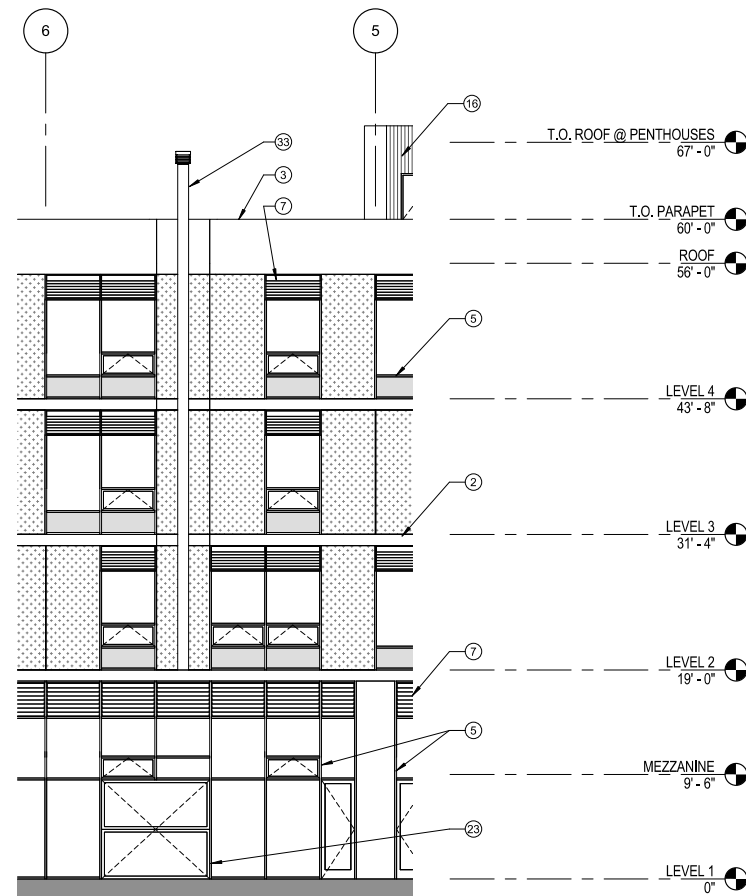
ENLARGED ELEVATION - PDR BUILDING | 4  
1/8" = 1'-0"



ENLARGED ELEVATION - PDR BUILDING | 3  
1/8" = 1'-0"



ENLARGED ELEVATION | 2  
1/8" = 1'-0"



ENLARGED ELEVATION | 1  
1/8" = 1'-0"

## GENERAL NOTES

- SEE A8 SERIES FOR FACADE DETAILS AND NORTH & SOUTH BUILDING UPPER-LEVEL ENVELOPE MODULE TYPES
- LEVEL "ROOF" AS SHOWN REFERS TO T.O. STRUCTURAL SLAB HEIGHT. REFER TO SECTIONS FOR T.O. BUILT-UP ROOF DIMENSION FOR BUILDING HEIGHT MEASUREMENT AS DEFINED IN SFPC SEC. 260.

## SHEET NOTES

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9	BREEZEWAY
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18	ALLEY, SEE LANDSCAPE DRAWINGS
19	BUILDING SIGN NEAR FREEWAY, 200 S.F. MAX PER SFPC SEC. 608.5, SHOWN DASHED
20	PTD. STL. BRIDGE, TYP.
21	PDR BUILDING BEYOND
22	STAIR AND ELEVATOR PENTHOUSE BEYOND, TYP.
23	ROLLING/SECTIONAL OVERHEAD DOOR W/ CLEAR GLASS, TYP.
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34	PERFORATED WEATHERED STEEL SCREEN
35	EXPOSED CONCRETE SHEAR WALL
36	INFILL CMU WALL
37	WEATHERED STEEL PANEL, TYP.
38	PERFORATED WEATHERED STEEL CANOPY
39	PERFORATED WEATHERED STEEL MARQUEE
40	PERFORATED PTD. MTL. PANEL, TYP.

## LEGEND

	PERFORATED PAINTED METAL PANEL *
	PERFORATED WEATHERED STEEL PANEL *
	SOLID WEATHERED STEEL PANEL *
	CORRUGATED METAL PANEL
	TRANSLUCENT GLASS
	CMU BLIND WALL ASSEMBLY
	PTD MTL. MESH LATTICE PANELS

\* = REF. A8.33 FOR DETAILS

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Project Number  
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Sheet Name  
ENLARGED ELEVATIONS

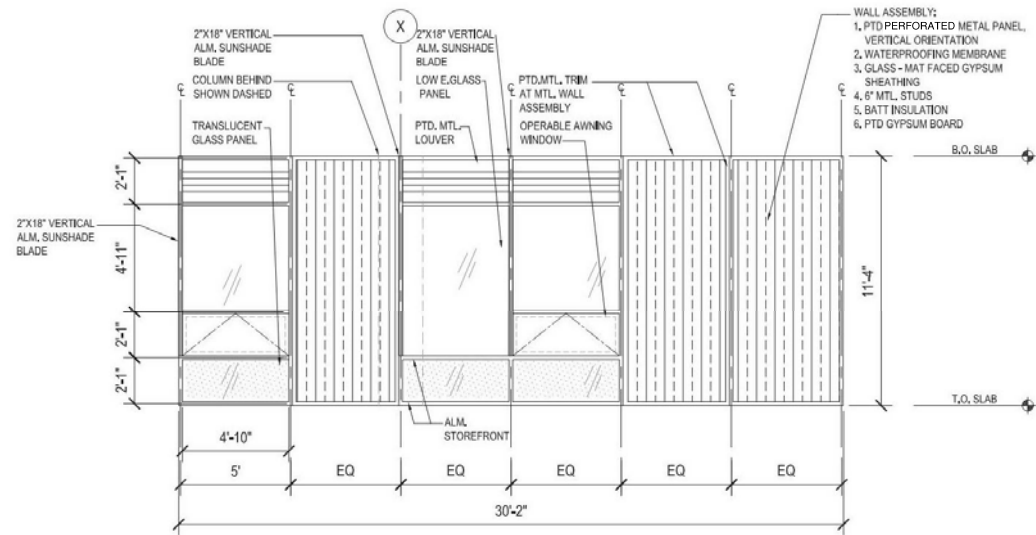
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Date  
01/22/2015

Scale

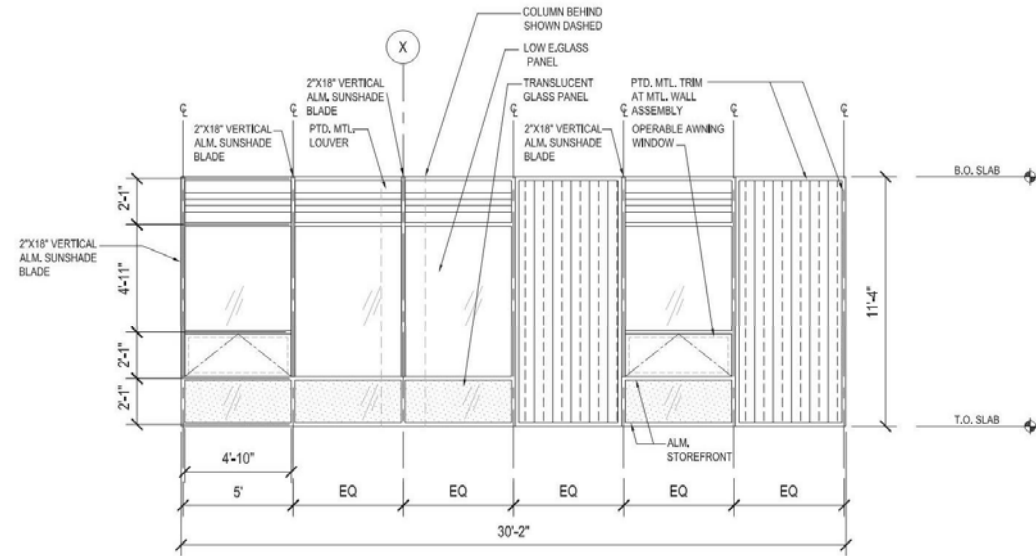
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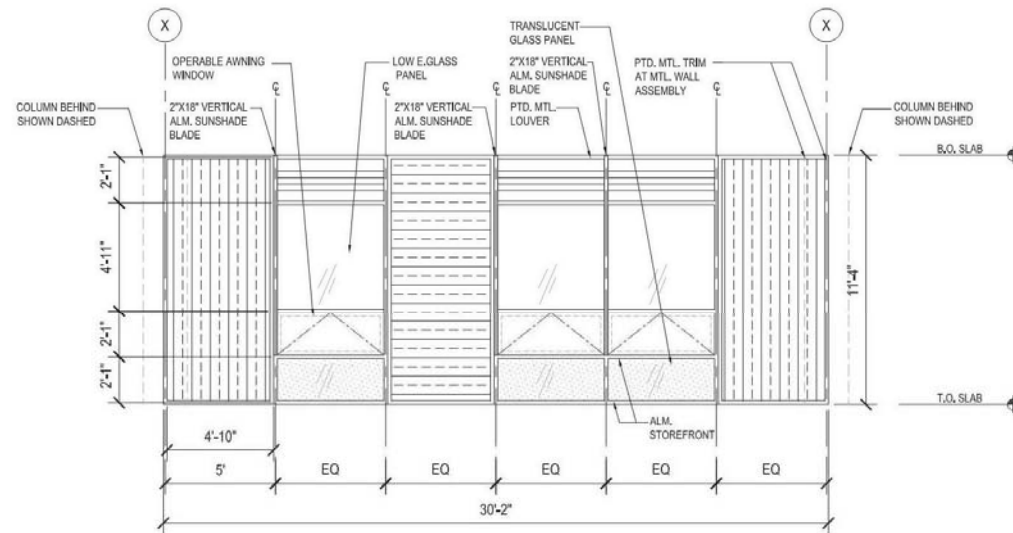
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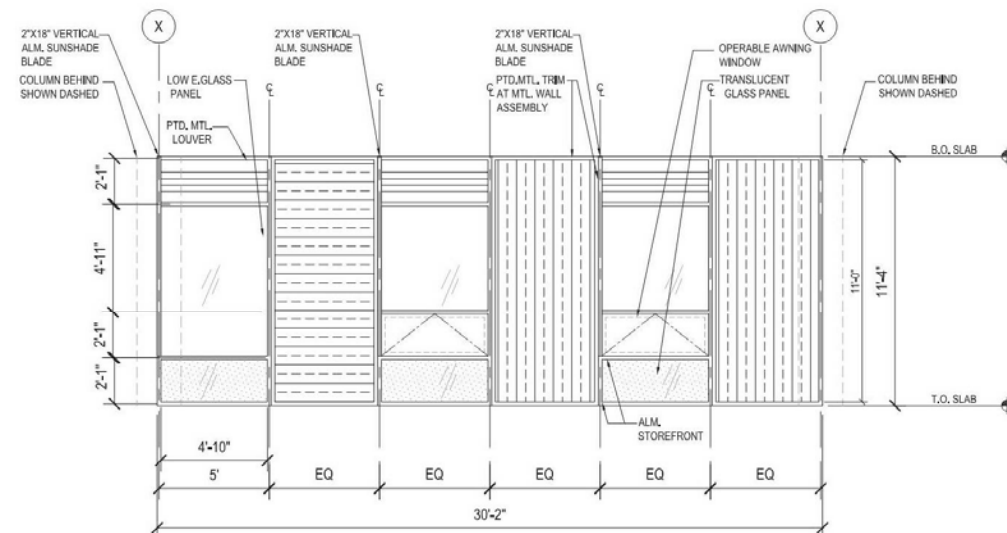
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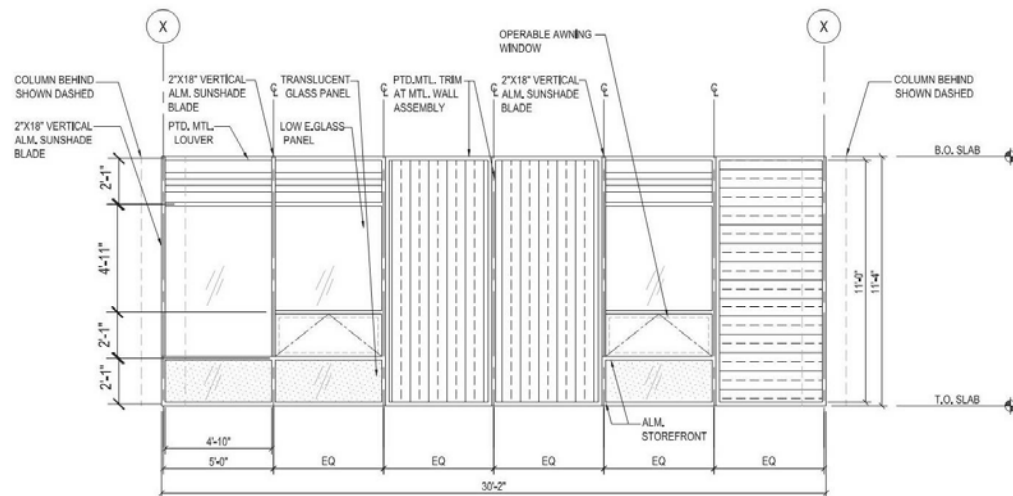
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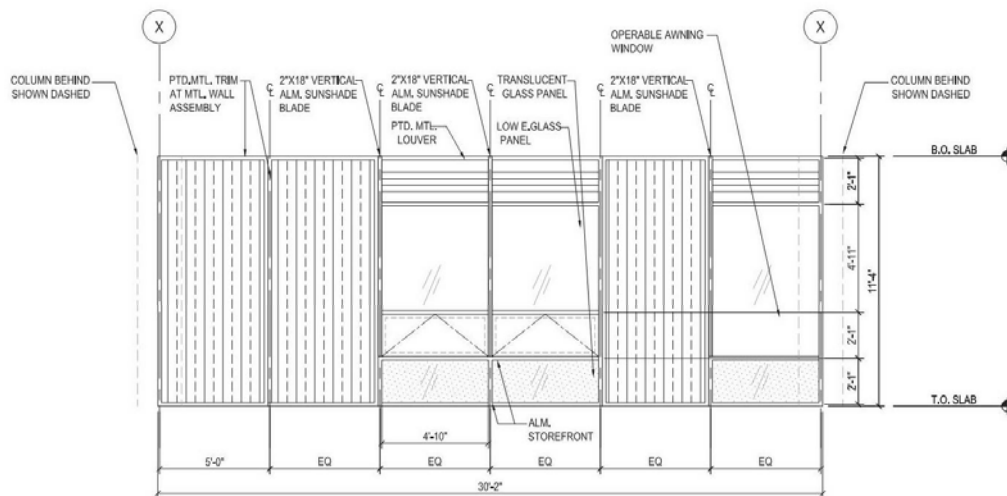
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TYPE C1 | 3  
SCALE: 1/4"=1'-0"



TYPE B1 | 2  
SCALE: 1/4"=1'-0"



TYPE A1 | 1  
SCALE: 1/4"=1'-0"

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Sheet Name  
STOREFRONT SCHEDULE

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01/22/2015

**A8.31**

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100 HOOPER STREET

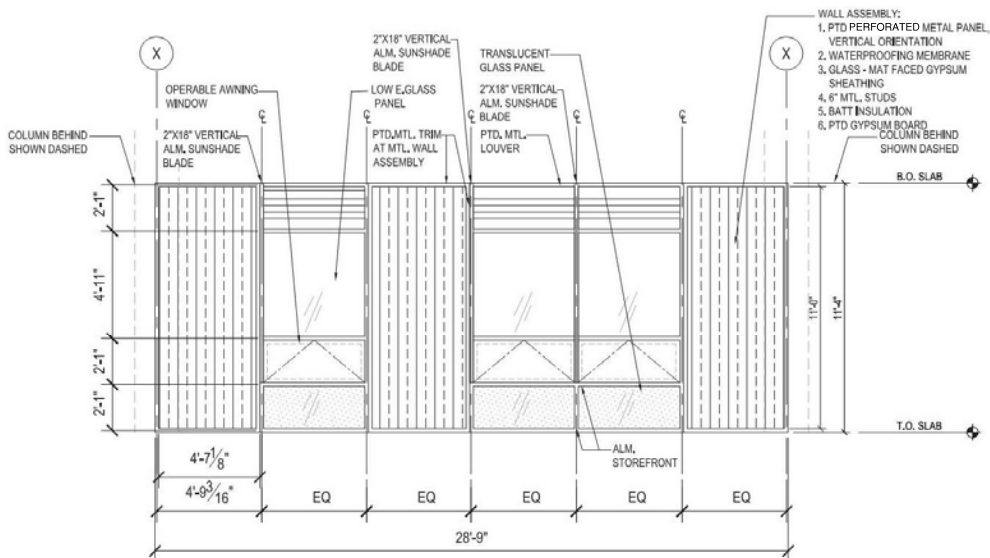
Project Number  
21114

Sheet Name  
STOREFRONT SCHEDULE

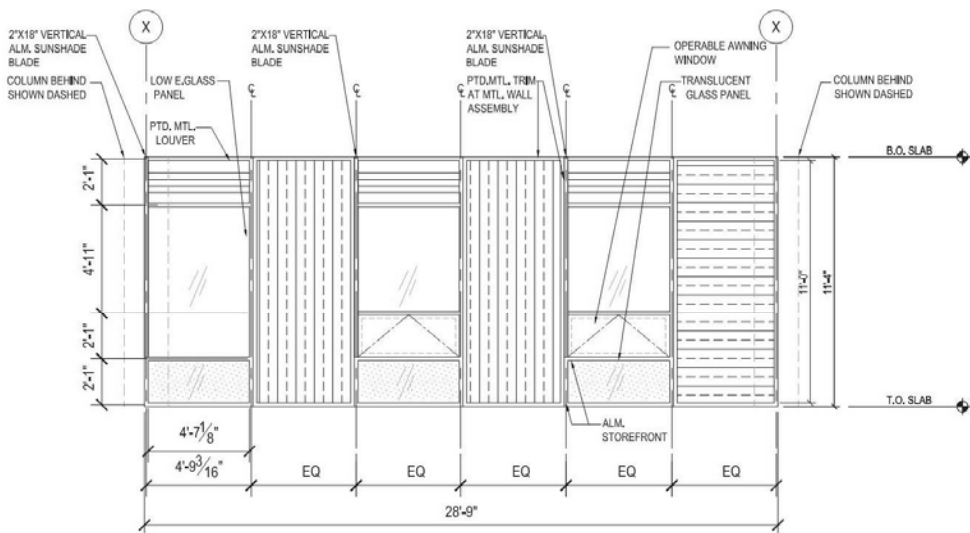
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01/22/2015

A8.32

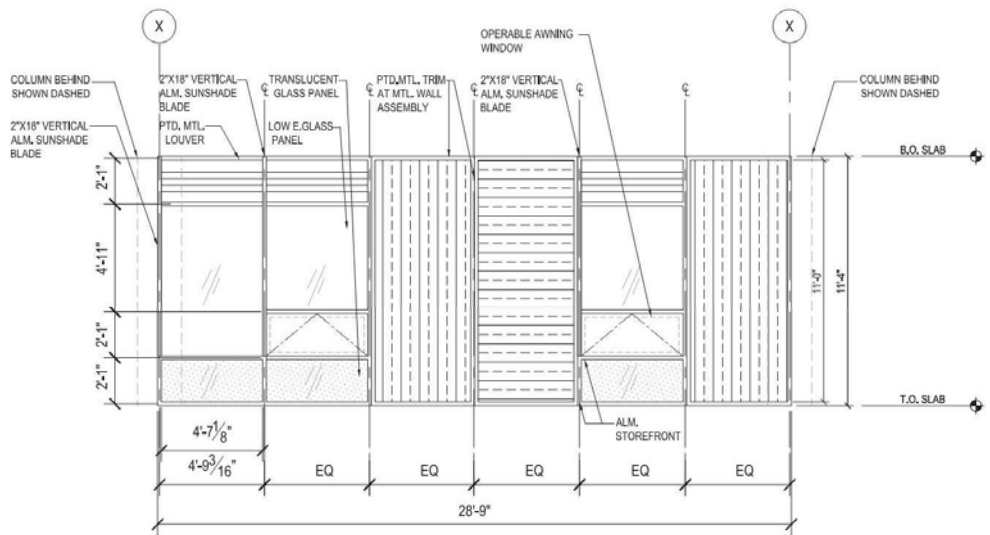
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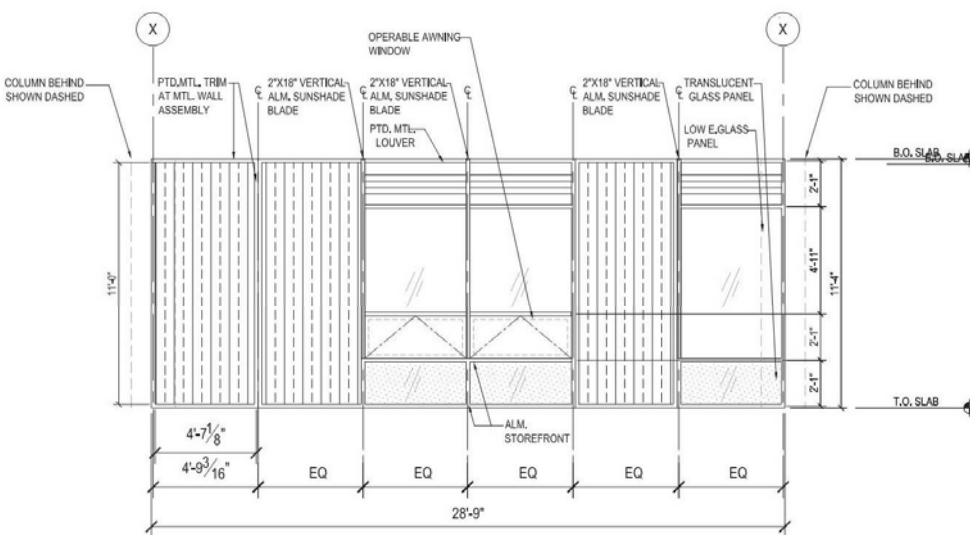
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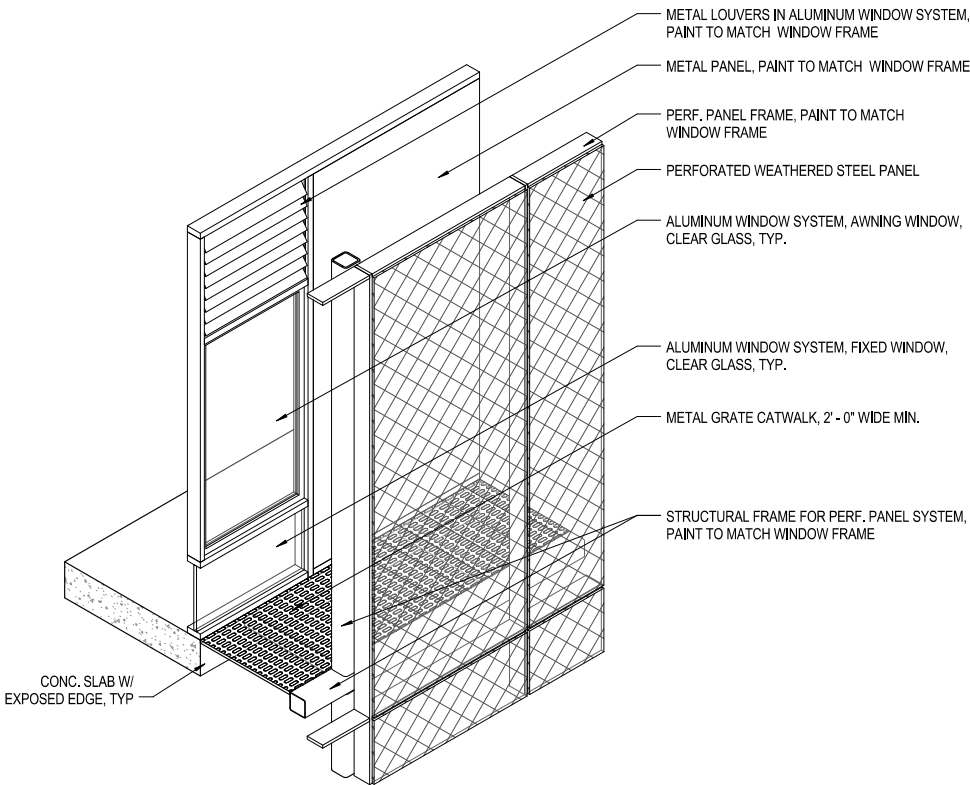
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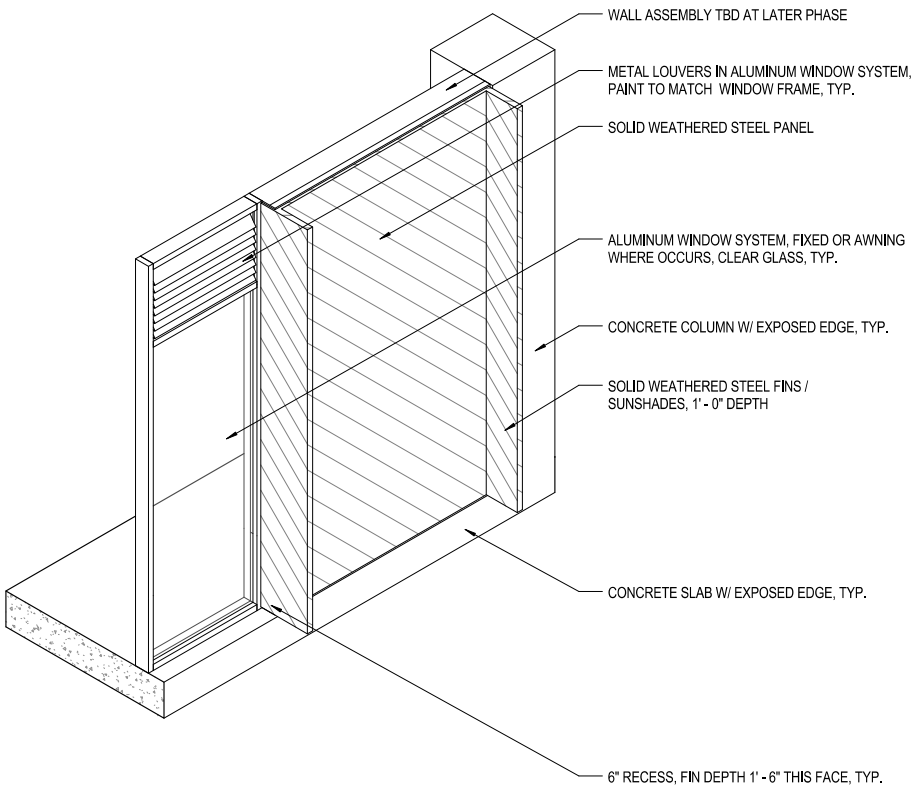
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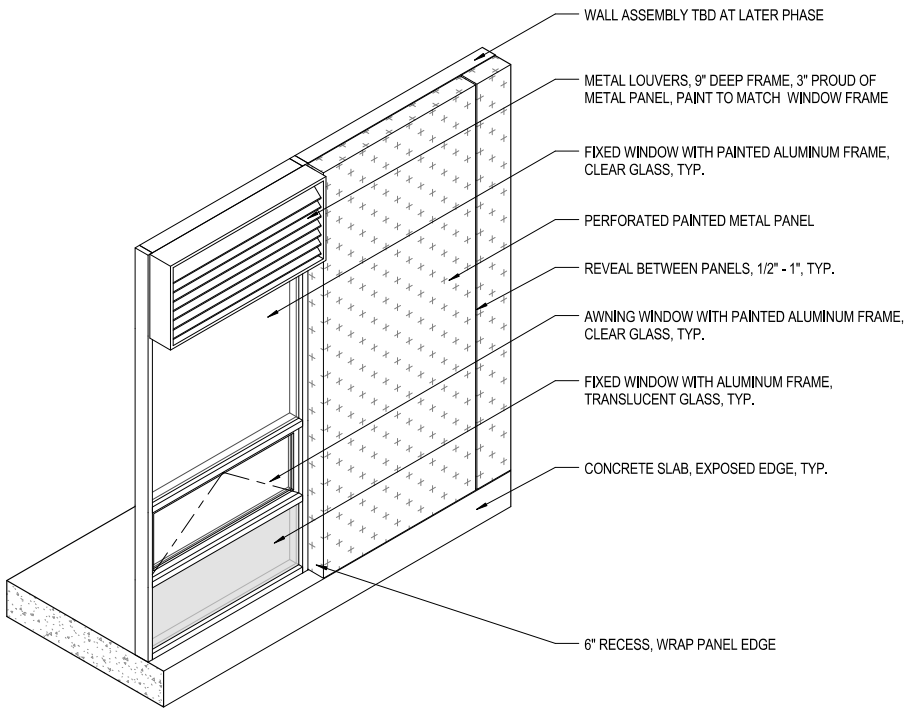
TYPE A2 | 7  
SCALE: 1/4"=1'-0"



DETAIL - PERFORATED WEATHERED STEEL PANEL | 2



DETAIL - SOLID CORTEN PANEL | 3



DETAIL - PERFORATED PAINTED METAL PANEL | 1

GENERAL NOTES

SHEET NOTES

LEGEND

- PERFORATED PAINTED METAL PANEL
- PERFORATED WEATHERED STEEL PANEL
- SOLID WEATHERED STEEL PANEL
- CORRUGATED METAL PANEL
- TRANSLUCENT GLASS
- CMU BLIND WALL ASSEMBLY
- PTD MTL. MESH LATTICE PANELS





AERIAL VIEW OF PLAZA - SYNERGIZE WITH CCA (SHED ROOF ON LEFT)

100 HOOPER STREET  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
BUILDING RENDERING -  
EXTERIOR

Ref. North Date  
01/22/2015

A10.01

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VIEW LOOKING EAST DOWN HOOPER STREET

100 HOOPER STREET  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
BUILDING RENDERING -  
EXTERIOR

Ref. North Date  
01/22/2015

A10.02

PRELIMINARY - NOT FOR CONSTRUCTION

All drawings and written material appearing herein  
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architect and may not be duplicated, used or disclosed  
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VIEW FROM HOOPER STREET LOOKING ACROSS PLAZA TOWARDS PDR BUILDING

100 HOOPER STREET  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
BUILDING RENDERING -  
EXTERIOR

Ref. North Date  
01/22/2015

A10.03

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without written consent of the architect.





VIEW LOOKING DOWN THE ALLEY FROM 7TH STREET

100 HOOPER STREET  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
BUILDING RENDERING -  
EXTERIOR

Ref. North Date  
01/22/2015

A10.04

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VIEW LOOKING DOWN THE ALLEY FROM 7TH STREET

100 HOOPER STREET  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
BUILDING RENDERING -  
EXTERIOR

Ref. North Date  
01/22/2015

A10.05

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VIEW FROM CHANNEL ST LOOKING AT NORTH FACADE OF PDR BUILDING

100 HOOPER STREET  
SAN FRANCISCO, CA 94107

No. Date Issues + Revisions

01/22/2015 PLANNING COMMISSION HEARING

Project Name  
100 HOOPER STREET

Project Number  
21114

Sheet Name  
BUILDING RENDERING -  
EXTERIOR

Ref. North Date  
01/22/2015

A10.06

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